

Wylie Planning and Zoning Commission Regular Meeting

December 21, 2021 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, the approval of the Minutes from the December 7, 2021 Regular Meeting.
- B. Consider, and act upon, a recommendation to the City Council regarding a Final Plat for Ballers Elite Addition, establishing one commercial lot on 0.620 acres, located at 1400 Martinez Lane.
- C. Consider, and act upon, a recommendation to City Council regarding a Preliminary Plat for Fathulla Addition, establishing one industrial lot on 2 acres, located 280' west of the intersection of Hooper Road and Hensley Lane.
- D. Consider, and act upon, a recommendation to City Council regarding a Preliminary Plat for Wellstar Addition, establishing one industrial lot on 2.31 acres and replating lots 12R, Block C and 15R, Block B, generally located east of the cul-de-sac of Capital street.

REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for an office showroom/warehouse use. Property located 280' west of the intersection of Hooper Road and Hensley Lane.
- 2. Consider, and act upon, a Site Plan for an office showroom/warehouse use on 2.31 acres, generally located east of the cul-de-sac of Capital street.
- 3. Consider, and act upon, a Site Plan for a CareNow medical clinic. Property located at 3080 W FM 544.
- 4. Consider, and act upon, a Site Plan amendment for an addition to a Tractor Supply general merchandise use. Property located at 900 S. Westgate Way.
- 5. Hold a Public Hearing to consider, and act upon a recommendation to City Council regarding a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP),

to allow for a restaurant with drive-through on 0.832 acres, property located at 2812 W FM 544. (ZC 2021-24

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on December 17, 2021 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:
§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>A</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Mary Bradley</u>	Subdivision:	<u>N/A</u>
Date Prepared:	<u>December 14, 2021</u>	Zoning District:	<u>N/A</u>
		Exhibits:	<u>N/A</u>

Subject

Consider and act upon the Minutes from the December 7, 2021 Regular Planning & Zoning Meeting.

Recommendation

Motion to **approve** Item A as presented.

Discussion

The minutes from the December 7, 2021 regular meeting are attached for your consideration.

Approved By

	<i>Initial</i>	<i>Date</i>
Department Director	<u>JH</u>	<u>December 14, 2021</u>

Wylie Planning and Zoning Commission Regular Meeting

December 07, 2021 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Cory Plunk called the meeting to order at 6:00PM and announced a quorum was present. Planning and Zoning Commissioners in attendance: Chair Cory Plunk, Vice Chair Bryan Rogers, Commissioner Taylor Newsom, Commissioner Dan Norris and Commissioner Joshua Butler. Commissioners absent: Commissioner Jacques Loraine and Commissioner Charla Riner.

Staff present: Mr. Jasen Haskins, Planning Manager, Mr. Kevin Molina, Senior Planner and Ms. Mary Bradley, Administrative Assistant II.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice Chair Rogers gave the invocation and Commissioner Taylor led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

No citizens approached the Commissioners to speak on Non-Agenda Items.

CONSENT AGENDA

- A. Consider and act upon the Minutes from the November 16, 2021 Regular Planning & Zoning Meeting.

Commission Action

A motion was made by Commissioner Taylor, and seconded by Commissioner Norris, to approve the Consent Agenda as presented. A vote was taken and the motion carried 5 – 0.

REGULAR AGENDA

1. Hold a Public Hearing, to consider, and act upon a recommendation to City Council regarding a change of zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP), to allow for the installation of an updated communications tower, property located at 200 Regency Drive. (ZC 2021-25)

Staff Comments

Mr. Haskins approached the Commissioners stating that the applicant is requesting a Special Use Permit (SUP) for an existing Electric Substation Use on 2.946 acres located at 200 Regency Drive. The purpose of the request is to install a 120 feet tall communication tower to replace the existing concrete pole located next to the substation control house. The proposed upgraded tower will allow for enhanced power grid control and site security.

Staff discussed with the applicant concreting the drive near Springwell and Regency and the installation of screening along Springwell adjacent to the ongoing residential development. Concreting the access drive was declined due to the applicant's concern for the gravel used on site spreading to the public right-of-way via the drive. Screening from the residential development to the west across Springwell was declined due to the costs involved and the 20-year old substation being in place before the residential development, which is still ongoing.

The property sits on two lots and was combined into one lot in November 2021.

Comment forms were mailed to 17 property owners as required by law and no responses were received in favor or in opposition of the request.

Discussion

Commissioner Newsom expressed concern for the access to the Farmers Electric site which is dirt and rock. Ms. Katherine Garcia, Rayburn Electric Cooperative, representative for the applicant, stated that the request for concrete drive is complicated with a utility easement on the northeast corner of the property. Two of the three access drives are individually fenced and not occupied or operated by Farmers Electric. The substation drive has been in existence for 20 years and is functional for Farmers Electric.

Chair Plunk stated that installing a 120 feet tower is not appealing, and asked for a trade off to improve the site by upgrading the northwest access drive to the substation. Ms. Garcia stated that Rayburn Electric is willing to improve that access drive to the substation.

Public Comment

Chair Plunk opened the Public Hearing on Item 1 at 6:13PM. With no one approaching the Commissioners, Chair Plunk closed the Public Hearing.

Board Action

A motion was made by Commissioner Newsom, and seconded by Commissioner Norris, to recommend approval for Item 1 with stipulations that the access drive used by Farmers Electric and Rayburn Electric be refurbished prior to installation of the communication tower. A vote was taken and carried 5 – 0.

2. Hold a Public Hearing, to consider, and act upon a recommendation to City Council regarding a change of zoning from Planned Development (PD) to Planned Development - Multi-Family (PD-MF), to allow for an affordable age-restricted multi-family development, property generally located adjacent and southwest of 2300 FM 544. (ZC 2021-26)

Staff Comments

Mr. Haskins approached the Commissioners stating that the applicant is requesting a Planned Development to allow for a Age-Restricted Multi-Family Development. In September a Resolution was passed by the City Council recognizing the applicant's, Roers Development, intent to apply for affordable housing tax credits. The property is 15.88 acres and located adjacent to 2300 FM 544.

The property is currently zoned Planned Development Ordinance 2012-13, which allows for a variety of uses but does not allow multi-family apartments. The proposed zoning change would remove the subject property from

existing Planned Development and create a new Planned Development that would limit allowed uses to Age-Restricted Multi-Family and related accessory uses.

The proposal includes a maximum of 200 units at a density of no more than 13 units per acre. The units include studio, one bedroom, and two bedroom apartments at 530, 710, and 1000 square feet, respectively. The proposal includes amenities such as a walking trail, outdoor pool area, and a dog park.

Nine notifications were mailed to the surrounding property owners as required by law. No comment forms were received in favor or in opposition of the request.

Discussion

Staff stated that the applicant had a presentation. Mr. Logan Schmidt approached the Commissioners, stating that he represented Roers Companies, and that the request would allow Section 42 affordable tax credit. Section 42 is income based housing that is subsidized through a Federal tax credit administered by the State. Residential restrictions are based on 60 percent of the area median income.

Commissioner Butler questioned the age restriction. Mr. Schmidt responded that all residents are named on the lease as the intent is for residents 55 or older. However, the law allows an under 55 person to also live in the apartment as long as the income restriction requirements are met. The income is total accumulative for all named on the lease, with the maximum amount for a two bedroom currently about \$48,000 per year.

Public Comments

Chair Plunk opened the Public Hearing for Item 2, with no one approaching the Commissioners, Chair Plunk closed the Public Hearing.

Commission Action

A motion was made by Commissioner Newsom, and seconded by Vice Chair Rogers, to recommend approval to the City Council for Item 2. A vote was taken and carried 5 – 0.

Mr. Haskins stated that there is a meeting on December 21, 2021 and encouraged all Commissioners to attend.

ADJOURNMENT

A motion was made by Commissioner Newsom, and seconded by Vice Chair Rogers to adjourn the meeting at 6:31PM. A vote was taken and carried 5 – 0.

Cory Plunk, Chair

ATTEST:

Mary Bradley, Administrative Assistant II

Minutes December 7, 2021
Planning & Zoning
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Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>B</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Kevin Molina</u>	Subdivision:	<u>Ballers Elite Addition</u>
Date Prepared:	<u>December 08, 2021</u>	Zoning District:	<u>Community Corridor (CC)</u>
		Exhibits:	<u>Final Plat</u>

Subject

Consider, and act upon, a recommendation to City Council regarding a Final Plat for Ballers Elite Addition, establishing one commercial lot on 0.620 acres, located at 1400 Martinez Lane.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Huy Nguyen

APPLICANT: Boundary Solutions

The applicant is proposing to create one commercial lot for the development of an indoor training gymnasium located at 1400 Martinez Lane. The site is zoned within the Commercial Corridor district and the proposed use is allowed by right. The site plan and preliminary plat for this development were approved in May and June of 2020, respectively.

The final plat differs slightly from the preliminary plat as a turn radii of the entry driveway was adjusted to correspond to the dimensions of the approved site plan. The final plat includes a 24' wide fire lane, access, and utility easement.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Approved By

	<i>Initial</i>	<i>Date</i>
Department Director	<u>JH</u>	<u>December 14, 2021</u>



Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>C</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Kevin Molina</u>	Subdivision:	<u>Fathulla Addition</u>
Date Prepared:	<u>December 08, 2021</u>	Zoning District:	<u>Light Industrial (LI)</u>
		Exhibits:	<u>Preliminary Plat</u>

Subject

Consider, and act upon, a recommendation to City Council regarding a Preliminary Plat for Fathulla Addition, establishing one industrial lot on 2 acres, located 280' west of the intersection of Hooper Road and Hensley Lane.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Jalil Fathullah

APPLICANT: Roome Land Surveying

The applicant is proposing to create one industrial lot for the development of an office/warehouse park located 280' west of the intersection of Hooper Road and Hensley Lane. The site is zoned within the Light Industrial district and the proposed use is allowed by right. The site plan for phase 1 out of 4 phases is also on the P&Z regular agenda

The preliminary plat includes a 24' wide fire lane, access, and utility easement with access from Hensley Lane. There are two existing water and sewer lines that run east and west on the subject property.

The plat has access drives that are labeled as being 24' wide. This width will be required to be widened to 30' if any of the future buildings within this development have overhead doors. This is due to the industrial driveway requirements found in the Thoroughfare Design Standards.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Approved By

	<i>Initial</i>	<i>Date</i>
Department Director	<u>JH</u>	<u>December 14, 2021</u>



Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>D</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Kevin Molina</u>	Subdivision:	<u>Wellstar Addition</u>
Date Prepared:	<u>December 14, 2021</u>	Zoning District:	<u>Light Industrial (LI)</u>
		Exhibits:	<u>Preliminary Plat</u>

Subject

Consider, and act upon, a recommendation to City Council regarding a Preliminary Plat for Wellstar Addition, establishing one industrial lot on 2.31 acres and replating lots 12R, Block C and 15R, Block B, generally located east of the cul-de-sac of Capital street.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Wellstar Properties LLC

APPLICANT: Roome Land Surveying

The applicant is proposing to create one 2.31 acre industrial lot for the development of two office/warehouse buildings located east of the cul-de-sac of Capital street. The site is zoned within the Light Industrial district and the proposed use is allowed by right. The site plan for the development is also on the P&Z regular agenda

Access to the subject property is provided by replating existing access easements from a portion of Lot 12R and Lot 15R of Regency Business Park to allow for the development site to have access from Capital Street.

The site also contains 24' wide fire lane, access, and utility easements throughout the site.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Approved By

	<i>Initial</i>	<i>Date</i>
Department Director	<u>JH</u>	<u>December 15, 2021</u>



Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>1</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Kevin Molina</u>	Subdivision:	<u>Fathulla Addition</u>
Date Prepared:	<u>December 08, 2021</u>	Zoning District:	<u>Light Industrial (LI)</u>
			<u>Site Plan, Landscape Plan,</u>
		Exhibits:	<u>Elevations</u>

Subject

Consider, and act upon, a Site Plan for an office showroom/warehouse use. Property located 280' west of the intersection of Hooper Road and Hensley Lane.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Jalil Fathullah

APPLICANT: Better Design Resources

The applicant is proposing to develop a 5,000 sq.ft office building on two acres located 280' west of the intersection of Hooper Road and Hensley Lane. The property is zoned Light Industrial, which allows for the proposed office showroom/warehouse use. The site plan represents phase 1 out of four possible phases for the two acre site. A preliminary plat is also on the consent agenda to create Lot 1, Block A of Futhulla Addition.

The development requires a minimum of seven parking spaces for the office showroom/warehouse use and provides 17 parking spaces with one of them being a handicapped space.

Access to the site is proposed from a drive that connects to Hensley Lane. The access lanes on the site plan are shown as being 24' wide. A 10' landscape buffer with a 4' meandering sidewalk along the frontage of Hensley Lane is included. The structure's exterior material consists of Brick, Stone, and Glass. Awnings are also provided at all main entryways.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Approved By

Department Director

Initial

JH

Date

December 14, 2021

Figure 4-7 Site Design Requirements

LD CONCRETE HD CONCRETE LANDSCAPE

TWO-TRUNK TREES		SEEDS
	CREPE MYRTLE & EVERGREEN SHRUB	3' MIN TALL & MIN 3' SPREAD WHEN PLANTED.
	SMALL TREES: RED BUD OR CEDAR ELM,	3" CALIPER MIN
	LARGE TREES: LIVE OAK, RED OAK, BURR OAK, PECAN, OR SOUTHERN MAGNOLIA	3" CALIPER MIN

SCALE = NONE

YES NO N/A	Element	Base Standard (all development must comply fully with all listed below)	Desirable (Each development must select 4 of the 8 desirables listed below)	YES NO N/A
YES	Building Placement	1. Entrances and /or facades oriented to the street.	1. Building at the front yard line.	NO
N/A		2. Building footprints no greater than 20,000 square feet in NS and CS districts.	2. Individual buildings w/footprints = or < 10,000 square feet.	
YES	(In future phases)	3. Multiple buildings placed to create plazas, courtyards, landscaped areas w/ connecting walkways.	3. Front facade oriented to the street.	YES
N/A	Parking Placement	1. Parking spaces at least 10' from residential lot line.	1. Site plan with no more than 50% of parking in front of the building.	
YES			2. Building with no more than one row parking in front.	YES
YES	Access Drives	1. Minimum width drive of 24', turning radius of 25'.	1. Combined access points with adjacent tract.	NO
YES		2. Access drive at least 150' from intersection.	2. Direct connection between buildings and street.	
YES		3. Access drives serving developments greater than 30,000 sq.ft. shall have escorted median, or be separated at least 150' from each other.		YES
YES		4. Landscaped treatment of entrances.		YES
YES	Location of Service such as Loading Area	1. Service and loading areas shall not be visible from a public street or adjacent residential lot.	1. Not visible from public street but provide masonry screening.	
YES		2. Developments unable to meet the above are required to have masonry screening walls w/gates.		YES

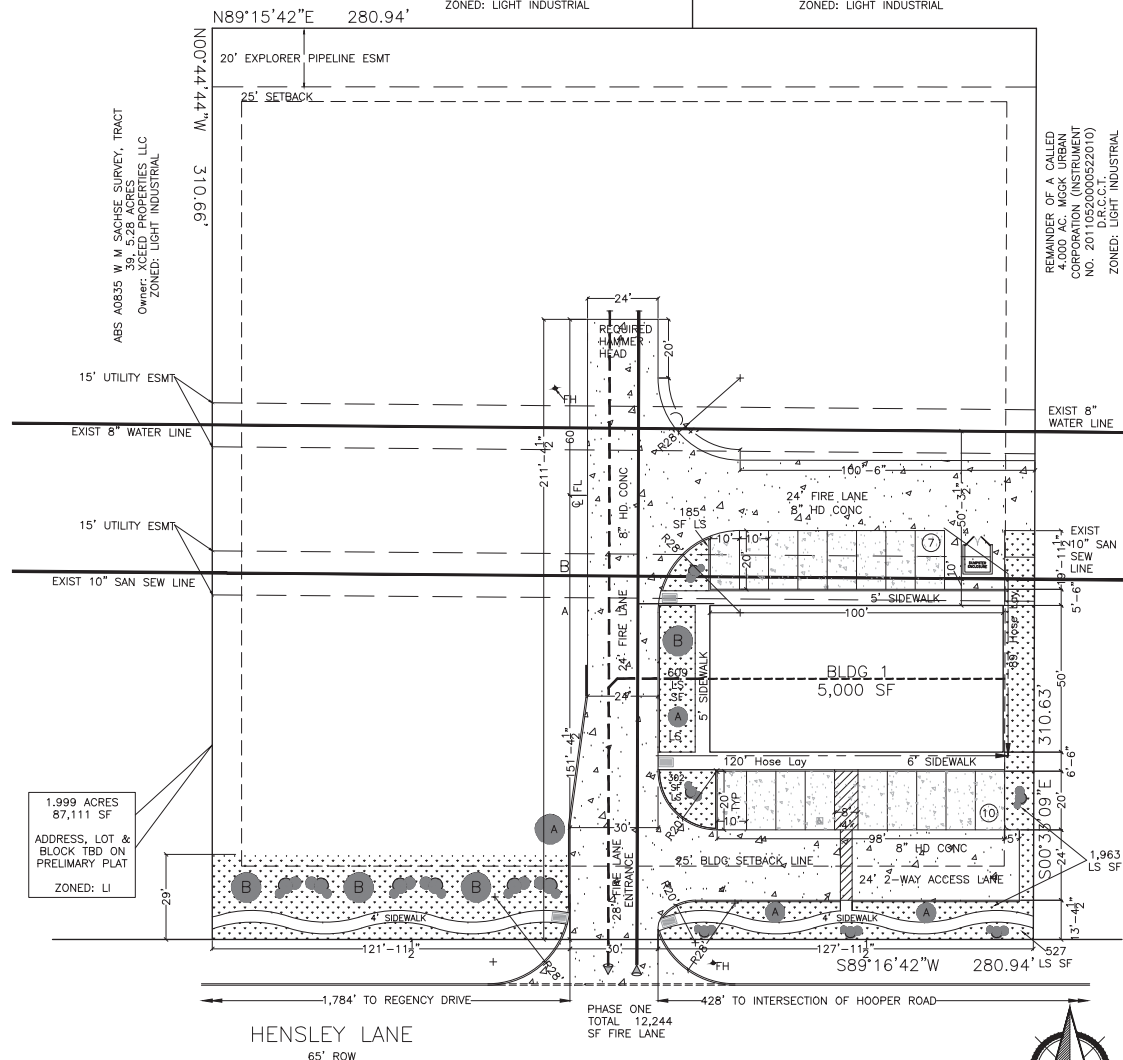
Figure 4-8 Landscape Design Requirements

Yes/No	Element	Base Standards (all development must comply fully with all listed below.)	Desirable (Each development must select 4 of the 8 desirables listed below)	Yes/No
YES	Landscaping in Required Yards	1. At least 20 % of site shall be landscaped in NS, CR, CC, & BG Districts; 10% of site in CR & CC Districts of single buildings of 100,000 sq ft. or more; 10% of site in U and HI Districts.	1. Landscaping that exceeds the minimum by 10%.	YES
YES	—	2. Landscaping is required in the front yard.	2. Landscaping in side and rear yard not otherwise required.	YES
N/A	—	3. Landscaping is required in side and rear yards adjacent to, or across the street from residential.	—	—
YES	Landscaping of Parking Lots	1. Site plans requiring more than 12 spaces required to have 50 sq.ft. of landscaping per space.	1. Landscaping 10% or more in excess of 50 sq.ft./space.	YES
YES	—	2. No parking space further than 60 from landscaped area on site.	2. Parking lots with no space further than 40 feet from a landscaped area.	YES
N/A	—	3. Parking rows 12 spaces or longer shall have landscaped islands at end.	3. Landscaping pedestrian connection to main entrance.	YES
N/A	—	4. All parking rows shall have landscaped areas at least every 12 spaces.	—	—
YES	Visual Screening	1. Required screening in strip at least 5 wide, plants 3' in height when planted, include one flowering tree for every 20 linear feet of area.	—	—
YES	Landscaping of Street Frontages	1. At least 50% of required from yard developed as landscaping, at least 10' in width.	1. Use of rock walls or other natural landscape features.	NO
YES	—	2. Trees required in buffer in groves or belts on a 40 x 40 spacing.	2. Increase in minimum width of landscape buffer by 20%.	NO
YES	—	3. Required trees at least 2' in canopy.	3. Provision of special benches, pedestrian lighting other streetscape elements.	NO
—	—	4. At least 4' of landscaping concrete walkway on perimeter when adjacent to thruway/arterial.	—	—



ABS A0835 W M SACHSE SURVEY, TRACT
39, 5.28 ACRES
Owner: XCEED PROPERTIES LLC
ZONED: LIGHT INDUSTRIAL

ABS A0835 W M SACHSE SURVEY, TRACT 41,
1.397 ACRES; ROY-LAV-W PLANO ROW
ONCOR ELECTRIC DELIVERY COMPANY
ZONED: LIGHT INDUSTRIAL



FATHULLAH PROJECT

SHEET
C1
OF

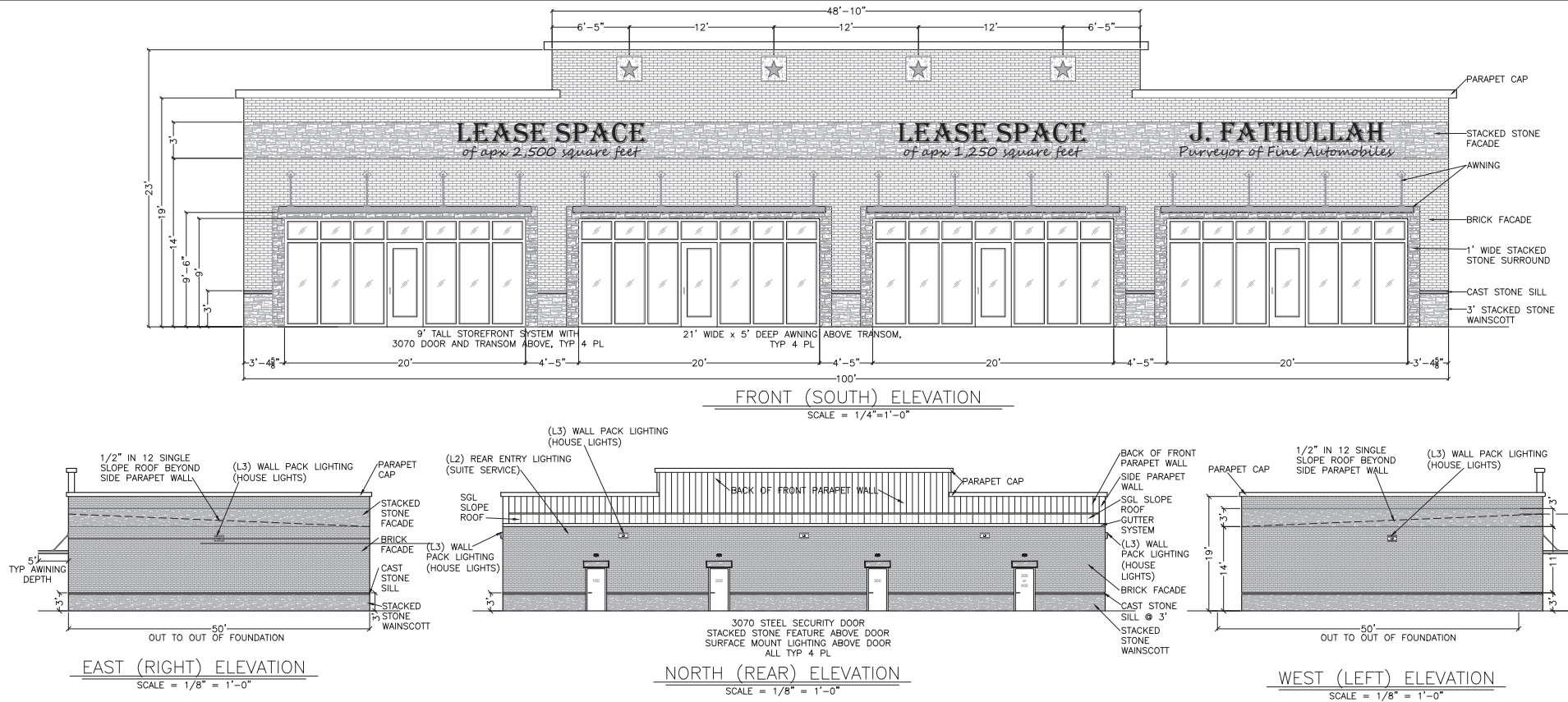


Figure 4-9 Architectural Design Requirements

YES NO N/A	Element	Base Standard (all development must comply fully with all listed below.)	Desirable (Each development must select 4 of the 8 desirables listed below.)	YES NO N/A
YES	Building Materials	1. Buildings constructed of a masonry product with at least 20% stone on front facade in NS, CR, CC, BG, LI and HI Districts. Tilt wall construction is permissible in LI and HI districts.	1. Use of two complementary primary facade materials to help achieve facade articulation, visual variety and/or architectural detailing.	YES
N/A		2. Roofs with pitch greater than 2:12 use specified roofing materials.	2. Copy same style entire block.	
N/A		3. Buildings should copy architectural styles and details, design themes, building materials, and colors of the surrounding new development context w/in 200 ft of a corner.		YES
YES	Building Articulation, Form, and Massing	1. Walls not exceed height width ratio of 1 to 2 without variation in massing of facade. At least 25% of facade offset at least 4'.	1. Application of base standards to facades not facing a public street.	YES
YES		2. Entrances must be emphasized with architectural elements.	2. Use of Architectural detailing and/or materials to provide variety in visual appearance.	YES
N/A		3. Ground floor facades in NS, CR, & CC Districts required specified features along 60% of length.		
N/A	Architectural Compatibility	1. Buildings in the NS and CR Districts shall be architecturally compatible with surrounding neighborhoods.	1. Buildings with pitch roofs meeting minimum requirement of residential development.	NO
N/A		2. Buildings in CC & BG Districts adjacent or within 200 of residential areas shall be architecturally compatible.	2. Buildings with hip roof sections, dormers or two or more gable roof sections at right angles to each other.	NO

FACADE CALCULATIONS

FRONT (SOUTH) FACADE CALCULATIONS				WEST (LEFT) FACADE CALCULATIONS			
DESCRIPTION	SP	%		DESCRIPTION	SP	%	
FRONT FACADE, BRICK	478	63%		WEST FACADE, BRICK	648	69%	
FRONT FACADE, ROCK	453	62%		WEST FACADE, ROCK	268	31%	
FRONT FACADE, GLASS	224	30%		WEST FACADE, GLASS	0	0%	
FRONT FACADE TOTAL	1155	100%		WEST FACADE TOTAL	916	100%	
REAR (NORTH) FACADE CALCULATIONS				EAST (RIGHT) FACADE CALCULATIONS			
DESCRIPTION	SP	%		DESCRIPTION	SP	%	
REAR FACADE, BRICK	1020	93%		EAST FACADE, BRICK	648	69%	
REAR FACADE, ROCK	63	6%		EAST FACADE, ROCK	268	31%	
REAR FACADE, GLASS	77	7%		EAST FACADE, GLASS	0	0%	
REAR FACADE TOTAL	1160	100%		EAST FACADE TOTAL	916	100%	



Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>2</u>
Department:	<u>Planning</u>	Subdivision:	<u>Wellstar Addition</u>
Prepared By:	<u>Kevin Molina</u>	Zoning District:	<u>Light Industrial (LI)</u>
Date Prepared:	<u>December 14, 2021</u>	Exhibits:	<u>Site Plan, Landscape Plan, Elevations</u>

Subject

Consider, and act upon, a Site Plan for an office showroom/warehouse use on 2.31 acres, generally located east of the cul-de-sac of Capital street.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Wellstar Properties

APPLICANT: Better Design Resources

The applicant is proposing to develop two office/warehouse buildings measuring 15,950 sq.ft and 12,100 sq.ft. on 2.31 acres located east of the cul-de-sac of Capital Street.. The property is zoned Light Industrial and allows for the office showroom/warehouse use. A preliminary plat is also on the consent agenda to create Lot 1, Block A of Wellstar Addition.

The development requires a minimum of 38 parking spaces for the office showroom/warehouse use and is providing 38 parking spaces with two of them being a handicapped spaces.

Access to the site is proposed from a drive that connects to Capital Street. The access lanes on the site plan are shown as having an opening of 30' wide and a width of 30' when adjacent to overhead doors. This extra width is provided to accommodate truck maneuverability.

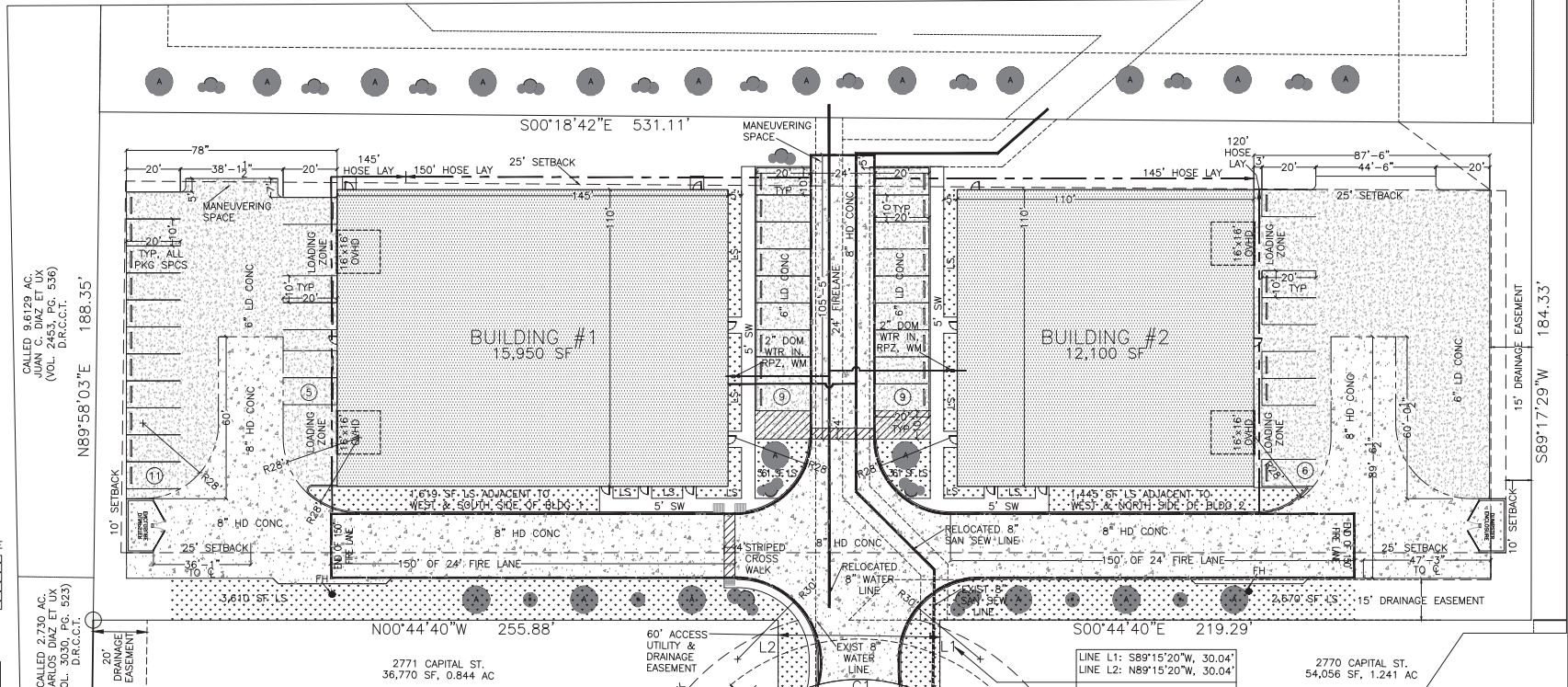
The entire site provides 10% of landscaped area which includes a 10' landscape buffer along the frontage of Capital Street. The structure's exterior material consists of Hardie cementitious lap, Stone, Stucco, metal panels, and glass. Awnings are also provided at all main entryways

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Approved By

	<i>Initial</i>	<i>Date</i>
Department Director	<u>JH</u>	<u>December 15, 2021</u>



CALL 9.6129 AC.
JUAN C. DIAZ ET UX
(VOL. 2453, PG. 536)
D.R.C.C.T.

CALL 2.730 AC.
CARLOS DIAZ ET UX
(VOL. 3030, PG. 523)
D.R.C.C.T.

HATCH AREA LEGEND

LD CONCRETE HD CONCRETE LANDSCAPE

TREE-SHRUB LEGEND

CREPE MYRTLE & EVERGREEN SHRUB
3" MIN TALL & MIN 3" SPREAD WHEN PLANTED.
SMALL TREES: RED BUD OR CEDAR ELM
3" CALIPER MIN
LARGE TREES: LIVE OAK, RED OAK, BURR OAK, PECAN, OR SOUTHERN MAGNOLIA
3" CALIPER MIN

Figure 4-7 Site Design Requirements

Element	Base Standard (Each development must comply fully with all listed below.)	Desirable (Each development must select 4 of the 8 desirables listed below.)	YES NO N/A
Building Placement	1. Entrances and/or facades oriented to the street. 2. Building footprints no greater than 20,000 square feet in NS and CC Districts. 3. Multiple buildings placed to create plazas, courtyards, landscaped areas w/connecting walkways.	1. Building at the front yard line. 2. Individual buildings w/footprints = or < 10,000 square feet. 3. Front facade oriented to the street.	NO NO YES
Parking Placement	1. Parking spaces at least 10' from residential lot line.	1. Site plan with no more than 50% of parking in front of the building. 2. Building with no more than one row parking in front.	YES YES
Access Drives	1. Minimum width drive of 24', turning radius of 25'. 2. Access drive at least 150' from intersection. 3. Access drives serving developments greater than 30,000 sq.ft. shall have separated median, or be separated at least 150' from each other. 4. Landscaped treatment of entrances.	1. Combined access points with adjacent streets. 2. Direct connection between buildings and street.	N/A NO
Location of Service and Loading Areas	1. Service and loading areas shall not be visible from a public street or adjacent residential lot. 2. Developments unable to meet the above are required to have masonry screening walls w/gates.	1. Not visible from public street but provide masonry screening.	YES

Figure 4-8 Landscape Design Requirements

Element	Base Standard (all development must comply fully with all listed below.)	Desirable (Each development must select 4 of the 8 desirables listed below.)	YES NO N/A
Landscape in Required Yards	1. At least 20% of site shall be landscaped in NS, CC, CC, & BG Districts; 10% of site in CC & CC Districts for single buildings of 100,000 sq. ft. or more; 10% of site in LI and HI Districts.	1. Landscaping that exceeds the minimum by 10%. 2. Landscaping in side and rear yard not otherwise required.	NO YES
Landscape of Parking Lots	1. Site plans requiring more than 12 spaces required to have 50 sq.ft. of landscaping per space. 2. No parking spaces further than 60' from landscaped area on site. 3. Parking rows 12 spaces or longer shall have landscaped islands at ends. 4. All parking rows shall have landscaped areas at least every 12 spaces.	1. Landscaping 10% or more in excess of 50 sq.ft./space. 2. Parking lots with no space further than 40 feet from a landscaped area. 3. Landscaped pedestrian connection to main entrances.	YES YES YES
Visual Screening	1. Required screening in strip at least 5' wide, planted, include one flowering tree for every 20 linear feet of area.	1. Use of rock walls or other natural landscape features. 2. Increase in minimum width of landscape buffer by 20%. 3. Provision of special benches, pedestrian lighting other streetscape elements.	NO NO NO
Landscaping of Street Frontages	1. At least 50% of required front yard developed as landscaped buffer, at least 10' in width. 2. Trees required in buffer, in groups or belts on a 30'-40' spacing. 3. Required trees at least 3" in caliper. 4. At least 4' masonry concrete walkway on perimeter when adjacent to thruway.		YES YES YES YES

NOTES:

- SUMMARY:** GROUND UP CONSTRUCTION FOR ONE APX 12,100 SF & ONE APX 15,950 SF STRUCTURES WITH ASSOCIATED SITE PREP, CONCRETE, & LANDSCAPING.
- PROPOSED DEVELOPMENT IS SCHEDULED UPON RECEIPT OF THE CIVIL PERMIT TO PROCEED.** CURRENT ESTIMATE IS FOR A JAN/FEB CONSTRUCTION TIMEFRAME.
- CONTACT INFO:** PROPERTY OWNER: WELLSTAR PROPERTIES, LLC, 15119 MEMORIAL DR., STE 201, HOUSTON, TX 77079, PH:

800-392-3829. CONTACT: CHRIS DE LA MORA, PRES., CEDELMORAB@WELLSTARPROPERTIES.COM

ENGINEERING: SCOTT MCMAHON PE, COLE DESIGN GROUP INC., 6175 MAIN STREET, FRISCO, TX 75034, SMCMAHON@COLETX.COM, 972-624-6000

SURVEYOR: FRED BEMENDERFER RPLS, ROOMIE INC., 2000 AVENUE G, SUITE 810, PLANO, TX 75074, FRED@ROOMIEINC.COM, 972-423-4372

DESIGN PROFESSIONAL / PROJECT MANAGER:

BRYAN ROGERS, BETTER DESIGN RESOURCES, P.O. BOX 1454, WYLE, TX 75098, BRYAN@BETTERDESIGNRESOURCES.COM, 214-773-6460

PROPOSED USE: OFFICE-SHOWROOM/WHSE AND SHELL

GROSS LOT AREA = 2.311 AC OR 100,647 SF
LANDSCAPING REQD = 10% OR 10,065 SF.
TOTAL LANDSCAPE PROVIDED = 10,067 SF.

LOT COVERAGE: GROSS LOT AREA = 2.311 AC OR 100,647 SF

BUILDING #1 @ 15,950 SF + BUILDING #2 @ 12,100 SF = 28,050 SF, OR 28% LOT COVERAGE.

PARKING REQUIREMENTS: 28,050 TOTAL GROSS (2) BUILDING SF WITH A USE OF OFFICE/SHOWROOM/WAREHOUSE.

BUILDING #1: 15,950 SF GROSS SF, COMPRISED OF 1,575 SF OFFICE SPACE & 14,375 SF WAREHOUSE SPACE. 15,950 SF @ 1:750 SF = 21.26 SPACES

BUILDING #2: TOTAL 12,100 SF GROSS SF, COMPRISED OF 1,575 SF OFFICE SPACE & 10,525 SF WAREHOUSE SPACE. 12,100 SF @ 1:750 SF = 16.13

TOTAL PARKING REQUIRED FOR BUILDING 1 & 2 = 38
TOTAL PARKING SUPPLIED = 38

ZONING: LIGHT INDUSTRIAL



VICINITY MAP
SCALE = NONE

DRAWING REV: FOR CONSTRUCTION

DRAWN BY: Bryan D. Rogers

DATE: 12-14-2021

SHEET
C1
OF

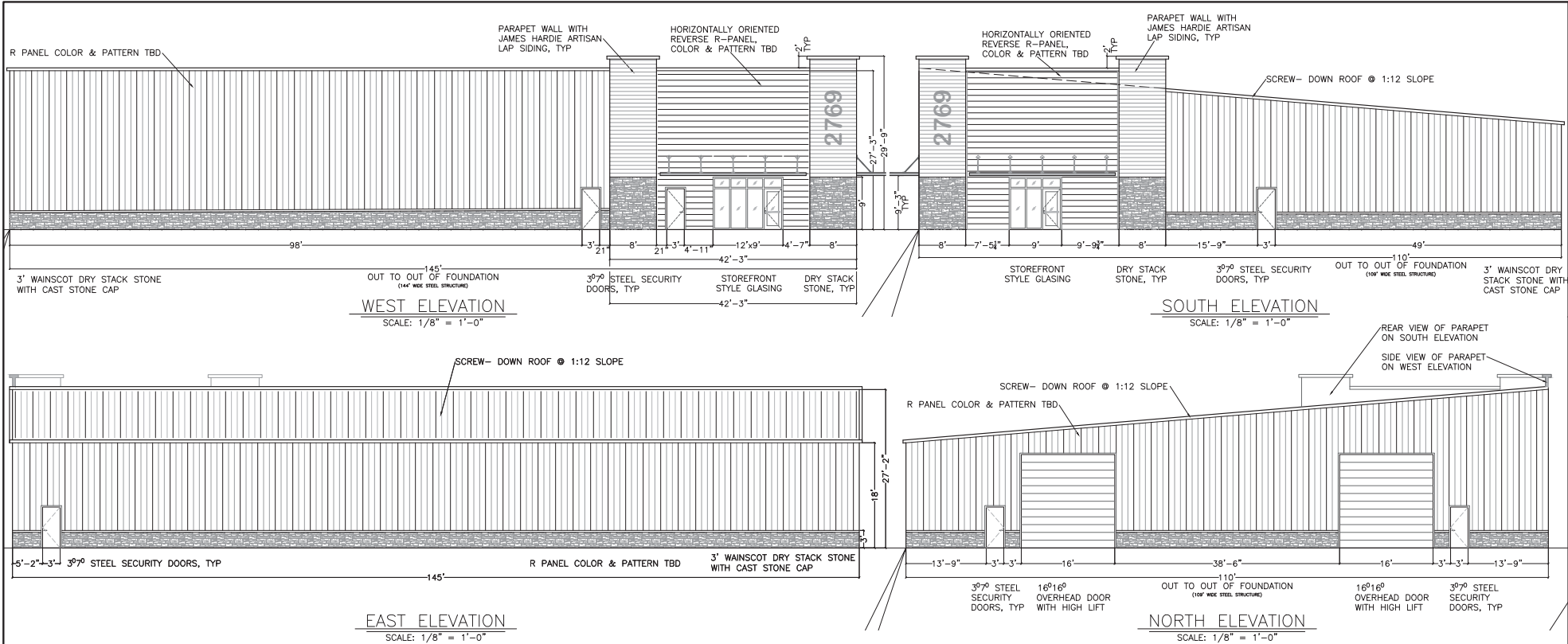


Figure 4-9 Architectural Design Requirements

YES NO N/A	Element	Base Standard (all development must comply fully with all listed below.)	Desirable (Each development must select 4 of the 8 desirables listed below)	YES NO N/A
YES	Building Materials	1. Buildings constructed of a masonry product with at least 20% stone on front facade in NS, CR, CC, BG, LI and HI Districts. Tilt wall construction is permissible in LI and HI districts.	1. Use of two complementary primary facade materials to help achieve facade articulation, visual variety and/or architectural detailing.	YES
N/A		2. Roofs with pitch greater than 2:12 use specified roofing materials.	2. Copy stone style entire block.	YES
YES		3. Buildings should copy architectural styles and details, design themes, building materials, and colors of the surrounding new development context w/in 200 ft of a corner.		YES
YES	Building Articulation, Form, and Massing	1. Walls not exceed height width ratio of 1 to 2 without variation in massing of facade. At least 25% of facade offset at least 4'.	1. Application of base standards to facades not facing a public street.	YES
YES		2. Entrances must be emphasized with architectural elements.	2. Use of Architectural detailing and/or materials to provide variety in visual appearance.	YES
N/A		3. Ground floor facades in NS, CR, & CC Districts required specified features along 60% of length.		YES
N/A	Architectural Compatibility	1. Buildings in the NS and CR Districts shall be architecturally compatible with surrounding neighborhood.	1. Buildings with pitch roofs meeting minimum requirement of residential development.	NO
N/A		2. Buildings in CC & BG Districts adjacent or within 200' of residential areas shall be architecturally compatible.	2. Buildings with hip roof sections, dormers or two or more gable roof sections at right angles to each other.	NO

NOTES:

- SUMMARY:** GROUND UP CONSTRUCTION OF BUILDING #1 OF 4, A 5,000 SF SINGLE STORY STRUCTURE AND ASSOCIATED SITE PREP, PARKING, AND LANDSCAPING.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF WYLE, COLLIN COUNTY, TEXAS.
- ARTICLES, SECTIONS, OR TABLES REFERRED TO HEREIN ARE TAKEN FROM CODES LISTED BELOW. CONSTRUCTION MUST COMPLY WITH:
2015 INTL BUILDING CODE (IBC)
2015 INTL MECHANICAL CODE (IMC)
2015 INTL PLUMBING CODE (IPC)
2015 INTL FIRE CODE (IFC)
2017 INTL ELECTRIC CODE (NEC)
2015 INTL ENERGY CONSERV CODE (IECC)
TEXAS ACCESSIBILITY STANDARDS
CITY OF WYLE ORDINANCES & AMENDMENTS
- PROPOSED DEVELOPMENT IS SCHEDULED UPON RECEIPT OF THE CIVIL PERMIT TO PROCEED. CURRENT ESTIMATE IS FOR A JANUARY CONSTRUCTION TIMEFRAME.

5. CONTACT INFO:
PROPERTY OWNER:
JAILI FATHULLAH, 1111 SUMMIT AVE, SUITE 6, PLANO TX 75074, 214-505-9731, J_05_FATH@YAHOO.COM
ENGINEER:
SCOTT MCMAHON PE, COLE DESIGN GROUP INC.,

6175 MAIN STREET, FRISCO, TX, 75034,
SMCMAHON@COLETX.COM, 972-624-6000

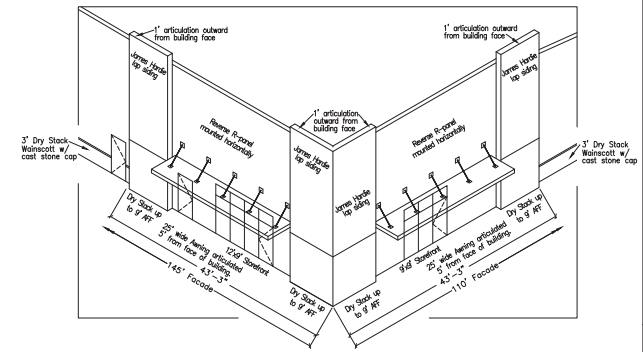
SURVEYOR: FRED BEMENDERFER RPLS, ROOME INC.,
2000 AVENUE G, SUITE 810, PLANO, TX 75074,
FRED@ROOMEINC.COM, 972-423-4372

DESIGN PROFESSIONAL / PROJECT MANAGER:
BRYAN ROGERS, BETTER DESIGN RESOURCES,
P.O. BOX 1454, WYLE, TX 75098,
BRYAN@BETTERDESIGNRESOURCES.COM,
214-773-6460

- PROPOSED USE: GENERAL OFFICE & SHELL
- LANDSCAPE REQUIREMENTS:
LANDSCAPING REQD = 10%
PHASE 1 AREA OF CONSTRUCTION = 26,891 SF OR 0.617 AC.
2015 INTL FIRE CODE (IFC)
2015 INTL ENERGY CONSERV CODE (IECC)
TEXAS ACCESSIBILITY STANDARDS
CITY OF WYLE ORDINANCES & AMENDMENTS
- GROSS LOT AREA = 87,111 SF OR 1.9997 AC.
PHASE 1 AREA OF CONSTRUCTION = 26,891 SF OR 31% OF ENTIRE LOT.
BUILDING #1 = 5,000 SF, 19% OF PHASE 1 CONSTRUCTION AREA OR 6% OF ENTIRE LOT.
- MASONRY:
SOUTH/FRONT ELEV = 1,257 SF MASONRY OR 25% OF FACADE.
WEST ELEV = 774 SF MASONRY OR 20% OF FACADE.

FACADE CALCULATIONS

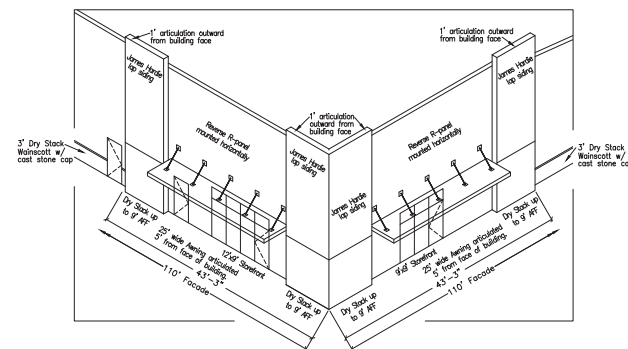
WEST FACADE DESCRIPTION	SF	%
WALLS (CONCRETE)	181	10%
GLASS (WALLS)	315	18%
GLASS (DOORS)	100	6%
WALLS (BRICK)	100	6%
WALLS (STONE)	100	6%
WALLS (TOTAL)	696	40%
ROOF (SHED)	32	0%
WALLS (CONCRETE)	32	0%
GLASS (WALLS)	315	18%
GLASS (DOORS)	100	6%
WALLS (BRICK)	100	6%
WALLS (STONE)	100	6%
WALLS (TOTAL)	647	36%
ROOF (SHED)	32	0%
WALLS (CONCRETE)	32	0%
GLASS (WALLS)	315	18%
GLASS (DOORS)	100	6%
WALLS (BRICK)	100	6%
WALLS (STONE)	100	6%
WALLS (TOTAL)	647	36%



VICINITY MAP
SCALE = NONE

DRAWING REV:
FOR:
CONSTRUCTION
DRAWN BY:
Bryan D. Rogers
DATE:
12-08-2021

BLDG #1 ELEVS
SHEET 1-A1 OF BLDG# - SH#

[illegible]

NOTES:

YES NO N/A	Element	Base Standard (all development must comply fully with all listed below.)	Desirable (Each development must select 4 of the 8 desirables listed below.)	YES NO N/A
	Building Materials	Buildings constructed of a masonry product with at least 25% aggregate in facade in NS, CR, CC, BG, LI and HI Districts. Tilt wall construction is permissible in LI and HI districts.	1. Use of two complementary primary facade materials to help articulate, visual variety and/or architectural detailing. 2. Copy same style entire block.	YES NO N/A
N/A		2. Roofs with pitch greater than 2:12 are specified roofing materials.		
YES		3. Buildings should copy architectural styles and details, design themes, building materials, and colors of the surrounding new development corner w/in 200' of a corner.		YES
Building Articulation, YES Missing		1. Walls not exceed height with ratio of 1 to 2 with variation in massing of facade. At least 25% of facade at least 4'.	1. Application of base standards to facades not facing a public street. 2. Use of Architectural materials and/or materials to provide variety in visual appearance.	YES
YES		2. Entrances must be emphasized with architectural elements.		
N/A		3. Ground floor facades in NS, CR, & CC Districts require specified features along 60% of length.		
N/A	Architectural Compatibility	1. Buildings in the NS and CR Districts shall be architecturally compatible with surrounding neighborhoods. 2. Buildings in CC & BG Districts adjacent or within 200' of residential areas shall be architecturally compatible.	1. Buildings with pitch roofs meeting minimum requirement of residential development. 2. Buildings with high roof sections, dormers or other features that create sections at right angles to each other.	NO NO NO

1. SUMMARY: GROUND UP CONSTRUCTION OF A 12,100 SF SINGLE STORY STRUCTURE AND ASSOCIATED SITE PREP, PARKING, AND LANDSCAPING.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, OR FEDERAL LAW AND APPLICABLE CONSTRUCTION CODES AS CURRENTLY RECOGNIZED BY THE CITY OF WYLIE, COLLIN COUNTY, TEXAS.

3. ARTICLES, SECTIONS, OR TABLES REFERRED TO
HEREIN ARE TAKEN FROM CODES LISTED BELOW.
CONSTRUCTION MUST COMPLY WITH:

- 2015 INTL BUILDING CODE (IBC)
- 2015 INTL MECHANICAL CODE (IMC)
- 2015 INTL PLUMBING CODE (IPC)
- 2015 INTL FIRE CODE (IFC)
- 2017 INTL ELECTRIC CODE (NEC)
- 2015 INTL ENERGY CONSERV CODE (IECC)
- TEXAS ACCESSIBILITY STANDARDS
- CITY OF WYJLE ORDINANCES & AMENDMENTS

4. PROPOSED DEVELOPMENT IS SCHEDULED UPON RECEIPT OF THE CIVIL PERMIT TO PROCEED. CURRENT ESTIMATE IS FOR A JANUARY CONSTRUCTION TIMEFRAME.

5. CONTACT INFO:
PROPERTY OWNER:
WELLSTAR PROPERTIES, 15119 MEMORIAL DRIVE,
SUITE 201, HOUSTON TX 77079, 800-392-3829,
CDELAMORA@WELLSTARPROPERTIES.COM

ENGINEER:
SCOTT MCMAHON PE, COLE DESIGN GROUP INC.,
6175 MAIN STREET, FRISCO, TX, 75034,
SMCMAHON@COLETX.COM, 972-624-6000

SURVEYOR: FRED BEMENDERFER RPLS, ROOME INC.,
2000 AVENUE G, SUITE 810, PLANO, TX 75074,
FRED@ROOMEINC.COM. 972-423-4372

DESIGN PROFESSIONAL / PROJECT MANAGER:
BRYAN ROGERS, BETTER DESIGN RESOURCES,
P.O. BOX 1454, WYLIE, TX 75098,
BRYAN@BETTERDESIGNRESOURCES.COM,
214-773-6460

6. PROPOSED USE: OFFICE SHOWROOM WHSE

7. MASONRY:
NORTH ELEV CONTAINS 651 SF OF MASONRY OR
26% OF FRONT FACADE.
WEST ELEV CONTAINS 690 SF MASONRY OR 23% OF
STREET-FACING FACADE.



Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>3</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Kevin Molina</u>	Subdivision:	<u>Woodbridge Crossing Addition</u>
Date Prepared:	<u>December 08, 2021</u>	Zoning District:	<u>Planned Development 2021-15</u>
			<u>Site Plan, Landscape Plan,</u>
		Exhibits:	<u>Elevations</u>

Subject

Consider, and act upon, a Site Plan for a CareNow medical clinic. Property located at 3080 W FM 544.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Wylie Lackalnd, LLC

APPLICANT: Claymoore Engineering

The applicant is proposing to develop a 4,600 sq.ft medical clinic on 1.04 acres located on Lot 13R-1 Block A of Woodbridge Crossing Addition. The property is zoned within the Woodbridge Crossing Planned Development (PD 2021-15) which allows for the medical clinic use by-right.

The development requires a minimum of 16 parking spaces and is providing 39 parking spaces with two handicapped spaces. Planned Development 2021-15 allows for the parking spaces to be 9' X 18'.

The site is in compliance with the landscaping requirements by providing 25% of landscaped area. A 10' landscape buffer with a meandering sidewalk along the frontage of FM 544 is also provided.

Access to the site is proposed from a drive that connects to existing fire lanes east and west of the subject property.

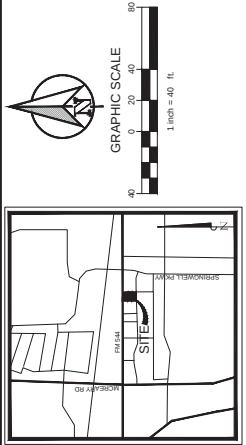
The structure's exterior material consists of EIFS, Metal Trim, Faux Wood Siding, Coronado Stone Products and ACM Panels.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and the Planned Development standards. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Approved By

	<i>Initial</i>	<i>Date</i>
Department Director	<u>JH</u>	<u>December 14, 2021</u>



VICINITY MAP
N.T.S.

PROPOSED DEVELOPMENT SCHEDULE	
ZONING PROCESS	NOVEMBER 2021-JANUARY 2022
CIVIL PLANS	JANUARY 2022-APRIL 2022
CONSTRUCTION	APRIL 2022-OCTOBER 2022

LEGEND	
[Pattern]	PROP. HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	PROP. STANDARD DUTY CONCRETE PAVEMENT
[Pattern]	PROP. DUMPSTER AREA CONCRETE PAVEMENT
[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED CONCRETE CURB AND GUTTER
[Symbol]	PARKING COUNT
[Symbol]	FULL-DEPTH SAWCUT
[Symbol]	FIRE LANE STRIPPING

CONSTRUCTION SCHEDULE	
1	SAW CUT FULL DEPTH EXISTING PAVEMENT
2	PROPOSED HAND-UP SYMBOL
3	PROPOSED PAVEMENT STRIPPING
4	PROPOSED HAND-UP SIGN
5	PROPOSED CONCRETE SIDEWALK
6	4" PARKING STALL STRIPING COLOR WHITE (TYP)
7	PROPOSED ADA RAMP
8	DUMPSTER WITH ENCLOSURE (REFER TO ARCHITECTURAL PLANS FOR DETAILS)

SITE DATA TABLE	
ZONING	PD
LOT	SR
PROPOSED USE	MEDICAL OFFICE
LOT AREA	46,113 SF (1.04 AC)
BUILDING AREA	4,650 SF
F-10' STORIES	1
LOT COVERAGE MAX	9.9%
LOT COVERAGE PROV.	10.3%
FLOOR AREA RATIO MAX	11.19 MAX
FLOOR AREA RATIO PROV.	10.3
PARKING REQUIRED (1 PER 300 SF)	16 SPACES (1,404)
PARKING PROVIDED	39 SPACES (2,424)
TOTAL PERVIOUS	23,792 SF (57%)
TOTAL IMPERVIOUS	23,324 (54%)

SITE PLAN

CARENOW WYLLIE
LEGAL DESCRIPTION:
LOT 13R-1 BLOCK A CROSSING ADDITION
WYLLIE, TEXAS

CITY	WYLLIE	STATE	TEXAS
COUNTY	COLLIN	SURVEY	WILLIAM SACHSE
SUBMITTAL LOG	12-1-2021	ABSTRACT NO.	885
CITY SUBMITTAL			

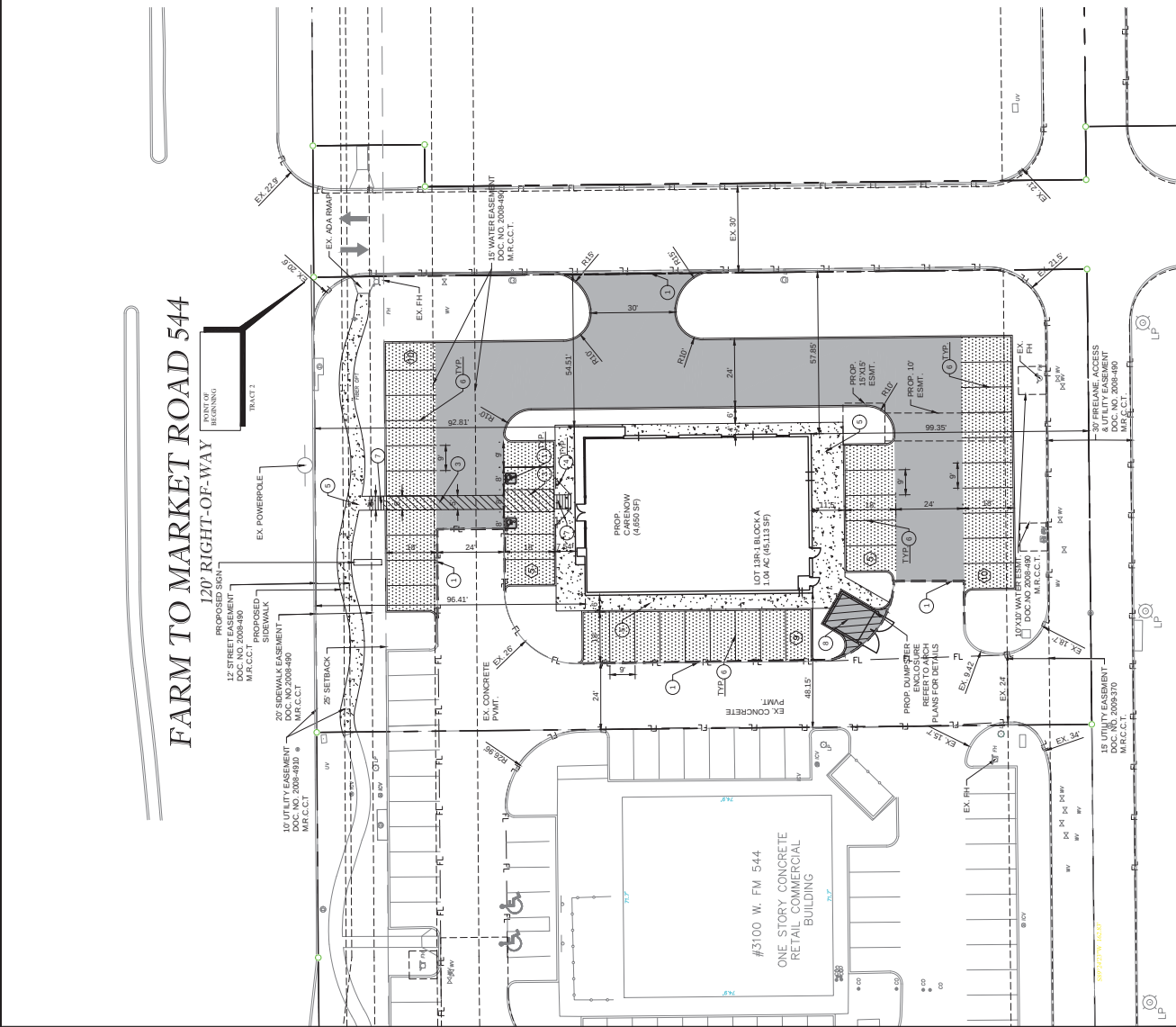
SURVEY

WINDROSE
1995 LAKEWAY DR, SUITE 220
LEWISVILLE, TX 75067
P.O. BOX 24217
LEWISVILLE, TX 75024
OWNER / DEVELOPER
WYLLIE LAKELAND, LLC
1903 CENTRAL DR
LEXINGTON, KY 40555

ENGINEER

WYLLIE LAKELAND, LLC
1903 CENTRAL DR
LEXINGTON, KY 40555
BEDFORD, TX 76021
CONTACT: CLAY CRISTY, PE
EMAIL: CLAY@CLAYMOOREENGINEERING.COM

TEMPORARY BENCHMARK #1:
TEMPORARY BENCHMARK #2:
TEMPORARY BENCHMARK #3:
TEMPORARY BENCHMARK #4:
TEMPORARY BENCHMARK #5:
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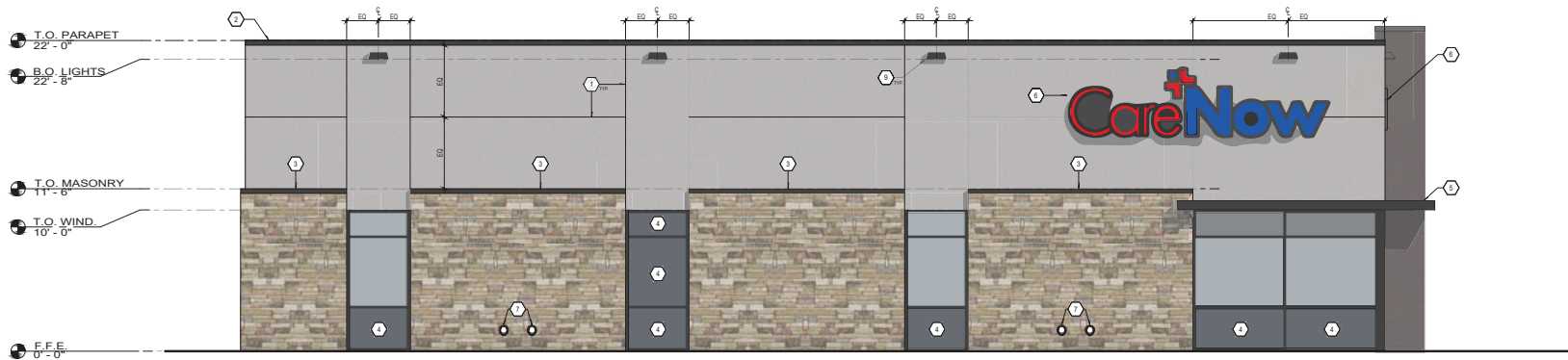


EXTERIOR ELEVATION KEY NOTES	
1	STUCCO REVEAL, RE: A15.1 TYPICAL DETAILS
2	COMPRESSION CLIP, COLOR TO MATCH STOREFRONT
3	METAL FLASHING TRIM, RE: A16.0 MATERIAL SCHEDULE
4	SPANDREL GLAZING PANEL, RE: A16.0 MATERIAL SCHEDULE
5	PRE-MANUFACTURED AWNING, RE: A16.0 SPECIALTIES SCHEDULE
6	SIGNAGE FURNISHED AND INSTALLED BY OWNER, VERIFY BLOCKING REQUIREMENTS WITH SIGNAGE MANUFACTURER
7	LAMP'S TONGUE, RE: A15.1 TYPICAL DETAILS
8	STONE VENEER WATER TABLE, RE: A16.0 MATERIAL SCHEDULE
9	LIGHT FIXTURE, RE: ELECTRICAL
10	RETURN COMPRESSIONCLIP BACK @ OPENING
11	RETURN ST-1 FINISH BACK @ OPENING
12	LADDER (C/C), PROVIDE WITH SECURITY PANEL

EXTERIOR MATERIAL LEGEND	
	PT-1 EIFS SHERWIN-WILLIAMS SW 6002 ESSENTIAL GRAY
	MT-1 METAL TRIM COLOR TO MATCH STOREFRONT
	WD-1 FAUX-WOOD SIDING (SPEC TO MATCH DEVELOPER STANDARD)
	ST-1 CORONADO STONE PRODUCT ROCK FACE LEDGESTONE COLOR BUCK COUNTY
	ACM-1 ACM PANELS ALUCOBOND USA BRUSHED DARK BRONZE (COLOR TO MATCH STOREFRONT)



2 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

CARE NOW
URGENT CARE CENTER - WYLLIE

FM 344 SPRINGWELL PKWY

WYLLIE, TEXAS 75098

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION.

LINDSAY J. WORKS
12.03.2021

Date
12.03.2021

Polkington Group Architects, Inc.
248 ADDIE BOY ROAD, SUITE B-301 AUSTIN TX 78746
UNITE 440 379 3886-541111 nash@polkington.com

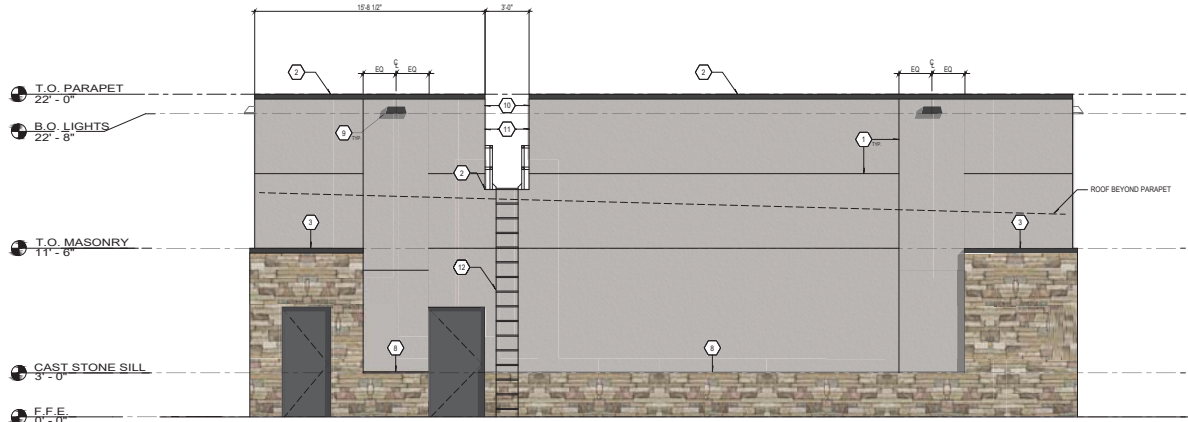
Project No.
21116
Sheet No.

A5.1
Sheet Title

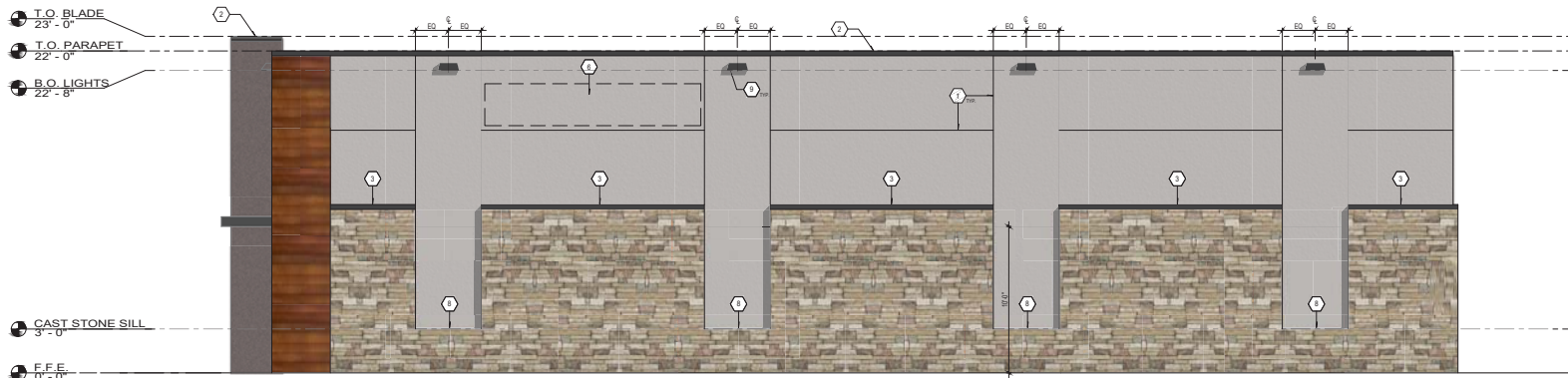
Exterior Elevations

EXTERIOR ELEVATION KEY NOTES	
1	STUCCO REVEAL, RE: A15.1 TYPICAL DETAILS
2	COMPRESSION CLIP, COLOR TO MATCH STOREFRONT
3	METAL FLASHING TRIM, RE: A16.0 MATERIAL SCHEDULE
4	SPANDREL GLAZING PANEL, RE: A16.0 MATERIAL SCHEDULE
5	PRE-MANUFACTURED AWNING, RE: A16.0 SPECIALTIES SCHEDULE
6	SIGNAGE FURNISHED AND INSTALLED BY OWNER, VERIFY BLOCKING REQUIREMENTS WITH SIGNAGE MANUFACTURER
7	LAMP'S TONGUE, RE: A15.1 TYPICAL DETAILS
8	STONE VENEER WATER TABLE, RE: A16.0 MATERIAL SCHEDULE
9	LIGHT FIXTURE, RE: ELECTRICAL
10	RETURN COMPRESSIONCLIP BACK @ OPENING
11	RETURN ST-1 FINISH BACK @ OPENING
12	LADDER (C/C), PROVIDE WITH SECURITY PANEL

EXTERIOR MATERIAL LEGEND	
	PT-1 EIFS SHERWIN-WILLIAMS SW 6002 ESSENTIAL GRAY
	MT-1 METAL TRIM COLOR TO MATCH STOREFRONT
	WD-1 FALKUS WOOD SIDING (SPEC TO MATCH DEVELOPER STANDARD)
	ST-1 CORONADO STONE PRODUCT ROCK FACE LEDGESTONE COLOR: BUCK COUNTY
	ACM-1 ACM PANELS ALUCOBOND USA BRUSHED DARK BRONZE (COLOR TO MATCH STOREFRONT)



2 BACK ELEVATION
SCALE: 1/4" = 1'-0"



1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

CARE NOW
URGENT CARE CENTER - WYLIE

FM 344 SPRINGWELL PKWY

WYLIE, TEXAS 75098

NOT FOR REGULATORY
APPROVAL, PERMITTING,
OR CONSTRUCTION.

LINDSAY J. WORKS
12.03.2021

Date
12.03.2021

Polkington Group Architects, Inc.
248 ADDIE ROY ROAD, SUITE B-301 AUSTIN, TX 78746
PHONE: 512.377.8888 FAX: 512.377.8889
WWW.POLKINGTONGROUPARCHITECTS.COM

Project No.
21116
Sheet No.

A5.2
Sheet Title

Exterior Elevations



Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>4</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Kevin Molina</u>	Subdivision:	<u>Westgate Center Phase One</u>
Date Prepared:	<u>December 08, 2021</u>	Zoning District:	<u>Commercial Corridor (CC)</u>
			<u>Site Plan, Landscape Plan,</u>
		Exhibits:	<u>Elevations</u>

Subject

Consider, and act upon, a Site Plan amendment for an addition to a Tractor Supply general merchandise use. Property located at 900 S Westgate Way.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Campbell Properties Ltd

APPLICANT: Onpoint Commercial Design

The applicant is proposing to develop a 5,296 sq.ft addition for an existing Tractor Supply located at 900 S Westgate Way. The addition is within an existing outside storage area. The property is zoned within the Commercial Corridor district and the use is allowed by right.

The original site plan for the Tractor Supply was approved in February of 2001. A site plan amendment is required due to Section 8.1.D of the Zoning Ordinance requiring review by the Planning and Zoning Commission as the requested project is increasing the maximum density, floor area or height of the originally approved site plan.

The development requires a total of 60 parking spaces and is providing 62 parking spaces with four of them being handicapped spaces. The site maintains 24% of landscaped area. An existing landscape buffer is located along the street frontage of Westgate Way.

Access to the site is proposed from two existing drives that connect to Westgate Way. The site plan also includes the addition of a fencing and gate for the outdoor sales area. The greenhouse and storage areas's exterior material consists of polycarbonate panels, metal siding and roll up curtains.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Approved By

Department Director

Initial
JH

Date
December 14, 2021

C2.

DATE	12/21/2021
BY	AL
APP'D	
REVIEWED	
DATE	12/21/2021
BY	AL
APP'D	
REVIEWED	
DATE	12/21/2021
BY	AL
APP'D	
REVIEWED	
DATE	12/21/2021
BY	AL
APP'D	
REVIEWED	

LANDSCAPE PLAN

SITE CONSTRUCTION DOCUMENTS
TRACTOR SUPPLY CO. STORE #539
900 WESTGATE WAY
WYLLIE, TX 75098

ALEXANDER F. ZUENDT
PROFESSIONAL ENGINEER
NO. 10000000000000000000
STATE OF TEXAS
EXPIRATION DATE 12/31/2023
PROJECT # 24008
SHEET 10 OF 10

ZUENDT ENGINEERING
CIVIL & STRUCTURAL ENGINEERING
2000 N. DALLAS STREET, SUITE 200
DALLAS, TEXAS 75201
PHONE: 214.357.7272
FAX: 214.357.7273
WWW.ZUENDTENGINEERING.COM



VICINITY MAP

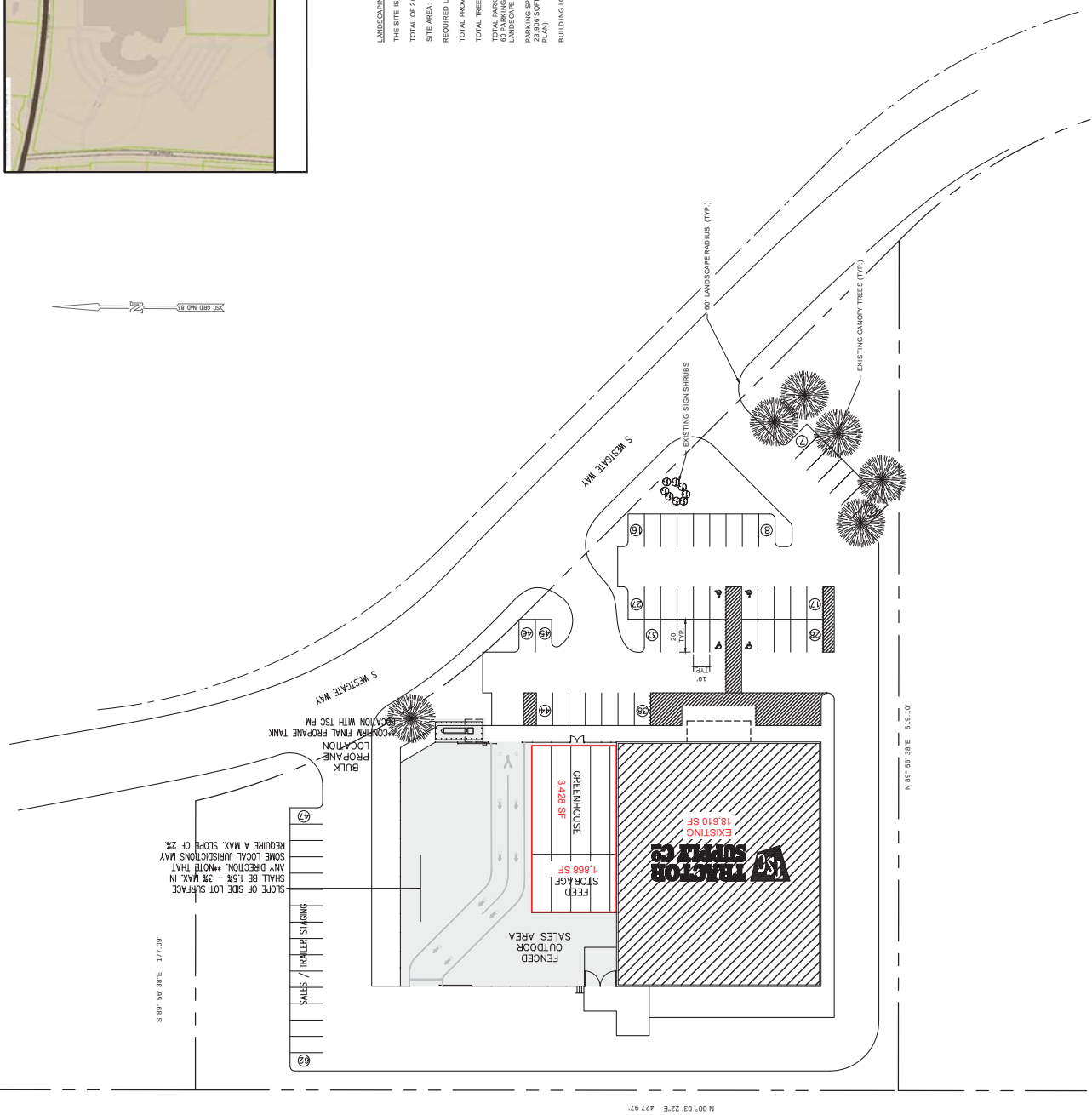
LANDSCAPING REQUIREMENTS:
THE SITE IS LOCATED IN A COMMERCIAL CORRIDOR ZONE
TOTAL OF 20% OF THE SITE IS REQUIRED TO BE LANDSCAPED
SITE AREA: 3.17 ACRES
REQUIRED LANDSCAPING AREA = 3.17 * 20% = .634 ACRES = 27,617 SQ-FT
TOTAL PROVIDED LANDSCAPING AREA = 31,449 SQ-FT = 0.78 ACRES
TOTAL TREES ON SITE (EXISTING) = 6 CANOPY TREES
TOTAL PARKING SPACES WITH LANDSCAPE ISLAND = 60 SPACES = 3,600 SQ-FT REQUIRED LANDSCAPING AREA.
PARKING SPACES REQUIRED IS 1 SPACE FOR EVERY 400 SQ-FT.
23,398 SQ-FT 400 SQ-FT = 60 PARKING SPACES REQUIRED (62 SHOWN ON PLAN)
BUILDING LOT COVERAGE PERCENTAGE = 5.78%

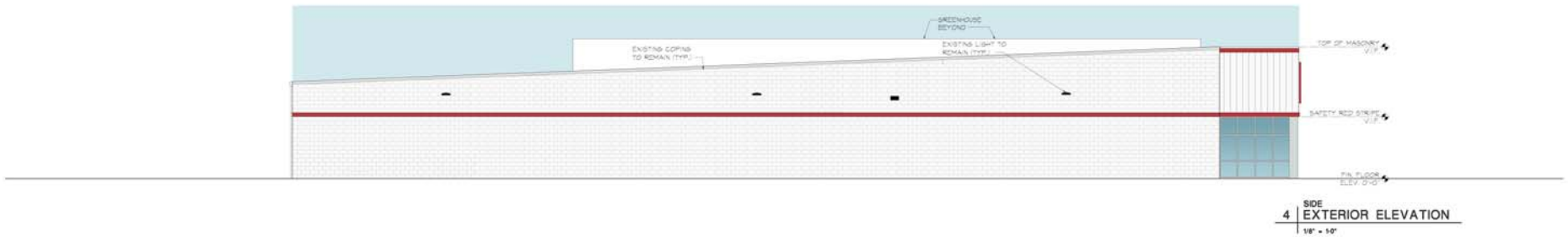
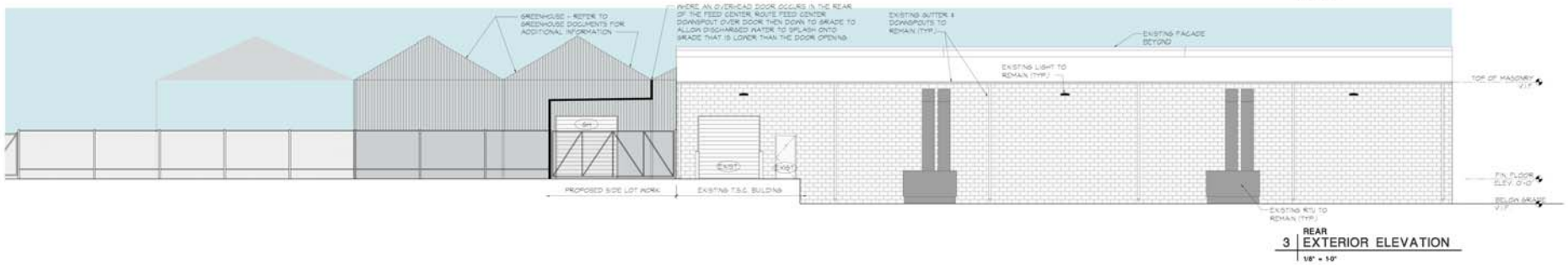
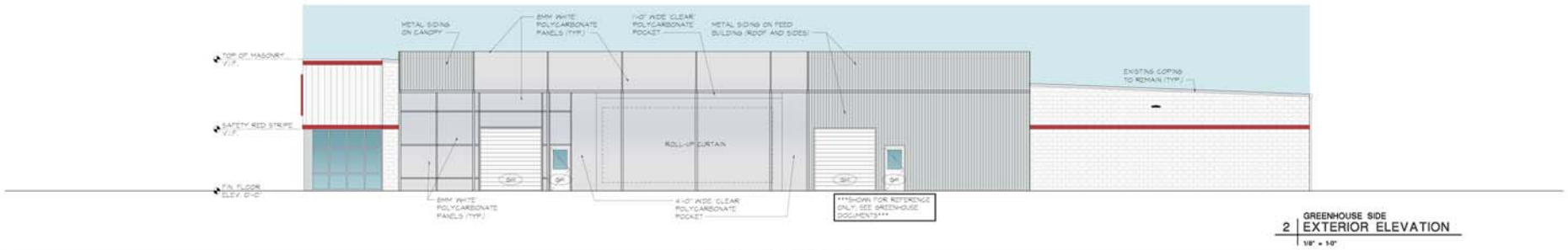
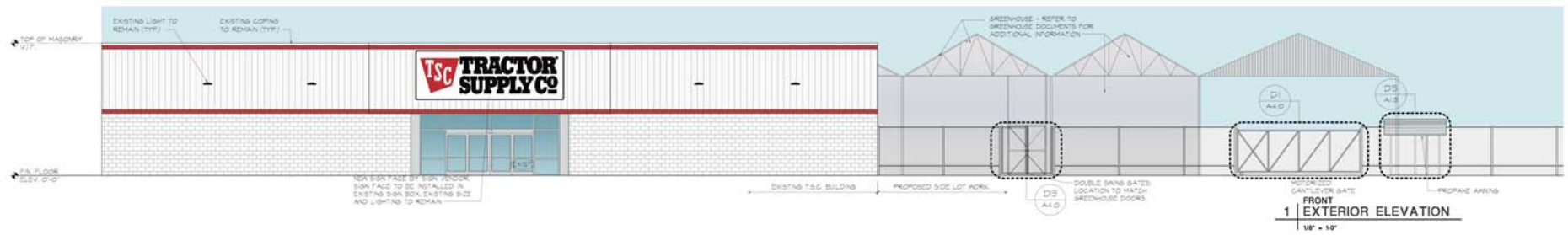
LEGEND

CANOPY TREE

UNDERSTORY TREE

SHRUB







Planning & Zoning Commission

AGENDA REPORT

Meeting Date:	<u>December 21, 2021</u>	Item:	<u>5</u>
Department:	<u>Planning</u>		
Prepared By:	<u>Kevin Molina</u>	Subdivision:	<u>Freddy's Addition</u>
Date Prepared:	<u>December 08, 2021</u>	Zoning District:	<u>Commercial Corridor (CC)</u>
		Exhibits:	<u>Zoning Exhibits</u>

Subject

Hold a Public Hearing, to consider, and act upon a recommendation to City Council regarding a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-through on 0.832 acres, property located at 2812 W FM 544. **(ZC 2021-24)**

Recommendation

Motion to recommend **(approval, approval with conditions or disapproval)** as presented.

Discussion

OWNER: Barid Rentals

ENGINEER: Franz Architects

The applicant is requesting a Special Use Permit (SUP) on 0.832 acres generally located at 2812 W FM 544. The Zoning Ordinance requires all restaurants with drive-throughs to obtain a Special Use Permit.

The original site was developed for a restaurant without a drive-through service. The property owner has requested for the drive through service allowance for marketing purposes as the previous restaurant closed. The applicant has not provided, nor do the SUP conditions stipulate an ultimate end user.

Changes made from the existing site layout include removing 13 existing parking spaces for the addition of a drive through lane. A remainder of 26 parking spaces with two ADA accessible are provided onsite. The site will use the existing access that connects to FM 544. The landscaped area exceeds 20% and contains an existing landscape buffer with sidewalks along the street frontage.

As presented the project is in compliance with the 140' drive-through stacking requirement; However there are traffic flow concerns as any overflow in the drive-thru would spill out into the main front drive aisle that serves three other connected properties, and consist of one drive-through restaurant, a nail salon, a dentistry, and a medical clinic with a drive-through.

The structure is proposed to retain the exterior that consists of existing materials of stone, stone banding, and EIFS. Canopies are also provided at the drive-through window and at the main entrances. As part of the Special Use Permit Conditions, the Zoning Exhibit shall function as the review and approval of the site plan.

Notifications/Responses: 12 notifications were mailed; with one response received in opposition and none in favor of the request.

Approved By

Department Director

Initial

JH

Date

December 15, 2021

Locator Map

12/21/2021 Item 5.

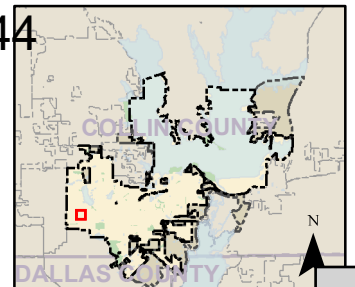


ZC 2021-24; Freddy's Lot 2R1, Blk B; 2812 W FM 544



Subject Property

0 120 240 480 720 960 Feet



Freddy's Lot 2R1, Blk B**EXHIBIT "B"****Conditions For Special Use Permit****I. PURPOSE:**

The purpose of this Special Use Permit is to allow for a restaurant with drive-in or drive-through service use.

II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
2. The design and development of the Freddy's Lot 2R1, Block B development shall take place in general accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

1. The Zoning Exhibit (Exhibit C) shall serve as the amended Site Plan for the Development. Approval of the SUP shall act as site plan approval.



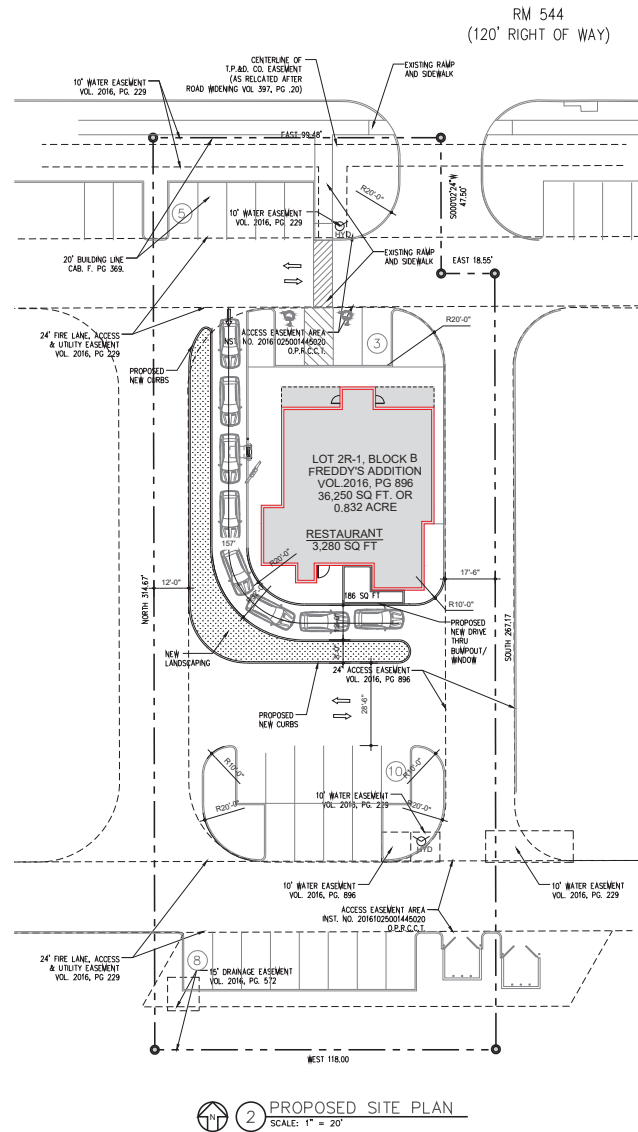
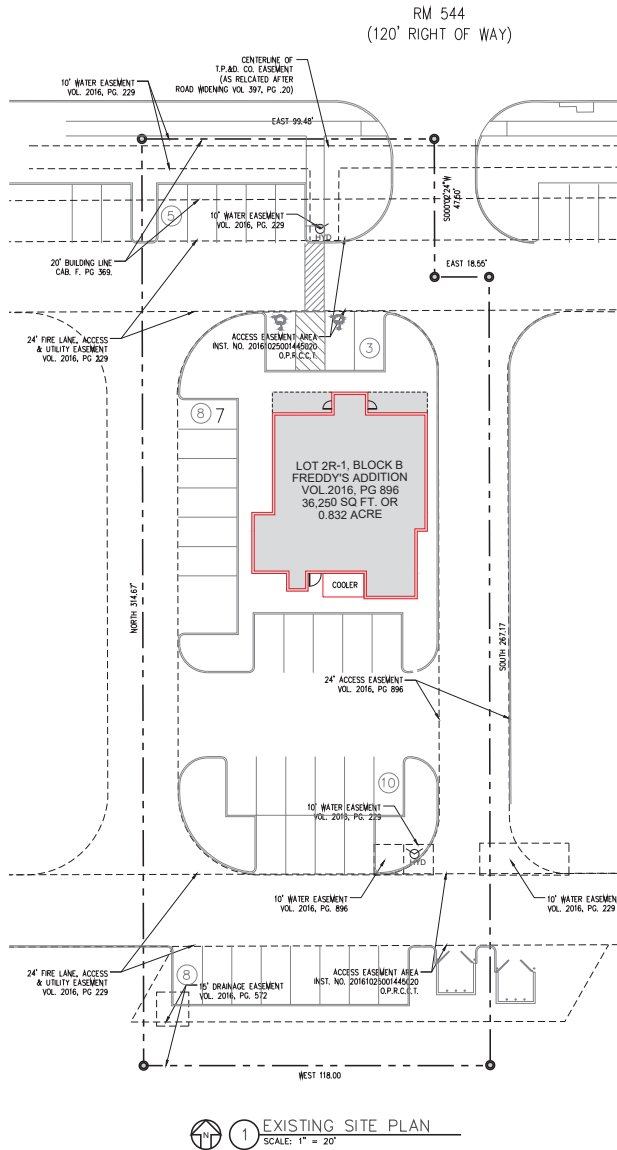
DRIVE THRU ADDITION

2812 FM 544
WYLE, TX 75098

Revisions

File Name:	21261	Drawn By:	XXK
Project No:	10/11/2021	Checked By:	T
Date:			

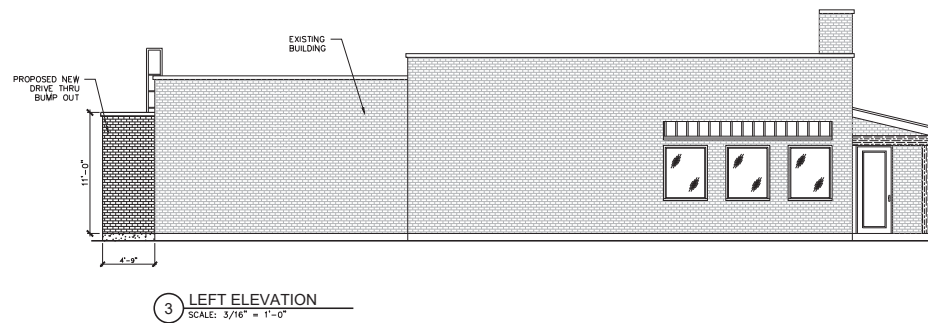
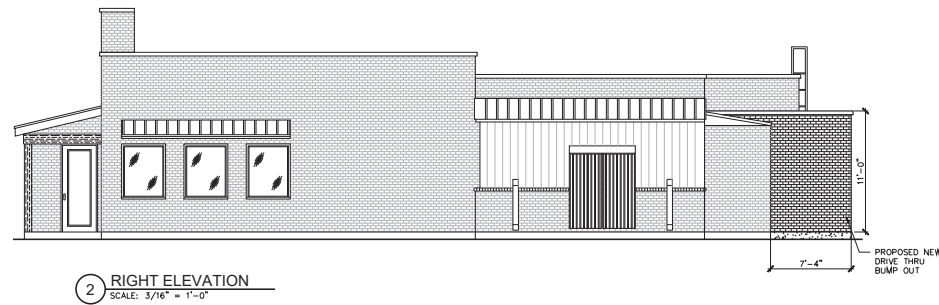
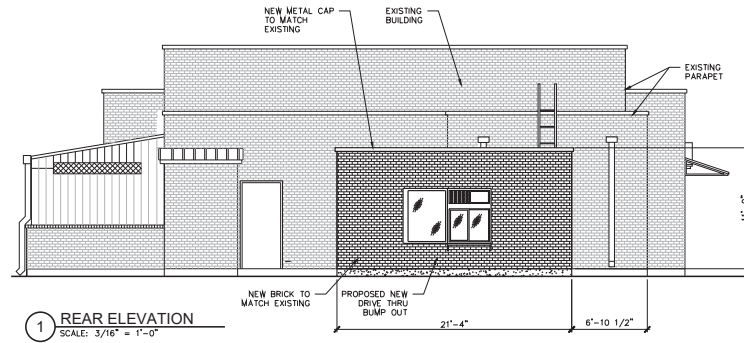
SHEET
A0.1
SITE PLAN



SUMMARY TABLE	
GENERAL SITE DATA	
ZONING:	CC / CORRIDOR COMMERCIAL
LAND USE:	RESTAURANT W/ DRIVE THRU
LOT AREA:	36,250 S.F. (0.832 ACRES)
BUILDING HEIGHT:	20'-4" - 1 STORY
BUILDING AREA:	3,466 SQ. FT.
LOT COVERAGE:	9.56 %
PARKING	
PARKING RATIO REQ:	1 PER 150 SF
REQUIRED PARKING:	3,466 / 150 = 24
PROVIDED PARKING:	26 SPACES
ACCESSIBLE PARKING REQ:	2
ACCESSIBLE PARKING PROVIDED:	2
LANDSCAPING	
REQUIRED 20%:	7,250 SQ. FT.
PROVIDED:	7,504 SQ. FT.

VICINITY MAP





DRIVE THRU ADDITION
2812 FM 544
WYLIE, TX 75098

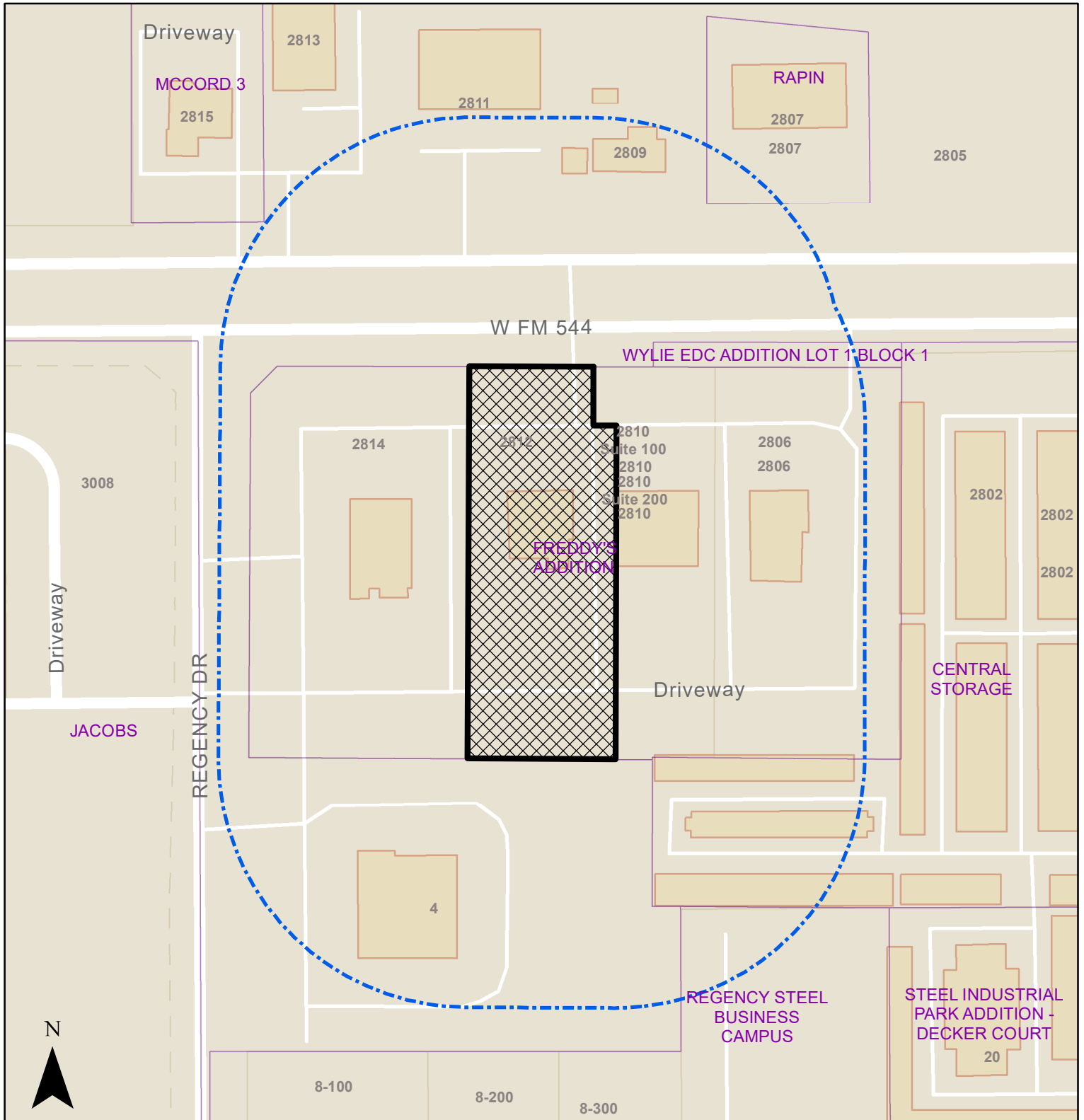
Revisions:

File Name:	2/26/21
Project No:	21261
Date:	10/11/2021
Drawn By:	RA
Checked By:	TI

SHEET
A2.0
EXTERIOR ELEVATIONS

Notification Map

12/21/2021 Item 5.



ZC 2021-24; Freddy's Lot 2R1, Blk B; 2812 W FM 544

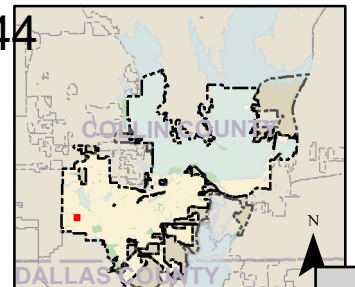


200 Foot Notification Buffer



Subject Property

0 50 100 200 300 400 Feet



PUBLIC COMMENT FORM (Please type or use black ink)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

undecided about a drive thru
I am ~~FOR~~ the requested zoning as explained on the attached public notice for Zoning Case #2021-24.

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-24.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning
Commission meeting:

Tuesday, December 21, 2021 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, January 11, 2021 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Susan McClure
(please print)

Address:

McClure Partners
P.O. Box 2935 Wylie, TX 75098

Signature:

Susan McClure

Date:

11-30-2021

COMMENTS:

My Company Barbee Development Company owns the building at 2810 FM 544. This building has 2 tenants, Wylie Dentistry and Posh Nail Salon and they of course will benefit from having a replacement restaurant in the former Kicking Q BBQ space because this will increase exposure. So, I am all for back filling with another food service concept.

HOWEVER, I don't see how a drive thru will work because of the left turn lane from the median in 544 into the project. Picture: The car turning left from the median, will be turning head on into the car who just received their food from the drive thru service window and that car will be moving forward straight for the car trying to enter the project. This will create huge traffic problems within the project and very likely, major traffic accidents on FM544.