

Wylie City Council Regular Meeting

July 27, 2021 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

Pastor Kurt Ulmer, Faith Lutheran Wylie

PRESENTATIONS & RECOGNITIONS

PR1. Wylie Way Students.

PR2. Presentation for the Battle of the Badges Blood Drive Winner.

PR3. Presentation for Bluegrass on Ballard Recap.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of July 13, 2021 Regular City Council Meeting minutes.
- B. Consider, and act upon, the approval of a vendor application for the “Back to the Future” back to school event at Olde City Park on September 25, 2021.
- C. Consider, and act upon, the approval of the purchase of Turf Chemicals and Micronutrients from various vendors in the estimated annual amount of \$60,000.00 through a cooperative purchasing contract with BuyBoard Cooperative, and authorizing the City Manager to execute any necessary documents.
- D. Consider, and place on file, the City of Wylie Monthly Investment Report for June 30, 2021.
- E. Consider, and place on file, the City of Wylie Monthly Revenue and Expenditure Report for June 30, 2021.
- F. Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of June 30, 2021.
- G. Consider, and act upon, the award of bid #W2021-88-A for Parks and Recreation Outdoor Litter & Restroom Service to PureService Corporation in the estimated annual amount of \$76,030.00, and authorizing the City Manager to execute any necessary documents.

- H. Consider, and act upon, authorizing the City Manager to sign a Development Agreement, between the City of Wylie, 2819 West FM544 Ventures, LLC, and MMGC DBR DFW, LLC regarding the use of building materials for a commercial development on 1.022 acres, property located at 2817 FM 544.

REGULAR AGENDA

1. **Tabled from 06-08-2021**

Remove from table and consider

Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Agricultural (AG/30) to Planned Development - Single Family (PD-SF), to allow for a single family development on 4.6 acres, located at 601 & 595 Parker Road. (ZC 2021-14).

2. **Tabled from 07-13-2021**

Remove from table and consider

Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-through on 1.022 acres, property located at 2817 FM 544. (ZC 2021-18)

3. Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-thru on 1.37 acres, property located at 499 S State Highway 78. (ZC2021-16)

4. Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Agricultural (AG/30) to Planned Development (PD), to allow for a mixed-use community on 47.29 acres generally located at 2301 FM 1378. (ZC2021-15)

5. Consider, and act upon, Ordinance No. 2021-35 establishing a Comprehensive Plan Advisory Committee (CPAC), providing for the scope and authority of the Committee, time of service, and appointing Committee members.

6. Consider, and act upon, Ordinance No. 2021-36 amending Wylie's Code of Ordinances, Ordinance No. 2021-17 as amended, Appendix C (Wylie Comprehensive Fee Schedule), Section I (Water and Sewer Fees), Subsection B (Water Rates), and Subsection C (Sewage Collection and Treatment Rates).

7. Consider, and act upon, the acceptance of the resignation of the Zoning Board of Adjustment board member Robert Blair, appointment of alternate Zewge Kagnew to fill the unexpired term of July 2021 to June 2022, and the appointment of a new alternate to fill the unexpired term of July 2021 to June 2023.

8. Consider, and act upon, the acceptance of the resignation of the Zoning Board of Adjustment alternate board member Lance Kiser, and the appointment of a new alternate to fill the unexpired term of July 2021 to June 2022.

WORK SESSION

WS1. Discuss potential Bond Election projects and proposition verbiage.

WS2. Discuss Wylie Wastewater Treatment Plant Demolition Options.

WS3. Discuss FY 2022 Budget.

WS4. Discuss the boundaries of the Downtown Historic District.

[WS5.](#) Discuss a potential change of zoning to amend Planned Development 2012-03 (PD 2012-03) to allow for Senior Affordable Housing, generally located southwest of 2300 W FM 544 (Wylie Medical Plaza).

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.

This chapter does not require a governmental body to conduct an open meeting:

- (1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or
- (2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

ES1. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2021-4d and 2021-6a.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on July 23, 2021 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.

§ 551.072 – Discussing purchase, exchange, lease or value of real property.

§ 551.074 – Discussing personnel or to hear complaints against personnel.

§ 551.087 – Discussing certain economic development matters.

§ 551.073 – Discussing prospective gift or donation to the City.

§ 551.076 – Discussing deployment of security personnel or devices or security audit.



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, approval of July 13, 2021 Regular City Council Meeting minutes.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes are attached for your consideration.

Financial Summary/Strategic Goals

Community Focused Government



Wylie City Council Minutes

July 13, 2021 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098

CALL TO ORDER

Mayor Matthew Porter called the regular meeting to order at 6:00 p.m. The following City Council members were present: Councilman David R. Duke, Councilman Dave Strang, Mayor *pro tem* Jeff Forrester, Councilman Scott Williams, Councilman Timothy T. Wallis, and Councilman Garrett Mize.

Staff present included: City Manager Chris Holsted; Assistant City Manager Brent Parker; Assistant City Manager Renae Ollie; Police Chief Anthony Henderson; Fire Chief Brandon Blythe; Finance Director Melissa Beard; Human Resources Director Lety Yanez; Parks and Recreation Director Rob Diaz; Public Works Director Tim Porter; Library Director Ofilia Barrera; Building Official Bret McCullough; Project Engineer Jenneen Elkhaid; Public Information Officer Craig Kelly; Economic Development Executive Director Jason Greiner; City Secretary Stephanie Storm, and various support staff.

INVOCATION & PLEDGE OF ALLEGIANCE

Mayor *pro tem* Forrester led the invocation and Councilman Wallis led the Pledge of Allegiance.

PRESENTATIONS & RECOGNITIONS

PR1. Proclamation for Kunal Kapur.

Mayor Porter and Police Chief Henderson presented Kunal Kapur a proclamation proclaiming July 13, 2021 as Kunal Kapur Day in the City of Wylie, thanking him for his work on a children's Crime Victim's Advocate waiting room at the Public Safety Building and congratulating him on earning his Eagle Scout.

PR2. Proclamation for Duc Truong.

Mayor Porter presented Duc Truong a proclamation proclaiming July 13, 2021 as Duc Truong Day in the City of Wylie thanking him for his over the top customer service that he provides the City of Wylie.

CITIZEN COMMENTS ON NON-AGENDA ITEMS

There were no citizens present wishing to address the Council.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

A. Consider, and act upon, approval of June 22, 2021 Regular City Council Meeting minutes.

B. Consider, and act upon, updating the Parks and Recreation Board Bylaws.

- C. Consider, and act upon, a Final Plat for Jacobs Addition Lots 1R-3-1, 1R-3-2, 1R-3-3, Block B, being a replat of Jacobs Addition Lot 1R-3, Block B, to establish three commercial lots on 4.728 acres, property located at 3010 FM 544.
- D. Consider, and act upon, a Preliminary Plat for Lot 1, Block 1 of Dutch Bros Coffee addition to establish one commercial lot on 1.022 acres, property located at 2817 FM 544.
- E. Consider, and act upon, Resolution No. 2021-17(R) authorizing the City Manager to execute a revised Wholesale Wastewater Collection Agreement with the Wylie Northeast Special Utility District.
- F. Consider, and act upon, Resolution No. 2021-18(R) determining a public necessity to acquire certain properties for public use for rights-of-way (in fee simple), temporary construction easements and related improvements for the construction, expansion, access, repair, maintenance and replacement of Eubanks Lane (from Hwy 78 to approximately 1,000 feet north of Centennial Drive); giving notice of an official determination to acquire certain properties for public use for rights-of-way (in fee simple), temporary construction easements and related improvements for the construction, expansion, access, repair, maintenance and replacement of Eubanks Lane (from Hwy 78 to approximately 1,000 feet north of Centennial Drive); authorizing the City Manager of the City of Wylie, Texas, to establish procedures for acquiring the rights-of-way (in fee simple), temporary construction easements and related improvements offering to acquire said property rights, voluntarily from the landowners through the making of bona fide offers; appropriating funds; providing for repealing, savings and severability clauses; and providing for an effective date.

Mayor Porter requested Item F be removed from the Consent Agenda and considered individually.

Council Action

A motion was made by Councilman Duke, seconded by Councilman Williams, to approve Consent Agenda Items A-E as presented. A vote was taken and motion passed 7-0.

REGULAR AGENDA

- F. Consider, and act upon, Resolution No. 2021-18(R) determining a public necessity to acquire certain properties for public use for rights-of-way (in fee simple), temporary construction easements and related improvements for the construction, expansion, access, repair, maintenance and replacement of Eubanks Lane (from Hwy 78 to approximately 1,000 feet north of Centennial Drive); giving notice of an official determination to acquire certain properties for public use for rights-of-way (in fee simple), temporary construction easements and related improvements for the construction, expansion, access, repair, maintenance and replacement of Eubanks Lane (from Hwy 78 to approximately 1,000 feet north of Centennial Drive); authorizing the City Manager of the City of Wylie, Texas, to establish procedures for acquiring the rights-of-way (in fee simple), temporary construction easements and related improvements offering to acquire said property rights, voluntarily from the landowners through the making of bona fide offers; appropriating funds; providing for repealing, savings and severability clauses; and providing for an effective date.

Council Comments

Mayor Porter requested Public Works Director Porter give an overview of the project. Mayor *pro tem* Forrester confirmed that this item does not authorize eminent domain.

Staff Comments

Public Works Director Porter addressed Council stating the City has an agreement with NTMWD to improve the area between the first entrance into NTMWD site, south to Highway 78. The City is 90 percent complete with the plans and the consultant is starting to reach out to the property owners. The roadway will be a four lane divided road and will provide traffic relief for that area. Porter confirmed that this item does not authorize eminent domain.

Council Action

A motion was made by Councilman Strang, seconded by Mayor *pro tem* Forrester, to approve Item F as presented. A vote was taken and the motion passed 7-0.

- 1. Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-through on 1.022 acres, property located at 2817 FM 544. (ZC 2021-18)**

Staff Comments

Planning Manager Haskins addressed Council stating the applicant is requesting a Special Use Permit (SUP) on 1.022 acres generally located on the northeast corner of Springwell Parkway and FM 544 to allow for a restaurant with drive-through service. The proposed use is for a Dutch Bros Coffee restaurant. The preliminary plat for the development was recommended for approval by the Planning and Zoning Commission (Commission). Haskins stated the Zoning Ordinance requires all restaurants with drive-throughs to obtain a SUP. As part of the SUP the applicant is also requesting for the Zoning Exhibits to function as the review and approvals of the site plan. The proposed Zoning Exhibit provides 22 parking spaces with one ADA space, and Haskins reported 13 spaces are a grasscrete surface due to the site exceeding the maximum allowed parking. Haskins stated 18 notifications were mailed; with one response received in favor and no response in opposition of the request. The Commission voted 7-0 to recommend approval.

Applicant Comments

Dan Dover, representing Main & Main Capital Group, LLC, addressed Council giving an overview of Dutch Bros Coffee.

Public Hearing

Mayor Porter opened the public hearing on Item 1 at 6:29 p.m. asking anyone present wishing to address Council to come forward.

No one came forward for the public hearing.

Mayor Porter closed the public hearing at 6:30 p.m.

Council Comments

Councilmen Williams and Duke asked regarding the special conditions and the use, if another applicant comes in, can they come in under the same SUP without coming before Council, and asked if so, could wording be added to require a new applicant to come before Council for consideration. Haskins replied as currently written it would allow for another applicant to come in without Council approval that can utilize the same building without a new site plan, and stated language could be added to require a new applicant to come before Council if that is Council's desire. Mayor Porter asked about potential traffic concerns with the driveway and the nearby railroad track and intersection. Haskins replied Engineering has reviewed and approved the plans. Holsted added the median improvements on Springwell does allow vehicles to make a left turn out of the parking lot, and as a train is approaching, it activates the traffic signal on FM 544 to clear the intersection. Councilman Wallis asked what type of building materials would be utilized as it looks different from what is traditionally in the City. Dover replied the siding is an architectural raised ribbed panel, the wainscot across the building and canopy columns are a split face CMU, and the face of the canopy will have a metal fascia. Dover added the building will be a 900 square foot building. Councilman Wallis voiced concerns about the durability of the proposed material during weather events. Dover replied the company is extremely picky about their look and wants their building to look good and presentable. Mayor Porter, utilizing other locations as examples, expressed concerns with materials presented and asked if other materials could be used instead of the metal material. Dover stated the materials proposed meets within the design criteria and the presented materials is what is preferable for the companies branding and maintenance programs. Councilman Wallis asked about some of the other location towers being grey instead of blue, and stated he wanted to see if any changes could be made to the accents. Dover replied that is a current change within the company and they would like the tower to be painted blue as it is the focal point of their brand. Dover

asked if Council would be okay with utilizing nichiha, a stone paneling material, on the tower, and the rest of the building in architectural metal. Dover did emphasize they have time constraints on the land purchase; therefore, he would not want to delay for months. Holsted confirmed these materials are allowed by right if the applicant did not need a SUP. Haskins replied that is correct. Councilman Williams asked about the required building materials. Haskins stated the masonry requirements in the Zoning Ordinance are only enforceable in areas that were completed before the law was changed in 2019, and since 2019 a voluntary development agreement has to be reached with the applicant in order to enforce building materials. Councilman Williams stated his preference for the exterior look is like the Flower Mound location. Dover stated the company is not a fan of the morsel siding as it makes it look like a residential structure. Councilman Strang stated he agreed with the other comments from Council and really liked the look of the Flower Mound location as it would fit in the community more. Councilman Mize stated he appreciated the feedback from Council and felt the proposed design is attractive and is acceptable, and thinks nichiha could be a form of compromise, as long as it does not delay the project from moving forward. Mayor Porter stated there was an Austin location where the look fits in more with the surrounding businesses of Wylie. Dover stated their customer base is teenagers, 20, and 30-year old and the company wants to focus and serve their customers, and stated if they could get an approval this evening, the company could do some sort of wainscot and switch to stucco. Mayor Porter replied that typically a development agreement would be brought back at the next meeting for consideration before approval. Dover asked if stucco would be agreeable on the building. Mayor Porter stated he would be okay with stucco and some metal on the building, as they would be generally fitting with the surrounding development. Councilman Williams stated he agreed with the Mayor, if the metal is broken up that would be sufficient. Dover requested feedback from Council. Councilman Duke stated the renderings look like a box car, and stated he would like the SUP to revert back to require Council approval for a new applicant. Councilman Strang stated he agreed with Councilman Williams that the metal tower would be good with the use of another material on the remainder of the building. Mayor *pro tem* Forrester stated he agreed with the Council feedback, but saw the value in the branding. Mayor Porter stated he would like to see something that breaks the metal up, and agrees with Councilman Duke on the SUP. Mayor Porter asked Haskins what the City has done in the past with the SUP. Haskins replied, what staff proposed is what is typically done; it does not depend on the user, but instead on how the property is used. Mayor Porter stated he was good with it as written. Councilman Williams stated in regards to the SUP, he would prefer if it changes ownership prior to it being built it would require Council approval, and as long as the change in materials breaks the metal up with at least two main finishes he is good with what the company chooses to use. Councilman Wallis stated as long as the look is broken up with different materials he does not want to dictate colors and materials. Councilman Mize stated he supports the design as is but if an alternate design is proposed he would be fine with that as well.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to table Item 1 until July 27, 2021 City Council meeting. A vote was taken and the motion passed 6-1 with Councilman Mize voting against.

- 2. Consider, and act upon, Resolution No. 2021-19(R) supporting the Collin County Mobility Plan Update and the efforts to reduce the current and projected traffic congestion, and to provide more connectivity and enhance safety in the southeast portion of Collin County.**

Staff Comments

City Manager Holsted addressed Council stating Collin County is developing the Future Mobility Study to give the public and stakeholders an opportunity to provide input on current and future transportation needs. The Study includes east and southeast Collin County as well as Dallas, Rockwall, and Hunt counties to help ensure a regional approach to transportation planning. Council approval of the Resolution would support the concept of a coordinated Study to update transportation plans in, and near, Wylie for the purpose of providing the necessary mobility for the existing and future residents, and employees of the area, and meet the 2018 Collin County bond program eligibility requirement. Holsted stated the 2018 Collin County bond program included approximately \$60 million in funding for City thoroughfare projects in which \$36 million was awarded in 2020 and the remaining \$24 million should be made available in mid to late 2022.

Council Comments

Mayor *pro tem* Forrester confirmed Council is not committing to any roadways through Wylie with passage of this Resolution. Holsted replied that is correct. Mayor Porter added the County is looking at this, and is currently working on this, regardless of what Council decides this evening. Councilman Williams asked with the City's participation, if the County is already working at this, does the City hire their own consultant. Holsted replied that the decision would be up to Council as the County is using the traffic model from North Central Texas Council of Government (NCTCOG). Councilman Williams asked if the County is developing their plan, what are the benefits and drawbacks to the City participating. Holsted responded, depending on what results from their Study, the County may recommend changes to the mobility plan which could affect Wylie. Councilman Williams confirmed passing of this Resolution is the City being proactive instead of reactive. Holsted confirmed that is correct.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Williams, to approve Item 2 as presented. A vote was taken and the motion passed 7-0.

Mayor Porter convened the Council into Work Sessions at 7:19 p.m. Mayor Porter stated he was going to start with Work Session 4 as the Bond Attorney was present.

WORK SESSIONS

WS4. Discuss potential Bond Election projects and proposition verbiage.

City Manager Holsted stated Mr. Dransfield is present to discuss potential bond proposition verbiage.

Bob Dransfield, representing Norton Rose Fulbright US LLP, gave information about holding a November Bond election including important dates, costs associated, 2019 legislative updates, bond proposition wording, and general information regarding Bond elections and usage of the funds. Mr. Dransfield answered questions from the Council.

Citizen Bond Advisory Committee members present included: Matthew Soto, Sandra Stone, Scott McDonald, Aleksandra Rolfson, and Becky Welch.

Mayor Porter convened the Council into a break at 7:38 p.m.
Mayor Porter reconvened the Council into Work Session at 7:50 p.m.

Council Comments

Mayor Porter asked for direction on the projects Council would like to move forward with having language drafted and brought back at the next Council meeting for Council input. Mayor Porter stated at the last meeting, Council consensus was to move forward with Projects #2 (McMillen Road) and #3 (Park Boulevard). Mayor Porter stated based on the conversations with the Army Corp of Engineers, currently there is a potential for a five-year agreement with a five-year extended renewal for Lake Lavon parks.

Regarding Project #1 (Lavon Lake Parks) Council expressed concerns with investing \$15 million on property the City does not own, for a potential five-year lease. The consensus of Council was to wait on the Lavon Lake projects at this time. The consensus of Council for Project #8 (Founders Park) was to gather additional information and potentially include it in a future bond election, but not in November. The consensus of Council for Project #9 (Stone Road) was to wait until the City received additional information from the County; therefore, do not include it in the November election. Regarding Project #12 (Senior Center) the consensus of Council was to gather additional information and potentially remodel with excess fund balance funds or include in the annual budget, and bring forth the remainder amount needed at a future election, not in November. Councilman Mize and Mayor *pro tem* Forrester expressed interest in pursuing this project in November 2021. Regarding Project #13 (Aquatics) Council consensus was to not put forth a proposition for aquatics at this time. Councilmen Mize, Wallis, and Duke expressed interest in pursuing outdoor aquatics in November 2021.

Regarding Projects #4 (culvert/bridge repair) and #5 (intersection/signal improvements) the consensus of Council was to possibly use excess fund balance or include them as part of the annual budget cycle.

After discussion between Council, the consensus of Council was to move forward with the following Projects: #2 (McMillen Road), #3 (Park Boulevard), #6 (street/alley replacement) up to \$10 million, #7 (downtown improvements) up to \$5 million, and #14 (Sachse Road), totaling \$48,600,000. Council gave direction to state Project #7 (downtown improvements) separately on the ballot and add language which includes City property located at Highway 78 and Brown Street; state Projects #2 (McMillen Road), #3 (Park Boulevard), and #14 (Sachse Road) as one proposition; and state Project #6 (street/alley replacement) general in nature for a total of three propositions.

Mayor Porter thanked Bond Committee members for their service.

Committee member Rolfson asked if aquatics will be included in the November 2021 election and stated if it ever comes up, she would recommend finding a different location for it and not putting it in front of the City building. Mayor Porter replied aquatics will not be included in the November 2021 election.

Mayor Porter convened the Council into a break at 9:25 p.m.

Mayor Porter reconvened the Council into Regular Session at 9:35 p.m.

WS1. Discuss Wylie Wastewater Treatment Plant Demolition Options.

Mayor Porter stated this item will be moved to a future Council agenda.

WS2. Discuss a potential change of zoning from Agricultural to Planned Development (PD-CC-MF) on approximately 24 acres, generally located on the west side of Country Club Road approximately 1200' north of Brown Street.

Planning Manager Haskins addressed Council stating the property owners and developers are seeking Council input on a potential planned development on approximately 24 acres on the west side of Country Club just north of Fire Station #2. The current proposal includes a mix of commercial uses along Country Club, townhomes along the north side of the property, and multi-family apartments along the southside near Collin College.

Evan McAnulty, representing Allen Harrison Company, addressed Council giving a brief presentation on the proposed project that included: the project team, multifamily developer renderings, project location, corridor growth, the Wylie draw, population growth, population and supply, planning site plan, project residents, planning multifamily, clubhouse and multifamily elevations, planning retail, retail elevation, planning townhomes, and planning timing.

David Dahl, resident, addressed Council speaking in favor of this proposed project.

Questions and feedback from Council included: potential affordable housing, liked the look of the proposed project, would be a benefit to the City with the proximity to the College, concerns with the cost of the apartment rent, commercial unit concerns, traffic concerns with a single access point and the amount of vehicles it would bring, breakdown on unit sizes, density concerns, concerns with changing the character of Wylie, concerns with multifamily located near residential homes and resell, privacy concerns with townhomes and metal fence, and concerns regarding square footage minimum.

WS3. Discuss a potential change of zoning from Commercial Corridor to Planned Development (PD-CC-MF) on approximately 22 acres, generally located on the southwest corner of SH 78 and Wylie East Drive.

Planning Manager Haskins addressed Council stating the property owners and developers are seeking Council input on a potential planned development on approximately 22 acres on the southwest corner of SH 78 and Wylie East Drive. The current proposal includes a mix of commercial uses on the corners of SH 78 and Wylie East Drive and SH 78 and Anson Parkway, and single-family style rental units on the interior of the property.

Eric Overton, representing DHI Properties, addressed Council giving a brief presentation on the proposed project that included: the site, zoning, proposed site plan, reasons for rezoning, retail along SH 78 concept renderings, single-family rental concept renderings, and information on DR Horton.

Feedback from Council included: like the access points, change detention pond to retention pond, like commercial on front and possibly making more of the residential closer to SH 78 commercial due to noise, desire for this property to be commercial due to location, concerns with density, concerns with no garages, concerns with duplexes and rentals, good project, concerns with lack of green space, and concerns with separation between current housing.

Mayor Porter convened the Council into a break at 11:00 p.m.

Mayor Porter reconvened the Council into Work Session at 11:09 p.m.

WS5. Discuss FY 2022 Budget.

City Manager Holsted addressed Council stating the projected revenues has increased as the City continues to receive updated sales tax revenues, the proposed budget is essentially flat with a decrease in operating expenses with the only increases being the added firefighters and jailers at midyear. Holsted reported the proposed expenditures for FY 2021-2022 is \$43,755,024 and the current estimated fund balance is 53 percent of expenditures.

Holsted reviewed the personnel budget recommendations from the General Fund which included: Facilities Maintenance Technician, Purchasing Senior Buyer, two Police Detention Officers, Police Training Coordinator, part-time Police Mental Health Coordinator, part-time Police Quartermaster, part-time Police Admin Assistant I, three Fire Station 4 Captains, three Fire Station 4 Driver/Engineer, Reclassify Admin Assistant to Animal Control Officer, Streets Lead Signal Technician, Streets Equipment Operator, and Reclassify Librarian to Assistant Library Director.

Holsted reviewed the onetime uses recommendations from the General Fund which included: Police Computer Equipment/Software for Patrol Tahoe's, Fire Outdoor Warning Siren Replacement, Fire Confined Space Rescue Equipment, Streets Asphalt Roller - Unit #182 Replacement, Streets McCreary Road and Hensley Lane Signal Design, Streets Traffic Signal Control Cabinet, Streets Arrow Directional Board, Parks Cemetery Operations, four Police Patrol Replacement Tahoe's, two Police Admin Replacement Tahoe's, Fire Replacement Division Chief Vehicle, and Streets Replacement of Unit #105.

Holsted stated the excess revenue over expenses plus recommended requests is \$2.5 million. Potential additional General Fund recommendations include: recurring health insurance (Mayor Porter stepped out during the health insurance discussion at 11:50 p.m. Mayor Porter returned to the dais at 11:53 p.m. Mayor Porter did file a conflict of interest form with the City Secretary.) and market adjustment. One-time uses include: Tech Upgrades for Council Chambers, Police FARO System, Ambulance Replacement, two Police Additional Tahoe Replacements, Tennis Court Lighting-Partnership with WISD, and Security for Parks Maintenance Facility.

Holsted stated the General Fund estimated balance for FY 2021-2022 is \$25,541,177. Staff is recommending moving some of the excess fund balance to a separate fund to do one-time capital improvements.

Holsted stated regarding the Utility Fund, in response to the 2020 Water and Sewer Rate Study, the fund balance will be reduced over future years to offset the rate increases which will reduce the balance down to the Policy requirement of 90 days of operating expenditures.

Holsted stated recommended additions to budget and fund balance items from the Utility Fund include: Utility Admin Texas 811 - Utility Locate Contract, Water Skid Steer Broom Attachment, Water Decker Facility - Privacy Screen Fence/Motor Gate, Water Portable Handheld Radios, Wastewater Rubber Track Compact Skid Loader with Trailer, Water Unit #288 Replacement, Wastewater Crew Leader Vehicle, and three Utility Billing Meter Services Vehicle Replacements.

Holsted stated the 4B Sales Tax Fund has an estimated ending fund balance of \$4,896,102, and the recommended additions to budget and fund balance items from the 4B Sales Tax Fund include: Recreation Center Reclass part-time GSS to full-time, 4B Parks Replacement of Valentine Park Playground, 4B Parks Spray Rig Addition, 4B Parks Founders Softball Infield Replacement Fields C and D, 4B Parks Irrigation Pump Founders Softball, 4B Parks New Christmas Tree for Holiday Events, 4B Parks Holiday Lights for Municipal Complex, 4B Parks Replacement Utility Tractor, 4B Parks Turf Renovator, Recreation Center Aerobics Studio Audio Upgrade, and Stonehaven House Phase I.

Holsted stated there are no proposed expenditures anticipated from the Fire Development Fund.

Holsted stated regarding the Hotel Occupancy Tax Fund, the proposed expenditures include \$35,000 for Bluegrass on Ballard, \$35,000 for advertising for events throughout the year, and \$30,000 towards Public Art.

WEDC Executive Director Greiner presented the WEDC Fund Summary which included: the audited ending balance as of September 30, 2020 of \$1,735,327, projected 2021 revenues of \$3,904,938, which includes sales tax from October through April, available funds of \$5,640,265, projected 2021 expenditures of \$4,589,421, estimated ending fund balance as of September 30, 2021 of \$1,050,844, proposed revenues for 2022 of \$6,529,322, proposed expenditures for 2022 of \$5,231,219, and estimated ending fund balance as of September 30, 2022 of \$2,348,947.

Holsted stated at the next meeting the consultant will be present to discuss the market study results and staff will have additional information on health insurance. Holsted stated the figures presented this evening are based on the no new revenue rate, which staff believes will be two cents below the City's current rate. Staff's recommendation would be to leave it at the no new revenue rate especially if there will be an upcoming bond election.

Staff answered questions from Council.

Council thanked staff for their work on the budget.

RECONVENE INTO REGULAR SESSION

Mayor Porter reconvened the Council into Regular Session and then into Executive Session at 12:38 a.m.

EXECUTIVE SESSION

Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

ES1. Consider the sale or acquisition of properties located at FM 544 and Cooper, Jackson and Oak, Regency and Steel, State Hwy 78 & Ballard, State Hwy 78 and Birmingham, State Hwy 78 and Brown.

Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.

This chapter does not require a governmental body to conduct an open meeting:

- (1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or
- (2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

ES2. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2017-10a, 2018-9b, 2020-11b, 2021-2b, 2021-4a, 2021-4b, 2021-4c, 2021-4d, 2021-5a, 2021-6a, 2021-6b, and 2021-6c.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

Mayor Porter reconvened the Council into Regular Session at 1:17 a.m.

ADJOURNMENT

A motion was made by Councilman Strang, seconded by Councilman Duke, to adjourn the meeting at 1:17 a.m. A vote was taken and motion passed 7-0.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary



Wylie City Council

AGENDA REPORT

Department: Parks and Recreation
Prepared By: Rob Diaz

Account Code: _____

Subject

Consider, and act upon, the approval of a vendor application for the “Back to the Future” back to school event at Olde City Park on September 25, 2021.

Recommendation

Motion to approve Item as presented.

Discussion

The Back to the Future back to school event will be held on Saturday, September 25, 2021 at Olde City Park. The Wylie ISD Council of PTA's is sponsoring the event to increase community involvement in PTA and celebrate the start of a new school year. The event will have vendors selling items such as concessions and spirit wear. Due to COVID-19 lockdowns the event was not held in 2020. Parks and Recreation staff will coordinate with the group on event logistics and set up.

The Parks and Recreation Board approved the vendor application at the July 12, 2021 meeting.

Financial Summary/Strategic Goals



Parks & Recreation Department
 949 Hensley Lane, Building 200
 972-516-6340 | Parks@wylietexas.gov

Vendor Application

Applicant Information

Name of Organization *

Wylie ISD COUNCIL of PTAs

Website

www.ptawyliecouncil.com

Are you a non profit? *

☒ Yes ☐ No

Please upload 501c3 Documents

W-9 (1).pdf

77.22KB

Contact Information

Primary Contact Name *

Rachel Allen

Event Information

Event Name/Title *

Back the Future

Event Type *

Other

If other, please explain *

Community

Purpose of event *

Increase community involvement in PTA and celebrate the start of a new school year.

Event Location *

Olde City Park

112 S Ballard Avenue

Purposed Event Date *

09/25/2021

Alternative Event Date *

08/21/2021

Start Time *

03:00:00 PM

Include Setup

End Time *

08:00:00 PM

Include Cleanup

Anticipated number of Participating Vendors *

75

Anticipated Event Attendance *

600

Event Target Audience*

Wylie ISD Community at large

Event Details*

This is the annual Wylie ISD Council of PTAs, Back the Future/Back to School Bash! We invite all local PTAs to set up a booth, have games, sell their spirit wear etc. We also invite local businesses to come set up a booth, and support our local community. It's a great way to kick off the school year. There will be food served (via the In and Out burger truck) a pep rally, the drum lines from both schools, the cheerleaders, etc.

Event Announcement and/or Flyers**NOTE:**

If food is prepared on site or off-site and brought to the event location to be offered to the public, free or at cost, the vendor applicant must contact the Collin County Environmental Services Office in McKinney in order to inquire whether a Temporary/Short-Term Event Food Service/Health permit is required prior to the event. It is possible that a health inspector must examine food preparation and storage equipment to assure the health and safety of customers. Please contact the Environmental Services Specialist at 972-548-5528 or 972-548-5585. The Collin County website is www.collincountytx.gov.

Sec. 78-105 of the City Code of Ordinances states: It shall be unlawful for any person to solicit for sale, vend, peddle, sell or offer to sell any cold drinks, cigars, tobacco, cigarettes, fruits, candies, goods, wares or merchandise of any kind or nature whatsoever within the municipal parks or recreation or community center facility; provided, however, that this section shall not apply to any person, organization, firms or corporations, or the agents of any person, or organization, firm or corporation, or employee of any person who are recommended by the Parks and Recreation Board and approved by the City Council to operate a concession or concessions for the sale of specified goods, wares, and merchandise within the municipal parks or recreation or community center facilities of the city.

Signature

Date*

06/24/2021



Wylie City Council

AGENDA REPORT

Department: Purchasing **Account Code:** 100-5511-52380
Prepared By: Glenna Hayes

Subject

Consider, and act upon, the approval of the purchase of Turf Chemicals and Micronutrients from various vendors in the estimated annual amount of \$60,000.00 through a cooperative purchasing contract with BuyBoard Cooperative, and authorizing the City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented.

Discussion

Staff recommends the purchase of various turf chemicals and micronutrients for the maintenance of City Parks from BWI Companies, Inc. and Turf Care of Texas LLC (and other vendors as awarded) through a cooperative purchasing contract with the BuyBoard Cooperative as providing the best overall value to the City.

The City is authorized to purchase from a cooperative purchasing program with another local government or a local cooperative organization pursuant to Chapter 791 of the Texas Government Code and Section 271 Subchapter F of the Local Government Code; and by doing so satisfies any State Law requiring local governments to seek competitive bids for items.

Approval of this purchases will establish an annual agreement with renewals under BuyBoard #611-20 / Wylie W2020-91-I.

Financial Summary/Strategic Goals



Wylie City Council

AGENDA REPORT

Department: Finance
Prepared By: Melissa Beard

Account Code: _____

Subject

Consider, and place on file, the City of Wylie Monthly Investment Report for June 30, 2021.

Recommendation

Motion to approve Item as presented.

Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

Financial Summary/Strategic Goals

City Of Wylie

2020-2021 Investment Report

June 30, 2021

Money Market Accounts:

Certificates of Deposit:

Treasury Bills:

Treasury Notes:

Government Agency Notes:

MMA
CCD
T-Bills
T-Notes
AN

Invest. Number	Principal Amount	Type Of Security	Interest Rate	Issuer	Purchase Date	Maturity Date
1	\$15,400,169.65	MMA	0.0131%	Texpool	12/31/2006	NA
2	\$15,947,848.19	MMA	0.0100%	TexStar	3/15/2011	NA
	\$31,348,017.84					

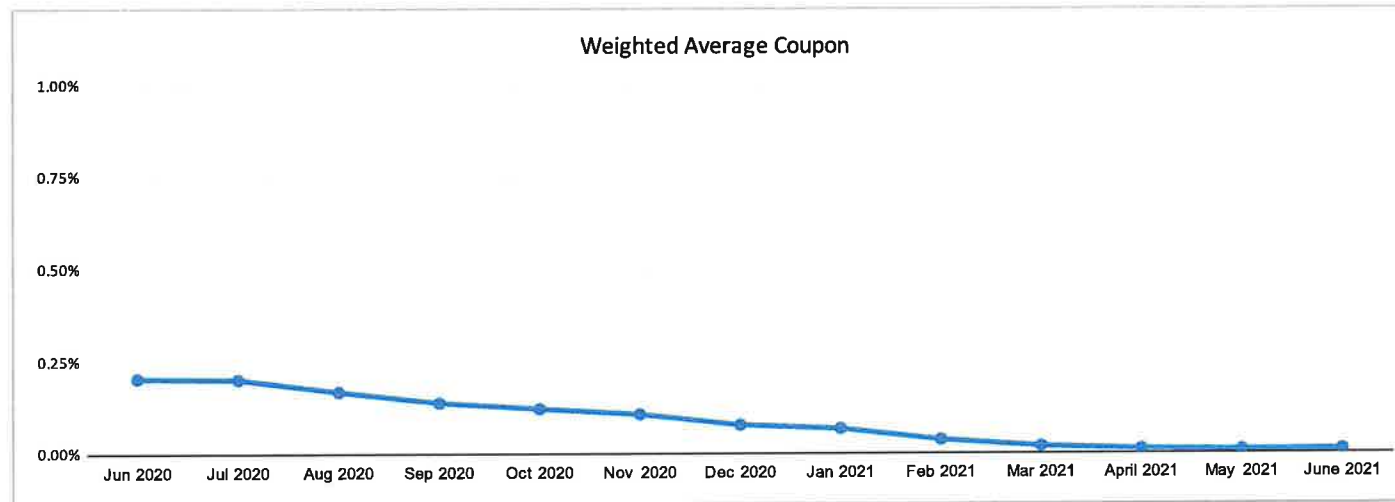
Total

Weighted Average Coupon:
Weighted Average Maturity (Days):

0.0115%
1.00

Money Markets:
Certificates of Deposits:

\$31,348,017.84
\$0.00
\$31,348,017.84



Melina Brand 7-15-21
Finance Director/Investment Officer



Wylie City Council

AGENDA REPORT

Department: Finance
Prepared By: Melissa Beard

Account Code: _____

Subject

Consider, and place on file, the City of Wylie Monthly Revenue and Expenditure Report for June 30, 2021.

Recommendation

Motion to approve Item as presented.

Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

Financial Summary/Strategic Goals

CITY OF WYLIE

MONTHLY FINANCIAL REPORT

June 30, 2021

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2020-2021	CURRENT MONTH ACTUAL 2020-2021	YTD ACTUAL 2020-2021	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 75.00%
GENERAL FUND REVENUE SUMMARY					
TAXES	32,899,113	672,403	31,280,853	95.08%	A
FRANCHISE FEES	2,840,000	10,133	1,867,075	65.74%	
LICENSES AND PERMITS	916,852	107,493	870,306	94.92%	B
INTERGOVERNMENTAL REV.	4,560,889	18,463	3,607,961	79.11%	C
SERVICE FEES	3,872,224	312,853	2,811,087	72.60%	D
FINES AND FORFEITURES	331,450	28,308	190,048	57.34%	E
INTEREST INCOME	25,000	1,528	13,249	53.00%	F
MISCELLANEOUS INCOME	203,647	10,261	147,127	72.25%	
OTHER FINANCING SOURCES	2,434,008	0	2,524,891	103.73%	G
REVENUES	48,083,183	1,161,442	43,312,597	90.08%	
USE OF FUND BALANCE	0	0	0	0.00%	
USE OF CARRY-FORWARD FUNDS	1,015,111	NA	NA	NA	H
TOTAL REVENUES	49,098,294	1,161,442	43,312,597	88.22%	
GENERAL FUND EXPENDITURE SUMMARY					
CITY COUNCIL	95,507	3,399	44,099	46.17%	
CITY MANAGER	1,150,874	77,448	761,912	66.20%	
CITY SECRETARY	405,556	19,894	255,771	63.07%	
CITY ATTORNEY	170,000	0	65,512	38.54%	
FINANCE	1,243,141	124,038	872,796	70.21%	
FACILITIES	904,390	47,597	543,805	60.13%	
MUNICIPAL COURT	518,534	35,682	269,980	52.07%	
HUMAN RESOURCES	723,207	51,552	446,424	61.73%	
PURCHASING	207,019	13,027	126,261	60.99%	
INFORMATION TECHNOLOGY	2,006,817	89,085	1,184,032	59.00%	
EMERGENCY OPERATIONS	91,215	-12,362	78,853	86.45%	I
POLICE	11,248,324	708,572	7,600,804	67.57%	
FIRE	9,775,027	623,522	6,241,794	63.85%	
EMERGENCY COMMUNICATIONS	2,019,270	102,870	1,311,839	64.97%	
ANIMAL CONTROL	580,540	51,057	313,722	54.04%	
PLANNING	324,384	19,229	203,946	62.87%	
BUILDING INSPECTION	586,632	39,586	397,460	67.75%	
CODE ENFORCEMENT	258,180	15,806	150,737	58.38%	
STREETS	4,483,147	220,723	1,567,854	34.97%	
PARKS	2,602,025	212,997	1,600,235	61.50%	
LIBRARY	2,067,736	134,761	1,309,897	63.35%	
COMBINED SERVICES	5,234,999	293,205	2,905,696	55.51%	
TOTAL EXPENDITURES	46,696,524	2,871,688	28,253,429	60.50%	
REVENUES OVER/(UNDER) EXPENDITURES	2,401,770	-1,710,246	15,059,168	27.72%	
A. Property Tax Collections for FY20-21 as of June 30, 2021 are 100%, in comparison to FY19-20 for the same time period of 99.25%. Sales tax is on a 2 month lag and seven months of revenue has been recorded. June 2021 was up 21% compared to June 2020.					
B. Licenses and Permits are up 18.6% from June YTD 2020. New Dwelling permit revenue is up 51% compared to June YTD 2020 mostly due to the new fee structure that was approved recently.					
C. Intergovernmental Rev: The majority of intergovernmental revenues come from WISD reimbursements and Fire Services which are billed quarterly. Includes funds for CARES funding that were transferred to General Fund.					
D. Service Fees: Trash fees billed in October are applicable towards FY 2019-20 revenue with the remaining fees coming from other seasonal fees.					
E. Fines and Forfeitures are up 12.6% from June YTD 2020 which is a continued correction to the decreasing trend in fines.					
F. The Interest rate has declined from .20% in July 2020 when budget was prepared to .0115% for June 2021.					
G. Yearly transfer from Utility Fund. Also, includes insurance recoveries from the ice storm for \$15,443 and auction proceeds of \$93,287.					
H. Largest Carry Forward items: Energov Software \$225,450, Rowlett Creek Dam Improvements \$110,000. Stone Road Rehab Project \$300,000					
I. Winter Storm expenses - moved \$12,362 to 4B Sales Tax Fund to match expense with insurance recoveries recorded.					

CITY OF WYLIE

MONTHLY FINANCIAL REPORT

June 30, 2021

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2020-2021	CURRENT MONTH ACTUAL 2020-2021	YTD ACTUAL 2020-2021	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 75.00%
UTILITY FUND REVENUES SUMMARY					
SERVICE FEES	23,921,619	1,889,524	14,747,020	61.65%	J
INTEREST INCOME	18,000	748	6,288	34.93%	
MISCELLANEOUS INCOME	33,000	1,410	149,937	454.35%	K
OTHER FINANCING SOURCES	3,718	0	3,718	0.00%	L
REVENUES	23,976,337	1,891,682	14,906,963	62.17%	
USE OF FUND BALANCE	0	NA	0	0	
USE OF CARRY-FORWARD FUNDS	1,040,244	NA	NA	NA	M
TOTAL REVENUES	25,016,581	NA	14,906,963	59.59%	
UTILITY FUND EXPENDITURE SUMMARY					
UTILITY ADMINISTRATION	1,362,604	56,763	601,826	44.17%	
UTILITIES - WATER	4,597,681	132,082	1,212,040	26.36%	
UTILITIES - SEWER	1,397,505	88,722	751,497	53.77%	
UTILITY BILLING	1,181,354	58,556	631,119	53.42%	
COMBINED SERVICES	15,425,292	1,845,585	12,658,817	82.07%	N
TOTAL EXPENDITURES	23,964,436	2,181,708	15,855,299	66.16%	
REVENUES OVER/(UNDER) EXPENDITURES	1,052,145	-290,026	-948,336	-6.57%	
J. Most Utility Fund Revenue billed in October was applicable to FY 2019-20. Water revenue is at 55% for 8 months compared to 2020's 51%. FY2020 water revenue was at 108% at year end. Sewer revenue is tracking at 75% for 8 months.					
K. NTMWD settlement of \$68,400 and \$22K for the scrap water meters plus \$45K for gain on sales of vehicles and land.					
L. Insurance recovery from stolen brass fittings.					
M. Largest Carry Forward items: Energov Software \$150,300, Pump Station Backup Generators \$601,370, WW Treatment Plant Decommissioning Design \$100,000					
N. Annual transfer to the General Fund of \$2.4 million. Other expenses are payments to NTMWD for water minimum and sewer treatment.					



Wylie City Council

AGENDA REPORT

Department: WEDC
Prepared By: Jason Greiner

Account Code: _____

Subject

Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of June 30, 2021.

Recommendation

Motion to approve Item as presented.

Discussion

The Wylie Economic Development Corporation (WEDC) Board of Directors approved the attached financials on July 21, 2021.

Financial Summary/Strategic Goals

Wylie Economic Development Corporation

MONTHLY FINANCIAL REPORT

June 30, 2021

ACCOUNT DESCRIPTION	ANNUAL BUDGET FY 2020-2021	CURRENT MONTH FY 2020-2021	PRIOR YEAR PO ADJUST.	YTD ACTUAL FY 2020-2021	YTD ENCUMBRANCE	BUDGET BALANCE	% OF BUDGET FY 2020-2021	
REVENUE SUMMARY								
CLAIM ON CASH / Bal Sheet	\$ 1,407,509.00			\$ 2,563,972.97				
SALES TAX	\$ 2,968,437.00	\$ 290,586.92	\$ -	\$ 2,124,244.27	\$ -	\$ 844,192.73	71.56%	A
ALLOCATED INTEREST EARNINGS	\$ 6,000.00	\$ 110.99	\$ -	\$ 780.49	\$ -	\$ 5,219.51	13.01%	
RENTAL INCOME	\$ 153,240.00	\$ 10,335.00	\$ -	\$ 96,545.00	\$ -	\$ 56,695.00	63.00%	
GAIN/LOSS - SALE OF PROPERTY	\$ 164,500.00	\$ -	\$ -	\$ (31,208.00)	\$ -	\$ 195,708.00	-18.97%	
INSURANCE RECOVERIES	\$ 54,545.27	\$ -	\$ -	\$ 40,614.11	\$ -	\$ 13,931.16	74.46%	
REVENUES	\$ 3,346,722.27	\$ 301,032.91	\$ -	\$ 2,230,975.87	\$ -	\$ 1,115,746.40	66.66%	
EXPENDITURE SUMMARY								
PERSONNEL	\$ 336,516.00	\$ 23,678.80	\$ -	\$ 230,790.75	\$ -	\$ 105,725.25	68.58%	
OPERATING EXPENSES	\$ 111,551.27	\$ 4,840.16	\$ -	\$ 39,276.51	\$ 418.57	\$ 71,856.19	35.58%	B
INCENTIVES	\$ 1,130,310.00	\$ -	\$ -	\$ 567,131.55	\$ 17,433.00	\$ 545,745.45	51.72%	
SPECIAL SERVICES	\$ 112,678.00	\$ 1,327.89	\$ -	\$ 71,156.37	\$ 2,062.87	\$ 39,458.76	64.98%	
ADVERTISING	\$ 114,100.00	\$ 5,647.87	\$ -	\$ 34,470.62	\$ -	\$ 79,629.38	30.21%	
COMMUNITY DEVELOPMENT	\$ 44,550.00	\$ 4,651.50	\$ -	\$ 14,568.09	\$ -	\$ 29,981.91	32.70%	
TRAVEL & TRAINING	\$ 62,600.00	\$ 2,256.80	\$ -	\$ 10,249.53	\$ -	\$ 52,350.47	16.37%	
DUES & SUBSCRIPTIONS	\$ 30,018.00	\$ 3,562.51	\$ -	\$ 25,028.32	\$ 748.00	\$ 4,241.68	85.87%	
AUDIT & LEGAL	\$ 33,000.00	\$ 1,677.00	\$ -	\$ 10,083.50	\$ -	\$ 22,916.50	30.56%	
ENGINEERING & ARCHITECTURAL	\$ 87,500.00	\$ 3,613.85	\$ -	\$ 43,311.63	\$ -	\$ 44,188.37	49.50%	
DEBT SERVICE	\$ 541,878.00	\$ 37,466.00	\$ -	\$ 432,184.51	\$ -	\$ 109,693.49	79.76%	
LAND	\$ 78,540.00	\$ -	\$ -	\$ 78,540.00	\$ -	\$ -	100.00%	
INFRASTRUCTURE PROJECTS	\$ 1,888,680.00	\$ -	\$ -	\$ 189,180.00	\$ -	\$ 1,699,500.00	10.02%	
FURNITURE & FIXTURES	\$ 2,500.00	\$ -	\$ -	\$ 797.00	\$ -	\$ 1,703.00	31.88%	
CONTRA CAPITAL	\$ -	\$ -	\$ -	\$ (78,540.00)	\$ -	\$ 78,540.00	0.00%	
TOTAL EXPENDITURES	\$ 4,574,421.27	\$ 88,722.38	\$ -	\$ 1,668,228.38	\$ 20,662.44	\$ 2,885,530.45	36.92%	
REV OVER/(UNDER) EXPEN	\$(1,227,699.00)	\$ 212,310.53	\$ -	\$ 562,747.49	\$ (20,662.44)	\$ (1,769,784.05)		

A. SLSTX Rev earned in April, allocated in June, was \$290,586.92, an increase of 21.41% over the same period in 2020.

Sales Tax received for 7 months of FY due to 2 month accrual to prior FY.

Updated Sales Tax projections for this FY: \$3,715,653

B. Operating Expenses include Supplies, Maint Materials, Rental, Communication, Insurance and Utilities.

Wylie Economic Development Corporation
Statement of Net Position
As of June 30, 2021

Assets

Cash and cash equivalents	\$ 2,776,314.74	
Receivables	\$ 60,000.00	Note 1
Inventories	\$ 12,106,477.50	
Prepaid Items	\$ -	
Total Assets	\$ 14,942,792.24	

Deferred Outflows of Resources

Pensions	\$ 95,608.55	
Total deferred outflows of resources	\$ 95,608.55	

Liabilities

Accounts Payable and other current liabilities	\$ 40,469.41	
Unearned Revenue	\$ 1,200.00	Note 2
Non current liabilities:		
Due within one year	\$ 118,605.05	Note 3
Due in more than one year	\$ 5,090,479.60	
Total Liabilities	\$ 5,250,754.06	

Deferred Inflows of Resources

Pensions	\$ (47,711.41)	
Total deferred inflows of resources	\$ (47,711.41)	

Net Position

Net investment in capital assets	\$ -	
Unrestricted	\$ 9,835,358.14	
Total Net Position	\$ 9,835,358.14	

Note 1: Includes incentives in the form of forgivable loans for \$60,000 (LUV-ROS)

Note 2: Deposits from rental property

Note 3: Liabilities due within one year includes compensated absences of \$20,727

111-WYLIE ECONOMIC DEVEL CORP

ACCOUNT# TITLE

ASSETS

=====

1000-10110	CLAIM ON CASH AND CASH EQUIV.	2,774,314.74
1000-10115	CASH - WEDC - INWOOD	0.00
1000-10135	ESCROW	0.00
1000-10180	DEPOSITS	2,000.00
1000-10198	OTHER - MISC CLEARING	0.00
1000-10341	TEXPOOL	0.00
1000-10343	LOGIC	0.00
1000-10481	INTEREST RECEIVABLE	0.00
1000-11511	ACCTS REC - MISC	0.00
1000-11517	ACCTS REC - SALES TAX	0.00
1000-12810	LEASE PAYMENTS RECEIVABLE	0.00
1000-12950	LOAN PROCEEDS RECEIVABLE	0.00
1000-12996	LOAN RECEIVABLE	0.00
1000-12997	ACCTS REC - JTM TECH	0.00
1000-12998	ACCTS REC - FORGIVEABLE LOANS	60,000.00
1000-14112	INVENTORY - MATERIAL/ SUPPLY	0.00
1000-14116	INVENTORY - LAND & BUILDINGS	12,106,477.50
1000-14118	INVENTORY - BAYCO/ SANDEN BLVD	0.00
1000-14310	PREPAID EXPENSES - MISC	0.00
1000-14410	DEFERRED OUTFLOWS	536,449.00
		15,479,241.24

TOTAL ASSETS

15,479,241.24

=====

LIABILITIES

=====

2000-20110	FEDERAL INCOME TAX PAYABLE	0.00
2000-20111	MEDICARE PAYABLE	0.00
2000-20112	CHILD SUPPORT PAYABLE	0.00
2000-20113	CREDIT UNION PAYABLE	0.00
2000-20114	IRS LEVY PAYABLE	0.00
2000-20115	NATIONWIDE DEFERRED COMP	0.00
2000-20116	HEALTH INSUR PAY-EMPLOYEE	35.71
2000-20117	TMRS PAYABLE	1,331.95
2000-20118	ROTH IRA PAYABLE	0.00
2000-20119	WORKERS COMP PAYABLE	0.00
2000-20120	FICA PAYABLE	0.00
2000-20121	TEC PAYABLE	0.00
2000-20122	STUDENT LOAN LEVY PAYABLE	0.00
2000-20123	ALIMONY PAYABLE	0.00
2000-20124	BANKRUPTCY PAYABLE	0.00
2000-20125	VALIC DEFERRED COMP	0.00
2000-20126	ICMA PAYABLE	0.00
2000-20127	EMP. LEGAL SERVICES PAYABLE	0.00
2000-20130	FLEXIBLE SPENDING ACCOUNT	6,812.34
2000-20131	EDWARD JONES DEFERRED COMP	0.00
2000-20132	EMP CARE FLITE	12.00
2000-20151	ACCRUED WAGES PAYABLE	0.00
2000-20180	ADDIT EMPLOYEE INSUR PAY	12.04
2000-20199	MISC PAYROLL PAYABLE	0.00

111-WYLIE ECONOMIC DEVEL CORP

ACCOUNT#	TITLE		
2000-20201	AP PENDING	0.00	
2000-20210	ACCOUNTS PAYABLE	32,265.37	
2000-20530	PROPERTY TAXES PAYABLE	0.00	
2000-20540	NOTES PAYABLE	536,449.00	
2000-20810	DUE TO GENERAL FUND	0.00	
2000-22270	DEFERRED INFLOW	0.00	
2000-22275	DEF INFLOW - LEASE PRINCIPAL	0.00	
2000-22280	DEFERRED INFLOW - LEASE INT	0.00	
2000-22915	RENTAL DEPOSITS	1,200.00	
TOTAL LIABILITIES			578,118.41
EQUITY			
=====			
3000-34110	FUND BALANCE - RESERVED	0.00	
3000-34590	FUND BALANCE-UNRESERV/UNDESIG	14,338,375.34	
TOTAL BEGINNING EQUITY			14,338,375.34
TOTAL REVENUE		2,230,975.87	
TOTAL EXPENSES		1,668,228.38	
REVENUE OVER/ (UNDER) EXPENSES			562,747.49
TOTAL EQUITY & OVER/ (UNDER)			14,901,122.83
TOTAL LIABILITIES, EQUITY & OVER/ (UNDER)			15,479,241.24
			=====

29

922-GEN LONG TERM DEBT (WEDC)

ACCOUNT# TITLE

EQUITY

=====

3000-34590 FUND BALANCE-UNRESERV/UNDESIG(5,317,765.74)
3000-35900 UNRESTRICTED NET POSITION (120,264.00)

TOTAL BEGINNING EQUITY (5,438,029.74)

TOTAL REVENUE 0.00
TOTAL EXPENSES (276,842.23)

REVENUE OVER/(UNDER) EXPENSES 276,842.23

TOTAL EQUITY & OVER/(UNDER) (5,161,187.51)

TOTAL LIABILITIES, EQUITY & OVER/(UNDER) 47,897.14
=====

Wylie Economic Development Corporation

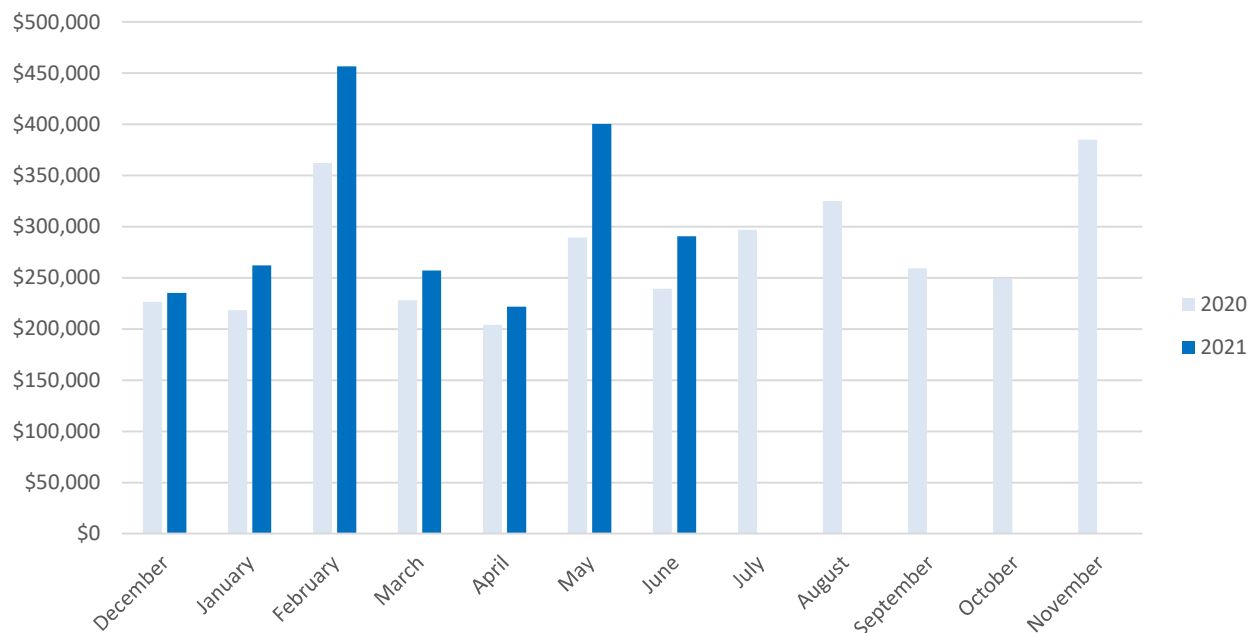
SALES TAX REPORT

June 30, 2021

BUDGETED YEAR

MONTH	FY 2018	FY 2019	FY 2020	FY 2021	DIFF 20 vs. 21	% DIFF 20 vs. 21
DECEMBER	\$ 184,848.59	\$ 214,867.15	\$ 226,663.94	\$ 235,381.33	\$ 8,717.39	3.85%
JANUARY	\$ 191,895.71	\$ 223,749.61	\$ 218,520.22	\$ 262,263.52	\$ 43,743.30	20.02%
FEBRUARY	\$ 275,667.83	\$ 307,366.66	\$ 362,129.18	\$ 456,571.35	\$ 94,442.17	26.08%
MARCH	\$ 182,852.50	\$ 208,222.32	\$ 228,091.34	\$ 257,187.91	\$ 29,096.57	12.76%
APRIL	\$ 163,484.89	\$ 182,499.53	\$ 203,895.57	\$ 221,881.55	\$ 17,985.98	8.82%
MAY	\$ 203,707.17	\$ 274,299.18	\$ 289,224.35	\$ 400,371.70	\$ 111,147.35	38.43%
JUNE	\$ 199,412.29	\$ 234,173.88	\$ 239,340.35	\$ 290,586.92	\$ 51,246.57	21.41%
JULY	\$ 213,976.64	\$ 215,107.94	\$ 296,954.00			
AUGUST	\$ 249,589.63	\$ 283,602.93	\$ 325,104.34			
SEPTEMBER	\$ 213,425.79	\$ 243,048.40	\$ 259,257.89			
OCTOBER	\$ 210,701.71	\$ 224,875.38	\$ 249,357.02			
NOVEMBER	\$ 273,196.62	\$ 308,324.41	\$ 384,953.89			
Sub-Total	\$ 2,562,759.35	\$ 2,920,137.37	\$ 3,283,492.09	\$ 2,124,244.28	\$ 356,379.32	18.77%
Total	\$ 2,562,759.35	\$ 2,920,137.37	\$ 3,283,492.09	\$ 2,124,244.28	\$ 356,379.32	18.77%

WEDC Sales Tax Analysis



*** Sales Tax collections typically take 2 months to be reflected as Revenue. SlsTx receipts are then accrued back 2 months.
 Example: June SlsTx Revenue is actually April SlsTx and is therefore the 7th allocation in FY21.

Wylie Economic Development Corporation

PERFORMANCE AGREEMENT REPORT

June 30, 2021

PERFORMANCE AGREEMENTS	TOTAL INCENTIVE	BUDGETED YEAR					REMAINING AFTER CURRENT FY	PREVIOUS FY PAYMENTS	TOTAL INCENTIVE	
		FY 2021	FY 2022	FY 2023	FY 2024	FY 2025				
CSD WOODBRIDGE	\$ 1,100,000.00	\$ 150,000.00	\$ 150,000.00	\$ 41,257.82	\$ -	\$ -	\$ 191,257.82	\$ 758,742.18	\$ 1,100,000.00	A
EXCO	\$ 80,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 80,000.00	\$ 80,000.00	B
SAF-HOLLAND	\$ 239,792.48	\$ 85,810.58	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 153,981.90	\$ 239,792.48	C
SCSD-FINNELL	\$ 175,000.00	\$ 87,500.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 87,500.00	\$ 175,000.00	
CROSS DEVELOPMENT	\$ 250,000.00	\$ 250,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 250,000.00	
WYLIE INSURANCE	\$ 27,500.00	\$ 27,500.00	***	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 27,500.00	D
WB REAL ESTATE	\$ 13,149.00	\$ 13,149.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 13,149.00	
FIRST MIRACLE	\$ 11,800.00	\$ 11,800.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 11,800.00	
CARDINAL STRATEGIES	\$ 106,800.00	\$ 24,933.00	\$ 24,933.00	\$ 24,934.00	\$ -	\$ -	\$ 49,867.00	\$ 32,000.00	\$ 106,800.00	
CBC PROPERTY HOLDINGS	\$ 50,000.00	\$ 25,000.00	\$ 25,000.00	\$ -	\$ -	\$ -	\$ 25,000.00	\$ -	\$ 50,000.00	
AVANTI, LLC	\$ 120,000.00	\$ 60,000.00	\$ 30,000.00	\$ 30,000.00	\$ -	\$ -	\$ 60,000.00	\$ -	\$ 120,000.00	
SAVANNAH WOODBRIDGE	\$ 90,000.00	\$ 45,000.00	\$ 45,000.00	\$ -	\$ -	\$ -	\$ 45,000.00	\$ -	\$ 90,000.00	
BALLERS ELITE- THE LAB, LLC	\$ 20,000.00	\$ 20,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 20,000.00	
AMERICAN ENTITLEMENTS	\$ 33,000.00	\$ 11,000.00	\$ 11,000.00	\$ 11,000.00	\$ -	\$ -	\$ 22,000.00	\$ -	\$ 33,000.00	
NORTH DALLAS WYLIE LAND	\$ 120,000.00	\$ 60,000.00	\$ 20,000.00	\$ 20,000.00	\$ 20,000.00	\$ -	\$ 60,000.00	\$ -	\$ 120,000.00	
GDA INVESTMENTS	\$ 30,500.00	\$ -	\$ 20,000.00	\$ 10,500.00	\$ -	\$ -	\$ 30,500.00	\$ -	\$ 30,500.00	
LUV-ROS	\$ 10,000.00	\$ -	\$ 5,000.00	\$ 5,000.00	\$ -	\$ -	\$ 10,000.00	\$ -	\$ 10,000.00	E
	\$ 2,761,044.61	\$ 871,692.58	\$ 330,933.00	\$ 142,691.82	\$ 20,000.00	\$ -	\$ 493,624.82	\$ 1,395,727.21	\$ 2,761,044.61	

Deferred Out Flow \$ 536,449.00

A. SLSTX Reimbursement Qrtly Pmnts

B. Performance Agreement and Forgivable Land Grant. Paid remaining \$70,000 in early 2021.

C. Performance Agreement and Partial Tax Reimbursement. \$45,000 for Job Creation & 50% Reimb. of App Val. above the Baseline of \$14,375,324

D. Performance Agreement Obligations were met in FY21, so the FY22 payment was pulled forward.

E. Performance Agreement (\$10,000) and Forgivable Land Grant (\$60,000 forgiven over 3 years). \$20,000/year in 2021, 2022, & 2023.



Wylie City Council

AGENDA REPORT

Department: Purchasing **Account Code:** 100-5511-52380
Prepared By: Glenna Hayes

Subject

Consider, and act upon, the award of bid #W2021-88-A for Parks and Recreation Outdoor Litter & Restroom Service to PureService Corporation in the estimated annual amount of \$76,030.00, and authorizing the City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented.

Discussion

This contract provides litter control and restroom cleaning services for various neighborhood parks and athletic complexes. These services will include 10 neighborhood parks and Community and Founders athletic complexes six days a week from February 15th - December 14th annually. During the winter months of December 15th-February 14th the contract will provide services for two days a week.

Staff issued a competitive sealed bid, and received two (2) submissions. The award methodology was lowest responsive, responsible bidder and staff reviewed the low bidder's financial stability, equipment and staffing, work history, and previous performance to determine compliance. The current FY 2020/2021 budget for this contract is \$65,000.00 annually. The lowest bid received was \$76,030.00 for the same services rendered under the current contract; with price increases due primarily to labor expenses. This is approximately a 15% increase from the current budgeted amount, and Staff has also adjusted the FY 2021/2022 budget.

Staff recommends the award of an annual contract with renewals to Pureservice Corporation in the estimated annual amount of \$76,030.00 as providing the best overall value to the City. Award of this bid will establish an annual agreement with renewals; Wylie #W2021-88-B.

Financial Summary/Strategic Goals



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, authorizing the City Manager to sign a Development Agreement, between the City of Wylie, 2819 West FM544 Ventures, LLC, and MMGC DBR DFW, LLC regarding the use of building materials for a commercial development on 1.022 acres, property located at 2817 FM 544.

Recommendation

Motion to approve Item as presented.

Discussion

The applicant (MMGC DBR DFW, LLC aka Dutch Bros) and the current land owner (2819 West FM544 Ventures, LLC) has requested to enter into a development agreement with the City of Wylie regarding the use of building materials for a commercial development located at 2817 FM 544.

In order to maintain the standards of the existing development, and as a part of the overall development agreement, the applicant is proposing to add a separate building materials agreement in accordance with Texas State Law Sec 3000.002(d).

The proposed development agreement, signed by the applicant, states that the developer will voluntarily abide by the building materials standards of the City of Wylie Zoning Ordinance. At the request of the current property owner, the agreement also states that should Dutch Bros not close on the property by September 7, 2021 then the DA is rescinded. Otherwise the DA remains in full force and effect.

A separate zoning request (SUP) for this proposed development is on this agenda for consideration. Approval of this authorization is not an approval of any requested zoning change.

Financial Summary/Strategic Goals

N/A

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVERS' LICENSE NUMBER.

After Recording Return to:

City of Wylie
Attention: City Manager
300 Country Club Road
Wylie, Texas 75098

**DEVELOPMENT AGREEMENT AMONG 2819 WEST FM544 VENTURES, LLC,
MMCG DBR DFW, LLC AND THE CITY OF WYLIE, TEXAS**

This DEVELOPMENT AGREEMENT ("Agreement") is made and entered into by and among the CITY OF WYLIE, TEXAS, a home-rule municipality ("Wylie"), and 2819 WEST FM544 VENTURES, LLC, a Texas limited liability company ("Developer"), and MMCG DBR DFW, LLC, a Texas limited liability company ("Dutch Bros Coffee Shop Developer"). Wylie, Developer and Dutch Bros Coffee Shop Developer are each referred to herein as a "party" or collectively as the "parties."

WHEREAS, Developer warrants that it is the sole owner of that certain tract of land situated in the City of Wylie, Collin County, Texas, consisting of 1.02 acres in total in McCords Little Six Subdivision, generally located at 2817-2819 W. FM 544, Wylie, Texas 75098, and more particularly described in Exhibit A, attached hereto and incorporated herein for all purposes (the "Property"); and

WHEREAS, Developer and Dutch Bros Coffee Shop Developer have entered into a Real Estate Purchase Agreement dated effective as of June 11, 2020 (the "Purchase Contract"), and in connection with the purchase of the Property by Dutch Bros Coffee Shop Developer, Developer and Dutch Bros Coffee Shop Developer are pursuing the issuance of a Special Use Permit for purposes of allowing the use of the Property as a restaurant with drive-in or drive-through service to be operated under the name Dutch Bros Coffee Shop; and

WHEREAS, the parties hereto agree that all of the rights and obligations under this Agreement are conditioned upon and subject to Dutch Bros Coffee Shop Developer becoming the owner of the Property on or before September 7, 2021; and

WHEREAS, Developer, Dutch Bros Coffee Shop Developer and Wylie acknowledge that Wylie has adopted certain standards for building products and materials and aesthetic methods in the construction, renovation, maintenance and alteration of buildings in Wylie; and

WHEREAS, subject to the terms, conditions and limitations set forth in the Agreement, Dutch Bros Coffee Shop Developer desires to voluntarily consent to complying with Wylie's standards for building products and materials and aesthetic methods, as referenced in Exhibit B, attached hereto and incorporated herein for all purposes (collectively, "Building Materials Standards"), on behalf of itself and its successors and assigns, in the construction, renovation,

maintenance and alteration of all buildings to be built in the future on the Property, regardless of whether the Property develops as the parties desire or intend or not; and

WHEREAS, Wylie hereby designates the Property for its cultural or architectural importance and significance pursuant to Section 3000.002(d) of the Texas Government Code; and

WHEREAS, the parties agree that they enter into this Agreement pursuant to Section 3000.002(d) of the Texas Government Code with the full understanding and intent that Wylie will have the right, but not the obligation, to enforce the Building Materials Standards on the Property as of the Effective Date (hereinafter defined) of this Agreement; and

WHEREAS, the Wylie City Council has investigated and determined that it would be advantageous and beneficial to Wylie and its citizens to enter into this Agreement on the terms and conditions set forth herein.

NOW, THEREFORE, in consideration of the covenants and conditions contained in this Agreement, Wylie and Developer agree as follows:

1. Incorporation of Recitals. The representations, covenants and recitations set forth in the forth in the foregoing recitals of this Agreement are true and correct, are incorporated into the body of this Agreement.
2. Land Subject to Agreement. The land that is subject to this Agreement is the Property. Developer represents and warrants that Developer is the sole owner of the Property as of the Effective Date of this Agreement.
3. Building Materials Standards.
 - (a) In the construction, renovation, maintenance and alteration of any existing or future building on the Property, the then-current owner of the Property shall not use or install, or permit the use or installation of, any building product or material or aesthetic method that does not comply with the Building Materials Standards, notwithstanding any conflicting provision of Chapter 3000 of the Texas Government Code, as it exists or may be amended. Developer and Dutch Bros Coffee Shop Developer voluntarily consent to this Agreement and Dutch Bros Coffee Shop Developer agrees to comply with this Agreement and the Building Materials Standards in the construction, renovation, maintenance and alteration of any building on the Property.
 - (b) Before commencement of construction, renovation, maintenance or alteration of any building on the Property on or after the Effective Date of this Agreement, the then-current owner of the Property shall impose deed restrictions on the Property, incorporating the requirements of this Agreement. As a condition of Wylie's issuance of any building permits on the Property, the then-current owner of the Property shall submit to Wylie the proposed deed restrictions in compliance with this Agreement. The deed restrictions must be approved, in writing, by the Wylie

City Planner. Wylie is entitled to withhold building permits on the Property (in addition to any other remedy available to Wylie) in the event that the then-current owner of the Property has not obtained such written approval. Once approved, the then-current owner of the Property shall record the approved deed restrictions in the Real Property Records of Collin County, Texas. The approved deed restrictions may not be amended, terminated or otherwise modified after Wylie's approval thereof without the prior written consent of the Wylie City Planner. Wylie shall be a third-party beneficiary of the approved deed restrictions, and Wylie shall have the right but not the obligation to enforce this Agreement and the approved deed restrictions, as they exist or may be amended.

- (c) Wylie designates the Property for its cultural or architectural importance and significance pursuant to Section 3000.002(d) of the Texas Government Code. Developer and Dutch Bros Coffee Shop Developer voluntarily consent and agree to such designation upon such transfer of the Property to Dutch Bros Coffee Shop Developer. Developer and Dutch Bros Coffee Shop Developer voluntarily waive any rights or protections that may exist under Chapter 3000 of the Texas Government Code, as it exists or may be amended, with respect to any existing or future building on the Property, and further agree that Wylie's right to enforce the Building Materials Standards arise from this Agreement and not from a rule, charter provision, ordinance, order, building code or other regulation of Wylie. The parties agree that Wylie is entitled to amend, revise, supplement and otherwise modify the Building Materials Standards in Wylie's sole discretion.

4. Default.

- (a) If an owner of the Property fails to comply with any provision of this Agreement, and such failure is not cured within thirty (30) days after Wylie sends written notice of such failure, then Wylie shall have the following remedies, in addition to Wylie's other rights and remedies:
 - (i) to file this instrument in the Real Property Records of Collin County, Texas as a lien or encumbrance on the Property;
 - (ii) to refuse to accept any portion of any public improvements on the Property or associated with the development of the Property;
 - (iii) to refuse to issue building permits for any building on the Property;
 - (iv) to refuse to issue a Certificate of Occupancy for any building on the Property;
 - (v) to require the then-current owner of the Property, or a portion thereof, and/or a contractor thereof to immediately cease the construction, renovation, maintenance and/or alteration of a building on the Property; and/or

- (vi) to seek specific enforcement of this Agreement.
- (b) If Wylie fails to comply with the terms and conditions of this Agreement and such failure is not cured within thirty (30) days after Wylie receives written notice of such failure, then the then-current owner of the Property may seek specific enforcement of this Agreement as such owner's sole and exclusive remedy.
5. Limitation of Liability. Notwithstanding anything to the contrary herein, the parties agree and acknowledge that Wylie shall not, under any circumstance, be required to tender, or be liable to any party for, any credit or reimbursement of, or payment of any monies, with regard to the matters set forth herein.
6. Covenant Running with the Land. This Agreement shall be a covenant running with the land and Property, and shall be binding on the Developer, Dutch Bros Coffee Shop Developer and their respective successors and assigns. Upon any sell or transfer of title to the Property, all of the rights, obligations and liabilities under this Agreement shall pass to the new owner of the Property, and, upon such sale or transfer, such prior owner shall be released from any obligations or liabilities hereunder accruing or otherwise resulting from any acts or omissions of any subsequent owner of the Property from and after the date of such sale or transfer, and Wylie agrees to look solely to such successor in interest for the performance of such obligations. Wylie shall cause this Agreement to be filed in the Real Property Records of Collin County, Texas.
7. Limitations of Agreement. Wylie ordinances covering property taxes, utility rates, permit fees, inspection fees, tree mitigation fees, impact fees, development fees, tap fees, pro-rata fees and the like are not affected by this Agreement. Further, this Agreement does not waive or limit any of the obligations of any party to Wylie under any ordinance, whether now existing or in the future arising.
8. Notices. Any notice provided or permitted to be given under this Agreement must be in writing and may be served by depositing same in the United States Mail, addressed to the Party to be notified, postage pre-paid and registered or certified with return receipt requested; by facsimile; by electronic mail, with documentation evidencing the addressee's receipt thereof; or by delivering the same in person to such Party a via hand-delivery service, or any courier service that provides a return receipt showing the date of actual delivery of same to the addressee thereof. Notice given in accordance herewith shall be effective upon receipt at the address of the addressee. For purposes of notification, the addresses of the parties shall be as follows:

If to Wylie, addressed to it at:
 City of Wylie
 Attention: City Manager
 300 Country Club Road
 Wylie, Texas 75098
 Telephone: (972) 516-6000

Facsimile: [REDACTED]

Email: [REDACTED]

with a copy to:

Abernathy, Roeder, Boyd & Hullett, P.C.

Attention: Ryan D. Pittman

1700 Redbud Blvd., Suite 300

McKinney, Texas 75069

Telephone: [REDACTED]

Facsimile: [REDACTED]

Email: [REDACTED]

If to Developer, addressed to Developer at:

2819 West FM 544 Venture, LLC

Attn: Robert L. Myers

8100 Lomo Alto Dr., Suite 211

Dallas, TX 75225

Telephone: [REDACTED]

Email: [REDACTED]

with a copy to:

Hallett & Perrin, P.C.

Attn: Craig A. Thompson

1445 Ross Avenue, Suite 2400

Dallas, Texas 75202

Telephone: [REDACTED]

Email: [REDACTED]

with a copy to:

Main & Main Capital Group, LLC

Attn: Eric Reed

5750 Genesis Ct., Suite 103

Frisco, Texas 75034

Telephone: [REDACTED]

Email: [REDACTED]

If to Dutch Bros Coffee Shop Developer, addressed to Dutch Bros Coffee Shop Developer at:

MMCG DBR DFW, LLC

Attn: Eric Reed

5750 Genesis Ct., Suite 103

Frisco, Texas 75034

Telephone: [REDACTED]

Email: [REDACTED]

with a copy to:

Robert M. Clark & Associates, P.C
 Attn: Robert M Clark
 5750 Genesis Ct., Suite 103
 Frisco, Texas 75034
 Telephone: [REDACTED]
 Email: [REDACTED]

9. Indemnity.

- (a) THE OWNER OF THE PROPERTY SHALL RELEASE, DEFEND, INDEMNIFY AND HOLD HARMLESS WYLIE FROM AND AGAINST ALL DAMAGES, INJURIES (INCLUDING DEATH), CLAIMS, PROPERTY DAMAGES (INCLUDING LOSS OF USE), LOSSES, DEMANDS, SUITS, JUDGMENTS AND COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND EXPENSES (INCLUDING ATTORNEY'S FEES AND EXPENSES INCURRED IN ENFORCING THIS INDEMNITY) CAUSED, IN WHOLE OR IN PART, BY THE NEGLIGENT, GROSSLY NEGLIGENT OR INTENTIONALLY WRONGFUL ACT OR OMISSION OF ANY DEVELOPER OR ANY OF EACH DEVELOPER'S OFFICERS, DIRECTORS, PARTNERS CONTRACTORS, SUBCONTRACTORS, EMPLOYEES, REPRESENTATIVES, AGENTS, SUCCESSORS, ASSIGNEES, VENDORS, GRANTEEES, TRUSTEES, LICENSEES, INVITEES OR ANY OTHER THIRD PARTY FOR WHOM DEVELOPER IS LEGALLY RESPONSIBLE, IN ITS/THEIR PERFORMANCE OF THIS AGREEMENT, REGARDLESS OF THE JOINT OR CONCURRENT NEGLIGENCE OF WYLIE (HEREINAFTER "CLAIMS"). DEVELOPER IS EXPRESSLY REQUIRED TO DEFEND WYLIE AGAINST ALL SUCH CLAIMS.
- (b) IN ITS SOLE DISCRETION, WYLIE SHALL HAVE THE RIGHT TO APPROVE OR SELECT DEFENSE COUNSEL TO BE RETAINED BY DEVELOPER IN FULFILLING EACH DEVELOPER'S OBLIGATION HEREUNDER TO DEFEND AND INDEMNIFY WYLIE, UNLESS SUCH RIGHT IS EXPRESSLY WAIVED BY WYLIE IN WRITING. WYLIE RESERVES THE RIGHT TO PROVIDE A PORTION OR ALL OF ITS OWN DEFENSE; HOWEVER, WYLIE IS UNDER NO OBLIGATION TO DO SO. ANY SUCH ACTION BY WYLIE IS NOT TO BE CONSTRUED AS A WAIVER OF ANY DEVELOPER'S OBLIGATION TO DEFEND WYLIE OR AS A WAIVER OF ANY DEVELOPER'S OBLIGATION TO INDEMNIFY WYLIE PURSUANT TO THIS AGREEMENT. EACH DEVELOPER SHALL RETAIN WYLIE-APPROVED DEFENSE COUNSEL WITHIN SEVEN (7) BUSINESS DAYS OF WYLIE'S WRITTEN NOTICE THAT WYLIE IS INVOKING ITS RIGHT TO INDEMNIFICATION UNDER THIS AGREEMENT. IF ANY DEVELOPER FAILS TO RETAIN COUNSEL WITHIN SUCH TIME PERIOD, WYLIE SHALL HAVE THE RIGHT TO RETAIN DEFENSE COUNSEL ON ITS OWN BEHALF, AND EACH DEVELOPER SHALL BE LIABLE FOR ALL COSTS INCURRED BY WYLIE.
- (c) THE RIGHTS AND OBLIGATIONS CREATED BY THIS SECTION SHALL SURVIVE THE TERMINATION OF THIS AGREEMENT.

10. Acknowledgement of Wylie's Compliance with Federal and State Constitutions, Statutes and Case Law and Federal, State and Local Ordinances, Rules and Regulations; Developer's Waiver and Release of Claims For Obligations Imposed by this Agreement.

(a) **THE PARTIES ACKNOWLEDGE AND AGREE THAT:**

(i) **THE OBLIGATIONS REQUIRED BY THIS AGREEMENT TO BE PERFORMED BY ANY PARTY, IN WHOLE OR IN PART, DO NOT CONSTITUTE A:**

- (A) **TAKING UNDER THE TEXAS OR UNITED STATES CONSTITUTION;**
- (B) **VIOLATION OF THE TEXAS WATER CODE, AS IT EXISTS OR MAY BE AMENDED;**
- (C) **VIOLATION OF THE TEXAS GOVERNMENT CODE, INCLUDING CHAPTER 3000, AS IT EXISTS OR MAY BE AMENDED;**
- (D) **NUISANCE; OR**
- (E) **CLAIM FOR DAMAGES OR REIMBURSEMENT AGAINST WYLIE FOR A VIOLATION OF ANY FEDERAL OR STATE CONSTITUTION, STATUTE OR CASE LAW OR ANY FEDERAL, STATE OR LOCAL ORDINANCE, RULE OR REGULATION.**

(ii) **THE OWNER OF THE PROPERTY SHALL INDEMNIFY AND HOLD HARMLESS WYLIE FROM AND AGAINST ANY CLAIMS AND SUITS OF THIRD PARTIES, INCLUDING BUT NOT LIMITED TO, ANY OF OWNER OF THE PROPERTY'S PARTNERS, OFFICERS, DIRECTORS, EMPLOYEES, REPRESENTATIVES, AGENTS, SUCCESSORS, ASSIGNEES, VENDORS, GRANTEEES OR TRUSTEES, BROUGHT PURSUANT TO OR AS A RESULT OF THIS SECTION.**

(b) **EACH OF DEVELOPER AND DUTCH BROS COFFEE SHOP DEVELOPER RELEASES WYLIE FROM ANY AND ALL CLAIMS OR CAUSES OF ACTION BASED ON EXCESSIVE OR ILLEGAL EXACTIONS.**

(c) **EACH OF DEVELOPER AND DUTCH BROS COFFEE SHOP DEVELOPER WAIVES ANY CLAIM FOR DAMAGES OR REIMBURSEMENT AGAINST WYLIE FOR A VIOLATION OF ANY FEDERAL OR STATE CONSTITUTION, STATUTE OR CASE LAW OR ANY FEDERAL, STATE OR LOCAL ORDINANCE, RULE OR REGULATION.**

(d) **THIS SECTION SHALL SURVIVE THE TERMINATION OF THIS AGREEMENT.**

11. Vested Rights/Chapter 245 Waiver. The parties shall be subject to all ordinances of Wylie, whether now existing or in the future arising. This Agreement shall confer no vested rights on the Property, or any portion thereof, unless specifically enumerated herein. In addition, nothing contained in this Agreement shall constitute a "permit" as defined in Chapter 245 of the Texas Local Government Code, as amended, and nothing in this Agreement provides Wylie with fair notice of any project of Developer. **EACH OF DEVELOPER AND DUTCH BROS COFFEE SHOP DEVELOPER WAIVES ANY STATUTORY CLAIM UNDER CHAPTER 245**

**OF THE TEXAS LOCAL GOVERNMENT CODE, AS AMENDED, UNDER THIS AGREEMENT.
THIS SECTION SHALL SURVIVE THE TERMINATION OF THIS AGREEMENT.**

12. Attorney's Fees. If either party files any action or brings any proceeding against the other arising from this Agreement, then the prevailing party shall be entitled to recover as an element of its costs of suit, and not as damages, reasonable and necessary attorneys' fees and litigation expenses both at trial and on appeal, subject to the limitations set forth in TEX. LOC. GOV'T CODE § 271.153, as it exists or may be amended, if applicable.
13. Warranties/Representations. All warranties, representations and covenants made by one party to the other in this Agreement or in any certificate or other instrument delivered by one party to the other under this Agreement shall be considered to have been relied upon by the other party and will survive the satisfaction of any fees under this Agreement, regardless of any investigation made by either party.
14. Entire Agreement. This Agreement contains the entire agreement of the parties with respect to the matters contained herein and may not be modified or terminated except upon the provisions hereof or by the mutual written agreement of the parties.
15. Governing Law; Venue. The laws of the State of Texas shall govern the interpretation, validity, performance and enforcement of this Agreement, without regard to conflict of law principles. This Agreement is performable in Collin County, Texas, and the exclusive venue for any action arising out of this Agreement shall be a court of appropriate jurisdiction in Collin County, Texas.
16. Consideration. This Agreement is executed by the parties without coercion or duress and for substantial consideration, the sufficiency of which is forever confessed.
17. Multiple Counterparts. This Agreement may be executed in a number of identical counterparts, each of which shall be deemed an original for all purposes. An electronic mail or facsimile signature will also be deemed to constitute an original if properly executed and delivered to the other party.
18. Authority to Execute. The individuals executing this Agreement on behalf of the respective parties below represent to each other and to others that all appropriate and necessary action has been taken to authorize the individual who is executing this Agreement to do so for and on behalf of the party for which his or her signature appears, that there are no other parties or entities required to execute this Agreement in order for the same to be an authorized and binding agreement on the party for whom the individual is signing this Agreement and that each individual affixing his or her signature hereto is authorized to do so, and such authorization is valid and effective on the Effective Date (hereinafter defined).
19. Savings; Severability. In the event that a term, condition or provision of this Agreement is determined to be invalid, illegal, void, unenforceable or unlawful by a court of competent jurisdiction, then that term, condition or provision shall be deleted and the remainder of the

Agreement shall remain in full force and effect as if such invalid, illegal, void, unenforceable or unlawful provision had never been contained in this Agreement.

20. Representations. Each party represents that it has carefully read this Agreement, knows the contents hereof, has consulted with an attorney of its choice regarding the meaning and effect hereof and is signing the same solely of its own judgment.
21. No Third Party Beneficiaries. Nothing in this Agreement shall be construed to create any right in any third party not a signatory to this Agreement, and the parties do not intend to create any third party beneficiaries by entering into this Agreement.
22. Binding Effect. This Agreement shall be binding upon and inure to the benefit of Wylie, Developer Dutch Bros Coffee Shop Developer, and their respective successors and assigns.
23. Indemnification. The Parties agree that the Indemnity provisions set forth in Section 9 and Section 10 herein are conspicuous, and the parties have read and understood the same.
24. Waiver. Waiver by either party of any breach of this Agreement, or the failure of either party to enforce any of the provisions of this Agreement, at any time, shall not in any way affect, limit or waive such party's right thereafter to enforce and compel strict compliance.
25. Immunity. It is expressly understood and agreed that, in the execution and performance of this Agreement, Wylie has not waived, nor shall be deemed hereby to have waived, any defense or immunity, including governmental, sovereign and official immunity, that would otherwise be available to it against claims arising in the exercise of governmental powers and functions. By entering into this Agreement, the parties do not create any obligations, express or implied, other than those set forth herein.
26. Miscellaneous Drafting Provisions. This Agreement shall be deemed drafted equally by all parties hereto. The language of all parts of this Agreement shall be construed as a whole according to its fair meaning, and any presumption or principle that the language herein is to be construed against any party shall not apply. Headings in this Agreement are for the convenience of the parties and are not intended to be used in construing this document.
27. Other. Notwithstanding anything to the contrary in this Agreement, this Agreement shall be void, and of no further force and effect, if the Property is not sold and conveyed to the Dutch Bros Coffee Shop Developer on or before September 7, 2021. In the event that the Property is not sold and conveyed to the Dutch Bros Coffee Shop Developer on or before September 7, 2021, then upon an affirmative showing by the current property owner that the sale and conveyance did not occur, Wylie will take such steps as are necessary to establish that this Agreement is void, including executing and recording a release in the public records.

[Signature page follows.]

IN WITNESS WHEREOF, the parties have executed this Agreement and caused this Agreement to be effective when all the parties have signed it. The date this Agreement is signed by the last party to sign it (as indicated by the date associated with that party's signature below) will be deemed the effective date of this Agreement ("Effective Date").

CITY OF WYLIE, TEXAS,
a home-rule municipality

By: _____
Chris Holsted, City Manager

Date: _____

Attested to by:

Stephanie Storm, City Secretary

STATE OF TEXAS §
 §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Chris Holsted, known to me to be one of the persons whose names are subscribed to the foregoing instrument; he acknowledged to me that he is the City Manager and duly authorized representative for the City of Wylie, Texas, and that he executed said instrument for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2021.

Notary Public, State of Texas
My Commission Expires: _____

2819 WEST FM544 VENTURES, LLC,
a Texas limited liability company

By: Myers Commercial, Inc.,
A Texas corporation,
Its Managing member

By: [Signature]
Robert L. Myers, President

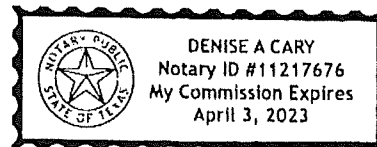
Date: July 20, 2021

STATE OF TEXAS §
 §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, on this day personally appeared Robert L. Myers, President of Myers Commercial, Inc., the managing member of 2819 West FM544 Ventures, LLC, known to me to be one of the persons whose names are subscribed to the foregoing instrument; he acknowledged to me that he executed the same for the purposes and consideration therein stated and in the capacity therein stated.

IN WITNESS WHEREOF, I have hereunto set my hand and seal of office this 20th day of July, 2021.

[Signature]
Notary Public, State of Texas
My Commission Expires: 4/3/23



MMCG DBR DFW, LLC,
a Texas limited liability company

By: _____

Eric Reed

(Name Printed)

Title: Manager

Date: 7-20-21

STATE OF TEXAS §
 §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared Eric Reed, Manager of MMCG DBR DFW, LLC, a Texas limited liability company, known to me to be one of the persons whose names are subscribed to the foregoing instrument; he acknowledged to me that he executed the same for the purposes and consideration therein stated and in the capacity therein stated.

IN WITNESS WHEREOF, I have hereunto set my hand and seal of office this 20th day of July, 2021.

Robert M. Clark

Notary Public, State of Texas

My Commission Expires: 4/23/22

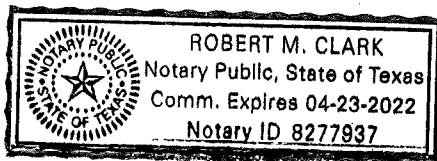


Exhibit A
Legal Description of the Property

TRACT 1:

Being a tract of land situated in the Moses Sparks Survey, Abstract No. 849 and being known as Lot 2 of McCords Little Six Subdivision, an unrecorded subdivision in the City of Wylie, Collin County, Texas, and being a portion of the same tract of land conveyed to Marylon Williams, by deed recorded in instrument No. 20070723001011140, of the Official Public Records of Collin County, Texas, and being more particularly described as follows:

Commencing from an TxDot monument found for corner, said corner being in the intersection of the North line of F.M. Road No. 544 (120 foot right-of-way) and being in the East line of Springwell Parkway (90 foot right-of-way) and being the Southwest corner of a tract of land conveyed to The Watts Family Trust, by deed recorded in Volume 5670, Page 2080, Deed Records, Collin County, Texas;

Thence North 89 degrees 40 minutes 09 seconds East, along the North line of said F.M. Road No. 544, a distance of 83.72 feet to a point for corner, said corner being the Southeast corner of said Watts tract and being the Point of Beginning;

Thence North 00 degrees 15 minutes 14 seconds West, along the East line of said Watts tract, a distance of 209.80 feet to a point for corner, said corner being the Northeast corner of said Watts tract and being in the South line of a 10 foot alley (unimproved);

Thence South 84 degrees 36 minutes 48 seconds East, along the South line of said alley, a distance of 19.50 feet to a point for corner;

Thence North 00 degrees 30 minutes 48 seconds West, continuing along the South line of said alley, a distance of 5.00 feet to a point for corner;

Thence South 84 degrees 37 minutes 10 seconds East, continuing along the South line of said alley, a distance of 86.02 feet to a point for corner, from which a 1/2 inch iron rod found for witness bears a bearing and distance of South 84 degrees 37 minutes 10 seconds East, 86.02 feet, said corner being the Northwest corner of Lot 3, Block 1 of McCord's 3 Addition, an addition to the City of Wylie, Collin County, Texas, according to the map or plat thereof recorded in Volume 2015, Page 246 of the Map Records of Collin County, Texas;

Thence South 00 degrees 16 minutes 13 seconds East, along the West line of said Lot 3, a distance of 204.30 feet to a point for corner, from which a 1/2 inch iron rod found for witness bears a bearing and distance of North 89 degrees 40 minutes 09 seconds East, 339.02 feet, said corner being the Southeast corner of said Lot 3 and being in the North line of said F.M. Road No. 544;

Thence South 89 degrees 40 minutes 09 seconds West, along the North line of said F.M. Road No. 544, a distance of 105.05 feet to the Point of Beginning and containing 21,909 square feet or 0.50 acre tract of land.

TRACT 2:

Being a lot, tract or parcel of land situated in the Moses Sparks Survey, Abstract No. 849, City of Wylie, Collin County, Texas, and being a portion of a tract of land conveyed to The Watts Family Trust by deed recorded in Volume 5670, Page 2080, Deed Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at an Aluminum Disk found along the North right of way line of W. F.M. Road No. 544 (120 foot right of way), and said corner being along the North line of a tract of land conveyed to State of Texas by deed recorded in Volume 4308, Page 2404, Deed Records, Collin County, Texas;

THENCE North 45 degrees 42 minutes 00 seconds West, a distance of 28.03 feet to a point for corner, and said corner being along the East right of way line of Springwell Parkway (90 foot right of way);

THENCE North 00 degrees 20 minutes 58 seconds West along the East right of way line of said Springwell Parkway, a distance of 205.52 feet to a point for corner, said corner being along a 10 foot alley;

THENCE South 84 degrees 36 minutes 48 seconds East along the South right of way line of said 10 foot alley, a distance of 90.02 feet to a point for corner;

THENCE South 00 degrees 30 minutes 48 seconds East, a distance of 5.00 feet to a point for corner;

THENCE South 84 degrees 36 minutes 48 seconds East, a distance of 14.50 feet to a point for corner, and said corner being the Northwest corner of a tract of land conveyed to Marylon Williams by deed recorded in Instrument No. 20070723001011140, Official Public Records, Collin County, Texas;

THENCE South 00 degrees 15 minutes 14 seconds East along the West line of said Williams tract, a distance of 209.80 feet to a point for corner, and said corner being along the North right of way line of said W. F.M. Road No. 544;

THENCE South 89 degrees 40 minutes 09 seconds West along the North right of way line of W. F.M. Road No. 544, a distance of 83.72 feet to the POINT OF BEGINNING and containing 22,578 square feet or 0.52 acres of land.

Exhibit B

Building Materials Standards

As used in this Agreement, the term “Building Materials Standards” shall include all standards for building products and materials and aesthetic methods in the construction, renovation, maintenance and alteration of buildings as set forth or referenced in the following:

1. Ordinance No. 2019-23, Zoning Ordinance, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto), including but not limited to Section 4.3 (Non-Residential Design Standards)
2. The Planned Development zoning ordinance or other zoning ordinance that approved the zoning on the Property, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
3. Ordinance No. 2018-14, International Property Maintenance Code and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
4. Ordinance No. 2018-13, International Existing Building Code and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
5. Ordinance No. 2017-41, International Fire Code and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
6. Ordinance No. 2017-40, National Electrical Code and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
7. Ordinance No. 2017-39, International Residential Code and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
8. Ordinance No. 2017-37, International Plumbing Code and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
9. Ordinance No. 2017-34, International Energy Conservation Code and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)
10. Ordinance No. 2017-32, International Building Code – Commercial and all local amendments thereto, as it exists or may be amended by Wylie in its sole discretion (and any successor ordinance thereto)

11. Any other existing or future or successor ordinance, rule or regulation adopted by the Wylie City Council that establishes a standard for a building product, material or aesthetic method in construction, renovation, maintenance or other alteration of a building if the standard is more stringent than a standard for the product, material, or aesthetic method under a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Tabled from 06-08-2021

Remove from table and consider

Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Agricultural (AG/30) to Planned Development - Single Family (PD-SF), to allow for a single family development on 4.6 acres, located at 601 & 595 Parker Road. (ZC2021-14).

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: Tim Bennett

ENGINEER: Tim Bennett

REMOVE FROM TABLE

The applicant is requesting to rezone 4.6 acres generally located 100' west from the intersection of Parker Road and Valley Mills Drive. The property is currently zoned Agricultural (AG/30). The purpose for the requested rezoning to a Planned Development is to allow for the construction of 20 single family lots and two open space lots.

Council tabled this item at the June 8 City Council meeting in order to address concerns such as fencing, drainage, traffic, tree preservation, height of the proposed homes, lot coverage, garage size, and general PD innovation.

To address those concerns, the applicant has proposed revisions to the PD Conditions:

- reduce the maximum lot coverage from 75% to 50%
- save a minimum of 27 of the 32 Live Oak trees along the eastern boundary. This required moving two proposed lot lines and added a condition for two lots to be built at 6,200 square feet with 50' frontages.
- provide an easement for a deceleration lane
- reduce the front landscape buffer to 25' to save several large trees on the front of the existing property.
- increase garage sizes from 400 sq ft to the minimum required by the Zoning Ordinance of 500 sq ft
- require an 8' fence along the eastern boundary and for the property owner to work with existing homeowners to avoid 'double fencing'.

Staff has determined that the preliminary drainage plan is in line with current engineering standards. This includes not reestablishing the drainage swale along the east side due to drainage moving to the cul-de-sac inlet.

The Planned Development proposes a minimum residential lot size of 6,200 sq.ft. with setbacks of 25' in the front, 5' on the sides, and 10' in the rear. Residential lots on cul-de-sacs are proposed to be allowed a 20' front setback. These standards are similar to the existing Harvest Bend subdivision located east of the subject property.

Access to the 20 single family homes is provided by a public street built to city standards. The street is in compliance with fire code requirements and will contain a fire hydrant at the end of the cul-de-sac.

The Planned Development contains exterior building material requirements of 85% masonry with 15% of a cementitious fiber cement material.

The Planned development provides a 25' landscaped buffer along the street frontage with a 6' decorative metal fence with masonry columns, with no requirement for fencing along the developed west perimeter.

All open space lots shall be owned and maintained by the HomeOwners Association. In addition, at the request of the P&Z Commission, an HOA maintained 8' wide sidewalk will be required to connect the subdivision to the open space to the south. This is planned to be along an easement between lots 9 and 10, according to the zoning exhibit.

The properties adjacent to the subject property are generally zoned single family residential. The subject property lies within the General Urban Sector of the Comprehensive Land Use Plan. While the General Urban Sector generally recommends commercial development or mixed-use high density residential, the proposed zoning, being adjacent to existing medium density residential on two sides, may be compatible with the plan.

Notifications/Responses: 27 notifications were mailed; with fourteen (14) responses received in opposition and none in favor of the request. The opposition responses generally mentioned increased traffic, privacy issues due to elevation differences, and loss of open space.

Should the request be approved, the approval of a preliminary plat is required prior to development.

P&Z Commission Discussion

After some discussion regarding the existing tree line on the east side of the property and fencing, the Commission voted 6-1 to recommend approval with the condition of a pedestrian trail being constructed between Lots 9 and 10 to connect the subdivision to the Oncor open space.

For conditional approval or disapproval City Council must provide a written statement of the reasons to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Gov't Code.

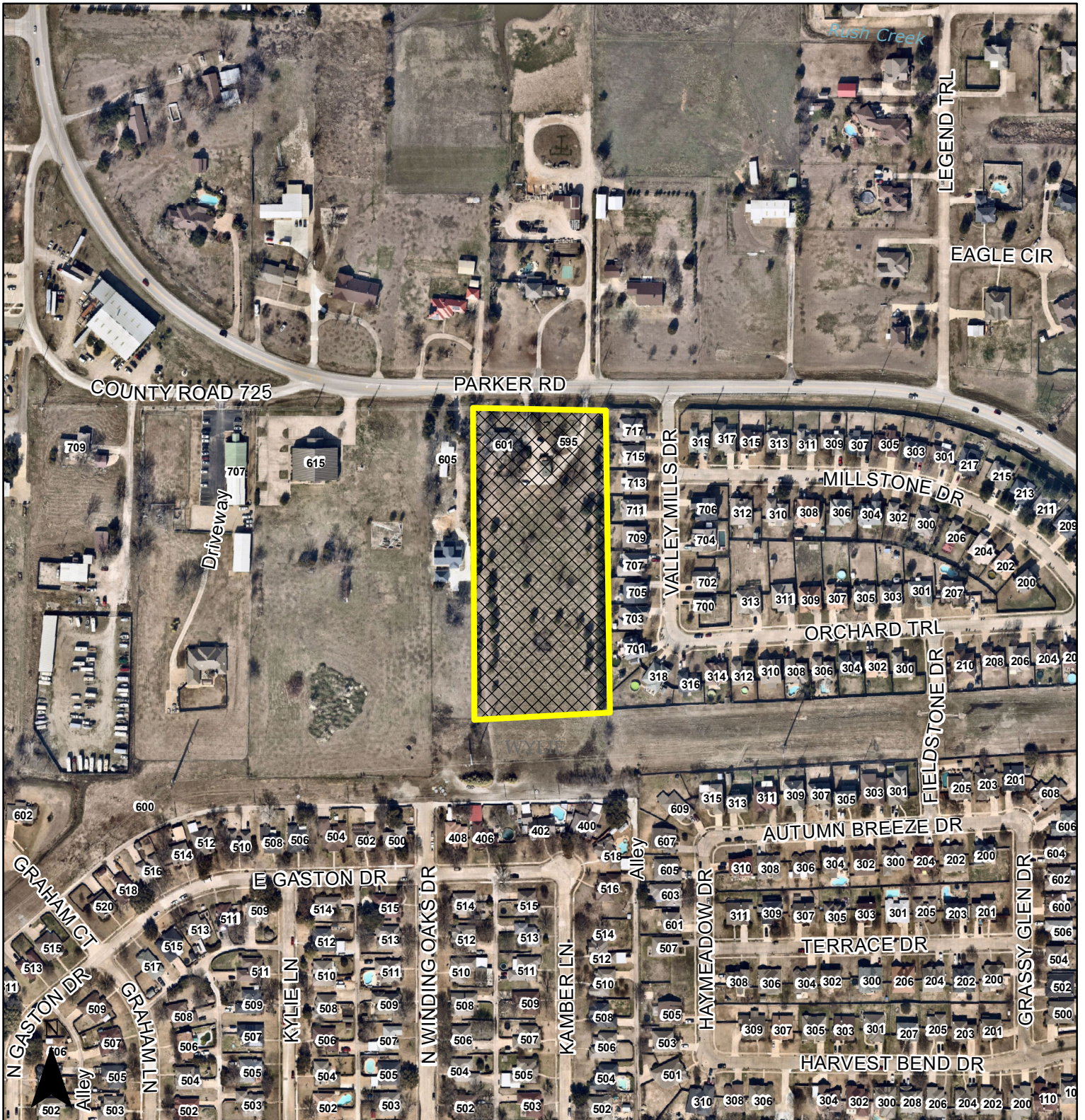
Financial Summary/Strategic Goals

Planning management

Health, safety, and well-being

Locator Map

07/27/2021 Item 1.

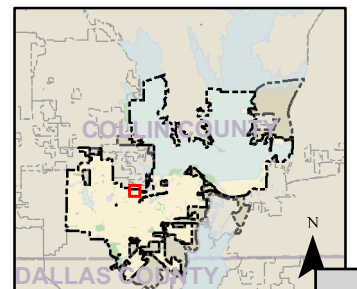


ZC 2021-14; Bennett Estates; 595 & 601 Parker Rd



Subject Property

0 145 290 580 870 1,160 Feet



PLANNED DEVELOPMENT STANDARDS

EXHIBIT “B”

BENNETT ESTATES

I. PURPOSE

The intent of Bennett Estates is to establish a long-lasting, high-quality community that contributes to the suburban lifestyle in the City of Wylie. The detached Single Family homes offered in Bennett Estates are very desirable for growing suburban areas.

II. GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Single Family 10/24 set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of March 2021) shall apply except for the following:

Figure 3-4 - Planned Development – Single Family (PD – SF)	
Lot Size (<i>Minimum</i>)	
Lot Area (sq. ft.)	6,200 – maximum of two lots 7,200 -
Lot Width (feet)	50
Lot width of corner Lots (feet)	65
Lot Depth (feet)	110
Lot Depth of Cul-de-sac Lots (feet)	85
Dwelling Regulations	
Minimum Square Footage	1,800 – maximum of 50% 2,200 – minimum of 50%
Design Standards Level of Achievement	See Section IV Design Conditions
Yard Requirements – Main Structures	
Front Yard (feet)	25
Front Yard of Cul-de-sac Lots (feet)	20
Side Yard (feet)	5
Side Yard of Corner Lots (feet)	5
Rear Yard (feet)	10
Rear Yard of Cul-de-sac Lots (feet)	10
Lot Coverage	50%
Height of Structures	
Main Structure (feet)	36

III. SPECIAL CONDITIONS:

All regulations of the Single Family 10/24 set forth in Article 3, Section 3.4 of the Comprehensive Zoning Ordinance (adopted as of March 2021) shall apply except for the following:

1. Maximum number of residential lots not to exceed 20 lots.
2. No alleys shall be required within the Planned Development.

3. All homes within the community shall have front entry garages.
4. J-swing garage entries are not required.
5. All common area lots shall be owned, and maintained by the Homeowners Association in perpetuity.
6. An HOA maintained 8' minimum wide sidewalk shall be constructed as generally depicted on the Zoning Exhibit to provide a pedestrian connection from the cul-de-sac to the Oncor easement and future trail.
7. There exists, at the time of this zoning, a line of 32 live oak trees (The Tree Line) located approximately 15' west of the east subdivision property line. No more than 5 of these trees shall be removed, for any reason, by the land developer or the home builder. Removal of trees by the homeowner shall conform to City of Wylie ordinances.
8. A 10' easement for a right turn deceleration lane shall be dedicated at time of platting, pending need and approval by TxDOT.

IV. DESIGN CONDITIONS:

All regulations of the Single Family 10/24 set forth in Article 3, Section 3.4 of the Comprehensive Zoning Ordinance (adopted as of March 2021) shall apply except for the following:

A. Land Design Standards

1. No public open space easements are required in the Planned Development.
2. In order to preserve the current mature tree growth, there shall be a variable 10' - 25' landscaped buffer along Parker Road. The buffer shall include a 6' masonry wall built as generally shown on the zoning exhibit.
3. Desirables, as listed in the zoning ordinance, shall not be required.

B. Street and Sidewalk Standards

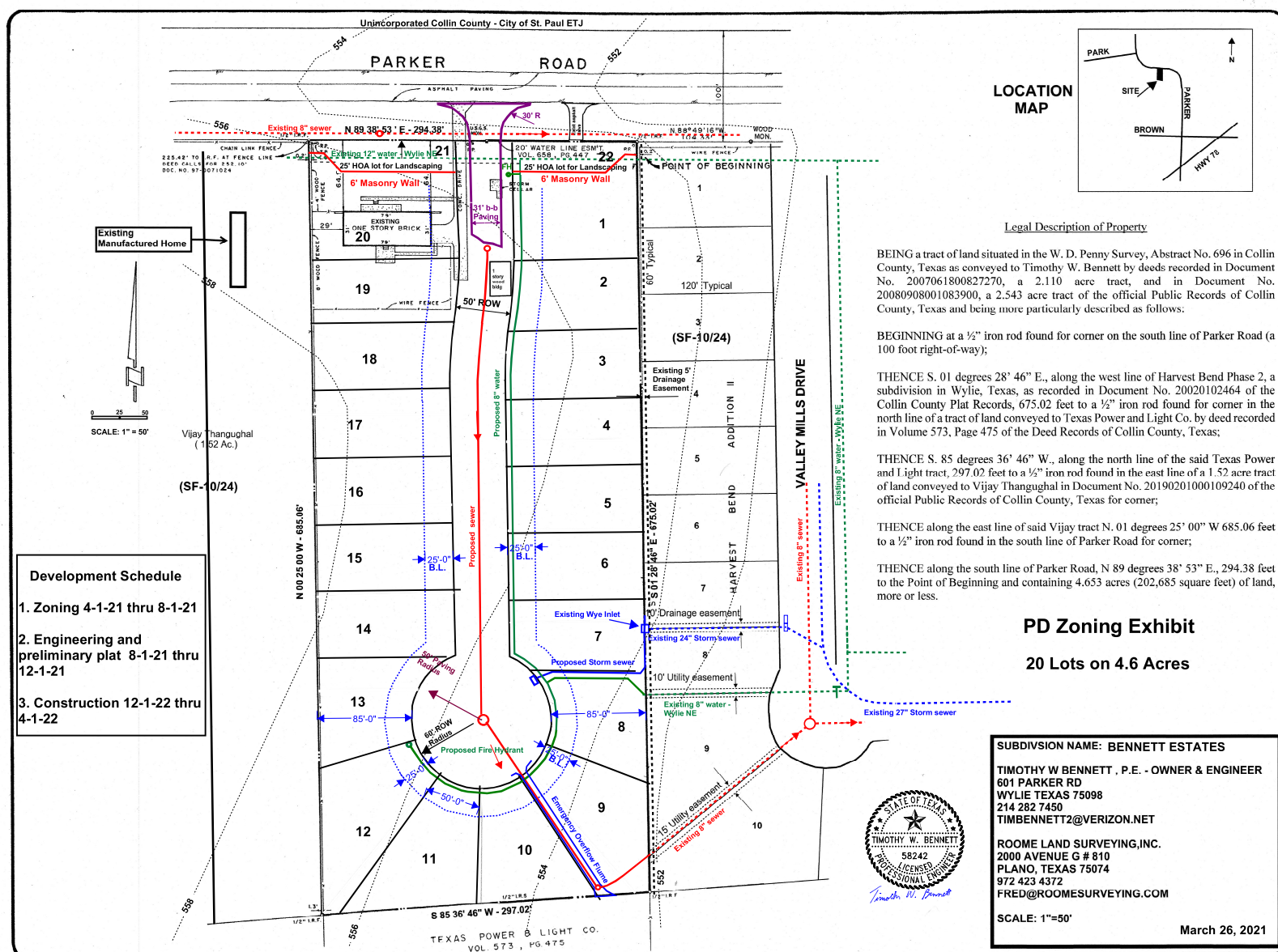
1. No curvilinear streets shall be required in the Planned Development.
2. A mailbox cluster shall be provided in the subdivision
3. Streetlights on decorative poles every 350' placed on the street throughout the subdivision.

C. Architectural Standards

1. At least 20% of the façade shall be offset a minimum of 1' either protruding from or recessed back from the remainder of the façade.
2. The minimum masonry percentage shall be 85% overall. The remaining 15% shall be cementitious fiber cement material.
3. 2nd story front elevation set back over brick shall be allowed with cementitious fiberboard.
4. A front-facing hip roof which faces the street, and which comprises greater than 35% of the total width of a house's façade shall be broken up with dormers or other architecturally compatible appurtenances.
5. Each single-family residential unit shall have a combined patio and/or porch total covered area of a minimum of 150 total square feet of floor area.
6. Minimum of 8:12 front elevation roof pitch on front elevations, except 3:12 roof pitches on porches/patios or dormers.
7. In order to encourage variety, the exterior facades of houses on the same side of the street shall vary within every 4 houses. The same exterior facade of home cannot be directly across the street from each other. When a house is constructed, the same combination of brick, stone, masonry-like materials, and paint shall not be used on other houses within four (4) lots on either side of that house. This shall be monitored by the Architectural Control Committee.
8. Each garage shall incorporate at least two of the following architectural features:

- a. Sconce lighting
 - b. Decorative banding or molding
 - c. Decorative overhangs above garage doors
 - d. Eyebrow soldier course over garage doors
 - e. Decorative brackets on garage doors
 - f. Columns flanking garage doors.
9. An 8' cedar fence shall be required along the rear lot line of all lots that adjoin the east subdivision line, by the home builder. To the extent possible, the builder shall coordinate with property owners along the eastern boundary to avoid 'double-fencing' and the creation of dead space.
10. Each residential dwelling shall have an established front lawn with 1 tree and 5 shrubs. Each residential dwelling shall also have a minimum of 1 tree in the backyard.

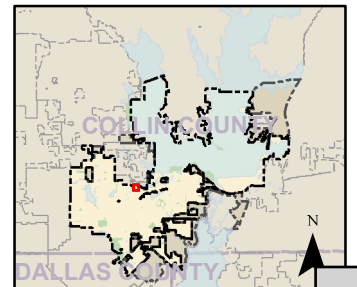
EXHIBIT “C-1”



07/27/2021 Item 1.



CITY OF
WYLIE



NOTICE OF PUBLIC HEARING
PLANNING AND ZONING COMMISSION
AND CITY COUNCIL
PROPOSED ZONING CHANGE

Zoning case number : 2021-14

Applicant : Tim Bennett

Location : 601 & 595 Parker Road

Property Description : Being part of Abstract A0696 W D Penney Survey, containing 4.6 acres.

Present Zoning : Agricultural District

Proposed Zoning : Planned Development – Single Family Detached

Applicant is proposing to develop a Single Family Detached Development on 4.6 acres.

Hello,

My name is Doug Hunt. My wife, Jacque Hunt, and I live at 703 Valley Mills Drive and have resided here for the last 18 years. In that time, we have seen our city grow and prosper, yet it still retains the small town appeal we experienced when we moved here from Plano.

Recently, the residents living on Valley Mills Drive received a letter and a map stating that the field located West and directly behind ten existing homes is being proposed for a zoning change.

I have spoken with many of the other residents of Valley Mills Drive as well as posted in our Harvest Bend Facebook page letting the know what is being proposed and how it would directly affect our neighborhoods, as well as other residents of Wylie and St. Paul.

I also cut and pasted the same post on two other Wylie Community/City Facebook pages as well, in order to let folks know what could be happening.

I can definitely say, there were ABSOLUTELY NO POSITIVE COMMENTS MADE BY ANYONE!

Most of the comments made mirrored each other in relation to concerns such as traffic, privacy, drainage, safety and destruction of one of the last few natural environments and ecosystems on the North side of the city. Below, I will list the concerns from myself and my wife, as well as neighbors.

Not interested in the noise and dust. The property in question is 4ft higher in elevation which means that when they grade the property to drain off, it will end up in our backyards and homes. Loss of the ecosystem and wildlife , loss of privacy, increase in traffic will also be a concern. Parker road is already a mess, we have two entrances/exits and sometimes we can wait for several minutes just to get out on Parker Road. Then at Brown & Ballard it is bottlenecked due to traffic and trains. Completely against this development as this is no doing anything for Wylie residents past, present, or future.

We also do not wish to have any two story homes behind us that can overlook directly into our yards. We voiced our concerns on the widening of Parker road and how it will affect us, but it was approved anyway. The way it is proposed in the entrance/exit to Harvest Bend #1 will only allow the right turn onto Parker Road which means all traffic wishing to turn left will have to use the north exit on Valley Mills Drive. It is already difficult to turn left as it is. With increased traffic flow and restricted entrance/exits, it will not get any better. We have had several wrecks at Paul Wilson Road and Parker Road due to excessive speed. A better way would be to install traffic lights down the length of Parker Road to regulate the flow. The plan is to make it

a six lane road which makes no sense because it funnels to a railroad track and downtown Wylie where it cannot be widened due to the placements of Historic Buildings.

Forcing all traffic through Harvest Bend #2 will cause more traffic noise, and we have a very active neighborhood full of children that play, ride bikes, skateboard, etcetera. That would increase the chance of injury to children. Wylie is starting to lose the small town feel that drew us due to all these homebuilders constantly constructing, soon we will just be an extension of Plano. The new houses built in Wylie are all higher priced and keep driving up the property tax of existing homes. You are quickly pricing us out of town. We have lost several neighbors due to the high property tax in Collin County.

Thank you for your time and consideration in this matter-

Sincerely,

Doug and Jacque Hunt

Zoning Case #2021-14 Bennett Estates

We, the undersigned residents of Valley Mills Drive located in the Harvest Bend II addition, and located within 200 feet of the area proposed for zoning change, do hereby formally protest this proposal.

63

PUBLIC COMMENT FORM

(Please type or use black ink)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of

Planning & Zoning

Commission meeting:

Tuesday, May 18, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of

City Council meeting:

Tuesday, June 8, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Carisa Boser and Nosakhare Ugare
(please print)

Address: 702 Valley Mills Dr.
Wylie, Tx. 75098

Signature:  

Date: 5/10/2021

COMMENTS:

Our current Infrastructure simply can not take on more traffic or construction. When will our children play? There is no safe access to parks and recreation for the children in our neighborhood. This type of build will significantly increase the traffic through our neighborhood increasing safety hazards and limiting safe play areas for our children. Two story homes will drastically decrease privacy for the residents backed up to this new development. This type of Build only contributes to the loss of our natural open countryside views. These views will be lost forever to the detriment of us and future generations.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

X I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of

Planning & Zoning

Commission meeting:

Tuesday, May 18, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of

City Council meeting:

Tuesday, June 8, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Wilson Nease

(please print)

Address:

709 Valley Mills Dr.

Wylie, TX 75098

Signature:

Wilson Nease

Date:

May 10, 2021

COMMENTS:

I am strongly opposed to This proposal. We
are very concerned about the already terrible traffic
problems. This will only compound the problem! The
other concerns are: ✓ Drainage from this property onto
our property. ✓ Traffic ✓ The year of construction
and property prep. ✓ The obvious loss of privacy
with homes overlooking our property.

PUBLIC COMMENT FORM (Please type or use block letters)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am FOR the requested zoning as explained on the attached public notice for Zoning Case #2021-14

✓ I am AGAINST the requested zoning as explained on the attached public notice for Zoning Case #2021-14

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning
Commission meeting:

Tuesday, May 18, 2021 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, June 8, 2021 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Bruce Bauman

(please print)

Address: 707 Valley Mills Dr

Signature: Bruce Ba

Date: May 10/21

COMMENTS:

traffic is already too heavy on
Parker Rd. Need widen the road.
Privacy will be an issue

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

☐ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning
 Commission meeting:

Tuesday, May 18, 2021 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, June 8, 2021 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: LOTHASINH KOUNLAVOUTH
 (please print)

Address: 700 Valley Mills DR.
Wylie, TX. 75098

Signature: 

Date: 5/5/21

COMMENTS:

The concern is the traffic along Parker road.
As of right now one can not turn left
on Parker Road during rush hours.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning

Commission meeting:

Tuesday, May 18, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, June 8, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

JEFF LAWSON
 (please print)

Address:

725 VALLEY MILLS DR

Signature:

Jeff Lawson

Date:

5-9-21

COMMENTS:

PUBLIC COMMENT FORM (Please type or use black ink)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

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Date, Location & Time of
City Council meeting:

Tuesday, June 8, 2021 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Linda Wallace
(please print)

Address: 713 Valley Mills Dr

Signature: Linda Wallace

Date: 5/9/2021

COMMENTS:

I was one of the first persons that built in Harvest Bend. I chose my lot because there was no one directly behind me. I did not want to be next to the power lines OK against Parker Road. If he builds it defeats the entire purpose of my lot purchase. I am against a new community. Thank you.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

_____ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

06 I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

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Date, Location & Time of

City Council meeting:

Tuesday, June 8, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

GLORIA SUAREZ

(please print)

Address:

715 Valley Mills Dr
Wylie, TX 75098

Signature:

[Signature]

Date:

05.08.2021

COMMENTS: Property ID: 2506304 RST3600F60201

Please see attached

Zoning Case: 2021-14

From: Gloria Suarez

Address: 715 Valley Mills Dr.

Wylie, TX 75098

Signature: 

Date: May 9, 2021

Property ID: 2506384 R513600F00201

1. Drainage: My concern is increased drainage problems. My property sits between 22 to 26 inches below Location 601/595 Parker Rd. I have a retaining wall the entire width of my backyard. The retaining wall has 14 drain pipes which expel directly into the backyard. Any heavy rain, results in some pooling in the middle of my backyard. Additionally to ease the heavy drainage, I share a French drain with my next door neighbor, which spills onto Valley Mills Dr.
2. Traffic: The 2 lane black top Parker Rd. already is congested, and more so during rush hours. It's difficult and dangerous to make a left hand turn out of the Harvest Bend subdivision onto Parker Rd. A left hand turn, from Parker Rd. into Harvest Bend often backs up traffic, due to the numerous oncoming vehicles. I know there are plans to widen Parker Rd. I don't keep track of the number of wrecks that occur on Parker Rd., which in my opinion are due to speed and the S-curve, but I can see traffic congestion and accidents increasing with the widening of Parker Rd. and the 19 homeowners, who probably will own more than one car.
3. Fence: There will be reduced privacy from homes built behind my property. I have a 6 ft. cedar fence with a catwalk, built in 2016 (less than 1% covered by insurance). The new homes will automatically sit above my property, by approximately 2 ft. What promise do I have that the new fencing will be of comparable quality and structure? 8-10 ft. and stable?

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.



I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

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Planning & Zoning
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Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, June 8, 2021 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

DOUG & JACQUE HUNT
(please print)

Address:

703 VALLEY MILLS DRIVE

Signature:

Doug Hunt Jacquie Hunt

Date:

5-4-21 5-4-21

COMMENTS:

The property in question is on a 4 ft higher elevation than the existing neighborhood in Harvest Bend. Builders grade each property for run off. We don't need anymore coming our way. This would destroy one of the last habitats for the world in the area. A new neighborhood would expose our loss of privacy since they are 4 ft taller & will likely have 2 stories on some. But Parker Road is already difficult to access from our neighborhood at many times of the day. Wylie decided to widen Parker road which will increase traffic & cause more bottlenecks because of RR tracks & ends in 2 lanes at Blomington. It will also close off entrance in Harvest Bend 1 causing traffic to enter/exit from Harvest Bend 2. Would have been better to add lights to regulate traffic, maybe prevent some wrecks at Paul Wilson Road. You're taking away the reason we moved here to begin with.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

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Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of

City Council meeting:

Tuesday, June 8, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Keeley Walker
(please print)

Address:

318 Orchard Trail
Wylie, Texas 75098

Signature:

K Walker

Date:

May 4, 2021

COMMENTS:

Not interested in noise, dust, the property is 4ft higher which means they grade the property to drain off and it will end up in our backyards/homes. Loss of ecosystem and wildlife, loss of privacy, increase in vehicles, Parker road is already a mess, we have two entrances/exits and sometimes we can wait several min just to get out on Parker road. Then at Brown & Ballard it's both connected due to traffic. Completely against this development as this is not doing anything for Wylie's redneck past, present, or future.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

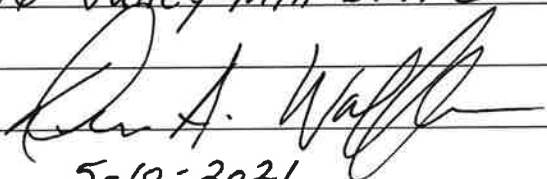
Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning
 Commission meeting:

Tuesday, May 18, 2021 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, June 8, 2021 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Denise Wallingford
 (please print)
 Address: 706 Valley Mill Drive
 Signature: 
 Date: 5-10-2021

COMMENTS:

Leading to more traffic - I moved to this area of Wylie
to get away from over crowded neighborhoods. - Beautiful open area

PUBLIC COMMENT FORM

(Please type or use black ink)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

X I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

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Planning & Zoning

Commission meeting:

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Date, Location & Time of

City Council meeting:

Tuesday, June 8, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Clay Ward
(please print)

Address:

701 Valley Mills Dr
Wylie TX 75098

Signature:

[Signature]

Date:

5/20/21

COMMENTS:

I am against the zone change due to the elevation difference between properties. Any new development in this area would be over 3 ft higher than ours. This would remove the privacy that we have enjoyed 14 years. This would also dramatically increase the activity, traffic and population in this area. ~~and~~ The back of our house faces west and is currently protected by a row of oak trees from the evening sun. The removal of these trees would directly impact the enjoyment of our backyard in the hotter months as well as my utility bills. I do not feel that this land in question should be allowed to be developed.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

☐ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-14.

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Name:

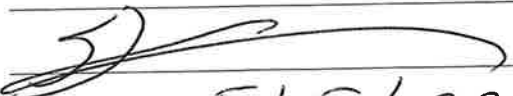
STEPHEN FARTHING

(please print)

Address:

400 E. GASTON DR.

Signature:



Date:

5/5/2021

COMMENTS:

I HAVE LIVED HERE FOR 21 YRS AND I
 WOULD LIKE TO KEEP MY REAR ACCESS
 PRIVACY AND MY LITTLE PIECE OF COUNTRY
 IN THIS EVER GROWING CITY. I MOVED
 HERE TO A SMALL TOWN & NOW IT IS A BIG
 CITY AND I AM RETIRED AND NOT WANTING
 TO MOVE, PLEASE LET ME KEEP MY LITTLE
 BIT OF COUNTRY IN THIS GROWING CITY

THANK YOU





Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Tabled from 07-13-2021

Remove from table and consider

Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-through on 1.022 acres, property located at 2817 FM 544. **(ZC2021-18)**

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: 2819 West FM 544 Ventures, LLC

ENGINEER: Tectonics Design Group

REMOVE FROM TABLE

The applicant is requesting a Special Use Permit (SUP) on 1.022 acres generally located on the northeast corner of Springwell Parkway and FM 544 to allow for a restaurant with drive-through service. The proposed use is for a Dutch Bros Coffee restaurant. The preliminary plat for the development was recommended for approval by P&Z on June 15, 2021 with Council consideration on July 13, 2021.

Council tabled this item at the July 13 City Council meeting in order to address concerns such as the continuation of the proposed use should the specific use cease and the general aesthetic of the main structure.

To address those concerns, the applicant has:

- amended the SUP to include only the Dutch Bros Coffee shop under this SUP
- amended the SUP to stipulate Dutch Bros has one year to complete development, or forfeit the SUP
- amend the SUP, amend the zoning exhibit elevations, and propose a building materials development agreement (on this agenda) to address aesthetic concerns

The Zoning Ordinance requires all restaurants with drive-throughs to obtain a Special Use Permit. As part of the Special Use Permit the applicant is also requesting for the Zoning Exhibits to function as the review and approvals of the site plan.

The proposed zoning exhibit provides 22 parking spaces with one ADA space. 13 spaces are a grasscrete surface due to the site exceeding the maximum allowed parking, which is defined as 25% or more over the required minimum.

The site provides two points of access from Springwell Parkway and FM 544. The landscaped area totals 30% and contains a 10' landscape buffer, exceeding the required 20% for CC districts, and includes 5' wide sidewalks along both street frontages.

The structure is proposed to have an exterior that consists of stucco, split face CMU, Nichihacement board, and metal awnings.

Notifications/Responses: 18 notifications were mailed; with one response received in favor and no response in opposition of the request.

P&Z Commission Discussion

The Commission voted 7-0 to recommend approval.

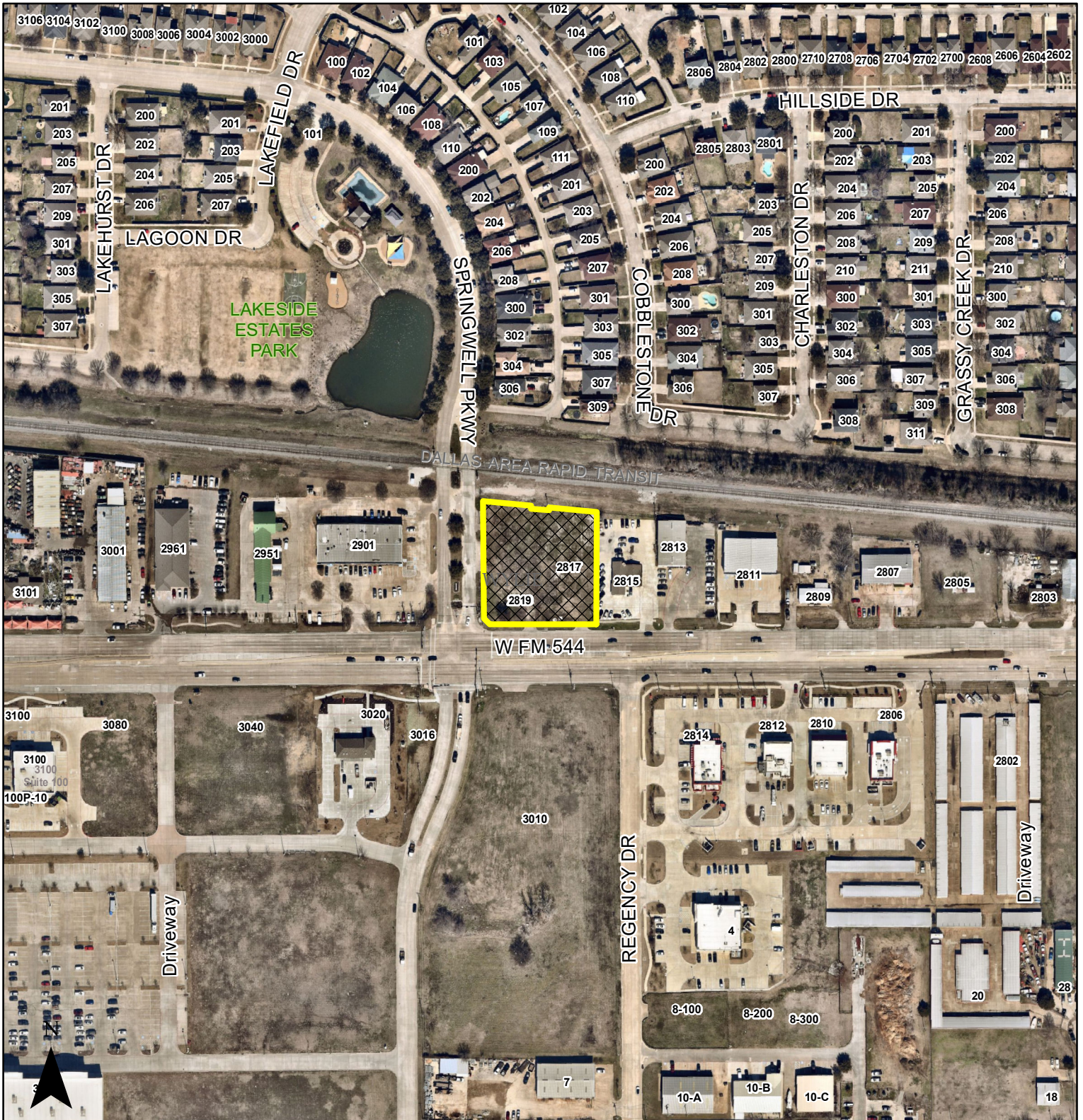
Financial Summary/Strategic Goals

Health, Safety, Well-Being

Planning Management

Locator Map

07/27/2021 Item 2.

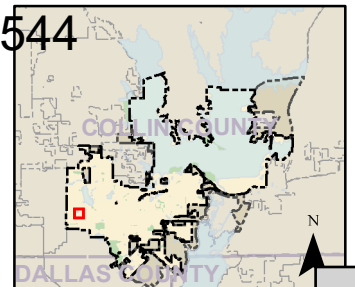


ZC 2021-18 Dutch Bros Coffee; 2817 & 2819 W FM 544



Subject Property

0 120 240 480 720 960 Feet



Dutch Bros Coffee

EXHIBIT "B"

Conditions For Special Use Permit

I. PURPOSE:

The purpose of this Special Use Permit is to allow for a restaurant with drive-in or drive-through service use as a Dutch Bros Coffee Shop.

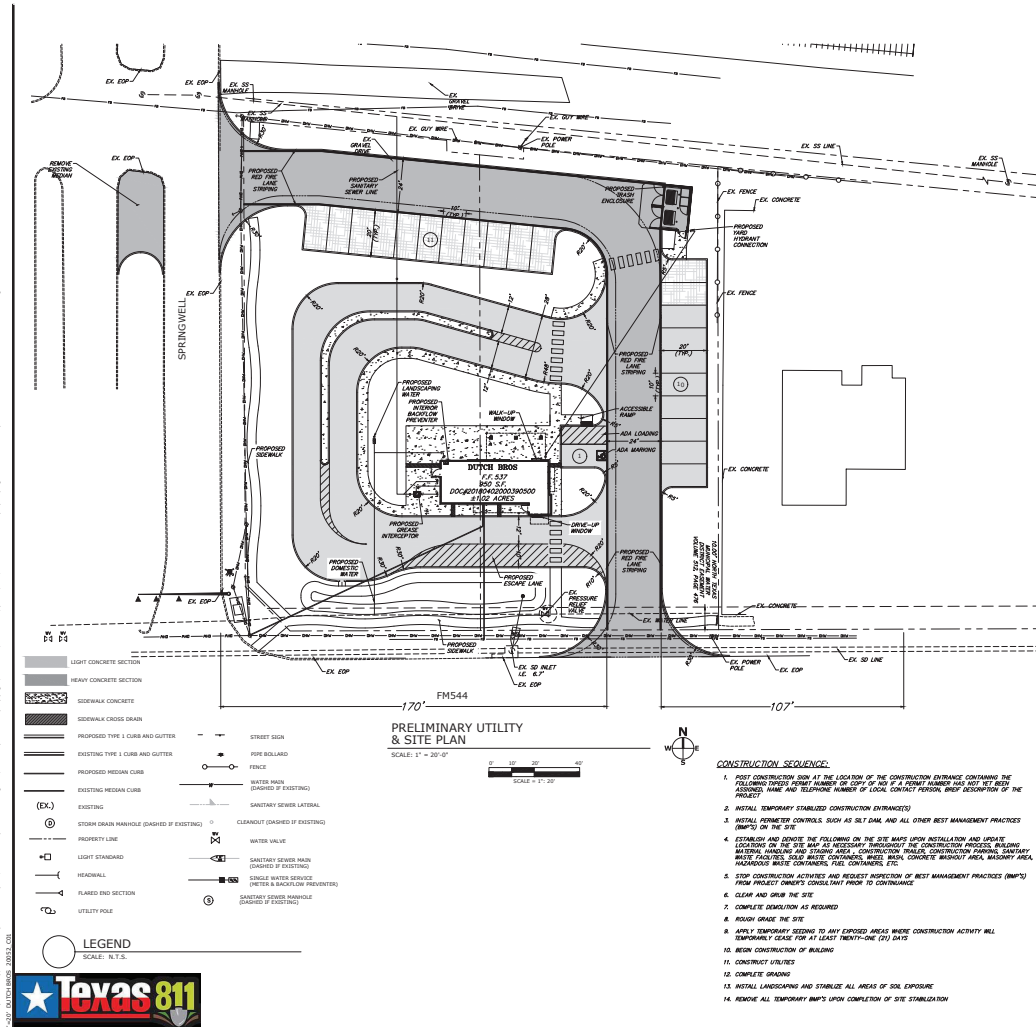
II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
2. The design and development of the Dutch Bros Coffee development shall be in accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

1. The Zoning Exhibit (Exhibit C) shall serve as the Site Plan for the Dutch Bros Coffee Development. Approval of the SUP shall act as site plan approval.
2. This SUP shall automatically terminate and be rescinded without further action by the City or City Council, and the property reverted to the underlying Commercial Corridor zoning, should any of the following occur:
 - a. MMCG DBR DFW, LLC, is not the sole owner of fee simple title to the Property on September 7, 2021; or
 - b. The Property is not developed as a Dutch Bros coffee shop by August 10, 2022. "Developed" being defined as the Property owner(s) on the referenced date receiving a signed Certificate of Occupancy from the City; or
 - c. The use of the Property ceases as a Dutch Bros coffee shop and/or approval of a new or revised site plan is required.

The owner (Dutch Bros., Inc.) and its authorized representatives (architects, engineers, etc.) warrant that the information provided herein is true and correct to the best of their knowledge and belief. The owner warrants that the information provided herein is true and correct to the best of their knowledge and belief. The owner warrants that the information provided herein is true and correct to the best of their knowledge and belief.



VICINITY MAP

DESIGN TEAM

OWNER:
 MAIN & MAIN
 5750 Genesis Court, Suite 103
 Frisco, Texas 75034
 (214) 308-0008

Civil Engineer:
 TECTONICS DESIGN GROUP
 7100 Central Express, Suite 250
 Frisco, Texas 75034
 (972) 472-0008
 AEC: Matt Rasmussen, P.E.

Surveyor:
 MORRISON-SHIPLEY ENGINEERS, INC.
 5750 GENESIS CT, STE 130
 FRISCO, TEXAS 75034
 (972) 472-0008

Landscape Architect:
 Bella Firma
 4245 North Central Express
 Suite 501
 Dallas, Texas, 75205
 (214) 865-7102
 AEC: Karl Haug

SITE INFORMATION

LOT INFORMATION
 LOT SIZE: 44,501 SF (1.02 AC)
 FLOOD ZONE: X
 BUILDING SETBACK:
 FRONT: 25'
 SIDE: 10'
 REAR: 10'
 BUILDING SIZE: 955 SF
 LOT COVERAGE: 2.14%
 SITE IMPROVEMENT PERCENTAGE: 61.84%

PARKING ALLOWED:
 RATIO REQUIRED: (950/150) = 1:150 SF
 REQUIRED PARKING: (7*1.25) = 9
 MAXIMUM PARKING: (7*1.25) = 9

SPACES PROVIDED:
 13 NEAR INTERVENOUS SURFACE
 8 STANDARD STALL
 ADA STALL
 22 TOTAL

CONTRACT

OWNER: C.S.O.
 PROJECT: 1.P.B.
 CHECKED/STAMPED:

DESIGN

TECTONICS DESIGN GROUP
 7100 Central Express, Suite 250
 Frisco, Texas 75034
 (972) 472-0008
 AEC: Matt Rasmussen, P.E.

PROJECT LOCATION

OWNER:
 MAIN & MAIN
 5750 Genesis Court, Suite 103
 Frisco, Texas 75034
 (214) 308-0008

Surveyor:
 MORRISON-SHIPLEY ENGINEERS, INC.
 5750 GENESIS CT, STE 130
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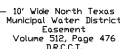
DATE: 03/04/21
DATE: 04/08/21

PRELIMINARY UTILITY AND SITE PLAN

C0.1

PROJECT LOCATION

OWNER:
 MAIN & MAIN
 5750 Genesis Court, Suite 103, Frisco, Texas 75034
 tel 214-308-0008



PLANT LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
	TREES				
DE	<i>Thuja occidentalis</i>	Eastern White	9	30 ft.	container grown, 2-6" mark, "H. minis." 4"
LW	<i>Ulmus parvifolia</i> "Temperance"	Laetant Elm	5	30 ft.	container grown, 12-14" db, 4" spread, 4" branch
CS	<i>Quercus macrocarpa</i>	Shumard Red Oak	2	2 ft.	container grown, 12" db, 4" spread, 4" branch
	SHRUBS AND CROUCHERS				
AB	<i>Ardisia graminifolia</i> "New York"	Wintergreen "New York"	14	6 ft.	container fed, 20" spread
AB	<i>Juniperus communis</i> "Blue Star"	Common "Blue Star"	17	6 ft.	container fed, 20" spread
MS	<i>Salix integra</i> "Aurea"	Golden Willow "Aurea"	1	6 ft.	container fed, 20" spread
MS	<i>Yucca filifera</i> "Ribbon"	Belted R. Stems Yucca	9	6 ft.	container fed, 20" spread
MS	<i>Yucca filifera</i> "Ribbon"	Belted R. Stems Yucca	9	6 ft.	container fed, 20" spread
TR	<i>Leucophaea frutescens</i> "Green Cloud"	Cloud Tree "Green Cloud"	2	20 ft.	container fed, 20" spread, 24" db.
TR	<i>Leucophaea frutescens</i> "Green Cloud"	Cloud Tree "Green Cloud"	2	20 ft.	container fed, 20" spread, 24" db.
RR	<i>Coronilla varia</i>	Common Dogwood	1	20 ft.	24" db., 4" db. with weak seedling

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED PLANTING ELEMENTS AND LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA SHALL BE PROVIDED TO CONTRACTOR BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 24" SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE A MINIMUM 2% SLOPE AWAY FROM AREAS TO RECEIVE TOPSOIL. 3" BELOW FINISH FISHED GRADE IN PLANTING AREAS AND 1" BELOW FINISH GRADE IN PLANTING AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE USED TO SEPARATE WALKS OR CURBS, OR WALKS OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLES TO CURBS AND WALKS.
- TOP OF MULKCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE BUILT SOLO GOD OR CONCRETE, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE IRRIGATED BY SPRINKLER SYSTEM. SPRINKLER IRRIGATION SYSTEM WITH MAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLS SHALL BE PROVIDED. IRRIGATION SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL ENGINEER.

2. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVOID EXCESSIVE VIBRATIONS TO EXISTING CONSTRUCTION MATERIAL.
3. CONTRACTOR SHALL LEAVE LAWN AREAS 7' BELOW FINISHED GRADE AS INDICATED ON CIVIL DRAWING FOR INSTALLATION.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINISHED GRADE AS INDICATED ON CIVIL DRAWING. ADJUST COURTOUS TO ACHIEVE POSITIVE DRAINAGE TO EXISTING DRIVEWAYS, SIDEWALKS, DRIVEWAYS, AND LAWN. ROUNDED AT TOP AND BOTTOM OF SLOPES AND SLOPES TO BE GRADUALLY SLOPED TO REGULARIZED AREAS WHERE WATER MAY STAY.
5. ALL LAWN AREAS SHALL BE FINE GRADED, IRIGATED AND SEEDING. CONTRACTOR SHALL PROVIDE EVIDENCE APPROVED BY THE OWNER'S CONSTRUCTOR SUPERVISOR AND LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
6. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, OLD CLODS, STICKS, BRANCHES, LIMBS, ETC. PRIOR TO LAWN SEEDING AND LAWN INSTALLATION.
7. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS. NOT BE LIMITED TO: MOVING, WATERING, WEEDING, FERTILIZING, SEEDING, AND PLANTING. CONTRACTOR SHALL PROVIDE BARE AREAS TO KEEP PLANTS IN A VIGOROUS HEALTHY CONDITION.
8. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE MAINTENANCE AND LOCAL SUPPLY FOR TURF AREA.

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.

4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOE WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

SITE LANDSCAPE
1. Twenty (20%) percent of the site to be landscaped areas.

Total Site Area: 40,388 s.f. (0.927 AC)
Required: 8,078 s.f. (20%) 12,339 s.f. (30%)

PARKING LOT LANDSCAPE
1. Fifty (50) s.f. of landscape area per parking space.
2. No parking space further than sixty (60') feet from landscape area on site.
3. All parking rows shall have landscape areas at least every twelve (12) parking spaces.

Parking Spaces: 22
Required: 1,100 s.f.
All spaces within 60' of landscape area
Landscape areas at least every 12 parking spaces

Provided: 1,374 s.f.
All spaces within 60' of landscape area
Landscape areas at least every 12 parking spaces

1. At least fifty (50%) percent of the required yard developed as landscaped buffer, at least ten (10') foot in width.	
2. Trees, three (3") inch cal. min., at 30' - 40' o.c.	
3. Four (4') foot min. landscaping concrete walkway.	
FM 544 - 188 I.F.	
Required	Provided
10' landscape buffer	20' landscape buffer
(5) trees, 3" cal.	(5) trees, 3" cal.
4" meandering concrete walkway	4" meandering concrete walkway
Springwell Parkway: 205 I.F.	
Required	Provided
10' landscape buffer	20' landscape buffer
(5) trees, 3" cal.	(5) trees, 3" cal.
4" meandering concrete walkway	4" meandering concrete walkway

1. Landscaping that exceeds the minimum by 10%.
2. Parking lots with no space further than 40' from landscaped area.
3. Landscaped pedestrian connection to main entrance.
4. Increase in minimum width of landscape buffer by 20%.



SCALE: 1" = 20'-0"



**BELLE
FIRMA**

4345 North Central Exp
Suite 201
Dallas, Texas 75205
214.863.7102

[illegible]

SECTION 32 0300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCES DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.
- B. Work included: Furnish all materials, labor, materials, services, equipment and appliances required to complete the work covered in specifications and landscaping plans, including:
 1. Planting (trees, shrubs and grasses)
 2. Bed preparation and fertilization
 3. Notification of source
 4. Water and maintenance until final acceptance
 5. Guarantee

1.2 DESCRIPTION OF WORK

- A. American Standard for Nursery Stock published by American Association of Nurserymen, April 14, 2014 Edition by American Association of Nurserymen, Inc. 2011 - plant names
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grasses and Standards

1.3 REFERENCE STANDARDS

- A. Sample: Provide representative quantities of variety used, match the material, grade, color, texture, and appearance of the material. Samples shall be approved by Owner's Authorized Representative before use on the project.
- B. Sample: Provide representative quantities of variety used, match the material, grade, color, texture, and appearance of the material. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Sample: Provide representative quantities of variety used, match the material, grade, color, texture, and appearance of the material. Samples shall be approved by Owner's Authorized Representative before use on the project.
- B. Sample: Provide representative quantities of variety used, match the material, grade, color, texture, and appearance of the material. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General: Contractor to complete the following punch list: Prior to Landscape Contractor's start, verify and confirm all utility locations and installation. General Contractor shall leave planting bed area three (3) inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive seed and shall be left one (1) inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. The Contractor shall, throughout the project, maintain the site in a neat and orderly condition and shall be responsible for the removal of all construction debris and materials from the site.
 2. Maintenance shall include watering of trees and plants, collection, weeding, weeding, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary for maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee

1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead material, as soon as weather permits and upon notification of the Owner. Plants, including trees, which have perished due to frost damage, fire, or other causes, shall be replaced by the Contractor. The Contractor shall be responsible for the replacement of all plants that have perished. In such cases, the option of the Owner shall be final.

2. Plants used for replacement shall be of the same size and kind as those originally specified and shall be planted as originally specified. All work, including materials, labor and equipment used in replacement, shall carry a twelve (12) month guarantee. Any damage, including roots in lawn or bad areas, incurred as a result of making replacement shall be immediately repaired.

3. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
4. When plant replacements are made, plants, soil mix, fertilizer and mulch shall be installed in compliance with the contract requirements. All replacements are to be included under "Work" of this section.

5. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and conduct tree care after the acceptance.
6. The above guarantee shall not apply when plants die after acceptance because of injury from storms, hail, fires, insects, diseases, signs by humans, machines or other causes.
7. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, unobjectionable condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

8. Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to the Contractor, may provide materials and labor to make such repairs at the expense to the Landscape Contractor.
9. General: Compliance with applicable federal, state, county and local regulations governing landscape materials and work.

10. Payment: Prompt and adequate payment shall be made with the required work. Provide full time assistance with a qualified landscape architect to coordinate the job as specified.
11. Selection of Plant Material:
 - A. Make certain to acquire immediately upon obtaining notice of contract acceptance to select and check materials and work. The Contractor shall be responsible for the selection of plants that will ensure the purchased materials will meet and / or exceed project specifications.
 - B. Substitutions: Do not make plant material substitutions. If the specified landscape material is not available, request proof of non-availability to Landscape Architect. Approved substitutions shall be of equal or better quality. If the substitutions are substituted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - C. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedule to site.
 - D. Measurements: Measure trees with branches and trunk or crown in their normal position. Do not prune to obtain girth for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions, do not measure from branch to root tip to tip.

12. Oversee: Authorized Representative shall inspect all plant material with requirements for quality, species, caliper / variety size and quality.
13. Oversee: Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent diseases.
14. Oversee: Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material or no additional cost to the Owner. Plants damaged in transit or at job site shall be replaced.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and crown development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and make stored on site.
 2. Deliver open plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 3. Protect root balls by heaving in with seaweed or other appropriate materials retaining material if not planted within 24 hours of delivery.
 4. Protect plants during delivery to prevent damage to root balls or discoloration of leaves. Keep plants moist at all times. Cover all materials during transport.
 5. Notify Owner's Authorized Representative of delivery within 72 hours in advance.
 6. Remove rejected plant material immediately from job site.
 7. To avoid damage or stress, do not lift, move, adjust or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

1. Plants:
 - A. General: Well-furred No. 1 grade or better nursery green stock, free from all soil and all other soil as landing as it comes and called for on bid. The plant schedule is an aid to select only. Confirm all quantities on plan.
 - B. Quantities: The drawings and specifications are the decision. The Contractor shall be responsible for the selection of plants that will ensure the purchased materials will meet and / or exceed project specifications.
 - C. Quality and size: Plant materials shall conform to the size given in the plan, and shall be healthy, symmetrical, well-branched, full branched and well rooted. The plants shall be free from injurious insects, diseases, signs by humans, machines or other causes, and shall be free from any other defects.
 - D. Approval: All plants which are found unsatisfactory in growth, or are any way injured, badly damaged or otherwise defective shall be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as specified or no additional cost to the Owner.

2. Soil Preparation Materials:
 - A. Sandy Loam:
 1. Fertilizer, dark, loamy soil, free of lime lumps, acid, stones and other extraneous material and reasonably free of weeds and foreign material. Low containing Dalagelox or Nalgene shall be rejected.
 2. Physical properties as follows:
 - a. Clay - between 5-17 percent
 - b. Sil - between 15-25 percent
 - c. Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 - B. If required, Landscape Contractor shall provide a certified laboratory conducted by an approved soil testing organization verifying that sandy loam meets the above requirements.
 - C. Organic Material: Compost with a minimum of 50% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.

3. Installation:
 - A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until construction has been satisfactorily completed.
 - B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All elements of nursery materials shall be thoroughly protected from the drying wind during transit. All plants must be covered in plastic, possibly of drying by wind and Ball of 8" or 8" B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
 - C. Position the trees and shrubs in that intended location as per plan.
 - D. Notify the Owner's Authorized Representative for inspection and approval of all planting of plant materials.

4. Miscellaneous Materials:
 - A. Seed Edging: All seed edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, pointed back at the factory as manufactured by the J.D. Russell Company and under its trade name CURB-EDG Heavy Duty Seed.
 - B. Staking Material for Shade Trees: Refer to details.
 - C. Gable: Washed native pine gravel, graded 1 inch to 1-1/2 inch.
 - D. Filter Fabric: "Mall Mesh" by Mall Construction Products available at Lone Star Products, Inc., (800) 523-0444 or approved equal.
 - E. River Rock: "Colorado" or native river rock, 2" - 4" dia.

5. Decomposed Granite: Base material shall consist of a natural material of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed granite.
6. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by removing any existing grass and weeds as necessary. If existing soil is a depth of an 8" inches prior to planting compact and fertilize. Apply fertilizer as per Manufacturer's and/or recommendations. Add an inch of topsoil. Apply organic fertilizer such as Southern or Green Sponges at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Using existing top soil on site less imported topsoil as specified. Use from large clumps, rocks, debris, calcareous, adobe, etc. placed in nine (9") inch layers and watered in thoroughly.
 4. Grass Areas:
 1. Blocks of seed should be laid joint to joint (engaged joints) after settling the ground firm. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of seed should be filled with seed and watered in thoroughly.

PART 3 - EXECUTION

1. BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by removing any existing grass and weeds as necessary. If existing soil is a depth of an 8" inches prior to planting compact and fertilize. Apply fertilizer as per Manufacturer's and/or recommendations. Add an inch of topsoil. Apply organic fertilizer such as Southern or Green Sponges at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Using existing top soil on site less imported topsoil as specified. Use from large clumps, rocks, debris, calcareous, adobe, etc. placed in nine (9") inch layers and watered in thoroughly.
 4. Grass Areas:
 1. Blocks of seed should be laid joint to joint (engaged joints) after settling the ground firm. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of seed should be filled with seed and watered in thoroughly.

2. INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until construction has been satisfactorily completed.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All elements of nursery materials shall be thoroughly protected from the drying wind during transit. All plants must be covered in plastic, possibly of drying by wind and Ball of 8" or 8" B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in that intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all planting of plant materials.

3. Cleanup and Acceptance:
 - A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Strong winds for all materials shall be so arranged so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.
 - B. Notification: Fill the hole with water. If the water level does not penetrate within 24 hours, five trees needs to move to another location or have drainage altered. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect if the penetration test fails.

1. Backfill only with 5 parts existing soil or sandy loam and 1 part decomposition. After the hole is filled in with soil, topsoil from the same source should not be used. Carefully settle by watering in several applications. Remove the surface after the top 4" of the ball, as well as all roots, plants, string and wire. Container trees will usually be not bound, if a 1/2" radius standard nursery practice of "root boxing".
2. Do not wrap trees.
3. Do not over prune.
4. Match the top of the ball. Do not plant grass all the way to the top of the ball. Leave the area above the top of the ball and match with at least two (2") inches of specified mulch.
5. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
6. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, the contractor shall be notified by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3") feet below grade and no less than an 8" inches below the bottom of the ball when plant is properly set in the specified grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
7. Dead wood, snags, stumps and fully rooted branches shall be removed. General tying of the branches is not permitted. Do not cut central branches.
8. Pruning shall be done with clean, sharp tools.
9. Immediately after planting operations are completed, all trees shall be covered with a layer of organic material two (2") inches in depth. This kind of the organic material will reduce the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.

10. Steel Curing Installation:
 1. Cutting shall be edged as indicated on plans. Stake out of steel edging and obtain Owner's approval prior to installation.
 2. All steel cutting shall be 3/16" maximum height above final finished grade.
 3. Stakes are to be installed on the planting bed side of the cutting, as specified to the grass side.
 4. Do not install steel edging along sidewalks or curbs.
 5. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.
 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

11. Cleanup and Acceptance:
 - A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Strong winds for all materials shall be so arranged so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.
 - B. Notification: Fill the hole with water. If the water level does not penetrate within 24 hours, five trees needs to move to another location or have drainage altered. Install a PVC stand pipe per tree planting detail as approved by the Landscape Architect if the penetration test fails.

END OF SECTION



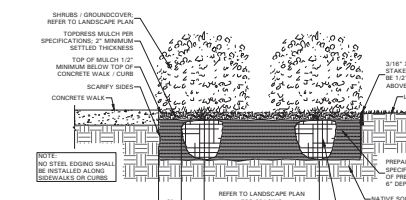
01 TREE PLANTING DETAIL NOT TO SCALE

TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREE SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.aamns.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & NEST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECTS. CONFIRM GROUND STOKES TO BE RESPECTED FOR GROUNDING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED. FREE FROM MULCH AND AT LEAST TWO INCHES ABOVE GROUND. TREES SHALL BE REJECTED WHEN GROUNDING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES INTO HOLESTOMES GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL. DO NOT DISTURB ROOTBALL.

- H. BACKFILL: USE EXISTING NATIVE SOIL (if available) OR WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HANDSOWN MULCH 2 INCH SETTLED THICKNESS. WITH 2" HIL WATERING RING. ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKE: TREE STAKE SOLUTIONS "SAFETY STAKE" BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Long 800.838.4443 jeff@treesolutions.com

- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS FOR TREE STAKE INSTALLATION. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



02 SHRUB / GROUND COVER DETAIL NOT TO SCALE



4308 North Central Expressway
Dallas, Texas 75246
972.354.7888

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OWNER	DATE
DATE	DATE
DATE	DATE
DATE	DATE

06/08/21

TECTONICS DESIGN GROUP

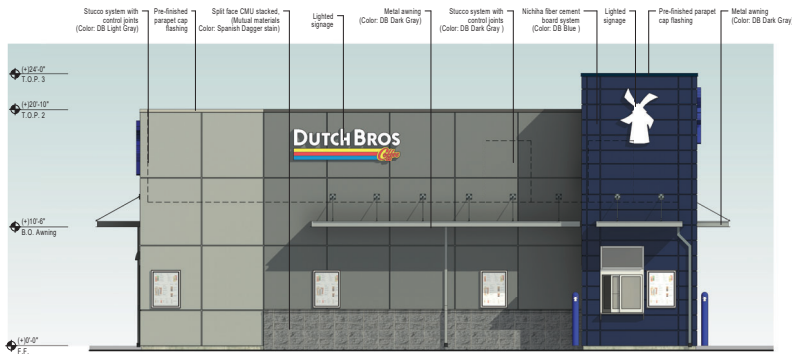
7550 Genesis Ct., Suite 103, Frisco, Texas 75034
tel 214-308-0008

Dutch Bros No.: TX 0101
Wife, Texas

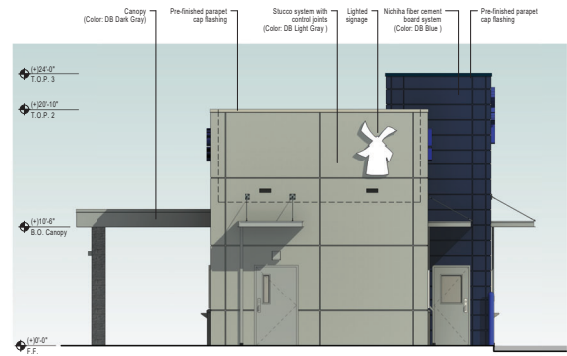
MAIN & MAIN

LANDSCAPE SPECIFICATIONS AND DETAILS

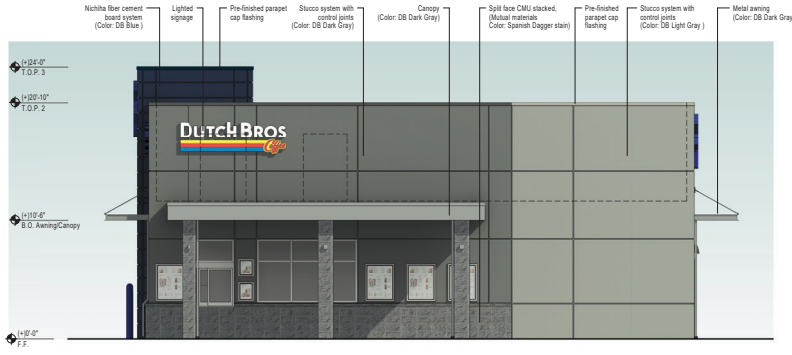
L1.02



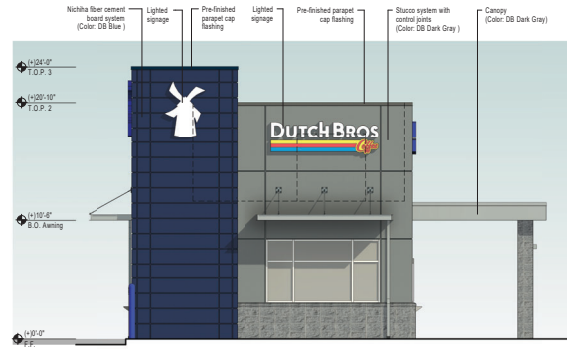
Drive-Up Elevation



Rear Elevation



Walk-Up Elevation



Front Elevation (Primary Elevation)



Dutch Bros

Conceptual Elevations

Wylie, Texas

PR.2

MAIN & MAIN



Front (Primary Elevation) Drive Thru



Front (Primary Elevation) Walk-Up



Rear Walk-Up



Rear Drive Thru



Dutch Bros

Perspectives

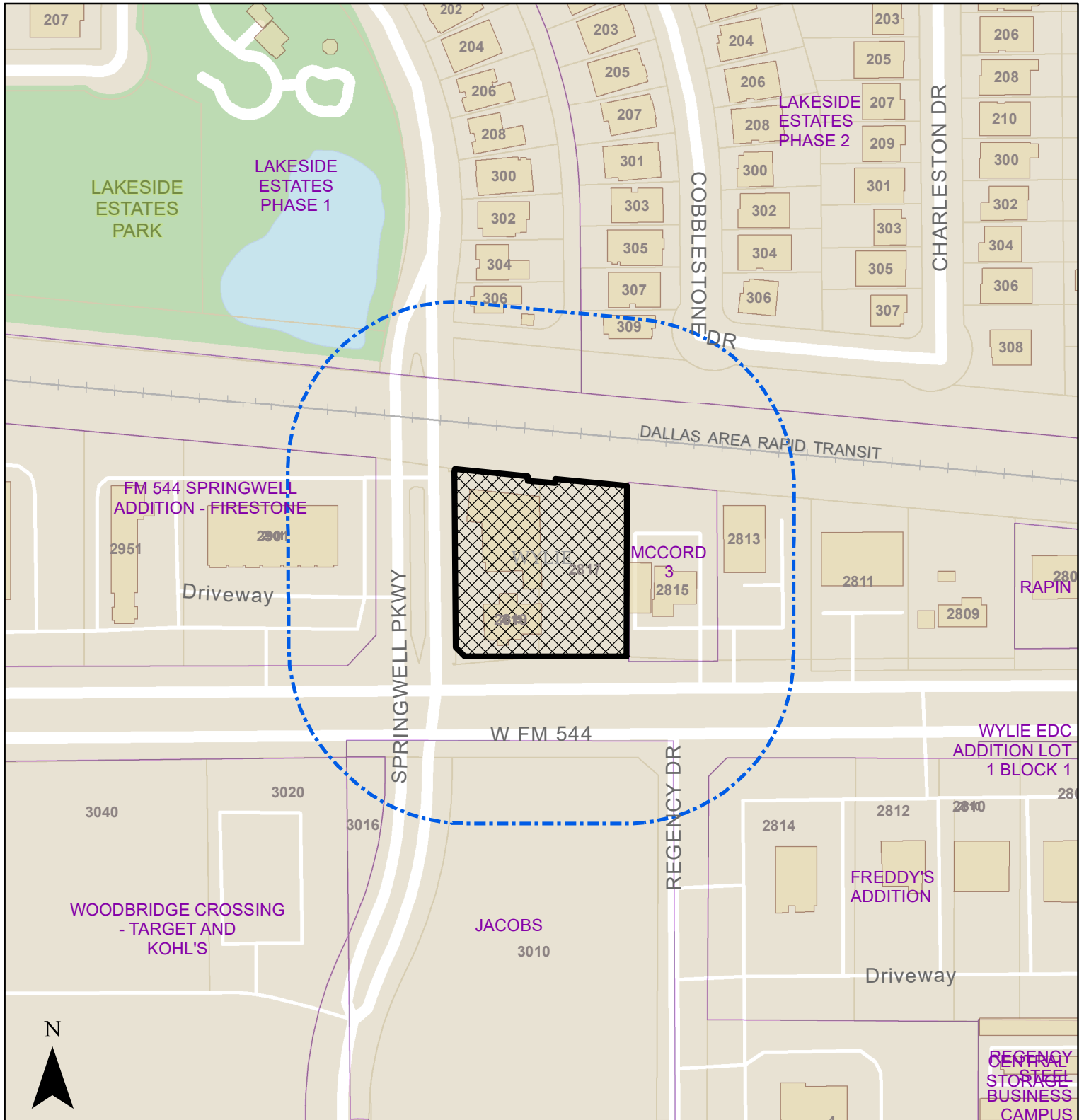
Wylie, Texas

PR.2A

MAIN & MAIN

Notification Map

07/27/2021 Item 2.



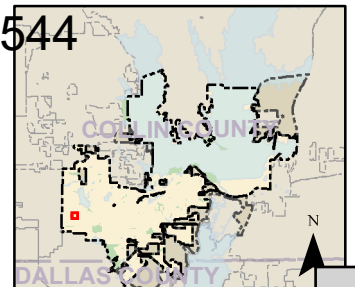
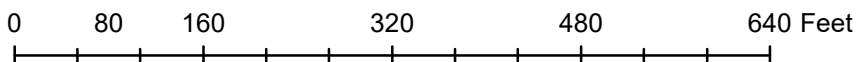
ZC 2021-18 Dutch Bros Coffee; 2817 & 2819 W FM 544



200 Foot Notification Buffer



Subject Property



PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

☒ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-18.
☐ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-18.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning

Commission meeting:

Tuesday, July 06, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, July 13, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: ROBERT L. MYERS
 (please print)
 Address: 8100 LOUD AVE #211
DAVID, TEXAS 75225
 Signature: Robert L. Myers
 Date: 6/29/2021

COMMENTS:

Letter Comment For City (Wylie) Residents



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-thru on 1.37 acres, property located at 499 S State Highway 78. **(ZC2021-16)**

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: 3NI Holdings LLC

ENGINEER: Claymoore Engineering

The applicant is requesting a Special Use Permit (SUP) on 1.37 acres generally located 250' northeast from the intersection of State Highway 78 and Kirby Street to allow for a restaurant with drive-through service. The Zoning Ordinance requires all restaurants with drive-throughs to obtain a Special Use Permit. As part of the Special Use Permit Conditions, the Zoning Exhibit shall function as the review and approval of the site plan.

The proposed development is a remodel of an existing structure with modifications that add a drive-through window. The original site was developed as a bank with drive-thru and ATM lanes in 2005. It was later converted to a nail salon personal service use in 2018.

The remodeled structure measures 6,601 square feet and is planned to contain two tenants, one being a typical sit-down Chipotle restaurant with patio and interior seating, and the other being a Texas Health Urgent Care medical office. The drive-through lane for the Chipotle is a newer concept that does not contain a menu board and relies on customers ordering from their mobile device prior to arriving at the pick-up window.

The site provides a total of 45 parking spaces with two being ADA accessible, meeting the minimum required 32. Changes made from the existing site layout include removing three existing parking spaces for the placement of a dumpster and adding eleven additional parking spaces, eight of which are 9'x18', with this stipulation included within the SUP conditions. The proposed smaller parking spaces are in excess of the minimum required and preserve more of the landscape buffer along Kirby.

The site uses existing access that connects to State Highway 78 and Kirby Street.

The landscaped area totals 20% and contains an existing landscape buffer with sidewalks along both street frontages.

The structure is proposed to have an exterior that consists of existing materials of stone, stone banding, and EIFS. Canopies are also provided at the drive-through window and at the main entrances.

Notifications/Responses: 16 notifications were mailed; with no responses received in opposition or in favor of the request.

P&Z Commission Discussion

The Commission voted 7-0 to recommend approval.

Financial Summary/Strategic Goals

Planning Management

Health, safety, and well-being

Locator Map

07/27/2021 Item 3.

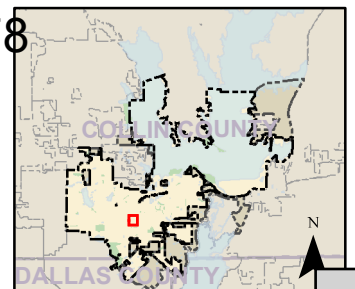


ZC 2021-16; Wylie Crossing; 499 S State Highway 78



Subject Property

0 125 250 500 750 1,000 Feet



Wylie Crossing

EXHIBIT "B"

Conditions For Special Use Permit

I. PURPOSE:

The purpose of this Special Use Permit is to allow for a restaurant with drive-in or drive-through service use as a Chipotle restaurant.

II. GENERAL CONDITIONS:

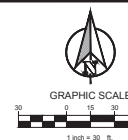
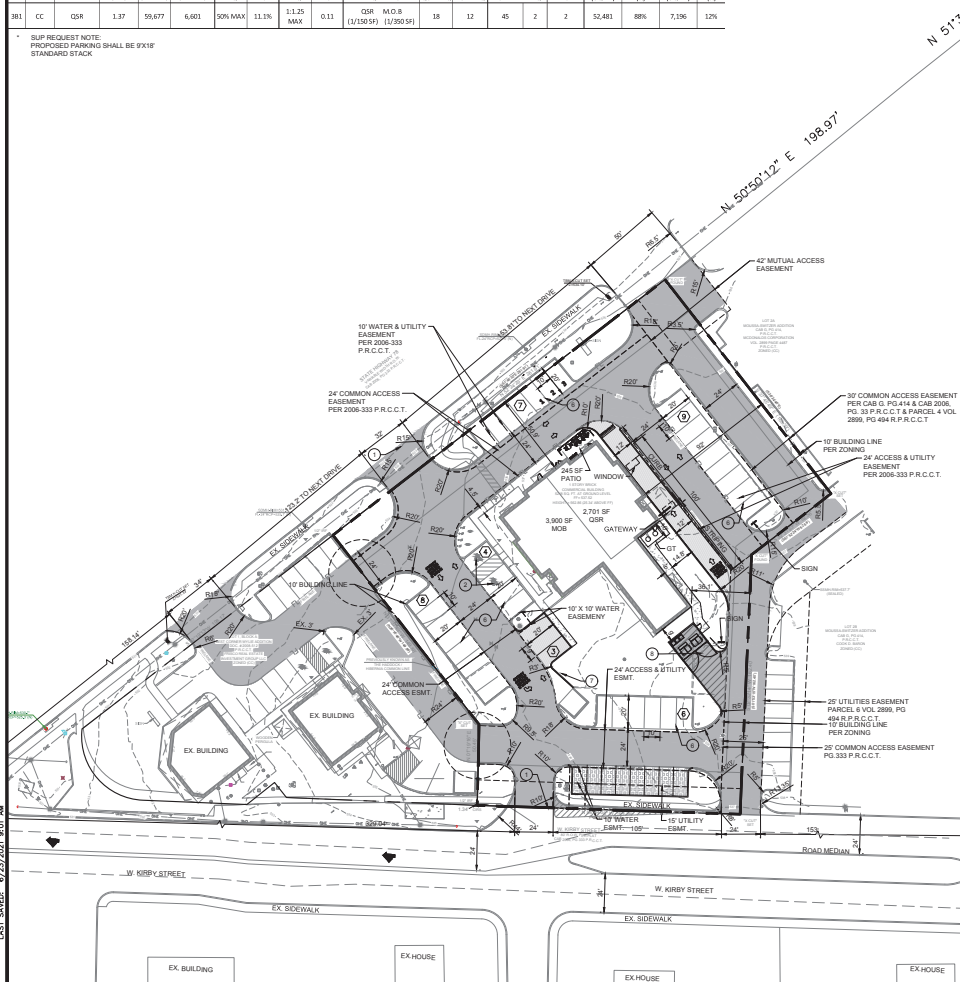
1. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
2. The design and development of the Wylie Crossing development shall take place in general accordance with the Concept Plan (Exhibit C).

III. SPECIAL CONDITIONS:

1. The Zoning Exhibit (Exhibit C) shall serve as the Site Plan for the Development. Approval of the SUP shall act as site plan approval.
2. Parking spaces in access of the minimum required shall be a minimum of 9' x 18'.
3. This SUP shall be voided and the property reverted to the underlying Commercial Corridor zoning should the use cease and approval of a new site plan be required.

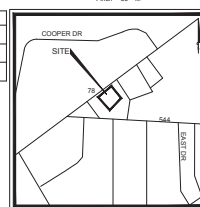
SITE DATA SUMMARY																				
LOT	ZONING	PROPOSED USE	LOT SIZE (AC.)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	LOT COVERAGE		FLR AREA RATIO		PARKING				HANDICAP SP.		TOTAL IMPERVIOUS		TOTAL PERVIOUS		
						REQ.	PROV.	REQ.	PROV.	REQ. RATIO	QSR REQ	MOB REQ	PROVIDED REQ	REQ.	PROV.	(SQ FT)	(%)	(SQ FT)	(%)	
381	CC	QSR	1.37	59,677	6,601	50% MAX	11.1%	1:1.25	0.11	QSR	MO 8	18	12	45	2	2	52,481	88%	7,196	12%

* SUP REQUEST NOTE:
PROPOSED PARKING SHALL BE 9'X18'
STANDARD STACK



PROPOSED DEVELOPMENT SCHEDULE	
ZONING PROCESS	APRIL 2021- JUNE 2021
CIVIL PLANS	JUNE 2021- SEPTEMBER 2021
CONSTRUCTION	SEPTEMBER 2021- MARCH 2022

NOTE:
 DRIVE THRU IS FOR WINDOW PICK UP
 ONLY. NO MENU / BOARD PROMPS.



LEGEND	
	PROP. PERVIOUS PAVEMENT
	PROP. DUTY CONCRETE PAVEMENT
	FIRE LANE/ ACCESS EASMENT
	DUMPSTER AREA CONCRETE PAVEMENT
	PROP. SIDEWALK CONCRETE PAVEMENT
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	FULL-DEPTH SAWCUT

BENCHMARKS INFORMATION:
BENCHMARK #1: TBM X-CUT SE
ELEVATION=534.10'
BENCHMARK #2: TBM X-CUT SE
ELEVATION=531.33'

CONSTRUCTION SCHEDULE	
①	SAW CUT FULL DEPTH EXISTING PAVEMENT
②	PROPOSED HANDICAP SYMBOL
③	PROPOSED PAVEMENT STRIPING
④	PROPOSED HANDICAP SIGN
⑤	PROPOSED CURB STOP
⑥	4" PARKING STALL STRIPING COOR: WHITE (TYP)
⑦	PROPOSED CONCRETE SIDEWALK
⑧	DUMPSITE WITH ENCLOSURE (REFER TO ARCHITECTURAL PLANS FOR DETAILS)

OWNER: DW WYLIE, LLC 4403 N CENTRAL EXPWY SK 2000 DALLAS, TX 75205 PH: 214-918-1854			CONTACT NAME: JIN HOLDINGS L		
APPLICANT: CLAYMORE ENGINEERING, INC. 310 S. COLEMAN ST. PROSPER, TX 75078 PH: 817-281-5572			CONTACT NAME: DEW DONOHUE		
SURVEYOR: EAGLE SURVEYING, LLC 210 S. ELM ST. SUITE #104 DENTON, TX 76201 PH: 562-222-3009			CONTACT NAME: TYLER RANK		
LEGAL DESCRIPTION: MOUSSE-SWARTZ ADDITION LT 14 AC & 17					
CITY: WYLIE		STATE: TEXAS			
SUBJECT: COLLIN	SURVEY: SAMUEL B SHELBY SURVEY	ABSTRACT NO.: 820			

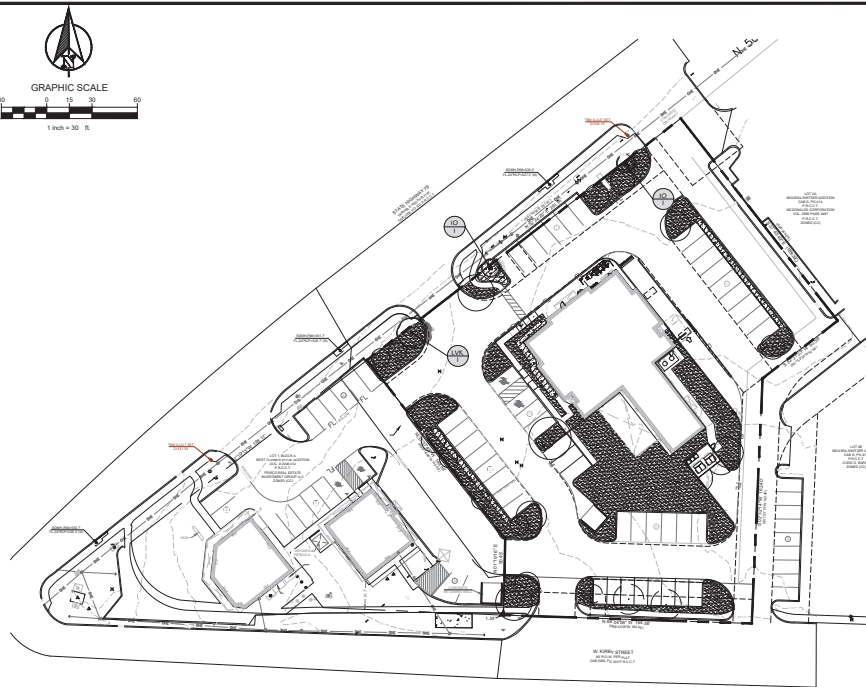
CLAY MOORE
ENGINEERING

PRELIMINARY
FOR REVIEW ONLY
Not for construction purposes.
CLAYMORE ENGINEERING
ENGINEERING AND PLANNING
CONSULTANTS
DREW DONOSKY
Engineer
125601 Date: 6/23/2021
P.L. No. 125601









DUWEST WYLIE
WYLIE, TEXAS

SITE PLAN

SHEET



PLANT SCHEDULE

 TREE	CODE	<u>COMMON BOTANICAL NAME</u>	SIZE	<u>CONTAINER</u>	QTY
	EX	Existing Tree to Remain protected during construction	ref. 1"	existing	30
	CO	American Holly / Ice opaca 'East Palms' single trunk, about 10' x 10"	CONT. 2"	Cal	2
	LWK	Live Oak / Quercus nigra about 10' x 8"	CONT. 2"	Cal	1
 SHRUB AREAS	CODE	<u>COMMON BOTANICAL NAME</u>	SIZE	<u>CONTAINER</u>	QTY
	EX1	Existing Shrub - to Remain protected during construction	existing	existing	
 GROUND COVERS	CODE	<u>COMMON BOTANICAL NAME</u>	SIZE	<u>CONTAINER</u>	QTY
	CD	Bermuda Grass / Cynodon dactylon '419' Maintenance required	seed	as required to provide 100% coverage	

GENERAL GRADING AND PLANTING NOTES

- [illegible]

LANDSCAPE CALCULATIONS

TOTAL SITE AREA	59,881 SF
LANDSCAPE AREA REQUIRED	11,996 SF (20% OF SITE AREA)
LANDSCAPE AREA PROVIDED	12,156 SF (20%)
STREET FRONTAGE	
FRONTAGE LENGTH	261 LF
STREET TREES REQUIRED:	9 TREES (1 PER 30 LF)
STREET TREES PROVIDED:	9 TREES (6 EXISTING + 3 PROPOSED)
10' BUFFER SPACE	PROVIDED
4' SIDEWALK	PROVIDED
SCREENING	
7' TALL SCREEN	EXISTING PROVIDED
1' FLOWERING TREE 20' LF	181 LF OF 2 LF + 10
	6 FLOWERING TREES PROVIDED DUE TO PRESENCE OF RIGHT-OF-WAY EXISTING CONDITIONS
PARKING	
LANDSCAPE AREA REQUIRED IN PARKING	2,250 SF (50 SF PER 45 SPACES + 1,250 SF)
LANDSCAPE AREA PROVIDED IN PARKING	3,500 SF PROVIDED
EACH PARKING SPACE WITH 60' OF LANDSCAPE AREA	PROVIDED

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

PLANTING AND IRRIGATION GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED AND EXISTING PLANTS SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR APPROPRIATE WATERING OF THE LANDSCAPE THROUGH INSTALLATION OF A PROPERLY DESIGNED IRRIGATION SYSTEM. THE OWNER SHALL APPROVE THE SYSTEM DESIGN BEFORE INSTALLATION OF PLANTS OR IRRIGATION.

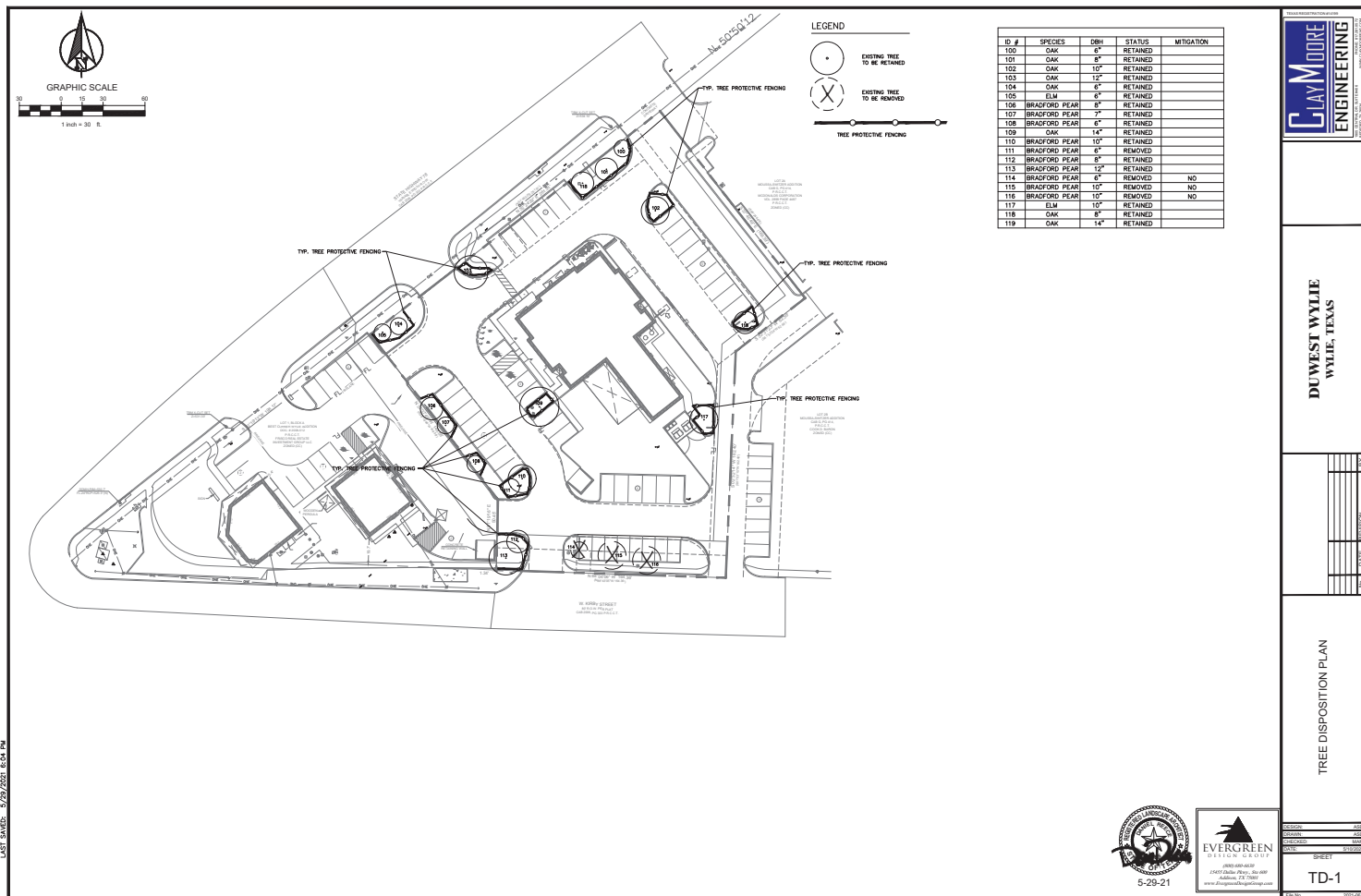


DUWEST WYLIE
WYLIE, TEXAS

LANDSCAPE PLANTING

LP-

PLANNED BY: DAVIS, WYLLIE
 DATE: 5/27/2021 10:27 PM
 PROJECT: DAVIS, WYLLIE - SHARED/JOINT/COMMON (DDO) LUG - WYLLIE TOWNSHIP WYLLIE, TX 2021-5-29 PMG
 LAST REVISED: 5/27/2021 10:27 PM



CLAYMOORE
 ENGINEERING

DUWEST WYLLIE
 WYLLIE, TEXAS

TREE DISPOSITION PLAN



EVERGREEN
 DESIGN GROUP

SHEET
 TD-1

TREE PROTECTION SPECIFICATIONS

MATERIALS

1. FABRIC - 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE NOVEL WITH 1/2 INCH WEBB ORANGE SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE ORANGE TREES SHALL BE AT LEAST 1 FIBERED
2. POSTS - POSTS SHALL BE A MINIMUM OF 10 INCHES LONG AND 1 1/2" DIA WITH A MINIMUM HEIGHT OF 1.3 POUNDS PER LINEAL FOOT
3. TIE WIRE - WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GALVANIZED WIRE
4. USED MATERIALS - PREVIOUSLY USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED

CONSTRUCTION METHODS

ALL TREES AND SPRINGS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.

EMPLOY THE SERVICES OF AN ISA INTERNATIONAL SOCIETY OF ARBORICULTURE CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RADING AND TRAINING. ENSURE ALL TREES RECEIVE A COMMERICAL GRADE ROOT STIMULATOR APPLICATION AFTER PRUNING.

PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE DRIPLINE AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST OR IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS AT THE DRIP LINE OF TREES AND PROTECTIVE ZONE. TWO INCHES LANDSCAPE PLANT MATERIAL, INCLUDING NATURAL AREAS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION.

PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTIONS SIGHT DISTANCE CRITERIA.

THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.

THE INSTALLATION POSTS WILL BE PLACED EVERY 6 FEET AROUND THE DRIP LINE OR RPZ AND EMBEDDED TO 18 INCHES DEEP. FABRIC ATTACHMENT SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUPPORT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.

1. DO NOT CLEAR, PULL OR GRADE IN THE RPZ OF ANY TREE.
2. DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
3. DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE SPREAD OF THE TREE BRANCHES.
4. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE SPREAD OF THE TREE BRANCHES (EX. PIPE CUTTING AND THREADED, MOTOR MOUNTING, PAINTING OR LUMBER CUTTING).
5. DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
6. DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (AC-30 OR OIL), ETC. TO ENTER THE RPZ. BARRELS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE RPZ WHENEVER POSSIBLE. INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.

ROUTE UNDERGROUND UTILITIES TO AVOID THE RPZ. IF GRADING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID BRYING THEM.

THE CONTRACTOR SHOULD AVOID CUTTING ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. EXCAVATION IN THE VICINITY OF TREES SHALL PROCEED WITH CAUTION.

REMOVE ALL TREES, SHRUBS OR BUSHES THAT CLIMB OVER PROTECTED ROOT ZONE AREAS BY HAND.

TREES DAMAGED OR LOST DUE TO CONTRACTORS NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTORS EXPENSE AND TO THE PROJECT OWNERS SATISFACTION.

ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER PRIOR TO ITS REMOVAL.

COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.

IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THESE AREAS WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

WATER ALL TREES MOST HEAVILY IMPACTED BY CONSTRUCTION ACTIVITIES DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.

WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PREVENT LEACHING OF LIME INTO THE SOIL.

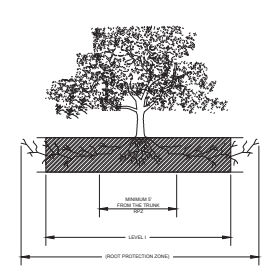
WHEN AN EXCAVATION OR EMBANKMENT IS PLACED WITHIN THE DRIPLINE OF ANY TREE GREATER THAN EIGHT INCHES IN DIAMETER, A TREE WALL SHALL BE CONSTRUCTED TO PROTECT THE TREE AS INDICATED, WHEN THE CUT OR FILL EXCEEDS EIGHT INCHES.

WHERE PAVING OR FILLING IS NECESSARY WITHIN THE DRIPLINE OF ANY TREE EIGHT INCHES OR GREATER, A PERMEABLE PAVEMENT AND AN IRRIGATION SYSTEM MUST BE INSTALLED.

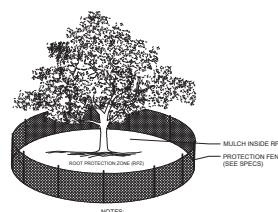
CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.

TREE PROTECTION REQUIREMENTS

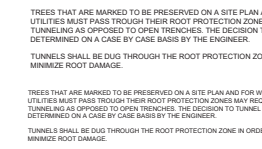
1. A ROOT PROTECTION ZONE WILL BE ESTABLISHED AROUND EACH TREE OR ANY VEGETATION TO BE PRESERVED. THE ROOT PROTECTION ZONE SHALL BE AN AREA DEFINED BY THE RADII EXTENDING OUTWARD FROM THE TRUNK OF THE TREE A DISTANCE OF ONE (1) LINEAL FOOT FOR EACH INCH IN DBH AT BREAST HEIGHT (4.5 FT) OF THE TREE. EXAMPLE: A NINE INCH DBH TREE WILL HAVE A NINE FOOT RADII ROOT PROTECTION ZONE.
2. NO WORK SHALL BEGIN WHERE TREE PROTECTION FENCING HAS NOT BEEN COMPLETED AND APPROVED. TREE PROTECTION FENCING SHALL BE INSTALLED, MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING CONSTRUCTION. THE FENCING WILL BE A MINIMUM OF 4' HEIGHT.
3. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR CROWN ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
4. EXPOSED ROOTS SHALL BE COVERED AT THE END OF THE WORK DAY USING TECHNIQUES SUCH AS COVERING WITH SOIL, MULCH OR WET BURLAP.
5. NO EQUIPMENT, VEHICLES OR MATERIALS SHALL BE OPERATED OR STORED WITHIN THE ROOT PROTECTION ZONE. NO CLEAN-OUT AREAS WILL BE CONSTRUCTED SO THAT THE MATERIAL WILL BE IN OR NEARER TO THE ROOT PROTECTION ZONE.
6. NO GRADE CHANGE MORE THAN 1" IS ALLOWED WITHIN THE ROOT PROTECTION ZONE.
7. ROOTS OR BRANCHES IN CONFLICT WITH CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. ALL WOUNDS SHALL BE PAINTED WITHIN 30 MINUTES TO PREVENT DRY ROT INFESTATION (LOW TREES ONLY).
8. ANY TREE REMOVAL SHALL BE APPROVED BY THE LOCAL JURISDICTIONS ARBORIST.
9. TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTORS NEGLIGENCE DURING CONSTRUCTION SHALL BE REPLACED WITH TREE QUANTITIES AND SIZES ACCEPTABLE TO THE LOCAL JURISDICTION.
10. TREES MUST BE MAINTAINED IN GOOD HEALTH THROUGHOUT THE CONSTRUCTION PROCESS. MAINTENANCE MAY INCLUDE WATERING THE ROOT PROTECTION ZONE AND/OR FERTILIZING TO LIME.
11. NO WIRES, NAILS OR OTHER MATERIALS MAY BE ATTACHED TO PROTECTED TREES.
12. THE ROOT PROTECTION ZONE SHALL BE PRESERVED AT NATURAL GRADE. NO CUTTING, FILLING, BENCHING, ROOT DISTURBANCE, SOIL COMPACTION, OR CONSTRUCTION SHALL OCCUR CLOSER TO THE TRUNK THAN ONE HALF (1/2) OF THE ROOT PROTECTION ZONE. ROOTS SHALL BE PROTECTED BY COVERING WITH SOIL, MULCH OR WET BURLAP. NATURAL UNDERSTORY VEGETATION WITHIN THE ROOT PROTECTION ZONE SHALL BE PRESERVED. THERE SHALL BE NO CONSTRUCTION CLOSER TO THE TRUNK THAN ONE HALF (1/2) OF THE ROOT PROTECTION ZONE. THE CONSTRUCTION OF SIDEWALKS SHALL BE ALLOWED IN THE ROOT PROTECTION ZONE, AS LONG AS EXCAVATION DOES NOT EXCEED THREE (3) INCHES.
13. DURING CONSTRUCTION ACTIVITY ON SITE, AT LEAST A DOUBLE LAYER OF A COARSE MULCH SHALL BE PLACED AND MAINTAINED OVER THE ROOT PROTECTION ZONE. THE IMPERVIOUS COVER MAY ENCRUSHE WITHIN THE ROOT PROTECTION ZONE IF SHAD ENCROACHMENT IS APPROVED BY THE ARBORIST.



A TREE PROTECTION FENCE - ELEVATION
SCALE: NOT TO SCALE



B TREE PROTECTION FENCE
SCALE: NOT TO SCALE



C TREE PROTECTION FENCE - LEVEL 2
SCALE: NOT TO SCALE

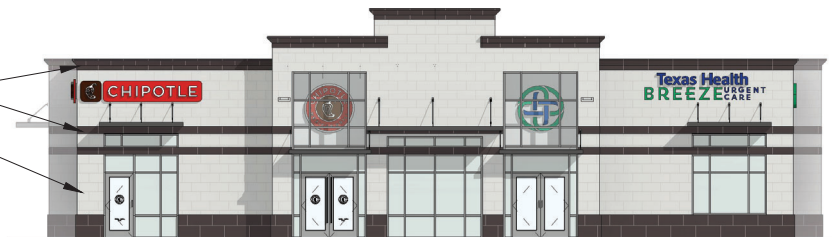


D BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE



EXISTING STONE
BANDING,
PAINTED
"KNIGHTS
ARMOR", TYP.

EXISTING STONE



NORTHWEST

EXISTING STONE
BANDING,
PAINTED
"KNIGHTS
ARMOR", TYP.

EXISTING STONE

EXISTING EIFS



NORTHEAST



513 Main St
Suite 300
Fort Worth, TX 76102
tel: 817.820.0433
fax: 682.224.8917
www.roguearchitects.com

DUWEST WYLIE SHELL
ELEVATIONS
06/14/2021
1/16" = 1'-0"

499 TX-78
WYLIE, TX 75098

EXISTING STONE
BANDING,
PAINTED
"KNIGHTS
ARMOR", TYP.

EXISTING STONE



SOUTHEAST

EXISTING STONE
BANDING,
PAINTED
"KNIGHTS
ARMOR", TYP.

EXISTING STONE



SOUTHWEST



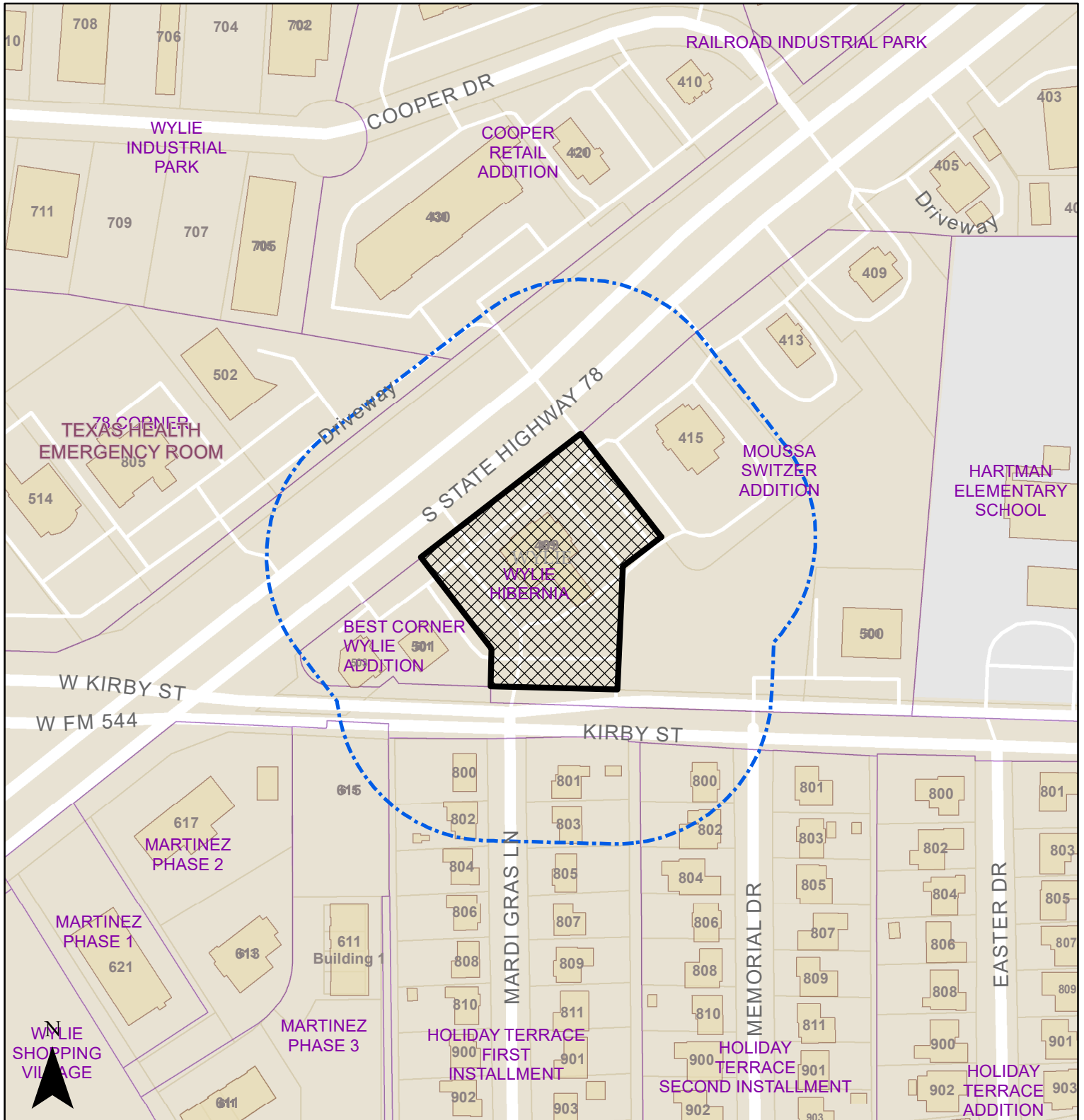
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Notification Map

07/27/2021 Item 3.



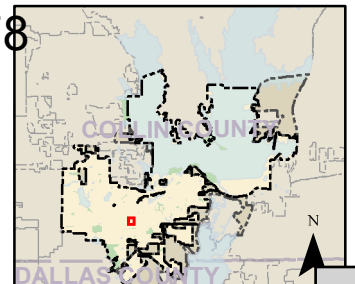
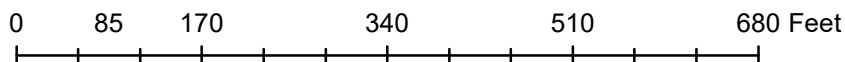
ZC 2021-16; Wylie Crossing; 499 S State Highway 78



200 Foot Notification Buffer



Subject Property





Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, a request for a change of zoning from Agricultural (AG/30) to Planned Development (PD), to allow for a mixed-use community on 47.29 acres generally located at 2301 FM 1378. (ZC2021-15)

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: Estates of Monroe Alfred Fall

ENGINEER: Kimley Horn

The applicant is requesting to rezone 47.29 acres located at 2301 FM 1378.

The property is currently zoned Agricultural. The requested rezoning to a Planned Development is to allow for a mixed-use community, consisting of three subdistricts containing a mix of commercial, residential and open space uses.

The commercial subdistrict measures 4.2 acres with frontage along Country Club (FM 1378). This district is planned for commercial structures with permitted uses to generally comply with the Community Retail (CR) District Regulations with the addition of the following uses allowed by-right:

- Financial Institution with drive-thru
- Restaurant with drive-thru

20,000 square feet of building area is proposed with 109 parking spaces being provided. The parking ratios are in line with the uses and requirements of the Zoning Ordinance.

The multifamily subdistrict contains a mixture of townhome and single family units on 25.2 acres with an allowed maximum density of 11 dwelling units per gross acre, or about 25% less density than the maximum allowed in the Zoning Ordinance. A total of 187 townhome units and 61 single family rental homes are proposed on the Zoning Exhibit. The subdistrict provides a total of 529 parking spaces with a parking ratio of ~2.1 parking spaces per unit. The PD conditions contain an allowance of tandem parking.

The open space subdistrict includes an open space dedication to the City of 17.8 acres for a city park. This area includes a four acre pond that will be dedicated to the City after water impoundment concerns are resolved. Water impoundment generally deals with the holding of water that will eventually move to downstream entities. The developer has proposed splitting the legal costs of resolving impoundment with the City, estimating the City's costs to be capped at approximately \$120,000. Should zoning be approved, a separate agreement regarding these legal costs will be presented to City Council for consideration prior to preliminary plat approval.

An 8' wide pedestrian trail approximately 3700' in length, with a connection to a City of Wylie Pedestrian trail to the west is planned. The Parks Board reviewed the dedication and improvements and recommended approval of the open space district as presented, with the stipulation that the City Park be named at a later date.

The subdistrict will allow for the following uses:

- Accessory Agricultural Buildings
- Community Park/Recreation Center (public or private)
- Neighborhood park/playground.

The conclusion of the Traffic Impact Analysis found that the proposed development does not have a disproportionate effect on the existing vehicle traffic operations. While there is a ~30 minute AM Level of Service issue aligning with student drop-off at Smith Elementary, the TIA predicts that Country Club Road and the nearby intersections do not experience an overall LOS reduction due to the proposed development. The proposed site driveways provide the appropriate level of access for the development. While the TIA didn't find that a southbound deceleration lane necessary, a City Engineering review believes that the inclusion of the deceleration lane is in the interest of the City and the public health, safety, and welfare.

The student impact analysis conducted by the applicant concluded that approximately 55 students would be added to the school district upon completion of the project. The ISD has not provided input on the effect of this increase.

If approved, this development will require the review and approval of a site plan for the development of subdistricts 1 and 2. All development within this subject property will generally adhere to design requirements of the planned development requirements and the zoning exhibit.

Notifications/Responses: Sixteen notifications were mailed to property owners. No responses for or against were received from within city limits. However, eight responses were received in opposition from property owners either within the ETJ (3), outside of the ETJ (2), or without a given address (3).

P&Z Commission Discussion

After some discussion, including comments from citizens and neighboring property owners regarding traffic, drainage, density, screening, and effect of the school district, the Commissions voted 5-2 to recommend approval with the conditions that a fence be built along the north side of the park, a maximum of 33% of the townhomes be three story, and Car Wash and Financial Institution, Alternative be removed as by-right uses.

Financial Summary/Strategic Goals


Planning Management

Health, safety, well-being

Locator Map



ZC 2021-15; Monroe Lake; 2301 FM 1378

 Subject Property

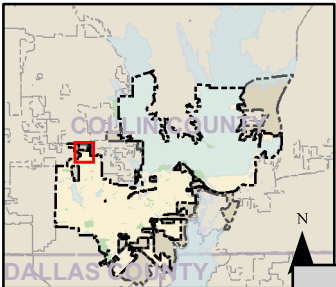
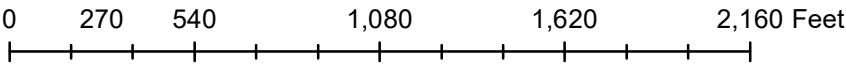


Exhibit B**PROPOSED MONROE LAKE WYLIE PLANNED DEVELOPMENT CONDITIONS**

Zoning Case 2021-15

A. Purpose.

The purpose of this planned development district is to allow a mixed-use development on an approximate 47.3 acre parcel located at 2301 FM 1378, adjacent to Country Club Rd. This community will contain retail, personal service, multifamily and a major open space amenity. The regulations in this Planned Development (PD) District will allow for an innovative development project that can assist in the implementation of the Comprehensive Plan and other development goals and objectives.

B. District Regulations**1. General.**

a. Subdistricts established: This PD shall be developed in three subdistricts as follows: i.

Subdistrict 1: Retail Subdistrict

ii. Subdistrict 2: Multifamily Subdistrict (Single Family Rental)

iii. Subdistrict 3: Open Space Subdistrict

iv. The zoning exhibit (Exhibit C) shall serve as a subdivision concept plan for purposes of Zoning and Land Design, Street and Sidewalk requirements. Separate plat submittals for all subdistricts shall be required. A separate site plan submittal for Subdistrict 1 & 2 shall be required.

2. Development of the Property shall generally conform to the following regulations:**a. Retail Subdistrict:**

i. Except as otherwise provided herein, development of the Retail Subdistrict shall comply with the Community Retail District regulations of the April 2021 Zoning Ordinance of the City of Wylie.

ii. Permitted Uses: Uses permitted in the Community Retail District are permitted in the Retail Subdistrict. Additionally, the following uses are permitted by right and do not require additional requirements or a Special Use Permit:

a. Financial Institution (with drive-thru)

b. Dry Cleaning or Laundry, Drop-off or Self Service

c. Restaurant with Drive-in or Drive-through Service

iii. Development Standards: Following are the yard, lot and space requirements for the Retail Subdistrict, including density, height, lot and unit size.

Retail Subdistrict	
Height	
Height of Main Structure (feet)	36
Number of Stories	2
Residential Proximity	NA
Building Placement and Coverage	
Front Yard Setback (feet)	25
Side Yard Setback (feet)	10
Rear Yard Setback (feet)	10
Lot Coverage	45%
Buffering and Screening	
Nonresidential Use Adjacent to Single Family	NA
Nonresidential Use Adjacent to Multifamily	Double Side & Rear Setback – 5' required landscaping w/screening
Service and Loading Areas	Not visible from public street

b. Multifamily Subdistrict

- i. Except as otherwise provided herein, development of the Multifamily Subdistrict shall comply with the Multifamily District regulations of the April 2021 Zoning Ordinance of the City of Wylie .
- ii. Permitted Uses: Uses permitted in the Multifamily District are permitted in the Multifamily Subdistrict including the following:
 - a. Single Unit Rental Home
- iii. Parking: 2.0 spaces per unit. Tandem parking spaces are allowed by right.
- iv. Development Standards: Following are the yard, lot and space requirements for the Multifamily District, including density, height, lot and unit size.

Multifamily Subdistrict	
Lot Size	
Lot Area (sq. ft.)	43,560
Lot Width (feet)	As shown on the Zoning Exhibit
Lot width of corner Lots (feet)	NA
Lot Depth (feet)	As shown on the Zoning Exhibit
Lot Depth of Double Front Lots (feet)	NA
Dwelling Regulations	
Minimum Square Footage	1 BR- 850 sf 2 BR- 1,000 sf 3 BR – 1,200 sf
Maximum Density	11 Dwelling Units/Gross Acre
Building Separation between detached buildings (feet)	20
Design Standards Level of Achievement	See Section B.2.(c), (d), and (e) below
Yard Requirements – Main Structures	
Front Yard (feet)	30 from any public street frontage
Side Yard (feet)	20 from any interior lot line
Side Yard of Corner Lots (feet)	NA
Side Yard of allowable nonresidential use (feet)	NA
Rear Yard (feet)	20 from any interior lot line
Rear Yard Double Front Lots (feet)	NA
Maximum Height of Structures	
Townhome Main Structure (feet)	40 feet and 3 stories (max 33% of townhome units)
Single Unit Rental Home Structure (feet)	29 feet and 2 stories
Accessory Structure (feet)	14

c. Land Design Requirements. Development of the Property shall comply with the Land Design

Requirements in the following table which replace the Land Design Requirements in Figure 3-9(a) in the April 2021 Zoning Ordinance of the City of Wylie:

Land Design Requirements (For all Residential Districts unless specified otherwise)	
Element	All Development must comply fully with all listed below
Public Open Space Easements	a. 30 ft wide buffer with 8 ft wide trail to rear of houses beside open space and perpendicular 30' wide access from street. b. Partial single-loaded street along open space.
Perimeter Screen Along Thoroughfares	25 ft wide landscape buffer along Country Club Road with large canopy trees 50 ft. o.c.
Walkways and Landscape Along Country Club Rd.	Large canopy trees 50 ft. o.c. and 5 ft. concrete walk.
Lighting and Furnishings along open space easements and trails	None.

- d. Street and Sidewalk Requirements. Development of the Property shall comply with the Street and Sidewalk Requirements in the following table which replace the Street and Sidewalk Requirements in Figure 3-9(b) in the April 2021 Zoning Ordinance of the City of Wylie:

Street and Sidewalk Requirements (For all Residential Districts unless specified otherwise)	
Element	All Development must comply fully with all listed below
Curvilinear Streets	N/A
Entry Features and Medians	Architectural features on stone screen wall or stone monument within landscaped median to first cross street, with decorative paving and crosswalks.
Signage at Entries	Incorporated into screen wall or monument sign within median or landscape buffer and illuminated by means other than street lights.
Street Name Signs	a. Including block numbers, incorporated with street lighting coordinated throughout.
Pedestrian Crosswalks	10 ft or wider, decorative pavers.
Sidewalk Locations	Minimum 5 ft wide as shown on the Zoning Exhibit.
Mail Boxes	N/A – mail to be located within leasing/amenity building or stand alone building
Sidewalk Lighting	None.
Perimeter Alleys	N/A

- e. Architectural Requirements. Development of the Property shall comply with the Architectural Requirements in the following table which replace the Architectural Requirements in Figure

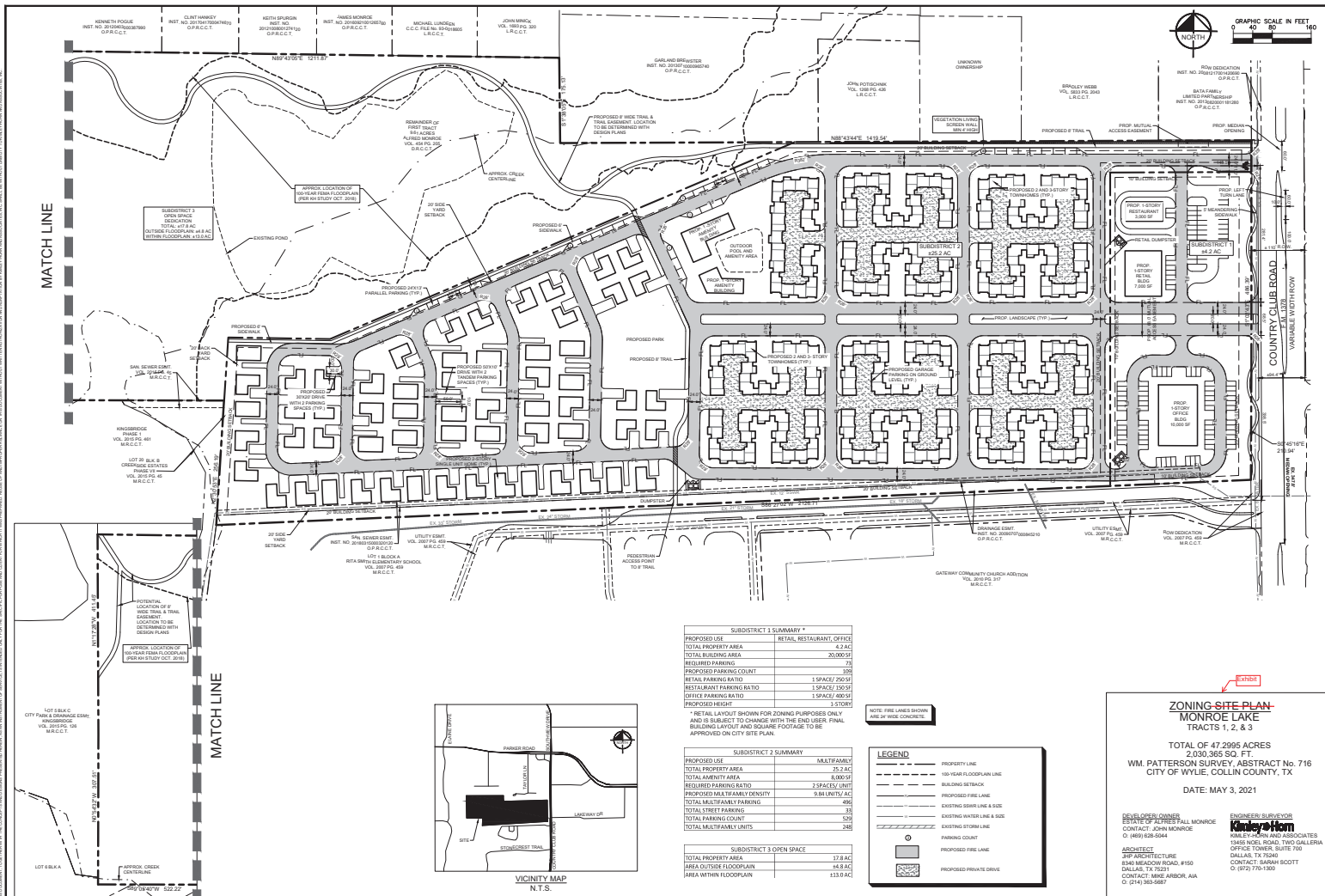
3.9(c) in the April 2021 Zoning Ordinance of the City of Wylie:

Architectural Requirements (For all Residential Districts unless specified)	
Element	All Development must comply fully with all listed below
Building Bulk and Articulation	Minimum 25% of street façade offset minimum 1 ft.
House Numbers	a. Stone plaque with number beside main entry. b. Lighted front wall plaque.
Exterior Façade Material	a. Masonry or fiber cement lap siding and panels. b. Masonry or fiber cement fascia, soffits and under hangs includes porches. c. Faux wood front door with and without glass inserts. d. Operable and fixed vinyl windows. e. Faux cedar metal garage doors. f. 30-year architectural shingles. g. Other materials permitted by the Zoning Ordinance.
Chimneys	a. Chimney enclosed with masonry matching exterior walls and capped. b. 40% stone to match house accent material.
Roof Pitch	a. For single unit rental home, 8:12 minimum roof pitch; with articulation, dormers or hip/gable. b. For townhomes, 6:12 minimum roof pitch, with articulation, dormers or hip/gable.
Roof Materials	Architectural-grade overlap shingles, tile or standing seam metal, no wood shingles, Paint rooftop accessories to match.
Roof Eaves	No wood fascia or soffit.
Repetition of floor plan and elevation	a. For single unit rental home: 7 lots skipped on same side of street before repeating similar elevation; 4 lots skipped opposite side of street. b. For townhomes: None.
Garage Entry	Garage shall be a minimum of 500 square feet in size.
Dwelling Size	Minimum dwelling size exclusive of garages and breezeways.
Fencing	Fencing not required. If fencing is provided along the side and/or rear, it shall be minimum 4 feet tall wood or wrought iron.

Landscaping	<ul style="list-style-type: none"> a. Established front lawn and minimum 2 trees and 5 shrubs in front yard. b. Automated, subsurface irrigation system.
Outdoor Lighting	Front entry and drive/garage illuminated by standard porch light.
Conservation/Sustainability	Complies with Energy component of Building Code.

f. Open Space Subdistrict

- i. The open space shall generally be improved as outlined in the Parks Exhibit.
- ii. Permitted Uses: Uses permitted in the Open Space Subdistrict District include the following:
 - a. Accessory Agricultural Buildings
 - b. Community Park, Recreation Center, (Public or Private)
 - c. Neighborhood Park or Playground
- iii. Impoundment resolution of 4-acre pond - The applicant, property owner, and developer agree to resolve, of their own accord, any and all legalities with all appropriate parties regarding water impoundment on the property. An appropriate agreement beyond this planned development, regarding said impoundment resolution between the City of Wylie and the applicant shall be a condition of application, consideration, or approval of a preliminary plat for any of the property. Preliminarily, the City acknowledges that it's sole contribution toward the impoundment resolution shall be a maximum of \$120,000 toward legal costs.
- iv. To provide separation from the park and private property owners, the developer shall construct a fence, materials of which will be determined by developer and city staff, along the entirety of the northern boundary of the Open Space Subdistrict



ZONING SITE PLAN
MONROE LAKE
TRACTS 1, 2, & 3

TOTAL OF 47,299.56 ACRES
2,030,365 SQ. FT.

WM. PATTERSON SURVEY, ABSTRACT NO. 716
CITY OF WYLLIE, COLLIN COUNTY, TX

DATE: MAY 3, 2021

DEVELOPER/OWNER
ESTATE OF JOHN MONROE
CONTACT: JOHN MONROE
O: 469-688-8044

ARCHITECT
JRP ARCHITECTURE
8404 MEADOW ROAD, #150
DALLAS, TX 75241
CONTACT: MIMI ANDERSON, AIA
O: (214) 363-5887

ENGINEERING SURVEYOR
KIMLEY-HORN
KIMLEY-HORN AND ASSOCIATES
13400 N. DALLAS ROAD, SUITE 200
DALLAS, TX 75244
CONTACT: SARAH SCOTT
O: (972) 776-1300
O: (214) 363-5887

CAPSTAR Real Estate Advisors

June 8, 2021

Via Email Correspondence

Mr. Robert Diaz, Director

Parks and Recreation

City of Wylie

949 Hensley Ln., Building 200

Wylie, TX 75098

Re: Monroe Planned Development; Park Contribution and Fee Proposal.

Dear Robert:

Terry and I appreciate your communication and collaboration as we work to ensure our park contribution and fee proposal align with the Wylie Park Department's standards and mission. We are thrilled about this exciting Planned Development proposal for Wylie and equally thrilled about the parkland, lake, and trail that will help provide trail connectivity and more greenspace in the City. If the zoning for proposed Planned Development is approved, our proposal for park contribution would take effect and is outlined below.

I. Requirement

Based on the City's requirements and confirmed by you, here is what is required:

Multi-Family Requirement: With a proposed 248 units at \$800 per unit, the dedication fee results in \$198,400.

II. Proposal

1. Contribution of parkland (17.8 acres):
 - a. 4.8 acres of non-floodplain land (estimated value of \$418,176).
 - b. 9.0 acres of floodplain land (estimated value of \$490,050).
 - c. 4.0 acres of lake (estimated value of \$87,120).
2. Build an eight foot-wide concrete trail of approximately 3,700 linear feet connecting from the Monroe Planned Development to the Wylie trail system (as shown on Monroe Wylie Trail Aerial Exhibit), in lieu of the Park Fee.
3. The name of the Park shall be "AL MONROE PARK."

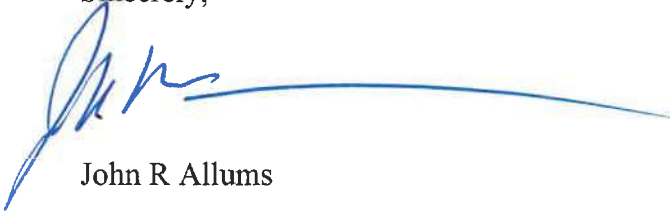
4. Work with the City to coordinate the design and construction of approximately 771 linear feet concrete trail from the NE corner of the property to the current terminus of the Kings Bridge Trail. This will be at no cost to the Development Partnership.

5. We are committed to working with the City on securing the appropriate water rights for the Lake. First, we will explore and exhaust all options to determine the feasibility of securing a permit exemption. If after determination that is not applicable, we will work with the City to acquire the appropriate and necessary permits through the Texas Commission on Environmental Quality (TCEQ). We propose the cost of this process be split 50% /50% between City and the Development Partnership.

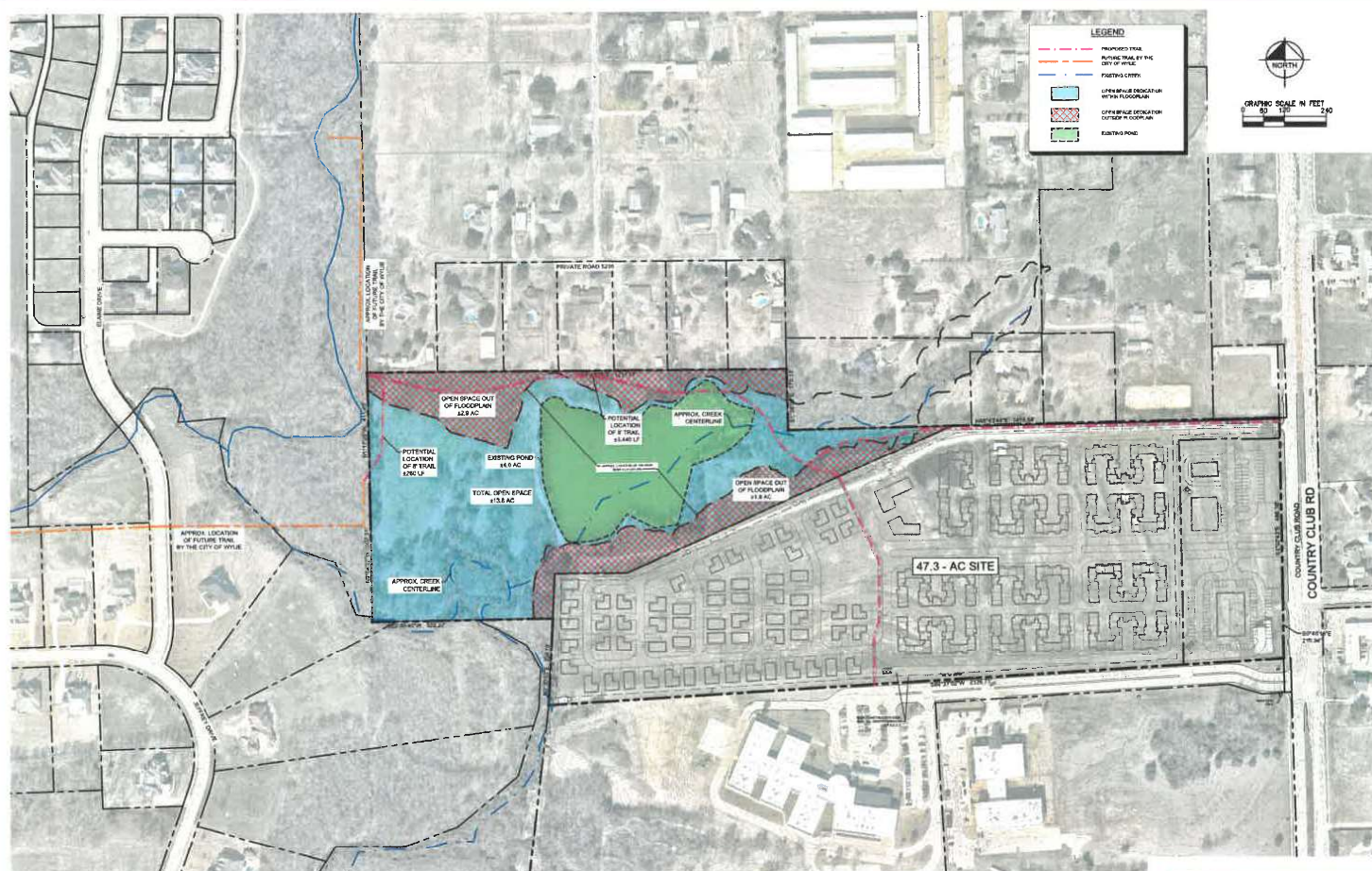
6. Once the park contribution and the appropriate water rights are obtained, ongoing maintenance of AL MONROE PARK would be the responsibility of the City.

If you have any questions, or we can provide additional information please feel free to contact me at any time.

Sincerely,

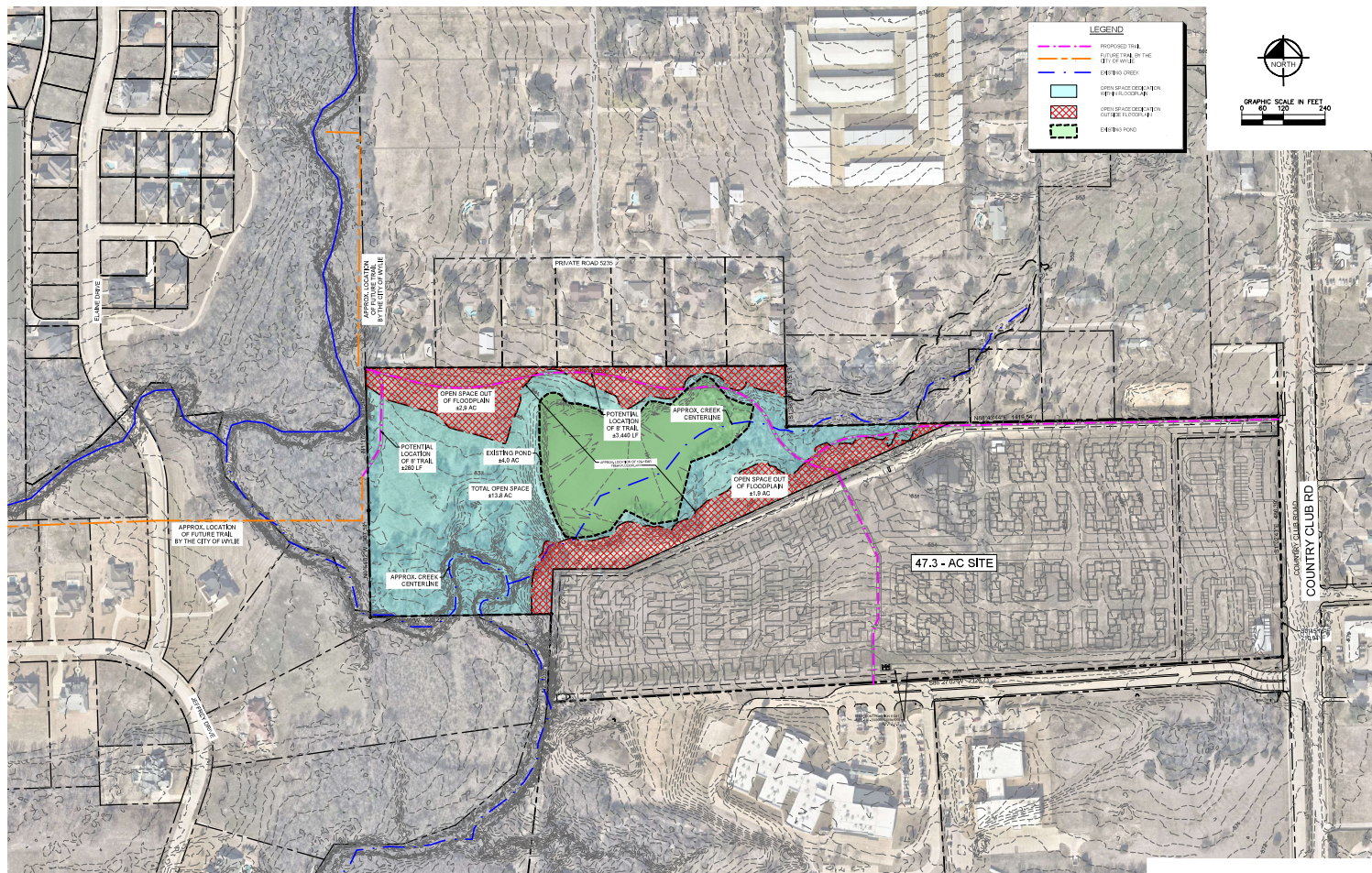


John R Allums



MONROE WYLIE PUBLIC TRAIL EXHIBIT
MAY 2021

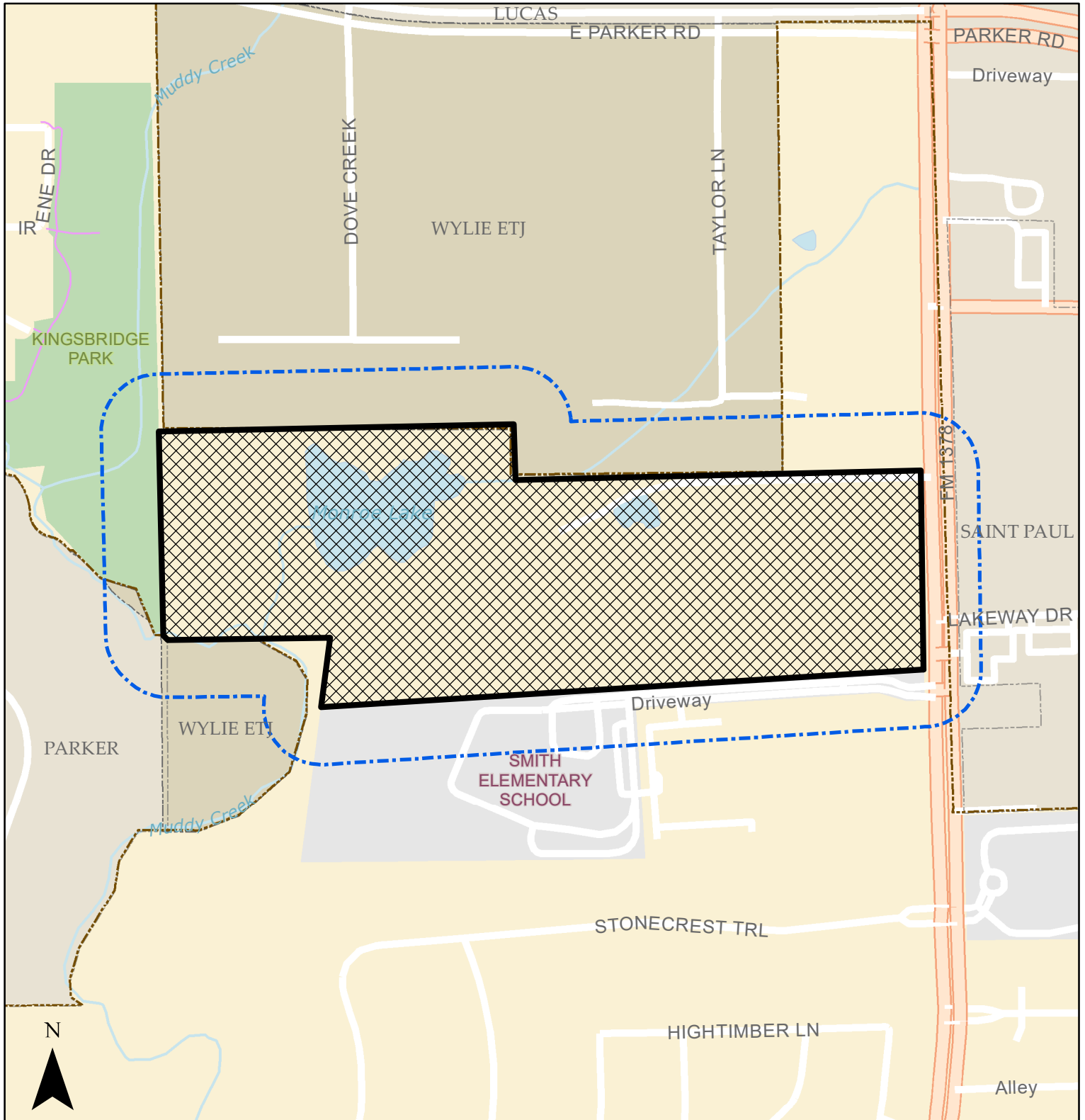
Kimley»Horn
15144 HIGEL ROAD, TWO GALLERIA TOWER, SUITE 290, DALLAS, TX 75248
PHONE: 972.775.1200 FAX: 972.426.5025
WWW.KIMLEY-HORN.COM TX FIRM
© 2014 KIMLEY-HORN AND ASSOCIATES, INC.



MONROE WYLIE PUBLIC TRAIL EXHIBIT MAY 2021

Notification Map

07/27/2021 Item 4.



ZC 2021-15; Monroe Lake; 2301 FM 1378

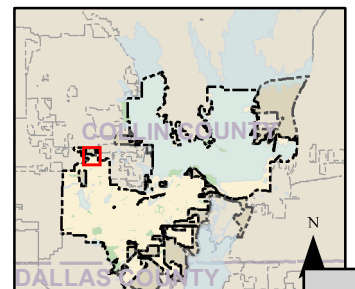


200 Foot Notification Buffer



Subject Property

0 230 460 920 1,380 1,840 Feet



PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

☐ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-15.
☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-15.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning

Commission meeting: Tuesday, July 06, 2021 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, July 27, 2021 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Clint and Kelly Hankey
(please print)

Address:

6946 Dove Creek Drive
Wylie, TX 75098

Signature:

Clint Hankey Kelly Hankey

Date:

June 29, 2021

COMMENTS:

Please see attached comments.

Comments of Clint and Kelly Hankey for Case Number 2021-15

We are the homeowners of 6946 Dove Creek Drive, which directly abuts the land that is the subject of the proposed zoning change requested by case number 2021-15 regarding 2301 Country Club in Wylie, Texas. We vehemently oppose the proposed zoning change for several reasons, many of which are provided below.

1. Wylie City Counsel strongly rejected a similar rezoning proposal for multiple reasons last year (case 2020-05). This proposal should fail for many of the same reasons.

When the City Council took up the applicant's proposed zoning change from agriculture to a mixed-use development in Case 2020-05, it strongly voted against approving the rezoning for many reasons, including but not limited to the traffic concerns, density concerns, overcrowding at neighboring Rita Smith Elementary, and frustration that much of the proposed open space was within in a floodplain. For example, one city council member stressed that the applicant neglected to seek approval of the proposed rezoning from Wylie ISD since surely the administration would have an opinion on the zoning change. Does the applicant now have approval from WISD? If so, he should share that input in writing with the Commissioners, City Council, and the public. If not, the failure to obtain that consent speaks volumes to the opposition that the applicant faces with this proposed zoning change and even more so, his disregard for the impact that it will have on this community.

2. The proposed location is not suitable for multifamily development.

Section 3.3(B) of the 2021 City of Wylie Zoning Ordinance ("City Ordinance") states the following as the purpose of the Multifamily District: "Purpose: The MF district allows for high density residential development immediately adjacent to shopping and activity centers." The property at issue is not, and nowhere near, "shopping and activity centers." On the contrary, the area is primarily single-family properties. In fact, many of those properties are situated on at least one acre, and those homeowners, like us, bought their properties specifically because of the country-type feel that they provide but within access to a great school district like WISD. The construction of a multifamily space in the location as proposed is not consistent with the surrounding area, and further, is contrary to the intended purpose of such a district as describe by the City Ordinance.

3. The proposed development will result in Rita Smith Elementary exceeding its capacity.

We have two children. One will start fourth grade at Rita Smith Elementary this August, and the other will start kindergarten. The proposed zoning change will harm the City's current residents with children who attend Rita Smith Elementary by overcrowding the school. Rita Smith Elementary is already at or over its existing capacity and simply cannot accommodate the many school-aged children who would occupy the proposed multifamily and single-family properties.¹

¹ See Wylie ISD, Bond 2019, Frequently Asked Questions, available at <https://www.wylieisd.net/Page/14115> (last accessed June 28, 2021) (stating, in part, "Nearly every campus is approaching or is at capacity.").

While the City requested and obtained its voters' approval for \$193.7 million dollars to fund school improvements in a May 2019 bond package, not one dollar of those funds was contemplated for use at Rita Smith Elementary.² Further, in its Frequently Asked Questions regarding that bond package, in response to the question "Is Wylie Really Growing that Much?" the City provided, in part, the following:

Fortunately, we are able to predict growth a little more accurately than in years past. We utilize two demographers who study available land and housing trends to help us determine where the growth will occur. *The challenge is when a development like Inspiration decides to reduce lot sizes to build more homes or when additional property is sold to developers which was previously unavailable.*³

As the City itself noted as justification for the 2019 bond package, undeveloped land that is later developed, as the applicant also intends to do here, puts an enormous burden on the City's existing campuses to accommodate more students. If the Planning and Zoning Commission and City Council approves the proposed zoning change, it will overcrowd classrooms at Rita Smith Elementary, which would then require the City to come up with money to expand the school. This cost should not be passed to the City's taxpayers. Rather, if the Commissioners and Council members are inclined to approve the proposed zoning change, the Applicant should be required to pay construction costs to expand Rita Smith Elementary to accommodate the students that will flow into it following this development.

4. Applicant seeks to confirm to multifamily district regulations when the exhibit shows many of the structures to be townhomes.

The applicant calls for the 187 units described his development conditions exhibit (Exhibit B) to conform to the Multifamily District standards at Section 3.3(B) of the City Ordinance. However, the applicant's zoning map refers to these 187 structures as "Townhomes," which is controlled by City Ordinance Section 3.3(A). It is therefore not possible to determine if the proposed townhomes conform to the standards in Section 3.3(A). Moreover, the applicant contemplates 61 "single home units" in the zoning map but fails to show that these structures conform to the single-family requirements in Section 3.1(B) of the City Ordinance. It appears that the applicant is identifying that the structures will be developed pursuant to Multifamily standards when they need to comply with the Townhome standards or Single-Family standards.

² See Wylie ISD, Bond 2019, Bond Proposal, available at <https://www.wylieisd.net/Page/14121> (last accessed June 28, 2021).

³ See Wylie ISD, Bond 2019, Frequently Asked Questions, available at <https://www.wylieisd.net/Page/14115> (last accessed June 28, 2021) (emphasis added).

5. The proposed zoning change would create a traffic nightmare.

The development map appears to suggest that the road leading to Rita Smith Elementary will be used by the new development. This road cannot accommodate any more traffic. Moreover, anyone who travels in the area around school start and dismissal times knows that adding at least 638 vehicles⁴ in and out of that area daily is untenable.

6. Applicant misstates permitted uses for the community retail district.

Applicant's Exhibit B states that the proposed zoning change for Subdistrict 1 to a Community Retail District permits many uses that "do not require additional requirements or a Special Use Permit," including a Financial Institution (without drive-thru), a Car Wash, and a Dry Cleaning or Laundry, Drop-off or Self Service. The Use Chart at Section 5.1 of the City Ordinance states the opposite, that a Special Use Permit is required for these uses.

7. Applicant's land design requirements, street and sidewalk requirements, and architectural requirements are not consistent with the City Ordinance.

The Applicant's proposed zoning conditions also are not consistent with the City Ordinance regarding the land design, street and sidewalk requirements, and architectural requirements. Among other things, the City Ordinance specifies that all Multifamily districts have a minimum number of "Desirables" selected by the developer. For example, Figure 3-9 of the City Ordinance shows Land Design requirements, where all developments must meet at least 3 of 6 "Desirables" from the list. The Land Design Requirements in applicant's Exhibit B at page 3 comes nowhere near that, boarding on zero or perhaps 0.5 depending on how you classify partial compliance with one. Similarly, the applicant includes only 1 of 4 of the Desirables in the Street and Sidewalk Requirement, short of the minimum of 2. These are only a few ways that the applicant's proposal fails to comport with the City Ordinance.

In sum, we urge the Commissioners and City Council to deny the applicant's proposed rezoning in Case 2021-15 for many reasons, such of which are set forth above.

⁴ The zoning exhibit shows 109 spaces for Subdistrict 1 and 529 parking spaces for Subdistrict 2.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-15.



I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-15.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning

Commission meeting:

Tuesday, July 06, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, July 27, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Christine Monroe

(please print)

Address:

6954 Dove Creek

Wylie

Signature:

Christine Monroe

Date:

June 29, 2021

COMMENTS:

We are against the zoning change for the land our property borders for many reasons. We are strongly opposed to any multifamily structures and retail structures. We are also opposed to any park amenity or walking trail behind our property for several reasons.

PUBLIC COMMENT FORM

(Please type or use black ink)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-15.

X I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2021-15.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning

Commission meeting:

Tuesday, July 06, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, July 27, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Susan Alipour & Bobby Alipour
(please print)

Address:

3700 Jeffrey Dr.
Parker TX 75002

Signature:

Susan Alipour / Bobby Alipour

Date:

6-17-2021

COMMENTS:

We are against development due to the multi-family
units increasing traffic and noise. This is a
high density development that should not be
allowed. Area should be kept as a park for
the surrounding ~~area~~ neighborhoods and school
to enjoy.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

_____ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2021-15.

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Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

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Date, Location & Time of

City Council meeting:

Tuesday, July 27, 2021 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

JOHN POTOTSCHNIK
 (please print)

Address:

6944 TAYLOR LN

Signature:

John Pototschnik

Date:

18 JUN 21

COMMENTS:

THE PLANNED DEVELOPMENT LAYOUT SENT SERVED
NO PURPOSE IN HELPING ONE ANALYZE OR AID IN
MAKING/FORMING ANY OPINION CONCERNING THE
PROPOSED DEVELOPMENT. RESIDENTS WOULD BE MUCH
BETTER SERVED IF WE WERE ACTUALLY PRESENTED
WITH SOMETHING WE COULD READ.



Mary Bradley <mary.bradley@wylietexas.gov>

Monroe Lake Project

1 message

Sarabeth Graham [REDACTED]
To: mary.bradley@wylietexas.gov

Tue, Jul 6, 2021 at 3:15 PM

To whom it may concern:

I would like to voice my strong opposition to the Monroe Lake project. This plan would negatively affect myself and my neighbors. I have small children that attend Smith Elementary. If the proposed plan is put into place, the safety of our children getting to and from school would be called into question. The drop off process is currently chaotic and having that area much busier would be truly unwise. Additionally, Smith Elementary would not be suited to accommodate the influx of children associated with this plan. Yet another reason i cannot endorse this zoning change is because multi family homes are not a part of the current area makeup. We purchased our home on several acres so that we could be around other properties that were spread out and agriculture in nature. A proposal of multi family homes crammed right in the middle doesn't fit with the existing properties. I urge you to consider the safety of the children at the school and vote against rezoning for this mixed use space. Thank you for your consideration.

Dr. Sarabeth Graham

Sent from my iPhone



Jasen Haskins <jasen.haskins@wylietexas.gov>

Planning and Zoning

2 messages

Sat, Jul 3, 2021 at 6:38 PM

[REDACTED]
To: "jasen.haskins@wylietexas.gov" <jasen.haskins@wylietexas.gov>

I am unable to attend the meetings and hope I have the right spot.

I DO NOT want to see any homes, apartments, etc., built on the Monroe Lake area (FM 1378). If this is built, those of us living on FM 1378 farther up will have to wait for ever to pull out, driving will be more congested and a real mess. So, please pass on to the Board Members—some of us in Wylie don't want this addition done.

Laurie Sargent

Wylie, TX

Jasen Haskins <jasen.haskins@wylietexas.gov>

Tue, Jul 6, 2021 at 7:23 AM

To: Newbie 01 [REDACTED]

Ms. Sargent,

Thank you for your comments. I will forward your comments to the P&Z Commissioners and City Council.

Regards,



Jasen Haskins, AICP

Planning Manager

City of Wylie

300 Country Club Rd.

Wylie, TX 75098

972-516-6324

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Mary Bradley <mary.bradley@wylietexas.gov>

Zoning change comments

1 message

Valerie Struthers [REDACTED]

Tue, Jul 6, 2021 at 5:52 PM

To: "mary.bradley@wylietexas.gov" <mary.bradley@wylietexas.gov>

Mary,

Regarding the proposed zoning change of the 47 acres located at [2301 FM 1378](#) I would like to express my negative feelings on this. I live on Lakeway Drive which is directly across 1378 from this property. I already have lots of drivers that cut through my street and speed. This would no doubt increase the number of drivers on my street. I have 2 young children that play with a lot of the other young children in our neighborhood and am worried for their safety.

Please do not change the zoning. We do not want any apartments or new business traffic so close to us.

Valerie Struthers
Office admin
Crest Exteriors



Mary Bradley <mary.bradley@wylietexas.gov>

Opposed to Monroe Lake zoning change

1 message

Lisa Tovar [REDACTED]
To: mary.bradley@wylietexas.gov

Tue, Jul 6, 2021 at 4:29 PM



Lisa Tovar [REDACTED]
to mary.bradley

4:19 PM (9 minutes ago)

I am OPPOSED to the zoning being changed at **2301 FM 1378!** I moved here to get some green space and want it to stay as is. We do NOT need more shopping in this area as we have a huge selection of places to choose from just minutes from here off of FM 544 in Wylie and Murphy. There are already Apartments off Country Club that are not at capacity and that have a high turnover rate. Also it's not a good idea to have Apartments that close to an Elementary School! Plus the current roadways can't handle any additional traffic.

Thank you,

Lisa Tovar
LT Dallas Design
[REDACTED]

Monroe Lake

City Council Meeting
City of Wylie
July 27th, 2021

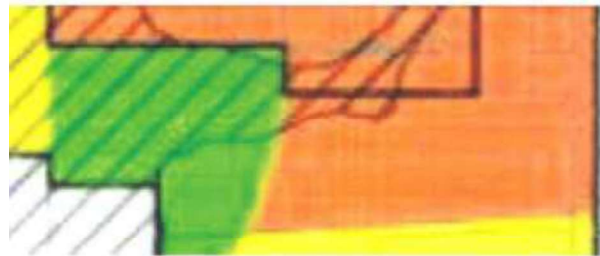
Monroe Lake Location Map





Future Land Use Plan

- General Urban Corridor
 - Multi Family Residential
 - Commercial Corridor
 - Light Industrial
- Natural Open Space Sector
 - Land to be dedicated to Wylie Park Department



Land Use Plan
Proposed Land Use

- General Urban Sector
- Natural/Open Space Sector
- Sub Urban Sector
- Urban Core Sector



CAPSTAR Real Estate Advisors

Monroe Lake Townhomes
Wylie, TX

CONCEPTUAL SITE PLAN

1 STORY SINGLE FAMILY



2 STORY SINGLE FAMILY



TOWNHOMES



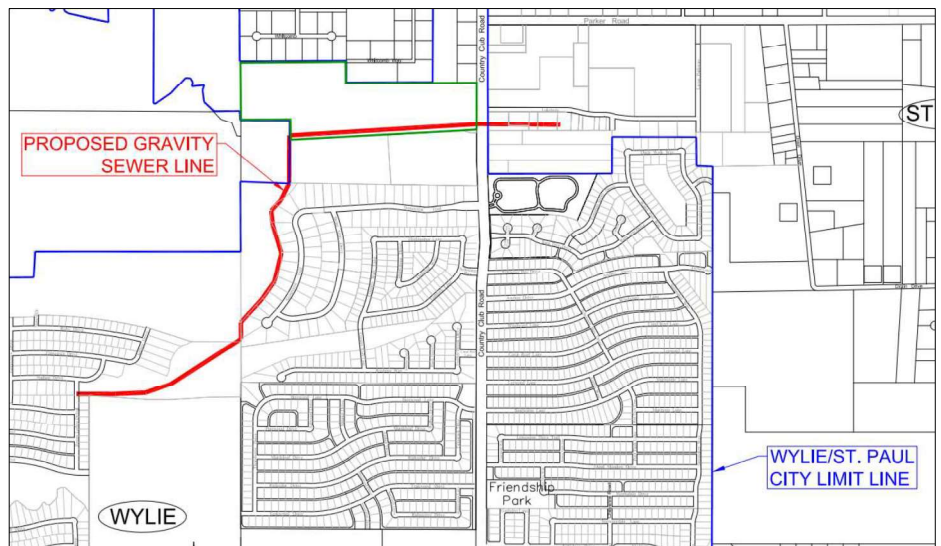


Comments/Questions From P&Z Meeting

- Sanitary Capacity
- Drainage
- Traffic
- School Impact

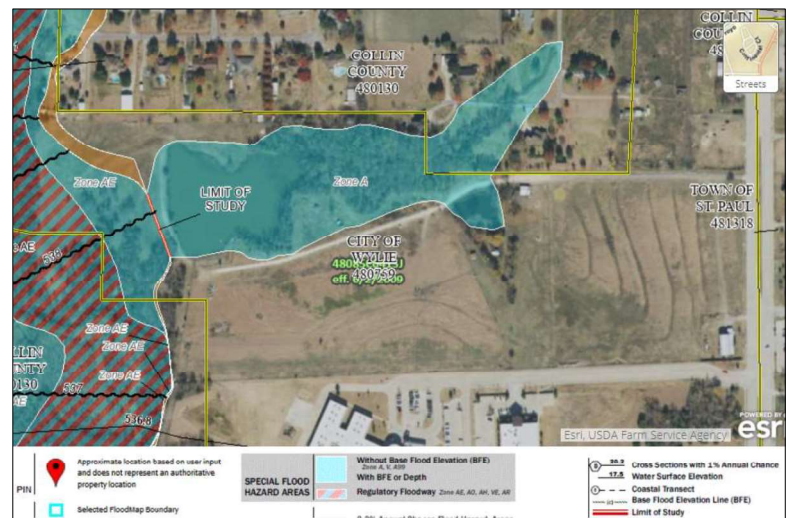
Sanitary

- A new 12" gravity sanitary sewer main was approved for construction in July 2018 and will serve the Monroe Lake Site
- The Monroe family gave the City a 20' easement to allow the sewer line to run through their property



Drainage

- The City of Wylie's Storm Drainage Ordinance will require a drainage study with design plans to show that the proposed development will not increase flows downstream and cause flooding to any neighbors. We must follow the City's Ordinance, which specifically states:
 - "No alteration of the channel or adjacent flood plain will be permitted which could result in any degree of increased flooding to other properties, adjacent, upstream, or downstream"
 - "Alterations of the flood plain shall not create an erosive water velocity on or off site."
 - "A hydraulic study that illustrates no adverse conditions are created downstream as a result of development" will be submitted with engineering plans.
- If the study shows that there will be an increase in floodplain, we will be required to provide on-site stormwater detention, per the Ordinance.

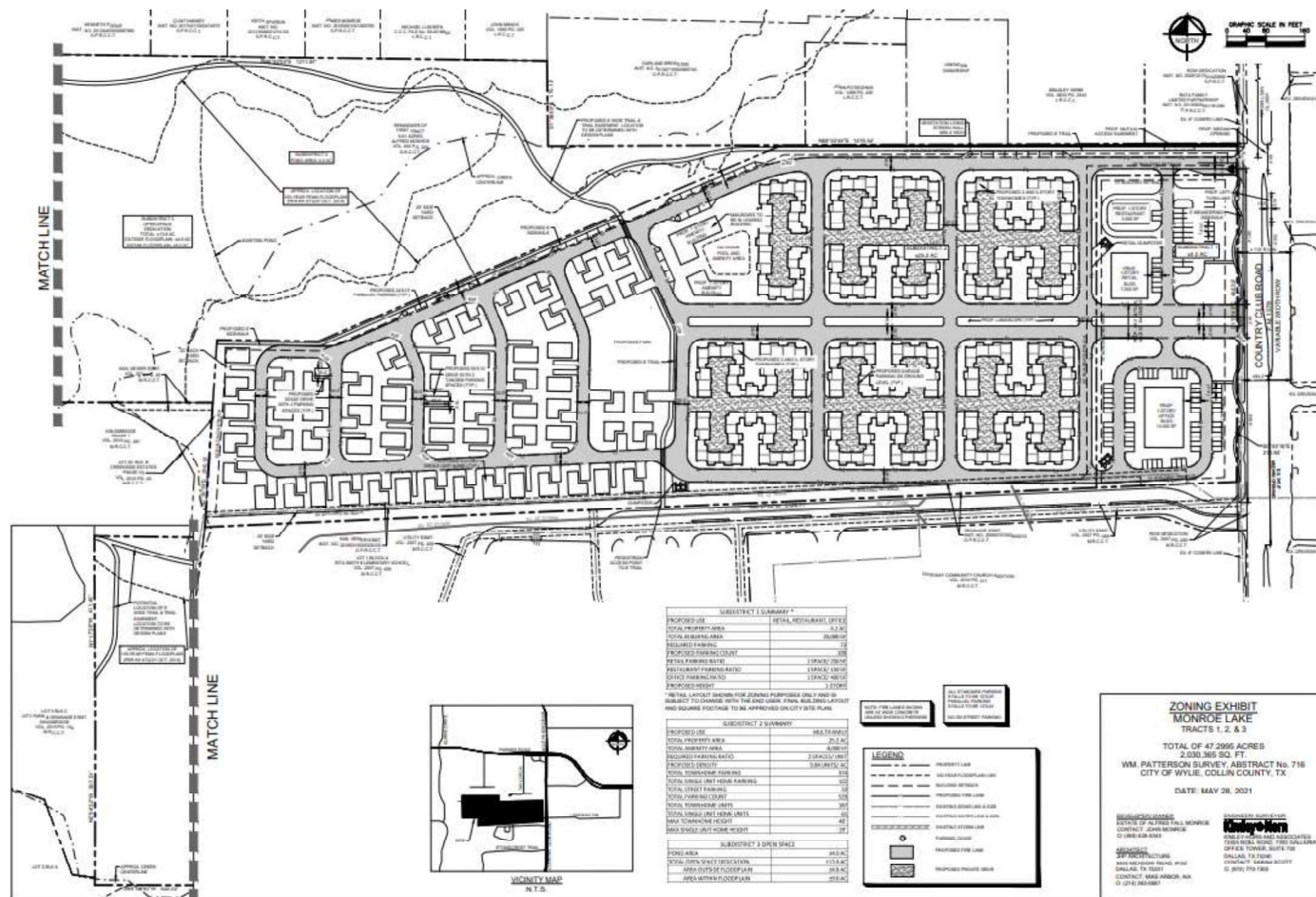


Traffic

- A Traffic Impact Analysis (TIA) was prepared by Kimley-Horn. The study used the traffic counts from the previous zoning case in 2018 and then factored them based on surrounding growth rates to analyze traffic for years 2024 and 2029
- The study included a 3,000 SF drive-thru restaurant, which is the highest traffic use, to be conservative
- The site's driveways provide the appropriate level of access for the development, and no vehicular connection to the school is proposed

School Impact

- School District Strategies (SDS) was engaged to perform a potential Student Yield Analysis based on the proposed development
- SDS is the official demographer for the Wylie Independent School District
- The analysis determined that the new development would yield at a maximum 55 Wylie ISD students at build-out
- This results in a yield of .22 students per dwelling unit
- As a comparison, for-sale single family developments yield .75 students per dwelling unit





CAPSTAR Real Estate Advisors

Monroe Lake Townhomes
Wylie, TX

CONCEPTUAL SITE PLAN



Wylie City Council

AGENDA REPORT

Department: Planning

Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2021-35 establishing a Comprehensive Plan Advisory Committee (CPAC), providing for the scope and authority of the Committee, time of service, and appointing Committee members.

Recommendation

Motion to approve Ordinance No. 2021-35 establishing a Comprehensive Plan Advisory Committee (CPAC), providing for the scope and authority of the committee, time of service, and appointing _____ to the committee.

Discussion

At the direction of the City council, staff drafted an Ordinance for the creation of the CPAC for an update to the 2012 Comprehensive Master Plan for the City of Wylie.

At the direction of Council, CPAC will consist of 14 members appointed as per the Ordinance (Exhibit A). Staff worked with the organizations designated by Council, and the members are included in Exhibit B for reference.

Once created, the CPAC will work directly with staff and the consultant team to develop a draft plan.

To accomplish this CPAC members are charged to:

- (a) Work with staff and the consultant at designated meetings to discuss and consider the update to the Comprehensive Plan.
- (b) Attend the public worksessions, open houses, and other events as advocates of the plan process and the plan itself.
- (c) Ensure that the plan reflects the desire and vision of all the citizens of Wylie.

CPAC will meet about once a month for 2-3 hours for each meeting. This encompasses meetings, work sessions, and open houses. The process is expected to last about one year and be completed by Summer of 2022 at which point CPAC will be discharged.

Adoption of the Ordinance is the creation of the CPAC.

Financial Summary/Strategic Goals

Health, safety, and well-being
 Planning Management
 Community Focused Government
 Economic Growth
 Infrastructure
 Culture

ORDINANCE NO. 2021-35

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, ESTABLISHING A COMPREHENSIVE PLAN ADVISORY COMMITTEE (CPAC); PROVIDING FOR THE SCOPE AND AUTHORITY OF THE COMMITTEE; AND PROVIDING FOR THE APPOINTMENT OF THE MEMBERS; PROVIDING FOR TIME OF SERVICE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council for the City of Wylie believes that the Comprehensive Plan is a necessary tool in guiding decisions and effectively managing the growth and development of the city; and

WHEREAS, the City Council recognizes that in order for the Comprehensive Plan to reflect the community's goals and objectives, it must be reviewed and updated; and

WHEREAS, the City Council believes that the citizen members of the committee should be representative of the entire community;

NOW, THEREFORE BE IT ORDAINED by the City Council of the City of Wylie, Texas that:

SECTION 1. Membership - The City Council shall appoint fourteen (14) members to serve on the CPAC. Of the members, each City Council member shall directly designate one (1) member, who shall be a resident of Wylie for a minimum of one (1) year and a registered voter; Council shall directly and jointly appoint one (1) member who, at time of appointment resides in the City of Wylie's Extraterritorial Jurisdiction (ETJ); and each of the following organizations shall submit one (1) designated member of their choice: Wylie Downtown Merchants Association (WDMA), Wylie Economic Development Corporation (EDC), The City of Wylie Historic Review Commission (HRC), The City of Wylie Parks Board, The City of Wylie Planning and Zoning Commission (P&Z), and the Wylie Independent School District (WISD). The Planning Manager and the consulting firm of Freese and Nichols shall coordinate the committee and serve as liaison.

SECTION 2. Meetings - The CPAC shall meet, at a minimum, according to the schedule established by staff and the consultant. All meetings shall be conducted in accordance with the Texas Open Meetings Act.

SECTION 3. Authority - The CPAC shall be a recommending body with no budget or administrative authority.

SECTION 4. Charge - The CPAC is charged with the following:

- (a) Work with staff and the consultant at designated meetings to discuss and consider the update to the Comprehensive Plan.
- (b) Attend the public worksessions, open houses, and other events as advocates of the plan process and the plan itself.
- (c) Ensure that the plan reflects the desire and vision of all the citizens of Wylie.

SECTION 5. The CPAC shall be discharged upon final adoption of the Comprehensive Master Plan by the City Council of the City of Wylie.

SECTION 6. This ordinance shall take effect immediately upon its passage by the City Council of the City of Wylie.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS this 27th day of July, 2021.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

EXHIBIT “B”**Comprehensive Plan Advisory Committee
CPAC**

<u>Member</u>	<u>Organization</u>	<u>Appointed By</u>
Sandra Stone	Citizen	Councilman Duke
Todd Pickens	Citizen	Councilman Strang
Ken Kocon	Citizen	Mayor Porter
Matthew Soto	Citizen	Mayor Pro Tem Forrester
Jon Bailey	Citizen	Councilman Mize
???	Citizen	Councilman Wallis
James Byrne	Citizen	Councilman Williams
???	ETJ Citizen	Council at Large
Jeremy Meier	Downtown Merchants Association	DMA
Jason Greiner	Economic Development Corp	EDC Board
Joe Chandler	Historic Review Commission	HRC
Kim Mullis	Parks Board	Parks Board
Jacques Loraine	Planning and Zoning Commission	P&Z
Matt Atkins	Wylie Independent School District	WISD



Wylie City Council

AGENDA REPORT

Department: Finance

Prepared By: Melissa Beard

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2021-36 amending Wylie's Code of Ordinances, Ordinance No. 2021-17 as amended, Appendix C (Wylie Comprehensive Fee Schedule), Section I (Water and Sewer Fees), Subsection B (Water Rates), and Subsection C (Sewage Collection and Treatment Rates).

Recommendation

Motion to approve as presented.

Discussion

On July 28, 2020, Council approved the final version of the water and sewer rate study prepared by NewGen Strategies & Solutions. The study incorporated the water and sewer capital improvements plan (CIP) for five years, outstanding debt service, the estimated wholesale water rate increases from the North Texas Municipal Water District, the transfer to the general fund, and future utility fund staffing needs. This study also incorporated the cash contribution of \$4 million for the Advanced Metering Infrastructure project as well as the \$3.3 million that is being financed over a 10 year period at a 2.1% interest rate.

The FY2022 proposed budget includes \$15,000 to begin an annual review of the rate study, including water and sewer rates and capital needs. This budget is based on a water rate increase of 7.25% and a wastewater rate increase of 2.75%.

Financial Summary/Strategic Goals

ORDINANCE NO. 2021-36

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, AMENDING WYLIE’S CODE OF ORDINANCES, ORDINANCE NO. 2021-17, AS AMENDED, APPENDIX C (WYLIE COMPREHENSIVE FEE SCHEDULE), SECTION I (WATER AND SEWER FEES), SUBSECTION B (WATER RATES), SUBSECTION C (SEWAGE COLLECTION AND TREATMENT RATES); PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR REPEALING, SAVINGS AND SEVERABILITY CLAUSES; PROVIDING FOR AN EFFECTIVE DATE OF THIS ORDINANCE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION OF THIS ORDINANCE.

WHEREAS, the City Council of the City of Wylie, Texas (“City Council”) has adopted a comprehensive fee schedule (“Comprehensive Fee Schedule”) for the City of Wylie, Texas (“Wylie”), which is codified in Appendix C to the Wylie Code of Ordinances, Ordinance No. 2021-17, as amended (“Code of Ordinances”); and

WHEREAS, the City Council has investigated and determined that it would be advantageous and beneficial to the citizens of Wylie to amend the following provisions of the Comprehensive Fee Schedule as provided herein: Section I (Water and Sewer Fees), Subsection B (Water Rates), Subsection C (Sewage Collection and Treatment Rates);.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Amendment to Appendix C (Wylie Comprehensive Fee Schedule) of the Wylie Code of Ordinances. Appendix C (Comprehensive Fee Schedule) of the Code of Ordinances is hereby amended as follows:

“WYLIE COMPREHENSIVE FEE SCHEDULE”

I. WATER AND SEWER FEES

B. Water Rates.

- (1) The following monthly water rates shall apply to all domestic residential customers within the corporate limits of the City of Wylie, Texas. **ALL PRICES ARE FOR 1,000 GALLONS OF METERED WATER.**
 - (a) Monthly minimum charge for first 1,000 gallons of metered water consumption: \$18.54

- (b) Volume charge for all consumption exceeding 1,000 gallons:

1,001 to 10,000 gallons:	\$6.31
10,001 to 20,000 gallons:	\$8.19
20,001 to 40,000 gallons:	\$10.64
Over 40,000 gallons:	\$13.84

- (2) The following monthly water rates shall apply to all domestic commercial customers, (other than apartments, mobile home parks and other multi-unit dwellings not individually metered) within the corporate limits of the City of Wylie, Texas:
 - (a) Monthly minimum charge for first 1,000 gallons of metered water consumption: \$25.32
 - (b) Volume charge for all consumption exceeding 1,000 gallons: \$7.16

- (3) The following water rates shall apply to all domestic apartments, mobile home parks, and other multi-unit dwellings, not individually metered, within the corporate limits of the City of Wylie, Texas:
 - (a) Monthly minimum charge for first 1,000 gallons of metered water \$25.32
 - (b) Volume charge for all consumption exceeding 1,000 gallons \$7.16

- (4) The following monthly water rates shall apply to all irrigation meters within the corporate limits of the City of Wylie, Texas:
 - (a) Monthly minimum charge for first 1,000 gallons of metered water:
 - (1) Residential irrigation \$18.54
 - (2) Commercial & Multifamily \$25.32
 - (b) Volume charge for all consumption exceeding 1,000 gallons:
 - (1) Residential irrigation \$9.05
 - (2) Commercial irrigation \$9.05

- (5) The monthly water charge for any customers (residential, commercial, apartment, mobile home park, or other multi-unit dwelling not individually metered) located outside the corporate limits of the City of Wylie, Texas, shall be at the rate of one hundred fifteen percent (115%) of the rate charged customers inside the corporate limits of the City.

- (6) Any bulk water customer who desires to withdraw water from a hydrant or other source not metered and charged directly to them, shall fill out a water application form and sign the form in the same manner as a regular metered customer. Bulk water rate charges are to be charged in twenty-five (25) gallon increments at the same rates as the commercial customers.

C. Sewage Collection and Treatment Rates.

- (1) The following monthly sewage collection and treatment rates shall apply to all residential customers of the City of Wylie, Texas:
 - (a) Customers who are 65 years of age or older and have a homestead exemption on the service address which appears in the tax records \$37.68
 - (b) Customers who are disabled and have a homestead exemption on the service address which appears in the tax records \$37.68
 - (c) All other customers \$53.42
- (2) The following monthly sewage collection and treatment rates shall apply to all commercial customers of the City of Wylie, Texas:
 - (a) Monthly minimum charge first 1,000 gallons of metered water..... \$40.67
 - (b) Volume charge for all consumption exceeding 1,000 gallons..... \$ 5.65
- (3) The following monthly sewage collection and treatment rates shall apply to each apartment unit, multiple-family unit, or mobile home space and special areas such as washateria, swimming pools, etc., where the apartment, multiple-family development or mobile home park is on a master meter for water consumption with the City of Wylie, Texas:
 - (a) Age restricted Senior Multiple Family Facility \$37.68
 - (b) All other customers \$53.42
- (4) The monthly sewer charge for any customers (residential, commercial, apartment, mobile home park, or other multi-unit dwelling not individually metered) located outside the corporate limits of the City of Wylie, Texas, shall be at the rate of one hundred fifteen percent (115%) of the rate charged customers inside the corporate limits of the City.
- (5) The monthly water and sewer rate charge for residential and commercial customers located outside the corporate limits of the City of Wylie, Texas, shall be at the rate of one hundred fifteen percent (115%) of the rate charged customers inside the corporate limits of the City.

SECTION 3: Penalty. Any person, firm, corporation or entity that violates this Ordinance shall be deemed guilty of a misdemeanor and upon conviction thereof shall be fined a sum not exceeding two thousand dollars (\$2,000.00) if the violation relates to the public health and sanitation, otherwise the fine shall be a sum not exceeding five hundred dollars (\$500.00). Each continuing day's violation shall constitute a separate offense. The penal provisions imposed under this Ordinance

shall not preclude the Wylie from filing suit to enjoin the violation. Wylie retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 4: Savings/Repealing. All provisions of the Code of Ordinances shall remain in full force and effect, save and except as amended by this or any other ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 5: Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses, and phrases be declared unconstitutional or invalid.

SECTION 6: Effective Date. This Ordinance shall become effective from and after its passage and publication as required by the City Charter and by law.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, on this 27th day of July, 2021.

Matthew Porter, Mayor

**ATTESTED AND
CORRECTLY RECORDED:**

Stephanie Storm, City Secretary

Dates to be published in *The Wylie News* – August 4, 2021



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, the acceptance of the resignation of the Zoning Board of Adjustment board member Robert Blair, appointment of alternate Zewge Kagnev to fill the unexpired term of July 2021 to June 2022, and the appointment of a new alternate to fill the unexpired term of July 2021 to June 2023.

Recommendation

Motion to approve the acceptance of the resignation of the Zoning Board of Adjustment board member Robert Blair, appointment of alternate Zewge Kagnev to fill the unexpired term of July 2021 to June 2022, and the appointment of _____ to fill the unexpired term of July 2021 to June 2023.

Discussion

Staff is requesting the appointment of Zewge Kagnev, current alternate, as a new Zoning Board of Adjustment member to replace Robert Blair. Mr. Blair submitted his letter of resignation dated July 2, 2021.

Zewge Kagnev currently holds the position of Alternate 2 for the Zoning Board of Adjustment and is a citizen of Wylie. He would replace Mr. Blair until the time for renewal in June 2022. Staff has reached out to Mr. Kagnev and he is willing to serve if appointed.

With Mr. Kagnev moving into a board position, there would be a vacancy left in the alternate position. Staff reached out to 2021 Boards & Commissions applicants who were not appointed to a board and who chose Zoning Board of Adjustment as one of their three preferences. Four applicants, Richard Miller, Aaron Jameson, John Perdomo, and Jocelyn Collong did reply back and express interest in the position. Attached are the five applications for your consideration.

Financial Summary/Strategic Goals

Community Focused Government

First Name *

Justin

Please provide your full legal first and last name.

Last Name *

Bailey

Occupation

Federal Contractor: Security

Address in ETJ? *☐ Yes ☒ No**Wylie Resident ***☒ Yes ☐ No**Resident Length ***

6 months

Registered Voter *☒ Yes ☐ No**Currently Serving ***☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Parks & Recreation Board

Board Preference 2: *

Zoning Board of Adjustments

Board Preference 3: *

Animal Shelter Advisory Board

Board 3 Qualification *

Resident

Please indicate briefly why you would like serve as a Boards and Commission member: *

To give back to my community

Panel Notes:

First Name *

Jocelyn

Please provide your full legal first and last name.

Last Name *

Collong

Occupation

Employee

Address in ETJ? *☐ Yes ☒ No**Wylie Resident ***☒ Yes ☐ No**Resident Length ***

4

Registered Voter *☒ Yes ☐ No**Currently Serving ***☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Wylie Economic Development Corporation

Board 1 Qualification *

Serve, or have served, in a professional capacity.

Board Preference 2: *

Planning & Zoning Commission

Board Preference 3: *

Zoning Board of Adjustments

Please indicate briefly why you would like serve as a Boards and Commission member: *

Wylie is our home. As such, it is important for me that Wylie become economically well off. The Covid-19 pandemic and eventually the distribution of the much needed vaccine to Wylie vis-a-viz its rich neighbors McKinney and Frisco leaves so much to be desired. I want to help and contribute to my cit

Panel Notes:

First Name *

Aaron

Please provide your full legal first and last name.

Last Name *

Jameson

Occupation

Banker

Address in ETJ? *☐ Yes ☒ No**Wylie Resident ***☒ Yes ☐ No**Resident Length ***

2019

Registered Voter *☒ Yes ☐ No**Currently Serving ***☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Planning & Zoning Commission

Board Preference 2: *

Parks & Recreation Board

Board Preference 3: *

Zoning Board of Adjustments

Please indicate briefly why you would like serve as a Boards and Commission member: *

I am a Wylie resident, parent and homeowner with a professional background in finance. I'd like to learn from current board members about what is important to Wylie residents and represent a diverse voice in the community.

Panel Notes:

First Name *

Richard

Please provide your full legal first and last name.

Last Name *

Miller

Occupation

Postal Worker

Address in ETJ? *☐ Yes ☒ No**Wylie Resident ***☒ Yes ☐ No**Resident Length ***

18 years

Registered Voter *☒ Yes ☐ No**Currently Serving ***☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Planning & Zoning Commission

Board Preference 2: *

Zoning Board of Adjustments

Board Preference 3: *

Animal Shelter Advisory Board

Board 3 Qualification *

Resident

Please indicate briefly why you would like serve as a Boards and Commission member: *

I believe the city of Wylie has gone astray in recent years to the detriment of our community and quality of life here in Wylie. I'd like to to see our community stop allowing our town to loose it's charm and livability.

Panel Notes:

First Name *

John

Please provide your full legal first and last name.

Last Name *

Perdomo

Occupation

Client Solutions Executive with AT&T

Address in ETJ? *☐ Yes ☒ No**Wylie Resident ***☒ Yes ☐ No**Resident Length ***

20 years

Registered Voter *☒ Yes ☐ No**Currently Serving ***☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Parks & Recreation Board

Board Preference 2: *

Parks & Recreation 4B

Board Preference 3: *

Zoning Board of Adjustments

Please indicate briefly why you would like serve as a Boards and Commission member: *

I love volunteering in my community and would like to use my experience to contribute toward the enhancement and improvement of our city. As Director of Parkside HOA, I've worked with staff members of Parks & Recreation to improve our area, and I want to expand my service to the entire city.

Panel Notes:



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, the acceptance of the resignation of the Zoning Board of Adjustment alternate board member Lance Kiser, and the appointment of a new alternate to fill the unexpired term of July 2021 to June 2022.

Recommendation

Motion to approve the acceptance of the resignation of the Zoning Board of Adjustment alternate board member Lance Kiser, and the appointment of _____ to fill the unexpired term of July 2021 to June 2022.

Discussion

Staff is requesting the appointment of a new alternate to replace Lance Kiser. Mr. Kiser informed staff on July 8 that he would need to resign from the Board.

With Mr. Kiser's resignation, there would be a vacancy left in the alternate position. Staff reached out to 2021 Boards & Commissions applicants who were not appointed to a board and who chose Zoning Board of Adjustment as one of their three preferences. Four applicants, Richard Miller, Aaron Jameson, John Perdomo, and Jocelyn Collong did reply back and express interest in the position. Attached are the five applications for your consideration.

Financial Summary/Strategic Goals

Community Focused Government

First Name *

Justin

Please provide your full legal first and last name.

Last Name *

Bailey

Occupation

Federal Contractor: Security

Address in ETJ? *

☐ Yes ☒ No

Wylie Resident *

☒ Yes ☐ No

Resident Length *

6 months

Registered Voter *

☒ Yes ☐ No

Currently Serving *

☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Parks & Recreation Board

Board Preference 2: *

Zoning Board of Adjustments

Board Preference 3: *

Animal Shelter Advisory Board

Board 3 Qualification *

Resident

Please indicate briefly why you would like serve as a Boards and Commission member: *

To give back to my community

Panel Notes:

First Name *

Jocelyn

Please provide your full legal first and last name.

Last Name *

Collong

Occupation

Employee

Address in ETJ? *☐ Yes ☒ No**Wylie Resident ***☒ Yes ☐ No**Resident Length ***

4

Registered Voter *☒ Yes ☐ No**Currently Serving ***☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Wylie Economic Development Corporation

Board 1 Qualification *

Serve, or have served, in a professional capacity.

Board Preference 2: *

Planning & Zoning Commission

Board Preference 3: *

Zoning Board of Adjustments

Please indicate briefly why you would like serve as a Boards and Commission member: *

Wylie is our home. As such, it is important for me that Wylie become economically well off. The Covid-19 pandemic and eventually the distribution of the much needed vaccine to Wylie vis-a-viz its rich neighbors McKinney and Frisco leaves so much to be desired. I want to help and contribute to my cit

Panel Notes:

First Name *

Aaron

Please provide your full legal first and last name.

Last Name *

Jameson

Occupation

Banker

Address in ETJ? *

☐ Yes ☒ No

Wylie Resident *

☒ Yes ☐ No

Resident Length *

2019

Registered Voter *

☒ Yes ☐ No

Currently Serving *

☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Planning & Zoning Commission

Board Preference 2: *

Parks & Recreation Board

Board Preference 3: *

Zoning Board of Adjustments

Please indicate briefly why you would like serve as a Boards and Commission member: *

I am a Wylie resident, parent and homeowner with a professional background in finance. I'd like to learn from current board members about what is important to Wylie residents and represent a diverse voice in the community.

Panel Notes:

First Name *

Richard

Please provide your full legal first and last name.

Last Name *

Miller

Occupation

Postal Worker

Address in ETJ? *

☐ Yes ☒ No

Wylie Resident *

☒ Yes ☐ No

Resident Length *

18 years

Registered Voter *

☒ Yes ☐ No

Currently Serving *

☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Planning & Zoning Commission

Board Preference 2: *

Zoning Board of Adjustments

Board Preference 3: *

Animal Shelter Advisory Board

Board 3 Qualification *

Resident

Please indicate briefly why you would like serve as a Boards and Commission member: *

I believe the city of Wylie has gone astray in recent years to the detriment of our community and quality of life here in Wylie. I'd like to to see our community stop allowing our town to loose it's charm and livability.

Panel Notes:

First Name *

John

Please provide your full legal first and last name.

Last Name *

Perdomo

Occupation

Client Solutions Executive with AT&T

Address in ETJ? *☐ Yes ☒ No**Wylie Resident ***☒ Yes ☐ No**Resident Length ***

20 years

Registered Voter *☒ Yes ☐ No**Currently Serving ***☐ Yes ☒ No

Boards and Commission Preferences

Board Preference 1: *

Parks & Recreation Board

Board Preference 2: *

Parks & Recreation 4B

Board Preference 3: *

Zoning Board of Adjustments

Please indicate briefly why you would like serve as a Boards and Commission member: *

I love volunteering in my community and would like to use my experience to contribute toward the enhancement and improvement of our city. As Director of Parkside HOA, I've worked with staff members of Parks & Recreation to improve our area, and I want to expand my service to the entire city.

Panel Notes:



Wylie City Council

AGENDA REPORT

Department: Public Works
Prepared By: Tim Porter

Account Code: _____

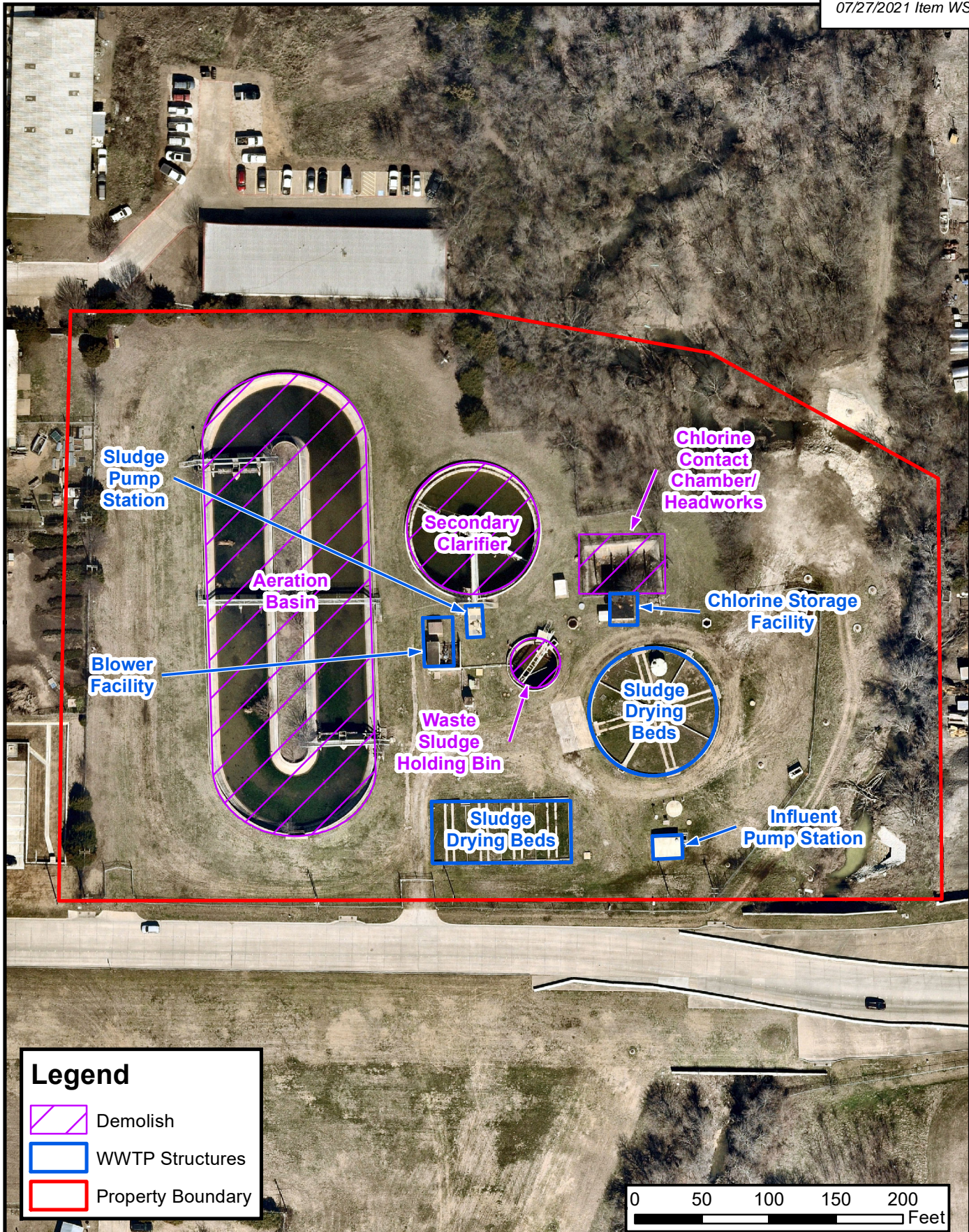
Subject

Discuss Wylie Wastewater Treatment Plant Demolition Options.

Recommendation

Discussion

Discuss three (3) options for demolition of the Wylie Wastewater Treatment Plant, including costs associated with each.



 FREES AND NICHOLS 5805 Main Street, Suite B Frisco, Texas 75034 Phone - (972) 624-9201		City of Wylie Wastewater Treatment Plant		FN JOB NO WLE20563	1 FIGURE
		Demolition Option 1		FILE Fig1_DemoOpt1.mxd	
				DATE June 2021	
				SCALE 1:1,200	
				DESIGNED MK	
		DRAFTED MK			



Innovative approaches
Practical results
Outstanding service

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT NAME	Wylie WWTP Demolition	DATE	6/8/2021
CLIENT	NTMWD	GROUP	1153
% SUBMITTAL	Conceptual	PM	Clayton Barnard

ESTIMATED BY	QC CHECKED BY	FNI PROJECT NUMBER
		WLE20563

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
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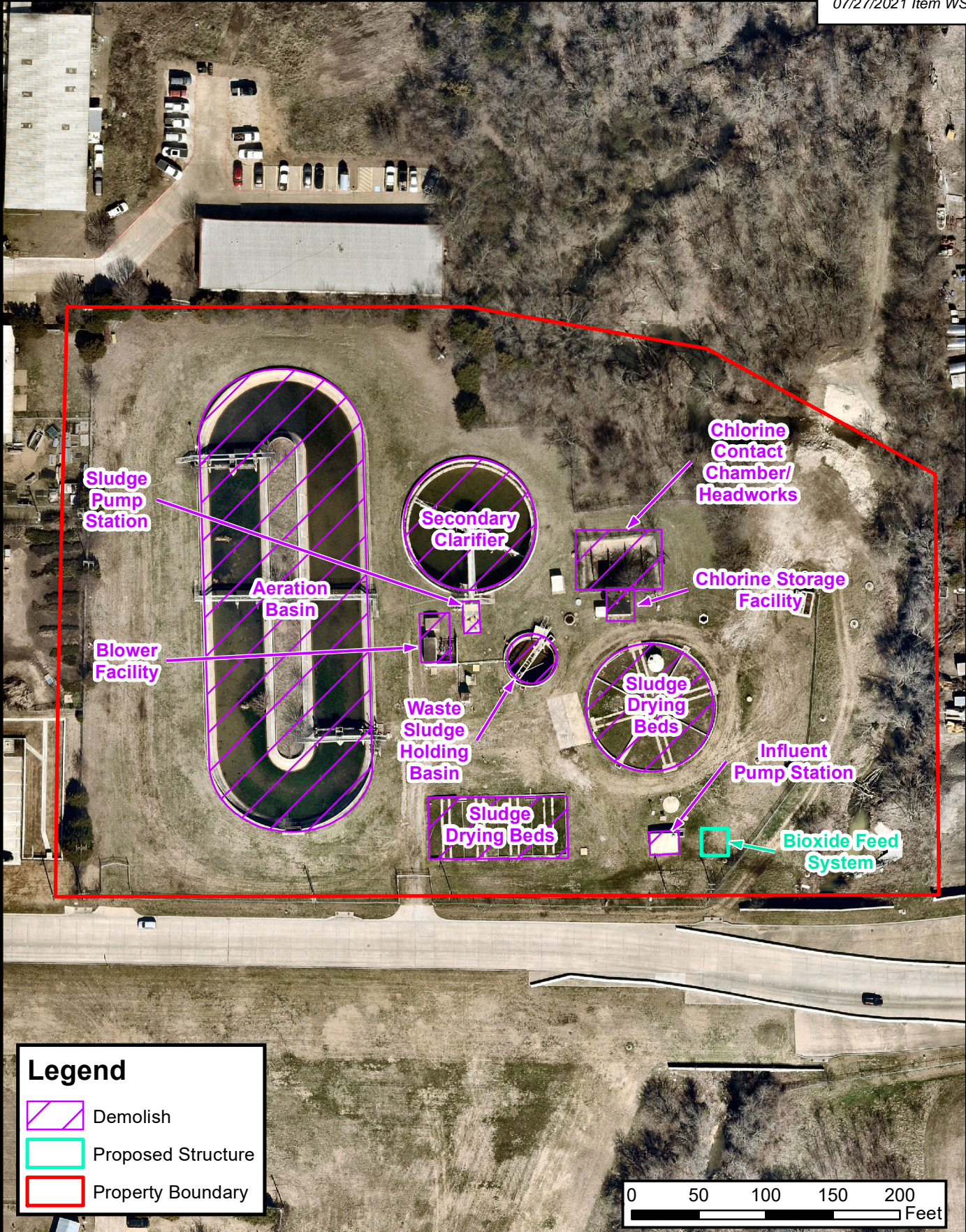
Demolition of Wylie WWTP - Option 1					
1	Demolition of Aeration Basin				
2	Remove Existing Mechanical Equipment	1	LS	\$ 15,000.00	\$ 15,000
3	Demo Concrete Structural Walls to 2' Below Grade	6421	SF	\$ 4.00	\$ 25,684
4	Fill Structure with Fill	6485	CY	\$ 25.00	\$ 162,125
5					
6	Demolition of Waste Sludge Holding Basin				
7	Remove Existing Mechanical Equipment	1	LS	\$ 5,000.00	\$ 5,000
8	Demo Concrete Structural Walls to 2' Below Grade	571	SF	\$ 7.50	\$ 4,283
9	Fill Structure with Fill	1075	CY	\$ 25.00	\$ 26,875
10					
11	Demolition of Secondary Clarifier				
12	Remove Existing Mechanical Equipment	1	LS	\$ 10,000.00	\$ 10,000
13	Demo Concrete Structural Walls to 2' Below Grade	1885	SF	\$ 7.50	\$ 14,138
14	Fill Structure with Fill	3686	CY	\$ 25.00	\$ 92,150
15					
16	Demolition of Chlorine Contact Chamber/Headworks				
17	Remove Existing Mechanical Equipment	1	LS	\$ 7,500.00	\$ 7,500
18	Demo Concrete Structural Walls to 2' Below Grade	3330	SF	\$ 4.00	\$ 13,320
19	Fill Structure with Fill	592	CY	\$ 25.00	\$ 14,800
SUBTOTAL				\$	390,874
CONTINGENCY				15%	\$ 58,631
SUBTOTAL				\$	449,505
MOBILIZATION				5%	\$ 22,475
SUBTOTAL				\$	471,980
OH&P				18%	\$ 84,956

PROJECT TOTAL (2021 COSTS)	\$ 556,937
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


The Engineer has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Engineer at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Engineer cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

NOTES:

- 1 FNI OPCC classified as an AACE Class 4 Estimate with accuracy range or -20 to + 30.
- 2 FNI OPCC does not include costs associated with engineering fees, permits, surveying, etc.



Legend

-  Demolish
-  Proposed Structure
-  Property Boundary

FREESE AND NICHOLS
5805 Main Street, Suite B
Frisco, Texas 75034
Phone - (972) 624-9201



City of Wylie Wastewater Treatment Plant

Demolition Option 2

FN JOB NO	WLE20563
FILE	Fig2_DemoOpt2.mxd
DATE	June 2021
SCALE	1:1,200
DESIGNED	MK
DRAFTED	MK

2

FIGURE



Innovative approaches
Practical results
Outstanding service

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT NAME	Wylie WWTP Demolition	DATE	6/8/2021
CLIENT	NTMWD	GROUP	1153
% SUBMITTAL	Conceptual	PM	Clayton Barnard

ESTIMATED BY	QC CHECKED BY	FNI PROJECT NUMBER
		WLE20563

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
------	-------------	----------	------	------------	-------

Demolition of Wylie WWTP - Option 2					
1	Demolition of Aeration Basin				
2	Remove Existing Mechanical Equipment	1	LS	\$ 15,000.00	\$ 15,000
3	Demo Concrete Structural Walls to 2' Below Grade	6421	SF	\$ 4.00	\$ 25,684
4	Fill Structure with Fill	6485	CY	\$ 25.00	\$ 162,125
5					
6	Demolition of Waste Sludge Holding Basin				
7	Remove Existing Mechanical Equipment	1	LS	\$ 5,000.00	\$ 5,000
8	Demo Concrete Structural Walls to 2' Below Grade	571	SF	\$ 7.50	\$ 4,283
9	Fill Structure with Fill	1075	CY	\$ 25.00	\$ 26,875
10					
11	Demolition of Secondary Clarifier				
12	Remove Existing Mechanical Equipment	1	LS	\$ 10,000.00	\$ 10,000
13	Demo Concrete Structural Walls to 2' Below Grade	1885	SF	\$ 7.50	\$ 14,138
14	Fill Structure with Fill	3686	CY	\$ 25.00	\$ 92,150
15					
16	Demolition of Chlorine Contact Chamber/Headworks				
17	Remove Existing Mechanical Equipment	1	LS	\$ 7,500.00	\$ 7,500
18	Demo Concrete Structural Walls to 2' Below Grade	3330	SF	\$ 4.00	\$ 13,320
19	Fill Structure with Fill	592	CY	\$ 25.00	\$ 14,800
20					
21	Demolition of Sludge Drying Beds				
22	Remove Existing Mechanical Equipment	1	LS	\$ 5,000.00	\$ 5,000
23	Demo Concrete Structural Walls to 2' Below Grade	11687	SF	\$ 4.00	\$ 46,748
24	Fill Structure with Fill	1200	CY	\$ 25.00	\$ 30,000
25					
26	Demolition of Sludge Pump Station				
27	Remove Existing Mechanical Equipment	1	LS	\$ 5,000.00	\$ 5,000
28	Demo Concrete Structural Walls to 2' Below Grade	680	SF	\$ 7.50	\$ 5,100
29	Fill Structure with Fill	151	CY	\$ 25.00	\$ 3,775
30					
31	Demolition of Influent Pump Station				
32	Remove Existing Mechanical Equipment	1	LS	\$ 10,000.00	\$ 10,000
33	Demo Concrete Structural Walls to 2' Below Grade	84	SF	\$ 7.50	\$ 630
34	Fill Structure with Fill	64	CY	\$ 25.00	\$ 1,600
35					
36	Demolition of Blower Facility				
37	Remove Existing Mechanical Equipment	1	LS	\$ 5,000.00	\$ 5,000
38	Demo Structure	480	SF	\$ 7.50	\$ 3,600
39	Demo Slab	480	SF	\$ 7.50	\$ 3,600
40					
41	Demolition of Chlorine Storage Facility				

PROJECT NAME	Wylie WWTP Demolition	DATE	6/8/2021
CLIENT	NTMWD	GROUP	1153
% SUBMITTAL	Conceptual	PM	Clayton Barnard

ESTIMATED BY	QC CHECKED BY	FNI PROJECT NUMBER
		WLE20563

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
------	-------------	----------	------	------------	-------

42	Remove Existing Mechanical Equipment	1	LS	\$ 1,500.00	\$ 1,500
43	Demo Structure	288	SF	\$ 7.50	\$ 2,160
44	Demo Slab	288	SF	\$ 7.50	\$ 2,160
45					
46	Bioxide Feed Chemical Containment				
47	Fiberglass Containment w/ Concrete Slab	400	SF	\$ 25.00	\$ 10,000
48	Chemical Injection Assembly	1	LS	\$ 65,000.00	\$ 65,000
49	Electrical Power Service	1	LS	\$ 25,000.00	\$ 25,000

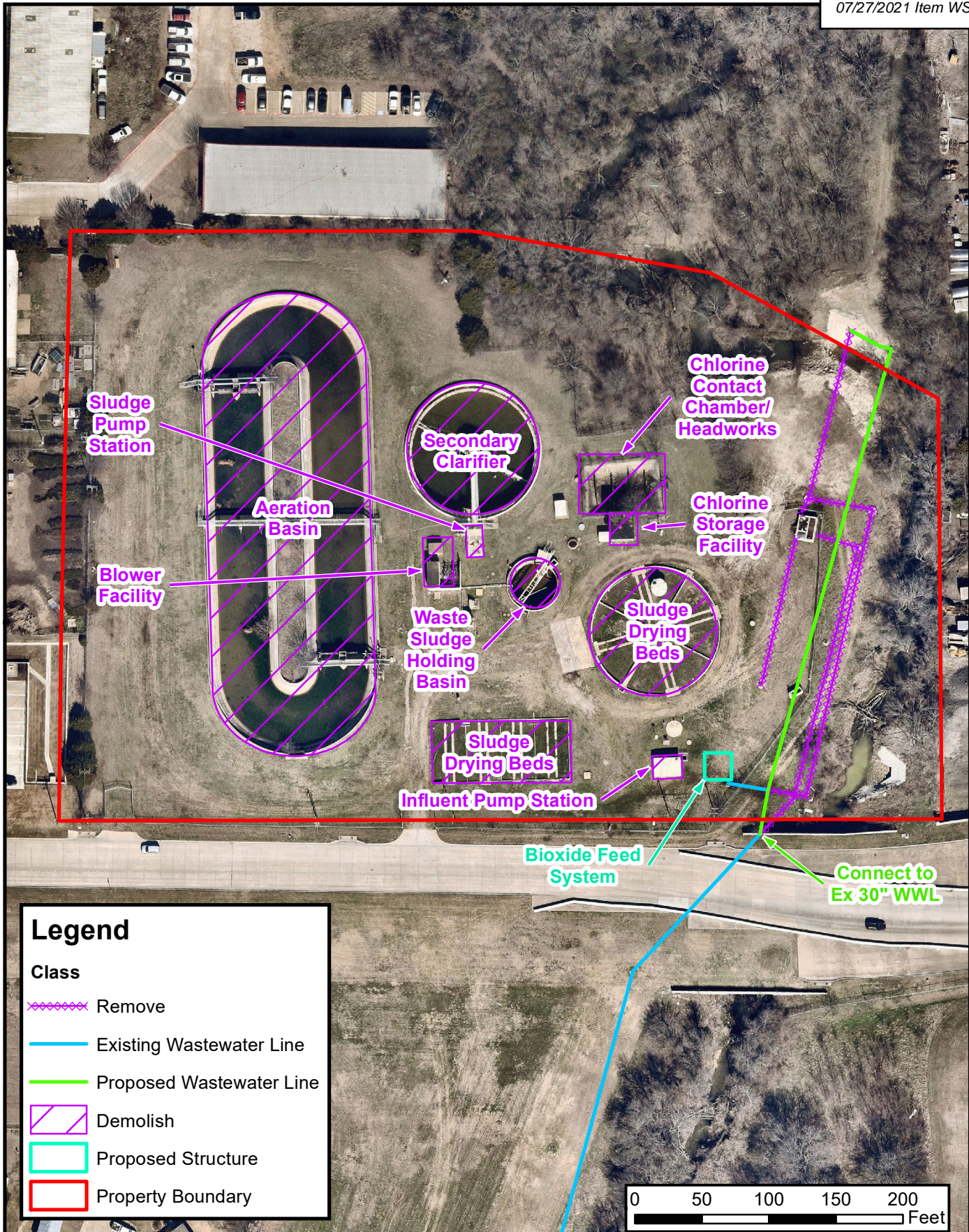
SUBTOTAL		\$ 616,747
CONTINGENCY	15%	\$ 92,512
SUBTOTAL		\$ 709,259
MOBILIZATION	5%	\$ 35,463
SUBTOTAL		\$ 744,722
OH&P	18%	\$ 134,050

PROJECT TOTAL (2021 COSTS)	\$ 878,772
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The Engineer has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Engineer at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Engineer cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.

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Legend

Class

- Remove
- Existing Wastewater Line
- Proposed Wastewater Line
- Demolish
- Proposed Structure
- Property Boundary



Innovative approaches
Practical results
Outstanding service

OPINION OF PROBABLE CONSTRUCTION COST

PROJECT NAME	Wylie WWTP Demolition	DATE	6/8/2021
CLIENT	NTMWD	GROUP	1153
% SUBMITTAL	Conceptual	PM	Clayton Barnard

ESTIMATED BY	QC CHECKED BY	FNI PROJECT NUMBER
		WLE20563

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
------	-------------	----------	------	------------	-------

Demolition of Wylie WWTP - Option 3					
1	Demolition of Aeration Basin				
2	Remove Existing Mechanical Equipment	1	LS	\$ 15,000.00	\$ 15,000
3	Demo Concrete Structural Walls to 2' Below Grade	6421	SF	\$ 4.00	\$ 25,684
4	Fill Structure with Fill	6485	CY	\$ 25.00	\$ 162,125
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PROJECT NAME	Wylie WWTP Demolition	DATE	6/8/2021
CLIENT	NTMWD	GROUP	1153
% SUBMITTAL	Conceptual	PM	Clayton Barnard

ESTIMATED BY	QC CHECKED BY	FNI PROJECT NUMBER
		WLE20563

ITEM	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL
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44	Demo Slab	288	SF	\$ 7.50	\$ 2,160
45					
46	Bioxide Feed Chemical Containment				
47	Fiberglass Containment w/ Concrete Slab	400	SF	\$ 25.00	\$ 10,000
48	Chemical Injection Assembly	1	LS	\$ 65,000.00	\$ 65,000
49	Electrical Power Service	1	LS	\$ 25,000.00	\$ 25,000
50					
51	Muddy Creek Interceptor Relocation				
52	Remove Existing Manholes	4	EA	\$ 1,500.00	\$ 6,000
53	Remove Existing Interceptor Lines	791	LF	\$ 10.00	\$ 7,910
54	30-Inch Interceptor	430	LF	\$ 250.00	\$ 107,500
55	5-Foot Diameter Manhole	4	EA	\$ 30,000.00	\$ 120,000

SUBTOTAL	\$ 858,157
CONTINGENCY 15%	\$ 128,724
SUBTOTAL	\$ 986,881
MOBILIZATION 5%	\$ 49,344
SUBTOTAL	\$ 1,036,225
OH&P 18%	\$ 186,520

PROJECT TOTAL (2021 COSTS)	\$ 1,222,745
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Wylie City Council

AGENDA REPORT

Department: City Manager
Prepared By: Chris Holsted

Account Code: _____

Subject

FY 2022 General Fund Budget Worksession.

Recommendation

Discussion

Financial Summary/Strategic Goals

Budget Work Session Fiscal Year 2021-2022

July 27, 2021

General Fund Summary

Audited General Fund Unassigned Ending Balance 09/30/20	\$ 21,914,768
Audited General Fund Assigned Ending Balance on 09/30/20	\$ -
Projected '21 Revenues	<u>49,938,348</u> a)
Available Funds	71,853,116
Projected '21 Expenditures	<u>(46,311,939)</u>
Estimated Ending Fund Balance 09/30/21	\$ 25,541,177
Estimated Beginning Fund Balance - 10/01/21	\$ 25,541,177
Proposed Revenues '22	48,540,720 b)
Proposed Expenditures '22	(43,767,024)
Recommended Requests (Recurring Expense)	(1,536,609)
New/Replacement Fleet & Equipment & One Time Uses	(1,561,740)
Health Insurance and Market Adjustment	<u>(1,675,347)</u>
Estimated Ending Fund Balance 09/30/22	\$ 25,541,177 (c)

a) Sales Tax is Oct - Apr actual collected plus a 5% increase on FY2020 May - Sep actuals.

b) Proposed revenues include estimated no new revenue rate and 2% growth on projected FY 2021 sales tax.

c) Fund balance is 53% of expenditures based on a balanced budget.

Healthcare and Market Adjustment

Healthcare 0% Increase

Market Adjustment	Amount
General Fund - General Government	\$ 409,971
Dispatch	\$ 160,159
Police	\$ 557,503
Fire	\$ 498,230
Total General Fund	\$ 1,625,863
4B Sales Tax Fund	\$ 148,912
Utility Fund	\$ 95,517
	<u>\$ 1,870,292</u>

Includes TMRS and Taxes

General Fund Estimated Balance FY 2021-2022

Est. 09/30/2022 Fund Balance	\$ 25,541,177 (a)		
	25%	30%	35%
Amount required based on FY 2022 balanced budget	\$ 12,135,180 (b)	\$ 14,562,216	\$ 16,989,252
Excess Fund Balance	\$ 13,405,997	\$ 10,978,961	\$ 8,551,925

(a) Based on balanced budget (Revenues = Expenditures). This Fund Balance is 53% of expenditures.

(b) It is the goal of the City to achieve and maintain an unassigned fund balance in the general fund equal to 25% of expenditures. The City considers a balance of less than 20% to be cause for concern, barring unusual or deliberate circumstances. If unassigned fund balance falls below the goal or has a deficiency, the City will appropriate funds in future budgets to replenish the fund balance based on a time table deemed adequate by the City Council. **Bond rating agencies prefer 30%.**

Utility Fund Summary

Audited General Fund Unassigned Ending Balance 09/30/20	\$ 13,179,709
Audited General Fund Assigned Ending Balance on 09/30/20	\$ -
Projected '21 Revenues	<u>23,962,830</u>
Available Funds	37,142,539
Projected '21 Expenditures	<u>(23,858,335)</u>
Estimated Ending Fund Balance 09/30/21	\$ 13,284,204
 Estimated Beginning Fund Balance - 10/01/21	 \$ 13,284,204
Proposed Revenues '22	25,170,434 a)
Proposed Expenditures '22	(20,844,570)
Recommended Requests (Recurring Expense)	0
New/Replacement Fleet & Equipment & One Time Uses	<u>(317,500)</u>
Estimated Ending Fund Balance 09/30/22	\$ 17,292,568 b)

a) Assumes 7.25% water rate increase and 2.75% sewer rate increase per the 2020 rate study.

b) Policy requirement is 90 days of operating expenditures. This ending fund balance is 298 days.

4B Sales Tax Fund Summary

Audited 4B Sales Tax Revenue Fund Ending Balance 09/30/20	\$ 3,529,938
Projected '21 Revenues	<u>4,232,103</u> a)
Available Funds	7,762,041
Projected '21 Expenditures	<u>(3,193,515)</u>
Estimated Ending Fund Balance 09/30/21	\$ 4,568,526
 Estimated Beginning Fund Balance - 10/01/21	 \$ 4,568,526
Proposed Revenues '22	4,361,416 b)
Proposed Expenditures '22	(3,566,990)
Recommended Requests (Recurring Expense)	(34,650)
Recommended Requests (One Time Uses and Equipment)	<u>\$ (432,200)</u>
Estimated Ending Fund Balance 09/30/22	\$ 4,896,102 c)

a) Sales Tax is Oct - Apr actual collected plus a 5% increase on FY2020 May - Sep actuals.

b) Total includes sales tax revenue and revenue from the Recreation Center.

c) Policy requirement is 25% of budgeted sales tax revenue (\$3,789,966 x 25% = \$947,492).

WEDC Fund Summary

Audited Wylie Economic Development Corp Ending Balance 09/30/20	\$ 1,735,327
Projected '21 Revenues	<u>3,904,938</u> a)
Available Funds	5,640,265
Projected '21 Expenditures	<u>(4,589,421)</u>
Estimated Ending Fund Balance 09/30/21	\$ 1,050,844
 Estimated Beginning Fund Balance - 10/01/21	 \$ 1,050,844
Proposed Revenues '22	6,529,322
Proposed Expenditures '22	<u>(5,231,219)</u>
Estimated Ending Fund Balance 09/30/22	\$ 2,348,947

a) Sales Tax is Oct - Apr actual collected plus a 5% increase on FY2020 May - Sep actuals.

Carry Forward Items from FY 2020-21

Fund	Dept.	Description	Amount
100	IT	Incode 10 Upgrade	23,000
100	IT	EnerGov Software	220,870
100	Fire	Replace Unit 119 Equipment	21,500
100	Fire	Replace Unit 102	55,000
100	Fire	Replace Unit 277	55,000
100	Streets	Stormwater Permit Assistance	903
100	Streets	Rowlett Creek Dam Site 4 Slope Improvements (construction)	110,000
100	Streets	Rowlett Creek Dam Site 4 Slope Improvements (design)	17,000
100	Streets	TXDOT HSIP Intersection Design Plans	85,000
100	Streets	10% Match of TXDOT HSIP Projects	182,000
100	Streets	Stone Road Rehab project	615,000
100	Streets	Country Club Signal Synchronization	47,380
TOTAL GENERAL FUND			1,432,653
112	Brown House	Winter Storm Repairs	34,250
121	Parks A&I	Twin Lakes Playground	62,419

133	Fire Development	BRW Design Costs	159,267
133	Fire Development	Emergency Services Consultant	55,000
TOTAL FIRE DEVELOPMENT			214,267
161	Hotel Occ	Brown House Phase 1 Ramp and Siding	70,500
161	Hotel Occ	Old City Park Marquis sign	70,200
TOTAL HOTEL OCCUPANCY FUND			140,700
611	Utility Admin	EnerGov Software	150,300
611	Utility Admin	Woodbridge/Hensley Signal Design	31,750
611	Utility Admin	Eubanks ROW Acquisition (Design)	30,000
611	Utility Admin	Security System Upgrade	20,000
611	Water	Pump Station Backup Power Generators	531,000
611	Water	Water Pump Station Backup Power Generators	1,300,000
611	Water	FM 2514 Waterline Relocation Construction Design	16,000
611	Water	FM 2514 Waterline Relocation Construction	625,000
611	Water	AWIA Resilience Plan	30,000
611	Wastewater	Wastewater Treatment Plant Decommissioning Design	23,960
TOTAL UTILITY FUND			2,758,010

Highlighted projects are in process.



Wylie City Council

AGENDA REPORT

Department: Planning
 Prepared By: Renae' Ollie

Account Code: _____

Subject

Discuss the boundaries of the Downtown Historic District.

Recommendation

Discussion

The current boundaries of the Downtown Historic District are generally bounded by State Highway 78 on the south, Cottonbelt Avenue on the west, from Elliot Street to Brown Street, and including property north of Brown Street on Keefer, and to the eastern property line of those lots facing west on Second Street from Brown Street to the north and Marble Street to the south, and those properties north of Brown Street along Ballard Avenue facing east and continuing north to Tract 4 of the Samuel B. Shelby Abstract and approximately 100 feet of frontage of those lots facing west and continuing north parallel to Ballard Avenue and encompassing all of Block 1, Lot 5 of the Russell #01 Addition and Block 1, Tract 49 of the James Truett Abstract, with properties west of Keefer being restricted to residential uses only (Exhibit A).

Possible amendments to the boundary include:

The southwest corner of SH 78 and Brown Street, currently zoned Corridor Commercial, which would require all new development in this area to conform to the DTH development standards;

The northside of Brown Street along Keefer, currently zoned DTH, residential only, which would allow commercial uses in existing structures similar to other area of the DTH.

Financial Summary/Strategic Goals

Ties in with the City's mission statement: Honoring our past; Embracing our present; Planning our Future.

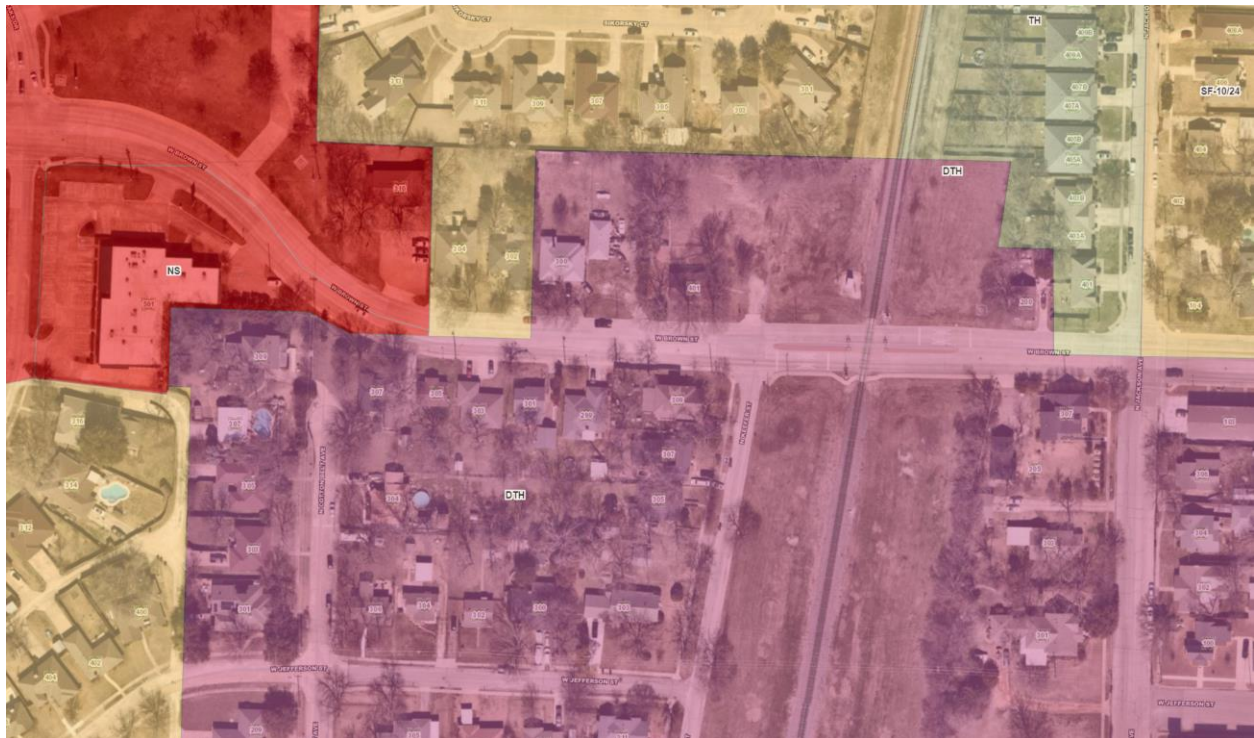
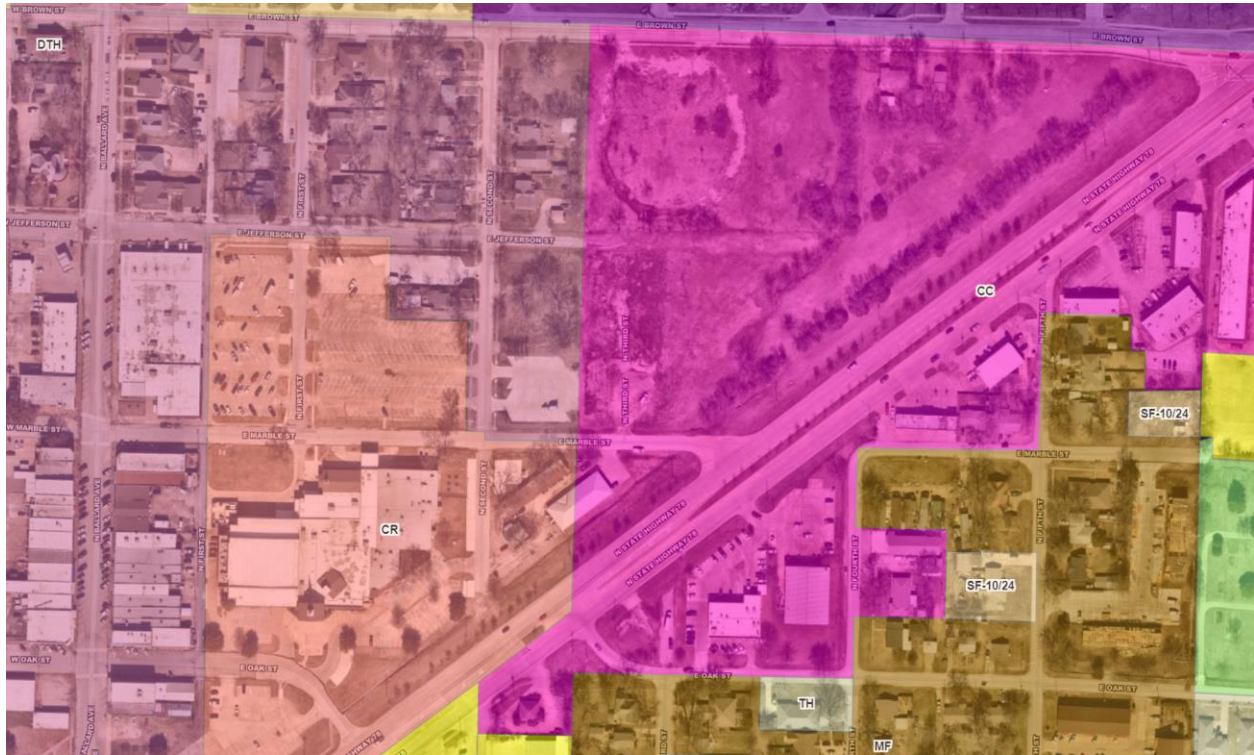
Meets the following Strategic Goals:

Economic Growth: Support and grow our local economy

Workforce: Provide an environment that supports engaged, high performing employees.

Exhibit “A”

Areas of Discussion





Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Discuss a potential change of zoning to amend Planned Development 2012-03 (PD 2012-03) to allow for Senior Affordable Housing, generally located southwest of 2300 W FM 544 (Wylie Medical Plaza).

Recommendation

Discussion

Property owners and developers are seeking Councilmember input on a potential planned development amendment on approximately 15.5 acres on the south side of FM 544 adjacent to the Medical Center.

The current proposal includes an age restricted, income adjusted apartment facility with various amenities including a walking trail, swimming pool, and various gathering areas.

Financial Summary/Strategic Goals



Wylie Council Work Session: Roers Senior Housing



BUILDING COMMUNITIES

Roers Companies is recognized for its vision, track record, passion, and investor loyalty. We are institutionally minded specialists with a passion for excellence and an unwavering commitment to quality and integrity.

Founded in 2012, Roers Cos. quickly rose to prominence in the Midwest market through our proven ability to facilitate a diverse portfolio of projects in various stages of development.

Today, our portfolio contains student apartments, senior housing, market-rate communities, affordable apartments, and mixed-use developments. In 2021 and beyond, Roers intends to expand into new cities and states as well as new product types such as workforce housing and active 55+ rentals.



Company History

44

Properties Completed or
Underway

5,400+

Units Completed or in
Development

\$835M

Construction Completed

Affordable Housing – What is it?

- Originally done under Section 8 of the IRS Tax Code
 - Resident subsidized
 - Residents pay 30% of their income and then HUD pays the difference for the contract rent
- Today's affordable housing is governed by Section 42 of the IRS Tax Code created under the Tax Reform Act of 1986
 - Developer subsidized
 - Income based housing with rents determined by HUD annually
- Two types of tax credits under Section 42:
 - 4% Non-Competitive
 - 9% Competitive

Who can Qualify for 60% AMI Units?

Unit Type	Estimated Rent	Income Limit
1 Bedroom	\$1,001	\$42,720
2 Bedroom	\$1,201	\$48,060

Affordable Independent Living – Benefits to Wylie

- Gives Seniors access to Safe and Affordable housing
- Maintains and Enhances Housing Quality and Diversity
- Promotes Generational Housing
- Provides a Community to allow individuals to Age in Place
- Enhances and Strengthens Wylie's small-town sense of community by keeping Citizens there



Preliminary Site Plan



Unit Mix

Studios – 31

1 Bedroom – 94

2 Bedroom – 90

Total - 215

Senior Project Examples



ROERS
COMPANIES



Community Amenities

- Walking Trails
- Central Amenity Area with:
 - Clubroom
 - Fitness Center
 - On-Site Management Offices
 - Pool
 - Community Room





Proposed Amenities

Outdoor Pool
Fire Pit
Yoga Area
Nature Trail
Fitness Center
Theatre
Salon



Unit Finishes

- Solid Surface Countertops
- Stainless Steel Appliances
- Resilient Flooring and Carpet
- In-Unit Washer and Dryer
- Energy Efficient Lighting
- Patios/Balconies





ROERS
COMPANIES