

Wylie Planning and Zoning Commission Regular Meeting

August 18, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon the approval of the meeting minutes from the August 04, 2026, Planning and Zoning Commission Meeting.

REGULAR AGENDA

1. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Agricultural and Commercial Corridor (AG & CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 25.484 acres to allow for a wholesale retail development with minor automobile repair for tire & battery services and a motor vehicle fueling station use on Lot 1, Block A of WEDC Retail Addition and Commercial Corridor development on Lot 2, Block A of WEDC Retail Addition. Property generally located at 2002 W FM 544. (ZC 2026-10).

WORK SESSION

- WS1. Hold a work session to discuss the rezoning of property generally located at 1751 McMillen Road.

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on August 12, 2026, at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Gabby Fernandez

Subject

Consider and act upon the approval of the meeting minutes from the August 04, 2026, Planning and Zoning Commission meeting.

Recommendation

Motion to approve the item as presented.

Discussion

The minutes from the August 04, 2026, Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

August 04, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Harold Gouge called the meeting to order at 6:00 PM. In attendance were Chair Harold Gouge, Commissioner Zeb Black, Commissioner Michael Schwerin, Commissioner Daniel Marengo, and Commissioner Zewge Kagnew. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent were Vice-Chair Joe Chandler and Commissioner Joshua Butler.

INVOCATION & PLEDGE OF ALLEGIANCE

Commissioner Marengo gave the Invocation, and Commissioner Black led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

None approached the Commission.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. **Consider and act upon the approval of the meeting minutes from the July 21, 2026, Planning and Zoning Commission Meeting.**
- B. **Consider and act upon a recommendation to City Council regarding a Replat being a Final Plat for Lot 2R1, 2R-2 and 3R-1, Block A of Sanden Addition, establishing three lots on 56.67 acres, located at 701 Sanden Boulevard.**
- C. **Consider, and act upon, a recommendation to the City Council regarding a Preliminary Plat of Lot 1 & 2 Block A of Wylie EDC Retail creating two commercial lots on 25.484 acres, located at 2002 W FM 544.**

BOARD ACTION

A motion was made by Commissioner Black, seconded by Commissioner Kagnew, to approve the Consent Agenda as presented. A vote was taken, and the motion passed 5 – 0.

REGULAR AGENDA

1. Consider, and act upon, a Site Plan for Lot 2R-1, 2R-2, and 3R-1 Block A of Sanden Addition for the development of a multi-building flex space commercial/light industrial development. Property generally located on 56.67 acres at 701 Sanden Boulevard.

BOARD ACTION

A motion was made by Commissioner Schwerin and seconded by Commissioner Black to approve Regular Agenda item 1 as presented. A vote was taken and carried 5-0.

2. Consider, and act upon, a site plan amendment for Harvest City Church, being on Lot 1, Block A of Gateway Community Church Addition, for a church/house of worship expansion for educational services. Property located at 2201 Country Club Road.

BOARD ACTION

A motion was made by Commissioner Schwerin and seconded by Commissioner Marengo to approve Regular Agenda item 2 as presented. A vote was taken and carried 5-0.

ADJOURNMENT

A motion was made by Commissioner Marengo and seconded by Commissioner Black to adjourn the meeting at 6:15 PM. A vote was taken and carried 5-0.

Harold Gouge, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 1

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Agricultural and Commercial Corridor (AG & CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 25.484 acres to allow for a wholesale retail development with minor automobile repair for tire & battery services with a motor vehicle fueling station use on Lot 1, Block A of WEDC Retail and Commercial Corridor development on Lot 2, Block A of WEDC Retail. Property generally located at 2002 W FM 544. **(ZC 2026-10)**.

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: Wylie Economic Development Corporation

APPLICANT: Winkelmann & Associates, Inc.

The applicant is requesting a change in zoning from Agricultural and Commercial Corridor to Commercial Corridor - Special Use Permit (CC-SUP) on 25.484 acres on Lot 1 Block A of Wylie EDC Retail and Commercial Corridor (CC) on 1.098 acres on lot 2, Block A of Wylie EDC Retail as depicted on the Zoning Exhibit. The property is generally located at 2002 W FM 544.

The purpose for the Special Use Permit (SUP) on Lot 1 is to allow for the development of a 165,000 sf public wholesale development with minor automobile repair for tire & battery services and for the development of a motor vehicle fueling station. The Special Use permit shall not apply to Lot 2. Lot 2 shall be allowed all permitted uses within the Commercial Corridor zoning district and has no development plans at this time.

The development for Lot 1 provides a fire lane that loops around both the main structure and around the fueling canopy with access to W FM 544 and S Westgate Way. A total of 894 parking spaces with 19 being handicapped accessible are proposed. The vehicular access and parking provided are in compliance with the requirements of the zoning ordinance.

The site provides 212,536 sq.ft. of landscaping which is in compliance with the 20% minimum landscaping requirement. The landscape plan includes tree plantings along the street frontage of FM 544 and Westgate Way, along the parking areas and along the property boundaries. The Special Use Permit allows for the use of synthetic turf and rock. A meandering sidewalk shall also be provided along FM 544 and Westgate Way. The development contains a detention pond for storm water management located on the northeast corner of the site.

The structure's exterior material consists of metal panels with CMU masonry smooth elements. The elevations provide architectural variation with the use of projecting exterior elements and the use of a large canopy along the main entrance.

If approved, the zoning exhibit shall serve as the site plan for the wholesale retail development. The preliminary plat for this development was recommended for approval by the Planning and Zoning Commission at the August 04, 2026 meeting and will be presented to City Council at the August 25, 2026 meeting.

As presented, this Zoning Exhibit is in compliance with the design requirements of the Zoning Ordinance and of the Special Use Permit conditions document. Approval of the site development is subject to additions and alterations as required by the City Engineering Department.

The property to the east is zoned commercial and contains a minor auto repair use, office use and major auto repair use. The property to the west is undeveloped and zoned Commercial Corridor. The property to the south contains two commercial retail lots and light industrial development. The property to the north contains a railroad and the Creek Hollow residential subdivision.

The site is located in the Regional Commercial sector and within a Special Planning Area #1 of the future land use map and is consistent with the existing surrounding development and land use classification of the comprehensive plan.

Notices were sent to forty-four property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor nor in opposition of the request.

Locator Map



ZONING CASE:

ZC 2026-10 off the northwest corner of
West FM 544 and South Westgate Way



SUBJECT property



Wylie City Limit

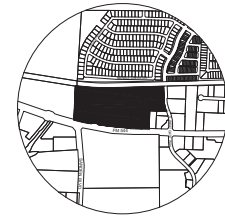
0 0.1 0.2 0.3 0.4 0.5 Miles



Date: 7/24/2026

COMPILED BY: G STAFFORD





VICINITY MAP
NOT TO SCALE

SITE INFORMATION:

PROJECT ADDRESS:
FM 544, WYLIE, TX 75098

ZONING:
CC-SUP

SITE AREA LOT 1:
24.386 ACRES

ZONING REQUIREMENTS FOR SETBACKS:
FRONT: 25FT
SIDE: 10FT
REAR: 10FT

PROPOSED BUILDING AREA:
165,000 SQFT

PROPOSED PARKING DATA:
10' WIDE STALLS: 875 STALLS
ACCESSIBLE STALLS: 19 STALLS
TOTAL: 894 STALLS

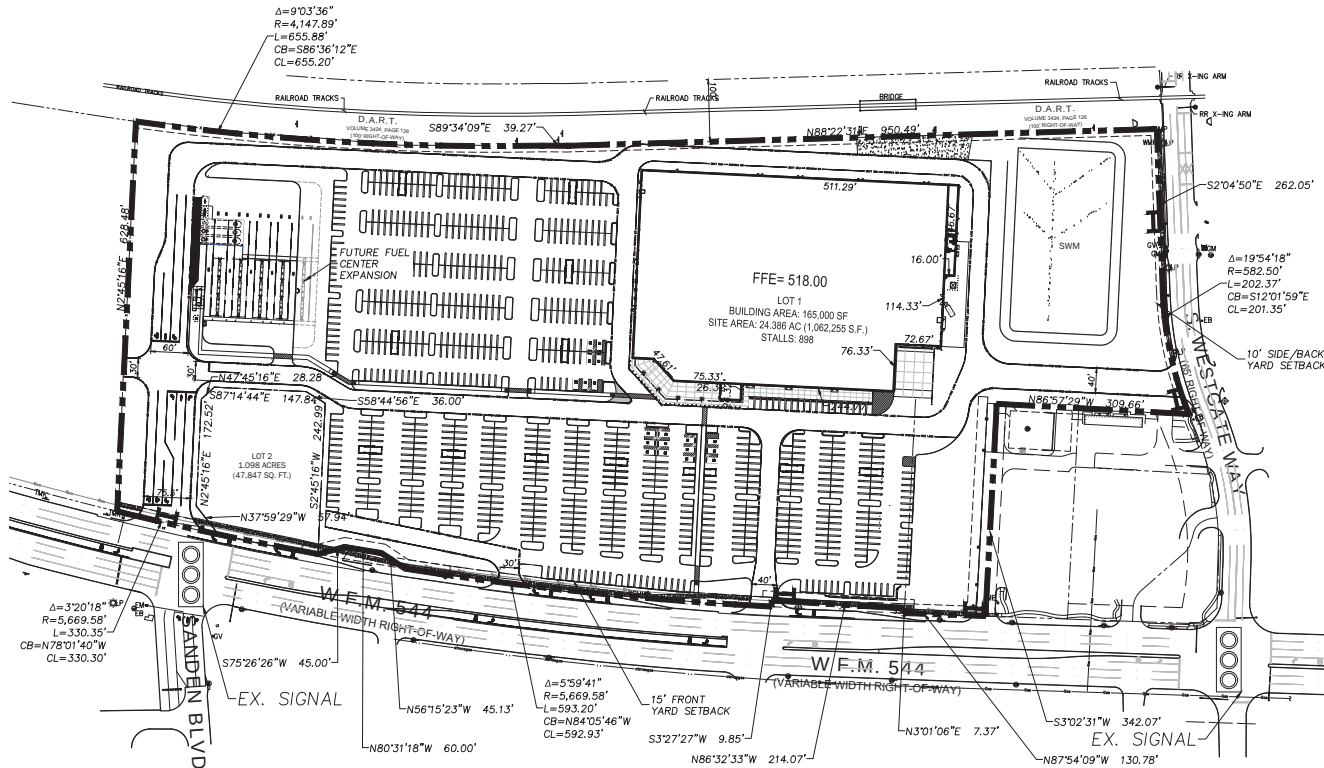
PARKING RATIO PER 1,000 SQFT BLDG:
5.32 STALLS

BUILDING INFORMATION
BUILDING HEIGHT - 29' 6"
STORIES - 1
MATERIAL: IC72 METAL PANEL, MASONRY,
CAST-IN-PLACE CONCRETE

DEVELOPMENT SCHEDULE

CLOSING DATE: 09/29/26
START GRADING: 11/09/26
START BUILDING: 03/29/27
OPENING DATE: 08/06/27

SITE COVERAGE IS APPROXIMATELY 70%
THE SITE IS NOT WITHIN ANY FEMA FLOOD AREA



ENGINEER/SURVEYOR
WINKELMANN & ASSOCIATES, INC
6750 HILLCREST PLAZA DR. STE. 215
DALLAS, TEXAS 75230
972-490-9070

ARCHITECT
WARE MALCOMB
3090 NOWITZKI DRIVE, SUITE 300
DALLAS, TEXAS 75219
281-954-2514 X1714

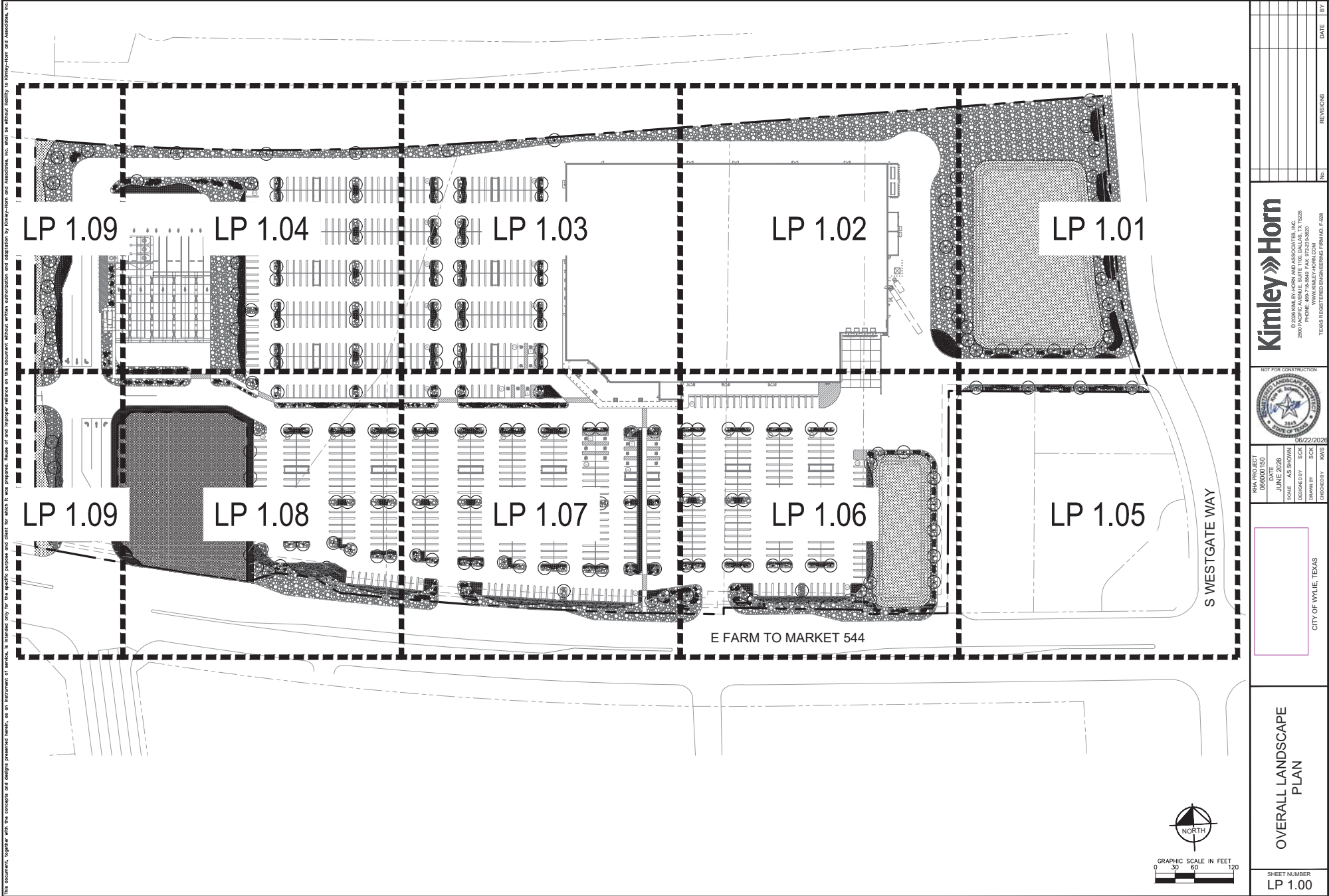
OWNER
WYLIE ECONOMIC DEVELOPMENT CORPORATION
250 SOUTH HWY 78
WYLIE, TEXAS 75098
972-442-7901

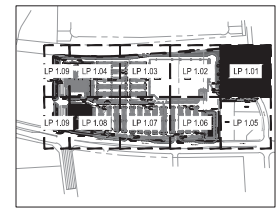


SITE PLAN
NWC W FM544 & S WESTGATE WAY
WYLIE, TX 75098

SP-01

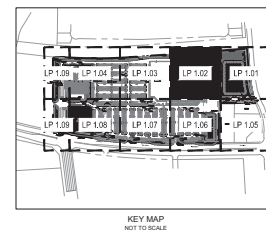
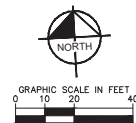
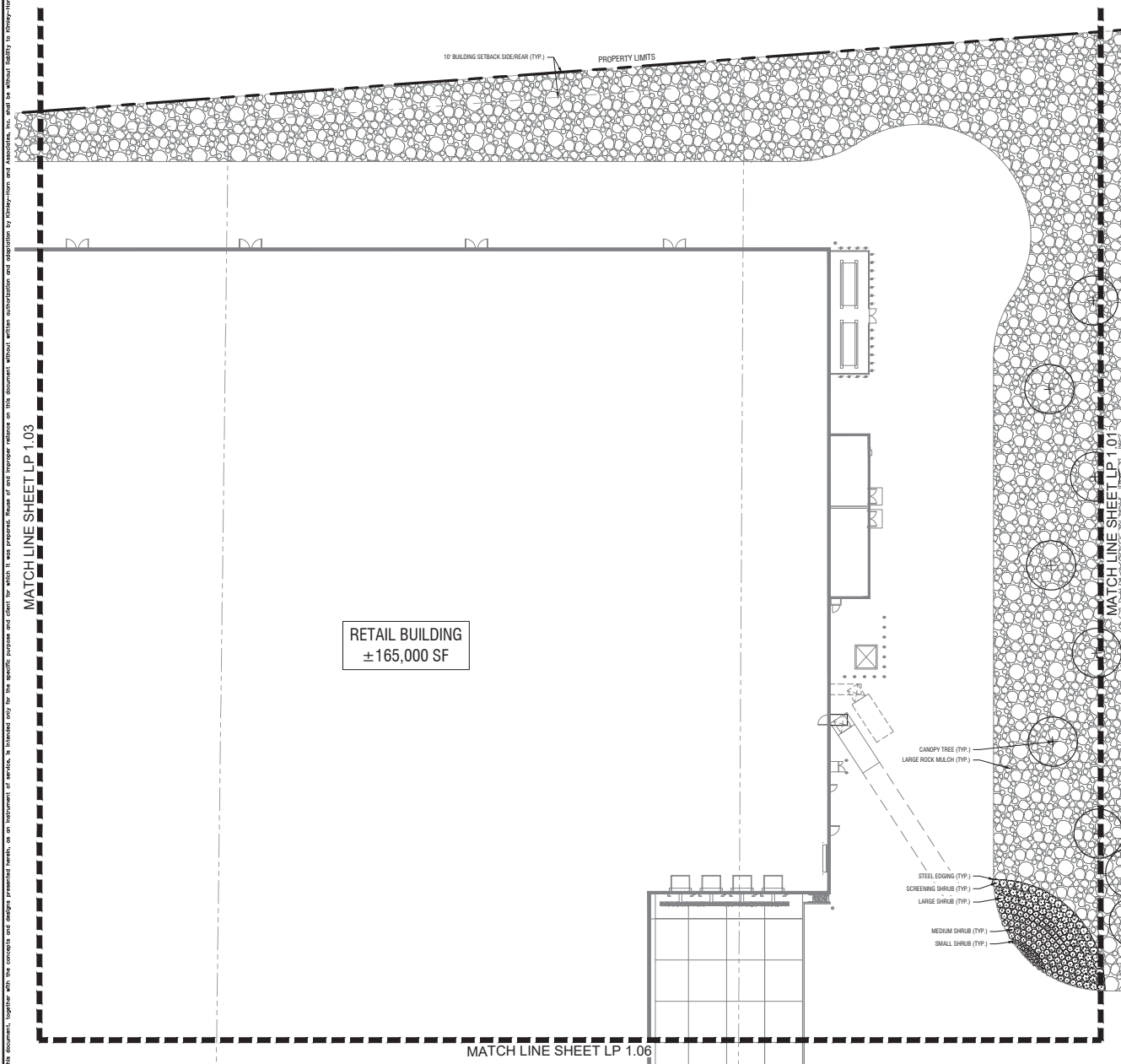
No.	DATE	REVISION	APPROVAL
1.	07/15/2026	REVISION TO SITE PLAN	WH
2.			
3.			
4.			
5.			
6.			





City of Wylie, TX - Landscape Data Table		TOTAL 24.39 AC (1,062,682 sq ft) - ZONED CC	
City of Wylie - Development Code		REQUIRED	PROVIDED
Section 4.3 - Nonresidential Design Standards			
<u>Landscape in Required Parks (Base Standard)</u>			
(1) At least Twenty (20) percent of the site shall be landscaped.		212,536 SF	212,536 SF
1.062 682 SF * 20% = 227,156 SF			
2) Landscaping is required in the front yard.	Yes	Yes	Yes
3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes	Yes
<u>Landscape in Required Yards (Desirable Design Attribute)</u>			
Landscaping in side and rear yard not otherwise required.	Yes	Yes	Yes
<u>Landscape in Parking Lots (Base Standard)</u>			
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		44,300 SF	65,265 SF
696.528 " 50 SF " = 44,300 SF			
(2) No Parking space shall be further than thirty (30) feet from a landscaped area on the site.	Yes	Yes	Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces	Yes	Yes	Yes
<u>Landscape of Parking Lots (Desirable Design Attribute)</u>			
(1) Parking lots with no space further than forty (40) feet from a landscaped area	Yes	Yes	Yes
(2) Landscaping provides connection to main entrance.	Yes	Yes	Yes
<u>Visual Screening (Base Standard)</u>			
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include or flowering tree for every twenty (20) linear feet of area.	Yes	Yes	Yes
<u>Landscape of Street Frontages (Base Standard)</u>			
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer	
E Form to Market 544 12 440 27 " 50% = 6,220 14 SF		6,220 SF	7,451 SF
(2) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer	
S Westgate Way: 4 130 81 " 50% = 2,065 41 SF		2,065 SF	3,096 SF
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet for forty (40) feet.	12 Trees	12 Trees	
S Westgate Way: 409 6 LF / 35 LF = 11.7 Trees			
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet for forty (40) feet.	24 Trees	24 Trees	
E Form to Market 544 1 009 54 LF / 35 LF = 25.24 Trees			
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway	
<u>Landscaping of Street Frontages (Desirable Design Attribute)</u>			
(1) Use of rock walls or other natural landscape features.	Yes	Yes	Yes

PLANT SCHEDULE			NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTANCE SEE SHEET L 2.00 FOR FULL PLANT SCHEDULE		
<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
TREES					
	CT	CANOPY TREE / CANOPY TREE	GROUND COVERS		
				RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
				SEED2	OUT PARCEL SEED
				SEED1	HYDROSEED
SHRUBS					
	AS	SMALL SHRUB		SOD	SOD
	MS	MEDIUM SHRUB		AT	ARTIFICIAL TURF
	SS	SCREENING SHRUB			
	LS	LARGE SHRUB		SE	STEEL EDDING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER



City of Wylie, TX - Landscape Data Table	REQUIRED	PROVIDED
Table 24.39 AC (1,062,682 sq.) - ZONED CC		
City of Wylie - Development Code		
Section 4.3 - Necessitated Design Standards		
<i>Landscape in Required Yards (Base Standard)</i>		
(1) At Least twenty (20) percent of the site shall be landscaped.	212,536 SF	212,536 SF
1,062,682 SF *20% = 212,536 SF		
(2) Landscaping is required in the front yard.	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes
<i>Landscape in Required Yards (Desirable Design Attribute)</i>		
(2) Landscaping in side and rear yard not otherwise required.	Yes	Yes
<i>Landscape of Parking Lots (Base Standard)</i>		
(1) All site plans with landscaping parking more than twelve (12) spaces are required to have 50 square feet (50') of landscaped area for each parking space.	44,300 SF	65,285 SF
886,584 SF * 50 SF = 44,300 SF		
(2) No parking space shall be further than sixty (60) feet from a landscaped area on site.	Yes	Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.	Yes	Yes
<i>Landscape of Parking Lots (Desirable Design Attribute)</i>		
(2) Parking lots with no space further than forty (40) feet from a landscaped area.	Yes	Yes
(3) Landscaping preferential consideration to main entrance.	Yes	Yes
<i>Visual Screening (Base Standard)</i>		
(1) Required screening in strip at least (3) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of area.	Yes	Yes
<i>Landscaping of Street Frontages (Base Standard)</i>		
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer
E Farm to Market 544, 12,440.27 * 50% = 6,220.14 SF	6,220 SF	7,481 SF
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer
5 Westgate Way, 4,130.81 * 50% = 2,065.41 SF	2,065 SF	3,096 SF
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees
5 Westgate Way, 409.6 LF / 35 LF = 11.7 Trees		
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	24 Trees	24 Trees
E Farm to Market 544, 1,009.54 LF / 40 LF = 25.24 Trees		
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum landscaping (provide public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway
<i>Landscape of Street Frontages (Desirable Design Attribute)</i>		
	Yes	Yes

PLANT SCHEDULE			NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES			GROUND COVER		
	CT	CANOPY TREE / CANOPY TREE		RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
	AS	SMALL SHRUB		SE02	OUT PARCEL SEED
	MS	MEDIUM SHRUB		SE01	HYDROSEED
	SS	SCREENING SHRUB		S00	SOD
	LS	LARGE SHRUB		AT	ARTIFICIAL TURF
				SE	STEEL EDGING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER

Kimley»Horn
© 2020 KIMLEY HORN AND ASSOCIATES, INC.
2500 PACIFIC AVENUE, SUITE 1100, DALLAS, TX 75226
PHONE: 469-716-8649 FAX: 972-231-3820
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM NO. F-628



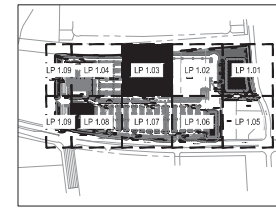
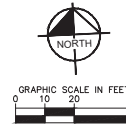
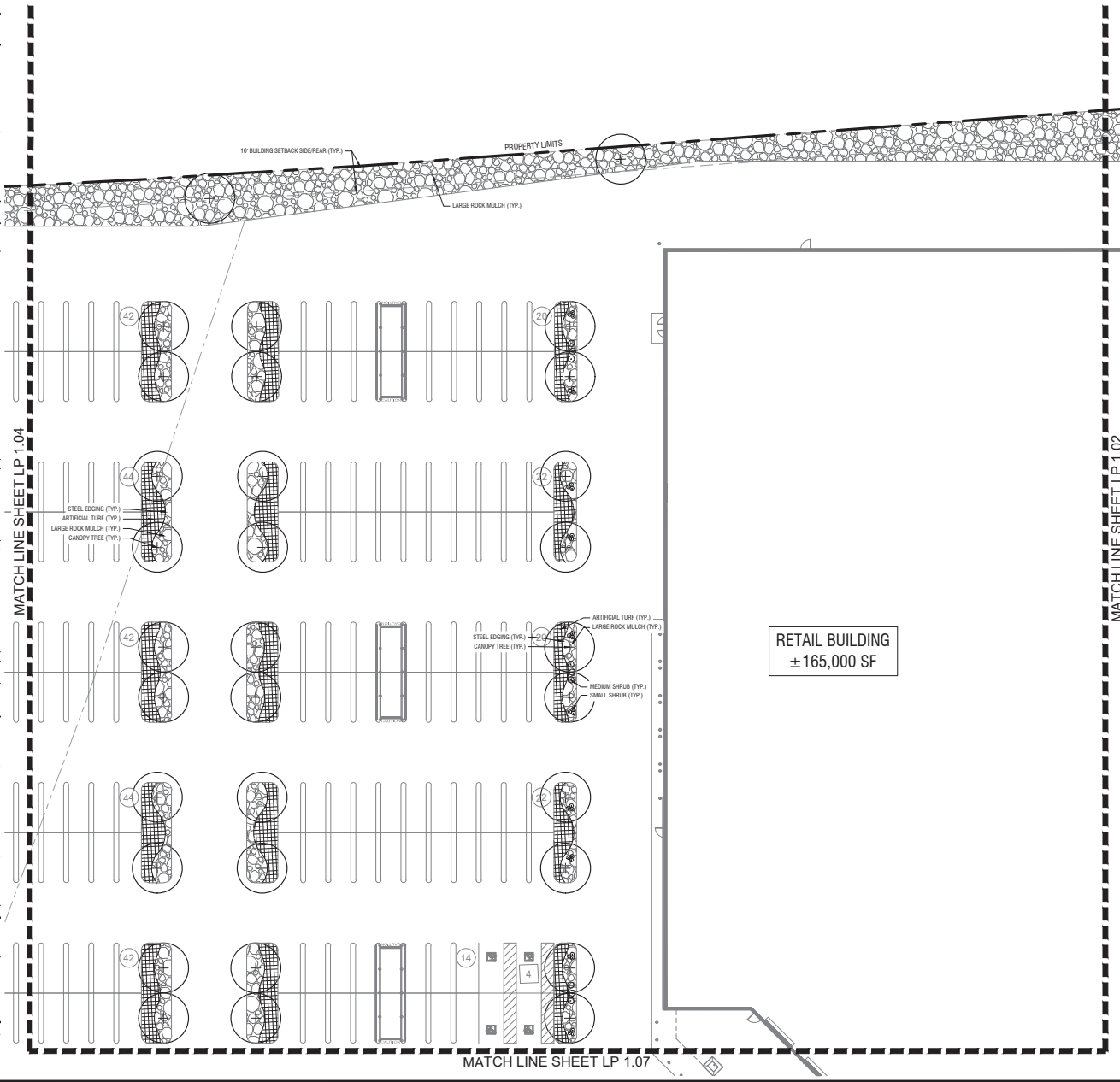
KHA PROJECT	DATE	SCALE	AS SHOWN
06600150	JUNE 2026	DESIGNED BY	SCK
		DRAWN BY	SCK
		CHECKED BY	KWS

CITY OF WYLIE, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.02

This document, together with the contract and design presented herein, is an instrument of service, to be used only for the specific purpose and client for which it was prepared. Plans of and property reduce on this document without authorization and reproduction by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



City of Wylie, TX - Landscape Data Table		
TOTAL: 24.39 AC (1,062,682 SF) - ZONED CC		
	REQUIRED	PROVIDED
City of Wylie - Development Code		
Section 4.3 - Nonresidential Design Standards		
Landscaping in Required Yards (Base Standard)		
(1) At least twenty (20) percent of the site shall be landscaped.		
1,062,682 SF * 20% = 212,536 SF	212,536 SF	212,536 SF
(2) Landscaping is required in the front yard.	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes
Landscaping in Required Yards (Desirable Design Attribute)		
(2) Landscaping in side and rear yards is not otherwise required.	Yes	Yes
Landscaping of Parking Lots (Base Standard)		
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		
44,300 SF * 50 SF = 44,300 SF	44,300 SF	65,285 SF
(2) No parking space shall be further than sixty (60) feet from a landscaped area on site.	Yes	Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.	Yes	Yes
Landscaping of Parking Lots (Desirable Design Attribute)		
(2) Parking lots with no space further than forty (40) feet from a landscaped area.	Yes	Yes
(3) Landscaped pedestrian connection to main entrance.	Yes	Yes
Visual Screening (Base Standard)		
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of front.	Yes	Yes
Landscaping of Street Frontages (Base Standard)		
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer
E Farm to Market 544: 12,440.27 * 50% = 6,220.14 SF	6,220 SF	7,451 SF
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(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees
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(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	24 Trees	24 Trees
E Farm to Market 544: 1,009.54 LF / 40 LF = 25.24 Trees		
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway
Landscaping of Street Frontages (Desirable Design Attribute)		
(1) Use of rock walls or other natural landscape features.	Yes	Yes

PLANT SCHEDULE			SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE	GROUND COVERS		
				RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
SHRUBS					
	AS	SMALL SHRUB		SEED2	OUT PARCEL SEED
	MS	MEDIUM SHRUB		SEED1	HYDRANGEA
	SS	SCREENING SHRUB		SOD	SOD
	LS	LARGE SHRUB		AT	ARTIFICIAL TURF
				SE	STEEL EDGING
				L81	LARGE LANDSCAPE BOULDER
				L82	SMALL LANDSCAPE BOULDER

PROJECT NO. 2026-001

DATE: JUNE 2026

SCALE: AS SHOWN

DRAWN BY: SCA

CHECKED BY: WVS

06/22/2026

Kimley»Horn

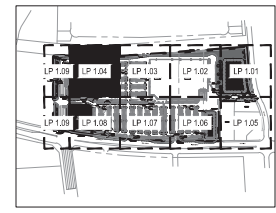
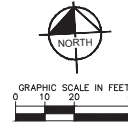
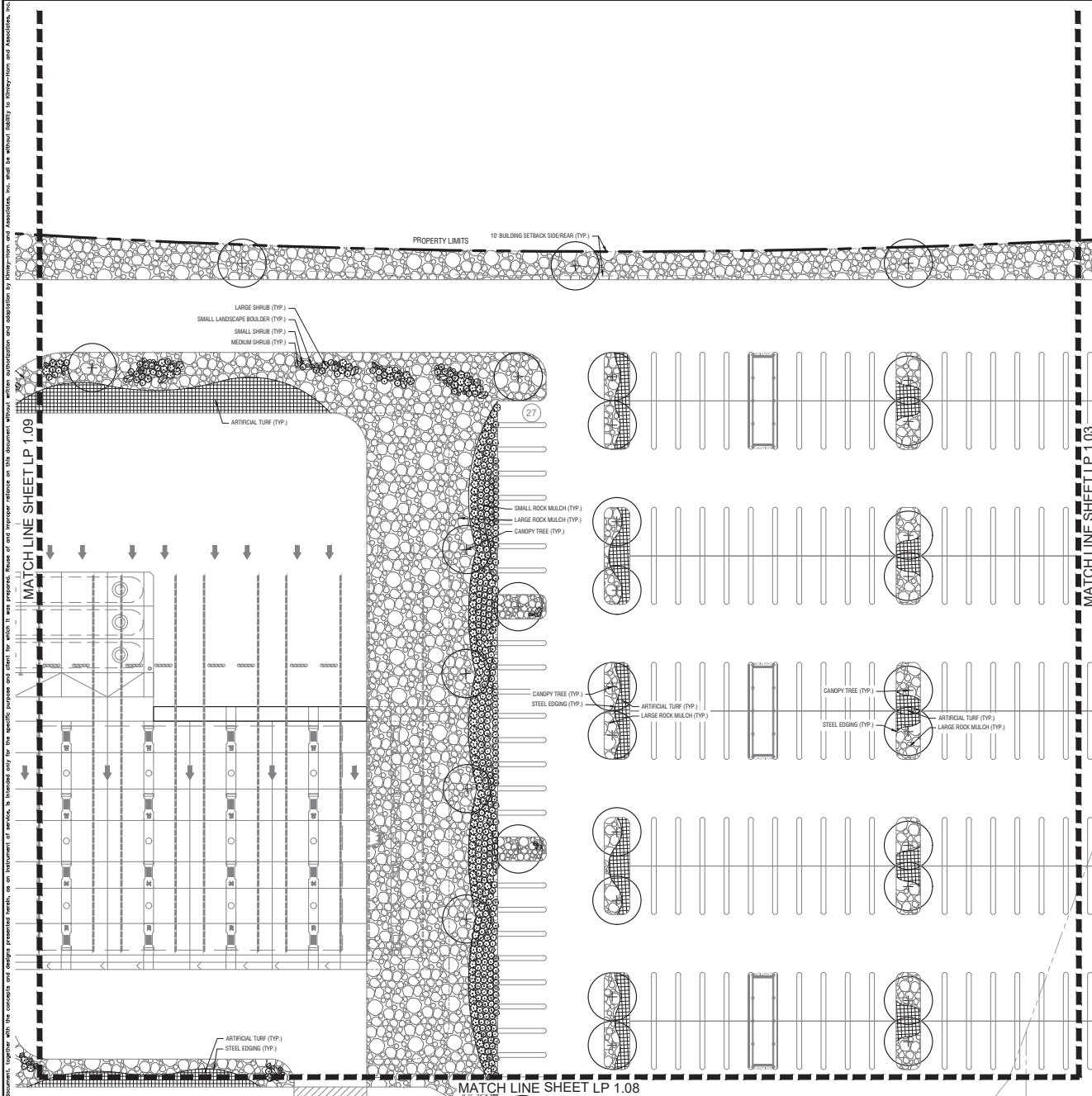
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2500 PACIFIC AVENUE, SUITE 1100 DALLAS, TX 75201
PH: 214.643.8800
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TEXAS REGISTERED ENGINEERS FIRM NO. F-608

CITY OF WYLIE, TEXAS

LANDSCAPE PLAN

SHEET NUMBER

LP 1.03



City of Wylie, TX - Landscape Data Table		
TOTAL: 24.39 AC (1,062,682 SF) - ZONED CC		
	REQUIRED	PROVIDED
City of Wylie - Development Code		
Section 4.3 - Nonresidential Design Standards		
Landscaping in Required Yards (Base Standard)		
(1) At Least twenty (20) percent of the site shall be landscaped.		
1,062,682 SF * 20% = 212,536 SF	212,536 SF	212,536 SF
(2) Landscaping is required in the front yard.	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes
Landscaping in Required Yards (Desirable Design Attribute)		
(2) Landscaping in side and rear yard not otherwise required.	Yes	Yes
Landscaping of Parking Lots (Base Standard)		
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		
886 Stalls * 50 SF = 44,300 SF	44,300 SF	65,285 SF
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site.	Yes	Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.	Yes	Yes
Landscaping of Parking Lots (Desirable Design Attribute)		
(2) Parking lots with no space further than forty (40) feet from a landscaped area.	Yes	Yes
(3) Landscaped pedestrian connection to main entrance.	Yes	Yes
Visual Screening (Base Standard)		
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of area.	Yes	Yes
Landscaping of Street Frontages (Base Standard)		
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10' Landscape Buffer	10' Landscape Buffer
E Farm to Market 544: 12,440.27' * 50% = 6,220.14 SF	6,220 SF	7,451 SF
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10' Landscape Buffer	10' Landscape Buffer
5 Westgate Way: 4,130.81' * 50% = 2,065.41 SF	2,065 SF	3,096 SF
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees
5 Westgate Way: 409.6 LF / 35 LF = 11.7 Trees		
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	24 Trees	24 Trees
5 Westgate Way: 409.6 LF / 40 LF = 10.24 Trees		
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway
Landscaping of Street Frontages (Desirable Design Attribute)		
(1) Use of rock walls or other natural landscape features.	Yes	Yes

PLANT SCHEDULE		
NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES		
	CT	CANOPY TREE / CANOPY TREE
SHRUBS		
	AS	SMALL SHRUB
	MS	MEDIUM SHRUB
	SS	SCREENING SHRUB
	LS	LARGE SHRUB
GROUND COVERS		
	RM1	LARGE ROCK MULCH
	RM2	SMALL ROCK MULCH
	SEED2	OUT PARCEL SEED
	SEED1	HYDROSEED
	SOD	SOD
	AT	ARTIFICIAL TURF
	SE	STEEL EDGING
	LB1	LARGE LANDSCAPE BOULDER
	LB2	SMALL LANDSCAPE BOULDER

PROJECT NO. 24-39 AC (1,062,682 SF) - ZONED CC

DATE: JUNE 2026

SCALE: AS SHOWN

DRAWN BY: SCA

CHECKED BY: WVS

06/22/2026

NOT FOR CONSTRUCTION

06/22/2026

LANDSCAPE PLAN

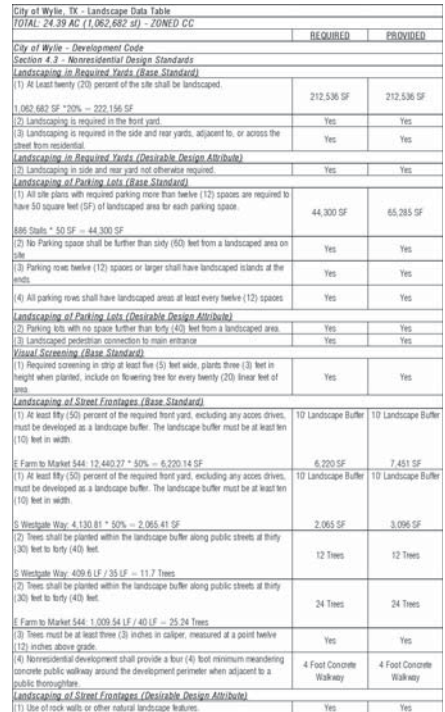
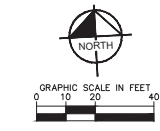
SHEET NUMBER LP 1.04

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TEXAS REGISTERED ENGINEERS FIRM NO. 7-608

REVISIONS

DATE

BY



PLANT SCHEDULE		NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE	
SYMBOL	CODE	BOTANICAL / COMMON NAME	
TREES			
	CT	CANOPY TREE / CANOPY TREE	
SHRUBS			
	AS	SMALL SHRUB	
	MS	MEDIUM SHRUB	
	SS	SCREENING SHRUB	
	LS	LARGE SHRUB	
GROUND COVERS			
	RM1	LARGE ROCK MULCH	
	RM2	SMALL ROCK MULCH	
	SEED2	OUT PARCEL SEED	
	SEED1	HYDROSEED	
	SOD	SOD	
	AT	ARTIFICIAL TURF	
	SE	STEEL EDGING	
	LB1	LARGE LANDSCAPE BOUNDER	
	LB2	SMALL LANDSCAPE BOUNDER	

[illegible]

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PHONE: 469.718-8849 FAX: 972.213-9200
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TEXAS REGISTERED FIRM NO. 5-628



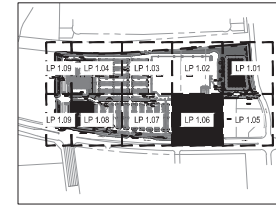
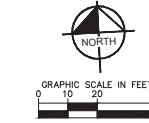
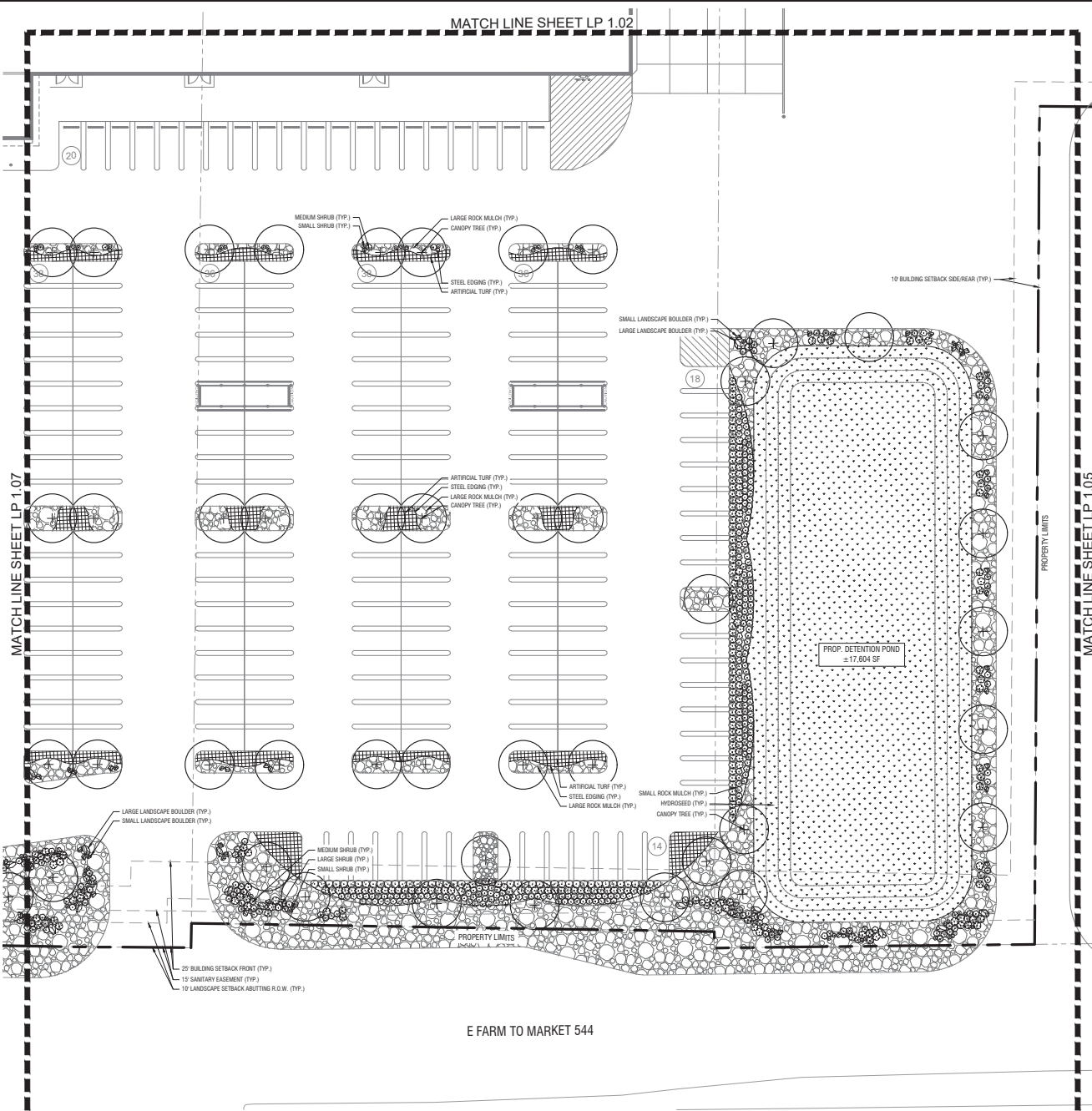
KHA PROJECT	DATE
066000150	JUNE 2026
SCALE	AS SHOWN
DESIGNED BY	SCK
DRAWN BY	SCK
CHECKED BY	KWS

CITY OF WYLIE, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.05

This document, together with the conceptual design presented herein, is an instrument of service, to be retained only for the specific purpose and client for which it was prepared. Plans of any other project or site shall be without liability to Kimley-Horn and Associates, Inc.



City of Wylie, TX - Landscape Data Table		REQUIRED		PROVIDED	
TOTAL: 24.29 AC (1,062,682 sq) - ZONED CC					
City of Wylie - Development Code					
Section 4.3 - Nonresidential Design Standards					
Landscape in Required Parks (Base Standard)					
(1) At least twenty (20) percent of the site shall be landscaped.					
1,062,682 SF * 20% = 212,536 SF		212,536 SF		212,536 SF	
(2) Landscaping is required in the front yard.		Yes		Yes	
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.		Yes		Yes	
Landscape in Required Parks (Desirable Design Attribute)					
(2) Landscaping in side and rear yards not otherwise required.		Yes		Yes	
Landscape of Parking Lots (Base Standard)					
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		44,300 SF		65,285 SF	
888 Stalls * 50 SF = 44,300 SF					
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site.		Yes		Yes	
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.		Yes		Yes	
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.		Yes		Yes	
Landscape of Parking Lots (Desirable Design Attribute)					
(2) Parking lots with no spaces further than forty (40) feet from a landscaped area.		Yes		Yes	
(3) Landscaped pedestrian connections to main entrance.		Yes		Yes	
Visual Screening (Base Standard)					
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of area.		Yes		Yes	
Landscape of Street Frontages (Base Standard)					
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10 Landscape Buffer		10 Landscape Buffer	
E Farm to Market 544: 12,440.27' * 50% = 6,220.14 SF		6,220 SF		7,451 SF	
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10 Landscape Buffer		10 Landscape Buffer	
5 Wardsgate Way: 4,130.81' * 50% = 2,065.41 SF		2,065 SF		3,096 SF	
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.		12 Trees		12 Trees	
5 Wardsgate Way: 409.6 LF / 35 LF = 11.7 Trees		24 Trees		24 Trees	
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.		Yes		Yes	
(12) inches above grade.		4 Foot Concrete Walkway		4 Foot Concrete Walkway	
E Farm to Market 544: 1,009.54 LF / 40 LF = 25.24 Trees					
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.					
Landscape of Street Frontages (Desirable Design Attribute)					
(1) Use of rock walls or other natural landscape features.		Yes		Yes	

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE		RM1	LARGE ROCK MULCH
	AS	SMALL SHRUB		RM2	SMALL ROCK MULCH
	MS	MEDIUM SHRUB		SE02	OUT PARCEL SEED
	SS	SCREENING SHRUB		SE01	HYDRANGEA
	LS	LARGE SHRUB		S00	SOD
SHRUBS					
	AT	ARTIFICIAL TURF		SE	STEEL EDGING
	LB1	LARGE LANDSCAPE BOULDER		LB2	SMALL LANDSCAPE BOULDER

NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE

PROJECT NO. DATE SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY

DATE JUNE 2026

CITY OF WYLIE, TEXAS

NOT FOR CONSTRUCTION

06/22/2026

LANDSCAPE PLAN

SHEET NUMBER LP 1.06

Kimley»Horn

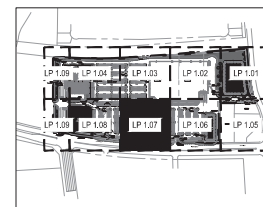
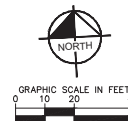
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2500 PACIFIC AVENUE, SUITE 1100 DALLAS, TX 75208
PH: 214.635.1000 FAX: 214.635.1001
WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERS FIRM NO. F-688

REVISIONS

DATE

BY



KEY MAP
NOT TO SCALE

City of Wylie, TX - Landscape Data Table	REQUIRED	PROVIDED
WY 2014: 24.39 AC (1,062,682 sq.) - ZONED CC		
City of Wylie - Development Code		
Section 4.3 - Nonresidential Design Standards		
<u>Landscape in Required Voids (Base Standard)</u>		
(1) At Least twelve (12) percent of the site shall be landscaped.		
1.062.682 sq. ft. * 20% = 212,536 SF		
(2) Landscaping is required in the front yard.	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes
<u>Landscape in Required Voids (Desirable Design Attribute)</u>		
(2) Landscaping in side and rear yard not otherwise required.	Yes	Yes
<u>Landscape of Parking Lots (Base Standard)</u>		
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped space for each parking space.		
566.285 " 50 SF = 44,300 SF		
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site.	Yes	Yes
(3) Parking row twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.	Yes	Yes
<u>Landscape of Parking Lots (Desirable Design Attribute)</u>		
(2) Parking lots with no space further than forty (40) feet from a landscaped area.	Yes	Yes
(3) Landscaping pedestrian connection to main entrance.	Yes	Yes
<u>Visual Screening (Base Standard)</u>		
(1) Required screening in strip at least five (5) feet wide, plants twenty (3) feet in height when planted, located on flowering tree or shrubby variety (three (3) lineal of area).	Yes	Yes
<u>Landscape of Street Frontages (Base Standard)</u>		
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer
E Farm to Market 544: 12,440.27 * 50% = 6,220.14 SF		
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	6,220 SF	7,451 SF
5 Westgate Way: 4,130.81 * 50% = 2,065.41 SF		
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	2,065 SF	3,096 SF
5 Westgate Way: 406.6 LF / 35 LF = 11.7 Trees		
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees
E Farm to Market 544: 1,009.54 LF / 40 LF = 25.24 Trees		
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes
(4) Nonresidential development shall provide a four (4) foot minimum landscaping concrete public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway
<u>Landscape of Street Frontages (Desirable Design Attribute)</u>		
(1) At least six (6) inches of evergreen landscape buffers.	Yes	Yes

PLANT SCHEDULE

NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE
SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL / COMMON NAME</u>
TREES			GROUND COVERS		
	CT	CANOPY TREE / CANOPY TREE		RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
				SEED2	OUT PARCEL SEED
SHRUBS				SEED1	HYDROSED
	AS	SMALL SHRUB		S00	SOD
	MS	MEDIUM SHRUB		AT	ARTIFICIAL TURF
	SS	SCREENING SHRUB			
	LS	LARGE SHRUB		SE	STEEL EDGING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	SMALL LANDSCAPE BOULDER

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TEXAS REGISTERED ENGINEERING FIRM NO. F-6928

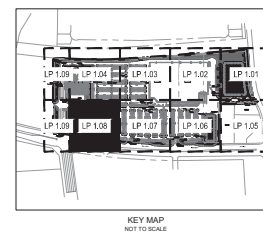


KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	SCK	DRAWN BY	SCK
066000150	JUNE 2026						

CITY OF WYLIE, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.07



City of Wylie - Development Code		REQUIRED	PROVIDED
Section 4.3 - Nonresidential Design Standards			
<u>Landscape in Required Yards (Base Standard)</u>			
(1) At least thirty (30) percent of the site shall be landscaped.			
1,062,682 SF * 20% = 212,536 SF		212,536 SF	212,536 SF
(2) Landscaping is required in the front yard.	Yes	Yes	Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.	Yes	Yes	Yes
<u>Landscape in Required Yards (Desirable Design Attribute)</u>			
(2) Landscaping in side and rear yard not otherwise required.	Yes	Yes	Yes
<u>Landscape of Parking Lots (Base Standard)</u>			
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		44,300 SF	65,285 SF
886,251 SF * 50 SF = 44,300 SF			
(2) No parking space shall be further than sixty (60) feet from a landscaped area on site.	Yes	Yes	Yes
(3) Parking must have twelve (12) spaces or larger shall have landscaped islands at the ends.	Yes	Yes	Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.	Yes	Yes	Yes
<u>Landscape of Parking Lots (Desirable Design Attribute)</u>			
(2) Parking lots with no space further than forty (40) feet from a landscaped area.	Yes	Yes	Yes
(3) Landscaping provides an connection to main entrance.	Yes	Yes	Yes
<u>Visual Screening (Base Standard)</u>			
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, exclude on flowering tree for every twenty (20) linear feet of pass.	Yes	Yes	Yes
<u>Landscaping of Street Frontages (Base Standard)</u>			
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer	10 Landscape Buffer
E Farm to Market 544: 12,440.27 * 50% = 6,220.14 SF	6,220 SF	7,451 SF	
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.	10 Landscape Buffer	10 Landscape Buffer	10 Landscape Buffer
5 Wriggle Way: 4,130.81 * 50% = 2,065.41 SF	2,065 SF	3,096 SF	
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	12 Trees	12 Trees	
5 Wriggle Way: 409.6 F / 35 F = 11.7 Trees			
(2) Trees shall be planted within the landscape buffer along public streets at thirty (30) feet to forty (40) feet.	24 Trees	24 Trees	
E Farm to Market 544: 1,009.54 F / 40 F = 25.24 Trees			
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.	Yes	Yes	Yes
(4) Nonresidential development should provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.	4 Foot Concrete Walkway	4 Foot Concrete Walkway	
<u>Landscape of Street Frontages (Desirable Design Attribute)</u>			
(1) Use of red walls or other natural landscape features.	Yes	Yes	Yes

PLANT SCHEDULE			NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE SEE SHEET LP 2.00 FOR PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
	CT	CANOPY TREE / CANOPY TREE		RM1	LARGE ROCK MULCH
				RM2	SMALL ROCK MULCH
				SEED2	OUT PARCEL SEED
SHRUBS					
	AS	SMALL SHRUB		SEED1	HYPOSEED
	MS	MEDIUM SHRUB		SOD	SOD
	SS	SCREENING SHRUB		AT	ARTIFICIAL TURF
	LS	LARGE SHRUB		SE	STEEL EDGING
				LB1	LARGE LANDSCAPE BOULDER
				LB2	LARGE LANDSCAPE BOULDER

Kimley»Horn



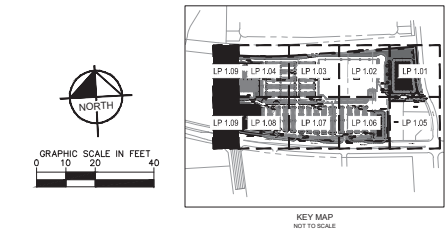
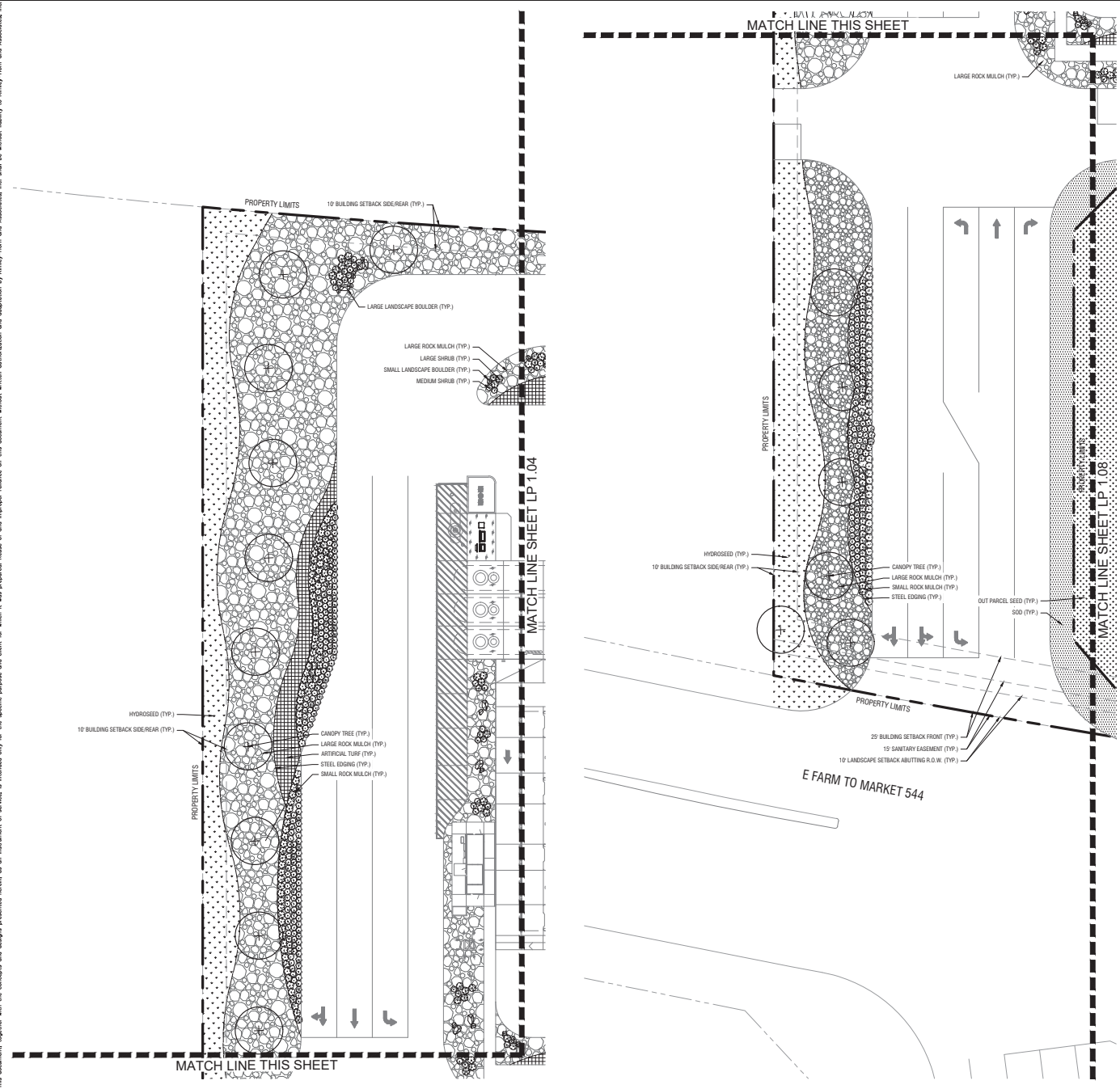
KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	SCK	DRAWN BY	SCK
066000150	JUNE 2026						

CITY OF WYLIE, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP 1.08

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City of Wylie, TX - Landscape Data Table		REQUIRED		PROVIDED
TOTAL: 24.39 AC (1,062,682 SF) - ZONED CC				
City of Wylie - Development Code				
Section 4.3 - Nonresidential Design Standards				
Landscape in Required Parks (Base Standard)				
(1) At least twenty (20) percent of the site shall be landscaped.				
1,062,682 SF * 20% = 212,536 SF		212,536 SF		212,536 SF
(2) Landscaping is required in the front yard.		Yes		Yes
(3) Landscaping is required in the side and rear yards, adjacent to, or across the street from residential.		Yes		Yes
Landscape in Required Parks (Desirable Design Attributes)				
(2) Landscaping in side and rear yards not otherwise required.		Yes		Yes
Landscape in Required Parks (Desirable Design Attributes)				
(1) All site plans with required parking more than twelve (12) spaces are required to have 50 square feet (SF) of landscaped area for each parking space.		44,300 SF		65,285 SF
80% Rule * 50 SF = 44,300 SF				
(2) No Parking space shall be further than sixty (60) feet from a landscaped area on site.		Yes		Yes
(3) Parking rows twelve (12) spaces or larger shall have landscaped islands at the ends.		Yes		Yes
(4) All parking rows shall have landscaped areas at least every twelve (12) spaces.		Yes		Yes
Landscape in Required Parks (Desirable Design Attributes)				
(2) Parking lots with no space further than thirty (30) feet from a landscaped area.		Yes		Yes
(3) Landscaped pedestrian connection to main entrance.		Yes		Yes
Visual Screening (Base Standard)				
(1) Required screening in strip at least five (5) feet wide, plants three (3) feet in height when planted, include on flowering tree for every twenty (20) linear feet of strip.		Yes		Yes
Landscape of Street Frontages (Base Standard)				
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10 Landscape Buffer		10 Landscape Buffer
E Farm to Market 544: 12,440.27' * 50% = 6,220.14 SF		6,220 SF		7,451 SF
(1) At least fifty (50) percent of the required front yard, excluding any access drives, must be developed as a landscape buffer. The landscape buffer must be at least ten (10) feet in width.		10 Landscape Buffer		10 Landscape Buffer
E Farm to Market 544: 4,130.81' * 50% = 2,065.41 SF		2,065 SF		3,096 SF
Westgate Way: 400.6 LF / 36 LF = 11.7 Trees		12 Trees		12 Trees
Westgate Way: 400.6 LF / 36 LF = 11.7 Trees		24 Trees		24 Trees
E Farm to Market 544: 1,009.54 LF / 40 LF = 25.24 Trees		Yes		Yes
(3) Trees must be at least three (3) inches in caliper, measured at a point twelve (12) inches above grade.		4 Foot Concrete Walkway		4 Foot Concrete Walkway
(4) Nonresidential development shall provide a four (4) foot minimum meandering concrete public walkway around the development perimeter when adjacent to a public thoroughfare.		Yes		Yes
Landscape of Street Frontages (Desirable Design Attributes)				
(1) Use of rock walls or other natural landscape features.		Yes		Yes

PLANT SCHEDULE			NOTE: CONTRACTOR TO SEED TO LIMITS OF DISTURBANCE SEE SHEET LP 2.00 FOR FULL PLANT SCHEDULE		
SYMBOL	CODE	BOTANICAL / COMMON NAME	SYMBOL	CODE	BOTANICAL / COMMON NAME
TREES					
(+)	CT	CANOPY TREE / CANOPY TREE	(RM)	RM1	LARGE ROCK MULCH
SHRUBS					
(S)	AS	SMALL SHRUB	(RM)	RM2	SMALL ROCK MULCH
(M)	MS	MEDIUM SHRUB	(SD)	SD1	HYDRASEED
(SS)	SS	SCREENING SHRUB	(SD)	SD2	OUT PARCEL SEED
(LS)	LS	LARGE SHRUB	(SD)	SD3	ARTIFICIAL TURF
GROUND COVERS					
(SE)	SE	STEEL EDGING	(LB)	LB1	LARGE LANDSCAPE BOULDER
(LB)	LB2	SMALL LANDSCAPE BOULDER			

NOA PROJECT
DATE
JUNE 2026

SCALE
AS SHOWN

DRAWN BY
SCA

CHECKED BY
WVS

06/22/2026

LANDSCAPE PLAN

SHEET NUMBER
LP 1.09

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2500 PACIFIC AVENUE, SUITE 1100 DALLAS, TX 75208
PH: 214.635.1100 FAX: 214.635.1800
WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERS FIRM NO. F-608

NO.	REVISIONS	DATE	BY

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL.	SIZE	REMARKS
TREES							
	CT	234	CANOPY TREE / CANOPY TREE	B&B	3" CAL. MIN.	AS SHOWN	FULL, STRONG, CENTRAL LEADER
SHRUBS							
	AS	849	SMALL SHRUB	SEED	18" HT.	AS SHOWN	FULL AND MATCHING
	MS	2,025	MEDIUM SHRUB	SEED	30" HT.	AS SHOWN	FULL AND MATCHING
	SS	280	SCREENING SHRUB	SEED	36" HT. MIN.	AS SHOWN	FULL AND MATCHING
	LS	1,016	LARGE SHRUB	SEED	36" HT.	AS SHOWN	FULL AND MATCHING
ROUND COVERS							
	RM1	176,210 SF	LARGE ROCK MULCH	ROCK	N/A	N/A	REF. DETAIL E, SHEET LP 2.02
	RM2	16,918 SF	SMALL ROCK MULCH	ROCK	N/A	N/A	REF. DETAIL E, SHEET LP 2.02
	SD2	48,127 SF	OUT PARCEL SEED	SEED	N/A	N/A	SEED TO LIMIT OF DISTURBANCE
	SEED1	82,811 SF	HYOSREED	SEED	N/A	N/A	SEED TO LIMIT OF DISTURBANCE
	SOD	7,497 SF	SOD	SOD	N/A	N/A	TIGHT, SAND FILLED JOINTS SOD TO BE FREE OF WEEDS
	AT	17,729 SF	ARTIFICIAL TURF	TURF	N/A	N/A	REF. DETAIL H, SHEET LP 2.02
	SE	+7,417 LF	STEEL EDGING				REF. DETAIL D, SHEET LP 2.02
	LB1	= 60	LARGE LANDSCAPE BOULDER				REF. DETAIL G, SHEET LP 2.02
	LB2	= 164	SMALL LANDSCAPE BOULDER				REF. DETAIL G, SHEET LP 2.02

1. SPECIFICATIONS SHALL SUPERCEDE PLANTING NOTES.
2. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
3. THE CONTRACTOR BEARS ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
4. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY LANDSCAPE ARCHITECT ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN VERIFIED QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
5. EASEMENTS SETBACKS, BUILDING, CURB AND GUTTER, UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO LANDSCAPE ARCHITECT BY OTHERS. REFER TO OTHER DISCIPLINE PLAN SETS FOR ADDITIONAL INFORMATION.

[illegible]

Kimley»»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
2500 PACIFIC AVENUE, SUITE 1100, DALLAS, TX 75226
PHONE: 469-716-8849 FAX: 972-239-3620
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM NO. F-628

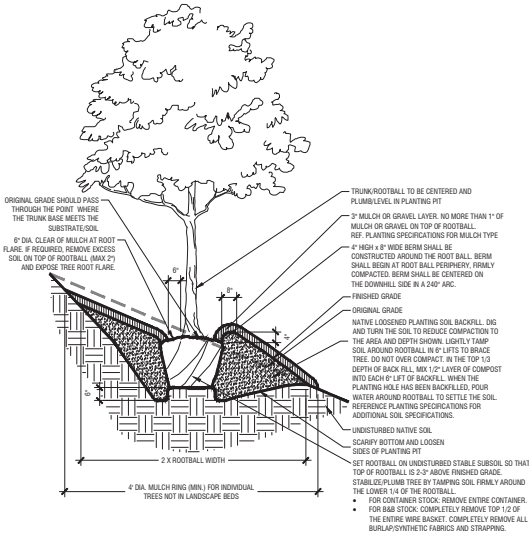


DATE	JUNE 2026
SCALE	AS SHOWN
DESIGNED BY	SCK
DRAWN BY	SCK
CHECKED BY	KWS

CITY OF WYLIE, TEXAS

LANDSCAPE SCHEDULE &
GENERAL NOTES

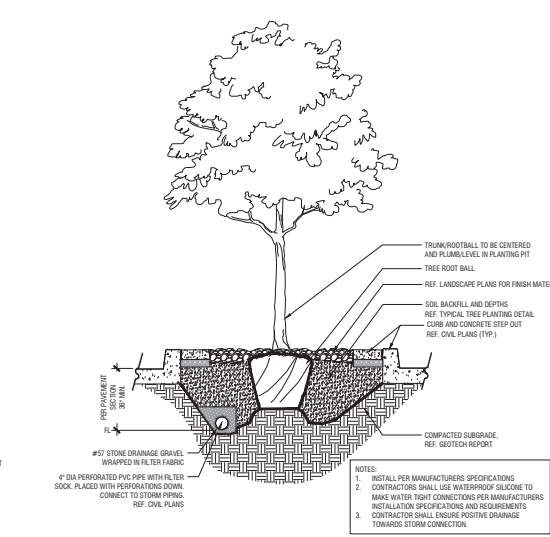
SHEET NUMBER
P 2.00



TREE PLANTING ON 5-25% SLOPES (20:1 TO 4:1 SLOPES)

Scale: NTS

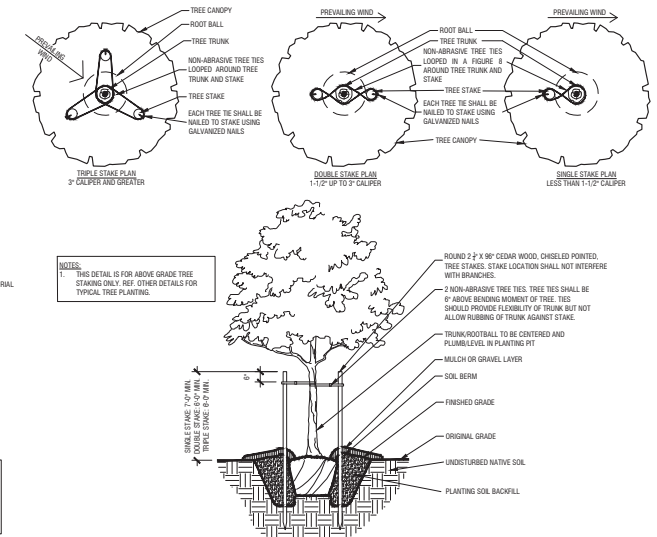
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PARKING LOT ISLANDS | UNDER DRAIN DETAIL

Scale: NTS

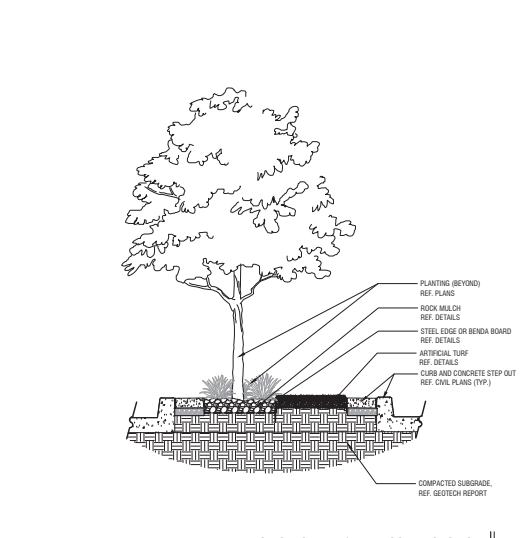
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TYPICAL TREE STAKING

Scale: NTS

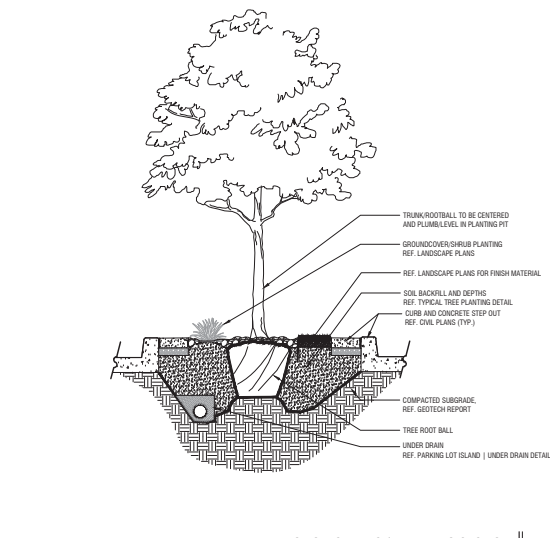
B



PARKING LOT ISLAND | HARDSCAPE SECTION

Scale: NTS

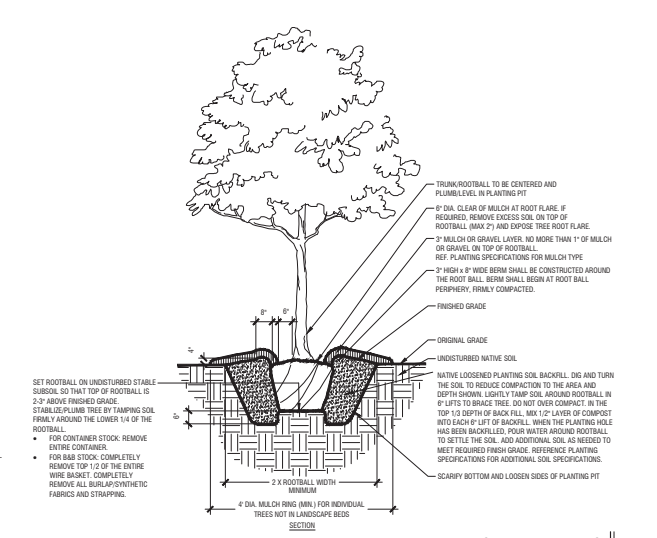
E



PARKING LOT ISLANDS | PLANTING SECTION

Scale: NTS

C



TYPICAL TREE PLANTING

Scale: NTS

A

REVISIONS		DATE	BY
No.			

Kimley»Horn
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2500 PACIFIC AVENUE, SUITE 1100, DALLAS, TX 75208
PH: 214.744.4000
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERS (EIN) NO. 1-608

NOT FOR CONSTRUCTION

06/22/2026

NO.	PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	CHECKED BY	INVS
		JUNE 2026					

LANDSCAPE DETAILS

SHEET NUMBER
LP 2.01

21



- SCALE: NTS



- Scale: NTS



- 22

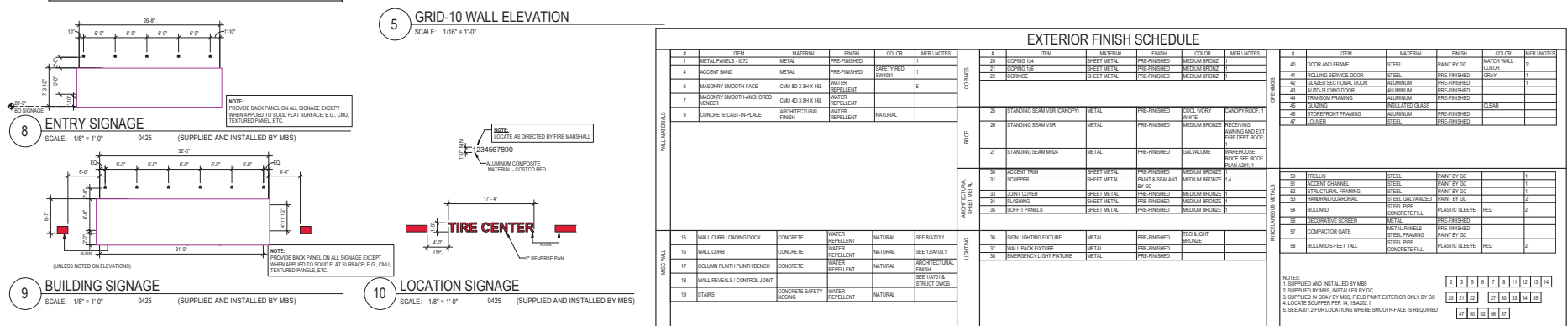


EXHIBIT C
WYLIE WHOLESALE WAREHOUSE
S.U.P.
STANDARDS

I. PURPOSE

The commercial tracts are intended to accommodate the development of office, retail and commercial service-related uses for neighborhood residents.

The allowable uses in this district provides for the enhancement and implementation of the City's vision of the Comprehensive Plan. The use of existing creative development goals and objectives contained within the Corridor Commercial combined with the additional flexibility provided by the use of selective enhancements allowed by the use of this S.U.P. together provide for a unique and creative commercial center development which is of general benefit to the City.

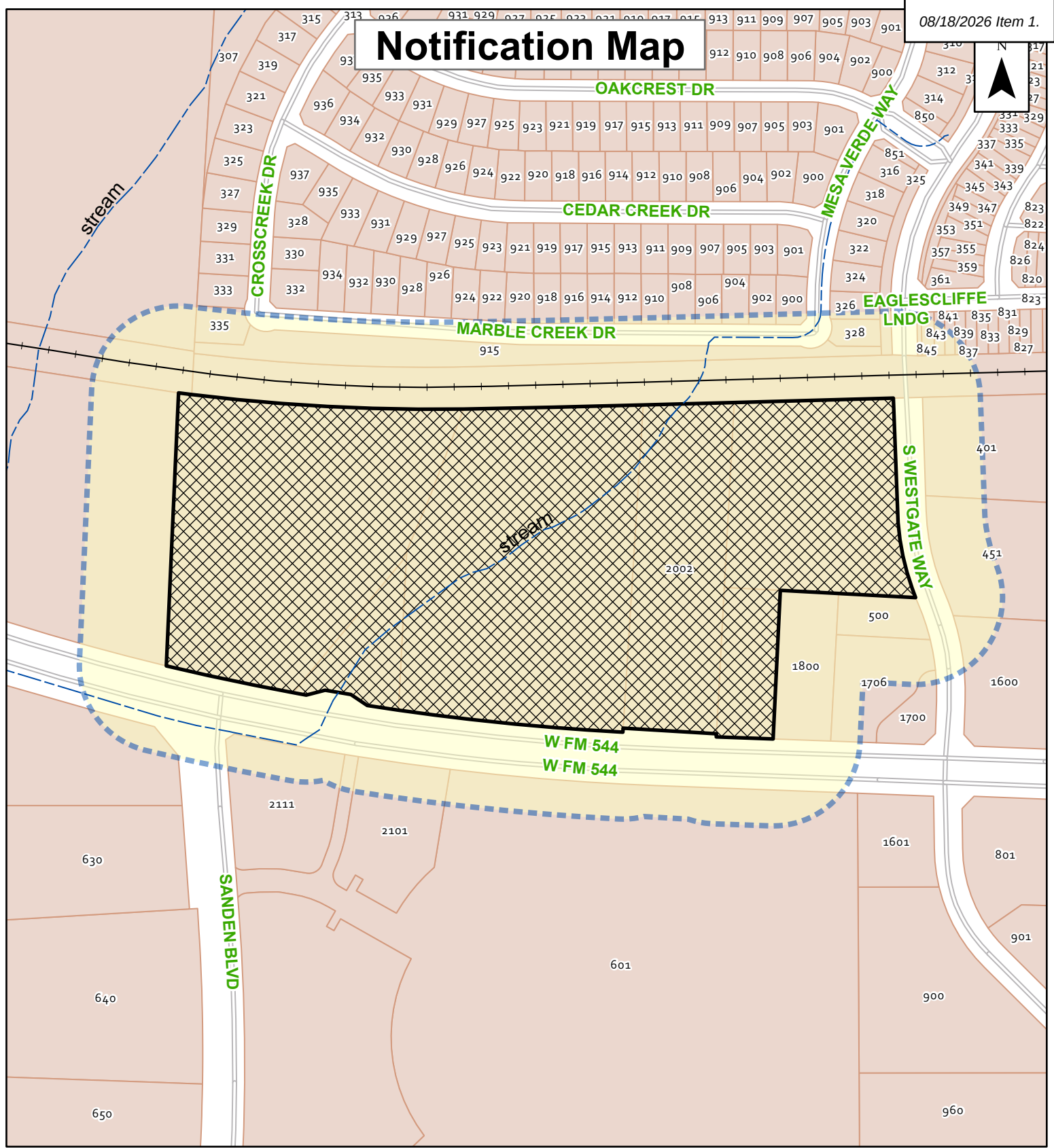
II. GENERAL CONDITIONS

1. Except as amended herein, this Development shall conform to any and all applicable articles and sections of the City of Wylie Zoning Ordinance dated May 22, 2025.
2. A zoning exhibit is hereby attached and made a part of the approval for this S.U.P. This zoning exhibit, indicated as Exhibit "B" sets forth an overall property boundary description, conceptual plan, and the designation of each zoning tract, identified by a number which corresponds to the tracts defined in this Exhibit C S.U.P. Development Standards.
3. The zoning exhibit / site plan (Exhibit B) shall serve as the Site Plan for the wholesale warehouse development. Approval of the Special Use Permit shall act as site plan approval.
4. Except as amended by these conditions, development of property within this Development must comply with the requirements of all ordinances, rules, and regulations of the City of Wylie as of the date of this ordinance.

III. SPECIAL CONDITIONS

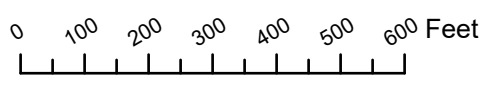
1. Land uses permitted within this Development shall include those uses allowed in Article 5 Use Regulations, Section 5.1 Lane Use Charts, Figure 5-3 Land Use Tables, Non-Residential Districts, Commercial Corridor District (CC) and Section 5.2 Listed uses as defined in the Zoning Ordinance of the City of Wylie with the exception of the following uses which shall be allowed by-right:
 - a. Fuel Center (32 Stations /Maximum of 40 fuel pumps)
 - b. Auto Repair, minor (tires and batteries only)
2. Landscape Requirements per Section 7.7.A of the Wylie Code of Ordinances shall be amended to allow for the following:
 - a. Synthetic Turf & Rock may be utilized as per the attached Landscape Plan
3. Non-Residential Architectural Design Standards per Section 4.3.C, Figure 4-9 and Section 4.3.F.2 of the Wylie Code of Ordinances shall be amended to allow for the following:
 - a. Articulation requirements will be satisfied by the attached building elevations.
4. On site parking requirements per section 7.3.D.5 of the Wylie Code of Ordinances shall be amended to allow for the following:
 - a. Parking may exceed 125% of the minimum required number of spaces without providing pervious paving for the spaces in excess of 125%
5. Location of service and loading areas per section 4.3 Figure 4-7 & 4.3.4.a of the Wylie Code of Ordinances shall be amended to allow for the following:
 - a. Loading docks may face public ROW as per Site Plan attached.

Notification Map



ZONING CASE:
ZC 2026-10 off the northwest corner of
West FM 544 and South Westgate Way

 SUBJECT property  200 foot Notification Buffer



Date: 7/24/2026

COMPILED BY: G STAFFORD





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: WS - 1

Subject

Hold a work session to discuss the rezoning of property generally located at 1751 McMillen Road.

Recommendation

Discussion

Discussion

The applicant is seeking guidance from the Planning and Zoning Commission regarding the amendment of a Planned Development zoned as age restricted residential mixed-use (Ordinance 2020-30). The Planned Development was approved by City Council in May of 2020 and consisted of three residential subdistricts on 24.5 acres.

As currently written the PD is intended to provide an 'age in place' development consisting of a single family to-buy subdistrict, a multi-family townhome style to-rent subdistrict and a multiple-care assisted-living subdistrict.

Due to market conditions within the assisted-living space and the funding needed to complete the entire project concurrently, the applicant is considering an amendment to the PD to remove the concurrency requirements which require all three subdistricts to be built at the same time. The amended PD would retain all three sub-districts, but allow for separate development timeframes.

Additionally, the PD amendment would increase the size of the single family lots from 4,000 sf to 5,000sf.

When the current PD was approved, City Council's direction for the development standards were to include the concurrency requirements that ensured the multiple-care district was further along in completion before the single Family or multiplex districts were constructed. The stipulation was included to ensure that the full scope of the project's age restricted uses were developed.

The comprehensive land use plan was amended in 2022 and has this area listed as being within the Medium-Density Residential sector. The proposed request is consistent with the comprehensive plan as the age restricted mixed-use residential community is compatible with the surrounding developments.



Land Use Acreage Summary

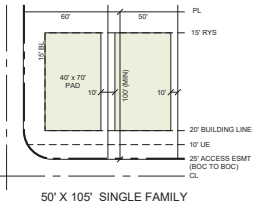
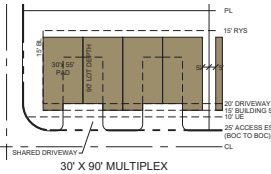
Perimeter Rights of Way (ROW)	0.0	0.0%
ROW Landscape Buffers	0.4	1.6%
Open Space and Drainage	2.0	8.2%
Independent Living	4.1	16.9%
Assisted Living	3.2	13.0%
Net Residential Area	14.8	60.4%
Total	24.5	

Open Space Acreage Summary

Open Space and Drainage	2.0
Area (Net of ROW & Buffers)	24.1
Total Percentage of Open Space	8.3%

Lot Summary

Multiplex Units	45	44.6%
50' x 105'	56	55.4%
Total Lots	101	



- NOTES:
1. THIS PLAN IS CONCEPTUAL IN NATURE AND MAY HAVE BEEN PRODUCED WITHOUT THE BENEFIT OF A SURVEY OR CONTACT WITH THE CITY, COUNTY, ETC.
 2. FLOOD PLAIN SHOWN IS SUBJECT TO CHANGE BASED ON A MORE DETAILED FULLY DEVELOPED FLOOD STUDY ANALYSIS.
 3. AERIAL IMAGE BY NEARMAP, COPYRIGHT 2025.

CONCEPT PLAN

Meadow Ponds
Wylie, Texas

Kimley»Horn

6100 Warren Parkway, Suite 210
Frisco, Texas 75034
P 972-355-3360
State of Texas Registration No. P-628

May 2026



DATE: 08/18/2026
LAST DATED: 08/18/2026 11:11 PM BY: HANLEY, GREG



Exhibit B
MEADOW PONDS PLANNED DEVELOPMENT STANDARDS

A. Purpose

The purpose of this planned development district is to allow an age restricted mixed-use development on an approximate 24.5 acre parcel located on Tract 27 of the Williams Patterson Survey, West of FM 1378 and North of McMillen Road. This community will contain retail, personal service, health club, outdoor recreation, multifamily, assisted living, and single family uses. The regulations in this Planned Development (PD) District will encourage high-quality site planning and design in accordance with the City of Wylie's Comprehensive Plan.

B. District Regulations

1. General.

a. Subdistricts established: This PD shall be developed in three subdistricts as follows:

- i. Subdistrict 1: Single Family Subdistrict
- ii. Subdistrict 2: Multiplex Subdistrict
- iii. Subdistrict 3: Multiple-Care Subdistrict
- iv. The zoning exhibit (Exhibit C) shall serve as a subdivision concept plan for purposes of Zoning and Land Design, Street, and Sidewalk requirements. Separate plat submittals for all subdistricts shall be required. A separate site plan submittal for Subdistrict 3 shall be required.

2. Development of the Property shall generally conform to the following regulations:

a. Single Family Subdistrict

- i. Except as otherwise provided herein, development of the Single Family Subdistrict shall comply with the Single Family-10 District regulations of the 2026 City of Wylie Zoning Ordinance.
- ii. Permitted Uses: Uses permitted in the Single Family-10 are permitted in the Single Family Subdistrict. Residential uses are restricted to a head of household aged 55 and older.
- iii. Development Standards: Following are the yard, lot and space requirements for the Single Family Subdistrict, including density, height, lot and unit size.

Single Family Subdistrict	
Lot Size	
Minimum Lot Area (sq. ft.)	5,000
Minimum Lot Width (feet)	40
Minimum Lot Width of corner Lots- excepting the corner clip at the intersection (feet)	50
Minimum Lot Depth (feet)	100
Lot Depth of Double Front Lots (feet)	NA
Dwelling Regulations	
Minimum Square Footage	1,100

Design Standards Level of Achievement	See Section B.2.d below
Yard Requirements – Main Structures	
Minimum Front Yard (feet) except between house façade and front street easement line	10
Minimum Front Yard (feet) between garage façade and front street easement line	20
Minimum Side Yard (feet)	5
Minimum Side Yard of Corner Lots (feet)	5
Minimum Side Yard of allowable nonresidential use (feet)	NA
Minimum Rear Yard (feet)	5
Minimum Rear Yard Double Front Lots (feet)	NA
Maximum Lot Coverage	80%
Height of Structures	
Main Structure (feet)	30
Accessory Structure (feet)	14

b. Multiplex Subdistrict

- i. Except as otherwise provided herein, development of the Multiplex Subdistrict shall comply with the Multifamily District regulations of the 2026 City of Wylie Zoning Ordinance.
- ii. Permitted Uses:
 - a. Except as otherwise provided herein, uses permitted in the Multifamily District are permitted in the Multiplex Subdistrict.
 - b. Residential uses are restricted to a head of household aged 55 and older.
- iii. Development Standards: The following are the yard, lot and space requirements for triplex uses in the Multiplex Subdistrict, including density, height, lot and unit size.

Multiplex Subdistrict	
Lot Size	
Minimum Lot Area (sq. ft.)	5 acres
Minimum Lot Width (feet)	190
Minimum Lot width of corner Lots (feet)	NA
Minimum Lot Depth (feet)	135
Minimum Lot Depth of Double Front Lots (feet)	NA
Dwelling Regulations	
Minimum Square Footage	Studio- 470 sf 1 BR- 675 sf 2 BR- 875 sf
Maximum Density	45Total units
Building Separation between detached buildings (feet)	10

Design Standards Level of Achievement	See Section B.2.d below
Yard Requirements – Main Structures	
Minimum Front Yard (feet) except between house façade and front street easement line	10
Minimum Front Yard (feet) between garage façade and front street easement line	20
Minimum Side Yard of Corner Lots (feet)	5
Minimum Side Yard (feet)	none
Minimum Rear Yard (feet)	5 from any interior lot line
Minimum Rear Yard Double Front Lots (feet)	none
Height of Structures	
Main Structure (feet)	30
Accessory Structure (feet)	14

c. Multiple-Care Subdistrict

- i. Except as otherwise provided herein, development of the Multiple-Care Subdistrict shall comply with the Multifamily District regulations.
- ii. Permitted Uses:
 - a. Except as otherwise provided herein, uses permitted in the Multifamily District are permitted in the Multiple-Care Subdistrict.
 - b. The following uses are permitted primary uses in the Multiple-Care Subdistrict:
 - Residential uses restricted to head of household aged 55 and older
 - Assisted Living Apartment
 - Nursing, Convalescent Home or Hospice (including memory care)
 - c. The following uses are permitted accessory uses in the Multiple-Care Subdistrict:
 - Civic Center
 - Cultural Arts Facility
 - Financial Institution(without drive-thru)
 - Medical Clinic
 - Commercial Amusement or Recreation (Low-Density Inside)
 - Health Club
 - Theater
 - Cleaners
 - General Merchandise Store
 - Grocery Store
 - Personal Service Use
 - Restaurant without Drive-in or Drive-through Service
 - Post Office
- iii. Development Standards:The following are the yard, lot and space requirements for triplex uses in the Multiple-Care Subdistrict, including density, height, lot and unit size.

Multiple-Care Family Subdistrict	
Lot Size	
Minimum Lot Area (sq. ft.)	43,560
Minimum Lot Width (feet)	110
Minimum Lot width of corner Lots (feet)	NA
Minimum Lot Depth (feet)	90
Minimum Lot Depth of Double Front Lots (feet)	NA
Dwelling Regulations	
Building Separation between detached buildings (feet)	10
Minimum Dwelling Unit Square Footage	Studio- 470 sf 1 BR- 600 sf 2 BR- 875 sf
Maximum Density	160 Total units
Yard Requirements	
Minimum Front Yard (feet)	10
Minimum Side Yard of Corner Lots (feet)	5
Minimum Side Yard (feet)	none
Minimum Rear Yard (feet)	15 from any interior lot line
Minimum Rear Yard Double Front Lots (feet)	none
Height of Structures	
Main Structure (feet)	60
Accessory Structure (feet)	14

- d. Architectural Requirements. Development of the Property shall comply with the Architectural Requirements in the following table which replace the Architectural Requirements in Section the Zoning Ordinance:

Architectural Requirements (For the Multiple-Care Subdistrict)	
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)
Building Bulk and Articulation	Minimum 25% of street façade offset minimum 2 ft, minimum 60% total area on 1 st floor of all 2-story
House Numbers	- Stone plaque with number beside main entry - Lighted wall front plaque
Repetition of floor plan and elevation	NA
Exterior Façade Materials	- Masonry, synthetic stone masonry, or fiber cement lap siding and panels - Masonry or fiber cement fascia, soffits and under hangs includes porches

	• Vinyl windows • Aluminum storefront for common amenity space • 30-year architectural shingles • Faux wood front door with and without glass inserts • Other materials permitted by the Zoning Ordinance
--	---

Architectural Requirements (For the Single Family Subdistrict)	
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)
Building Bulk and Articulation	At least 20 percent of the façade shall be offset a minimum of 1-foot either protruding from or recessed back from the remainder of the façade.
House Numbers	• Stone plaque with number beside main entry • Lighted wall front plaque
Exterior Façade Materials	• Masonry or fiber cement lap siding and panels • Masonry or fiber cement fascia, soffits and under hangs includes porches • Faux wood front door with and without glass inserts • Operable and fixed vinyl windows • Faux cedar metal garage doors • 30-year architectural shingles • Other materials permitted by the Zoning Ordinance
Exterior Facades- Porches	Porches are not required
Exterior Facades- Chimneys	Chimney flues for fireplace chimneys are to be within a chimney enclosed with masonry matching exterior walls of the residential unit and capped.
Roofs and Roof Pitching	All single-family residential units shall have architectural -grade overlap shingles, tile, or standing seam metal. Wood shingles are not permitted. Plumbing vents, attic vents, and other rooftop accessories are to be painted to match the roof shingle color. Minimum roof pitch shall be 4:12.
Repetition of floor plan and elevation	To avoid repetitious feel, a minimum of five (5) platted residential lots must be skipped on the same side and three (3) lots must be skipped on the opposite side of a street before rebuilding the same single-family residential unit with an identical (or nearly identical) street elevation design. The same floor plan shall not be repeated on neighboring, side by side lots or directly across the street. Identical or nearly identical floor plan means that the layout, size and function of the rooms are essentially the same. Identical or nearly identical street elevation design means little or no variation in the articulation of the façade, height or width of façade, placement of the primary entrances, porches, number and placement of

	windows, and other major architectural features. It does not mean similar colors, materials, or small details.
Garage Entry	To maximize the useable rear yards, garage doors can be located on the primary street elevation of a single-family residential unit. The primary street would be the addressed street front. Garages may face the street on a corner lot side yard. To provide ample parking and storage, each garage shall be a minimum of 400 square feet.
Fencing	No front yard fences are allowed. Side and rear yard fences shall be permitted to a height of 8 feet maximum and constructed of wood or wrought iron.
Landscaping	Each residential dwelling unit shall have sodded front, side, and rear yard with a minimum of 1 ornamental tree and 5 shrubs in front yard. All landscaped areas must be kept in a healthy and growing condition. Any plant materials that dies during a time of year where it is not feasible to replant shall be replaced as soon as possible. Each residential dwelling unit shall have an automated, subsurface irrigation system.

Architectural Requirements (For the Multiplex Subdistrict)	
ELEMENT	BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)
Building Bulk and Articulation	At least 20 percent of the façade shall be offset a minimum of 1-foot either protruding from or recessed back from the remainder of the façade.
House Numbers	• Stone plaque with number beside main entry • Lighted wall front plaque
Exterior Façade Materials	• Masonry or fiber cement lap siding and panels • Masonry or fiber cement fascia, soffits and under hangs includes porches • Faux wood front door with and without glass inserts • Operable and fixed vinyl windows • Faux cedar metal garage doors • 30-year architectural shingles • Other materials permitted by the Zoning Ordinance

Exterior Facades- Porches	Porches are not required
Exterior Facades- Chimneys	Chimney flues for fireplace chimneys are to be within a chimney enclosed with masonry matching exterior walls of the residential unit and capped.
Roofs and Roof Pitching	All single-family residential units shall have architectural -grade overlap shingles, tile, or standing seam metal. Wood shingles are not permitted. Plumbing vents, attic vents, and other rooftop accessories are to be painted to match the roof shingle color. No minimum roof pitch is required.
Repetition of floor plan and elevation	Repetition of floor plan and elevations is not required for the Multiplex Subdistrict.
Garage Entry	To maximize the useable rear yards, garage doors can be located on the primary street elevation of a single-family residential unit. The primary street would be the addressed street front. Garages may face the street on a corner lot side yard. To provide ample parking and storage, each garage shall be a minimum of 200 square feet.
Fencing	No front yard fences are allowed. Side and rear yard fences shall be permitted to a height of 8 feet maximum and constructed of wood or wrought iron.
Landscaping	Each residential dwelling building shall have sodded front, side, and rear yard with a minimum of 1 ornamental tree and 3 shrubs in front yard. All landscaped areas must be kept in a healthy and growing condition. Any plant materials that dies during a time of year where it is not feasible to replant shall be replaced as soon as possible. Each residential dwelling unit shall have an automated, subsurface irrigation system.

- e. Land Design Requirements. Development of the Property shall comply with the Land Design Requirements in the following table which replace the Land Design Requirements in the Zoning Ordinance:

Land Design Requirements (For all Residential Districts)	
ELEMENT	a. BASE STANDARD (ALL DEVELOPMENT MUST COMPLY FULLY WITH ALL LISTED BELOW)
Public Open Space Easements	30 ft wide buffer with 8 ft wide trail throughout Property Trail amenities to be provided such as benches, fitness station, or picnic tables
Perimeter Screen Along Thoroughfares	40 ft wide buffer, w/6 ft wrought iron between brick or stone columns (50 ft o.c.) or landscaped earthen berm (3:1 slope) Increase buffer width by 10%, slip street/parkway with no residential lots backing or siding on thoroughfare
Perimeter Walkways and Landscape	a. Mixture of large/canopy and small/ornamental trees 50 ft. o.c. b. 8 ft walk/trail. c. Provide benches at nodes when adjacent to open space.
Lighting and Furnishings along open space easements and trails	Solar-controlled lighting on 10-12 ft decorative poles every 100 ft, common throughout. Benches with backs every 1/2 mile or portion thereof when adjacent to open space. Decorative paving and cross-walks at street connectors. Exercise apparatus every 1/4 mile a. Trees 30 ft o.c. maximum, with down lighting and ground-level lights.

- f. Street and Sidewalk Requirements. Development of the Property shall comply with the Street and Sidewalk Requirements in the following table which replace the Street and Sidewalk Requirements in the Zoning Ordinance:

Street and Sidewalk Requirements (For all Residential Districts)	
ELEMENT	BASE STANDARD DEVELOPMENT MUST COMPLY BELOW)
Curvilinear Streets	NA

Entry Features and Medians	Architectural features on stone screen wall or stone monument (no brick) Tubular steel accent panels, or water feature, or 2 or more different type/color of stone (can be synthetic or cultured).
Signage at Entries	Incorporated into screen wall or monument sign within median and illuminated by means other than street lights.
Street Name Signs	Including block numbers, incorporated with street lighting coordinated throughout. Unique neighborhood design, or back- lighted.
Pedestrian Crosswalks	10 ft or wider, connected system of decorative pavers.
Sidewalk Locations	5 ft concrete, both sides of street, meandering continuous pathway.
Mail Boxes	Paired at lot line on SF-10 Lots or lower. Number plaque, brick same as resident. Stone, same house exterior trim.
Sidewalk Lighting	Low-illumination with solar controls, on decorative poles every 250' to 350' apart (intersections & mid-block alternating sides).
Perimeter Alleys	NA

g. General Provisions

- i. The Multifamily residential proximity slope (Section 7.1) does not apply to development within the Property as it would pertain to other development within the property.
- ii. On-street parking shall be prohibited and so marked with signage.
- iii. Properties may be addressed using the private drives on which they front.
- iv. Parking for the Multiple-care facility shall be provided at a minimum of 165 spaces to serve a maximum of 160 residential units and the allowed commercial uses within the sub-district.
- v. A completed Traffic Impact Analysis, as outlined by The City of Wylie Subdivision Regulations (9/19) Section 3.1.B.3, shall be submitted with the preliminary plat; and be reviewed by City of Wylie Engineering before the preliminary plat can be approved for construction.
- vi. The planned development zoning exhibit shall be included as a development condition. If, in the opinion of the City Planner, a site plan (Sub-district 2 & 3) or plat (Sub-district 1, 2, or 3) does not generally conform to the zoning exhibit approved by the City, the applicant shall either seek approval of a revised zoning exhibit through re-zoning or submit a revised site plan.