

Wylie Planning and Zoning Commission Regular Meeting

August 04, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon the approval of the meeting minutes from the July 21, 2026, Planning and Zoning Commission Meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Replat being a Final Plat for Lot 2R-1, 2R-2 and 3R-1, Block A of Sanden Addition, establishing three lots on 56.67 acres, located at 701 Sanden Boulevard.
- C. Consider, and act upon, a recommendation to the City Council regarding a Preliminary Plat of Lot 1 & 2 Block A of Wylie EDC Retail creating two commercial lots on 25.484 acres, located at 2002 W FM 544.

REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for Lot 2R-1, 2R-2, and 3R-1 Block A of Sanden Addition for the development of a multi-building flex space commercial/light industrial development. Property generally located on 56.67 acres at 701 Sanden Boulevard.
- 2. Consider, and act upon, a site plan amendment for Harvest City Church, being on Lot 1, Block A of Gateway Community Church Addition, for a church/house of worship expansion for educational services. Property located at 2201 Country Club Road.

WORK SESSION

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on July 29, 2026, at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Gabby Fernandez

Subject

Consider and act upon the approval of the meeting minutes from the July 21, 2026, Planning and Zoning Commission meeting.

Recommendation

Motion to approve the item as presented.

Discussion

The minutes from the July 21, 2026, Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

July 21, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Harold Gouge called the meeting to order at 6:00 PM. In attendance were Chair Harold Gouge, Vice-Chair Joe Chandler, Commissioner Michael Schwerin, Commissioner Daniel Marengo, and Commissioner Joshua Butler. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent were Commissioner Zewge Kagnew and Commissioner Zeb Black.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice-Chair Chandler gave the Invocation, and Commissioner Butler led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

None approached the Commission.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon the approval of the meeting minutes from the July 7, 2026, Planning and Zoning Commission Meeting.
- B. Consider and act upon a recommendation to the City Council regarding a Preliminary Plat of Compton Addition creating two residential lots on 3.189 acres, generally located at 1201 E Stone Road and 720 S W.A. Allen Boulevard.
- C. Consider and act upon a recommendation to the City Council regarding a Preliminary Plat of Compton Addition establishing two residential lots on 3.189 acres, generally located at 1201 E Stone Road and 720 S W.A. Allen Boulevard.

BOARD ACTION

A motion was made by Commissioner Butler, seconded by Commissioner Marengo, to approve the Consent Agenda as presented. A vote was taken, and the motion passed 5 – 0.

REGULAR AGENDA

1. Hold a Public Hearing, consider, and act upon a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 0.49 acres to allow for a drone delivery service from Wing. Property located at 707 Cooper Drive (ZC 2026-07).

Chair Gouge opened the public hearing at 6:08 PM. 3 members of the public approached the Commission. Chair Gouge closed the public hearing at 6:20 PM.

BOARD ACTION

A motion was made by Commissioner Butler and seconded by Commissioner Marengo to recommend approval of Regular Agenda item 1 as presented. A vote was taken and carried 5-0.

2. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LISUP) on 2.0 acres to allow for a warehouse distribution use. Property located at 31 Steel Road (ZC 2026-08).

Chair Gouge opened the public hearing at 6:30 PM. None approached the Commission. Chair Gouge closed the public hearing at 6:31 PM.

BOARD ACTION

A motion was made by Commissioner Schwerin and seconded by Vice-Chair Chandler to recommend approval of Regular Agenda item 2 as presented. A vote was taken and carried 5-0.

3. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change of zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LISUP), to allow for a major auto repair use with vehicle display and sales on 0.71 acres located at 1506 Martinez Lane. (ZC2026-09).

Chair Gouge opened the public hearing at 6:37 PM. None approached the Commission. Chair Gouge closed the public hearing at 6:37 PM.

BOARD ACTION

A motion was made by Vice-Chair Chandler and seconded by Commissioner Marengo to recommend approval of Regular Agenda item 3 with conditions. A vote was taken and carried 5-0.

ADJOURNMENT

A motion was made by Commissioner Butler and seconded by Commissioner Marengo to adjourn the meeting at 6:44 PM. A vote was taken and carried 5 – 0.

Harold Gouge, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon a recommendation to City Council regarding a Replat being a Final Plat for Lot 2R-1, 2R-2 and 3R-1, Block A of Sanden Addition, establishing three lots on 56.67 acres, located at 701 Sanden Boulevard.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Sanden international (USA) INC.

APPLICANT: St. John Properties

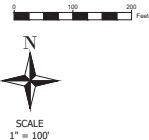
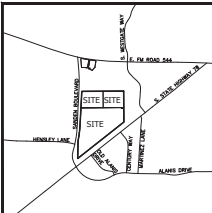
The applicant has submitted a Replat to create Lot 2R-1, 2R-2 and 3R-1, Block A of Sanden Addition, establishing three lots on 56.67 acres, located at 701 Sanden Boulevard. The property is zoned within the St. John Properties Planned development Ordinance 2026-22 approved by City council in May of 2026.

The purpose of the Final plat is to serve as a conveyance plat and allow for the financing of the individual lots.

The plat document abandons existing building setbacks and utility and access easements. A revised amended plat shall be submitted which contains all required public access, and utility easements prior to any Certificate of Occupancy being issued. The site plan for the subject property is on the regular agenda.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Gov't Code.



VICINITY MAP
NOT TO SCALE

NOTES

- Grid Bearings based on the Texas Coordinate System of the North American Datum of 1983 (2011) EPOCH 2010, North Central Zone 4202 from GPS observations using the RTK Cooperative Network.
- According to graphical plotting of the Flood Insurance Data Map for COLLIN County, Texas, Incorporated Area, Panel 420 of 606, Map Number 4806SC0420, Effective Date June 2, 2009 and Panel 535 of 606, Map Number 4806SC0353, Effective Date June 2, 2009, the subject property shown herein appears to be located in Zone "X" (Unshaded) defined as: Areas determined to be outside of the 0.2% annual chance floodplain and Zone "A" defined as: Area of Special Flood Hazard (the area subject to flooding by the 1% annual chance flood) No base flood elevations determined.
- This statement does not reflect any type of flood study by this firm.
- The purpose of the Plat is to split two lots into three lots and to abandon several easements and a building line.
- Notice - selling a portion of this addition by metes and bounds is a violation of City ordinances and State Law and is subject to fines and withholding of utilities and building permits.

OWNER'S DESIGNATION AND ACKNOWLEDGEMENT

KNOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That: _____, acting herein by and through his (its) duly authorized officers, does hereby adopt this conveyance plat designating the herein above described property as **SANDEN ADDITION, BLOCK A, LOTS 2R-1, 2R-2, 3R-1**, an addition to the City of Wylie, Texas.
THIS PLAT IS APPROVED SOLELY FOR THE PURPOSE OF DEFINING LOTS AND OTHER INTERESTS IN THE LAND DESCRIBED HEREIN. NO BUILDING PERMIT, CERTIFICATE OF OCCUPANCY, OR OTHER DEVELOPMENT APPROVAL SHALL BE ISSUED OR IS HEREBY INTENDED, NOR SHALL PERMANENT PUBLIC UTILITY SERVICE BE PROVIDED TO ANY LOT DESCRIBED ON THIS PLAT UNTIL A FINAL REPLAT IS APPROVED, FILED OF RECORD, AND THE PUBLIC IMPROVEMENTS SHOWN THEREON HAVE BEEN ACCEPTED IN CONJUNCTION WITH, BUT NOT LIMITED TO, AN APPROVED SET OF ENGINEERING PLANS IN ACCORDANCE WITH THE PROVISIONS OF THE ORDINANCES OF THE CITY OF WYLIE, TEXAS.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand at _____ this the _____ day of _____, 20____.

BY:

Authorized Signature of Owner _____

Printed Name and Title _____

STATE OF TEXAS §
COUNTY OF COLLIN §

Before Me, the undersigned authority, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated.

Given under my hand and seal of office this the _____ day of _____, 20____.

Notary Public in and for the State of Texas

APPROVED AND ACCEPTED

Change to the following:
"RECOMMENDED FOR APPROVAL"

Chairman, Planning & Zoning Commission Date _____
City of Wylie, Texas

"APPROVED FOR CONSTRUCTION"

Mayor, City of Wylie, Texas Date _____

"ACCEPTED"

Mayor, City of Wylie, Texas Date _____

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the _____ subdivision or addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the subdivision or streets, alleys, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

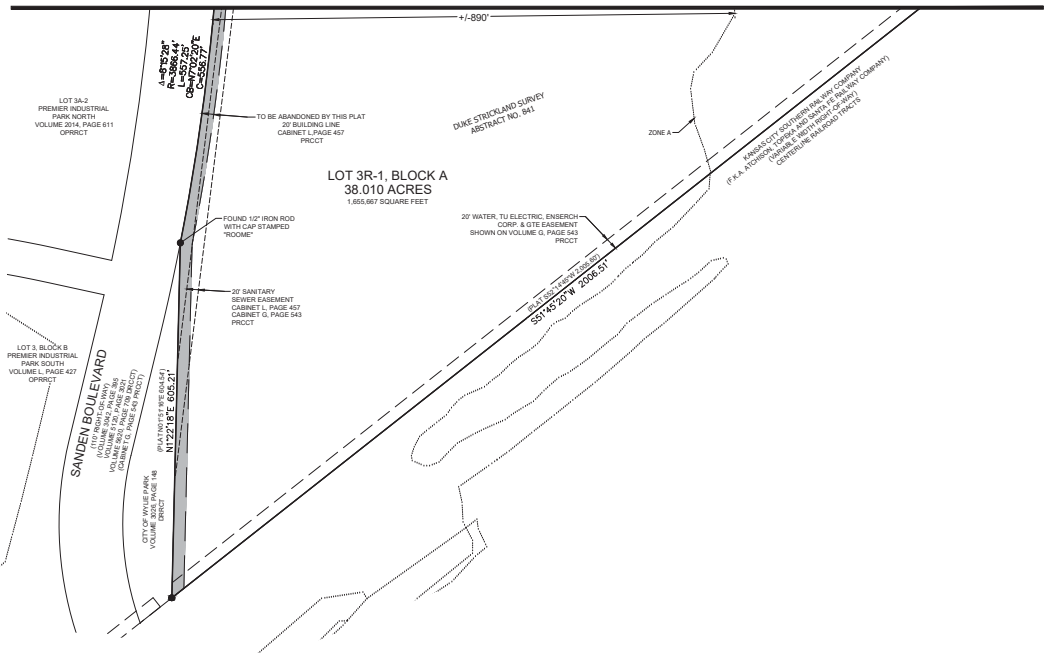
Witness my hand this _____ day of _____, A.D., 20____.

City Secretary
City of Wylie, Texas

LEGEND

_____	BOUNDARY LINE
_____	EASEMENT LINE
OPRCCT	OFFICIAL PUBLIC RECORDS COLLIN COUNTY TEXAS
DRICCT	DEED PUBLIC RECORDS COLLIN COUNTY TEXAS
PRCCT	PLAT RECORDS COLLIN COUNTY TEXAS
●	SET 12" IRON ROD WITH CAP STAMPED "yazellee.com"
////	AREA OF EASEMENT ABANDONED
////	AREA OF EASEMENT ABANDONED

MATCH LINE SHEET 1



OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

WHEREAS, Sanden International (USA) Inc. is the owner of a 56.67 acre tract of land situated in the Duke Strickland Survey, Abstract No. 841, being all of Lots 2 and 3, Block A, Sanden Addition, recorded in Volume 2012, Page 559, Plat Records, Collin County, Texas (PRCCT), and being more particularly described as follows:

BEGINNING at a found 1/2" iron pipe near a stone, in the north right-of-way of the Kansas City Southern Railway Company, at the southeast corner of Lot 2, Block A of Severell & Westgate Addition recorded in Volume 2021, Page 691 the Records, Collin County, Texas (PRCCT), the southeast corner of said Lot 3 and having Texas Coordinates System of North American Datum of 1983 (2011) EPOCH 2010, North Central Zone Grid Coordinates of Northing 7052941.6 and Easting 2584290.8;

THENCE South 51 degrees 48 minutes 20 seconds West, with the north right-of-way of the Kansas City Southern Railway Company and with the south line of said Lot 3, a distance of 2003.51 feet to a set 1/2" iron rod with yellow cap stamped "yazellee.com" at the southeast corner of a tract of land to City of Wylie, recorded in Volume 8026, Page 148 Deed Records, Collin County, Texas (DRICCT) and the southwest corner of said Lot 3;

THENCE North 01 degrees 22 minutes 18 seconds East, with the west line of said Lot 3 and with the east line of the City of Wylie Tract, 605.23 feet to a found 1/2" iron rod with cap stamped "ROOM" on the west line of Lot 3 Block A Sanden Addition, the northern most point of the City of Wylie tract, and in the east right-of-way line of Sanden Boulevard (12" Right-of-Way, Volume 5043, Page 395, Volume 5203, Page 3021 Volume 5620, Page 709 DRICCT, and Cabinet G, Page 543 PRCCT) at the beginning of a curve to the left having a radius of 3866.4 feet and whose chord bears north 07 degrees 02 minutes 20 seconds East, a distance of 556.77 feet;

THENCE Northwesterly with the curve to the left and through a central angle of 08 degrees 15 minutes 28 seconds at an arc distance of 559.25 feet to a found 1/2" iron rod with cap stamped "ROOM" on the east line of Lot 3 Block A Sanden Addition;

THENCE North 02 degrees 54 minutes 36 seconds East, with the east right-of-way line of Sanden Boulevard and with the west line of Lot 3 and Lot 2 Block A of the Sanden Addition, a distance of 1,131.31 feet to a found 1/2" iron rod with cap stamped "ROOM" at the northeast corner of said Lot 3 Block A of Sanden Addition and at the southwest corner of Lot 18-4 Block A of the Sanden Addition recorded in Volume 2023, Page 1004 recorded in Plat Records, Collin County, Texas (PRCCT);

THENCE North 09 degrees 34 minutes 25 seconds East, with the north line of said Lot 2 and Lot 3 Block A of the Sanden Addition, with the south line of said Lot 18-4 and Lot 18-1 Block A of the Sanden Addition, a distance of 1427.38 feet to a found "X" call at the southeast corner of said Lot 18-4 and the northeast corner of said Lot 4;

THENCE South 09 degrees 27 minutes 16 seconds East, with the east line of said Lot 3 and 4 Block A of Sanden Addition, with the east line of Lot 18, Block A of the Severell & Westgate Addition, recorded in Volume 2021, Page 569 (PRCCT) and with the west line of said Lot 2, Block A of Severell & Westgate Addition, a distance of 1,256.06 feet to the POINT OF BEGINNING and containing 56.67 acres.

FINAL PLAT
LOTS 2R-1, 2R-2, 3R-1
BLOCK A
SANDEN ADDITION
56.67 ACRES

BEING A CONVEYANCE PLAT OF BLOCK A, LOTS 2 AND 3 OF
THE SANDEN ADDITION, RECORDED IN
VOLUME 2022, PAGE 559, OPRCCT
DUKE STRICKLAND SURVEY ABSTRACT 841
CITY OF WYLIE, COLLIN COUNTY, TEXAS



YAZELLE & ASSOCIATES LLC
PLANNING & ZONING
1000 W. 17TH STREET, SUITE 100
DALLAS, TEXAS 75204
PHONE: 214-266-3316
FAX: 214-266-3316
WWW.YAZELLE.COM

OWNER:
SANDEN INTERNATIONAL (USA) INC.
601 SANDEN BLVD
WYLIE, TEXAS 75098

DEVELOPER:
ST. JOHN PROPERTIES
7250 DALLAS PARKWAY, SUITE 400
PLANO, TEXAS 75024

SURVEYOR:
YAZELLE & ASSOCIATES LLC
PO BOX 210097
BEFORD, TX 75005
PHONE: 817-266-3316

SURVEYOR'S CERTIFICATE

I, Deanne L. Hunt, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

Deanne L. Hunt
Registered Professional Land Surveyor No. 6230

STATE OF TEXAS -
COUNTY OF TARRANT -

Before Me, the undersigned authority, on this day personally appeared Deanne L. Hunt known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed, in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 20____.

Notary Public in and for the State of Texas

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: C

Subject

Consider, and act upon, a recommendation to the City Council regarding a Preliminary Plat of Lot 1 & 2 Block A of Wylie EDC Retail creating two commercial lots on 25.484 acres, located at 2002 W FM 544.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Wylie Economic Corporation

APPLICANT: Winkelmann & Associates, Inc

The applicant has submitted a Preliminary Plat of Lot 1 & 2 Block A of Wylie EDC Retail, creating two commercial lots on 25.484 acres. The property is zoned Commercial Corridor and Agricultural.

The purpose of this request is to combine tracts of land for future retail development. A final plat shall be submitted which contains all required public access, and utility easements prior to any Certificate of Occupancy being issued.

The site plan for the site will be presented to the Planning and Zoning Commission on August 18, 2026 and to City Council on September 09, 2026 through a Special Use Permit Zoning request (ZC 2026-10) for a wholesale development with minor auto repair and a fueling station.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

GENERAL NOTES:

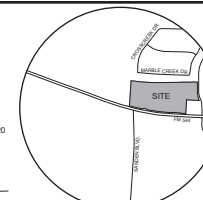
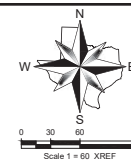
1. Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines and withholding of utilities and building permits.

FLOOD NOTE

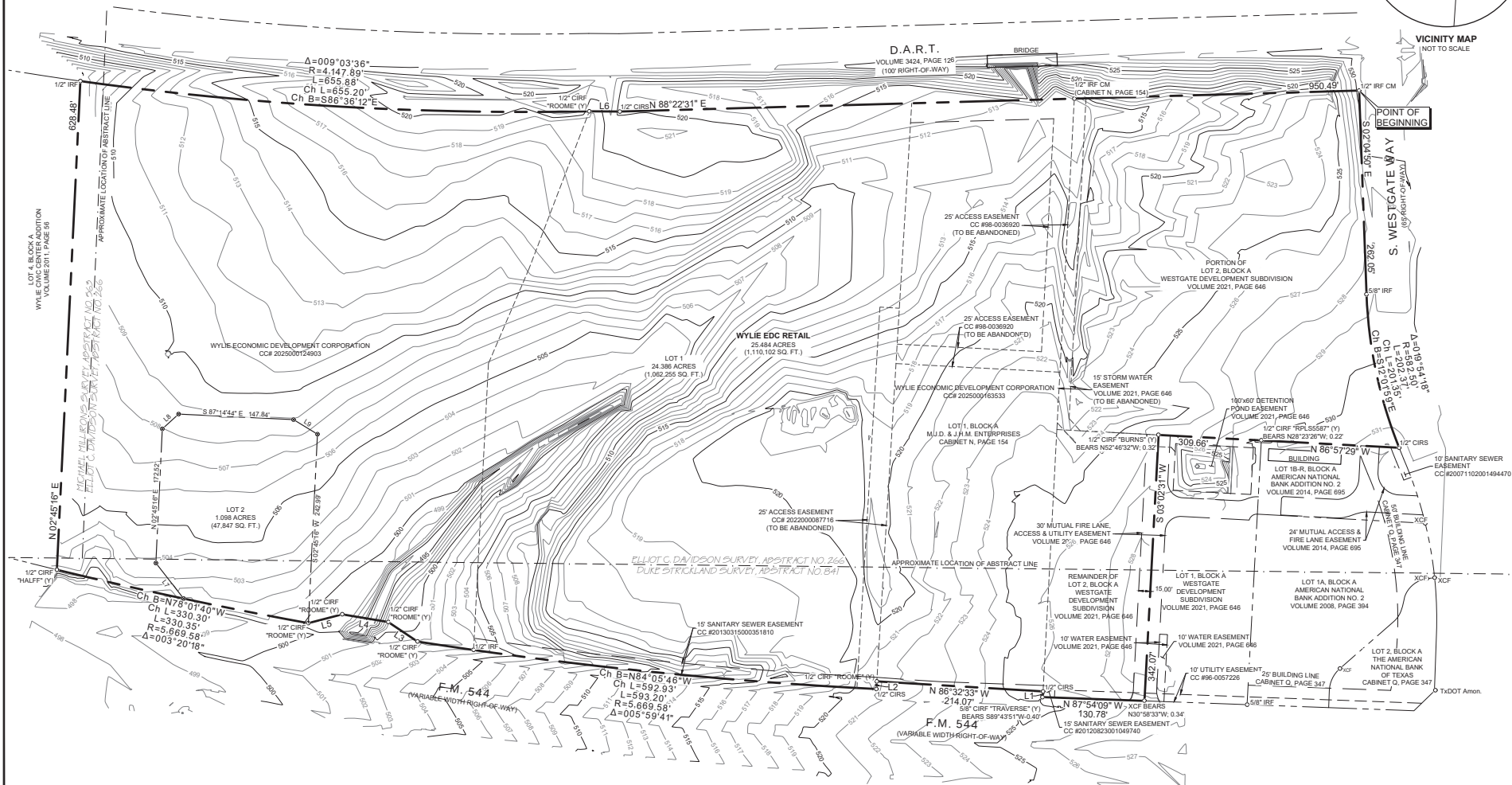
According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48085C0420J, dated June 2, 2009, this property is within Flood Zone X.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain.

This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.



VICINITY MAP



PRELIMINARY PLAT

WYLIE EDC RETAIL

LOTS 1 & 2, BLOCK A
BEING 25.484 ACRES OUT OF THE THE MICHAEL
MILLIRONS SURVEY, ABSTRACT NO. 563
CITY OF WYLIE, COLLIN COUNTY, TEXAS
PREPARED: June, 2026
REVISED: July, 2026

SURVEYOR

SURVEYOR:
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Drive, Suite 210
Dallas, Texas 75230
Phone: (972) 490-7090
Llueker@winkelmann.com

ENGINEER:

ENGINEER:
Winkelmann & Associates, Inc.
15 6750 Hillcrest Plaza Drive, Suite 215
Dallas, Texas 75230
Phone: (972) 490-7090
mhaskin@winkelmann.com

OWNER-

OWNER:
Wylie Economic Development
Corporation
250 South Highway 78
Wylie, Texas 75098

OWNERS CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

WHEREAS, Wylie Economic Development Corporation, being the sole owners of a tract of land situated on the MICHAEL MILLIRONS SURVEY, ABSTRACT NO. 563, in the City of Wylie, Collin County, Texas, in the City of Wylie, Collin County, Texas, being all of a tract of land described in deed to Kates Group, Inc. as recorded in County Clerk's Instrument No. 20240027438, Official Public Records, Collin County, Texas, all of a tract of land described in deed to L.M.B. as recorded in County Clerk's Instrument No. 202500007604, Official Public Records, Collin County, Texas, all of Lot 2, Block A, Westgate Development Subdivision, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Volume 2021, Page 648, Official Public Records, Collin County, Texas, all of a tract of land described in deed to Wylie Economic Development Corporation as recorded in County Clerk's Instrument No. 202500163533, Official Public Records, Collin County, Texas, all of Lot 1, Block A, M.J.D. & J.H.M. Enterprises as recorded in Cabinet N, Page 154, Official Public Records, Collin County, Texas, all of a tract of land described in deed to Wylie Realty Investments, L.L.C. as recorded in County Clerk's Instrument No. 2022000087717, Official Public Records, Collin County, Texas, and all of a tract of land described in deed to Wylie Economic Development Corporation as recorded in County Clerk's Instrument No. 2025000124903, Official Public Records, Collin County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod found for corner at the intersection of the West right-of-way of S. Westgate Way, a 65-foot right-of-way with the South line of a tract of land described in deed to D.A.R.T. (Dallas Area Rapid Transit) as recorded in Volume 3424, Page 126, Deed Records, Collin County, Texas, said point being the most Northerly Northeast corner of said Lot 2, Block A of said Westgate Development Subdivision;

THENCE South 02 degrees 04 minutes 50 seconds East, departing said South line and along the West right-of-way of S. Westgate Way, a distance of 202.05 feet to a 5/8-inch iron rod found for corner and the beginning of a curve to the left having a radius of 592.50 feet, a central angle of 19 degrees 54 minutes 18 seconds, a chord bearing of South 12 degrees 01 minutes 59 seconds East and a chord length of 201.35 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner, said point being the Northeast corner of Lot 1B, Block A, American National Bank Addition No. 2, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Volume 2014, Page 895, Official Public Records, Collin County, Texas;

THENCE North 86 degrees 57 minutes 29 seconds West, departing the West right-of-way of said S. Westgate Way and along the North line of said Lot 1B, Block A, at a distance of 177.42 feet passing a point to the Northwest corner of said Lot 1B, Block A, the Northeast corner of Lot 1, Block A of said Westgate Development Subdivision from which a 1/2-inch iron rod with yellow plastic cap stamped "RPL35587" found bears North 28 degrees 23 minutes 26 seconds West, a distance of 0.22 feet, in all a total distance of 359.36 feet to a point for the Northwest corner of Lot 1, Block A of said Westgate Development Subdivision and the Northeast corner of said L.M.B. Partnership, Ltd. tract from which a 1/2-inch iron rod with yellow plastic cap stamped "BURNS" bears North 52 degrees 46 minutes 32 seconds West, a distance of 0.32 feet;

THENCE South 03 degrees 02 minutes 31 seconds West, departing the North line and along the West line of said Lot 1, Block A and along an East line of said L.M.B. Partnership, Ltd. tract, a distance of 342.07 feet to a point for corner from which an "X" cut in concrete found bears North 30 degrees 58 minutes 05 seconds West, a distance of 0.34 feet, said point being situated on the North right-of-way of F.M. 544, a variable width right-of-way;

THENCE departing the East line of said L.M.B. Partnership, Ltd. tract, along the North right-of-way of F.M. 544, the following courses and distances:

North 87 degrees 54 minutes 09 seconds West, a distance of 130.78 feet to a point for corner from which a 5/8-inch iron rod with yellow plastic cap stamped "TRAVERSE" found bears South 89 degrees 43 minutes 51 seconds West, a distance of 0.40 feet;

North 03 degrees 01 minutes 08 seconds East, a distance of 7.37 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

North 88 degrees 32 minutes 33 seconds West, a distance of 214.07 feet to a 1/2-inch iron rod with yellow plastic cap stamped "ROOMIE" found for corner;

South 85 degrees 27 minutes 27 seconds West, a distance of 9.85 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner and the beginning of a non-tangent curve to the right having a radius of 5,869.56 feet, a central angle of 05 degrees 59 minutes 41 seconds, a chord bearing of North 84 degrees 05 minutes 48 seconds West and a chord length of 593.93 feet;

Along said non-tangent curve to the right, an arc distance of 593.20 feet to a 1/2-inch iron rod with yellow plastic cap stamped "ROOMIE" found for corner;

North 56 degrees 15 minutes 23 seconds West, a distance of 45.13 feet to a 1/2-inch iron rod with yellow plastic cap stamped "ROOMIE" found for corner;

North 80 degrees 31 minutes 18 seconds West, a distance of 60.00 feet to a 1/2-inch iron rod with yellow plastic cap stamped "ROOMIE" found for corner;

South 75 degrees 26 minutes 26 seconds West, a distance of 45.00 feet to a 1/2-inch iron rod with yellow plastic cap stamped "ROOMIE" found for corner, said point being the beginning of a non-tangent curve to the right having a radius of 5,668.58 feet, a central angle of 03 degrees 20 minutes 18 seconds, a chord bearing of North 78 degrees 01 minutes 40 seconds West and a chord length of 330.30 feet;

Along said non-tangent curve to the right, an arc distance of 330.35 feet to a 1/2-inch iron rod with yellow plastic cap stamped "HALFP" found for the Southwest corner of a tract of land (Tract II) as described in deed to the City of Wylie, Texas as recorded in County Clerk's Instrument No. 200500900178658, Official Public Records, Collin County, Texas, the Southeast corner of Lot 4, Block A, Wylie Civic Center Addition, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Volume 2011, Page 56, Official Public Records, Collin County, Texas, and the Southwest corner of a tract of land described in deed to Wylie Economic Development Corporation as recorded in County Clerk's Instrument No. 2025000124903, Official Public Records, Collin County, Texas;

THENCE North 02 degrees 45 minutes 16 seconds East, departing the North right-of-way of said F.M. 544, along the East line of said Lot 4, Block A and City of Wylie, Texas (Tract III) tract and the West line of said Wylie Economic Development Corporation tract, a distance of 628.48 feet to a 1/2-inch iron rod found for corner, said point being the Northwest corner of said Lot 4, Block A, Wylie Civic Center Addition and said City of Wylie, Texas (Tract III) tract and the Northwest corner of said Wylie Economic Development Corporation tract on the South line of said D.A.R.T. tract, said point being the beginning of a non-tangent curve to the left having a radius of 4,147.89 feet, a central angle of 09 degrees 03 minutes 36 seconds, a chord bearing of South 86 degrees 36 minutes 12 seconds East and a chord length of 665.20 feet;

THENCE departing the East line of said Lot 4, Block A and City of Wylie, Texas (Tract III) tract, along the North line of said Wylie Economic Development Corporation tract and the South line of said D.A.R.T. tract, the following courses and distances:

Along said non-tangent curve to the left, an arc distance of 665.88 feet to a 1/2-inch iron rod with yellow plastic cap stamped "ROOMIE" found for corner, said iron rod being the Northeast corner of said Wylie Economic Development Corporation tract and the Northwest corner of a tract of land described in deed to Wylie Realty Investments, L.L.C. as recorded in County Clerk's Instrument No. 2022000087717, Official Public Records, Collin County, Texas;

South 89 degrees 34 minutes 09 seconds East, a distance of 39.27 feet to a 1/2-inch iron rod with red plastic cap stamped "W.A.I. 5714" set for corner;

THENCE North 88 degrees 22 minutes 31 seconds East, continuing along the North line of said Wylie Economic Development Corporation tract and the South line of said D.A.R.T. tract, a distance of 550.46 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 25.484 acres or 1,110,102 square feet of land, more or less.

Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 30th day of May, 2026, utilizing a G.P.S. bearing related to the Texas North Central Zone (4202), NAD 83, grid values from the GeoHack VRS network.

OWNERS DEDICATION

NOW, THEREFORE, KNOWN ALL MEN BY THESE PRESENTS:

THAT, Wylie Economic Development Corporation, do hereby bind themselves and their heirs, assigns and successors to file this plat designating the hereinabove described property as Wylie EDC Retail, Lot 1 & 2, Block A, an addition to the City of Wylie, and do hereby dedicate to the public use forever the streets, alleys, and right-of-way easements shown thereon, and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths that in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these

easement strips, and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, without the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

That the undersigned do hereby covenant and agree that they shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface and that they shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking of motor vehicles, trailers, boats or other impediments to the access of fire apparatus, the maintenance of paving on the fire lane easements is the responsibility of the owner, and the owner shall post and maintain appropriate signs in conspicuous places along such fire lanes, stating "Fire Lane, No Parking." The Fire Marshal or his duly authorized representative or the Chief of Police or his duly authorized representative is hereby authorized to cause such fire lane and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

WITNESS, my hand, this _____ day of _____, 2026.

BY: Wylie Economic Development Corporation

Signatory for Wylie Economic Development Corporation

Printed Name and Title

STATE OF TEXAS §
COUNTY OF COLLIN §

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed. Given under my hand and seal of office, this ____ day of _____, 2026.

Notary Public in and for the State of Texas

My Commission Expires On:

SURVEYOR'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

KNOW ALL MEN BY THESE PRESENTS:

That I, Leonard J. Lueker, do hereby certify, that I have prepared this plat from an actual on the ground survey of the land as described and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Wylie Planning and Zoning Commission.

PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

Leonard J. Lueker
Registered Professional Land Surveyor
Texas Registration #5714
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Dr. #325
Dallas, Texas 75230
972490-7090

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared LEONARD J. LUEKER, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE This _____ day of _____, 2026.

Notary Public in and for the State of Texas

My Commission Expires:

"Recommended for Approval"

Chairman, Planning & Zoning Commission
City of Wylie, Texas

Date

"Approved for Construction"

Mayor, City of Wylie, Texas

Date

"Accepted"

Mayor, City of Wylie, Texas

Date

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the Wylie EDC Retail subdivision or addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 2026, and the Council, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this _____ day of _____, A.D., 2026.

City Secretary
City of Wylie, Texas

Winkelmann & Associates, Inc.
Surveyors
10000 Preston Road, Suite 1000
Dallas, Texas 75240
Phone: (972) 490-7090
Fax: (972) 490-7090
www.winkelmann.com

MICHAEL MILLIRONS SURVEY ABSTRACT NO. 563
CITY OF CITY OF WYLIE, COLLIN COUNTY, TEXAS
WYLIE ECONOMIC DEVELOPMENT CORPORATION
250 SOUTH HIGHWAY 78
WYLIE, TEXAS 75098

PRELIMINARY PLAT
WYLIE EDC RETAIL
LOTS 1 & 2, BLOCK A

Date : 07/26
Scale : N/A
File : 88443.00 - PPLT
Project No. : 88443

SUBMIT
21

PRELIMINARY PLAT
WYLIE EDC RETAIL

LOTS 1 & 2, BLOCK A
BEING 25.484 ACRES OUT OF THE MICHAEL MILLIRONS SURVEY, ABSTRACT NO. 563 CITY OF WYLIE, COLLIN COUNTY, TEXAS
PREPARED: June, 2026
REVISED: July, 2026

SURVEYOR:
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Drive, Suite 215
Dallas, Texas 75230
Phone: (972) 490-7090
l.lueker@winkelmann.com

ENGINEER:
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Drive, Suite 215
Dallas, Texas 75230
Phone: (972) 490-7090
mhack@winkelmann.com

OWNER:
Wylie Economic Development Corporation
250 South Highway 78
Wylie, Texas 75098



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
 Prepared By: Kevin Molina

Item Number: 1

Subject

Consider, and act upon, a Site Plan for Lot 2R-1, 2R-2, and 3R-1 Block A of Sanden Addition for the development of a multi-building flex space commercial/light industrial development. Property generally located on 56.67 acres at 701 Sanden Boulevard.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Sanden international (USA) INC.

APPLICANT: St. John Properties

The applicant is proposing to develop 280,120 square feet of flex space development on three lots being Lot 2R-1, 2R-2 and 3R-1 of Sanden Addition. The property is generally located on 56.67 acres at 701 Sanden Boulevard. The proposed use is allowed by right within Planned Development 2026-22 approved by City Council in May of 2026. A conveyance plat for this development is on the consent agenda.

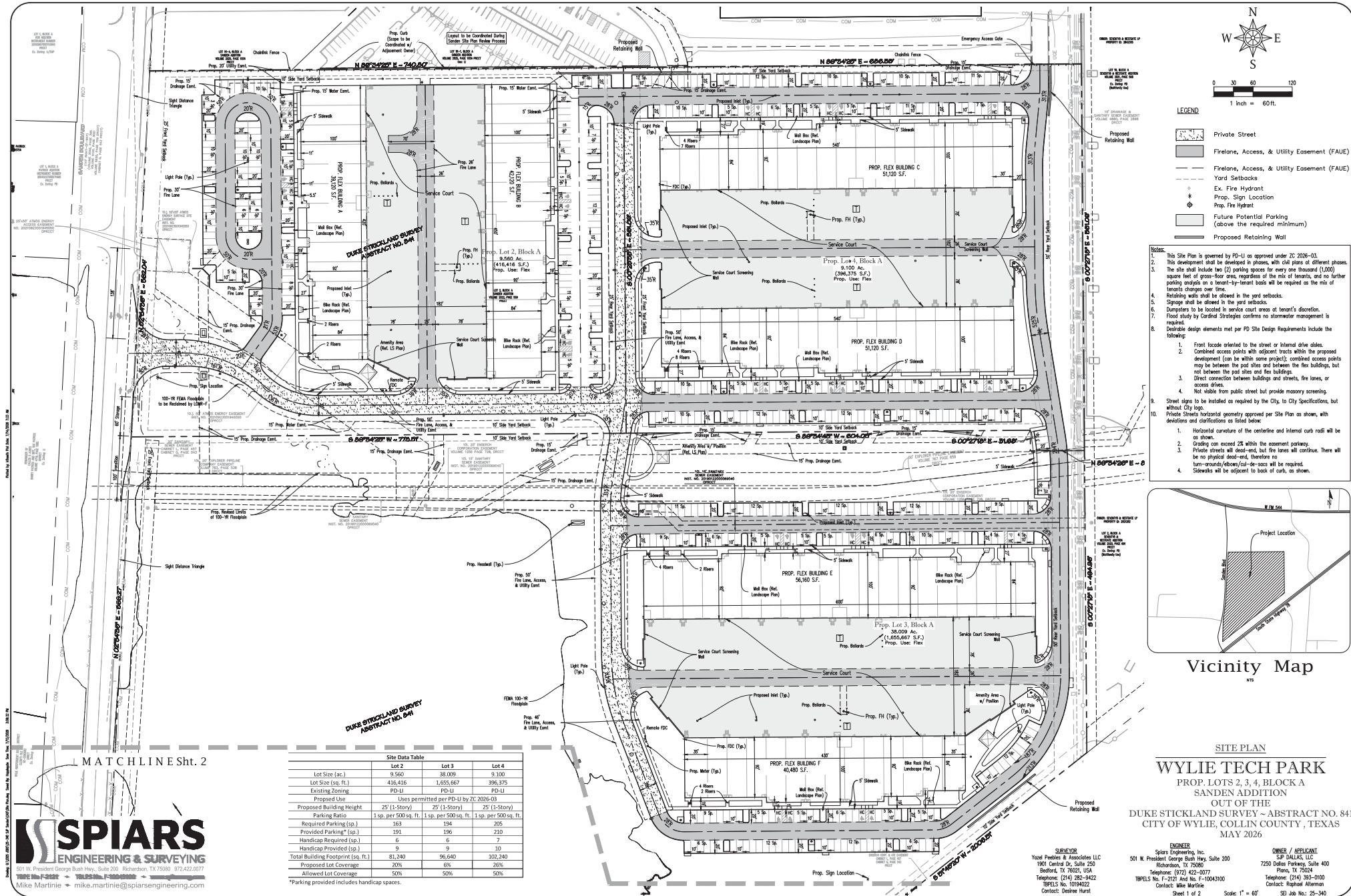
The development is proposed to contain six flex space structures on three lots with access from Sanden Boulevard and from FM 544. The development is in the process of acquiring cross access easements with Sanden International (USA) via a recorded plat document. Fire lane access is provided throughout the site ensuring hose lay compliance with proper fire hydrant spacing.

The development provides 597 parking spaces with 28 being ADA accessible. The parking provided is in compliance with the minimum requirements of the Zoning Ordinance and of Planned Development 2026-22.

The site is providing 26% of overall landscaped area which is in compliance with the 10% minimum landscaping requirement. The landscape plan includes an enhanced landscape buffer along Sanden Boulevard with tree plantings along the parking areas. The development also contains pedestrian access throughout the site with amenity pavilion areas.

The structure's exterior material consists of field and accent brick. Entrances are emphasized with recessed architectural features. Planned Development 2026-22 also allows for the development to have outside accessory uses within the service courts. Depending on the user additional screening, fencing or bollards shall be required. An example of when this would be needed is for a day care business that has outdoor play areas. The Fire lanes along the service courts shall not be blocked.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and of PD 2026-22. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.





LEGEND

	Firelane, Access, & Utility Easement (FAUE)
	Firelane, Access, & Utility Easement (FAUE)
	Ex. Fire Hydrant
	Prop. Sign Location

SITE PLAN

WYLIE TECH PARK

PROP. LOTS 2, 3, 4, BLOCK A
SANDEN ADDITION
OUT OF THE
DUKE STICKLAND SURVEY ~ ABSTRACT NO. 841
CITY OF WYLIE, COLLIN COUNTY, TEXAS
MAY 2026

SURVEYOR
Yozel Peebles & Associates LLC
1901 Central Dr, Suite 250
Bedford, TX 76021, USA
Telephone: (214) 282-9422
BP&S No. 10194022
Contact: Desiree Hurst

ENGINEER
Spiors Engineering, Inc.
501 W. President George Bush Hwy, Suite 200
Richardson, TX 75080
Telephone: (972) 422-0077
TBPELS No. F-2121 And No. F-10043100
Contact: Mike Martine
Sheet 3 of 3 Scale

OWNER / APPLICANT
SIP DALLAS, LLC
7250 Dallas Parkway, Suite 400
Plano, TX 75024
Telephone: (214) 393-0100
Contact: Raphael Alterman
SEI Job No.: 25-340



- Notes:
1. Retaining walls shall be allowed in the yard setbacks.
 2. Signage shall be allowed in the yard setbacks.

LEGEND

* Prop.	Sign	Location
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Vicinity Map

IMPROVEMENT EXHIBIT
WYLIE TECH PARK

EX. LOTS IR-2, IR-3
BLOCK A
SANDEN ADDITION
OUT OF THE
DUKE STICKLAND SURVEY ~ ABSTRACT NO. 841
CITY OF WYLIE, COLLIN COUNTY, TEXAS
MAY 2026

ENGINEER
Spars Engineering, Inc.
501 W. President George Bush Hwy, Suite 200
Richardson, TX 75080
Telephone: (972) 422-0077
TBPELS No. F-2121 And No. F-10043100
Contact: Mike Martinie

DEVELOPER
SJP DALLAS, LLC
7250 Dallas Parkway, Suite 400
Plano, TX 75024
Telephone: (214) 393-0100
Contact: Raphael Alterman



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDermott Dr.
Allen, Texas 75013
(409) 369-4448
CHRS@STUDIOGREENSPOT.COM



ST. JOHN'S INDUSTRIAL
SANDEN BLVD
CITY OF WYLE, TEXAS

ISSUE:
FOR APPROVAL 04-30-2026
CITY COMMENTS 06-03-2026
CITY COMMENTS 07-14-2026

DATE:
07.14.2026
SHEET NAME:
TREE PRESERVATION PLAN
SHEET NUMBER:

L1.01

EXISTING TREE NOTES

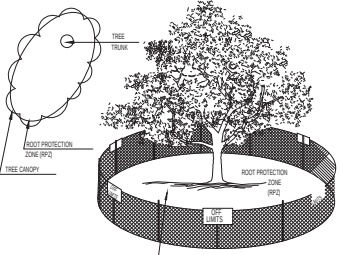
- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP-LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING ZONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP-LINE OF ANY TREE.
- EQUIPMENT CLEANING/FLUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED, TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP-LINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP-LINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY EIGHT (48) INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (1" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 12 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP-LINE. THE PROTECTIVE FENCING MAY BE COMPOSED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAILS.
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAILS(S).
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

TREE PRESERVATION PLAN



EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO DCL 1



NOTE: FENCING SHOWN ABOVE IS DIAGRAMMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND LIMITED TO PROJECT BOUNDARY

01 TREE PROTECTION FENCE A

NOT TO SCALE

Tree #	Species - Common	Species - Scientific	DBH (in.)	Multi - Stem Notes (in.)	TO REMAIN/TO BE REMOVED	EXEMPT IN BUILDABLE AREA (IN)	CALIPER INCHES TO REMAIN	Condition
2317	Bur Oak	Quercus macrocarpa	11		TO BE REMOVED	5		FAIR
2362	Bur Oak	Quercus macrocarpa	11		TO BE REMOVED	11		FAIR
2363	Bur Oak	Quercus macrocarpa	13.5		TO BE REMOVED	13.5		FAIR
2364	Eastern Redbud	Cercis canadensis	8		TO BE REMOVED	8		VERY POOR
2365	Bur Oak	Quercus macrocarpa	9		TO BE REMOVED	9		FAIR
2366	Mexican Ash	Fraxinus berlandieriana	19.5		TO BE REMOVED	19.5		FAIR
2367	Mexican Ash	Fraxinus berlandieriana	20		TO BE REMOVED	20		FAIR
2368	Mexican Ash	Fraxinus berlandieriana	12.5		TO BE REMOVED	12.5		VERY POOR
2369	Mexican Ash	Fraxinus berlandieriana	17		TO BE REMOVED	17		POOR
2370	Mexican Ash	Fraxinus berlandieriana	12.5		TO BE REMOVED	12.5		FAIR
2371	Mexican Ash	Fraxinus berlandieriana	10		TO BE REMOVED	10		FAIR
2372	Mexican Ash	Fraxinus berlandieriana	20		TO BE REMOVED	20		POOR
2373	Mexican Ash	Fraxinus berlandieriana	9		TO BE REMOVED	9		VERY POOR
2374	Mexican Ash	Fraxinus berlandieriana	21		TO BE REMOVED	21		POOR
2375	Bur Oak	Quercus macrocarpa	15		TO BE REMOVED	15		FAIR
2377	Bur Oak	Quercus macrocarpa	9		TO BE REMOVED	9		FAIR
2378	Bur Oak	Quercus macrocarpa	10.5		TO BE REMOVED	10.5		FAIR
2379	Bur Oak	Quercus macrocarpa	17		TO BE REMOVED	17		FAIR
2380	Bur Oak	Quercus macrocarpa	16		TO BE REMOVED	16		FAIR
2381	Mexican Ash	Fraxinus berlandieriana	18.5		TO BE REMOVED	18.5		POOR
2382	Mexican Ash	Fraxinus berlandieriana	12.5		TO BE REMOVED	12.5		FAIR
2383	Mexican Ash	Fraxinus berlandieriana	13		TO BE REMOVED	13		FAIR
2384	Mexican Ash	Fraxinus berlandieriana	10		TO BE REMOVED	10		FAIR
2385	Eastern Redbud	Cercis canadensis	13.5		TO BE REMOVED	13.5		VERY POOR
2386	Bur Oak	Quercus macrocarpa	12.5		TO BE REMOVED	12.5		FAIR
2387	Bur Oak	Quercus macrocarpa	12		TO BE REMOVED	12		FAIR
2388	Mexican Ash	Fraxinus berlandieriana	25.5		TO BE REMOVED	25.5		VERY POOR
2389	Bald Cypress	Taxodium distichum	13		TO BE REMOVED	13		FAIR
2390	Bald Cypress	Taxodium distichum	9.5		TO BE REMOVED	9.5		FAIR
2391	Osage Elm	Ulmus crassifolia	6.5		TO BE REMOVED	6.5		FAIR
2392	Osage Orange	Madura pomifera	21	12X106	TO BE REMOVED	21		FAIR
2393	Osage Orange	Madura pomifera	14.5	106	TO BE REMOVED	14.5		FAIR
2394	Osage Orange	Madura pomifera	18.5		TO BE REMOVED	18.5		FAIR
2395	Osage Orange	Madura pomifera	19	136X56	TO BE REMOVED	19		FAIR
2396	Osage Elm	Ulmus crassifolia	19.5	98X7.5X5.5	TO BE REMOVED	19.5		FAIR
2397	Hackberry	Q.alis occidentalis	10		TO BE REMOVED	10		FAIR
2398	Chinese Elm	Ulmus parvifolia	15		TO BE REMOVED	15		FAIR
2399	Chinese Elm	Ulmus parvifolia	13		TO BE REMOVED	13		FAIR
2400	Chinese Elm	Ulmus parvifolia	17		TO BE REMOVED	17		FAIR
2401	Chinese Elm	Ulmus parvifolia	17		TO BE REMOVED	17		FAIR
2402	Chinese Elm	Ulmus parvifolia	13		TO BE REMOVED	13		FAIR
2403	Chinese Elm	Ulmus parvifolia	18		TO BE REMOVED	18		FAIR
2404	Ottomwood	Ulmus crassifolia	14.5		TO BE REMOVED	14.5		FAIR
2405	Ottomwood	Ulmus crassifolia	22	15X14.5	TO BE REMOVED	22		FAIR
2406	Bald Cypress	Taxodium distichum	10		TO BE REMOVED	10		FAIR
2407	Bald Cypress	Taxodium distichum	9.5		TO BE REMOVED	9.5		FAIR
2408	Hackberry	Q.alis occidentalis	9		TO BE REMOVED	9		FAIR
2409	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2410	Bald Cypress	Taxodium distichum	9		TO BE REMOVED	9		FAIR
2411	Bald Cypress	Taxodium distichum	9		TO BE REMOVED	9		FAIR
2412	American Elm	Ulmus americana	15.5		TO BE REMOVED	15.5		POOR
2413	Bald Cypress	Taxodium distichum	9		TO BE REMOVED	9		FAIR
2414	Bald Cypress	Taxodium distichum	10.5		TO BE REMOVED	10.5		FAIR
2415	Bald Cypress	Taxodium distichum	8		TO BE REMOVED	8		FAIR
2416	Bald Cypress	Taxodium distichum	10.5		TO BE REMOVED	10.5		FAIR
2417	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		POOR
2418	Bald Cypress	Taxodium distichum	8		TO BE REMOVED	8		FAIR
2419	Hackberry	Q.alis occidentalis	15		TO BE REMOVED	15		FAIR
2420	Bald Cypress	Taxodium distichum	8.5		TO BE REMOVED	8.5		FAIR
2421	Bald Cypress	Taxodium distichum	17.5		TO BE REMOVED	17.5		FAIR
2422	Ottomwood	Ulmus crassifolia	17		TO BE REMOVED	17		POOR
2423	Black Willow	Salix nigra	11.5		TO BE REMOVED	11.5		POOR
2424	American Elm	Ulmus americana	10		TO BE REMOVED	10		FAIR
2425	American Elm	Ulmus americana	6.5		TO BE REMOVED	6.5		FAIR
2426	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2427	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		FAIR
2428	Black Willow	Salix nigra	10		TO BE REMOVED	10		FAIR
2429	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2430	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2431	Hackberry	Q.alis occidentalis	12.5		TO BE REMOVED	12.5		FAIR
2432	Black Willow	Salix nigra	14		TO BE REMOVED	14		FAIR
2433	Black Willow	Salix nigra	8.5		TO BE REMOVED	8.5		FAIR
2434	American Elm	Ulmus americana	9		TO BE REMOVED	9		FAIR
2435	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2436	Green Ash	Fraxinus pennsylvanica	13.5	6X5.5X5.5X4.5	TO BE REMOVED	13.5		FAIR
2437	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2438	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2439	Osage Orange	Madura pomifera	16		TO BE REMOVED	16		FAIR
2440	Hackberry	Q.alis occidentalis	10.5		TO BE REMOVED	10.5		FAIR
2441	Black Willow	Salix nigra	13.5		TO BE REMOVED	13.5		POOR
2442	Hackberry	Q.alis occidentalis	9		TO BE REMOVED	9		FAIR
2443	Black Willow	Salix nigra	11		TO BE REMOVED	11		FAIR
2444	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2445	Osage Orange	Madura pomifera	15		TO BE REMOVED	15		FAIR
2446	Hackberry	Q.alis occidentalis	16.5	19X7	TO BE REMOVED	16.5		FAIR
2447	American Elm	Ulmus americana	11	8X6.5	TO BE REMOVED	11		FAIR
2448	Black Willow	Salix nigra	12.5	8.5X6	TO BE REMOVED	12.5		FAIR
2449	Hackberry	Q.alis occidentalis	12		TO BE REMOVED	12		FAIR
2450	Osage Orange	Madura pomifera	19	109X59	TO BE REMOVED	19		FAIR
2451	Hackberry	Q.alis occidentalis	11.5	9X5	TO BE REMOVED	11.5		FAIR
2452	Hackberry	Q.alis occidentalis	9.5	7X5.5	TO BE REMOVED	9.5		FAIR
2453	Hackberry	Q.alis occidentalis	12.5	8X7	TO BE REMOVED	12.5		FAIR
2454	Hackberry	Q.alis occidentalis	7		TO REMAIN	7	13	FAIR
2455	Hackberry	Q.alis occidentalis	13		TO REMAIN	13		FAIR
2456	Hackberry	Q.alis occidentalis	8.5		TO BE REMOVED	8.5		FAIR
2457	American Elm	Ulmus americana	18.5	13.5X10.5	TO REMAIN	18.5		FAIR
2458	American Elm	Ulmus americana	6.5		TO BE REMOVED	6.5		FAIR
2459	Osage Orange	Madura pomifera	17	12X10.5	TO REMAIN	17		FAIR
2460	Bald Cypress	Taxodium distichum	8.5		TO REMAIN	8.5		FAIR
2461	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		POOR
2462	American Elm	Ulmus americana	12.5	9.5X6.5	TO BE REMOVED	12.5		FAIR

Tree #	Species - Common	Species - Scientific	DBH (in.)	Multi - Stem Notes (in.)	TO REMAIN/TO BE REMOVED	EXEMPT IN BUILDABLE AREA (IN)	CALIPER INCHES TO REMAIN	Condition
2463	Black Willow	Salix nigra	20		TO BE REMOVED	20		FAIR
2464	Honey Locust	Gleditsia triacanthos	7		TO BE REMOVED	7		FAIR
2465	American Elm	Ulmus americana	11		TO BE REMOVED	11		FAIR
2466	Black Willow	Salix nigra	12.5		TO BE REMOVED	12.5		FAIR
2467	Black Willow	Salix nigra	16		TO BE REMOVED	16		FAIR
2468	Bald Cypress	Taxodium distichum	16		TO BE REMOVED	16		FAIR
2469	Bald Cypress	Taxodium distichum	11		TO BE REMOVED	11		FAIR
2470	American Elm	Ulmus americana	8		TO BE REMOVED	8		FAIR
2471	Black Willow	Salix nigra	12		TO BE REMOVED	12		FAIR
2472	Black Willow	Salix nigra	14		TO BE REMOVED	14		FAIR
2473	American Elm	Ulmus americana	7.5		TO REMAIN		7.5	FAIR
2474	Green Ash	Fraxinus pennsylvanica	6.5		TO BE REMOVED	6.5		FAIR
2475	Black Willow	Salix nigra	18	9X9	TO BE REMOVED	18		FAIR
2476	American Elm	Ulmus americana	6.5		TO BE REMOVED	6.5		FAIR
2477	American Elm	Ulmus americana	8		TO BE REMOVED	8		FAIR
2478	Green Ash	Fraxinus pennsylvanica	6		TO REMAIN		6	FAIR
2479	Chinese Elm	Ulmus parvifolia	9		TO REMAIN		9	FAIR
2480	American Elm	Ulmus americana	11		TO REMAIN		11	FAIR
2481	American Elm	Ulmus americana	6.5		TO REMAIN		6.5	FAIR
2482	Green Ash	Fraxinus pennsylvanica	9.5		TO REMAIN		9.5	FAIR
2483	American Elm	Ulmus americana	10		TO REMAIN		10	FAIR
2484	American Elm	Ulmus americana	9.5		TO REMAIN		9.5	FAIR
2485	Green Ash	Fraxinus pennsylvanica	8		TO REMAIN		8	FAIR
2486	Green Ash	Fraxinus pennsylvanica	9		TO REMAIN		9	FAIR
2487	Hackberry	Q.alis occidentalis	6		TO REMAIN		6	FAIR
2488	American Elm	Ulmus americana	13.5	9.5X6.5	TO REMAIN		13.5	FAIR
2489	American Elm	Ulmus americana	10		TO REMAIN		10	FAIR
2490	American Elm	Ulmus americana	10		TO BE REMOVED	10		FAIR
2491	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2492	Green Ash	Fraxinus pennsylvanica	6		TO BE REMOVED	6		FAIR
2493	Hackberry	Q.alis occidentalis	8		TO BE REMOVED	8		FAIR
2494	Hackberry	Q.alis occidentalis	7.5		TO BE REMOVED	7.5		FAIR
2495	Hackberry	Q.alis occidentalis	8		TO BE REMOVED	8		FAIR
2496	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		FAIR
2497	Chinese Elm	Ulmus parvifolia	14.5	7.5X7	TO BE REMOVED	14.5		FAIR
2498	Chinese Elm	Ulmus parvifolia	7.5		TO BE REMOVED	7.5		FAIR
2499	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2500	Chinese Elm	Ulmus parvifolia	9.5		TO BE REMOVED	9.5		FAIR
2501	Chinese Elm	Ulmus parvifolia	7		TO BE REMOVED	7		FAIR
2502	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2503	Chinese Elm	Ulmus parvifolia	9.5		TO BE REMOVED	9.5		FAIR
2504	Black Willow	Salix nigra	20.5	12.5X5.5X6	TO BE REMOVED	20.5		POOR
2505	American Elm	Ulmus americana	17.5		TO BE REMOVED	17.5		FAIR
2506	Hackberry	Q.alis occidentalis	13.5	11X5	TO BE REMOVED	13.5		FAIR
2507	Hackberry	Q.alis occidentalis	6		TO BE REMOVED	6		FAIR
2508	Hackberry	Q.alis occidentalis	13.5	13X7.5	TO BE REMOVED	13.5		FAIR
2509	Hackberry	Q.alis occidentalis	18	13X10	TO BE REMOVED	18		FAIR
2510	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2512	Chinese Elm	Ulmus parvifolia	10		TO BE REMOVED	10		VERY POOR
2513	Chinese Elm	Ulmus parvifolia	11		TO BE REMOVED	11		POOR
2514	Chinese Elm	Ulmus parvifolia	11		TO BE REMOVED	11		VERY POOR
2515	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		POOR
2516	Chinese Elm	Ulmus parvifolia	12		TO BE REMOVED	12		FAIR
2519	Chinese Elm	Ulmus parvifolia	8.5		TO BE REMOVED	8.5		VERY POOR
2520	Chinese Elm	Ulmus parvifolia	8.5		TO BE REMOVED	8.5		POOR
2521	Chinese Elm	Ulmus parvifolia	9		TO BE REMOVED	9		POOR
2525	Chinese Elm	Ulmus parvifolia	16	12X6	TO BE REMOVED	16		FAIR
2526	American Elm	Ulmus americana	8		TO BE REMOVED	8		FAIR
2527	Chinese Elm	Ulmus parvifolia	13		TO BE REMOVED	13		FAIR
2528	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2529	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2530	Hackberry	Q.alis occidentalis	10		TO BE REMOVED	10		POOR
2531	Gilley Pear	Pyrus calleryana	12	8X6	TO BE REMOVED	12		FAIR
2532	Hackberry	Q.alis occidentalis	8		TO BE REMOVED	8		FAIR
2533	Green Ash	Fraxinus pennsylvanica	7.5		TO BE REMOVED	7.5		FAIR
2534	American Elm	Ulmus americana	7		TO BE REMOVED	7		FAIR
2535	Chinese Elm	Ulmus parvifolia	21	11.9X9.5X9.5	TO BE REMOVED	21		FAIR
2536	Chinese Elm	Ulmus parvifolia	11		TO BE REMOVED	11		FAIR
2537	American Elm	Ulmus americana	11	8X6.5	TO REMAIN		11	FAIR
2538	American Elm	Ulmus americana	24		TO REMAIN		24	FAIR
2539	American Elm	Ulmus americana	7		TO REMAIN		7	FAIR
2540	American Elm	Ulmus americana	9.5		TO REMAIN		9.5	FAIR
2541	Black Willow	Salix nigra	21.5		TO REMAIN		21.5	FAIR
2542	Black Willow	Salix nigra	20.5		TO REMAIN		20.5	FAIR
2543	Green Ash	Fraxinus pennsylvanica	15.5		TO REMAIN		15.5	FAIR
2544	American Elm	Ulmus americana	10		TO REMAIN		10	FAIR
2545	Black Willow	Salix nigra	26	15X12X10	TO REMAIN		26	FAIR
2546	Black Willow	Salix nigra	20		TO REMAIN		20	FAIR
2547	Black Willow	Salix nigra	8.5		TO REMAIN		8.5	FAIR
2548	Green Ash	Fraxinus pennsylvanica	10		TO REMAIN		10	FAIR
2549	American Elm	Ulmus americana	12.5	10X5.5	TO REMAIN		12.5	FAIR
2550	American Elm	Ulmus americana	8.5	6.5X4.5	TO REMAIN		8.5	FAIR
2551	American Elm	Ulmus americana	11		TO REMAIN		11	FAIR
2552	American Elm	Ulmus americana	12.5		TO REMAIN		12.5	FAIR
2553	Green Ash	Fraxinus pennsylvanica	10		TO REMAIN		10	FAIR
2554	American Elm	Ulmus americana	13	9.5X7.5	TO REMAIN		13	FAIR
2555	Black Willow	Salix nigra	20		TO REMAIN		20	FAIR
2556	American Elm	Ulmus americana	9		TO REMAIN		9	FAIR
2557	Hackberry	Q.alis occidentalis	7		TO BE REMOVED	7		FAIR
2558	Black Willow	Salix nigra	11		TO BE REMOVED	11		FAIR
2559	Green Ash	Fraxinus pennsylvanica	20	8.5X8X8	TO REMAIN		20	FAIR
2560	Green Ash	Fraxinus pennsylvanica	11.5		TO REMAIN		11.5	FAIR
2561	Green Ash	Fraxinus pennsylvanica	9		TO REMAIN		9	FAIR
2562	Green Ash	Fraxinus pennsylvanica	6		TO REMAIN		6	FAIR
2563	Green Ash	Fraxinus pennsylvanica	11.5	8X7	TO REMAIN		11.5	FAIR
2564	American Elm	Ulmus americana	9.5		TO REMAIN		9.5	FAIR
2565	American Elm	Ulmus americana	13		TO REMAIN		13	FAIR
2566	Green Ash	Fraxinus pennsylvanica	9.5	6.5X6	TO REMAIN		9.5	FAIR
2567	American Elm	Ulmus americana	11.5		TO REMAIN		11.5	FAIR
EXEMPT TOTAL						806.5	TO REMAIN TOTAL	
						542.5		



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. MACDONOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRS@STUDIOGREENSPOT.COM



ST. JOHN'S INDUSTRIAL
SANDBEN BLVD
CITY OF WYLLIE, TEXAS

SECTION 0209 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work includes furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting trees, shrubs, and grasses
2. Bed preparation and fertilization
3. Modification of substrate
4. Water and Maintenance and final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen; 27 October 1980 Edition, by American National Standards Institute, Inc. (ANSI) - plant material
- B. American Joint Committee on Horticultural Nomenclature 1942 Edition of Standardized Plant Names
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hays Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of the plan, notify the Architect/Owner of the source of plant materials and bed preparation required for the project.
- B. Samples: Provide representative samples of sandy brown soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- C. Product Data: Submit complete product data and specifications on all other specified materials.
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants to be used for the project. Samples shall be submitted to and retained by representative samples for final installed plant materials.
- E. File Certificates of inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy brown soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
 1. Prepare new planting beds by removing existing grass and weeds as necessary. To existing soil to a depth of six (6") inches prior to planting compact and bedform. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and fill into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Solubor or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing soil on site unless imported topsoil as needed) free from large clumps, rocks, debris, calcium, subsoils, etc. placed in new (6") inch layers and watered in thoroughly.
- C. Grass Areas:
 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid prior to plant (tagged) points) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are eventually spaced open, then watered thoroughly.
 2. Areas to be Hybridized Common Bermudagrass: Hybridized bermudagrass should be laid at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4" x 8" other board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all contributions have been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All elements of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Beds of each of 8.5. Substrate shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. These pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall have the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Steel Curb Installation:
 1. Cutting shall be aligned as indicated on plans. Stake out limits of steel cutting and install. (Owner's approval prior to installation)
 2. Steel cutting shall be two (2") inches deep and 1/2" wide.
 3. Top of cutting shall be 3/4" maximum height above grade.
 4. Cuts shall be in the center of the cutting bed of the cutting, as approved to the grass site.
 5. Do not install steel edging along sidewalks.
 6. Cut steel edging at 45 degree angle where edging meets sidewalk.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site at the work progresses. Keep paved areas clean by sweeping or hosing at end of each work shift.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor starting any general construction work, the Contractor shall ensure that all existing and areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the plans are in good condition. All trees, shrubs, and plants to be planted in the first grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide support as described in Section 0220 - Earthwork.
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Contractor cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance shall be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- B. Guarantee:
 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace at least materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died or that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the option of the Owner shall be final.
 2. Plants used for replacement shall be of the same size and kind as those originally planted and shall be of the same quality and quantity specified. All work, including materials, labor and equipment used in replacement, shall carry a twelve (12) month guarantee. Any damage, including substitution of plant or loss of area, incurred as a result of missing replacement shall be immediately replaced.
 3. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 4. When plant replacements are made plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

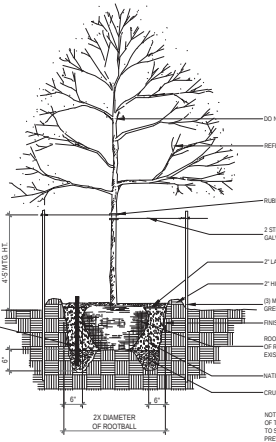
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, fire, freeze, insects, diseases, or injury to roots, moisture or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, unimpaired condition, and there is a start of the growing season. At this time, the Owner will assume maintenance on the accepted work.
- C. Replant: Any necessary replanting under the guarantee must be made within six (6) months after the time of acceptance. The Contractor cannot be held responsible for replanting if the replanting is not made within six (6) months after the time of acceptance. The Contractor may provide materials and then to make the replanting at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified person acceptable to Landscape Architect.
- C. Selection of Plant Material:
 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedule to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, subvarieties, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, maturity, injuries, and plant health.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Rejected materials from the site immediately. Plants damaged in transit or at job site shall be replaced.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
 1. Balled and Burlapped (BBB) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, stems, and future development.
 2. Container Grown Plants: Deliver plants in rigid containers to hold shape and protect root mass.



01 TREE PLANTING DETAIL

NOT TO SCALE

02 GROUND COVER PLANTING DETAIL

NOT TO SCALE

03 SIDEWALK / MULCH DETAIL

NOT TO SCALE

04 STEEL EDGING DETAIL

NOT TO SCALE

05 SHRUB PLANTING DETAIL

NOT TO SCALE

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
 1. Fracture, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Lignite containing Detritus or humus shall be rejected.
 2. Physical properties as follows:
 - a. Clay - between 1-27 percent
 - b. Silt - between 15-35 percent
 - c. Sand - less than 52 percent
 3. Organic matter shall be the 10% of total dry weight.
 4. If required, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- C. Premium Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas. Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Aard Ops Municipal Mix as supplied by Soil Blending Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of weeds, soil particles and weeds.
- E. Muck: Double Dredger Harvested Muck, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilizer, Solubor or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 80% slow release organic nitrogen (SCU or LF) with a minimum 8% sulfur and 4% iron. Plus micronutrients.
- H. Peat: Commercial organic peat moss or partially decomposed dressed pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Elite Curbing", 18" x 4" with stakes 4" on center.
- B. Staking Material for Shrub Trees:
 1. Post: Staked 1" Post, #1 Armo with anchor plate, 6" length, plant green.
 2. Wire: 12 gauge, single strand, galvanized.
 3. Rubber Hose: 2 inch, fiber reinforced hose, minimum 1/4 inch inside diameter. Color: Black.
- C. Gravel: Washed native pine gravel, graded 1 in. to 1/4 in.
- D. Filter Fabric: Must 140lb by Covance Fibers Marketing Company, available at Lufftall AC, 2744, 01-1-030 or approved equal.

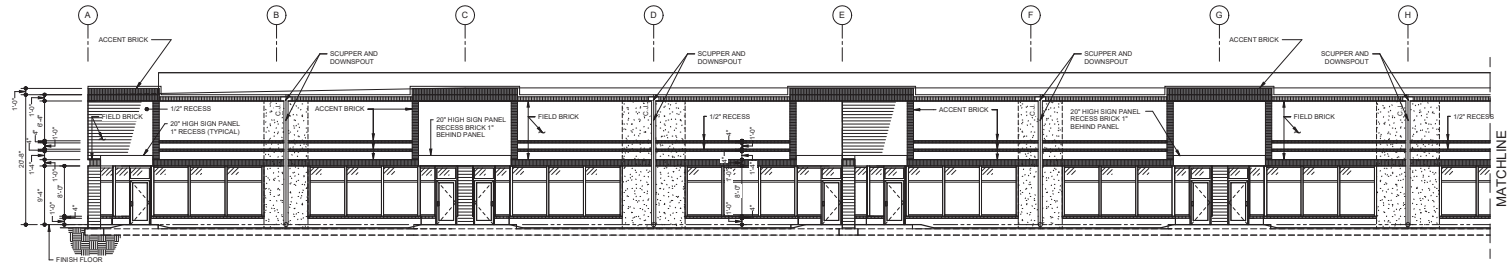
ISSUE:
FOR APPROVAL 08/17/2026
CITY COMMENTS 06/01/2026
CITY COMMENTS 07/14/2026

DATE:
08/17/2026

SHEET NAME:
LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L2.02



FRONT ELEVATION

LEGEND	
FIELD BRICK	
ACCENT BRICK	
MORTAR	
GLAZING COLOR:	
GLASS FRAME COLOR:	

WYLIE TECH PARK
BUILDING 'B'
WYLIE, TEXAS

Seal:

PRELIMINARY, NOT FOR
CONSTRUCTION

ST. JOHN
PROPERTIES

2500 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
410-580-0100

WAB
architecture
interiors

morabito
consultants

Architectural Registration: Maryland Consultants
1000 Lexington Avenue, Suite 1000
New York, NY 10017
405-861-2377 | www.morabitoconsultants.com
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No.	Date	Revisions

DESIGNED: JGC DRAWN: JGC

CHECKED: JAM APPROVED: JAM

Project No.: 26055

Date: 04/30/2026

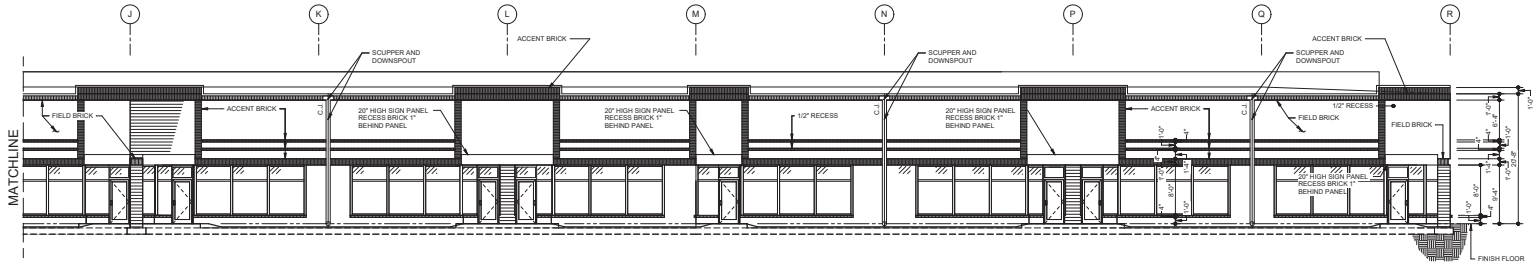
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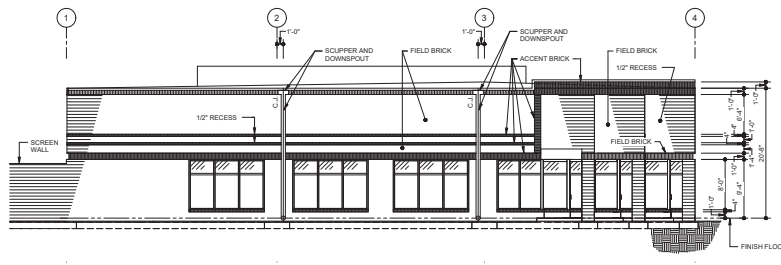
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ELEVATIONS
BUILDING 'B'

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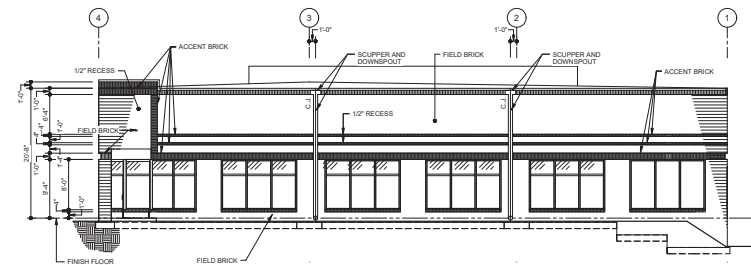
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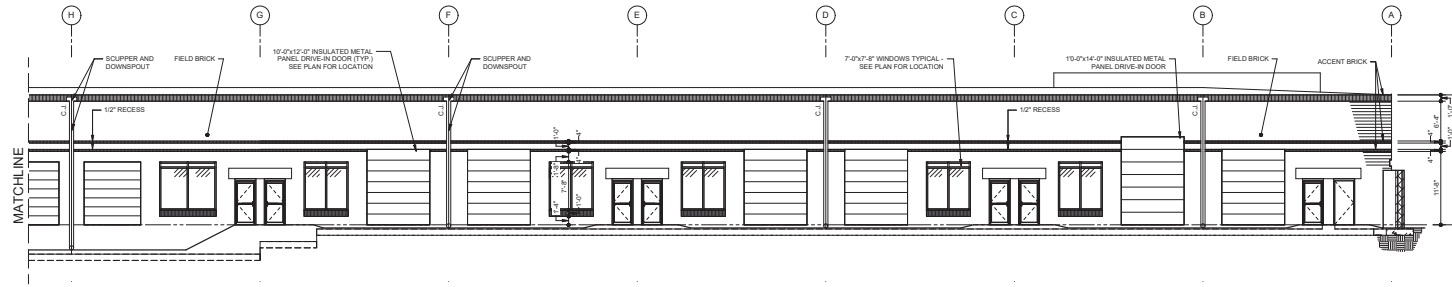
FRONT ELEVATION



LEFT SIDE ELEVATION

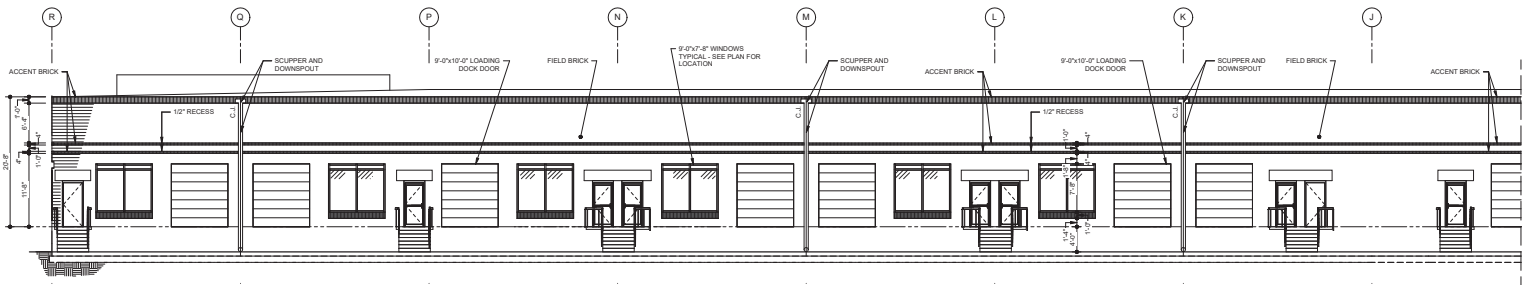


RIGHT SIDE ELEVATION



REAR ELEVATION

LEGEND	
FIELD BRICK:	
ACCENT BRICK:	
MORTAR:	
GLAZING COLOR:	
GLASS FRAME COLOR:	



REAR ELEVATION

WYLIE TECH PARK
BUILDING 'B'
WYLIE, TEXAS

Seal:

PRELIMINARY, NOT FOR
CONSTRUCTION

ST. JOHN
PROPERTIES

2500 LORD BALTIMORE DRIVE
BALTIMORE, MD 21244
410.380.0010

WAB
architecture
interiors

morabito
consultants

Mechanical Engineering - Building Consultants
1015 Kensington Rd. Suite 1000
Baltimore, MD 21202
410.462.1277 | www.morabitoconsultants.com
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No.	Date	Revisions

DESIGNED	JGC	DRAWN	JGC
CHECKED	JAM	APPROVED	JAM

Project No.: 26055

Date: 04/30/2026

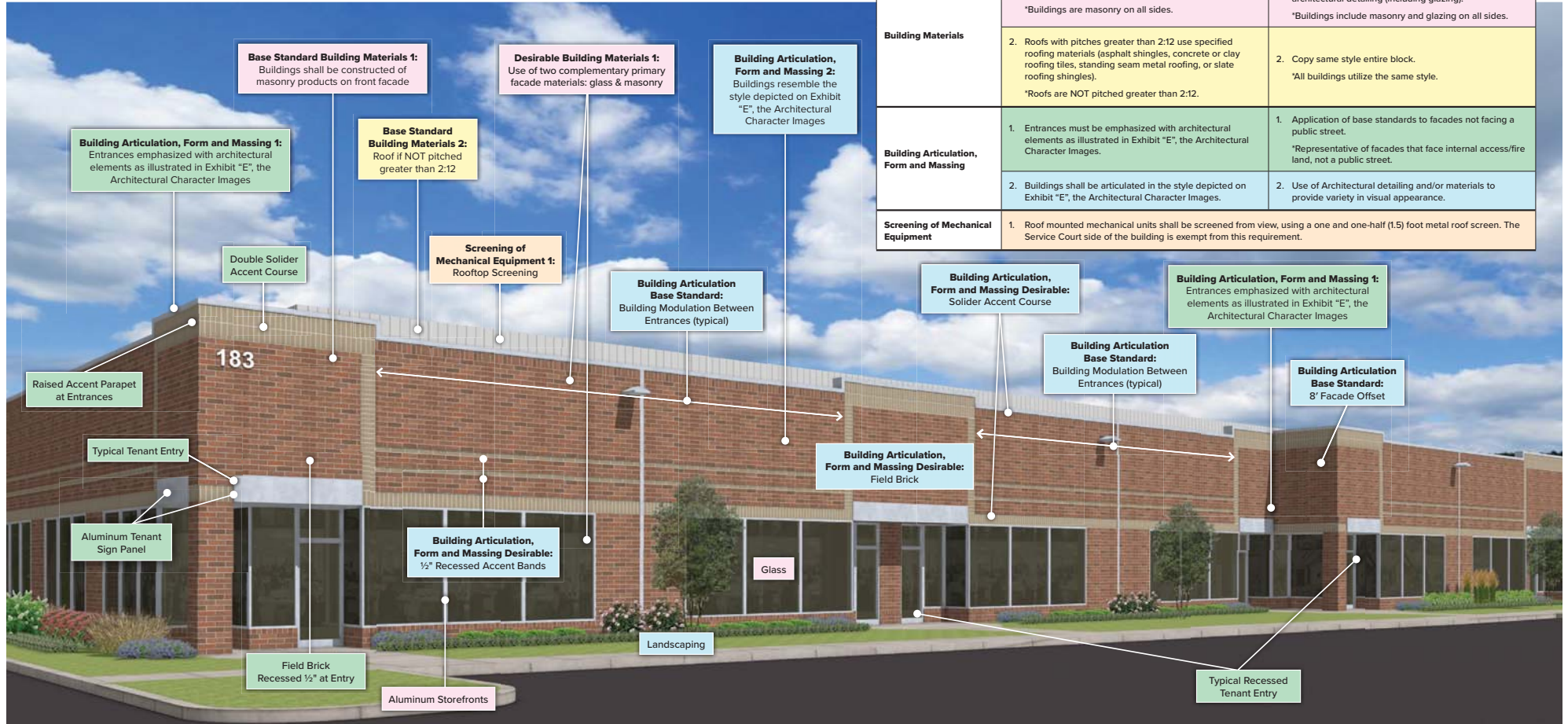
Scale: 1/8" = 1'-0"

Sheet Title:
ARCHITECTURAL
BUILDING
ELEVATIONS
BUILDING 'B'

Sheet No.:
A-3

Building Articulation Compliance

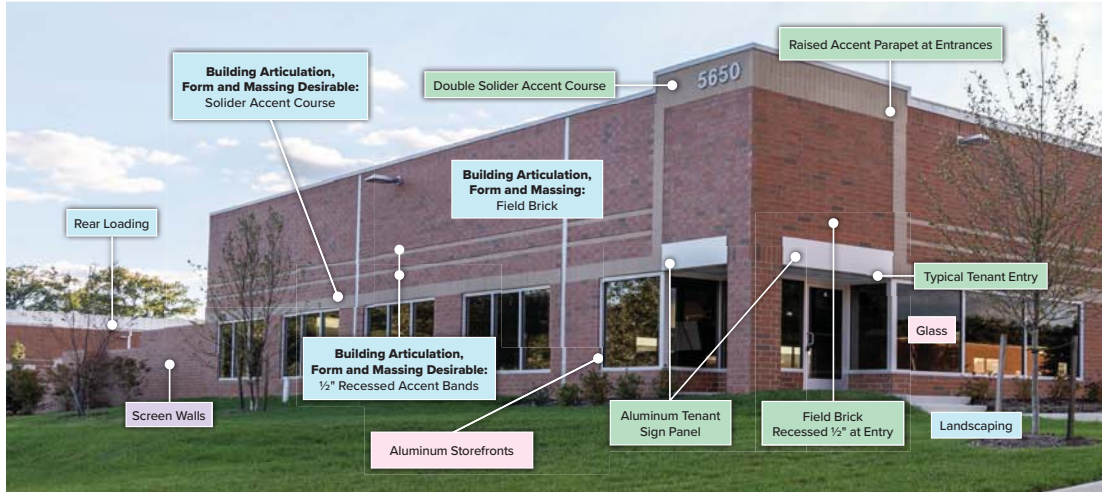
ELEVATION A



Representative design images only

Building Articulation Compliance

ELEVATIONS B/C



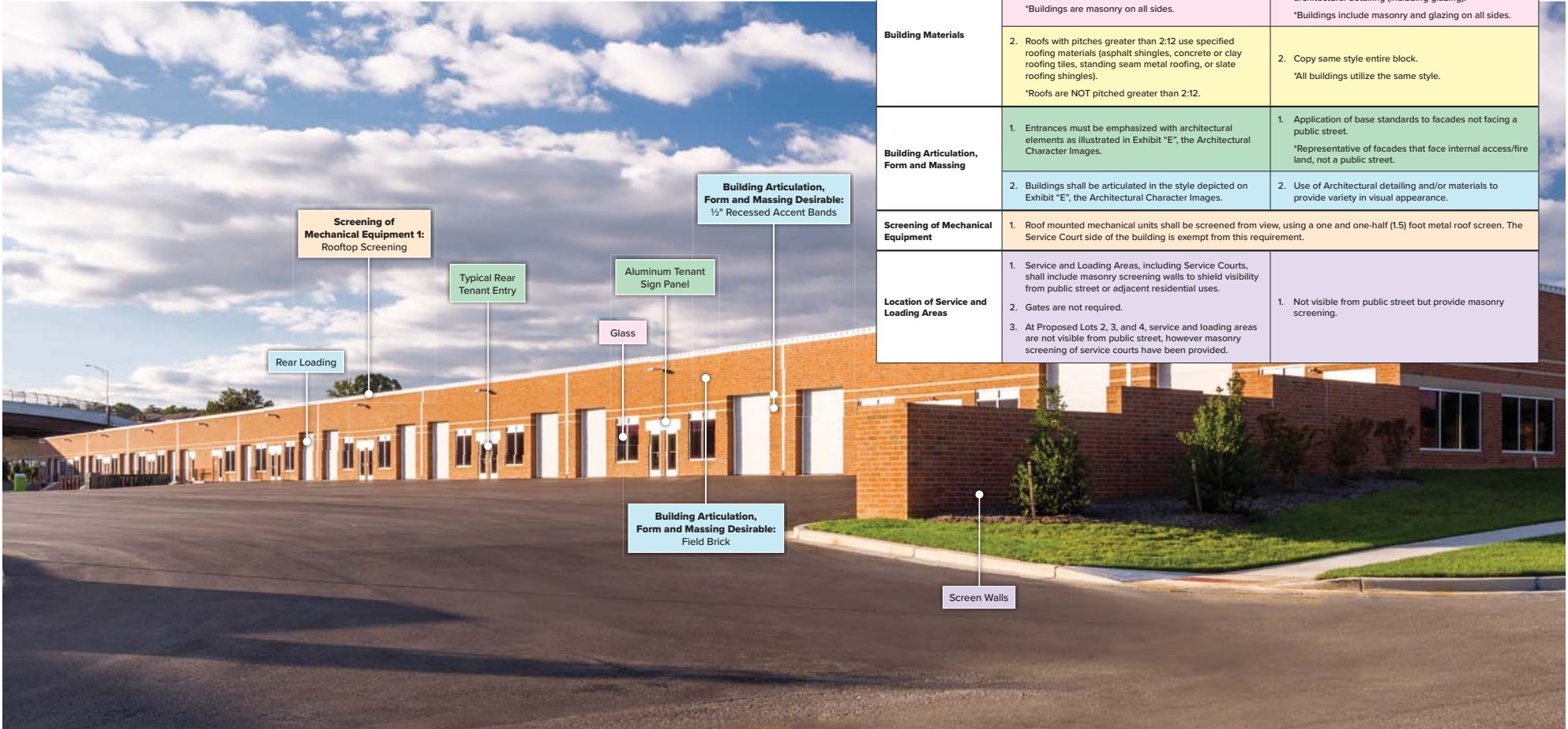
ARCHITECTURAL DESIGN REQUIREMENTS		
Element	Base Standard <i>(All development must comply fully with all listed below)</i>	Desirable <i>(Each development must select 3 of the 4 desirables listed below)</i>
Building Materials	1. Buildings shall be constructed of masonry products on front facade. Tilt wall construction is permissible. *Buildings are masonry on all sides.	1. Use of two complementary primary facade materials to help achieve facade articulation, visual variety and/or architectural detailing (including glazing). *Buildings include masonry and glazing on all sides.
	2. Roofs with pitches greater than 2:12 use specified roofing materials (asphalt shingles, concrete or clay roofing tiles, standing seam metal roofing, or slate roofing shingles). *Roofs are NOT pitched greater than 2:12.	2. Copy same style entire block. *All buildings utilize the same style.
Building Articulation, Form and Massing	1. Entrances must be emphasized with architectural elements as illustrated in Exhibit "E", the Architectural Character Images.	1. Application of base standards to facades not facing a public street. *Representative of facades that face internal access/fire land, not a public street.
	2. Buildings shall be articulated in the style depicted on Exhibit "E", the Architectural Character Images.	2. Use of Architectural detailing and/or materials to provide variety in visual appearance.
Screening of Mechanical Equipment	1. Roof mounted mechanical units shall be screened from view, using a one and one-half (1.5) foot metal roof screen. The Service Court side of the building is exempt from this requirement.	
Location of Service and Loading Areas	1. Service and Loading Areas, including Service Courts, shall include masonry screening walls to shield visibility from public street or adjacent residential uses. 2. Gates are not required. 3. At Proposed Lots 2, 3, and 4, service and loading areas are not visible from public street, however masonry screening of service courts have been provided.	1. Not visible from public street but provide masonry screening.



Representative design images only

Building Articulation Compliance

ELEVATION D



Representative design images only

ARCHITECTURAL DESIGN REQUIREMENTS		
Element	Base Standard <i>(All development must comply fully with all listed below)</i>	Desirable <i>(Each development must select 3 of the 4 desirables listed below)</i>
Building Materials	1. Buildings shall be constructed of masonry products on front facade. Tilt wall construction is permissible. *Buildings are masonry on all sides.	1. Use of two complementary primary facade materials to help achieve facade articulation, visual variety and/or architectural detailing (including glazing). *Buildings include masonry and glazing on all sides.
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Representative Design Images

ELEVATION A



Representative design images only

Representative Design Images

ELEVATIONS B/C



Representative design images only

Representative Design Images

ELEVATION D



Representative design images only



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 2

Subject

Consider, and act upon, a site plan amendment for Harvest City Church, being on Lot 1, Block A of Gateway Community Church Addition, for a church/house of worship expansion for educational services. Property located at 2201 Country Club Road.

Recommendation

Motion to **approve** as presented

Discussion

OWNER: Harvest City Church

APPLICANT: Helmberger Associates Inc.

The applicant is proposing to amend the site plan of Lot 1, Block A of Gateway Community Church addition for a 19,500sf expansion of Harvest City Church located at 2201 Country Club Road. The new addition is to serve as a new education building for the church. The proposed changes are allowed by right within the current zoning being Planned Development Ordinance 2025-07.

The City Council approved a parking agreement between WISD and Harvest City Church in May of 2026 to allow for the use of the parking lot of Rita Smith Elementary school located west of the site. The parking agreement was needed to accommodate for any overflow parking that will be needed due to the Harvest City Church expansion.

With this expansion the development is required to provide 273 parking spaces. 215 spaces are provided with 8 being ADA accessible. There are an additional 113 parking spaces that can be used on the WISD campus. The parking provided is in compliance with the parking requirements.

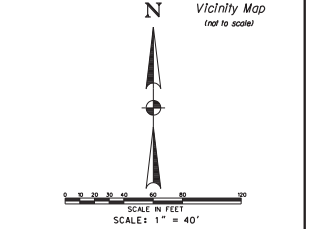
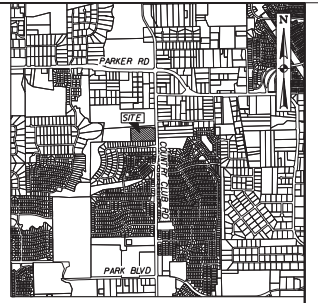
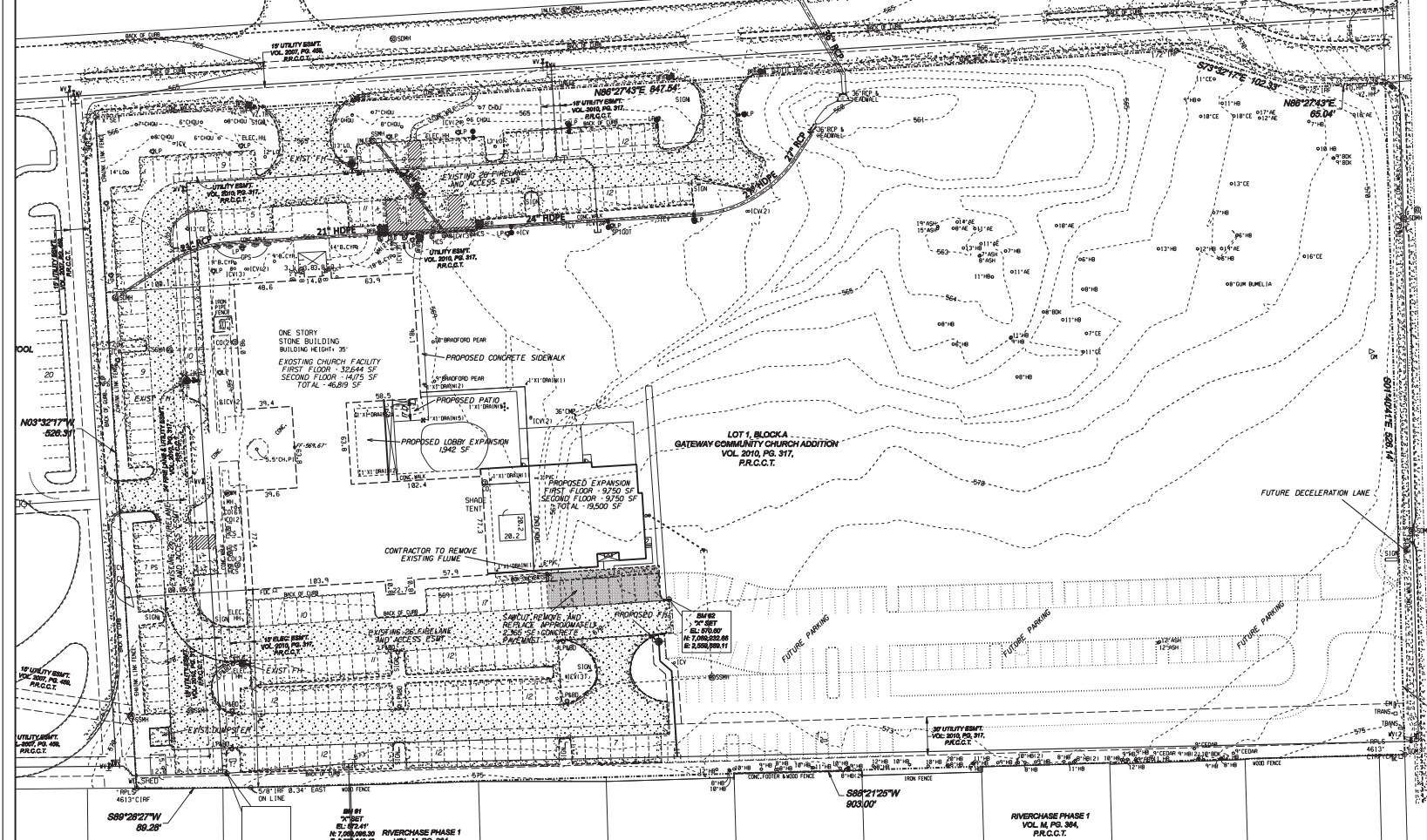
The development will use the existing parking lot configuration and fire lane access for service to the new proposed building addition. The landscaping provided is in compliance with the zoning ordinance requirements by providing over 20% of landscaped area and by providing landscaped islands throughout the parking areas.

The exterior material of the new addition will have matching exterior material and is generally comprised of stucco, stone, and EIFS trim. Entrances are emphasized with the use of columns and canopies.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and of Planned Development 2025-07.

Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

- LOT 1, BLOCK A - GATEWAY COMMUNITY CHURCH ADDITION
1. ZONING: PD/330 - PLANNED DEVELOPMENT
 2. PROPOSED USE: CHURCH FACILITY
 3. PROPERTY AREA: 540,972 SF - 12.42 ACRES
 4. BUILDING AREA: 46,819 SF - EXISTING
21,442 SF - PROPOSED
TOTAL: 68,261 SF
 5. BUILDING HEIGHT: 1 STORY - 35' MAX
 6. LOT COVERAGE: 10.0%
 7. F.A.R. = 1262:1
 8. PARKING REQUIRED (1 SPACE/250 SF) = 273 SPACES
EXISTING PARKING 8 ACCESSIBLE + 207 = 215 SPACES
THERE IS A PARKING AGREEMENT IN PLACE BETWEEN WISD AND HARVEST CITY CHURCH APPROVED BY WYLE CITY COUNCIL FILED 05/26/2026
113 SPACES AT WISD SCHOOL FACILITY
 9. LANDSCAPE REQUIRED (20% GROSS AREA): 108,195 SF
 10. LANDSCAPE PROVIDED: MORE THAN 108,195 SF



GENERAL NOTES!!!

NO APPURTENANCE BETWEEN THE HEIGHT OF 2' AND 9' MAY BE PLACED IN THE VISIBILITY TRIANGLES

NO PART OF THE SUBJECT PROPERTY IS SHOWN TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD PER MAP NO. 48080R0240 J OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR COLLIN COUNTY, TEXAS AND INCORPORATED AREAS, DATED JUNE 02, 2009 (ZONE X)

BENCHMARK:
CITY OF WYLE CONTROL MONUMENT #1
LOCATED AT NORTH SIDE OF SH 78 NEAR
THE EAST ENTRANCE DRIVE FOR CITY OF
WYLE POLICE COMPLEX - 2000 SH 78 N
MAPSCO PAGE 8948
ELEVATION = 600.00

CITY OF WYLE CONTROL MONUMENT #2
LOCATED AT THE OLD CITY PARK
1/4 SOUTH OF THE BUILDINGS AT
104 SOUTH BALLARD
MAPSCO PAGE 8948
ELEVATION = 600.00

LINE LEGEND:

- PROPERTY LINE
- DRAINAGE FLOW
- PROPOSED WATER LINE
- ROAD CENTER LINE
- PROPOSED STORM SEWER
- PROPOSED STREET
- EXISTING CONTOUR LINE
- PROPOSED CONTOUR LINE
- BUILDING SETBACK LINE
- DRAINAGE EASEMENT
- DRAINAGE DIVIDE LINE
- ROW / LOT LINE

HELMBERGER ASSOCIATES, INC. - F-000756
CIVIL/ENVIRONMENTAL ENGINEERS
PRELIMINARY - FOR INTERIM REVIEW ONLY
THESE DOCUMENTS ARE FOR INTERIM REVIEW AND NOT
INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT
PURPOSES. THEY WERE PREPARED BY, OR UNDER THE
SUPERVISION OF:

RANDALL T. HELMBERGER *92572 JULY 23, 2026

OWNER/DEVELOPER:
HARVEST CITY CHURCH
2201 COUNTRY CLUB ROAD
WYLE, TEXAS 75098
CHRIS DAVIS
(972) 429-0400

ENGINEER:
HELMBERGER ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLE, TEXAS 75098
RANDALL T. HELMBERGER, PE
(972) 442-7459

DEVELOPMENT PLAN					
LOT 1, BLOCK A -					
GATEWAY COMMUNITY CHURCH ADDITION					
HARVEST CITY CHURCH BUILDING ADDITION					
2201 COUNTRY CLUB ROAD					
HELMBERGER ASSOCIATES, INC.					
CIVIL AND ENVIRONMENTAL ENGINEERS					
1525 BOZMAN ROAD, WYLE, TEXAS 75098 (972) 442-7459					
TYPE REGISTRATION NO. F-000756					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
HELM.	CAD	APRIL 2026	1"=40'	SPLAN	2607
					NO.
					C1

LANDSCAPE NOTES:

ALL GRASS AREAS ARE TO BE CELEBRATION BERMUDA SOD. DUE TO POTENTIAL WATER RESTRICTIONS, CHECK WITH CITY OF WYLIE FOR CURRENT REQUIREMENT FOR TURF ESTABLISHMENT.

GRASS AND BED AREAS ARE TO BE SEPARATED BY 1/4 GAUGE (MIN.) METAL EDGING. GROUND COVER/ANNUAL COLOR BEDS TO BE SEPARATED FROM SHRUBS BEDS BY 1/4 GAUGE (MIN.) METAL EDGING.

CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND NOTIFY OWNER OF ANY CONFLICTS.

PLANTING BED PREPARATION SHALL CONSIST OF INCORPORATING ON 4 CUBIC FOOT BALE OF SPHAGNUM PEAT MOSS AND ON 3 CUBIC FOOT BAG OF LANDSCAPERS MIX (SPECIAL BLEND) INTO THE TOP SIX INCHES OF EXISTING SOIL FOR EVERY 75 S.F. OF BED.

TREES IN TURF AREAS ARE TO BE PLANTED WITH EXISTING SOIL EXCAVATED FROM PLANTING HOLE. THE TREE EXCAVATION IS TO BE 6 INCHES DEEPER AND 24 INCHES WIDER THAN THE ROOT BALL TO BE PLANTED.

ALL LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSOR CONTROLS AS PER CITY OF WYLIE SPECIFICATIONS.

ALL PLANT MATERIAL SHALL MEET AMERICAN NURSERY STANDARDS OF HEIGHT AND WIDTH FOR EACH CONTAINER SIZE OR CALIPER OF TREE AND BE FREE FROM SIDEASE AND HANDLED WITH CARE.

TREES SHALL HAVE A ROOT BALL OF A MINIMUM OF 10 INCHES OF DIAMETER FOR EACH INCH OF CALIPER.

EXCLUDING GROUND COVER AND COLOR BEDS, PLANT MATERIAL SHALL HAVE 2 INCHES OF DECOMPOSED GRANITE COVERING IN THE BED.

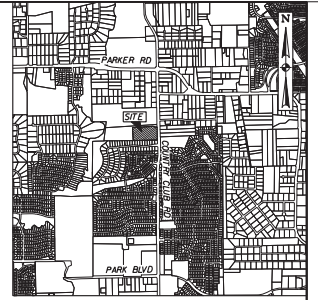
CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES AND OBTAINING PERMITS AS REQUIRED BY CITY OF WYLIE.

NO PARKING SPACE FURTHER THAN 40' FROM LANDSCAPED AREA PROVIDED WHERE POSSIBLE.

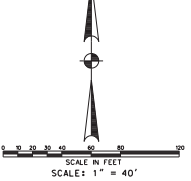
LANDSCAPE ISLANDS PROVIDED AT END OF EACH PARKING ROW WHERE POSSIBLE.

ALL PARKING ROWS HAVE LANDSCAPE AREAS AT LEAST 12 SPACES WHERE POSSIBLE.

ALL EXISTING TREES ARE TO REMAIN.



N Vicinity Map
(not to scale)



SCALE: 1" = 40'

F.M. NO. 1378 (Country Club Road)

BENCHMARK: CITY OF WYLIE CONTROL MONUMENT #1
LOCATED AT NORTH SIDE OF SH 78 NEAR
THE EAST ENTRANCE DRIVE FOR CITY OF
WYLIE POLICE COMPLEX - 8000 SH 78 N
MAPSCO PAGE 684B
ELEVATION = 833.254

CITY OF WYLIE CONTROL MONUMENT #2
LOCATED AT THE OLD CITY PARK
6 1/4 SOUTH OF THE BUILDING AT
504 SOUTH BALLAD
MAPSCO PAGE 683Y
ELEVATION = 835.238

LINE LEGEND:

- PROPERTY LINE
- DRAINAGE FLOW
- PROPOSED WATER LINE
- ROAD CENTER LINE
- PROPOSED STORM SEWER
- PROPOSED STREET
- - - - - EXISTING CONTOUR LINE
- - - - - PROPOSED CONTOUR LINE
- - - - - BUILDING SETBACK LINE
- - - - - DRAINAGE EASEMENT
- - - - - DRAINAGE DIVIDE LINE
- - - - - ROW / LOT LINE

OWNER/DEVELOPER:
HARVEST CITY CHURCH
2201 COUNTRY CLUB ROAD
WYLIE, TEXAS 75098
CHRIS DAUGLE
(972) 429-0400

ENGINEER:
HELMBERGER ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLIE, TEXAS 75098
RANDALL T. HELMBERGER, PE
(972) 442-1459

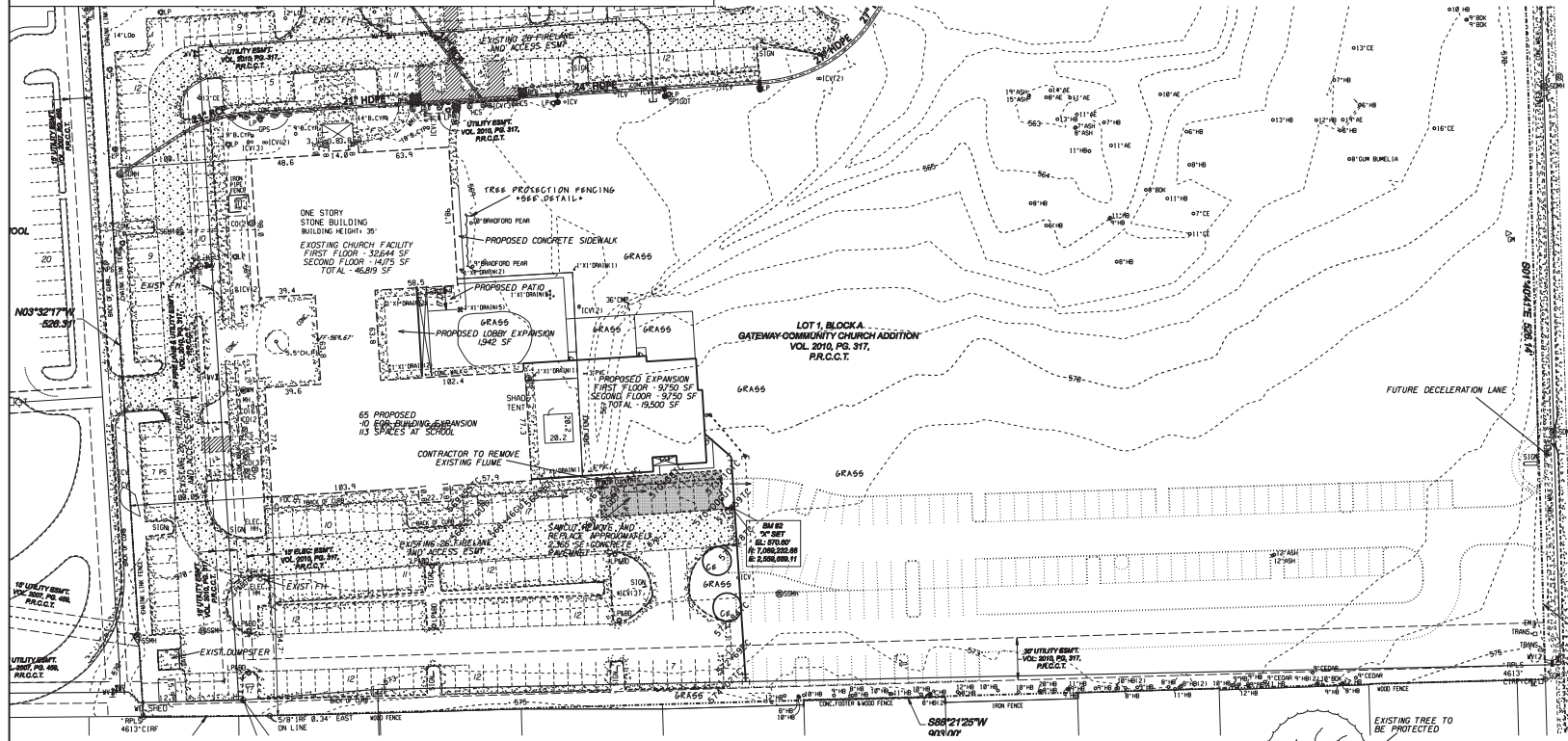
LANDSCAPE PLAN

LOT 1, BLOCK A -
GATEWAY COMMUNITY CHURCH ADDITION
HARVEST CITY CHURCH BUILDING ADDITION

2201 COUNTRY CLUB ROAD

SHARP LANDSCAPES
1129 HUNTINGTON DRIVE • RICHARDSON, TEXAS 75080
BILL SHARP - 972-978-6172

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	APRIL 2026	1"=40'	LBORDER	2607	L1



EXISTING TREE LEGEND
AE AMERICAN ELM
BOK BOIS D' ARC
B.CYP BALD CYPRESS
CE CEDAR ELM
CP CHINESE PISTACHE
CHQU CHINQUAPIN
HB HACKBERRY
LO LIVE OAK

PLANT#	EXISTING TREE LEGEND	SIZE	SPACING	HEIGHT	QUANTITY
CE	CEDAR ELM (ULMUS CRASSIFOLIA)	3" CAL	A/I	10'	2
GRASS	CELEBRATION BERMUDA SOD (ESTIMATED)	SF			7,000



TREE PROTECTION DETAIL
N.T.S.

OWNER
HARVEST CITY CHURCH
2201 & 2291-A COUNTRY CLUB ROAD
WYLE, TEXAS 75098
(872) 429-0400
CONTACT: CHRIS DAGUE

CIVIL ENGINEER
HELMBERGER ASSOCIATES INC.
1825 BOZMAN ROAD
WYLLIE, TX 75098

STRUCTURAL ENGINEERS
GROUP STRUCTURAL ENGINEERS
2605 N. PLANO ROAD, STE. 4000
RICHARDSON, TX 75081

MEP ENGINEER
VS CONSULTING ENGINEERS
9025 LOMA VISTA DR.
DALLAS, TX 75243

SEAL

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KENNETH S. KELLAM, AIA - TX REG. NO. 10100

HARVEST CITY CHURCH

[illegible]

**HARVEST CITY
CHURCH**

2201 COUNTRY CLUB ROAD
WYLIE, TEXAS 75098

2026.103
PROJECT NUMBER

EXTERIOR ELEVATIONS

A 5.01
SHEET NUMBER



EAST ELEVATION _ COLOR | MATERIAL STUDY



HARVEST CITY CHURCH _ WYLIE, TX _ PHASE 2 SCHEMATIC ELEVATIONS

THIS DRAWING IS FOR PRELIMINARY REFERENCE PURPOSES ONLY _ NOT TO BE USED FOR PERMITTING OR CONSTRUCTION

SCALE _ 3/32" = 1'-0" @ 24"x36" FORMAT

KILLIAN
STUDIO OF ARCHITECTURE

WWW.KILLIAN.COM
TEL 214.457.2452 | EMAIL KRE@KILLIAN.COM
3400 W CENTRAL EXPY | STUDIO 110-307
RICHARDSON, TX 75080



HARVEST CITY CHURCH _ WYLIE, TX _ PHASE 2 SCHEMATIC ELEVATIONS

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