

Wylie Planning and Zoning Commission Regular Meeting

December 02, 2025 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon approval of the meeting minutes from the November 4, 2025 Planning and Zoning Commission meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat for Dominion of Pleasant Valley Phase 6, creating 168 single family residential lots and three open space lots on 40.430 acres, generally located at the southwest intersection of Dominion Drive and Pleasant Valley Road.
- C. Consider, and act upon a recommendation to City Council regarding a Final Plat for Dominion of Pleasant Valley Phase 7, creating 11 single family residential lots and two open space lots on 6.475 acres, generally located at the northeast corner of Dominion Drive and Pleasant Valley Road.

REGULAR AGENDA

- 1. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change of zoning to amend Planned Development 2024-10 to a Planned Development (PD) with single family detached, commercial development and open space on 25.037 acres, generally located at 605 Country Club Road (ZC2025-16)
- 2. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP) on 0.88 acres to allow for Vehicle Display, Sales or Service. Property located at 114 Regency Drive (ZC 2025-17).
- 3. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Agricultural (AG) to Community Retail - Special Use Permit (CR-SUP) on 1.85 acre to allow for Office Showroom /Warehouse. Property located at 308 W Alanis Drive. (ZC 2025-09).

WORK SESSION

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on November 24, 2025 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Gabby Fernandez

Subject

Consider and act upon the approval of the meeting minutes from the November 4, 2025, Planning and Zoning Commission meeting.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes from the November 4, 2025, Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

November 04, 2025 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Joshua Butler called the meeting to order at 6:00 pm. In attendance were Chair Joshua Butler, Vice-Chair Rod Gouge, Commissioner Joe Chandler, Commissioner Zeb Black, Commissioner Zewge Kagnaw, and Commissioner Keith Scruggs. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent was Commissioner Franklin McMurrian.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice-Chair Gouge gave the Invocation, and Commissioner Chandler led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

None approached the Commission.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. **Consider and act upon approval of the meeting minutes from the October 21, 2025 Planning and Zoning Commission meeting.**
- B. **Consider, and act upon a recommendation to City Council regarding a Final Plat being a replat to create one light industrial lot on Lot 3R, Block B of Regency Business Park Phase One on 1.949 acres, generally located at 117 Regency Drive and 25 Steel Road.**

BOARD ACTION

A motion was made by Vice-Chair Gouge, seconded by Commissioner Scruggs, to approve the Consent Agenda as presented. A vote was taken and the motion passed 6 – 0.

REGULAR AGENDA

- 1. **Consider, and act upon, a Site Plan for Lot 3R, Block B of Regency Business Park Phase One for the development of an office/warehouse use Property located on 1.949 acres at 117 Regency Drive and 25 Steel Road.**

BOARD ACTION

A motion was made by Chair Butler and seconded by Vice-Chair Gouge to approve Regular Agenda Item 1 as presented. A vote was taken and carried 6-0.

- 2. Consider, and act upon, a Site Plan for Lot 1, Block A of Collin College Wylie for the development of a career technical building on 7.28 acres. Property located at 391 Country Club Rd, Bldg E.**

BOARD ACTION

A motion was made by Vice-Chair Gouge and seconded by Commissioner Chandler to approve Regular Agenda Item 2 as presented. A vote was taken and carried 6-0.

ADJOURNMENT

A motion was made by Commissioner Chandler and seconded by Vice-Chair Gouge to adjourn the meeting at 6:12 PM. A vote was taken and carried 6 – 0.

Joshua Butler, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat for Dominion of Pleasant Valley Phase 6, creating 168 single family residential lots and three open space lots on 40.430 acres, generally located at the southwest intersection of Dominion Drive and Pleasant Valley Road.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Wylie DPV, LP

APPLICANT: J. Volk Consulting

The applicant has submitted a Final Plat for Dominion of Pleasant Valley Phase 6. The plat consists of 168 residential lots and three open space lots on 40.430 acres. The property is zoned within Planned Development Ordinance 2025-41 as of November 2025. A preliminary plat for this site was approved in May 2024.

The Planned Development allows for a maximum of 1,123 single family residential lots. Within Phase 1-6 of the Dominion of Pleasant Valley Development there are 888 residential lots leaving 235 residential lots that can be developed in future phases.

The plat dedicates the necessary rights-of-way and utility easements. Open space lots are to be dedicated to the City of Wylie and maintained by the H.O.A.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
- 1/2" IRP

AC Acre

BL Building Line

C1 Curve No.

<Cm> Control Monument

DE Drainage Easement

E1 Easement

L1 Line No.

R.O.W. Right-of-Way

SF Square Feet

UE Utility Easement

V.E. Visibility Easement

W.M.E. Walk Maintenance Easement

D.R.C.C.T. = Deed Records of Dallas County, Texas

D.R.C.C.T. = Deed Records of Collin County, Texas

M.R.C.C.T. = Map Records of Collin County, Texas

CITY BENCHMARKS:

CITY MONUMENT #2: Located north of State Highway No. 78 and west of South Ballard Street approximately 10.0' west and 10.4' south of the southeast corner of the building located at 104 South Ballard Street.

N: 7057346.78 E: 2569521.04
ELEV: 550.24' (PLAN) 550.37' (FILE)

CITY MONUMENT #4: Located in the northeast corner of Quail Meadow Park south of alley and west of White Ibis Way. 14.5 feet south of the south line of alley concrete paving. 7.3' perpendicular to b.c. parking area.

N: 7065787.60 E: 2560973.93
ELEV: 562.91' (PLAN) 562.86' (FIELD)

CITY MONUMENT #5: Located north of the northeast intersection of Troy Road and County Road 732 (Beaver Creek). The monument is located approximately 8.5' west of the southeast corner of a chain link fence and 5.3' south of the south chain link fence.

N: 7050245.80 E: 2578669.15
ELEV: 454.28' (PLAN) 454.17' (FIELD)

DOMINION OF
PLEASANT VALLEY
PHASE 6
40.573 ACRES

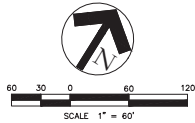
LOTS 8-16, 17X, 18-44, BLOCK 4;
LOTS 15-27, BLOCK 5; LOTS 1-24, BLOCK 6;
LOTS 1-37, BLOCK 7; LOTS 1-20 BLOCK 8;
LOTS 1-23 BLOCK 9; LOTS 1-15, 16X, 17X,

BLOCK 10
168 SINGLE FAMILY LOTS
3 OPEN SPACES/COMMON AREAS
OUT OF THE
GUADALUPE DE LOS SANTOS SURVEY,
ABSTRACT NO. 1384 (DALLAS COUNTY)

CITY OF WYLIE
DALLAS COUNTY, TEXAS
13 October 2025
SHEET 1 OF 3



LINE TABLE		
LINE	BEARING	LENGTH
L19	N43°40'36"E	19.36'
L20	N89°26'38"W	15.43'
L21	S46°38'30"E	20.38'
L22	N42°52'47"E	22.20'
L23	N44°23'31"W	21.22'
L24	S47°39'16"E	19.97'
L25	N45°36'29"E	21.21'
L26	N48°53'29"E	22.59'
L27	S41°51'16"E	19.43'
L28	N0°57'37"W	21.18'
L29	N89°02'23"E	21.18'

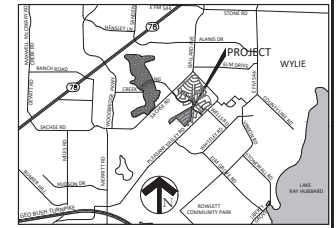
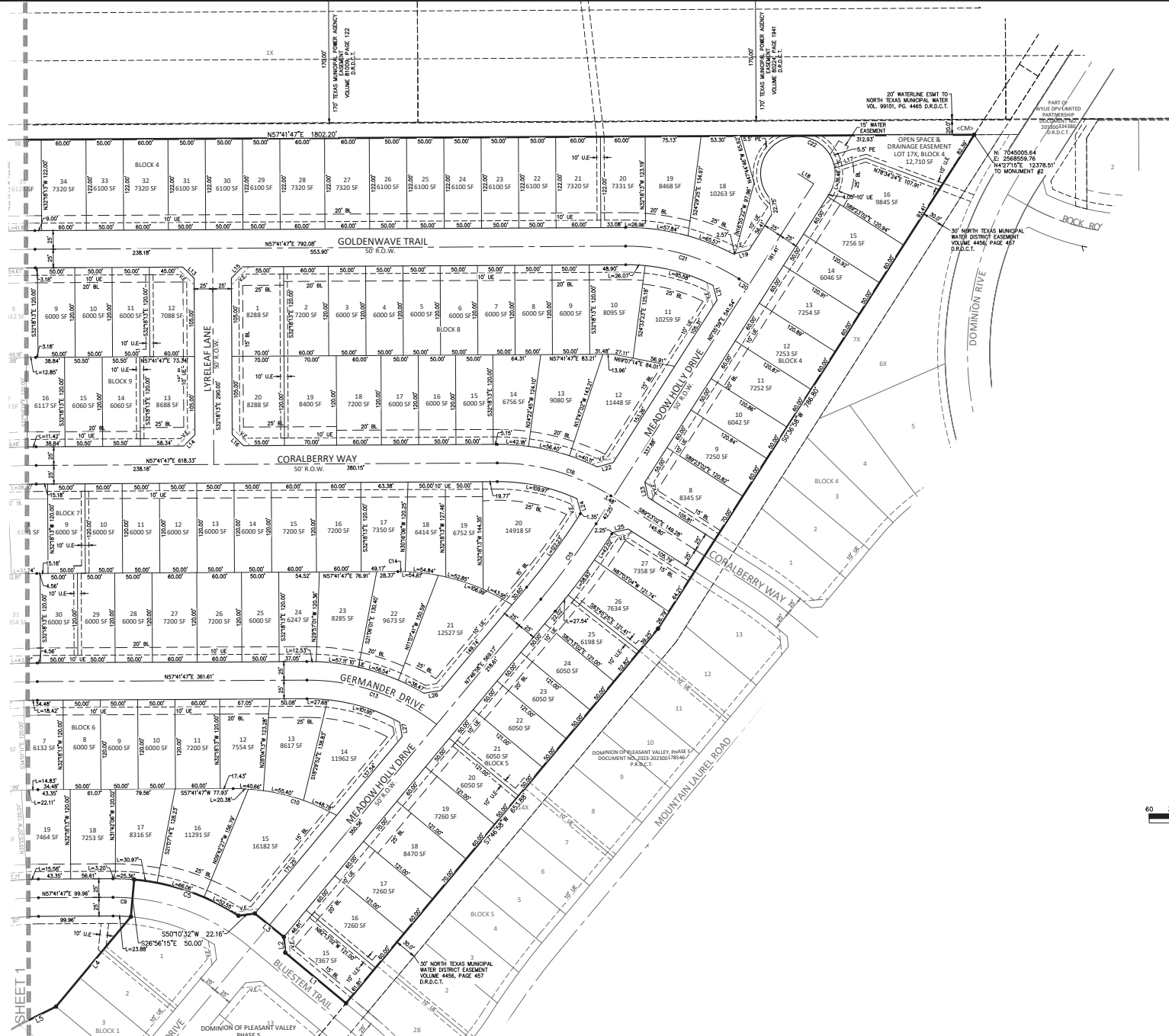


MATCHLINE - THIS SHEET

POINT OF COMMENCING

POINT OF BEGINNING

MATCHLINE - THIS SHEET



VICINITY MAP
N.T.S.

LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "VOC" (unless otherwise noted)
- 1/2" IRP
- AC Acre
- BL Building Line
- CI Curve No.
- <C&P> Control Monument
- DE Drainage Easement
- Eamt Easement
- LI Line No.
- Right-of-Way
- SF Square Feet
- UE Utility Easement
- V.E. Variability Easement
- W.M.E. Wall Maintenance Easement
- D.R.D.C.T. = Deed Records of Dallas County, Texas
- D.R.C.C.T. = Deed Records of Collin County, Texas
- M.R.C.C.T. = Map Records of Collin County, Texas

BEARING BASE STATEMENT
BASIS OF BEARING IS THE TEXAS COORDINATE SYSTEM NORTH
CENTRAL ZONE 4202, NAD 83.

CITY BENCHMARKS:

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ELEV: 454.28' (PLAN) 454.17' (FIELD)

FINAL PLAT

DOMINION OF
PLEASANT VALLEY
PHASE 6

40.573 ACRES

LOTS 8-16, 17X, 18-44, BLOCK 4;
LOTS 15-27, BLOCK 5; LOTS 1-24, BLOCK 6;
LOTS 1-37, BLOCK 7; LOTS 1-20 BLOCK 8;
LOTS 1-23 BLOCK 9; LOTS 1-15, 16X, 17X,
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168 SINGLE FAMILY LOTS
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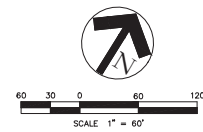
CITY OF WYLIE
DALLAS COUNTY, TEXAS

13 October 2025
SHEET 2 OF 3



Owner/Applicant:
Wylie DPV Limited Partnership
c/o Team Phillips, Inc.
1914 Skillman Street
Suite 110-310
Dallas, Texas 75206
Phone: 214-535-1758
Contact: Nancy E. Phillips, PE
nancy@teamphillipsinc.com

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East,
Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Claudio Segovia, PE
claudio.segovia@johnsonvolk.com



LEGAL DESCRIPTION
DOMINION AT PLEASANT VALLEY
PHASE SIX
40.573 ACRES

BEING a tract of land situated in the Guadalupe De Los Santos Survey, Abstract Number 1384, Dallas County, Texas and being a portion of those tracts of land conveyed to Wylie DPV Limited Partnership, according to the documents filed of record in Document Number 201300334379 and 2013029001473050, Deed Record Dallas County, Texas (D.R.D.C.T.) said tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped 'JVC' set in the southeasterly line of said Wylie DPV tract recorded in Document Number 201300334379, same being the common northeast line of that tract of land conveyed to North Texas Municipal Water District, Trustee, according to the document filed of record in Volume 97136, Page 3071 (D.R.D.C.T.) and being the south line of this tract, from which the south corner of said Wylie DPV tract bears S 45° 52' 19" E, 354.37 feet, from said corner a 1/2" iron rod with yellow plastic cap found for reference to said corner bears S 01° 53' 39" E, 1.07 feet;

THENCE, N 45° 52' 19" W, with said common line, a distance of 1185.30 feet to a 1/2" iron rod found in the southeasterly line of the above mentioned Wylie DPV Limited Partnership tract recorded in Document Number 2013029001473050, for the north corner of said North Texas Municipal Water District, Trustee tract, same being the common west corner of said Wylie DPV tract recorded in Document Number 201300334379 and for an interior 'ell' corner of this tract;

THENCE, S 44° 57' 32" W, with the northwesterly line of said North Texas Municipal Water District, Trustee tract, same being common with the south line of said Wylie DPV Limited Partnership tract recorded in Document Number 2013029001473050, a distance of 869.02 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the most westerly corner of this tract;

THENCE, leaving said common line over and across the above-mentioned Wylie DPV Limited Partnership tracts the following ten (10) courses and distances:

N 22° 49' 09" W, a distance of 193.28 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner;

N 2° 39' 45" E, a distance of 20.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a non-tangent curve to the right, having a central angle of 197° 38' 00", a radius of 50.00 feet, a chord bearing and distance of N 11° 28' 45" E, 98.82 feet;

With said curve to the right an arc distance of 172.47 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner;

N 74° 31' 11" E, a distance of 14.98 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a curve to the right, having a central angle of 24° 21' 52", a radius of 875.00 feet, a chord bearing and distance of N 45° 30' 51" E, 369.29 feet.

With said curve to the right an arc distance of 372.08 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner;

N 57° 41' 47" E, a distance of 289.50 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a curve to the right, having a central angle of 11° 47' 23", a radius of 305.00 feet, a chord bearing and distances of N 63° 35' 29" E, 62.65 feet;

With said curve to the right and arc distance of 62.76 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a non-tangent curve to the right having a central angle of 46° 18' 23", a radius of 50.00 feet, a chord bearing and distance of N 58° 41' 16" E, 39.32 feet;

With said curve to the right and arc distance of 40.41 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner;

N 42° 20' 15" E, a distance of 26.86 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 57° 41' 47" E, a distance of 1802.20 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the most westerly northwest corner of Dominion of Pleasant Valley, Phase 6, an addition to the City of Wylie, according to the plat filed of record in Document Number 2023-202300178546, Plat Records Dallas County, Texas, same being the north corner of this tract;

THENCE with the northwest lines of said addition the following thirteen (13) course and distances:

S 00° 36' 58" W, a distance of 786.80 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 07° 46' 58" W, a distance of 653.88 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 82° 13' 02" W, a distance of 106.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 37° 13' 02" W, a distance of 21.21 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 82° 59' 16" W, a distance of 50.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 50° 10' 32" W, a distance of 22.16 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract at the beginning of a non-tangent curve to the left, having a central angle of 28° 08' 49", a radius of 305.00 feet, and a chord bearing and distance of S 77° 06' 40" W, 148.07 feet;

With said curve to the left an arc distance of 149.57 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 26° 15' 15" E, a distance of 50.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 07° 46' 58" W, a distance of 156.89 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 31° 31' 56" W, a distance of 54.63 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 28° 26' 41" W, a distance of 64.12 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 07° 46' 58" W, a distance of 60.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 44° 07' 41" W, a distance of 205.04 feet to the POINT OF BEGINNING and containing 1,767,369 square feet or 40.573 acres of land.

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WYLIE DPV LIMITED PARTNERSHIP, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as DOMINION OF PLEASANT VALLEY, PHASE 6, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever the streets, rights-of-way and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements. If approved by the City Council of the City of Wylie, in addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinated to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS MY HAND this _____ day of _____, 2025.

WYLIE DPV LIMITED PARTNERSHIP,
A Texas Limited Partnership

By: Webb Peak Development Partners LP,
Its General Partner
By: RNI Development Company,
Its General Partner

By: _____
Ronald N. Haynes, Jr., President

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared Ronald N. Haynes, Jr., President, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2025.

RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this day personally appeared Ryan S. Reynolds, Land Surveyor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2025.

Notary Public in and for the State of Texas

My Commission Expires: _____

"RECOMMENDED FOR APPROVAL"

Chairman, Planning & Zoning Commission
City of Wylie, Texas

Date

"APPROVED FOR CONSTRUCTION"

Mayor City of Wylie, Texas

Date

"ACCEPTED"

Mayor City of Wylie, Texas

Date

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the DOMINION OF PLEASANT VALLEY, PHASE 6, subdivision or addition to the City of Wylie was submitted, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

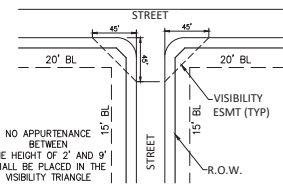
Witness my hand this _____ day of _____, A.D., 2025.

City Secretary, City of Wylie, Texas

VISIBILITY, ACCESS, MAINTENANCE AND DRAINAGE EASEMENTS

The area or areas shown on the plat as Visibility, Access, Maintenance, and/or Drainage Easements are hereby given and granted to the City, its successors and assigns, as easements to provide visibility, right of access for maintenance, and drainage upon and across said easements. The City shall have the right but not the obligation to maintain any and all landscaping within the easements. Should the City exercise this maintenance right, then it shall be permitted to remove and dispose of any and all landscaping improvements, including without limitation, any trees, shrubs, flowers, ground cover and fixtures. The City may withdraw maintenance of the easements at any time. The ultimate maintenance responsibility for the easements shall rest upon the owners. No building, fence, shrub, tree or other improvements or growths, which in any way may endanger or interfere with the visibility, shall be constructed to, on, over or across the visibility easements. The City shall also have the right but not the obligation to add any landscape improvements to the easements, to erect any traffic control devices or signs on the easements and to remove any obstruction thereon. The City, its successors, assigns, or agents shall have the right and privilege at all times to enter upon the easements or any part thereof for the purposes and with all rights and privileges set forth herein.

45' x 45' VISIBILITY EASEMENT (V.E.) DETAIL



FINAL PLAT

DOMINION OF
PLEASANT VALLEY
PHASE 6

40.573 ACRES

LOTS 8-16, 17X, 18-44, BLOCK 4;
LOTS 15-27, BLOCK 5; LOTS 1-24, BLOCK 6;
LOTS 1-37, BLOCK 7; LOTS 1-20 BLOCK 8;
LOTS 1-23 BLOCK 9; LOTS 1-15, 16X, 17X,
BLOCK 10

Owner/Applicant:
Wylie DPV Limited Partnership
c/o Team Phillips, Inc.
1914 Skillman Street
Suite 110-310
Dallas, Texas 75206
Phone: 214-535-1758
Contact: Nancy E. Phillips, PE
nancy@teamphillipsinc.com

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East,
Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Claudio Segovia, PE
claudio.segovia@johnsonvolk.com

168 SINGLE FAMILY LOTS
3 OPEN SPACES/COMMON AREAS
OUT OF THE
GUADALUPE DE LOS SANTOS SURVEY,
ABSTRACT NO. 1384 (DALLAS COUNTY)

CITY OF WYLIE
DALLAS COUNTY, TEXAS
13 October 2025
SHEET # OF 3

JOHNSON VOLK
CONSULTING
1991-2025 Engineering/Platting, Inc. 1991-2025 Land Surveying/Platting, Inc. 1991-2025
Professional Engineer License # 16661 (Mech. E.) Professional Land Surveyor License # 107160 (C.S.)



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: C

Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat for Dominion of Pleasant Valley Phase 7, creating 11 single family residential lots and two open space lots on 6.475 acres, generally located at the northeast corner of Dominion Drive and Pleasant Valley Road.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Wylie DPV, LP

APPLICANT: J. Volk Consulting

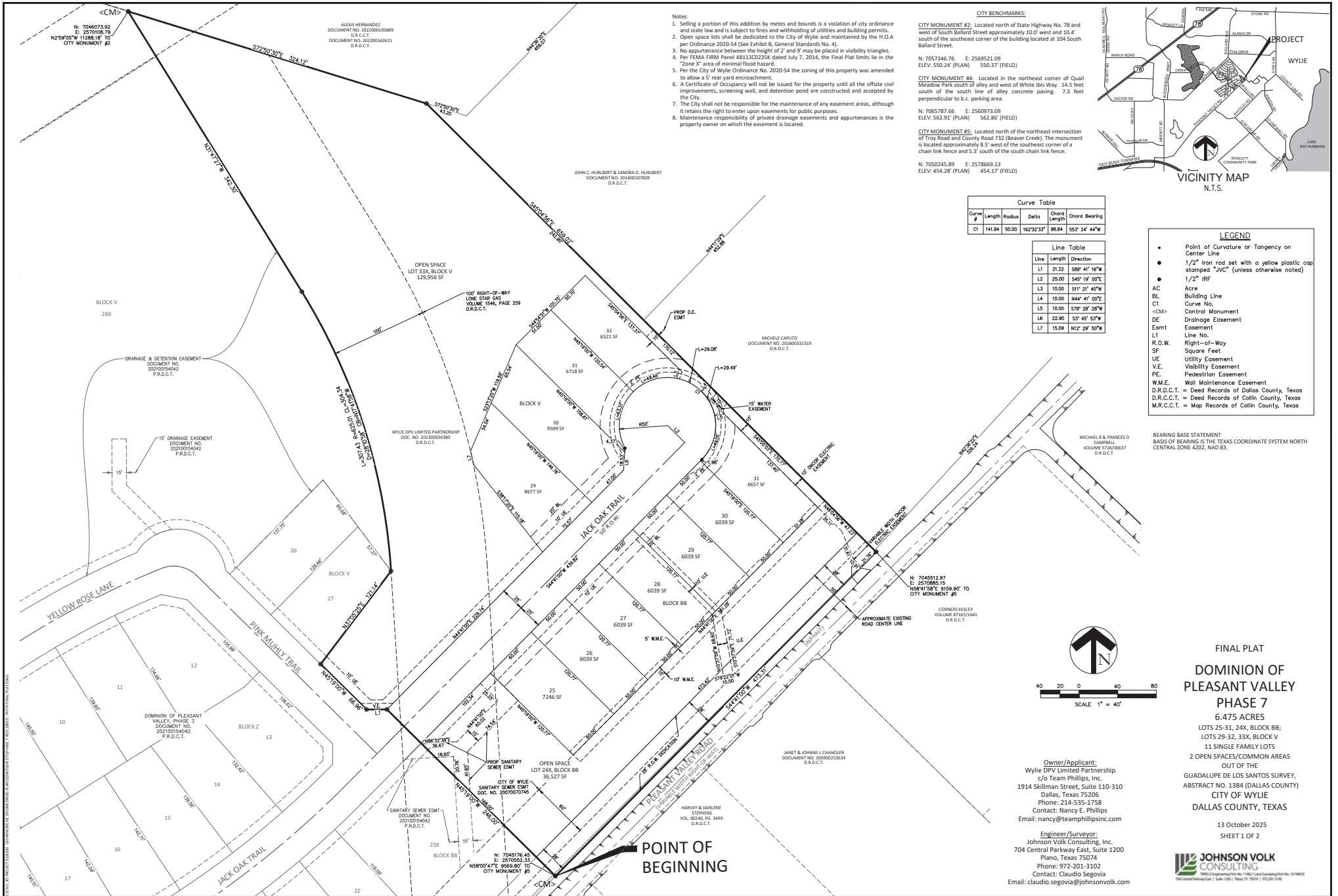
The applicant has submitted a Final Plat for Dominion of Pleasant Valley Phase 7. The plat consists of 11 residential lots and two open space lots on 6.475 acres. The property is zoned within Planned Development Ordinance 2025-41 as of November 2025. A preliminary plat for this site was approved in May 2024.

The Planned Development allows for a maximum of 1,123 single family residential lots. Within Phase 1-7 of the Dominion of Pleasant Valley Development there are 899 residential lots leaving 224 residential lots that can be developed in future phases.

The plat dedicates the necessary rights-of-way and utility easements. Open space lots are to be dedicated to the City of Wylie and maintained by the H.O.A.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 1

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change of zoning to amend Planned Development 2024-10 to a Planned Development (PD) with single family detached, commercial development and open space on 25.037 acres, generally located at 605 Country Club Road (**ZC2025-16**)

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: College Park, LLC

APPLICANT: Toll Southwest, LLC

The applicant is requesting a change in zoning to amend Planned Development 2024-10 on 25.037 acres to remove the single family attached (Townhomes) component and increase the single family detached development while keeping commercial development along the street frontage. The property is generally located near 605 Country Club Road.

The revised Zoning Exhibit (Exhibit B) contains a proposal that allows for 67 single family residential homes developed with the zoning ordinance SF-10/24 residential design standard on minimum 10,000 sf lots. The development also provides 20,000 of commercial development and 1.55 acres of open space area.

In comparison to the previous Planned Development this new request is a reduction of 15 residential dwelling units, a reduction of 4,000 sf of commercial development and a reduction of 2.75 acres of open space.

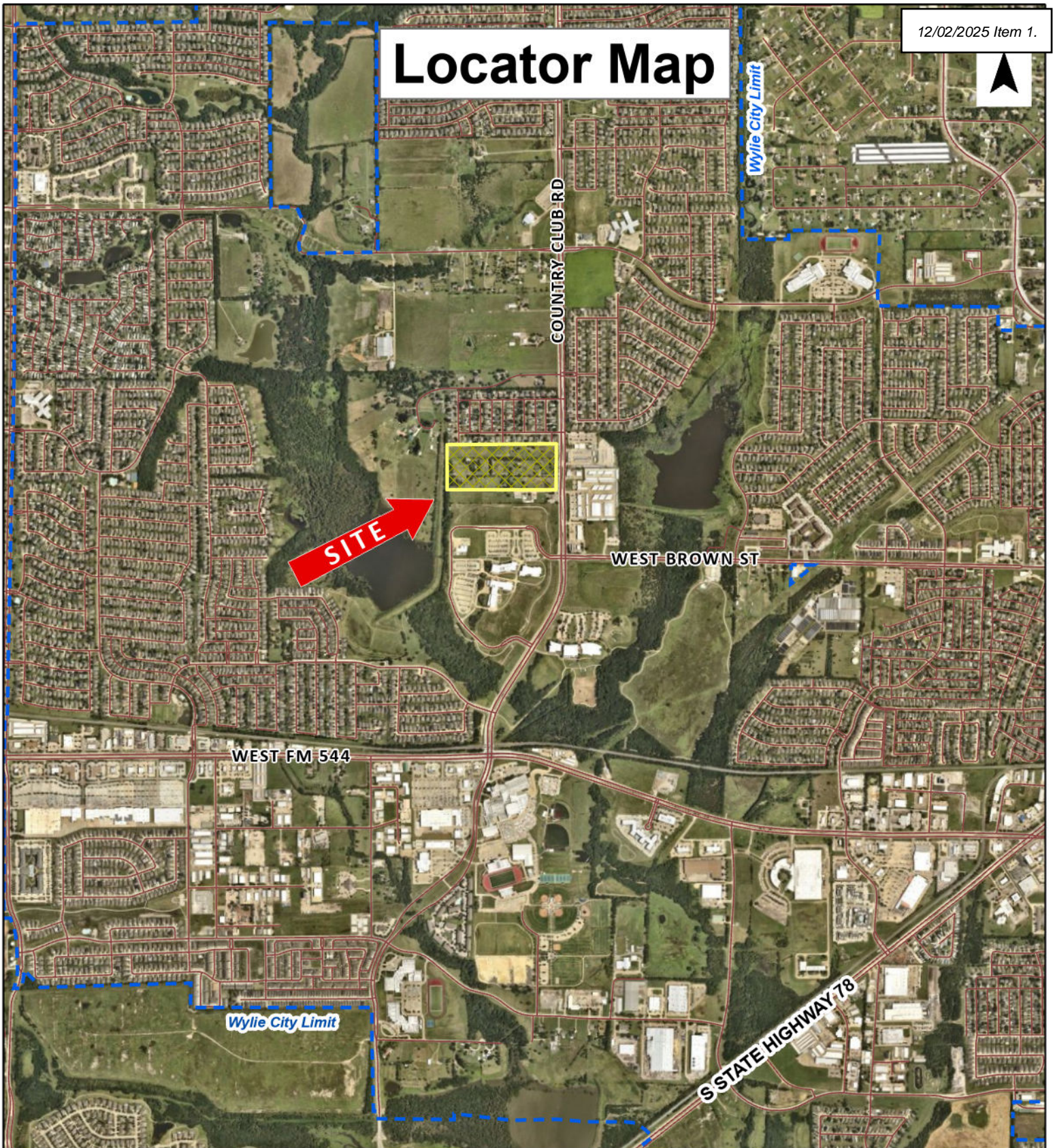
The Planned Development contains an additional modification which would allow for the homes that are constructed north of Wisdom Lane to have windows installed at a height over 10' on the rear of the home only if the windows are installed on the 1st floor in a manner where the person inside cannot visibly view and affect the privacy of the adjacent neighborhood to the north of the development. Exhibit "D" is provided to show how the windows function as an architectural visual accent to allow for additional lightning.

If zoning is approved, a site plan review shall be required for the commercial development. Preliminary and Final Plats shall be required for the entire development.

The property to the north is developed with the Presidential Estates single family subdivision. The property to the south is developed with Fire Station #2. The property to the west is developed as a farm and ranch style single family home. The property to the east is developed with commercial uses and a bus parking area for the Wylie School district. The subject property lies within the Local Commercial and Low Density Residential sectors of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to forty-seven property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request.

Locator Map



ZONING CASE:
ZC 2025-16 College Park

 SUBJECT property

0 0.25 0.5 0.75 1 Miles



Date: 10/27/2025

COMPILED BY: G STAFFORD



PROJECT SITE



LOCATION MAP
(NOT TO SCALE)

LEGAL DESCRIPTION

BEING a 25.0372 acre tract situated in the George W. Gunnell Survey, Abstract No. 351, Collin County, Texas and being all of a tract of land described in a deed to Wylie Partners, LP as recorded in Instrument Number 20180530000658260 of the Official Public Records Collin County, Texas (O.P.R.C.C.T.), and all tract of land described in a deed to Abdul R. Khan and Abdul L. Khan, as recorded in Instrument Number 20150608000672830, (O.P.R.C.C.T.) and all of a tract of land described in a deed to Scott Residential, LLC as recorded in Instrument Number 20181105001376830, 20181106001376890 (O.P.R.C.C.T.) and all of a tract of land described in a deed to ALK Real Estate Investment, LLP, as recorded in Instrument Number 20170302000278350 (O.P.R.C.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod set at the northeast corner of said Wylie Partners, LP, and the southeast corner of Presidential Estates, an addition to the City of Wylie as recorded in Volume G, Page 174, Map Records of Collin County, Texas, and on the west right-of-way line of FM Highway No. 1378 (a variable width right-of-way), for a corner;

THENCE South 00 degrees 30 minutes 18 seconds East along the east line of said Wylie Partners, LP, and on the west right-of-way line of said FM Highway No. 1378, a distance of 210.17 feet to a 1/2-inch iron rod found at the southeast corner of said Wylie Partners, LP and the northeast corner of said Khan tract, and at the beginning of a curve to the right having a radius of 2937.97 feet and a chord bearing and distance of South 01 degrees 44 minutes 34 seconds West, 154.95 feet;

THENCE Along the east line of said Khan tract and the west right-of-way line of said FM Highway No. 1378, and along said curve to the right having a delta of 03 degrees 01 minutes 19 seconds and an arc length of 154.95 feet to a 1/2-inch iron rod set, for a corner

THENCE South 01 degrees 31 minutes 02 seconds West, along the east line of said Khan tract and the west right-of-way line of said FM Highway No. 1378, a distance of 109.32 feet to a 5/8-inch iron rod found with cap stamped "TX001", at the southeast corner of said Khan tract and the northeast corner of said ALK Real Estate Investment, LLP, and the beginning of a curve to the left having a radius of 3643.48 feet and a chord bearing and distance of South 00 degrees 44 minutes 09 seconds West, 198.68 feet;

THENCE along the east line of said ALK Real Estate Investment, LLP, tract and on the west right-of-way line of said FM Highway No. 1378 and along said curve to the left having a delta of 03 degrees 07 minutes 29 seconds, and an arc length of 198.71 feet to a 1/2-inch iron rod set at the southeast corner of said ALK Real Estate Investment, LLP, tract and the north line of a tract of land described in a deed to City of Wylie, as recorded in Instrument Number 98-0038017, (O.P.R.C.C.T.), for a corner;

THENCE South 89 degrees 58 minutes 14 seconds West, along the south line of said ALK Real Estate Investment, LLP tract, and on the north line of said City of Wylie tract a distance of 1629.84 feet to a 1/2-inch iron rod found at the southwest corner of said ALK Real Estate Investment tract and the northwest corner of said City of Wylie tract, for a corner;

THENCE North 00 degrees 22 minutes 00 seconds East, along the west line of said ALK Real Estate Investment tract, a distance of 198.70 feet to a 3/8-inch iron rod found at the northwest corner of said ALK Real Estate investment tract, and the southwest corner of said Scott Residential, LLC, for a corner;

THENCE North 00 degrees 00 minutes 51 seconds East, along the west line of said Scott Residential, LLC tract, a distance of 265.48 feet to a 3/8-inch iron rod found at the northwest corner of said Scott Residential, LLC tract, and the southwest corner of said Wylie Partners, LP tract, for a corner;

THENCE North 01 degrees 01 minutes 00 seconds East, along the west line of said Wylie Partners, LP tract, a distance of 198.02 feet to a 5/8-inch iron rod found at the northwest corner of said Wylie Partners, LP tract, and the southwest corner of said Presidential Estates, for a corner;

THENCE North 89 degrees 35 minutes 29 seconds East, along the north line of said Wylie Partners, LP tract and the south line of said Presidential Estates, a distance of 1633.31 feet to the POINT OF BEGINNING AND CONTAINING 1,090,618 square feet or 25.0372 acres of land, more or less.

GENERAL NOTES:

1. ALL USES PERMITTED BY THE CITY OF WYLIE, TEXAS.
2. ALL THE SURFACE MATERIALS OF PUBLIC ROADS, ACCESS DRIVEWAYS AND SIDEWALKS SHALL FOLLOW THE MINIMUM CITY STANDARDS & SPECIFICATIONS.
3. FINAL STREET LAYOUT, LOT CONFIGURATIONS, DIMENSIONS & AREAS MAY VARY PROVIDING NO VARIANCES OF THE CITY OF WYLIE, TEXAS.
4. LANDSCAPING SHALL COMPLY WITH THE CITY OF WYLIE, TEXAS.
5. A HOMEOWNERS ASSOCIATION WILL BE FORMED TO MAINTAIN COMMON & EASEMENT AREAS AS PER THE CITY OF WYLIE.

SITE DATA TABLE			
	SF - 10/24 (SINGLE FAMILY)	COMMUNITY COMMERCIAL	COMMON AREAS (HOA OPEN SPACE)
TOTAL LAND AREA	21.21 ACRES	2.24 ACRES	1.55 ACRES
TOTAL HOMES	67	20,000 SF BUILDING	
MIN. LOT AREA	10,000 SF		
MIN. LOT WIDTH	75 FT		
MIN. LOT DEPTH	100 FT		
MAX. LOT COVERAGE	45%		
MIN. DWELLING SIZE	2,400 SF		
FRONT YARD	25 FEET MIN.		
SIDE YARD	10 FEET MIN.		
REAR YARD	25 FEET MIN.		
BUILDING HEIGHT	40 FEET	29 FT - 11 IN	
2 CAR GARAGE AREA	500 SF		
EX ZONING: PD 2024-10			

Engineer:



5900 S Lake Forest Dr, Ste 300
McKinney, TX 75070
(972) 554-1100
john@civilpt.com

PRELIMINARY
NOT FOR
CONSTRUCTION

JOHN H BEZNER
PE # 98469

Surveyor:
GeoNav Surveying
3410 Midcourt Rd, Ste 110
Carrollton, TX 75006
(972) 243-2409
TBPLS Firm No. 10194205
chris.howard@geo-nav.com

Applicant:
Toll Southwest, LLC
2555 SW Grapevine Parkway, Suite 100
Grapevine, TX 76051
(214) 801-8412
Contact: Sam Welty
swelty@tollbrothers.com

ZONING EXHIBIT
COLLEGE PARK

Block A, Lots 1-18, Lot 19X; Block B, Lots 1-28, 29X;
Block C, Lots 1-21, 22X;
Block D, Lot 1
Being 25.037 Acres in the
George W. Gunnell Survey, Abstract No. 351,
in the City of Wylie, Collin County, Texas
November 12, 2025
Sheet 2 (of 2)

EXHIBIT “C”

PLANNED DEVELOPMENT STANDARDS
COLLEGE PARK
Ordinance 2025-XX

PURPOSE

College Park is a sustainable development with a single family detached residential neighborhood accompanied by open space and a commercial retail component.

I. GENERAL CONDITIONS FOR THE OVERALL DEVELOPMENT

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. A Traffic Impact Analysis (“TIA”) for the Property dated October 7, 2024 and prepared by Lambeth Engineering Associates, PLLC as Project #006WYL (“College Park TIA”) has been completed, approved and accepted by the City prior to the date of this PD amendment. The traffic counts and findings in the College Park TIA are still generally acceptable. No additional TIA or similar study shall be required for this development.
3. A Homeowners Association (“HOA”) shall be established for the single-family portion of the development, designated as the “Single Family Tract” on the Zoning Exhibit (“Single-Family Tract”). The property owner shall implement Covenants, Conditions, and Restrictions or other similar government documents for the HOA established for the Single-Family Tract (“CCRs”), which shall address lighting and noise rules that meet or exceed City standards as well as the HOA’s ownership and maintenance of any open space, common areas, perimeter landscaping or other improvements as specified in the HOA governing documents. The CCRs shall be submitted to and accepted by the City prior to the approval of the preliminary plat.
4. In order to promote concurrence of development the following shall be required:
 - a. A preliminary plat for the entire site shall be submitted as one subdivision. Separate final plats may be submitted for separate phases or separate lots in the subdivision. Otherwise stated, a final plat is not required to contain the entire land area within an approved preliminary plat.
5. The development shall be in general conformance with Exhibit "B" (the “Zoning Exhibit”), as may be amended as provided herein. The applicant may submit minor changes of detail or amendments to the Zoning Exhibit attached hereto, and the City Planner or his/her designated representative (the “City Planner”) may approve such changes of detail or amendments so long as they do not (a) alter the uses permitted; (b) increase the density for the Single-Family Tract above 68 lots; (c) increase the building height above 40 feet for the Single-Family Tract or above 30 feet for the commercial development, designated on the Zoning Exhibit as the “Commercial Tract” (the “Commercial Tract”); (d) increase the lot coverage above 45% for the Single-Family Tract or above 50% for the Commercial Tract; (e) decrease the amount of required off-street parking per

Section 7.3 of the Zoning Ordinance; or (f) reduce the minimum yards required at the boundary of the site per Section 3.2.B, Figure 3-4 for the Single-Family Tract and per Section 4.1.C, Figure 4-3 for the Commercial Tract. If the City Planner does not approve any such requested minor changes or amendments, the applicant may submit a request to amend the Zoning Exhibit attached hereto to the City's Planning and Zoning Commission and may appeal the decision of the City's Planning and Zoning Commission to the City Council.

II. SINGLE FAMILY DETACHED RESIDENTIAL – SINGLE-FAMILY TRACT

A. GENERAL CONDITIONS:

1. All regulations of the Single Family – 10 District (SF-10/24) (“SF-10/24 District”) set forth in Article 3, Section 3.2.B of the Zoning Ordinance of the City of Wylie in effect as of the effective date of this PD ordinance (as amended through June 13, 2023 by Ord. No. 2023-23) (the “Zoning Ordinance”) shall apply except as specifically provided herein.
2. The development shall be in general conformance with the Zoning Exhibit, as may be amended as provided in Section I, General Conditions for the Overall Development, above.
3. The preliminary plat will serve as the site plan for the Single-Family Tract and no further or separate site plan approval shall be required.
4. All uses permitted in the SF-10/24 District are allowed within the Single-Family Tract. All uses permitted by SUP in the SF-10/24 District are permitted by SUP within the Single-Family Tract. In addition to all uses permitted in the SF-10/24 District, the following uses shall be permitted by right:
 - a. Temporary construction yard, or construction or sales office (as defined in the Zoning Ordinance), model home, and temporary construction trailer. For the avoidance of doubt, the property owner or developer shall be permitted to operate an on-site sales office in a model home and/or temporary construction trailer with associated storage for so long as the property owner or developer is actively marketing and building homes within the Property.
5. Except as provided in this section or in Section II.B.9 below related to amenities, the City shall not issue permits for construction activity until a final plat is filed of record and all public improvements for the subdivision have been accepted. A plat may be filed of record prior to the acceptance of public improvements if the owner or developer posts a bond pursuant to Texas Local Government Code 212.010 as a guarantee for the completion of the public improvements. Building permits for two model homes at the owner or builder's selection may be issued and construction of such model homes may commence; and permits and a certificate of occupancy, if applicable, for an on-site sales office and/or temporary construction trailer may be issued prior to the final acceptance of the proposed subdivision (or any portion thereof) or any public infrastructure for the subdivision, provided that:

- a. (1) if requested by the City, a development bond pursuant to Texas Local Government Code 212.010 is posted as guarantee for the completion of the public improvements; and (2) the final plat is recorded;
- b. streets adjacent to the applicable model homes or on-site sales office/ temporary construction trailer, as applicable, have been completed and the water system and fire hydrants related thereto have been completed and are functional to provide fire protection; and
- c. with respect to the model homes, each model home is inspected and found to meet all building, plumbing and fire code requirements prior to being opened to observation by the public.

B. SPECIAL CONDITIONS:

- 1. Maximum number of residential detached lots shall not exceed 68 lots.
- 2. Alleys shall not be required within the Single-Family Tract.
- 3. All homes within the community shall have front entry garages.
- 4. J-swing garage entries shall not be required but are permitted.
- 5. All homes on the north side of Wisdom Lane as shown on the Zoning Exhibit (Lots 1-18, Block A) shall be either (i) one-story homes; or (ii) if two story, the following requirements apply:
 - a. shall not have balconies on the rear elevation; and
 - b. shall not have windows on the rear elevation above 10 feet in height such that a person could stand on an interior floor immediately adjacent to the base of such window and look out of it. By way of example, a window located at the base first floor of a home such that a person can stand and look out the window shall not exceed 10 feet in height; however, there could be windows on the rear elevation exceeding 10 feet in height to provide light or architectural interest in the rear elevation that would be allowed/ not violate this provision because they are too high for a person to stand on the floor and be able to look out the respective window. An illustrative diagram of acceptable window heights to provide an explanation of the window requirement herein is attached hereto as Exhibit "D" but such diagram does not bind or limit the developer or any owner to the specific dimensions, configurations or materials shown therein.
- 6. The second point of vehicular access into the development shall be located off the existing street of Washington Place to the north and shall be gate restricted for emergency access only.

7. The HOA will be responsible for maintenance of all screening, HOA open space lots, HOA common areas, and landscaping within HOA areas.
8. Open Space.
 - a. The open space shown on the Zoning Exhibit shall be the only open space required for the Single-Family Tract (the “Open Space Area”). The Open Space Area is not required to conform exactly to the boundaries as shown on the Zoning Exhibit. The boundaries and acreage of the Open Space Area may be further refined through the permitting process. The Open Space Area may include detention area(s) and various amenities.
 - b. The portion of the Open Space Area shown on the Zoning Exhibit as “HOA Open Space Lot 19X” (“Open Space Lot 19X”) shall include at a minimum (i) a playground; (ii) at least two park benches; (iii) at least two pet waste stations; and (iv) at least two trash receptacles.
 - c. A minimum 5 foot wide concrete trail shall be provided within Open Space Lot 19X.
 - d. A 6’ high metal fence with brick or stone columns shall be required for Open Space Lot 19X.
 - e. The open space shown on the Zoning Exhibit and the amenities listed in subsections 8(b)-(c) above shall be the only open space and amenities required for the single-family portion of the development.
9. Plans for design and construction of any amenities may be submitted and reviewed/approved by the City while public infrastructure for the subdivision is being constructed (i.e., such plans may be submitted and approved prior to acceptance of public infrastructure). Once any amenity plans are approved and sufficient roads and water facilities have been provided within the subdivision to provide fire access and fire-fighting capability to the area where the applicable amenity or amenities will be constructed, the City will issue a permit that will allow the applicant to begin construction of any such amenities (i.e., construction of such amenities may begin prior to acceptance of all public infrastructure for the subdivision). The playground referenced in subsection 8(b) above and the trail referenced in subsection 8(c) above shall be completed prior to the issuance of the last certificate of occupancy within the subdivision.

C. **ARCHITECTURAL REQUIREMENTS:**

1. Notwithstanding any other law or regulation, any building product, material or aesthetic method may be used in the construction, renovation, maintenance, or other alteration of a residential building if the building product or material is approved for use by a national model code (e.g. IRC, IBC) published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building; or, establishes a standard for a building product, material, or aesthetic method in construction, renovation, maintenance, or other alteration of a residential building if the standard is more stringent than a standard for the product material, or aesthetic method under a national model code published within the last three code cycles that applies to the construction, renovation, maintenance, or other alteration of the building. The requirements in this Section II.C.1 apply in lieu of any building materials or aesthetic method requirements in the Zoning Ordinance, including without limitation the building bulk and articulation requirements and the exterior façade material requirements in Section 3.4, Figure 3-9(C) of the Zoning Ordinance per Ch. 3000 Tex. Local Govt. Code.
2. In lieu of the requirements in Section 3.4, Figure 3-9(C) of the Zoning Ordinance, the following requirements apply with regards to porches:
 - a. Each dwelling unit shall provide a minimum of 150 square feet of covered porch area which may be located on any one or a combination of front, side or rear entry porches. No minimum covered porch area shall be required on front, side or rear entries and the total required area may be satisfied entirely by a covered rear porch.
3. In lieu of the requirements in Section 3.4, Figure 3-9(C) of the Zoning Ordinance, the following requirements apply with regards to repetition of floor plan and elevation:
 - a. At least five lots shall be skipped on the same side of the street before repeating the same (i) floor plan plus (ii) elevation for a home.
 - b. At least two lots shall be skipped on the same side of the street for a different elevation but same floor plan/model name.

- c. At least two homes shall be skipped on the opposite side of the street before repeating the same (i) floor plan plus (ii) elevation.
 - d. At least one home shall be skipped on the opposite side of the street for a different elevation but same floor plan/model name.
 - e. No identical floor plan may be repeated on adjacent lots or directly across the street from a lot.
4. Homes are considered to have a differing appearance/elevation for purposes of Subsection 3(a)-(d) above if at least two of the following six items deviate:
- a. number of stories;
 - b. material color;
 - c. combination of materials;
 - d. window placement;
 - e. roofline or roof type and layout;
 - f. articulation of the front façade;
 - g. stone or brick accents; or
 - h. at least two architectural elements that differentiate the facade, which may include, but are not limited to: (a) Porch (protruding, recessed, or no porch); (b) Decorative door or window frames; (c) Bay window; (d) Dormers; (e) Balcony (full size or Juliette); or (f) Wing wall.

The list in this Subsection 4 is not exhaustive and other items may differentiate building elevations, as approved by the City Planner.

III. COMMERCIAL TRACT

A. GENERAL CONDITIONS:

- 1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
- 2. All regulations of the Commercial Corridor District set forth in Article 4, Section 4.1.C of the Zoning Ordinance (the “CC District”) shall apply except as specifically provided herein.

3. The development shall be in general conformance with the Zoning Exhibit, as may be amended as provided in Section I above.

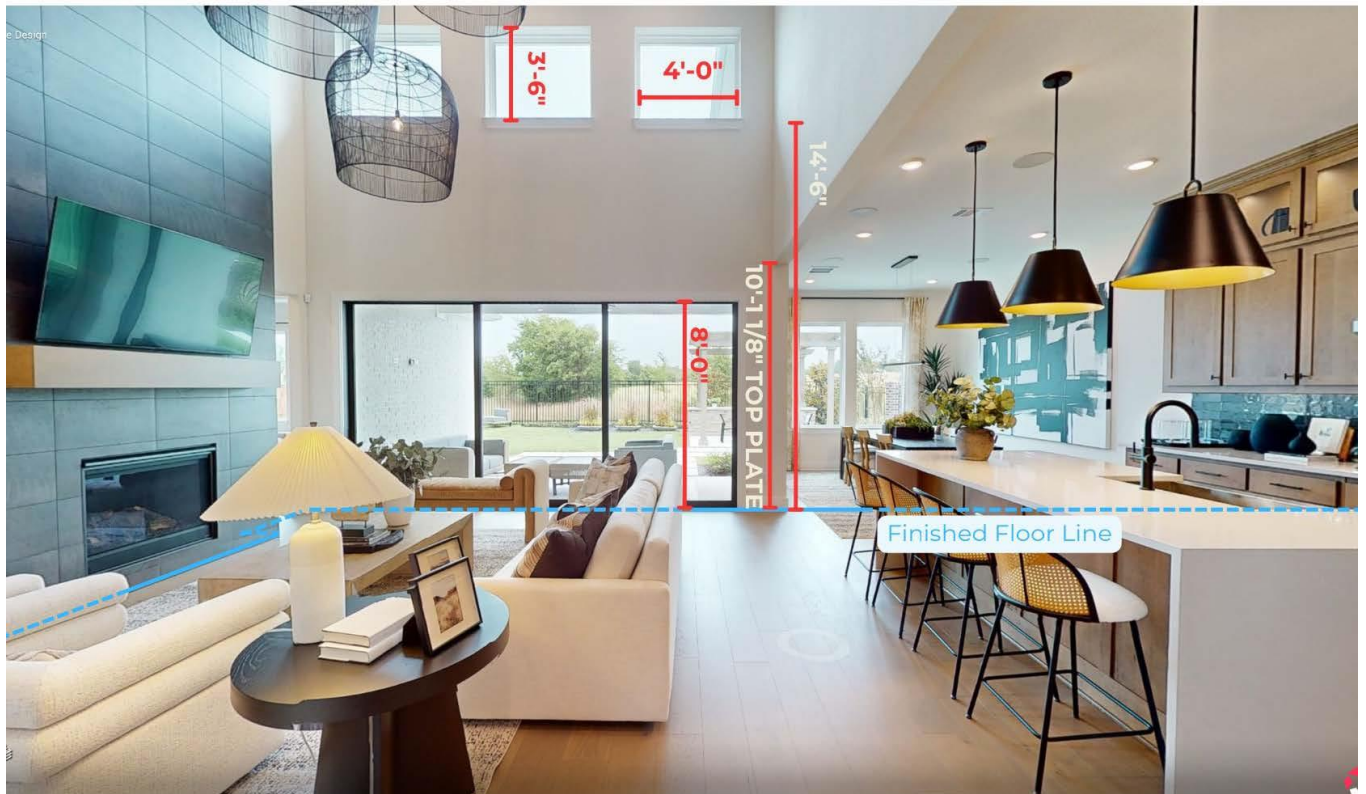
B. SPECIAL CONDITIONS:

1. The maximum height within the Commercial Tract shall be 30 feet.
2. Except as provided herein, all uses permitted within the CC District shall be allowed for the Commercial Tract. Further, except as provided herein, all uses permitted within the CC District by SUP shall be allowed within the Commercial Tract by SUP. The following additional uses with end cap drive-through configuration as an accessory use shall be allowed by right:
 - a. Dry Cleaning or Laundry, Drop-Off [Dry Cleaning or Laundry, *Self Service* shall only be allowed by SUP]
 - b. Restaurant with Drive-in or Drive-through Service
 - c. Financial Institution with Drive-through Service
 - d. Pharmacy with Drive-through Service
 - e. Convenience store with Drive-through Service
3. All drive-through facilities shall comply with: all applicable building setback, parking, and landscaping requirements; adequate stacking space to prevent queuing onto public streets; and all applicable City noise and traffic safety standards.
4. The following uses as defined in the Zoning Ordinance shall be prohibited:
 - a. Sexually Oriented Business
 - b. Commercial Greenhouse or Nursery
 - c. Hotel or Motel
 - d. Group Home
 - e. Hospital or Sanitarium *[does not prohibit an urgent care center or freestanding emergency medical care facility that is a walk-in clinic focused on the delivery of medical care for minor illnesses and injuries on an out-patient basis in an ambulatory medical facility or similar facility outside of a traditional hospital-based emergency department, which is considered a medical clinic use]*
 - f. Mortuary or Funeral Home
 - g. Animal Boarding/Kennel with Outside Pens
 - h. Animal Boarding/Kennel without Outside Pens
 - i. Commercial Amusement or Recreation (Low-Density Inside)
 - j. Commercial Amusement or Recreation (High-Density Inside)

- k. Commercial Amusement or Recreation (Outside)
- l. Golf Driving Range
- m. Shooting Range, Indoor
- n. Equipment Rental
- o. Automobile Rental
- p. Automobile Repair, Major
- q. Automobile Repair, Minor
- r. Car Wash
- s. Food Processing
- t. Vehicle Display, Sales or Service
- u. Beer and Wine Package Sales
- v. Smoke Shop or Head Shop *[defined as any establishment for the sale of any smoking, vaping, and/or cannabis related products (to include but not limited to: cigarettes, cigars, e-cigarettes, pipes, hookahs, bong, tobacco, vape cartridges, chewing tobacco, and legal cannabis products such as oils, edibles, tinctures, concentrates, and topicals), but does not include convenience stores that sell tobacco products as a small percentage of the store's overall goods offered for sale].*
- w. Smoking Establishments
- x. Motor Vehicle Fueling Station
- y. Airport, Heliport or Landing Field
- z. Cleaners (commercial)
- aa. Commercial Radio or TV transmitting station
- bb. Helipad
- cc. Radio, Television or Microwave Tower
- dd. Telecommunications Tower
- ee. Telephone Exchange without shops or offices
- ff. Utility or government installation other than listed
- gg. Contractor's Maintenance Yard
- hh. Recycling Collection Center
- ii. Local Utilities
- jj. Mounted Antenna
- kk. Transit Passenger Shelter
- ll. Any and all uses listed under Sections 5.2.H and 5.2.I of the Zoning Ordinance

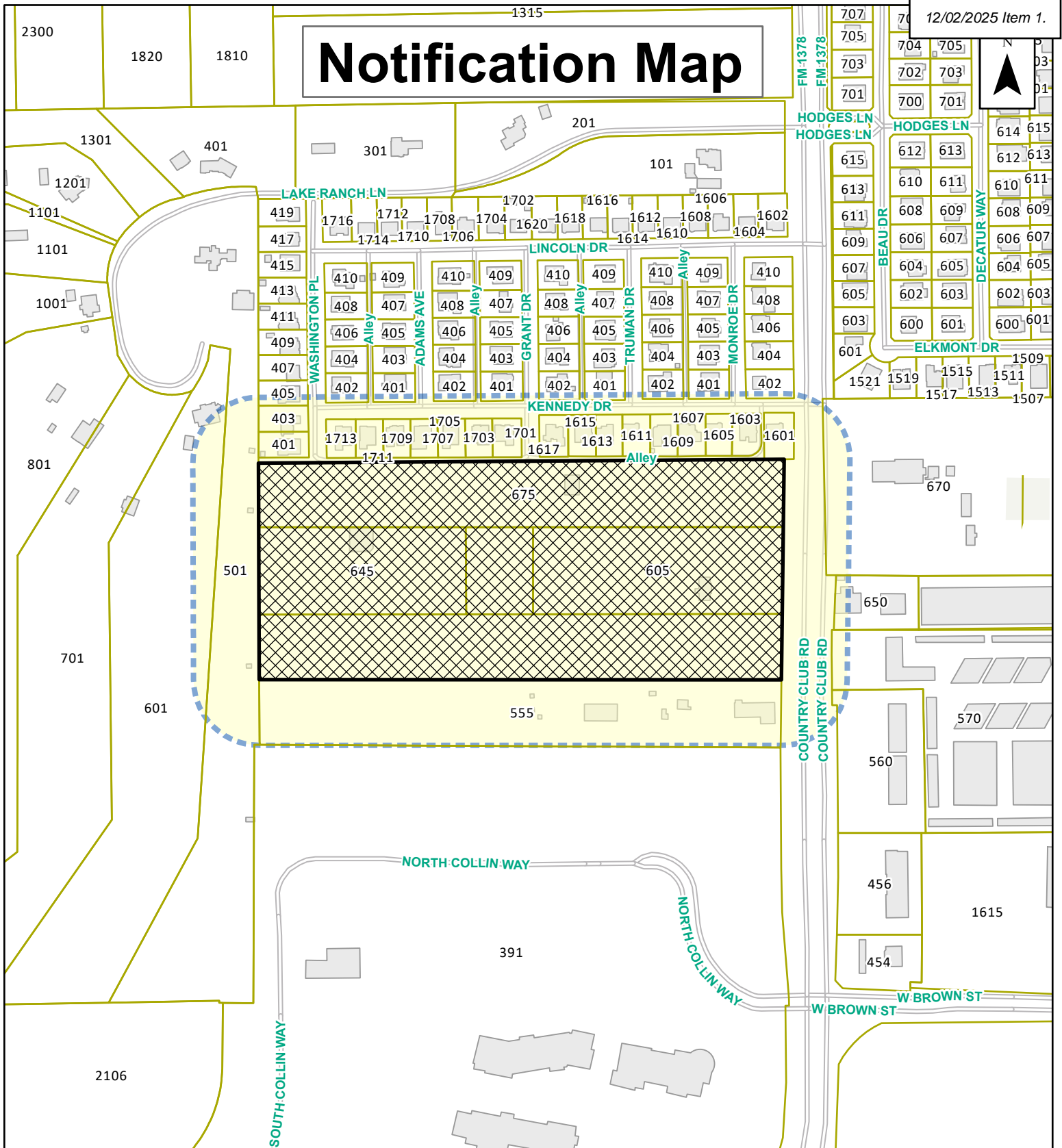
EXHIBIT "D"

Illustrative Diagram of Acceptable Window Placement on Rear Elevations North of Wisdom Lane





Notification Map



ZONING CASE:
ZC 2025-16 College Park

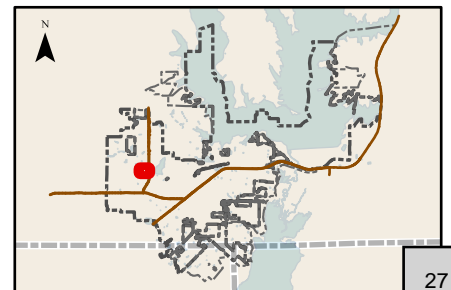
 SUBJECT property  200 foot Notification Buffer

0 100 200 300 400 500 600 700 800 900 1,000 Feet



Date: 10/27/2025

COMPILED BY: G STAFFORD





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 2

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP) on 0.88 acres to allow for Vehicle Display, Sales or Service. Property located at 114 Regency Drive (**ZC 2025-17**).

Recommendation

Motion to recommend (**approval**) as presented.

Discussion

OWNER: Mann Alliance LTD

APPLICANT: Man Alliance LTD

The applicant is requesting a Special Use Permit (SUP) on 0.88 acres to allow for a 5,400 square feet of an existing building located at 114 Regency Drive to be allowed to have a tenant for a vehicle display, sales or service use. The current zoning is Light Industrial (LI) and the Special Use Permit is needed to allow for Vehicle Display, Sales or Service.

The Special Use Permit request contains a condition which would only allow for the sale of vehicles inside a 5,400 square foot area as indicated in the zoning exhibit (Exhibit B). The defined area limits the ability of vehicle sales to an approximate maximum of 20 vehicles.

The Special Use Permit conditions are also requesting for the development to be parked as an Office Showroom/ Warehouse use due to the car sales business being conducted inside only. This is a parking ratio of 1 space for every 750 which would require eight parking spaces. There are 32 existing shared parking spaces located at 114 Regency Drive. A parking reduction would be beneficial in allowing for the remainder of the leased spaces at 114 Regency to have parking availability.

No exterior modifications are being made with this request.

The adjacent property to the north, east and west is zoned Light Industrial and contains auto sales, auto repair, manufacturing and amusement entertainment rental uses. The development to the east is zoned within a residential Planned Development and contains single family homes.


The subject property lies within the Industrial sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to twenty property owners within 200 feet as required by state law. At the time of posting, one response was received in favor and one was received in opposition of the request.

Locator Map



ZONING CASE:
ZC 2025-17 114 Regency Drive

 SUBJECT property

0 0.1 0.2 0.3 0.4 Miles

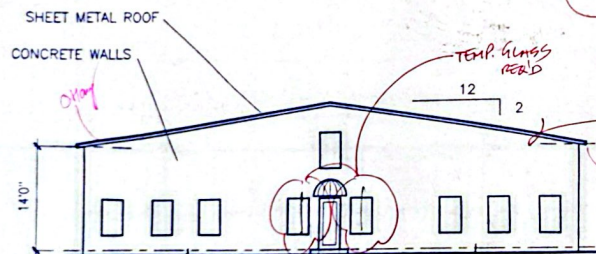
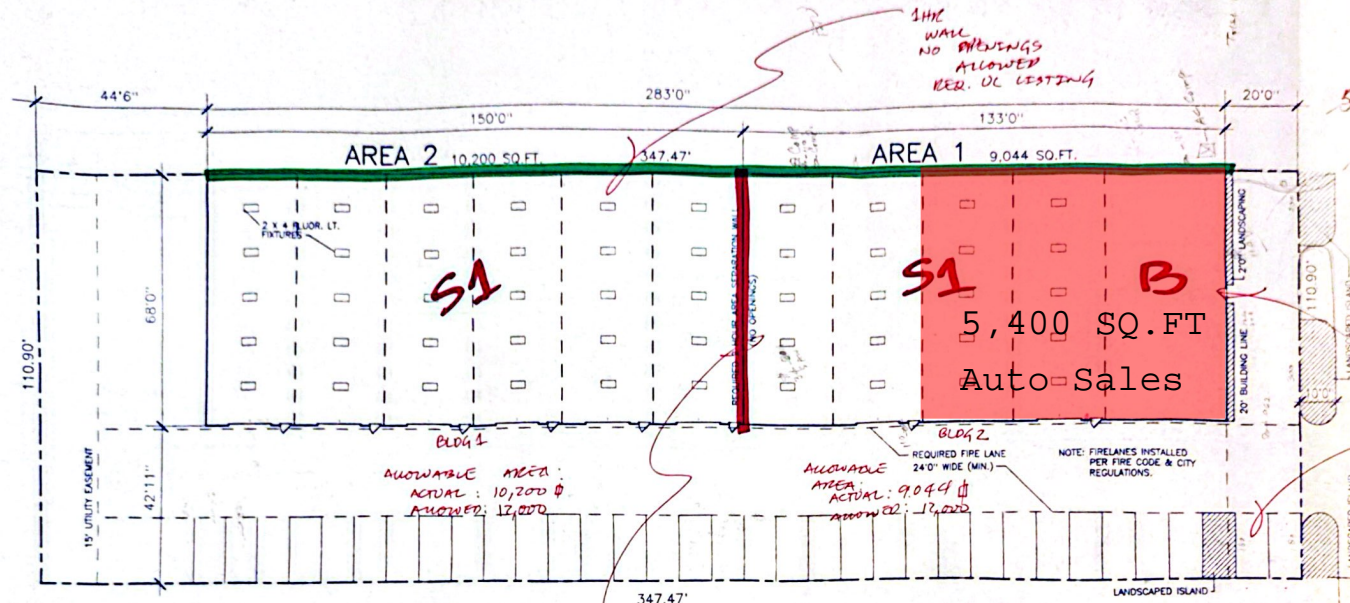


Date: 10/27/2025

COMPILED BY: G STAFFORD



Change: 1/2" to 1/4" Ruled



FRONT ELEVATION

SCALE: 1/8" = 1'0"



SIDE ELEVATION

SCALE: 1/16" = 1'0"

SITE PLAN
SCALE: 1/16" = 1'0" LOT - 3, BLOCK - A.

BLDG. DATA
CONST.: II-N
OCCP.: B/SA
SPRINK.: NO

* SEE REVIEW COMMENTS FOR MORE INFORMATION

APPROVED FOR CONSTRUCTION
CITY OF
WYLIE
SUBJECT TO FIELD INSPECTION
AND CODE COMPLIANCE
DATE: 1/14/24
BY: [Signature]

RDGS&
associates

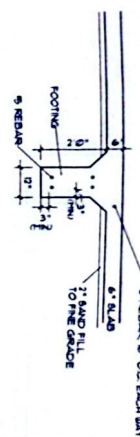
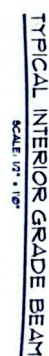
architects

1 7 8 1 8
Davenport Road
Suite 119
Dallas, Texas
75252
(972) 407-6056
REVISED:

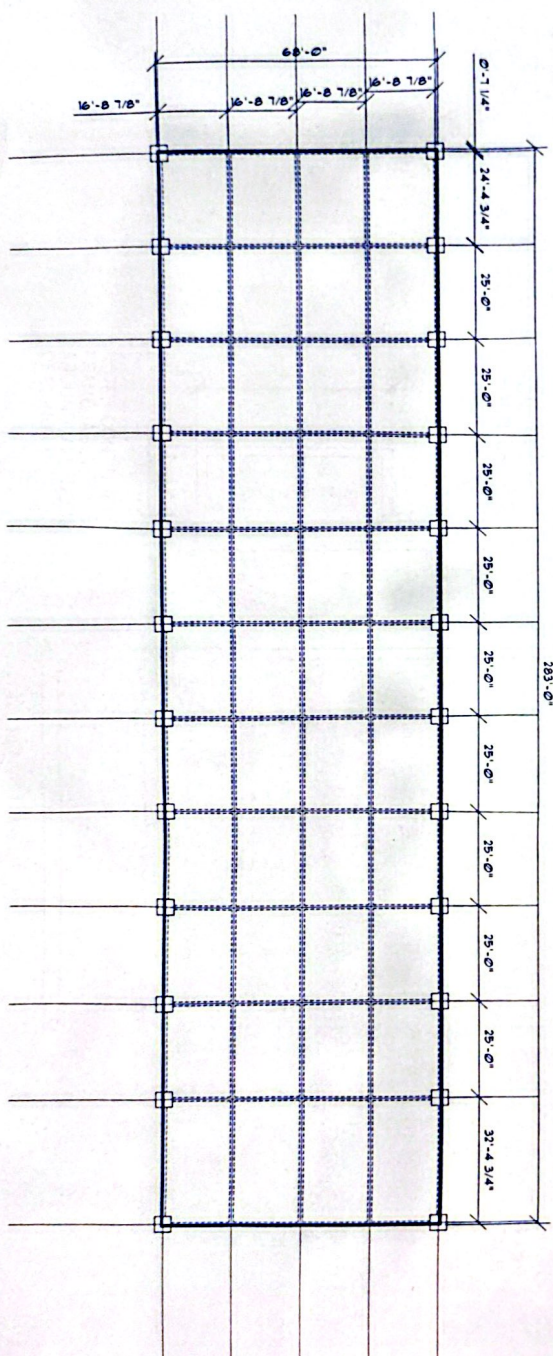
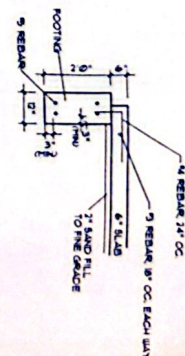


LONE STAR GRANITE
114, Regency Drive
Wylie, Texas

SCALE: 1/2" = 1'-0"



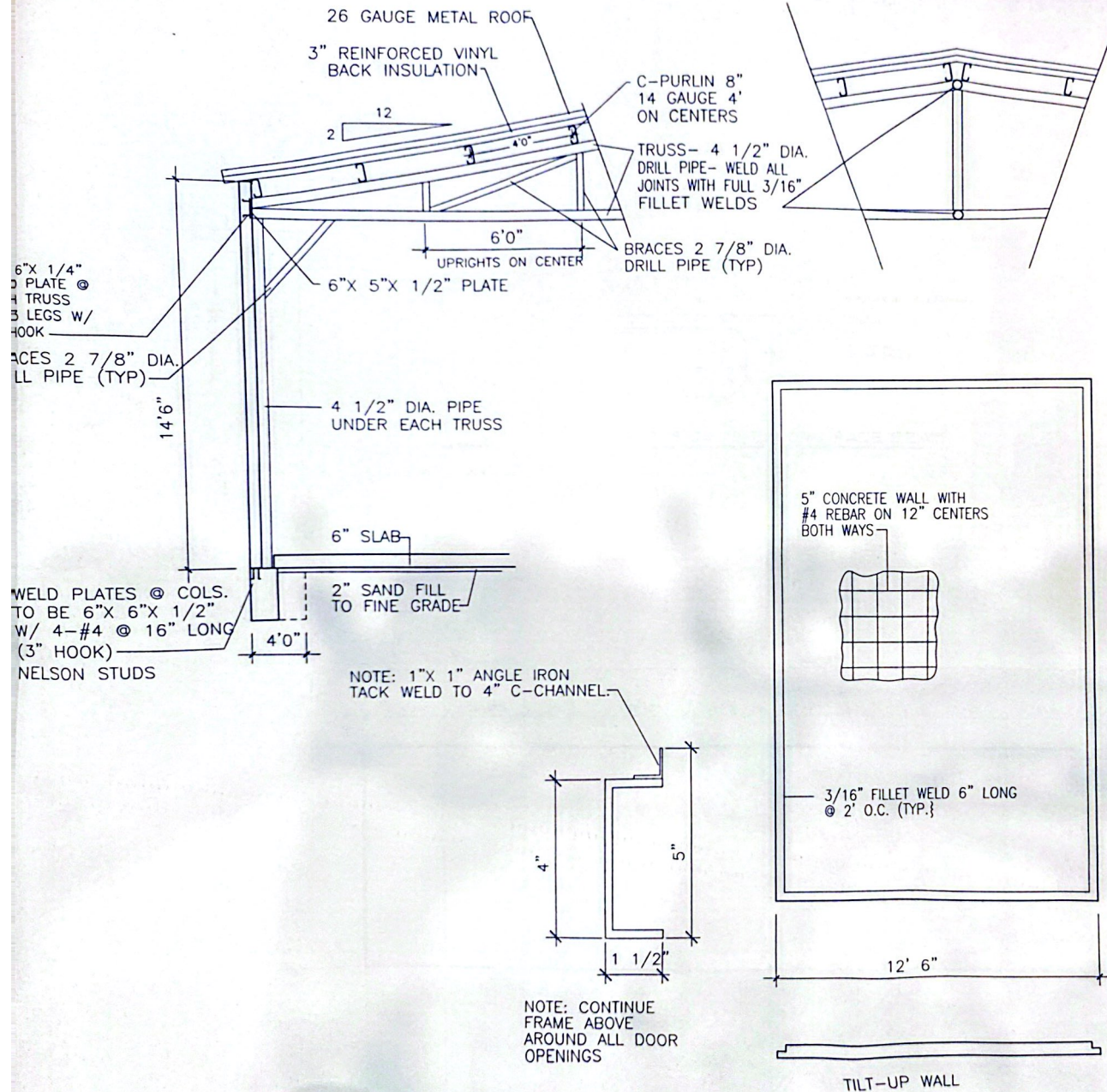
TYPICAL EXTERIOR GRADE BEAM



David Ortega
4/5/99

PRP CONSULTING GROUP
PLANNING SURVEYING LANDSCAPE DESIGN
CONSTRUCTION MANAGEMENT

DRAWN	DATE
PDP	5 APRIL 9
CHECKED	SCALE
	1/16" = 1'
	CSB NO.
	9956005
	SHEET
	2
OF 3 SHEETS	



NOTE: ON 12'-6" X 14' WIDE PANELS ADD 2-#4 ON EACH SIDE OF BAR LITE WINDOWS, & 3'0" X 6'0" DOOR.

ON 20' WIDE PANELS WITH 2- 3'0" X 7'0" DOORS, PROVIDE 4-#4 VERT. ON EACH SIDE OF DOOR AND ACROSS TOP OF DOORS (HORIZ.)

ON 20' WIDE PANELS WITH 12' X 12' O.H. DOORS, PROVIDE 7-#4 VERT. ON EACH SIDE OF DOOR AND ACROSS TOP OF DOOR (HORIZ.)

James Chapa
4/5/99

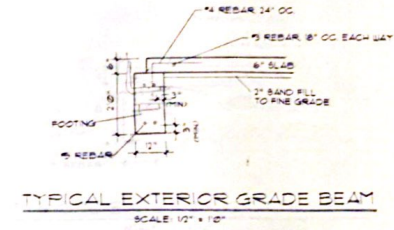
WALL SECTIONS

SCALE: 1/2" = 1'0"

PRP CONSULTING GROUP
PLANNING SURVEYING LANDSCAPE DESIGN
CONSTRUCTION MANAGEMENT

DRAWN PDP
CHECKED
DATE 5 APRIL
SCALE 1/2" = 1'
JOB NO. 995600
SHEET 3

3



Hand-drawn technical drawing of a rectangular structure, likely a bridge or a large container, showing dimensions and labels.

Dimensions:

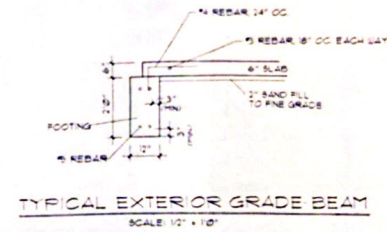
- Overall width: $263'-0"$
- Overall height: $68'-0"$
- Left side width: $24'-4 \frac{3}{4}"$
- Right side width: $32'-4 \frac{3}{4}"$
- Internal width segments (from left to right):
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$
 - $25'-0"$

Labels:

- Top center: $263'-0"$
- Left side: $68'-0"$
- Bottom center: $263'-0"$

The drawing includes a grid of vertical lines and horizontal lines, with a central vertical line and a central horizontal line. The structure is outlined with a thick black line, and the internal segments are marked with vertical lines. The drawing is on a light blue background.

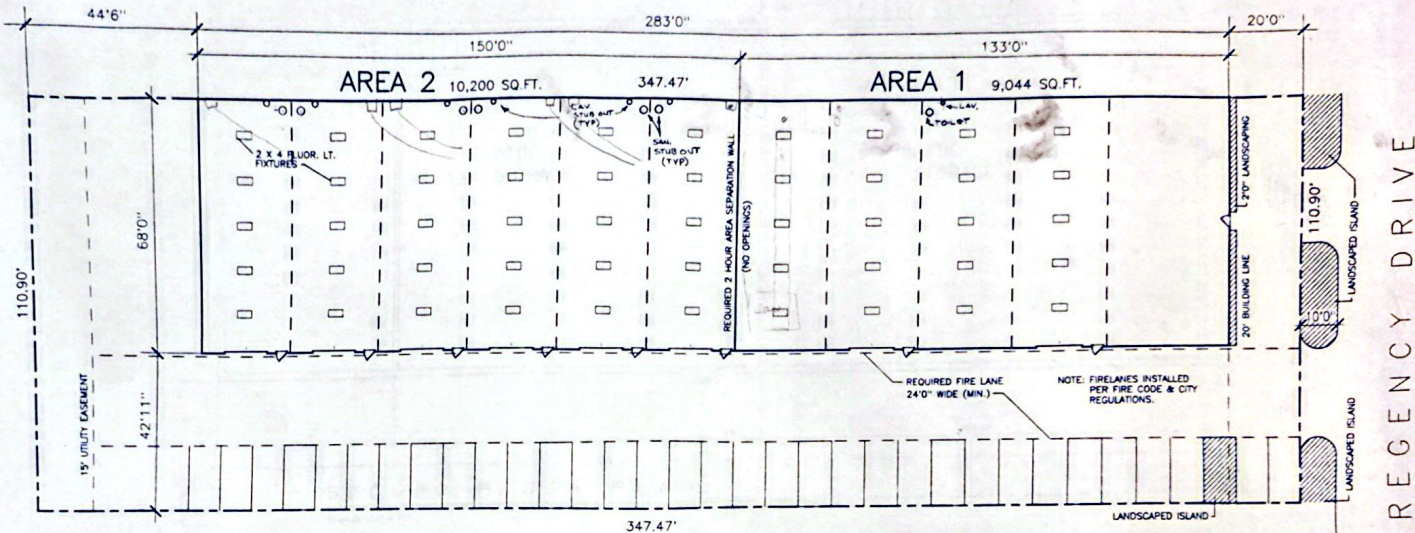




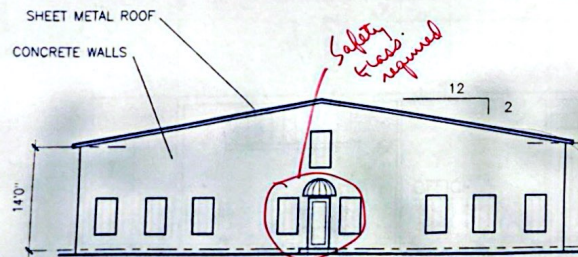
1 7 8 1 8
Davenport Road
Suite 119
Dallas, Texas
75252
(972) 407-6056
REVISED:



LONE STAR GRANITE
114 Regency Drive
Wylie, Texas

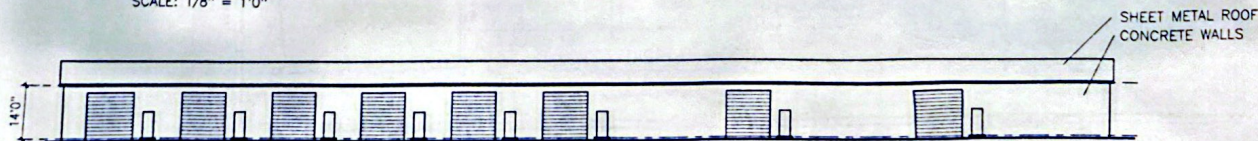


S I T E P L A N NORTH
SCALE: 1/16" = 1'0" LOT - 3, BLOCK - A.



FRONT ELEVATION

SCALE: 1/8" = 1'0"



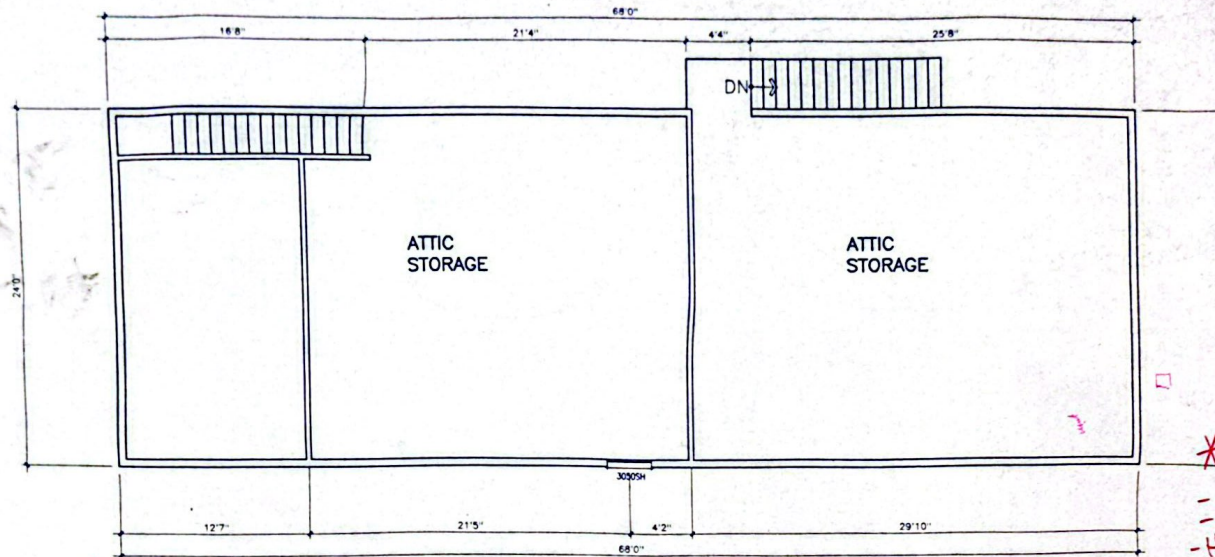
SIDE ELEVATION

SCALE: 1/16" = 1'0"

RDGS&
associates

architects

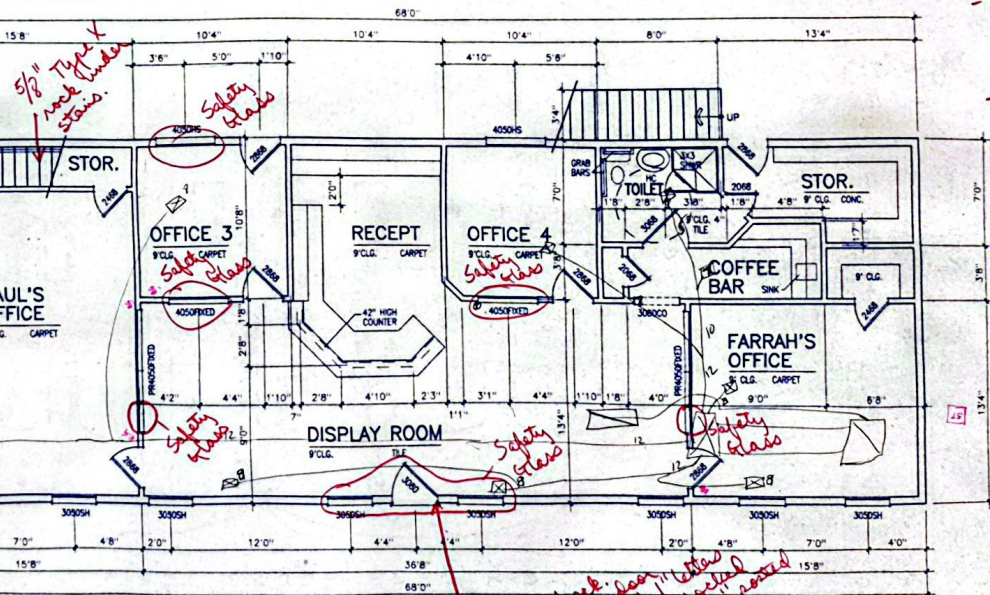
1 7 8 1 8
Davenport Road
Suite 119
Dallas, Texas
75252
(972) 407-6056
REVISED:



SECOND FLOOR PLAN

SCALE: 1/4" = 10'

More than 4
employees requires
2 rest rooms.



FIRST FLOOR PLAN

SCALE: 1/4" = 10'

STAIRS

- MAX. RISE - 7"
- MIN. RISE - 4"
- Highest + Smallest rise height cannot deviate more than 3/8"
- Handrail required Both sides. Top of rail located 34"-38" above nosing of treads.
- Open sides of stairs and landings must have 42" min height guardrail from finished floor.
- no openings in handrail or guardrail that a 4" sphere will pass through
- Handrail on 1 side must extend 12" beyond top and bottom nosing
- Handrails must end in newel posts or be returned (Not open on ends)

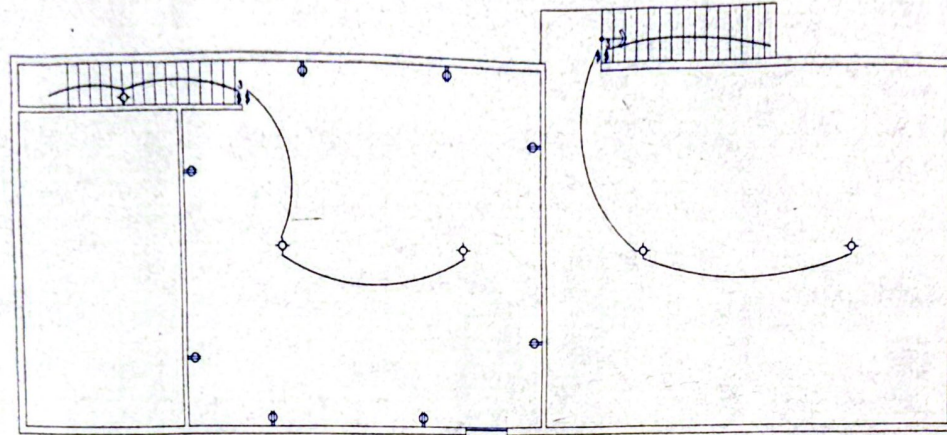


LONE STAR STATE
114 Regency Drive
Wylie, Texas

#98093

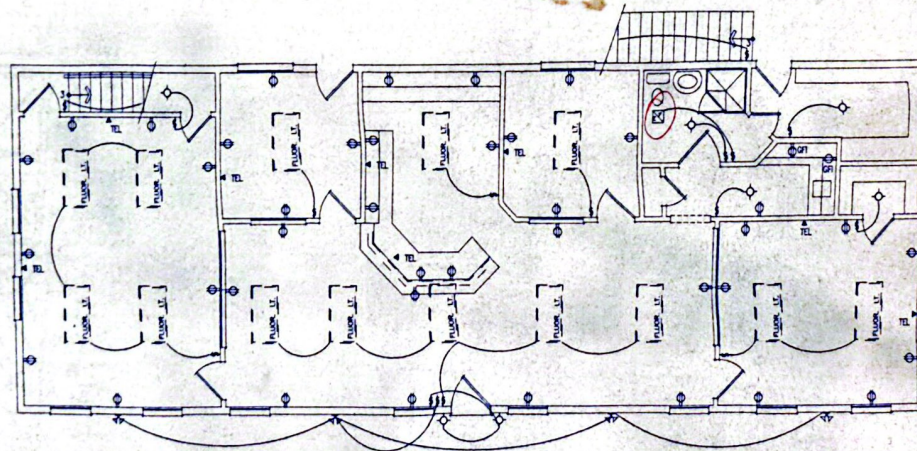
1.00

Thumbtack lock
if double hung, this door will
only must have a pin in
this door to remain unlatched
during business hours, posted
in only door.



SECOND FLOOR ELECTRICAL PLAN

SCALE 1/4" = 10'



FIRST FLOOR ELECTRICAL PLAN

SCALE 1/4" = 10'

RDG.S
associa

architect

1 7 8 1 6

Davenport, Reg

Suite 119

Dallas, Texas

75252

(972) 407-6666

REVISED:



LONE STAR GRANITE
114 Regency Drive
Wylie, Texas

#98093

3.00

* STAIRS *

- MAX. RISE - 7"
- MIN. RISE - 4"
- Highest + Smallest riser height cannot deviate more than $\frac{3}{8}$ "
- Handrail required Both sides. Top of rail located 34"-38" above nosings of treads.
- Open sides of stairs and landings must have 42" min. height guardrail from finished floor.
- no openings in handrail or guardrail that a 4" sphere will pass through
- Handrail on 1 side must extend 12" beyond top and bottom riser
- Handrails must end in metal posts or be ~~secured~~ returned.
(Not open on ends)



1 LONE STAR GRANITE

114 Regency Drive
Wylie,
Texas

Mann Vehicle Sales**EXHIBIT "C"****Conditions For Special Use Permit****Ordinance 2025-XX****I. PURPOSE:**

1. The purpose of this Special Use Permit is to allow for an Vehicle Display, Sales or Service use within the Light Industrial district.

II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations of the Light Industrial District (CC) set forth in Article 4 and 5 of the Comprehensive Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of the Mann Vehicle Sales development shall be in accordance with Section III below and the Zoning Exhibit (Exhibit B).

III. SPECIAL CONDITIONS:

1. This Special Use Permit shall allow for Vehicle Display, Sales or Service within the Light Industrial district limited to be inside a 5,400 square foot area as indicated in the Zoning Exhibit (Exhibit B)
2. The parking requirement for the development shall be 1 space for every 750 square feet being a total of 8 parking spaces.

Notification Map

12/02/2025 Item 2.

3030

3026

7

10A

10B

10C

16

9

12

STEEL RD

3106

3104

3102

3100

3002

3000

3108

3109

3107

200

201

203

205

207

209

211

213

215

217

219

202

204

206

208

210

212

214

216

3102

3100

3107

3109

3108

3110

3111

3109

3107

3105

3103

3101

398

200

2814

2812

2810

2808

2809

2807

2806

110

112

114

116

118

101

23

25

117

119

121

120

2905

2903

123

45

REGENCY DR

SPRINGWELL PKWY

CAPITAL ST

NORTH POINT DR

STERLING HTS

EMERALD EDGE DR

4

A map of the North Sea region showing the study area. The North Sea is to the north, and the German-Danish border is indicated by a dashed line. The city of Hamburg is marked with a red circle. The map includes a north arrow and a scale bar indicating 40 km.



Public Comment Form

First Name *

Syed shamshalam

Middle Name

Last Name *

Hussaini

Address *

Street Address

201 Sterling Heights

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-17 114 Regency

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

We have noise pollution starting 4 AM already, this change will worsen the noise problem. Additionally, this change will negatively impact our property valuations. Finally the increase local traffic and increase commercialization is a safety concern.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A stylized, handwritten electronic signature in black ink on a light gray background.

Date of Signature

11/17/2025



Public Comment Form

First Name *

Anil

Middle Name

Last Name *

Asher

Address *

Street Address

117 Regency Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-17 114 Regency

Response *

- ☒ I am FOR the requested zoning as explained on the public notice
- ☐ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/19/2025



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 3

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Agricultural (AG) to Community Retail - Special Use Permit (CR-SUP) on 1.85 acre to allow for Office Showroom /Warehouse. Property located at 308 W Alanis Drive. **(ZC 2025-09)**.

Recommendation

Motion to recommend (**approval**) as presented.

Discussion

OWNER: Ghassan Awadallah

APPLICANT: REK Architect

The applicant is requesting a change in zoning from Agricultural to Community Retail with Special Use Permit (SUP) on 1.85 acres to allow for a 27,727 square feet of office showroom/ warehouse development generally located at 308 W Alanis Drive.

The current property is zoned Agricultural. The front of the property is developed with two residences that were constructed in 1981 and in 1985 and the rear of the site is developed with an office and unenclosed stables and is accessed from Goll Road. Certificates of Occupancy do not exist for the commercial uses and are unusable due to several code issues including no emergency vehicle access. The proposal is to demolish all existing structures and construct four 5,950 and one 2,613 sf buildings that are in compliance with all of the city code standards.

The developer is proposing to develop the buildings as shell space. The CR underlying zoning limits uses to office / showroom / warehouse and all current CR uses such as personal service uses, general merchandise retail stores, permanent cosmetic establishments, health club, medical clinic, animal clinic, household equipment & appliance repair, and automobile rental.

The Zoning Exhibit (Exhibit B) provides a conceptual layout which depicts the development being accessed by a new driveway that has a hammerhead turnaround. The plan also provides proposed fire hydrant locations to ensure the fire code requirements are being met. The parking ratio for the site shall be 1 space for every 700 square feet being 40 parking spaces with four ADA spaces provided.

The architectural elevations shall be in compliance with the architectural design standards of the Community Retail zoning district and the site shall be required to provide a 20% landscaped area.

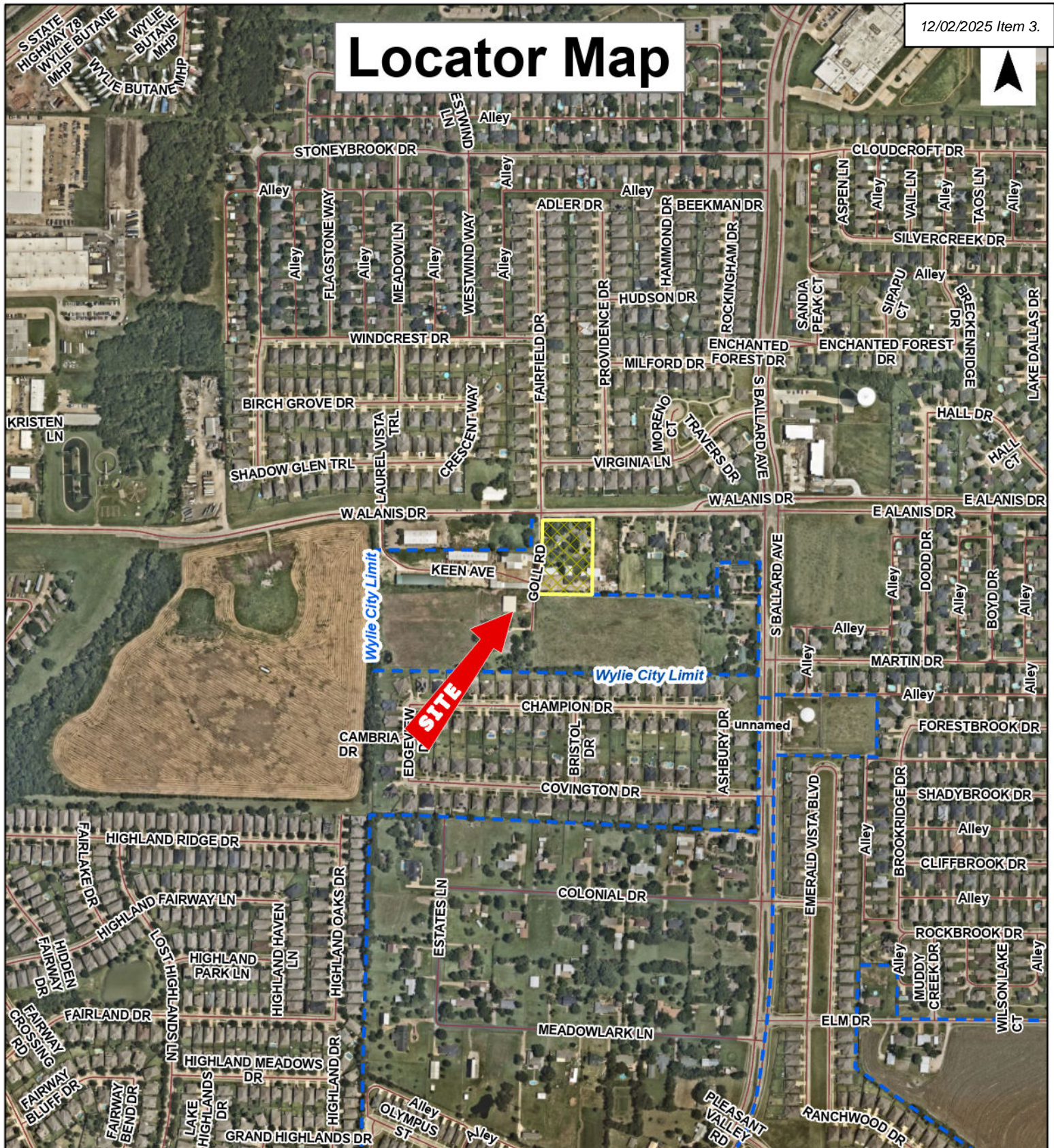
If zoning is approved, a site plan, preliminary and final plat review shall be required prior to construction commencing.

The adjacent property to the north is zoned within the residential Stone Ranch Planned Development. The development to the east is zoned Agricultural and is currently vacant. The property to the west is zoned within the Commercial Retail zoning district, a similar zoning as to what the developer is requesting. The property to the south is located outside of the city limits.

While the subject property lies within the Low Density Residential sector of the Comprehensive Land Use Plan, the proposed zoning is compatible with the Land Use Plan as the property to the west is within the Local Commercial sector and this serves as a compatible continuation of light commercial uses along the street frontage of Alanis Road. In addition, the property to the east is currently vacant, zoned AG/30, and serves as a buffer to nearby residential properties.

Notices were sent to thirteen property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor and three were received in opposition of the request within the notification area. In addition, 24 notices were received in opposition outside of the notification area.

Locator Map



ZONING CASE:
ZC 2025-09 308 W ALANIS DR

 SUBJECT property

0 200 400 600 800 1,000 Feet

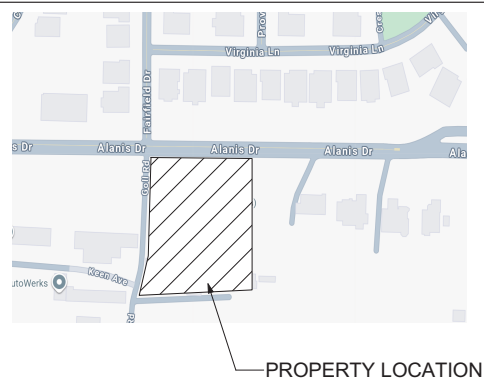


Date: 9/10/2025

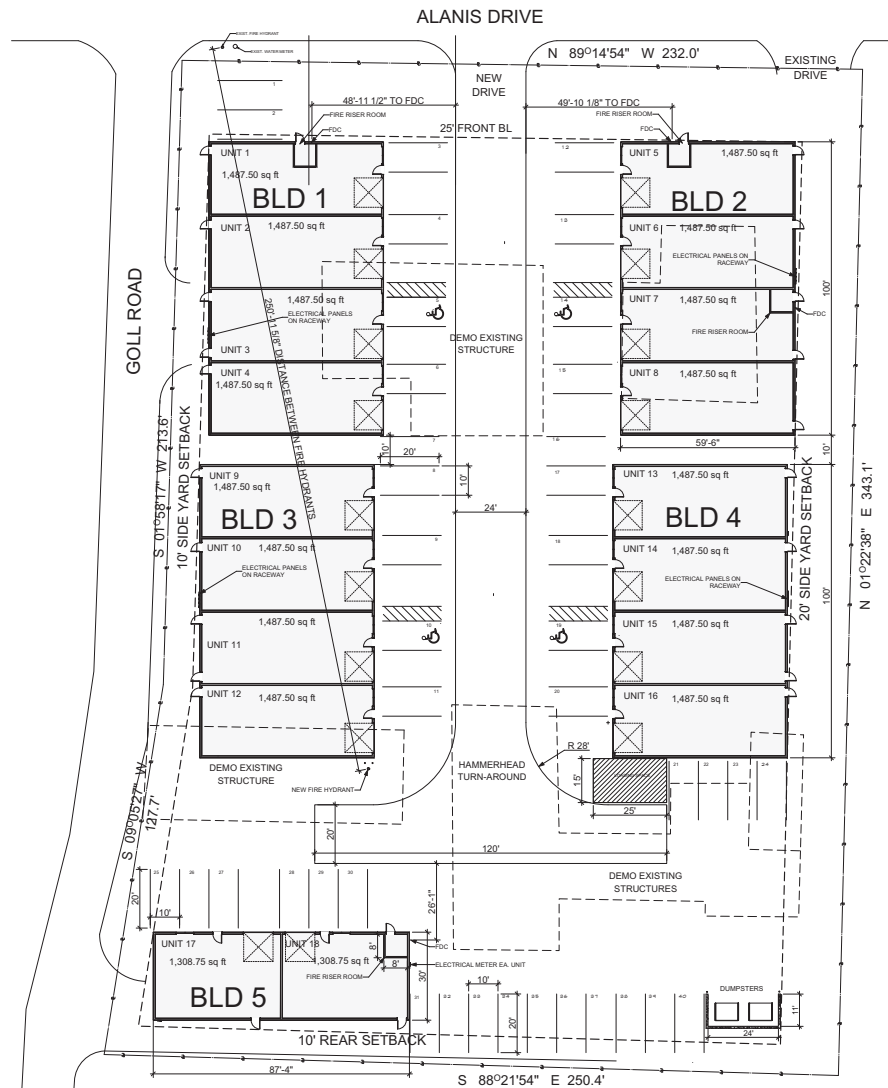


SITE PLAN PROPOSAL

VICINITY MAP



PROPERTY LOCATION



01 PRELIMINARY SITE PLAN
SCALE: 1" = 20'

WATER LINES AND SIZES T.B.D.
27,726.25 TOTAL BUILDING S.F.
SITE AREA: 1.85 ACRES
BUILDING HEIGHT TO BE 24'
CURRENT ZONING: AG
PROPOSED ZONING: CR with SUP
REQUIRED PARKING: 40
PROVIDED PARKING: 40
4 ADA SPACES PROVIDED

ABS A0292 HL Douglas Survey Tract 8
1.847 acres CITY OF WYLIE, COLLIN
COUNTY, TEXAS
Property owner: GHASSAN AWADALLA
210-873-3660



Revisions

A ZONING PROPOSAL FOR
308 ALANIS DRIVE
308 ALANIS DRIVE, WYLIE, TEXAS 75098

ABSOCIATES
R. E. KINDRED
ARCHITECT

DATE: 06/19/2025
JOB ADDRESS: 308 Alanis Drive, Wylie, Texas 75098
DRAWN BY: R.E.K.
CHECKED BY: R.E.K.
SHEET NUMBER: **A1.00**

A1.00_EXISTING SITE PLAN

Exhibit “C”**Awadalla Flex Space****Conditions For Special Use Permit****(Ordinance 2025-XX)****I. PURPOSE:**

The purpose of this Special Use Permit is to create a flex space / warehouse facility for small businesses.

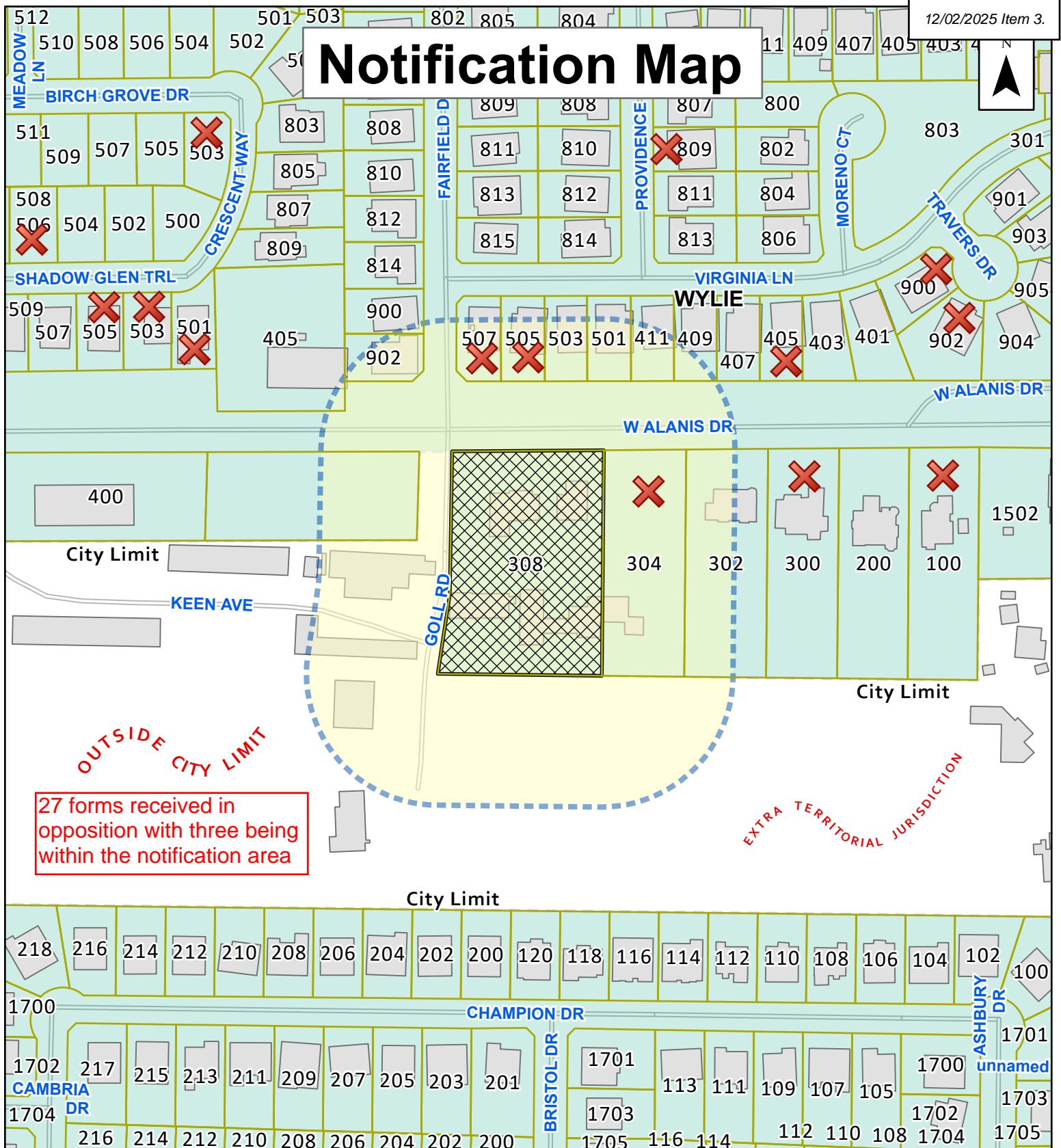
II. GENERAL CONDITIONS:

1. This exhibit shall not affect any regulations within the Zoning Ordinance (as of August 2025), except as specifically provided herein.
2. The design and development of the Awadalla Flex Space development shall be in accordance with Section III below and the Zoning Exhibit (Exhibit B).

III. SPECIAL CONDITIONS:

1. The underlying zoning for this development shall be Community Retail (CR). All by-right uses allowed in CR as of the date of this Ordinance shall be allowed. In addition, the Office / Warehouse Showroom (5.2.I.7) use is allowed by-right.
2. The parking ratio for the entire site shall be 1 space for every 700 square feet of building area.
3. The building setbacks of the development shall generally conform to those as generally depicted in Zoning Exhibit “B”.

Notification Map



ZONING CASE:

ZC 2025-09 308 W ALANIS DR

 SUBJECT property  200 foot Notification Buffer

0 50 100 200 300 400 500 600 Feet



Date: 9/10/2025





Public Comment Form

First Name *

Abdul

Middle Name

M.

Last Name *

Douleh

Address *

Street Address

505 Virginia

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

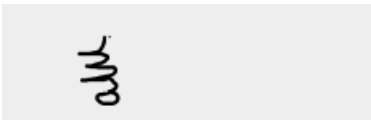
- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

This change will result in lowering my property value. Noises, and night lights glare and possible crime.
Full hight trees were cut down which provided shelter for animals and birds, to make way for a parking lot.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/19/2025



Public Comment Form

First Name *

Clay

Middle Name

Last Name *

Blakey

Address *

Street Address

100 Alanis Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

As a longtime resident on Alanis Drive, I do not wish to see this property rezoned to allow an office/warehouse that would include 40 parking spaces. This type of business would certainly negatively impact the value of the houses in the area. Alanis is widely used as a loop for traffic on the south side of Wylie seeking to avoid the SH 78 congestion. Existing traffic is already excessive, and Alanis narrows from the planned 4-lane to the current 3-lanes from Ballard to SH 78, with no immediate plans to widen. There are frequent accidents at SH78/Alanis and Ballard/Alanis, with vehicular traffic that are racing to beat the lights at both intersections or who just flat out run the red lights. This is a known problem. I see it every day. A new business that would attract more traffic with 40 parking spaces at this property would only exacerbate the already untenable traffic situation.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

11/18/2025



Public Comment Form

First Name *

Adnan

Middle Name

Last Name *

Colic

Address *

Street Address

300 alanis dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Bad bad idea . We don't need commercial land in between so many houses and neighborhoods across the street . Most of us have small kids this is going to impact walks,crosswalks , sleeping at night .
Nooooooooo

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/17/2025



Public Comment Form

First Name *

Joe

Middle Name

Last Name *

Ndegwa

Address *

Street Address

304 w alanis dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

- I am against the requested zoning change.
- The proposal will increase traffic congestion in an already busy area.
- It will create safety concerns for children, pedestrians, and nearby residents.
- The area does not have the infrastructure to support additional development.
- The project will likely increase noise and disrupt the neighborhood's character.
- It may lower nearby property values and negatively impact homeowners.
- The proposed zoning is not compatible with the surrounding residential community.
- I respectfully request that the City deny this zoning case.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

11/15/2025



Public Comment Form

First Name *

Marie

Middle Name

E

Last Name *

Drezek

Address *

Street Address

401 Milford

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

The increased traffic from large trucks and additional delivery's on Alanis will impact the entrance to the Stone Ranch subdivision at Fairfield. Currently there are two lanes heading east but only 1 lane heading west. Large trucks making delivery's to the 308 address will negatively impact residents entering and exiting. In addition, Alanis is in need of major road improvements to handle the current level of residential traffic adding additional commercial traffic will exasperate the situation.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A handwritten signature in black ink that reads 'Marie Drezek'.

Date of Signature

11/16/2025



Public Comment Form

First Name *

Fernando

Middle Name

Last Name *

Ortiz

Address *

Street Address

403 Milford Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/16/2025



Public Comment Form

First Name *

Russell

Middle Name

W

Last Name *

Jarvis

Address *

Street Address

405 Virginia

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Do not want this to harm the wonderful Fundamentals of a nice and quiet neighborhood

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/16/2025



Public Comment Form

First Name *

Douglas

Middle Name

Kent

Last Name *

Tischler

Address *

Street Address

501 Shadow Glen Trail

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

11/17/2025



Public Comment Form

First Name *

DZENANA

Middle Name

Last Name *

RAMOVIC

Address *

Street Address

503 Birch Grove Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

DZENANA Ramovic

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/17/2025



Public Comment Form

First Name *

Dewey John

Middle Name

Cruz

Last Name *

Huffer

Address *

Street Address

503 Shadow Glen Trl

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

A truck parking facility brings heavy, constant commercial traffic that will congest the main road and create dangerous conditions for residents entering and exiting the community. Large trucks produce significantly more noise, diesel fumes, and vibration than regular traffic, and these effects will carry directly into nearby homes—especially at night when trucks often idle, arrive, or depart.

In addition, truck parking lots operate 24/7 and require bright floodlights, attract loitering and illegal dumping, and often generate increased calls for law enforcement. These are not impacts associated with normal roadway activity. Allowing this heavy commercial use so close to a residential area threatens property values, air quality, neighborhood safety, and the peaceful character of our community. For these reasons, this rezoning request is incompatible with the surrounding residential environment and should be denied.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

11/17/2025



Public Comment Form

First Name *

Larry

Middle Name

Last Name *

Brown

Address *

Street Address

505 Shadow Glen Trail

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Alanis is already becoming a dangerous high traffic area. This would only add to the problem.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A grey rectangular box containing a black electronic signature that reads 'Larry Brown'.

Date of Signature

11/17/2025



Public Comment Form

First Name *

Jason

Middle Name

C

Last Name *

Calhoun

Address *

Street Address

508 Shadow Glen Trl.

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I oppose Zoning Case 2025-09. The proposed change from Agricultural to Community Retail with a Special Use Permit for an office/warehouse is not compatible with the surrounding residential area. It will increase traffic, noise, and commercial activity on roads not designed for additional warehouse use. This type of development can lower nearby property values and disrupt the quiet character of the neighborhood. It also sets a precedent for more commercial or warehouse expansion that would further impact residents. There is no demonstrated benefit to the community, and the negative effects outweigh any potential gain. I respectfully request denial of this zoning change.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Jason Calhoun

Date of Signature

11/18/2025



Public Comment Form

First Name *

Bagtyyar

Middle Name

Last Name *

Akyyev

Address *

Street Address

413 Milford

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/17/2025



Public Comment Form

First Name *

Eric

Middle Name

Last Name *

Hatch

Address *

Street Address

702 Rockingham Dr.

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

This property should remain residential as i cannot imagine what type business could operate and benefit our overall value.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A grey rectangular box containing a black electronic signature that appears to read 'Eric Hatch'.

Date of Signature

11/16/2025



Public Comment Form

First Name *

Justin

Middle Name

Last Name *

Floyd

Address *

Street Address

703 Providence Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Adding 18 wheeler traffic to the already congested traffic on Alanis will be a detriment to the immediate community. There are plenty of other areas in Wylie that already have available warehouse to be rented/used. I also did not purchase my home with a thought of my city allowing things in the immediate area that would negatively effect my property value. Make them develop on Martinez or Century Way.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A handwritten signature in black ink, appearing to read 'Justin Floyd', on a light gray background.

Date of Signature

11/16/2025



Public Comment Form

First Name *

Brittney

Middle Name

Last Name *

Brown

Address *

Street Address

704 ROCKINGHAM DRIVE

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A black and white image of a handwritten signature, appearing to be 'Brittney Brown', on a light gray background.

Date of Signature

11/18/2025



Public Comment Form

First Name *

MIZANU

Middle Name

M

Last Name *

BERIHUN

Address *

Street Address

707 Hammond

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

This change in zoning creates noise and criminal activity.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

11/16/2025



Public Comment Form

First Name *

Yvette

Middle Name

Last Name *

Simmons

Address *

Street Address

714 Providence Dr.

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

It Will Lead To Lower Property Values, Noises, And Most Of All Crime

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A digital scan of a handwritten signature in black ink. The signature appears to read 'Yvette Simmons'.

Date of Signature

11/17/2025



Public Comment Form

First Name *

Laura

Middle Name

Last Name *

Holder

Address *

Street Address

715 Hammond

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I believe this will negatively impact my property value, the noise level in my backyard and will create increased traffic, which can lead to other negative impact to my neighborhood including increased crime.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A stylized electronic signature in black ink, appearing to read 'L. Holder'.

Date of Signature

11/16/2025



Public Comment Form

First Name *

Brittany

Middle Name

Last Name *

Spencer

Address *

Street Address

719 Rockingham drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

We do not commercial properties next to our homes. Protect our home values

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A grey rectangular box containing a black electronic signature that appears to be 'B. Spencer'.

Date of Signature

11/17/2025



Public Comment Form

First Name *

Alison

Middle Name

Last Name *

O'Barr

Address *

Street Address

806 Providence

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Please keep Alanis quiet. It is a 2 lane road and cannot accommodate businesses. My neighborhood borders Alanis and we do not want more traffic and noise. There are already a lot of businesses. Please keep it residential.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

11/16/2025



Public Comment Form

First Name *

Adis

Middle Name

Last Name *

Colic

Address *

Street Address

809 crescent way

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

This is a residential area, and therefore any commercial use within a residential area will diminish the value of the houses along with the look of the neighborhood

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

11/17/2025



Public Comment Form

First Name *

Julia

Middle Name

Last Name *

Collins

Address *

Street Address

809 Providence

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

This change will most likely lower our property values, and increase traffic in the area that is already extremely dangerous at peak hours.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A stylized, handwritten signature in black ink on a light gray background.

Date of Signature

11/16/2025



Public Comment Form

First Name *

Ann

Middle Name

Thuy

Last Name *

Nguyen

Address *

Street Address

900 Travers Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A stylized electronic signature in black ink, appearing to read 'Ann Thuy Nguyen', on a light gray background.

Date of Signature

11/16/2025



Public Comment Form

First Name *

Julie

Middle Name

Last Name *

Lawson

Address *

Street Address

902 Travers

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Not interested in having any properties surrounding our home that has access to an SUP. We have already denied two gas station requests at Ballard and alanis and have no desire to lower our property values and potential increase in noise and crime.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

11/16/2025



PUBLIC COMMENT FORM

*Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment> or by scanning the QR code in the upper right hand corner.
(If completing the form below, please type or use black ink)*

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2025-09. ✓

X

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2025-09.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning
Commission meeting:

Tuesday, December 02, 2025 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, January 13, 2026 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: LARRY & VICKIE HEATH
(please print)

Address: 507 VIRGINIA LANE

WYLIE, TX 75098

Signature:

Larry & Vickie Heath

Date:

Nov 17, 2025

COMMENTS:

We talked to the new owner of the property at Zoning Case # 2025-09, and he confirmed that the 2 remaining homes will be removed, and Flex Space Storage Units will be built on the property. Thus there will be parking lot lights and constant delivery and retrieval of goods.
I asked a realtor how that would probably affect our property directly across the street, and he said to expect a reduction in our property value, possibly as much as \$25,000.
If you lived here, would you want this?



Public Comment Form

First Name *

Frances

Middle Name

Marie

Last Name *

Shields

Address *

Street Address

701 Rockingham Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2025-09 308 W Alanis

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

This would significantly impact our neighborhood and property values.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A stylized, handwritten electronic signature in black ink on a light gray background.

Date of Signature

11/19/2025