

Wylie Planning and Zoning Commission Regular Meeting

May 19, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon approval of the meeting minutes from the May 5, 2026, Planning and Zoning Commission Meeting.

REGULAR AGENDA

1. Consider, and act upon, a site plan amendment for WISD McMillan Track & field renovations, being on Lot 1, Block A of Wylie Junior High School Addition, for a school recreation use on 44.89 acres, located at 1000 W Park Boulevard.
2. Consider, and act upon, a site plan amendment for WISD Transportation Center, being on Lot 1, Block A of Wylie I.S.D Transportation Center, for a school facility use on 10 acres, located at 670 Country Club Road.
3. Consider, and act upon, a Site Plan for Lot 5, Block A of Wylie Hooper addition for the development of a restaurant with a drive-through. Property located on 0.97 acres at 2720 W FM 544.
4. Consider, and act upon, a Site Plan for Lot 2, Block A of Holiday Express Wylie addition for the development of a multi-tenant retail building with an attached drive-through restaurant. Property located on 1.954 acres at 2206 W FM 544.

WORK SESSION

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on May 12, 2026, at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary’s Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:
§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning **Item:** A
Prepared By: Gabby Fernandez

Subject

Consider and act upon the approval of the meeting minutes from the May 5, 2026, Planning and Zoning Commission meeting.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes from the May 5, 2026, Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

May 5, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Joshua Butler called the meeting to order at 6:00 PM. In attendance were Chair Joshua Butler, Vice-Chair Rod Gouge, Commissioner Zewge Kagne, Commissioner Joe Chandler, Commissioner Franklin McMurrian, and Commissioner Zewge Kagne. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent was Commissioner Zeb Black, and Commissioner Zewge Kagne arrived at 6:02 PM.

INVOCATION & PLEDGE OF ALLEGIANCE

Chair Butler gave the Invocation, and Vice-Chair Gouge led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

None approached the Commission.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon the approval of the meeting minutes from the April 21, 2026, Planning and Zoning Commission Meeting.**

BOARD ACTION

A motion was made by Vice-Chair Gouge, seconded by Commissioner McMurrian, to approve the Consent Agenda as presented. A vote was taken, and the motion passed 5 – 0.

REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for Sanden International parking adjustments, being on Lot 1R-1, Block A of Sanden Addition, for a light industrial use on 24.884 acres, located at 601 Sanden Boulevard.**

BOARD ACTION

A motion was made by Commissioner McMurrian and seconded by Vice-Chair Gouge to approve Regular Agenda Item 1 as presented. A vote was taken and carried 6-0.

- 2. Consider, and act upon, a Site Plan for Trinity Friendship Baptist Church portables, being on Lot 1, Block 1 of Shiloh Baptist Church, for a commercial use on 2 acres, located at 840 E Brown Street.**

BOARD ACTION

A motion was made by Commissioner McMurrian and seconded by Commissioner Chandler to approve Regular Agenda Item 2 as presented. A vote was taken and carried 6-0.

ADJOURNMENT

A motion was made by Vice-Chair Gouge and seconded by Commissioner McMurrian to adjourn the meeting at 6:10 PM. A vote was taken and carried 6 – 0.

Joshua Butler, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning Item Number: 1
 Prepared By: Kevin Molina

Subject

Consider, and act upon, a site plan amendment for WISD McMillan Track & field renovations, being on Lot 1, Block A of Wylie Junior High School Addition , for a school recreation use on 44.89 acres, located at 1000 W Park Boulevard.

Recommendation

Motion to **approve** as presented

Discussion

OWNER: Wylie Independent School District

APPLICANT: PBK

The applicant is proposing to amend the site plan of Lot 1, Block A of Wylie Junior High School addition to allow for spectator changes to the McMillan track & field. The property is located at 1000 W Park Blvd and allows for the proposed changes by right within the current zoning.

The change entail improvements made along the southern border of the McMillan Track & Field with the removal of an existing fence, and relocation of an existing water line for the addition of new fencing, bleacher seating, and the construction of an approximate 550 sf structure to contain restrooms, concessions, a ticketing area and a data room.

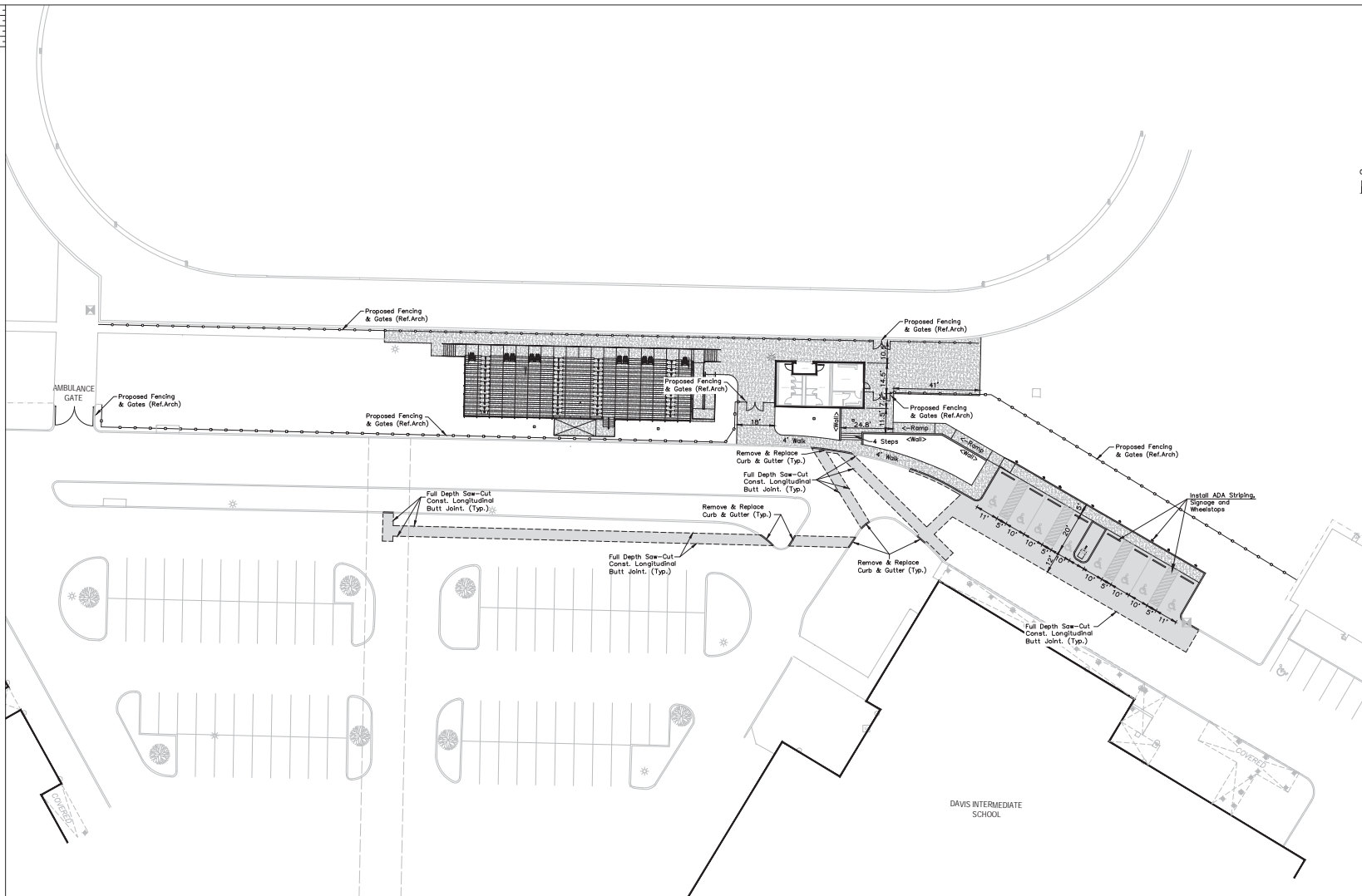
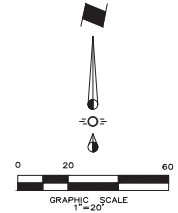
The exterior material of the structure consists of CMU and metal fascia trim.

Parking changes to the property include the addition of eight handicapped parking stalls for ADA compliance.

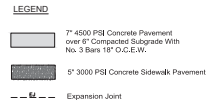
As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.



PROFESSIONAL SEAL
TX REG. NO. 108
7/23/2008



- PAVING NOTES**
- All materials and construction shall be in accordance with the City's Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
 - Existing utilities are shown schematically and are for the contractor's guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities.
 - The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
 - All paving dimensions are to the FACE of curb, where applicable, unless noted otherwise.
 - All curb radii are 3' unless noted otherwise.
 - Fire lanes shall be striped in accordance with the City Standards.
 - Parking stripes shall be 4" wide, spray applied white vinyl acrylic paint. Paint shall be applied in two coats to a clean, dry surface using template or striping machine.
 - All paving and earthwork operations shall conform to the recommendations contained in the geotechnical report for this project.
 - See Site Details for Pavement Section Details.
 - See Architectural Plans for exact building dimensions and related sidewalk dimensions.



**WYLIE CONCESSION/
RESTROOMS**
WYLIE FOODS
WYLIE, TX 75098

75% CD



CLIENT WYLIE ISD		
DATE 2/20/2023	PROJECT NUMBER 200268	
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: RLK		
DRAWN BY: RLK		

PAVING PLAN

CP4
7

THIS DOCUMENT IS PREPARED FOR THE PURPOSE OF OBTAINING PERMITS UNDER THE AUTHORITY OF RONNY KLANDER, P.E., NO. 10818, ON MARCH 13, 2026. IT IS NOT TO BE USED FOR CONSTRUCTION, RECORDING, OR PERMIT PURPOSES.

RLK ENGINEERING, INC.
111 West Main
Allen, Texas 75013
(972) 359-1733 Off
(972) 359-1833 Fax
Texas Registration No. 579



PROFESSIONAL ENGINEER
 STATE OF TEXAS
 LICENSE NO. 13528

**WYLIE CONCESSION/
 RESTROOMS**

WYLIE, TEXAS
 WYLIE, TEXAS

75% CD

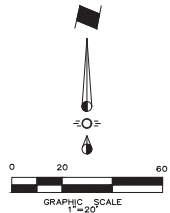
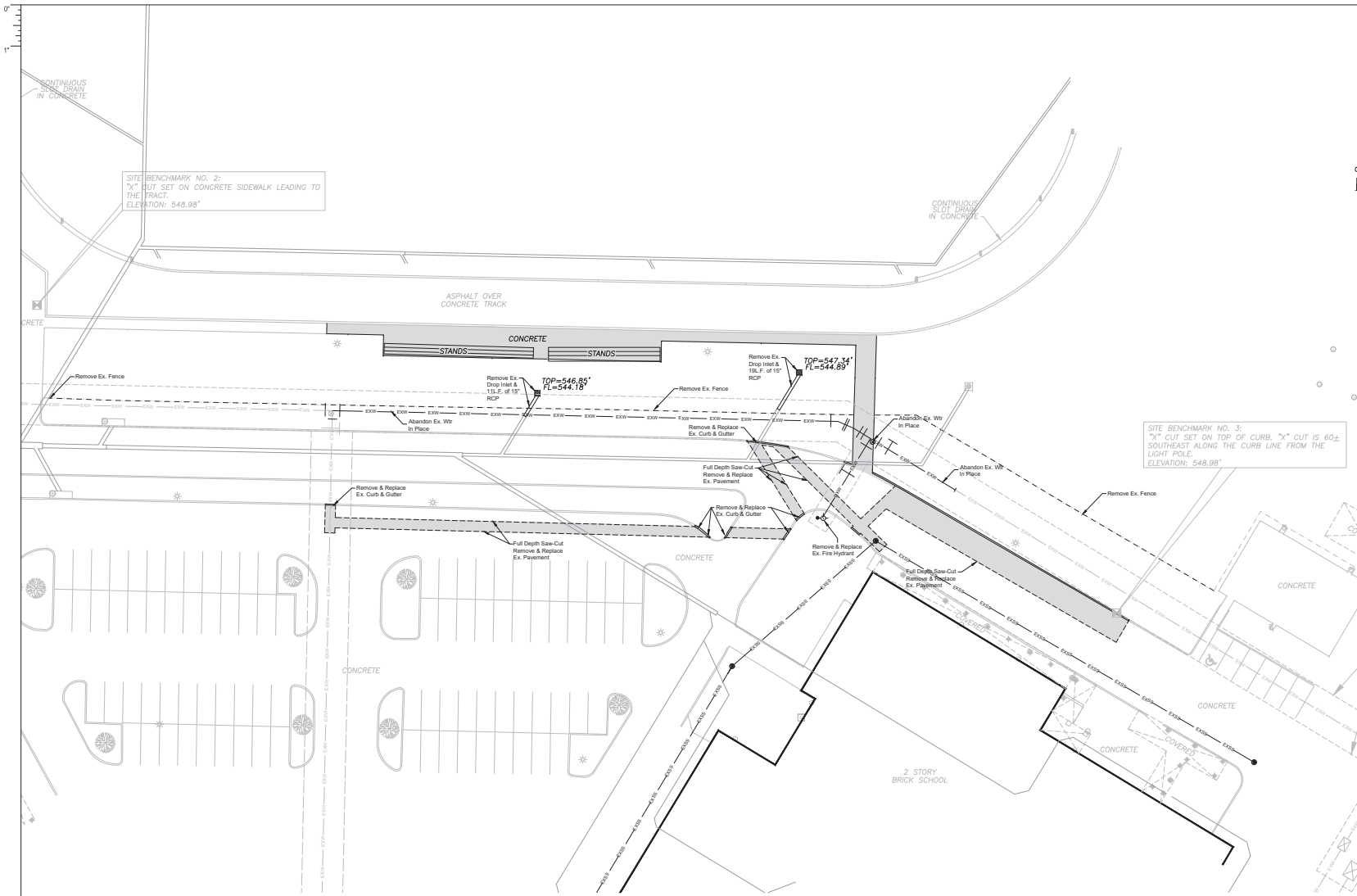


KEY PLAN

CLIENT		
WYLIE ISD		
DATE	PROJECT NUMBER	
2024/03/13	240046	
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: RLK		
DRAWN BY: RLK		

DEMOLITION PLAN

CDM



DEMOLITION NOTES

- Contractor shall abide by all applicable City requirements, ordinances, etc.
- Contractor shall notify all affected utility companies a minimum of one week prior to demolition in order to comply with their requirements.
- Contractor shall maintain positive drainage at all times during the demolition process.
- Contractor shall protect all existing utilities during the demolition process.
- Perform work in a manner to eliminate hazards to persons or property and avoid interference with adjacent areas, utilities, and structures.
- Provide temporary barricades, fences, warning signs, guardrails, warning lights, etc. as necessary.
- Protect existing structures, landscaping materials, and appearances which are not being demolished.
- Return structures and surfaces to remain to conditions existing prior to commencement of selective demolition work or better.
- All materials removed shall be disposed of offsite in a legal manner.
- Contractor shall refer to the Storm Water Pollution Prevention Plan for erosion and pollution control during the demolition process. The Contractor shall provide any additional erosion or pollution prevention devices as required during the demolition process in order to comply with the United States Environmental Protection Agency and all other agencies having jurisdiction.
- Refer to Utility Plan for utility removal indication.

LEGEND

Concrete Pavement to be Removed

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF A PUBLIC REVIEW UNDER THE AUTHORITY OF HONNY KLANDER, P.E., NO. 13528 ON MARCH 13, 2024. IT IS NOT TO BE USED FOR CONSTRUCTION, RECORDING, OR PERMIT PURPOSES.

RLK ENGINEERING
 RLK ENGINEERING, INC.
 111 West Main
 Allen, Texas 75013
 (972) 359-1733 Off
 (972) 359-1833 Fax
 Texas Registration No. 579



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning Item Number: 2
 Prepared By: Kevin Molina

Subject

Consider, and act upon, a site plan amendment for WISD Transportation Center, being on Lot 1, Block A of Wylie I.S.D Transportation Center, for a school facility use on 10 acres, located at 670 Country Club Road.

Recommendation

Motion to **approve** as presented

Discussion

OWNER: Wylie Independent School District

APPLICANT: PBK

The applicant is proposing to amend the site plan of Lot 1, Block A of Wylie I.S.D. Transportation Center addition for improvements to the WISD bus transportation center located at 670 Country Club road. The proposed changes are allowed by right within the current zoning.

The change entails the addition of 4,234 sf to the east side of an existing structure and the development of a new detached 2,400 sf two-story building on the west side. The transportation fuel pump and bus wash stations are also being relocated to accommodate an expansion of the bus and employee parking areas.

There are 207 standard parking spaces provided with eight being ADA accessible and 142 bus parking spaces. The parking is in compliance with the requirements of the Zoning Ordinance.

18.8% of landscaping is provided with landscaping along Country Club Road and throughout the standard vehicle parking areas.

A 26' fire lane is provided along all proposed structures with access to Country Club Rd. An amended plat shall be required for the dedication of fire lane easements prior to a Certificates of Occupancy being issued.

The exterior material of the new structure consists of brick and metal panels that match the existing structure.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.



**TRANSPORTATION
ADDITION & RENOVATION**



A B C

OVERALL SITE PLAN

AS100

GENERAL SITE PLAN NOTES

- REFER TO CIVIL DOCUMENTS.
- COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL, LANDSCAPE, AND/OR STRUCTURAL DOCUMENTS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 1% MINIMAL 2% MAXIMUM AT ALL EXTERIOR PAVED PROVISION AREAS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, PATIOS, STAIRS, PARKING, AND C.
- PROVIDE AND METAL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 5% FOR A HORIZONTAL DISTANCE OF 10 FEET AT ALL EXTERIOR NON-PAVED AREAS AND.
- REFER TO CIVIL DOCUMENTS FOR CONCRETE SIDEWALK EXPANSION JOINTS AND CONCRETE SIDEWALK CONTROL JOINTS.
- VERIFY AND CORRECT ALL JOINT LAYOUTS AT ALL CONCRETE SIDEWALKS WITH ARCHITECT PRIOR TO POURING OF CONCRETE.
- PROVIDE AND METAL CONCRETE SIDEWALK EXPANSION JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT 5 FEET ON CENTER MAX. U.M.O.
- PROVIDE AND METAL CONCRETE SIDEWALK CONTROL JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT DISTANCES EQUIVALENT TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET ON CENTER MAX.
- VERIFY ALL SITE SIGNAGE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION OF SITE SIGNAGE.

PARKING COUNT		
PARKING TYPE	PARKING REQUIRED	PARKING ACTUAL
Handicap	6	8
Standard	2	3
Handicap	44	137
Total	52	207

140 BUS SPACES

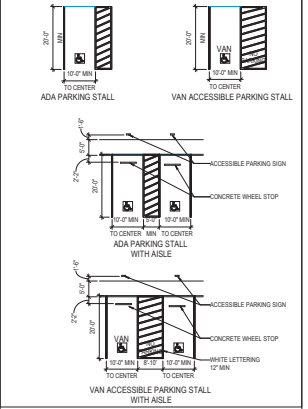
PARKING REQUIREMENTS
 1 PARKING SPACE - PER EACH 100SF ± 27
 1 PARKING SPACE - PER EACH 400SF ± 25
 8 100SF 300 ± 27
 8 300SF 400 ± 12

TOTAL REQUIRED: 52
 ACCESSIBLE PARKING SPACES, PER TABS TABLE 208.2
 301-400 REQUIRES A MINIMUM NUMBER OF 8 ACCESSIBLE SPACES 2 OF THE 8 TO BE VAN

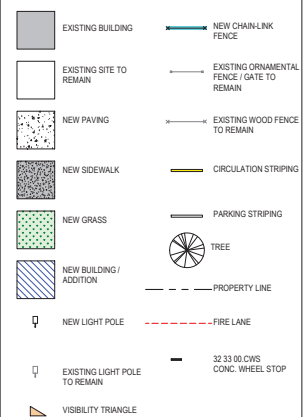
KEYNOTE LEGEND

NUMBER	DESCRIPTION
20 00 00 GEN	EXISTING GENERATOR, NEW LOCATION, REFER TO MEP
20 17 23 CIP	CIRCULATION STRIPING
20 18 11 CIP	CHAIN-LINK FENCE SYSTEM
20 19 13 CIP	EXISTING CHAIN-LINK FENCE SYSTEM TO REMAIN
20 20 00 CIP	EXISTING ALUMINUM COGNITIVE FENCE TO REMAIN
20 21 15 ESO	EXISTING SLIDING ALUMINUM GATE TO REMAIN
20 21 25 EMP	EXISTING WOOD FENCE TO REMAIN

SITE PARKING LEGEND



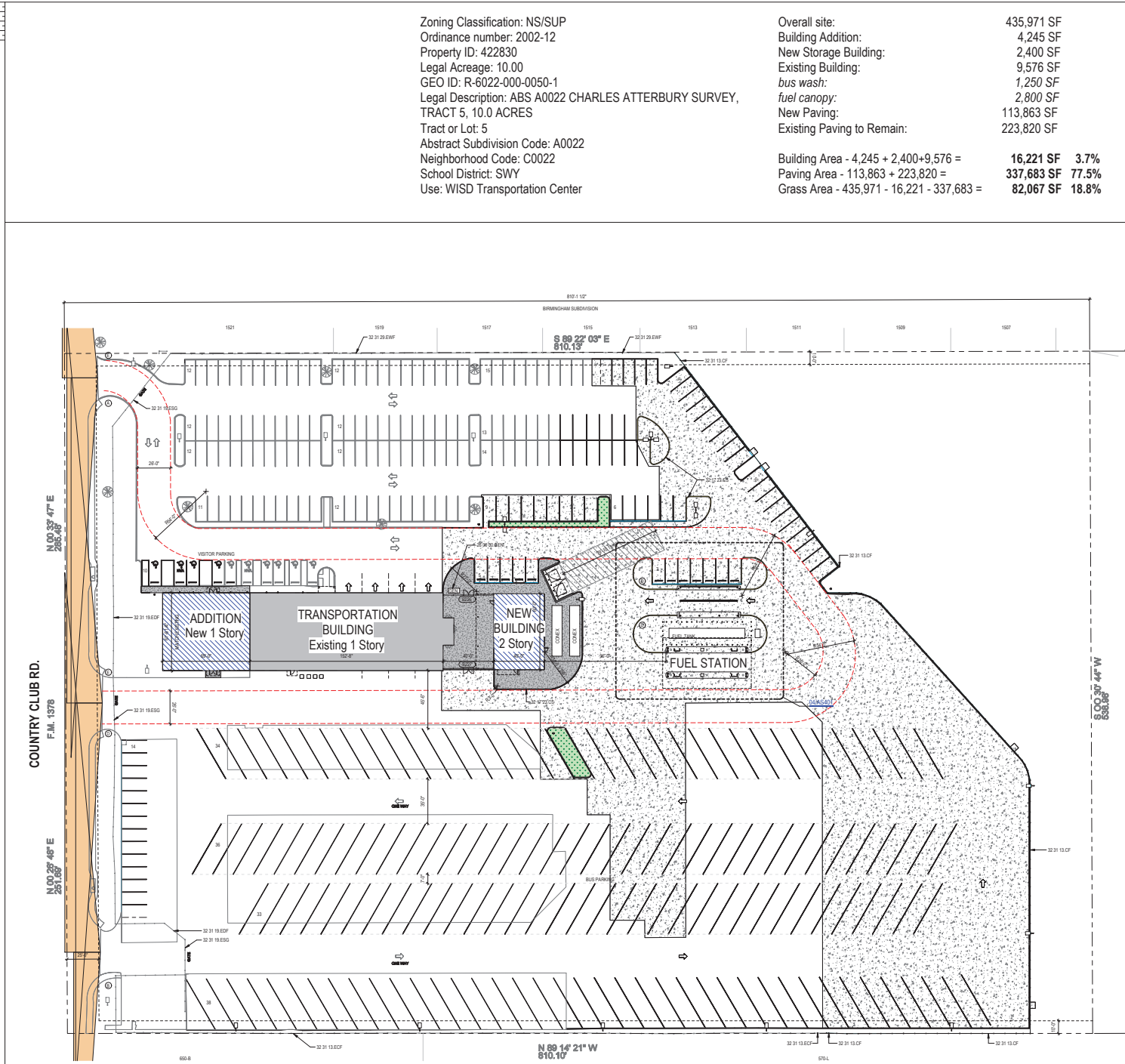
SITE PLAN LEGEND



Zoning Classification: NS/SUP
 Ordinance number: 2002-12
 Property ID: 422830
 Legal Acreage: 10.00
 GEO ID: R-6022-000-0050-1
 Legal Description: ABS A0022 CHARLES ATTERBURY SURVEY,
 TRACT 5, 10.0 ACRES
 Tract or Lot: 5
 Abstract Subdivision Code: A0022
 Neighborhood Code: C0022
 School District: SWY
 Use: WISD Transportation Center

Overall site: 435,971 SF
 Building Addition: 4,245 SF
 New Storage Building: 2,400 SF
 Existing Building: 9,576 SF
 bus wash: 1,250 SF
 fuel canopy: 2,800 SF
 New Paving: 113,863 SF
 Existing Paving to Remain: 223,820 SF

Building Area - 4,245 + 2,400 + 9,576 = **16,221 SF 3.7%**
 Paving Area - 113,863 + 223,820 = **337,683 SF 77.5%**
 Grass Area - 435,971 - 16,221 - 337,683 = **82,067 SF 18.8%**



06 OVERALL SITE PLAN A
 N.T.S.

OVERALL SITE PLAN
 AS100
 FOR BLUEPRINT/LEGAL PURPOSES



**TRANSPORTATION
ADDITION & RENOVATION**
WILEY ISD
WVA 10.7000

P&Z



A B C

KEY PLAN
NORTH PLAN TREE



CLIENT Wiley ISD		
DATE 2025/04/20	PROJECT NUMBER 200005	
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: Checker		
DRAWN BY: Author		

OVERALL EXTERIOR
ELEVATIONS

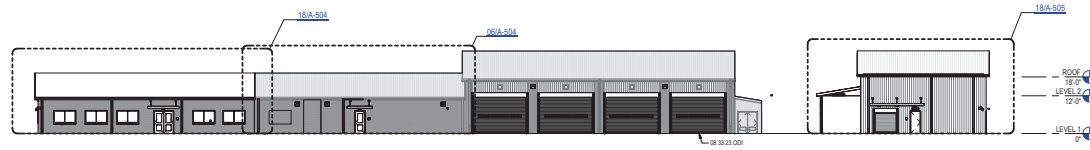
A-501

KEYNOTE LEGEND

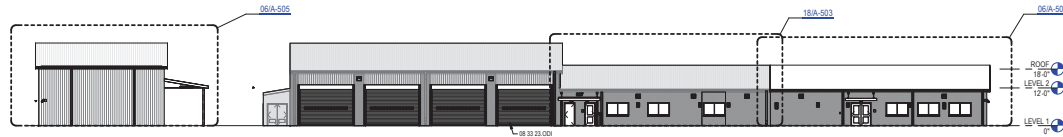
NUMBER	DESCRIPTION
03 23 23.001	NEW EXTERIOR, MOTOR OPERATED, INSULATED OVERHEAD COILING DOOR, TYP.

EXTERIOR MATERIALS LEGEND

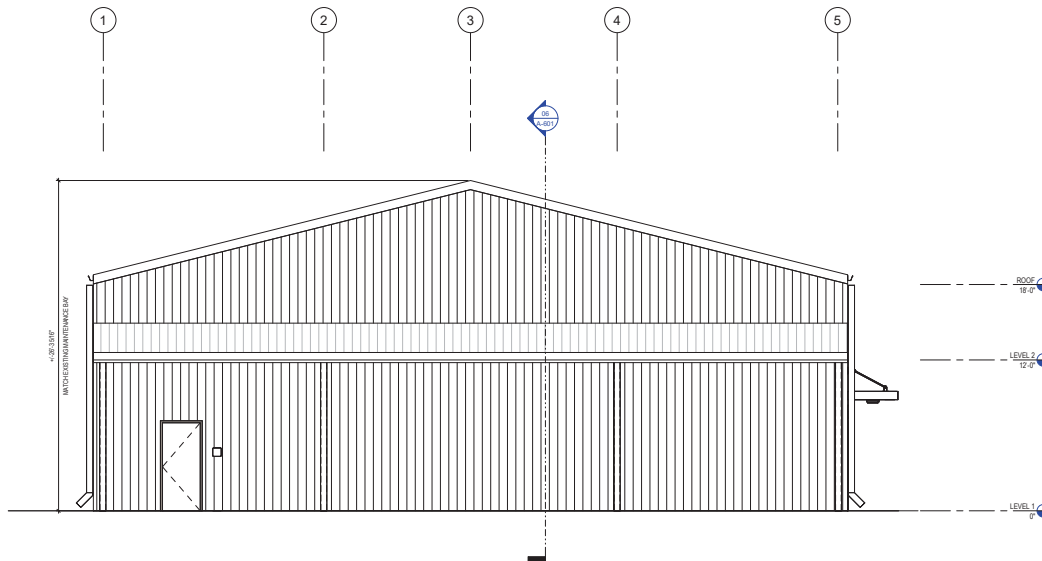
04 23 00.BK1 (R) - EXISTING BRICK TYPE 1 RUNNING BOND	07 42 13.MP1 METAL PANEL MATCH EXISTING
04 23 00.BK1 (R) - NEW BRICK TYPE 1 RUNNING BOND MATCH EXISTING	C.C. TO PROVIDE ADD ALTERNATE FOR PAINTING ALL BRICK
04 23 00.BK1 (L) BRICK TYPE 1 ROCKLOCK	



30 SOUTH ELEVATION
N.T.S.



24 NORTH ELEVATION
N.T.S.



06 NEW BUILDING WEST ELEVATION
N.T.S.

OVERALL EXTERIOR ELEVATIONS

A-501
FOR BLUEPRINT/USE IN DOCS



**TRANSPORTATION
ADDITION & RENOVATION**



A B C

KEY PLAN
NORTH PLAN TREE



CLIENT		
Wyle ISD		
DATE	PROJECT NUMBER	
2/20/24 (00)	24085	
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: Checker		
DRAWN BY: Author		

EXTERIOR
ELEVATIONS

A-503

GENERAL ELEVATION NOTES

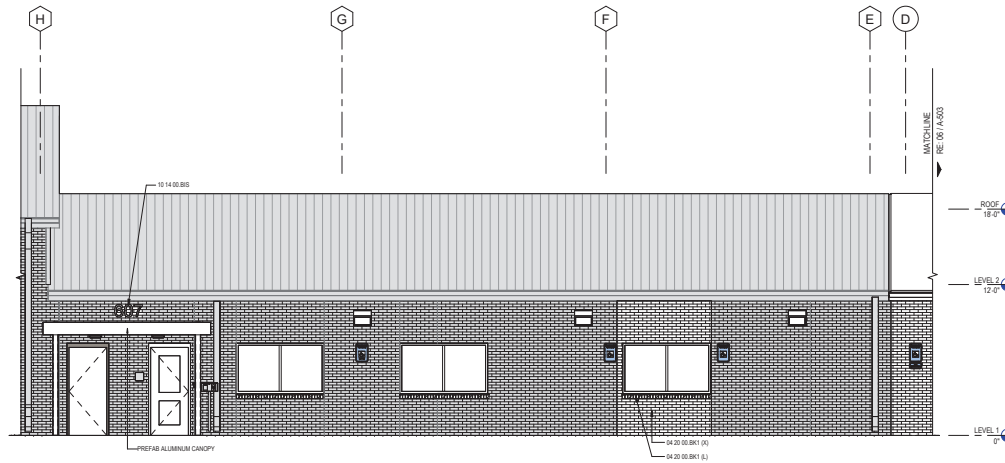
1. ALL BUILDING EXPANSION JOINT TO BE 1" UNLESS OTHERWISE NOTED.
2. CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
3. 1/2" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL LINTEL ANGLES.
4. EXPOSED EXTERIOR STRUCTURAL STEEL LUBE MEMBERS SHALL BE PAINTED P.A.
5. STEEL MASONRY LINTELS SHALL BE GALVANIZED.
6. EXPOSED CONCRETE SHALL BE COLORED, AND BEAMS SHALL BE RUBBED GROUT FINISH.
7. MASONRY WEEP AT 18" O.C. MAXIMUM.
8. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH END DAMS.
9. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKSILLERS WITH CONTINUOUS PERIMETER ALUMINUM ANGLE.
10. FLEXIBLE MEMBRANE FLASHING AT WINDOWS SILLS AND LINTELS SHALL HAVE PRE-FORMED END DAMS.
11. MASONRY VENEER CONTROL JOINTS SHALL BE 3/8" AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 3'-4" FROM OUTSIDE CORNERS. AND AT 30'-0" O.C. MAXIMUM. UNLESS NOTED OTHERWISE. REFERENCE EXTERIOR ELEVATIONS.
12. 1/2" DUTTER. CONJUGULAR HEADS. AND DOWNSPOUTS SHALL BE PRE-FINISHED SHEET METAL. COLOR SELECTED BY ARCHITECT.
13. DOWNSPOUTS SHALL BE GALVA PRE-FINISHED DOWNSPOUT BOOTS 10'-0" ABOVE FINISH GRADE. COLOR SELECTED BY ARCHITECT.
14. DOWNSPOUTS AND/OR ROOF DRAINS SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE CIVIL FOR STORM DRAIN CONNECTION DETAILS AND LOCATION.
15. CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. INCLUDE A 2'x2' MOCK-UP. MOCK-UP SHALL INCLUDE METAL FLASHINGS, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHING, AND WINDOW INSTALLATIONS AS DETAILED IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 8'-0" TALL X 18'-0" LONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.

KEYNOTE LEGEND

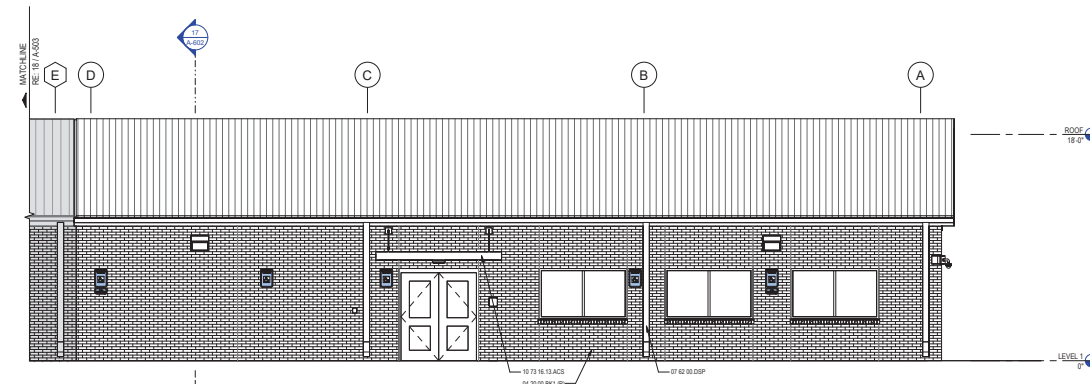
NUMBER	DESCRIPTION
04 20 00 BK1 (1)	BRICK TYPE 1 ROWLOCK - TYP
04 20 00 BK1 (2)	BRICK TYPE 1 RUNNING BOND - TYP
04 20 00 BK1 (3)	BRICK TYPE 1 MATCH EXISTING COURSING
07 62 00 DSP	DOWNSPOUT
10 14 00 BIS	BUILDING IDENTIFICATION SIGNAL ALUMINUM
07 18 13 ACS	ALUMINUM CANOPY SYSTEM

EXTERIOR MATERIALS LEGEND

04 20 00 BK1 (1) - EXISTING BRICK TYPE 1 RUNNING BOND	07 62 13 MP1 METAL PANEL MATCH EXISTING
04 20 00 BK1 (1) - NEW BRICK TYPE 1 RUNNING BOND MATCH EXISTING	O.C. TO PROVIDE ADD ALTERNATE FOR PAINTING ALL BRICK
04 20 00 BK1 (2) BRICK TYPE 1 ROWLOCK	



18 AREA A - NORTH ELEVATION - EXISTING
N.T.S.



06 AREA A - NORTH ELEVATION - NEW
N.T.S.

EXTERIOR ELEVATIONS
A-503
FROM BLUEBAY/LABEL INDOORS



**TRANSPORTATION
ADDITION & RENOVATION**



A B C

KEY PLAN
NORTH PLAN TREE



CLIENT		
Wyle ISD		
DATE	PROJECT NUMBER	
2/20/24 (00)	24085	
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: Checker		
DRAWN BY: Author		

EXTERIOR
ELEVATIONS

A-504

GENERAL ELEVATION NOTES

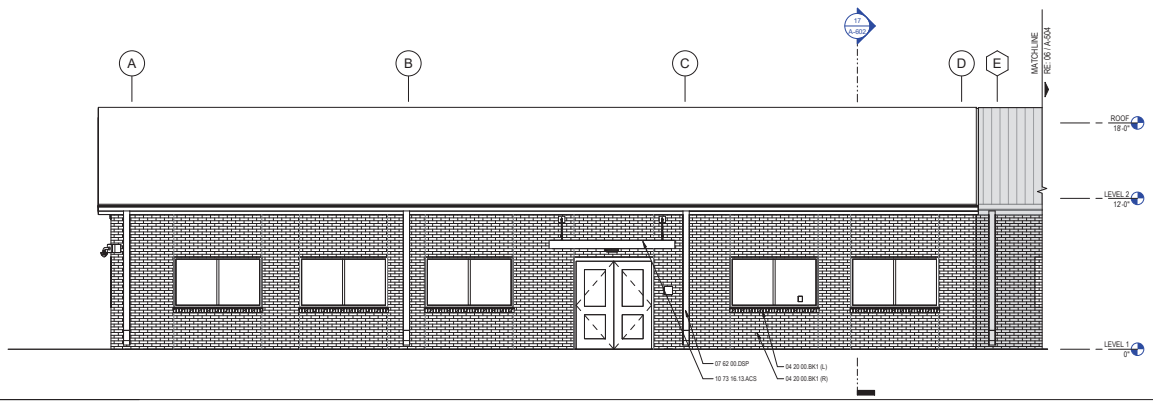
1. ALL BUILDING EXPANSION JOINT TO BE 1" UNLESS OTHERWISE NOTED.
2. CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
3. 1" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL LUNTS, ANGLES.
4. EXPOSED EXTERIOR STRUCTURAL STEEL LUG MEMBERS SHALL BE PAINTED P.A.
5. STEEL MASONRY LUNTS SHALL BE GALVANIZED.
6. EXPOSED CONCRETE SHALL BE COLORED, AND BEAMS SHALL BE RUBBED GROUT FINISH.
7. MASONRY WEEP AT 18" O.C. MAXIMUM.
8. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH END DAMS.
9. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKSILLERS WITH CONTINUOUS PERIMETER ALUMINUM ANGLE.
10. FLEXIBLE MEMBRANE FLASHING AT WINDOW SILLS AND LUNTS SHALL HAVE PRE-FORMED END DAMS.
11. MASONRY VENEER CONTROL JOINTS SHALL BE 3/8" AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 3'-4" FROM OUTSIDE CORNER, AND AT 30' ± O.C. MAXIMUM. UNLESS NOTED OTHERWISE, REFER TO EXTERIOR ELEVATIONS.
12. GUTTERS, CONJUGULAR HEADS, AND DOWNSPOUTS SHALL BE PRE-FINISHED SHEET METAL, COLOR SELECTED BY ARCHITECT.
13. DOWNSPOUTS SHALL HAVE 1/2" GALVANIZED PRE-FINISHED DOWNSPOUT BOOTS 10'-0" ABOVE FINISH GRADE. COLOR SELECTED BY ARCHITECT.
14. DOWNSPOUTS AND/OR ROOF DRAINS SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE CIVIL FOR STORM DRAIN CONNECTION DETAILS AND LOCATION.
15. CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. INCLUDE A 2'x2' WINDOW MOCK-UP. MOCK-UP SHALL INCLUDE METAL FLASHINGS, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHING, AND WINDOW INSTALLATIONS AS DETAIL IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 8" TALL X 18" W LONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.

KEYNOTE LEGEND

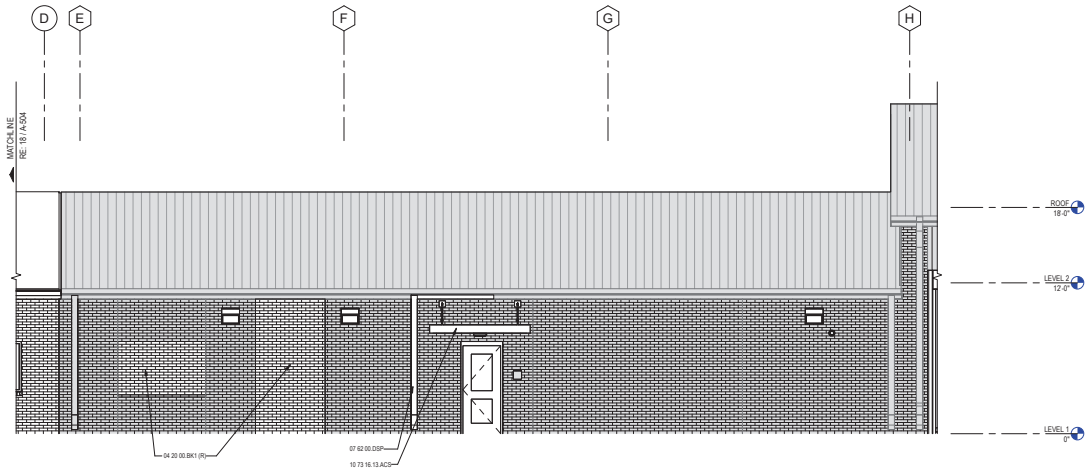
NUMBER	DESCRIPTION
04 20 00 BKT (L)	BRICK TYPE 1 ROWLOCK - TYP
04 20 00 BKT (R)	BRICK TYPE 1 RUNNING BOND - TYP
07 62 00 DSP	DOWNSPOUT
10 73 16 13 ACS	ALUMINUM CANOPY SYSTEM

EXTERIOR MATERIALS LEGEND

04 20 00 BKT (R) - EXISTING BRICK TYPE 1 RUNNING BOND	07 62 13 MPT1 METAL PANEL MATCH EXISTING
04 20 00 BKT (R) - NEW BRICK TYPE 1 RUNNING BOND MATCH EXISTING	O.C. TO PROVIDE ADD ALTERNATE FOR PAINTING ALL BRICK
04 20 00 BKT (L) BRICK TYPE 1 ROWLOCK	



18 AREA A - SOUTH ELEVATION
N.T.S.



06 AREA A - SOUTH ELEVATION
N.T.S.

EXTERIOR ELEVATIONS

A-504



**TRANSPORTATION
ADDITION & RENOVATION**
www.pbk.com
P&Z



A B C

KEY PLAN
NORTH PLAN TREE



CLIENT		
Wyle ISD		
DATE	PROJECT NUMBER	
2/20/24(CO)	24045	
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: Checker		
DRAWN BY: Author		

EXTERIOR
ELEVATIONS

A-505

GENERAL ELEVATION NOTES

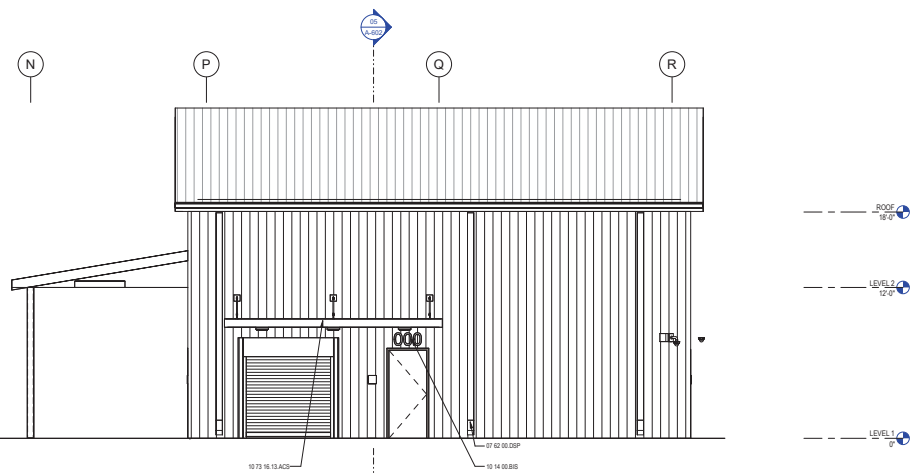
1. ALL BUILDING EXPANSION JOINT TO BE 1" UNLESS OTHERWISE NOTED.
2. CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
3. 1/2" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL LUNTS, ANGLES.
4. EXPOSED EXTERIOR STRUCTURAL STEEL LUBE MEMBERS SHALL BE PAINTED P.A.
5. STEEL MASONRY LUNTS SHALL BE GALVANIZED.
6. EXPOSED CONCRETE SHALL BE COLUMN, AND BEAMS SHALL BE RUBBED GROUT FINISH.
7. MASONRY WEEP AT 18" O.C. MAXIMUM.
8. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH END DAMS.
9. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKSILLERS WITH CONTINUOUS PERIMETER ALUMINUM ANGLE.
10. FLEXIBLE MEMBRANE FLASHING AT WINDOW SILLS AND LUNTS SHALL HAVE PRE-FORMED END DAMS.
11. MASONRY VENEER CONTROL JOINTS SHALL BE 3/8" AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 3' FROM OUTSIDE CORNERS AND AT 30' O.C. MAXIMUM UNLESS NOTED OTHERWISE. REFERENCE EXTERIOR ELEVATIONS.
12. GUTTERS, COLLECTOR HEADS, AND DOWNSPOUTS SHALL BE PRE-FINISHED SHEET METAL, COLOR SELECTED BY ARCHITECT.
13. DOWNSPOUTS SHALL HAVE 1/2" GALVA PRE-FINISHED DOWNSPOUT BOOTS 10" IF ABOVE FINISH GRADE. COLOR SELECTED BY ARCHITECT.
14. DOWNSPOUTS AND/OR ROOF DRAIN SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE CIVIL FOR STORM DRAIN CONNECTION DETAILS AND LOCATION.
15. CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. INCLUDE A 2' X 2' WINDOW MOCK-UP. MOCK-UP SHALL INCLUDE METAL FLASHINGS, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHING, AND WINDOW INSTALLATIONS AS DETAILED IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 8" TALL X 18" LONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.

KEYNOTE LEGEND

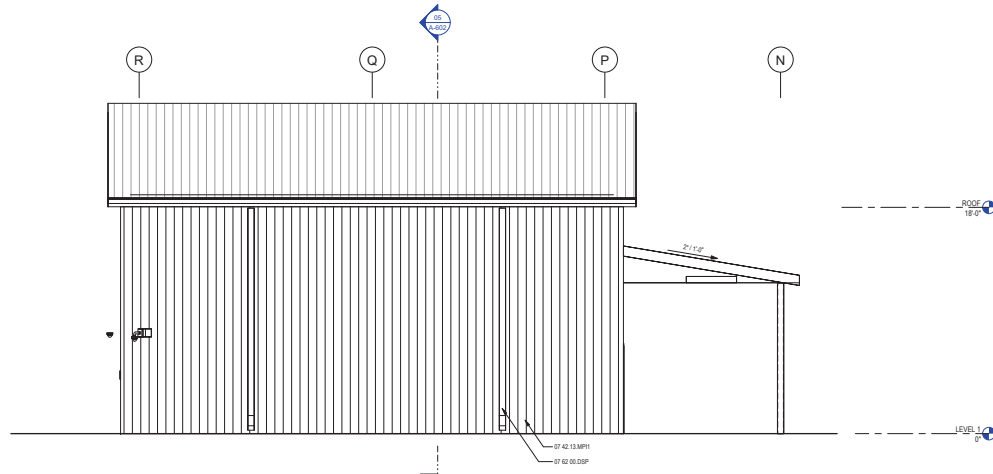
NUMBER	DESCRIPTION
07 42 13 BR1	INSULATED METAL WALL PANEL TYPE 1 MATCH EXISTING
07 62 00 DSP	DOWNSPOUT
10 14 00 BR	BUILDING IDENTIFICATION SIGN, ALUMINUM
10 73 16 13 CAS	ALUMINUM CANYON SYSTEM

EXTERIOR MATERIALS LEGEND

04 23 00 BR1 (R) - EXISTING BRICK TYPE 1 RUNNING BOND	07 42 13 BR1 METAL PANEL MATCH EXISTING
04 23 00 BR1 (R) - NEW BRICK TYPE 1 RUNNING BOND MATCH EXISTING	O.C. TO PROVIDE ADD ALTERNATE FOR PAINTING ALL BRICK
04 23 00 BR1 (L) BRICK TYPE 1 ROOMLOCK	



18 AREA B - SOUTH ELEVATION
N.T.S.



06 AREA B - NORTH ELEVATION
N.T.S.

EXTERIOR ELEVATIONS
A-505
FOR BLUEPRINT AND/OR



**TRANSPORTATION
ADDITION & RENOVATION**
WALTON COUNTY, FLORIDA
WWW.P&Z.COM

P&Z



A B C

KEY PLAN
NORTH PLAN TREE

CLIENT		
Wyle ISD		
DATE	PROJECT NUMBER	DRAWING
2/20/24(00)		
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: Checker		
DRAWN BY: Author		

EXTERIOR
ELEVATIONS

A-506

GENERAL ELEVATION NOTES

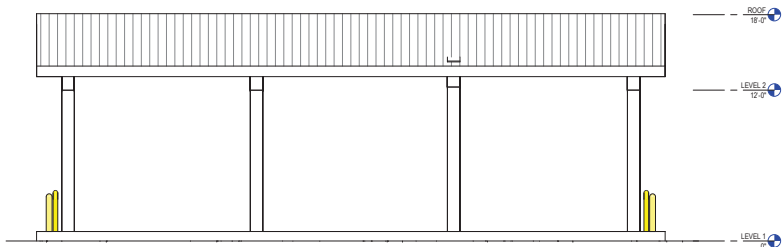
1. ALL BUILDING EXPANSION JOINT TO BE 1" UNLESS OTHERWISE NOTED.
2. CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
3. 1/2" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL LITTLE ANGLE.
4. EXPOSED EXTERIOR STRUCTURAL STEEL TUBE MEMBERS SHALL BE PAINTED P.A.
5. STEEL MASONRY LITTLE SHALL BE GALVANIZED.
6. EXPOSED CONCRETE SHALL BE COLORED, AND BEAMS SHALL BE RUBBED GROUT FINISH.
7. MASONRY WEEP AT 18" O.C. MAXIMUM.
8. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH END DAMS.
9. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKSILLERS WITH CONTINUOUS PERIMETER ALUMINUM ANGLE.
10. FLEXIBLE MEMBRANE FLASHING AT WINDOWS SILLS AND LITTLES SHALL HAVE PRE-FORMED END DAMS.
11. MASONRY VENEER CONTROL JOINTS SHALL BE 3/8" AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 3'-4" FROM OUTSIDE CORNERS AND AT 30' O.C. MAXIMUM UNLESS NOTED OTHERWISE. REFER TO EXTERIOR ELEVATIONS.
12. 1/2" TUBES, CONJUGULAR HEADS, AND DOWNSPOUTS SHALL BE PRE-FINISHED SHEET METAL, COLOR SELECTED BY ARCHITECT.
13. DOWNSPOUTS SHALL HAVE TYPICAL PRE-FINISHED DOWNSPOUT BOOTS 10'-0" ABOVE FINISH GRADE. COLOR SELECTED BY ARCHITECT.
14. DOWNSPOUTS AND/OR ROOF DRAIN SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE CIVIL FOR STORM DRAIN CONNECTION DETAILS AND LOCATION.
15. CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. INCLUDE A 2'x2' WINDOW MOCK-UP. MOCK-UP SHALL INCLUDE METAL FLASHINGS, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHING, AND WINDOW INSTALLATIONS AS DETAILED IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 8" TALL X 18" W LONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.

KEYNOTE LEGEND

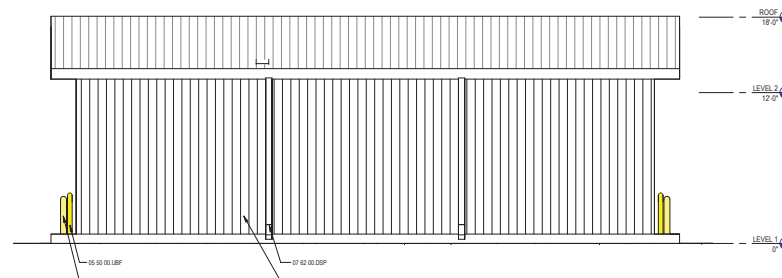
NUMBER	DESCRIPTION
05 50 00 PFP	PIPE BOLLARD, FIXED, REF. A511
07 62 00 DSP	DOWNSPOUT, FIXED, REF. A511
07 62 13 MP1	INDICATED METAL WALL PANEL, TYPE 1 - MATCH EXISTING
07 62 00 DSP	DOWNSPOUT

EXTERIOR MATERIALS LEGEND

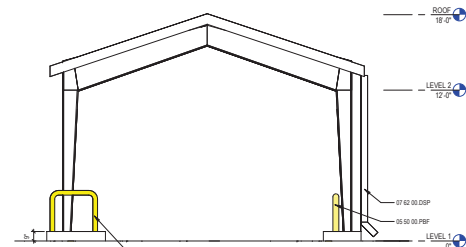
04 20 00 BK1 (R) - EXISTING BRICK TYPE 1 RUNNING BOND	07 42 13 MP1 METAL PANEL MATCH EXISTING
04 20 00 BK1 (R) - NEW BRICK TYPE 1 RUNNING BOND MATCH EXISTING	O.C. TO PROVIDE ADD ALTERNATE FOR PAINTING ALL BRICK
04 20 00 BK1 (L) BRICK TYPE 1 ROOMLOCK	



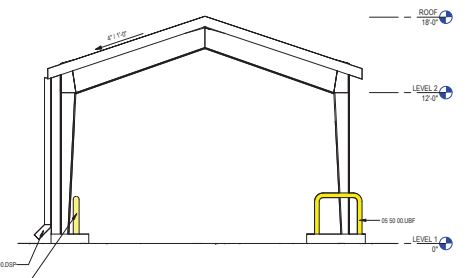
16 AREA C - SOUTH ELEVATION
N.T.S.



04 AREA C - NORTH ELEVATION
N.T.S.



18 AREA C - EAST ELEVATION
N.T.S.



06 AREA C - WEST ELEVATION
N.T.S.

EXTERIOR ELEVATIONS
FROM BLUE/VALVE/INDOOR



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 3

Subject

Consider, and act upon, a Site Plan for Lot 5, Block A of Wylie Hooper addition for the development of a restaurant with a drive-through. Property located on 0.97 acres at 2720 W FM 544.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Texstone Partners

APPLICANT: LJA Engineering, Inc

The applicant is proposing to develop a restaurant with a drive-through that measures 3,640 sq.ft. on Lot 5 Block A of Wylie Hooper addition on 0.97 acres located at 2720 W FM 544.

The development is proposed to contain a Shake Shack restaurant. The property is zoned within Planned Development Ordinance 2025-42 (PD 2025-42) and allows for the proposed use by-right.

The development is providing 31 parking spaces with two being ADA accessible. The parking provided is in compliance with the minimum requirements of the Zoning Ordinance.

Access to the site is proposed from an access drive that connects to FM 544 and to the adjacent commercial lots of the Wylie Hooper Retail Planned Development. A fire lane is provided along the north and southern access drives.

A drive-through lane with a secondary exit lane for the drive-through service is provided. The drivethrough lane design is in compliance with the vehicle stacking requirements of the Engineering Thoroughfare design manual. Staff is recommending additional signage and striping outside of the drive-through lanes to deter vehicles from queuing on the fire lane.

The site is providing 25.3% of overall landscaped area which is in compliance with the 20% minimum landscaping requirement. The landscape plan includes a 10' landscape buffer with sidewalks along FM 544. Additional tree plantings are proposed along the parking areas.

The structure's exterior material consists of EIFS and Fiber Cement Panel. Entrances are emphasized with canopies and recessed architectural features.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and of PD 2025-42. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

OWNER/DEVELOPER
 WESTSTONE PARTNERS
 12800 PRESHAM ROAD, SUITE 1105
 DALLAS, TEXAS 75230
 PHONE: 214.534.5251
 CONTACT: CHARLIE BERNET
 EMAIL: CBERNET@WESTSTONEPARTNERS.COM

ARCHITECT
 STREIBER ARCHITECTS
 1722 SOUTH ST, SUITE 122
 DALLAS, TEXAS 75201
 PHONE: 972.786.1000
 CONTACT: STEPHAN HAESSIG
 EMAIL: STEPHAN.HAESSIG@STREIBERARCH.COM

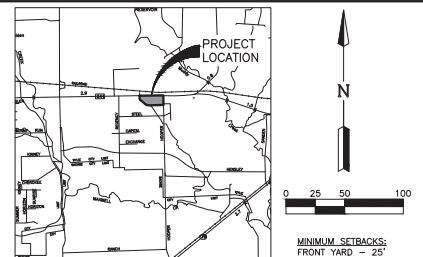
CIVIL ENGINEER
 LJA ENGINEERING, INC.
 4000 NORTH CENTRAL EXPRESSWAY, SUITE 400
 DALLAS, TEXAS 75206
 PHONE: 469.621.0710
 CONTACT: EDUARDO CECENA
 EMAIL: ECECENA@LJA.COM

SURVEYOR
 GOLDEN LAND SURVEYING
 4181 NW 122ND, SUITE 100
 OKLAHOMA CITY, OKLAHOMA 73120
 PHONE: 405.889.6010
 CONTACT: MATT OVERALL
 EMAIL: MATT@GOLDENLANDS.COM

- SITE PLAN GENERAL NOTES:**
- ENTRANCES AND/OR FACADES ORIENTED TO THE STREET.
 - BUILDING FOOTPRINTS NO GREATER THAN 20,000 SQUARE FEET IN NS AND CR DISTRICTS.
 - MULTIPLE BUILDINGS PLACED TO CREATE PLAZAS, COURTYARDS, LANDSCAPED AREAS W/CONNECTING WALKWAYS.
 - PARKING SPACES AT LEAST 10' FROM RESIDENTIAL LOT LINE.
 - MINIMUM WIDTH DRIVE OF 24', TURNING RADIUS OF 20' (28' FOR FIRE LANES).
 - ACCESS DRIVE AT LEAST 150' FROM INTERSECTION.
 - ACCESS DRIVES SERVING DEVELOPMENTS GREATER THAN 30,000 SQ. FT. SHALL HAVE SEPARATED MEDIAN, OR BE SEPARATED AT LEAST 150' FROM EACH OTHER.
 - LANDSCAPED TREATMENT OF ENTRANCES.
 - SERVICE AND LOADING AREAS SHALL NOT BE VISIBLE FROM A PUBLIC STREET OR ADJACENT RESIDENTIAL LOT.
 - DEVELOPMENTS UNABLE TO MEET THE ABOVE ARE REQUIRED TO HAVE MASONRY SCREENING WALLS W/GATES.

- LOT 5 ESTIMATED SCHEDULE:**
- PRELIMINARY PLAT APPROVAL & PRELIMINARY ENGINEERING: 4/20/2026 - 5/19/2026
 - CIVIL ENGINEERING SUBMISSION: 5/20/2026 - 7/20/2026
 - BUILDING PERMIT: 6/20/2026 - 7/20/2026
 - CONSTRUCTION: 9/8/2026 - 4/11/2027
- LOT 6 ESTIMATED SCHEDULE:**
- PRELIMINARY PLAT APPROVAL & PRELIMINARY ENGINEERING: 11/18/2025 - 1/19/2026
 - CIVIL ENGINEERING SUBMISSION: 1/19/2026 - 4/19/2026
 - BUILDING PERMIT: 3/19/2026 - 4/19/2026
 - CONSTRUCTION: 6/8/2026 - 2/11/2027
 - FINAL PLAT: 12/13/2026 - 2/11/2027

- NOTES:**
- THIS SITE PLAN IS TO BE USED FOR PLANNING PURPOSES ONLY AND IS NOT A CONSTRUCTION DOCUMENT.
 - SITE PLAN IS PROVIDED TO SHOW GENERAL LOCATION OF IMPROVEMENTS. REFERENCE THE PAVING, GRADING, STORM SEWER AND UTILITY PLANS FOR DETAILED INFORMATION ON SITE CONSTRUCTION ITEMS.
 - THE UTILITY SERVICES SHOWN FOR LOTS 1-5 ARE GENERAL LOCATIONS. FINAL UTILITY SERVICES WILL BE ESTABLISHED ONCE LOTS 1-5 HAVE SITE PLANS ESTABLISHED.
 - AS THE PROPERTY IS DEVELOPED, FIRE HYDRANTS SHALL BE LOCATED AT ALL INTERSECTING STREETS AND AT INTERMEDIATE LOCATIONS BETWEEN INTERSECTIONS AT A MAXIMUM SPACING OF 300 FEET AS MEASURED ALONG THE LENGTH OF THE CENTERLINE OF THE ROADWAY, AND THE FRONT OF ANY BUILDING AT GRADE SHALL BE NO FARTHER THAN 300 FEET FROM A MINIMUM OF TWO FIRE HYDRANTS AS MEASURED ALONG THE ROUTE THAT THE FIRE HOSE IS LAID BY A FIRE VEHICLE.



SITE DATA

EXISTING ZONING: AG/30
 PROPOSED ZONING: PD

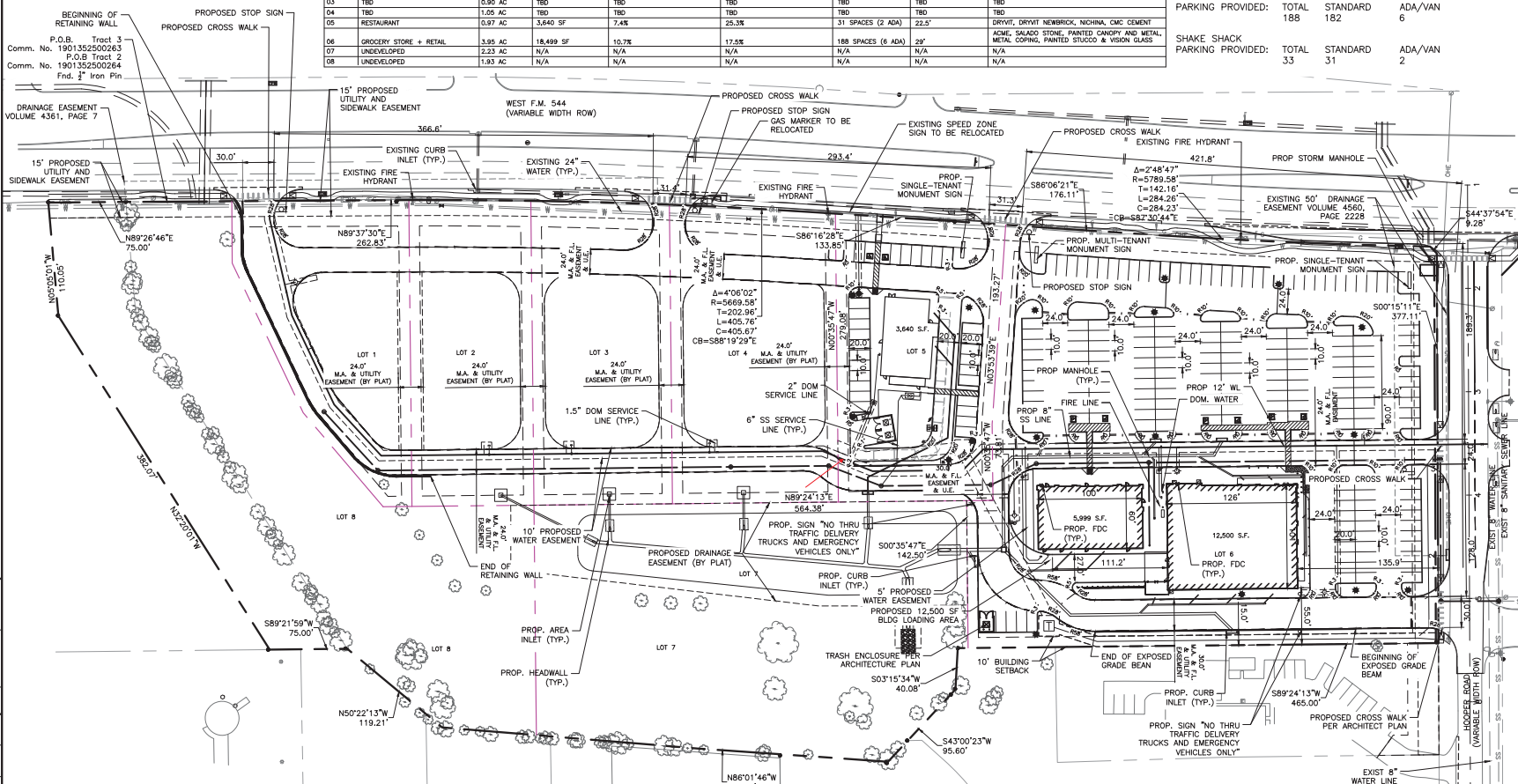
LOT	PROPOSED USE	LOT AREA	BUILDING AREA	BUILDING LOT COVERAGE	LANDSCAPE LOT COVERAGE	PROVIDED PARKING	BUILDING HEIGHT	BUILDING MATERIAL
01	TBD	0.83 AC	TBD	TBD	TBD	TBD	TBD	TBD
02	TBD	0.80 AC	TBD	TBD	TBD	TBD	TBD	TBD
03	TBD	0.90 AC	TBD	TBD	TBD	TBD	TBD	TBD
04	TBD	1.59 AC	TBD	TBD	TBD	TBD	TBD	TBD
05	RESTAURANT	0.97 AC	3,640 SF	7.4%	25.3%	31 SPACES (2 ADA)	22.5'	DRYVT, DRYVT NYBROCK, NICHINA, CMC CEMENT
06	GROCERY STORE + RETAIL	3.05 AC	18,499 SF	13.7%	17.5%	188 SPACES (6 ADA)	20'	ACME, SALADO STONE, PAINTED CANOPY AND METAL, METAL COPING, PAINTED STUCCO & VISION GLASS
07	UNDEVELOPED	2.23 AC	N/A	N/A	N/A	N/A	N/A	N/A
08	UNDEVELOPED	1.93 AC	N/A	N/A	N/A	N/A	N/A	N/A

PARKING ANALYSIS

TRADER JOES	PARKING PROVIDED:	TOTAL	STANDARD	ADA/VAN
		188	182	6

SHAKE SHACK	PARKING PROVIDED:	TOTAL	STANDARD	ADA/VAN
		33	31	2

- LEGEND**
- EX PROPERTY BOUNDARY
 - PROP PROPERTY BOUNDARY
 - W
 - EX WATER LINE
 - SS
 - EX SANITARY SEWER LINE
 - EX STORM LINE
 - PROP WATER LINE
 - PROP SANITARY SEWER LINE
 - PROP STORM LINE
 - PROP SCREENING WALL
 - PROP METAL FENCE
 - PROP MUTUAL ACCESS & FIRE LANE EASEMENT
 - PROP FIRE DEPARTMENT CONNECTION
 - EXISTING TREE TO REMAIN
 - PROP LIGHT POLE (BY OTHERS)



BENCHMARKS:

"X" CUT ON AN EXISTING CURB INLET LOCATED ON THE NORTH SIDE OF THE FM 544 AND HOOPER INTERSECTION.
 No. 705686.145
 ELEV 537.468

"MAG NAIL ON EXISTING CURB DRIVEWAY" CURB LOCATED APPROXIMATELY 670 LF WEST OF THE FM 544 AND HOOPER INTERSECTION ON THE EB FM ROAD.
 N:7056122.983
 E:25567599.089
 ELEV 535.683

BENCHMARK NOTE:
 1. BENCHMARKS SHOWN AND THAT ARE PROVIDED WERE SET BY GOLDEN LAND SURVEYING, PLLC ON 11/24/2025. COORDINATE WITH THE SURVEYOR WITH ANY BENCHMARK DISCREPANCIES

DATE	REVISION	BY

SITE PLAN

WYLIE HOOPER RETAIL

W FM 544
 CITY OF WYLIE
 COLLIN COUNTY, TEXAS 75098

LJA Engineering, Inc.
 4050 North Central Expressway
 Suite 400
 Dallas, Texas 75206
 Phone: 469.621.0710
 FRN: F-1386

THIS DOCUMENT PREPARED UNDER THE AUTHORITY OF THE PROFESSIONAL SEAL OF EDUARDO CECENA LICENSE NO. 156730 EXPIRES 04/20/2028

LJA PROJECT ID: NTR057-0533
 DATE: APRIL 2026
 DESIGN: BRIT
 DRAWING: REN
 SCALE: HORZ: 1" = 50'
 VERT: N/A

SHEET 5

Exterior Elevations - Base Design

Finishes

- **EW-1 EIFS - Vertical Ribs**
Dryvit - Outsulation Plus, 10" OC Ribs,
Color-integrated to match P-4 (SW7069)
- **EW-2 EIFS - Brick**
Dryvit NewBrick - Color-integrated brick to
match SW6445 with dark gray mortar
- **FC-1 Fiber Cement Panel**
Nichiha - Ribbed, Ivory
- **FC-2 Fiber Cement Panel**
Nichiha - Vintagewood, Spruce
- **FC-3 Fiber Cement Panel**
Nichiha - Nichipanel, Smooth, Color-
integrated to match SW6445
- **T-1-12 Tile Base**
CMC - Cementing, Black
- **P-4 Coping & Channel Paint**
Sherwin Williams - Iron Ore (SW7069)



Exterior Elevations - Base Design

Finishes

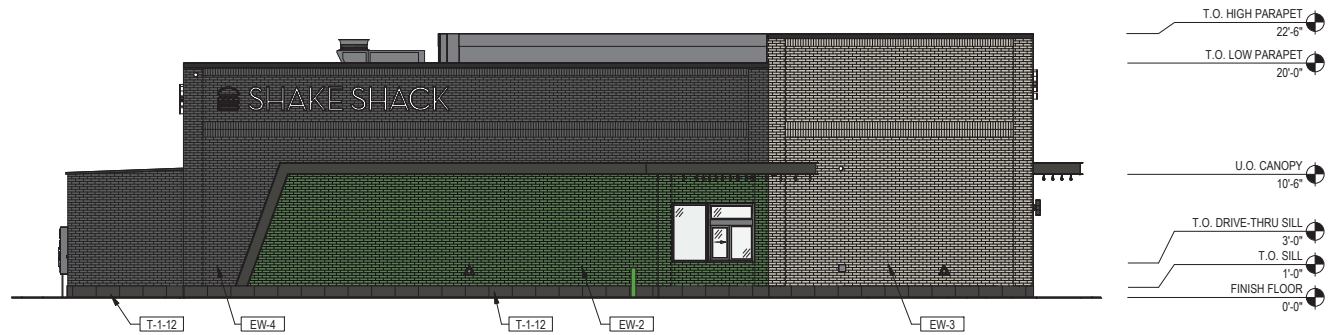
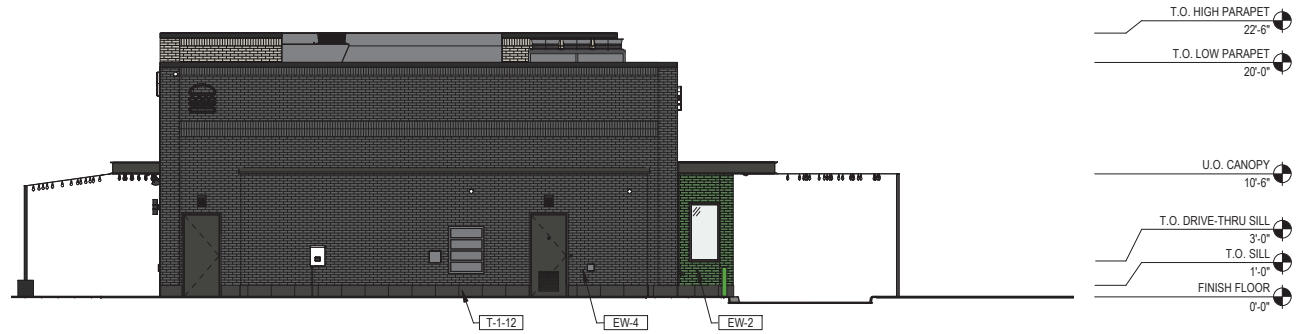
- **EW-1 EIFS - Vertical Ribs**
Dryvit - Outsulation Plus, 10" OC Ribs,
Color-integrated to match P-4 (SW7069)
- **EW-2 EIFS - Brick**
Dryvit NewBrick - Color-integrated brick to
match SW6445 with dark gray mortar
- **FC-1 Fiber Cement Panel**
Nichiha - Ribbed, Ivory
- **FC-2 Fiber Cement Panel**
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- **FC-3 Fiber Cement Panel**
Nichiha - Nichipanel, Smooth, Color-
integrated to match SW6445
- **T-1-12 Tile Base**
CMC - Cementing, Black
- **P-4 Coping & Channel Paint**
Sherwin Williams - Iron Ore (SW7069)



Exterior Elevations - Masonry Alternate

Finishes

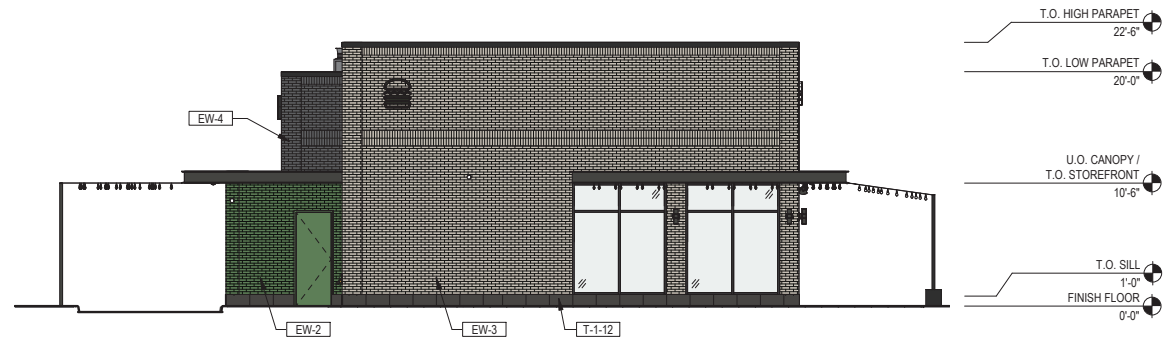
- **EW-2** EIFS - Brick
Dryvit NewBrick - Color-integrated brick to match SW6445 with dark gray mortar
- **EW-3** EIFS - Brick
Dryvit NewBrick - Super White
- **EW-4** EIFS - Brick
Dryvit NewBrick - Black Beauty
- **T-1-12** Tile Base
CMC - Cementing, Black
- **P-4** Coping & Channel Paint
Sherwin Williams - Iron Ore (SW7069)



Exterior Elevations - Masonry Alternate

Finishes

- **EW-2** EIFS - Brick
Dryvit NewBrick - Color-integrated brick to match SW6445 with dark gray mortar
- **EW-3** EIFS - Brick
Dryvit NewBrick - Super White
- **EW-4** EIFS - Brick
Dryvit NewBrick - Black Beauty
- **T-1-12** Tile Base
CMC - Cementing, Black
- **P-4** Coping & Channel Paint
Sherwin Williams - Iron Ore (SW7069)





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 4

Subject

Consider, and act upon, a Site Plan for Lot 2, Block A of Holiday Express Wylie addition for the development of a multi-tenant retail building with an attached drive-through restaurant. Property located on 1.954 acres at 2206 W FM 544.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Parker/Scholz Properties, LTD

APPLICANT: PETITT-ECD

The applicant is proposing to develop a 17,436 sf multi-tenant retail building with an attached drive-through restaurant on a portion of Lot 2, Block A of Holiday Express Wylie Addition on 1.954 acres located at 2206 W FM 544.

The property is zoned within Planned Development Ordinance 2012-03 (PD 2012-03) approved in January of 2012 and allows for the proposed uses by-right.

The development is providing 81 parking spaces with four being ADA accessible. The parking provided is in compliance with the minimum requirements of the Zoning Ordinance. Per the PD Parking stalls are allowed by right to be 9' X 18' in lieu of the typical 10' X 20' requirement.

Access to the site is proposed from mutual access drives that connect to W FM 544 and to Sanden Blvd. A fire lane is provided along the north and east boundaries of the site. An amended plat shall be required for the dedication of fire lane and utility easement prior to a Certificate of Occupancy being issued.

The drivethrough lane design is in compliance with the vehicle stacking requirements of the Engineering Thoroughfare design manual.

The site is providing 21,611 sf of landscaped area being 25.38% of the overall landscaped area which is in compliance with the 20% minimum landscaping requirement. The landscape plan includes a 10" landscape buffer with sidewalks along FM 544. Additional tree plantings are proposed along the parking areas. Underground detention is also provided as a drainage solution for the development.

The structure's exterior material consists of brick veneer, split face cmu, stucco, cast stone and pre-finished parapet caps. Entrances are emphasized with canopies and recessed architectural features.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and of PD 2012-03. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.



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CD PARAGON
 LANDSCAPE ARCHITECTS
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 (281) 441-1111
 www.cdparagon.com

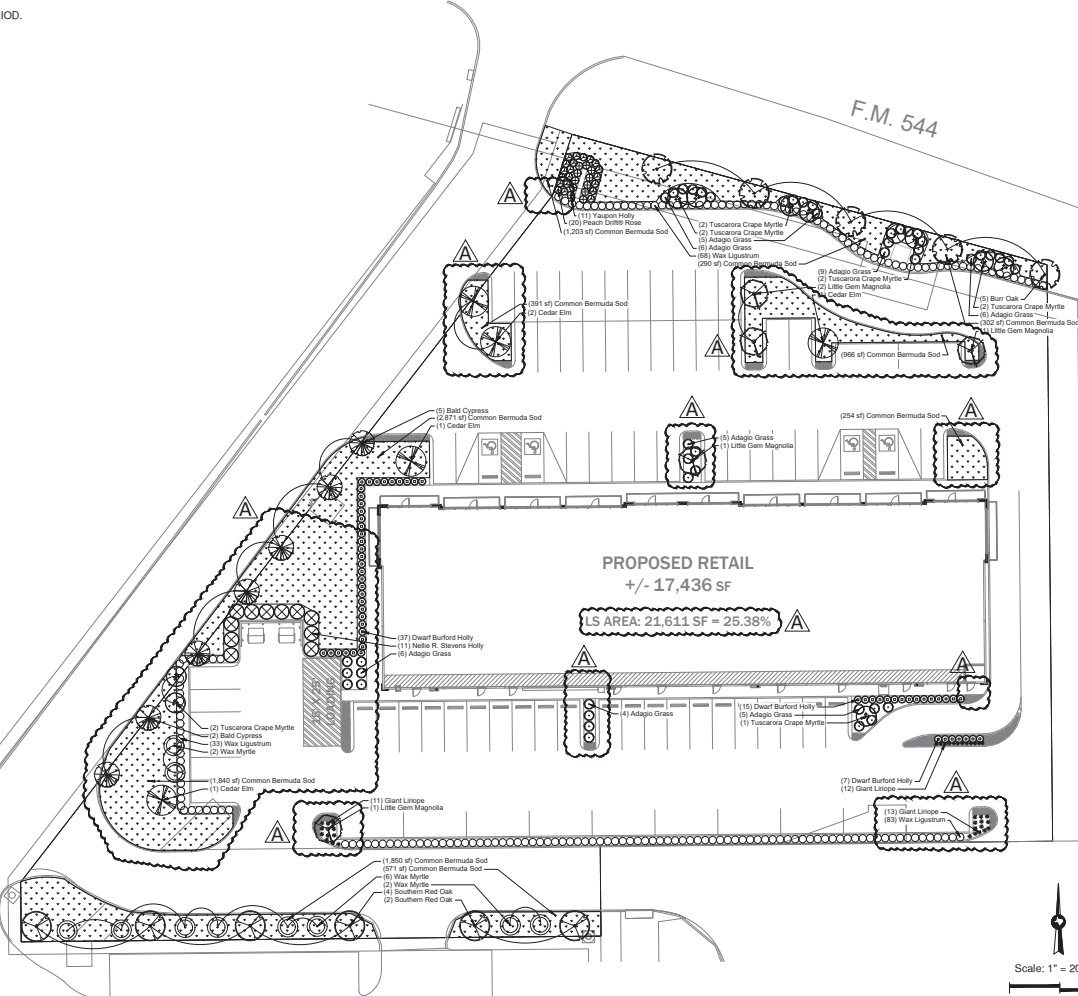


GENERAL LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING LANDSCAPE UNTIL FINAL ACCEPTANCE OF ALL WORK ON JOB SITE. CONTRACTOR SHALL MAINTAIN CONDITIONS OF LAWN, BEDS AND PLANT MATERIAL THROUGHOUT CONSTRUCTION UNTIL SUBSTANTIAL COMPLETION.
- WORK SCHEDULING: CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH ANY LANDSCAPING OR IRRIGATION WORK. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. CONTACT ALL UTILITY COMPANIES MINIMUM 48 HOURS PRIOR TO ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
- CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
- CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD. THERE SHALL BE NO SUBSTITUTIONS WITHOUT WRITTEN CONSENT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIAL THAT DOES NOT MEET SATISFACTORY EXPECTATIONS OF LANDSCAPE ARCHITECT.
- ALL LANDSCAPE DEVIATIONS, INCLUDING SPECIES SUBSTITUTION, NOT APPROVED ON THIS PLAN MUST BE APPROVED BY THE GOVERNING AGENCY THROUGH PLAN SUBMITTAL.
- CONTRACTOR SHALL PERFORM OWN TAKE-OFFS PER SYMBOLS AND AREAS ON PLANS. ANY DISCREPANCIES SHALL BE BROUGHT UP DURING THE BIDDING PROCESS. CONTRACTOR WILL BE HELD RESPONSIBLE FOR QUANTITIES OF SYMBOLS AND AREAS ON PLANS.

PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
(Symbol)	11	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	15 gal.	
(Symbol)	11	Lagerstroemia indica x 'faurie' 'Tuscarora'	Tuscarora Crape Myrtle	3" Total Cal.	
(Symbol)	5	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	3" Cal.	
(Symbol)	10	Myrica carifera	Wax Myrtle	30 gal.	
(Symbol)	6	Quercus falcata	Southern Red Oak	3" Cal.	
(Symbol)	5	Quercus macrocarpa	Burr Oak	3" Cal.	
(Symbol)	7	Taxodium distichum	Bald Cypress	3" Cal.	
(Symbol)	5	Ulmus crassifolia	Cedar Elm	3" Cal.	
SHRUBS					
(Symbol)	59	Ilex cornuta 'Burfordi Nanus'	Dwarf Burford Holly	3 gal.	
(Symbol)	11	Ilex vomitoria	Yaupon Holly	3 gal.	
(Symbol)	184	Ligustrum japonicum	Wax Ligustrum	3 gal.	
(Symbol)	36	Liriodendron giganteum	Giant Liriodendron	1 gal.	
(Symbol)	46	Miscanthus sinensis 'Adagio'	Adagio Grass	3 gal.	
(Symbol)	20	Rosa x 'Meigitt'	Peach Drift® Rose	3 gal.	
GROUND COVERS					
(Symbol)	10,538 sf	Cynodon dactylon	Common Bermuda Sod		



NO.	DATE	DESCRIPTION
04/20/2026		SITE PLAN REVIEW
05/07/2026		REVISION A - CITY COMMENTS

PROJECT NAME AND ADDRESS:
SHOPS AT 544
 544 F.M. 544 • SANDEN BLVD.
 WILHELM, TEXAS 75088
 JOB NUMBER: 25-053

DRAWING TITLE:
LANDSCAPE PLAN

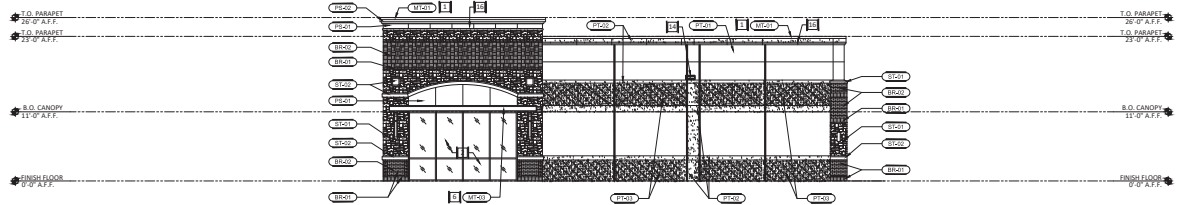
DRAWING NUMBER:
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EXT. FINISH SPECS.

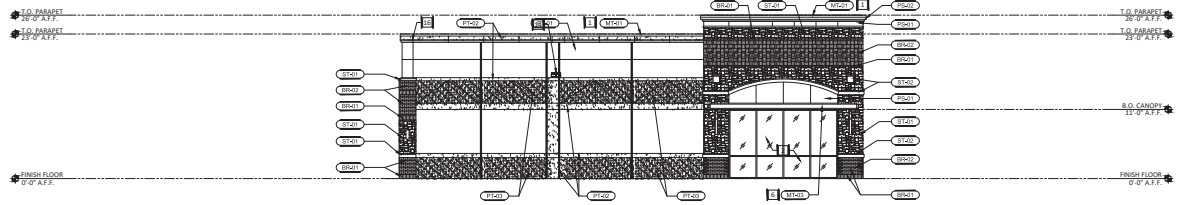
TAG	ITEM	MANUFACTURER	STYLE/COLOR	CONTACT INFO
BR-01	BRICK VENEER (MAIN FIELD) MORTAR: GR-01	ACME BRICK CO.	---	ACME BRICK, NATAJIA PINILLOS, 346-254-5778, NPINILLOS@BRICK.COM
BR-02	BRICK VENEER (ACCENT) MORTAR: GR-01	ACME BRICK CO.	---	ACME BRICK, NATAJIA PINILLOS, 346-254-5778, NPINILLOS@BRICK.COM
BR-03	SPLIT-FACE CMU BLOCK MORTAR: GR-01	BEST BLOCK	2" X 8" 16", #XXX - XXX	BARR, LYONS, 832-270-6230, BARR.LYONS@BESTBLOCK.COM
GL-01	1" INSULATED GLAZING	VITRO ARCHITECTURAL GLASS OR EQ.	SOLARBAN 70 (2) + CLEAR, SHGC: 0.27, U-FACTOR: 0.28	MICHELLE ESTES, MESTES@VITRO.COM, 713-557-0091
GR-01	MORTAR / GROUT	SPECTRUM, AHI SUPPLY	---	ASHUE CLARK, 832-405-6376, ACLARK@AHI-SUPPLY.COM
GR-02	MORTAR / GROUT	SPECTRUM, AHI SUPPLY	---	ASHUE CLARK, 832-405-6376, ACLARK@AHI-SUPPLY.COM
MT-01	PRE-FINISHED PARAPET CAP	BERRIDGE MANUFACTURING	KNAR 500, DARK BRONZE	MARK TICE, 281-701-4117, MTICE@BERRIDGE.COM
MT-02	COLLECTOR BOXES & S.S.	BERRIDGE MANUFACTURING	KNAR 500, DARK BRONZE	MARK TICE, 281-701-4117, MTICE@BERRIDGE.COM
MT-03	PRE-ENGINEERED ALUM. CANOPIES	AAA AWNINGS OR EQ.	24 GA. PRE-FINISHED, PRE-ENGINEERED ALUM. CANOPY W/ ACCENT BRACING AND 12" FLUSH PANEL SOFFIT, DARK BRONZE	---
MT-04	PRE-ENGINEERED ALUM. CANOPIES	AAA AWNINGS OR EQ.	24 GA. PRE-FINISHED, PRE-ENGINEERED ALUM. CANOPY W/ ACCENT BRACING AND 12" FLUSH PANEL SOFFIT, DARK BRONZE	---
MT-05	ANODIZED ALUMINUM STOREFRONT	KAWNEER	DARK BRONZE NO. 40	---
MT-06	PREFINISHED METAL PANEL (DUMPSTER)	BERRIDGE MANUFACTURING	KNAR 500, DARK BRONZE	MARK TICE, 281-701-4117, MTICE@BERRIDGE.COM
ST-01	THIN STONE VENEER MORTAR: GR-02	---	---	---
ST-02	EAST STONE MORTAR: GR-02	STONECAST	XXX, SMOOTH	---
PS-01	STUCCO/PLASTER (MAIN FIELD)	DRY-VIT OR EQ.	COMMERCIAL CEMENT PLASTER 2, SW XXXX - XXXX, SANDBLAST FINISH	WWW.DRYVIT.COM
PS-02	STUCCO/PLASTER (ACCENT 1)	DRY-VIT OR EQ.	COMMERCIAL CEMENT PLASTER 2, SW XXXX - XXXX, SANDBLAST FINISH	WWW.DRYVIT.COM
PS-03	STUCCO/PLASTER (ACCENT 2)	DRY-VIT OR EQ.	COMMERCIAL CEMENT PLASTER 2, SW XXXX - XXXX, SANDBLAST FINISH	WWW.DRYVIT.COM
PT-01	PAINT (HOLLOW METAL DOORS)	SHERWIN WILLIAMS	---	BRIAN PATTON, 713-957-4209, BRIAN.G.PATTON@SHERWIN.COM
PT-02	PAINT (MAIN FIELD)	SHERWIN WILLIAMS	---	BRIAN PATTON, 713-957-4209, BRIAN.G.PATTON@SHERWIN.COM
PT-03	PAINT (ACCENTS)	SHERWIN WILLIAMS	---	BRIAN PATTON, 713-957-4209, BRIAN.G.PATTON@SHERWIN.COM
PT-04	PAINT (SITE)	SHERWIN WILLIAMS	---	BRIAN PATTON, 713-957-4209, BRIAN.G.PATTON@SHERWIN.COM

ELEVATION KEY NOTES

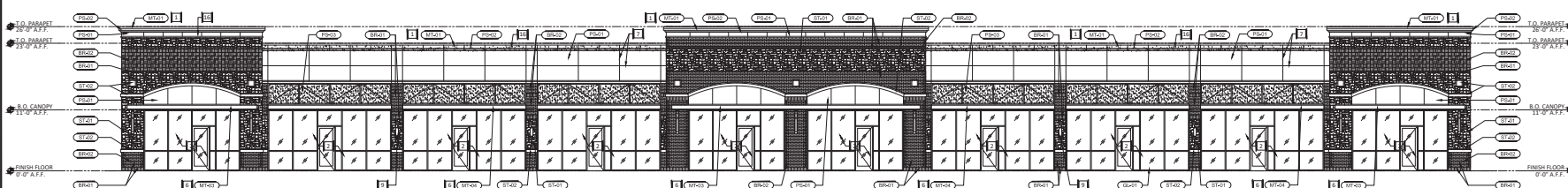
- 1 PRE-FINISHED METAL COPING OVER TOP OF PARAPET (MT-01)
- 2 ANODIZED ALUMINUM STOREFRONT SYSTEM, RE: WINDOW SCHEDULE (GL-01)
- 3 HOLLOW METAL DOOR, PAINTED, RE: DOOR SCHEDULE (PT-XX)
- 4 BACK OF PARAPET, BEYOND
- 5 ROOF ACCESS LADDER (PT-XX)
- 6 PRE-ENGINEERED, PRE-FINISHED METAL CANOPY (MT-XX)
- 7 STUCCO (OR PLASTER) REVEAL (OR TILT-WALL REVEAL), RE: XXXXXX
- 8 SCHEDULED WALL MOUNTED LIGHT FIXTURE, RE: ELECTRICAL DRAWINGS
- 9 LINE OF ROOF BEYOND
- 10 ELECTRICAL EQUIPMENT, (PT-XX)
- 11 SCHEDULED STANDARD CLUSTER MAILBOX UNIT (INSERT SPEC)
- 12 FUTURE GAS METER LOCATION; RE: MEP DRAWINGS
- 13 SCHEDULED WALL PACK TYP. CENTERLINE MOUNTING HEIGHT @ XY' Y"; RE: ELECTRICAL DRAWINGS
- 14 PRONCE OF 2" CDX PLYWOOD FOR SIGNAGE BLOCKING @ WALL IS STUD
- 15 CORNICE W/ HOT GROOVE 1/2" X 1/2" EIFS FALSE JOINT



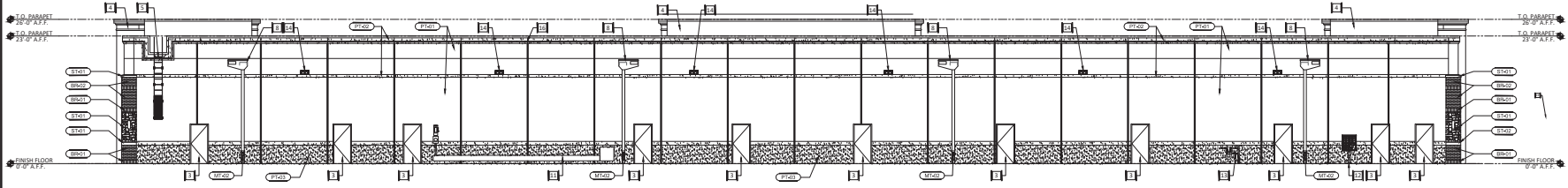
04 WEST ELEVATION
SCALE: 1/8" = 1'-0"



03 EAST ELEVATION
SCALE: 1/8" = 1'-0"



02 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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Huntington

NO.	DATE	DESCRIPTION
1	05/19/2026	SITE PLAN REVIEW

PROJECT NAME AND ADDRESS:
SHOPS AT 544
 544 S. 544 • GARDEN BLVD.
 WILHELM, TEXAS 75088
 JOB NUMBER: 25-053
 DRAWING TITLE:
EXTERIOR ELEVATIONS
 DRAWING NUMBER:

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01 EXTERIOR RENDERING
NOT TO SCALE

CD Paragon, PLLC
2618 Rusk Street
Houston, TX 77003



COMMERCIAL DEVELOPMENT
SWC FM-544 @ SANDEN BLVD.
February 23, 2026
WYLIE, TX
JOB #25-053