

Wylie City Council Regular Meeting

May 14, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

Invocation - Reverend Kurt Ulmer, Faith Lutheran Church.

REGULAR AGENDA

1. Consider, and act upon, Ordinance No. 2024-14 of the City Council of the City of Wylie, Texas, canvassing the election returns of the May 4, 2024 General Election; declaring the election results for City Council Place 2 and Place 4; and providing a savings/repealing clause, severability clause and an effective date.

ISSUANCE OF CERTIFICATE OF ELECTIONS & ADMINISTRATION OF OATH OF OFFICE

Councilmembers-elect Dave Strang and Scott Williams.

PRESENTATIONS & RECOGNITIONS

- PR1. National Police Week.
- PR2. Texas Police Chiefs Association recognizing the Wylie Police Department for obtaining their Texas Police Chiefs Best Practices Accreditation.
- PR3. Eagle Scout Award - Jared Vanderburg.
- PR4. Asian Americans and Pacific Islanders Month.
- PR5. Economic Development Week.
- PR6. National Correctional Officers Week.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of April 23, 2024 Regular City Council Meeting minutes.

- B. Consider, and act upon, authorizing the Mayor to enter into a Cooperative Agreement for additional Law Enforcement Services, between the City of Wylie, Lavon Lake, Texas initiates Agreement No. W9126G24P0016 and the U.S. Army Corps of Engineers. This agreement is for the provisions of additional Law enforcement Services from May 17, 2024 through September 14, 2024 for a sum not to exceed \$56,732.05.
- C. Consider, and act upon, a Preliminary Plat for Dominion of Pleasant Valley Phase 6, creating 168 single-family residential lots and three open space lots on 40.430 acres, generally located at the southwest intersection of Dominion Drive and Pleasant Valley Road.
- D. Consider, and act upon, a Preliminary Plat for Dominion of Pleasant Valley Phase 7, creating 11 single-family residential lots and two open space lots on 6.475 acres, generally located at the northeast corner of Dominion Drive and Pleasant Valley Road.
- E. Consider, and act upon, a Preliminary Plat of Lot 1, Block A of North Wylie Plaza, establishing one commercial lot on 0.912 acres. Property generally located at 2455 FM 1378.
- F. Consider, and act upon, the approval of the purchase of one (1) 2024 Ford Transit T350 Passenger Van in an estimated amount of \$55,150.00 from Randall Reed's Planet Ford 635 for the Parks and Recreation Department through a cooperative purchasing agreement with the Sheriffs' Association of Texas and authorizing the City Manager to execute any and all necessary documents.
- G. Consider, and act upon, the approval of the purchase of two (2) dark ash (silver) 2024 Chevy Tahoes for Police Administration in an estimated amount of \$104,623.62, and eleven (11) black 2024 Chevy Tahoes for Police Patrol in an estimated amount of \$574,371.91 for the Police Department from Reliable Chevrolet through a cooperative purchasing agreement with the Sheriffs' Association of Texas and authorizing the City Manager to execute any and all necessary documents.

REGULAR AGENDA

- 2. Consider, and act upon, the appointment of Mayor *pro tem* for a term beginning May 2024 and ending May 2025.
- 3. Consider, and act upon, the appointment of a 2024 Board and Commissions City Council Interview Panel to conduct the May 2024 board applicant interviews.
- 4. Consider, and act upon, the appointment of one-committee member to the City of Wylie City Council Subcommittee to represent the City of Wylie in meetings with the Wylie Independent School District City/Schools Partnerships Committee.
- 5. Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural District (AG/30) to Planned Development (PD-MF) for an age restricted condominium residential community on 47.374 acres. Property located on the west side of Country Club Road approximately 2000' south of Parker Road (ZC 2024-02).

WORK SESSION

WS1. North Texas Municipal Water District Update.

WS2. Discuss WEDC & The Retail Coach.

WS3. Discuss the possible development of the FM 544 frontage in Regency Business Park.

WS4. Discuss the International Jet Ski Tournament at Collin Park Marina, located at 2200 St Paul Road, Wylie, Texas.

WS5. Discuss FY 2024-25 Budget.

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

Sec. 551.074. PERSONNEL MATTERS; CLOSED MEETING.

(a) This chapter does not require a governmental body to conduct an open meeting:

(1) to deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or

(2) to hear a complaint or charge against an officer or employee.

(b) Subsection (a) does not apply if the officer or employee who is the subject of the deliberation or hearing requests a public hearing.

ES1. Discuss the job performance of the City Manager.

Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

ES2. Discuss Park Boulevard property acquisitions.

ES3. Consider the sale or acquisition of properties located at Brown/Eubanks, FM 544/Cooper, FM 544/Sanden, Jackson/Oak, Regency/Steel, and State Hwy 78/Brown.

Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.

This chapter does not require a governmental body to conduct an open meeting:

(1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or

(2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

ES4. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2022-1c, 2022-10c, 2023-1c, 2023-2d, 2023-5c, 2023-9b, 2023-11b, 2024-1c, 2024-2d, 2024-3a, 2024-3b, 2024-4c, 2024-4e, 2024-5a, 2024-5b, 2024-5c, and 2024-5d.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on May 10, 2024 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary’s Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

- § 551.071 – Private consultation with an attorney for the City.
- § 551.072 – Discussing purchase, exchange, lease or value of real property.
- § 551.074 – Discussing personnel or to hear complaints against personnel.
- § 551.087 – Discussing certain economic development matters.
- § 551.073 – Discussing prospective gift or donation to the City.
- § 551.076 – Discussing deployment of security personnel or devices or security audit.



Wylie City Council

AGENDA REPORT

Department: City Secretary

Account Code: _____

Prepared By: City Secretary

Subject

Consider, and act upon, Ordinance No. 2024-14 of the City Council of the City of Wylie, Texas, canvassing the election returns of the May 4, 2024 General Election; declaring the election results for City Council Place 2 and Place 4; and providing a savings/repealing clause, severability clause and an effective date.

Recommendation

A motion to approve the Item as presented.

Discussion

The unofficial results of the City of Wylie May 4, 2024 General Election, have been presented for review to the Wylie City Council. Council is requested to review the results and take formal action to approve the totals within the proposed Ordinance.

Please note, voters have until Friday May 10, 2024 to cure challenged mail ballots and provisional ballots and the ballot boards cannot convene until after that time; therefore, the City will not receive the final reports until the end of the day on Monday, May 13th. Included in the agenda packet is the information staff had at the time of posting on Friday, May 10th. Staff will send updated information out to Council on Tuesday before the Council meeting.

ORDINANCE NO. 2024-14**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, CANVASSING THE ELECTION RETURNS OF THE MAY 4, 2024 GENERAL ELECTION; DECLARING THE ELECTION RESULTS FOR CITY COUNCIL PLACE 2 AND PLACE 4; AND PROVIDING A SAVINGS/REPEALING CLAUSE, SEVERABILITY CLAUSE AND AN EFFECTIVE DATE.**

WHEREAS, the City Council of the City of Wylie, Texas (“City Council”) duly authorized and ordered a general election to be held within the City of Wylie, Texas (“City”), on May 4, 2024 (“Election”), for the purpose of electing two members of the City Council, Place 2 and Place 4, for a full term; and

WHEREAS, the Collin County Elections Administrator administered the Election for Collin County voters, the Dallas County Elections Administrator administered the Election for Dallas County voters, and Rockwall County Elections Administrator administered the Election for Rockwall County voters; and

WHEREAS, the Collin, Dallas, and Rockwall County Elections Administrators have made the return of the Election results and delivered them to the City Council in the time and manner required by law; and

WHEREAS, Election returns lawfully submitted to the City Council and filed with the City Secretary are set forth in Exhibit A and incorporated herein for all purposes; and

WHEREAS, the City Council finds that the Election was duly called; that notice of the Election was given in accordance with the law and City Charter; that the Election was held in accordance with the law and City Charter; that the Election returns were duly and legally made and delivered; and that there were cast at the Election valid and legal votes; and

WHEREAS, the City Council finds and declares that the meeting at which this Ordinance is considered is open to the public as required by law, and that the public notice of the time, place and purpose of the meeting was given as required by Chapter 551 of the Texas Government Code, as amended; and

WHEREAS, the City Council, having canvassed the combined early voting and Election Day accumulated totals, finds that the votes cast result in the following:

City Council, Place 2

Ahmed Abdelghani received 803 or 33.28% of the votes cast.
Dave Strang received 1,610 or 66.72% of the votes cast.

City Council, Place 4

Danish Aftab received 754 or 31.29% of the votes cast.
Scott Williams received 1,656 or 68.71% of the votes cast.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Election Results. The Election returns as set forth herein are declared to be official. Accordingly, Dave Strang is hereby declared elected to City Council Place 2 and Scott Williams is hereby declared elected to City Council Place 4.

SECTION 3: Approval of Elections Results. The City Council hereby finds and determines, as a result of the canvass held on May 14, 2024, that a combined Election Day and early voting total of 2,436 votes were cast in the Election, with 1,624 early votes cast, as indicated by the poll list for the Election held on May 4, 2024. It is hereby declared that the City approves and accepts the results of the Election for City Council Place 2 and Place 4 as set forth in the returns attached hereto as Exhibit A, as determined by the majority vote of the qualified voters of the City.

SECTION 4: Severability. Should any section, subsection, sentence, clause, or phrase of this Ordinance be declared unconstitutional and/or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Wylie hereby declares that it would have passed this Ordinance, and each section, subsection, clause and phrase thereof regardless of whether any one or more sections, subsections, sentences, clauses or phrases may be declared unconstitutional and/or invalid.

SECTION 5: Savings/Repealing. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict. Any remaining portion of conflicting ordinances shall remain in full force and effect.

SECTION 6: Effective Date. This Ordinance shall become effective immediately upon its passage.

DULY PASSED AND APPROVED, by the City Council of the City of Wylie, Texas on this 14th day of May 2024.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

Exhibit A
Certified Election Returns

[__ pages attached hereto]

CITY OF WYLIE GENERAL ELECTION
SUMMARY OF PRECINCT RETURNS
EARLY VOTING & ELECTION DAY COMBINED
May 4, 2024
UNOFFICIAL

Position	Candidate Name	Collin	Dallas	Rockwall	Total	Percentage
Place 2	Ahmed Abdelghani	801	2	0	803	33.28%
Place 2	Dave Strang	1,587	15	8	1,610	66.72%
Place 4	Danish Aftab	752	2	0	754	31.29%
Place 4	Scott Williams	1,633	15	8	1,656	68.71%

COMBINED EARLY VOTING & ELECTION DAY BALLOTS CAST	2,436
PERCENTAGE OF REGISTERED VOTERS	6.69%
TOTAL NUMBER OF REGISTERED VOTERS	36,388

CITY OF WYLIE GENERAL ELECTION
SUMMARY OF PRECINCT RETURNS
EARLY VOTING ONLY
May 4, 2024
UNOFFICIAL

Position	Candidate Name	Collin	Dallas	Rockwall	Total	Percentage
Place 2	Ahmed Abdelghani	512	2	0	514	31.985%
Place 2	Dave Strang	1,074	13	6	1,093	68.015%
Place 4	Danish Aftab	480	2	0	482	30.125%
Place 4	Scott Williams	1,099	13	6	1,118	69.875%

EARLY VOTING BALLOTS CAST	1,624
PERCENTAGE OF REGISTERED VOTERS	4.46%
TOTAL NUMBER OF REGISTERED VOTERS	36,388



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, approval of April 23, 2024 Regular City Council Meeting minutes.

Recommendation

Motion to approve the Item as presented.

Discussion

The minutes are attached for your consideration.

Wylie City Council Regular Meeting Minutes

April 23, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Mayor Matthew Porter called the regular meeting to order at 6:00 p.m. The following City Council members were present: Councilman David R. Duke, Councilman Dave Strang, Mayor *pro tem* Jeff Forrester, Councilman Sid Hoover, Councilman Scott Williams, and Councilman Gino Mulliqi.

Staff present included: City Manager Brent Parker; Deputy City Manager Renae Ollie; Assistant City Manager Lety Yanez; Fire Chief Brandon Blythe; Digital Media Specialist Kristina Kelly; City Secretary Stephanie Storm; Finance Director Melissa Brown; Community Services Director Jasen Haskins; Parks and Recreation Director Carmen Powlen; Human Resources Director Jennifer Beck; City Engineer Tim Porter; Public Works Director Tommy Weir; Police Chief Anthony Henderson; Library Director Ofilia Barrera; Wylie Economic Development Executive Director Jason Greiner; and various support staff.

INVOCATION & PLEDGE OF ALLEGIANCE

Councilman Strang led the invocation, and Councilman Williams led the Pledge of Allegiance.

PRESENTATIONS & RECOGNITIONS

PR1. Junior Mayor for the Day - Delta Dorris.

Mayor Porter presented a proclamation proclaiming Delta Dorris as Junior Mayor for the Day in Wylie, Texas. Delta Dorris and her family were present to accept the Proclamation.

PR2. Small Business Week.

Mayor Porter presented a proclamation proclaiming April 28-May 4, 2024 as Small Business Week in Wylie, Texas. Many small businesses and WEDC staff and board members were present to accept the Proclamation.

PR3. National Volunteer Week.

Mayor Porter presented a proclamation proclaiming April 21-27, 2024 as National Volunteer Week in Wylie, Texas. Many volunteers from various organizations were present to accept the Proclamation.

PR4. Child Abuse Prevention Month.

Mayor Porter presented a proclamation proclaiming April 2024 as Child Abuse Prevention Month in Wylie, Texas. Dixie Jeffers, Child Protective Services Board and Foster Friends Board member, and Tricia Clifton, CEO and President of CASA of Collin County, were present to accept the Proclamation.

PR5. National Animal Control Officer Appreciation Week.

Mayor Porter recognized April 14-20, 2024 as National Animal Control Officer Appreciation Week.

PR6. National Military Brats Month.

Mayor Porter recognized the month of April as National Military Brats Month.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

Bob Heath addressed the Council commending Deputy City Manager Ollie and Public Works staff for resolving a sewer issue on his property.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of April 9, 2024 Regular City Council Meeting minutes.**
- B. Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of March 31, 2024.**
- C. Consider, and act upon, the City of Wylie Monthly Revenue and Expenditure Report for March 31, 2024.**
- D. Consider, and place on file, the City of Wylie Monthly Investment Report for March 31, 2024.**

Council Action

A motion was made by Councilman Mulliqi, seconded by Mayor *pro tem* Forrester, to approve the Consent Agenda as presented. A vote was taken and the motion passed 7-0.

REGULAR AGENDA

- 1. Consider, and act upon, the appointment of a board member to the North Texas Municipal Water District (NTMWD) Board to fill an expired term of June 1, 2024 to May 31, 2026.**

Council Comments

Mayor Porter stated Council appoints two members to the North Texas Municipal Water District Board (NTMWD). Marvin Fuller has served on this board and is seeking reappointment.

Marvin Fuller, current board member, addressed the Council stating it has been an honor to serve and represent the City of Wylie on the NTMWD Board for the past 28 years. Fuller stated that NTMWD celebrated the opening of Bois D'Arc Lake this past week, which is the first lake that has opened in 30 years in Texas, and with the growth in this area another lake is needed about every 10 years. Fuller stated he currently serves as the Legislative Committee chairman and Keith Stephens serves as the Wastewater Committee chairman.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Williams, to appoint Marvin Fuller to the North Texas Municipal Water District (NTMWD) Board of Directors for a term to begin June 1, 2024 and end May 31, 2026. A vote was taken and the motion passed 7-0.

2. Tabled from 03-12-2024

Remove from table and consider

Council Action

A motion was made by Councilman Mulliqi, seconded by Councilman Duke, to remove Item 2 from the table to consider. A vote was taken and the motion passed 7-0.

Continue a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Planned Development 2020-27 (PD 2020-27) to Planned Development (PD) on 20.433 acres. Property located from 2535-2701 S. State Highway 78 (ZC 2023-20).

Staff Comments

Community Services Director Haskins addressed the Council stating the applicant is requesting that the Council re-table this Item for three additional meetings as the applicant is still working on addressing the Council's feedback from the previous meeting.

Public Hearing

Mayor Porter continued the public hearing on Item 2 at 6:53 p.m. asking anyone present wishing to address Council to come forward.

Eugene Hauptmann addressed the Council stating he would like the Council to consider the use of this property as this is one of the last largest pieces of land left in Wylie that might be suitable for good commercial property.

Mayor Porter closed the public hearing at 6:55 p.m.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to table Item 2 for three meetings at the request of the applicant. A vote was taken and the motion passed 7-0.

3. Tabled from 04-09-2024

Remove from table and consider

Council Action

A motion was made by Councilman Duke, seconded by Councilman Strang, to remove Item 3 from the table to consider. A vote was taken and the motion passed 7-0.

Consider, and act upon, Ordinance No. 2024-10 for a change in zoning from Agricultural (AG/30) to a Planned Development with single-family attached, single-family detached, commercial development and open space on 25.037 acres. Property located near 605 Country Club Road (ZC 2023-18).

Staff Comments

Community Services Director Haskins addressed the Council stating on March 26th the Council approved staff to write the Ordinance for this particular Zoning Case and on April 9th Council had a few concerns including a trip generation table that showed a few inaccuracies, the chosen homebuilder, speaking with the WISD, and privacy concerns along the north side of the property. The trip generation table has been updated, the school district has confirmed with the City that they have taken this particular Zoning Case into their future forecast, but are not in support or against the Zoning Case, and the applicant has addressed privacy concerns by including language in the PD that either requires a one-story home or if there is a two-story home, it cannot have windows or patios past the first story level which is 10 feet.

Council Comments

Mayor Porter gave a recap of the changes that have been made which include there would be no mingling of traffic between this neighborhood and Presidential Estates to the north except for a secondary entrance that will be available to emergency vehicles only, a masonry wall will be installed between the two neighborhoods, the

applicant has addressed the privacy concerns on the north side of the property as well as flipped the commercial building at the front of the property and has made additional changes along the way to the project. Councilman Mulliqi thanked the applicant for addressing the privacy concerns on the north side of the property and asked if they had any potential commercial tenants for the two commercial buildings. Doug Herron, representing Gustin Architecture, addressed the Council stating not at the moment as they are still in the planning stages. Mulliqi asked if they are looking at one company to develop all the property, or are they looking at multiple companies in smaller spaces. Herron replied multiple companies in smaller spaces is what they are leaning to at the moment on both properties. Councilman Strang stated the applicant and architect have done a lot of work to be amendable and address Council and citizen concerns, and added some may still have concerns about traffic but the master plan shows a development similar to this. Councilman Williams confirmed the Zoning is all that is being considered for approval this evening and asked if the elevations will come back before Council prior to getting replatted. Haskins replied only the commercial property elevations, not the residential, would come back; however, the residential plat would come back. Williams confirmed the applicant is meeting the City's standard and Haskins confirmed that was correct. Williams confirmed the facade of the residential homes. Herron replied there would be no siding, it would be masonry. Williams stated there is not a public park in the proposed project and asked how impact fees are handled. Haskins replied each house is assessed a fee and they have to pay that fee when they put in their building plans.

Council Action

A motion was made by Councilman Duke, seconded by Councilman Strang, to approve Item 3 as presented. A vote was taken and the motion passed 7-0.

4. **Hold a Public Hearing, consider, and act upon, Ordinance No. 2024-11 amending Wylie's Code of Ordinances, Ordinance No. 2021-17, as amended, Chapter 114 (Utilities), Article IV (Water), Division 3 (Water Conservation Plan) repealing and adopting a New Water Conservation Plan to promote the responsible use of Water, requiring the filing of this ordinance and plan with the Texas Commission on Environmental Quality; providing for penalties for the violation of this ordinance; providing repealing, savings and severability clauses, an effective date and for the publication of the caption hereof.**

Staff Comments

Public Works Utilities Manager Albert Garza addressed the Council stating this is a Water Conservation Plan which is required by the Texas Commission on Environmental Quality (TCEQ). The City is required to submit an updated plan to TCEQ every five years, and the last plan the City submitted was in 2019.

Adam Conner, representing Freese and Nichols, addressed Council giving a brief presentation on the Water Conservation Plan Update including water conservation requirements, water usage, draft water conservation plan, and key takeaways.

Public Hearing

Mayor Porter opened the public hearing on Item 4 at 7:13 p.m. asking anyone present wishing to address Council to come forward.

Jacqueline Walters addressed the Council confirming with Mr. Conner that the City's usage in comparison to other cities is based on population.

Mayor Porter closed the public hearing at 7:14 p.m.

Council Comments

Councilman Williams asked about the recommendations for ordinances in the Water Conservation Plan, 8.03 Section D, are these suggestions that are not already ordinances or is this standard language that are in all reports. Conner replied NTMWD created a model plan which included these sections and the City is interested in implementing some of these measures or programs so they included them as part of the Water Conservation Plan.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to approve Item 4 as presented. A vote was taken and the motion passed 7-0.

5. **Hold a Public Hearing, consider, and act upon, Ordinance No. 2024-12 amending Wylie's Code of Ordinances, Ordinance No. 2021-17, as amended, Chapter 114 (Utilities), Article IV (Water), Division 2 (Water Resource and Emergency Management Plan) repealing and adopting a new Water Resource and Emergency Management Plan to promote the responsible use of water, requiring the filing of this ordinance and plan with the Texas Commission on Environmental Quality; providing for penalties for the violation of this ordinance; providing repealing, savings and severability clauses, an effective date and for the publication of the caption hereof.**

Staff Comments

Public Works Utilities Manager Albert Garza addressed the Council stating this is a Water Resource and Emergency Management Plan which is required by the Texas Commission on Environmental Quality (TCEQ). The City is required to submit an updated plan to TCEQ every five years, and the last plan the City submitted was in 2019.

Adam Conner, representing Freese and Nichols, addressed Council giving a brief presentation on the Water Resource and Emergency Management Plan Update including the drought contingency plan requirements, drought conditions from 2000-2024, current drought conditions, Q3 2023 through Q1 2024 drought conditions, draft DCP - NTMWD and Wylie triggers, draft DCP - enforcement (section 2.06), and key takeaways.

Public Hearing

Mayor Porter opened the public hearing on Item 5 at 7:25 p.m. asking anyone present wishing to address Council to come forward.

No one was present wishing to address the Council.

Mayor Porter closed the public hearing at 7:26 p.m.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Duke, to approve Item 5 as presented. A vote was taken and the motion passed 7-0.

Mayor Porter recessed the Council into a break at 7:27 p.m.

Mayor Porter reconvened the Council into Regular Session at 7:38 p.m.

6. **Consider, and act upon, Ordinance No. 2024-13 amending Ordinance No. 2023-39, which established the budget for fiscal year 2023-2024; providing for repealing, savings and severability clauses; and providing for an effective date of this ordinance.**

Staff Comments

City Manager Parker addressed Council stating a list of mid-year budget amendments was included in the agenda packet for consideration. The majority of the budget amendments is the salary increases that have been discussed over the last couple of months. That number did increase a little bit as they finalized the numbers and positions. Also included is the Animal Shelter remodel for \$800,000. Staff is currently in the process of getting bids for the project and the price will not exceed the \$800,000 but currently do not have a final number until the first part of May.

Council Comments

Councilman Mulliqi stated with adjusting the employee's salaries at mid-year, Council will work through those changes next budget year but it will not change or affect what Council is considering for the employees this evening. Mayor *pro tem* Forrester thanked Finance for bringing this information back so quickly for Council

consideration, and stated we have to take care of the people. Councilman Strang applauded staff for everything they have done. Councilman Williams thanked staff for the work they have done, and asked where the salary savings is addressed and offset. Parker replied it is absorbed in the mid-year budget, there is no salary savings. Williams asked where the salary savings from open positions that were budgeted go or will be credited to. Finance Director Brown replied the salary savings stayed in their specific fund, and offset any new expenses in that specific fund. Parker thanked the Council for considering and supporting staff. Williams stated he wanted to ensure an adequate amount of money has been applied to the hard to fill positions where we currently have shortages. Parker stated what is being proposed this evening does take a step in the right direction, and provides tools and latitude to help fill those positions. Porter thanked the staff for all that they do.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to approve Item 6 as presented. A vote was taken and the motion passed 7-0.

7. Consider, and act upon, casting a recommendation for a candidate for the Executive Board of the North Central Texas Council of Governments (NCTCOG).

Council Comments

Porter stated he received an email from NCTCOG for nominations, which are done on an annual basis and are linked to specific criteria. This board oversees a lot of funding and decisions that are made on behalf of the North Texas Region. There is a lower number of representation from Collin County, and from this side of the metroplex. Porter stated he would be interested in serving if Council would be willing to consider nominating him for a position to serve as a representative, which would be put forward for a vote, or if anyone else on Council would be interested in serving.

Council Action

A motion was made by Councilman Strang, seconded by Councilman Williams, to approve casting a recommendation for Matthew Porter as a candidate for the Board of Directors of the North Central Texas Council of Governments (NCTCOG) Executive Board. A vote was taken and the motion passed 7-0.

WORK SESSION

Mayor Porter convened the Council into a Work Session at 7:52 p.m.

WS1. Discuss the Parks and Recreation Department and Five-Year Recommendations.

Parks and Recreation Director Carmen Powlen addressed the Council giving a presentation on the Parks and Recreation Department including how they connect with the visitors each year; the economic impact; staff certifications, licenses, training, and employees; recognitions received; the entities that Parks and Recreation work with; amenities offered; service classification; marketing; regular promotions; revenue sources; expenses for FY 2022-2023; renovation, new development, and acquisition for FY 2022-2023; project updates; rec center annual report highlights; department report card amenities-meet or exceed; department report card amenities-under minimum; engagement report; master plan report card complete/in progress; master plan report card top 10 remaining; threats; five-year recommendations-staffing 4B; five-year recommendations-equipment 4B; and five-year recommendations-projects 4B.

Council comments and questions included how does a league rent a sports field, is acquisition referring to the City purchasing land or land acquisition from developers; clarified whether all senior programs will return to the Community Park Center; is the plan for Park Boulevard Trail available online; confirmed the restrooms at Community Park would be rebuilt as part of the project; commended staff for the all-inclusive aspects such as the pour in play surfacing that have been incorporated; is there any new lighting coming in the near future and is solar lighting incorporated; how much debt would the current 4B bond equate to; confirmed a 4B fund bond does not impact property tax; and would like to see lighting moved up in priority.

RECONVENE INTO REGULAR SESSION

Mayor Porter reconvened the Council into Regular Session at 8:31 p.m.

EXECUTIVE SESSION

Mayor Porter convened the Council into Executive Session at 8:31 p.m.

Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

ES1. Consider the sale or acquisition of properties located at Brown/Eubanks, FM 544/Cooper, FM 544/Sanden, Jackson/Oak, Regency/Steel, and State Hwy 78/Brown.

Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.

This chapter does not require a governmental body to conduct an open meeting:

- (1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or
- (2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

ES2. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2013-9a, 2022-1c, 2022-10c, 2023-1a, 2023-2d, 2023-5b, 2023-9b, 2023-11b, 2024-1a, 2024-1c, 2024-3a, 2024-3b, 2024-4a, 2024-4b, and 2024-4c.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

Mayor Porter reconvened the Council into Open Session at 9:26 p.m.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

City Secretary Storm read the captions of Ordinance Nos. 2024-10, 2024-11, 2024-12, and 2024-13 into the official record.

ADJOURNMENT

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to adjourn the meeting at 9:28 p.m. A vote was taken and the motion passed 7-0.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary



Wylie City Council

AGENDA REPORT

Department: Police

Account Code: _____

Prepared By: Anthony Henderson

Subject


Consider, and act upon, authorizing the Mayor to enter into a Cooperative Agreement for additional Law Enforcement Services, between the City of Wylie, Lavon Lake, Texas initiates Agreement No. W9126G24P0016 and the U.S. Army Corps of Engineers. This agreement is for the provisions of additional Law enforcement Services from May 17, 2024 through September 14, 2024 for a sum not to exceed \$56,732.05.

Recommendation

Motion to approve the Item as presented.

Discussion

The U.S. Army Corps of Engineers has awarded the City of Wylie a \$56,732.05 contract for extended law enforcement services, totaling 640 hours. The contract requires Officers to concentrate their patrols in the lake parks and properties deemed in the City of Wylie, Texas jurisdiction and to provide protection and enforce laws and ordinances.

SOLICITATION/CONTRACT/ORDER FOR COMMERCIAL ITEMS <i>OFFEROR TO COMPLETE BLOCKS 12, 17, 23, 24, AND 30</i>				1. REQUISITION NUMBER W45XMA41012077		PAGE 1 OF 11	
2. CONTRACT NO. W9126G24P0016		3. AWARD/EFFECTIVE DATE 24-Apr-2024		4. ORDER NUMBER		5. SOLICITATION NUMBER W9126G24Q0010	
7. FOR SOLICITATION INFORMATION CALL:		a. NAME DAISY CIARLARIELLO				b. TELEPHONE NUMBER (No Collect Calls) 817-886-6592	
9. ISSUED BY US ARMY CORPS OF ENGINEERS FORT WORTH 819 TAYLOR ST, CT OFC RM 2A17 FORT WORTH TX 76102-0300 TEL: FAX: (817) 886-6403		CODE W9126G		10. THIS ACQUISITION IS <input checked="" type="checkbox"/> UNRESTRICTED OR <input type="checkbox"/> SET ASIDE: _____ % FOR: <input type="checkbox"/> SMALL BUSINESS <input type="checkbox"/> WOMEN-OWNED SMALL BUSINESS (WOSB) ELIGIBLE UNDER THE WOMEN-OWNED SMALL BUSINESS PROGRAM <input type="checkbox"/> HUBZONE SMALL BUSINESS <input type="checkbox"/> EDWOSB NAICS: 922120 <input type="checkbox"/> SERVICE-DISABLED VETERAN-OWNED SMALL BUSINESS <input type="checkbox"/> 8(A) SIZE STANDARD:			
11. DELIVERY FOR FOB DESTINATION UNLESS BLOCK IS MARKED <input type="checkbox"/> SEE SCHEDULE		12. DISCOUNT TERMS Net 30 Days		<input type="checkbox"/> 13a. THIS CONTRACT IS A RATED ORDER UNDER DPAS (15 CFR 700)		13b. RATING	
15. DELIVER TO LAVON LAKE PROJECT OFFICE MICHAEL KINARD 3375 SKYVIEW DRIVE WYLIE TX 75098-5775		CODE 967430		16. ADMINISTERED BY SEE ITEM 9			
17a. CONTRACTOR/OFFEROR CITY OF WYLIE CHIEF ANTHONY HENDERSON 300 COUNTRY CLUB DR WYLIE TX 75098-3000 TELEPHONE NO. (972) 442-8183		CODE 311B5		FACILITY CODE		18a. PAYMENT WILL BE MADE BY USACE FINANCE CENTER MILLINGTON ATTN: CEFC-AO-P 5722 INTEGRITY DRIVE MILLINGTON TN 38054-5005	
<input type="checkbox"/> 17b. CHECK IF REMITTANCE IS DIFFERENT AND PUT SUCH ADDRESS IN OFFER		18b. SUBMIT INVOICES TO ADDRESS SHOWN IN BLOCK 18a. UNLESS BLOCK BELOW IS CHECKED <input type="checkbox"/> SEE ADDENDUM					
19. ITEM NO.		20. SCHEDULE OF SUPPLIES/ SERVICES			21. QUANTITY		22. UNIT
		SEE SCHEDULE					
23. UNIT PRICE		24. AMOUNT		25. ACCOUNTING AND APPROPRIATION DATA			
				See Schedule			
				26. TOTAL AWARD AMOUNT (For Govt. Use Only) \$56,732.05			
<input type="checkbox"/> 27a. SOLICITATION INCORPORATES BY REFERENCE FAR 52.212-1. 52.212-4. FAR 52.212-3. 52.212-5 ARE ATTACHED. ADDENDA <input type="checkbox"/> ARE <input type="checkbox"/> ARE NOT ATTACHED		<input type="checkbox"/> 27b. CONTRACT/PURCHASE ORDER INCORPORATES BY REFERENCE FAR 52.212-4. FAR 52.212-5 IS ATTACHED. ADDENDA <input type="checkbox"/> ARE <input type="checkbox"/> ARE NOT ATTACHED					
<input type="checkbox"/> 28. CONTRACTOR IS REQUIRED TO SIGN THIS DOCUMENT AND RETURN COPIES TO ISSUING OFFICE. CONTRACTOR AGREES TO FURNISH AND DELIVER ALL ITEMS SET FORTH OR OTHERWISE IDENTIFIED ABOVE AND ON ANY ADDITIONAL SHEETS SUBJECT TO THE TERMS AND CONDITIONS SPECIFIED.				<input type="checkbox"/> 29. AWARD OF CONTRACT: REF. OFFER DATED . YOUR OFFER ON SOLICITATION (BLOCK 5), INCLUDING ANY ADDITIONS OR CHANGES WHICH ARE SET FORTH HEREIN, IS ACCEPTED AS TO ITEMS:			
30a. SIGNATURE OF OFFEROR/CONTRACTOR				31a. UNITED STATES OF AMERICA (SIGNATURE OF CONTRACTING OFFICER) 			
30b. NAME AND TITLE OF SIGNER (TYPE OR PRINT)		30c. DATE SIGNED		31b. NAME OF CONTRACTING OFFICER (TYPE OR PRINT) MICHAEL A VEGA / CONTRACTING OFFICER TEL: 817-522-6890 EMAIL:		31c. DATE SIGNED 24-Apr-2024	

SOLICITATION/CONTRACT/ORDER FOR COMMERCIAL ITEMS (CONTINUED)	PAGE 2 OF 11
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19. ITEM NO.	20. SCHEDULE OF SUPPLIES/ SERVICES	21. QUANTITY	22. UNIT	23. UNIT PRICE	24. AMOUNT
	SEE SCHEDULE				

32a. QUANTITY IN COLUMN 21 HAS BEEN
 RECEIVED INSPECTED ACCEPTED, AND CONFORMS TO THE CONTRACT, EXCEPT AS NOTED: _____

32b. SIGNATURE OF AUTHORIZED GOVERNMENT REPRESENTATIVE	32c. DATE	32d. PRINTED NAME AND TITLE OF AUTHORIZED GOVERNMENT REPRESENTATIVE
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32e. MAILING ADDRESS OF AUTHORIZED GOVERNMENT REPRESENTATIVE	32f. TELEPHONE NUMBER OF AUTHORIZED GOVERNMENT REPRESENTATIVE
	32g. E-MAIL OF AUTHORIZED GOVERNMENT REPRESENTATIVE

33. SHIP NUMBER	34. VOUCHER NUMBER	35. AMOUNT VERIFIED CORRECT FOR	36. PAYMENT	37. CHECK NUMBER
<input type="checkbox"/> PARTIAL <input type="checkbox"/> FINAL			<input type="checkbox"/> COMPLETE <input type="checkbox"/> PARTIAL <input type="checkbox"/> FINAL	

38. S/R ACCOUNT NUMBER	39. S/R VOUCHER NUMBER	40. PAID BY
------------------------	------------------------	-------------

41a. I CERTIFY THIS ACCOUNT IS CORRECT AND PROPER FOR PAYMENT	42a. RECEIVED BY <i>(Print)</i>	
41b. SIGNATURE AND TITLE OF CERTIFYING OFFICER	42b. RECEIVED AT <i>(Location)</i>	
	42c. DATE REC'D <i>(YY/MM/DD)</i>	42d. TOTAL CONTAINERS
41c. DATE		

Section SF 1449 - CONTINUATION SHEET

Exhibit/Attachment Table of Contents

DOCUMENT TYPE	DESCRIPTION	PAGES	DATE
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ITEM NO	SUPPLIES/SERVICES	QUANTITY	UNIT	UNIT PRICE	AMOUNT
0001	FY24 Increased Law Enforcement FFP The Contractor shall provide all personnel, equipment, supplies, facilities, transportation, tools, materials, supervision, and other items and non-personal services necessary to perform increased law enforcement services as defined in this Performance Work Statement except for those items specified as government furnished property and services. The Contractor shall perform to the standards in this contract. Base year Sheriff Department period of performance - 17 May 2024 to 14 September 2024 FOB: Destination MILSTRIP: W45XMA41012077 PURCHASE REQUEST NUMBER: W45XMA41012077 PSC CD: R499	640.0276	Hours	\$88.64	\$56,732.05
				NET AMT	\$56,732.05
	ACRN AA CIN: W45XMA410120770001				\$56,732.05

ITEM NO	SUPPLIES/SERVICES	QUANTITY	UNIT	UNIT PRICE	AMOUNT
1001		632.0301	Hours	\$88.64	\$56,023.15
OPTION	FY25 INCREASED LAW ENFORCEMENT FFP The Contractor shall provide all personnel, equipment, supplies, facilities, transportation, tools, materials, supervision, and other items and non-personal services necessary to perform increased law enforcement services as defined in this Performance Work Statement except for those items specified as government furnished property and services. The Contractor shall perform to the standards in this contract. Option year Sheriff Department period of performance - 16 May 2025 - 13 September 2025 FOB: Destination PSC CD: R499				
NET AMT					\$56,023.15

DELIVERY INFORMATION

CLIN	DELIVERY DATE	QUANTITY	SHIP TO ADDRESS	DODAAC / CAGE
0001	POP 17-MAY-2024 TO 16-MAY-2025	N/A	LAVON LAKE PROJECT OFFICE MICHAEL KINARD 3375 SKYVIEW DRIVE WYLIE TX 75098-5775 972-442-3141 FOB: Destination	967430
1001	POP 16-MAY-2025 TO 15-MAY-2026	N/A	(SAME AS PREVIOUS LOCATION) FOB: Destination	967430

ACCOUNTING AND APPROPRIATION DATA

AA: 096 NA X 2024 3123 000 0000 CCS: 210 M2 2024 08 2455 009580 96412 2540 2G964C NA 2H8KBB
AMOUNT: \$56,732.05

ACRN	CLIN/SLIN	CIN	AMOUNT
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AA 0001 W45XMA410120770001 \$56,732.05

INSPECTION AND ACCEPTANCE TERMS

Supplies/services will be inspected/accepted at:

CLIN	INSPECT AT	INSPECT BY	ACCEPT AT	ACCEPT BY
0001	LAVON LAKE PROJECT OFFICE 3375 SKYVIEW DRIVE WYLIE TX 75098-5775	N/A	LAVON LAKE PROJECT OFFICE 3375 SKYVIEW DRIVE WYLIE TX 75098-5775	Government
1001	LAVON LAKE PROJECT OFFICE 3375 SKYVIEW DRIVE WYLIE TX 75098-5775	N/A	LAVON LAKE PROJECT OFFICE 3375 SKYVIEW DRIVE WYLIE TX 75098-5775	Government

CLAUSES INCORPORATED BY REFERENCE

52.204-10	Reporting Executive Compensation and First-Tier Subcontract Awards	JUN 2020
52.204-13	System for Award Management Maintenance	OCT 2018
52.204-18	Commercial and Government Entity Code Maintenance	AUG 2020
52.204-19	Incorporation by Reference of Representations and Certifications.	DEC 2014
52.204-21	Basic Safeguarding of Covered Contractor Information Systems	NOV 2021
52.204-23	Prohibition on Contracting for Hardware, Software, and Services Developed or Provided by Kaspersky Lab Covered Entities	DEC 2023
52.204-25	Prohibition on Contracting for Certain Telecommunications and Video Surveillance Services or Equipment	NOV 2021
52.204-27	Prohibition on a ByteDance Covered Application	JUN 2023
52.212-5 (Dev)	Contract Terms and Conditions Required to Implement Statutes or Executive Orders--Commercial Products and Commercial Services (Deviation 2023-O0008)	FEB 2024
52.222-50	Combating Trafficking in Persons	NOV 2021
52.222-55	Minimum Wages for Contractor Workers Under Executive Order 14026	JAN 2022
52.222-62	Paid Sick Leave Under Executive Order 13706	JAN 2022
52.223-18	Encouraging Contractor Policies To Ban Text Messaging While Driving	JUN 2020
52.242-15	Stop-Work Order	AUG 1989
52.242-17	Government Delay Of Work	APR 1984
252.203-7000	Requirements Relating to Compensation of Former DoD Officials	SEP 2011
252.203-7002	Requirement to Inform Employees of Whistleblower Rights	DEC 2022
252.204-7003	Control Of Government Personnel Work Product	APR 1992
252.204-7004	Antiterrorism Awareness Training for Contractors	JAN 2023
252.204-7009	Limitations on the Use or Disclosure of Third-Party Contractor Reported Cyber Incident Information	JAN 2023

252.204-7012	Safeguarding Covered Defense Information and Cyber Incident Reporting	JAN 2023
252.204-7015	Notice of Authorized Disclosure of Information for Litigation Support	JAN 2023
252.204-7018	Prohibition on the Acquisition of Covered Defense Telecommunications Equipment or Services	JAN 2023
252.223-7008	Prohibition of Hexavalent Chromium	JAN 2023
252.232-7003	Electronic Submission of Payment Requests and Receiving Reports	DEC 2018
252.232-7010	Levies on Contract Payments	DEC 2006
252.237-7010	Prohibition on Interrogation of Detainees by Contractor Personnel	JAN 2023
252.247-7023	Transportation of Supplies by Sea	JAN 2023

CLAUSES INCORPORATED BY FULL TEXT

52.212-4 CONTRACT TERMS AND CONDITIONS--COMMERCIAL PRODUCTS AND COMMERCIAL SERVICES (NOV 2023)

(a) Inspection/Acceptance. The Contractor shall only tender for acceptance those items that conform to the requirements of this contract. The Government reserves the right to inspect or test any supplies or services that have been tendered for acceptance. The Government may require repair or replacement of nonconforming supplies or reperformance of nonconforming services at no increase in contract price. If repair/replacement or reperformance will not correct the defects or is not possible, the Government may seek an equitable price reduction or adequate consideration for acceptance of nonconforming supplies or services. The Government must exercise its post-acceptance rights-

(1) Within a reasonable time after the defect was discovered or should have been discovered; and

(2) Before any substantial change occurs in the condition of the item, unless the change is due to the defect in the item.

(b) Assignment. The Contractor or its assignee may assign its rights to receive payment due as a result of performance of this contract to a bank, trust company, or other financing institution, including any Federal lending agency in accordance with the Assignment of Claims Act (31 U.S.C. 3727). However, when a third party makes payment (e.g., use of the Governmentwide commercial purchase card), the Contractor may not assign its rights to receive payment under this contract.

(c) Changes. Changes in the terms and conditions of this contract may be made only by written agreement of the parties.

(d) Disputes. This contract is subject to 41 U.S.C. chapter 71, Contract Disputes. Failure of the parties to this contract to reach agreement on any request for equitable adjustment, claim, appeal or action arising under or relating to this contract shall be a dispute to be resolved in accordance with the clause at Federal Acquisition Regulation (FAR) 52.233-1, Disputes, which is incorporated herein by reference. The Contractor shall proceed diligently with performance of this contract, pending final resolution of any dispute arising under the contract.

(e) Definitions. The clause at FAR 52.202-1, Definitions, is incorporated herein by reference.

(f) Excusable delays. The Contractor shall be liable for default unless nonperformance is caused by an occurrence beyond the reasonable control of the Contractor and without its fault or negligence such as, acts of God or the public enemy, acts of the Government in either its sovereign or contractual capacity, fires, floods, epidemics, quarantine restrictions, strikes, unusually severe weather, and delays of common carriers. The Contractor shall notify the

Contracting Officer in writing as soon as it is reasonably possible after the commencement of any excusable delay, setting forth the full particulars in connection therewith, shall remedy such occurrence with all reasonable dispatch, and shall promptly give written notice to the Contracting Officer of the cessation of such occurrence.

(g) Invoice.

(1) The Contractor shall submit an original invoice and three copies (or electronic invoice, if authorized) to the address designated in the contract to receive invoices. An invoice must include--

(i) Name and address of the Contractor;

(ii) Invoice date and number;

(iii) Contract number, line item number and, if applicable, the order number;

(iv) Description, quantity, unit of measure, unit price and extended price of the items delivered;

(v) Shipping number and date of shipment, including the bill of lading number and weight of shipment if shipped on Government bill of lading;

(vi) Terms of any discount for prompt payment offered;

(vii) Name and address of official to whom payment is to be sent;

(viii) Name, title, and phone number of person to notify in event of defective invoice; and

(ix) Taxpayer Identification Number (TIN). The Contractor shall include its TIN on the invoice only if required elsewhere in this contract.

(x) Electronic funds transfer (EFT) banking information.

(A) The Contractor shall include EFT banking information on the invoice only if required elsewhere in this contract.

(B) If EFT banking information is not required to be on the invoice, in order for the invoice to be a proper invoice, the Contractor shall have submitted correct EFT banking information in accordance with the applicable solicitation provision, contract clause (e.g., 52.232-33, Payment by Electronic Funds Transfer—System for Award Management, or 52.232-34, Payment by Electronic Funds Transfer--Other Than System for Award Management), or applicable agency procedures.

(C) EFT banking information is not required if the Government waived the requirement to pay by EFT.

(2) Invoices will be handled in accordance with the Prompt Payment Act (31 U.S.C. 3903) and Office of Management and Budget (OMB) prompt payment regulations at 5 CFR part 1315.

(h) Patent indemnity. The Contractor shall indemnify the Government and its officers, employees and agents against liability, including costs, for actual or alleged direct or contributory infringement of, or inducement to infringe, any United States or foreign patent, trademark or copyright, arising out of the performance of this contract, provided the Contractor is reasonably notified of such claims and proceedings.

(i) Payment.--

(1) Items accepted. Payment shall be made for items accepted by the Government that have been delivered to the delivery destinations set forth in this contract.

(2) Prompt payment. The Government will make payment in accordance with the Prompt Payment Act (31 U.S.C. 3903) and prompt payment regulations at 5 CFR part 1315.

(3) Electronic Funds Transfer (EFT). If the Government makes payment by EFT, see 52.212-5(b) for the appropriate EFT clause.

(4) Discount. In connection with any discount offered for early payment, time shall be computed from the date of the invoice. For the purpose of computing the discount earned, payment shall be considered to have been made on the date which appears on the payment check or the specified payment date if an electronic funds transfer payment is made.

(5) Overpayments. If the Contractor becomes aware of a duplicate contract financing or invoice payment or that the Government has otherwise overpaid on a contract financing or invoice payment, the Contractor shall--

(i) Remit the overpayment amount to the payment office cited in the contract along with a description of the overpayment including the--

(A) Circumstances of the overpayment (e.g., duplicate payment, erroneous payment, liquidation errors, date(s) of overpayment);

(B) Affected contract number and delivery order number, if applicable;

(C) Affected line item or subline item, if applicable; and

(D) Contractor point of contact.

(ii) Provide a copy of the remittance and supporting documentation to the Contracting Officer.

(6) Interest.

(i) All amounts that become payable by the Contractor to the Government under this contract shall bear simple interest from the date due until paid unless paid within 30 days of becoming due. The interest rate shall be the interest rate established by the Secretary of the Treasury as provided in 41 U.S.C. 7109, which is applicable to the period in which the amount becomes due, as provided in (i)(6)(v) of this clause, and then at the rate applicable for each six-month period as fixed by the Secretary until the amount is paid.

(ii) The Government may issue a demand for payment to the Contractor upon finding a debt is due under the contract.

(iii) Final decisions. The Contracting Officer will issue a final decision as required by 33.211 if--

(A) The Contracting Officer and the Contractor are unable to reach agreement on the existence or amount of a debt within 30 days;

(B) The Contractor fails to liquidate a debt previously demanded by the Contracting Officer within the timeline specified in the demand for payment unless the amounts were not repaid because the Contractor has requested an installment payment agreement; or

(C) The Contractor requests a deferment of collection on a debt previously demanded by the Contracting Officer (see 32.607-2).

(iv) If a demand for payment was previously issued for the debt, the demand for payment included in the final decision shall identify the same due date as the original demand for payment.

(v) Amounts shall be due at the earliest of the following dates:

- (A) The date fixed under this contract.
- (B) The date of the first written demand for payment, including any demand for payment resulting from a default termination.
- (vi) The interest charge shall be computed for the actual number of calendar days involved beginning on the due date and ending on--
- (A) The date on which the designated office receives payment from the Contractor;
- (B) The date of issuance of a Government check to the Contractor from which an amount otherwise payable has been withheld as a credit against the contract debt; or
- (C) The date on which an amount withheld and applied to the contract debt would otherwise have become payable to the Contractor.
- (vii) The interest charge made under this clause may be reduced under the procedures prescribed in FAR 32.608-2 in effect on the date of this contract.
- (j) Risk of loss. Unless the contract specifically provides otherwise, risk of loss or damage to the supplies provided under this contract shall remain with the Contractor until, and shall pass to the Government upon:
- (1) Delivery of the supplies to a carrier, if transportation is f.o.b. origin; or
- (2) Delivery of the supplies to the Government at the destination specified in the contract, if transportation is f.o.b. destination.
- (k) Taxes. The contract price includes all applicable Federal, State, and local taxes and duties.
- (l) Termination for the Government's convenience. The Government reserves the right to terminate this contract, or any part hereof, for its sole convenience. In the event of such termination, the Contractor shall immediately stop all work hereunder and shall immediately cause any and all of its suppliers and subcontractors to cease work. Subject to the terms of this contract, the Contractor shall be paid a percentage of the contract price reflecting the percentage of the work performed prior to the notice of termination, plus reasonable charges the Contractor can demonstrate to the satisfaction of the Government using its standard record keeping system, have resulted from the termination. The Contractor shall not be required to comply with the cost accounting standards or contract cost principles for this purpose. This paragraph does not give the Government any right to audit the Contractor's records. The Contractor shall not be paid for any work performed or costs incurred which reasonably could have been avoided.
- (m) Termination for cause. The Government may terminate this contract, or any part hereof, for cause in the event of any default by the Contractor, or if the Contractor fails to comply with any contract terms and conditions, or fails to provide the Government, upon request, with adequate assurances of future performance. In the event of termination for cause, the Government shall not be liable to the Contractor for any amount for supplies or services not accepted, and the Contractor shall be liable to the Government for any and all rights and remedies provided by law. If it is determined that the Government improperly terminated this contract for default, such termination shall be deemed a termination for convenience.
- (n) Title. Unless specified elsewhere in this contract, title to items furnished under this contract shall pass to the Government upon acceptance, regardless of when or where the Government takes physical possession.
- (o) Warranty. The Contractor warrants and implies that the items delivered hereunder are merchantable and fit for use for the particular purpose described in this contract.

(p) Limitation of liability. Except as otherwise provided by an express warranty, the Contractor will not be liable to the Government for consequential damages resulting from any defect or deficiencies in accepted items.

(q) Other compliances. The Contractor shall comply with all applicable Federal, State and local laws, executive orders, rules and regulations applicable to its performance under this contract.

(r) Compliance with laws unique to Government contracts. The Contractor agrees to comply with 31 U.S.C. 1352 relating to limitations on the use of appropriated funds to influence certain Federal contracts; 18 U.S.C. 431 relating to officials not to benefit; 40 U.S.C. chapter 37, Contract Work Hours and Safety Standards; 41 U.S.C. chapter 87, Kickbacks; 49 U.S.C. 40118, Fly American; and 41 U.S.C. chapter 21 relating to procurement integrity.

(s) Order of precedence. Any inconsistencies in this solicitation or contract shall be resolved by giving precedence in the following order:

(1) The schedule of supplies/services.

(2) The Assignments, Disputes, Payments, Invoice, Other Compliances, Compliance with Laws Unique to Government Contracts, and Unauthorized Obligations paragraphs of this clause.

(3) The clause at 52.212-5.

(4) Addenda to this solicitation or contract, including any license agreements for computer software.

(5) Solicitation provisions if this is a solicitation.

(6) Other paragraphs of this clause.

(7) The Standard Form 1449.

(8) Other documents, exhibits, and attachments.

(9) The specification.

(t) Reserved.

(u) Unauthorized Obligations.

(1) Except as stated in paragraph (u)(2) of this clause, when any supply or service acquired under this contract is subject to any End User License Agreement (EULA), Terms of Service (TOS), or similar legal instrument or agreement, that includes any clause requiring the Government to indemnify the Contractor or any person or entity for damages, costs, fees, or any other loss or liability that would create an Anti-Deficiency Act violation (31 U.S.C. 1341), the following shall govern:

(i) Any such clause is unenforceable against the Government.

(ii) Neither the Government nor any Government authorized end user shall be deemed to have agreed to such clause by virtue of it appearing in the EULA, TOS, or similar legal instrument or agreement. If the EULA, TOS, or similar legal instrument or agreement is invoked through an "I agree" click box or other comparable mechanism (e.g., "click-wrap" or "browse-wrap" agreements), execution does not bind the Government or any Government authorized end user to such clause.

(iii) Any such clause is deemed to be stricken from the EULA, TOS, or similar legal instrument or agreement.

(2) Paragraph (u)(1) of this clause does not apply to indemnification by the Government that is expressly authorized by statute and specifically authorized under applicable agency regulations and procedures.

(v) Incorporation by reference. The Contractor's representations and certifications, including those completed electronically via the System for Award Management (SAM), are incorporated by reference into the contract.

(End of clause)

52.252-2 CLAUSES INCORPORATED BY REFERENCE (FEB 1998)

This contract incorporates one or more clauses by reference, with the same force and effect as if they were given in full text. Upon request, the Contracting Officer will make their full text available. Also, the full text of a clause may be accessed electronically at this/these address(es):

<https://www.acquisition.gov/content/regulations>

(End of clause)

52.252-6 AUTHORIZED DEVIATIONS IN CLAUSES (NOV 2020)

(a) The use in this solicitation or contract of any Federal Acquisition Regulation (48 CFR Chapter 1) clause with an authorized deviation is indicated by the addition of "(DEVIATION)" after the date of the clause.

(b) The use in this solicitation or contract of any **DFARS** (48 CFR **2**) clause with an authorized deviation is indicated by the addition of "(DEVIATION)" after the name of the regulation.

(End of clause)



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins

Account Code: _____

Subject

Consider, and act upon, a Preliminary Plat for Dominion of Pleasant Valley Phase 6, creating 168 single-family residential lots and three open space lots on 40.430 acres, generally located at the southwest intersection of Dominion Drive and Pleasant Valley Road.

Recommendation

Motion to approve the Item as presented.

Discussion

OWNER: Wylie DPV, LP

APPLICANT: J. Volk Consulting

The applicant has submitted a Preliminary Plat for Dominion of Pleasant Valley Phase 6. Zoning for the single-family development was approved by the City Council as Planned Development Ordinance No. 2017-31 and amended in Ordinance No. 2020-54.

This plat is replacing a previously approved preliminary plat. The reason for the change is to add the 15 residential lots and one open space lot located along Foxtrot Trail to this phase of development.

The plat consists of 168 residential lots, and three open space lots. The Planned Development allows for a maximum of 1,104 single-family residential lots. Within Phases 1-6 of the Dominion of Pleasant Valley Development there are 888 residential lots leaving 216 residential lots that can be developed in future phases.

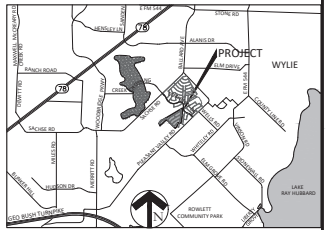
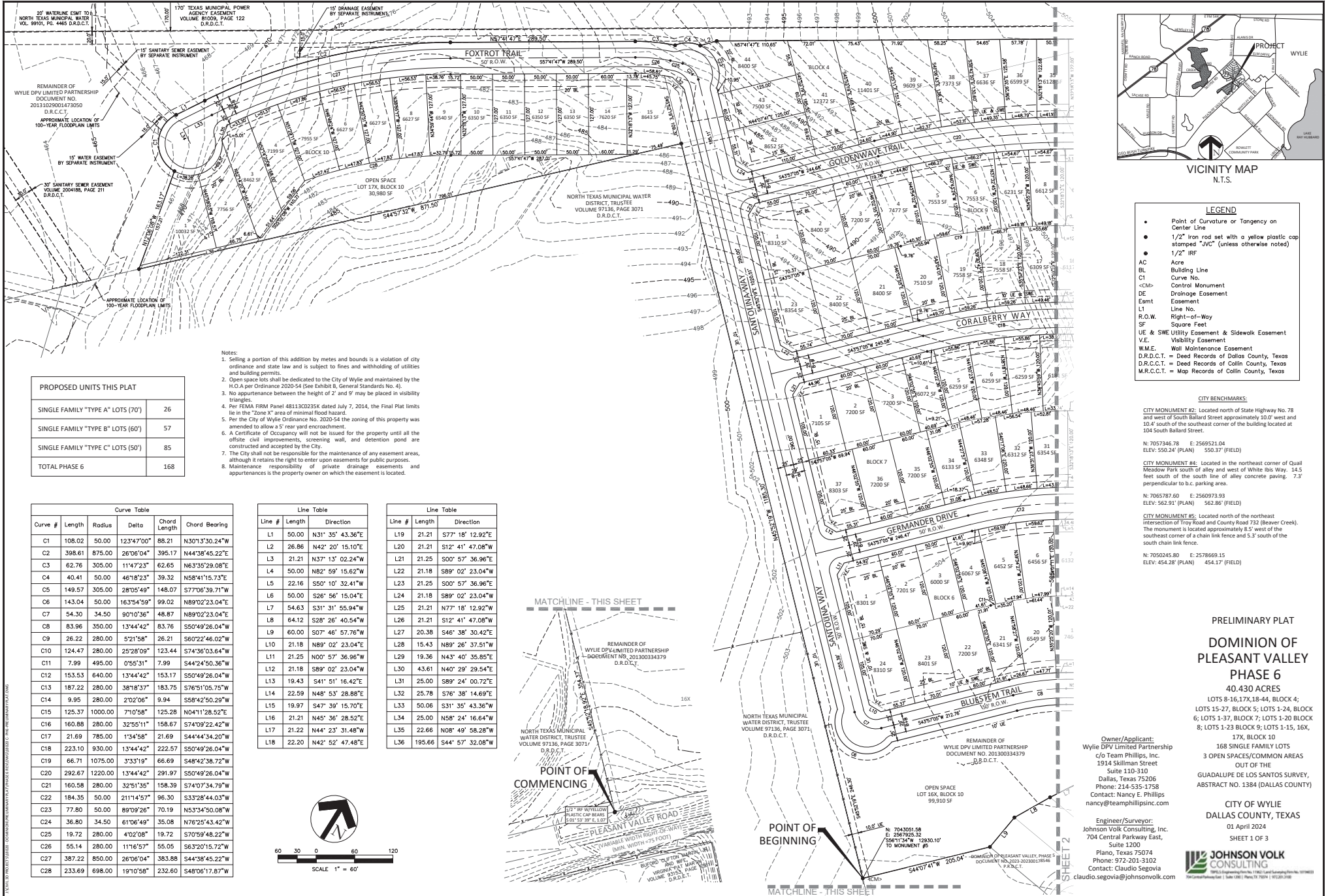
The plat dedicates the necessary rights-of-way and utility easements. Open space lots are to be dedicated to the City of Wylie and maintained by the H.O.A.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The City Council must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

P&Z Recommendation

The Commission voted 7-0 to recommend approval.



LEGEND

- Point of Curvature or Tangency on Center Line
- 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted) 1/2" IR
- AC Acre
- BL Building Line
- C1 Curve No.
- <Cv> Control Monument
- DE Drainage Easement
- Emt Easement
- L1 Line No.
- R.O.W. Right-of-Way
- SF Square Feet
- UE & SWE Utility Easement & Sidewalk Easement
- V.E. Visibility Easement
- W.M.E. Wall Maintenance Easement

D.R.D.C.T. = Deed Records of Dallas County, Texas
D.R.C.C.T. = Deed Records of Collin County, Texas
M.R.C.C.T. = Map Records of Collin County, Texas

CITY BENCHMARKS:

CITY MONUMENT #2: Located north of State Highway No. 78 and west of South Ballard Street approximately 10.0' west and 10.4' south of the southeast corner of the building located at 104 South Ballard Street.
N: 7057346.78 E: 2569521.04
ELEV: 520.24' (PLAN) 520.37' (FIELD)

CITY MONUMENT #4: Located in the northeast corner of Quail Meadow Park south of alley and west of White Iris Way. 14.5 feet south of the south line of alley and 5.3' south of the south chain link fence.
N: 7065787.60 E: 2560973.93
ELEV: 562.91' (PLAN) 562.86' (FIELD)

CITY MONUMENT #5: Located north of the northeast intersection of Troy Road and County Road 732 (Beaver Creek). The monument is located approximately 8.5' west of the southeast corner of a chain link fence and 5.3' south of the south chain link fence.
N: 7050245.80 E: 2578669.15
ELEV: 454.28' (PLAN) 454.17' (FIELD)

PRELIMINARY PLAT

DOMINION OF PLEASANT VALLEY

PHASE 6

40.430 ACRES

LOTS 8-16, 17X, 18-44, BLOCK 4;
LOTS 15-27, BLOCK 5; LOTS 1-24, BLOCK 6; LOTS 1-37, BLOCK 7; LOTS 1-20 BLOCK 8; LOTS 1-23 BLOCK 9; LOTS 1-15, 16X, 17X, BLOCK 10

168 SINGLE FAMILY LOTS
3 OPEN SPACES/COMMON AREAS
OUT OF THE GUADALUPE DE LOS SANTOS SURVEY, ABSTRACT NO. 1384 (DALLAS COUNTY)

CITY OF WYLIE
DALLAS COUNTY, TEXAS
01 April 2024
SHEET 1 OF 3

Owner/Applicant:
Wylie DPV Limited Partnership
c/o Team Phillips, Inc.
1914 Skillman Street
Suite 110-310
Dallas, Texas 75206
Phone: 214-535-1758
Contact: Nancy E. Phillips
nancy@teamphillipsinc.com

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East,
Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Claudio Segovia
claudio.segovia@johnsonvolk.com

PROPOSED UNITS THIS PLAT

SINGLE FAMILY "TYPE A" LOTS (70')	26
SINGLE FAMILY "TYPE B" LOTS (60')	57
SINGLE FAMILY "TYPE C" LOTS (50')	85
TOTAL PHASE 6	168

- Notes:**
- Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - Open space lots shall be dedicated to the City of Wylie and maintained by the H.O.A. per Ordinance 2020-54 (See Exhibit B, General Standards No. 4).
 - No appearance between the height of 2' and 9' may be placed in visibility triangles.
 - Per FEMA FIRM Panel 48113C0235X dated July 7, 2014, the Final Plat limits lie in the "Zone X" area of minimal flood hazard.
 - Per the City of Wylie Ordinance No. 2020-54 the zoning of this property was amended to allow a 5' rear yard encroachment.
 - A Certificate of Occupancy will not be issued for the property until all the offsite civil improvements, retaining wall, and detention pond are constructed and accepted by the City.
 - The City shall not be responsible for the maintenance of any easement areas, although it retains the right to enter upon easements for public purposes.
 - Maintenance responsibility of private drainage easements and appurtenances is the property owner on which the easement is located.

Curve Table

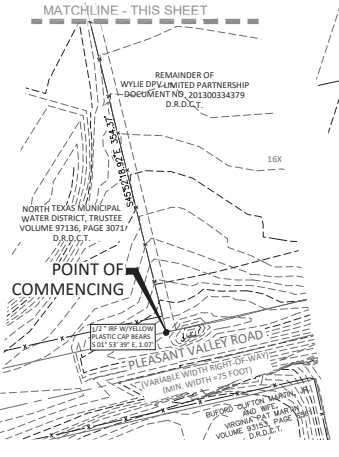
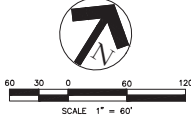
Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	108.02	50.00	123°47'00"	88.21	N301°33'24.24"W
C2	398.61	875.00	26°06'04"	395.17	N44°38'45.22"E
C3	62.76	305.00	11°47'23"	62.65	N63°35'29.08"E
C4	40.41	50.00	46°18'23"	39.32	N58°41'15.73"E
C5	149.57	305.00	28°05'49"	148.07	S77°06'39.71"W
C6	143.04	50.00	163°54'59"	99.02	N89°02'23.04"E
C7	54.30	34.50	90°10'36"	48.87	N89°02'23.04"E
C8	83.96	350.00	13°44'42"	83.76	S50°49'26.04"W
C9	26.22	280.00	5°21'58"	26.21	S60°22'46.02"W
C10	124.47	280.00	25°28'09"	123.44	S74°36'03.64"W
C11	7.99	495.00	0°50'31"	7.99	S44°24'50.36"W
C12	153.53	640.00	13°44'42"	153.17	S50°49'26.04"W
C13	187.22	280.00	38°18'37"	183.75	S76°51'05.75"W
C14	9.55	280.00	2°02'06"	9.94	S58°42'50.29"W
C15	125.37	1000.00	7°10'58"	125.28	N04°11'28.52"E
C16	160.88	280.00	32°55'11"	158.67	S74°09'22.42"W
C17	21.69	785.00	1°34'58"	21.69	S44°44'34.20"W
C18	223.10	930.00	13°44'42"	222.57	S50°49'26.04"W
C19	66.71	1075.00	3°33'19"	66.69	S48°42'38.72"W
C20	292.67	1220.00	13°44'42"	291.97	S50°49'26.04"W
C21	160.58	280.00	32°51'35"	158.39	S74°07'34.79"W
C22	184.35	500.00	21°14'57"	186.30	S33°28'44.03"W
C23	77.80	50.00	89°09'26"	70.19	N53°34'50.08"W
C24	36.80	34.50	61°06'49"	35.08	N76°25'43.42"W
C25	19.72	280.00	4°02'08"	19.72	S70°59'48.22"W
C26	55.14	280.00	11°16'57"	55.05	S63°20'15.72"W
C27	387.22	850.00	26°06'04"	383.88	S44°38'45.22"W
C28	233.69	898.00	19°10'58"	232.60	S48°06'17.87"W

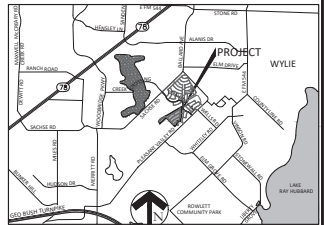
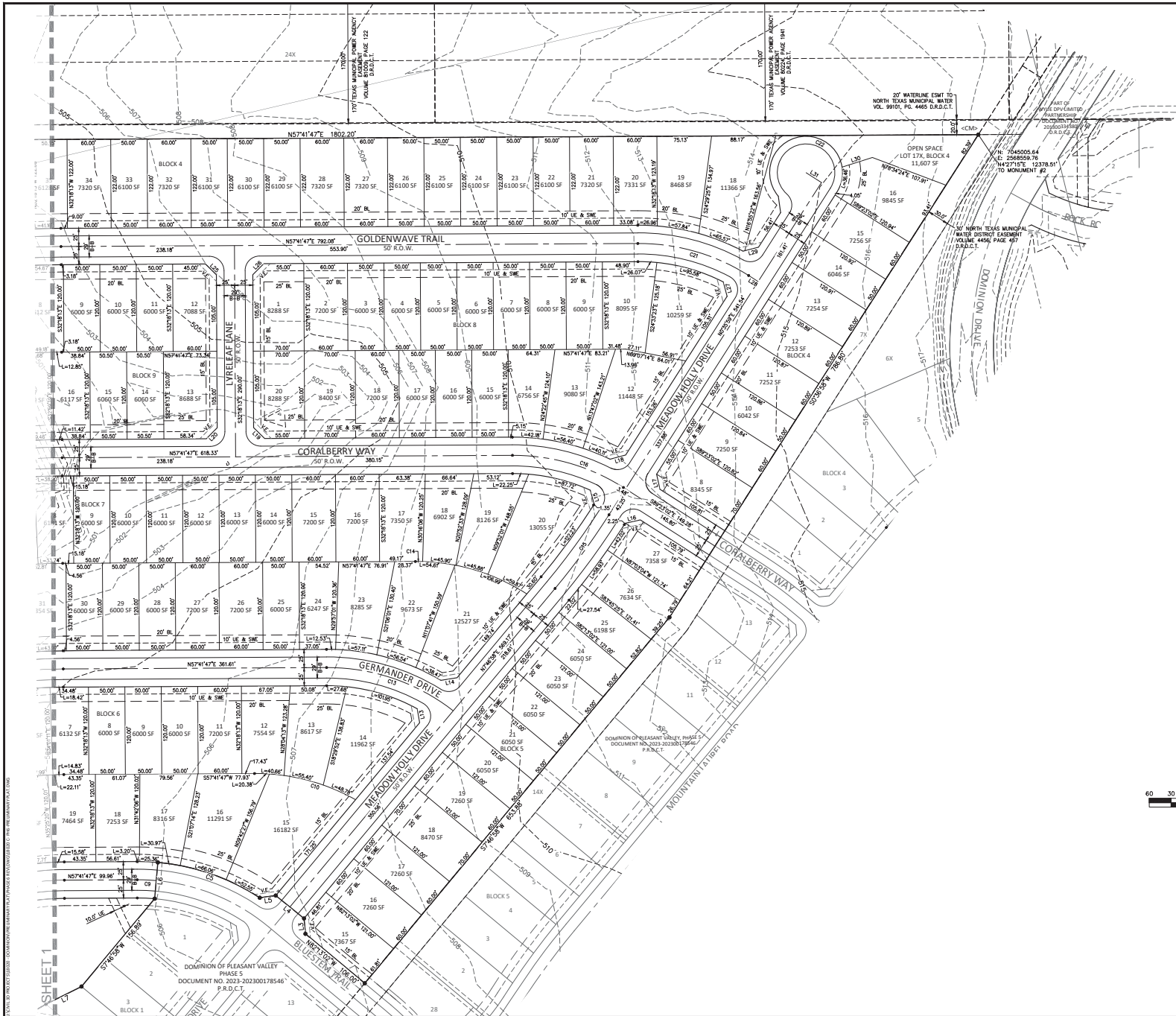
Line Table

Line #	Length	Direction
L1	50.00	N31° 35' 43.36"E
L2	26.86	N42° 20' 15.10"E
L3	21.21	N37° 13' 02.24"W
L4	50.00	N82° 59' 15.62"W
L5	22.16	S50° 10' 32.41"W
L6	50.00	S26° 06' 15.04"W
L7	54.63	S31° 31' 55.94"W
L8	64.12	S28° 26' 40.54"W
L9	60.00	S07° 46' 57.76"W
L10	21.18	N89° 02' 23.04"E
L11	21.25	N00° 57' 36.96"W
L12	21.18	S89° 02' 23.04"W
L13	19.43	S41° 51' 16.42"E
L14	22.59	N48° 53' 28.88"E
L15	19.97	S47° 39' 15.70"E
L16	21.21	N45° 36' 28.52"E
L17	21.22	N44° 23' 31.48"W
L18	22.20	N42° 52' 47.48"E

Line Table

Line #	Length	Direction
L19	21.21	S77° 18' 12.92"E
L20	21.21	S12° 41' 47.08"W
L21	21.25	S00° 57' 36.96"E
L22	21.18	S89° 02' 23.04"W
L23	21.25	S00° 57' 36.96"E
L24	21.18	S89° 02' 23.04"W
L25	21.21	N77° 18' 12.92"E
L26	21.21	S12° 41' 47.08"W
L27	20.38	S46° 38' 30.42"E
L28	15.43	N89° 26' 37.51"W
L29	19.36	N43° 40' 35.85"E
L30	43.61	N40° 29' 29.54"W
L31	25.00	S89° 24' 00.72"E
L32	25.78	S76° 38' 14.69"E
L33	50.06	S31° 35' 43.36"E
L34	25.00	N58° 24' 16.64"W
L35	22.66	N08° 49' 58.28"W
L36	195.66	S44° 57' 32.08"W

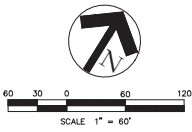




VICINITY MAP
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
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 - 1/2" IRF
 - AC Acre
 - BL Building Line
 - CL Curve No.
 - C&M- Control Monument
 - DE Drainage Easement
 - Esmt Easement
 - L1 Line No.
 - R.O.W. Right-of-Way
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ELEV: 520.24' (PLAN) 520.37' (FIELD)
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ELEV: 562.91' (PLAN) 562.86' (FIELD)
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N: 7050245.80 E: 2578669.15
ELEV: 454.28' (PLAN) 454.17' (FIELD)



PRELIMINARY PLAT
DOMINION OF PLEASANT VALLEY
PHASE 6
40.40 ACRES

LOTS 8-16,17,18-44, BLOCK 4;
LOTS 15-27, BLOCK 5; LOTS 1-24, BLOCK 6;
LOTS 1-37, BLOCK 7; LOTS 1-20 BLOCK 8;
LOTS 1-23 BLOCK 9; LOTS 1-15, 16X, 17X, BLOCK 10
168 SINGLE FAMILY LOTS
3 OPEN SPACES/COMMON AREAS

Owner/Applicant:
Wylie DPV Limited Partnership
c/o Team Phillips, Inc.
1914 Skillman Street
Suite 110-310
Dallas, Texas 75206
Phone: 214-535-1758
Contact: Nancy E. Phillips
nancy@teamphillipsinc.com

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East,
Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Claudio Segovia
claudio.segovia@johnsonvolk.com



CITY OF WYLIE
DALLAS COUNTY, TEXAS
01 April 2024
SHEET 2 OF 3

DATE PLOTTED: 05/14/2024 10:58:00 AM PROJECT: DOMINION OF PLEASANT VALLEY PHASE 6

LEGAL DESCRIPTION
DOMINION AT PLEASANT VALLEY
PHASE 5
40.430 ACRES

BEING a tract of land situated in the Guadalupe De Los Santos Survey, Abstract Number 1384, Dallas County, Texas and being a portion of those tracts of land conveyed to Wylie DPV Limited Partnership, according to the documents filed of record in Document Number 201300334379 and 2013029001473050, Deed Record Dallas County, Texas (D.R.D.C.T.), said tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped 'JVC' set in the southwesterly line of said Wylie DPV tract recorded in Document Number 201300334379, same being the common northeast line of that tract of land conveyed to North Texas Municipal Water District, Trustee, according to the document filed of record in Volume 97136, Page 3071 (D.R.D.C.T.) and being the south corner of this tract, from which the south corner of said Wylie DPV tract bears S 42° 52' 19" E, 354.37 feet, from said corner a 1/2" iron rod with yellow plastic cap found for reference to said corner bears S 01° 53' 39" E, 1.07 feet;

THENCE, N 45° 52' 19" W, with said common line, a distance of 1185.30 feet to a 1/2" iron rod found in the southeasterly line of the above mentioned Wylie DPV Limited Partnership tract recorded in Document Number 2013029001473050, for the north corner of said North Texas Municipal Water District, Trustee tract, same being the common west corner of said Wylie DPV tract recorded in Document Number 201300334379 and for an interior 'ell' corner of this tract;

THENCE, S 44° 57' 32" W, with the northeasterly line of said North Texas Municipal Water District, Trustee tract, same being common with the south line of said Wylie DPV Limited Partnership tract recorded in Document Number 2013029001473050, a distance of 871.50 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the most westerly corner of this tract;

THENCE, leaving said common line over and across the above-mentioned Wylie DPV Limited Partnership tracts the following ten (10) courses and distances:

N 12° 06' 08" W, a distance of 163.17 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a non-tangent curve to the right, having a central angle of 123° 47' 00", a radius of 50.00 feet, a chord bearing and distance of N 30° 13' 30" W, 88.21 feet;

With said curve to the right an arc distance of 108.02 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner;

N 31° 35' 43" E, a distance of 50.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a curve to the right, having a central angle of 26° 06' 04", a radius of 875.00 feet, a chord bearing and distance of N 44° 38' 45" E, 395.17 feet.

With said curve to the right an arc distance of 398.61 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner;

N 57° 41' 47" E, a distance of 289.50 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a curve to the right, having a central angle of 11° 16' 57", a radius of 305.00 feet, a chord bearing and distance of N 63° 20' 16" E, 59.96 feet;

With said curve to the right an arc distance of 60.06 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a non-tangent curve to the right having a central angle of 00° 30' 26", a radius of 305.00 feet, a chord bearing and distance of N 69° 13' 58" E, 2.70 feet;

With said curve to the right an arc distance of 2.70 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the beginning of a non-tangent curve to the right, having a central angle of 46° 18' 23", a radius of 50.00 feet, a chord bearing and distance of N 58° 41' 16" E, 39.32 feet;

With said curve to the right an arc distance of 40.41 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner;

N 42° 20' 15" E, a distance of 26.86 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 57° 41' 47" E, a distance of 1802.20 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for the most westerly northwest corner of Dominion of Pleasant Valley, Phase 5, an addition to the City of Wylie, according to the plat filed of record in Document Number 2023-202300178546, Plat Records Dallas County, Texas, same being the north corner of this tract;

THENCE with the northwest lines of said addition the following thirteen (13) course and distances:

S 00° 36' 58" W, a distance of 786.80 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 07° 46' 58" W, a distance of 653.88 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 82° 13' 02" W, a distance of 106.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 37° 13' 02" W, a distance of 21.21 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

N 82° 59' 16" W, a distance of 50.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 50° 10' 32" W, a distance of 22.16 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract at the beginning of a non-tangent curve to the left, having a radius of 305.00 feet, a central angle of 28° 05' 49", and a chord bearing and distance of S 77° 06' 40" W, 148.07 feet;

With said curve to the left an arc distance of 149.57 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 26° 56' 15" E, a distance of 50.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 07° 46' 58" W, a distance of 156.89 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 31° 31' 56" W, a distance of 54.63 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 28° 26' 41" W, a distance of 64.12 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 07° 46' 58" W, a distance of 60.00 feet to a 1/2" iron rod with plastic cap stamped 'JVC' set for a corner of this tract;

S 44° 07' 41" W, a distance of 205.04 feet to the POINT OF BEGINNING and containing 1,761,129 square feet or 40.430 acres of land.

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WYLIE DPV LIMITED PARTNERSHIP, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as DOMINION OF PLEASANT VALLEY, PHASE 6, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever the streets, rights-of-way and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements. If approved by the City Council of the City of Wylie, in addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinated to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS MY HAND this ____ day of _____, 20____.

WYLIE DPV LIMITED PARTNERSHIP,
A Texas Limited Partnership

By: Webb Peak Development Partners LP,
Its General Partner
By: RNH Development Company,
Its General Partner

By: _____
Ronald N. Haynes, Jr., President

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared _____, Owner's Agent, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 20____.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 20____.

FOR REVIEW PURPOSES ONLY. PRELIMINARY.
THIS DOCUMENT SHALL NOT BE RECORDED
FOR ANY PURPOSE.

RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this day personally appeared Ryan S. Reynolds, Land Surveyor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 20____.

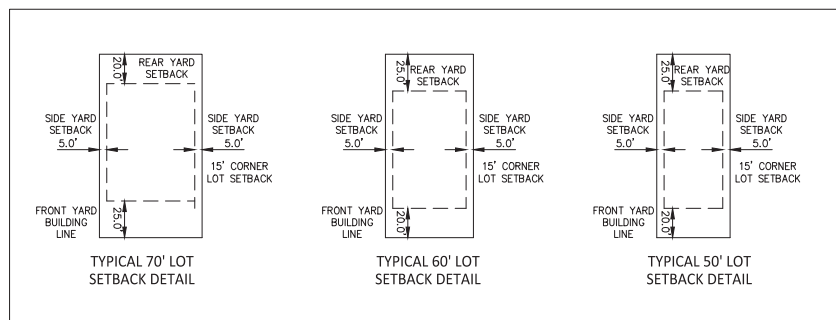
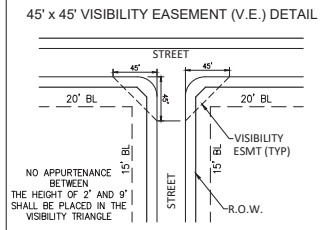
Notary Public in and for the State of Texas

My Commission Expires: _____

"RECOMMENDED FOR APPROVAL"
Chairman, Planning & Zoning Commission
City of Wylie, Texas
Date _____
"APPROVED FOR CONSTRUCTION"
Mayor City of Wylie, Texas
Date _____
"ACCEPTED"
Mayor City of Wylie, Texas
Date _____
The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the DOMINION OF PLEASANT VALLEY, PHASE 6, subdivision or addition to the City of Wylie was submitted, by formal action, then and there accepted the dedication of streets, alley parts, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.
Witness my hand this ____ day of _____, A.D., 20____.
City Secretary, City of Wylie, Texas

VISIBILITY, ACCESS, MAINTENANCE AND DRAINAGE EASEMENTS

The area or areas shown on the plat as Visibility, Access, Maintenance, and/or Drainage Easements are hereby given and granted to the City, its successors and assigns, as easements to provide visibility, right of access for maintenance, and drainage upon and across said easements. The City shall have the right but not the obligation to maintain any and all landscaping within the easements. Should the City exercise this maintenance right, then it shall be permitted to remove and dispose of any and all landscaping improvements, including without limitation, any trees, shrubs, flowers, ground cover and fixtures. The City may withdraw maintenance of the easements at any time. The ultimate maintenance responsibility for the easements shall rest upon the owners. No building, fence, shrub, tree or other improvements or growths, which in any way may endanger or interfere with the visibility, shall be constructed in, on, over or across the visibility easements. The City shall also have the right but not the obligation to add any landscape improvements to the easements, to erect any traffic control devices or signs on the easements and to remove any obstruction thereon. The City, its successors, assigns, or agents shall have the right and privilege at all times to enter upon the easements or any part thereof for the purposes and with all rights and privileges set forth herein.



PRELIMINARY PLAT
DOMINION OF PLEASANT VALLEY
PHASE 6
40.430 ACRES
LOTS 8-16, 17X, 18-44, BLOCK 4;
LOTS 15-27, BLOCK 5; LOTS 1-24, BLOCK 6;
LOTS 1-37, BLOCK 7; LOTS 1-20 BLOCK 8;
LOTS 1-23 BLOCK 9; LOTS 1-15, 16X, 17X, BLOCK 10
168 SINGLE FAMILY LOTS
3 OPEN SPACES/COMMON AREAS
OUT OF THE
GUADALUPE DE LOS SANTOS SURVEY,
ABSTRACT NO. 1384 (DALLAS COUNTY)
CITY OF WYLIE
DALLAS COUNTY, TEXAS
01 April 2024
SHEET 3 OF 3

Owner/Applicant:
Wylie DPV Limited Partnership
c/o Team Phillips, Inc.
1914 Skillman Street
Suite 1110-310
Dallas, Texas 75206
Phone: 214-535-1758
Contact: Nancy E. Phillips
nancy@teamphillipsinc.com

Engineer/Surveyor:
Johnson Volk Consulting, Inc.
704 Central Parkway East,
Suite 1200
Plano, Texas 75074
Phone: 972-201-3102
Contact: Claudio Segovia
claudio.segovia@johnsonvolk.com





Wylie City Council

AGENDA REPORT

Department: Planning
 Prepared By: Jasen Haskins

Account Code: _____

Subject

Consider, and act upon, a Preliminary Plat for Dominion of Pleasant Valley Phase 7, creating 11 single-family residential lots and two open space lots on 6.475 acres, generally located at the northeast corner of Dominion Drive and Pleasant Valley Road.

Recommendation

Motion to approve the Item as presented.

Discussion

OWNER: Wylie DPV, LP

APPLICANT: J. Volk Consulting

The applicant has submitted a Preliminary Plat for Dominion of Pleasant Valley Phase 7. Zoning for the single-family development was approved by the City Council as Planned Development Ordinance No. 2017-31 and amended in Ordinance No. 2020-54.

This plat includes 11 lots from the preliminary plat of Dominion of Pleasant Valley Phase 3, approved by City Council in March 2021. The reason for the change is that the development of these 11 lots was removed from the Phase 3 development due to an ATMOS gas line conflict. The gas line has now been relocated and development of the 11 lots can now commence.

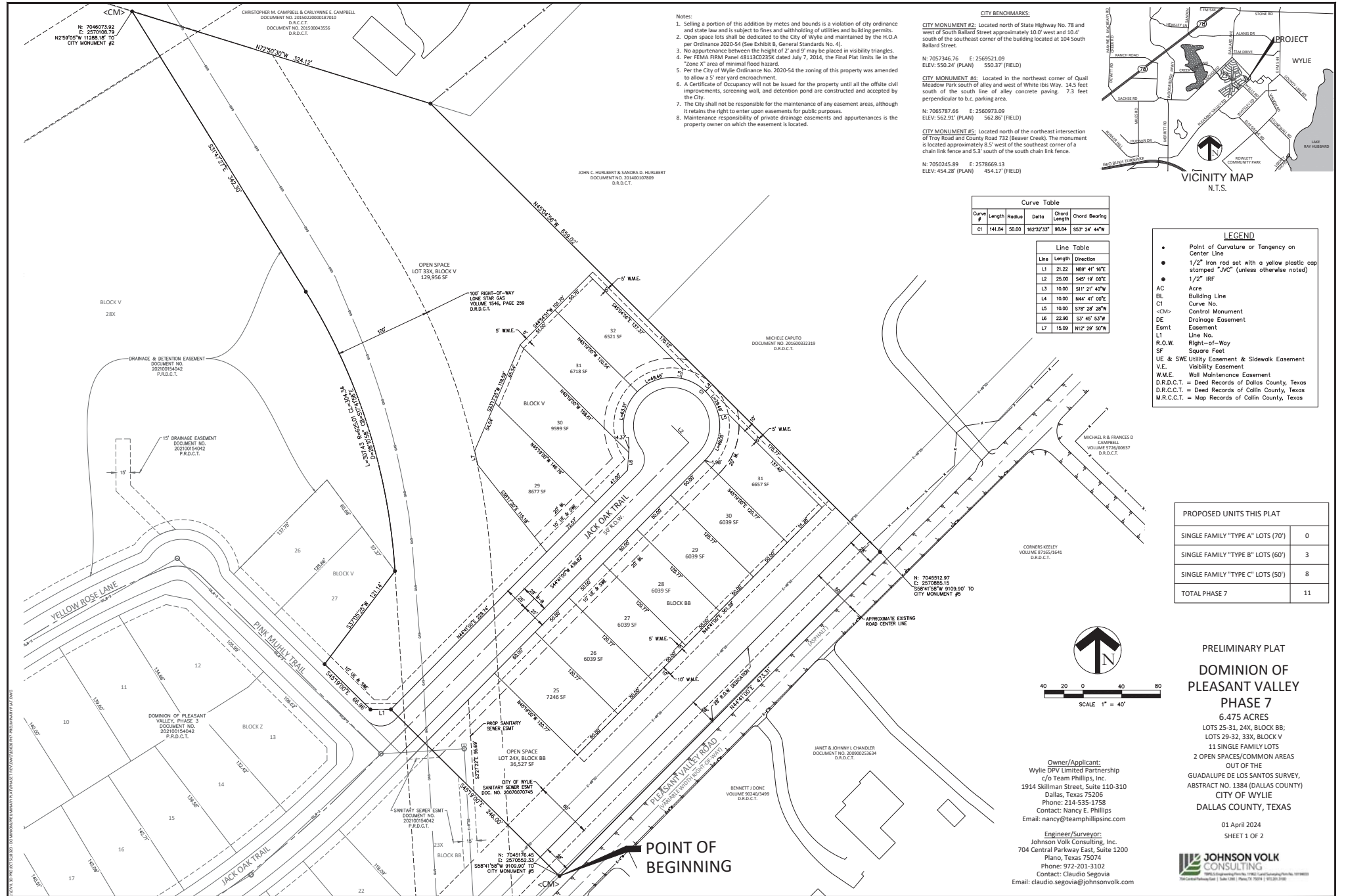
In addition to the 11 residential lots mentioned above, there are two open space lots. The entire Dominion Planned Development allows for a maximum of 1,104 single-family residential lots. Within Phases 1-7 of the Dominion of Pleasant Valley Development there are 888 residential lots leaving 216 residential lots that can be developed in future phases.

The plat dedicates the necessary rights-of-way and utility easements. Open space lots are to be dedicated to the City of Wylie and maintained by the H.O.A.

The City Council must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

P&Z Recommendation

The Commission voted 7-0 to recommend approval.



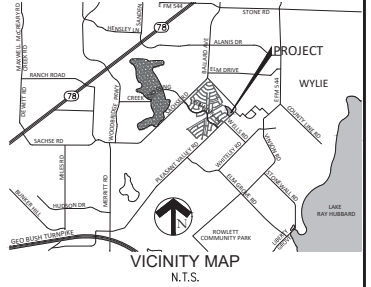
- Notes:
1. Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
 2. Open space lots shall be dedicated to the City of Wylie and maintained by the H.O.A per Ordinance 2020-54 [See Exhibit B, General Standards No. 4].
 3. No appurtenance between the height of 2' and 5' may be placed in visibility triangles.
 4. Per FEMA FIRM Panel 48113C0235K dated July 7, 2014, the Final Flat limits lie in the "Zone X" area of minimal flood hazard.
 5. Per the City of Wylie Ordinance No. 2020-54 the zoning of this property was amended to allow a 5' rear yard encroachment.
 6. A Certificate of Occupancy will not be issued for the property until all the offset civil improvements, screening wall, and detention pond are constructed and accepted by the City.
 7. The City shall not be responsible for the maintenance of any easement areas, although it retains the right to enter upon easements for public purposes.
 8. Maintenance responsibility of private drainage easements and appurtenances is the property owner on which the easement is located.

CITY BENCHMARKS:

CITY MONUMENT #2: Located north of State Highway No. 78 and west of South Ballard Street approximately 10.0' west and 10.4' south of the southeast corner of the building located at 104 South Ballard Street.
 N: 7057346.76 E: 2569521.09
 ELEV: 550.24' (PLAN) 550.37' (FIELD)

CITY MONUMENT #4: Located in the northeast corner of Quail Meadow Park south of alley and west of White Iris Way. 14.5 feet south of the south line of alley concrete paving. 7.3 feet perpendicular to b.c. parking area.
 N: 7065787.66 E: 2560973.09
 ELEV: 562.91' (PLAN) 562.86' (FIELD)

CITY MONUMENT #5: Located north of the northeast intersection of Troy Road and County Road 732 (Beaver Creek). The monument is located approximately 8.5' west of the southeast corner of a chain link fence and 5.3' south of the south chain link fence.
 N: 7050245.89 E: 2578569.13
 ELEV: 454.28' (PLAN) 454.17' (FIELD)



Curve Table

Curve #	Length	Radius	Delta	Chord Length	Chord Bearing
C1	141.84	50.00	162°23'33"	96.84	S53°24'44"W

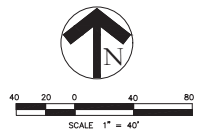
Line Table

Line	Length	Direction
L1	21.22	N89°41'16"E
L2	25.00	S45°19'00"E
L3	10.00	S11°21'40"W
L4	10.00	N44°41'00"E
L5	10.00	S78°28'28"W
L6	22.90	S3°45'53"W
L7	15.09	N12°28'50"W

- LEGEND**
- Point of Curvature or Tangency on Center Line
 - 1/2" iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
 - 1/2" IRF
 - AC Acre
 - BL Building Line
 - CL Curve No.
 - <CM> Control Monument
 - DE Drainage Easement
 - Emnt Easement
 - L1 Line No.
 - R.O.W. Right-of-Way
 - SF Square Feet
 - UE & SWE Utility Easement & Sidewalk Easement
 - VE Visibility Easement
 - W.M.E. Wall Maintenance Easement
 - D.R.D.C.T. = Deed Records of Dallas County, Texas
 - D.R.C.C.T. = Deed Records of Collin County, Texas
 - M.R.C.C.T. = Map Records of Collin County, Texas

PROPOSED UNITS THIS PLAT

SINGLE FAMILY "TYPE A" LOTS (70)	0
SINGLE FAMILY "TYPE B" LOTS (60)	3
SINGLE FAMILY "TYPE C" LOTS (50)	8
TOTAL PHASE 7	11



PRELIMINARY PLAT
DOMINION OF PLEASANT VALLEY
PHASE 7
 6.475 ACRES
 LOTS 25-31, 24X, BLOCK BB;
 LOTS 29-32, 33X, BLOCK V
 11 SINGLE-FAMILY LOTS
 2 OPEN SPACES/COMMON AREAS
 OUT OF THE
 GUADALUPE DE LOS SANTOS SURVEY,
 ABSTRACT NO. 1384 (DALLAS COUNTY)
 CITY OF WYLIE
 DALLAS COUNTY, TEXAS

Owner/Applicant:
 Wylie DPV Limited Partnership
 c/o Team Phillips, Inc.
 1914 Skillman Street, Suite 210-310
 Dallas, Texas 75206
 Phone: 214-535-1758
 Contact: Nancy E. Phillips
 Email: nancy@teamphillipsinc.com

Engineer/Surveyor:
 Johnson Volk Consulting, Inc.
 704 Central Parkway East, Suite 1200
 Plano, Texas 75074
 Phone: 972-201-3102
 Contact: Claudio Segovia
 Email: claudio.segovia@johnsonvolk.com



LEGAL DESCRIPTION
DOMINION AT PLEASANT VALLEY
PHASE SEVEN
6.475 ACRES

BEING a tract of land situated in the GUADALUPE DE LOS SANTOS SURVEY, ABSTRACT NO. 1384, City of Wylie, Dallas County, Texas and being the remainder of that tract of land described in Deed to Wylie DPV Limited Partnership, according to the document filed of record in Document No. 201300334360, Deed Records, Dallas County, Texas (D.R.D.C.T.) and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow cap stamped 'JVC' found in the northwest line of Pleasant Valley Road (a variable width right of way) for the east corner of Dominion of Pleasant Valley, Phase 3 an addition to the City of Wylie according to the plat filed of record in Document Number 2021-202100154042, Plat Records Dallas County, Texas (P.R.D.C.T.) some being common with the south corner of said Wylie DPV tract;

THENCE, leaving said northwest line, in a northwesterly direction, with the northern line of said Phase 3 the following six (6) courses and distances:

N 45° 19' 00" W, a distance of 246.00 feet to a 1/2" iron rod with yellow plastic cap stamped 'JVC' found for a corner of this tract;

S 89° 41' 16" W, a distance of 21.22 feet to a 1/2" iron rod with yellow plastic cap stamped 'JVC' found for a corner of this tract;

N 45° 19' 00" W, a distance of 66.96 feet to a 1/2" iron rod with yellow plastic cap stamped 'JVC' found for a corner of this tract;

N 37° 05' 25" E, a distance of 121.14 feet to a 1/2" iron rod with yellow plastic cap stamped 'JVC' found for a corner of this tract and the beginning of a non-tangent curve to the left, having a central angle of 28° 10' 58", a radius of 625.01 feet, and a chord bearing and distance of N 17° 41' 58" W, 304.34 feet;

With said curve to the left an arc distance of 307.43 feet to a 1/2" iron rod with yellow plastic cap stamped 'JVC' found for a corner of this tract

N 31° 47' 27" W, a distance of 342.30 feet to a 1/2" iron rod with yellow plastic cap stamped 'JVC' found in the south line of that tract of land described in Deed to Alexis Hernandez, according to the document filed of record in Document Number 2022000105889, Deed Records Collin County, Texas (D.R.D.C.T.) and Document Number 202200162621 (D.R.D.C.T.) for the west corner of this tract;

THENCE, S 72° 50' 30" E, with said south line, a distance of 324.12 feet to a 1/2" iron rod found for the west corner of that tract of land described in Deed to John C. Hurlbert and Sandra D. Hurlbert, according to the document filed of record in Document Number 201400107809, (D.R.D.C.T.) for a corner of this tract;

THENCE, S 45° 04' 56" E, with the south line of said Hurlbert tract, and the south line of that tract of land described in Deed to Michele Caputo, according to the document filed of record in Document Number 201600332319 (D.R.D.C.T.) a distance of 659.02 feet to a point in the northwest line of the above-mentioned Pleasant Valley Road for the south corner of said Caputo tract and common west corner of this tract, from which a 1/2" iron rod found for reference to said corner bears N 27° 59' 07" E, 0.19 feet and a second 1/2" iron rod also found for reference to said corner bears N 46° 41' 20" W, 1.68 feet;

THENCE S 44° 41' 00" W, with said northwest line, a distance of 473.31 feet to the POINT OF BEGINNING and containing 282.061 square feet or 6.475 acres of land.

OWNER'S DEDICATION:

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WYLIE DPV LIMITED PARTNERSHIP, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as DOMINION OF PLEASANT VALLEY, PHASE 7, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever the streets, rights-of-way and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public uses areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities dealing to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinated to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS MY HAND this ____ day of _____, 20__.

WYLIE DPV LIMITED PARTNERSHIP,
A Texas Limited Partnership

By: Webb Peak Development Partners LP,
Its General Partner
By: RNI Development Company,
Its General Partner

By: _____
Ronald N. Hayes, Jr., President

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared _____, Owner's Agent, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 20__.

Notary Public in and for the State of Texas

My Commission Expires: _____

SURVEYOR'S CERTIFICATE:

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 20__.

FOR REVIEW PURPOSES ONLY. PRELIMINARY,
THIS DOCUMENT SHALL NOT BE RECORDED
FOR ANY PURPOSE.

RYAN S. REYNOLDS, R.P.L.S.
Registered Professional Land Surveyor No. 6385

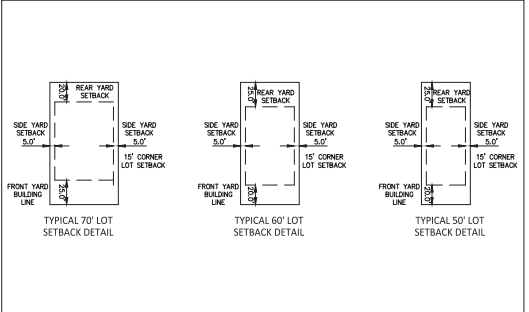
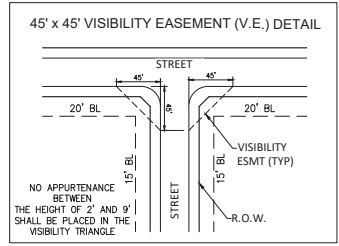
STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this day personally appeared Ryan S. Reynolds, Land Surveyor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this ____ day of _____, 20__.

Notary Public in and for the State of Texas

My Commission Expires: _____



VISIBILITY, ACCESS, MAINTENANCE AND DRAINAGE EASEMENTS

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"RECOMMENDED FOR APPROVAL"
Chairman, Planning & Zoning Commission
City of Wylie, Texas
Date
"APPROVED FOR CONSTRUCTION"
Mayor City of Wylie, Texas
Date
"ACCEPTED"
Mayor City of Wylie, Texas
Date
The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the DOMINION OF PLEASANT VALLEY, PHASE 7, subdivision or addition to the City of Wylie was submitted, by formal action, then and there accepted the dedication of streets, alley, parts, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.
Witness my hand this ____ day of _____, A.D., 20__.
City Secretary, City of Wylie, Texas

PRELIMINARY PLAT
DOMINION OF PLEASANT VALLEY
PHASE 7
6.475 ACRES
LOTS 25-31, 24X, BLOCK BB;
LOTS 29-32, 33X, BLOCK V
11 SINGLE-FAMILY LOTS
2 OPEN SPACES/COMMON AREAS
OUT OF THE
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Phone: 972-201-3102
Contact: Claudio Segovia
Email: claudio.segovia@johnsonvolk.com



01 April 2024
SHEET 2 OF 2



Wylie City Council

AGENDA REPORT

Department: Planning Account Code: _____
 Prepared By: Jasen Haskins

Subject

Consider, and act upon, a Preliminary Plat of Lot 1, Block A of North Wylie Plaza, establishing one commercial lot on 0.912 acres. Property generally located at 2455 FM 1378.

Recommendation

Motion to approve the Item as presented.

Discussion

OWNER: Tanvir Ahmed

APPLICANT: Texas Heritage Surveying

The applicant has submitted a Preliminary Plat to create Lot 1, Block A of North Wylie Plaza on 0.912 acres. The property is generally located at 2455 FM 1378. The purpose of the Preliminary Plat is to create one lot for the development of a multi-tenant commercial office building. The property was rezoned from Agricultural (AG/30) to Commercial Corridor in September 2019.

The Site Plan for the development was approved by the Planning and Zoning Commission in April 2024.

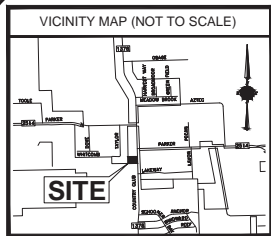
The Preliminary Plat document contains a fire lane and access easement that loops around the proposed building. The fire lane allows for access to the building and to an existing lift station on the northwest corner of the property.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The City Council must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

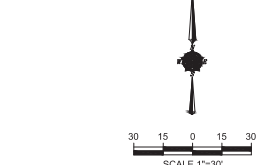
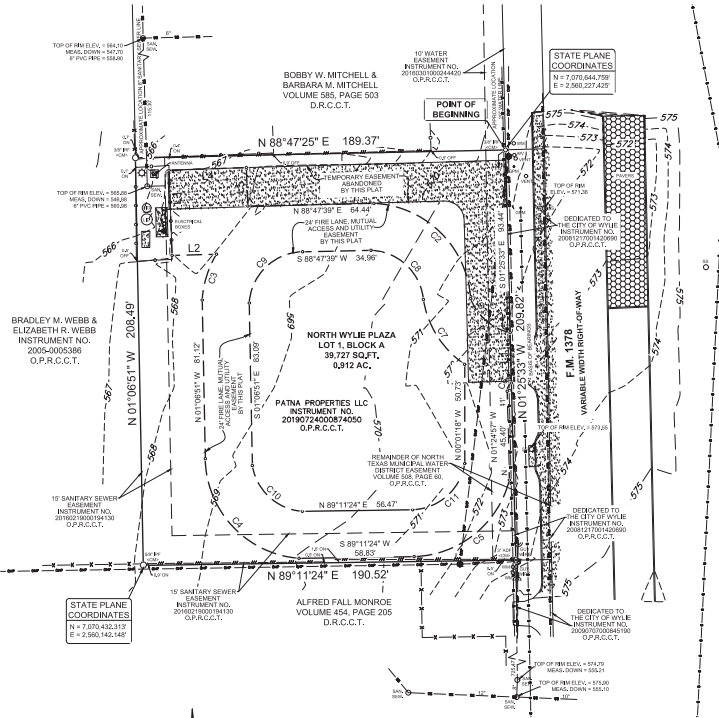
P&Z Recommendation

The Commission voted 7-0 to recommend approval.



LEGEND

- IRON ROD FOUND
- IRON ROD SET "XHS"
- CONTROL MONUMENT
- ALUMINUM DISK FOUND
- IRON PIPE FOUND
- CLEAN-OUT
- WATER METER
- WATER VALVE
- STORM SEWER
- SEWER
- LIGHT POLE
- POWER POLE
- ELECTRIC METER
- CHAIN LINK FENCE
- IRON FENCE
- PIPE FENCE
- COVERED PORCH, DECK OR CARPORT
- CONCRETE PAVING
- OVERHEAD POWER LINE
- STORM SEWER LINE
- WATER LINE
- GAS PIPELINE MARKER
- O.P.R.C.C.T.
- D.R.C.C.T.



FIRE LANE, MUTUAL ACCESS AND UTILITY EASEMENT LINE TABLE

LINE #	LENGTH	DIRECTION
L1	25.75'	S1°24'57"E
L2	22.72'	S89°29'55"W
L3	43.56'	N0°04'43"W
L4	39.55'	N87°59'39"E
L5	19.68'	S2°23'08"E

FIRE LANE, MUTUAL ACCESS AND UTILITY EASEMENT CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	27.87'	26.11'	56°48'54"	N49°08'47"W 26.75'
C2	75.90'	52.00'	83°37'47"	N45°28'42"W 68.34'
C3	24.78'	52.00'	27°18'10"	S17°18'28"W 24.55'
C4	76.70'	52.00'	84°30'37"	S43°15'33"E 69.93'
C5	67.06'	52.00'	73°52'12"	N51°12'46"E 62.51'
C6	4.97'	5.02'	58°45'07"	N08°57'37"E 4.77'
C7	40.44'	49.66'	46°39'18"	N02°27'19"W 39.33'
C8	40.07'	28.00'	81°59'59"	N46°53'13"W 36.74'
C9	41.54'	28.00'	84°59'53"	S46°09'45"W 37.83'
C10	37.35'	26.00'	78°29'42"	S47°29'33"E 34.64'
C11	38.51'	28.00'	78°48'02"	N48°27'10"E 35.55'

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

WHEREAS, Patna Properties LLC, is the sole owner of a tract of land situated in the William Patterson Survey, Abstract No. 716, City of Wylie, Collin County, Texas, and being the tract of land described in Special Warranty Deed to Patna Properties LLC, recorded in Instrument No. 2019072400874050, Official Public Records, Collin County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 3/8 inch iron rod found at the southeast corner of a tract of land described in deed to Bobby W. Mitchell and Barbara M. Mitchell, recorded under Volume 585, Page 503, Deed Records, Collin County, Texas and lying in the west right-of-way line of F.M. 1378 (variable width right-of-way);

Thence South 01 degrees 25 minutes 33 seconds East, along said west right-of-way line of F.M. 1378 (variable width right-of-way), a distance of 209.82 feet to a 3 inch aluminum disk found at the northeast corner of a tract of land described in deed to Alfred Fall Monroe, recorded under Volume 454, Page 205, Deed Records, Collin County, Texas;

Thence South 89 degrees 11 minutes 24 seconds West, departing said west right-of-way line of F.M. 1378, along the north line of said Monroe tract, a distance of 190.52 feet to a 5/8 inch iron pipe found at the southeast corner of a tract of land described in deed to Bradley M. Webb and Elizabeth R. Webb, recorded under Instrument No. 2005-0005386, Official Public Records, Collin County, Texas;

Thence North 01 degrees 06 minutes 51 seconds West, along the east line of said Webb tract, a distance of 208.49 feet to a 3/8 inch iron rod found at the southwest corner of the aforementioned Mitchell tract;

Thence North 88 degrees 47 minutes 25 seconds East, along the south line of said Mitchell tract, a distance of 189.37 feet to the POINT OF BEGINNING and containing 39,727 square feet or 0.912 acres of land.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Patna Properties LLC do hereby adopt this plat, designating the herein described property as **NORTH WYLIE PLAZA** an addition to Collin County, Texas, and do hereby dedicate, in fee simple, to the public use forever any streets, alleys, and roadway management areas shown thereon. The easements shown thereon are hereby reserved for the purposes indicated. The utility and fire line easements shall be open to the public, fire and police units, garbage and rubbish collection agencies, and all public and private utilities for each particular use. The maintenance of paving on the utility and fire line easements is the responsibility of the property owner. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way may endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements, and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance or service required or ordinarily performed by the utility).

Water main and wastewater easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line, and description of such additional easements herein granted shall be determined by their location as installed.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand in Collin County, Texas, this _____ day of _____, 2024.

Patna Partners LLC

Tanvir Ahmad

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared Tanvir Ahmad, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2024.

Notary Signature

Recommended for Approval

Chairman, Planning & Zoning Commission

Date

Approved for Construction

Mayor, City of Wylie, Texas

Date

Accepted

Mayor, City of Wylie, Texas

Date

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of NORTH WYLIE PLAZA subdivision or addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 2024, and the Council, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this _____ day of _____, A.D., 2024.

City Secretary
City of Wylie, Texas

SURVEYOR'S STATEMENT

I, J.R. January, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, and Texas Local Government Code, Chapter 212. I further affirm that monumentation shown herein was either found or placed in compliance with the City of Wylie Development Code, and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Dated this _____ day of _____, 2024.

Preliminary, this document shall not be recorded for any purposes and shall not be used or viewed or relied upon as a final survey document. (04/11/2024)

J.R. January
Texas Registered Professional Land Surveyor No. 5382

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for the said County and State, on this day personally appeared J.R. January, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated and as the act and deed therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2024.

Notary Signature

GENERAL NOTES

- 1) Bearings are based upon the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, Realization of 2011.
- 2) The purpose of this plat is to convert a tract of land into a platted lot.
- 3) Coordinates shown here are Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and No Projection.
- 4) According to the F.I.R.M. No. 48085C0415J, the subject property lies in Zone X and does not lie within a Flood Prone Hazard Area.
- 5) Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines and withholding of utilities and building permits.

BENCHMARK NOTES

Benchmark Name: CM 3

Located on the southwesterly side of Wylie High School football stadium and near the northwest corner of Founders Park sports fields. 31.5 feet south of back of curb, 41.6 feet north of back of curb and 6.5 feet west of back of curb and approximately 111 feet north of chain link fence around Founders Park sports fields.
Northing: 7,053,976.538; Easting: 2,559,122.001; Elevation: 519.77'

Benchmark Name: CM 4

Located in the northeast corner of Quail Meadow Park south of alley and west of White Iris Way. 14.5 feet south of the south line of alley concrete paving, 7.3 feet perpendicular to back of curb parking area.
Northing: 7,065,787.597; Easting: 2,560,972.926; Elevation: 562.88'



16610 Metric Drive, Suite 134 Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
tsheritage.com

PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY

**PRELIMINARY PLAT
NORTH WYLIE PLAZA
LOT 1, BLOCK A
WILLIAM PATTERSON SURVEY, ABSTRACT NO. 716
CITY OF WYLIE,
COLLIN COUNTY, TEXAS**



Wylie City Council

AGENDA REPORT

Department: Purchasing **Account Code:** 112-5613-58510
Prepared By: Kirby Krol

Subject

Consider, and act upon, the approval of the purchase of one (1) 2024 Ford Transit T350 Passenger Van in an estimated amount of \$55,150.00 from Randall Reed's Planet Ford 635 for the Parks and Recreation Department through a cooperative purchasing agreement with the Sheriffs' Association of Texas and authorizing the City Manager to execute any and all necessary documents.

Recommendation

Motion to approve the Item as presented.

Discussion

The Parks and Recreation Department (PARD) is seeking approval from the City Council to purchase one (1) 2024 Ford Transit T350 Passenger Van from Randall Reed's Planet Ford 635 through a cooperative purchasing agreement with the Sheriffs' Association of Texas.

The Senior Recreation Center buses are aging and costly to maintain. PARD is pursuing a more budget and driver friendly alternative to the current buses. During market research and discussion with local mechanics, PARD determined that vans are more cost-effective than buses long-term.

The City is authorized to purchase from a cooperative purchasing program with another local government or a local cooperative organization pursuant to Chapter 791 of the Texas Government Code and Section 271 Subchapter F of the Local Government Code and, by doing so, satisfies any State Law requiring local governments to seek competitive bids for items.

Staff recommends the purchase of one (1) 2024 Ford Transit T350 Passenger Van in an estimated amount of \$55,150.00 from Randall Reed's Planet Ford 635 through a cooperative purchasing agreement with the Sheriffs' Association of Texas as providing the to the City.

(City of Wylie No. W2024-50-I; Sheriffs' Association of Texas No. 22-03-1008RR)



Wylie City Council

AGENDA REPORT

Department: Purchasing
Prepared By: Kirby Krol

Account Code: 112-5211-58510

Subject

Consider, and act upon, the approval of the purchase of two (2) dark ash (silver) 2024 Chevy Tahoes for Police Administration in an estimated amount of \$104,623.62, and eleven (11) black 2024 Chevy Tahoes for Police Patrol in an estimated amount of \$574,371.91 for the Police Department from Reliable Chevrolet through a cooperative purchasing agreement with the Sheriffs' Association of Texas and authorizing the City Manager to execute any and all necessary documents.

Recommendation

Motion to approve the Item as presented.

Discussion

The Police Department (PD) is seeking approval for the purchase of two (2) dark ash (silver) 2024 Chevy Tahoes for Administration in an estimated amount of \$104,623.62, and eleven (11) black 2024 Chevy Tahoes for Patrol in an estimated amount of \$574,371.91 from Reliable Chevrolet through a cooperative purchasing agreement with the Sheriffs' Association of Texas.

The City is authorized to purchase from a cooperative purchasing program with another local government or a local cooperative organization pursuant to Chapter 791 of the Texas Government Code and Section 271 Subchapter F of the Local Government Code and, by doing so, satisfies any State Law requiring local governments to seek competitive bids for items.

Staff recommends the purchase of these vehicles from Reliable Chevrolet through a cooperative purchasing agreement with the Sheriffs' Association of Texas as providing the to the City.

(City of Wylie No. W2024-54-I; Sheriffs' Association of Texas No. 22-03-1008RR)



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: City Secretary

Account Code: _____

Subject

Consider, and act upon, the appointment of Mayor *pro tem* for a term beginning May 2024 and ending May 2025.

Recommendation

Motion to approve the appointment of _____ as Mayor *pro tem* for a term beginning May 2024 and ending May 2025.

Discussion

The Charter states the Mayor *pro tem* shall be a councilman elected by the City Council at the first regular City Council meeting following each regular City election. The Mayor *pro tem* shall act as Mayor during the disability or absence of the Mayor, and in this capacity shall have the rights conferred upon the Mayor.



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: City Secretary

Account Code: _____

Subject

Consider, and act upon, the appointment of a 2024 Board and Commissions City Council Interview Panel to conduct the May 2024 board applicant interviews.

Recommendation

Motion to appoint, _____, _____, and _____ to serve on the 2024 Boards and Commissions City Council Interview Panel.

Discussion

Each year the City Secretary's Office solicits and compiles applications from Wylie residents wishing to serve on various Wylie Boards and Commissions. These applications are received through the year until mid-May of each calendar year. Additionally, in May of each year, the applications are compiled into appointment timeframes to allow the three-council member panel time to interview each applicant and subsequently choose a list of applicants to recommend to the full Council to serve on the various boards. The terms are staggered so each year approximately half of the members serving on each board and commission are appointed.

Pursuant to Resolution No. 2006-17(R), the procedures for the interview process allows council members, not serving on the panel, an opportunity to address questions and concerns to the panel to be asked of the applicants. The rules and procedures in Resolution No. 2006-17(R) comply with the Texas Open Meetings Act. The Resolution is attached for your review.

Proposed interview meeting dates will be Wednesday May 29, 2024 and Thursday, May 30, 2024, and an alternate (if needed) date of Friday, May 31, 2024 from 5:30 p.m. - 9:00 p.m. each night. Immediately following the final night interviews, the panel will deliberate on recommendations to be submitted to the full Council at the June 11, 2024 Wylie City Council meeting. This timeline for approval by June 11th will allow time for each member to be sworn in at the June 25th City Council meeting, attend orientation on June 26th, and begin their terms on July 1, 2024. All Council members will receive the scheduled appointment list and all applications submitted prior to the interview process.

RESOLUTION NO. 2006-17(R)**A RESOLUTION OF THE CITY OF WYLIE, TEXAS ADOPTING PROCEDURES FOR THE WYLIE BOARDS AND COMMISSION INTERVIEW PROCESS AND THE APPOINTMENT OF THE 2006-07 BOARDS AND COMMISSION INTERVIEW PANEL.**

WHEREAS, the City of Wylie has nine boards and commissions comprised of a total of 54 members serving staggered two year terms; and

WHEREAS, each year the City of Wylie receives applications from residents for consideration of appointment to City of Wylie Boards and Commissions; and

WHEREAS, applicants for the board and commission members are interviewed by a Selection Panel consisting of three council members; and

WHEREAS, it has been deemed that guidelines be set for the Selection Panel, the application process, the interview process, and the appointment process of the City of Wylie Boards and Commissions.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE:

SECTION 1: That the City Council of the City of Wylie will appoint a three (3) member Selection Panel each year comprised of three (3) Council Members.

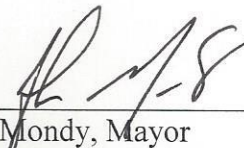
SECTION 2: That applications and scheduling of applicants to be interviewed by the Selection Panel will be completed by the City Secretary and provided to the City Council.

SECTION 3: That the interview process will be held in the City of Wylie Council Chambers and notifications of the interview dates will be posted for the public to attend.

SECTION 4: That City Council can provide a series of questions to the Selection Panel for the applicants to address during their interview.

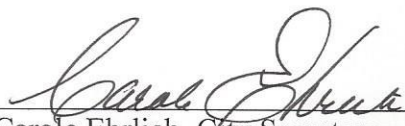
SECTION 5: Recommendations by the Selection Panel will be made in open session and the recommendations will be presented to Council for discussion and approval.

DULY PASSED AND APPROVED by the Wylie City Council on this 23rd day of May 2006.



John Mondy, Mayor

ATTEST:



Carole Ehrlich, City Secretary





Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, the appointment of one-committee member to the City of Wylie City Council Subcommittee to represent the City of Wylie in meetings with the Wylie Independent School District City/Schools Partnerships Committee.

Recommendation

Motion to appoint _____ to the City of Wylie City Council Subcommittee to represent the City of Wylie in meetings with the Wylie Independent School District City/Schools Partnerships Committee.

Discussion

In 2005, the Wylie Independent School Board formed an advisory standing committee called City/School Partnerships. The committee consists of three WISD Board of Trustee members and three City of Wylie Council members. The purpose of the committee is focused on discussing existing and new partnerships between the Wylie Independent School District (WISD) and the City of Wylie.

Pursuant to Ordinance No. 2005-55, the Subcommittee shall consist of three members, to be appointed by the Wylie City Council for the remainder of the term that said member serves on the Council or until said member resigns from the Subcommittee, whichever occurs first. If a replacement has not been appointed by the City Council upon the expiration of a member's term (of office), that member shall not continue his/her membership until replaced.

Current members serving on the sub-committee are three WISD Trustee members and City Council members Mayor Matthew Porter, Councilman Scott Williams, and Councilman Gino Mulliqi. Also, in attendance are WISD Committee facilitator Superintendent David Vinson and City of Wylie facilitator City Manager Brent Parker.

Councilman William's term has expired with his re-election to the Wylie City Council and therefore the sub-committee position must be appointed. Staff is requesting this position on the subcommittee be filled by the reappointment of Scott Williams or another council member to serve in this capacity.

ORDINANCE NO. 2005-55

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, CREATING, ESTABLISHING AND APPOINTING THE CITY COUNCIL SUBCOMMITTEE FOR WISD RELATIONS; PRESCRIBING THE PURPOSE, COMPOSITION, FUNCTION, DUTIES, AND TENURE OF EACH SUBCOMMITTEE MEMBER; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

WHEREAS, the City Council of the City of Wylie, Texas ("City Council"), has investigated and determined that it will be advantageous and beneficial to the City of Wylie, Texas ("Wylie") and its citizens to create a City Council Subcommittee for WISD Relations, as set forth below; and

WHEREAS, the City Council desires to prescribe the purpose, composition, function and duties of said Subcommittee; and

WHEREAS, the Board of Trustees of the Wylie Independent School District ("WISD") has established a similar subcommittee of its members to work with the City's subcommittee ("WISD Subcommittee"); and

WHEREAS, the City Council desires to appoint members to the Subcommittee and prescribe the duties and tenure for said members.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Establishment of Subcommittee.

A. There is hereby created the City Council Subcommittee for WISD Relations (the "Subcommittee") of the City Council, and such Subcommittee shall meet with WISD representatives to work on maintaining and recommending partnerships between the City and WISD and to further a positive working relationship between the City and the WISD, and any other such functions as the City Council may direct in writing. It shall function according to the laws of the State of Texas and the provisions of this Ordinance. The Subcommittee shall serve in an advisory capacity to the City Council.

B. The Subcommittee shall consist of three members, to be appointed by the City Council for the remainder of the term that said member serves on the City Council,

or until said member resigns from the Subcommittee, whichever occurs first. If a replacement has not been appointed by the City Council upon the expiration of a member's term, that member shall not continue his membership until replaced.

C. When vacancies occur on the Subcommittee, the City Council shall appoint, by majority vote, a replacement to serve the remainder of that term.

D. Each Subcommittee Member shall serve at the pleasure of the City Council and may be removed at the discretion of said Council.

F. Each Subcommittee Member shall serve without compensation, but may be reimbursed for actual expenses approved in advance by the City Council.

G. The Subcommittee shall keep and maintain minutes of any and all proceedings held and shall submit a written or make an oral report of such proceedings to the City Council not more than three (3) weeks following each such meeting.

SECTION 3: Officers.

The Subcommittee shall have a Chair and Vice-Chair whose terms shall be one (1) year. The Chair and Vice-Chair shall be elected by the members of the Subcommittee.

The Chairperson shall preside over meetings.

The Vice-Chair shall assist the Chair in directing the affairs of the Subcommittee. In the absence of the Chair, the Vice-Chair shall assume all duties of the Chair.

SECTION 4: Duties and Responsibilities.

The Subcommittee shall have the following duties and responsibilities:

- a. Advise and make recommendations to the City Council on matters relating to the City's relationship with WISD and on ways to maintain and develop partnerships with WISD.
- b. Attend meetings with the WISD Subcommittee and other designated WISD representatives.
- c. Any other duties requested in writing to be performed by the City Council that are consistent with the purposes of forming the Subcommittee.

SECTION 5: Power to Obligate and Finance.

The Subcommittee shall have no power to obligate Wylie in any manner whatsoever. The Subcommittee's finances shall be handled in the same manner as any division of the City Government.

SECTION 6: The City Manager shall act as facilitator to the City Council Subcommittee for WISD Relations.

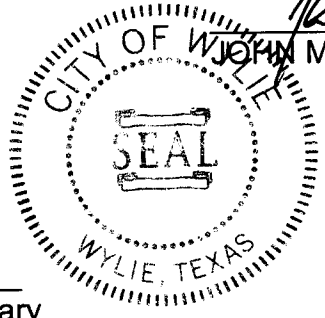
SECTION 7: Savings/Repealing Clause. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict; but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8: Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. Wylie hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 9: Effective Date. This Ordinance shall become effective immediately upon its passage and execution.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas on this 25th day of October, 2005.


JOHN MONDY, Mayor



ATTEST:


CAROLE EHRLICH, City Secretary

Date to be published in *The Wylie News* – November 2, 2005



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural District (AG/30) to Planned Development (PD-MF) for an age restricted condominium residential community on 47.374 acres. Property located on the west side of Country Club Road approximately 2000' south of Parker Road (ZC 2024-02).

Recommendation

Motion to deny the Item as presented.

Discussion

OWNER: John Monroe for Monroe Estate

APPLICANT: GM CIVIL

The applicant is requesting to rezone 47.374 acres from AG/30 to a Planned Development for an age restricted single-family residential style condominium community developed on a single lot. This style of development entails the homeowner only owning and being responsible for the home itself; everything else, the yard, common areas, storm drains, entry features, and perimeter walls and fences, streets, etc., are owned and maintained by the Condominium Owners Association (COA).

The development includes the allowance for single-family detached dwellings, an activity center, a community pool, gazebos, pavilions, tennis/pickleball and sport courts, accessory buildings, and ponds. The site will include approximately 168 dwelling units with design standards similar to that of regular single family zoning. The design includes front setbacks of 20', rear setbacks of 15', and side setbacks of 6'. The maximum height allowance shall be 35' with a maximum lot coverage of 65% and a minimum dwelling size of 1,300 sq. ft. Residential density shall not exceed six units per gross acre.

The architectural standards require for all buildings to be 80% masonry with 100% brick or stone on the main floor. An exception to that requirement is if the Activity Center uses The Craftsman/Farmhouse style in which they may have up to one hundred (100) percent cementitious fiberboard lap-siding. Minimum roof pitch of residential structures shall be 4:12 for rear elevations and 8:12 minimum for front elevations, with exceptions to dormers and shed roofs.

Each unique house elevation shall not be repeated on the lot most directly across the street, nor shall it be repeated on two lots in either direction on the same side of the street. A wide variety of elevations is provided as it augments the character of the subdivision and reduces monotony of design. Attached Pergolas and Patio Covers shall be permitted and shall extend no more than five (5) feet into the rear yard. Each home will have a garage door with a factory simulated wood grain texture, with accompanying hardware.

The minimum required open space area shall be twenty-five percent (25%) of the gross land area. A 40' landscape buffer is provided along the street frontage which includes an 8' wide meandering sidewalk.

The development shall provide 5'-6' wide sidewalks along the perimeter that connect to a future City trail located on a future City park of 8.25 acres on the northwest corner of the property as shown on the "Zoning Exhibit".

The development is to be accessed by gated private streets with access to Country Club Road. A secondary emergency access connection to the Rita Smith Elementary School Drive shall be provided opposite the entrance to Gateway Community Church. This will be documented by agreement between the School District and Integrity Group (Ladera) as part of the construction plans pending zoning approval.

The development shall be required to provide a 6' tall masonry screening wall with columns along Country Club Road, 6' tall Simtek fence, masonry or wood fence along the north and southern perimeters, and a 6' tall ornamental metal fencing along the western perimeter. Residential fencing for each residential unit shall consist of ornamental metal or vinyl and have a minimum height of four feet and a maximum height of six feet.

The COA will maintain ownership of the pond currently on site. They are proposing to build trails around the pond and a trail stub that could provide a connection to the City of Wylie trail system.

As the residents are limited to 55 and older and no children are allowed to live in the homes, there will be little if any impact on the school district enrollment.

The water for this development may initially be provided by the City of Parker as this land is in their CCN. However, City Engineering is working with Parker on a potential agreement to move this lot, along with Smith Elementary and Gateway Church into Wylie's CCN.

The surrounding properties to the north, east, and west are a mix of residential and commercial uses both in and outside of City limits. Properties to the south consist of an elementary school and community church. The proposal is in line with the land use of the Comprehensive Plan. The project faces Country Club Road which is a six lane major thoroughfare.

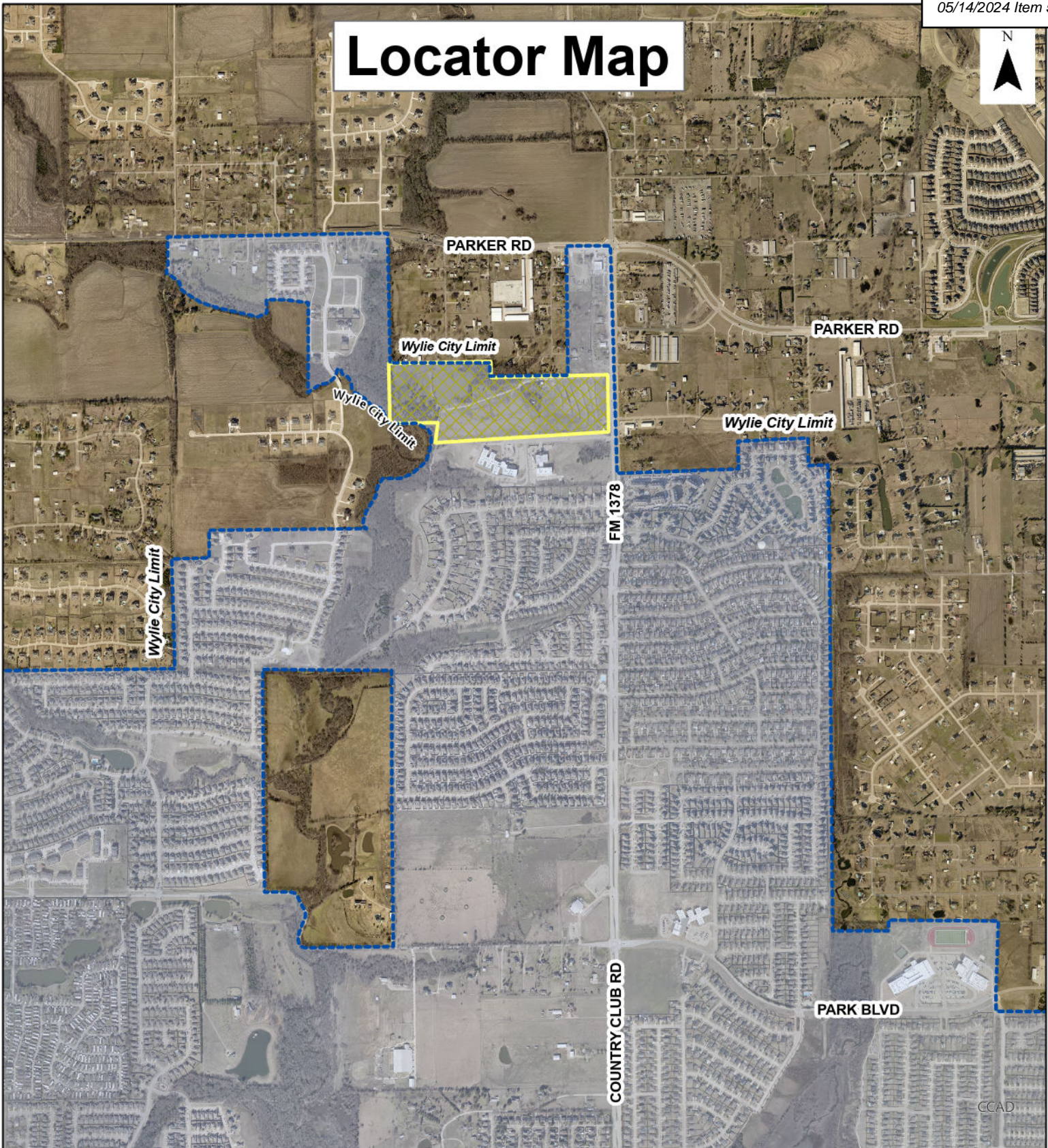
A preliminary plat will be required should zoning be approved.

Notifications/Responses: Six notifications were mailed in accordance with state law; with one response returned in favor and none in opposition to the request.

P&Z Recommendation

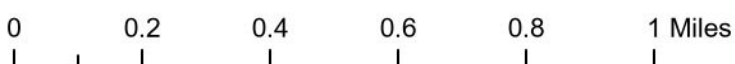
After some discussion regarding the lack of commercial development on the Country Club frontage, the density of the project, and the concern regarding the development being a condominium style development and the financial burden on the COA, the Commission voted 4-3 to recommend denial. Therefore, a supermajority of affirmative votes is needed for Council to approve the zoning request.

Locator Map

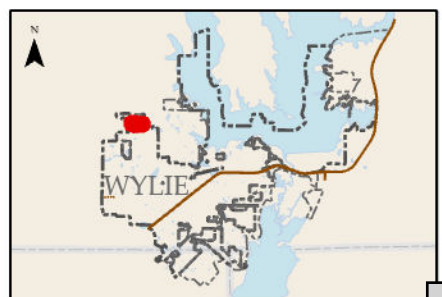


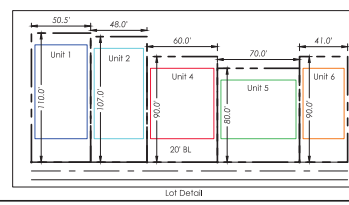
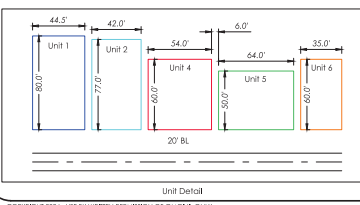
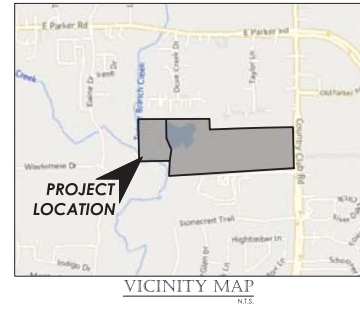
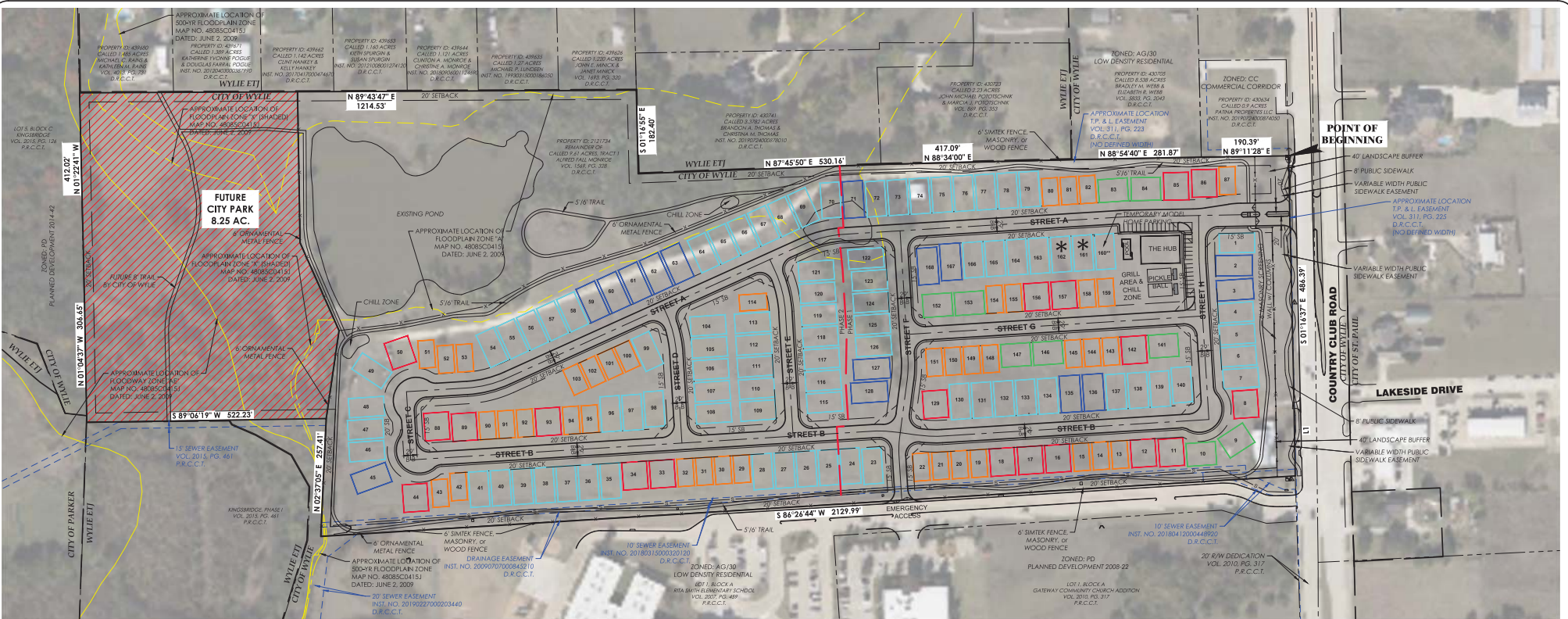
ZONING CASE:
ZC 2024-02

 SUBJECT property



Date: 3/27/2024





LAND USE SUMMARY

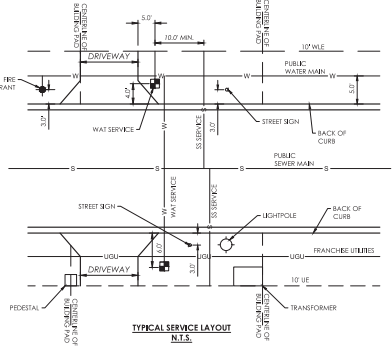
Total Land Area	47.37 ac
Open Space Area	21.42 ac
Residential Density	3.55 du/ac
Total Number of Units	168

Residential Summary

Unit Type	Unit Dimensions	Max Height	Units	% of Units
1	44.5'X80'	2 Stories/25'	14	8%
2	42'X77'	2 Stories/25'	85	51%
4	54'X60'	2 Stories/25'	19	11%
5	64'X50'	2 Stories/25'	9	5%
6	35'X60'	2 Stories/25'	41	24%
Total			168	100%

Unit Count and placement is subject to change.
* Model Home Designation

NOTE: TEMPORARY MODEL HOME PARKING TO BE FLEX BASE OR EQUAL.



LINE TABLE

LINE #	BEARING	DISTANCE
L1	S00°59'12"E	211.73

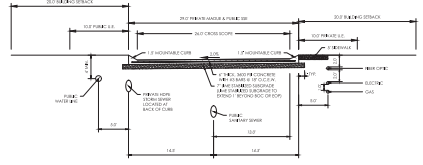
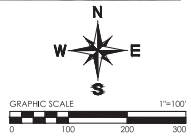
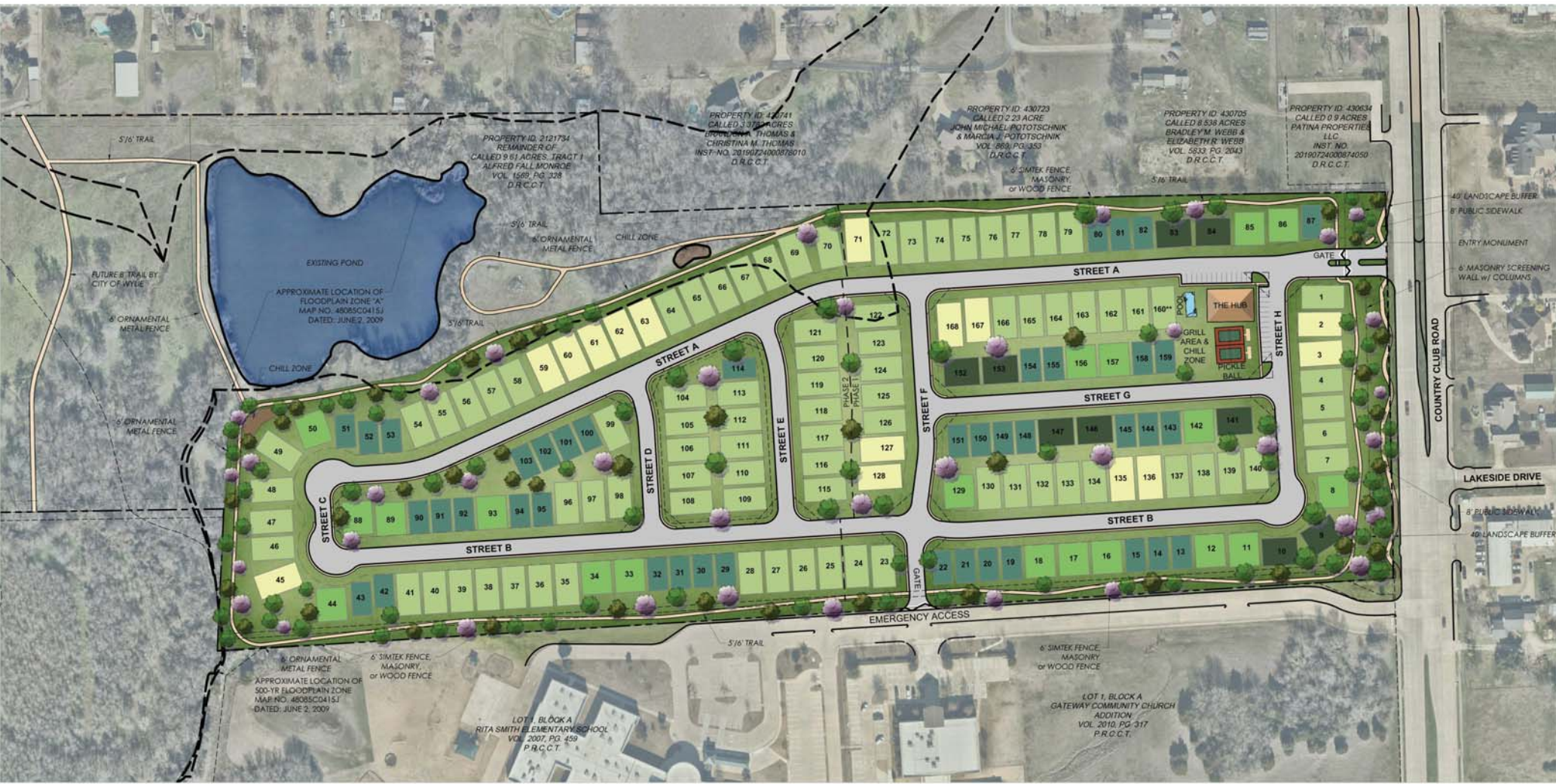


EXHIBIT "B" DEVELOPMENT PLAN FOR LADERA-WYLIE SITUATED IN THE CITY OF WYLIE, COLLIN COUNTY, TEXAS
Date: February 2024

DEVELOPED BY:
Ladera
active adult **lta**

PREPARED BY:
GMcivil
Engineering & Surveying
2635 SW Grapevine Pkwy, Grapevine, Texas 76051
817-225-6475
Tel: Eng Firm # A-2944 | Tdun Firm # 10021700



LAND USE SUMMARY	
Total Land Area	47.37 ac
Open Space Area	21.42 ac
Residential Density	3.55 du/ac
Total Number of Units	168

Residential Summary				
Unit Type	Unit Dimensions	Max Height	Units	% of Units
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5	64'X50'	2 Stories/25'	9	5%
6	35'X60'	2 Stories/25'	41	24%
Total			168	100%

* Unit Count and placement is subject to change.
 ** Model Home Designation

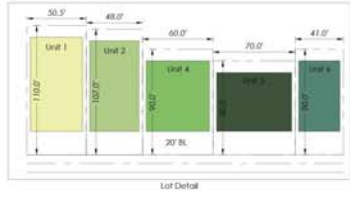
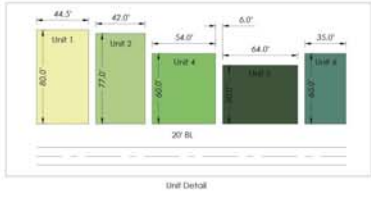


EXHIBIT "B"
LADERA-WYLIE / RENDERED DEVELOPMENT PLAN

City of Wylie, Collin County, Texas



SUBMITTAL DATE: 03.06.2024



NOTE: FIRE LANE STRIPING & "NO PARKING" WILL ONLY BE ON THE CURB OPPOSITE OF THE SIDEWALK.

UTILITY LEGEND	
	PROPOSED FIRE HYDRANT

DEVELOPED BY:

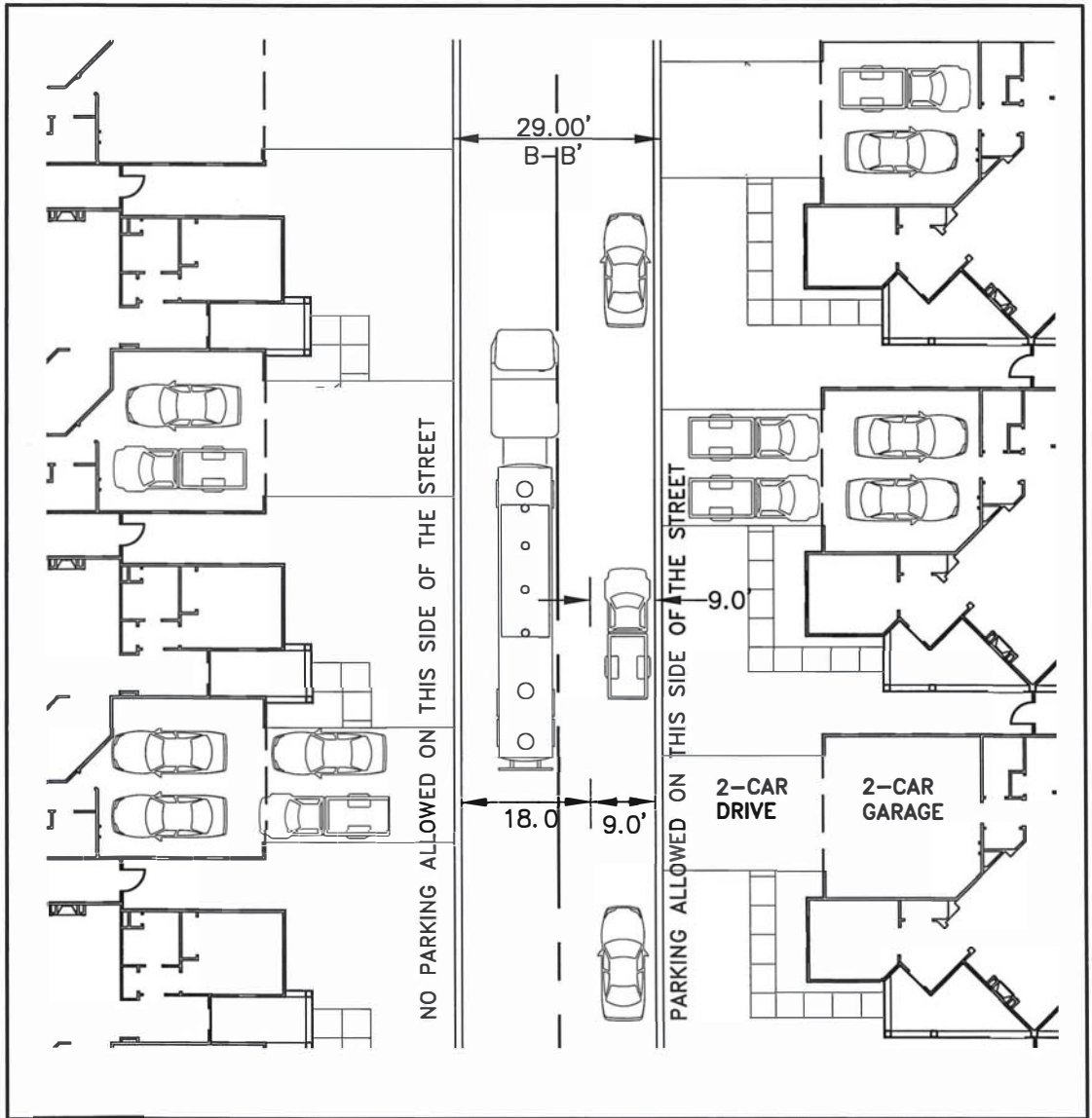


PREPARED BY:



EXHIBIT B-1
FIRE LANE LAYOUT
FOR
LADERA-WYLIE
SITUATED IN THE
CITY OF WYLIE, COLLIN COUNTY,
TEXAS
Date: March 2024

EXHIBIT "B-2"



INTEGRITY GROUP

**361 W. Byron Nelson Blvd.
Ste. 104
Roanoke, TX. 76262
(817) 430-3318**

SEAL

**PARKING EXHIBIT
29' ROAD**

DRAWN	SDS	CHECKED	TLH	REVIEWED	TLH
DATE	04-03-20	SCALE	1" = 20'	PROJECT NO.	.

FLOORPLANS AND ELEVATIONS

Ladera
active adult **life.**

Toscana

2,248 SF

2BR / 2BA

3 Elevations

*Will Have Faux
Cedar Garage Doors



Ladera

active adult **life.**

Avanti

1,964 SF

2BR / 2BA

5 Elevations

***Will Have Faux
Cedar Garage Doors**



Ladera

active adult **life.**

Casina

2,231 SF

2BR / 2BA

5 Elevations

***Will Have Faux
Cedar Garage Doors**



Ladera

active adult **life.**

Castella

2,419 SF

2BR / 2BA

3 Elevations

***Will Have Faux
Cedar Garage Doors**



Ladera

active adult **life.**

Verona

2,809 SF

2BR / 2BA

5 Elevations

***Will Have Faux
Cedar Garage Doors**



Ladera

active adult **life.**

Verona 2-Story

2,146 SF

3BR / 3BA

3 Elevations

***Will Have Faux
Cedar Garage Doors**



LADERA - WYLIE
DEVELOPMENT REGULATIONS
Planned Development – 47.374 Acres

I. PURPOSE

Ladera - Wylie is a proposed aged-restricted, low-maintenance gated, single family home, residential community integrated with quality amenities such as walking trails, activity center "The HUB" with pool, pickle ball courts, chill zones (passive open space amenities), amenity pond, parks, and open space areas that provide for an enhanced quality of life for active adults seeking a lock and leave, low-maintenance lifestyle within the City of Wylie. The legal description for the property is provided as Exhibit "A".

II. DEVELOPMENT PLAN

The property shall be developed in accordance with the City of Wylie regulations unless stated otherwise herein or shown otherwise on the Development Plan (Exhibit "B"), Perimeter Fencing Plan (Exhibit "C"), Building Elevations (Exhibit "D"), and Fire Separation (Exhibit "E").

III. USES

A. Permitted Uses - The following uses shall be permitted by right:

- 1) Single Family Detached Dwelling-Shall be age restricted to residents 55 years of age and older.
- 2) Activity Center (HUB)
- 3) Community Pool

B. Accessory Uses - The following uses shall be permitted as accessory uses:

- 1) Gazebos
- 2) Pavilions
- 3) Tennis/Pickle Ball and Sport Courts
- 4) Accessory Buildings
- 5) Pond

IV. CONDOMINIUM ASSOCIATION

A Condominium Owners Association (COA) shall be required and shall be responsible for the maintenance of the common areas, streets, storm drain, entry features, accessory structures, and perimeter walls/fencing and landscaping.

V. LANDSCAPE SETBACK REQUIREMENTS

There shall be a landscape setback with a minimum width of twenty (20) feet from the perimeter property line to a residential structure. Trails shall be permitted within the landscape setback.

VI. AREA REQUIREMENTS

Ladera - Wylie is a condominium community and individual dwelling units will not be platted into individual residential lots. The site will remain as one lot with approximately one hundred sixty-eight (168) dwelling units. Therefore, the reference to setbacks shall be used as building separation from other buildings and from the private street.

Side Yard Setback (Between Buildings)	Front Yard Setback (Front of Building to Back of Curb)	Rear Yard Setback (Between Buildings)
6' Minimum*	20' Minimum	15' Minimum

*Fire Separation per the attached exhibits (Exhibit "E"), the fire wall ratings are per the 2021 IRC, and allow for units within 6'.

VII. DEVELOPMENT AND PERFORMANCE STANDARDS

Minimum Lot Size	Minimum Lot Width	Minimum Lot Depth	Maximum Height	Maximum Lot Coverage (percent of lot area)	Minimum Dwelling Size (square feet)
N/A	N/A	N/A	35' or 2 ½ Stories	65%*	1,322**

* Lot Coverage based on total building coverage (excluding accessory uses) for the entire 47.374-acre site.

** Air-conditioned space, not inclusive of garage, patio or porch.

VIII. RESIDENTIAL DENSITY

The gross residential density for Ladera - Wylie shall not exceed four (4) units per gross acre (du/ac). Residential density shall be calculated using the gross land area of (47.374) acres.

IX. BUILDING DESIGN

- A. The dwelling units and activity center shall be generally constructed in accordance with the building elevations shown in Exhibit "D".
- B. Residential buildings and the activity center shall be eighty (80) percent masonry including one hundred (100) percent brick or stone on the main floor. An exception to that requirement is if the Activity Center use The Craftsman/Farmhouse style in which they may have up to one hundred (100) percent cementitious fiberboard lap-siding.
- C. Minimum roof pitch of residential structures shall be 4:12 for rear elevations and 8:12 minimum for front elevations, with exceptions to dormers and shed roofs.
- D. Mailboxes shall be cluster boxes of 14 or greater boxes. Sufficient structural support to keep the mailbox upright is required. Mailboxes may be made from metal.

- E. Elevation repetition. Each unique house elevation shall not be repeated on the lot most directly across the street, nor shall it be repeated on two lots in either direction on the same side of the street. A wide variety of elevations is provided as it augments the character of the subdivision and reduces monotony of design.
- F. Attached Pergolas and Patio Covers shall be permitted and shall extend no more than five (5) feet into the rear yard.
- G. Each home will have a garage door with a factory simulated wood grain texture, with accompanying hardware.

X. TRAILS, SCREENING AND LANDSCAPING

Screening and landscaping shall be generally installed in accordance with the standards below and as shown on the Perimeter Fencing Plan (Exhibit "C"),

- A. There shall be an ornamental metal fence, wood, masonry, or pre-cast (Simtek) wall of at least six (6) feet in height located around the perimeter of the property. The Simtek, masonry, or wood fence will be on the North side and South side of the project, as detailed on the Development & Fencing Plans. The West side will be 6' ornamental metal fence. The East side along Country Club Road will be a 6' masonry screening wall with columns.
- B. Each front yard shall have one (1) canopy tree with a minimum caliper size of four (4) inches, as measured six (6) inches above grade, from the approved plant list for the City of Wylie.
- C. Residential fencing for each Unit shall consist of ornamental metal or vinyl and have a minimum height of four (4) feet and a maximum height of six (6) feet.
- D. Residential fencing shall be permitted within the twenty-foot (20) perimeter landscape buffer.
- E. A Landscape Plan with tree species shall be submitted at the time of Construction Plans.

XI. PARKING

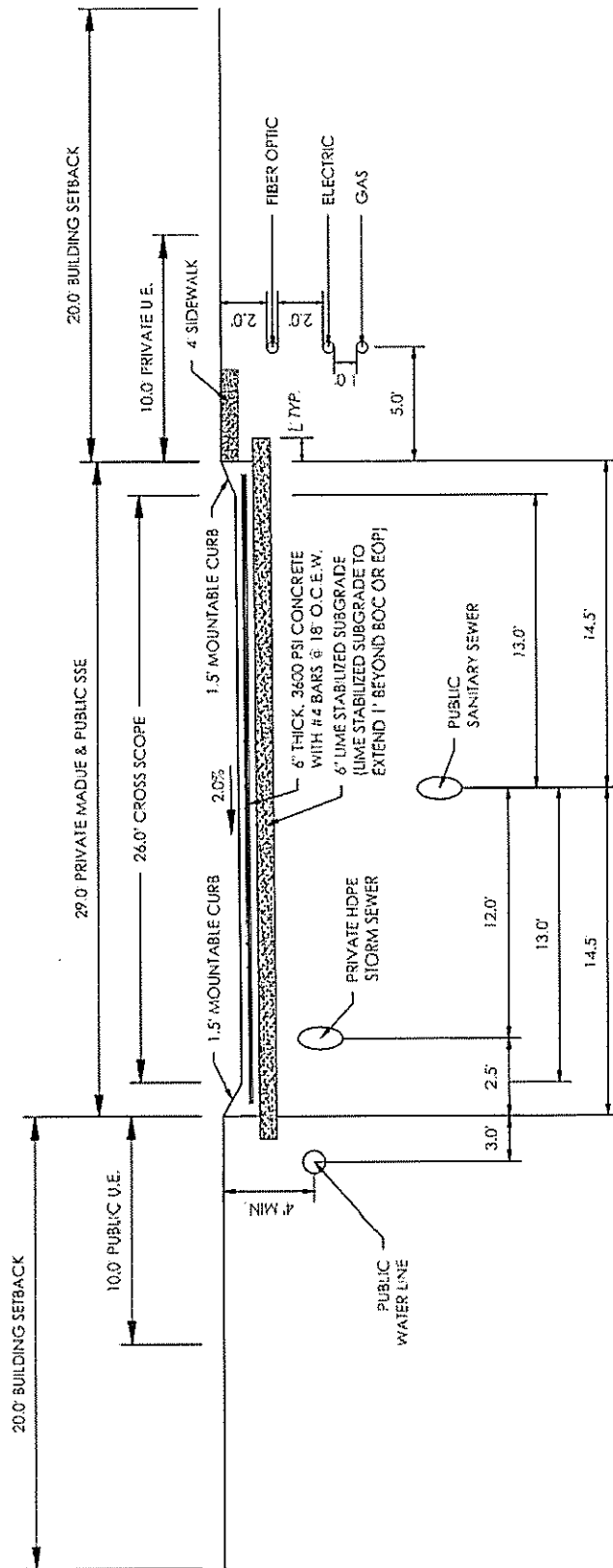
Off-street parking shall be allowed in areas shown on the approved Development Plan, Exhibit "B", Fire Lane Exhibit "B-1", and Parking Exhibit "B-2".

- A. Each dwelling shall have two (2) parking spaces within the garage, as well as having two (2) parking spaces in the driveway. Each dwelling has a 20' setback from the back of curb. All dwellings have an inset garage that provides the allowable distance for vehicles to not overhang the sidewalk or into the street.

XII. STREETS, ACCESS, AND UTILITIES

- A. The proposed streets shall be privately maintained by the Condominium Owners Association of Ladera - Wylie.

- B. The private streets shall conform to the street section on the Development Plan, (Exhibit "B"), also shown below.



**TYPICAL 29' B-B
STREET SECTION
N.T.S.**

- C. All storm and streets shall be labeled private and maintained by the Condominium Owners Association of Ladera - Wylie.
- D. HDPE shall be an acceptable material for the installation and construction of the private storm drain systems. HDPE pipe shall be installed in accordance with the pipe manufacturer specifications and geotechnical recommendations for the project.
- E. All water, per the March 30, 2010, Wholesale Water Supply Contract between Wylie and Parker will be public utilities per the agreement. Sewer to serve the project will be public utilities provided by the City of Wylie. Water and sewer will be maintained by the City of Wylie.
- F. Developer shall construct an eight (8) foot wide concrete sidewalk along Country Club Road for public use. The eight (8) foot sidewalk shall be maintained by the City of Wylie. The meandering public sidewalk will be installed within the existing right-of-way or public sidewalk easement.
- G. Developer shall construct a median break, north bound left turn lane, and south bound right turn lane for the connection to Country Club Road.
- H. A secondary emergency access connection to the Rita Smith Elementary School Drive shall be provided opposite the entrance to Gateway Community Church. This will be documented by agreement between the School District and Integrity Group (Ladera) as part of the construction plans after zoning approval. For zoning approval, email documentation will be provided to staff.
- I. A private 5' or 6' concrete trail system will be installed inside the perimeter of the fencing for use by the residents.

XIII. OPEN SPACE

The minimum required designated open space area shall be twenty-five percent (25%) of the gross land area.

- A. The perimeter landscape buffer shall be counted toward open space.

XIV. PHASING

Ladera - Wylie is subject to the Phasing Line as shown in Exhibit "B". The phase line may be adjusted at time of construction plans and platting.

XV. TIMING OF AMENITIES AND MODELS

Ladera business model works for maximum results by allowing the start of construction of main amenities and two (2) models, shown on Exhibit B, along with four (4) speculative after streets are constructed for fire protection, prior to acceptance of the subdivision by the City of Wylie.

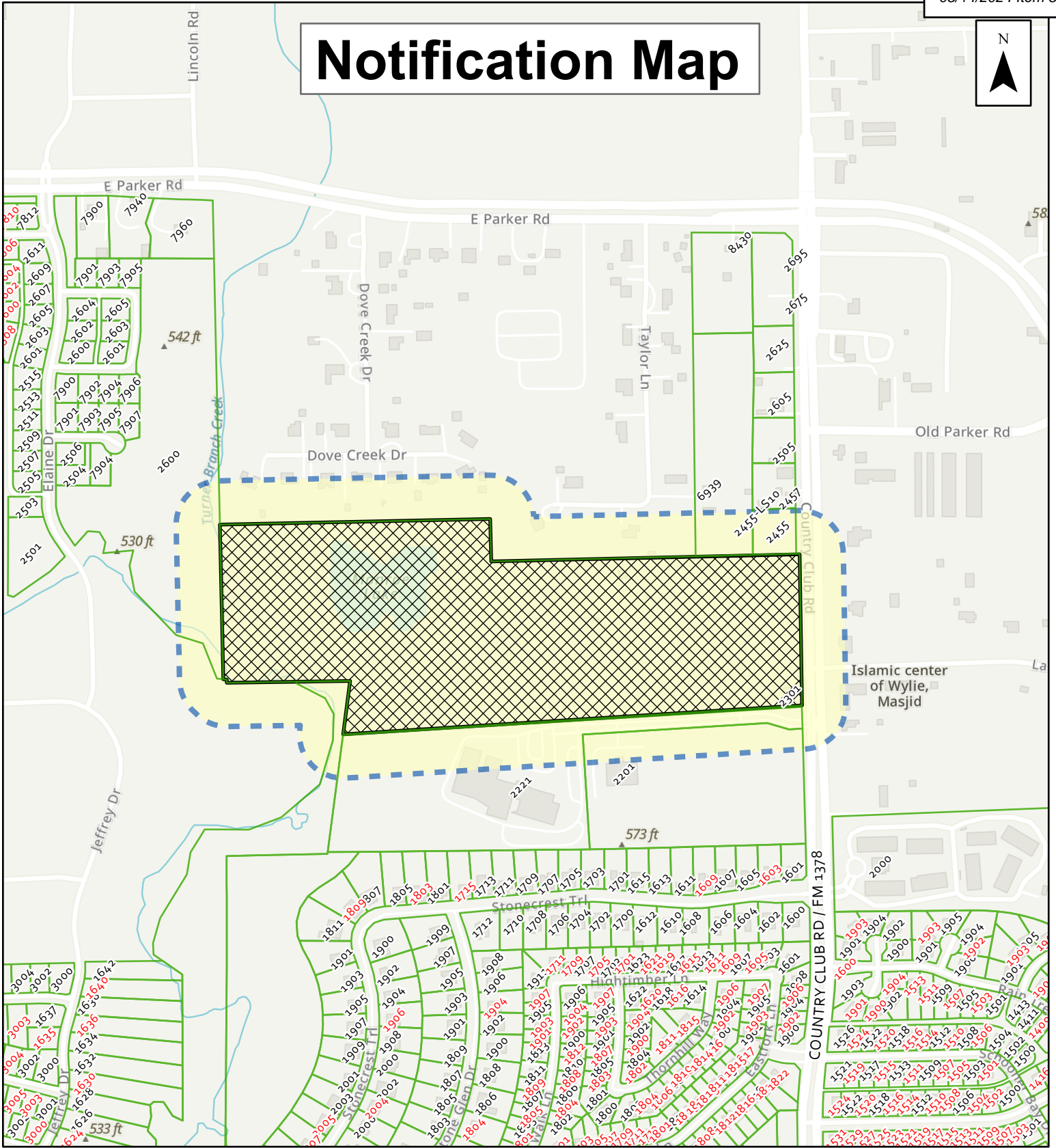
XVI. EXHIBITS

All attached Exhibits to be adopted by this ordinance.




XVII. FLOODPLAIN RECLAMATION

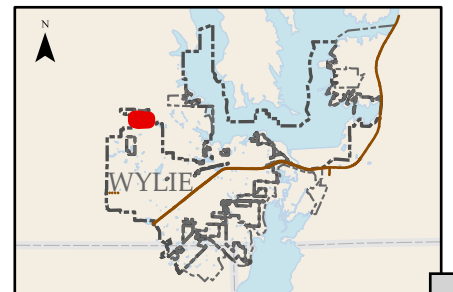
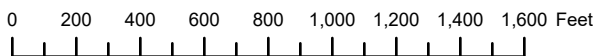
- A. Floodplain reclamation will be required for a portion of an Un-Named Tributary to Muddy Creek as part of the development.
- B. It shall be necessary to submit a Floodstudy in accordance with the City of Wylie regulations and ordinances for any impacts to the existing floodplain. The Floodstudy will include the ultimate developed conditions for watershed.
- C. A CLOMR shall be submitted to the FEMA for approval. The CLOMR will need to be approved by FEMA before any building permit may be released for construction within the effective floodplain.
- D. Upon approval of the Floodstudy by the City of Wylie, a grading permit application shall be submitted to the City of Wylie for approval. The grading permit shall allow the developer to perform "At-Risk" grading, paving, and utility improvements within the effective floodplain upon submittal of the CLOMR to FEMA for acceptance.
- E. Upon completion of the grading and utility improvements, a LOMR shall be submitted to FEMA for the asbuilt improvements to update the Flood Insurance Rate Map for the Un-Named Tributary to Muddy Creek, and demonstrate all residential units are located outside of the ultimate developed 100-yr floodplain.
- F. Upon approval of the CLOMR and acceptance of the development improvements by the City of Wylie, no building permits shall be allowed for any residential units located within the effective floodplain, until such time as the LOMR has been approved by FEMA. Units 66-72 and 122, and a portion of Street "A" as shown on the development plan require floodplain reclamation. Other units may require floodplain reclamation subject to final design and Unit mix by the developer. Any adjustments from the Development Plan will be included in the floodstudy & CLOMR submitted to the City and FEMA for approval.

Notification Map



ZONING CASE:
ZC 2024-02

 SUBJECT property
  200 foot Notification Buffer
  Collin CAD Parcels



Date: 3/27/2024



PUBLIC COMMENT FORM

Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment> or by scanning the QR code in the upper right hand corner. (If completing the form below, please type or use black ink)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2024-02.
 I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2024-02.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning

Commission meeting: Tuesday, April 16, 2024 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, May 14, 2024 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Chris Dague - Gateway Community Church
(please print)

Address: 2201 Country Club Rd
Wylie, TX 75098

Signature: [Handwritten Signature]

Date: 4/2/24

COMMENTS:

Gateway Community Church is excited about this community build.



Ladera

LADERA LIVING 55+ COMMUNITIES

LaderaLiving.com

| LaderaTexas.com

Ladera

LADERA LIVING 55+ COMMUNITIES

2020, 2022 & 2024 MCSAM AWARDS

Active Adult Home
of the Year

Best Architectural Design
-Active Adult

Best Interior Merchandising
-Active Adult

Builder Neighborhood
of the Year

Customer Service/Warranty
Professional of the Year



Ladera

LADERA LIVING 55+ COMMUNITIES

Approx. 168 Single Family Homes

Over 2 miles of Walking Trails

Amenities Include

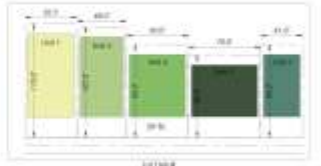
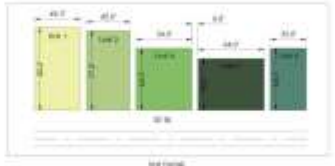
- The HUB
- Resort Style Pool
- Pickleball Courts



LAND USE SUMMARY	
Total Land Area	47.37 ac
Open Space Area	21.42 ac
Residential Density	3.55 du/ac
Total Number of Units	168

Residential Summary				
Unit Type	Unit Dimensions	Min. Single	Units	% of Total
1	44'00" x 60'00"	2.5 acres/25'	18	8%
2	42'00" x 54'00"	2.5 acres/25'	86	41%
3	42'00" x 54'00"	2.5 acres/25'	79	47%
4	42'00" x 54'00"	2.5 acres/25'	9	5%
5	37'00" x 54'00"	2.5 acres/25'	16	10%
Total			168	100%

* Unit Count and placement is subject to change.
 ** Market Based Designation



LADERA-WYLIE / RENDERED DEVELOPMENT PLAN

City of Wylie, Collin County, Texas





LADERA LIVING 55+ COMMUNITIES

MORE LOCATIONS IN DFW THAN ANY OTHER ACTIVE ADULT BRAND

Size
Green Space
Density
Home Designs
Home Pricing
Restrictions
Progress

Size
Green Space
Density
Home Designs
Home Pricing
Restrictions
Progress

Ladera Keller	Ladera Mansfield	Ladera Highland Village	Ladera Rockwall	Ladera Tavolo Park	Ladera at the Reserve
20 Acres 115 Homes	35.5 Acres 186 Homes	28 Acres 102 Homes	38 acres 122 Homes	40 Acres 186 Homes	33.4 Acres 159 Homes
23%	31%	45%	47%	40%	42%
5.87 / Acre	5.2 / Acre	3.8 / Acre	3.2 / Acre	4.6 / Acre	4.78 / Acre
11 Designs 30 Elevations	15 Designs 60 Elevations	13 Designs 52 Elevations	15 Designs 60 Elevations	15 Designs 60 Elevations	15 Designs 60 Elevations
\$260k-\$400k+	\$270k-\$400k+	\$270k-\$400k+	\$270k-\$400k+	\$\$385-\$600k+	\$385-\$600k+
Age Restricted	Age Restricted	Age Restricted	Age Restricted	Age Restricted	Age Restricted
Sold out in 3 years	Sold out in 3.9 years	Sold out in 2.9 years	Sold Out	Construction Started Approx. 50% Sold	Construction Started Approx. 40% Sold

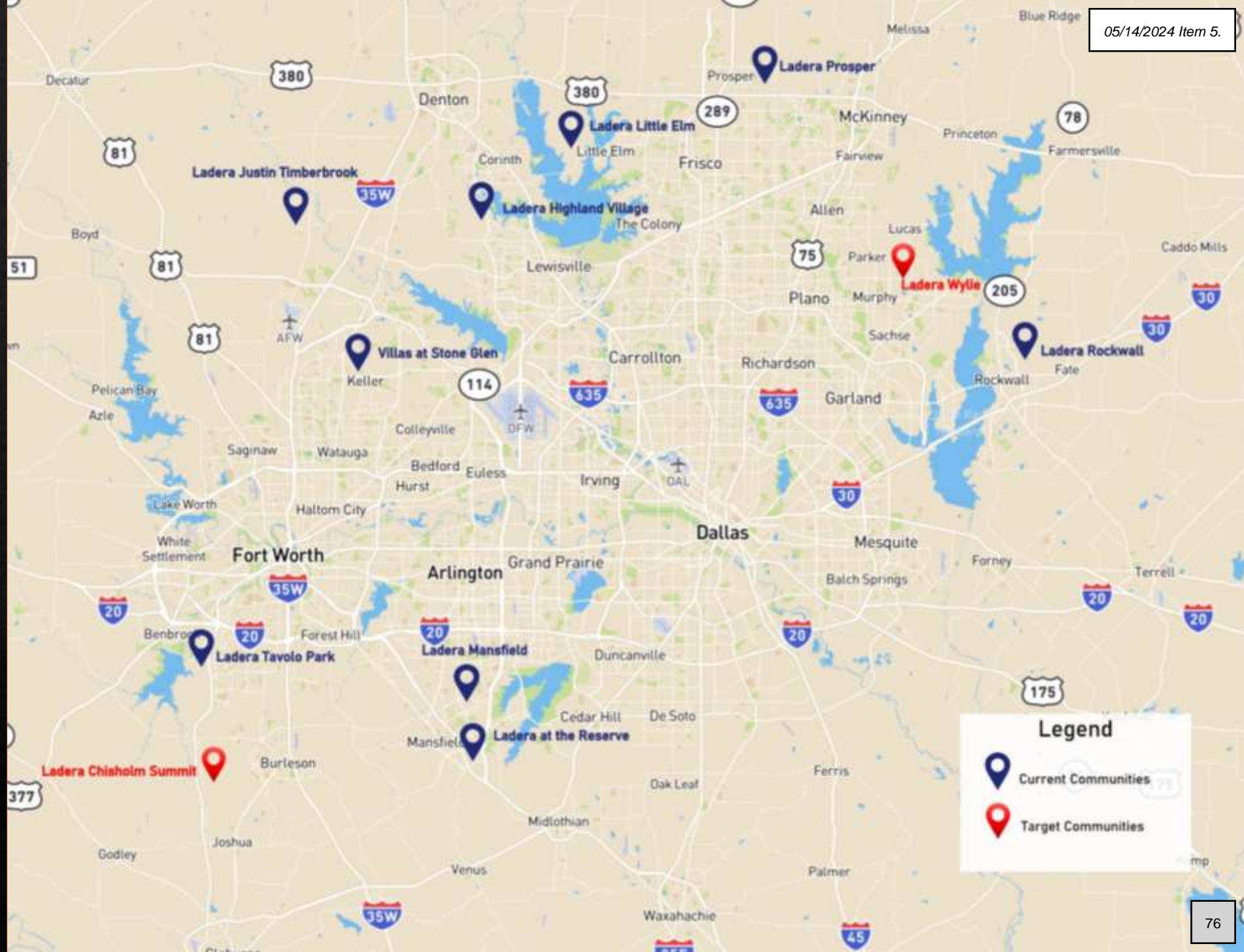
Ladera Prosper	Ladera Little Elm	Ladera Justin Timberbrook	<i>PROPOSED Chisholm Summit</i>	<i>PROPOSED Wylie</i>
61.28 Acres 245 Homes	57.92 Acres 263 Homes	28.76 Acres 157 Homes	<i>30 Acres 160 Homes</i>	<i>47 Acres 168 Homes</i>
38%	35%	28.8%	<i>>20%</i>	<i>29%</i>
4.00 / Acre	4.71 / Acre	4.82 / Acre	<i>5.34 / Acre</i>	<i>3.55 / Acre</i>
16 Designs 63 Elevations	16 Designs 63 Elevations	16 Designs 63 Elevations	<i>16 Designs 63 Elevations</i>	<i>16 Designs 63 Elevations</i>
\$360k-\$500k+	\$385k-\$600k+	\$320k-\$500k+	<i>\$350k-\$500k+</i>	<i>\$385k-\$600k+</i>
Age Restricted	Age Restricted	Age Restricted	<i>Age Restricted</i>	<i>Age Restricted</i>
Construction Started Approx. 20% Sold	Construction Started Approx. 10% Sold	Development Starting Q1-2024	<i>Proposed</i>	<i>Proposed</i>

Gold Quality Customer Satisfaction Score of

Ladera

LADERA LIVING 55+ COMMUNITIES

More Locations
in Dallas-Fort Worth
Than Any Other
Active Adult Brand



Legend

-  Current Communities
-  Target Communities



LADERA LIVING 55+ COMMUNITIES

SINGULARLY FOCUSED ON ACTIVE ADULTS

Active Adults Want

Low Maintenance

- True "lock-and-leave" – green space and home exteriors maintained/managed by COA-Condo Owners Association

Smaller, No-Compromise Homes

- 16 varied floor plans
- High-end kitchen with large, open living areas
- Extensive interior/exterior customization options

Green Space without Backyards

- Each home has a well-appointed private courtyard. Community has significantly more common green space

Active Lifestyle Amenities

- Amenities and activities solely focused on Active Adults
- Activity Center "The HUB" – Exercise facility, kitchen, gathering space
- Outdoor amenities: Pool, Pickle Ball, Firepit, Putting Green, Dog Park
- Fitness & walking trails throughout the community
- The "Shack"- Additional amenity building for activities & gatherings

Safety & Security

- Typically a gated community with security cameras

To Stay in a Community near Friends, Family, & Grandkids

- Infill community marketed locally to retain long-time citizens
- Locations near shopping, restaurants, & healthcare

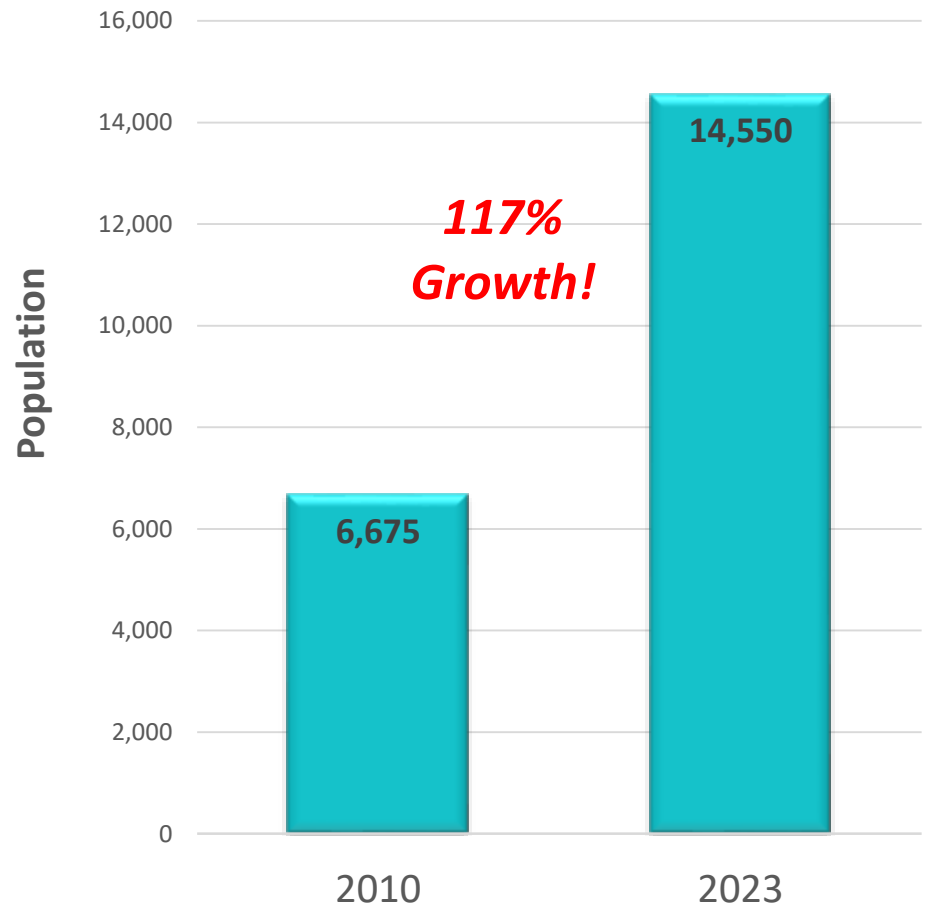


LADERA LIVING 55+ COMMUNITIES

Total Wylie Households (HH)	23,385 ESRI, 2023
Wylie Under 55 HH	15,949 ESRI, 2023
Wylie 55+ HH	7,436 ESRI, 2023
55+ HH Planning to Move, Nationwide	41% Freddie Mac, 2020
55+ HH Planning to Move	3,048 Est. (7,436 x 41%)
55+ HH Moving, Wylie	5.5% 168 Proposed Homes ÷ 3,048 Planning to Move
All Wylie 55+ HH	2.2% 168 Proposed Homes ÷ 7,436 Wylie 55+ HH

THE NEED FOR 55+ HOUSING IN WYLIE

Wylie Population Growth Rates, 55+ (2010-2023 ESRI)





LADERA LIVING 55+ COMMUNITIES

CONDOMINIUM COMMUNITY & BENEFITS

Stricter Regulations Under Texas Condominium Association Law

- State of Texas, Ch. 82, Uniform Condominium Act, provides stricter governance vs HOA:
 - Control is relinquished from Developer to COA Board at 75% occupancy

Reserve Funding & Management Ensure Long-Term Neighborhood Value

- 50 Year Reserve Study established for guidance of COA
- Initial contribution at each home closing ensures strong base of funding
- COA maintains all exterior grounds and exterior of each home
- COA maintains all common area Amenities; The HUB, Pool, Pickle Ball Courts, Shack, other Amenities, Gate/Fencing, etc.
- COA maintains all streets, since streets are private

COA Enforces Regulations

- All by-laws and regulations of the COA are monitored and enforced by COA Board and Management Company
- COA enforces Age Restriction with Annual Age Census

Fees Seen as Good Value by Owners

- Typical Monthly Dues \$315
- Owners perceive good value due to savings on insurance, lawn/landscaping care, pool/amenities maintenance, home maintenance

Established Success with COA Communities

- Ladera has successfully implemented 9 communities in DFW with this format.
- Epcon Communities of Columbus, OH, our Franchise Partner has used this model for over 25 years & 25,000 homes

Ladera

LADERA LIVING 55+ COMMUNITIES

Fencing Around Homes

Privacy fencing used between homes that back up to viewpoints

Wrought Iron is used for visibility

Access gate at the front and rear



The picture to the left shows where Privacy fence is used between homes that back up to viewpoints, also showing how the Wrought Iron fence is used for visibility to the same areas.

The picture to the right shows the front fencing detail, which all have an access gate at the front and rear. This also shows how the rear privacy fence is part of these homes, which “back up” to other homes.



Ladera

LADERA LIVING 55+ COMMUNITIES

Ladera
Tavolo Park

The HUB

05/14/2024 Item 5.



Ladera

LADERA LIVING 55+ COMMUNITIES

The HUB Amenities – Resort Style Pool Area



Ladera

LADERA LIVING 55+ COMMUNITIES

The HUB Amenities – Resort Style Pool Area



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LADERA LIVING 55+ COMMUNITIES

The HUB
Amenities –
Resort Style
Pool Area



Ladera

LADERA LIVING 55+ COMMUNITIES

The HUB
Amenities –
Resort Style
Pool Area



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LADERA LIVING 55+ COMMUNITIES

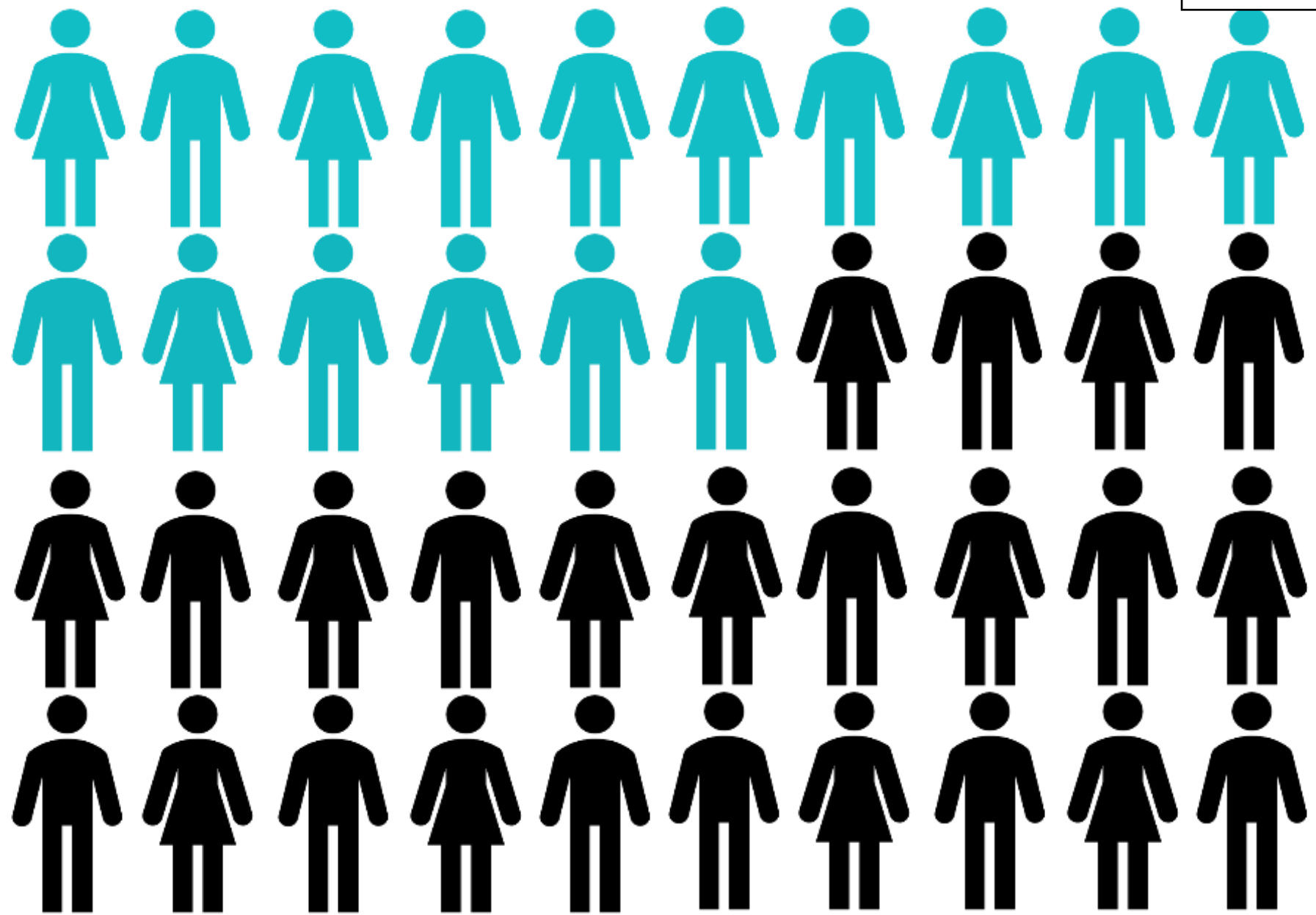
Ladera Singles

On Average 35% of Homebuyers are Single

Average Home Price – Pre-Pandemic
\$356,764

Average Home Price – Post Pandemic
\$421,262

More Than 700 Homes Built for





LADERA LIVING 55+ COMMUNITIES

**Proposed Ladera
Wylie Commercial
Land
vs
Residential Land
Property Tax
Valuation**

LADERA WYLIE PROPERTY TAX COMPARISON



Midblock Commercial Area ~3.0 acs

Additional 20 Single Family Homes

Commercial Land Value \$6.50/sf	\$ 849,420
~8,500sf Bldg/ac 25,500sf @ \$250/sf	\$6,375,000
TOTAL VALUATION	\$7,224,420*

20 SF Homes @ \$473,000 or	\$9,460,000
\$ TOTAL VALUATION	\$9,460,000**

*Timing on Commercial no less than 2 years and more realistically 3-6 years or longer before activation

** These 20 Homes will be built in Phase 1



LADERA LIVING 55+ COMMUNITIES

LADERA WYLIE FINANCIAL IMPACT

Potential Tax Impact of Ladera Wylie

Ladera Wylie Taxable Basis

Homes	168
Tax Value / Home	\$473,000
Less Homestead Exemption	\$(47,300)
Less Over 65 Exemption	\$(10,000)
Net Tax Value / Home	\$415,700
Total Net Taxable Value	\$69,837,600

Property Taxes Generated

	2021 Tax Rate per \$100	Ladera Wylie Tax Revenue
City of Wylie	\$0.562	\$392,487
Wylie ISD	\$1.397	\$975,631
Collin County	\$0.170	\$118,724
Collin College	\$0.080	\$55,870



LADERA LIVING 55+ COMMUNITIES

LADERA WYLIE TO COMMUNITY

Community Impact of Ladera Wylie

City Services Impact

Traffic Impact

Schools Impact

	Single Family	Ladera Wylie
Homes	100	168
Acres	47.37	47.37
Density	3.50	3.55

People / Home	3.50	1.64
People / Acre	7.4	5.8
Total Population	350	276

Cars / Home	2.9	1.40
Trips / Day / Home	10.10	4.90
Trips / Day / Acre	21.3	17.4

Students / Home	1.36	0
Students Total Development	136	0

Ladera Wylie Reduction

-21%

-74

-18%

Ladera

LADERA LIVING 55+ COMMUNITIES

Ladera Tavolo Park Model Home



Ladera

LADERA LIVING 55+ COMMUNITIES

Ladera Mansfield Reserve Model Home

05/14/2024 Item 5.



Ladera

LADERA LIVING 55+ COMMUNITIES

Ladera

LADERA LIVING 55+ COMMUNITIES

Even
Fido!

05/14/2024 Item 5.



Ladera

LADERA LIVING 55+ COMMUNITIES

Our Mission

To provide quality, lifestyle-rich homes in a lock-&-leave vibrant community for Active Adults, 55 & over.



LaderaLiving.com

| LaderaTexas.com



INTEGRITY GROUP

Developing & Building Dreams



Wylie City Council

AGENDA REPORT

Department: City Manager

Account Code: _____

Prepared By: Brent Parker

Subject

North Texas Municipal Water District Update.

Recommendation

Discussion.

Discussion



Wylie City Council

AGENDA REPORT

Department: WEDC

Account Code: _____

Prepared By: Jason Greiner

Subject

Discuss WEDC & The Retail Coach.

Recommendation

Discussion.

Discussion



Wylie City Council

AGENDA REPORT

Department: WEDC
Prepared By: Jason Greiner

Account Code: _____

Subject

Discuss the possible development of the FM 544 frontage in Regency Business Park.

Recommendation

Discussion.

Discussion

Property owners are seeking input from the City Council for a potential Planned Development on approximately 15.5 acres on the southwest corner of FM 544 and Hooper Road.

The current zoning is Agricultural and the Land Use Plan calls for Regional Commercial. Preliminary concept plans show a mix of restaurant/retail uses along FM 544 totaling roughly 53,000 sq. ft. of new construction on 12.6 acres, with 419 parking spots, median improvements, deceleration lanes, and a new signal at FM 544 and Hooper Road (exact sq. ft. and parking to be determined).

As the Council will recall, the WEDC has acquired land at the corner of Steel and Hooper and has been working with Kimley Horn on the Regency Business Park flood study since late 2023. WEDC Staff will share some of the findings and discuss the next steps to help the property owners market this property to developers.



Wylie City Council

AGENDA REPORT

Department: Public Information Office
Prepared By: Craig Kelly

Account Code: _____

Subject

Discuss the International Jet Ski Tournament at Collin Park Marina, located at 2200 St Paul Road Wylie, Texas.

Recommendation

Discussion.

Discussion

During a February 27, 2024 work session, Council discussed the IJSBA South Nationals Jet Ski Championship tournament at Collin Park Marina, on August 1-2, 2024. The park located at 2200 St Paul Road in Wylie is owned by the Army Corp of Engineers and leased to Mr. Woodruff, owner of Woody’s Boat Rentals and Woody’s on the Lake.

City Council asked that staff explore options for hosting a large concert on the lake in conjunction with the Jet Ski Tournament and return with recommendations.

According to Mr. Woodruff, the National Jet Ski Finals should attract 150 racers from around the country and approximately 500 spectators. Based on similar events a large number of the racers, sponsors, and potential spectators will stay at hotels and restaurants within Wylie. National sponsors include Oakley, Yamaha, Sea-Doo Watercraft, Yeti, and Kawasaki.

Wylie Fire Rescue has been consulted regarding this event for fire safety/access.



Wylie City Council

AGENDA REPORT

Department: City Manager/Finance
Prepared By: Brent Parker

Account Code: _____

Subject
Discuss the FY 2024-25 Budget.

Recommendation
Discussion.

Discussion