

# Wylie City Council Regular Meeting

April 09, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



---

## CALL TO ORDER

## INVOCATION & PLEDGE OF ALLEGIANCE

## PRESENTATIONS & RECOGNITIONS

PR1. Bracha Godsave - Shining The Way Award Term 3.

[PR2.](#) National Public Safety Telecommunicator Week.

[PR3.](#) Wylie Fire Rescue Station 2 Life Save Award.

## COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

## CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- [A.](#) Consider, and act upon, approval of March 26, 2024 Regular City Council Meeting minutes.
- [B.](#) Consider, and act upon, a Final Plat being a Replat of Lot 1, Block A of Validus Addition, creating Lot 1R-1 and Lot 1R-2, Block A of Validus Addition on 0.620 acres, located at 1602 and 1604 Martinez Lane.
- [C.](#) Consider, and act upon, Ordinance No. 2024-09 for a change in zoning from Agricultural (AG/30) to Agricultural - Special Use Permit (AG/30-SUP) on 0.055 acres to allow for Telecommunications Tower. Property located at 5085 Bennett Road (ZC 2024-01).
- [D.](#) Consider, and act upon, Resolution No. 2024-14(R) authorizing the City Manager of the City of Wylie to execute the Interlocal Agreement between the City of Wylie, Texas and the East Fork Special Utility District concerning waterline improvements along E. FM 544 from south of Alfred Drive to County Line Road.

## EXECUTIVE SESSION

### Sec. 551.071. CONSULTATION WITH ATTORNEY; CLOSED MEETING.

If A governmental body may not conduct a private consultation with its attorney except:

- (1) when the governmental body seeks the advice of its attorney about:
  - (A) pending or contemplated litigation; or
  - (B) a settlement offer; or

(2) on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.

ES1. Discuss property located at 2300 McMillen Rd.

### **RECONVENE INTO OPEN SESSION**

*Take any action as a result from Executive Session.*

### **REGULAR AGENDA**

1. Consider, and act upon, the acceptance of the resignation of Stephen Burkett and the appointment of Kevin Hughes to the City of Wylie Historic Review Commission to fill the term of April 2024 to June 30, 2025.
2. Consider, and act upon, Ordinance No. 2024-10 for a change in zoning from Agricultural (AG/30) to a Planned Development with single family attached, single family detached, commercial development, and open space on 25.037 acres. Property located near 605 Country Club Road (ZC 2023-18).

### **WORK SESSION**

WS1. Discussion regarding Wylie Fire Rescue’s overview and Five-Year Plan.

### **RECONVENE INTO REGULAR SESSION**

### **EXECUTIVE SESSION**

#### **Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.**

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

ES2. Discuss property generally located at Brown and Sanden.

### **RECONVENE INTO OPEN SESSION**

*Take any action as a result from Executive Session.*

### **READING OF ORDINANCES**

*Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.*

### **ADJOURNMENT**

### **CERTIFICATION**

I certify that this Notice of Meeting was posted on April 5, 2024 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

---

*Stephanie Storm, City Secretary*

---

*Date Notice Removed*

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

- § 551.071 – Private consultation with an attorney for the City.
- § 551.072 – Discussing purchase, exchange, lease or value of real property.
- § 551.074 – Discussing personnel or to hear complaints against personnel.
- § 551.087 – Discussing certain economic development matters.
- § 551.073 – Discussing prospective gift or donation to the City.
- § 551.076 – Discussing deployment of security personnel or devices or security audit.



# Wylie City Council

---

## AGENDA REPORT

Department: Fire Account Code: \_\_\_\_\_  
Prepared By: Brandon Blythe

### Subject

National Public Safety Telecommunicator Week.

### Recommendation

Presentation.

### Discussion

When a citizen thinks of 9-1-1 they usually think of police, fire trucks, and ambulances with lights and sirens blaring. But the initial first responder is the 9-1-1 dispatcher answering the emergency call. Dispatchers were recently overlooked as an emergency responder but, have been reclassified as first responders. They work long hours, holidays, and weekends, with poise under pressure, aid, and compassion in times of distress, all while making critical decisions under pressure. They are first responders to the general public, as well as being first responders to fire and police personnel. They are the voice, giving medical direction to a parent, whose infant is no longer breathing, or contacting other emergency agencies for assistance, when local fire and police personnel are overwhelmed. Many people do not stop to think about these individuals until they are faced with an emergency themselves, but these professionals often make the difference between life and death in many instances.



# Wylie City Council

---

## AGENDA REPORT

Department: Fire  
Prepared By: Fire – Brandon Blythe

Account Code: \_\_\_\_\_

### Subject

Wylie Fire Station 2 Life Save Award.

### Recommendation

Presentation

### Discussion

On February 4, 2024, Wylie Fire Rescue received a cardiac arrest call. Bystanders from Parker Road Veterinary Hospital witnessed a man collapse in their parking lot. Dispatcher Robin Livingston dispatched Wylie Police, Fire, and EMS to the scene and proceeded to provide CPR instruction to the veterinary staff. Officers Preston Fredericks and Jordan Cantu arrived on scene and resumed CPR and applied an AED which delivered a shock prior to EMS and Fire arrival. Medic 142 staffed by FF Paramedic Carlos Puente, EMS Paramedic Jeff Thompson, and EMS EMT Kaleb Hunt arrived on scene at the same time as Quint 142 staffed by Captain Robert Nishiyama, Driver Cory Watts, and FF Jordan Davis. The crews controlled the airway, inserted an IO, and defibrillated the patient twice. The patient regained a pulse. Every step in the chain of survival saved this patient’s life. Bystanders witnessed the arrest and were willing to provide care, the dispatcher provided pre-arrival instructions, the police officers resumed CPR and applied an AED, and EMS personnel continued the lifesaving care and transportation of the patient. This is a team to be proud of!



# Wylie City Council

---

## AGENDA REPORT

Department: City Secretary  
Prepared By: Stephanie Storm

Account Code: \_\_\_\_\_

### Subject

Consider, and act upon, approval of March 26, 2024 Regular City Council Meeting minutes.

### Recommendation

Motion to approve the Item as presented.

### Discussion

The minutes are attached for your consideration.

# Wylie City Council Regular Meeting Minutes

March 26, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



## CALL TO ORDER

Mayor Matthew Porter called the regular meeting to order at 6:02 p.m. The following City Council members were present: Councilman David R. Duke, Councilman Dave Strang, Mayor *pro tem* Jeff Forrester (6:42 p.m.), Councilman Sid Hoover, and Councilman Gino Mulliqi. Councilman Scott Williams was absent.

Staff present included: City Manager Brent Parker; Deputy City Manager Renae Ollie; Assistant City Manager Lety Yanez; Fire Chief Brandon Blythe; Public Information Officer Craig Kelly; City Secretary Stephanie Storm; Finance Director Melissa Brown; City Engineer Tim Porter; Public Works Director Tommy Weir; Community Services Director Jasen Haskins; Parks and Recreation Director Carmen Powlen; Police Lieutenant Jeff Callan; Library Director Ofilia Barrera; Human Resources Director Jennifer Beck; Municipal Court Administrator Lisa Mangham; Wylie Economic Development Executive Director Jason Greiner; and various support staff.

## INVOCATION & PLEDGE OF ALLEGIANCE

Councilman Strang led the invocation, and Councilman Hoover led the Pledge of Allegiance.

## PRESENTATIONS & RECOGNITIONS

### **PR1. Congressman Keith Self presenting congratulatory letters to the Wylie Fire Rescue 2023 Award Winners.**

Michelle Bishop and Susan Fischer, representing Congressman Self's office, recognized and presented Congressional Certificates of Recognition to 2023 Wylie Fire Rescue Award recipients.

### **PR2. Wylie Way Students (K-12).**

Mayor Porter, WISD Board President Jacob Day, and WISD Superintendent Dr. David Vinson presented a medallion to students demonstrating "Shining the Wylie Way." Every nine weeks one student from each WISD campus is chosen as the "Wylie Way Student."

Mayor Porter recessed the Council into a break at 6:38 p.m.

Mayor *pro tem* Forrester took his seat at the dais at 6:42 p.m.

Mayor Porter reconvened the Council into Regular Session at 6:48 p.m.

## COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

There were no members of the public present wishing to address the Council.

## CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. **Consider, and act upon, approval of March 12, 2024 Regular City Council Meeting minutes.**
- B. **Consider, and act upon, Resolution No. 2024-12(R) of the City of Wylie, Collin, Dallas and Rockwall counties, Texas, amending Resolution No. 2024-03(R), Sections 2 and 3, to amend the Collin County early voting and election day polling locations.**
- C. **Consider, and act upon, the City of Wylie Monthly Revenue and Expenditure Report for February 29, 2024.**
- D. **Consider, and place on file, the City of Wylie Monthly Investment Report for February 29, 2024.**
- E. **Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of February 29, 2024.**
- F. **Consider, and act upon, Ordinance No. 2024-08 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 1.074 acres to allow for a drive-through restaurant use. Property located at 2806 W FM 544. (ZC 2023-19).**
- G. **Consider, and act upon, the approval of a Termination Agreement Regarding Southeast Collin County EMS Coalition Agreements and Mutual Release between Collin County, the City of Lavon, the City of Parker, the Town of Saint Paul, and the City of Wylie, Texas, and authorizing the City Manager to execute any necessary documents.**

### Council Action

A motion was made by Councilman Duke, seconded by Councilman Mulliqi, to approve the Consent Agenda as presented. A vote was taken and the motion passed 6-0 with Councilman Williams absent.

## REGULAR AGENDA

1. **Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural (AG/30) to Agricultural - Special Use Permit (AG/30-SUP) on 0.055 acres to allow for Telecommunications Tower. Property located at 5085 Bennett Road (ZC 2024-01).**

### Staff Comments

Community Services Director Haskins addressed the Council stating the applicant, Verizon Wireless, is requesting a Special Use Permit (SUP) on a 60' by 40' leased space from Wylie ISD located in the southeast corner behind Wylie East High School. This request is for a 100-foot monopole tower which sits about 120 feet from the right-of-way of Bennett Road. The applicant will follow all the rules and regulations of the City, such as an 8-foot-tall concrete masonry unit (CMU) wall around the bottom and landscaping to make it look aesthetically pleasing from the road. The site will be accessed from a 30-foot access easement as proposed on the proposed zoning exhibit. One notification was mailed out to WISD and staff did not receive a response for or against it. Due to the US Telecommunications Act if Council were to deny this request the City does have to provide a written letter as to why; therefore, staff would need a specific reason for denial. After clarifying that the tower would be leased from the ISD and be located on ISD property the Planning and Zoning Commission did recommend approval 7-0.

### Public Hearing

Mayor Porter opened the public hearing on Item 1 at 6:52 p.m. asking anyone present wishing to address Council to come forward.



No one was present wishing to address the Council.

Mayor Porter closed the public hearing at 6:52 p.m.

### **Council Action**

A motion was made by Councilman Mulliqi, seconded by Councilman Duke, to approve Item 1 as presented. A vote was taken and the motion passed 6-0 with Councilman Williams absent.

2. **Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural (AG/30) to a Planned Development with single-family attached, single-family detached, commercial development and open space on 25.037 acres. Property located near 605 Country Club Road (ZC 2023-18).**

### **Staff Comments**

Community Services Director Haskins addressed the Council stating the applicant is requesting a Planned Development (PD) on 25 acres north of Fire Station #2 on Country Club that would allow for 50 single-family homes on about 15 acres, 32 townhomes on about four acres, roughly 24,000 square feet of commercial on about three acres, and roughly four acres of HOA owned and maintained open space. A similar development proposal was denied last year and the applicant has taken Council and the citizen's comments into consideration and tried to make adjustments to reflect those comments. The single-family homes will be built with all the current design standards with a more traditional design, rather than a modern design. The street connection into Presidential Estates to the north will be completely closed off from this particular development and Washington Place is still open for emergency vehicle access only. The applicant included commercial along Country Club to comply with the future land use plan, but at the same time, ensured the commercial will not back up to the existing residential lots in Presidential Estates, as that was a concern of some of the citizens that live there. In addition, the townhome lots will have a front setback of five feet, which would allow more of a brownstone look so they will be closer to the front street with all of the residential parking located behind the townhomes. A traffic impact analysis has been added as a requirement before this development can proceed even if zoning were to be approved this evening. In addition, the PD does prohibit some uses within the commercial, such as smoke shops, automotive repair, sexually oriented businesses, and equipment rental; anything that is normally allowed in Commercial Corridor but may be considered industrial to keep it more of a neighborhood friendly type of businesses. The zoning as presented is generally compatible with the future land use plan. Staff mailed 41 notices to property owners within the 200 feet that are required and received five responses against the proposal, and staff received an additional 18 from outside of the 200 feet against, and one in favor of the proposal. During the Planning and Zoning Commission (P&Z) there were concerns about increased traffic and the commercial space, and the Commission voted 4-2 to recommend approval with the dissenting Commissioners saying they liked the proposal overall but would want commercial across the entire frontage as it is shown on the future land use plan.

### **Applicant Comments**

Doug Herring, representing Douglas Herring & Associates, addressed the Council giving a presentation on the College Park Development Proposal including the concept plan and renderings of examples of the single-family homes.

### **Council Comments**

Mayor *pro tem* Forrester asked if the Washington Street pass-through for emergency vehicles only would contain a gate. Herring replied there would be a gate and a privacy fence along the alley. Forrester asked with the alley that currently exists in Presidential Estates, will there be an issue with residents backing up out of their driveway with the proposed fence. Haskins replied the right-of-way in the alley will be sufficient. Councilman Mulliqi asked if the intent is to build the residential and commercial at the same time. Herring replied the townhomes and commercial will be constructed first at the same time, but not the residential as the lots will be purchased by individual homeowners. Mulliqi confirmed they are not proposing drive-through restaurants on the commercial properties. Herring replied they were not. Mulliqi expressed concerns with the vertical positioning of the commercial property near the fire station as it may not be development-friendly, and asked for the proposed square footage of the townhomes. Herring replied the townhome's square footage is proposed at 2,500 to 3,000 square feet. Forrester

asked if there was a builder selected for the single-family homes. Herring replied there would be two to three builders but those have not been selected yet. Forrester asked if the single-family home lots would be for sale to an individual or a builder. Herring replied the lot would be sold to an individual and they would have to use the specified builder(s). Mayor Porter confirmed the amenities will be put in and maintained by the HOA, and asked how those get constructed if the single-family lots do not develop. Herring replied it is usually based on a percentage of homes built; however, the clubhouse will be done prior, to help sell the homes. Forrester added in the past, developers have made promises of amenities but did not put them in and would like them to be completed at the same time the commercial is put in to ensure it will be there for the use of the townhome residents. Herring replied it can be developed all at the same time, and from his understanding, permits will not be issued if those items are not completed. Forrester confirmed everything down Country Club can be completed all at one time with the townhomes. Herring confirmed that this is correct. Mulliqi confirmed the lots are 10,000 square foot lots and verified the price points of the homes. Herring confirmed those were correct. City Manager Parker read comments aloud that were submitted before the meeting from Councilman Williams who expressed concerns with the pickleball courts by the iron fence along Country Club Road, and would like to see more parking on the rear of the townhomes. Herring replied they have room for additional parking in the rear of the townhomes, and for the pickleball courts, they could do a stone wall along the bottom with a wrought iron fence on top.

### **Public Hearing**

Mayor Porter opened the public hearing on Item 2 at 7:10 p.m. asking anyone present wishing to address Council to come forward.

David Dahl, residing in Presidential Estates, addressed the Council stating he was in favor of the landowner's rights to develop their land.

Aleksandra Rolfson addressed the Council expressing concerns with the number of homes proposed, the maintenance of the retaining walls, the increase in traffic, the effect on the school district, and the size of backyards.

Darin Reeves, residing in Presidential Estates, asked if there will be lights at the basketball courts, and what are the guidelines for lights, privacy, and noise as he resides right behind the proposed basketball court. Reeves added he would be opposed to lights, would like controls to be thought of ahead of time, does not think this development fits in this area, and would like a better understanding of regulations and what is going in before this is approved.

Lynette Harwell, residing in Presidential Estates, addressed the Council with concerns that this land has been agricultural land and requested the zoning not change to residential at this time, this is not a good project for this property, would like to know when the traffic report will be completed as she has concerns with the addition of more cars.

Mayor Porter closed the public hearing at 7:23 p.m.

### **Council Comments**

Porter asked when the traffic impact analysis (TIA) would be seen. Haskins replied this is addressed in the general conditions in the PD requirements and would have to be turned in and reviewed before approval of the preliminary plat. Porter asked if quiet hours and lighting were addressed. Haskins replied the City has an ordinance that addresses these two areas, Section 7(e) for spillover lighting and Section 7(f) for noise, and added illumination studies with site plans could be required. Porter asked if there would be lights on the courts. Herring replied all the information for illumination will be on the submitted plans, added there will be a retention pond in the back to capture the water, and added the developer is trying to do the best he can to make the most people happy and trying to meet all of the requirements. Forrester expressed concerns with the back of commercial building two facing Country Club as it is an eyesore and would like front-facing businesses, likes the plan overall, and the developer has taken comments from the neighbors and implemented changes. Herring replied they could try switching the parking lot and the building. Mulliqi asked if the park would be gated for residents' use only. Herring replied it will be gated as it will be maintained by the HOA. Mulliqi asked if commercial building one was two stories. Herring replied it is but may not be two levels of occupancy. Mulliqi stated he would want all of the commercial buildings to be front-facing and would want all of the homes that back up to Presidential Estates to be one-story. Councilman

Strang stated he agrees with Forrester and Mulliqi about having the building front-facing, asked about the fencing around the pickleball court to ensure balls will not go into other yards, agreed with Mulliqi that the northern lots be one-story, and confirmed they are not requesting any variances on the lots. Herring replied they are not requesting variances, and that he would need to talk with the developer about the single-story homes backing up to Presidential Estates. Mulliqi stated he proposed that this item be tabled so they can come back with additional information. Parker encouraged the Council to provide the architect clear guidance as this is the third time the developer has come before the Council and they have addressed a majority of the concerns each time. Herring asked if they lose a lot to get one-story homes, would Council be okay with more commercial on the frontage in order to be feasible to the investor. Forrester stated we are trying to make changes to a plan that Council has already made changes to three times and would be apprehensive to ask the developer to go back to make more changes, and this use of the property with the way it is laid out with the one change of flipping the commercial building is an acceptable plan, and added Council is only approving the zoning and the concept tonight, not the plan. Councilman Hoover stated he agreed with Forrester.

### **Council Action**

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to approve the Item as presented with the change of swapping commercial building two and the parking lot. A vote was taken and the motion passed 4-2 with Councilmen Duke and Mulliqi voting against and Councilman Williams absent.

3. **Consider, and act upon, Resolution No. 2024-13(R), approving a Chapter 380 Agreement between the City of Wylie and Ferah Foods III, LLC, and authorizing the City Manager to execute the Chapter 380 Agreement.**

### **Staff Comments**

City Manager Parker addressed the Council stating Ferah Foods is developing a restaurant in front of Seventy8 & Westgate apartments near Highway 78 and Westgate Way. A rebate in the amount not to exceed \$200,000 with a Chapter 380 Agreement containing different milestone requirements has been discussed.

### **Applicant Comments**

Jeremy Berlin, General Manager & Co-Founder of Ferah Foods, addressed the Council giving a presentation on Ferah Smokehouse Cantina including the family-owned history, Ferah's Family of Brands, Ferah's Mission, ways they invest in the community, a menu sneak peek, Mama Rosa's Specialties, a groovy southwestern interior, construction update, The Ferah Difference, and contact information. Berlin added they hope to open in June.

### **Council Comments**

Mayor Porter thanked the applicant for the presentation and for getting involved and giving back to the community before being open.

### **Council Action**

A motion was made by Councilman Strang, seconded by Councilman Duke, to approve Item 3 as presented. A vote was taken and the motion passed 6-0 with Councilman Williams absent.

4. **Consider, and place on file, the Wylie Economic Development Corporation 2023 Annual Report.**

### **Staff Comments**

Wylie Economic Development Executive Director Greiner and Board President Whitehead addressed the Council stating the EDC brings an annual report to the Council for review of all their expenses and programs in addition to the budget update. Greiner reviewed some of the high-level expenses and notable items that are included in the annual report which was approved by the EDC Board. Greiner presented the total available resources including the beginning fund balance of \$10.7 million, a total revenue of \$5.1 million, with a majority of that funded through sales tax in the amount of \$4.6 million (which was up over 11.25 percent over the previous year), and additional revenue including lease income and the sale of two properties for a net effect of gain/loss sale of property of \$75,000. The total expenses were \$4 million, with personnel at \$471,000, administrative costs at \$166,000, marketing at \$222,000, debt service at \$1.2 million, acquisition of property at \$345,000, infrastructure at \$130,000, incentives at

\$855,000, and engineering, environmental and maintenance of properties at \$658,000, resulting in an ending cash balance of \$12.6 million. The total Performance Agreement incentives paid were \$855,000 including office, medical, commercial at \$569,000, industrial at \$257,000, and sales tax reimbursements at \$29,000. Of the incentive payments made, \$571,000 represented either a one-time commitment or the final payment on a multi-year agreement. Real Estate totaled 41 acres with 30,000 square feet of improvements and a \$16 million cost basis, with outstanding debt associated with real estate of \$7.6 million. In 2023, commercial and industrial properties were valued at \$1 billion, or 12.9 percent of the total \$9.2 billion market value, which is the first time the city of Wylie has had a billion-dollar commercial and industrial valuation. Over the past five years, commercial and industrial values have increased by \$287 million, or 37.23 percent, and the total valuations have increased by \$3.9 billion, or a 75 percent increase. High-impact initiatives include: Woodbridge Crossing at 601,000 square feet, \$89 million in taxable value, \$88 million in annual sales, \$1.76 million in annual sales tax, \$2.2 million in total taxes paid per year, and is projected to generate over \$22 million for the City over the next 10 years; and Woodbridge Centre, also known as the Kroger center, at just under 200,000 square feet, with \$50 million in taxable value and \$743,000 in total taxes paid to the City on an annual basis. Greiner reported that the 544 Gateway property and the Highway 78 and Brown Street redevelopments have multiple properties under contract. Greiner briefed on a few other high-impact initiative projects that have been a focus of the EDC. The 2024 goals and objectives include downtown revitalization and expansion, 544 Gateway Addition and Regency Business Park, Highway 78 Developments (Eubanks to Wylie East), and to expand and promote BRE and workforce programs.

Whitehead gave a brief overview of additional activities of the WEDC Board including new bylaw changes and the development of a handbook for new board members.

### **Council Comments**

Mayor *pro tem* Forrester congratulated the EDC on the expansion and promotion of the BRE and workforce programs being one of the primary efforts of the EDC. Mayor Porter thanked staff and board members for their work.

### **Council Action**

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Duke, to approve Item 4 as presented. A vote was taken and the motion passed 6-0 with Councilman Williams absent.

## **WORK SESSION**

Mayor Porter convened the Council into Work Session at 8:19 p.m.

Mayor Porter recessed the Council into a break at 8:19 p.m.

Mayor Porter reconvened the Council into Work Session at 8:27 p.m.

### **WS1. Discussion regarding Public Works Department overview and Five-Year Plan.**

Public Works Director Weir addressed the Council stating a presentation on Public Works and their five-year plan including the four divisions, overview of the organization, overview of the administration, the five year plan for Public Works and the Parks complex administration including limited parking, limited storage, limited locker room, and limited office space, five-year plan administration personnel needs, fleet services overview, Fleet Replacement Criteria, five-year plan fleet personnel and equipment needs, 2023 review of fleet services, street maintenance/stormwater/traffic overview, five-year plan for street/stormwater/traffic personnel, five-year plan for sidewalk repair, five-year plan for equipment needs for street maintenance, five-year plan for equipment needs for stormwater, five-year plan for equipment needs for traffic, overview of utilities: water distribution/water quality/wastewater, five-year plan for personnel needs for water, five-year plan for equipment needs for water, five-year plan for water quality upgrades, overview of utilities: wastewater, five-year plan for vehicle needs for wastewater, five-year plan for infrastructure improvements for wastewater, and an overview of Public Works positions.

Council comments and questions included is the information provided excluding all fire vehicles, what is taken into account for the reliability factors for vehicles, clarified that sidewalk repair is not something that all cities do as that typically falls under the purview of the residents, what is the annual cost for the contract with the street sweeper, and confirmed the daily pumping in water distribution and quality is millions of gallons a day.

## **WS2. Discuss Mid-Year Budget Adjustment for the Proposed Pay Plan.**

City Manager Parker addressed the Council giving a presentation on the proposed pay plan including the proposed pay plan increases for general government, executive, and police and fire departments, the mid-year budget adjustment for the proposed pay plan, and the tax rate increase to support proposed General Fund pay plan for 2025.

Council comments and questions included what is compression in the pay plan, is there any cushion built in that we are forecasting what could happen to peer cities next budget cycle, want to ensure we are in line and not trying to play catch-up next year, have the same consultants that performed the pay analysis two to three years ago update their data, concerned about the percentage increase of compensation under \$80,000 versus those with compensation over \$80,000, willing to support an increase in overall payroll sufficient to compensate the employees competitively but will not agree now to a tax increase for next year without reviewing the validity of next year's budget, see how quickly the consultants could assemble the data like they have in the past or a shortened version even if that means the changes are retroactively applied once the data is finalized, thanked staff for putting this information together quickly, it is tough to figure out the balance of raising property taxes or cutting City services, confirmed what a one-cent increase would be to the taxpayer, this increase will not fix all of our retention issues but employees will know that Council listens and supports them, and in support of the mid-year budget amendment as proposed and understand this will affect next year's budget and tax rate.

## **RECONVENE INTO REGULAR SESSION**

Mayor Porter reconvened the Council into Regular Session at 9:42 p.m.

## **EXECUTIVE SESSION**

Mayor Porter convened the Council into Executive Session at 9:42 p.m.

### **Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.**

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

### **ES1. Consider the sale or acquisition of properties located at Brown/Eubanks, FM 544/Cooper, FM 544/Sanden, FM 1378/Park, Jackson/Oak, Regency/Steel, and State Hwy 78/Brown.**

### **Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.**

This chapter does not require a governmental body to conduct an open meeting:

- (1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or
- (2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

### **ES2. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2013-9a, 2022-1c, 2022-10c, 2023-2d, 2023-5b, 2023-9b, 2023-12c, 2024-1a, 2024-1c, 2024-2c, 2024-3a, and 2024-3b.**

**RECONVENE INTO OPEN SESSION**

*Take any action as a result from Executive Session.*

Mayor Porter reconvened the Council into Open Session at 10:09 p.m.

**READING OF ORDINANCES**

*Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.*

City Secretary Storm read the caption of Ordinance No. 2024-08 into the official record.

**ADJOURNMENT**

A motion was made by Councilman Mulliqi, seconded by Mayor Porter, to adjourn the meeting at 10:11 p.m. A vote was taken and the motion passed 6-0 with Councilman Williams absent.

\_\_\_\_\_  
**Matthew Porter, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Stephanie Storm, City Secretary**



# Wylie City Council

---

## AGENDA REPORT

Department: Planning  
Prepared By: Jasen Haskins

Account Code: \_\_\_\_\_

### Subject

Consider, and act upon, a Final Plat being a Replat of Lot 1, Block A of Validus Addition, creating Lot 1R-1 and Lot 1R-2, Block A of Validus Addition on 0.620 acres, located at 1602 and 1604 Martinez Lane.

### Recommendation

Motion to approve the Item as presented.

### Discussion

**OWNER: Validus LLC**

**APPLICANT: Barton Chapa Surveying**

The applicant has submitted a Replat to create Lot 1R-1 and Lot 1R-2, Block A of Validus Addition. The property is located at 1602 and 1604 Martinez Lane and is zoned Light Industrial (LI). The site is developed with two office/warehouse buildings that were completed in 2023. The purpose of the Replat is to create two lots out of one and allow for the sale of the office/warehouse buildings individually.

This plat is dedicating a 24' mutual access easement with access from Martinez Lane. A 10' utility easement is also shown along the street frontage of the subject property.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The City Council must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

**P&Z Recommendation**

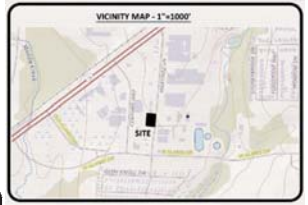
The Commission voted 6-0 to recommend approval.

**SURVEYOR'S NOTES:**

- Bearings are based on the State Plane Coordinate System, Texas North Central Zone (4202) North American Datum of 1983 (NAD '83), distances are surface with a combined scale factor of 1.00015271.
- This property lies within Zone X of the Flood Insurance Rate Map for Collin County, Texas and Incorporated Areas, map no. 48085C0335, with an effective date of 6/2/2009, via scaled map location and graphic plotting.
- Monuments are found unless specifically designated as set.
- Elevations (if shown) are North American Vertical Datum of 1988 (NAVD '88).
- The purpose of this replat is to create 2 lots from one lot.

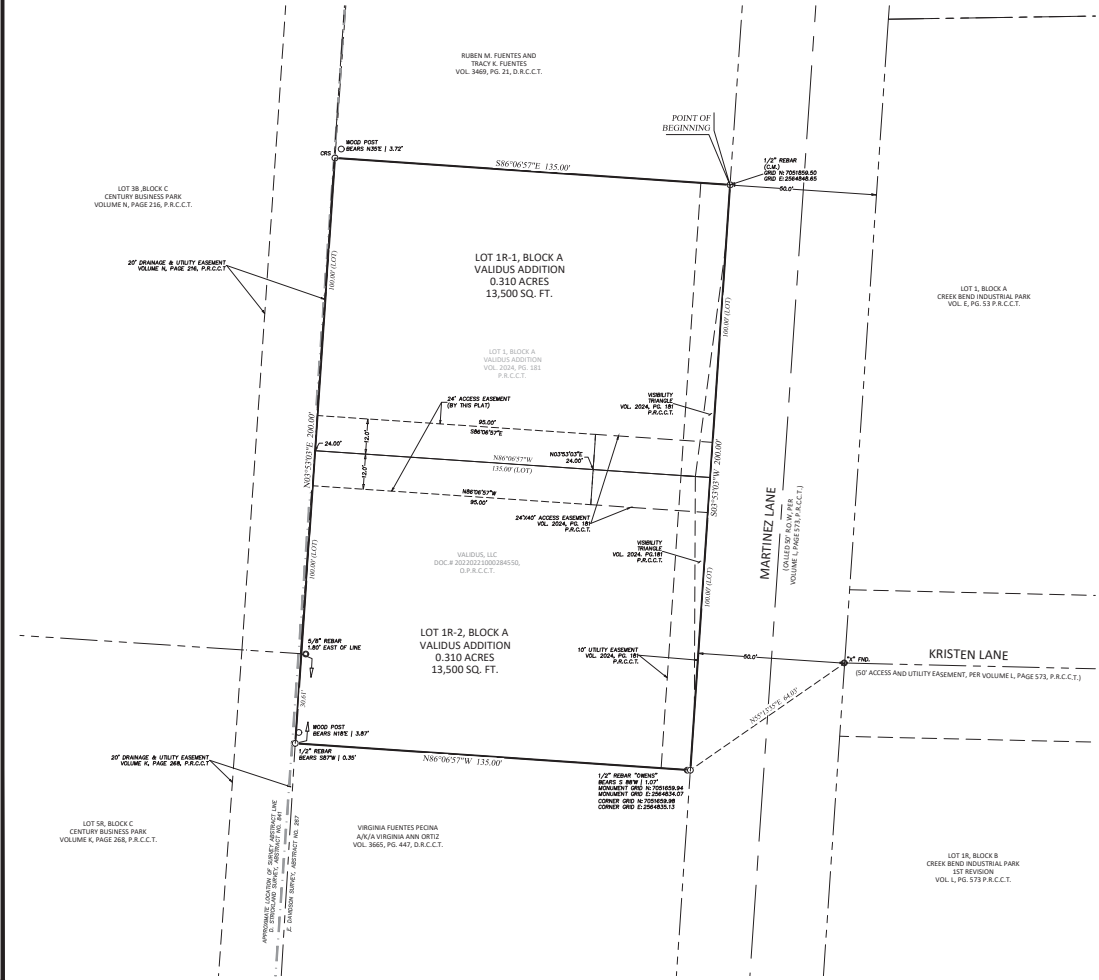
**LEGEND OF ABBREVIATIONS**

- D.R.C.C.T. DEED RECORDS, COLLIN COUNTY, TEXAS
- P.R.C.C.T. PLAT RECORDS, COLLIN COUNTY, TEXAS
- O.P.R.C.C.T. OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
- DOC.# DOCUMENT NUMBER
- C.M. CONTROLLING MONUMENT
- SQ. FT. SQUARE FEET
- ROW RIGHT OF WAY
- CRS CAPPED REBAR SET



**LEGEND OF LINETYPES**

- SUBJECT TRACT BOUNDARY
- ADJOINING TRACT BOUNDARY
- EASEMENT
- SANITARY SEWER LINE
- FENCE (WIRE/WOOD/METAL)
- WATER LINE
- CENTER LINE
- GAS LINE
- OVERHEAD UTILITY



STATE OF TEXAS §  
COUNTY OF COLLIN §

WHEREAS VALIDUS, LLC is the owner of a tract situated in the E. Davidson Survey, Abstract Number 267, City of Wylie, Collin County, Texas, said tract being all of Lot 1 in Block A of Validus Addition, an addition in the City of Wylie as recorded under Volume 2024, Page 181, Plat Records, Collin County, Texas, and being the same tract described in the deed to Validus, LLC, recorded in Document Number 2022021000284550, also originally described in the deed to Christina Plain, recorded in Volume 5993, Page 2628, both in the Official Public Records, Collin County, Texas, the subject tract being more particularly described as follows:

**BEGINNING** at a 1/2 inch rebar found at the northeast corner of said Lot 1 and the herein described tract, lying on the west right-of-way of Martinez Lane (called 50-foot right-of-way, by plat recorded in Volume L, Page 573, Plat Records, Collin County, Texas); **THENCE** with the east line of said Lot 1, SOUTH 03 degrees 53 minutes 03 seconds WEST, a distance of 200.00 feet to a point from which a 1/2 inch rebar with cap stamped "OWENS" found bears SOUTH 88 degrees WEST, 1.07 feet; **THENCE** with the south line of said Lot 1, NORTH 86 degrees 06 minutes 57 seconds WEST, a distance of 135.00 feet to a point from which a 1/2 inch rebar found bears SOUTH 87 degrees WEST, 0.35 feet, and from which a 4" wood post found bears NORTH 18 degrees EAST, 3.87 feet; **THENCE** with the west line of said Lot 1, NORTH 03 degrees 53 minutes 03 seconds EAST, passing at a distance of 30.61 feet the southeast corner of Lot 3B, Block C, Century Business Park, an addition to the City of Wylie, Collin County, Texas, recorded in Volume N, Page 216, Plat Records, Collin County, Texas, from which a 5/8 inch rebar found bears 1.80" east of line, continuing for a total distance of 200.00 feet to a 1/2 inch rebar with pink plastic cap stamped "BARTON CHAPA" set, from which a 4" wood post found bears NORTH 35 degrees EAST, 3.72 feet; **THENCE** with the north line of said Lot 1, SOUTH 86 degrees 06 minutes 57 seconds EAST, a distance of 135.00 feet, returning to the **POINT OF BEGINNING**, and enclosing 0.620 acres (27,000 square feet) of land, more or less.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS**

That VALIDUS, LLC acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as **LOT 1R-1 and LOT 1R-2, BLOCK A, VALIDUS ADDITION**, an addition in the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereof. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No building, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over, or across the easements as show, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easements limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Wylie, Texas.

VALIDUS, LLC  
WITNESS, my hand, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

BY: \_\_\_\_\_  
Authorized Signature of Owner

Printed name and Title  
STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, Owner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

**SURVEYOR'S CERTIFICATE**

That I, John H. Barton III, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby certify that this Plat is from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

John H. Barton III, RPLS# 6737  
STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same as for the purpose and consideration therein expressed, and in the capacity therein stated.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

**APPROVAL BLOCK**  
**RECOMMENDED FOR APPROVAL**

Chairman, Planning and Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_

**APPROVED FOR CONSTRUCTION**

Mayor, City of Wylie, Texas \_\_\_\_\_ Date \_\_\_\_\_

**ACCEPTED**

Mayor, City of Wylie, Texas \_\_\_\_\_ Date \_\_\_\_\_

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing plat of **VALIDUS ADDITION**, in the City of Wylie, Texas, was submitted to the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines shown and set forth in and upon said plat, and said Council further authorized the Mayor to note the acceptance thereof by signing his name hereunto subscribed.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

City Secretary, City of Wylie, Texas

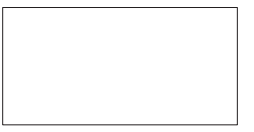
**SURVEYOR**  
**BARTON CHAPA SURVEYING**  
5200 State Highway 121  
Colleyville, TX 76034  
Phone: 817-864-1957  
Info@bcsw.com  
TBPLS Firm #10194474

**OWNER/DEVELOPER**  
VALIDUS, LLC  
11107 LAWNHAVEN RD  
DALLAS, TX 75230  
CONTACT: MICHAEL PARKER  
214.228.3586  
PCHPARKER@GMAIL.COM

JOB NO.	2022-900-205
DRAWN:	BCS
CHECKED:	JHB
<b>TABLE OF REVISIONS</b>	
<b>DATE</b>	<b>SUMMARY</b>

**VALIDUS ADDITION**  
**WYLIE, TEXAS**

**REPLAT**  
**VALIDUS ADDITION**  
LOTS 1R-1 AND 1R-2, BLOCK A  
0.620 ACRES  
SITUATED IN TRACT 13 OF THE E. DAVIDSON SURVEY, ABSTRACT #267  
CITY OF WYLIE, COLLIN COUNTY, TEXAS  
"L1" ZONING PER CITY OF WYLIE ZONING MAP



SHEET  
**VO1**  
REPLAT





# Wylie City Council

---

## AGENDA REPORT

Department: Planning  
Prepared By: Jasen Haskins

Account Code: \_\_\_\_\_

### Subject

Consider, and act upon, Ordinance No. 2024-09 for a change in zoning from Agricultural (AG/30) to Agricultural - Special Use Permit (AG/30-SUP) on 0.055 acres to allow for Telecommunications Tower. Property located at 5085 Bennett Road (ZC 2024-01).

### Recommendation

Motion to approve the Item as presented.

### Discussion

On March 12, 2024 City Council approved the writing of an ordinance for a change in zoning from Agricultural (AG/30) to Agricultural - Special Use Permit (AG/30-SUP) on 0.055 acres to allow for Telecommunications Tower. Property located at 5085 Bennett Road (ZC 2024-01).

Final approval of Zoning Case 2024-01 requires the adoption of the Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject ordinance allows for the rezoning. Exhibit A (Legal Description), Exhibit B (Zoning Exhibit), and Exhibit C (SUP Conditions) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

**ORDINANCE NO. 2024-09**

**AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2024-01, FROM AGRICULTURAL (AG/30) TO AGRICULTURAL - SPECIAL USE PERMIT (AG/30-SUP) ON .055 ACRES TO ALLOW FOR A TELECOMMUNICATIONS TOWER; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:**

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Agricultural - Special Use Permit (AG/30-SUP), said property being described in Exhibit A (Legal Description), hereto and made a part hereof for all purposes.

SECTION 2: That a Zoning Exhibit and SUP Conditions are an integral component of the development of the property and are attached as Exhibit B and Exhibit C.

SECTION 3: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 6: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 7: This ordinance shall be in full force and effect from and after its adoption by the City

Council and publication of its caption as the law and the City Charter provide in such cases.

**SECTION 8:** The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

**DULY PASSED AND APPROVED** by the City Council of the City of Wylie, Texas, this 9th day of April, 2024.

---

Matthew Porter, Mayor

ATTEST:

---

Stephanie Storm, City Secretary

*DATE OF PUBLICATION:* April 17, 2024, in *The Wylie News*

Site Name: Pilot Grove  
 H&S No.: 3010.1637  
 Date: 6/22/23

## Exhibit "A"

### Legal Description

#### PARENT TRACT DESCRIPTION

*All that certain lot, tract or parcel of land situated in the F DEL PINA SURVEY, ABSTRACT NO. 688, Collin County, Texas, and being all of that 63.500 acres tract of land as described in a Warranty deed from Waldine A. Little to Jack M. Little, dated September 19, 1980 and being recorded in Volume 1306, Page 582 of the Land Records Collin County, Texas, and being more particularly described as follows:*

*(WARRANTY DEED AS RECORDED IN BOOK 5889, PAGE 22, DEED RECORDS OF COLLIN COUNTY, TEXAS.)*

*Said 63.50 acre tract also being known as Lot 1, Block A, Wylie East High School Addition as recorded in Plat Book 2008, Page 138, Plat Records of Collin County, Texas.*

#### LESSEE'S LEASE PREMISES DESCRIPTION

*A tract of land lying in and being a part of Lot 1, Block A, Wylie East High School Addition as recorded in Plat Book 2008, Page 138, Plat Records of Collin County, Texas and being further described in Book 5889, Page 22, Deed Records of Collin County, Texas; Said tract being more particularly described as follows:*

*Commencing a Mag Nail found for the Southwest corner of said Lot 1; Thence S 89°19'05" E on the South line of said Lot 1, a distance of 1,660.05 feet to a point; Thence N 00°40'55" E perpendicular to said South line a distance of 100.52 feet to a 1/2" Iron Rod with cap set for the Southwest corner, said corner being the point of beginning; Thence N 20°08'15" W a distance of 40.00 feet to a 1/2" Iron Rod with cap set for the Northwest corner; Thence N 69°51'45" E a distance of 60.00 feet to a 1/2" Iron Rod with cap set for the Northeast corner; Thence S 20°08'15" E a distance of 40.00 feet to a 1/2" Iron Rod with cap set for the Southeast corner; Thence S 69°51'45" W a distance of 60.00 feet to the point of beginning, containing 2,400.00 square feet or 0.055 acres more or less.*

#### LESSEE'S ACCESS/UTILITY/FIBER EASEMENT

*A 30.00 foot wide easement for ingress, egress, utility and fiber purposes crossing a part of Lot 1, Block A, Wylie East High School Addition as recorded in Plat Book 2008, Page 138, Plat Records of Collin County, Texas and being further described in Book 5889, Page 22, Deed Records of Collin County, Texas; said easement being 15.00 feet on each side of the following described centerline:*

*Commencing a Mag Nail found for the Southwest corner of said Lot 1; Thence S 89°19'05" E on the South line of said Lot 1, a distance of 1,718.96 feet to a point; Thence N 00°40'55" E perpendicular to said South line a distance of 30.00 feet to a point on the North Public Right of Way line of Bennett Road, said point being the point of beginning; Thence N 20°08'15" W a distance of 86.86 feet to the point of termination on the South line of the*

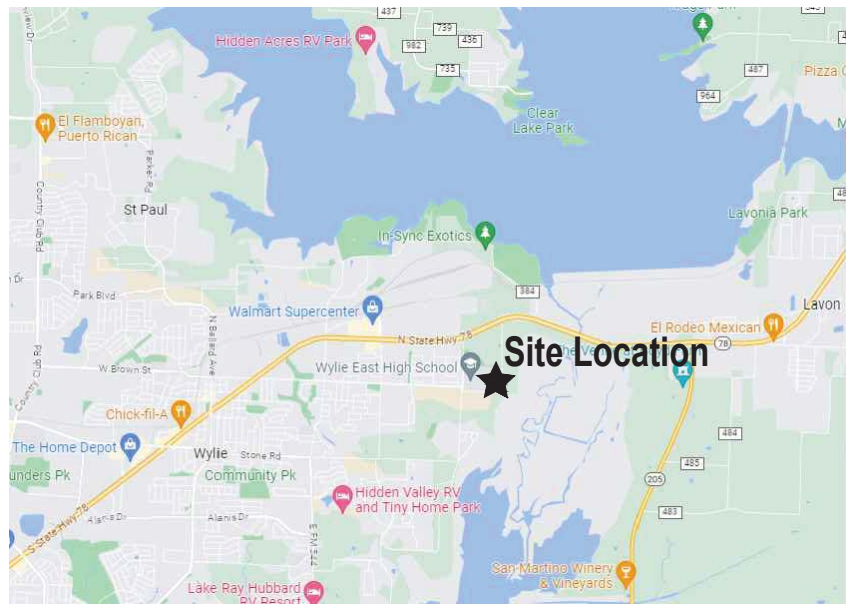
Site Name: Pilot Grove

H&S No.: 3010.1637

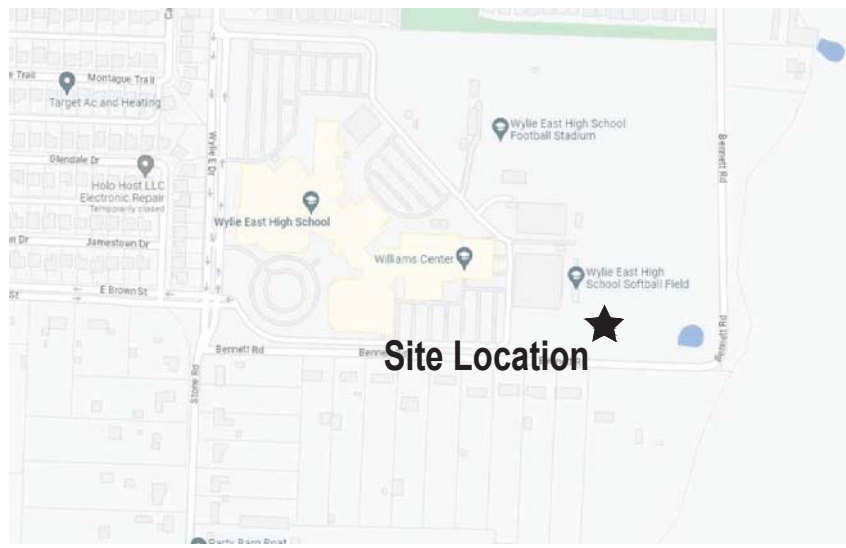
Date: 6/22/23

*0.055 acre Lessee's Lease Premises. Sidelines of said easement to be shortened or extended such as to begin on the North Public Right of Way line of Bennett Road and terminate on the South line of the 0.055 acre Lessee's Lease Premises.*

**VICINITY MAP**



**ENLARGED MAP**



**PROJECT  
NEW  
TELECOMMUNICATION  
CELL SITE**

**SITE NAME  
PILOT GROVE**

**SITE ADDRESS  
5085 BENNETT ROAD  
WYLIE, TX. 75098  
COLLIN COUNTY  
33.015568°, -96.490606°**

**LEGAL DESCRIPTION**

BEING A LEASE AREA CONTAINING 0.055 ACRES (2,400 SQ.FT.) LOCATED IN THE F DEL PINA SURVEY, ABSTRACT NO. 688, COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART OF LOT 1, BLOCK A OF THE WYLIE EAST HIGH SCHOOL ADDITION AS RECORDED IN PLAT BOOK 2008, PAGE 138, PLAT RECORDS OF COLLIN COUNTY, TX, SAID 63.5-ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS WITH ALL CONTROL REFERRED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983:

**SCOPE OF WORK:  
NEW CELLULAR COMMUNICATIONS SITE WITH 100'  
HIGH MONOPOLE TOWER**

- NEW CELL SITE COMPOUND
- NEW CMU BRICK WALL
- NEW ELECTRIC & FIBER SERVICE TO SITE
- NEW COMMUNITY RACK FOR POWER/FIBER DEMARCS
- NEW 25' CONCRETE ACCESS ROAD
- NEW RETAINING WALL

**ACTION**

APPROVED     DENIED

STAFF \_\_\_\_\_ Date \_\_\_\_\_ Initials \_\_\_\_\_

P&Z \_\_\_\_\_ Date \_\_\_\_\_ Initials \_\_\_\_\_

NEIGHBORHOOD # \_\_\_\_\_

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of this project.

**PROJECT SUMMARY**

**SITE INFORMATION**

JURISDICTION: COLLIN COUNTY  
OCCUPANCY: UNMANNED  
ZONE: A6/50  
CONSTRUCTION TYPE: NEW CELL SITE MONOPOLE TOWER  
COORDINATES: 33.015568°, -96.490606°  
ELEVATION: 437.40' A.M.S.L.

**PROPERTY OWNER**

WYLIE ISD  
OWNER CONTACT: SCOTT RODERICK  
951 S. Ballard Ave.  
WYLIE, TX 75098  
PHONE: 972-429-3027

**APPLICANT**

VERIZON WIRELESS  
6696 TRI COUNTY PARKWAY STE. 100  
SCHERTZ, TX. 78154

**SURVEYOR**

H&S SURVEYING, INC.  
201 N. BICKFORD,  
EL RENO, OK 73036  
PHONE: (405) 262-0249  
FAX: (405) 262-5107  
HSSURVEYING@AOL.COM

**ENGINEER CONSULTANT**

ALLPRO CONSULTING GROUP, INC.  
9221 LYNDON B. JOHNSON FWY, SUITE 204  
DALLAS, TEXAS 75243  
OFFICE: (972) 231-8893  
FAX: (866) 364-8375  
CONTACT: CHYU ZHANG, P.E.

**SHEET INDEX**

- T-1 COVER PAGE
- WYLIE EAST FINAL PLAT (BY OTHERS)
- SV-1 SURVEY (BY OTHERS)
- EXHIBIT A-2**
  - Z-1 OVERALL SITE PLAN
  - Z-2 ENLARGED & COMPOUND/LANDSCAPE PLAN
  - Z-3 ELEVATION / ANTENNA LAYOUT PLAN
  - Z-4 SITE DETAILS
  - Z-5 SITE DETAILS
  - Z-6 EROSION CONTROL DETAILS



**TEXAS ONE CALL**  
CONTRACTOR TO CALL 48 HOURS BEFORE DIGGING!  
PHONE: (800) 545-6005  
INDEPENDENT LOCATORS TO BE USED ON ALL SITES

THESE DRAWINGS ARE SCALED FOR 24"x36" SHEET



ACG#	2.3-1664
DRAWN BY:	MG
CHECKED BY:	CZ
01/09/23	ISSUE FOR ZONING REVIEW
11/11/23	ISSUE FOR ZONING REVIEW
2/02/24	ISSUE FOR ZONING REVIEW



02/01/24

**FOR ZONING - REVIEW ONLY**

**PILOT GROVE**

OWNER  
WYLIE I.S.D.

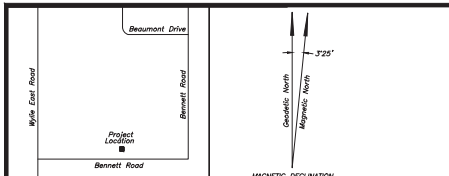
LEGAL DESCRIPTION  
WYLIE EAST HIGH SCHOOL ADDITION  
63.5 ACRE TRACT  
BLOCK A, LOT 1  
VOLUME 2018 PAGE 349  
PLAT RECORDS OF COLLIN COUNTY, TX

ADDRESS  
5085 BENNETT ROAD  
WYLIE, TX, 75098  
COLLIN COUNTY

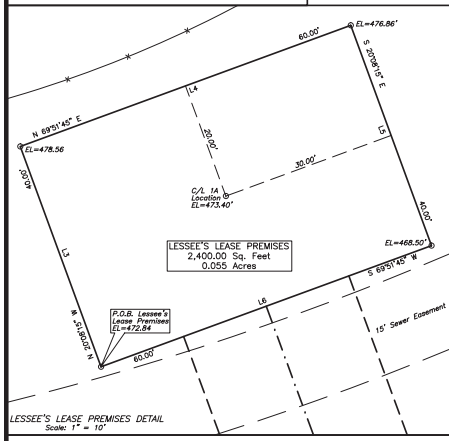
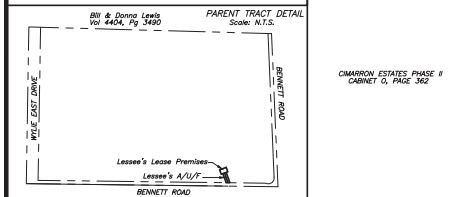
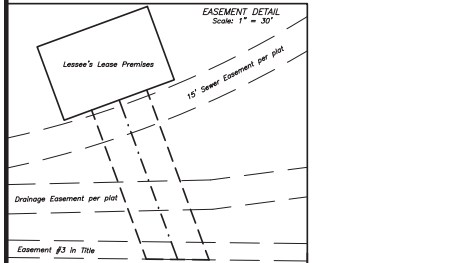
DATE: 08/31/23

SHEET TITLE  
TITLE PAGE

SHEET NUMBER  
**T-1**



MAGNETIC DECLINATION  
Magnetic Declination Information Provided  
By The National Geophysical Data Center  
Boulder, Colorado On 04/07/23  
Model: IGR2010



LINE	BEARING	DISTANCE
L1	S 89°19'05" E	176.00
L2	N 00°40'55" E	100.52
L3	N 20°08'15" W	40.00
L4	N 19°14'15" E	80.00
L5	S 20°08'15" E	40.00
L6	S 69°51'45" W	80.00
L7	S 89°19'05" E	1718.98
L8	N 00°40'55" E	30.00
L9	N 20°08'15" W	186.86

P.O.C. May Nail Found  
Southwest Corner  
Lot 1, Block A

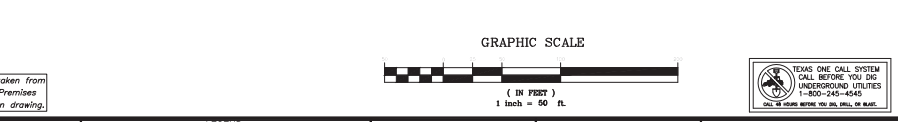
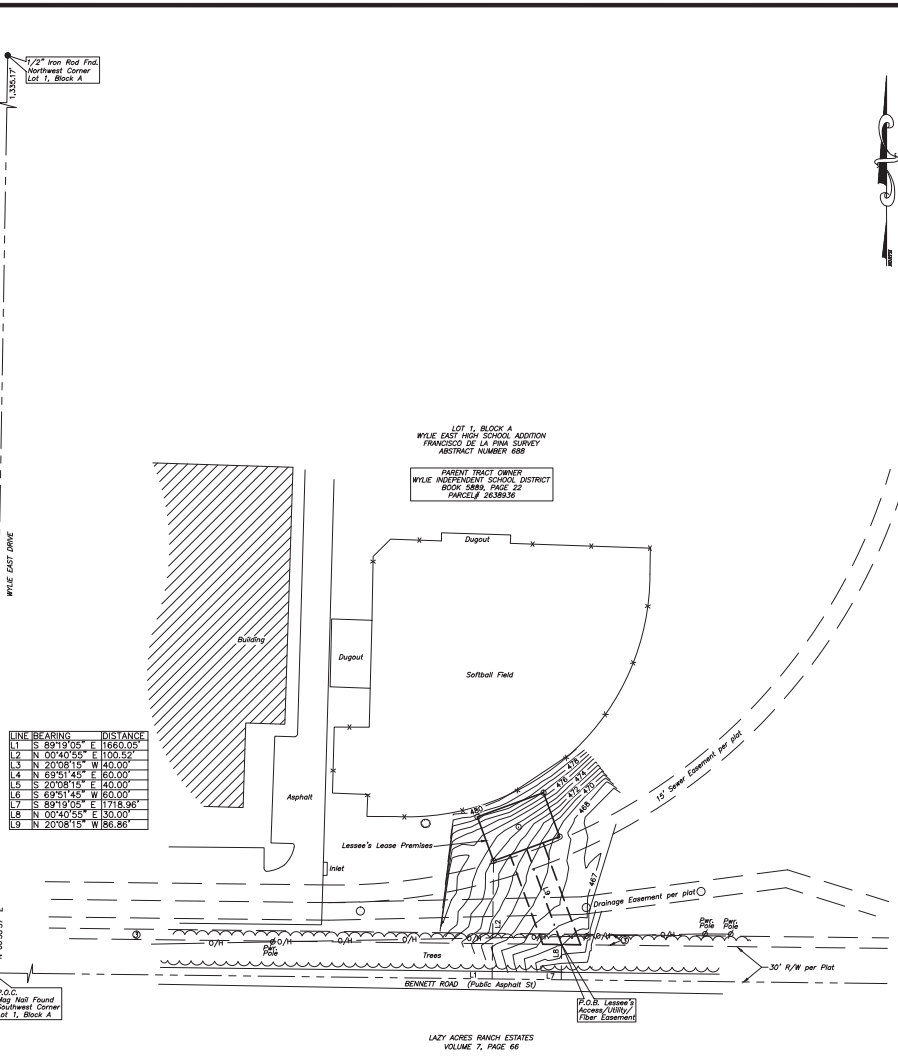
Unless Noted, All Data Is Expressed In NAD83 & NAVD88

LOCATION/DESCRIPTION	LATITUDE	LONGITUDE	ELEVATION
TOWER NAD83/NAVD88	33°00'56.046"	96°29'26.180"	473.40'
TOWER NAD27/NOVD29	33°00'55.615"	96°29'25.223"	473.44'

NOTE: TA data taken from Lessee's Lease Premises shown by ties on drawing.

NO.	REVISION	DATE	BY	DATE SURVEYED:	DATE DRAFTED:
1.	FINAL SURVEY ISSUED TO CLIENT	4/27/23	GLH	4/07/23	4/18/23
2.	REVISIONS PER CLIENT	5/16/23	GLH		
3.	FINAL SURVEY RE-ISSUED TO CLIENT	5/16/23	GLH		
4.	REVISIONS PER CLIENT	5/24/23	GLH		
5.	FINAL SURVEY RE-ISSUED TO CLIENT	5/24/23	GLH		
6.	REVISIONS PER CLIENT AND FINAL ISSUED TO CLIENT	6/22/23	GLH		

FIELD WORK: S.G. OFFICE WORK: GLH  
CHK'D BY: K.R.W. JOB NO.: 3010.1637  
SCALE: 1" = 50'



**SURVEY OF A LESSEE'S LEASE PREMISES LYING IN PART OF LOT 1, BLOCK A, WYLIE EAST HIGH SCHOOL ADDITION COLLIN COUNTY, TEXAS**

**PROPERTY DESCRIPTION PER PREVIOUSLY RECORDED LEGAL**

**PARENT TRACT DESCRIPTION**  
All that certain lot, tract or parcel of land situated in the F DEL PINA SURVEY, ABSTRACT NO. 688, Collin County, Texas, and being all of that 63.500 acres tract of land as described in a Warranty deed from Waine A. Little to Jack M. Little, dated September 19, 1980 and being recorded in Volume 1306, Page 582 of the Land Records Collin County, Texas, and being more particularly described as follows:  
(WARRANTY DEED AS RECORDED IN BOOK 5889, PAGE 22, DEED RECORDS OF COLLIN COUNTY, TEXAS.)

Said 63.500 acre tract also being known as Lot 1, Block A, Wylie East High School Addition as recorded in Plat Book 2008, Page 138, Plat Records of Collin County, Texas.

**SURVEY OF A LESSEE'S LEASE PREMISES LYING IN PART OF LOT 1, BLOCK A, WYLIE EAST HIGH SCHOOL ADDITION COLLIN COUNTY, TEXAS**

**LESSEE'S LEASE PREMISES DESCRIPTION**  
A tract of land lying in and being a part of Lot 1, Block A, Wylie East High School Addition as recorded in Plat Book 2008, Page 138, Plat Records of Collin County, Texas and being further described in Book 5889, Page 22, Deed Records of Collin County, Texas; Said tract being more particularly described as follows:  
Commencing a Mag Nail found for the Southwest corner of said Lot 1; Thence S 89°19'05" E on the South line of said Lot 1, a distance of 1,660.05 feet to a point; Thence N 00°40'55" E perpendicular to said South line a distance of 100.52 feet to a 1/2" Iron Rod with cap set for the point of beginning; Thence N 20°08'15" W a distance of 40.00 feet to a 1/2" Iron Rod with cap set for the Northwest corner; Thence N 69°51'45" E a distance of 60.00 feet to a 1/2" Iron Rod with cap set for the Northeast corner; Thence S 20°08'15" E a distance of 40.00 feet to a 1/2" Iron Rod with cap set for the Southeast corner; Thence S 69°51'45" W a distance of 60.00 feet to the point of beginning, containing 2,400.00 square feet or 0.055 acres more or less.

**LESSEE'S ACCESS/UTILITY/FIBER EASEMENT**  
A 30.00 foot wide easement for ingress, egress, utility and fiber purposes crossing a part of Lot 1, Block A, Wylie East High School Addition as recorded in Plat Book 2008, Page 138, Plat Records of Collin County, Texas and being further described in Book 5889, Page 22, Deed Records of Collin County, Texas; said easement being 15.00 feet on each side of the following described centerline:  
Commencing a Mag Nail found for the Southwest corner of said Lot 1; Thence S 89°19'05" E on the South line of said Lot 1, a distance of 1,718.96 feet to a point; Thence N 00°40'55" E perpendicular to said South line a distance of 30.00 feet to a point on the North Public Right of Way line of Bennett Road, said point being the point of beginning; Thence N 20°08'15" W a distance of 86.86 feet to the point of termination on the South line of the 0.055 acre Lessee's Lease Premises. Sidelines of said easement to be shortened or extended such as to begin on the North Public Right of Way line of Bennett Road and terminate on the South line of the 0.055 acre Lessee's Lease Premises.

I, Kurtis R. Webb, a Registered Professional Land Surveyor licensed under the laws of the State of Texas, hereby certify that this survey (i) was made on the ground on April 7, 2023 for Colco Partnership d/b/a Verizon Wireless and Baker Donelson Bearman Caldwell & Berkowitz, PC and Wylie Independent School District, (ii) correctly shows the subject property and the location of easements, ROW and set back lines thereon that are visible or reflected on File Number 3848703 with an effective date of March 3, 2023, (iii) reflects the conditions found at the time of survey, (iv) except as shown hereon, reflects no encroachments or overlapping of improvements, and (v) that this survey conforms with the current Texas Society of Professional Surveyor's Category 3, Condition II survey criteria.

Kurtis R. Webb, TX RPLS #4125  
6/22/23 Date



- NOTES CONCERNING SURVEY:**
- This survey was based on a Report of Title provided by Fidelity National Title, Order No.: 3848703, Effective Date: March 3, 2023.
  - Bearings shown hereon are based on the Texas State Plane Coordinate System, Texas North Central Zone, NAD83 Datum.
  - The elevations shown hereon are based on the NAVD88 Datum.
  - The latitude and longitude shown hereon are based on the NAD83 Datum and meet or exceed the minimum requirements for a FCC/FAA 1A survey which is defined as plus or minus 20 feet horizontal and plus or minus 3 feet vertical. This information was established and determined by GPS on 4/07/23.
  - The Lessee's Lease Premises shown on this survey DOES NOT lie within the 100 year Flood plain and is located within the Flood Zone "X" per the Federal Emergency Management Agency (FEMA) as shown on the Flood Insurance Rate Map (FIRM), Community Panel Number 48085C 0440J, which bears an effective date of June 2, 2009. Flood Zone determination is made through graphic plotting only and no other responsibility is herein assumed for accuracy of the base flood elevation or flood zone areas shown on the FIRM. 6: This survey does not provide any determination concerning wetlands, fault lines, toxic waste or any other environmental issues. Such matters should be directed to an expert consultant.
  - There may be additional buried or underground utilities in the area which the surveyor is unaware of and no liability for such is assumed herein. TEXAS ONE CALL SYSTEM (1-800-245-4545)
  - THIS IS NOT A BOUNDARY SURVEY OF THE PARENT TRACT.
- Fidelity National Title  
Order No.: 3848703  
Effective Date: March 3, 2023
- EASEMENTS:**
- Easement in favor of General Telephone Company as recorded in Book 1577, Page 427. (DOES AFFECT THE Parent Tract, DOES NOT AFFECT THE Lessee's Lease Premises or its Easement.)
  - Easement in favor of North Texas Municipal Water District as recorded in Book 3115, Page 757. (DOES AFFECT THE Parent Tract and Lessee's Access/Utility/Fiber Easement, DOES NOT AFFECT THE Lessee's Lease Premises as shown.)
  - Matters as shown on plate recorded in Instrument No. 2008030601000850. (DOES AFFECT THE Parent Tract as a plot of the Parent Tract.)



911 ADDRESS: TBD

Bearings Based on T.S.P.C.  
Established GPS on: 4/07/23  
Datum: GZD: NAD83 Texas North Central Zone  
Vert: Geoid 96

**LEGEND**

- G — GAS LINE
- G — GAS METER
- T — TELEPHONE LINE
- T — TELEPHONE RISER
- S — SANITARY SEWER MANHOLE
- E — OVERHEAD ELECTRIC
- E — U/G ELECTRIC
- W — WATER LINE
- W — WATER METER
- V — WATER VALVE
- S — STORM SEWER LINE
- G — GAS LINE
- G — GAS METER
- T — TELEPHONE LINE
- T — TELEPHONE RISER
- S — SANITARY SEWER MANHOLE
- E — OVERHEAD ELECTRIC
- E — U/G ELECTRIC
- W — WATER LINE
- W — WATER METER
- V — WATER VALVE
- S — STORM SEWER LINE

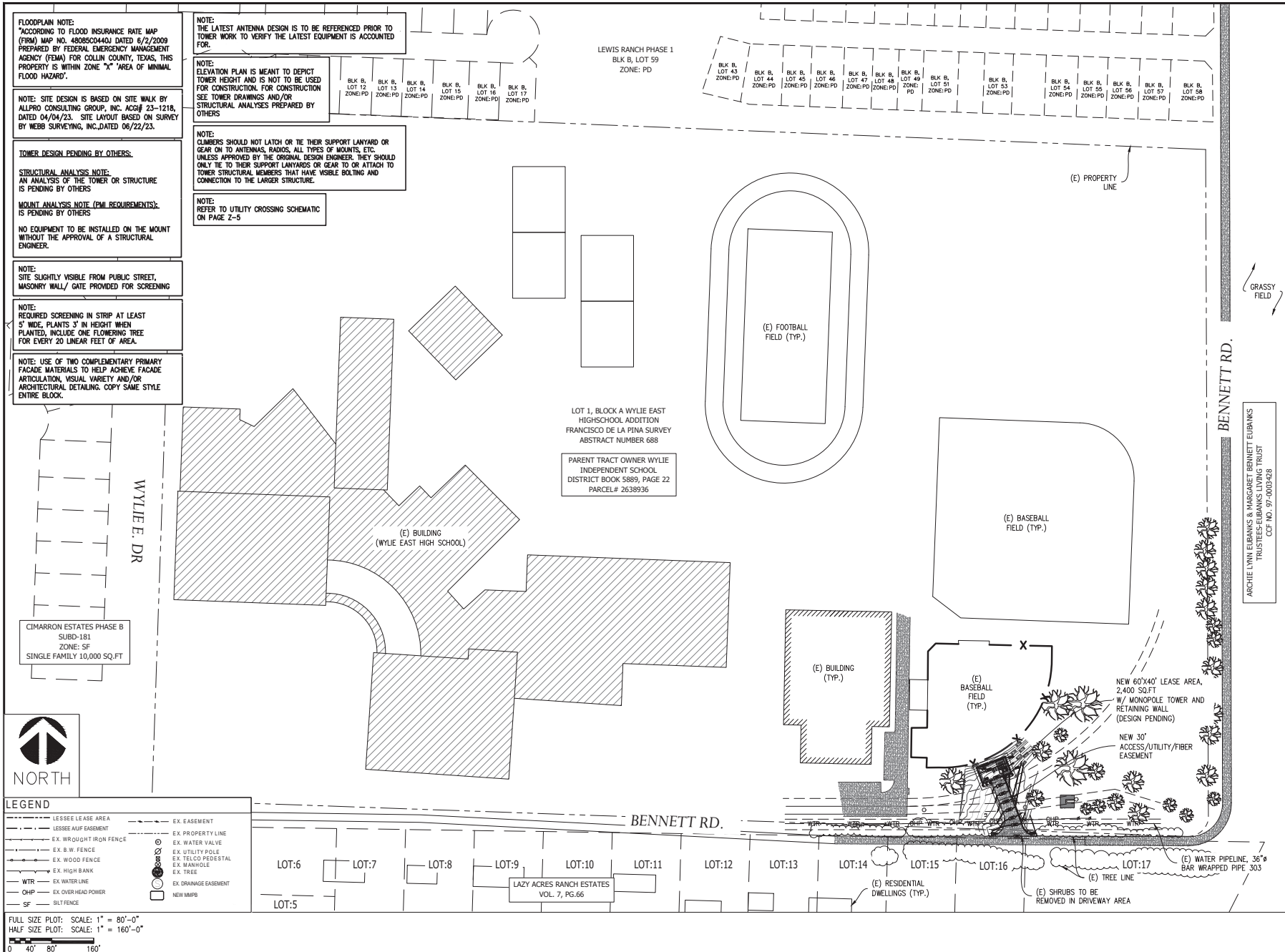
**SURVEYOR**  
Webb Surveying, Inc.  
3401 Outer Road  
Suite 139  
Plano, TX 75023  
Phone: (972) 999-3300  
Fax: (972) 999-2302  
www.webbsurveying.com

**WORK COORDINATED BY:**  
**H&S SURVEYING, INC.**  
Surveying and  
Telecommunication Company  
SERVING THE CENTRAL U.S.  
308 N. BUCHFORD, EL PASO, TX 79908  
TEL: (409) 202-0248 FAX: (409) 202-0377  
EMAIL: ISSURVEYING@H&S.COM

**PREPARED FOR:**  
**verizonwireless**

**SURVEY OF:**  
**PILOT GROVE**  
**PREPARED FOR:**  
**VERIZON WIRELESS**  
600 HIDDEN RIDGE, IRVING, TEXAS 75038

**DRAWING NO.**  
**SV-1**  
**SHEET 1 OF 1**



**verizon**

ACG# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

0 09/27/23 ISSUE FOR ZONING REVIEW  
 1 11/01/23 ISSUE FOR ZONING REVIEW  
 2 02/01/24 ISSUE FOR ZONING REVIEW

**ALLPRO**  
 CONSULTING GROUP, INC.  
 9221 Lyndon B Johnson Fwy  
 Suite 204, Dallas, TX 75243  
 Phone: 972-231-8883  
 Fax: 866-364-8375  
 www.allpro.com  
 registration no. 8242

02/01/24

**FOR ZONING - REVIEW ONLY**

**PILOT GROVE**

OWNER  
 WYLIE I.S.D.

LEGAL DESCRIPTION  
 WYLIE EAST HIGH SCHOOL  
 ADDITION  
 63.5 ACRE TRACT  
 BLOCK A, LOT 1  
 VOLUME 2018 PAGE 349  
 PLAT RECORDS OF  
 COLLIN COUNTY, TX

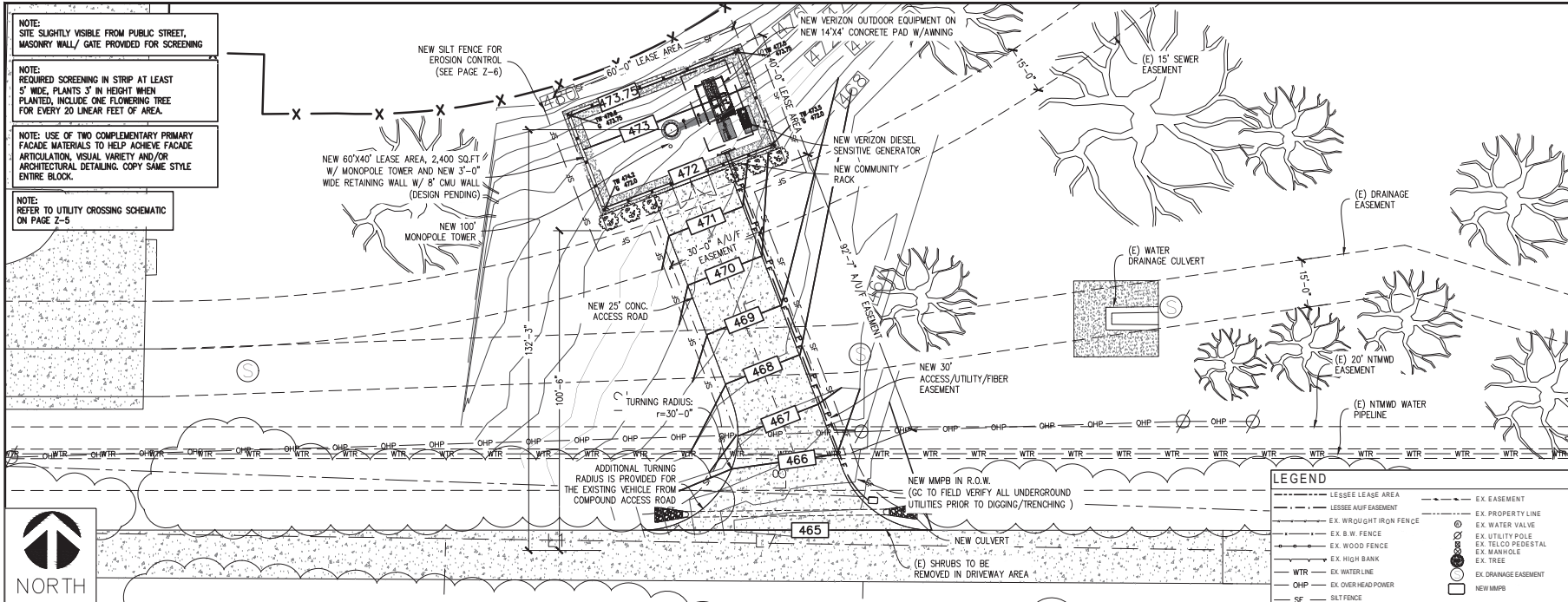
ADDRESS  
 5085 BENNETT ROAD  
 WYLIE, TX, 75098  
 COLLIN COUNTY

DATE: 08/31/23

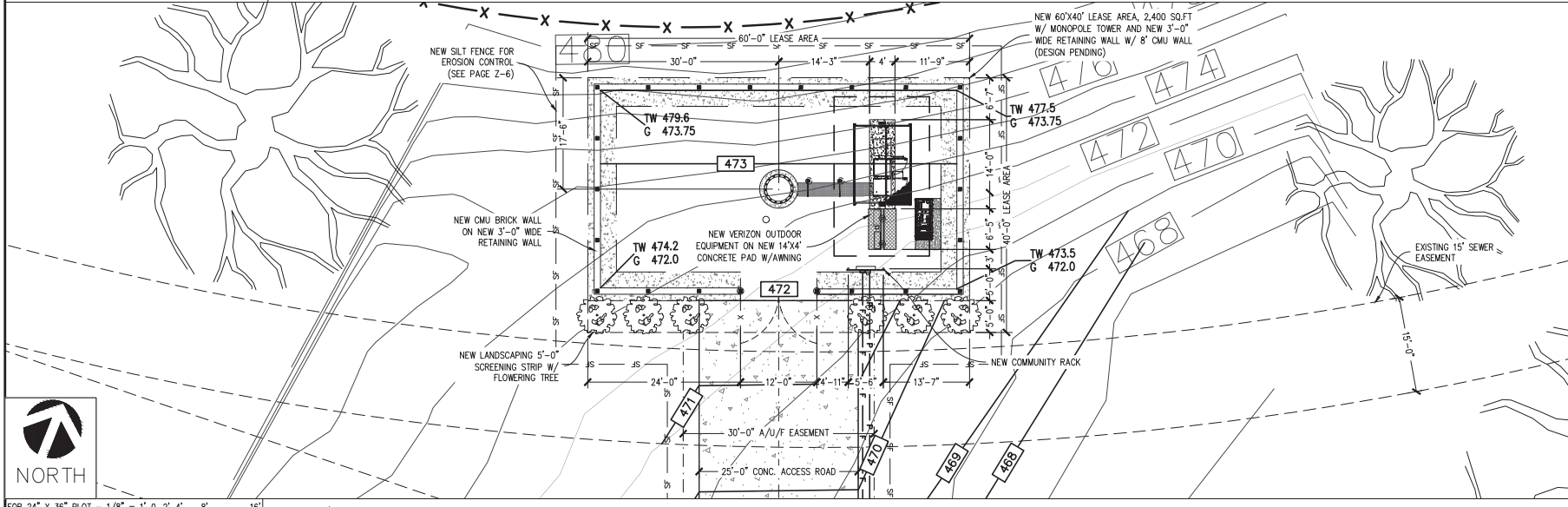
SHEET TITLE  
 OVERALL SITE PLAN

SHEET NUMBER  
**Z-1**





FOR 24" X 36" PLOT - 1/16" = 1' 0 4' 8' 16' 32'  
FOR 11" X 17" PLOT - 3/64" = 1' ENLARGED SITE PLAN



FOR 24" X 36" PLOT - 1/8" = 1' 0 2' 4' 8' 16'  
FOR 11" X 17" PLOT - 1/16" = 1' COMPOUND / LANDSCAPE PLAN



ACQ# 23-1664  
DRAWN BY: MG  
CHECKED BY: CZ  
01/09/23 ISSUE FOR ZONING REVIEW  
11/11/23 ISSUE FOR ZONING REVIEW  
2/02/24 ISSUE FOR ZONING REVIEW



02/01/24  
**FOR ZONING - REVIEW ONLY**

**PILOT GROVE**

OWNER  
WYLIE I.S.D.

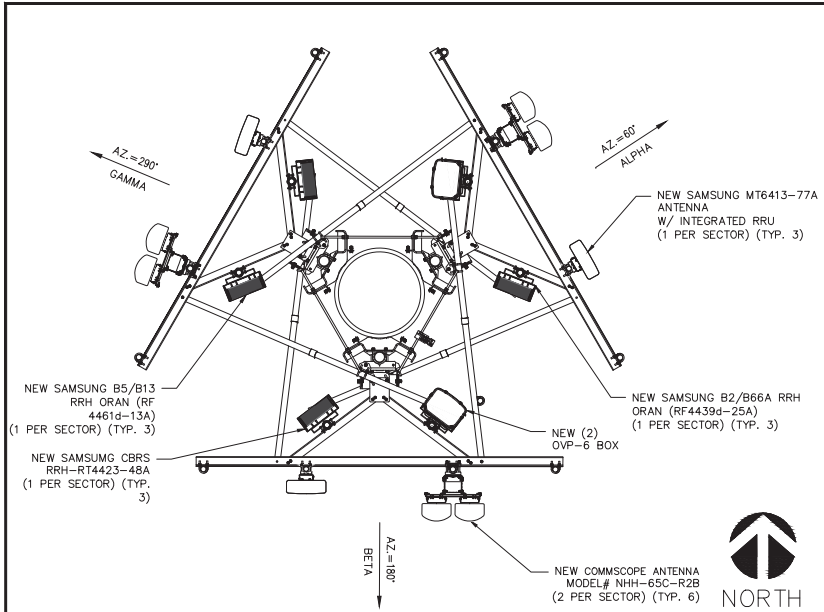
LEGAL DESCRIPTION  
WYLIE EAST HIGH SCHOOL  
ADDITION  
63.5 ACRE TRACT  
BLOCK A, LOT1  
VOLUME 2018 PAGE 349  
PLAT RECORDS OF  
COLIN COUNTY, TX

ADDRESS  
5085 BENNETT ROAD  
WYLIE, TX, 75098  
COLLIN COUNTY

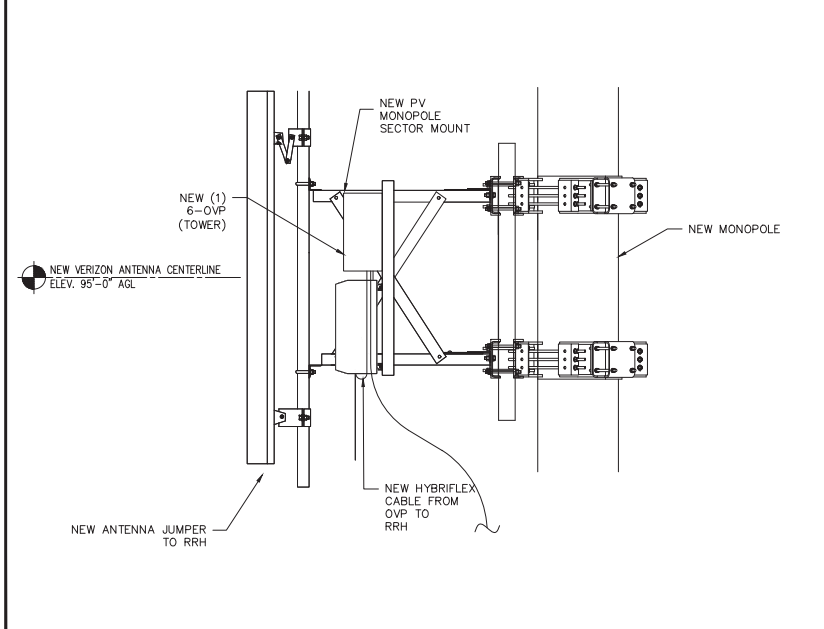
DATE: 08/31/23

SHEET TITLE  
ENLARGED SITE PLAN &  
COMPOUND/  
LANDSCAPE PLAN

SHEET NUMBER  
**Z-2**



FOR 24" X 36" PLOT - 1/2" = 1' 0 1' 2' 4'  
FOR 11" X 17" PLOT - 1/4" = 1' VERIZON ANTENNA LAYOUT



FOR 24" X 36" PLOT - 1/2" = 1' 0 3" 6" 9" 1'  
FOR 11" X 17" PLOT - 3/4" = 1' SECTION THRU ANTENNA SECTOR

**FLOODPLAIN NOTE:**  
"ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48050044J DATED 6/2/2009 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE "X" AREA OF MINIMAL FLOOD HAZARD".

**NOTE:** SITE DESIGN IS BASED ON SITE WALK BY ALLPRO CONSULTING GROUP, INC. ACG# 23-1218, DATED 04/04/23. SITE LAYOUT BASED ON SURVEY BY WEBB SURVEYING, INC. DATED 06/22/23.

**STEALTH TOWER DESIGN PENDING BY OTHERS:**

**STRUCTURAL ANALYSIS NOTE:**  
AN ANALYSIS OF THE TOWER OR STRUCTURE IS PENDING BY OTHERS

**MOUNT ANALYSIS NOTE (PM REQUIREMENTS):**  
IS PENDING BY OTHERS

**NO EQUIPMENT TO BE INSTALLED ON THE MOUNT WITHOUT THE APPROVAL OF A STRUCTURAL ENGINEER.**

**NOTE:**  
NEW ANTENNA PLACEMENT LOCATION TO BE FIELD VERIFIED BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION TO AVOID ANY INTERFERENCE OR SHADOWING OF EXISTING ANTENNAS. IF INTERFERENCE OR SHADOWING OF EXISTING ANTENNAS IS DISCOVERED DURING FIELD VERIFICATION, PLEASE CONTACT ALLPRO CONSULTING GROUP INC. FOR DESIGN REVISION PRIOR TO ANY NEW ANTENNA INSTALLATION.

**NOTE:**  
ELEVATION PLAN IS MEANT TO DEPICT TOWER HEIGHT AND IS NOT TO BE USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE TOWER DRAWINGS AND/OR STRUCTURAL ANALYSES PREPARED BY OTHERS

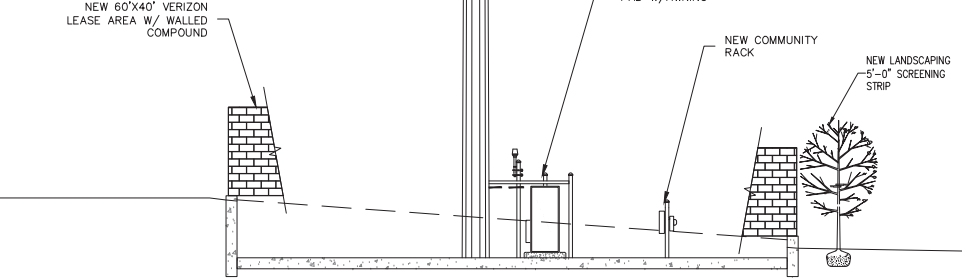
**NOTE:**  
CLIMBERS SHOULD NOT LATCH OR TIE THEIR SUPPORT LANYARD OR GEAR ON TO ANTENNAS, RADIOS, ALL TYPES OF MOUNTS, ETC. UNLESS APPROVED BY THE ORIGINAL DESIGN ENGINEER. THEY SHOULD ONLY TIE TO THEIR SUPPORT LANYARDS OR GEAR TO OR ATTACH TO TOWER STRUCTURAL MEMBERS THAT HAVE VISIBLE BOLTING AND CONNECTION TO THE LARGER STRUCTURE.

**NOTE:**  
THE LATEST ANTENNA DESIGN IS TO BE REFERENCED PRIOR TO TOWER WORK TO VERIFY THE LATEST EQUIPMENT IS ACCOUNTED FOR.

**NOTE:**  
SITE SLIGHTLY VISIBLE FROM PUBLIC STREET, MASONRY WALL/ GATE PROVIDED FOR SCREENING

**NOTE:**  
REFER TO UTILITY CROSSING SCHEMATIC ON PAGE Z-5

**NEW 60'X40' VERIZON LEASE AREA W/ WALLED COMPOUND**



FOR 24" X 36" PLOT - 3/16" = 1' 0 2' 4' 8'  
FOR 11" X 17" PLOT - 3/32" = 1' ELEVATION - LOOKING EAST



ACG#	23-1664
DRAWN BY:	MG
CHECKED BY:	CZ
01/09/23	ISSUE FOR ZONING REVIEW
11/01/23	ISSUE FOR ZONING REVIEW
2/02/24	ISSUE FOR ZONING REVIEW

**ALLPRO**  
CONSULTING GROUP, INC.  
9221 Lyndon B Johnson Fwy  
Suite 204, Dallas, TX 75243  
Phone: 972-231-8883  
Fax: 866-364-8375  
www.allpro.com  
registration no. 8242

02/01/24  
**FOR ZONING - REVIEW ONLY**

**PILOT GROVE**

OWNER  
WYLIE I.S.D.

LEGAL DESCRIPTION  
WYLIE EAST HIGH SCHOOL  
ADDITION  
63.5 ACRE TRACT  
BLOCK A, LOT1  
VOLUME 2018 PAGE 349  
PLAT RECORDS OF  
COLLIN COUNTY, TX

ADDRESS  
5085 BENNETT ROAD  
WYLIE, TX, 75098  
COLLIN COUNTY

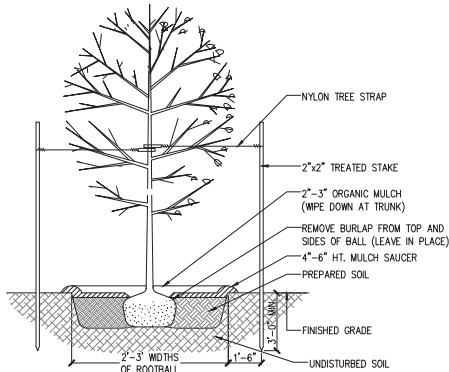
DATE: 08/31/23

SHEET TITLE  
ELEVATION &  
ANTENNA LAYOUT

SHEET NUMBER  
**Z-3**

PLANTING SCHEDULE							
TYPE	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	QUANTITY	REMARKS
ID	ILEX OPACA	AMERICAN HOLLY	11-3/4" MIN.	8' MIN.	-	8	FULL, DENSE. PLANT AS SHOWN
MC	MYRICA CERIFERA	SOUTHERN WAX MYRTLE	-	24"-36"	24"-36"	30	FULL, DENSE. PLANT AS SHOWN

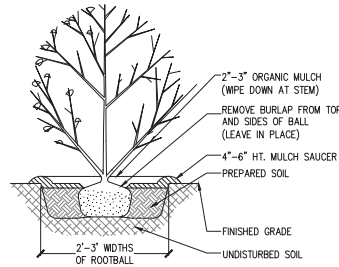
\*TREE CONTAINER TO BE MIN. 25 GAL OR EQUIVALENT BALL AND BURLAP.



1 TREE PLANTING DETAIL

GENERAL PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL BE SPECIFIED TO BE EQUAL TO OR BETTER THAN THE STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPERS ASSOCIATION (ANLA).
2. PLANTING SEASON RESTRICTIONS: ALL BALLED AND BURLAPPED PLANTS SHALL BE INSTALLED BETWEEN OCTOBER 1 AND NOVEMBER 15 UNLESS OTHERWISE AUTHORIZED BY THE LANDSCAPE ARCHITECT. ALL CONTAINER GROWN PLANTS SHALL BE INSTALLED BETWEEN SEPTEMBER 15 AND MAY 15 UNLESS OTHERWISE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
3. FINISHED GRADES ON GRADING PLANS THAT OCCUR IN SHRUB BEDS SPECIFY TOP OF FINISHED MULCH GRADES. LANDSCAPE CONTRACTOR SHALL NOT EXCEED THESE GRADES WHEN BEDS ARE COMPLETE.
4. TOP OF MULCH SHALL FINISH 1" BELOW ADJACENT PAVEMENT.
5. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE "PLANT SCHEDULE" SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UPON DISCREPANCIES, THE PLANTING PLAN SYMBOLS SHALL GOVERN.
6. NEW PLANTING SHALL BE LOCATED AS SHOWN ON PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SITE ELEMENTS AND UTILITIES. IF DISCREPANCIES OCCUR, OR IF OBSTRUCTIONS BELOW GROUND OR OVERHEAD ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. NECESSARY ADJUSTMENTS SHALL BE MADE ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
7. MAINTENANCE WILL INCLUDE IRRIGATION AND THE REMOVAL OF INVASIVE CLIMBERS FROM PROPOSED VEGETATION UNTIL THE PROPOSED VEGETATION HAS HAD OPPORTUNITY TO BECOME ESTABLISHED.



2 SHRUB PLANTING DETAIL



ACQ# 23-1664  
 DRAWN BY: MG  
 CHECKED BY: CZ  
 0 09/27/23 ISSUE FOR ZONING REVIEW  
 1 11/01/23 ISSUE FOR ZONING REVIEW  
 2 02/01/24 ISSUE FOR ZONING REVIEW



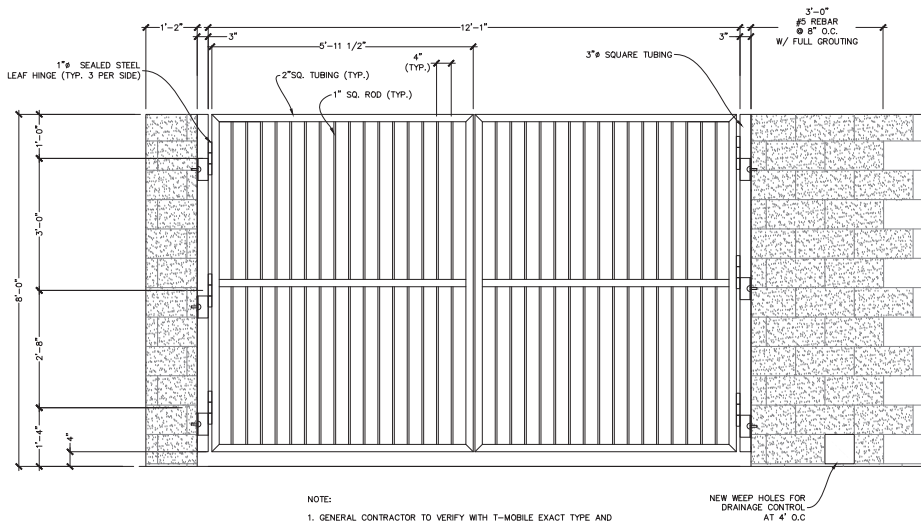
02/01/24

FOR ZONING - REVIEW ONLY

LANDSCAPING

SCALE: 1/4" = 1'-0" (24x36)  
 (OR) 1/8" = 1'-0" (11x17)

1



NOTE:  
 1. GENERAL CONTRACTOR TO VERIFY WITH T-MOBILE EXACT TYPE AND LOCATION OF HINGES FOR MOUNTING GATE TO CHU.  
 2. GENERAL CONTRACTOR TO VERIFY ALL GATE DIMENSION PRIOR TO CONSTRUCTING GATE.

MASONRY

1. MASONRY STRENGTH
  - A. HOLLOW CONCRETE MASONRY UNITS: GRADE N, LIGHTWEIGHT WITH A COMPRESSIVE STRENGTH OF F = 1500 PSI ON THE NET AREA.
  - B. GROUT: 2000 PSI, MINIMUM 28 DAY COMPRESSIVE STRENGTH. VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN AFTER 5 MINUTES. GROUT SHALL CONFORM TO ASTM C476 AND UBC 2103. MIX GROUT FOR AT LEAST FIVE MINUTES AND UNTIL MIX HAS BEEN ATTAINED. GROUT SHALL HAVE SUFFICIENT WATER ADDED TO PRODUCE A CONSISTENCY FOR POURING WITHOUT SEGREGATION USE GROUT WITHIN 1.5 HOURS OF ADDITION OF MIXING WATER.
  - C. MORTAR: CEMENT-LIME TYPES, 1800 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH. CONFORM TO UBC 2103.
  - D. 2,500 PSI STRENGTH CONCRETE AT 28 DAY 3" TO 5" SLUMP.
2. LAY UNITS IN RUNNING BOND. CORNERS SHALL HAVE A STANDARD BOND BY OVER-LAPPING UNITS.
3. MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS SHALL BE 4'-0"
4. TIE VERTICAL REINFORCING AT EACH END OF BAR AND AT 4'-0" MAXIMUM VERTICAL SPACING USING SINGLE WIRE LOOP TYPE TIES AS MANUFACTURED BY A.A. WIRE PRODUCTS COMPANY OR APPROVED ALTERNATE.
5. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS.
6. GROUT SOLID ALL WALLS IN CONTACT WITH EARTH, RETAINING WALLS, STEM WALLS, AND AS NOTED ON DRAWINGS.
7. GROUTED MASONRY SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER AS A STRUCTURAL ELEMENT.
8. KNOX PADLOCK KEYS TO WYLIE FIRE DEPARTMENT WILL BE REQUIRED ON GATE FOR FD ACCESS TO SITE IN EMERGENCIES. GATE LOCKING MECHANISM MUST SUPPORT MULTIPLE LOCK ACCESS. CONTRACTOR MUST SUPPLY KNOX PADLOCK FOR FD INSTALLATION.

FENCE DETAIL

SCALE: 1 1/2" = 1'-0" (24x36)  
 (OR) 3/4" = 1'-0" (11x17)

3

PILOT GROVE  
 OWNER  
 WYLIE I.S.D.  
 LEGAL DESCRIPTION  
 WYLIE EAST HIGH SCHOOL  
 ADDITION  
 63.5 ACRE TRACT  
 BLOCK A, LOT1  
 VOLUME 2018 PAGE 349  
 PLAT RECORDS OF  
 COLIN COUNTY, TX  
 ADDRESS  
 5085 BENNETT ROAD  
 WYLIE, TX, 75098  
 COLLIN COUNTY  
 DATE: 08/31/23

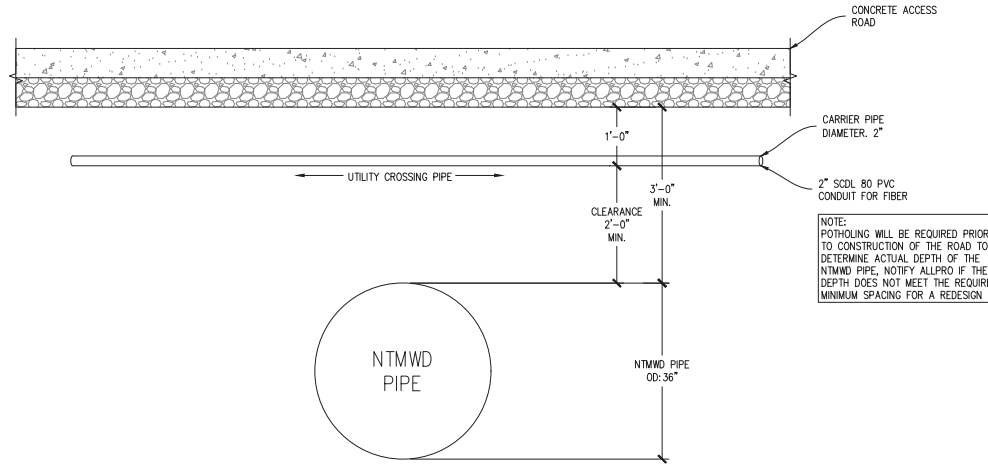
SHEET TITLE  
 SITE DETAILS

SHEET NUMBER  
**Z-4**

NTMWD NOTES:

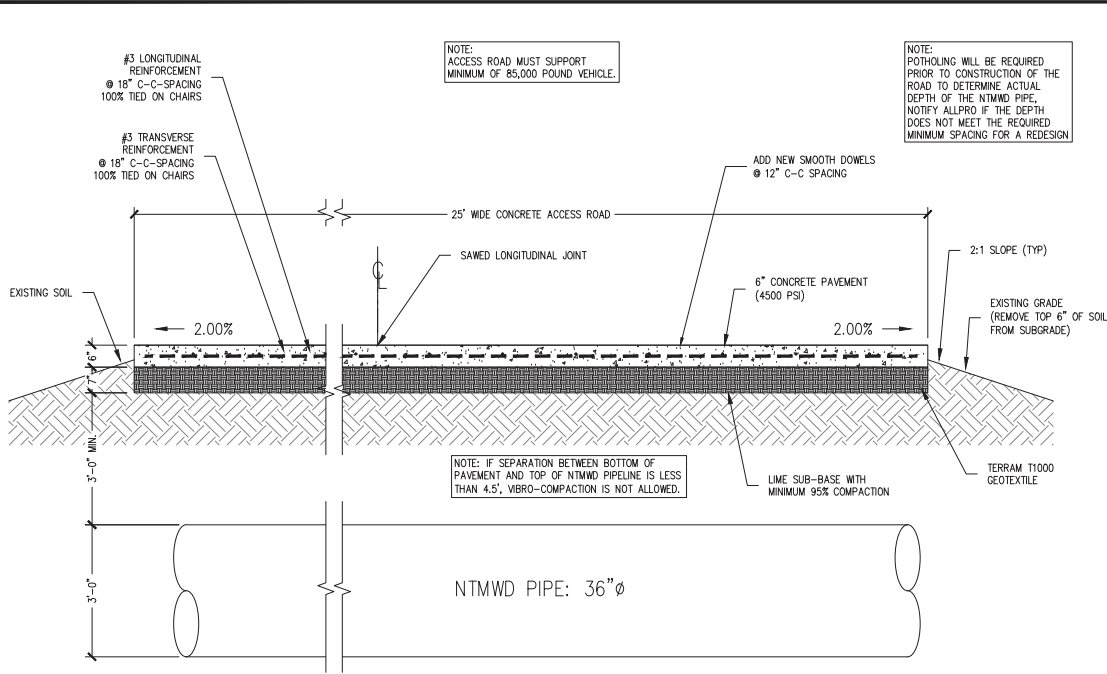
- A. NORTH TEXAS MUNICIPAL WATER DISTRICT (NTMWD) 36-INCH WATER/WASTEWATER PIPELINE IS LOCATED WITHIN LIMITS OF CONSTRUCTION.
- B. OPERATION OF HEAVY EARTHMOVING EQUIPMENT, COMPACTION EQUIPMENT OR HEAVY CONSTRUCTION EQUIPMENT, SUCH AS CONCRETE TRUCKS, SHALL BE RESTRICTED TO SPECIFIC CROSSING POINTS ACROSS NTMWD EASEMENTS, AS APPROVED BY THE NTMWD. THE CROSSINGS SHALL BE DESIGNATED AND VERIFIED TO PROVIDE A MINIMUM OF FIVE-FEET OF COVER.
- C. TO ASSURE THAT PLACING OF SIGNIFICANT LOADS OVER THE NTMWD PIPELINE DOES NOT DAMAGE THE EXISTING PIPELINE, NO MATERIALS SHALL BE STOCKPILED ON THE NTMWD EASEMENT WITHOUT AUTHORIZATION FROM THE NTMWD. IF THE CONTRACTOR DESIRES TO USE NTMWD'S EASEMENT FOR STOCKPILE OF MATERIALS, CONTACT NTMWD ENGINEERING AT (972) 442-5405 SO YOUR PLANS FOR USE OF NTMWD'S EASEMENT CAN BE REVIEWED.
- D. A MINIMUM OF 4.5 FEET SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF NTMWD PIPELINE IS REQUIRED. IN ADDITION, IF SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF PIPELINE IS LESS THAN 4.5 FEET, LIME STABILIZED IS NOT PERMITTED AND A THICKENED PAVEMENT SECTION IS REQUIRED.
- E. CROSSING OF THE NTMWD EASEMENT WITH OTHER UTILITIES, SUCH AS TV CABLE, PHONE, GAS AND ELECTRIC, SHALL BE COORDINATED WITH THE NTMWD TO AVOID DAMAGE TO THE NTMWD FACILITIES.
- F. OUTDOOR LIGHTING, LANDSCAPING, SCREENING WALLS OR OTHER FACILITIES SHALL NOT BE INSTALLED IN NTMWD EASEMENTS WITHOUT WRITTEN APPROVAL OF THE NTMWD.
- G. UNLESS OTHERWISE SHOWN OR REQUIRED, A MINIMUM OF TWO-FOOT CLEARANCE SHALL BE PROVIDED FOR ALL UTILITIES CROSSING THE NTMWD PIPELINES. DIRECTIONAL BORE CROSSINGS REQUIRE A MINIMUM OF FOUR-FOOT CLEARANCE.
- H. BORE CROSSINGS ONLY TO BE PERFORMED BETWEEN 9:00 AM AND 4:00 PM TUESDAY THRU THURSDAY
- I. NO TREES ARE ALLOWED WITHIN NTMWD EASEMENT, ONLY CREPE MYRTLES, SHRUBS, AND BUSHES
- J. A NTMWD REPRESENTATIVE IS REQUIRED TO BE ON-SITE FOR ANY WORK IN THE VICINITY OF NTMWD PIPELINES, FEATURES, OR FACILITIES
- K. THE CONTRACTOR SHALL CONTACT NTMWD LINE LOCATES AT (469) 626-4569 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY WORK IN THE VICINITY OF THE NTMWD FACILITIES.
- L. FOR CROSSING UNDER NTMWD LINES BY OPEN CUT, SHORING IS TO BE USED TO MINIMIZE EXPOSING THE NTMWD LINE. TRENCH WILL BE LIMITED TO 4-FOOT WIDE MAXIMUM.

Crossing Schematic



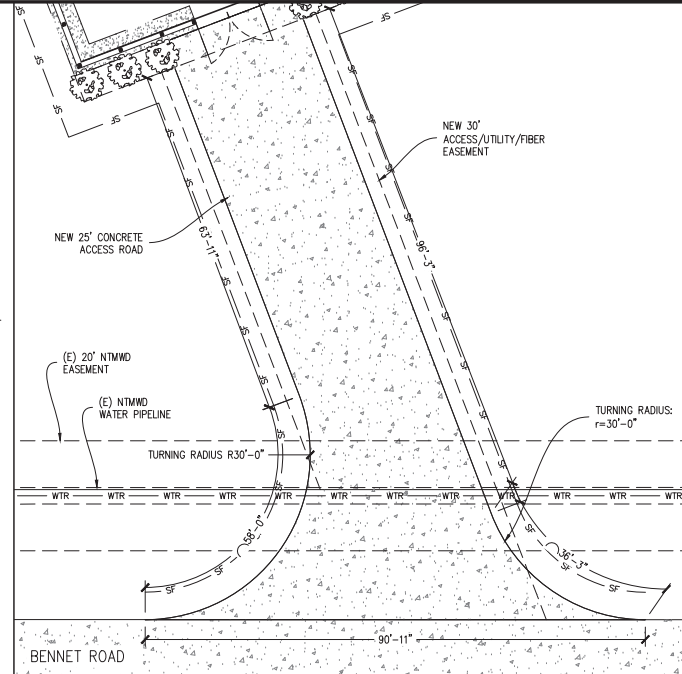
UTILITY CROSSING SCHEMATIC

SCALE: 1 NTS



ACCESS DRIVE DETAIL

SCALE: 1 1/2" = 1'-0" (24x36) (OR) 3/4" = 1'-0" (11x17)



TURNING RADIUS DETAIL

SCALE: 3/16" = 1'-0" (24x36) (OR) 3/32" = 1'-0" (11x17)



AC# 23-1664  
 DRAWN BY: MG  
 CHECKED BY: CZ  
 01/09/23 ISSUE FOR ZONING REVIEW  
 11/11/23 ISSUE FOR ZONING REVIEW  
 2/02/24 ISSUE FOR ZONING REVIEW

**ALLPRO**  
 CONSULTING GROUP, INC.  
 9221 Lyndon B Johnson Fwy  
 Suite 204, Dallas, TX 75243  
 Phone: 972-231-8883  
 Fax: 866-364-8375  
 www.allprogroup.com  
 registration no. 8242

02/01/24

FOR ZONING - REVIEW ONLY

**PILOT GROVE**  
 OWNER: WYLIE I.S.D.  
 LEGAL DESCRIPTION: WYLIE EAST HIGH SCHOOL ADDITION, 63.5 ACRE TRACT, BLOCK A, LOT 1, VOLUME 2018, PAGE 349, PLAT RECORDS OF COLLIN COUNTY, TX

ADDRESS: 5085 BENNETT ROAD, WYLIE, TX, 75098, COLLIN COUNTY

DATE: 08/31/23

SHEET TITLE: SITE DETAILS

SHEET NUMBER: **Z-5**

1. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE APPLICABLE STATE ADOPTED "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" OF THE STATE ENVIRONMENTAL PROTECTION AGENCY.
2. A SOIL EROSION CONTROL FENCE SHALL BE INSTALLED BEFORE DISTURBING THE GROUND AND SHALL BE PROVIDED AS SHOWN ON THE PLAN. THE CONDITION OF THE FENCE SHALL BE INSPECTED REGULARLY AND AFTER EVERY RAINSTORM THAT MIGHT PRODUCE RUNOFF. DAMAGED OR DETERIORATED ITEMS SHALL BE REPLACED AND MAINTAINED IN AN EFFECTIVE CONDITION.
3. SOIL EROSION CONTROL MEASURES SHALL BE INCLUDED IN CONTRACTOR BID AND PRICING.
4. THE ENTIRE SITE SHALL BE GRADED SO THAT NO STORM WATER RUNOFF AND LIKEWISE SOIL SEDIMENT CAN FLOW UNRESTRICTED FROM THE SITE.
5. ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.
6. MAINTAIN SOIL EROSION CONTROL MEASURES THROUGH THE DURATION OF THIS PROJECT.
7. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN REACHING ONE HALF THE HEIGHT OF THE BARRIER.
8. ALL SOIL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN PAVED OR VEGETATED.
9. ANY EXCESS TOPSOIL THAT IS TO BE STOCKPILED FOR A PERIOD LONGER THAN 2 WEEKS SHALL BE PROTECTED BY EXCAVATING A TRENCH COMPLETELY AROUND THE STOCKPILE TO PREVENT THE ESCAPE OF SOIL MATERIAL THROUGH STORM WATER RUNOFF. STOCKPILES THAT ARE TO REMAIN LONGER THAN 14 DAYS SHALL BE SEEDED WITH AN APPROPRIATE GROUND COVER.
10. TO PREVENT SOIL FROM LEAVING THE SITE ON CONSTRUCTION VEHICLE WHEELS, TEMPORARY GRAVEL ROADS AT WORK ENTRANCES SHALL BE CONSTRUCTED AND SHALL EXTEND INTO JOB SITE. THE EXISTING PAVEMENT SURFACES SHALL BE INSPECTED DAILY FOR SOIL DEBRIS AND SHALL BE CLEANED WHEN NECESSARY.
11. REPLACE SOIL EROSION CONTROL MEASURES WITH SEED, SOD AND TOPSOIL AT THE COMPLETION OF THE PROJECT.
12. SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN PROJECT IS COMPLETED.

SOIL EROSION AND SEDIMENT CONTROL NOTES

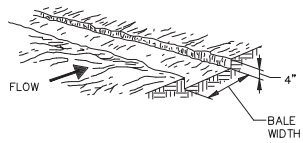
SCALE: 4  
NTS

NOT USED

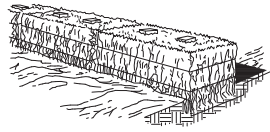
SCALE: 3  
NTS

NOT USED

SCALE: 2  
NTS



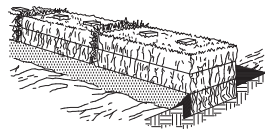
1. EXCAVATE THE TRENCH.



2. PLACE AND STAKE STRAW BALES.



3. WEDGE LOOSE STRAW BETWEEN BALES.

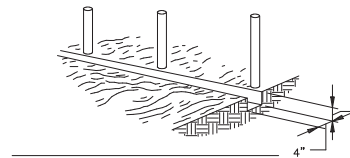


4. BACKFILL AND COMPACT THE EXCAVATED SOIL.

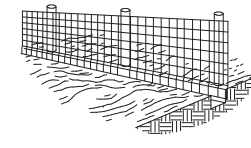
STRAW BALE BARRIER

GRADING NOTES:

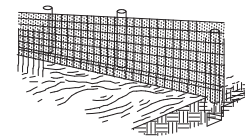
1. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
2. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
4. ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.



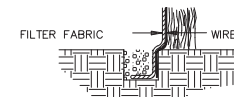
1. SET POSTS AND EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG POSTS.



2. STAPLE WIRE FENCING TO THE LINE OF POSTS.



3. ATTACH THE FILTER FABRIC TO THE WIRE FENCE AND EXTEND IT INTO THE TRENCH.



4. EXTENSION OF FABRIC AND WIRE INTO THE TRENCH.

SILT FENCE

EROSION CONTROL DETAIL

SCALE: 1  
NTS



ACG# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

0 09/27/23 ISSUE FOR ZONING REVIEW

1 11/01/23 ISSUE FOR ZONING REVIEW

2 02/01/24 ISSUE FOR ZONING REVIEW



02/01/24

FOR ZONING - REVIEW ONLY

PILOT GROVE

OWNER  
WYLIE I.S.D.

LEGAL DESCRIPTION  
WYLIE EAST HIGH SCHOOL  
ADDITION  
63.5 ACRE TRACT  
BLOCK A, LOT1  
VOLUME 2018 PAGE 349  
PLAT RECORDS OF  
COLIN COUNTY, TX

ADDRESS  
5085 BENNETT ROAD  
WYLIE, TX, 75098  
COLLIN COUNTY

DATE: 08/31/23

SHEET TITLE  
EROSION CONTROL DETAILS

SHEET NUMBER  
**Z-6**

Pilot Grove – Verizon Telecommunication Tower

EXHIBIT "C"

Conditions For Special Use Permit

I. PURPOSE:

The purpose of this Special Use Permit is to allow for a cellular communication site with a monopole tower classified as a Telecommunication Tower use.

II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of the telecommunication tower use shall take place in general accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

1. The development shall be enclosed by an 8' tall CMU wall on top of a retaining wall.
2. A 5' landscaping strip with flowering trees shall be required along the southern border of the enclosed development.
3. The zoning exhibit (Exhibit C) shall serve as the Site Plan for the Telecommunication Tower development. Approval of the SUP shall act as site plan approval.



# Wylie City Council

---

## AGENDA REPORT

**Department:** Engineering                      **Account Code:** 447-5447-58210  
**Prepared By:** Tim Porter

### Subject

Consider, and act upon, Resolution No. 2024-14(R) authorizing the City Manager of the City of Wylie to execute the Interlocal Agreement between the City of Wylie, Texas and the East Fork Special Utility District concerning waterline improvements along E. FM 544 from south of Alfred Drive to County Line Road.

### Recommendation

Motion to approve the Item as presented.

### Discussion

The E. FM 544 Capital Improvement Project improves approximately 6,600 feet of E. FM 544 from north of Alfred Drive to County Line Road and Vinson Road. On September 12, 2023, the City awarded the roadway construction bid to Tiseo Paving Company and project utility installation kick-off is awaiting the finalization of the subject agreement with the East Fork Special Utility District (EFSUD).

This Interlocal Agreement (ILA) between the City and EFSUD outlines payment and construction responsibility for waterline relocations within the project boundaries. Mains that are in easements owned by the SUD will be moved at the City's expense; however, those that are within existing City right-of-way will be moved at the expense of the EFSUD. EFSUD Standard Details shall be followed for all facilities and the installation shall be inspected by EFSUD personnel.

The City plans to perform all waterline relocations under the scope of the E. FM 544 project. EFSUD agrees to participate in the project by allocating six hundred sixty-nine thousand two hundred twenty dollars and twenty-seven cents (\$669,220.27) for the City's performance of the EFSUD's portion of the project. Also, EFSUD agrees to pay sixty-one percent (61%) of any additional costs associated with relocation or replacement of the existing utility waterline infrastructure, as outlined in the ILA and corresponding exhibits.

This ILA was approved by the EFSUD at their March 27, 2024 Board Meeting. To continue construction of the E. FM 544 Project, staff recommends approval of the attached ILA.

**RESOLUTION NO. 2024-14(R)**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, HEREBY AUTHORIZING THE CITY MANAGER OF THE CITY OF WYLIE TO EXECUTE THE INTERLOCAL AGREEMENT BETWEEN THE CITY OF WYLIE, TEXAS AND THE EAST FORK SPECIAL UTILITY DISTRICT CONCERNING WATERLINE IMPROVEMENTS ALONG E. FM 544 FROM SOUTH OF ALFRED DRIVE TO COUNTY LINE ROAD.**

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:**

SECTION 1: The City Manager of the City of Wylie, Texas, is hereby authorized to execute, on behalf of the City Council of the City of Wylie, the Interlocal Agreement between the City of Wylie, Texas and the East Fork Special Utility District concerning waterline improvements along E. FM 544 from south of Alfred Drive to County Line Road. See Exhibit "A" - Interlocal Agreement.

SECTION 2: This Resolution shall take effect immediately upon its passage.

**DULY PASSED AND APPROVED** by the City Council of the City of Wylie, Texas, this 9th day of April, 2024.

\_\_\_\_\_  
Matthew Porter, Mayor

**ATTEST TO:**

\_\_\_\_\_  
Stephanie Storm, City Secretary



**EXHIBIT "A"**  
**Interlocal Agreement**

**INTERLOCAL AGREEMENT BETWEEN THE CITY OF WYLIE AND THE EAST FORK SPECIAL UTILITY DISTRICT CONCERNING WATERLINE IMPROVEMENTS ALONG E FM 544 FROM NORTH OF ALFRED DRIVE TO COUNTY LINE ROAD**

WHEREAS, the City of Wylie, a Texas home-rule municipality ("City"), and the East Fork Special Utility District, a political subdivision of the State of Texas ("District"), desire to enter into this agreement ("Agreement") concerning the E. FM 544 Capital Improvement Program (CIP) Roadway Improvement Project from north of Alfred Drive to County Line Road ("Project") in Wylie, Collin County, Texas; and

WHEREAS, the Interlocal Cooperation Act (Texas Government Code Chapter 791) authorizes any local government to contract with one or more local governments to perform governmental functions and services under the terms of the Act; and

WHEREAS, the City and District have determined that the improvements may be constructed most economically by implementing this Agreement; and

WHEREAS, the City is providing roadway, utility, and pedestrian improvements to E. FM 544, from north of Alfred Drive to County Line Road; and

WHEREAS, the District is a retail public utility special district that owns and operates a water utility system; and

WHEREAS, portions of the District's waterline infrastructure are within the City's right-of way within the Project limits and require relocation afforded by the District; and

WHEREAS, portions of the Project overlay existing easements held by the District within the Project limits and certain water mains require relocation afforded by the City; and

WHEREAS, the functions and services contemplated to be performed by the Parties under this Agreement are governmental functions or services contemplated by the terms of the Act and are functions or services that each of the Parties hereto has independent authority to pursue, notwithstanding this Agreement; and

NOW, THEREFORE, this Agreement is made and entered into by the City and the District upon and for the mutual consideration stated herein.

**WITNESSETH:**

**ARTICLE I.**

The City shall arrange to construct improvements to the Project. The Project shall consist of constructing a 4-lane divided concrete roadway, a distance of approximately 6,600 feet, including construction of underground utilities and storm sewer. All utility improvements shall be designed to meet or exceed both the City's and District's design standards and shall be constructed in accordance with applicable codes, and approved plans and specifications. East Fork SUD

Standard Details shall be followed for all District facilities and the installation of all District facilities shall be inspected by District personnel.

## **ARTICLE II.**

The City shall prepare plans and specifications for the improvements, accept bids, award a contract to construct the improvements, and administer the construction contract. In all such activities, the City shall comply with all statutory requirements applicable to a municipal public works project. Changes to Project waterline utilities, other than what was submitted for initial project acceptance by the District, must be reviewed and approved by the City and the District.

## **ARTICLE III.**

The extent of each party's responsibilities is outlined in EXHIBIT 1. The City estimates the total actual cost of the Project to be sixteen million and thirty thousand dollars (\$16,030,000) ("Estimated Project Cost"). The District agrees to participate in the Project by allocating six hundred sixty nine thousand two hundred twenty dollars and twenty seven cents (\$669,220.27) (the "District Participation Amount") for the performance of the Project. The District shall remit one hundred percent (100%) of the District Participation Amount to the City after the execution of this Agreement and within thirty (30) days of the City submitting a written request for payment to the District.

As used herein, the terms "Estimated Project Cost" and "Actual Project Cost" may include land acquisition, engineering, construction, inspection, testing, and construction administration costs including contingencies.

## **ARTICLE IV.**

See EXHIBIT 2. The District's participation in the Project shall not exceed six hundred sixty nine thousand two hundred twenty dollars and twenty seven cents (\$669,220.27) plus sixty-one percent (61%) of any additional costs associated with relocation or replacement of the existing District utility waterline infrastructure, as outlined in EXHIBIT 1.

## **ARTICLE V.**

The City and District agree that the party paying for the performance of governmental functions or services shall make those payments only from current revenues legally available to the paying party.

## **ARTICLE VI.**

The District shall not be liable for the repair of sidewalks, fencing or landscaping associated with or caused by the repairs to District's waterlines located in the public right-of-way.

## ARTICLE VII.

VENUE. The laws of the State of Texas shall govern the interpretation, validity, performance and enforcement of this Agreement. The parties agree that this Agreement is performable in Collin County, Texas and that exclusive venue shall lie in Collin County, Texas.

## ARTICLE VIII.

SEVERABILITY. The provisions of this Agreement are severable. If any paragraph, section, subdivision, sentence, clause, or phrase of this Agreement is for any reason held by a court of competent jurisdiction to be contrary to law or contrary to any rule or regulation having the force and effect of the law, the remaining portions of the Agreement shall be enforced as if the invalid provision had never been included.

## ARTICLE IX.

ENTIRE AGREEMENT; MISCELLANEOUS. This Agreement embodies the entire agreement between the parties and may only be modified in a writing executed by both parties. Each party shall take all necessary and appropriate actions to effectuate the terms of this Agreement. Nothing in this Agreement creates, or shall be deemed or construed to create: (1) a partnership or joint venture, (2) the relationship of employee-employer or principal-agent, or (3) any liability for one party with respect to liabilities, obligations or acts of the other or its employees or contractors, and neither party nor its employees or contractors will represent that any of them is employed by or has authority to bind the other party. Nothing in this Agreement shall be construed to create any right in any third party not a signatory to this Agreement, and the parties do not intend to create any third-party beneficiaries by entering into this Agreement.

## ARTICLE X.

SUCCESSORS AND ASSIGNS. This Agreement shall be binding upon the parties hereto, their successors, heirs, personal representatives and assigns. Neither party will assign or transfer an interest in this Agreement without the written consent of the other party.

## ARTICLE XI.

IMMUNITY. It is expressly understood and agreed that, in the execution of this Agreement, neither party waives, nor shall be deemed hereby to have waived any immunity or defense that would otherwise be available to it against claims arising in the exercise of governmental powers and functions. By entering into this Agreement, the parties do not create any obligations, express or implied other than those set forth herein, and this Agreement shall not create any rights in parties not signatories hereto.

## ARTICLE XII.

EXPENSES FOR ENFORCEMENT. In the event either party hereto is required to employ an attorney to enforce the provisions of this Agreement or is required to commence legal proceedings to enforce the provisions hereof, the prevailing party shall be entitled to recover from

the other, reasonable attorney's fees and court costs incurred in connection with such enforcement, including collection.

### ARTICLE XIII.

**FORCE MAJEURE.** No party shall be liable or responsible to the other party, nor be deemed to have defaulted under or breached this Agreement, for any failure or delay in fulfilling or performing any term of this Agreement, when and to the extent such failure or delay is caused by or results from acts beyond the affected party's reasonable control, including, without limitation: acts of God; flood, fire or explosion; war, invasion, riot or other civil unrest; actions, embargoes or blockades in effect on or after the date of this Agreement; or national or regional emergency (each of the foregoing, a "Force Majeure Event"). A party whose performance is affected by a Force Majeure Event shall give notice to the other party, stating the period of time the occurrence is expected to continue and shall use diligent efforts to end the failure or delay and minimize the effects of such Force Majeure Event.

### ARTICLE XIV.

**TERM.** This Agreement shall be effective upon execution by both parties and shall continue in effect annually until final acceptance of the Project. This Agreement shall automatically renew annually during this period.

### ARTICLE XV.

**NOTICE.** Except as otherwise provided for herein, any notice required to be sent under this Agreement must be in writing and may be served (i) by depositing it in the United States Mail, addressed to the party to be notified, postage pre-paid and certified with return receipt requested, or (ii) by delivering the same in person to such party via a hand-delivery service, Federal Express or any courier service that provides a return receipt showing the date of actual delivery, or (iii) by electronic mail. Notice given in accordance herewith shall be effective upon receipt by the addressee. For purposes of notice, the addresses of the parties are as follows:

To the City:                      City of Wylie  
    Attn: City Manager  
    300 Country Club Road  
    Wylie, TX 75098  
    Email: citymgr@wylitexas.gov  
    cc: tim.porter@wylitexas.gov

To the District:                      East Fork SUD  
    Attn: General Manager  
    1355 Troy Road  
    Wylie, Texas 75098  
    Email: dana@eastforksud.com  
    cc: edaniel@dunaway.com

*[Signature page follows.]*

IN WITNESS WHEREOF, the parties have executed this Agreement and caused this Agreement to be effective when all the parties have signed it. The date this Agreement is signed by the last party to sign it (as indicated by the date associated with that party’s signature below) will be deemed the effective date of this Agreement.

**EAST FORK SPECIAL UTILITY DISTRICT,**  
a political subdivision of the State of Texas

By: \_\_\_\_\_  
Wayne Chumley, President

Date: \_\_\_\_\_, 2024

**CITY OF WYLIE,**  
a Texas home-rule municipality

By: \_\_\_\_\_  
Brent Parker, City Manager

Date: \_\_\_\_\_, 2024

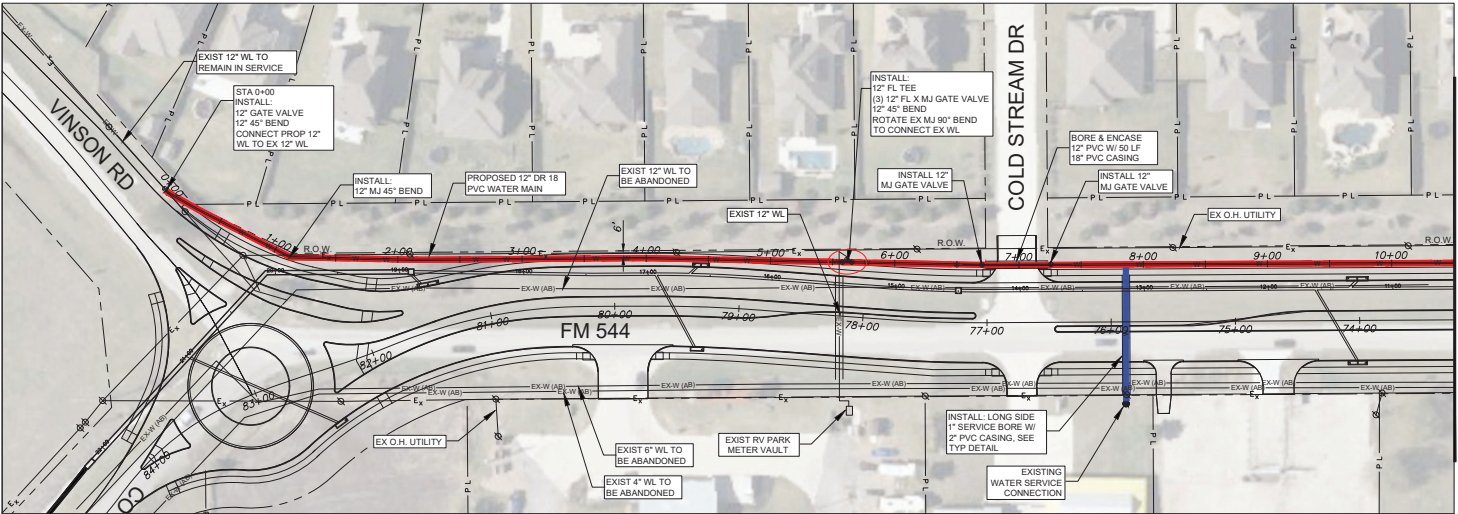
**EXHIBIT 1**

(Project Plan and Extents of Responsibility)

**EXHIBIT 2**

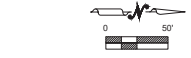
(Outline and Table of Financial Responsibilities)





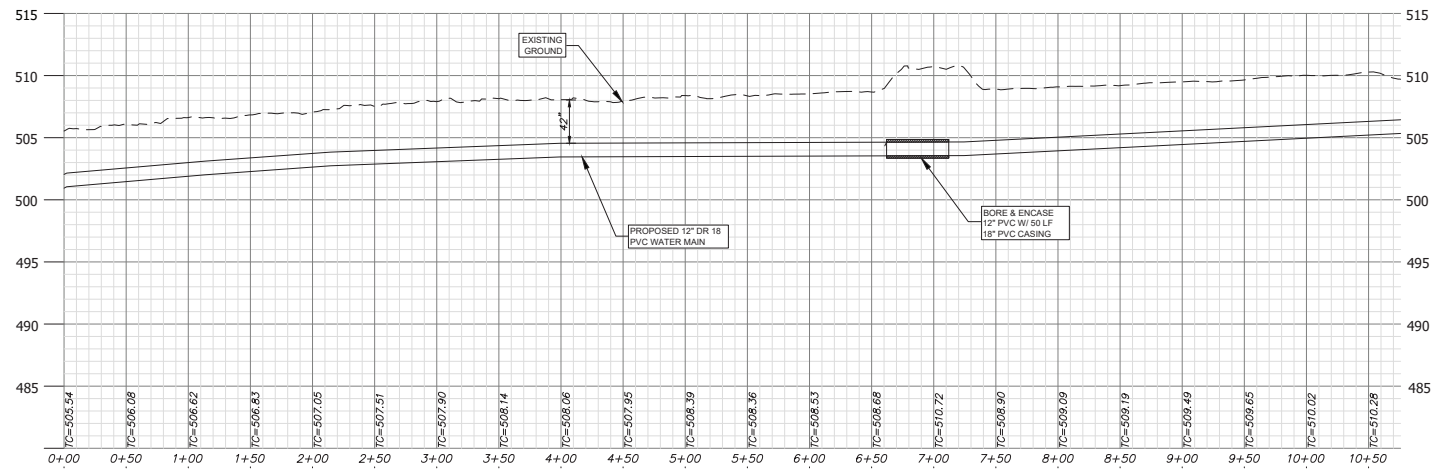
**WARNING TO CONTRACTOR**  
 CALL TEXAS 811 (LOCATING SERVICE) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT DUNAWAY ASSOCIATES L.P. DOES NOT ASSUME OR IMPLY ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.

**UTILITY NOTE:**  
 THE EXISTING UTILITIES SHOWN ON THE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL CONTACT A UTILITY LOCATING SERVICE 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.



——— EAST FORK COST SHARE  
——— CITY OF WYLE COST SHARE

REVISIONS	
NO.	DATE



**PLAN & PROFILE STA 0+00 - 10+50**

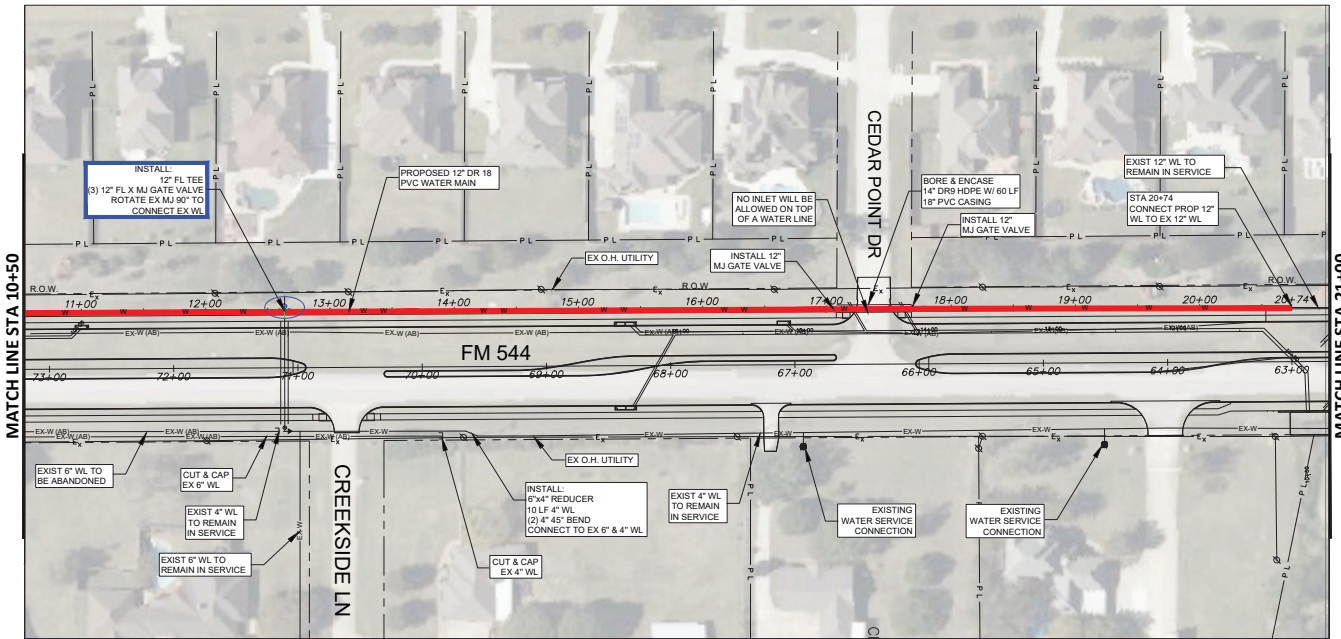
**PROPOSED 12" WATERLINE RELOCATION - FM 455 EAST FORK SPECIAL UTILITY DISTRICT COLLIN, DALLAS & ROCKWALL COUNTIES, TEXAS**

JOB NO.	B008942.001
DRAWN BY:	M.K.W.
DESIGNED BY:	A.M.D.
CHECKED BY:	E.W.D.
DATE:	JAN 2024

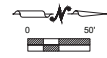
SHEET: **5** OF **17**

**WARNING TO CONTRACTOR**  
 CALL HEADS BY LOCATING SERVICE OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THE DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT DUNAWAY ASSOCIATES L.P. DOES NOT ASSUME OR IMPLY ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.

**UTILITY NOTE:**  
 THE EXISTING UTILITIES SHOWN ON THE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL CONTACT A UTILITY LOCATING SERVICE 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.



— EAST FORK COST SHARE  
 — CITY OF WYLLIE COST SHARE

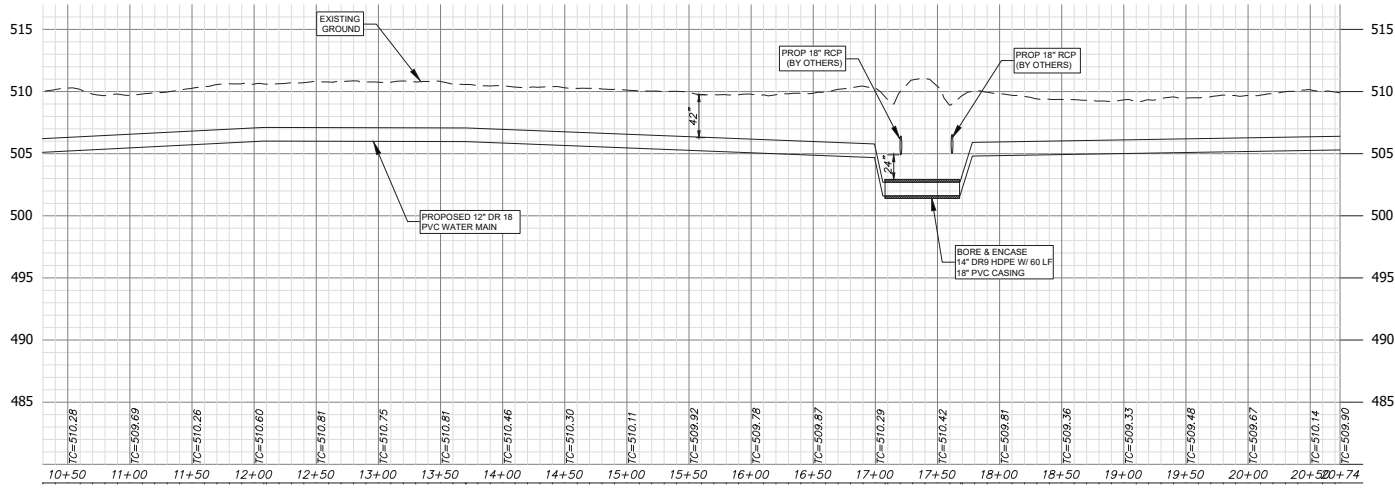


NO.	DATE	DESCRIPTION

**PLAN & PROFILE STA 10+50 - 20+74**



PROPOSED 12" WATERLINE RELOCATION - FM 455  
 EAST FORK SPECIAL UTILITY DISTRICT  
 COLLIN, DALLAS & ROCKWALL COUNTIES, TEXAS

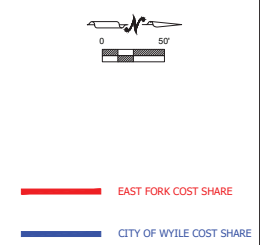


JOB NO.	B008942.001
DRAWN BY:	M.K.W.
DESIGNED BY:	A.M.D.
CHECKED BY:	E.W.D.
DATE:	JAN 2024

SHEET:  
**6** OF **17**

**WARNING TO CONTRACTOR**  
 CALL TEXAS 811 (LOCATING SERVICE) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT DUNAWAY ASSOCIATES L.P. DOES NOT ASSUME OR IMPLY ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.

**UTILITY NOTES:**  
 THE EXISTING UTILITIES SHOWN ON THE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.



NO. DATE

REVISIONS DESCRIPTION

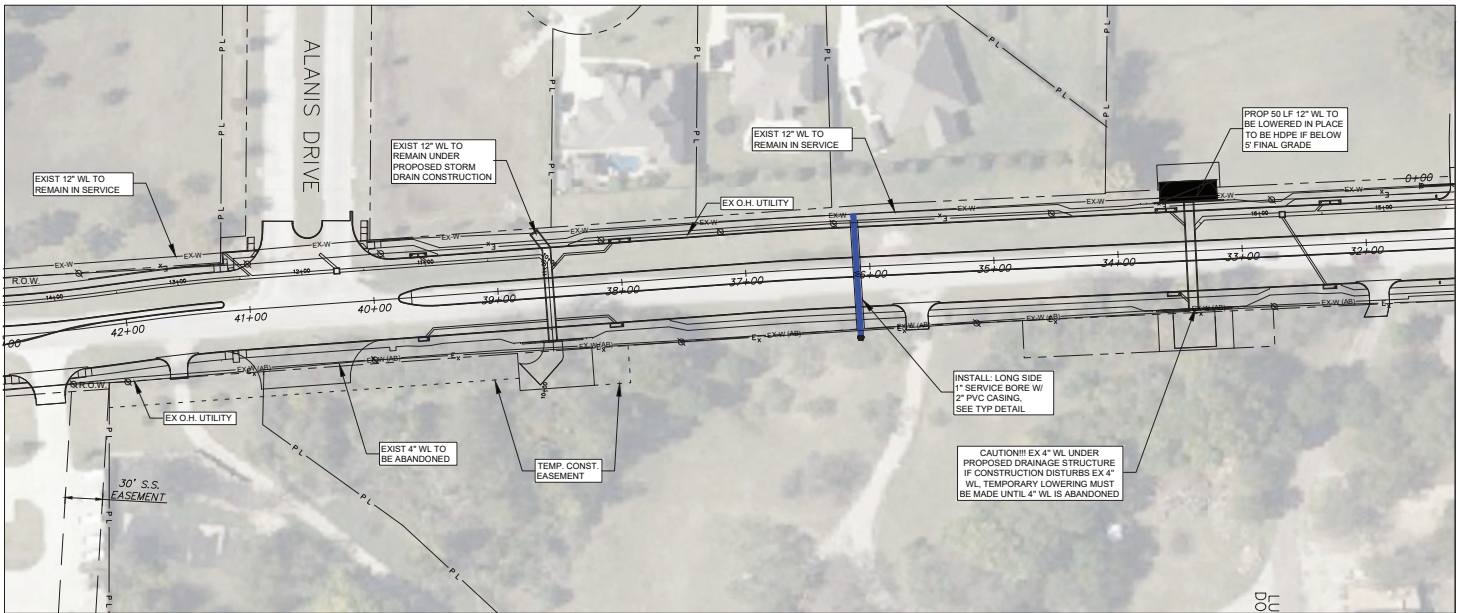
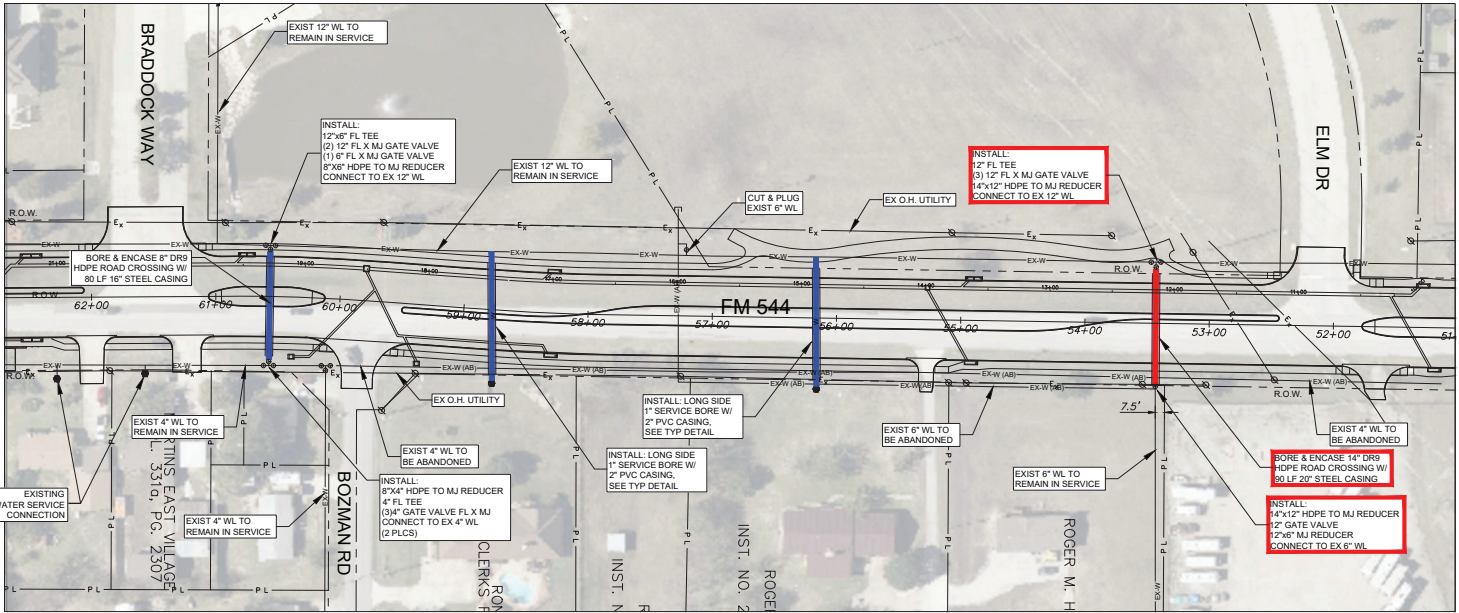
PLAN STA 31+00-43+00 & 51+00-63+00

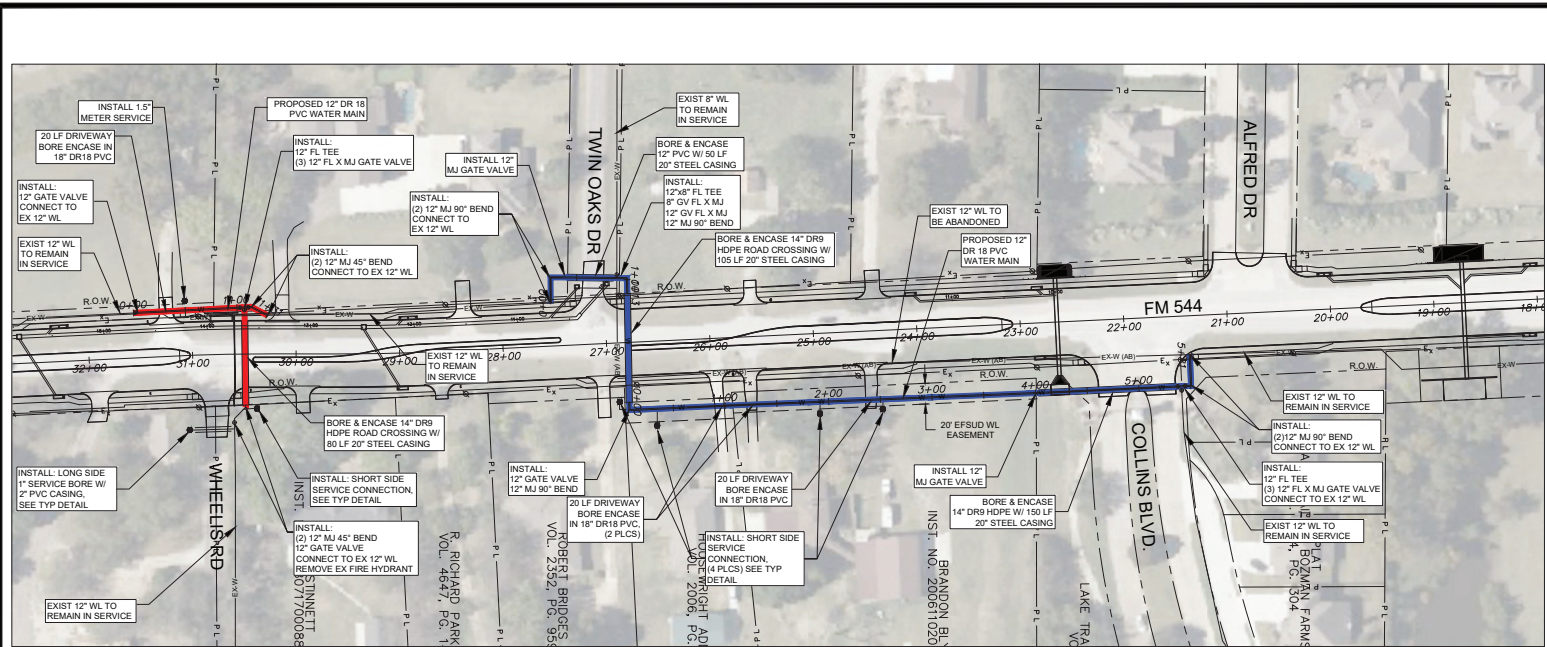
PROPOSED 12" WATERLINE RELOCATION - FM 455 EAST FORK SPECIAL UTILITY DISTRICT COLLIN, DALLAS & ROCKWALL COUNTIES, TEXAS



JOB NO. B008942.001  
 DRAWN BY: M.K.W.  
 DESIGNED BY: A.M.D.  
 CHECKED BY: E.W.D.  
 DATE: JAN 2024

SHEET: 7 OF 17

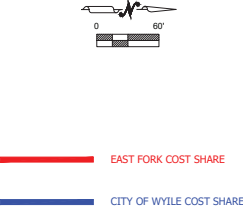




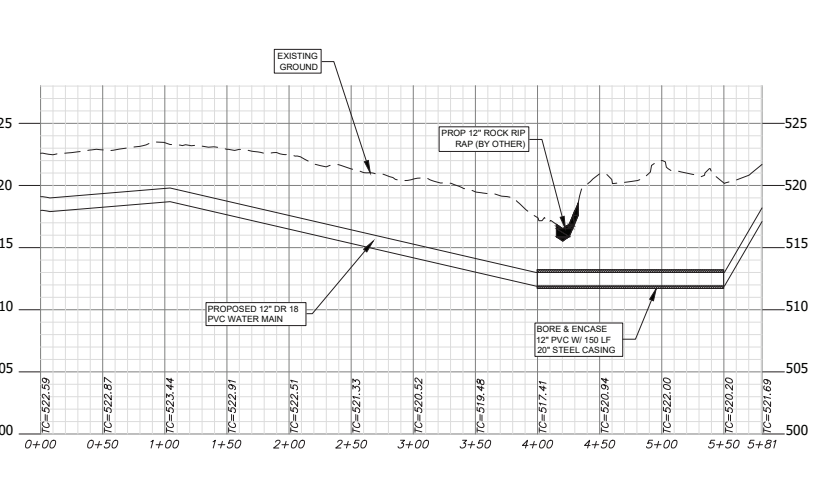
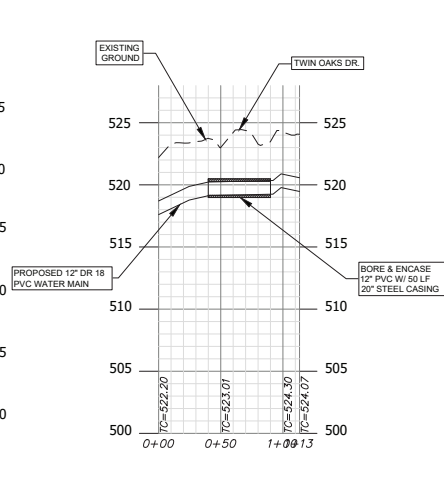
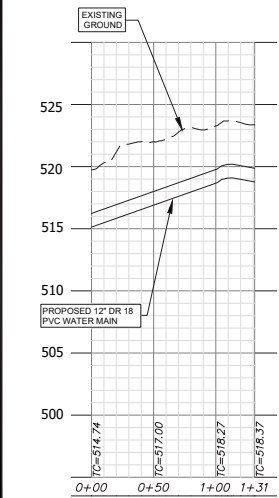
**WARNING TO CONTRACTOR**  
 CALL TEXAS 811 (LOCATING SERVICE) OR OTHER UTILITY LOCATING SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT DUNAWAY ASSOCIATES L.P. DOES NOT ASSUME OR IMPLY ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.

**UTILITY NOTICE:**  
 THE EXISTING UTILITIES SHOWN ON THE PLANS WERE COMPILED FROM VARIOUS SOURCES AND ARE INTENDED TO SHOW THE GENERAL EXISTENCE AND LOCATION OF UTILITIES IN THE AREA OF CONSTRUCTION. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITY INFORMATION SHOWN ON THE PLANS. THE CONTRACTOR SHALL CONTACT A UTILITY LOCATING SERVICE 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE PROPOSED FACILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY WHEN CONFLICTS WITH EXISTING UTILITIES ARE DISCOVERED.

NO.	DATE	DESCRIPTION



— EAST FORK COST SHARE  
 — CITY OF WYLE COST SHARE



PLAN & PROFILE STA 18+00 - 33+00



PROPOSED 12" WATERLINE  
 RELOCATION - FM 455  
 EAST FORK SPECIAL UTILITY DISTRICT  
 COLLIN, DALLAS & ROCKWALL  
 COUNTIES, TEXAS

JOB NO.	B008942.001
DRAWN BY:	M.K.W.
DESIGNED BY:	A.M.D.
CHECKED BY:	E.W.D.
DATE:	JAN 2024

SHEET:  
**9** OF 17

East Fork SUD Cost					
No.	Description	Unit	Quantity	Dunaway Est. Unit Price	Estimated Total
1	Remove and Replace Fire Hydrant and Valve Assembly	EA	1	\$ 6,037.00	\$ 6,037.00
2	Remove Existing Water Pipe	LF	2640	\$ 11.55	\$ 30,492.00
3	Furnish & Install C110 Full Body Ductile Iron Fittings	TON	1.41	\$ 7,770.00	\$ 10,955.70
4	Furnish & Install 12" DR 18 C900 PVC Water Line by Open Cut	LF	2114	\$ 124.95	\$ 264,144.30
5	Furnish & Install Short Side Service Connection to existing service lines with New Meter Box	EA	2	\$ 4,305.00	\$ 8,610.00
6	Furnish & Install Long Side Service Connection to existing service lines with New Meter Box	EA	1	\$ 6,195.00	\$ 6,195.00
7	Furnish & Install Long Side Service Connection to existing service lines	EA	0	\$ 5,500.00	\$ -
8	Lower waterline in place with New 14" DR9 HDPE Waterline	EA	0	\$ 11,602.00	\$ -
9	Furnish & Install Road Bore for 8" DR9 HDPE Waterline with 16" Steel Encasement	LF	0	\$ 250.00	\$ -
10	Furnish & Install Road Bore for 12" DR 18 PVC Waterline with 18" DR 21 PVC Encasement	LF	50	\$ 275.00	\$ 13,750.00
11	Furnish & Install Road Bore for 14" DR9 HDPE Waterline with 18" DR 21 PVC Encasement		60	\$ 300.00	\$ 18,000.00
12	Furnish & Install Road Bore for 14" DR9 HDPE Waterline with 20" Sch. 40 Steel Encasement	LF	170	\$ 350.00	\$ 59,500.00
13	Furnish & Install Driveway Bore for 12" DR 18 PVC Waterline	LF	20	\$ 175.00	\$ 3,500.00
14	Furnish & Install 4" Gate Valve	EA	0	\$ 2,500.00	\$ -
15	Furnish & Install 6" Gate Valve	EA	0	\$ 3,000.00	\$ -
16	Furnish & Install 8" Gate Valve	EA	0	\$ 3,500.00	\$ -
17	Furnish & Install 12" Gate Valve	EA	17	\$ 4,777.50	\$ 81,217.50
18	Furnish & Install Connection of Existing 6" PVC Waterline to Existing 4" PVC Waterline	EA	0	\$ 2,000.00	\$ -
19	Furnish & Install Connection of new 4" PVC Waterline to Existing 4" PVC Waterline	EA	0	\$ 1,500.00	\$ -
20	Furnish & Install Connection of new 6" PVC Waterline to Existing 6" PVC Waterline	EA	1	\$ 2,000.00	\$ 2,000.00
21	Furnish & Install Connection of new 12" PVC Waterline to Existing 8" PVC Waterline	EA	0	\$ 2,250.00	\$ -
22	Furnish & Install Connection of new 12" PVC Waterline to Existing 12" PVC Waterline	EA	7	\$ 2,500.00	\$ 17,500.00
23	Furnish & Install Seeding	SF	31710	\$ 0.10	\$ 3,171.00
24	Furnish & Install Test Station	EA	2	\$ 250.00	\$ 500.00
25	Furnish & Install Tracer Wire	LF	2414	\$ 0.25	\$ 603.50
26	Furnish & Install Erosion Control	LF	2414	\$ 2.50	\$ 6,035.00
27	Cut & Cap Existing 4" Waterline	EA	0	\$ 1,000.00	\$ -
28	Cut & Cap Existing 6" Waterline	EA	0	\$ 1,500.00	\$ -
29	Furnish & Install Trench Safety	LF	2414	1.05	\$ 2,534.70
Construction Cost Estimate Subtotal					\$ 534,745.70
Contingency 10%					\$ 53,474.57
Construction Total					\$ 588,220.27 61%
East Fork ENG Cost					\$ 61,000.00
East Fork ADMIN Cost					\$ 20,000.00
Total East Fork SUD Cost					\$ 669,220.27

City of Wylie Cost					
No.	Description	Unit	Quantity	Dunaway Est. Unit Price	Estimated Total
1	Remove and Replace Fire Hydrant and Valve Assembly	EA	0	\$ 6,037.00	\$ -
2	Remove Existing Water Pipe	LF	0	\$ 11.55	\$ -
3	Furnish & Install C110 Full Body Ductile Iron Fittings	TON	1.44	\$ 7,770.00	\$ 11,188.80
4	Furnish & Install 12" DR 18 C900 PVC Water Line by Open Cut	LF	505	\$ 124.95	\$ 63,099.75
5	Furnish & Install Short Side Service Connection to existing service lines with New Meter Box	EA	4	\$ 4,305.00	\$ 17,220.00
6	Furnish & Install Long Side Service Connection to existing service lines with New Meter Box	EA	0	\$ 6,195.00	\$ -
7	Furnish & Install Long Side Service Connection to existing service lines	EA	4	\$ 5,500.00	\$ 22,000.00
8	Lower waterline in place with New 14" DR9 HDPE Waterline	EA	1	\$ 11,602.00	\$ 11,602.00
9	Furnish & Install Road Bore for 8" DR9 HDPE Waterline with 16" Steel Encasement	LF	80	\$ 250.00	\$ 20,000.00
10	Furnish & Install Road Bore for 12" DR 18 PVC Waterline with 18" DR 21 PVC Encasement	LF	0	\$ 275.00	\$ -
11	Furnish & Install Road Bore for 14" DR9 HDPE Waterline with 18" DR 21 PVC Encasement		0	\$ 300.00	\$ -
12	Furnish & Install Road Bore for 14" DR9 HDPE Waterline with 20" Sch. 40 Steel Encasement	LF	240	\$ 350.00	\$ 84,000.00
13	Furnish & Install Driveway Bore for 12" DR 18 PVC Waterline	LF	60	\$ 175.00	\$ 10,500.00
14	Furnish & Install 4" Gate Valve	EA	3	\$ 2,500.00	\$ 7,500.00
15	Furnish & Install 6" Gate Valve	EA	1	\$ 3,000.00	\$ 3,000.00
16	Furnish & Install 8" Gate Valve	EA	1	\$ 3,500.00	\$ 3,500.00
17	Furnish & Install 12" Gate Valve	EA	13	\$ 4,777.50	\$ 62,107.50
18	Furnish & Install Connection of Existing 6" PVC Waterline to Existing 4" PVC Waterline	EA	1	\$ 2,000.00	\$ 2,000.00
19	Furnish & Install Connection of new 4" PVC Waterline to Existing 4" PVC Waterline	EA	1	\$ 1,500.00	\$ 1,500.00
20	Furnish & Install Connection of new 6" PVC Waterline to Existing 6" PVC Waterline	EA	0	\$ 2,000.00	\$ -
21	Furnish & Install Connection of new 12" PVC Waterline to Existing 8" PVC Waterline	EA	1	\$ 2,250.00	\$ 2,250.00
22	Furnish & Install Connection of new 12" PVC Waterline to Existing 12" PVC Waterline	EA	5	\$ 2,500.00	\$ 12,500.00
23	Furnish & Install Seeding	SF	7575	\$ 0.10	\$ 757.50
24	Furnish & Install Test Station	EA	1	\$ 250.00	\$ 250.00
25	Furnish & Install Tracer Wire	LF	935	\$ 0.25	\$ 233.75
26	Furnish & Install Erosion Control	LF	935	\$ 2.50	\$ 2,337.50
27	Cut & Cap Existing 4" Waterline	EA	1	\$ 1,000.00	\$ 1,000.00
28	Cut & Cap Existing 6" Waterline	EA	1	\$ 1,500.00	\$ 1,500.00
29	Furnish & Install Trench Safety	LF	935	1.05	\$ 981.75
Construction Cost Estimate Subtotal					\$ 341,028.55
Contingency 10%					\$ 34,102.86
Construction Total					\$ 375,131.41
East Fork ENG Cost					\$ 39,000.00
East Fork ADMIN Cost					\$ 13,000.00
Total City of Wylie Cost					\$ 427,131.41



# Wylie City Council

---

## AGENDA REPORT

Department: City Secretary  
Prepared By: Stephanie Storm

Account Code: \_\_\_\_\_

### Subject

Consider, and act upon, the acceptance of the resignation of Stephen Burkett and the appointment of Kevin Hughes to the City of Wylie Historic Review Commission to fill the term of April 2024 to June 30, 2025.

### Recommendation

Motion to approve the Item as presented.

### Discussion

When the 2023 Board and Commission interviews were held, Council approved a designated replacement for the Historic Review Commission should a vacancy occur during the year. Staff reached out to Replacement 1 to see if they would still be interested in serving on the board. Replacement 1, Kevin Hughes, replied back and is interested and willing to serve.



# Wylie City Council

---

## AGENDA REPORT

Department: Planning  
Prepared By: Jasen Haskins

Account Code: \_\_\_\_\_

### Subject

Consider, and act upon, Ordinance No. 2024-10 for a change in zoning from Agricultural (AG/30) to a Planned Development with single family attached, single family detached, commercial development, and open space on 25.037 acres. Property located near 605 Country Club Road (ZC 2023-18).

### Recommendation

Motion to approve the Item as presented.

### Discussion

On March 26, 2024 City Council approved the writing of an ordinance for a change in zoning from Agricultural (AG/30) to a Planned Development with single family attached, single family detached, commercial development, and open space on 25.037 acres. Property located near 605 Country Club Road (ZC 2023-18).

As part of the approval, Council stipulated that Commercial Building #2 be recessed from Country Club Road with the parking lot being on the frontage. That stipulation has been met and is shown on the amended zoning exhibit. Additionally, in response to general comments, the applicant has added a solid masonry wall and landscaping requirements to the clubhouse area along Country Club and lots bordering Presidential Estates. There is also lighting, noise, and lighting requirements for the Clubhouse and courts.

Final approval of Zoning Case 2023-18 requires the adoption of the Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject ordinance allows for the rezoning. Exhibit A (Legal Description), Exhibit B (Zoning Exhibit), and Exhibit C (PD Conditions) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

**ORDINANCE NO. 2024-10**

**AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2023-18, FROM AGRICULTURAL (AG/30) TO PLANNED DEVELOPMENT (PD) TO ALLOW FOR SINGLE FAMILY ATTACHED, SINGLE FAMILY DETACHED, COMMERCIAL DEVELOPMENT, AND OPEN SPACE ON 25.037 ACRES; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

**NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:**

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Planned Development (PD), said property being described in Exhibit A (Legal Description), hereto and made a part hereof for all purposes.

SECTION 2: That a Zoning Exhibit and PD Conditions are an integral component of the development of the property and are attached as Exhibit B and Exhibit C.

SECTION 3: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 6: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.



**SECTION 7:** This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

**SECTION 8:** The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS,** on this 9<sup>th</sup> day of April, 2024.

\_\_\_\_\_  
Matthew Porter, Mayor

ATTEST:

\_\_\_\_\_  
Stephanie Storm, City Secretary

*DATE OF PUBLICATION: April 17, 2024, in The Wylie News*

**LEGAL DESCRIPTIONS:**

**BEING a 25.0372 acre tract situated in the George W. Gunnell Survey, Abstract No. 351, Collin County, Texas and being all of a tract of land described in a deed to Wylie Partners, LP as recorded in Instrument Number 20180530000658260 of the Official Public Records Collin County, Texas (O.P.R.C.C.T.), and all tract of land described in a deed to Abdul R. Khan and Abdul L. Khan, as recorded in Instrument Number 20150608000672830, (O.P.R.C.C.T.) and all of a tract of land described in a deed to Scott Residential, LLC as recorded in Instrument Number 20181105001376830, 20181106001376890 (O.P.R.C.C.T.) and all of a tract of land described in a deed to ALK Real Estate Investment, LLP, as recorded in Instrument Number 20170302000278350 (O.P.R.C.C.T.) and being more particularly described by metes and bounds as follows:**

**BEGINNING at a 1/2-inch iron rod set at the northeast corner of said Wylie Partners, LP, and the southeast corner of Presidential Estates, an addition to the City of Wylie as recored in Volume G, Page 174, Map Records of Collin County, Texas, and on the west right-of-way line of FM Highway No. 1378 (a variable width right-of-way), for a corner;**

**THENCE South 00 degrees 30 minutes 18 seconds East along the east line of said Wylie Partners, LP, and on the west right-of-way line of said FM Highway No. 1378, a distance of 210.17 feet to a 1/2-inch iron rod found at the southeast corner of said Wylie Partners, LP and the northeast corner of said Khan tract, and at the beginning of a curve to the right having a radius of 2937.97 feet and a chord bearing and distance of South 01 degrees 44 minutes 34 seconds West, 154.95 feet;**

**THENCE Along the east line of said Khan tract and the west right-of-way line of said FM Highway No. 1378, and along said curve to the right having a delta of 03 degrees 01 minutes 19 seconds and a arc length of 154.95 feet to a 1/2-inch iron rod set for corner**

**THENCE South 01 degrees 31 minutes 02 seconds West, along the east line of said Khan tract and the west right-of-way line of said FM Highway No. 1378, a distance of 109.32 feet to a 5/8-inch iron rod found with cap stamped "TXDOT", at the southeast corner of said Khan tract and the northeast corner of said ALK Real Estate Investment, LLP, tract and the beginning of a curve to the left having a radius of 3643.48 feet and a chord bearing and distance of South 00 degrees 44 minutes 09 seconds West, 198.68 feet;**

**THENCE along the east line of said ALK Real Estate Investment, LLP, tract and on the west right-of-way line of said FM Highway No. 1378 and along said curve to the left having a delta of 03 degrees 07 minutes 29 seconds, and an arc length of 198.71 feet to a 1/2-inch iron rod set at the southeast corner of said ALK Real Estate Investment, LLP, tract and the north line of a tract of land described in a deed to City of Wylie, as recorded in Instrument Number 98-0038017, (O.P.R.C.C.T.), for a corner;**

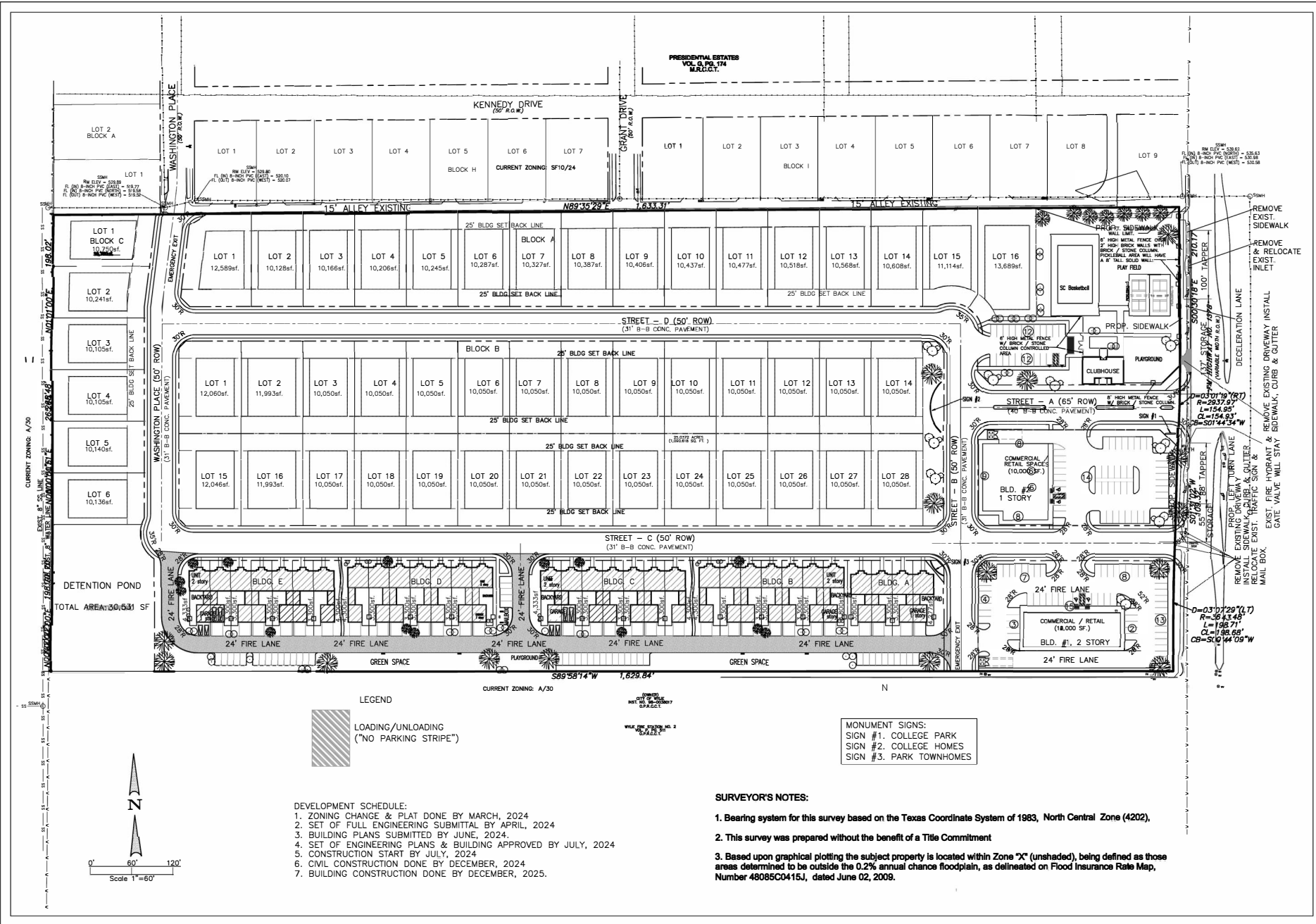
**THENCE South 89 degrees 58 minutes 14 seconds West, along the south line of said ALK Real Estate Investment, LLP tract, and on the north line of said City of Wylie tract a distance of 1629.84 feet to a 1/2-iron rod found at the southwest corner of said ALK Real Estate Investment tract and the northwest corner of said City of Wylie tract, for a corner;**

**THENCE North 00 degrees 22 minutes 00 seconds East, along the west line of said ALK Real Estate Investment tract, a distance of 198.70 feet to a 3/8-inch iron rod found at the northwest corner of said ALK Real Estate Investment tract, and the southwest corner of said Scott Residential, LLC, for a corner;**

**THENCE North 00 degrees 00 minutes 51 seconds East, along the west line of said Scott Residential, LLC tract, a distance of 265.48 feet to a 3/8-inch iron rod found at the northwest corner of said Scott Residential, LLC tract, and the southwest corner of said Wylie Partners, LP tract, for a corner;**

**THENCE North 01 degrees 01 minutes 00 seconds East, along the west line of said Wylie Partners, LP tract, a distance of 198.0 feet to a 5/8-inch iron rod found at the northwest corner of said Wylie Partners, LP tract, and the southwest corner of said Presidential Estates, for a corner;**

**THENCE North 89 degrees 35 minutes 29 seconds East, along the north line of said Wylie Partners, LP tract and the south line of said Presidential Estates, a distance of 1633.31 feet to the POINT OF BEGINNING AND CONTAINING 1,090,618 square feet or 25.0372 acres of land, more or less.**



**COLLEGE PARK**  
 GEORGE V. GUNNELL SURVEY ABSTRACT NO. 351  
 CITY OF WYLIE, COLLIN COUNTY, TEXAS  
 AREA 2564 ACRES

**ND & Associates, LLC**  
 2105 Canyon Creek Drive  
 Garland, Texas 75042  
 PH: (214) 533 7181  
 EMAIL: ndalm1207@yahoo.com  
 FIRM # F - 13340

NO.	DATE	REVISION
1		
2		
3		
4		

*W. Namphur*  
 WITNESSED AND SUBSCRIBED TO before me on 04/09/2024  
 the within and foregoing plat and plat map for the above described property.  
 My commission expires on 04/09/2024  
 REGISTERED PROFESSIONAL SURVEYOR  
 STATE OF TEXAS  
 No. 1778  
 Exp. 04/09/2024

**CONCEPT PLAN**

DATE: 4/2/2024 SCALE: 1" = 60'  
 DRAWN BY: ND CHECKED BY: NK  
 PROJECT #: 765-WYL-23  
 SHEET NO.: C-1



VICINITY MAP  
N.T.S.

605 Country Club Road, Wylie - Trip Generation (ITE Trip Generation Manual, 11th Edition)

ITE #	Use	Quantity	Weekday	AM Peak Hour			PM Peak Hour			
				Total	In	Out	Total	In	Out	
210	Single-Family Detached Housing	43 Lots	464	35	9	26	45	28	17	
215	Single-Family Attached Housing	32 Units	193	11	3	8	15	9	6	
822	Strip Retail Plaza (< 40K SF)	30,000 SF	1,496	59	35	24	170	85	85	
<b>Total:</b>				<b>2,153</b>	<b>105</b>	<b>47</b>	<b>58</b>	<b>230</b>	<b>122</b>	<b>108</b>
Internal Capture (AM = 0%, PM = 23%):				--	0	0	0	54	28	26
<b>Trips to Site:</b>				--	<b>105</b>	<b>47</b>	<b>58</b>	<b>176</b>	<b>94</b>	<b>82</b>
Pass-by Trips (AM = 0%, PM = 15%):				--	0	0	0	26	13	13
<b>New Trips to Site:</b>				--	<b>105</b>	<b>47</b>	<b>58</b>	<b>150</b>	<b>81</b>	<b>69</b>

SITE DATA TABLE

	SF - 10/24 (SINGLE FAMILY)	TH (TOWNHOMES)	COMMUNITY COMMERCIAL	COMMON AREAS
TOTAL LAND AREA	14.5 ACRES	4.0 ACRES	2.2 ACRES	3.8 ACRES
TOTAL HOUSES	50	32	24,000 SF. BLDG.	
MIN. LOT AREA	10,000 SF.	3,300 SF.		
MIN. LOT WIDTH	75 FEET	30 FEET		
MIN. LOT DEPTH	100 FEET	110 FEET		
MAX. LOT COVERAGE	45%	60%		
MIN. DWELLING SIZE	2,400 SF.	1,200 SF.		
FRONT YARD	25 FEET MIN.	5 FEET MIN.		
SIDE YARD	10 FEET MIN.	0 FEET MIN.		
REAR YARD	25 FEET MIN.	20 FEET MIN.		
BUILDING HEIGHT	40 FEET	40 FEET	50 FEET	
2 CAR GARAGE AREA	500 SF.	500 SF.		

LEGAL DESCRIPTIONS:

BEING a 25.0372 acre tract situated in the George W. Gunnell Survey, Abstract No. 351, Collin County, Texas and being all of a tract of land described in a deed to Wylie Partners, LP as recorded in Instrument Number 2018053000658260 of the Official Public Records Collin County, Texas (O.P.R.C.C.T.), and all tract of land described in a deed to Abdul R. Khan and Abdul L. Khan, as recorded in Instrument Number 20150608000672830, (O.P.R.C.C.T.) and all of a tract of land described in a deed to Scott Residential, LLC as recorded in Instrument Number 20181105001376830, 20181106001376890 (O.P.R.C.C.T.) and all of a tract of land described in a deed to ALK Real Estate Investment, LLP, as recorded in Instrument Number 20170302000278350 (O.P.R.C.C.T.) and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod set at the northeast corner of said Wylie Partners, LP, and the southeast corner of Presidential Estates, an addition to the City of Wylie as record in Volume G, Page 174, Map Records of Collin County, Texas, and on the west right-of-way line of FM Highway No. 1378 (a variable width right-of-way), for a corner;

THENCE South 00 degrees 30 minutes 18 seconds East along the east line of said Wylie Partners, LP, and on the west right-of-way line of said FM Highway No. 1378, a distance of 210.17 feet to a 1/2-inch iron rod found at the southeast corner of said Wylie Partners, LP and the northeast corner of said Khan tract, and at the beginning of a curve to the right having a radius of 2937.97 feet and a chord bearing and distance of South 01 degrees 44 minutes 34 seconds West, 154.95 feet;

THENCE Along the east line of said Khan tract and the west right-of-way line of said FM Highway No. 1378, and along said curve to the right having a delta of 03 degrees 01 minutes 19 seconds and a arc length of 154.95 feet to a 1/2-inch iron rod set, for corner

THENCE South 01 degrees 31 minutes 02 seconds West, along the east line of said Khan tract and the west right-of-way line of said FM Highway No. 1378, a distance of 109.32 feet to a 5/8-inch iron rod found with cap stamped "TXDOT", at the southeast corner of said Khan tract and the northeast corner of said ALK Real Estate Investment, LLP, and the beginning of a curve to the left having a radius of 3643.48 feet and a chord bearing and distance of South 00 degrees 44 minutes 09 seconds West, 198.68 feet;

THENCE along the east line of said ALK Real Estate Investment, LLP, tract and on the west right-of-way line of said FM Highway No. 1378 and along said curve to the left having a delta of 03 degrees 07 minutes 29 seconds, and an arc length of 198.71 feet to a 1/2-inch iron rod set at the southeast corner of said ALK Real Estate Investment, LLP, tract and the north line of a tract of land described in a deed to City of Wylie, as recorded in Instrument Number 98-0038017, (O.P.R.C.C.T.), for a corner;

THENCE South 89 degrees 58 minutes 14 seconds West, along the south line of said ALK Real Estate Investment, LLP tract, and on the north line of said City of Wylie tract a distance of 1629.84 feet to a 1/2-inch iron rod found at the southwest corner of said ALK Real Estate Investment tract and the northwest corner of said City of Wylie tract, for a corner;

THENCE North 00 degrees 22 minutes 00 seconds East, along the west line of said ALK Real Estate Investment tract, a distance of 198.70 feet to a 3/8-inch iron rod found at the northwest corner of said ALK Real Estate Investment tract, and the southwest corner of said Scott Residential, LLC, for a corner;

THENCE North 00 degrees 00 minutes 51 seconds East, along the west line of said Scott Residential, LLC tract, a distance of 265.48 feet to a 3/8-inch iron rod found at the northwest corner of said Scott Residential, LLC tract, and the southwest corner of said Wylie Partners, LP tract, for a corner;

THENCE North 01 degrees 01 minutes 00 seconds East, along the west line of said Wylie Partners, LP tract, a distance of 198.02 feet to a 5/8-inch iron rod found at the northwest corner of said Wylie Partners, LP tract, and the southwest corner of said Presidential Estates, for a corner;

THENCE North 89 degrees 35 minutes 29 seconds East, along the north line of said Wylie Partners, LP tract and the south line of said Presidential Estates, a distance of 1633.31 feet to the POINT OF BEGINNING AND CONTAINING 1,090,618 square feet or 25.0372 acres of land, more or less.

GENERAL NOTES:

- ALL USES PERMITTED BY THE CITY OF WYLIE, TEXAS.
- ALL SURFACE MATERIALS OF PUBLIC STREETS, ACCESS DRIVEWAYS AND SIDEWALKS SHALL MEET OR EXCEED MINIMUM CITY STANDARDS & SPECIFICATIONS.
- FINAL STREET LAYOUT, LOT CONFIGURATIONS, DIMENSIONS & AREAS MAY VARY PROVIDING NO VARIANCES OF THE CITY OF WYLIE.
- LANDSCAPE SHALL COMPLY WITH THE CITY OF WYLIE RULES AND REGULATIONS.
- THERE WILL BE A 6 FT. TALL WOOD FENCES AT NORTH, SOUTH & WEST BOUNDARY, A 6 FT. TALL MASONRY WALL NORTH OF BASKETBALL & PLAY FIELD AREA. ALSO EAST OF PLAY FIELD, PICKLE BALL COURT & PLAY GROUND WALL HAVE 6' METAL FENCE OVER 2' BRICK WALL WITH BRICK / STONE COLUMNS.
- A HOMEOWNERS ASSOCIATIONS WILL BE FORMED TO MAINTAIN COMMON & EASEMENT AREAS AS PER THE CITY REQUIREMENTS.
- TOWNHOMES LOT WILL HAVE 500 SF GARAGES.
- ALL SINGLE FAMILY HOUSES WILL HAVE FRONT GARAGE ENTRY

9 PLAY FIELD & PLAY GROUND ACTIVITIES WILL BE CLOSED FROM 10 PM TO 6 AM THROUGHOUT THE YEAR AS PER THE CITY REGULATIONS

**DEVELOPER/OWNER & APPLICANT**  
 SCOTT RESIDENTIAL, LLC  
 CONTACT: DR. ABDUL LATEEF KHAN  
 5411 KINGSTON DRIVE  
 RICHARDSON, TEXAS 75082  
 PH: (469) 870 6020

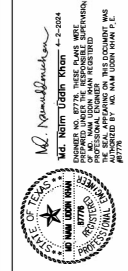
**ARCHITECT**  
 OCULUS ARCHITECTS, INC.  
 CONTACT: FOKRUDDIN KHONDAKER, AIA, NCARB  
 14310 RICH BRANCH LANE  
 NORTH POTOMAC, MD 20878

**CIVIL ENGINEER**  
 ND & ASSOCIATES, LLC  
 CONTACT: NAIM KHAN, P.E. CFM  
 803 CHERRY TREE LANE  
 WYLIE, TEXAS 75098  
 PH. 214 533 7181  
 E-MAIL: naim1207@yahoo.com

**COLLEGE PARK**  
 GEORGE W. GUNNELL SURVEY ABSTRACT NO. 351  
 CITY OF WYLIE, COLLIN COUNTY, TEXAS  
 AREA: 2504 ACRES  
 DEVELOPER: SCOTT RESIDENTIAL, LLC  
 CONTACT: ABDUL LATEEF KHAN  
 RICHARDSON, TEXAS 75082  
 PH: (469) 870 6020

**ND & Associates, LLC**  
 2105 Canyon Creek Drive  
 Garland, Texas 75042  
 PH: (214) 533 7181  
 EMAIL: naim1207@yahoo.com  
 FIRM # F - 13340

NO.	DATE	REVISION
1		
2		
3		
4		



**SITE DATA**

DATE: 4/2/2024	SCALE: N.T.S.
DRAWN BY: ND	CHECKED BY: NK
PROJECT: 765-WYL-23	
SHEET NO: C-2	

**PLANNED DEVELOPMENT STANDARDS  
EXHIBIT “C”  
COLLEGE PARK  
2023-18**

**PURPOSE**

College Park is a sustainable neighborhood with the intent to promote a gradual transition of single family detached residential living with a higher density townhouse community. The neighborhood is accompanied by open spaced amenities and a commercial retail component.

**GENERAL CONDITIONS**

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. A traffic Impact Analysis (TIA) shall be completed and accepted by the City prior to the final approval of a preliminary plat.
3. The development shall be required to have an Home Owners Association (HOA) in which the Covenants, Conditions, and Restrictions (CCRs) shall address clubhouse hours of operation, lighting, and noise rules that meet or exceed city standards at adoption. The CCRs shall be submitted to and accepted by the City prior to the approval of the preliminary plat.
4. In order to promote concurrence of development the following shall be required:
  - a. A preliminary plat for the entire site shall be submitted as one subdivision.
  - b. A minimum of 10,000 square feet of commercial space on one lot, along with all customary infrastructure requirements shall be completed and receive approval by the City, through a shell building certificate of occupancy, prior to the final inspection of any single family residence, except up to three model homes.
  - c. A minimum of 20,000 square feet of commercial space on two separate lots, along with all customary infrastructure requirements shall be completed and receive approval by the City, through a shell building certificate of occupancy, prior to the 40th single family residence final inspection.

**SINGLE FAMILY DETACHED RESIDENTIAL**

**II. GENERAL CONDITIONS:**

1. All regulations of the Single Family 10/24 set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of June 2023) shall apply except as specifically provided herein.
2. The development shall be in general conformance with Exhibit “B” (Zoning Exhibit).

**A. SPECIAL CONDITIONS:**

1. Maximum number of residential detached lots shall not exceed 50 lots.
2. Alleys shall not be required within the Single Family Detached tract of the Planned Development.
3. All homes within the community shall have front entry garages.
4. J-swing garage entries shall not be required.
5. The second point of vehicular access into the development shall be located off the existing street of Washington Place to the north and shall be gate restricted for emergency access only.
6. A Homeowner's Association (HOA) shall be established that will be responsible for maintenance of all screening, HOA open space lots, HOA common areas, and landscaping within HOA areas.
  - a. A 8' high metal fence with brick columns shall be required for the community park.

## **TOWNHOUSE RESIDENTIAL**

### **III. GENERAL CONDITIONS:**

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Townhouse District set forth in Article 3, Section 3.3 of the Comprehensive Zoning Ordinance (adopted as of June 2023) shall apply except as specifically provided herein.
3. The development shall be in general conformance with Exhibit "B" (Zoning Exhibit).

### **A. SPECIAL CONDITIONS:**

1. Maximum number of townhouse lots shall not exceed 32 lots.
2. The Townhouse units shall have a front setback of 5' and shall provide rear entry vehicular access through a 24' wide alley which will also be used as a fire lane.
3. A Homeowner's Association (HOA) shall be established that will be responsible for maintenance of all HOA open space lots, HOA common areas, and landscaping within HOA areas.

## **COMMERCIAL**

### **IV. GENERAL CONDITIONS:**

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Commercial Corridor District set forth in Article 4, Section 4.1.C of the Comprehensive Zoning Ordinance (adopted as of June 2023) shall apply except as specifically provided herein.

3. The development shall be in general conformance with Exhibit “B” (Zoning Exhibit).

**A. SPECIAL CONDITIONS:**

1. The following uses as defined in the June 2023 Comprehensive Zoning Ordinance shall be prohibited:
  - a. Sexually Oriented Business
  - b. Equipment Rental
  - c. Automobile Rental
  - d. Automobile Repair Minor
  - e. Car Wash
  - f. Vehicle Display, Sales or Service
  - g. Smoke Shop
  - h. Smoking Establishments
  - i. Any and all uses listed under Sections 5.2.H and 5.2.I of the Zoning Ordinance (adopted as of June 2023)



# Wylie City Council

---

## AGENDA REPORT

Department: Fire Account Code: \_\_\_\_\_  
Prepared By: Brandon Blythe

### Subject

Discussion regarding Wylie Fire Rescue's overview and Five-Year Plan.

### Recommendation

Discussion

### Discussion

Provide City Council with an overview of the department and proposed Five-Year Plan.



# WYLIE FIRE RESCUE Council Update

April 2024

# MISSION OF WYLIE FIRE RESCUE

**"To dedicate ourselves to providing a progressive department of professionally trained and equipped personnel in order to protect the lives, property, and environment of our community."**

## **Our Vision: We, the Members of Wylie Fire-Rescue:**

- Place safety as our first priority
- Take pride in meeting and exceeding the expectations of our community
- Encourage innovation and apply technologies that enhance the quality of our fire and life safety services
- Recognize the value and benefit in the diversity of every individual's background and experience
- Commit to the professional development of individual members as an investment in the future of our organization
- Depend upon the teamwork, with all individuals and divisions working together to ensure our success

# Divisions of the Wylie Fire Rescue

## **Administrative**

Policy  
Personnel  
Finance  
Contractual  
Support Services  
Fleet

## **Operations**

Fire & Rescue Response  
Emergency Medical  
Services  
Specialized Response

## **Communications**

911 Dispatch  
Computer Aided Dispatch  
Technology / GIS

## **Community Risk Reduction**

Fire Prevention  
Life Safety Education  
Community CPR

## **Emergency Management**

Special Events  
Disaster Planning  
Community Warning

# WFR PERSONNEL SUMMARY

**98.5  
Authorized  
Positions**

## Current Service to Wylie

5 Years or Less	57
6-10 Years of Service	11
11-15 Years of Service	11
16-20 Years of Service	15
21-25 Years of Service	3
25+ Years of Service	1

## Average Tenure

7.52 Years of Service  
154 Combined Years of Service

Firefighter Certifications	
Basic Firefighters	32
Intermediate Firefighters	10
Advanced Firefighters	11
Master Firefighters	20
Fire Service Specialized Certifications	
Hazardous Material Technician	31
Hazardous Materials Specialist	2
Wildland Firefighter	24
Rope Rescue Technicians	19
Marine Operator	12
Swift Water Technicians	26
FAST Boat Operators	22
Rescue Divers	11
Confined Space Technicians	13
Driver Pumper Operator	36
Driver Aerial Operator	7
Fire Officer 1	5
Fire Officer 2	17
Fire Officer 3	4
Fire Officer 4	9
Fire & Life Safety Educator	7

Position	Authorized
Chief	1.00
Assistant Chief	2.00
Fire Marshal - Div Chief	1.00
Battalion Chief	3.00
EMS Program Manager	1.00
Captain (Operations)	12.00
Captain (Administration)	1.00
Deputy Fire Marshal	1.00
Fire Inspector	1.00
Drivers	12.00
Firefighter	39.00
Single Role Paramedic	9.00
Single Role EMT	9.00
Emergency Management	1.00
Support Services	1.00
Admin 2 - Chief	1.00
Fire Prev Analyst - FM	1.00
EMS Records Analyst - AC	1.00
Alarm Clerk - AC Ritter	1.00
Part Time Inspector	0.5
	<b>98.50</b>

# Prevention Division

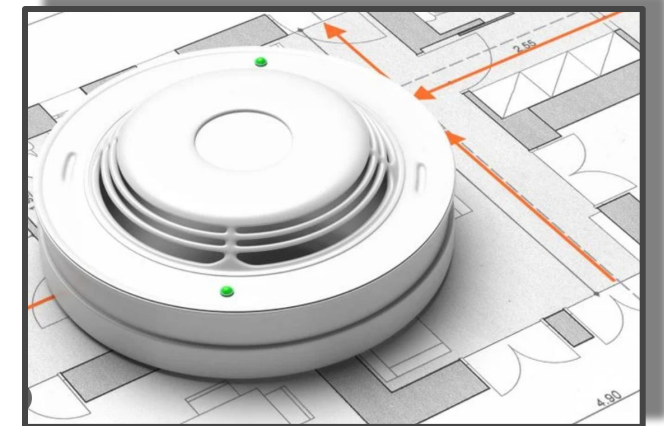
- Staff
  - 1- Division Chief
  - 1- Deputy Fire Marshal
  - 1- Investigator/Inspector
  - 1- Records Analyst
- Required Training/Certifications
  - TCFP
    - Inspector
    - Investigator
    - Plan Examiner
    - TCOLE Peace Officer
- 29 Years of combined Prevention Experience
  - 56 years with the City of Wylie
- Average Tenure with the City 14 Years
- Since 2019 have a 50% Turn over rate



# Community Risk Reduction 2023 Statistics

- 34 Developer Meetings
- 343 Total reviews (Building, Fire Systems, Solar, etc.)
- 1124 System Inspections (Fire Alarm, Overhead and Underground Sprinkler)
- 225 Fire, Life & Safety Inspections (Includes re-inspections)
- 1463 Annual Inspections (Includes re-inspections)
- 32 Citizen or Staff Complaint Follow Ups
- 28 Fire Investigations

Total Calls For Service for the Division: 3048



# 911 Communications Division



# COMMUNICATIONS PERSONNEL SUMMARY



## Current Service to Wylie

5 Years or Less	5
6-10 Years of Service	5
11-15 Years of Service	3

## Average Tenure

7.42 Years of Service
89 Combined Years of Service

## Telecommunicator Certifications

Basic	1
Intermediate	3
Advanced	4
Master	5

## Specialized Certifications

EMD-Q	5
CTO	4
CISM	3

## Current Staff

Manager	1
Supervisors	2
Dispatchers	10

## Authorized Positions

Manager	1
Supervisors	3
Dispatchers	13



# 2023 Communications Statistics



- Personnel Worked 28,449
  - 1,982 Overtime
- Personnel Completed 764 Training Hours
- Phone Calls
  - 108,000
  - Average 295 per day
  - 99.88% answered in less than 10 seconds
- 911 calls
  - 25,000
  - Average 68 per day
  - 3.25 seconds average answer time
- Calls for Service
  - 37,852
    - Received to Queue - 31 seconds
    - Queue to Dispatch - 1:20

# 911 Communications

- Two Retirements:
  - Allyson Frederick, Communications Manager
    - 14.5 Years with Wylie PSC
    - 35 Years total in Public Safety
  - Lisa Laird, Telecommunicator
    - 23 Years with Wylie PSC
    - 38 Years total in Public Safety
- 73 Years of combined dispatch experience
  - 42 years with Wylie PSC





# EMERGENCY MANAGEMENT

***The Emergency Management Coordinator plays a vital role in ensuring that the municipality is well-prepared to respond to emergencies and effectively mitigate their impact on the community***



## (1) Emergency Management Coordinator

- Central Coordination Point for all events
- Emergency Planning
- City Emergency Management Plan
- Special Events Planning/Coordination
- Training, Education & Exercises
- Community Outreach
- Emergency Operations Center
- Outdoor Warning Sirens
- Resource Management
- Damage Assessment

# Recruitment, Hiring, Retirement

Prevention  
Fire Marshal Steve Seddig

Communications

Allyson Frederick

14.5 Years with Wylie PSC  
35 Years total in Public Safety

Lisa Laird, Telecommunicator  
23 Years with Wylie PSC  
38 Years total in Public Safety

73 Years of combined dispatch  
experience 42 years with Wylie PSC

**12 New Employees Hired in 2023**  
**12 New Employees Hired in 2024**

**NOW HIRING**  
**PARAMEDICS**  
**EMTS**

**\$58,080**  
**\$64,320**

-Career Path to Fire  
-24/48 Schedule  
-TMRS Retirement  
-100% Empl

**TEST DATE**  
**MARCH 16**

**POSITION OPEN**  
**UNTIL FILLED**

WYLIE FIRE-RESCUE I.S.O. 1 CLASS

**NOW HIRING**  
**FOR OUR NEW EMS DIVISION**

EMS  
**Program Manager**

**Salary**  
\$72,018.95- \$104,427.80  
dependent upon experience and qualifications

**Apply Now**

- TMRS Retirement
- City Match 2:1
- 100% Employee Insurance
- Life Insurance
- Longevity Pay
- Tuition Reimbursement

For more information  
972-442-8110

WYLIE FIRE-RESCUE I.S.O. 1 CLASS

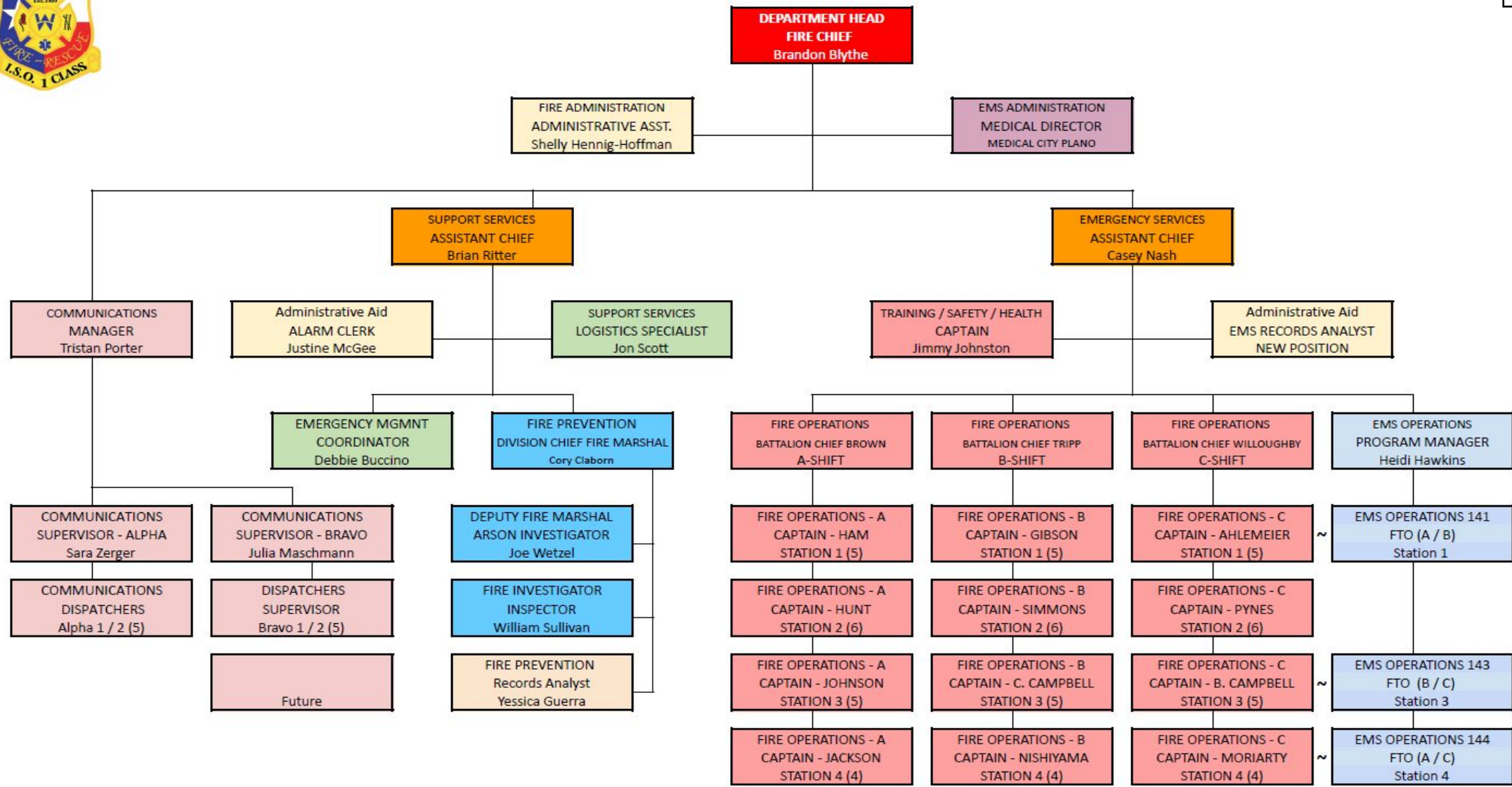
**WYLIE FIRE**  
**RESCUE**  
**NOW HIRING**  
**FIREFIGHTER**

**TEST DATES**  
**AUGUST**  
**25 & 26**

WYLIE FIRE-RESCUE I.S.O. 1 CLASS



# WYLIE FIRE RESCUE - ORGANIZATIONAL CHART FY2024



(#) Denotes the Number of Personnel Assigned to Station / Position

FIRE ADMINISTRATION	Support Services, Emergency Management, Finance, Budget, Purchasing, Billing, Dept. Policy, Health & Safety, Training, Regulatory Compliance	FIRE PREVENTION	Fire & Life Safety Education, Fire Prevention, Inspections, Building Plan Reviews, Enforcement, Code compliance, Investigation, Arson	EMS OPERATIONS	EMS Operations, Supplies, Logistics, Patient Billing, Medicare/aid Ambulance
FIRE OPERATIONS	Emergency Response, Public Relations, Hazard Mitigation, Company Training, Pre-Fire Planning	COMMUNICATIONS	911 Emergency Communications, Dispatch, Regional Fire Coordination, Radio System, Mobile Command Post, Citywide Camera Systems	Field Training Officer (FTO)	Cameron Bitton, Darrell Buratti, George Watson, Tyler New, Zoe Burklow, Liz

# CURRENT DEPLOYMENT

**Minimum Staffing** – 25 Personnel

Current total staffing is 28 per shift

## • Station 1

- 6 Personnel
  - 4 on Quint 141
  - 2 on Medic 141

## • Station 2

- 6 Personnel
  - 4 on Quint 142
  - 2 on Squad 142

## • Station 3

- 7 Personnel
  - 4 on Quint 143
  - 2 on Medic 143
  - 1 on Battalion 140 (Shift Commander)

## • Station 4

- 6 Personnel
  - 4 on Quint 144
  - 2 on Medic 144

\* +3 **Relief Personnel assigned to each shift**



# EMERGENCY MEDICAL SERVICE UPDATE

## Actions to Date:

- Secured Medical Director / Medical Training
- Secured Supply Contract
- Secured Billing Company
- Developed and Approved EMS local ordinance
- Hired 21 Personnel for EMS Division
- Appointed 2nd Assistant Chief to Maintain Span of Control
- Selected 6 Firefighter Paramedics to serve as Field Training Officers

Most items required to start the EMS program are in place

- The City of Wylie now has 5 ambulances
- Finalizing a few contracts
- Staffing is complete with the exception of 4 Paramedics Plus Employees

Wylie Fire Rescue is operating 2 of the 3 frontline ambulances

## Outstanding Items:

- Finalizing Fee Schedule
- Interlocal Agreements with Cities needing Ambulance Service
- Orientation for final 4 employees



# 2023 RESPONSE SUMMARY

## 7,506 Total Calls for Service

### Reported Calls for Service

FD Dist #1 = 1374

FD Dist #2 = 1619

FD Dist #3 = 1291

FD Dist #4 = 1038

FD Dist #5 = 492

Hospital Transfers = 609

Mutual Aid & EMS Coalition = 1083

### Average Response Time

**4 min : 47 sec**

MAJOR INCIDENT TYPE	# INCIDENTS
Fires	124
Overpressure rupture, explosion, overhear - no fire	7
Rescue & Emergency Medical Service	3978
Hazardous Condition (No Fire)	204
Service Call	647
Good Intent Call	353
False Alarm & False Call	486
Severe Weather & Natural Disaster	6
Special Incident Type	3
<b>TOTAL STATE FIRE REPORTABLE INCIDENTS</b>	<b>5808</b>

**\$1,351,637 Property Lost to Fire in 2023**

**\$24,893,655 Property Saved from Fires in 2023**



# CALL VOLUME 2023

- **Total Calls for Service**
  - **2023 – 7506**
    - 2022 - 7333
    - 2021 - 7336 (should have been 6900)
    - 2020 - 5953
    - 2019 - 6015
  - Call Volume was up slightly in 2023.
- **Busiest Fire Unit** – Quint 141 (1401 S. Ballard - Station #1)
  - Quint 141 – 1,745 responses (Covers district 1 & 5)
  - Quint 142 – 1,217 responses (Covers district 2)
  - Quint 143 – 1,448 responses (Covers district 3)
  - Quint 144 - 1,181 responses (Covers district 4)
  - Squad 142 – 759 responses



**Total Unit Responses** - 13,594 Unit responses (Average of 37 responses per day)

## RESPONSE TIME FOR EMERGENCY CALLS FOR SERVICE ONLY

# AVERAGE RESPONSE TIMES BY DISTRICT

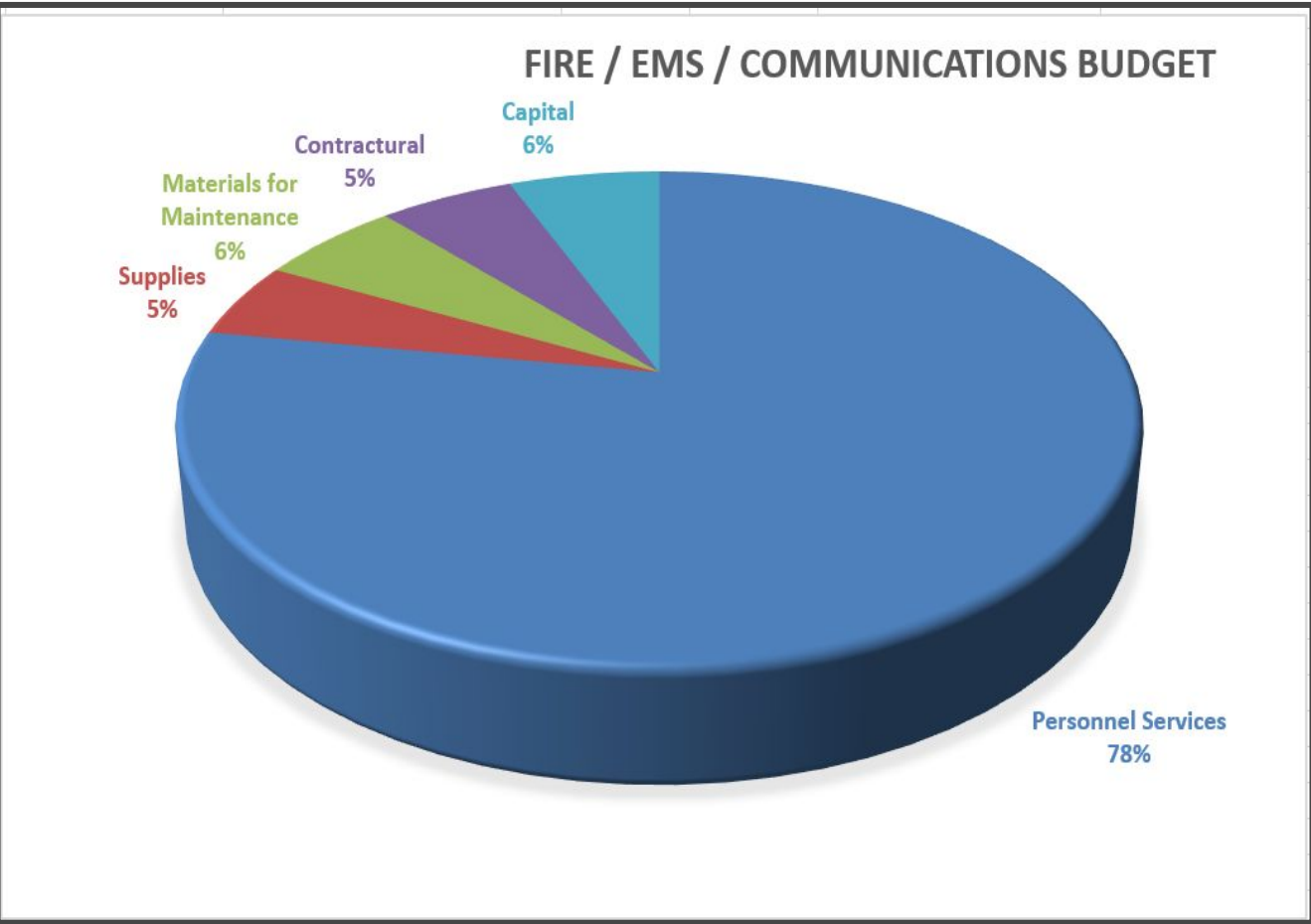
- **Fire District 1 – Covered by Station 1 on South Ballard**
  - 2021 - 04:33
  - 2022 - 04:28 - 19% of Volume
  - **2023 - 04:08 - 18% of Volume**
  
- **Fire District 2 – Covered by Station 2 on Country Club**
  - 2021 - 04:45
  - 2022 - 04:36 - 29% of Volume
  - **2023 - 05:24 - 29.6% of Volume (Ambulance Moved)**
    - **05:07 - City Limits**
  
- **Fire District 3 – Covered by Station 3 on East Brown Street**
  - 2021 - 04:35
  - 2022 - 04:32 - 17% of Volume
  - **2023 - 04:28 - 17.2% of Volume**
  
- **Fire District 4 – Covered by Station 4 on McMillen**
  - 2021 - 05:57
  - 2022 – 04:48 - 14% of Volume
  - **2023 - 04:36 - 13.8% of Volume**
  
- **Fire District 5 – Covered by Station 1 on South Ballard**
  - 2020 – 06:41
  - 2022 – 06:42 - 6% of Volume
  - **2023 - 06:15 - 6.5% of Volume**



# CALLS BY DISTRICT

- **Fire District 1** – Covered by Station 1 on South Ballard
  - 2021 - 1329
  - 2022 - 1423
  - **2023 - 1374**
- **Fire District 2** – Covered by Station 2 on Country Club
  - 2021 - 1564
  - 2022 - 2136
  - **2023 - 2228**
- **Fire District 3** – Covered by Station 3 on East Brown Street
  - 2021 - 1268
  - 2022 - 1301
  - **2023 - 1291**
- **Fire District 4** – Covered by Station 4 on McMillen
  - 2021 - 1105
  - 2022 - 1088
  - **2023 - 1038**
- **Fire District 5** – Covered by Station 1 on South Ballard
  - 2021 - 461
  - 2022 - 468
  - **2023 - 492**
- **Mutual Aid** Call Requests (out of district)  
- **120 Fire / 226 EMS**
- **EMS Coalition Calls outside of City - 737**

# Departmental Budget



FUND	2023-2024 Total Budget
TOTAL FIRE BUDGET	\$13,471,301.72
TOTAL EMS BUDGET	\$3,133,034.03
TOTAL DISPATCH BUDGET	\$2,638,450.70
<b>TOTAL FIRE DEPT</b>	<b>\$19,242,786.45</b>

**78% of Departmental Budget is Personnel Services**

# Expenditures



Fiscal Year 2023-2024 Fire Ops	Budget	Percent of Budget
Personnel Services	\$13,323,579.47	80.46%
Supplies	\$920,636.00	5.56%
Materials for Maintenance	\$588,738.00	3.56%
Contractual Costs	\$578,145.00	3.49%
Capital Outlay	\$1,148,840.00	6.94%
<b>Total</b>	<b>\$16,559,938.47</b>	

## BUDGET PERFORMANCE

FUND	2021-2022 Total Budget	2021-2022 Total Activity	Variance (End of Year) FY2021-2022	2022-2023 Total Budget	2022-2023 Total Activity	Variance (End of Year) FY2022-2023	2023-2024 Total Budget
TOTAL FIRE BUDGET	\$11,770,803.10	\$10,999,236.99	\$432,726.11	\$13,562,766.62	\$12,666,008.39	\$896,758.23	\$13,471,301.72
TOTAL EMS BUDGET							\$3,133,034.03
TOTAL DISPATCH BUDGET	\$2,251,799.92	\$1,945,791.62	\$306,008.30	\$2,433,513.82	\$2,053,327.17	\$380,186.65	\$2,638,450.70
<b>TOTAL FIRE DEPT</b>	<b>\$14,022,603.02</b>	<b>\$12,945,028.61</b>	<b>\$738,734.41</b>	<b>\$15,996,280.44</b>	<b>\$14,719,335.56</b>	<b>\$1,276,944.88</b>	<b>\$19,242,786.45</b>

# Revenue

REVENUE SUMMARY	Actual	Actual	Actual	Actual	Projected
	2019-2020	2020-2021	2021-2022	2022-2023	2023 - 2024
<b>GF - Service Fees</b>	\$1,619,422.31	\$1,877,400.38	\$2,015,381.85	\$2,236,523.80	\$2,634,323.00
<b>First Responder Fee</b>	\$28,402.07	\$45,010.67	\$38,975.45	\$28,728.00	\$51,616.00
<b>Fire Impact</b>	\$271,622.34	\$256,296.89	\$198,902.21	\$334,178.02	\$228,140.00
<b>Total Revenue</b>	\$1,919,446.72	\$2,178,707.94	\$2,253,259.51	\$2,599,429.82	\$2,914,079.00

*Does not Include Projected EMS Revenue in FY 2025*

# Other Sources of Funding

Other Funding (Grants / Programs / Etc.)						
Item	2024	2025	2026	2027	2028	2029
<b>EsiNet (First year NRC Plus MRC)</b>		\$18,336.00	\$130,188.00	\$130,188.00	\$130,188.00	\$130,188.00
<b>Complete CAD 6 Workstation (PSB)</b>			\$112,060.00	\$13,060.00	\$13,060.00	\$13,060.00
<b>Complete CAD 7 Workstation (PSB)</b>					\$112,060.00	\$13,060.00
<b>Radio/Call Recorder System Update</b>				\$129,000.00		
<b>Dispatch/EOC Technology Refresh</b>				\$150,000.00		
<b>TIFMAS (State / National Mutual Aid)</b>	\$85,000.00*	\$85,000.00*	\$85,000.00*	\$85,000.00*	\$85,000.00*	\$85,000.00*
<b>Hazardous Materials Grant</b>	\$14,000.00					
<b>Firehouse Subs Grant (Boat Electronics)</b>	\$19,196.00					

# 5 Year Plan Highlights

Focused on top 3 items

- Personnel
  - Succession Planning
  - Development
  - Training
- Fleet
  - Medic Rotation
  - Apparatus Replacement Schedule
  - Cost
  - Delivery Times
- Facilities
  - Station Replacement
  - New Station
  - Fire Administration
  - Training Field



# Personnel It's All About People

The Personnel of Wylie Fire Rescue is what makes us great



# Personnel Status

**13% of the Department Workforce is Eligible to Retire**  
**4 Personnel have greater than 25 years of service**

## Average Age of Personnel

47 - Chief Officers  
 44 - Captains  
 36 - Drivers  
 30 - Firefighters

**Operations Personnel**  
**Average Age = 31**

## Average Tenure of Personnel “Years of Service”

24.3 - Chief Officers  
 16.5 - Captains  
 9.5 - Drivers  
 4.1 - Firefighters

**29 Personnel with Under 3**  
**years of service**

## Vacation Accrual “Avg Hours Available”

555 - Chief Officers  
 381 - Captains  
 292 - Drivers  
 182 - Firefighters  
 523 - Investigators  
 199 - Administrative  
**Average 284 Hours Per**  
**Employee**

# Personnel Needed

<b>Fire Department Personnel Needs</b>					
<b>DIVISION</b>	<b>2025</b>	<b>2026</b>	<b>2027</b>	<b>2028</b>	<b>2029</b>
<b>Fire</b>	3 Relief Firefighters				
<b>EMS</b>		Mental Health Paramedic	Mental Health Paramedic		3 Emergency Medical Technicians / 4 Paramedics
<b>Community Risk Reduction</b>	Fire Inspector/Investigator		Community Life Safety Educator		
<b>Admin/Support</b>		Fleet Maintenance Technician			
<b>Communications</b>	Dispatcher / Data Analyst	Communications Supervisor	Dispatcher	Dispatcher	Dispatcher

# Fleet

Fleet Operations are maintained in house by the Support Services Coordinator. Because of the unique nature of fire apparatus, fleet funds are contained within the fire department's general fund budget.

Apparatus in the fleet program are broken down by use, and graded every six months to determine replacement.



# Fleet Replacement Grading

## Fleet Replacement Criteria

- Excellent Condition (1-20)
- Good Condition (21-30)
- Ready for Replacement (31-40)
- Needs Immediate Replacement (41 and above)

**Age** - 1 point per year

**Miles** - 1 point for every 20K miles

**Engine Hours** - 1 point for every 1K hours

**Repair Cost** - 1 point for every \$10K

**Condition** - Body, Interior, Upcoming Repairs, etc.

**Reliability** (Tickets per year) - 1 point for every 5 tickets



# Fleet Summary

## Heavy Duty Equipment

Fleet ID	Work Load	Feb 2024 Fleet Score	Yr	Asssignment	Notes
116	Heavy	46.38	07	Ready Reserve Quint	Replacement on Order
301	Heavy	42.34	13	Quint 141	
108	Heavy	41.40	06	Reserve Quint	Replacement on Order
302	Heavy	39.18	13	Quint 143	
393	Heavy	25.18	04	Command 140	
424	Heavy	17.32	19	Quint 142	
454	Heavy	11.70	22	Quint 144	
458	Heavy	<i>On Order</i>	22	<i>2022 NEW UTILITY</i>	<i>Arriving 2024 - Utl Repl</i>
459	Heavy	<i>On Order</i>	22	<i>2022 NEW QUINT</i>	<i>Arriving 2024 - Q1 Repl</i>
460	Heavy	<i>On Order</i>	22	<i>2022 NEW QUINT</i>	<i>Arriving 2024 - Q3 Repl</i>

# Fleet Summary

## Medium Duty Equipment

Fleet ID	Work Load	Feb 2024 Fleet Score	Yr	Asssignment	Notes
112	Medium	62.28	05	Utility 143	<i>Replacement on Order</i>
262	Medium	38.49	08	Medic 142	<i>Replacement on Order</i>
485	Medium	33.67	16	Reserve Ambulance	
486	Medium	32.06	16	Reserve Ambulance	
376	Medium	25.37	16	Medic 141	
377	Medium	21.66	16	Squad 142	
432	Medium	17.22	20	Battalion 140	
380	Medium	10.01	17	Rescue 143	
397	Medium	8.83	18	Brush 141	
455	<i>Medium</i>	<i>On Order</i>	22	<i>2022 Ambulance</i>	<i>Arriving in 2024</i>
XX	<i>Medium</i>	<i>On Order</i>	24	<i>2024 Ambulance</i>	<i>Arriving in 2025</i>

# Fleet Summary

## Light Duty Equipment

Fleet ID	Work Load	Feb 2024 Fleet Score	Yr	Assignment	Notes
284	Light	47.97	13	Support Truck	<i>AC Ops Using</i>
276	Light	42.16	12	Support Station 3	
355	Light	40.01	16	Prevention 141	<i>Replacement on Order</i>
346	Light	36.33	15	Dispatch 140	
285	Light	33.66	13	Support Station 2	<i>Training Captain Using</i>
417	Light	21.87	13	Prevention 142	
413	Light	17.89	18	Support 140	
451	Light	8.61	21	Chief 142	
450	Light	7.90	21	Chief 141	
467	Light	7.48	22	Prevention 143	
457	Light	4.40	22	EMS 140	
XX	<i>Light</i>	<i>On Order</i>	24	<i>Chief 143</i>	<i>Arriving Late 2024</i>
XX	<i>Light</i>	<i>On Order</i>	24	<i>Chief 144 Prevention</i>	<i>Arriving Late 2024</i>
XX	<i>Light</i>	<i>On Order</i>	24	<i>Training Captain</i>	<i>Arriving Late 2024</i>



# Fleet

## Heavy Duty

- Fleet in great Shape
- Challenges
  - Cost Increases
  - Delivery Time

## Medium Duty

- Overall in great shape
- Ambulance Replacement Plan
- Delivery Times

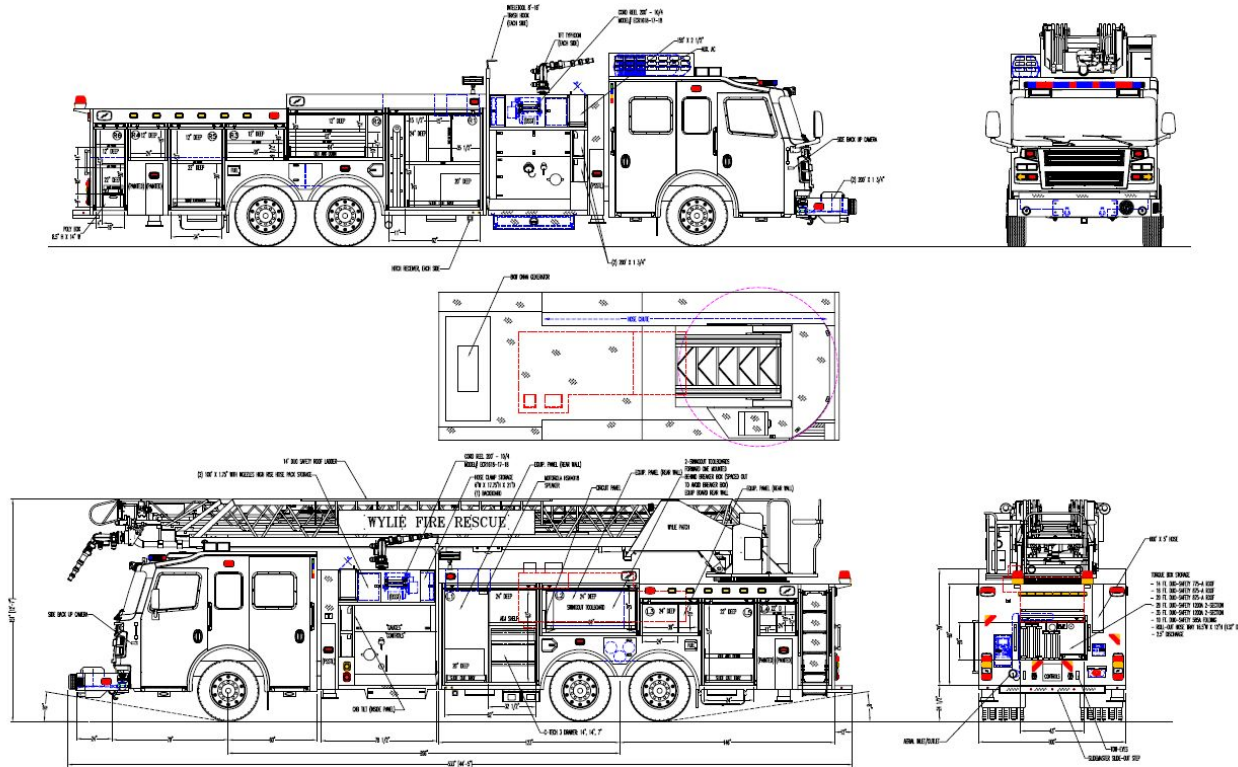
## Light Duty

- Overall in great shape
- The most flexible

<b>Fire Department Fleet Needs</b>					
<b>DIVISION</b>	<b>2025</b>	<b>2026</b>	<b>2027</b>	<b>2028</b>	<b>2029</b>
<b>Fire</b>	Battalion Chief Truck	Order Quint 142 Repl. / Squad 142 Replacement		Brush Truck Replacement	Order Quint 144 Repl.
<b>Special Rescue</b>		Replace Boat / Hovercraft	Rescue Truck Replacement		
<b>EMS</b>	Replacement Ambulance	Replacement Ambulance	Replacement Ambulance	Replacement Ambulance	Replacement Ambulance
<b>Community Risk Reduction</b>	Fire Inspector Replacement	Replace Fire Prevention (Clown Team) Trailer			
<b>Admin/Support</b>	Support 143 Replacement (2012)	Support 142 Replacement (2013)		Replacement Support 140 (2018) / Chief 1 & 2	Replacement EMS Supervisor
<b>Communications</b>			Dispatch Support Vehicle Replacement (2012)		

*Does not include new position vehicles*

# QUINT 142 - 2019



- 109' Heavyweight Aerial
- 1750 Pump
- 500 Gallon Water
- 4 Pre-connected Hose Lines
- 1 2 ½" Hose Line
- 137' of Ground Ladders
- Compressed Air Foam
- Aerial Rescue Capabilities

52% of the buildings 32' or taller are in Fire District #2

Collapse zone must be considered

Runs out of a Station with a Paramedic Squad to reduce run volume

To receive the highest points in an ISO evaluation for ladder service, the ladder unit must reach the roof of the tallest building in its service area or be 100' long, whichever is less.

# Capital Equipment

<b>Fire Department Capital Equipment Needs</b>					
<b>DIVISION</b>	<b>2025</b>	<b>2026</b>	<b>2027</b>	<b>2028</b>	<b>2029</b>
<b>Fire</b>	Board Up Trailer Replacement				
<b>Special Rescue</b>	Rescue Tool Replacement				Rescue Tool Replacement
<b>EMS</b>			EMS Cart		
<b>Community Risk Reduction</b>					
<b>Admin/Support</b>	GPS Opticom Upgrade	GPS Opticom Upgrade	GPS Opticom Upgrade	GPS Opticom Upgrade	GPS Opticom Upgrade
<b>Communications</b>					

# Facilities

**Considerations for the Future:**  
 Station 2/Fire Administration  
 Station 1  
 Station 5  
 Training Tower





# Wylie Fire - Rescue Training Tower Proposal

# Training Field/Tower History

- Concrete Burn Building
- Attic/Roof Simulator
- Rollover Chamber
- MAYDAY Container



- Constructed in 2002
- Built by WFR personnel
- 4 story tower necessary to comply with ISO standards
- WFR awarded with ISO Class 1 rating



# Capabilities of Current Tower

- Laddering multiple floors
- Aerial training
- Limited ropes training
- EMS victim removal



# Current Fire Challenges



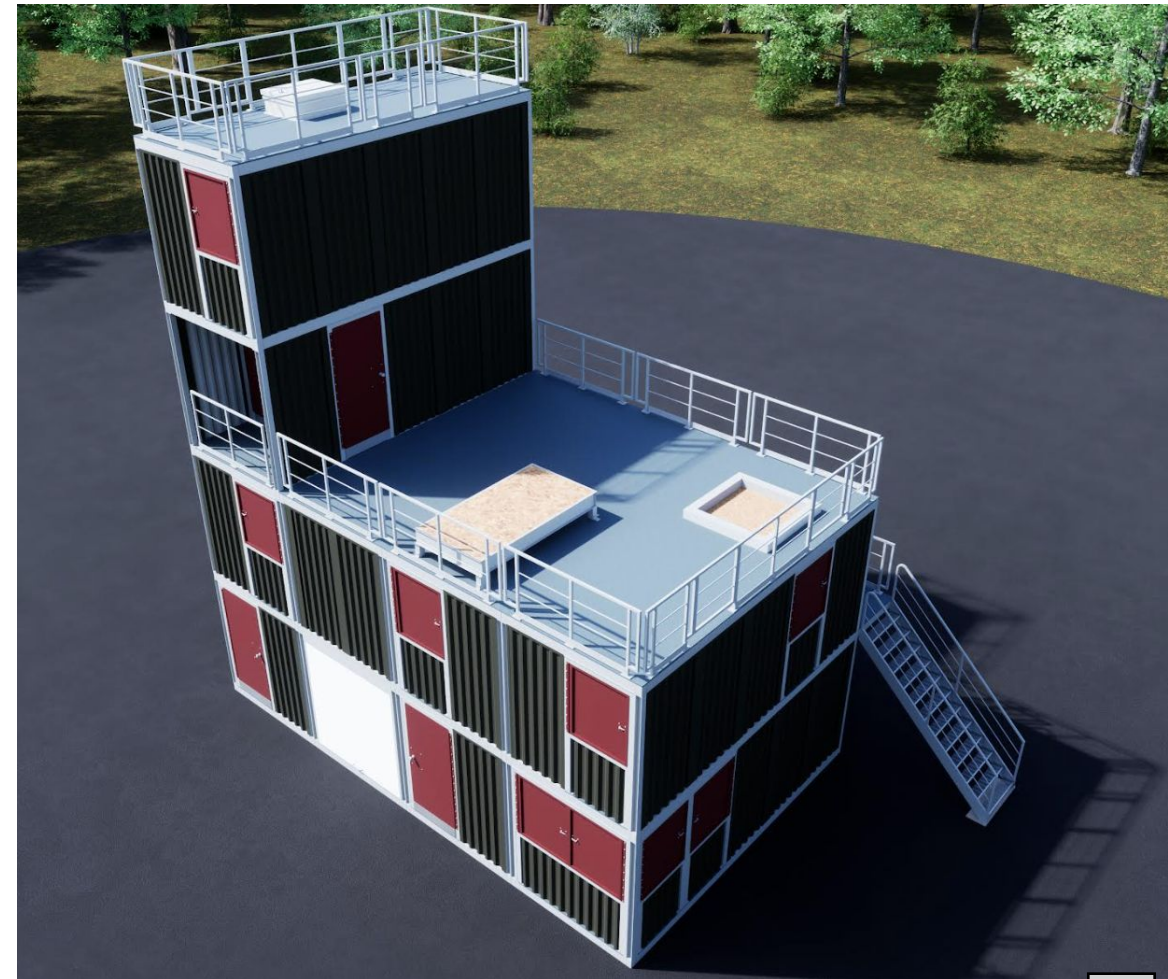


# Engineering Report Summary

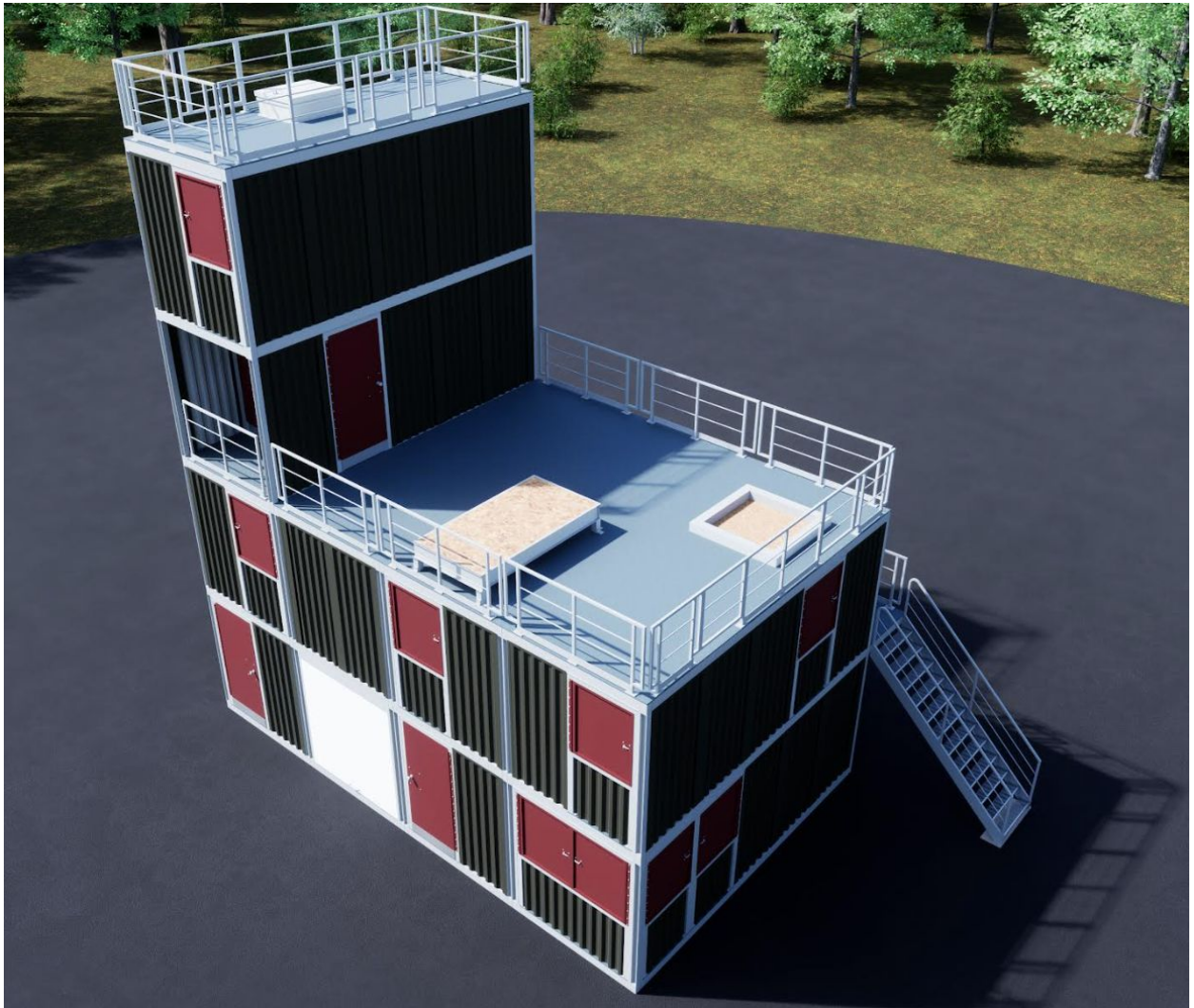
- Assessment performed December 2023
  - Tower does not comply with NFPA 1402, Standard on Facilities for Fire Training and Associated Props
    - Lacks lateral bracing (Sec. 6.1.3)
    - Constructed of wood (Sec. 6.1.5)
    - Stairs and guardrails/handrails don't meet code (Sec. 6.1.5, 6.1.6)
    - No appropriate anchor points for rope access training (Sec. 11.2.1)
  - Estimated cost for corrections: **\$68,100**

# New Tower Features

- Four floor, enclosed tower
- Two live fire rooms, 1st and 2nd floor
- NFPA rope anchors
- Flat roof ventilation prop
- Multi-Family/Motel layout
- Inset balcony
- Modular interior walls
- Commercial sprinkler heads
- Fire Department Connection
- Plumbed for theatrical smoke
- Placed on piers
- Portable / Expandable



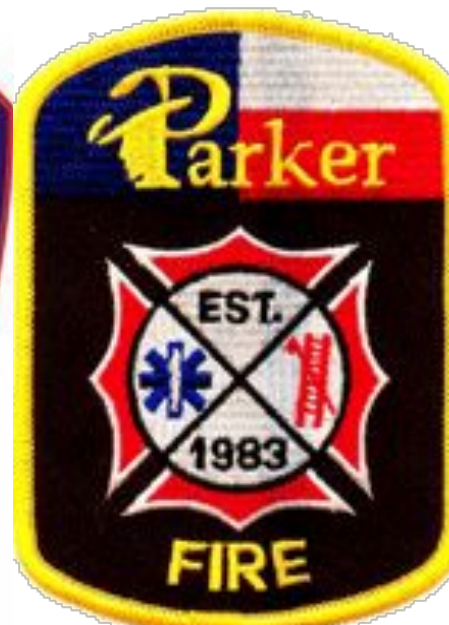
# WHP Training Towers



# Partnerships

## Multi-Agency Training Opportunities

- Parker/Lucas/Murphy/Sachse
- Train for incident interaction and current training partnerships
- PD/SWAT inclusion



# Finances and Funding

Proposed tower repair: **\$68,000**

New tower: **\$510,000**

Tower demo: **\$9,000**

Foundation: **\$12,000**

Concrete: **\$105,000**

Site Prep: **\$50,000**

Hydrant: **\$11,000**

**Upgrade Tower Cost: \$697,000**

## Fund Balances

- Fund 461 Balance: **\$389,046**
  - Proposed Exp: **\$197,046**
  - Ending Balance: \$0
- Training Field Fund Balance: **305,033**
  - Proposed Exp: **\$200,000**
  - Ending Balance: \$105,000
- Fire Development Fund **\$1,368,229**
  - Proposed Exp: **\$300,000**
  - Ending Balance: \$1,068,229

# Biggest Focus/Challenges

## SUCCESSION PLANNING

### FLEET



### FACILITIES



# Questions

