

Wylie City Council Regular Meeting

April 12, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PRESENTATIONS & RECOGNITIONS

PR1. Junior Mayor Robert Figuly.

PR2. Proclamation for Military Brats Month.

PR3. Proclamation for National Public Safety Telecommunicator Week.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of March 22, 2022 Regular City Council Meeting minutes.
- B. Consider, and act upon, Ordinance No. 2022-30 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for expansion of a self-storage use on 4.282 acres, property located at 3475 W FM 544 (ZC 2021-27).
- C. Consider, and act upon, a Final Plat for Kreymer East Phase 2, establishing 144 residential lots and one open space lot on 43.089 acres, generally located on WA Allen Blvd and Glen Eagle Drive.
- D. Consider, and act upon, a Final Plat for Lake Park Villas Phase 2, establishing 93 residential lots and four open space lots on 14.302 acres, generally located at the northwest corner of County Line Road and Troy Road.
- E. Consider, and act upon, Resolution No. 2022-11(R) authorizing the sole source purchase of ESRI Small Municipal and County Government Enterprise Software under a single three (3) year term from Environmental Systems Research Institute, Inc. (ESRI, Inc.) in the amount of \$179,103.00 and authorizing the Interim City Manager to execute any necessary documents.
- F. Consider, and act upon, the award of bid #W2022-29-A Ready Mix Portland Cement Concrete to Cooper Concrete Company and Lattimore Materials Corporation in the estimated annual amount of \$225,000.00, and authorizing the Interim City Manager to execute any necessary documents.

EXECUTIVE SESSION

Sec. 551.071. CONSULTATION WITH ATTORNEY; CLOSED MEETING.

If A governmental body may not conduct a private consultation with its attorney except:

- (1) when the governmental body seeks the advice of its attorney about:
 - (A) pending or contemplated litigation; or
 - (B) a settlement offer; or
- (2) on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.

ES1. Discussion about the solicitation ordinance.

ES2. Receive legal advice regarding a proposed settlement in Cause No. 005-00274-2022 in the case styled City of Wylie, Texas v. The Muddy Creek Farms Trust pending in County Court at Law No. 5, Collin County, Texas.

ES3. Discuss property for Ballard Elevated Tank.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

REGULAR AGENDA

- 1. Consider, and act upon, settlement in Cause No. 005-00274-2022 in the case styled City of Wylie, Texas v. The Muddy Creek Farms Trust pending in County Court at Law No. 5, Collin County, Texas.
- 2. Hold a Public Hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.35 acres, property located at 3201 FM 544 (ZC 2022-03).
- 3. Hold a Public Hearing, consider, and act upon, amendments to Zoning Ordinance No. 2015-09, Article 6, Section 6.3 Downtown Historic District. ZC 2022-06.
- 4. Consider, and act upon, a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) on 21.85 acres generally located on the southwest corner of State Highway 78 and Wylie East Drive.
- 5. Consider, and act upon, Resolution No. 2022-12(R), approving an Assignment and First Amendment to a Chapter 380 Agreement between the City of Wylie and Hillside Grill, LLC, and authorizing the Interim City Manager to execute any necessary documents.
- 6. Consider, and act upon, Ordinance No. 2022-31 amending Ordinance No. 2021-43, which established the budget for fiscal year 2021-2022; providing for repealing, savings and severability clauses; and providing for an effective date of this ordinance.

WORK SESSION

WS1. Discuss Wylie Recreation Center Operations.

WS2. Discuss a proposed development of for-rent single-family style homes, a hotel, and commercial uses on approximately 25 acres located on Country Club Road 1200' north of Brown Street.

WS3. Presentation regarding the selection process and theme for the Municipal Complex Walking Trails.

[WS4.](#) Present an overview of the FY 2023 Budget and discuss the FY 2023-2032 Future Years Budget Projections.

RECONVENE INTO REGULAR SESSION

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on April 8, 2022 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.

§ 551.072 – Discussing purchase, exchange, lease or value of real property.

§ 551.074 – Discussing personnel or to hear complaints against personnel.

§ 551.087 – Discussing certain economic development matters.

§ 551.073 – Discussing prospective gift or donation to the City.

§ 551.076 – Discussing deployment of security personnel or devices or security audit.



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, approval of March 22, 2022 Regular City Council Meeting minutes.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes are attached for your consideration.

Financial Summary/Strategic Goals

Community Focused Government

Wylie City Council Regular Meeting

March 22, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Mayor Matthew Porter called the regular meeting to order at 6:01 p.m. The following City Council members were present: Councilman David R. Duke, Councilman Dave Strang (6:08), Mayor *pro tem* Jeff Forrester, Councilman Scott Williams, Councilman Timothy T. Wallis, and Councilman Garrett Mize.

Staff present included: Assistant City Manager Renae Ollie; Police Chief Anthony Henderson; Finance Director Melissa Beard; Assistant Fire Chief Brian Ritter; Public Information Officer Craig Kelly; Planning Manager Jasen Haskins; Project Engineer Jenneen Elkhali; Purchasing Manager Glenna Hayes; Public Works Director Tommy Weir; City Engineer Tim Porter; WEDC Executive Director Jason Greiner; Utility Billing Supervisor Orie Cross; City Secretary Stephanie Storm; and various support staff.

INVOCATION & PLEDGE OF ALLEGIANCE

Councilman Williams led the invocation, and Councilman Wallis led the Pledge of Allegiance.

PRESENTATIONS & RECOGNITIONS

Councilman Strang took his seat at the dias at 6:08 p.m.

PR1. 3rd Term Wylie Way Students.

Mayor Porter, WISD School Board President Stacy Smith, and WISD Superintendent David Vinson presented medallions to students demonstrating “Shining the Wylie Way.” Each nine weeks one student from each WISD campus is chosen as the “Wylie Way Student.”

PR3. Proclamation for Women's History Month.

Mayor Porter presented a proclamation proclaiming March 2022 as Women’s History Month in Wylie, Texas. Assistant City Manager Ollie, Human Resource Director Yanez, Library Director Barrera, Project Engineer Elkhali, and City Secretary Storm were present to accept the Proclamation.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

There were no citizens present wishing to address the Council.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of March 8, 2022 Regular City Council Meeting minutes.
- B. Consider, and act upon, the City of Wylie Monthly Revenue and Expenditure Report for February 28, 2022.
- C. Consider, and place on file, the City of Wylie Monthly Investment Report for February 28, 2022.
- D. Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of February 28, 2022.
- E. Consider, and act upon, a Final Plat, being a Replat of Lot 1R-6, Block C of Woodlake Village Addition, establishing two commercial lots on 18.574 acres, located on the northwest corner of State Highway 78 and Spring Creek Parkway.
- F. Consider, and act upon, a Preliminary Plat of Lot 1, Block A of Hensley Park Addition, establishing one commercial lot on two acres, located on the northwest corner of Hensley Road and Hooper Road.
- G. Consider, and act upon, a Preliminary Plat of Senior Medical Addition, establishing two lots on 21.3224 acres, generally located adjacent and southwest of 2300 FM 544.
- H. Consider, and act upon, the approval of the purchase of Utility Billing Services from DataProse, LLC in the estimated annual amount of \$120,000.00, through an existing City of Plano contract, and authorizing the Interim City Manager to execute all necessary documents.
- I. Consider, and act upon, Ordinance No. 2022-29 amending Ordinance No. 2021-43, which established the budget for fiscal year 2021-2022; providing for repealing, savings and severability clauses; and providing for an effective date of this ordinance.
- J. Consider, and act upon, Resolution No. 2022-08(R) authorizing the Interim City Manager of the City of Wylie, Texas, or his designee, to execute an Advance Funding Agreement between the State of Texas and the City of Wylie, and to take any and all other actions necessary to effectuate the same; and providing for an effective date hereof.
- K. Consider, and act upon, Resolution No. 2022-09(R) authorizing the Interim City Manager of the City of Wylie, Texas, or his designee, to execute an Advance Funding Agreement between the State of Texas and the City of Wylie, and to take any and all other actions necessary to effectuate the same; and providing for an effective date hereof.

Mayor *pro tem* Forrester requested Items I, J, and K be pulled from the Consent Agenda and considered individually.

Council Action

A motion was made by Councilman Mize, seconded by Councilman Duke, to approve Consent Agenda Items A through H as presented. A vote was taken and motion passed 7-0.

REGULAR AGENDA

- I. Consider, and act upon, Ordinance No. 2022-29 amending Ordinance No. 2021-43, which established the budget for fiscal year 2021-2022; providing for repealing, savings and severability clauses; and providing for an effective date of this ordinance.

Staff Comments

Finance Director Beard addressed Council stating this item is for an unbudgeted item for two TxDOT projects, Country Club and FM 544 improvements, and FM 2514 improvements. The City has to relocate our water mains out of the way to avoid conflicts with the new paving section. City staff requests additional funds in the amount of \$1,200,000 to cover the contracted amounts outlined in Advanced Funding Agreements (AFAs).

Council Comments

Mayor Porter asked if this will have an impact on the Utility Fund sewer rate study that was previously conducted. Beard replied that the \$1.2 million will come from the Fund Balance; therefore, the planned increases based on the rate study would not be affected. Mayor *pro tem* Forrester asked what the required amount of fund balance to be on hand for the Utility Fund is. Beard replied it is 90 days and with the subtraction of the \$1.2 million would bring it to 274 days, which complies with the 90-day requirement. Councilman Williams asked when the City discovered this was needed. Public Works Director Porter replied this is for two separate TxDOT projects. The project at Country Club and FM 544 has moved very quickly, and based on the size and layout, more water lines are having to be moved than anticipated. Porter stated he was not aware the City was able to do an AFA, and is fortunate that TxDOT offered it as it is a cost savings to the City. Porter stated the other project, Parker Road, should have been in the previous budget, and added staff did not anticipate they were going to have to move as much waterline as will have to be moved, and will not know for certain how much will have to be moved until the profiles are done by TxDOT. Williams asked when the study by Grantham & Associates was completed. Porter replied within the last year. Williams asked if the lines that have to be moved service any person that is not a Wylie resident. Porter replied they are all City of Wylie lines that we maintain and service. Forrester asked if both estimates are based on our consultants' drawings. Porter replied yes and there is a 10 percent contingency for each project factored in. Williams confirmed the City would have to approve any change orders from TxDOT. Porter replied yes, that is correct. Councilman Mize asked staff to briefly describe what TxDOT is doing at these locations. Porter replied regarding the Parker Road project, there will be an expansion from Country Club Road to the Ballard and Brown intersection, regarding the Country Club and FM 544 project, there will be intersection improvements and signal work completed. Councilman Strang asked for the project completion date. Project Engineer Elkhaid replied the FM 544/Country Club intersection project should start construction in Summer 2022 with an estimated 24 months of construction, and the Parker Road project should start construction in Fall 2022 with an estimated Spring 2025 completion.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to approve Item I as presented. A vote was taken and motion passed 7-0.

- J. Consider, and act upon, Resolution No. 2022-08(R) authorizing the Interim City Manager of the City of Wylie, Texas, or his designee, to execute an Advance Funding Agreement between the State of Texas and the City of Wylie, and to take any and all other actions necessary to effectuate the same; and providing for an effective date hereof.**

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to approve Item J as presented. A vote was taken and motion passed 7-0.

- K. Consider, and act upon, Resolution No. 2022-09(R) authorizing the Interim City Manager of the City of Wylie, Texas, or his designee, to execute an Advance Funding Agreement between the State of Texas and the City of Wylie, and to take any and all other actions necessary to effectuate the same; and providing for an effective date hereof.**

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to approve Item K as presented. A vote was taken and motion passed 7-0.

- 1. Hold a Public Hearing to consider, and act upon, a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for expansion of a self-storage use on 4.282 acres, property located at 3475 W FM 544 (ZC 2021-27).**

Staff Comments

Planning Manager Haskins addressed Council stating the applicant is requesting a Special Use Permit (SUP) to allow for the continued use and expansion of a self-storage business on FM 544. The original site plan for Right Space Storage was approved in October 2003. Any expansion to the development requires a SUP as the use is currently legally non-conforming due to the use no longer being allowed by-right in the Commercial Corridor (CC) zoning district. The new structures are proposed to match the existing self-storage buildings by providing a brick exterior. At the recommendation of the Planning and Zoning Commission, the site has been limited to a maximum of one story or 15 feet in height for the entirety of the use.

Council Comments

Mayor *pro tem* Forrester asked for additional information on the statement of legally nonconforming. Haskins replied that since the time the “use” was built in 2003 the Zoning Ordinance has changed to require a SUP for self-storage use, and because they are expanding, it makes them comply with the SUP. Councilman Williams clarified the City sent out notices and received no comments. Haskins replied that was correct.

Public Hearing

Mayor Porter opened the public hearing on Item 1 at 7:05 p.m. asking anyone present wishing to address Council to come forward.

There were no persons present to address Council.

Mayor Porter closed the public hearing at 7:05 p.m.

Council Action

A motion was made by Councilman Strang, seconded by Councilman Williams, to approve Item 1 as presented. A vote was taken and the motion passed 7-0.

- 2. Hold a public hearing to consider, and act upon, Resolution No. 2022-10(R) of the City Council of the City of Wylie, authorizing the Texas Housing Foundation to exercise its powers on property known as Wylie Senior Apartments, located at 2310 West FM 544, Wylie, Texas, within the territorial boundaries of the City of Wylie, Texas; and authorizing the interim city manager to execute a cooperation agreement.**

Staff Comments

Planning Manager Haskins addressed Council stating in September 2021 the City Council approved a resolution of no objection to Roers Development’s tax credit application to the Texas Department of Housing and Community Affairs for a senior affordable living development. Roers has since secured zoning, platting, and site plan approval for the development. Also, in that time Roers has partnered with the Texas Housing Foundation, a non-profit affordable housing authority, to continue the development. In this partnership, THF will acquire the property and Roers will lease the property and develop it. Roers has partnered with THF in order for the property to remain tax exempt, lowering overall development and operating costs. The property is currently tax exempt as it is owned by the Episcopal Church of Dallas.

Applicant Comments

Logan Schmidt, representing Roers, and Mark Mayfield, representing Texas Housing Foundation, addressed Council giving a presentation addressing the partnership with Texas Housing Foundation, construction costs, interest rates, project timeline, and renderings of the buildings.

Public Hearing

Mayor Porter opened the public hearing on Item 2 at 7:13 p.m. asking anyone present wishing to address Council to come forward.

There were no persons present to address Council.

Mayor Porter closed the public hearing at 7:13 p.m.

Council Comments

Mayor *pro tem* Forrester stated about two months ago, the applicant presented to Council that they had about a seventy-five percent chance of being funded and ensured the Council the property would be individually owned and operated. Forrester stated since that time there is a complete switch of what was and what is being presented to Council, and also adds the question if the project will ever get completed. Councilman Duke stated he had the same concerns as Forrester. Mayor Porter stated he had the same concerns as the work session was presented, a resolution of support was completed and throughout the entire process there was discussion about the company. Porter stated from the City's perspective to see the changes at the last minute is concerning, and asked Mayfield where his projects are located in Texas and to speak on the governing board. Mayfield stated they have about 60 different communities across the state and this is his 4th council meeting in the last month in the DFW area (Little Elm, Sherman, Denton, and Wylie). Mayfield stated they are a public body created under state law and have to have a local cooperation agreement for the specific sites. Mayfield stated the administrative arm is made up of a representative, which are appointed by the County's Commissioners Courts, from the member counties in central Texas. Councilman Williams asked if they are registered with the Secretary of State's Office. Mayfield replied they are. Williams stated it seems as if they were trying to get a great project that is great for the community and for the senior citizens, and now have gone another direction to increase profitability. Williams stated he would be more inclined for the new proposal if there was a direct allocation of property tax savings to the senior that is paying the rent. Schmidt replied the property tax savings would not be passed on to the tenant; it would be used to close the gap so the project can happen and has turned into a need to have instead of a nice to have. Schmidt stated regarding the actual project, the new proposal does not change the project, finishes, or construction; it just makes it financially feasible. He stated they will still be managing the property and handling the day to day operations, and explained on March 1st there was a collapse of regional pools and thought there would be more regional pools allocated for funding. Williams clarified the project has changed as the resources it takes the City to provide for that many citizens with no property tax dollars is a significant change. Forrester stated another issue he has is that Schmidt just said this type of project has been under consideration from the beginning but that conversation was not brought before Council and if it had been it might be a different conversation, and echoed Williams concerns regarding the tax burden for the citizens. Porter stated the documents refer to a lease and asked how long the lease would be. Mayfield responded it is typically a 99-year lease, and added the property can be built but it will be at market rate and not affordable rates, and that something has to give to be feasible, and they are trying to get quality housing and provide affordability. Porter stated when this project was presented to Council the applicant specifically requested Council support to fill the gap with the tax credits, and added he had multiple concerns with the project changing, a 99-year lease, and not having a representative on the board if issues arise with the property. Mayfield replied it brings local accountability to the table as he has to report before the Council annually per the cooperation agreement. Porter asked what the remedies would be and expressed concerns with the Board not being concerned with the issues in Wylie when they are located in central Texas. Councilman Wallis stated he understands there is only so much one can do with a specified budget; however, it feels like Roers is asking the City to split our dollars because they do not want to split theirs as much. Wallis stated there has to be accountability and to make things available to citizens, but at the same time it feels like the City was sold a bill of goods that it would be privately owned and operated and would have one on one accountability, but feels like a bait and switch. Wallis stated the project is awesome and it got the Council and community excited. Councilman Mize thanked Schmidt and Mayfield for the interest in the development of this project, and stated affordable housing is a need. Mize did ask for additional explanation on Section 7 of the agreement. Mayfield replied they have 60 cooperative agreements across the State and they have never invoked Section 7 and not sure how it would happen if it did. Mize stated there is the option for the agreement to be terminated by either party, and added he understands the Mayor's point as it is hard to guess the needs in the future but affordable housing is needed now particularly for the senior citizens. Mize added he wants as much on tax rolls as possible to make the burden on the citizens as light as it can be, but also have to look at the needs in the

community. He stated based on work in the central Texas area and in the DFW area there is great potential and is inclined to see this move forward. Williams asked Mayfield for some examples of projects they have been involved with. Mayfield replied to Williams' question with some examples. Williams mentioned the use of CDBG funds. Mayfield replied there is lots of red tape which costs a lot of money, and it takes away the ability to manage the property as a normal property. Mayfield stated the ad valorem tax exemption they receive is put back into the property. Strang stated he echoed the Mayor's concerns about having a voice if any issues arise, where is the remedy and what protections does the City have, and asked if the City Attorney reviewed the agreement. Mayfield replied the integrity of the agreement is the protection the City has. Haskins replied the City Attorney did review and said it was pretty standard for this type of project, and did add Section 7 to the agreement. Strang stated he supported the project as we do need affordable housing and seniors do need to be protected.

Council Action

A motion was made by Councilman Strang, seconded by Mayor *pro tem* Forrester, to Call to the Question on Item 2. A vote was taken and the motion passed 5-2 with Councilmen Mize and Wallis voting against.

A motion was made by Councilman Mize, seconded by Councilman Strang, to approve Item 2 as presented. A vote was taken and the motion failed 3-4 with Mayor Porter, Mayor *pro tem* Forrester, Councilman Duke, and Councilman Williams voting against.

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Williams, to deny Item 2 as presented. A vote was taken and the motion passed 5-2 with Councilmen Mize and Wallis voting against.

WORK SESSION

Mayor Porter convened the Council into a break at 8:06 p.m.

Mayor Porter reconvened the Council into a Work Session at 8:14 p.m.

WS1. Providing an overview of the Finance Department.

Finance Director Beard addressed Council giving a presentation on the following: overview of Finance Department including personnel, organizational chart, customers, responsibilities, award accomplishments, project accomplishments, governance and challenges, future goals, and participation of department.

Utility Billing Supervisor Cross addressed Council giving a presentation on the following: an overview of the Utility Billing Department including the organizational chart, responsibilities, accomplishments, and future goals.

Purchasing Manager Hayes addressed Council giving a presentation on the following: an overview of the Purchasing Department including the organizational chart, responsibilities, accomplishments, and future goals.

RECONVENE INTO REGULAR SESSION

Mayor Porter reconvened the Council into Regular Session at 9:18 p.m.

EXECUTIVE SESSION

Mayor Porter reconvened the Council into Executive Session at 9:19 p.m.

Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

ES1. Consider the sale or acquisition of properties located at Ballard/Brown, Brown/Eubanks, FM 544/Cooper, FM 544/Sanden, State Hwy 78/Alanis, State Hwy 78/Ballard, State Hwy 78/Birmingham, and State Hwy 78/Brown.

Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.

This chapter does not require a governmental body to conduct an open meeting:

- (1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or
- (2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

ES2. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2017-10a, 2020-11b, 2021-2d, 2021-4a, 2021-4b, 2021-5a, 2021-6a, 2021-6c, 2021-6e, 2021-7a, 2021-8a, 2021-9e, 2021-9f, 2021-11a, 2021-12a, 2021-12b, 2022-1a, 2022-2a, 2022-2b, 2022-2c, and 2022-3a.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to authorize the Wylie Economic Development Corporation to enter into a Performance Agreement with Project 2021-12b in an amount not to exceed \$35,000. A vote was taken and the motion passed 7-0.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

Mayor Porter reconvened the Council into Open Session at 10:19 p.m.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

City Secretary Storm read the caption to Ordinance No. 2022-29 into the official record.

ADJOURNMENT

A motion was made by Councilman Mize, seconded by Councilman Duke, to adjourn the meeting at 10:21 p.m.

A vote was taken and motion passed 7-0.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2022-30 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for expansion of a self-storage use on 4.282 acres, property located at 3475 W FM 544 (ZC 2021-27).

Recommendation

Motion to approve Item as presented.

Discussion

On March 22, 2022 City Council approved a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for expansion of a self-storage use on 4.282 acres, property located at 3475 W FM 544 (ZC 2021-27).

Final approval of Zoning Case 2021-27 requires an Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject ordinance allows for the rezoning. Exhibit A (Legal Description), Exhibit B (SUP Conditions), and Exhibit C (Zoning Exhibit) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

Financial Summary/Strategic Goals

ORDINANCE NO. 2022-30

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2021-27, FROM COMMERCIAL CORRIDOR (CC) TO COMMERCIAL CORRIDOR - SPECIAL USE PERMIT (CC-SUP) TO ALLOW FOR EXPANSION OF A SELF-STORAGE USE ; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Commercial Corridor - Special Use Permit, said property being described in Exhibit A (Legal Description), hereto and made a part hereof for all purposes.

SECTION 2: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 3: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification as described in Exhibit B (SUP Conditions) and Exhibit C (Zoning Exhibit).

SECTION 4: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 5: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 6: This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

SECTION 7: The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, this 12th day of April, 2022.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

DATE OF PUBLICATION: April 20, 2022, in the The Wylie News

Exhibit "A"
Legal Description
Right Space Storage

Being all of Lot 2R, Block 1 of the McCreary FM 544 Addition located at 3475 West FM 544.

McCreary FM 544 Addition Lot 2R, Block 1**EXHIBIT "B"****Conditions For Special Use Permit****I. PURPOSE:**

The purpose of this Special Use Permit is to allow for the continued use and expansion of a mini-warehouse (self-storage) use as shown on the Zoning Exhibit (Exhibit C).

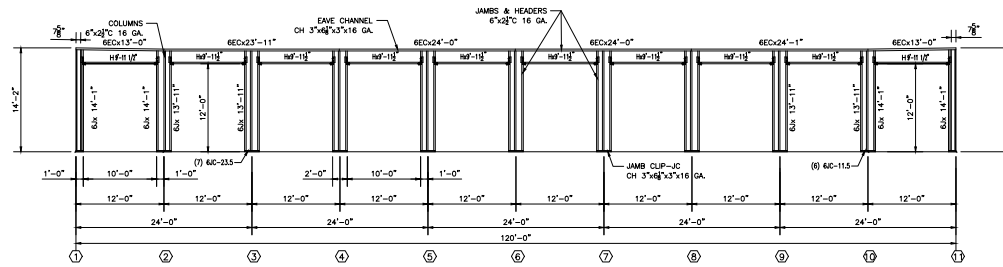
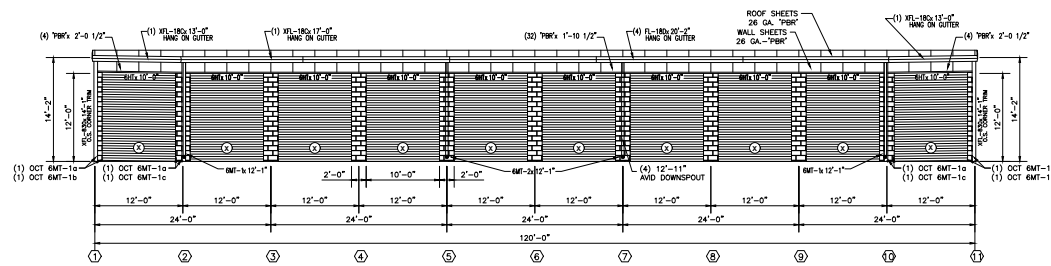
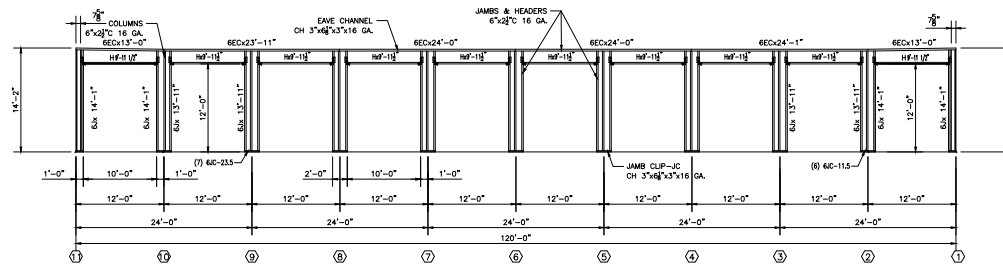
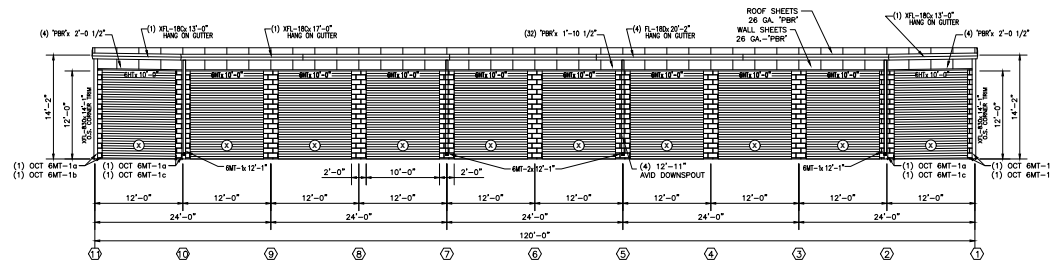
II. GENERAL CONDITIONS:

1. The site shall be developed and uses allowed shall be in accordance with Commercial Corridor (CC) design standards, as provided in Article 4 and 5 of the City of Wylie Zoning Ordinance as adopted April 2021, except as specifically provided herein.
2. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
3. The design and development of the McCreary FM 544 Addition, Lot 2R Block 1 development shall take place in general accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

1. The mini-warehouse (self-storage) use shall be allowed as a condition of the SUP and as generally depicted on the zoning exhibit.
2. The self-storage use shall be limited to a maximum of one story or 15' in height even in the event of sale, remodel, or rebuild for any reason.
3. Section 4.3.E of the Zoning Ordinance (Landscaping) shall not apply. Required landscaping shall be generally as currently exists, being a minimum of 15% of the site.
4. A minimum of 5 parking spaces shall be required as shown on the Zoning Exhibit (Exhibit C).

REVISED

SIDEWALL FRAMING ELEVATION @ COLUMN LINE A
BUILDING 2 - SCALE: 1/8" = 1'-0"SIDEWALL SHEETING ELEVATION @ COLUMN LINE A
BUILDING 2 - SCALE: 1/8" = 1'-0"SIDEWALL FRAMING ELEVATION @ COLUMN LINE Q
BUILDING 2 - SCALE: 1/8" = 1'-0"SIDEWALL SHEETING ELEVATION @ COLUMN LINE Q
BUILDING 2 - SCALE: 1/8" = 1'-0"

No.	Revision/Issue	Date
1	Approval	07/22/21
2	Revision	01/07/22
3		
4		

CARTER-RIGHT SPACE STORAGE
WYLIE, TX

***** THIS DRAWING IS THE PROPERTY OF *****
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 similar and comparable drawings, without the express written permission of Avid Building Systems.



BUILDING 2

DESCRIPTION
SIDE WALL ELEVATIONS
DWG BY CHK
CHECKED BY
JOB NO. 88823
Date 07-10-2021
Scale Ref. Drawing
SHEET A-3
OF SHEETS

Site Summary

Project:

Right Space Storage Expansion
3475 W. FM 544, Wylie, Texas 75098

Existing Zoning:

CC (Commercial Corridor)

Proposed Use:

Storage

Lot Area:

186,534 SF or 4.282 Acres

Existing Storage Use:

72,021 sf

Proposed Additional Storage:

10,595 sf

Total Combined Storage Footage (New & Existing):

82,616 sf

Landscaped Area:

Approximately 30,356 sf or 16.27%



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, a Final Plat for Kreymer East Phase 2, establishing 144 residential lots and one open space lot on 43.089 acres, generally located on WA Allen Blvd. and Glen Eagle Drive.

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: Bloomfield Homes

APPLICANT: Westwood

The applicant has submitted a final plat to create 144 residential lots and one open space lot for the development of residential single-family homes and a park. This subject property is part of the overall 70 acres of the Kreymer East development approved in June 2016 as Planned Development District (PD 2015-23). The preliminary plat for this site was approved in August of 2020.

The PD allows for a maximum of 245 lots with a minimum lot size of 8,500 square feet for the entire 70-acre development. The combined residential lots of Phase 1 and 2 are 230 lots. There are no additional planned phases within this 70-acre planned development.

The final plat is compliant with the preliminary plat and shall dedicate necessary rights-of-way, and utility easements.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

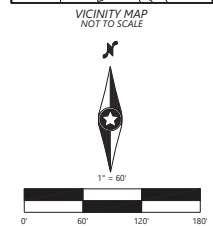
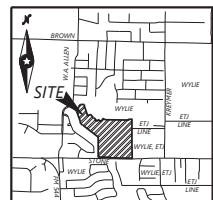
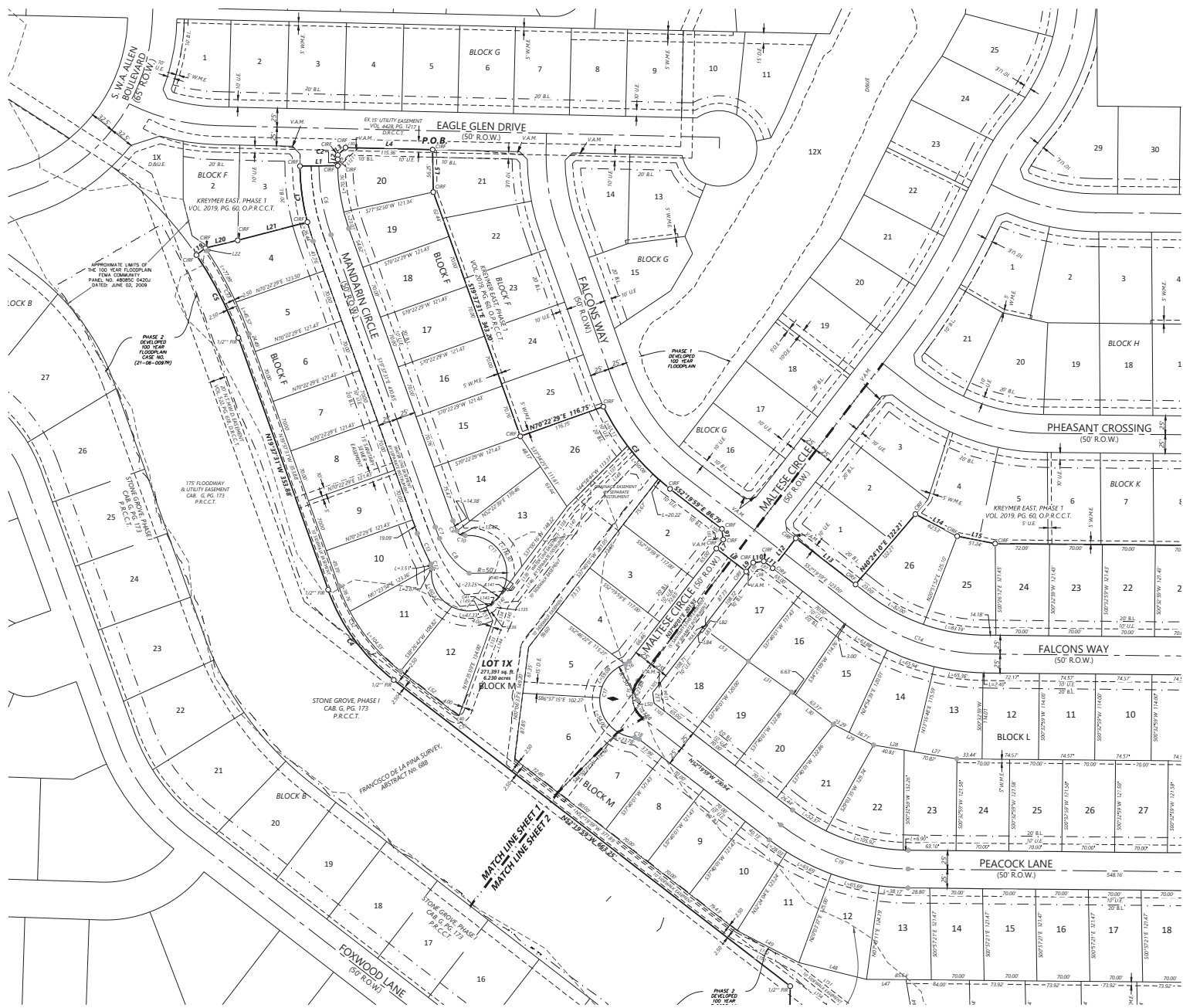
For conditional approval or disapproval City Council must provide a written statement of the reasons to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Gov't Code.

P&Z Commission Discussion

After some discussion regarding the clearing of vegetation in Rush Creek during development the Commission voted 6-1 to recommend approval.

Financial Summary/Strategic Goals

Planning Management



GENERAL NOTES:

- 1) The bearings shown hereon are created from actual field surveys, MAD83 Texas North Central Zone (4202), Grid Bearings & Ties to shown control monuments.
- 2) Selling a portion of any lot in this addition by metes and bounds is a violation of state law and city ordinance and is subject to penalties imposed by law.
- 3) Lot 1K, Dedicated Parkway and Drainage Easement to the City of Wylie, Maintained by the Home Owner's Association (H.O.A.) as per Plan Development Agreement Ordinance No. 2015-23.
- 4) All perimeter corners set are monumented with a 5/8" diameter iron rod with yellow plastic cap stamped "WESTWOOD P.S." unless otherwise noted. All interior corners set are monumented with a 1/2" diameter iron rod with yellow plastic cap stamped "WESTWOOD P.S." unless otherwise noted.
- 5) No appearance between the height of 2' and 9' may be placed in the visibility triangles.

LEGEND	
B.L.	BUILDING LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
P.R.C.C.T.	PLAT RECORDS, COLLIN COUNTY, TEXAS
D.R.C.C.T.	DEED RECORDS, COLLIN COUNTY, TEXAS
FIR	FOUND IRON ROD SURVEY
S/P	5/8" CAPPED IRON ROD SET WITH YELLOW CAP STAMPED "WESTWOOD P.S."
CRP	5/8" CAPPED IRON ROD FOUND WITH YELLOW CAP STAMPED "WESTWOOD P.S."
R.O.W.	RIGHT-OF-WAY
W.M.E.	WALL MAINTENANCE EASEMENT
VOL. CAB. PG.	VOLUME CABINET PAGE
INST. NO.	INSTRUMENT NUMBER
ST. CHG.	STREET NAME CHANGE
N.T.M.W.D.	NORTH TEXAS MUNICIPAL WATER DISTRICT
D.U.E.	DRAINAGE AND UTILITY EASEMENT
V.A.M.	VISIBILITY AND MAINTENANCE EASEMENT
H.A.E.	HAZARD AND ACCESS EASEMENT
ETI	EXTRA TERRITORIAL JURISDICTION

SURVEYOR / ENGINEER

Westwood

Phone: (214) 473-4640 3901 Dallas Parkway, Suite 400
 "4th floor" (888) 957-5150 Plano, TX 75093
 www.westwoodsurvey.com
 Texas Survey Reg. No. 17778
 TBPLS Firm Reg. No. 10074301

OWNER

BLOOMFIELD HOMES, L.P.
 1050 EAST HIGHWAY 114, SUITE 210
 SOUTHLAKE, TEXAS 75092
 (817) 416-1572

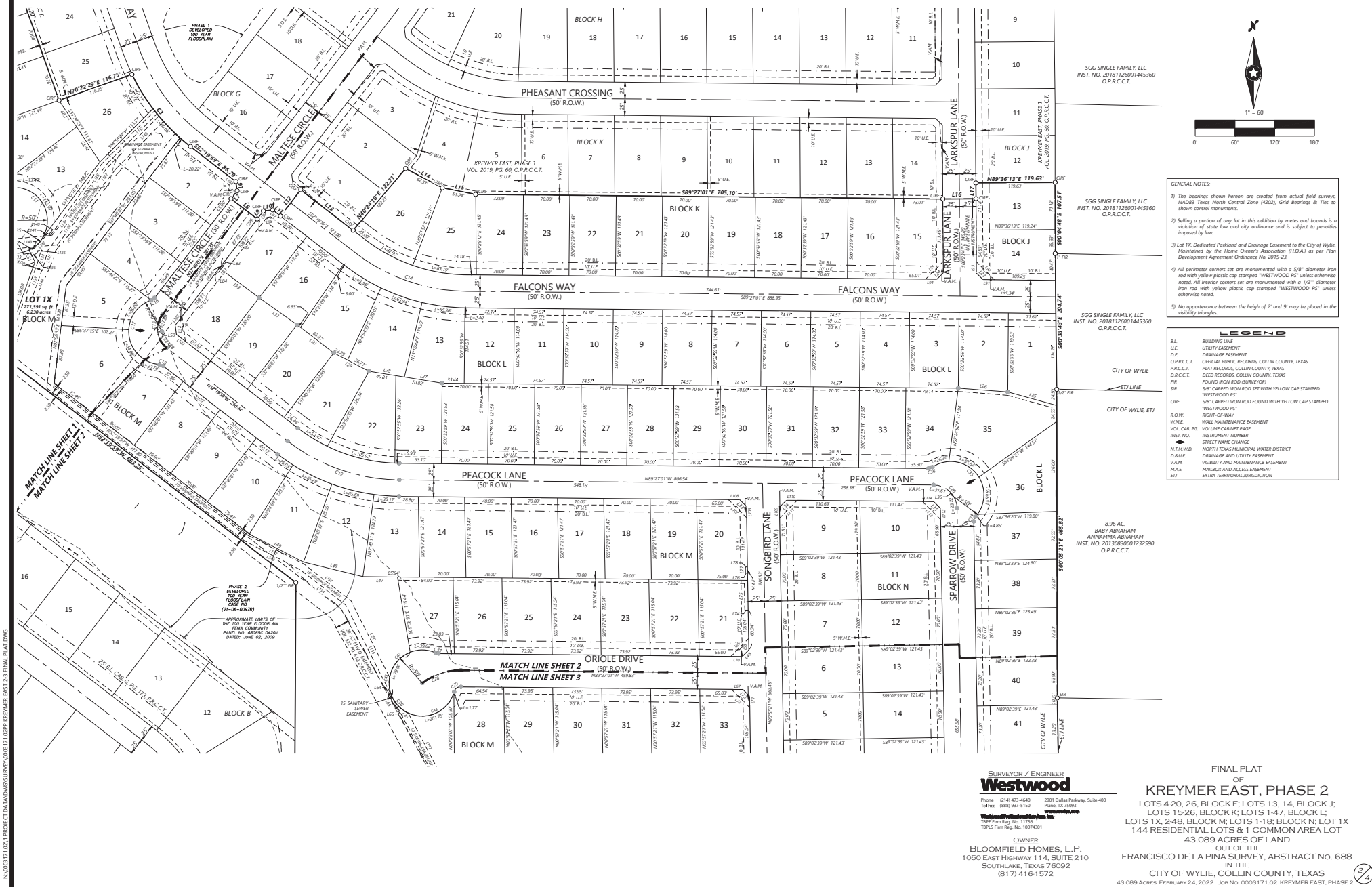
FINAL PLAT

OF

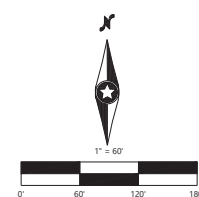
KREYMER EAST, PHASE 2
 LOTS 4-20, 26, BLOCK F; LOTS 13, 14, BLOCK J;
 LOTS 15-26, BLOCK K; LOTS 1-47, BLOCK L;
 LOTS 1X, 2-48, BLOCK M; LOTS 1-18, BLOCK N; LOT 1X
 144 RESIDENTIAL LOTS & 1 COMMON AREA LOT
 43.089 ACRES OF LAND

OUT OF THE
 FRANCISCO DE LA PINA SURVEY, ABSTRACT NO. 688
 IN THE
 CITY OF WYLIE, COLLIN COUNTY, TEXAS
 43.089 ACRES FEBRUARY 24, 2022 JOB NO. 0003171.02 KREYMER EAST, PHASE 2

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KREYMER EAST, PHASE 2



- 1) The bearings shown hereon are created from actual field surveys, NAD83, Zone 18 North Central Zone (44002). Grid Bearings & Ties are shown control monuments.
- 2) Showing a portion of any lot in this addition by metes and bounds is a violation of state law and city ordinance and is subject to penalties imposed by law.
- 3) Lot X, Tr. XXIX, Dedicated Parkland and Drainage Easement to the City of Wylie, Maintained by the Home Owner's Association (H.O.A.) as per Planned Development Agreement Ordinance No. 2015-23.
- 4) All perimeter corners set are monumented with a 5/8" diameter iron rod with yellow plastic cap stamped "WESTWOOD 35" unless otherwise noted.
- 5) All interior corners set are monumented with a 1/2" diameter iron rod with yellow plastic cap stamped "WESTWOOD 35" unless otherwise noted.
- 6) No easement between the heels of 2" and 3" may be relaxed in the future.

BL	BUILDING LINE
U	UTILITY EASEMENT
D	DRAINAGE EASEMENT
P.A.R.C.C.T	OFFICIAL PUBLIC RECORD, COLLIN COUNTY, TEXAS
P.A.R.C.C.T	PLAT RECORDS, COLLIN COUNTY, TEXAS
D.A.R.C.C.T	DEED RECORDS, COLLIN COUNTY, TEXAS
FR	FIND RICHMOND ROAD (SURVEYED)
SIR	5/8" CAPPED IRON ROD SET WITH YELLOW CAP STAMPED "WESTWOOD P5"
SIR	5/8" CAPPED IRON ROD FOUND WITH YELLOW CAP STAMPED "WESTWOOD P5"
R.O.W.	RIGHT-OF-WAY
W.M.E.	WALL MAINTENANCE EASEMENT
VOL. CAB. PG.	VOLUME CABINET PAGE
INST. NO.	INSTRUMENT NUMBER
	STREET NAME
N.T.M.W.D.	NORTH TEXAS MUNICIPAL WATER DISTRICT
D.U.E.	DRAINAGE AND UTILITY EASEMENT
V.M.	VEGETATION MAINTENANCE EASEMENT
H.A.S.	HATCHES AND ACCESS EASEMENT
ETJ	EXTRA TERRITORIAL JURISDICTION

Line Table			Line Table			Line Table			Line Table			Line Table			Line Table			Line Table			Curve Table			Curve Table			Curve Table		
Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Line #	Length	Direction	Curve #	Length	Radius	Delta	Chord Bearing	Chord Length	Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
L1	50.00	N89°26.34"E	L42	4.54	N03°57.54"W	L43	48.00	S19°02.1"E	L64	4.24	N64°05.08"E	L86	10.48	N84°04.55"E	L108	13.70	N84°04.55"E	C1	75.05	30.00	0.047506	N 73°06.34"E	74.86	C2	4.0	10.50	0.027272	N 10°46.28"E	4.27
L2	5.86	N01°18.31"E	L44	12.26	S44°53.24"E	L45	15.02	N02°38.51"W	L66	10.22	N02°38.51"W	L88	10.78	S44°53.24"E	L110	10.00	S24°02.22"E	C2	8.2	25.00	0.057120	N 9°42.22"E	8.24	C3	65.8	63.05	0.045720	S 67°48.19"E	64.44
L3	14.14	N69°05.25"E	L46	14.02	N64°01.75"E	L47	20.04	N64°01.75"E	L68	0.55	N64°01.75"E	L90	16.00	N89°02.31"W	L112	10.69	N89°02.31"W	C4	141.85	260.00	0.021432	S 39°03.03"E	140.52	C5	14.66	10.50	0.080720	S 50°32.49"E	13.50
L4	11.936	S68°00.00"E	L48	12.55	N65°01.75"E	L49	16.00	N64°04.49"E	L70	16.00	N89°02.31"W	L92	14.00	N89°02.31"W	L114	16.21	S88°04.00"E	C5	148.85	262.50	0.021438	N 35°04.45"E	147.82	C6	127.2	228.50	0.058000	N 39°27.11"E	76.80
L5	12.26	S44°53.24"E	L50	14.26	S44°53.24"E	L51	5.24	S69°01.75"E	L72	14.00	N89°02.31"W	L94	16.00	N89°02.31"W	L116	16.00	N89°02.31"W	C6	151.85	262.50	0.021438	N 35°04.45"E	150.79	C7	14.66	10.50	0.080720	S 50°32.49"E	13.50
L6	14.14	S69°05.25"E	L52	57.51	S80°40.02"E	L53	30.41	N74°04.20"W	L74	16.00	N89°02.31"W	L96	16.00	N89°02.31"W	L118	16.00	N89°02.31"W	C7	92.17	280.00	0.019503	S 10°05.54"E	92.34	C8	12.77	10.50	0.027272	S 52°58.19"E	12.81
L7	15.00	S19°02.1"E	L54	54.10	S80°40.02"E	L55	30.26	N64°05.08"E	L76	16.00	N89°02.31"W	L98	16.00	N89°02.31"W	L120	16.00	N89°02.31"W	C8	156.62	262.50	0.021438	N 35°04.45"E	155.56	C9	243.14	50.00	0.278247	N 25°17.31"E	62.20
L8	50.00	N64°01.00"W	L56	65.00	S64°01.00"W	L57	65.00	S64°01.00"W	L78	16.00	N89°02.31"W	L100	16.00	N89°02.31"W	L122	16.00	N89°02.31"W	C9	61.62	10.50	0.071307	S 4°02.08"E	60.68	C10	4.1	10.50	0.027272	S 77°48.18"E	4.27
L9	15.00	N13°40.01"E	L58	70.00	N02°19.59"W	L59	20.08	N02°19.59"W	L80	16.00	N89°02.31"W	L102	16.00	N89°02.31"W	L124	16.00	N89°02.31"W	C10	14.24	25.00	0.027121	S 21°44.22"E	14.26	C11	141.29	247.00	0.024228	S 35°05.45"E	139.38
L10	14.14	N64°00.01"E	L60	35.06	N64°02.75"E	L61	14.13	N64°02.75"E	L82	14.13	N64°02.75"E	L104	17.00	N89°02.31"W	L126	17.15	S70°01.50"E	C11	137.17	115.92	0.024931	S 19°30.50"E	136.13	C12	123.47	50.00	0.104700	N 20°39.51"E	123.16
L11	15.00	S19°05.19"E	L62	14.4	S07°59.59"E	L63	15.00	S89°02.31"W	L84	5.00	S89°02.31"W	L106	16.00	N89°02.31"W	L128	16.00	N89°02.31"W	C12	144.10	262.50	0.021438	N 35°04.45"E	142.96	C13	7.84	74.50	0.042616	S 20°20.47"E	7.66
L12	50.00	S19°05.19"E	L64	14.00	S07°59.59"E	L65	14.00	S07°59.59"E	L86	16.00	N89°02.31"W	L108	16.00	N89°02.31"W	L130	16		C13	146.10	262.50	0.021438	N 35°04.45"E	145.04	C14	141.29	247.00	0.024228	S 35°05.45"E	139.38
L13	60.53	S44°14.19"E	L66	14.33	N64°02.71"W	L67	15.69	S17°17.32"E	L77	9.00	N89°02.31"W	L99	38.18	N64°00.01"E	L121	39.18	N64°00.01"E	C14	181.39	280.00	0.020762	S 0°50.50"E	179.23	C15	20.80	50.00	0.076200	S 76°06.27"E	20.45
L14	51.24	S19°57.03"E	L68	1.99	N01°13.38"E	L69	17.29	N03°38.71"E	L79	3.00	N89°02.31"E	L101	17.00	S74°00.31"E	L123	16.00	S89°02.39"E	C15	55.76	35.00	0.009000	N 71°59.39"E	55.20	C16	11.28	25.00	0.027272	S 19°03.50"E	11.08
L15	16.00	N89°01.13"E	L70	14.14	N64°02.95"E	L71	18.63	S17°19.32"E	L73	3.10	N64°02.95"E	L103	17.23	S74°00.31"E	L125	17.00	N89°02.39"E	C16	39.84	19.00	0.081432	N 10°46.28"E	39.34	C17	35.84	19.00	0.081432	N 10°46.28"E	35.36
L16	50.00	N02°33.47"E	L72	14.14	N64°02.71"E	L73	18.63	S17°19.32"E	L75	18.63	S17°19.32"E	L105	17.23	S74°00.31"E	L127	17.00	N89°02.39"E	C17	136.86	50.00	0.156491	N 71°59.39"E	137.06	C18	40.16	16.00	0.188452	N 49°37.33"E	14.57
L17	23.74	N02°33.47"E	L74	14.14	N64°02.71"E	L75	18.63	S17°19.32"E	L77	18.63	S17°19.32"E	L107	17.23	S74°00.31"E	L129	17.00	N89°02.39"E	C18	61.16	10.50	0.033251	N 69°02.55"E	60.64	C19	70.50	50.00	0.080848	N 49°37.33"E	7.05
L18	24.06	N04°14.20"E	L76	13.58	S44°32.39"E	L77	18.63	S17°19.32"E	L79	3.10	S19°01.59"E	L109	16.00	S74°00.31"E	L131	22.51	N19°13.08"E	C19	181.39	280.00	0.020762	N 70°50.50"E	179.23	C20	54.81	35.00	0.009000	N 47°52.11"E	54.34
L19	51.24	N02°33.47"E	L78	14.14	N64°02.71"E	L79	18.63	S17°19.32"E	L81	16.00	N89°01.75"E	L111	16.00	S44°53.24"E	L133	16.00	S44°53.24"E	C20	54.81	35.00	0.009000	N 47°52.11"E	54.34	C21	54.81	35.00	0.009000	N 47°52.11"E	54.34
L20	45.45	N70°29.59"E	L80	14.13	N64°02.71"E	L81	16.00	N89°01.75"E	L83	4.00	N19°02.00"E	L113	16.00	S44°53.24"E	L135	16.00	S44°53.24"E	C21	55.76	35.00	0.009000	N 71°59.39"E	55.20	C22	44.1	31.38	0.050122	N 14°00.55"E	30.86
L21	55.45	N70°29.59"E	L82	13.86	N64°04.49"E	L83	16.63	S50°52.49"E	L85	3.00	N19°02.00"E	L115	16.00	S44°53.24"E	L137	16.00	S44°53.24"E	C22	44.1	31.38	0.050122	N 14°00.55"E	30.86	C23	32.18	50.00	0.081432	N 10°46.28"E	31.62

FINAL PLAT
OF
KREYMER EAST, PHASE 2
LOTS 420, 26, BLOCK F; LOTS 13, 14, BLOCK J;
LOTS 15-26, BLOCK K; LOTS 1-47, BLOCK L;
LOTS 1X, 2-48, BLOCK M; LOTS 1-18; BLOCK N; LOT 1X
144 RESIDENTIAL LOTS & 1 COMMON AREA LOT
43.089 ACRES OF LAND
OUT OF THE
FRANCISCO DE LA PINE SURVEY, ABSTRACT No. 688
IN THE
CITY OF WYLLIE, COLIN COUNTY, TEXAS

SURVEYOR / ENGINEER
Westwood
Phone (214) 473-6640 2901 Dallas Parkway, Suite 400
Fax (888) 837-5150 Plano, TX 75033
westwood@westwood.com
www.westwood.com
TREC Form Reg. No. 11756
TREC Form Reg. No. 1002601

OWNER
BLOOMFIELD HOMES, L.P.
1050 EAST HIGHWAY 114, SUITE 210
SOUTHLAKE, TEXAS 76092
(817) 416-1572

43.089 Acres, February 4, 2009. 43.089 ACRES, KREYMER EAST, PHASE 2

OWNER'S CERTIFICATE

WHEREAS, Bloomfield Homes, L.P., is the sole owner of a 43.089 acre tract of land situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas, and being a part of the 19.048 acre tract of land conveyed to Bloomfield Homes, L.P., by deed of record in Instrument No. 2016060200060610 of the Official Public Records of Collin County, Texas, and being a part of the 0.740 acre tract of land conveyed to Bloomfield Homes, L.P., by deed of record in Instrument No. 20160421000478170 of the Official Public Records of Collin County, Texas, and being a part of the 17.973 acre tract of land conveyed to Bloomfield Homes, L.P., by deed of record in Instrument No. 20160421000478180 of the Official Public Records of Collin County, Texas, and being a part of the 11.05 acre tract of land conveyed to Bloomfield Homes, L.P., by deed of record in Instrument No. 201411170012502020 of the Official Public Records of Collin County, Texas, and being a part of the 21.003 acre tract of land conveyed to Bloomfield Homes, L.P., by deed of record in Instrument No. 20170627000838570 of the Official Public Records of Collin County, Texas, said 43.089 acre tract being more particularly described as follows:

BEGINNING at a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found in the south right-of-way line of Eagle Glen Drive, a (50-foot right-of-way), said point being the northwest corner of Lot 21, Block F, Kreymier East, Phase 1, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Volume 2019, Page 60, of said Official Public Records;

THENCE South 00 degrees 49 minutes 24 seconds East, along the west line of Block F, a distance of 56.25 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at an angle point of said Lot 21, Block F;

THENCE South 19 degrees 37 minutes 31 seconds East, along the southwest line of said Block F, a distance of 343.20 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the south corner of Lot 25, Block F, of said Kreymier East, Phase 1;

THENCE North 70 degrees 22 minutes 29 seconds East, along the southeast line of said Lot 25, Block F, a distance of 116.75 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found for corner in the southwest right-of-way line of Falcons Way, (a 50-foot right-of-way); said point being at the east corner of said Lot 25, Block F and being in a non-tangent curve to the left;

THENCE along said southwest line of Falcons Way and said non-tangent curve to the left having a central angle of 26 degrees 33 minutes 53 seconds, a radius of 305.00 feet, and an arc length of 141.41 feet (chord bears South 39 degrees 03 minutes 03 seconds East, 140.15 feet) to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the end of said curve;

THENCE South 52 degrees 19 minutes 59 seconds East, continuing along said southwest line of Falcons Way, a distance of 86.79 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the north end of a right-of-way corner clip between the said southwest line of Falcons Way and the northeast right-of-way line of Matlese Circle (a 50-foot right-of-way);

THENCE South 07 degrees 19 minutes 59 seconds East, departing the said southwest line of Falcons Way, along said right-of-way corner clip, a distance of 14.14 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the south end of said right-of-way corner clip; said point being in the said northwest line of Matlese Circle;

THENCE South 37 degrees 40 minutes 01 second West, along the said northwest line of Matlese Circle, a distance of 15.00 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the west corner of the southwest terminus of said Matlese Circle;

THENCE South 52 degrees 19 minutes 59 seconds East, along the said southwest terminus of Matlese Circle, a distance of 50.00 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the south corner of the said southwest terminus of Matlese Circle;

THENCE North 37 degrees 40 minutes 01 second East, along the southeast line of said Matlese Circle, a distance of 15.00 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the west end of a right-of-way corner clip between the said southeast line of Matlese Circle, and the said southwest line of Falcons Way;

THENCE North 82 degrees 40 minutes 01 second East, along said right-of-way corner clip, a distance of 14.14 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the east end of said corner clip; said point being in the said southwest line of Falcons Way;

THENCE South 52 degrees 19 minutes 59 seconds East, along the said southwest line of said Lot 1, Block K, a distance of 100.00 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the south corner of said Lot 1, Block K;

THENCE North 40 degrees 24 minutes 10 seconds East, along the southeast line of said Block K, a distance of 122.21 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the southwest corner of Lot 4, of said Block K;

THENCE South 62 degrees 14 minutes 19 seconds East, along the southerly line of said Block K, a distance of 62.53 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at an angle point of said Lot 4;

THENCE South 78 degrees 57 minutes 03 seconds East, continuing along the said southerly line of said Block K, a distance of 51.24 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at an angle point of Lot 5, of said Block K;

THENCE South 89 degrees 27 minutes 01 second East, along the south line of said Block K, a distance of 705.10 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the southeast corner of Lot 14, of said Block K; said point being the west corner of the south terminus of Larkspur Lane, (a 50-foot right-of-way);

THENCE North 89 degrees 36 minutes 13 seconds East, along the said south terminus of Larkspur Lane, a distance of 50.00 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the east corner of the said south terminus of Larkspur Lane;

THENCE North 00 degrees 23 minutes 47 seconds West, along the east line of said Larkspur Lane, a distance of 23.74 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the southwest corner of Lot 12, Block J, of said Kreymier East, Phase 1;

THENCE North 89 degrees 36 minutes 13 seconds East, along the south line of said Lot 12, Block J, a distance of 119.63 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found for corner in the common line between the said 11.05 acre tract and a tract of land conveyed to SGG Single Family, LLC tract, by deed of record in Instrument No. 20181126001445360, of said Official Public Records; said point being the southeast corner of said Lot 12, Block J;

THENCE South 00 degrees 04 minutes 48 seconds East, along the said common line between the 11.05 acre tract and the SGG Single Family, LLC tract, a distance of 107.51 feet to a 1" iron rod found at the southwest corner of said SGG Single Family, LLC tract, the southeast corner of said 11.05 acre tract, the northeast corner of said 21.003 acre tract, and the northwest corner of a second tract of land conveyed to said SGG Single Family, LLC tract;

THENCE South 00 degrees 08 minutes 43 seconds East, along a common line between said 21.003 acre tract and said second SGG Single Family, LLC tract, a distance of 246.69 feet to a 1/2" iron rod found at the southwest corner of Lot 8, Block B, and the southeast corner of Lot 10-A, Block B, Stone Grove, Phase 1, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Cabinet H, Page 25, of the Plat Records of Collin County, Texas, continuing along the said west line of the 17.973 acre tract and the said east line of Block B, in all a total distance of 684.21 feet to a 1/2" iron rod found at the northeast corner of a 175-foot roadway and utility easement, of Stone Grove, Phase 1, recorded in said Cabinet G, Page 173; said point being the southeast corner of said 19.048 acre tract;

CONTINUING...

CONTINUING...

THENCE departing the said west line of the 17.973 acre tract and the said east line of Block B, along a common line between said 175-foot roadway and utility easement and the said 19.048 acre tract, the following courses and distances:

North 52 degrees 19 minutes 59 seconds West, a distance of 663.25 feet to a 1/2" iron rod found at the beginning of a tangent curve to the right;

Along said tangent curve to the right having a central angle of 32 degrees 42 minutes 28 seconds, a radius of 262.50 feet, and an arc length of 149.85 feet (chord bears North 35 degrees 58 minutes 45 seconds West, 147.82 feet) to a 1/2" iron rod found at the end of said curve;

North 19 degrees 37 minutes 31 seconds West, a distance of 353.88 feet to a 1/2" iron rod found at the beginning of a tangent curve to the left;

Along said tangent curve to the left having a central angle of 14 degrees 29 minutes 18 seconds, a radius of 487.50 feet, and an arc length of 123.27 feet (chord bears North 26 degrees 52 minutes 10 seconds West, 122.95 feet) to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the south corner of Lot 1X, of said Block F, Kreymier East, Phase 1;

THENCE North 52 degrees 17 minutes 49 seconds East, departing the said common line between the 175-foot roadway and utility easement and the 19.048 acre tract, along the southeast line of said Lot 1X, Block F, a distance of 15.03 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at a southeast corner of said Lot 1X, Block F; said point being the southwest corner of Lot 2, of said Block F;

THENCE North 76 degrees 29 minutes 50 seconds East, along the southeast line of said Lot 2, Block F, a distance of 43.95 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the southeast corner of said Lot 2, Block F, and the southwest corner of Lot 3, said Block F;

THENCE North 75 degrees 20 minutes 28 seconds East, along the southeast line of said Lot 3, Block F, a distance of 95.45 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the southeast corner of said Lot 3, Block F; said point being the beginning of a non-tangent curve to the right;

THENCE along said curve to the right having a radius of 305.00 feet, a delta angle of 14 degrees 05 minutes 56 seconds, and an arc length of 75.05 feet (chord bears North 07 degrees 36 minutes 34 seconds West, 74.86 feet) to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the west corner of a south terminus of said Eagle Glen Drive;

THENCE North 89 degrees 26 minutes 24 seconds East, along said south terminus, a distance of 50.00 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the east corner of the said south terminus of Eagle Glen Drive; said point being in a non-tangent curve to the right;

THENCE along an east line of said Eagle Glen Drive, and said non-tangent curve to the right having a central angle of 01 degree 52 minutes 08 seconds, a radius of 255.00 feet, and an arc length of 8.32 feet (chord bears North 0 degrees 22 minutes 27 seconds East, 8.32 feet) to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the end of said curve;

THENCE North 01 degrees 18 minutes 31 seconds East, a distance of 5.86 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found at the south end of a right-of-way corner clip between the said east line and said south line of Eagle Glen Drive;

THENCE North 46 degrees 19 minutes 25 seconds East, along the said right-of-way corner clip, a distance of 14.14 feet to a 5/8" iron rod with a yellow plastic cap stamped "WESTWOOD PS" found for corner in the said south line of Eagle Glen Drive, at the east end of a right-of-way corner clip between the said east line and the said south line of Eagle Glen Drive;

THENCE South 88 degrees 39 minutes 42 seconds East, along the said south line of Eagle Glen Drive, a distance of 115.36 feet to the POINT-OF-BEGINNING, containing 1,876,970 square feet or 43.089 acres of land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That, BLOOMFIELD HOMES L.P., acting herein by and through its duly authorized officer, does hereby adopt this plat designated therein above described property as KREYMER EAST, PHASE 2, an addition to the City of Wylie, Texas and does hereby dedicate to the public use forever the easements and rights-of-way as shown thereon. The easements shown herein are hereby reserved for the purposes as indicated. No buildings, fences, trees, shrubs or other improvements or growth shall be constructed or placed upon, over or across the easements and right-of-ways as shown. Said utility easements being hereby reserved for the mutual use and accommodation of all public utilities desiring to use or using same unless otherwise specified. All and any public utility shall have the full right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which may in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easement and all public utilities shall at times have the full right of ingress and egress to and from, and upon the said utility easement for the purposes of removing all or part of its respective systems without the necessity at any time procuring the permission of anyone.

WITNESS MY HAND this ____ day of _____, 20____.

BLOOMFIELD PROPERTIES, L.P.
a Texas Limited Partnership

By: _____
DONALD J. DYKSTRA, President

By: _____
DONALD J. DYKSTRA, President

THE STATE OF TEXAS)
COUNTY OF TARRANT)

BEFORE ME, the undersigned authority, on this day personally appeared DONALD J. DYKSTRA whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said BLOOMFIELD HOMES L.P. and that he executed the same as the act of such partnership for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND SEAL OF OFFICE, this ____ day of _____, 20____.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

I, JASON B. ARMSTRONG, Registered Professional Land Surveyor for Westwood, do hereby certify that the plat shown hereon accurately represents the results of an on-the-ground survey made in June, 2019, under my direction and supervision, and further certify that all corners are as shown thereon, and that said plat has been prepared in accordance with the plotting rules and regulations of the City of Wylie, Texas.

Date: This the ____ day of _____, 20____.

JASON B. ARMSTRONG
Registered Professional Land Surveyor No. 5557

THE STATE OF TEXAS)
COUNTY OF COLLIN)

BEFORE ME, the undersigned authority, on this day personally appeared JASON B. ARMSTRONG, whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said BLOOMFIELD HOMES L.P. and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND SEAL OF OFFICE, this ____ day of _____, 20____.

Notary Public in and for the State of Texas

"Recommended for Approval"

Chairman, Planning & Zoning Commission
City of Wylie, Texas

Date

"Approved for Construction"

Mayor, City of Wylie, Texas

Date

"Accepted"

Mayor, City of Wylie, Texas

Date

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of KREYMER EAST, PHASE 2 subdivision or addition to the City of Wylie was submitted to the City Council on the day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinafore subscribed.

Witness my hand this ____ day of _____, A.D., 20____.

City Secretary
City of Wylie, Texas

Lot Table			Lot Table		
Lot #	SF	Acres	Lot #	SF	Acres
Lot 4 Block F	9,582	0.220	Lot 13 Block J	8,501	0.195
Lot 5 Block F	8,531	0.196	Lot 14 Block J	8,982	0.206
Lot 6 Block F	8,500	0.195	Lot 3 Block K	8,501	0.195
Lot 7 Block F	8,500	0.195	Lot 4 Block K	8,501	0.195
Lot 8 Block F	8,500	0.195	Lot 5 Block K	8,501	0.195
Lot 9 Block F	8,500	0.195	Lot 6 Block K	8,501	0.195
Lot 10 Block F	9,158	0.215	Lot 16 Block K	8,500	0.195
Lot 11 Block F	9,162	0.217	Lot 17 Block K	8,501	0.195
Lot 12 Block F	9,297	0.216	Lot 18 Block K	8,500	0.195
Lot 13 Block F	9,320	0.214	Lot 19 Block K	8,500	0.195
Lot 14 Block F	8,622	0.200	Lot 20 Block K	8,500	0.195
Lot 15 Block F	8,500	0.195	Lot 21 Block K	8,500	0.195
Lot 16 Block F	8,500	0.195	Lot 22 Block K	8,500	0.195
Lot 17 Block F	8,500	0.195	Lot 23 Block K	8,500	0.195
Lot 18 Block F	8,500	0.195	Lot 24 Block K	8,500	0.195
Lot 19 Block F	8,500	0.195	Lot 25 Block K	8,500	0.195
Lot 20 Block F	8,817	0.202	Lot 26 Block K	10,499	0.241
Lot 26 Block F	9,624	0.221			

Lot Table			Lot Table		
Lot #	SF	Acres	Lot #	SF	Acres
Lot 1 Block L	9,400	0.216	Lot 17 Block L	8,805	0.202
Lot 18 Block L	8,889	0.199	Lot 18 Block L	8,902	0.204
Lot 3 Block L	8,501	0.195	Lot 19 Block L	8,500	0.195
Lot 20 Block L	8,400	0.197	Lot 20 Block L	8,400	0.197
Lot 21 Block L	8,827	0.203	Lot 27 Block L	8,834	0.203
Lot 22 Block L	8,641	0.221	Lot 38 Block L	9,080	0.208
Lot 23 Block L	8,888	0.204	Lot 39 Block L	8,999	0.207
Lot 24 Block L	8,511	0.195	Lot 40 Block L	8,919	0.205
Lot 25 Block L	8,511	0.195	Lot 47 Block L	8,688	0.204
Lot 26 Block L	8,511	0.195	Lot 48 Block L	8,309	0.204
Lot 27 Block L	8,511	0.195	Lot 49 Block L	9,168	0.210
Lot 28 Block L	8,511	0.195	Lot 46 Block L	8,500	0.195
Lot 29 Block L	8,511	0.195	Lot 46 Block L	8,500	0.195
Lot 30 Block L	8,511	0.195	Lot 47 Block L	8,511	0.195
Lot 31 Block L	8,511	0.195	Lot 48 Block L	8,511	0.195
Lot 32 Block L	8,511	0.195			

Lot Table			Lot Table		
Lot #	SF	Acres	Lot #	SF	Acres
Lot 1 Block M	8,750	0.200	Lot 17 Block M	8,500	0.195
Lot 2 Block M	8,500	0.195	Lot 18 Block M	8,500	0.195
Lot 3 Block M	8,500	0.195	Lot 19 Block M	9,057	0.208
Lot 4 Block M	9,468	0.217	Lot 20 Block M	8,575	0.197
Lot 5 Block M	11,822	0.271	Lot 21 Block M	8,501	0.195
Lot 6 Block M	8,640	0.198	Lot 22 Block M	8,501	0.195
Lot 7 Block M	8,500	0.195	Lot 23 Block M	8,501	0.195
Lot 8 Block M	8,500	0.195	Lot 24 Block M	8,501	0.195
Lot 9 Block M	8,678	0.206	Lot 25 Block M	8,501	0.195
Lot 10 Block M	9,680	0.222	Lot 26 Block M	8,500	0.195
Lot 11 Block M	9,711	0.223	Lot 27 Block M	8,798	0.200
Lot 12 Block M	9,309	0.214	Lot 28 Block M	8,504	0.195
Lot 13 Block M	8,500	0.195	Lot 29 Block M	8,504	0.195
Lot 14 Block M	8,500	0.195	Lot 30 Block M	8,504	0.195
Lot 15 Block M	8,500	0.195	Lot 31 Block M	8,504	0.195
Lot 16 Block M	8,500	0.195	Lot 32 Block M	8,578	0.197

Lot Table			Lot Table		
Lot #	SF	Acres	Lot #	SF	Acres
Lot 1 Block N	9,057	0.208	Lot 2 Block N	8,500	0.195
Lot 3 Block N	8,500	0.195	Lot 4 Block N	8,500	0.195
Lot 5 Block N	8,500	0.195	Lot 6 Block N	8,500	0.195
Lot 7 Block N	8,500	0.195	Lot 8 Block N	8,500	0.195
Lot 9 Block N	8,500	0.195	Lot 10 Block N	8,500	0.195
Lot 11 Block N	8,500	0.195	Lot 12 Block N	8,500	0.195
Lot 13 Block N	8,500	0.195	Lot 14 Block N	8,500	0.195
Lot 15 Block N	8,500	0.195	Lot 16 Block N	8,500	0.195
Lot 17 Block N	8,500	0.195	Lot 18 Block N	9,057	0.208

FINAL PLAT

OF
KREYMER EAST, PHASE 2
LOTS 4-20, 26, BLOCK F; LOTS 13, 14, BLOCK J;
LOTS 15-26, BLOCK K; LOTS 1-47, BLOCK L;
LOTS 1X, 2-48, BLOCK M; LOTS 1-19, BLOCK N; LOT 1X
144 RESIDENTIAL LOTS & 1 COMMON AREA LOT
43.089 ACRES OF LAND
OUT OF THE
FRANCISCO DE LA PINA SURVEY, ABSTRACT NO. 688
IN THE
CITY OF WYLIE, COLLIN COUNTY, TEXAS
43.089 ACRES FEBRUARY 24, 2022 JOB NO. 0003171.02 KREYMER EAST, PHASE 2

KREYMER EAST, PHASE 2



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, a Final Plat for Lake Park Villas Phase 2, establishing 93 residential lots and four open space lots on 14.302 acres, generally located at the northwest corner of County Line Road and Troy Road.

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: JHW W PLV

APPLICANT: Westwood

The applicant has submitted a final plat to create 93 residential lots and four open space lots for the development of attached residential single-family units. This subject property is part of the overall 26 acres of the Lake Park Villas development approved in February of 2021 as Planned Development District (PD 2021-13). The preliminary plat for the site was approved in May of 2017.

The Planned Development allows for attached structures with two to three units on individual lots requiring a minimum lot size of 3,000 sq. ft. to which the final plat complies.

The plat shall dedicate necessary rights-of-way, and utility easements.

The final plat complies with the preliminary plat, is technically correct, and abides by all aspects of the City of Wylie Subdivision Regulations.

Approval is subject to additions and alterations as required by the City Engineering Department.

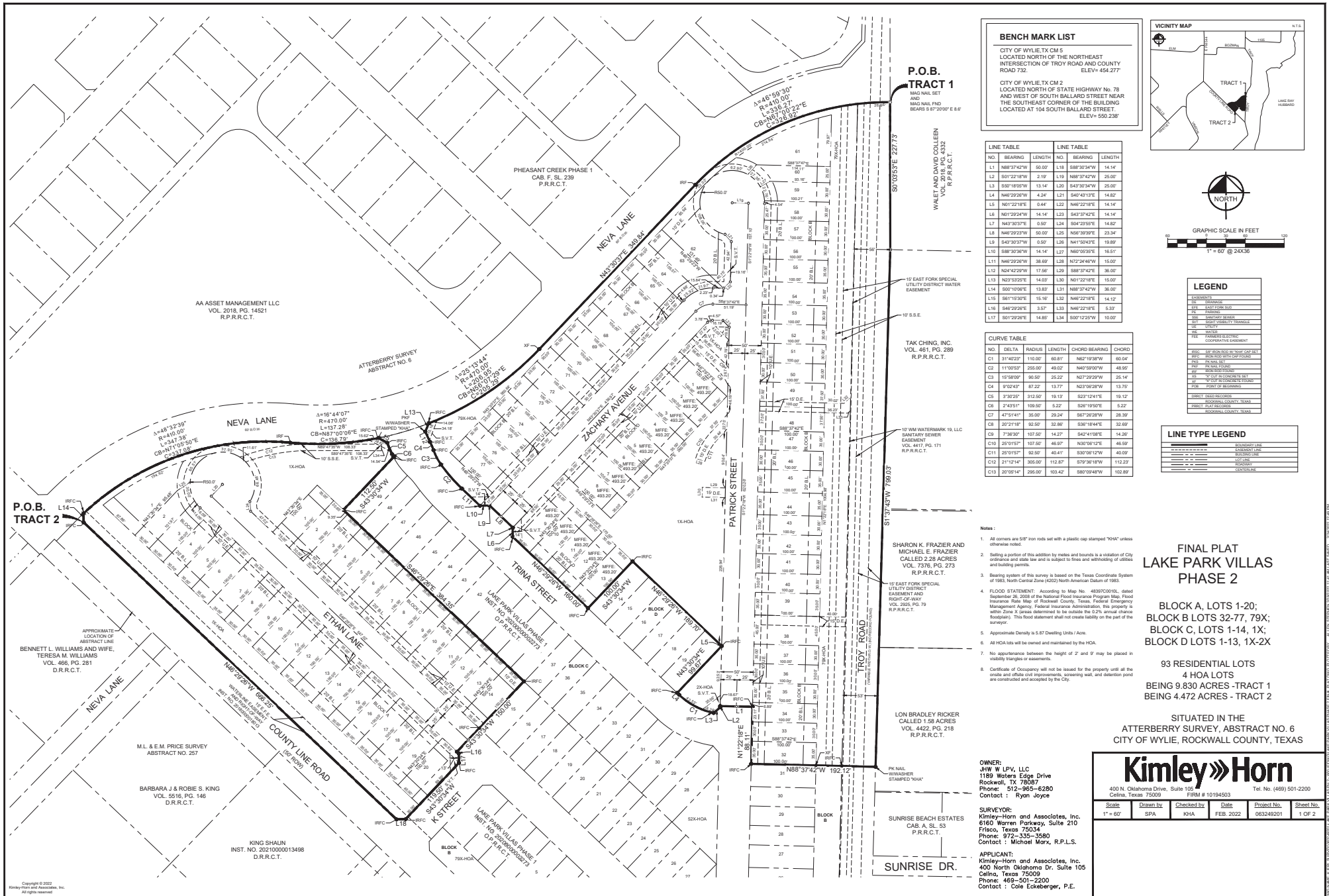
For conditional approval or disapproval City Council must provide a written statement of the reasons to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Gov't Code.

P&Z Commission Discussion

The Commission voted 7-0 to recommend approval.

Financial Summary/Strategic Goals

Planning Management



STATE OF TEXAS §
COUNTY OF ROCKWALL §
CITY OF WYILE §

WHEREAS JHW W. LPV, LLC, are the sole owner of Tract 1 and Tract 2 of land situated in the Atterberry Survey, Abstract No. 6, City of Wylie, Rockwall County, Texas and being all of the remainder of that tract of land described in Special Warranty Deed to Wylie Lake Park Villas LLC, as recorded in Instrument No. 2021000008330 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

TRACT 1

BEING a tract of land situated in the Atterberry Survey, Abstract No. 6, City of Wylie, Rockwall County, Texas and being all of the remainder of that tract of land described in Special Warranty Deed to JHW W. LPV, LLC, as recorded in Instrument No. 2021000008330 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a mag nail set for the northeast corner of said JHW tract in the west line of a tract of land described in Special Warranty Deed to Walei and David Colleen, as recorded in Volume 2016, Page 4332 of the Deed Records of said county, same being in Troy Road, a variable width right-of-way, from which a mag nail found for witness bears South 87°20'00" East, 8.6 feet;

THENCE South 00°03'00" East, along the east line of said JHW tract, common to the west line of said Colleen tract, and along said Troy Road, a distance of 227.73 feet to a mag nail set for the southwest corner of said Colleen tract;

THENCE South 01°37'43" West, continuing along the east line of said JHW tract and along said Troy Road, and along the west line of a tract of land described in a Warranty Deed with Vendor's Lien to Tak Ching, Inc., as recorded in Volume 481, Page 2489 of the Deed Records of said county, a called 2.28 acre tract described in a Special Warranty Deed to Sharon K. Frazier and Michael E. Frazier, as recorded in Volume 7378, Page 273 of the Real Property Records of said county, and a called 1.58 acre tract described in a Special Warranty Deed to Lon Bradley Rickus, as recorded in Volume 4422, Page 218 of said Real Property Records, a distance of 798.93 feet to a PK nail with a washer, stamped "KHA", found for the most easterly northeast corner of Lake Park Villas Phase 1, an addition to the City of Wylie, as shown on the Final Plat recorded in Instrument No. 2020000002273 of the Official Public Records of said county, also being the northeast corner of a right-of-way dedication to the City of Wylie, as shown on said Lake Park Villas Phase 1;

THENCE in a westerly direction, along the northeasterly lines of said Lake Park Villas Phase 1, the following:

North 88°37'42" West, departing said Troy Road, passing a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northeast corner of Lot 79A-HQA, Block B, passing an "X" cur on a brick column for the northeast corner of Lot 31, Block B, continuing for a total distance of 150.12 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northwest corner of said Lot 31, Block B, same being on the easterly right of way line of Patrick Street, a 50' wide right-of-way;

North 01°22'18" East, along the easterly right of way line of said Patrick Street, a distance of 88.11 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northeast corner of said Patrick Street;

North 88°37'42" West, a distance of 50.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northeast corner of said Patrick Street;

South 01°22'18" West, along the westerly right of way line of said Patrick Street, a distance of 2.19 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for northerly corner of a visibility dip;

South 50°18'00" West, along said visibility dip, a distance of 13.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for a corner on the northeasterly right of way line of Trina Street, a 50' wide right of way, and being at the beginning of a non-langent curve to the right having a central angle of 31°40'23", a radius of 110.00 feet, a chord bearing and distance of North 62°19'38" West, 60.04 feet;

In a northeasterly direction, along the northeasterly right of way line of said Trina Street, with said curve to the right, an arc distance of 60.81 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 46°29'26" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 4.24 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the southerly corner of Lot 19, Block D;

North 43°30'34" East, departing said Trina Street, along the southeasterly line of said Lot 19, Block D, a distance of 99.67 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", set for corner;

North 01°22'18" East, along an easterly line of said Lot 19, Block D, a distance of 0.44 feet to a point for corner;

North 46°29'26" West, along the northeasterly line of Lots 14-19, Block D, a distance of 189.70 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", set for the northerly corner of said Lot 14;

South 43°30'34" West, along the northeasterly line of said Lot 14, Block D, a distance of 100.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the westerly corner of said Lot 14, same being on the northeasterly right of way line of aforesaid Trina Street;

North 46°29'26" West, along the northeasterly right of way line of said Trina Street, a distance of 160.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 01°29'24" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 14.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 43°30'37" East, continuing along the northeasterly right of way line of said Trina Street, a distance of 0.50 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 46°29'23" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 50.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

South 43°30'37" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 0.50 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 86°30'36" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 14.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 46°29'26" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 38.69 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a tangent curve to the right having a central angle of 11°05'03", a radius of 255.00 feet, a chord bearing and distance of North 40°59'00" West, 48.95 feet;

In a northeasterly direction, continuing along the northeasterly right of way line of said Trina Street, with said curve to the right, an arc distance of 49.02 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a compound curve to the right having a central angle of 15°58'00", a radius of 90.50 feet, a chord bearing and distance of North 27°29'29" West, 25.14 feet;

In a northeasterly direction, continuing along the northeasterly right of way line of said Trina Street, with said curve to the right, an arc distance of 25.22 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a non-tangent curve to the left having a central angle of 8°02'44", a radius of 87.22 feet, a chord bearing and distance of North 23°06'28" West, 13.75 feet;

In a northeasterly direction, continuing along the northeasterly right of way line of said Trina Street, with said curve to the left, an arc distance of 13.77 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 24°42'29" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 17.56 feet to a PK nail with a washer, stamped "KHA", found for southerly corner of a visibility dip;

North 23°52'52" East, along said visibility dip, a distance of 14.03 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found on the southeasterly right of way line of Neva Lane, a 50' wide right of way, and being at the beginning of a non-tangent curve to the left having a central angle of 25°12'44", a radius of 470.00 feet, a chord bearing and distance of North 56°07'29" East, 205.29 feet;

THENCE along the southeasterly right-of-way line of said Neva Lane, the following courses and distances:

In a northeasterly direction, with said curve to the left, an arc distance of 206.05 feet to an "X" cut in concrete found at the end of said curve;

North 43°30'37" East, a distance of 349.84 feet to a 5/8 inch iron rod found at the beginning of a tangent curve to the right having a central angle of 46°59'30", a radius of 410.00 feet, a chord bearing and distance of North 67°00'22" East, 326.92 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 336.27 feet to the POINT OF BEGINNING and containing 9.830 acres or 428.179 square feet of land, more or less.

TRACT 2

BEING a tract of land situated in the Atterberry Survey, Abstract No. 6, City of Wylie, Rockwall County, Texas and being all of the remainder of that tract of land described in Special Warranty Deed to Wylie Lake Park Villas LLC, as recorded in Instrument No. 2021000008330 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the south end of a corner clip at the intersection of the northeast right-of-way line of Vison Road, a variable width right-of-way, with the southeast right-of-way line of Neva Lane, a 60' wide right-of-way, for the most southerly northwest corner of said JHW tract;

THENCE North 00°10'06" West, along said corner clip, a distance of 13.83 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a non-langent curve to the right having a central angle of 48°32'30", a radius of 410.00 feet, a chord bearing and distance of North 71°05'00" East, 337.08 feet;

THENCE along the northwest line of said JHW tract, common to the southeast right-of-way line of said Neva Lane, the following courses and distances:

In a northeasterly direction, with said curve to the right, an arc distance of 347.38 feet to a 5/8 inch iron rod found at the beginning of a reverse curve to the left having a central angle of 16°44'07", a radius of 470.00 feet, a chord bearing and distance of North 87°00'06" East, 136.79 feet;

In a northeasterly direction, with said curve to the left, an arc distance of 137.28 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the northwest end of a visibility dip at the intersection of the southeast right-of-way line of said Neva Lane with the southwest right-of-way line of Trina Street, a 50' feet-wide right-of-way, as dedicated in Lake Park Villas Phase 1, an addition to the City of Wylie, as shown on the Final Plat recorded in Instrument No. 2020000002273 of the Official Public Records of said county;

THENCE South 01°19'30" East, departing the southeasterly right of way line of said Neva Lane and along said visibility dip, the a distance of 15.16 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found on the southeasterly right of way line of Trina Street, a 50' wide right of way as dedicated in said Lake Park Villas Phase 1, and being at the beginning of a non-langent curve to the left having a central angle of 5°39'25", a radius of 312.50 feet, a chord bearing and distance of South 23°12'41" East, 19.12 feet;

THENCE in a southeasterly direction, along the southeasterly right of way line of said Trina Street, and with said curve to the left, an arc distance of 19.13 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a compound curve to the left having a central angle of 2°43'51", a radius of 109.50 feet, a chord bearing and distance of South 26°19'50" East, 5.22 feet;

THENCE in a southeasterly direction, continuing along the southeasterly right of way line of said Trina Street, and with said curve to the left, an arc distance of 5.22 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the northerly corner of Lot 49, Block C of said Lake Park Villas Phase 1;

THENCE South 43°30'34" West, departing the southeasterly right of way line of said Trina Street and along the northeasterly line of said Lot 48, Block C, a distance of 112.50 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the westerly corner of said Lot 49;

THENCE South 46°29'26" East, along the southeasterly line of Lots 38-49, Block C, of said Lake Park Villas Phase 1, a distance of 384.35 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the northerly corner of Lot 15 in said Block C;

THENCE South 43°30'34" West, along the northeasterly line of said Lot 15, Block C, passing a 5/8-inch iron rod with a red plastic cap set for the westerly corner of said Lot 15 and continuing over and across Ethan Lane, a 50' wide right of way as dedicated in said Lake Park Villas Phase 1, a total distance of 150.00 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the westerly corner of said Ethan Lane;

THENCE South 46°29'26" East, along the southwest right-of-way line of said Ethan Lane, a distance of 4.57 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the northwest end of a corner clip at the intersection of the southwest right-of-way line of said Ethan Lane with the northeast right-of-way line of K Street, a 50' wide right-of-way, as dedicated on said Final Plat of Lake Park Villas, Phase 1;

THENCE South 01°29'26" East, along said corner clip, a distance of 14.85 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the southeasterly corner of said corner clip;

THENCE South 43°30'34" West, along the northwest right-of-way line of said K Street, a distance of 119.80 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the east end of a corner clip at the intersection of the northwest right-of-way line of said K Street with the northeast right-of-way line of the aforementioned Vison Road;

THENCE South 86°30'34" West, along said corner clip, a distance of 14.14 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the west end of said corner clip on the southeast line of said Vison Road;

THENCE North 46°29'26" West, along said common line, a distance of 666.25 feet to the POINT OF BEGINNING and containing 4.472 acres or 194.813 square feet of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT JHW W. LPV, LLC, ACTING HEREIN BY AND THROUGH ITS (ITS) DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ADOPTED DESCRIBED PROPERTY AS LAKE PARK VILLAS, PHASE 2 AN ADDITION TO THE CITY OF WYILE, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE TO THE PUBLIC USE FOREVER, THE STREETS, RIGHTS-OF-WAY, AND OTHER PUBLIC IMPROVEMENTS SHOWN THEREON, THE STREETS AND ALLEYS, IF ANY, ARE DEDICATED FOR STREET PURPOSES THE EASEMENTS AND PUBLIC USE AREAS AS SHOWN, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY COUNCIL OF THE CITY OF WYILE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND CITY OF WYILE'S USE THEREOF. CITY OF WYILE, TEXAS SUBDIVISION ORDINANCE ADOPTED 2-25-03, AMENDED 7-24-07.

THE CITY OF WYILE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WYILE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS, AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCLAIMING PERMISSION FROM ANYONE.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand, this _____ day of _____, 2022.

BY: JHW W. LPV, LLC

By: Ryan Joyce - Sole Manager

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared RYAN JOYCE, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2022.

Notary Public, State of Texas _____

My Commission Expires on: _____

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael B. Marx, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Wylie, Texas.

Michael B. Marx
Registered Professional Land Surveyor No. 5181
Phillipsburg, Texas 75804
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone: 972-335-3580

PRELIMINARY
THIS DOCUMENT SHALL
NOT BE RECORDED FOR
ANY PURPOSE AND
SHALL NOT BE USED OR
VIEWED OR RELIED
UPON AS A FINAL
SURVEY DOCUMENT

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared MICHAEL B. MARX, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2022.

Notary Public, State of Texas _____

My Commission Expires on: _____

RECOMMENDED FOR APPROVAL

Chairman, Planning & Zoning Commission
City of Wylie, Texas _____ Date _____

APPROVED FOR CONSTRUCTION

Mayor
City of Wylie, Texas _____ Date _____

ACCEPTED

Mayor
City of Wylie, Texas _____ Date _____

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the LAKE PARK VILLAS, PHASE 2, a subdivision or addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinafore subscribed.

Witness my hand this _____ day of _____, A.D. 2022.

City Secretary
City of Wylie, Texas _____

Notes :

- All corners are 5/8" iron rods set with a plastic cap stamped "KHA" unless otherwise noted.
- Selling a portion of this dedication by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
- Flowing system of this survey is based on the Texas Coordinate System of 1983, North Central Zone 4202 North American Datum of 1983.
- FLOOD STATEMENT: According to Map No. 48397C0010L, dated September 26, 2008 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Rockwall County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone X (areas determined to be outside the 0.2% annual chance floodplain). This flood statement shall not create liability on the part of the surveyor.
- Approximate Density is 5.87 Dwelling Units / Acre.
- All HOA lots will be owned and maintained by the HOA.
- No apurtenance between the height of 2' and 9' may be placed in visibility triangles or easements.
- Certificate of Occupancy will not be issued for the property until all the onsite and offsite out improvements, screening wall, and detention pond are constructed and accepted by the City.

BENCH MARK LIST

CITY OF WYILE, TX CM 5
LOCATED NORTH OF THE NORTHEAST
INTERSECTION OF TROY ROAD AND COUNTY
ROAD 732. ELEV = 454.277
CITY OF WYILE, TX CM 2
LOCATED NORTH OF STATE HIGHWAY No. 78
AND WEST OF SOUTH BALLARD STREET NEAR
THE SOUTHEAST CORNER OF THE BUILDING
LOCATED AT 704 SOUTH BALLARD STREET.
ELEV = 550.238'

FINAL PLAT
LAKE PARK VILLAS
PHASE 2

BLOCK A, LOTS 1-20;
BLOCK B LOTS 32-77, 79X;
BLOCK C, LOTS 1-14, 1X;
BLOCK D LOTS 1-13, 1X-2X

93 RESIDENTIAL LOTS
4 HOA LOTS
BEING 9.830 ACRES -TRACT 1
BEING 4.472 ACRES -TRACT 2

SITUATED IN THE
ATTERBERRY SURVEY, ABSTRACT NO. 6
CITY OF WYILE, ROCKWALL COUNTY, TEXAS

Kimley»Horn

400 N. Oklahoma Drive, Suite 105 Tel. No: (469) 501-2200
Celina, Texas 75009

FIRM # 10194503
Scale Drawn by SPA Checked by Date Project No. Sheet No.
1" = 60' FEB. 2022 063249201 2 OF 2

OWNER:
JHW W LPV, LLC
1180 Water Edge Drive
Rockwall, TX 78087
Phone: 972-335-3580
Contact : Ryan Joyce

SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone: 972-335-3580
Contact : Michael Marx, R.P.L.S.

APPLICANT:
Kimley-Horn and Associates, Inc.
400 North Oklahoma Dr. Suite 105
Celina, Texas 75009
Phone: 469-501-2200
Contact : Cole Eckerberger, P.E.



Wylie City Council

AGENDA REPORT

Department: Information Technology
Prepared By: Glenna Hayes

Account Code: 611-5711-54810

Subject

Consider, and act upon, Resolution No. 2022-11(R) authorizing the sole source purchase of ESRI Small Municipal and County Government Enterprise Software under a single three (3) year term from Environmental Systems Research Institute, Inc. (ESRI, Inc.) in the amount of \$179,103.00 and authorizing the Interim City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented.

Discussion

ESRI software is used in the GIS Department for digitizing information from Wylie Fire and Rescue, Planning and Zoning, Public Works, Engineering, Parks, Utility Billing, Accounting, City Manager's Office, and the Citizens of Wylie. Typical information is utility data (water, sewer, and storm), zoning districts, owner parcels, development projects, the Emergency Management map, roads/highways, fire district, fire call box, Police district, and park trails maps are all supported with ESRI software. The software is also used to host fire hydrant locations, preplan inspections, and an online data hub for the public to retrieve important information. It also stores address points, road names, trails, sidewalks, stop lights, street signs, and water meters. ESRI software is also used to import engineering drawings, and can be used to generate PDF maps for public notification, and making online maps for City personnel and the public.

Subscriptions for ESRI software are based on population size, and with the City's growth to over 50,000 staff recommends the approval of this Resolution authorizing the sole source purchase of software from ESRI Inc. to provide the best overall value for the City. This is a single three (3) year agreement in the amount of \$179,103.00, payable on the anniversary dates in the amount of \$59,702.00 per year.

Wylie Agreement #W2022-81-S

Financial Summary/Strategic Goals

Approval of this item support the City's Strategic Infrastructure goal.

RESOLUTION NO. 2022-11(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, TO AUTHORIZE THE SOLE SOURCE PURCHASE OF ESRI SMALL MUNICIPAL AND COUNTY GOVERNMENT ENTERPRISE SOFTWARE UNDER A SINGLE THREE (3) YEAR TERM FROM ENVIRONMENTAL SYSTEMS RESEARCH INSTITUTE, INC. (ESRI, INC.) IN THE AMOUNT OF \$179,103.00.

WHEREAS, The City of Wylie Information Technology Division has identified a need to purchase ESRI Small Municipal and County Government Enterprise Software; and

WHEREAS, this software is utilized by the GIS Department to digitize a wide range of City documents, information, maps and other documents for use both internally and by our citizens; and

WHEREAS, authorization of this Resolution will establish a single three (3) year term in the amount of \$179,103.00, payable in three (3) annual payments of \$59,701.00; and

WHEREAS, the purchase of ESRI Small Municipal and County Government Enterprise Software from Environmental Systems Research Institute, Inc. (ESRI, Inc.) is exempt from competitive bidding pursuant to Section 252.022.a.7 of the Local Government Code.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

Section I. The City Council hereby approves the purchase of ESRI Small Municipal and County Government Enterprise Software under a single three (3) year term from Environmental Systems Research Institute, Inc. (ESRI, Inc.).

Section II. The City Council hereby finds and determines that the purchase of ESRI Small Municipal and County Government Enterprise Software under a single three (3) year term from Environmental Systems Research Institute, Inc. (ESRI, Inc.) is available from only one source because of patents, copyrights, secret processes or natural monopolies and is exempt from competitive bidding pursuant to Section 252.022(a.7.A) of the Local Government Code.

Section III. The City Council hereby authorizes the Interim City Manager or his designee to execute any and all documents in connection with the above expenditure.

Section IV. This Resolution shall become effective immediately upon its passage.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas on this the 12th day of April, 2022.

Matthew Porter, Mayor

ATTEST TO:

Stephanie Storm, City Secretary



Wylie City Council

AGENDA REPORT

Department: Information Technology

Prepared By: Glenna Hayes

Account Code: 100-5411-54210 \$175,000;
611-5414-54210 \$25,000;
611-5712-54210 \$25,000

Subject

Consider, and act upon, the award of bid #W2022-29-A Ready Mix Portland Cement Concrete to Cooper Concrete Company and Lattimore Materials Corporation in the estimated annual amount of \$225,000.00, and authorizing the Interim City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented.

Discussion

The Wylie Purchasing Department acted as the lead agency and completed a joint bid with the City of Murphy, TX. The various Public Works Departments (Streets, Wastewater, and Water) require the delivery of ready-mix concrete (made with Portland cement) to various locations for the rehabilitation and repair of sidewalks and curbs, alleys, driveway approaches, and street panels. These repairs are done on an as needed basis, and timely delivery of this product is imperative to the completion of department projects.

Staff received two (2) responsive bids and recommends the approval of Wylie Bid #W2022-29-A for Ready Mix Portland Cement Concrete to both Cooper Concrete Company and Lattimore Materials Corporation in the estimated annual amount of \$225,000.00, as providing the best overall value to the City. This will establish an annual agreement with automatic renewals.

Financial Summary/Strategic Goals

Award of this item supports the department infrastructure goals.



Wylie City Council

AGENDA REPORT

Department: City Manager
Prepared By: Brent Parker

Account Code: _____

Subject

Consider and act upon settlement in Cause No. 005-00274-2022 in the case styled City of Wylie, Texas v. The Muddy Creek Farms Trust pending in County Court at Law No. 5, Collin County, Texas.

Recommendation

Motion to approve Item as presented.

Discussion

Consider and act upon a settlement between the City of Wylie and the Muddy Creek Farms Trust as part of the McMillen Road expansion.

Financial Summary/Strategic Goals



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.35 acres, property located at 3201 FM 544 (ZC 2022-03).

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: Malik Pervez

ENGINEER: Halim Muhommad

The applicant is requesting a Special Use Permit (SUP) on 1.315 acres located at 3201 W FM 544 to allow for a second restaurant with drive-thru service on the subject property, as the Zoning Ordinance requires all restaurants with drive-through service to obtain a Special Use Permit.

The property currently contains one restaurant with drive-through service (Building A) as the site plan was approved in 2017 prior to the Special Use Permit requirement for that use being in the Zoning Ordinance. The new proposed restaurant with drive-through service is located on the northwest side of the rear building (Building B). Access to this restaurant is provided with plans to use the rear access drive as a drive-through lane. The rear access drive shall be required to have its fire striping removed. As presented, the project is in compliance with the 140' drive-through stacking requirement and is in compliance with fire code requirements.

The proposed zoning exhibit provides a total of 45 parking spaces with two being ADA accessible. As part of the Special Use Permit, the entire site shall be parked at a ratio of 1:275. Sit down restaurants shall also be prohibited due to a concern for parking availability for high traffic uses.

The Special Use Permit Conditions allow for the Zoning Exhibit to function as the review and approval of the site plan. As presented, this item complies with the minimum site, landscaping and architectural requirements of the zoning ordinance.

The surrounding properties are zoned commercial to the east, south, and west and contain a car dealership, a shopping center, and a car wash. The property to the north contains a railroad and a residential subdivision. The nearest restaurants with drive-through service are located approximately 1,200 feet east of the site on the southeast corner of Springwell Pkwy and FM 544.

The site is located in the General Urban Sector of the land use map and is consistent with the existing surrounding development and land use classification of the comprehensive plan.

Notifications/Responses: 8 notifications were mailed; with no responses received in opposition or in favor of the request.

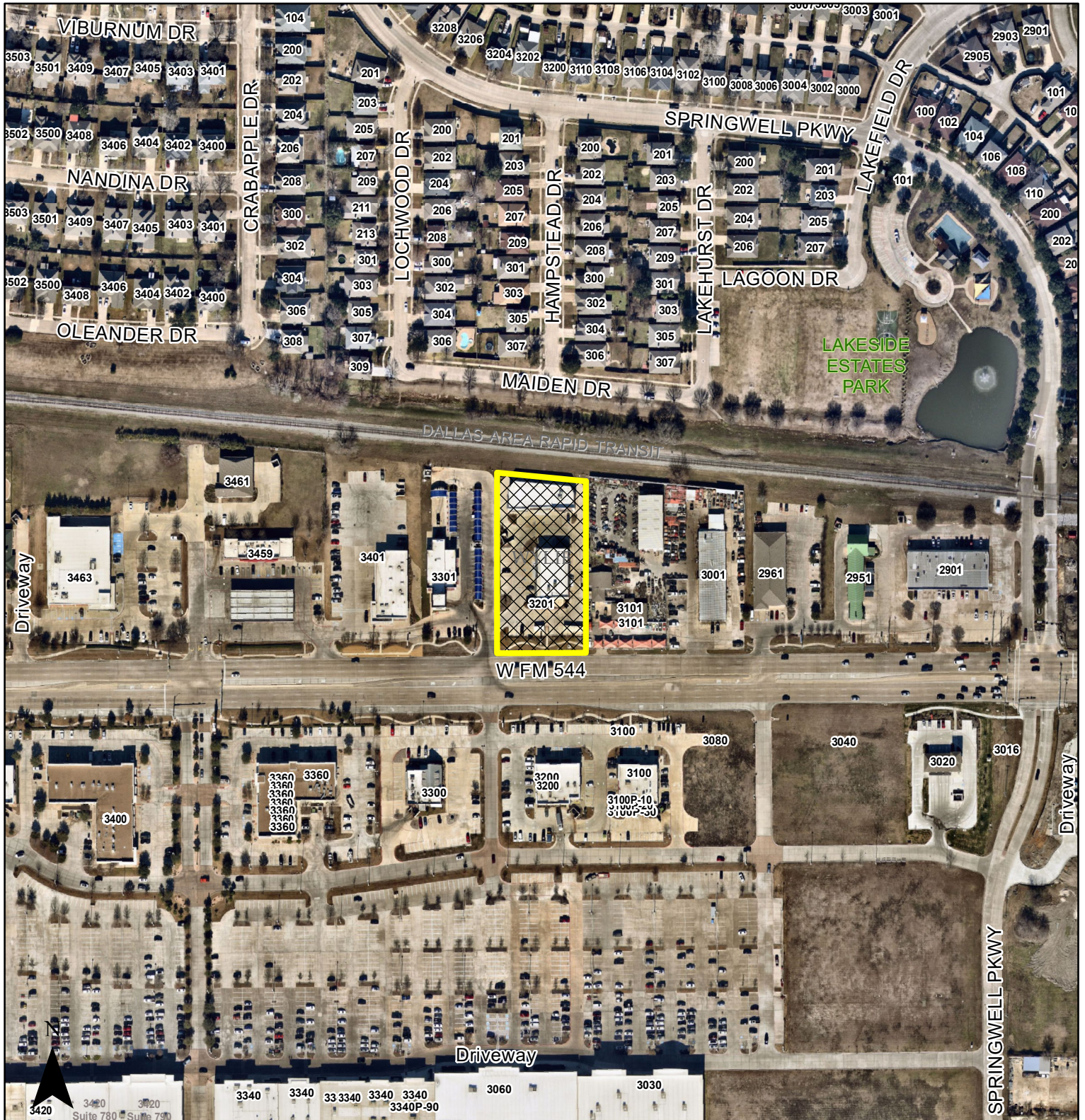
P&Z Commission Discussion

The Commission voted 7-0 to recommend approval.

Financial Summary/Strategic Goals

Planning Management

Locator Map

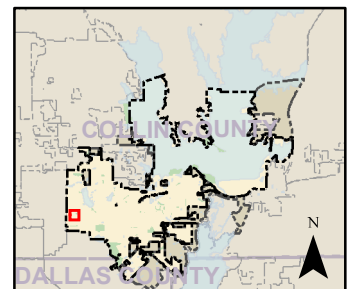


ZC 2022-03; Malik Plaza; 3201 W FM 544



Subject Property

0 125 250 500 750 1,000 Feet



Williams Addition Lot 3, Block A**EXHIBIT "B"****Conditions For Special Use Permit****I. PURPOSE:**

The purpose of this Special Use Permit is to allow for a restaurant with drive-in or drive-through service in Building B of the Zoning Exhibit (Exhibit C) and the continued use of a restaurant with drive-in or drive-through service in Building A of the Zoning Exhibit (Exhibit C).

II. GENERAL CONDITIONS:

1. The site shall be developed and uses allowed shall be in accordance with Commercial Corridor (CC) design standards, as provided in Article 4 and 5 of the City of Wylie Zoning Ordinance as adopted April 2021, except as specifically provided herein.
2. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
3. The design and development of the Williams Addition Lot 3, Block A development shall take place in general accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

1. The restaurant with drive-in or drive-thru use in Building A shall be allowed as a condition of the SUP and as generally depicted on the zoning exhibit. The Building B restaurant shall be limited to a maximum of 1,800 square feet. The combined allowable maximum size of all restaurants shall be 4,200 sq.ft.
2. The overall parking for the site shall be at a ratio of 1:275 requiring a minimum total of 43 parking spaces.
3. A restaurant without drive thru use shall be prohibited as a use on this site.
4. The Zoning Exhibit (Exhibit C) shall serve as the Site Plan for the development. Approval of the SUP shall act as site plan approval.

CONSTRUCTION PLANS FOR
MALIK PLAZA
LOT-3, BLOCK-A, REPLAT OF WILLIAMS ADDITION
FM 544, WYLLIE, TEXAS

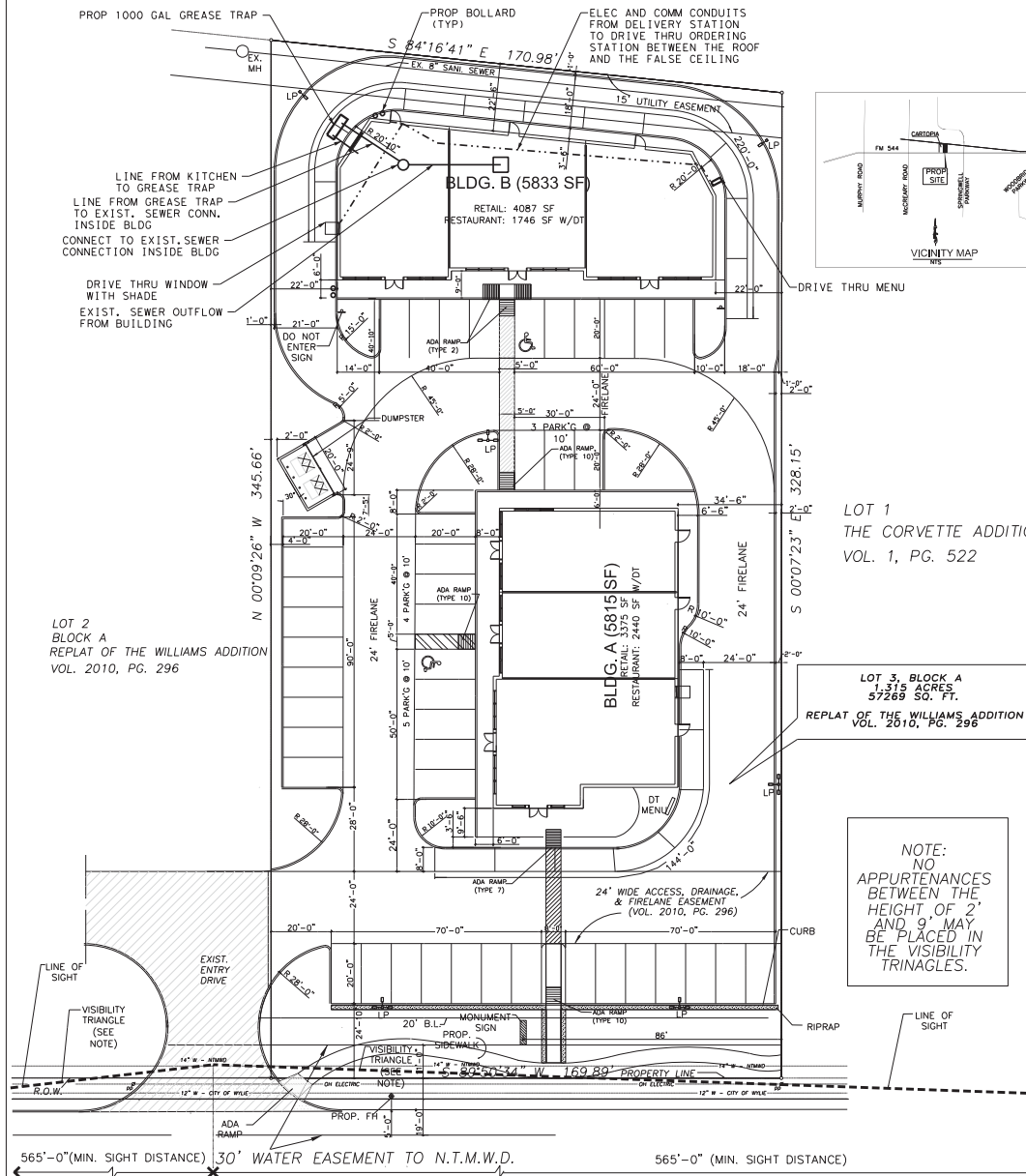
DATE : 10/06/2017 - REV. 1
DATE : 6/9/2017 - ORIGINAL

SHEET TITLE

SITE PLAN

SHEET NO.

C-3



SITE & PARKING DATA			
LOT AREA	1.35 AC.	58,806 SF	
PROP. USAGE	BUILDING-A	BUILDING-B	TOTAL
COMMERCIAL	3,375 SF	4,087 SF	7,462 SF
RESTAURANT W/DT	2,440 SF	1,746 SF	4,186 SF
TOTAL BUILDING AREA:	5,815 SF	5,833 SF	11,648 SF
LANDSCAPE LOT COVERAGE			20%
PARKING REQUIRED:1/275SF	22 SPACES	21 SPACES	43 SPACES
HC PARKING			2 SPACES
TOTAL PARKING PROVIDED			45 SPACES

1. CM#2:
Northing: 7057346.784 Ft.
Easting: 2569521.039 Ft.
Elevation: 550.238 Ft.

2. CM#3:
Northing: 7053976.538 Ft.
Easting: 2559122.001 Ft.
Elevation: 520.307 Ft.

Subject Tract lies within Zone "X" as scaled from F.I.R.M.
Panel 48085C0415J, Dated June 2, 2009.

Zone "X" - Areas determined to be outside the 0.2% annual chance floodplain.

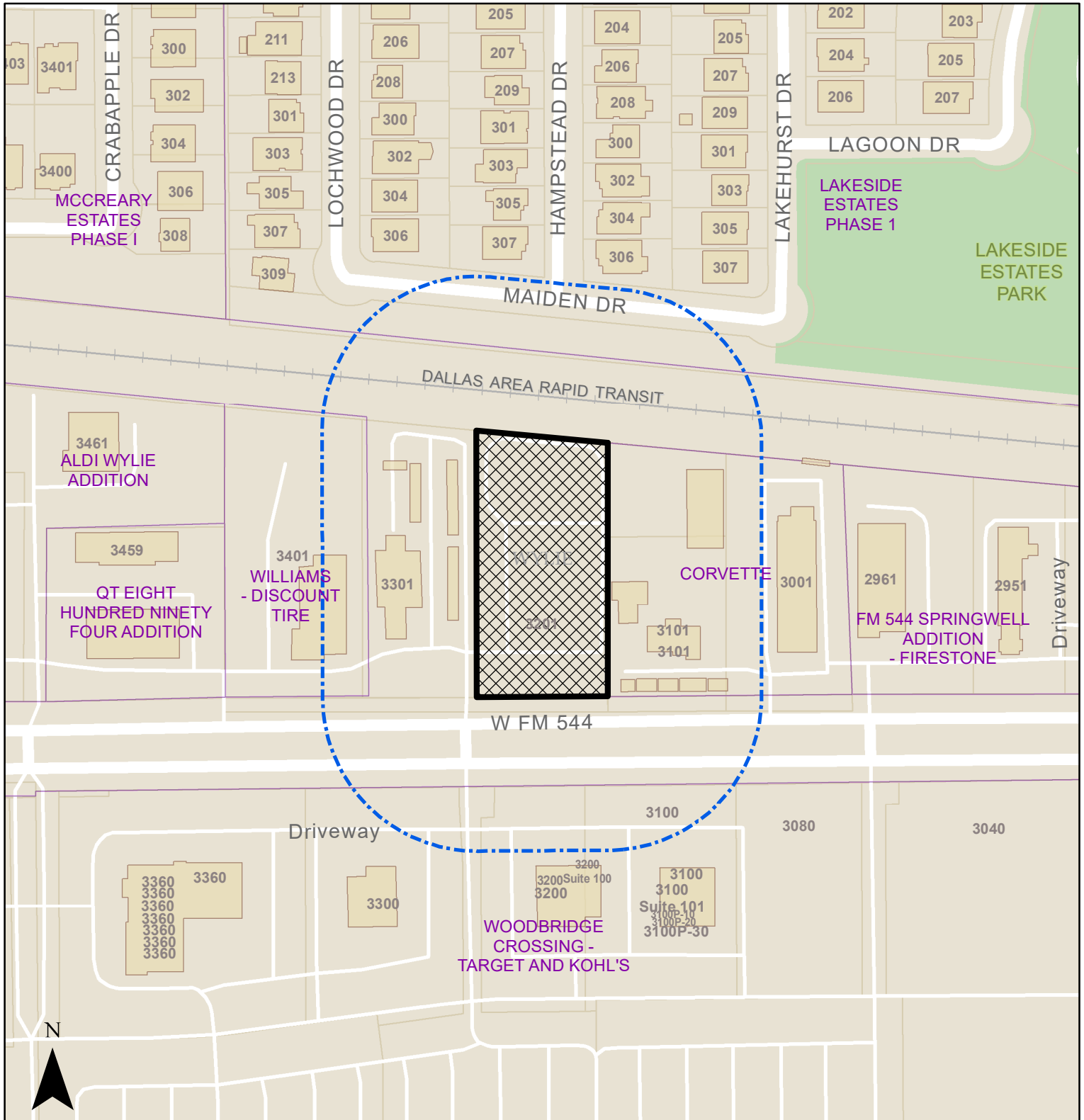
Location shown for all utility lines on this plan are approximate and extracted from the City & TxDOT, public information sources. Contractor shall verify the exact location before construction.

Participating Consultants:



GLOBAL CIVIL SOLUTIONS, LLC
11551 FOREST CENTRAL DRIVE
SUITE 220
DALLAS, TX 75243
F-12801

Notification Map



ZC 2022-03; Malik Plaza; 3201 W FM 544

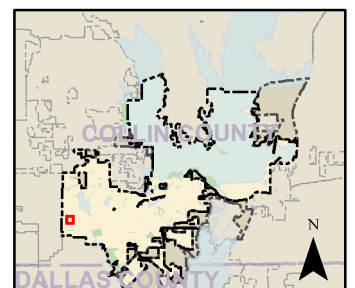


200 Foot Notification Buffer



Subject Property

0 85 170 340 510 680 Feet





Wylie City Council

AGENDA REPORT

Department: Planning
 Prepared By: Renae' Ollie

Account Code: _____

Subject

Hold a Public hearing to consider, and act upon, amendments to Zoning Ordinance No. 2015-09, Article 6, Section 6.3 Downtown Historic District.

Recommendation

Motion to approve Item as presented.

Discussion

At its October 28, 2021 meeting, the Historic Review Commission discussed at length the proposed updates to Article 6, Section 6.3 Downtown Historic District guidelines and regulations. Both the HRC and Planning and Zoning Commission have reviewed the updates and recommend the following amendments to the ordinance.

Primary changes include:

- Better define substantial renovations and routine maintenance (Sec C.2 & C.3)
- Included a section on the submittal process for landmarks (Sec. C.6)
- Demolition and Relocation section (Sec. E)
- Separated parking standards for residential and non-residential uses (Sec E.4.c & d)
- Accessory structures: eliminated placement of garages behind the rear edge of the main building. (Sec. E.4.b.iii)
- Removed the prohibition of vertical siding (Sec. E.5.f.iv)
- Signage: updated to allow no more than two uprights for pole signs. (Sec. 6.a.i)
- Added a definition for *Mural Signs*. (Sec. 6.l)

Financial Summary/Strategic Goals

Ties in with the City's mission statement: Honoring our past; Embracing our present; Planning our Future.



ARTICLE 6 SPECIAL PURPOSE AND OVERLAY DISTRICTS

SECTION 6.3 DOWNTOWN HISTORIC DISTRICT (DTH)

A. Purpose

Wylie's downtown has been identified by the Comprehensive Plan as a valuable resource worthy of preservation as a historic district. This district provides development and design standards that preserve the historic and architectural character of existing development, provides for adaptive reuse of existing buildings, and the compatibility of new structures and uses with the historic nature of downtown.

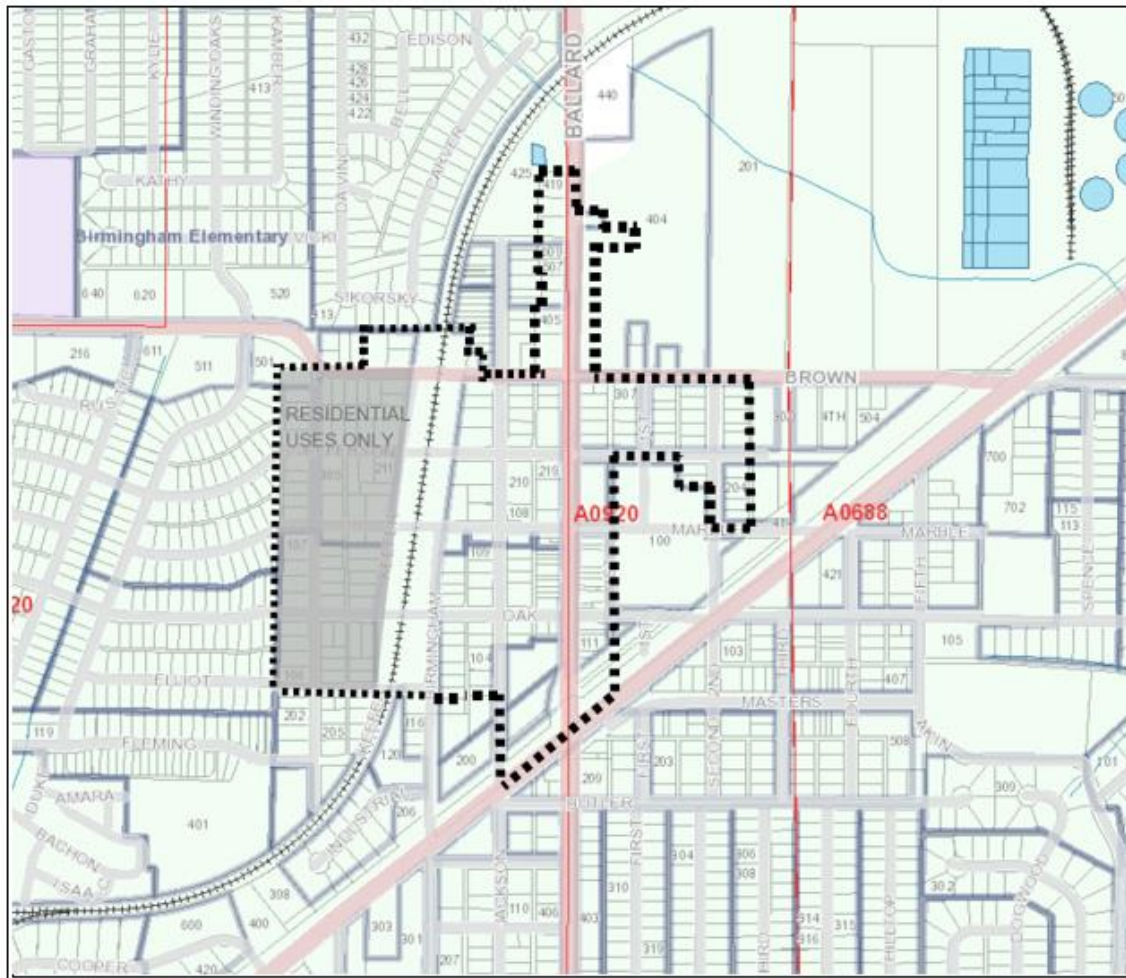
A contributing building and/or structure is one which retains a high degree of architectural integrity that adds to the overall historic character of the district, and was built during the period of significance for the district, generally more than 50 years ago.

A non-contributing building and/or structure means a building not contributing to the historic significance of the district and does not add to the district's sense of time and place, and historical development; or one where the location, design, setting, materials, workmanship, feeling, and association have been so altered or have so deteriorated that the overall integrity of the building has been irretrievably lost. Generally, less than 50 years old.

B. District Boundaries

1. The Downtown Historic District (DTH) is generally bounded by State Highway 78 on the south, Cottonbelt Avenue on the west, from Elliot Street to Brown Street, and including property north of Brown Street on Keefer, and to the eastern property line of those lots facing west on Second Street from Brown Street to the north and Marble Street to the south, and those properties north of Brown Street along Ballard Avenue facing east and continuing north to Tract 4 of the Samuel B. Shelby Abstract and approximately 100 feet of frontage of those lots facing west and continuing north parallel to Ballard Avenue and encompassing all of Block 1, Lot 5 of the Russell #01 Addition and Block 1, Tract 49 of the James Truett Abstract.
2. The precise boundaries of the Downtown Historic District shall be shown on the official zoning map of the City of Wylie. The boundaries of the Downtown Historic District may be amended from time to time based on a request from area property owners, a request of the staff, the Commission, or at the pleasure of the Council. In considering a request for a change in district boundaries, the Council shall require:
 - a. Any additions to the district shall be contiguous to the existing boundaries of the district;

- b. Any reductions in the district shall be located on the edge of the district such that a hole is not left inside the district; and
- c. If requested by a property owner, a petition shall be presented showing owners of more than 50 percent of the land within the district, excluding streets, and owners of more than 50 percent of the building sites in the district are in support of the requested change in boundaries.



C. General Provisions

1. Site plan and design review submitted to the Planning Department is required for new construction and substantial renovation of existing buildings within the Downtown Historic District. All demolition request and work for contributing buildings and/or structures that do not qualify as routine maintenance must be reviewed by the Historic Review Commission



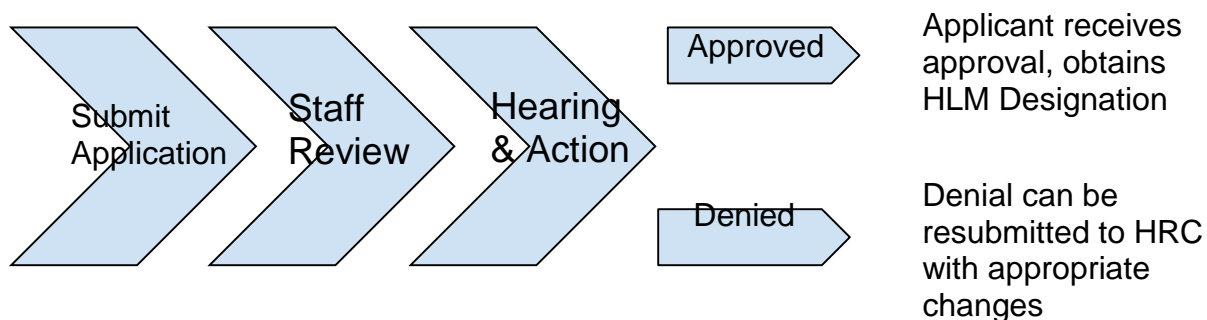
ZONING ORDINANCE

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- a. Historic Review Commission (HRC) shall be appointed by the City Council and shall consist of seven (7) members in accordance with Ordinance 2013-17, and as amended.
 - b. The HRC will be responsible for reviewing and recommending an action to the Planning and Zoning Commission and/or the City Council for proposed new construction or substantial renovation, revisions to the ordinance, and planning efforts to fulfill the purpose of the Downtown Historic Ordinance and to consider future amendments and long range goals of the District.
 - c. Submission of Plans. A completed application shall be submitted with a fee, accompanied by the following, and any other necessary documents required by the Planning Department.
 - i. Site Plan showing existing and proposed structures and improvements
 - ii. Interior floor plan showing all spaces, doors and windows
 - iii. Exterior elevations including
 - 1. Existing & proposed changes
 - 2. Doors & windows
 - 3. Architectural features
 - 4. Trim details
 - 5. Material details
 - iv. Roof Plan
 - v. Accessory Structures
 - vi. Sections (for additions)
2. Substantial renovations as listed below require review by the HRC and City Council:
- a. Alterations to the exterior of existing buildings that change the placement or design of windows, doors or other exterior features of the building such as coping or pilasters;
 - b. An increase in the floor area of the building greater than 10 percent.
 - c. Adding new exterior building materials that do not match the existing materials.
 - d. Interior renovation of existing buildings that alter the exterior appearance of the building (e.g., a drop ceiling that covers part of an existing window)
3. Common routine maintenance items as listed below may be reviewed at staff level.
- a. Installation of an awning located on an accessory building, or on the rear facade of a main building.
 - b. Shingle replacement that does not include a change in color or style.
 - c. Siding replacement that meets the requirements of this ordinance.
 - d. Application of paint that is the same color as the existing or that is an appropriate dominant, trim, or accent color and part of an historic color palette.
 - e. The process of cleaning (including but not limited to low-pressure water-blasting and stripping, but excluding sandblasting and high-pressure water blasting).
 - f. Painting, replacing, duplicating or stabilizing deteriorated or damaged architectural features (including but not limited to roofing, windows, columns, and siding) in order to maintain the structure and to slow deterioration.
 - g. Interior renovation of existing buildings that do not alter the exterior appearance of the building.
-



ZONING ORDINANCE

4. Physical properties of an existing building such as setbacks, foot prints, height, or other similar characteristics that cannot be altered without substantial hardship are not required to meet the development or design standards within this article. All other provisions shall apply.
5. All new development shall comply with the Site Design Standards included in Subsection 4, and the Architectural Standards in Subsection 5.
6. Submission of Plans for Landmark Designation shall be delivered to the City of Wylie Planning Department, a minimum of 30 days prior to the meeting date set for the Historic Review Commission
 - a. Required Documentation:
 - i. Completed application on forms provided by the City of Wylie with applicable fees
 - ii. Stated criteria met in accordance with Article II Landmarks, Section 58.23 of the Code of Ordinances, as amended
 - iii. Documented history of the structure, complete with photos
 - b. Review Criteria
 - i. Staff prepares a written report documenting the historical facts of the property and stating any impact that the owner may have with a historic landmark designation on the owner's property.
 - ii. Staff will present the completed application for consideration by the Historic Review Commission.
 - iii. The Commission will make a recommendation to the City Council. Designation of city landmarks will be made by a three-fourths vote of the city council in accordance with Local Government Code 211, Section 211.0165, as amended.

**D. Permitted Uses**

1. The Downtown Historic District may contain any combination of uses shown in the Use Chart in Article 5, Section 5.1.
2. Within the Downtown Historic District there are both residential and nonresidential uses which may be located in either residential structures or commercial structures. To maintain the architectural and historic character of existing blocks where one type of structure predominates, the following regulations shall apply.



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- a. Residential uses may be in residential structures or commercial structures. Residential uses in commercial structures are only allowed if they occupy less than 40 percent of the floor area of the building; and do not occupy the area adjacent to the street front.
- b. Nonresidential uses may be in residential or commercial structures. Nonresidential uses in residential structures must be in those blocks where existing residential structures predominate.
- c. In block faces within the District that are currently developed with residential structures, new construction shall be of historic design. Either residential or nonresidential uses may be located in the residential structures.
- d. In block faces within the Downtown Historic District that are currently developed with commercial structures, new construction shall be of historic design.
- e. Only residential uses are permitted for those lots along Cotton Belt Avenue, and along Keefer Street from Elliot Street on the south to Brown Street on the north, as depicted in Figure 6.1 and on the official zoning map of the City of Wylie.

E. Downtown Historic District Development and Design Standards and Guidelines

1. All properties must meet requirements provided in this section for Site Design, and Architectural Standards.
 2. **Purpose of Downtown Historic District Design Standards.** The purpose of these design standards is to ensure the preservation of the historic and architectural qualities which make the Downtown Historic District a unique place by permitting new development compatible with existing historic buildings and by maintaining the historic and architectural qualities of existing buildings.
 - a. Site Design Standards. The purpose of the Site Design Standards is to provide for building and parking placement compatible with existing development.
 - b. Architectural Standards. The purpose of the Architectural Standards is to provide for the preservation of existing historic and architectural qualities of Downtown Wylie, ensure new construction is compatible with these qualities, and to protect and promote the uniqueness of downtown as a commercial area.
 - c. Encourage the retention of original architectural elements:
 - i. Wood Windows
 - ii. Wood Doors
 - iii. Columns
 - iv. Chimneys
 - v. Porches
 - vi. Trim
 - d. Discourage:
 - i. Painting original brick that has never been painted
 - ii. The removal or replacement of original windows and doors
 - iii. The enclosure of porches
 - iv. The use of cementitious fiber board products except along ground
-



v. The use of vinyl windows

3. Standards and Guidelines for Demolitions and Relocation.

a. DEMOLITION

Prior to Demolition of a structure, a letter from a structural engineer is required. Each request for demolition shall be considered on a case by case basis for contributing structures.

Demolition of a structure will NOT be allowed if any of the items below are met:

1. A structure is of architectural or historical interest and/or value or its removal would be detrimental to the public interest, or
2. The building contributes significantly to the character of the historic district and demolition would create a detrimental view or adversely affect the existing buildings on the block, or
3. A structure is contributing or unusual or uncommon design and materials and it could not be reproduced without great difficulty and/or expense, or
4. If its proposed replacement would not make a positive visual contribution, would disrupt the character or be visually incompatible within the historic district.

Demolition of a structure MAY be allowed if any of the following criteria is met:

1. The building has lost its architectural and historical integrity and importance and its removal will not result in a negative, less appropriate visual effect on the historic district, or
2. The structure does not contribute to the historical or architectural character and importance of the historic district (e.g. a noncontributing structure), and its removal will result in a positive, appropriate visual effect in the district.

b. RELOCATION

A building may only be moved from one site to another site within the historic district under the following conditions:

1. The building is seriously threatened in its original location,
2. The integrity and structural soundness of the building will be maintained,
3. The building will be compatible with the overall character, visual appearance and site orientation of existing buildings on the block at the new location, and



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4. The removal of the building from its original site will not create a detrimental view or loss of integrity on its immediate block.

A building may be moved from a site outside of the historic district to a site within the historic district under the following conditions:

1. The integrity and structural soundness of the building will be maintained,
2. The building will be compatible with the overall character, visual appearance, and site orientation of existing buildings on the block at the new location, and
3. Any proposed replacement at the original site will result in a more positive visual effect on its immediate block.
4. Any relocated building moved into the historic district shall be rehabilitated and/or repaired in accordance with the applicable sections of these guidelines so as to retain the original character, architectural details, design, and materials of the structure.

4. Site Design Standards

a. Building Placement - Commercial Structures

- i. Buildings shall be placed on the front property line. Buildings may be moved back from the front property line a total of four feet to provide for wider sidewalks and entries, if: The building takes up an entire block face; or is located on a corner; or has a total frontage of more than 50 percent of the block face.
- ii. New commercial structures shall be allowed only in block faces which are predominantly developed with existing commercial structures, or are predominately vacant land.
- iii. Buildings shall be placed on the side property line. Buildings may be moved back from the side property line a total of four feet to provide for wider sidewalks and entries when the side property line is along a street.
- iv. Buildings that go through a block so that they have frontage on two parallel streets, shall treat each frontage as a main façade.
- v. New commercial structures shall construct at least a six (6) foot wide sidewalk.

b. Building Placement - Residential Structures

- i. New single-family residential structures are only allowed in blocks which are predominantly developed with existing residential structures.
- ii. Residential structures shall conform with the front yard, side yard and rear yard setbacks of existing residential buildings on the block face. Front yard and rear yard setbacks will be deemed to be in conformity if they are within five feet of the average of the existing setback on either side of the new construction. Side yard setbacks shall be no closer than the side yard setback adjacent to the new



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construction or 20 feet whichever is less. On corner lots, side yards shall be treated as front yards and shall be the same as that required for the primary front yard.

- iii Accessory structures such as garages, sheds, greenhouses etc. shall be located in a separate structure from the main building, and be visually compatible with the main building and,
 - 1. Shall not extend beyond a platted side or rear building line adjacent to a street. If no building line exists adjacent to a street on an approved plat, the accessory structure shall not be located closer than ten (10) feet from the side or rear property line.
 - 2. Shall not be located closer than five (5) feet to the side property line when the accessory structure is located behind the main building.
 - 3. When the accessory structure is located in the side yard, the setback for the accessory structure will be the same as the setback requirement for the main building.
 - 4. No accessory structure shall be located within the front yard setback.
- iv New residential structures shall construct at least a six (6) foot wide sidewalk.

c. Parking for Nonresidential Uses

- i Onsite surface parking shall generally not be placed in the required front yard and shall generally be separated from public streets by the building which it serves. Exceptions to this requirement include:
 - a. A lot that is used entirely for surface parking with no listed use in accordance with Section 5.2.
 - b. Surface parking on corner lots or lots with frontage on 2 or more public streets shall comply with the above parking requirements along at least one street frontage.
 - c. Where onsite surface parking is constructed to serve existing buildings or additions to existing buildings, the above parking requirements shall not apply.
- ii Existing nonresidential uses may be renovated, reconstructed, and expanded up to 10 percent of their original floor area without having to comply with these parking standards.
- iii Commercial Uses over 4,000 square feet will be required to provide off-street parking under the following standards:
 - 1 A minimum of 50% of all required parking, in accordance with Article 5 Use Charts of this Ordinance, shall be located on site as required by specified use. All on-site parking shall be placed a minimum of 10 feet behind the front façade of the building with a landscape buffer provided.
 - 2 Alternative materials for driveways and parking spaces may include pavestones, grasspavers or other materials, subject to approval of the City Engineer.



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- 3 Up to 25 percent of the required parking can be provided by on-street parking in front or to the side of the building with approval of the City Engineer.
 - 4 The remainder of the required parking can be provided by off-site parking facilities within 1,000 feet of the site with approval of the property owner.
 - 5 Upon a finding that a parking reduction is necessary to preserve historic buildings and maintain the design integrity of the Downtown Historic District, the Commission may grant parking variances up to a maximum of 75 percent of the required parking.
- iv Off-street parking lots with over 20 spaces are required to have landscaping and lighting that meets the standards for other nonresidential developments. (Article 4, Section 4.3)

d. Parking for Residential Uses

- i Parking for residential use shall be on site and shall provide a minimum of two parking spaces.
- ii Alternative materials for driveways and parking spaces may include pavestones, grasspavers or other materials, subject to approval of the City Engineer.

5. Architectural Design Standards**a. Street Facade – Commercial Structures**

- i. Primary street facades for nonresidential buildings in the Downtown Historic District shall have the following basic features of existing historic buildings:
 1. Cornice at top of facade;
 2. Display windows with transom windows above and lower window panels below.
 3. Pilasters that divide the facade vertically and separate the display windows units into discrete visual elements.
 4. Second floor windows, recessed with multiple lights, lintels, and sills.
- ii. Architectural elements such as doors, windows, awnings, canopies and architectural details shall be compatible with the overall visual qualities existing within the historic buildings downtown. Maintain as much of the original basic façade as possible. The basic façade consists of three parts: the storefront, with large display windows and transom; the upper façade, with large regularly spaced windows; and the decorative cornice.
- iii. Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme existing within downtown and appropriate for the historic and architectural character of the commercial structure. (Sherwin Williams Preservation Palette, Valspar Historic Color Palette or equal would be an approved color palette)
- iv. In addition to the above, all commercial structures shall have at least two of the following desirable design features as appropriate:
 1. Street facades on side streets that meet the requirement for primary facades; or

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2. Buildings on corners which create a diagonal corner cut with the entrance on the corner; or
3. Pediments added to the top of the facade; or
4. Decorative brickwork and architectural detailing on or around the cornice, fascia, pilasters, or around windows; or
5. Use of natural wooden doors with glass windows; or
6. Projecting canopies and or awnings placed over the ground floor windows and doors

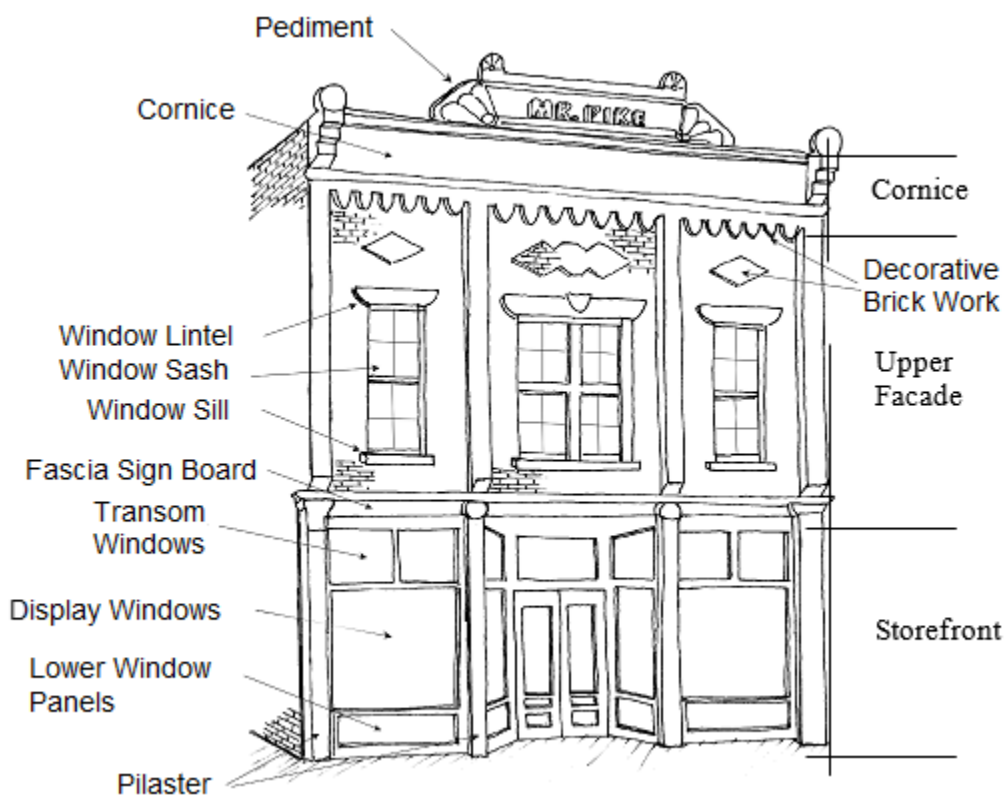


FIGURE 6-2 TYPICAL FEATURES OF COMMERCIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT

b. Street Facade – Residential Structures

- i. Residential structures within the Downtown Historic District shall have identifiable features appropriate to the architectural style of the building. These features may include the following:
 1. Covered porches integrated into the front facade of the main structure;
 2. Multiplicity of roof forms;
 3. Columns and railings defining porch;
 4. Windows with multiple lights;

5. High pitch roof lines; and
 6. Architectural detailing of gables, window and door casings, eave lines, and foundations.
- ii. Residential structures shall face the main street
 - iii. Residential structures that have a room projecting from the primary line of the front facade shall have a covered porch across the inset portion of the facade.
 - iv. Residential structures which do not have any projecting rooms shall have a covered porch across at least two thirds of the width of the facade.
 - v. Porches on residential structures shall be covered with a roof that is integral to the main roof of the structure, or covered with a roof that is a substantial architectural element integral to the design of the front facade.
 - vi. Porches shall have columns and railings around the edge of the porch except for the entrance steps.
 - vii. Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme appropriate for the architectural style of the residential structure. (Sherwin Williams Preservation Palette, Valspar Historic Color Palette or equal would be an approved color palette)
 - viii. In addition to the above all residential structures shall have at least two of the following desirable design features as appropriate:

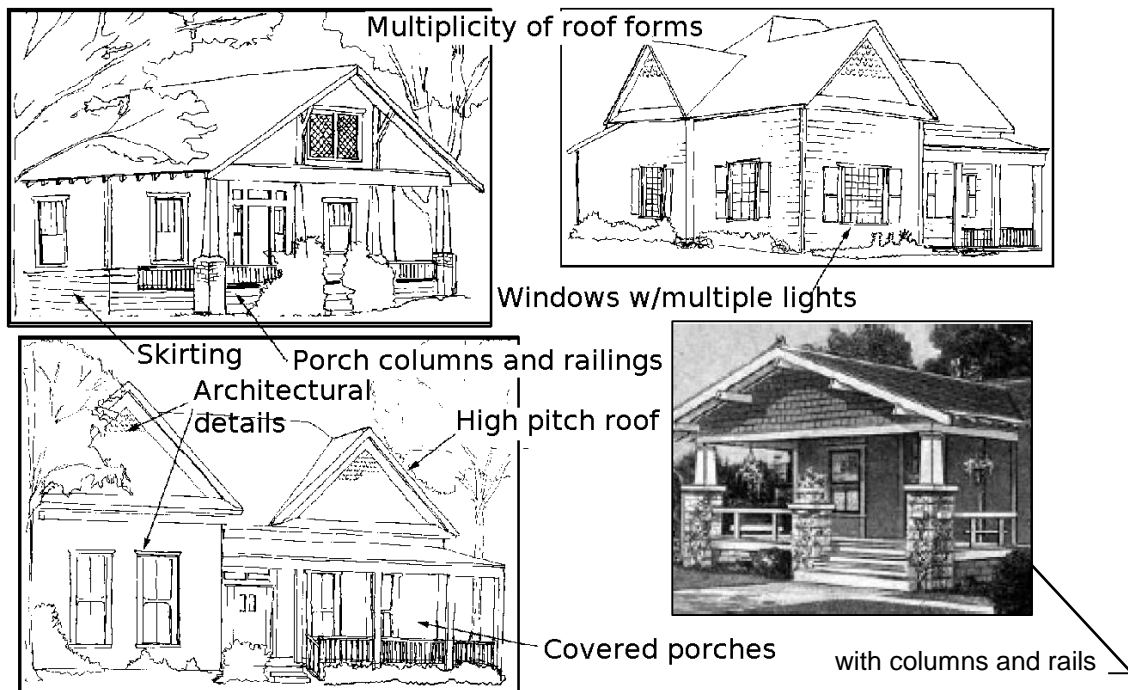


FIGURE 6-3 TYPICAL FEATURES OF RESIDENTIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT



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1. Use of skirting along the base of the building, in a manner appropriate to the architectural design of the building; Skirting materials shall be durable, suitable for exterior exposure, and installed in accordance with the manufacturer's installation instructions. Skirting shall be secured as necessary to ensure stability, to minimize vibrations, or minimize susceptibility to wind damage; or
2. Use of foundation plantings to soften and conceal the foundation; or
3. Use of architectural detailing appropriate to the architectural style of the building. Architectural detailing includes but is not limited to elements such as carving in porch rails, turned stiles, use of ornamentation around windows, doors, eave lines, porches, and decorative windows and materials within gables.

c. Building Proportions – Commercial Structures

- i. New construction height, width and massing should be consistent with the scale of adjacent contributing structures.
- ii. Traditional patterns should be incorporated into new construction whenever possible.
- iii. The ground floor facade shall have at least 45 percent of its area in transparent windows, or doors. The second floor facade shall have at least 20 percent of its area in windows. The area of windows includes any mullions framing individual lights within the window frame.
- iv. The building height shall not exceed forty-five (45') feet at the highest point for architectural elements including but not limited to turrets, pinnacles and pediments.

d. Building Proportions – Residential Structures

- i. New residential structures within the Downtown Historic District should respect building heights in accordance with period specific design.
- ii. The building height shall not exceed forty-five (45') feet including architectural elements.

e. Building Materials - Commercial Structures

The base facade materials for commercial structures within the Downtown Historic District shall be brick or stone. Architectural details, trim, window or door framing may be wood, stone, cast stone, cast iron, or other materials compatible with the historic and architectural character of the Downtown Historic District.

f. Building Materials – Residential Structures

- i. The primary exterior material for residential structures within the Downtown Historic District shall be wood siding and/or composite masonry materials having a wood pattern.
- ii. The width of the siding shall be between four and five inches in width.
- iii. Renovation to existing residential structures should use materials which are compatible with the existing residential structure. Adherence to these material standards are encouraged where appropriate and/or possible.

- iv. All development is defined by the base, middle and roof elements with particular attention to the front façade as this is the section that defines the character of the streetscape for the DTH. See Figure 6-4.



FIGURE 6-4 EXPRESSION OF BASE, MIDDLE AND ROOF ELEMENTS

g. Fencing – Commercial Structures

Any fencing for commercial structures within the Downtown Historic District shall be in the rear of the building.

h. Fencing – Residential Structures

- i. Fencing placed in the front of the residential structure shall be limited as follows:
 - a. Height not to exceed 3 feet;
 - b. At least 50 percent of the surface area of the fence shall be open and transparent;
 - c. Made from wood or wrought iron. Masonry or brick may be used for columns with wood or wrought iron fence panels;
 - d. Have the posts and rails facing the inside of the fence.
- ii. Fences placed in the side or rear yard shall be permitted to a height of 8 feet maximum and shall be constructed of wood or wrought iron. Masonry or brick may be used for columns with wood or wrought iron fence panels. All fences placed in front of the residential building shall be decorative in design.

6. Signs

Purpose: All signs in this section are applicable to the Downtown Historic District only and are not appropriate to any other zoning district. The purpose of this section is to ensure that the area, material, and placement of new signs and alterations made to existing signs



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are appropriate to the architectural design of the building and the district, and that signs do not visually obscure significant architectural features of a building or the district in general.

a. General Provisions:

- (i) Pole sign means any sign erected on a vertical framework consisting of no more than two uprights supported by the ground and where there is a physical separation between the base of the sign and the ground.
- (ii) Signs shall be constructed of materials that are not subject to deterioration when exposed to the weather. Internally illuminated signs must be constructed of non-combustible material or approved plastics.
- (iii) New signs should respect the size, scale and design of the historic building.
- (iv) New signs should not obscure significant features of the historic building.
- (v) No sign permitted under the regulations of this section shall be installed without first obtaining zoning clearance and a sign permit.

b. Signs for Residential Structures

- i The sign area of any one face shall not exceed sixteen (16) square feet in area. The sign area of a pole sign shall not comprise more than seventy percent (70%) of the entire sign structure.
- ii The maximum height of a pole sign structure shall be six (6) feet when no lighting is included. The maximum height of a pole sign structure shall be eight (8) feet when a globe type light is included.
- iii Logos and symbols may be illuminated or backlit by fluorescent fixtures. The use of indirect lighting is also allowed.
- iv The use of a fluorescent color on a sign is prohibited.
- v No more than one pole sign may be displayed on a premise at any given time.
- vi The sign may be placed adjacent to the public right-of-way, provided it does not encroach on the sight visibility triangle and is a minimum of six feet from the outside face of curb.
- vii Single acorn type luminaires, flutes, moldings or other traditional details are strongly preferred. See Figure 6-5.



FIGURE 6-5 TYPICAL POLE SIGN FEATURES FOR RESIDENTIAL

c. Signs for Commercial Structures

- i The size of the sign shall be in proportion to the building and the neighboring structures and signs.
- ii The total maximum allowable sign area for each building face is one square foot per one linear foot of a single tenant, not to exceed 70 square feet, whichever is less.
- iii The total maximum allowable sign area for each building face is one square foot per one and one-half (1-1/2) linear foot of a multi-tenant building, not to exceed 100 square feet whichever is less.
- iv Signs shall be mounted or erected so they do not obscure the architectural features or openings of a building.
- v No sign or portion of a sign shall extend above the cornice line at the top of the building face. Roof top signs are prohibited.
- vi For buildings without a recognizable style, the sign shall adopt the decorative features of the building, utilizing the same materials and colors.
- vii The structural materials of the sign should match the historic materials of the building. Wood, metal, stucco, stone or brick, is allowed. Plastic, vinyl or similar materials are prohibited. Neon, resin to give the appearance of wood, and fabric may be used as appropriate.
- viii Attached signs may only be illuminated utilizing internal lighting. Exterior letters with exposed neon lighting are allowed.

d. Window Signs

Window signs do not require a permit or a permit fee. Window Signs must meet the following regulations:



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-
- i. Window Signs must not obscure more than 20 percent of the window area per façade.
 - ii. No illuminated Window Signs shall be allowed where it creates an unduly distracting and hazardous condition to motorist, pedestrian or the general public.
- e. Awning Signs**
- i. An Awning may extend the full length of the wall of the building to which it is attached and shall solely be supported by the exterior wall of the building. The awning sign shall be no more than six feet (6') in height and shall not be placed less than eight feet (8') above the sidewalk.
 - ii. The artwork or copy for an Awning Sign shall not exceed twenty percent (20%) of the area of the Awning and shall extend for no more than sixty percent (60%) of the length of the Awning.
- f. Projecting Signs**
- i. Signs shall be constructed of noncombustible material.
 - ii. Signs shall not project more than three feet (3'), measured from the building face and shall not be closer than two feet (2') from the back of the curb line.
 - iii. Bottom of the sign shall be at least 8 feet above the sidewalk.
 - iv. Signs shall be compatible in design, shape, and material with the architectural and historic character of the building.
 - v. Signs shall not exceed sixteen (16) square feet per sign face.
- g. Canopy Signs**
- i. A Canopy Sign is a permanent structure that is supported by the building or by a support extending to the ground directly under the canopy. The Canopy Sign may be attached to, or be an integral part of the face of a canopy.
 - ii. The artwork or copy on a Canopy Sign shall not exceed ten percent of the face of the canopy, or a maximum of twenty-five (25) square feet, whichever is greater.
 - iii. An illuminated stripe may be incorporated into a canopy. The stripe may extend along the entire length of the face of the canopy. The width or thickness of the stripe shall be limited to one-third of the vertical dimension of the face of the canopy. The internal illumination of a canopy is limited to the portions of the canopy face on which a sign or stripe is permitted.
- h. Special Events Banner Signs**
- i. A Special Event Banner sign is composed of cloth, plastic, canvas or other light fabric.
 - ii. Only banners promoting or supporting local community events will be permitted over public right-of-ways.
 - iii. An application to place a banner over a public right-of-way shall be submitted to the Building Inspections Department at least 10 days before the date to be installed.
 - iv. The City of Wylie may erect and remove banners over public right-of-way. Banners may only be installed at locations approved by the City.
-



ZONING ORDINANCE

- v The maximum banner size allowed is 4 x 36 feet, unless extended over the public right-of-way. Banners must be in good repair at all times.
- vi The banner may remain a maximum of fourteen (14) days. A maximum of two banners can be hung for each event with placement of the second banner provided as space allows. Only one banner will be hung at each location.
- vii When a banner over the public right-of-way is removed, the applicant is responsible for picking up the banner from the City of Wylie Service Center within ten (10) working days of the removal date. A late fee of \$50 will be charged for banners left after the ten (10) day period. Unclaimed banners will be disposed of 30-days after removal date.
- viii Banners not defined as Special Events Banners are regulated by the City's current Sign Ordinance and as amended.

i. A-Frame/Sandwich Board Signs

- (i) No more than one a-frame or sandwich board sign per business shall be allowed, and a minimum of four feet of clear sidewalk shall be maintained at all times. The sign shall be sufficiently weighted or anchored to prevent movement by wind or other elements.
 - (ii) No a-frame or sandwich board sign shall exceed eight square feet per face or four feet in height. The entire sign structure shall be calculated as the total of sign area.
 - (iii) Materials suggested for use for signs are finished hardwoods, or softwoods. Materials not allowed include, but are not limited to, fluorescent materials, paper or fluorescent paints.
- j. Encroachment into Public Right-of-Way.** Any sign that is located upon or overhangs a public right-of-way shall be approved by the Public Works Director or his/her designee on forms provided by the City of Wylie.

k. Exempt Incidental Signs. Small incidental signs can be installed along a business frontage without permit approval from the City. Incidental signs are commonly seen as menu boards, open signs, small window signs noting hours of operation, and small hanging signs. Incidental signs do not include other signs specifically listed within this ordinance. Although a permit is not required for these type signs, the following guidelines must be maintained.

- i No more than three (3) incidental signs per building entrance.
- ii Maximum area allowed is 3 sq. ft. each, with a total cumulative area not to exceed 7 sq. ft.;
- iii Incidental signs that project over or into a pedestrian right-of-way must be at least 7'-6" above the sidewalk;
- iv Cannot project beyond the awning;

v Cannot extend above the awning;



Figure 6-6 Exempt Incidental Signs

- l.** Mural Signs shall be reviewed and approved by the Building Official for compliance with the definition of a mural and other applicable local, state, and federal laws.
- m.** Signs denied by the Building Official shall be subject to review pursuant to Sec 22-443 (10) Variances of the city's Sign Ordinance, as amended.



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) on 21.85 acres generally located on the southwest corner of State Highway 78 and Wylie East Drive.

Recommendation

Motion to disapprove item as presented.

Discussion

OWNER: 78 Hooper LTD

APPLICANT: Lovett Industrial

The applicant is requesting to rezone 21.85 acres located on the south side of State Highway 78 between Wylie East Drive and Anson Parkway. The property is currently zoned Commercial Corridor. The applicant is requesting a Planned Development to allow for a combination of Light Industrial and Commercial uses.

The Planning and Zoning Commission tabled this item at the March 15, 2022 meeting to allow the applicant to address some concerns regarding the proposed development.

The amendments resulted in reducing the Light Industrial building to 272,000 sq. ft., increasing the commercial buildings to 37,000 sq. ft., adjusting the allowed uses, and eliminating commercial vehicle access to Wylie East Drive from the site.

The Planned Development establishes uses that are allowed by-right on the Industrial and Commercial lots separately. By right uses on the Industrial lot are:

- Industrial (Inside)
- Office Showroom/Warehouse
- Light Assembly and Fabrication
- Warehouse/Distribution Center
- Food Processing

By-right uses on the Commercial lots are:

- All by-right CC district uses
- Restaurant with or without drive thru
- Motor Vehicle Fueling Station

Uses that are not included in the Planned Development shall be prohibited.

The industrial property is to be developed with modified design standards of the Commercial Corridor zoning district. The modified design standards include allowing extended parking rows before a required landscaped island to 20, a parking ratio of 1:2000 sq. ft. of floor area, and 10% landscaping throughout the site as normally allowed in LI districts. Landscaping on

the site will be Texas native and drought resistant. Landscaping along the southern border will require a minimum of 30' trees placed 40' on center for approximately one large tree per residential yard for screening.

The development schedule provides for the timing of the industrial development, which if approved would be complete in late 2023.

The commercial lots will be developed within current zoning ordinance design standards.

A Traffic Impact Analysis (TIA) was completed by the developer's consultant for the entire site. The TIA indicated that the site will generate approximately 470 daily peak hour trips. With the addition of a northbound left-turn lane on Wylie East Drive, striping of northbound Anson Parkway at Hwy 78 to include a dedicated 500' left turn lane, and a decel lane off of SH 78, the TIA concludes that the current roadway network can handle the added development generated traffic.

City Engineering staff has added that the right turn from SH 78 to Anson needs to be evaluated to determine if turn radii can accommodate commercial truck traffic and that Anson, being a local collector, may not be designed to withstand repeated heavy commercial traffic.

The properties adjacent to the subject property are zoned commercial to the west, residential to the south, and Commercial Industrial to the north. The properties to the west and north are undeveloped however a PD, site plan, and plat for 2.5 million square feet of Light Industrial development has been approved for the northern property.

The subject property lies within the General Urban Sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to 52 property owners within 200 feet as required by state law. At the time of posting one response was received in favor and five responses opposed with three additional opposed responses from outside the notification area. Additionally, approximately 150 signatures were received on a petition expressing concerns regarding the development.

P&Z Commission Discussion

The Commissioners expressed concerns regarding the size of the light industrial building and the traffic it would generate. Public comments included concerns regarding the traffic, the size of the structure, the food processing use, overnight truck parking, amount of commercial vs. industrial, and potential noise.

The Commission voted 6-0 to recommend denial of the development.

Financial Summary/Strategic Goals

Planning Management

Locator Map



ZC 2022-05; Lovett 78 Logistics Center



Subject Property

0 200 400 800 1,200 1,600 Feet

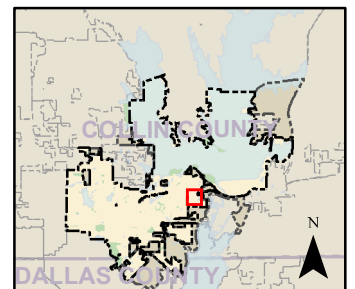


EXHIBIT "B"

CONDITIONS FOR PLANNED DEVELOPMENT

2022-PD-CC

I. PURPOSE:

This Planned Development District shall be established to provide warehousing, light industrial, light manufacturing, and commercial uses to support economic growth within the region.

II. GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. The development shall be in general conformance with Exhibit "A" (Zoning Exhibit) and Exhibit "C" (Development Schedule).

III. SPECIAL CONDITIONS:

1. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on Lot 1 the subject property:
 - a. Industrial (Inside)
 - b. Office Showroom/Warehouse
 - c. Light Assembly & Fabrication
 - d. Warehouse/Distribution Center
 - e. Food Processing
2. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on the subject property, but limited to the Proposed Retail Pad sites, as shown on the Zoning Exhibit:
 - a. Restaurant with or without Drive-in or Drive-through Service
 - b. Motor Vehicle Fueling Station
 - c. Other uses currently permitted by right under Corridor Commercial District zoning
 - d. Accessory uses to III.2.a-c
3. All other uses shall be prohibited on the subject property.
4. All commercial vehicles that utilize the site shall have access to Anson Parkway as generally depicted on the Zoning Exhibit.

5. Design criteria shall be in conformance with Commercial Corridor Architectural Design Requirements of the April 2021 zoning ordinance.
6. All fixed lighting, interior and exterior shall be Light Emitting Diode (LED).
7. Prior to development, approved plats and site plans shall be required.
8. The entire subject property shall be in conformance with all regulations of the Commercial Corridor Zoning District set forth in, Section 4.3, and Section 5.2 of the current Zoning Ordinance in every respect with exception to the uses indicated in Section III.1, III.2, and III.3 above, and Section III.10 below.
9. For Lot 1 (Industrial) only all regulations of Section 4.3 (Design Standards), Figures 4-7, 4-8, and 4-9 and their associated definitions set forth in the Comprehensive Zoning Ordinance (adopted as of April 2021) are hereby replaced with the following:

Figure 4-7 Site Design Requirements

ELEMENT	BASE STANDARD (All Development Must Comply Fully with All Listed Below)
Building Placement	1. Entrances and/or facades oriented to the street
Parking Placement	1. Parking spaces at least 25' from residential lot line 2. Pedestrian parking ratio of 1 per 2,000 GFA (gross floor area)
Access Drives	1. Minimum width drive of 24', turning radius of 28' 2. Access drive at least 150' from intersection 3. Landscaped treatments of entrances
Location of Service and Loading Areas	1. Shall be individually screened from view from a public street. Screening will be achieved by a combination of landscaping, berms, wing walls and

building orientation as illustrated in the Zoning Exhibits.

Figure 4-8 Landscaping Design Requirements

ELEMENT	BASE STANDARD (All Development Must Comply Fully with All Listed Below)
Site wide landscaping	<ol style="list-style-type: none"> 1. All landscape plantings excepting those immediately adjacent to structures shall be native to Texas and drought resistant species to the extent possible.
Landscaping of Parking Lots	<ol style="list-style-type: none"> 1. Site plans requiring more than 12 spaces required to have 50 sq.ft. of landscaping per space. 2. No parking space further than 60' from landscaped area on site. 3. Parking rows 20 spaces or longer shall have landscaped island at the end. 4. All parking rows shall have landscaped areas at least every 20 spaces.
Visual Screening	<ol style="list-style-type: none"> 1. Required screening in strip at least 5' wide, plants 3' in height when planted, included one flowering tree every 50 linear feet of area. This requirement will apply only to loading areas within the development. 2. Required screening along the southern boundary of the property includes a wall, utilizing complementary materials and elements, and landscaping, as shown on the Zoning Exhibits. Landscape plans call for 30' high trees, planted 40' OC.
Landscaping of Street Frontages	<ol style="list-style-type: none"> 1. At least 50% of required front yard developed as landscaped buffer, at least 10' in width. 2. Trees required in buffer, in groves or belts on 30-40' spacing. 3. Required trees at least 3" in caliper. 4. At least 5' concrete walkway on perimeter when adjacent to thoroughfare.

Figure 4-9 Architectural Design Requirements

ELEMENT BASE STANDARD

(All Development Must Comply Fully with All Listed Below)

Building Materials

- 1. Allowed uses from Section III.2 shall have buildings constructed of masonry product with at least 20% stone on front façade. Tilt wall construction shall be permissible for Buildings on Lot 1.
- 2. Roofs with pitch greater than 2:12 use specified roofing materials.
- 3. Buildings shall provide consistent architectural styles and details, design themes, building materials, and colors throughout the development.

Building Articulation, Form and Massing

- 1. Walls not to exceed a height width ratio of 1 to 2 with variation in massing of facade. At least 20% of facade offset at least 4’.
- 2. Entrances must be emphasized with architectural elements.
- 3. Ground floor facades require specified features along 60% of length.

10. All regulations of the Commercial Corridor District (CC) set forth in Article 4, Section 4.1, 2 of the Comprehensive Zoning Ordinance (adopted as of April 2021) are hereby replaced with the following:

Figure 4-3 – Commercial Corridor (CC)

Height	
Height of Main Structure (feet)	50
Number of Stories	4

Residential Proximity

3: 1 slope from residential lot line

Building Placement and Coverage

Front Yard Setback (feet)	25
Side Yard Setback (feet)	10
Rear Yard Setback (feet)	10
Building Coverage	50 %

Buffering and Screening

Service and Loading Areas	<p>Shall be individually screened from view from a public street.</p> <p>Screening will be achieved by a combination of landscaping, wing walls, berms and building orientation as illustrated in the Zoning Exhibits.</p>
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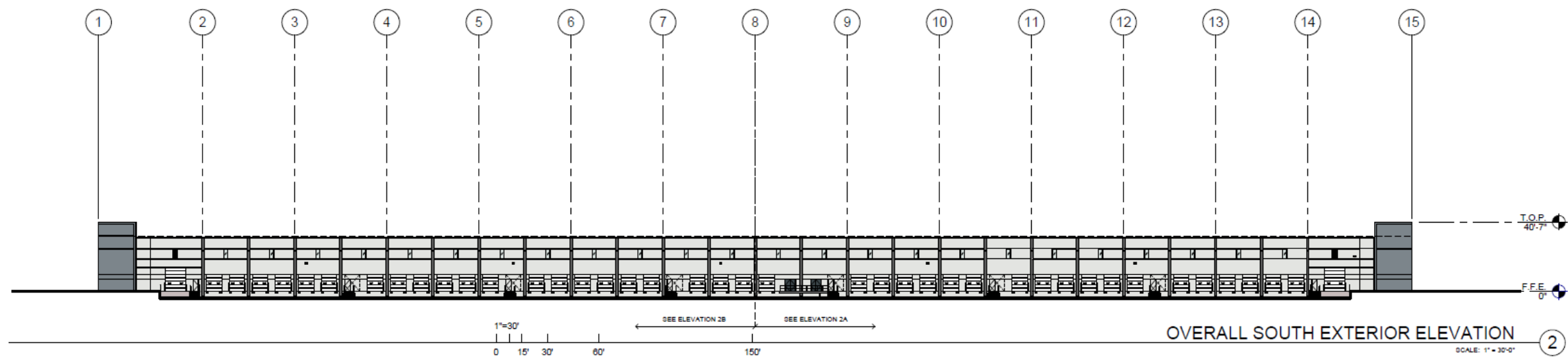
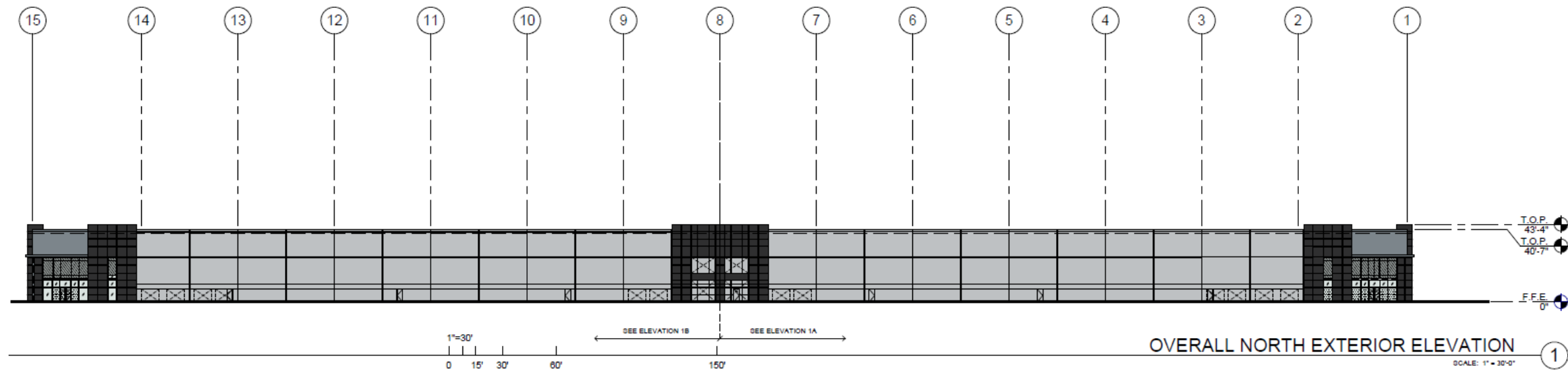
Lovett Logistics Planned Development Schedule

- Site planning complete – Q1 2022
- PD and site plan submittal – Q1 2022
- TIA & Updated ALTA Survey – Q1 2022
- Preliminary Geotech Report & Phase 1 ESA – Q2 2022
- PD approval at City Council – Q2 2022
- Close on land – Q2 2022
- Full design release – Q2 2022
- Pricing/permit architectural set – Q2 2022
- On-site & off-site construction documents complete – 3Q 2022
- Approval of civil plans – 3Q 2022
- Building permits – 3Q 2022
- Construction commencement – 3Q 2022
- Construction completion – 3Q 2023

**Timing of milestones for retail pads is pending leasing*



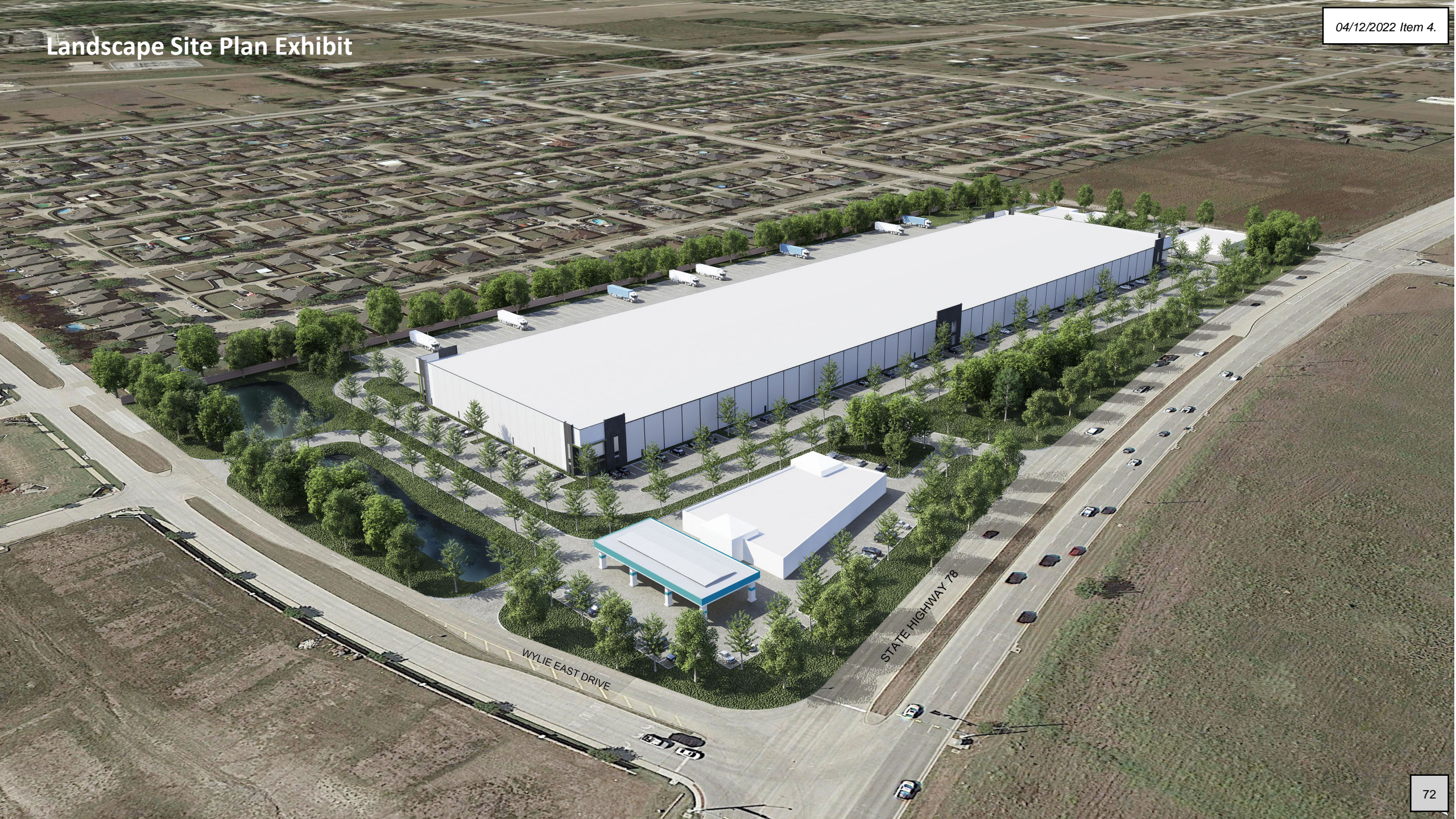
Representative Elevations



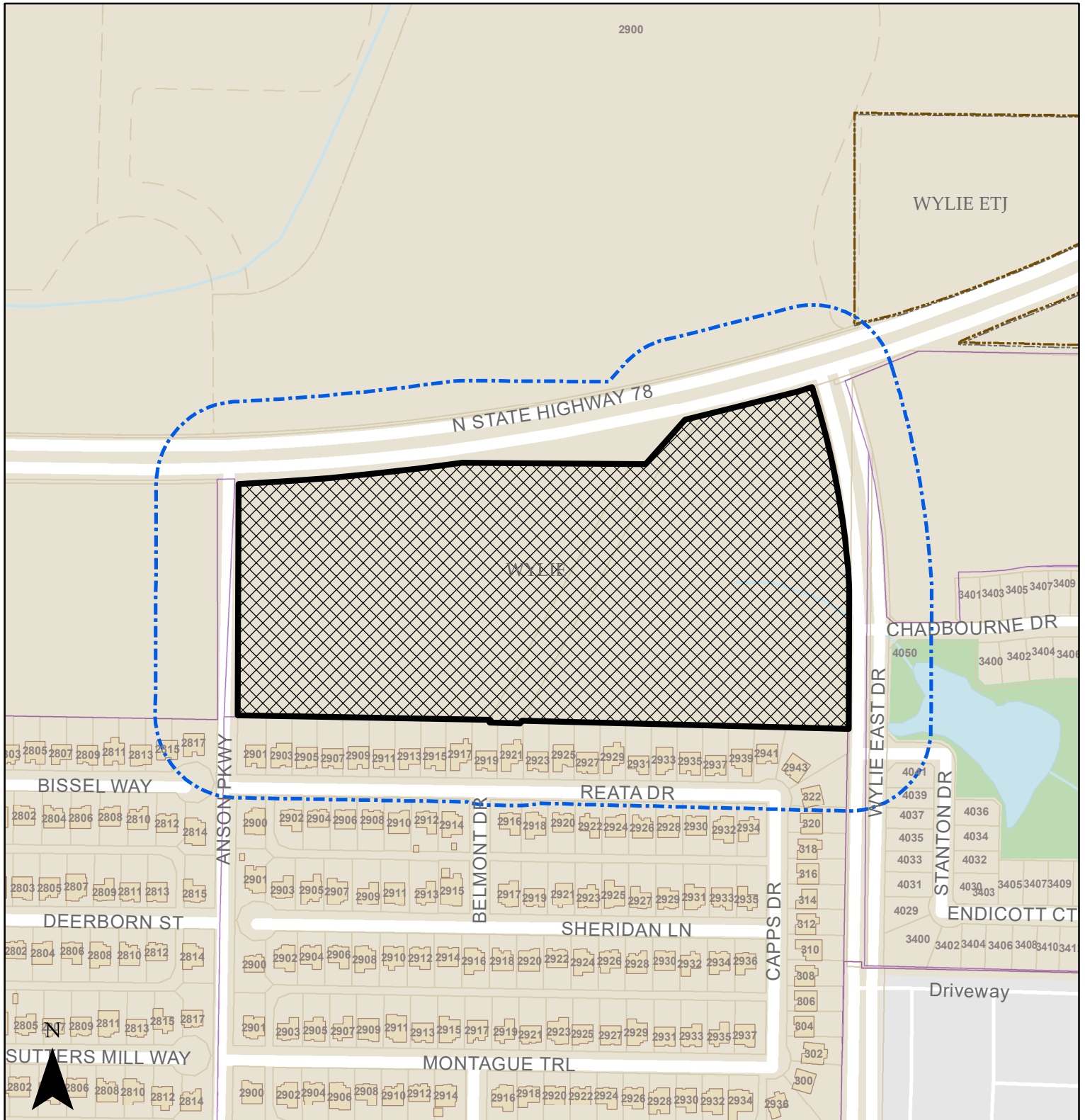


Landscape Site Plan Exhibit





Notification Map



ZC 2022-05; Lovett 78 Logistics Center

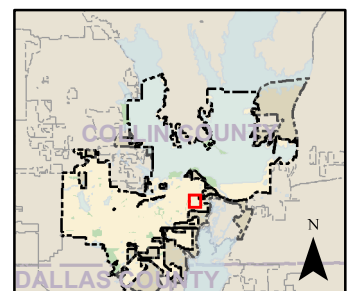


200 Foot Notification Buffer



Subject Property

0 160 320 640 960 1,280 Feet



PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098



I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.



I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning

Commission meeting:

Tuesday, March 15, 2022 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, April 12, 2022 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Nadim Nimeh
 (please print)

Address: 3450 Shenandoah st
Dallas, Tx 75205

Signature: Nadim Nimeh

Date: 2-25-2022

COMMENTS:

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

☒ → I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning
 Commission meeting:

Tuesday, March 15, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, April 12, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Shere VanHeuren

(please print)

Address:

2916 Reata Dr.
 Wylie, TX 75098

Signature:

Shere VanHeuren

Date:

3/9/2021

COMMENTS:

Never! Do NOT

bring that into our small
 family community. Why not a

small park for the local residents!

That would be a lot better use
 of that land.

I will Never agree
 to this!
 Shere VanHeuren
 360-320-9622

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

☒

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning
 Commission meeting:

Tuesday, March 15, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, April 12, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Robbie Jeffrey
(please print)

Address:

2908 Reata Dr.
Wylie, Tx 75098

Signature:

Robbie Jeffrey

Date:

3-11-22

COMMENTS:

*We don't need more traffic and con-
 gestion. 78 and Wylie East are already
 problem areas to navigate. Everybodys
 is affected by having kids in school
 at Wylie East and living off Hwy 78.
 This is all times of day and at night.
 We don't need more of any of this Please!*

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

☐ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning
 Commission meeting:

Tuesday, March 15, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, April 12, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Vanessa Huben
(please print)

Address:

2937 Beata Dr.
Wylie, TX. 75098

Signature:

Vanessa R. Huben

Date:

3/10/2022

COMMENTS:

No - See attached letter

More parks, trees, nature &
shopping.

See letter

March 9, 2022

Dear Planning and Zoning Committee,

When I moved to Wylie back in 2004, I was told the land behind my house would remain agriculture. Trees, grass, animals, etc. I believed that, (and loved that). When I came home one day, I discovered all of the trees behind my house, the beautiful piece of land that was peaceful, had been leveled. The tranquility was gone. The only thing visible from my backyard was Hwy 78, (not a pretty site). The days of sitting in my backyard in peace, with nature, were now over.

Now, many years later it appears as though we are just trying to fill that space. Please keep in mind that this will be the first part of Wylie people will see when entering from the north on Hwy 78. I would think that we would want something at this corner to be inviting, something that screams "Welcome to Wylie, (a great place to live, spend and relax)!" Something pretty or fun, something that will entice people to come to our small community.

Of course I would rather have trees and nature, things that are quite honestly disappearing in this town. The land, trees and overall nature were actually what prompted me to move to Wylie, far from the hustle and bustle of Frisco and Plano. If we have to have something on this corner, I would like to see a nice, quaint shopping center with maybe a small park or seating area. We are between both lakes, we should entice people to our town and show them that this is a great place to live.

Hwy 544 seems to be getting all of the business, restaurants, etc. while our side of town has absolutely nothing to offer. Entering this side of Wylie causes people to drive right through without stopping, without spending, without enjoying our small community. Let's use this property to sell ALL OF WYLIE. Again, I would prefer something pretty, prefer nature, but if we must build something, let it draw people to our town and let us as a community benefit from it. Let's have another side of Wylie that is inviting! Do we really want a warehouse to be the first impression of our town when entering our great community from this direction? I would think not.

In short

- 1) First choice, let's have something beautiful, enticing here, (parks, nature area, etc). Keep nature. The hawks, the owls in the remaining trees, coyotes, etc. Keep Wylie beautiful! Would you want a warehouse in your backyard?
- 2) Hwy 78 from Brown to 205, there is a whole lot of nothing – do we want a warehouse to be the first thing people see when entering into our lovely town?
- 3) If we have to build, let's keep spending in Wylie vs. most of us driving to Murphy, Garland, Richardson and Plano and spending our money in those cities. Our town should benefit from spending.

Thank you for your time.

Best regards,


Vanessa R. Huben

Resident since 2004

PUBLIC COMMENT FORM
(Please type or use black ink)

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

XXX I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning
Commission meeting:

Tuesday, March 15, 2022 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, April 12, 2022 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Mandy Mitchell
(please print)

Address: 2939 Reata Drive

Wylie, TX 75098

Signature:

Mandy Mitchell

Date:

03/10/22

COMMENTS:

I am firmly against the proposed zoning change for the Lovett Industrial project. I have managed commercial real estate for over 20 years, and I can confidently say this logistics center nestled up to a property line will be a nightmare for the entire neighborhood. We were promised the railyard wouldn't be a noise issue, but the banging is a constant presence at all hours and that's with 2 large fields and a highway as a buffer for our area. A logistics center of this size would be exponentially worse for the surrounding community, and I have low expectations that operating hours would be limited. The proposed landscaping plan shows a row of trees lining the length of Reata Drive but the larger those trees become, the more damage their root systems will have on the retaining wall and the properties along our street. Industrial properties of this nature are typically bought and sold roughly every 2-5 years and each owner spends less and less on property maintenance and security. We do not want 18 wheelers lined up against our backyards. I appreciate the trucking industry for all they do, but the traffic situation in our surrounding area continues to deteriorate with the increase of 18-wheelers from the railyard so this facility would only compound the problem.

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

☒

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning
 Commission meeting:

Tuesday, March 15, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, April 12, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

TIMOTHY TEAMANN
 (please print)

Address:

2930 REATA DR.
WYLLIE TX 75098

Signature:

T M Teamann

Date:

3.4.22

COMMENTS:

THE ORIGINAL ZONING AS COMMERCIAL CORRIDOR
WAS INSIGHTFUL AND AT PRESENT MOST FITTING

PLEASE CONSIDER AS A NEIGHBORHOOD THAT
IS CENTERED BY STUDENTS OF W.E.H.S. A COMMERCIAL
CORRIDOR. A GATHERING PLACE FOR SENIOR'S LUNCH,
A JOB OPPORTUNITY FOR STUDENTS. WE DO NOT NEED
A MANUFACTURING BUILDING ON THE NEIGHBORHOOD SIDE.

March 14, 2022

City of Wylie
Department of Planning
300 Country Club Dr
Wylie, TX 75098

Sondra Ferrigno
2400 Palestine Ct
Wylie, TX 75098

RE: Proposed Zoning Change Case # 2022-05

To Whom It May Concern:

The purpose of this letter is to state my grievance and opposition towards the approval of this zoning change and proposed structure.

When my family and I began searching for a community to grow roots, buy a home, and raise our kids we were drawn to the small community nature of Wylie. As a member of the Grayhawk Park community on East Wylie Drive we looked forward to being a part of East Wylie's community growth that would one day mimic that of the west side of town.

With this vision in mind, we were sold on, "The Wylie Way" and family friendly community that Wylie projected; not a money hungry town looking for fast and big money without regard for community impact.

Approving this project goes against everything Wylie stands for.

This project not only creates concerns over decreased home values and increased crime in the immediate surrounding areas, but also presents the question of why are the east residents who pay into taxes not being rewarded with the same growth and development as the west side? The residents of East Wylie need retail and residential development just as much as the west side. This structure does not provide anything for our residents who are mostly upper-level executives and business professionals. This project only supports the financing needs of the city which we could get through other commercial and retail business without adversely impacting our community vision and values. By not providing the east side with the same retail opportunities we are forced to go take our business to Rockwall which is closer and more convenient instead of supporting our own town which is what we want to happen.

Approving this structure will only continue the industrial growth of this area and our safe, family-oriented community will be no longer.

Sincerely,



Sondra Ferrigno |

Attention: City of Wylie Department of Planning

Resident: Desiree Steely

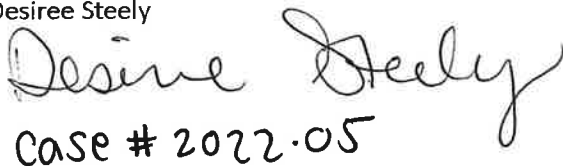
Address: 2403 Tawakoni Drive Wylie, Texas 75098

Dear City of Wylie,

I am a resident in the Grayhawk Park neighborhood. I am against the building of the Lovett industrial complex. There are several reasons why I am opposing this zoning. This will have a negative impact on home resale opportunities and value in the surrounding areas. I understand this will bring more jobs but with this more traffic, trash and crime. How is the city prepared to handle the additional people who move in? Are they prepared to increase police force, additional roads, build more homes and build more schools? How much of this revenue will be reinvested in East Wylie? The focus on funding has been on the west side of the city. The residents on the East side are funding but seeing no return on investment. In addition, construction in this city is very unorganized. After dealing with the construction issue on Stone Road, I see how even city of Wylie is not prepared for that big of a construction. People move to Wylie to still get the "small town" at least on the east side. I would appreciate the consideration in this matter.

Sincerely,

Desiree Steely


Case # 2022-05



Opposition Letter to Zoning Case 2022-05 for 4/5/2022 Meeting

1 message

Savannah Barber [REDACTED]
To: planning@wylietexas.gov

Mon, Apr 4, 2022 at 11:41 AM

To whom it may concern,

I, Savannah Barber, am reaching out to you as property owner of 3402 Endicott Ct. which is within the Lewis Ranch Neighborhood adjacent to the proposed industrial site.

I am firmly in opposition of this proposed zoning change. After the previous meeting where this issue was discussed, there were many grievances brought up by Commission members and residents that have not been addressed in the latest drafts attached to the Agenda for the 4/5/2022 meeting. The issues about having 18-wheelers parked along residents back fences, noise and light pollution, and other items have not been remedied. The people of these neighborhoods do not want this. The traffic to get into and out of our neighborhoods is unacceptable as is. If you add these 18-wheelers who pull out and block the street, essentially forcing an opening for themselves, we will have terrible backup and countless accidents.

There are so many other, more useful, things that can be done with that land. I offer the following as alternatives:

- 1) A decent grocery store. Our closest option is Walmart which is constantly running on short supply due to servicing East Wylie, Lavon, etc.
- 2) Restaurants with drive throughs so that our Wylie East students aren't spending their entire lunch break driving to 544 and back.

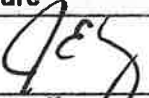

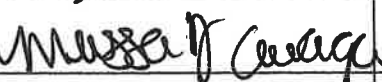




I urge you to vote no to this proposal, as this is not in the best interest of your Wylie Citizens.

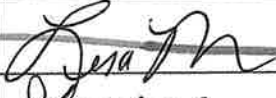

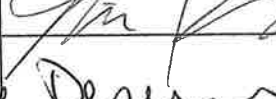
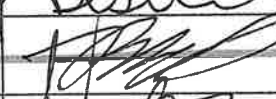
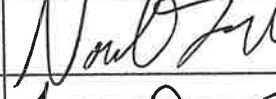

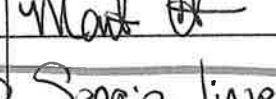
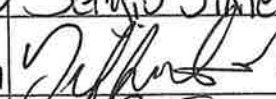



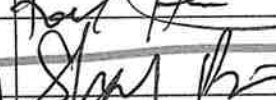
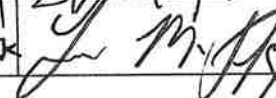


Thank you,


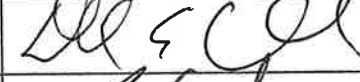
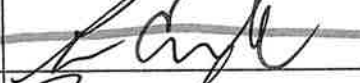


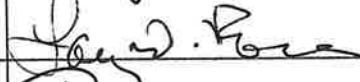
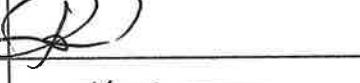

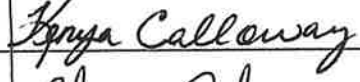
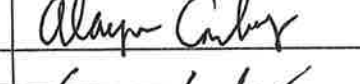
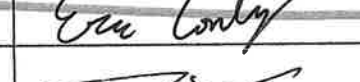
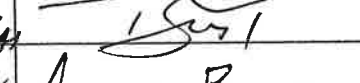
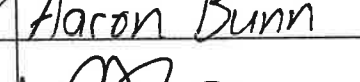

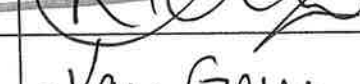
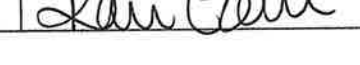
Savannah Barber

Petition to STOP THE INDUSTRIALIZATION OF EAST WYLIE, TX

Petition summary and background	<p>Lovett Industrial has requested to rezone 21.85 acres located on the SE corner of HWY 78/Wylie East Dr from Commercial Corridor to Light Industrial/Commercial.</p> <p>Proposed structure to serve as a light industrial warehouse/distribution center with 2 small commercial pads</p>
Action petitioned for	<p>We, the undersigned, are concerned citizens who urge our leaders to deny this request and keep the land zoned commercial corridor.</p> <p>Should Planning & Zoning pass this request, residents request the following to be considered:</p> <ol style="list-style-type: none"> 1. 20% landscaping (opposed to 10% min proposed) 2. Planting of mature trees, especially along residential property line 3. 12 ft fencing along residential property line 4. Limit industrial land use to no food processing 5. Limit Commercial land use to no auto mechanic, brake/oil change businesses, smoke shops, storage, or gas stations. 6. No truck traffic on Wylie East Dr 7. No idle ordinance after 10pm 8. Designated truck lane on N Anson Pkwy

Printed Name	Signature	Address	Comment	Date
John Ebery		2208 Ray Hubbard Way		3/27/22
Amit Ashara		2206 Ray Hubbard Way		3/27/22
Melissa Carraga		2200 Ray Hubbard Way		3/27/22
Casey Vincent		2400 Richland Chambers Ct		3/27/22
Dhaval Rana		2406 Richland Chambers Ct.		3/27/22
Kelly Tomaszewski		2408 Richard Chambers Ct.		3/27/22
Richard Holbrow		2416 Richland Chambers Ct.		3/27/22

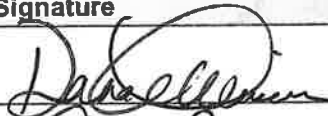


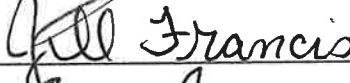


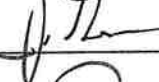
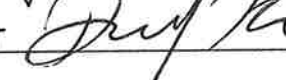
Printed Name	Signature	Address	Comment	Date
Lesia Thomas		2402 Lake Fork Dr		3/26/22
Vondra Ferrigno		2400 Palestine Ct Wylie, TX 75098		3/26/22
Nicole Prebevsck		2407 Richland Chambers Ct Wylie, TX 75098		3/26/22
Desiree Steen		2403 Tawakoni Drive		3/27/22
Patrick Steeb		2403 Tawakoni Dr Wylie, TX 75098		3/27/22
Noralina Tello		2400 Tawakoni Dr. Wylie, TX 75098		3/30/22
Juan Ramirez		2400 Tawakoni Dr Wylie, TX 75098		3/30/22
Marta Castanon		2336 Ray Hubbard Wy Wylie, TX 75098		3/30/22
Sergio Jimenez		2336 Ray Hubbard Wy Wylie, TX 75098		3/30/22
Tiffany Smith		2404 Palestine Ct Wylie, TX 75098		3/31/22
Steven Schuster		2401 Palestine Ct Wylie, TX 75098		4/1/22
Melissa Jim		2406 Palestine Ct Wylie, TX 75098		4/1/22
Robert Compian		2405 Palestine Ct Wylie, TX 75098		4/2/22
Rodrick Hines		2406 Lake Fork Dr Wylie, TX 75098		4/2/22
Shambika Bunkley		2406 Lake Fork Dr Wylie, TX 75098		4/2/22
Louis M. Prebevsck		2401 RICHLAND CHAMBERS CT WYLIE TX 75098		4/2/22

Printed Name	Signature	Address	Comment	Date
Elizabeth Compian		2405 Palestine Ct. Wylie, TX 75098		3/26/22
DONALD CARROLL		2402 PALESTINE CT WYLIE TX 75098		3/26/22
Suzanne Carroll		2402 Palestine Ct. Wylie, TX 75098		3/26/22
Ryan Jones		2330 Ray Hubbard Way Wylie, TX 75098		3/26/22
Angela Butler		2330 Ray Hubbard Way Wylie, TX 75098		3/26/22
Larry Rogers		2332 Ray Hubbard Wylie, TX 75098		3/26/22
Rasika Murthy		2402 Tawakoni Dr. Wylie TX 75098		3/26/22
Nabila Tabassum		2402 Tawakoni Dr. Wylie, TX 75098		3/26/22
Kenya Calloway		2404 Tawakoni Drive Wylie, TX 75098		3-26-2022
Alayna Conley		2405 Tawakoni Dr. Wylie, TX 75098		3/26/22
Eric Conley		2405 Tawakoni Wylie, TX 75098		3/26/22
Bikramjeet, Singh		2403 Palestine Ct ^{Wylie, TX} 75098		3/26/22
Aaron Bunn		2401 Tawakoni Drive Wylie, TX 75098		3/26/22
Miscen Polchere		2316 Bob Sendlun Ln ^{Wylie, TX} 75098		3/26/22
Nancy Malel		2316 Bob Sendlun Ln Wylie, TX, 75098		3/26/22
Kayla Gorrell		2402 Lake Fork Dr Wylie TX 75098		3/26/22

Printed Name	Signature	Address	Comment	Date
Nicole Ward	Nicole Ward	2415 Richland Chambers Ct		3/27/22
Matt Halsch	Matt Halsch	2261 Mountain Creek Ct		3/27/22
Amber Roberts	Amber Roberts	2200 Mountain Creek Ct.		3/27/22
Berivure Barke	Berivure Barke	2401 Richland Chambers Ct		3/27/22
RAJKISHAN BHARATHY	Rajkishan Bharathy	2212 RAY HUBBARD WAY		3/27/22
GEO JOHN	Geo John	2311 RAY HUBBARD WAY		3/29/2022
Amanda Armstrong	Amanda Armstrong	2311 Whitney Ln		3/29/2022

Petition to STOP THE INDUSTRIALIZATION OF EAST WYLIE, TX

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Printed Name	Signature	Address	Comment	Date
Dana Winsauer		905 Travers, Wylie		3/25/22
Jim Winsauer		905 Traver Dr Wylie		3-25-22
Travis McElroy		1318 Hickory Woods way		3/25/22
Jill Francis		2203 Mountain Creek Ct		3/25/22
Brian Price		334 HEARTAGE LN		3/25/22
Jennifer Robles		2401 Palestine Crt., Wylie		3/26/22
Juan Robles		2401 Palestine Ct. Wylie		3/26/22
DeeJot Kaur		2403 Palestine Ct. Wylie.		3/26/22


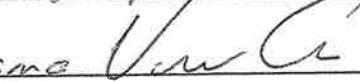







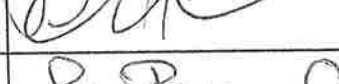

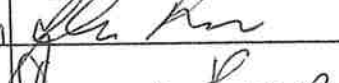



Printed Name	Signature	Address	Comment	Date
Morgan Power	[Signature]	2328 Whitney Ln		4/2/22
Marc Salinas	[Signature]	2321 Whitney Ln		4/2/22
Brittany Salinas	[Signature]	2321 Whitney Ln		4/2/22
Seen Munger	[Signature]	2321 Whitney Ln		4/2/22
Connie Davidson	Connie Davidson	2409 Ray Roberts		4-2-22
Alexandra Compian	[Signature]	2201 Ray Hubbard Way		4-3-22
JOEL UC	[Signature]	2400 PALESTINE CT.		4/4/22

Printed Name	Signature	Address	Comment	Date
Vanessa Williams	Vanessa Williams	2405 Lake Fork Dr.		4-2-22
Tammy Lee	Tammy Lee	2300 Bob Sandlin Dr		4-2-22
Kira Taylor	Kira Taylor	2301 Bob Sandlin		4-2-22
Edward Whitaker	Edward Whitaker	2303 Bob Sandlin Ln		4-2-22
John Olak	John Olak	2305 Bob Sandlin lane		4-2-22
I-Sha Hudson	I-Sha Hudson	2302 Bob Sandlin Ln		4/2/22
Charles Goff	Charles Goff	2307 Bob Sandlin Ln		4/2/22
Rebecca Bigby	Rebecca Bigby	2309 Bob Sandlin Ln		4/2/22
Trieu Nguyen	Trieu Nguyen	2312 Bob Sandlin Ln		4/2/22
Dave Ferguson	Dave Ferguson	2317 Bob Sandlin Ln		4/2/22
Kathie Ferguson	Kathie Ferguson	2317 Bob Sandlin Ln		4/2/22
ARUL KUMAR	ARUL KUMAR	2318 Bob Sandlin Ln		4/2/22
IDELI COLLIER	IDELI COLLIER	2410 Tawhoni Dr		4/2/22
Corlana Smart	Corlana Smart	2414 Tawhoni Dr		4/2/22
Jessica Ross	Jessica Ross	2331 Whitney Ln		4/2/22
Craig Power	Craig Power	2329 Whitney Ln		4-2-22




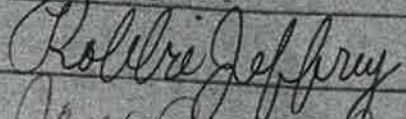

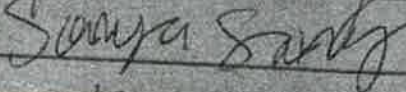

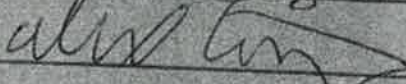
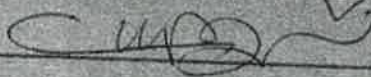
Petition to STOP THE INDUSTRIALIZATION OF EAST WYLIE, TX

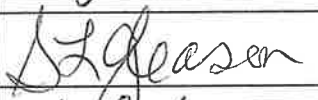
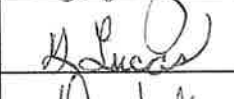
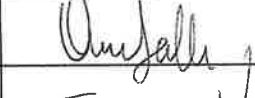
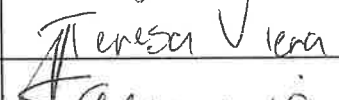
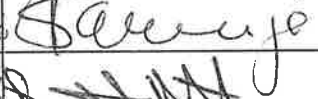
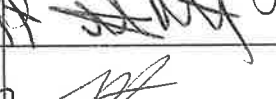
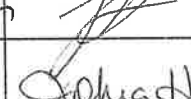
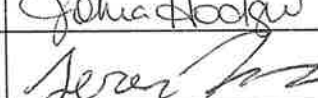
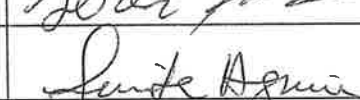
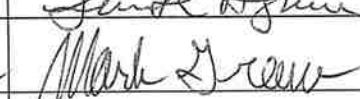
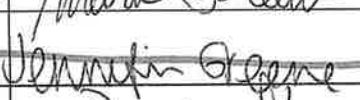





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Printed Name	Signature	Address	Comment	Date
Justin Tobin	<i>Justin Tobin</i>	206 Palmdale Dr.		4/1/22
Perry Clark	<i>Perry Clark</i>	2900 Jamestown Pr.		4-1-22
John W. Miller	<i>John W. Miller</i>	2908 Jamestown Drive		4-1-22
Monique Atkins	<i>Monique Atkins</i>	2910 Jamestown		4-1-22
Mary Coker	<i>Mary Coker</i>	2915 Jamestown Dr.		4/1/22
Michael McClellan	<i>Michael McClellan</i>	2917 Jamestown Dr.		4/1/22
JEFF GEEBS	<i>Jeff GEEBS</i>	2920 Jamestown Dr.		4/22

Printed Name	Signature	Address	Comment	Date
Marion Reeder		2919 James Jamestown Drive		4/1
Vicente Guadarrama		2921 Jamestown Dr		4/1/2020
Torena Watts		2923 Jamestown Dr		4-1-2022
Rakey Belts		2925 Jamestown Dr		4/1/22
Lrene Chavira		2930 Jamestown Dr		4/1/22
Marilyn Johnson		2928 Jamestown Dr	NO	4-1-22
JAMES JOHNSON		2928 JAMESTOWN DR	NO	4-1-22
Diana Johnson		2928 Jamestown Dr	NO	
Janila Taher		2927 Jamestown Dr		4-1-22
Ashley Wilkins		2934 Jamestown Dr		
Jamie Bogard		2933 Jamestown Dr		4/1/22
Sheila Ramlochan		2934 Glendale Bg.		4/2/22
Shayne Roggrannie		2934 Glendale Dr		4/2/22
Saira C. Roggrannie		2934 Glendale Dr		4/2/22
Chirine Sambo		2902 Reata Dr		
	PETER N. OKONKWO	2907 REATA DR WYLET		04/04/2022

Printed Name	Signature	Address	Comment	Date
Helen Okunaka	[Signature]	2907 Reata Dr. Wylie		4/2/22
Memorio Carballo	[Signature]	2911 Reata Dr. Wylie *		4/2/22
Tamela Lassaray	[Signature]	2915 Reata Dr Wylie *		4-2-22
Taylor Rapp	[Signature]	2924 Glendale RD		4-2-22
George Bell	[Signature]	2918 Reata Dr *		4-2-22
Miko Baker	[Signature]	2923 Reata Dr *		4.2.22
Sarah Abraham	[Signature]	2925 Reata DR *		4-2-22
Santhosh Abraham	[Signature]	2925 Reata Dr Wylie Tr		4-2-22
Lennora Polk	[Signature]	2933 Reata Dr *		4-2-22
Matthew Brainerd	[Signature]	2935 Reata Dr *		4-2-22
Rossy Brainerd	[Signature]	2935 Reata Dr		04-02-22
Vanessa Huber	[Signature]	2937 Reata Dr. *		4/2/22
Rosa Mitchell	[Signature]	2939 Reata Dr. *		4/2/22
Joe Simpkins	[Signature]	2932 Reata Drive *		02 APR 22
Tony Simpkins	[Signature]	2932 Reata Drive		4/2/22
CAROLINA TEAMAN	[Signature]	2930 REATA *		4/2/22




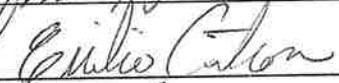


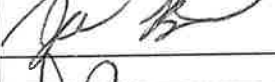

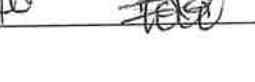
Date	Print name	Signature	address	comment
4/2	Christina Jones		2926 Reata	*
4/2	Elena Hines		2918 Reata Dr.	*
4/2	Alper DURU		2912 Reata Dr.	*
4/2	Robbie Jeffray		2908 Reata Dr.	*
4/2	JESSE GATICA		2903 Reata Dr.	*
4/2	Sonyia Jung		2931 Montague Trl	
4/2	Wassung Sung		2931 Montague Trl	
4/2	Alex Cruz		2916 Montague Trl	
4/2	Charley Bayard		2933 Jeanette Ave	

Printed Name	Signature	Address	Comments	Date
Sherry Gleason		2904 Montague Tr	No /	4/3/22
Douglas Gleason	DG	2904 Montague Tr	No /	4/3/22
G. Lucas		2904 Montague Tr	No /	4-3-22
Quetzalli Saldana		2906 Montague	No!	4/3/22
Teresa Vera		2910 Montague Tr	No	4/3/22
Savari Kaur		2928 Montague Tr	No	4/3/22
Stephen Matkoff		2930 Montague Tr.	No	4/3/22
Jamichal Dalton		210 Palm Dale Dr.	No	4/3/22
Johna Hodges		208 Palm Dale Dr	No	4/3/22
Jersey Temple		204 Palmdale Dr	No!	4/3/2022
Janita Herwin		2936 Glendale Pa		4/3/2022
Mark Greene		2932 Glendale Dr	No!	4/3/22
Jennifer Greene		2932 Glendale Dr	No!	4/3/22
Brenda Stanger		2930 Glendale Dr	No	4-3-22
Martin Lopez		2928 Glendale Dr	No	04/03/2022
Brian Clark		2914 Glendale Dr.	No	4/3-22
Karen Swain		2906 Glendale Dr		4-3-22

Printed name	Signature	Address	Comment	Date
Wanda Gilbert	Wanda Gilbert	2904 Glendale Dr.		4/3/22
Ana Jameson	Wanda Gilbert	2911 Glendale Dr.		4/3/22
Verneda Ball	Verneda Ball	2917 Glendale Dr		4/3/22
Richard Barker	R. Barker	2917 Glendale Dr		4-3-22
Joseph Davis	Joseph Davis	2923 Glendale Dr		4-3-22
Bruce Hallen		2935 GLENDALE DR		4-3-22
Kevin Sullivan		2931 Jamestown Dr.		4-4-22

Petition to STOP THE INDUSTRIALIZATION OF EAST WYLIE, TX

Petition summary and background	Lovett Industrial has requested to rezone 21.85 acres located on the SE corner of HWY 78/Wylie East Dr from Commercial Corridor to Light Industrial/Commercial. Proposed structure to serve as a light industrial warehouse/distribution center with 2 small commercial pads
Action petitioned for	We, the undersigned, are concerned citizens who urge our leaders to deny this request and keep the land zoned commercial corridor. Should Planning & Zoning pass this request, residents request the following to be considered: <ol style="list-style-type: none"> 1. 20% landscaping (opposed to 10% min proposed) 2. Planting of mature trees, especially along residential property line 3. 12 ft fencing along residential property line 4. Limit industrial land use to no food processing 5. Limit Commercial land use to no auto mechanic, brake/oil change businesses, smoke shops, storage, or gas stations. 6. No truck traffic on Wylie East Dr 7. No idle ordinance after 10pm 8. Designated truck lane on N Anson Pkwy

Printed Name	Signature	Address	Comment	Date
Tricia Mallette		2933 Montague Trail	100% opposed NO Please	4-3-22
Josh Nemo		2925 Montague Trl		4-3-22
Jacob Gncew		2917 Montague Trl		4-3-22
Emilio Carlson		2915 Montague Trl	Opposed, consider other options	4-3-22
Jose Morales		2913 Montague Trl		4/3/22
Joel Ruiz		2935 Jamestown Dr	Do not Approve	4/3/22
Jason Brown		2903 Montague Trl.	Do not Approve	4/3/22
Amanda Braun		2903 Montague Trl	Do not Approve	4-3-22
Adeola Olatunmbi		2900 Montague Trl	Do not Approve	4/3/22



Lovett Industrial Overview

Founded in 2020 and based in Houston, TX, Lovett Industrial is a privately held vertically integrated logistics real estate investment platform that seeks to develop and acquire industrial real estate assets that are differentiated by their quality, location, and functionality. Currently active in 6 markets across the United States, Lovett Industrial’s portfolio consists of approximately 9 million square feet of completed and under construction warehouses and in excess of 12 million square feet of warehouses planned for future development. LI’s founders have combined over 60+ years of experience in the commercial and industrial real estate sectors.

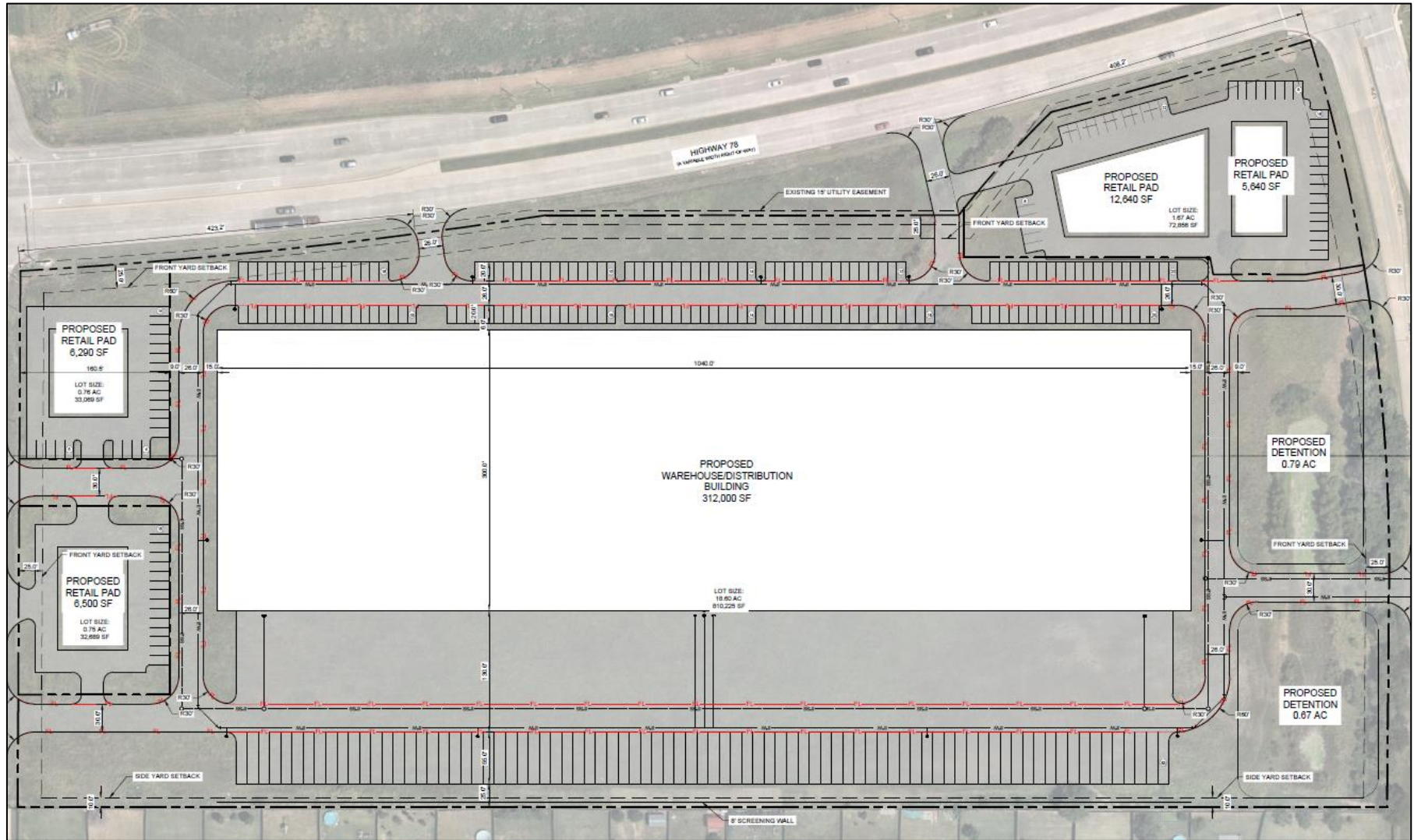


Lovett Commercial Overview

Founded by Frank Liu and headquartered in Houston, Texas, Lovett Commercial has over 25 years of commercial experience focused on national retail, creative local, and historic adaptive reuse profiles.



HWY 78 & Anson Pkwy – Wylie, TX





Wylie City Council

AGENDA REPORT

Department: City Manager
Prepared By: Brent Parker

Account Code: _____

Subject

Consider, and act upon, Resolution No. 2022-12(R), approving an Assignment and First Amendment to a Chapter 380 Agreement between the City of Wylie and Hillside Grill, LLC, and authorizing the Interim City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented, with an extension of the performance deadline for _____ additional months to expire on _____.

Discussion

On April 27, 2021 the City entered into a Chapter 380 Agreement with Hillside Grill to facilitate Hillside's proposed remodel of the restaurant located at 2600 E. FM 544. Due to some variables outside the control of Hillside, they are seeking two items. The first being an assignment from Hillside Grill to Creekside Grill. The second is an extension of the 380 Agreement. No time frame was provided for the extension. Creekside would like 12 months, but the Council needs to have that discussion to determine the desired extension if any.

Financial Summary/Strategic Goals

RESOLUTION NO. 2022-12(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, HEREBY AUTHORIZING THE INTERIM CITY MANAGER OF THE CITY OF WYLIE, TEXAS, TO EXECUTE AN ASSIGNMENT AND FIRST AMENDMENT TO A CHAPTER 380 AGREEMENT BY AND BETWEEN THE CITY OF WYLIE AND HILLSIDE GRILL, LLC.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: The Interim City Manager of the City of Wylie, Texas, is hereby authorized to execute, on behalf of the City Council of the City of Wylie, Texas, an Assignment and First Amendment to a Chapter 380 Agreement by and between the City of Wylie, Texas and Hillside Grill, LLC.

SECTION 2: This Resolution shall take effect immediately upon its passage.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, this 12th day of April, 2022.

Matthew Porter, Mayor

ATTEST TO:

Stephanie Storm, City Secretary

ASSIGNMENT AND FIRST AMENDMENT – CHAPTER 380 AGREEMENT

THIS ASSIGNMENT AND FIRST AMENDMENT – CHAPTER 380 AGREEMENT (this “First Amendment”), is entered into and is effective as of the ____ day of _____, 2022, by and among the CITY OF WYLIE, TEXAS, a Texas home-rule city (“City”), HILLSIDE GRILL, LLC, a Texas limited liability company (the “Hillside”) and CREEKSIDE FINE GRILL, LLC, a Texas limited liability company (the “Creekside”).

W I T N E S S E T H:

WHEREAS, City and Hillside entered into that certain Chapter 380 Agreement dated April 27, 2021 (the “Agreement”), to facilitate Hillside’s proposed remodel of the Restaurant located on the Property, as those terms are defined in the Agreement; and

WHEREAS, Hillside desires to assign the Agreement to Creekside and Creekside desires to accept assignment of the Agreement from Hillside; and

WHEREAS, City is willing to consent to the assignment of the Agreement from Hillside to Creekside; and

WHEREAS, City and Creekside desire to modify and amend the Agreement in certain respects, as more particularly set forth in this First Amendment.

NOW, THEREFORE, in consideration of the recitals set forth above and the mutual covenants and agreements contained herein and for other good and valuable consideration, the sufficiency and receipt of all of which are hereby acknowledged, City, Hillside, and Creekside agree to amend and modify the Agreement as follows:

1. Defined Terms. Capitalized terms used but not defined in this First Amendment will have the meanings given to them in the Agreement.
2. Assignment and Assumption. Hillside hereby assigns all of its rights and obligations under the Agreement to Creekside. Creekside accepts assignment of the Agreement from Hillside and assumes the rights and obligations of Hillside as “Company” under the Agreement. City hereby consents to the assignment and assumption of the Agreement from Hillside to Creekside.
3. Modification of Performance Deadline. Notwithstanding anything to the contrary in the Agreement, the Performance Deadline as defined in the Agreement is hereby extended for _____ (____) additional months to expire on _____.
4. Ratification. As expressly modified by this First Amendment, the Agreement is hereby ratified and confirmed by City and Creekside.
5. Counterparts; Transmission. This First Amendment may be executed in multiple counterparts, each of which shall be deemed an original, and all of which shall constitute one and

the same agreement. Transmission of an executed signature page of this First Amendment by email will be effective to create a binding agreement.

IN WITNESS WHEREOF, the parties hereto have executed this First Amendment the day and year first above written.

CITY:

CITY OF WYLIE, TEXAS

By: _____
 Name: _____
 Title: _____

HILLSIDE:

HILLSIDE GRILL, LLC, a Texas limited liability company

By: _____
 Name: _____
 Title: _____

CREEKSIDE:

CREEKSIDE FINE GRILL, LLC, a Texas limited liability company

By: _____
 Name: _____
 Title: _____



Wylie City Council

AGENDA REPORT

Department: Finance
Prepared By: Melissa Beard

Account Code: Various

Subject

Consider, and act upon, Ordinance No. 2022-31 amending Ordinance No. 2021-43, which established the budget for fiscal year 2021-2022; providing for repealing, savings and severability clauses; and providing for an effective date of this ordinance.

Recommendation

Motion to approve the item as presented.

Discussion

The mid-year budget amendments are generally intended to cover unanticipated and/or unavoidable revenue and expenditure adjustments to the adopted budget. The detail is attached in Exhibit A for the requested items which are located within the General Fund, Utility Fund, 4B Sales Tax Fund, and WEDC. The requests are further defined as neutral (matching revenues to expenditures), revenue increases or expenditure increases. General Fund salary and benefits savings from the first half of the fiscal year are included in the amendment in the amount of \$1,081,701.

The account detail is included in **Exhibit A**.

Financial Summary/Strategic Goals

ORDINANCE NO. 2022-31

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING ORDINANCE NO. 2021-43, WHICH ESTABLISHED THE BUDGET FOR FISCAL YEAR 2021-2022; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council heretofore adopted Ordinance No. 2021-43 setting forth the Budget for Fiscal Year 2021-2022 beginning October 1, 2021, and ending September 30, 2022; and,

WHEREAS, the City Departments and Divisions routinely review their budget appropriations to determine if any changes are necessary; and

WHEREAS, based upon said review the City staff now recommends that certain amendments to the Budget be considered by the City Council; see Exhibit A; and,

WHEREAS, the City Council has the authority to make amendments to the City Budget under Article VII, Section 4 of the City Charter, as well as State law; and,

WHEREAS, the City Council has determined that the proposed amendments to the FY 2021-2022 Budget; see Exhibit A, with the revenues and expenditures therein contained, is in the best interest of the City; and therefore, desires to adopt the same by formal action.

NOW, THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF WYLIE, TEXAS:

SECTION I: The proposed amendments to the FY 2021-2022 Budget of the City of Wylie; Exhibit A, as heretofore adopted by Ordinance No. 2022-31, are completely adopted and approved as amendments to the said FY 2021-2022 Budget.

SECTION II: All portions of the existing FY 2021-2022 Budget and Ordinance No. 2021-43, except as specifically herein amended, shall remain in full force and effect, and not be otherwise affected by the adoption of the amendatory ordinance.

SECTION III: Should any paragraph, sentence, sub-division, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part or parts as declared to be invalid, illegal, or unconstitutional.

SECTION IV: This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

SECTION V: That all other ordinances and code provisions in conflict herewith are hereby repealed to the extent of any such conflict or inconsistency and all other provisions of the Wylie City Code not in conflict herewith shall remain in full force and effect.

SECTION VI: The repeal of any ordinance, or parts thereof, by the enactment of the Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue,

nor as affecting any rights of the municipality under any section or provision of any ordinances at the time of passage of this ordinance.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, this 12th day of April, 2022.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

FY 2022 Mid Year Adjustments Salary & Benefits Savings

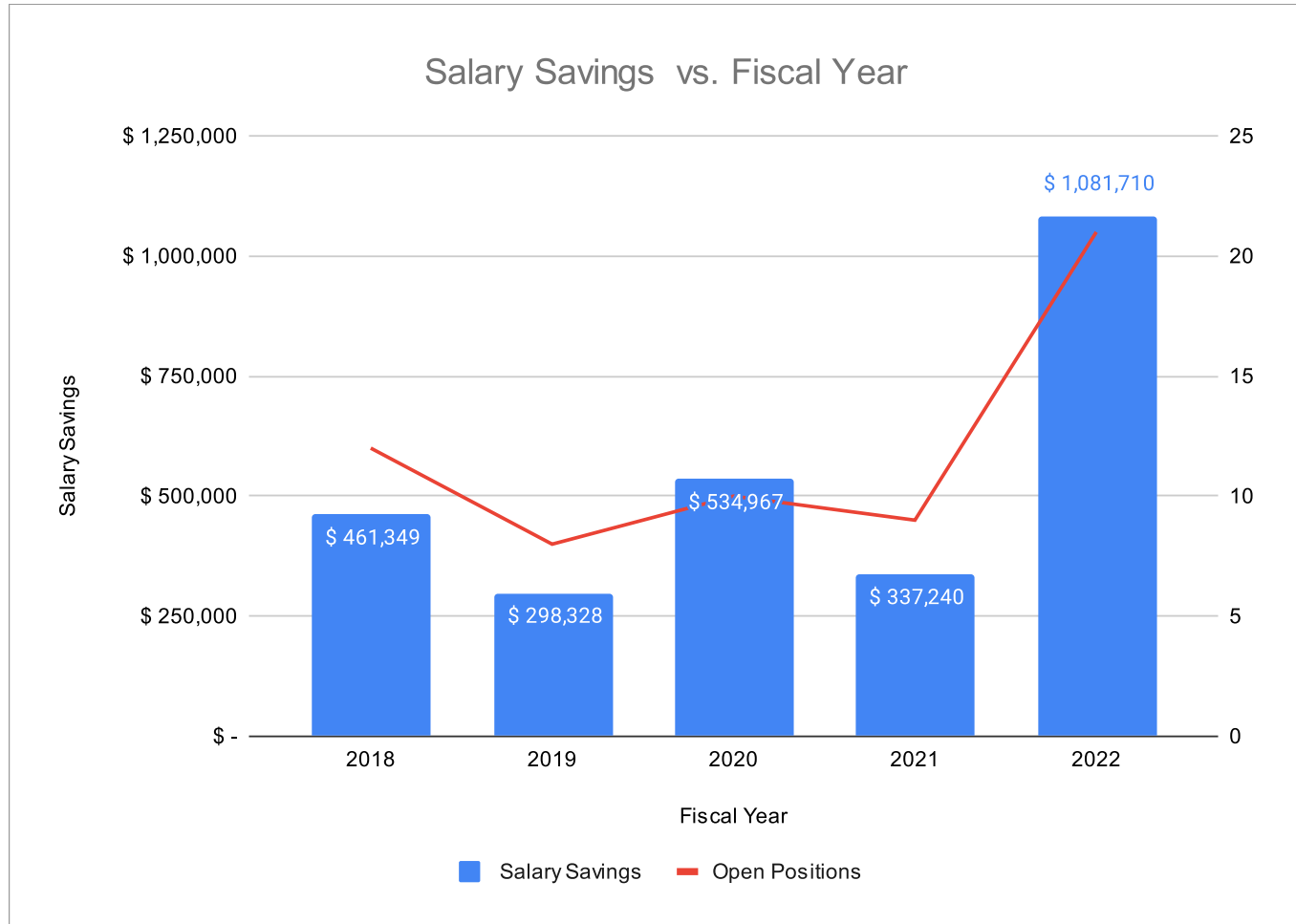
Exhibit A

FY 2022 Budget

City Manager	\$	208,865	Open Assistant City Manager Position
City Secretary	\$	17,551	
Finance	\$	32,859	Retirement of long term employee
Facilities	\$	14,334	
Municipal Court	\$	34,487	Open positions
Human Resources	\$	12,609	
Purchasing	\$	17,313	Open positions
Information Technology	\$	8,408	
Police	\$	127,518	Changes in insurance coverage
Fire	\$	216,706	Changes in insurance coverage
Emergency Communications	\$	18,634	Open Position
Animal Control	\$	67,898	Open Positions
Planning	\$	1,547	
Building Inspections	\$	19,974	Changes in insurance coverage
Code Enforcement	\$	3,732	
Streets	\$	150,718	Open Positions and Turnover
Parks	\$	84,334	Open Positions and Turnover
Library	\$	44,223	Open Assistant Library Director position
	\$	1,081,710	

Original Budget was for the City to pay 50% of dependent cost. Because of the savings realized with the new provider, and because the dollar amount paid by employees did not change from 2021 to 2022, the City is actually paying only 47% of the total cost.

154,800 Employees
82,000 Dependents
35,160 Dental
271,960 Healthcare savings



Fiscal Year	Salary Savings	Open Positions
2018	\$ 461,349	12
2019	\$ 298,328	8
2020	\$ 534,967	10
2021	\$ 337,240	9
2022	\$ 1,081,710	21

City of Wylie
FY 2022 Mid-Year Adjustments

Fund/Account	Account Description	Mid-Year Description	Amount	Additional Description
100-4000-48410	Miscellaneous Income	Ballistic Vest Reimbursement Allocation	(2,800.00)	
100-4000-48410	Miscellaneous Income	LEOSE Reimbursement	(4,151.26)	
100-4000-43510	County Library Grants	Collin County Interlocal Agreement	(6,868.00)	
100-4000-48440	Contributions/Donations	Catholic Foundation Donation	(5,779.00)	
100-5131-51XXX	Personnel Expense	Reclass Admin I to Admin II	2,581.00	
100-5211-52710	Wearing Apparel and Uniforms	Ballistic Vest Reimbursement Allocation	2,800.00	Funded from Ballistic Vest Reimbursement
100-5211-52130	Tools & Equipment	Use of Police Seized Funds for Software Purchase	10,399.00	Funded from Police Seized Funds
100-5211-58510	Motor Vehicles	2023 Vehicle Advance Orders	217,500.00	
100-5251-51XXX	Personnel Expense	Increase Salary for Animal Control Officers	10,330.00	
100-5251-52130	Tools and Equipment	Kuranda Bedding	1,400.00	Funded from donations and Pet Data Licensing
100-5231-51130	Overtime	Hiring Process Driver/Captain Promotional Process	8,760.00	
100-5231-51130	Overtime	Overtime for Background Checks	14,685.00	
100-5231-56040	Special Services	Hiring Process Driver/Captain Promotional Process	13,685.00	
100-5241-51XXX	Personnel Expense	Assistant Communications Manager	61,199.00	
100-5241-51XXX	Personnel Expense	Dispatcher	41,592.00	
100-5241-56210	Travel & Training	LEOSE Reimbursement	4,151.26	Funded From Comptroller
100-5411-51XXX	Personnel Expense	Public Works Reorganization	(71,272.07)	Remove Public Works Superintendent Position
100-5411-51130	Overtime	Special Events and Emergencies	8,300.00	
100-5411-54250	Street Signs & Markings	Replace Items for Quiet Zone Designation	30,570.00	
100-5411-58510	Motor Vehicles	2023 Vehicle Advance Orders	81,500.00	
100-5551-52130	Tools & Equipment	Tables for Conference Room	5,779.00	Funded From Donation
100-5551-52130	Tools & Equipment	Tables for Conference Room	6,868.00	Funded from Collin County Grant
TOTAL GENERAL FUND			431,228.93	
111-5611-51470	Workers Comp	Workers Comp audit adjustments	12.55	
TOTAL WEDC			12.55	
112-5613-54910	Buildings	Glass Block Replacement at Senior Center	18,533.00	
112-5613-58570	Engineering/Architectural	WSRC Renovation Design and Engineering	222,065.00	
112-5612-51470	Workers Comp	Workers Comp audit adjustments	5.38	
112-5613-51470	Workers Comp	Workers Comp audit adjustments	60.18	
112-5614-51470	Workers Comp	Workers Comp audit adjustments	84.92	
112-5625-51470	Workers Comp	Workers Comp audit adjustments	341.18	
TOTAL 4B SALES TAX FUND			241,089.66	
611-5712-54310	Utility Plant Water	Newport Harbor Emergency Repairs	130,000.00	
611-5712-51470	Workers Comp	Workers Comp audit adjustments	356.88	
611-5714-51470	Workers Comp	Workers Comp audit adjustments	196.62	
611-5715-51470	Workers Comp	Workers Comp audit adjustments	76.05	
611-5711-51XXX	Personnel Expense	Public Works Reorganization	(443,085.19)	
611-5711-52130	PPE	Public Works Reorganization	(100.00)	
611-5711-52710	Uniforms	Public Works Reorganization	(480.00)	
611-5711-52810	Food Supplies	Public Works Reorganization	(100.00)	
611-5711-56210	Travel and Training	Public Works Reorganization	(1,500.00)	
611-5711-56250	Dues and Subscriptions	Public Works Reorganization	(800.00)	
611-5711-52130	IT Equipment	Public Works Reorganization	(3,500.00)	
611-5711-54810	IT Software	Public Works Reorganization	(1,230.00)	
611-5713-51XXX	Personnel Expense	Public Works Reorganization	447,537.79	
TOTAL UTILITY FUND			127,372.15	

GENERAL FUND
STATEMENT OF REVENUES AND EXPENDITURES

	BUDGET 2021-22	PROJECTED PERSONNEL SAVINGS	OTHER AMENDMENTS	AMENDED FY 2021-2022
BEGINNING FUND BALANCE	\$30,403,003			\$30,403,003
REVENUES:				
Ad Valorem Taxes	28,142,536			28,142,536
Sales Taxes	7,609,932			7,609,932
Franchise Fees	2,896,800			2,896,800
Licenses & Permits	1,079,430			1,079,430
Intergovernmental Revenues	2,128,034		6,868	2,134,902
Service Fees	4,008,588			4,008,588
Fines and Forfeitures	248,950			248,950
Interest & Miscellaneous	202,500		12,730	215,230
Total Revenues	46,316,770		19,598	46,336,368
OTHER FINANCING SOURCES:				
Transfers from Other Funds/Other Financing Sources	2,488,645			2,488,645
Use of Fund Balance for Carry-Forward Items	1,432,653			1,432,653
Total Other Financing Sources	3,921,298		0	3,921,298
Total Revenues & Other Financing Sources	50,238,068	0	19,598	50,257,666
EXPENDITURES:				
General Government				
City Council	97,257	0		97,257
City Manager	1,530,491	208,865		1,321,626
City Secretary	406,030	17,551		388,479
City Attorney	170,000			170,000
Finance	1,310,547	32,859	2,581	1,280,269
Facilities	992,608	14,334		978,274
Municipal Court	565,012	34,487		530,525
Human Resources	697,062	12,609		684,453
Purchasing	301,619	17,313		284,306
Information Technology	2,061,120	8,408		2,052,712
Public Safety				
Police	12,184,388	127,518	230,699	12,287,569
Fire	11,827,249	216,706	37,130	11,647,673
Emergency Communications	2,167,007	18,634	106,942	2,255,315
Animal Control	615,269	67,898	11,730	559,101
Development Services				
Planning	332,648	1,547		331,101
Building Inspections	608,579	19,974		588,605
Code Enforcement	266,176	3,732		262,444
Streets	5,169,688	150,718	49,098	5,068,068
Community Services				
Parks	2,907,759	84,334		2,823,425
Library	2,210,500	44,223	12,647	2,178,924
Combined Services	4,228,057	0		4,228,057
Total Expenditures	50,649,066	1,081,710	450,827	50,018,183
Transfers to Other Funds/Other Financing	7,006,672			7,006,672
ENDING FUND BALANCE	\$22,985,333	1,081,710	431,229	\$23,635,814

REQUEST FORM - MID YEAR BUDGET AMENDMENT

FISCAL YEAR 2022

RANK	1	OF	1	REQUEST:	Workers Comp Audit Adjustment	DEPARTMENT:	Various
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New Request:	Yes	New personnel?	No	Salary Grade:	N/A
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Funds already expensed?	Yes	Change Level of current personnel?	From:	To:
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PURPOSE/OBJECTIVE OF REQUEST:

Adjustments for Workers Comp Audit. This request is for 4B, WEDC and Utility Fund. The General Fund adjustments were part of the salary savings calculation. The General Fund total was \$7,539.

ACCOUNT NO.			DESCRIPTION	AMOUNT
112	5612	51470	Brown House	5.38
112	5613	51470	Senior Center	60.18
112	5614	51470	4B Parks	84.92
112	5625	51470	Recreation Center	341.18
			Total 4B Workers Comp Adjustments	491.66
111	5611	51470	WEDC Workers Comp Adjustments	12.55
611	5712	51470	Water	356.88
611	5714	51470	Wastewater	196.62
611	5715	51470	Utility Billing	76.05
			Utility Fund Workers Comp Adjustments	629.55
			TOTAL	1,134

REQUEST FORM - MID YEAR BUDGET AMENDMENT

FISCAL YEAR 2022

RANK	1	OF	1	REQUEST:	Vehicle Replacements and New Requests	DEPARTMENT:	Various
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New Request: Yes

New personnel? No

Salary Grade: N/A

Funds already expensed? No

Change Level of current personnel?	From:	To:

PURPOSE/OBJECTIVE OF REQUEST:

GM has moved up the order dates for all pick-ups and Tahoes. If we miss the ordering window for Model Year 2023, vehicles *may* be available to purchase off the lot *if* a dealer is allowed to order additional inventory. This is becoming more difficult for the dealers. To prevent the City from falling too far behind on ordering of new and replacement vehicles, staff is requesting funding to order vehicles in advance of the normal budgeting process. Any equipment that is needed for the completion of these vehicles will be added to the 2022-2023 budget.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5211	58510	4 - 2023 Chevy Tahoes (PPV)	146,000
100	5211	58510	1 - 2023 Chevy Tahoe (SSV)	39,500
100	5211	58510	1 - 2023 Chevy Traverse	32,000
100	5411	58510	1 - 2023 Chevy 1 Ton Cab Chassis	47,500
100	5411	58510	1 - 2023 Chevy 3/4 Ton	34,000
			Total General Fund Adjustments	299,000
			TOTAL	299,000

REQUEST FORM - MID YEAR BUDGET AMENDMENT

FISCAL YEAR 2022

RANK	1	OF	2	REQUEST:	BALLISTIC VEST REIMBURSEMENT	DEPARTMENT:	POLICE
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New Request: No

New personnel? No

Salary Grade: N/A

Funds already expensed? Yes

Change Level of current personnel?	From:	To:

PURPOSE/OBJECTIVE OF REQUEST:

Allocation of funds to the Wylie Police Department Wearing Apparel & Uniform account as reimbursement for the purchase of ballistic vests through the Ballistic Vest Program.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5211	52710	Wearing Apparel and Uniforms	2,800
100	4000	48410	LEOSE Reimbursement	(2,800)
			TOTAL	0

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	2	OF	2	REQUEST:	SEIZED FUNDS REIMBURSEMENT	DEPARTMENT:	POLICE
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New Request: Yes

New personnel? No

Salary Grade: N/A

Funds already expensed? Yes

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

Funds used to purchase PowerDMS software to forward, track, and maintain all departmental policies and directives. This software was needed to help comply with the Texas Police Chiefs Association Best Practices.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5211	52130	Tools and Equipment	10,399
TOTAL				10,399

ADDITIONAL COMMENTS:

Funds were originally transferred out of WPD Tools and Equipment account #100-5211-52130 into Computer Hard/Software account #100-5211-54810. The seized funds accumulated in assigned fund balance (100-3000-33430) will be reduced by \$10,399 with a journal entry. The seized funds are recognized when they are received and the balance is tracked with a subledger in Finance.

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	1	OF	2	REQUEST:	Increase Salary for Animal Control Officers	DEPARTMENT:	Animal Control
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New Request: Yes

New personnel? No

Salary Grade: 105 & 107

Funds already expensed? No

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

Over the past several months it has been hard getting good quality applicants to apply for an Animal Service Officer (ASO) positions. After reviewing all of the applications submitted, raising the starting pay by 5% would make the position more appealing and help increase the quality of applicants. In doing so, it is important to also maintain a distinct pay separation for those applying and the employees that have stuck with the City and worked through the staffing shortages. The request is to move the current employees to a range that is appropriate for their levels of experience, training, and tenure.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5251	51110	Salary Increase for Animal Control Officers	8,388
100	5251	51310	TMRS	1,300
100	5251	51440	FICA	520
100	5251	51450	Medicare	122
TOTAL				10,330

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	2	OF	2	REQUEST:	TRANSFER OF DONATED FUNDS	DEPARTMENT:	Animal Control
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New Request: Yes

New personnel? No

Salary Grade: N/A

Funds already expensed? Yes

Change Level of current personnel?

From:

To:

PURPOSE/OBJECTIVE OF REQUEST:

Monetary donations were received from citizens and local business through Pet Data Licensing. The request is to increase the Animal Control Tools & Equipment account to purchase Kuranda bedding with these donations.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5251	52130	Tools & Equipment	1,400
TOTAL				1,400

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT

FISCAL YEAR 2022

RANK	1	OF	1	REQUEST:	Hiring Process/Driver/Captain Promotional Process	DEPARTMENT:	Fire
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New Request:	Yes	New personnel?	No	Salary Grade:	N/A
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Funds already expensed?	Partially	Change Level of current personnel?	From:	To:
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PURPOSE/OBJECTIVE OF REQUEST:

WFR continues to grow and implement the station 4 staffing plan. In addition, we have had some unexpected openings that has resulted in our promotional lists being exhausted. This request will allow us to start the hiring process now for the final 6 station 4 firefighter positions allowing us to have the new firefighters ready to start on October 1. This allows the new employees orientation to be completed and placed on shift before the city closes for the holidays. It will also provide funding for us to complete the Captains process and give a Drivers test. The details are listed below.

ACCOUNT NO.			DESCRIPTION	AMOUNT
Project #1				
100	5231	51130	Agility overtime	1,450
100	5231	51130	Interviews for 2 days	4,590
100	5211	PD OT	Backgrounds to Mark Johnson	14,685
100	5231	56040	Psychiatric	1,935
100	5231	56040	Pre-employment physical	5,000
Project #2				
100	5231	56040	Captain Assessment Center Fee	3,750
100	5231	51130	ASsessment Center Overtime	2,720
Project #3				
100	5231	56040	Driver Test	3,000
			TOTAL	37,130

ADDITIONAL COMMENTS:

Project #1: Written exam, physical agility, interviews, complete 6 backgrounds, 6 physicals and 6 psychiatric testings. All conducted over the summer to have the 6 hired on October 3, 2022. Project #2: Conduct a Captain Assessment Center for an unexpected Captain opening. Project #3 Conduct a Driver Test to establish an eligibility list for the the position of Driver/Engineer.

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	1	OF	3	REQUEST:	Assistant Communications Manager	DEPARTMENT:	Communications - Fire
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New Request: Yes New personnel? Yes Salary Grade: 112

Funds already expended? No Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

Our communications manager has announced her retirement effective November 2022. She was hired in September 2005 and promoted to manager in 2011. Replacing her will be a huge undertaking. Overall she has over 35 years in public safety and has been instrumental in many of the achievements of our communications division as well as developing the division into the outstanding professional organization it is today. The request is for an assistant communications manager at mid-year. This person will be hired as the future manager. Starting the process in May will allow us to open the position this fiscal year giving us ample time to find the right person for the job. Once hired there will be an opportunity for an overlap period to ensure a smooth transition.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5241	51110	Assistant Manager 1/2 Salary	46,000
100	5241	51310	TMRS	7,130
100	5241	51410	Hospital and Life Insurance	7,524
100	5241	51440	FICA	442
100	5241	51450	Medicare	103
TOTAL				61,199

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	2	OF	3	REQUEST:	Dispatcher	DEPARTMENT:	Communications - Fire
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New Request: Yes New personnel? Yes Salary Grade: Comm - Step 0

Funds already expensed? No Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

We were notified by one of our staff in early March that she will be resigning in August. She will be returning to Utah where she is from to be closer to kids and other family. This dispatcher was hired in 2017. Her five years of experience will be missed and coupled with other departures could put us with a very inexperienced shift. This request will provide mid-year funding to hire the replacement now. Hiring a replacement now will allow us to get the new dispatcher started on training before this dispatcher departs.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5241	51110	Dispatcher 1/2 year salary	24,308
100	5241	51135	FLSA Overtime	3,356
100	5241	51310	TMRS	4,288
100	5241	51410	Hospital and Life	7,524
100	5241	51440	FICA	1,715
100	5241	51450	Medicare	401
TOTAL				41,592

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT

FISCAL YEAR 2022

RANK	3	OF	3	REQUEST:	LEOSE REIMBURSEMENT	DEPARTMENT:	Communications - Fire
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New Request: No

New personnel? No

Salary Grade: N/A

Funds already expensed? Yes

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

Reallocation of reimbursed funds to the Travel & Training Accounts for Wylie Fire & Rescue Telecommunicator for an annual allocation payment from Law Enforcement Officer Standards and Education. The Comptroller is directed by the Occupations Code, Section 1701.157 to make an annual allocation from the LEOSE account to qualified law enforcement agencies for expenses related to the continuing education of persons licensed under Chapter 1701, Occupations Code, which includes telecommunicators. By law these funds must be used for the continuing education of persons licensed under Chapter 1701, Occupations Code. The total funds allocated are \$4,151.26

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5241	56210	Travel and Training	4,151
100	4000	48410	Miscellaneous Income	(4,151)
			TOTAL	0

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	1	OF	2	REQUEST:	Replace items for Quiet Zone designation	DEPARTMENT:	100-5411 (Streets)
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New Request: Yes

New personnel? N/A

Salary Grade: _____

Funds already expensed? Yes

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

In late 2021, the city had an inspection performed of our Quiet Zones by a Railroad Safety Inspector. During this inspection, several railroad crossings were found to be in need of repairs. In order to maintain our Quiet Zone designation, unforeseen items needed to be replaced. Funds were used from the Street Signs and Markings Budget Line Item. This request is to replace those funds that were used for this project.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5411	54250	Street Signs and Markings	30,570
TOTAL				30,570

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	2	OF	2	REQUEST:	Overtime	DEPARTMENT:	100-5411 (Streets)
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New Request: Yes

New personnel? N/A

Salary Grade: _____

Funds already expensed? No

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

During the winter storm this year, the Streets Department expended \$8,245 from their overtime budget. Only \$307 is currently available in this line item for the remainder of the 2022 budget year. The request of \$4,000 will allow the Streets Department to cover City events already planned. It also leaves a small cushion for any additional weather emergencies.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	5411	51130	Overtime	8,300
TOTAL				8,300

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	1	OF	2	REQUEST:	Catholic Foundation Donation	DEPARTMENT:	Library
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New Request: Yes

New personnel? No

Salary Grade: _____

Funds already expensed? No

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

To transfer the donation received from the Rita & Truett Smith Catholic Fondation to the library's budget to purchase tables for the conference room.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	4000	48440	Contributions and Donations	(5,779)
100	5551	52130	Tools & Equipment	5,779
TOTAL				0

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	2	OF	2	REQUEST:	Collin County Interlocal Agreement	DEPARTMENT:	Library
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New Request: Yes

New personnel? No

Salary Grade: _____

Funds already expensed? No

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

To transfer the donation received from the Collin County Interlocal Agreement to the library's budget to purchase tables for the conference room.

ACCOUNT NO.			DESCRIPTION	AMOUNT
100	4000	43510	County Library Grants	(6,868)
100	5551	52130	Tools & Equipment	6,868
TOTAL				0

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT

FISCAL YEAR 2022

RANK	1	OF	2	REQUEST: WSRC Renovation design and engineering	DEPARTMENT: Parks and Recreation
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New Request:	Yes	New personnel?	no	Salary Grade:
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Funds already expensed?	No	Change Level of current personnel?	From:	To:
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PURPOSE/OBJECTIVE OF REQUEST:

The City Council approved the use of General Fund Fund Balance for renovations to the Wylie Senior Recreation Center in the current Fiscal Year. The proposed design and engineering costs for the renovation are recommended by staff to be used from the 4B Fund Balance, similar to the Dog Park and Splash Pad projects. The design and engineering funds will be used for the senior center improvements discussed with the City Council including restroom improvements, safety enhancements, and cosmetic updates.

ACCOUNT NO.			DESCRIPTION	AMOUNT
112	5613	58570	Design and Engineering for WSRC renovation	\$222,065
			TOTAL	\$222,065

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	2	OF	2	REQUEST:	SRC - Glass Block Payment	DEPARTMENT:	Parks and Recreation
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New Request: No

New personnel? N

Salary Grade: _____

Funds already expensed? Yes

Change Level of current personnel? From: n/a To: n/a

PURPOSE/OBJECTIVE OF REQUEST:

In the 20-21 budget year, Wylie Senior Recreation Center received funding to remove the glass window blocks and replace them with glass panels. This project was completed before the end of the fiscal year. The final invoice from the vendor arrived after the close of the fiscal year so the payment was processed from the new fiscal year (funds were not budgeted for this project in the new fiscal year).

ACCOUNT NO.			DESCRIPTION	AMOUNT
112	5613	54910	Buildings	18,533
TOTAL				18,533

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	1	OF	1	REQUEST:	Emergency Repairs to Newport Harbor	DEPARTMENT:	Water
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New Request: Yes

New personnel?

Salary Grade: _____

Funds already expensed?

No

Change Level of current personnel?

From:

To:

PURPOSE/OBJECTIVE OF REQUEST:

This mid-year budget amendment request is to cover emergency expenditure repairs to the Newport Harbor Ground Storage tank; which was damaged during high winds and rainstorms in November 2021. The Newport Harbor Pump Station sustained damage to the fence, automatic gate entrance, and the exterior of the 1.5 MG ground storage tank. The insurance claim funds did cover the cost to repair the fence and the gate entirely, but the amount that was allocated for the tank will not cover the expenditures for the tank repairs. Three quotes were received.

ACCOUNT NO.			DESCRIPTION	AMOUNT
611	5712	54310	Utility Plant Water	130,000
TOTAL				130,000

ADDITIONAL COMMENTS:

REQUEST FORM - MID YEAR BUDGET AMENDMENT**FISCAL YEAR 2022**

RANK	1	OF	1	REQUEST:	Public Works Reorganization	DEPARTMENT:	Various
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New Request: Yes

New personnel? No

Salary Grade: _____

Funds already expensed? Yes

Change Level of current personnel? From: To:

PURPOSE/OBJECTIVE OF REQUEST:

With council approval, the decision has been made to reorganize Public Works and Engineering. In December, the Council approved adding an Assistant City Engineer and a Development Engineer. As with all other industries, filling these positions has been difficult. Beginning February 21, Public Works and Engineering was split. Tim Porter has been reassigned as the City Engineer. The City Engineer Department will be reopened under Fund 611 with the appropriate employee salaries moved here. The Development Engineer position is still being recruited. Tommy Weir was promoted to Public Works Director from Superintendent. The Superintendent position has been eliminated. Joel Piper was promoted from Streets Supervisor to Streets Manager and the Assistant Public Works Superintendent position was renamed to Utilities Manager.

ACCOUNT NO.	DESCRIPTION	AMOUNT
Personnel Expense	Utility Administration	(443,085)
Miscellaneous Expense	Utility Admin - remove Assistant City Engineer	(7,710)
Personnel Expense	Engineering	447,538
	Total Utility Fund	(3,257)
Personnel Expense	Streets - remove Public Works Superintendent	(71,272)
	Total General Fund	(71,272)
TOTAL		(74,529)

ADDITIONAL COMMENTS:



Wylie City Council

AGENDA REPORT

Department: Parks and Recreation
 Prepared By: Carmen Powlen

Account Code: _____

Subject

Discuss Wylie Recreation Center Operations.

Recommendation

Discussion

Wylie City Council has requested additional information as a follow-up to the February 22, 2022, City Council meeting, regarding Wylie Recreation Center operations. The Council has asked for additional information regarding the population and resident use: pass data, visitor information, revenues, and expenses. The requested information will help the Council determine the next steps in regards to Center revenues and expenditures.

Financial Summary/Strategic Goals

Strategic Goals: *Health, Safety and Well-Being; Community Focused Government; Planning Management.*

City Council Presentation April 12, 2022

Wylie Recreation Center Slides

Wylie Recreation Center

A Follow-up to the February 22, 2022 Wylie City

April 12, 2022, Presented by: Carmen Powlen, Recreation Division Manager, City of Wylie Parks and Recreation Department

- Where we are.
- Where we want to go.
- How we can get there.

Where we are.

Shared Concerns, Worries, and Fears

- Does the expense of operating the Rec Center prevent aquatics or hinder park projects?
- What pass fee increases make sense without becoming non-competitive?
- How do we maintain reduced pass rates for seniors?
- How are we going to reach new residents?
- How do we keep pace with the cost of goods and services?
- Are the dollars spent to operate WRC proportionate to the number of residents receiving service from those dollars?

Where we want to go.

Shared Wishes and Vision

- Funds to be available for future parks and recreation services and projects.
- Effective and competitive user fees.
- Inclusive user fees that pay special attention to seniors.
- Reach new users with the population increase.
- Keep pace with the rising cost of goods and services.
- Allocate proportionately to residents served.

Where we want to go.

Shared Wishes and Vision

- Recreation Attendance
- Resident Customers and 4B Comparison
- DRAFT - Pass Fees

How we can get there.

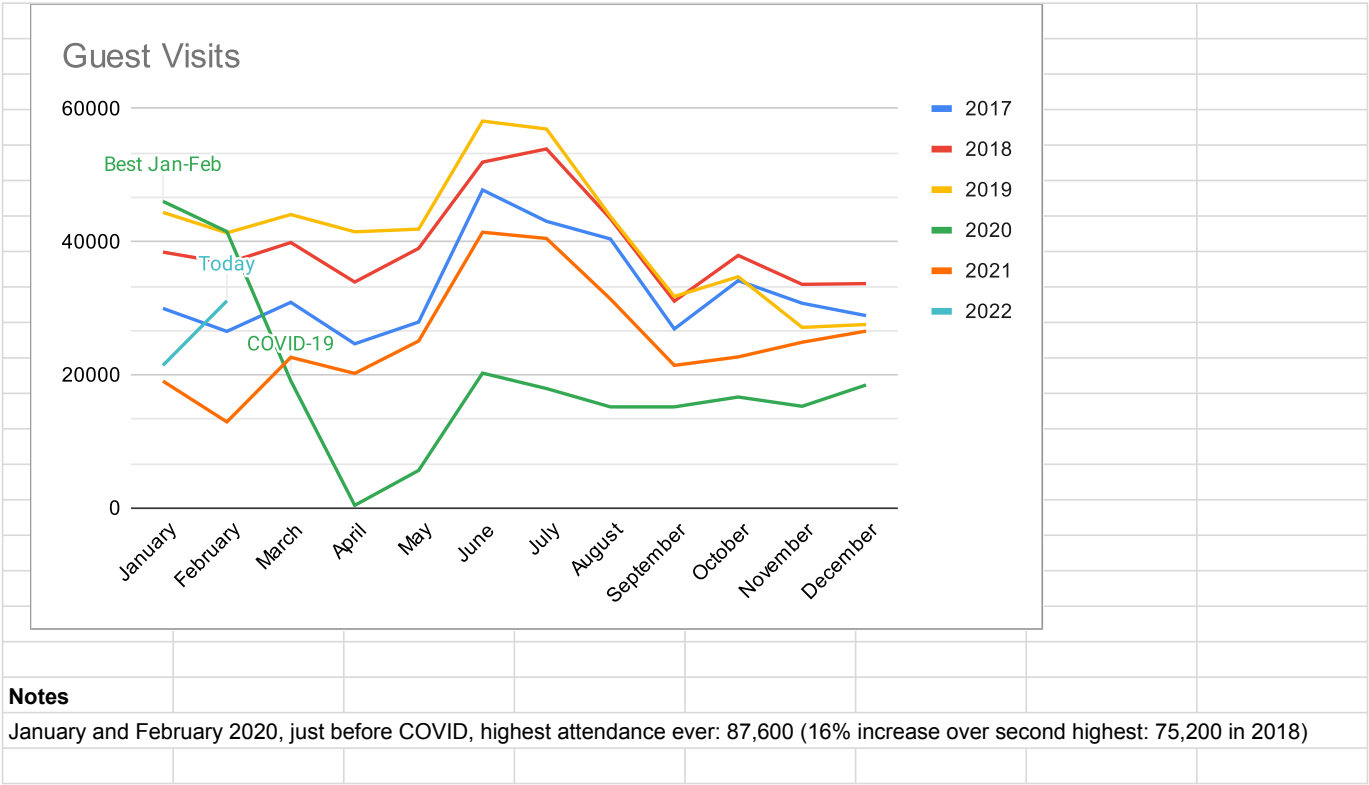
Options and Alternatives

- Consider establishing max 4B contribution rather than recovery rate.
- Activated Steps and Plans

Questions?

Wylie Rec Center Resident Customers and 4B Comparison

			Actual FY 18 - 19	Actual FY 19 - 20	Actual FY 20 - 21	Budgeted FY 21 - 22	YTD	YTD Dates
	Residents Only?	% of Total - All Products	Very good year for programs	1. COVID 2. Pass Sales Suspended 3/9 - 9/30/2020	1. COVID 2. Pop. +10%	COVID Increased All Programs and Areas to Normal Capacity March 2022		
Wylie Population			51,182	52,422	57,526	60,876	60,876	
Population Increase			3%	2%	10%	6%		
Activity Participants	Y		846	490	792	850	727	3/23/2022
Group Exercise Participants	Y		312	218	119	225	47	Fall 2021 only
Event Participants	Y		2,408	1,519	952	1,600	2,122	3/1/2022
Renters	Y		95	48	31	60	24	3/7/2022
Reservation Participants	Y		3,130	1,590	1,201	2,000	633	3/7/2022
Subtotal - Not Passes	Y	51%	6,791	2,275	1,894	2,735	2,920	
Percent of Population - Not Passes	Y		13%	4%	3%	4%	5%	
Subtotal - Passes Only	Y	49%	6,565	3,573	4,922	4,550	2,501	3/7/2022
Percent of Population - Passes Only			13%	7%	9%	7%	4%	
Total Residents - All Products	Y		13,356	5,848	6,816	7,285	5,421	
Percent of Population - All Products	Y		26%	11%	12%	12%	9%	
% of 4B Fund Used at WRC	Y		24%	42%	23%	32%	32%	
Res Change From Previous FY	Y			-56.21%	16.55%	6.88%	-20.47%	
Resident Visits	Y		298,763	158,685	187,394	223,000	92,100	March 2022
Res Visit Change From Previous FY	Y			-46.89%	18.09%	19.00%	-50.85%	
Subtotal - Expenses - Not Passes (est.)	N	41%	\$737,945.00					
Subtotal - Expenses - Passes Only (est.)	N	59%	\$1,040,404.00					
Total Expenses - All Products	N		\$1,778,349.00	\$1,806,238.00	\$1,712,334.00	\$1,957,538.00	\$770,309.50	3/20/2022
Subtotal - Revenue - Not Passes	N	30%	\$264,981.25	\$26,982.75	\$229,752.08	\$169,750.00	\$158,634.09	3/20/2022
Subtotal - Revenue - Passes Only	N	67%	\$605,636.75	\$190,558.25	\$436,472.92	\$400,000.00	\$190,558.25	3/20/2022
Total Revenue - All Products	N		\$870,618.00	\$217,541.00	\$666,225.00	\$569,750.00	\$349,192.34	3/31/2022
4B Revenue	N		\$3,811,518.00	\$3,808,499.00	\$4,590,966.00	\$4,361,416.00	\$1,313,287.87	3/11/2022
4B Revenue Contribution	N		\$907,731.00	\$1,588,697.00	\$1,046,109.00	\$1,387,788.00	\$421,117.16	
% of Total Expenses subsidized by 4B Revenue Contribution	N		51%	88%	61%	71%	55%	
User Fee Recovery Rate	N		49%	12%	39%	29%	45%	
FY 2017 - 2018 Population			49,485					
Notes								
All YTD data has varied dates due to end dates and access to data.								
Less than 1% of Res UUs participate in more than more program area.								
FY 18 - 19 is our baseline year. This is largely the year used for the PROs consultation and fee recommendations in the that report.								
Actual Expense FY 19 - 20 includes COVID related expenses.								
Pass sales were suspended 3/9/2020 - 9/30/2020 due to COVID-related reduction in services.								
From PROs Report: The tax subsidy per experience/visit \$2.82.								
Population increase 16% during COVID. 19% since our best program year FY 18 - 19.								
The Subtotal - Expenses - Passes Only (est.) if pulled from the PROs report.								



DRAFT - Rec Pass Fees												
Rec Pass	Current Fee	Passes Sold	Total	61% Cost Recovery Scenario Year One Fee	Change from Previous	Total	61% Cost Recovery Scenario Year Two Fee	Change from Previous	Total	61% Cost Recovery Scenario Year Three Fee	Change from Previous	Total
Non Resident 1 Month Auto Renew Adult	\$27	137	\$3,699	\$35	30%	\$4,795	\$40	14%	\$5,480	\$45	13%	\$6,165
Non Resident 1 Month Auto Renew Family	\$50	260	\$13,000	\$65	30%	\$16,900	\$75	15%	\$19,500	\$85	13%	\$22,100
Non Resident 1 Month Auto Renew Youth	\$14	134	\$1,876	\$20	43%	\$2,680	\$25	25%	\$3,350	\$30	20%	\$4,020
Non Resident 1 Month Auto Renew Senior	\$14	112	\$1,568	\$20	43%	\$2,240	\$25	25%	\$2,800	\$30	20%	\$3,360
Non Resident 1 Month Adult	\$27	637	\$17,199	\$35	30%	\$22,295	\$40	14%	\$25,480	\$45	13%	\$28,665
Non Resident 1 Month Family	\$50	393	\$19,650	\$65	30%	\$25,545	\$75	15%	\$29,475	\$85	13%	\$33,405
Non Resident 1 Month Youth	\$14	937	\$13,118	\$20	43%	\$18,740	\$25	25%	\$23,425	\$30	20%	\$28,110
Non Resident 1 Month Senior	\$14	545	\$7,630	\$20	43%	\$10,900	\$25	25%	\$13,625	\$30	20%	\$16,350
Non Resident 1 Year Adult	\$225	42	\$9,450	\$275	22%	\$11,550	\$300	9%	\$12,600	\$325	8%	\$13,650
Non Resident 1 Year Family	\$405	121	\$49,005	\$450	11%	\$54,450	\$500	11%	\$60,500	\$550	10%	\$66,550
Non Resident 1 Year Youth	\$135	34	\$4,590	\$150	11%	\$5,100	\$175	17%	\$5,950	\$200	14%	\$6,800
Non Resident 1 Year Senior	\$135	147	\$19,845	\$150	11%	\$22,050	\$175	17%	\$25,725	\$200	14%	\$29,400
Resident 1 Month Auto Renew Adult	\$22	305	\$6,710	\$30	36%	\$9,150	\$35	17%	\$10,675	\$40	14%	\$12,200
Resident 1 Month Auto Renew Family	\$40	394	\$15,760	\$45	13%	\$17,730	\$50	11%	\$19,700	\$55	10%	\$21,670
Resident 1 Month Auto Renew Youth	\$10	265	\$2,650	\$20	100%	\$5,300	\$25	25%	\$6,625	\$30	20%	\$7,950
Resident 1 Month Auto Renew Senior	\$10	322	\$3,220	\$15	50%	\$4,830	\$20	33%	\$6,440	\$30	50%	\$9,660
Resident 1 Month Adult	\$22	1925	\$42,350	\$30	36%	\$57,750	\$35	17%	\$67,375	\$40	14%	\$77,000
Resident 1 Month Family	\$40	1245	\$49,800	\$45	13%	\$56,025	\$50	11%	\$62,250	\$55	10%	\$68,475
Resident 1 Month Youth	\$10	2307	\$23,070	\$20	100%	\$46,140	\$25	25%	\$57,675	\$30	20%	\$69,210
Resident 1 Month Senior	\$10	1225	\$12,250	\$15	50%	\$18,375	\$20	33%	\$24,500	\$30	50%	\$36,750
Resident 1 Year Adult	\$175	236	\$41,300	\$200	14%	\$47,200	\$225	13%	\$53,100	\$275	22%	\$64,900
Resident 1 Year Family	\$325	548	\$178,100	\$350	8%	\$191,800	\$375	7%	\$205,500	\$450	20%	\$246,600
Resident 1 Year Youth	\$105	75	\$7,875	\$120	14%	\$9,000	\$125	4%	\$9,375	\$150	20%	\$11,250
Resident 1 Year Senior	\$105	378	\$39,690	\$120	14%	\$45,360	\$125	4%	\$47,250	\$150	20%	\$56,700
			\$583,405			\$705,905			\$798,375			\$940,940
					Change From Current	21%			37%			61%



Wylie City Council

AGENDA REPORT

Department: Planning
 Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Discuss a proposed development of for-rent single-family style homes, a hotel, and commercial uses on approximately 25 acres located on Country Club Road 1200' north of Brown Street.

Recommendation

Discussion.

Discussion

The applicant is seeking input from the City Council regarding the proposed development of 270+ single family style rental homes, a hotel, and 10,000 sq. ft. of commercial space on approximately 25 acres north of and adjacent to Fire Station #2.

City Staff conducted a cursory review and commented as follows:

- Parks - Consider a trailhead/connection on the southwest corner of the property.
- Engineering - A TIA will be needed. The 2018 Thoroughfare map shows a collector in this area.
- Planning - Add detail to commercial space. Provide development schedule for residential and commercial.

P&Z Commission Discussion

The Commissioners discussed the project favorably while recommending replacing the proposed hotel with more commercial space, maximizing parking (minimum of 2.0 per unit), and considering environmental design options.

Financial Summary/Strategic Goals



urbana
FLEXIBLE YARDHOME® LIVING





Single Family Cottage Developer | JV of Urban Moment and Bain Capital Real Estate | Texas focused; Austin based

URBANMOMENT

- Multi-state Real Estate Developer
- Homebuilder (Mesquite Homes)

 **BainCapital**
REAL ESTATE

- Well respected equity firm with deep real estate experience
- Over last ten years has invested \$4B in 400 assets

The Urbana YardHome®

A Creative Alternative



- Single Family Cottages
- Affordable Missing Middle Housing with Backyards
- The Flexibility of an Apartment and the Freedom of a Single Family Home

- Amenities like Class A Apartments with a pool, dog park, outdoor fitness, etc.
- Each unit has a minimum 250 sf fenced backyard
- Ideal Infill and Transitional Development



The Missing Middle

Apartments



Single-Family Homes

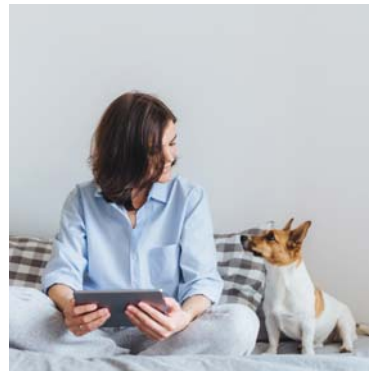


Urbana YardHomes®

- Single Family Living at Reasonable Pricing
- Providing our Essential Workers and Others Who Make \$55-100K per Year a Home, a Backyard and a Lifestyle.
- Transitional Housing Providing Buffering and Mixed-Use Opportunities.

Typical Urbana Residents

Urbana provides Missing Middle Housing



Urbana Sample Projects

Austin: Goodnight Ranch — Master-Planned Community

151 Units / 13 acres / Stabilized

Kyle: Plum Creek — Master-Planned Community

144 Units / 12 acres / Leasing Phase 1

Round Rock: Meadow Lake — PUD Zoned

240 Units / 50 acres / Entitlement

Austin: Braker Ln — PUD Zoned

280 units / 24 acres / Entitlement

Pflugerville: Cameron — PUD Zoned

300 units / 96 acres / Entitlement

Hutto: Cottonwood Creek — PUD Zoned

300 Units / 43 acres / Entitlement

Denton: Bonnie Brae — PUD Zoned

250 Units / 26 acres / Entitlement

San Antonio: Alamo Ranch — Master-Planned Community

275 Units / 27 acres / Feasibility



Appropriate Architecture

- YardHome® floorplans are paired with an architectural style that complements surrounding neighborhood and conforms to architectural guidelines
- Exterior materials and paint color schemes are specific to each project and selected with stakeholder input.



1 Story Duplex: 1 Bed | 1 Bath (49%)

1 Story: 2 Bed | 2 Bath (15%)

2 Story: 2 Bed | 2.5 Bath (26%)

2 Story: 3 Bed | 2 Bath (10%)



Unit Mix		
Unit Type	Units	sqft
A-1 (1x1x1) Duplex	25	60
A-2 (1x1.5x1) Duplex	22	44
A-3 (1x1.5x2) Duplex	9	0
A-4 (1x1x2) Duplex	23	46
Total A Units - XX Requested	79	140
B-1 (2x2x1) Single	22	22
B-2 (2x2x1) Single	22	22
B-3 (2x2.5x2) Single	42	42
B-4 (2x2.5x2) Duplex	17	34
Total B Units - XX Requested	103	120
C-1 (3x2x1) Single	0	0
C-2 (3x2x2) Single	30	30
C-3 (3x2x2) Duplex	0	0
Total C Units - XX Requested	0	30
Total (XX Requested)	173	290

Parking	
Item	Qty
Parking Stalls	500
Garages	72
Total (Requested X.X Avg.)	572

Commercial Frontage – Hotel, Retail, & Amenity Center

Typical YardHome® Floor Plans

1 Story Duplex
1 Bed - 1 Bath
633 sq. ft.



1 Story
2 Bed - 2 Bath
971 sq. ft.



2 Story
2 Bed - 2.5 Bath
1,223 sq. ft.



2 Story
3 Bed - 2.5 Bath
1,383 sq. ft.



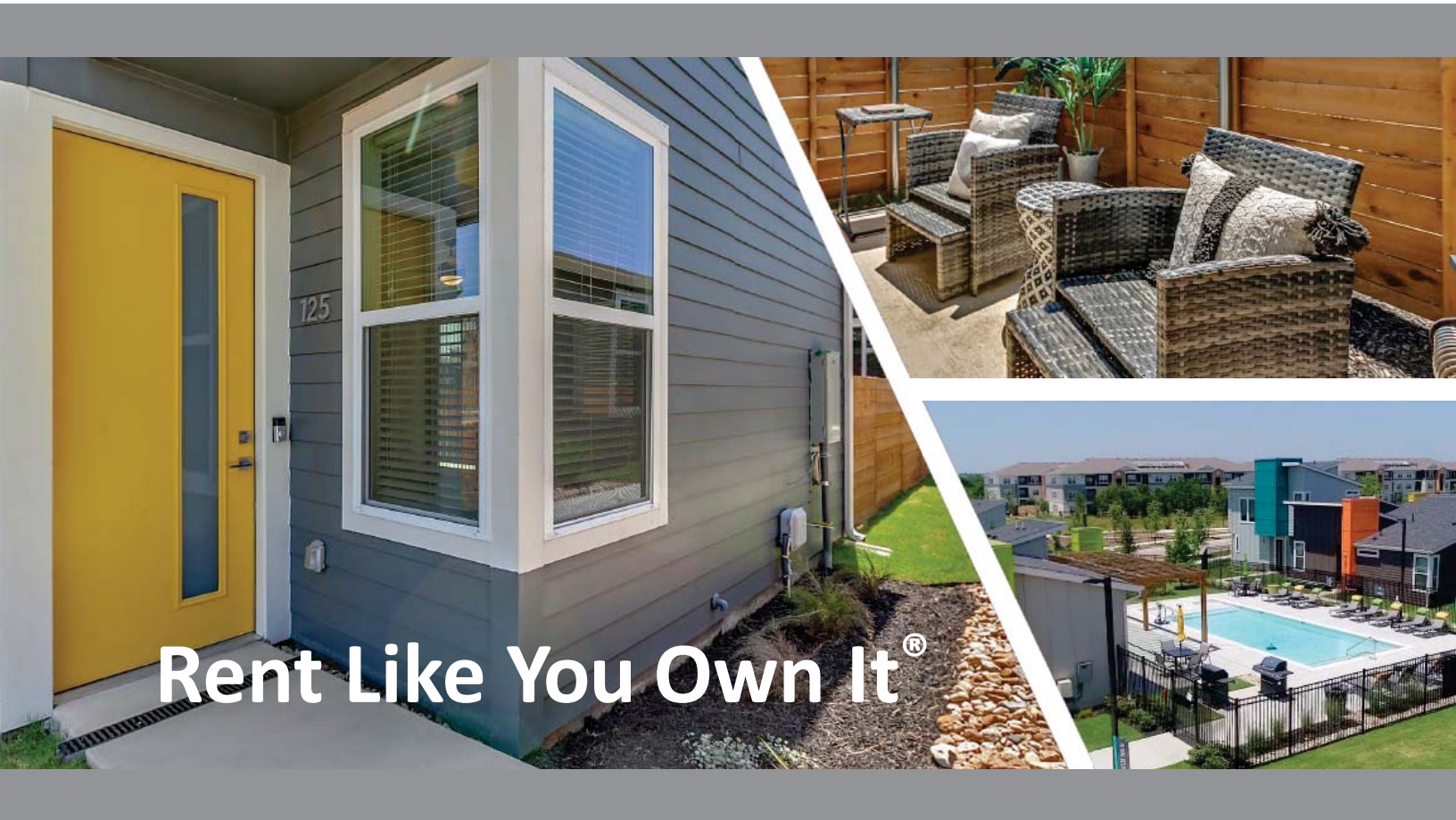


Neighbor Social Space

Ellipse Park









Jim Campbell
520-237-4404
JC@UrbanMoment.com

Felipe Castillo
214-405-5939
FC@UrbanMoment.com

Office
3755 S. Capital of Texas Hwy, Suite 100
Austin, TX 78704

Web
UrbanaYardHomes.com
UrbanMoment.com

65' EASEMENT ALIGNED WITHING
NORTHERN PROPERTY BOUNDARY



The Urbana Lifestyle

Spend more time living.

- **Digital Package** with Wi-Fi, Spectrum Cable, Smart Doorbells, etc.
- **Outdoor Living** with Community Pool, Trails, Dog Park and Personal Backyard
- **Convenience** with 24 Hour Maintenance, Valet Trash and Covered Carports/Garages





Wylie City Council

AGENDA REPORT

Department: Public Art Account Code: _____
 Prepared By: C. Ehrlich

Subject

Presentation regarding the selection process and theme for the Municipal Complex Walking Trails.

Recommendation

Discussion

As part of the Parks and Rec master plan, the Public Arts Advisory Board and Wylie Parks and Recreation Board have recommended moving forward with a project to place art along the Municipal Complex walking trails to celebrate the "History of the Blackland Prairie."

The multi-year project, with 1-2 sites chosen each year, will depict the rich history of the Blackland Prairie which once was a prominent feature of our landscape, including the Municipal Complex Grounds. The art will provide a history over the past 15,000 years including Native Americans who camped and hunted in the area. Installations will also include animals that live on our grounds and those that no longer roam the area like Bison. Prairie grasses and flowers that grow in the area may also be depicted.

The project will be funded from special events revenue. Plaques will be placed at each site explaining the history behind each piece of art. Otocast will provide audio information from the artist that can be downloaded by visitors to take a virtual tour.

The project will begin by presenting a "Call for Artist" to design and fabricate a park entry piece of art. This will be located at the fork in the trail behind City Hall. Completion is scheduled for mid-2023.

Financial Summary/Strategic Goals

CITY OF WYLIE PUBLIC ART PROGRAM



Public Art

WHY PUBLIC ART?

- The Impulse to create makes us human
- Records our history
- Creates a sense of “place”
- Builds community
- Inspires- engages and evokes emotional response



Wylie Public Art Program Funding

- Established in June 13, 2006
- An annual designation of 1% of all CIP Projects are designated for Public Art
- With no CIP Yearly Project available, event funds are used to further the art projects

Duties of the Wylie Public Art Advisory Board

- Make recommendations to the City Council through a Public Arts Guidelines Plan for the commission and placement of artwork
- Appointment of all art committees and processes used in the “Call for Artists”
- Provide Community Events to raise funding for Public Art

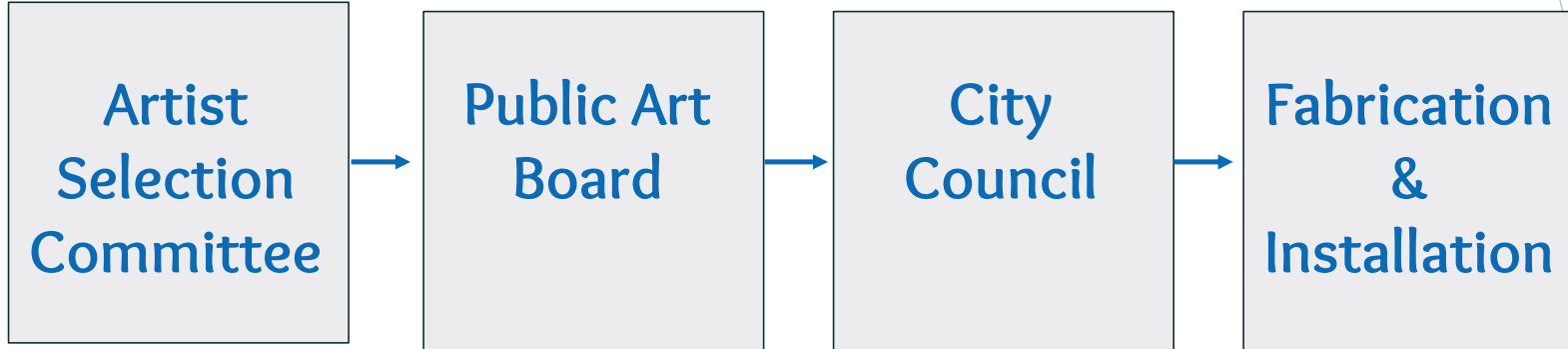
How It Works

- City Council authorizes capital project/budget or the board chooses public property to install art.
- Public Art Board defines project budget, parameters, and selection process and provides
- A “Call for Artists”
- Public Art Board appoints an Artist Selection Committee
- Committee reviews all submissions and chooses 2-3 semi-finalists. They each propose designs (maquettes) for the actual project

Typical Artist Selection Committees

- One member of the Public Art Board
- Stakeholders - Parks, Public Safety, etc.
- Residents - Community leaders/citizens
- Those with art and/or design backgrounds
- Those with experience in Public Art
- Project manager and architect often serve as Ex-officio members

Multi-Tiered Process

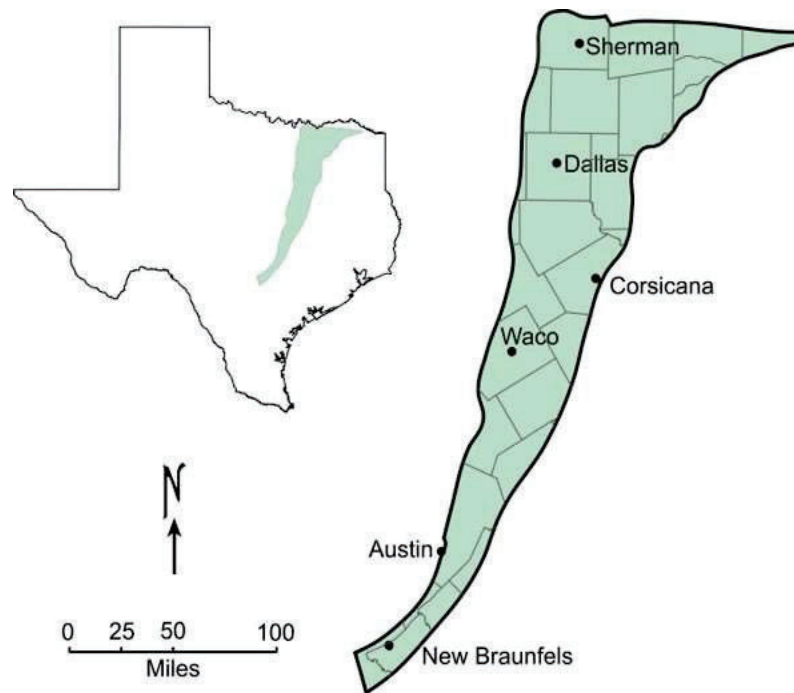


MUNICIPAL COMPLEX WALKING TRAILS THEME

► History of the Blackland Prairie

History of the Blackland Prairie

Proposal and Theme for the Municipal Walking Trails



Trail Art Beginning Point



Installed CIP Project

Municipal Complex Walking Trails - Country Club/FM 544



- “Entwine”
- Artist - Michael Szabo
- 33-foot tall
Brushed Stainless
Steel/Rich Brushed
Bronze Patina Finish

Installed CIP Project

Municipal Complex Walking Trails - West Brown Street



- “Prairie Crossing”
- Artist - Michael Szabo
- 50 feet across/10 feet tall stainless steel/rich textured bronze arch over a bench



Blackland Prairie Plants

Little Bluestem



Yellow Indiangrass



Blackland Prairie Plants

Gayfeathers



Asters



Maximilian Sunflower



Wild Indigos



Blackland Prairie Animals

American Bison



Texas Grey Wolf



Jaguar



Grey Fox



Blackland Prairie Animals

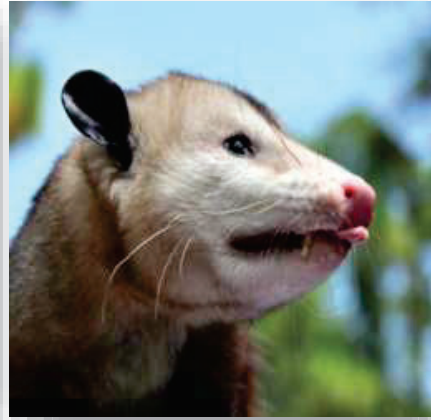
Texas Horned Lizard



Prairie Rattlesnake



Opossum



Coyote



Blackland Prairie Animals

White Tailed Deer



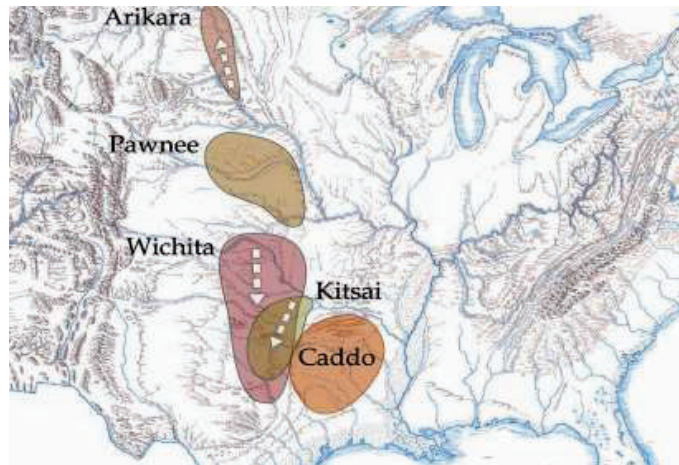
Striped Skunk



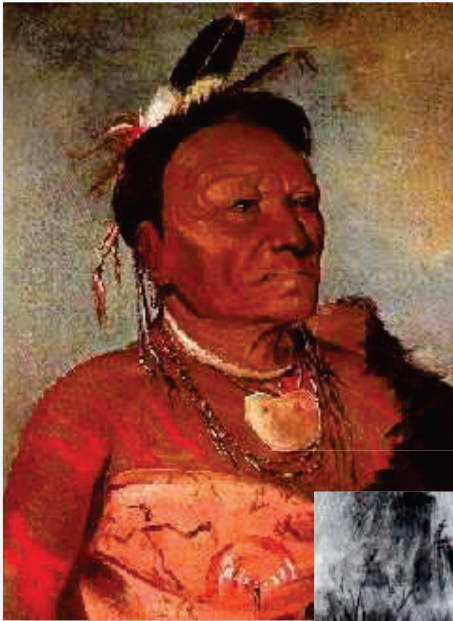
Blackland Prairie Native American Tribes

Hunter-gatherers contributed to the formation and expansion of the prairie through controlled burns to make more land suitable for hunting bison and other game.

Native American Tribes inhabited the prairie back 15,000 years ago. They included the Caddo, Wichita, Waco, Tonkawa, and Comanche [tribes], each of whom were gradually replaced by settled society.”



Wichita Tribe



Waco Indian Tribe



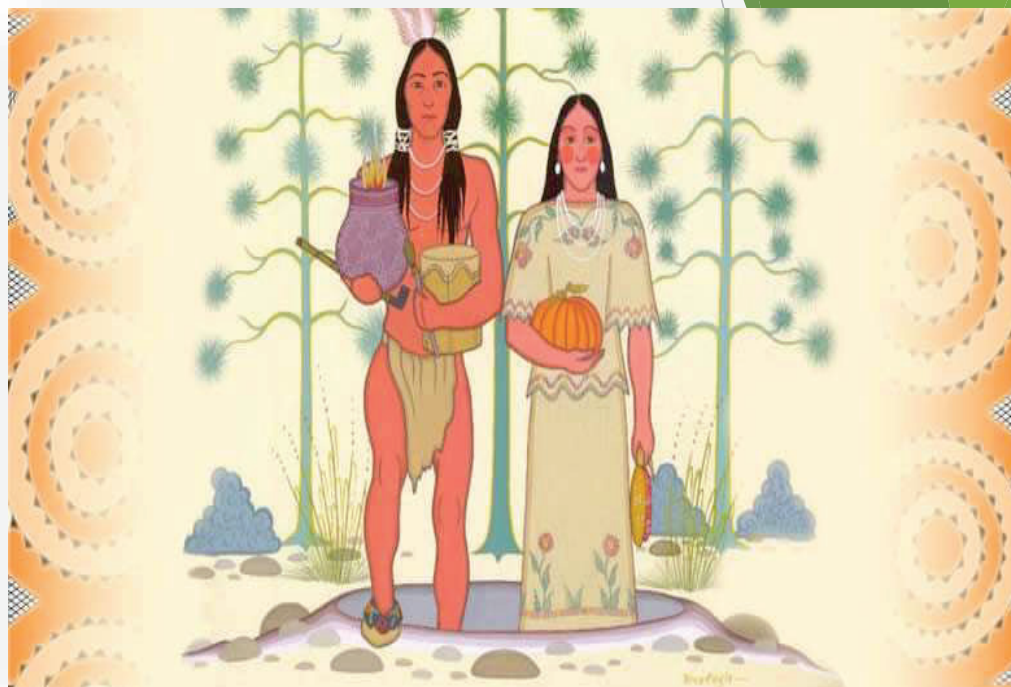
Tonkawa Indian Tribe



Kitsai (Kichai) Tribe



Caddo Tribe





Wylie City Council

AGENDA REPORT

Department: Finance
Prepared By: Melissa Beard

Account Code: _____

Subject

Present an overview of the FY 2023 Budget and discuss the FY 2023-2032 Future Years Budget Projections.

Recommendation

Discussion

Please see attached document.

Financial Summary/Strategic Goals

Budget Work Session Fiscal Year 2022-2023

April 12, 2022

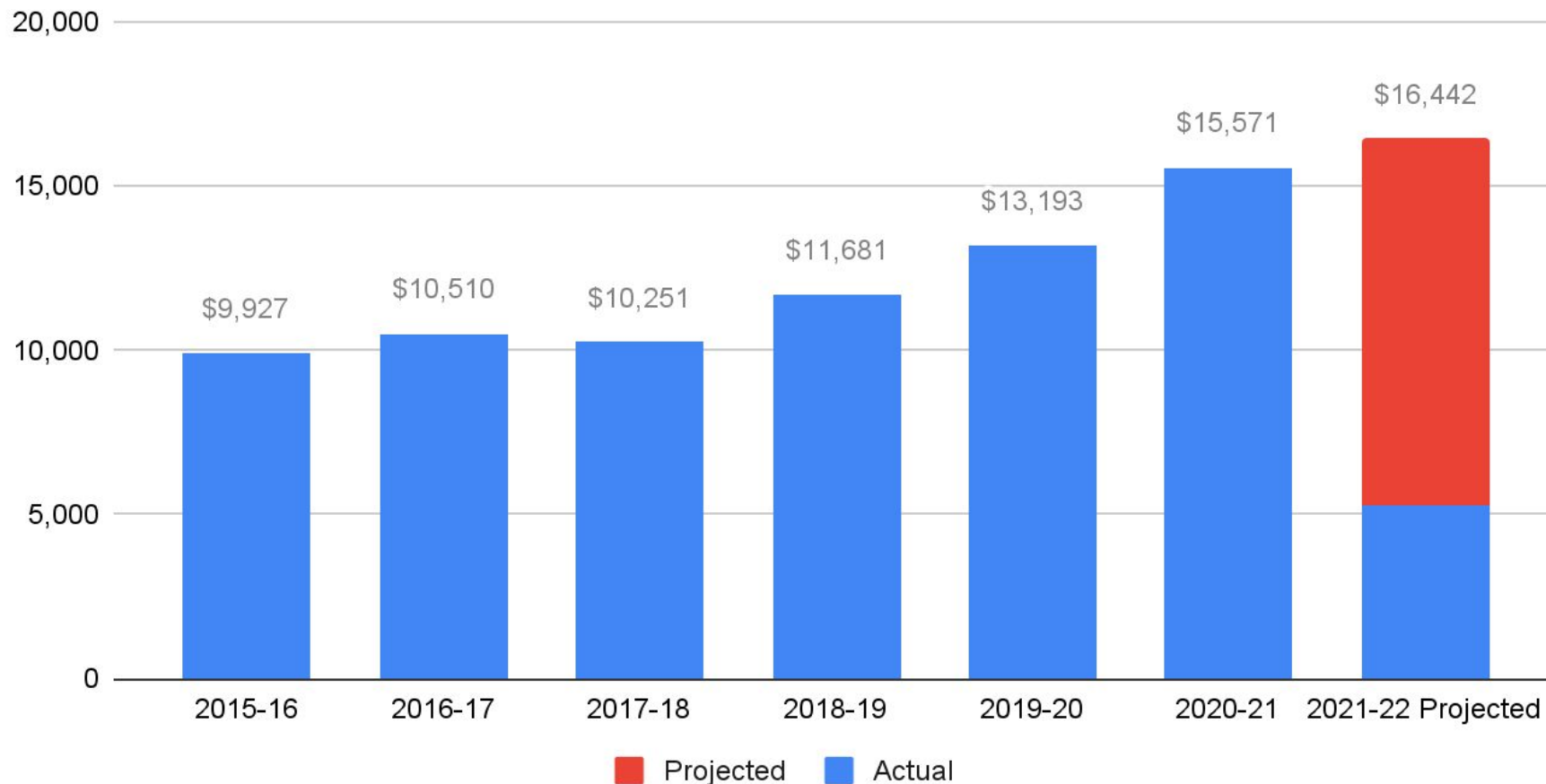
General Fund FY 2021 and FY 2022

	Audited 09/30/2021	Projected 09/30/2022
Audited General Fund Unassigned Beginning Fund Balance	21,914,768	30,403,003
Revenues	48,700,176	46,336,368
Transfers In	2,619,892	2,488,645
Total Revenues	51,320,068	48,825,013
Expenditures	42,559,058	49,719,183
Transfers Out	272,775	7,006,672
Total Expenditures	42,831,833	56,725,855
Unassigned Ending Fund Balance	30,403,003	22,502,161

Assessed Property Valuations

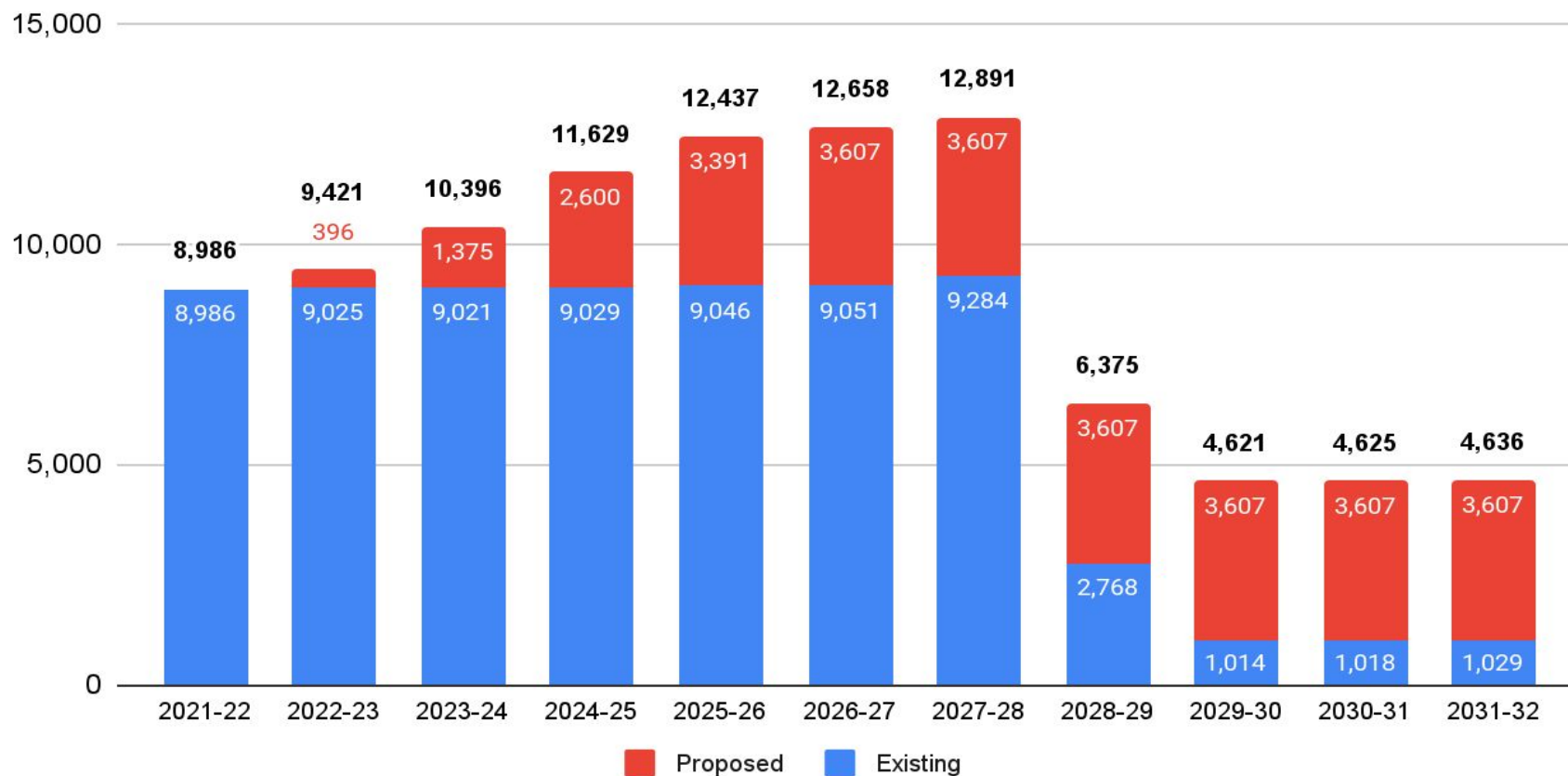
- FY 2022 Taxable Values \$5.9 billion - Expect an average of 25-30% increase for average home appraisals
- Certified taxable value estimate from appraisal districts available April 30
- Factors impacting taxable values for 2022
 - Low supply and high demand of residential properties
 - Increasing land value
 - Building material costs continue to rise

Total Annual Sales Tax Receipts (in 000's)



2021-22 Projected amount is Oct - Jan actual collected sales tax plus a 5% increase on 2020-21 Feb - Sep actuals.

Property Tax Supported Debt Service Expenditures (in 000's)



Existing amounts reflect current debt obligations as of 10/01/2021

Proposed amounts include the issuance of all debt approved in the November 2021 Bond Election

Factors for Consideration

FY 2022-2023 Budget

- **REVENUES**

- New Construction Value of \$100 million will generate additional revenue of \$650k
- FY 2022 General Fund Sales Tax is budgeted at \$7.58m (current projection is \$8.22m)
- Additional stimulus money (\$3m - American Rescue Plan)

- **EXPENSES**

- Remaining Station 4 Staffing
- Health Insurance
- GF Step/Merit
- Operating Expenses - 1.5% growth

General Fund FY 2023 Budget Projections

Projected Revenues (NNR Tax Rate plus rate to cover new debt)	\$ 50,416,745
Personnel Expense	\$ 33,604,470 2.0% Growth
Operating Expense	\$ 16,515,597 1.5% Growth
Base Budget	<u>\$ 50,120,067</u>
Personnel Requests	
Public Safety	\$ 1,065,000
Other	<u>\$ 229,000</u>
	\$ 1,294,000
Recurring Capital Expense (Vehicles, Etc)	\$ 600,000
New Requests - One Time Expense	\$ 500,000
Total Expenditures	\$ 52,514,067
Revenue less Expenditures	\$ (2,097,322)

BASIC ASSUMPTIONS FOR THE FUTURE YEARS BUDGET PROJECTIONS FOR THE FISCAL YEAR PERIODS 2023 - 2032

INCLUDES GENERAL FUND ONLY

REVENUES

Property tax revenue is based on estimated taxable assessed value and the projected tax rate for each fiscal year. The City's estimated certified value is projected to grow at a rate of 4.00% for FY 2023-2032. The projected tax rate is the lesser of the No New Revenue Tax Rate plus the calculated rate needed to cover the issuance of new debt or the Voter Approval Rate.

Franchise Fees are conservatively indexed at 2%, which is slightly less than the five year trend.

Licenses and Permits revenue is projected to decrease 5% each year based on the trend from last couple of years.

Intergovernmental Revenue is indexed at 2.5%.

Service Fees are indexed at 3%.

Fines and Forfeitures are indexed at 0%.

Interest is indexed at 1% for FY 2023-2032.

Miscellaneous Income is indexed 0%.

Transfers from Other Funds is indexed at 3%.

EXPENDITURES

Personnel expense is indexed at 2% per year.

All other expenses are projected to increase 1.5% per year.

One time costs are removed from FY 2022 budget before the 1.5% increase is calculated for future expenditures. Vehicle replacements were removed from department operating expense in FY 2023-2032 and included as a separate recurring item to be split between departments as needed.

One-time requests are included at \$500,000 each year.

All requested personnel additions are included in the expenditure projection.

City of Wylie, Texas
Future Years Budget Projections
For the Fiscal Year Periods 2023 - 2032

GENERAL ASSUMPTIONS	FY 2020-21	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	FY 2031-32
Total Property Tax Revenue (M&O and I&S)	\$ 35,349,912	\$ 36,838,809	\$ 38,440,850	\$ 40,238,100	\$ 42,243,177	\$ 43,447,881	\$ 44,078,320	\$ 44,490,703	\$ 39,365,039	\$ 39,052,059	\$ 39,429,491	\$ 39,807,775
Property Values	\$ 4,881,647,453	\$ 5,289,616,023	\$ 5,471,487,585	\$ 5,657,662,701	\$ 5,848,016,383	\$ 6,042,388,929	\$ 6,240,581,567	\$ 6,442,351,618	\$ 6,647,407,151	\$ 6,855,401,051	\$ 7,065,924,468	\$ 7,278,499,560
Total Tax Rate	0.671979	0.643751	0.649343	0.657423	0.667961	0.664029	0.650626	0.634198	0.535037	0.511711	0.499237	0.487240

GENERAL FUND

Estimated M&O Tax Rate per \$100	0.5122	0.4919	0.4884	0.4846	0.4797	0.4684	0.4574	0.4434	0.4482	0.4531	0.4423	0.4459
	ACTUAL	PROJECTED	PROJECTED	PROJECTED	PROJECTED	PROJECTED	PROJECTED	PROJECTED	PROJECTED	PROJECTED	PROJECTED	PROJECTED
	FY 2020-21	FY 2021-22	FY 2022-23	FY 2023-24	FY 2024-25	FY 2025-26	FY 2026-27	FY 2027-28	FY 2028-29	FY 2029-30	FY 2030-31	FY 2031-32
BEGINNING FUND BALANCE	\$ 21,914,768	\$ 30,403,003	\$ 21,963,678	\$ 19,406,357	\$ 16,296,824	\$ 12,632,394	\$ 8,219,794	\$ 3,126,103	\$ (2,550,611)	\$ (7,166,334)	\$ (10,792,804)	\$ (14,676,630)
TOTAL REVENUES	\$ 48,700,175	\$ 46,316,770	\$ 47,393,441	\$ 48,483,030	\$ 49,517,639	\$ 50,199,851	\$ 50,915,500	\$ 51,424,651	\$ 53,672,951	\$ 55,683,662	\$ 56,465,929	\$ 58,401,947
Transfers from Other Funds	2,619,891	2,488,645	2,563,304	2,640,203	2,719,410	2,800,992	2,885,022	2,971,572	3,060,719	3,152,541	3,247,117	3,344,531
TOTAL REVENUES & TRANSFERS-IN	\$ 51,320,066	\$ 48,805,415	\$ 49,956,745	\$ 51,123,234	\$ 52,237,049	\$ 53,000,843	\$ 53,800,521	\$ 54,396,224	\$ 56,733,670	\$ 58,836,204	\$ 59,713,047	\$ 61,746,478
TOTAL EXPENDITURES	\$ 42,559,056	\$ 50,238,068	\$ 52,514,067	\$ 54,232,767	\$ 55,901,479	\$ 57,413,443	\$ 58,894,213	\$ 60,072,937	\$ 61,349,393	\$ 62,462,673	\$ 63,596,873	\$ 64,752,389
Use of Fund Balance	-	-	-	-	-	-	-	-	-	-	-	-
Transfers to Other Funds	272,775	7,006,672	-	-	-	-	-	-	-	-	-	-
TOTAL EXPENDITURES & TRANSFERS-OUT	\$ 42,831,831	\$ 57,244,740	\$ 52,514,067	\$ 54,232,767	\$ 55,901,479	\$ 57,413,443	\$ 58,894,213	\$ 60,072,937	\$ 61,349,393	\$ 62,462,673	\$ 63,596,873	\$ 64,752,389
ENDING FUND BALANCE	\$ 30,403,003	\$ 21,963,678	\$ 19,406,357	\$ 16,296,824	\$ 12,632,394	\$ 8,219,794	\$ 3,126,103	\$ (2,550,611)	\$ (7,166,334)	\$ (10,792,804)	\$ (14,676,630)	\$ (17,682,541)
FUND BALANCE - % OF EXPENDITURES	71.44%	43.72%	36.95%	30.05%	22.60%	14.32%	5.31%	-4.25%	-11.68%	-17.28%	-23.08%	-27.31%
EXCESS FUND BALANCE (OVER 30%)	17,635,287	6,892,258	3,652,137	26,994	(4,138,049)	(9,004,239)	(14,542,161)	(20,572,492)	(25,571,152)	(29,531,606)	(33,755,692)	(37,108,258)

Future Year Budget Projections
For the Fiscal Year Periods 2023-2032

GENERAL FUND

	BUDGET FY 2022	% CHG	PROJECTED FY 2023	% CHG	PROJECTED FY 2024	% CHG	PROJECTED FY 2025	% CHG	PROJECTED 2026	% CHG	PROJECTED 2027	% CHG	PROJECTED 2028	% CHG	PROJECTED 2029	% CHG	PROJECTED 2030	% CHG	PROJECTED 2031	% CHG	PROJECTED 2032	% CHG
REVENUES BY SOURCE																						
PROPERTY TAXES	28,142,536	3.6%	28,889,335	2.7%	29,637,212	2.6%	30,318,175	2.3%	30,634,707	1.0%	30,972,524	1.1%	31,091,566	0.4%	32,937,338	5.9%	34,532,952	4.8%	34,887,389	1.0%	36,382,669	4.3%
SALES TAX (1)	7,609,932	-2.3%	7,762,131	2.0%	7,917,373	2.0%	8,075,721	2.0%	8,237,235	2.0%	8,401,980	2.0%	8,570,019	2.0%	8,741,420	2.0%	8,916,248	2.0%	9,094,573	2.0%	9,276,465	2.0%
FRANCHISE FEES	2,896,800	7.4%	2,954,736	2.0%	3,013,831	2.0%	3,074,107	2.0%	3,135,589	2.0%	3,198,301	2.0%	3,262,267	2.0%	3,327,513	2.0%	3,394,063	2.0%	3,461,944	2.0%	3,531,183	2.0%
LICENSES AND PERMITS	1,079,430	-15.6%	1,025,459	-5.0%	974,186	-5.0%	925,476	-5.0%	879,202	-5.0%	835,242	-5.0%	793,480	-5.0%	753,806	-5.0%	716,116	-5.0%	680,310	-5.0%	646,295	-5.0%
INTERGOVERNMENTAL REV.	2,128,034	-57.2%	2,181,235	2.5%	2,235,766	2.5%	2,291,660	2.5%	2,348,951	2.5%	2,407,675	2.5%	2,467,867	2.5%	2,529,564	2.5%	2,592,803	2.5%	2,657,623	2.5%	2,724,063	2.5%
SERVICE FEES	4,008,588	-5.1%	4,128,846	3.0%	4,252,711	3.0%	4,380,292	3.0%	4,511,701	3.0%	4,647,052	3.0%	4,786,464	3.0%	4,930,058	3.0%	5,077,959	3.0%	5,230,298	3.0%	5,387,207	3.0%
FINES AND FORFEITURES	248,950	-14.3%	248,950	0.0%	248,950	0.0%	248,950	0.0%	248,950	0.0%	248,950	0.0%	248,950	0.0%	248,950	0.0%	248,950	0.0%	248,950	0.0%	248,950	0.0%
INTEREST INCOME	25,000	37.2%	25,250	1.0%	25,503	1.0%	25,758	1.0%	26,015	1.0%	26,275	1.0%	26,538	1.0%	26,803	1.0%	27,071	1.0%	27,342	1.0%	27,616	1.0%
MISCELLANEOUS INCOME	177,500	-36.3%	177,500	0.0%	177,500	0.0%	177,500	0.0%	177,500	0.0%	177,500	0.0%	177,500	0.0%	177,500	0.0%	177,500	0.0%	177,500	0.0%	177,500	0.0%
OTHER FINANCING SOURCES	2,488,645	-5.0%	2,563,304	3.0%	2,640,203	3.0%	2,719,410	3.0%	2,800,992	3.0%	2,885,022	3.0%	2,971,572	3.0%	3,060,719	3.0%	3,152,541	3.0%	3,247,117	3.0%	3,344,531	3.0%
TOTAL REVENUES	48,805,415	-4.9%	49,956,745	2.4%	51,123,234	2.3%	52,237,049	2.2%	53,000,843	1.5%	53,800,521	1.5%	54,396,224	1.1%	56,733,670	4.3%	58,836,204	3.7%	59,713,047	1.5%	61,746,478	3.4%

EXPENDITURES BY DEPARTMENT

CITY COUNCIL - Operations	97,257	72.6%	97,257	0.0%	97,257	0.0%	97,257	0.0%	97,257	0.0%	97,257	0.0%	97,257	0.0%	97,257	0.0%	97,257	0.0%	97,257	0.0%	97,257	0.0%
CITY COUNCIL - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
CITY MANAGER - Operations	52,397	10.2%	53,183	1.5%	53,981	1.5%	54,790	1.5%	55,612	1.5%	56,446	1.5%	57,293	1.5%	58,153	1.5%	59,025	1.5%	59,910	1.5%	60,809	1.5%
CITY MANAGER - Personnel Services	1,478,094	36.2%	1,507,656	2.0%	1,537,809	2.0%	1,568,565	2.0%	1,599,936	2.0%	1,631,935	2.0%	1,664,574	2.0%	1,697,865	2.0%	1,731,823	2.0%	1,766,459	2.0%	1,801,788	2.0%
CITY MANAGER - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
CITY SECRETARY - Operations	130,724	-24.9%	132,685	1.5%	134,675	1.5%	136,695	1.5%	138,746	1.5%	140,827	1.5%	142,939	1.5%	145,083	1.5%	147,260	1.5%	149,469	1.5%	151,711	1.5%
CITY SECRETARY - Personnel Services	275,306	14.2%	280,812	2.0%	286,428	2.0%	292,157	2.0%	298,000	2.0%	303,960	2.0%	310,039	2.0%	316,240	2.0%	322,565	2.0%	329,016	2.0%	335,596	2.0%
CITY SECRETARY - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
CITY ATTORNEY - Operations	170,000	64.6%	172,550	1.5%	175,138	1.5%	177,765	1.5%	180,432	1.5%	183,138	1.5%	185,885	1.5%	188,674	1.5%	191,504	1.5%	194,376	1.5%	197,292	1.5%
CITY ATTORNEY - Personnel Services	-		-		-		-		-		-		-		-		-		-		-	
CITY ATTORNEY - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
FINANCE - Operations	436,440	15.3%	442,987	1.5%	449,631	1.5%	456,376	1.5%	463,222	1.5%	470,170	1.5%	477,222	1.5%	484,381	1.5%	491,646	1.5%	499,021	1.5%	506,506	1.5%
FINANCE - Personnel Services	874,107	4.0%	891,589	2.0%	909,421	2.0%	927,609	2.0%	946,162	2.0%	965,085	2.0%	984,386	2.0%	1,004,074	2.0%	1,024,156	2.0%	1,044,639	2.0%	1,065,532	2.0%
FINANCE - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
FACILITIES - Operations	608,660	32.8%	617,790	1.5%	627,057	1.5%	636,463	1.5%	646,010	1.5%	655,700	1.5%	665,535	1.5%	675,518	1.5%	685,651	1.5%	695,936	1.5%	706,375	1.5%
FACILITIES - Personnel Services	383,948	26.3%	391,627	2.0%	399,459	2.0%	407,449	2.0%	415,598	2.0%	423,910	2.0%	432,388	2.0%	441,036	2.0%	449,856	2.0%	458,853	2.0%	468,030	2.0%
FACILITIES - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
MUNICIPAL COURT - Operations	99,964	212.4%	101,463	1.5%	102,985	1.5%	104,530	1.5%	106,098	1.5%	107,690	1.5%	109,305	1.5%	110,945	1.5%	112,609	1.5%	114,298	1.5%	116,012	1.5%
MUNICIPAL COURT - Personnel Services	465,047	22.2%	474,348	2.0%	483,835	2.0%	493,512	2.0%	503,382	2.0%	513,449	2.0%	523,718	2.0%	534,193	2.0%	544,877	2.0%	555,774	2.0%	566,890	2.0%
MUNICIPAL COURT - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
HUMAN RESOURCES - Operations	125,285	-8.4%	127,164	1.5%	129,072	1.5%	131,008	1.5%	132,973	1.5%	134,968	1.5%	136,992	1.5%	139,047	1.5%	141,133	1.5%	143,250	1.5%	145,398	1.5%
HUMAN RESOURCES - Personnel Services	571,777	9.3%	583,213	2.0%	594,877	2.0%	606,774	2.0%	618,910	2.0%	631,288	2.0%	643,914	2.0%	656,792	2.0%	669,928	2.0%	683,326	2.0%	696,993	2.0%
HUMAN RESOURCES - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
PURCHASING - Operations	35,150	100.5%	35,677	1.5%	36,212	1.5%	36,756	1.5%	37,307	1.5%	37,867	1.5%	38,435	1.5%	39,011	1.5%	39,596	1.5%	40,190	1.5%	40,793	1.5%
PURCHASING - Personnel Services	266,469	49.8%	271,798	2.0%	277,234	2.0%	282,779	2.0%	288,435	2.0%	294,203	2.0%	300,087	2.0%	306,089	2.0%	312,211	2.0%	318,455	2.0%	324,824	2.0%
PURCHASING - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
INFORMATION TECHNOLOGY - Operations	1,475,829	21.0%	1,497,966	1.5%	1,520,436	1.5%	1,543,242	1.5%	1,566,391	1.5%	1,589,887	1.5%	1,613,735	1.5%	1,637,941	1.5%	1,662,510	1.5%	1,687,448	1.5%	1,712,760	1.5%
INFORMATION TECHNOLOGY - Personnel Services	585,291	10.5%	596,997	2.0%	608,937	2.0%	621,115	2.0%	633,538	2.0%	646,209	2.0%	659,133	2.0%	672,315	2.0%	685,762	2.0%	699,477	2.0%	713,466	2.0%
INFORMATION TECHNOLOGY - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
POLICE - Operations	1,169,801	23.9%	1,187,348	1.5%	1,205,158	1.5%	1,223,236	1.5%	1,241,584	1.5%	1,260,208	1.5%	1,279,111	1.5%	1,298,298	1.5%	1,317,772	1.5%	1,337,539	1.5%	1,357,602	1.5%
POLICE - Personnel Services	10,676,247	11.2%	10,889,772	2.0%	11,107,567	2.0%	11,329,719	2.0%	11,556,313	2.0%	11,787,439	2.0%	12,023,188	2.0%	12,263,652	2.0%	12,508,925	2.0%	12,759,103	2.0%	13,014,286	2.0%
POLICE - Cap/One-Time	338,340		-		-		-		-		-		-		-		-		-		-	
FIRE - Operations	1,470,311	9.7%	1,492,366	1.5%	1,514,751	1.5%	1,537,472	1.5%	1,560,535	1.5%	1,583,943	1.5%	1,607,702	1.5%	1,631,817	1.5%	1,656,294	1.5%	1,681,139	1.5%	1,706,356	1.5%
FIRE - Personnel Services	9,602,098	19.3%	9,794,140	2.0%	9,990,023	2.0%	10,189,823	2.0%	10,393,620	2.0%	10,601,492	2.0%	10,813,522	2.0%	11,029,792	2.0%	11,250,388	2.0%	11,475,396	2.0%	11,704,904	2.0%
FIRE - Cap/One-Time	754,840		-		-		-		-		-		-		-		-		-		-	
EMERGENCY COMM - Operations	718,517	21.3%	729,295	1.5%	740,234	1.5%	751,338	1.5%	762,608	1.5%	774,047	1.5%	785,658	1.5%	797,442	1.5%	809,404	1.5%	821,545	1.5%	833,868	1.5%
EMERGENCY COMM - Personnel Services	1,448,490	26.5%	1,477,460	2.0%	1,507,009	2.0%	1,537,149	2.0%	1,567,892	2.0%	1,599,250	2.0%	1,631,235	2.0%	1,663,860	2.0%	1,697,137	2.0%	1,731,080	2.0%	1,765,701	2.0%
EMERGENCY COMM - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	

Future Year Budget Projections
For the Fiscal Year Periods 2023-2032

GENERAL FUND

	BUDGET FY 2022	% CHG	PROJECTED FY 2023	% CHG	PROJECTED FY 2024	% CHG	PROJECTED FY 2025	% CHG	PROJECTED 2026	% CHG	PROJECTED 2027	% CHG	PROJECTED 2028	% CHG	PROJECTED 2029	% CHG	PROJECTED 2030	% CHG	PROJECTED 2031	% CHG	PROJECTED 2032	% CHG
ANIMAL CONTROL - Operations	82,379	70.3%	83,615	1.5%	84,869	1.5%	86,142	1.5%	87,434	1.5%	88,746	1.5%	90,077	1.5%	91,428	1.5%	92,799	1.5%	94,191	1.5%	95,604	1.5%
ANIMAL CONTROL - Personnel Services	532,891	46.8%	543,549	2.0%	554,420	2.0%	565,508	2.0%	576,818	2.0%	588,355	2.0%	600,122	2.0%	612,124	2.0%	624,367	2.0%	636,854	2.0%	649,591	2.0%
ANIMAL CONTROL - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
PLANNING - Operations	31,225	262.8%	31,693	1.5%	32,169	1.5%	32,651	1.5%	33,141	1.5%	33,638	1.5%	34,143	1.5%	34,655	1.5%	35,175	1.5%	35,702	1.5%	36,238	1.5%
PLANNING - Personnel Services	301,423	5.1%	307,451	2.0%	313,600	2.0%	319,872	2.0%	326,270	2.0%	332,795	2.0%	339,451	2.0%	346,240	2.0%	353,165	2.0%	360,228	2.0%	367,433	2.0%
PLANNING - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
BUILDING INSPECTION - Operations	36,788	81.1%	37,340	1.5%	37,900	1.5%	38,468	1.5%	39,045	1.5%	39,631	1.5%	40,226	1.5%	40,829	1.5%	41,441	1.5%	42,063	1.5%	42,694	1.5%
BUILDING INSPECTION - Personnel Services	571,791	3.9%	583,227	2.0%	594,891	2.0%	606,789	2.0%	618,925	2.0%	631,303	2.0%	643,930	2.0%	656,808	2.0%	669,944	2.0%	683,343	2.0%	697,010	2.0%
BUILDING INSPECTION - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
CODE ENFORCEMENT - Operations	41,607	382.4%	42,231	1.5%	42,865	1.5%	43,508	1.5%	44,160	1.5%	44,823	1.5%	45,495	1.5%	46,177	1.5%	46,870	1.5%	47,573	1.5%	48,287	1.5%
CODE ENFORCEMENT - Personnel Services	224,572	6.4%	229,063	2.0%	233,645	2.0%	238,318	2.0%	243,084	2.0%	247,946	2.0%	252,905	2.0%	257,963	2.0%	263,122	2.0%	268,384	2.0%	273,752	2.0%
CODE ENFORCEMENT - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
STREETS - Operations	3,470,698	110.1%	3,522,758	1.5%	3,575,600	1.5%	3,629,234	1.5%	3,683,672	1.5%	3,738,927	1.5%	3,795,011	1.5%	3,851,937	1.5%	3,909,716	1.5%	3,968,361	1.5%	4,027,887	1.5%
STREETS - Personnel Services	1,570,490	23.2%	1,601,900	2.0%	1,633,938	2.0%	1,666,617	2.0%	1,699,949	2.0%	1,733,948	2.0%	1,768,627	2.0%	1,803,999	2.0%	1,840,079	2.0%	1,876,881	2.0%	1,914,419	2.0%
STREETS - Cap/One-Time	128,500		-		-		-		-		-		-		-		-		-		-	
PARKS - Operations	1,388,635	8.8%	1,409,465	1.5%	1,430,606	1.5%	1,452,066	1.5%	1,473,847	1.5%	1,495,954	1.5%	1,518,394	1.5%	1,541,169	1.5%	1,564,287	1.5%	1,587,751	1.5%	1,611,568	1.5%
PARKS - Personnel Services	1,369,124	4.2%	1,396,506	2.0%	1,424,437	2.0%	1,452,925	2.0%	1,481,984	2.0%	1,511,624	2.0%	1,541,856	2.0%	1,572,693	2.0%	1,604,147	2.0%	1,636,230	2.0%	1,668,955	2.0%
PARKS - Cap/One-Time	150,000		-		-		-		-		-		-		-		-		-		-	
LIBRARY - Operations	403,237	1.8%	409,286	1.5%	415,425	1.5%	421,656	1.5%	427,981	1.5%	434,401	1.5%	440,917	1.5%	447,531	1.5%	454,243	1.5%	461,057	1.5%	467,973	1.5%
LIBRARY - Personnel Services	1,687,263	8.9%	1,721,008	2.0%	1,755,428	2.0%	1,790,537	2.0%	1,826,348	2.0%	1,862,875	2.0%	1,900,132	2.0%	1,938,135	2.0%	1,976,898	2.0%	2,016,435	2.0%	2,056,764	2.0%
LIBRARY - Cap/One-Time	120,000		-		-		-		-		-		-		-		-		-		-	
COMBINED SERVICES - Operations	4,228,057	-4.0%	4,291,478	1.5%	4,355,850	1.5%	4,421,188	1.5%	4,487,506	1.5%	4,554,818	1.5%	4,623,140	1.5%	4,692,488	1.5%	4,762,875	1.5%	4,834,318	1.5%	4,906,833	1.5%
COMBINED SERVICES - Personnel Services	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%	-	0.0%
COMBINED SERVICES - Cap/One-Time	-		-		-		-		-		-		-		-		-		-		-	
TRANSFERS OUT	7,006,672		-		-		-		-		-		-		-		-		-		-	
RECURRING CAP EXPENSES (VEHICLES, ETC)	-		600,000		600,000		600,000		600,000		600,000		600,000		600,000		600,000		600,000		600,000	
NEW REQUEST - PERSONNEL	60,541		1,356,354		2,157,936		2,892,420		3,452,721		3,964,063		4,155,259		4,425,742		4,514,257		4,604,542		4,696,633	
NEW REQUEST - ONE TIME EXPENSE	-		500,000		500,000		500,000		500,000		500,000		500,000		500,000		500,000		500,000		500,000	
TOTAL EXPENDITURES	57,716,282	35.3%	52,514,067	-9.0%	54,232,767	3.3%	55,901,479	3.1%	57,413,443	2.7%	58,894,213	2.6%	60,072,937	2.0%	61,349,393	2.1%	62,462,673	1.8%	63,596,873	1.8%	64,752,389	1.8%
Total Operations	16,272,961	22.20%	16,515,597	1.49%	16,761,872	1.49%	17,011,841	1.49%	17,265,560	1.49%	17,523,084	1.49%	17,784,472	1.49%	18,049,780	1.49%	18,319,068	1.49%	18,592,395	1.49%	18,869,822	1.49%
Total Personnel Services	32,884,428	15.68%	34,898,470	6.12%	36,370,895	4.22%	37,789,638	3.90%	39,047,884	3.33%	40,271,129	3.13%	41,188,466	2.28%	42,199,614	2.45%	43,043,606	2.00%	43,904,478	2.00%	44,782,568	2.00%

City of Wylie, Texas
For the Fiscal Year Periods 2023 - 2032
Property Tax Revenue & Debt Service Requirements

Est. \$72,000/yr per \$1,000,000 Issued

	BUDGET FY 2022	% CHG	PROJECTED FY 2023	% CHG	PROJECTED FY 2024	% CHG	PROJECTED 2025	% CHG	PROJECTED 2026	% CHG	PROJECTED 2027	% CHG	PROJECTED 2028	% CHG	PROJECTED 2029	% CHG	PROJECTED 2030	% CHG	PROJECTED 2031	% CHG	PROJECTED 2032	% CHG
Certified Values	5,784,834,012	8.8%	6,016,227,372	4.0%	6,256,876,467	4.0%	6,507,151,526	4.0%	6,767,437,587	4.0%	7,038,135,091	4.0%	7,319,660,494	4.0%	7,612,446,914	4.0%	7,916,944,791	4.0%	8,233,622,582	4.0%	8,562,967,485	4.0%
Total Frozen (Disabled/Over 65)	\$ 495,217,989	13.8%	\$ 544,739,788	10.0%	\$ 599,213,767	10.0%	\$ 659,135,143	10.0%	\$ 725,048,658	10.0%	\$ 797,553,523	10.0%	\$ 877,308,876	10.0%	\$ 965,039,763	10.0%	\$ 1,061,543,740	10.0%	\$ 1,167,698,114	10.0%	\$ 1,284,467,925	10.0%
Taxable Property Values (1)	\$ 5,289,616,023	8.4%	\$ 5,471,487,585	3.4%	\$ 5,657,662,701	3.4%	\$ 5,848,016,383	3.4%	\$ 6,042,388,929	3.3%	\$ 6,240,581,567	3.3%	\$ 6,442,351,618	3.2%	\$ 6,647,407,151	3.2%	\$ 6,855,401,051	3.1%	\$ 7,065,924,468	3.1%	\$ 7,278,499,560	3.0%
Existing Property	\$ 5,131,470,259	8.8%	\$ 5,321,487,585	3.7%	\$ 5,567,662,701	4.6%	\$ 5,765,516,383	3.6%	\$ 6,017,388,929	4.4%	\$ 6,215,581,567	3.3%	\$ 6,417,351,618	3.2%	\$ 6,622,407,151	3.2%	\$ 6,830,401,051	3.1%	\$ 7,040,924,468	3.1%	\$ 7,253,499,560	3.0%
New Commercial Property	\$ -	-100.0%	\$ -	0.0%	\$ -	0.0%	\$ -	0.0%	\$ 10,000,000	100.0%	\$ 10,000,000	0.0%	\$ 10,000,000	0.0%	\$ 10,000,000	0.0%	\$ 10,000,000	0.0%	\$ 10,000,000	0.0%	\$ 10,000,000	0.0%
New Residential Property	\$ 158,145,764	1.5%	\$ 150,000,000	-5.2%	\$ 90,000,000	-40.0%	\$ 82,500,000	-8.3%	\$ 15,000,000	-81.8%	\$ 15,000,000	0.0%	\$ 15,000,000	0.0%	\$ 15,000,000	0.0%	\$ 15,000,000	0.0%	\$ 15,000,000	0.0%	\$ 15,000,000	0.0%
Total New Property	\$ 158,145,764	-4.9%	\$ 150,000,000	-5.2%	\$ 90,000,000	-40.0%	\$ 82,500,000	-8.3%	\$ 25,000,000	-69.7%	\$ 25,000,000	0.0%	\$ 25,000,000	0.0%	\$ 25,000,000	0.0%	\$ 25,000,000	0.0%	\$ 25,000,000	0.0%	\$ 25,000,000	0.0%
Tax Rate / \$100	0.6438		0.6493		0.6574		0.6680		0.6640		0.6506		0.6342		0.5350		0.5117		0.4992		0.4872	
Tax Levy Existing Property	\$ 33,033,891		\$ 34,554,731		\$ 36,603,115		\$ 38,511,374		\$ 39,957,179		\$ 40,440,170		\$ 40,698,699		\$ 35,432,361		\$ 34,951,890		\$ 35,150,883		\$ 35,341,986	
TaX Levy New Property	\$ 1,018,065		\$ 974,015		\$ 591,681		\$ 551,067		\$ 166,007		\$ 162,656		\$ 158,549		\$ 133,759		\$ 127,928		\$ 124,809		\$ 121,810	
Total Tax Levy Freeze Adjusted	\$ 34,051,956	3.8%	\$ 35,528,746	4.3%	\$ 37,194,796	4.7%	\$ 39,062,442	5.0%	\$ 40,123,186	2.7%	\$ 40,602,827	1.2%	\$ 40,857,249	0.6%	\$ 35,566,120	-13.0%	\$ 35,079,817	-1.4%	\$ 35,275,692	0.6%	\$ 35,463,796	0.5%
Tax Levy - Frozen (Disabled / Over 65)	\$ 2,636,853	8.7%	\$ 2,762,104	4.8%	\$ 2,893,303	4.8%	\$ 3,030,735	4.8%	\$ 3,174,695	4.8%	\$ 3,325,493	4.8%	\$ 3,483,454	4.8%	\$ 3,648,918	4.8%	\$ 3,822,242	4.8%	\$ 4,003,798	4.8%	\$ 4,193,979	4.8%
Estimated Current Tax Collections	\$ 36,688,809	4.1%	\$ 38,290,850	4.4%	\$ 40,088,100	4.7%	\$ 42,093,177	5.0%	\$ 43,297,881	2.9%	\$ 43,928,320	1.5%	\$ 44,340,703	0.9%	\$ 39,215,039	-11.6%	\$ 38,902,059	-0.8%	\$ 39,279,491	1.0%	\$ 39,657,775	1.0%
Delinquent Tax	\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000		\$ 150,000	
Total Tax Collections	\$ 36,838,809	4.2%	\$ 38,440,850	4.3%	\$ 40,238,100	4.7%	\$ 42,243,177	5.0%	\$ 43,447,881	2.9%	\$ 44,078,320	1.5%	\$ 44,490,703	0.9%	\$ 39,365,039	-11.5%	\$ 39,052,059	-0.8%	\$ 39,429,491	1.0%	\$ 39,807,775	1.0%

DEBT SERVICE REQUIREMENTS

	PROJECTED FY 2022	% CHG	PROJECTED FY 2023	% CHG	PROJECTED FY 2024	% CHG	PROJECTED 2025	% CHG	PROJECTED 2026	% CHG	PROJECTED 2027	% CHG	PROJECTED 2028	% CHG	PROJECTED 2029	% CHG	PROJECTED 2030	% CHG	PROJECTED 2031	% CHG	PROJECTED 2032	% CHG
Existing Debt Payments	\$ 8,986,212	4.0%	\$ 9,024,937	0.4%	\$ 9,020,562	0.0%	\$ 9,029,131	0.1%	\$ 9,045,793	0.2%	\$ 9,050,994	0.1%	\$ 9,284,000	2.6%	\$ 2,767,993	-70.2%	\$ 1,013,787	-63.4%	\$ 1,018,037	0.4%	\$ 1,029,412	1.1%
Projected New Debt Payments	\$ -		\$ 396,000		\$ 1,375,200		\$ 2,599,200		\$ 3,391,200		\$ 3,607,200		\$ 3,607,200		\$ 3,607,200		\$ 3,607,200		\$ 3,607,200		\$ 3,607,200	
	\$ (289,825)		\$ 130,578		\$ 205,126		\$ 296,670		\$ 376,182		\$ 447,602		\$ 507,937		\$ 52,508		\$ (101,880)		\$ (83,135)		\$ (1,211,506)	
Total Debt Payments	\$ 8,696,387	8.1%	\$ 9,551,515	9.8%	\$ 10,600,888	11.0%	\$ 11,925,001	12.5%	\$ 12,813,175	7.4%	\$ 13,105,796	2.3%	\$ 13,399,137	2.2%	\$ 6,427,701	-52.0%	\$ 4,519,107	-29.7%	\$ 4,542,102	0.5%	\$ 3,425,106	-24.6%

GENERAL FUND (M&O)																						
Tax Levy Existing Property (2)	\$ 25,239,848	4.51%	\$ 25,989,323	2.97%	\$ 26,978,580	3.81%	\$ 27,655,992	2.51%	\$ 28,187,991	1.92%	\$ 28,430,282	0.86%	\$ 28,455,196	0.09%	\$ 29,678,888	4.30%	\$ 30,945,566	4.27%	\$ 31,139,888	0.63%	\$ 32,343,090	3.86%
Tax Levy New Property	\$ 777,862	-8.7%	\$ 732,577	-5.8%	\$ 436,103	-40.5%	\$ 395,735	-9.3%	\$ 117,111	-70.4%	\$ 114,351	-2.4%	\$ 110,853	-3.1%	\$ 112,040	1.1%	\$ 113,264	1.1%	\$ 110,567	-2.4%	\$ 111,474	0.8%
Tax Levy Freeze Adjusted	\$ 26,017,710	4.1%	\$ 26,721,900	2.7%	\$ 27,414,682	2.6%	\$ 28,051,728	2.3%	\$ 28,305,102	0.9%	\$ 28,544,633	0.8%	\$ 28,566,049	0.1%	\$ 29,790,927	4.3%	\$ 31,058,830	4.3%	\$ 31,250,455	0.6%	\$ 32,454,564	3.9%
Tax Levy - Frozen (Disabled / Over 65)	\$ 2,014,712	8.9%	\$ 2,077,435	3.1%	\$ 2,132,529	2.7%	\$ 2,176,448	2.1%	\$ 2,239,605	2.9%	\$ 2,337,891	4.4%	\$ 2,435,517	4.2%	\$ 3,056,410	25.5%	\$ 3,384,121	10.7%	\$ 3,546,933	4.8%	\$ 3,838,104	8.2%
Delinquent Tax	\$ 110,000	37.5%	\$ 90,000	-18.2%	\$ 90,000	0.0%	\$ 90,000	0.0%	\$ 90,000	0.0%	\$ 90,000	0.0%	\$ 90,000	0.0%	\$ 90,000	0.0%	\$ 90,000	0.0%	\$ 90,000	0.0%	\$ 90,000	0.0%
Total Tax Collections to M&O	\$ 28,142,422	4.5%	\$ 28,889,335	2.7%	\$ 29,637,212	2.6%	\$ 30,318,175	2.3%	\$ 30,634,707	1.0%	\$ 30,972,524	1.1%	\$ 31,091,566	0.4%	\$ 32,937,338	5.9%	\$ 34,532,952	4.8%	\$ 34,887,389	1.0%	\$ 36,382,669	4.3%
M&O Tax Rate / \$100	0.4919		0.4884		0.4846		0.4797		0.4684		0.4574		0.4434		0.4482		0.4531		0.4423		0.4459	
Percentage of Total Tax Rate	76.41%		75.21%		73.71%		71.81%		70.55%		70.30%		69.92%		83.76%		88.54%		88.59%		91.51%	

DEBT SERVICE (I&S)																						
Tax Levy Freeze Adjusted	\$ 8,034,246	3.0%	\$ 8,806,846	9.6%	\$ 9,780,114	11.1%	\$ 11,010,714	12.6%	\$ 11,818,084	7.3%	\$ 12,058,194	2.0%	\$ 12,291,200	1.9%	\$ 5,775,193	-53.0%	\$ 4,020,987	-30.4%	\$ 4,025,237	0.1%	\$ 3,009,232	-25.2%
Tax Levy - Frozen (Disabled / Over 65)	\$ 622,141	7.8%	\$ 684,669	10.1%	\$ 760,774	11.1%	\$ 854,288	12.3%	\$ 935,091	9.5%	\$ 987,602	5.6%	\$ 1,047,937	6.1%	\$ 592,508	-43.5%	\$ 438,120	-26.1%	\$ 456,865	4.3%	\$ 355,874	-22.1%
Delinquent Tax	\$ 40,000	0.0%	\$ 60,000	50.0%	\$ 60,000	0.0%	\$ 60,000	0.0%	\$ 60,000	0.0%	\$ 60,000	0.0%	\$ 60,000	0.0%	\$ 60,000	0.0%	\$ 60,000	0.0%	\$ 60,000	0.0%	\$ 60,000	0.0%
Total Tax Collections to I&S	\$ 8,696,387	3.3%	\$ 9,551,515	9.8%	\$ 10,600,888	11.0%	\$ 11,925,001	12.5%	\$ 12,813,175	7.4%	\$ 13,105,796	2.3%	\$ 13,399,137	2.2%	\$ 6,427,701	-52.0%	\$ 4,519,107	-29.7%	\$ 4,542,102	0.5%	\$ 3,425,106	-24.6%
I&S Tax Rate / \$100	0.1519		0.1610		0.1729		0.1883		0.1956		0.1932		0.1908		0.0869		0.0587		0.0570		0.0413	
Percentage of Total Tax Rate	23.59%		24.79%		26.29%		28.19%		29.45%		29.70%		30.08%		16.24%		11.46%		11.41%		8.49%	

Projected Tax Rate Needed to Support New Debt
(based on projected Taxable Value)

	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032
New Debt Issued	\$5,500,000	\$13,600,000	\$17,000,000	\$11,000,000	\$3,000,000						
CY Taxable Value	\$ 5,289,616,023	\$ 5,471,487,585	\$ 5,657,662,701	\$ 5,848,016,383	\$ 6,042,388,929	\$ 6,240,581,567	\$ 6,442,351,618	\$ 6,647,407,151	\$ 6,855,401,051	\$ 7,065,924,468	\$ 7,278,499,560
Est. Annual Debt Payment		\$396,000	\$979,200	\$1,224,000	\$792,000	\$216,000					
Rate Needed to Support New Debt		0.007238	0.017308	0.020930	0.013107	0.003461					

NO NEW REVENUE AND VOTER APPROVED TAX RATE CALCULATION
CALCULATOR - 10 Year Projection

Shaded Cells are Formulas (DO NOT DELETE)

SECTION 1: No New Revenue Tax Rate (No New Taxes)	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032
No New Revenue Tax Rate Activity	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate
1. Prior year total taxable values. Enter the amount of prior year taxable value on the prior year tax roll today. Include any adjustments since last year's certification; exclude Tax Code Section 25.25(d) one-third over-appraisal corrections from these adjustments. This total includes the taxable value of homesteads with tax ceilings (will deduct in Line 2) and the captured value from tax increment financing (will deduct taxes in Line 14).	\$5,331,184,711	\$5,776,721,965	\$6,007,790,844	\$6,248,102,478	\$6,498,026,577	\$6,757,947,640	\$7,028,265,546	\$7,309,396,167	\$7,601,772,014	\$7,905,842,895	\$8,222,076,610
2. Prior year tax ceilings. Counties, cities and junior college districts. Enter prior year total taxable value of homesteads with tax ceilings. These include the homesteads of homeowners age 65 or older or disabled. Other taxing units enter 0. If your taxing unit adopted the tax ceiling provision in a prior year for homeowners age 65 or older or disabled, use this step.	\$440,414,176	\$495,217,989	\$544,739,788	\$599,213,767	\$659,135,143	\$725,048,658	\$797,553,523	\$877,308,876	\$965,039,763	\$1,061,543,740	\$1,167,698,114
3. Preliminary prior year adjusted taxable value. Subtract Line 2 from Line 1.	\$4,890,770,535	\$5,281,503,976	\$5,463,051,056	\$5,648,888,711	\$5,838,891,433	\$6,032,898,982	\$6,230,712,022	\$6,432,087,292	\$6,636,732,251	\$6,844,299,155	\$7,054,378,497
4. Prior year total adopted tax rate.	\$0.671979	\$0.643751	\$0.649343	\$0.657423	\$0.667961	\$0.664029	\$0.650626	\$0.634198	\$0.535037	\$0.511711	\$0.499237
5. Prior year taxable value lost because court appeals of ARB decisions reduced prior year appraised value.											
A. Original prior year ARB Values.	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546	\$121,191,546
B. Prior year values resulting from final court descisions.	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478	\$111,831,478
C. Prior year value loss. Subtract B from A.	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068	\$9,360,068
6. Prior year taxable value lost because court appeals of ARB decisions reduced prior year											
A. Prior year ARB certified value	\$19,472,974	\$23,501,330	\$21,487,152	\$22,494,241	\$21,990,697	\$22,242,469	\$22,116,583	\$22,179,526	\$22,148,054	\$22,163,790	\$22,155,922
B. Prior year disputed value:	\$1,520,839	\$4,336,470	\$2,928,654	\$3,632,562	\$3,280,608	\$3,456,585	\$3,368,597	\$3,412,591	\$3,390,594	\$3,401,592	\$3,396,093
C. Prior year value loss. Subtract B from A.	\$17,952,135	\$19,164,861	\$18,558,498	\$18,861,679	\$18,710,088	\$18,785,884	\$18,747,986	\$18,766,935	\$18,757,461	\$18,762,198	\$18,759,829
7. Prior year 42-related adusted values. Add Line 5C and 6C	\$27,312,203	\$28,524,929	\$27,918,566	\$28,221,747	\$28,070,156	\$28,145,952	\$28,108,054	\$28,127,003	\$28,117,529	\$28,122,266	\$28,119,897
8. Prior year taxable value, adjusted for court-ordered reductions. Add Line 3 and Line 7.	\$4,918,082,738	\$5,310,028,905	\$5,490,969,622	\$5,677,110,458	\$5,866,961,590	\$6,061,044,934	\$6,258,820,076	\$6,460,214,294	\$6,664,849,779	\$6,872,421,421	\$7,082,498,394
9. Prior year taxable value of property or territory the taxing unit deannexed after Jan. 1 of the prior year. Enter the prior year value of property in deannexed territory.	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
10. Prior year taxable value lost because property first qualified for an exemption in current year. Note that lowering the amount or percentage of an existing exemption does not create a new exemption or reduce taxable value. If the taxing unit increased an original exemption, use the difference between the original exempted amount and the increased exempted amount. Do not include value lost to freeport or goods-in-transit exemptions.											
A. Absolute exemptions. Use prior year market value:	\$200,748	\$228,399	\$251,239	\$276,362	\$303,999	\$334,399	\$367,838	\$404,622	\$445,084	\$489,593	\$538,552
B. Partial exemptions. Current year exemption amount or Current year percentage exemption times prior year value:	\$6,086,799	\$6,571,886	\$6,795,825	\$7,026,199	\$7,261,166	\$7,501,371	\$7,746,145	\$7,995,397	\$8,248,662	\$8,505,560	\$8,765,559
C. Value loss. Add A and B.	\$6,287,547	\$6,800,285	\$7,047,063	\$7,302,562	\$7,565,165	\$7,835,769	\$8,113,983	\$8,400,020	\$8,693,746	\$8,995,153	\$9,304,111
11. Prior year taxable value lost because property first qualified for agricultural appraisal (1-d or 1-d-1), timber appraisal, recreational/scenic appraisal or public access airport special appraisal in current year. Use only properties that qualified in the current year for the first time; do not use properties that qualified in the prior year.											
A. Prior year market value:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

B. Current year productivity or special appraisal value:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
C. Value loss. Subtract B from A.	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
12. Total adjustments for lost value. Add Lines 9, 10C and 11C.	\$6,287,547	\$6,800,285	\$7,047,063	\$7,302,562	\$7,565,165	\$7,835,769	\$8,113,983	\$8,400,020	\$8,693,746	\$8,995,153	\$9,304,111
13. Prior year captured value of property in a TIF. Enter the total prior year value of captured appraised value of property taxable by a taxing unit in a tax increment financial zone for which prior year taxes were deposited into the tax increment fund. If the tazing unit has not captured appraised value in line 18D, enter 0.	\$0										
14. Prior year adjusted taxable value. Subtract Line 12 and Line 13 from Line 8.	\$4,911,795,191	\$5,303,228,620	\$5,483,922,559	\$5,669,807,896	\$5,859,396,425	\$6,053,209,165	\$6,250,706,093	\$6,451,814,275	\$6,656,156,033	\$6,863,426,268	\$7,073,194,283
15. Adjusted prior year total levy. Multiply Line 4 by Line 14 and divide by \$100	\$33,006,232	\$34,139,587	\$35,609,492	\$37,274,641	\$39,138,456	\$40,195,035	\$40,668,699	\$40,917,261	\$35,612,930	\$35,120,883	\$35,311,986
16. Taxes refunded for years preceding tax year prior year. Enter the amount of taxes refunded by the taxing unit for tax years preceding the prior tax year. Types of refunds include court decisions, Tax Code Section 25.25(b) and (c) corrections and Tax Code Section 31.11 payment errors. Do not include refunds for the prior tax year. This line only applies to tax years preceding the prior tax year.	\$27,689	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000
17. Adjusted prior year taxes with refunds and TIF adjustment. Add Lines 14 and 15, subtract Line 16.	\$33,033,921	\$34,169,587	\$35,639,492	\$37,304,641	\$39,168,456	\$40,225,035	\$40,698,699	\$40,947,261	\$35,642,930	\$35,150,883	\$35,341,986
18. Total current year taxable value on the current year certified appraisal roll today. This value includes only certified values and includes the total taxable value of homesteads with tax ceilings (will deduct in Line 20). These homesteads include homeowners age 65 or older or disabled.											
A. Certified values:	\$5,715,218,280	\$5,943,827,011	\$6,181,580,092	\$6,428,843,295	\$6,685,997,027	\$6,953,436,908	\$7,231,574,385	\$7,520,837,360	\$7,821,670,854	\$8,134,537,688	\$8,459,919,196
B. Counties: Include railroad rolling stock values certified by the Comptroller's office:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
C. Pollution control and energy storage system exemption: Deduct the value of property exempted for the current tax year for the first time as pollution control or energy storage system property:	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
D. Tax increment financing: Deduct the current year captured appraised value of the property taxable by a taxing unit in a tax increment financing zone for which the current year taxes will be deposited into the tax increment fund. Do not include any new property value that will be included in Line 21 below.	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
E. Total current year value. Add A and B, then subtract C and D.	\$5,715,218,280	\$5,943,827,011	\$6,181,580,092	\$6,428,843,295	\$6,685,997,027	\$6,953,436,908	\$7,231,574,385	\$7,520,837,360	\$7,821,670,854	\$8,134,537,688	\$8,459,919,196
19. Total value of properties under protest or not included on certifiec appraisal roll.											
A. Current year taxable value of properties under protest. The chief appraiser certifies a list of properties still under ARB protest. The list shows the appraisal district's value and the taxpayer's claimed value, if any, or an estimate of the value if the taxpayer wins. For each of the properties under protest, use the lowest of these values. Enter the total value.	\$69,615,732	\$72,400,361	\$75,296,376	\$78,308,231	\$81,440,560	\$84,698,182	\$88,086,110	\$91,609,554	\$95,273,936	\$99,084,894	\$103,048,289
B. Current year value of properties not under protest or included on certified appraisal roll. The chief appraiser gives taxing units a list of those taxable properties that the chief appraiser knows about, but are not included in the appraisal roll certification. These properties, the chief appraiser includes in the market value, appraised value and exemptions for the preceeding year and a reasonable estimate of the market value, appraised value and exemptions for the current year. Use the lower market, appraised or taxable value (as appropriate). Enter the total value.	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
C. Total value under protest or not certified. Add A and B.	\$69,615,732	\$72,400,361	\$75,296,376	\$78,308,231	\$81,440,560	\$84,698,182	\$88,086,110	\$91,609,554	\$95,273,936	\$99,084,894	\$103,048,289
20. Current year tax ceilings. Counties, cities and junior colleges enter current year total taxable value of homesteads with tax ceilings. These include the homesteads of homeowners age 65 or older or disabled. Other taxing units enter 0. If your taxing unit adopted the tax ceiling provision in a prior year for homeowners age 65 or older or disabled, use this step.	\$495,217,989	\$544,739,788	\$599,213,767	\$659,135,143	\$725,048,658	\$797,553,523	\$877,308,876	\$965,039,763	\$1,061,543,740	\$1,167,698,114	\$1,284,467,925
21. Current year total taxable value. Add Lines 18E and 19C. Subtract Line 20.	\$5,289,616,023	\$5,471,487,585	\$5,657,662,701	\$5,848,016,383	\$6,042,388,929	\$6,240,581,567	\$6,442,351,618	\$6,647,407,151	\$6,855,401,051	\$7,065,924,468	\$7,278,499,560

22. Total current year taxable value of properties in territory annexed after Jan. 1 of the prior year. Include both real and personal property. Enter the current year value of property in territory annexed.	\$1,712,943	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
23. Total taxable value of new improvements and new personal property located in new improvements. New means the item was not on the appraisal roll in the prior year. An improvement is a building, structure, fixture or fence erected on or affixed to land. New additions to existing improvements may be included if the appraised value can be determined. New personal property in a new improvement must have been brought into the taxing unit after Jan. 1 of the prior year, and be located in a new improvement. New improvements do include property on which a tax abatement agreement has expired for the current year.	\$156,432,821										
24. Total adjustments to the current year taxable value. Add Lines 22 and 23.	\$158,145,764	\$150,000,000	\$90,000,000	\$82,500,000	\$25,000,000	\$25,000,000	\$25,000,000	\$25,000,000	\$25,000,000	\$25,000,000	\$25,000,000
25. Current year adjustable taxable value. Subtract Line 24 from Line 21.	\$5,131,470,259	\$5,321,487,585	\$5,567,662,701	\$5,765,516,383	\$6,017,388,929	\$6,215,581,567	\$6,417,351,618	\$6,622,407,151	\$6,830,401,051	\$7,040,924,468	\$7,253,499,560
24. Current year no new revenue tax rate. Divide Line 17 by Line 25 and multiply by \$100.	\$0.643752	\$0.642106	\$0.640116	\$0.647030	\$0.650921	\$0.647164	\$0.634198	\$0.618314	\$0.521828	\$0.499237	\$0.487240
25. COUNTIES ONLY. Add together the effective tax rates for each type of tax the cou ty levies. The total is the current year county effective tax rate.											
SECTION 2: Voter-Approval Tax Rate	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032
Voter-Approval Tax Rate Worksheet	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate	Amount/Rate
28. Prior year maintenance and operations (M&O) tax rate.	\$0.512180	\$0.491864	\$0.488385	\$0.484558	\$0.479679	\$0.468442	\$0.457403	\$0.443410	\$0.448159	\$0.453056	\$0.442270
29. Prior year taxable value, adjusted for actual and potential court-ordered adjustments. Enter the amount from Line 8.	\$4,918,082,738	\$5,310,028,905	\$5,490,969,622	\$5,677,110,458	\$5,866,961,590	\$6,061,044,934	\$6,258,820,076	\$6,460,214,294	\$6,664,849,779	\$6,872,421,421	\$7,082,498,394
30. Prior year M&O taxes. Multiply Line 28 by Line 29 and divide by \$100.											
	\$25,189,436	\$26,118,113	\$26,817,047	\$27,508,918	\$28,142,604	\$28,392,495	\$28,628,056	\$28,645,254	\$29,869,098	\$31,135,942	\$31,323,757
31. Adjusted prior year NNR M&O rate. Add Line 30 and Line 31D. A. Taxes refunded for years preceding the prior tax year: Enter the amount of M&O taxes refunded in the preceding year for taxes before that year. Types of refunds include court decisions, Tax Code Section 25.25(b) and (c) corrections and Tax Code Section 31.11 payment errors. Do not include refunds for the prior tax year. This line applies only to tax years preceding the prior tax year. B. Taxes in TIF: Enter the amount of taxes paid into the tax increment fund for a reinvestment zone as agreed by the taxing unit. If the taxing unit has no current year captured appraised value in Line 18D, enter 0. C. Transferring function: If discontinuing all of a department, function or activity and transferring it to another taxing unit by written contract, enter the amount spent by the taxing unit discontinuing the function in the 12 months preceding the month of this calculation. If the taxing unit did not operate this function for the 12-month period, use the amount spent in the last full fiscal year in which the taxing unit operated the function. The taxing unit discontinuing the function will subtract this amount in H below. The taxing unit receiving the function will add this amount in H below. Other taxing units enter 0. D. Adjusted M&O levy adjustments. Add A and B, then subtract C. For taxing unit with D, subtract if discontinuing function and add if receiving function.	\$25,210,118	\$26,148,113	\$26,847,047	\$27,538,918	\$28,172,604	\$28,422,495	\$28,658,056	\$28,675,254	\$29,899,098	\$31,165,942	\$31,353,757
	\$20,682	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000
	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
	\$20,682	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000
32. Current year adjusted taxable value. Enter Line 25 from the NNR Worksheet.	\$5,131,470,259	\$5,321,487,585	\$5,567,662,701	\$5,765,516,383	\$6,017,388,929	\$6,215,581,567	\$6,417,351,618	\$6,622,407,151	\$6,830,401,051	\$7,040,924,468	\$7,253,499,560
33. Current year NNR M&O rate (unadjusted). Divide Line 31 by Line 32 and multiply by \$100	\$0.491284	\$0.491368	\$0.482196	\$0.477649	\$0.468187	\$0.457278	\$0.446571	\$0.433003	\$0.437736	\$0.442640	\$0.432257
34 - 40 non applicable	\$0.000000	\$0.000000	\$0.000000	\$0.000000	\$0.000000	\$0.000000	\$0.000000	\$0.000000	\$0.000000	\$0.000000	\$0.000000
41. Current year voter approval maintenance and operations rate. Multiply Line 30 by 1.035.	\$0.508479	\$0.508566	\$0.499073	\$0.494366	\$0.484573	\$0.473283	\$0.462201	\$0.448159	\$0.453056	\$0.458132	\$0.447386
42. Total current year debt to be paid with property taxes and additionl sales tax revenue. Debt means the interest and principal that will be paid on debts that: (1) are paid by property taxes, (2) are secured by property taxes, (3) are scheduled for payment over a period longer than one year and											

(4) are not classified in the taxing unit's budget as M&O expenses.											
A. Debt also includes contractual payments to other taxing units that have incurred debts on behalf of this taxing unit, if those debts meet the four conditions above. Include only amounts that will be paid from property tax revenue. Do not include appraisal district budget payments. Enter debt amount.	\$8,986,212	\$9,420,937	\$10,395,762	\$11,628,331	\$12,436,993	\$12,658,194	\$12,891,200	\$6,375,193	\$4,620,987	\$4,625,237	\$3,609,232
B. Subtract unencumbered fund amount used to reduce total debt.	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000
C. Subtract amount paid from sales tax to reduce debt	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
D. Subtract amount paid from other resource	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
E. Adjusted debt. Subtract B and C and D from A.	\$8,386,212	\$8,820,937	\$9,795,762	\$11,028,331	\$11,836,993	\$12,058,194	\$12,291,200	\$5,775,193	\$4,020,987	\$4,025,237	\$3,009,232
43. Certified prior year excess debt collections. Enter the amount certified by the collector.	339,111	0	0	0	0	0	0	0	0	0	0
44. Adjusted current year debt. Subtract Line 43 from Line 42E.	\$8,047,101	\$8,820,937	\$9,795,762	\$11,028,331	\$11,836,993	\$12,058,194	\$12,291,200	\$5,775,193	\$4,020,987	\$4,025,237	\$3,009,232
45. Certified current year anticipated collection rate. If the anticipated collection rate in A is lower than actual collection rates in B, C and D, enter the lowest collection rate from B,C and D. If the anticipated rate is A is higher than at least one of the rates in the prior three years, enter the rate from A. Note that the rate can be greater than 100%.											
A. Enter the current anticipated collection rate certified by the collector.	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
B. Enter the prior year actual collection rate (prior year)	100.16	100.16	100.16	100.00	100.00	100.00	100.00	100.00	100.00	100.00	100.00
C. Enter the two year prior actual collection rate	103.38	100.16	100.16	100.16	100.00	100.00	100.00	100.00	100.00	100.00	100.00
D. Enter the three year prior actual collection rate	104.29	103.38	100.16	100.16	100.16	100.00	100.00	100.00	100.00	100.00	100.00
E. If the anticipated collection rate in A is lower than actual collection rates in B, C and D, enter the lowest collection rate from B, C and D. If the anticipated rate in A is higher than at least one of the rates in the prior three years, enter the rate from A. Note that the rate can be greater than 100%.	100.16	100.16	100.16	100.16	100.16	100.00	100.00	100.00	100.00	100.00	100.00
46. Current year debt adjusted for collections. Divide Line 44 by Line 45E.	\$8,034,246	\$8,806,846	\$9,780,114	\$11,010,714	\$11,818,084	\$12,058,194	\$12,291,200	\$5,775,193	\$4,020,987	\$4,025,237	\$3,009,232
47. Current year total taxable value. Enter the amount on Line 21 of NNR.	\$5,289,616,023	\$5,471,487,585	\$5,657,662,701	\$5,848,016,383	\$6,042,388,929	\$6,240,581,567	\$6,442,351,618	\$6,647,407,151	\$6,855,401,051	\$7,065,924,468	\$7,278,499,560
48. Current year debt tax rate. Divide Line 46 by Line 47 and multiply by \$100.	0.151887	0.160959	0.172865	0.188281	0.195586	0.193222	0.190787	0.086879	0.058654	0.056967	0.041344
47. Current year voter approval tax rate. Add Lines 41 and 48.	\$0.660367	\$0.669525	\$0.671938	\$0.682648	\$0.680159	\$0.666505	\$0.652989	\$0.535037	\$0.511711	\$0.515099	\$0.488730
	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032

**VARIABLES & ASSUMPTIONS
FOR THE FISCAL YEAR PERIODS 2023-2032**

Official copy as of 03/31/2022

TAXABLE VALUES

	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
CERTIFIED VALUES	8.36%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%	4.00%
TOTAL FROZEN/DISABLED OVER 65	13.77%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%	10.00%
NEW COMMERCIAL PROPERTY	\$10,575,000	\$0	\$0	\$0	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000	\$10,000,000
NEW RESIDENTIAL PROPERTY	\$158,145,764	\$150,000,000	\$90,000,000	\$82,500,000	\$15,000,000	\$15,000,000	\$15,000,000	\$15,000,000	\$15,000,000	\$15,000,000	\$15,000,000
TAX LEVY FROZEN/DISABLED OVER 65	13.77%	4.75%	4.75%	4.75%	4.75%	4.75%	4.75%	4.75%	4.75%	4.75%	4.75%

INCREASE TO NO NEW REVENUE TAX RATE (CENTS)

TARGET TAX RATE (IF DIFFERENT FROM NO NEW REVENUE RATE)	\$0.643751	\$0.649343	\$0.657423	\$0.667961	\$0.664029	\$0.650626	\$0.634198	\$0.535037	\$0.511711	\$0.499237	\$0.487240
VOTER APPROVAL TAX RATE (VERIFY = OR ABOVE TARGET RATE)	\$0.660367	\$0.669525	\$0.671938	\$0.682648	\$0.680159	\$0.666505	\$0.652989	\$0.535037	\$0.511711	\$0.515099	\$0.488730
	(\$0.000001)	\$0.007238	\$0.017308	\$0.020930	\$0.013107	\$0.003461	\$0.000000	(\$0.083276)	(\$0.010117)	\$0.000000	\$0.000000
AMOUNT ABOVE / (BELOW) NO NEW REVENUE TAX RATE	(\$0.000001)	\$0.007238	\$0.017308	\$0.020930	\$0.013107	\$0.003461	\$0.000000	(\$0.083276)	(\$0.010117)	\$0.000000	\$0.000000

NEW DEBT \$ AMOUNT

DEBT PAYMENT	\$5,500,000	\$13,600,000	\$17,000,000	\$11,000,000	\$3,000,000	\$0	\$0	\$0	\$0	\$0	\$0
	\$0	\$396,000	\$1,375,200	\$2,599,200	\$3,391,200	\$3,607,200	\$3,607,200	\$3,607,200	\$3,607,200	\$3,607,200	\$3,607,200

REVENUES BY SOURCE

	2022	2023	2024	2025	2026	2027	2028	2029	2029	2029	2029
PROPERTY TAXES											
SALES TAX (1)		2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
FRANCHISE FEES		2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
LICENSES AND PERMITS		-5.00%	-5.00%	-5.00%	-5.00%	-5.00%	-5.00%	-5.00%	-5.00%	-5.00%	-5.00%
INTERGOVERNMENTAL REV.		2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%	2.50%
SERVICE FEES		3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%
FINES AND FORFEITURES		0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
INTEREST INCOME		1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%	1.00%
MISCELLANEOUS INCOME		0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%
OTHER FINANCING SOURCES		3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%

EXPENSES

	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
OPERATIONS %		1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%	1.50%
PERSONNEL %		2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
RECURRING VEHICLE REPLACEMENT EXPENSE		600,000	600,000	600,000	600,000	600,000	600,000	600,000	600,000	600,000	600,000
Excess Fund Balance	6,892,258	3,652,137	26,994	(4,138,049)	(9,004,239)	(14,542,161)	(20,572,492)	(25,571,152)	(29,531,606)	(33,755,692)	(37,108,258)
% of Expenditures	43.7%	37.0%	30.0%	22.6%	14.3%	5.3%	-4.2%	-11.7%	-17.3%	-23.1%	-27.3%
New Request - Personnel	\$60,541	\$1,294,602	\$774,455	\$691,325	\$502,453	\$442,287	\$111,914	\$187,379	\$0	\$0	\$0
New Request - One Time	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000	\$500,000

Anticipated Personnel Requests - Included	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032
CITY SECRETARY											
New Admin Assistant - Public Information			\$ 57,587								
FINANCE											
Upgrade Admin Assist I to Admin Asst II	\$ 2,581				\$ 81,307						
New Accountant											
IT											
GIS Technician		\$ 89,306									
MUNICIPAL COURT											
***Upgrade Part Time Judge to Full time			\$ 141,543								
Court Supervisor				\$ 81,309							
POLICE											
New SRO (City Portion)	\$ 102,049	\$ 102,049									
New Civilian Fraud Investigator	\$ 97,006										
New General Cases Detective				\$ 93,689				\$ 93,689			
New Warrant Officer					\$ 93,689						
New Bailiff (part-time)			\$ 27,438								
New CID Officer - Narcotics			\$ 93,689								
New Officer - Traffic			\$ 93,689								
New Patrol Officers	\$ 93,689	\$ 93,689	\$ 93,689	\$ 93,689	\$ 93,689	\$ 93,689	\$ 93,689	\$ 93,689			
New Records Clerk (part-time)				\$ 26,913							
FIRE & EMERGENCY COMMUNICATIONS											
Ff/Paramedics for Station 4 (6) (New)		\$ 692,134									
Assistant Chief				\$ 166,969							
Upgrade Fire Clerk to Prevention Analyst		\$ 6,305									
Alarm Inspector (New) - Salary					\$ 178,964						
Assistant Manager - Communications Mid-Year (New)	\$ 57,960										
Dispatcher - Communications (New)		\$ 74,274		\$ 74,274							
Communications Supervisor (New)			\$ 96,159								
Data Analyst Technician - Communications (New)						\$ 108,000					
ANIMAL CONTROL											
New Animal Control Officer				\$ 60,550							
New PT Kennel Attendants (2)				\$ 35,683							
PLANNING & BUILDING INSPECTION											
New Admin Assistant						\$ 57,587					
Assistant Planner		\$ 73,679									
Code Officer						\$ 67,657					
STREETS											
1 Maintenance Worker II (Stormwater)		\$ 58,384									
1 Maintenance Worker I (Stormwater)					\$ 54,803	\$ 54,803					
1 Equipment Operator (Traffic)			\$ 63,752								
PARKS											
1 Maintenance Worker I				\$ 54,803							
1 Maintenance Worker II						\$ 60,550					
LIBRARY											
Increase Hours for Ref. Assistants for TMRS		\$ 7,776									
Increase hours for Library Tech for TMRS			\$ 4,860								
Increase hours for Shelver for TMRS				\$ 3,445							
Upgrade Combo Position to FT							\$ 18,225				
TOTAL	\$ 60,541	\$ 1,294,602	\$ 774,455	\$ 691,325	\$ 502,453	\$ 442,287	\$ 111,914	\$ 187,379	\$ -	\$ -	\$ -

*** The salary from one of the part time judge positions will be used for this position.

