

# Wylie Planning and Zoning Commission Regular Meeting

August 20, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



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## CALL TO ORDER

## INVOCATION & PLEDGE OF ALLEGIANCE

## COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

## CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider, and act upon, approval of the meeting minutes from the July 16, 2024 Planning and Zoning Commission meeting.
- B. Consider, and act upon a recommendation to City Council regarding an Amending Plat of Lot 1, Block A of Hartman Elementary School, amending one lot on 7.963 acres. Property located at 510 S Birmingham Street.

## REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for Lot 1, Block A of Hartman Pre-K Center for the development of an early childhood center on 7.963 acres. Property located at 510 South Birmingham Street.
- 2. Consider, and act upon, a Site Plan for an office/warehouse use on 0.58 acres, located at 707 Business Way, being Lot 4, Block 1 of 544 Industrial Park.
- 3. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Downtown Historic District (DTH) to Downtown Historic District - Special Use Permit (DTH-SUP) on 0.083 acres to allow for a Smoking Establishment. Property located at 100 N Ballard Avenue (ZC 2024-06).
- 4. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 18.754 acres to allow for drone delivery service for Walmart. Property located at 2050 N State Highway 78 (ZC 2024-05).

## WORK SESSION

## RECONVENE INTO REGULAR SESSION

## **EXECUTIVE SESSION**

## **RECONVENE INTO OPEN SESSION**

*Take any action as a result from Executive Session.*

## **ADJOURNMENT**

## **CERTIFICATION**

I certify that this Notice of Meeting was posted on August 16, 2024 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

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*Stephanie Storm, City Secretary*

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*Date Notice Removed*

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



## Planning & Zoning Commission

# AGENDA REPORT

Department: Planning

Item: A

Prepared By: Gabby Fernandez

### Subject

Consider, and act upon, approval of the meeting minutes from the July 16, 2024 Planning and Zoning Commission meeting.

### Recommendation

Motion to approve Item as presented.

### Discussion

The minutes from the July 16, 2024 Planning and Zoning Commission meeting are attached for your consideration.

# Wylie Planning and Zoning Commission Regular Meeting

July 16, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



## CALL TO ORDER

Chair Joshua Butler called the meeting to order at 6:00pm. In attendance were Chair Joshua Butler, Commissioner Joe Chandler, Vice-Chair Harold Gouge, Commissioner Zeb Black and Commissioner Keith Scruggs, Commissioner Franklin McMurrian and Commissioner Zewge Kagneu. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, Development Engineering Manager Than Nguyen and Administrative Assistant Gabby Fernandez.

## INVOCATION & PLEDGE OF ALLEGIANCE

Chair Butler gave the Invocation and Vice-Chair Gouge led the Pledge of Allegiance.

## WORK SESSION

**WS1. Hold a work session to discuss the Planning and Zoning Commission rules, procedures and responsibilities.**

Community Services Director Jasen Haskins presented to the Commission.

## COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

No one approached the Commissioners on Non-Agenda Items.

## CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider, and act upon, approval of the meeting minutes from the July 2, 2024 Planning and Zoning Commission meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat being a Replat of 0.093 acres of abandoned right of way and Lot 2, Block A of Wooded Creek Estates Phase 2, creating Lot 2R, Block A of Wooded Creek Estates Phase 2 on 0.399 acres, located at 2718 Spanish Oak.



**BOARD ACTION**

A motion was made by Vice-Chair Gouge, seconded by Commissioner Chandler, to approve the Consent Agenda as presented. A vote was taken and the motion passed 7 – 0.

**ADJOURNMENT**

A motion was made by Commissioner Black, and seconded by Commissioner Scruggs, to adjourn the meeting at 6:23 PM. A vote was taken and carried 7 – 0.

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*Joshua Butler, Chair*

**ATTEST**

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*Gabby Fernandez, Secretary*



# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: B

### Subject

Consider, and act upon a recommendation to City Council regarding an Amended Plat of Lot 1, Block A of Hartman Elementary School, amending one lot on 7.963 acres. Property located at 510 S Birmingham Street.

### Recommendation

Motion to recommend **approval** as presented.

### Discussion

**OWNER: Wylie Independent School District**

**APPLICANT: Surdukan Surveying**

The applicant has submitted an Amended Plat for Lot 1, Block A of Hartman Elementary School on 7.963 acres. The property is located at 510 S Birmingham Street. The property is zoned Single Family 10/24 (SF 10/24) and is developed as Hartman Elementary School.

The purpose of the Amended Plat is to revise fire lane, access and utility easements to coincide with the plans of Wylie Independent School District to convert the site to an early childhood campus. The plat document contains fire lane access & utility easements with driveway entrances from Williams Street and South Birmingham Street. The drive aisle is configured in a manner that allows for vehicle stacking for school services and activities.

The site plan for the Pre-K center renovations is on this agenda.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

PROPERTY OWNER'S CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

WHEREAS, the Wylie Independent School District is the owner of a tract of land situated in the E. C. Davidson Survey, Abstract No. 267, and the Samuel B. Shelby Survey, Abstract No. 820, City of Wylie, Collin County, Texas, and being part of all of Lot 1, Block A, Hartman Elementary School Addition, as recorded in Cabinet 2011, Page 296, Plat Records of Collin County, Texas, and being more particularly described as follows:

BEGINNING at an "x" cut found for corner at the northeast corner of Lot 4A, Moussa-Seltzer Addition, an addition to the City of Wylie as recorded in Cabinet G, Page 414, Plat Records of Collin County, Texas;

THENCE N89°46'34"E, a distance of 186.01 feet to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner in the west line of Williams Street (a 40' R.O.W.);

THENCE S07°22'09"W, with the west line of Williams Street, a distance of 5.21 feet to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner at the southwest corner of Williams Street;

THENCE N89°46'34"E, with the south line of Williams Street, a distance of 425.71 feet to a 1/2" iron rod with yellow plastic cap stamped "4613" found for corner in the west line of Birmingham Street (a variable width R.O.W.);

THENCE S12°44'12"W, with the west line of Birmingham Street, a distance of 635.87 feet to a 1/2" capped iron rod with yellow plastic cap stamped "4613" set for corner in the north line of Kirby Street (F.M. 544) (a variable width R.O.W.);

THENCE N88°03'26"W, with the north line of Kirby Street, a distance of 519.55 feet to a 1/2" iron rod with yellow plastic cap stamped "4613" set for corner, said point being in the east line of Lot 20-B, Moussa-Seltzer Addition, as recorded in Cabinet N, Page 179, Plat Records of Collin County, Texas;

THENCE N04°30'40"E, leaving Kirby Street, a distance of 607.31 feet to the POINT OF BEGINNING and CONTAINING 346,856 square feet, or 7.963 acres of land.

BASIS OF BEARINGS:

Bearings shown are based on NAD 83 State Plane Coordinates based on City of Wylie Control Monuments.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, the Wylie Independent School District, acting by and through its duly authorized agent, does hereby adopt this plat, designating the herein above described property as Hartman Elementary School, an addition to the City of Wylie, Texas, and does hereby designate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements. If approved by the City Council of the City of Wylie, in addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof. The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

This plat is approved subject to all plotting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2024.  
By: \_\_\_\_\_

Authorized signature of owner

Printed name and title

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared \_\_\_\_\_, Owner, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN under my hand and seal of office this the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for  
the State of Texas

My Commission Expires On: \_\_\_\_\_

\*RECOMMENDED FOR APPROVAL\*

Chairman, Planning & Zoning Commission  
City of Wylie, Texas

Date

\*APPROVED FOR CONSTRUCTION\*

Mayor, City of Wylie, Texas

Date

\*ACCEPTED\*

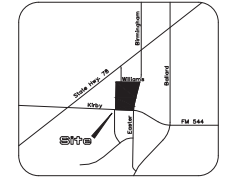
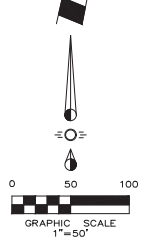
Mayor, City of Wylie, Texas

Date

"The undersigned, the City Secretary of the City of Wylie, Texas hereby certifies that the foregoing Final Plat of Hartman Elementary School addition to the City of Wylie was submitted to the City Council on \_\_\_\_\_, 2024 and the Council, by formation, easements and alleys, as shown, and the City of Wylie, Texas, and upon said plat, and said Council further authorized the mayor to note the acceptance thereof by signing his name as hereinabove subscribed."

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 2024.

City Secretary  
City of Wylie



SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdakan, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

Signature of Registered Professional Land Surveyor  
Registration No. 4613

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared David J. Surdakan, Land Surveyor, known to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN under my hand and seal of office, this the \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for  
the State of Texas

My Commission Expires On: \_\_\_\_\_

AMENDING PLAT

HARTMAN  
ELEMENTARY SCHOOL

Being A Replot Of Lot 1, Block A  
Hartman Elementary School  
Recorded in Cabinet 2011, Page 296, P.R.C.C.T.

7.963 Acres Situated In The  
E. C. DAVIDSON SURVEY ~ ABST. 267  
SAMUEL B. SHELBY SURVEY ~ ABST. 820

WYLIE, COLLIN COUNTY, TEXAS

Owner

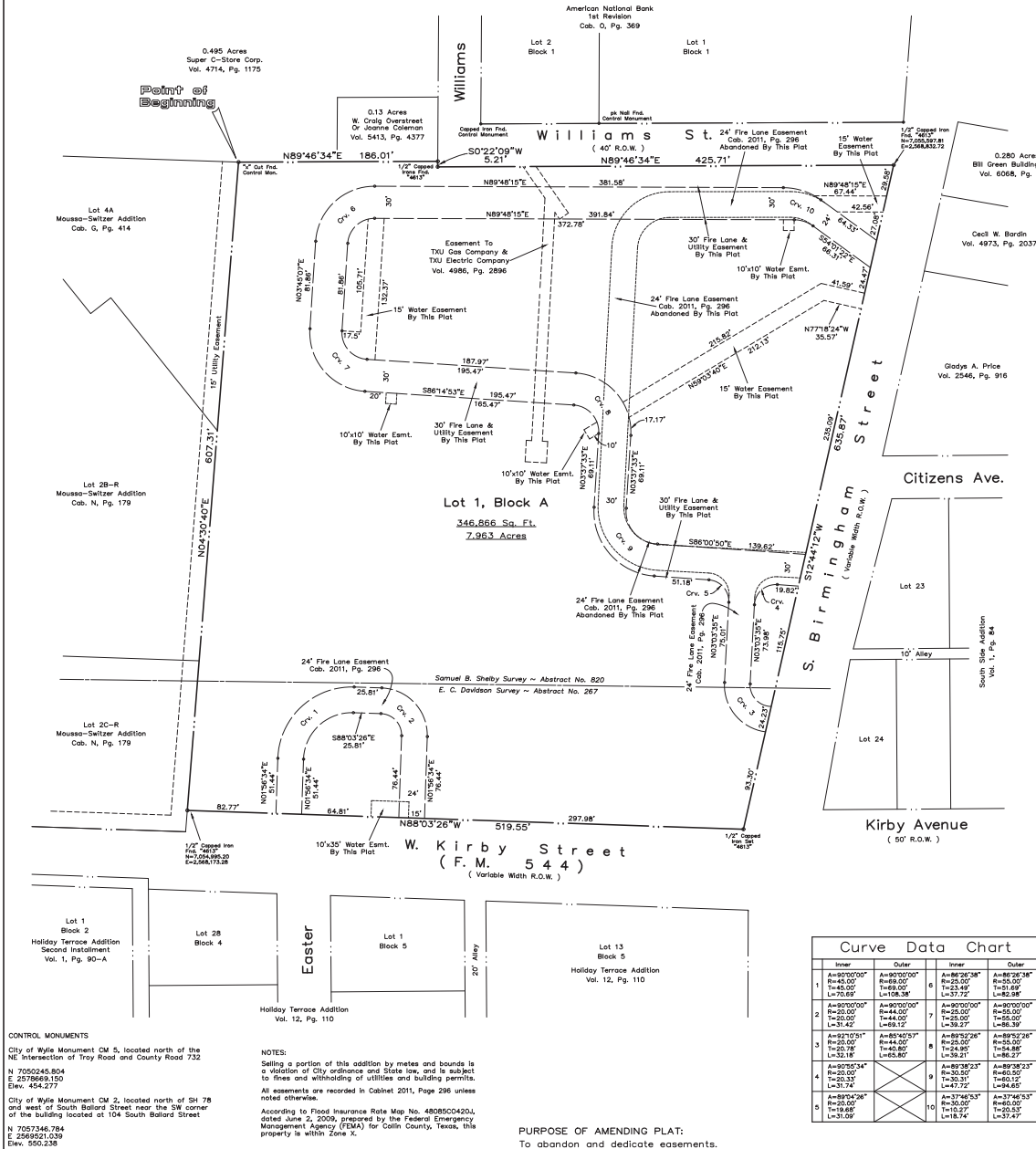
Wylie Independent School District  
951 South Ballard Avenue  
Wylie, Texas 75098  
Telephone 972 429-3000

Engineer

RLK Engineering, Inc.  
Texas Registration No. 579  
111 West Main Street  
Allen, Texas 75013  
Telephone 972 359-1733

Surveyor

Surdakan Surveying, Inc.  
PO Box 126  
Anna, Texas 75409  
Telephone 972 924-8200  
Job No. 2024-14  
August 12, 2024



Curve Data Chart			
Inner	Outer	Inner	Outer
1. A=89°07'00\"	A=89°07'00\"	6. A=89°28'38\"	A=89°28'38\"
R=45.00\"	R=45.00\"	R=25.00\"	R=25.00\"
T=45.00\"	T=45.00\"	T=23.49\"	T=23.49\"
L=108.38\"	L=108.38\"	L=37.72\"	L=37.72\"
2. A=89°07'00\"	A=89°07'00\"	7. A=89°07'00\"	A=89°07'00\"
R=20.00\"	R=20.00\"	R=25.00\"	R=25.00\"
T=20.00\"	T=20.00\"	T=23.49\"	T=23.49\"
L=31.42\"	L=31.42\"	L=37.72\"	L=37.72\"
3. A=89°07'00\"	A=89°07'00\"	8. A=89°28'38\"	A=89°28'38\"
R=20.00\"	R=20.00\"	R=25.00\"	R=25.00\"
T=20.00\"	T=20.00\"	T=23.49\"	T=23.49\"
L=31.42\"	L=31.42\"	L=37.72\"	L=37.72\"
4. A=89°07'00\"	A=89°07'00\"	9. A=89°28'38\"	A=89°28'38\"
R=20.00\"	R=20.00\"	R=25.00\"	R=25.00\"
T=20.00\"	T=20.00\"	T=23.49\"	T=23.49\"
L=31.42\"	L=31.42\"	L=37.72\"	L=37.72\"
5. A=89°07'00\"	A=89°07'00\"	10. A=89°28'38\"	A=89°28'38\"
R=20.00\"	R=20.00\"	R=25.00\"	R=25.00\"
T=20.00\"	T=20.00\"	T=23.49\"	T=23.49\"
L=31.42\"	L=31.42\"	L=37.72\"	L=37.72\"

CONTROL MONUMENTS  
City of Wylie Monument CM 5, located north of the NE intersection of Troy Road and County Road 732.  
N 750245.804  
E 257966.150  
Elev. 454.277  
City of Wylie Monument CM 2, located north of SH 78 and west of South Ballard Street near the SE corner of the building located at 104 South Ballard Street  
N 7057346.784  
E 2569521.039  
Elev. 550.238

NOTES:  
Setting a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.  
All easements are recorded in Cabinet 2011, Page 296 unless noted otherwise.  
According to Flood Insurance Rate Map No. 48085C0420, dated June 2, 2009, prepared by the Federal Emergency Management Agency (FEMA) for Collin County, Texas, this property is within Zone X.

PURPOSE OF AMENDING PLAT:  
To abandon and dedicate easements.



# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: 1

### Subject

Consider, and act upon, a Site Plan for Lot 1, Block A of Hartman Elementary School Addition for the development of an early childhood center on 7.963 acres. Property located at 510 South Birmingham Street.

### Recommendation

Motion to **approve** as presented.

### Discussion

**OWNER: Wylie Independent School District**

**APPLICANT: RLK Engineering & PBK Architects**

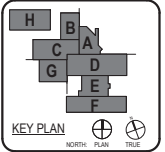
The applicant is proposing to renovate an existing elementary school for the Wylie Independent School District on Lot 1, Block A of Hartman Elementary School on 7.963 acres, located at 510 South Birmingham Street. The property is zoned Single Family 10/24 (SF 10/24) and allows for the proposed use by-right.

The development is adding 129 parking spaces for a total of 209 parking spaces with seven being ADA accessible. The site contains fire lane access & utility easements with driveway entrances from Williams Street and South Birmingham Street. The drive aisle is configured in a manner that allows for vehicle stacking for school services and activities.

Bermuda grass is proposed to be planted surrounding the new parking areas and along the western border of the property. The existing playground area shall be removed and replaced with a new synthetic turf play surface. The new enclosed play area measures 8,606 sq.ft. with a max wall height of 16'. The exterior material consists of masonry veneer color matched to the existing building with metal wall panels.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Amending Plat for this development is on the consent agenda.

[illegible]

ADDENDUM NO.1
BUILDING NUMBER

ARCHITECTURAL SITE  
PLAN

AS100

9

1. REFLECT TO CIVIL DOCUMENTS.
2. COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL, LANDSCAPE, AND/OR STRUCTURAL DOCUMENTS.
3. PROVIDE POSITIVE DRAINAGE AROUND ALL BUILDINGS OF 1/4" MINIMUM, 2% MAXIMUM AT ALL EXTERIOR PAVED PEDESTRIAN AREAS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, PATIOS, STAIRS, PLAZAS, ETC.
4. PROVIDE AND INSTALL POSITIVE DRAINAGE AROUND ALL BUILDINGS OF 5% FOR A HORIZONTAL DRAINAGE OF 1/4" PER FEET.
5. PROVIDE TO CIVIL DOCUMENTS FOR CONCRETE SIDEWALK EXPANSION JOINTS AND CONCRETE SIDEWALK CONTROL JOINTS.
6. PROVIDE TO CIVIL DOCUMENTS FOR JOINT LAYOUTS AT ALL CONCRETE SIDEWALKS WITH ARCHITECT FOR SPACING OF CONCRETE.
7. PROVIDE AND INSTALL CONCRETE SIDEWALK EXPANSION JOINTS AT AREAS NOT SPECIFICALLY NOTED AS 1/4" PER FEET OR OTHER MATERIAL.
8. PROVIDE AND INSTALL CONCRETE SIDEWALK CONTROL JOINTS AT AREAS NOT SPECIFICALLY NOTED AT DISTANCES EQUIVALENT TO SIDEWALK WIDTH, BUT NOT TO EXCEED 10 FEET ON CONCRETE.
9. VERIFY ALL SITE DRAINAGE LOCATIONS WITH ARCHITECT FOR INSTALLATION OF SITE SIGNAGE.

PARKING REQUIREMENTS PER CITY OF WYLLIE GUIDELINES AND RECOMMENDATIONS:  
1 PARKING SPACE - PER EACH 1.5 CLASSROOM.

TOTAL REQUIRED: 54  
TOTAL PROVIDED: 105

ACCESSIBLE PARKING SPACES, PER TAS TABLE 208.2  
401 - 500 REQUIRES A MINIMUM NUMBER OF 8 ACCESSIBLE SPACES 2 OF THE 8 TO BE VAN

REINFORCEMENT LEGEND	
NUMBER	DESCRIPTION
1074	NEW PRE-MANUFACTURED ALUMINUM CANOPY (AWARD) SEE SPECS
1075	EXISTING SITE WATFORDING SIGNAGE, NEW GRAPHIC DESIGN
1241	NEW SITE WATFORDING SIGNAGE, NEW GRAPHIC DESIGN, OWNER'S ARCHITECT PROVIDED FOR INSTALLATION, RE: 13A5711 & 13A1520
1242	REMOVE EXISTING SITE WATFORDING SIGNAGE
1243	EXISTING SIGNAGE TO REMAIN
1244	PROVIDE 2" AND 4" SCHEDULE 40 PVC SLEEVE, COORDINATE WITH IRIGATION DESIGN
1245	EXISTING FENCE TO REMAIN
1367	MODIFY EXISTING REINFORCED SYSTEM TO PROVIDE COMPLETE COVERAGE OF NEW AND EXISTING LANDSCAPED AREA, SEE SPECIFICATIONS
1368	EXISTING GRASS TO REMAIN

Legend:

- EXISTING BUILDING
- NEW BUILDING / ADDITION
- NEW TIFWAY 419 BERMUDA GRASS SOD INFILL
- NEW SYNTHETIC TURF PLAY SURFACE
- NEW PAVEMENT
- EXISTING SITE
- PROPOSED TREE RE. LANDSCAPE
- LIGHT POLE
- PROPERTY LINE
- CHAIN LINK FENCE
- ORNAMENTAL FENCE

GATE SCHEDULE					
MARK	SIZE		MTL	H.W.	REMARKS
	W	H			
S100A	8'-0"	6'-0"		J710	BLACK VINYL COATED CHAINLINK
S100B	8'-0"	6'-0"		J710	BLACK VINYL COATED CHAINLINK



(A)



(B)



1

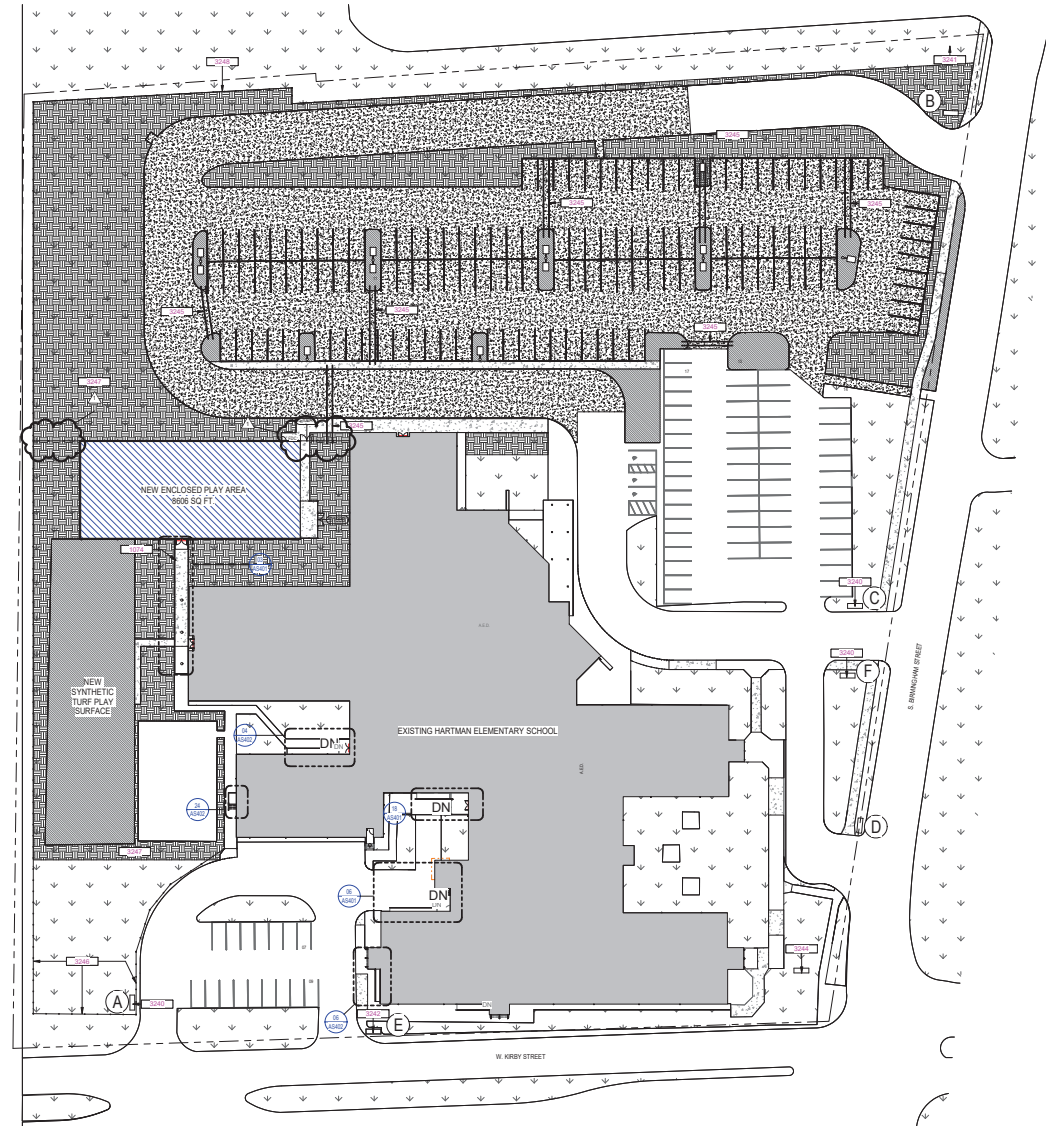


7



01	SITE SIGNAGE TYPES 3/8" = 1'-0"
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01 SITE SIGN  
3/8" x 1'-0"



06	ARCHITECTURAL SITE PLAN - COMPOSITE 1/32" = 1'-0"
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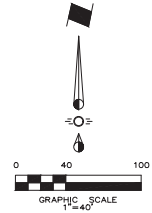
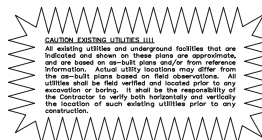
06 ARCHITECT  
1/32" = 1'-0"

ARCHITECTURAL SITE PLAN  
AS 709  
FOR BLUBBEAM LABELING:OCR:

# ADDENDUM NO.1

File Path: Autodesk Docs\\Myfile ISD\_230448\_Hartman Pre-K\\R23\_WISD\_Hartman Pre-K\_New York

CHECKED BY: Checker  
DRAWN BY: Author  
Plot Stamp: 1/12/2024 4:18:17



5. All materials and construction shall conform to the City of Dallas Standards and Specifications, and the Central Texas Council of Governments Standard Specifications for Public Works Construction, Latest Edition.
6. The Contractor shall be responsible for the Contractor to protect all public and non-public utilities in the construction of the project. All utilities shall be located, identified, and marked prior to be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving and/or concrete. All utilities must be reconstructed to proper line and grade during construction of this project.
7. The Contractor shall be responsible for coordinating with all public and private utility companies for the location of all utilities within the construction area.
8. The Paving Contractor shall not place permanent pavement until the following for the project: a) all telephone, cable, TV, site lighting, etc. has been installed. It shall be the responsibility of the Contractor to coordinate with the utility company to place prior to placing permanent paving.
9. All paving and earthwork operations shall conform to the standards and specifications in the latest Edition of the City of Dallas Specifications.
10. All dimensions are to face of curb unless otherwise noted.
11. Refer to Architectural Plans for exact building and related sidewalk dimensions.
12. All curb return radii are 3' unless otherwise noted.
13. All dimensions are perpendicular to the drive centerlines unless otherwise indicated.
14. Fire lines shall be shown in accordance with the City of Wylie requirements.

	5" 3600 PSI Reinf. Conc. Pavement No. 3 Bars 18" OCEW With 6" Compacted Subgrade (Parking Spaces Only)
	7" 4500 PSI Reinf. Conc. Pavement No. 3 Bars 18" OCEW With 7" Compacted Subgrade (Drives and Fire Lanes)
	8" 3600 PSI Reinf. Conc. Pavement No. 3 Bars 18" OCEW With 6" Compacted Subgrade (Heavy Duty/Service Area)
	4" 3000 PSI Reinf. Conc. Sidewalk Over 12" Compacted Subgrade
	Proposed Expansion Joint

<h1 style="text-align: center;">PAVING PLAN</h1> <h2 style="text-align: center;">HARTMAN ELEMENTARY SCHOOL</h2> <h3 style="text-align: center;">WYLLIE, TEXAS</h3>				
DESIGNED BY KJA Engineering	TECH REVIEW RLK	DRAINING FILE 21066 PFO.dwg	DRAINING SCALE 1"=40'	SHEET C2.0
DRAWN BY KJA Engineering	PEEK REVIEW RLK	DRAINING DATE 8-29-2024	PROJECT NUMBER 24-000000	

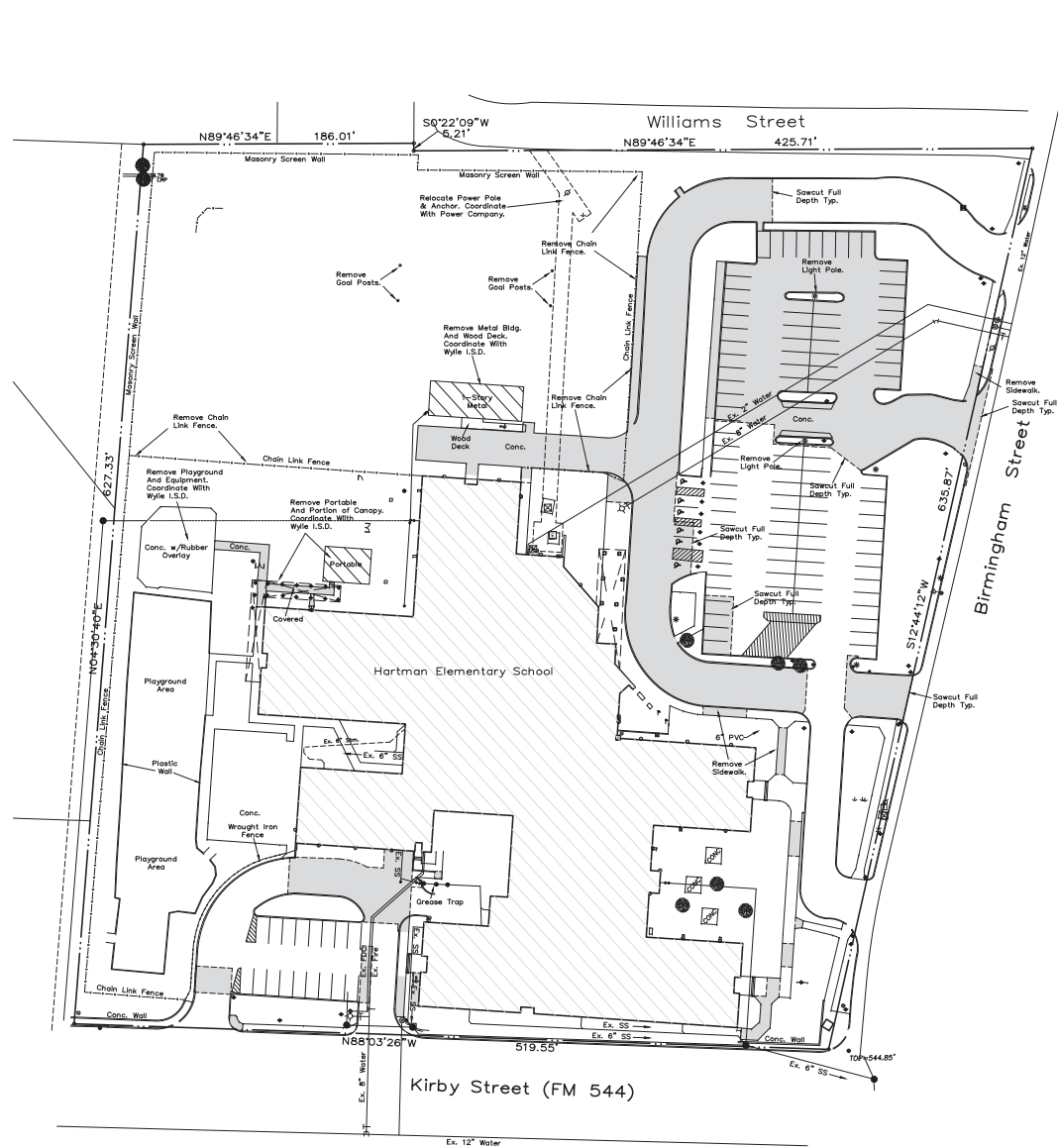
# PAVING PLAN

## HARTMAN ELEMENTARY SCHOOL

### WYLIE, TEXAS

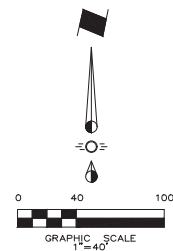
C2.0





**CAUTION EXISTING UTILITIES!!!!**

All existing utilities and underground facilities that are indicated and shown on these plans are approximate, and are based on as-built plans and/or from reference information. Actual utility locations may differ from the as-built plans based on field observations. All utilities shall be field verified and located prior to any excavation or boring. It shall be the responsibility of the Contractor to verify both horizontally and vertically the location of such existing utilities prior to any construction.



DEMOLITION NOTES

1. Contractor shall abide by all applicable City requirements, ordinances, etc.
2. Contractor shall notify all affected utility companies a minimum of one week prior to demolition in order to comply with their requirements.
3. Contractor shall maintain positive drainage at all times during the demolition process.
4. Contractor shall protect all existing utilities during the demolition process.
5. Perform work in a manner to eliminate hazards to persons or property, or avoid interference with adjacent areas, utilities, and structures.
6. Provide temporary barricades, fences, warning signs, guardrails, warning lights, etc. as necessary.
7. Protect existing structures, landscaping materials, and appurtenances which are not being demolished.
8. Return structures and surfaces to remain to conditions existing prior to commencement of selective demolition work, or better.
9. All materials removed shall be disposed of offsite in a legal manner.
10. Contractor shall refer to the Storm Water Pollution Prevention Plan for the demolition and pollution prevention process.  
Contractor shall provide any additional erosion or pollution prevention devices as required during the demolition process in order to completely conform to the United States Environmental Protection Agency and all other agencies having jurisdiction.
11. Reference Utility Plan for water, sanitary, and storm sewer removal.
12. Reference Landscape Plans for tree removal.
13. Reference MEP for light pole locations/relocations.

**LEGEND**

 Remove Concrete Pavement

**NOTE:**  
Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the civil engineer to insure that all parties are in possession of the most current set of construction documents.

MISC. INFORMATION	REVISION	DATE	DESCRIPTION
construction			
responsibility			
ure that all			
current set			



RLK ENGINEERING, INC.  
111 West Main  
Allen, Texas 75013  
(972) 359-1733 Off  
(972) 359-1833 Fax  
Texas Registration No. 579



DEMOLITION PLAN  
HARTMAN ELEMENTARY SCHOOL  
WYLIE, TEXAS

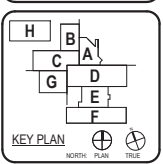
DESIGNED BY: RLK Engineering		TECH REVIEW: RLK	DRAWING FILE: 23106 DEMO.dwg	DRAWING SCALE: 1"=40'	SHEET:  <b>C1.0</b>
DRAWN BY: RLK Engineering		PEER REVIEW: RLK	DRAWING DATE: 6/6/2024	PROJECT NUMBER: - 23106 -	



ARCHITECT	PBR Architects, Inc.
DALLAS	1401 Oak Lawn, Suite 400
DALLAS, TX 75246	972-233-1354
972-233-1355 F	972-233-1355 F
972-233-1355 F	972-233-1355 F
972-233-1355 F	972-233-1355 F
972-233-1355 F	972-233-1355 F
972-233-1355 F	972-233-1355 F
972-233-1355 F	972-233-1355 F
972-233-1355 F	972-233-1355 F

HARTMAN PRE-K CENTER RENOVATIONS

200 E. Birmingham St., Suite 1700-08  
100% CONSTRUCTION DOCUMENTS



CLIENT		
WYLE ISD		
DATE	PROJECT NUMBER	
2024/04/26	230448	
DRAWING HISTORY		
No.	Description	Date

100% CONSTRUCTION DOCUMENTS

BUILDING NUMBER

EXTERIOR ELEVATIONS

A-502

12

## GENERAL ELEVATION NOTES

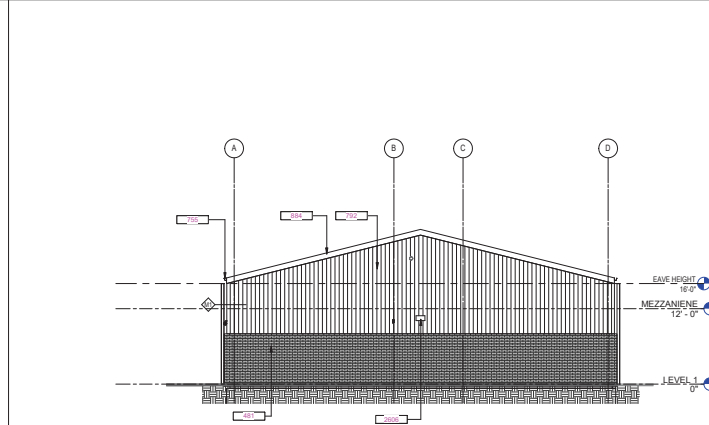
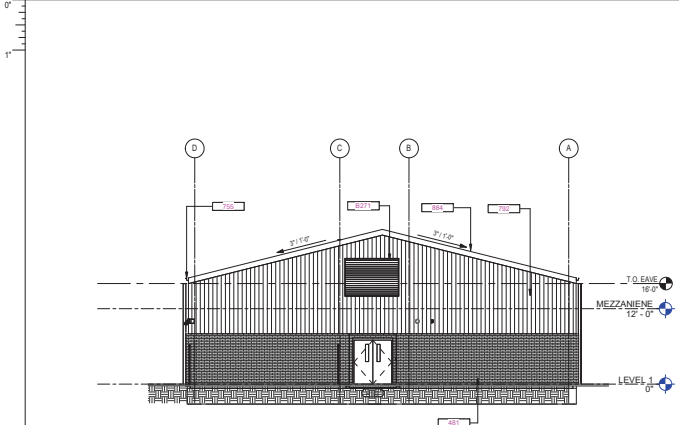
1. ALL BUILDING EXPANSION JOINTS TO BE 1" UNLESS OTHERWISE NOTED.
2. CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
3. 1/2" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL LINTEL ANGLES.
4. CONTRACTOR SHALL PROVIDE WALL MOCK-UP TO BE 8' TALL IF WIDE. MOCK-UP TO INCLUDE A 4x4 WINDOW. MOCK-UP TO INCLUDE ALL FLASHING AND WATERPROOFING TO SHOW COMPLETE BUILDING ENVELOPE.
5. EXPOSED EXTERIOR STRUCTURAL STEEL TUBE MEMBERS SHALL BE PAINTED P.B.
6. STEEL MASONRY LINTELS SHALL BE GALVANIZED.
7. EXPOSED CONCRETE WALLS, COLUMNS, AND BEAMS SHALL BE RUBBED GROUT FINISH.
8. MASONRY KEEP AT 9" O.C. MAXIMUM.
9. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH END DASH.
10. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKFILLERS WITH CONTINUOUS FORMER STEEL ALUMINUM ANGLE.
11. FLEXIBLE MEMBRANE FLASHING AT WINDOWS SILLS AND LINTELS SHALL HAVE PRE-FORMED BNC DASH.
12. MASONRY VENEER CONTROL JOINTS SHALL BE 3/8" AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 3'-4" FROM OUTSIDE CORNERS, AND AT 30'-0" O.C. MAXIMUM. UNLESS NOTED OTHERWISE, REFERENCE EXTERIOR ELEVATIONS.
13. GUTTERS, DOWNPOUTS, ROOF AND DOWNPOUTS SHALL BE PRE-FINISHED SHEET METAL. COLOR SELECTED BY ARCHITECT.
14. DOWNPOUTS SHALL HAVE 1/8" GAUGE PRE-FINISHED DOWNPOUT BOOTS TO 6" ABOVE FINISH GRADE. COLOR MATCHED BY ARCHITECT.
15. DOWNPOUTS AND/OR ROOF DRAINS SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE ONLY FOR STORM DRAIN CONNECTION DETAILS AND LOCATIONS.
16. CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. MOCK-UP SHALL INCLUDE METAL FLASHINGS, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHINGS, AND WINDOW INSTALLATIONS AS DETAILED IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 8' TALL X 16' PLONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.
17. CONTRACTOR SHALL PAINT EXPOSED STEEL PER NOTES ON CONTRACT DRAWINGS.

## KEYNOTE LEGEND

NUMBER	DESCRIPTION
001	MASONRY VENEER, PAINT TO MATCH EXISTING BUILDING
002	GUTTER
003	ALUMINUM WALL PANEL
004	ALUMINUM WINDOW
005	PRE-FINISHED METAL ROOF
006	STANDING SEAM METAL ROOF
007	LED, 1/2" RIGID WALL PACK
008	EXTERIOR CORNERS

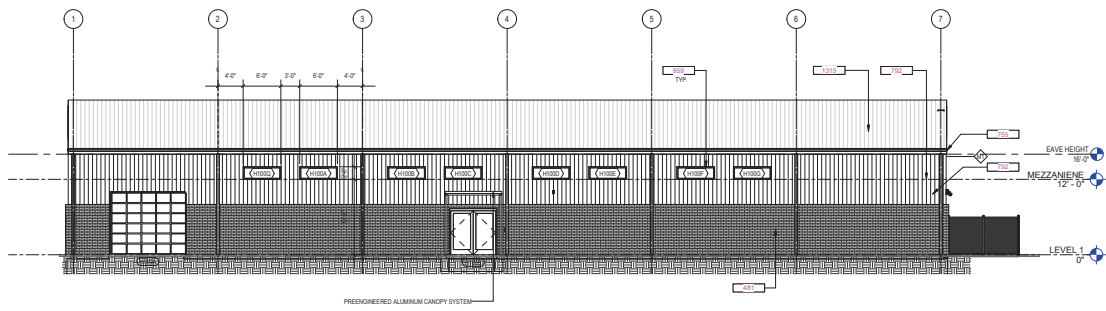
## EXTERIOR MATERIALS LEGEND

04 20 00.BK1 (R) BRICK TYPE 1, RUNNING BOND	07 42 13.MPUF UNINSULATED METAL WALL PANEL
04 20 00.BK2 (R) BRICK TYPE 2, RUNNING BOND	04 20 00.SMVV STONE VENEER
04 20 00.BK1 (S) BRICK TYPE 1, SOLDIER COURSE	04 73 23.CSM CALCIUM SULFATE MANUFACTURED STONE MASONRY
09 24 00.PWD CEMENT PLASTER WALL - DASH FINISH	03 30 00.WL CAST IN PLACE CONCRETE WALL

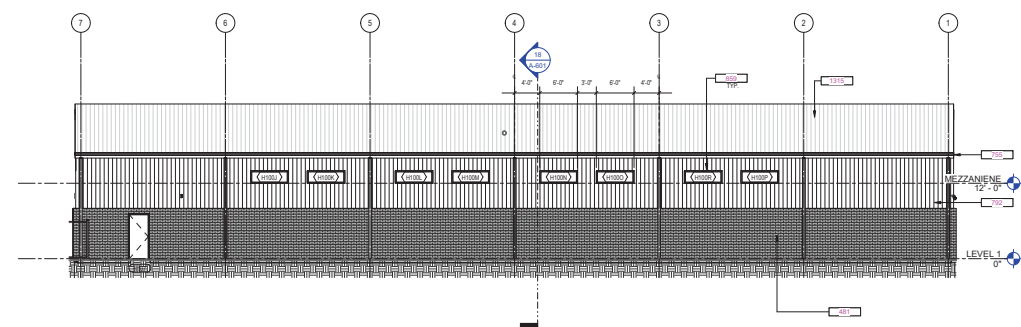


24 AREA H - EXTERIOR ELEVATIONS - EAST  
1/8" = 1'-0"

22 AREA H - EXTERIOR ELEVATIONS - WEST  
1/8" = 1'-0"



18 AREA H - EXTERIOR ELEVATIONS - SOUTH  
1/8" = 1'-0"



06 AREA H - EXTERIOR ELEVATIONS - NORTH  
1/8" = 1'-0"





# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: 2

### Subject

Consider, and act upon, a Site Plan for an office/warehouse use on 0.58 acres, located at 707 Business Way, being Lot 4, Block 1 of 544 Industrial Park.

### Recommendation

Motion to **approve** as presented

### Discussion

**OWNER: Master Tanvir Ali**

**APPLICANT: DHR-ENG**

The applicant is proposing to develop a 3,000 sq.ft office/warehouse addition on 0.58 acres located at 707 Business Way. The property is zoned Commercial Corridor and allows for the office/warehouse use by-right. There is an existing 4,182 sq.ft. building on the property that was constructed in 1987.

The property shall require one parking space for every 750 square feet for a total of eleven parking spaces. The site plan provides eleven parking spaces, one being a handicapped space, meeting the requirement.

The development is in compliance with the landscaping requirements by providing over 20% of landscaping as required by the Commercial Corridor zoning.

The structure's exterior material consists of brick and metal. An awning is provided at the main entrance. A garage door is proposed on the south side of the building and is to be screened by the existing structure on the property.

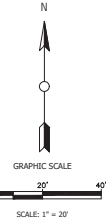
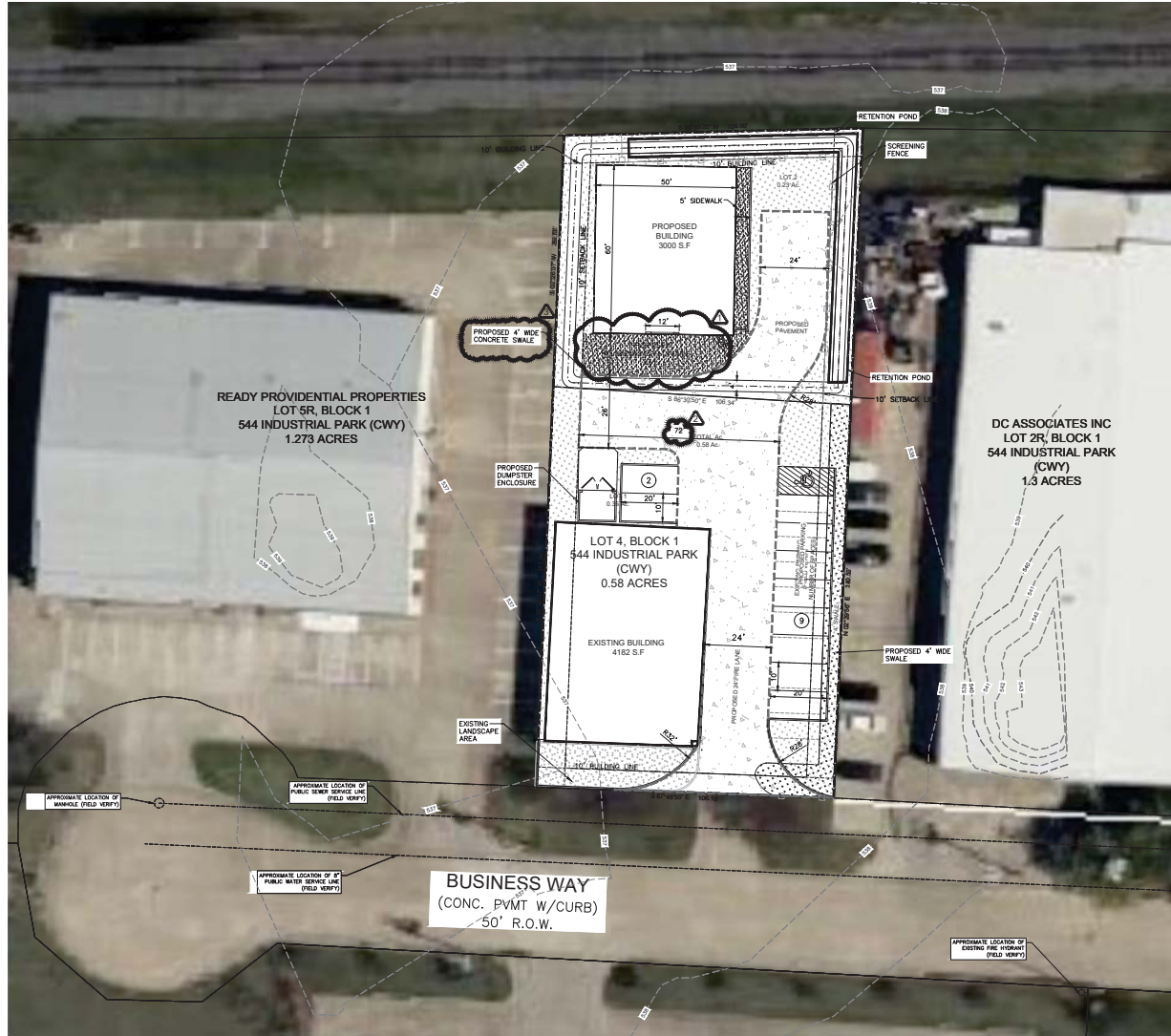
A retention pond is proposed along the rear and eastern border of the property that will discharge when overfilled using a swale that connects to Business Way.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

An amended plat shall be required prior to a certificate of occupancy being issued. The plat is necessary due to dedication of the 24' access drive as a fire lane and access easement being required.

FILE: SITE PLAN.DWG

PLOTTED: 8/6/2024 3:43:20 PM



LEGEND	
	PROPOSED 6" FIRE LANE
	LANDSCAPING AREAS
	PROPOSED FIRE LANE AND ACCESS ESMT.
	EXISTING FIRELANE
	SIDE WALK PAVEMENT
	EXISTING PAVEMENT

NOTE:  
ALL FIRE LANES SHALL BE PAVED WITH A MINIMUM OF 8 INCHES OF 4500 P.S.I. CONCRETE REINFORCED WITH #3 REBAR PLACED ON 18 INCH CENTERS EACH WAY ON A 7 INCH LIME STABILIZED SUBGRADE. THE SUBGRADE SHALL BE STABILIZED WITH HYDRATED LIME IN SUFFICIENT AMOUNT TO REDUCE THE PLASTICITY INDEX BELOW FIFTEEN (15). IF NO LABORATORY CONTROL IS USED, THE AMOUNT OF LIME SHALL BE EQUAL TO SEVEN AND ONE HALF (7-1/2) PERCENT BY UNIT DRY WEIGHT OF SOIL ESTIMATED AT 75 POUNDS PER CUBIC FEET OF 32 POUNDS OF LIME PER SQUARE YARD OF SURFACE AREA TREATED TO A 7 INCH THICKNESS.

PROJECT INFORMATION SUMMARY TABLE	
GENERAL DATA	
CURRENT ZONING	COMMERCIAL CORRIDOR DISTRICT (CC)
PROPOSED ZONING	COMMERCIAL CORRIDOR DISTRICT (CC)
BUILDING HEIGHT	
CONSTRUCTION START	OCT 1 2023
CONSTRUCTION FINISH	OCT 1 2024
REQUIRED PERVIOUS AREA (20%)	5,053 S.F. (0.12 ACRES)
PROPOSED PERVIOUS AREA (22%)	5,621 S.F. (0.13 ACRES)
PROPOSED IMPERVIOUS AREA	19,644 S.F. (0.45 ACRES)
PROPOSED # PARKING SPACES	11
EXISTING # PARKING SPACES	1 PARKING SPACE PER 750 SF OF BUILDING



## VICINITY MAP NTS

- SITE REQUIREMENT DESIGN DESIRABLES:
- INDIVIDUAL BUILDINGS W/FOOTPRINTS = OR < 10,000 SQUARE FEET.
  - BUILDING WITH NO MORE THAN ONE ROW PARKING IN FRONT.
  - COMBINED ACCESS POINTS WITH ADJACENT TRACTS.
  - DIRECT CONNECTION BETWEEN BUILDINGS AND STREET.

\*NOTE\*  
A "COMMERCIAL" DRIVEWAY PROVIDES ACCESS TO AN OFFICE, RETAIL OR INSTITUTIONAL BUILDING, OR TO A MULTIPLE-FAMILY BUILDING HAVING MORE THAN FIVE DWELLING UNITS. IT IS ANTICIPATED THAT SUCH BUILDINGS WILL HAVE INCIDENTAL TRUCK SERVICE. COMMERCIAL DRIVES SHALL ACCESS TO MAJOR OR SECONDARY THOROUGHFARES ONLY. ALL COMMERCIAL DRIVEWAYS SHALL BE CONCRETE.

No.	Revision/Issue	Date
1	Issue for comment.	8/26/24
2	Finalize all the construction.	10/24/23
3	Finalize all the construction.	9/21/24
4	Finalize all the construction.	9/21/24
5	Finalize all the construction.	9/21/24
6	Finalize all the construction.	9/21/24
7	Finalize all the construction.	9/21/24

CLIENT ADDRESS  
SUPERIOR LAND & STEEL CONSTRUCTION  
100 NEW SUBSIDIARY RD  
SHELBYVILLE, KY 40381  
CONTACT: SAMUEL BUTLER  
PH: 214-789-0750

FIRM NAME AND ADDRESS  
**DETHMER**  
**ENGINEERING, INC.**  
Civil Engineers  
911 E. JOHNSCAMP DRIVE, SUITE 100  
TEL: (972) 717-0025 FAX: (972) 717-0011  
TXB# No. F-59184

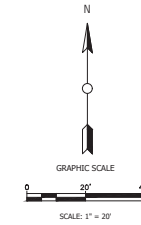
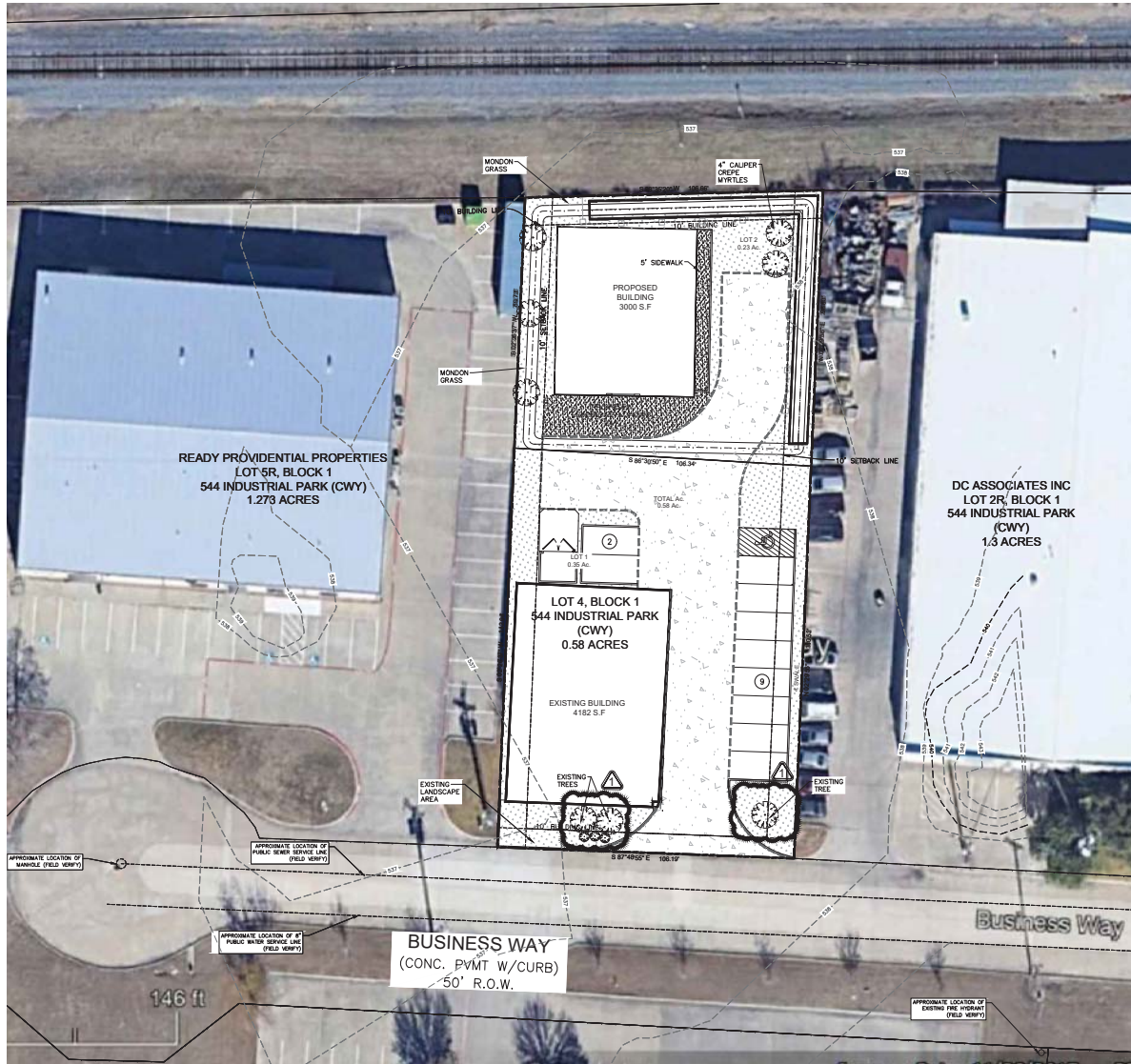
707 BUSINESS WAY  
DEVELOPMENT  
CITY OF WYLE, COLLIN COUNTY, TX  
SITE PLAN  
DEVELOPMENT



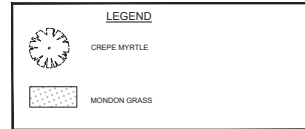
CHECKED BY AK	DATE 08/20/2024
ISSUE DATE	SHEET C-2.0

FILE: LANDSCAPE PLAN.DWG

PLOTTED: 8/16/2024 3:48:23 PM



**\*NOTE\***  
A "COMMERCIAL" DRIVEWAY PROVIDES ACCESS TO AN OFFICE, RETAIL OR INSTITUTIONAL BUILDING, OR TO A MULTIPLE-FAMILY BUILDING HAVING MORE THAN FIVE DWELLING UNITS. IT IS ANTICIPATED THAT SUCH BUILDINGS WILL HAVE INCIDENTAL TRUCK SERVICE. COMMERCIAL DRIVES SHALL ACCESS TO MAJOR OR SECONDARY THOROUGHFARES ONLY. ALL COMMERCIAL DRIVEWAYS SHALL BE CONCRETE.



PROJECT INFORMATION SUMMARY TABLE	
GENERAL DATA	
TOTAL SITE AREA	COMMERCIAL RETAIL DISTRICT (C9D-58) AS SHOWN ON MAP
LANDSCAPE AREA REQUIRED (20% OF SITE AREA)	2,404 SF
LANDSCAPE AREA	2,403 SF
BUILDING HEIGHT	
CONSTRUCTION START	OCT 1 2023
CONSTRUCTION FINISH	OCT 1 2024



**VICINITY MAP**  
NTS

No.	Revision/Issue	Date
1	Issue for permit	8/16/24
2	Revised for construction	10/24/23
3	Revised for construction	9/27/24
4	Revised for construction	8/24/24
5	Issue for permit	7/19/24
7	Issue for permit	7/17/24

**CLIENT ADDRESS**  
SUPERIOR LAND & STEEL CONSTRUCTION  
100 NEW BRUNSWICK  
SHELBYVILLE, KY 40381  
CONTACT: SAMUEL BUTLER  
PHONE: 214-789-0750

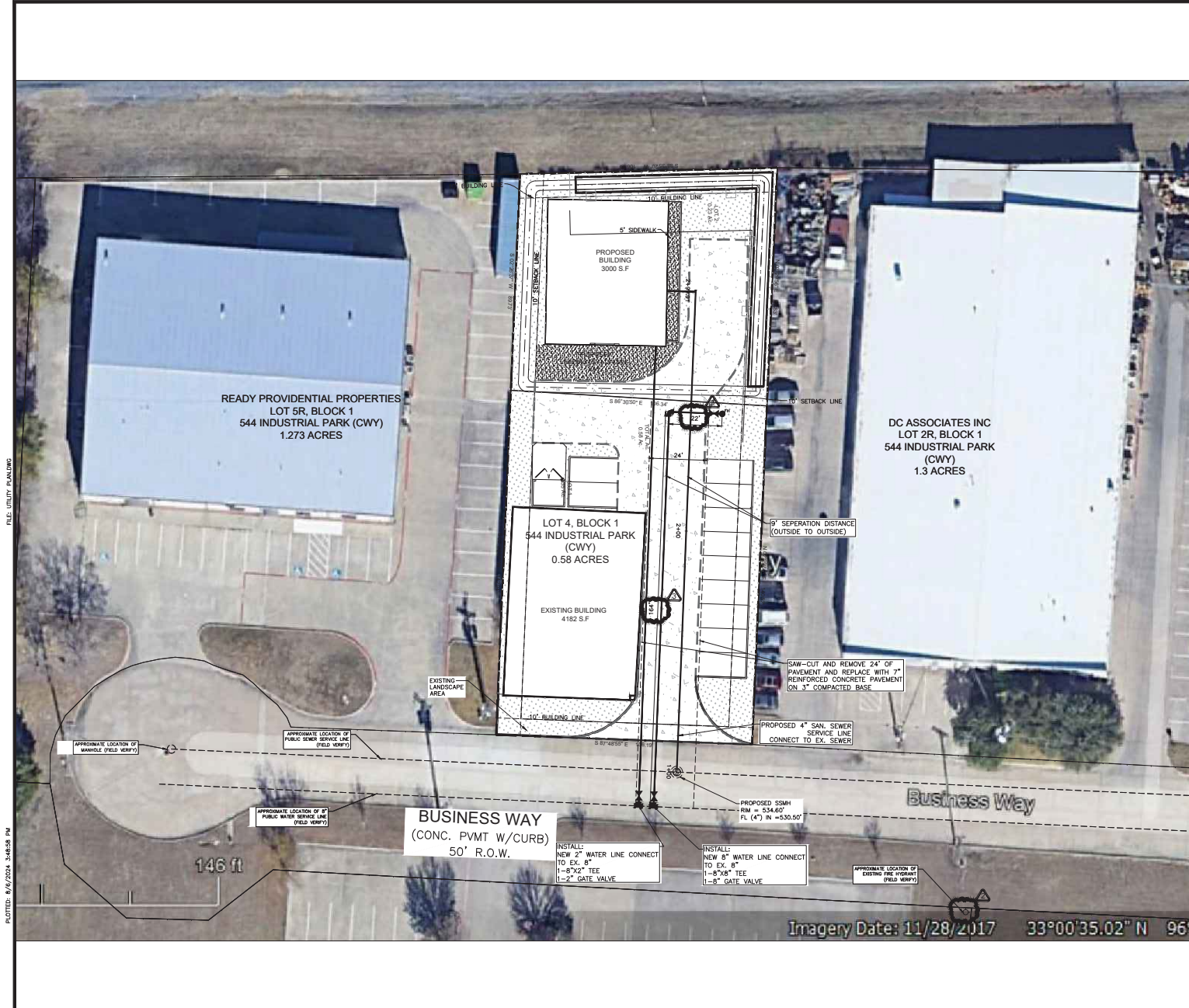
**FIRM NAME AND ADDRESS**  
**DEHNER ENGINEERING, INC.**  
Civil Engineers  
3005 CUBBEN DRIVE  
DALLAS, TX 75228  
TEL: (972) 717-0025 FAX: (972) 717-0111  
TBBE No.: F-5184

**707 BUSINESS WAY  
DEVELOPMENT**  
CITY OF WYLE, COLLIN COUNTY, TX  
**LANDSCAPE PLAN**

**SEAL OF THE STATE OF TEXAS**  
DAVID H. RECHT  
REGISTERED PROFESSIONAL ENGINEER  
03/03/2023  
*David H. Recht*

CHECKED BY: JR  
DRN JOB NO.: 22236  
ISSUE DATE: 08/16/2024  
SHEET: C-9.0





GENERAL UTILITY NOTES

IN GENERAL, WATER MAINS ARE PLACED ON THE NORTH AND WEST SIDES OF A STREET, AS SHOWN IN THE STANDARD CONSTRUCTION DETAILS, OR OTHERWISE AS DIRECTED BY THE CITY ENGINEER. WHERE APPLICABLE, LINE SIZES WILL COMPLY WITH THE WATER DISTRIBUTION SYSTEM MASTER PLAN AND SHALL BE ADEQUATE TO CONVEY A FIRE FLOW. FIRE FLOW ANALYSIS WILL BE REQUIRED ON LINES THAT ARE QUESTIONED BY CITY STAFF. STARTING PRESSURES SHALL BE OBTAINED FROM THE NEAREST JUNCTION NODE AS STATED IN THE CITY'S WATER DISTRIBUTION MASTER PLAN COMPUTER PRINTOUTS OR SHALL BE PROVIDED BY THE CITY.

SIZES AND GRADES FOR SANITARY SEWER LINES SHALL BE BASED ON SERVING THE PROPOSED DEVELOPMENT AND ALL UPSTREAM AREAS IN THE DRAINAGE BASIN AT FULL DEVELOPMENT. THE MINIMUM SIZE FOR SANITARY SEWER MAINS SHALL BE 8-INCHES. DESIGN CALCULATIONS FOR SIZING LINES SHALL BE INCLUDED IN THE PLANS, ALONG WITH DRAINAGE AREA MAP. IF FEASIBLE, SEWERS SHALL BE PLACED IN STREETS OR AS SHOWN IN THE CITY STANDARD CONSTRUCTION DETAILS. SEWERS ARE USUALLY LOCATED IN THE CENTER OF RESIDENTIAL STREETS. EACH ADDITION HAS ITS CHALLENGES. THEREFORE, NO FIXED RULES WILL APPLY TO ALL CASES REGARDING THE LOCATION OF SANITARY SEWERS.

MINIMUM COVER SHALL BE 3.5 FEET. EXCEPTIONS AUTHORIZED BY THE CITY ENGINEER OR AUTHORIZED REPRESENTATIVE SHALL HAVE CONCRETE PROTECTION. IN GENERAL, THE MINIMUM DEPTH FOR SEWER TO SERVE GIVEN PROPERTY WITH A 4-INCH LATERAL SHALL BE 3 FEET PLUS 2% TIMES THE LENGTH OF THE HOUSE LATERAL (THE DISTANCE FROM THE SEWER TO THE CENTER OF THE HOUSE). THUS, FOR A HOUSE 135 FEET FROM THE SEWER, THE DEPTH WOULD BE 3 FEET PLUS 2% X 135 FEET = 3.0 PLUS 2.7 = 5.7 FEET. THE DEPTH OF THE FLOW LINE OF THE SEWER SHOULD THEN BE AT LEAST 5.7 FEET BELOW THE ELEVATION OF THE GROUND AT THE POINT WHERE THE SERVICE ENTERS THE HOUSE. PROFILES OF THE GROUND LINE 20 FEET PAST THE BUILDING LINE WILL BE REQUIRED TO VERIFY THAT THIS CRITERION IS MET. ON LINES DEEPER THAN 12 FEET, A PARALLEL SEWER LINE WILL BE REQUIRED WHEN LATERALS ARE TO BE ATTACHED. THIS REQUIREMENT SHOULD BE DISCUSSED WITH THE CITY ENGINEER.

(SEE WATER AND SEWER DESIGN MANUAL)

\*NOTE\*

STANDARD WATER AND SEWER DETAILS ARE AS PREPARED BY THE CITY OF WYLLIE AND NCTCOG WITH CITY OF WYLLIE STANDARDS HAVING PRECEDENCE OVER NCTCOG STANDARD DETAILS.

LEGEND	
---	EXISTING SAN. SEWER MAIN/OLE
---	EXISTING SAN. SEWER
---	PROPOSED SAN. SEWER
---	EXISTING WATERLINE
---	EXISTING WATER VALVE
---	PROPOSED WATERLINE
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED SANITARY SEWER MANHOLE
---	FIRELANE

No.	Revision / Issue	Date
1	ISSUED FOR PERMIT	8/7/23
2	PRELIMINARY NOT FOR CONSTRUCTION	10/24/23
3	PRELIMINARY NOT FOR CONSTRUCTION	5/01/24
4	PRELIMINARY NOT FOR CONSTRUCTION	6/27/23
5	PRELIMINARY NOT FOR CONSTRUCTION	7/19/23
6	ISSUED FOR PERMIT	7/19/23
7	ISSUED FOR PERMIT	7/21/23

CITY ADDRESS

SUPERIOR LAND & STEEL CONSTRUCTION  
1005 West Palmdale Rd  
Palmdale, CA 93550  
CONTACT: JAMES M. BUTLER  
PH: 214.789.4758  
...

FROM NAME AND ADDRESS

**D H R**  
**ENGINEERING, INC.**  
Civil Engineer  
4018 S. Green Rd. Ste. 128  
Ft. Worth, TX 76103  
FAX: 817.731.0111, 817.731.0100  
TYPE No. - F-0104

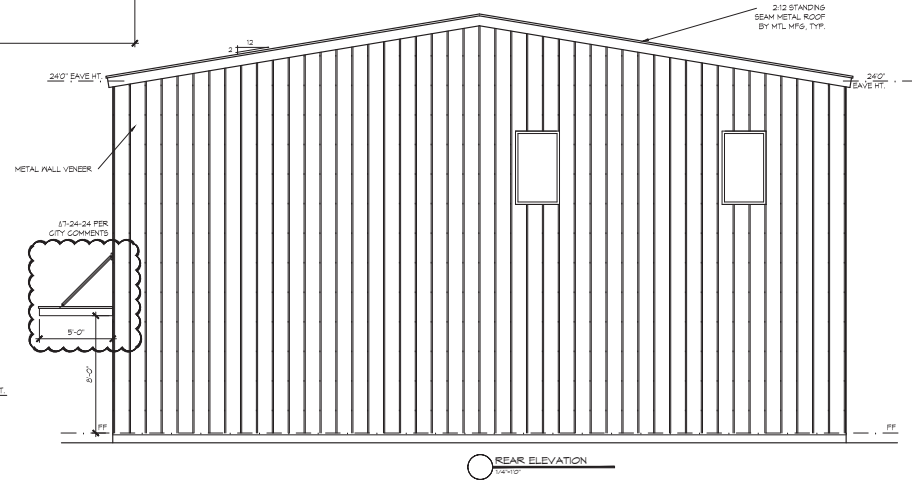
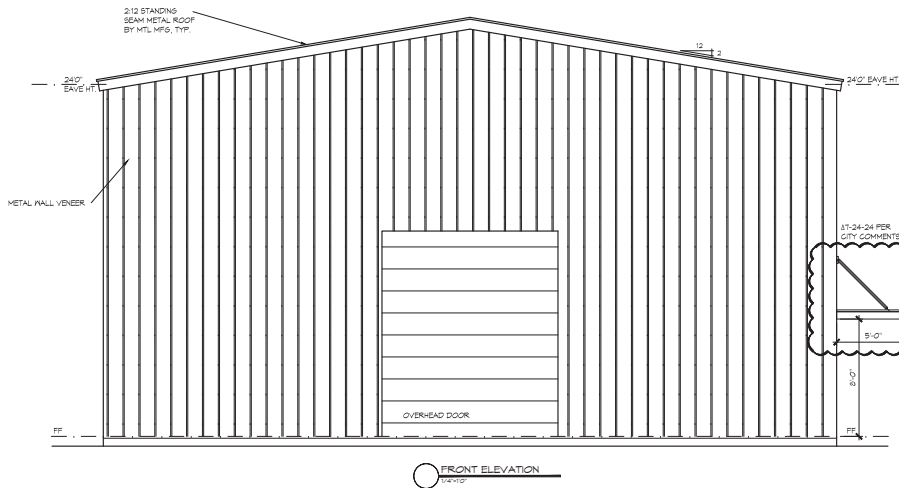
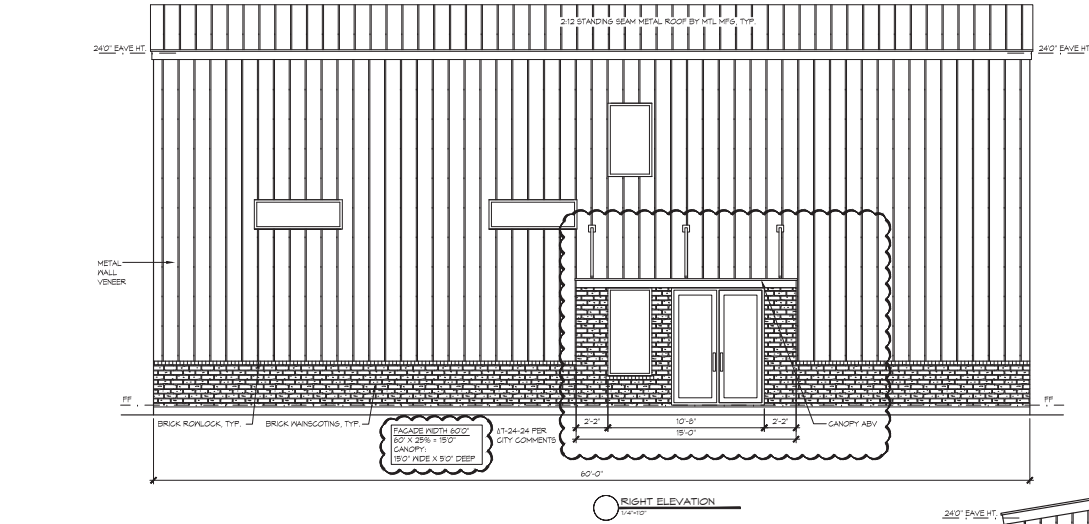
707 BUSINESS WAY  
DEVELOPMENT  
CITY OF WYLLIE, COLIN COUNTY, TX  
UTILITY PLAN  
DEVELOPMENT

STATE OF TEXAS  
JULIAN H. REED  
LICENSED PROFESSIONAL ENGINEER  
91962  
August 6, 2024  
*David H. Reed*

CHECKED BY  
JH  
DHR JOB No.  
2220  
ISSUE DATE: 08/20/2024  
SHEET  
C-7.1

FILE: UTILITY PLANS.DWG

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231328

WYLIE  
COMMERCIAL

101 BUSINESS WAY BLDG #201  
LOT 4 BLOCK 1  
544 INDUSTRIAL PARK  
WYLIE, TEXAS  
COLLIN COUNTY

DATE: 5-15-23 PD1  
0-1-23 F/R  
9-6-23  
1-24-24 REV

SHEET Title:

FRONT, REAR  
& RIGHT ELEV'S  
SCALE: 1/4" = 1'-0"



201 N. PALM LANE, SUITE 1000, WILSONVILLE, OR 97151  
201 N. PALM LANE, SUITE 1000, WILSONVILLE, OR 97151

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SHEET No.:

A2-1



231328

WYLIE  
COMMERCIAL

107 BUSINESS WAY BLDG #201  
LOT 4 BLOCK 1  
544 INDUSTRIAL PARK  
WYLIE, TEXAS  
COLLIN COUNTY

DATE: 5-15-23 PD1  
8-7-23 F/R  
9-6-23  
7-24-24 REV

SHEET Title:

LEFT ELEV &  
ROOF PLAN  
SCALE: 1/4" = 10'

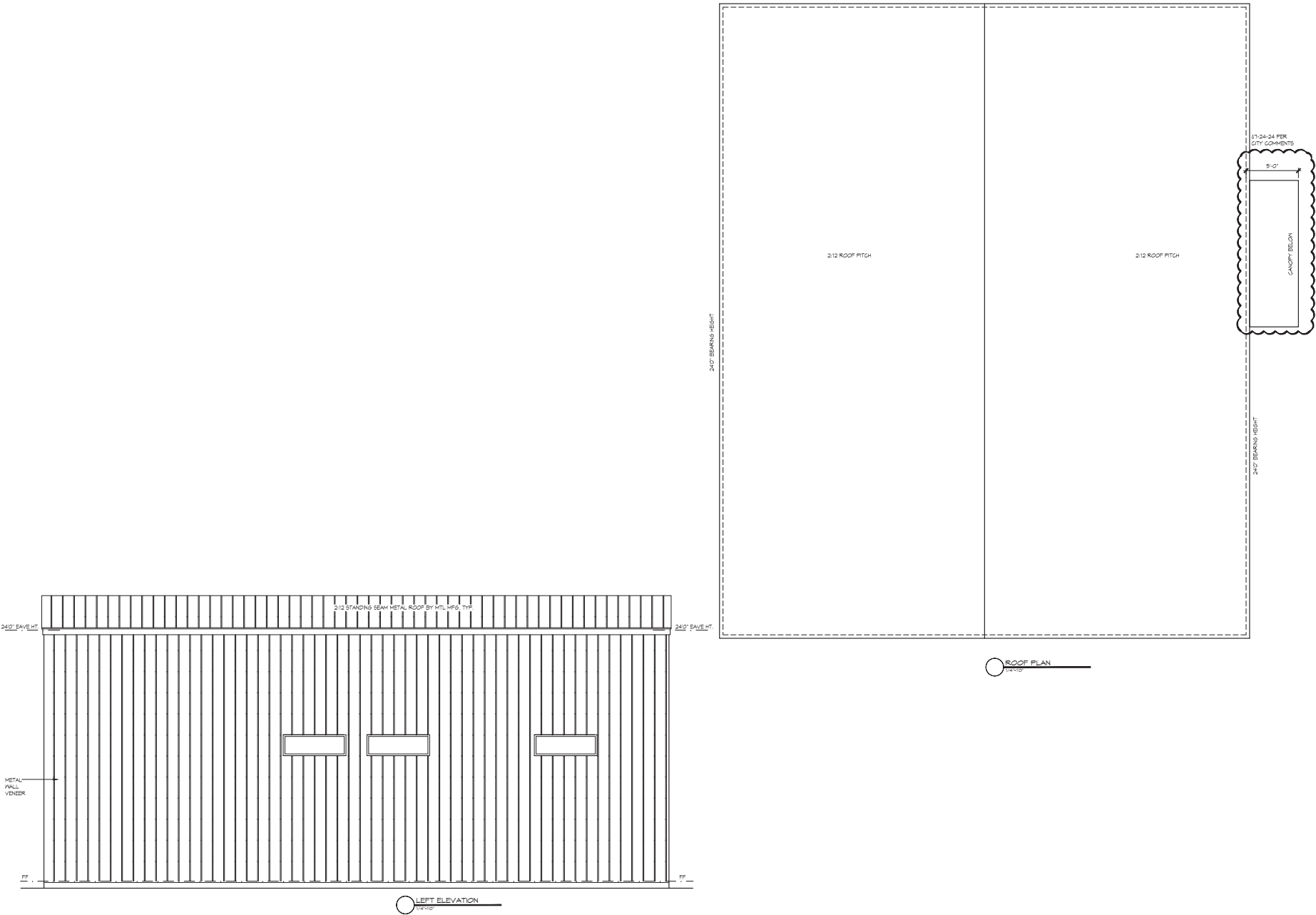


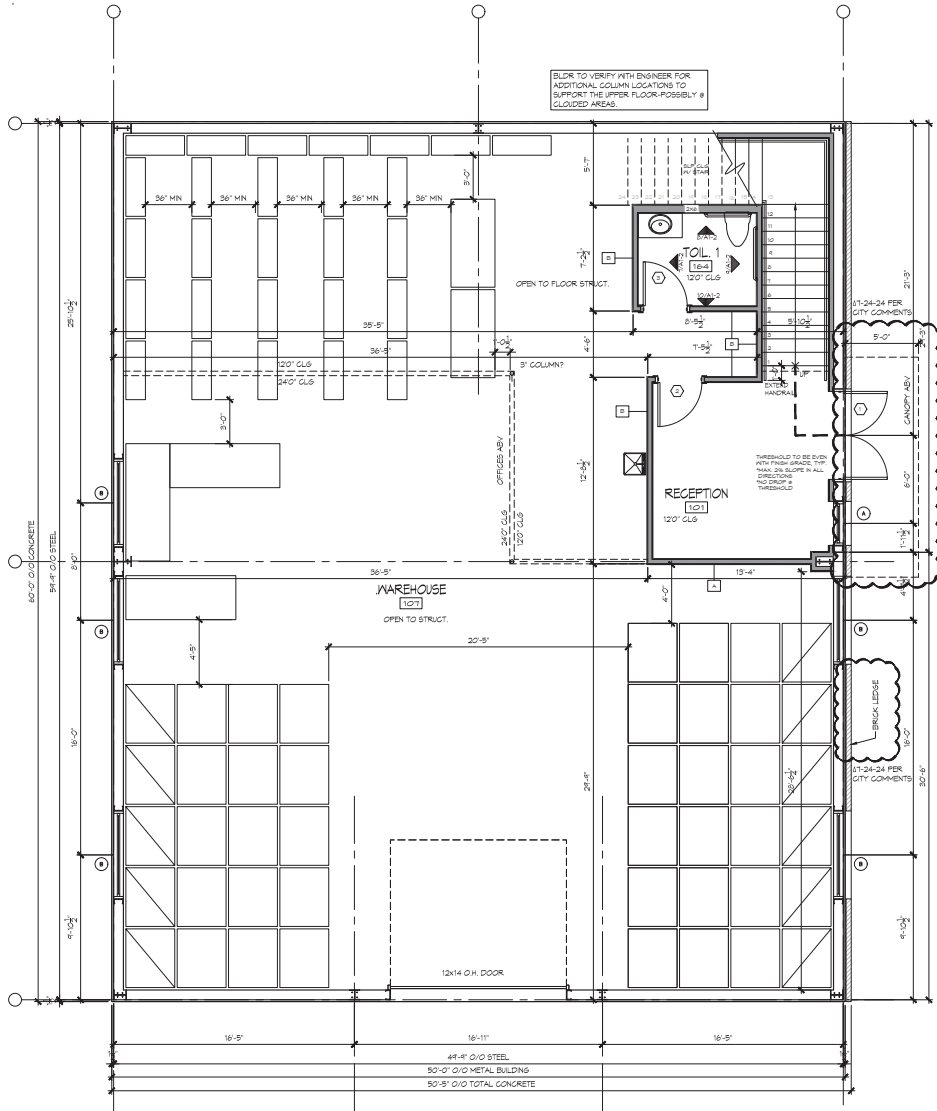
214 N. PALMVIEW CREEK DR. HANSFIELD TEXAS 76068  
817.471.0000 FAX 817.471.0000 FAX  
ARCHITECTS

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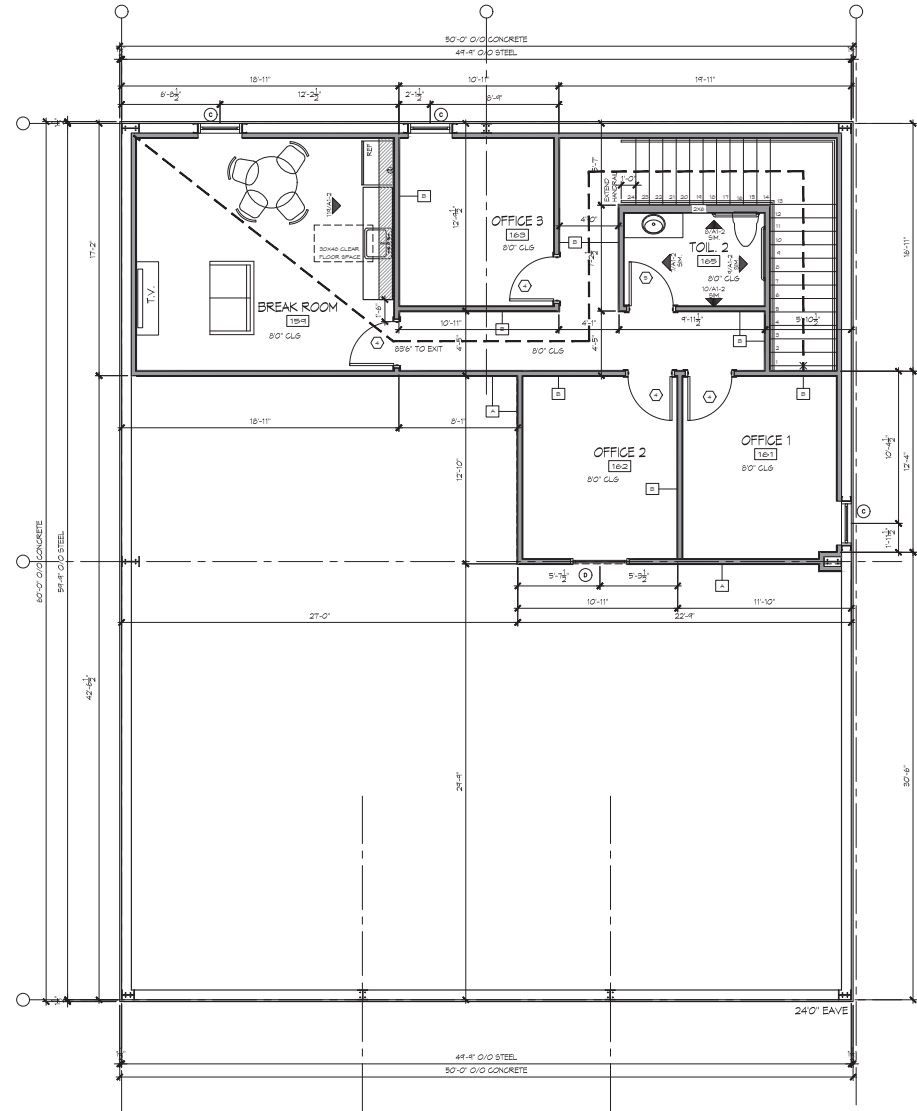
SHEET No:

A2-2





LOWER FLOOR PLAN



UPPER FLOOR PLAN

SQUARE FOOTAGE	
AREAS	SQ. FT.
LOWER FLOOR OPG	384 SF
UPPER FLOOR OPG	1168 SF
TOTAL A/C	1552 SF
ADDITIONAL SQUARE FOOTAGE	
AREAS	SQ. FT.
WAREHOUSE	481 SF
SLAB	SQ. FT.
LOWER FLOOR OPG	384 SF
WAREHOUSE	281 SF
TOTAL CONCRETE	5225 SF



231328

WYLIE  
COMMERCIAL

101 BUSINESS WAY BLDG #201  
LOT 4 BLOCK 1  
544 INDUSTRIAL PARK  
WYLIE, TEXAS  
COLLIN COUNTY

DATE: 5-15-23 PD1  
5-1-23 F/R  
9-6-23  
1-24-24 REV

SHEET Title:

FLOOR  
PLANS  
SCALE: 1/4" = 1'-0"



218 N. PALM STREET, DR. WAXFORD TEXAS 76088  
817.471.1324 (FAX) 817.471.3353 (CELL)

ARCHITECTS

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SHEET No.:

A1-1



# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: 3

### Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Downtown Historic District (DTH) to Downtown Historic District - Special Use Permit (DTH-SUP) on 0.083 acres to allow for a Smoking Establishment. Property located at 100 N Ballard Avenue (**ZC 2024-06**).

### Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

### Discussion

**OWNER: Taylor and Son Properties**

**APPLICANT: Jose Hernandez**

The applicant is requesting a Special Use Permit (SUP) on 0.083 acres to allow for a Cigar Lounge use at 100 N Ballard Avenue. The floor area of the existing structure measures 1,725 sq.ft. The current zoning is Downtown Historic District (DTH).

The SUP conditions allow for the Cigar Lounge as a Smoking Establishment use. The SUP shall be null and void should the property not be owned by Faustino Cigars, LLC.

The proposed development contains a lounge area, a humidor, and will offer charcuterie style food. Additionally, the development is proposing to conduct alcohol sales and shall be required to meet all of TABC requirements for permitting. With TABC permitting, the sale of alcohol is allowed by right as all city requirements are met and are not conditions within the SUP. The development is more than 300' away from The Cross Church located at 100 N. First Street. The measurement is calculated from the front door of the business to the church's front door and is a distance of more than 380 feet.

The property to the north is developed with a general merchandise store. The property to the west is developed with a winery. The property to the south is developed with a gym. The property to the east is in the process of being redeveloped for a personal service use for a hair salon.

The subject property lies within the Downtown sector of the Comprehensive Land Use Plan. Development within this sector's main purpose is to build upon the existing Downtown development pattern by encouraging appropriate infill and redevelopment of similar uses. The secondary purpose is to preserve and promote Downtown as the cultural center and key economic driver for Wylie.

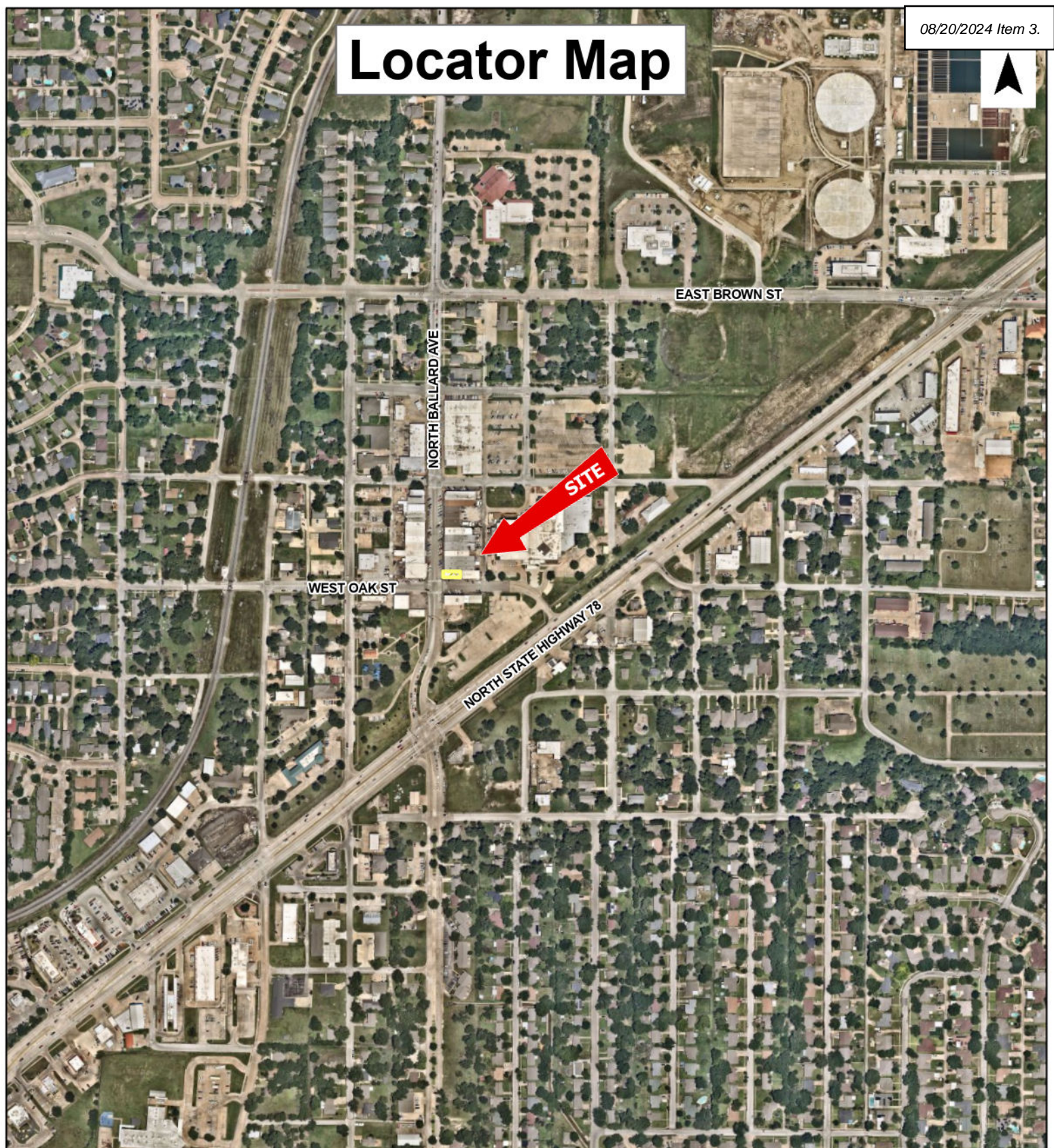
Notices were sent to twenty-seven property owners within 200 feet as required by state law. At the time of posting, two responses were received in favor and three in opposition of the request. Outside of the notification area, one was received in favor and one in opposition of the request.



If zoning is approved, a finish out permit for the retail suite and Certificate of Occupancy shall be required prior to the business opening.



# Locator Map



ZONING CASE:  
ZC 2024-06

 SUBJECT property



Date: 7/29/2024





## Faustino's Cigars and Lounge

## EXHIBIT "B"

## Conditions For Special Use Permit

## I. PURPOSE:

The purpose of this Special Use Permit is to allow for a cigar lounge use within the Downtown Historic District

## II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations of the Downtown Historic District (DTH) set forth in Article 6, Section 6.3 of the Comprehensive Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of the Faustino's Cigars and Lounge development shall be in accordance with Section III below and the Zoning Exhibit (Exhibit B).

## III. SPECIAL CONDITIONS:

1. This Special Use Permit shall allow for a Smoking Establishment use within the Downtown Historic zoning district.
2. The Special Use Permit shall be null and void should the property not be owned by Faustino Cigars, LLC.

CIGARS AND LOUNGE

100 N. BALLARD ST  
WYLIE, TX 75098

DRAWN BY:  
Hudson Shuck  
PHONE # (940) 343-5355  
EMAIL: shuck.hudson@gmail.com

OWNER:  
Taylor and Son Properties, LLC  
109 N Jackson Ave  
Suite #101  
Wylie, TX 75098

PROPRIETOR:  
Jose Hernandez  
3001 Coolwood Ln  
Rockwall 75082  
jaustrnoci@yaho.com  
(469) 306-2412

DATE: 07.22.2024

SCALE:

JOB NO.

DRAWN: HUDSON SHUCK

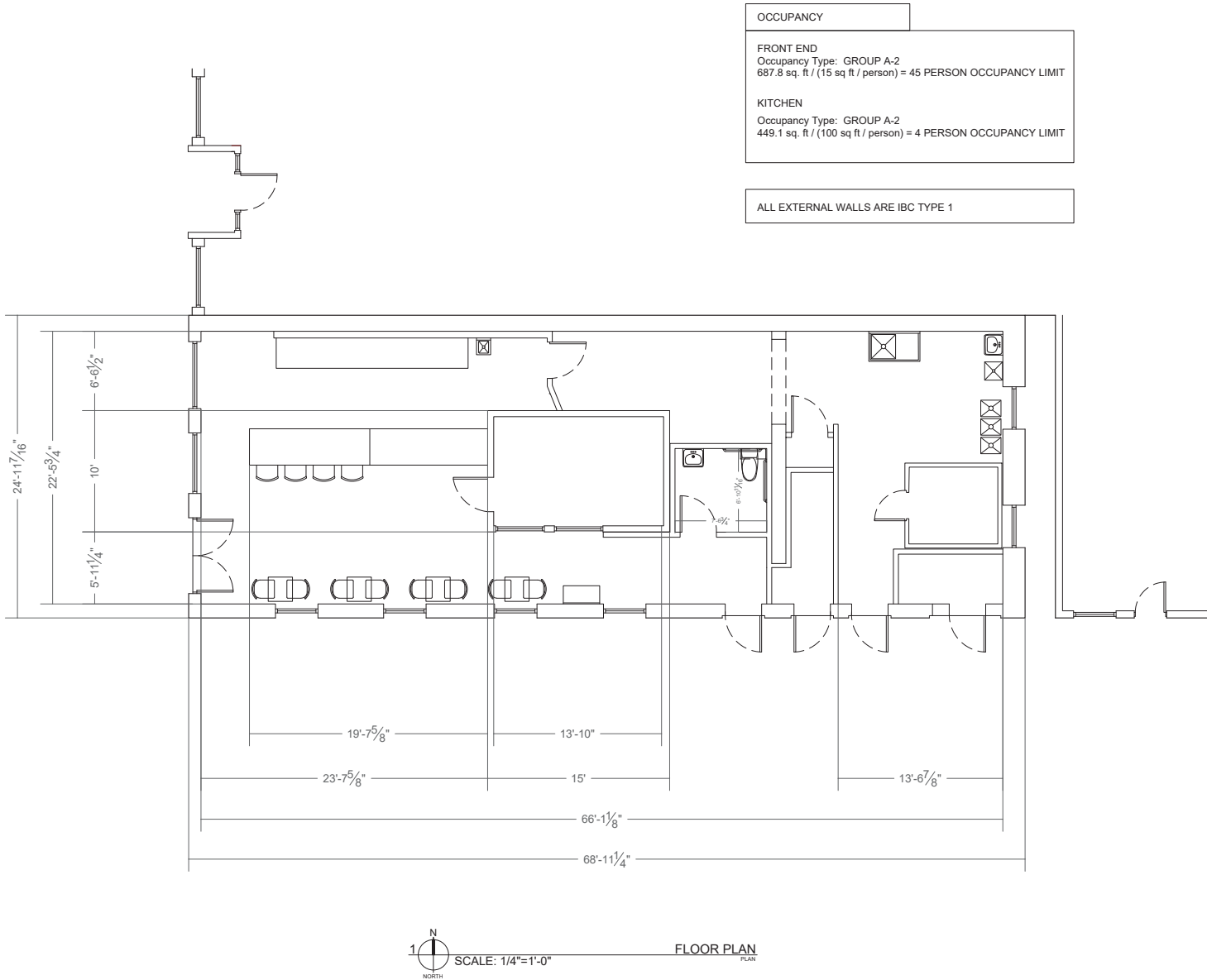
APPD:

ACAD #

FLOOR PLAN

DRAWING NO.

A1.01



CIGARS AND LOUNGE

100 N. BALLARD ST  
WYLIE, TX 75098

DRAWN BY:  
Hudson Shuck  
PHONE # (940) 343-5355  
EMAIL: shuck.hudson@gmail.com

OWNER:  
Taylor and Son Properties, LLC  
109 N Jackson Ave  
Suite #101  
Wylie, TX 75098

PROPRIETOR:  
Jose Hernandez  
3001 Coolwood Ln  
Rockwall 75082  
faustinojgarcia@yahoo.com  
(469) 396-2412

DATE: 07.22.2024

SCALE:

JOB NO.

DRAWN: HUDSON SHUCK

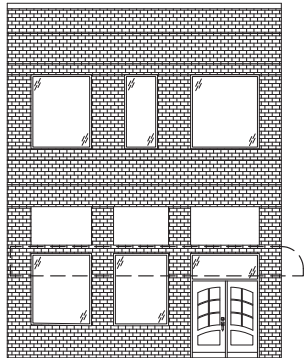
APPD:

ACAD #

FLOOR PLAN,  
FRONT ELEVATION

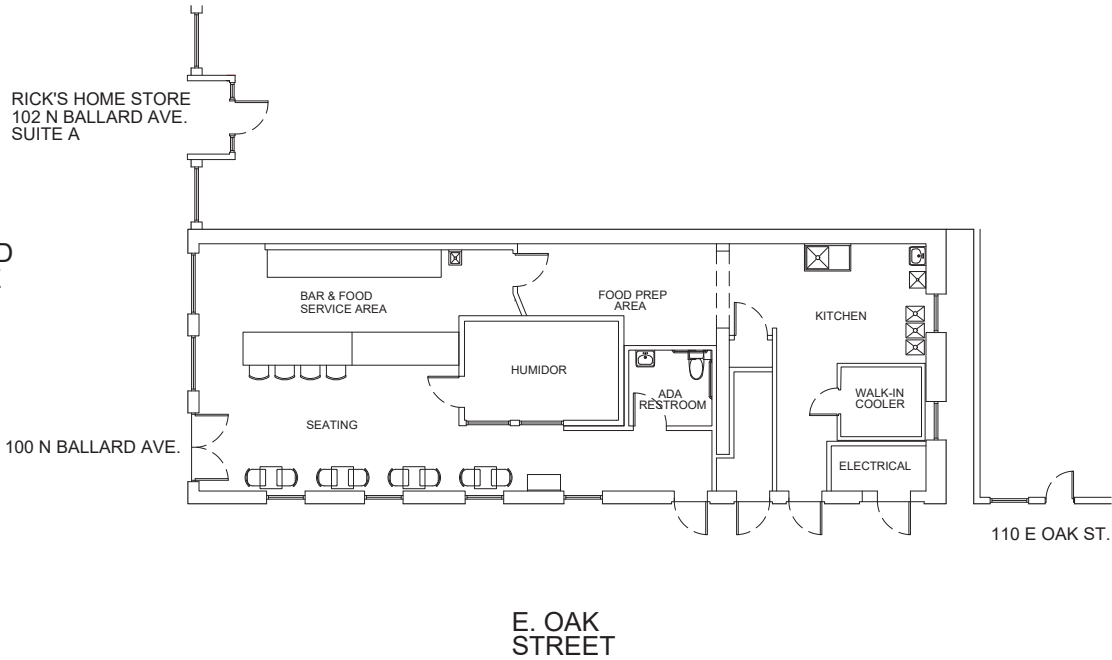
DRAWING NO.

A1.02



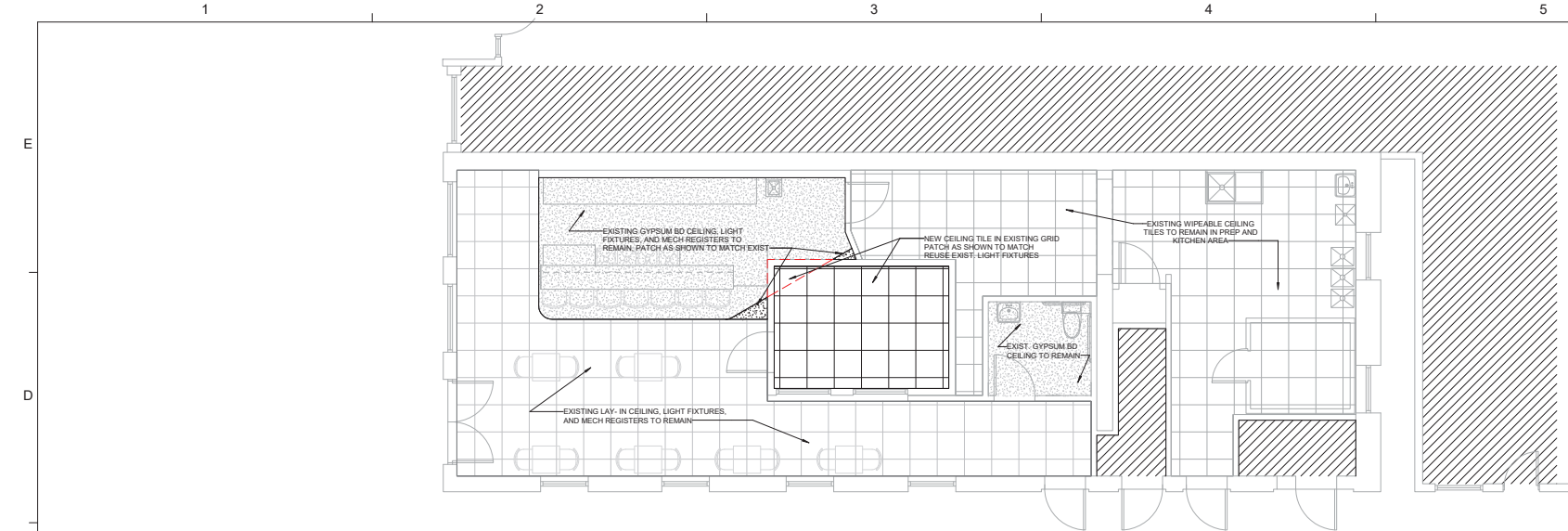
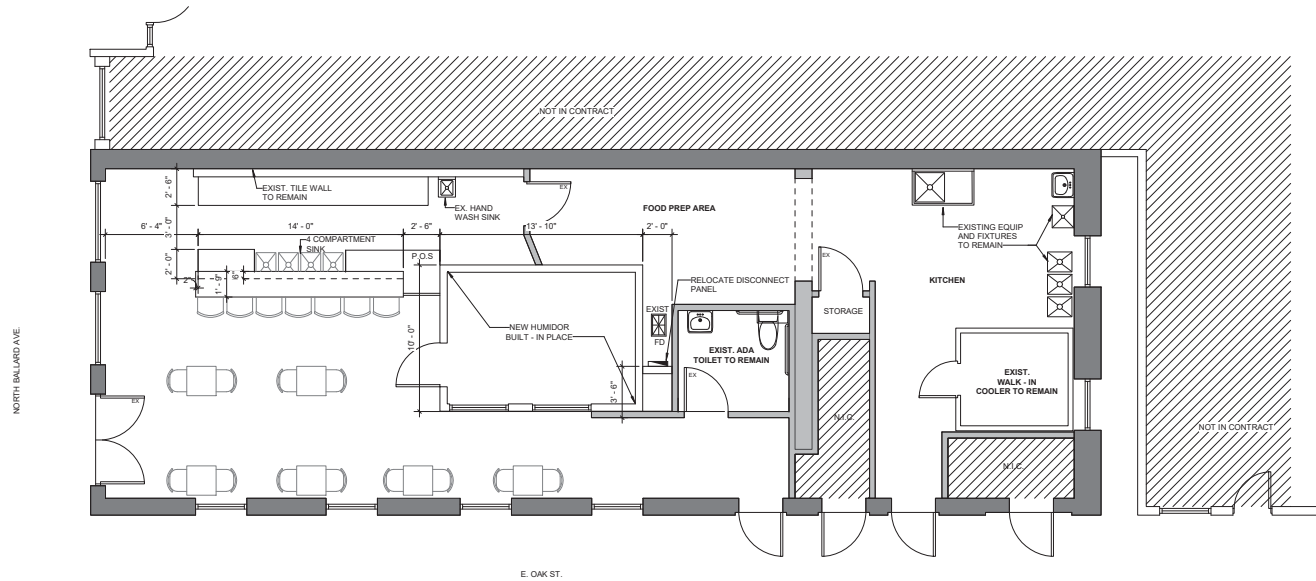
2 SCALE: 3/16"=1'-0" FRONT ELEVATION  
ELEVATION

NORTH  
BALLARD  
AVENUE



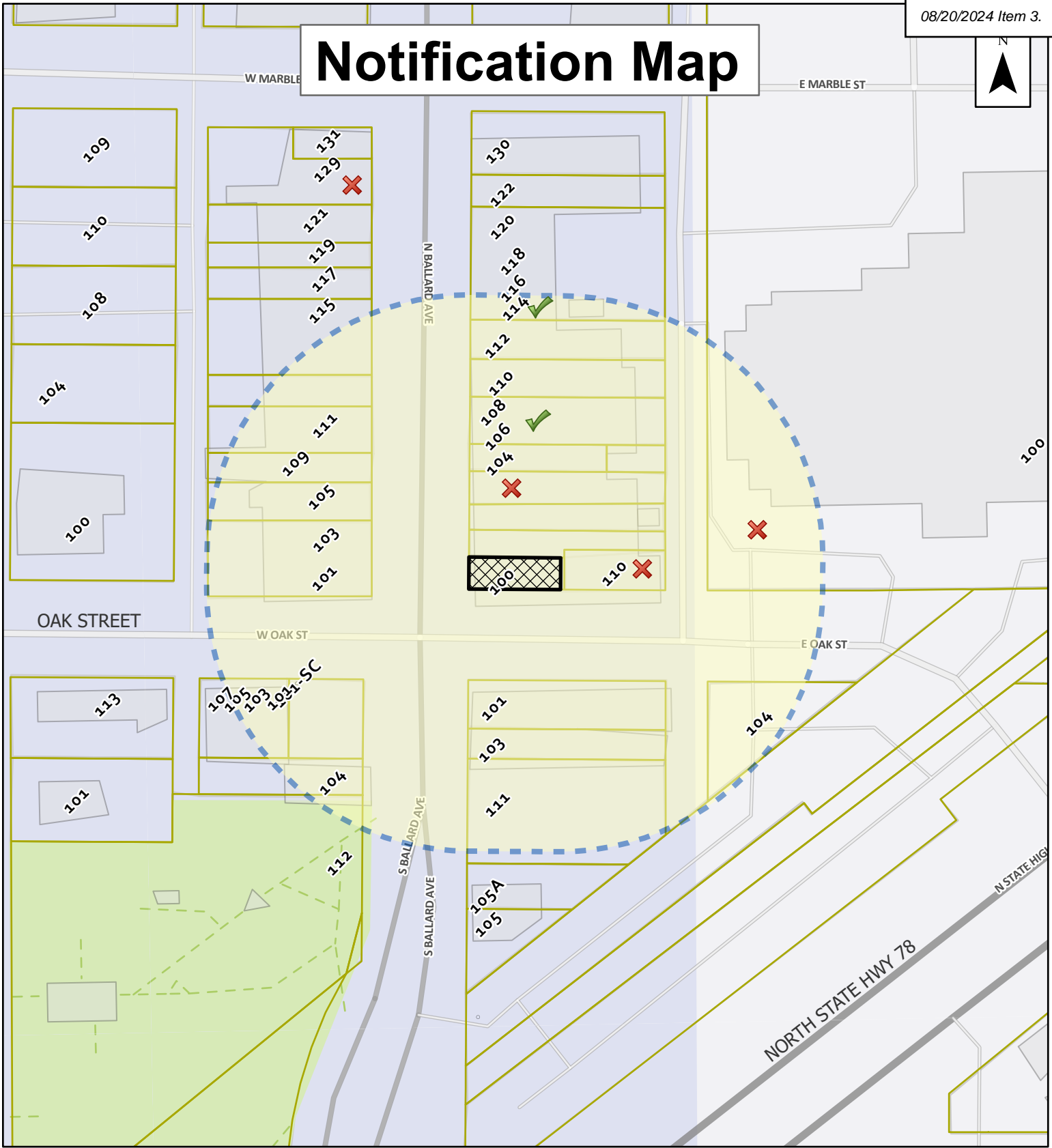
1 N NORTH SCALE: 3/16"=1'-0" FLOOR PLAN  
PLAN

NO.	DESCRIPTION	DATE


**1 REFLECTED CEILING PLAN**  
 Scale: 1/4" = 1'-0"

**A2 FLOOR PLAN**  
 Scale: 1/4" = 1'-0"



# Notification Map



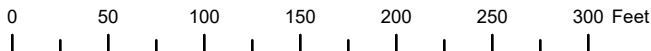
ZONING CASE:  
ZC 2024-06



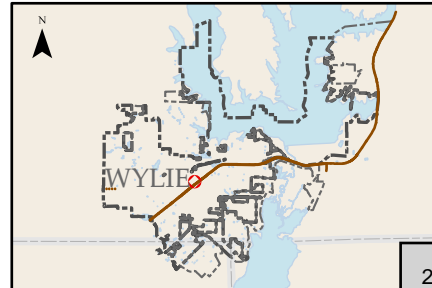
SUBJECT property



200 foot Notification Buffer



Date: 7/29/2024







## Public Comment Form

**First Name \***

Caroline

**Middle Name**

**Last Name \***

McDowell

**Address \***

Street Address

100 N First Street

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

**Case # \***

ZC2024-06 100 N Ballard Avenue

**Response \***

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

**Comments**

*I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.*

**Signature \***

*Caroline McDowell*

**Date of Signature**

8/7/2024



## PUBLIC COMMENT FORM

***Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment>  
or by scanning the QR code in the upper right hand corner.  
(If completing the form below, please type or use black ink)***

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

☐ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2024-06.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2024-06.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of  
Planning & Zoning

Commission meeting:

Tuesday, August 20, 2024 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
City Council meeting:

Tuesday, September 10, 2024 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

TERI ALLEN  
(please print)

Address:

102 C N BALLARD AVE  
WYLLIE, TX 75098

Signature:

Teri Allen

Date:

8/16/24

### COMMENTS:

THIS WILL NOT BRING SHOPPING  
DOWN TOWN. THE SMELL WILL DIRECTLY  
AFFECT THE BUSINESS NEXT DOOR.



## Public Comment Form

**First Name \***

Blake

**Middle Name**

**Last Name \***

Herpeche

**Address \***

Street Address

110 e oak

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

**Case # \***

ZC2024-06 100 N Ballard Avenue

**Response \***

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

**Comments**

*I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.*

**Signature \***

A black and white image of a handwritten signature, which appears to be 'Blake Herpeche', on a light gray background.

**Date of Signature**

8/9/2024



## PUBLIC COMMENT FORM

***Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment>  
or by scanning the QR code in the upper right hand corner.  
(If completing the form below, please type or use black ink)***

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

☐ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2024-06.

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2024-06.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of  
Planning & Zoning

Commission meeting:

Tuesday, August 20, 2024 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
City Council meeting:

Tuesday, September 10, 2024 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

Pam Wells  
(please print)

Address:

129 N. Ballard

Signature:

Pam Wells

Date:

Aug 6, 2024

**COMMENTS:**

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## PUBLIC COMMENT FORM

***Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment>  
or by scanning the QR code in the upper right hand corner.  
(If completing the form below, please type or use black ink)***

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

☒ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2024-06.

☐ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2024-06.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of  
Planning & Zoning  
Commission meeting:

Tuesday, August 20, 2024 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
City Council meeting:

Tuesday, September 10, 2024 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

DeDe Brown  
(please print)

Address:

108 North Ballard  
Wylie, Tx. 75098

Signature:

DeDe Brown

Date:

8-6-24

**COMMENTS:**

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## Public Comment Form

**First Name \***

Madison

**Middle Name**

**Last Name \***

Burke

**Address \***

Street Address

108 N Ballard Ave

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

**Case # \***

ZC2024-03 1725 Port Tack Lane

**Response \***

- ☒ I am FOR the requested zoning as explained on the public notice  
☐ I am AGAINST the requested zoning as explained on the public

**Comments**

I think bringing in a cigar lounge is good to bring in a new group of people. I think it also provides opportunities to work with the Winery and Herman Marshall

*I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.*

**Signature \***

A grey rectangular box containing a black electronic signature that appears to be 'MB'.

**Date of Signature**

8/6/2024





## Public Comment Form

**First Name \***

Clay

**Middle Name**

**Last Name \***

Proulx

**Address \***

Street Address

9177

Address Line 2

CR 591

City

Nevada

State / Province / Region

TX

Postal / Zip Code

75173

**Case # \***

ZC2024-06 Faustino Cigars and Lounge

**Response \***

- ☒ I am FOR the requested zoning as explained on the public notice  
☐ I am AGAINST the requested zoning as explained on the public

**Comments**

*I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.*

**Signature \***

A handwritten signature in black ink on a light gray background.

**Date of Signature**

8/6/2024





# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: 4

### Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 18.754 acres to allow for drone delivery service for Walmart. Property located at 2050 N State Highway 78 (**ZC 2024-05**).

### Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

### Discussion

**OWNER: Walmart Real Est Business**

**APPLICANT: Kimley-Horn**

The applicant is requesting a Special Use Permit (SUP) on 18.754 acres to allow for a drone delivery service for Walmart located at 2050 N State Highway 78. A Special Use Permit is required as the proposed use is unlisted and undefined within the Listed Uses of the Zoning Ordinance found in Section 5.2. The SUP allows for conditions to be established for the proposed use as allowed by Section 5.6 of the Zoning Ordinance.

The drone delivery service shall be required to maintain a Federal Aviation Administration (FAA) Part 135 certification to operate in accordance with Title 14 of the Code of Federal Regulations. The drone operations are approved and overseen by the FAA with the FAA maintaining sole enforcement duties. The drone service provider, Wing, has obtained and maintains all necessary approvals to operate in the greater Dallas-Fort Worth Area.

The SUP conditions allow for the use of a 30'X 94' screened chain link fence perimeter for drone docking, launching and charging of 12 pad nests, a storage container for the storage of drones, and a generator for power.

The generator shall not exceed a maximum of 63 dB up to 25' and shall exempt Nonresidential district's sound pressure level limits of 60 dB during the day from 7am to 7pm. The generator is to be utilized on this site through October 31, 2025. Upon expiration of the use of the generator, a site plan review shall be required when the development transitions to a permanent solution.

The perimeter fencing is proposed to be a minimum height of 8 feet and consist of metal mesh panels.

If approved, the zoning exhibit shall serve as the site plan for the drone delivery development.

The property to the north is owned by the North Texas Municipal Water District. The property to the east is owned by the Kansas City Southern Railway Company. The property to the south is developed with retail and minor automotive service development. The property to the west is development with retail development.

The subject property lies within the Regional Commercial sector of the Comprehensive Land Use Plan. Development within this sector's main purpose is to provide areas to allow for a broad range of commercial, retail, and office uses oriented toward major roadways. Heavy commercial or light industrial uses may be appropriate depending on compatibility with surrounding areas.

Notices were sent to seventeen property owners within 200 feet as required by state law. At the time of posting, one response was received in favor and none in opposition of the request.

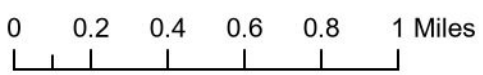


# Locator Map



ZONING CASE:  
ZC 2024-05

 SUBJECT property



Date: 7/25/2024







July 31, 2024

## **Walmart 5210 – Drone Delivery**

### **Exhibit “B”**

#### **Conditions for Special Use Permit**

##### **I. PURPOSE:**

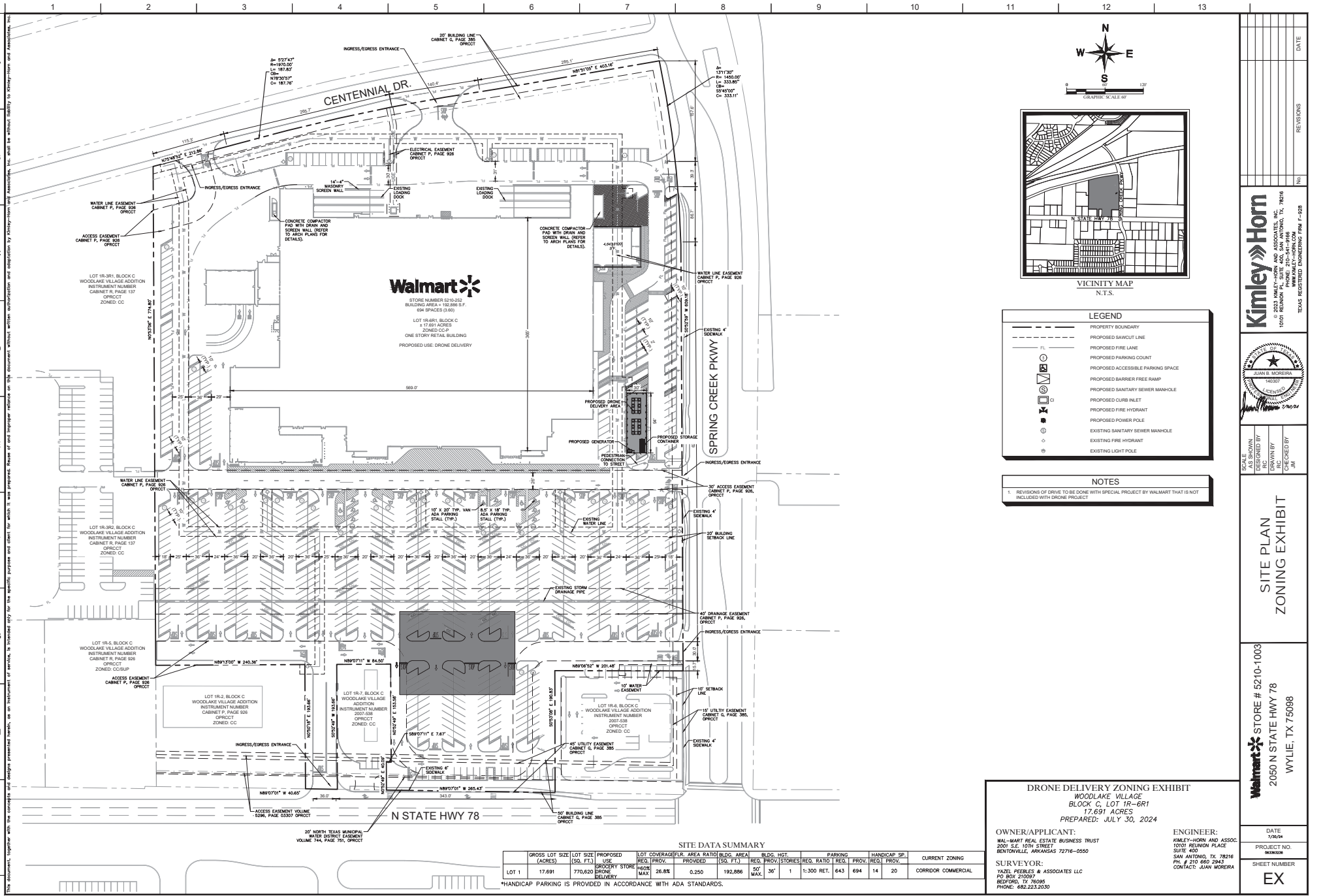
The Purpose of this Special Use Permit is to allow for the Corridor Commercial Zoned Site currently being used as a grocery store to add Drone Delivery as a usage.

##### **II. GENERAL CONDITIONS:**

1. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of the Drone Delivery Program shall take place in the general accordance with the Zoning Exhibit (Exhibit C).

##### **III. Special Conditions:**

1. The development will have 12 pad nests located on the asphalt of the parking lot for drone docking, launching, and charging. It will be enclosed by a maximum 8' tall black wire panel fence with a maximum 30' x 94' perimeter.
2. The nest will occupy a maximum of 21 parking spaces and will have a “NO PARKING” striping around the fenced-off area. With the ongoing project of adding drive aisles and potentially re-striping online grocery pickup spaces, a maximum of 35 spaces shall be removed.
3. A storage container for the storage of drones and a temporary generator for power shall be located within the inside perimeter of the fence. The temporary generator is to be utilized on this site through October 31, 2025. Upon expiration of the use of the generator, a site plan review shall be required when the development transitions to permanent power.
4. The temporary generator shall not exceed a maximum of 63 dB up to 25 ft and shall exempt Nonresidential district's sound pressure level limits of 60 dB during the Day from 7:00 a.m. to 7:00 p.m. Noise may be measured at the property line for compliance upon installation.
5. The Zoning Exhibit (Exhibit C) shall serve as the Site Plan for the Drone Delivery development. Approval of the Special Use Permit shall act as site plan approval.



**Kimley»Horn**  
KIMLEY-HORN AND ASSOCIATES, INC.  
10101 REUNION BLVD., SUITE 400, SAN ANTONIO, TX 78216  
WWW.KIMLEY-HORN.COM  
TEXAS REGISTERED ENGINEERING FIRM F-929



SCALE: AS SHOWN  
DESIGNED BY: JRM  
DRAWN BY: JRM  
CHECKED BY: JRM

**SITE PLAN  
ZONING EXHIBIT**

**Walmart** STORE # 5210-1003  
2050 N STATE HWY 78  
WYLLIE, TX 75098

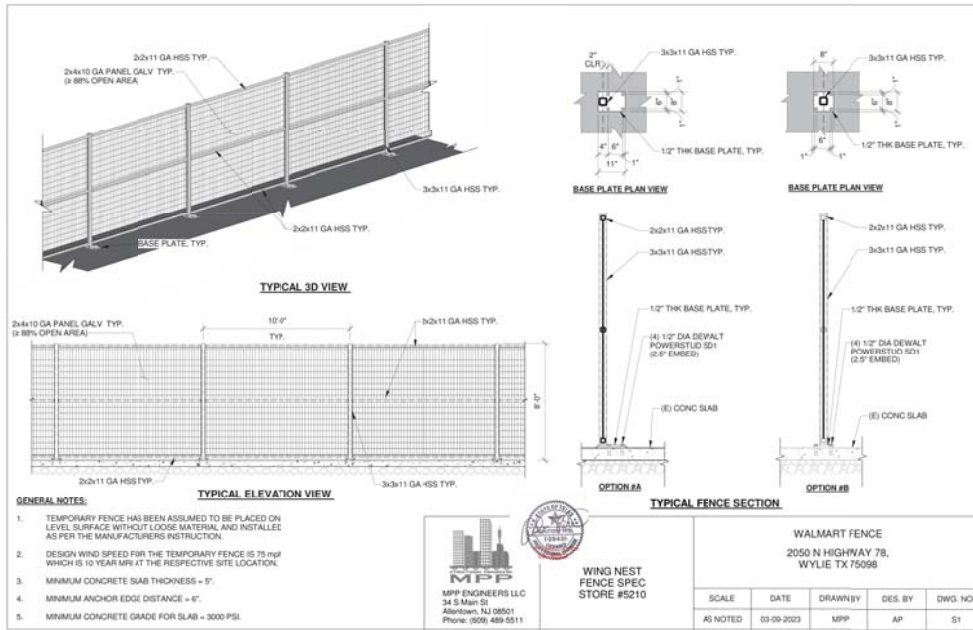
**DRONE DELIVERY ZONING EXHIBIT**  
WOODLAKE VILLAGE  
BLOCK C, LOT 1R-6R1  
17.691 ACRES  
PREPARED: JULY 30, 2024

**OWNER/APPLICANT:**  
WAL-MART REAL ESTATE BUSINESS TRUST  
2001 S.E. 10TH STREET  
BENTONVILLE, ARKANSAS 72716-0550

**ENGINEER:**  
KIMLEY-HORN AND ASSOC.  
10101 REUNION PLACE  
SUITE 400  
SAN ANTONIO, TX 78216  
PH: # 210 660 2943  
CONTACT: JUAN MORERA

**SURVEYOR:**  
YAZEL REEBLES & ASSOCIATES LLC  
PO BOX 210097  
BEDFORD, TX 76095  
PHONE: 682.223.0030

**DATE:** 7/26/24  
**PROJECT NO.:** 24030208  
**SHEET NUMBER:** EX



Wing Aviation  
Mr. Steve Gafen

RE: Temporary Fence System  
Walmart - 2050 N Highway 78, Wylie, TX 75098  
MPP Project No. 24-0300

Dear Mr. Gafen

For the above referenced site, we have evaluated the temporary fence installation in the parking lot for stability against wind loading. We have applied the code required wind loads and have checked the fence system for stability against sliding and overturning. We are presenting two (2) options with varying size of base plates and installations using anchors into a concrete base required to satisfy the required factor of safety.

We certify that either of the options presented herein will satisfy the wind loading for the fence system if installed in accordance with the design parameters set forth in the attached options.

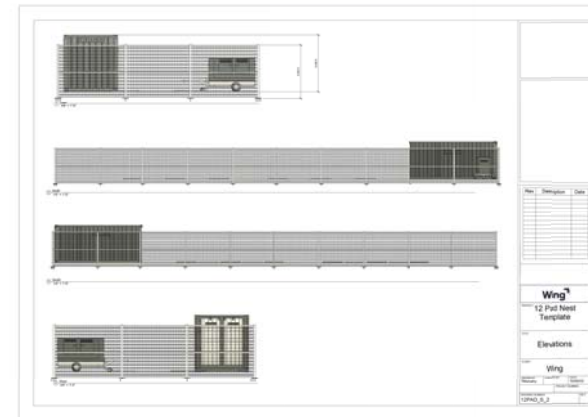
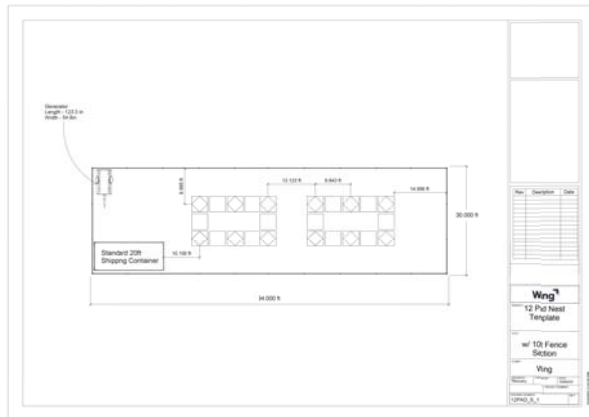
If you have any questions regarding this matter, please feel free to contact my office at 609-489-5511. We appreciate the opportunity to assist you with this evaluation.

Sincerely,  
MPP Engineers, LLC



Ashutosh Patel, P.E.  
TX PE 109430  
TX Firm No. 15740

MPP Engineers, LLC | 34 South Main Street, Suite D | Allentown, NJ 08501  
609-489-5511 (Phone) | [www.mppengineers.com](http://www.mppengineers.com) | 609-489-5910 (Fax)



**Kimley»Horn**  
P.E. 2023 ONLY - KIMLEY-HORN AND ASSOCIATES, INC.  
10101 REIDMAN PL., SUITE 400, SAN ANTONIO, TX, 78216  
WWW.KIMLEY-HORN.COM  
TEXAS REGISTERED ENGINEERING FIRM F-929



SCALE  
AS SHOWN  
DESIGNED BY  
DRAWN BY  
RC  
CHECKED BY  
JK

DRONE DELIVERY  
DETAIL PLAN

**Walmart\*** STORE # 5210-1003  
2050 N STATE HWY 78  
WYLIE, TX 75098

DATE  
7/26/24  
PROJECT NO.  
240300026  
SHEET NUMBER  
**EX**



# Allmand Maxi-Power 25

## Mobile Generator



Rented Generator from

**Texas First Rentals**

**Engine Brand**

Isuzu

**Engine Model**

4LE2T

**Engine Tier**

Tier 4 Final

**Output @ Rated Speed (1,800 RPM) - HP\*\*\*\***

33

**Standby Power - kVA (kW)**

27.5 (22)

**Prime Power - kVA (kW)\*\*\***

25 (20)

**Battery (V)**

12

**Voltage Regulation Percentage**

0.50%

**Amperage Single Phase 120 V (A)**

60 x 2

**Amperage Single Phase 240 V (A)**

60

**Amperage Three Phase 120 V / 208 V (A)**

69

**Amperage Three Phase 277 V / 480 V (A)**

30

**Excitation**

Brushless with AVR

**Insulation**

Class H4

**Integral Fuel Tank Capacity (gal)**

52

**Runtime @ Full Load (hrs)**

31+

**Main Breaker Size (Amps)**

100 (80%)

**Sound Level @ 23 ft. (No Load) - dBA**

63

**Engine Oil Change Interval (hrs)**

500

**Engine Fuel Filter Change Interval (hrs)**

500

**Dry Weight (lbs)**

2,425

**Operating Wet Weight (lbs)**

2,780

**Trailer Weight (lbs)**

531.4

**Trailer GVWR (lbs)**

2,900

**Length With Towing Frame (in)**

123.3

**Width With Towing Frame (in)**

54.8

# Maxi-Power™

## Mobile Generator

**SOUND** ATTENUATED

**HEAVY-DUTY**, OVER-SIZED ALTERNATOR

**HIGH CAPACITY**, COLD START BATTERY

**AUTOMATIC** VOLTAGE REGULATOR (AVR)

**120 VOLT** GFCI RECEPTACLES ALWAYS  
ENERGIZED WHILE RUNNING

**ADJUSTABLE** COUPLER CHANNEL

**FREQUENCY SWITCH** TO RUN  
50 Hz OR 60 Hz



SINCE 1938

Reliability, Performance and Integrity.

# Maxi-Power™

## Mobile Generator

Maximize the power of your jobsite with the Maxi-Power™ Mobile Generator. This generator comes equipped with a heavy-duty, oversized alternator equipped for motor starting needs. With a frequency switch for flexibility of jobsite power needs, and 15 inch tires for longer wear and greater towing capabilities, this generator will last and deliver the power you need to get the job done.



## KEY FEATURES

- 110% Full Fluid Containment
- Oversized Electrical Lugs
- Large Capacity Fuel Tank<sup>1</sup>
- Standard External Fuel Connections
- Standard Programmable Start/Stop for Standby Applications
- Electric Fuel Primer & Air-Bleed (EFPA) Pump
- Hydraulic Surge Brakes Standard
- Lockable Switch / Voltage Selector
- Curbside Fluid Maintenance / Side Fork Pockets (MP25)
- Trailer DOT Compliant 49 CFR
- Trailer Optional
- Warranty Coverage / Product: 2 Years/2,000 Hour Limited Warranty\*
- GPS Ready

Model Number	MP25	MP40	MP45	MP65-8B1
Armature Connection	Star with Neutral/Zig/Zag			
Number Of Poles	4 Pole			
Insulation	Class F			
Excitation	Brushless with AVR			
Voltage Regulation Percentage	0.50%			
Power Factor	0.80			
Frequency - Hz (Switchable)	60 (50)			
Standby Power - kVA (kW)	27.5 (22)	39 (31.2)	48.5 (38.8)	67 (53.6)
Prime Power - kVA (kW)	25 (20)	38 (30.4)	45 (36)	63 (50)
Voltage Single Phase (Switchable) (V)	120 / 240 / 277			
Voltage Three Phase (Switchable) (V)	208 / 240 / 416 / 480			
Amperage Single Phase 120 V (A)	60 x 2	91 x 2	108 x 2	152 x 2
Amperage Single Phase 240 V (A)	60	91	108	152
Amperage Three Phase 208 V (A)	65	105	119	167
Amperage Three Phase 240 V (A)	60	91	108	152
Amperage Three Phase 480 V (A)	30	46	54	76
Engine Brand	Isuzu	Kubota	Isuzu	Isuzu
Engine Model	4LE2T	V3300	4LE2X	4JJIX
EPA Emissions Certified	Tier 4 Final	Interim Tier 4	Tier 4 Final	Tier 3 Flex
Number of Cylinders	4	4	4	4
Output @ Rated Speed (1,800 RPM) - HP	33	47	59	98
Governor Type	Isochronous			
Integral Fuel Tank Capacity (gal)	52	106	106	106
Full Fluid Containment	110%			
Lubricating Oil Capacity gal (L)	2.7 (10.4)	3.4 (13.2)	3.1 (11.7)	4.0 (15.0)
Coolant Capacity gal (L)	2.7 (10.4)	2.9 (11.0)	2.5 (9.5)	2.9 (11.0)
Battery (V)	12	12	12	12
Run Time @ Full Load	31+	40+	36+	28+
Length W/O Trailer (in)	67	82	82	82
Width W/O Trailer (in)	32	39	38	39
Height W/O Trailer (in)	55	61	61	61
Dry Weight (lbs)	1,764	2,555	2,425	2,877
Operating Wet Weight (lbs)	2,161	3,325	3,197	3,660
Sound Level @ 23 ft (NO LOAD) - dBA	< 63	< 61	< 64	< 63
Trailer Length (in)	120	140	140	140
Trailer Width (in)	61	66	66	66
Trailer Height (in)	28	25	26	26
Trailer Weight (lbs)	610	950	950	950
Trailer GVWR (lbs)	3,500	5,750	5,750	5,750

<sup>1</sup>Unit runs at full load for 24+ hours. Allmand has a policy of continuous product improvement and reserves the right to modify its specifications at any time and without prior notice. See operator's manual or [www.allmand.com](http://www.allmand.com) website for complete warranty details.

## OPTIONS



### Camlocks

- Interchangeable electrical connectors that can be used in either single or three phase modes
- Single set of 5 Camlocks



### Arctic Package

- 50 W 120 V battery heater pad
- 1,000 W 120 V thermosiphon block heater with thermostat to maintain temperature



### Battery Charger (MP25 Only)

- 5 A 120 V with 3 stage charge cycle

Lockable Battery Disconnect (MP25 Only)

Electric Brake on MP65



## WHY ALLMAND®

When it comes to managing a jobsite, you want equipment that will not fail you when you need it most. You're looking for trust and reliability. Allmand® brings that to your jobsite, with over 75 years of respected experience. Our focus on Service and Support allows users to get the parts, technical service and support they need. Product innovation has helped us develop state-of-the-art towable jobsite equipment, bringing portable light towers, mobile industrial heaters, portable light stands, portable air compressors and mobile generators for the construction, mining, oil & gas, and rental markets.



Holdrege, Nebraska 68949  
P: (800) 562-1373 • F: (308) 995-5887  
[www.allmand.com](http://www.allmand.com)

SINCE 1938

# Storage

Aircraft storage space is subject to change based on partner needs. Storage needed may be reduced if we're able to use partner storage. Storage containers may also be added.

The Nest shall provide aircraft storage for 1.5 times the number of charge pads.

The Ground Support Operator shall place aircraft in storage at the end of daily operations.

Example of standard 20' container

**\*Current Storage Specifications:**

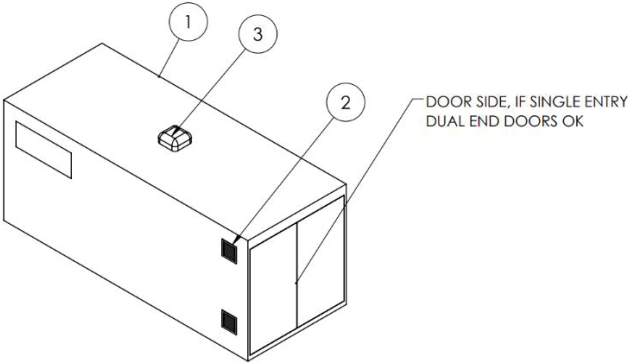
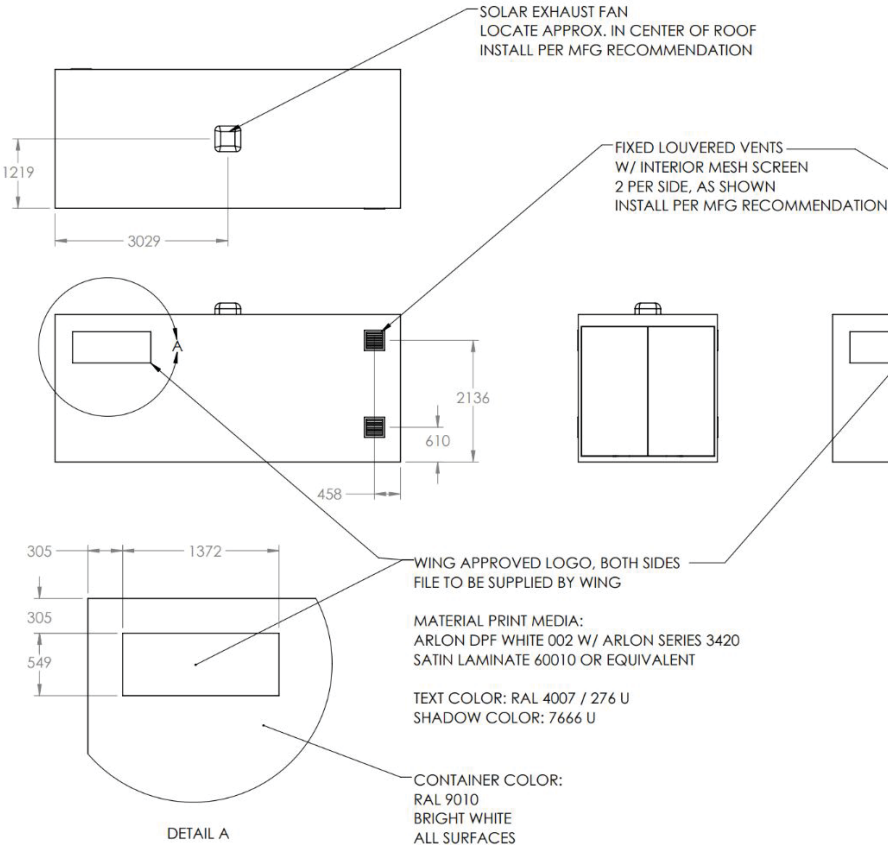
- Weight: 4868 lbs pounds empty weight
- Dimensions: 20' x 8' x 8' (LxWxH)
- Features: 4 passive side vents and top solar fan
- Anchoring (city dependant): Anchor spec based on ground type and following city requirements






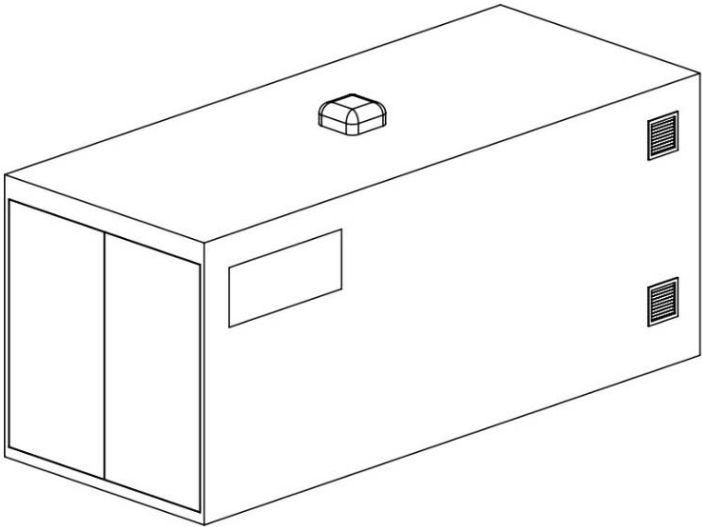
ITEM NO.	DESCRIPTION	QTY.
1	ISO 6346 22G0/22G1 OR EQUIVALENT 20FT CONTAINER	1
2	LOUVERED VENT WITH INTERIOR MESH SCREEN	4
3	SOLAR EXHAUST FAN	1
4	FLOOR TRACK SYSTEM, STANDARD LUMBER	1

REVISIONS				
ZONE	REV	DESCRIPTION	APPROVED	DATE



- NOTES: UNLESS OTHERWISE SPECIFIED;
1. INTERPRET SPECIFICATION PER GEOMETRIC DIMENSIONING AND TOLERANCING STANDARD ASME Y14.5-2009.
  2. THIS IS A REDUCED DIMENSION DRAWING. REFER TO 3D MODEL FOR ANY MISSING DIMENSIONS.
  3. 3D CAD DATA IS SUPPLIED AT 1:1 SCALE AND TO BE USED FOR INSPECTION.
  4. CLEANLINESS: PARTS ARE TO BE FREE OF ORGANIC MATERIALS, LUBRICANTS OR MOLD RELEASE, SOLVENTS, OR OTHER CONTAMINANTS.
  5. ASSEMBLY REQUIRES LABELING OF GOOGLE PART NUMBER, REVISION, MANUFACTURER NAME, DATE CODE AND LOT CODE.

<p>DIMENSIONS ARE IN MILLIMETERS</p> <p>TOLERANCES UNLESS OTHERWISE NOTED</p> <p>X X.X X.XX</p> <p>ANGLES 0.25°</p> <p>SCALE</p> <p><b>NOT TO SCALE</b></p> <p>THIRD ANGLE PROJECTION</p>	<p><b>CONFIDENTIAL</b></p> <p>THIS DOCUMENT AND THE DATA DISCLOSED HEREIN OR WHEREWITH IS NOT TO BE REPRODUCED, USED, OR DISCLOSED IN WHOLE OR IN PART TO ANYONE WITHOUT THE PERMISSION OF WING AVIATION LLC.</p>	<p> <b>WING AVIATION LLC</b></p> <p>100 MAYFIELD AVE MOUNTAIN VIEW, CA 94043, USA</p>	
	<p>DRAWN BY</p> <p>DATE</p>		<p>DESCRIPTION</p> <p>PROD/MFG, 20FT ISO SHIPPING CONTAINER, VENTILATED, WITH LOGO, WING</p>
	<p>APPROVED BY</p> <p>DATE</p>		<p>SIZE</p> <p><b>B</b></p> <p>GOOGLE PART NUMBER</p> <p>410-01397-00</p> <p>REV</p> <p>01</p>



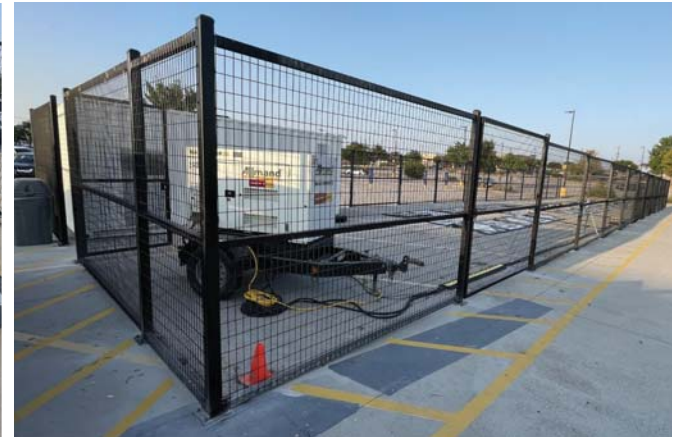
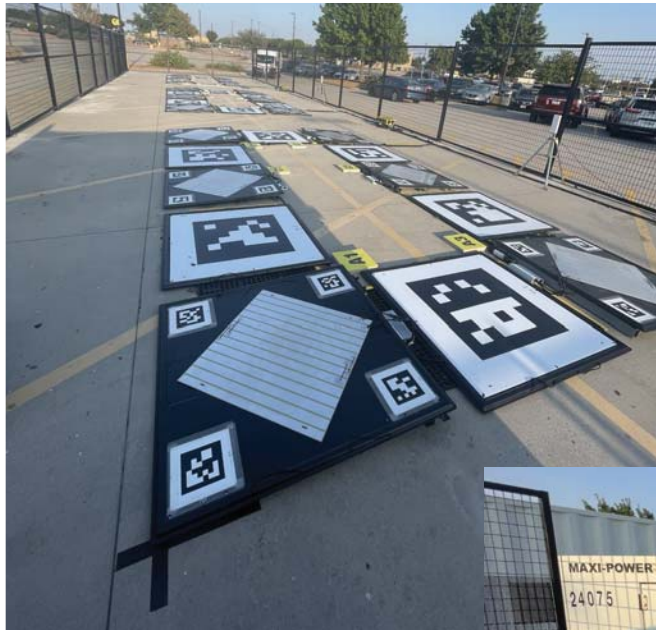
20FT GENERAL PURPOSE CONTAINER REFERENCE SPECIFICATIONS	
ISO 6346 22G0/22G1 OR EQUIVALENT	
DOOR CONFIGURATION	END OPENING, ONE OR BOTH SIDES
FLOOR MATERIAL	WOOD
TARE WEIGHT	2350 KG MAX
DIMENSION (MM)	
EXT. LENGTH	6058
EXT. WIDTH	2438
EXT. HEIGHT	2590
INT. LENGTH	5898
INT. WIDTH	2352
INT. HEIGHT	2395
DOOR OPENING WIDTH	2340
DOOR OPENING HEIGHT	2280
LOAD HEIGHT (GROUND TO FLOOR)	170

# Support Imagery

1

Imagery

6



City of Wylie  
Attn: Kevin Molina  
300 Country Club Rd  
Building 100  
Wylie, TX 75098

Dear Kevin:

Wing and Walmart are seeking to bring drone delivery to the residents of Wylie, TX. Wing's fleet of lightweight, highly automated delivery drones can transport small packages directly from stores to customer homes in minutes. Wing initially brought our drone delivery technology to the Dallas-Fort Worth Metroplex in 2022. Wing and Walmart began working together a year later, launching a 30-minute drone delivery service from a single store in September of 2023. We've been steadily expanding to additional locations ever since, as part of Walmart's initiative to offer drone delivery to up to 75% of the DFW population.

## Project Description

In Wylie, Wing's operation would be set-up in the parking lot of the Walmart Supercenter located at 2050 N Highway 78. The site would occupy an area of a maximum of 2820 sq ft (94x30ft) including landing pads, a 14 kW generator not exceeding 63 dB up to 25ft, one 8x20x8 ft shipping container and be enclosed within an anchored metal maximum of 8 ft tall fence. In the City of Wylie, the fence can be partially covered with a black mesh wrap around the portion with the generator and container. This location would house 12 drone charging stations for operations. Wing only operates its delivery drones in daylight, and so hours of operation would shift with daylight hours throughout the year. Currently, the drone delivery service at other Walmart locations is available 10am to 7pm, seven days a week.

Wing's delivery drones have a one-way range of 6 miles (12 miles roundtrip). Once the service launches, Wylie residents in the area can enter their address on [wing.com/walmart](https://wing.com/walmart) to check eligibility. Thousands of items from Walmart stores will be eligible for drone delivery, including snacks, beverages, household essentials and grocery staples.

Please note, we intend to utilize the generator on this site through October 31, 2025. Upon expiration of the use of the generator a site plan review shall be required when the development transitions to permanent power.

## What existing drone delivery customers are saying

*"Drone delivery is such a great option when you need something fast and can't leave the house or when you just don't feel like leaving the house for three 3rd time to pick that 1 ingredient up for dinner. Wing delivery has*

saved me so much time and money. This is one of the best delivery options available and greatly appreciated."

- **Lewisville, TX Resident**

"I am a new technology 'enthusiast' who was familiar with the Wing drone delivery service prior to its arrival in our community, so I was interested in trying it when it was first available at the location of my home residence. On the first day Wing offered service to my home residence, my children and I downloaded the app and decided to order something from Wing - we were impressed (and entertained) with the speed of delivery, the successful delivery process, and how simple the app was to use. We definitely plan to use it again for any small, last minute items we may need throughout the year." - **Colleyville, TX Resident**

"I order things I really need but can't get to the store. Health products when I was sick, energy drinks when I needed a pick-me-up, and some health items like a loofah and had a sudden guest appear at my door." -

**North Richland Hills, TX Resident**

## How Wing drone delivery works

Our drone delivery service will offer Wylie's residents a convenient and safe delivery option.

- **Order.** Thousands of items are available via drone delivery, including groceries, snacks and over-the-counter medicines.
- **Flight Planning.** While team members at the store prepare the items, Wing's software automatically calculates a route from the store, to the delivery spot, and then back to store. The flight plan is then uploaded to the drone.
- **Package Pick Up.** Once the loader indicates the package is ready to go, the drone takes off automatically, proceeds to the pick up area, then hovers about 23 feet above the ground. The drone uses a winch to lower a tether, so the package can be hooked on. The winch pulls the package up to the aircraft, and secures it in place.
- **Flight.** The drone uses vertical propellers to climb to a cruising height of about 150 feet above the ground, and then transitions to horizontal flight using forward propellers and fixed wings. The drone navigates itself to the delivery spot at speeds of about 65 mph, conducting health checks along the way to make sure everything is operating correctly.
- **Delivery.** Once it reaches the delivery spot, the drone slows down, hovers, descends to a delivery height of 23 feet above ground, and then gently lowers the package on the tether. The drone automatically releases the package when it touches the ground, and there's no need for the customer to unclip or assist with the delivery.
- **Return.** The drone then climbs back to cruise height and returns to the store, where it lands on a charging pad and gets ready for its next mission.





Wingspan  
**4.9 ft** / 1.5 m

Aircraft Weight  
**11.7 lbs** / 5.3 kg

Payload  
**2.3 lbs** / 1.05 kg

Cruises  
**65 mph** / 104 kph

Delivery Range (one-way)  
**6 miles** / 10 km

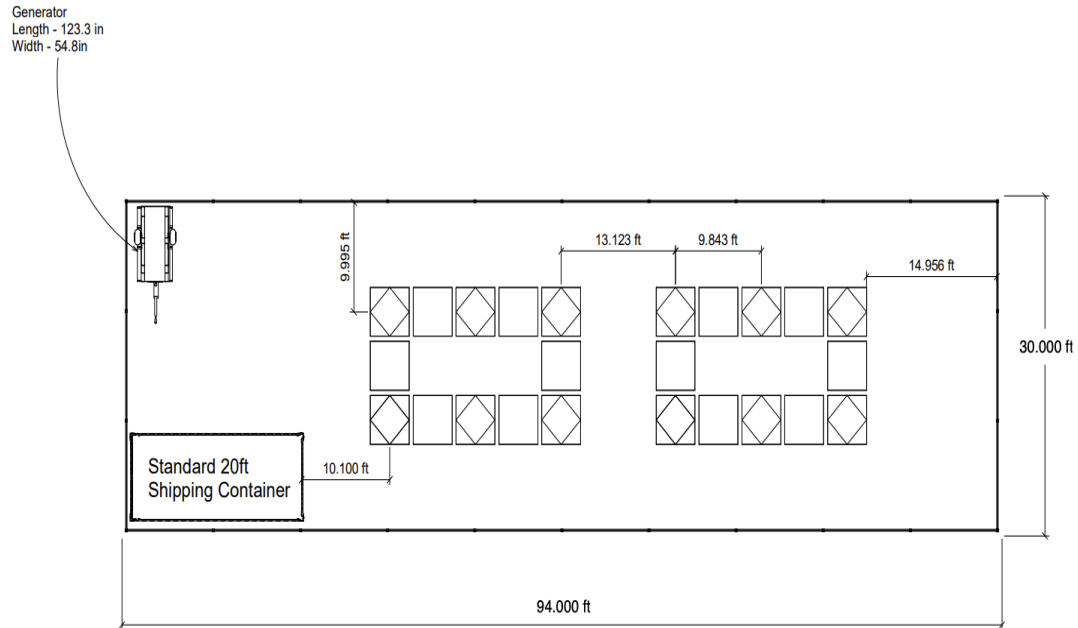
## Site Layout and Logistics

Each location is set-up following municipal permitting approvals.

- **Fencing:**
  - Anchored to ground via anchors specific to each surface type (e.g. concrete / asphalt)
  - Baseplates for anchoring style may vary
- **Generator:**
  - Generator is on mobile trailer that have wheel chocks when parked in place
  - They are also earth-grounded via copper wire and pole into ground surface
  - Not exceeding 63db
- **Lighting:**
  - There is no external lighting of the facility other than what's provided in the Walmart parking lots.
  - The parking lot lighting will not be impacted by the drone facility.
- **Security Cameras:**
  - There are security cameras attached to the storage container. They receive power from the generator.
  - Walmart parking lots also have security cameras installed
- **Storage Container:**
  - Used to store aircraft outside of operating hours.
  - The generator and fence are currently deployed to one side of the facility along the fence.

Example below:





- **Service Gate Entrance:**
  - A large service gate is located near the generator for refueling and other operational activities.
  - Personnel gate(s) are typically located as close as practical to the store.
- **Distance to Fire Lane:**
  - The nest is roughly 62 ft from the fire lane along the front of the store.

Wing is committed to safely launching site operations in compliance with the City of Wylie. We welcome any questions or feedback. Thank you for your time.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ian Bright', with a stylized, cursive script.

Ian Bright  
Global Site Launch Lead, Wing Aviation LLC



City of Wylie  
Attn: Kevin Molina, Senior Planner, City of Wylie  
300 Country Club Rd  
Building 100  
Wylie, TX 75098

August 15, 2024

Dear Kevin:

Thank you for your interest in the regulatory approval and oversight of drone operations. Wing is a Part 135 Air Carrier and our operations are approved and overseen by the FAA, and the FAA maintains sole enforcement duties over drones in the national airspace system.

Wing offers drone delivery. Our fleet of lightweight, autonomous delivery drones can transport small packages directly from businesses to homes in minutes. Currently operating on three continents, Wing delivery is safe, sustainable, and easy to integrate into existing delivery and logistics networks.

**Wing's operations are governed by a number of FAA approvals:**

- In April of 2019, Wing became the [first drone operator company](#) in the United States to receive a [Part 135 Air Carrier Certificate](#) by the Federal Aviation Administration, allowing us to deliver commercial goods to recipients miles away.
- In November of 2023, the FAA conducted an [Environmental Assessment](#) of Wing's proposed operations in the DFW Mode C Veil and concluded that Wing's operations would have "No Significant Impact" to the surrounding community. This enables Wing to open operating locations across DFW in compliance with environmental regulations.
- In December of 2023, the FAA issued a [summary grant](#) which enables Wing's operations to move to Beyond Visual Line of Sight (BVLOS) operations without visual observers.
- Most recently, you may have seen that the FAA [announced](#) a historic approval for Wing to share the same airspace as other drone operators using Uncrewed Traffic



Management (UTM) in July 2024, which supports future BVLOS flight operations at increased density.

- On an ongoing basis, all of Wing's aircraft, personnel, and operations are rigorously reviewed by the FAA, and all operations can only be undertaken with FAA approval.
- Wing has obtained and maintains all necessary approvals to operate in the greater Dallas-Fort Worth area.

The Wing blog from May 2024 referenced in your note is a statement of support for the passage of the FAA Reauthorization bill, which is in the process of being implemented.

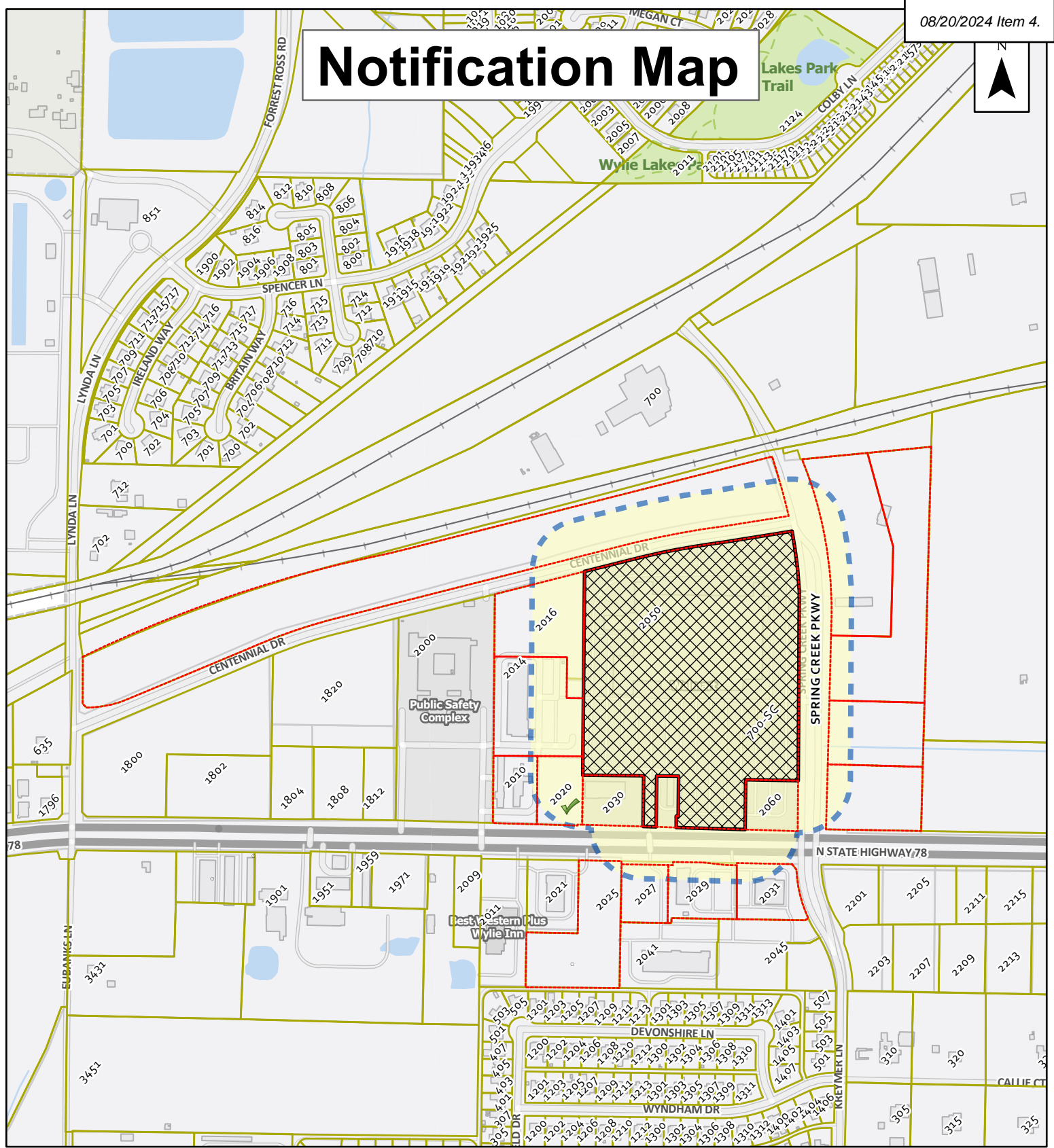
We are looking forward to continuing our conversation and serving the Wylie community.

Sincerely,



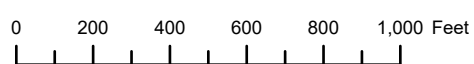
Kendal Prosack  
Local Policy and Community Affairs, Lead  
Wing

# Notification Map

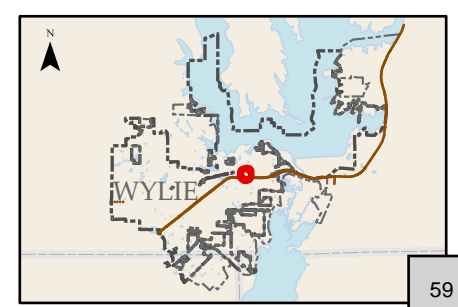


ZONING CASE:  
ZC 2024-05

 SUBJECT property  200 foot Notification Buffer



Date: 7/25/2024





## PUBLIC COMMENT FORM

***Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment>  
or by scanning the QR code in the upper right hand corner.  
(If completing the form below, please type or use black ink)***

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

X I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2024-05.

\_\_\_\_\_ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2024-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of  
Planning & Zoning  
Commission meeting:

Tuesday, August 20, 2024 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
City Council meeting:

Tuesday, September 10, 2024 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Rosalie McGRANE (McGrane Living Trust  
(please print)

Address: 5061 RIVED RD ST

Signature: Rosalie McGrane (TTE)

Date: 8-5-2024

### COMMENTS:

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