

# Wylie Planning and Zoning Commission Regular Meeting

February 17, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



## CALL TO ORDER

## INVOCATION & PLEDGE OF ALLEGIANCE

### COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

### CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider and act upon approval of the meeting minutes from the January 6, 2026 Planning and Zoning Commission Meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat for Dominion of Pleasant Valley Phase 8, creating 102 single family residential lots and six open space lots on 43.113 acres, generally located at the southwest corner of Sachse Road and Dominion Drive.

### REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for Lot 6, Block A of Woodlake Village for the development of an office/warehouse development on 4.737 acres. Property located at 1820 N State Highway 78.
- 2. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Planned Development 2022-51 (PD 2022-51) to Commercial Corridor (CC) on 2.02 acres to allow for compatible retail uses. Property located at 703 N Highway 78 (ZC 2026-01).

### WORK SESSION

### RECONVENE INTO REGULAR SESSION

### EXECUTIVE SESSION

### RECONVENE INTO OPEN SESSION

*Take any action as a result from Executive Session.*

## ADJOURNMENT

### CERTIFICATION

I certify that this Notice of Meeting was posted on February 11, 2026 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

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*Stephanie Storm, City Secretary*

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*Date Notice Removed*

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



# Planning & Zoning Commission

## **AGENDA REPORT**

**Department:** Planning                      **Item:** A  
**Prepared By:** Gabby Fernandez

**Subject**

Consider and act upon the approval of the meeting minutes from the January 6, 2026 Planning and Zoning Commission meeting.

**Recommendation**

Motion to approve Item as presented.

**Discussion**

The minutes from the January 6, 2026 Planning and Zoning Commission meeting are attached for your consideration.

# Wylie Planning and Zoning Commission Regular Meeting

January 6, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



## CALL TO ORDER

Chair Joshua Butler called the meeting to order at 6:00 PM. In attendance were Chair Joshua Butler, Vice-Chair Rod Gouge, Commissioner Joe Chandler and Commissioner Zeb Black. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent were Commissioner Zewge Kagnev, Commissioner Keith Scruggs and Commissioner Franklin McMurrian.

## INVOCATION & PLEDGE OF ALLEGIANCE

Vice-Chair Gouge gave the Invocation, and Commissioner Black led the Pledge of Allegiance.

## COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

None approached the Commission.

## CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. **Consider and act upon approval of the meeting minutes from the December 16, 2025, Planning and Zoning Commission Meeting.**
- B. **Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1 & 2, Block A of Fathullah Addition, creating two commercial lots on 2.00 acres. Property located at 2720 Hensley Lane.**
- C. **Consider, and act upon a recommendation to City Council regarding a Final Plat for Ladera Wylie, Phase 1, creating three lots on 33.629 acres, generally located at 2301 FM 1378.**
- D. **Consider, and act upon a recommendation to City Council regarding a Final Plat of Lot 1, Block A of Kreymer Elementary School, establishing one lot on 10.120 acres. Property located at 1200 East Brown.**
- E. **Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lots 1-8, Block A of Wylie Hooper addition, creating 6 commercial lots and 2 open space lots on 13.17 acres generally located at 2710 W FM 544.**

**BOARD ACTION**

A motion was made by Vice-Chair Gouge, seconded by Commissioner Chandler, to approve the Consent Agenda as presented. A vote was taken, and the motion passed 4 – 0.

**REGULAR AGENDA**

- 1. Consider, and act upon, a Site Plan for Lot 1 & 2, Block A of Fathullah Addition for the development of an office/warehouse development on 2.00 acres. Property located at 2720 Hensley Lane.**

**BOARD ACTION**

A motion was made by Chair Butler and seconded by Vice-Chair Gouge to recommend approval of Regular Agenda Item 1 as presented. A vote was taken and carried 4-0.

- 2. Consider, and act upon, a Site Plan for Lot 6, Block A of Wylie Hooper Addition for the development of a grocery store and retail building on 3.95 acres. Property located at 2710 W FM 544.**

**BOARD ACTION**

A motion was made by Commissioner Chandler and seconded by Commissioner Black to recommend approval of Regular Agenda Item 2 as presented. A vote was taken and carried 4-0.

**ADJOURNMENT**

A motion was made by Vice-Chair Gouge and seconded by Commissioner Black to adjourn the meeting at 6:12 PM. A vote was taken and carried 4 – 0.

\_\_\_\_\_  
*Joshua Butler, Chair*

**ATTEST**

\_\_\_\_\_  
*Gabby Fernandez, Secretary*



# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning

Item Number: B

Prepared By: Kevin Molina

### Subject

Consider, and act upon a recommendation to City Council regarding a Preliminary Plat for Dominion of Pleasant Valley Phase 8, creating 102 single family residential lots and six open space lots on 43.113 acres, generally located at the southwest corner of Sachse Road and Dominion Drive.

### Recommendation

Motion to recommend **approval** as presented.

### Discussion

**OWNER: Wylie DPV, LP**

**APPLICANT: J. Volk Consulting**

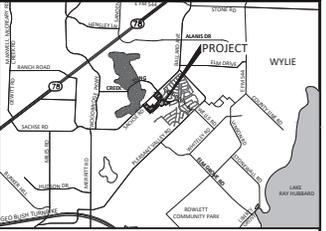
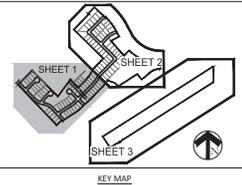
The applicant has submitted a Preliminary Plat for Dominion of Pleasant Valley Phase 8. The plat consists of 102 residential lots, and six open space lots on 43.113 acres. Zoning for the single family development was approved by the City Council in November 2025 as Planned Development Ordinance 2025-41.

The overall 375 acre Planned Development allows for a maximum of 1,123 single family residential lots. Within Phase 1-8 of the Dominion of Pleasant Valley Development there are 1,001 residential lots leaving 122 residential lots that can be developed in future phases.

The plat dedicates the necessary rights-of-way and utility easements. Open space lots are to be dedicated to the City of Wylie and maintained by the H.O.A.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations and is consistent with the approved Zoning Exhibit of Planned Development 2025-41. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



VICINITY MAP  
N.T.S.

- LEGEND**
- Point of Curvature or Tangency on Center Line
  - 1/2" Iron rod set with a yellow plastic cap stamped "JVC" (unless otherwise noted)
  - 1/2" IRF
  - AC Acre
  - BL Building Line
  - C1 Curve No.
  - <C> Control Monument
  - DE Drainage Easement
  - Emt Easement
  - L1 Line No.
  - R.O.W. Right-of-Way
  - SF Square Feet
  - UE & SWE Utility Easement & Sidewalk Easement
  - V.E. Visibility Easement
  - W.M.E. Wall Maintenance Easement
  - D.R.C.C.T. = Deed Records of Dallas County, Texas
  - D.R.C.C.T. = Deed Records of Collin County, Texas
  - M.R.C.C.T. = Map Records of Collin County, Texas

- CITY BENCHMARKS:**
- CITY MONUMENT #2:** Located north of State Highway No. 78 and west of South Ballard Street approximately 10.0' west and 10.4' south of the southeast corner of the building located at 104 South Ballard Street.
- N: 7057346.78 E: 2569521.04  
ELEV: 550.24' (PLAN) 550.37' (FIELD)
- CITY MONUMENT #5:** Located in the northeast corner of Quail Meadow Park south of alley and west of White Iris Way. 14.5 feet south of the south line of alley concrete paving. 7.3' perpendicular to b.c. parking area.
- N: 7065787.60 E: 2560973.93  
ELEV: 562.91' (PLAN) 562.86' (FIELD)
- CITY MONUMENT #6:** Located north of the northeast intersection of Troy Road and County Road 732 (Beaver Creek). The monument is located approximately 8.5' west of the southeast corner of a chain link fence and 5.5' south of the south chain link fence.
- N: 7050245.80 E: 2578669.15  
ELEV: 454.28' (PLAN) 454.17' (FIELD)



**PRELIMINARY PLAT**  
**DOMINION OF PLEASANT VALLEY**  
**PHASE 8**  
**43.113 ACRES**

- LOTS 21-25, 26X, BLOCK 11;
  - LOTS 1X, BLOCK 12; LOTS 1-7, BLOCK 15;
  - LOTS 1-16, 34X & 35-41, BLOCK 17; LOTS 1X, 2-16, 17X, 18-57 & 58X BLOCK 18;
  - LOTS 1-12, BLOCK 19;
  - 102 SINGLE FAMILY LOTS
  - 6 OPEN SPACES/COMMON AREAS
- OUT OF THE  
GUADALUPE DE LOS SANTOS SURVEY,  
ABSTRACT NO. 1384 (DALLAS COUNTY)

**Owner/Applicant:**  
Wylie DPV Limited Partnership  
c/o Team Phillips, Inc.  
1914 Skillman Street  
Suite 110-310  
Dallas, Texas 75206  
Phone: 214-535-1758  
Contact: Nancy E. Phillips  
nancy@teamphillipsinc.com

**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East,  
Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Claudio Segovia  
claudio.segovia@johnsonvolk.com

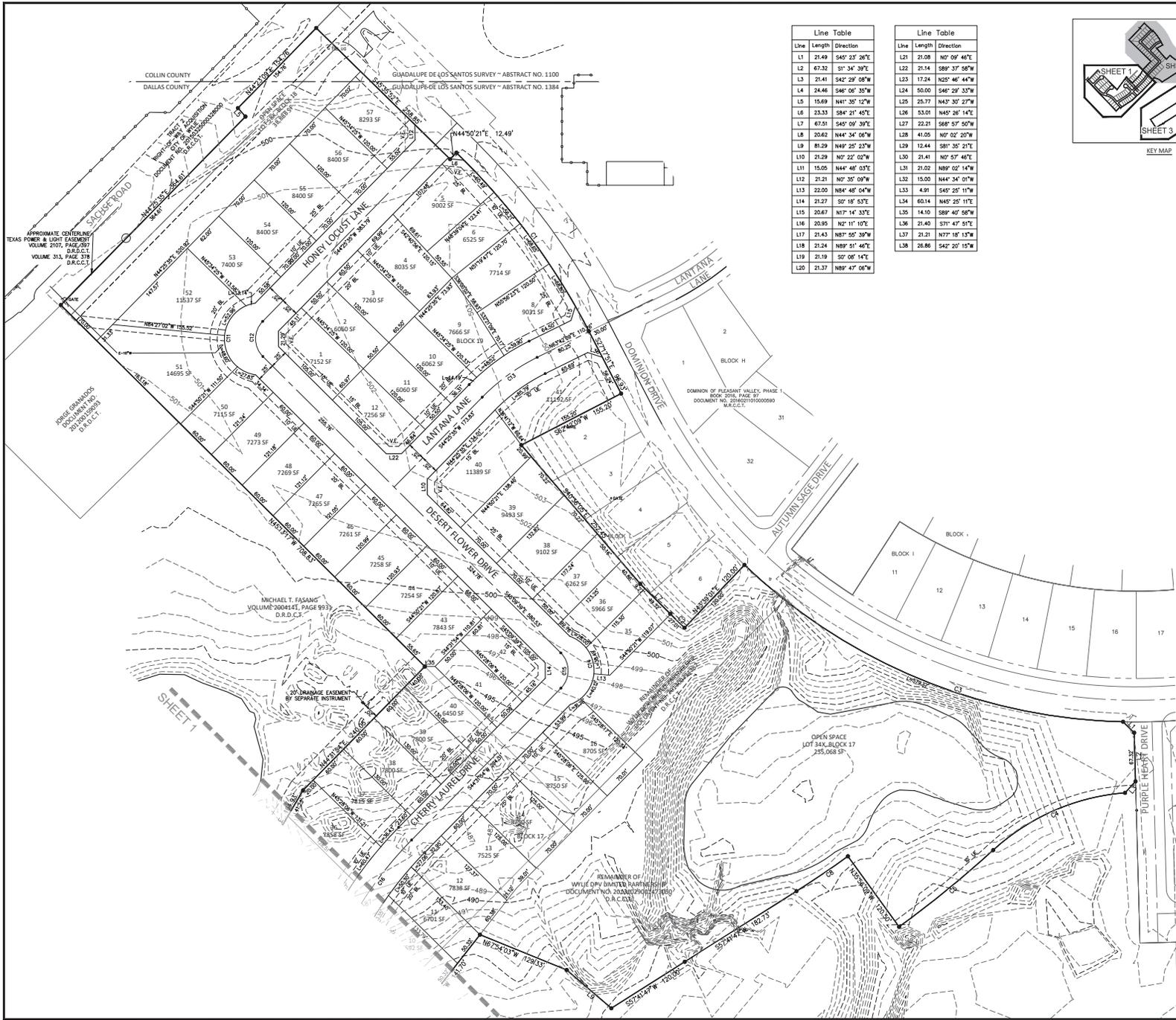


**CITY OF WYLLIE**  
DALLAS COUNTY, TEXAS  
09 February 2026  
SHEET 1 OF 5

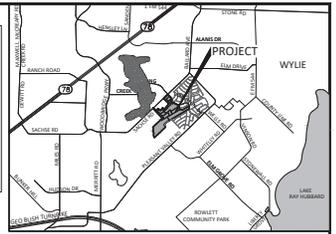
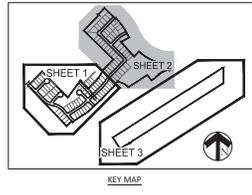
PROPOSED UNITS THIS PLAT	
SINGLE FAMILY "TYPE A" LOTS (70')	14
SINGLE FAMILY "TYPE B" LOTS (60')	43
SINGLE FAMILY "TYPE C" LOTS (50')	45
<b>TOTAL PHASE 8</b>	<b>102</b>

- Notes:**
1. Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.
  2. Open space lots shall be dedicated to the City of Wylie and maintained by the H.O.A. per Ordinance 2020-54 (See Exhibit B, General Standards No. 4).
  3. No appurtenance between the height of 2' and 9' may be placed in visibility triangles.
  4. Per FEMA FIRM Panel 48113C0235X dated July 7, 2014, the Final Plat limits lie in the "Zone X" area of minimal flood hazard.
  5. Per the City of Wylie Ordinance No. 2020-54 the zoning of this property was amended to allow a 5' rear yard encroachment.
  6. A Certificate of Occupancy will not be issued for the property until all the offsite civil improvements, screening wall, and detention pond are constructed and accepted by the City.
  7. The City shall not be responsible for the maintenance of any easement areas, although it retains the right to enter upon easements for public purposes.
  8. Maintenance responsibility of private drainage easements and appurtenances is the property owner on which the easement is located.





Line Table			Line Table		
Line	Length	Direction	Line	Length	Direction
L1	21.49	S45° 23' 28"E	L21	21.08	N0° 09' 46"E
L2	67.32	S1° 34' 38"E	L22	21.14	S89° 37' 58"W
L3	21.41	S42° 29' 08"W	L23	17.24	N25° 46' 44"W
L4	24.46	S48° 06' 35"W	L24	50.00	S48° 29' 33"W
L5	15.69	N41° 30' 12"W	L25	25.77	N43° 30' 27"W
L6	23.33	S84° 21' 45"E	L26	53.01	N49° 26' 14"E
L7	67.21	S45° 09' 39"E	L27	22.21	S68° 57' 50"W
L8	20.62	N44° 34' 06"W	L28	41.05	N0° 02' 20"W
L9	81.29	N49° 25' 27"W	L29	13.44	S01° 30' 21"E
L10	21.29	N0° 22' 02"W	L30	21.41	N0° 57' 46"E
L11	15.05	N44° 48' 03"E	L31	21.02	N89° 22' 14"W
L12	21.21	N0° 35' 09"W	L32	15.00	N44° 34' 07"W
L13	22.00	N84° 48' 04"W	L33	4.91	S49° 25' 11"W
L14	21.27	S0° 18' 53"E	L34	60.14	N45° 25' 11"E
L15	20.67	N17° 14' 33"E	L35	14.10	S89° 47' 58"W
L16	20.95	N0° 11' 10"E	L36	21.40	S71° 47' 57"E
L17	21.43	N87° 55' 39"W	L37	21.21	N17° 18' 13"W
L18	21.24	N89° 51' 46"E	L38	26.86	S42° 20' 15"W
L19	21.19	S0° 08' 14"E			
L20	21.37	N89° 47' 06"W			



VICINITY MAP  
N.T.S.

**LEGEND**

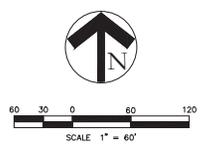
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**CITY BENCHMARKS:**

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PRELIMINARY PLAT  
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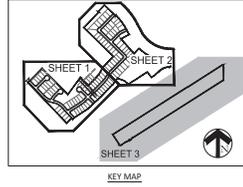
**Engineer/Surveyor:**  
Johnson Volk Consulting, Inc.  
704 Central Parkway East,  
Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Claudio Segovia  
claudio.segovia@johnsonvolk.com

**CITY OF WYLIE**  
DALLAS COUNTY, TEXAS  
09 February 2026  
SHEET 2 OF 5



Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	308.47	950.00	18.60	S36° 35' 59"E	307.12
C2	18.77	904.50	1.19	S45° 45' 19"E	18.77
C3	579.37	784.50	42.31	S67° 30' 24"E	566.29
C4	202.25	305.00	37.99	S68° 32' 11"W	198.56
C5	167.96	1475.00	6.52	S50° 48' 07"W	167.87
C6	115.80	919.00	12.77	S01° 18' 30"W	115.56
C7	126.30	330.00	24.12	S33° 22' 14"W	125.37
C8	85.87	1354.50	3.63	S55° 52' 49"W	85.85
C9	188.47	280.00	38.57	S62° 47' 29"E	184.83
C10	83.75	50.00	95.97	N3° 24' 50"E	74.30
C11	48.60	50.00	55.69	S22° 17' 44"E	46.71
C12	53.94	34.50	89.59	S0° 22' 02"E	48.61
C13	94.20	280.00	19.28	S54° 03' 52"W	93.76
C14	38.49	50.00	44.11	N16° 51' 23"W	37.55
C15	54.01	34.50	89.69	N0° 18' 53"W	48.66

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C16	134.09	525.00	14.63	S37° 12' 52"W	133.73
C17	102.14	400.00	14.63	N37° 12' 47"E	101.87
C18	153.18	50.00	175.53	S24° 28' 33"E	99.92
C19	50.93	228.50	12.77	N51° 18' 39"E	50.83
C20	56.62	280.00	11.59	S51° 54' 11"W	56.53
C21	83.37	374.00	12.77	N51° 18' 39"E	83.19
C22	83.32	1050.00	5.35	S47° 35' 54"W	83.29
C23	60.14	600.00	5.74	N47° 24' 07"E	60.12
C24	220.62	280.00	43.14	N55° 30' 03"W	214.95
C25	57.41	500.00	6.58	S40° 13' 05"E	57.38
C26	62.76	305.00	11.79	S63° 35' 29"W	62.65
C27	59.03	300.00	11.27	S5° 01' 16"E	58.93
C28	40.41	50.00	46.31	S58° 41' 16"W	39.32
C29	79.68	425.50	10.73	S52° 19' 53"W	79.57

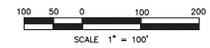
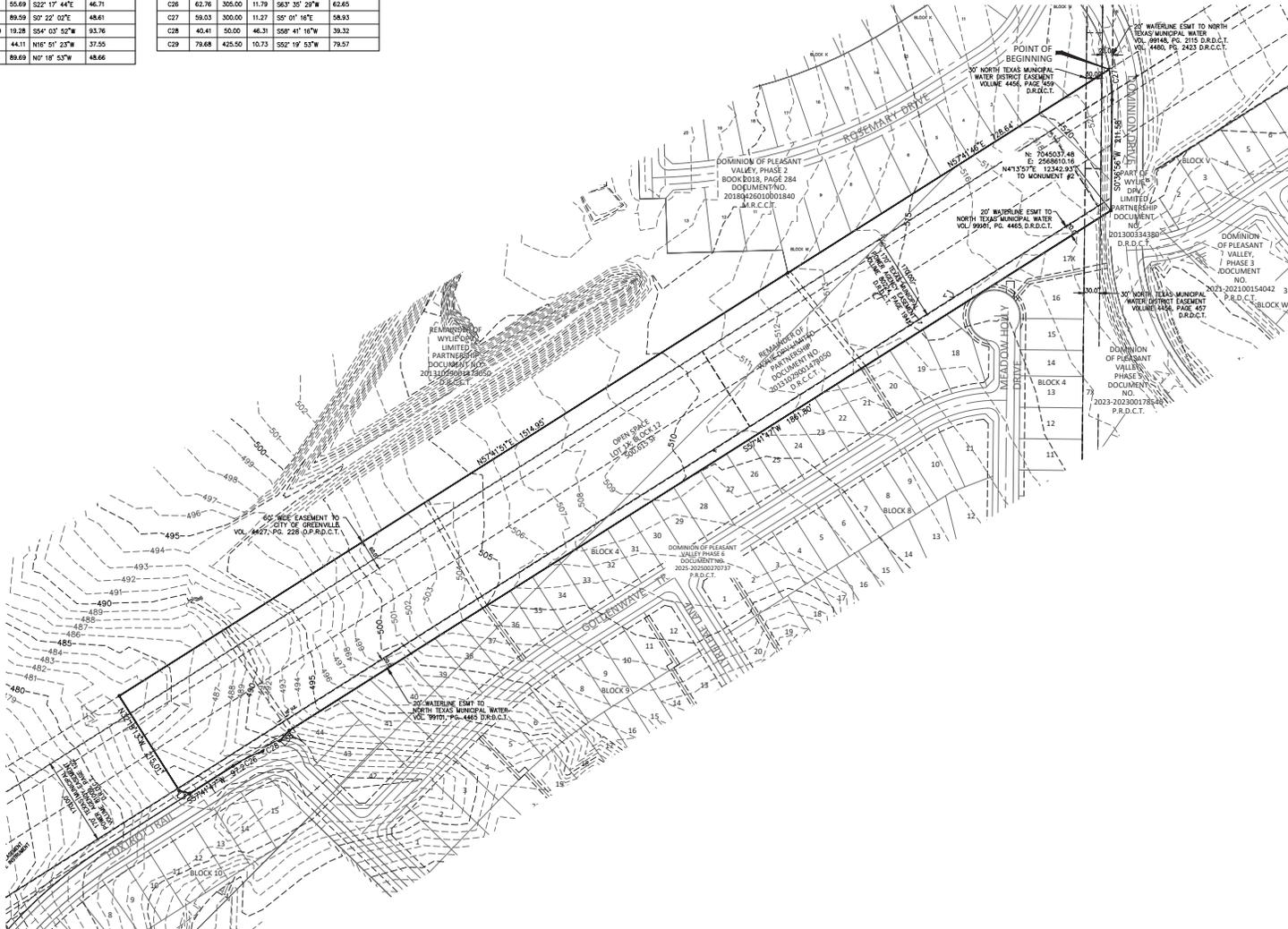


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PRELIMINARY PLAT  
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704 Central Parkway East,  
Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Claudio Segovia  
claudio.segovia@johnsonvolk.com



## LEGAL DESCRIPTION

DOMINION AT PLEASANT VALLEY  
PHASE EIGHT  
TRACT ONE – 31.620 acres Dallas County

BEING a tract of land situated in the GUADALUPE DE LOS SANTOS SURVEY, ABSTRACT NO. 1384, City of Wylie, Dallas County, Texas and being part of that tract of land described in Deed to Perry W. Kinnard and Linda A. Kinnard, as recorded in Volume 95234, page 476, Deed Records, Dallas County, Texas and being part of that tract of land described in Deed to Michael T. Fosang, as recorded in Volume 2004141, Page 9931, Deed Records, Dallas County, Texas and being part of that tract of land described in Deed to Wylie DPV Limited Partnership, as recorded in Document No. 201300334382, Deed Records, Collin County, Texas and being part of those tracts of land described in Deed to Wylie DPV Limited Partnership, as recorded in Document Nos. 201300334382, 202000188066 and 202000188067, Deed Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1-inch iron pipe found in the southeast line of Sachse Road, a variable width right-of-way, for the north corner of said Wylie DPV Limited Partnership tract recorded in Document No. 202000188067;

THENCE South 44 degrees 34 minutes 49 seconds East, leaving said southeast line and with the northeast line of said Wylie DPV Limited Partnership tract recorded in Document No. 202000188067, a distance of 339.85 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 44 degrees 34 minutes 49 seconds East, continuing with said northeast line, a distance of 283.73 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for the west corner of said Wylie DPV Limited Partnership tract recorded in Document No. 202000188066;

THENCE North 36 degrees 55 minutes 02 seconds East, leaving said northeast line, a distance of 362.93 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for the north corner of said Wylie DPV Limited Partnership tract recorded in Document No. 202000188066;

THENCE South 45 degrees 11 minutes 57 seconds East, with the northeast line of said Wylie DPV Limited Partnership tract recorded in Document No. 202000188066, a distance of 189.43 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 44 degrees 31 minutes 39 seconds East, leaving said northeast line, a distance of 250.00 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 30 degrees 29 minutes 42 seconds East, a distance of 164.93 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 44 degrees 31 minutes 54 seconds East, a distance of 240.05 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the southwest line of the above-mentioned Wylie DPV Limited Partnership tract recorded in Document No. 201300334382;

THENCE North 45 degrees 13 minutes 17 seconds West, with said southwest line, a distance of 708.83 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner in the southeast line of the above-mentioned Sachse Road;

THENCE Northeasterly, with said southeast line, the following three (3) courses and distances:

North 44 degrees 25 minutes 35 seconds East, a distance of 364.61 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

North 41 degrees 35 minutes 12 seconds West, a distance of 15.69 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

North 44 degrees 23 minutes 09 seconds East, a distance of 154.76 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the intersection of said southeast line with the southwest line of Dominion Drive, a variable width right-of-way;

THENCE Southeasterly, with said southwest line, the following four (4) courses and distances:

South 45 degrees 35 minutes 52 seconds East, a distance of 258.85 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

North 44 degrees 50 minutes 21 seconds East, a distance of 12.49 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the beginning of a non-tangent curve to the right having a central angle of 18 degrees 36 minutes 16 seconds, a radius of 950.00 feet and a chord bearing and distance of South 36 degrees 35 minutes 59 seconds East, 307.12 feet;

Southeasterly, with said curve to the right, an arc distance of 308.47 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

South 27 degrees 17 minutes 51 seconds East, a distance of 96.93 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for the northeast corner of Lot 2, Block L of DOMINION OF PLEASANT VALLEY, PHASE 1, an Addition to the City of Wylie, Collin County, Texas according to the Plat thereof recorded in Book 2016, Page 97 (Document No. 20160211010000590), Map Records, Collin County, Texas;

THENCE Southeasterly, with the southwest line of said Addition, the following six (6) courses and distances:

South 62 degrees 42 minutes 09 seconds West, a distance of 155.20 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

South 40 degrees 36 minutes 05 seconds East, a distance of 252.45 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

South 45 degrees 09 minutes 39 seconds East, a distance of 67.51 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the beginning of a curve to the left having a central angle of 01 degrees 11 minutes 20 seconds, a radius of 904.50 feet and a chord bearing and distance of South 45 degrees 45 minutes 19 seconds East, 18.77 feet;

Southeasterly, with said curve to the left, an arc distance of 18.77 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

North 43 degrees 39 minutes 01 seconds East, a distance of 120.00 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner in the southwest line of the above mentioned Dominion Drive at the beginning of a non-tangent curve to the left having a central angle of 42 degrees 18 minutes 50 seconds, a radius of 784.50 feet and a chord bearing and distance of South 67 degrees 30 minutes 24 seconds East, 568.29 feet;

Southeasterly, with said curve to the left, an arc distance of 579.37 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the north end of a corner clip;

THENCE South 45 degrees 23 minutes 26 seconds East, leaving said southwest line and with said corner clip, a distance of 21.49 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner in the west line of Purple Heart Drive, a 50 foot right-of-way;

THENCE South 01 degrees 34 minutes 39 seconds East, with said west line, a distance of 67.32 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 42 degrees 29 minutes 08 seconds West, leaving said west line, a distance of 21.41 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the beginning of a non-tangent curve to the left having a central angle of 37 degrees 59 minutes 35 seconds, a radius of 305.00 feet and a chord bearing and distance of South 66 degrees 32 minutes 11 seconds West, 198.56 feet;

THENCE Southwesterly, with said curve to the left, an arc distance of 202.25 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the beginning of a reverse curve to the right having a central angle of 06 degrees 31 minutes 28 seconds, a radius of 1,475.00 feet and a chord bearing and distance of South 50 degrees 48 minutes 07 seconds West, 167.87 feet;

THENCE Southwesterly, with said curve to the right, an arc distance of 167.96 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 35 degrees 56 minutes 09 seconds West, a distance of 120.50 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the beginning of a non-tangent curve to the right having a central angle of 03 degrees 37 minutes 56 seconds, a radius of 1,354.50 feet and a chord bearing and distance of South 55 degrees 52 minutes 49 seconds West, 85.85 feet;

THENCE Southwesterly, with said curve to the right, an arc distance of 85.87 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 57 degrees 41 minutes 47 seconds West, a distance of 182.73 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 57 degrees 41 minutes 47 seconds West, a distance of 120.00 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 49 degrees 25 minutes 23 seconds West, a distance of 81.29 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 67 degrees 54 minutes 03 seconds West, a distance of 129.33 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 38 degrees 05 minutes 58 seconds West, a distance of 141.70 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 44 degrees 31 minutes 43 seconds West, a distance of 304.59 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 46 degrees 22 minutes 24 seconds West, a distance of 51.18 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 49 degrees 22 minutes 19 seconds West, a distance of 64.36 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 45 degrees 23 minutes 37 seconds West, a distance of 50.00 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 44 degrees 55 minutes 30 seconds West, a distance of 59.06 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner at the beginning of a curve to the right having a central angle of 12 degrees 46 minutes 17 seconds, a radius of 519.50 feet and a chord bearing and distance of South 51 degrees 18 minutes 39 seconds West, 115.56 feet;

THENCE Southwesterly, with said curve to the right, an arc distance of 115.80 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 57 degrees 41 minutes 47 seconds West, a distance of 215.84 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 46 degrees 29 minutes 33 seconds West, a distance of 50.00 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 43 degrees 30 minutes 27 seconds West, a distance of 25.77 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 46 degrees 29 minutes 33 seconds West, a distance of 120.00 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner in the southwest line of the above-mentioned Wylie DPV Limited Partnership tract recorded in Document No. 202000188067;

THENCE North 43 degrees 30 minutes 27 seconds West, a distance of 958.21 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner in the southeast line of the above-mentioned Sachse Road;

THENCE North 45 degrees 26 minutes 14 seconds East, with said southeast line, a distance of 53.01 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 45 degrees 26 minutes 14 seconds East, continuing with said southeast line, a distance of 289.40 feet to the POINT OF BEGINNING and containing 31.620 acres of land, more or less.

Tract Two – 11.493 acres

BEING a tract of land situated in the GUADALUPE DE LOS SANTOS SURVEY, ABSTRACT NO. 1384, City of Wylie, Dallas County, Texas and being part of that tract of land described in Deed to Wylie DPV Limited Partnership, as recorded in Document No. 201300334379, Deed Records, Dallas County, Texas and being part of that tract of land described in Deed to Wylie DPV Limited Partnership, as recorded in Document No. 20131029001473050, Deed Records, Collin County, Texas and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set in the west line of Dominion Drive, a 60 foot right-of-way, for the southeast corner of Block M of DOMINION OF PLEASANT VALLEY, PHASE 2, an Addition to the City of Wylie, Dallas County, Texas according to the Plat thereof recorded in Book 2018, Page 284 (Document No. 20180426010001840), Map Records, Collin County, Texas, said point being at the beginning of a curve to the right having a central angle of 11 degrees 16 minutes 23 seconds, a radius of 300.00 feet and a chord bearing and distance of South 05 degrees 01 minutes 16 seconds East, 58.93 feet;

THENCE Southerly, with said west line, an arc distance of 59.03 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE South 00 degrees 36 minutes 56 seconds West, continuing with said west line, a distance of 211.58 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' found for the most northerly northwest corner of DOMINION OF PLEASANT VALLEY, PHASE 5, an Addition to the City of Wylie, Dallas County, Texas according to the Plat thereof recorded in Document No. 2023-202300178546, Plat Records, Dallas County, Texas;

THENCE South 57 degrees 41 minutes 47 seconds West, leaving said west line, a distance of 1,861.80 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' found in the northwest line of DOMINION OF PLEASANT VALLEY, PHASE 6, an Addition to the City of Wylie, Dallas County, Texas according to the Plat thereof recorded in Document No. 2025-202500270737, Plat Records, Dallas County, Texas;

THENCE Southwesterly, with said northwest line, the following four (4) courses and distances:

South 42 degrees 20 minutes 15 seconds West, a distance of 26.86 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' found for corner in the northwest line of Foxrot Trail, a 50' right-of-way, at the beginning of a non-tangent curve to the left having a central angle of 46 degrees 18 minutes 23 seconds, a radius of 50.00 feet and a chord bearing and distance of South 58 degrees 41 minutes 16 seconds West, 39.32 feet;

Southwesterly, with said northwest line and with said curve to the left, an arc distance of 40.41 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' found for corner at the beginning of a non-tangent curve to the left having a central angle of 11 degrees 47 minutes 23 seconds, a radius of 305.00 feet and a chord bearing and distance of South 63 degrees 35 minutes 29 seconds West, 62.65 feet;

Southwesterly, continuing with said northwest line and with said curve to the left, an arc distance of 62.76 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' found for corner;

South 57 degrees 41 minutes 47 seconds West, continuing with said northwest line, a distance of 97.26 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 77 degrees 18 minutes 13 seconds West, leaving said northwest line, a distance of 21.21 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 32 degrees 18 minutes 13 seconds West, a distance of 215.01 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for corner;

THENCE North 57 degrees 41 minutes 51 seconds East, a distance of 1,514.95 feet to a 1/2-inch iron rod with a yellow plastic cap stamped 'JVC' set for the south corner of Block M of the above-mentioned DOMINION OF PLEASANT VALLEY, PHASE 2 Addition;

THENCE North 57 degrees 41 minutes 46 seconds East, with the south line of said Addition, a distance of 728.64 feet to the POINT OF BEGINNING and containing 11.493 acres of land, more or less.

PRELIMINARY PLAT

DOMINION OF  
PLEASANT VALLEY  
PHASE 8

43.113 ACRES

LOTS 21-25, 26X, BLOCK 11;  
LOTS 1X, BLOCK 12; LOTS 1-7, BLOCK 15;  
LOTS 1-16, 34X & 35-41, BLOCK 17; LOTS  
1X, 2-16, 17X, 18-57 & 58X BLOCK 18;  
LOTS 1-12, BLOCK 19

102 SINGLE FAMILY LOTS

6 OPEN SPACES/COMMON AREAS  
OUT OF THE  
GUADALUPE DE LOS SANTOS SURVEY,  
ABSTRACT NO. 1384 (DALLAS COUNTY)

CITY OF WYLIE  
DALLAS COUNTY, TEXAS  
09 February 2026  
SHEET 4 OF 5



Owner/Applicant:  
Wylie DPV Limited Partnership  
c/o Team Phillips, Inc.  
1914 Skillman Street  
Suite 110-310  
Dallas, Texas 75206  
Phone: 214-535-1758  
Contact: Nancy E. Phillips  
nancy@teamphillipsinc.com

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East,  
Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Claudio Segovia  
claudio.segovia@johnsonvolk.com

**OWNER'S DEDICATION:**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT WYLIE DPV LIMITED PARTNERSHIP, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the hereinabove described property as DOMINION OF PLEASANT VALLEY, PHASE B, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever the streets, rights-of-way and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public uses areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinated to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS MY HAND THIS \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

WYLIE DPV LIMITED PARTNERSHIP,  
A Texas Limited Partnership

By: Webb Peak Development Partners LP,  
Its General Partner  
By: RNH Development Company,  
Its General Partner

By: \_\_\_\_\_  
Ronald N. Haynes, Jr., President

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this date personally appeared \_\_\_\_\_, Owner's Agent, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

**SURVEYORS CERTIFICATE:**

KNOW ALL MEN BY THESE PRESENTS: That I, Ryan S. Reynolds, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

**FOR REVIEW PURPOSES ONLY. PRELIMINARY,  
THIS DOCUMENT SHALL NOT BE RECORDED  
FOR ANY PURPOSE.**

RYAN S. REYNOLDS, R.P.L.S.  
Registered Professional Land Surveyor No. 6385

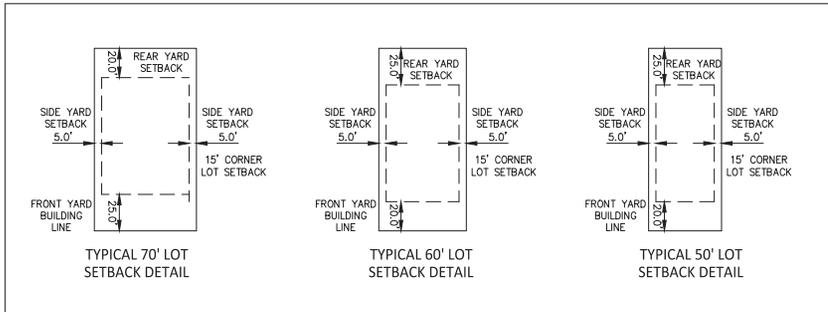
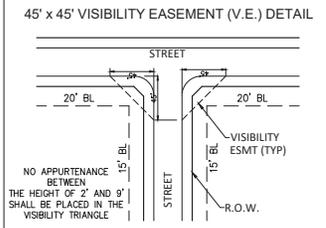
STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas on this day personally appeared Ryan S. Reynolds, Land Surveyor known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_



"RECOMMENDED FOR APPROVAL"

Chairman, Planning & Zoning Commission \_\_\_\_\_ Date \_\_\_\_\_  
City of Wylie, Texas

"APPROVED FOR CONSTRUCTION"

Mayor City of Wylie, Texas \_\_\_\_\_ Date \_\_\_\_\_

"ACCEPTED"

Mayor City of Wylie, Texas \_\_\_\_\_ Date \_\_\_\_\_

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the DOMINION OF PLEASANT VALLEY, PHASE B, subdivision or addition to the City of Wylie was submitted, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this \_\_\_\_\_ day of \_\_\_\_\_, A.D., 20\_\_\_\_.

City Secretary, City of Wylie, Texas

**VISIBILITY, ACCESS, MAINTENANCE AND DRAINAGE EASEMENTS**

The area or areas shown on the plat as Visibility, Access, Maintenance, and/or Drainage Easements are hereby given and granted to the City, its successors and assigns, as easements to provide visibility, right of access for maintenance, and drainage upon and across said easements. The City shall have the right but not the obligation to maintain any and all landscaping within the easements. Should the City exercise this maintenance right, then it shall be permitted to remove and dispose of any and all landscaping improvements, including without limitation, any trees, shrubs, flowers, ground cover and fixtures. The City may withdraw maintenance of the easements at any time. The ultimate maintenance responsibility for the easements shall rest upon the owners. No building, fence, shrub, tree or other improvements or growths, which in any way may endanger or interfere with the visibility, shall be constructed to, on, over or across the visibility easements. The City shall also have the right but not the obligation to add any landscape improvements to the easements, to erect any traffic control devices or signs on the easements and to remove any obstruction thereon. The City, its successors, assigns, or agents shall have the right and privilege at all times to enter upon the easements or any part thereof for the purposes and with all rights and privileges set forth herein.

PRELIMINARY PLAT  
**DOMINION OF PLEASANT VALLEY PHASE 8**  
43.113 ACRES  
LOTS 21-25, 26X, BLOCK 11;  
LOTS 1X, BLOCK 12; LOTS 1-7, BLOCK 16;  
LOTS 1-16, 34X & 35-41, BLOCK 17; LOTS 1X, 2-16, 17X, 18-57 & 58X BLOCK 18;  
LOTS 1-12, BLOCK 19  
102 SINGLE FAMILY LOTS  
6 OPEN SPACES/COMMON AREAS  
OUT OF THE  
GUADALUPE DE LOS SANTOS SURVEY,  
ABSTRACT NO. 1384 (DALLAS COUNTY)

Owner/Applicant:  
Wylie DPV Limited Partnership  
c/o Team Phillips, Inc.  
1914 Skillman Street  
Suite 110-310  
Dallas, Texas 75206  
Phone: 214-535-1758  
Contact: Nancy E. Phillips  
nancy@teamphillipsinc.com

Engineer/Surveyor:  
Johnson Volk Consulting, Inc.  
704 Central Parkway East,  
Suite 1200  
Plano, Texas 75074  
Phone: 972-201-3102  
Contact: Claudio Segovia  
claudio.segovia@johnsonvolk.com

CITY OF WYLIE  
DALLAS COUNTY, TEXAS  
09 February 2026  
SHEET 5 OF 5





# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning

Item Number: 1

Prepared By: Kevin Molina

### Subject

Consider, and act upon, a Site Plan for Lot 6, Block A of Woodlake Village for the development of an office/warehouse development on 4.737 acres. Property located at 1820 N State Highway 78.

### Recommendation

Motion to **approve** as presented.

### Discussion

**OWNER: Wylie Shops By Slate & Business Park LLC**

**APPLICANT: Quiddity**

The applicant is proposing to develop a 79,893 square foot flex space office warehouse park which consists of four buildings. The property is zoned within Planned Development 2025-45 and allows for the proposed use by right with the presented design being consistent with the approved Zoning Exhibit of the Planned Development.

The development provides 216 standard spaces with seven being ADA which is in compliance with the minimum parking requirements of one parking space for every 400 square feet of building area.

Access to the site is provided via driveway connections to Centennial Drive and to the commercial development to the south which leads to access to State Highway 78. Fire lanes are placed in a manner which provides compliance with the fire code requirements. Fire hydrants are placed throughout the site as required by the fire code.

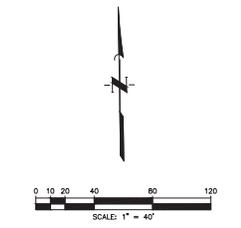
The site provides 28,140 sq.ft. of landscaping being approximately 13.6% of the overall landscaped area which is in compliance with the 10% minimum landscaping requirement. The landscape plan includes tree plantings primarily along Centennial Drive and throughout the parking areas.

The structure's exterior material consists of Brick, CMU and storefront framing. The elevations provide architectural variation with the use of alternating CMU texture, overhead doors and awnings. All of the structures onsite shall be required to have a fire sprinkler system installed.

In accordance with the requirements of Planned Development 2025-45, the overnight parking of commercial tractor trucks is prohibited.

An amended plat for the dedication of fire lane easements shall be required prior to a Certificate of Occupancy being issued for the development.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and of Planned Development 2025-45. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.



**LEGEND**

**EXISTING LEGEND**

- FIRE HYDRANT W/ GATE VALVE
- WATERLINE W/ GATE VALVE
- WATERLINE W/ METER
- SANITARY SEWER W/ MANHOLE
- SANITARY SEWER W/ CLEANOUT
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- OVERHEAD ELECTRIC
- PROPERTY LINE
- EXISTING CONCRETE PAVEMENT

**PROPOSED LEGEND**

- WATERLINE W/ GATE VALVE
- WATERLINE W/ SF PREVENTER & METER
- WATERLINE W/ FIRE HYDRANT
- SANITARY SEWER W/ MANHOLE
- SANITARY SEWER W/ CLEANOUT
- STORM SEWER W/ MANHOLE
- STORM SEWER W/ CURB INLET
- PROPOSED SIDEWALK

**NOTES**

- ALL DIMENSIONS ARE SHOWN PERPENDICULAR AND TO THE FRONT OF THE CURB UNLESS OTHERWISE NOTED.
- ALL CURB IS PERMANENT UNLESS NOTED OTHERWISE.
- SEE ARCH. PLANS FOR EXACT BUILDING DIMENSIONS.
- CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL PARKING ISLAND RADII ARE 3' UNLESS OTHERWISE NOTED.

**DESIGN DESIRABLES**

- FIGURE 4.7 SITE DESIGN REQUIREMENTS
  - SITE PLAN WITH NO MORE THAN ONE ROW OF PARKING IN FRONT OF THE BUILDING.
  - BUILDING WITH NO MORE THAN ONE ROW OF PARKING IN FRONT. COMBINED ACCESS POINTS WITH ADJACENT TRACTS.
  - DIRECT CONNECTION BETWEEN BUILDINGS AND STREET.
- FIGURE 4.8 LANDSCAPING DESIGN REQUIREMENTS
  - LANDSCAPING IN, USE AND BEAR NOT OTHERWISE REQUIRED.
  - LANDSCAPING 10% OR MORE IN EXCESS OF 50 SQ. FT. SPACE.
  - PARKING LOTS WITH NO SPACE FURTHER THAN 40 FEET FROM A LANDSCAPED AREA.
  - INCREASE IN MINIMUM WIDTH OF LANDSCAPE BUFFER BY 20%.
- FIGURE 4.9 ARCHITECTURAL DESIGN REQUIREMENTS
  - USE OF TWO COMPLEMENTARY PRIMARY MATERIALS TO HELP ACHIEVE FACADE ARTICULATION, VISUAL VARIETY AND/OR ARCHITECTURAL DETAILING.
  - COPY SAME STYLE ENTIRE BLOCK.
  - APPLICATION OF BAKE STANDARDS TO FACADES NOT FACING A PUBLIC STREET.
  - USE OF ARCHITECTURAL DETAILING AND/OR MATERIALS TO PROVIDE VARIETY IN VISUAL APPEARANCE.

**DEVELOPMENT SCHEDULE**

- APPROXIMATE 3 MONTHS FOR CIVIL PLAN APPROVAL.
- APPROXIMATE 12 MONTHS FOR CONSTRUCTION.

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

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**OWNER/DEVELOPER**

URBAN GARAGES MCKINNEY, LLC  
6136 FRISCO SQUARE BLVD, SUITE 400  
FRISCO, TX 75034  
TEL (469) 252-1123  
CONTACT: CARL FLEMING

**ARCHITECT**

ATRIECON SDG, LLC  
P.O. BOX 700856  
SAN ANTONIO, TEXAS 78270  
TEL (210) 420-0635  
CONTACT: LAURA DUNCAN

**CIVIL ENGINEER**

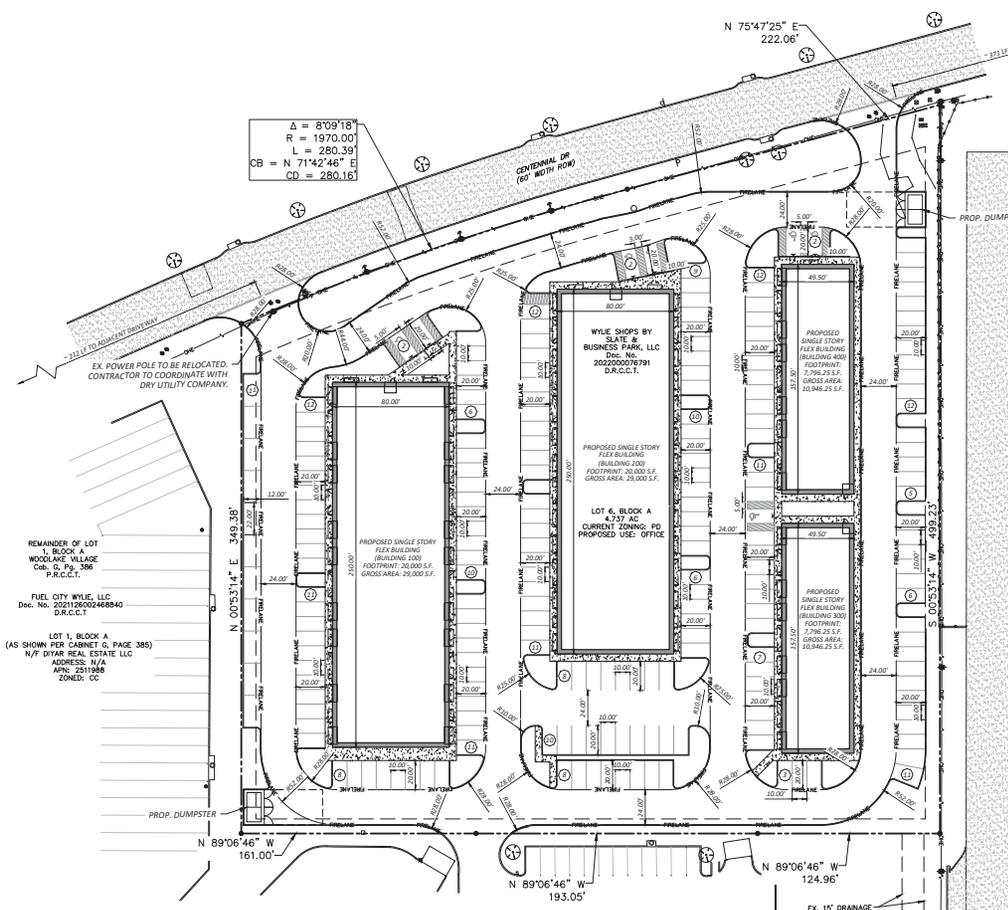
QUIDDITY ENGINEERING, LLC  
2805 DALLAS PARKWAY, SUITE 600  
PLANO, TEXAS 75093  
TEL (972) 265-7174  
CONTACT: ALEK W. STRIMPLE, PE

**LANDSCAPE ARCHITECT**

QUIDDITY ENGINEERING, LLC  
2805 DALLAS PKWY, SUITE 600  
PLANO, TEXAS 75093  
TEL (972) 488-3880  
CONTACT: JORDAN KAYLOW, PLA

SITE DATA	
<b>Lot 6</b>	
LOT AREA:	4.737 ACRES (206,344 SQ. FT.)
EXISTING ZONING:	PD
PROPOSED LANDUSE:	OFFICE
BUILDING AREA:	79,892.50 SQ. FT.
FLOOR/AREA RATIO:	0.39
PARKING REQUIRED:	202 SPACES (1 SPACE/400 SQ. FT.)
PARKING PROVIDED:	
SURFACE PARKING:	209 SPACES
ACCESSIBLE PARKING:	7 SPACES
TOTAL PARKING:	216 SPACES

CITY OF WYLE  
PUBLIC SAFETY BUILDING  
(AS SHOWN PER CABINET G, PAGE 385)  
N/7 WYLE CITY OF  
2000 N STATE HWY 75  
WYLE, TEXAS 75098  
APN: 2817062  
ZONED: CG50AP



REMANINDER OF LOT 1, BLOCK A, WOODLAKE VILLAGE  
CAB. G, PG. 386  
P.R.C.C.T.

FUEL CITY WYLE, LLC  
Doc. No. 2021136202468840  
D.P.C.C.T.

LOT 1, BLOCK A  
(AS SHOWN PER CABINET G, PAGE 385)  
N/7 DYAR REAL ESTATE LLC  
ADDRESS: N/A  
APN: 2511988  
ZONED: CC

APP.	
DESIGN	
CHECK	
DATE	
BY	
FOR NO.	

**QUIDDITY**

DESIGNED BY: ALEK W. STRIMPLE, P.E.  
CHECKED BY: JACOT  
DATE: JANUARY 2026  
FOR NO.: 2024-0006-01

INTERIM REVIEW  
Not intended for construction, loading or permit purposes.  
Engineer: ALEK W. STRIMPLE, P.E.  
P.E. Serial No.: 142580  
Date: JANUARY 2026

URBAN GARAGES WYLE  
2805 STATE HWY 75, WYLE, TX 75098

**SITE PLAN EXHIBIT**  
URBAN GARAGES ADDITION, LOT 6, BLOCK A  
01/20/2026

SHEET NO. **1**

**NOTES**

**SCOPE OF WORK NOTES**

- CONTRACTOR SHALL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR IS RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS, APPROVALS, AND INSPECTIONS RELATED TO SCOPE OF WORK.
- ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, AND SHALL COMPLY WITH PREVAILING ACCESSIBILITY REQUIREMENTS.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DOCUMENTS AND ACTUAL SITE CONDITIONS PRIOR TO CONSTRUCTION. DO NOT PROCEED WITH ANY PORTION OF WORK AS INDICATED IN DOCUMENTS IF OBSTRUCTIONS, DISCREPANCIES, OR UNKNOWN CONDITIONS ARE ENCOUNTERED.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING, DIGGING, OR CONSTRUCTION.
- LIMITS OF WORK INDICATED ON THE DRAWINGS ARE GENERAL IN NATURE AND ARE INTENDED TO DEFINE THE GENERAL VICINITY IN WHICH THE SCOPE OF WORK EXISTS. ACTUAL LIMITS OF WORK SHALL INCLUDE ALL AREAS NECESSARY TO COMPLETE SCOPE OF DESIGN INTENT AND REESTABLISH ALL DISTURBED AREAS.
- UNLESS OTHERWISE NOTED, ALL EXISTING TREES SHALL BE PROTECTED.

**SOIL PREPARATION AND TOPSOIL NOTES**

- GENERAL CONTRACTOR TO PERFORM A SOIL TEST PRIOR TO LANDSCAPE WORK COMMENCING AND SHALL PROVIDE THE PROJECT LANDSCAPE ARCHITECT WITH THE RESULTS. REFERENCE THE SPECIFICATIONS FOR DETAILED REQUIREMENTS.
- GENERAL CONTRACTOR SHALL ESTABLISH A TOPSOIL MANAGEMENT PLAN/OPERATION THROUGHOUT THE CONSTRUCTION PROCESS. ON-SITE EXCESS EXCAVATIONS AND UTILITY SPOILS THAT ARE FREE OF ROCKS LARGER THAN 3/4" SLASH, DEBRIS, ROOTS, OR OTHER DETERIMENTAL MATTER MAY BE USED AS GENERAL EARTH FILL BUT SHALL NOT BE USED AS TOPSOIL.
- GENERAL CONTRACTOR TO BRING ALL FUTURE PLANTING BED AREAS TO NINE (9) INCHES BELOW FINAL GRADE. ALL AREAS TO RECEIVE TURF GRASS SHALL BE BROUGHT TO SIX (6) INCHES BELOW FINAL GRADE. GENERAL CONTRACTOR TO INSTALL AND/OR COORDINATE THE INSTALLATION OF REQUIRED FERTILE TOPSOIL PER THE TOPSOIL MANAGEMENT PLAN, SOIL TEST RESULTS, AND THESE SPECIFICATIONS AND DETAILS, AND COORDINATE THE TIMING OF ROUGH GRADING, FINE GRADING, AND THE INSTALLATION OF IRRIGATION AND LANDSCAPE IMPROVEMENTS.
- THE CONTRACTOR'S BID SHALL INCLUDE ALL NECESSARY TOPSOIL (IMPORT MAY BE REQUIRED) TO BACKFILL ALL DISTURBED AREAS.
- AFTER SCARIFICATION OF THE SOIL, FIVE (5) INCHES OF FERTILE TOPSOIL SHALL BE USED TO BRING DISTURBED, FUTURE SOD TURF AREAS TO ONE (1) INCH BELOW FINAL GRADE.
- FOR FUTURE PLANTING BED PREPARATION, TILL SOIL AN ADDITIONAL SIX (6) INCHES (FIFTEEN (15) INCHES TOTAL DEPTH BELOW FINAL GRADE). APPLY FERTILIZER PER SOIL TEST RESULTS AND MANUFACTURER'S RECOMMENDATIONS, THEN ADD SIX (6) INCHES OF COMPOST AND TILL INTO A DEPTH OF TWELVE (12) INCHES (SETTLED THICKNESS), BRINGING THE TOP OF BED TO THREE (3) INCHES BELOW FINAL GRADE.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. PROVIDE UNIFORM ROUNDING AT THE TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE.

**JOB CONDITION NOTES**

- GENERAL CONTRACTOR TO COMPLETE WORK PRIOR TO LANDSCAPE CONTRACTOR COMMENCING WORK.
  - ALL IRRIGATION SYSTEMS SHALL BE INSTALLED WITH RAIN AND FROST SENSORS AND SHALL MEET ALL APPLICABLE STATE AND LOCAL REGULATIONS.
  - ALL AREAS OTHER THAN TURF SHALL BE IRRIGATED USING NETAFIM™ OR APPROVED EQUAL SUBTERRANEAN DRIP. DRIP IRRIGATION IS REQUIRED FOR ALL TURF AREAS NARROWER THAN 48" IN WIDTH.
  - ANY EXISTING IRRIGATION SYSTEMS UTILIZED FOR THE WATERING OF NEWLY INSTALLED LANDSCAPING ARE TO BE INSPECTED FOR FUNCTIONALITY AND REPAIRED AS NECESSARY. CONTRACTOR TO ENSURE THAT THE EXISTING SYSTEM HAS ADEQUATE CAPACITY.
  - IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO PLANTING INSTALLATION. LOCATE, PROTECT, AND MAINTAIN THE IRRIGATION SYSTEM DURING PLANTING OPERATIONS.

**SUBMITTALS AND QUALITY ASSURANCE NOTES**

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES TO THE LANDSCAPE ARCHITECT AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. REFERENCE THE SPECIFICATIONS FOR DETAILED REQUIREMENTS.
- DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
- OWNER'S REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED TO THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO PROVIDE A MINIMUM OF TWO (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK.
- PROVIDE MINIMUM 5X SLOPES AWAY FROM ALL STRUCTURES AND ENSURE POSITIVE DRAINAGE IS ACHIEVED THROUGHOUT.

**GENERAL LANDSCAPE NOTES**

- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMAN, INC. SHALL BE OF SPECIMEN QUALITY, AND SHALL MEET THE MINIMUM REQUIREMENTS AS STATED IN THE PLANT SCHEDULE AND SPECIFICATIONS.
- QUANTITIES ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY AND ARE NOT GUARANTEED TO BE ACCURATE. QUANTITIES SHOWN ON THE PLAN (INDIVIDUAL SYMBOLS) SHALL TAKE PRECEDENCE OVER LISTED QUANTITIES.
- THE GENERAL CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN IN THE DRAWINGS.
- TAKE ALL PRECAUTIONS CUSTOMARY IN GOOD TRADE PRACTICE IN PREPARING PLANTS FOR MOVING AND IN PROPER CARE ONCE DELIVERED TO THE PROJECT SITE.
- STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR.
- SPACE PLANTINGS IN ACCORDANCE WITH THE INDICATED DIMENSIONS. MINIMALLY ADJUST SPACING AS NECESSARY TO EVENLY FILL PLANTING BEDS WITH INDICATED QUANTITY OF PLANTS. PLANT SHRUBS TO WITHIN EIGHTEEN (18) INCHES OF TREE TRUNKS, AS SHOWN AND/OR AS NECESSARY.
- ALL NON-DIMENSIONED PLANT SYMBOLS, EDGING, AND BED LINES SHALL BE SCALED FROM DRAWINGS. CURVILINEAR BED LINES ARE TO BE SMOOTH AND CONTINUOUS PER PLAN, WITHOUT ABRUPT CHANGES IN DIRECTION.
- PAINT OR STRING ALL EDGING AND BED LINE LOCATIONS ON FINAL GRADE AND STAKE THE LOCATION OF ALL PROPOSED TREES FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF PLANTING.
- PLACE PLANTINGS UPRIGHT AND PLUMB IN THE CENTER OF HOLES AND ORIENT FOR BEST APPEARANCE. PLANTS TO BE PERFECTLY UPRIGHT, REGARDLESS OF SURROUNDING GRADE; SEE DETAILS FOR PLANTING ON SLOPES.

- STAKE TREES AND LARGE SHRUBS AS SITE CONDITIONS REQUIRE. POSITION STAKES TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS AND GRADE CHANGE (TWO STAKES UPWIND/UPHILL).
- NO TREES OR SHRUBS SHALL BE PLANTED BEFORE ACCEPTANCE OF FINE GRADING. TREE SHALL BEAT SAME RELATIONSHIP TO FINAL GRADE AS THEY BORE TO PREVIOUS GRADE.
- SEE SPECIFICATIONS AND DETAILS FOR PLANTING BED PREPARATION AND MULCHING REQUIREMENTS.
- SEE SPECIFICATIONS AND DETAILS FOR TREE PIT DIMENSIONS AND BACKFILL REQUIREMENTS.
- ALL PLANT VARIETIES MUST COME FROM A SINGLE SOURCE FOR MAINTAINING A CONSISTENT APPEARANCE.
- ALL NEW PLANTS SHALL BE CONTAINER-GROWN, UNLESS OTHERWISE NOTED IN THE PLANT SCHEDULE. MATERIAL MUST HAVE A WELL-ESTABLISHED ROOT SYSTEM THAT REACHES THE SIDES OF THE CONTAINER. THE ROOT SYSTEM MUST MAINTAIN A FIRM BALL WHEN THE CONTAINER IS REMOVED BUT SHALL NOT HAVE EXCESSIVE ROOT GROWTH ENCRUCLING THE INSIDE OF THE CONTAINER.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINAL GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- ALL SHRUB PLANTING BEDS AND LAWN AREAS ARE TO BE SEPARATED BY STEEL EDGING UNLESS OTHERWISE NOTED. NO STEEL EDGING IS TO BE INSTALLED ADJACENT TO SIDEWALKS, CURBS, FENCES, OR OTHER HARDSCAPE ELEMENTS, UNLESS SPECIFIED OTHERWISE IN THE PLANS, SPECIFICATIONS OR DETAILS.
- ROOF BARRIER TO BE INSTALLED ADJACENT TO ALL CURBS, PAVING, UTILITIES, AND STRUCTURES WHEN PROPOSED TREES ARE WITHIN 20 FEET OF THESE ELEMENTS. SEE DETAIL. NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO ANY UTILITY LINE. PLACE PANELS ADJACENT APPLICABLE HARDSCAPE AND UTILITIES AND INSTALL PER MANUFACTURER'S RECOMMENDATIONS; SEE PLAN FOR EXTENTS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOF BARRIER THAT COMPLETELY ENCRUCLES THE ROOT BALL.

**SOLID SOD TURF NOTES**

- DO NOT PLACE SOD UNTIL FINE GRADING IS APPROVED.
- DO NOT INSTALL SOD ON FROZEN GROUND OR IF FORECAST CALLS FOR FREEZING CONDITIONS.
- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE THAT EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROCEEDS.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS ARE TO BE OVER-SEEDED WITH WINTER RYE GRASS.
- SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS AND NOXIOUS PESTS AND INSECTS.

**MAINTENANCE AND GUARANTEE NOTES**

- CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK FROM THE TIME OF PLANTING UNTIL NINETY (90) DAYS AFTER FINAL ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL PROVIDE A SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE THAT ALL NEWLY INSTALLED, AND EXISTING PLANTS WITHIN OR NEAR THE LIMITS OF CONSTRUCTION, SHALL SURVIVE FOR ONE YEAR AFTER FINAL OWNER ACCEPTANCE OF THE INSTALLATION WORK.
- THE OWNER, TENANT, AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING AND IRRIGATION.
- ALL REQUIRED LANDSCAPING AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. REFERENCE SPECIFICATIONS FOR MAINTENANCE REQUIREMENTS.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREAS AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY AS NECESSARY.
- PLANT MATERIAL THAT IS DAMAGED, DESTROYED, OR REMOVED SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR SIZE AND VARIETY OF THE COMPARABLE MATERIAL ON SITE WITHIN TEN (10) DAYS.
- REGULARLY INSPECT AND COORDINATE THE OPERATION OF THE IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED.
- ALL IRRIGATION HEADS OR LINES WHICH ARE BROKEN SHALL BE REPLACED OR REPAIRED IN A TIMELY MANNER TO PREVENT THE WASTE OF WATER AND LOSS OF PLANT LIFE.
- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS ACCEPTED BY THE OWNER. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
<b>SHADE TREES</b>						
	QM	QUERCUS MUEHLBERGII	HINKPINK OAK	3" CAL	5	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
	QT	QUERCUS TEXANA	TEXAS RED OAK	3" CAL	6	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
	QV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	3" CAL	6	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
	UC	ULMUS CRASSIFOLIA	CEDAR ELM	3" CAL	5	CONTAINER GROWN, 14" HEIGHT, 5' SPREAD, 6" BRANCHING HEIGHT, UPRIGHT GROWTH, ROUNDED CANOPY, AND STRONG CENTRAL LEADER
<b>ORNAMENTAL TREES</b>						
	CT	CERCIS CANADENSIS TEXENSIS	TEXAS REDBUD	30 GAL	4	CONTAINER GROWN, 3-5 TRUNK, NO CROSS-CANES, 8" HEIGHT, 4" MINIMUM SPREAD, AND MINIMUM DBH OF 2" CALIPER
	CL	CHILIPSOX LINEARIS	DESERT WILLOW	30 GAL	5	CONTAINER GROWN, 3-5 TRUNK, NO CROSS-CANES, 8" HEIGHT, 4" MINIMUM SPREAD, AND MINIMUM DBH OF 2" CALIPER
	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	30 GAL	4	CONTAINER GROWN, 8-10" HEIGHT, 4" MINIMUM SPREAD, 4" BRANCHING HEIGHT, UPRIGHT GROWTH, STRONG CENTRAL LEADER, MINIMUM 3" CALIPER
<b>GROUND COVERS</b>						
	CD	CYNODON DACTYLON 'TIF 419'	TIF 419 BERMUDAGRASS	SOD	28,139 SF	SOLID SOD, REFER TO NOTES AND SPECIFICATIONS

APP.	
REVISION	
No.	Date

**QUIDDITY**  
DESIGN-BUILD LANDSCAPE ARCHITECTS AND PLANNERS, INC.

DESIGNED BY: \_\_\_\_\_ TESTED BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ DATE: JANUARY 2026  
 DRAWN BY: \_\_\_\_\_ IFO NO.: 2024-0006-01

**INTERIM REVIEW**

THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND ARE NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. THEY ARE PREPARED BY, OR UNDER THE SUPERVISION OF:

Landscpe Architect: PLS & JLL  
 DOREAN A. KAYTOR, PLS  
 Date: January 20, 2026

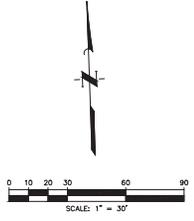
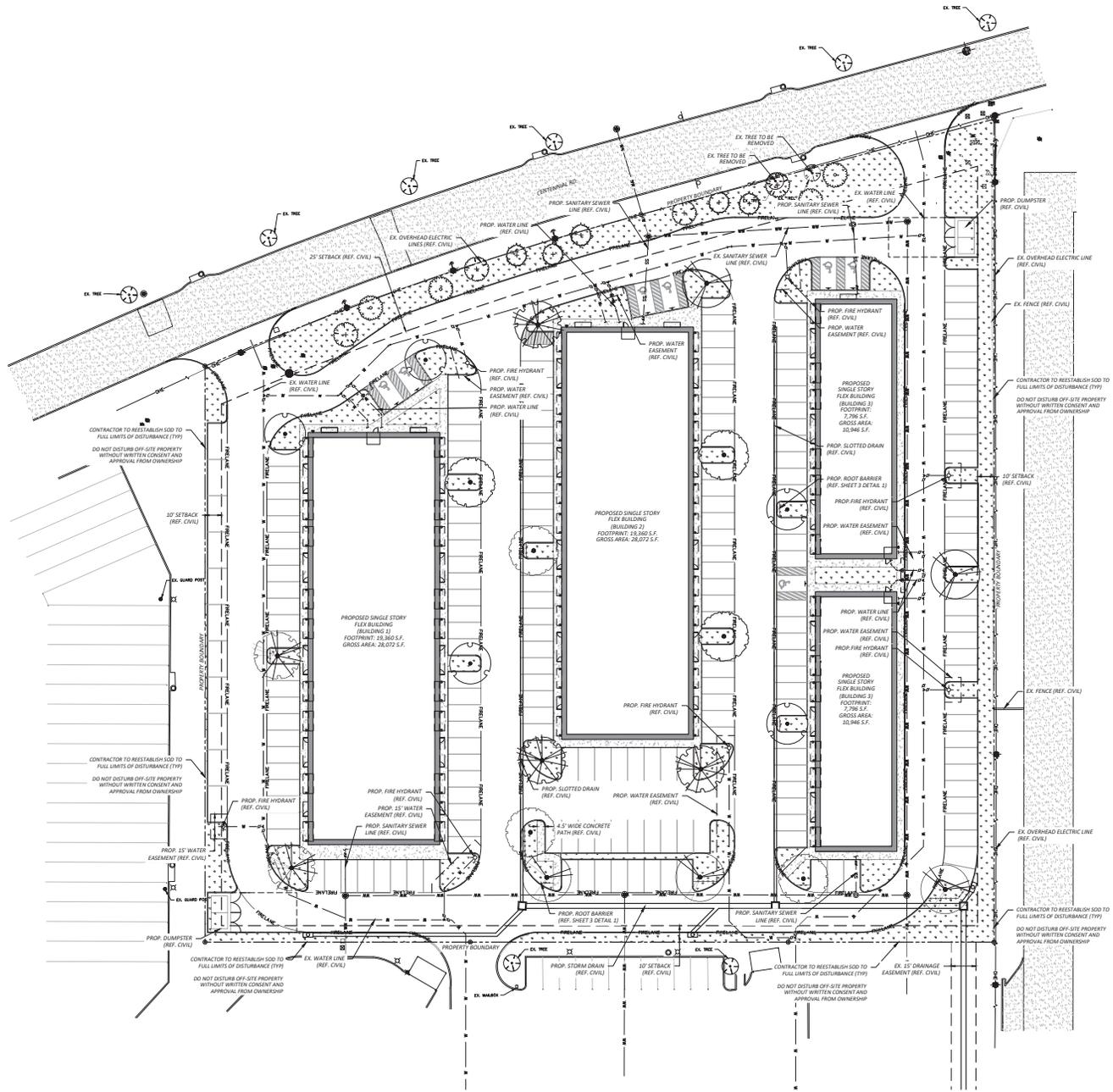
**URBAN GARAGES WYLIE**  
1830N STATE HWY 79, WYLIE, TX 75098

**SITE PLAN EXHIBIT**  
 URBAN GARAGES ADDITION, LOT 6, BLOCK A  
 09/08/2025

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

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**PLANT SCHEDULE**

SYMBOL CODE COMMON NAME

**SHADE TREES**

- UC CEDAR ELM
- QM CHINKAPIN OAK
- QV SOUTHERN LIVE OAK
- QT TEXAS RED OAK

**ORNAMENTAL TREES**

- CL DESERT WILLOW
- CF FLOWERING DOGWOOD
- CT TEXAS REDBUD

**GROUND COVERS**

- CD TIF 419 BERMUDAGRASS

**NOTES**

1. LANDSCAPING IS 41.3% OF GROSS ACREAGE OF THE LOT.  
- GROSS: 1206,389 S.F.  
- LAND: 126,545 S.F.
2. PARKING LOT LANDSCAPING AREA IS REQUIRED TO BE 10,800 S.F., 11,000 S.F. OF LANDSCAPE AREA IN THE PARKING LOT IS PROVIDED. - 216 SPACES X 50 S.F. = 10,800 S.F.
3. ALL PROPOSED TREES ARE NATIVE OR ADAPTED TO NORTH TEXAS/COLIN COUNTY.
4. PARKING LOT ISLAND TREES HAVE BEEN ADDED TO THE EXTENTS POSSIBLE ISLANDS WITH UTILITY CONFLICTS ARE AVOIDED.
5. PROPOSED PARKING LOT ISLAND TREES SHALL NOT OBSTRUCT FIRE LANE CLEARANCE.
6. STREET TREES WITHIN THE LANDSCAPE BUFFER ARE GROUPED INTO SMALL GROVES.  
- 13 TREES ARE PROPOSED (502 LF OF FRONTAGE / 40 LF = 12.55 TREES)

CONTRACTOR TO VERIFY ELEVATION AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY NEW CONSTRUCTION

TEXAS11 NOTIFICATION SYSTEM  
**CALL BEFORE YOU DIG!!!**  
www.texas11.org  
Texas811 or 1-800-545-6005

NO.	DATE	REVISION

**QUIDDITY**  
LANDSCAPE ARCHITECTS & PLANNERS  
10000 W. STATE HWY. 75, WYLE, TX 75098  
TEL: 972-261-1111 FAX: 972-261-1112  
WWW.QUIDDITY.COM

DESIGNED BY: \_\_\_\_\_ TEST: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_ DATE: JANUARY 2026  
DRAWN BY: \_\_\_\_\_ FOR NO.: 2024-0006-01

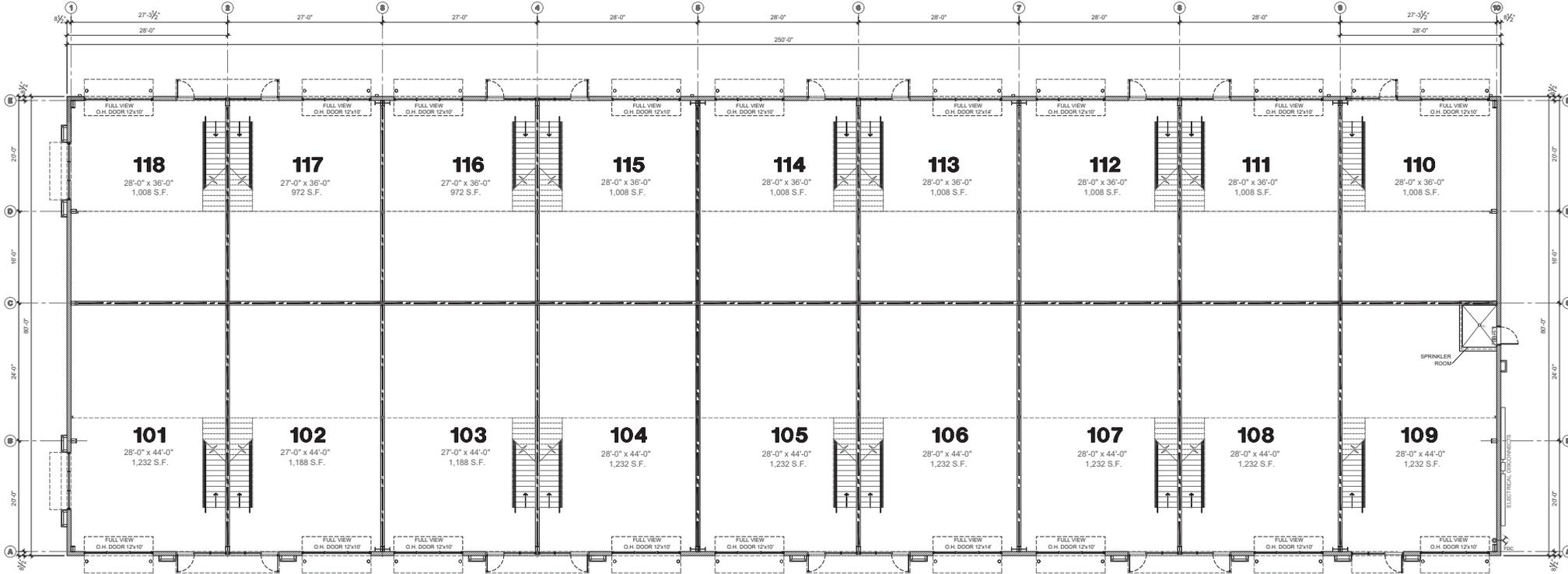
**INTERIM REVIEW**  
THESE DOCUMENTS ARE FOR DESIGN REVIEW ONLY AND ARE NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION. THEY ARE PREPARED BY OR UNDER THE SUPERVISION OF:  
LANDSCAPE ARCHITECT  
JOSHUA A. BAYLOR, P.L.A.  
Date: January 20, 2026

**URBAN GARAGES WYLE**  
URBAN GARAGES ADDITION, LOT 6, BLOCK A  
09/08/2025

SHEET NO. **2**  
OF 3



LEGEND		GENERAL NOTES	
	QUIK-BRIK EXTERIOR WALL. INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUIK-BRIK COLOR / ACCENT BAND LOCATIONS.	1.	DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.
	1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)	2.	INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IBC SECTION 803.
	INTERIOR WALL	3.	ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.
	DOOR TYPE	4.	ALL WALL ASSEMBLIES SHALL CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.
	WINDOW TYPE	5.	GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS. OBSTRUCTIONS AND DIMENSIONS: PRIOR TO CONSTRUCTION, NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.
	DOWNSPOUT	6.	VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.
	CONTROL JOINT		
	WALL TYPE		



**URBAN GARAGES WYLIE  
FLEX BUILDING "1"**

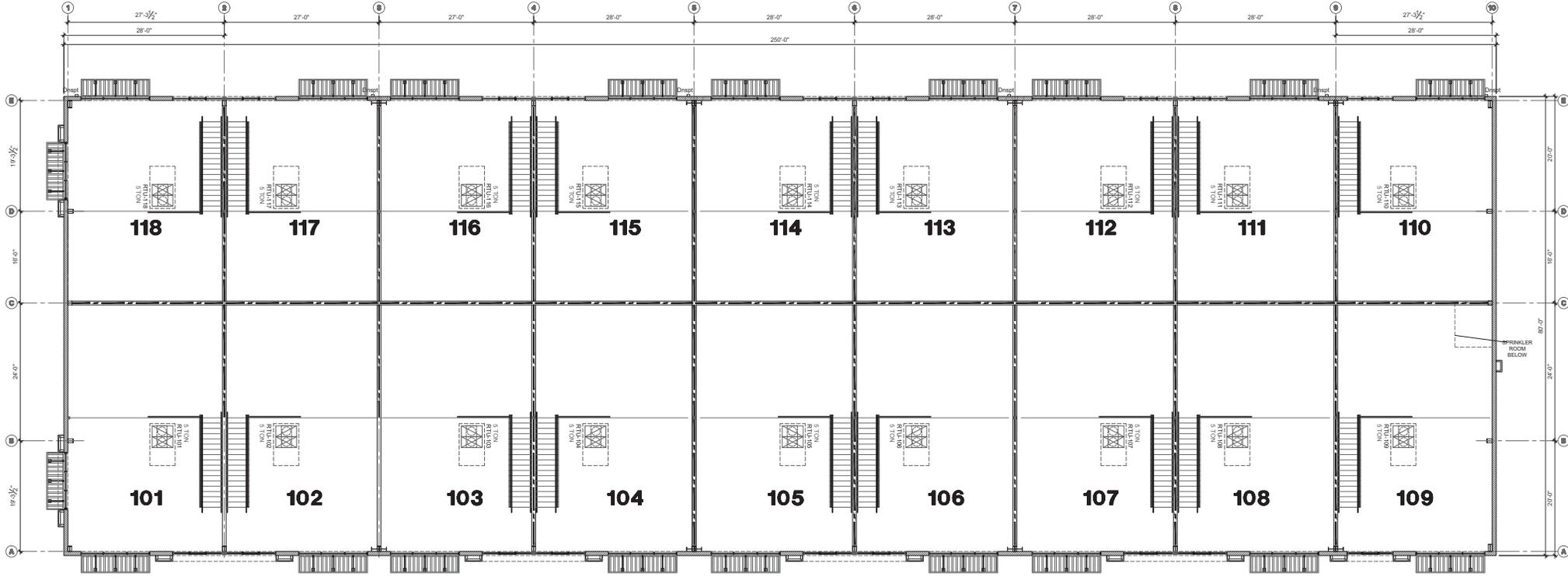
250 FT x 28 FT

SUITE	UNIT SIZE		SUITE AREA		W/MEZZANINE	
	WIDTH FT	LENGTH FT	Sq. Ft.	LENGTH FT	Sq. Ft.	Sq. Ft.
101	28	44	1,232	20	560	
102	27	44	1,188	20	540	
103	27	44	1,188	20	540	
104	28	44	1,232	20	560	
105	28	44	1,232	20	560	
106	28	44	1,232	20	560	
107	28	44	1,232	20	560	
108	28	44	1,232	20	560	
109	28	44	1,232	20	560	
110	28	36	1,008	16	488	
111	28	36	1,008	16	488	
112	28	36	1,008	16	488	
113	28	36	1,008	16	488	
114	28	36	1,008	16	488	
115	28	36	1,008	16	488	
116	27	36	972	16	432	
117	27	36	972	16	432	
118	28	36	1,008	16	488	
			<b>20,000</b>		<b>8,000</b>	

PLAN NORTH 1 ARCHITECTURAL FLOOR PLAN SCALE: 1/8" = 1'-0"

 <b>ATRICON</b> atricon@gmail.com P.O. BOX 700696 SAN ANTONIO, TX 78270 (214) 242-0050	SHEET TITLE: FLEX BUILDING "1" FLOOR PLAN	URBAN GARAGES WYLIE FLEX BUILDING "1" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRICON SDO ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE ORIGINAL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS ARE UNREGISTERED WORKS AND MAY NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT AS OTHERWISE PROVIDED IN WRITING, THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE FURNISHED SOLELY TO THE CLIENT. THE PROJECT IS THE PROPERTY OF ATRICON. ANY REUSE OR MODIFICATION OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF ATRICON IS STRICTLY PROHIBITED.	REVISIONS: PRELIM. PD. SUBMITTAL 09/05/25	JOB NO: 302-100-01 INITIAL CITY SUBMITTAL DATE: DRAWN BY: L.S. CHECKED BY: K.S. SHEET NUMBER <b>A-1</b>
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LEGEND		GENERAL NOTES	
	QUIK-BRIK EXTERIOR WALL. INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUIK-BRIK COLOR / ACCENT BAND LOCATIONS.	1.	DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.
	1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)	2.	INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IBC SECTION 803.
	INTERIOR WALL	3.	ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.
	DOOR TYPE	4.	ALL WALL ASSEMBLIES SHALL CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.
	WINDOW TYPE	5.	GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, OBSTRUCTIONS AND DIMENSIONS. PRIOR TO CONSTRUCTION, NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.
	DOWNSPOUT	6.	VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.
	CONTROL JOINT		
	WALL TYPE		



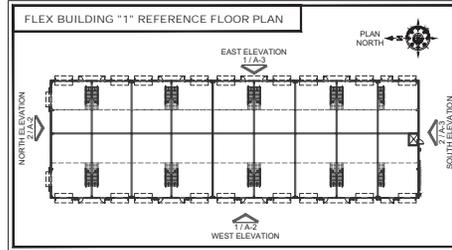
PLAN NORTH ARCHITECTURAL UPPER WINDOWS FLOOR PLAN  
SCALE: 1/8" = 1'-0"

 <b>ATRICON</b> atricon@gmail.com P.O. BOX 703696 SAN ANTONIO, TX 78270 (214) 242-0958	SHEET TITLE: FLEX BUILDING "1" UPPER WINDOWS FLOOR PLAN	URBAN GARAGES WYLIE FLEX BUILDING "1" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRICON 800 ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS AND COPYRIGHTED WORKS AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT AS OTHERWISE PROVIDED IN WRITING, ALL INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT. FIELD THE CONTRACTOR, AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	REVISIONS: PRELIM. PD. SUBMITTAL    09/05/25	JOB NO: 302-100-41 INITIAL CITY SUBMITTAL DATE:
				DRAWN BY: L.S. CHECKED BY: K.S.	SHEET NUMBER <b>A-2</b>

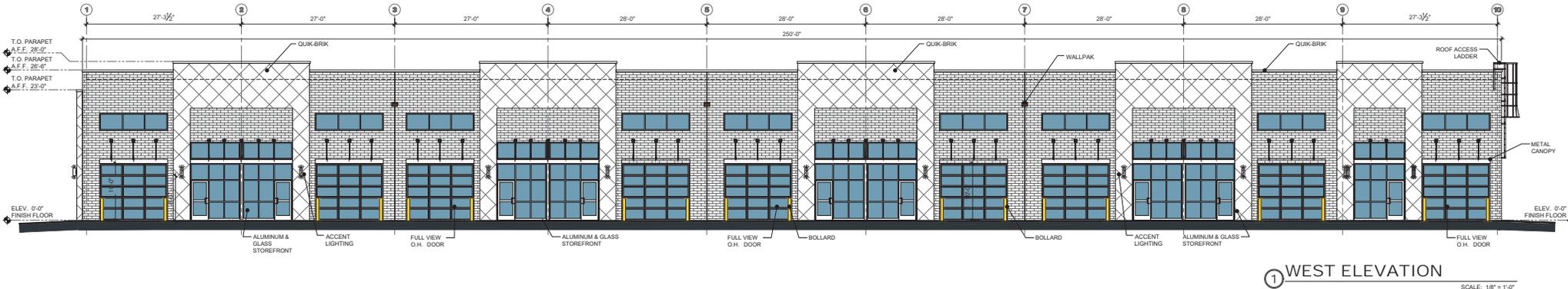
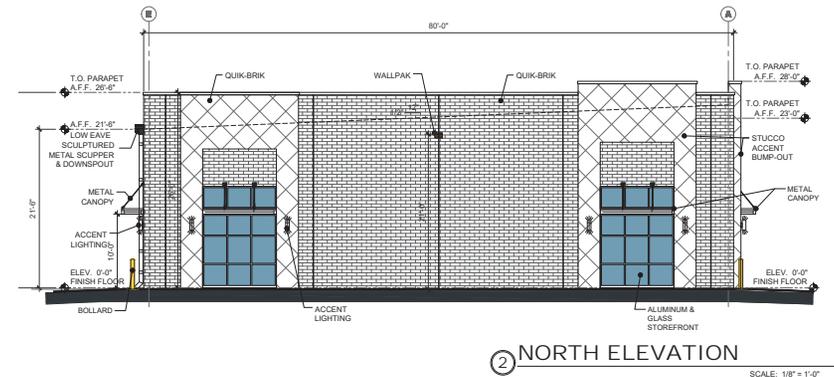
ELEVATIONS LEGEND	
	1. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	2. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	3. STOREFRONT / WINDOW. ALUMINUM FRAME W/ TINT LOW-E GLAZING. FRAME COLOR:
	4. OVERHEAD DOOR. REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS. COLOR: BLACK
	5. GUTTERS & DOWNSPOUTS. METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS LOCATIONS BASED ON FINAL ROOF DESIGN.
	6. METAL AWNING / CANOPY. 30" DEPTH. LENGTH VARIES. SEE FLOOR PLAN. REFER TO STRUCTURAL.
	7. BOLLARDS. 6" DIA. STEEL PIPE CONCRETE FILLED BOLLARD. 4'-0" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.
	8. METAL COPING. PRE-FINISHED METAL COPING. COLOR: BLACK
	9. METAL DOORS & FRAMES. COLOR: BLACK. DOORS PER SCHEDULE. REFER TO SHEET
	10. WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE
	11. QUIK-BRIK CONTROL JOINT. CONTROL JOINT PER STRUCTURAL AND QUIK-BRIK INSTALLATION SPECIFICATIONS.
	12. SUITE LOGO LOCATION @Y OTHERS
	13. ROOF SLOPE. TPO ROOF T2 / 12" SLOPE. FINAL DESIGN PER PEMB
	14. ROOF ACCESS FIXED LADDER. WITH CAGE & WALK-THRU. INSTALL PER MANUF. SPECS. PRECISION LADDERS MOD. FL-09
	15. BALCONY. PRE-FAB METAL BALCONY WITH 42" GUARDRAIL

NOTE: FINAL COLOR SELECTION BY OWNER.

LEGEND		
	A. DOOR TYPE	
	W. WINDOW TYPE	
	K. KEY NOTTE	



- GENERAL NOTES:**
- HEIGHT OF WALL, ROOF, AND PARAPET SHOWN ON ELEV. ARE APPROX. TAKEN FROM THE BUILDING FINISH FLOOR EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
  - ALL NOTES, DIM., DETAIL REFERENCES AND INFO. SHOWN ON THIS SHEET ARE REPEATING AND TYPICAL FOR ALL ELEVATIONS.
  - DIMENSIONS ARE TO FACE OF MASONRY / METAL STUD.
  - VERIFY GRADES @ BUILDING LINE W/ CIVIL ENGINEERING DRAWINGS.
  - PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT, BOXES AND CONDUIT ADJACENT TO MATCH ADJACENT WALL SURFACE.
  - GENERAL CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED COLORS PRIOR TO APPLICATION.
  - ROOF AND GROUND MECHANICAL EQUIPMENT TO BE SCREENED PER CITY ORDINANCE.
  - ALL FLASHINGS TO BE GALVANIZED.
  - ALL FLASHING FASTENERS MUST BE CORROSION RESISTANT.

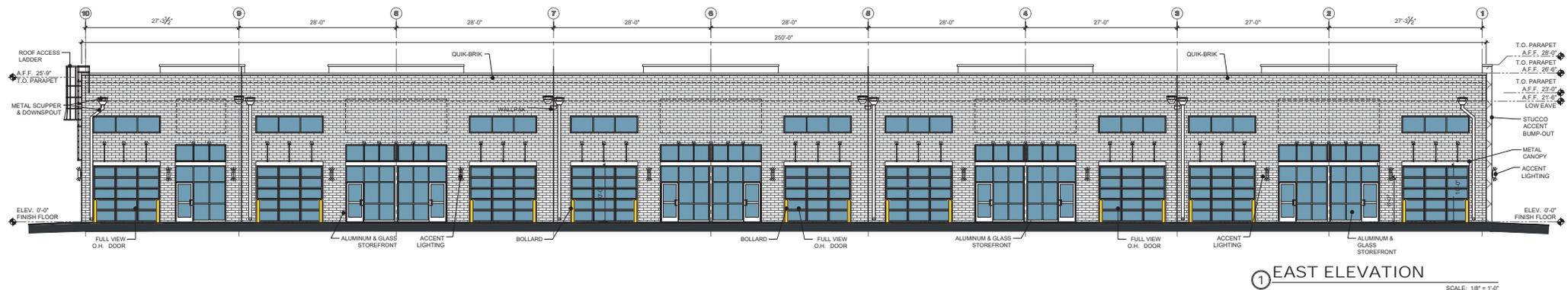
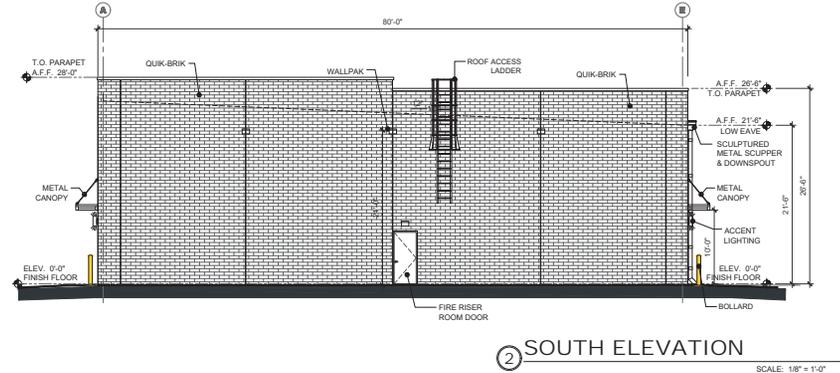
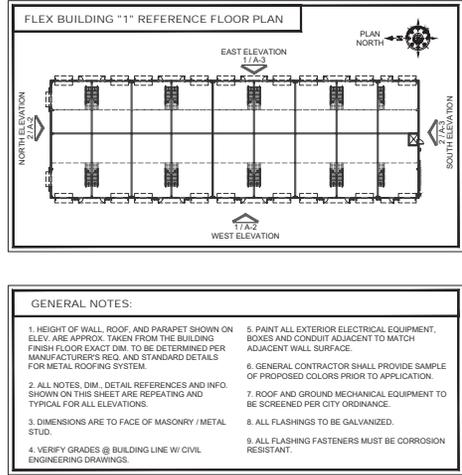


<p><b>ATRICON</b> atricon@gmail.com P.O. BOX 700956 SAN ANTONIO, TX 78270 (214) 242-0050</p>	<p>SHEET TITLE:</p> <p><b>FLEX BUILDING "1" WEST &amp; NORTH EXTERIOR ELEVATIONS</b></p>	<p><b>URBAN GARAGES WYLIE</b></p> <p><b>FLEX BUILDING "1"</b></p> <p>CENTENNIAL DR &amp; N STATE HWY 78 WYLIE, TEXAS 75098</p>	<p>© 2025 ATRICON BDO</p> <p>ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS AND CONCEPTS, WORKING AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT AS OTHERWISE PROVIDED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.</p>	<p><b>REVISIONS:</b></p> <table border="1"> <tr> <th>REVISION NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>02/05/25</td> <td>INITIAL CITY SUBMITTAL DATE:</td> </tr> </table>	REVISION NO.	DATE	DESCRIPTION	1	02/05/25	INITIAL CITY SUBMITTAL DATE:	<p><b>JOB NO:</b> 302-100-41</p> <p>INITIAL CITY SUBMITTAL DATE:</p> <p><b>DRAWN BY:</b> L.S. <b>DESIGNED BY:</b> K.S.</p> <p><b>SHEET NUMBER</b></p> <p><b>A-3</b></p>
				REVISION NO.	DATE	DESCRIPTION					
1	02/05/25	INITIAL CITY SUBMITTAL DATE:									
<p>DATE: 02/17/2026</p>			<p>SCALE: 1/8" = 1'-0"</p>								

ELEVATIONS LEGEND	
	1. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	2. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	3. STOREFRONT / WINDOW. ALUMINUM FRAME W/ TINT LOW-E GLAZING. FRAME COLOR.
	4. OVERHEAD DOOR. REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS. COLOR: BLACK
	5. GUTTERS & DOWNSPOUTS. METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS LOCATIONS BASED ON FINAL ROOF DESIGN.
	6. METAL AWNING / CANOPY. 30" DEPTH. LENGTH VARIES. SEE FLOOR PLAN. REFER TO STRUCTURAL.
	7. BOLLARDS. 6" DIA. STEEL PIPE CONCRETE FILLED BOLLARD. 4'-0" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.
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	9. METAL DOORS & FRAMES. COLOR: BLACK. DOORS PER SCHEDULE. REFER TO SHEET.
	10. WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE.
	11. QUIK-BRIK CONTROL JOINT. CONTROL JOINT PER STRUCTURAL AND QUIK-BRIK INSTALLATION SPECIFICATIONS.
	12. SUITE LOGO LOCATION. BY OTHERS
	13. ROOF SLOPE. TPO ROOF T2 / 12" SLOPE. FINAL DESIGN PER PEMB
	14. ROOF ACCESS FIXED LADDER. WITH CAGE & WALK THRU. INSTALL PER MANUF. SPECS. PRECISION LADDERS. MOD. FL-09
	15. BALCONY. PRE-FAB METAL BALCONY WITH 42" GUARDRAIL

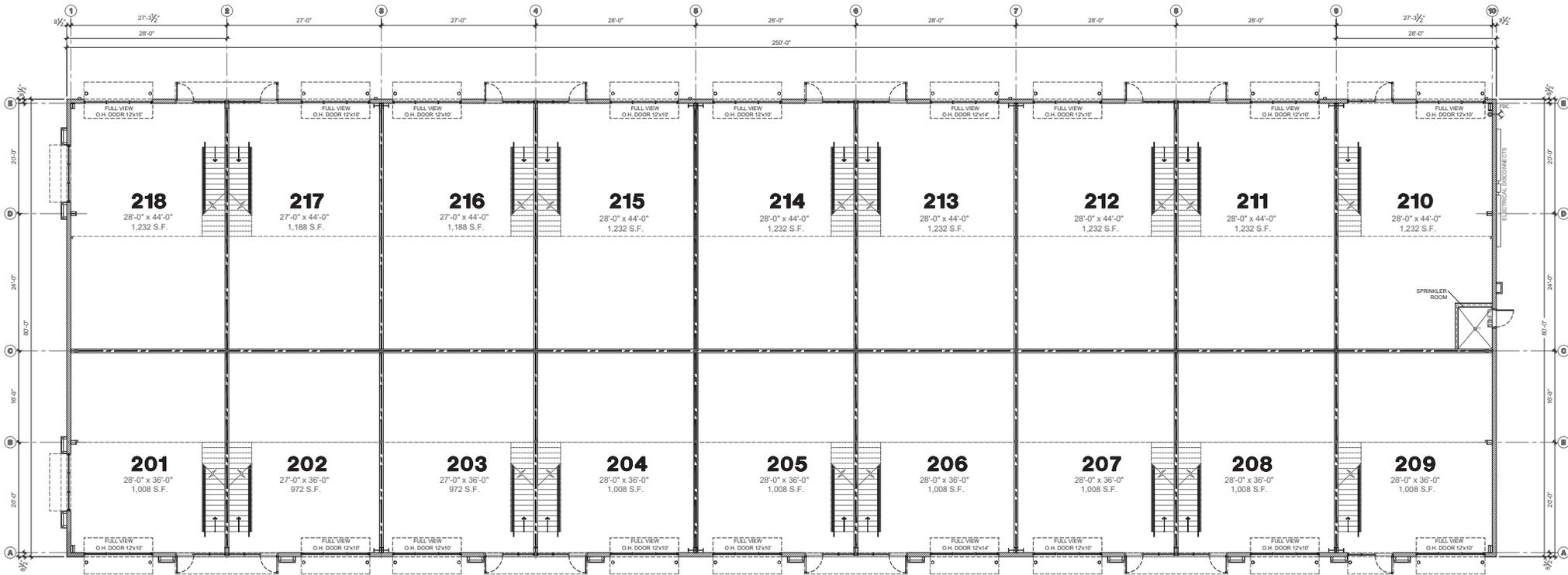
NOTE: FINAL COLOR SELECTION BY OWNER.

LEGEND		
	A. DOOR TYPE	
	W. WINDOW TYPE	
	K. KEY NOTTE	



<p><b>ATRICON</b> atricon@gmail.com P.O. BOX 70956 SAN ANTONIO, TX 78270 (214) 242-0050</p>	<p>SHEET TITLE:</p> <p>FLEX BUILDING "1" EAST &amp; SOUTH EXTERIOR ELEVATIONS</p>	<p>URBAN GARAGES WYLIE</p> <p>FLEX BUILDING "1" CENTENNIAL DR &amp; N STATE HWY 78 WYLIE, TEXAS 75098</p>	<p>305 ATRICON BDO</p> <p>ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE ORIGINAL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS, ARE COPYRIGHTED WORKS AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.</p>	<p>REVISIONS:</p> <table border="1"> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>09/05/25</td> <td>INITIAL CITY SUBMITTAL DATE:</td> </tr> </table>	REV. NO.	DATE	DESCRIPTION	1	09/05/25	INITIAL CITY SUBMITTAL DATE:	<p>JOB NO: 305-100-41</p> <p>INITIAL CITY SUBMITTAL DATE:</p> <p>DESIGN BY: L.S. DRAWN BY: K.S.</p> <p>SHEET NUMBER: <b>A-4</b></p>
				REV. NO.	DATE	DESCRIPTION					
1	09/05/25	INITIAL CITY SUBMITTAL DATE:									
<p>© 2025 ATRICON BDO</p>											

LEGEND		GENERAL NOTES	
	QUICK-BRICK EXTERIOR WALL. INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUICK-BRICK COLOR / ACCENT BAND LOCATIONS.	1.	DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.
	1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)	2.	INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IBC SECTION 803.
	INTERIOR WALL	3.	ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.
	DOOR TYPE	4.	ALL WALL ASSEMBLIES SHALL CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.
	DOWNSPOUT	5.	GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, OBSTRUCTIONS AND DIMENSIONS. PRIOR TO CONSTRUCTION, NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.
	WINDOW TYPE	6.	VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.
	CONTROL JOINT		
	WALL TYPE		

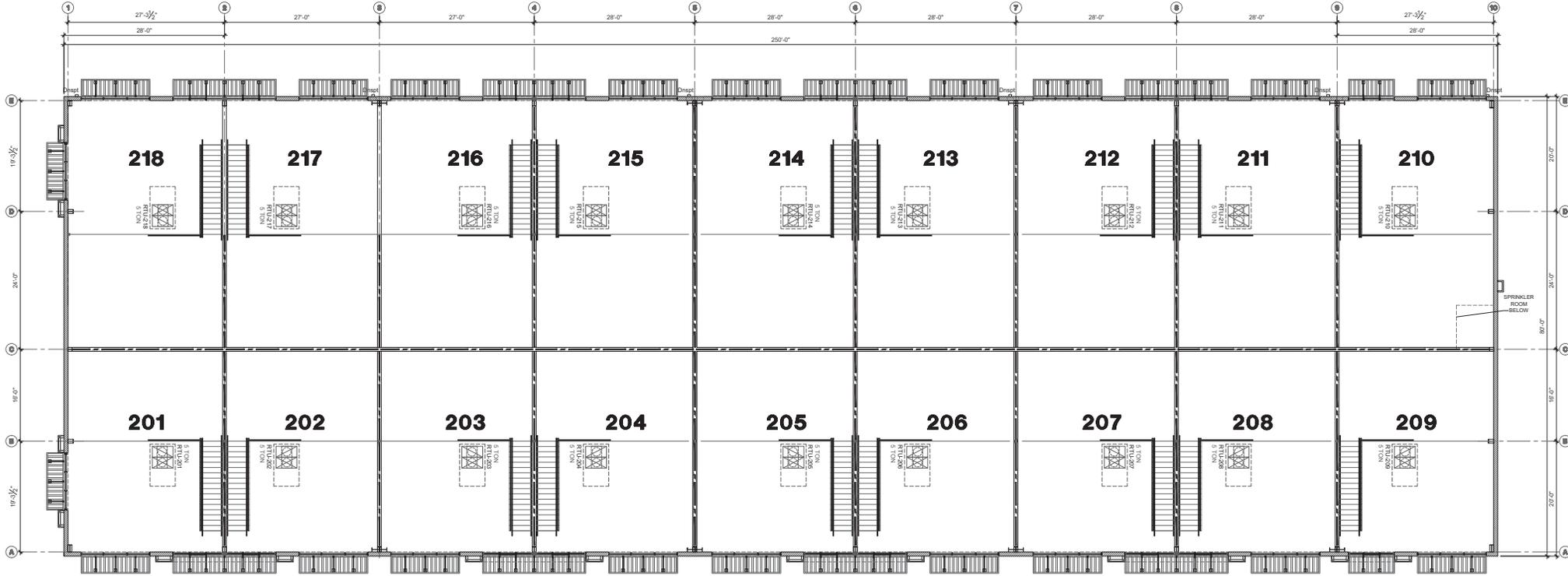


URBAN GARAGES WYLIE FLEX BUILDING "2"					
250 FT x 85 FT					
SUITE TAG	LIMIT SIZE		SUITE AREA		W/MEZZANINE
	WIDTH FT	LENGTH FT	Sq. Ft.	LENGTH FT	
201	28	36	1,008	16	448
202	27	36	972	16	432
203	27	36	972	16	432
204	28	36	1,008	16	448
205	28	36	1,008	16	448
206	28	36	1,008	16	448
207	28	36	1,008	16	448
208	28	36	1,008	16	448
209	28	36	1,008	16	448
210	28	44	1,232	20	560
211	28	44	1,232	20	560
212	28	44	1,232	20	560
213	28	44	1,232	20	560
214	28	44	1,232	20	560
215	28	44	1,232	20	560
216	27	44	1,188	20	560
217	27	44	1,188	20	560
218	28	44	1,232	20	560
			<b>20,000</b>		<b>8,900</b>

PLAN NORTH 1 ARCHITECTURAL FLOOR PLAN SCALE: 1/8" = 1'-0"

 <b>ATRIICON</b> atricon@gmail.com P.O. BOX 703696 SAN ANTONIO, TX 78270 (214) 242-0050	SHEET TITLE: FLEX BUILDING "2" FLOOR PLAN	URBAN GARAGES WYLIE FLEX BUILDING "2" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRICON 850 ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE ORIGINAL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS ARE CONSIDERED WORKING AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT AS OTHERWISE PROVIDED IN THESE DOCUMENTS, THIS DRAWING IS NOT SUBJECT TO COPYRIGHT. THE INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE FURNISHED SOLELY TO COMPLETE THE PROJECT. FURNISH THE CONTRACTOR, AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	REVISIONS: PRELIM. PD. SUBMITTAL 02/05/25	JOB NO: 2025-100-42 INITIAL CITY SUBMITTAL DATE: DRAWN BY: L.S. CHECKED BY: K.S. SHEET NUMBER <b>A-1</b>
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LEGEND		GENERAL NOTES	
	QUIK-BRIK EXTERIOR WALL. INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUIK-BRIK COLOR / ACCENT BAND LOCATIONS.	1.	DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.
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	WALL TYPE		



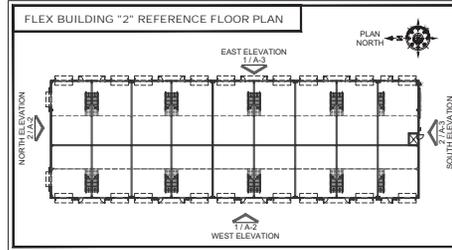
PLAN NORTH ARCHITECTURAL UPPER WINDOWS FLOOR PLAN  
SCALE: 1/8" = 1'-0"

 <b>ATRICON</b> atricon@gmail.com P.O. BOX 703896 SAN ANTONIO, TX 78270 (214) 214-0958	SHEET TITLE: FLEX BUILDING "2" UPPER WINDOWS FLOOR PLAN	URBAN GARAGES WYLIE FLEX BUILDING "2" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRICON 500 ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS AND COPYRIGHTED WORKS AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR COMMONPLACE FEATURES OF THE DESIGN INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT. FIELD THE CONTRACTOR, AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	REVISIONS: PRELIM. PD. SUBMITTAL 09/05/25	JOB NO: 302-100-42 INITIAL CITY SUBMITTAL DATE:
				DRAWN BY: LS CHECKED BY: KS	SHEET NUMBER <b>A-2</b>

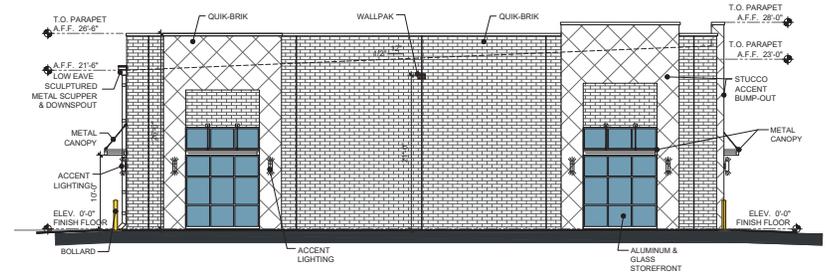
ELEVATIONS LEGEND	
	1. EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK. COLOR: TBD
	3. STOREFRONT / WINDOW. ALUMINUM FRAME W/ TINT LOW-E GLAZING. FRAME COLOR:
	5. OVERHEAD DOOR. REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS. COLOR: BLACK
	7. GUTTERS & DOWNSPOUTS. METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS LOCATIONS BASED ON FINAL ROOF DESIGN.
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	13. ROOF ACCESS FIXED LADDER. WITH CAGE & WALK-THRU. INSTALL PER MANUF. SPECS. PRECISION LADDERS. MOD. FL-09
	15. METAL BALCONY. PRE-FINISHED METAL BALCONY WITH 4" GUARDRAIL

NOTE: FINAL COLOR SELECTION BY OWNER.

LEGEND		
	DOOR TYPE	
	WINDOW TYPE	



- GENERAL NOTES:**
- HEIGHT OF WALL, ROOF, AND PARAPET SHOWN ON ELEV. ARE APPROX. TAKEN FROM THE BUILDING FINISH FLOOR EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
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2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



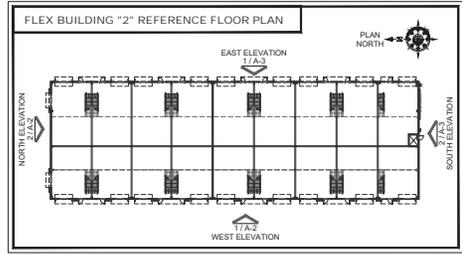
1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

 <b>ATRIECON</b> atriecon@gmail.com P.O. BOX 700956 SAN ANTONIO, TX 78270 (214) 214-0956	SHEET TITLE: <b>FLEX BUILDING "2" WEST &amp; NORTH EXTERIOR ELEVATIONS</b>	<b>URBAN GARAGES WYLIE</b> FLEX BUILDING "2" CENTENNIAL DR & N STATE HWY 78 WYLIE, TEXAS 75098	© 2025 ATRIECON B20 ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS AND CONCEPTS, WORKING AND MAY NOT BE REPRODUCED, IN WHOLE OR IN PART, FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR COMMONPLACE FEATURES OF THE DESIGN ARE NOT SUBJECT TO COPYRIGHT. ALL INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT. FAILURE TO COMPLY WITH THESE TERMS SHALL PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.	<b>REVISIONS:</b> PRELIM. PD. SUBMITTAL: 09/25/25	JOB NO: 3025-100-42 INITIAL CITY SUBMITTAL DATE: DRAWN BY: L.S. DESIGNED BY: K.S. SHEET NUMBER: <b>A-3</b>
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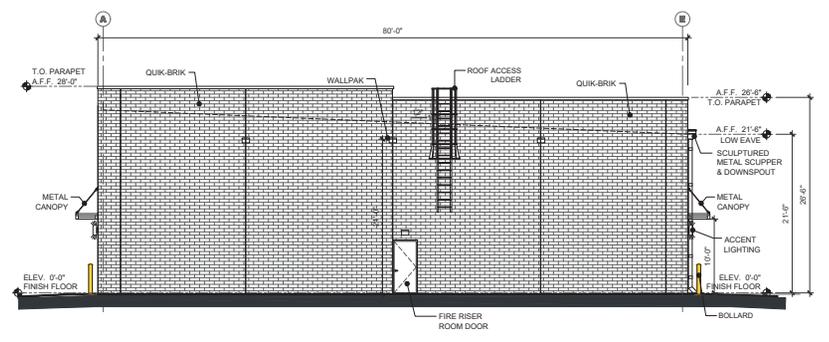
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	3. STOREFRONT / WINDOW. ALUMINUM FRAME W/ TINT LOW-E GLAZING. FRAME COLOR.
	4. OVERHEAD DOOR. REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS. COLOR: BLACK
	5. GUTTERS & DOWNSPOUTS. METAL GUTTER & DOWNSPOUTS PAINTED TO MATCH BUILDING COLORS LOCATIONS BASED ON FINAL ROOF DESIGN.
	6. METAL AWNING / CANOPY. 30" DEPTH. LENGTH VARIES. SEE FLOOR PLAN. REFER TO STRUCTURAL.
	7. BOLLARDS. 6" DIA. STEEL PIPE CONCRETE FILLED BOLLARD. 4'-0" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.
	8. METAL COPING. PRE-FINISHED METAL COPING. COLOR: BLACK.
	9. METAL DOORS & FRAMES. COLOR: BLACK. DOORS PER SCHEDULE. REFER TO SHEET.
	10. WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE.
	11. QUIK-BRIK CONTROL JOINT. CONTROL JOINT PER STRUCTURAL AND QUIK-BRIK INSTALLATION SPECIFICATIONS.
	12. SUITE LOGO LOCATION. BY OTHERS.
	13. ROOF SLOPE. TPO ROOF 1/2" / 12" SLOPE. FINAL DESIGN PER PEMB.
	14. ROOF ACCESS FIXED LADDER. WITH CAGE & WALK-THRU. INSTALL PER MANUF. SPECS. PRECISION LADDERS. MOD. FL-09.
	15. BALCONY. PRE-FAB METAL BALCONY WITH 42" GUARDRAIL.

NOTE: FINAL COLOR SELECTION BY OWNER.

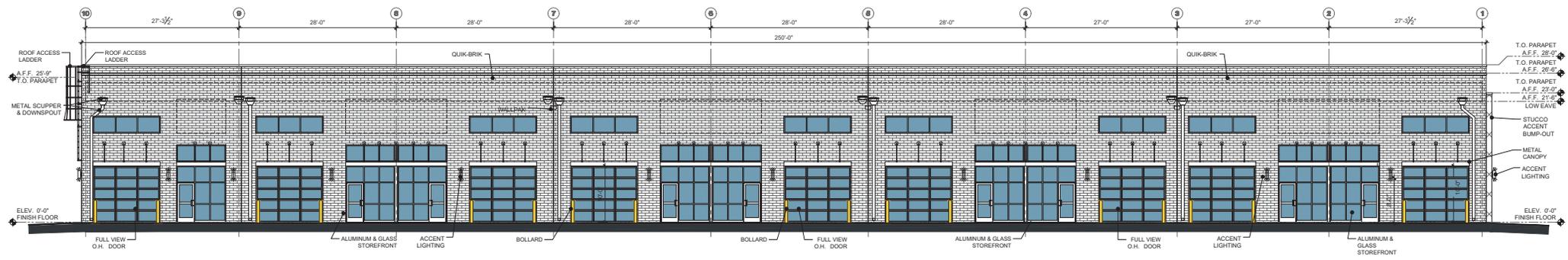
LEGEND		
	A. DOOR TYPE	
	K. KEY NOTTE	



- GENERAL NOTES:**
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  - GENERAL CONTRACTOR SHALL PROVIDE SAMPLE OF PROPOSED COLORS PRIOR TO APPLICATION.
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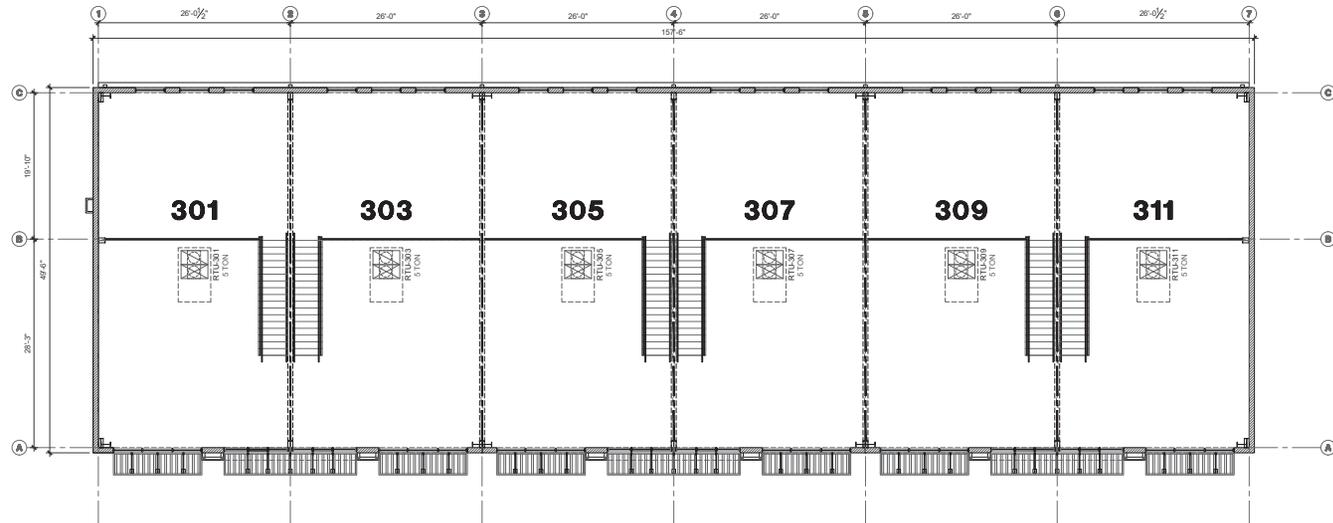


**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

<p><b>ATRICON</b> atricon@gmail.com P.O. BOX 70369 SAN ANTONIO, TX 78270 (214) 242-0050</p>	<p>SHEET TITLE:</p> <p><b>FLEX BUILDING "2" EAST &amp; SOUTH EXTERIOR ELEVATIONS</b></p>	<p><b>URBAN GARAGES WYLIE</b></p> <p><b>FLEX BUILDING "2"</b></p> <p>CENTENNIAL DR &amp; N STATE HWY 78 WYLIE, TEXAS 75098</p>	<p>© 2025 ATRICON BDO</p> <p>ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS ARE CONSIDERED WORKING AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR COMMONPLACE FEATURES OF THE DESIGN INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.</p>	<p><b>REVISIONS:</b></p> <table border="1"> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>09/05/25</td> <td>INITIAL CITY SUBMITTAL DATE:</td> </tr> </table>	REV. NO.	DATE	DESCRIPTION	1	09/05/25	INITIAL CITY SUBMITTAL DATE:	<p><b>JOB NO:</b> 302-10-42</p> <p>INITIAL CITY SUBMITTAL DATE:</p> <p><b>DRWN BY:</b> L.S. <b>DESIGN BY:</b> K.S.</p> <p><b>SHEET NUMBER</b></p> <p><b>A-4</b></p>
				REV. NO.	DATE	DESCRIPTION					
1	09/05/25	INITIAL CITY SUBMITTAL DATE:									
<p>© 2025 ATRICON BDO</p> <p>ALL DESIGN ELEMENTS SHOWN HEREIN, INCLUDING THE OVERALL FORM, ARRANGEMENT AND COMPOSITION OF SPACES AND ELEMENTS ARE CONSIDERED WORKING AND MAY NOT BE REPRODUCED IN WHOLE OR IN PART FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF THE COPYRIGHT OWNER. EXCEPT FOR COMMONPLACE FEATURES OF THE DESIGN INFORMATION CONTAINED IN THESE DOCUMENTS SHALL BE USED SOLELY TO COMPLETE THE PROJECT AND PROVIDE THE OWNER WITH THE NECESSARY RECORD DOCUMENTATION.</p>			<p><b>REVISIONS:</b></p> <table border="1"> <tr> <th>REV. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>09/05/25</td> <td>INITIAL CITY SUBMITTAL DATE:</td> </tr> </table>	REV. NO.	DATE	DESCRIPTION	1	09/05/25	INITIAL CITY SUBMITTAL DATE:	<p><b>JOB NO:</b> 302-10-42</p> <p>INITIAL CITY SUBMITTAL DATE:</p> <p><b>DRWN BY:</b> L.S. <b>DESIGN BY:</b> K.S.</p> <p><b>SHEET NUMBER</b></p> <p><b>A-4</b></p>	
REV. NO.	DATE	DESCRIPTION									
1	09/05/25	INITIAL CITY SUBMITTAL DATE:									



**LEGEND**

QUICK-BRICK EXTERIOR WALL, INSULATED WITH CORE-FILL 500. SEE EXTERIOR ELEVATIONS FOR QUICK-BRICK COLOR, ACCENT BAND LOCATIONS.

1-HR DEMISING FIRE WALL PER FINAL TENANT LAYOUT (FUTURE)

INTERIOR WALL

DOOR TYPE      D.S.D. DOWNSPOUT

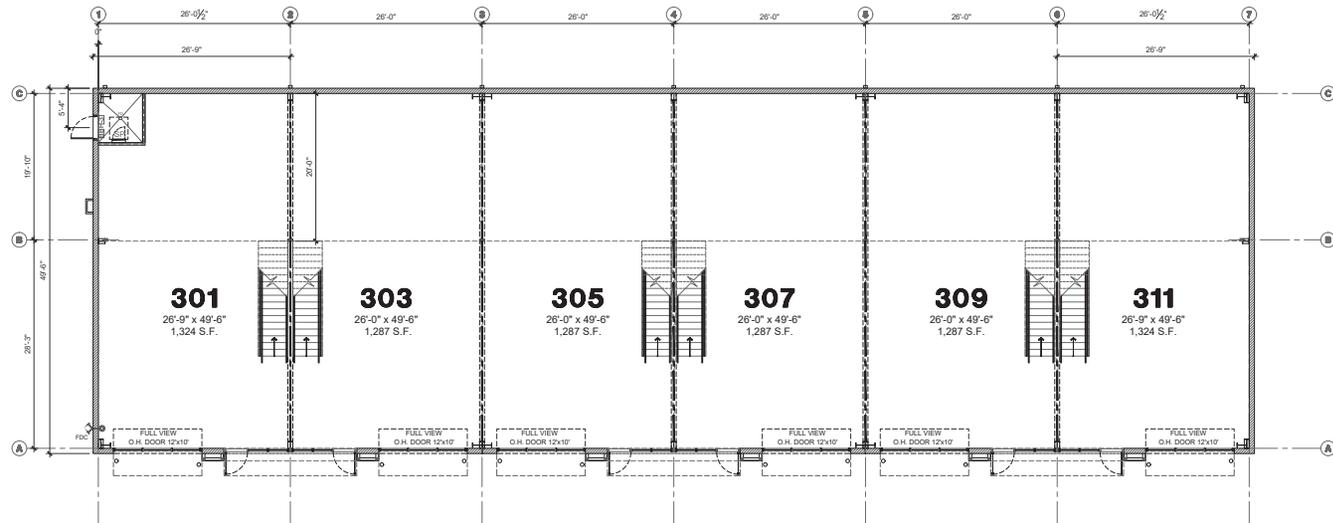
WINDOW TYPE      C.I. CONTROL JOINT

WALL TYPE

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- DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF MASONRY, CONCRETE, OR METAL STUDS TO FACE OF MASONRY, CONCRETE, OR METAL STUDS.
  - INTERIOR FINISHES TO MEET FLAME SPREAD AND SMOKE DEVELOPMENT REQUIRED BY IRC SECTION B03.
  - ALL WALLS AND PERMANENT PARTITIONS SHALL BE NON-COMBUSTIBLE MATERIALS.
  - ALL WALL ASSEMBLIES SHALL BE CONFIGURED TO COMPLY WITH THE LATEST IECC INSULATION VALUE REQUIREMENTS.
  - GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS, OBSTRUCTIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY DISCREPANCIES IMMEDIATELY TO OWNER.
  - VERIFY GRADES AT BUILDING LINE WITH CIVIL ENGINEERING DRAWINGS.

**URBAN GARAGES WYLIE FLEX BUILDING "3"**  
157.5 FT x 49.5 FT

SUITE	UNIT SIZE	SUITE AREA	W/MIZZANINE
TAG	WIDTH FT	LENGTH FT	Sq. Ft.
301	26.75	49.5	1,324.1
303	26	49.5	1,287
305	26	49.5	1,287
307	26	49.5	1,287
309	26	49.5	1,287
311	26.75	49.5	1,324.1
		<b>7,796.25</b>	<b>8,150</b>



URBAN GARAGES  
WYLIE  
FLEX BUILDING "3"  
CENTENNIAL DR. & N STATE HWY 78  
WYLIE, TEXAS 75098

SHEET TITLE  
FLEX BUILDING "3"  
FLOOR PLAN & UPPER WINDOWS FLOOR PLAN

**ATRIECON**  
atriecon@gmail.com  
P.O. BOX 70855  
SAN ANTONIO, TX 78270  
PH. 210-420-0635

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REVISIONS:

PRELIM. SUBMITTAL 09/05/25

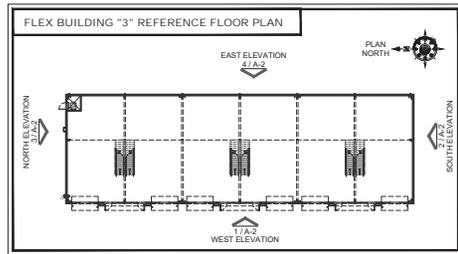
JOB NO: 2025-106-73

INITIAL CITY SUBMITTAL DATE:

DRAWN BY: LB. DESIGNED BY: K.S.

SHEET NUMBER

A-1



**ELEVATIONS LEGEND**

1	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK® COLOR: Limestone	2	EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRIK® COLOR: GRAY
3	STOREFRONT / WINDOW: ALUMINUM FRAME W/ TINT LOW-E GLAZING FRAME COLOR:	4	HM DOORS & FRAMES: COLOR: BLACK DOORS PER SCHEDULE REFER TO SHEET A-4
5	OVERHEAD DOORS: REFER TO DOORS SCHEDULE FOR SIZE AND SPECIFICATIONS COLOR: BLACK	6	WALL MOUNTED LED LIGHT FIXTURE PER LIGHTING PLANS & SCHEDULE
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10	METAL AWNING / CANOPY 36" DEPTH, LENGTH VARIES, SEE FLOOR PLAN. REFER TO STRUCTURAL.	9	SUITE LOGO LOCATION -BY OTHERS
12	BOLLARDS 6" DIA. 3" STEEL PIPE CONCRETE FILLED BOLLARD 4'-2" HT. PROVIDE COVER. COLOR: SAFETY YELLOW.	11	ROOF SLOPE: TYP. ROOF 1/2" / 12" SLOPE FINAL DESIGN PER PEMB
14	METAL COPING: PRE-FINISHED METAL COPING. COLOR: BLACK	13	ROOF ACCESS FIXED LADDER: WITH CAGE & WALK-THRU INSTALL PER MANUF. SPECS PRECISION LADDERS MOD. FL-09
15	BALCONY: PRE-FAB METAL BALCONY WITH 42" GUARDRAIL		

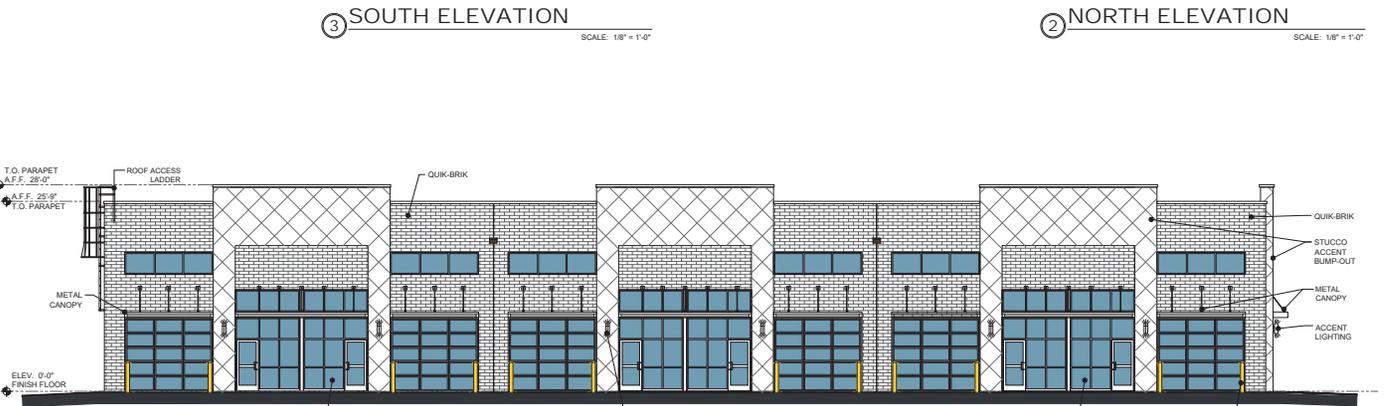
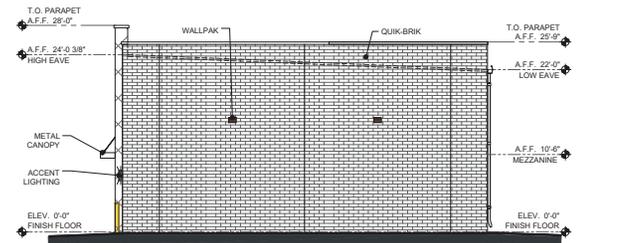
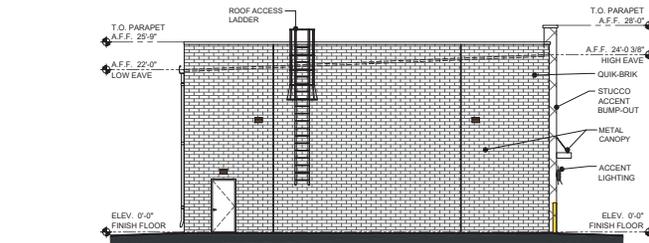
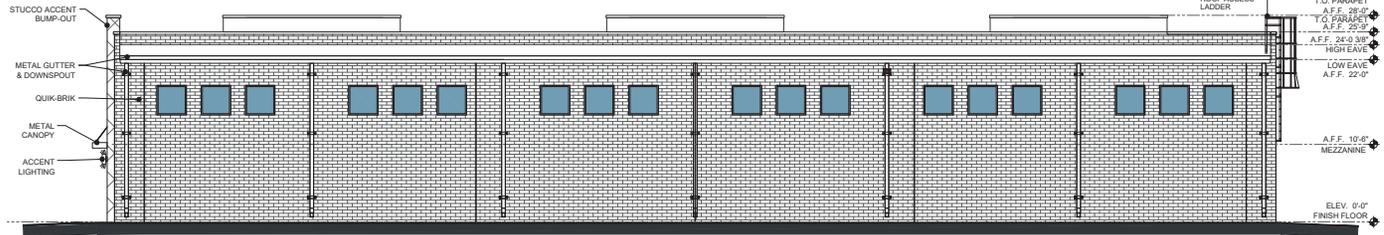
NOTE: FINAL COLOR SELECTION BY OWNER.

**LEGEND**

○ DOOR TYPE    ◻ WINDOW TYPE    □ KEY NOTE

**GENERAL NOTES:**

- HEIGHT OF WALL, ROOF, AND PARAPET SHOWN ON ELEV. ARE APPROX. TAKEN FROM THE BUILDING FINISH FLOOR EXACT DIM. TO BE DETERMINED PER MANUFACTURER'S REQ. AND STANDARD DETAILS FOR METAL ROOFING SYSTEM.
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URBAN GARAGES  
WYLIE  
FLEX BUILDING "3"  
CENTENNIAL DR. & N STATE HWY 78  
WYLIE, TEXAS 75098

SHEET TITLE:  
FLEX BUILDING "3" EXTERIOR ELEVATIONS

**ATRIECON**  
atriecon@gmail.com  
P.O. BOX 708856  
SAN ANTONIO, TX 78270  
PH. 210-420-0635

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REVISIONS:

PRELIM PD SUBMITTAL 09/05/25

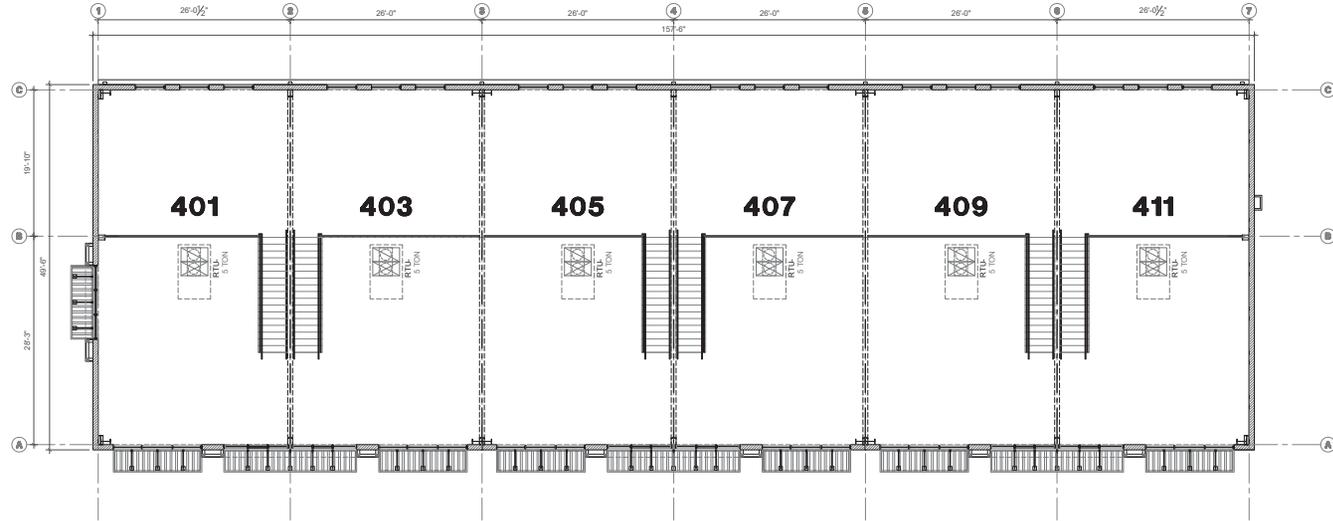
JOB NO: 3029-106-73

INITIAL CITY SUBMITTAL DATE:

DRAWN BY: LB. DESIGNED BY: K.S.

SHEET NUMBER

A-2



**LEGEND**

QUICK BRK EXTERIOR WALL.  
INSULATED WITH CORE-FILL 500.  
SEE EXTERIOR ELEVATIONS FOR QUICK-BRK  
COLOR / ACCENT BAND LOCATIONS.

1-HR DEMISING FIRE WALL PER FINAL  
TENANT LAYOUT (FUTURE)

INTERIOR WALL

DOOR TYPE    D.S.    D    DOWNSPOUT

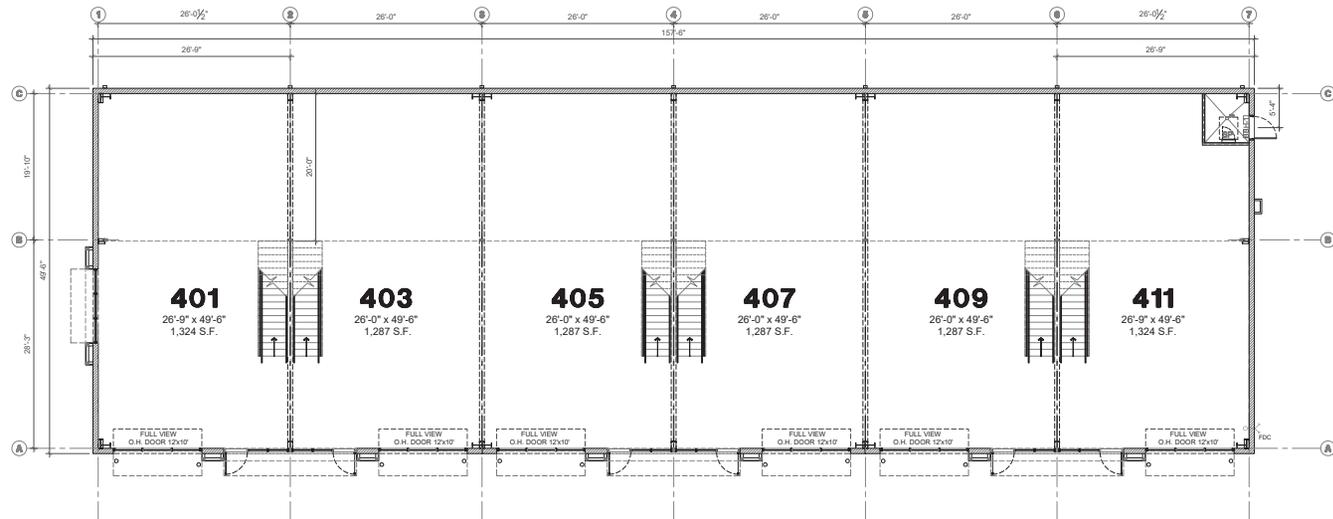
WINDOW TYPE    C.I.    CONTROL JOINT

WALL TYPE

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**URBAN GARAGES WYLIE  
FLEX BUILDING "4"**

SUITE TAG	UNIT SIZE		SUITE AREA		W/MEZZANINE	
	WIDTH FT	LENGTH FT	Sq. Ft.	LENGTH FT	Sq. Ft.	
401	26.75	49.5	1,324.1	20	535	
403	26	49.5	1,287	20	520	
405	26	49.5	1,287	20	520	
407	26	49.5	1,287	20	520	
409	26	49.5	1,287	20	520	
411	26.75	49.5	1,324.1	20	535	
			7,796.25		3,150	



**URBAN GARAGES  
WYLIE  
FLEX BUILDING "4"**  
CENTENNIAL DR. & N STATE HWY 78  
WYLIE, TEXAS 75088

**SHEET TITLE**  
FLEX BUILDING "4"  
FLOOR PLAN & UPPER WINDOWS FLOOR PLAN

**ATRICON**  
atricon@gmail.com  
P.O. BOX 70855  
SAN ANTONIO, TX 78270  
PH. 210-420-0535

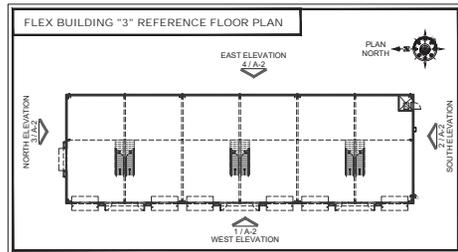
**REVISIONS:**

PRELIM PD SUBMITTAL 09/05/25

**JOB NO:** 2025-105-14  
**INITIAL CITY SUBMITTAL DATE:**

**DESIGNER:** [Signature]  
**DRAWN BY:** [Signature]    **CHECKED BY:** [Signature]

**SHEET NUMBER**  
**A-1**



**ELEVATIONS LEGEND**

1 EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRICK COLOR: LIMESTONE	2 EXTERIOR INSULATED WALL "OLDCASTLE" QUIK-BRICK COLOR: GRAY
3 STOREFRONT / WINDOW: ALUMINUM FRAME W/ TINT LOW-E GLAZING FRAME COLOR:	4 HM DOORS & FRAMES: COLOR: BLACK DOORS PER SCHEDULE REFER TO SHEET A-4
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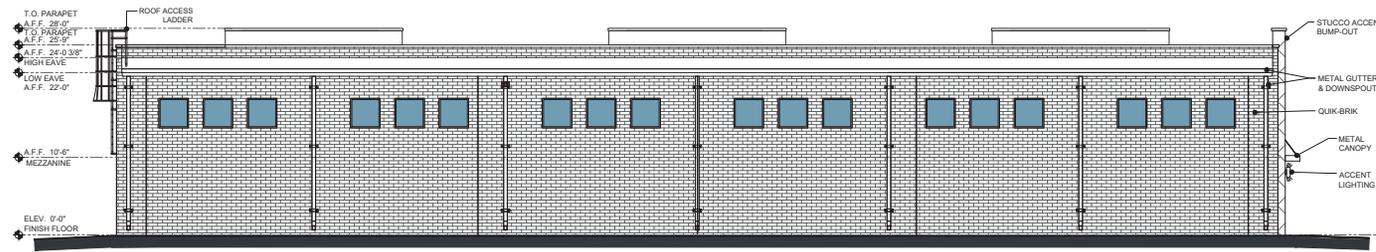
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**LEGEND**

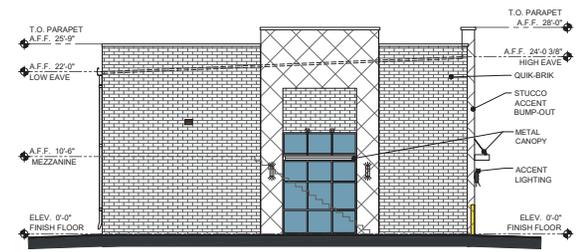
○ DOOR TYPE    ◻ WINDOW TYPE    □ KEY NOTE

**GENERAL NOTES:**

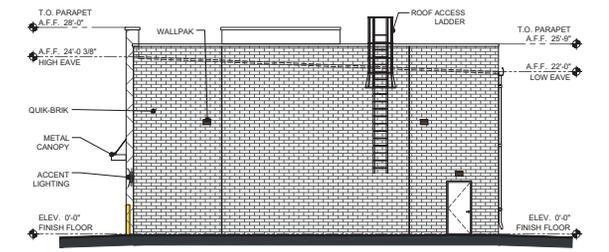
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4 EAST ELEVATION SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION SCALE: 1/8" = 1'-0"



1 WEST ELEVATION SCALE: 1/8" = 1'-0"

URBAN GARAGES  
WYLIE  
FLEX BUILDING "4"  
CENTENNIAL DR. & N STATE HWY 78  
WYLIE, TEXAS 75098

SHEET TITLE  
FLEX BUILDING "4"  
EXTERIOR ELEVATIONS

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**REVISIONS:**

PRELIM PD SUBMITTAL	09/05/25
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JOB NO: 3025-10-14  
INITIAL CITY SUBMITTAL DATE:  
DRAWN BY: L.A.    CHECKED BY: K.S.

SHEET NUMBER  
A-2





# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning Item Number: 2  
 Prepared By: Kevin Molina

### Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Planned Development 2022-51 (PD 2022-51) to Commercial Corridor (CC) on 2.02 acres to allow for compatible retail uses. Property located at 703 N Highway 78 (**ZC 2026-01**).

### Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

### Discussion

**OWNER: FWIRE LLC**

**APPLICANT: FWIRE LLC**

The applicant is requesting to rezone a Planned Development (PD 2022-51) to Commercial Corridor to allow for uses that are compatible with the existing surrounding retail uses. The property is on 2.02 acres generally located at 703 N Highway 78.

The property contains a 6,000 sf structure that was developed in 1994 which was recently renovated in 2023. The applicant is requesting to remove the previous Planned Development for an event center distillery use and have the base zoning of Commercial Corridor for the marketing of the existing structure.

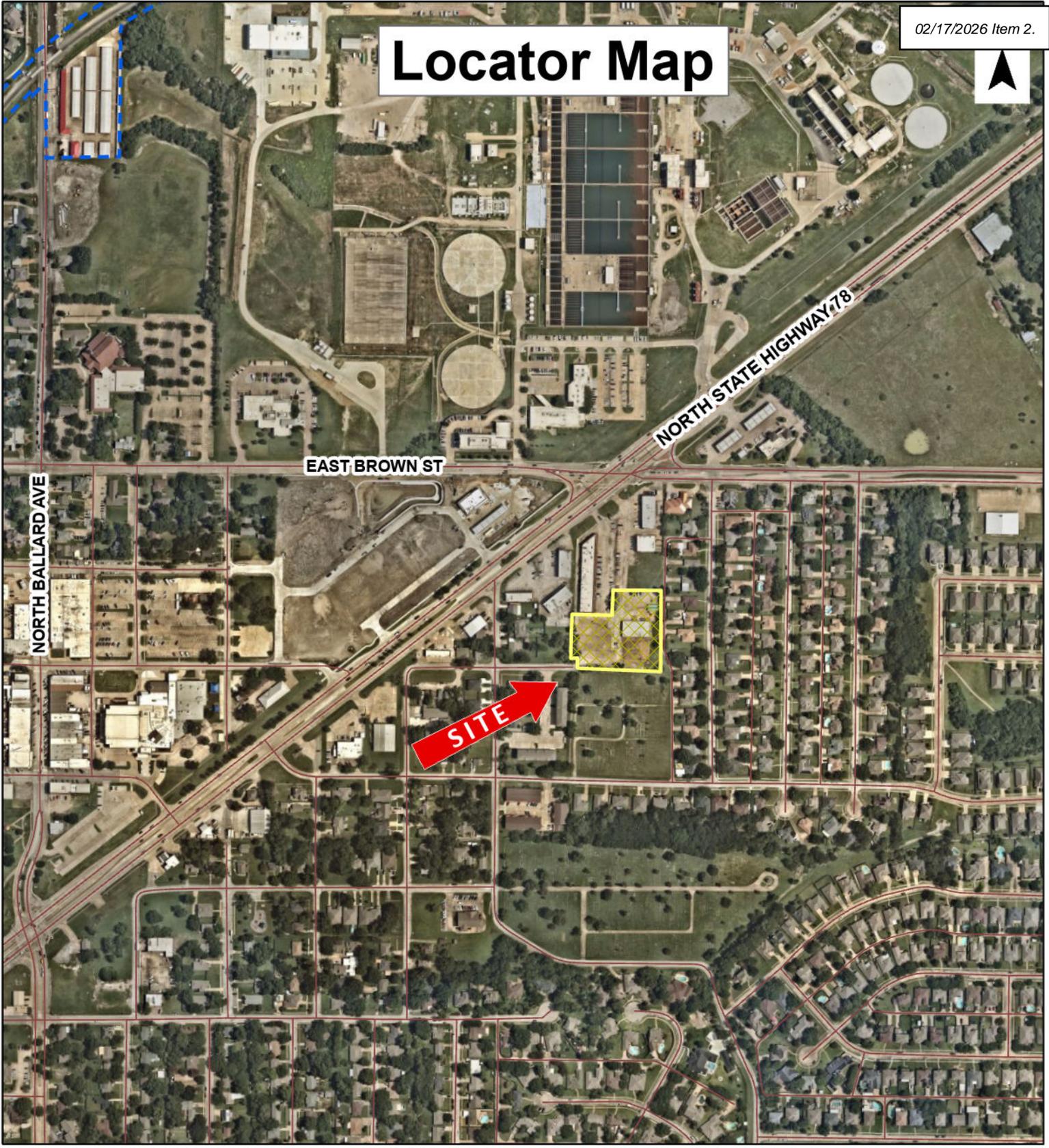
If approved, the property shall be required to be in compliance with all applicable city codes for any future redevelopment.

The adjacent property to the north is zoned Commercial Corridor and developed with restaurant and retail uses. The property to the east and west are zoned residential and developed with single family homes. The property to the south contains the Hughes Cemetery.

The subject property lies within the Regional Commercial sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

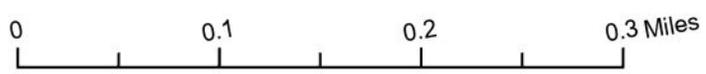
Notices were sent to 25 property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request

# Locator Map



ZONING CASE:  
ZC 2026-01 703 N STATE HWY 78

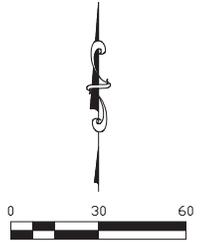
 SUBJECT property



Date: 11/20/2025  
COMPILED BY: G STAFFORD



CM	STORM DRAIN MANHOLE
○	TELEVISION CABLE MARKER
○	CLEANOUT
○	SANITARY SEWER MANHOLE
○	ELECTRIC METER
○	POWER POLE
○	GUT WIRE
○	TRAFFIC SIGNAL BOX
○	FH FIRE HYDRANT
○	WATER VALVE
○	WATER METER
○	GAS METER
---	ASPHALT
---	OVERHEAD ELECTRIC LINE
---	CHAINLINK FENCE
---	PIPE FENCE
---	WOOD FENCE
---	IRON FENCE
---	FIRE LANE
---	COVERED PORCH, OVERHANG
---	BRICK
---	CONCRETE
---	BUILDING
---	NO PARKING



Lot 2A, Block 2, of REPLAT OF LOT 2 & LOT 3 IN BLOCK 2 OF A REPLAT OF OAKS RETAIL, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Cabinet G, Page 285, Plat Records, Collin County, Texas.

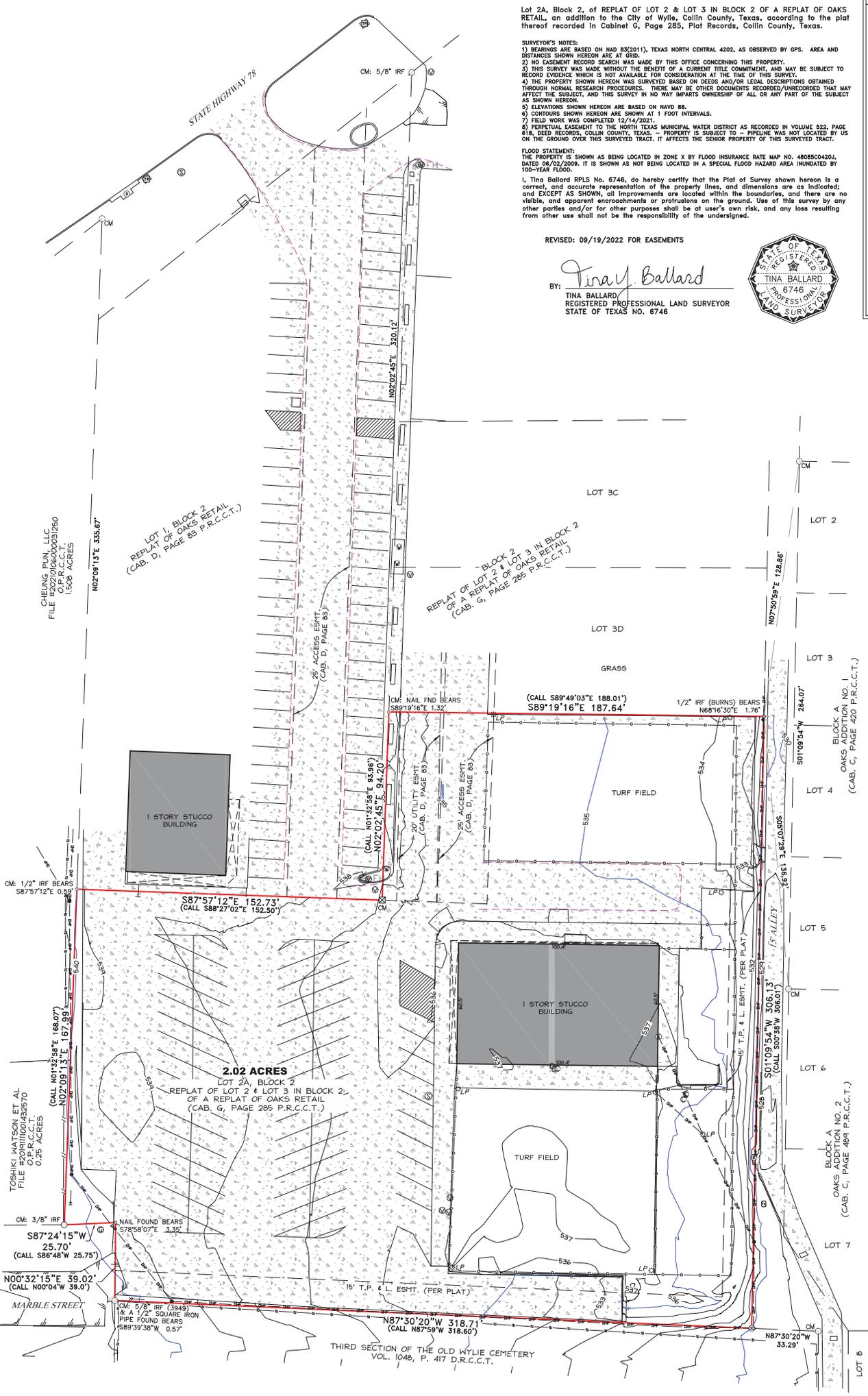
- SURVEYOR'S NOTES:**
- 1) BEARINGS ARE BASED ON NAD 83(2011), TEXAS NORTH CENTRAL 4202, AS OBSERVED BY GPS. AREA AND DISTANCES SHOWN HEREON ARE AT GRID.
  - 2) NO EASEMENT RECORD SEARCH WAS MADE BY THIS OFFICE CONCERNING THIS PROPERTY.
  - 3) THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, AND MAY BE SUBJECT TO RECORD EVIDENCE WHICH IS NOT AVAILABLE FOR CONSIDERATION AT THE TIME OF THIS SURVEY.
  - 4) THE PROPERTY SHOWN HEREON WAS SURVEYED BASED ON DEEDS AND/OR LEGAL DESCRIPTIONS OBTAINED THROUGH NORMAL RESEARCH PROCEDURES. THERE MAY BE OTHER DOCUMENTS RECORDED/UNRECORDED THAT MAY AFFECT THE SUBJECT, AND THIS SURVEY IN NO WAY IMPARTS OWNERSHIP OF ALL OR ANY PART OF THE SUBJECT AS SHOWN HEREON.
  - 5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88.
  - 6) CONTOURS SHOWN HEREON ARE SHOWN AT 1 FOOT INTERVALS.
  - 7) FIELD WORK WAS COMPLETED 12/14/2021.
  - 8) PERPETUAL EASEMENT TO THE NORTH TEXAS MUNICIPAL WATER DISTRICT AS RECORDED IN VOLUME 522, PAGE 618, DEED RECORDS, COLLIN COUNTY, TEXAS. - PROPERTY IS SUBJECT TO - PIPELINE WAS NOT LOCATED BY US ON THE GROUND OVER THIS SURVEYED TRACT, IT AFFECTS THE SENIOR PROPERTY OF THIS SURVEYED TRACT.

**FLOOD STATEMENT:**  
 THE PROPERTY IS SHOWN AS BEING LOCATED IN ZONE X BY FLOOD INSURANCE RATE MAP NO. 48085C04201, DATED 06/02/2009. IT IS SHOWN AS NOT BEING LOCATED IN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD.

I, Tina Ballard RPLS No. 6746, do hereby certify that the Plat of Survey shown hereon is a correct and accurate representation of the property lines, and dimensions are as indicated; and EXCEPT AS SHOWN, all improvements are located within the boundaries, and there are no visible, and apparent encroachments or protrusions on the ground. Use of this survey by any other parties and/or for other purposes shall be at user's own risk, and any loss resulting from other use shall not be the responsibility of the undersigned.

REVISED: 09/19/2022 FOR EASEMENTS

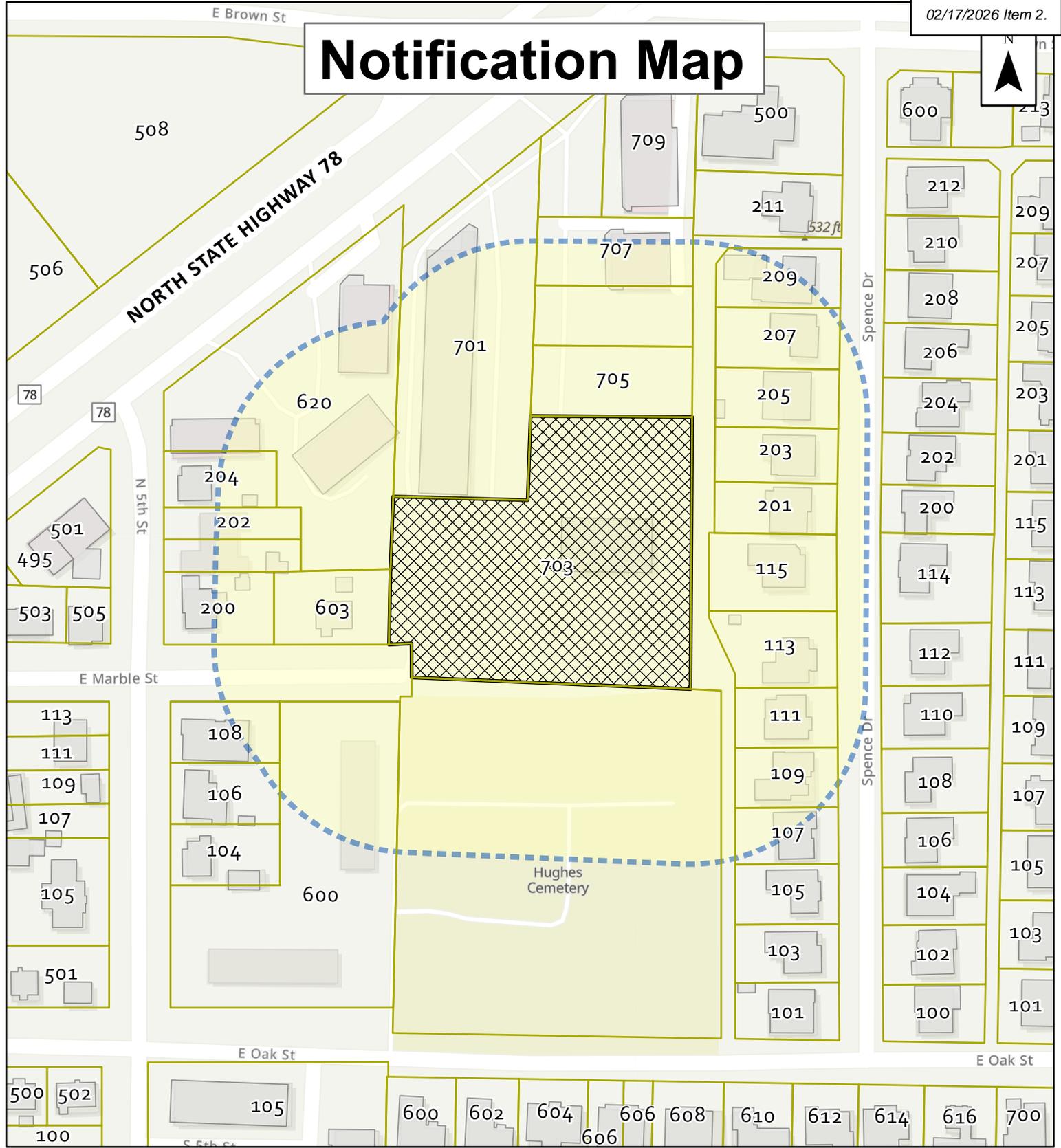
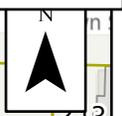
BY: *Tina Y. Ballard*  
 TINA BALLARD  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 STATE OF TEXAS NO. 6746



702 N. STATE HIGHWAY 78 WYLIE, TEXAS	
DATE:	12/18/2021
SCALE:	1" = 30'
JOB NO.:	2021-1995 & 2022-1469
CLIENT:	CP DESIGN SERVICES
TECHNICIAN:	TYB

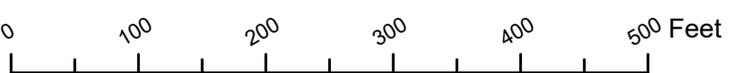
BY-LINE  
 SURVEYING LLC  
 P.O. BOX 834  
 Emory, TX 75140  
 Ph: (903) 751-1100  
 Firm No. 1111  
 www.byline.com

# Notification Map



ZONING CASE:  
**ZC 2026-01** 703 N STATE HWY 78

 SUBJECT property     200 foot Notification Buffer



Date: 11/20/2025  
 COMPILED BY: G STAFFORD

