

Wylie Planning and Zoning Commission Regular Meeting

July 21, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon the approval of the meeting minutes from the July 7, 2026, Planning and Zoning Commission Meeting.
- B. Consider, and act upon, a recommendation to the City Council regarding a Preliminary Plat of Compton Addition creating two residential lots on 3.189 acres, generally located at 1201 E Stone Road and 720 S W.A. Allen Boulevard.
- C. Consider, and act upon, a recommendation to the City Council regarding a Preliminary Plat of Compton Addition establishing two residential lots on 3.189 acres, generally located at 1201 E Stone Road and 720 S W.A. Allen Boulevard.

REGULAR AGENDA

- 1. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 0.49 acres to allow for a drone delivery service from Wing. Property located at 707 Cooper Drive (ZC 2026-07).
- 2. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP) on 2.0 acres to allow for a warehouse distribution use. Property located at 31 Steel Road (ZC 2026-08).
- 3. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change of zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP), to allow for a major auto repair use with vehicle display and sales on 0.71 acres located at 1506 Martinez Lane. (ZC2026-09)

WORK SESSION

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on July 15, 2026, at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Gabby Fernandez

Subject

Consider and act upon the approval of the meeting minutes from the July 7, 2026, Planning and Zoning Commission meeting.

Recommendation

Motion to approve the item as presented.

Discussion

The minutes from the July 7, 2026, Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

July 07, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Joshua Butler(Former Chair) called the meeting to order at 6:00 PM. In attendance were Chair Joshua Butler, Vice-Chair Rod Gouge(Former Vice-Chair), Commissioner Michael Schwerin, Commissioner Zeb Black, and Commissioner Joe Chandler. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent were Commissioner Zewge Kagnew and Commissioner Daniel Marengo.

INVOCATION & PLEDGE OF ALLEGIANCE

Chair Butler gave the Invocation, and Vice-Chair Gouge led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

None approached the Commission.

ELECTION OF CHAIR AND VICE-CHAIR

Nominate and motion for Chair

BOARD ACTION

A motion was made by Vice-Chair Gouge and seconded by Commissioner Chandler to appoint former Vice-Chair Gouge to the position of Chair of the Planning and Zoning Commission.

Nominate and motion for Vice-Chair

BOARD ACTION

A motion was made by Chair Gouge and seconded by Commissioner Black to appoint Commissioner Chandler to the position of Vice-Chair of the Planning and Zoning Commission.

WORK SESSION

WS1. Hold a work session to discuss the Planning and Zoning Commission's rules, procedures, and responsibilities.

Director Haskins presented to the Commission and new Commission members regarding the rules, procedures, and responsibilities of the Commission.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon approval of the meeting minutes from the June 2, 2026, Planning and Zoning Commission Meeting.**
- B. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Worthy Addition, establishing one commercial lot on two acres. Property generally located at 31 Steel Road.**

BOARD ACTION

A motion was made by Commissioner Butler, seconded by Vice-Chair Chandler, to approve the Consent Agenda as presented. A vote was taken, and the motion passed 5 – 0.

ADJOURNMENT

A motion was made by Commissioner Butler and seconded by Vice-Chair Chandler to adjourn the meeting at 6:28 PM. A vote was taken and carried 5 – 0.

Rod Gouge, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon, a recommendation to the City Council regarding a Preliminary Plat of Compton Addition creating two residential lots on 3.189 acres, generally located at 1201 E Stone Road and 720 S W.A. Allen Boulevard.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Daniel Reed Compton

APPLICANT: Premier Surveying LLC

The applicant has submitted a Preliminary Plat for Compton Addition, creating two residential lots on 3.189 acres. The property is zoned within Planned Development 1993-29 and allows for the proposed residential uses.

The purpose of this request is to replat land that was recently acquired by the property owner through a Right-of-Way abandonment which was approved by the City Council in June of 2026.

The presented plat proposes for the creation of two buildable lots on Lot 1R, Block of Compton addition measuring 1.063 acres and Lot 2R, Block C of Compton Addition measuring 2.126 acres.

The final plat is also on the agenda as the Subdivision Regulations allow for Preliminary and Final plats to run concurrently when requested by the applicant and all relevant information has been provided. In this case, that information is minimal and complete as the plat is for residential lots in which one lot has already been developed.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

STATE OF TEXAS:

COLLIN COUNTY:

WHEREAS, DANIEL REED COMPTON and SHERRY COMPTON are the owners of a tract of land situated in the Francisco De La Pina Survey, Abstract No. 688, Collin County, Texas, being all that certain tract of land described in deed to Daniel Reed Compton and Sherry Compton, as recorded in Instrument No. 2025000164327, Official Public Records, Collin County, Texas, and all that certain tract of land described in Ordinance No. 2026-15 to D. Reed and Sherry Compton, as recorded in Instrument No. 202600056896, said Official Public Records (said tract being Lot 1, Block C, Mill Creek Estates, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Volume I, Page 625, Map Records, Collin County, Texas), and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod set with cap stamped "PREMIER SURVEYING" at the southwest corner of said Compton tract (202600056896) and said Lot 1, said iron rod being the intersection of the north line of E. Stone Road (variable width right-of-way) and the east line of W. A. Allen Boulevard (65 foot right-of-way);

Thence North 02° 44' 16" East, a distance of 43.07 feet along said east line to a 1/2-inch iron rod found at the beginning of a curve to the right having a radius of 467.50 feet;

Thence along said east line and said curve an arc distance of 217.19 feet, having a chord bearing and distance of North 16° 02' 48" East - 215.24 feet to a 1/2-inch iron rod found at the beginning of a curve to the left having a radius of 532.50 feet;

Thence along said east line and said curve an arc distance of 58.07 feet, having a chord bearing and distance of North 26° 13' 55" East - 58.04 feet to a 1/2-inch iron rod found at the north corner of aforesaid Compton tract (202600056896) and aforesaid Lot 1, the northwest corner of aforesaid Compton tract (2025000164327), and the most southwesterly corner of Stone Grove, Phase I, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Volume G, Page 173, aforesaid Map Records;

Thence South 86° 30' 28" East, passing a 1/2-inch iron rod set with cap stamped "PREMIER SURVEYING" at a distance of 101.99 feet, passing a 3/8-inch iron rod found at a distance of 293.75 feet and continuing along the common line of said Compton tract (2025000164327) and said Stone Grove, Phase I, passing the most northerly southwest corner of A Replat of Lots 1, 2, 3, 4 & 5 of Block A of Stone Grove Phase I, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Volume G, Page 598, said Map Records at a distance of 378.77 feet and continuing along the common line of said Compton tract (2025000164327) and said Replat a total distance of 412.29 feet to an "x" set in stone at the northeast corner of said Compton tract;

Thence South 05° 07' 44" West, passing a 3/8-inch iron rod found at a distance of 162.04 feet and continuing along said common line, passing the southwest corner of said Replat at a distance of 292.37 feet and continuing along the east line of said Compton tract (2025000164327) a total distance of 300.10 feet to a 1/2-inch iron rod set with cap stamped "PREMIER SURVEYING" at the southeast corner of said Compton tract (2025000164327), said iron rod being on the aforesaid north line of E. Stone Road;

Thence North 88° 50' 58" West, a distance of 253.88 feet along said north line to a 1/2-inch iron rod found;

Thence North 01° 46' 58" East, a distance of 10.36 feet to a 1/2-inch iron rod found;

Thence North 88° 13' 02" West, a distance of 24.26 feet along the aforesaid north line of E. Stone Road to a 1/2-inch iron rod found;

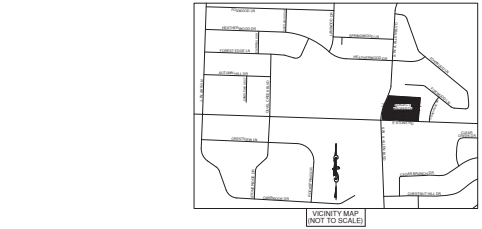
Thence North 88° 09' 12" West, passing a 1/2-inch iron rod set with cap stamped "PREMIER SURVEYING" at a distance of 19.91 feet and continuing a total distance of 121.91 feet along said north line to a 1/2-inch iron rod found at the southwest corner of aforesaid Compton tract (2025000164327) and the southeast corner of aforesaid Compton tract (202600056896) and aforesaid Lot 1;

Thence North 88° 28' 00" West, a distance of 72.33 feet along said north line to the POINT OF BEGINNING and containing 138,929 square feet or 3.189 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That **DANIEL REED COMPTON** and **SHERRY COMPTON** does hereby certify and adopt this plat designating the herein above described property as **COMPTON ADDITION**, an addition to the City of Wylie, Texas, and does hereby dedicate to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. That **DANIEL REED COMPTON** and **SHERRY COMPTON** does herein certify the following:

- The streets and alleys, if any, are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications are free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated, for the public use forever, for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements.
- Utility easements may be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's use thereof.
- The public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements.
- The public utilities shall at all times have the full right of ingress and egress to or from their respective easement for the purpose of construction, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.
- The owners of the lots adjacent to or upon which drainage easements are created by this plat or the homeowner's association will be responsible for the maintenance and or the reconstruction of the drainage improvements constructed in said easements for the purpose of assuring the flow of stormwater to the degree required by the design and original construction.
- Collin County will not be responsible for maintenance or repair of drainage improvements on private lots or adjacent thereto.
- Collin County shall have the full right of ingress and egress to or from a drainage easement if necessary to maintain or repair the effect the drainage system in that easement is having on the use and maintenance of a roadway and the drainage systems of the roadway.
- Roadways of the Subdivision are public roads and neither applicant nor any future owner has the right to obstruct the Roadways by a fence, gate, or otherwise.
- All modifications to this document shall be by means of plat and approved by Collin County.
- This plat is subject to the Subdivision Regulations of Collin County, Texas.



RECOMMENDED FOR APPROVAL	
Chairman, Planning & Zoning Commission	Date
City of Wylie, Texas	
APPROVED FOR CONSTRUCTION	
Mayor, City of Wylie	Date
ACCEPTED	
Mayor, City of Wylie	Date
The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the subdivision or addition to the City of Wylie was submitted to the City Council on the ____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.	
Witness my hand this ____ day of _____, A.D., 20____.	
City Secretary	
City of Wylie, Texas	

WITNESS, my hand, this ____ day of _____, 2026.

DANIEL REED COMPTON Printed Name

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ day of _____, 2026.

Notary Public, State of Texas

My commission expires: _____

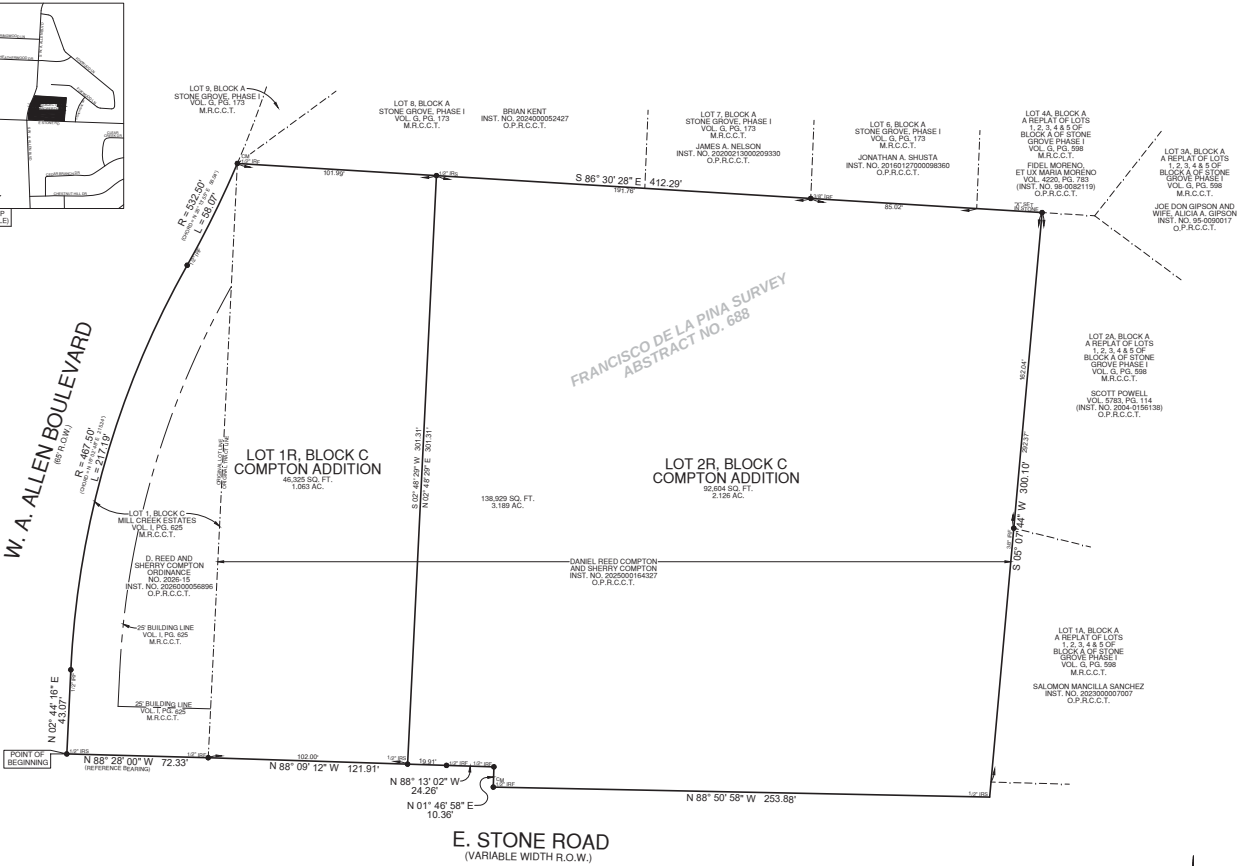
WITNESS, my hand, this ____ day of _____, 2026.

SHERRY COMPTON Printed Name

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ day of _____, 2026.

Notary Public, State of Texas

My commission expires: _____



SURVEYOR'S CERTIFICATE	
I, David Apple, Registered Professional Land Surveyor, State of Texas, hereby certify that the description and plat hereon are taken from actual measurements upon the ground and are true and correct to the best of my knowledge and belief this ____ day of _____, 2025, and the monuments shown thereon have been found or set by me and their location, size and material described are correctly shown.	
David Apple R.P.L.S. No. 5932	
SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ day of _____, 2026.	
Notary Public, State of Texas	
My commission expires: _____	

Notes:
The property owner is responsible for sufficient capacity of utilities.
IRP = iron rod found.
IRS = iron rod set with cap stamped "PREMIER SURVEYING".
M.R.C.C.T. = Map Records, Collin County, Texas.
O.P.R.C.C.T. = Official Public Records, Collin County, Texas.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

OWNERS:
DANIEL REED COMPTON
1201 E. STONE ROAD
WYLIE, TX 75098
(334) 663-3131
SHERRY COMPTON
1201 E. STONE ROAD
WYLIE, TX 75098
SURVEYOR:
Premier Surveying, LLC
David Apple, RPLS
5700 W. Plano Parkway
Suite 1200
Plano, TX 75093
(972) 612-3601

PRELIMINARY PLAT
COMPTON ADDITION
LOTS 1R & 2R, BLOCK C
BEING 3.189 ACRES OF LAND IN THE
MARK R. ROBERTS SURVEY, ABSTRACT NO. 742
CITY OF WYLIE, COLLIN COUNTY, TEXAS.
PREPARED: FEBRUARY 4, 2026



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: C

Subject

Consider, and act upon, a recommendation to the City Council regarding a Final Plat of Compton Addition establishing two residential lots on 3.189 acres, generally located at 1201 E Stone Road and 720 S W.A. Allen Boulevard.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Daniel Reed Compton

APPLICANT: Premier Surveying LLC

The applicant has submitted a Final Plat for Compton Addition, establishing two residential lots on 3.189 acres. The property is zoned within Planned Development 1993-29 and allows for the proposed residential uses by right.

The purpose of this request is to replat land that was recently acquired by the property owner through a Right-of-Way abandonment which was approved by the City Council in June of 2026.

The presented plat proposes for the creation of two buildable lots on Lot 1R, Block of Compton addition measuring 1.063 acres and Lot 2R, Block C of Compton Addition measuring 2.126 acres.

The preliminary plat is also on the agenda as the Subdivision Regulations allow for Preliminary and Final plats to run concurrently when requested by the applicant and all relevant information has been provided. In this case, that information is minimal and complete as the plat is for residential lots in which one lot has already been developed.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

STATE OF TEXAS:

COLLIN COUNTY:

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Thence North 02° 44' 16" East, a distance of 43.07 feet along said east line to a 1/2-inch iron rod found at the beginning of a curve to the right having a radius of 467.50 feet;

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Thence South 05° 07' 44" West, passing a 3/8-inch iron rod found at a distance of 162.04 feet and continuing along said common line, passing the southwest corner of said Replat at a distance of 292.37 feet and continuing along the east line of said Compton tract (2025000164327) a total distance of 300.10 feet to a 1/2-inch iron rod set with cap stamped "PREMIER SURVEYING" at the southeast corner of said Compton tract (2025000164327), said iron rod being on the aforesaid north line of E. Stone Road;

Thence North 88° 50' 58" West, a distance of 253.88 feet along said north line to a 1/2-inch iron rod found;

Thence North 01° 46' 58" East, a distance of 10.36 feet to a 1/2-inch iron rod found;

Thence North 88° 13' 02" West, a distance of 24.26 feet along the aforesaid north line of E. Stone Road to a 1/2-inch iron rod found;

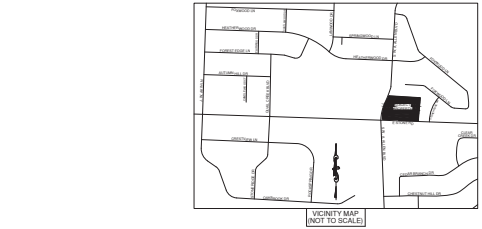
Thence North 88° 09' 12" West, passing a 1/2-inch iron rod set with cap stamped "PREMIER SURVEYING" at a distance of 19.91 feet and continuing a total distance of 121.91 feet along said north line to a 1/2-inch iron rod found at the southwest corner of aforesaid Compton tract (2025000164327) and the southeast corner of aforesaid Compton tract (202600056896) and aforesaid Lot 1;

Thence North 88° 28' 00" West, a distance of 72.33 feet along said north line to the POINT OF BEGINNING and containing 138,929 square feet or 3.189 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That **DANIEL REED COMPTON** and **SHERRY COMPTON** does hereby certify and adopt this plat designating the herein above described property as **COMPTON ADDITION**, an addition to the City of Wylie, Texas, and does hereby dedicate to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. That **DANIEL REED COMPTON** and **SHERRY COMPTON** does herein certify the following:

- The streets and alleys, if any, are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications are free and clear of all debt, liens, and/or encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated, for the public use forever, for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements.
- Utility easements may be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's use thereof.
- The public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements.
- The public utilities shall at all times have the full right of ingress and egress to or from their respective easement for the purpose of construction, reconstructing, inspecting, patrolling, maintaining, reading meters and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.
- The owners of the lots adjacent to or upon which drainage easements are created by this plat or the homeowner's association will be responsible for the maintenance and or the reconstruction of the drainage improvements constructed in said easements for the purpose of assuring the flow of stormwater to the degree required by the design and original construction.
- Collin County will not be responsible for maintenance or repair of drainage improvements on private lots or adjacent thereto.
- Collin County shall have the full right of ingress and egress to or from a drainage easement if necessary to maintain or repair the effect the drainage system in that easement is having on the use and maintenance of a roadway and the drainage systems of the roadway.
- Roadways of the Subdivision are public roads and neither applicant nor any future owner has the right to obstruct the Roadways by a fence, gate, or otherwise.
- All modifications to this document shall be by means of plat and approved by Collin County.
- This plat is subject to the Subdivision Regulations of Collin County, Texas.



RECOMMENDED FOR APPROVAL	
Chairman, Planning & Zoning Commission City of Wylie, Texas	Date
APPROVED FOR CONSTRUCTION	
Mayor, City of Wylie	Date
ACCEPTED	
Mayor, City of Wylie	Date
The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the subdivision or addition to the City of Wylie was submitted to the City Council on the ____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.	
Witness my hand this ____ day of _____, A.D., 20____.	
City Secretary City of Wylie, Texas	

WITNESS, my hand, this ____ day of _____, 2026.

DANIEL REED COMPTON Printed Name

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ day of _____, 2026.

Notary Public, State of Texas

My commission expires: _____

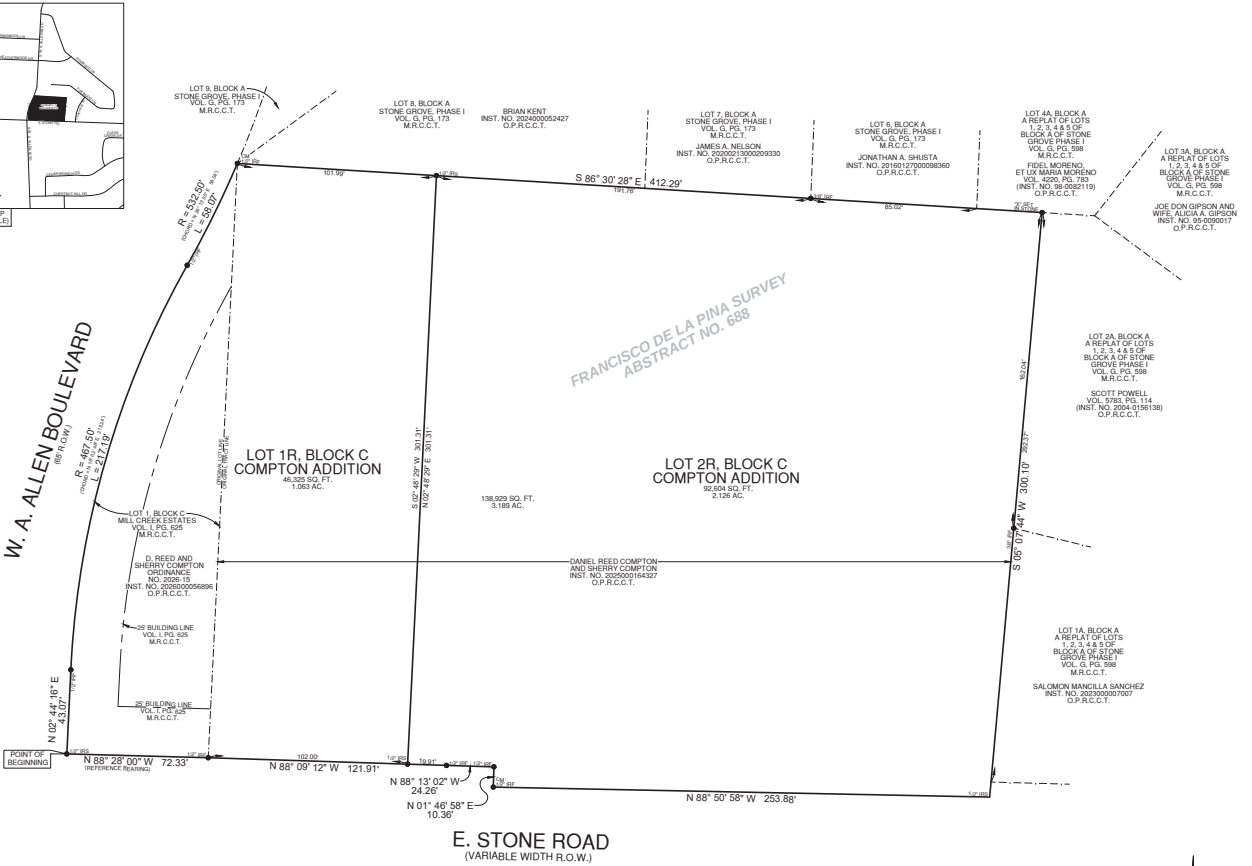
WITNESS, my hand, this ____ day of _____, 2026.

SHERRY COMPTON Printed Name

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ day of _____, 2026.

Notary Public, State of Texas

My commission expires: _____



SURVEYOR'S CERTIFICATE	
I, David Apple, Registered Professional Land Surveyor, State of Texas, hereby certify that the description and plat hereon are taken from actual measurements upon the ground and are true and correct to the best of my knowledge and belief this ____ day of _____, 2025, and the monuments shown thereon have been found or set by me and their location, size and material described are correctly shown.	
David Apple R.P.L.S. No. 5932	
SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ day of _____, 2026.	
Notary Public, State of Texas	
My commission expires: _____	

Notes:
The property owner is responsible for sufficient capacity of utilities.
IRP = iron rod found.
IRS = iron rod set with cap stamped "PREMIER SURVEYING".
M.R.C.C.T. = Map Records, Collin County, Texas.
O.P.R.C.C.T. = Official Public Records, Collin County, Texas.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

OWNERS:
DANIEL REED COMPTON
1201 E. STONE ROAD
WYLIE, TX 75098
M.R.C.C.T. = Map Records, Collin County, Texas.
SHERRY COMPTON
1201 E. STONE ROAD
WYLIE, TX 75098

SURVEYOR:
Premier Surveying, LLC
David Apple, RPLS
5700 W. Plano Parkway
Suite 1200
Plano, TX 75093
(972) 612-3601

FINAL PLAT
COMPTON ADDITION
LOTS 1R & 2R, BLOCK C
BEING 3.189 ACRES OF LAND IN THE
MARK R. ROBERTS SURVEY, ABSTRACT NO. 742
CITY OF WYLIE, COLLIN COUNTY, TEXAS.
PREPARED: FEBRUARY 4, 2026



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 1

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 0.49 acres to allow for a drone delivery service from Wing. Property located at 707 Cooper Drive (**ZC 2026-07**).

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: Wylie Economic Development Corporation

APPLICANT: Wing Aviation LLC

The applicant is requesting a Special Use Permit (SUP) on 0.49 acres to allow for a drone delivery service from Wing located at 707 Cooper Drive.

The Wing delivery service will primarily function as an aerial delivery service for the existing Chick-Fil-A restaurant located at 400 S State Highway 78.

The drone delivery service shall be required to maintain a Federal Aviation Administration (FAA) Part 135 certification to operate in accordance with Title 14 of the Code of Federal Regulations. The drone operations are approved and overseen by the FAA with the FAA maintaining sole enforcement duties. The drone service provider, Wing, has obtained and maintains all necessary approvals to operate in the greater Dallas-Fort Worth Area.

The SUP conditions allow for the use of a 128' X 30'' metal fence screened perimeter for drone docking at a height of six feet. Two gates for access are proposed along the perimeter fencing. Within the perimeter 18 launch pads are proposed and a 20'X 8' shed for storage and operations. The entire site will be powered by a portable Battery Energy Storage System (BESS) and not require the use of an audible generator. Hours of operation shall be between 8:00am and 9:30pm.

The development shall be required to provide two onsite parking spaces.

If approved, the zoning exhibit shall serve as the site plan for the drone delivery development.

The Wylie Economic Development Corporation has stated the Wing user will be leasing the property as the land is not for sale. The intentions are to have the drone delivery service as a temporary use with redevelopment of the site being the ultimate goal. Any improvements on the land must be removed at the end of the Wing agreement term.

The property to the west contains a similar drone delivery user which is owned by the same subject property owner. The property to the north is zoned Commercial Corridor and contains an undeveloped lot. The property to the east is zoned Commercial Corridor and contains an auto body shop. The property to the south is zoned Commercial Corridor and contains an auto repair retail store.

The subject property lies within the Regional Commercial sector of the Comprehensive Land Use Plan. Development within this sector's main purpose is to provide areas to allow for a broad range of commercial, retail, and office uses oriented toward major roadways. Heavy commercial or light industrial uses may be appropriate depending on compatibility with surrounding areas.

Notices were sent to fifteen property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request.

Locator Map



ZONING CASE:
ZC 2026-07 707 Cooper Drive

 SUBJECT property

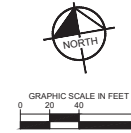
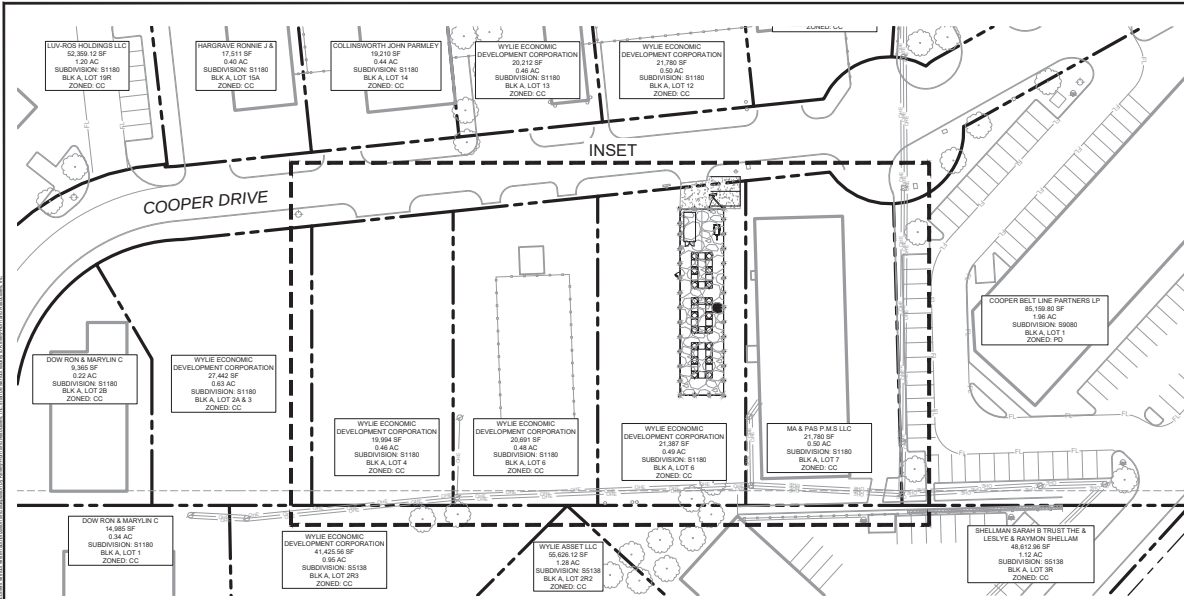
0.00 0.05 0.10 0.15 0.20 Miles



Date: 6/30/2026

COMPILED BY: G STAFFORD





VICINITY MAP
N.T.S.

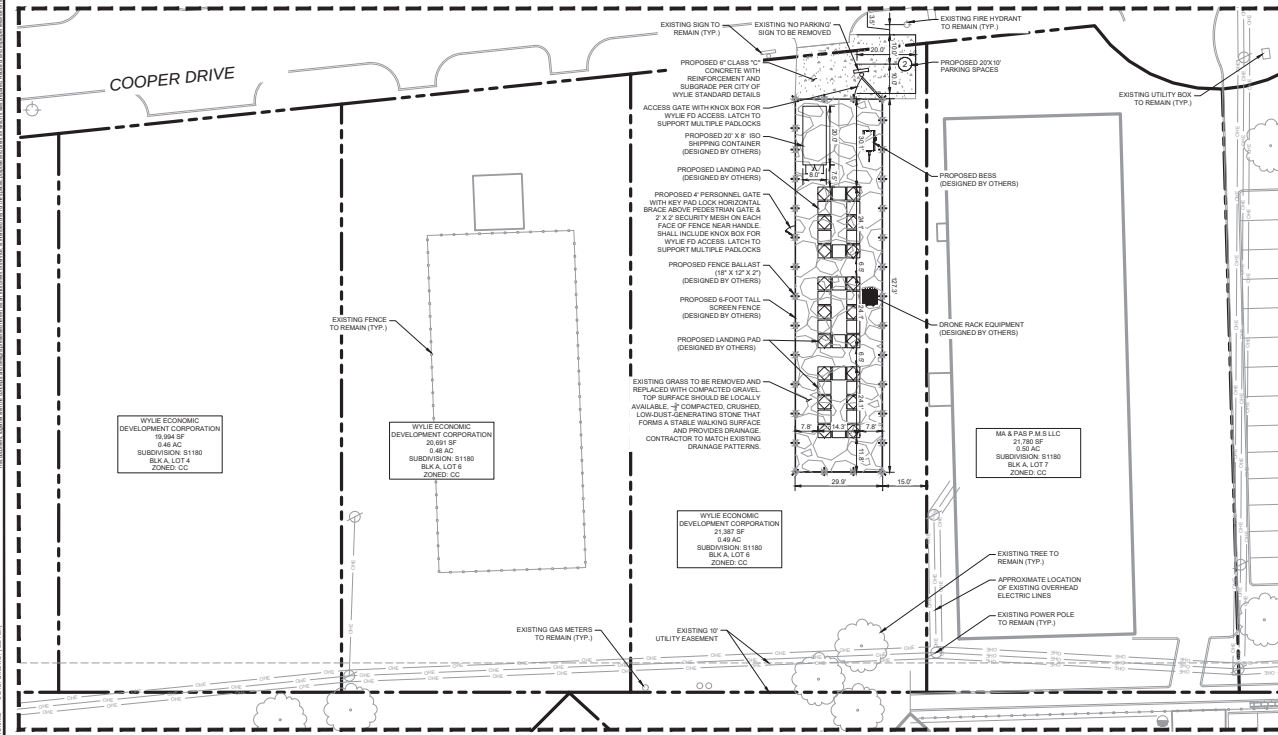
LEGEND

---	PROPERTY LINE
○	EXISTING TREE
●	EXISTING LIGHT POLE
⊕	EXISTING POWER POLE
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING FIRE LANE
---	EXISTING FENCE
---	EXISTING EDGE OF BUILDING
---	EXISTING RETAINING WALL
---	PROPOSED CONCRETE
○	EXISTING FIRE HYDRANT

- NOTES
1. NO ON-GROUND SITE TOPOGRAPHY WAS COMPLETED WITH THIS PROJECT.
 2. THE SITE IS ZONED CC - COMMERCIAL CORRIDOR DISTRICT.
 3. SITE LINE WORK HAS BEEN SHOWN BASED OFF A NEARMAP AERIAL DATED JANUARY 3, 2024.

SITE DATA SUMMARY TABLE

NAME OF PROJECT/DEVELOPMENT	WYLIE INDUSTRIAL PARK
TAX PARCEL ID	455769
LAND USE	DRYONE LANDING SITE
GROSS LOT SIZE	21,387 SF
TOTAL DISTURBED AREA	3900 SF
LOT COVERAGE %	18.2
FLOOR AREA RATIO	N/A
BUILDING AREA	N/A
BUILDING HEIGHT	N/A
PARKING	N/A
ZONING DISTRICT	CC - COMMERCIAL CORRIDOR DISTRICT



CAUTION:
EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

SITE PLAN
WYLIE INDUSTRIAL PARK (CWY),
BLK A, LOT 6

CITY OF WYLIE, TEXAS
707 COOPER DRIVE
SUBMITTAL DATE: JUNE 25, 2026

OWNER / APPLICANT
WYLIE ECONOMIC DEVELOPMENT CORPORATION
13455 NOEL ROAD, SUITE 700
DALLAS, TX 75240
PHONE: (972) 442-7901
CONTACT: PROJECT@WYLIEED.COM

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, SUITE 700
DALLAS, TX 75240
PHONE: (972) 442-7901
CONTACT: CHRISTOPHER.DELLS@KHA.COM

Kimley-Horn
13455 NOEL ROAD, SUITE 700
DALLAS, TX 75240
PHONE: (972) 442-7901
WWW.KIMLEY-HORN.COM FAX: (972) 442-7901
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

SITE PLAN FOR CITY REVIEW
ONLY TO ILLUSTRATE
COMPLIANCE WITH ZONING
AND DEVELOPMENT
REGULATIONS. IT IS NOT
INTENDED FOR
CONSTRUCTION PURPOSES.

KHA PROJECT
DATE
SCALE
DESIGNED BY
DRAWN BY
CHECKED BY
CNC

WYLIE INDUSTRIAL PARK
ZONING EXHIBIT

SHEET NUMBER
EX-1

DATE
BY
REVISIONS

PAVING NOTES

1. CONCRETE FOR ALL STREETS AND PRIVATE DEVELOPMENTS SHALL BE IN ACCORDANCE WITH NCTCOG, FOURTH EDITION OR AS AMENDED CLASS "C" CONCRETE (SIX SACK 3,600 P.S.I.) ITEM 303.3.4.2(g) AND ITEM 303.5.6.2 HAND.
2. REINFORCING STEEL SHALL BE DEFORMED BARS NO. 3 ON 18 INCH CENTERS OR NO. 4 BARS ON 24 INCH CENTERS. REINFORCING SHALL BE IN BOTH DIRECTIONS ON CENTER. REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM 615, 616 AND 617.
3. ALL REINFORCING STEEL SHALL BE TIED (100%). REINFORCING STEEL SHALL BE SET ON PLASTIC CHAIRS. BAR LAPS SHALL BE MINIMUM 30 DIAMETERS. NO STEEL SHALL BE PLACED UNTIL THE SUBGRADE HAS BEEN TESTED AND PASSED.
4. EXPANSION JOINTS SHALL BE SPACED EVERY 600 FEET, AT ALL INTERSECTIONS AND CHANGES IN DIRECTION OF PAVING. ALLEYS SHALL HAVE A MINIMUM OF TWO EXPANSION JOINTS.
5. SAWED TRANSVERSE DUMMY JOINTS SHALL BE SPACED EVERY 15 FEET OR 1.25 TIMES LONGITUDINAL JOINT SPACING WHICHEVER IS LESS. SAWING SHALL OCCUR WITHIN 5 TO 12 HOURS AFTER THE POUR INCLUDING SEALING.
6. SUBGRADE UNDER PAVEMENTS SHALL BE A MINIMUM OF 7 INCHES OF LIME TREATED SUBGRADE. ONLY HYDRATED LIME SHALL BE UTILIZED. OPTIMUM LIME SHALL BE APPLIED. OPTIMUM LIME CONTENT SHALL BE DETERMINED DURING THE EXCAVATION BY THE USE OF A LIME SERIES TEST. LIME SERIES TEST SHALL BE TAKEN ALONG THE EXCAVATION AT ALL CHANGES IN SOIL AND A MINIMUM OF 300 FEET. LIME SERIES SHALL BE COMPLETED BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. 411/SY MAY BE USED IN LIEU OF LIME SERIES TESTING. SUBGRADE SHALL BE COVERED WITH PAVING WITHIN 14 DAYS OR SUBGRADE SHALL BE REWORKED AND RETESTED.
7. LIME TREATED SUBGRADE SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D 698. MOISTURE CONTENT SHALL BE WITHIN -2 TO +4 OF OPTIMUM. DENSITY TEST RESULTS SHALL BE COMPLETED BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. ALL RESULTS SHALL BE PROVIDED TO THE CITY. SUBGRADE TESTING SHALL BE IN ACCORDANCE WITH NCTCOG ITEM 303.5.1 SUBGRADE.
8. LIME TRIMMINGS ARE NOT ACCEPTABLE FOR ANY USE.
9. ALL FILL SHALL BE COMPACTED BY MECHANICAL METHODS. MAXIMUM LOOSE LIFT FOR COMPACTION SHALL BE 8 INCHES. ALL LIFTS SHALL BE TESTED FOR DENSITY BY AN INDEPENDENT LABORATORY APPROVED BY THE CITY. DENSITY REQUIREMENT SHALL BE AS SHOWN ON THE PLANS FOR THE TYPE OF MATERIAL CALLED FOR IN THE PLANS.
10. ALL DISTURBED AREAS OF ROADWAY WORK SHALL HAVE GRASS ESTABLISHED IMMEDIATELY. GRASS SHALL MEET THE REQUIREMENTS OF ITEM 202, LANDSCAPING, OF NCTCOG SPECIFICATIONS, FOURTH EDITION OR AS AMENDED.
11. ALL AREAS TO BE EXCAVATED OR FILLED SHALL HAVE EROSION CONTROL PLACED PRIOR TO COMMENCING EARTHWORK. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT IN ACCORDANCE WITH NCTCOG ITEM 201, FOURTH EDITION OR AS AMENDED.
12. ALL SIDEWALKS SHALL BE 5' WIDE AND INCLUDE BARRIER FREE RAMPS AT INTERSECTING STREETS, ALLEYS, DRIVEWAYS, ETC. BARRIER FREE RAMPS SHALL MEET CURRENT ADA REQUIREMENTS, BE INSTALLED BY THE DEVELOPER AND MEET THE TEXAS DEPT. OF LICENSING REGULATIONS.
13. SIDEWALKS SHALL BE DOWELED INTO PAVEMENT WHERE IT ABUTS DRIVEWAYS. EXPANSION JOINT MATERIAL SHALL BE USED AT THESE LOCATIONS.
14. NO VEHICLES SHALL BE PERMITTED ON CONCRETE PAVEMENT WITHOUT APPROVAL FROM THE CITY. THE CITY WILL MAKE DETERMINATION BASED ON CONCRETE BREAK REPORT.
15. CONCRETE MIX DESIGN SHALL BE SUBMITTED FOR REVIEW PRIOR TO PRECONSTRUCTION MEETING. REVISE THE FIRST PARAGRAPH OF NCTCOG SPEC. 303.2.1.3 COARSE AGGREGATE TO READ "CRUSHED LIMESTONE SHALL CONSTITUTE 100% OF THE COARSE AGGREGATE."
16. ALL PAVING FOR PARKING SHALL BE MIN. 5" THICK 3,600 P.S.I. CONCRETE SUBJECT TO CITY ENGINEER APPROVAL.
17. ALL AREAS NOT UNDER PAVING, INCLUDING ALL FRANCHISE UTILITY EASEMENTS, SHALL BE COMPACTED TO A DENSITY OF NOT LESS THAN 92 PERCENT OF THE MAXIMUM DENSITY.
18. CONCRETE PLANTS SHALL CONFORM TO TXDOT 1993 EDITION ITEMS 520 AND 522.
19. ANY CURB AND/OR STREET SECTION REMOVED FOR THE CONSTRUCTION OF A PRIVATE DRIVEWAY SHALL NOT BE REMOVED PRIOR TO 7 DAYS OF CONSTRUCTION OF THE DRIVEWAY. IF THE DRIVEWAY IS NOT CONSTRUCTED WITHIN THIS TIME FRAME AND EXCAVATION HAS BEEN MADE, EXCAVATION SHALL BE REPLACED UNTIL SUCH TIME CONSTRUCTION COMMENCES.
20. MAXIMUM TEMPERATURE OF THE CONCRETE FOR PLACEMENT SHALL BE 95° F AS SPECIFIED IN TXDOT 2004 EDITION ITEM 360.4 PARAGRAPH G.4 TEMPERATURE RESTRICTIONS.
21. PAVING EQUIPMENT REQUIRED SHALL BE AS SPECIFIED IN TXDOT 2004 EDITION ITEM 360.3
22. WATER INJECTION OF SUBGRADE BY CITY ENGINEER APPROVAL ONLY.
23. SUBGRADE UNDER FIRE LANES SHALL MEET THE PAVING SUBGRADE REQUIREMENTS OR ONE ADDITIONAL INCH OF CONCRETE MAY BE USED.
24. SUBGRADE UNDER PARKING AREAS SHALL BE DETERMINED BY A GEOTECH REPORT.

LINED CHANNELS

1. CONSTRUCTION JOINT SHOWN IN DETAILS FOR CONVENIENCE ONLY, MONOLITHIC CONSTRUCTION MAY BE USED.
2. ALL VISIBLE SURFACES SHALL BE A TROWEL FINISH.
3. ALL REINFORCING STEEL SHALL BE 3/8" DIAMETER AND SPACED 12" CENTER TO CENTER BOTH WAYS UNLESS OTHERWISE SPECIFIED.
4. IF WOOD FORMS ARE USED WITH CONSTRUCTION JOINT, THEY SHALL BE TWO, 2"x4", AND SHALL NOT BE REMOVED UNTIL CONCRETE ON SLOPES IS READY TO BE PLACED.

5. ALL CONCRETE IN LINED CHANNEL SHALL BE NCTCOG CLASS "A" (MINIMUM 3,000 P.S.I.) CONCRETE.

6. FLAT BOTTOM TO BE CONSTRUCTED WHEN CHANNEL WIDTH IS LESS THAN 12 FOOT.
7. 3/4" CHAMFER ON ALL CONCRETE CORNERS.

STORM SEWER

1. THE FLOOR OF THE EXCAVATION FOR INLET BOX MUST PROVIDE A FIRM, LEVEL BED FOR THE BASE SECTION TO REST UPON.
2. A MINIMUM OF 6 INCHES OF 1" DIAMETER (MAXIMUM) ROCK OR GRAVEL SHALL BE USED TO PREPARE THE BEDDING TO FINAL GRADE OR IN LIEU OF THIS, AT LEAST 6 INCHES OF 2-SACK CEMENT STABILIZED SAND SHALL BE USED TO PREPARE THE BEDDING TO GRADE. CEMENT STABILIZED-SAND SHALL BE ALLOWED TO SET BY KEEPING HOLE PUMPED DRY.
3. AFTER PIPE HAS BEEN LAID ON PROPER BEDDING, BACKFILLING TO COMMENCE WITH 8" MAXIMUM LOOSE LIFTS MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR UNDER ROADWAY OR 12" MAXIMUM LOOSE LIFT BEHIND CURB. MAXIMUM SIZE ROCK IN BACKFILL SHALL NOT EXCEED 4 INCHES IN DIAMETER.
4. PRECAST INLETS MUST BE APPROVED BY THE CITY.
5. CONCRETE TO BE MINIMUM 4,200 P.S.I.
6. LOCKING DEVICE IS REQUIRED ON ALL STORM SEWER LIDS.
7. "NO DUMPING" WARNING PLAQUE TO BE INSTALLED ON ALL STANDARD AND RECESSED INLETS.
8. CONCRETE CAST-IN-PLACE INLETS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,200 P.S.I. @ 28 DAYS.
9. DELETED
10. EXISTING STORM SEWER PIPE AND/OR LATERALS SHALL BE LOCATED PRIOR TO SETTING OR CONSTRUCTING INLET BOXES. IF ADJUSTMENT IN GRADE OF LATERAL IS REQUIRED, A REVISED DESIGN BY THE ENGINEER OF RECORD SHALL BE SUBMITTED TO THE CITY FOR APPROVAL.
11. REINFORCED CONCRETE PIPE CLASS II IS APPROVED WITHIN THE CITY.
12. COLOR TV INSPECTION SHALL BE COMPLETED ON THE STORM SEWER IN THE PRESENCE OF CITY REPRESENTATIVE AND THE ORIGINAL MEDIA SHALL BE GIVEN TO THE CITY AT THE COMPLETION OF THE INSPECTION.
13. YOUR ATTENTION IS DIRECTED TO SUBDIVISION ORDINANCE SECTION 5.9.C STORM DRAINAGE AND WATER QUALITY CONTROLS. IN THE ELEVENTH MONTH OF THE SECOND YEAR OF THE REQUIRED TWO-YEAR MAINTENANCE BOND, THE DEVELOPER SHALL BE RESPONSIBLE FOR REMOVING ANY SIGNIFICANT BUILD-UP OF SEDIMENT OR DEBRIS FROM DRAINAGE EASEMENTS WITH PRECAUTIONS AS DESIGNATED. THE FUNDING SHALL BE BORNE BY THE DEVELOPER AND SHALL BE ACCOMPLISHED BY COLOR TV INSPECTION IN THE PRESENCE OF A CITY REPRESENTATIVE AND THE ORIGINAL MEDIA SHALL BE GIVEN TO THE CITY AT THE COMPLETION OF THE INSPECTION.

SANITARY SEWER

1. ALL SEWER LINES CROSSING POTABLE WATERLINES SHALL BE AS SHOWN IN THE PLANS AND MEET TCEQ REQUIREMENTS.
2. PIPES 8 INCHES THROUGH 15 INCHES SHALL BE IN ACCORDANCE WITH ASTM D3034 WITH A MINIMUM SDR OF 35 OR ASTM D30350 AND DE 345434 C.
3. PIPES LARGER THAN 12 INCHES THROUGH 48 INCHES SHALL BE IN ACCORDANCE WITH ASTM STANDARDS F679, F794, F949 AND D3350/ DE 345434 C.
4. MANHOLES SHALL BE PRECAST. ALL MANHOLES SHALL BE WATER TIGHT. PRECAST MANHOLES SHALL HAVE JOINTS SEALED. ALL RING AND COVERS SHALL INCLUDE AN INTERNAL CHIMNEY SEAL.
5. ALL PIPE OPENINGS IN MANHOLES SHALL INCLUDE COUPLINGS WITH "O" RING RUBBER GASKETS.
6. STUBOUTS OUT OF MANHOLES SHALL BE FITTED WITH A STOPPER AND CAP. STUBOUTS SHALL BE A MINIMUM OF 5 FEET FROM MANHOLE AND BE SUPPORTED BY A CONCRETE CRADLE.
7. ALL DROP MANHOLES SHALL BE OF THE EXTERNAL TYPE.
8. MANHOLES SHALL BE VENTED IN ACCORDANCE WITH TCEQ REQUIREMENTS.
9. ALL SANITARY SEWER PIPE SHALL BE TESTED (NCTCOG ITEM 507.5) AFTER CONSTRUCTION. TESTING SHALL INCLUDE PRESSURE TESTING, MANHOLE TEST (TCEQ REQUIRED) AND COLOR TV INSPECTION. COLOR TV INSPECTION SHALL BE COMPLETED IN PRESENCE OF CITY REPRESENTATIVE AND THE ORIGINAL MEDIA SHALL BE GIVEN TO THE CITY AT THE COMPLETION OF THE INSPECTION.
- SEWER SHALL BE RE-INSPECTED AFTER INSTALLATION OF FRANCHISE UTILITIES. AIR TEST ONLY.
10. MANHOLE SHALL BE MINIMUM 12 INCHES IN THE PRESENCE OF THE CITY REPRESENTATIVE.
11. NO END-OF-LINE CLEANOUTS WILL BE ALLOWED. TERMINATE SEWER LINES WITH A MANHOLE.

ILLUMINATION

1. STREET LIGHT FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH TXU ELECTRIC DETAIL AND NOTES FOR 25' OR 30' MOUNTING HEIGHT ROUND STEEL POLE.
2. PROVIDE SQUARE CONCRETE MOW STRIP 18" FROM OUTSIDE OF POLE TO CORNER USING 3,000 P.S.I. CONCRETE WITH #3 BARS @ 18" AND 36" EXPANSION JOINT.
3. SUBDIVISION STREET LIGHTING TO CONFORM TO THE ZONING ORDINANCE. DECORATIVE STREET LIGHTING SHALL BE PROVIDED ALONG RESIDENTIAL STREETS THROUGHOUT ALL RESIDENTIAL DEVELOPMENTS, PROVIDING LOW ILLUMINATION WITH SOLAR CONTROLS ON DECORATIVE POLES WITH SPACING RANGING FROM 250 FEET TO 350 FEET BETWEEN LIGHTS PLACED ON ALTERNATING SIDES OF THE STREET. A STREET LIGHTING PLAN MUST BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL. THE CITY ENGINEER IS AUTHORIZED TO ALTER THE DISTANCE REQUIREMENT IF NEEDED IN AN EFFORT TO ACHIEVE THE BEST LIGHTING ARRANGEMENT POSSIBLE."

DETAILS

SPECIAL DETAILS OR MODIFICATIONS TO THESE STANDARD DETAILS TO BE UTILIZED ON ANY GIVEN PROJECT SHALL BE SUBMITTED TO THE CITY FOR APPROVAL FOR USE.

STREET SIGN SPECIFICATIONS

STREET NAME SIGNS FOR ALL INTERSECTIONS BY THE CONSTRUCTION OF A SUBDIVISION SHALL BE FURNISHED AND INSTALLED BY THE DEVELOPER. THE INSTALLATION OF THE STREET SIGNS MUST BE PRIOR TO THE FINAL ACCEPTANCE OF THE SUBDIVISION. THE LEGEND SHALL CONTAIN THE NAME OF THE STREET, ANY SUFFIX AS DESIGNATED ON THE PLAN, AND THE BLOCK NUMBER AS ASSIGNED BY THE CITY. THE SIGN FACE SHALL BE HIP PRISMATIC WHITE W/BLUE IC FILM WITH CITY LOGO. THE SIGN PLATE SHALL BE 9 INCHES TALL AND 0.080 INCHES THICK PLAT BLACK ALUMINUM DRILLED. THE STREET NAME SHALL BE 6 INCH UPPER CASE LETTERS. THE SUFFIX AND BLOCK LETTERS SHALL BE 3 INCHES. ALL LETTERS SHALL BE WHITE. THE SIGNS SHALL BE MOUNTED ON A 2 INCH BY 12 FOOT SQUARE POST WITH A 2.25 INCH BY 36 INCH SQUARE GROUND ANCHOR AND 2.5 INCH BY 18 INCH SLEEVE. THE ANCHOR POST SHALL BE DRIVEN INTO THE GROUND AT A DEPTH OF 30 INCHES. THE STREET NAME SHALL BE MOUNTED 10 FEET FROM THE TOP OF THE CURB MEASURED TO THE BOTTOM OF THE LOWEST SIGN. SIGNS SHALL BE MOUNTED ON SQUARE POSTS USING DRIVE RIVETS, WASHER, SPACE AND CHERRY WARE RIVETS TO ATTACH ENDS OF SIGN TOGETHER.

WATER

1. ALL WATER LINE CROSSINGS OF SANITARY SEWER LINES SHALL BE AS SHOWN IN THE PLANS AND MEET TCEQ REQUIREMENTS.
2. PIPES 12 INCHES IN DIAMETER AND SMALLER SHALL BE POLYVINYL CHLORIDE (P.V.C.) MEETING THE REQUIREMENTS OF AWWA C900 OR 18 OR DUCTILE IRON PIPE (D.I.P.) MEETING THE REQUIREMENTS OF AWWA C 151 CLASS 50 PIPE. ALL D.I.P. SHALL BE WRAPPED WITH A POLYETHYLENE LINER.
3. FOR PIPES LARGER THAN 12 INCHES IN DIAMETER, THE PIPE SHALL BE REINFORCED CONCRETE CYLINDER PIPE (AWWA C301 OR AWWA C303), DUCTILE IRON PIPE (AWWA C151 CLASS 50) OR POLYVINYL CHLORIDE PIPE UP TO 18 INCHES MEETING THE REQUIREMENTS OF AWWA C905 - 235 P.S.I. RATED PIPE.
4. ALL VALVES ON PIPES 12 INCHES AND SMALLER SHALL BE RESILIENT SEALED WEDGE VALVES (AWWA C506).
5. ALL VALVES ON PIPES LARGER THAN 12 INCHES BUT SMALLER THAN 30 INCHES SHALL BE BUTTERFLY VALVES (AWWA C504) OR WEDGE VALVES (AWWA C509).
6. ALL VALVES ON PIPES 30 INCHES AND LARGER SHALL BE BUTTERFLY VALVES (AWWA C504).
7. EMBEDMENT SHALL BE AS SHOWN IN THE PLANS. BACKFILL WITHIN THE LIMITS OF EXISTING AND PROPOSED PAVEMENT SHALL BE COMPACTED TO 95% STANDARD PROCTOR. OUTSIDE PAVEMENT (EXISTING OR PROPOSED) SHALL BE COMPACTED TO MINIMUM OF 92% STANDARD PROCTOR. ALL COMPACTION SHALL BE BY MECHANICAL METHODS.
8. WATER LINES SHALL BE PRESSURE TESTED IN ACCORDANCE WITH NCTCOG ITEM 506. ALL WATER LINES SHALL BE SWABBED IN THE PRESENCE OF THE INSPECTOR PRIOR TO BACKFILLING.
9. ALL HORIZONTAL AND VERTICAL BENDS SHALL BE BLOCKED.
10. ALL FITTINGS SHALL INCLUDE MEGALUG CONNECTORS.
11. ALL FIRE HYDRANTS SHALL BE INSTALLED WITH A 24" x 24" SQUARE REINFORCED CONCRETE PAD.
12. ALL WATER LINES SHALL BE SWABBED IN THE PRESENCE OF THE INSPECTOR PRIOR TO BACKFILL.

SCREENING WALLS

1. CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
2. REINFORCEMENT - ASTM A-36.
3. MASONRY - COMPRESSIVE STRENGTH SHALL BE PRESCRIBED IN ITEM 2.3.6 SPECIAL PROVISIONS.
4. WIND LOAD FOR DESIGN - 20 P.S.F.
5. PIER BEARING STRESSES - SEE BRICK SCREENING WALL NOTES.
6. MORTAR - TYPE "S".
7. PROVIDE CONTROL JOINTS AT 50 FEET.
8. PROVIDE EXPANSION JOINTS AT 200 FEET CENTER MAXIMUM.
9. PROVIDE PIER WITH MINIMUM 9 FOOT W/ 24 INCH DIAMETER BELL IN CLAY OR OTHER MATERIAL EXCEPT BLUE SHALE, 6 FOOT MINIMUM WITH 3 FOOT MINIMUM INTO BLUE SHALE.
10. ALL EXPOSED CONCRETE SHALL BE CLASS 2 RUBBED FINISHED SURFACE.
11. SIDEWALKS ADJACENT TO WALLS MUST BE 5-FOOT MINIMUM WIDTH FROM ALL PORTIONS OF THE WALL (INCLUDING PILASTERS, COLUMNS, ETC.).
12. MAXIMUM PLASTER SPACING 40 FEET.
13. WALLS SHALL NOT BE PLACED IN THE VISIBILITY EASEMENT OR STREET RIGHT OF WAY.
14. THE WALL SHALL BE A MINIMUM OF EIGHT FEET IN HEIGHT AS MEASURED FROM THE NEAREST ALLEY EDGE OR SIDEWALK GRADE, WHICHEVER IS THE HIGHER. THE COLOR OF THE WALL SHALL BE LIMITED TO EARTH-TONE COLORS, EXCLUDING GRAY, GREEN AND WHITE. THE COLOR OF THE WALL SHALL BE UNIFORM ON EACH SIDE OF A THOROUGHFARE FOR THE ENTIRE LENGTH BETWEEN INTERSECTING THOROUGHFARES, UNLESS OTHERWISE APPROVED BY THE CITY'S PUBLIC WORKS DEPARTMENT. THE FINISH OF THE WALL SHALL BE CONSISTENT ON ALL SURFACES.
15. IF WROUGHT IRON FENCING IS TO BE UTILIZED ON REQUIRED SCREENING, ALL WROUGHT IRON MUST BE SOLID STOCK, NO TUBULAR STEEL WILL BE ALLOWED.

REVISION	DESCRIPTION	DATE
1	REVISED PAVING NOTES	JAN 8/20/24
2	ADD PAVING NOTE 21	JAN 7/09/26
3	ADD STORM SEWER NOTE 13	JAN 8/19/26
4	ADD PAVING NOTE 22 AND REUSE NOTE 12 & 15	JAN 8/19/26
5	ADD PAVING NOTE 18	JAN 9/12/27
6	DELETE STORM SEWER PARAGRAPH NO. 9	JAN 9/12/27
7	ADD STREET SIGN SPECIFICATIONS & ILLUMINATION REQUIREMENTS	JAN 1/15/27
8	REVISED PAVING NOTES NO. 1 & 5	JAN 5/14/28
9	BY DATE	

CITY OF WYLIE, TEXAS	
STANDARD CONSTRUCTION DETAILS	
GENERAL NOTES	
DATE:	APRIL, 2005
SHEET	STD-00_R

Kimley»Horn
13465 INGLEND, TWO DALLAS OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 214.644.4444 FAX: 214.644.4444
WWW.KIMLEY-HORN.COM TX-228

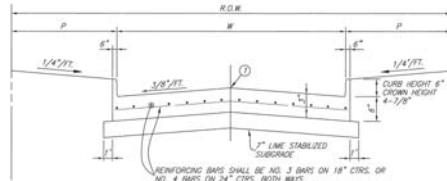
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AND DEVELOPMENT
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CONSTRUCTION PURPOSES.

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
	6/22/2026					

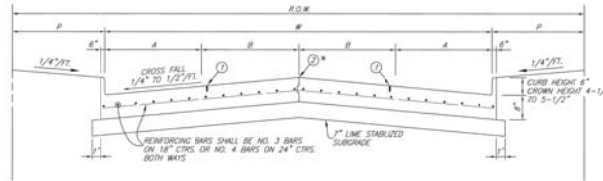
WYLIE INDUSTRIAL PARK
WYLIE, TEXAS 75088

CITY OF WYLIE DETAILS

SHEET NUMBER
EX-3

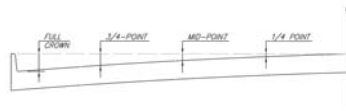


REGULAR SECTION



REGULAR SECTION

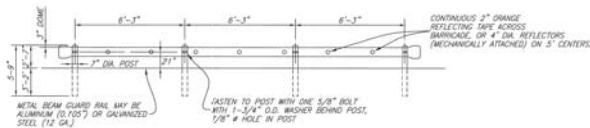
- LEGEND**
- ① - SAWED LONGITUDINAL DUMMY JOINT
 - ② - CONSTRUCTION JOINT (FULL WIDTH PAVT IS ALLOWED WHERE APPROVED BY CITY)



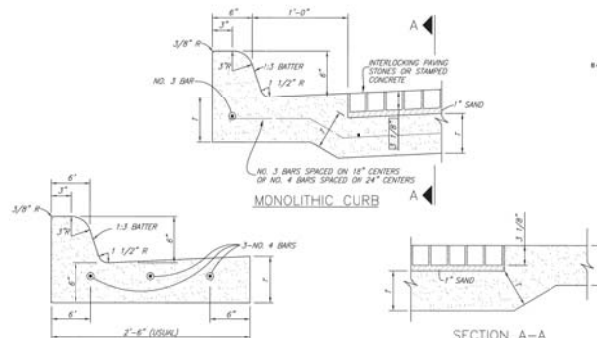
ROADWAY WIDTH (W)	TOTAL CROWN HEIGHT	3/4 POINT	MID-POINT	1/4 POINT
26"	4"	2-1/4"	1"	1/4"
36"	6"	3-3/8"	1-1/2"	3/8"
44"	6"	3-3/8"	1-1/2"	3/8"

TABLE OF CROWN HEIGHTS AND ORDINATES FOR VARIOUS PARABOLIC SECTIONS

SLIP-FORM PAVEMENT MUST MEET CROWN GRADES AT OUTLETS, AT MID-POINTS & E PARABOLIC ROADS ONLY TO BE CONSTRUCTED WITH SLIP-FORM PAVERS

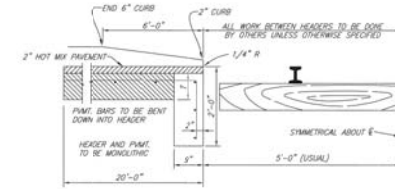


TYPICAL PERMANENT BARRICADE DETAIL

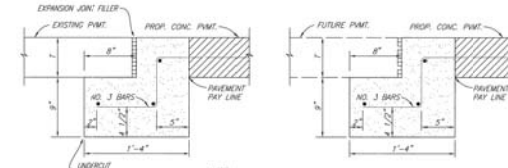


SEPARATE CURB AND GUTTER

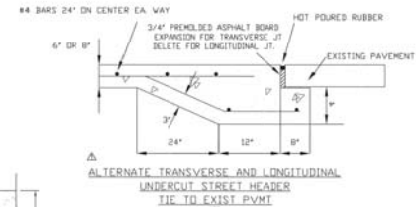
CURB AND CURB AND GUTTER



RAIL HEADER



STREET HEADER



NO.	ADD ALTERNATE UNDERCUT HEADER	CHK BY	DATE
1	REVISION	BT	04/16/07

CITY OF WYLIE, TEXAS

STANDARD CONSTRUCTION DETAILS

PAVING / SECTIONS / DETAILS

DATE: APRIL, 2005

SHEET STD-02_R

Kimley»Horn
 13455 INGLEND TWO GALLERIA OFFICE TOWER
 SUITE 700 DALLAS, TX 75240
 PHONE 754-HORN.COM FAX 754-228
 WWW.KIMLEY-HORN.COM
 © 2008 KIMLEY-HORN AND ASSOCIATES, INC.

SITE PLAN FOR CITY REVIEW
 ONLY TO ILLUSTRATE
 COMPLIANCE WITH ZONING
 AND DEVELOPMENT
 REGULATIONS. IT IS NOT
 INTENDED FOR
 CONSTRUCTION PURPOSES.

KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
WYLIE INDUSTRIAL PARK	6/25/2008	AS SHOWN	CAD	BNL	BNL	BNL

WYLIE INDUSTRIAL PARK
 WYLIE, TEXAS 75088

CITY OF WYLIE DETAILS

SHEET NUMBER
EX-4

EXHIBIT "C"

WING

Conditions For Special Use Permit

I. PURPOSE:

1. The purpose of this Special Use Permit is to allow for a drone delivery use within the Commercial Corridor district.

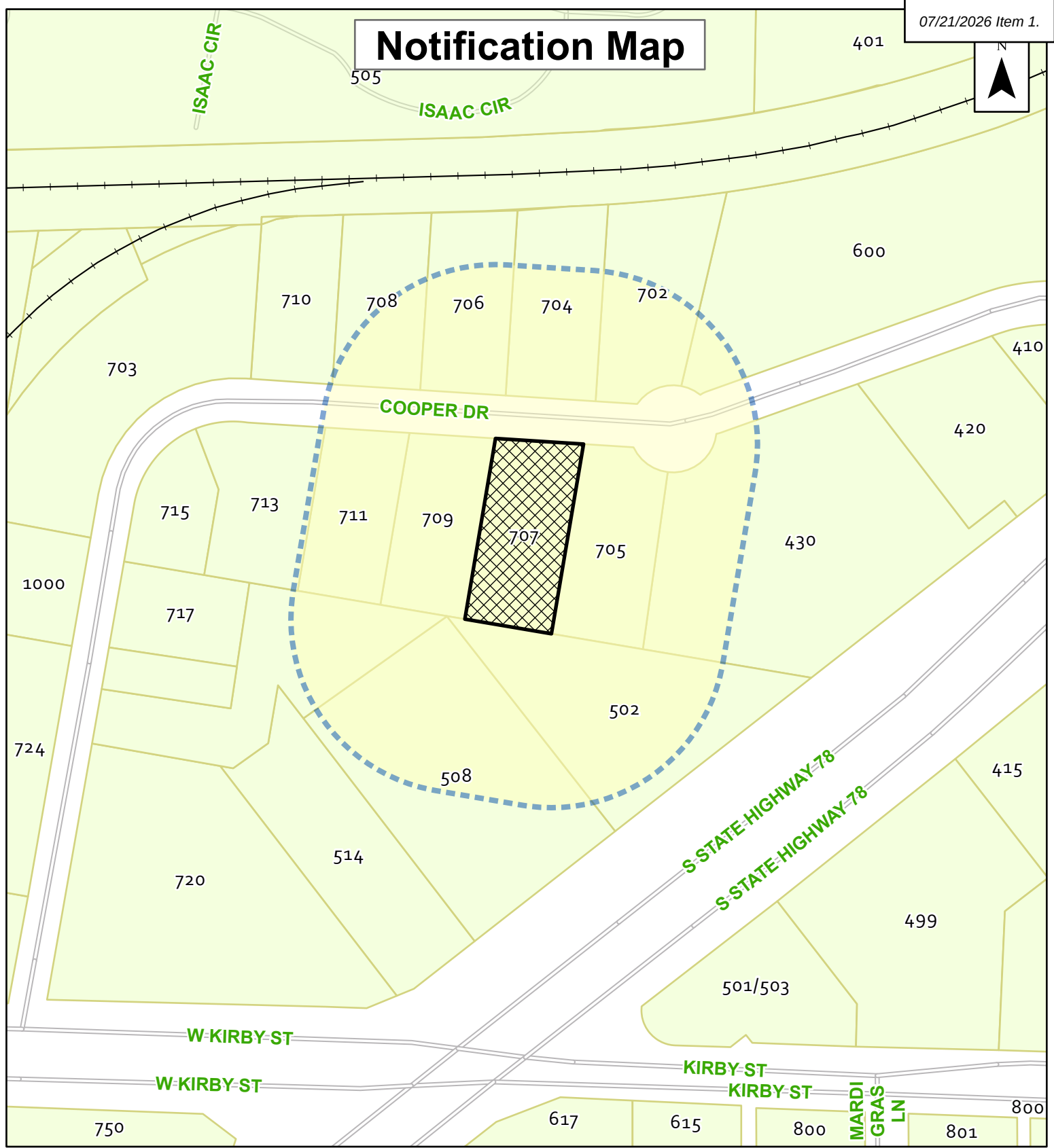
II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations of the Commercial Corridor District (CC) set forth in Article 4 and 5 of the Comprehensive Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of the drone delivery development shall be in accordance with Section III below and the Zoning Exhibit (Exhibit B).

III. SPECIAL CONDITIONS:

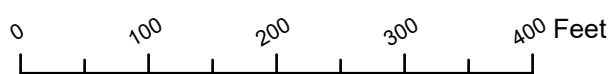
1. The development will have an approximately 128' X 30' area (as depicted on Exhibit B) with 18 launch pads screened by a metal fence at a minimum of 6' in height.
2. A maximum 20' X 8' storage shed shall be allowed on site.
3. Hours of operation shall be limited to between 8:00am and 9:30pm
4. All aircraft "drones" utilized shall be approved by the Federal Aviation Administration (FAA) for commercial delivery.
5. The Zoning Exhibit (Exhibit B) shall serve as the Site Plan for the Drone Delivery development. Approval of the Special Use Permit shall act as site plan approval.
6. Should the proposed use cease operations for more than 180 days, the SUP shall expire and the zoning shall revert to the base Commercial Corridor zoning.

Notification Map



ZONING CASE:
ZC 2026-07 707 Cooper Drive

 SUBJECT property  200 foot Notification Buffer



Date: 6/30/2026

COMPILED BY: G STAFFORD





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 2

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP) on 2.0 acres to allow for a warehouse distribution use. Property located at 31 Steel Road (**ZC 2026-08**).

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: Very Worthy LLC

APPLICANT: Cardinal Civil Engineers

The applicant is requesting a Special Use Permit (SUP) on 2.0 acres, located at 31 Steel Road to allow for rezoning from Light Industrial to Light Industrial - Special Use Permit. The Special Use Permit (SUP) is required as the Zoning Ordinance requires all warehouse buildings over 25,000 sqft. to have a SUP approval.

The proposal is to demolish an existing 9,900 sf structure and construct a new 31,683 sf warehouse building. The developer has indicated the structure will be used for warehouse distribution and be divided to accommodate two tenant suites. One of the tenants will be for an e-commerce clothing retail business. The second tenant area will either serve as additional space for the existing tenant or be occupied by a similar user.

The site is proposed to be accessed by a fire lane that loops around the site with access from Steel Road. The Fire lane extends along the southern border for fire hose lay compliance.

Truck loading areas are provided at the middle of the structure to deter loading vehicles from parking on the fire lane. The parking is in compliance by providing 25 parking spaces with one being handicapped accessible.

The site provides 12,586 sq.ft. of landscaping being approximately 14.45% of the overall landscaped area which is in compliance with the 10% minimum landscaping requirement. The landscape plan includes tree plantings primarily along the street frontage of Steel road, along the parking areas and along the eastern and southern property borders. A 5' wide meandering sidewalk shall also be provided along Steel Road.

The structure's exterior material consists of tiltwall construction with stone elements. The elevations provide architectural variation with the use of projecting exterior elements.

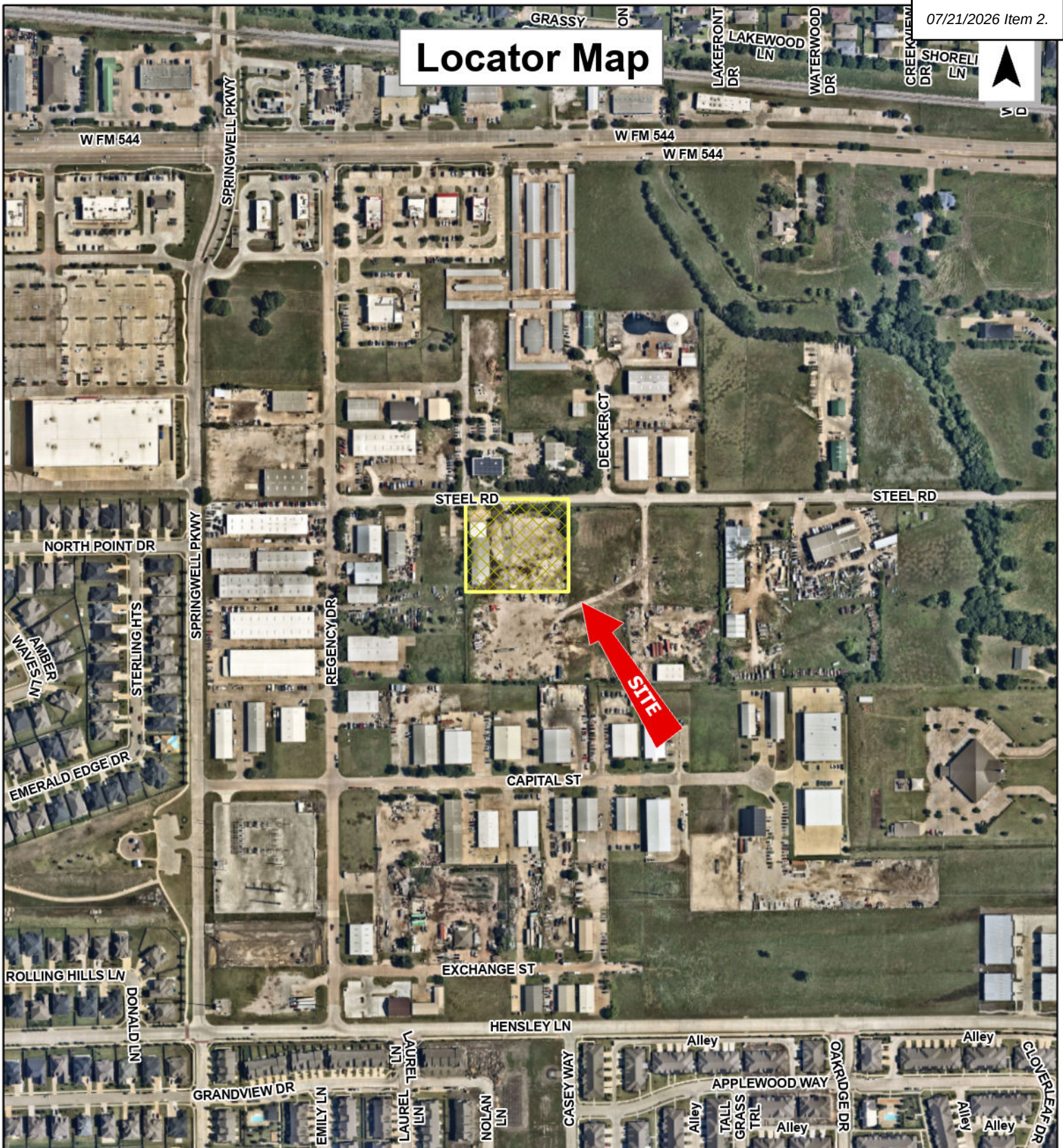
If approved, the zoning exhibit shall serve as the site plan for the warehouse development. The preliminary plat for this development was recommended for approval by the Planning and Zoning Commission at the July 07, 2026 meeting and will be presented to City Council at the July 28, 2026 meeting.

The adjacent property to the north is zoned within a Planned Development and contains a tree service landscaping company. The development to the east, west and south are zoned Light Industrial and are undeveloped.

The subject property lies within the Industrial sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to 11 property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request.

Locator Map



ZONING CASE:
 ZC 2026-08 31 Steel Road Worthy Addition

 SUBJECT property

0.00 0.05 0.10 0.15 0.20 Miles



Date: 6/30/2026

COMPILED BY: G STAFFORD



PROPERTY BOUNDARY
 EXISTING CONTOUR
 PROPOSED CONCRETE
 PROPOSED WATERLINE
 PROPOSED SEWERLINE
 PROPOSED STORM DRAIN
 PROPOSED OVERHEAD ELECTRIC/COMMUNICATIONS
 PROPOSED TREE
 PROPOSED TRAFFIC FLOW

125
 126

FIRE HYDRANT
 CURB INLET
 TRENCH INLET
 MANHOLE

W
 SS
 STM
 G/P

EXISTING WATERLINE
 EXISTING SEWERLINE
 EXISTING STORM DRAIN
 EXISTING OVERHEAD ELECTRIC/COMMUNICATIONS
 PROPOSED TREE (DESIGN-BUILD BY CONTRACTOR)
 PROPOSED TRAFFIC FLOW

15' SETBACK LINE	EXTENSIVE EDGE OF PAVEMENT TO BE CEMENTED (SEE DIMENSIONAL CONTROL, DETAILS)
20' SETBACK LINE	#7 CONCREENT CURB (TYP) (SEE DIMENSIONAL CONTROL, DETAILS)
30' RIGHT-OF-WAY DEDICATION	HEADER/FLUSH CURB (SEE DIMENSIONAL CONTROL, DETAILS)
12'X35' LARGE TRUCK PARKING	WARRANTED HEADER/FLUSH OF #7 CONCREENT CURB, MATCH BUILT/EXIST. CURB RAMP BLDG. PARKING TO RAMP EXITS, PROVIDE RAILINGS
17'X37' SCREENED DUMPSTER PAD (SEE DIMENSIONAL CONTROL, DETAILS)	DOUBLE VEHICULAR SWING GATE (DESIGN-BUILT BY CONTRACTOR)
5' SIDEWALK	#6 WIDE STRIPING (TYP) WHITE STRIPING ON SIGNALS (YELLOW STRIPING ON CONCRES) (SEE DIMENSIONAL CONTROL, DETAIL)
20' FIRE LINE, ACCESS, AND UTILITY EASEMENT	FIRE LINE (SEE FIRE PROTECTION PLAN FOR MORE DETAILS)
HANDICAP PARKING SPACE W/ MARKING, SIGN, AND WHEELSTOP (SEE DIMENSIONAL CONTROL, DETAILS)	
2 - 14'X30' LOADING DOCKS	
CURB RAMP A 1' MIN. SLOPING WITH NO GREATER THAN 1:12 RATIO, BEING THE TOP AND BOTTOM OF EACH RAMP (SEE DIMENSIONAL CONTROL, DETAILS)	
10'X10' WATER EASEMENT	
20' FIRE LINE, ACCESS, AND UTILITY EASEMENT	
#6 ROLLABLES (SEE DIMENSIONAL CONTROL, DETAILS)	
VEHICULAR SIDE GATE W/ INDOOR RAMP (DESIGN-BUILT BY CONTRACTOR)	
5' SIDEWALK	
"FIRE LINE - NO PARKING" SIGNAGE (SEE FIRE PROTECTION SITE PLAN FOR MORE DETAILS)	

① 12 x 16 ROLL UP DOOR

② PAINT (PARCHMENT) / UltraCrete TEXTURE COATING
HEX CODE #F1E3D2

③ PAINT (FRENCH BEIGE) / UltraCrete TEXTURE COATING
HEX CODE #A67B5B

④ CUTURED STONE /
Bucks County Country LedgeStone
BY "Legendstone" OR EQUIVALENT

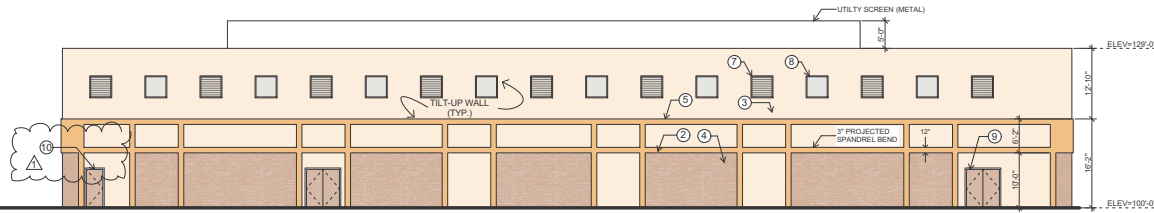
⑤ 1" REVEAL JOINT

⑥ ALUMINUM STOREFRONT

⑦ LOUVER (BLACK)

⑧ WINDOW

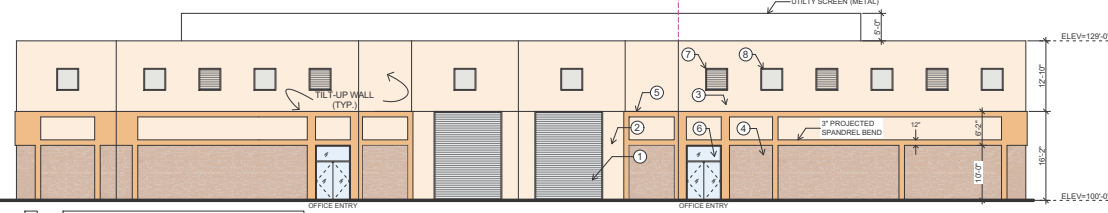
⑨ HOLLOW METAL
DOOR



1 NORTH BUILDING ELEVATION

SCALE: 3/32"=1'-0"

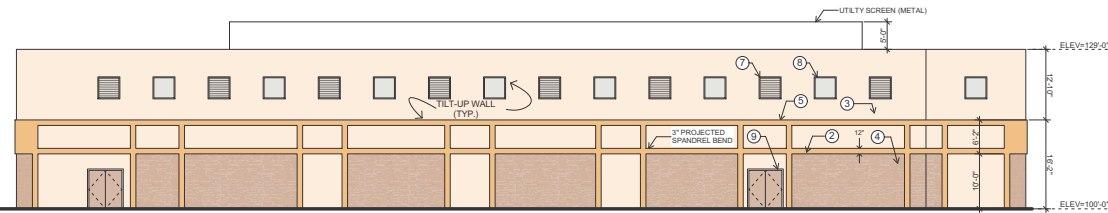
FACADE AREA: 5,322 SF
PAINT AREA: 4,028 SF (76%) / CUTURED STONE AREA 1,073 SF (20%) / WINDOW AREA 104 SF (2%) / LOUVER AREA 117 SF (2%)



2 EAST BUILDING ELEVATION

SCALE: 3/32"=1'-0"

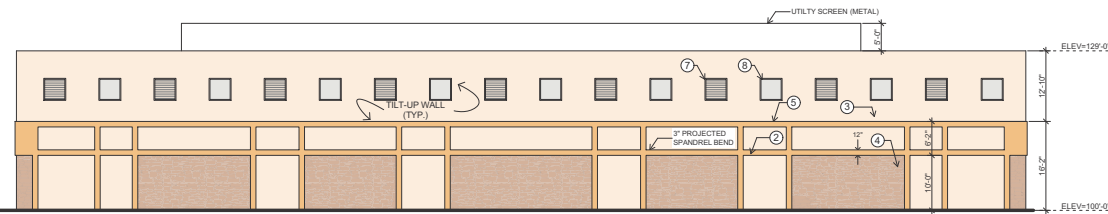
FACADE AREA: 5,332 SF
PAINT AREA: 3,981 SF (75%) / CUTURED STONE AREA 1,172 SF (22%) / WINDOW AREA 104 SF (2%) / LOUVER AREA 65 SF (1%)



3 SOUTH BUILDING ELEVATION

SCALE: 3/32"=1'-0"

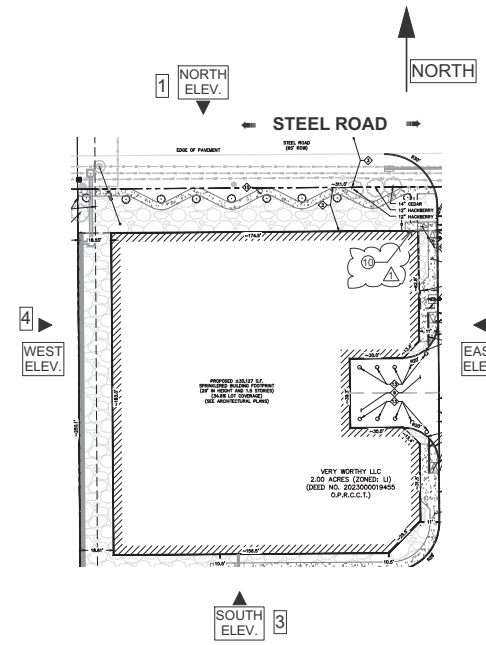
FACADE AREA: 5,322 SF
PAINT AREA: 4,041 SF (76%) / CUTURED STONE AREA 1,073 SF (20%) / WINDOW AREA 104 SF (2%) / LOUVER AREA 104 SF (2%)



4 WEST BUILDING ELEVATION

SCALE: 3/32"=1'-0"

FACADE AREA: 5,329 SF
PAINT AREA: 4,049 SF (76%) / CUTURED STONE AREA 1,059 SF (20%) / WINDOW AREA 104 SF (2%) / LOUVER AREA 117 SF (2%)



ALL SCALE DRAWINGS: DRAWINGS AND NOTATIONS ARE PROVIDED FOR INFORMATION ONLY. NO WARRANTY IS MADE AS TO THE ACCURACY OF THE INFORMATION. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

PROJECT NUMBER: 2610
WAREHOUSE 31
31 STEEL ROAD, WYLE TEXAS

ISSUE DATE
06/05/2026

PRELIMINARY
BUILDING ELEVATIONS

SHEET No:
A.02

WAREHOUSE 31

AIDISI
ARCHITECTURE AND INTERIOR DESIGN
WWW.AIDISI.COM
23111 BASSWOOD DRIVE, SUITE 100, DALLAS, TX 75244
Phone: 972.380.0808

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UNDER THE LICENSE OF
THE STATE OF TEXAS
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REVIEW AND REFERENCE ONLY
APPROVAL PERMITS OR
CONSTRUCTION

VERY WORRY LLC
2.00 ACRES (ZONED: U)
(DEED NO. 2023000019455
O.P.R.C.C.T.)

© 2022/2026 AIDISI

31 STEEL ROAD**CONDITIONS FOR SPECIAL USE PERMIT****I. PURPOSE:**

The purpose of this Special Use Permit is to allow for a Warehouse/Distribution use within the Light Industrial District

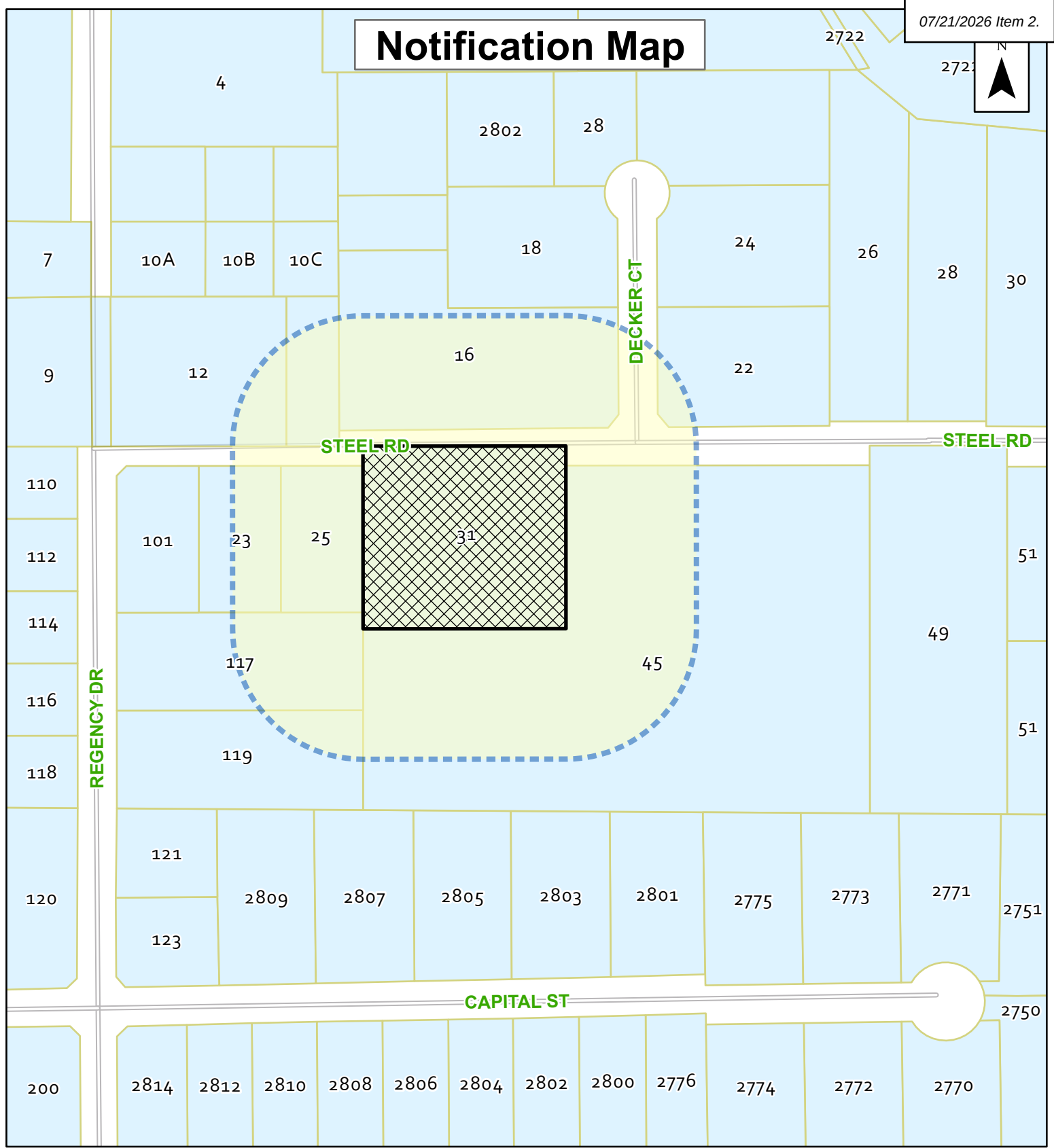
II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations of the Light Industrial District (CC) set forth in Article 4 and 5 of the Comprehensive Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of 31 Steel Road shall be in accordance with Section III below and the zoning exhibit / site plan (attached).

III. SPECIAL CONDITIONS:

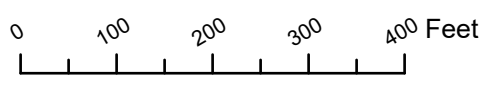
1. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on the subject property:
 - a. Office Showroom/Warehouse
 - b. Warehouse/Distribution Center
2. The zoning exhibit / site plan (attached) shall serve as the Site Plan for the 31 Steel Road development. Approval of the Special Use Permit shall act as site plan approval.

Notification Map



ZONING CASE:
ZC 2026-08 31 Steel Road Worthy Addition

 SUBJECT property  200 foot Notification Buffer



Date: 6/30/2026

COMPILED BY: G STAFFORD





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
 Prepared By: Kevin Molina

Item Number: 3

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change of zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP), to allow for a major auto repair use with vehicle display and sales on 0.71 acres located at 1506 Martinez Lane. **(ZC2026-09)**

Recommendation

Motion to recommend **(approval, approval with conditions or disapproval)** as presented.

Discussion

OWNER: Island of Misfit Toys Trust

APPLICANT: Mila Auto Group LLC

The applicant is requesting a Special Use Permit (SUP) on 0.71, located at 1506 Martinez Lane to allow for an existing 3,200 square foot automobile repair structure to be repurposed to allow for major auto repair with the installation of a detached paint booth and to allow for vehicle displays and sales. The current zoning is Light Industrial (LI) and the Special Use Permit is needed to allow for an automobile major repair use with vehicle display and sales.

The existing building was originally constructed in 1991. The property has been used for vehicle repair and box truck vehicle rental services, uses allowed by right.

In addition to the requested uses, the Special Use Permit is requesting to allow for existing service and loading areas to face Martinez. The developer shall be required to be in full compliance with city planning, engineering and fire site design standards.

If approved, a site plan and plat submittal shall be required for the review of site, landscaping, elevations, preliminary engineering, and easement design.

The subject property is surrounded by land which is zoned within the Light Industrial District. The development to the west contains an auto repair restoration and custom car build business. The development to the north is undeveloped. The development to the east contains a metal fabrication business. The development to the south contains a single family home.

The subject property lies within the Industrial sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to fourteen property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request.

Locator Map



ZONING CASE:
ZC 2026-09 1506 Martinez Lane Mila Autocare

 SUBJECT property

0.00 0.05 0.10 0.15 0.20 Miles



Date: 7/1/2026

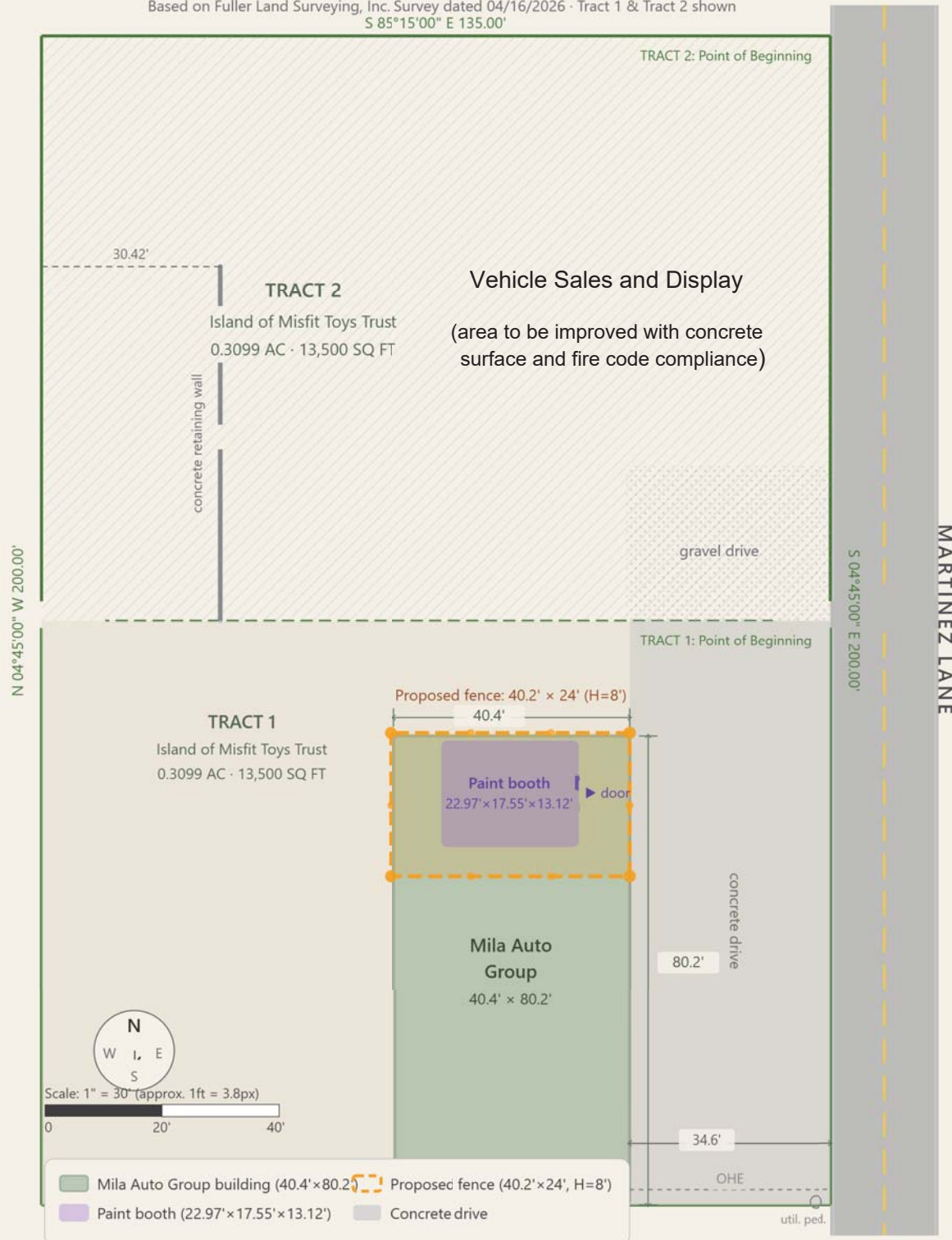
COMPILED BY: G STAFFORD



1506 Martinez Lane, Wylie TX Zoning Exhibit ZC 2026-09 (Conceptual Plan)

Based on Fuller Land Surveying, Inc. Survey dated 04/16/2026 · Tract 1 & Tract 2 shown
S 85°15'00" E 135.00'

07/21/2026 Item 3.



Booth Measurements approx.:

L = 22.97'

W = 17.55'

H 13.12'

Proposed Fenced Area Extension approx.:

(Extend existing fence line to be flush with front of the building)

L = 42'

W = 24'

H = 8'

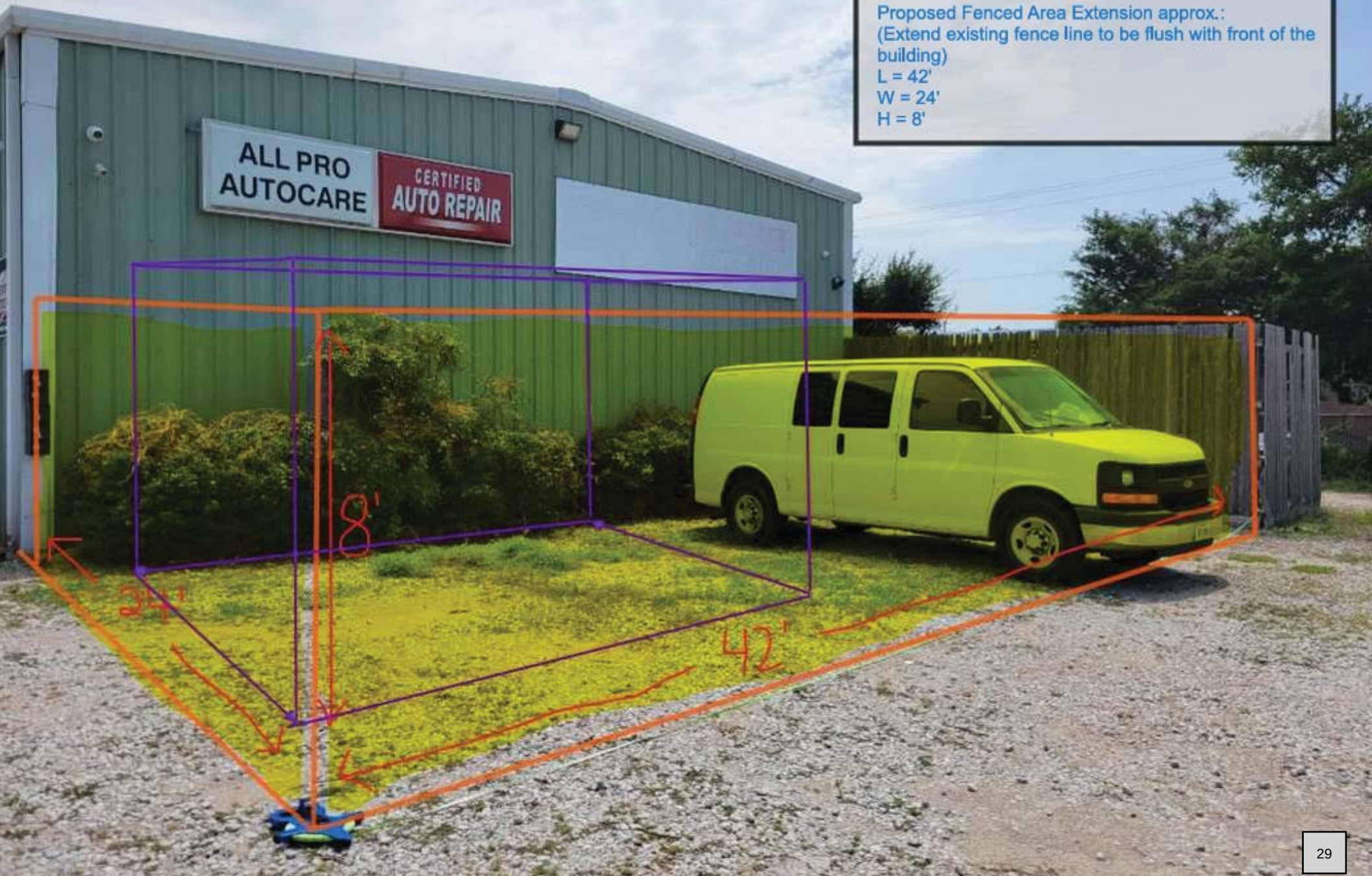




EXHIBIT "C"**MILA AUTO CARE****CONDITIONS FOR SPECIAL USE PERMIT****I. PURPOSE**

1. The purpose of this Special Use Permit is to allow for an automobile repair (major) use with vehicle display and sales within the Light Industrial District

II. GENERAL CONDITIONS

1. This Special Use Permit shall not affect any regulations of the Light Industrial District (LI) set forth in Articles 4 and 5 of the Comprehensive Zoning Ordinance (adopted June 2023), except as specifically provided herein.
2. The design and development of the Mila Auto Care project shall be in accordance with Section III below and the Zoning Exhibit (Exhibit "B").

III. SPECIAL CONDITIONS

1. This Special Use Permit shall allow for an automobile repair (major) use within the Light Industrial District.
2. This Special Use Permit shall allow for a vehicle display and sale use within the Light Industrial District.
2. This Special Use Permit shall allow for the existing service and loading areas facing Martinez Lane to remain.
3. The development shall be in full compliance with fire code and thoroughfare design standards.

WYLIE
BUTANE
MHP

