

Wylie Zoning Board of Adjustments Regular Meeting

August 16, 2021 – 6:30 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Board regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Board requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Board is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Board and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon approval of the Minutes for July 19, 2021 Meeting.

REGULAR AGENDA

1. Hold a Public Hearing to consider and act upon a request by David Ordanez for a variance to Figure 4-5, Figure 4-7 and Section 4.3.D.4 of the Zoning Ordinance to allow for service and loading areas to face a public street. Property located at 1602 Martinez Lane. ZBA 2021-12
2. Hold a Public Hearing to consider and act upon a request by Paul Louk for a variance to Section 11.3.1.2 and 113.1.4 of Planned Development 2021-08 to allow for reduced rear and side setbacks for an addition to a single-family home. Property located at 1415 Eugene Drive. ZBA 2021-13

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on August 13, 2021 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Board should determine that a closed or executive meeting or session of the Board or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Board at the date, hour and place given in this notice as the Board may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Zoning Board of Adjustment

AGENDA REPORT

Meeting Date: August 16, 2021
Department: Planning
Prepared By: Mary Bradley
Date Prepared: August 10, 2021

Item: A
Subdivision: _____
Zoning District: _____
Exhibits: Minutes

Subject

Consider, and act upon, Minutes from the July 19, 2021 Regular Zoning Board of Adjustment Meeting.

Recommendation

Motion to **approve** Item A as presented.

Discussion

The Minutes are attached for your consideration.

Approved By

	<i>Initial</i>	<i>Date</i>
Department Director	JH	August 12, 2021



Zoning Board of Adjustment

Minutes
Regular Meeting
July 19, 2021 – 6:30 p.m.
Wylie Municipal Complex – Council Chambers
300 Country Club Road, Bldg. 100
Wylie, TX 75098

CALL TO ORDER

Announce the presence of a Quorum.

Chair Byron Betler called the meeting to order at 6:30PM. and announced a quorum was present. Board Members in attendance; Chair Betler, Board Member Richard Covington, and Board Member Andrew Wight. Board Member Aaron Lovelace. Those absent Board Member Zewge Kagne.

Staff present were Mr. Jasen Haskins, Planning Manager, Mr. Kevin Molina, Senior Planner and Ms. Mary Bradley, Administrative Assistant II.

ELECTION OF CHAIR AND VICE CHAIR

Nominate and motion for Chair.

A nomination was made by Board Member Wight, seconded by Board Member Covington for Board Member Betler to be Chair. A vote was taken and carried 4 - 0.

Nominate and motion for Vice Chair.

A nomination was made by Chair Betler, seconded by Board Member Lovelace for Board Member Wight to be Vice Chair. A vote was taken and carried 4 - 0.

CITIZENS COMMENTS ON NON-AGENDA ITEMS

No one approached the Board Members.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Board and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

A. Consider and act upon approval of the Minutes for the March 22, 2021 Meeting.

Board Action

A motion was made by Vice Chair Wight, and seconded by Board Member Covington, to approve the minutes as submitted. A vote was taken and carried 4 – 0.

WORK SESSION

WS1. Hold a work session to discuss the Zoning Board of Adjustment rules, procedures, and responsibilities.

Staff Comments

Mr. Haskins gave a presentation to the Board Members, stating that the Zoning Board of Adjustment was created by Charter and is a judicial Board. He further reviewed the general responsibilities of the Board: Appeals to administrative decisions; Special exceptions to the Zoning Ordinance and Recommend revisions to the Zoning Ordinance based on variances.

A variance request can be hardship, not financial, not be self-imposed, not contrary to the public interest, the spirit of the ordinance is observed and the concurring vote of 75 percent of the members of the board is necessary.

REGULAR AGENDA

Public Hearing

1. Hold a Public Hearing to consider and act upon a request by Shelly Tsai for a variance to Figure 4-3, Sections 4.3.E.1(a), 4.3.E.4(a) and Figure 5-3 of the Zoning Ordinance to allow for a reduction in the required setbacks, landscaping and parking for a re-development located at 501C N State Highway 78. ZBA 2021-05..

Staff Comments

Mr. Haskins addressed the Board Members stating that the property is located at 501C N State Highway 78 and is currently zoned Commercial Corridor. The applicant is requesting to remodel an existing car wash by enclosing it and creating two commercial suites.

The property is non-conforming with the current Zoning Ordinance requirements and requires variances to setbacks, landscaping and parking prior to submittal of Site Plan.

The applicant is proposing to add landscaping on the southwest corner of the subject property. The requested variance is five percent landscape coverage instead of the required 20 percent for commercially zoned districts.

The applicant is proposing to provide 11 parking spaces, which should be adequate for most uses. Any use parked at 1 to 200 or more would be allowed if the variance is granted.

The applicant is requesting the rear and side setbacks of the building remain at zero feet. Without a variance, the structure and use could only remain a car wash.

A hardship may exist due to the shape and size of the lot. Due to the shape of the lot, redevelopment would be limited to a structure smaller than what currently exists.

Public comment forms were mailed to fourteen property owners. No comment forms were received in favor or in opposition of the request.

Public Comments

Chair Betler opened the public hearing for Item 1 at 6:46PM asking anyone present wishing to address Board Members to come forward.

The applicant, Ms. Shelly Tsai addressed the Board Members stating that the car wash was difficult to manage and maintain. Additional concrete will be taken out and landscaping will be installed. The footprint of the building will not be enlarged.

Chair Betler closed the public hearing for Item 1 at 6:47PM.

Board Action

A motion was made by Vice Chair Wight, and seconded by Board Member Lovelace, to grant the variance to Figure 4-3, Sections 4.3.E.1(a) and Figure 5-3 of the Zoning Ordinance to allow for a reduction in the required setbacks, landscaping and parking for a re-development located at 501C N State Highway 78. ZBA 2021-05. A vote was taken and carried 4 - 0.

- 2. Hold a Public Hearing to consider and act upon a request by Jessica Schrader for a variance to Section V.II.14 and Section V.II.15 of Planned Development 2002-52 to allow for a reduction in the required side and rear setbacks of accessory structures. Property located at 1512 Canyon Creek Road. ZBA 2021-06.**

Staff Comments

Mr. Molina approached the Board Members stating that the property is located at 1512 Canyon Creek Road and is currently zoned with Planned Development 2021-06.

The applicant is requesting a reduction in the allowed setbacks for accessory structures from three feet in the rear and three feet on the sides to allow for the placement of a 10 feet by 12 feet pre-manufactured shed. The Planned Development 2002-52 has minimum accessory rear setbacks of 10 feet and five feet for side setbacks.

Public Comment forms were mailed to nineteen property owners. One comment form was received in favor and none in opposition to the request.

Public Comments

Chair Betlerr opened the public hearing for Item 2 at 6:54PM asking anyone present wishing to address Board Members to come forward.

The applicant, Ms. Schrader, approached the Board Members stating that there is a six foot fence along her property and the shed is eight feet in height, however the height does not require a variance. The property behind her is owned by the Homeowners Association.

Chair Betler closed the Public Hearing for Item 2 at 6:55PM.

Board Action

A motion was made by Board Member Covington, and seconded by Vice Chair Wight to grant the variances to Section V.II.14 and Section V.II.15 of Planned Development 2002-52 to allow for a reduction in the required side and rear setbacks for placement of accessory structure. Property located at 1512 Canyon Creek Road. ZBA 2021-04. A vote was taken and carried 4 – 0.

3. **Hold a Public Hearing to consider and act upon a request by Kevin Foley for a variance to 5.2.J.8 of the Zoning Ordinance to allow for an independent self-contained dwelling unit as an accessory use within the structure of an office/showroom use. Property located 25 Steel Road. ZBA 2021-07.**

Staff Comments

Mr. Molina approached the Board Members stating that the property is located at 25 Steel Road and is undeveloped. The property is currently zoned Light Industrial.

The applicant is requesting for the allowance of an accessory use for a caretaker's quarters/domestic or security unit that is located within the structure of a general office/showroom use.

The Zoning Ordinance defines Caretakers Quarters as, “an independent, self-contained dwelling unit located on the same lot as the principal use or structure and which provides residential accommodations for a property manager or security personnel.”

The applicant is asking for an interpretation on the meaning of “independent, self contained” and whether the proposal meets that definition.

The applicant has provided a floor plan which shows the proposed layout for the industrial and living spaces. In staff’s opinion the size of the living space is large and provides a two bedroom space, which can possibly accommodate multiple people. The building is two-story and the living space is upstairs and downstairs.

Public comment forms were mailed to nine property owners. No comment forms were received in favor and one comment form was received in opposition to the request.

Public Comments

Chair Betler opened the public hearing for Item 3 at 7:08PM asking anyone present wishing to address Board Members to come forward.

Mr. Bryan Rogers, Better Design Resources, representative for the applicant, approached the Board Members stating that the living quarters will be approximately 1,000 square feet and will house one adult and one child that will stay one night a week. Mr. Rogers stated that a similar request was approved by the board for 2001 Alanis. Board Members expressed concern of the size of the two-story apartment via the property located at 2001 Alanis was a one bedroom studio apartment.

Mr. Rogers stated that the apartment would be a temporary use. Board Member Covington questioned if a temporary use variance could be considered. Mr. Rogers stated that the applicant's timeframe to live within the apartment is five to seven years, therefore a temporary variance is not feasible.

Mr. Kevin Foley, applicant, approached the Board Members stating that currently he lives in a home in Wylie, but will sell in order to construct the proposed building and then live on the property. The purpose of living on the proposed property is for efficiency purposes, and to keep an eye on investment as there will be a performance agreement with Wylie Economic Development.

Chair Betler closed the public hearing for Item 3 at 7:10PM.

Board Discussion

Vice Chair Wight recommended removing the door leading to the warehouse from the apartment. Mr. Rogers agreed to remove the door. Board Members Covington expressed concern about the type of use needing property management inside the building, about the size of the apartment, and that the request was more of a financial hardship. Chair Betler expressed concern about the request being residential within the Light Industrial District.

Board Action

A motion was made by Vice Chair Wight, and seconded by Board Member Lovelace to grant the variance with stipulation of door to the warehouse from the apartment be removed. A vote was taken and it failed 2-2. The request was denied.

4. **Hold a Public Hearing to consider and act upon a request by Devin Runwicz for a variance to Section 2.5 of the Zoning Ordinance to allow for reduced rear setbacks, reduced roof slope, an increased maximum height, and increased lot coverage of an accessory structure. Property located at 2924 Montague Trail ZBA 2021-08.**

Staff Comments

Mr. Molina approached the Board Members stating that the property is located at 2924 Montague Trail and is currently zoned Single Family 10/24 (SF 10/24).

The applicant is requesting variances to allow for the placement of a 750 square feet detached garage with reduced rear setbacks of five feet in lieu of 10 feet, an increased maximum height allowance of 18 feet in lieu of 15 feet, a minimum roof slope of 2:12 in lieu of 3:12 and an increased lot coverage of nine percent in lieu of five percent.

The applicant is planning on installing a lift in the garage for the storage of classic cars.

Public comment forms were mailed to 27 property owners. No comment forms were returned in favor and two comment forms were returned in opposition to the request.

Public Comments

Chair Betler opened the public hearing for Item 4 at 7:31 PM asking anyone present wishing to address Board Members to come forward.

Mr. Devin Runwicz, the applicant, approached the Board Members stating that he collects and works on classic cars. The proposed garage will store multiple classic cars and a boat, and various household items.

Chair Beltler closed the public hearing at 7:33 PM.

Board Discussion

The Board Members discussed the height of the garage and compounding variances and all agreed that the request did not fit in the neighborhood or meet the spirit of the ordinance.

Board Action

A motion was made by Vice Chair Wight and seconded by Board Member Covington to deny the variances as requested. Property located at 2924 Montague Trail. A vote was taken and carried 4 - 0.

- 5. Hold a Public Hearing to consider and act upon a request by Robert Diaz for a variance to Section 6.3.E.6 of the Zoning Ordinance to allow for an increased size of a monument size for the Downtown Historic District. Property located at 112 S. Ballard. ZBA 2021-09.**

Staff Comments

Mr. Molina approached the Board Members stating that the property is located at 112 S Ballard and is currently zoned Downtown Historic District (DTH).

The applicant is the City of Wylie, and the request is to allow an electronic sign that measures a maximum of 15 feet in width and 11 feet in height, being a total square footage of 165 square feet. The regulations within the Downtown Historic District, Article 6, Section 6.3.E.6 of the Zoning Ordinance does not specifically allow for monument signs to be placed within the district boundaries.

Comment forms were mailed to 26 property owners, and one comment was received in favor and none were received in opposition to the request.

Public Comments

Chair Betler opened the public hearing for Item 5 at 7:42PM asking anyone present wishing to address Board Members to come forward.

Mr. Robert Diaz, Parks and Rec Director, approached the Board Members stating that the purpose of the sign is to update the current metal black sign. An existing monument sign is across the street and the proposed sign will be similar to the existing sign.

Chair Betler closed the public hearing for Item 5 at 7:44PM.

Board Action

A motion was made by Vice Chair Wight, and seconded by Chair Betler to grant the variance to Section 6.3.E.6 of the Zoning Ordinance to allow for an increased size of a monument size for the Downtown Historic District. A vote was taken and carried 4 - 0.

- 6. Hold a Public Hearing to consider and act upon a request by Marquis Ellis for a variance to Section 5.5.A of the Zoning Ordinance to allow for an extension to the time frame allowed for two temporary buildings. Property located at 1451 Park Boulevard. ZBA 2021-10**

Staff Comments

Mr. Molina approached the Board Members stating that the property is Bearfoot Lodge Private School located at 1451 Park Boulevard, and currently zoned Planned Development 2002-39.

The applicant is requesting to extend temporary building use from 90 days to 150 days for two temporary buildings. The purpose of the temporary buildings is that the building had damage during the winter storm in February and construction is underway to complete the repairs. The temporary buildings are used for two classrooms.

Public comment forms were mailed to 16 property owners; no comment forms were received in favor or in opposition to the request.

Public Comments

Chair Betler opened the public hearing at 7:45PM asking anyone present wishing to address Board Members to come forward. With no one approaching the Board Members, Chair Betler closed the public hearing.

Board Action

A motion was made by Board Member Covington, and seconded by Board Member Lovelace to grant the variance to Section 5.5.A of the Zoning Ordinance to allow for an extension to the time frame allowed for two temporary buildings. Property located at 1451 Park Boulevard ZBA 2021-10. A vote was taken and carried 4 - 0.

- 7. Hold a Public Hearing to consider and act upon a request by Wakass Abdrazak for a variance to Figure 4-5, Figure 4-7 and Section 4.3.D.4 of the Zoning Ordinance to allow for service and loading areas to face a public street. Property located at 100 Kristen Lane. ZBA 2021-11**

Staff Comments

Mr. Molina approached the Board Members stating that the property is located at 100 Kristen Lane and is currently zoned Light Industrial.

The applicant is requesting a variance to allow service and loading areas to face a public street. The applicant has stated that the hardship is due to the property being on a corner lot thereby having two street facings.

Public comment forms were mailed to 15 property owners; no comment forms were received in favor or in opposition to the request.

Public Comments

Chair Betler opened the public hearing for Item 7 at 7:55PM, asking anyone present wishing to address Board Members to come forward.

Mr. Kiew Kam, Triangle Engineering, representative for the applicant, approached the Board Members stating that Kristen Lane is a private street. A drive-in ramp will be installed off Martinez, and three loading areas will be provided off Kristen Lane.

Mr. Dennis Williams 120 Kristen Lane approached the Board Members stating he was in opposition and expressed concern of blocking Martinez Lane and Kristen Lane with 18-wheeler trucks.

Mr. Kaliq, representative for DCMG architecture, approached the Board Members stating that the use of the building is a medical use, and the trucks will not be 18-wheel trucks but half-ton trucks.

Chair Betler closed the public hearing at 8:07PM for Item 7.

Board Discussion

Vice Chair Wight expressed concern about the number of loading areas and the drive-up ramp and possibly blocking Martinez Lane. Staff stated that the applicant will still need to submit a site plan for consideration by the Planning and Zoning Commission prior to construction. The requested variance is just for the overhead door facing Martinez, as currently submitted.

Board Action

A motion was made by Board Member Lovelace and seconded by Board Member Covington to grant the variance to Figure 4-5, Figure 4-7 and Section 4.3.D.4 of the Zoning Ordinance to allow for service and loading areas to face a public street. A vote was taken and failed 3 -1, with Vice Chair Wight in opposition.

Ms. Bradley stated that there will be a meeting on August 16, 2021. Vice Chair Wight stated that he will not be able to attend the meeting.

ADJOURNMENT

A motion was made by Board Member Covington and seconded by Chair Betler, to adjourn the meeting at 8:10PM. A vote was taken and carried 4 – 0.

Byron Betler, Chair

ATTEST:

Mary Bradley



Wylie Zoning Board of Adjustment

AGENDA REPORT

Meeting Date:	<u>August 16, 2021</u>	Item Number:	<u>1</u>
Department:	<u>Planning</u>	Case Number:	<u>2021-12</u>
Prepared By:	<u>Kevin Molina</u>	Project Location:	<u>1602 Martinez Lane</u> <u>Tract 13 of Abstract A0267 E C</u>
Date Prepared:	<u>August 09, 2021</u>	Subdivision Name:	<u>Davidson Survey</u> <u>Locator Map, Site Plan,</u>
		Exhibits:	<u>Elevation, Notification Map</u>

Subject

Hold a Public Hearing to consider and act upon a request by David Ordanez for a variance to Figure 4-5, Figure 4-7 and Section 4.3.D.4 of the Zoning Ordinance to allow for service and loading areas to face a public street. Property located at 1602 Martinez Lane. **ZBA 2021-12**

Discussion

Applicant: David Ordanez

Owner: David Ordanez

The subject property is located at 1602 Martinez Ln and is currently zoned in the Light Industrial district.

The applicant is proposing to develop an office warehouse building for a self-owned HVAC repair company. The applicant is requesting a variance to allow service and loading areas to face a public street.

The applicant has stated that there is a hardship due to the property being on a rectangular lot. The rectangular shape of the lot makes the building's orientation with garage doors facing Martinez Lane the most feasible option for the development of the site. The property across the street of the subject property is also zoned Light Industrial. Within the Creek Bend Industrial Park there are other structures that have service and loading areas that face a public street. The intent of the ordinance is to keep acceptable drive-by aesthetics thereby protecting property values.

If this variance were to be approved a full site plan review and approval will be required by the Planning and Zoning Commission.

Public comment forms were mailed to thirteen (13) property owners within 200 feet of this request, as required by State Law. At the time of posting no comment forms were returned in favor or in opposition to the request.

The Board shall not grant a variance to the development code which:

- (1) Permits a land use not allowed in the zoning district in which the property is located; or
- (2) Is in the public right-of-way or on public property; or
- (3) Alters any definition of the development code; or
- (4) Is other than the minimum variance that will afford relief with the least modification possible to the requirements of the development code; or
- (5) Is based on physical conditions or circumstances of the property so general or recurring in nature as to reasonably make practicable the formulation of a general regulation to be adopted as an amendment to the development code; or
- (6) Is based exclusively on findings of personal or financial hardship.

In order to grant a variance to the development code the Board shall find that all the following have been satisfied:

- (1) That there are unique physical circumstances or conditions of the lot, or other exceptional physical condition particular to the affected property;
- (2) That because of these unique physical circumstances or conditions, the property cannot be reasonably developed or used in compliance with the provisions of the development code;
- (3) That due to such unique physical circumstances or conditions, the strict application of the development code would create a demonstrated hardship;
- (4) That the demonstrable hardship is not self-imposed;
- (5) That the variance if granted will not adversely affect the proposed development or use of adjacent property or neighborhood;
- (6) That the variance, if granted will not change the character of the zoning district in which the property is located;
- (7) That the variance, if granted is in keeping with the intent of the development code; and
- (8) That the variance, if granted, will not adversely affect the health, safety or welfare of the citizens of Wylie.

Approved By

Department Director


Initial
JH

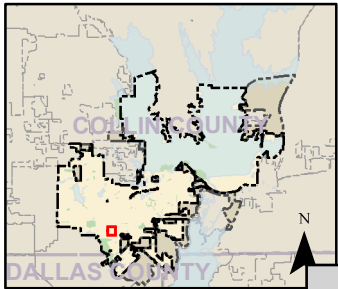
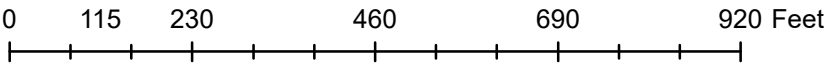
Date
August 12, 2021

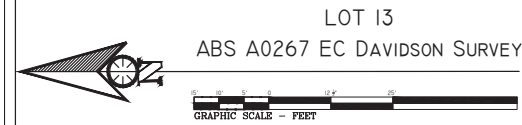
Locator Map



ZBA 2021-12; 1602 Martinez Lane

 Subject Property





NEW BUILD CONSTRUCTION
COMMERCIAL
LIGHT INDUSTRIAL
USE: OFFICE W/
WAREHOUSING STORAGE

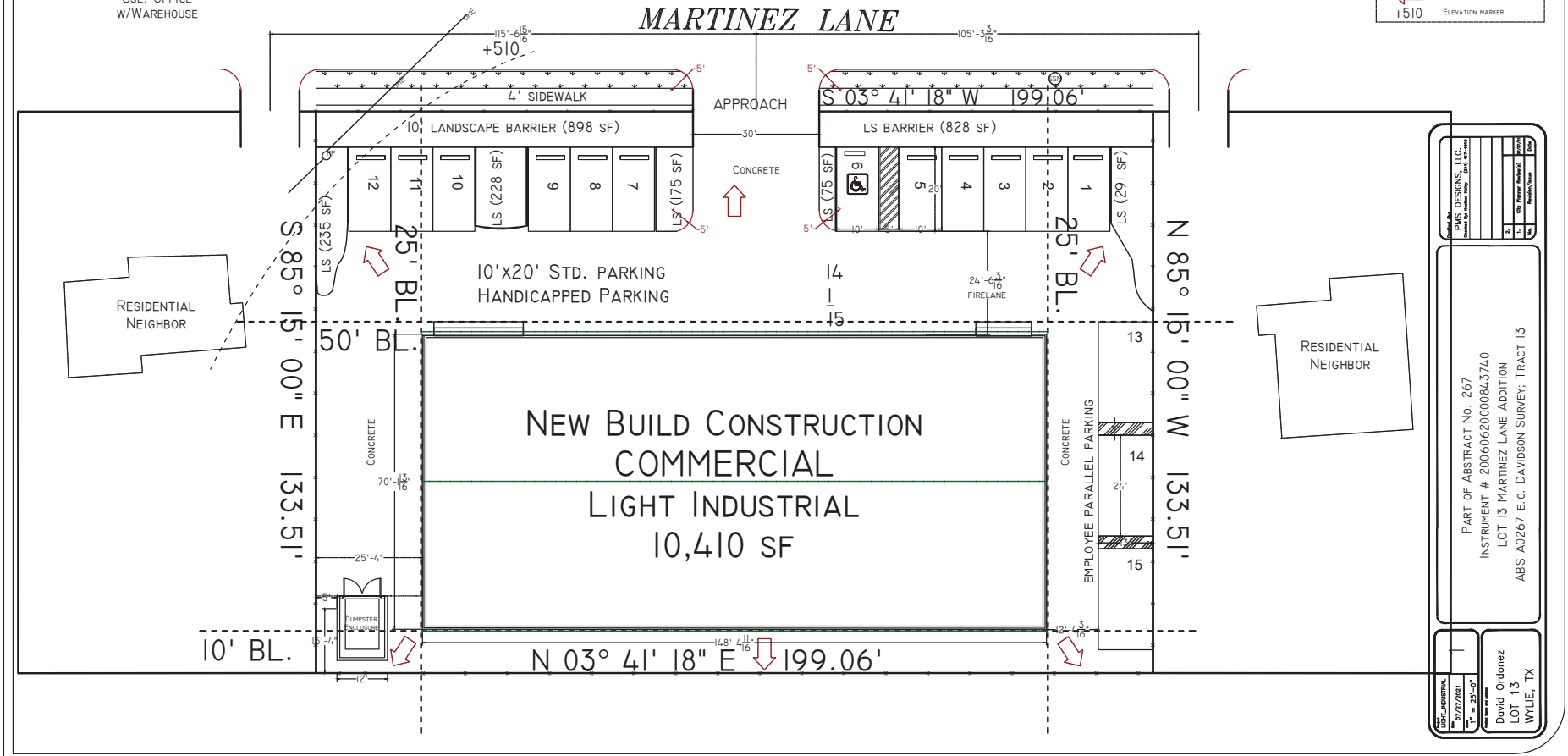
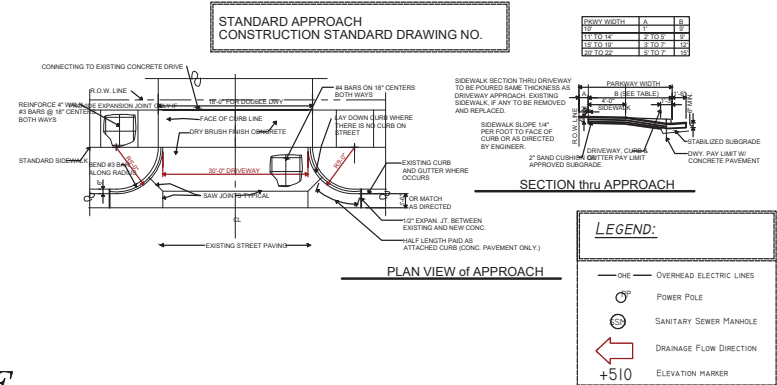
SITE PLAN
0.61 ACRES
26571.6 SF

ZONING: LI
USE: OFFICE
W/WAREHOUSE

PARKING REQUIRED:
14 TTL. SPACES

10% LANDSCAPING REQ'D
2660 SF PROVIDED

LOT COVERAGE 50% MAX
PROPOSED = 40%

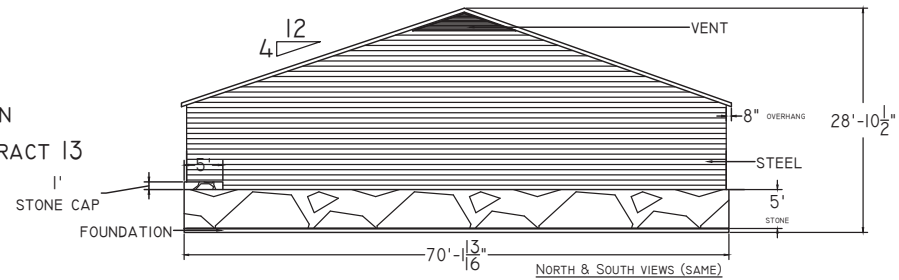




LOT 13
ABS A0267 EC
DAVIDSON SURVEY

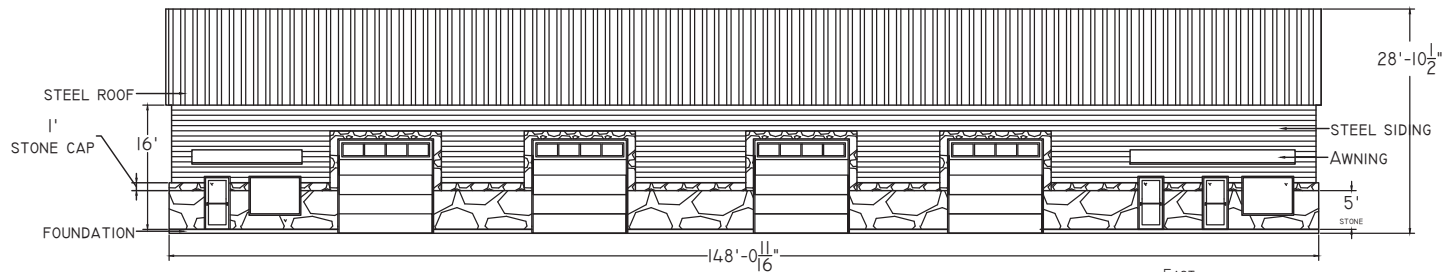
LOT 13 MARTINEZ LANE ADDITION
ABS A0267 E.C. DAVIDSON SURVEY; TRACT 13

NEW BUILD CONSTRUCTION
COMMERCIAL
LIGHT INDUSTRIAL



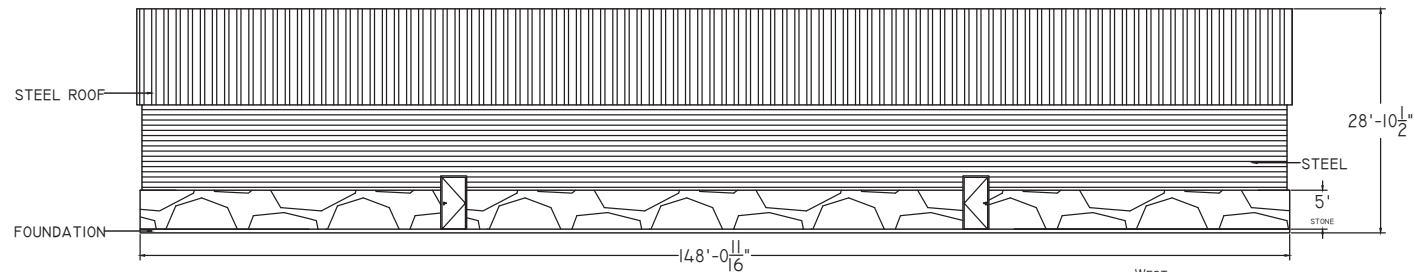
EXTERIOR FACADE		
STONE	STEEL	TOTAL
NORTH 355 SF (100%) 1170 SF		1525 SF
SOUTH 355 SF (100%) 1170 SF		1525 SF

ELEVATION PLAN



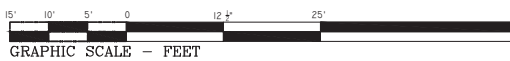
EAST -
FACING MARTINEZ LANE

EXTERIOR FACADE			
STONE	EGRESS	STEEL	TOTAL
EAST 534 SF (100%) 709 SF		1019 SF	2322 SF



WEST -
BACK OF BUILDING

EXTERIOR FACADE			
STONE	EGRESS	STEEL	TOTAL
WEST 993 SF (100%) 446 SF (100%) 1250 SF		1250 SF	2299 SF



GRAPHIC SCALE - FEET

Drawn By: Heather Kelly		Date: 08/13/2021	
Checked By: Heather Kelly		Scale: 1/16" = 1'-0"	
Project Name and Address		LOT 13 WYLLIE, TX	
No.	Revision/Issue	Total	
2			
1			

LOT 13 MARTINEZ LANE ADDITION
ABS A0267 E.C. DAVIDSON SURVEY; TRACT 13

ELEVATION PLAN

Project Name and Address		LOT 13 WYLLIE, TX	
Project Name and Address		LOT 13 WYLLIE, TX	
Project Name and Address		LOT 13 WYLLIE, TX	
Project Name and Address		LOT 13 WYLLIE, TX	
Project Name and Address		LOT 13 WYLLIE, TX	



LOT 13
ABS A0267 EC DAVIDSON SURVEY

LOT 13 MARTINEZ LANE ADDITION
ABS A0267 E.C. DAVIDSON SURVEY; TRACT 13

NEW BUILD CONSTRUCTION
COMMERCIAL
LIGHT INDUSTRIAL

FLOORPLAN

AREA TABULATIONS:

OFFICE	1138 SF
WAREHOUSE	9378 SF
TOTAL	10,516 SF

STOREFRONT WINDOWS

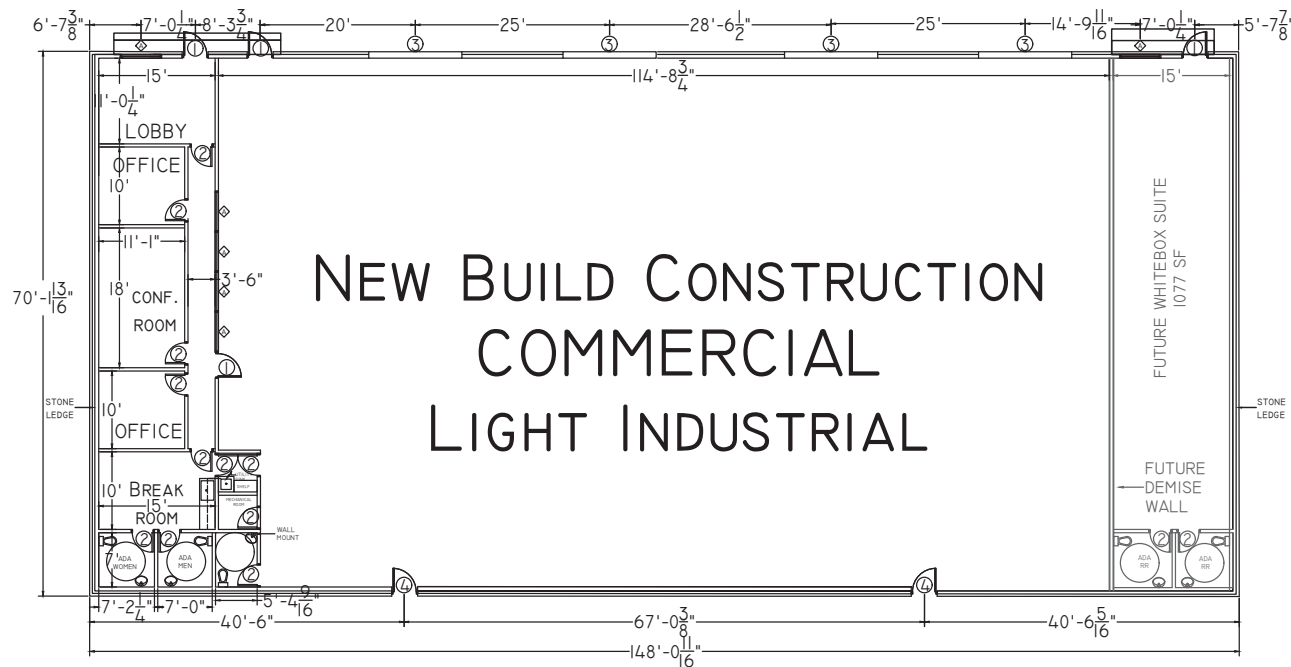
A	80	X	60	FIXED
---	----	---	----	-------

DOOR SCHEDULE

1	3'-0"	X	6'-8"	GLASS STOREFRONT
2	2'-8"	X	6'-8"	INTERIOR PANEL DOOR
3	12/0	X	12/0	OVERHEAD DOOR
4	3'-0"	X	6'-8"	METAL SECURITY DOOR

CONSTRUCTION NOTES:

2015 IBC, IECC, NEC, IMC, IPC & IFC



Prepared By: PMS DESIGNS, LLC.
Checked By: Heather Kelly (214) 417-4810

No.	Revision/Issue	Date
2		
1		

LOT 13 MARTINEZ LANE ADDITION
ABS A0267 E.C. DAVIDSON SURVEY; TRACT 13

FLOORPLAN

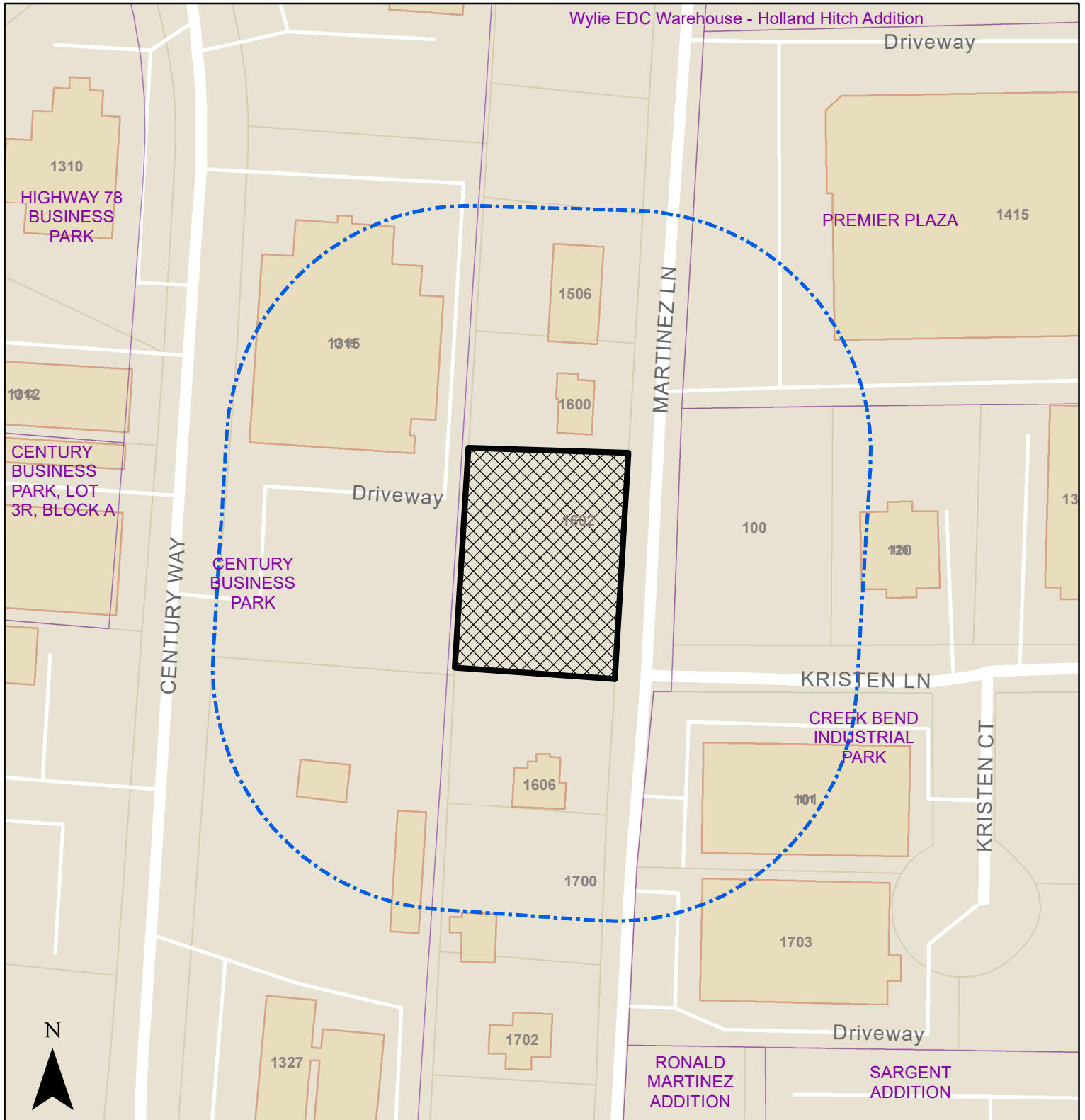
2

Project: LIGHT INDUSTRIAL
Date: 06/13/2021
Scale: 1/16" = 1'-0"

Prepared Name and Address:
David Ordonez
LOT 13
WYLIE, TX

Notification Map

08/16/2021 Item 1.



ZBA 2021-12; 1602 Martinez Lane

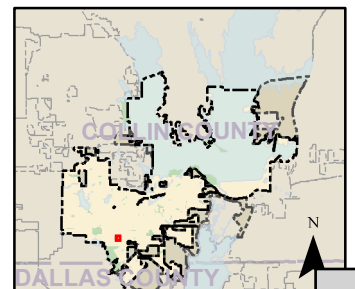


200 Foot Notification Buffer



Subject Property

0 55 110 220 330 440 Feet





Wylie Zoning Board of Adjustment

AGENDA REPORT

Meeting Date:	<u>August 16, 2021</u>	Item Number:	<u>2</u>
Department:	<u>Planning</u>	Case Number:	<u>2021-13</u>
Prepared By:	<u>Kevin Molina</u>	Project Location:	<u>1415 Eugene Dr</u>
Date Prepared:	<u>August 09, 2021</u>	Subdivision Name:	<u>Creekside Estates Phase I</u>
		Exhibits:	<u>Locator Map, Site Plan, Elevation, Notification Map</u>

Subject

Hold a Public Hearing to consider and act upon a request by Paul Louk for a variance to Section 11.3.1.2 and 11.3.1.4 of Planned Development 2021-08 to allow for reduced rear and side setbacks for an addition to a single-family home. Property located at 1415 Eugene Drive. **ZBA 2021-13**

Discussion

Applicant: Paul Louk

Owner: Paul Louk

The subject property is located at 1415 Eugene Drive and is currently zoned in the Creekside Estates Planned Development 2021-08 .

The applicant is requesting a variance to allow for rear setbacks of 7' in lieu of 25' and side setbacks of 5' in lieu of 6' for a 780 sq.ft. addition to a single family home.

The purpose of the setback in the Ordinance is to preserve open space, lot coverage, and privacy based on the needs and design of each community.

The applicant has stated that the variance is needed to allow for the proposed home addition and accommodate for space for residents and guests.

Public comment forms were mailed to twenty-five (25) property owners within 200 feet of this request, as required by State Law. At the time of posting no comment forms were returned in favor or in opposition of the request.

The Board shall not grant a variance to the development code which:

- (1) Permits a land use not allowed in the zoning district in which the property is located; or
- (2) Is in the public right-of-way or on public property; or
- (3) Alters any definition of the development code; or
- (4) Is other than the minimum variance that will afford relief with the least modification possible to the requirements of the development code; or
- (5) Is based on physical conditions or circumstances of the property so general or recurring in nature as to reasonably make practicable the formulation of a general regulation to be adopted as an amendment to the development code; or
- (6) Is based exclusively on findings of personal or financial hardship.

In order to grant a variance to the development code the Board shall find that all the following have been satisfied:

- (1) That there are unique physical circumstances or conditions of the lot, or other exceptional physical condition particular to the affected property;
- (2) That because of these unique physical circumstances or conditions, the property cannot be reasonably developed or used in compliance with the provisions of the development code;
- (3) That due to such unique physical circumstances or conditions, the strict application of the development code would create a demonstrated hardship;
- (4) That the demonstrable hardship is not self-imposed;
- (5) That the variance if granted will not adversely affect the proposed development or use of adjacent property or neighborhood;
- (6) That the variance, if granted will not change the character of the zoning district in which the property is located;
- (7) That the variance, if granted is in keeping with the intent of the development code; and
- (8) That the variance, if granted, will not adversely affect the health, safety or welfare of the citizens of Wylie.

Approved By**Department Director***Initial*

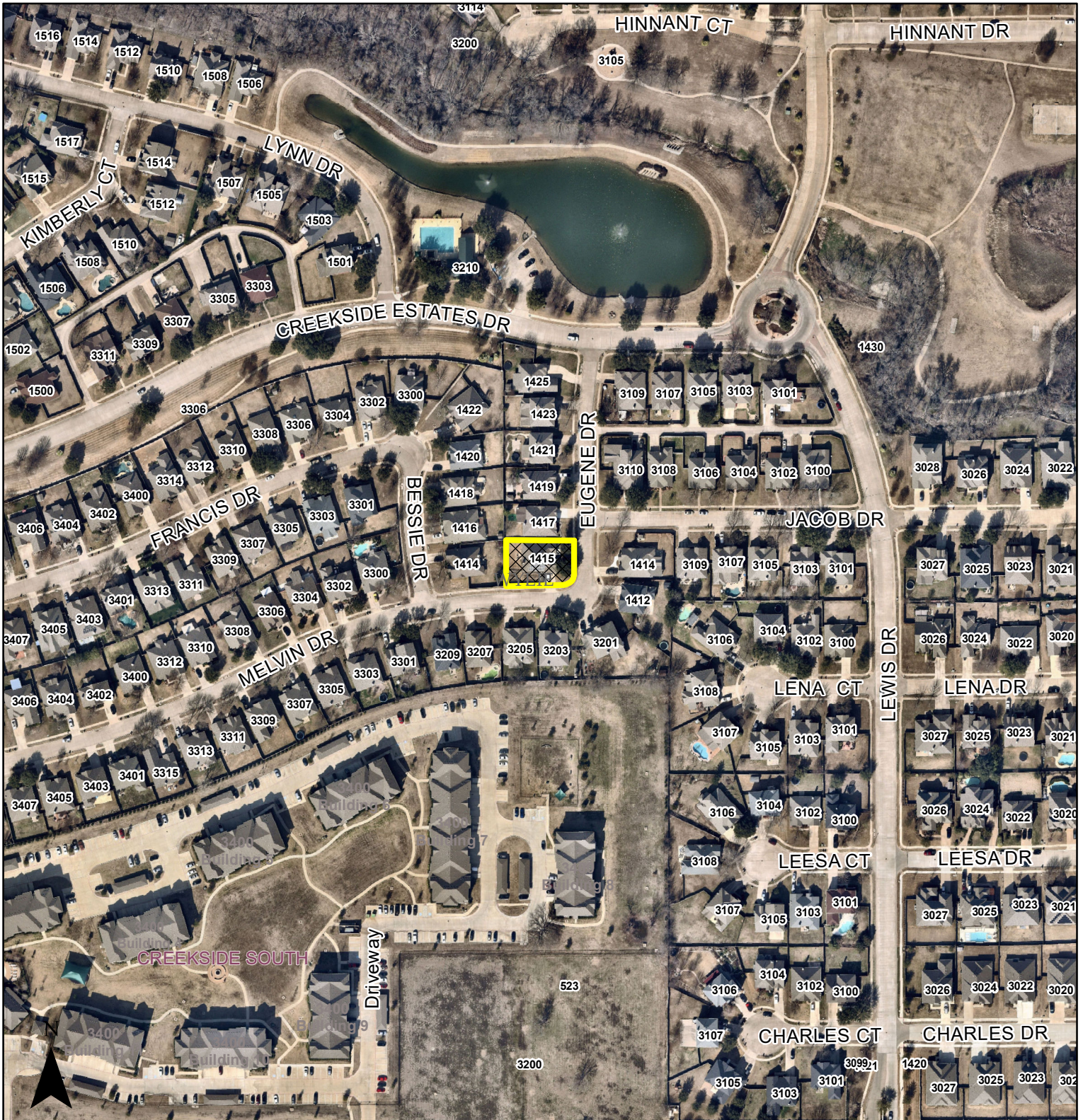
JH

Date

August 10, 2021

Locator Map

08/16/2021 Item 2.

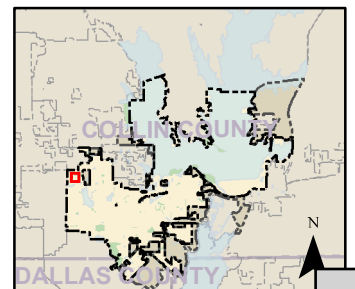


ZBA 2021-13; 1415 Eugene Drive



Subject Property

0 115 230 460 690 920 Feet





EUGENE DRIVE HOUSE
1415 EUGENE DRIVE
WYLLIE, TEXAS 75098

COVER SHEET/

08/16/2021 Item 2.

A

Project #

Project #

VINCINITY MAP



PROJECT NOTES

SITE AREA: 9,047 SF
0.2 ACRE
BUILDING FOOT PRINT: 3,545 SF
(HOUSE AND GARAGES)
LOT COVERAGE: 39%

BUILDING AREA

GROSS SF

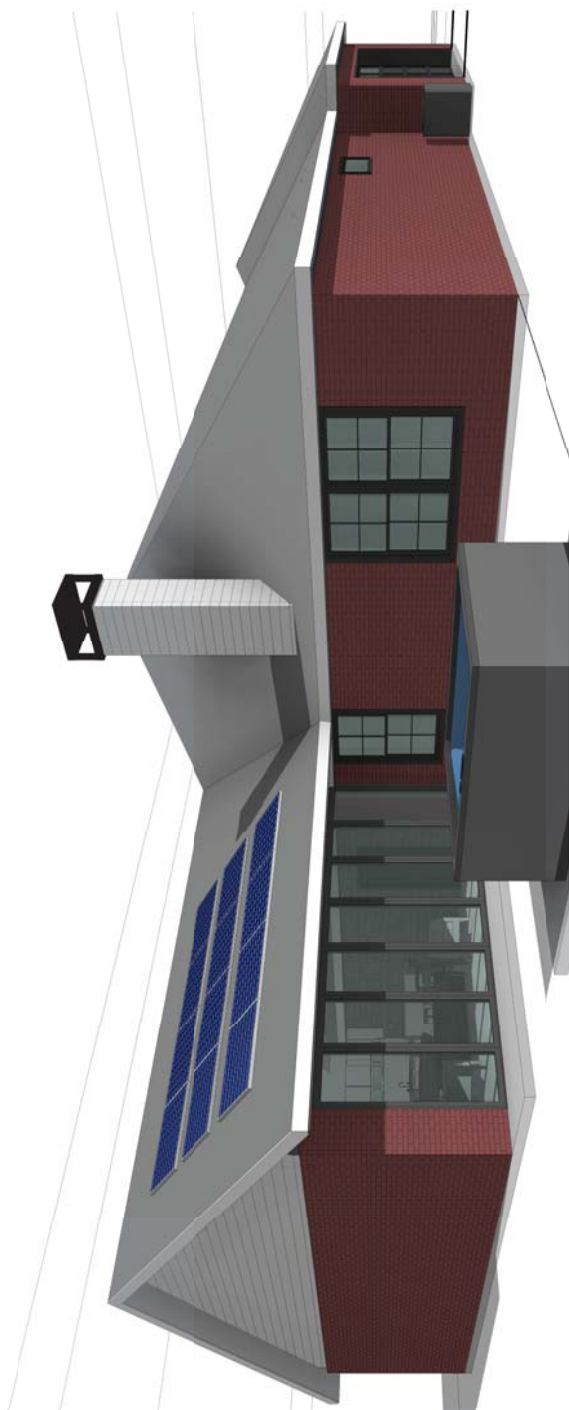
LEVEL 1: 3,545 SF

TOTAL GROSS: 3,545 SF

NET SF

LEVEL 1: 2,929 SF

TOTAL NET: 2,929 SF



NOTE:
PERSPECTIVES ARE CONCEPTUAL AND DO NOT
DEPICT FINAL PRODUCT.

EUGENE DRIVE HOUSE

1415 EUGENE DRIVE

WYLLIE, TEXAS 75098

PROJECT SCOPE
THIS IS A 663 SF ADDITION TO AN EXISTING SINGLE STORY BRICK SINGLE FAMILY RESIDENCE.

SHEET INDEX		SHEET NAME
#		
A-1	COVER SHEET INDEX	
A-2	SCHEMATIC COLOR ANALYSIS	
A-3	SECTION	
A-4	FLOOR PLAN	
A-5	SECTION	
A-6	DOOR THRESHOLD FLOOR PLAN	
A-7	REFLECTED CEILING PLAN	
A-8	REFLECTED CEILING PLAN	
A-9	PLUMBING PLAN	
A-10	PLUMBING PLAN	
A-11	EXTERIOR ELEVATIONS	
A-12	EXTERIOR ELEVATIONS	
A-13	WALL BUILDING SECTIONS	
A-14	WALL BUILDING SECTIONS	
A-15	EXTERIOR ELEVATIONS	
A-16	EXTERIOR ELEVATIONS	
A-17	EXTERIOR ELEVATIONS	
A-18	EXTERIOR ELEVATIONS	
A-19	EXTERIOR ELEVATIONS	
A-20	EXTERIOR ELEVATIONS	
A-21	EXTERIOR ELEVATIONS	
A-22	EXTERIOR ELEVATIONS	
A-23	EXTERIOR ELEVATIONS	
A-24	EXTERIOR ELEVATIONS	
A-25	EXTERIOR ELEVATIONS	
A-26	EXTERIOR ELEVATIONS	
A-27	EXTERIOR ELEVATIONS	
A-28	EXTERIOR ELEVATIONS	
A-29	EXTERIOR ELEVATIONS	
A-30	EXTERIOR ELEVATIONS	
A-31	EXTERIOR ELEVATIONS	
A-32	EXTERIOR ELEVATIONS	
A-33	EXTERIOR ELEVATIONS	
A-34	EXTERIOR ELEVATIONS	
A-35	EXTERIOR ELEVATIONS	
A-36	EXTERIOR ELEVATIONS	
A-37	EXTERIOR ELEVATIONS	
A-38	EXTERIOR ELEVATIONS	
A-39	EXTERIOR ELEVATIONS	
A-40	EXTERIOR ELEVATIONS	
A-41	EXTERIOR ELEVATIONS	
A-42	EXTERIOR ELEVATIONS	
A-43	EXTERIOR ELEVATIONS	
A-44	EXTERIOR ELEVATIONS	
A-45	EXTERIOR ELEVATIONS	
A-46	EXTERIOR ELEVATIONS	
A-47	EXTERIOR ELEVATIONS	
A-48	EXTERIOR ELEVATIONS	
A-49	EXTERIOR ELEVATIONS	
A-50	EXTERIOR ELEVATIONS	
A-51	EXTERIOR ELEVATIONS	
A-52	EXTERIOR ELEVATIONS	
A-53	EXTERIOR ELEVATIONS	
A-54	EXTERIOR ELEVATIONS	
A-55	EXTERIOR ELEVATIONS	
A-56	EXTERIOR ELEVATIONS	
A-57	EXTERIOR ELEVATIONS	
A-58	EXTERIOR ELEVATIONS	
A-59	EXTERIOR ELEVATIONS	
A-60	EXTERIOR ELEVATIONS	
A-61	EXTERIOR ELEVATIONS	
A-62	EXTERIOR ELEVATIONS	
A-63	EXTERIOR ELEVATIONS	
A-64	EXTERIOR ELEVATIONS	
A-65	EXTERIOR ELEVATIONS	
A-66	EXTERIOR ELEVATIONS	
A-67	EXTERIOR ELEVATIONS	
A-68	EXTERIOR ELEVATIONS	
A-69	EXTERIOR ELEVATIONS	
A-70	EXTERIOR ELEVATIONS	
A-71	EXTERIOR ELEVATIONS	
A-72	EXTERIOR ELEVATIONS	
A-73	EXTERIOR ELEVATIONS	
A-74	EXTERIOR ELEVATIONS	
A-75	EXTERIOR ELEVATIONS	
A-76	EXTERIOR ELEVATIONS	
A-77	EXTERIOR ELEVATIONS	
A-78	EXTERIOR ELEVATIONS	
A-79	EXTERIOR ELEVATIONS	
A-80	EXTERIOR ELEVATIONS	
A-81	EXTERIOR ELEVATIONS	
A-82	EXTERIOR ELEVATIONS	
A-83	EXTERIOR ELEVATIONS	
A-84	EXTERIOR ELEVATIONS	
A-85	EXTERIOR ELEVATIONS	
A-86	EXTERIOR ELEVATIONS	
A-87	EXTERIOR ELEVATIONS	
A-88	EXTERIOR ELEVATIONS	
A-89	EXTERIOR ELEVATIONS	
A-90	EXTERIOR ELEVATIONS	
A-91	EXTERIOR ELEVATIONS	
A-92	EXTERIOR ELEVATIONS	
A-93	EXTERIOR ELEVATIONS	
A-94	EXTERIOR ELEVATIONS	
A-95	EXTERIOR ELEVATIONS	
A-96	EXTERIOR ELEVATIONS	
A-97	EXTERIOR ELEVATIONS	
A-98	EXTERIOR ELEVATIONS	
A-99	EXTERIOR ELEVATIONS	
A-100	EXTERIOR ELEVATIONS	

FLOOR MATERIAL TAKEOFF		
Material: Description	Material: Area	Material: Comments
CONCRETE FLATWORK	8669 SF	
Grand total	8669 SF	

ROOF MATERIAL TAKEOFF		
Material: Description	Material: Area	Material: Comments
COMPOSITION SHINGLE ROOF	5121 SF	
WOOD FRAMING	5174 SF	
WOOD FRAMING	5174 SF	
WOOD FRAMING	713 SF	
CEILING FINISH		
Grand Total:	16136 SF	

WINDOW SCHEDULE					
TYPE	MARK	WIDTH	HEIGHT	COUNT	COMMENTS
A	B-5"	6'-0"	6'-0"	1	SINGLE HUNG WINDOW, LOWE - WINDOW INSTALL TO BE COMPLETED BY WINDOW SUPPLIER
	A-4"	4'-0"	1'-0"	4	WINDOW - 1 OPERATING UNIT - WINDOW INSTALL TO BE COMPLETED BY WINDOW SUPPLIER

WEST WALL : 343 SF
EAST WALL : 322 SF
HEIGHT ABOVE POOL TABLE: 14'-10"
VAULTED CEILING 713 SF

WALL MATERIAL TAKEOFF		
Material Description	Material Area	Material Comments
AIR BARRIER	1055 SF	
AIR GAP	883 SF	
CEMENTITIOUS SIDING	481 SF	
GYP/SUM BOARD	1097 SF	
MASONRY BRICK VENEER, TYP.	881 SF	
PLYWOOD	1041 SF	
STUCCO SYSTEM	2 SF	
WOOD FRAMING	1055 SF	
WOOD FRAMING	1072 SF	
Grand total	6777 SF	

FLOOR MATERIAL TAKEOFF		
Material: Description	Material: Area	Material: Comments
CONCRETE FLATWORK	8669 SF	
Grand total	8669 SF	

ROOF MATERIAL TAKEOFF		
Material: Description	Material: Area	Material: Comments
COMPOSITION SHINGLE ROOF	5121 SF	
WOOD FRAMING	5174 SF	
WOOD FRAMING	5174 SF	
WOOD FRAMING	713 SF	
CEILING FINISH		
Grand Total:	16136 SF	

WINDOW SCHEDULE					
TYPE	MARK	WIDTH	HEIGHT	COUNT	COMMENTS
A	B-5"	6'-0"	6'-0"	1	SINGLE HUNG WINDOW, LOWE - WINDOW INSTALL TO BE COMPLETED BY WINDOW SUPPLIER
	A-4"	4'-0"	1'-0"	4	WINDOW - 1 OPERATING UNIT - WINDOW INSTALL TO BE COMPLETED BY WINDOW SUPPLIER

WEST WALL : 343 SF
EAST WALL : 322 SF
HEIGHT ABOVE POOL TABLE: 14'-10"
VAULTED CEILING 713 SF

GREEN ENERGY CODE

1. WATER EFFICIENCY	
1. ALL LAWN FAUCETS TO HAVE AN AVERAGE FLOW OF 2.0 GALLIN/ MIN. OR LOWER	
2. ALL SHOWER HEADS TO HAVE AN AVERAGE FLOW OF 2.0 GALLIN/ MIN. OR LOWER	
3. UTILITY ENERGY STAR LABELED DISH WASHERS THAT USE 6.0 GALLONS OR LESS PER CYCLE	
ENERGY EFFICIENCY	
1. RESIDENCE TO BE OTHER JUST ABOVE 2015 IECC (R3) SOFTWARE OR BE ENERGY STAR RATED HERS 7.5	
2. NEW RESIDENCE TO COMPLY WITH THE APPLICABLE CODE ADOPTED BY THE CITY WHERE THE PROPERTY IS LOCATED.	
HEAT ISLAND MITIGATION	
1. 2" OR GREATER SLOPED ROOFS MUST BE ENERGY STAR QUALIFIED OR MAY USE A RAUANT BARRIER OR USE SPRAY FOAM INSULATION AT THE ROOF DECK	
2. INSULATION R-5 OR WALLS WITH R-40 ROOF	
3. WINDOWS ARE TO BE LOW-E WITH U-FACTOR < 0.30 SHGC BARRIER 20	
INDOOR AIR QUALITY	
1. ALL DUCTWORK MUST BE OUTSIDE OF THE RATED GARAGE ENVELOPE	
2. ALL EXTERIOR WALLS AND CEILING JOINTS MUST BE SEALED, FLOOR AND CEILING JOINTS SEALED, PAINTED WALLS AND CEILING OF CONDITIONED SPACES AND DOORS WHEN THEY ARE WORKED	
STORMWATER	
1. TYPE OF NON-ROOF AREA MUST BE UNSEALCOED HAVE PERMEABLE PAVING AND IS CODED FOR RUNOFF TO FILTRATION IS A PORE NO IRRIGATION SYSTEM IF IRRIGATION SYSTEM IS INSTALLED, IT MUST MEET THE CITIES ADOPTED ENERGY CODE REQUIREMENTS.	

ELECTRICAL LEGEND	RCP LEGEND	RCP LEGEND
SWITCH	SMOKE/ CARBON MONOXIDE DETECTOR	SMOKE/ CARBON MONOXIDE DETECTOR
THREE-WAY SWITCH	BATHROOM VERTICAL SCONCE	BATHROOM HORIZONTAL SCONCE
DUPLEX	CEILING FAN WITH LIGHT FIXTURE	CEILING FAN WITH LIGHT FIXTURE
FLOOR DUPLEX	RECESSED CAN LIGHT	RECESSED CAN LIGHT
GFI DUPLEX	PERIMETER LIGHT FIXTURE/ CHIMNELIER	PERIMETER LIGHT FIXTURE/ CHIMNELIER
PHONE OUTLET	WALL WASHER	WALL WASHER
TV OUTLET	SCONCE	SCONCE
220 VOLT OUTLET	BATHROOM EXHAUST FAN	BATHROOM EXHAUST FAN
ELECTRICAL PANEL	HVAC RETURN	HVAC RETURN
	HVAC SUPPLY	HVAC SUPPLY
	CEILING SPOKES	CEILING SPOKES

DOOR SCHEDULE					
TYPE MARK		WIDTH	HEIGHT	COUNT	COMMENTS
1		3' - 0"	10' - 8"	1	INTERIOR POCKET DOOR
2		22' - 10"	8' - 7"	1	PANORAMIC DOOR

1. ALL WORK TO CONFORM TO APPLICABLE NATIONAL STANDARDS AND REGULATIONS HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. ANY DIMENSIONS HAVING INQUIRIES TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
3. ALL DIMENSIONS ARE ASSUMED TO BE IN FEET AND INCHES UNLESS OTHERWISE NOTED. THE CONTRACTOR AND SUBS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SURVEY DATA, VERTICAL AND HORIZONTAL, TO BE USED IN THE DESIGN AND CONSTRUCTION OF THE PROJECT.
4. OBTAIN ALL NECESSARY PERMITS, CERTIFICATES, INSURANCES, ARE REQUIRED PRIOR TO THE START OF CONSTRUCTION. AGENCIES HAVING JURISDICTION.
5. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.
6. DIMENSIONS ARE GENERALLY TO THE FACE OF STUD.
7. ALL WORK MUST BE DONE ACCORDING TO THE NATIONAL STANDARDS AND INDUSTRY PRACTICES.
8. THE STRUCTURAL ENGINEER MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
9. CONTRACTOR TO FIELD VERIFY BUILDING ELEVATIONS AND UTILITIES UTILITIES.
10. ALL EQUIPMENT OPERATIONS ARE REQUIRED FOR ALL OPERATIONS.
11. BEFORE PROCEEDING WITH ANY WORK CONCERNING ANY EXISTING STRUCTURE, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS OF THE EXISTING STRUCTURE. THEIR INTERPRETATION PAST THE BUILDING SHALL BE THE RESPONSIBILITY OF THEIR CORRECTNESS.
12. CONTRACTOR AND OR SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCES AND MARKING ADJUSTMENTS TO THE PLANS AND THE BUILDING SITE.
13. ALL SLOPES TO BE MAX 18:18 OR HEIGHT OF 7.34' AND MIN. TRAIL DEPTH OF 10'.

PROJECT NOTES	SITE AREA: 9,047 SF
	0.2 ACRE
	BUILDING FOOT PRINT: 3,546 SF
	(9,047 SF - 3,546 SF = 5,501 SF)
	LOT COVERAGE: 39%
BUILDING AREA	
	GROSS SL
	LEVEL 1: 3,546 SF
	TOTAL GROSS: 3,546 SF
	<u>NET SF</u>
	LEVEL 1: 2,939 SF
	TOTAL NET: 2,939 SF

NET AREAS		
ROOM NAME	LEVEL	AREA
T.O.C. 1ST FLOOR	T.O.C. 1ST FLOOR	461 SF
22 CAR GARAGE	T.O.C. 1ST FLOOR	650 SF
ADDITION	T.O.C. 1ST FLOOR	2261 SF
LEVEL 1	T.O.C. 1ST FLOOR	104 SF
PATIO	T.O.C. 1ST FLOOR	76 SF
PORCH	T.O.C. 1ST FLOOR	3556 SF
Grand total: 5		

08/16/2021 Item 2.



RESIDENTIAL DESIGNER
ASIDE STUDIO, LLC
JOHNNY JACOBS
214.613.2109
johnny@asidestudio.com
www.asidestudio.com

EUGENE DRIVE HOUSE

1415 EUGENE DRIVE
WYLLIE, TEXAS 75098

SITE PLAN

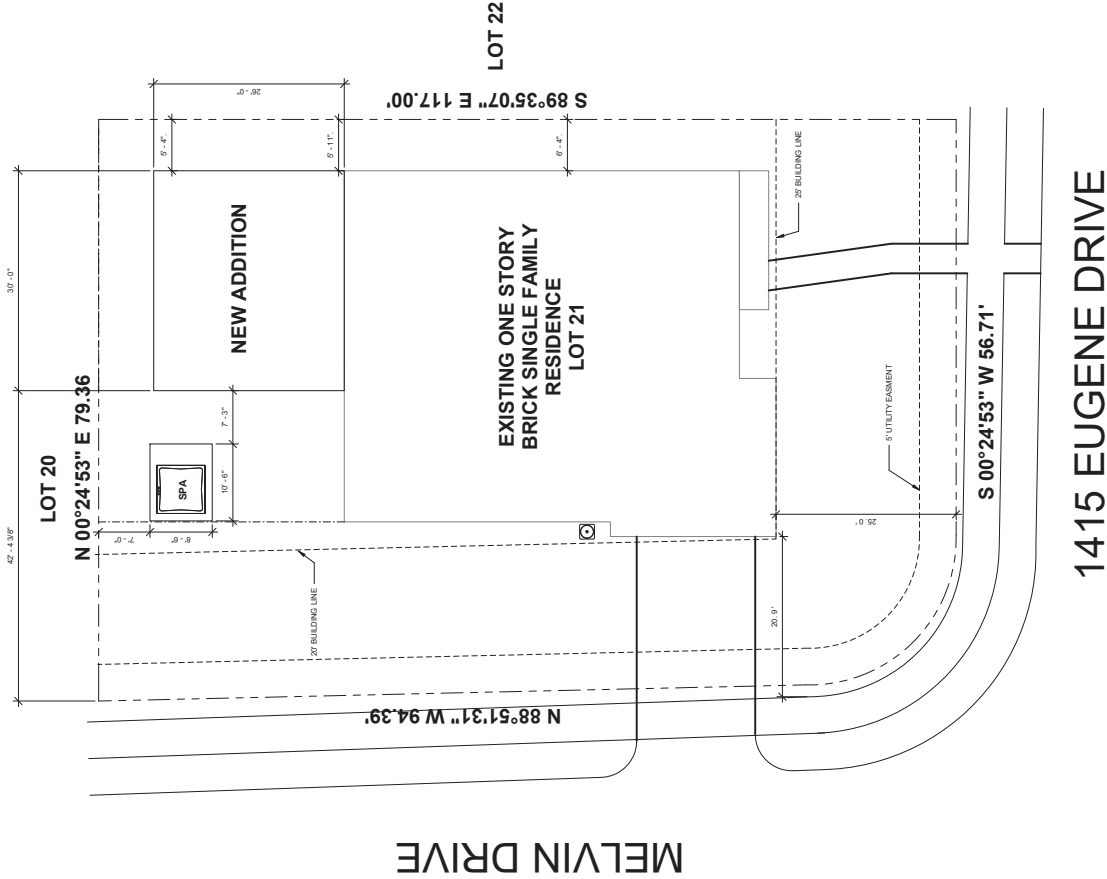
08/16/2021 Item 2.

A

Project #
Scale

PROJECT NOTES	
SITE AREA: 3,947 SF	
BUILDING FOOTPRINT: 3,345 SF	
PERMITTED GROUND COVER (SQ. FT.)	
LOT COVERAGE: 30%	
BUILDING AREA	
GROSS SF	
LEVEL 1: 3,345 SF	
TOTAL GROSS: 3,345 SF	
NET USE	
LEVEL 1: 2,929 SF	
TOTAL NET: 2,929 SF	

GENERAL NOTES	
1.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
2.	DO NOT SCALE DRAWINGS. ANY DIMENSIONS SHOWN ON THIS DRAWING SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
4.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
5.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
6.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
7.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
8.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
9.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
10.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
11.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
12.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.
13.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES, AND REGULATIONS HAVING JURISDICTION.



01 SITE PLAN
SCALE: 1/8" = 1'-0"



RESIDENTIAL DESIGNER
ASIDE STUDIO, LLC
JOHNNY JACOBS
214.615.7509
www.asidestudio.com

EUGENE DRIVE HOUSE

1415 EUGENE DRIVE
WYLLIE, TEXAS 75098

FLOOR PLAN

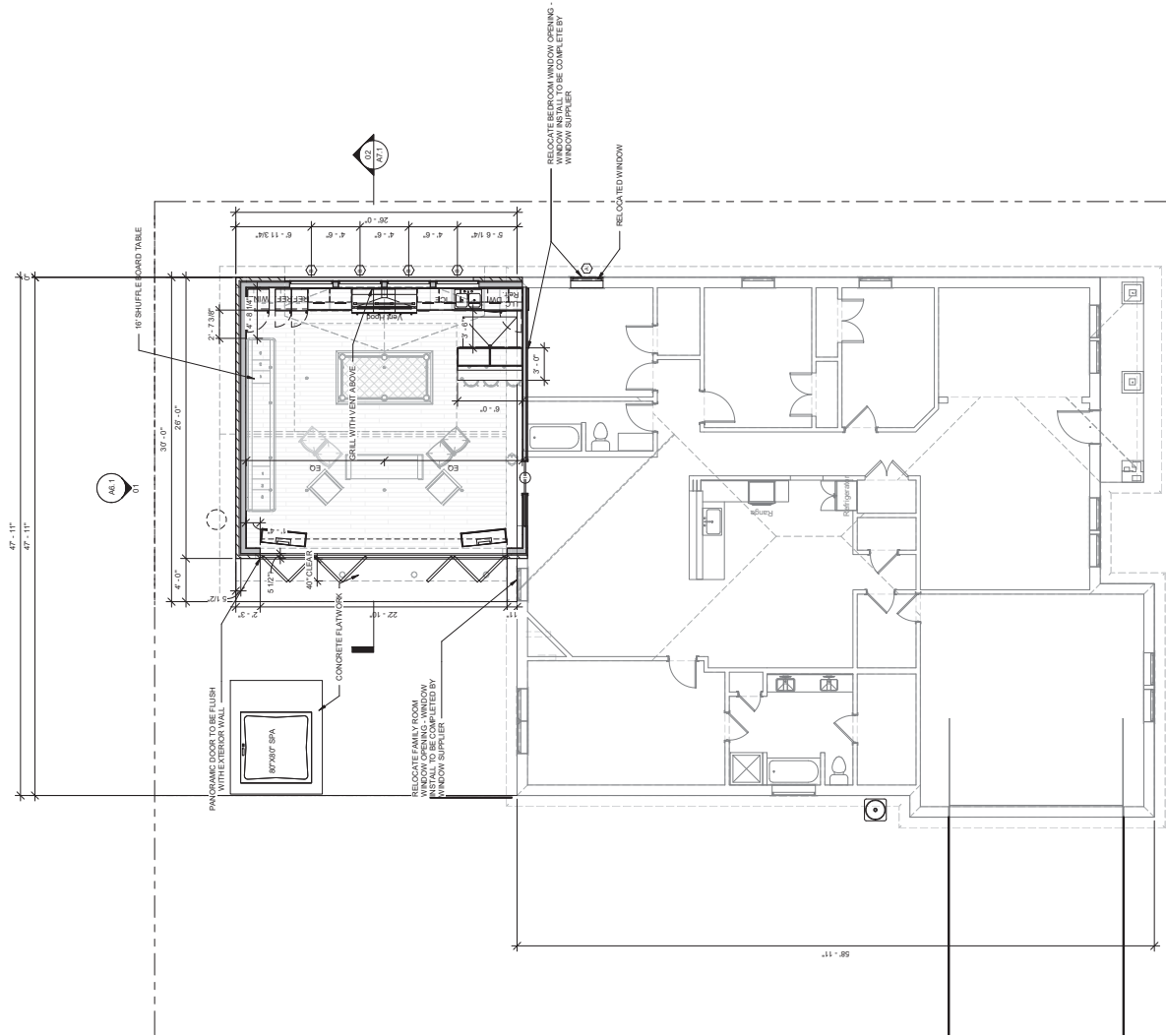
08/16/2021 Item 2.

A

Project #
Scale

GENERAL NOTES

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, REGULATIONS AND ORDINANCES HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. ANY DIMENSIONS SHOWN ON DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
3. THE DESIGNER'S WORK IS ASSUMED TO BE BASED ON THE INFORMATION PROVIDED IN THE CONTRACT AND ANY OTHER INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, AS REQUIRED BY THE CITY AND OTHER GOVERNMENTAL AGENCIES AND FOR THE PROTECTION OF ALL EXISTING UTILITIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, AS REQUIRED BY THE CITY AND OTHER GOVERNMENTAL AGENCIES AND FOR THE PROTECTION OF ALL EXISTING UTILITIES.
5. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.
6. DIMENSIONS ARE GENERALLY TO THE FACE OF THE MEMBER.
7. ALL WORK MUST BE DONE ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. THE CONTRACTOR MUST BE CONSULTED FOR ALL CONSTRUCTION DETAILS.
8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, AS REQUIRED BY THE CITY AND OTHER GOVERNMENTAL AGENCIES AND FOR THE PROTECTION OF ALL EXISTING UTILITIES.
9. VERIFY CLEARANCES ARE REQUIRED FOR ALL EQUIPMENT.
10. BEFORE PROCEEDING WITH ANY WORK OR CONSTRUCTION, THE CONTRACTOR OR SUBCONTRACTOR MUST CONSULT WITH THE DESIGNER AND OBTAIN WRITTEN APPROVAL FOR ANY CHANGES TO THE BUILDING AND MAKE ADJUSTMENTS TO ANY DIMENSIONS SHOWN ON THE PLANS AND THE BUILDING SITE.
11. CONTRACTOR AND/OR SUBCONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, AS REQUIRED BY THE CITY AND OTHER GOVERNMENTAL AGENCIES AND FOR THE PROTECTION OF ALL EXISTING UTILITIES.
12. ALL STAIRS TO BE MAXIMUM HEIGHT OF 7'3" AND MIN. TREAD DEPTH OF 10".
13. ALL STAIRS TO BE MAXIMUM HEIGHT OF 7'3" AND MIN. TREAD DEPTH OF 10".



01 1ST FLOOR
SCALE 3/8" = 1'-0"



RESIDENTIAL DESIGNER
JOHN L. TUCKER, C.
JOHN L. TUCKER
214.613.7509
JOHN@ASIDESTUDIO.COM
WWW.ASIDESTUDIO.COM

EUGENE DRIVE HOUSE

1415 EUGENE DRIVE
WYLIE, TEXAS 75098

ROOF PLAN

08/16/2021 Item 2.

A

Project #
Scale

3000
3000

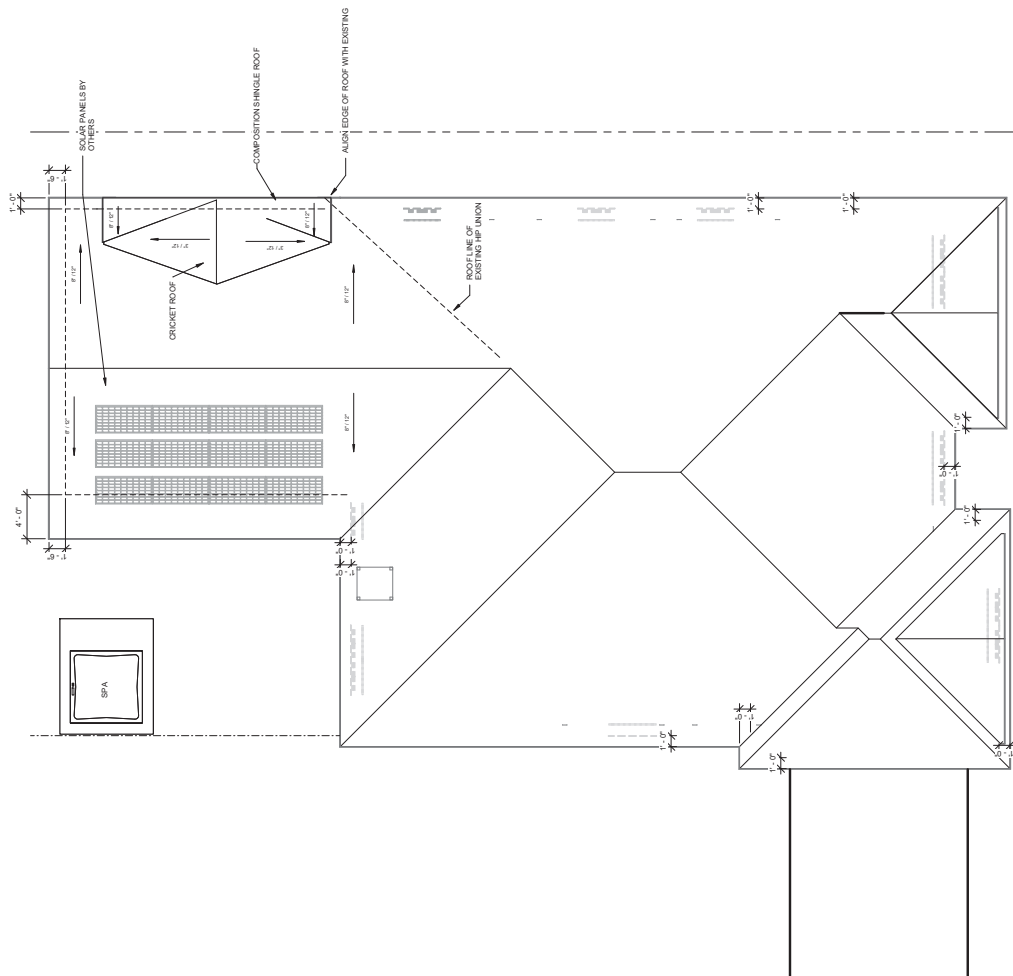
ROOF FRAMING NOTES	
ROOFS	2"x8"
HIP/VALLEY	2"x8"
RAPTURES @ 24" O.C. (BRACED)	2"x8"
RAPTURES @ 16" O.C. (UNBRACED) (LESS THAN 16')	2"x8"
RAPTURES @ 16" O.C. (UNBRACED GREATER THAN 16')	2"x10"
CEILING JOIST @ 24" O.C.	2"x8"
HEADERS	2"x8"
UNDERSILL LENGTH	2"x8"
CEILING JOIST LENGTH	2"x12"
TO STUDY PLAN, ALL JOISTS TO BE	2"x12"
2"x12" @ 16" FLOOR OPENINGS MAXIMUM.	
ALL JOISTS AND SUBJOINTS	
SHOULD BE INSTALLED IN ACCORDANCE TO THE PRECEDENT OVER	
ROOF FRAMING NOTES.	

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
2. DO NOT SCALE DRAWINGS. ANY DIMENSIONS SHOWN ON THE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, ORDINANCES HAVING JURISDICTION.



01 ROOF PLAN
SCALE: 3/8" = 1'-0"





RESIDENTIAL DESIGNER
JOHN L. JACKSON, C.
JOHNNY JACKSON
214.915.7598
www.asidestudio.com

EUGENE DRIVE HOUSE

1415 EUGENE DRIVE
WYLIE, TEXAS 75098

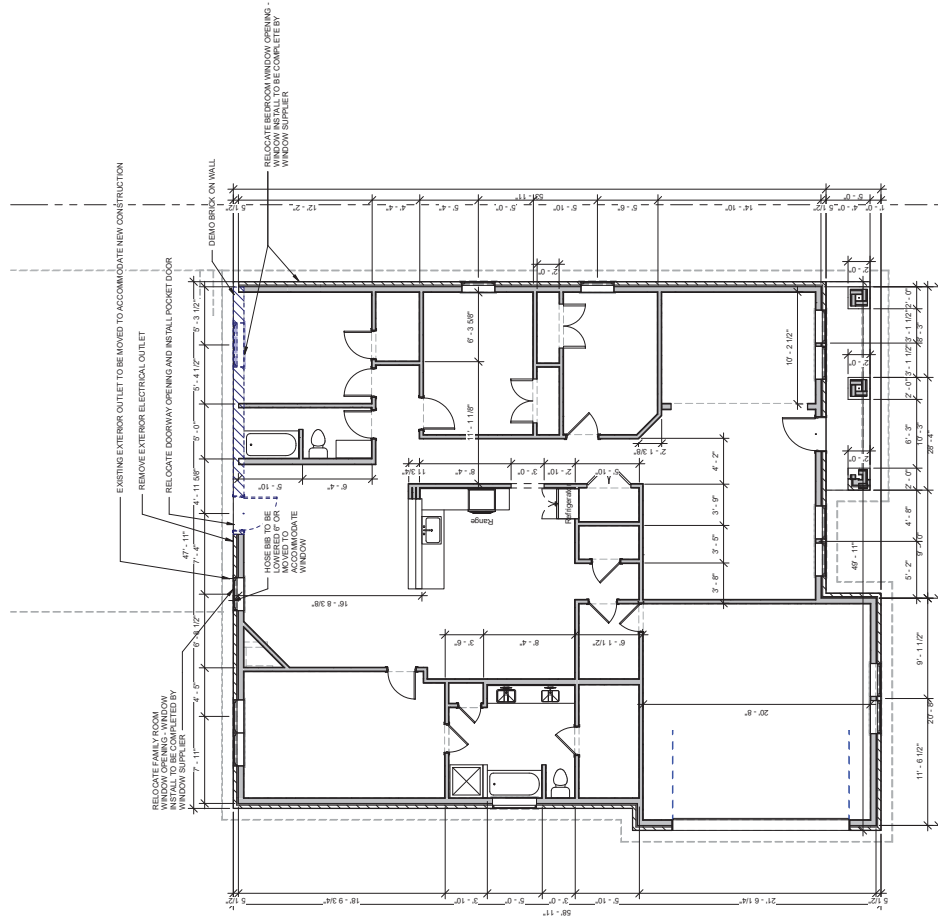
EXISTING/ DEMO
FLOOR

08/16/2021 Item 2.

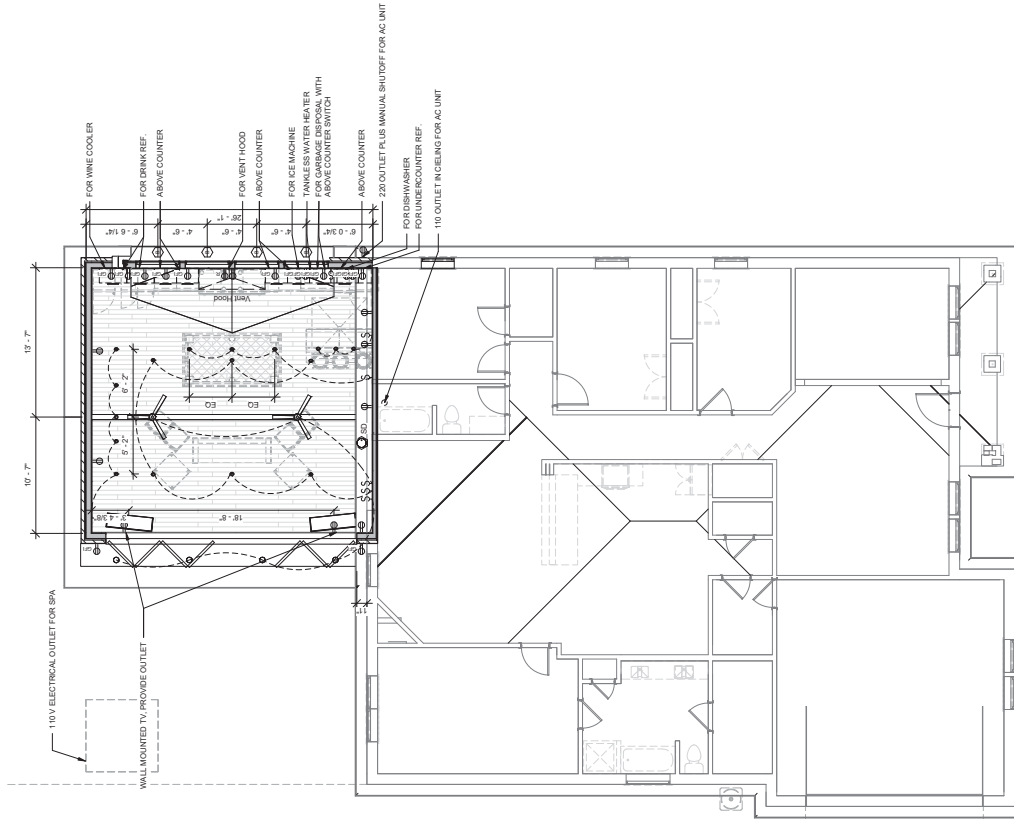
A

RENOVATION NOTES

1. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING WINDOW LOCATIONS AND HEIGHTS.
2. ALL DIMENSIONS SHOWN ARE TO HAVE A TOLERANCE OF +/- 1/8" UNLESS OTHERWISE NOTED.
3. GENERAL CONTRACTOR TO VERIFY ALL MEASUREMENTS AND CLEARANCES.



01 EXISTING/ DEMO PLAN - 1ST FLOOR
SCALE: 3/8" = 1'-0"



RCP LEGEND

○ 80	SMALL TENSION MONORAIL DETECTOR
⌋	BATHROOM VERTICAL SCONCE
⌋	BATHROOM HORIZONTAL SCONCE
⌋	CEILING FAN WITH LIGHT FIXTURE
⊙	RECESSED CAN LIGHT
⊙	PENDANT LIGHT FIXTURE / CHandelier
⊙	WALL WARMER
⊙	SCONCE
⊙	BATHROOM EXHAUST FAN
⊙	HVAC RETURN
⊙	HVAC SUPPLY
⊙	CEILING SPEAKER

MEP PLAN NOTES

MECHANICAL	1. ALL MECHANICAL DUCTS TO BE INSULATED
	2. PROVIDE FILTER GRILLES AT POINT OF RETURN
ELECTRICAL	1. DIMENSIONS SHOWN HERE ARE TO CENTERLINES OF RECEPTACLE AND OR FACE OF OUTLETS
	2. ALL OUTLETS TO BE THE COLOR: WHITE
	3. ALL SWITCH-ON OUTLETS TO BE ARC PROTECTED
	4. ALL BATHROOM AND KITCHEN OUTLETS TO BE GROUND FAULT PROTECTED
	5. COORDINATE POWER REQUIREMENTS AND EQUIPMENT WITH ALL APPLIANCES AND EQUIPMENT
	6. PROVIDE 200KVA AMP DEDICATED CIRCUIT (OPTIONAL)
PLUMBING	1. SANITARY SEWER, WATER AND GAS LINE LAYOUTS ARE SCHEMATIC ONLY. ACTUAL CONDITIONS DETERMINED BY FIELD CONSTRUCTION
	2. VERIFY COLD WATER LINES, SEWER LINES AND GAS LINES TO ALLOW FOR NEW CONSTRUCTION
	3. WASTE DRAIN, CONDENSATE AND VENT PIPING TO BE SERVICE WEIGHT PVC
	4. POTABLE WATER (HOT AND COLD) SUPPLY PIPING TO BE SERVICE WEIGHT PVC
	5. INSULATE HOT AND COLD WATER LINES WITH CONTINUOUS FOAM INSULATION
	6. PROVIDE AIR CHAMBERS TO ALL FIXTURES, PROVIDE SECTIONAL INLET SHUT-OFF AND EQUIPMENT OUTLET
	7. EXTERIOR HOSE BIBS TO BE 1/2" A.F.F. UNLESS NOTED OTHERWISE
	8. INSULATE ALL CLEAROUTS IN STORM AND LOCAL CODES. TYPING IS REQUIRED BY LOCAL CODES

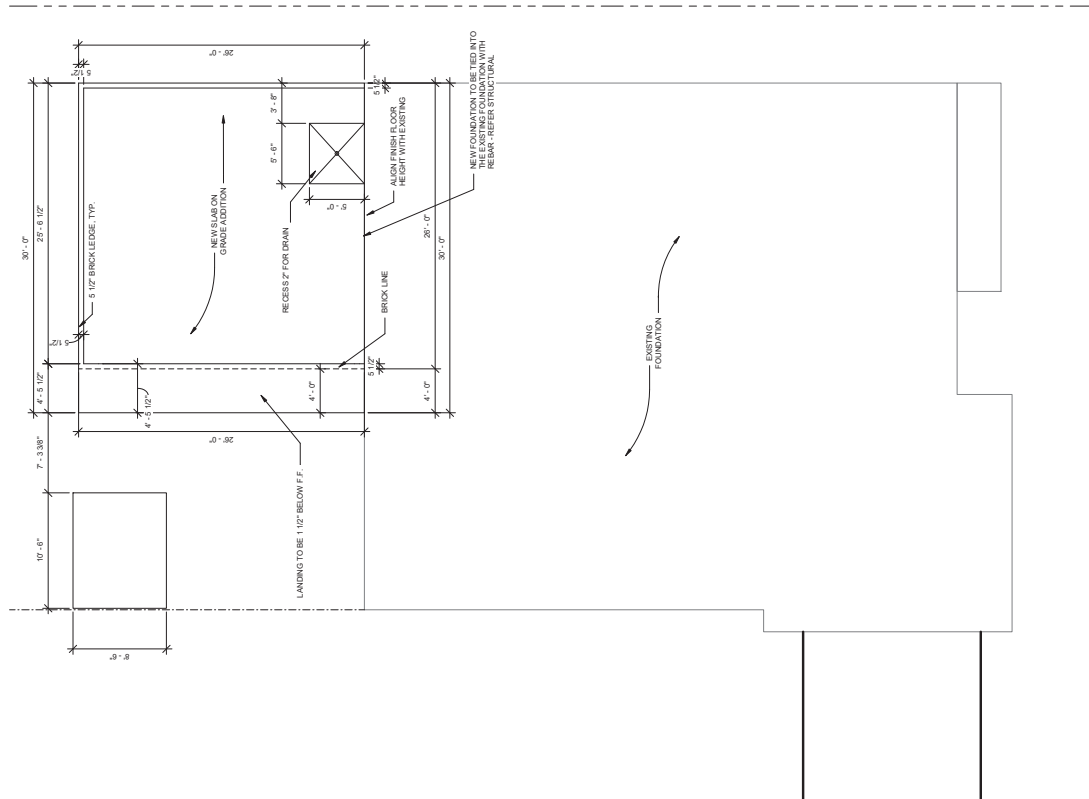
RCP NOTES

1. CONTRACTOR TO DETERMINE FINAL LOCATION OF LIGHT FIXTURES
2. SERVICE OF ALL ELECTRICAL AND PLUMBING TO BE IN ACCORDANCE WITH ENERGY CODE REQUIREMENTS

ELECTRICAL LEGEND

SWITCH	THREWAY SWITCH
DUPLEX	DUPLEX
FLOOR DUPLEX	FLOOR DUPLEX
GFI DUPLEX	GFI DUPLEX
PHONE OUTLET	PHONE OUTLET
TV OUTLET	TV OUTLET
220V OUTLET	220V OUTLET
ELECTRICAL PANEL	ELECTRICAL PANEL

01 RCP LEVEL 1
SCALE 3/16" = 1'-0"



01 FOUNDATION EDGE OF SLAB
SCALE: 3/16" = 1'-0"

GENERAL NOTES

1. ALL WORK TO CONFORM TO APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES WITHIN JURISDICTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR INCONSISTENCIES IN THE DRAWINGS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. THESE DOCUMENTS ARE ASSUMED IN FULL TO BE ACCURATE AND COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING AND UNDERSTANDING SUCH DOCUMENTS AND FOR OBTAINING ALL NECESSARY PERMITS, CERTIFICATES, INSPECTIONS, AS REQUIRED BY THE APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES WITHIN JURISDICTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WARRANTY OF THE CONSTRUCTION.
5. DIMENSIONS ARE GENERAL TO THE FACE OF STUD.
6. ALL WORK MUST BE DONE ACCORDING TO THE APPLICABLE BUILDING CODES AND INDUSTRY STANDARDS.
7. THE STRUCTURAL ENGINEER HAS BEEN CONSULTED FOR ALL BUILDING REQUIREMENTS.
8. CONTRACTOR TO FULFILL ALL BUILDING REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS, CERTIFICATES, INSPECTIONS, AS REQUIRED BY THE APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES WITHIN JURISDICTION.
9. CONTRACTOR TO BE RESPONSIBLE FOR ALL BUILDING REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS, CERTIFICATES, INSPECTIONS, AS REQUIRED BY THE APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES WITHIN JURISDICTION.
10. CONTRACTOR TO BE RESPONSIBLE FOR ALL BUILDING REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS, CERTIFICATES, INSPECTIONS, AS REQUIRED BY THE APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES WITHIN JURISDICTION.
11. CONTRACTOR TO BE RESPONSIBLE FOR ALL BUILDING REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS, CERTIFICATES, INSPECTIONS, AS REQUIRED BY THE APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES WITHIN JURISDICTION.
12. CONTRACTOR TO BE RESPONSIBLE FOR ALL BUILDING REQUIREMENTS AND OBTAIN ALL NECESSARY PERMITS, CERTIFICATES, INSPECTIONS, AS REQUIRED BY THE APPLICABLE BUILDING CODES, REGULATIONS AND ORDINANCES WITHIN JURISDICTION.
13. ALL STARTS TO BE MAXIMUM HEIGHT OF 10 FEET.



RESIDENTIAL DESIGNER
JOHN W. JACKSON, LLC.
JOHN W. JACKSON
214.515.2109
www.asidestudio.com

EUGENE DRIVE HOUSE

1415 EUGENE DRIVE
WYLLIE, TEXAS 75098

PLUMBING PLAN

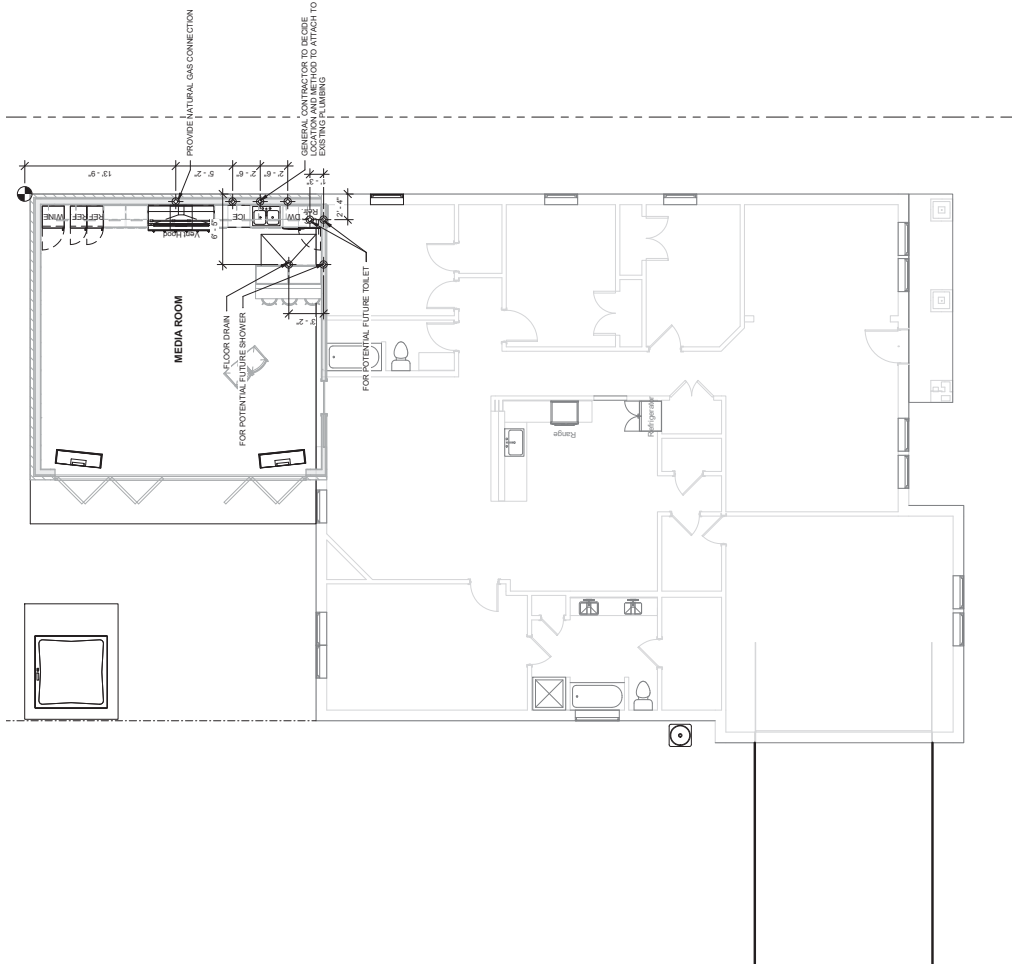
08/16/2021 Item 2.

A

Project #
Scale

3/16/21

3/16/21



01 PLUMBING PLAN LEVEL 1

SCALE: 3/16" = 1'-0"

MEP PLAN NOTES

- MECHANICAL**
1. ALL MECHANICAL DUCTS TO BE INSULATED.
 2. PROVIDE FILTER GRILLES AT POINT OF RETURN.
- ELECTRICAL**
1. DIMENSIONS SHOWN HERE ARE TO CENTERLINE OF RECEPTACLE AND OR FACE OF SWITCH.
 2. ALL OUTLETS TO BE THE COLOR WHITE.
 3. ALL MECHANICAL OUTLETS TO BE AWC PROTECTED.
 4. ALL BATHROOM AND KITCHEN OUTLETS TO BE GROUND FAULT PROTECTED.
 5. COORDINATE POWER REQUIREMENTS AND EQUIPMENT FOR ALL APPLIANCES AND EQUIPMENT.
 6. PROVIDE 200 AMP DEDICATED CIRCUIT FOR POTENTIAL CHARGING STATION (OPTIONAL).
- PLUMBING**
1. SANITARY SEWER, WATER AND GAS LINE LAYOUTS ARE SCHEMATIC ONLY. ACTUAL CONDITIONS ARE DETERMINED BY FIELD CONDITIONS.
 2. VERIFY COLD WATER LINES, SEWER LINES AND GAS LINES TO ALLOW FOR NEW CONDUITS AND PIPING.
 3. WASTE DRAIN CONDENSATE AND VENT PIPING TO BE SERVICE WEIGHT PVC.
 4. POTABLE WATER (HOT AND COLD) SUPPLY PIPING TO BE SERVICE WEIGHT PVC. INSULATE ALL HOT WATER LINES.
 5. INSULATE HOT AND COLD WATER LINES WITH CONTINUOUS FOAM INSULATION.
 6. PROVIDE AIR CHAMBERS TO ALL FIXTURES.
 7. PROVIDE SECTIONAL INLET SHUT-OFF VALVE FOR ALL SANITARY PLUMBING FIXTURE AND EQUIPMENT OUTLET.
 8. EXTERIOR HOSE BIBS TO BE 1/2" A.F.F. UNLESS NOTED OTHERWISE.
 9. INSULATE ALL CLEAROUTS IN STORM AND SEWER LINES. PROVIDE PIPING AS REQUIRED BY LOCAL CODES.



RESIDENTIAL DESIGNER
JOHN H. JACKSON, LLC
JOHNNY JACKSON
214.915.2199
JOHNNY@ASIDESTUDIO.COM
WWW.ASIDESTUDIO.COM

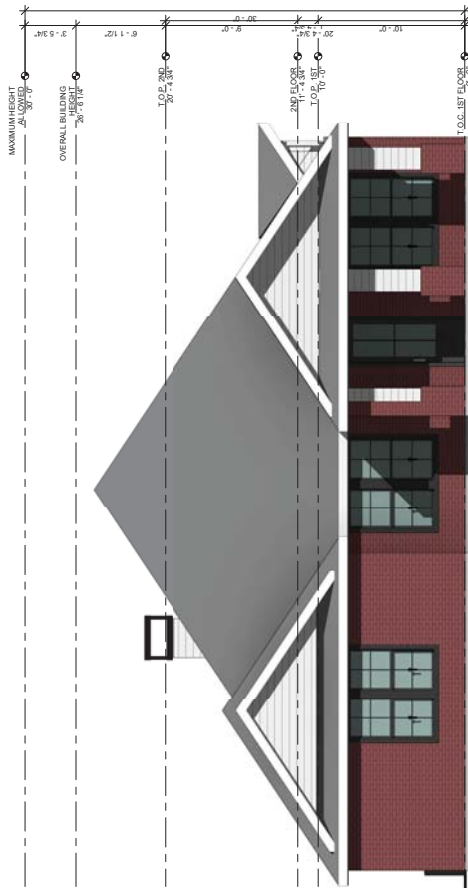
EUGENE DRIVE HOUSE
1415 EUGENE DRIVE
WYLIE, TEXAS 75098

EXTERIOR
ELE

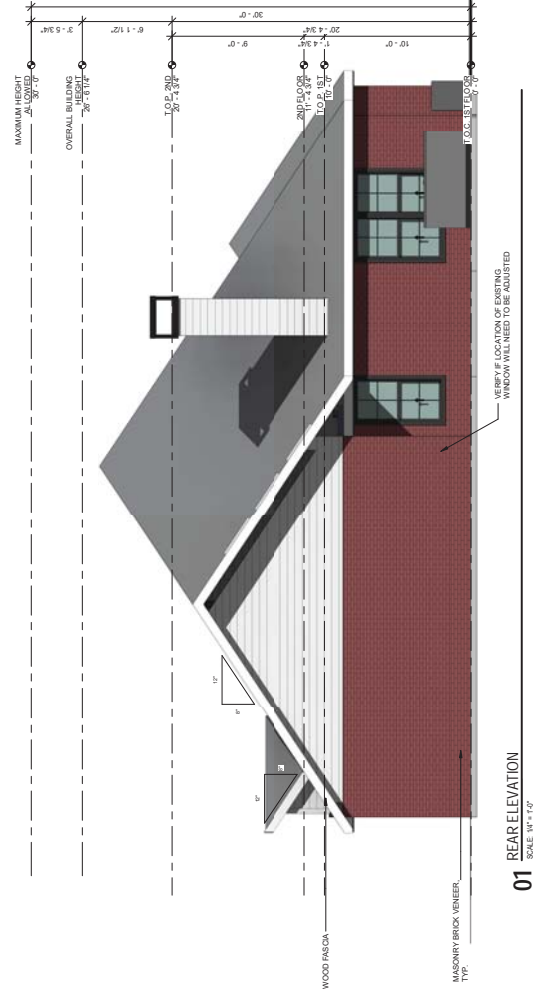
A

08/16/2021 Item 2.

Project #
Scale



02 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



01 REAR ELEVATION
SCALE: 1/4" = 1'-0"



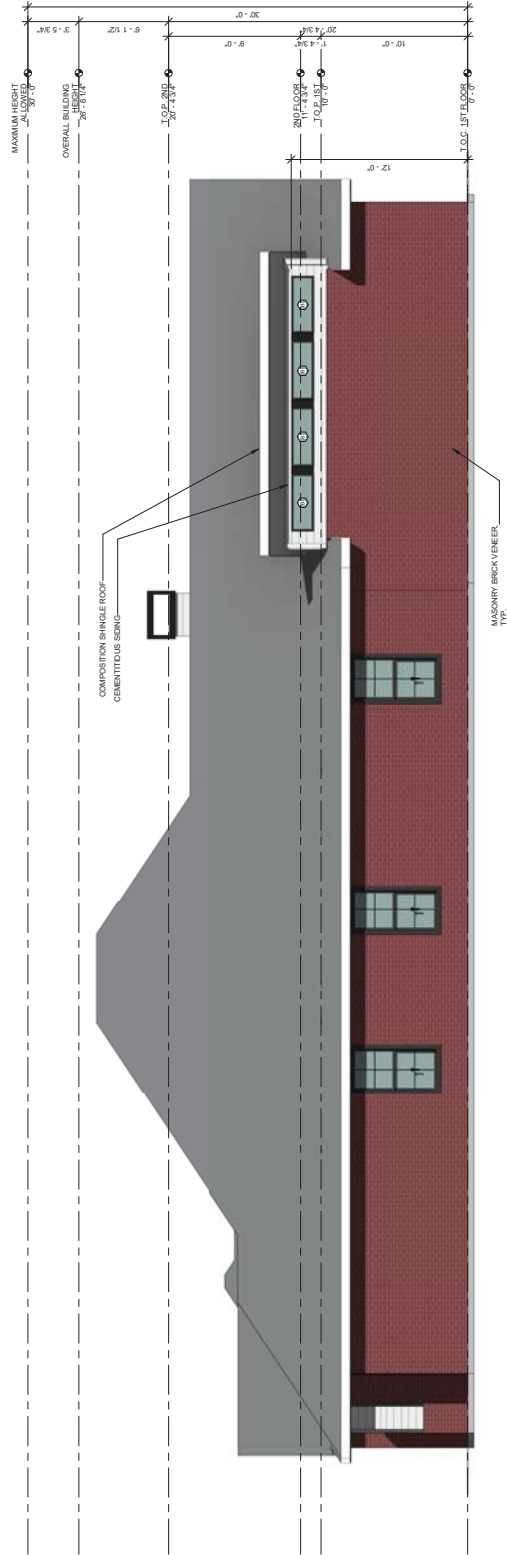
RESIDENTIAL DESIGNER
JOHN W. JACKSON, C.
JOHN W. JACKSON
214.512.2109
www.asidestudio.com

EUGENE DRIVE HOUSE
1415 EUGENE DRIVE
WYLLIE, TEXAS 75098

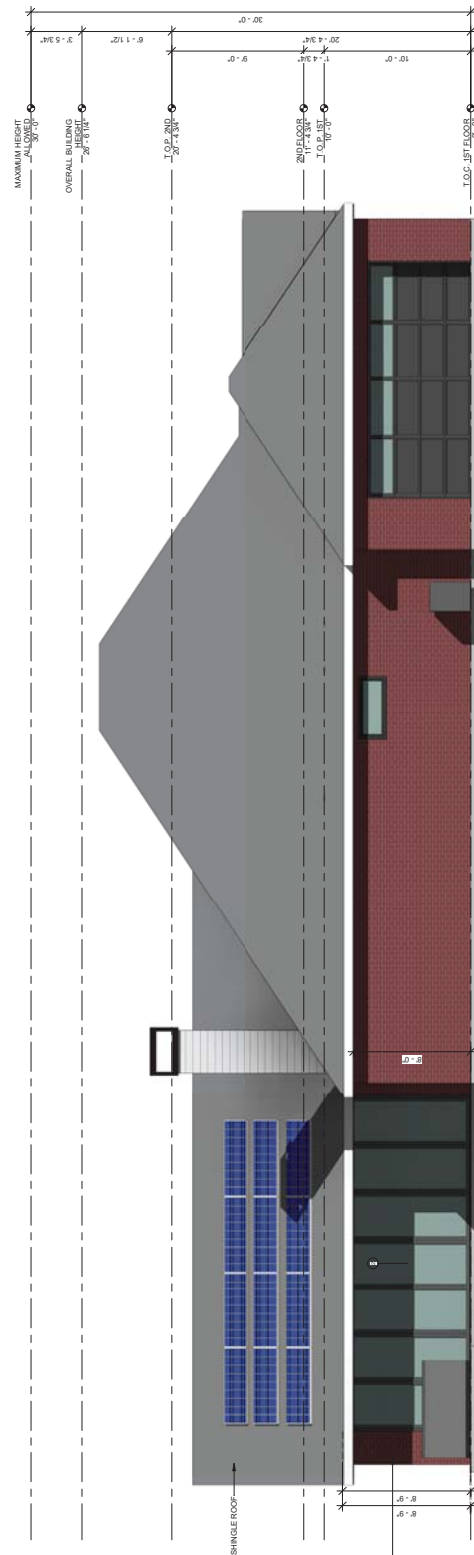
EXTERIOR
ELE

A
08/16/2021 Item 2.

Project #
Scale



02 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



01 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RESIDENTIAL DESIGNER
JOHNNY JACOBS
214.633.2769
www.asidestudio.com

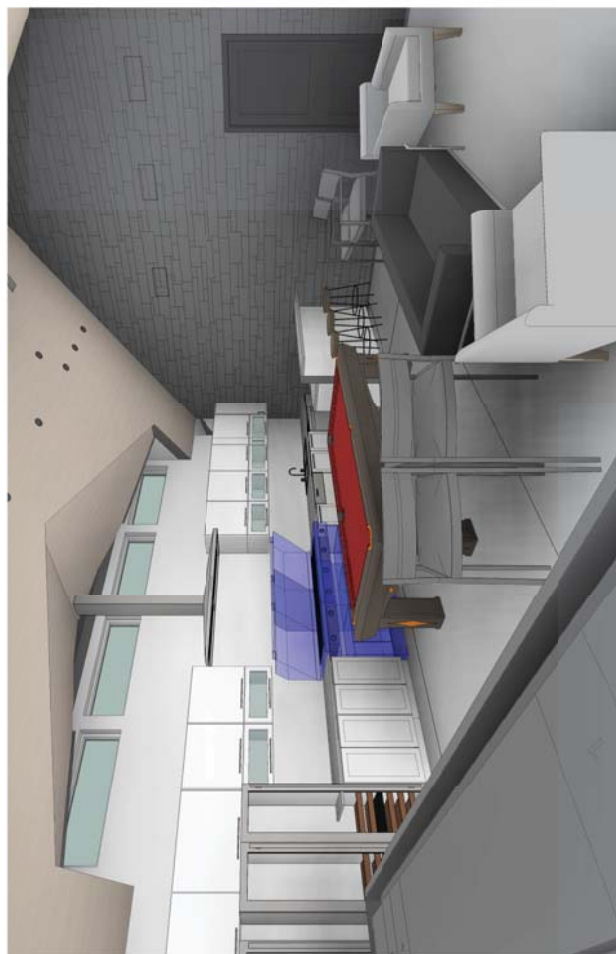
EUGENE DRIVE HOUSE
1415 EUGENE DRIVE
WYLIE, TEXAS 75098

PERSPECTIVE

08/16/2021 Item 2.

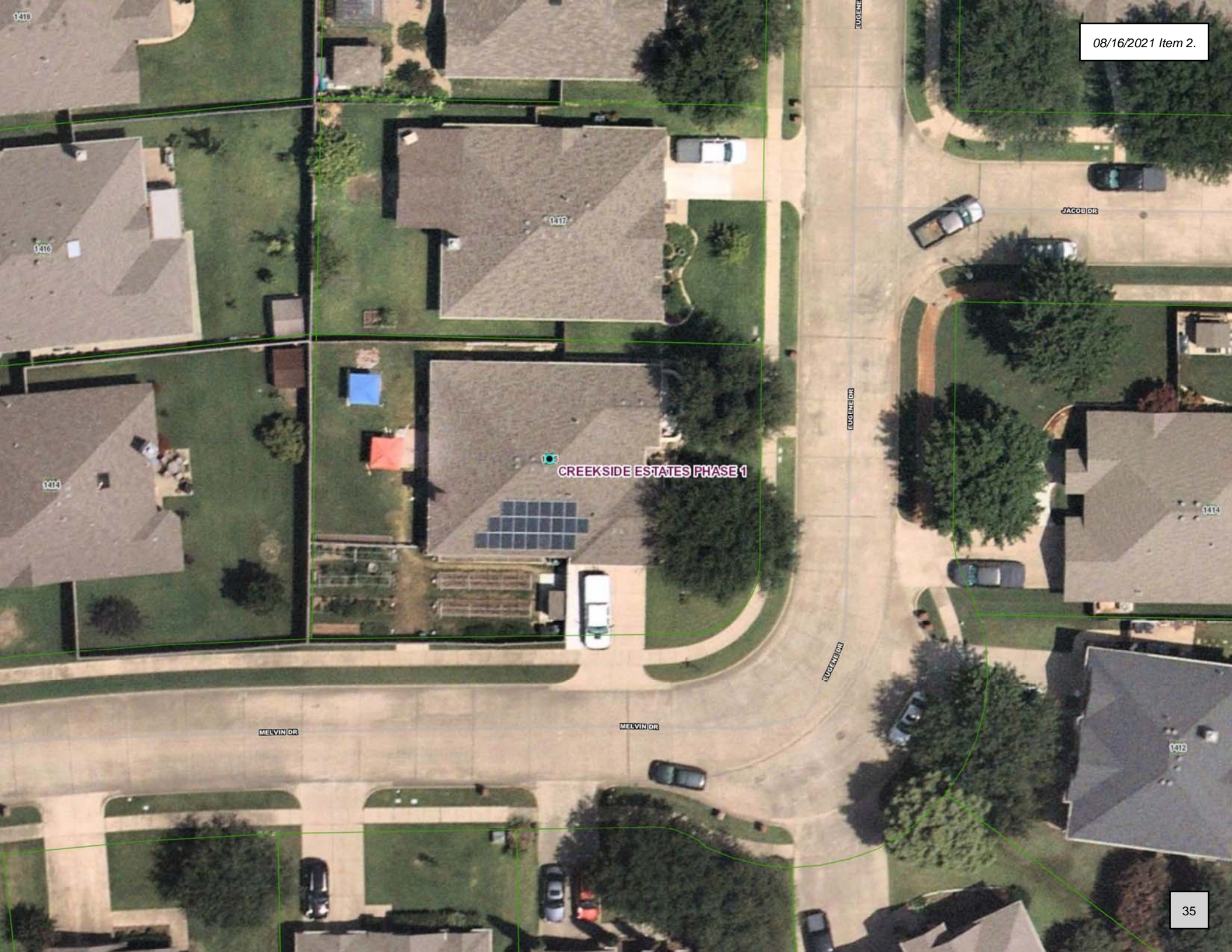
A

01 3D VIEW 01
SCALE



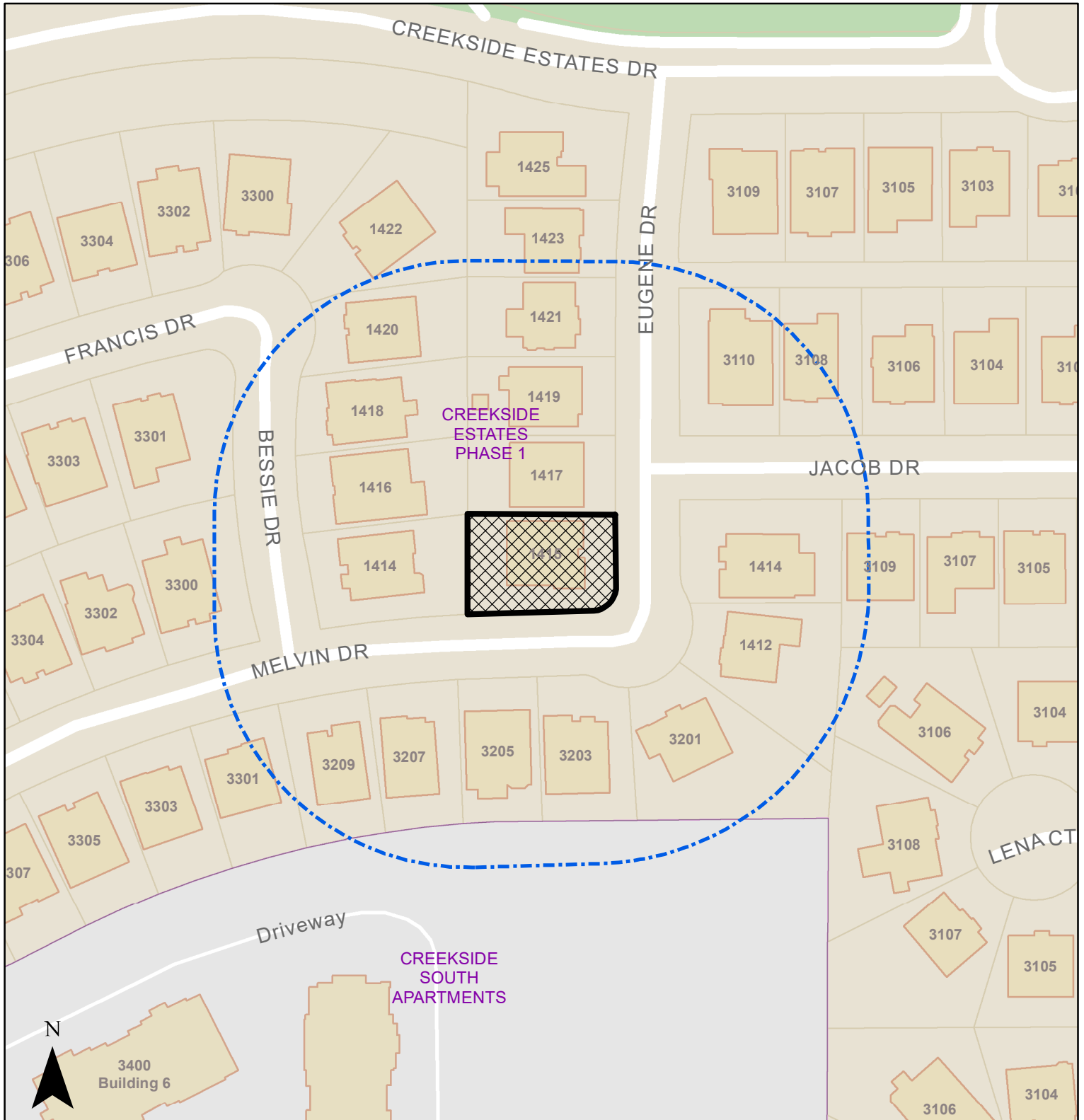
02 3D View 4
SCALE





Notification Map

08/16/2021 Item 2.



ZBA 2021-13; 1415 Eugene Drive



200 Foot Notification Buffer



Subject Property

0 50 100 200 300 400 Feet

