

# Wylie Planning and Zoning Commission Regular Meeting

December 06, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



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## CALL TO ORDER

## INVOCATION & PLEDGE OF ALLEGIANCE

## COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

## CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider, and act upon, the approval of the November 15, 2022 Minutes.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat of Woodbridge Crossing Addition, Lot 17R-3, Block A, Woodbridge Crossing PD 2019-15, being an amended plat of Lot 17R, Woodlake Crossing Addition, establishing one commercial lot on 7.2915 acres, generally located at 3026 W FM 544.
- C. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat for City Center, Lot 1, Block A, establishing one commercial lot on 1.169 acres, located at 791 S State Highway 78.

## REGULAR AGENDA

- 1. Consider, and act upon, an amended Site Plan for the expansion of East Fork Special Utility District office building on 1.76 acres, located at 1355 Troy Road.
- 2. Consider, and act upon, a Site Plan for Lot 17R-3, Block A of Woodbridge Crossing Addition, for a home improvement center development on 7.2915 acres. Property generally located at 3026 W FM 544.
- 3. Hold a Public Hearing to consider, and act upon, a recommendation to City Council regarding a change in zoning from Downtown Historic District (DTH) to Downtown Historic District - Special Use Permit (DTH-SUP) to allow for a brewery, food truck park, and events center within the Downtown Historic District, property located at 106 N. Birmingham Street (ZC 2022-16).
- 4. Hold a Public hearing to consider, and act upon a recommendation to the City Council to allow a change in zoning from Downtown Historic District – Residential only to allow Commercial and/or Residential uses, located at 280 W Brown within the Downtown Historic District. ZC 2022-18.

5. Hold a Public Hearing to consider, and act upon, a recommendation to City Council regarding an Amendment to the City of Wylie Zoning Ordinance, Article 5.1 Land Use Charts and Article 5.2 Listed Uses as they relate to Accessory and Temporary Uses of Donation Boxes (ZC 2022-19).

## **ADJOURNMENT**

## **CERTIFICATION**

I certify that this Notice of Meeting was posted on December 2, 2022 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

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*Stephanie Storm, City Secretary*

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*Date Notice Removed*

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:  
§ 551.071 – Private consultation with an attorney for the City.



## Planning & Zoning Commission

# AGENDA REPORT

Department: Planning

Item: A

Prepared By: Mary Bradley

### Subject

Consider, and act upon, Minutes from the November 15, 2022 Regular Meeting.

### Recommendation

Motion to approve item as presented.

### Discussion

The minutes are attached for your consideration.

## Wylie Planning and Zoning Commission Regular Meeting

November 15, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



### CALL TO ORDER

Chair Bryan Rogers called the meeting to order at 6:00pm. Commissioners present: Chair Rogers, Vice Chair Joshua Butler, Commissioner Keith Scruggs, Commissioner Jennifer Grieser, Commissioner James Byrne, Commissioner Rod Gouge, and Commissioner Jacques Loraine. Staff present were: Community Services Director Jasen Haskins, Senior Planner, Kevin Molina, Development Engineering Manager, Than Nguyen, Wylie Economic Development Director, Jason Greiner and Administrative Assistant Mary Bradley.

### INVOCATION & PLEDGE OF ALLEGIANCE

Vice Chair Butler gave the Invocation and Commissioner Gouge led the Pledge of Allegiance.

### COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

No one addressed the Commissioners on Non-Agenda Items

### CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider, and act upon, the approval of the October 18, 2022 Meeting Minutes.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat of Senior Medical Addition, establishing two lots on 21.3224 acres, generally located at 100 Medical Plaza.
- C. Consider, and act upon a recommendation to City Council regarding a Final Plat for Manors at Woodbridge, to establish 90 residential and six open space lots on 12.418 acres, property generally located on Woodbridge Parkway approximately 900' south of Hensley Lane.

### Board Action

A motion was made by Commissioner Gouge, and seconded by Commissioner Grieser to approve the Consent Agenda as presented. A vote was taken and carried 7 – 0.

### REGULAR AGENDA

- 1. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (PD-SUP) on 1.27 acres located at 2021 N State Highway 78 (ZC 2022-15).



### Staff Presentation

Senior Planner Molina addressed the Commissioners and stated that the applicant is requesting to rezone 1.27 acres located at 2021 North State Highway 78 and the requested rezoning is Commercial Corridor - Special Use Permit (CC-SUP) to allow for vehicle sales and display.

The current development on the subject property contains a minor automobile repair use. The property owner is requesting for the allowance of office space within the existing building and 10 existing parking spaces to be used for vehicle sales as shown in the zoning exhibit.

The development exceeds this parking requirement by providing 24 spaces, 2 being handicapped. The proposal is not affecting any existing landscaping or fire lane access easements.

Notices were sent to 11 property owners within 200 feet as required by state law. No comments were received in favor or in opposition of the request.

### Public Comments

Chair Rogers opened the Public Hearing. With no one approaching the Commissioners, Chair Rogers closed the Public Hearing for Item 1. The applicant was not present to address the Commissioners.

### Board Action

A motion was made by Commissioner Byrne, and seconded by Commissioner Grieser to recommend approval for Item 1 to City Council. A vote was taken and carried 6 – 1, with Commissioner Loraine voting in opposition.

Vice Chair Butler stated that he had a Conflict of Interest for Item 2 and was recused from the meeting.

2. Consider, and act upon, a recommendation to City Council regarding a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Corridor (PD-CC) on 11.622 acres generally located on the southwest corner of State Highway 78 and Brown Street.

### Staff Presentation

Senior Planner Molina addressed the Commissioners and stated that the applicant is requesting to rezone 11.622 acres located east of the Downtown Historic District on the southwest corner of State Highway 78 and Brown Street. The property is currently zoned Commercial Corridor. The applicant is requesting a Planned Development to allow for a multi-modal commercial environment that integrates with Wylie's historic downtown.

The proposal includes a master plan of six commercial lots which include an interconnect of both vehicular and pedestrian pathways. A retention pond shall also be provided to serve as a gathering space.

The Planned Development establishes uses that are allowed by-right within the subject property:

- All by-right Commercial Corridor District uses except industrial uses (Sections 5.2H and 5.2I)
- Convenience Store
- Motor Vehicle Fueling Station
- Restaurant with Drive-In or Drive-Thru Services
- Food Truck Park
- Alcohol/Liquor Uses, which shall be exempt from distance requirements from church, public hospitals, public schools and private schools

The following uses are expressly prohibited on the subject property:

- Sexually Oriented Business
- Equipment Rental

- Automobile Rental
- Automotive Repair Minor
- Car Wash
- Vehicle Display, Sales or Service
- And as mentioned above, any uses listed under sections 5.2H and 5.2I of the Zoning Ordinance.

### Board Discussion

Commissioner Byrne questioned the plans for Brown Street. Staff responded that there are no plans to widen Brown Street at this time.

Commissioner Gouge expressed concern of allowing alcohol/liquor uses. Wylie Economic Development Director, Jason Greiner addressed the Commissioners and stated that there are no plans to allow package stores within the development, the Planned Development is allowing alcohol/liquor uses for full service restaurants. All the lots will be commercial, no residential uses are planned. Staff stated that a site plan for each lot will be submitted once the zoning is approved.

### Public Comments

Chair Rogers opened the Public Hearing for Item 2. With no one approaching the Commissioners, Chair Rogers closed the Public Hearing.

### Board Action

A motion was made by Commissioner Loraine, and seconded by Commissioner Byrne, to recommend approval to the City Council for Item 2. A vote was taken and carried 6 – 0.

Vice Chair Butler rejoined the meeting.

Staff reminded the Commissioners that the next meeting is December 6, 2022.

### **ADJOURNMENT**

A motion was made by Commissioner Gouge, and seconded by Vice Chair Butler to adjourn the meeting at 6:30PM. A vote was taken and carried 7 – 0.

\_\_\_\_\_  
*Bryan Rogers, Chair*

### **ATTEST**

\_\_\_\_\_  
*Mary Bradley, Secretary*



# Wylie Planning & Zoning Commission

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## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: B

### Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat of Woodbridge Crossing Addition, Lot 17R-3, Block A, Woodbridge Crossing PD 2019-15, being an amended plat of Lot 17R, Woodlake Crossing Addition, establishing one commercial lot on 7.2915 acres, generally located at 3026 W FM 544.

### Recommendation

Motion to recommend **approval** as presented.

### Discussion

**OWNER: Wylie Lackland LLC**

**APPLICANT: Centerpoint Integrated Solutions**

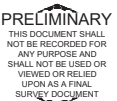
The applicant has submitted an amended plat for Lot 17R-3, Block A of Woodbridge Crossing Addition. The property is generally located at 3026 W FM 544. The 7.2915 acre lot is part of the Woodbridge Crossing Planned Development. The purpose of the Amended Plat is to dedicate utility and visibility easements for the development of Floor & Decor home improvement center

The site plan for Lot 17R-3, Block A of Woodbridge Crossing is also on the regular agenda.

The subject property contains existing fire lanes and access drives which connect to Springwell Parkway and to the adjacent commercial pad sites of the Woodbridge Crossing Planned Development.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



J. Andy Dobbs  
Registered Professional Land Surveyor No. 6196  
Kimley-Horn and Associates, Inc.  
13455 Noel Road, Two Galleria Office Tower, Suite 700  
Dallas, Texas 75240  
Ph. 972-770-1300  
andy.dobbs@kimley-horn.com

**FINAL PLAT  
WOODBIDGE CROSSING ADDITION  
LOT 17R-3, BLOCK A  
BEING AN AMENDED PLAT OF LOT 17R-3, BLOCK A  
WOODBIDGE CROSSING ADDITION  
RECORDED IN INSTRUMENT NO. 2019-881  
AND BEING 7.2915 ACRES SITUATED IN THE  
WILLIAM SACHSE SURVEY, ABSTRACT NO. 835  
CITY OF WYLIE, COLLIN COUNTY, TEXAS**

13455 Noel Road, Two Galleria Office Tel. No. (972) 770-1300  
Tower, Suite 700, Dallas, Texas 75240 FIRM # 10115500 Fax No. (972) 239-3820

<u>Scale</u>	<u>Drawn by</u>	<u>Checked by</u>	<u>Date</u>	<u>Project No.</u>	<u>Sheet No.</u>
1" = 60'	PCB	JAD	Nov. 2022	068702707	1 OF 1

**ENGINEER:**  
KIMLEY-HORN AND ASSOC., INC.  
13455 NOEL ROAD  
TWO GALLERIA OFFICE TOWER, SUITE 700  
DALLAS, TEXAS 75240  
CONTACT: CAROLYN KOCH, P.E.  
PHONE: 972-355-3580

Δ = CENTRAL ANGLE  
P.O.B. = POINT OF BEGINNING  
IRFC = IRON ROD WITH CAP FOUND  
XF = "X" CUT IN CONCRETE FOUND  
D.R.C.C.T. = DEED RECORDS OF COLLIN COUNTY, TEXAS  
M.R.C.C.T. = MAP RECORDS OF COLLIN COUNTY, TEXAS  
O.P.R.C.C.T. = OFFICIAL PUBLIC  
RECORDS OF COLLIN COUNTY, TEXAS

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

	300 820
	1



# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: C

### Subject

Consider, and act upon a recommendation to City Council regarding a Preliminary Plat for City Center, Lot 1, Block A, establishing one commercial lot on 1.169 acres, located at 791 S State Highway 78.

### Recommendation

Motion to recommend approval as presented.

### Discussion

**OWNER: JDI Investors LP**

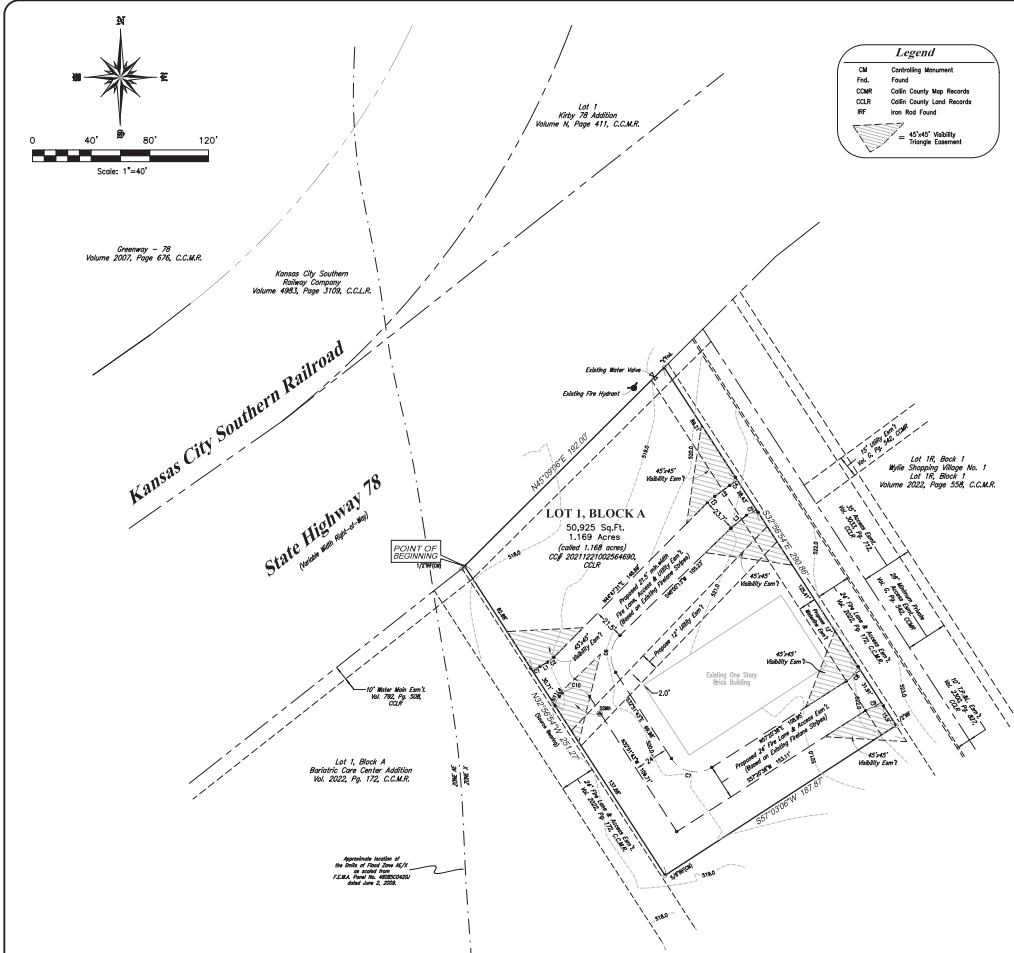
**APPLICANT: Roome Surveying**

The applicant is proposing to create Lot 1, Block A of City Center Addition on 1.169 acres. The purpose of the plat is to create one lot for the improvement of an existing one story structure located at 791 S State Highway 78. The applicant is proposing to renovate the existing structure for office and retail shell space. The property is zoned within the Community Retail zoning district and those uses are allowed by-right.

The plat dedicates a 21.5' fire lane and a 24' fire lane & access utility easement with access to two existing drives that have entrances from State Highway 78. Those existing widths have been approved by Fire and Engineering with the condition that the asphalt of the existing driveways be improved to a concrete surface that meets city specifications.

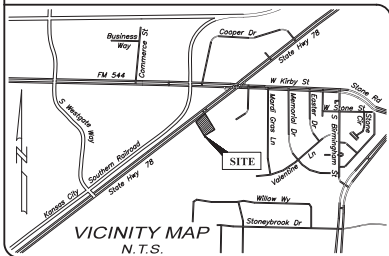
The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Gov't Code.



NOTE: Maintenance of all easements is the responsibility of the property owner.

NOTICE: Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.



PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY

NOTES: (1) CM is controlling monument; (2) No part of the subject property lies within a Special Flood Hazard Area inundated by 100-year flood per Flood Insurance Rate Map Number 48060C0420J of F.E.M.A. Flood Insurance Rate Maps for Collin County, Texas and Incorporated Areas dated June 2, 2009 (Zone X); (3) Bearings based on State Plane Coordinate System, Texas North Central Zone 4302, NAD83; (4) This plat has been performed without the benefit of a title commitment. Subject property is affected by any or all easements of record. Surveyor did not abstract or research records for easements.

LINE	BEARING	DISTANCE
L1	N67°12'02"E	15.77
L2	N54°07'40"E	12.68
L3	S52°30'29"W	13.58
L4	S44°47'31"W	2.50

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	10.00'	5.73'	16.61'	N79°29'30"E	39°44'38"
C2	20.00'	5.35'	5.35'	N52°29'49"E	15°24'37"
C3	40.00'	6.92'	6.91'	N49°27'18"E	9°20'58"
C4	10.00'	6.87'	6.73'	N34°27'00"E	39°21'19"
C5	10.00'	8.48'	8.23'	S74°48'50"W	48°36'42"
C6	20.00'	27.53'	26.41'	S06°34'15"W	78°51'46"
C7	20.00'	31.34'	28.23'	S77°45'33"E	89°47'39"
C8	20.00'	12.80'	12.67'	N36°52'20"E	36°56'36"
C9	20.00'	12.69'	12.48'	S75°31'44"W	38°21'33"
C10	12.00'	21.44'	18.70'	N84°02'06"W	110°20'48"
C11	10.00'	7.22'	7.08'	S24°08'39"W	41°21'44"

**OWNER'S DEDICATION & ACKNOWLEDGMENT**

STATE OF TEXAS §  
COUNTY OF COLLIN §

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:

That JDI Investors LP, acting herein by and through its duly authorized officers, does hereby adopt this plat designated therein above described property as Lot 1, Block A City Center, an addition to the City of Wylie, Texas, on does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof.

The City of Wylie and public utilities entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand, this the \_\_\_\_ day of \_\_\_\_\_, 2022.

JDI Investors LP  
James Lin - Manager of GP

**ACKNOWLEDGEMENT**

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James Lin, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 2022.

Notary Public in and for  
The State of Texas

**RECOMMENDED FOR APPROVAL**

Chairman, Planning & Zoning Commission  
City of Wylie, Texas

**APPROVED FOR CONSTRUCTION**

Mayor, City of Wylie, Texas

**ACCEPTED**

Mayor, City of Wylie, Texas

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing preliminary plat of Lot 1, Block A City Center, subdivision or addition to the City of Wylie, was submitted to the City Council on the \_\_\_\_ day of \_\_\_\_\_, 2022, and the Council, by formal action, then and there accepted the dedication of streets, alley, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as herein above subscribed.

Witness my hand this \_\_\_\_ day of \_\_\_\_\_, A.D., 2022.

City Secretary  
City of Wylie, Texas

**OWNER'S CERTIFICATE**

STATE OF TEXAS §  
COUNTY OF COLLIN §

WHEREAS, JDI Investors LP is the owner of a tract of land situated in the E.C. Davidson Survey, Abstract No. 267, County of Collin, Texas and being all of a called 1.168 acre tract of land as recorded under County Clerk No. 2021/22/002564690 of the Collin County Land Records, with said premises being more particularly described as follows:

BEGINNING at a 1/2" iron rod found in the southerly right-of-way line of State Highway 78 (Variable Width Right-of-Way), marking a northeast corner of Lot 1, Block A of the Bartolite Core Center Addition as recorded in Volume 2022, Page 172 of the Collin County Map Records, the northwest corner of said 1.168 acre tract; and the herein described premises;

THENCE with the south right-of-way line of State Highway 78 and the north line of said 1.168 acre tract, North 45°09'06" East, 192.00 feet to an "X" found marking a northwest corner of Lot 1 of said addition, the northeast corner of said 1.168 acre tract and said premises;

THENCE with a west line of Lot 1 of said Addition and the east line of said 1.168 acre tract, South 32°50'54" East, 280.86 feet to a 1/2" iron rod found marking an interior corner of Lot 1 of said Addition, the southeast corner of said 1.168 acre tract and said premises;

THENCE with a north line of Lot 1 of said Addition and the south line of said 1.168 acre tract, South 57°03'06" West, 187.87 feet to a 5/8" iron rod found marking an interior corner of Lot 1 of said Addition, the southwest corner of said 1.168 acre tract and said premises;

THENCE with an east line of Lot 1 of said Addition and the west line of said 1.168 acre tract, North 32°54'54" West, 251.27 feet to the place of beginning and containing 1.169 acres of land.

**SURVEYOR'S CERTIFICATE**

KNOW ALL MEN BY THESE PRESENTS:

THAT I, F.E. Bemenderfer, Jr., do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

For Review Purposes Only  
F.E. Bemenderfer, Jr.  
Registered Professional Land  
Surveyor No. 4051

**PRELIMINARY**  
THIS DOCUMENT SHALL  
NOT BE RECORDED FOR  
ANY PURPOSE AND  
SHALL NOT BE USED OR  
VIEWED OR RELIED  
UPON AS A FINAL  
SURVEY DOCUMENT

**ACKNOWLEDGEMENT**

STATE OF TEXAS §  
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared F. E. Bemenderfer, Jr., Land Surveyor, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 2022.

Notary Public in and for  
The State of Texas

**Preliminary Plat**  
**Lot 1, Block A**  
**City Center**  
**1.169 Acres**  
**Zoned Community Retail District**  
**E.C. Davidson Survey, Abstract No. 267**  
**City of Wylie, Collin County, Texas**  
**November 2022**

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Revised: 12.02.22  
JDI Investors LP  
1800 Preston Rd, Suite  
1807-48  
Ft. Worth, TX 76103  
(817) 385-4036  
Attn: James Lin  
email: jlin@jdiinvestors.com

Surveyor:  
Roome Land Surveying  
2000 Avenue G, Suite 800  
Ft. Worth, TX 76104  
(817) 423-4372  
Attn: Fred Bemenderfer  
email: fred@roomeinc.com

**Roome**  
**Land Surveying**  
2000 Avenue G, Suite 800  
Ft. Worth, TX 76104  
(817) 423-4372 / Fax (817) 423-7523  
www.roomesurveying.com / Firm No. 10013150



# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning

Item Number: 1

Prepared By: Kevin Molina

### Subject

Consider, and act upon, an amended Site Plan for the expansion of East Fork Special Utility District office building on 1.76 acres, located at 1355 Troy Road.

### Recommendation

Motion to **approve** as presented.

### Discussion

**OWNER: East Fork Special Utility District**

**APPLICANT: Dunaway DBI**

The applicant is proposing to develop a 1,296 sq.ft addition to an existing building that measures 1,728 sq.ft. located at 1355 Troy Road within the Bozman Farms Planned Development. The purpose for this addition is to allow for additional offices to serve the East Fork Special Utility District. The site plan is also proposing to add 1,296 sq.ft of covered parking.

The current structure is of a metal exterior and was developed prior to the current zoning ordinance. Expansion of the structure requires for the entire exterior facade to be of a masonry material. The applicant is in compliance with this requirement by providing brick veneer.

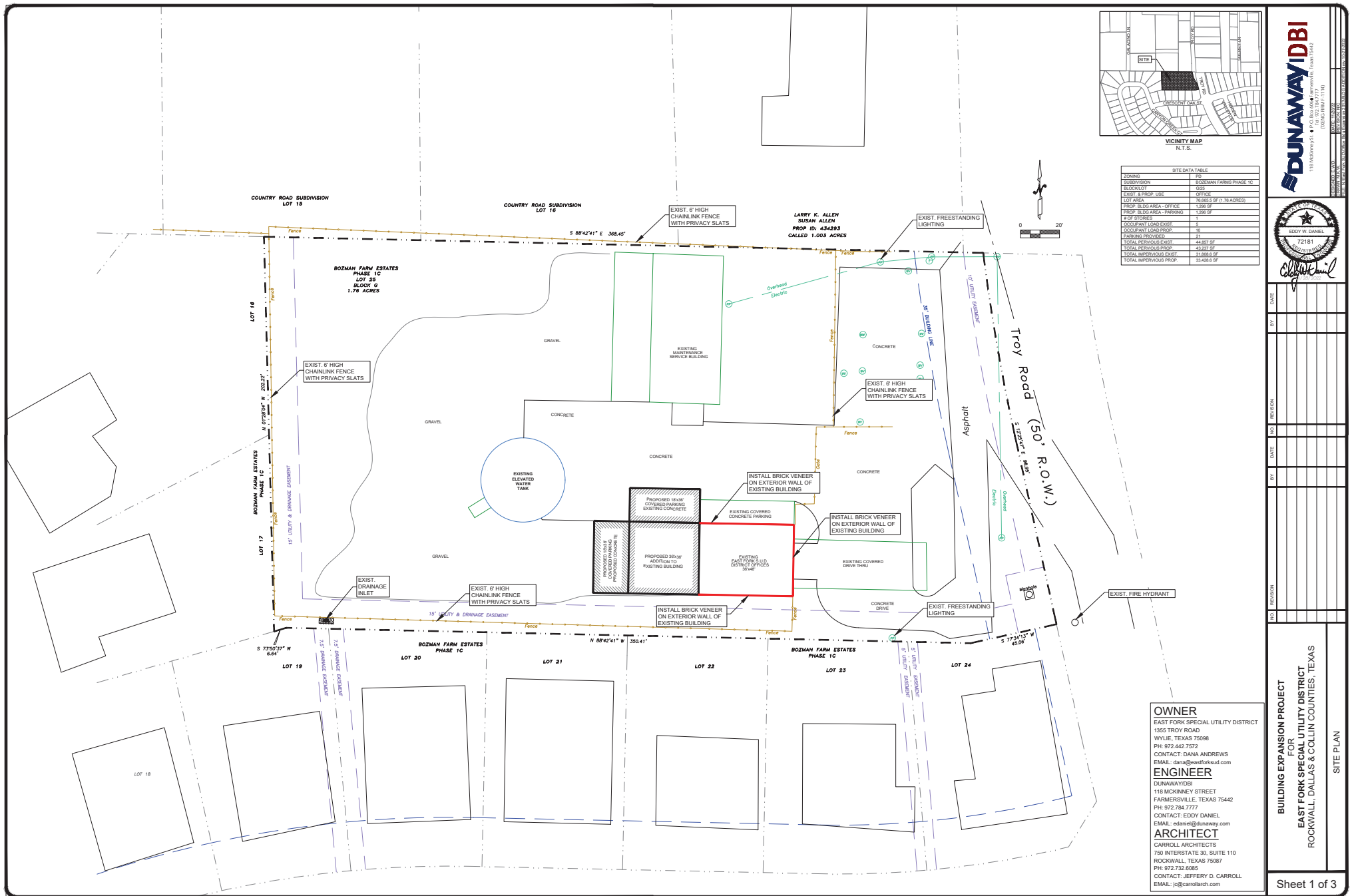
Access to the site is proposed from an existing concrete parking lot with street frontage from Troy Road. The existing landscaping along the street frontage of Troy Road is unaffected with this expansion.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and of PD 2002-52. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

[illegible]

**BUILDING EXPANSION PROJECT  
FOR  
EAST FORK SPECIAL UTILITY DISTRICT  
ROCKWALL, DALLAS & COLLIN COUNTIES, TEXAS**







**BUILDING ADDITION FLOOR PLAN**  
**SCALE : 1/4"=1'-0"**

118 McKinney St. ■ P.O. Box 606 ■ Farmersville, Texas 75442  
Tel: 972.784.7777  
(TXENG FIRM F-1114)

DESIGNED: E.W.D.	DATE: 04/19/2022
DRAWN: K.S.G.	REVISION: 10/27/2022
FILE: N:\East Fork SUD\Office Bldg Expansion 2013\BLDG ADDITION rev 04-27-2022	



# BUILDING ADDITION FLOORPLAN

SHEET AS01

[illegible]

**BUILDING EXPANSION PROJECT  
FOR  
EAST FORK SPECIAL UTILITY DISTRICT  
ROCKWALL, DALLAS & COLLIN COUNTIES, TEXAS**

[illegible]

**BUILDING ELEVATIONS**





# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning Item Number: 2  
 Prepared By: Kevin Molina

### Subject

Consider, and act upon, a Site Plan for Lot 17R-3, Block A of Woodbridge Crossing Addition, for a home improvement center development on 7.2915 acres. Property generally located at 3026 W FM 544.

### Recommendation

Motion to **approve** as presented.

### Discussion

**OWNER: Wylie Lackland LLC**

**APPLICANT: Centerpoint Integrated Solutions**

The applicant is proposing to develop a 79,540 sq.ft Floor & Decor home improvement center on 7.2915 acres, located on Lot 17R-3, Block A of Woodlake Crossing Addition. The property is zoned within Planned Development 2019-15 and allows for the proposed use.

The development is required to provide one parking space for every 400 square feet of building area, a total of 199 parking spaces are required. The site plan provides 351 parking spaces, eight being handicapped spaces. Planned Development 2019-15 allows for the parking spaces to be sized at 9' X 18'.

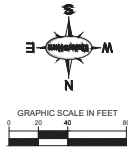
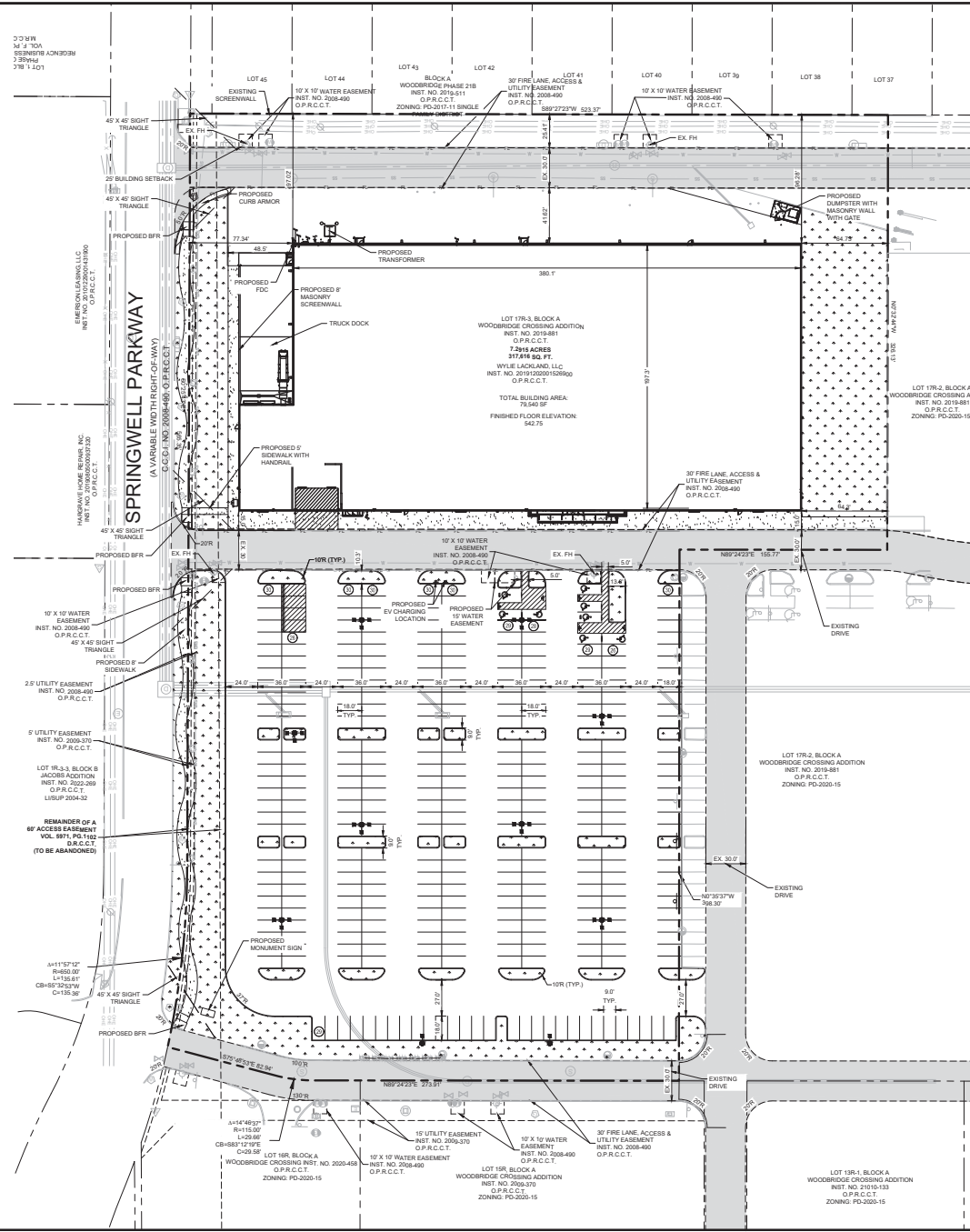
The Planned Development requires for the site to provide 10% of landscaped area with trees and sidewalks along the street frontage of Springwell Parkway. The development is providing 13% of landscaped area and includes an 8' wide meandering sidewalk along Springwell Parkway.

The development will incorporate existing fire lanes and access drives that connect to Springwell Parkway and to the adjacent commercial pad sites of the Woodbridge Crossing Planned Development.

The exterior material of the primary structure consists of stone veneer, CMU and cementitious fiber board with at least 10% being of a wood texture paneling per the architectural theme requirements of PD 2019-15. The entrances are architecturally enhanced with metal awnings and exterior wall offsets to meet the City's architectural requirements. A garage bay opening is also provided to allow customers a pick-up location for purchased materials.

As presented, the site plan is in general compliance with the design requirements of the Zoning Ordinance and of Planned Development 2019-15. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department. A replat for the site has been applied for and is on the consent agenda.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



	PROPERTY LINE
	4' SIDEWALK PAVEMENT
	EX. FIRE LANE
	PROPOSED LANDSCAPE
	BARRIER FREE RAMP (BFR)
	PROPOSED TRANSFORMER LOCATION
	NUMBER OF PARKING SPACES PER ROW
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT (FH)
	EXISTING STORM MANHOLE
	EXISTING SAN. SMV. MANHOLE
	EXISTING SIGN
	PROPOSED LIGHT POLE

- ## SITE NOTES
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOT PRINT DIMENSIONS.
  2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUB GRADE PREPARATION REQUIREMENTS.
  3. ALL DIMENSIONS ARE FROM THE FACE OF CURB , FACE OF BUILDING, OR PROPERTY LINE UNLESS NOTED OTHERWISE.
  4. ALL CURB RADI ARE 2' UNLESS NOTED OTHERWISE.
  5. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR CARPORT AND DUMPMETER ENCLOSURE CONSTRUCTION SPECIFICATIONS.
  6. CONTRACTOR SHALL REFER TO M.E.P. AND LANDSCAPE PLANS FOR CONDUIT PLACEMENT PRIOR TO PAVING.

SCALE	<p><b>PRELIMINARY</b></p> <p>FOR REVIEW ONLY</p> <p>Not for construction or permit purposes.</p> <p><b>Kinney &amp; Horn</b></p> <p>Engineers - CAROLINA SOUTH          1211 W. 12TH ST. SUITE 101          CHARLOTTE, NC 28203</p>
AS SHOWN	
DESIGNED BY KTH	
DRAWN BY KTH	
CHECKED BY CAK	

SITE PLAN

FLOOR & DECOR  
CITY OF WYLIE, TEXAS

DATE  
11/21/22

PROJECT NO.  
-

SHEET NUMBER  
1 OF 1

17



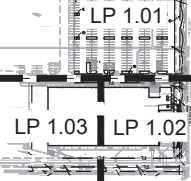
TREES

ORNAMENT

SHRUBS

GRASSES

GROUND CO

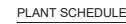


**CAUTION**  
THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.



DATE 11/21/22
PROJECT NO. 068720710
SHEET NUMBER LP 1.01



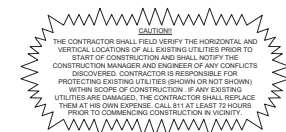
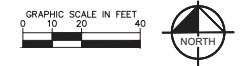


### PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS LISTED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEMEN.
2. NO SUBSTITUTION IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
4. REFERENCE IRIGATION PLAN FOR BED IRRIGATION INFORMATION.
5. STAKING AND GUIDING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATIVES, BUT MUST OBTAIN WRITTEN APPROVAL FROM THE DRAWING AND THE PLANT LIST. CONTRACTOR SHALL REPAIR, PLANT, AND MAINTAIN ALL EXISTING OR DAMAGED TO BE REINSTALLED STAKING AT NO ADDITIONAL COST TO THE OWNER.
6. PLANTS AND TREES SHALL BE REMOVED FROM THE PROJECT SITE IMMEDIATELY UPON THE COMPLETION OF THE PROJECT.
7. PROVIDE A STEEL EDGE OR CONCRETE MUD STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHEDDED HARDWOOD MULCH, UNLESS OTHERWISE SPECIFIED.
9. PROVIDE GRASS BLENDS ON LAWN BERMS/SLOPE FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/OR LIMITS OF DISTURBANCE OUTSIDE ROW OR ON PROPOSED LANDSCAPE AREA. PROVIDE IRRIGATION AS NECESSARY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNITS, FINAL ACCEPTANCE. ALL PLANTING MATERIALS SHALL BE MAINTAINED THROUGHOUT THE PROJECT PERIOD. CONTRACTOR SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER HIGH ACTIVITIES COMMON TO THE CARE OF LANDSCAPING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PLANTING MATERIALS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DEES SHALL BE REPLACED WITH THE PLANT MATERIAL OF A SIMILAR SIZE AND VARIETY.
11. THE CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. CONTRACTOR SHALL NOT INCUR LIABILITY TO THE OWNER FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH HERMADA GRASS AND IRRIGATED.
13. ALL LANDSCAPE BEDS TO HAVE TOPSOIL BLENDS THAT MEETS LANDSCAPE SPECIFICATIONS. INSTALL 2" DEPTH PER PLANTING DETAILS (12" DEPTH MIN). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING AS INDICATED ON DRAWINGS.
14. ALL SOO AREAS TO RECEIVE 4" DEPTH MIN TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRAMBLE, FERTILE, PH RANGE OF 5.5-7.4, AND FREE OF TART, DESIRIS, STONES, WEEDS, AND TWIGG/BRANCHES.
15. ALL DISTURBED AREAS IN ROW TO BE RE-ESTABLISHED WITH BERBER GRASS OR SOO AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS.
16. ALL TREES TO BE PLACED A MINIMUM OF 1' FROM ANY UTILITY.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.



Know what's below.  
**Call** before you dig.



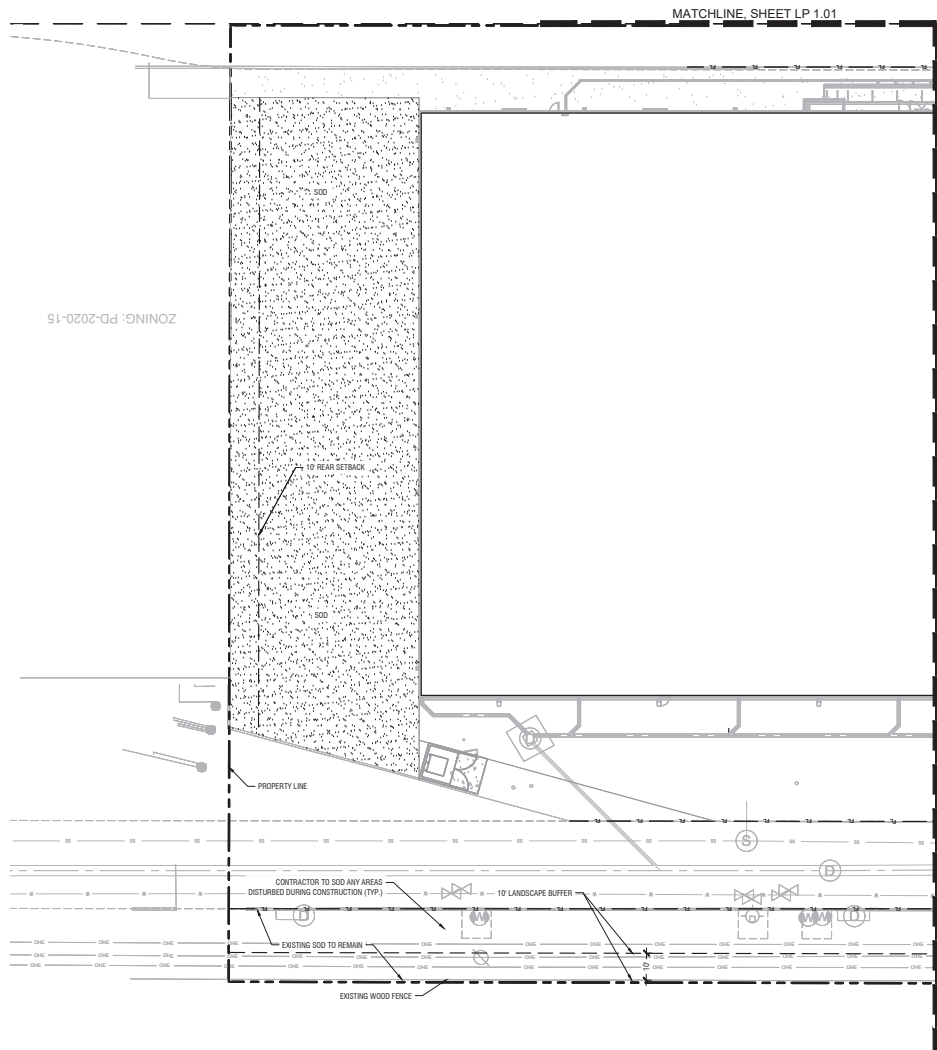
ASSIGNED BY	
DESIGNED BY	ALS
DRAWN BY	ALS
CHECKED BY	KBG

## LANDSCAPE PLAN

FLOOR & DECOR  
CITY OF WYLLIE, TEXAS

DATE 11/21/22
PROJECT NO. 068720710
SHEET NUMBER LP 1.02

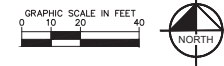
Revised by: [Name], [Title], [Date] 12/06/2022 05:13:48 PM. The Contractor shall verify the horizontal and vertical locations of all existing utilities prior to start of construction and shall notify the construction manager and engineer of any conflicts discovered. Contractor is responsible for protecting existing utilities (shown or not shown) within scope of construction. If any existing utilities are damaged, the contractor shall replace them at his own expense. Call 811 at least 72 hours prior to commencing construction or excavation.



# PLANT SCHEDULE

TREES	CODE	COMMON NAME
	JT	HOLLYWOOD JUNIPER
	QT	TEXAS RED OAK
	QV	SOUTHERN LIVE OAK
	TD	BALD CYPRESS
	UC	CEDAR ELM
ORNAMENTAL TREE	CODE	COMMON NAME
	CH	DESERT WILLOW
	LN	CRAPE MYRTLE NATCHEZ
SHRUBS	CODE	COMMON NAME
	ABE	GLOSSY ABELIA
	HES	RED YUCCA
	LEU	TEXAS SAGE
GRASSES	CODE	COMMON NAME
	MUB	LINDHEIMER MUHLY
	NAS	MEXICAN FEATHER GRASS
GROUND COVERS	CODE	COMMON NAME
	SOD	COMMON BERMUDA GRASS

NOTE: REFERENCE SHEET LP 1.02 FOR FULL PLANT SCHEDULE.

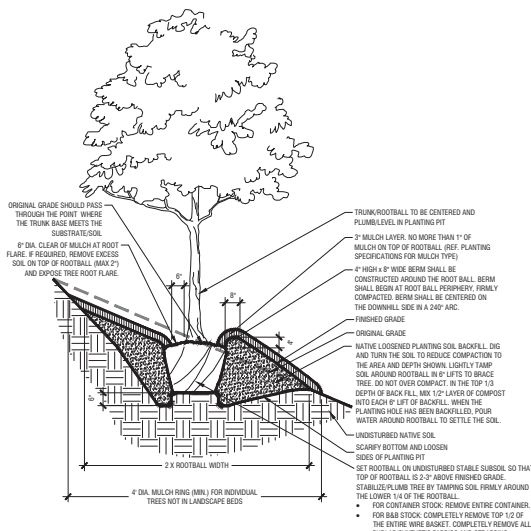


**811**  
Know what's below.  
Call before you dig.

 KIMLEY-HORN 6100 WARREN PARKWAY, SUITE 200, FISCO, TX 75040 WWW.KIMLEY-HORN.COM TEXAS REGISTERED ENGINEERING FIRM #508	
SCALE AS SHOWN DESIGNED BY DRAWN BY CHECKED BY DATE	LANDSCAPE PLAN FLOOR & DECOR CITY OF WYLLIE, TEXAS
DATE 11/21/22	PROJECT NO. 066720710
SHEET NUMBER LP 1.03	DATE 11/21/22

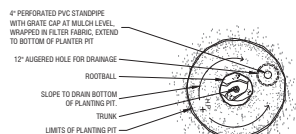


- NOTES:
1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  2. REF. TREE STAKING DETAIL THIS SHEET.

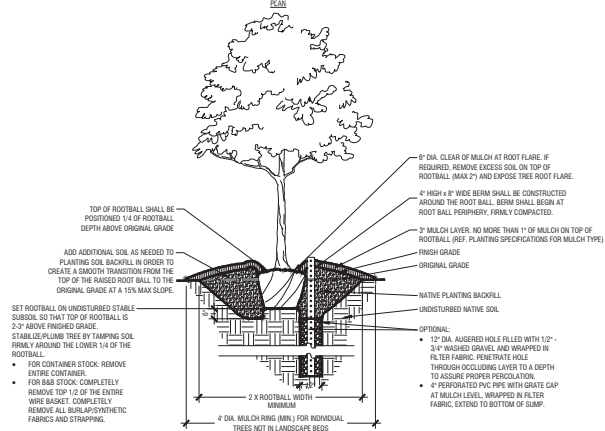


Tree Planting On 5-25% Slopes (20:1 to 4:1 Slopes)

Scale: NTS

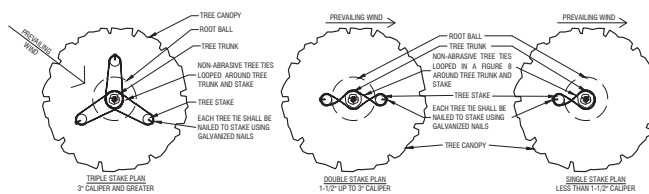


- NOTES:
1. THIS DETAIL IS FOR TREE PLANTING IN POOR DRAINAGE CONDITIONS ONLY. REF. DETAIL A THIS SHEET FOR TYPICAL TREE PLANTING.

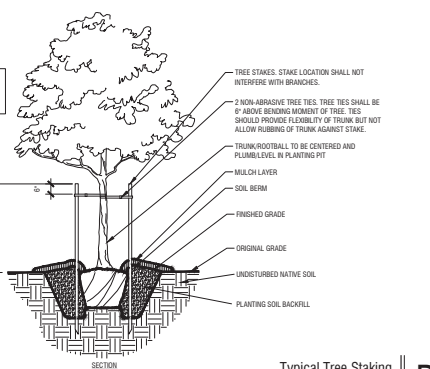


Tree Planting (Poor Drainage Condition)

Scale: NTS

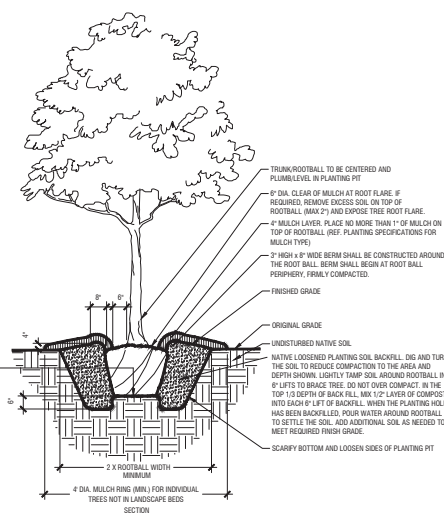


- NOTES:
1. THIS DETAIL IS FOR ABOVE GRADE TREE STAKING ONLY. REF. OTHER DETAILS FOR TYPICAL TREE PLANTING.



Typical Tree Staking

Scale: NTS



Typical Tree Planting (Up to 3" Caliper)

Scale: NTS

NO.	REVISIONS	DATE

**Kimley»Horn**  
 6100 WARREN PARKWAY, SUITE 200, FORT WORTH, TX 76116  
 WWW.KIMLEY-HORN.COM  
 TEXAS REGISTERED ENGINEERING FIRM #268



SCALE AS SHOWN  
 DESIGNED BY  
 DRAWN BY  
 CHECKED BY  
 DATE

PLANTING DETAILS

FLOOR & DECOR  
 CITY OF WYLLIE, TEXAS

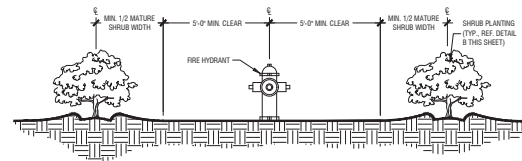


Know what's below.  
 Call before you dig.

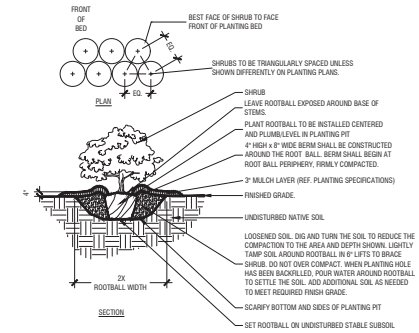
DATE	11/21/22
PROJECT NO.	068720710
SHEET NUMBER	LP 2.01

- 
- Diagram illustrating the minimum required width for a sidewalk and shrub planting area. The diagram shows a car on the left, a sidewalk, and a shrub on the right. Dimensions are indicated: "SIDEWALK ZONE REF. PLANS" for the sidewalk width, "MIN. 1/2 MATURE SHRUB WIDTH" for the distance from the sidewalk to the shrub, and "SHRUB PLANTING REF. DETAIL & TH. SHEET" for the shrub's width. The area below the sidewalk is labeled "BACK OF CURB".

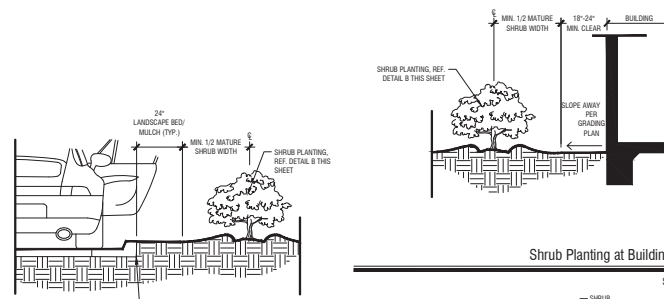
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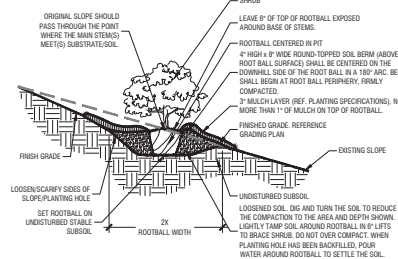
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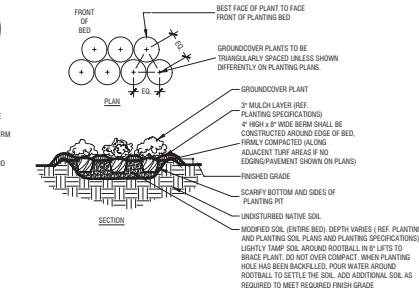
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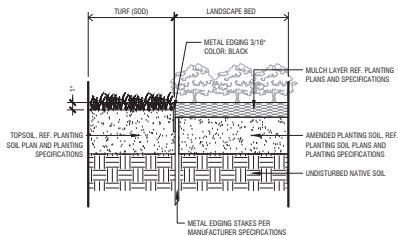
Scale: NTS



Scale: NTS

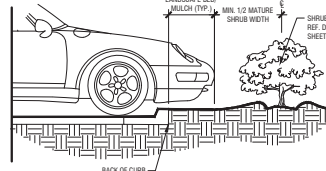


Scale: NTS



Scale: 1 1/2" = 1'-0"

Scale: NTS



Scale: NTS



FLOOR & DECOR  
CITY OF WYLIE, TEXAS

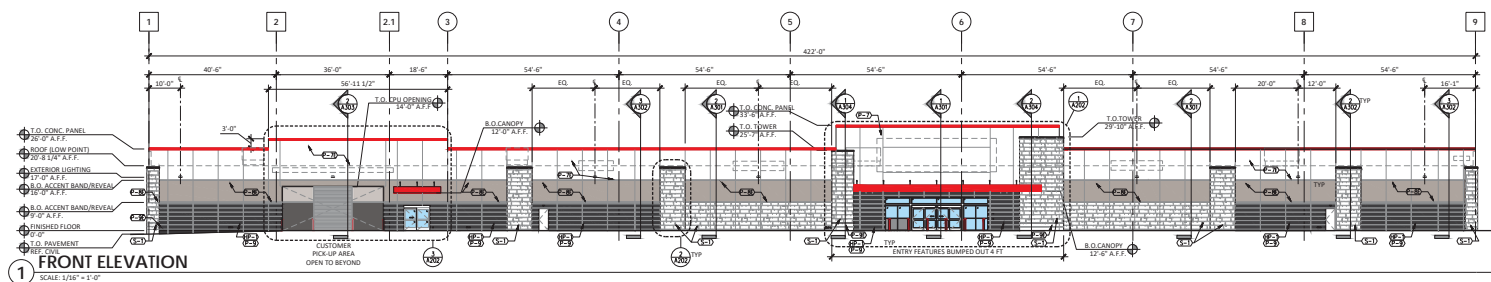
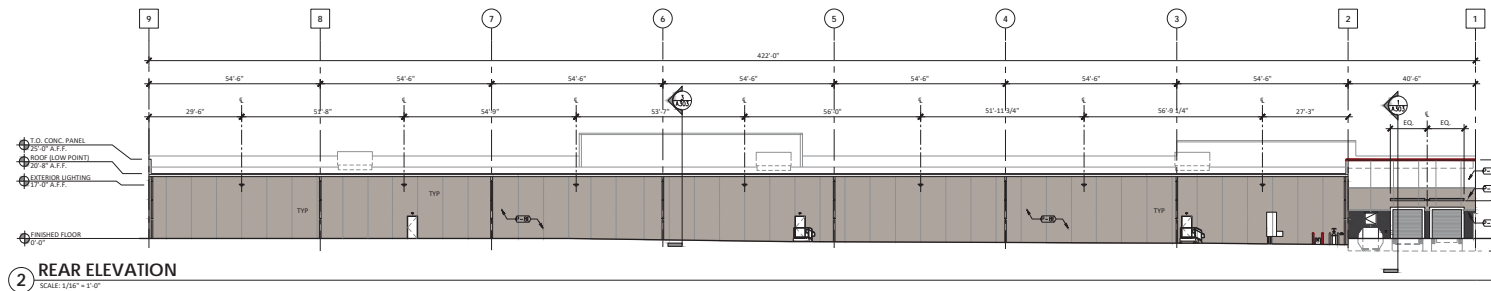
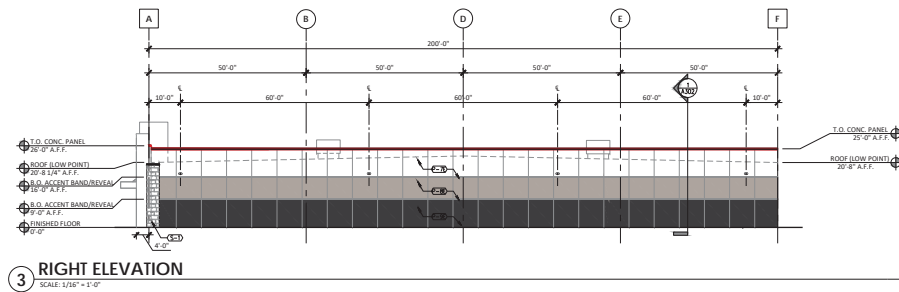
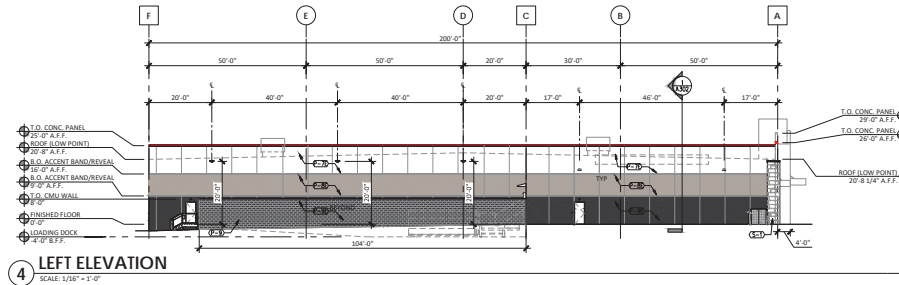
DATE 11/21/22
PROJECT NO. 068720710
SHEET NUMBER LP 2.02

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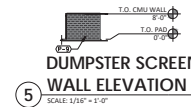


# PAINT COLOR & MATERIALS SCHEDULE

MARK	MATERIAL	MANUFACTURER	COLOR	FINISH	NOTES
P-1	PAINT	SHERWIN WILLIAMS	SW 7055 EXTRA WHITE	TEXTURED PAINT	
P-2	PAINT	SHERWIN WILLIAMS	SW 7054 AMAZING GRAY	TEXTURED PAINT	
P-3	PAINT	SHERWIN WILLIAMS	SW 7054 URBANE BRONZE	TEXTURED PAINT	
HP-1	CEMENT BOARD	JAMES HARDIE	PAINT TO MATCH SW 7054 URBANE BRONZE	FINE SAND-GROOVED	METAL CORING TO BE PREFINISHED "REGAL RED" TO MATCH P-10
S-1	STONE VENEER	CORONADO STONE	ASPEN	COUNTRY RUBBLE	



HP-1 TO MEET PD WOOD TEXTURE SIDING REQUIREMENTS



## FACADE REQUIREMENTS

FACADE AREA	4,953 SF
PD REQUIREMENTS	F&D PROVIDED
PERCENTAGE OF BUILDING REQUIRED TO BE MASONRY (TEXTURED PAINT COVERED CONCRETE PANELS) - 100%	100% - F&D PROTOTYPE COLORS
DOCK SCREENING - MASONRY OR CONCRETE	MASONRY

## FACADE REQUIREMENTS

FACADE AREA	4,953 SF
PD REQUIREMENTS	F&D PROVIDED
PERCENTAGE OF BUILDING REQUIRED TO BE MASONRY (TEXTURED PAINT COVERED CONCRETE PANELS) - 100%	100% - F&D PROTOTYPE COLORS



S-1 TO MATCH EXISTING PD STONE

## FACADE REQUIREMENTS

FACADE AREA	8,892 SF
PD REQUIREMENTS	F&D PROVIDED
PERCENTAGE OF BUILDING REQUIRED TO BE MASONRY (TEXTURED PAINT COVERED CONCRETE PANELS) - 100%	100% - F&D PROTOTYPE COLORS



## FRONT FACADE REQUIREMENTS

FACADE AREA	11,555 SF
PD REQUIREMENTS	F&D PROVIDED
PERCENTAGE OF FACADE AREA REQUIRED TO BE STONE - 20%	20% (+/- 2,460 SF)
PERCENTAGE OF FACADE AREA TO BE WOOD TEXTURED SIDING - 10%	10% (+/- 1,500 SF)
PERCENTAGE OF BUILDING REQUIRED TO BE MASONRY (TEXTURED PAINT COVERED CONCRETE PANELS) - 100%	100% - F&D PROTOTYPE COLORS
PERCENTAGE OF FACADE REQUIRED TO BE BUMPED OUT 4 FT - 25%	25% (+/- 2,940 SF)
VARIATION OF FACADE - NOT TO EXCEED HEIGHT WIDTH RATIO OF 1:2	PLASTER AND CONCRETE PANEL HEIGHT VARIATION



PROJECT NAME



3340 W FM 544  
WYLLIE, TX 75086

ISSUE DATE: 11/10/2022  
STORY NUMBER: TBD  
TOTAL GROSS AREA: 78,540 SF  
JOB NUMBER: 020502  
PROTOTYPE: 2019 Q2

NO.	DATE	DESCRIPTION
1	11/10/2022	ISSUED FOR PERMIT
2	11/10/2022	ISSUED FOR PERMIT
3	11/10/2022	ISSUED FOR PERMIT
4	11/10/2022	ISSUED FOR PERMIT
5	11/10/2022	ISSUED FOR PERMIT
6	11/10/2022	ISSUED FOR PERMIT
7	11/10/2022	ISSUED FOR PERMIT
8	11/10/2022	ISSUED FOR PERMIT
9	11/10/2022	ISSUED FOR PERMIT
10	11/10/2022	ISSUED FOR PERMIT
11	11/10/2022	ISSUED FOR PERMIT
12	11/10/2022	ISSUED FOR PERMIT
13	11/10/2022	ISSUED FOR PERMIT
14	11/10/2022	ISSUED FOR PERMIT
15	11/10/2022	ISSUED FOR PERMIT
16	11/10/2022	ISSUED FOR PERMIT
17	11/10/2022	ISSUED FOR PERMIT
18	11/10/2022	ISSUED FOR PERMIT
19	11/10/2022	ISSUED FOR PERMIT
20	11/10/2022	ISSUED FOR PERMIT

SEAL

SHEET

EXTERIOR ELEVATIONS

DRAWING: MIC  
CHECKED: JH/R

**A201**



# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Kevin Molina

Item Number: 3

### Subject

Hold a Public Hearing to consider, and act upon, a recommendation to City Council regarding a change in zoning from Downtown Historic District (DTH) to Downtown Historic District - Special Use Permit (DTH-SUP) to allow for a brewery, food truck park, and events center within the Downtown Historic District, property located at 106 N. Birmingham Street (**ZC 2022-16**).

### Recommendation

Motion to recommend **approval**.

### Discussion

**OWNER: Wylie Economic Development Corporation**

**APPLICANT: Glen Echo Brewing**

The applicant is requesting a Special Use Permit to allow for a brewery, food truck park, and events center use at 106 N. Birmingham Street.

The SUP conditions allow the Brewery, Food Truck Park, and Events Center as uses, while setting hours of operation, parking requirements, and design standards. The applicant is proposing alterations to the facade of the structure, the addition of a shade cover over the current parking area, and other minor improvements.

The SUP standards eliminate the distance requirement from any existing or future schools, churches, residences, or alcohol establishments. Normally, those distance requirements can be anywhere from 300 to 1500 feet.

The applicant is requesting that no parking be required on site. There are 22 off-street parking spaces within 150', 75+ additional within 300', and Oak street is wide enough to allow for some on-street parking.

The applicant is requesting that the company's trademark colors be allowed in the design of the building. Those colors are generally represented in the zoning exhibit. Any color may be submitted for approval, and selection of a historic color is not a guarantee of approval by the HRC. Building style, location, and neighboring structures will be taken into consideration.

The properties adjacent to the subject property are commercial uses. The subject property lies within the DTH area of the Comprehensive Land Use Plan and is compatible with the Plan. While staff does have concerns regarding the current parking situation and the requested hours of operation, the use will likely be beneficial to the vibrancy of the DTH and therefore recommends approval.

### HRC Discussion

The HRC discussed the zoning request at their November 17, 2022 meeting, ultimately voting 5-0 to recommend approval with conditions on the hours of operation being restricted to closing at 9pm Monday through Thursday and closing at

12pm on Friday through Sunday. The commission also had recommendations on the height of the sign not being taller than the adjacent properties rooflines.

Notices were sent to 13 property owners within 200 feet as required by state law. At the time of posting one response was received in favor and one in opposition of the request.



## Locator Map



ZONING CASE:  
ZC 2022-16; Glen Echo Brewing

 SUBJECT property

0 50 100 200 300 400 500 Feet



Date: 10/11/2022







**SITE PLAN**  
106 N. BIRMINGHAM ST.  
9/26/22

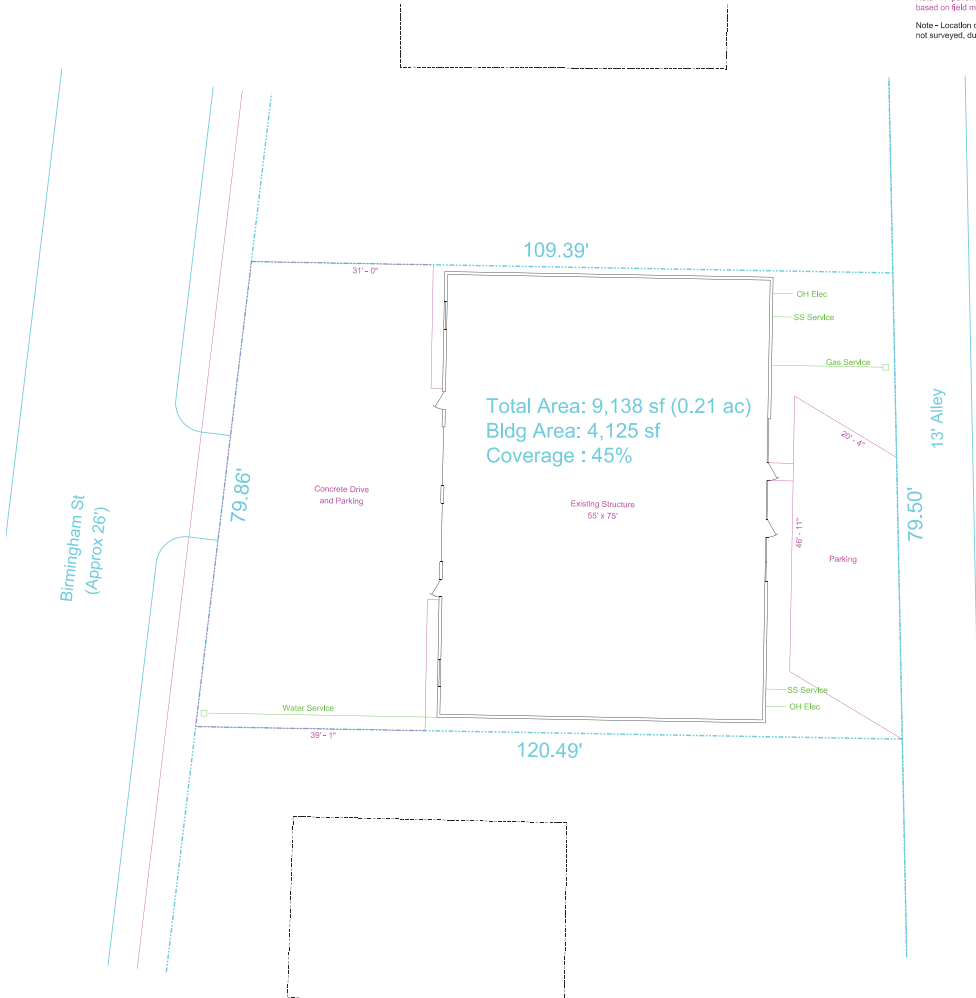
**PROPERTY OWNER:**  
WYLLIE EDC  
250 S SH 78  
WYLLIE, TX 75088  
(972) 442-7901  
JASON@WYLLIEEDC.COM

**DRAWINGS PREPARED BY:**  
STEVEN P. SCHONENKASE, PE  
7289 MOSS RIDGE ROAD  
PARKER, TX 75082  
(214) 649-7742  
SCHONENKASE@VERIZON.NET

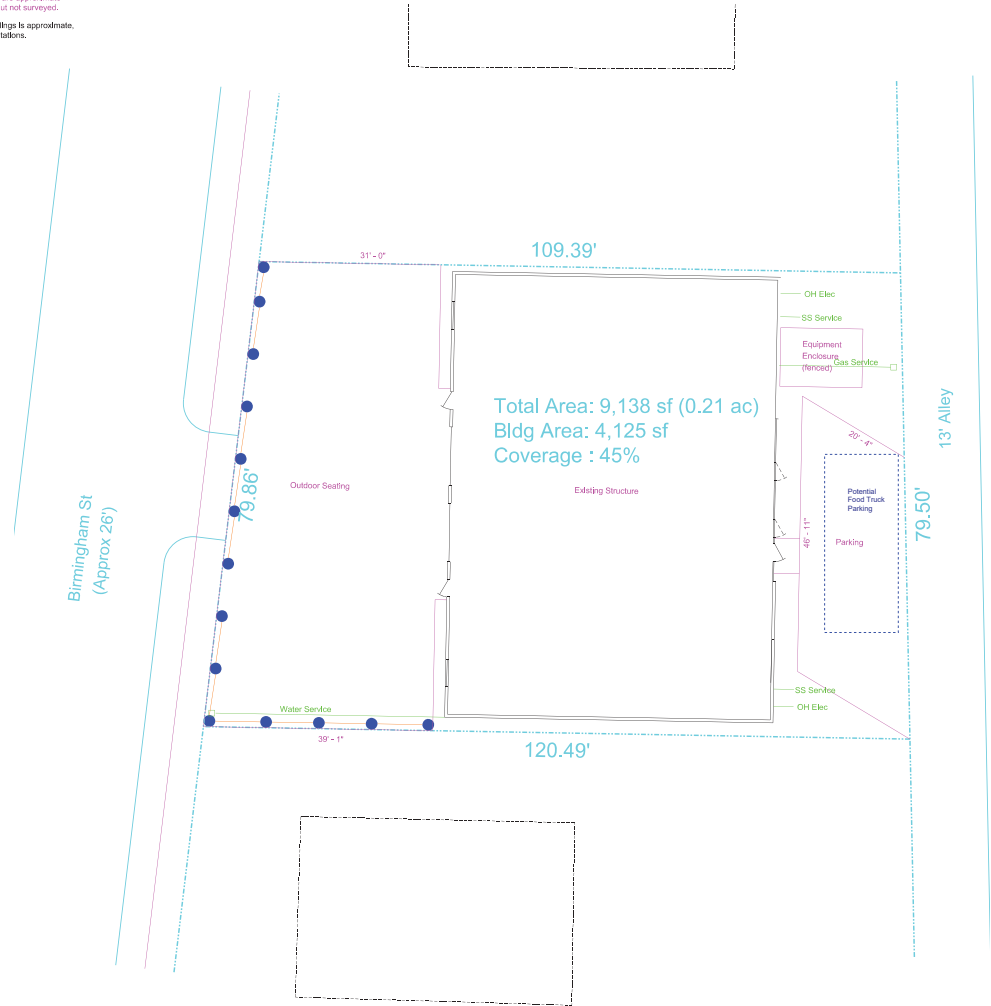
- Legend**
- Property Boundaries
  - Streets / Alleys
  - On-site Pavement
  - Utility Services
  - Adjacent Buildings



Note - All pavement dimensions are approximate based on field measurements, but not surveyed.  
Note - Location of adjacent buildings is approximate, not surveyed, due to access limitations.



EXISTING SITE PLAN



PROPOSED SITE PLAN





**BIRMINGHAM RENDERS**  
106 N. BIRMINGHAM ST.  
9/26/22

PROPERTY OWNER:  
WYLLIE EDC  
250 S SH 78  
WYLLIE, TX 75088  
(972) 442-7901  
JASON@WYLLIEEDC.COM



NW PERSPECTIVE



SW PERSPECTIVE



PATIO PERSPECTIVE



WEST ELEVATION (FRONT)

**EXHIBIT "A"****Special Use Permit – Downtown Historic District (DTH)****106 N Birmingham Street****ZC 2022-16****I. PURPOSE:**

1. The purpose of this Special Use Permit is to allow for the Brewery, Brew Pub, Food Truck Park, and Events Center uses within the Downtown Historic District using the existing building located at 106 N Birmingham Street
2. By definition, a Brewery and Brew Pub, unless otherwise preempted by state law, is a facility for the manufacture, packaging, labeling, storage, distribution, and selling for on- and off-premises consumption of beer and malted beverages.

**II. GENERAL CONDITIONS:**

1. This exhibit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021 and amended April 2022), except as specifically provided herein.
2. The design and development of the Brewery shall be in accordance with Section III below and the Zoning Exhibit (Exhibit B).

**III. SPECIAL CONDITIONS:****A. Permitted Uses**

1. This SUP will allow Brewery & Brew Pub as a permitted use within Downtown Historic District as follows:
  - Beer and/or wine may be sold for on- and off-premises consumption in accordance with the Texas Alcohol Beverage Code, as it exists or may be amended.
  - The total revenue from the sale of beer and/or wine may be up to 100% of the total revenue of the business.
  - The location of the use shall not be restricted by the distances to other Beer & Wine Package Sales establishments, churches, schools, city parks, or residences, as defined in Section 5.2.F.23 or any other distance restriction to other businesses defined in the Zoning Ordinance.

- The manufacturing of beer and/or malt beverages will be allowed on site. The production and packaging of beer and/or malt beverages will take place inside the facility, however, the fermentation process may be allowed to take place in specially designed tanks located outside the building. If outside tanks are used in the future, they will be secured by fencing but not screened from public view as they add to the aesthetic of the Brewery. Fencing will consist of chain link or similar open-web wire mesh material secured to a metal frame and located in close proximity to the tanks.
2. The Food Truck Park Use shall be allowed on site to provide service during the defined hours of operation of the Brewery.
  3. The Events Center Use shall be allowed on site. Some or all the site may be used to host a private event, celebration, ceremony, reception, corporate function, or similar activity subject to a use agreement between a private group or individual and the facility owner.
  4. Hours of operation for the purpose of serving customers or events shall be limited to the following hours of operation for the sale of beer and wine as allowable by the Texas Alcoholic Beverage Commission, currently:
    - 8:00 AM – 9pm Monday thru Thursday
    - 10:00 AM – midnight on Friday-Sunday

Hours of operation for the manufacture, packaging, labeling, storage, and distribution of beer and malted beverages may extend outside of these times and will be limited to activities inside the facility if occurring during non-standard hours.

#### B. Downtown Historic District Development and Design Standards

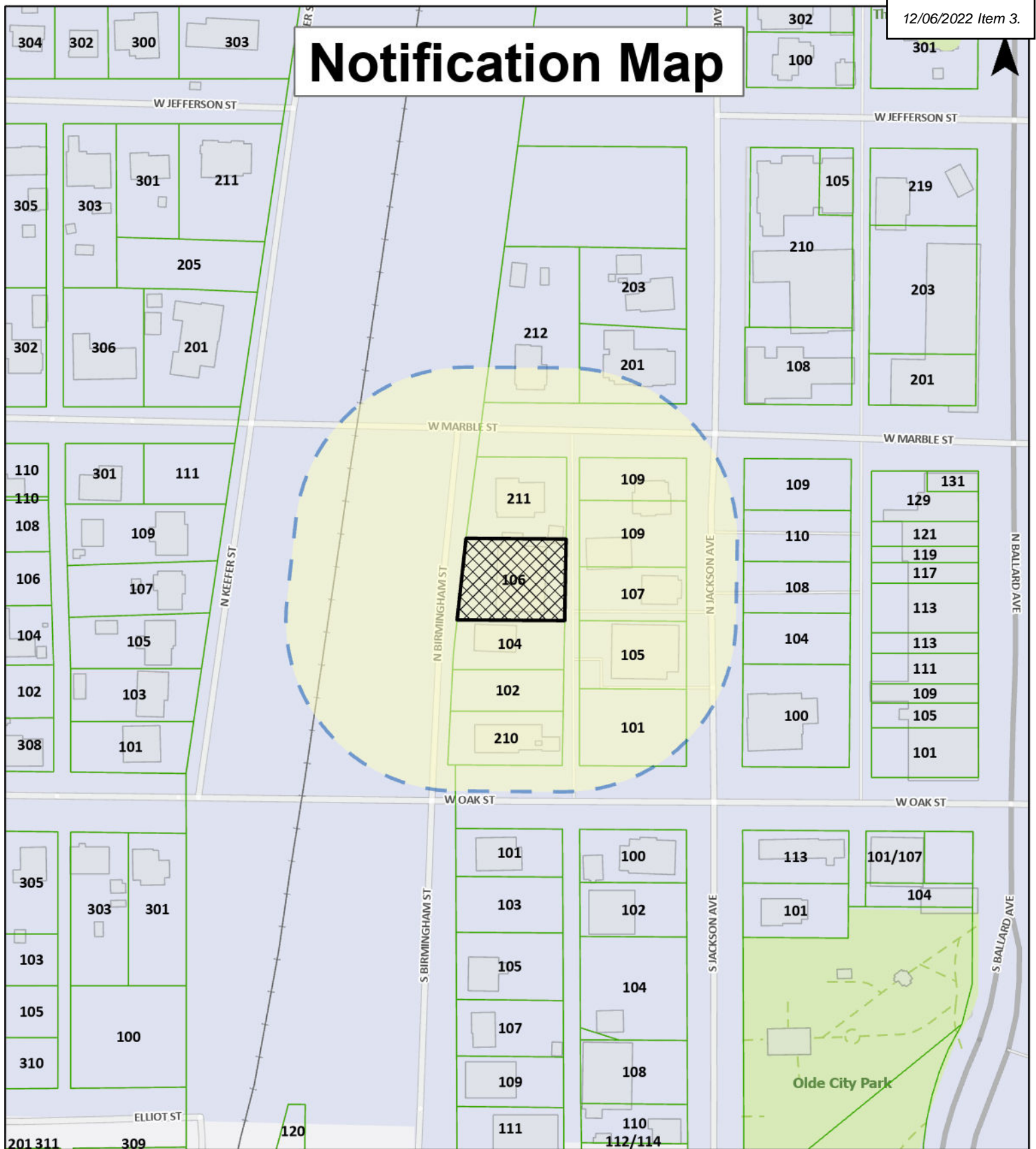
1. Site Design Standards
  - The shade cover proposed shall be constructed within 4 feet of the front property line.
  - Parking for Nonresidential Uses – Onsite parking will not be required for the subject property.
2. Architectural Design Standards –

- The color palette for the building shall be in general compliance with the exhibits provided in Attachment C, which match the trademarked colors of the proposed Craft Brewery and add to the image and appeal of the structure.
3. Signs – The provisions of Section 6.3 of the Zoning Ordinance shall not apply to this SUP and shall be replaced with the following:
- Signs shall be constructed of materials that are not subject to deterioration as determined by the International Building Code and/or the City of Wylie Building Official. Internally illuminated signs must be constructed of non-combustible material or approved plastics.
  - A single, decorative sign will be allowed to be installed on the roof, above the cornice line of the building face, similar to the exhibits contained in Attachment C. The maximum allowable area of this sign shall not exceed 100 square feet and the sign shall be limited in height to the top of the adjacent buildings.
  - Additional signage, including artwork and murals, will be allowed on all building facades. Content of such artwork shall be related to the business and/or the historic nature of the City of Wylie.

#### IV. General Development Regulations

1. Screening of mechanical equipment is not required for this existing structure.
2. Residential Style Trash receptacles will be placed behind the existing building without screening.
3. A Traffic Management Study will not be required.
4. The requirements of Section 7.7 Landscape Requirements do not apply.

# Notification Map



ZONING CASE:  
 ZC 2022-16; Glen Echo Brewing

 SUBJECT property  200 foot Notification Buffer

0 50 100 200 300 400 500 Feet



Date: 10/11/2022





# **PUBLIC COMMENT FORM** (Please type or use black ink)

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-16

☒ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-16

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of  
Historic Review Commission Meeting: Thursday, November 17, 2022 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
Planning & Zoning  
Commission meeting: Tuesday, December 6, 2022 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
City Council meeting: Tuesday, January 10, 2023 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: James Edge  
(please print)  
Address: 201 N Jackson Ave  
Wylie, Tx 75098-4444  
Signature: James Edge  
Date: 11-8-22

## **COMMENTS:**

Architecture does not fit historic downtown

**PUBLIC COMMENT FORM***(Please type or use black ink)*

Department of Planning  
 300 Country Club Road  
 Building 100  
 Wylie, Texas 75098



I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-16.

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-16.

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Planning & Zoning

Commission meeting:

Tuesday, December 6, 2022 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of

City Council meeting:

Tuesday, January 10, 2023 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

JOHN MCCUNE - MCCUNE PARTNERS  
 (please print)

Address:

105 N JACKSON  
 WYLLIE TX 75098

Signature:

Date:

11/8/22

**COMMENTS:**

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# Wylie Planning & Zoning Commission

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## AGENDA REPORT

Department: Planning

Item Number: 4

Prepared By: Kevin Molina

### Subject

Hold a Public hearing to consider, and act upon a recommendation to the City Council to allow a change in zoning from Downtown Historic District – Residential only to allow Commercial and/or Residential uses, located at 280 W Brown within the Downtown Historic District. **ZC 2022-18.**

### Recommendation

Motion to recommend **approval** as presented.

### Discussion

The applicant, the Wylie Economic Development Corporation (EDC) is requesting to rezone 280 W. Brown.

In accordance with Section 6.3 of the Zoning Ordinance, the DTH district allows for both commercial and/or residential uses in the same structure. However, some properties are restricted to residential uses only as adopted by Ordinance 2015-08. Residential only properties were those lots west of Keefer to Cotton Belt and those properties located north of Brown, west of the railroad tracks. This application would rezone the property from DTH-residential only to DTH to allow for commercial or residential uses.

The subject property consists of one lot and is bordered on the east by St Louis Southwestern Railroad. The Wylie Economic Development Corporation purchased the property and owns 401 W. Keefer. That property was rezoned in the same manner in March of 2022.

Any new development or renovations would continue to adhere to current design standards and allowed uses of the DTH regulations. In block faces within the District that are currently developed with residential structures, new construction shall be of historic design.

### HRC Discussion

The HRC discussed the zoning request at their November 17, 2022 meeting, ultimately voting 5-0 to recommend approval.

Notifications were mailed to 24 surrounding property owners with one response received in favor of the request.



# Locator Map



ZONING CASE:  
ZC 2022-18; 280 West Brown St

 SUBJECT property

0 200 400 600 800 1,000 Feet

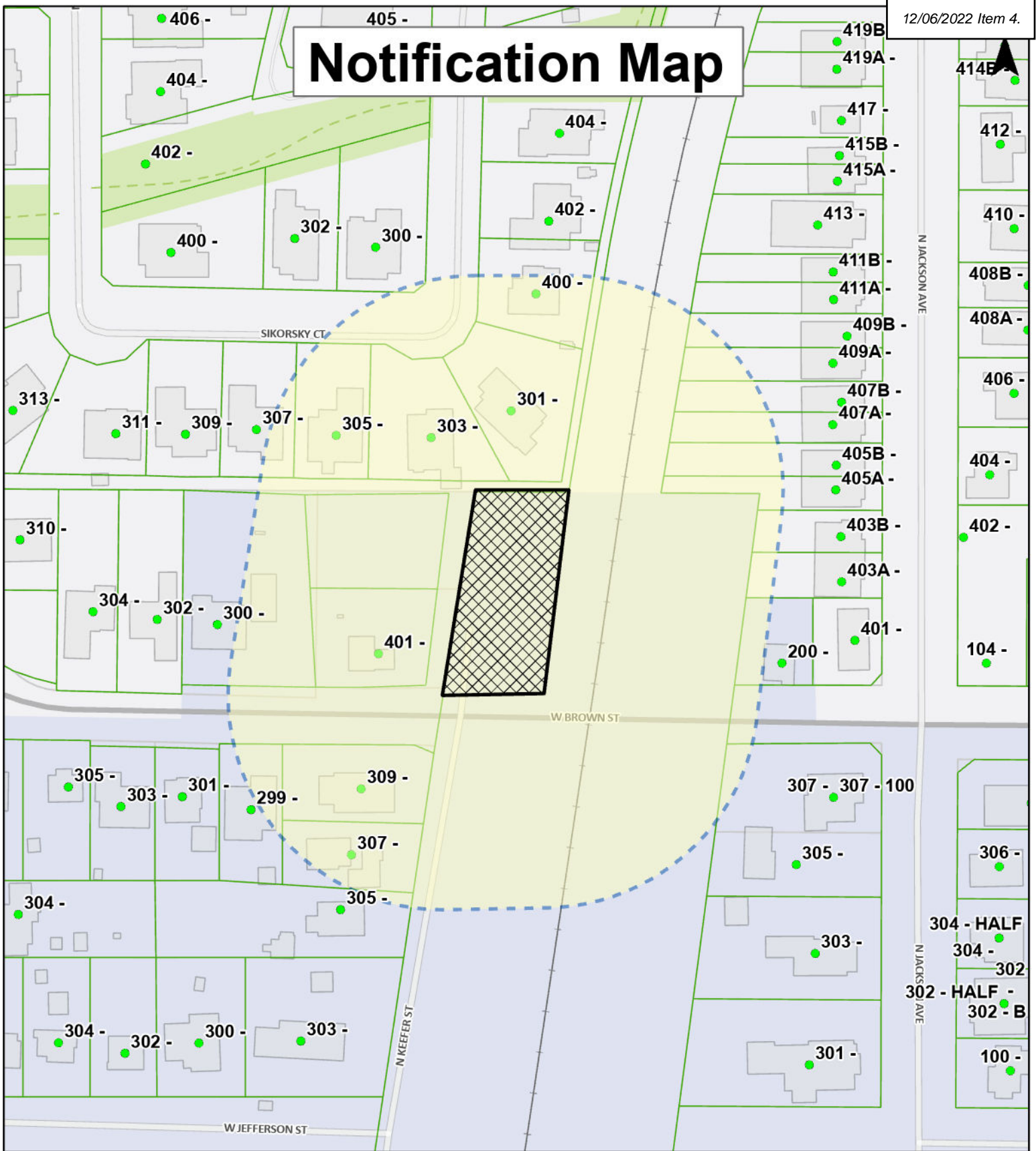


Date: 10/31/2022





# Notification Map



ZONING CASE:  
 ZC 2022-18; 280 West Brown St

 SUBJECT property  200 foot Notification Buffer

0 50 100 200 300 400 Feet

Date: 10/31/2022



# **PUBLIC COMMENT FORM** (Please type or use black ink)

Department of Planning  
300 Country Club Road  
Building 100  
Wylie, Texas 75098

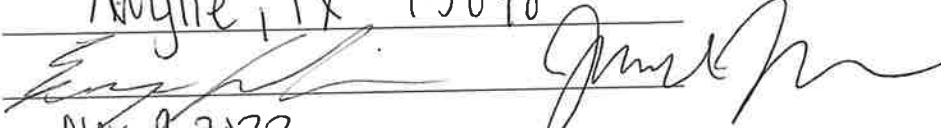
X I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-18.  
 \_\_\_\_\_ I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-18.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of  
Historic Review Commission Meeting: Thursday, November 17, 2022 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
Planning & Zoning  
Commission meeting: Tuesday, December 6, 2022 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of  
City Council meeting: Tuesday, January 10, 2023 6:00 pm  
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Eugene + Linda Jaramillo  
 (please print)  
 Address: 403 A/B N. Jackson Ave.  
 Wylie, TX 75098  
 Signature:   
 Date: Nov 9, 2022

## **COMMENTS:**

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# Wylie Planning & Zoning Commission

## AGENDA REPORT

Department: Planning  
Prepared By: Jasen Haskins, AICP

Item Number: 5

### Subject

Hold a Public Hearing to consider, and act upon, a recommendation to City Council regarding an Amendment to the City of Wylie Zoning Ordinance, Article 5.1 Land Use Charts and Article 5.2 Listed Uses as they relate to Accessory and Temporary Uses of Donation Boxes (ZC 2022-19).

### Recommendation

Motion to recommend approval.

### Discussion

At the November 2022 City Council meeting a work session was held on a potential amendment to the zoning ordinance regarding donation boxes. Staff presented proposed amendments which council generally agreed on and asked staff to finalize the amendments for adoption. Attached are the proposed amendments.

Donation boxes are usually large metal containers and sometimes trailers that are usually placed in existing places of business for the collection of unwanted clothes and other small household items. The sites can be both attended or, more likely, unattended. It is generally the unattended locations that are of concern. An unattended donation box can become a public nuisance when donations overflow into the area around the box or include items that are appropriate for donation, such as used mattresses.

Currently, donation box placement is regulated under the temporary use category of the zoning ordinance and the Health and Sanitation Chapter of the city ordinance. However, neither donation boxes nor the specific conditions for them are in either ordinance, which can make regulation open to interpretation. The proposed amendments codify the regulations and allow for donation boxes as permanent accessory or temporary uses, give requirements for placement and maintenance, and provide for city enforcement and penalties.

ZONING ORDINANCE

Permitted Uses	Residential Districts							Non-Residential Districts							Parking
	Low Density		High Density					Commercial				Industrial		Mixed-Use	
J. Accessory Uses	AG/ 30	SF- ED	SF- 20/ 26	SF- 10/ 24	TH	MF	MH	NS	CR	CC	BG	LI	HI	DTH	SBO
11. Accessory Donation Box								P	P	P					None

P=Permitted P\*=Permitted with additional requirements when located in this district.  
S=Special Use Permit T=Temporary Use Permit (L)=Loading spaces are required

Permitted Uses	Residential Districts							Non-Residential Districts							Parking
	Low Density		High Density					Commercial				Industrial		Mixed-Use	
K. Temporary Uses	AG/ 30	SF- ED	SF- 20/ 26	SF- 10/ 24	TH	MF	MH	NS	CR	CC	BG	LI	HI	DTH	SBO
2. Donation Box								P	P	P					

P=Permitted P\*=Permitted with additional requirements when located in this district.  
S=Special Use Permit T=Temporary Use Permit (L)=Loading spaces are required

## SECTION 5.2 LISTED USES

All permitted districts, required parking, and loading are outlined in Section 5.1 Land Use Charts.

### H. Accessory Uses

#### 11. Accessory Donation Box

- a. **Definition:** Donation Box means a container for the collection of household items generally accepted as resalable or reusable. The container may be manned or unmanned.
- b. **Additional Provisions:** Donation Boxes shall meet the following standards:
  - (1) Donation Boxes are permitted only in areas designated on the site plan filed with the City. The City Planner shall have the authority to approve or disapprove the addition of Donation Boxes exhibits when presented as an amendment to an approved site plan of the primary use. The City Planner may waive this authority and require consideration of the amendment by the Planning and Zoning Commission.
  - (2) No more than one (1) donation box may be permitted for placement on any one lot. In the case of a commercial development that consists of multiple platted lots, the City Planner shall treat the commercial development as if it is one contiguous lot. However, the City Planner can allow for more than one donation box per commercial development up to one box per five (5) acres.
  - (3) A decal to allow a Donation Box to be placed and used at a designated location shall be issued by Community Services at the time of the approval of the Site Plan or amendment. The decal shall be placed on the Donation Box in a visible location to identify the Donation Box as an allowed use on the property, the operator's name and contact information, and that all donations must fit into and be placed within the Donation Box.
  - (4) The maximum dimensions of a Donation Box shall be ten (10) feet in width, twelve (12) feet in depth and seven (7) feet in height. If the Donation Box is a manned trailer the depth and height may be increased to twenty-four (24) feet and eight (8) feet, respectively.
  - (5) Donation Boxes shall not be located in a required parking or loading space, designated landscaping or open space, or required setbacks.
  - (6) Donation Boxes shall not be placed in the rear of a site, and if placed in the side of a site must not be further back than the midpoint.
  - (7) The operator of each Donation Box shall keep the real property situated within twenty-five (25) feet of the location of a Donation Box clean and free of trash, debris, coat hangers, clothes, clothing accessories or excess donations. The Donation Box shall be kept in good condition, free from damage and graffiti.
  - (8) A violation of any of these provisions shall constitute a public nuisance, and the City shall have the authority to issue a violation notice, issue a ticket, or abate any such violation as such as allowed under Article IV Section 54-66 of the City of Wylie's Code of Ordinances. This provision does not exclude or limit the use

of any other remedy available to the City under this Ordinance, the Code of Ordinances or the laws of the State of Texas.

- (9) The requirements of this Subsection shall apply to all Donation Boxes regardless of whether the boxes were placed prior to the effective date of these regulations, except that any Donation Boxes existing on the effective date of these regulations shall come into compliance with the requirements of this Subsection 5.2.H.11(1-6) not later than six (6) months after the effective date of these regulations. Donation Boxes existing on or before the effective date of these regulations shall have no legally existing non-conforming rights and shall comply with the requirements of SubSections 5.2.H.11(7-9) immediately.

## **I. Temporary Uses**

### **3. Temporary Donation Box**

- a. **Definition:** Donation Box means a container for the collection of household items generally accepted as resalable or reusable. The container may be manned or unmanned.
- b. **Additional Provisions:** Donation Boxes shall meet the following standards:
  - (1) Donation Boxes are permitted only in areas designated on the application filed with the City.
  - (2) No more than one (1) donation box may be permitted for placement on any one lot. In the case of a shopping center or office development that consists of multiple platted lots, the City Planner shall treat the shopping center or office development as if it is one contiguous lot.
  - (3) A decal to allow a Donation Box to be placed and used at a designated location shall be issued by Community Services at the time of the approval of the Temporary Use Permit. The decal shall be placed on the Donation Box in a visible location to identify the Donation Box as an allowed use on the property, the operator's name and contact information, and that all donations must fit into and be placed within the Donation Box.
  - (4) The maximum dimensions of a Donation Box shall be ten (10) feet in width, twelve (12) feet in depth and seven (7) feet in height. If the Donation Box is a manned trailer the depth and height may be increased to twenty-four (24) feet and eight (8) feet, respectively.
  - (5) Donation Boxes shall not be located in a required parking or loading space, designated landscaping or open space, or required setbacks.
  - (6) Donation Boxes shall not be placed in the rear of a site, and if placed in the side of a site must not be further back than the midpoint.
  - (7) The operator of each Donation Box shall keep the real property situated within twenty-five (25) feet of the location of a Donation Box clean and free of trash, debris, coat hangers, clothes, clothing accessories or excess donations. The Donation Box shall be kept in good condition, free from damage and graffiti.
  - (8) A violation of any of these provisions shall constitute a public nuisance, and the City shall have the authority to issue a violation notice, issue a ticket, or abate any such violation as such as allowed under Article IV Section 54-66 of

the City of Wylie's Code of Ordinances. This provision does not exclude or limit the use of any other remedy available to the City under this Ordinance, the Code of Ordinances or the laws of the State of Texas.

- (9) The requirements of this Subsection shall apply to all Donation Boxes regardless of whether the boxes were placed prior to the effective date of these regulations, except that any Donation Boxes existing on the effective date of these regulations shall come into compliance with the requirements of this Subsection 5.2.H.11(1-6) not later than three (3) months after the effective date of these regulations. Donation Boxes existing on or before the effective date of these regulations shall have no legally existing non-conforming rights and shall comply with the requirements of SubSections 5.2.H.11(7-9) immediately.