

Wylie City Council Regular Meeting

April 26, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PRESENTATIONS & RECOGNITIONS

PR1. Junior Mayor Alvin Velasquez.

PR2. Proclamation for Small Business Week.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of April 12, 2022 Regular City Council Meeting minutes.
- B. Consider, and act upon, a Preliminary Plat of Birmingham and 78 Addition, establishing Lot 1, Block 1 on 1.038 acres, generally located on the northwest corner of State Highway 78 and Birmingham Street.
- C. Consider, and act upon, Ordinance No. 2022-32 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.35 acres, property located at 3201 FM 544 (ZC 2022-03).
- D. Consider, and act upon, Ordinance No. 2022-33 for a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) on 21.85 acres generally located on the southwest corner of State Highway 78 and Wylie East Drive (ZC 2022-05).
- E. Consider, and act upon, Ordinance No. 2022-34 amending regulations to Zoning Ordinance No. 2015-09, Article 6, Section 6.3 Downtown Historic District.
- F. Consider, and act upon, the Park Event Application for an Art Market Event at Olde City Park on July 16, 2022.
- G. Consider, and act upon, the Park Event Application Do it for Declan 5K fundraiser event at Founders Park on December 10, 2022.

- H. Consider, and act upon, Ordinance No. 2022-35 amending Wylie's Code of Ordinances, Ordinance No. 2021-17, as amended, Chapter 82 (Peddlers and Solicitors).
- I. Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of March 31, 2022.
- J. Consider, and place on file, the City of Wylie Monthly Revenue and Expenditure Report for March 31, 2022.
- K. Consider, and place on file, the City of Wylie Monthly Investment Report for March 31, 2022.
- L. Consider, and act upon, rescinding the award of the purchase of Chevrolet Tahoe PPV vehicles for the Police Department in the estimated amount of \$207,000.00 through a BuyBoard cooperative purchasing, and authorizing the Interim City Manager to execute any necessary documents.
- M. Consider, and act upon, the approval of the purchase of Chevrolet vehicles for the Police Department in the estimated amount of \$208,000 from Reliable Chevrolet through a Sheriff's Association of Texas cooperative purchasing, and authorizing the Interim City Manager to execute any necessary documents.
- N. Consider, and act upon, the approval of the purchase of Chevrolet vehicles for the Police Department in the estimated amount of \$214,403 from Reliable Chevrolet through a Sheriff's Association of Texas cooperative purchasing, and authorizing the Interim City Manager to execute any necessary documents.

EXECUTIVE SESSION

Sec. 551.074. PERSONNEL MATTERS; CLOSED MEETING.

- (a) This chapter does not require a governmental body to conduct an open meeting:
 - (1) to deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or
 - (2) to hear a complaint or charge against an officer or employee.
- (b) Subsection (a) does not apply if the officer or employee who is the subject of the deliberation or hearing requests a public hearing.

ES1. Discuss the performance of the Interim City Manager.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

REGULAR AGENDA

1. **Tabled from 03-08-2022**

Remove from table and consider

Hold a Public Hearing, consider, and act upon, a change in zoning from Agricultural District (AG/30) to Planned Development - Single Family (PD-SF) to allow for single family residential development on 47.2995 acres generally located on Country Club Road approximately 2000' south of Parker Road (ZC 2022-02).

2. Hold a Public Hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.02 acres, property located at 2020 N. State Highway 78 (ZC 2022-07).

- [3.](#) Hold a Public Hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) to allow for a Commercial and light industrial development on 7.789 acres generally located on SH 78 1000' east of Eubanks Lane (ZC 2022-08).
- [4.](#) Consider, and act upon, Ordinance No. 2022-36 approving the terms and conditions of a Boundary Adjustment Agreement between the City of Wylie and the City of Lavon; authorizing the Mayor to execute the Boundary Adjustment Agreement on behalf of the City of Wylie; clarifying that the property as described in the Boundary Adjustment Agreement released from Wylie's extraterritorial jurisdiction and incorporated into Lavon's extraterritorial jurisdiction; providing a repealing/savings clause, severability clause, and an effective date.
- [5.](#) Consider, and act upon, the appointment of a board member to the North Texas Municipal Water District (NTMWD) Board to fill an expired term of June 1, 2022 to May 31, 2024.
- [6.](#) Consider, and act upon, Resolution No. 2022-13(R) casting a nomination for a candidate for the Board of Directors of the Collin Central Appraisal District.
- [7.](#) Consider, and act upon, Resolution No. 2022-14(R) authorizing the Interim City Manager of the City of Wylie, Texas, or his designee, to execute an Advance Funding Agreement between the State of Texas and the City of Wylie, and to take any and all other actions necessary to effectuate the same; and providing for an effective date hereof.

WORK SESSION

- [WS1.](#) Discussion regarding dog park and splash pad site evaluation - Joint Work Session with Parks and Recreation Board.
- [WS2.](#) Discuss results of the Geotechnical Engineering Report provided for Stone Road.
- [WS3.](#) Discuss options of the YMCA partnering with the City to operate the Recreation Center.

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.

This chapter does not require a governmental body to conduct an open meeting:

- (1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or
- (2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

ES2. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2017-10a, 2020-11b, 2021-2d, 2021-4a, 2021-4b, 2021-5a, 2021-6a, 2021-6c, 2021-7a, 2021-8a, 2021-9e, 2021-9f, 2021-11a, 2021-12a, 2021-12b, 2022-1a, 2022-2a, 2022-2b, 2022-4a, and 2022-4b.

Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

ES3. Consider the sale or acquisition of properties located at Ballard/Brown, Brown/Eubanks, FM 544/Cooper, FM 544/Sanden, State Hwy 78/Alanis, State Hwy 78/Ballard, State Hwy 78/Birmingham, and State Hwy 78/Brown.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on April 22, 2022 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.

§ 551.072 – Discussing purchase, exchange, lease or value of real property.

§ 551.074 – Discussing personnel or to hear complaints against personnel.

§ 551.087 – Discussing certain economic development matters.

§ 551.073 – Discussing prospective gift or donation to the City.

§ 551.076 – Discussing deployment of security personnel or devices or security audit.



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, approval of April 12, 2022 Regular City Council Meeting minutes.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes are attached for your consideration.

Financial Summary/Strategic Goals

Community Focused Government

Wylie City Council Regular Meeting Minutes

April 12, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Mayor Matthew Porter called the regular meeting to order at 6:02 p.m. The following City Council members were present: Junior Mayor Robert Figuly, Councilman David R. Duke, Councilman Dave Strang, Mayor *pro tem* Jeff Forrester, Councilman Timothy T. Wallis, and Councilman Garrett Mize. Councilman Scott Williams was absent.

Staff present included: Interim City Manager Brent Parker; Assistant City Manager Renae Ollie; Police Lieutenant Trey Cotten; Finance Director Melissa Beard; Fire Chief Brandon Blythe; Public Information Officer Craig Kelly; Planning Manager Jasen Haskins; Public Art Coordinator Carole Ehrlich; Library Director Ofilia Barrera; Public Works Director Tommy Weir; Human Resource Director Lety Yanez; IT Director James Brown; Parks and Recreation Director Robert Diaz; City Engineer Tim Porter; WEDC Executive Director Jason Greiner; City Attorney Richard Abernathy; City Secretary Stephanie Storm; and various support staff.

INVOCATION & PLEDGE OF ALLEGIANCE

Mayor *pro tem* Forrester led the invocation, and Junior Mayor Figuly led the Pledge of Allegiance.

PRESENTATIONS & RECOGNITIONS

PR1. Junior Mayor Robert Figuly.

Mayor Porter introduced Junior Mayor Robert Figuly, administered the oath of office, and presented a proclamation for “Mayor of the Day.”

PR2. Proclamation for Military Brats Month.

Mayor Porter recognized April 2022 as Military Children’s/Brats Month in Wylie, Texas.

PR3. Proclamation for National Public Safety Telecommunicator Week.

Mayor Porter presented a proclamation proclaiming April 11-17, 2022 as National Public Safety Telecommunicator Week in Wylie, Texas. Telecommunicator staff were present to accept the Proclamation. Jimmy Knipp, retired Branch Fire Chief, was also present to present a plaque of appreciation for their service.

Mayor Porter stated he will recognize Animal Control Officer week Thursday at the Animal Shelter.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

There were no citizens present wishing to address the Council.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of March 22, 2022 Regular City Council Meeting minutes.**
- B. Consider, and act upon, Ordinance No. 2022-30 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for expansion of a self-storage use on 4.282 acres, property located at 3475 W FM 544 (ZC 2021-27).**
- C. Consider, and act upon, a Final Plat for Kreymer East Phase 2, establishing 144 residential lots and one open space lot on 43.089 acres, generally located on WA Allen Blvd and Glen Eagle Drive.**
- D. Consider, and act upon, a Final Plat for Lake Park Villas Phase 2, establishing 93 residential lots and four open space lots on 14.302 acres, generally located at the northwest corner of County Line Road and Troy Road.**
- E. Consider, and act upon, Resolution No. 2022-11(R) authorizing the sole source purchase of ESRI Small Municipal and County Government Enterprise Software under a single three (3) year term from Environmental Systems Research Institute, Inc. (ESRI, Inc.) in the amount of \$179,103.00 and authorizing the Interim City Manager to execute any necessary documents.**
- F. Consider, and act upon, the award of bid #W2022-29-A Ready Mix Portland Cement Concrete to Cooper Concrete Company and Lattimore Materials Corporation in the estimated annual amount of \$225,000.00, and authorizing the Interim City Manager to execute any necessary documents.**

Mayor Porter stated two comment forms were received, one for Item C and one for Item D so those items will be considered individually.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Duke, to approve Consent Agenda Items A, B, E, and F as presented. A vote was taken and motion passed 6-0 with Councilman Williams absent.

EXECUTIVE SESSION

Mayor Porter reconvened the Council into Executive Session at 6:22 p.m.

Sec. 551.071. CONSULTATION WITH ATTORNEY; CLOSED MEETING.

If A governmental body may not conduct a private consultation with its attorney except:

- (1) when the governmental body seeks the advice of its attorney about:
 - (A) pending or contemplated litigation; or
 - (B) a settlement offer; or
- (2) on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.

ES1. Discussion about the solicitation ordinance.

ES2. Receive legal advice regarding a proposed settlement in Cause No. 005-00274-2022 in the case styled City of Wylie, Texas v. The Muddy Creek Farms Trust pending in County Court at Law No. 5, Collin County, Texas.

ES3. Discuss property for Ballard Elevated Tank.**RECONVENE INTO OPEN SESSION**

Take any action as a result from Executive Session.

Mayor Porter reconvened the Council into Open Session at 7:05 p.m.

REGULAR AGENDA

C. Consider, and act upon, a Final Plat for Kreymer East Phase 2, establishing 144 residential lots and one open space lot on 43.089 acres, generally located on WA Allen Blvd and Glen Eagle Drive.

Citizen Comments

Paul Curtis addressed Council stating his home backs up to this development and expressed concerns with not following the city's tree preservation plan, high weeds and trash in the drainage ditch, and requested assistance with replanting trees, treating mosquitos from the stagnant water, city accessing the area through his yard, and what the final grade of the area will be.

Council Comments

Mayor Porter requested staff comment on the areas of concern. City Engineer Porter addressed Council stating staff has worked closely with the developer to ensure the final product is what was approved by Engineering. Porter stated the developer is not completed with the project, and the area in question is flat which makes it difficult to drain completely dry. Mayor Porter asked if the accessibility for the City to maintain the area would be part of the final grading plan, and asked who would be doing the maintenance. City Engineer Porter replied not all standing water has to be treated for mosquitos, but Public Works can take a look at this area. Councilman Wallis stated the developer has to do the right thing and do what they tell people that they are going to do, and make sure that we take care of citizens first. City Engineer Porter stated Engineering checked the engineering and stormwater and it does work. Porter also added planting trees in the creek would inhibit the flow of the water. Mayor Porter asked what groundcover the CLOMR is rated for. City Engineer Porter stated a factor is used to calculate based on the type of land it is and is unsure what types of foliage the factor includes. He added the plan was to remove all of the trees but after discussions with citizens some trees were left to meet in the middle, and regarding the grades, the developer has to get a survey done of the area to make sure it matches with the CLOMR of the area. Mayor Porter asked what happens if it has been cut down a foot or plus between properties, is it common to not have a slope. City Engineer Porter replied they will ensure those items will be taken care of because they do not want any erosion. Councilman Duke asked if this item is tabled, how long can it be tabled for. Haskins replied since this is a plat, per State Law, action has to be taken on this item this evening and added approval of the final plat approves the layout itself but the City still has to issue a final acceptance letter, and Certificates of Occupancy can be withheld until the acceptance letter is completed. Mayor *pro tem* Forrester asked when beautification of the area would be completed by. Jim Douglas, the Developer, addressed Council stating it has been seeded and added this area has always held water and as they were clearing the area some residents requested the trees not be removed; therefore, they did not clear all the trees which could result in unusual slopes. Douglas stated this is a clear-cut channel and most is owned by the City but have not been maintained, and pockets of water will never completely dry out. Douglas stated they do match the FEMA and City approved plans and the plans will be submitted to FEMA for final approval, and they are unable to build houses until it is accepted by the City. Douglas stated the development only owns a small portion of the channel and the City owns the rest, and they have done everything they can to assist the citizens. Forrester asked for a timeline for the completion of the project. Douglas replied 60 days. Mayor Porter asked for the timeline for the retaining wall with a walking trail. Douglas replied it has been completed. Mayor Porter asked if there are any utilities in the walking area. City Engineer Porter replied there is a water district utility that is about 20 feet off of the sidewalk. Mayor Porter asked if it would prohibit trees or shrubs. City Engineer Porter stated trees would be prohibited but the City could speak with the utility district about planting shrubs that can be torn out if needed. Parker added with the City owning that easement it will be maintained going forward. Councilman Strang asked what can be done in the interim to make sure it is cleared out and picked up before the project is completed. City Engineer Porter stated it is a joint effort between the developer and City staff. Mayor Porter requested staff get back

to Council regarding the factor that was used in the CLOMR for long-term beautification options of the area. Councilman Mize stated he agreed with the Mayor's request and that the City do everything it can to replant those that do not impede the flow of water, and added the City needs to ensure the grade is safe, sloped to prevent erosion, and is accessible to maintain. City Engineer Porter replied safety is the number one priority and they work with the developer to deliver the best product to the City.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Duke, to approve Item C as presented. A vote was taken and motion passed 5-1 with Councilman Wallis voting against and Councilman Williams absent.

- D. Consider, and act upon, a Final Plat for Lake Park Villas Phase 2, establishing 93 residential lots and four open space lots on 14.302 acres, generally located at the northwest corner of County Line Road and Troy Road.**

Citizen Comments

Lon Ricker addressed Council stating he lives across the street from this development, stated affordable living places are needed in Wylie, and commended contractors on the work they are doing building a quality project. He added that he suggested citizens get involved with Planning and Zoning early on in the process.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Duke, to approve Item D as presented. A vote was taken and motion passed 6-0 with Councilman Williams absent.

- 1. Consider, and act upon, settlement in Cause No. 005-00274-2022 in the case styled City of Wylie, Texas v. The Muddy Creek Farms Trust pending in County Court at Law No. 5, Collin County, Texas.**

Staff Comments

Interim City Manager Parker addressed Council stating the City has been working towards acquiring right of way for the widening of McMillan Road. The property referenced is one that the City has been working towards an agreement with and that agreement has been reached with the property owner. Porter stated this is a result of negotiations with the property owner.

Council Action

A motion was made by Councilman Strang, seconded by Mayor *pro tem* Forrester, to approve Item 1 as presented. A vote was taken and motion passed 6-0 with Councilman Williams absent.

- 2. Hold a Public Hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.35 acres, property located at 3201 FM 544 (ZC 2022-03).**

Staff Comments

Planning Manager Haskins addressed Council stating the applicant is requesting a Special Use Permit (SUP) located at 3201 W FM 544 to allow for a second restaurant with drive-thru service on the subject property. The property currently contains one restaurant with drive-thru service as the site plan was approved in 2017 prior to the SUP requirement for that use being in the Zoning Ordinance. The new proposed restaurant with drive-thru service is located on the northwest side of the rear building (Building B). As part of the SUP, the entire site shall be parked at a ratio of 1:275. Sit-down restaurants shall also be prohibited due to a concern for parking availability for high traffic uses. Eight notifications were mailed with no responses received in opposition or in favor of the request and the Planning and Zoning Commission voted 7-0 to recommend approval.

Council Comments

Mayor *pro tem* Forrester asked where the stacking of vehicles would be, and where would the traffic exit. Haskins replied the stacking would be in the back, and added Fire and Engineering have reviewed it and are okay with it, and stated the exit would be out the front area to the shared drive. Mayor Porter stated his only concern was that it

looked like there is going to be two drive-thrus exiting out the same area and asked if that one entrance and exit would be able to handle the volume of traffic moving in and out. Haskins replied Engineering did review it from a safety standpoint and approved it, and stated there are also other exit areas in the vicinity that can be utilized due to cross access easements.

Public Hearing

Mayor Porter opened the public hearing on Item 2 at 7:47 p.m. asking anyone present wishing to address Council to come forward.

There were no persons present to address Council.

Mayor Porter closed the public hearing at 7:47 p.m.

Council Action

A motion was made by Councilman Mize, seconded by Mayor *pro tem* Forrester, to approve Item 2 as presented. A vote was taken and the motion passed 6-0 with Councilman Williams absent.

3. Hold a Public Hearing, consider, and act upon, amendments to Zoning Ordinance No. 2015-09, Article 6, Section 6.3 Downtown Historic District. ZC 2022-06.

Staff Comments

Assistant City Manager Ollie addressed Council stating both the Historic Review Commission (HRC) and Planning and Zoning Commission have reviewed the updates and recommend the following amendments to the ordinance. Ollie stated primary changes include: better define substantial renovations and routine maintenance, included a section on the submittal process for landmarks, added a Demolition and Relocation section, separated parking standards for residential and non-residential uses, for accessory structures eliminated placement of garages behind the rear edge of the main building, removed the prohibition of vertical siding, updated signage to allow no more than two uprights for pole signs, and added a definition for Mural Signs.

Council Comments

Mayor Porter thanked the HRC for their service. Councilman Mize asked about the historical landmark dedication.

Public Hearing

Mayor Porter opened the public hearing on Item 3 at 7:57 p.m. asking anyone present wishing to address Council to come forward.

There were no persons present to address Council.

Mayor Porter closed the public hearing at 7:58 p.m.

Council Action

A motion was made by Councilman Strang, seconded by Councilman Mize, to approve Item 3 as presented. A vote was taken and the motion passed 6-0 with Councilman Williams absent.

Mayor Porter convened the Council into a break at 7:58 p.m.

Mayor Porter reconvened the Council into a Work Session at 8:05 p.m.

4. Hold a public hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) on 21.85 acres generally located on the southwest corner of State Highway 78 and Wylie East Drive.

Staff Comments

Planning Manager Haskins addressed Council stating the applicant is requesting to rezone 21.85 acres located on the south side of State Highway 78 between Wylie East Drive and Anson Parkway. The property is currently zoned Commercial Corridor. The applicant is requesting a Planned Development to allow for a combination of Light Industrial and Commercial uses. The Light Industrial building is proposed to be 272,000 sq. ft. and the commercial buildings are proposed to be 37,000 sq. ft. The by-right uses for the Industrial lot include industrial (inside), office showroom/warehouse, light assembly and fabrication, warehouse/distribution center, and food processing. The by-right uses on the commercial lots are: all by-right Commercial Corridor district uses, restaurants with or without a drive-thru, and motor vehicle fueling stations. A Traffic Impact Analysis (TIA) was completed for the entire site, and the Engineering Department agreed with the findings and added that the right turn from SH 78 to Anson needs to be a decel lane. Haskins reported notices were sent to 52 property owners within 200 feet as required by state law. At the time of posting one response was received in favor and five responses opposed with three additional opposed responses from outside the notification area. Additionally, approximately 150 signatures were received on a petition expressing concerns regarding the development. At the P&Z meeting, the Commissioners expressed concerns regarding the size of the light industrial building and the traffic it would generate. Public comments included concerns regarding the traffic, the size of the structure, the food processing use, overnight truck parking, the amount of commercial vs. industrial, and potential noise. The Commission voted 6-0 to recommend denial of the development.

Public Hearing

Mayor Porter opened the public hearing on Item 4 at 8:09 p.m. asking anyone present wishing to address Council to come forward.

Jamie Bogard addressed Council, speaking on behalf of the Cimmaron Estates neighborhood, stating she assisted with collecting names for a petition against the proposed development and expressed concerns with the project that included: an eyesore; traffic and safety; noise, environmental, and light pollution; and quality of life and message. Bogard requested Council not approve the zoning change.

Mayor Porter closed the public hearing at 8:15 p.m.

Council Comments

Colby Everett, representing Lovett Industrial, addressed Council giving a brief presentation on an overview of the company, and an aerial map.

Bill Dahlstrom, representing the applicant, addressed Council discussing some of the land use issues. Dahlstrom stated they are asking for a Planned Development, but the Commercial Corridor allows quite a bit of uses, including a warehouse/showroom as a matter of right. He stated they believe they are addressing a lot of issues that have been raised including the height of the structure can be up to 50 feet but they do not need 50 feet but may need around 45 feet; comply with the residential proximity slope; set back a couple of hundred feet from the property line to the south; reduced the size of the building; increased commercial and retail use; modified the circulation of the truck traffic; modified some of the permitted uses; and plant trees at 45 feet at center and reach 30 feet at maturity. Dahlstrom stated in reference to the land use map, it is general urban sector and what they are proposing is compatible with the comprehensive plan. Dahlstrom demonstrated some benefits the company could bring to the community.

Staff Comments

Wylie Economic Development Corporation Executive Director Greiner addressed the Council stating there has been a lot of discussion about this being commercial and gave some back history on industrial properties in Wylie and spoke on the current challenges of marketing the land in this area.

Council Comments

Mayor *pro tem* Forrester asked how the project will affect the daytime population. Greiner replied trip traffic is one of the highest, will bring people in out of the market, and is a multiplier event. Mayor Porter asked the willingness of the Developer to make some changes including the by rights for the gas station and drive-thrus, the overall height,

and drop food processing as a right. Everett replied they talked internally and would be agreeable with that. Forrester confirmed the setback on the south side of the property would be further from the homes. Everett and Dahlstrom stated yes, the site plan shows more. Porter asked if 24-7 operations are expected for the facility and allowed by right. Haskins replied it would be allowed by right; however, there are decibel level regulations. Everett added without knowing the user it is hard to comment on but would adhere to any code regulations as it relates to sound. Forrester asked about the containment of light pollution and asked if a 40 ft. building would cast light. Haskins replied during the site plan process there would be a study done to ensure it is not illuminating to the neighbors. Councilman Mize stated he understands the concerns of the citizens in the area directly adjacent to the property; however, with the regulations in place as well as the concessions that have been made, he thought this property can be a good neighbor and appreciated the considerations by the Developer. Mize added the Council has to balance some of the challenges with the needs of the City and he does see many potential benefits to the City. Mize asked about the included landscaping percentage and if there was an opportunity to increase. Dan Gallagher, Civil Engineer, addressed Council stating the landscape proposed is greater than 10% but does not have the exact percentage and will have to look at it during the site plan review process. Mize stated his desire would be to see it increased to the maximum that it can be. Councilman Wallis stated he struggles with large industrial and tries to put them where they fit and have the least negative impact possible with the most positive impact; and added this development could bring opportunities to students with the proximity to the neighborhood which allows walking to work. Wallis also added that the Developer has made some concessions based on feedback. Porter stated he agreed with the other Council members, and added he would like to see some additional concessions including prohibiting a food processing plant, and require some by-right uses to have come before Council for a SUP to ensure there are complementary businesses built. Porter added bringing in additional jobs with this development helps potential commercial development on the east side of town. Forrester thanked the citizen who spoke and the Developer and stated he had reviewed the P&Z meetings and the Developer has done their due diligence on the concessions and appreciated their willingness to work with the City. Forrester added Council is looking at what is best for the entire City and this area is right for this type of business. Councilman Strang stated he watched the P&Z meeting and thinks there have been good compromises made, and added maybe change the facade to look a little less plain and boxy. He added he appreciated Greiner's input and thought this was a good use of the land. Councilman Duke stated the proposed development looks nice, likes the concessions made and the jobs and salaries it will create, and thinks it will be a benefit to Wylie. Mize stated he agreed with Strang about doing what we can to improve the facade of the building to try to make it as architecturally pleasing as possible and gave some examples. Haskins replied under Figure 4.9 Building Articulation, Form and Massing, number one talks about walls not to exceed the height ratio of 1:2 but more importantly at least 20% of the facade would be offset at least four feet and will not look the same as renderings. Mize added he takes the Planning and Zoning Commission's votes very seriously and is grateful to the Commissioners, applicants that want to do business in Wylie, and the residents that voiced their opinions which he felt made significant improvements to this proposal, and believes important compromise has been created. Porter asked what the height is they are willing to entertain. Dahlstrom replied they would like it capped at 45 feet.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Strang, to approve Item 4 with the following conditions: the drive-thru restaurants, gas station, and food processing would be by SUP and not by right, the maximum height of the building would be 45 feet, and the trees would be 30 feet at maturity. A vote was taken and motion passed 6-0 with Councilman Williams absent.

- 5. Consider, and act upon, Resolution No. 2022-12(R), approving an Assignment and First Amendment to a Chapter 380 Agreement between the City of Wylie and Hillside Grill, LLC, and authorizing the Interim City Manager to execute any necessary documents.**

Staff Comments

Interim City Manager Parker addressed Council stating the City entered into a Chapter 380 Agreement with Hillside Grill to facilitate Hillside's proposed remodel of the restaurant located at 2600 E. FM 544. Due to some variables outside the control of Hillside, they are seeking two items. The first being an assignment from Hillside Grill to Creekside Grill. The second is an extension of the 380 Agreement in which Creekside request 12 months.

Council Comments

Mayor Porter asked why the name change from Hillside Grill to Creekside Grill. Rick Valley, representing Hillside Grill, LLC, replied an old Partner owned the name Hillside Grill and that the restaurant will be the same food and ambience. Porter asked for an estimated timeline. Valley replied they believe the funding will be completed by the end of the month, and then have a construction timeline of six to nine months. Porter confirmed the restaurant would be completed by April 2023 at the latest. Valley confirmed that was correct. Councilman Strang stated he liked the name change and appreciated the fact that it is going to take some time for renovations of the restaurant.

Council Action

A motion was made by Councilman Strang, seconded by Mayor *pro tem* Forrester, to approve Item 5 as presented, with an extension of the performance deadline for 12 additional months to expire on April 27, 2023. A vote was taken and motion passed 6-0 with Councilman Williams absent.

- 6. Consider, and act upon, Ordinance No. 2022-31 amending Ordinance No. 2021-43, which established the budget for fiscal year 2021-2022; providing for repealing, savings and severability clauses; and providing for an effective date of this ordinance.**

Staff Comments

Finance Director Beard addressed Council stating the mid-year budget amendments detail has been included in the agenda packet for Council review and the requested items are located within the General Fund, Utility Fund, 4B Sales Tax Fund, and WEDC. Beard stated the requests are further defined as neutral, which means matching revenues to expenditures, revenue increases or expenditure increases, and also included is General Fund salary and benefits savings from the first half of the fiscal year in the amount of \$1,081,701.

Council Comments

Mayor Porter asked what is the total expenditure requests, and asked for a few highlights. Parker replied from the General Fund it is \$431,228.93, WEDC is \$12.55, 4B Sales Tax is \$241,089.66, and the Utility Fund is \$127,372.15. Parker replied with some of the highlights including grants for the Library and Police, General Motors has changed the lead time required to order vehicles, salary increases to Animal Control staff to hopefully bring in staff and retain, renovations for the Senior Recreation Center, and Newport Harbor tank damage. Porter clarified for the vehicle purchases this is catch up for a six-month period. Parker replied that is correct. Councilman Mize asked if there is a need to increase the mental health coordinator in the Police Department from part-time to full-time. Parker replied that will be a part of the FY 2022-2023 budget.

Council Action

A motion was made by Councilman Strang, seconded by Councilman Mize, to approve Item 6 as presented. A vote was taken and motion passed 6-0 with Councilman Williams absent.

WORK SESSION

Mayor Porter convened the Council into Work Session at 9:20 p.m.

WS1. Discuss Wylie Recreation Center Operations.

Recreation Division Manager Carmen Powlen addressed Council stating City Council has requested additional information as a follow-up to the February 22, 2022, City Council meeting regarding Wylie Recreation Center operations. Powlen gave a presentation on the Wylie Recreation Center: Where We Are, Where We Want to Go, and How We Can Get There, and also reviewed Wylie Rec Center Resident Customers and 4B Comparison for FY 18-19, FY 19-20, FY 20-21, and FY 21-22, and a draft for rec pass fees utilizing a 61% cost recovery scenario.

Questions and feedback from Council included: are non-pass users counted once or more than once if they do more than one activity, does the data provided include event programs and reservation participants, is the data based on a fiscal year, would like to know the cost recovery rate and the marketing angle for the City of McKinney's facility, how are instructors paid, would it be better to integrate or incorporate classes into the pass, what can we do to

convert class users to pass members, not a whole lot of excess revenue from the classes, maybe look at an option that you have to be a member to take classes and the membership includes classes, what ages are considered youth and adults, there is no differentiator between auto renewal and a regular pass so what is the incentive to auto renew, look at utilizing auto pay and giving discounts to help retain customers, do not want the Recreation Center to be a summer camp, what age can someone use the equipment, potentially divide youth into two different groups based on the equipment they can use, resident/nonresident should not be the same price, perform competitive research in the local area that could pull residents away, appreciate detailed presentation, want to remain competitive but residents see value and would choose Wylie for the services, 61% cost recovery is a good base line to work towards, convert to auto renewals with a discount, and follow up on users of just the Recreation Center building and do not include events, but include a subset of rentals.

Mayor Porter convened the Council into a break at 10:11 p.m.

Mayor Porter reconvened the Council into a Work Session at 10:23 p.m.

WS2. Discuss a proposed development of for-rent single-family style homes, a hotel, and commercial uses on approximately 25 acres located on Country Club Road 1200' north of Brown Street.

Planning Manager Haskins addressed Council stating the applicant is seeking input from the City Council regarding the proposed development of single-family-style rental homes and commercial space on approximately 25 acres north of and adjacent to Fire Station #2.

Felipe Castillo, representing Urbana, addressed Council first thanking them for allowing this work session to gather feedback. Castillo gave a presentation that included The Urbana YardHome product, The Missing Middle, typical Urbana residents, Urbana sample projects, appropriate architecture, proposed layout of the property, typical YardHome floor plans, neighbor social spaces, Ellipse Park, and dog park.

Council feedback included: liked the development and could serve the City well, would like more information on the hotel and a retail component, a good idea on how to utilize the land, do see the potential need for student housing, would not be opposed to apartment-style and could be relevant to this property, not interested in the hotel at that location, retail would be better served there, not a fan of rentals, do not dislike the property and see some advantages but still learning, not affordable homes, not a fan of adding rental in that price point, not a fit for this area, prefer lower density, people do not move to Wylie for urban and does not fit in well, the property is a better fit for single-family homes, who comes in if the project is sold in three to five years, and if the homes were for sale instead of rent could make a difference with feedback.

WS3. Presentation regarding the selection process and theme for the Municipal Complex Walking Trails.

Carole Ehrlich, Public Art Coordinator, addressed Council giving a presentation on the program funding, duties of the Board, how it works, typical artist selection committees, multi-tiered process, Municipal Complex walking trails theme, history of the Blackland Prairie, trail art beginning point, installed CIP project, Blackland Prairie plants, Blackland Prairie animals, and Blackland Prairie Native American Tribes.

Council feedback included: thought the theme is a great theme and a good fit for the area, make sure to include the Caddo tribe, enjoy some of the less abstract art so have a good mix and have an easily understood replica, try to give preference to local, Texas, and/or Native American artists, Wylie stands out among peer cities with public art, appreciative of the idea honoring and recognizing the history to be cognizant of it, and visually accessible is important.

WS4. Present an overview of the FY 2023 Budget and discuss the FY 2023-2032 Future Years Budget Projections.

Interim City Manager Parker addressed Council giving a presentation including the General Fund FY 2021 and FY 2022 audited and projected for revenues and expenditures with the unassigned ending fund balance, assessed

property valuations (clarified \$5.9 billion should be \$5.29 billion), total annual sales tax receipts, property tax-supported debt service expenditures, factors for consideration FY 2022-2023 budget, General Fund FY 2023 budget projections, and basic assumptions for the future years budget projections for the fiscal year periods 2023-2032.

Parker asked going forward does staff need to skip this step in the budget process to alleviate confusion for Council and the public and start once the department budgets have been reviewed with the City Manager. The consensus of Council was that it would be helpful to see high-level information once staff is further into the process.

Feedback from Council included: appreciate basic assumptions and reasoning behind those: would prefer to wait and see the certified estimated values from the appraisal district; appreciate the conservative approach of sales tax projections; ensure the City has a plan to incorporate high inflation possibilities; would like to see an update on the Capital Improvement Plan for the next four to five years; absorb the cost of new debt relative to bond issues if at all possible to mitigate the tax burden to citizens; if this is not possible - perhaps delaying the issuance of debt to 2029 when our debt burden substantially drops; and remain flexible on the plan for the completion of projects that require the issuance of approved bond debt.

RECONVENE INTO REGULAR SESSION

Mayor Porter reconvened the Council into Regular Session at 12:07 a.m.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

City Secretary Storm read the captions to Ordinance Nos. 2022-30 and 2022-31 into the official record.

ADJOURNMENT

A motion was made by Councilman Strang, seconded by Councilman Duke, to adjourn the meeting at 12:08 a.m. A vote was taken and motion passed 6-0 with Councilman Williams absent.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary.



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, a Preliminary Plat of Birmingham and 78 Addition, establishing Lot 1, Block 1 on 1.038 acres, generally located on the northwest corner of State Highway 78 and Birmingham Street.

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: Victory Group

APPLICANT: John Gardner

The applicant has submitted a Preliminary Plat to create Lot 1, Block 1 of Birmingham and 78 Addition. The property is generally located on the northwest corner of State Highway 78 and Birmingham Street. The property is zoned Commercial Corridor - Special Use Permit (SUP 2022-04) approved in January 2022 and allows for a multi-tenant retail building with a drive-thru restaurant.

The purpose of the Preliminary Plat is to create one lot to allow for the aforementioned development of a multi-tenant retail use.

This plat dedicates a 24' fire lane and access easement with access from Industrial Drive and State Highway 78. At the time of the P&Z Commission meeting, TXDOT had not approved the access drive on SH 78. As Subdivision Regulations require approval of access drive locations staff recommended conditional approval to the P&Z Commission while awaiting TXDOT's response. The mutual access drive on SH 78 has since received preliminary TXDOT approval so the recommendation is for Council to approve the plat.

The site plan for the development was also conditionally approved at the April 5, 2022 P&Z meeting for the same reason of TXDOT access approval. Additionally, the applicant will be required to receive and file an easement from the adjacent property owner for the full access point off of SH 78 before civil plans will be approved.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

For conditional approval or disapproval City Council must provide a written statement of the reasons to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Gov't Code.

P&Z Commission Discussion

As described above, the Commission voted 6-0 to recommend conditional approval based on the access drive being approved by TXDOT.

Financial Summary/Strategic Goals

Planning Management





Wylie City Council

AGENDA REPORT

Department: Planning
 Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2022-32 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.35 acres, property located at 3201 FM 544 (ZC 2022-03).

Recommendation

Motion to approve Item as presented.

Discussion

On April 12, 2022 City Council approved a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.35 acres, property located at 3201 FM 544 (ZC 2022-03).

Final approval of Zoning Case 2022-03 requires an Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject ordinance allows for the rezoning. Exhibit A (Legal Description), Exhibit B (Zoning Exhibit), and Exhibit C (SUP Conditions) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

Financial Summary/Strategic Goals

ORDINANCE NO. 2022-32

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2022-03, FROM COMMERCIAL CORRIDOR DISTRICT (CC) TO COMMERCIAL CORRIDOR - SPECIAL USE PERMIT (CC-SUP), TO ALLOW FOR COMMERCIAL DEVELOPMENT OF A RESTAURANT WITH A DRIVE-THRU; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Commercial Corridor - Special Use Permit (CC-SUP), said property being described in Exhibit A (Legal Description), hereto and made a part hereof for all purposes.

SECTION 2: That a Zoning Exhibit and Special Use Permit Conditions are an integral component of the development of the property and are attached as Exhibits B and C, respectively.

SECTION 3: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 6: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 7: This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

SECTION 8: The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

DULY PASSED AND APPROVED by the **City Council of the City of Wylie, Texas**, this 26th day of April, 2022.

Matthew Porter, Mayor

ATTEST:

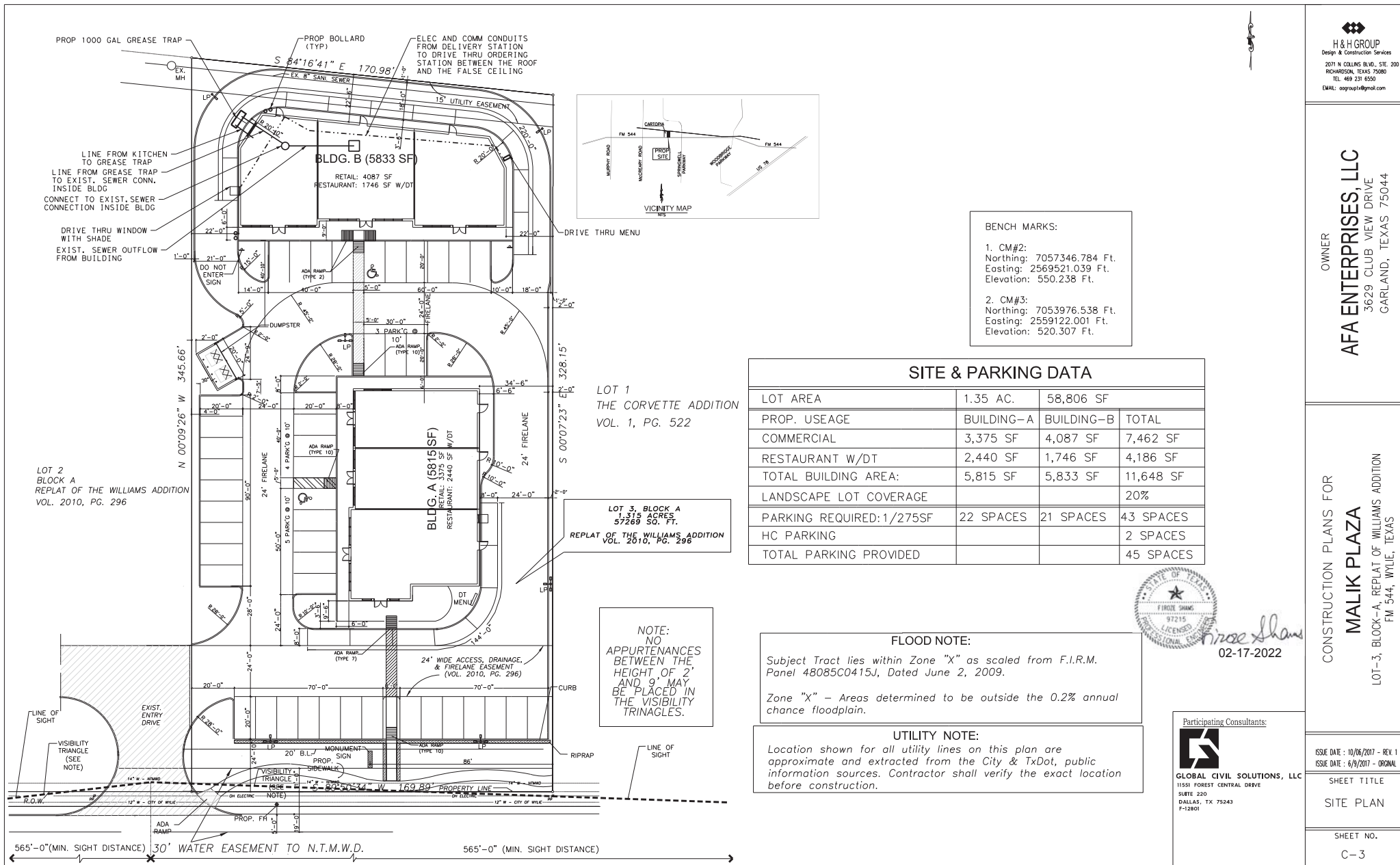
Stephanie Storm, City Secretary

DATE OF PUBLICATION: May 4, 2022, in The Wylie News

Legal Description

Exhibit "A"

Being Lot 3, Block A of the Williams Addition, City of Wylie, Texas located at 3201 West FM 544.



Williams Addition Lot 3, Block A**EXHIBIT "C"****Conditions For Special Use Permit****I. PURPOSE:**

The purpose of this Special Use Permit is to allow for a restaurant with drive-in or drive-through service in Building B of the Zoning Exhibit (Exhibit B) and the continued use of a restaurant with drive-in or drive-through service in Building A of the Zoning Exhibit (Exhibit B).

II. GENERAL CONDITIONS:

1. The site shall be developed and uses allowed shall be in accordance with Commercial Corridor (CC) design standards, as provided in Article 4 and 5 of the City of Wylie Zoning Ordinance as adopted April 2021, except as specifically provided herein.
2. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
3. The design and development of the Williams Addition Lot 3, Block A development shall take place in general accordance with the Zoning Exhibit (Exhibit B).

III. SPECIAL CONDITIONS:

1. The restaurant with drive-in or drive-thru use in Building A shall be allowed as a condition of the SUP and as generally depicted on the zoning exhibit. The Building B restaurant shall be limited to a maximum of 1,800 square feet. The combined allowable maximum size of all restaurants shall be 4,200 sq.ft.
2. The overall parking for the site shall be at a ratio of 1:275 requiring a minimum total of 43 parking spaces.
3. A restaurant without drive thru use shall be prohibited as a use on this site.
4. The Zoning Exhibit (Exhibit B) shall serve as the Site Plan for the development. Approval of the SUP shall act as site plan approval.



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2022-33 for a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) on 21.85 acres generally located on the southwest corner of State Highway 78 and Wylie East Drive (ZC 2022-05).

Recommendation

Motion to approve Item as presented.

Discussion

On April 12, 2022 City Council approved a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) on 21.85 acres generally located on the southwest corner of State Highway 78 and Wylie East Drive (ZC 2022-05).

The approval included amendments to the PD Conditions to include: removing Food Processing, Restaurant with drive-thru, and Motor Vehicle Fueling Station as uses without an SUP, limiting building height to 45', and allowing trees along the southern border to be 10' high at height assuming 30' at maturity.

Those amendments have been made and are included in the revised PD Conditions.

Final approval of Zoning Case 2022-05 requires an Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject ordinance allows for the rezoning. Exhibit A (Legal Description), Exhibit B (Zoning Exhibit), and Exhibit C (SUP Conditions) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

Financial Summary/Strategic Goals

ORDINANCE NO. 2022-33

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2022-05, FROM COMMERCIAL CORRIDOR (CC) TO PLANNED DEVELOPMENT - COMMERCIAL INDUSTRIAL (PD-CI), TO ALLOW FOR INDUSTRIAL AND COMMERCIAL DEVELOPMENT; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Planned Development - Commercial Industrial (PD-CI), said property being described in Exhibit A (Legal Description), hereto and made a part hereof for all purposes.

SECTION 2: That a Zoning Exhibit and Planned Development Conditions are an integral component of the development of the property and are attached as Exhibits B and C, respectively.

SECTION 3: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 6: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 7: This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

SECTION 8: The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, this 26th day of April, 2022.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

DATE OF PUBLICATION: May 4, 2022, in The Wylie News

EXHIBIT "A"
LEGAL DESCRIPTION

BEING a tract of land situated in the Francisco De La Pina Survey, Abstract No. 688, City of Wylie, Collin County, Texas, and being a portion of a called 22.7325 acre tract of land described in the Special Warranty Deed with Vendor's Lien to 78/HOOPER, LTD. recorded in Volume 5191, Page 1925, Deed Records, Collin County, Texas, and being all of a called 1.239 acre tract of land described in the Deed to 78/HOOPER LTD. recorded in Instrument No. 20211109002298480, Official Public Records, Collin County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found in the east line of Anson Parkway (a called 60-foot right-of-way) for the southwest corner of said 22.7325 acre tract and the northwest corner of Lot 1, Block A of Cimarron Estates Phase II, an addition to the City of Wylie, Texas, according to the plat thereof recorded in Volume O, Page 362, Official Public Records, Collin County, Texas;

THENCE with said east right-of-way line, North 00°52'44" East, a distance of 573.60 feet to a 3-1/4" aluminum disk stamped "TEXAS DEPARTMENT OF TRANSPORTATION ROW MONUMENT" found at the intersection of said east right-of-way line of Anson Parkway and the south right-of-way line of State Highway No. 78. (a variable width right-of-way), at the beginning of a non-tangent curve to the left with a radius of 5,797.42 feet, a central angle of 05°36'42", and a chord bearing and distance of North 84°53'06" East, 567.59 feet;

THENCE with said south right-of-way line of State Highway No. 78, the following courses and distances:

In a northeasterly direction, with said non-tangent curve to the left, an arc distance of 567.81 feet to a 5/8" iron rod found for corner;

South 89°05'13" East, a distance of 443.19 feet to a 1/2" iron rod found for corner at the beginning of a non-tangent curve to the right with a radius of 1,195.96 feet, a central angle of 07°06'01", and a chord bearing and distance of North 42°34'55" East, 148.11 feet;

In a northeasterly direction, with said non-tangent curve to the right, an arc distance of 148.20 feet to a 1/2" iron rod found for corner at the beginning of a non-tangent curve to the left with a radius of 5,797.08 feet, a central angle of 02°50'34", and a chord bearing and distance of North 75°00'40" East, 287.60 feet;

In a northeasterly direction, with said non-tangent curve to the left, an arc distance of 287.63 feet to a Mag nail with washer stamped "KHA" set at the intersection of said south right-of-way line of State Highway No. 78 and the west right-of-way line of Wylie East Drive (a 100-foot wide right-of-way);

THENCE with said west right-of-way line of Wylie East Drive, the following courses and distances:

South $16^{\circ}43'44''$ East, a distance of 11.77 feet to a $5/8$ " iron rod with red plastic cap stamped "KHA" set for corner at the beginning of a tangent curve to the right with a radius of 1,900.00 feet, a central angle of $17^{\circ}39'04''$, and a chord bearing and distance of South $07^{\circ}54'12''$ East, 583.02 feet;

In a southeasterly direction, with said tangent curve to the right, an arc distance of 585.33 feet to a $5/8$ " iron rod with red plastic cap stamped "WAI 5714" found for corner;

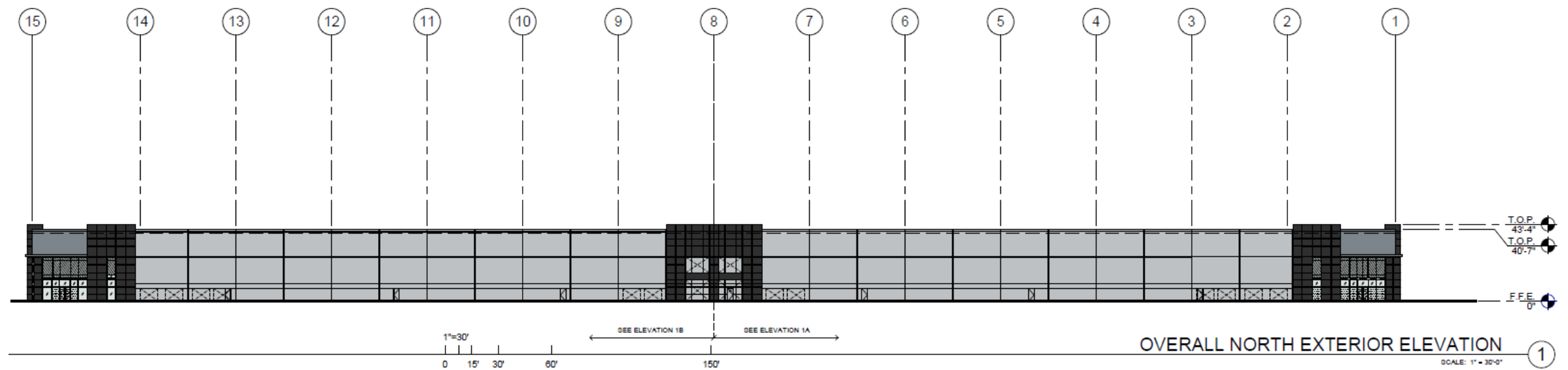
South $00^{\circ}58'51''$ West, a distance of 234.42 feet to a $5/8$ " iron rod with red cap stamped "WAI 5714" found for the southeast corner of said 22.7325 acre tract and the northeast corner of Lot 22, Block A of said Cimarron Estates Phase II;

THENCE with the common line of said 22.7325 acre tract and said Cimarron Estates Phase II, North $89^{\circ}07'16''$ West, a distance of 1,475.01 feet to the **POINT OF BEGINNING** and containing a computed area of 960,575 square feet or 22.052 acres of land.





Representative Elevations







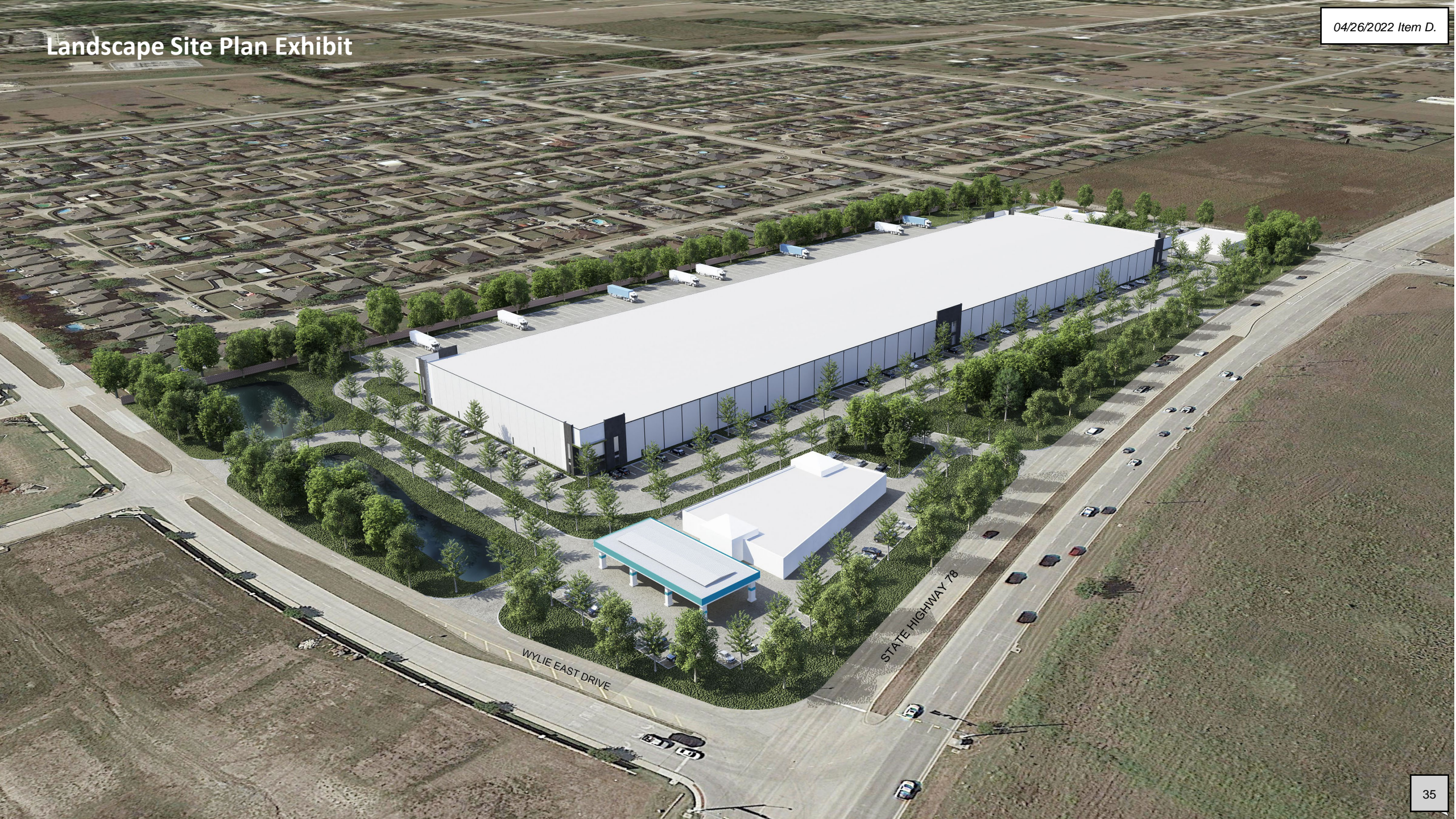


EXHIBIT "C"
CONDITIONS FOR PLANNED DEVELOPMENT
2022-PD-CI

I. PURPOSE:

This Planned Development District shall be established to provide warehousing, light industrial, light manufacturing, and commercial uses to support economic growth within the region.

II. GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. The development shall be in general conformance with Exhibit “B” (Zoning Exhibit) and Exhibit “C” (Development Schedule).

III. SPECIAL CONDITIONS:

1. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on Lot 1 the subject property:
 - a. Industrial (Inside)
 - b. Office Showroom/Warehouse
 - c. Light Assembly & Fabrication
 - d. Warehouse/Distribution Center
2. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on the subject property, but limited to the Proposed Retail Pad sites, as shown on the Zoning Exhibit:
 - a. Other uses currently permitted by right under Corridor Commercial District zoning
 - b. Accessory uses to III.2.a-c
3. All other uses shall only be allowed by Special Use Permit on the subject property.
4. All commercial vehicles that utilize the site shall have access to Anson Parkway as generally depicted on the Zoning Exhibit.
5. Design criteria shall be in conformance with Commercial Corridor Architectural Design Requirements of the April 2021 zoning ordinance.

6. All fixed lighting, interior and exterior shall be Light Emitting Diode (LED).
7. Prior to development, approved plats and site plans shall be required.
8. The entire subject property shall be in conformance with all regulations of the Commercial Corridor Zoning District set forth in, Section 4.3, and Section 5.2 of the current Zoning Ordinance in every respect with exception to the uses indicated in Section III.1, III.2, and III.3 above, and Section III.10 below.
9. For Lot 1 (Industrial) only all regulations of Section 4.3 (Design Standards), Figures 4-7, 4-8, and 4-9 and their associated definitions set forth in the Comprehensive Zoning Ordinance (adopted as of April 2021) are hereby replaced with the following:

Figure 4-7 Site Design Requirements

ELEMENT	BASE STANDARD (All Development Must Comply Fully with All Listed Below)
Building Placement	1. Entrances and/or facades oriented to the street
Parking Placement	1. Parking spaces at least 25' from residential lot line 2. Pedestrian parking ratio of 1 per 2,000 GFA (gross floor area)
Access Drives	1. Minimum width drive of 24', turning radius of 28' 2. Access drive at least 150' from intersection 3. Landscaped treatments of entrances
Location of Service and Loading Areas	1. Shall be individually screened from view from a public street. Screening will be achieved by a combination of landscaping, berms, wing walls and building orientation as illustrated in the Zoning Exhibits.

Figure 4-8 Landscaping Design Requirements

ELEMENT	BASE STANDARD (All Development Must Comply Fully with All Listed Below)
Site wide landscaping	1. All landscape plantings excepting those immediately adjacent to structures shall be native to Texas and drought resistant species to the extent possible.
Landscaping of Parking Lots	1. Site plans requiring more than 12 spaces required to have 50 sq.ft. of landscaping per space. 2. No parking space further than 60' from landscaped area on site. 3. Parking rows 20 spaces or longer shall have landscaped island at the end. 4. All parking rows shall have landscaped areas at least every 20 spaces.
Visual Screening	1. Required screening in strip at least 5' wide, plants 3' in height when planted, included one flowering tree every 50 linear feet of area. This requirement will apply only to loading areas within the development. 2. Required screening along the southern boundary of the property includes a wall, utilizing complementary materials and elements, and landscaping, as shown on the Zoning Exhibits. Trees and shrubs shall be planted along the entirety of the southern lot line as generally depicted on the Zoning Exhibit. Trees shall be a minimum of 10' tall at planting with an expected growth to a minimum of 30'. Trees shall be spaced no more than 40' on-center to maximize screening to the adjacent property owners and minimize overgrowth into those same properties.

Landscaping of Street Frontages

1. At least 50% of required front yard developed as landscaped buffer, at least 10' in width.
2. Trees required in buffer, in groves or belts on 30-40' spacing.
3. Required trees at least 3" in caliper.
4. At least 5' concrete walkway on perimeter when adjacent to thoroughfare.

Figure 4-9 Architectural Design Requirements

ELEMENT BASE STANDARD**(All Development Must Comply Fully with All Listed Below)****Building Materials**

1. Allowed uses from Section III.2 shall have buildings constructed of masonry product with at least 20% stone on front façade. Tilt wall construction shall be permissible for Buildings on Lot 1.
2. Roofs with pitch greater than 2:12 use specified roofing materials.
3. Buildings shall provide consistent architectural styles and details, design themes, building materials, and colors throughout the development.

Building Articulation, Form and Massing

1. Walls not to exceed a height width ratio of 1 to 2 with variation in massing of facade. At least 20% of facade offset at least 4'.
2. Entrances must be emphasized with architectural elements.
3. Ground floor facades require specified features along 60% of length.

10. All regulations of the Commercial Corridor District (CC) set forth in Article 4, Section 4.1, 2 of the Comprehensive Zoning Ordinance (adopted as of April 2021) are hereby replaced with the following:

Figure 4-3 – Commercial Corridor (CC)**Height**

Height of Main Structure (feet)	45
Number of Stories	4
Residential Proximity	3: 1 slope from residential lot line

Building Placement and Coverage

Front Yard Setback (feet)	25
Side Yard Setback (feet)	10
Rear Yard Setback (feet)	10
Building Coverage	50 %

Buffering and Screening

Service and Loading Areas	<p>Shall be individually screened from view from a public street.</p> <p>Screening will be achieved by a combination of landscaping, wing walls, berms and building ation as illustrated in the Zoning Exhibits.</p>
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Wylie City Council

AGENDA REPORT

Department: Planning
 Prepared By: Renae' Ollie

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2022-34 amending regulations to Zoning Ordinance No. 2015-09, Article 6, Section 6.3 Downtown Historic District.

Recommendation

Motion to approve Item as presented.

Discussion

To amend, supplement, or change the regulations provided in the Zoning Ordinance requires passage of an Ordinance making the appropriate amendments; and providing for a penalty clause, a repealing clause, a savings clause, a severability clause, and an effective date.

Article 6, Section 6.3 Downtown Historic District guidelines and regulations are hereby amended by the granting of this Ordinance.

Financial Summary/Strategic Goals

Ties in with the City's mission statement: Honoring our past; Embracing our present; Planning our Future.

ORDINANCE NO. 2022-34

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, AMENDING ORDINANCE NO. 2015-09 OF THE CITY OF WYLIE (THE ZONING ORDINANCE, AS AMENDED), ARTICLE 6, SECTION 6.3, DOWNTOWN HISTORIC DISTRICT; AMENDING CERTAIN REGULATIONS; PROVIDING A PENALTY CLAUSE, SAVINGS/REPEALING CLAUSE, SEVERABILITY CLAUSE AND AN EFFECTIVE DATE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the City Council of the City of Wylie, Texas (“City Council”) has investigated and determined that it would be advantageous and beneficial to the citizens of the City of Wylie, Texas (“Wylie”) to amend Article 6, Section 6.3, Downtown Historic District, of Ordinance No. 2015-09, the Zoning Ordinance, as amended, to amend certain regulations; and

WHEREAS, the City Council finds that this Ordinance contains textual amendments to the Zoning Ordinance that do not change zoning district boundaries, and therefore, written notice to individual property owners is not legally required; and

WHEREAS, the City Council finds that all legal notices required for amending the Zoning Ordinance have been given in the manner and form set forth by law, public hearings have been held on the proposed amendments and all other requirements of notice have been fulfilled; and

WHEREAS, the City Council finds that it is in the best interests of Wylie and its citizens to amend the Zoning Ordinance as set forth below, and that such amendments are in furtherance of the health, safety, morals and general welfare of the Wylie community and the safe, orderly and healthful development of Wylie.

NOW, THEREFORE BE IT, ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Article 6, Section 6.3 Downtown Historic District of Wylie’s Zoning Ordinance, Ordinance No. 2015-09, are hereby amended as set forth in Exhibit A, attached hereto and incorporated herein by reference for all purposes.

SECTION 3: The Zoning Ordinance, as amended, shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed, but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinance shall remain in full force and effect.

SECTION 4: Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof

irrespective of the fact that any one or more sections, subsections, sentences, clauses and phrases be declared unconstitutional or invalid.

SECTION 5: Any person, firm, corporation or entity violating this Ordinance or any provision of Wylie's Zoning Ordinance, as amended, shall be deemed guilty of a misdemeanor, and on conviction thereof, shall be fined in an amount not exceeding Two Thousand Dollars (\$2,000.00). A violation of any provision of this Ordinance shall constitute a separate violation for each calendar day in which it occurs. The penal provisions imposed under this Ordinance shall not preclude Wylie from filing suit to enjoin the violation. Wylie retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6: This Ordinance shall become effective from and after its adoption and publication as required by law the City Charter and by law.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, this 26th day of April, 2022.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

DATE OF PUBLICATION: May 4, 2022, in The Wylie News



ARTICLE 6 SPECIAL PURPOSE AND OVERLAY DISTRICTS

SECTION 6.3 DOWNTOWN HISTORIC DISTRICT (DTH)

A. Purpose

Wylie's downtown has been identified by the Comprehensive Plan as a valuable resource worthy of preservation as a historic district. This district provides development and design standards that preserve the historic and architectural character of existing development, provides for adaptive reuse of existing buildings, and the compatibility of new structures and uses with the historic nature of downtown.

A contributing building and/or structure is one which retains a high degree of architectural integrity that adds to the overall historic character of the district, and was built during the period of significance for the district, generally more than 50 years ago.

A non-contributing building and/or structure means a building not contributing to the historic significance of the district and does not add to the district's sense of time and place, and historical development; or one where the location, design, setting, materials, workmanship, feeling, and association have been so altered or have so deteriorated that the overall integrity of the building has been irretrievably lost. Generally, less than 50 years old.

B. District Boundaries

1. The Downtown Historic District (DTH) is generally bounded by State Highway 78 on the south, Cottonbelt Avenue on the west, from Elliot Street to Brown Street, and including property north of Brown Street on Keefer, and to the eastern property line of those lots facing west on Second Street from Brown Street to the north and Marble Street to the south, and those properties north of Brown Street along Ballard Avenue facing east and continuing north to Tract 4 of the Samuel B. Shelby Abstract and approximately 100 feet of frontage of those lots facing west and continuing north parallel to Ballard Avenue and encompassing all of Block 1, Lot 5 of the Russell #01 Addition and Block 1, Tract 49 of the James Truett Abstract.
2. The precise boundaries of the Downtown Historic District shall be shown on the official zoning map of the City of Wylie. The boundaries of the Downtown Historic District may be amended from time to time based on a request from area property owners, a request of the staff, the Commission, or at the pleasure of the Council. In considering a request for a change in district boundaries, the Council shall require:
 - a. Any additions to the district shall be contiguous to the existing boundaries of the district;



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- b. Any reductions in the district shall be located on the edge of the district such that a hole is not left inside the district; and
- c. If requested by a property owner, a petition shall be presented showing owners of more than 50 percent of the land within the district, excluding streets, and owners of more than 50 percent of the building sites in the district are in support of the requested change in boundaries.

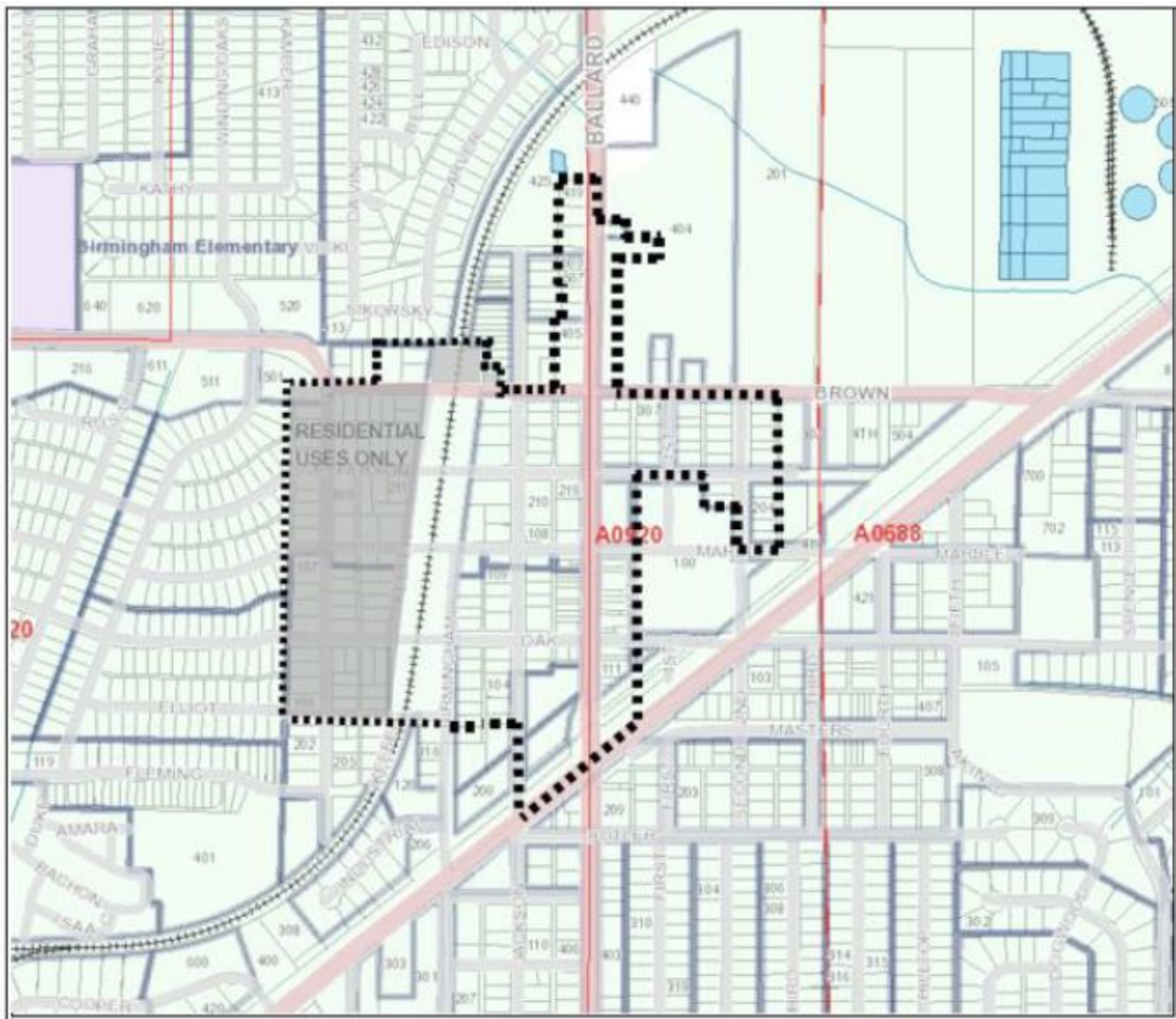


FIGURE 6-1 DOWNTOWN HISTORIC DISTRICT BOUNDARIES

C. General Provisions

1. Site plan and design review submitted to the Planning Department is required for new construction and substantial renovation of existing buildings within the Downtown Historic District. All demolition request and work for contributing buildings and/or structures that



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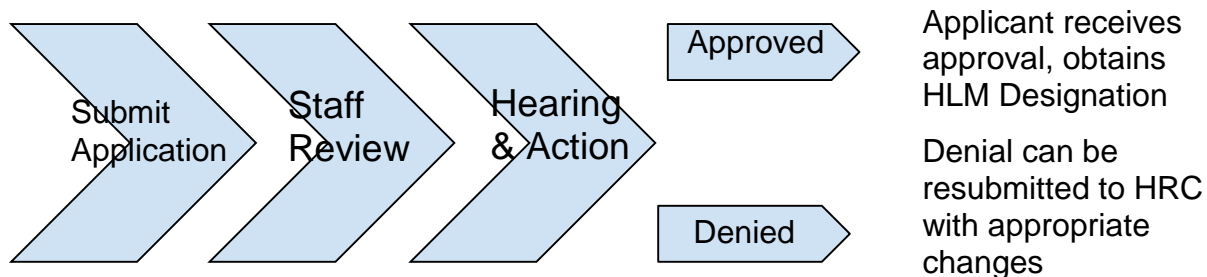
do not qualify as routine maintenance must be reviewed by the Historic Review Commission

- a. Historic Review Commission (HRC) shall be appointed by the City Council and shall consist of seven (7) members in accordance with Ordinance 2013-17, and as amended.
- b. The HRC will be responsible for reviewing and recommending an action to the Planning and Zoning Commission and/or the City Council for proposed new construction or substantial renovation, revisions to the ordinance, and planning efforts to fulfill the purpose of the Downtown Historic Ordinance and to consider future amendments and long-range goals of the District.
- c. Submission of Plans. A completed application shall be submitted with a fee, accompanied by the following, and any other necessary documents required by the Planning Department.
 - i. Site Plan showing existing and proposed structures and improvements
 - ii. Interior floor plan showing all spaces, doors and windows
 - iii. Exterior elevations including
 1. Existing & proposed changes
 2. Doors & windows
 3. Architectural features
 4. Trim details
 5. Material details
 - iv. Roof Plan
 - v. Accessory Structures
 - vi. Sections (for additions)
2. Substantial renovations as listed below require review by the HRC and City Council:
 - a. Alterations to the exterior of existing buildings that change the placement or design of windows, doors or other exterior features of the building such as coping or pilasters;
 - b. An increase in the floor area of the building greater than 10 percent.
 - c. Adding new exterior building materials that do not match the existing materials.
 - d. Interior renovation of existing buildings that alter the exterior appearance of the building (e.g., a drop ceiling that covers part of an existing window)
3. Common routine maintenance items as listed below may be reviewed at staff level.
 - a. Installation of an awning located on an accessory building, or on the rear facade of a main building.
 - b. Shingle replacement that does not include a change in color or style.
 - c. Siding replacement that meets the requirements of this ordinance.
 - d. Application of paint that is the same color as the existing or that is an appropriate dominant, trim, or accent color and part of an historic color palette.
 - e. The process of cleaning (including but not limited to low-pressure water-blasting and stripping, but excluding sandblasting and high-pressure water blasting).
 - f. Painting, replacing, duplicating or stabilizing deteriorated or damaged architectural features (including but not limited to roofing, windows, columns, and siding) in order to maintain the structure and to slow deterioration.



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- g. Interior renovation of existing buildings that do not alter the exterior appearance of the building.
4. Physical properties of an existing building such as setbacks, foot prints, height, or other similar characteristics that cannot be altered without substantial hardship are not required to meet the development or design standards within this article. All other provisions shall apply.
5. All new development shall comply with the Site Design Standards included in Subsection 4, and the Architectural Standards in Subsection 5.
6. Submission of Plans for Landmark Designation shall be delivered to the City of Wylie Planning Department, a minimum of 30 days prior to the meeting date set for the Historic Review Commission
 - a. Required Documentation:
 - i. Completed application on forms provided by the City of Wylie with applicable fees
 - ii. Stated criteria met in accordance with Article II Landmarks, Section 58.23 of the Code of Ordinances, as amended
 - iii. Documented history of the structure, complete with photos
 - b. Review Criteria
 - i. Staff prepares a written report documenting the historical facts of the property and stating any impact that the owner may have with a historic landmark designation on the owner's property.
 - ii. Staff will present the completed application for consideration by the Historic Review Commission.
 - iii. The Commission will make a recommendation to the City Council. Designation of city landmarks will be made in accordance with Local Government Code 211, Section 211.0165, as amended.

**D. Permitted Uses**

1. The Downtown Historic District may contain any combination of uses shown in the Use Chart in Article 5, Section 5.1.
2. Within the Downtown Historic District there are both residential and nonresidential uses which may be located in either residential structures or commercial structures. To maintain



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the architectural and historic character of existing blocks where one type of structure predominates, the following regulations shall apply.

- a. Residential uses may be in residential structures or commercial structures. Residential uses in commercial structures are only allowed if they occupy less than 40 percent of the floor area of the building; and do not occupy the area adjacent to the street front.
- b. Nonresidential uses may be in residential or commercial structures. Nonresidential uses in residential structures must be in those blocks where existing residential structures predominate.
- c. In block faces within the District that are currently developed with residential structures, new construction shall be of historic design. Either residential or nonresidential uses may be located in the residential structures.
- d. In block faces within the Downtown Historic District that are currently developed with commercial structures, new construction shall be of historic design.
- e. Only residential uses are permitted for those lots along Cotton Belt Avenue, and along Keefer Street from Elliot Street on the south to Brown Street on the north, as depicted in Figure 6.1 and on the official zoning map of the City of Wylie.

E. Downtown Historic District Development and Design Standards and Guidelines

1. All properties must meet requirements provided in this section for Site Design, and Architectural Standards.
 2. **Purpose of Downtown Historic District Design Standards.** The purpose of these design standards is to ensure the preservation of the historic and architectural qualities which make the Downtown Historic District a unique place by permitting new development compatible with existing historic buildings and by maintaining the historic and architectural qualities of existing buildings.
 - a. Site Design Standards. The purpose of the Site Design Standards is to provide for building and parking placement compatible with existing development.
 - b. Architectural Standards. The purpose of the Architectural Standards is to provide for the preservation of existing historic and architectural qualities of Downtown Wylie, ensure new construction is compatible with these qualities, and to protect and promote the uniqueness of downtown as a commercial area.
 - c. Encourage the retention of original architectural elements:
 - i. Wood Windows
 - ii. Wood Doors
 - iii. Columns
 - iv. Chimneys
 - v. Porches
 - vi. Trim
 - d. Discourage:
 - i. Painting original brick that has never been painted
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- ii. The removal or replacement of original windows and doors
 - iii. The enclosure of porches
 - iv. The use of cementitious fiber board products except along ground
 - v. The use of vinyl windows

3. Standards and Guidelines for Demolitions and Relocation.

a. DEMOLITION

Prior to Demolition of a structure, a letter from a structural engineer is required. Each request for demolition shall be considered on a case by case basis for contributing structures.

Demolition of a structure will NOT be allowed if any of the items below are met:

- 1. A structure is of architectural or historical interest and/or value or its removal would be detrimental to the public interest, or
- 2. The building contributes significantly to the character of the historic district and demolition would create a detrimental view or adversely affect the existing buildings on the block, or
- 3. A structure is contributing or unusual or uncommon design and materials and it could not be reproduced without great difficulty and/or expense, or
- 4. If its proposed replacement would not make a positive visual contribution, would disrupt the character or be visually incompatible within the historic district.

Demolition of a structure MAY be allowed if any of the following criteria is met:

- 1. The building has lost its architectural and historical integrity and importance and its removal will not result in a negative, less appropriate visual effect on the historic district, or
- 2. The structure does not contribute to the historical or architectural character and importance of the historic district (e.g. a noncontributing structure), and its removal will result in a positive, appropriate visual effect in the district.

b. RELOCATION

A building may only be moved from one site to another site within the historic district under the following conditions:

- 1. The building is seriously threatened in its original location,
- 2. The integrity and structural soundness of the building will be maintained,
- 3. The building will be compatible with the overall character, visual appearance and site orientation of existing buildings on the block at the new location, and
- 4. The removal of the building from its original site will not create a detrimental view or loss of integrity on its immediate block.

A building may be moved from a site outside of the historic district to a site within the historic district under the following conditions:



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1. The integrity and structural soundness of the building will be maintained,
2. The building will be compatible with the overall character, visual appearance, and site orientation of existing buildings on the block at the new location, and
3. Any proposed replacement at the original site will result in a more positive visual effect on its immediate block.
4. Any relocated building moved into the historic district shall be rehabilitated and/or repaired in accordance with the applicable sections of these guidelines so as to retain the original character, architectural details, design, and materials of the structure.

4. Site Design Standards

a. Building Placement - Commercial Structures

- i. Buildings shall be placed on the front property line. Buildings may be moved back from the front property line a total of four feet to provide for wider sidewalks and entries, if: The building takes up an entire block face; or is located on a corner; or has a total frontage of more than 50 percent of the block face.
- ii. New commercial structures shall be allowed only in block faces which are predominantly developed with existing commercial structures, or are predominately vacant land.
- iii. Buildings shall be placed on the side property line. Buildings may be moved back from the side property line a total of four feet to provide for wider sidewalks and entries when the side property line is along a street.
- iv. Buildings that go through a block so that they have frontage on two parallel streets, shall treat each frontage as a main façade.
- v. New commercial structures shall construct at least a six (6) foot wide sidewalk.

b. Building Placement - Residential Structures

- i. New single-family residential structures are only allowed in blocks which are predominantly developed with existing residential structures.
- ii. Residential structures shall conform with the front yard, side yard and rear yard setbacks of existing residential buildings on the block face. Front yard and rear yard setbacks will be deemed to be in conformity if they are within five feet of the average of the existing setback on either side of the new construction. Side yard setbacks shall be no closer than the side yard setback adjacent to the new construction or 20 feet whichever is less. On corner lots, side yards shall be treated as front yards and shall be the same as that required for the primary front yard.
- iii. Accessory structures such as garages, sheds, greenhouses etc. shall be located in a separate structure from the main building, and be visually compatible with the main building and,
 1. Shall not extend beyond a platted side or rear building line adjacent to a street. If no building line exists adjacent to a street on an approved plat, the accessory



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structure shall not be located closer than ten (10) feet from the side or rear property line.

2. Shall not be located closer than five (5) feet to the side property line when the accessory structure is located behind the main building.
3. When the accessory structure is located in the side yard, the setback for the accessory structure will be the same as the setback requirement for the main building.
4. No accessory structure shall be located within the front yard setback.

- iv New residential structures shall construct at least a six (6) foot wide sidewalk.

c. Parking for Nonresidential Uses

- i Onsite surface parking shall generally not be placed in the required front yard and shall generally be separated from public streets by the building which it serves. Exceptions to this requirement include:
 - a. A lot that is used entirely for surface parking with no listed use in accordance with Section 5.2.
 - b. Surface parking on corner lots or lots with frontage on 2 or more public streets shall comply with the above parking requirements along at least one street frontage.
 - c. Where onsite surface parking is constructed to serve existing buildings or additions to existing buildings, the above parking requirements shall not apply.
- ii Existing nonresidential uses may be renovated, reconstructed, and expanded up to 10 percent of their original floor area without having to comply with these parking standards.
- iii Commercial Uses over 4,000 square feet will be required to provide off-street parking under the following standards:
 - 1 A minimum of 50% of all required parking, in accordance with Article 5 Use Charts of this Ordinance, shall be located on site as required by specified use. All on-site parking shall be placed a minimum of 10 feet behind the front façade of the building with a landscape buffer provided.
 - 2 Alternative materials for driveways and parking spaces may include pavestones, grass pavers or other materials, subject to approval of the City Engineer.
 - 3 Up to 25 percent of the required parking can be provided by on-street parking in front or to the side of the building with approval of the City Engineer.
 - 4 The remainder of the required parking can be provided by off-site parking facilities within 1,000 feet of the site with approval of the property owner. .
 - 5 Upon a finding that a parking reduction is necessary to preserve historic buildings and maintain the design integrity of the Downtown Historic District, the Commission may grant parking variances up to a maximum of 75 percent of the required parking.



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- iv Off-street parking lots with over 20 spaces are required to have landscaping and lighting that meets the standards for other nonresidential developments. (Article 4, Section 4.3)

d. Parking for Residential Uses

- i Parking for residential use shall be on site and shall provide a minimum of two parking spaces.
- ii Alternative materials for driveways and parking spaces may include pavestones, grass pavers or other materials, subject to approval of the City Engineer.

5. Architectural Design Standards

a. Street Facade – Commercial Structures

- i. Primary street facades for nonresidential buildings in the Downtown Historic District shall have the following basic features of existing historic buildings:
 - 1. Cornice at top of facade;
 - 2. Display windows with transom windows above and lower window panels below.
 - 3. Pilasters that divide the facade vertically and separate the display windows units into discrete visual elements.
 - 4. Second floor windows, recessed with multiple lights, lintels, and sills.
 - ii. Architectural elements such as doors, windows, awnings, canopies and architectural details shall be compatible with the overall visual qualities existing within the historic buildings downtown. Maintain as much of the original basic façade as possible. The basic façade consists of three parts: the storefront, with large display windows and transom; the upper façade, with large regularly spaced windows; and the decorative cornice.
 - iii. Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme existing within downtown and appropriate for the historic and architectural character of the commercial structure. (Sherwin Williams Preservation Palette, Valspar Historic Color Palette or equal would be an approved color palette)
 - iv. In addition to the above, all commercial structures shall have at least two of the following desirable design features as appropriate:
 - 1. Street facades on side streets that meet the requirement for primary facades; or
 - 2. Buildings on corners which create a diagonal corner cut with the entrance on the corner; or
 - 3. Pediments added to the top of the facade; or
 - 4. Decorative brickwork and architectural detailing on or around the cornice, fascia, pilasters, or around windows; or
 - 5. Use of natural wooden doors with glass windows; or
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6. Projecting canopies and or awnings placed over the ground floor windows and doors

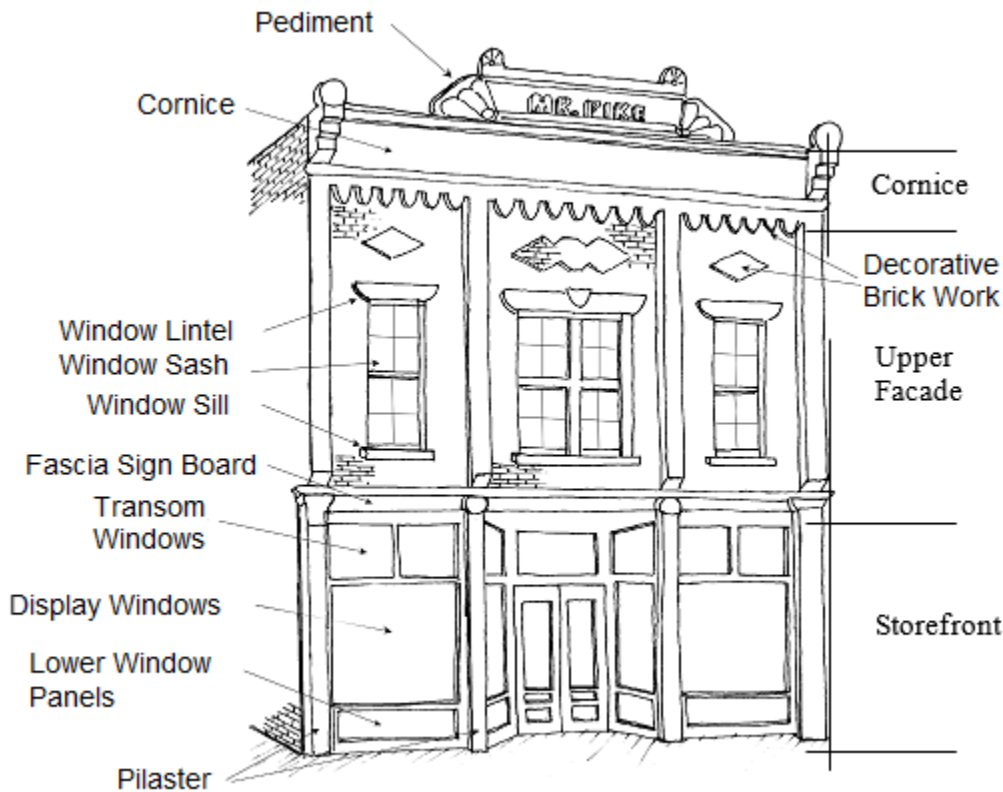


FIGURE 6-2 TYPICAL FEATURES OF COMMERCIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT

b. Street Facade – Residential Structures

- i. Residential structures within the Downtown Historic District shall have identifiable features appropriate to the architectural style of the building. These features may include the following:
 1. Covered porches integrated into the front facade of the main structure;
 2. Multiplicity of roof forms;
 3. Columns and railings defining porch;
 4. Windows with multiple lights;
 5. High pitch roof lines; and
 6. Architectural detailing of gables, window and door casings, eave lines, and foundations.
- ii. Residential structures shall face the main street
- iii. Residential structures that have a room projecting from the primary line of the front facade shall have a covered porch across the inset portion of the facade.

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- iv. Residential structures which do not have any projecting rooms shall have a covered porch across at least two thirds of the width of the facade.
- v. Porches on residential structures shall be covered with a roof that is integral to the main roof of the structure, or covered with a roof that is a substantial architectural element integral to the design of the front facade.
- vi. Porches shall have columns and railings around the edge of the porch except for the entrance steps.
- vii. Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme appropriate for the architectural style of the residential structure. (Sherwin Williams Preservation Palette, Valspar Historic Color Palette or equal would be an approved color palette)
- viii. In addition to the above all residential structures shall have at least two of the following desirable design features as appropriate:

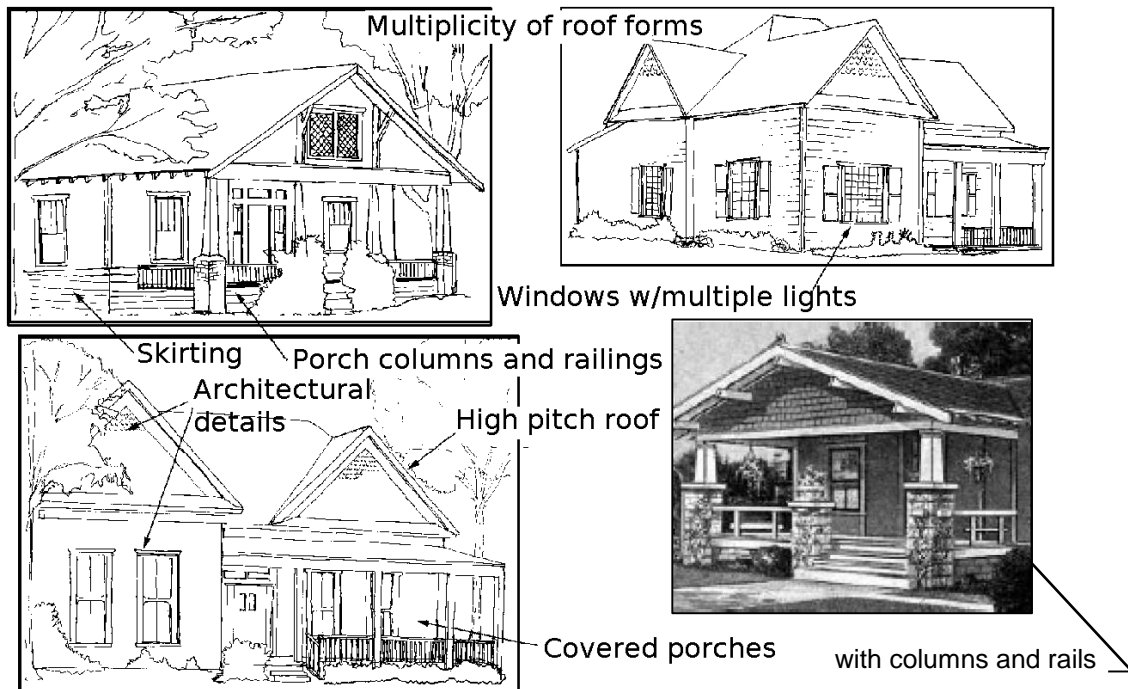


FIGURE 6-3 TYPICAL FEATURES OF RESIDENTIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT

1. Use of skirting along the base of the building, in a manner appropriate to the architectural design of the building; Skirting materials shall be durable, suitable for exterior exposure, and installed in accordance with the manufacturer's installation instructions. Skirting shall be secured as necessary to ensure stability, to minimize vibrations, or minimize susceptibility to wind damage; or
2. Use of foundation plantings to soften and conceal the foundation; or
3. Use of architectural detailing appropriate to the architectural style of the building. Architectural detailing includes but is not limited to elements such as



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carving in porch rails, turned stiles, use of ornamentation around windows, doors, eave lines, porches, and decorative windows and materials within gables.

c. Building Proportions – Commercial Structures

- i. New construction height, width and massing should be consistent with the scale of adjacent contributing structures.
- ii. Traditional patterns should be incorporated into new construction whenever possible.
- iii. The ground floor facade shall have at least 45 percent of its area in transparent windows, or doors. The second-floor facade shall have at least 20 percent of its area in windows. The area of windows includes any mullions framing individual lights within the window frame.
- iv. The building height shall not exceed forty-five (45') feet at the highest point for architectural elements including but not limited to turrets, pinnacles and pediments.

d. Building Proportions – Residential Structures

- i. New residential structures within the Downtown Historic District should respect building heights in accordance with period specific design.
- ii. The building height shall not exceed forty-five (45') feet including architectural elements.

e. Building Materials - Commercial Structures

The base facade materials for commercial structures within the Downtown Historic District shall be brick or stone. Architectural details, trim, window or door framing may be wood, stone, cast stone, cast iron, or other materials compatible with the historic and architectural character of the Downtown Historic District.

f. Building Materials – Residential Structures

- i. The primary exterior material for residential structures within the Downtown Historic District shall be wood siding and/or composite masonry materials having a wood pattern.
- ii. The width of the siding shall be between four and five inches in width.
- iii. Renovation to existing residential structures should use materials which are compatible with the existing residential structure. Adherence to these material standards are encouraged where appropriate and/or possible.
- iv. All development is defined by the base, middle and roof elements with particular attention to the front façade as this is the section that defines the character of the streetscape for the DTH. See Figure 6-4.



FIGURE 6-4 EXPRESSION OF BASE, MIDDLE AND ROOF ELEMENTS

g. Fencing – Commercial Structures

Any fencing for commercial structures within the Downtown Historic District shall be in the rear of the building.

h. Fencing – Residential Structures

- i. Fencing placed in the front of the residential structure shall be limited as follows:
 - a. Height not to exceed 3 feet;
 - b. At least 50 percent of the surface area of the fence shall be open and transparent;
 - c. Made from wood or wrought iron. Masonry or brick may be used for columns with wood or wrought iron fence panels;
 - d. Have the posts and rails facing the inside of the fence.
- ii. Fences placed in the side or rear yard shall be permitted to a height of 8 feet maximum and shall be constructed of wood or wrought iron. Masonry or brick may be used for columns with wood or wrought iron fence panels. All fences placed in front of the residential building shall be decorative in design.



6. Signs

Purpose: All signs in this section are applicable to the Downtown Historic District only and are not appropriate to any other zoning district. The purpose of this section is to ensure that the area, material, and placement of new signs and alterations made to existing signs are appropriate to the architectural design of the building and the district, and that signs do not visually obscure significant architectural features of a building or the district in general.

a. General Provisions:

- (i) Pole sign means any sign erected on a vertical framework consisting of no more than two uprights supported by the ground and where there is a physical separation between the base of the sign and the ground.
- (ii) Signs shall be constructed of materials that are not subject to deterioration when exposed to the weather. Internally illuminated signs must be constructed of non-combustible material or approved plastics.
- (iii) New signs should respect the size, scale and design of the historic building.
- (iv) New signs should not obscure significant features of the historic building.
- (v) No sign permitted under the regulations of this section shall be installed without first obtaining zoning clearance and a sign permit.

b. Signs for Residential Structures

- i The sign area of any one face shall not exceed sixteen (16) square feet in area. The sign area of a pole sign shall not comprise more than seventy percent (70%) of the entire sign structure.
- ii The maximum height of a pole sign structure shall be six (6) feet when no lighting is included. The maximum height of a pole sign structure shall be eight (8) feet when a globe type light is included.
- iii Logos and symbols may be illuminated or backlit by fluorescent fixtures. The use of indirect lighting is also allowed.
- iv The use of a fluorescent color on a sign is prohibited.
- v No more than one pole sign may be displayed on a premise at any given time.
- vi The sign may be placed adjacent to the public right-of-way, provided it does not encroach on the sight visibility triangle and is a minimum of six feet from the outside face of curb.
- vii Single acorn type luminaires, flutes, moldings or other traditional details are strongly preferred. See Figure 6-5.



FIGURE 6-5 TYPICAL POLE SIGN FEATURES FOR RESIDENTIAL STRUCTURES

c. Signs for Commercial Structures

- i The size of the sign shall be in proportion to the building and the neighboring structures and signs.
- ii The total maximum allowable sign area for each building face is one square foot per one linear foot of a single tenant, not to exceed 70 square feet, whichever is less.
- iii The total maximum allowable sign area for each building face is one square foot per one and one-half (1-1/2) linear foot of a multi-tenant building, not to exceed 100 square feet whichever is less.
- iv Signs shall be mounted or erected so they do not obscure the architectural features or openings of a building.
- v No sign or portion of a sign shall extend above the cornice line at the top of the building face. Roof top signs are prohibited.
- vi For buildings without a recognizable style, the sign shall adopt the decorative features of the building, utilizing the same materials and colors.
- vii The structural materials of the sign should match the historic materials of the building. Wood, metal, stucco, stone or brick, is allowed. Plastic, vinyl or similar materials are prohibited. Neon, resin to give the appearance of wood, and fabric may be used as appropriate.
- viii Attached signs may only be illuminated utilizing internal lighting. Exterior letters with exposed neon lighting are allowed.



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d. Window Signs

Window signs do not require a permit or a permit fee. Window Signs must meet the following regulations:

- i. Window Signs must not obscure more than 20 percent of the window area per façade.
- ii. No illuminated Window Signs shall be allowed where it creates an unduly distracting and hazardous condition to motorist, pedestrian or the general public.

e. Awning Signs

- i. An Awning may extend the full length of the wall of the building to which it is attached and shall solely be supported by the exterior wall of the building. The awning sign shall be no more than six feet (6') in height and shall not be placed less than eight feet (8') above the sidewalk.
- ii. The artwork or copy for an Awning Sign shall not exceed twenty percent (20%) of the area of the Awning and shall extend for no more than sixty percent (60%) of the length of the Awning.

f. Projecting Signs

- i. Signs shall be constructed of noncombustible material.
- ii. Signs shall not project more than three feet (3'), measured from the building face and shall not be closer than two feet (2') from the back of the curb line.
- iii. Bottom of the sign shall be at least 8 feet above the sidewalk.
- iv. Signs shall be compatible in design, shape, and material with the architectural and historic character of the building.
- v. Signs shall not exceed sixteen (16) square feet per sign face.

g. Canopy Signs

- i. A Canopy Sign is a permanent structure that is supported by the building or by a support extending to the ground directly under the canopy. The Canopy Sign may be attached to, or be an integral part of the face of a canopy.
- ii. The artwork or copy on a Canopy Sign shall not exceed ten percent of the face of the canopy, or a maximum of twenty-five (25) square feet, whichever is greater.
- iii. An illuminated stripe may be incorporated into a canopy. The stripe may extend along the entire length of the face of the canopy. The width or thickness of the stripe shall be limited to one-third of the vertical dimension of the face of the canopy. The internal illumination of a canopy is limited to the portions of the canopy face on which a sign or stripe is permitted.

h. Special Events Banner Signs

- i. A Special Event Banner sign is composed of cloth, plastic, canvas or other light fabric.
- ii. Only banners promoting or supporting local community events will be permitted over public right-of-ways.



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- iii An application to place a banner over a public right-of-way shall be submitted to the Building Inspections Department at least 10 days before the date to be installed.
- iv The City of Wylie may erect and remove banners over public right-of-way. Banners may only be installed at locations approved by the City.
- v The maximum banner size allowed is 4 x 36 feet, unless extended over the public right-of-way. Banners must be in good repair at all times.
- vi The banner may remain a maximum of fourteen (14) days. A maximum of two banners can be hung for each event with placement of the second banner provided as space allows. Only one banner will be hung at each location.
- vii When a banner over the public right-of-way is removed, the applicant is responsible for picking up the banner from the City of Wylie Service Center within ten (10) working days of the removal date. A late fee of \$50 will be charged for banners left after the ten (10) day period. Unclaimed banners will be disposed of 30-days after removal date.
- viii Banners not defined as Special Events Banners are regulated by the City's current Sign Ordinance and as amended.

i. A-Frame/Sandwich Board Signs

- (i) No more than one a-frame or sandwich board sign per business shall be allowed, and a minimum of four feet of clear sidewalk shall be maintained at all times. The sign shall be sufficiently weighted or anchored to prevent movement by wind or other elements.
 - (ii) No a-frame or sandwich board sign shall exceed eight square feet per face or four feet in height. The entire sign structure shall be calculated as the total of sign area.
 - (iii) Materials suggested for use for signs are finished hardwoods, or softwoods. Materials not allowed include, but are not limited to, fluorescent materials, paper or fluorescent paints.
- j. Encroachment into Public Right-of-Way.** Any sign that is located upon or overhangs a public right-of-way shall be approved by the Public Works Director or his/her designee on forms provided by the City of Wylie.
- k. Exempt Incidental Signs.** Small incidental signs can be installed along a business frontage without permit approval from the City. Incidental signs are commonly seen as menu boards, open signs, small window signs noting hours of operation, and small hanging signs. Incidental signs do not include other signs specifically listed within this ordinance. Although a permit is not required for these type signs, the following guidelines must be maintained.
- i No more than three (3) incidental signs per building entrance.



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- ii Maximum area allowed is 3 sq. ft. each, with a total cumulative area not to exceed 7 sq. ft.;
- iii Incidental signs that project over or into a pedestrian right-of-way must be at least 7'-6" above the sidewalk;
- iv Cannot project beyond the awning;
- v Cannot extend above the awning;



Figure 6-6 Exempt Incidental Signs



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- l.** Mural Signs shall be reviewed and approved by the Building Official for compliance with the definition of a mural and other applicable local, state, and federal laws.
- m.** Signs denied by the Building Official shall be subject to review pursuant to Sec 22-443 (10) Variances of the city's Sign Ordinance, as amended.



Wylie City Council

AGENDA REPORT

Department: Parks and Recreation
 Prepared By: Robert Diaz

Account Code: _____

Subject

Consider, and act upon, the Park Event Application for an Art Market Event at Olde City Park on July 16, 2022.

Recommendation

Motion to approve Item as presented.

Discussion

The proposed Park Event Application is for an Art Market Event at Olde City Park on July 16, 2022. The proposed Art Market Event is an event proposed by Wylie Resident Jazmine Garcia. The event will provide space for up to 20 vendors to sell a variety of art and craft products. Per Ms. Garcia, the vendors will have a sign by their booths that will encourage people to ask them about their career and creative practices. The Park Event Application did not indicate that this event was to benefit any local non-profit organizations. Parks and Recreation staff will coordinate with the group on event logistics and set up.

The Parks and Recreation Board approved the Event Application at the April 13, 2022 meeting.

Financial Summary/Strategic Goals

There is not a Financial Summary included in this report.

Strategic Goals: *Health, Safety and Well-Being.*



Parks & Recreation Department
 949 Hensley Lane, Building 200
 972-516-6340 | Parks@wylietexas.gov

Park Event Application

This application must be submitted a minimum of eight weeks prior to your event date. Special events, meetings, and gatherings (other than typical parties or picnics) will require submission of a Park Event Application prior to reservation approval. Please call the Parks Administration at 972-516-6340 if you have any questions pertaining to the Park Event Application.

Applicant Information

Name of Organization *

Fancyberriesco

Website

<https://linktr.ee/Fancyberriesco>

Are you a non profit? *

☐ Yes ☒ No

Contact Information

Primary Contact Name *

Jazmine Garcia

Event Information

Event Name/Title *

Art Market

If other, please explain *

Event Type *

Other

The first art market in Wylie! I would like to hold this event in one of the parks.

Purpose of event *

My mission is to serve others by exposing individuals to art and small business' in the community. My goal is to give opportunity to young and aspiring artists to pursue their goals and interests in different creative fields and business. This could be a great opportunity for young adults in the community to meet other creatives at different stages of their careers/artists journeys.

Event Location *

Olde City Park

112 S Ballard Avenue

Proposed Event Date *

07/16/2022

Alternative Event Date *

07/16/2022

Start Time*

09:00:00 AM

Include Setup

End Time*

07:00:00 PM

Include Cleanup

Do you plan to sell items of any kind?

example: drinks, food items, t-shirts, snow cones, memberships, registrations etc.

☒ Yes ☐ No**Please specify all items you plan to sell**

Art and craft products: Paintings, earrings, ceramics, art prints, key chains, stickers, shirts, tote bags etc.

Will there be food items provided?☐ Yes ☒ No**Anticipated number of Participating Vendors***

20

Anticipated Event Attendance*

100

Event Target Audience*

Young adults/students who are exploring career options, parents, community members who want to know more about the small businesses in their community.

Event Details*

I am planning for twenty vendors who sell a variety of art and craft products. This includes ceramics, paintings, art prints, key chains, stickers, tote bags, shirts, etc. I am still in the process of planning this event. I would just like to secure a location and date for the art market before designing flyers and fleshing out the details. I am encouraging young and small artists in Wylie to connect with vendors who are already professionals in their fields or students in college. Each vendor will have a sign that encourages people to ask them about their creative practices and careers. I graduated from Wylie East and am currently a communications design major at UNT. I grew up in Wylie and want to contribute back to the community I grew up in.

Event Announcement and/or Flyers**NOTE:**

If food is prepared on site or off-site and brought to the event location to be offered to the public, free or at cost, the vendor applicant must contact the Collin County Environmental Services Office in McKinney in order to inquire whether a Temporary/Short-Term Event Food Service/Health permit is required prior to the event. It is possible that a health inspector must examine food preparation and storage equipment to assure the health and safety of customers. Please contact the Environmental Services Specialist at 972-548-5528 or 972-548-5585. The Collin County website is www.collincountytx.gov.

Sec. 78-105 of the City Code of Ordinances states: It shall be unlawful for any person to solicit for sale, vend, peddle, sell or offer to sell any cold drinks, cigars, tobacco, cigarettes, fruits, candies, goods, wares or merchandise of any kind or nature whatsoever within the municipal parks or recreation or community center facility; provided, however, that this section shall not apply to any person, organization, firms or corporations, or the agents of any person, or organization, firm or corporation, or employee of any person who are recommended by the Parks and Recreation Board and approved by the City Council to operate a concession or concessions for the sale of specified goods, wares, and merchandise within the municipal parks or recreation or community center facilities of the city.

Signature

Date*

03/27/2022



Wylie City Council

AGENDA REPORT

Department: Parks and Recreation
 Prepared By: Robert Diaz

Account Code: _____

Subject

Consider, and act upon, the Park Event Application Do it for Declan 5K fundraiser event at Founders Park on December 10, 2022.

Recommendation

Motion to approve Item as presented.

Discussion

The proposed Event Application is for the Do it for Declan 5K event to be held in Founders Park on December 10, 2022. This is a new event and will follow the 5K route that previous 5K runs have utilized in Founders Park. Parks and Recreation staff will coordinate with the group on event logistics and set up.

The Parks and Recreation Board approved the Event Application at the April 13, 2022 meeting.

Financial Summary/Strategic Goals

There is not a Financial Summary included in this report.

Strategic Goals: *Health, Safety and Well-Being.*



Parks & Recreation Department
 949 Hensley Lane, Building 200
 972-516-6340 | Parks@wylietexas.gov

Park Event Application

This application must be submitted a minimum of eight weeks prior to your event date. Special events, meetings, and gatherings (other than typical parties or picnics) will require submission of a Park Event Application prior to reservation approval. Please call the Parks Administration at 972-516-6340 if you have any questions pertaining to the Park Event Application.

Applicant Information

Name of Organization *

Cure Sanfilippo Foundation

Website

<https://curesanfilippofoundation.org/>

Are you a non profit? *

☒ Yes ☐ No

Please upload 501c3 Documents

Contact Information

Primary Contact Name *

Katharine Sink

Event Information

Event Name/Title *

First Annual Do it For Declan 5K

Event Type *

5k/Walk

Purpose of event *

Fundraiser for the Cure Sanfilippo Foundation which raises money for research in search of treatments and a cure for Sanfilippo syndrome. My son has Sanfilippo.

Event Location *

Founders Park

851 Hensley Lane

Proposed Event Date *

12/10/2022

Alternative Event Date *

12/17/2022

Start Time *

06:00:00 AM

Include Setup

End Time *

05:00:00 PM

Include Cleanup

Do you plan to sell items of any kind?

example: drinks, food items, t-shirts, snow cones, memberships, registrations etc.

☒ Yes ☐ No

Please specify all items you plan to sell

registrations, Cure Sanfilippo merchandise (shirts, hats), food items, drinks

Will there be food items provided?

☒ Yes ☐ No

Please specify the types of food items to be provided

chips, popcorn, hot dogs, sandwiches, water, gatorade, soda

Who is providing the food?

☐ Applicant
☒ Food Vendor
☐ Other

Anticipated number of Participating Vendors *

5

Anticipated Event Attendance *

100

Event Target Audience *

Everyone

Event Details *

This will be the first of a hopefully annual event. 5K run. Proceeds will go to the Cure Sanfilippo Foundation. They advocate for and fund research directed towards a cure and treatments. Sanfilippo syndrome is a rare and terminal disease that is often compared to Alzheimers but in children. There is currently no available treatments or cure. My 7 year old son, Declan, has Sanfilippo. There will be a silent auction and Cure Sanfilippo merchandise for sale. Vendors will provide food and drinks.

Event Announcement and/or Flyers**NOTE:**

If food is prepared on site or off-site and brought to the event location to be offered to the public, free or at cost, the vendor applicant must contact the Collin County Environmental Services Office in McKinney in order to inquire whether a Temporary/Short-Term Event Food Service/Health permit is required prior to the event. It is possible that a health inspector must examine food preparation and storage equipment to assure the health and safety of customers. Please contact the Environmental Services Specialist at 972-548-5528 or 972-548-5585. The Collin County website is www.collincountytx.gov.

Sec. 78-105 of the City Code of Ordinances states: It shall be unlawful for any person to solicit for sale, vend, peddle, sell or offer to sell any cold drinks, cigars, tobacco, cigarettes, fruits, candies, goods, wares or merchandise of any kind or nature whatsoever within the municipal parks or recreation or community center facility; provided, however, that this section shall not apply to any person, organization, firms or corporations, or the agents of any person, or organization, firm or corporation, or employee of any person who are recommended by the Parks and Recreation Board and approved by the City Council to operate a concession or concessions for the sale of specified goods, wares, and merchandise within the municipal parks or recreation or community center facilities of the city.

Signature

Katharine Sink

Date *

01/25/2022



Wylie City Council

AGENDA REPORT

Department: City Manager
 Prepared By: Brent Parker

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2022-35 amending Wylie's Code of Ordinances, Ordinance No. 2021-17, as amended, Chapter 82 (Peddlers and Solicitors).

Recommendation

Motion to approve Item as presented.

Discussion

A municipality, when addressing the issues associated with panhandling and solicitation, must craft an ordinance that does so without placing undue restrictions on the First Amendment. Regulation of aggressive solicitation and panhandling can be done by adding provisions related to undesirable conduct and not the content of the speech. Targeting certain behavior is an acceptable exercise of governmental power although some speech may be limited. The focus is on the actions and conduct, not the speech itself.

The attached ordinance addresses the legitimate concerns of the City while adhering to constitutional limitations.

Financial Summary/Strategic Goals

ORDINANCE NO. 2022-35

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, AMENDING WYLIE’S CODE OF ORDINANCES, ORDINANCE NO. 2021-17, AS AMENDED, CHAPTER 82 (PEDDLERS AND SOLICITORS), BY REPEALING OR AMENDING SECTIONS 82-1 DEFINITIONS, BY REPEALING OR AMENDING 82-2 (UNLAWFUL SOLICITATION AND HANDBILL DISTRIBUTION), 82-3 (SUPERVISION OF CHILD SOLICITORS), 82-4 (PERMIT OR CERTIFICATE OF REGISTRATION—GROUNDS FOR DENIAL OR REVOCATION), 82-5 (SAME—APPEAL FROM DENIAL OR REVOCATION), 82-31 (EXCEPTIONS TO ARTICLE), 82-32 (REGISTRATION STATEMENT), 82-33 (REGISTRATION FEE), 82-34 (CERTIFICATE OF REGISTRATION ISSUANCE, DURATION AND FORM), 82-35 (SOLICITOR’S IDENTIFICATION), 82-36 (PUBLIC DISCLOSURE), 82-7 (EXHIBITING CARD PROHIBITING SOLICITORS AND HANDBILL DISTRIBUTORS), 82-71 (EXCEPTIONS TO ARTICLE), 82-72 (APPLICATION FOR PERMIT), 82-73 (PERMIT FEE), 82-74 (EXEMPTIONS FROM PERMIT FEE), 82-75 (PERMIT ISSUANCE, DURATION AND FORM), 82-76 (SOLICITOR’S AND HANDBILL DISTRIBUTOR’S INFORMATION), AND 82-77 (PUBLIC DISCLOSURE); PROVIDING A SAVINGS/REPEALING CLAUSE, SEVERABILITY CLAUSE, PENALTY CLAUSE AND AN EFFECTIVE DATE; AND PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF.

WHEREAS, the City Council of the City of Wylie, Texas (“City Council”) has investigated and determined that it would be advantageous and beneficial to the citizens of the City of Wylie, Texas (“Wylie” or “City”) to amend Chapter 82 (Peddlers and Solicitors), by repealing or amending Sections 82-1 (Definitions), 82-2 (Unlawful Solicitation and Handbill Distribution), 82-3 (Supervision of Child Solicitors), 82-4 (Permit or Certificate of Registration—Grounds for Denial or Revocation), 82-5 (Same—Appeal from Denial or Revocation), 82-31 (Exceptions to Article), 82-32 (Registration Statement), 82-33 (Registration Fee), 82-34 (Certificate of Registration Issuance, Duration and Form), 82-35 (Solicitor’s Identification), 82-36 (Public Disclosure), 82-7 (Exhibiting card Prohibiting Solicitors and Handbill Distributors), 82-71 (Exceptions to Article), 82-72 (Application for Permit), 82-73 (Permit Fee), 82-74 (Exemptions from Permit Fee), 82-75 (Permit Issuance, Duration and Form), 82-76 (Solicitor’s and Handbill Distributor’s Information), and 82-77 (Public Disclosure) of Wylie’s Code of Ordinances, Ordinance No. 2021-17, as amended (“Code of Ordinances”), as set forth below; and

WHEREAS, the City Council has further investigated and determined that recent changes in relevant law justify amending the Code of Ordinances as set forth below to, among other things, ensure that certain procedures in Chapter 82 (Peddlers and Solicitors) of the Code of Ordinances do not conflict, nor are inconsistent, with applicable law; and

WHEREAS, the City Council has further investigated and determined that in order to promote the public health, safety and welfare of Wylie and its citizens, it is in the best interest of Wylie and its citizens to amend the Code of Ordinances, as set forth below.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Amendment to the Code of Ordinances, Chapter 82 (Peddlers and Solicitors), Sections 82-1 (Definitions) 82-2 (Unlawful Solicitation and Handbill Distribution), 82-3 (Supervision of Child Solicitors), 82-4 (Permit or Certificate of Registration—Grounds for Denial or Revocation), 82-5 (Same-Appeal from Denial or Revocation), 82-31 (Exceptions to Article), 82-32 (Registration Statement), 82-33 (Registration Fee), 82-34 (Certificate of Registration Issuance, Duration and Form), 82-35 (Solicitor’s Identification), 82-36 (Public Disclosure), 82-71 (Exceptions to Article), 82-72 (Application for Permit), 82-73 (Permit Fee), 82-74 (Exemptions from Permit Fee), 82-75 (Permit Issuance, Duration and Form), 82-76 (Solicitor’s and Handbill Distributor’s Information), and 82-77 (Public Disclosure). The Code of Ordinances, Chapter 82 (Peddlers and Solicitors), Sections 82-2 (Unlawful Solicitation and Handbill Distribution), 82-3 (Supervision of Child Solicitors), 82-4 (Permit or Certificate of Registration—Grounds for Denial or Revocation), 82-5 (Same-Appeal from Denial or Revocation), 82-32 (Registration Statement), 82-31 (Exceptions to Article), 82-33 (Registration Fee), 82-34 (Certificate of Registration Issuance, Duration and Form), 82-35 (Solicitor’s Identification), 82-36 (Public Disclosure), 82-7 (Exhibiting Card Prohibiting Solicitors and Handbill Distributors), 82-71 (Exceptions to Article), 82-72 (Application for Permit), 82-73 (Permit Fee), 82-74 (Exemptions from Permit Fee), 82-75 (Permit Issuance, Duration and Form), 82-76 (Solicitors’ and Handbill Distributor’s Information), and 82-77 (Public Disclosure) are hereby amended as follows:

“CHAPTER 82 – PEDDLERS AND SOLICITORS

Sec. 82-1 Definitions.

- (a) The following words or phrases, when used in this chapter, shall have the meaning ascribed to them by this section.

Automated teller facility means the area comprised of one or more automatic teller machines, and any adjacent space that is made available to banking customers.

Business day means any day except Saturday, Sunday or any local, state or national holiday.

City of Wylie or City means the City of Wylie, Texas.

City Manager means the City Manager of the City of Wylie, Texas, or his/her Designee.

Handbill means and includes any printed or written matter, any sample or devise, dodger, circular, leaflet, pamphlet, paper, booklet, or any other printed or otherwise reproduced original copies of any matter or literature.

Public area means an outdoor area to which the public has access and includes, but is not limited to, a sidewalk, street, highway, park, parking lot, alleyway, pedestrian way, or the common area of a school, hospital, apartment house, office building, transport facility or shop.

Solicitation means to request, by spoken, written, or printed word, or by other means of communication an immediate donation or transfer of money or another thing of value from another person, regardless of the solicitor’s purpose or intended use of the money or other thing of value, and regardless of whether consideration is offered.

Street means the portion of the street that is paved, designated or used for vehicular traffic, and all areas dedicated to public use for public street purposes, to include parkways, alleys, and sidewalks.

Traffic island means a barrier within a street or roadway to exclude vehicles, designated for the purpose of separating or directing streams of vehicular traffic.

- (b) All terminology used in this chapter not specifically defined above, shall retain its meaning in conformance with applicable publications of the American National Standards Institute (ANSI) or its successor body and/or the latest volume of Webster's Collegiate Dictionary.

Sec. 82-2. – Unlawful solicitation and handbill distribution.

- (a) No person shall peddle, solicit, distribute handbills, hawk, sell or take orders for or offer to take orders for any item or service at a private residence in the city after sunset on any day until 9:00 a.m. unless the transaction is the result of a request made to such person by the occupant of such private residence. The term "sunset" means the time of day identified by the National Weather Service as the time for sunset for that day for the city. There shall be no solicitations at any time on federally designated holidays, without prior invitation from the occupants of said private residence.
- (b) It shall be unlawful for any person to solicit or distribute handbills in person at a private residence where the owner, occupant or any other person then present in or upon such private premises has indicated that no such activities are welcomed or if there is placed upon such premises in a conspicuous place upon or near the main entrance to the residence, a card containing the words "NO SOLICITORS" OR "NO TRESPASSING". The letters shall be not less than two-thirds of an inch in height and should be displayed on a weather proof card not less than three inches by four inches in size.
- (c) It shall be unlawful for any person to solicit in person at a gated community which shall exhibit in a conspicuous place upon all entrances to the community the words "NO SOLICITORS" OR "NO SOLICITATION". The letters shall not be less than one and a half inches in height and shall be displayed on a weatherproof card not less than 8 inches by 12 inches in size. It shall be an affirmative defense to a violation under this section that the solicitation occurred at the written request of a homeowner/resident in the gated community. The solicitor shall only solicit at the address covered by the written request.
- (d) It shall be unlawful for a person to engage in aggressive solicitation which includes the approaching or following pedestrians, repetitive soliciting despite refusals, the use of abusive or profane language to cause fear and intimidation, unwanted physical contact, or the intentional blocking of pedestrian and vehicular traffic.
- (e) It shall be unlawful for a person to solicit in the following locations;
 - (1) within 25 feet of:
 - (a) an automated teller facility
 - (b) the entrance or exit of a bank or
 - (c) the entrance or exit of a check cashing business
 - (2) at a public transportation stop
 - (3) in an aggressive manner in a public area

- (f) No person shall engage in solicitation through the delivery of handbills or circulars by placing said handbills or circulars on motor vehicles, public utility posts, or other location such that the same constitutes littering under V.T.C.A, Health and Safety Code Ch. 365. It is presumed that the person or business whose address or telephone number is listed in the notice, poster, paper, or device, or who is otherwise named, described, or identified in the notice, poster, paper, or device, is the person or business who committed the violation, either personally or through an agent or employee.

Sec. 82-3. Supervision of child solicitors.

It shall be unlawful for any person to use children thirteen (13) years of age or less for any type of solicitation or handbill distribution purposes unless the children are actively supervised by an adult individual at least eighteen (18) years of age. In all cases the supervising adult shall be within one hundred (100) yards of the child solicitor.

Sec. 82-4. Exemptions.

- (a) The provisions of this chapter shall not apply to:
- (1) The regular delivery of newspapers or magazines or other items which have been subscribed to by the persons receiving them or by occupants of the premises to which they are delivered;
 - (2) The interruption of service notices by utility companies;
 - (3) The distribution of mail by the United States government; and
 - (4) The service of any lien foreclosure or governmental notices of any character distributed by the City or any other governmental entity.

Secs. 82-73—82-100. Reserved.

ARTICLE III. JOB PLACEMENT ACTIVITIES

Sec. 82-101. Prohibition of job placement activities in unauthorized locations.

- (a) No person shall engage in or attempt to engage in job placement activities in an unauthorized location. This section shall not apply to job placement activities concerning employment or business for the owner or lawful tenants of the subject premises.
- (b) This section shall only apply to unauthorized locations where the location has a notice posted in both English and Spanish in a conspicuous place at each entrance and exit to such location not less than 18 by 24 inches in size with lettering not less than one inch in height and not to exceed, in total area, six square feet. The notice shall be in substantially the following form:

“It is unlawful to engage in job placement activities on these premises.”

- (c) This article shall override other ordinances regulating the placement of signage, temporary or permanent, for the purpose of solicitation or job placement in and throughout the City.

Secs. 82-102—82-120. Reserved.

SECTION 3: Penalty. Any person, firm, entity or corporation violating any provision of this Ordinance, as it exists or may be amended, shall be guilty of a misdemeanor, and on conviction, shall be fined in an amount not exceeding Five Hundred Dollars (\$500.00). Each continuing day's violation shall constitute a separate offense. The penal provisions imposed under this Ordinance shall not preclude Wylie from filing suit to enjoin the violation. Wylie retains all legal rights and remedies available to it pursuant to local, state, and federal law.

SECTION 4: Savings/Repealing. The Code of Ordinances shall remain in full force and effect, save and except as amended by this or any other ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed, but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent prosecution from being commenced for any violation occurring prior to the repeal of the ordinance. Any remaining portions of conflicting ordinances shall remain in full force and effect.

SECTION 5: Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional and/or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof, regardless of whether any one or more sections, subsections, sentences, clauses or phrases is declared unconstitutional and/or invalid.

SECTION 6: Effective Date. This Ordinance shall be effective immediately upon its passage and publication as required by law and the City Charter.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS on this 26th day of April, 2022.

Matthew Porter, Mayor

**ATTESTED AND
CORRECTLY RECORDED:**

Stephanie Storm, City Secretary

DATE OF PUBLICATION: May 4, 2022, in The Wylie News



Wylie City Council

AGENDA REPORT

Department: WEDC
Prepared By: Jason Greiner

Account Code: _____

Subject

Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of March 31, 2022.

Recommendation

Motion to approve Item as presented.

Discussion

The Wylie Economic Development Corporation (WEDC) Board of Directors approved the attached financials on April 22, 2022.

Financial Summary/Strategic Goals

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 111 - WYLIE ECONOMIC DEVEL CORP							
Revenue							
Category: 400 - Taxes							
111-4000-40210	SALES TAX	3,789,966.00	3,789,966.00	305,605.50	1,313,287.87	-2,476,678.13	65.35 %
	Category: 400 - Taxes Total:	3,789,966.00	3,789,966.00	305,605.50	1,313,287.87	-2,476,678.13	65.35%
Category: 460 - Interest Income							
111-4000-46110	ALLOCATED INTEREST EARNINGS	6,000.00	6,000.00	181.86	1,004.52	-4,995.48	83.26 %
	Category: 460 - Interest Income Total:	6,000.00	6,000.00	181.86	1,004.52	-4,995.48	83.26%
Category: 480 - Miscellaneous Income							
111-4000-48110	RENTAL INCOME	132,240.00	132,240.00	17,505.00	54,000.00	-78,240.00	59.17 %
111-4000-48410	MISCELLANEOUS INCOME	0.00	0.00	0.00	1,044.96	1,044.96	0.00 %
111-4000-48430	GAIN/(LOSS) SALE OF CAP ASSETS	2,601,116.00	2,601,116.00	0.00	0.00	-2,601,116.00	100.00 %
	Category: 480 - Miscellaneous Income Total:	2,733,356.00	2,733,356.00	17,505.00	55,044.96	-2,678,311.04	97.99%
Category: 490 - Transfers In & Other Financing Sources							
111-4000-49325	BANK NOTE PROCEEDS	0.00	8,108,000.00	0.00	8,108,000.00	0.00	0.00 %
	Category: 490 - Transfers In & Other Financing Sources Total:	0.00	8,108,000.00	0.00	8,108,000.00	0.00	0.00%
	Revenue Total:	6,529,322.00	14,637,322.00	323,292.36	9,477,337.35	-5,159,984.65	35.25%
Expense							
Category: 510 - Personnel Services							
111-5611-51110	SALARIES	286,558.00	286,558.00	29,851.88	125,843.03	160,714.97	56.08 %
111-5611-51140	LONGEVITY PAY	729.00	729.00	0.00	724.00	5.00	0.69 %
111-5611-51310	TMRS	44,530.00	44,530.00	4,690.34	19,740.82	24,789.18	55.67 %
111-5611-51410	HOSPITAL & LIFE INSURANCE	49,304.00	49,304.00	3,176.72	16,752.26	32,551.74	66.02 %
111-5611-51420	LONG-TERM DISABILITY	1,707.00	1,707.00	44.67	268.02	1,438.98	84.30 %
111-5611-51440	FICA	18,623.00	18,623.00	1,751.51	7,197.57	11,425.43	61.35 %
111-5611-51450	MEDICARE	4,355.00	4,355.00	409.62	1,683.26	2,671.74	61.35 %
111-5611-51470	WORKERS COMP PREMIUM	378.00	378.00	0.00	390.55	-12.55	-3.32 %
111-5611-51480	UNEMPLOYMENT COMP (TWC)	1,080.00	1,080.00	14.65	755.99	324.01	30.00 %
	Category: 510 - Personnel Services Total:	407,264.00	407,264.00	39,939.39	173,355.50	233,908.50	57.43%
Category: 520 - Supplies							
111-5611-52010	OFFICE SUPPLIES	5,000.00	5,000.00	414.04	2,088.60	2,911.40	58.23 %
111-5611-52040	POSTAGE & FREIGHT	300.00	300.00	8.70	39.90	260.10	86.70 %
111-5611-52810	FOOD SUPPLIES	6,100.00	6,100.00	25.98	2,410.02	3,689.98	60.49 %
	Category: 520 - Supplies Total:	11,400.00	11,400.00	448.72	4,538.52	6,861.48	60.19%
Category: 540 - Materials for Maintenance							
111-5611-54610	FURNITURE & FIXTURES	2,500.00	2,500.00	0.00	7,569.50	-5,069.50	-202.78 %
111-5611-54810	COMPUTER HARD/SOFTWARE	5,500.00	5,500.00	0.00	0.00	5,500.00	100.00 %
	Category: 540 - Materials for Maintenance Total:	8,000.00	8,000.00	0.00	7,569.50	430.50	5.38%
Category: 560 - Contractual Services							
111-5611-56030	INCENTIVES	1,043,973.00	1,043,973.00	124,500.00	148,221.77	895,751.23	85.80 %
111-5611-56040	SPECIAL SERVICES	118,156.00	1,962,496.00	1,608,603.59	1,734,758.96	227,737.04	11.60 %
111-5611-56080	ADVERTISING	129,100.00	129,100.00	14,100.00	31,463.60	97,636.40	75.63 %
111-5611-56090	COMMUNITY DEVELOPMENT	52,050.00	52,050.00	5,059.70	21,507.49	30,542.51	58.68 %
111-5611-56110	COMMUNICATIONS	6,400.00	6,400.00	475.11	2,300.77	4,099.23	64.05 %
111-5611-56180	RENTAL	27,000.00	27,000.00	2,250.00	13,500.00	13,500.00	50.00 %
111-5611-56210	TRAVEL & TRAINING	74,600.00	74,600.00	3,995.04	24,272.42	50,327.58	67.46 %
111-5611-56250	DUES & SUBSCRIPTIONS	39,810.00	39,810.00	2,355.77	43,341.56	-3,531.56	-8.87 %
111-5611-56310	INSURANCE	6,303.00	6,303.00	303.00	5,458.01	844.99	13.41 %
111-5611-56510	AUDIT & LEGAL SERVICES	33,000.00	33,000.00	1,385.00	10,666.50	22,333.50	67.68 %
111-5611-56570	ENGINEERING/ARCHITECTURAL	87,500.00	189,300.00	12,150.00	38,842.55	150,457.45	79.48 %

Budget Report

For Fiscal: 2021-2022 Period Ending: 03/31/2022

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
111-5611-56610	UTILITIES-ELECTRIC	2,400.00	2,400.00	334.11	787.31	1,612.69	67.20 %
Category: 560 - Contractual Services Total:		1,620,292.00	3,566,432.00	1,775,511.32	2,075,120.94	1,491,311.06	41.82%
Category: 570 - Debt Service & Capital Replacement							
111-5611-57410	PRINCIPAL PAYMENT	694,127.33	5,403,249.03	26,201.99	4,841,811.23	561,437.80	10.39 %
111-5611-57415	INTEREST EXPENSE	315,135.79	326,452.12	23,847.01	131,980.95	194,471.17	59.57 %
Category: 570 - Debt Service & Capital Replacement Total:		1,009,263.12	5,729,701.15	50,049.00	4,973,792.18	755,908.97	13.19%
Category: 580 - Capital Outlay							
111-5611-58110	LAND-PURCHASE PRICE	0.00	3,983,392.59	186,154.60	3,895,266.34	88,126.25	2.21 %
111-5611-58210	STREETS & ALLEYS	2,175,000.00	2,425,000.00	0.00	59,475.90	2,365,524.10	97.55 %
111-5611-58995	CONTRA CAPITAL OUTLAY	0.00	0.00	-186,154.60	-3,895,266.34	3,895,266.34	0.00 %
Category: 580 - Capital Outlay Total:		2,175,000.00	6,408,392.59	0.00	59,475.90	6,348,916.69	99.07%
Expense Total:		5,231,219.12	16,131,189.74	1,865,948.43	7,293,852.54	8,837,337.20	54.78%
Fund: 111 - WYLIE ECONOMIC DEVEL CORP Surplus (Deficit):		1,298,102.88	-1,493,867.74	-1,542,656.07	2,183,484.81	3,677,352.55	246.16%
Report Surplus (Deficit):		1,298,102.88	-1,493,867.74	-1,542,656.07	2,183,484.81	3,677,352.55	246.16%

Budget Report

For Fiscal: 2021-2022 Period Ending: 03/31/2022

Group Summary

Categor...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 111 - WYLIE ECONOMIC DEVEL CORP						
Revenue						
400 - Taxes	3,789,966.00	3,789,966.00	305,605.50	1,313,287.87	-2,476,678.13	65.35%
460 - Interest Income	6,000.00	6,000.00	181.86	1,004.52	-4,995.48	83.26%
480 - Miscellaneous Income	2,733,356.00	2,733,356.00	17,505.00	55,044.96	-2,678,311.04	97.99%
490 - Transfers In & Other Financing Sources	0.00	8,108,000.00	0.00	8,108,000.00	0.00	0.00%
Revenue Total:	6,529,322.00	14,637,322.00	323,292.36	9,477,337.35	-5,159,984.65	35.25%
Expense						
510 - Personnel Services	407,264.00	407,264.00	39,939.39	173,355.50	233,908.50	57.43%
520 - Supplies	11,400.00	11,400.00	448.72	4,538.52	6,861.48	60.19%
540 - Materials for Maintenance	8,000.00	8,000.00	0.00	7,569.50	430.50	5.38%
560 - Contractual Services	1,620,292.00	3,566,432.00	1,775,511.32	2,075,120.94	1,491,311.06	41.82%
570 - Debt Service & Capital Replacement	1,009,263.12	5,729,701.15	50,049.00	4,973,792.18	755,908.97	13.19%
580 - Capital Outlay	2,175,000.00	6,408,392.59	0.00	59,475.90	6,348,916.69	99.07%
Expense Total:	5,231,219.12	16,131,189.74	1,865,948.43	7,293,852.54	8,837,337.20	54.78%
Fund: 111 - WYLIE ECONOMIC DEVEL CORP Surplus (Deficit):	1,298,102.88	-1,493,867.74	-1,542,656.07	2,183,484.81	3,677,352.55	246.16%
Report Surplus (Deficit):	1,298,102.88	-1,493,867.74	-1,542,656.07	2,183,484.81	3,677,352.55	246.16%

Budget Report

For Fiscal: 2021-2022 Period Ending: 03/31/2022

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)
111 - WYLIE ECONOMIC DEVEL COR	1,298,102.88	-1,493,867.74	-1,542,656.07	2,183,484.81	3,677,352.55
Report Surplus (Deficit):	1,298,102.88	-1,493,867.74	-1,542,656.07	2,183,484.81	3,677,352.55

Wylie Economic Development Corporation
Statement of Net Position
As of March 31, 2022

Assets

Cash and cash equivalents	\$ 1,899,574.67	
Receivables	\$ 60,000.00	Note 1
Inventories	\$ 16,330,536.04	
Prepaid Items	\$ -	
Total Assets	\$ 18,290,110.71	

Deferred Outflows of Resources

Pensions	\$ 75,630.55	
Total deferred outflows of resources	\$ 75,630.55	

Liabilities

Accounts Payable and other current liabilities	\$ 9,623.85	
Unearned Revenue	\$ 1,200.00	Note 2
Non current liabilities:		
Due within one year	\$ 200,765.86	Note 3
Due in more than one year	\$ 8,187,633.93	
Total Liabilities	\$ 8,399,223.64	

Deferred Inflows of Resources

Pensions	\$ (45,385.41)	
Total deferred inflows of resources	\$ (45,385.41)	

Net Position

Net investment in capital assets	\$ -	
Unrestricted	\$ 9,921,132.21	
Total Net Position	\$ 9,921,132.21	

Note 1: Includes incentives in the form of forgivable loans for \$60,000 (LUV-ROS)

Note 2: Deposits from rental property

Note 3: Liabilities due within one year includes compensated absences of \$32,301

Balance Sheet

Account Summary

As Of 03/31/2022

Account	Name	Balance
Fund: 111 - WYLIE ECONOMIC DEVEL CORP		
Assets		
111-1000-10110	CLAIM ON CASH AND CASH EQUIV.	1,897,574.67
111-1000-10115	CASH - WEDC - INWOOD	0.00
111-1000-10135	ESCROW	0.00
111-1000-10180	DEPOSITS	2,000.00
111-1000-10198	OTHER - MISC CLEARING	0.00
111-1000-10341	TEXPOOL	0.00
111-1000-10343	LOGIC	0.00
111-1000-10481	INTEREST RECEIVABLE	0.00
111-1000-11511	ACCTS REC - MISC	0.00
111-1000-11517	ACCTS REC - SALES TAX	0.00
111-1000-12810	LEASE PAYMENTS RECEIVABLE	0.00
111-1000-12950	LOAN PROCEEDS RECEIVABLE	0.00
111-1000-12996	LOAN RECEIVABLE	0.00
111-1000-12997	ACCTS REC - JTM TECH	0.00
111-1000-12998	ACCTS REC - FORGIVEABLE LOANS	60,000.00
111-1000-14112	INVENTORY - MATERIAL/ SUPPLY	0.00
111-1000-14116	INVENTORY - LAND & BUILDINGS	16,330,536.04
111-1000-14118	INVENTORY - BAYCO/ SANDEN BLVD	0.00
111-1000-14310	PREPAID EXPENSES - MISC	0.00
111-1000-14410	DEFERRED OUTFLOWS	768,867.00
Total Assets:		19,058,977.71
		<u>19,058,977.71</u>
Liability		
111-2000-20110	FEDERAL INCOME TAX PAYABLE	0.00
111-2000-20111	MEDICARE PAYABLE	0.00
111-2000-20112	CHILD SUPPORT PAYABLE	0.00
111-2000-20113	CREDIT UNION PAYABLE	0.00
111-2000-20114	IRS LEVY PAYABLE	0.00
111-2000-20115	NATIONWIDE DEFERRED COMP	0.00
111-2000-20116	HEALTH INSUR PAY-EMPLOYEE	3,932.98
111-2000-20117	TMRS PAYABLE	0.00
111-2000-20118	ROTH IRA PAYABLE	0.00
111-2000-20119	WORKERS COMP PAYABLE	0.00
111-2000-20120	FICA PAYABLE	0.00
111-2000-20121	TEC PAYABLE	0.00
111-2000-20122	STUDENT LOAN LEVY PAYABLE	0.00
111-2000-20123	ALIMONY PAYABLE	0.00
111-2000-20124	BANKRUPTCY PAYABLE	0.00
111-2000-20125	VALIC DEFERRED COMP	0.00
111-2000-20126	ICMA PAYABLE	0.00
111-2000-20127	EMP. LEGAL SERVICES PAYABLE	0.00
111-2000-20130	FLEXIBLE SPENDING ACCOUNT	4,874.88
111-2000-20131	EDWARD JONES DEFERRED COMP	0.00
111-2000-20132	EMP CARE FLITE	12.00
111-2000-20133	Unemployment Comp Payable	755.99
111-2000-20151	ACCRUED WAGES PAYABLE	0.00
111-2000-20180	ADDIT EMPLOYEE INSUR PAY	48.00
111-2000-20199	MISC PAYROLL PAYABLE	0.00
111-2000-20201	AP PENDING	0.00
111-2000-20210	ACCOUNTS PAYABLE	0.00
111-2000-20530	PROPERTY TAXES PAYABLE	0.00
111-2000-20540	NOTES PAYABLE	768,867.00
111-2000-20810	DUE TO GENERAL FUND	0.00

Balance Sheet

As Of 03/31/2022

Account	Name	Balance
111-2000-22270	DEFERRED INFLOW	0.00
111-2000-22275	DEF INFLOW - LEASE PRINCIPAL	0.00
111-2000-22280	DEFERRED INFLOW - LEASE INT	0.00
111-2000-22915	RENTAL DEPOSITS	1,200.00
Total Liability:		779,690.85

Equity

111-3000-34110	FUND BALANCE - RESERVED	0.00
111-3000-34590	FUND BALANCE-UNRESERV/UNDESIG	16,095,802.05
Total Beginning Equity:		16,095,802.05
Total Revenue		9,477,337.35
Total Expense		7,293,852.54
Revenues Over/Under Expenses		2,183,484.81
Total Equity and Current Surplus (Deficit):		18,279,286.86
Total Liabilities, Equity and Current Surplus (Deficit):		<u>19,058,977.71</u>

Balance Sheet

As Of 03/31/2022

Account	Name	Balance
Fund: 922 - GEN LONG TERM DEBT (WEDC)		
Assets		
922-1000-10312	GOVERNMENT NOTES	0.00
922-1000-18110	LOAN - WEDC	0.00
922-1000-18120	LOAN - BIRMINGHAM	0.00
922-1000-18210	AMOUNT TO BE PROVIDED	0.00
922-1000-18220	BIRMINGHAM LOAN	0.00
922-1000-19050	DEF OUTFLOW TMRS CONTRIBUTIONS	39,535.29
922-1000-19051	DEF OUTFLOW SDBF CONTRIBUTIONS	3,027.00
922-1000-19075	DEF OUTFLOW - INVESTMENT EXP	-37,953.52
922-1000-19100	DEF OUTFLOW - ACT EXP/ASSUMP	71,021.78
922-1000-19125	(GAIN)/LOSS ON ASSUMPTION CHGS	-44,574.41
922-1000-19126	DEF INFLOW SDBF CONTRIBUTIONS	-811.00
Total Assets:		30,245.14
		<u>30,245.14</u>
Liability		
922-2000-20310	COMPENSATED ABSENCES PAYABLE	0.00
922-2000-20311	COMP ABSENCES PAYABLE-CURRENT	32,300.82
922-2000-21410	ACCRUED INTEREST PAYABLE	9,604.44
922-2000-28205	WEDC LOANS/CURRENT	158,860.60
922-2000-28220	BIRMINGHAM LOAN	0.00
922-2000-28230	INWOOD LOAN	0.00
922-2000-28232	ANB LOAN/EDGE	0.00
922-2000-28233	ANB LOAN/PEDDICORD WHITE	0.00
922-2000-28234	ANB LOAN/RANDACK HUGHES	0.00
922-2000-28235	ANB LOAN	0.00
922-2000-28236	ANB CONSTRUCTION LOAN	0.00
922-2000-28237	ANB LOAN/ WOODBRIDGE PARKWAY	0.00
922-2000-28238	ANB LOAN/BUCHANAN	0.00
922-2000-28239	ANB LOAN/JONES:HOBART PAYOFF	0.00
922-2000-28240	HUGHES LOAN	0.00
922-2000-28242	ANB LOAN/HWY 78:5TH ST REDEV	0.00
922-2000-28245	ANB LOAN/DALLAS WHIRLPOOL	0.00
922-2000-28246	GOVCAP LOAN/KIRBY	7,846,537.60
922-2000-28247	JARRARD LOAN	144,081.16
922-2000-28250	CITY OF WYLIE LOAN	0.00
922-2000-28260	PRIME KUTS LOAN	0.00
922-2000-28270	BOWLAND/ANDERSON LOAN	0.00
922-2000-28280	CAPITAL ONE CAZAD LOAN	0.00
922-2000-28290	HOBART/COMMERCE LOAN	0.00
922-2000-29150	NET PENSION LIABILITY	185,989.17
922-2000-29151	SDBF LIABILITY	11,026.00
Total Liability:		8,388,399.79
Equity		
922-3000-34590	FUND BALANCE-UNRESERV/UNDESIG	-4,971,701.88
922-3000-35900	UNRESTRICTED NET POSITION	-120,264.00
Total Beginning Equity:		-5,091,965.88
Total Revenue		-8,108,000.00
Total Expense		-4,841,811.23
Revenues Over/Under Expenses		-3,266,188.77
Total Equity and Current Surplus (Deficit):		-8,358,154.65
Total Liabilities, Equity and Current Surplus (Deficit):		<u>30,245.14</u>

Wylie Economic Development Corporation

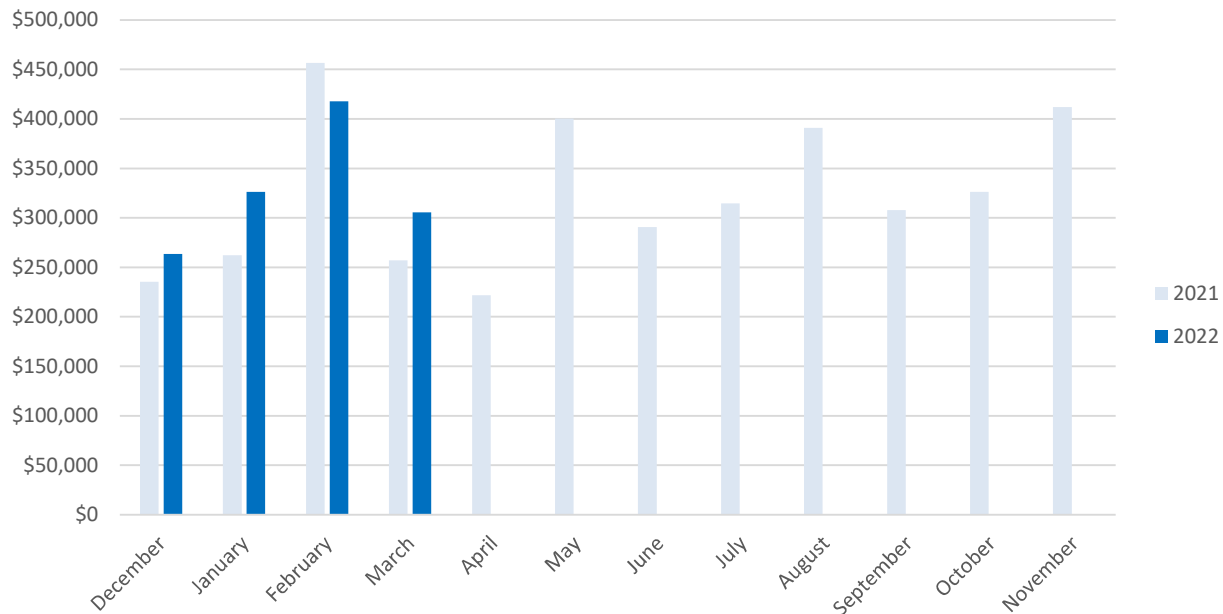
SALES TAX REPORT

March 31, 2022

BUDGETED YEAR

MONTH	FY 2019	FY 2020	FY 2021	FY 2022	DIFF 21 vs. 22	% DIFF 21 vs. 22
DECEMBER	\$ 214,867.15	\$ 226,663.94	\$ 235,381.33	\$ 263,577.66	\$ 28,196.33	11.98%
JANUARY	\$ 223,749.61	\$ 218,520.22	\$ 262,263.52	\$ 326,207.92	\$ 63,944.40	24.38%
FEBRUARY	\$ 307,366.66	\$ 362,129.18	\$ 456,571.35	\$ 417,896.79	\$ (38,674.56)	-8.47%
MARCH	\$ 208,222.32	\$ 228,091.34	\$ 257,187.91	\$ 305,605.50	\$ 48,417.59	18.83%
APRIL	\$ 182,499.53	\$ 203,895.57	\$ 221,881.55	\$ -	\$ -	0.00%
MAY	\$ 274,299.18	\$ 289,224.35	\$ 400,371.70	\$ -	\$ -	0.00%
JUNE	\$ 234,173.88	\$ 239,340.35	\$ 290,586.92	\$ -	\$ -	0.00%
JULY	\$ 215,107.94	\$ 296,954.00	\$ 314,559.10	\$ -	\$ -	0.00%
AUGUST	\$ 283,602.93	\$ 325,104.34	\$ 390,790.76	\$ -	\$ -	0.00%
SEPTEMBER	\$ 243,048.40	\$ 259,257.89	\$ 307,681.15	\$ -	\$ -	0.00%
OCTOBER	\$ 224,875.38	\$ 249,357.02	\$ 326,382.38	\$ -	\$ -	0.00%
NOVEMBER	\$ 308,324.41	\$ 384,953.89	\$ 411,813.32	\$ -	\$ -	0.00%
Sub-Total	\$ 2,920,137.37	\$ 3,283,492.09	\$ 3,875,470.98	\$ 1,313,287.87	\$ 101,883.76	11.68%
Total	\$ 2,920,137.37	\$ 3,283,492.09	\$ 3,875,470.98	\$ 1,313,287.87	\$ 101,883.76	11.68%

WEDC Sales Tax Analysis



*** Sales Tax collections typically take 2 months to be reflected as Revenue. SlsTx receipts are then accrued back 2 months.
 Example: March SlsTx Revenue is actually January SlsTx and is therefore the 4th allocation in FY22.

Wylie Economic Development Corporation

PERFORMANCE AGREEMENT REPORT

March 31, 2021

PERFORMANCE AGREEMENTS		TOTAL INCENTIVE	BUDGETED YEAR						REMAINING AFTER CURRENT FY	PREVIOUS FY PAYMENTS	TOTAL INCENTIVE									
			FY 2022	FY 2023	FY 2024	FY 2025	FY 2026													
CSD WOODBRIDGE	\$	1,100,000.00	\$	140,000.00	\$	43,926.07	\$	-	\$	-	\$	-	\$	43,926.07	\$	916,073.93	\$	1,100,000.00	A	
BALLERS ELITE- THE LAB, LLC	\$	20,000.00	\$	20,000.00	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	20,000.00		
DW WYLIE	\$	15,000.00	\$	15,000.00	\$	-	\$	-	\$	-	\$	-	\$	-	\$	-	\$	15,000.00		
CBC PROPERTY HOLDINGS	\$	50,000.00	\$	25,000.00	\$	-	\$	-	\$	-	\$	-	\$	-	\$	25,000.00	\$	50,000.00		
SAVANNAH WOODBRIDGE	\$	90,000.00	\$	45,000.00	\$	-	\$	-	\$	-	\$	-	\$	-	\$	45,000.00	\$	90,000.00		
CARDINAL STRATEGIES	\$	106,800.00	\$	24,933.00	\$	24,934.00	\$	-	\$	-	\$	-	\$	24,934.00	\$	49,433.00	\$	99,300.00		
AVANTI, LLC	\$	120,000.00	\$	30,000.00	\$	30,000.00	\$	-	\$	-	\$	-	\$	30,000.00	\$	60,000.00	\$	120,000.00		
GDA INVESTMENTS	\$	30,500.00	\$	20,000.00	\$	10,500.00	\$	-	\$	-	\$	-	\$	10,500.00	\$	-	\$	30,500.00		
LUV-ROS	\$	10,000.00	\$	5,000.00	\$	5,000.00	\$	-	\$	-	\$	-	\$	5,000.00	\$	-	\$	10,000.00	B	
AMERICAN ENTITLEMENTS	\$	33,000.00	\$	33,000.00		---	\$	-	\$	-	\$	-	\$	-	\$	-	\$	33,000.00	C	
NORTH DALLAS WYLIE LAND	\$	120,000.00	\$	20,000.00	\$	20,000.00	\$	20,000.00	\$	-	\$	-	\$	40,000.00	\$	60,000.00	\$	120,000.00		
AXL	\$	65,000.00	\$	46,500.00	\$	9,250.00	\$	9,250.00	\$	-	\$	-	\$	18,500.00	\$	-	\$	65,000.00		
FUEL CITY	\$	500,000.00	\$	-	\$	500,000.00	\$	-	\$	-	\$	-	\$	500,000.00	\$	-	\$	500,000.00		
		\$	2,260,300.00	\$	424,433.00	\$	643,610.07	\$	29,250.00	\$	-	\$	-	\$	672,860.07	\$	1,155,506.93	\$	2,252,800.00	

Deferred Out Flow \$ 768,867.00

A. SLSTX Reimbursement Qrtly Pmnts

B. Performance Agreement (\$10,000) and Forgivable Land Grant (\$60,000 forgiven over 3 years). \$20,000/year in 2021, 2022, & 2023.

C. Performance Agreement Requirements were met. Removed the future obligation from FY23.



Wylie City Council

AGENDA REPORT

Department: Finance
Prepared By: Melissa Beard

Account Code: _____

Subject

Consider, and place on file, the City of Wylie Monthly Revenue and Expenditure Report for March 31, 2022.

Recommendation

Motion to accept the Item as presented.

Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

Financial Summary/Strategic Goals

CITY OF WYLIE

MONTHLY FINANCIAL REPORT

March 31, 2022

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2021-2022	CURRENT MONTH ACTUAL 2021-2022	YTD ACTUAL 2021-2022	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 50.00%
GENERAL FUND REVENUE SUMMARY					
TAXES	35,752,468	1,052,340	30,275,686	84.68%	A
FRANCHISE FEES	2,896,800	320,201	1,575,711	54.39%	
LICENSES AND PERMITS	1,079,430	208,590	818,530	75.83%	B
INTERGOVERNMENTAL REV.	2,128,034	19,276	949,158	44.60%	C
SERVICE FEES	4,008,588	457,175	1,737,626	43.35%	D
COURT FEES	248,950	26,417	156,993	63.06%	
INTEREST INCOME	25,000	3,148	11,444	45.78%	
MISCELLANEOUS INCOME	177,500	13,119	126,616	71.33%	
OTHER FINANCING SOURCES	2,488,645	2,507	5,487,291	220.49%	E
REVENUES	48,805,415	2,102,773	41,139,055	84.29%	
USE OF FUND BALANCE	0	0	0	0.00%	
USE OF CARRY-FORWARD FUNDS	1,432,653	NA	NA	NA	F
TOTAL REVENUES	50,238,068	2,102,773	41,139,055	81.89%	
GENERAL FUND EXPENDITURE SUMMARY					
CITY COUNCIL	97,257	2,624	25,441	26.16%	
CITY MANAGER	1,530,491	65,826	646,037	42.21%	
CITY SECRETARY	406,030	21,857	154,435	38.04%	
CITY ATTORNEY	170,000	22,850	100,349	59.03%	G
FINANCE	1,310,547	64,827	707,215	53.96%	H
FACILITIES	992,608	64,245	341,191	34.37%	
MUNICIPAL COURT	565,012	36,566	197,058	34.88%	
HUMAN RESOURCES	697,062	51,632	355,080	50.94%	
PURCHASING	301,619	10,818	105,938	35.12%	
INFORMATION TECHNOLOGY	2,061,120	172,716	1,038,571	50.39%	
POLICE	12,184,388	841,961	5,313,568	43.61%	
FIRE	11,827,249	855,425	4,922,909	41.62%	
EMERGENCY COMMUNICATIONS	2,167,007	117,963	977,041	45.09%	
ANIMAL CONTROL	615,270	38,390	201,691	32.78%	
PLANNING	332,648	23,971	143,066	43.01%	
BUILDING INSPECTION	608,579	45,481	261,105	42.90%	
CODE ENFORCEMENT	266,176	16,973	104,480	39.25%	
STREETS	5,169,688	192,043	1,298,116	25.11%	
PARKS	2,907,759	177,575	1,117,225	38.42%	
LIBRARY	2,210,500	139,164	868,615	39.29%	
COMBINED SERVICES	11,234,730	400,092	8,031,577	71.49%	I
TOTAL EXPENDITURES	57,655,740	3,362,999	26,910,709	46.67%	
REVENUES OVER/(UNDER) EXPENDITURES	-7,417,672	-1,260,226	14,228,346	35.21%	
A. Property Tax Collections for FY21-22 as of March 31, 2022 are 98%, in comparison to FY20-21 for the same time period of 99%. Sales tax is on a 2 month lag and only four months have been received. Sales tax is up 19% from March 2021 and up 10% fiscal YTD.					
B. Licenses and Permits: New Dwelling Permits are up 204% from February YTD 2021 due to the new fee structure.					
C. Intergovernmental Rev: The majority of intergovernmental revenues come from WISD reimbursements and Fire Services which are billed quarterly.					
D. Service Fees: Trash fees are on a one month lag and only five months have been received. The remaining fees are from other seasonal fees.					
E. Yearly transfer from Utility Fund and \$3 million from sale of 802 Kirby.					
F. Largest Carry Forward items: Department Software Solution \$220,870, Rowlett Creek Dam Improvements \$110,000. Stone Road Rehab Project \$615,000					
G. Attorney consultation fees associated with ongoing projects around the City.					
H. Annual Audit expense					
I. \$6.2 million transfer to Community Investment Fund.					

CITY OF WYLIE

MONTHLY FINANCIAL REPORT

March 31, 2022

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2021-2022	CURRENT MONTH ACTUAL 2021-2022	YTD ACTUAL 2021-2022	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 50.00%
UTILITY FUND REVENUES SUMMARY					
SERVICE FEES	25,091,934	1,776,870	9,764,345	38.91%	J
INTEREST INCOME	8,500	1,305	5,649	66.45%	
MISCELLANEOUS INCOME	70,000	630	6,113	8.73%	
OTHER FINANCING SOURCES	31,841	0	36,644	115.09%	K
REVENUES	25,202,275	1,778,805	9,812,751	38.94%	
USE OF FUND BALANCE	0	NA	0	0	
USE OF CARRY-FORWARD FUNDS	2,758,010	NA	NA	NA	L
TOTAL REVENUES	27,960,285	NA	9,812,751	35.10%	
UTILITY FUND EXPENDITURE SUMMARY					
UTILITY ADMINISTRATION	1,557,634	52,234	437,855	28.11%	
UTILITIES - WATER	5,518,234	143,278	752,619	13.64%	M
CITY ENGINEER	0	47,924	47,924	100.00%	N
UTILITIES - SEWER	1,347,034	103,396	512,990	38.08%	
UTILITY BILLING	1,320,916	158,666	607,447	45.99%	
COMBINED SERVICES	15,821,748	996,674	10,380,772	65.61%	O
TOTAL EXPENDITURES	25,565,566	1,502,172	12,739,606	49.83%	
REVENUES OVER/(UNDER) EXPENDITURES	2,394,719	276,634	-2,926,855	-14.74%	
<p>J. Most Utility Fund Revenue is on a one month lag and only five months have been received.</p> <p>K. Insurance recoveries for damage to Newport Harbor Pump Station</p> <p>L. Largest Carry Forward items: Department Software Solutions \$150,300, Pump Station Backup Generators \$1.8M and FM 2514 Waterline Relocation Construction \$625,000.</p> <p>M. Pump station generators and FM2514 waterline relocation projects (totaling approx. \$2.4m) have not been completed.</p> <p>N. Department added as part of restructuring of Public Works. Budget was amended as part of Mid-Year Budget Amendments approved at the April 12 City Council meeting. Amended budget will be reflected in April report.</p> <p>O. Annual transfer to the General Fund of \$2.4 million. Other expenses include payments to NTMWD for water minimum and sewer treatment.</p>					



Wylie City Council

AGENDA REPORT

Department: Finance
Prepared By: Melissa Beard

Account Code: _____

Subject

Consider, and place on file, the City of Wylie Monthly Investment Report for March 31, 2022.

Recommendation

Motion to accept the Item as presented.

Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

Financial Summary/Strategic Goals

City Of Wylie

2021-2022 Investment Report March 31, 2022

Money Market Accounts:
Certificates of Deposit:
Treasury Bills:
Treasury Notes:
Government Agency Notes:

MMA
CCD
T-Bills
T-Notes
AN

Invest. Number	Principal Amount	Type Of Security	Interest Rate	Issuer	Purchase Date	Maturity Date
1	\$15,405,743.23	MMA	0.1536%	Texpool	12/31/2006	NA
2	\$15,950,418.53	MMA	0.1070%	TexStar	3/15/2011	NA
	\$31,356,161.76					

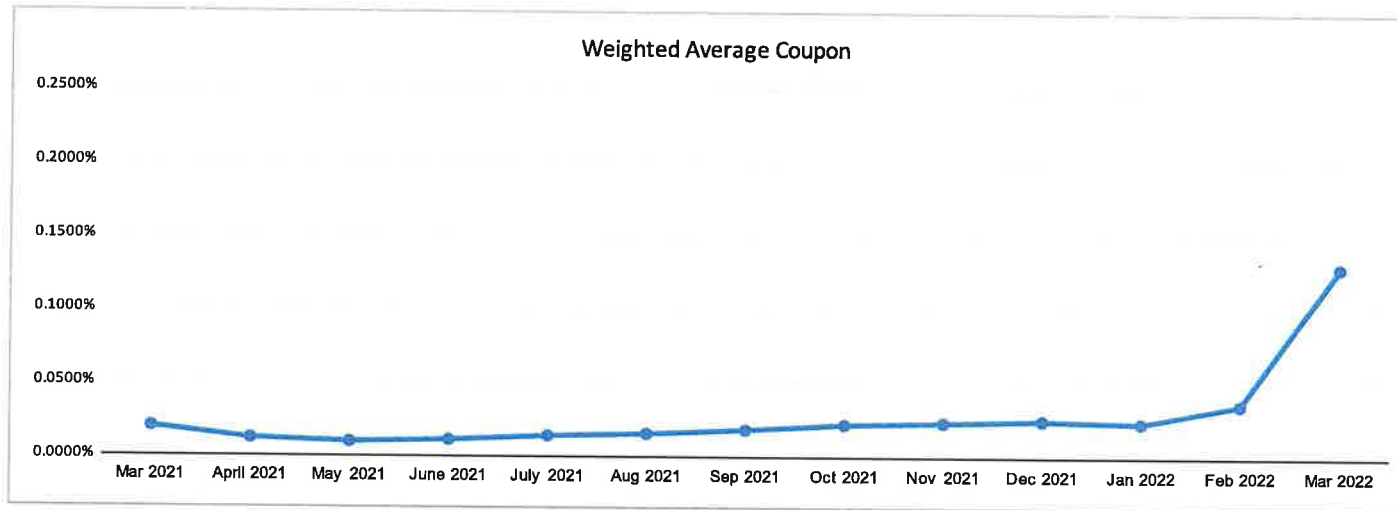
Total

Weighted Average Coupon:
Weighted Average Maturity (Days):

0.1299%
1.00

Money Markets:
Certificates of Deposits:

\$31,356,161.76
\$0.00
\$31,356,161.76



Melina Brand 4-19-22
Finance Director/Investment Officer



Wylie City Council

AGENDA REPORT

Department: Purchasing
Prepared By: Glenna Hayes

Account Code: 100-5211-56510

Subject

Consider, and act upon, rescinding the award of the purchase of Chevrolet Tahoe PPV vehicles for the Police Department in the estimated amount of \$207,000.00 through a BuyBoard cooperative purchasing, and authorizing the Interim City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented.

Discussion

The Wylie Police Department FY2021-2022 vehicle budget was approved in the amount of \$216,000.00 for the purchase of six (6) Chevrolet Tahoe PPV/2WD patrol vehicles. Due to ordering deadlines and vehicle availability from contracted dealerships, the City's final order was reduced to five (5) Tahoe PPV/4WD units to stay within budget. This purchase was previously awarded by the City of Wylie City Council on December 14, 2021, to Caldwell Chevrolet in the amount of \$207,000.00, a purchase order was issued on December 16, 2021 and the vehicles are on order. Staff was notified by the awarded vendor that the five (5) units are targeted for production the week of May 23, 2022.

Staff recommends rescinding the award to Caldwell Chevrolet, to allow for the purchase of the original quantity of six (6) Tahoe PPV/2WD units in the amount of \$207,645.00. These units are in stock locally, and are configured as budgeted with 2WD (wheel-drive). Approval of this request will allow the Police Department to purchase a total of six (6) units (vs. 5) as budgeted. Staff recommends this item as providing the best overall value for the City.

Financial Summary/Strategic Goals



Wylie City Council

AGENDA REPORT

Department: Purchasing **Account Code:** 100-5211-56510
Prepared By: Glenna Hayes

Subject

Consider, and act upon, the approval of the purchase of Chevrolet vehicles for the Police Department in the estimated amount of \$208,000 from Reliable Chevrolet through a Sheriff's Association of Texas cooperative purchasing, and authorizing the Interim City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented.

Discussion

The Wylie Police Department FY 2021-2022 vehicle budget was originally approved in the amount of \$216,000.00 for the purchase of six (6) Chevrolet Tahoe PPV/2WD patrol vehicles. Due to ordering deadlines and vehicle availability from contracted dealerships, the City's order quantity was reduced from six (6) to five (5) Tahoe PPV/4WD units to stay within budget. This purchase was previously awarded by the City of Wylie City Council on December 14, 2021 to Caldwell Chevrolet in the amount of \$207,000.

Staff was notified by Reliable Chevrolet that General Motors allocated the original six (6) Tahoe PPV/2WD units to their dealership and that vehicles were in route to the dealership. These units are equipped as originally budgeted, and approval of this item will allow the Police Department to purchase the original quantity of six (6) within budgeted funds. Staff recommends the award of this as providing the best overall value to the City.

The City is authorized to purchase from a cooperative purchasing program with another local government or a local cooperative organization pursuant to Chapter 791 of the Texas Government Code and Section 271 Subchapter F of the Local Government Code; and by doing so satisfies any State Law requiring local governments to seek competitive bids for items.

Wylie Agreements #W2022-14-I / Sheriffs Association of Texas Contract # 22-03-1008

Financial Summary/Strategic Goals



Wylie City Council

AGENDA REPORT

Department: Purchasing **Account Code:** 100-5211-56510
Prepared By: Glenna Hayes

Subject

Consider, and act upon, the approval of the purchase of Chevrolet vehicles for the Police Department in the estimated amount of \$214,403 from Reliable Chevrolet through a Sheriff's Association of Texas cooperative purchasing, and authorizing the Interim City Manager to execute any necessary documents.

Recommendation

Motion to approve Item as presented.

Discussion

Due to projected price increases and ordering deadlines set by General Motors, the Wylie Police Department submitted a mid-year budget amendment in the amount of \$217,500 to purchase GM Model Year 2023 Tahoe PPV/2WD units (qty 5) and a Traverse (qty 1). This amendment was approved by the City of Wylie City Council on April 12, 2022, and quotes were obtained from Reliable Chevrolet utilizing a cooperative contract with the Sheriff's Association of Texas.

Staff recommends approval of this item as providing the best overall value for the City. The City is authorized to purchase from a cooperative purchasing program with another local government or a local cooperative organization pursuant to Chapter 791 of the Texas Government Code and Section 271 Subchapter F of the Local Government Code; and by doing so satisfies any State Law requiring local governments to seek competitive bids for items.

Wylie Agreements #W2022-14-I / Sheriffs Association of Texas Contract # 22-03-1008

Financial Summary/Strategic Goals



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Tabled from 03-08-2022

Remove from table and consider

Hold a Public Hearing, consider, and act upon, a change in zoning from Agricultural District (AG/30) to Planned Development - Single Family (PD-SF) to allow for single family residential development on 47.2995 acres generally located on Country Club Road approximately 2000' south of Parker Road (ZC 2022-02).

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: Fred Monroe for Monroe Estate

APPLICANT: Skorborg Company

The applicant is requesting a change in zoning from AG/30 to PD/SF to allow for 113 single family homes, a ~16-acre City park, and ~2.5 acres of commercial frontage on a total of 47.3 acres generally located on Country Club just north of Smith Elementary.

Based on feedback received during recent Planning and Zoning and City Council meetings, at which this item was tabled, the applicant increased the minimum residential lot size from 5,000 to 7,000 sq. ft. (80 lots) or 9,000 sq. ft. (33 lots) and reduced the number of lots from 150 to 113. The commercial property increased from 2.0 to 2.5 acres and open space decreased by one acre due to residential lot layout differences. The applicant has also proposed or resolved solutions to issues that dealt with lake water rights, utility water service, and emergency access.

Home sizes are a minimum 1,800 sq. ft. (20% of total lots) with a minimum 50% of the homes being 2,200 sq. ft. or larger.

The proposal includes a dedication of approximately 16 acres of parkland and \$300,000 worth of park improvements that has the recommendation of the Parks Board. The request includes a ¼ mile of 8' wide trail in addition to a playground and accessories such as benches and trash receptacles. It also includes the draining of the on-site lake prior to development to avoid any water rights issues with the City of Dallas.

The property is currently within the City of Parker's service area (CCN) for utility water service; however, Parker and Wylie have an agreement that allows Wylie to supply water to this property.

Currently, the property does not have a second point of emergency access due to the lack of a platted easement at Smith Elementary. PD Conditions require the developer to acquire an access easement prior to construction.

The surrounding properties to the north, east, and west are a mix of residential and commercial uses both in and outside of City limits. Properties to the south consist of an elementary school and community church. The proposal is in line with the land use of the Comprehensive Plan. The project faces Country Club Road which is a six-lane major thoroughfare. As the

project is in excess of 100 units a Traffic Impact Analysis may be required however other proposed developments of higher densities for this property concluded that Country Club currently has excess capacity.

A preliminary plat will be required should zoning be approved.

Notifications/Responses: Five notifications were mailed in accordance with state law; with no responses returned in favor nor in opposition to the request.

P&Z Commission Discussion

After acknowledging the work that the applicant and staff completed on making amendments in line with P&Z and Council discussions, the Commission voted 6-0 to recommend approval with additional parking added for use with the public park.

Financial Summary/Strategic Goals

Planning Management

Locator Map

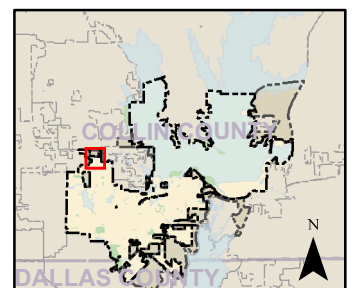


ZC 2022-02; Monroe Farms; 2301 FM 1378



Subject Property

0 270 540 1,080 1,620 2,160 Feet



PLANNED DEVELOPMENT STANDARDS

EXHIBIT “C”

MONROE FARMS

I. PURPOSE

Monroe Farms is a sustainable neighborhood with the intent to promote: (1) the natural features of the current landscape, (2) active public open space, and (3) high quality housing product that will make a beautiful and enduring community which upholds and enhances the quality of the surrounding environment. Monroe Farms strives to be a shining example of what Wylie has to offer.

The Neighborhood Service District, part of the Monroe Farms Planned Development, is a commercial development with the intent to promote convenient retail shopping, personal services, and/or professional offices serving the needs of Wylie residents. This commercial development strives to be a complementary component to the surrounding residential development and benefits Wylie, as a whole.

RESIDENTIAL

II. GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. Prior to or in conjunction with final platting, all “will-serve” letters for utilities and Certificates of Convenience and Necessity (CCN) shall be completed.
3. A final plat shall not be approved nor construction of utilities commence prior to the completion of a Conditional Letter of Map Revision (CLOMR). However, a mass grading permit shall be issued to perform necessary grading activities upon City staff approval of the flood study and grading plan. Upon substantial completion, all building permits shall be issued, but occupancy of any structure currently in the 100-year flood plain shall not be allowed until the completion of a Letter of Map Revision (LOMR).
4. All regulations of the Single Family 10/24 set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of 2021) shall apply except for the following:

Figure 3-4 - Planned Development – Single Family (PD – SF)	
Lot Size (<i>Minimum</i>)	
Lot Area (sq. ft.)	7000
Lot Width (feet)	60
Lot width of corner Lots (feet)	65
Lot Depth (feet)	100

Lot Depth of Cul-de-sac Lots (feet)	80 (<i>average depth of 105</i>)
Dwelling Regulations	
Minimum Square Footage	
Maximum of 20% of the lots	1800
Minimum of 30% of the lots	2000
Minimum of 50% of the lots	2200
Design Standards Level of Achievement	See Section IV Design Conditions
Yard Requirements – Main Structures	
Front Yard (feet)	20
Front Yard of Cul-de-sac & knuckle Lots (feet)	15
Side Yard (feet)	5
Side Yard of Corner Lots (feet)	10
Rear Yard (feet)	10
Rear Yard of Cul-de-sac Lots (feet)	5
Lot Coverage	75%
Height of Structures	
Main Structure (feet)	36
Accessory Structure (feet)	No Accessory Structures Allowed

III. SPECIAL CONDITIONS:

1. Maximum number of residential lots shall not exceed 120 lots.
2. Alleys shall not be required within the Planned Development.
3. All homes within the community shall have front entry garages.
4. J-swing garage entries shall not be required.
5. The second point of vehicular access into the development shall be located off the existing drive on the properties to the south and shall be gate restricted for emergency access only. The developer shall be responsible for securing access to off-site access drives and property prior to construction.
6. An approximately 15.9-acre Public Park shall be dedicated, along with improvements outlined in Exhibit “E”, to the City of Wylie in accordance with City’s Subdivision Regulations and approval by the City Council. All drainage, floodway, and utility easements will be determined with engineering plan approval.
7. Prior to issuance of a certificate of occupancy for any dwelling unit, Public Park improvements shall be installed.
8. A Homeowner’s Association (HOA) shall be established that will be responsible for maintenance of all perimeter fencing, screening, HOA open space lots, HOA common areas, and landscaping within HOA areas.

IV. DESIGN CONDITIONS:

A. Land Design Standards

1. A single loaded street shall be constructed adjacent to the dedicated public park.

2. There shall be a 40' buffer with a 6' decorative metal fence with masonry columns every 50' built along Country Club Road.
3. The single loaded street adjacent to the dedicated public park shall be a desirable provided in this section.

B. Street and Sidewalk Standards

1. No curvilinear streets shall be required in the Planned Development.
2. A stone monument identifying the subdivision shall be placed in Lot 1x Block A open space. The monument shall be made with more than one type/color of stone.
3. All crosswalks within the subdivision shall be 7' wide with distinctive striping connecting to a pedestrian sidewalk system with pedestrian ramps complying with the American with Disabilities Act.
4. A 5' sidewalk shall be required on both sides of public right-of-way throughout the subdivision.
5. A minimum 4' wide, dedicated lead walk, separate from a driveway, shall provide connection between each home and its driveway. This lead walk shall not connect to the street.
6. Mailbox clusters shall be provided in the subdivision with conformance with USPS and as generally depicted on the zoning exhibit.
7. Streetlights shall be placed on decorative poles every 350' on alternating sides of the street throughout the subdivision.
8. Two or more different types/color of stone on the subdivision monument shall be a desirable provided in this section.

C. Architectural Standards

1. At least 20% of the façade shall be offset a minimum of 1' either protruding from or recessed back from the remainder of the façade.
2. The minimum masonry percentage shall be 85% overall. The remaining 15% shall be cementitious fiber cement material.
3. 2nd story front elevation set back over brick shall be allowed with cementitious fiberboard.
4. A front-facing hip roof which faces the street, and which comprises greater than 35% of the total width of a home's façade shall be broken up with dormers or other architecturally compatible appurtenances.
5. Each single-family residential unit shall have a combined patio and/or porch total covered area of a minimum of 150 total square feet of floor area.
6. Minimum of 8:12 front elevation roof pitch on front elevations, except 3:12 roof pitches on porches/patios or dormers shall be allowed.
7. Architectural laminated shingles shall be used. 3-Tab Shingles shall be prohibited.

8. In order to encourage variety, the exterior facades of houses on the same side of the street shall vary within every 4 homes. The same exterior facade of home cannot be directly across the street from each other. When a home is constructed, the same combination of brick, stone, masonry-like materials, and paint shall not be used on other houses within four (4) lots on either side of that home.
9. Front entry garages that face the street shall be allowed.
10. Each garage shall be a minimum of 400 square feet.
11. Each garage shall incorporate at least two of the following architectural features:
 - a. Sconce lighting
 - b. Decorative banding or molding
 - c. Decorative overhangs above garage doors
 - d. Eyebrow soldier course over garage doors
 - e. Decorative brackets on garage doors
 - f. Columns flanking garage doors.
12. A minimum 6' high board on board cedar fence shall be built along the rear lot line of each residential lot by the home builder.
13. Each residential dwelling shall have sodded front, side, and rear with a minimum of 2 trees and 5 shrubs in the front yard.
14. Two desirables shall be provided in this section: an automated, subsurface irrigation system and board on board fencing.

COMMERCIAL

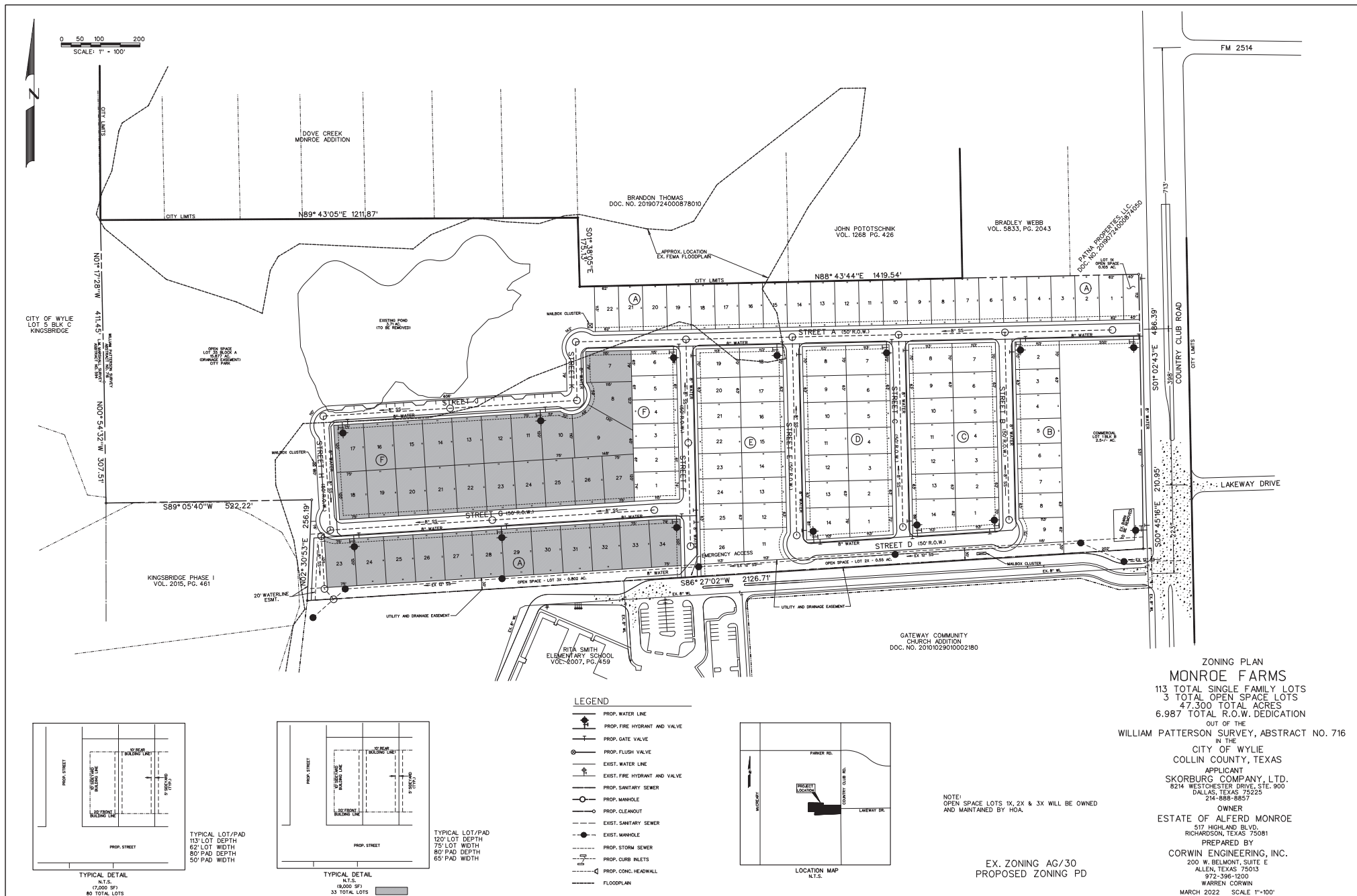
I. COMMERCIAL GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Neighborhood Service District (NS) set forth in Article 4, Section 4.1 of the Comprehensive Zoning Ordinance (adopted as of 2021) shall apply except for the following:

Figure 4-1 - Planned Development – Neighborhood Service (PD – NS)	
Height	
Height of Main Structure (feet)	35
Number of Stories	2
Residential Proximity	Combination of retaining wall and/or max 4:1 slope from residential lot line
Building Placement and Coverage	
Front Yard Setback (feet)	25
Side Yard Setback (feet)	10
Rear Yard Setback (feet)	10
Lot Coverage	45%
Buffering and Screening	
Nonresidential Use Adjacent to Single Family	Double Side & Rear Setback – 10' required landscaping w/ Screening
Nonresidential Use Adjacent to Multifamily	NA
Service and Loading Areas	Not visible from public street or adjacent residential uses

II. COMMERCIAL SPECIAL CONDITIONS:

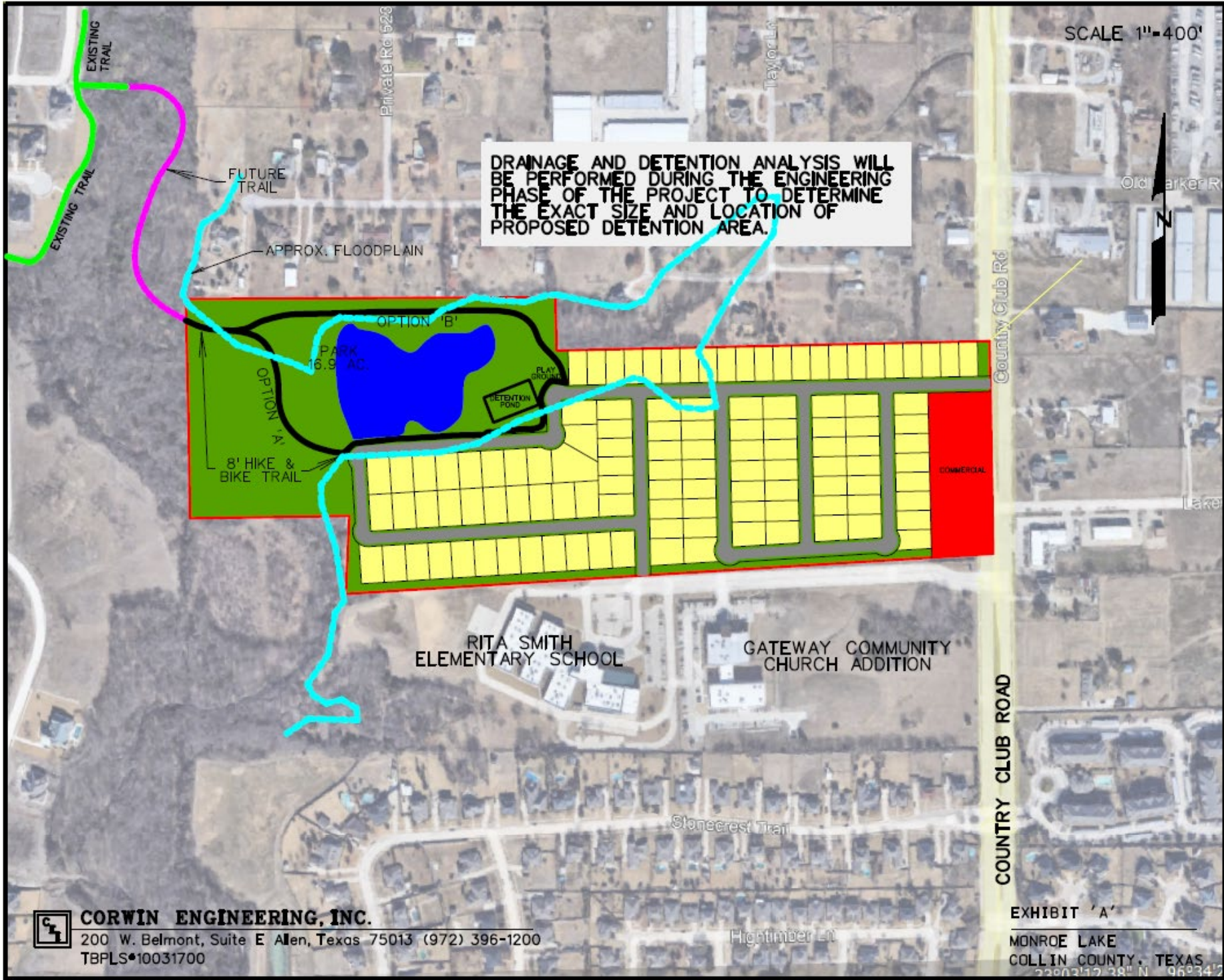
1. No site layout will be approved with this proposal nor is a development schedule proposed. Future site design shall be in accordance with the rules, regulations provided in the City of Wylie Zoning Ordinance, Subdivision Regulations, and Figure 4-1 of this PD.



**DEVELOPMENT SCHEDULE
EXHIBIT “D”
MONROE FARMS**

Parks Board Submittal.....	12/8/2021
Parks Board.....	12/13/2021
First Zoning Submittal.....	12/20/2021
Second Zoning Submittal.....	1/12/2022
City Council Work Session.....	1/25/2022
Planning and Zoning (Tabled).....	2/15/2022
Third Zoning Submittal.....	3/2/2022
Fourth Zoning Submittal.....	3/21/2022
Planning and Zoning.....	4/5/2022
City Council.....	4/26/2022
First Preliminary Plat Submittal.....	5/9/2022
Second Preliminary Plat Submittal.....	5/23/2022
Preliminary Plat Approval.....	6/28/2022
Plan Set Submittal.....	3Q2022
Break Ground.....	4Q2022

PUBLIC PARK IMPROVEMENTS
EXHIBIT "E"
MONROE FARMS



MONROE PARK & TRAIL COST PROJECTION							
Date: 3/21/2022							
DESCRIPTION	Quantity	UNIT	PRICE	TOTAL COST			
6" Concrete Hike and Bike Trail 8' Wide - 1,250 LF Max	10,000	SQ. FT.	\$ 6.50	\$	65,000		
6" Concrete Pads for Benches and Tables along Trail	500	SQ. FT.	\$ 6.50	\$	3,250		
Handicap Ramps	1	EA.	\$ 2,000.00	\$	2,000		
Low Water Crossing	1	EA.	\$ 15,000.00	\$	15,000		
Lake Draining and Dam Breach	1	EA.	\$ 40,000.00	\$	40,000		
Play Ground							
Playground Structure and Swing Set (Mulch Base)	1	EA.	\$ 65,000.00	\$	65,000		
Hardscape (Sidewalks, Pads, and Play Ground Border)	1	EA.	\$ 22,500.00	\$	22,500		
Playground Drainage	1	EA.	\$ 12,500.00	\$	12,500		
Park & Trail Improvements							
Picnic Table	2	EA.	\$ 2,000.00	\$	4,000		
Park Trail Bench	4	EA.	\$ 1,250.00	\$	5,000		
Trash Receptacle	4	EA.	\$ 1,250.00	\$	5,000		
Park Trail Milage Markers							
6" Posts	2	EA.	\$ 1,000.00	\$	2,000		
ID Placards	2	EA.	\$ 500.00	\$	1,000		
Installation	2	EA.	\$ 1,500.00	\$	3,000		
General Site Prep and Grading	1	LS.	\$ 20,000.00	\$	20,000		
Seeded Areas							
Bermuda Hydromulch for 8' Trail Buffer and Playground Area	4.0	AC.	\$ 3,500.00	\$	14,000		
Irrigation							
Irrigation Design and Install for Seeding	1	LS.	\$ 22,500.00	\$	22,500		
Irrigation Stamped Plan for Permit	1	LS.	\$ 1,500.00	\$	1,500		
TOTAL				\$	301,750		

PARK DEDICATION & IMPROVEMENTS

Date: 3-21-2022

Cost of Park Improvements (Trail and Playground)	\$	301,750
--	----	---------

Park Land Dedication	2.8	Acres
----------------------	-----	-------

Park Land Dedication in Flood Plain	13.1	Acres
-------------------------------------	------	-------

Total Park Land Dedication	15.9	Acres
----------------------------	------	-------

Total Park Land Dedication	15.9	Acres
----------------------------	------	-------

City Required Park Dedication	5.6	Acres
-------------------------------	-----	-------

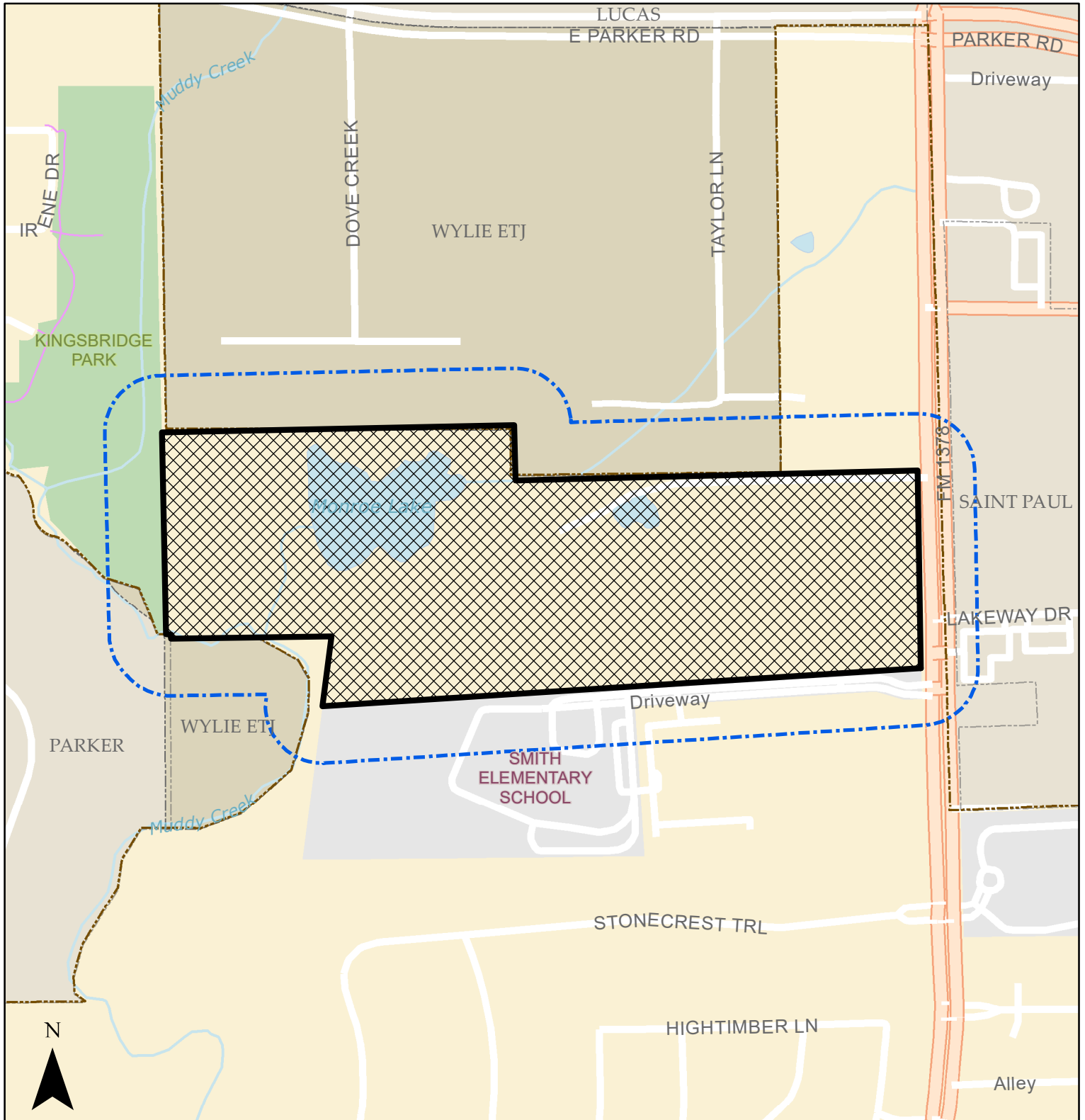
Total Park Land Dedication in Excess of Requirement	10.3	Acres
---	------	-------

Note:

Developer to install park and trail improvements

City to be responsible for water and maintenance upon completion of the improvements

Notification Map



ZC 2022-02; Monroe Farms; 2301 FM 1378

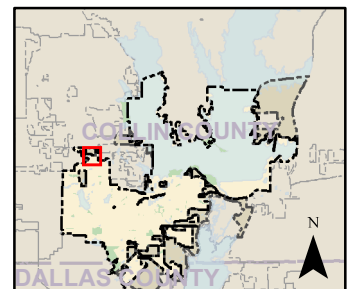


200 Foot Notification Buffer



Subject Property

0 230 460 920 1,380 1,840 Feet



MONROE FARMS

City Council

April 26, 2022



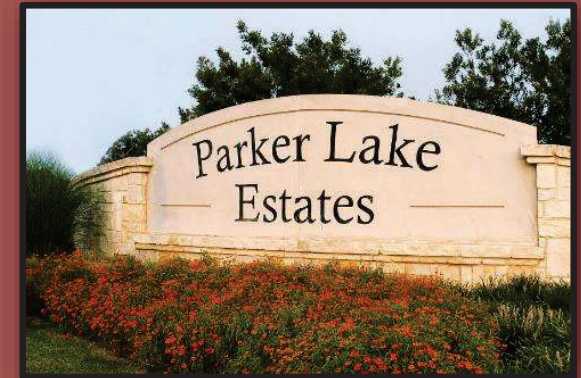
Contents

- Skorgburg Company Background
- Skorgburg Company Projects in Wylie
- Property Location
- Work Session Recap
- Future Land Use
- Original Proposed Zoning & Concept
- City Council's & P&Z Commissions Concerns
- New Proposed Zoning & Concept
- Park Dedication
- Representative Product

Skorburg Company Background

The Skorborg Company

- Local, privately owned development firm with 40 years of experience
- Over 120 development projects in more than 33 different cities around DFW metroplex
- Over 25 current projects in active development or build out
- Reputation for building high-quality, long-lasting communities
- Projects range from small, infill locations to 800-acre multi-phase master planned communities

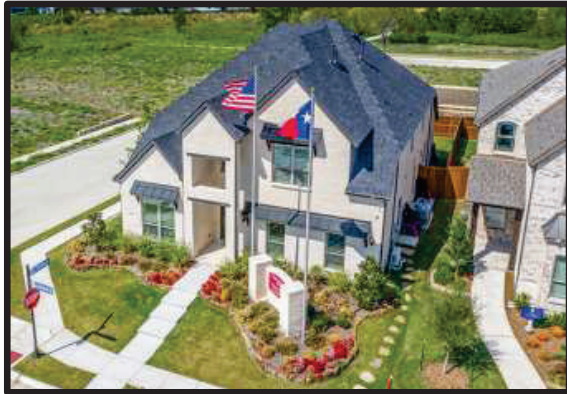


Skorburg Company Projects in Wylie

Skorburg Projects in Wylie

Birmingham Bluffs

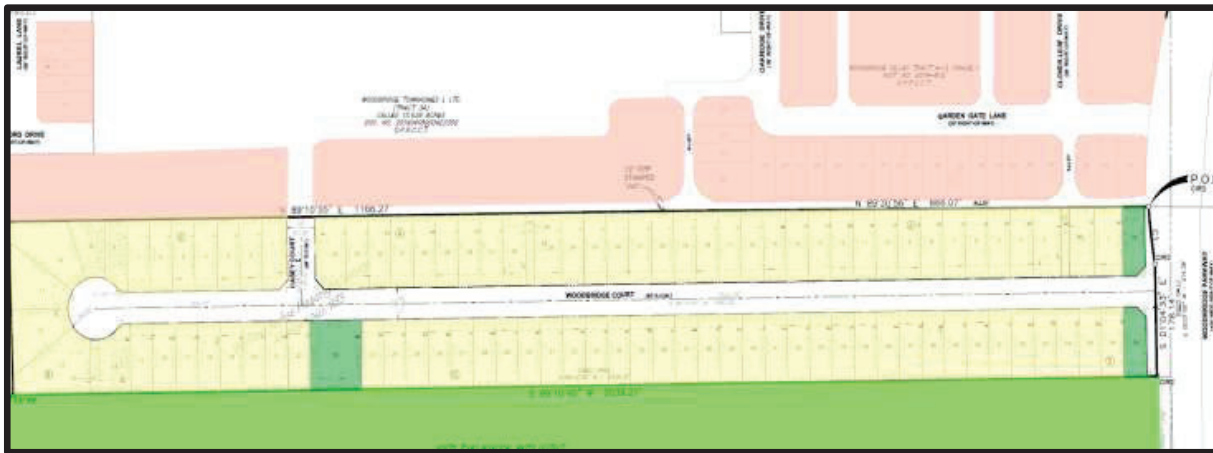
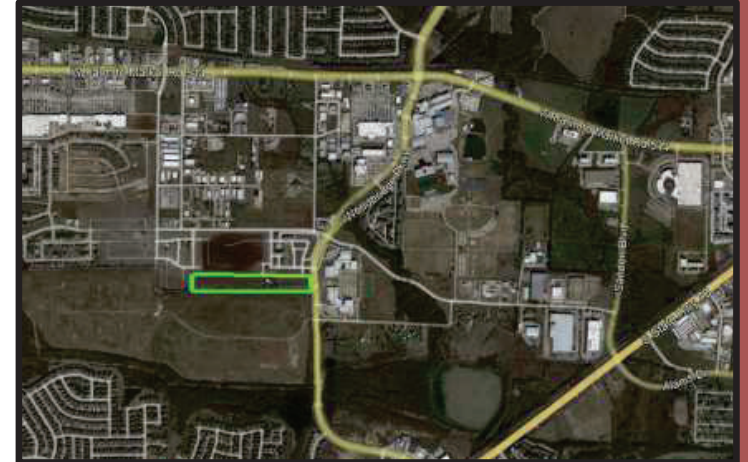
- 59 Home Single Family Development
- North Side of W. Brown St. & East of Country Club Rd.
- 5.3 Acre Park Dedication
- Similar Park Dedication Concept



Skorburg Projects in Wylie

Manors at Woodbridge

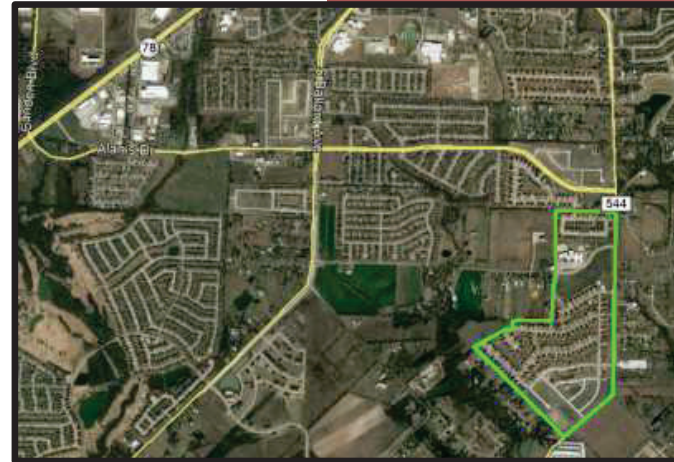
- 90 Home Single Family Development
- West of Woodbridge Pkwy & South of Hensley Ln
- Currently Under Construction



Skorburg Projects in Wylie

Braddock Place

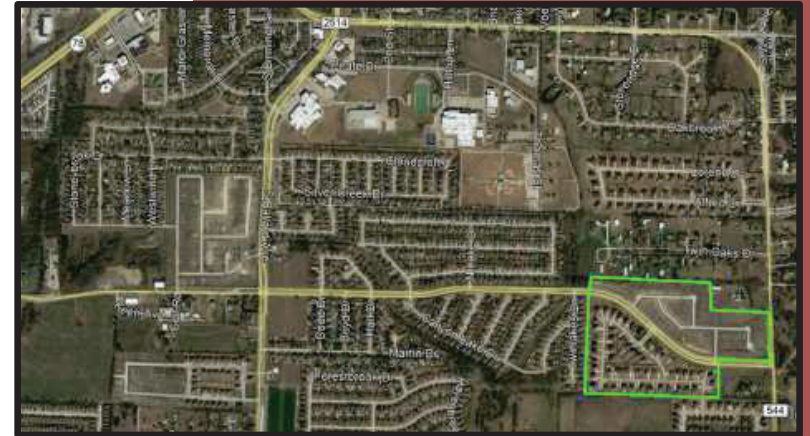
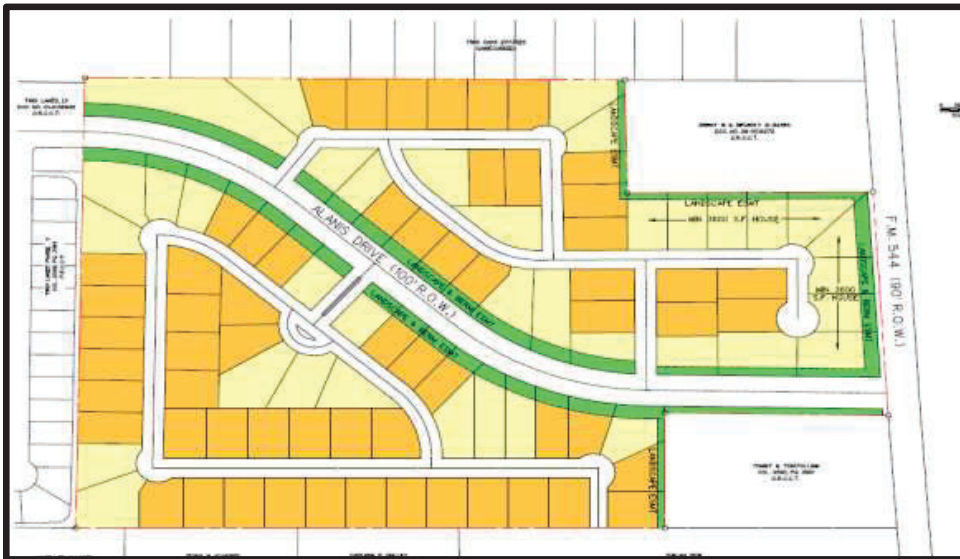
- 450 Home Master Plan
- West Side of FM 544 & South of Watkins Elementary
- Approx. 28 Acres of Park



Skorburg Projects in Wylie

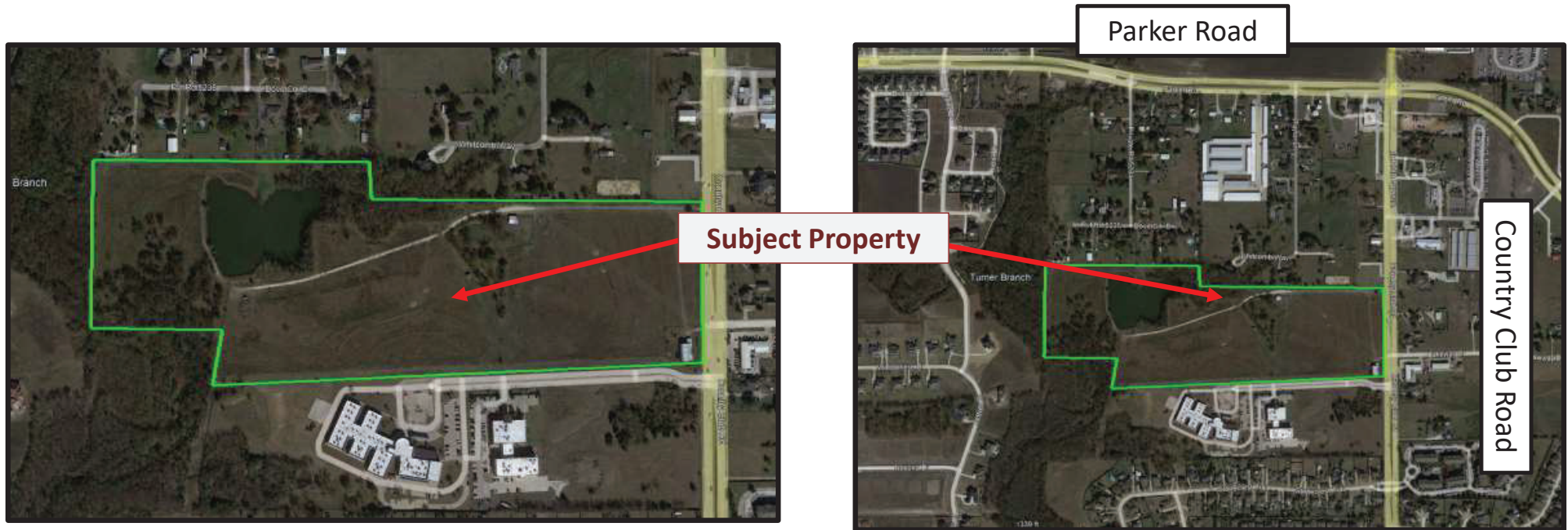
Alanis Crossing

- 97 Home Single Family Development
- West of FM 544 on Alanis Dr



Subject Property

Subject Property Location



Subject Property



- **Location:** West of Country Club Rd, North of Rita Smith Elementary School & Gateway Community Church
- **Size:** +/- 47.30 Gross Acres
- **Current Zoning:** AG/30

Work Session Recap

Work Session Recap

Work Session Recap

- Attended the 1/25 City Council Work Session & 2/15 P&Z Meeting

Topics:

- Proposed Zoning plan
- Park Dedication
 - Monroe Lake Solution
 - Parks and P&Z Approved Removal
 - Park Improvements
 - Parks Board Approval
- Water Service & CCN Exchange
- Secondary Access

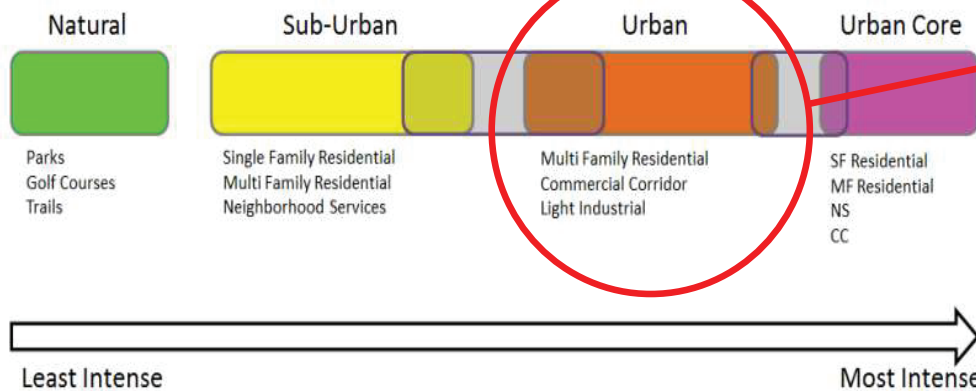
Future Land Use

Future Land Use



Figure 3.3

City of Wylie Comprehensive Land Use Plan



Original Proposed Zoning Plan

Original Proposed Zoning Plan

Monroe Farms – Original Proposed PD Zoning

- Presented at the 1/25 City Council Work Session & 2/15 P&Z meeting
- **Number of Units:** 146 Single Family Homes
- **Lot Size:** 50' x 110' (5,500 sf)
- +/- 2.09 Acres - Future Commercial
- +/- 16.9 Acres - Park



City Council's & P&Z Commission's Concerns

City Council's Concerns

City Council's Concerns

- ☐ Location of the Country Club Rd entrance too close to the School's entrance.
- ☐ Additional Commercial frontage along Country Club Rd.
- ☐ Lot Size. Would like to see bigger lots.

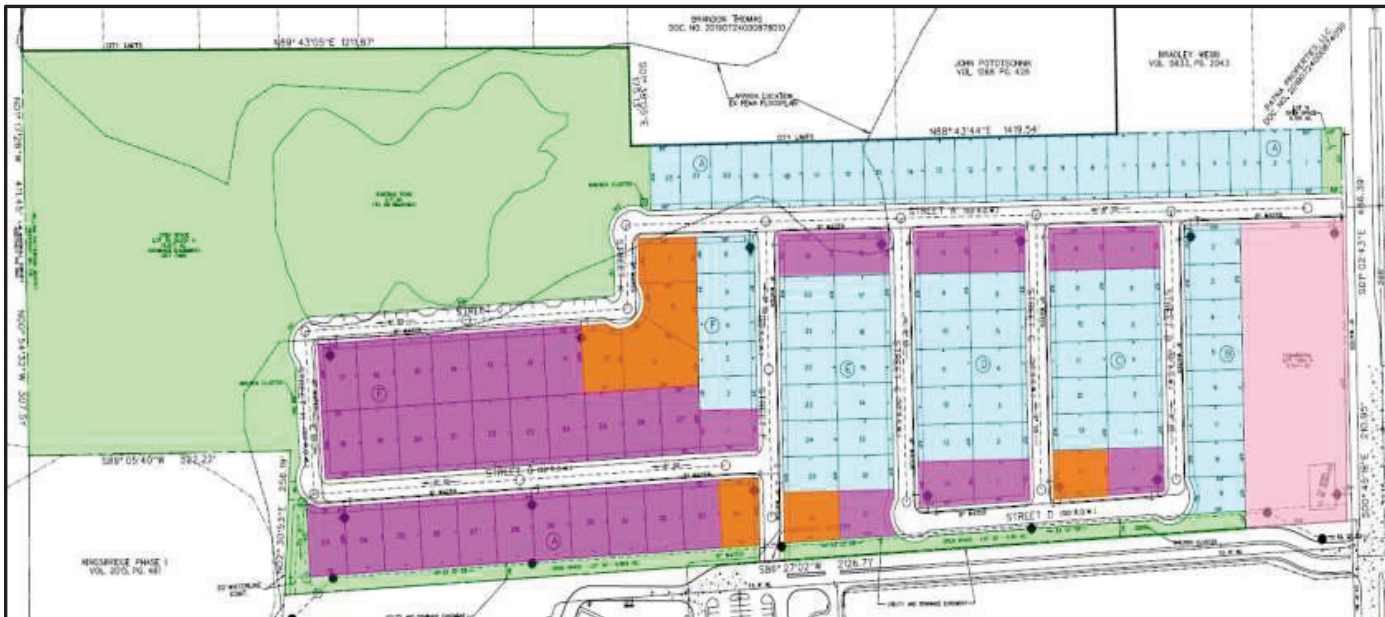
P&Z Commission's Concerns

P&Z Commission's Concerns

- ☐ Location of the Country Club Rd entrance too close to the School's entrance.
- ☐ Would like to see more 60' lots within the development.

New Proposed Zoning Plan

New Proposed Zoning Plan



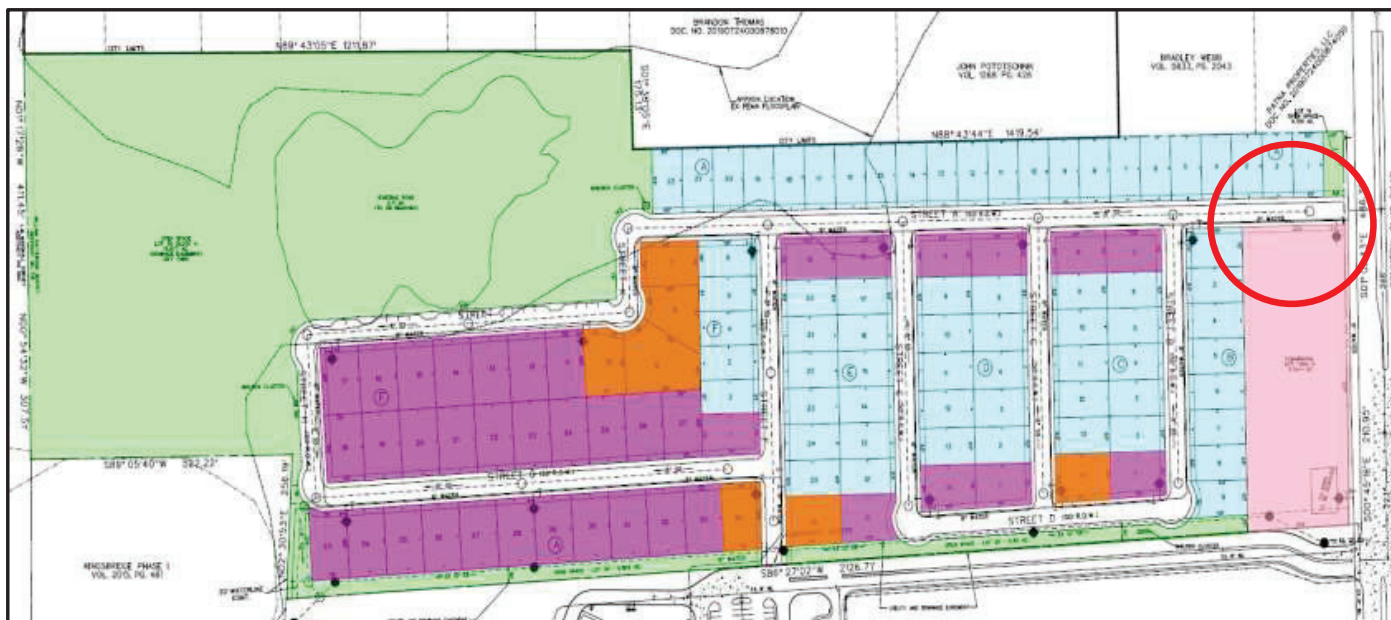
Lot Mix by Square Footage

- 67 (7,000 – 8,000 SF)
- 39 (8,001 – 9,000 SF)
- 7 (9,001 – 10,000 SF)

Monroe Farms – New Proposed PD Zoning

- **Number of Units:** 113 Single Family Homes
- **Typical Lot Size:**
 - 80 – 62' x 113' (7,000 sf)
 - 33 – 75' x 120' (9,000 sf)
- +/- 2.5 Acres - Future Commercial
- +/- 15.9 Acres - Park
- Approved by P&Z at the 4/5 meeting
 - With the addition of parallel parking along the park
 - Vote was unanimous 6-0

New Proposed Zoning Plan



City Council's & P&Z Commission's Concerns Addressed

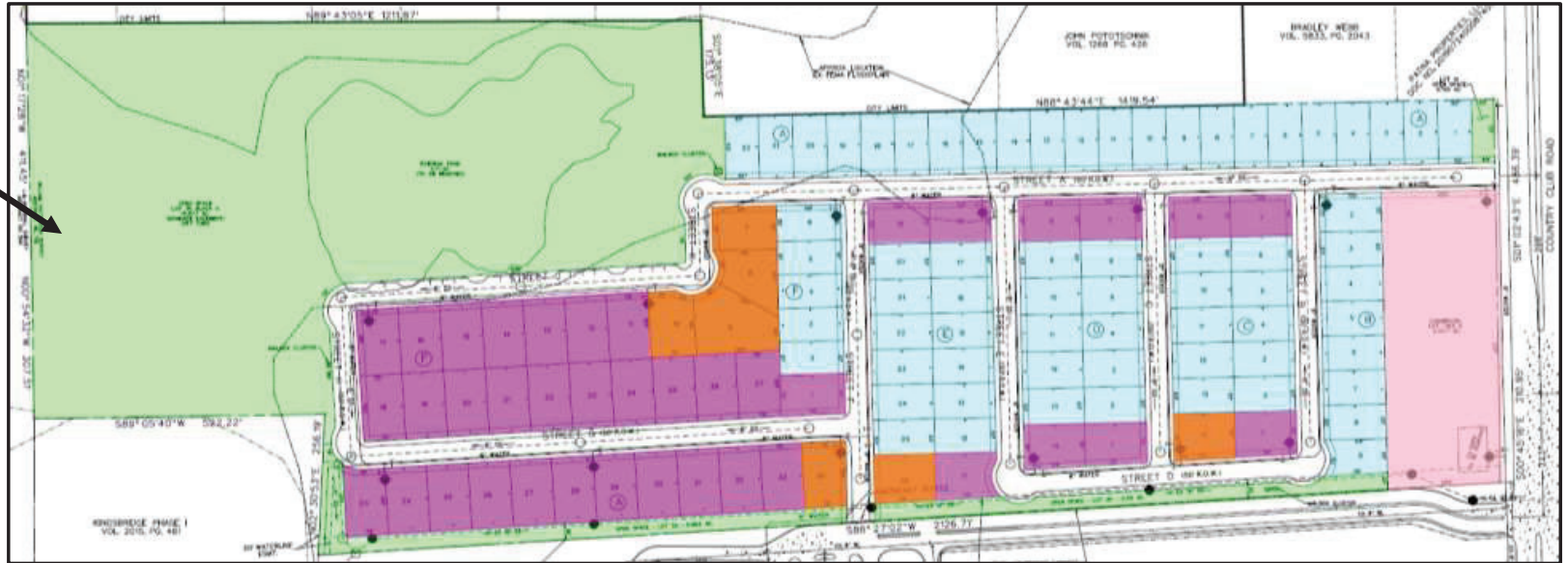
- ✓ Moved the Country Club Rd entrance north and shifted the commercial south.
- ✓ Provided additional commercial frontage along Country Club Rd.
- ✓ Increased lot size from all 50' lots to a mix of 62' & 75' lots.
- ✓ Reduced the lot count by 33 Lots.

NEW PLAN

113 Lots

- 67 (7,000 – 8,000 SF)
- 39 (8,001 – 9,000 SF)
- 7 (9,001 – 10,000 SF)

Increased Commercial
+/- 2.5 ac

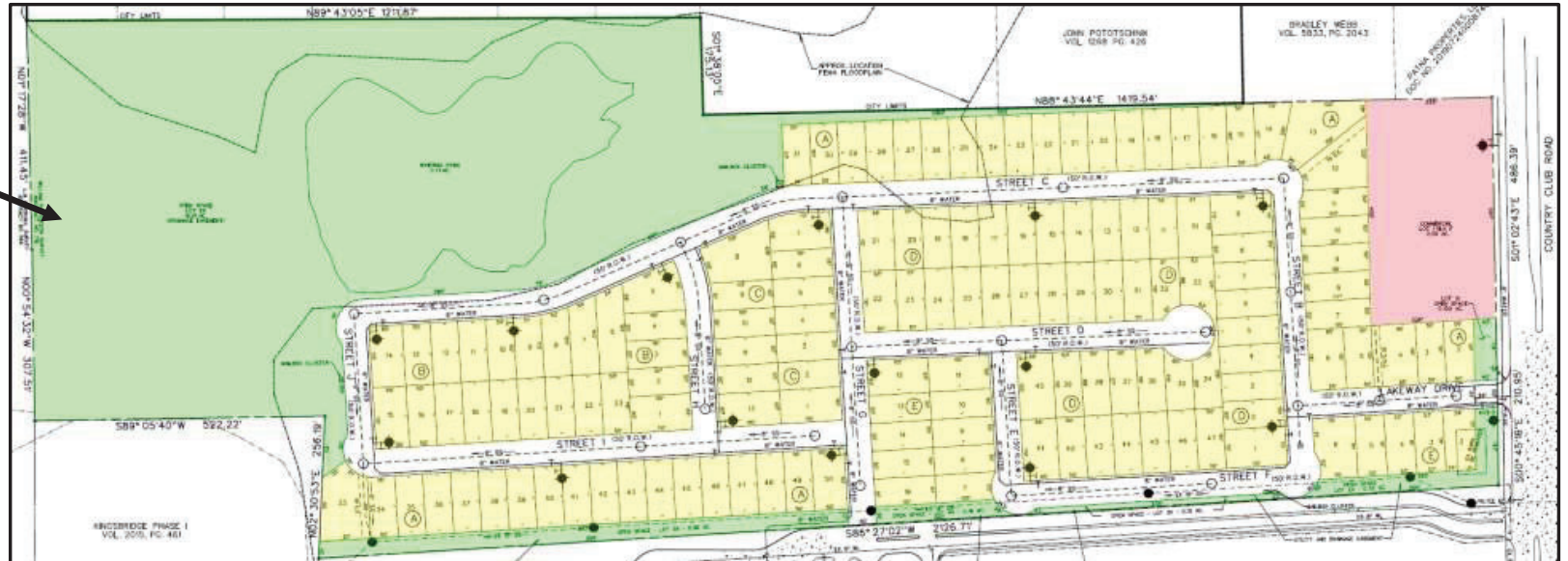


VS

OLD PLAN

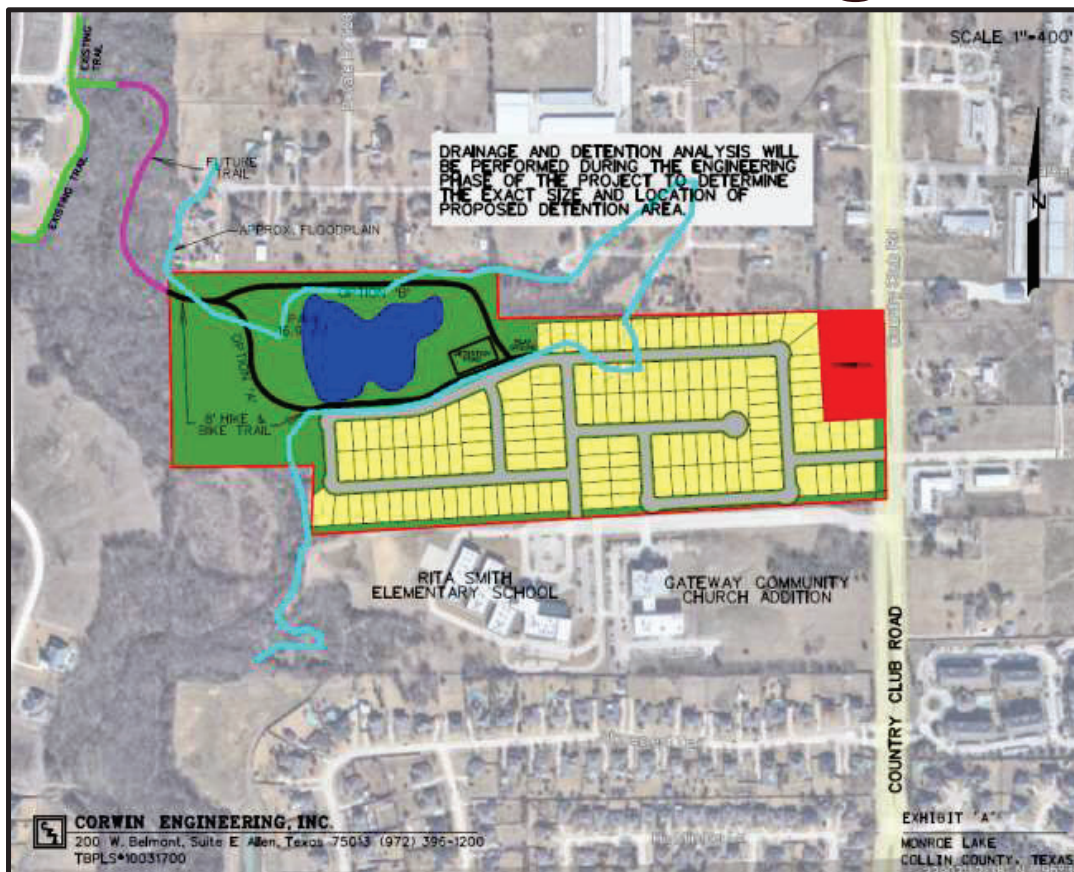
146 Lots
(5,500 SF)

Commercial
+/- 2 ac



Park Dedication

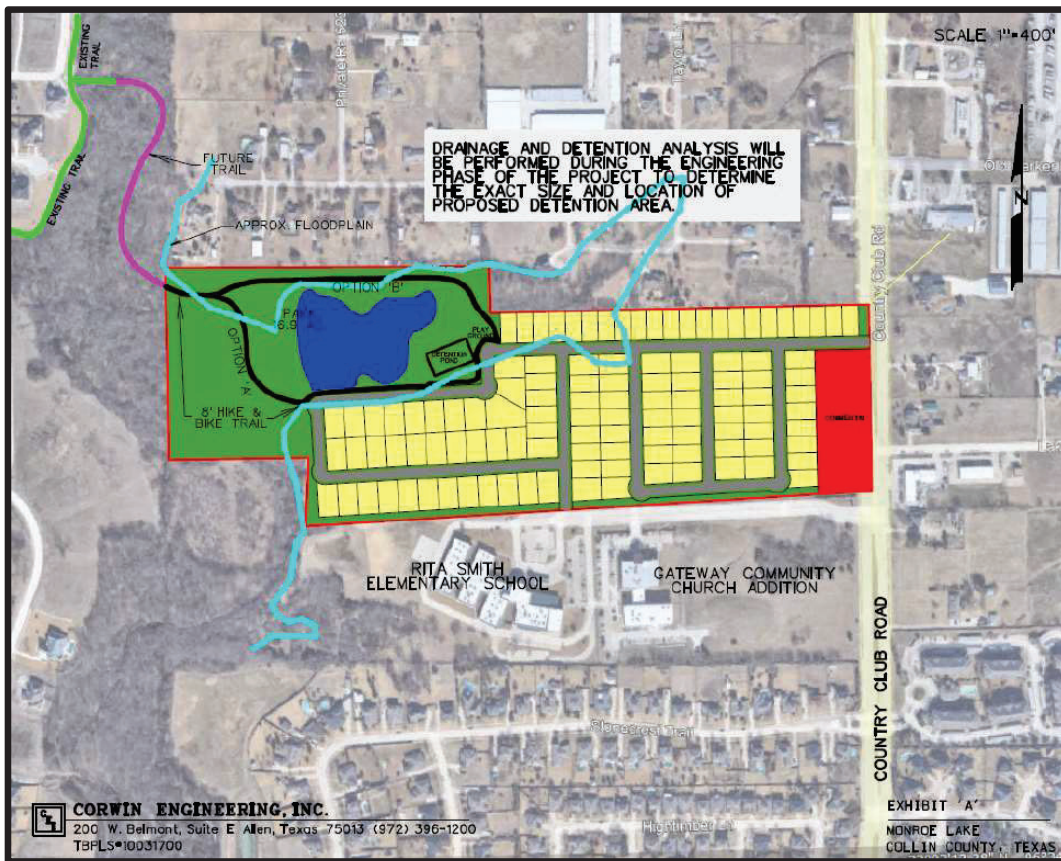
Parks & Recreation Board Meeting



Monroe Farms – Parks & Recreation Board Meeting

- Obtained Parks & Recreation Board Approval on December 13, 2021 for approximately 16.9 acres of Land and an estimated \$400,000 of improvements
- Vote was unanimous 7-0
- Discussion Points Approved at Meeting:
 - Improvements and Value of Improvements
 - Land Dedication
 - Removal of Monroe Lake
- Re-presented updated layout to Parks Board on 4/13

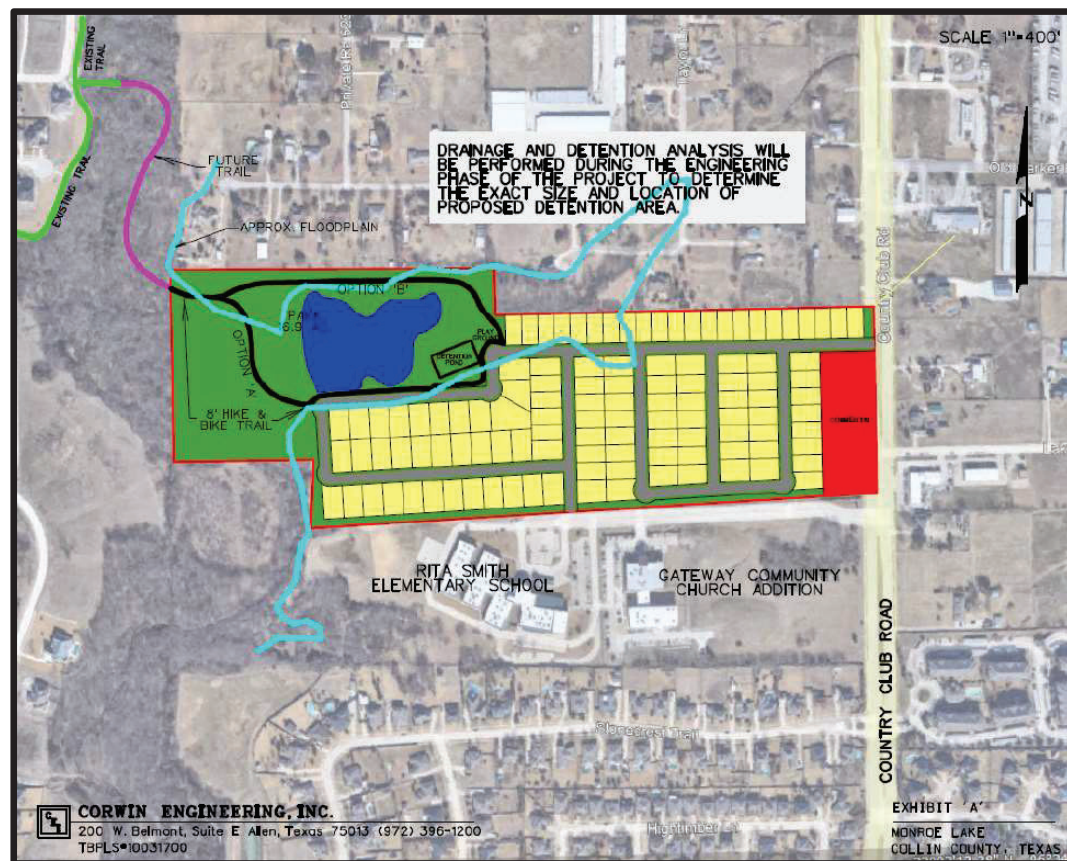
Parks & Recreation Board Meeting



Monroe Farms – Parks & Recreation Board Meeting

- Obtained Parks & Recreation Board Approval on April 13, 2021 for approximately 15.9 acres of Land, an estimated \$300,000 of improvements, and 18 parallel parking spaces.
- Vote was unanimous 4-0

Dedication and Improvements



Monroe Park Dedication and Improvements

- 45 Acre Development
- +/- 15.9 Acre Park
- 1250 LF of Hike and Bike Trail
- Trail Head and Markers
- Rest Areas
- Playground

Representative Product

Representative Product



Representative Product



Representative Product





END





Appendices

Proposed PD Zoning Request

	Monroe Farms
Lot Size (minimum)	
Lot Area (sq. ft.)	7,000
Lot Width (feet)	60
Lot width of corner Lots (feet)	65
Lot Depth (feet)	100
Lot Depth of Cul-de-sac Lots (feet)	80 <i>(average depth of 105)</i>
Dwelling Regulations	
Minimum Square Footage	
Maximum of 20% of the lots	1,800
Minimum of 30% of the lots	2,000
Minimum of 50% of the lots	2,200
Yard Requirements – Main Structures	
Front Yard (feet)	20
Front Yard of Cul-de-sac Lots (feet)	15
Side Yard (feet)	5
Side Yard of Corner Lots (feet)	10
Rear Yard (feet)	10
Rear Yard of Cul-de-sac Lots (feet)	5
Lot Coverage	75%
Height of Structures	
Main Structure (feet)	36'

Projected Price Points

Projected Price Points: Starting in the low \$500k's – mid \$600k's

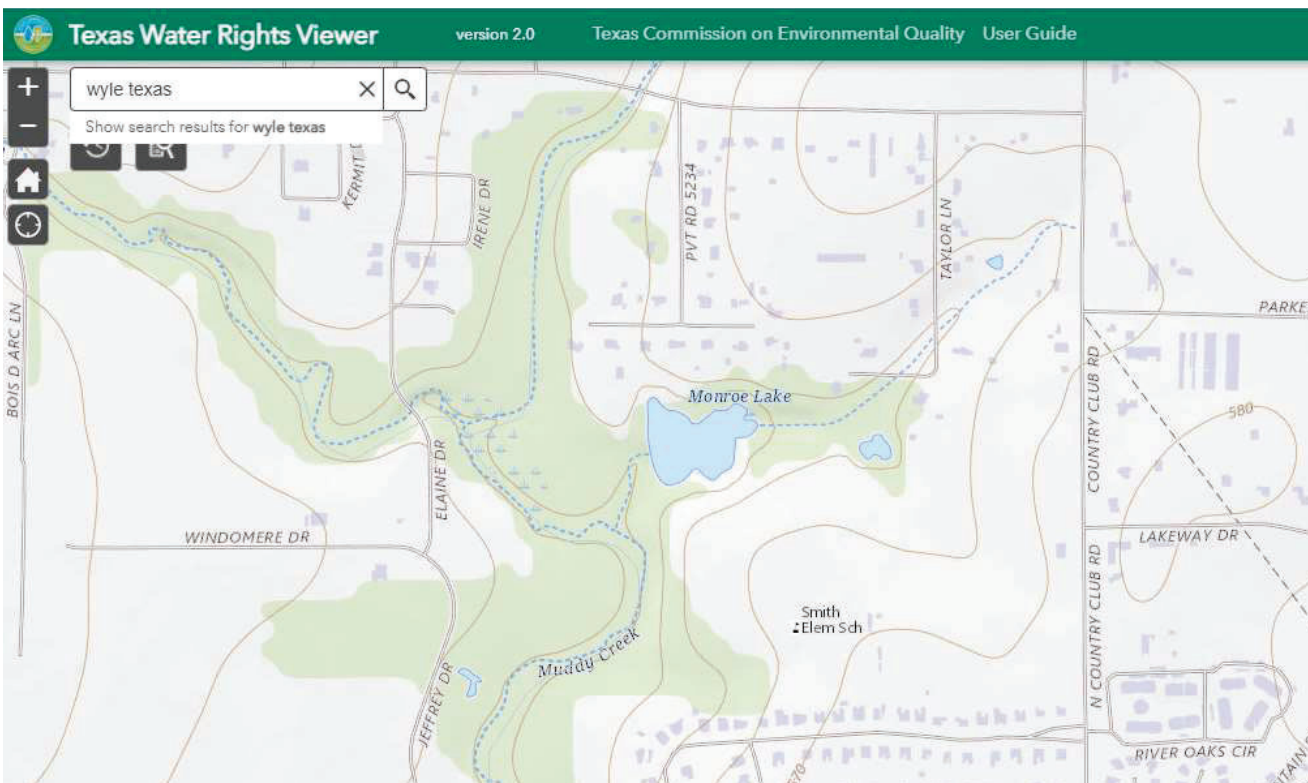
SQFT Range: Max of 20 % of the lots – 1,800 sf

Min of 30% of the lots – 2,000 sf

Min of 50 % of the lots – 2,200 sf

Monroe Lake

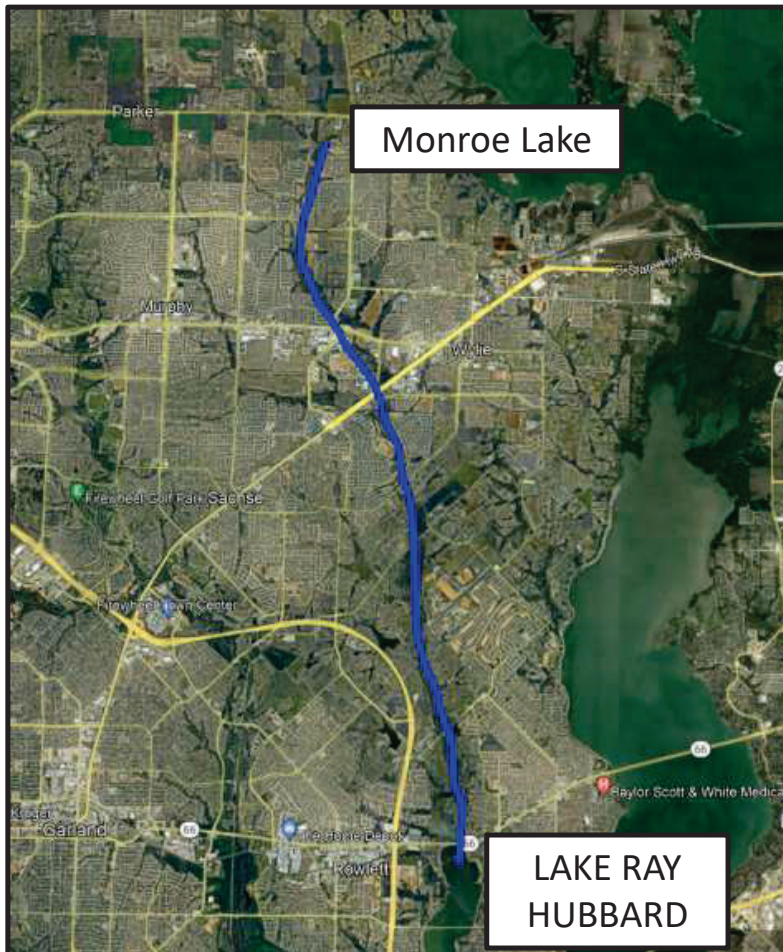
Monroe Lake History



Lake History

- Built in Mid-1950's
- Constructed by Alfred Monroe (Father of Current Land-Owners)
- Built for Water Source for Cattle
- According to his Children, Alfred Monroe had help with cost, engineering and design from Federal sources.

Water Impoundment Rights



Water Impoundment Rights

- Monroe Lake was Constructed Prior to City of Dallas having water Rights over the area
- If Property Changes Hands or Changes Use, Owner or New Owner Must Apply for Impoundment Rights

Water Impoundment Rights

Water Impoundment Rights

RE: Monroe Lakes Wylie Texas



Qualls, Denis <denis.qualls@dallascityhall.com>

To: John Arnold
Cc: Mike Gavin

Reply Reply All Forward

Wed 12/8/2021 4:08 PM



WATER SUPPLY PROTECTION White Paper.pdf
130 KB

Mr. Arnold:

Based on the information you have provided, it appears that the Monroe Lake would require a water rights permit form the Texas Commission on Environmental Quality (TCEQ). Assuming that the you pursue a water rights permit the City of Dallas, because the City has senior water rights below the Monroe Lake, will request special conditions in the water right permit to protect Dallas' senior water rights. Attached is a Water Supply Protection White Paper that describes several options for special conditions that have been approved in other water rights. The special conditions within the document are not an exhaustive list. Other special conditions can be proposed, which will be evaluated on a case by case basis.

An alternative to obtaining a water rights permit would be removing Lake Monroe. If it is decided to remove Lake Monroe, there are not specific issues with Dallas' water rights. However, I would be concerned how the removal takes place to insure sediment from the removal is not transported downstream to Lake Ray Hubbard.

Please let me know if you have any questions.

Denis Qualls, P.E.



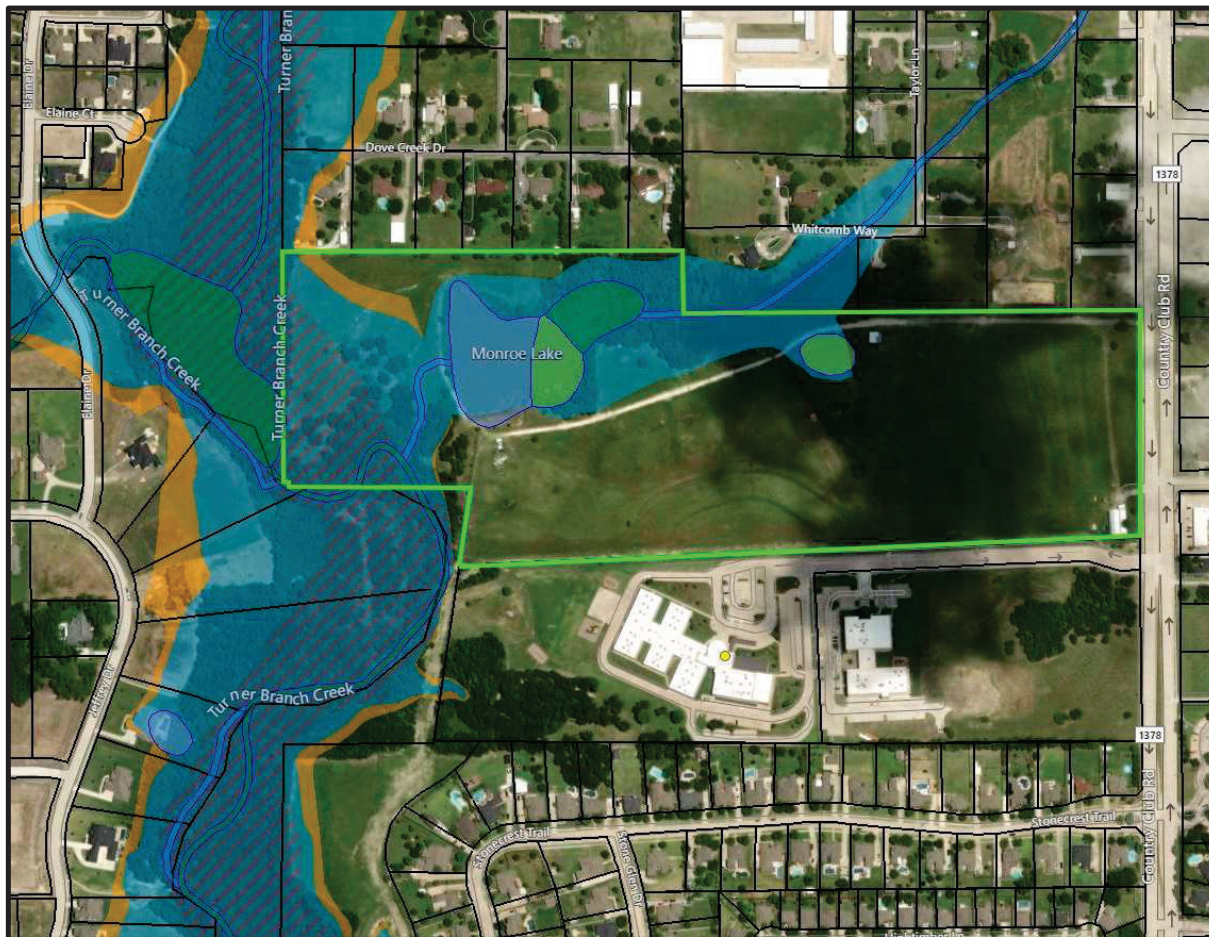
Denis W. Qualls, P.E., D. WRE.
Senior Program Manager, Planning
City of Dallas | DallasCityNews.net
Dallas Water Utilities
1500 Marilla Street, 4AS
Dallas, TX 75201
O: (214) 670-3843
denis.qualls@dallascityhall.com



****OPEN RECORDS NOTICE: This email and responses may be subject to the Texas Open Records Act and may be disclosed to the public upon request. Please respond accordingly.****

- The City of Dallas will Protest according to City of Dallas Senior Program Manager of Water and Utilities
- To satisfy City of Dallas's Protest, Lake Monroe must keep a constant level of water and be provided with a second source of water at all times.

Option 1 : Keep Lake



Monroe Lake Option 1:

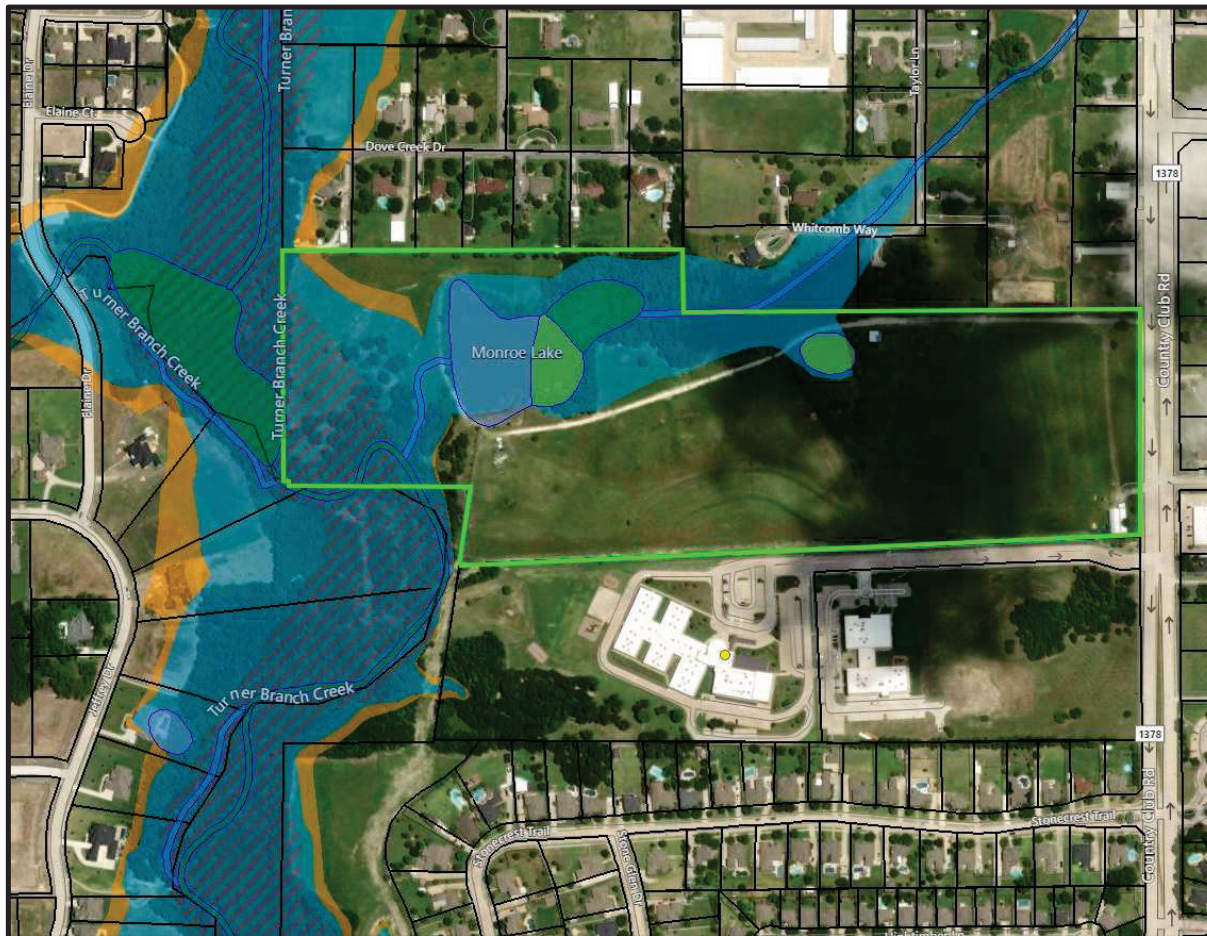
- Impoundment Process
- Legal Fees
- Dam Analysis
- Provide 2nd Water Source
 - NTMWD and Dallas Not Options
 - Drill Water Well
- Cost to Convert Lake
- Future Maintenance Cost

Cost to Convert & Maintain Lake

Estimated Cost to Convert (Average Depth Well)	2021 Estimated Cost
Design and Dam Analysis	\$30,000.00
3rd Party Consultant Fees (TCEQ and WOTUS)	\$15,000.00
Legal Fees	\$60,000.00
Dam Improvements	\$45,000.00
Cost To Drill Well 12,000' - 14,000' Depth	\$250,000.00
Irrigation Pump	\$15,000.00
Fountain	\$25,000.00
Water Level Control Device	\$15,000.00
Electricity (Fountain, Well, Water Level, and Irrigation)	\$22,500.00
Total	\$477,500.00

Similar Project Master Well Expenses (No Water Control Device)	2021	2020	2019	2018	2017	2016
Design, Legal, and Permitting						
Pump inspection and Repairs	24,424.48					
Minor Surface Repairs and Cleaning		2,100.00		6,700.77		
Maintenance						
Pump inspection and Repairs	24,424.48					
Minor Surface Repairs and Cleaning		2,100.00		6,700.77		
Average Water Bill Estimated	3,500.00	3,500.00	3,500.00	3,500.00	3,500.00	3,500.00
North Texas Groundwater District						
Electricity (Fountain, Well, and Irrigation)	24,000.00	22,203.29	28,419.11	20,614.44	28,280.35	21,063.82
Total	51,924.48	27,803.29	31,919.11	30,815.21	31,780.35	24,563.82
6 Year Average Cost	\$33,134.38					

Option 2 : Breach Dam

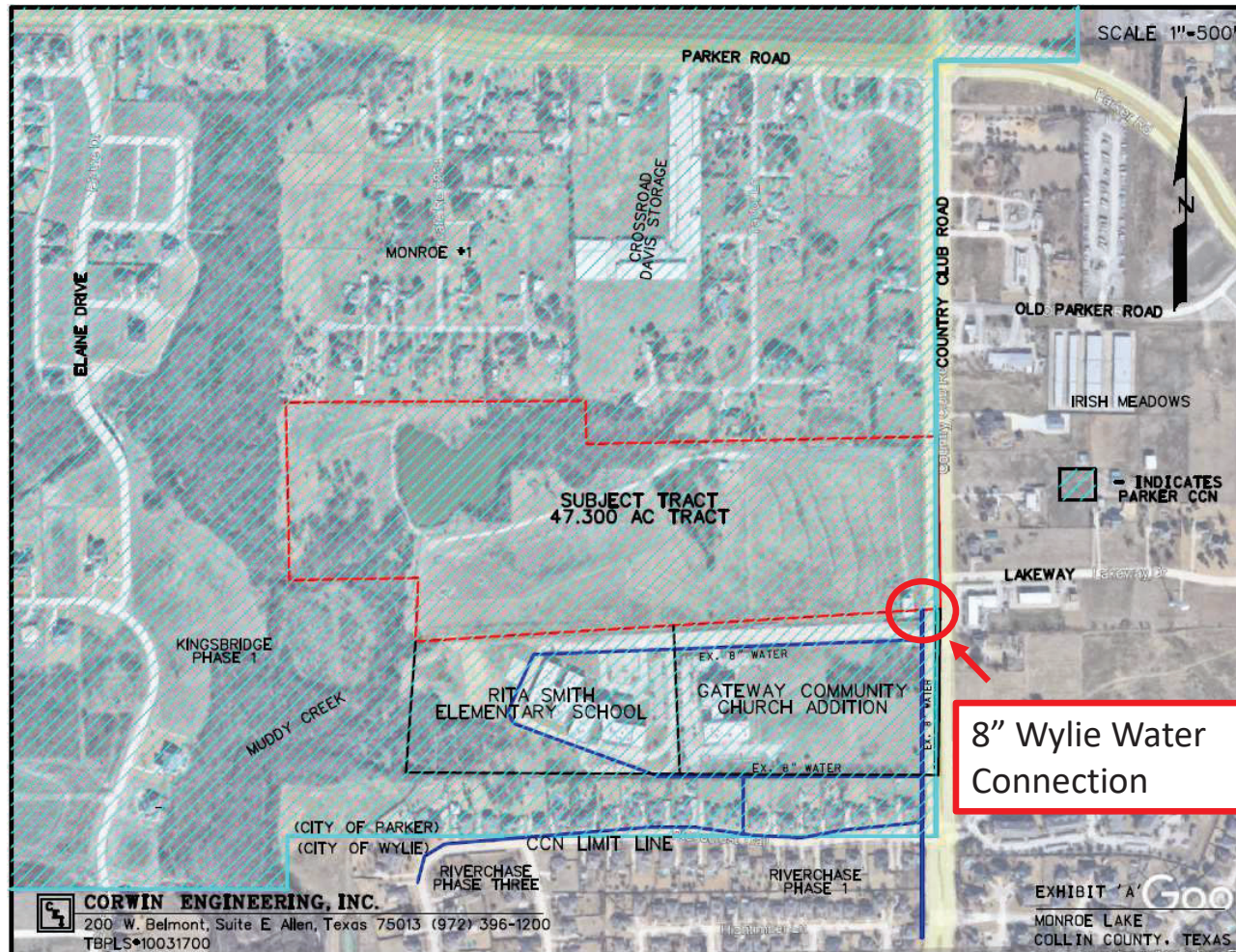


Monroe Lake Option 2:

- Park is dedicated immediately
- Avoid Legal Cost and Process
- Additional 3 acres of Land
- Conversion and Maintenance Savings
- No Risk of Fines from Breaching Impoundment Rules

Water Service & CCN Exchange

CCN SERVICE AREA

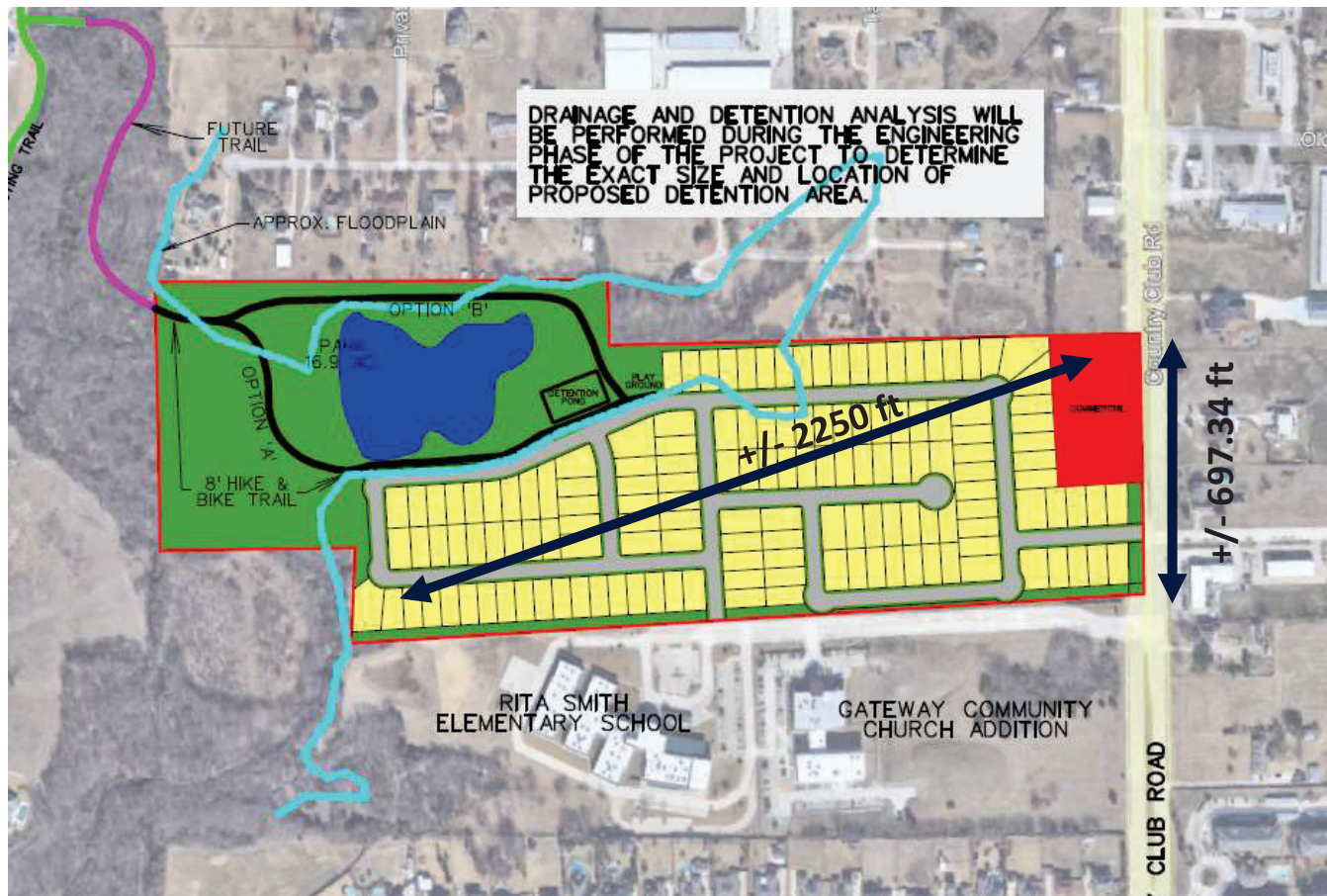


CCN SERVICE EXCHANGE

- Already servicing Rita Smith and Gateway Church
- Parker is billing per service agreement
- Connection is at Property Line
- City will get revenue from service
- Parker Staff presenting to Parker City Council on 2/1

Secondary Access

Secondary Access



Wylie Diagonal Rule

- The distance between the two subdivision access points must be at least half the distance of the longest diagonal line across the subdivision

Wylie ISD

RE: [EXTERNAL] Proposed Development of the Property North of Rita Smith Elementary School



Roderick, Scott <Scott.Roderick@wylieisd.net>

To: ● Neil Stenberg

Cc: ○ Watson, Nathan; ○ Whittle, Casey

You forwarded this message on 1/7/2022 12:56 PM.

Hi Mr. Stenberg,

The board of trustees has provided their feedback to the city on the development. We will defer to the City of Wylie on their recommendation of the project.

The development will not be on any future Wylie ISD board agendas for discussion.

If you have any questions, please feel free to contact me.

Thank you,

J. Scott Roderick, CPA
Assistant Superintendent for Finance and Operations
Wylie ISD

[951 S. Ballard Ave.](#)

[Wylie, Texas 75098](#)

972-429-3027

Scott.Roderick@wylieisd.net

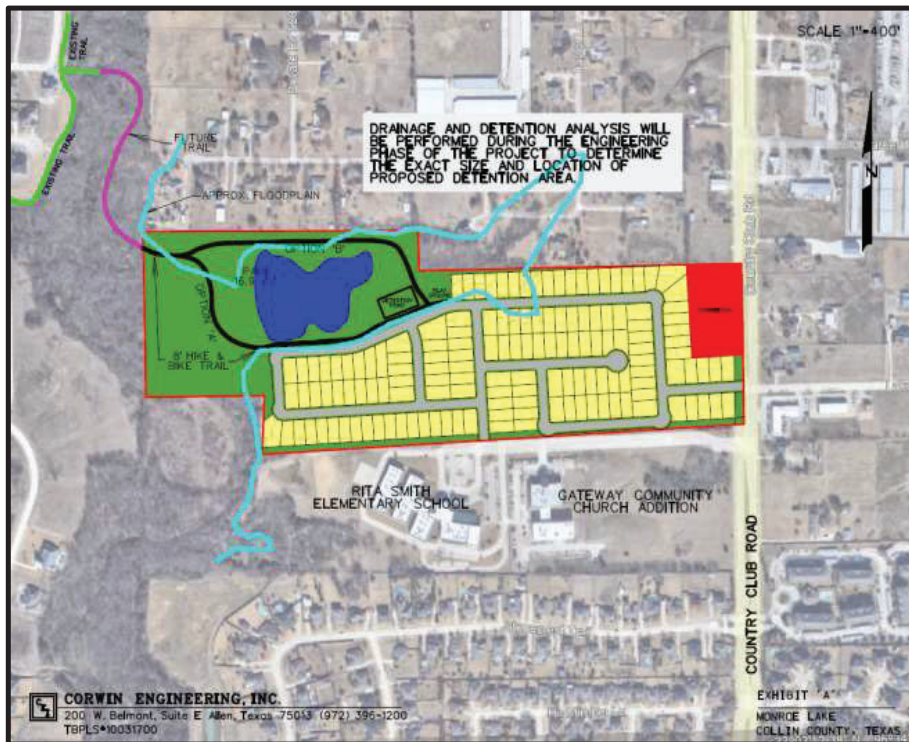
Reply Reply All Forward

Wed 12/15/2021 8:38 AM

Wylie ISD

- Had communication with Wylie ISD to allow a second point of access connected to their private drive
- The access point would be gate restricted for emergency vehicle access
- Pedestrian Access would be allowed to School and Monroe Park
- Wylie ISD gave us a preferred location, but we are still flexible
- Verbal from School that there are no capacity issues. However, we are in contact with Schools Demographer to have confirmation prior to City Council

Dedication and Improvements in Lieu of Fee



PARK DEDICATION & IMPROVEMENTS

Date: 3-21-2022

Cost of Park Improvements (Trail and Playground) \$ 301,750

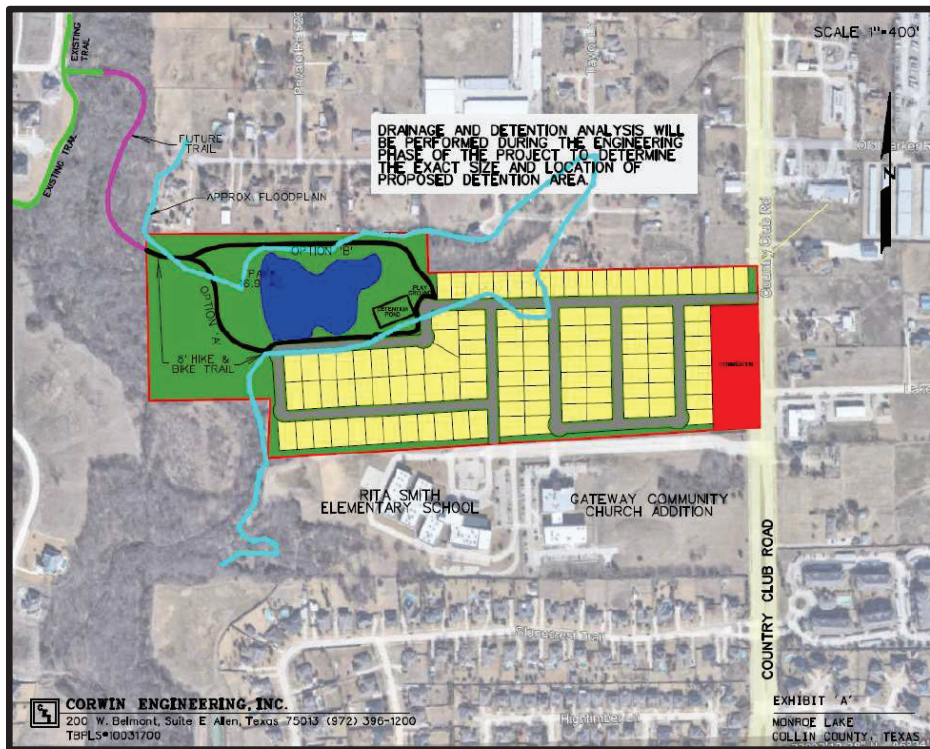
Park Land Dedication	2.8	Acres
Park Land Dedication in Flood Plain	13.1	Acres
Total Park Land Dedication	15.9	Acres
Total Park Land Dedication	15.9	Acres
City Required Park Dedication	5.6	Acres
Total Park Land Dedication in Excess of Requirement	10.3	Acres

Note:

Developer to install park and trail improvements

City to be responsible for water and maintenance upon completion of the improvements

Projected Improvement Value



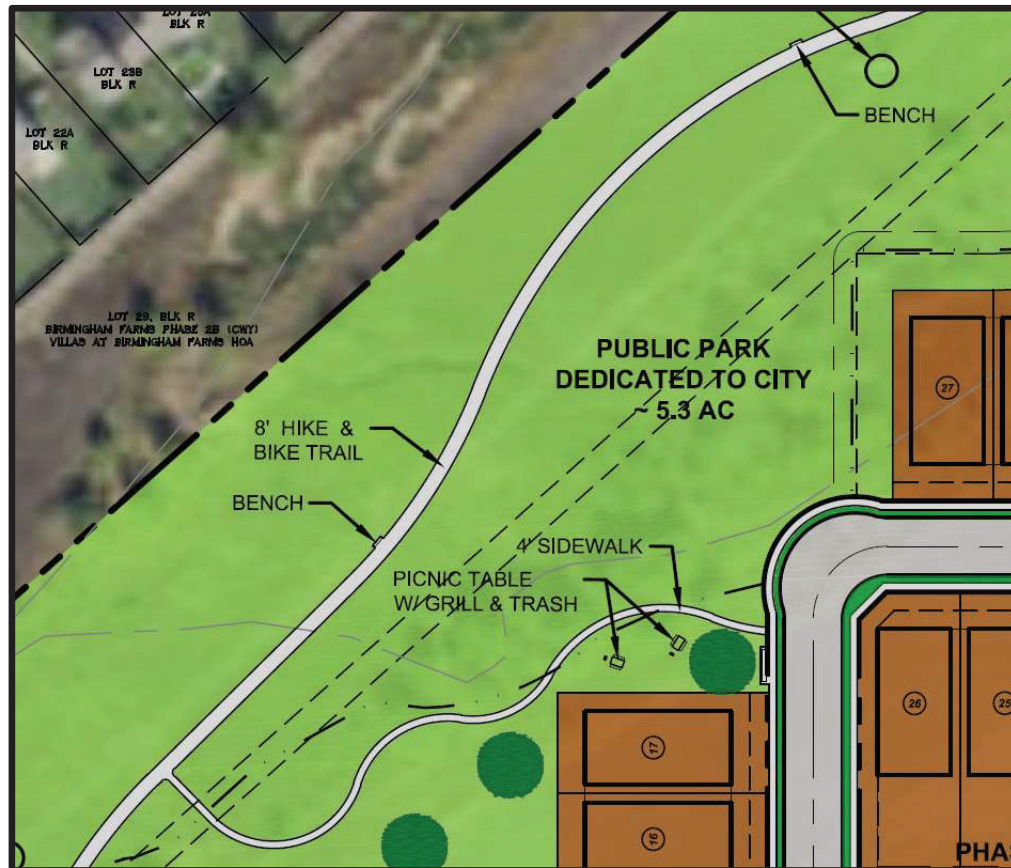
MONROE PARK & TRAIL COST PROJECTION							
Date: 3/21/2022							
DESCRIPTION	Quantity	UNIT	PRICE	TOTAL COST			
6" Concrete Hike and Bike Trail 8' Wide - 1,250 LF Max	10,000	SQ. FT.	\$ 6.50	\$ 65,000			
6" Concrete Pads for Benches and Tables along Trail	500	SQ. FT.	\$ 6.50	\$ 3,250			
Handicap Ramps	1	EA.	\$ 2,000.00	\$ 2,000			
Low Water Crossing	1	EA.	\$ 15,000.00	\$ 15,000			
Lake Draining and Dam Breach	1	EA.	\$ 40,000.00	\$ 40,000			
Play Ground							
Playground Structure and Swing Set (Mulch Base)	1	EA.	\$ 65,000.00	\$ 65,000			
Hardscape (Sidewalks, Pads, and Play Ground Border)	1	EA.	\$ 22,500.00	\$ 22,500			
Playground Drainage	1	EA.	\$ 12,500.00	\$ 12,500			
Park & Trail Improvements							
Picnic Table	2	EA.	\$ 2,000.00	\$ 4,000			
Park Trail Bench	4	EA.	\$ 1,250.00	\$ 5,000			
Trash Receptacle	4	EA.	\$ 1,250.00	\$ 5,000			
Park Trail Mileage Markers							
6" Posts	2	EA.	\$ 1,000.00	\$ 2,000			
ID Placards	2	EA.	\$ 500.00	\$ 1,000			
Installation	2	EA.	\$ 1,500.00	\$ 3,000			
General Site Prep and Grading	1	LS.	\$ 20,000.00	\$ 20,000			
Seeded Areas							
Bermuda Hydromulch for 8' Trail Buffer and Playground Area	4.0	AC.	\$ 3,500.00	\$ 14,000			
Irrigation							
Irrigation Design and Install for Seeding	1	LS.	\$ 22,500.00	\$ 22,500			
Irrigation Stamped Plan for Permit	1	LS.	\$ 1,500.00	\$ 1,500			
TOTAL				\$ 301,750			

Birmingham Park Dedication

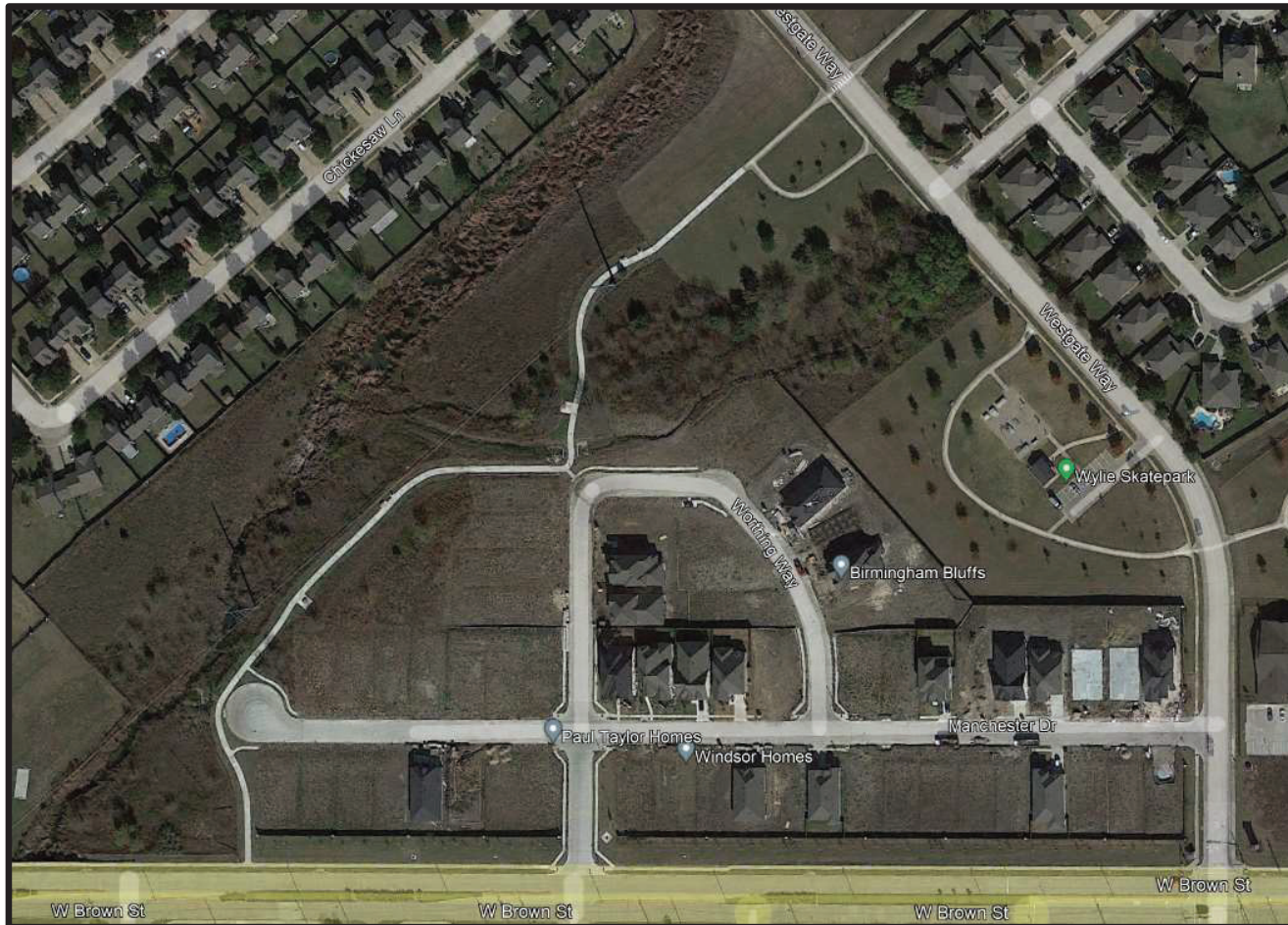


- 5.3 Acres of Dedication
- Developer to Build and Pay for 8' Trail Connection and Improvements
- Proposed Estimated \$144,000 Improvements in Lieu of \$118,000 Park Fees
- Unanimous Parks Board Recommendation of Approval 11/13/2017

Birmingham Park Dedication



Birmingham Park Final Trail Layout





Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a restaurant with drive-thru on 1.02 acres, property located at 2020 N. State Highway 78 (ZC 2022-07).

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: KAPP Commercial

APPLICANT: Brandon Kublanow

The applicant is requesting a Special Use Permit (SUP) on 1.02 acres located at 2020 N. State Highway 78 Lot 1R-5, Block C of Woodlake Village for a restaurant with drive-through service as required by the Zoning Ordinance.

The proposal includes a new 2,490 square foot structure for a Hwy 55 Burgers, Shakes, and Fries. The structure is proposed to have an exterior that consists primarily of stucco. Canopies are also provided at the main entrance and drive-through windows. The development also provides an outside seating area.

The development is to be accessed from State Highway 78 and provides cross access to the adjacent north, west, and east properties. The development provides 33 parking spaces with two being ADA accessible. Nine of the parking stalls have a grasscrete surface due to the site exceeding the maximum allowed parking, which is defined as 25% or more over the required minimum.

The site provides 20% landscaping with a 10' landscaped buffer and sidewalks along State Highway 78.

The surrounding properties are zoned Commercial Corridor and have existing commercial uses such as a car wash, retail and restaurant, and minor auto repair. There are three drive-thru restaurants within ½ mile that have approved site plans (Panda Express, Taco Casa, and Fuel City), but none have begun construction. The site is located in the General Urban Sector of the land use map and is consistent with the existing surrounding development and land use classification of the comprehensive plan.

The applicant has requested the Special Use Permit approval act as the Site Plan approval for the development. As proposed, the site plan, landscape plan, or elevations meet all the requirements of the Zoning Ordinance.

Notifications/Responses: Seven notifications were mailed; with no responses returned in favor or in opposition of the request.

P&Z Commission Discussion

The Commission voted 6-0 to recommend approval.

Financial Summary/Strategic Goals

Planning Management

Locator Map

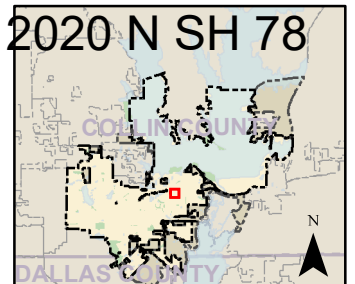


ZC 2022-07; Woodlake Village; "Hwy 55 Burgers..."; 2020 N SH 78



Subject Property

0 120 240 480 720 960 Feet



Hwy55 Burgers Shakes and Fries

EXHIBIT "B"

Conditions For Special Use Permit

I. PURPOSE:

The purpose of this Special Use Permit is to allow for a restaurant with drive-in or drive-through service use.

II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
2. The design and development of the Hwy55 Burgers Shakes and Fries development shall take place in general accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

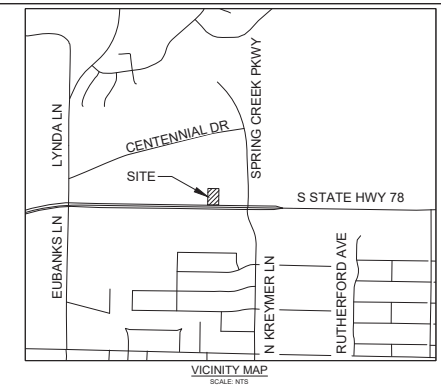
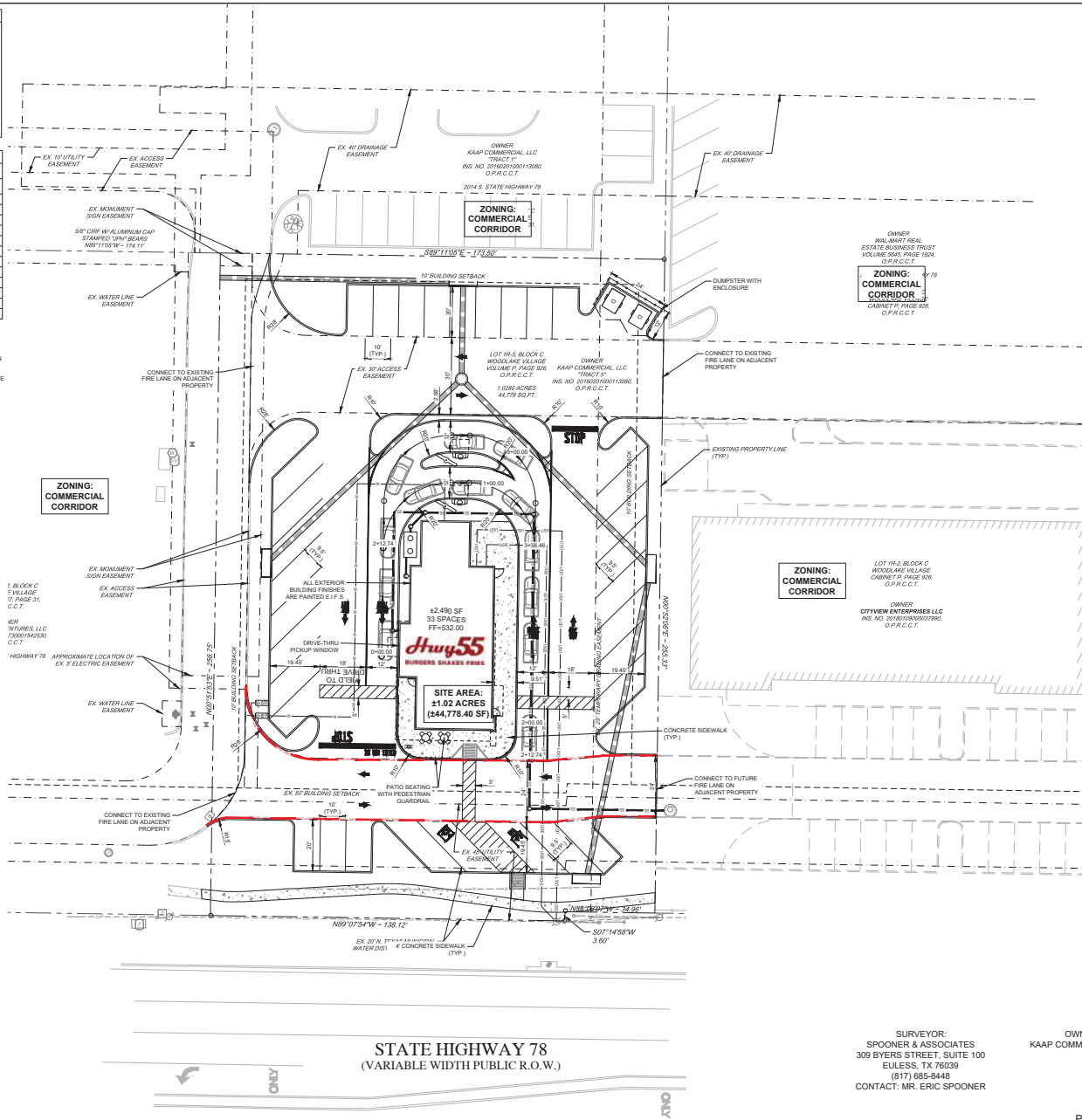
1. The Zoning Exhibit (Exhibit C) shall serve as the Site Plan for the Hwy55 Burgers Shakes and Fries Development. Approval of the SUP shall act as site plan approval.

LEGEND	
	SIDEWALK CONCRETE PAVING
	FIRE LANE STRIPING
	PROPERTY LINE
	PARKING COUNT
	PAINTED TRAFFIC ARROWS
	VEHICLE STACKING POSITION

SITE DATA	
ZONING	CC (COMMERCIAL CORRIDOR)
PROPOSED USE	RESTAURANT WITH DRIVE-IN / DRIVE THROUGH SERVICE
TOTAL LOT AREA	±1.02 AC.
MAXIMUM ALLOWABLE LOT COVERAGE	50%
PROPOSED LOT COVERAGE	49%
REQUIRED YARDS -	
FRONT	50 FT
SIDE	10 FT
REAR	10 FT
MINIMUM PARKING REQUIRED (1 PER 150 SF BUILDING AREA)	17 SPACES
MAXIMUM PARKING PROVIDED (125% OF REQUIRED)	21 SPACES
PARKING PROVIDED (SEE NOTE 3 BELOW)	33 SPACES

GENERAL NOTES:

- DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, DEPARTMENT OF HOMELAND SECURITY AND BY GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO BE LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN AS SHOWN ON MAP 480602402U, MAP REVISED JUNE 2, 2009, FOR COLLIN COUNTY AND INCORPORATED AREAS.
- ANY PARKING IN EXCESS OF THE ALLOWABLE MAXIMUM PARKING REQUIREMENT SHALL BE CONSTRUCTED WITH PERVIOUS PAVEMENT.



SPECIAL USE PERMIT EXHIBIT FOR HWY55 BURGERS, SHAKES AND FRIES

LOT 1R-5, BLOCK C OF WOODLAKE VILLAGE
NORTH STATE HIGHWAY 78
CITY OF WYLLIE, COLLIN COUNTY, TEXAS

STATE HIGHWAY 78
(VARIABLE WIDTH PUBLIC R.O.W.)

SURVEYOR:
SPOONER & ASSOCIATES
309 BYERS STREET, SUITE 100
EULESS, TX 76039
(817) 685-8448
CONTACT: MR. ERIC SPOONER

OWNER:
KAAP COMMERCIAL, LLC

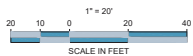
APPLICANT:
TRACK WEST PARTNERS
445 BISHOP ST. NW
ATLANTA, GA 30318
(770) 359-9636
CONTACT: MR. BRANDON KUBLANOW

PREPARED BY:
FORESITE
group
TBE Form No. F-12878
Foresite Group, LLC
1999 Bryan St.
Suite 800
Dallas, TX 75201
www.foresitegroup.com
CONTACT: DAVID NORRIS, P.E.

PREPARED: JANUARY 2022



Know what's below
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GENERAL LANDSCAPE NOTES:

1. WARRANTY: ALL PLANTS SHALL BE WARRANTED TO REMAIN ALIVE, HEALTHY, AND IN THRIVING CONDITION FOR A PERIOD OF ONE YEAR FROM FINAL ACCEPTANCE.
2. PLANTS SHALL MEET DOT SPECIFICATIONS AND AMERICAN STANDARD FOR NURSERY STOCK STANDARDS.
3. PLANTS SHALL BE SPECIMEN QUALITY. PLANTS SHALL BE SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF.
4. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO THE MAIN BODY OF THE PLANT AND NOT FROM BRANCH TIP TO TIP. IF A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE AS LARGE AS THE MAXIMUM SIZE SPECIFIED.
5. SHADE TREES SHALL BE STRAIGHT UNLESS OTHERWISE SPECIFIED.
6. PLANTS SHALL BE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE OF THE QUALITY AND ACCEPTABILITY OF MATERIALS AND PLACEMENT.
7. PLACE PLANTS UPRIGHT AND TURNED SO THAT THE MOST ATTRACTIVE SIDE IS VIEWED.
8. BE FAMILIAR WITH UNDERGROUND UTILITIES BEFORE DIGGING. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGE OF UTILITY LINES.
9. PROVIDE SHOVEL-OUT TRENCH AT SHRUB BEDS IN LAWN AREAS UNLESS OTHERWISE NOTED.
10. PROVIDE 3" THICKNESS MULCH AT ALL PLANTS AND PLANTING BEDS. MULCH MUST BE 3" THICK AT TIME OF FINAL WALK-THROUGH. MULCH IN SHRUB AND TREE PLANTING BEDS SHALL BE PINE STRAW UNLESS OTHERWISE NOTED. MULCH IN GRASSCOVER BEDS TO BE SPECIFIED HARDWOOD UNLESS OTHERWISE NOTED. MULCH SAMPLES TO BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. MULCH IS TO BE REPLACED AT CONTRACTOR'S OWN EXPENSE IF LAD PRIOR TO APPROVAL.
11. MAINTENANCE WORK SHALL BE PERFORMED UNTIL DATE OF FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE.
12. CONTRACTOR'S PRICES SHALL INCLUDE ALL LABOR AND MATERIAL NECESSARY TO COMPLETE THE WORK, I.E. MULCH, PLANTING, SOIL MIX, WOOD AND WIRE STAKING MATERIAL, ETC.
13. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWING SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE OWNER'S REPRESENTATIVE ASSUMES NO LIABILITY FOR OMISSION OR ERRORS. HIS ESTIMATES ARE ONLY AN AID FOR CLARIFICATION OF UNITS AND A CHECK FOR THE CONTRACTOR TO COMPARE WITH HIS OWN ESTIMATES. DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF OWNER'S REPRESENTATIVE. NO EXTRA COMPENSATION SHALL BE ALLOWED FOR EXTRA QUANTITIES NECESSARY TO COMPLETE THE WORK.
14. WHERE LANDSCAPING AREAS ADJOIN GRASSED RIGHTS-OF-WAY, SUCH AREAS SHALL BE CONSIDERED PART OF THE LANDSCAPING AREA FOR PURPOSES OF MAINTENANCE. AS OF COMPLETION OF SITE IMPROVEMENTS, THE PROPERTY OWNER SHALL HAVE AN IMPLIED EASEMENT OF THE RIGHT-OF-WAY EXTENDING FROM THE SITE TO THE ROAD PAVEMENT IN ORDER TO COMPLETE THE REQUIRED MAINTENANCE.
15. A MAINTENANCE INSPECTION OF TREES WILL BE PERFORMED AFTER TWO FULL GROWING SEASONS FROM THE DATE OF THE FINAL CONSTRUCTION INSPECTION. PROJECT OWNERS AT THE TIME OF THE MAINTENANCE INSPECTION ARE RESPONSIBLE FOR ORDINANCE COMPLIANCE.
16. CONTRACTOR TO DESIGN-BUILD IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE OF NEW PLANT MATERIAL. IRRIGATION HEADS TO BE INSTALLED FLUSH WITH GRADE.

LANDSCAPE REQUIREMENTS:

SITE LANDSCAPE: 20 % OF TOTAL SITE AREA

44779 SF ± 8965 SF REQUIRED

8965 SF PROVIDED

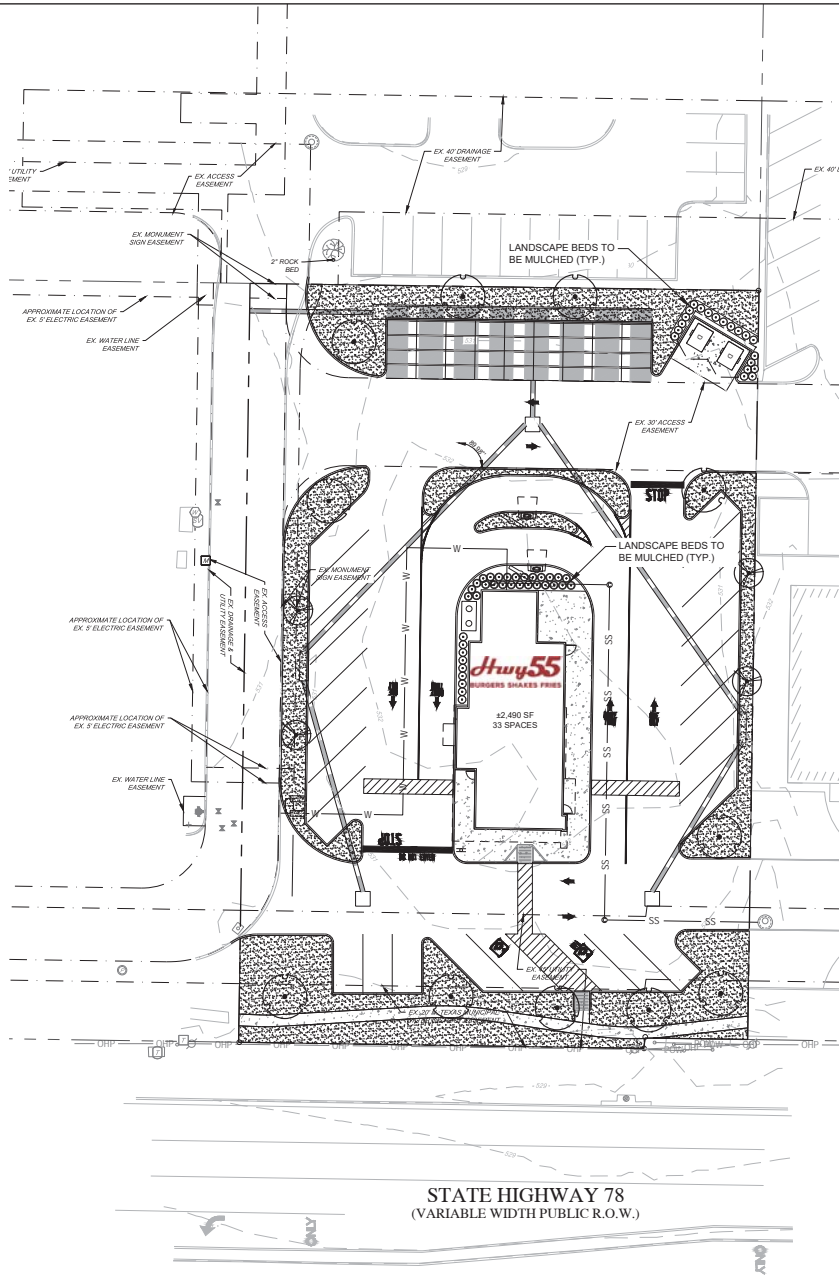
STREET FRONTAGE LANDSCAPING: 1 TREE PER 40 LF

STATE HWY 78: 174 LF / 40 LF ±

5 TREES REQUIRED

3 TREES PROVIDED

PARKING LOT LANDSCAPE: NO PARKING SPACE FURTHER THAN 60' FROM LANDSCAPED AREA.



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	
	4	LAGERSTROEMIA INDICA X FAURIEI 'TONTU' / TONTO CRAPE MYRTLE	3" CAL	
	11	QUERCUS VIRGINIANA 'QVTA' / HIGHRISE LIVE OAK	3" CAL	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	26	ABELIA X GRANDIFLORA 'EDWARD GOUCHER' / GLOSSY ABELIA	3 GAL	36" o.c.
	29	VIBURNUM SUSPENSUM / SANDANKWA VIBURNUM	3 GAL	36" o.c.
SOO/SEED	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
	8,607 SF	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD	



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ENGINEER:

FORESITE
group

109E Firm No. F-12278
Foresite Group, LLC
1999 Bryan St.
Suite 400
Dallas, TX 75201
www.foresitegroup.com

214.939.7123
888.765.8135

DEVELOPER:



TRACK WEST PARTNERS

445 BISHOP ST. NW
ATLANTA, GA 30318
(770) 359-9636

CONTACT: MR. BRANDON KUBLANOW

Hwy55
BURGERS SHAKES FRIES
NWC OF TX-78 & SPRING CREEK PARKWAY
WYLLIE, TAYLOR COUNTY, TEXAS 75098

PRODUCT

SEAL:

THESE PLANS WERE PREPARED UNDER THE SUPERVISION AND DIRECTION OF JASON WECKERLY, LA # 2788

THESE PLANS ARE RELEASED FOR INITIAL REVIEW PURPOSES ONLY.

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT

REVISIONS

DATE

PROJECT MANAGER:

JMB

DRAWING BY:

SK

JURISDICTION:

CITY OF WYLLIE

DATE:

2022-01-31

TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

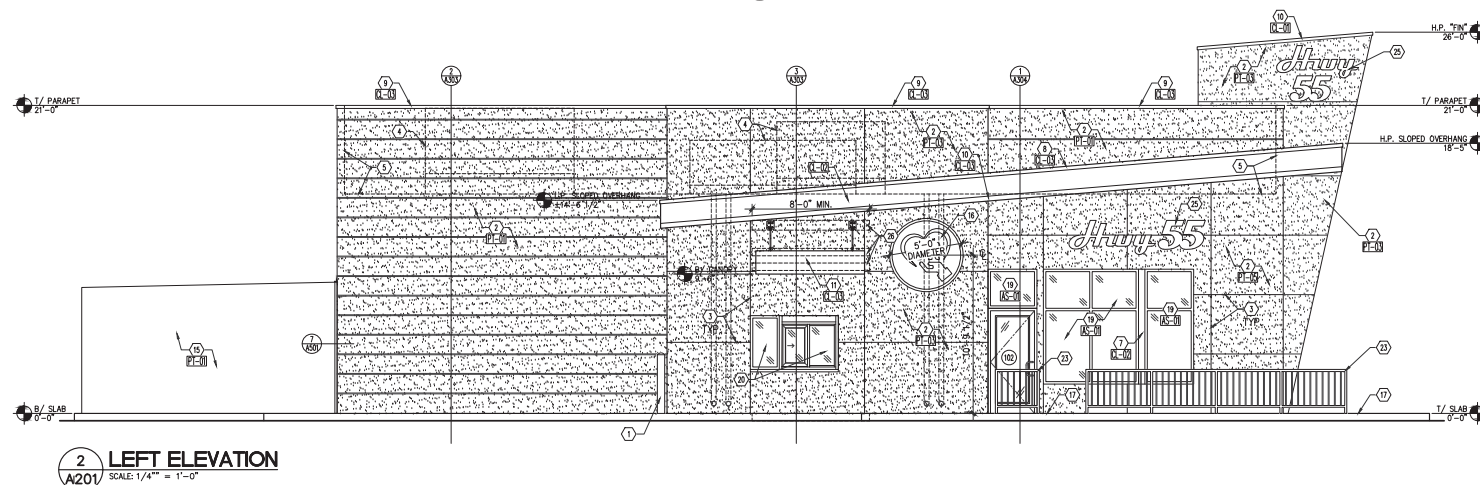
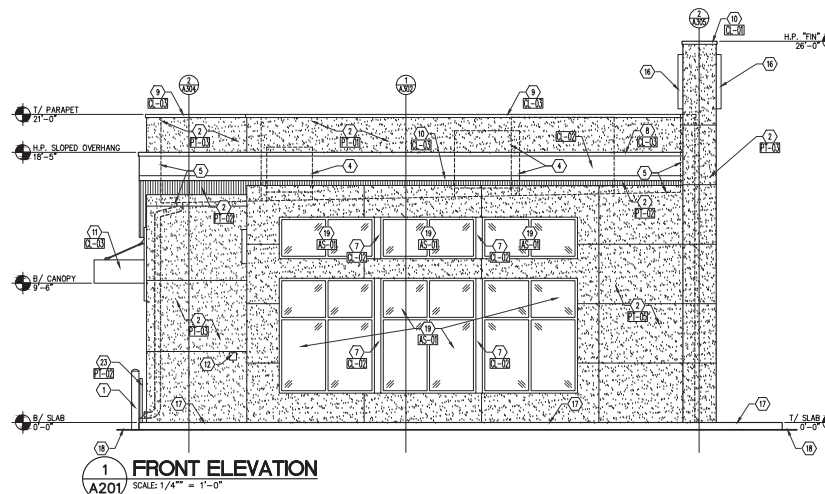
L-1

COMMENTS:

NOT RELEASED FOR CONSTRUCTION

JOB FILE NUMBER:

1580.007



GENERAL NOTES

1. ALL NEW PAINT WORK MUST INCLUDE A 2 YEAR FULL WARRANTY AND A YEAR PRO-RATED LABOR AND MATERIALS WARRANTY.
2. ALL PAINT COLOR SELECTIONS TO BE VERIFIED WITH OWNERS CONSTRUCTION MANAGER BEFORE ORDERING.
3. TOP OF PARAPET TO BE CLAD WITH UNA-CLAD COPING. FINAL SELECTION TO BE VERIFIED WITH OWNER'S CONSTRUCTION MANAGER.
4. ALL PREFABRICATED CANOPY SYSTEMS TO BE FIELD VERIFIED BEFORE FABRICATION.
5. ALL WALL MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL WHICH IT IS MOUNTED ON OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.

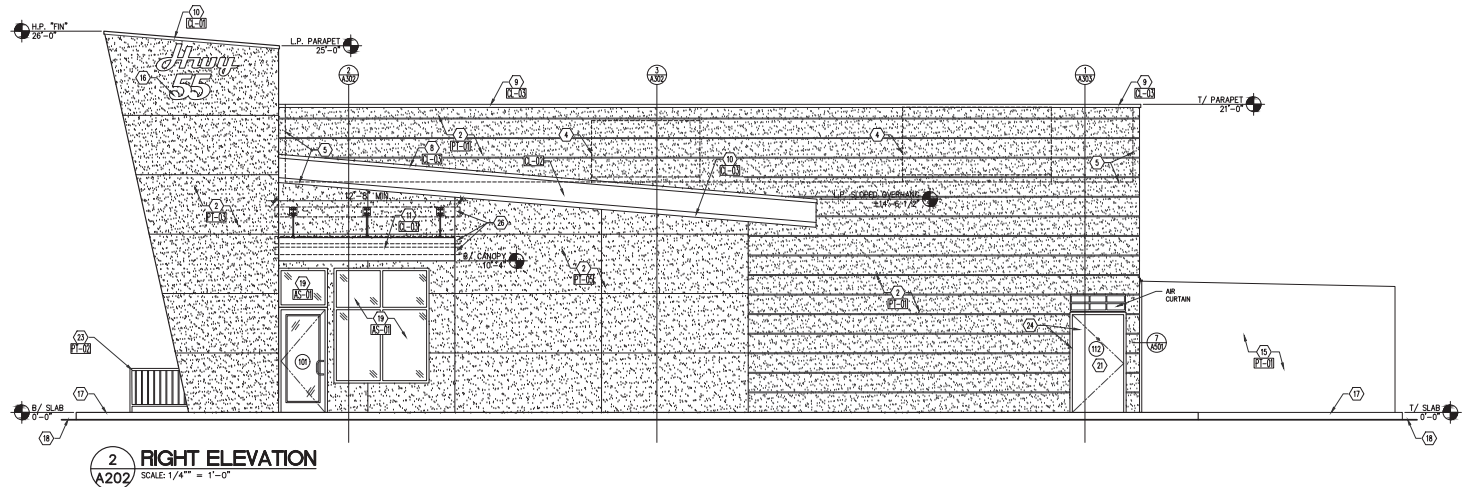
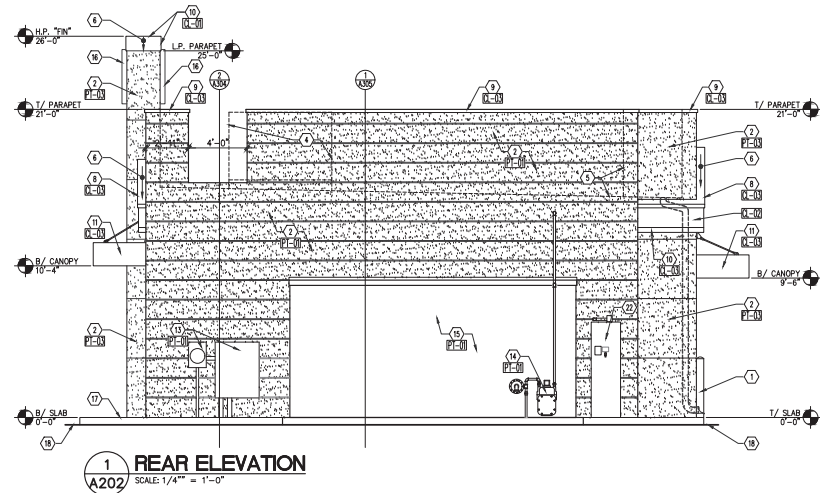
CONSTRUCTION NOTES

- (1) PIPE BOLLARD - SEE SITE PLAN.
- (2) HARD COAT STUCCO WITH MEDIUM SAND FINISH - SEE SECTIONS.
- (3) HARD COAT STUCCO CONTROL JOINT.
- (4) OUTLINE OF MECHANICAL EQUIPMENT BEYOND.
- (5) APPROXIMATE LINE OF ROOF SURFACE BEYOND.
- (6) SLOPED ROOF SURFACE.
- (7) CLEAR ANODIZED ALUMINUM BREAK METAL BETWEEN STOREFRONT WINDOWS.
- (8) CONTINUOUS METAL ROOF EDGE OR DRIP FLASHING - SEE WALL SECTIONS.
- (9) CONTINUOUS METAL EDGE FLASHING.
- (10) CONTINUOUS METAL DRIPS FLASHING - SEE DETAIL 450.
- (11) PRE-FABRICATED HANGER AND CANOPY SYSTEM SUPPLIED BY SIGN VENDOR, INSTALLED BY GENERAL CONTRACTOR - SEE SECTIONS.
- (12) KNOX BOX MOUNTED AT 4'-6" AFF.
- (13) ELECTRICAL METER SERVICE - SEE ELECTRICAL DRAWINGS.
- (14) GAS METER/SERVICE - SEE PLUMBING DRAWINGS.
- (15) PREFORMANCAATED AND PRIME COATED STUCCO - SUPPLIED BY MANUFACTURER. PART TO MATCH STUCCO
- (16) SIGNAGE FEATURE BY OWNER'S VENDOR. GENERAL CONTRACTOR TO COORDINATE INSTALLATION WITH STRUCTURE AND ELECTRICAL. COLOR: RED
- (17) CONCRETE SIDEWALK/CURB - SEE SITE PLAN.
- (18) APPROXIMATE GRADE/PAVEMENT.
- (19) STOREFRONT DOOR/WINDOW SYSTEM - SEE FLOOR PLAN FOR MORE INFORMATION.
- (20) STOREFRONT WINDOW SYSTEM - SEE FLOOR PLAN FOR MORE INFORMATION.
- (21) HOLLOW METAL DOOR AND FRAME - SEE DOOR SCHEDULE
- (22) GLASS COLLECTION UNIT - SEE EQUIPMENT PLAN.
- (23) PEDESTRIAN GUARD RAIL - SEE CIVIL DRAWINGS.
- (24) INSULATED METAL DOOR AND HOLLOW METAL FRAME PART TO MATCH STUCCO - SEE DOOR SCHEDULE.
- (25) SIGNAGE FEATURE BY OWNER'S VENDOR. GENERAL CONTRACTOR TO COORDINATE INSTALLATION WITH STRUCTURE AND ELECTRICAL. COLOR: WHITE
- (26) BLOCKING FOR PRE-FABRICATED HANGER ROOF SYSTEM SUPPLIED BY GENERAL CONTRACTOR. COORDINATE WITH SIGN VENDOR AND SEE WALL SECTIONS.

EXTERIOR FINISH SCHEDULE

- | | |
|----|---|
| 43 | PREFINISHED ALUMINUM DIE FLASHING - COLOR RED - SWS666 HEART/ROB |
| 44 | MILL FASCO / BRAKE METAL WRAP - MILL FINISH - CLEAR COAT |
| 45 | PREFINISHED ALUMINUM DIE OR DRIP FLASHING - COLOR - BLACK - SWS6993 BLACK OF NIGHT |
| 46 | HARD COAT STUCCO - PAREX - STYLE - MEDIUM SAND FINISH - COLOR - GRAY - SW 6002 ESSENCE GRAY |
| 47 | HARD COAT STUCCO - PAREX - STYLE - MEDIUM SAND FINISH - COLOR - BLACK - SWS6993 BLACK OF NIGHT |
| 48 | HARD COAT STUCCO - PAREX - STYLE - MEDIUM SAND FINISH - COLOR - RED - PMS 20-0689 TPM ONE OF A KIND RED |
| 49 | HARD COAT STUCCO - PAREX - STYLE - MEDIUM SAND FINISH - COLOR - WHITE - SW7005 PURE WHITE |
| 50 | ALUMINUM STOREFRONT MILL FINISHED - COLOR - CLEAR COAT |

* REFER TO THE MOST CURRENT HWY 55 BRAND BOOK FOR ALL INTERIOR AND EXTERIOR COLORS - VERIFY ALL FINISHES WITH OWNER PRIOR TO PURCHASING



GENERAL NOTES

1. ALL NEW PAINT WORK MUST INCLUDE A 2 YEAR FULL WARRANTY AND A YEAR PRO-RATED LABOR AND MATERIALS WARRANTY.
2. ALL PAINT COLOR SELECTIONS TO BE VERIFIED WITH OWNER'S CONSTRUCTION MANAGER BEFORE ORDERING.
3. TOP OF PARAPET TO BE CLAD WITH UNCLAD COPING. FINAL SELECTION TO BE VERIFIED WITH OWNER'S CONSTRUCTION MANAGER.
4. ALL PREFABRICATED CANOPY SYSTEMS TO BE FIELD VERIFIED BEFORE FABRICATION.
5. ALL WALL MOUNTED EQUIPMENT SUCH AS ELECTRICAL METERS, IRRIGATION METERS, PHONE/CABLE BOXES, EXTERNAL VENTS AND LOUVERS, ETC., SHALL BE PAINTED TO MATCH THE WALL ON WHICH IT IS MOUNTED OR OTHERWISE CONSISTENT WITH THE COLOR(S) OF THE BUILDING.

CONSTRUCTION NOTES

1. PIPE BOLLARD - SEE SITE PLAN.
2. HARD COAT STUCCO WITH MEDIUM SAND FINISH - SEE WALL SECTIONS.
3. HARD COAT STUCCO CONTROL JOINT.
4. OUTLINE OF MECHANICAL EQUIPMENT BEYOND.
5. APPROXIMATE LINE OF ROOF SURFACE BEYOND.
6. SLOPED ROOF SURFACE.
7. CLEAR ANODIZED ALUMINUM BREAK METAL BETWEEN STOREFRONT WINDOWS.
8. CONTINUOUS METAL ROOF EDGE OR DRIP FLASHING - SEE WALL SECTIONS.
9. CONTINUOUS METAL EDGE FLASHING.
10. CONTINUOUS METAL DRIPS FLASHING - SEE DETAIL 2/A501.
11. PRE-FABRICATED HANGER ROD CANOPY SYSTEM SUPPLIED BY SIGN VENDOR, INSTALLED BY GENERAL CONTRACTOR - SEE WALL SECTIONS.
12. KNOX BOX MOUNTED AT 4'-6" A.F.F.
13. ELECTRICAL METER SERVICE - SEE ELECTRICAL DRAWINGS.
14. GAS METER/SERVICE - SEE PLUMBING DRAWINGS.
15. PREMANUFACTURED AND PRIMED COOLER/FREEZER/STORAGE - BY MANUFACTURER. PAINT TO MATCH STUCCO.
16. SIGNAGE FEATURE BY OWNER'S VENDOR. GENERAL CONTRACTOR TO COORDINATE INSTALLATION WITH STRUCTURE AND ELECTRICAL. COLOR: RED.
17. CONCRETE SIDEWALK/CURB - SEE SITE PLAN.
18. APPROXIMATE GRADE/PAVEMENT.
19. STOREFRONT DOOR/WINDOW SYSTEM - SEE FLOOR PLAN FOR MORE INFORMATION.
20. DRIVE-THRU WINDOW SYSTEM - SEE FLOOR PLAN FOR MORE INFORMATION.
21. HOLLOW METAL DOOR AND FRAME - SEE DOOR SCHEDULE.
22. GREASE COLLECTION UNIT - SEE EQUIPMENT PLAN.
23. PEDESTRIAN GUARD RAIL - SEE CIVIL DRAWINGS.
24. INSULATED METAL DOOR AND HOLLOW METAL FRAME PAINT TO MATCH STUCCO - SEE DOOR SCHEDULE.
25. SIGNAGE FEATURE BY OWNER'S VENDOR. GENERAL CONTRACTOR TO COORDINATE INSTALLATION WITH STRUCTURE AND ELECTRICAL. COLOR: WHITE.
26. BLOCKING FOR PRE-FABRICATED HANGER ROD CANOPY SYSTEM BY GENERAL CONTRACTOR - COORDINATE WITH SIGN VENDOR & SEE WALL SECTIONS.

EXTERIOR FINISH SCHEDULE

1. PREFINISHED ALUMINUM EDGE FLASHING - COLOR - RED - SW6866 HEARTHROB
2. METAL FASCIA/ BRAKE METAL WRAP - MILL FINISH - CLEAR COAT
3. PREFINISHED ALUMINUM EDGE OR DRIP FLASHING - COLOR - BLACK - SW6893 BLACK OF NIGHT
4. HARD COAT STUCCO - PAREX - STYLE: MEDIUM SAND FINISH - COLOR - GRAY - SW 6002 ESSENTIAL GRAY
5. HARD COAT STUCCO - PAREX - STYLE: MEDIUM SAND FINISH - COLOR - BLACK - SW6993 BLACK OF NIGHT
6. HARD COAT STUCCO - PAREX - STYLE: MEDIUM SAND FINISH - COLOR - RED - PMS 20-089 TYP ONEY APPLE RED
7. HARD COAT STUCCO - PAREX - STYLE: MEDIUM SAND FINISH - COLOR - WHITE - SW7005 PURE WHITE
8. ALUMINUM STOREFRONT FINISHED - COLOR: CLEAR COAT

* REFER TO THE MOST CURRENT HWY 55 BRAND BOOK FOR ALL INTERIOR AND EXTERIOR COLORS - VERIFY ALL FINISHES WITH OWNER PRIOR TO PURCHASING

LIMIT Project No. 21337

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INRBD
ARCHITECTS & ENGINEERS
1001 W. 14th Street, Suite 200
Fort Worth, Texas 76102
(817) 334-7222
A Division of INRBD Associates

PRELIMINARY NOT FOR
CONSTRUCTION

PROJECT: **HIGHWAY 55**
30 PROTOTYPE

2014 NORTH HWY 55
WYLE, TEXAS 75086

DRAWING: EXTERIOR ELEVATIONS

Revisions

THRU ADDENDUM "A"
REVISION DATE

PROJECT DATE
03/15/2022

Drawn By
CH

Checked By
GRL

Sheet No.

A202



PERSPECTIVE VIEW 1



PERSPECTIVE VIEW 2

	NRD-21208		OPTION B		EXTERIOR FACADE ::	
			10.8.21	PERSPECTIVE VIEWS	EXTERIOR CONCEPT ::	



FRONT ELEVATION



RIGHT ELEVATION



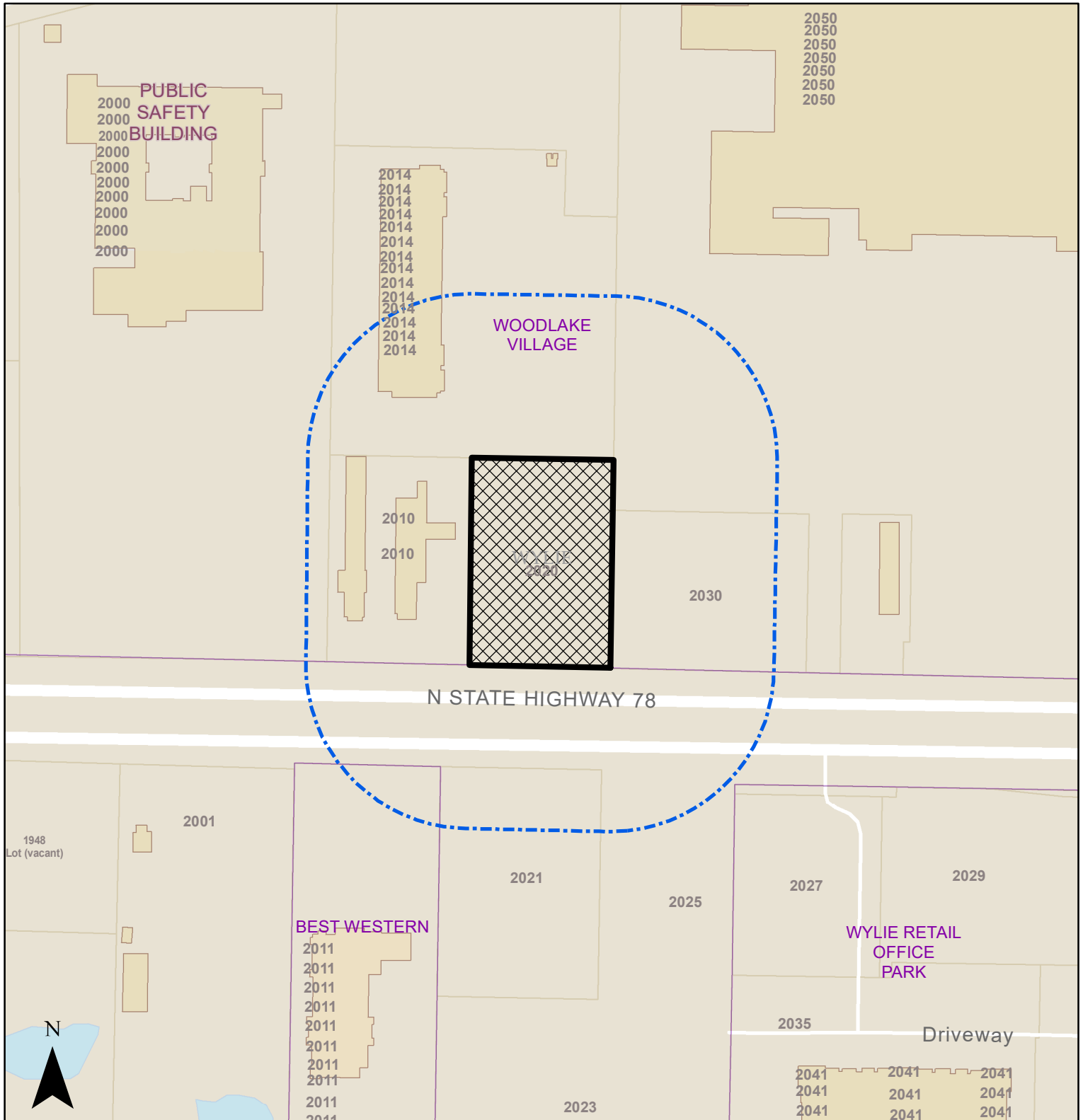
LEFT ELEVATION



BACK ELEVATION

	NRD-21208		OPTION B		EXTERIOR FACADE ::	
			10.8.21	FLAT ELEVATIONS	EXTERIOR CONCEPT ::	

Notification Map



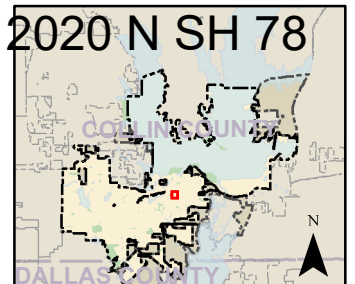
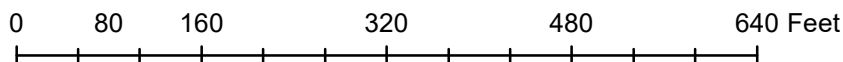
ZC 2022-07; Woodlake Village; "Hwy 55 Burgers..."; 2020 N SH 78



200 Foot Notification Buffer



Subject Property





Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) to allow for a Commercial and light industrial development on 7.789 acres generally located on SH 78 1000' east of Eubanks Lane (ZC 2022-08).

Recommendation

Motion to approve Item as presented.

Discussion

OWNER: Diyar Real Estate

APPLICANT: Slate Commercial

The applicant is requesting to rezone 7.789 acres located on the northside of State Highway 78 between Eubanks Lane and Springcreek Parkway. The property is currently zoned Commercial Corridor. The applicant is requesting a Planned Development to allow for a combination of Light Industrial and Commercial uses.

The proposal includes three commercial pads totaling 2.723 acres with a proposed 13,466 square feet of commercial and retail space. The pads front SH 78 with access from the right-of-way and cross access from the properties to the east and west.

The PD Conditions allow for Restaurants with a drive-thrus as by-right uses in addition to normally allowed CC uses. The commercial lots will be developed within current zoning ordinance design standards with the exception of parking which is set at 1:200 across the commercial properties with shared parking among all lots, including the industrial.

The industrial lot includes a 72,645 square foot structure on 5.066 acres on the north side of the property behind the commercial frontage and a landscape buffer. Access for large truck traffic is provided on Centennial Drive to the north.

The PD Conditions for the LI lot allow for all CC by-right uses in addition to the Warehouse Distribution use. The industrial property is to be developed with modified design standards of the Commercial Corridor zoning district. The modified design standards include 10% landscaping throughout the site and tilt wall construction as normally allowed in LI districts.

City Engineering staff has stated that Centennial Drive can handle the volume of anticipated traffic; however, the road was not originally designed for repeated heavy commercial traffic and may continue to deteriorate sooner than originally planned.

The properties adjacent to the subject property are zoned commercial to the south, west, and east and light industrial to the north. To the south across SH 78 are various commercial uses, to the west is the future Fuel City, to the east is the City of Wylie Public Safety Building, and to the north is vacant property adjacent to the railroad.

The subject property lies within the General Urban Sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

The development schedule provides for the timing of the development, which if approved would be complete in late 2023.

Notices were sent to eight property owners within 200 feet as required by state law. At the time of posting no responses were received in favor or opposed to the request.

P&Z Commission Discussion

The Commission voiced concerns regarding automotive repair uses and overnight parking. The applicant agreed to amend the PD Conditions to remove those uses and prohibit overnight commercial truck parking. The Commission voted 6-0 to recommend approval with those amendments.

Financial Summary/Strategic Goals

Planning Management

Locator Map



Wylie Business Park and Shops



Subject Property

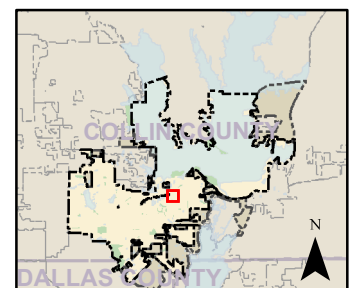
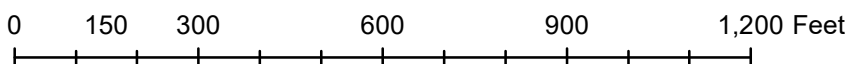


EXHIBIT "B"
CONDITIONS FOR PLANNED DEVELOPMENT
WYLIE BUSINESS PARK AND SHOPS BY SLATE
2022-08

I. PURPOSE:

This Planned Development District shall be established to provide Commercial and Light Industrial uses, including restaurant, Retail, and Warehouse Distribution to support the economic growth within the region.

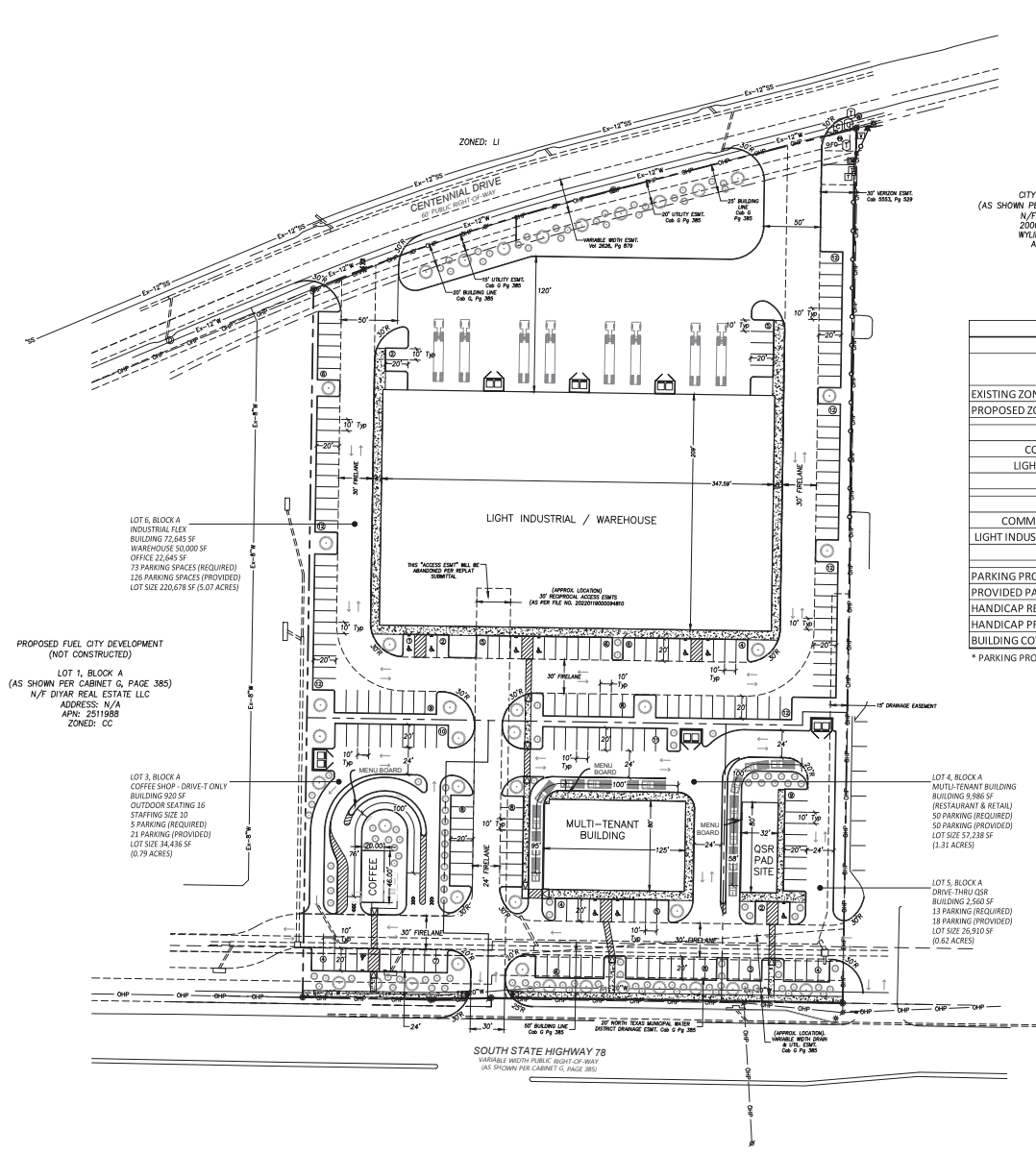
II. GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. This Planned Development District shall not affect any regulations of the Commercial Corridor District (CC) set forth in Article 4, Section 4.1, of the Comprehensive Zoning Ordinance (adopted as of April 2021) except as specifically provided herein.

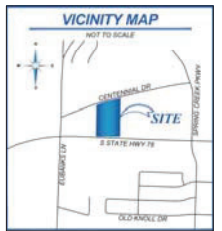
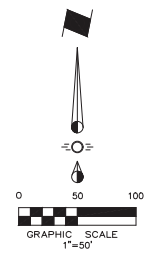
III. SPECIAL CONDITIONS:

1. All allowed uses in the Commercial Corridor District (CC), as set forth in Article 5 of the Comprehensive Zoning Ordinance (adopted as of April 2021), in addition to those listed in this paragraph shall be allowed by-right uses.
 - a. Restaurant with Drive-in or Drive Thru Service
 - b. Restaurant without Drive-in or Drive Thru Service
 - c. Warehouse Distribution Center (Lot 6 Only)
2. All other uses included in the Commercial Corridor Zoning District, as of the April 2021 Zoning Ordinance, shall be allowed under the requirements of that use.
3. The subject property shall be developed in conformance with all regulations of the Commercial Corridor Zoning District set forth in, Section 4.3, and Section 5.2 of the Zoning Ordinance (adopted as of April 2021) in every respect with exception to the uses indicated in Section III.1, above, and the following:
 - a. Lot 6 (Light Industrial) shall be developed as Warehouse / Distribution Center, as generally depicted on the Zoning Exhibit (Exhibit C).
 - b. Lot 6 shall not be required to have driveways with a divided median.

- c. Parking for Lots 3, 4, 5 (commercial) shall be parked at one parking per 200 square feet of building floor area located on those lots. Additionally, shared parking shall be allowed between all lots.
 - d. Maximum building height on Lot 6 shall be 60 feet.
 - e. Two rows of parking (one double loaded drive aisle) shall be allowed in front of buildings.
 - f. Landscaping of Lot 6 shall be 10% of the site as normally required in Light Industrial districts.
4. Design criteria shall be in conformance with Commercial Corridor Architectural Design Requirements of the Zoning Ordinance (adopted as of April 2021), except as follows:
- a. The use of Tilt Wall Construction shall be allowed for Lot 6.
 - b. Walls may not exceed a height to width ratio of 1 to 2 without variation in massing of façade. At least 25% of façade should be offset by 2'.
 - c. Commercial Buildings on Lots 3, 4, and 5 shall not be required to construct with stone.
5. Prior to development, approved plats and site plans shall be required.
6. No overnight parking of commercial tractor trucks shall be allowed.



CITY HALL OF WYLIE
(AS SHOWN PER CABINET G, PAGE 385)
N/F WYLIE CITY OF
2000 N. STATE HWY
WYLIE, TEXAS 75098
APN: 2817062
ZONED: CC



SITE DATA TABLE				
LOT SIZE	LOT 3	LOT 4	LOT 5	LOT 6
	0.791 ACRES	1.314 ACRES	0.618 ACRES	5.066 ACRES
	34,436.35 SF	57,238.38 SF	26,910.12 SF	220,677.81 SF
EXISTING ZONING	CC	CC	CC	CC
PROPOSED ZONING	PD	PD	PD	PD
USE / BUILDING AREA				
COMMERCIAL	920 SF - 100%	9,986 SF - 100%	2,560 SF - 100%	SF - 0%
LIGHT INDUSTRIAL	SF - 0%	SF - 0%	SF - 0%	72,645 SF - 100%
TOTAL	920 SF	9,986 SF	2,560 SF	72,645 SF
REQUIRED PARKING				
COMMERCIAL (1 PER 200 S.F.)	5 SPACES	50 SPACES	13 SPACES	0 SPACES
LIGHT INDUSTRIAL (1 PER 1000 S.F.)	0 SPACES	0 SPACES	0 SPACES	73 SPACES
TOTAL	5 SPACES	50 SPACES	13 SPACES	73 SPACES
PARKING PROVIDED	21 SPACES	50 SPACES	18 SPACES	126 SPACES
PROVIDED PARKING RATIO	1/44	1/200	1/143	1/577
HANDICAP REQUIRED	1 SPACES	2 SPACES	1 SPACES	5 SPACES
HANDICAP PROVIDED	1 SPACES	2 SPACES	1 SPACES	6 SPACES
BUILDING COVERAGE	2.67%	17.45%	9.51%	32.92%

* PARKING PROVIDED TOTAL INCLUDES HC PARKING

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.
JDC@CrossEngineering.biz

ARCHITECT:
JAW Architects, Inc.
1620 Yukon Drive
Burleson, Texas 76028
Phone (817) 705-3387
Contact: Jeremy Williams
jeremy@jaw-arc.com

SURVEYOR:
BLEW & ASSOCIATES, P.A.
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
Phone (479) 443-4506
Fax (479) 582-1883
Contact: BRADLEY G. WELLS
survey@blewinc.com

APPLICANT/DEVELOPER:
SLATE LAND & DEVELOPMENT CO., LLC
5729 LEBANON RD. #1400
FRISCO, TEXAS 75034
Phone (214) 718-2626
Contact: KRIS@SLATECOMMERCIAL.COM

OWNER:
DIYAR REAL ESTATE, LLC.
1717 MAIN ST. #1400
DALLAS, TEXAS 75201
Phone (972) 799-2832
Contact: AHMED HUSSEIN
AHMED0516@HOTMAIL.COM

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6

CROSS ENGINEERING CONSULTANTS
1720 W. Virginia Street
McKinney, Texas 75069
972.562.4409

McKinney, Texas 75069
Texas P.E. Firm No. F-59108
NO. 82618
ON 3/14/22
IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

Drawn By:	Checked By:	Scale:
C.E.C.L.	C.E.C.L.	1"=50'

ZONING EXHIBIT
WYLIE BUSINESS PARK & SHOPS BY SLATE
SLATE LAND & DEVELOPMENT CO., LLC
WYLIE, TEXAS

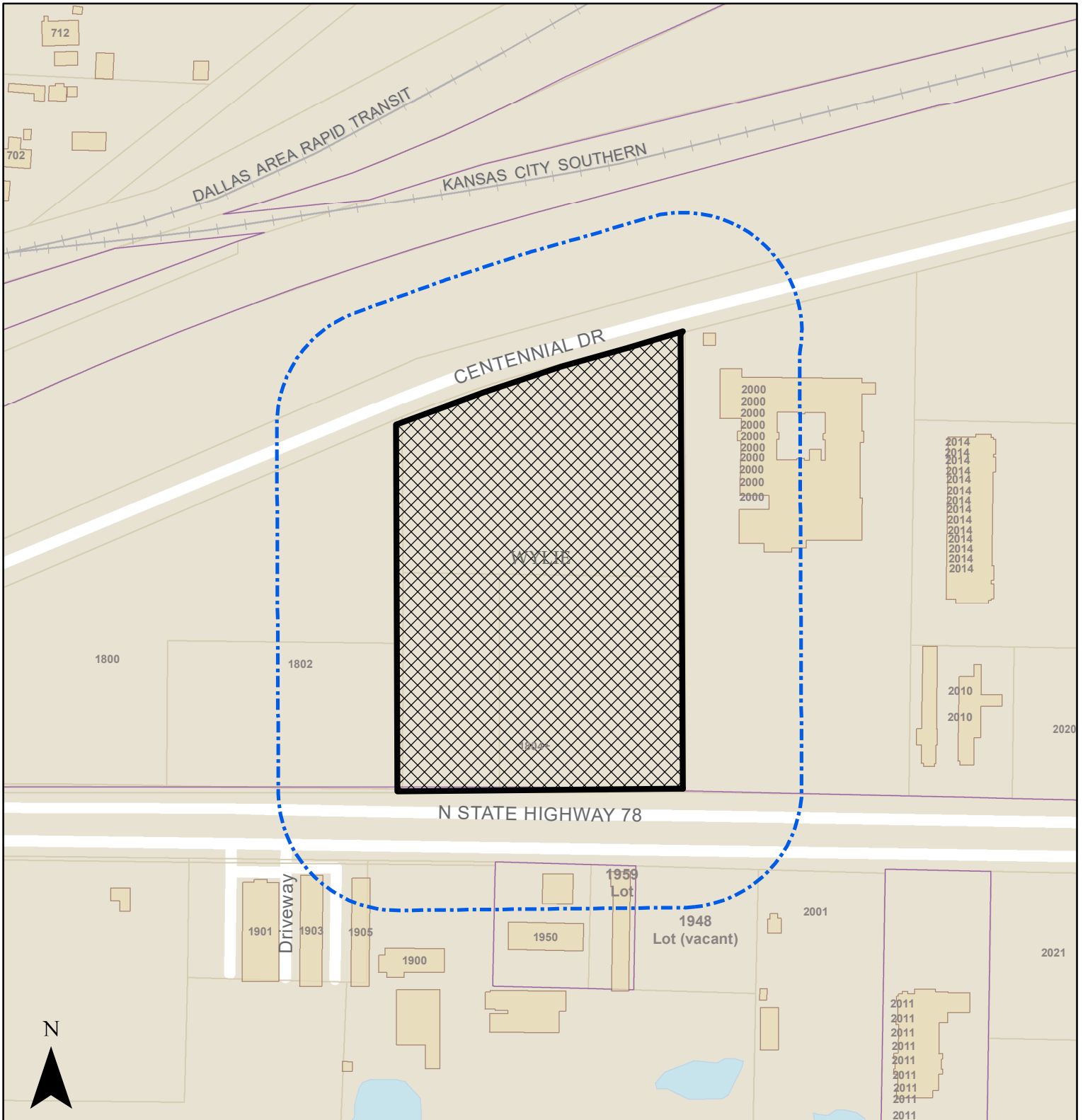
Sheet No.
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Project No.
220007

EXHIBIT "C"
DEVELOPMENT SCHEDULE
For
WYLIE BUSINESS PARK AND SHOPS BY SLATE



I. SCHEDULE:

Zoning: Submit	2/14/2022	P&Z	3/15/2022	CC	4/12/2022
Plan Preparation and Review:	5/1/2022 – 8/1/2022				
Release Building Permit:	9/1/2022				
Construction	10/1/2022-10/1/2023				
File Plat and C.O.	11/1/2023				

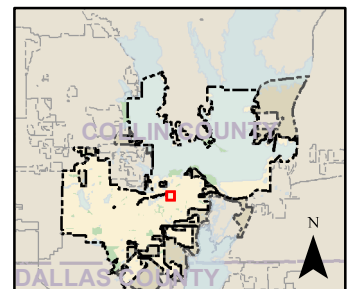
Notification Map



Wylie Business Park and Shops

 200 Foot Notification Buffer  Subject Property

0 112.5 225 450 675 900 Feet





slatecommercial.com

SLATE

LAND & DEVELOPMENT CO.



Team

EXPERIENCED AND PROVEN MANAGEMENT TEAM

SLATE
LAND & DEVELOPMENT CO.

Founded in 2018 and headquartered in Frisco, Texas, Slate is recognized for its architecturally significant mixed-use projects that respond to each community.

Slate is a vertically-integrated real estate investment and development firm. Through investment entities in which the principals Kris Ramji and Pete Stickney were officers, the management team of Slate has participated in over \$300 million in real estate property projects. Slate currently has over \$70 million of projects under development.



KRIS RAMJI
Chief Executive Officer



PETE STICKNEY
Chief Operating Officer



BRANDON SCOTT
Senior Vice President



SAHIL KURJI
Vice President



MATT BODZY
Managing Director,
Development



DANIEL MORALES
Managing Director,
Acquisitions



TREY GIERISCH
Brokerage/Leasing



CLAUDIA LECHÉ
Brokerage/Leasing



DENEEN MARSH
Corporate Controller



OMAR OTERO
Property Manager



CECY OTERO
Property Manager

Developments

SLATE
LAND & DEVELOPMENT CO.

With diverse capabilities and a strong customer focus, Slate Land & Development Co is a recognized leader in real estate planning and development in DFW. The company employs the best development practices and the most technologically advanced construction methods to create appealing, imaginative and innovative facilities that are both cost effective for the user and environmentally sustainable.

With projects throughout DFW, the company's commitment to excellence and superior customer service has been the defining reason for its continued success. Slate currently has 10 active developments with several others under contract throughout DFW.

CURRENT

Village at Broad Street – Mansfield, Texas

Boxes by Slate – Lewisville, Texas

Providence Village Neighborhood Shops – Providence Village, Texas

Roanoke Neighborhood Shops – Roanoke, Texas

Harvest Neighborhood Shops – Northlake, Texas

Wagley Robertson Neighborhood Shops – Fort Worth, Texas

Windhaven Neighborhood Shops – Lewisville, Texas

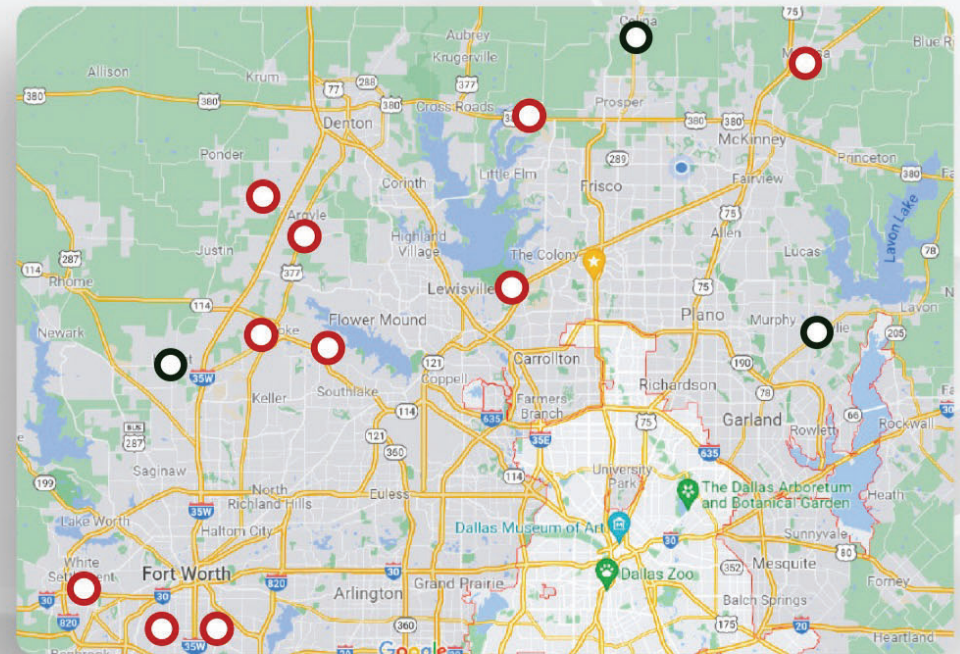
Alta Mere Neighborhood Shops – Fort Worth, Texas

Argyle Neighborhood Shops – Argyle, Texas

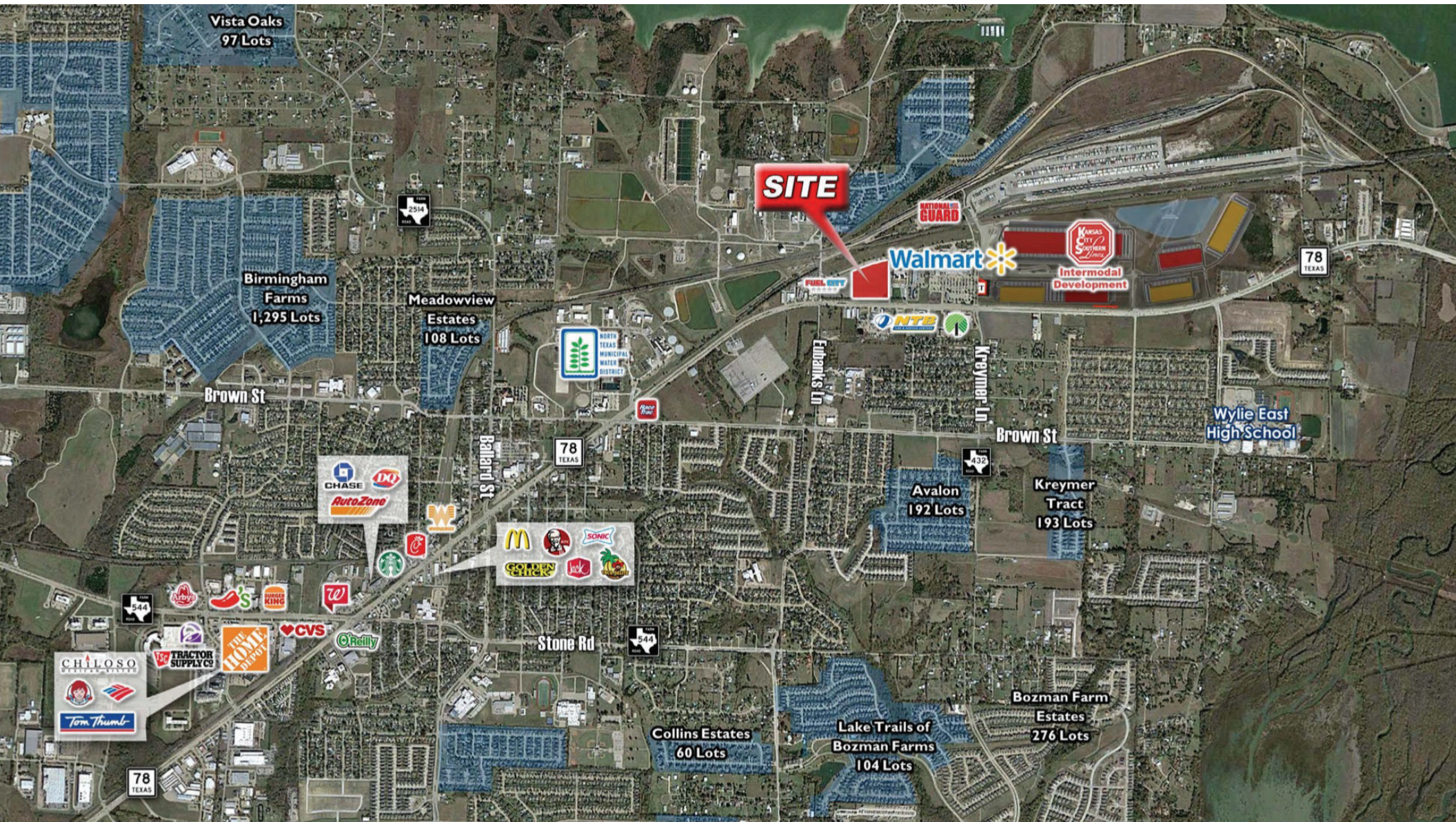
Melissa Neighborhood Shops – Melissa, Texas

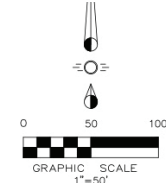
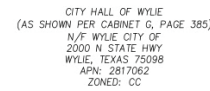
UPCOMING

Haslet, TX – Wylie, TX – Celina, TX









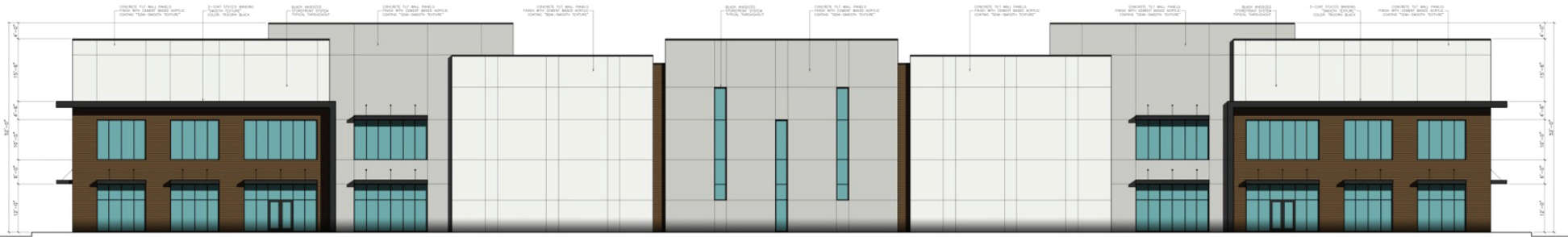
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EXISTING ZONING	CC	CC	CC	CC				
PROPOSED ZONING	PD	PD	PD	PD				
USE / BUILDING AREA								
COMMERCIAL	920 SF - 100%	9,986 SF - 100%	2,560 SF - 100%	SF - 0%				
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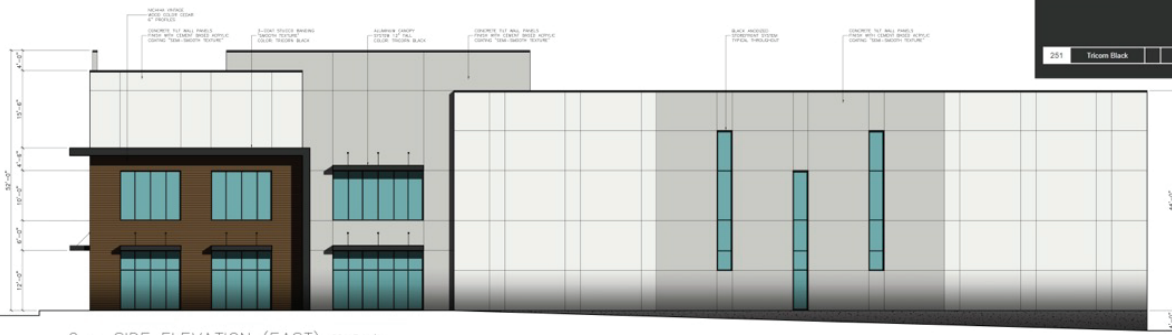
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1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jon David Cross, P.E.
JDC@CrossEngineering.biz

ARCHITECT:
JAW Architects, Inc.
1620 Yukon Drive
Burleson, Texas 76028
Phone (817) 705-3387
Contact: Jeremy Williams
jeramy@jaw-arc.com

SURVEYOR:
BLEW & ASSOCIATES, P.A.
3825 N. SHILOH DRIVE
FAYETTEVILLE, AR 72703
Phone (479) 443-4506
Fax (479) 582-1883
Contact: BRADLEY G. WELLS
survey@blewinc.com



1 - FRONT ELEVATION (SOUTH) SCALE N/A



2 - SIDE ELEVATION (EAST) SCALE N/A

CANOPIES/METAL FASCIA
STUCCO BANDING



CONCRETE TILT WALL
ACCENT COLOR

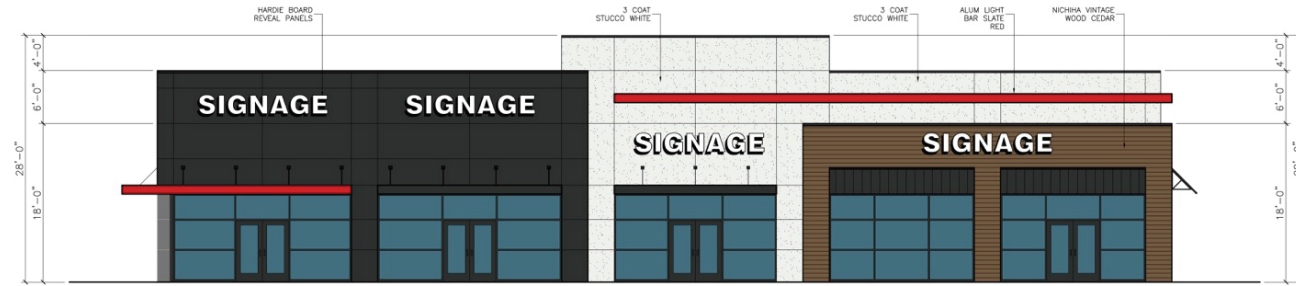


CONCRETE TILT WALL
BASE COLOR

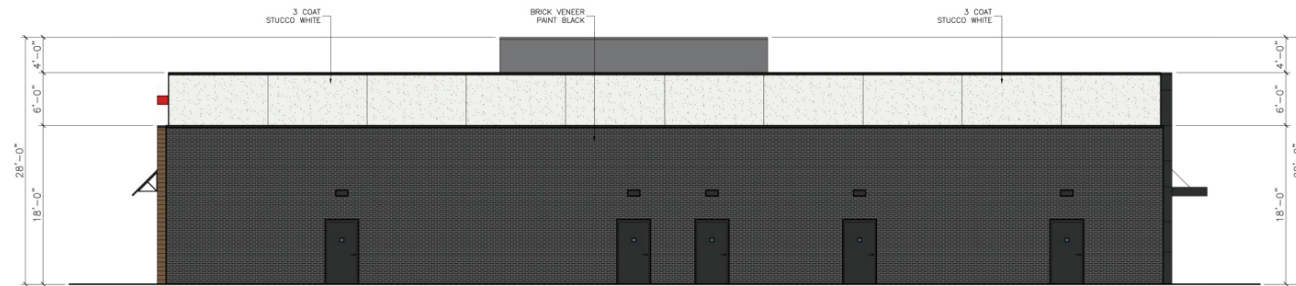


NICHIBA VINTAGE
WOOD CEDAR

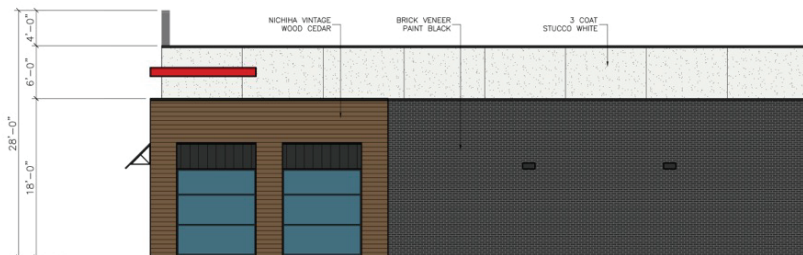




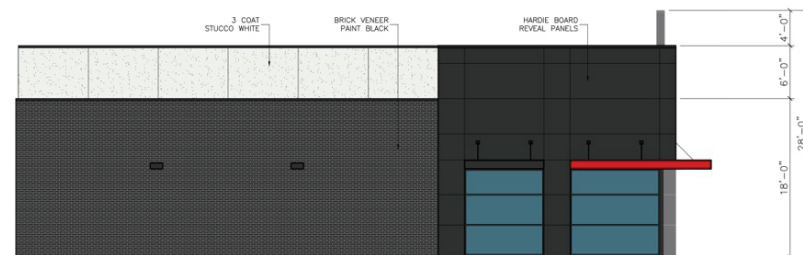
1 - FRONT ELEVATION SCALE N/A



2 - BACK ELEVATION SCALE N/A



3 - RIGHT ELEVATION SCALE N/A



4 - LEFT ELEVATION SCALE N/A









SLATE

LAND & DEVELOPMENT CO.

slatecommercial.com



Wylie City Council

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2022-36 approving the terms and conditions of a Boundary Adjustment Agreement between the City of Wylie and the City of Lavon; authorizing the Mayor to execute the Boundary Adjustment Agreement on behalf of the City of Wylie; clarifying that the property as described in the Boundary Adjustment Agreement released from Wylie's extraterritorial jurisdiction and incorporated into Lavon's extraterritorial jurisdiction; providing a repealing/savings clause, severability clause, and an effective date.

Recommendation

Motion to approve Item as presented.

Discussion

The City of Lavon and representatives of property known as Boyd Farm have requested that the City of Wylie release Boyd Farm from the City of Wylie's Extraterritorial Jurisdiction (ETJ). The property is a single 40-acre lot located on State Highway 205 approximately ½ mile south of State Highway 78 as depicted in the Boundary Exhibit.

If approved for release from Wylie's ETJ, the City of Lavon intends to annex the property into its City limits at the request of the property owner.

For municipalities to exchange or amend ETJ boundaries, the Texas Local Government Code (LGC) requires both cities to sign a Boundary Agreement, with the agreement being approved by Ordinance by the releasing City. This item includes both the Boundary Agreement and the Ordinance authorizing the Mayor to execute the agreement.

City staff has reviewed the Agreement and the ETJ release and recommends approval. Annexation of this area by the City of Wylie would be challenging. The LGC requires annexed areas be provided City services within 2-½ years from the date of annexation. The property under consideration is not in Wylie's service area for water or sewer and is over 1.5 miles from Wylie City limits, making utility and solid waste service cumbersome and cost prohibitive.

Emergency services are currently provided by the City of Lavon, Collin County, and AMR. Approval of the release will require the City of Wylie to serve the property for ambulance services due to contractual obligations with the City of Lavon; however, Fire has stated that serving the area will not be an issue.

The City of Lavon has approved the Agreement.

Financial Summary/Strategic Goals

Planning Management

ORDINANCE NO. 2022-36

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, APPROVING THE TERMS AND CONDITIONS OF A BOUNDARY ADJUSTMENT AGREEMENT BETWEEN THE CITY OF WYLIE AND THE CITY OF LAVON; AUTHORIZING THE MAYOR TO EXECUTE THE BOUNDARY ADJUSTMENT AGREEMENT ON BEHALF OF THE CITY OF WYLIE; CLARIFYING THAT THE PROPERTY AS DESCRIBED IN THE BOUNDARY ADJUSTMENT AGREEMENT RELEASED FROM WYLIE'S EXTRATERRITORIAL JURISDICTION AND INCORPORATED INTO LAVON'S EXTRATERRITORIAL JURISDICTION; PROVIDING A REPEALING/SAVINGS CLAUSE, SEVERABILITY CLAUSE AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Wylie, Texas ("City Council") desires to enter into a Boundary Adjustment Agreement between the City of Wylie, Texas ("Wylie") and the City of Lavon, Texas ("Lavon"), as set forth in Exhibit 1, attached hereto and incorporated herein by reference; and

WHEREAS, the City Council finds that it would be advantageous and beneficial to Wylie and its citizens to approve the Boundary Adjustment Agreement and to confirm that the property described in the Boundary Adjustment Agreement is released from Wylie's extraterritorial jurisdiction and incorporated into Lavon's extraterritorial jurisdiction in order to promote orderly development and delivery of municipal services within such property; and

WHEREAS, the City Council finds that all legal notices, procedures and other requirements for approving the Boundary Adjustment Agreement have been performed and completed in the manner and form required by law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Approval of Boundary Agreement. The City Council hereby approves the terms and conditions of the Boundary Adjustment Agreement attached as Exhibit 1. The Mayor is authorized and directed to execute, on behalf of Wylie, the Boundary Adjustment Agreement attached as Exhibit 1.

SECTION 3: Official Map and Boundaries Amended. Upon adoption of this Ordinance and the mutual execution of the Boundary Agreement, the official map and boundaries of Wylie shall be amended, if necessary, in accordance with the Boundary Agreement. A certified copy of this Ordinance with the mutually executed Boundary Adjustment Agreement shall be filed in the County Clerk's Office of Collin County, Texas.

SECTION 4: Savings/Repealing Clause. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict, but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 5: Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional and/or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, sentence, clause and phrase thereof regardless of the fact that any one or more sections, subsections, sentences, clauses or phrases is declared unconstitutional and/or invalid.

SECTION 6: Effective Date. This Ordinance shall become effective from and after its adoption.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS on this 26th day of April, 2022.

Matthew Porter, Mayor

**ATTESTED TO AND
CORRECTLY RECORDED BY:**

Stephanie Storm, City Secretary

Exhibit 1
Boundary Adjustment Agreement

[8 pages attached hereto]

STATE OF TEXAS §

COUNTY OF COLLIN §

**BOUNDARY ADJUSTMENT AGREEMENT BETWEEN
THE CITIES OF LAVON AND WYLIE**

WHEREAS, the City of Lavon, Texas (“Lavon”), is a Type A, General Law municipality created pursuant to state law, and located in Collin County, Texas; and

WHEREAS, the City of Wylie, Texas (“Wylie”), is a home-rule municipality created pursuant to state law, and located in Collin County, Texas; and

WHEREAS, both Lavon and Wylie (collectively, “Parties”) are empowered to enter into agreements concerning their respective extraterritorial jurisdiction (“ETJ”) boundaries and corporate limit boundaries by, but necessarily limited to, the authority granted them pursuant to Chapter 791 of the Texas Government Code, known as the Interlocal Cooperation Act to enter into agreements with one another to perform governmental functions such as the determination of ETJ boundaries and corporate limit boundaries; and

WHEREAS, Wylie is empowered pursuant to Section 42.023 of the Texas Local Government Code to reduce its ETJ boundaries by ordinance or resolution; and

WHEREAS, Wylie is empowered pursuant to Section 43.003 of the Texas Local Government Code to fix its ETJ boundaries and corporate limit boundaries and to exchange area with other municipalities; and

WHEREAS, Lavon is empowered pursuant to Section 42.022(d) of the Texas Local Government Code to expand its ETJ through annexation to include area that on the date of annexation is located in the ETJ of another municipality if a written agreement between Lavon and the other municipality is in effect on the date of annexation and allocates the area to the ETJ of Lavon; and

WHEREAS, Lavon and Wylie share common boundaries; and

WHEREAS, Lavon and Wylie have identified an area that is within Wylie’s ETJ, consisting of one tract of land, the legal description and depiction of which are attached hereto *Exhibit A* and incorporated herein for all purposes (collectively, the “Property”); and

WHEREAS, the Property is within one-half mile of the corporate limits of Lavon; and

WHEREAS, the Parties desire to identify a mutually agreeable ETJ boundary between the two communities, and provide a mechanism designed to ensure, to the extent legally permissible, that both cities have agreed upon boundaries upon which they can rely so that each city may have certainty in its respective planning and development decisions for these areas; and

WHEREAS, the Parties agree that it is in the best interests of the residents of their respective communities to establish mutually agreeable ETJ boundaries; and

WHEREAS, the Parties have determined that this Boundary Adjustment Agreement Between the Cities of Lavon and Wylie (“Agreement”) is in each party’s best interests, as well as in the best interests of their respective citizens, and that this Agreement concerns only the Property.

NOW, THEREFORE, for and in consideration of the mutual promises and covenants herein made and the benefits to each party resulting here from, and the recitals set forth above which are made contractual provisions of this Agreement, Lavon and Wylie do hereby contract, covenant and agree as follows with respect to the Property:

SECTION 1. FINDINGS INCORPORATED.

The foregoing recitals are hereby incorporated into the body of this Agreement and shall be considered part of the mutual covenants, consideration and promises that bind the Parties.

SECTION 2. TERM.

This Agreement shall become effective upon the date of the last party to execute this Agreement (the “Effective Date”) and shall remain in effect in perpetuity, to the extent authorized by law, until and unless terminated by agreement of the Parties.

SECTION 3. AGREEMENT.

The Parties hereby agree to establish and recognize the new extraterritorial jurisdiction boundary delineated in *Exhibit A* as attached hereto. Wylie, through this Agreement, hereby releases, relinquishes, waives, and discontinues any claim, jurisdiction, or entitlement to the Property as being within Wylie’s ETJ as a result of the herein described boundary adjustment, to the extent that any such claim, jurisdiction, or entitlement existed as of the Effective Date of this Agreement, and allocates the Property to the ETJ of Lavon.

SECTION 4. MISCELLANEOUS PROVISIONS.

The following miscellaneous provisions are a part of this Agreement:

A. The persons signing this Agreement on behalf of the cities have been duly authorized and empowered to do so by a vote of their respective governing bodies and the passage of an appropriate ordinance. The adoption of any such ordinance or the performance of any other action hereunder shall be contingent, and neither shall be deemed effective nor enforceable by one of the parties against the other, unless and until such time as both parties have adopted such an ordinance or taken such other necessary acts as mirror the other's acts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all of which shall constitute one and the same document.

B. This Agreement may not be assigned. It embodies the entire agreement between the Parties and may not be amended except in writing.

C. In the event that one or more of the provisions contained in this Agreement for any reason shall be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability of this Agreement shall be construed as if such invalid, illegal or unenforceable provision had never been contained herein, but shall not affect the remaining provisions of this Agreement, which shall remain in full force and effect.

D. This Agreement shall be governed by and construed in accordance with the laws of the State of Texas, and all obligations of the Parties created hereunder are performable in Collin County, Texas. Venue for any action arising under this Agreement shall lie in the state district courts of Collin County, Texas.

E. This Agreement shall supersede and replace any and all prior agreements between the Parties regarding the matters addressed in this Agreement to the extent of any conflict between this Agreement and any such prior agreements.

F. The Parties agree that Wylie shall have no obligations to provide municipal services to or otherwise exert jurisdiction over the Property, it being the parties' intent that Lavon has the right and obligation to provide municipal services to the Property, subject to ordinances and regulations of Lavon and Texas law.

G. Wylie hereby waives all of its jurisdiction, if any, in or to the Property. It is expressly agreed and understood that this waiver shall operate only in favor of the parties to this Agreement and shall not constitute a waiver of any right, including ETJ rights, which either party may be able to assert against any other municipality. The Parties agree that nothing in this Agreement releases, relinquishes, diminishes, waives or lessens in any way the rights that either party may have, at law or in equity, to challenge or contest any other annexations, attempted annexations or jurisdictional claims made by the other party, not related to the Property.

H. This Agreement is for the benefit of the parties, and does not and shall not confer or extend any benefit or privilege to any third party.

EXECUTED this the 26th day of April, 2022.

ATTEST:

CITY OF LAVON, TEXAS

Rae Norton, City Secretary

Vicki Sanson, Mayor

ATTEST:

CITY OF WYLIE, TEXAS

Stephanie Storm, City Secretary

Matthew Porter, Mayor

EXHIBIT A

Legal Description and Depiction of the Property

SITUATED in the State of Texas and the County of Collin, being part of the W. A. S. Bohannon Survey, Abstract No. 121, being all of a called 40 acre tract of land conveyed to Betty Boyd Skelton by deed recorded in Volume 4996, Page 5221 of the Deed Records of Collin County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod capped "Roome" set for comer in the west right-of-way line of State Highway 205 (100 foot right-of-way) and marking the northeast comer of a tract of land described in a deed to Iola Albright and recorded in Volume 700, Page 110 of the Deed Records of Collin County, Texas and the southeast comer of said 40 acre tract;

THENCE with the general line of a wire fence, the north line of said Albright tract and the south line of said 40 acre tract, South 89°28'29" West, 1564.77 feet to 1/2 inch iron pipe found for comer in the east line of a called 44.61 acre tract of land conveyed to the City of Dallas by deed recorded in Volume 698, Page 367 of the Deed Records of Collin County, Texas and marking the northwest comer of said Albright tract and the southwest comer of said 40 acre tract;

THENCE with the east line of said 44.61 acre tract and the west line of said 40 acre tract as follows:

North 34°01'59" East, 450.00 feet to a City of Dallas monument found for comer,

North 03°40'18" East, 434.58 feet to a City of Dallas monument found for comer,

North 04°08,07" West, 235.31 feet to a point for comer, and

North 25°00'30" West, 241.40 feet to a City of Dallas monument found for comer in the south line of a called 19.501 acre tract of land conveyed to S R Equipment Company, Ltd. by deed recorded in Document No. 201000610000588700 of the Deed Records of Collin County, Texas and marking the northeast comer of said 44.61 acre tract and the northwest comer of said 40 acre tract;

THENCE with the south line of said 19.501 acre tract and the north line of said 40 acre tract, South 88°46'35" East, 344.09 feet to a 1/2 inch capped iron rod found for comer in the west line of Grand Heritage - West C, an addition to the City of Lavon, Collin County, Texas, according to the plat thereof recorded in Volume 2008, Page 290 of the Plat Records of Collin County, Texas and marking the southeast comer of said 19.501 acre tract and a northeast comer of said 40 acre tract;

THENCE with the west line of said Grand Heritage - West C and an east line of said 40 acre tract, South 00°28'03" West, 11.55 feet to a 1/2 inch iron rod capped "Roome" set for comer marking the southwest comer of said Grand Heritage - West C and an ell comer of said 40 acre tract;

THENCE with the south line of said Grand Heritage - West C, the south line of a called 2.94 acre tract conveyed to DPB Investments, LP by deed recorded in Document No. 20110606000576510 of the Deed Records of Collin County, Texas, the south line of a called 2.04 acre tract conveyed to World Land

Developers, LP by deed recorded in Document No. 20071213001657580 of the Deed Records of Collin County, Texas and the north line of said 40 acre tract, South 88°17'02" East, 1320.94 feet to a 1/2 inch iron rod found for corner in the curving west right-of-way line of State Highway 205 and marking the southeast corner of said 2.04 acre tract and the northeast corner of said 40 acre tract;

THENCE southwesterly with said west right-of-way line, the east line of said 40 acre tract and with a curve to the right having a radius of 5679.58 feet, a central angle of 12°17'06", an arc length of 1217.79 feet and a chord bearing and distance of South 12°21'45" West, 1215.46 feet to the Point of Beginning and containing 42.058 acres of land, more or less.

LESS that certain property taken by condemnation conveyance to the State of Texas identified as that certain 65,859 square feet of land, more or less in W.A.S. Bohannon Survey, Abstract No. 121, Collin County, Texas, and being part of a called 42.058 acre tract of land conveyed by General Warranty Deed from Idena, LLC to 3002 HOP, Ltd., executed May 9, 2016, as recorded in Instrument No. 20160511000577640, Official Public Records, Collin County, Texas (O.P.R.C.C.T.), said 65,859 square feet (1.5119 Acres) of land being more particularly described by metes and bounds as follows:

COMMENCING at a found 1/2 inch iron pipe (controlling monument) for the southwest corner of said 3002 HOP, Ltd. tract, being on the north line of a called 57 acre tract of land conveyed in a deed to Iola K. Albright, executed December 15, 1964, as recorded in Volume 700, Page 110, said Official Public Records (O.P.R.C.C.T.);

THENCE North 89 degrees 29 minutes 42 seconds East, along the south line of said 3002 HOP, Ltd. tract and the north line of said Iola K. Albright tract, a distance of 1,503.68 feet to a 5/8 inch iron rod with pink plastic cap stamped "TEXAS DEPARTMENT OF TRANSPORTATION ROW MONUMENT"* (hereafter referred to as a set "TxDOT" monument) on the new west right of way line of State Highway 205 (a variable width right of way), and at the POINT OF BEGINNING, and being 75.00 feet left of Station 1210+20.07, and have a N.A.D. 83 (2011 Adjustment), Texas State Plane North Central Zone (4202) surface coordinate of Northing 7,058,577.42 and Easting 2,594,774.76, being the beginning of a curve to the left;

1) THENCE departing the south line of said 3002 HOP, Ltd. tract and the north line of said Iola K. Albright tract, along the new west right of way line of said State Highway 205, 1,222.51 feet along the arc of said curve to the left, through a central angle of 10 degrees 06 minutes 53 seconds, having a radius of 6,925.00 feet and long chord which bears North 13 degrees 16 minutes 52 seconds East, 1,220.92 feet to a set "TxDOT" monument* on the north line of said 3002 HOP, Ltd. tract and the south line of a called 3.401 acre tract of land conveyed as Tract No. 4 in a deed to DPB Investments, LP executed January 1, 2010, as recorded in Instrument No. 201110606000576510, said Office Public Records (O.P.R.C.C.T.);

2) THENCE South 88 degrees 14 minutes 55 seconds East, departing the new west right of way line of said State Highway 205, along the north line of said 3002 HOP, Ltd. tract and the south line of said DPB Investments, LP Tract No. 4, a distance of 41.31 feet to a found 3/8 inch

iron rod (controlling monument) for the northeast corner of said 3002 HOP, Ltd. tract and the southeast corner of said DPB Investments, LP Tract No. 4, on the existing west right of way line of State Highway 205 (a 100 feet wide right of way) described in a deed to the State of Texas, as recorded in Volume 388, Page 365, Deed Records, Collin County, Texas (D.R.C.C.T.), being the beginning of a curve to the right;

3) THENCE departing the north line of said 3002 HOP, Ltd. tract and the south line of said DPB Investments, LP Tract No 4, along the existing west right of way line of said State Highway 205 and the east line of said 3002 HOP, Ltd. tract, 1,216.88 feet along the arc of said curve to the right, through a central angle of 12 degrees 16 minutes 33 seconds, having a radius of 5,679.58 feet and a long chord which bears South 12 degrees 20 minutes 55 seconds West, 1,214.56 feet to a found 3/8 inch iron rod with cap stamped "ROOKE" or "ROOME" for the southeast corner of said 3002 HOP, Ltd. tract and the northeast corner of said Iola K. Albright tract.

April 5, 2022 Boundary

CITY OF WYLIE and **CITY OF LAVON**

CURRENT BOUNDARY



NEW BOUNDARY





Wylie City Council

AGENDA REPORT

Department: City Manager
 Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, the appointment of a board member to the North Texas Municipal Water District (NTMWD) Board to fill an expired term of June 1, 2022 to May 31, 2024.

Recommendation

A motion to appoint _____ to the North Texas Municipal Water District (NTMWD) Board of Directors for a term to begin June 1, 2022 and end May 31, 2024.

Discussion

The Board of Directors of the North Texas Municipal Water District is a policy making body similar in nature to the City Council. The Board is responsible to both the State of Texas and to the member Cities for assuring that NTMWD operations occur in accordance with state and federal law, in alignment with NTMWD policy, and in the best interests of the Cities receiving services.

In accordance with the statute creating the District (Article 8280-141), the qualifications of a director include the following: “No person shall be appointed a Director unless he resides in the city from which he is appointed. No member of a governing body of a city and no employee of a city shall be appointed as a Director.” Under other state law, no other government official that receives compensation could be appointed.

NTMWD’s existing Board (13-member cities) is comprised of individuals who have worked to represent their communities in other capacities and who have a solid understanding of municipal concerns to share with other Directors. Historically, Directors have dedicated from 10 to 30 years of service to the Board, thereby gaining experience and contributing the necessary leadership. This provides the maximum benefit in order to assure the city’s needs are met in the most effective manner. All NTMWD programs provide service based on cost to serve, with all cities provided equal treatment. Therefore, NTMWD policy established by the Board of Directors affects cost, performance, and quality of service.

The City of Wylie has two board members on the NTMWD Board; Mr. Marvin Fuller whose term expires May 31, 2022 and Mr. Keith Stephens whose term expires May 31, 2023.



Regional. Reliable. Everyday.

March 15, 2022

Mr. Brent Parker, Interim City Manager
City of Wylie
300 Country Club Road
Wylie, Texas 75098

RE: NTMWD BOARD MEMBER APPOINTMENT

Dear Mr. Parker:

The current term of office for some of the Directors of the North Texas Municipal Water District (NTMWD) Board will end in May. Please accept this as your official notification that Mr. Marvin Fuller's current term as an NTMWD Board Director will expire on May 31, 2022. The City Council has the option to either reappoint Mr. Fuller or appoint a new Director to serve the term from June 1, 2022, to May 31, 2024.

Mr. Fuller was appointed by the City of Wylie in 1996, and we appreciate the service he has provided to the NTMWD. He has been a leader on the Board serving as President, Vice President, and Secretary. Mr. Fuller currently serves as Chairman of the Legislative Committee and on the Policy, Real Estate and Wastewater Committees.

In accordance with the statute creating the District (Article 8280-141), the qualifications of a Director include the following: "No person shall be appointed a Director unless he resides in and owns taxable property in the city from which he is appointed. No member of a governing body of a city, and no employee of a city, shall be appointed as a Director." Under other state law, no other public official that receives compensation could be appointed. A list of roles and responsibilities of an NTMWD Board member is enclosed for reference.

Please notify my office in writing once the City Council has appointed a Director for the new term. Should you have any questions or need additional information, please do not hesitate to contact my office.

Sincerely,

JENNAFER P. COVINGTON
Executive Director

JPC/sks

Enclosure

cc: Mr. Marvin Fuller
Ms. Stephanie Storm, City Secretary



NTMWD BOARD OF DIRECTORS ROLES AND RESPONSIBILITIES

The North Texas Municipal Water District (NTMWD) Board of Directors serves as the governing body of NTMWD. The Board of Directors guides the NTMWD towards a sustainable future by adopting sound governance and financial management policies and ensuring adequate resources to meet the region's needs. The Board has a responsibility to provide guidance to management and staff and ensure operations run smoothly and in accordance with the law. Some specific responsibilities of the Board of Directors include:

- Establish and support the NTMWD mission and purpose
- Select and evaluate the Executive Director/General Manager
- Set policies and ensure effective planning
- Ensure adequate financial resources
- Monitor and strengthen essential programs and services
- Protect assets and provide proper financial oversight
- Ensure legal and ethical integrity
- Enhance the organization's public standing

The Board of Directors meets monthly – generally on the 4th Thursday of each month. This schedule may be adjusted due to holidays. Some Directors will meet mid-month as well depending on their Committee assignment.

The Board of Directors also meets in Special Workshops semi-annually for long-term planning as well as on an as-needed basis for other purposes.

Each Board member serves on at least two standing Committees, such as:

- Water
- Wastewater
- Solid Waste
- Finance
- Personnel
- Real Estate

Directors may also serve on the Legislative Committee, Special Purposes Committees as needed, and the Chairman of each Committee serves on the Policy Committee.



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, Resolution No. 2022-13(R) casting a nomination for a candidate for the Board of Directors of the Collin Central Appraisal District.

Recommendation

Motion to approve Resolution No. 2022-13(R) casting a nomination for _____ as a candidate for the Board of Directors of the Collin Central Appraisal District.

Discussion

A vacancy has occurred on the Collin Central Appraisal District Board of Directors. Per Texas Property Tax Code Sec. 6.03(L), "If a vacancy occurs on the board of directors other than a vacancy in the position held by a county assessor-collector serving as a nonvoting director, each taxing unit that is entitled to vote by this section may nominate by resolution adopted by its governing body a candidate to fill the vacancy. The unit shall submit the name of its nominee to the chief appraiser within 45 days after notification from the board of directors of the existence of the vacancy, and the chief appraiser shall prepare and deliver to the board of directors within the next five days a list of the nominees. The board of directors shall elect by majority vote of its members one of the nominees to fill the vacancy."

There is not a list of candidates for this portion of the Board of Directors election; therefore, Council can nominate who they think would be best.

Financial Summary/Strategic Goals

Community Focused Government

RESOLUTION NO. 2022-13(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, COLLIN COUNTY, TEXAS, CASTING A NOMINATION FOR A CANDIDATE FOR THE BOARD OF DIRECTORS OF THE COLLIN CENTRAL APPRAISAL DISTRICT IN ACCORDANCE WITH SECTION 6.03(L) OF THE TEXAS PROPERTY TAX CODE, AND DIRECTING THAT THE CITY SECRETARY NOTIFY INTERESTED PARTIES OF SAID ACTION.

WHEREAS, in accordance with Section 6.03(L) of the State Property Tax Code, the City of Wylie may nominate a candidate to fill a vacancy for the Board of Directors of the Central Appraisal District; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1. The City Council of the City of Wylie, Texas does hereby nominate _____ as a candidate for the Board of Directors of the Collin Central Appraisal District.

SECTION 2. The City Secretary is hereby directed to submit the official nomination, written Resolution, and notify all appropriate parties of this action.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas on this 26th day of April 2022.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary



Collin Central Appraisal District

April 7, 2022

Stephanie Storm, City Secretary
City of Wylie
300 Country Club
Wylie, TX 75098

RE: Board of Directors Vacancy

Dear Ms. Storm:

Please be advised that the District's board of directors now has a vacancy, and this letter is the first step in filling the vacancy. The details of the vacancy are as follows.

Name: Earnest R. Burke

Nature of Resignation: Medical

Date of Resignation: March 30, 2022

Original Term of Office: January 1, 2022 – December 31, 2023

Vacated Board Term to Complete: Election Date (May 2022 est.) - December 31, 2023

Property Tax Code Section 6.03(L)

If a vacancy occurs on the board of directors other than a vacancy in the position held by a county assessor-collector serving as a nonvoting director, each taxing unit that is entitled to vote by this section may nominate by resolution adopted by its governing body a candidate to fill the vacancy. The unit shall submit the name of its nominee to the chief appraiser within 45 days after notification from the board of directors of the existence of the vacancy, and the chief appraiser shall prepare and deliver to the board of directors within the next five days a list of the nominees. The board of directors shall elect by majority vote of its members one of the nominees to fill the vacancy.

Mr. Burke's Election Information

Nominating Entity: Plano ISD

Entities Casting Votes for Mr. Burke: Collin College, McKinney ISD, Plano ISD, City of Richardson & City of Sachse

Step 1: Nominations

A taxing unit's nomination must be made in an open meeting and a written resolution from the presiding officer of your governing body must be submitted to the Chief Appraiser by May 23, 2022. The resolution should include the name and address of the candidate nominated. To be eligible to serve on the board, an individual must be a resident of the district and must have resided in the district for at least two years immediately preceding the date they take office.

Step 2: Election of Board Member (vacancy)

By May 28, 2022, the chief appraiser must submit a list of nominees to the board of directors. The board of directors, by a majority vote, will elect one of the nominees to fill the vacancy.

Step 3: Election Results

The chief appraiser will notify the taxing units regarding the board's election of the member to complete Mr. Burke's vacated term.

Notes:

The process for filling a vacancy on the District's Board of Directors is outlined in the Texas Property Tax Code, § 6.03(L) and differs from the original election of board members. The role of our taxing units in filling a vacancy is to nominate and each taxing unit is entitled to nominate only one candidate. In this election the board of directors elects the new board member to fill the vacancy. Therefore, there is not an allocation of votes or a ballot.

Sincerely,



Gary Rodenbaugh, Chairman



Brian Mantzey, Secretary

CC: Bo Daffin, Chief Appraiser



Wylie City Council

AGENDA REPORT

Department: Public Works

Account Code: 100-5411-54990

Prepared By: Tim Porter

Subject

Consider, and act upon, Resolution No. 2022-14(R) authorizing the Interim City Manager of the City of Wylie, Texas, or his designee, to execute an Advance Funding Agreement between the State of Texas and the City of Wylie, and to take any and all other actions necessary to effectuate the same; and providing for an effective date hereof.

Recommendation

Motion to approve Item as presented.

Discussion

Improvements to the intersections of FM 544 & McCreary Road and Hwy 78 & E Brown Street have been selected to receive funding from the Texas Department of Transportation's (TxDOT) Highway Safety Improvement Program (HSIP). The attached Advance Funding Agreement (AFA) specifies the terms and conditions of the funding as well as the project cost.

Council previously approved a contract with Kimley-Horn and Associates, Inc. for design and TxDOT coordination services regarding this project and the construction plans are currently 95% complete. TxDOT must encumber the construction funding for this project by June 2022 and as well, plans must be finalized in the Spring 2022 for this project to be successful.

Under this agreement, the City agrees to pay TxDOT approximately 7% of the total project costs. A summary of the costs is outlined below.

Description	Local Entity Cost	Federal/State Cost	Amount Owed to State
Engineering	\$98,000	\$0	\$0
Construction	\$0	\$1,204,609	\$0
Direct Costs	\$112,510	\$0	\$112,510
Indirect State Cost	\$0	\$62,134	\$0
<i>Totals:</i>	<i>\$210,510</i>	<i>\$1,266,743.45</i>	<i>\$112,510</i>

Since TxDOT requires that only the lead local entity enter into the AFA, Wylie must execute this contract directly with the State. Staff has reached out to the City of Murphy to participate and is working on language for an ILA regarding the estimated \$60,207 match, which includes engineering design.

Funds for this project will be from General Funds-Streets as outlined in the budget and carried forward from Fiscal Year 2020-2021. Staff recommends use of these funds for the City's Local Participation match outlined in Attachment C of the AFA document.

Financial Summary/Strategic Goals

Infrastructure.

RESOLUTION NO. 2022-14(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, AUTHORIZING THE INTERIM CITY MANAGER OF THE CITY OF WYLIE, TEXAS, OR HIS DESIGNEE, TO EXECUTE AN ADVANCE FUNDING AGREEMENT BETWEEN THE STATE OF TEXAS AND THE CITY OF WYLIE, AND TO TAKE ANY AND ALL OTHER ACTIONS NECESSARY TO EFFECTUATE THE SAME; AND PROVIDING FOR AN EFFECTIVE DATE HEREOF.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1. The Interim City Manager, or his designee, is hereby authorized to execute, on behalf of the City of Wylie, the Advance Funding Agreement with the State of Texas, in the form attached hereto as Exhibit 1, and to take any and all other actions necessary to effectuate the same. Should the final, executed version of the Agreement be modified from the version attached as Exhibit 1, such final, executed version shall replace Exhibit 1 of this Resolution for all purposes.

SECTION 2. A copy of this Resolution shall be forwarded to the Texas Department of Transportation.

SECTION 3. This Resolution shall be effective immediately upon its passage.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS on this 26th day of April, 2022.

Matthew Porter, Mayor

ATTEST TO:

Stephanie Storm, City Secretary

Exhibit 1
Form of Agreement

[19 pages attached hereto]

TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 - Dallas	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
Project Name	SH 78 at E. Brown St.; FM 544 intersection of FM 544 McCreary Rd.			AFA Not Used For Research & Development	

STATE OF TEXAS §

COUNTY OF TRAVIS §

ADVANCE FUNDING AGREEMENT For Highway Safety Improvement Program Project On-System

THIS AGREEMENT (Agreement) is made by and between the State of Texas, acting by and through the **Texas Department of Transportation** called the “State”, and the **City of Wylie**, acting by and through its duly authorized officials, called the “Local Government”. The State and Local Government shall be collectively referred to as “the parties” hereinafter.

WITNESSETH

WHEREAS, federal law establishes federally funded programs for transportation improvements to implement its public purposes, and

WHEREAS, the Texas Transportation Code, Section 201.103 establishes that the State shall design, construct and operate a system of highways in cooperation with local governments, and Section 222.052 authorizes the Texas Transportation Commission to accept contributions from political subdivisions for development and construction of public roads and the state highway system within the political subdivision, and

WHEREAS, federal and state laws require local governments to meet certain contract standards relating to the management and administration of State and federal funds, and

WHEREAS, the Texas Transportation Commission has codified 43 TAC, Rules 15.50-15.56 that describe federal, state, and local responsibilities for cost participation in highway improvement and other transportation projects, and

WHEREAS, the Texas Transportation Commission passed Minute Order Number **116073** authorizing the State to undertake and complete a highway improvement or other transportation project generally described as **improving traffic signals, improving pedestrian signals and adding left turn lane**. The portion of the project work covered by this Agreement is identified in the Agreement, Article 3, Scope of Work (Project), and

WHEREAS, the Governing Body of the Local Government has approved entering into this Agreement by resolution, ordinance, or commissioners court order dated **{Enter Date of Resolution}**, which is attached to and made a part of this Agreement as Attachment C, Resolution, Ordinance, or Commissioners Court Order (Attachment C). A map showing the

TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 - Dallas	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
Project Name	SH 78 at E. Brown St.; FM 544 intersection of FM 544 McCreary Rd.			<i>AFA Not Used For Research & Development</i>	

Project location appears in Attachment A, Location Map Showing Project (Attachment A), which is attached to and made a part of this Agreement.

NOW, THEREFORE, in consideration of the premises and of the mutual covenants and agreements of the parties, to be by them respectively kept and performed as set forth in this Agreement, it is agreed as follows:

AGREEMENT

1. Responsible Parties:

For the Project covered by this Agreement, the parties shall be responsible for the following work as stated in the article of the Agreement referenced in the table below:

1.	Local Government	Utilities	Article 8
2.	Local Government	Environmental Assessment and Mitigation	Article 9
3.	Local Government	Architectural and Engineering Services	Article 11
4.	State	Construction Responsibilities	Article 12
5.	Local Government	Right of Way and Real Property	Article 14

2. Period of the Agreement

This Agreement becomes effective when signed by the last party whose signing makes the Agreement fully executed. This Agreement shall remain in effect until the Project is completed or unless terminated as provided below.

3. Scope of Work

The scope of work for the Project consists of – CSJ 0281-02-075, improving traffic signals, improving pedestrian signals and adding left turn lane on SH 78 at East Brown Street and CSJ 0619-03-0364, improving traffic signals, improving pedestrian signals and adding left turn lane at the intersection of FM 544 at McCreary Road as shown in Attachment B, Location Map.

4. Project Sources and Uses of Funds

The total estimated cost of the Project is shown in Attachment B, Project Budget (Attachment B) which is attached to and made a part of this Agreement.

- A. If the Local Government will perform any work under this Agreement for which reimbursement will be provided by or through the State, the Local Government must complete training. If federal funds are being used, the training must be completed before federal spending authority is obligated. Training is complete when at least one individual who is working actively and directly on the Project successfully completes and receives a certificate for the course entitled “Local Government Project Procedures and Qualification for the Texas Department of Transportation” and retains qualification in accordance with applicable TxDOT procedures. Upon request, the Local Government shall provide the certificate of qualification to the State. The individual who receives the training certificate may

TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 - Dallas	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
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be an employee of the Local Government or an employee of a firm that has been contracted by the Local Government to perform oversight of the Project. The State in its discretion may deny reimbursement if the Local Government has not continuously designated in writing a qualified individual to work actively on or to directly oversee the Project.

- B. The expected cash contributions from the federal government, the State, the Local Government, or other parties are shown in Attachment B. The State will pay for only those Project costs that have been approved by the Texas Transportation Commission. For projects with federal funds, the State and the federal government will not reimburse the Local Government for any work performed before the federal spending authority is formally obligated to the Project by the Federal Highway Administration (FHWA). After federal funds have been obligated, the State will send to the Local Government a copy of the formal documentation showing the obligation of funds including federal award information. The Local Government is responsible for 100% of the cost of any work performed under its direction or control before the federal spending authority is formally obligated.
- C. Attachment B shows, by major cost categories, the cost estimates and the party responsible for performing the work for each category. These categories may include but are not limited to: (1) costs of real property; (2) costs of utility work; (3) costs of environmental assessment and remediation; (4) cost of preliminary engineering and design; (5) cost of construction and construction management; and (6) any other local project costs.
- D. The State will be responsible for securing the federal and State share of the funding required for the development and construction of the local Project. If the Local Government is due funds for expenses incurred, these funds will be reimbursed to the Local Government on a cost basis.
- E. The Local Government will be responsible for all non-federal or non-State participation costs associated with the Project, unless otherwise provided for in this Agreement or approved otherwise in an amendment to this Agreement. For items of work subject to specified percentage funding, the Local Government shall only in those instances be responsible for all Project costs that are greater than the maximum State and federal participation specified in Attachment B and for overruns in excess of the amount specified in Attachment B to be paid by the Local Government.
- F. The budget in Attachment B will clearly state all items subject to fixed price funding, specified percentage funding, and the periodic payment schedule, when periodic payments have been approved by the State.
- G. When the Local Government bears the responsibility for paying cost overruns, the Local Government shall make payment to the State within thirty (30) days from the receipt of the State's written notification of additional funds being due.
- H. When fixed price funding is used, the Local Government is responsible for the fixed price amount specified in Attachment B. Fixed prices are not subject to adjustment unless (1) differing site conditions are encountered; (2) further definition of the Local Government's requested scope of work identifies greatly differing costs from those estimated; (3) work requested by the Local

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- Government is determined to be ineligible for federal participation; or (4) the adjustment is mutually agreed to by the State and the Local Government.
- I. Prior to the performance of any engineering review work by the State, the Local Government will pay to the State the amount specified in Attachment B. At a minimum, this amount shall equal the Local Government's funding share for the estimated cost of preliminary engineering performed or reviewed by the State for the Project. At least sixty (60) days prior to the date set for receipt of the construction bids, the Local Government shall remit its remaining financial share for the State's estimated construction oversight and construction cost.
 - J. The State will not execute the contract for the construction of the Project until the required funding has been made available by the Local Government in accordance with this Agreement.
 - K. Whenever funds are paid by the Local Government to the State under this Agreement, the Local Government shall remit a check or warrant made payable to the "Texas Department of Transportation" or may use the State's Automated Clearing House (ACH) system for electronic transfer of funds in accordance with instructions provided by TxDOT's Finance Division. The funds shall be deposited and managed by the State and may only be applied by the State to the Project.
 - L. The State will not pay interest on any funds provided by the Local Government.
 - M. If a waiver for the collection of indirect costs for a service project has been granted under 43 TAC §15.56, the State will not charge the Local Government for the indirect costs the State incurs on the Project, unless this Agreement is terminated at the request of the Local Government prior to completion of the Project.
 - N. If the Local Government is an Economically Disadvantaged County (EDC) and if the State has approved adjustments to the standard financing arrangement, this Agreement reflects those adjustments.
 - O. Where the Local Government is authorized to perform services under this Agreement and be reimbursed by the State, the Local Government is authorized to submit requests for reimbursement by submitting the original of an itemized invoice, in a form and containing all items required by the State, no more frequently than monthly and no later than ninety (90) days after costs are incurred. If the Local Government submits invoices more than ninety (90) days after the costs are incurred and if federal funding is reduced as a result, the State shall have no responsibility to reimburse the Local Government for those costs.
 - P. Upon completion of the Project, the State will perform a final accounting of the Project costs for all items of work with specified percentage funding. Any funds due by the Local Government, the State, or the federal government for these work items will be promptly paid by the owing party.
 - Q. The state auditor may conduct an audit or investigation of any entity receiving funds from the State directly under this Agreement or indirectly through a subcontract under this Agreement. Acceptance of funds directly under this Agreement or indirectly through a subcontract under this Agreement acts as acceptance of the authority of the state auditor, under the direction of the legislative audit committee, to conduct an audit or investigation in connection with those funds. An entity that is the subject of an audit or investigation must provide

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the state auditor with access to any information the state auditor considers relevant to the investigation or audit.

- R. Payment under this Agreement beyond the end of the current fiscal biennium is subject to availability of appropriated funds. If funds are not appropriated, this Agreement shall be terminated immediately with no liability to either party.

5. Termination of This Agreement

This Agreement shall remain in effect until the Project is completed and accepted by all parties, unless:

- A. The Agreement is terminated in writing with the mutual consent of the parties;
- B. The Agreement is terminated by one party because of a breach, in which case any costs incurred because of the breach shall be paid by the breaching party;
- C. The Local Government elects not to provide funding after the completion of preliminary engineering, specifications, and estimates (PS&E) and the Project does not proceed because of insufficient funds, in which case the Local Government agrees to reimburse the State for its reasonable actual costs incurred during the Project; or
- D. The Agreement is terminated by the State because the parties are not able to execute a mutually agreeable amendment when the costs for Local Government requested items increase significantly due to differing site conditions, determination that Local government requested work is ineligible for federal or state cost participation, or a more thorough definition of the Local Government's proposed work scope identifies greatly differing costs from those estimated. The State will reimburse Local Government remaining funds to the Local Government within ninety (90) days of termination; or
- E. The Project is inactive for thirty-six (36) consecutive months or longer and no expenditures have been charged against federal funds, in which case the State may in its discretion terminate this Agreement.

6. Amendments

Amendments to this Agreement due to changes in the character of the work, terms of the Agreement, or responsibilities of the parties relating to the Project may be enacted through a mutually agreed upon, written amendment.

7. Remedies

This Agreement shall not be considered as specifying the exclusive remedy for any agreement default, but all remedies existing at law and in equity may be availed of by either party to this Agreement and shall be cumulative.

8. Utilities

The party named in Article 1, Responsible Parties, under AGREEMENT shall be responsible for the adjustment, removal, or relocation of utility facilities in accordance with applicable state laws, regulations, rules, policies, and procedures, including any cost to the State of a delay resulting from the Local Government's failure to ensure that utility facilities are adjusted, removed, or relocated before the scheduled beginning of construction. The Local Government will not be reimbursed with federal or State funds

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for the cost of required utility work. The Local Government must obtain advance approval for any variance from established procedures. Before a construction contract is let, the Local Government shall provide, at the State's request, a certification stating that the Local Government has completed the adjustment of all utilities that must be adjusted before construction is commenced.

9. Environmental Assessment and Mitigation

Development of a transportation project must comply with the National Environmental Policy Act and the National Historic Preservation Act of 1966, which require environmental clearance of federal-aid projects. The party named in Article 1, Responsible Parties, under AGREEMENT is responsible for the following:

- A. The identification and assessment of any environmental problems associated with the development of a local project governed by this Agreement.
- B. The cost of any environmental problem's mitigation and remediation.
- C. Providing any public meetings or public hearings required for the environmental assessment process. Public hearings will not be held prior to the approval of the Project schematic.
- D. The preparation of the NEPA documents required for the environmental clearance of this Project.

If the Local Government is responsible for the environmental assessment and mitigation, before the advertisement for bids, the Local Government shall provide to the State written documentation from the appropriate regulatory agency or agencies that all environmental clearances have been obtained.

10. Compliance with Accessibility Standards

All parties to this Agreement shall ensure that the plans for and the construction of all projects subject to this Agreement are in compliance with standards issued or approved by the Texas Department of Licensing and Regulation (TDLR) as meeting or consistent with minimum accessibility requirements of the Americans with Disabilities Act (P.L. 101-336) (ADA).

11. Architectural and Engineering Services

The party named in Article 1, Responsible Parties, under AGREEMENT has responsibility for the performance of architectural and engineering services. The engineering plans shall be developed in accordance with the applicable State's *Standard Specifications for Construction and Maintenance of Highways, Streets and Bridges* and the special specifications and special provisions related to it. For projects on the State highway system, the design shall, at a minimum conform to applicable State manuals. For projects not on the State highway system, the design shall, at a minimum, conform to applicable American Association of State Highway and Transportation Officials (AASHTO) design standards.

In procuring professional services, the parties to this Agreement must comply with federal requirements cited in 23 CFR Part 172 if the Project is federally funded and with Texas Government Code 2254, Subchapter A, in all cases. Professional contracts for

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federally funded projects must conform to federal requirements, specifically including the provision for participation by Disadvantaged Business Enterprises (DBEs), ADA, and environmental matters. If the Local Government is the responsible party, the Local Government shall submit its procurement selection process for prior approval by the State. All professional services contracts must be reviewed and approved by the State prior to execution by the Local Government.

12. Construction Responsibilities

The party named in Article 1, Responsible Parties, under AGREEMENT is responsible for the following:

- A. Advertise for construction bids, issue bid proposals, receive and tabulate the bids, and award and administer the contract for construction of the Project. Administration of the contract includes the responsibility for construction engineering and for issuance of any change orders, supplemental agreements, amendments, or additional work orders that may become necessary subsequent to the award of the construction contract. In order to ensure federal funding eligibility, projects must be authorized by the State prior to advertising for construction.
- B. If the State is the responsible party, the State will use its approved contract letting and award procedures to let and award the construction contract.
- C. If the Local Government is the responsible party, the Local Government shall submit its contract letting and award procedures to the State for review and approval prior to letting.
- D. If the Local Government is the responsible party, the State must concur with the low bidder selection before the Local Government can enter into a contract with the vendor.
- E. If the Local Government is the responsible party, the State must review and approve change orders.
- F. Upon completion of the Project, the party responsible for constructing the Project will issue and sign a "Notification of Completion" acknowledging the Project's construction completion and submit certification(s) sealed by a professional engineer(s) licensed in the State of Texas.
- G. For federally funded contracts, the parties to this Agreement will comply with federal construction requirements cited in 23 CFR Part 635 and with requirements cited in 23 CFR Part 633, and shall include the latest version of Form "FHWA-1273" in the contract bidding documents. If force account work will be performed, a finding of cost effectiveness shall be made in compliance with 23 CFR 635, Subpart B.

13. Project Maintenance

The Local Government shall be responsible for maintenance of locally owned roads and locally owned facilities after completion of the work. The State shall be responsible for maintenance of the State highway system after completion of the work if the work was on the State highway system, unless otherwise provided for in existing maintenance agreements with the Local Government.

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14. Right of Way and Real Property

The party named in Article 1, Responsible Parties, under AGREEMENT is responsible for the provision and acquisition of any needed right of way or real property.

The Local Government shall be responsible for the following:

- A. Right of way and real property acquisition shall be the responsibility of the Local Government. Title to right of way and other related real property must be acceptable to the State before funds may be expended for the improvement of the right of way or real property.
- B. If the Local Government is the owner of any part of the Project site under this Agreement, the Local Government shall permit the State or its authorized representative access to occupy the site to perform all activities required to execute the work.
- C. All parties to this Agreement will comply with and assume the costs for compliance with all the requirements of Title II and Title III of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, Title 42 U.S.C.A. Section 4601 et seq., including those provisions relating to incidental expenses incurred by the property owners in conveying the real property to the Local Government and benefits applicable to the relocation of any displaced person as defined in 49 CFR Section 24.2(g). Documentation to support such compliance must be maintained and made available to the State and its representatives for review and inspection.
- D. The Local Government shall assume all costs and perform necessary requirements to provide any necessary evidence of title or right of use in the name of the Local Government to the real property required for development of the Project. The evidence of title or rights shall be acceptable to the State, and be free and clear of all encroachments. The Local Government shall secure and provide easements and any needed rights of entry over any other land needed to develop the Project according to the approved Project plans. The Local Government shall be responsible for securing any additional real property required for completion of the Project.
- E. In the event real property is donated to the Local Government after the date of the State's authorization, the Local Government will provide all documentation to the State regarding fair market value of the acquired property. The State will review the Local Government's appraisal, determine the fair market value and credit that amount towards the Local Government's financial share. If donated property is to be used as a funding match, it may not be provided by the Local Government. The State will not reimburse the Local Government for any real property acquired before execution of this Agreement and the obligation of federal spending authority.
- F. The Local Government shall prepare real property maps, property descriptions, and other data as needed to properly describe the real property and submit them to the State for approval prior to the Local Government acquiring the real property. Tracings of the maps shall be retained by the Local Government for a permanent record.

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- G. The Local Government agrees to make a determination of property values for each real property parcel by methods acceptable to the State and to submit to the State a tabulation of the values so determined, signed by the appropriate Local Government representative. The tabulations shall list the parcel numbers, ownership, acreage and recommended compensation. Compensation shall be shown in the component parts of land acquired, itemization of improvements acquired, damages (if any) and the amounts by which the total compensation will be reduced if the owner retains improvements. This tabulation shall be accompanied by an explanation to support the determined values, together with a copy of information or reports used in calculating all determined values. Expenses incurred by the Local Government in performing this work may be eligible for reimbursement after the Local Government has received written authorization by the State to proceed with determination of real property values. The State will review the data submitted and may base its reimbursement for parcel acquisitions on these values.
- H. Reimbursement for real property costs will be made to the Local Government for real property purchased in an amount not to exceed eighty percent (80%) of the cost of the real property purchased in accordance with the terms and provisions of this Agreement. Reimbursement will be in an amount not to exceed eighty percent (80%) of the State's predetermined value of each parcel, or the net cost of the parcel, whichever is less. In addition, reimbursement will be made to the Local Government for necessary payments to appraisers, expenses incurred in order to assure good title, and costs associated with the relocation of displaced persons and personal property as well as incidental expenses.
- I. If the Project requires the use of real property to which the Local Government will not hold title, a separate agreement between the owners of the real property and the Local Government must be executed prior to execution of this Agreement. The separate agreement must establish that the Project will be dedicated for public use for a period of not less than 10 (ten) years after completion. The separate agreement must define the responsibilities of the parties as to the use of the real property and operation and maintenance of the Project after completion. The separate agreement must be approved by the State prior to its execution. A copy of the executed agreement shall be provided to the State.

15. Insurance

If this Agreement authorizes the Local Government or its contractor to perform any work on State right of way, before beginning work, the entity performing the work shall provide the State with a fully executed copy of the State's Form 1560 Certificate of Insurance verifying the existence of coverage in the amounts and types specified on the Certificate of Insurance for all persons and entities working on State right of way. This coverage shall be maintained until all work on the State right of way is complete. If coverage is not maintained, all work on State right of way shall cease immediately, and the State may recover damages and all costs of completing the work.

16. Notices

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All notices to either party shall be delivered personally or sent by certified or U.S. mail, postage prepaid, addressed to that party at the following address:

Local Government:	State:
City of Wylie 300 Country Club Dr. #100 Wylie, TX 75098	Texas Department of Transportation ATTN: Director of Contract Services 125 E. 11 th Street Austin, TX 78701

All notices shall be deemed given on the date delivered in person or deposited in the mail, unless otherwise provided by this Agreement. Either party may change the above address by sending written notice of the change to the other party. Either party may request in writing that notices shall be delivered personally or by certified U.S. mail, and that request shall be carried out by the other party.

17. Legal Construction

If one or more of the provisions contained in this Agreement shall for any reason be held invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provisions and this Agreement shall be construed as if it did not contain the invalid, illegal, or unenforceable provision.

18. Responsibilities of the Parties

The State and the Local Government agree that neither party is an agent, servant, or employee of the other party, and each party agrees it is responsible for its individual acts and deeds as well as the acts and deeds of its contractors, employees, representatives, and agents.

19. Ownership of Documents

Upon completion or termination of this Agreement, all documents prepared by the State shall remain the property of the State. All data and information prepared under this Agreement shall be made available to the State without restriction or limitation on their further use. All documents produced or approved or otherwise created by the Local Government shall be transmitted to the State, in the format directed by the State, on a monthly basis or as required by the State. The originals shall remain the property of the Local Government.

20. Compliance with Laws

The parties to this Agreement shall comply with all federal, state, and local laws, statutes, ordinances, rules and regulations, and the orders and decrees of any courts or administrative bodies or tribunals in any manner affecting the performance of this Agreement. When required, the Local Government shall furnish the State with satisfactory proof of this compliance.

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21. Sole Agreement

This Agreement constitutes the sole and only agreement between the parties and supersedes any prior understandings or written or oral agreements respecting the Agreement's subject matter.

22. Cost Principles

In order to be reimbursed with federal funds, the parties shall comply with the cost principles established in 2 CFR 200 that specify that all reimbursed costs are allowable, reasonable, and allocable to the Project.

23. Procurement and Property Management Standards

The parties to this Agreement shall adhere to the procurement and property management standards established in 2 CFR 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards, and to the Texas Uniform Grant Management Standards. The State must pre-approve the Local Government's procurement procedures for purchases to be eligible for state or federal funds.

24. Inspection of Books and Records

The parties to this Agreement shall maintain all books, documents, papers, accounting records, and other documentation relating to costs incurred under this Agreement and shall make such materials available to the State, the Local Government, and, if federally funded, the FHWA and the U.S. Office of the Inspector General or their duly authorized representatives for review and inspection at its office during the Agreement period and for seven (7) years from the date of final reimbursement by FHWA under this Agreement or until any impending litigation or claims are resolved. Additionally, the State, the Local Government, and the FHWA and their duly authorized representatives shall have access to all the governmental records that are directly applicable to this Agreement for the purpose of making audits, examinations, excerpts, and transcriptions.

25. Civil Rights Compliance

The parties to this Agreement are responsible for the following:

- A. Compliance with Regulations: Both parties will comply with the Acts and the Regulations relative to Nondiscrimination in Federally-assisted programs of the U.S. Department of Transportation (USDOT), the Federal Highway Administration (FHWA), as they may be amended from time to time, which are herein incorporated by reference and made part of this Agreement.
- B. Nondiscrimination: The Local Government, with regard to the work performed by it during the Agreement, will not discriminate on the grounds of race, color, or national origin in the selection and retention of subcontractors, including procurement of materials and leases of equipment. The Local Government will not participate directly or indirectly in the discrimination prohibited by the Acts and the Regulations, including employment practices when the Agreement covers any activity, project, or program set forth in Appendix B of 49 CFR Part 21.

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- C. Solicitations for Subcontracts, Including Procurement of Materials and Equipment: In all solicitations either by competitive bidding or negotiation made by the Local Government for work to be performed under a subcontract, including procurement of materials or leases of equipment, each potential subcontractor or supplier will be notified by the Local Government of the Local Government's obligations under this Agreement and the Acts and Regulations relative to Nondiscrimination on the grounds of race, color, or national origin.
- D. Information and Reports: The Local Government will provide all information and reports required by the Acts, the Regulations, and directives issued pursuant thereto, and will permit access to its books, records, accounts, other sources of information, and facilities as may be determined by the State or the FHWA to be pertinent to ascertain compliance with such Acts, Regulations or directives. Where any information required of the Local Government is in the exclusive possession of another who fails or refuses to furnish this information, the Local Government will so certify to the State or the FHWA, as appropriate, and will set forth what efforts it has made to obtain the information.
- E. Sanctions for Noncompliance: In the event of the Local Government's noncompliance with the Nondiscrimination provisions of this Agreement, the State will impose such contract sanctions as it or the FHWA may determine to be appropriate, including, but not limited to:
1. withholding of payments to the Local Government under the Agreement until the Local Government complies and/or
 2. cancelling, terminating, or suspending of the Agreement, in whole or in part.
- F. Incorporation of Provisions: The Local Government will include the provisions of paragraphs (A) through (F) in every subcontract, including procurement of materials and leases of equipment, unless exempt by the Acts, the Regulations and directives issued pursuant thereto. The Local Government will take such action with respect to any subcontract or procurement as the State or the FHWA may direct as a means of enforcing such provisions including sanctions for noncompliance. Provided, that if the Local Government becomes involved in, or is threatened with, litigation with a subcontractor or supplier because of such direction, the Local Government may request the State to enter into such litigation to protect the interests of the State. In addition, the Local Government may request the United States to enter into such litigation to protect the interests of the United States.

26. Pertinent Non-Discrimination Authorities

During the performance of this Agreement, each party, for itself, its assignees, and successors in interest agree to comply with the following nondiscrimination statutes and authorities; including but not limited to:

- A. Title VI of the Civil Rights Act of 1964 (42 U.S.C. § 2000d et seq., 78 stat. 252), (prohibits discrimination on the basis of race, color, national origin); and 49 CFR Part 21.
- B. The Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, (42 U.S.C. § 4601), (prohibits unfair treatment of persons displaced or

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whose property has been acquired because of federal or federal-aid programs and projects).

- C. Federal-Aid Highway Act of 1973, (23 U.S.C. § 324 et seq.), as amended, (prohibits discrimination on the basis of sex).
- D. Section 504 of the Rehabilitation Act of 1973, (29 U.S.C. § 794 et seq.) as amended, (prohibits discrimination on the basis of disability); and 49 CFR Part 27.
- E. The Age Discrimination Act of 1975, as amended, (42 U.S.C. § 6101 et seq.), (prohibits discrimination on the basis of age).
- F. Airport and Airway Improvement Act of 1982, (49 U.S.C. Chapter 471, Section 47123), as amended, (prohibits discrimination based on race, creed, color, national origin, or sex).
- G. The Civil Rights Restoration Act of 1987, (PL 100-209), (Broadened the scope, coverage and applicability of Title VI of the Civil Rights Act of 1964, The Age Discrimination Act of 1975 and Section 504 of the Rehabilitation Act of 1973, by expanding the definition of the terms “programs or activities” to include all of the programs or activities of the federal-aid recipients, subrecipients and contractors, whether such programs or activities are federally funded or not).
- H. Titles II and III of the Americans with Disabilities Act, which prohibits discrimination on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities (42 U.S.C. §§ 12131-12189) as implemented by Department of Transportation regulations at 49 C.F.R. parts 37 and 38.
- I. The Federal Aviation Administration’s Nondiscrimination statute (49 U.S.C. § 47123) (prohibits discrimination on the basis of race, color, national origin, and sex).
- J. Executive Order 12898, Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations, which ensures nondiscrimination against minority populations by discouraging programs, policies, and activities with disproportionately high and adverse human health or environmental effects on minority and low-income populations.
- K. Executive Order 13166, Improving Access to Services for Persons with Limited English Proficiency, and resulting agency guidance, national origin discrimination includes discrimination because of limited English proficiency (LEP). To ensure compliance with Title VI, the parties must take reasonable steps to ensure that LEP persons have meaningful access to the programs (70 Fed. Reg. at 74087 to 74100).
- L. Title IX of the Education Amendments of 1972, as amended, which prohibits the parties from discriminating because of sex in education programs or activities (20 U.S.C. 1681 et seq.).

27. Disadvantaged Business Enterprise (DBE) Program Requirements

If federal funds are used:

- A. The parties shall comply with the Disadvantaged Business Enterprise Program requirements established in 49 CFR Part 26.

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- B. The Local Government shall adopt, in its totality, the State's federally approved DBE program.
- C. The Local Government shall incorporate into its contracts with subproviders an appropriate DBE goal consistent with the State's DBE guidelines and in consideration of the local market, project size, and nature of the goods or services to be acquired. The Local Government shall submit its proposed scope of services and quantity estimates to the State to allow the State to establish a DBE goal for each Local Government contract with a subprovider. The Local Government shall be responsible for documenting its actions.
- D. The Local Government shall follow all other parts of the State's DBE program referenced in TxDOT Form 2395, Memorandum of Understanding Regarding the Adoption of the Texas Department of Transportation's Federally-Approved Disadvantaged Business Enterprise by Entity, and attachments found at web address http://ftp.dot.state.tx.us/pub/txdot-info/bop/dbe/mou/mou_attachments.pdf.
- E. The Local Government shall not discriminate on the basis of race, color, national origin, or sex in the award and performance of any U.S. Department of Transportation (DOT)-assisted contract or in the administration of its DBE program or the requirements of 49 CFR Part 26. The Local Government shall take all necessary and reasonable steps under 49 CFR Part 26 to ensure non-discrimination in award and administration of DOT-assisted contracts. The State's DBE program, as required by 49 CFR Part 26 and as approved by DOT, is incorporated by reference in this Agreement. Implementation of this program is a legal obligation and failure to carry out its terms shall be treated as a violation of this Agreement. Upon notification to the Local Government of its failure to carry out its approved program, the State may impose sanctions as provided for under 49 CFR Part 26 and may, in appropriate cases, refer the matter for enforcement under 18 U.S.C. 1001 and the Program Fraud Civil Remedies Act of 1986 (31 U.S.C. 3801 et seq.).
- F. Each contract the Local Government signs with a contractor (and each subcontract the prime contractor signs with a sub-contractor) must include the following assurance: *The contractor, sub-recipient, or sub-contractor shall not discriminate on the basis of race, color, national origin, or sex in the performance of this contract. The contractor shall carry out applicable requirements of 49 CFR Part 26 in the award and administration of DOT-assisted contracts. Failure by the contractor to carry out these requirements is a material breach of this Agreement, which may result in the termination of this Agreement or such other remedy as the recipient deems appropriate.*

28. Debarment Certifications

If federal funds are used, the parties are prohibited from making any award at any tier to any party that is debarred or suspended or otherwise excluded from or ineligible for participation in Federal Assistance Programs under Executive Order 12549, "Debarment and Suspension." By executing this Agreement, the Local Government certifies that it and its principals are not currently debarred, suspended, or otherwise excluded from or ineligible for participation in Federal Assistance Programs under Executive Order 12549

TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 - Dallas	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
Project Name	SH 78 at E. Brown St.; FM 544 intersection of FM 544 McCreary Rd.			AFA Not Used For Research & Development	

[14/pdf/2010-22705.pdf](http://www.gpo.gov/fdsys/pkg/FR-2010-09-14/pdf/2010-22705.pdf) and <http://www.gpo.gov/fdsys/pkg/FR-2010-09-14/pdf/2010-22706.pdf>.

- B. The Local Government agrees that it shall:
1. Obtain and provide to the State a System for Award Management (SAM) number (Federal Acquisition Regulation, Part 4, Sub-part 4.11) if this award provides more than \$25,000 in federal funding. The SAM number may be obtained by visiting the SAM website whose address is:
<https://www.sam.gov/portal/public/SAM/>
 2. Obtain and provide to the State a Data Universal Numbering System (DUNS) number, a unique nine-character number that allows federal government to track the distribution of federal money. The DUNS may be requested free of charge for all businesses and entities required to do so by visiting the Dun & Bradstreet (D&B) on-line registration website <http://fedgov.dnb.com/webform>; and
 3. Report the total compensation and names of its top five executives to the State if:
 - i. More than 80% of annual gross revenues are from the federal government, and those revenues are greater than \$25,000,000; and
 - ii. The compensation information is not already available through reporting to the U.S. Securities and Exchange Commission.

31. Single Audit Report

If federal funds are used:

- A. The parties shall comply with the single audit report requirements stipulated in 2 CFR 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards.
- B. If threshold expenditures of \$750,000 or more are met during the fiscal year, the Local Government must submit a Single Audit Report and Management Letter (if applicable) to TxDOT's Compliance Division, 125 East 11th Street, Austin, TX 78701 or contact TxDOT's Compliance Division by email at singleaudits@txdot.gov.
- C. If expenditures are less than the threshold during the Local Government's fiscal year, the Local Government must submit a statement to TxDOT's Compliance Division as follows: "We did not meet the \$_____ expenditure threshold and therefore, are not required to have a single audit performed for FY _____."
- D. For each year the Project remains open for federal funding expenditures, the Local Government will be responsible for filing a report or statement as described above. The required annual filing shall extend throughout the life of the Agreement, unless otherwise amended or the Project has been formally closed out and no charges have been incurred within the current fiscal year.

TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 - Dallas	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
Project Name	SH 78 at E. Brown St.; FM 544 intersection of FM 544 McCreary Rd.			<i>AFA Not Used For Research & Development</i>	

32. Signatory Warranty

Each signatory warrants that the signatory has necessary authority to execute this Agreement on behalf of the entity represented.

Each party is signing this Agreement on the date stated under that party's signature.

THE STATE OF TEXAS**THE LOCAL GOVERNMENT**

Signature

Kenneth Stewart

Typed or Printed Name

Director of Contract Services

Typed or Printed Title

Date

Signature

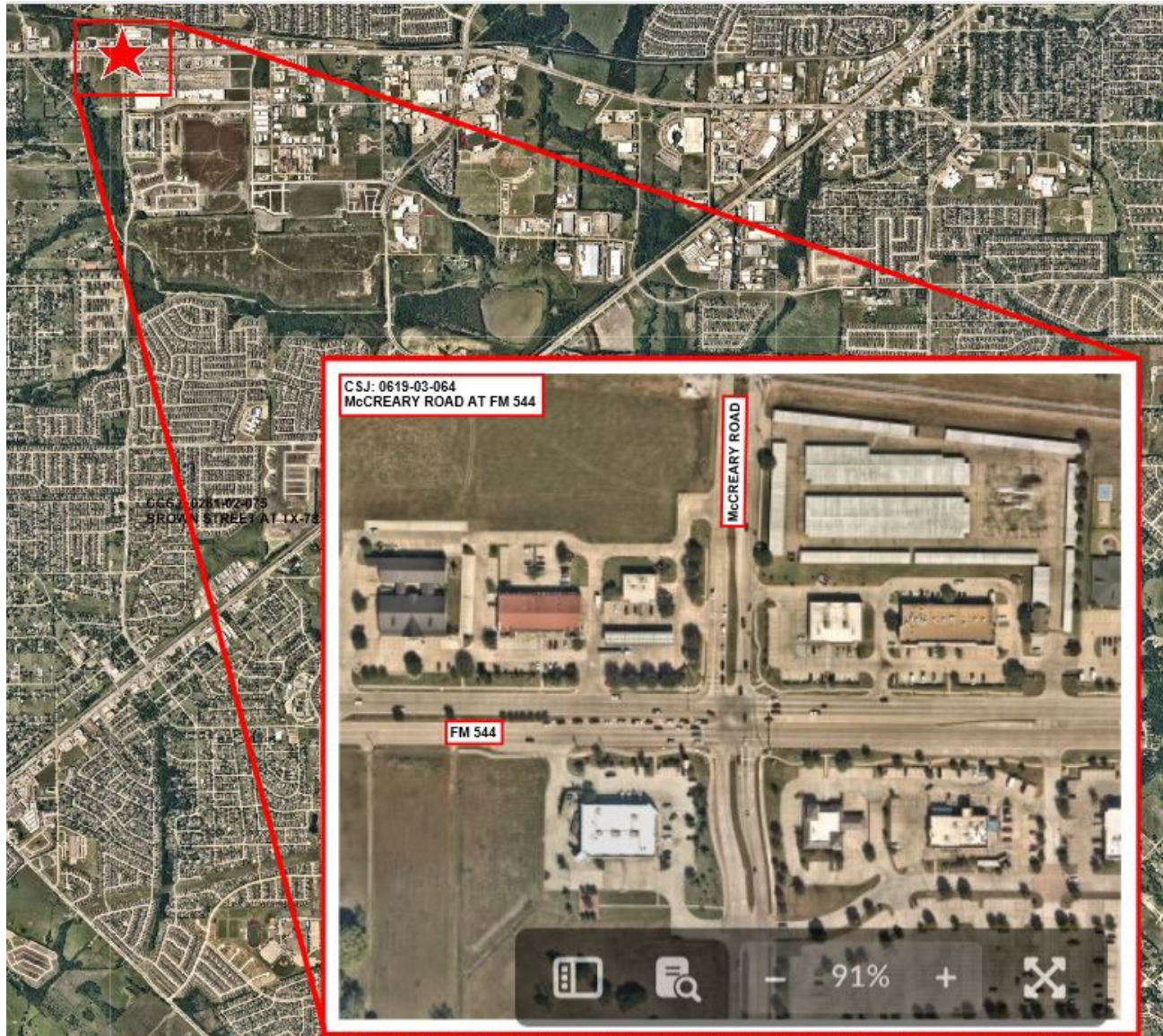
Typed or Printed Name

Typed or Printed Title

Date

TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 - Dallas	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
Project Name	SH 78 at E. Brown St.; FM 544 intersection of FM 544 McCreary Rd.			AFA Not Used For Research & Development	

ATTACHMENT A
LOCATION MAP SHOWING PROJECT
CCJ: 0619-03-064



TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 – Dallas	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
Project Name	SH 78 at E. Brown St.; FM 544 intersection of FM 544 McCreary Rd.			AFA Not Used For Research & Development	

ATTACHMENT B PROJECT BUDGET

Construction costs will be allocated based on 90% Federal funding and 10% State funding until the federal funding reaches the maximum obligated amount. Local Government is responsible for engineering cost and 100% of costs overruns.

DESCRIPTION	TOTAL ESTIMATED COST	FEDERAL PARTICIPATION		STATE PARTICIPATION		LOCAL PARTICIPATION	
		%	Cost	%	Cost		Cost
Engineering (by Local)	\$98,000.00	0%	\$0	0%	\$0.00	100%	\$98,000.00
Construction (by State) 0281-02-075	\$515,561.00	90%	\$464,004.90	10%	\$51,556.10	0%	\$0
Construction (by State) 0619-03-064	\$689,048.00	90%	\$620,143.20	10%	\$68,904.80	0%	\$0
Subtotal	\$1,302,609.00		\$1,084,148.10		\$120,460.90		\$98,000.00
Environmental Direct State Costs	\$14,063.81	0%	\$0	0%	\$0	100%	\$14,063.81
Right of Way Direct State Costs	\$14,063.81	0%	\$0	0%	\$0	100%	\$14,063.81
Engineering Direct State Costs	\$14,063.81	0%	\$0	0%	\$0	100%	\$14,063.81
Utility Direct State Costs	\$14,063.81	0%	\$0	0%	\$0	100%	\$14,063.81
Construction Direct State Costs (9.34%)	\$56,255.24	0%	\$0	0%	\$0	100%	\$56,255.24
Subtotal	\$112,510.48		\$0		\$0		\$112,510.48
Indirect State Cost – 4.77%	\$62,134.45	0%	\$0	100%	\$62,134.45	0%	\$0
TOTAL	\$1,477,253.93		\$1,084,148.10		\$182,595.35		\$210,510.48

Initial Payment by the Local Government to the State: **\$56,255.24**

Payment by the Local Government to the State before Construction: **\$56,255.24**

Total payment by the Local Government to the State: **\$112,510.48**

This is an estimate. The final amount of Local Government participation will be based on actual costs.

TxDOT:				Federal Highway Administration:	
CSJ #	0281-02-075; 0619-03-064			CFDA No.	20.205
District #	18 - DAL	AFA ID	Z00002492	CFDA Title	Highway Planning and Construction
Code Chart 64 #	47050				
Project Name	SH 78 at E. Brown St.; FM 544 intersections of FM McCreary Rd.			<i>AFA Not Used For Research & Development</i>	

ATTACHMENT C
RESOLUTION, ORDINANCE, OR COMMISSIONERS COURT ORDER



Wylie City Council

AGENDA REPORT

Department: Parks
Prepared By: Rob Diaz

Account Code: _____

Subject

Discussion regarding dog park and splash pad site evaluation - Joint Work Session with Parks and Recreation Board.

Recommendation

Discussion.

Discussion

Financial Summary/Strategic Goals



Dog Park & Splashpads

Site Evaluation

April 26, 2022



Project Schedule



Site Evaluation & Programming March – April

- ✓ *Kick-Off Meeting & Site Reviews*
- ✓ *Programming & Site Evaluation*
- ✓ *City Council Update*

Topographic Survey May

Schematic Design..... June - July

- ☐ *Layout Plans for All 3 Site w/ Cost Opinions*
- ☐ *Review w/ City Staff*

Design Development..... July - August

- ☐ *50% CDs & Cost Opinion*

Final Construction Documents..... Sept. – Nov.

Bidding & Construction Phase TBD

Potential Openings*

Splashpads: Summer 2023

Dog Park: Fall 2023

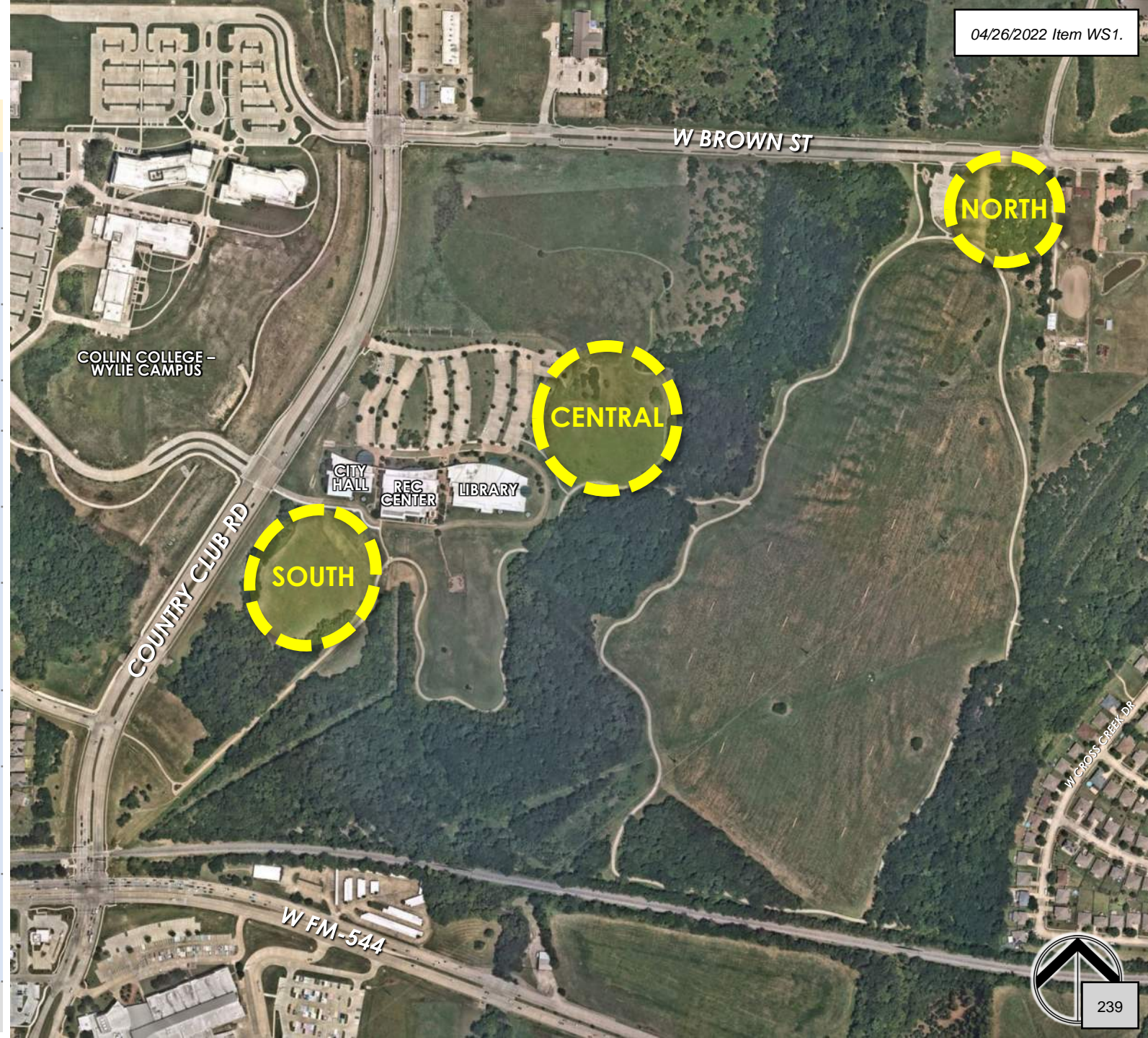




Dog Park

Municipal Complex

	SOUTH	CENTRAL	NORTH
Adequate Parking Nearby	1	3	2
Available Restrooms	1	1	0
Accessibility / Connectivity	1	3	3
Sun vs Shade	3	3	2
Topography / Drainage	2	3	2
Security / Visibility	2	3	3
Expansion / Phasing Opportunity	0	2	3
Proximity to Existing Utilities	1	2	3
Adequate Acreage for Paddocks	3	3	1
Compatibility with Adjacent Uses	1	3	0
	15	26	19



Recommended Location



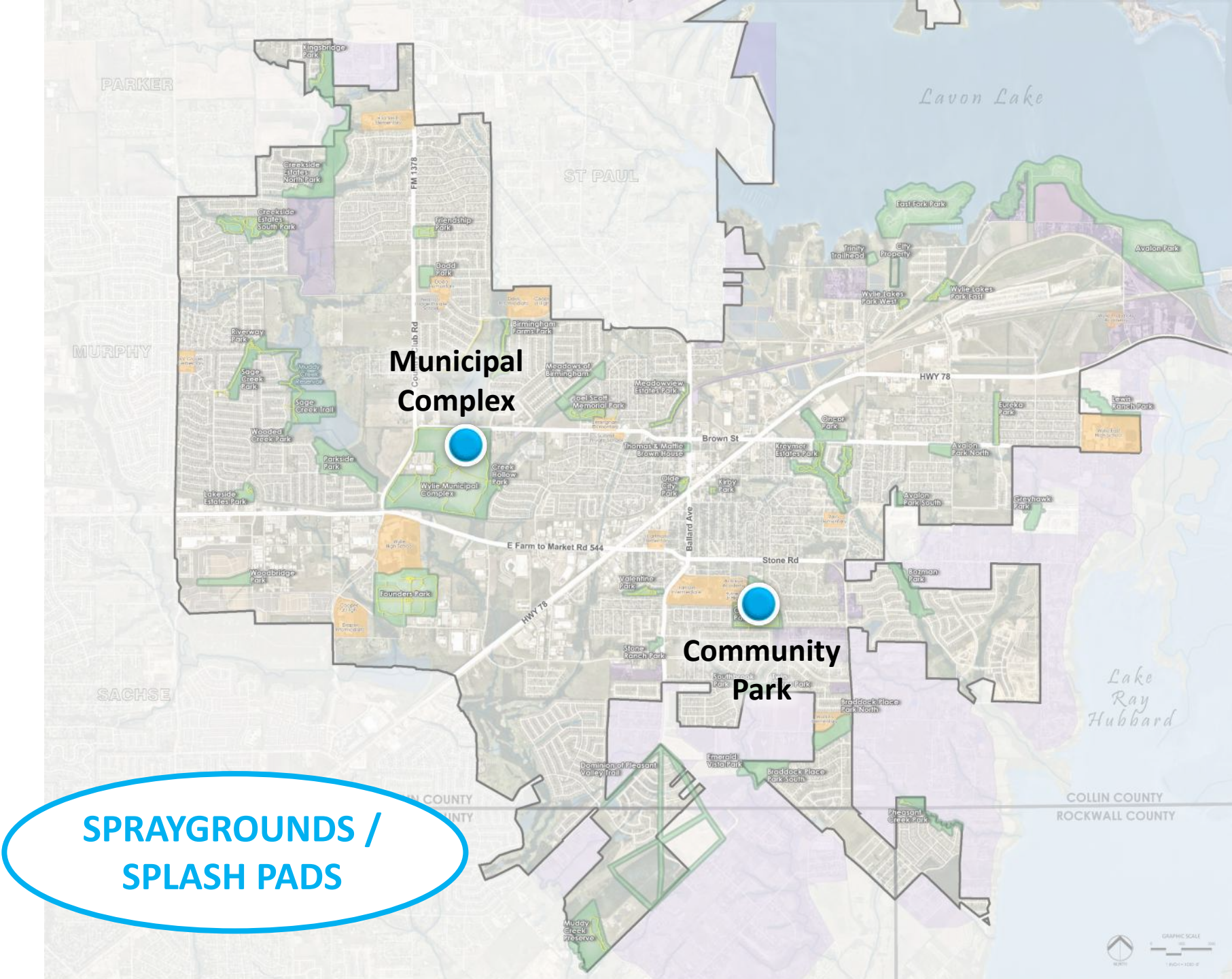
Open Meadow ②



View from Adjacent Parking ③

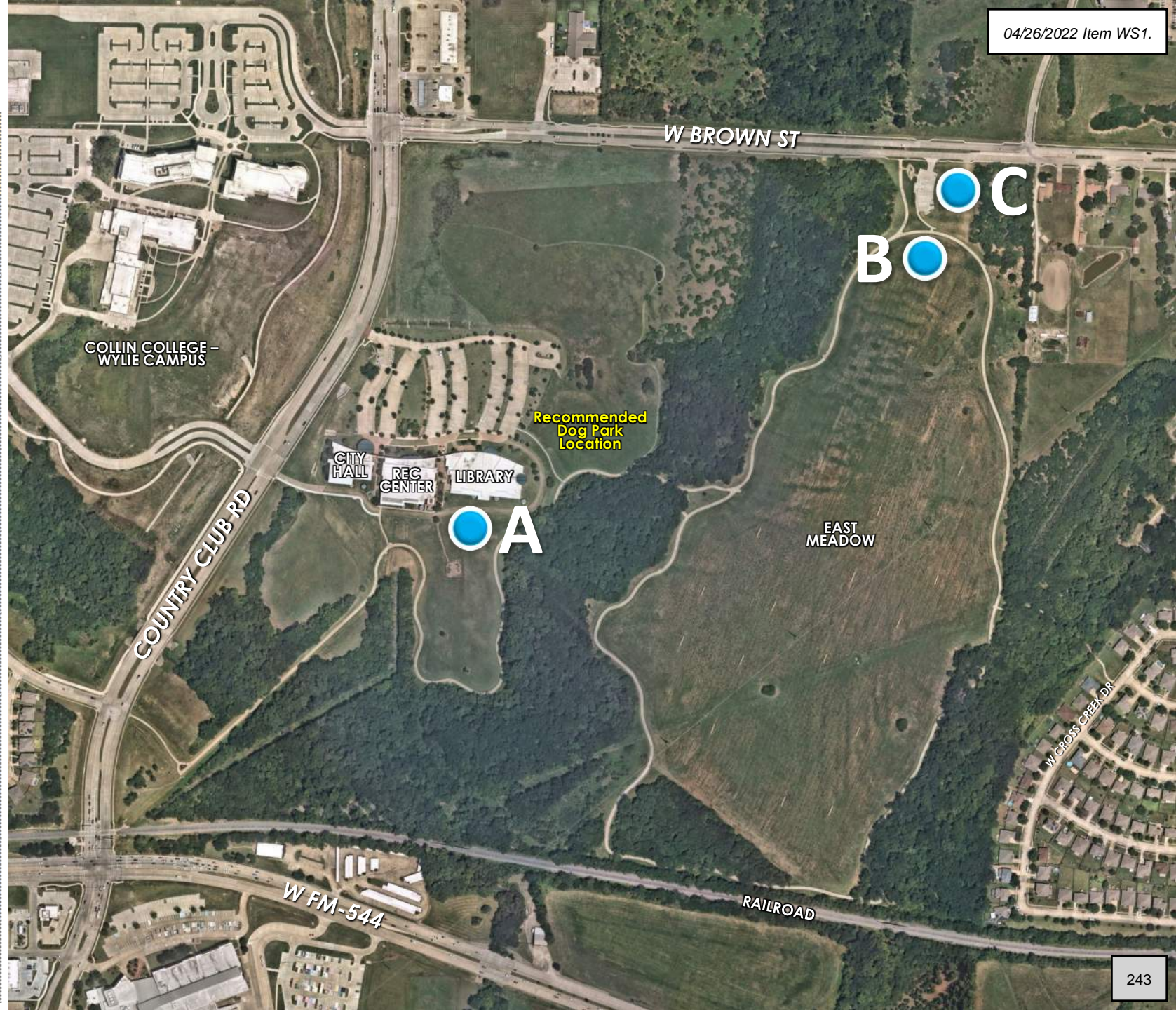


Splashpads



Municipal Complex

	A	B	C
Parking	1	2	1
Topography / Drainage	1	3	2
Proximity to Existing Utilities	1	2	3
Accessibility / Connectivity	1	3	2
Maintenance Access	1	3	3
Security / Visibility	1	2	3
Expansion / Phasing Opportunity	3	3	1
Compatibility with Adjacent Uses	0	3	2
	9	21	17



Recommended Location – Site B



East Meadow 04/26/2022 Item WS1.



East Meadow 2



Adjacent Parking 3



Community Park

	A	B	C
Parking	2	1	2
Topography / Drainage	3	1	2
Proximity to Existing Utilities	2	2	3
Accessibility / Connectivity	1	2	3
Maintenance Access	3	1	3
Security / Visibility	3	3	3
Expansion / Phasing Opportunity	1	1	2
Proximity to Adjacent Uses	1	3	3
	16	14	21



Recommended Location – Site C



View from Potential Drop-Off Location 04/26/2022 Item WS1.



Basketball Court 2



View of Playground 3





Next Steps



Site Evaluation & Programming March – April

- ✓ *Kick-Off Meeting & Site Reviews*
- ✓ *Programming & Site Evaluation*
- ✓ *City Council Update*

Topographic Survey May

Schematic Design..... June - July

- ☐ *Layout Plans for All 3 Site w/ Cost Opinions*
- ☐ *Review w/ City Staff*

Design Development..... July - August

- ☐ *50% CDs & Cost Opinion*

Final Construction Documents..... Sept. – Nov.

Bidding & Construction Phase TBD

Potential Openings*

Splashpads: Summer 2023

Dog Park: Fall 2023





Wylie City Council

AGENDA REPORT

Department: Public Works
Prepared By: Tim Porter

Account Code: _____

Subject

Discuss results of the Geotechnical Engineering Report provided for Stone Road.

Recommendation

Discussion.

Discussion

Financial Summary/Strategic Goals



ECS Southwest, LLP

Geotechnical Engineering Report

Stone Road Improvements

WA Allen Boulevard to Bennett Road
Wylie, Texas

ECS Project Number 19:8613

March 16, 2022




ECS SOUTHWEST, LLP

Geotechnical • Construction Materials • Environmental • Facilities

"Setting the Standard for Service"

TX Registered Engineering Firm F-8461

March 16, 2022

Mr. Tim Porter, P.E., CFM
 Director of Public Works
 City of Wylie
 949 Hensley Lane, Suite 300
 Wylie, Texas 75098

ECS Project No. 19:8613

Reference: Geotechnical Engineering Report
Stone Road Improvements
 From WA Allen Boulevard to Bennett Road
 Wylie, Texas

Dear Mr. Porter:

ECS Southwest, LLP (ECS) has completed the subsurface exploration, laboratory testing, and geotechnical engineering analyses for the above-referenced project. Our services were performed in general accordance with our agreed to scope of work. This report presents our understanding of the geotechnical aspects of the project along with the results of the field exploration and laboratory testing conducted, and our recommendations.

It has been our pleasure to be of service to you for the project. We would appreciate the opportunity to remain involved during the continuation of the design phase, and we would like to provide our services during construction phase operations as well to verify subsurface conditions assumed for this report. Should you have any questions concerning the information contained in this report, or if we can be of further assistance to you, please contact us.

Respectfully submitted,

ECS Southwest, LLP

Che-Hung (Chris) Tsai, Ph.D., P.E.
 Geotechnical Senior Project Manager
ctsai@ecslimited.com



Michael Batuna, P.E.
 Principal Engineer
mbatuna@ecslimited.com

The electronic seal on this document was authorized by Michael P. Batuna No. 92147, on March 16, 2022

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APPENDICES

Appendix A – Figures

- Site Location Diagram
- Boring Location Diagram
- Generalized Subsurface Soil Profile
- Regional Geology
- General Recommendations for Quality Assurance (QA) Testing

Appendix B – Field Operations

- Reference Notes for Boring Logs
- Subsurface Exploration Procedure
- Boring Logs

Appendix C – Laboratory Testing

- Laboratory Testing Summary
- Lime/pH Series Summary

Appendix D – WinPAS Pavement Design Outputs

EXECUTIVE SUMMARY

The following summarizes the main findings of the exploration, particularly those that may have a cost impact on the planned roadway improvements. Further, our pavement and subgrade improvement recommendations are summarized. Information gleaned from the executive summary should not be utilized in lieu of reading the entire geotechnical report.

- Based on our interpretation of the borings drilled for this study, the existing pavements generally consist of 2 to 4 inches of asphalt concrete (AC). Sand and gravel fill (3 to 10 inches) was encountered below the asphalt concrete in all the borings. Below the pavement and gravel fill, soil fill, lean clay and fat clay were encountered in the borings.
- Groundwater seepage was not observed in borings during drilling and at the completion of drilling operations.
- Design values for the proposed pavement, subgrade preparation and stabilization, as well as materials specifications are provided in the report. Based on the anticipated traffic, the pavement section for the planned reconstruction may consist of 9 inches of Asphalt Concrete (AC) pavement and 8 inches of Portland Cement Concrete (PCC) for a 25-year design life. For a 40 year design life, the proposed pavement may consist of 9 inches of Portland Cement Concrete (PCC). The AC and PCC pavements can be supported on lime stabilized subgrade, flexible base with geogrid, or cement treated Reclaimed Asphalt Pavement (RAP) base.
- The potential vertical movement (PVM) of the site is estimated to be about 3 to 5 inches under a dry soil condition. These potential movements reflect moisture changes in the soil that can occur over the life of the structure and after construction is complete.
- It is recommended that ECS conduct a geotechnical review of the project plans (prior to issuance for construction) to check to see that ECS' geotechnical recommendations have been properly interpreted and implemented.
- To prevent misinterpretation of ECS recommendations, ECS should be retained to perform quality control testing and documentation during construction of the earthwork and foundations for the project.

1.0 INTRODUCTION

The purpose of this study was to provide geotechnical information for the design and reconstruction of the street pavements in Wylie, Texas. The recommendations developed for this report are based on project information provided by the client. This report contains the results of our subsurface explorations and geotechnical laboratory testing programs, site characterization, engineering analyses, and recommendations for the design and construction of the planned pavement improvements.

Our services were performed in general accordance with ECS Proposal No. 19:11708-GP, dated November 22, 2021. The project was authorized by client on January 3, 2022. The terms of this agreement will be according to the Contract for Professional Engineering Services between the City of Wylie and ECS Southwest, LLP.

This report contains the procedures and results of our subsurface exploration with soil borings and laboratory testing programs, review of existing site conditions, engineering analyses, and recommendations for the design and construction of the project.

The report includes the following items.

- A brief review and description of our field and laboratory test procedures and the results of testing conducted.
- A review of site conditions.
- A review of area and site geologic conditions.
- A review of subsurface soil stratigraphy with pertinent available physical properties.
- A final copy of our soil test borings.
- Recommendations for pavement design.
- Recommendations for site preparation and construction of compacted fills, including an evaluation of on-site soils for use as compacted fills.

2.0 PROJECT INFORMATION

2.1 PROJECT LOCATION/CURRENT SITE USE

The proposed project consists of the pavement improvements of the Stone Road which include a 2-lane undivided roadway from WA Allen Boulevard to Bennett Road in Wylie, Texas. The project location is depicted in the attached Site Location Diagram in Appendix A and below.

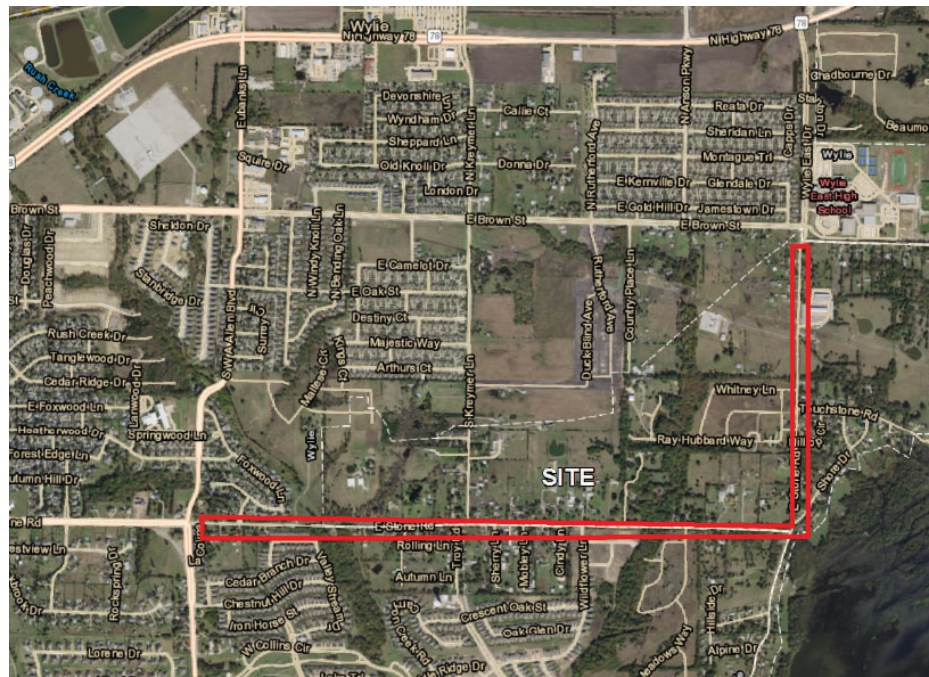


Figure 2.1.1 Site Location Diagram

2.2 PROPOSED CONSTRUCTION

The following information was provided by the City of Wylie and explains our understanding of the planned development of the street section.

Table 2.2.1 A Summary of Design Information

SUBJECT	DESIGN INFORMATION / ASSUMPTIONS
Street Classification	A local residential street and will be upgraded to future roadway as a Secondary Thoroughfare with 4-lane divided concrete with 100-foot right-of-way.
Existing Street Pavement	21 feet wide Asphalt Concrete (AC) pavement with drainage ditches.
Type of the Proposed Streets	Asphalt Concrete (AC) or Portland Cement Concrete (PCC) pavement.
Design Life	25 years (AC and PCC) and 40 years (PCC)
Growth Factor	1.5 %
Total Linear Foot	About 11,500 feet.

If ECS' understanding of the project is not correct, please contact ECS so that we may review these changes and revise our recommendations, as appropriate.

3.0 FIELD EXPLORATION

Our scope of work included drilling a total of 23 soil borings to a depth of 10 feet below the existing grades. These borings were located with a handheld GPS unit and their approximate locations are shown on the Boring Location Diagram in Appendix A.

3.1 SUBSURFACE CHARACTERIZATION

The subsurface conditions encountered were generally consistent with published geological mapping. The following sections provide generalized characterizations of the soil and rock strata. Please refer to the boring logs in Appendix B. Based on a review of available published geological maps, the project area is located within the Ozan formation (Ko). The location of the site on the geologic map are depicted in the attached Regional Geology in Appendix A.

Ozan formation (Ko): The Ozan formation typically consists of relatively uniform, massive, calcareous shale (commonly referred to as marl). Because marl weathers easily, this rock typically cannot be seen in creek beds or outcrops, and soil is found instead. Upper portions of the “limy” shale can weather into softer, clayey shale.

Through chemical and mechanical weathering, this formation produces highly plastic clay soils. Soil above the marl is typically tan and gray, having a blocky structure. Shallower soils typically have a dark brown to black appearance. These clays can be calcareous with silt and sand content increasing incrementally toward the surface. Glauconitic, phosphate pellets, and hematite and pyrite nodules may appear within the soil matrix.

Based on the soil boings, the existing pavements generally consist of 2 to 4 inches of asphalt concrete (AC) underlain by the sand and gravel fill. A summary of the thickness of the existing pavement section with gravel and sand fill encountered in the borings is shown in the following table.

Table 3.1.1 Existing Pavement Section at Boring locations

Boring Location	Asphalt Concrete (in.)	Sand and Gravel Fill (in.)
B-01	3	7
B-02	3	5
B-03	3	5
B-04	2	6
B-05	3	6
B-06	2	5
B-07	3	7
B-08	2	5
B-09	4	5
B-10	3	6
B-11	4	4
B-12	3	7
B-13	3	8
B-14	4	6

B-15	3	8
B-16	4	8
B-17	4	7
B-18	4	6
B-19	4	4
B-20	2	10
B-21	2	8
B-22	3	4
B-23	3	3

A summary of subsurface stratigraphy encountered in the borings is shown in Table 3.1.2 below.

Table 3.1.2 Subsurface Stratigraphy

Approximate Depth to Bottom of Strata (feet)	Elevation of Bottom of Strata ¹ (ft)	Stratum No.	Material Description	Consistency
2 to 8	464 to 510	I	FILL, LEAN and FAT CLAYS, brown, light brown, dark brown	Firm to Hard
6 to 10 ²	456 to 509	II	FAT CLAY (CH), dark brown, brown, light brown	Stiff to Hard
10 ²	476 to 496	III	LEAN CLAY (CL), light brown, brown, light brownish yellow, brownish yellow	Very Stiff to Hard

Note:

¹Please note that the ground surface elevations were not surveyed by a licensed surveyor; these elevations are approximate based on dfwmaps.com. Elevation ranges are approximate +/- several feet.

²Boring termination depths

Please refer to the attached boring logs and laboratory data summary for a more detailed description of the subsurface conditions encountered as the stratification descriptions above are generalized for presentation purposes. A graphical presentation of the subsurface conditions is shown on the Generalized Subsurface Soil Profile included in Appendix A.

3.3 GROUNDWATER OBSERVATIONS

Groundwater level observations were made in the borings during drilling operations. In auger drilling operations, water is not introduced into the borehole and the groundwater level can often be determined by observing water flowing into the excavation. Furthermore, visual observation of soil samples retrieved can often be used in evaluating the groundwater conditions.

Groundwater seepage was not observed in borings during drilling and at the completion of drilling operations.

The highest groundwater observations are normally encountered in the late winter and early spring. Fluctuation in the location of the long-term water table may occur as a result of changes in precipitation, evaporation, surface water runoff and other factors not immediately apparent at the

time of this investigation. The groundwater conditions at this site are expected to be significantly influenced by surface water runoff and rainfall.

3.4 LABORATORY TESTING

The laboratory testing consisted of selected tests performed on samples obtained during our field exploration operations. Classification and index property tests were performed on representative soil samples. The soil samples were tested for moisture content, Atterberg limits, soluble sulfate, lime/pH series, and percent passing No. 200 sieve.

Each sample was visually classified on the basis of texture and plasticity in accordance with ASTM D2488 Standard Practice for Description and Identification of Soils (Visual-Manual Procedures) and including USCS classification symbols. After classification, the samples were grouped in the major zones noted on the boring logs in Appendix B. The group symbols for each soil type are indicated in parentheses along with the soil descriptions. The stratification lines between strata on the logs are approximate; in situ, the transitions may be gradual.

The soil samples will be retained in our laboratory for a period of 60 days, after which, they will be discarded unless other instructions are received as to their disposition.

4.0 DESIGN RECOMMENDATIONS

The following recommendations have been developed on the basis of the previously described project characteristics and subsurface conditions. If there are any changes to the project characteristics or if different subsurface conditions are encountered during construction, ECS should be consulted so that the recommendations of this report can be reviewed.

4.1 POTENTIAL VERTICAL MOVEMENTS

The soils encountered at this site are moderate to highly expansive. These soils are susceptible to shrink swell tendencies, occurring seasonally, throughout the life of the pavement with the changes in moisture content. Based on test method TEX-124-E in the Texas Department of Transportation (TxDOT) Manual of Testing Procedures, and our experience with similar soils, we estimate potential vertical soil movements (PVM) under a dry soil moisture condition will be about 3 to 5 inches. The actual movements could be greater if poor drainage, ponded water, and/or other unusual sources of moisture are allowed to saturate the soils beneath the pavement after construction.

In order to minimize the impact of moisture changes within the subgrade soils and reduce potential for movements, the exposed subgrade during construction should be kept moist by adding moisture and covering the subgrade. Positive drainage should be conducted during all phases of construction. Regular pavement maintenance should be performed by routinely sealing all cracks and joints in the pavement. Subgrade treatment should be considered to reduce future movement potential. In addition, root barriers to about 5 feet below the existing grade along the edge of the pavement may be considered to reduce root penetration below the pavement that may affect long term pavement performance.

4.2 SOLUBLE SULFATE

Soluble sulfate tests were performed on selected samples to evaluate the potential for sulfate induced heave. The laboratory test results indicated that soluble sulfate concentrations were generally less than 3,000 ppm in the subgrade soils except for one sample with 3,066 ppm from Boring B-23. This sulfate level is considered to have a moderate to high risk for sulfate induced heave upon lime stabilization.

In general, soil with soluble sulfate concentrations of 3,000 ppm or less, are not considered to require special treatment considerations when lime stabilized in accordance with TxDOT "Guidelines for Modification and Stabilization of Soils and Base for Use in Pavement Structures" (2005). We recommend that sulfate contents be confirmed by additional laboratory tests during the construction phase after final grading.

Double lime stabilization should be used on the subgrade with high sulfate contents (3,000 to 8,000 ppm). As an alternative, flexible base material may be used in lieu of lime stabilized subgrade.

4.3 PAVEMENT SECTION

The proposed street section is classified as a local residential street and will be upgraded to future roadway as a Secondary Thoroughfare with 4-lane divided concrete with 100-foot right-of-way, according to the Thoroughfare Plan by the City of Wylie, dated December 2018.

A Preliminary Engineering Report, prepared by Brinkley & Barfield Consulting Engineer for Collin County, "E. Stone Road Improvements Study" – From W.A. Allen Boulevard to Bennett Road, dated November 2021, was provided by the City of Wylie for the use of this geotechnical study. The proposed road will have a long-term growth factor of 1.5 percent. Traffic volumes were observed at four locations for 48 hours along the corridor on August 24 to 26, 2021. Combined two-way traffic on the east-west segment between WA Allen Boulevard and Beaver Creek Road, average daily traffic ranged from 2,127 to 5,167 vpd. Combined two-way traffic on the north-south segment between Bennet Road and Shore Drive, average daily traffic ranged from 2,172 to 2,791 vpd. The highest average daily traffic (ADT) of 5,167 vpd was used in the traffic study.

Based on the information obtain from the preliminary engineering report for the Stone Road Improvements provided by the City of Wylie and our past experience, we use the design parameters summarized on the following Table 4.3.1 for the pavement design analysis with 25-year design life (AC/PCC pavements) and 40-year design life (PCC pavement).

Table 4.3.1: Design Parameters for Stone Road Improvements

Design Parameters	Design Values	
	Flexible (AC)	Rigid (PCC)
Pavement Type		
Average Daily Traffic (ADT)	5,167	
Growth Factor (%)	1.5	
Percent Heavy Trucks (%) (assumed)	5.0	
ESAL Truck Factor (assumed)	1.7	
Total ESALs (25-Year Design Life) - AC/PCC	2,411,300	
Total ESALs (40-Year Design Life) - PCC	4,352,720	
Subgrade Soil Type	Clay Soils	
Unified Soil Classification System (USCS)	CH or CL	
Reliability (percentage)	90	
Overall Standard Deviation	0.45	0.39
Initial Pavement Serviceability	4.2	4.5
Terminal Pavement Serviceability	2.5	
Concrete Modulus of Rupture (psi) -28 Days	620	
Concrete Modulus of Elasticity (psi) -28 days	4,000,000	
Drainage Coefficient	1.0	
Load Transfer Coefficient – Rigid	3.0	
Layer Coefficient of Asphalt Surface Course	0.44	
Layer Coefficient of Asphalt Base Course	0.41	

Layer Coefficient (Asphalt Pavement)	0.12 (Lime Stabilized Subgrade) 0.14 (Flexible Base with Geogrid) 0.15 (Cement Treated RAP)
Modulus of Subgrade Reaction (psi/in) – k (PCC Pavement)	200 (Lime Stabilized Subgrade) 240 (Flexible Base with Geogrid) 240 (Cement Treated Base/RAP)

Pavement sections provided in this report were designed in general accordance with the AASHTO Guide for Design of Pavement Structures (1993). Based on our analysis and the calculations with the design parameters on the Table 4.3.2, the pavement reconstruction may be designed as asphalt concrete pavement section supported on either lime stabilized subgrade, flexible base with geogrid (Tensar BX1100 or similar), or cement treated Reclaimed Asphalt Pavement (RAP) subgrade. The proposed asphalt concrete pavement sections are summarized in the following table.

Table 4.3.2: Asphalt Concrete (AC) Pavement Section

Design Life (year)	Asphalt Surface Course (inches)	Asphalt Base Course (inches)	Cement Treated RAP (inches)	Flexible Base with Geogrid (inches)	Lime Stabilized Subgrade (inches)
25	2	7	N/A	N/A	8
25	2	7	N/A	8	N/A
25	2	7	8	N/A	N/A

Table 4.3.3: Portland Cement Concrete (PCC) Pavement Section

Design Life (year)	Concrete Pavement Thickness (inches)	Cement Treated RAP (inches)	Flexible Base with Geogrid (inches)	Lime Stabilized Subgrade (inches)
25	8	N/A	N/A	8
25	8	N/A	8	N/A
25	8	8	N/A	N/A
40	9	N/A	N/A	8
40	9	N/A	8	N/A
40	9	8	N/A	N/A

We recommend the existing HMAC and fill material (consisted of sand and gravel) be removed from below the footprint of the proposed new pavement area before using lime to stabilize the clay fill and native soil if lime stabilized subgrade will be used for the project.

For the design and construction of pavement, the subgrade should be prepared in accordance with the recommendations in the “Earthwork Operations” section of this report. An important consideration with the design and construction of pavements is surface and subsurface drainage. Where standing water develops, either on the pavement surface or within the base course layer, softening of the subgrade and other problems related to the deterioration of the pavement can be expected. Furthermore, good drainage should reduce the possibility of the subgrade materials becoming saturated during the normal service period of the pavement.

Please note, the recommended pavement sections provided above are considered the minimum necessary to provide satisfactory performance based on the provided traffic loading. In some cases, jurisdictional minimum standards for pavement section construction may exceed those provided above.

4.3.1 Pavement Materials

We recommend that pavement be specified, constructed and tested to meet the following requirements:

1. Hot Mix Asphaltic Concrete: Item 340 of the TxDOT Standard Specifications, Type B Base Course (binder), Type D Surface Course.
2. Portland Cement Concrete: A minimum compressive strength of 4,000 psi at 28 days.
3. Reinforcing Steel: #4 bars at 18” centers both ways.
4. Concrete Pavement Joints:
 - a. Transverse Joints shall be sawed on 15’ centers. Use 18” #8 or #10 dowels (smooth bars) at 12” spacing per TxDOT concrete Pavement Details Contraction Design (CPCD-14)
 - b. Longitudinal Joints shall be sawed based on the following:
25’ Width Saw Joint 3” from the center; 27’ & 31’ Width Saw Joint along the center
 - c. Expansion Joints to be constructed a maximum of 500’ to 700’ apart on straight paving, and on all radii, PC, PT and CR or otherwise specified. Use at least 18” (#10) dowels for paving 8” thick or greater.
5. Lime Stabilized Subgrade: 8% Lime by dry weight of soil (about 48 lbs/sy for 8 inches)
6. Flexible Base Subgrade (TxDOT Item 247)
7. Cement Treated Subgrade (Public Works Construction Standards, NCTCOG, 4th Edition, Item 301.1 and 301.3) or TxDOT Item 275 (Cement Treatment – Road Mixed)

4.3.2 Pavement Maintenance

Routine maintenance, such as sealing and repair of cracks, is necessary to achieve the long-term life of a pavement system. We recommend a preventive maintenance program be developed and followed for all pavement systems so the design life can be realized. Choosing to defer maintenance usually results in accelerated deterioration leading to higher future maintenance costs, and/or repair.

The life and serviceability of the pavement system is dependent upon a well-planned pavement maintenance program. Pavement maintenance guidelines are provided in the following tables. We also recommend a Pavement Information Management System to be instituted and a strict maintenance schedule to be implemented.

Table 4.3.2.1: General Rigid (PCC) Pavement Maintenance Program

Year	Program
7	Joint Seal and Crack Seal
14	Joint Seal and Crack Seal Patch and Slab Replacement
20	Diamond Grind ½ inch and Reseal Joints or Cracks
27	Joint Seal and Crack Seal
35	Joint Seal and Crack Seal Patch and Slab Replacement
40	Overlay with 3-inch AC Pavement Maintenance to Follow AC Pavement Recommendations in Table 4.3.2.2

Table 4.3.2.2: Flexible (AC) Pavement Maintenance Program

Year	Program
7	Crack Seal and 2-inch Stone Matrix Asphalt (SMA) Overlay
10	Crack Seal
15	2 inches Mill and 2-inch SMA Inlay
18	Crack Seal
22	Crack Seal and 2-inch SMA Inlay
25	Crack Seal or Reconstruct the Asphalt section Layer

5.0 SITE CONSTRUCTION RECOMMENDATIONS

5.1 SUBGRADE PREPARATION

In a dry and undisturbed state, the upper 1-foot of the majority of the soil at the site will provide good subgrade support for fill placement and construction operations. However, these soils contain fines which are considered moderately erodible and are moisture and disturbance sensitive. Therefore, good site drainage should be maintained during earthwork operations, which would help maintain the integrity of the soil.

We recommend that an attempt be made to enhance the natural drainage without interrupting its pattern. All erosion and sedimentation should be controlled in accordance with sound engineering practice and current jurisdictional requirements.

The site should be stripped. After stripping, cutting to the proposed grade, and prior to the placement of any structural fill, the exposed subgrade should be examined by the Geotechnical Engineer or authorized representative. The exposed subgrade should be thoroughly proofrolled with previously approved construction equipment having a minimum axle load of 20 tons (e.g. fully loaded tandem-axle dump truck). The areas subject to proofrolling should be traversed by the equipment in two perpendicular (orthogonal) directions with overlapping passes of the vehicle under the observation of the Geotechnical Engineer or authorized representative. This procedure is intended to assist in identifying any localized yielding materials.

In the event that unstable or “pumping” subgrade is identified by the proofrolling, those areas should be marked for repair prior to the placement of any subsequent structural fill or other construction materials. Methods of repair of unstable subgrade, such as undercutting or moisture conditioning or chemical stabilization, should be discussed with the Geotechnical Engineer to determine the appropriate procedure with regard to the existing conditions causing the instability.

5.1.1 Proofrolling

Prior to fill placement or other construction on subgrades, the subgrades should be evaluated by an ECS field technician. The exposed subgrade outside moisture conditioned soil zone should be thoroughly proofrolled with construction equipment having a minimum axle load of 10 tons [e.g. fully loaded tandem-axle dump truck]. Proofrolling should be traversed in two perpendicular directions with overlapping passes of the vehicle under the observation of an ECS technician. This procedure is intended to assist in identifying any localized yielding materials.

Where proofrolling identifies areas that are unstable or “pumping” subgrade those areas should be repaired prior to the placement of any subsequent Structural Fill or other construction materials. Methods of stabilization include undercutting, moisture conditioning, or chemical stabilization. The situation should be discussed with ECS to determine the appropriate procedure. Test pits may be excavated to explore the shallow subsurface materials to help in determining the cause of the observed unstable materials, and to assist in the evaluation of appropriate remedial actions to stabilize the subgrade.

5.2 EARTHWORK OPERATIONS

Prior to placement of any new fill, all subgrades should be scarified to a minimum depth of 6 inches, compacted to at least 95% of Maximum Dry Density as obtained by the Standard Proctor Method (ASTM D-698) and moisture conditioned at +3% or above the optimum value. All fills should be benched into the existing soils.

Soil moisture levels should be preserved (by various methods that can include covering with plastic, watering, etc.) until new fill, or pavements are placed. All fill soils should be placed in 8 inch loose lifts for mass grading operations and 4 inches for trench type excavations where walk behind or “jumping jack” compaction equipment is used.

Upon completion of the filling operations, care should be taken to maintain the soil moisture content prior to construction of floor slabs and pavements. Soil moisture levels can be preserved by various methods that can include covering with plastic, watering, etc. If the soil becomes desiccated, the affected material should be removed and replaced, or these materials should be scarified, moisture conditioned and recompacted.

Utility cuts should not be left open for extended periods of time and should be properly backfilled. Backfilling should be accomplished with properly compacted on-site soils, rather than granular materials. A utility trench cut-off is recommended to help prevent water from migrating through the utility trench backfill to beneath the proposed structure.

Field density and moisture tests should be performed on each lift as necessary to verify that adequate compaction is achieved. As a guide, one test per 2,500 square feet per lift is recommended in the paving areas (two tests minimum per lift). Utility trench backfill should be tested at a rate of one test per lift per each 150 linear feet of trench (two tests minimum per lift). Certain jurisdictional requirements may require testing in addition to that noted previously. Therefore, these specifications should be reviewed and the more stringent specifications should be followed.

5.3 MATERIAL SPECIFICATIONS

This section is intended to outline the material requirements of those recommendations.

Lime stabilized subgrade: Lime stabilized on site clay should be used below the pavement. Lime application rate of 8% hydrated lime (about 48 lbs/sy for 8 inches) by dry weight of clay (TxDOT Item 260) can be used for budgeting purposes. The actual amount of lime required should be confirmed by additional laboratory tests (lime series) during the construction phase.

The lime stabilized clay should be thoroughly mixed and appropriately mellowed for at least 48 hours (TxDOT Item 260) and tested for gradation and lime solubility (pH) prior to final placement and compaction. Once appropriately mixed and mellowed, this material may then be placed and compacted at workable moisture contents within of at least +3 percent of optimum moisture content and compacted to at least 95% of the Maximum Dry Density as obtain using the Standard Proctor Method (ASTM D-698).

Please refer to the “General Recommendations for Quality Assurance (QA) Testing” table provided in the Appendix A of this report for specific requirements.

Flexible base material: The material may be used beneath pavements. Flexible base should meet the requirements of TxDOT Item 247, Type D, Grade 1-2, or NCTCOG Item 301.5. Recycled concrete meeting the gradation requirements of flexible base is also acceptable for use. The flexible base and recycled concrete should be compacted to at least 95% of maximum dry density at or above the optimum moisture content as obtained using the Standard Proctor Method (ASTM D-698).

Please refer to the “General Recommendations for Quality Assurance (QA) Testing” table provided in the Appendix A of this report for specific requirements.

Cement Treated Reclaimed Asphalt Pavement (RAP): The existing asphalt pavement sections may be considered for the project. The existing pavement sections should be milled/crushed down or pulverized to fragments by using a pulverizing/mixing rototiller or similar equipment. Asphalt concrete, gravelly fill materials, and subgrade soils should be mixed together. The particle size distribution of the pulverized material should be such that 100 percent passing the 1-3/4-in. sieve, 85 percent passing the 3/4-in. sieve, and at least 60 percent passing the No. 4 sieve.

The resulting mix should be cement stabilized (TxDOT Item 275) to the minimum depth of 8 inches and compacted to at least 95 percent of its maximum standard Proctor dry density (ASTM D 698) at a moisture content above the optimum moisture. We recommend 3 to 5 percent cement (TxDOT Item 275), by dry weight, for the treatment. The cement should be thoroughly mixed and blended with the pulverized mixture. The resulting mix should have a minimum unconfined compressive strength of 240 psi, as determined by TxDOT method Tex-120-E.

6.0 CLOSING

ECS has prepared this report to guide the geotechnical-related design and construction aspects of the project. We performed these services in accordance with the standard of care expected of professionals in the industry performing similar services on projects of like size and complexity at this time in the region. No other representation, expressed or implied, and no warranty or guarantee is included or intended in this report.

The description of the proposed project is based on information provided to ECS by Client. If any of this information is inaccurate or changes, either because of our interpretation of the documents provided or site or design changes that may occur later, ECS should be contacted so we can review our recommendations and provide additional or alternate recommendations that reflect the proposed construction.

All construction activities should be conducted in accordance with the most recent City's Design Standards, as well as the latest edition of North Central Texas Council of Governments (NCTCOG) Standard Specifications for Public Works Construction and TxDOT specifications.

We recommend that ECS review the project plans and specifications so we can confirm that those plans/specifications are in accordance with the recommendations of this geotechnical report.

Field observations, and quality assurance testing during earthwork and foundation installation are an extension of, and integral to, the geotechnical design. We recommend that ECS be retained to apply our expertise throughout the geotechnical phases of construction, and to provide consultation and recommendation should issues arise.

ECS is not responsible for the conclusions, opinions, or recommendations of others based on the data in this report.

APPENDIX A – Figures

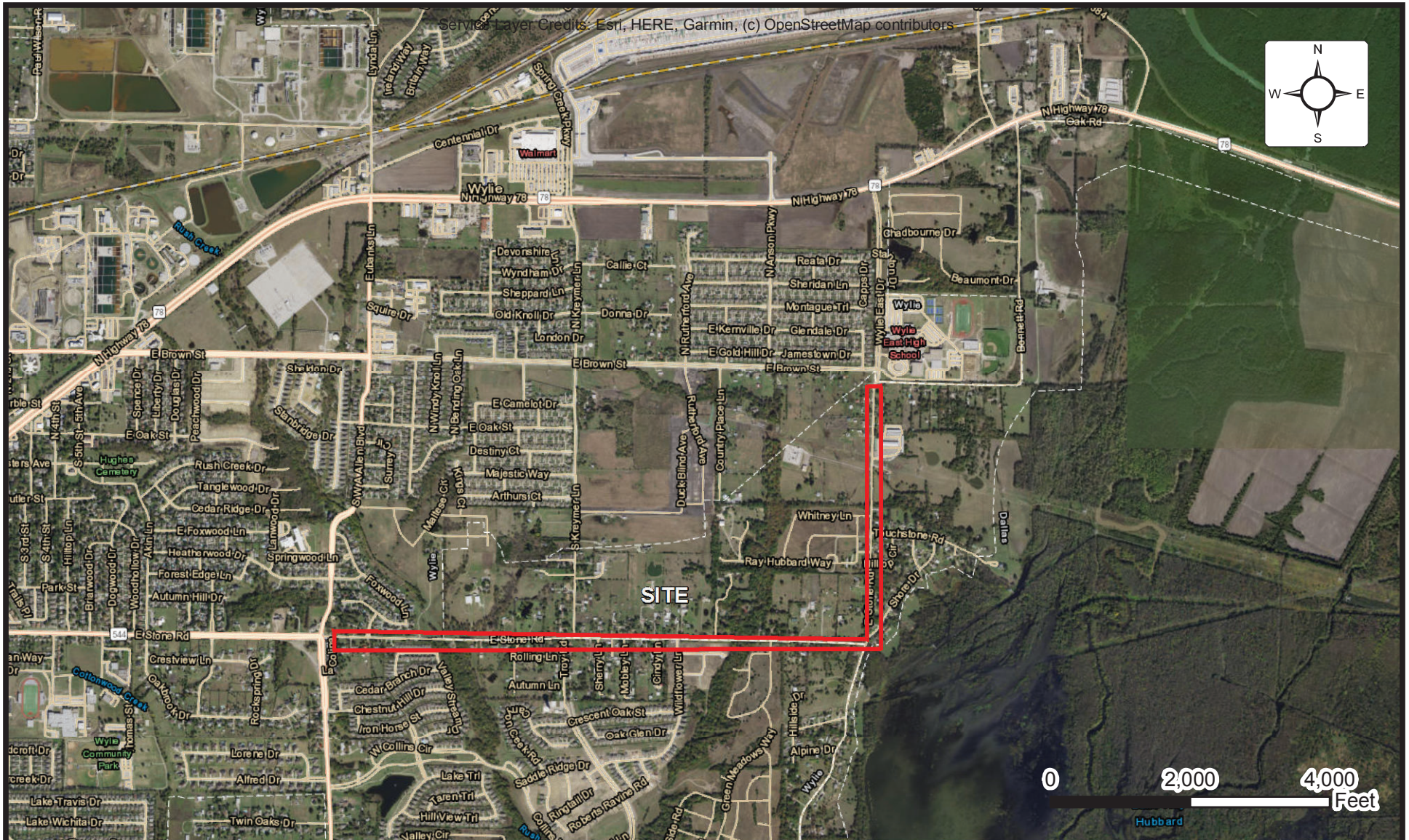
Site Location Diagram

Boring Location Diagram

Generalized Subsurface Soil Profile (From West to East)

Regional Geology

General Recommendations for Quality Assurance (QA) Testing



SITE LOCATION DIAGRAM STONE ROAD IMPROVEMENTS

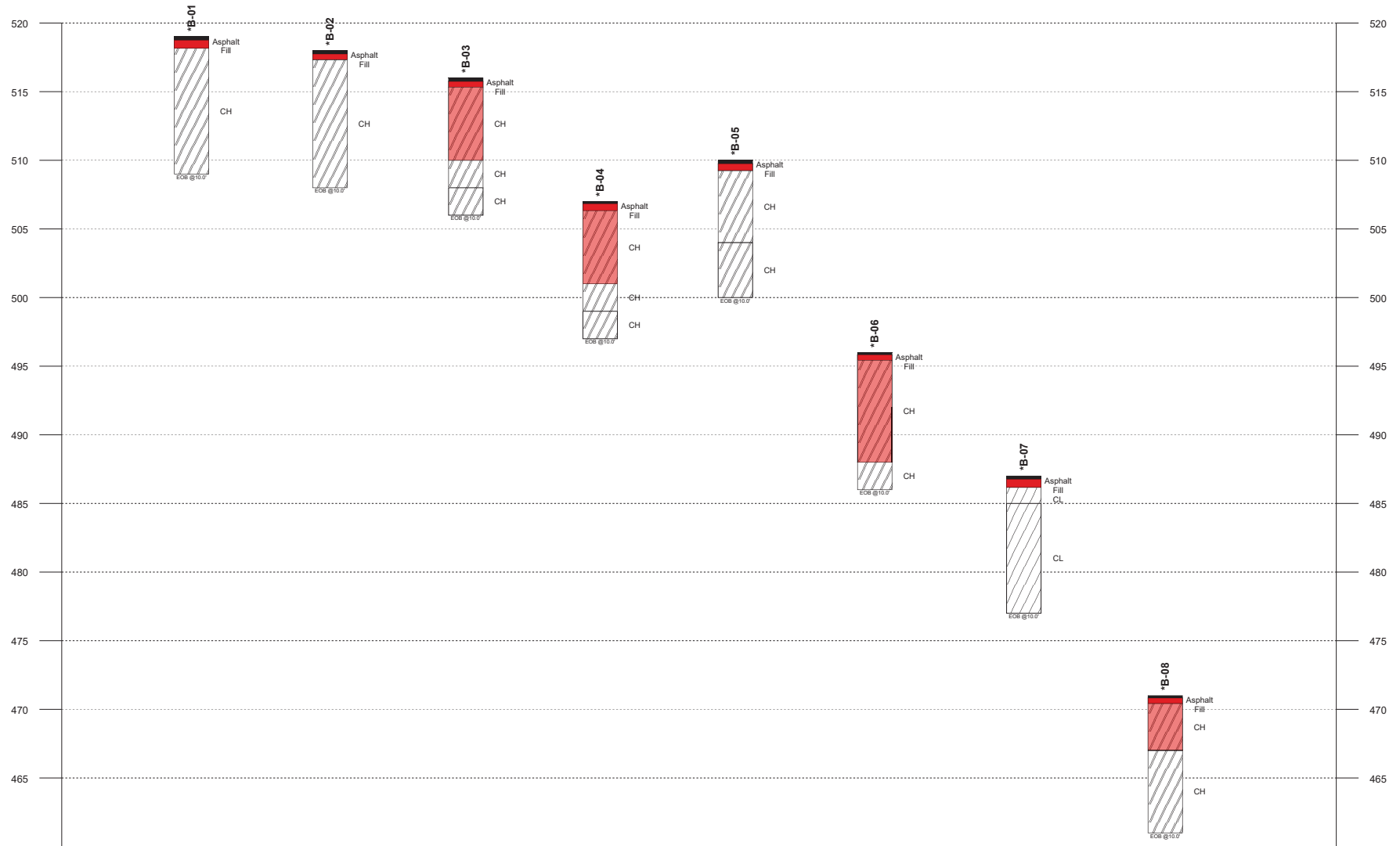
FROM WA ALLEN BOULEVARD TO BENNETT ROAD, WYLIE, TEXAS
CITY OF WYLIE, TX

ENGINEER MPB1
SCALE AS NOTED
PROJECT NO. 19:8613
SHEET 1 OF 1
DATE 2/22/2022





ENGINEER MPB1
SCALE AS NOTED
PROJECT NO. 19:8613
SHEET 1 OF 1
DATE 2/22/2022

**Notes:**

1- EOB: END OF BORING AR: AUGER REFUSAL SR: SAMPLER REFUSAL.
 2- THE NUMBER BELOW THE STRIPS IS THE DISTANCE ALONG THE BASELINE.
 3- SEE INDIVIDUAL BORING LOG AND GEOTECHNICAL INFORMATION.
 4- STANDARD PENETRATION TEST RESISTANCE (LEFT OF BORING) IN BLOWS PER FOOT (ASTM D1586).

Plastic Limit Water Content Liquid Limit

X ———●—————△

[FINES CONTENT %]

BOTTOM OF CASING

LOSS OF CIRCULATION

WL (First Encountered)

WL (Completion)

WL (Seasonal High Water)

WL (Stabilized)

Fill

Possible Fill

Probable Fill

Rock

**GENERALIZED SUBSURFACE SOIL PROFILE Section line A-A'**

Stone Road Improvements

City of Wylie, TX

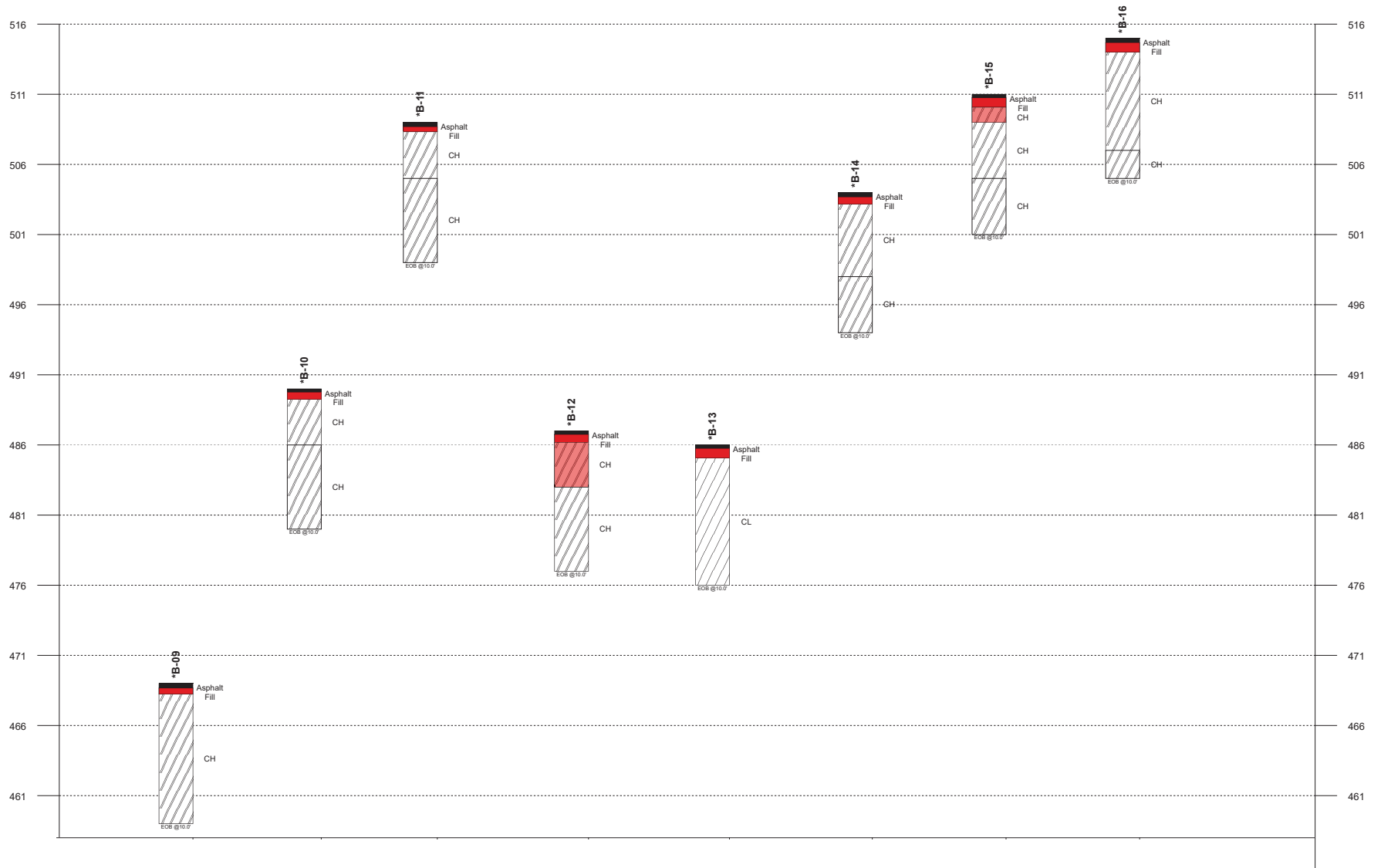
WA Allen Boulevard to Bennett Road, Wylie, Texas 75098

Project No:

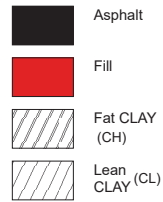
19-8513

Date:

03/10/2022



Legend Key



Notes:

1- EOB: END OF BORING AR: AUGER REFUSAL SR: SAMPLER REFUSAL.
 2- THE NUMBER BELOW THE STRIPS IS THE DISTANCE ALONG THE BASELINE.
 3- SEE INDIVIDUAL BORING LOG AND GEOTECHNICAL INFORMATION.
 4- STANDARD PENETRATION TEST RESISTANCE (LEFT OF BORING) IN BLOWS PER FOOT (ASTM D1586).

Plastic Limit Water Content Liquid Limit

X ———— ● ———— △

[FINES CONTENT %]

BOTTOM OF CASING

LOSS OF CIRCULATION

WL (First Encountered)

WL (Completion)

WL (Seasonal High Water)

WL (Stabilized)

Fill

Possible Fill

Probable Fill

Rock



GENERALIZED SUBSURFACE SOIL PROFILE Section line B-B'

Stone Road Improvements

City of Wylie, TX

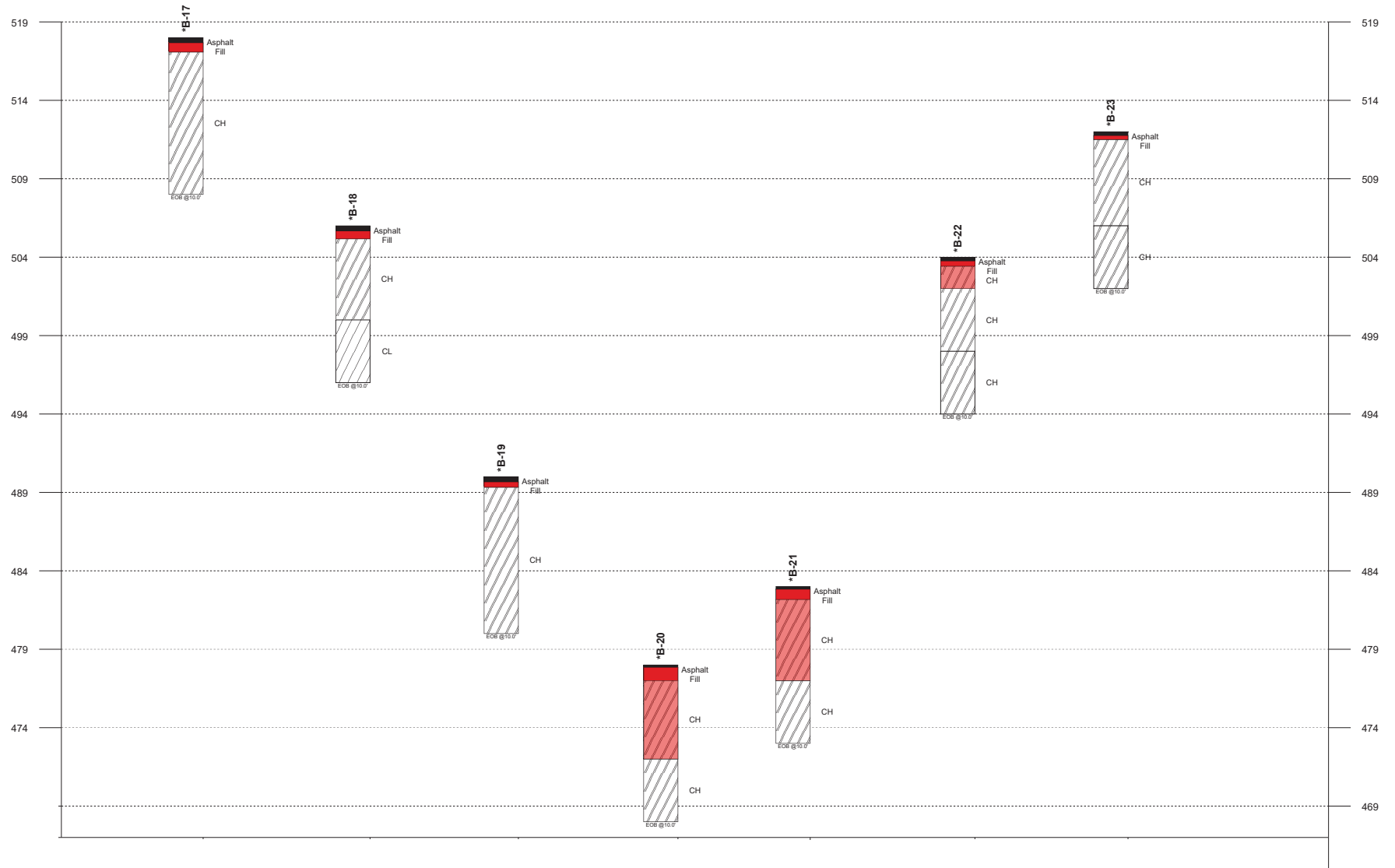
WA Allen Boulevard to Bennett Road, Wylie, Texas 75098

Project No:

19-8513

Date:

03/10/2022





REGIONAL GEOLOGY STONE ROAD IMPROVEMENTS

FROM WA ALLEN BOULEVARD TO BENNETT ROAD, WYLIE, TEXAS
CITY OF WYLIE, TX

ENGINEER MPB1
SCALE AS NOTED
PROJECT NO. 19:8613
SHEET 1 OF 1
DATE 2/22/2022

General Recommendations for Quality Assurance (QA) Testing*

Item	Parameter	Test Method ASTM unless noted otherwise	Test Frequency or Observations	Requirements
General Earth Fill Below Paving & Structures	Standard Proctor Curve	D698	1 per soil type	--
	Atterberg Limits	D4318	1 per soil type	--
	-200 Mesh Sieve	D1140	1 per soil type	--
	In Situ Density/Moisture Nuclear Gauge	D2922 D3017	1 per each 200 ft. of lane direction per 6 inch lift (2 tests minimum per lift per section)	Density \geq 95% Moisture: PI < 20 (-2 to +5) PI > 20 (0 to +5)
Select Fill	Standard Proctor Curve	D698	1 per soil type	Lean Sandy Clay (CL) or Clayey Sand (SC)
	Atterberg Limits	D4318	1 per soil type	LL \leq 35 6 \leq PI \leq 15
	-200 Mesh Sieve (P 200)	D1140	1 per soil type	P200 \leq 50
	In Situ Density/Moisture Nuclear Gauge	D2922 D3017	1 per each 200 ft. of lane direction per 6 inch lift (2 tests minimum per lift per section)	Density \geq 95% Moisture: (-2 to +5)
Stabilized Subgrade	Standard Proctor Curve	D698	1 per soil type	--
	Atterberg Limits	D4318	1 per soil type	PI \leq 15
	In Situ Density/Moisture Nuclear Gauge	D2922 D3017	1 per each 200 ft. of lane direction (2 tests minimum)	Density \geq 95% Moisture: +3%
	Gradation	D422	1 per 2 Density/Moisture tests	100% Passing 1-3/4" Sieve 60 % passing #4 Sieve
	Depth Check	Survey, drive probe or hand auger	1 per 2 Density/Moisture tests	Min. Specified

*Performed by the Construction Materials Engineering and Testing Company hired by owner.

Item	Parameter	Test Method ASTM unless noted otherwise	Test Frequency or Observations	Requirements
Trench Backfill Below Streets & Structures	Standard Proctor Curve	D698	1 per soil type	--
	Atterberg Limits	D4318	1 per soil type	--
	-200 Mesh Sieve	D1140	1 per soil type	--
	In Situ Density/Moisture Nuclear Gauge	D2922 D3017	1 per each 250 ft. of lane direction per 12 inch lift (2 tests minimum per lift per section)	Density \geq 95% Moisture: -1 to +4
Wall Backfill	Standard Proctor Curve	D698	1 per soil type	--
	Atterberg Limits	D4318	1 per soil type	LL \leq 35 6 \leq PI \leq 15
	-200 Mesh Sieve (P 200)	D1140	1 per soil type	P200 \leq 50
	In Situ Density/Moisture Nuclear Gauge	D2922 D3017	1 per each 200 ft. of lane direction per 8 inch lift 6 inch lifts if hand-operated tampers are used (2 tests minimum per lift per section)	Density \geq 95% Moisture: (-1 to +4)
Crushed Limestone Flexible Base (TxDOT Item 247)	Modified Proctor Curve	D1557	1 per material type	Type A, Grade 1 or better
	Atterberg Limits	D4318	1 per material type	LL \leq 40 PI \leq 12
	Sieve Analysis	D422	1 per material type	0-10 % Passing 1-3/4 inch 45-75 % Passing No. 4 60-85 % Passing No. 40
	Wet Ball Mill	TxDOT	1 per material type	Max. 45
	In Situ Density/Moisture Nuclear Gauge	D2922 D3017	1 per each 200 ft. of lane direction (Streets/Roads)	Density \geq 95% (Modified) Moisture: -2 to +4%

Notes: 1. Table 1 is a guide for sampling and testing. Each of these items may not apply to the specified project.

2. Material changes, suspect areas, or other field conditions may require the engineer to increase testing and sampling frequencies.

3. Minimum of two tests per lift.

4. The moisture content ranges specified are to be considered as maximum allowable ranges. The contractor may have to maintain a more narrow range (within the maximum allowable) in order to consistently achieve the specified density for some soils or under some conditions.

APPENDIX B – Field Operations

Reference Notes for Boring Logs
Subsurface Exploration Procedure
Boring Logs



REFERENCE NOTES FOR BORING LOGS

MATERIAL^{1,2}

	ASPHALT
	CONCRETE
	GRAVEL
	TOPSOIL
	VOID
	BRICK
	AGGREGATE BASE COURSE
	GW WELL-GRADED GRAVEL gravel-sand mixtures, little or no fines
	GP POORLY-GRADED GRAVEL gravel-sand mixtures, little or no fines
	GM SILTY GRAVEL gravel-sand-silt mixtures
	GC CLAYEY GRAVEL gravel-sand-clay mixtures
	SW WELL-GRADED SAND gravelly sand, little or no fines
	SP POORLY-GRADED SAND gravelly sand, little or no fines
	SM SILTY SAND sand-silt mixtures
	SC CLAYEY SAND sand-clay mixtures
	ML SILT non-plastic to medium plasticity
	MH ELASTIC SILT high plasticity
	CL LEAN CLAY low to medium plasticity
	CH FAT CLAY high plasticity
	OL ORGANIC SILT or CLAY non-plastic to low plasticity
	OH ORGANIC SILT or CLAY high plasticity
	PT PEAT highly organic soils

DRILLING SAMPLING SYMBOLS & ABBREVIATIONS

SS	Split Spoon Sampler	PM	Pressuremeter Test
ST	Shelby Tube Sampler	RD	Rock Bit Drilling
WS	Wash Sample	RC	Rock Core, NX, BX, AX
BS	Bulk Sample of Cuttings	REC	Rock Sample Recovery %
PA	Power Auger (no sample)	RQD	Rock Quality Designation %
HSA	Hollow Stem Auger		

PARTICLE SIZE IDENTIFICATION

DESIGNATION	PARTICLE SIZES
Boulders	12 inches (300 mm) or larger
Cobbles	3 inches to 12 inches (75 mm to 300 mm)
Gravel: Coarse	¾ inch to 3 inches (19 mm to 75 mm)
Fine	4.75 mm to 19 mm (No. 4 sieve to ¾ inch)
Sand: Coarse	2.00 mm to 4.75 mm (No. 10 to No. 4 sieve)
Medium	0.425 mm to 2.00 mm (No. 40 to No. 10 sieve)
Fine	0.074 mm to 0.425 mm (No. 200 to No. 40 sieve)
Silt & Clay ("Fines")	<0.074 mm (smaller than a No. 200 sieve)

COHESIVE SILTS & CLAYS

UNCONFINED COMPRESSION STRENGTH, QP ⁴	SPT ⁵ (BPF)	CONSISTENCY ⁷ (COHESIVE)
<0.25	<2	Very Soft
0.25 - <0.50	2 - 4	Soft
0.50 - <1.00	5 - 8	Firm
1.00 - <2.00	9 - 15	Stiff
2.00 - <4.00	16 - 30	Very Stiff
4.00 - 8.00	31 - 50	Hard
>8.00	>50	Very Hard

RELATIVE AMOUNT ⁷	COARSE GRAINED (%) ⁸	FINE GRAINED (%) ⁸
Trace	≤5	≤5
With	10 - 20	10 - 25
Adjective (ex: "Silty")	25 - 45	30 - 45

GRAVELS, SANDS & NON-COHESIVE SILTS

SPT ⁵	DENSITY
<5	Very Loose
5 - 10	Loose
11 - 30	Medium Dense
31 - 50	Dense
>50	Very Dense

WATER LEVELS⁶

	WL (First Encountered)
	WL (Completion)
	WL (Seasonal High Water)
	WL (Stabilized)

FILL AND ROCK

FILL	POSSIBLE FILL	PROBABLE FILL	ROCK

¹Classifications and symbols per ASTM D 2488-17 (Visual-Manual Procedure) unless noted otherwise.

²To be consistent with general practice, "POORLY GRADED" has been removed from GP, GP-GM, GP-GC, SP, SP-SM, SP-SC soil types on the boring logs.

³Non-ASTM designations are included in soil descriptions and symbols along with ASTM symbol [Ex: (SM-FILL)].

⁴Typically estimated via pocket penetrometer or Torvane shear test and expressed in tons per square foot (tsf).

⁵Standard Penetration Test (SPT) refers to the number of hammer blows (blow count) of a 140 lb. hammer falling 30 inches on a 2 inch OD split spoon sampler required to drive the sampler 12 inches (ASTM D 1586). "N-value" is another term for "blow count" and is expressed in blows per foot (bpf). SPT correlations per 7.4.2 Method B and need to be corrected if using an auto hammer.

⁶The water levels are those levels actually measured in the borehole at the times indicated by the symbol. The measurements are relatively reliable when augering, without adding fluids, in granular soils. In clay and cohesive silts, the determination of water levels may require several days for the water level to stabilize. In such cases, additional methods of measurement are generally employed.

⁷Minor deviation from ASTM D 2488-17 Note 14.

⁸Percentages are estimated to the nearest 5% per ASTM D 2488-17.

SUBSURFACE EXPLORATION PROCEDURES

The field exploration was planned with the objective of characterizing the project site in general geotechnical and geological terms and to evaluate subsequent field and laboratory data to assist in the determination of geotechnical recommendations.

The subsurface conditions were explored by drilling and sampling 23 borings to a depth of approximately 10 feet below the existing site grades. A truck-mounted drill rig with continuous flight augers was utilized to drill the borings. The boring locations were determined by and identified in the field by ECS personnel using the supplied diagram. The approximate as-drilled boring locations are shown on the Boring Location Diagram in Appendix A. The ground surface elevations noted on the boring logs were obtained from NCTCOG (www.dfwmaps.com), which provided elevation contours in 2-foot intervals.

Representative soil samples were obtained by means of Shelby tube sampling procedures in accordance with ASTM Specification D-1587. In the Shelby tube sampling procedure, a thin walled, steel, seamless tube with sharp cutting edges is pushed hydraulically into the soil, and a relatively undisturbed sample is obtained.

Field logs of the soils encountered in the borings were maintained by the drilling crew. After recovery, each sample was removed from the sampler and visually classified. Representative portions of each soil sample were then wrapped in plastic and transported to our laboratory for further visual examination and laboratory testing. After completion of the drilling operations, the boreholes were backfilled with auger cuttings and patched on the surface.

CLIENT:
City of Wylie, TX

PROJECT NO.:
19:8613

BORING NO.:
B-01

SHEET:
1 of 1

PROJECT NAME:
Stone Road Improvements

DRILLER/CONTRACTOR:
StrataBore, LLC

SITE LOCATION:
WA Allen Boulevard to Bennett Road, Wylie, Texas 75098

LOSS OF CIRCULATION
100'

NORTHING:
7058095.9

EASTING:
2582679.1

STATION:

SURFACE ELEVATION:
519.00

BOTTOM OF CASING

DEPTH (FT)

SAMPLE NUMBER

SAMPLE TYPE

SAMPLE DIST. (IN)

RECOVERY (IN)

DESCRIPTION OF MATERIAL

WATER LEVELS

ELEVATION (FT)

BLOWS/6"

Asphalt [3"]

FILL, sand and gravel, brown [7"]

(CH) FAT CLAY, brown and dark brown, moist, very stiff to hard

END OF BORING AT 10.0 FT

514

509

504

499

494

489

Plastic Limit Water Content Liquid Limit

X

2.25

2.75

3.50

3.50

4.25

STANDARD PENETRATION BLOWS/FT

ROCK QUALITY DESIGNATION & RECOVERY

RQD

REC

CALIBRATED PENETROMETER TON/SF

[FINES CONTENT] %

THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL

WL (First Encountered) Dry

WL (Completion) Dry

WL (Seasonal High Water) N/A

WL (Stabilized) N/A

BORING STARTED: Feb 10 2022

BORING COMPLETED: Feb 10 2022

EQUIPMENT: Truck

LOGGED BY: StrataBore




CAVE IN DEPTH:

HAMMER TYPE: Auto





DRILLING METHOD: CFA

GEOTECHNICAL BOREHOLE LOG




280

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-02		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7057605.1		EASTING: 2582663.0		STATION:		SURFACE ELEVATION: 518.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ———●—————△	
									⊗ STANDARD PENETRATION BLOWS/FT	
									ROCK QUALITY DESIGNATION & RECOVERY	
									— RQD — REC	
									○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	16	16	Asphalt [3"]					○ 3.50
	S-2	ST	24	24	FILL, sand and gravel, brown [5"]					○ 3.50
	S-3	ST	24	24	(CH) FAT CLAY, brown and dark brown, moist, very stiff to hard					○ 3.75
	S-4	ST	24	24						○ 4.00
	S-5	ST	24	24						○ 4.25
10					END OF BORING AT 10.0 FT					
15										
20										
25										
30										
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<div> <div>WL (First Encountered)</div> <div>Dry</div> </div>				BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
<div> <div>WL (Completion)</div> <div>Dry</div> </div>				BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
<div> <div>WL (Seasonal High Water)</div> <div>N/A</div> </div>				EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<div> <div>WL (Stabilized)</div> <div>N/A</div> </div>										














GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-03		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 
NORTHING: 7057123.5			EASTING: 2582653.8		STATION:		SURFACE ELEVATION: 516.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	16	16	Asphalt [3"]		511		○ 2.75 ○ 2.75 ○ 3.25 ○ 3.00 ○ 4.25	
	S-2	ST	24	24	FILL, sand and gravel, brown [5"]					
	S-3	ST	24	24	FILL, LEAN/FAT CLAYS, brown and light brown, moist, very stiff					
	S-4	ST	24	24	(CH) FAT CLAY, brown and dark brown, moist, very stiff					
	S-5	ST	24	24	(CH) FAT CLAY, light brown and brown, moist, hard					
10					END OF BORING AT 10.0 FT		506			
15							501			
20							496			
25							491			
30							486			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
▽ WL (First Encountered) Dry				BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
▼ WL (Completion) Dry				BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
▽ WL (Seasonal High Water) N/A				EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
▽ WL (Stabilized) N/A										





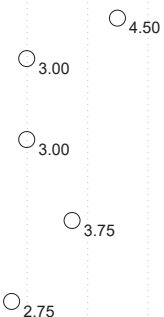
GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-04		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 
NORTHING: 7056647.6			EASTING: 2582638.7		STATION:		SURFACE ELEVATION: 507.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	16	16	Asphalt [2"]					
	S-2	ST	24	24	FILL, sand and gravel, brown and yellowish brown [6"]					
5	S-3	ST	24	24	FILL, FAT/LEAN CLAYS, brown and light brown, moist, very stiff		502		○ 2.75 ○ 3.25 ○ 3.25 ○ 4.25 ○ 3.75	
	S-4	ST	24	24	(CH) FAT CLAY, dark brown, moist, hard					
10	S-5	ST	24	24	(CH) FAT CLAY, light brown, moist, very stiff		497			
					END OF BORING AT 10.0 FT					
15							492			
20							487			
25							482			
30							477			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
☒ WL (First Encountered)		Dry		BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
▼ WL (Completion)		Dry		BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
☒ WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
☒ WL (Stabilized)		N/A								




GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-05		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7056168.1		EASTING: 2582642.0		STATION:		SURFACE ELEVATION: 510.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	15	15	Asphalt [3"]		505		    	
	S-2	ST	24	24	FILL, sand and gravel, dark brown [6"] (CH) FAT CLAY, dark brown, moist, very stiff					
	S-3	ST	24	24						
	S-4	ST	24	24	(CH) FAT CLAY, brown and light brown, moist, hard					
	S-5	ST	24	24						
10					END OF BORING AT 10.0 FT		500			
15							495			
20							490			
25							485			
30							480			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered)		Dry		BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion)		Dry		BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized)		N/A								










GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-06		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7055673.7		EASTING: 2582631.5		STATION:		SURFACE ELEVATION: 496.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	17	17	Asphalt [2"]		491			
	S-2	ST	24	24	FILL, sand and gravel, brown [5"]					
	S-3	ST	24	24	FILL, LEAN/FAT CLAYS, light brown and dark brown, moist, very stiff to hard					
	S-4	ST	24	24						
	S-5	ST	24	24	(CH) FAT CLAY, light brown and brown, moist, very stiff					
10					END OF BORING AT 10.0 FT		486			
15							481			
20							476			
25							471			
30							466			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered) Dry				BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion) Dry				BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water) N/A				EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized) N/A										







GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-07		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7055145.4		EASTING: 2582613.0		STATION:		SURFACE ELEVATION: 487.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ———●—————△	
									⊗ STANDARD PENETRATION BLOWS/FT	
									ROCK QUALITY DESIGNATION & RECOVERY	
									— RQD — REC	
									○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	14	14	Asphalt [3"]					
	S-2	ST	24	24	FILL, sand and gravel, brown, brownish yellow [7"]					
5	S-3	ST	24	24	(CL) LEAN CLAY, light brownish yellow, moist, very stiff					3.00
	S-4	ST	24	24	(CL) LEAN CLAY, brown and light brown, moist, very stiff to hard		482			3.00
	S-5	ST	24	24						3.50
10					END OF BORING AT 10.0 FT		477			4.25
15							472			4.50
20							467			
25							462			
30							457			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
☒ WL (First Encountered)		Dry		BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
▼ WL (Completion)		Dry		BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
☒ WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
☒ WL (Stabilized)		N/A								






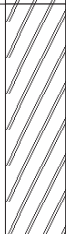
GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-08		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054643.8		EASTING: 2582601.5		STATION:		SURFACE ELEVATION: 471.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	17	17	Asphalt [2"]				○ 2.25	
	S-2	ST	24	24	FILL, sand and gravel, brown [5"]				○ 3.00	
					FILL, FAT/LEAN CLAYS, dark brown and light brown, moist, very stiff				○ 3.00	
5	S-3	ST	24	24	(CH) FAT CLAY, brown and light brown, moist, very stiff		466		○ 3.00	
	S-4	ST	24	24					○ 3.00	
	S-5	ST	24	24					○ 3.00	
10					END OF BORING AT 10.0 FT		461			
15							456			
20							451			
25							446			
30							441			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered)		Dry		BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion)		Dry		BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized)		N/A								









GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-09		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054468.9		EASTING: 2582459.5		STATION:		SURFACE ELEVATION: 469.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	15	15	Asphalt [4"]					
	S-2	ST	24	24	FILL, sand and gravel, brown [5"]					
	S-3	ST	24	24	(CH) FAT CLAY, dark brown and light brown, moist, very stiff					
	S-4	ST	24	24						
	S-5	ST	24	24						
10					END OF BORING AT 10.0 FT		459			
15							454			
20							449			
25							444			
30							439			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered)		Dry		BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion)		Dry		BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized)		N/A								




GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-10		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 
NORTHING: 7054496.5			EASTING: 2581997.8		STATION:		SURFACE ELEVATION: 490.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	15	15	Asphalt [3"]				○ 4.50	
	S-2	ST	24	24	FILL, sand and gravel, brown [6"] (CH) FAT CLAY, dark brown, moist, hard				○ 4.50	
5	S-3	ST	24	24	(CH) FAT CLAY, light brown and brown, moist, hard		485		○ 4.50	
	S-4	ST	24	24					○ 4.50	
10	S-5	ST	24	24			480		○ 4.50	
					END OF BORING AT 10.0 FT					
15							475			
20							470			
25							465			
30							460			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
☒ WL (First Encountered)		Dry		BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
▼ WL (Completion)		Dry		BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
☒ WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
☒ WL (Stabilized)		N/A								











GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-11		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054507.4		EASTING: 2581576.3		STATION:		SURFACE ELEVATION: 509.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— △ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	16	16	Asphalt [4"]				○ 4.50	
	S-2	ST	24	24	FILL, sand and gravel, brown [4"] (CH) FAT CLAY, dark brown, moist, hard				○ 4.50	
5	S-3	ST	24	24	(CH) FAT CLAY, light brown, moist, hard		504		○ 4.50	
	S-4	ST	24	24					○ 4.50	
	S-5	ST	24	24					○ 4.50	
10					END OF BORING AT 10.0 FT		499			
15							494			
20							489			
25							484			
30							479			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
☒ WL (First Encountered)		Dry		BORING STARTED: Feb 10 2022		CAVE IN DEPTH:				
▼ WL (Completion)		Dry		BORING COMPLETED: Feb 10 2022		HAMMER TYPE: Auto				
☒ WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
☒ WL (Stabilized)		N/A								




GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-12		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054506.4		EASTING: 2581026.9		STATION:		SURFACE ELEVATION: 487.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— △ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	14	14	Asphalt [3"]				○ 4.50	
	S-2	ST	24	24	FILL, sand and gravel, brown [7"] FILL, FAT/LEAN CLAYS, brown, moist, hard				○ 4.50	
5	S-3	ST	24	24	(CH) FAT CLAY, light brown and brown, moist, hard		482		○ 4.50	
	S-4	ST	24	24					○ 4.50	
	S-5	ST	24	24					○ 4.50	
10					END OF BORING AT 10.0 FT		477			
15							472			
20							467			
25							462			
30							457			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
☒ WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
▼ WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
☒ WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
☒ WL (Stabilized)		N/A								





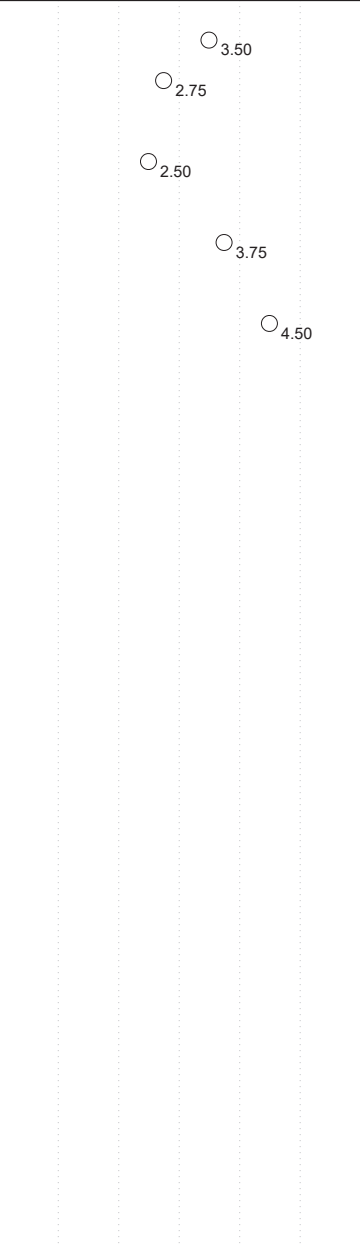








GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-13		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054510.2		EASTING: 2580515.1		STATION:		SURFACE ELEVATION: 486.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— △ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	13	13	Asphalt [3"]					
					FILL, sand and gravel, brown [8"]					
	S-2	ST	24	24	(CL) LEAN CLAY, light brown and brown, moist, very stiff to hard					
	S-3	ST	24	24			481		4.25	
	S-4	ST	24	24					3.75	
10	S-5	ST	24	24					3.75	
					END OF BORING AT 10.0 FT		476		4.00	
15									4.25	
							471			
20							466			
25							461			
30							456			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered) Dry				BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion) Dry				BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water) N/A				EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized) N/A										








GEOTECHNICAL BOREHOLE LOG










CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-14		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054519.9		EASTING: 2579996.2		STATION:		SURFACE ELEVATION: 504.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X —●—△	
									<input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC	
									<input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	14	14	Asphalt [4"]					
	S-2	ST	24	24	FILL, sand and gravel, brown [6"] (CH) FAT CLAY, dark brown and brown, moist, very stiff					3.00
	S-3	ST	24	24			499			3.50
	S-4	ST	24	24	(CH) FAT CLAY, light brown and brown, moist, very stiff					3.75
10	S-5	ST	24	24						2.75
					END OF BORING AT 10.0 FT		494			3.00
15							489			
20							484			
25							479			
30							474			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized)		N/A								

GEOTECHNICAL BOREHOLE LOG









CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-15		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054530.4		EASTING: 2579510.3		STATION:		SURFACE ELEVATION: 511.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	13	13	Asphalt [3"]					
	S-2	ST	24	24	FILL, sand and gravel, brown [8"]					
	S-3	ST	24	24	FILL, LEAN/FAT CLAYS, brown, moist, very stiff					
	S-4	ST	24	24	(CH) FAT CLAY, dark brown, moist, very stiff					
	S-5	ST	24	24	(CH) FAT CLAY, light brown and dark brown, moist, very stiff to hard					
10					END OF BORING AT 10.0 FT		501			
15							496			
20							491			
25							486			
30							481			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
 WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
 WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
 WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
 WL (Stabilized)		N/A								

GEOTECHNICAL BOREHOLE LOG












CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-16		SHEET: 1 of 1			
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC							
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 	
NORTHING: 7054534.6			EASTING: 2579024.9			STATION:		SURFACE ELEVATION: 515.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ● Δ		
									⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC		
									○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %		
5	S-1	ST	12	12	Asphalt [4"]						
					FILL, sand and gravel, brown [8"]						
	S-2	ST	24	24	(CH) FAT CLAY, dark brown, moist, very stiff						
	S-3	ST	24	24							
	S-4	ST	24	24							
10	S-5	ST	24	24	(CH) FAT CLAY, brown, moist, hard						
	END OF BORING AT 10.0 FT										
15											
20											
25											
30											
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL											
☒ WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:					
▼ WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto					
☒ WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA			
☒ WL (Stabilized)		N/A									
GEOTECHNICAL BOREHOLE LOG											

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-17		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 
NORTHING: 7054545.9			EASTING: 2578566.0		STATION:		SURFACE ELEVATION: 518.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	13	13	Asphalt [4"]					
					FILL, sand and gravel, brown [7"]					
	S-2	ST	24	24	(CH) FAT CLAY, dark brown and brown, moist, very stiff to hard					
	S-3	ST	24	24						
	S-4	ST	24	24						
10	S-5	ST	24	24						
					END OF BORING AT 10.0 FT					
15										
20										
25										
30										
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized)		N/A								




GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-18		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 
NORTHING: 7054534.4			EASTING: 2577937.4		STATION:		SURFACE ELEVATION: 506.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	14	14	Asphalt [4"]					
	S-2	ST	24	24	FILL, sand and gravel, dark brown [6"] (CH) FAT CLAY, brown and light brown, moist, very stiff to hard				○ 3.50 ○ 4.00	
5	S-3	ST	24	24			501		○ 3.50	
	S-4	ST	24	24	(CL) LEAN CLAY, light brown and brownish yellow, moist, very stiff to hard				○ 4.25	
10	S-5	ST	24	24					○ 3.75	
					END OF BORING AT 10.0 FT		496			
15							491			
20							486			
25							481			
30							476			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
☒ WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
▼ WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
☒ WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
☒ WL (Stabilized)		N/A								




GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-19		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054522.3		EASTING: 2577377.1		STATION:		SURFACE ELEVATION: 490.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— △ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	16	16	Asphalt [4"]					
					FILL, sand and gravel, brown [4"]					
	S-2	ST	24	24	(CH) FAT CLAY, brown and light brown, moist, hard					
	S-3	ST	24	24			485			
	S-4	ST	24	24						
10	S-5	ST	24	24						
					END OF BORING AT 10.0 FT		480			
15							475			
20							470			
25							465			
30							460			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered) Dry				BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion) Dry				BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water) N/A				EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized) N/A										









GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-20		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 
NORTHING: 7054522.6			EASTING: 2576774.3		STATION:		SURFACE ELEVATION: 478.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ ⊗ STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC ○ CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
					Asphalt [2"]					
	S-1	ST	12	12	FILL, sand and gravel, brown [10"]				○ 4.50	
	S-2	ST	24	24	FILL, LEAN/FAT CLAYS, light brown and brown, moist, hard				○ 4.50	
5	S-3	ST	24	24			473		○ 4.50	
	S-4	ST	24	24	(CH) FAT CLAY, dark brown, moist, stiff				○ 2.00	
10	S-5	ST	24	24			468		○ 1.50	
					END OF BORING AT 10.0 FT					
15							463			
20							458			
25							453			
30							448			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
▽ WL (First Encountered) Dry				BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
▼ WL (Completion) Dry				BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
▽ WL (Seasonal High Water) N/A				EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
▽ WL (Stabilized) N/A										





GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-21		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054529.9		EASTING: 2576274.8		STATION:		SURFACE ELEVATION: 483.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— △ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
	S-1	ST	14	14	Asphalt [2"]					
	S-2	ST	24	24	FILL, sand and gravel, brown [8"]					
5	S-3	ST	24	24	FILL, LEAN/FAT CLAYS, light brown and brown, moist, hard		478		○ 4.50	
	S-4	ST	24	24	(CH) FAT CLAY, dark brown, moist, hard				○ 4.50	
10	S-5	ST	24	24			473		○ 4.50	
					END OF BORING AT 10.0 FT					
15							468			
20							463			
25							458			
30							453			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized)		N/A								

GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-22		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098								LOSS OF CIRCULATION 		
NORTHING: 7054536.4		EASTING: 2575652.5		STATION:		SURFACE ELEVATION: 504.00		BOTTOM OF CASING 		
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— Δ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	19	19	Asphalt [3"]					
					FILL, sand and gravel, brown [4"]					
	S-2	ST	24	24	FILL, LEAN/FAT CLAYS, light brown and brown, moist, very stiff					
					(CH) FAT CLAY, dark brown, moist, very stiff					
	S-3	ST	24	24						
10	S-4	ST	24	24	(CH) FAT CLAY, light brown and brown, moist, very stiff					
	S-5	ST	24	24						
	END OF BORING AT 10.0 FT									
15										
20										
25										
30										
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered)		Dry		BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion)		Dry		BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water)		N/A		EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized)		N/A								

GEOTECHNICAL BOREHOLE LOG

CLIENT: City of Wylie, TX				PROJECT NO.: 19:8613		BORING NO.: B-23		SHEET: 1 of 1		
PROJECT NAME: Stone Road Improvements				DRILLER/CONTRACTOR: StrataBore, LLC						
SITE LOCATION: WA Allen Boulevard to Bennett Road, Wylie, Texas 75098										LOSS OF CIRCULATION 
NORTHING: 7054549.5			EASTING: 2575075.3		STATION:		SURFACE ELEVATION: 512.00		BOTTOM OF CASING 	
DEPTH (FT)	SAMPLE NUMBER	SAMPLE TYPE	SAMPLE DIST. (IN)	RECOVERY (IN)	DESCRIPTION OF MATERIAL	WATER LEVELS	ELEVATION (FT)	BLOWS/6"	Plastic Limit Water Content Liquid Limit X ————— ● ————— △ <input checked="" type="checkbox"/> STANDARD PENETRATION BLOWS/FT ROCK QUALITY DESIGNATION & RECOVERY — RQD — REC <input type="checkbox"/> CALIBRATED PENETROMETER TON/SF [FINES CONTENT] %	
5	S-1	ST	18	18	Asphalt [3"]		507		○ 0.75 ○ 1.25 ○ 1.25 ○ 2.00 ○ 1.75	
	S-2	ST	24	24	FILL, sand and gravel, brown [3"]					
	S-3	ST	24	24	FILL, LEAN/FAT CLAYS, brown and light brown, moist, firm to stiff					
	S-4	ST	24	24	(CH) FAT CLAY, dark brown, moist, stiff					
	S-5	ST	24	24						
10					END OF BORING AT 10.0 FT		502			
15							497			
20							492			
25							487			
30							482			
THE STRATIFICATION LINES REPRESENT THE APPROXIMATE BOUNDARY LINES BETWEEN SOIL TYPES. IN-SITU THE TRANSITION MAY BE GRADUAL										
<input checked="" type="checkbox"/> WL (First Encountered) Dry				BORING STARTED: Feb 09 2022		CAVE IN DEPTH:				
<input checked="" type="checkbox"/> WL (Completion) Dry				BORING COMPLETED: Feb 09 2022		HAMMER TYPE: Auto				
<input checked="" type="checkbox"/> WL (Seasonal High Water) N/A				EQUIPMENT: Truck		LOGGED BY: StrataBore		DRILLING METHOD: CFA		
<input checked="" type="checkbox"/> WL (Stabilized) N/A										

GEOTECHNICAL BOREHOLE LOG

APPENDIX C – Laboratory Testing

Laboratory Testing Summary
Lime/pH Series Results



ECS Southwest, LLP
Carrollton, Texas
Laboratory Testing Summary

Date: 3/2/2022

Project Number: 19:8613

Project Name: Stone Road Improvements (Wylie, TX)

Project Engineer: CT

Principal Engineer: MPB

Summary By: CT

Boring Number	Sample Number	Depth (feet)	MC ¹ (%)	Soil Type ²	Atterberg Limits ³			Percent Passing No. 200 Sieve ⁴	Dry Unit Weight ⁵ (pcf)	Compressive Strength (tsf)	One-Dimensional Swell ⁶			Soluble Sulfate ⁷ (ppm)
					LL	PL	PI				Final Moisture (%)	Surcharge (psf)	Swell (%)	
B-01	S-2	2-4	29.8	CH	70	25	45	98.3						< 3,000
	S-4	6-8	26.9											
B-02	S-1	1-2	10.1											< 3,000
	S-3	4-6	25.7	CH	74	25	49							
B-03	S-1	1-2	10.0											< 3,000
	S-3	4-6	23.4	CH	42	18	24	89.5						
B-04	S-1	1-2	20.4											< 3,000
	S-3	4-6	13.7	CH	54	21	33							
B-05	S-1	1-2	15.2											< 3,000
	S-4	6-8	22.5	CH	66	24	42							
B-06	S-1	1-2	7.9											< 3,000
	S-4	6-8	5.4	FILL	31	16	15							
B-07	S-1	1-2	17.7	CL	45	19	26							< 3,000
	S-4	6-8	17.9	CL	49	20	29							
B-08	S-1	1-2	11.7											< 3,000
	S-3	4-6	30.2	CH	73	25	48							
B-09	S-1	1-2	17.4											< 3,000
	S-3	4-6	29.1	CH	69	24	45	95.0						
B-10	S-1	1-2	17.6											< 3,000
	S-3	4-6	16.3	CH	54	21	33							

Notes: 1. ASTM D 2216, 2. ASTM D 2487, 3. ASTM D 4318, 4. ASTM D 422, 5. ASTM D 2937, 6. ASTM D4546, 7. TEX 145E, 8. ASTM D 2166

Definitions: MC: Moisture Content, Soil Type: USCS (Unified Soil Classification System), LL: Liquid Limit, PL: Plastic Limit, PI: Plasticity Index, NP: Non Plastic



Carrollton, Texas
Laboratory Testing Summary

Date: 3/2/2022

Project Number: 19:8613

Project Name: Stone Road Improvements (Wylie, TX)

Project Engineer: CT

Principal Engineer: MPB

Summary By: CT

Boring Number	Sample Number	Depth (feet)	MC ¹ (%)	Soil Type ²	Atterberg Limits ³			Percent Passing No. 200 Sieve ⁴	Dry Unit Weight ⁵ (pcf)	Compressive Strength (tsf)	One-Dimensional Swell ⁶			Soluble Sulfate ⁷ (ppm)
					LL	PL	PI				Final Moisture (%)	Surcharge (psf)	Swell (%)	
B-11	S-1	1-2	19.5	CH										< 3,000
	S-4	6-8	16.6		58	22	36							
B-12	S-1	1-2	22.3	CH										< 3,000
	S-4	6-8	20.0		58	22	36							
B-13	S-1	1-2	17.1	CL										< 3,000
	S-4	6-8	18.1		41	18	23	98.7						
B-14	S-1	1-2	40.6	CH										< 3,000
	S-3	4-6	24.8		64	23	41	96.2						
B-15	S-2	2-4	26.5	CH										< 3,000
	S-4	6-8	23.1		59	22	37							
B-16	S-1	1-2	26.1	CH										< 3,000
	S-3	4-6	25.6		67	24	43	98.7						
B-17	S-1	1-2	18.6	CH										< 3,000
	S-4	6-8	18.2		68	24	44	85.7						
B-18	S-1	1-2	19.1	CL										< 3,000
	S-3	4-6	20.7											
	S-5	8-10	22.1		47	19	28							
B-19	S-1	1-2	15.0	CH										< 3,000
	S-4	6-8	19.5		52	21	31							
B-20	S-1	1-2	18.9	FILL										< 3,000
	S-3	4-6	8.6		27	14	13	42.6						

Notes: 1. ASTM D 2216, 2. ASTM D 2487, 3. ASTM D 4318, 4. ASTM D 422, 5. ASTM D 2937, 6. ASTM D4546, 7 TEX 145E

Definitions: MC: Moisture Content, Soil Type: USCS (Unified Soil Classification System), LL: Liquid Limit, PL: Plastic Limit, PI: Plasticity Index, NP: Non Plastic



ECS Southwest, LLP
Dallas, TX

Project No: 19:8613

Date : 02/17/22

Project : Stone Road Improvements (Wylie, TX)

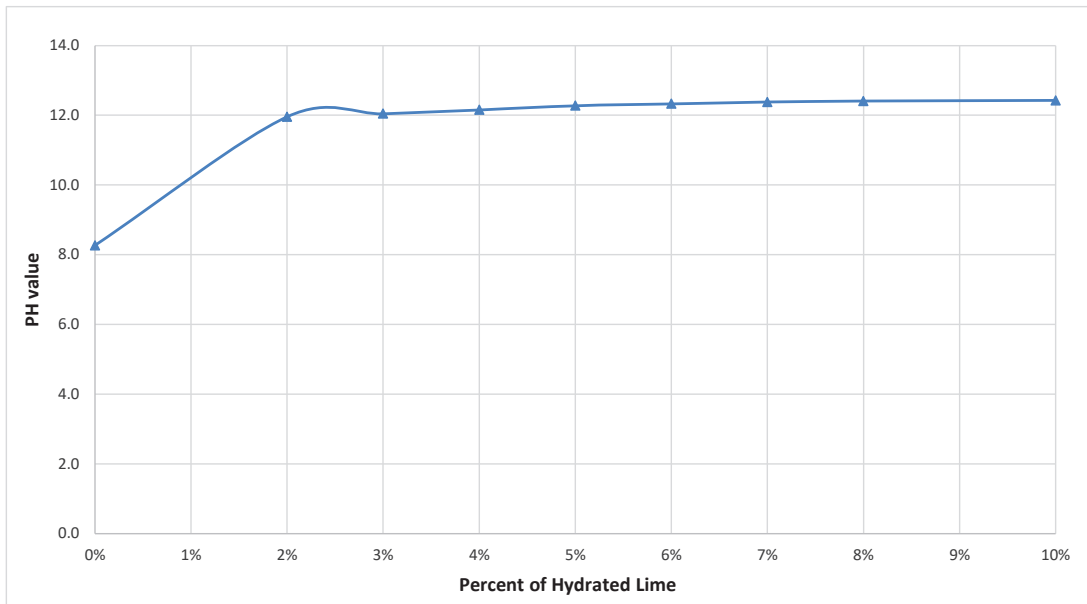
Tested By : KM

Source : B - 1 at 1' - 2'

Sample Information: Fat Clay, dark brown (CH)

Lime pH Series Test

% of Hydrated Lime	Corrected pH	Remarks
0%	8.3	
2%	12.0	
3%	12.0	
4%	12.2	
5%	12.3	
6%	12.3	
7%	12.4	
8%	12.4	
10%	12.4	



APPENDIX D – Winpas Pavement Design Outputs

WinPAS

Pavement Thickness Design According to
1993 AASHTO Guide for Design of Pavements Structures
 American Concrete Pavement Association

Rigid Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen Blvd. to Bennett Road

Rigid Pavement Design/Evaluation

PCC Thickness	7.89 inches	Load Transfer, J	3.00
Design ESALs	2,411,295	Mod. Subgrade Reaction, k	200 psi/in
Reliability	90.00 percent	Drainage Coefficient, Cd	1.00
Overall Deviation	0.39	Initial Serviceability	4.50
Modulus of Rupture	620 psi	Terminal Serviceability	2.50
Modulus of Elasticity	4,000,000 psi		

Modulus of Subgrade Reaction (k-value) Determination

Resilient Modulus of the Subgrade	0.0 psi
Resilient Modulus of the Subbase	0.0 psi
Subbase Thickness	0.00 inches
Depth to Rigid Foundation	0.00 feet
Loss of Support Value (0,1,2,3)	0.0

Modulus of Subgrade Reaction	200.00 psi/in
------------------------------	---------------

WinPAS

Pavement Thickness Design According to
1993 AASHTO Guide for Design of Pavements Structures
 American Concrete Pavement Association

Rigid Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen Blvd. to Bennett Road

Rigid Pavement Design/Evaluation

PCC Thickness	7.78 inches	Load Transfer, J	3.00
Design ESALs	2,411,295	Mod. Subgrade Reaction, k	240 psi/in
Reliability	90.00 percent	Drainage Coefficient, Cd	1.00
Overall Deviation	0.39	Initial Serviceability	4.50
Modulus of Rupture	620 psi	Terminal Serviceability	2.50
Modulus of Elasticity	4,000,000 psi		

Modulus of Subgrade Reaction (k-value) Determination

Resilient Modulus of the Subgrade	0.0 psi
Resilient Modulus of the Subbase	0.0 psi
Subbase Thickness	0.00 inches
Depth to Rigid Foundation	0.00 feet
Loss of Support Value (0,1,2,3)	0.0

Modulus of Subgrade Reaction	240.00 psi/in
------------------------------	---------------

WinPAS

Pavement Thickness Design According to

1993 AASHTO Guide for Design of Pavements Structures

American Concrete Pavement Association

Flexible Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen to Bennett Road

Flexible Pavement Design/Evaluation

Structural Number	4.62	Soil Resilient Modulus	5,000.00 psi
Design ESALs	2,411,295	Initial Serviceability	4.20
Reliability	90.00 percent	Terminal Serviceability	2.50
Overall Deviation	0.45		

Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.44	1.00	2.00	0.88
Asphalt Treated Agg. Base	0.41	1.00	7.00	2.87
Bitum. Treated Agg. Base	0.12	1.00	8.00	0.96
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	4.71

WinPAS

Pavement Thickness Design According to

1993 AASHTO Guide for Design of Pavements Structures

American Concrete Pavement Association

Flexible Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen to Bennett Road

Flexible Pavement Design/Evaluation

Structural Number	4.62	Soil Resilient Modulus	5,000.00 psi
Design ESALs	2,411,295	Initial Serviceability	4.20
Reliability	90.00 percent	Terminal Serviceability	2.50
Overall Deviation	0.45		

Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.44	1.00	2.00	0.88
Asphalt Treated Agg. Base	0.41	1.00	7.00	2.87
Bitum. Treated Agg. Base	0.14	1.00	8.00	1.12
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	4.87

WinPAS

Pavement Thickness Design According to

1993 AASHTO Guide for Design of Pavements Structures

American Concrete Pavement Association

Flexible Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen to Bennett Road

Flexible Pavement Design/Evaluation

Structural Number	4.62	Soil Resilient Modulus	5,000.00 psi
Design ESALs	2,411,295	Initial Serviceability	4.20
Reliability	90.00 percent	Terminal Serviceability	2.50
Overall Deviation	0.45		

Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.44	1.00	2.00	0.88
Asphalt Treated Agg. Base	0.41	1.00	7.00	2.87
Bitum. Treated Agg. Base	0.15	1.00	8.00	1.20
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	4.95

WinPAS

Pavement Thickness Design According to
1993 AASHTO Guide for Design of Pavements Structures
 American Concrete Pavement Association

Rigid Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen Blvd. to Bennett Road

Rigid Pavement Design/Evaluation

PCC Thickness	8.72 inches	Load Transfer, J	3.00
Design ESALs	4,352,719	Mod. Subgrade Reaction, k	200 psi/in
Reliability	90.00 percent	Drainage Coefficient, Cd	1.00
Overall Deviation	0.39	Initial Serviceability	4.50
Modulus of Rupture	620 psi	Terminal Serviceability	2.50
Modulus of Elasticity	4,000,000 psi		

Modulus of Subgrade Reaction (k-value) Determination

Resilient Modulus of the Subgrade 0.0 psi
 Resilient Modulus of the Subbase 0.0 psi
 Subbase Thickness 0.00 inches
 Depth to Rigid Foundation 0.00 feet
 Loss of Support Value (0,1,2,3) 0.0

Modulus of Subgrade Reaction 200.00 psi/in

WinPAS

Pavement Thickness Design According to
1993 AASHTO Guide for Design of Pavements Structures
 American Concrete Pavement Association

Rigid Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen Blvd. to Bennett Road

Rigid Pavement Design/Evaluation

PCC Thickness	8.62 inches	Load Transfer, J	3.00
Design ESALs	4,352,719	Mod. Subgrade Reaction, k	240 psi/in
Reliability	90.00 percent	Drainage Coefficient, Cd	1.00
Overall Deviation	0.39	Initial Serviceability	4.50
Modulus of Rupture	620 psi	Terminal Serviceability	2.50
Modulus of Elasticity	4,000,000 psi		

Modulus of Subgrade Reaction (k-value) Determination

Resilient Modulus of the Subgrade 0.0 psi
 Resilient Modulus of the Subbase 0.0 psi
 Subbase Thickness 0.00 inches
 Depth to Rigid Foundation 0.00 feet
 Loss of Support Value (0,1,2,3) 0.0

Modulus of Subgrade Reaction 240.00 psi/in

WinPAS

Pavement Thickness Design According to

1993 AASHTO Guide for Design of Pavements Structures

American Concrete Pavement Association

Flexible Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen to Bennett Road

Flexible Pavement Design/Evaluation

Structural Number	5.04	Soil Resilient Modulus	5,000.00 psi
Design ESALs	4,352,719	Initial Serviceability	4.20
Reliability	90.00 percent	Terminal Serviceability	2.50
Overall Deviation	0.45		

Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.44	1.00	2.00	0.88
Asphalt Treated Agg. Base	0.41	1.00	8.00	3.28
Bitum. Treated Agg. Base	0.12	1.00	8.00	0.96
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	5.12

WinPAS

Pavement Thickness Design According to

1993 AASHTO Guide for Design of Pavements Structures

American Concrete Pavement Association

Flexible Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen to Bennett Road

Flexible Pavement Design/Evaluation

Structural Number	5.04	Soil Resilient Modulus	5,000.00 psi
Design ESALs	4,352,719	Initial Serviceability	4.20
Reliability	90.00 percent	Terminal Serviceability	2.50
Overall Deviation	0.45		

Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.44	1.00	2.00	0.88
Asphalt Treated Agg. Base	0.41	1.00	8.00	3.28
Bitum. Treated Agg. Base	0.14	1.00	8.00	1.12
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	5.28

WinPAS

Pavement Thickness Design According to

1993 AASHTO Guide for Design of Pavements Structures

American Concrete Pavement Association

Flexible Design Inputs

Agency: City of Wylie
 Company: ECS
 Contractor:
 Project Description: Stone Road Improvements
 Location: From WA Allen to Bennett Road

Flexible Pavement Design/Evaluation

Structural Number	5.04	Soil Resilient Modulus	5,000.00 psi
Design ESALs	4,352,719	Initial Serviceability	4.20
Reliability	90.00 percent	Terminal Serviceability	2.50
Overall Deviation	0.45		

Layer Pavement Design/Evaluation

Layer Material	Layer Coefficient	Drainage Coefficient	Layer Thickness	Layer SN
Asphalt Cement Concrete	0.44	1.00	2.00	0.88
Asphalt Treated Agg. Base	0.41	1.00	8.00	3.28
Bitum. Treated Agg. Base	0.15	1.00	8.00	1.20
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
	0.00	0.00	0.00	0.00
			Σ SN	5.36



Wylie City Council

AGENDA REPORT

Department: City Manager
Prepared By: Brent Parker

Account Code: _____

Subject

Discuss options of the YMCA partnering with the City to operate the Recreation Center.

Recommendation

Discussion

Work Session with the YMCA to discuss options of partnering with the City to operate the Recreation Center.

Financial Summary/Strategic Goals



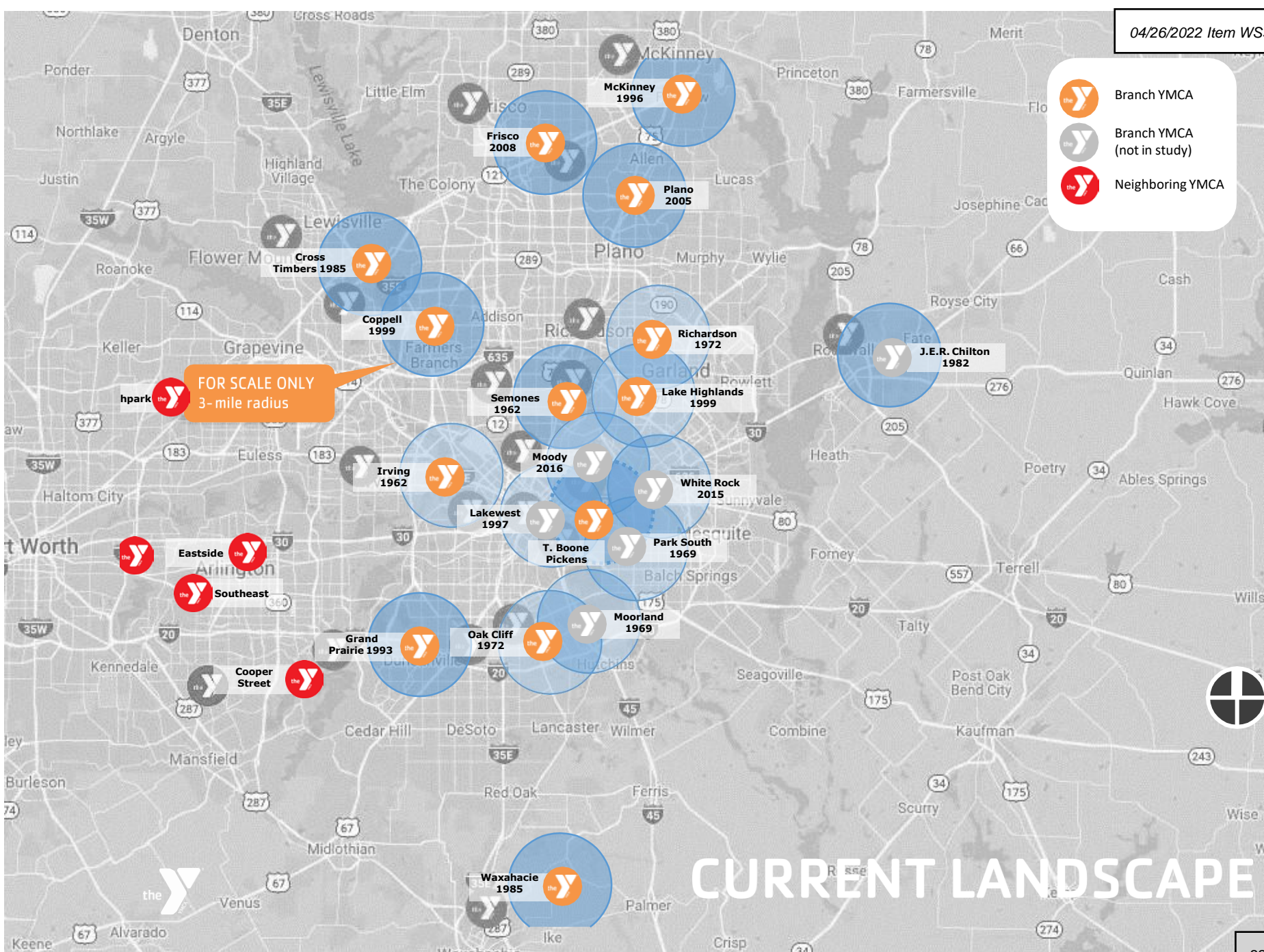
**FOR YOUTH DEVELOPMENT®
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CITY OF WYLIE & YMCA PARTNERSHIP

BRANDY PERRYMAN

April 21, 2022







> 5% PENETRATION RATE
MIN. 2,200 MEMBERSHIP UNITS
> 44,000 HOUSEHOLDS IN MARKET



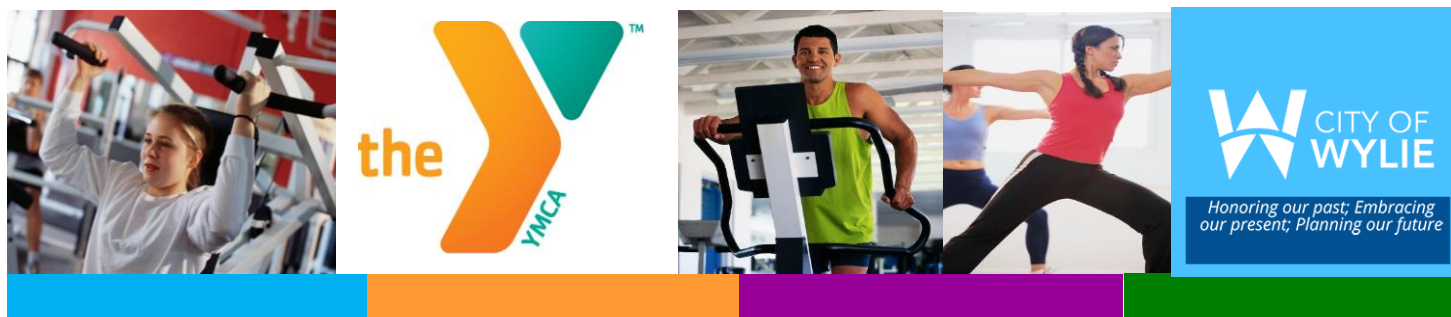
SUSTAINABLE YMCA



Honoring our past; Embracing
our present; Planning our future



Today, **over 60%** of the YMCAs built in the
country are accomplished through a
partnership with a municipality, hospital, school
district, developer...
often times multiple entities collaborate.

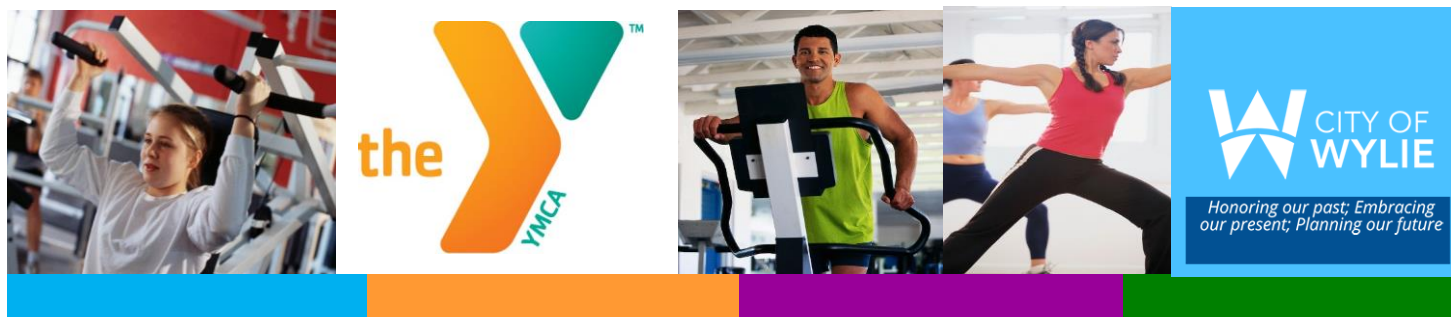


So, what makes a municipality consider a partnership?
Typically, it is a couple of things...

Sticker shock...the cost of building and operating it on their own

The desire to shift ongoing operating cost & liability to a third party

The desire to have a YMCA in their community



Common questions related to YMCA/Municipality Partnerships

Can a partnership with the YMCA save our taxpayers money?

- *YES. Without a partnership, taxpayers bear 100% of the cost to construct, operate & maintain municipal recreational facilities*
- *YES. The average municipal recreation center only recovers 50% of the annual operating costs*
- *YES. Long term maintenance & un-recovered operating costs burden the general fund*
- *YES. A YMCA partnership helps defray or diminish the strain on the municipality's general fund*



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PARTNERSHIP COSTS (CITY OF WYLIE & YMCA)

IDEAL SCENARIO =

- 1) CITY PAYS FOR COSTS RELATED TO LARGE GENERAL MAINTENANCE ITEMS OF BUILDING, AC UNITS, ROOF, WINDOWS, PARKING LOT, OUTDOOR FAÇADE.
- 2) Y PAYS FOR COSTS RELATED TO GENERAL WEAR AND TEAR, FLOORING, LIGHTS, EQUIPMENT REPAIR AND REPLACEMENT.
- 3) ANNUAL BUDGET WOULD BREAK EVEN OR PROVIDE SURPLUS WITH NO CITY SUBSIDY

START-UP SCENARIO =

#1 AND #2 REMAIN THE SAME

#3- CITY SUBSIDY FOR X YEARS TO DEFRAY CURRENT OPERATING DEFICIT

POOL SCENARIO =

WOULD WANT SEPARATE MOU WITH START-UP POOL FOR 1ST YEAR UNTIL WE SEE TRUE IMPACT



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START-UP SCENARIO EXAMPLE

YEAR 1- BUILD TO 1,200 MONTHLY MEMBERSHIP UNITS AND ACHIEVE 50% OF COST OF RECOVERY

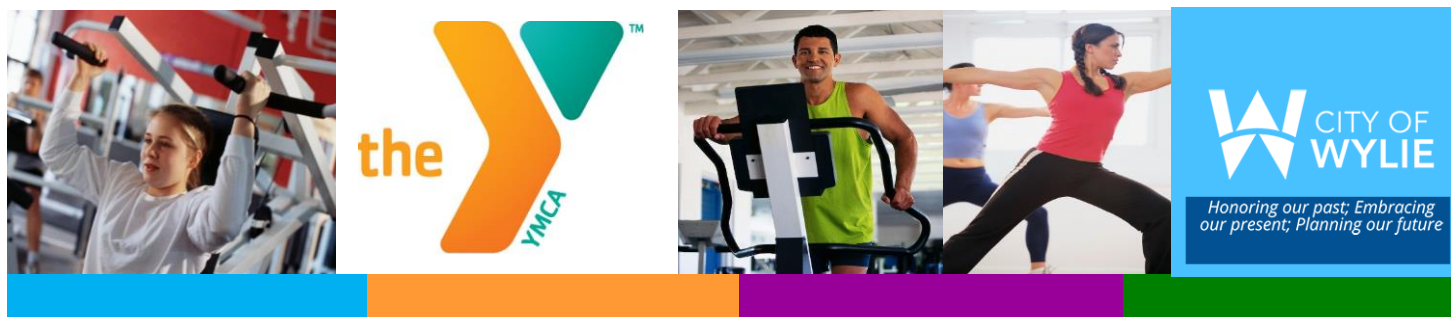
YEAR 2 – BUILD TO 1,700 MONTHLY MEMBERSHIP UNITS AND ACHIEVE 75% OF COST OF RECOVERY

YEAR 3 – BUILD TO 2,200 MONTHLY MEMBERSHIP UNITS AND ACHIEVE 100% OF THE COST OF RECOVERY

*IF COST OF RECOVERY IS ACHIEVED FASTER, THE Y WOULD ONLY ASK FOR THE DIFFERENCE IN YEARS 1-3.

TYPICAL CONTRACT DURATION





Common questions related to YMCA/Municipality Partnerships

Will taxpayers tolerate “YMCA utilization pricing”
if they underwrite facility construction through property taxes?

Studies have found that while taxpayers may expect below market pricing from a municipality...there is little or no resistance paying appropriate rates to a non-profit organization for quality services.

The YMCA turns no one away due to the inability to pay.



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PRICING SAMPLE

<u>MEMBERSHIP TYPES:</u>	<u>WYLIE SAMPLE</u>	
<u>RATES</u>		
TEEN	\$25	
YOUNG ADULT (18-29)	\$35	
SENIOR ADULT	\$35	
ONE ADULT	\$45	
TWO SENIOR ADULTS		\$55
ONE ADULT WITH DEPENDENTS		\$65
TWO ADULTS	\$65	
TWO ADULTS WITH DEPENDENTS	\$75	

*WYLIE RESIDENT DISCOUNT OF 10% IS APPLIED TO THESE FIGURES

*ANY SENIOR ON A RENEW-ACTIVE ELIGIBLE MEDIGAP PLAN WOULD PAY \$0/MONTH.

*FINANCIAL ASSISTANCE IS AVAILABLE FOR ANY PERSON/HOUSEHOLD UNDER \$70,000 IF
QUALIFICATIONS ARE MET

*MEMBERSHIP DUES CAN BE PAID ANNUALLY, BI-ANNUALLY, OR QUARTERLY AS WELL



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STAFFING LEVELS

FULL-TIME

- EXECUTIVE DIRECTOR
- MEMBERSHIP DIRECTOR
- WELLNESS/PT DIRECTOR
- PROGRAM DIRECTOR

PART-TIME

- 65-85 STAFF TOTAL
- 10-15 IN CHILD-WATCH
- 15-20 IN MEMBERSHIP
- 30-40 IN GROUP EXERCISE
- 10 IN GENERAL WELLNESS/PROGRAMS



Common questions related to YMCA/Municipality Partnerships

Isn't the YMCA a membership organization?

Can anyone utilize a municipal facility that is operated by the YMCA?

Yes, the term “member” is synonymous with “annual user” which is the terminology typically utilized in a municipal recreation center.

Community members can choose to pay an annual or a day pass fee.



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YMCA MEMBER BENEFITS

Financial Assistance: If a household earns less than \$70,000 and qualifications are met, the Y will support 20-50% off all membership fees and program fees.

Group Exercise Classes: We offer group exercise classes like Les Mills BODYPUMP, Yoga, Zumba, and Cycle – and they're all included in your membership dues!

Personal Training: Our certified Personal Trainers will add some accountability to your fitness regimen with a workout plan tailored to the member.

Child Watch: You work out and we'll watch your little ones, no extra fee.

Nationwide Membership: Become a member and enjoy any Y, any where in the U.S.



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YMCA MEMBER BENEFITS

All inclusive Membership: Group X, spin, child-watch, towels, coffee and pool access are all included currently.

Programs: Summer Camp, Specialty camps, Healthy Kid's Day would all be programs we would offer.

Member Pricing on Y Programs: Members enjoy special pricing for programs like Swim Lessons, Youth Sports, Summer Camp, Afterschool Care, and so much more.

Dallas Y Military Subsidy: Eligible military personnel will receive 20% off membership and waived joiner's fee at all Dallas Y locations.



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WYLIE AQUATIC FUTURE

- We are equipped to handle Aquatics, have 7 indoor pools and another 8 outdoor pools.
- Aquatics does bolster membership numbers, especially in the summer.
- Most cost-efficient aquatic facilities are outdoor. Any outdoor lap lane, splash pad, water park scenario would be ideal. We would prefer different bodies of water for different components. Outdoor lap pool can be utilized for 9 months in North Texas.
- Would utilize a season pass/day pass cost feature with this to make more accessible to community. Would be a part of membership packages as well.
- We aren't against indoor pools, but they are expensive to operate annually without support.



Edmond, Oklahoma



Edmond, Oklahoma

BOISE, IDAHO

YMCA/LIBRARY/ELEMENTARY SCHOOL /CITY PARK/HEALTH CARE CENTER





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FOR SOCIAL RESPONSIBILITY**

NEXT STEPS AND TIMELINE

- Proforma deep dive for annual budget
- MOU between the parties
- Approval from Council and Y Corporate Board
- Agree on Start-up Date

We would be open to a timeline that is no less than 4-6 months notice but could extend longer if needed. Most of that time would be spent staffing accordingly, training, re-branding the building, changing policies, etc.



THANK YOU



FINANCIAL AID PROCESS & PROCEDURES

Staff Guide



STEP 1:

Member Service
Representative Review
Financial Aid Forms

TO RECEIVE AUTO 20%

HHI must be \$70,000 or less to qualify. Application must be completed with one of the following proofs of income:

- 2 pay stubs
- Proof of public assistance
- Letter from employer
- Self-written request letter

TO UTILIZE SCALE, UP TO 50%

To utilize eligibility scale, IRS Form 1040 and paystubs are required with any of the applicable documentation below:

- IRS Form 1040 - required
- 2 pay stubs/letter from employer - required
- Social Security/Disability proof
- Proof of public assistance

Public assistance includes: WIC, SNAP, Food Stamps, Medicaid, and TANF

STEP 2: MSR 1 will calculate member's monthly income with supporting documents and sign for approval.

STEP 3: MSR 2 will confirm calculation and sign off on approval.

FINANCIAL DOCUMENTS WILL NOT BE KEPT OR COPIED: return all documents to member.

STEP 4 - AWARD PROCESS BEGINS: MSR will provide member with the % amount they have been awarded.

STEP 5: Request member info form or program for sign-up.

STEP 6: MSR will add the qualifying % into CORE to be used for future sign-ups.

STEP 7: MSR will attach Financial Assistance Application & Request Letter (if applicable) to member's CORE record.

CORE WILL KEEP % ASSISTANCE UNDER EACH UNIT, RENEWABLE MAY 1ST OF EACH YEAR.

ADDITIONAL NOTES:

- Once assistance is applied in CORE, that same % will be used across all programs and membership.
- CORE will be set up to recognize 4 levels assistance: 20%, 30%, 40%, 50%.
- Personal Training is excluded from financial assistance discounting.
- If we cannot renew verification on a membership account, normal rates will be applied for the June 1st draft.
- This process will be effective May 1, 2022, as the renewal process happens. Any application received January-April will renew the following April.
- Participants in need of more than 50% support due to extreme circumstances must provide a written letter of need. Executive Director and VP of Operations must sign and approve the letter. Temporary support of 3-6 months can be provided.



YMCA Financial Assistance Eligibility Scale

To utilize eligibility scale, the following should be provided:

- IRS Form 1040 - required
- Social Security/Disability proof - if qualified
- 2 pay stubs/letter from employer - required
- Proof of public assistance - if qualified

Gross Annual Income	Number of Persons in Family							
	1	2	3	4	5	6	7	8
\$0-\$15,000	50%	50%	50%	50%	50%	50%	50%	50%
\$15,001-\$20,000	40%	50%	50%	50%	50%	50%	50%	50%
\$20,001-\$25,000	30%	40%	50%	50%	50%	50%	50%	50%
\$25,001-\$30,000	20%	30%	40%	50%	50%	50%	50%	50%
\$30,001-\$35,000	20%	20%	30%	40%	50%	50%	50%	50%
\$35,001-\$40,000	20%	20%	20%	30%	40%	50%	50%	50%
\$40,001-\$50,000	20%	20%	20%	20%	30%	40%	50%	50%
\$50,001-\$60,000					20%	30%	40%	50%
\$60,001-\$70,000						20%	30%	40%

THE YMCA WELCOMES EVERYONE

Regardless of financial circumstances

TO APPLY FOR FINANCIAL SUPPORT, please return this completed application to the front desk of your local YMCA, with the proper documentation. Decisions regarding support will be made at the time of application.

One of the following will be required for minimum support of 20%*:

- 2 pay stubs
- Proof of public assistance
- Letter from employer
- Personal Letter

For greater support, up to 50%*, please bring IRS Form 1040, 2 pay stubs or letter from employer, and any other applicable documents below:

- Proof of public assistance
- Proof of Social Security or Disability assistance

All supporting documents will be viewed for income verification and returned. The Y will not retain any sensitive documentation.



At the YMCA of Metropolitan Dallas, we feel strongly that income should not be a barrier to becoming a member of the Y or participating in any of our programs.

Therefore, thanks in large part to our Annual Campaign, we offer financial support to anyone in our community whose income doesn't allow for gym membership, swim lessons, youth sports, camp, Afterschool programs, and so much more that the YMCA offers.

Anyone can apply to receive financial support. Eligibility for financial support and the amount of financial support that can be given is determined on an individual basis.

Your local YMCA will review your application, any and all of the financial documentation you can provide; please see the the application on the reverse side for a list of pertinent documents. You are also invited to include, with your application, a written and signed letter explaining any special circumstances that are impacting your financial well-being, because we realize that financials don't always paint the whole picture.

If you're ready to apply for financial support, please bring this application to your local YMCA branch. Applications will be processed, and any qualified awards will be given, at the time of application. Financial support can be renewed annually with updated financial documentation.

Thank you for considering being a part of the Y family. Your membership and participation are important to us!

YMCADallas.org/FinancialAssistance

*Financial Assistance discount does not apply to Personal Training. Discount awarded is not guaranteed and can be changed at any time.



YMCA Dallas Financial Assistance Application

SECTION TO BE FILLED OUT BY APPLICANT

Name:		Member #:	
Address:		City, Zip:	
Email:		Phone:	
Emergency Contact		Emergency Contact Phone:	

Number of Adults _____ Number of Children _____

FAMILY MEMBERS

Name	Date of Birth	Gender	Name	Date of Birth	Gender

Are you willing to volunteer/share your story?

Yes No

I affirm to the best of my knowledge that the above information is true and complete. I agree to provide income documentation in full, and for all members of my household. I understand every adult in my household will count toward this award and I have listed them. I understand that this application expires annually on April 30th, and I must reapply as requested by the branch or program/product will return to full price.

Applicant Signature _____

Date _____

OFFICE USE ONLY

Automatic 20% with one of the following:

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2 Pay Stubs
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Public Assistance *
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Letter from employer
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Personal Request by Letter

20%-50% Approval with the following documents:

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	IRS Form 1040 - Required
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	2 Pay Stubs/ Letter From Employer- Required
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Public Assistance * - If qualified
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Social Security/ Disability - If qualified

*Proof of public assistance: WIC, SNAP, Food Stamps, Medicaid, TANF

Gross Pay is used for Pay Stubs (INCOME REQUIRED FOR ALL ADULTS LISTED ON FORM)

Name: _____ Employer: _____ Pay Stub 1 \$ _____ Pay Stub 2 \$ _____ CIRCLE ONE: Weekly 2x Month Monthly Tax Return (use adjusted gross income line) \$ _____ Year of Return _____	Name: _____ Employer: _____ Pay Stub 1 \$ _____ Pay Stub 2 \$ _____ CIRCLE ONE: Weekly 2x Month Monthly Tax Return (use adjusted gross income line) \$ _____ Year of Return _____	Name: _____ Employer: _____ Pay Stub 1 \$ _____ Pay Stub 2 \$ _____ CIRCLE ONE: Weekly 2x Month Monthly Tax Return (use adjusted gross income line) \$ _____ Year of Return _____	Name: _____ Employer: _____ Pay Stub 1 \$ _____ Pay Stub 2 \$ _____ CIRCLE ONE: Weekly 2x Month Monthly Tax Return (use adjusted gross income line) \$ _____ Year of Return _____
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Other Monthly Household Income (total for the household)

Social Security or Disability \$ _____	Unemployment \$ _____	Pension and/or Retirement \$ _____
Food Stamps \$ _____	Child Support/Alimony \$ _____	All Other Public Assistance \$ _____

A personal letter can be included with application about how the assistance will help them and explain why any of the boxed income verification cannot be provided. (Example: Have not filed taxes yet.)

Staff #1 Verification Signature _____

Date _____

Staff #2 Verification Signature _____

Date _____