

Wylie Planning and Zoning Commission Regular Meeting

August 16, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, the approval of the August 2, 2022 Regular Meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat Butler Estates, being a replat for Lot 6 establishing two lots on 5.005 acres in the City of Wylie Extra Territorial Jurisdiction, located at 1856 Butler Drive.

REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan Lot 4 of Slate Commercial for a retail development on 1.173 acres. Property generally located on State Highway 78 being 1000' east of Eubanks Lane.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on August 12, 2022 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Mary Bradley

Subject

Consider, and act upon, Minutes from the August 2, 2022 Regular Meeting.

Recommendation

Motion to approve item as presented.

Discussion

The minutes are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

August 02, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Bryan Rogers called the meeting to order at 6:00pm. Commissioners present: Chair Rogers, Vice Chair Joshua Butler, Commissioner James Byrne, Commissioner Jennifer Grieser, Commissioner Keith Scruggs, and Commissioner Rod Gouge. Commissioners absent were Commissioner Jacques Loraine.

Staff present: Planning Manager, Jasen Haskins, Senior Planner, Kevin Molina, Fire Marshall Steve Seddig and Administrative Assistant Mary Bradley.

INVOCATION & PLEDGE OF ALLEGIANCE

Commissioner Gouge gave the Invocation and Fire Marshall Seddig led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

No one addressed the Commissioners on Non-Agenda Items.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, the approval of the July 19, 2022 Minutes

Board Action

A motion was made by Commissioner Grieser, and seconded by Commissioner Byrne to approve Consent Agenda as submitted. A vote was taken and carried 6 – 0.

REGULAR AGENDA

- 1. Remove from Table

Board Action

A motion was made by Commission Grieser, and seconded by Commissioner Gouge to remove Item 1 from the table. A vote was taken and carried 6 – 0.

Hold a public hearing, consider, and act upon, a recommendation to City Council regarding adoption of the 2022 Envision Wylie Comprehensive Master Plan.

Staff Presentation

Planning Manager Haskins addressed the Commissioners stating that at a Joint Work Session held June 28, 2022 with City Council, Planning and Zoning and Comprehensive Advisory Committee, the City Council directed Comprehensive Advisory Committee to reconvene and review potential amendments addressed during the work session.

The highlights of those amendments included:

- Removing two Housing Goals related to attainable housing and various housing options
- Redefining low, medium, and high density residential and eliminating references to lot sizes
- Amending the Future Land Use map to address the residential changes and work session comments
- Amending the Special Planning Areas, removing mixed-use from the title for clarification
- Various minor amendments to align other sections of the plan with the above changes or clean up certain language

On July 7, 2022 the Comprehensive Advisory Committee reconvened and revised the Comp Plan with minor edits that included:

- Eliminating Special Planning Area #2 (South SH 78 south of Alanis) and changing the FLU map to represent the properties as Regional Commercial.
- Eliminating references to the Downtown Strategic Plan in parking goal LU3b due to changes in parking plans.
- Moving wording with references for the lakefront parks from LU5b to LU5a to better align with the lakefront goals.
- Making other minor edits to wording or items to align with the above changes.

Board Discussion

Chair Rogers polled the Commissioners and consensus was to approve the Comp Plan. Planning Manager Haskins read comments received by Commissioner Loraine, who was unable to attend the meeting.

Public Comments

Chair Rogers continued the Public Hearing.

Ms. Jennifer Rangel, Inclusive Communities Project, addressed the Commissioners stating that the Comp Plan should address Fair Housing Act recommendations.

Ms. Barbara King, 2725 Stone Road, addressed the Commissioners asked if the comments made by Ms. Rangel included the senior citizens.

Ms. Ann Lott, Executive Director Inclusive Communities Project, addressed the Commissioners stated that age is included in Fair Housing Act. Commissioners addressed some of the comments for Fair Housing Act.

Board Action

A motion was made by Commissioner Gouge, and seconded by Vice Chair Butler to recommend approval to City Council for Item 1. A vote was taken and carried 6 – 0.

Staff stated that the Commissioners were invited to attend a luncheon given by Jericho Village development which is an innovative solution to economically attainable housing.

Staff stated that there will be a regular meeting on August 16, 2022.

ADJOURNMENT

A motion was made by Commissioner Gouge, and seconded by Commissioner Byrne to adjourn the meeting. A vote was taken and carried 6 – 0.

Bryan Rogers, Chair

ATTEST

Mary Bradley, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat Butler Estates, being a replat for Lot 6 establishing two lots on 5.005 acres in the City of Wylie Extra Territorial Jurisdiction, located at 1856 Butler Drive.

Recommendation

Motion to recommend approval as presented.

Discussion

OWNER: Victor Poole

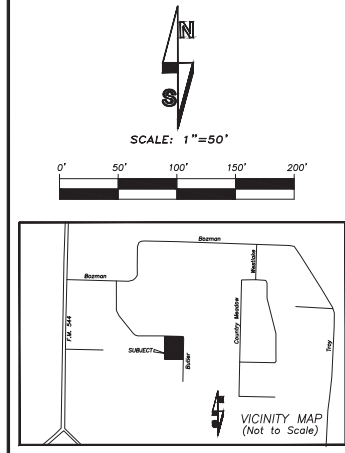
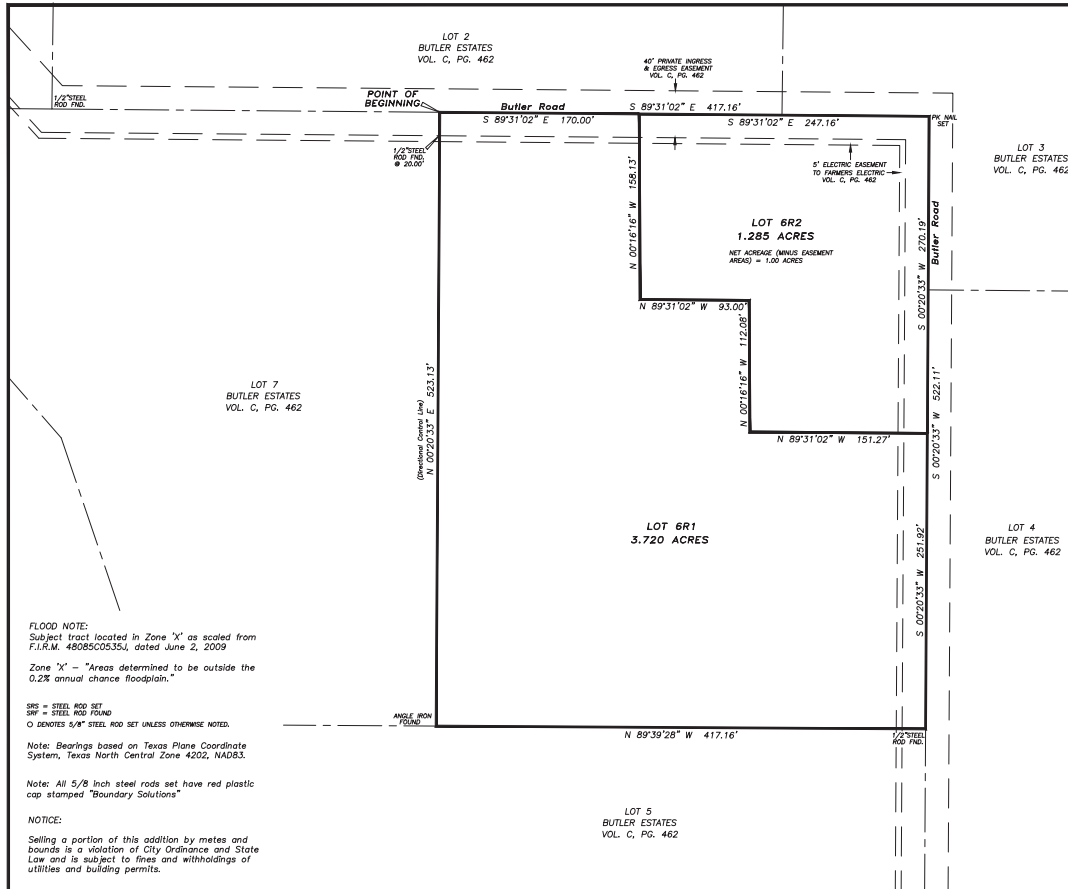
APPLICANT: Boundary Solutions

The applicant is proposing to divide Lot 6 of the Butler Estates subdivision into two lots being Lot 6R1 & 6R2 of Butler Estates. The purpose of the replat is to subdivide the existing 5 acre lot to allow for the construction of a new single-family home.

The property is located outside of the city limits within the Extra Territorial Jurisdiction and was originally platted in 1982.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Gov't Code.



STATE OF TEXAS
COUNTY OF COLLIN

PROPERTY OWNER'S CERTIFICATE

WHEREAS, Victor D. Poole and Paula A. Poole, are the Owners of a tract of land situated in the City of Wylie E.T.J., Collin County, Texas, out of the J.D. Shelby Survey, A-819, and being Lot 6 of Butler Estates as recorded in Volume C, Page 462 of the Plat Records of Collin County, Texas, and being further described as follows:

BEGINNING at a point in the center of Butler Road, at the Northwest corner of said Lot 6, and at the Northeast corner of said Lot 7, from which a 1/2 inch steel rod found bears South 00 degrees 20 minutes 33 seconds West, 20.00 feet for witness;

THENCE South 89 degrees 31 minutes 02 seconds East, 417.16 feet along said Butler Road to a pk nail set at the Northeast corner of said Lot 6, and at an ell corner of Lot 3;

THENCE South 00 degrees 20 minutes 33 seconds West, 522.11 feet along said Butler Road to a 1/2 inch steel rod found at the Southeast corner of said Lot 6, and at the Northeast corner of Lot 5;

THENCE North 89 degrees 39 minutes 28 seconds West, 417.16 feet to an angle iron found at the Southwest corner of said Lot 6, and at the Southeast corner of said Lot 7;

THENCE North 00 degrees 20 minutes 33 seconds East (Directional Control Line), 523.13 feet along the West line of said Lot 6 to the POINT OF BEGINNING, containing 5.005 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Victor D. Poole and Paula A. Poole, do hereby adopt this plan designating the herein above described property as Respal to Right-of-Way, Lot 681T and Lot 682, on Addition to the City of Wylie E.T.J., Collin County, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-estate, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for public purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes intended and stated herein, and the easements, shown or growing shall be constructed and used for the purposes intended and stated herein, and the easements, as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand, this the _____ day of _____, 20____

WITNESS, my hand, this the _____ day of _____, 20____.

BY:

BY:

Authorized Signature of Owner

Authorized Signature of Owner

Printed Name and Title

Printed Name and Title

STATE OF TEXAS
COUNTY OF COLLIN

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Victor D. Poole, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

BEFORE me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Paula A. Poole, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____
20__.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____,
20__.

Notary Public in and for Collin County, Texas

Notary Public in and for Collin County, Texas

My Commission Expires On: _____

My Commission Expires On:

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT, I, Matthew Busby do hereby certify that I have prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the City of Wylie.

PRELIMINARY & FOR REVIEW ONLY.
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE.
Matthew Busby R.P.L.S. 5751

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Matthew Busby, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

Notary Public in and for Collin County, Texas

My Commission Expires On: _____

[illegible]

HEALTH DEPARTMENT CERTIFICATION:

I, as a representative of Collin County Development Services, do hereby certify that the on-site sewage facilities described on this plat conform to the applicable OSSF laws of the State of Texas, that site evaluations have been submitted representing the site conditions in the area in which on-site sewage facilities are planned to be used.

Designated Representative for
Collin County Development Services

BND.SOL. Job# 2111-043
Date Prepared:
July 15, 2022

SURVEYOR:
Boundary Solutions
116 McKinney St.
Farmersville, TX
214-499-8472

OWNER:
Victor D. Poole
Paula A. Poole
1856 Butler Road
Wylie, TX 75098



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 1

Subject

Consider, and act upon, a Site Plan for Lot 4 of Slate Commercial for a retail development on 1.173 acres. Property generally located on State Highway 78 being 1000' east of Eubanks Lane.

Recommendation

Motion to **(approve, approve with conditions, deny)** as presented.

Discussion

OWNER: Wylie Shops by Slate & Business Park

APPLICANT: Slate Land & Development Co.

The applicant is proposing to develop a 10,929 sq.ft multi-tenant retail building on 1.173 acres, located on Lot 4, Block A of Woodlake Village. The property is zoned within Planned Development 2022-38 and allows for retail development with shared parking throughout the entire 7.89 acre PD site.

The PD requirements call for one parking space for every 200 square feet of building area, a total of 55 parking spaces are required. The site plan provides 58 parking spaces, two being handicapped spaces.

The site provides 20% of landscaped area with trees and sidewalks along the street frontage of State Highway 78. A meandering sidewalk along State Highway 78 is also provided.

The exterior material of the primary structure consists of brick, stone, and stucco. The entrances are architecturally enhanced with metal awnings and exterior wall offsets to meet the City's architectural requirements.

Once completed the site is expected to have four total access points. One on-site from State Highway 78, two cross access from adjacent properties, and one from Centennial Drive.

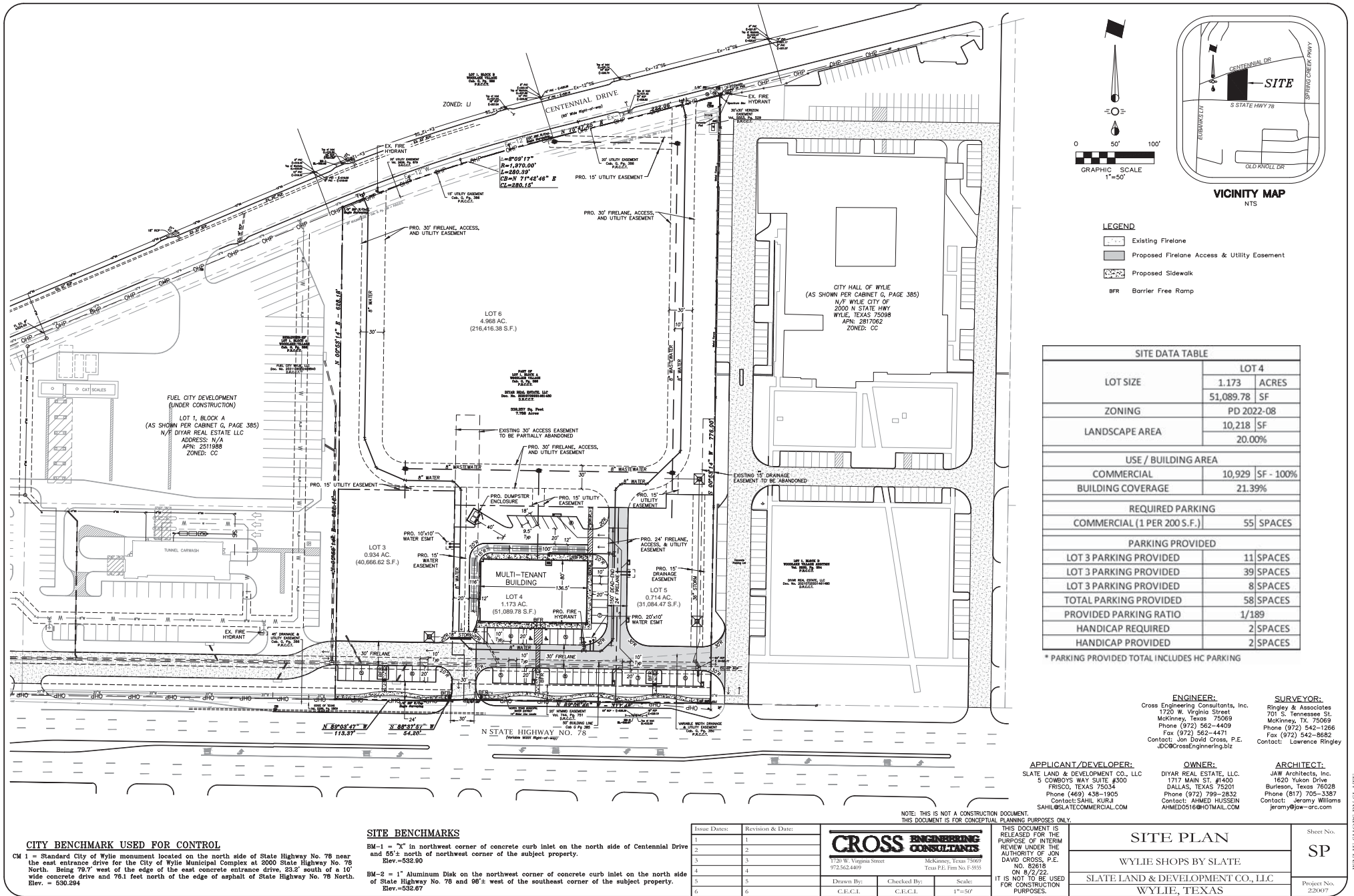
The site plan presented differs from the zoning exhibit, which is included in the packet for reference. The redesigned layout moves parking from the west side of the lot to the east side. The applicant has stated this was done to move more parking closer to the potential tenant on the east side.

City staff have commented on safety traffic concerns with the requested site plan due to the western entrance aligning with a one way drive. There are concerns that vehicles will not see the signage to make eastern or western turns when entering the site. The applicant has requested for the consideration of the presented site plan as the design allows for vehicles within the ordering lane to exit without needing to yield to oncoming traffic. The applicant proposes to add stop signs on the north, east, and west intersection to allow for cars entering from State Highway 78 to have the right of way. Additional do not enter signs should also be required at the one way exit. An exhibit of the proposed signage is included.

As presented, the site plan is in general compliance with the design requirements of the Zoning Ordinance and of Planned Development 2022-38. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department. Further discussion over the remaining safety traffic concern is recommended by staff.

A replat for the site has been applied for and is pending review and consideration.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



SHRUBS				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
152		DIWART BURFORD HOLLY	Ilex cornuta Burfordii name	5 gallon, 20"-24" H, 18"-20" spread, 50% bushy specimen
TURF GRASS / MISCELLANEOUS				
16,421 S.F.		ST. GRASS BERMUDA GRASS	Cynodon dactylon	Solid sod
476 L.F.		RYERSON COMMERCIAL STEEL EDGE		

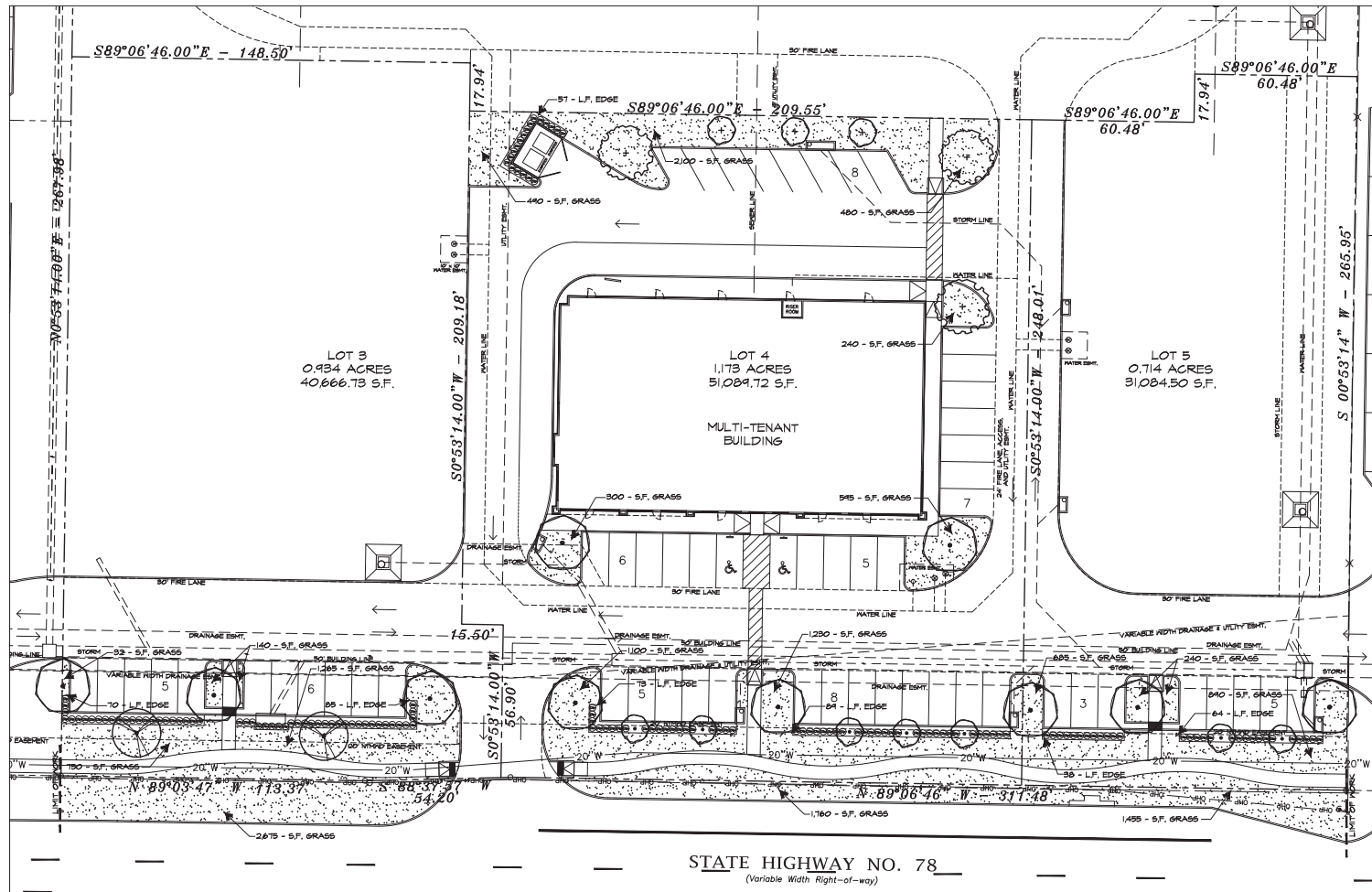
LARGE TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
10		CEDAR ELM	Ulmus crassifolia	8" caliper, 17'-22" H, 4'-6" spread, B&B, straight trunk.
5		CHINQUAPIN OAK	Quercus muhlenbergii	8" caliper, 17'-22" H, 4'-6" spread, B&B, straight trunk.
2		PISTACHE	Pistacia chinensis	8" caliper, 17'-22" H, 4'-6" spread, B&B, straight trunk.

ORNAMENTAL TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
1		CHEYENNE GRAPE HYDRILE	Lagerstroemia indica 'Cayenne'	1" H&B spread min, 80 gallon, 3' trunk, full, bushy tree formed specimen.
5		TUSCARORA GRAPE HYDRILE	Lagerstroemia indica 'Tuscarora'	1" H&B spread min, 80 gallon, 3' trunk, full, bushy tree formed specimen.

WYLIE LANDSCAPE TABULATIONS			
SITE AREA LANDSCAPING			
20% OF THE SITE SHALL BE IN PERMANENT LANDSCAPING P2 2022-09			
TOTAL SITE AREA UNDER DEVELOPMENT	51,004 S.F.		
20% SITE LANDSCAPE AREA REQUIRED	10,208 S.F.		
TOTAL SITE LANDSCAPE AREA PROVIDED	10,208 S.F.		
PARKING LOT LANDSCAPING			
80 S.F. OF LANDSCAPE AREA FOR EACH PARKING SPACE.			
LOT 4 PARKING SPACES PROVIDED	34 SPACES		
PARKING LANDSCAPE AREA REQUIRED (34 x 424)	14,416 S.F.		
PARKING LANDSCAPE AREA PROVIDED	12,200 S.F.		
STREET FRONTAGE LANDSCAPING			
AT LEAST 50% OF THE REQUIRED REQUIRED YARD, EXCLUDING ANY ACCESS DRIVES, MUST BE DEVELOPED AS A 10' MIN. WIDE LANDSCAPE BUFFER. TREES SHALL BE PLANTED ON 30' OR 40' CENTERS DEPENDING ON SPECIES. REQUIRED TREES SHALL BE 5' CALIPER.			
STATE HIGHWAY 78			
LOT 4 FRONTAGE L.F.	142.5 L.F.		
REQUIRED FRONTAGE TREES (142.5 / 30 = 6.4)	1 TREES		
FRONTAGE TREES PROVIDED	1 TREES		
FRONTAGE TREES PUSHED INTO PARKING AND 2 CANOPY TREES PUSHED INTO PARKING AND 2 ORNAMENTAL PLANTED DUE TO THE NTHWD.)			
LOT 5 FRONTAGE L.F.	107.1 L.F.		
REQUIRED FRONTAGE TREES (106 / 30 = 5.6)	4 TREES		
FRONTAGE TREES PROVIDED	5 TREES		
3 CANOPY TREES PUSHED INTO PARKING AND 2 ORNAMENTAL PLANTED DUE TO THE NTHWD.)			
LOT 3 FRONTAGE L.F.	149.0 L.F.		
REQUIRED FRONTAGE TREES (149 / 30 = 4.9)	5 TREES		
(5 TREES SHOWN AWAY FROM THE NTHWD.)			

IRRIGATION NOTE
ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS, AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

- NTHWD NOTE**
- A. NORTH TEXAS MUNICIPAL WATER DISTRICT (NTHWD) 20 INCH WATER PIPELINE IS LOCATED WITHIN LIMITS OF CONSTRUCTION.
 - B. OPERATION OF HEAVY EARTHMOVING EQUIPMENT, COMPACTION EQUIPMENT OR HEAVY CONSTRUCTION EQUIPMENT, SUCH AS CONCRETE TRUCKS, SHALL BE RESTRICTED TO SPECIFIC CROSSING POINTS ACROSS NTHWD EASEMENTS, AS APPROVED BY THE NTHWD. THE CROSSINGS SHALL BE DESIGNATED AND VERIFIED TO PROVIDE A MINIMUM OF FIVE FEET OF COVER.
 - C. TO ASSURE THAT PLACINGS OF SIGNIFICANT LOADS OVER THE NTHWD PIPELINE DOES NOT DAMAGE THE EXISTING PIPELINE, NO MATERIALS SHALL BE STOCKPILED ON THE NTHWD ESMT, WITHOUT AUTHORIZATION FROM THE NTHWD. IF THE CONTRACTOR DESIRES TO USE THE NTHWD'S EASEMENT FOR STOCKPILE OF MATERIALS, CONTACT NTHWD ENGINEERING AT (972) 442-8469 SO YOUR PLANS FOR USE OF THE NTHWD'S EASEMENT CAN BE REVIEWED.
 - D. A MINIMUM OF 4.5 FEET SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF NTHWD PIPELINE IS REQUIRED. IN ADDITION, IF SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF PIPELINE IS LESS THAN 4.5 FEET, THEN A THICKENED PAVEMENT SECTION IS REQUIRED.
 - E. CROSSINGS OF THE NTHWD EASEMENT WITH OTHER UTILITIES, SUCH AS TV CABLE, PHONE, GAS AND ELECTRIC, SHALL BE COORDINATED WITH THE NTHWD TO AVOID DAMAGE TO THE NTHWD FACILITIES.
 - F. OUTDOOR LIGHTING, LANDSCAPING, SCREENING WALLS OR OTHER FACILITIES SHALL NOT BE INSTALLED IN THE NTHWD EASEMENTS WITHOUT WRITTEN APPROVAL OF THE NTHWD.
 - G. UNLESS OTHERWISE SHOWN OR REQUIRED, A MINIMUM OF TWO FOOT CLEARANCE SHALL BE PROVIDED FOR ALL UTILITIES CROSSING THE NTHWD PIPELINES. DIRECTIONAL BORE CROSSINGS REQUIRE A MINIMUM OF FOUR FEET CLEARANCE.
 - H. THE CONTRACTOR SHALL CONTACT NTHWD LINE LOCATES AT (469) 428-4584 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY WORK IN THE VICINITY OF THE NTHWD FACILITIES.



Wylie Shops By Slate



Landscape Plan

Sheet Number:
L1
of L2 Sheets

LANDSCAPING

PART 1 - GENERAL

1. Provide all labor, materials and equipment for complete installation of landscaping as indicated on the drawings and specified herein.
2. RELATED WORK SPECIFIED ELSEWHERE:
 - A. Irrigation System
 - B. Lawns
 - C. Earthwork
 - D. General Requirements
3. QUALITY ASSURANCE:
 - A. Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing site.
 - B. Plants are subject to inspection and approval by the Landscape Architect. Plants rejected for the work may be inspected and tagged at the growing site before being dug.
 - C. Observation of growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site may be rejected.
 - D. Employ only qualified personnel familiar with required work.
 - E. Off-site topsoil and topsoil on-site (Testing (paid by Landscape Contractor)).
 1. Provide source of off-site soil (If Required For Job by the Owners representative for the purpose of soil investigation).
 2. Take random representative soil samples from areas to be planted.
 3. Test soil samples from both sources for pH, alkalinity, total soluble salts, porosity, nutrient content and organic matter.
 4. File Certificate of inspection of plant material by State and Federal authorities with Landscape Architect, if required by State.

4. REFERENCES STANDARDS:

- A. American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc., "Tree Standards."
- B. Hortus Third, HTB - Cornell University - Plant nomenclature.
- C. ASTM - American Standard Testing Method - Sharp sand.

5. PRODUCT DELIVERY, STORAGE AND HANDLING:

- A. Delivery:
 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 2. Do not deliver more than quantities that can be planted in one day unless storage facilities are available on job site. Storage facilities shall be provided by the Contractor. The owner will not be held responsible for theft or damage.
 3. If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heaving in with sand or other approved material.
 4. Protect during delivery to prevent damage to root ball or deterioration of leaves.
 5. Notify Landscape Architect of delivery schedule 48 hours in advance so plant material may be observed prior to arrival at job site.
- B. Remove rejected plant material immediately from site.

6. JOB CONDITIONS:

- A. Planting Restrictions:
 1. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practices. In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 26' minimum positive slope away from building.
- B. Utilities:
 1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Repeat excavations, if required, to minimize possibility of damage to underground utilities.
 2. Minimum grade stakes set by others until removal is mutually agreed upon by parties concerned.
 3. Coordinate work with irrigation contractor to prevent damage to underground irrigation system.

7. WARRANTY:

- A. Warranty for plants and trees shall be for one year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and as notification by Owners Rep. Replace plants, including trees, which in opinion of Landscape Architect have partially died (barring damaging shape, size, or symmetry).
- B. Replace plants and trees in same kind and size as originally planted, at no cost to the Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next growing season. If plants are damaged, remove dead trees immediately. Protect irrigation system and other piping conductors or other work during replacement. Repair any damage immediately.
- C. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, flooding, frost, freeze, insects or diseases.
- D. As the end of the warranty period, existing and dying materials if required shall be removed from the site.

8. MAINTENANCE:

- A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
- B. Until final acceptance, maintain plantings and trees by watering, cultivating, weeding, weeding, spraying, cleaning and repairing as necessary to keep landscape in a vigorous, healthy condition and reduce dead areas as required.
- C. A written notice requesting final inspection and acceptance should be submitted to Landscape Architect or owners representative within seven (7) days prior to completion. At that time owner and Landscape Architect will prepare a final punch list to be reviewed with the landscape contractor.
- D. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

PART 2 - PRODUCTS

1. PLANTS:

- A. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is to be omitted and called for on both. The plant selection is to be as close as possible to that specified on plan.
- B. Plants shall be grown in a healthy condition, free of disease, insect pests and their eggs, and larvae.
- C. Plants shall have a well-developed fibrous root system, strong, clean, unbroken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
- D. Pruning of all trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the Owner.
- E. Plants shall meet the size indicated on the Plant List. Where a size or caliper range is stated, at least 50% of the material shall be closer in size to the top of the range indicated.
- F. Plants indicated "B&B" shall be balled and wrapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well tapered. Non-tapered balls of material shall not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be set (107) inches in diameter for each one (77) inch of trunk diameter, measured six (6) inches above ball.
- G. Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown to the container for a sufficient length of time for growth. They shall have grown to the container for a sufficient length of time for growth. They shall have grown to the container for a sufficient length of time for growth. They shall have grown to the container for a sufficient length of time for growth.

2. SOIL PREPARATION MATERIALS:

- A. Peat Moss: Commercial sphagnum moss or high peat moss.
- B. The mixed soils can be used as long as samples are submitted with written permission from manufacturer's data and laboratory test reports.
- C. Sandy Soil:
 1. Fertilize, fertilize, sandy soil, free of clay lumps, stones, salts, and other extraneous material and reasonably free of weeds and foreign.
- D. Physical properties as follows:
 1. Clay - between 7-21 percent
 2. Silt - between 35-50 percent
 3. Sand - less than 52 percent
- E. Sharp Sand: Clean, washed sand, (fine aggregate) ASTM C-805.

3. COMMERCIAL FERTILIZER:

- A. Fertilizer shall be delivered in manufacturer's standard container printed with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rates per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
- B. Commercial Fertilizer for Planting Beds: Complete fertilizer 5-10-5 element ratio with minimum 5% sulfur and 4% iron plus micro-nutrients.
- C. Controlled-Release Fertilizer: Fertilizer for use in planting pits, shall be equal to Agriform 32-0-00 plantings as manufactured by Terra Chemical Co., Milpitas, California 95028 or approved equal.

4. MULCH:

- A. Bark mulch shall be hardwood mulch chips, ranging in size from 1/4-inch to 1-inch in size, medium fine texture, unadorned.

5. CONDITION OF SURFACES:

- A. New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade.
- B. Existing subgrade upon which work is to be performed. Notify the Landscape Architect or owners representative of unsatisfactory conditions.

6. SHRUB PLANTING:

- A. All shrubs to be potted planted. Discard planting hole 8" larger than the width and 12" deeper than the height. Backfill with 1/2" soil mix and/or peat moss, 1/2" native soil and 1/2" sand.
- B. Plant where located, setting plants with tops of balls even with tops of back, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches, wavy tops, and bag, and remove dead leaves to smooth even surfaces, and much bed areas 1 inch deep.
- E. Mulch each plant thoroughly with hoses to eliminate air pockets.
- F. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces, and much bed areas 1 inch deep.

7. TREE PLANTING:

- A. Stake tree locations for Owners Representative approval prior to digging.
- B. Plant material trees in pits 12-inches larger than the root ball. Plant shade trees in pits two feet greater in diameter than root ball and equal to depth of root ball.
- C. After excavation of tree pits, review water percolation. If tree pit does not drain adequately prepare hole for use with a tree stump. Plant 1/2" sand pipe and cover with gravel. After tree is installed pour water and air a daily basis.
- D. In the area near, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations shall be selected by the Landscape Architect. These locations cannot be changed the excavations shall be removed to a depth of not less than six (6) inches below bottom of root ball and properly set at the required depth. The work in this section shall include the removal from the site of each root, or underground obstructions encountered at the cost of the Landscape Contractor.
- E. Prepare soil for planting by thoroughly mixing two parts sand, loam and one part peat moss or other approved organic matter. If planting soil does not fall into the pit range of 5.5 to 7.0 add fertilizer or nutrient additive to bring soil into the specified pit range.
- F. Backfill tree pits with a mixture of 1/2 prepared soil and 1/2 existing site soil. Lightly tamp over 4 inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and allow water to soak in. Backfill planting location per manufacturer's recommendations. Complete backfilling and form a saucer around the tree.
- G. Completely fill each tree saucer with mulch to a depth of two inches.
- H. Contractor shall keep trees planted until established, during which time to maintain that plants condition shall be at the Contractor's discretion. However, if trees are not planted, the Contractor will be required to dig and/or stake these trees in a method acceptable to the Landscape Architect at no additional cost to the Owner.
- I. Pruning: Prune trees to preserve the natural character of the plant in a manner appropriate to its particular requirements in the landscape design as directed by the Landscape Architect. In general, remove at least one-third of need by pruning and pruning. DO NOT cut back terminal branches. The natural growth pattern should be maintained. Remove broken, diseased, and broken or broken branches.

8. SEASONAL COLOR PLANTING:

- A. Plants shall be substituted to a depth of 3 inches. Soil shall be replaced with 100% Living Earth Technology Complete Mix or equal.
- B. Plant where located, setting plants with tops of balls even with tops of back, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces and much bed areas 1 inch deep.

9. CLEANUP:

- A. During work, keep premises neat and orderly, including organization of storage areas, materials, and equipment. Remove debris, including plant material, from site daily or weekly as work progresses. Keep work area and vicinity neat and orderly at all times.

END OF LANDSCAPING SECTION

LAWNS

PART 1 - GENERAL

1. SCOPE:
 - A. Furnish all labor, tools, transportation materials, equipment, supervision, etc., required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications.
 - B. Make any part of the area failing to show uniform cover until a dense lawn is established. The cost of miscellaneous labor and materials for topsoil, seedling, filling, pest control, fertilizing, etc., are not separate pay items and shall be included in the bid price for grading.
2. RELATED WORK SPECIFIED ELSEWHERE:
 - A. Irrigation System
 - B. Landscaping
3. MAINTENANCE OF GRASS:
 - A. The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivating, fertilizing, watering, disease and insect control, top dressing, liming, etc., plus any procedures consistent with horticultural practice necessary to insure normal, vigorous, and healthy grass.
4. JOB CONDITIONS:
 - A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
 - B. Lawn areas will be left within 1/10 of a foot of finish grade by other trades. The grading, raking and smoothing will be the responsibility of the contractor.
5. SCHEDULE:
 - A. Seeding/hydroseeding - Bermudagrass: Complete only between May 1 to August 31 under favorable conditions, (warm season).
 - B. Seeding/hydroseeding - Perennial Ryegrass: Complete only between September 1 to April 30, except at front of projects, as determined by owner under favorable climatic conditions.
 - C. Sodding: Sod Bermuda between March 15 and September 30. Between October 1 and March 14 overseed sod with Perennial ryegrass under favorable conditions. (See manual overseeding and in line of seeding after installation, if available.)
 - D. Qualifications: Due to undesirable weather, the above dates may vary however, do not proceed with seeding operations beyond these dates without assuming full responsibility for a stand of grass.
6. ACCEPTANCE:
 - A. The work will be accepted when a completed, undamaged stand of grass is achieved, as approved by the Owner's Representative.

PART 2 - MATERIALS

1. TOPSOIL:

- A. (If specified on the plans as a requirement) Fertilize, dark, loamy soil, free of clay lumps, sub-soil stones, and other extraneous material and reasonably free of weeds and foreign grasses. Topsoil containing deleterious or noxious soil be rejected. Physical properties as follows:
 1. Clay - between 7-21 percent
 2. Silt - between 35-50 percent
 3. Sand - less than 52 percent

2. GRASS:

- A. Bermudagrass: Dense, fine, rolled and broadleaf, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 90 percent.
- B. "Seagrass" St. Augustine grass: Solid seed, fine, rich, dark green in color, free of foreign grasses, weeds, noxious, cut with a full 3/4 inch of heavy clay covering roots. Deliver to site in 12 inch squares or 12 inch wide rolls. Do not stock for more than 24 hours between time of cutting and time of delivery.

3. FERTILIZER:

- A. Fertilizer shall be organic based, uniform in composition, dry and free flowing. Deliver fertilizer to site in original, unopened containers, each bearing manufacturer's guaranteed statement of analysis.
 1. First application: 12-12-12 element percentage with minimum 5% sulfur and 4% iron plus micro nutrients.
 2. Second application: 9-12-12 element ratio. Nitrogen source to be a minimum 50% slow release organic nitrogen (SCU or UFI) plus minimum 5% sulfur and 4% iron plus micro nutrients.

PART 3 - EXECUTION

1. PREPARATION:

- A. Scarify lawn areas where excessive compaction is greater than 50% Standard Proctor to a depth of 4-inches by disk or rototilling. Repeat cultivation as required to thoroughly loosen soil.
- B. Lay the base line of roads and curbs and ready for final grading.
- C. Provide barricades around scarified areas to prevent compaction by construction vehicles.

2. FINAL GRADING:

- A. Remove from site and legally dispose of stones 3/4-inch and larger, sticks and other in the area.
- B. Provide final grading leaving surface uniform without depressions and obstructions, graded approximately 1-inch below planned.
- C. Secure approval from the Landscape Architect prior to proceeding with grassing operation.

3. HYDROSEEDING:

- A. Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed applicator following the manufacturer's recommendations.

4. FERTILIZER:

- A. First application with hydramulch at rate of 12 pounds per 1,000 square feet.
- B. Uniformly distribute second application using a rotary type fertilizer spreader 5-4 inches after first application at 12 pounds per 1,000 square feet.

5. HYDROMULCHING:

- A. At the time of hydramulch/seeding, soil shall be moist but not muddy, and wind velocity shall not exceed ten (10) miles per hour. Add water if required to maintain soil.
- B. Hydramulch seed uniformly at the rate of 2 pounds of bermudagrass seed per 1,000 square feet.
- C. Add backfill to hydramulch mix for slopes 5:1 or greater at the rate of 1 lb. per bag of mix.
- D. Use a 4" x 8" battler board against bed areas.

6. MECHANICAL SEEDING:

- A. Seed uniformly at a rate of 125 pounds of Bermudagrass seed per acre. Use grass seed, brilliant seeder, or viking roller.

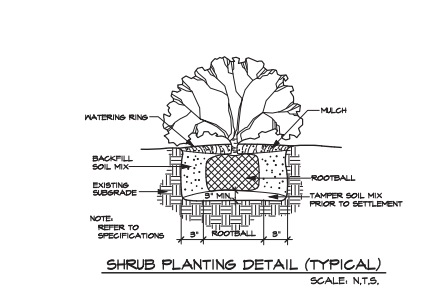
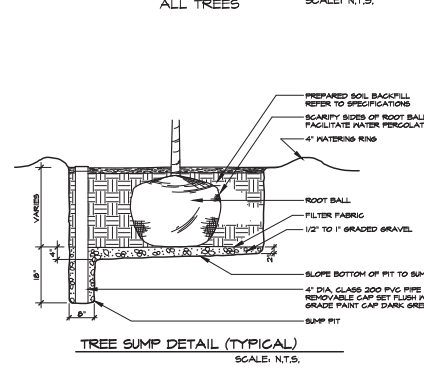
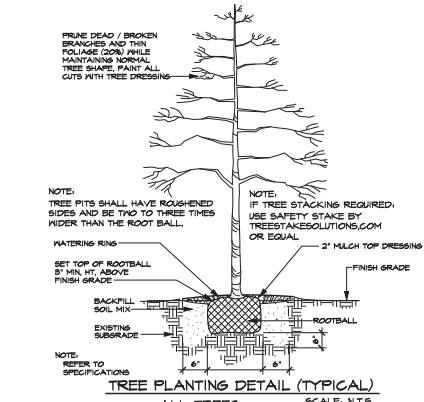
7. SOIL MIX:

- A. Solid Soil: Plant grass by hand, edge to edge with staggered joints. Topdress with sharp sand rolled in conformity to fill joints. Roll to eliminate voids and provide complete soil contact.
- B. Fertilizing: Fertilize immediately after grass is planted at rate of 4 bags per 1,000 square foot. Repeat fertilizing at the same rate 3-4 weeks later.

ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:

- A. Watering:
 1. Water lawn areas immediately after grassing operation.
 2. Continue watering as required to keep soil uniformly moist to a minimum depth of 4-inches.
 3. Be alert to over-watering newly planted grass, particularly in heavy clay.
- B. Rerooting/Reseeding Control:
 1. Correct any erosion that may occur during the establishment of grass.
 2. Reseed (seed) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (fodding) until a stand of grass is achieved.
 3. A stand of grass will be defined as a uniform cover of actively growing turf.
- C. Mowing/Weed Control:
 1. Mow lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches and mow to cut at 2-inches. A minimum of two mowings is required.
 2. Mow lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved, herbicide spot treatments may be used.
- D. CLEANUP:
 1. During work, keep premises neat and orderly, including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

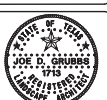
END OF LAWN SECTION



Date:	
Revised:	

Issued For: **CONSTRUCTION**
 Job No: **22/25**
 Scale: **N.T.S.**
 Drawn By: **JDS**
 Date: **08-02-2022**

Wylie Shops By Slate
 Wylie Texas



Landscape Specifications

Sheet Title: **L2**
 of L2 Sheets

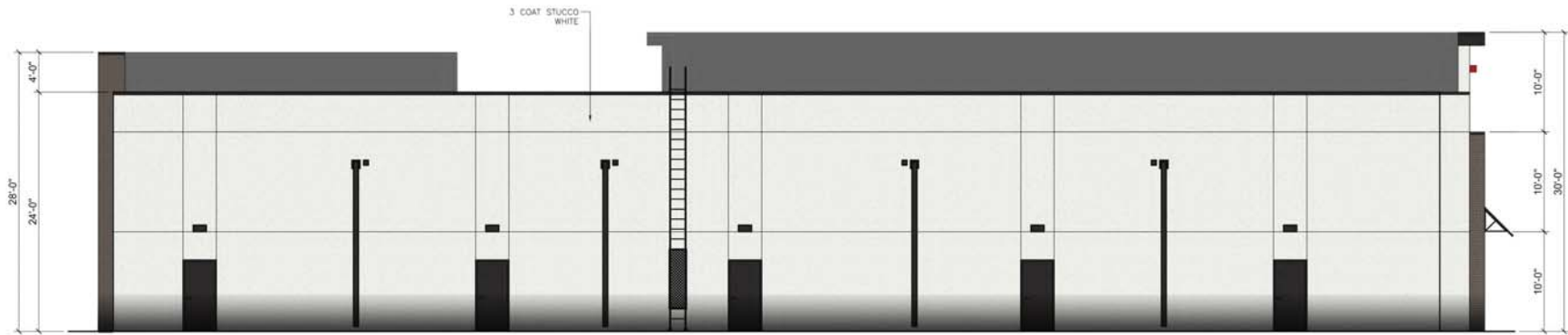


LAST SPACE FILL DATE (27/11/2012)			
LAST SPACE	SIZE	% OF WHOLE	% OF BINDER
LAST SPACE	2,037	20.24%	10.32
Space 102 - Available	2,263	22.60%	11.52
Space 103 - Available	2,994	29.90%	15.25
Space 104 - Available	2,711	27.27%	13.81
TOTAL	10,015	100%	51.90
			TOTAL SF BY SIZER
			2,037
			2,275
			1,609
			2,103
			Common Area
			51

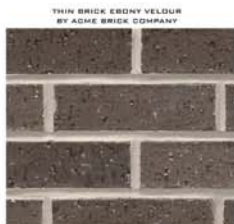
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1 - SOUTH FACING ELEVATION SCALE 3/16"=1'-0"



2 - NORTH FACING ELEVATION SCALE 3/16"=1'-0"



THIN BRICK EBONY VELOUR
BY ACME BRICK COMPANY



FRENCH LIMESTONE WHITE
1.2X2.4 BY CORONADO STONE



PRIMARY STUCCO COLOR
SW 7006 EXTRA WHITE



ALUMINUM STOREFRONT SYSTEM
BLACK ANODIZED

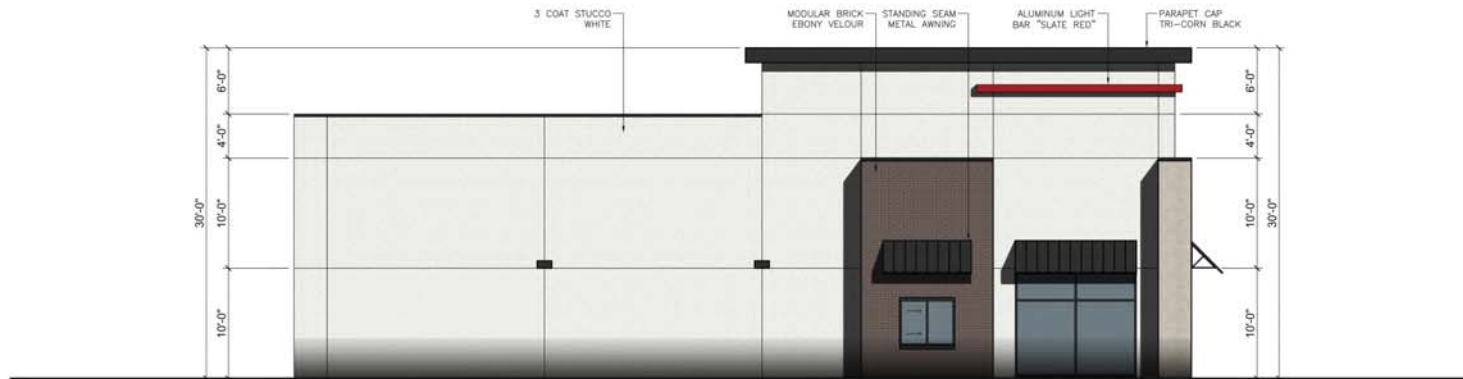
BUILDING MATERIAL CALCULATIONS BUILDING											
Materials	South Elevation		North Elevation		West Elevation		East Elevation		Totals		
	SF	%	SF	%	SF	%	SF	%	SF	%	
Stone	555	23.31%	0	0.00%	60	2.99%	0	0.00%	615	6.42%	
Brick	138	22.28%	0	0.00%	218	12.86%	84	4.47%	439	4.60%	
Stucco	1,523	58.41%	1,153	100.00%	1,730	86.15%	1,734	95.38%	5,139	84.92%	
Totals (Excluding Glazing)	2,604	100%	1,153	100%	2,008	100%	1,818	100%	9,589	100%	
Materials	East Elevation		West Elevation		North Elevation		South Elevation		Totals		
	SF	%	SF	%	SF	%	SF	%	SF	%	
Glazing/Openings	1,000	27.75%	120	3.67%	0	0.00%	1,082	37.31%	2,202	18.68%	
Total Façade	3,604	28%	1,273	4%	2,008	0%	2,900	37%	11,795	19%	

PRELIMINARY DESIGN

SLATE
LAND & DEVELOPMENT CO

DRAWING ISSUE & REVISION LOG		PROJECT NAME	PROJECT NUMBER	DATE	BY	DATE
NO.	DESCRIPTION					
1	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		
2	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		
3	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		
4	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		
5	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		
6	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		
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14	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		
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100	PRELIMINARY DESIGN	WYLE	21-0018	JAN 21, 2018		

A2.0



1 - WEST FACING ELEVATION SCALE 3/16"=1'-0"



2 - EAST FACING ELEVATION SCALE 3/16"=1'-0"



BUILDING MATERIAL CALCULATIONS BUILDING										
	South Elevation		North Elevation		West Elevation		East Elevation		Totals	
Materials	SF	%	SF	%	SF	%	SF	%		
Stone	555	21.31%	0	0.00%	60	2.99%	0	0.00%	615	6.42%
Brick	558	20.28%	0	0.00%	218	10.86%	84	4.62%	850	8.89%
Stucco	1,571	58.41%	3,153	100.00%	1,750	86.14%	1,734	95.38%	8,118	84.69%
Totals (Excluding Glazing)										
	2,684	100%	3,153	100%	2,068	100%	1,818	100%	9,583	100%
	South Elevation		North Elevation		West Elevation		East Elevation			
Materials	SF	%	SF	%	SF	%	SF	%		
Glazing/Openings	1,000	27.75%	120	3.67%	0	0.00%	1,082	37.31%	2,202	18.68%
Total Façade	3,684	28%	3,273	4%	2,068	0%	2,900	97%	11,785	19%

PRELIMINARY DESIGN

JAW

SLATE
LAND & DEVELOPMENT CO

DRAWING ISSUE & REVISION LOG		PROJECT NAME	PROJECT NUMBER
PRELIM	08/15/2022	WYLE BY DATE	JUNE 21-0018
PRELIM	07/14/2022	PROJECT DESCRIPTION	MULTI-TENANT RETAIL/RESTAURANT SHALL BUILDING
PRELIM	07/14/2022	PROJECT ADDRESS	MODULANE VILLAGE LOT 1/2 BLOCK A, STATE HWY 78, WYLE TX

A2.1

Drive-Thru & Escape
Lane merge into one
exit lane before
hitting a 3-way STOP
sign

There will be STOP,
and DO NOT ENTER
signs installed

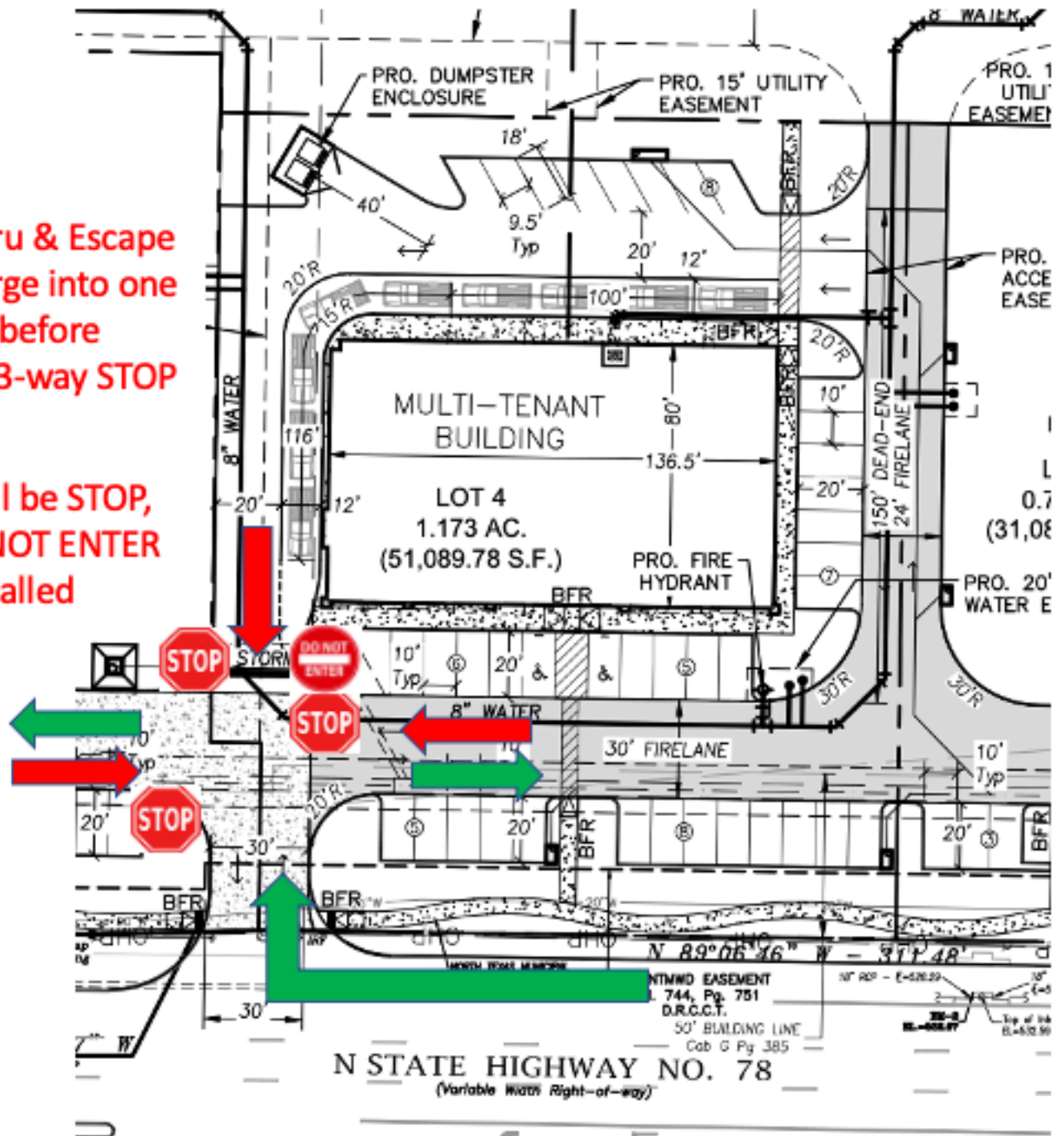
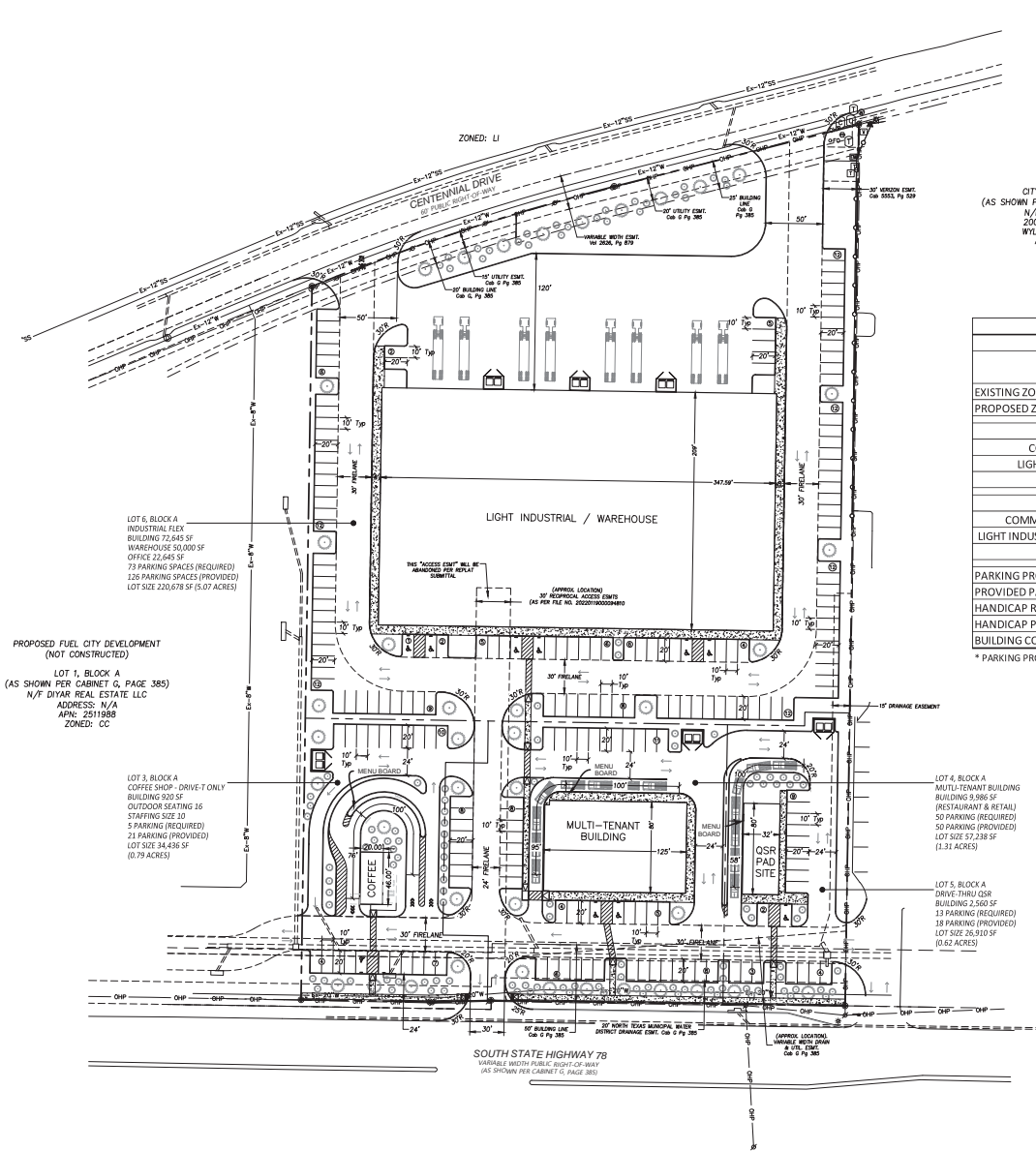


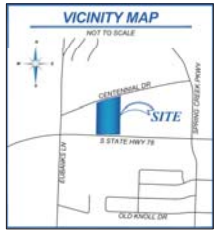
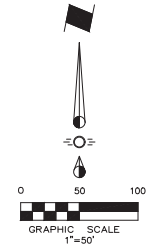
Exhibit B

08/16/2022 Item 1.



SITE DATA TABLE				
LOT SIZE	LOT 3	LOT 4	LOT 5	LOT 6
	0.791 ACRES	1.314 ACRES	0.618 ACRES	5.066 ACRES
	34,436.35 SF	57,238.38 SF	26,910.12 SF	220,677.81 SF
EXISTING ZONING	CC	CC	CC	CC
PROPOSED ZONING	PD	PD	PD	PD
USE / BUILDING AREA				
COMMERCIAL	920 SF - 100%	9,986 SF - 100%	2,560 SF - 100%	SF - 0%
LIGHT INDUSTRIAL	SF - 0%	SF - 0%	SF - 0%	72,645 SF - 100%
TOTAL	920 SF	9,986 SF	2,560 SF	72,645 SF
REQUIRED PARKING				
COMMERCIAL (1 PER 200 S.F.)	5 SPACES	50 SPACES	13 SPACES	0 SPACES
LIGHT INDUSTRIAL (1 PER 1000 S.F.)	0 SPACES	0 SPACES	0 SPACES	73 SPACES
TOTAL	5 SPACES	50 SPACES	13 SPACES	73 SPACES
PARKING PROVIDED	21 SPACES	50 SPACES	18 SPACES	126 SPACES
PROVIDED PARKING RATIO	1/44	1/200	1/143	1/577
HANDICAP REQUIRED	1 SPACES	2 SPACES	1 SPACES	5 SPACES
HANDICAP PROVIDED	1 SPACES	2 SPACES	1 SPACES	6 SPACES
BUILDING COVERAGE	2.67%	17.45%	9.51%	32.92%

* PARKING PROVIDED TOTAL INCLUDES HC PARKING



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Issue Dates	Revision & Date
1	1
2	2
3	3
4	4
5	5
6	6

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Drawn By: C.E.C.L. Checked By: C.E.C.L. Scale: 1"=50'

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JON DAVID CROSS, P.E. NO. 520518 ON 3/14/22. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

ZONING EXHIBIT
WYLIE BUSINESS PARK & SHOPS BY SLATE
SLATE LAND & DEVELOPMENT CO., LLC
WYLIE, TEXAS

Sheet No.
ZE
Project No.
220007

SLATE BUSINESS PARK & SHOPS BY WYLIE