

Wylie City Council Regular Meeting

March 26, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

PRESENTATIONS & RECOGNITIONS

PR1. Congressman Keith Self presenting congratulatory letters to the Wylie Fire Rescue 2023 Award Winners.

PR2. Wylie Way Students (K-12).

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Council regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Council requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Council is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of March 12, 2024 Regular City Council Meeting minutes.
- B. Consider, and act upon, Resolution No. 2024-12(R) of the City of Wylie, Collin, Dallas and Rockwall counties, Texas, amending Resolution No. 2024-03(R), Sections 2 and 3, to amend the Collin County early voting and election day polling locations.
- C. Consider, and act upon, the City of Wylie Monthly Revenue and Expenditure Report for February 29, 2024.
- D. Consider, and place on file, the City of Wylie Monthly Investment Report for February 29, 2024.
- E. Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of February 29, 2024.
- E. Consider, and act upon, Ordinance No. 2024-08 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 1.074 acres to allow for a drive-through restaurant use. Property located at 2806 W FM 544. (ZC 2023-19).
- G. Consider, and act upon, the approval of a Termination Agreement Regarding Southeast Collin County EMS Coalition Agreements and Mutual Release between Collin County, the City of Lavon, the City of Parker, the Town of Saint Paul, and the City of Wylie, Texas, and authorizing the City Manager to execute any necessary documents.

REGULAR AGENDA

1. Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural (AG/30) to Agricultural - Special Use Permit (AG/30-SUP) on 0.055 acres to allow for Telecommunications Tower. Property located at 5085 Bennett Road (ZC 2024-01).
2. Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural (AG/30) to a Planned Development with single family attached, single family detached, commercial development and open space on 25.037 acres. Property located near 605 Country Club Road (ZC 2023-18).
3. Consider, and act upon, Resolution No. 2024-13(R), approving a Chapter 380 Agreement between the City of Wylie and Ferah Foods III, LLC, and authorizing the City Manager to execute the Chapter 380 Agreement.
4. Consider, and place on file, the Wylie Economic Development Corporation 2023 Annual Report.

WORK SESSION

WS1. Discussion regarding Public Works Department overview and Five-Year Plan.

WS2. Discuss Mid-Year Budget Adjustment for the Proposed Pay Plan.

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

Sec. 551.072. DELIBERATION REGARDING REAL PROPERTY; CLOSED MEETING.

A governmental body may conduct a closed meeting to deliberate the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on its negotiating position.

ES1. Consider the sale or acquisition of properties located at Brown/Eubanks, FM 544/Cooper, FM 544/Sanden, FM 1378/Park, Jackson/Oak, Regency/Steel, and State Hwy 78/Brown.

Sec. 551.087. DELIBERATION REGARDING ECONOMIC DEVELOPMENT NEGOTIATIONS; CLOSED MEETING.

This chapter does not require a governmental body to conduct an open meeting:

- (1) to discuss or deliberate regarding commercial or financial information that the governmental body has received from a business prospect that the governmental body seeks to have locate, stay, or expand in or near the territory of the governmental body and with which the governmental body is conducting economic development negotiations; or
- (2) to deliberate the offer of a financial or other incentive to a business prospect described by Subdivision (1).

ES2. Deliberation regarding commercial or financial information that the WEDC has received from a business prospect and to discuss the offer of incentives for Projects: 2013-9a, 2022-1c, 2022-10c, 2023-2d, 2023-5b, 2023-9b, 2023-12c, 2024-1a, 2024-1c, 2024-2c, 2024-3a, and 2024-3b.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on March 22, 2024 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the City Council should determine that a closed or executive meeting or session of the City Council or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the City Council at the date, hour and place given in this notice as the City Council may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

- § 551.071 – Private consultation with an attorney for the City.
- § 551.072 – Discussing purchase, exchange, lease or value of real property.
- § 551.074 – Discussing personnel or to hear complaints against personnel.
- § 551.087 – Discussing certain economic development matters.
- § 551.073 – Discussing prospective gift or donation to the City.
- § 551.076 – Discussing deployment of security personnel or devices or security audit.



Wylie City Council

AGENDA REPORT

Department: Fire
Prepared By: Fire – Brandon Blythe

Account Code: _____

Subject

Congressman Keith Self presenting congratulatory letters to the Wylie Fire Rescue 2023 Award Winners.

Recommendation

Presentation

Discussion

Congressman Keith Self TX 3 is presenting Wylie Fire Rescue 2023 Award Winner's congratulatory letters.

The recipients are:

- Rookie of the Year - Josh Ludeman
- Firefighter of the Year - Johnathon Hawkes
- Driver/Engineer of the Year - Travis Martinez
- Captain of the Year - Jerry Simmons
- Chief Officer of the Year - Cory Claborn
- Rookie Dispatcher of the Year - Grace Cotton
- Dispatcher of the Year - Rory Strain
- Paramedic of the Year - George Watson
- Crew of the Year - Training Team, Comprised of Captain Jeff Pynes, Firefighter/Paramedic Tyler New, Driver/Engineer Brennen Lunsford
- Administrative Employee of the Year - Yessica Guerra
- Paramedics Plus EMS Provider of the Year - Diana Garcia Santacruz
- Turtle Award (Given for a blooper or funny event) - Cutter Davidson
- Community Recognition - Backyard Murphy for supporting WFR and our Pipes and Drums Program
- Community Recognition - The Salty Dogs, a local band made up of members of WFR, was recognized for their fundraising efforts for a local firefighter's daughter who was diagnosed with cancer.
- Chief's Award - Firefighter/Paramedic Jacob Miller for his recruiting efforts for hiring personnel in the EMS division
- Chief's Award - Battalion Chief Katy Willoughby for her recruiting and hiring efforts over the last several years while WFR experienced rapid growth.



Wylie City Council

AGENDA REPORT

Department:City SecretaryAccount Code:

Prepared By:Stephanie Storm

Subject
Consider, and act upon, approval of March 12, 2024 Regular City Council Meeting minutes.
Recommendation
Motion to approve the Item as presented.
Discussion
The minutes are attached for your consideration.

Wylie City Council Regular Meeting Minutes

March 12, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Mayor Matthew Porter called the regular meeting to order at 6:01 p.m. The following City Council members were present: Councilman David R. Duke, Councilman Dave Strang (6:29 p.m.), Mayor *pro tem* Jeff Forrester, Councilman Scott Williams, Councilman Sid Hoover, and Councilman Gino Mulliqi.

Staff present included: City Manager Brent Parker; Deputy City Manager Renae Ollie; Assistant City Manager Lety Yanez; Fire Chief Brandon Blythe; Police Chief Anthony Henderson; Public Information Officer Craig Kelly; City Secretary Stephanie Storm; Finance Director Melissa Brown; City Engineer Tim Porter; Public Works Director Tommy Weir; Community Services Director Jasen Haskins; Senior Buyer Kirby Krol; Parks and Recreation Director Carmen Powlen; Library Director Ofilia Barrera; and various support staff.

INVOCATION & PLEDGE OF ALLEGIANCE

Mayor *pro tem* Forrester led the invocation, and Councilman Williams led the Pledge of Allegiance.

PRESENTATIONS & RECOGNITIONS

PR1. Women's History Month.

Mayor Porter presented a proclamation proclaiming March 2024 as Women's History Month in Wylie, Texas. Tracy Lawson, Guest Service Specialist at the Brown House, shared information about women who have had an impact on Wylie's history. City staff members were present to accept the Proclamation.

PR2. Colorectal Cancer Awareness Month.

Mayor Porter recognized the month of March as Colorectal Cancer Awareness Month.

COMMENTS ON NON-AGENDA ITEMS

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There were no members of the public present wishing to address the Council.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the City Council and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

A. Consider, and act upon, approval of February 27, 2024 Regular City Council Meeting minutes.

- B. Consider, and act upon, Resolution No. 2024-11(R), amending Resolution No. 2024-05(R) authorizing the City Manager to execute an amended Joint General and Special Election Services Contract between the City of Wylie and the Dallas County Elections Administrator to be administered by the Dallas County Elections Administrator for the May 4, 2024 Wylie General Election.**
- C. Consider, and act upon, a Final Plat of Lot 2B1, Block A of Aldi Wylie Addition, amending one commercial lot on 1.162 acres, located at 3457 W. FM 544.**
- D. Consider, and act upon, Ordinance No. 2024-06 amending Wylie's Code of Ordinances, Ordinance No. 2023-10, as amended, Chapter 18 (Animals), Article I (General), to amend Section 18-16 (Trap-Neuter-Release Feral Cat Program).**
- E. Consider, and act upon, the approval of the purchase of one (1) Chevrolet one-ton utility body truck and one (1) Chevrolet 2500 pickup truck in the estimated amount of \$112,359.70 through a cooperative purchasing agreement with the Sheriffs' Association of Texas, and authorizing the City Manager to execute any necessary documents.**
- F. Consider, and act upon, the approval of Professional Services Project Order No. W2024-37-E for a Stormwater Utility Fee Study by Freese and Nichols, Inc. in an amount not to exceed \$149,985.00 for the Engineering Department, and authorizing the City Manager to execute any necessary documents.**

Council Action

A motion was made by Councilman Williams, seconded by Councilman Duke, to approve the Consent Agenda as presented. A vote was taken and the motion passed 6-0 with Councilman Strang absent.

REGULAR AGENDA

- 1. Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 1.074 acres to allow for a drive-through restaurant use. Property located at 2806 W. FM 544 (ZC 2023-19).**

Staff Comments

Community Services Director Haskins addressed the Council stating the applicant is requesting to add an addition to the old Bush's Chicken, currently Heal 360, building for a drive-through quick service restaurant. The reason this item is coming to Council as a Special Use Permit (SUP), even though it was already a drive-through with Bush's Chicken, is that the restaurant was approved before the Zoning Ordinance was changed which allowed for drive-through restaurants, and when it became Heal 360 the use had no drive-through requirements. With the addition the property still meets all the landscaping and parking requirements. One of the SUP conditions is that the zoning exhibit also acts as the site plan, which has been reviewed and meets all the requirements. Haskins reported that 15 notifications were mailed out to property owners within 200 feet, and one notification was received in opposition, which is the property owner of the self-storage that is to the east of this property. The Planning and Zoning Commission did vote 6-0 to recommend approval.

Council Comments

Councilman Mulliqi confirmed the current business is an urgent care and they want to add a restaurant to the back. Haskins confirmed that was correct, they would have two uses in the same building. Mulliqi confirmed the additional parking will not hinder traffic. Haskins replied they are proposing to eliminate one of the drive-through lanes to add the addition. Mulliqi asked if the existing kitchen space was removed and would be added to the new addition. Haskins replied it was removed and would be added back in the new addition. Mulliqi asked if there was adequate seating inside. Haskins replied staff has reviewed the drive-through and parking to ensure it meets zoning requirements but has not been presented with anything for the inside at this time. Mulliqi stated he was concerned with the lack of parking. Haskins replied that with the addition of the six parking spaces, the site meets the Zoning Ordinance requirements. Mayor Porter confirmed they currently have two ADA spaces but will not be adding any

additional spaces. Haskins responded that the two current spaces do meet federal law. Porter stated he understands that but has concerns with this being two separate businesses with no additional ADA spaces. Haskins replied with this being a SUP, the Council can require an extra handicap space to be added. Councilman Williams confirmed they are requesting to add 2,700 square feet for the drive-through restaurant, and how many parking spaces per 200. Haskins stated 150, and added the parking calculations are listed on the site plan which states medical is 1 per 300, which requires 10, and the restaurant drive-through is 1 per 150, which would require 19, for a total of 29 spaces. Williams expressed concerns with the 12-foot-wide drive-through crossing over the fire lane and would want more clearance on the corner. Mulliqi expressed concerns with people exiting from the drive-through. Haskins replied one solution may be to add a curb to separate the drive-through from the two-way lanes.

Public Hearing

Mayor Porter opened the public hearing on Item 1 at 6:27 p.m. asking anyone present wishing to address Council to come forward.

No one was present wishing to address the Council.

Mayor Porter closed the public hearing at 6:27 p.m.

Councilman Strang took his seat at the dais at 6:29 p.m.

Council Comments

Williams added it might work if you make it one-way around the building which would eliminate the two-way traffic on the right side. Haskins stated staff would work with the City Engineer on the best way to control the traffic. Porter asked if an indicated curb would work for a fire apparatus. Haskins replied after looking at it further, that it would need to stay open, except for a small curb along the drive-through, for fire access but could be marked one way and updated in the site plan accordingly. Mayor *pro tem* Forrester stated he liked the curb idea and indicators, and added it will not stop it from happening but might help. Councilman Hoover asked instead of a curb could small speed humps be added. Haskins replied staff will work with the applicant and the City Engineer for a solution. Williams stated that it does not appear the sidewalk goes around the building. Haskins stated that is correct and that the addition can be modified to add the sidewalk.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Williams, to approve the Special Use Permit and separate the site plan for resubmittal after the adjustments have been made as Council has discussed. A vote was taken and the motion passed 6-1 with Councilman Mulliqi voting against.

- 2. Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Planned Development 2020-27 (PD 2020-27) to Planned Development (PD) on 20.433 acres. Property located from 2535-2701 S. State Highway 78 (ZC 2023-20).**

Staff Comments

Community Services Director Haskins addressed the Council stating the applicant is requesting to amend Planned Development (PD) 2020-27 which was approved in April 2020. The property has new property owners and they are requesting to amend the PD to move forward with getting this property developed. The main purpose of the PD amendments is to separate the multifamily and commercial components; placing the commercial along Highway 78 and the multifamily behind the commercial. The townhome part is owned by a different company, and they want to separate their concurrency requirements from the townhomes because originally the commercial part had to be built before the townhomes could be built and that was tied to the multifamily. The applicant is still willing to do concurrency requirements with their part of the property being commercial and multifamily. Haskins reported when this was presented to the Planning and Zoning Commission they discussed the apartment density as they are proposing more residential and less commercial; therefore, resulting in a higher residential density than what was originally requested, and the location and potential users of the commercial development. The Commission did vote 6-0 to recommend approval.

Applicant Comments

Levi Wild, representing Wild Land Development Consulting, addressed the Council giving a presentation on Silverlake Station including the current status of the existing site, the proposed development plan, the proposed commercial development, and the proposed multifamily development.

Public Hearing

Mayor Porter opened the public hearing on Item 2 at 6:40 p.m. asking anyone present wishing to address Council to come forward.

No one was present wishing to address the Council.

Mayor Porter closed the public hearing at 6:40 p.m.

Council Comments

Mayor Porter asked the applicant if they develop commercial sites, or only multifamily. Wild replied the ownership group for this property has developed both in different markets. Porter clarified if the proposed PD states Lots 1, 2, and 4 would allow drive-throughs by right. Haskins confirmed that was what the applicant was requesting. Porter asked the applicant if the request for drive-throughs by right was integral to doing the commercial. Wild replied that it is not integral to the request but they would appreciate the flexibility, and clarified, that if it was not by right it would be allowed by a SUP. Porter confirmed that was the City's requirements. Wild added he would like the Council to consider the drive-through by right on the smaller lot. Councilman Williams asked if there are any restrictions in the PD regarding constructing the commercial before the residential can be constructed. Haskins replied Section 2, Development Schedule, addresses that they have to complete the necessary infrastructure on Lots 1, 2, and 4 before, or concurrently, with any multifamily development on Lot 3. Porter added he has concerns with the proposed language as other developers have come back after they put the flatwork in to request more residential. Councilman Mulliqi asked if the property to the right is zoned for multifamily use. Haskins replied it is. Mulliqi asked the applicant if they were opposed to doing both simultaneously, what have they built in the Texas market, what developers have they built with, and are they opposed to, based on a percentage, whatever residential is constructed in the back, the same in commercial is constructed in the front. Wild replied they are open to working with the property owners to the east to join the projects but would like to move forward with the project on the property they own. Wild replied he is a consultant to the landowner and does not have access to their full resume to give specific developers and projects they have constructed, and without knowing who the commercial tenants would be and their needs, they would hate to put in the foundation and plumbing and it be in the wrong spot to be able to attract the right users. Wild added they hope to develop the entire project all at once. Mayor *pro tem* Forrester expressed concerns with the size of units being about 100 square feet smaller than our minimum requirement, and the impact on the traffic, school district, and infrastructure. Forrester stated in the past there have been hurdles that were faced during the pre-development phases with the acquisition of water lines, sewer lines, and electrical, and asked if those have been taken care of. Haskins replied the utilities are there and are sized appropriately, and to help alleviate the impact on the school district, Section 5-3 was added to limit the number of three-bedroom units. Forrester asked if there would be decel lanes at the entrances and expressed he was concerned with the traffic flow through this development. Wild replied they have reviewed the traffic study, have intentions to build decel lanes and the median opening for the left turn lane, and staff has requested an updated traffic impact study. Councilman Strang asked for clarification on the traffic flow into and out of the development. Wild replied the intention is to maintain the same access as the approved plan, which is one median opening and one right in, right out. Strang expressed concern about potential stacking near the exit if a drive-through restaurant is added. Wild responded they have not had a lot of discussion on a drive-through user at this time, and think that the SUP process would allow for that further discussion. Williams stated he would like to see the two approaches on Highway 78 that are not being used, be used. Haskins replied staff would have to look into this to see if it would be allowed due to the spacing requirement. Councilman Mulliqi thanked the applicant for bringing this project before the Council to improve the property and expressed concern with the back part of the property being developed as residential and then the front commercial pads coming back before the Council requesting additional residential, and added he would like something added in the PD that is percentage based. Wild responded they are completely comfortable with putting in writing that there will be no residential on the commercial lots of this PD, but to commit to doing commercial and residential construction simultaneously, he cannot make that commitment on behalf of his client

tonight. Porter expressed concerns with this project as this area was designated as corridor commercial on the most recent Comprehensive Land Use Plan, and the proposed PD is requesting high-density residential which does not fit the plan the City put in place. Williams stated he would like to see a plan in the PD with the commercial and residential being constructed at the same time, and added he would not want to give away this land for residential rather than commercial. Councilman Duke stated he agreed with the Mayor's comments. Forrester stated he appreciated the thoughts and efforts that went into this project but expressed concerns that if this proposed PD is approved apartments will go in and further down the road the retail across the front of the property will be developed and it will not have a flow, and added this proposed project does not look like a destination.

Council Action

A motion was made by Councilman Mulliqi, seconded by Mayor *pro tem* Forrester, to table Item 2. A vote was taken and the motion passed 6-1 with Mayor Porter voting against.

- 3. Consider, and act upon, Ordinance No. 2024-07 amending Wylie's Code of Ordinances, Ordinance No. 2022-44, as amended, Appendix A (Wylie Comprehensive Fee Schedule), Section IX (Parks and Recreation).**

Staff Comments

Parks and Recreation Director Powlen addressed the Council stating currently the fee ordinance for Parks and Recreation includes specific fees for pavilion and field rentals. In 2022 Council allowed staff to amend the ordinance to remove the Recreation fees so that staff would have the flexibility to change the fees as needed and offer promotions in conjunction with a fee study. Staff is requesting to remove the specific Park fees to be handled the same as the Recreation fees. Powlen stated the current fees listed in the ordinance would continue until fees are brought back to the Council for approval during the budget process.

Council Comments

Mayor *pro tem* Forrester clarified this request is only for rental fees, not parkland dedication fees. Powlen confirmed that was correct. Councilman Williams asked if this would give staff the most flexibility. Powlen replied yes as the fees can be set during the budget process and would not have to come back before Council each time for changes.

Council Action

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Mulliqi, to approve Item 3 as presented. A vote was taken and the motion passed 7-0.

- 4. Consider, and act upon, the approval of annual agreement No. W2024-21-A with Emergicon, LLC for EMS Billing Services for Wylie Fire Rescue, and authorizing the City Manager to execute any necessary documents.**

Staff Comments

Fire Chief Blythe addressed the Council stating this item is to approve an agreement for EMS billing with the City bringing that service in-house. A formal RFP process was completed where seven submissions were received, and after reviewing them, Emergicon ranked the highest and will bring the best value to the City. The current contract as it's written is for six percent of all payments collected, and if this item is approved, there is a Work Session later in the meeting to discuss the fee schedule and the details of the actual agreement. The initial contract is for three years with two, two-year renewals for a total of seven years, and there are opportunities for price adjustments as long as they are approved by the City.

Council Comments

Mayor Porter asked if the contract specifies who is responsible for collections. Blythe responded that if this item is approved and they become the vendor, that will be discussed during the work session. Porter stated he would like an understanding of what the six percent covers, which services they will provide, and which services will fall on the City as some of those are very time-consuming. Senior Buyer Krol replied there are some specifics with the claims process that are laid out within the contract terms itself but the six percent is the return for all collections on behalf of the City. City Manager Parker added the City will not handle any of the collections. Councilman Mulliqi

asked what stood out about Emergicon. Blythe replied having a location in Texas was a big deal, and they received good feedback from the other departments who contract with them. Mulliqi stated he is a little concerned with serving 200 cities with only 80 employees, and wanted to ensure they can provide the level of service to the citizens. Blythe replied the entities that the City spoke with of similar size, or larger, were happy and had no complaints with the service they provided. Mulliqi asked if their retention rate in terms of collections was a high or low volume. Blythe replied it would depend on where the fee schedule is set, but they do a good job with collections based on the feedback received. Mulliqi confirmed they will bill with the City of Wylie logo and will represent the City. Blythe responded that was correct and that they feel comfortable with that as currently, staff does not know who does the billing now. Councilman Williams asked for further information on the evaluation process. Blythe replied the criteria were established beforehand and the RFPs were graded based on those criteria, and added pricing is not a factor as it is not seen until the end. Williams asked if the City will have underwriting authority in the instance that changes need to be made. Blythe replied a fee schedule has not been established yet, but if this item is approved, they work for the City and are our vendor. Porter added he would like to ensure there are EMR integration capabilities to ensure that patient data is transferred when a patient is transported.

Council Action

A motion was made by Councilman Mulliqi, seconded by Mayor *pro tem* Forrester, to approve Item 4 as presented. A vote was taken and the motion passed 7-0.

WORK SESSION

Mayor Porter convened the Council into Work Session at 7:31 p.m.

Mayor Porter recessed the Council into a break at 7:31 p.m.

Mayor Porter reconvened the Council into Work Session at 7:38 p.m.

WS1. Discussion regarding the Police Department overview and Five-Year Plan.

Police Chief Henderson addressed the Council giving a presentation on the Texas Police Chiefs Best Practices Accreditation, the Police Department organizational chart, the crime rate from 2020-2023, the calls for service from 2020-2023, the mental health calls from 2021-2023, traffic collisions from 2021-2023, five-year plan-personnel and equipment, hiring and retention from 2021-2024, staffing levels, staffing concerns, and factors contributing to being understaffed. Henderson requested Council direction on evaluating a take-home vehicle program.

Council comments and questions included are you seeing a correlation in a spike in shoplifting with the absence in company asset protection units, is staff trying to put alerts on addresses for mental health, does the flashing yellow arrow contribute to the increase in accidents, confirmed the proposed training officer is a sworn officer, explain the data for the reasoning behind the five year plan personnel requests, what would the mental health officer due when not on an active call, is the addition of staggered shifts during peak times sustainable with the current vehicle program, is the public safety parking expansion for parking out front for visitors or outback for employees, how would the transfer of the take home vehicle work, do not see an issue with a take home vehicle program if it helps close the gap with policies in place, would support the proposed April-July trial run for the take home vehicle program, trust the department and staff to do what is best, would the officers consider it a benefit to take home a vehicle, would like more tickets issued, can some of the replacement vehicles be repurposed for administrative purposes, the last two years when given comparison cities salaries we were behind on pay, the importance that staff is aware that Council does not want to lose employees to pay, appreciate the time and efforts of the Wylie Police Department, Council has given staff direction to bring back data for salaries in a short period of time so it can be addressed, work on a solution for recruitment to be proactive instead of reactive, does the Police Department have a recruitment officer, support a mid-year budget amendment for all employees, and staff continue to communicate to Council to help change from being reactive to proactive to ensure we do not find ourselves in this situation again.

Mayor Porter recessed the Council into a break at 9:17 p.m.

Mayor Porter reconvened the Council into Work Session at 9:29 p.m.

WS2. Discuss Wylie Fire Rescue EMS Billing Services.

Fire Chief Blythe addressed the Council stating the goal of this item to establish a fee schedule for EMS.

Rahim Fancy, representing Emergicon, addressed the Council giving a presentation on the overview of Emergicon including the customer service, the onboarding process, the logic behind the proposed fee schedule, the proposed fee schedule and comparison data, understanding Cash Per Transport (CPT) and CPT generated from the proposed fee schedule, how Wylie can support patients and residents, and Texas Ambulance Supplemental Payment Program (TASPP) reimbursement opportunity.

Council comments and questions included does the proposed fee schedule with the negotiated rates for commercial payers capture the maximum reimbursement amount, is the CPT based on the payers history, is the TASPP a self-pay person, when looking at the prompt pay discount what is the approximate percentage of Medicare that the billing reflects, would like a prompt pay discount for self-pay patients below what a commercial insurance would pay when billed to bring it more in line with what someone would get billed for Medicare, is a prompt pay discount a range that you work within, is PCG a grant provider or writer, are there multiple agencies in the state of Texas that do what PCG does, why does Emergicon choose PCG and how long has Emergicon partnered with PCG, how many claims did Emergicon process in the state of Texas last year, why are the proposed rates higher than the state average, how long have you been the vendor for the city of Sachse, what was the collection rate with the city of Sachse last year on the ALS-Emergency, how are the financial books going to work with the City, what was the number of transports last year, are there quarterly updates with the agency, want to ensure we are communicating and setting the appropriate standards with the customers, would like to gather feedback on the vendor every quarter or on a six month basis, would the fee schedule be part of the Comprehensive Fee Schedule or set by budget, is the TASPP program a state or federal program, and when will the new fee schedule be effective.

The consensus of the Council was to move forward with the proposed fee structure, let the vendor determine the prompt pay discount percentage amount, and are interested in looking further into the TASPP program.

RECONVENE INTO REGULAR SESSION

Mayor Porter reconvened the Council into Regular Session at 10:09 p.m.

EXECUTIVE SESSION

Mayor Porter convened the Council into Executive Session at 10:10 p.m.

Sec. 551.074. PERSONNEL MATTERS; CLOSED MEETING.

- (a) This chapter does not require a governmental body to conduct an open meeting:
 - (1) to deliberate the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or
 - (2) to hear a complaint or charge against an officer or employee.
- (b) Subsection (a) does not apply if the officer or employee who is the subject of the deliberation or hearing requests a public hearing.

ES1. City Manager Quarterly Evaluation.

ES2. Deliberate and Provide EDC Director Direction.

Councilman Strang left Executive Session around 12:30 a.m.

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

Mayor Porter reconvened the Council into Open Session at 12:50 a.m.

READING OF ORDINANCES

Title and caption approved by Council as required by Wylie City Charter, Article III, Section 13-D.

City Secretary Storm read the captions of Ordinance Nos. 2024-06 and 2024-07 into the official record.

ADJOURNMENT

A motion was made by Mayor *pro tem* Forrester, seconded by Councilman Duke, to adjourn the meeting at 12:51 a.m. A vote was taken and the motion passed 6-0 with Councilman Strang absent.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary



Wylie City Council

AGENDA REPORT

Department: City Secretary
Prepared By: Stephanie Storm

Account Code: _____

Subject

Consider, and act upon, Resolution No. 2024-12(R) of the City of Wylie, Collin, Dallas and Rockwall counties, Texas, amending Resolution No. 2024-03(R), Sections 2 and 3, to amend the Collin County early voting and election day polling locations.

Recommendation

Motion to approve the Item as presented.

Discussion

On February 26, 2024, the City Council adopted Resolution No. 2024-03(R) which ordered the May 4, 2024 General Election for the City of Wylie. Since that time, the building name for the Wylie Senior Recreation Center has changed to Community Park Center, and the room name has changed from "Dining Room" to "Meeting Room East". To ensure there is no voter confusion with the building and room name changes, staff is amending the Resolution to reflect those changes.

RESOLUTION NO. 2024-12(R)**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, COLLIN, DALLAS AND ROCKWALL COUNTIES, TEXAS, AMENDING RESOLUTION NO. 2024-03(R), SECTIONS 2 AND 3, TO AMEND THE COLLIN COUNTY EARLY VOTING AND ELECTION DAY POLLING LOCATIONS.**

WHEREAS, in February 2024, the City Council of the City of Wylie, Texas (“City Council”) adopted Resolution No. 2024-03(R) that, among other things, ordered the May 4, 2024 General Election for the City of Wylie; and

WHEREAS, the building name for the Wylie Senior Recreation Center has changed to Community Park Center; and

WHEREAS, the City Council has investigated and determined that it would be advantageous and beneficial to the citizens of Wylie to amend Resolution No. 2024-03(R), Sections 2 and 3; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, THAT:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Resolution as if fully set forth herein.

SECTION 2: Amendment of Resolution No. 2024-03(R). Sections 2 and 3 of Resolution No. 2024-03(R) is hereby amended as follows:

“...

SECTION 2: The election shall be administered by the election’s administrators of Collin, Dallas and Rockwall Counties. The election officers and maximum number of clerks for said polling place shall be determined and appointed in accordance with the provisions of the contracts for election administration services. The designated Election Day polling places are as follows:

The closest Election Day locations for Collin County voters are Collin College Wylie Campus (Student Center Lobby), 391 Country Club Road, Wylie, Texas 75098 and Community Park Center (Meeting Room East), 800 Thomas Street #100, Wylie, Texas 75098.

The closest Election Day locations for Dallas County voters are First UMC of Sachse (Gym), 1520 Blackburn Road, Sachse, Texas 75048; Sachse City Hall (Courtroom), 3815 Sachse Road, Building B, Sachse, Texas 75048; and BG Hudson Middle School (Practice Gym), 4405 Hudson Drive, Sachse, Texas 75048.

The closest Election Day location for Rockwall County voters is the Rowlett Utility Customer Service Center (Conference Room) 6602 Dalrock Road, Rowlett, Texas 75088.

Collin, Dallas, and Rockwall County voters may vote at any of the additional election day voting locations open under full contract services with the County Elections Administration for each respective county.

Election polls shall be open from 7:00 a.m. until 7:00 p.m. on the date of the election.

SECTION 3: The election shall be administered by the election's administrators of Collin, Dallas and Rockwall Counties. The election officers and maximum number of clerks for said polling place shall be determined and appointed in accordance with the provisions of the contracts for election administration services. The designated Early Voting polling places, dates, and hours, and information for applications for ballot by mail are as follows:

Wylie early voting locations for Collin County voters are Collin College Wylie Campus (Student Center Lobby), 391 Country Club Road, Wylie, Texas 75098, and Community Park Center (Meeting Room East), 800 Thomas Street #100, Wylie, Texas 75098. The main Early Voting location for Collin County voters is Collin County Elections (Voting Room), 2010 Redbud Blvd., Ste. 102, McKinney, Texas 75069. For more information regarding the City early voting locations within Collin County, please contact the Collin County Elections Department at (800) 687-8546 or www.collincountytx.gov/elections.

The main Early Voting location for Dallas County voters is the Dallas County Elections Training/Warehouse (Vote Center), 1460 Round Table Drive, Dallas, Texas 75247. For more information regarding the City early voting locations within Dallas County, please contact the Dallas County Elections Department at (469) 627-8683 or www.dallascountytvotes.org.

The main Early Voting location for Rockwall County voters is the Rockwall County Library (Community Room), 1215 E. Yellowjacket Lane, Rockwall, Texas 75087; however, if both the City of Rockwall and Rockwall ISD are able to cancel their elections, the primary Early Voting location will be held at the city with the largest population within Rockwall County that is holding an election. For more information regarding the City early voting locations within Rockwall County, please contact the Rockwall County Elections Department at (972) 204-6200 or www.rockwallvotes.com.

Collin, Dallas, and Rockwall County voters may vote at any of the additional early voting locations open under full contract services with the County Elections Administration for each respective county.

Early voting for Collin County voters will begin on April 22, 2024 and continue through April 30, 2024 during the normal working hours of 8:00 a.m. to 5:00 p.m. with extended voting hours on April 27, 2024 from 8:00 a.m. to 5:00 p.m.; and, April 29, 2024 and April 30, 2024 from 7:00 a.m. to 7:00 p.m.

Early voting for Dallas County voters will begin on April 22, 2024 and continue through April 30, 2024 during the normal working hours of 8:00 a.m. to 5:00 p.m. with extended voting hours on April 27, 2024 from 7:00 a.m. to 7:00 p.m.; April 28, 2024 from 12:00 a.m. to 6:00 p.m.; and, April 29, 2024 and April 30, 2024 from 7:00 a.m. to 7:00 p.m.

Early voting for Rockwall County voters will begin on April 22, 2024 and continue through April 30, 2024 during the normal working hours of 8:00 a.m. to 5:00 p.m. with extended voting hours on April 27, 2024 from 10:00 a.m. to 3:00 p.m.; April 28, 2024 from 11:00 a.m. to 2:00 p.m.; and, April 29, 2024 and April 30, 2024 from 7:00 a.m. to 7:00 p.m.

For Collin County voters, applications for ballot by mail shall be requested from and mailed to Collin County Elections, Attn: Bruce Sherbet, 2010 Redbud Blvd., Suite #102, McKinney, Texas 75069, faxed to 972-547-1996, or emailed to absenteemailballoting@collincountytx.gov (if faxed or emailed, the original application must be mailed and received within four business days).

For Dallas County voters, applications for ballot by mail shall be requested from and mailed to Dallas County Elections, Attn: Heider Garcia, 1520 Round Table Drive, Dallas, Texas 75247, faxed to 214-

819-6303, or emailed to evapplications@dallascounty.org (if faxed or emailed, the original application must be mailed and received within four business days).

For Rockwall County voters, applications for ballot by mail shall be requested from and mailed to Rockwall County Elections, Attn: Christopher Lynch, 915 Whitmore Drive, Suite D, Rockwall, Texas 75087, faxed to 972-204-6209, or emailed to elections@rockwallcountytexas.com (if faxed or emailed, the original application must be mailed and received within four business days).

Applications for ballots by mail must be received no later than the close of business on April 23, 2024.

...”

SECTION 3: Resolution No. 2024-03(R) shall remain in full force and effect, save and except as amended by this or any other resolution. All provisions of any resolution in conflict with this Resolution are hereby repealed to the extent they are in conflict. Any remaining portions of said resolutions shall remain in full force and effect.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Collin, Dallas, and Rockwall Counties, Texas, on this the 26th day of March, 2024.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

RESOLUTION NO. 2024-03(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, COLLIN, DALLAS AND ROCKWALL COUNTIES, TEXAS, ORDERING A GENERAL ELECTION TO BE HELD ON MAY 4, 2024, IN THE CITY OF WYLIE, TEXAS, FOR THE PURPOSE OF ELECTING THE POSITIONS OF TWO COUNCIL MEMBERS (PLACE 2 AND PLACE 4) OF THE WYLIE CITY COUNCIL, TO HOLD OFFICE FOR A PERIOD OF THREE YEARS; DESIGNATING LOCATIONS OF POLLING PLACES; DESIGNATING FILING DEADLINES; AND ORDERING NOTICES OF ELECTION TO BE GIVEN AS PRESCRIBED BY LAW IN CONNECTION WITH SUCH ELECTION.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, THAT:

SECTION 1: An election is hereby ordered to be held on Saturday, May 4, 2024, for the purpose of electing persons to the offices of Council Members for Places 2 and 4; and

SECTION 2: The election shall be administered by the election's administrators of Collin, Dallas and Rockwall Counties. The election officers and maximum number of clerks for said polling place shall be determined and appointed in accordance with the provisions of the contracts for election administration services. The designated Election Day polling places are as follows:

The closest Election Day locations for Collin County voters are Collin College Wylie Campus (Student Center Lobby), 391 Country Club Road, Wylie, Texas 75098 and Wylie Senior Recreation Center (Dining Room), 800 Thomas Street #100, Wylie, Texas 75098.

The closest Election Day locations for Dallas County voters are First UMC of Sachse (Gym), 1520 Blackburn Road, Sachse, Texas 75048; Sachse City Hall (Courtroom), 3815 Sachse Road, Building B, Sachse, Texas 75048; and BG Hudson Middle School (Practice Gym), 4405 Hudson Drive, Sachse, Texas 75048.

The closest Election Day location for Rockwall County voters is the Rowlett Utility Customer Service Center (Conference Room) 6602 Dalrock Road, Rowlett, Texas 75088.

Collin, Dallas, and Rockwall County voters may vote at any of the additional election day voting locations open under full contract services with the County Elections Administration for each respective county.

Election polls shall be open from 7:00 a.m. until 7:00 p.m. on the date of the election.

SECTION 3: The election shall be administered by the election's administrators of Collin, Dallas and Rockwall Counties. The election officers and maximum number of clerks for said polling place shall be determined and appointed in accordance with the provisions of the contracts for election administration services. The designated Early Voting polling places, dates, and hours, and information for applications for ballot by mail are as follows:

Wylie early voting locations for Collin County voters are Collin College Wylie Campus (Student Center Lobby), 391 Country Club Road, Wylie, Texas 75098, and Wylie Senior Recreation Center (Dining Room), 800 Thomas Street #100, Wylie, Texas 75098. The main Early Voting location for Collin County voters is Collin County Elections (Voting Room), 2010 Redbud Blvd., Ste. 102,

McKinney, Texas 75069. For more information regarding the City early voting locations within Collin County, please contact the Collin County Elections Department at (800) 687-8546 or www.collincountytexas.gov/elections.

The main Early Voting location for Dallas County voters is the Dallas County Elections Training/Warehouse (Vote Center), 1460 Round Table Drive, Dallas, Texas 75247. For more information regarding the City early voting locations within Dallas County, please contact the Dallas County Elections Department at (469) 627-8683 or www.dallascountyvotes.org.

The main Early Voting location for Rockwall County voters is the Rockwall County Library (Community Room), 1215 E. Yellowjacket Lane, Rockwall, Texas 75087; however, if both the City of Rockwall and Rockwall ISD are able to cancel their elections, the primary Early Voting location will be held at the city with the largest population within Rockwall County that is holding an election. For more information regarding the City early voting locations within Rockwall County, please contact the Rockwall County Elections Department at (972) 204-6200 or www.rockwallvotes.com.

Collin, Dallas, and Rockwall County voters may vote at any of the additional early voting locations open under full contract services with the County Elections Administration for each respective county.

Early voting for Collin County voters will begin on April 22, 2024 and continue through April 30, 2024 during the normal working hours of 8:00 a.m. to 5:00 p.m. with extended voting hours on April 27, 2024 from 8:00 a.m. to 5:00 p.m.; and, April 29, 2024 and April 30, 2024 from 7:00 a.m. to 7:00 p.m.

Early voting for Dallas County voters will begin on April 22, 2024 and continue through April 30, 2024 during the normal working hours of 8:00 a.m. to 5:00 p.m. with extended voting hours on April 27, 2024 from 7:00 a.m. to 7:00 p.m.; April 28, 2024 from 12:00 a.m. to 6:00 p.m.; and, April 29, 2024 and April 30, 2024 from 7:00 a.m. to 7:00 p.m.

Early voting for Rockwall County voters will begin on April 22, 2024 and continue through April 30, 2024 during the normal working hours of 8:00 a.m. to 5:00 p.m. with extended voting hours on April 27, 2024 from 10:00 a.m. to 3:00 p.m.; April 28, 2024 from 11:00 a.m. to 2:00 p.m.; and, April 29, 2024 and April 30, 2024 from 7:00 a.m. to 7:00 p.m.

For Collin County voters, applications for ballot by mail shall be requested from and mailed to Collin County Elections, Attn: Bruce Sherbet, 2010 Redbud Blvd., Suite #102, McKinney, Texas 75069, faxed to 972-547-1996, or emailed to absenteemailballoting@collincountytexas.gov (if faxed or emailed, the original application must be mailed and received within four business days).

For Dallas County voters, applications for ballot by mail shall be requested from and mailed to Dallas County Elections, Attn: Heider Garcia, 1520 Round Table Drive, Dallas, Texas 75247, faxed to 214-819-6303, or emailed to evapplications@dallascounty.org (if faxed or emailed, the original application must be mailed and received within four business days).

For Rockwall County voters, applications for ballot by mail shall be requested from and mailed to Rockwall County Elections, Attn: Christopher Lynch, 915 Whitmore Drive, Suite D, Rockwall, Texas 75087, faxed to 972-204-6209, or emailed to elections@rockwallcountytexas.com (if faxed or emailed, the original application must be mailed and received within four business days).

Applications for ballots by mail must be received no later than the close of business on April 23, 2024.

SECTION 4: Candidates must file for a specific place and adhere to the filing deadlines accordingly. Candidate Packets are available in the City Secretary's Office. The candidate filing periods for the General Election for Council seats, Place 2 and Place 4 are as follows:

General Election Filing for Council Seats Places 2 and 4

Beginning: January 17, 2024 at 8:00 a.m.

Ending: February 16, 2024 at 5:00 p.m.

Candidates must file:

- In person at the City Secretary's Office, 300 Country Club Road, Building 100, Wylie, Texas 75098; or
- by mail to the City Secretary's Office, 300 Country Club Road, Building 100, Wylie, Texas 75098 (an application submitted by mail is considered to be filed at the time of its receipt by the appropriate filing authority); or
- by fax to 972-516-6026; or
- by email to stephanie.storm@wylietexas.gov

Please be advised that an application and petition must be signed and notarized prior to filing via mail, fax, or email.

SECTION 5: For early voting in person, early voting by mail, election day voting and provisional voting, the following voting equipment will be used in Collin County: ES&S ExpressVote Universal voting machines (EVS 6.1.1.0), ES&S ExpressTouch curbside voting machines (EVS 6.1.1.0), ES&S DS200 ballot counters (EVS 6.1.1.0), ES&S Model DS450 and DS850 High-Speed Scanners/Tabulators (EVS 6.1.1.0), along with the required ancillary parts and services required for such voting tabulation system.

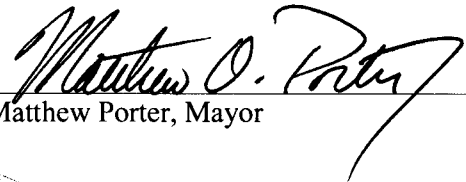
For early voting in person, early voting by mail, election day voting and provisional voting, the following voting equipment will be used in Dallas County: ExpressVote Universal Voting System (EVS 6.0.2.0) consisting of Firmware 2.4.0.0; the ES&S DS200 Digital Precinct Scanner (EVS 6.0.2.0) consisting of Firmware 2.17.0.0; and ES&S Model DS850 High-Speed Scanner/Tabulator, Version 1 (EVS 6.0.2.0), along with the required ancillary parts and services required for this voting tabulation system.

For early voting in person, early voting by mail, election day voting and provisional voting, the following voting equipment will be used in Rockwall County: ES&S ExpressVote Universal voting machines (EVS 6.0.2.0), ES&S DS200 ballot counters (EVS 6.0.2.0), ES&S Model DS450 High-Speed Scanner/Tabulator (EVS 6.0.2.0), along with the required ancillary parts and services required for such voting tabulation system.


SECTION 6: The City Secretary is hereby authorized and directed to publish and/or post, in the time and manner prescribed by law, all notices required to be so published and/or posted in connection with the conduct of this election. The election, including providing notice of the election, shall be conducted in accordance with the Texas Election Code and other applicable law, and all resident qualified and registered voters of the City shall be eligible to vote at the election.

SECTION 7: The Mayor and the City Secretary of the City, in consultation with the City Attorney, are hereby authorized and directed to take any and all actions necessary to comply with the provisions of the Texas Election Code and any other state or federal law in carrying out and conducting the election, whether or not expressly authorized herein.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Collin, Dallas, and Rockwall Counties, Texas, on this the 13th day of February, 2024.


Matthew Porter, Mayor

ATTEST:


Stephanie Storm, City Secretary





Wylie City Council

AGENDA REPORT

Department: Finance

Account Code: _____

Prepared By: Melissa Brown

Subject

Consider, and act upon, the City of Wylie Monthly Revenue and Expenditure Report for February 29, 2024.

Recommendation

Motion to approve the Item as presented.

Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

CITY OF WYLIE

MONTHLY FINANCIAL REPORT

February 29, 2024

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2023-2024	CURRENT MONTH ACTUAL 2023-2024	YTD ACTUAL 2023-2024	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 41.67%
GENERAL FUND REVENUE SUMMARY					
TAXES	39,807,333	2,825,558	31,814,506	79.92%	A
FRANCHISE FEES	2,953,146	329,675	753,800	25.53%	B
LICENSES AND PERMITS	1,275,000	128,075	407,873	31.99%	C
INTERGOVERNMENTAL REV.	2,609,490	660,226	1,542,416	59.11%	
SERVICE FEES	4,343,203	380,532	1,696,422	39.06%	D
COURT FEES	340,000	22,837	130,465	38.37%	
INTEREST INCOME	1,526,221	142,053	550,634	36.08%	E
MISCELLANEOUS INCOME	260,807	20,395	79,071	30.32%	
OTHER FINANCING SOURCES	2,645,506	31,655	2,678,938	101.26%	F
REVENUES	55,760,706	4,541,006	39,654,125	71.11%	
USE OF FUND BALANCE	0	0	0	0.00%	
USE OF CARRY-FORWARD FUNDS	1,914,392	NA	NA	NA	G
TOTAL REVENUES	57,675,098	4,541,006	39,654,125	68.75%	
GENERAL FUND EXPENDITURE SUMMARY					
CITY COUNCIL	96,401	3,893	26,566	27.56%	
CITY MANAGER	1,319,397	109,252	521,427	39.52%	
CITY SECRETARY	424,452	26,176	156,936	36.97%	
CITY ATTORNEY	170,000	0	46,646	27.44%	
FINANCE	1,399,631	81,762	723,944	51.72%	H
FACILITIES	1,069,225	93,641	377,337	35.29%	
MUNICIPAL COURT	609,517	43,247	230,192	37.77%	
HUMAN RESOURCES	866,880	54,513	370,316	42.72%	
PURCHASING	329,321	21,512	146,970	44.63%	
INFORMATION TECHNOLOGY	2,243,720	163,951	1,177,305	52.47%	I
POLICE	14,196,132	1,060,164	5,107,917	35.98%	
FIRE	16,604,336	1,231,023	5,599,947	33.73%	
EMERGENCY COMMUNICATIONS	2,638,451	254,774	910,535	34.51%	
ANIMAL CONTROL	785,941	43,029	250,144	31.83%	
PLANNING	380,280	29,226	133,506	35.11%	
BUILDING INSPECTION	657,941	42,999	220,305	33.48%	
CODE ENFORCEMENT	222,680	13,584	75,299	33.81%	
STREETS	4,206,796	168,113	1,174,338	27.92%	
PARKS	2,844,493	205,180	899,214	31.61%	
LIBRARY	2,328,582	166,117	883,255	37.93%	
COMBINED SERVICES	5,217,922	192,508	1,876,939	35.97%	
TOTAL EXPENDITURES	58,612,099	4,004,662	20,909,037	35.67%	
REVENUES OVER/(UNDER) EXPENDITURES	-937,001	536,344	18,745,089	33.08%	
<p>A. Property Tax Collections for FY23-24 as of February 29, 2024 are 97%, in comparison to FY22-23 for the same time period of 96%. Sales tax is on a 2 month lag and only three months have been received. Sales Tax is down 13% due to an adjustment by the State Comptroller in February that will be corrected in March to bring us up to 7.4% growth.</p> <p>B. Franchise Fees: Most franchise fees are recognized quarterly with electric fees making up the majority.</p> <p>C. Building Permits are down 20% from FY 2022-23. Permits fluctuate monthly and are anticipated to meet budget for FY 2023-24.</p> <p>D. Service Fees: Trash fees are on a one month lag and only four months have been received. The remaining fees are from other seasonal fees. Revenue from Fire Services is up \$366k year to date.</p> <p>E. Interest Rates have remained relatively flat over the last few months. Fund Balance has decreased due to large transfers to capital funds.</p> <p>F. Yearly transfer from Utility Fund and insurance recoveries.</p> <p>G. Largest Carry Forward items: \$150,000 for PW/Community Services Software, \$288,000 for police and streets vehicles, \$338,840 for ambulance, \$119,102 for APX Mobile Radios, \$600,000 for Woodbridge/Hensley Traffic Signal.</p> <p>H. Annual audit and appraisal district fees</p> <p>I. Annual maintenance agreements</p>					

CITY OF WYLIE

MONTHLY FINANCIAL REPORT

February 29, 2024

ACCOUNT DESCRIPTION	ANNUAL BUDGET 2023-2024	CURRENT MONTH ACTUAL 2023-2024	YTD ACTUAL 2023-2024	YTD ACTUAL AS A PERCENT OF BUDGET	Benchmark 41.67%
UTILITY FUND REVENUES SUMMARY					
SERVICE FEES	29,434,997	2,189,245	9,311,517	31.63%	J
INTEREST INCOME	719,896	98,959	513,587	71.34%	K
MISCELLANEOUS INCOME	70,000	1,760	11,519	16.46%	
OTHER FINANCING SOURCES				0.00%	
REVENUES	30,224,893	2,289,964	9,836,623	32.54%	
USE OF FUND BALANCE	0	NA	0	0	
USE OF CARRY-FORWARD FUNDS	1,449,523	NA	NA	NA	L
TOTAL REVENUES	31,674,416	NA	9,836,623	31.06%	
UTILITY FUND EXPENDITURE SUMMARY					
UTILITY ADMINISTRATION	660,340	20,354	162,760	24.65%	
UTILITIES - WATER	3,927,313	131,608	876,813	22.33%	
CITY ENGINEER	1,361,043	92,107	425,723	31.28%	
UTILITIES - SEWER	1,588,719	140,801	549,489	34.59%	
UTILITY BILLING	1,510,513	136,953	485,586	32.15%	
COMBINED SERVICES	20,218,615	2,586,295	9,918,693	49.06%	M
TOTAL EXPENDITURES	29,266,543	3,108,118	12,419,064	42.43%	
REVENUES OVER/(UNDER) EXPENDITURES	2,407,872	-818,154	-2,582,442	-11.38%	
J. Most Utility Fund Revenue is on a one month lag and only four months have been received.					
K. Interest Rates have remained relatively flat over the last few months. Fund Balance has increased.					
L. Largest Carry Forward items: PW/Community Services Software \$135,730, Lead and Copper Revision \$150,964, Water Pump Station Backup Generators \$736,937 and Dogwood Drive Waterline Replacement \$100,000.					
M. Annual transfer to the General Fund and debt payments made in February. This will even out over time.					



Wylie City Council

AGENDA REPORT

Department: Finance

Account Code: _____

Prepared By: Melissa Brown

Subject

Consider, and place on file, the City of Wylie Monthly Investment Report for February 29, 2024.

Recommendation

Motion to approve the Item as presented.

Discussion

The Finance Department has prepared the attached reports for the City Council as required by the City Charter.

City Of Wylie

2023-2024 Investment Report

February 29, 2024

Money Market Accounts:
 Certificates of Deposit:
 Treasury Bills:
 Treasury Notes:
 Government Agency Notes:

MMA
CCD
T-Bills
T-Notes
AN

Invest. Number	Principal Amount	Type Of Security	Interest Rate	Issuer	Purchase Date	Maturity Date
1	\$16,593,317.91	MMA	5.3251%	Texpool	12/31/2006	NA
2	\$17,170,339.76	MMA	5.3035%	TexStar	3/15/2011	NA
	\$33,763,657.67					

Total

Weighted Average Coupon:
 Weighted Average Maturity (Days):

5.3141%
1.00

Money Markets:
 Certificates of Deposits:

\$33,763,657.67
\$0.00
\$33,763,657.67



Nelvia Bueon 03-21-24
 Finance Director/Investment Officer



Wylie City Council

AGENDA REPORT

Department: WEDC
Prepared By: Jason Greiner

Account Code: _____

Subject

Consider, and place on file, the monthly Revenue and Expenditure Report for the Wylie Economic Development Corporation as of February 29, 2024.

Recommendation

Motion to approve the Item as presented.

Discussion

The Wylie Economic Development Corporation (WEDC) Board of Directors approved the attached financials on March 20, 2024.

February Rev/Exp Report

Account Summary

For Fiscal: 2023-2024 Period Ending: 02/29/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 111 - WYLIE ECONOMIC DEVEL CORP							
Revenue							
111-4000-40210	SALES TAX	4,536,561.00	4,536,561.00	265,491.94	1,034,172.71	-3,502,388.29	77.20 %
111-4000-46110	ALLOCATED INTEREST EARNINGS	112,000.00	112,000.00	40,285.75	215,111.21	103,111.21	192.06 %
111-4000-48110	RENTAL INCOME	48,600.00	48,600.00	400.00	19,880.65	-28,719.35	59.09 %
111-4000-48410	MISCELLANEOUS INCOME	0.00	0.00	0.00	1,947.08	1,947.08	0.00 %
111-4000-48430	GAIN/(LOSS) SALE OF CAP ASSETS	2,655,970.00	2,655,970.00	-33,000.00	-276,384.36	-2,932,354.36	110.41 %
	Revenue Total:	7,353,131.00	7,353,131.00	273,177.69	994,727.29	-6,358,403.71	86.47%
Expense							
111-5611-51110	SALARIES	440,500.00	440,500.00	28,620.40	143,951.18	296,548.82	67.32 %
111-5611-51130	OVERTIME	0.00	0.00	0.00	871.40	-871.40	0.00 %
111-5611-51140	LONGEVITY PAY	1,200.00	1,200.00	0.00	1,092.00	108.00	9.00 %
111-5611-51310	TMRS	68,500.00	68,500.00	4,066.10	20,964.45	47,535.55	69.39 %
111-5611-51410	HOSPITAL & LIFE INSURANCE	81,000.00	81,000.00	5,018.12	24,937.44	56,062.56	69.21 %
111-5611-51420	LONG-TERM DISABILITY	1,600.00	1,600.00	58.50	175.50	1,424.50	89.03 %
111-5611-51440	FICA	27,000.00	27,000.00	1,606.25	8,321.73	18,678.27	69.18 %
111-5611-51450	MEDICARE	6,400.00	6,400.00	375.66	1,946.20	4,453.80	69.59 %
111-5611-51470	WORKERS COMP PREMIUM	2,100.00	2,100.00	311.69	1,137.35	962.65	45.84 %
111-5611-51480	UNEMPLOYMENT COMP (TWC)	1,600.00	1,600.00	12.01	42.97	1,557.03	97.31 %
111-5611-52010	OFFICE SUPPLIES	5,000.00	5,000.00	149.55	1,712.92	3,287.08	65.74 %
111-5611-52040	POSTAGE & FREIGHT	300.00	300.00	0.00	158.40	141.60	47.20 %
111-5611-52810	FOOD SUPPLIES	3,000.00	3,000.00	322.95	1,065.11	1,934.89	64.50 %
111-5611-54610	FURNITURE & FIXTURES	2,500.00	2,500.00	0.00	-193.05	2,693.05	107.72 %
111-5611-54810	COMPUTER HARD/SOFTWARE	7,650.00	7,650.00	0.00	2,299.98	5,350.02	69.93 %
111-5611-56030	INCENTIVES	1,929,250.00	1,929,250.00	50,000.00	350,000.00	1,579,250.00	81.86 %
111-5611-56040	SPECIAL SERVICES	37,270.00	37,270.00	0.00	882.50	36,387.50	97.63 %
111-5611-56041	SPECIAL SERVICES-REAL ESTATE	234,500.00	234,500.00	248.57	33,688.03	200,811.97	85.63 %
111-5611-56042	SPECIAL SERVICES-INFRASTRUCTURE	10,324,000.00	10,324,000.00	0.00	6,101.36	10,317,898.64	99.94 %
111-5611-56080	ADVERTISING	226,125.00	226,125.00	5,500.00	51,621.62	174,503.38	77.17 %
111-5611-56090	COMMUNITY DEVELOPMENT	64,950.00	64,950.00	675.78	22,100.66	42,849.34	65.97 %
111-5611-56110	COMMUNICATIONS	7,900.00	7,900.00	492.57	1,969.70	5,930.30	75.07 %
111-5611-56180	RENTAL	27,000.00	27,000.00	0.00	9,000.00	18,000.00	66.67 %
111-5611-56210	TRAVEL & TRAINING	73,000.00	73,000.00	9,079.90	26,618.99	46,381.01	63.54 %
111-5611-56250	DUES & SUBSCRIPTIONS	60,733.00	60,733.00	3,718.45	35,330.30	25,402.70	41.83 %
111-5611-56310	INSURANCE	6,800.00	6,800.00	0.00	5,350.11	1,449.89	21.32 %
111-5611-56510	AUDIT & LEGAL SERVICES	23,000.00	23,000.00	0.00	13,745.67	9,254.33	40.24 %
111-5611-56570	ENGINEERING/ARCHITECTURAL	530,175.00	530,175.00	23,023.96	192,321.20	337,853.80	63.72 %
111-5611-56610	UTILITIES-ELECTRIC	2,400.00	2,400.00	0.00	634.32	1,765.68	73.57 %
111-5611-57410	PRINCIPAL PAYMENT	600,096.00	600,096.00	49,748.51	247,049.96	353,046.04	58.83 %
111-5611-57415	INTEREST EXPENSE	631,902.00	631,902.00	52,917.96	266,282.39	365,619.61	57.86 %
111-5611-58110	LAND-PURCHASE PRICE	1,000,000.00	1,000,000.00	0.00	7,079.00	992,921.00	99.29 %
111-5611-58995	CONTRA CAPITAL OUTLAY	0.00	0.00	0.00	-7,079.00	7,079.00	0.00 %
	Expense Total:	16,427,451.00	16,427,451.00	235,946.93	1,471,180.39	14,956,270.61	91.04%
Fund: 111 - WYLIE ECONOMIC DEVEL CORP Surplus (Deficit):		-9,074,320.00	-9,074,320.00	37,230.76	-476,453.10	8,597,866.90	94.75%
Report Surplus (Deficit):		-9,074,320.00	-9,074,320.00	37,230.76	-476,453.10	8,597,866.90	94.75%

Budget Report

For Fiscal: 2023-2024 Period Ending: 02/29/2024

Group Summary

Account Typ...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance	Percent
					Favorable (Unfavorable)	
Fund: 111 - WYLIE ECONOMIC DEVEL CORP						
Revenue	7,353,131.00	7,353,131.00	273,177.69	994,727.29	-6,358,403.71	86.47%
Expense	16,427,451.00	16,427,451.00	235,946.93	1,471,180.39	14,956,270.61	91.04%
Fund: 111 - WYLIE ECONOMIC DEVEL CORP Surplus (Deficit):	-9,074,320.00	-9,074,320.00	37,230.76	-476,453.10	8,597,866.90	94.75%
Report Surplus (Deficit):	-9,074,320.00	-9,074,320.00	37,230.76	-476,453.10	8,597,866.90	94.75%

Budget Report

For Fiscal: 2023-2024 Period Ending: 02/29/2024

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)
111 - WYLIE ECONOMIC DEVEL CO	-9,074,320.00	-9,074,320.00	37,230.76	-476,453.10	8,597,866.90
Report Surplus (Deficit):	-9,074,320.00	-9,074,320.00	37,230.76	-476,453.10	8,597,866.90

Wylie Economic Development Corporation
Statement of Net Position
As of February 29, 2024

Assets

Cash and cash equivalents	\$ 13,567,135.78	
Receivables	\$ 717,000.00	Note 1
Inventories	\$ 14,645,353.88	
Prepaid Items	\$ -	
Total Assets	\$ 28,929,489.66	

Deferred Outflows of Resources

Pensions	\$ 114,336.55	
Total deferred outflows of resources	\$ 114,336.55	

Liabilities

Accounts Payable and other current liabilities	\$ 1,661.72	
Unearned Revenue	\$ 1,200.00	Note 2
Non current liabilities:		
Due within one year	\$ 414,161.04	Note 3
Due in more than one year	\$ 15,136,816.48	
Total Liabilities	\$ 15,553,839.24	

Deferred Inflows of Resources

Pensions	\$ (8,336.41)	
Total deferred inflows of resources	\$ (8,336.41)	

Net Position

Net investment in capital assets	\$ -	
Unrestricted	\$ 13,481,650.56	
Total Net Position	\$ 13,481,650.56	

Note 1: Includes incentives in the form of forgivable loans for \$67,000 (Glen Echo), \$450,000 (Phoenix Ascending), and \$200,000 (MLKJ)

Note 2: Deposits from rental property

Note 3: Liabilities due within one year includes compensated absences of \$32,301

Balance Sheet

Account Summary

As Of 02/29/2024

Account	Name	Balance
Fund: 111 - WYLIE ECONOMIC DEVEL CORP		
Assets		
111-1000-10110	CLAIM ON CASH AND CASH EQUIV.	13,565,135.78
111-1000-10115	CASH - WEDC - INWOOD	0.00
111-1000-10135	ESCROW	0.00
111-1000-10180	DEPOSITS	2,000.00
111-1000-10198	OTHER - MISC CLEARING	0.00
111-1000-10341	TEXPOOL	0.00
111-1000-10343	LOGIC	0.00
111-1000-10481	INTEREST RECEIVABLE	0.00
111-1000-11511	ACCTS REC - MISC	0.00
111-1000-11517	ACCTS REC - SALES TAX	0.00
111-1000-12810	LEASE PAYMENTS RECEIVABLE	0.00
111-1000-12950	LOAN PROCEEDS RECEIVABLE	0.00
111-1000-12996	LOAN RECEIVABLE	0.00
111-1000-12997	ACCTS REC - JTM TECH	0.00
111-1000-12998	ACCTS REC - FORGIVEABLE LOANS	717,000.00
111-1000-14112	INVENTORY - MATERIAL/ SUPPLY	0.00
111-1000-14116	INVENTORY - LAND & BUILDINGS	14,645,353.88
111-1000-14118	INVENTORY - BAYCO/ SANDEN BLVD	0.00
111-1000-14310	PREPAID EXPENSES - MISC	0.00
111-1000-14410	DEFERRED OUTFLOWS	1,818,500.00
Total Assets:		30,747,989.66
		<u>30,747,989.66</u>
Liability		
111-2000-20110	FEDERAL INCOME TAX PAYABLE	0.00
111-2000-20111	MEDICARE PAYABLE	0.00
111-2000-20112	CHILD SUPPORT PAYABLE	0.00
111-2000-20113	CREDIT UNION PAYABLE	0.00
111-2000-20114	IRS LEVY PAYABLE	0.00
111-2000-20115	NATIONWIDE DEFERRED COMP	0.00
111-2000-20116	HEALTH INSUR PAY-EMPLOYEE	-2,735.84
111-2000-20117	TMRS PAYABLE	0.00
111-2000-20118	ROTH IRA PAYABLE	0.00
111-2000-20119	WORKERS COMP PAYABLE	0.00
111-2000-20120	FICA PAYABLE	0.00
111-2000-20121	TEC PAYABLE	0.00
111-2000-20122	STUDENT LOAN LEVY PAYABLE	0.00
111-2000-20123	ALIMONY PAYABLE	0.00
111-2000-20124	BANKRUPTCY PAYABLE	0.00
111-2000-20125	VALIC DEFERRED COMP	0.00
111-2000-20126	ICMA PAYABLE	0.00
111-2000-20127	EMP. LEGAL SERVICES PAYABLE	0.00
111-2000-20130	FLEXIBLE SPENDING ACCOUNT	4,212.40
111-2000-20131	EDWARD JONES DEFERRED COMP	0.00
111-2000-20132	EMP CARE FLITE	12.00
111-2000-20133	Unemployment Comp Payable	37.98
111-2000-20151	ACCRUED WAGES PAYABLE	0.00
111-2000-20180	ADDIT EMPLOYEE INSUR PAY	135.18
111-2000-20199	MISC PAYROLL PAYABLE	0.00
111-2000-20201	AP PENDING	0.00
111-2000-20210	ACCOUNTS PAYABLE	0.00
111-2000-20530	PROPERTY TAXES PAYABLE	0.00
111-2000-20540	NOTES PAYABLE	1,818,500.00
111-2000-20810	DUE TO GENERAL FUND	0.00

Balance Sheet

As Of 02/29/2024

Account	Name	Balance
111-2000-22270	DEFERRED INFLOW	0.00
111-2000-22275	DEF INFLOW - LEASE PRINCIPAL	0.00
111-2000-22280	DEFERRED INFLOW - LEASE INT	0.00
111-2000-22915	RENTAL DEPOSITS	1,200.00
Total Liability:		1,821,361.72

Equity

111-3000-34110	FUND BALANCE - RESERVED	0.00
111-3000-34590	FUND BALANCE-UNRESERV/UNDESIG	29,403,081.04
Total Beginning Equity:		29,403,081.04
Total Revenue		994,727.29
Total Expense		1,471,180.39
Revenues Over/Under Expenses		-476,453.10
Total Equity and Current Surplus (Deficit):		28,926,627.94
Total Liabilities, Equity and Current Surplus (Deficit):		30,747,989.66

Balance Sheet

As Of 02/29/2024

Account	Name	Balance
Fund: 922 - GEN LONG TERM DEBT (WEDC)		
Assets		
Total Assets:		0.00
		0.00
Liability		
922-2000-28248	GOVCAP LOAN/SERIES 2022	7,556,077.29
Total Liability:		7,556,077.29
Total Equity and Current Surplus (Deficit):		0.00
Total Liabilities, Equity and Current Surplus (Deficit):		7,556,077.29
*** FUND 922 OUT OF BALANCE ***		-7,556,077.29

***Warning: Account Authorization is turned on. Please run the Unauthorized Account Listing Report to see if you are out of balance due to missing accounts ***

Wylie Economic Development Corporation

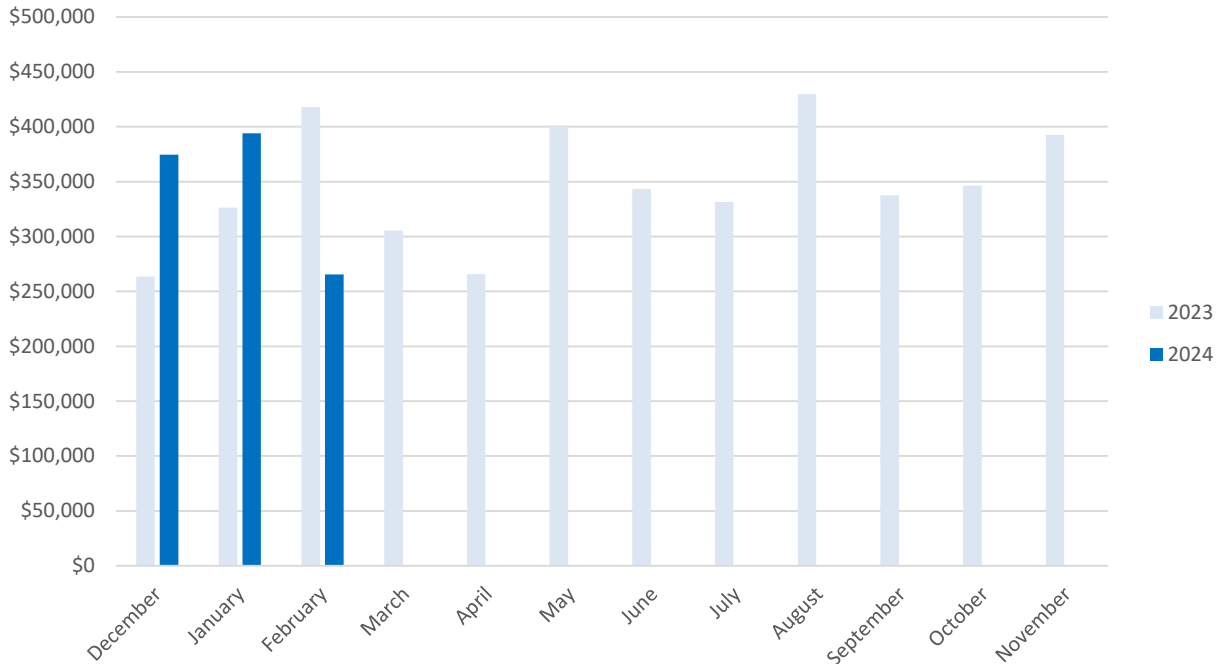
SALES TAX REPORT

February 29, 2024

BUDGETED YEAR

MONTH	FY 2021	FY 2022	FY 2023	FY 2024	DIFF 23 vs. 24	% DIFF 23 vs. 24
DECEMBER	\$ 235,381.33	\$ 263,577.66	\$ 338,726.54	\$ 374,686.38	\$ 35,959.83	10.62%
JANUARY	\$ 262,263.52	\$ 326,207.92	\$ 368,377.73	\$ 393,994.39	\$ 25,616.67	6.95%
FEBRUARY	\$ 456,571.35	\$ 417,896.79	\$ 480,381.11	\$ 265,491.94	\$ (214,889.17)	-44.73%
MARCH	\$ 257,187.91	\$ 305,605.50	\$ 313,686.17	\$ -		
APRIL	\$ 221,881.55	\$ 265,773.80	\$ 310,050.94	\$ -		
MAY	\$ 400,371.70	\$ 401,180.20	\$ 434,878.33	\$ -		
JUNE	\$ 290,586.92	\$ 343,371.26	\$ 330,236.89	\$ -		
JULY	\$ 314,559.10	\$ 331,432.86	\$ 379,162.00	\$ -		
AUGUST	\$ 390,790.76	\$ 429,696.16	\$ 448,253.70	\$ -		
SEPTEMBER	\$ 307,681.15	\$ 337,512.61	\$ 371,880.65	\$ -		
OCTOBER	\$ 326,382.38	\$ 346,236.36	\$ 377,466.67	\$ -		
NOVEMBER	\$ 411,813.32	\$ 392,790.84	\$ 458,694.91	\$ -		
Sub-Total	\$ 3,875,470.98	\$ 4,161,281.96	\$ 4,611,795.64	\$ 1,034,172.71	\$ (153,312.67)	-9.05%
Total	\$ 3,875,470.98	\$ 4,161,281.96	\$ 4,611,795.64	\$ 1,034,172.71	\$ (153,312.67)	-9.05%

WEDC Sales Tax Analysis



*** Sales Tax collections typically take 2 months to be reflected as Revenue. SlsTx receipts are then accrued back 2 months.
 Example: February SlsTx Revenue is actually December SlsTx and is therefore the 3rd allocation in FY24.

Wylie Economic Development Corporation

PERFORMANCE AGREEMENT REPORT

February 29, 2024

PERFORMANCE AGREEMENTS	TOTAL INCENTIVE	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	REMAINING AFTER CURRENT FY	PREVIOUS FY PAYMENTS	TOTAL INCENTIVE	
LUV-ROS	\$ 10,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 10,000.00	\$ 10,000.00	A
AMERICAN ENTITLEMENTS II	\$ 35,000.00	\$ 25,000.00	\$ 10,000.00	\$ -	\$ -	\$ -	\$ 10,000.00	\$ -	\$ 35,000.00	
NORTH DALLAS WYLIE LAND	\$ 120,000.00	\$ 20,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 100,000.00	\$ 120,000.00	
AXL	\$ 65,000.00	\$ 9,250.00	\$ 9,250.00	\$ -	\$ -	\$ -	\$ 9,250.00	\$ 46,500.00	\$ 65,000.00	
GLEN ECHO BREWING	\$ 100,000.00	\$ 50,000.00	\$ 30,000.00	\$ 20,000.00	\$ -	\$ -	\$ 50,000.00	\$ -	\$ 100,000.00	B
MLKJ	\$ 80,000.00	\$ -	\$ 40,000.00	\$ 40,000.00	\$ -	\$ -	\$ 80,000.00	\$ -	\$ 80,000.00	C
CLF II LI WYLIE (LOVETT)	\$ 1,300,000.00	\$ 650,000.00	\$ 650,000.00	\$ -	\$ -	\$ -	\$ 650,000.00	\$ -	\$ 1,300,000.00	
DEANAN/DANK	\$ 30,000.00	\$ 15,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ 30,000.00	
FIREWATER	\$ 300,000.00	\$ 100,000.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 200,000.00	\$ 300,000.00	
PHOENIX ASCENDING	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	D
SANDEN INTERNATIONAL	\$ 500,000.00	\$ 300,000.00	\$ 200,000.00	\$ -	\$ -	\$ -	\$ 200,000.00	\$ -	\$ 500,000.00	
	\$ 2,540,000.00	\$ 1,169,250.00	\$ 939,250.00	\$ 60,000.00	\$ -	\$ -	\$ 999,250.00	\$ 371,500.00	\$ 2,540,000.00	
Deferred Out Flow							\$ 1,818,500.00			

A. Performance Agreement (\$10,000) and Forgiveable Land Grant (\$60,000 forgiven over 3 years). \$20,000/year in 2022, 2023, & 2024.

B. Performance Agreement (\$100,000) and Forgiveable Land Grant (\$100,000 forgiven over 3 years). \$33,000 CO, \$33,000 in 2025, and \$34,000 in 2026.

C. Performance Agreement (\$80,000) and Forgiveable Land Grant (\$200,000 forgiven over 3 years). \$50,000 CO & \$50,000/year in 2025, 2026, & 2027.

D. Forgiveable Land Grant (\$450,000 forgiven over 4 years). \$112,500 CO & \$112,500/year in 2026, 2027, & 2028.



Wylie City Council

AGENDA REPORT

Department: Planning
 Prepared By: Jasen Haskins

Account Code: _____

Subject

Consider, and act upon, Ordinance No. 2024-08 for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 1.074 acres to allow for a drive-through restaurant use. Property located at 2806 W. FM 544 (ZC 2023-19).

Recommendation

Motion to approve the Item as presented.

Discussion

On March 12, 2024 City Council approved the writing of an ordinance for a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) on 1.074 acres to allow for a drive-through restaurant use. Property located at 2806 W. FM 544 (ZC 2023-19).

That approval had a condition that the proposed SUP Conditions be amended to remove the approval of the SUP also acting as the approval of a Site Plan. The purpose of the conditions was to require the east side drive lane to be one-way, add a curb to the drive thru lane to separate that traffic from the pass-through traffic, and to reduce the west side of the building addition to allow for a wrap-around sidewalk. Those conditions have been added to the zoning exhibit and the site plan has been separated from the SUP which will be required to obtain separate review and consideration. Additionally, the landscape plans and elevations have been removed from the zoning exhibit, as these may change slightly due to the conditions of SUP approval. They will be a part of the revised site plan when submitted by the applicant for review and consideration.

Final approval of Zoning Case 2023-19 requires the adoption of the Ordinance to amend the zoning accordingly in the Official Zoning map of the City; and providing a penalty clause, a repeal clause, a savings clause, a severability clause, and an effective date.

The subject ordinance allows for the rezoning. Exhibit A (Legal Description), Exhibit B (Zoning Exhibit), and Exhibit C (SUP Conditions) are included and made a part of this Ordinance.

The above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

ORDINANCE NO. 2024-08

AN ORDINANCE OF THE CITY OF WYLIE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF WYLIE, AS HERETOFORE AMENDED, SO AS TO CHANGE THE ZONING ON THE HEREINAFTER DESCRIBED PROPERTY, ZONING CASE NUMBER 2023-19, FROM COMMERCIAL CORRIDOR (CC) TO COMMERCIAL CORRIDOR - SPECIAL USE PERMIT (CC-SUP) ON 1.074 ACRES TO ALLOW FOR A DRIVE-THROUGH RESTAURANT; PROVIDING FOR A PENALTY FOR THE VIOLATION OF THIS ORDINANCE; PROVIDING FOR THE REPEAL OF ALL ORDINANCES IN CONFLICT; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Wylie, Texas, in compliance with the laws of the State of Texas with reference to the amendment of the Comprehensive Zoning Ordinance, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all property owners generally and to owners of the affected property, the governing body of the City is of the opinion and finds that the Comprehensive Zoning Ordinance and Map should be amended;

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: That the Comprehensive Zoning Ordinance of the City of Wylie, Texas, be, and the same is hereby, amended by amending the Zoning Map of the City of Wylie, to give the hereinafter described property a new zoning classification of Commercial Corridor - Special Use Permit (CC-SUP), said property being described in Exhibit A (Legal Description), hereto and made a part hereof for all purposes.

SECTION 2: That a Zoning Exhibit and SUP Conditions are an integral component of the development of the property and are attached as Exhibit B and Exhibit C.

SECTION 3: That all ordinances of the City in conflict with the provisions of this ordinance be, and the same are hereby, repealed and all other ordinances of the City not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 4: That the above described property shall be used only in the manner and for the purposes provided for in the Comprehensive Zoning Ordinance of the City, as amended herein by the granting of this zoning classification.

SECTION 5: Any person, firm or corporation violating any of the provisions of this ordinance or the Comprehensive Zoning Ordinance, as amended hereby, commits an unlawful act and shall be subject to the general penalty provisions of Section 1.5 of the Zoning Ordinance, as the same now exists or is hereafter amended.

SECTION 6: Should any paragraph, sentence, subdivision, clause, phrase or section of this ordinance be adjudged or held to be unconstitutional, illegal or invalid, the same shall not affect the validity of this ordinance as a whole or any part or provision thereof, other than the part so declared to be invalid, illegal or unconstitutional, and shall not affect the validity of the Comprehensive Zoning Ordinance as a whole.

SECTION 7: This ordinance shall be in full force and effect from and after its adoption by the City Council and publication of its caption as the law and the City Charter provide in such cases.

SECTION 8: The repeal of any ordinance, or parts thereof, by the enactment of this Ordinance, shall not be construed as abandoning any action now pending under or by virtue of such ordinance; nor shall it have the effect of discontinuing, abating, modifying or altering any penalty accruing or to accrue, nor as effecting any rights of the municipality under any section or provisions of any ordinances at the time of passage of this ordinance.

DULY PASSED AND APPROVED by the **City Council of the City of Wylie, Texas**, this 26th day of March, 2024.

Matthew Porter, Mayor

ATTEST:

Stephanie Storm, City Secretary

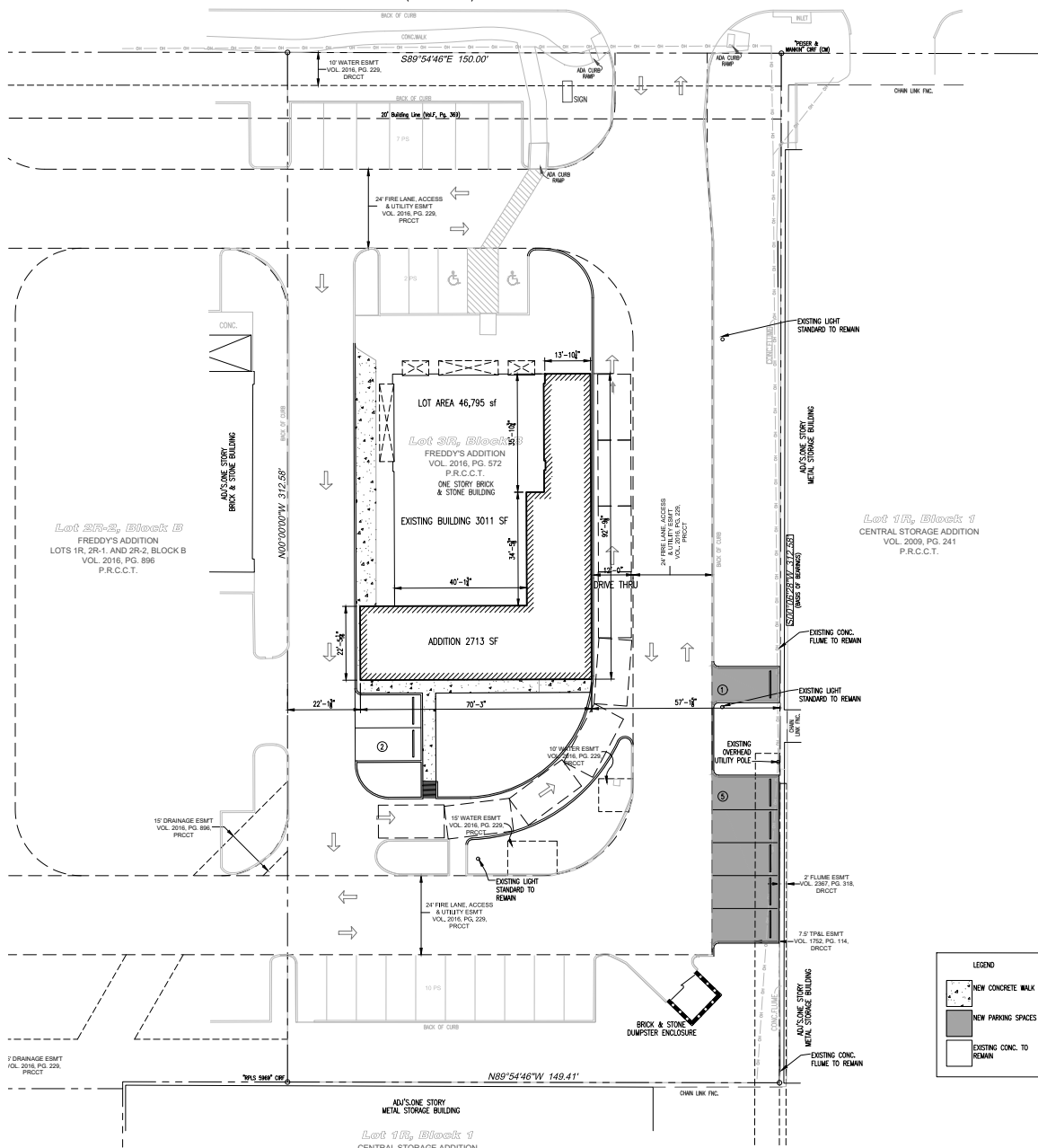
Date of Publication: April 3, 2024 in The Wylie News

Exhibit A

Legal Description

Property being 1.01 acres, all of Lot 3R, Block B of the Freddy's Addition of the City of Wylie, located at 2806 West FM 544, Wylie, Texas.

W FM 544
(120' RIGHT-OF-WAY)



LOCATION MAP



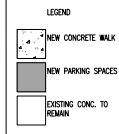
SITE DATA TABLE

Lot Area	46,795	Sq. Ft.
Lot Area	1.07	Acres
Proposed		Required
Zoning	CC SUP	CC Commercial Corridor
Building Height	24 Feet	50 Feet
Front Yard Setback	97 Feet	25 Feet
Side Yard Setback	22 Feet	10 Feet
Rear Yard Setback	122 Feet	10 Feet
Lot Coverage	12.24%	50.00%
Service & Loading Areas	Not Visible from st.	
Drive through Stacking		
Stacking for first stop	138 Feet	100 Feet
Stacking thereafter	40 Feet	40 Feet

Parking Calculations	Area (SF)	Parking requirements (based on use)	Parking required
Medical	3002	1 per 300	10.01
Rest. w/drive thru	2767	1 per 150	18.4467
Total parking required			28.45
Total parking provided			29
ADA parking required	2		
On-site loading	None required		

Site design requirements	From figure 4-7	Desirable (Minimum 4)
Element	Base Standard	
Building Placement	1. Entrances and/or facades oriented to the street.	2. Individual buildings w/footprints + or < 10,000square feet.
Parking Placement	1. Minimum width drive of 24', turning radius of 25	3. Front facade oriented to the street.
Access Drives	2. Access drive at least 150' from intersection.	1. Site plan with no more than 50% of parking in front of the building
Location of Service and Loading Areas	1. Service and loading areas shall not be visible from a public street or adjacent residential lot.	1. Combined access points with adjacent tracts
		2. Direct connection between buildings and street.
		1. Not visible from public street but provide masonry screening.

NON PERMISSIBLE SURFACE AREA:
PRE CONSTRUCTION (ADDITION) 33,100 SF
POST CONSTRUCTION (ADDITION) 34,295 SF



01 SITE PLAN
1/16"=1'-0"

0 8' 16' 16'
SCALE: 1/16" = 1'-0"



ARCHITECTURE • PLANNING • INTERIORS

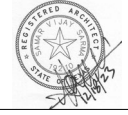
SUSTAINABILITY • FACILITY ASSESSMENTS

14455 WEBB CHAPEL ROAD, SUITE 200
FARMERS BRANCH, TX 75234

Building Owner
Wylie Hope LLC, Mohammed A. Mohiuddin
2806 E Farm To Market 544
Wylie, TX 75098
Ph: 972.900.8009
siddonsm@gmail.com

Architect
Vijay Sarma, Regd. Architect
IDD Architecture Firm No BR 1546
14455 Webb Chapel Rd., Suite 200
Farmers Branch, TX 75234
Ph: 214.205.7959
sarmav@iddarch.com

2806 W FM 544, LOT 3R, BLOCK B
WYLIE, TX 75098



No.	Revision	Date

Sheet Name
SITE PLAN
Project number
Date
Drawn by
Checked by
Sheet Number

A 1.00

EXHIBIT “B”**Conditions For Special Use Permit
Wylie - Lot 3R Block B of Freddy’s Addition
2023-19****I. PURPOSE:**

This Special Use Permit shall be established to provide Commercial use, including restaurant w/ drive thru to support the economic growth within the region.

II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations within the Code of Ordinance except as specifically provided herein.
2. This Special Use Permit shall not affect any regulations of the Commercial Corridor District (CC) set forth in Article 4, Section 4.1 of the Comprehensive Zoning Ordinance (adopted as of June 2023)

III. SPECIAL CONDITIONS:

1. All allowed uses in the Commercial Corridor District (CC) set forth in Article 5 of the Comprehensive Zoning Ordinance (adopted as of June 2023, in addition to those listed in this paragraph shall be allowed by-right uses.
 - a. Restaurant with Drive in or Drive-Through Service.



Wylie City Council

AGENDA REPORT

Department: Fire
 Prepared By: Fire- Brandon Blythe

Account Code: _____

Subject

Consider, and act upon, the approval of a Termination Agreement Regarding Southeast Collin County EMS Coalition Agreements and Mutual Release between Collin County, the City of Lavon, the City of Parker, the Town of Saint Paul, and the City of Wylie, Texas, and authorizing the City Manager to execute any necessary documents.

Recommendation

Motion to approve the Item as presented.

Discussion

This item involves the dissolution of the longstanding EMS Coalition, which has been a collaborative effort for the past two decades involving Wylie Fire Rescue and the coalition cities. A more flexible and efficient approach is warranted in light of Wylie Fire Rescue taking on the responsibility of EMS services under the newly established Wylie EMS Division. The coalition's dissolution will pave the way for a streamlined Interlocal Agreement, enabling the remaining coalition cities to continue seamlessly receiving ambulance services from the City of Wylie.

TERMINATION AGREEMENT REGARDING SOUTHEAST COLLIN COUNTY EMS COALITION AGREEMENTS AND MUTUAL RELEASE

This TERMINATION AGREEMENT AND MUTUAL RELEASE (“Termination Agreement”) is made and entered into by and among the County of Collin (“Collin County”), the City of Lavon, Texas (“Lavon”), the City of Parker, Texas (“Parker”), the Town of Saint Paul, Texas (“St. Paul”), and the City of Wylie, Texas (“Wylie”), each of said cities being a municipal corporation organized and operating under the laws of the State of Texas (collectively referred to as the “Governmental Entities” or singularly as a “Governmental Entity”), and acting by and through their authorized representatives.

WHEREAS, in 2008, the Governmental Entities, the City of Lucas, Texas and the City of Murphy, Texas agreed to form and participate in the Southeast Collin County Emergency Services Coalition (“Coalition”); and

WHEREAS, the City of Lucas, Texas and the City of Murphy, Texas subsequently terminated their participation in the Coalition leaving the Governmental Entities as the sole remaining participants in the Coalition; and

WHEREAS, the Coalition members, including the Governmental Entities, have entered into several agreements with one another and other third parties from time to time for the purposes of contracting for and/or providing for regional emergency medical services; and

WHEREAS, each of the Governmental Entities now desire to terminate their respective participation in the Coalition and to terminate all outstanding agreements and other obligations among them concerning the Coalition and its activities, as set forth below; and

WHEREAS, each of the Governmental Entities agree that the Coalition itself does not own or claim ownership of any property of any kind and that any property operated or used for the benefit of or by the Coalition is owned by a Governmental Entity free and clear of any claims or rights of any other Governmental Entity or the Coalition itself.

NOW, THEREFORE, in consideration of the covenants and conditions contained in this Agreement, the Governmental Entities agree as follows:

1. Termination of the Coalition and All Outstanding Agreements and other Obligations. Effective as of the Effective Date (hereinafter defined) of this Termination Agreement, (a) the Coalition is hereby terminated; (b) the Governmental Entities for themselves and their respective successors and assigns acknowledge and agree that all outstanding agreements and other obligations concerning the Coalition and its activities are hereby released and shall be of no further force or effect, including but not limited to the following: (i) Constitution and Bylaws of the Southeast Collin County Emergency Services Coalition (undated); (ii) Interlocal Cooperation Agreement for Emergency Medical Services Coalition dated October 14, 2008; and (iii) Interlocal Cooperation Agreement for Emergency Medical Services Coalition dated October 1, 2014; and (c) each Governmental Entity hereby releases the other Governmental Entities and their

respective successors and assigns from any further performance or obligations, if any, that might have been required under such outstanding agreements.

2. Mutual General Release. Effective as of the Effective Date of this Termination Agreement, the Governmental Entities and their respective successors, assigns, heirs, affiliates, agents, servants, directors, officers, employees and representatives fully and forever release and discharge each other and their respective successors, assigns, heirs, affiliates, agents, servants, directors, officers, employees and representatives (collectively, “Releasees” in their capacities as released parties hereunder), and all other persons acting for, under or in concert with Releasees, past or present, of or from any and all claims, demands, actions, causes of actions, suits, lawsuits, debts, liens, contracts, agreements, promises, obligations, damages, liabilities, losses, costs or expenses, including attorneys’ fees, past or present, ascertained or unascertained, whether or not known, suspected or claimed to exist or which can hereinafter ever arise out of or result from or in connection with any act, omission, failure to act, breach or conduct suffered to be done or omitted to be done by Releasees, relating to any claims or issues arising from, in connection with, or surrounding the Coalition, past or current agreements among the Coalition or involving the Coalition and all other rights and obligations relating thereto.
3. Reservation of the Right to Enforce this Termination Agreement. It is understood and agreed by the parties that the agreements and releases described in Sections 1 and 2 above do not waive nor include in any way the parties’ rights and ability to enforce against each other the terms and covenants contained in this Termination Agreement.
4. Authority. The individuals executing this Agreement on behalf of the respective parties below represent to each other and to others that all appropriate and necessary action has been taken to authorize the individual who is executing this Agreement to do so for and on behalf of the party for which his or her signature appears, that there are no other parties or entities required to execute this Agreement in order for the same to be an authorized and binding agreement on the party for whom the individual is signing this Agreement and that each individual affixing his or her signature hereto is authorized to do so, and such authorization is valid and effective on the Effective Date.
5. Sufficient Consideration. The consideration stated herein is contractual and not a mere recital. The parties hereto execute and deliver this Termination Agreement after being fully informed of its terms, content, and effect. The parties executing this Termination Agreement are not relying upon any representation from any attorney, agent or representative of any other party. The parties are fully informed and have consented to this Termination Agreement based on their own opinion and the advice of their respective representatives.
6. Binding Effect. This Termination Agreement shall be binding on and inure to the benefit of the parties hereto and their heirs, personal representatives, successors, and assigns.
7. Multiple Counterparts. This Termination Agreement may be executed in a number of identical counterparts, each of which shall be deemed an original for all purposes. An

electronic mail and/or facsimile signature will also be deemed to constitute an original if properly executed and delivered to the other party.

IN WITNESS WHEREOF, the parties have executed this Agreement and caused this Agreement to be effective as of October 1, 2024 (“Effective Date”).

CITY OF LAVON, TEXAS

By: _____
Print Name: _____
Title: _____
Date: _____

ATTEST:

By: _____
Print Name: _____
Title: City Secretary

CITY OF PARKER, TEXAS

By: _____
Print Name: _____
Title: _____
Date: _____

ATTEST:

By: _____
Print Name: _____
Title: City Secretary

TOWN OF SAINT PAUL, TEXAS

By: _____
Print Name: _____
Title: _____
Date: _____

ATTEST:

By: _____
Print Name: _____
Title: Town Secretary

CITY OF WYLIE, TEXAS

By: _____
Brent Parker, City Manager
Date: _____

ATTEST:

By: _____
Stephanie Storm, City Secretary

COLLIN COUNTY, TEXAS

By: _____
Print Name: _____
Title: _____
Date: _____

ATTEST:

By: _____
Print Name: _____



Wylie City Council

AGENDA REPORT

Department: Planning

Prepared By: Jasen Haskins

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural (AG/30) to Agricultural - Special Use Permit (AG/30-SUP) on 0.055 acres to allow for Telecommunications Tower. Property located at 5085 Bennett Road (ZC 2024-01).

Recommendation

Motion to approve the MItem as presented.

Discussion

OWNER: Wylie Independent School District

APPLICANT: Verizon Wireless

The applicant is requesting a Special Use Permit (SUP) on 0.055 acres to allow for a telecommunication site with a telecommunication tower. The property is located at 5085 Bennett Road and is leased from Wylie ISD within the Wylie East High School platted subdivision. The current zoning is Agricultural (AG/30).

The development consists of a 60'X40' lease area with a 100' monopole tower placed approximately 120' from the edge of Bennet Road. The site is screened by an 8' tall CMU wall on top of a retaining wall with a 5' landscaping screening strip with flowering trees along the southern border of the site.

The site is to be accessed by a 30' fire lane access and utility easement that connects to Bennett Road. The applicant has obtained a utility crossing authorization permit form the North Texas Municipal Water District for this proposed driveway.

The Special Use Permit (SUP) is requesting for the Zoning Exhibit to act as the site plan for the development. Approval of the SUP shall act as site approval. As presented, this Zoning Exhibit is in compliance with the design requirements of the Zoning Ordinance. Approval of the site development is subject to additions and alterations as required by the City Engineering Department.

The adjacent property to the south and east are located outside of the City limits and are developed with single family homes and land within FEMA Flood Zone Hazard Zone A. The property to the north and west are developed with the Wylie East High School campus. The subject property lies within the Public/Semi Public sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

In accordance with Section 332.c.(7).B of Title 47 of the US Communications Act, any denial of an application must be in writing and supported by substantial evidence and cannot be based on environmental effects of radio transmissions nor the proposed cell service provider.

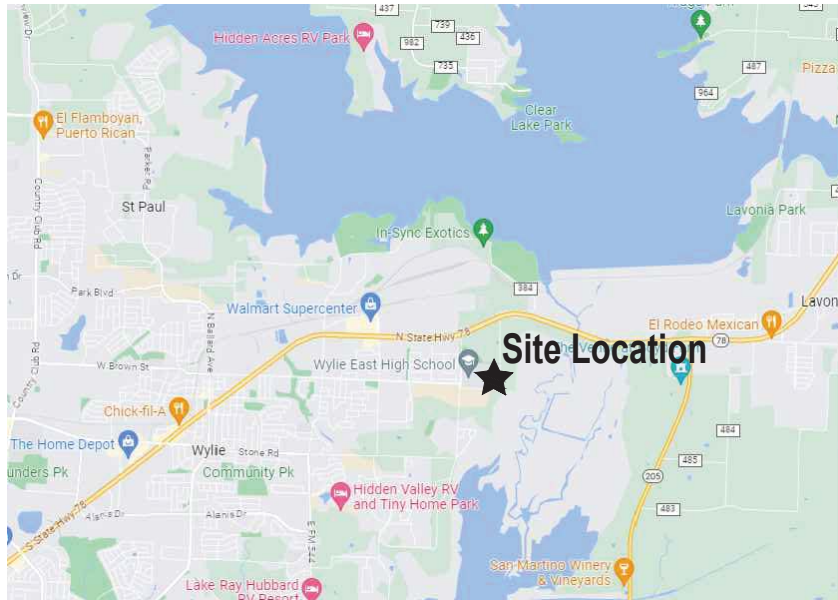
Notices were sent to one property owner within 200 feet as required by state law. At the time of posting, no responses were received in favor or in protest of the request.

P&Z Recommendation

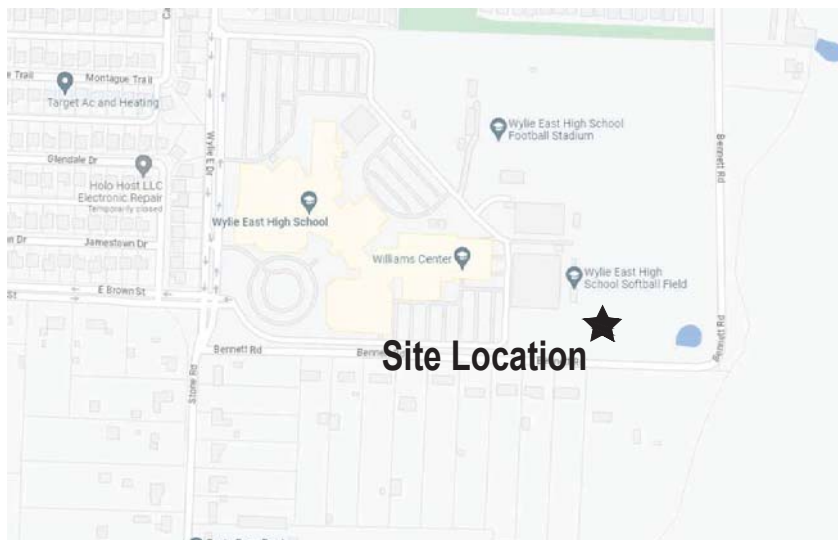
After clarifying that the lease for the tower is with Wylie ISD and the entire site is on WISD property, including the new access drive, the Commission voted 7-0 to recommend approval.



VICINITY MAP



ENLARGED MAP



PROJECT NEW TELECOMMUNICATION CELL SITE

SITE NAME
PILOT GROVE

SITE ADDRESS
**5085 BENNETT ROAD
WYLIE, TX. 75098
COLLIN COUNTY
33.015568°, -96.490606°**

LEGAL DESCRIPTION

BEING A LEASE AREA CONTAINING 0.055 ACRES (2,400 SQ.FT.) LOCATED IN THE F DEL PINA SURVEY, ABSTRACT NO. 688, COLLIN COUNTY, TEXAS, AND BEING OUT OF AND PART OF LOT 1, BLOCK A OF THE WYLIE EAST HIGH SCHOOL ADDITION AS RECORDED IN PLAT BOOK 2008, PAGE 138, PLAT RECORDS OF COLLIN COUNTY, TX, SAID 63.5-ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS

AS FOLLOWS WITH ALL CONTROL REFERRED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE (4202), NORTH AMERICAN DATUM OF 1983:

SCOPE OF WORK: NEW CELLULAR COMMUNICATIONS SITE WITH 100' HIGH MONOPOLE TOWER

- NEW CELL SITE COMPOUND
- NEW CMU BRICK WALL
- NEW ELECTRIC & FIBER SERVICE TO SITE
- NEW COMMUNITY RACK FOR POWER/FIBER DEMARCS
- NEW 25' CONCRETE ACCESS ROAD
- NEW RETAINING WALL

ACTION

☐ APPROVED ☐ DENIED

STAFF _____ Date _____ Initials _____

P&Z _____ Date _____ Initials _____

NEIGHBORHOOD # _____

See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of this project.

PROJECT SUMMARY

SITE INFORMATION

JURISDICTION: COLLIN COUNTY
OCCUPANCY: UNMANNED
ZONE: AG/20
CONSTRUCTION TYPE: NEW CELL SITE MONOPOLE TOWER
COORDINATES: 33.015568°, -96.490606°
ELEVATION: 437.40' A.M.S.L.

PROPERTY OWNER

WYLIE ISD
OWNER CONTACT: SCOTT RODERICK
951 S. Ballard Ave.
WYLIE, TX 75098
PHONE: 972-429-3027

APPLICANT

VERIZON WIRELESS
6696 TRI COUNTY PARKWAY STE. 100
SCHERTZ, TX. 78154

SURVEYOR

H&S SURVEYING, INC.
201 N. BICKFORD,
EL RENO, OK 73036
PHONE: (405) 262-0249
FAX: (405) 262-5107
HSSURVEYING@AOL.COM

ENGINEER CONSULTANT

ALLPRO CONSULTING GROUP, INC.
9221 LYNDON B. JOHNSON FWY, SUITE 204
DALLAS, TEXAS 75243
OFFICE: (972) 231-8893
FAX: (866) 364-8375
CONTACT: CHYU ZHANG, P.E.

SHEET INDEX

T-1 COVER PAGE

WYLIE EAST FINAL PLAT (BY OTHERS)

SV-1 SURVEY (BY OTHERS)

EXHIBIT A-2

Z-1 OVERALL SITE PLAN
Z-2 ENLARGED & COMPOUND/LANDSCAPE PLAN
Z-3 ELEVATION / ANTENNA LAYOUT PLAN
Z-4 SITE DETAILS
Z-5 SITE DETAILS
Z-6 EROSION CONTROL DETAILS



TEXAS ONE CALL

CONTRACTOR TO CALL 48 HOURS BEFORE DIGGING!
PHONE: (800) 545-6005
INDEPENDENT LOCATORS TO BE USED ON ALL SITES

THESE DRAWINGS ARE SCALED FOR 24"x36" SHEET



ACG# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

01/09/23/24 ISSUE FOR ZONING REVIEW

11/11/23 ISSUE FOR ZONING REVIEW

2/02/24 ISSUE FOR ZONING REVIEW



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Suite 204, Dallas, TX 75243
Phone: 972-231-8893
Fax: 866-364-8375
www.allproci.com
registration no. 8242

02/01/24

FOR ZONING -
REVIEW ONLY

PILOT GROVE

OWNER
WYLIE I.S.D.

LEGAL DESCRIPTION
WYLIE EAST HIGH SCHOOL
ADDITION
63.5 ACRE TRACT
BLOCK A, LOT 1
VOLUME 2018 PAGE 349
PLAT RECORDS OF
COLLIN COUNTY, TX

ADDRESS
5085 BENNETT ROAD
WYLIE, TX. 75098
COLLIN COUNTY

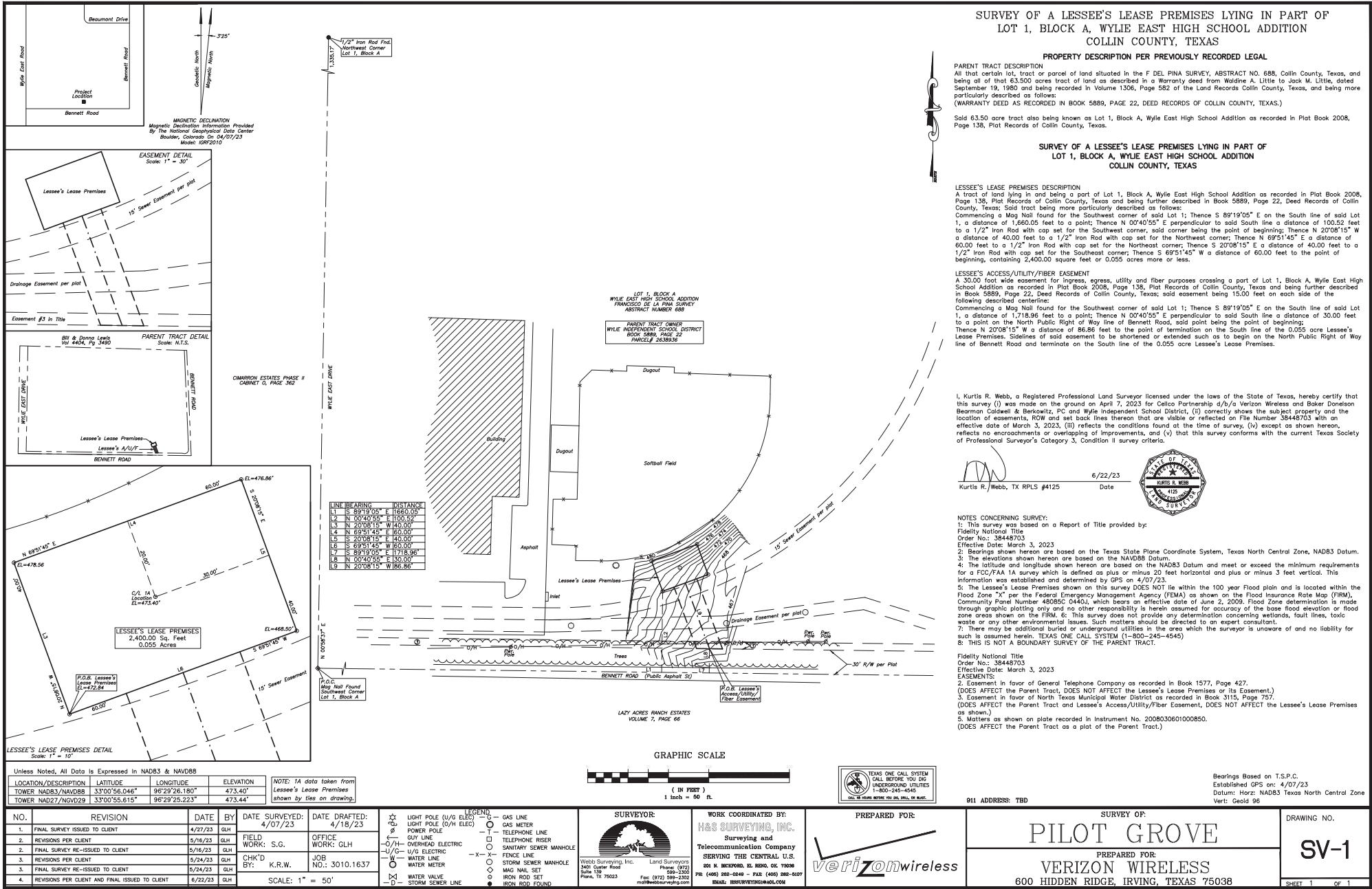
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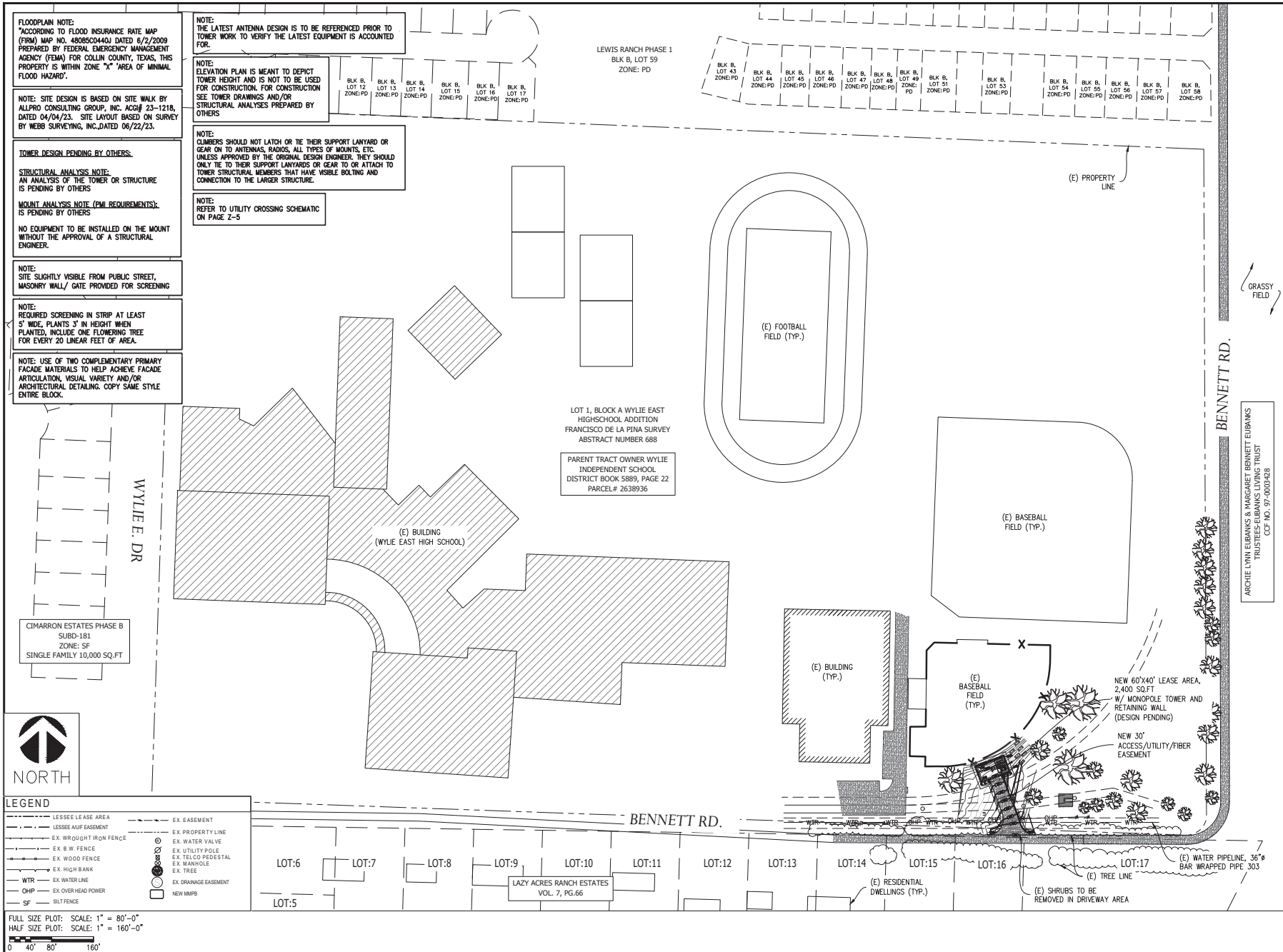
SHEET TITLE

TITLE PAGE

SHEET NUMBER

T-1





verizon

ACG# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

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02/01/24

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PILOT GROVE

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WYLIE I.S.D.

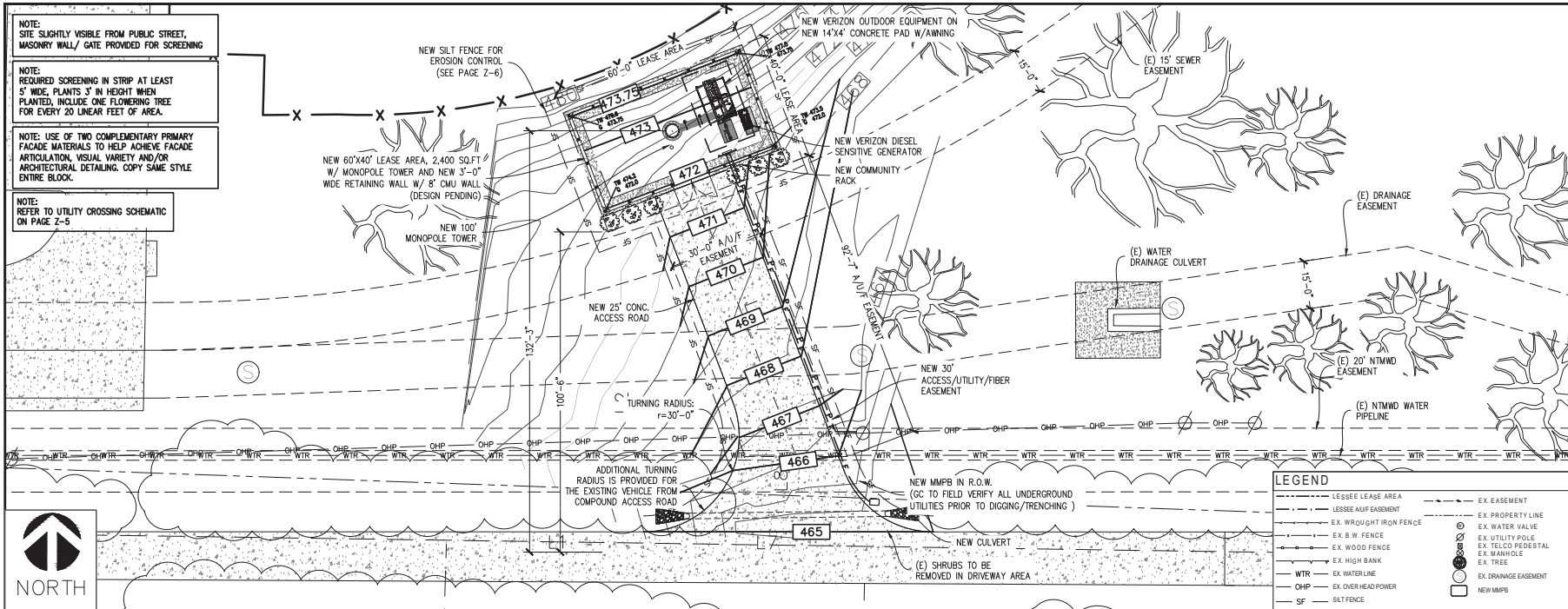
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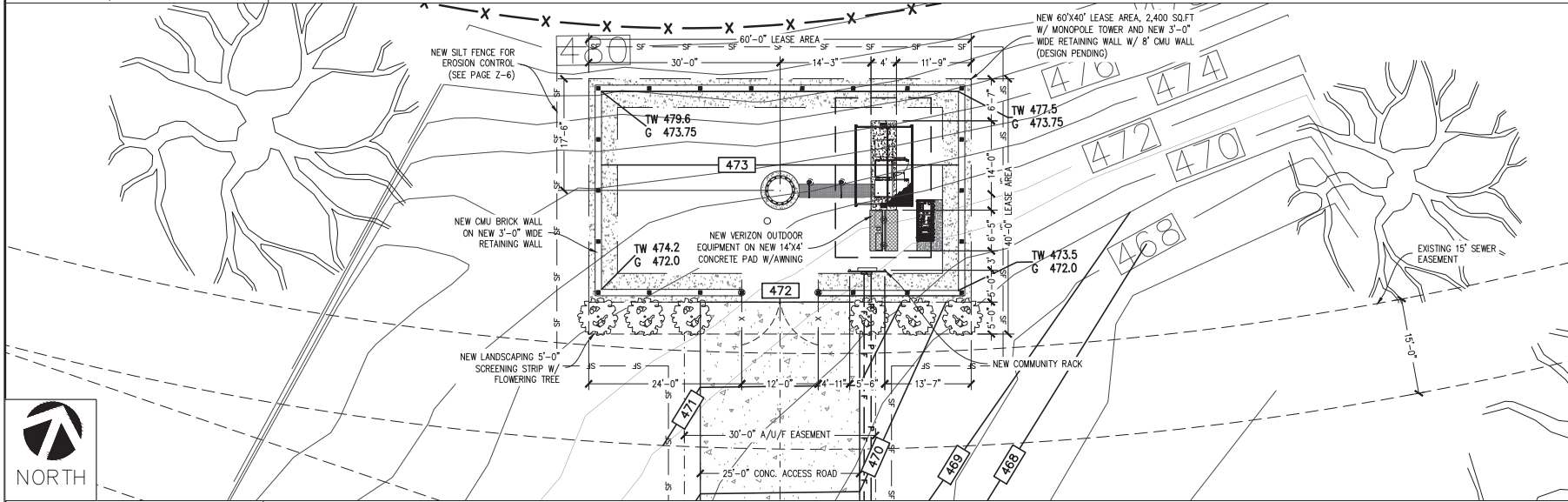
DATE: 08/31/23

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
Z-1



FOR 24" X 36" PLOT - 1/16" = 1' 0 4' 8' 16' 32'
FOR 11" X 17" PLOT - 3/64" = 1' ENLARGED SITE PLAN



FOR 24" X 36" PLOT - 1/8" = 1' 0 2' 4' 8' 16'
FOR 11" X 17" PLOT - 1/16" = 1' COMPOUND / LANDSCAPE PLAN

verizon

ACQ# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

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02/01/24

FOR ZONING -
REVIEW ONLY

PILOT GROVE

OWNER
WYLIE I.S.D.

LEGAL DESCRIPTION
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VOLUME 2018 PAGE 349
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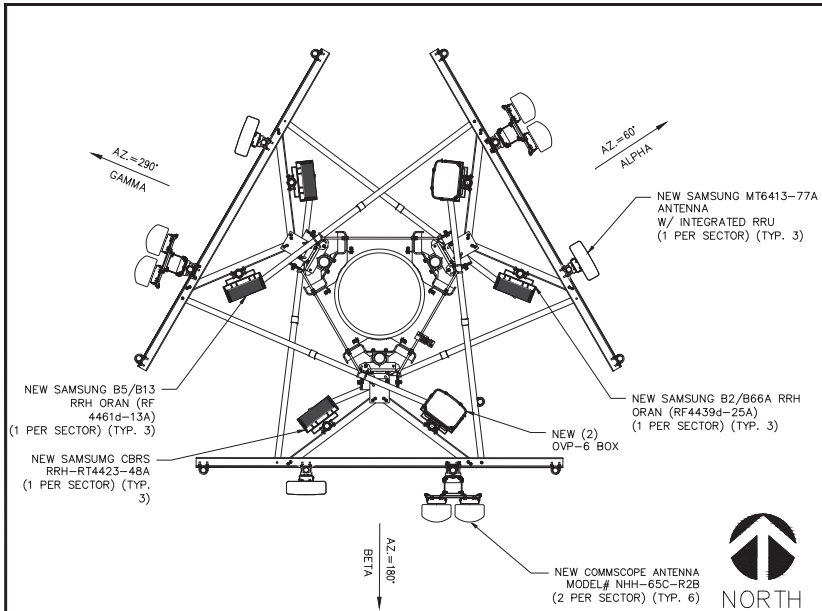
ADDRESS
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WYLIE, TX, 75098
COLLIN COUNTY

DATE: 08/31/23

SHEET TITLE
ENLARGED SITE PLAN &
COMPOUND /
LANDSCAPE PLAN

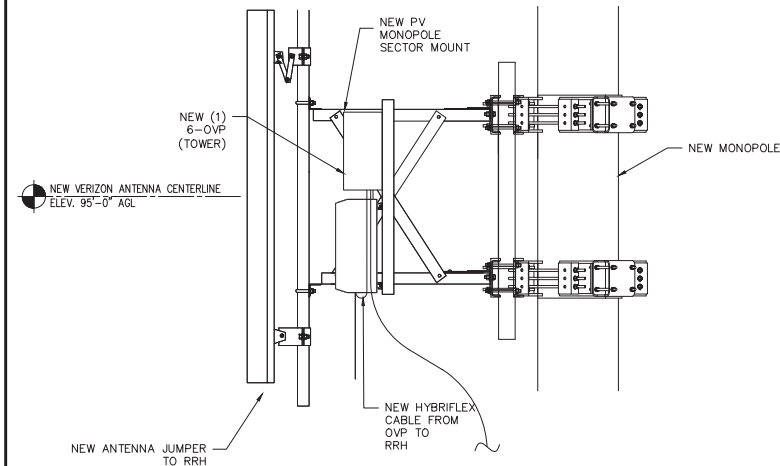
SHEET NUMBER

Z-2



FOR 24" X 36" PLOT - 1/2" = 1'
FOR 11" X 17" PLOT - 1/4" = 1'

VERIZON ANTENNA LAYOUT



FOR 24" X 36" PLOT - 1/2" = 1'
FOR 11" X 17" PLOT - 3/4" = 1'

SECTION THRU ANTENNA SECTOR

FLOODPLAIN NOTE:
"ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 480500440J DATED 6/2/2009 PREPARED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR COLLIN COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE "X" AREA OF MINIMAL FLOOD HAZARD".

NOTE: SITE DESIGN IS BASED ON SITE WALK BY ALLPRO CONSULTING GROUP, INC. AC# 23-1218, DATED 04/04/23. SITE LAYOUT BASED ON SURVEY BY WEBB SURVEYING, INC. DATED 06/22/23.

STEALTH TOWER DESIGN PENDING BY OTHERS:

STRUCTURAL ANALYSIS NOTE:
AN ANALYSIS OF THE TOWER OR STRUCTURE IS PENDING BY OTHERS

MOUNT ANALYSIS NOTE (PM REQUIREMENTS):
IS PENDING BY OTHERS

NO EQUIPMENT TO BE INSTALLED ON THE MOUNT WITHOUT THE APPROVAL OF A STRUCTURAL ENGINEER.

NOTE:
NEW ANTENNA PLACEMENT LOCATION TO BE FIELD VERIFIED BY GENERAL CONTRACTOR PRIOR TO CONSTRUCTION TO AVOID ANY INTERFERENCE OR SHADOWING OF EXISTING ANTENNAS. IF INTERFERENCE OR SHADOWING OF EXISTING ANTENNAS IS DISCOVERED DURING FIELD VERIFICATION, PLEASE CONTACT ALLPRO CONSULTING GROUP INC. FOR DESIGN REVISION PRIOR TO ANY NEW ANTENNA INSTALLATION.

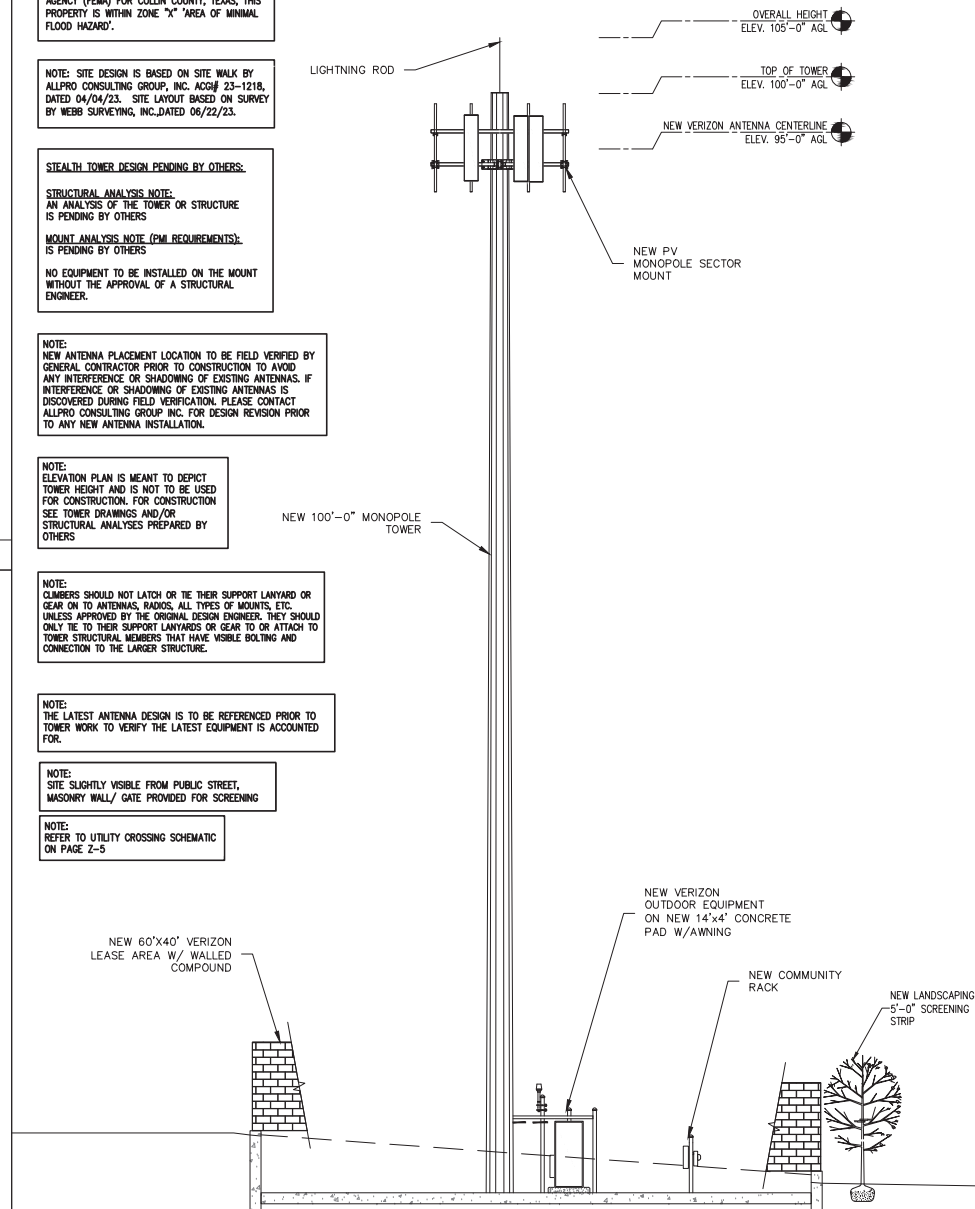
NOTE:
ELEVATION PLAN IS MEANT TO DEPICT TOWER HEIGHT AND IS NOT TO BE USED FOR CONSTRUCTION. FOR CONSTRUCTION SEE TOWER DRAWINGS AND/OR STRUCTURAL ANALYSES PREPARED BY OTHERS

NOTE:
CLIMBERS SHOULD NOT LATCH OR TIE THEIR SUPPORT LANYARD OR GEAR ON TO ANTENNAS, RADIOS, ALL TYPES OF MOUNTS, ETC. UNLESS APPROVED BY THE ORIGINAL DESIGN ENGINEER. THEY SHOULD ONLY TIE TO THEIR SUPPORT LANYARDS OR GEAR TO OR ATTACH TO TOWER STRUCTURAL MEMBERS THAT HAVE VISIBLE BOLTING AND CONNECTION TO THE LARGER STRUCTURE.

NOTE:
THE LATEST ANTENNA DESIGN IS TO BE REFERENCED PRIOR TO TOWER WORK TO VERIFY THE LATEST EQUIPMENT IS ACCOUNTED FOR.

NOTE:
SITE SLIGHTLY VISIBLE FROM PUBLIC STREET, MASONRY WALL/ GATE PROVIDED FOR SCREENING

NOTE:
REFER TO UTILITY CROSSING SCHEMATIC ON PAGE Z-5



FOR 24" X 36" PLOT - 3/16" = 1'
FOR 11" X 17" PLOT - 3/32" = 1'

ELEVATION - LOOKING EAST

verizon

AC# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

01/09/23/24 ISSUE FOR ZONING REVIEW

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PILOT GROVE

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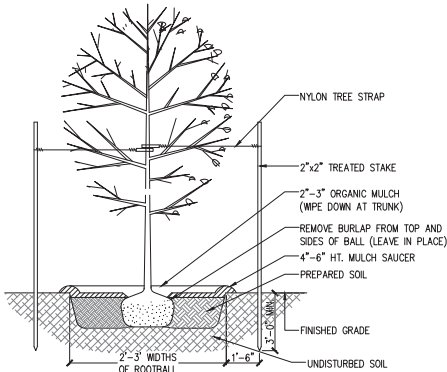
SHEET TITLE
ELEVATION &
ANTENNA LAYOUT

SHEET NUMBER

Z-3

PLANTING SCHEDULE						
TYPE	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	QUANTITY
IO	ILEX OPACA	AMERICAN HOLLY	1-3/4" MIN.	8' MIN.	-	8
MC	MYRICA CERIFERA	SOUTHERN WAX MYRTLE	-	24"-36"	24"-36"	30

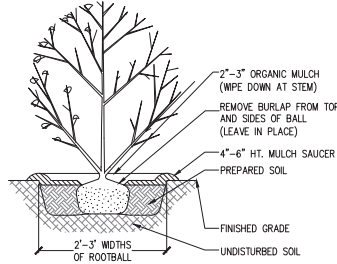
*TREE CONTAINER TO BE MIN. 25 GAL OR EQUIVALENT BALL AND BURLAP.



1 TREE PLANTING DETAIL

GENERAL PLANTING NOTES:

1. ALL PLANT MATERIALS SHALL BE SPECIFIED TO BE EQUAL TO OR BETTER THAN THE STANDARDS FOR NURSERY STOCK, BY THE AMERICAN NURSERY AND LANDSCAPERS ASSOCIATION (ANLA).
2. PLANTING SEASON RESTRICTIONS: ALL BALLED AND BURLAPPED PLANTS SHALL BE INSTALLED BETWEEN OCTOBER 1 AND NOVEMBER 15 UNLESS OTHERWISE AUTHORIZED BY THE LANDSCAPE ARCHITECT. ALL CONTAINER GROWN PLANTS SHALL BE INSTALLED BETWEEN SEPTEMBER 15 AND MAY 15 UNLESS OTHERWISE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
3. FINISHED GRADES ON GRADING PLANS THAT OCCUR IN SHRUB BEDS SPECIFY TOP OF FINISHED MULCH GRADES. LANDSCAPE CONTRACTOR SHALL NOT EXCEED THESE GRADES WHEN BEDS ARE COMPLETE.
4. TOP OF MULCH SHALL FINISH 1" BELOW ADJACENT PAVEMENT.
5. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE "PLANT SCHEDULE" SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UPON DISCREPANCIES, THE PLANTING PLAN SYMBOLS SHALL GOVERN.
6. NEW PLANTING SHALL BE LOCATED AS SHOWN ON PLANS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SITE ELEMENTS AND UTILITIES. IF DISCREPANCIES OCCUR, OR IF OBSTRUCTIONS BELOW GROUND OR OVERHEAD ARE ENCOUNTERED, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. NECESSARY ADJUSTMENTS SHALL BE MADE ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
7. MAINTENANCE WILL INCLUDE IRRIGATION AND THE REMOVAL OF INVASIVE CLIMBERS FROM PROPOSED VEGETATION UNTIL THE PROPOSED VEGETATION HAS HAD OPPORTUNITY TO BECOME ESTABLISHED.

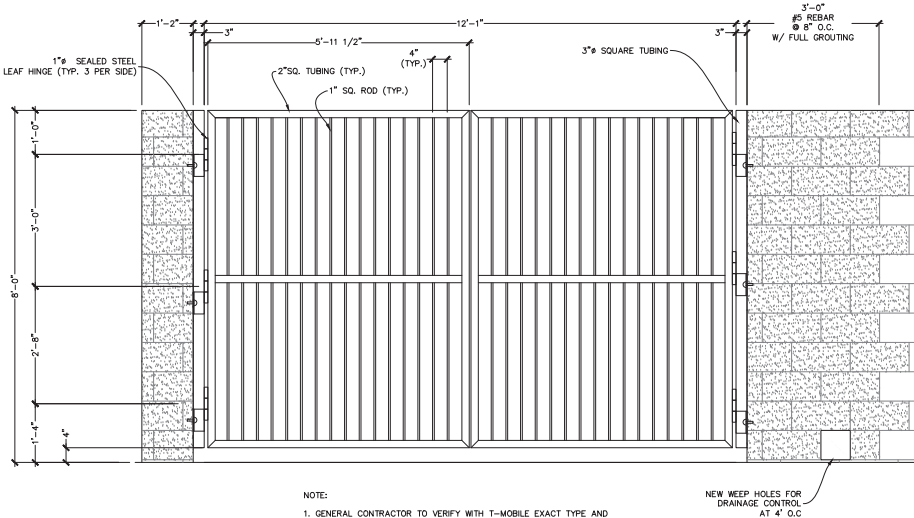


2 SHRUB PLANTING DETAIL

LANDSCAPING

SCALE: 1/4" = 1'-0" (24x36)
(OR) 1/8" = 1'-0" (11x17)

1



- NOTE:
1. GENERAL CONTRACTOR TO VERIFY WITH T-MOBILE EXACT TYPE AND LOCATION OF HINGES FOR MOUNTING GATE TO CHU.
 2. GENERAL CONTRACTOR TO VERIFY ALL GATE DIMENSION PRIOR TO CONSTRUCTING GATE.

NEW WEEP HOLES FOR DRAINAGE CONTROL AT 4' O.C.

FENCE DETAIL

SCALE: 1 1/2" = 1'-0" (24x36)
(OR) 3/4" = 1'-0" (11x17)

3

MASONRY

1. MASONRY STRENGTH
 - A. HOLLOW CONCRETE MASONRY UNITS: GRADE N, LIGHTWEIGHT WITH A COMPRESSIVE STRENGTH OF F = 1500 PSI ON THE NET AREA.
 - B. GROUT: 2000 PSI, MINIMUM 28 DAY COMPRESSIVE STRENGTH. VIBRATE GROUT IMMEDIATELY AFTER POURING AND AGAIN AFTER 5 MINUTES. GROUT SHALL CONFORM TO ASTM C476 AND UBC 2103. MIX GROUT FOR AT LEAST FIVE MINUTES AND UNTIL MIX HAS BEEN ATTAINED. GROUT SHALL HAVE SUFFICIENT WATER ADDED TO PRODUCE A CONSISTENCY FOR POURING WITHOUT SEGREGATION USE GROUT WITHIN 1.5 HOURS OF ADDITION OF MIXING WATER.
 - C. MORTAR: CEMENT-LIME TYPES, 1800 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH. CONFORM TO UBC 2103.
 - D. 2,500 PSI STRENGTH CONCRETE AT 28 DAY 3" TO 5" SLUMP.
2. LAY UNITS IN RUNNING BOND. CORNERS SHALL HAVE A STANDARD BOND BY OVER-LAPPING UNITS.
3. MAXIMUM GROUT LIFT WITHOUT CLEAN-OUTS SHALL BE 4'-0"
4. TIE VERTICAL REINFORCING AT EACH END OF BAR AND AT 4'-0" MAXIMUM VERTICAL SPACING USING SINGLE WIRE LOOP TYPE TIES AS MANUFACTURED BY A.A. WIRE PRODUCTS COMPANY OR APPROVED ALTERNATE.
5. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS OF EXPANSION AND CONTROL JOINTS.
6. GROUT SOLID ALL WALLS IN CONTACT WITH EARTH, RETAINING WALLS, STEM WALLS, AND AS NOTED ON DRAWINGS.
7. GROUTED MASONRY SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ALL ELEMENTS OF THE MASONRY ACT TOGETHER AS A STRUCTURAL ELEMENT.
8. KNOX PADLOCK KEYED TO WYLIE FIRE DEPARTMENT WILL BE REQUIRED ON GATE FOR FD ACCESS TO SITE IN EMERGENCIES. GATE LOCKING MECHANISM MUST SUPPORT MULTIPLE LOCK ACCESS. CONTRACTOR MUST SUPPLY KNOX PADLOCK FOR FD INSTALLATION.

verizon

ACQ# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

0 09/27/23 ISSUE FOR ZONING REVIEW

1 11/01/23 ISSUE FOR ZONING REVIEW

2 02/01/24 ISSUE FOR ZONING REVIEW

ALLPRO
CONSULTING GROUP, INC.
9221 Lyndon B Johnson Fwy
Suite 204, Dallas, TX 75243
Phone: 972-231-8883
Fax: 866-364-8375
www.allprogroup.com
registration no. 8242

02/01/24

FOR ZONING -
REVIEW ONLY

PILOT GROVE

OWNER
WYLIE I.S.D.

LEGAL DESCRIPTION
WYLIE EAST HIGH SCHOOL
ADDITION
63.5 ACRE TRACT
BLOCK A, LOT 1
VOLUME 2018 PAGE 349
PLAT RECORDS OF
COLIN COUNTY, TX

ADDRESS
5085 BENNETT ROAD
WYLIE, TX, 75098
COLLIN COUNTY

DATE: 08/31/23

SHEET TITLE

SITE DETAILS

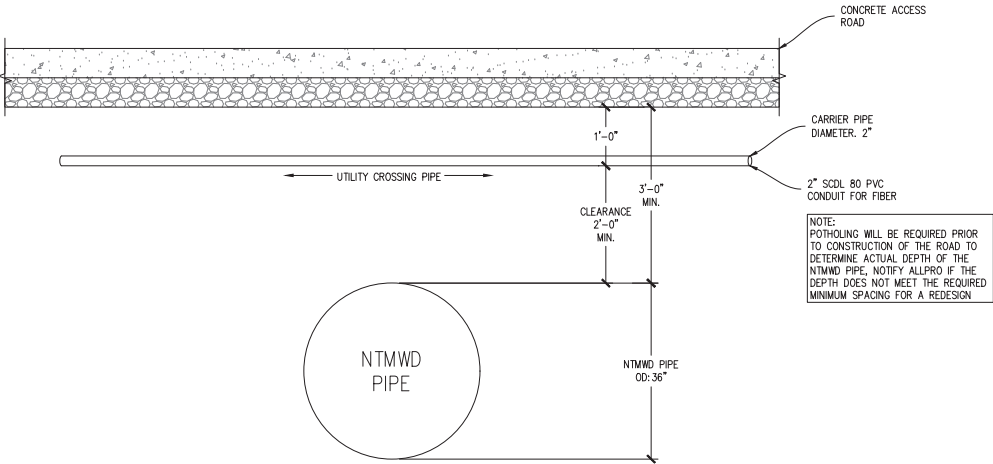
SHEET NUMBER

Z-4

NTMWD NOTES:

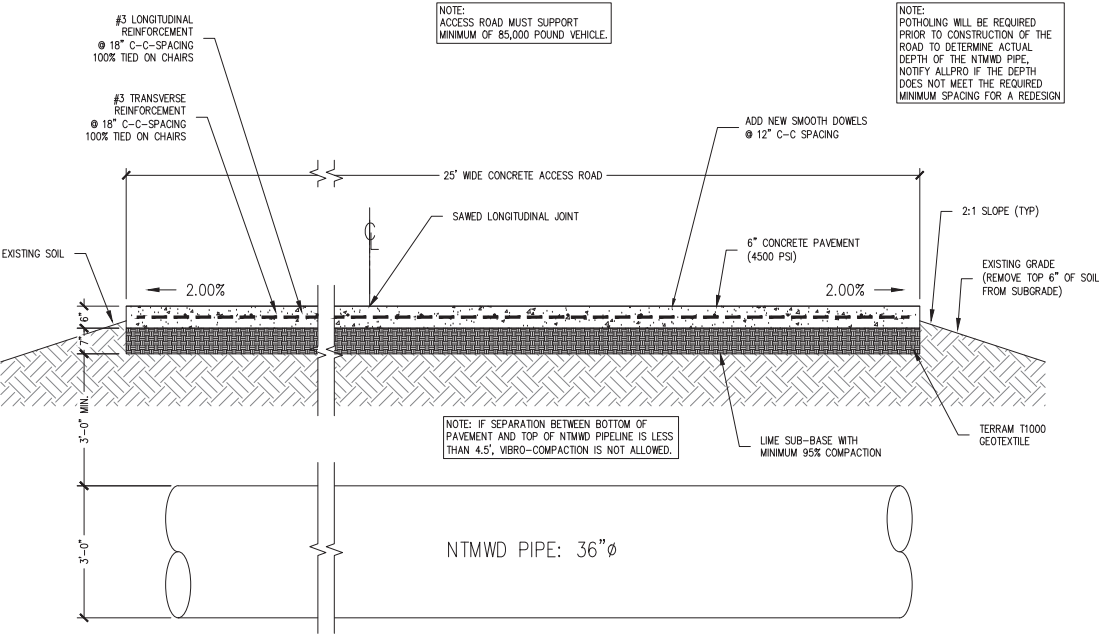
- A. NORTH TEXAS MUNICIPAL WATER DISTRICT (NTMWD) 36-INCH WATER/WASTEWATER PIPELINE IS LOCATED WITHIN LIMITS OF CONSTRUCTION.
- B. OPERATION OF HEAVY EARTHMOVING EQUIPMENT, COMPACTION EQUIPMENT OR HEAVY CONSTRUCTION EQUIPMENT, SUCH AS CONCRETE TRUCKS, SHALL BE RESTRICTED TO SPECIFIC CROSSING POINTS ACROSS NTMWD EASEMENTS, AS APPROVED BY THE NTMWD. THE CROSSINGS SHALL BE DESIGNATED AND VERIFIED TO PROVIDE A MINIMUM OF FIVE-FEET OF COVER.
- C. TO ASSURE THAT PLACING OF SIGNIFICANT LOADS OVER THE NTMWD PIPELINE DOES NOT DAMAGE THE EXISTING PIPELINE, NO MATERIALS SHALL BE STOCKPILED ON THE NTMWD EASEMENT WITHOUT AUTHORIZATION FROM THE NTMWD. IF THE CONTRACTOR DESIRES TO USE NTMWD'S EASEMENT FOR STOCKPILE OF MATERIALS, CONTACT NTMWD ENGINEERING AT (972) 442-5405 SO YOUR PLANS FOR USE OF NTMWD'S EASEMENT CAN BE REVIEWED.
- D. A MINIMUM OF 4.5 FEET SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF NTMWD PIPELINE IS REQUIRED. IN ADDITION, IF SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF PIPELINE IS LESS THAN 4.5 FEET, LIME STABILIZED IS NOT PERMITTED AND A THICKENED PAVEMENT SECTION IS REQUIRED.
- E. CROSSING OF THE NTMWD EASEMENT WITH OTHER UTILITIES, SUCH AS TV CABLE, PHONE, GAS AND ELECTRIC, SHALL BE COORDINATED WITH THE NTMWD TO AVOID DAMAGE TO THE NTMWD FACILITIES.
- F. OUTDOOR LIGHTING, LANDSCAPING, SCREENING WALLS OR OTHER FACILITIES SHALL NOT BE INSTALLED IN NTMWD EASEMENTS WITHOUT WRITTEN APPROVAL OF THE NTMWD.
- G. UNLESS OTHERWISE SHOWN OR REQUIRED, A MINIMUM OF TWO-FOOT CLEARANCE SHALL BE PROVIDED FOR ALL UTILITIES CROSSING THE NTMWD PIPELINES. DIRECTIONAL BORE CROSSINGS REQUIRE A MINIMUM OF FOUR-FOOT CLEARANCE.
- H. BORE CROSSINGS ONLY TO BE PERFORMED BETWEEN 9:00 AM AND 4:00 PM TUESDAY THRU THURSDAY
- I. NO TREES ARE ALLOWED WITHIN NTMWD EASEMENT, ONLY CREPE MYRTLES, SHRUBS, AND BUSHES
- J. A NTMWD REPRESENTATIVE IS REQUIRED TO BE ON-SITE FOR ANY WORK IN THE VICINITY OF NTMWD PIPELINES, FEATURES, OR FACILITIES
- K. THE CONTRACTOR SHALL CONTACT NTMWD LINE LOCATES AT (469) 626-4569 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY WORK IN THE VICINITY OF THE NTMWD FACILITIES.
- L. FOR CROSSING UNDER NTMWD LINES BY OPEN CUT, SHORING IS TO BE USED TO MINIMIZE EXPOSING THE NTMWD LINE. TRENCH WILL BE LIMITED TO 4-FOOT WIDE MAXIMUM.

Crossing Schematic



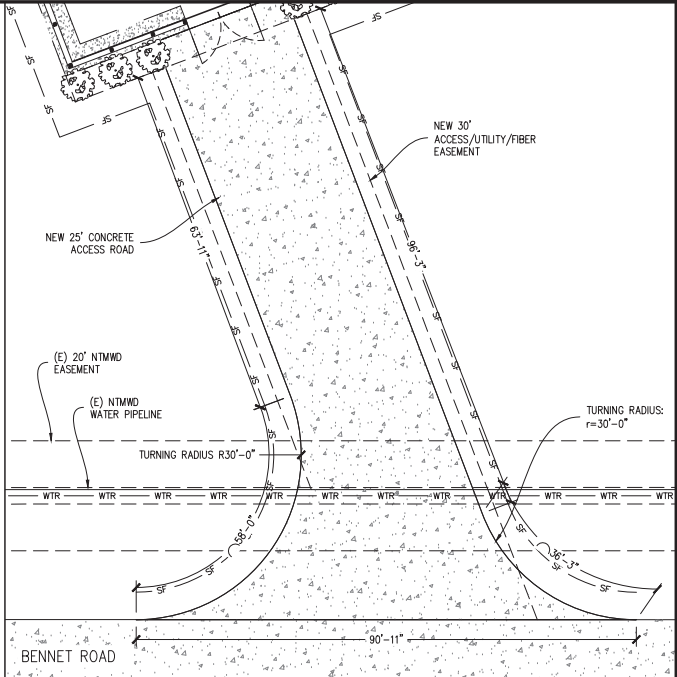
UTILITY CROSSING SCHEMATIC

SCALE: 1
NTS



ACCESS DRIVE DETAIL

SCALE: 1 1/2" = 1'-0" (24x36)
(OR) 3/4" = 1'-0" (11x17)



TURNING RADIUS DETAIL

SCALE: 3/16" = 1'-0" (24x36)
(OR) 3/32" = 1'-0" (11x17)



ACG#	23-1664
DRAWN BY:	MG
CHECKED BY:	CZ
01/09/23	ISSUE FOR ZONING REVIEW
11/10/23	ISSUE FOR ZONING REVIEW
02/01/24	ISSUE FOR ZONING REVIEW



02/01/24

FOR ZONING - REVIEW ONLY

PILOT GROVE

OWNER:
WYLIE I.S.D.
LEGAL DESCRIPTION:
WYLIE EAST HIGH SCHOOL
ADDITION
63.5 ACRE TRACT
BLOCK A, LOT1
VOLUME 2018 PAGE 349
PLAT RECORDS OF
COLIN COUNTY, TX
ADDRESS:
5085 BENNETT ROAD
WYLIE, TX, 75098
COLLIN COUNTY

DATE: 08/31/23

SHEET TITLE
SITE DETAILS

SHEET NUMBER
Z-5

1. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE APPLICABLE STATE ADOPTED "PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL" AND THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" OF THE STATE ENVIRONMENTAL PROTECTION AGENCY.
2. A SOIL EROSION CONTROL FENCE SHALL BE INSTALLED BEFORE DISTURBING THE GROUND AND SHALL BE PROVIDED AS SHOWN ON THE PLAN. THE CONDITION OF THE FENCE SHALL BE INSPECTED REGULARLY AND AFTER EVERY RAINSTORM THAT MIGHT PRODUCE RUNOFF. DAMAGED OR DETERIORATED ITEMS SHALL BE REPLACED AND MAINTAINED IN AN EFFECTIVE CONDITION.
3. SOIL EROSION CONTROL MEASURES SHALL BE INCLUDED IN CONTRACTOR BID AND PRICING.
4. THE ENTIRE SITE SHALL BE GRADED SO THAT NO STORM WATER RUNOFF AND LIKEWISE SOIL SEDIMENT CAN FLOW UNRESTRICTED FROM THE SITE.
5. ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.
6. MAINTAIN SOIL EROSION CONTROL MEASURES THROUGH THE DURATION OF THIS PROJECT.
7. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN REACHING ONE HALF THE HEIGHT OF THE BARRIER.
8. ALL SOIL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED EARTH HAS BEEN PAVED OR VEGETATED.
9. ANY EXCESS TOPSOIL THAT IS TO BE STOCKPILED FOR A PERIOD LONGER THAN 2 WEEKS SHALL BE PROTECTED BY EXCAVATING A TRENCH COMPLETELY AROUND THE STOCKPILE TO PREVENT THE ESCAPE OF SOIL MATERIAL THROUGH STORM WATER RUNOFF. STOCKPILES THAT ARE TO REMAIN LONGER THAN 14 DAYS SHALL BE SEEDDED WITH AN APPROPRIATE GROUND COVER.
10. TO PREVENT SOIL FROM LEAVING THE SITE ON CONSTRUCTION VEHICLE WHEELS, TEMPORARY GRAVEL ROADS AT WORK ENTRANCES SHALL BE CONSTRUCTED AND SHALL EXTEND INTO JOB SITE. THE EXISTING PAVEMENT SURFACES SHALL BE INSPECTED DAILY FOR SOIL DEBRIS AND SHALL BE CLEANED WHEN NECESSARY.
11. REPLACE SOIL EROSION CONTROL MEASURES WITH SEED, SOD AND TOPSOIL AT THE COMPLETION OF THE PROJECT.
12. SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN PROJECT IS COMPLETED.

SOIL EROSION AND SEDIMENT CONTROL NOTES

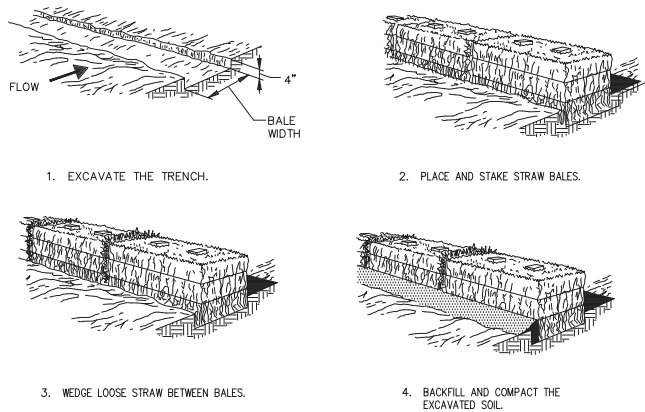
SCALE:
NTS 4

NOT USED

SCALE:
NTS 3

NOT USED

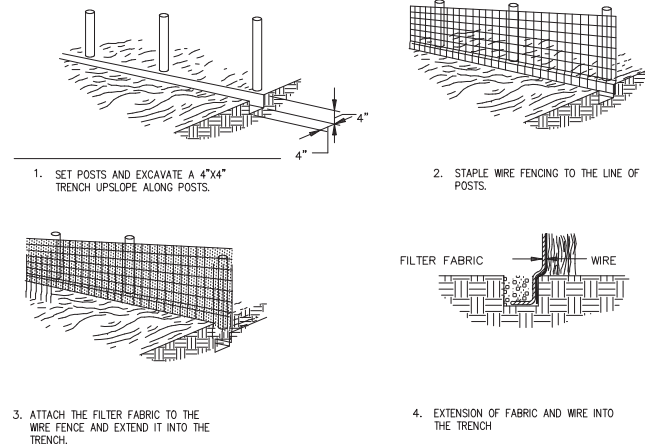
SCALE:
NTS 2



STRAW BALE BARRIER

GRADING NOTES:

1. THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC...) ALL MATERIAL NOT SUITABLE FOR SUB GRADE IN ITS PRESENT STATE. IF THE MATERIAL, AFTER REWORKING, REMAINS UNSUITABLE THEN THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL AT HIS EXPENSE. ALL SUB GRADES SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFT MATERIAL SHALL BE REWORKED OR REPLACED.
2. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTABLE BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE.
4. ALL DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE OWNER IMMEDIATELY IF DISCREPANCIES ARE DISCOVERED. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.



SILT FENCE

EROSION CONTROL DETAIL

SCALE:
NTS 1

verizon

ACG# 23-1664

DRAWN BY: MG

CHECKED BY: CZ

0 09/27/23 ISSUE FOR ZONING REVIEW
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ALLPRO
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www.allproci.com
registration no. 8242

02/01/24

FOR ZONING -
REVIEW ONLY

PILOT GROVE

OWNER
WYLIE I.S.D.

LEGAL DESCRIPTION
WYLIE EAST HIGH SCHOOL
ADDITION
63.5 ACRE TRACT
BLOCK A, LOT1
VOLUME 2018 PAGE 349
PLAT RECORDS OF
COLIN COUNTY, TX

ADDRESS
5085 BENNETT ROAD
WYLIE, TX, 75098
COLLIN COUNTY

DATE: 08/31/23

SHEET TITLE
EROSION CONTROL DETAILS

SHEET NUMBER

Z-6

Pilot Grove – Verizon Telecommunication Tower

EXHIBIT "B"

Conditions For Special Use Permit

I. PURPOSE:

The purpose of this Special Use Permit is to allow for a cellular communication site with a monopole tower classified as a Telecommunication Tower use.

II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of the telecommunication tower use shall take place in general accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

1. The development shall be enclosed by an 8' tall CMU wall on top of a retaining wall.
2. A 5' landscaping strip with flowering trees shall be required along the southern border of the enclosed development.
3. The zoning exhibit (Exhibit C) shall serve as the Site Plan for the Telecommunication Tower development. Approval of the SUP shall act as site plan approval.



Wylie City Council

AGENDA REPORT

Department: Planning

Prepared By: Jasen Haskins

Account Code: _____

Subject

Hold a Public Hearing, consider, and act upon, the writing of an ordinance for a change in zoning from Agricultural (AG/30) to a Planned Development with single family attached, single family detached, commercial development and open space on 25.037 acres. Property located near 605 Country Club Road (ZC 2023-18).

Recommendation

Motion to approve the Item as presented.

Discussion

OWNER: Scott Residential

APPLICANT: Dr. Abdul Lateef Khan

The applicant is requesting a change in zoning from Agricultural (AG/30) on 25.037 acres to allow for a Planned Development (PD) with 14.5 acres of land to be developed for single family detached homes, four acres developed for townhomes, 2.7 acres developed for commercial development, and 3.8 acres reserved for open space. The property is generally located near 605 Country Club Road.

A previous 2023 zoning request was denied with nearby citizens and the City Council expressing several concerns. The applicant has attempted to address those concerns, including:

- All single-family homes will be built to current zoning ordinance architectural standards, including roof slope and facade design.
- The street connection from Washington Place to the Presidential Estates subdivision shall be used only for emergency access.
- The zoning exhibit has been modified to contain less commercial development in lieu of additional single-family development that borders the subdivision of Presidential Estates.
- The townhome lots have a front setback of 5' for a brownstone style neighborhood with rear entry vehicular access through a 24' wide alley which will also serve as a fire lane.
- A Traffic Impact Analysis has been added as a requirement of development.

The single-family portion of the development contains 50 residential lots. The townhome portion contains 32 residential lots. The commercial portion allows for the potential development of 23,800 sq. ft. of commercial space.

The 3.8 acres of open space shall be owned and maintained by the HomeOwners Association and provides the potential for court type sports, a playground, and open space areas. The open space shall be required to be screened from FM 1378 by an 8' tall wrought iron fence with brick columns.

The Planned Development prohibits the following uses within the commercial development:

- sexually oriented business, equipment rental, automobile rental, automobile repair minor, car wash, vehicle display, sales or service, smoke shop, smoking establishments, any and all uses listed under sections 5.2.H and 5.2.I of the Zoning Ordinance (adopted as of June 2023).

If zoning is approved, a site plan review shall be required for the commercial development. Preliminary and Final Plats shall be required for the entire development.

The property to the north is developed with the Presidential Estates single family subdivision. The property to the south is developed with Fire Station #2. The property to the west is developed as a farm and ranch style single-family home. The property to the east is developed with commercial uses and a bus parking area for the Wylie School district. The subject property lies within the Local Commercial and Low-Density Residential sectors of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

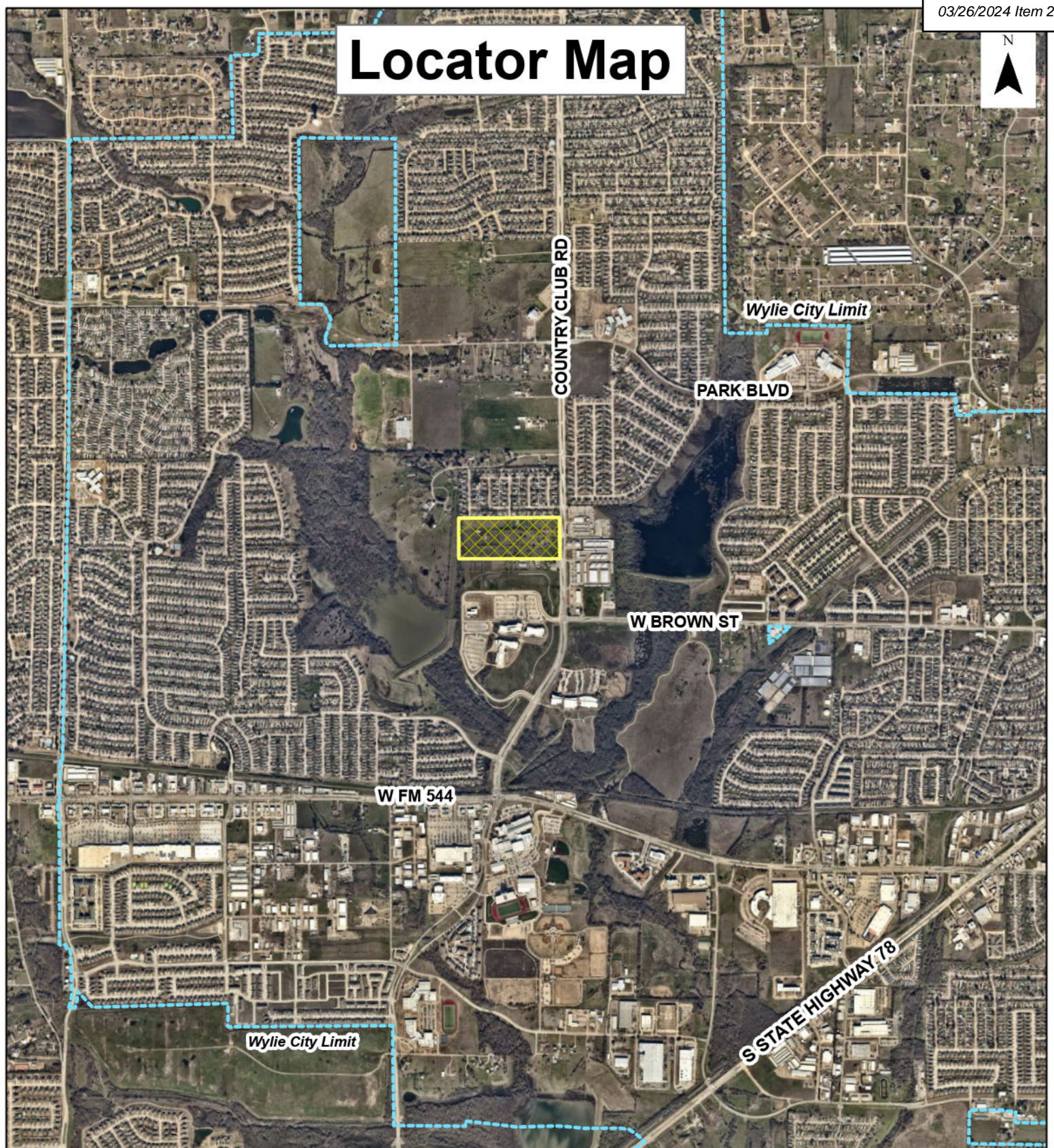
Country Club Road is categorized as a Type B roadway and is listed as a major thoroughfare within the Thoroughfare Plan, being the highest street capacity the City maintains. Based on the most recent traffic counts, Country Club is well under capacity. The Comprehensive Plan shows the North Central Texas Council of Government (NCTCOG) performance measurement for Level-of-Service for the section of Country Club Road adjacent to the subject property being in the “A,” “B” and “C” category, defined as traffic flow that moves at or above the posted speed limit. Travel time in this category is not hindered because of congestion because traffic volumes are much less than the actual capacity, with few exceptions at limited times of the day.

Notices were sent to 41 property owners within 200 feet as required by state law. At the time of posting, five responses were received in opposition within the notification area and none in favor of the request. Nineteen additional comment forms were received outside of the notification area. One was in favor and eighteen were in opposition of the request.

P&Z Recommendation

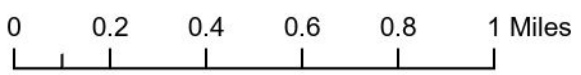
After some discussion and public comments regarding increased traffic, the need, or not, of the commercial space, and an explanation of how planned development conditions give authority to the City, the Commission voted 4-2 to recommend approval. The dissenting Commissioners both mentioned that they were in favor of more commercial along the frontage.

Locator Map



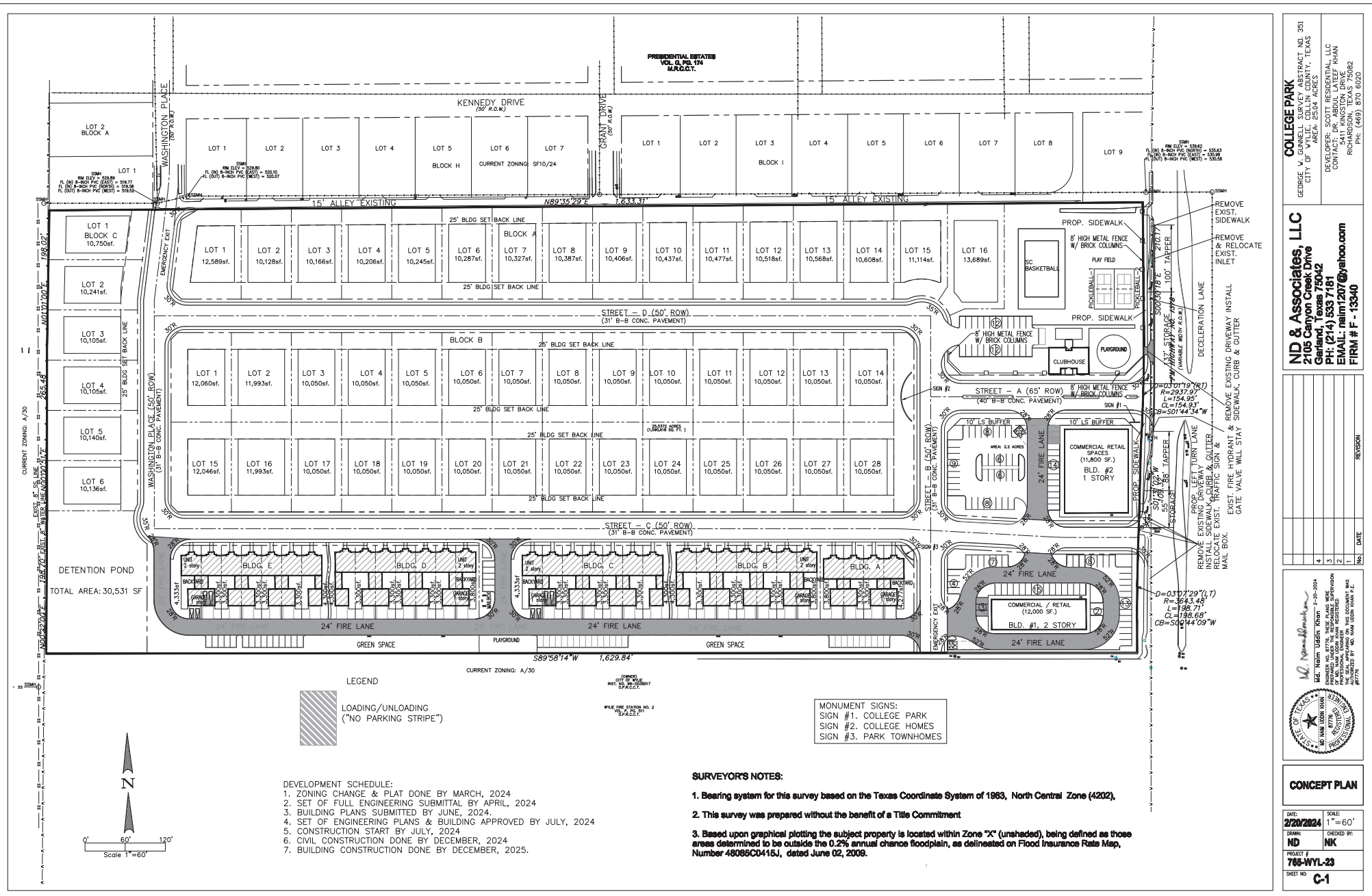
ZONING CASE:
ZC 2023-18

 SUBJECT property



Date: 2/8/2024





COLLEGE PARK

GEORGE W. GUNNELL SURVEY ABSTRACT NO. 351
CITY OF WASHINGTON, TEXAS
AREA 2534 ACRES

DEVELOPER: SCOTT RESIDENTIAL, LLC
CONTACT: DR. ABDUL LATEEF KHAN
SCOTT RESIDENTIAL, LLC
RICHARDSON, TEXAS 75082
PH: (469) 870 6020

ND & Associates, LLC
2105 Canyon Creek Drive
Dallas, Texas 75242
PH: (214) 833 7181
EMAIL: naim1207@yahoo.com
FIRM # F - 13340

NO.	DATE	REVISION
1		
2		
3		
4		



CONCEPT PLAN


DATE: 2/28/2024 SCALE: 1" = 60'

OWNER: ND & Associates, LLC

PROJECT: 788-WYL-23

SHEET NO: C-1

No.	DATE	REVISION
1		
2		
3		
4		

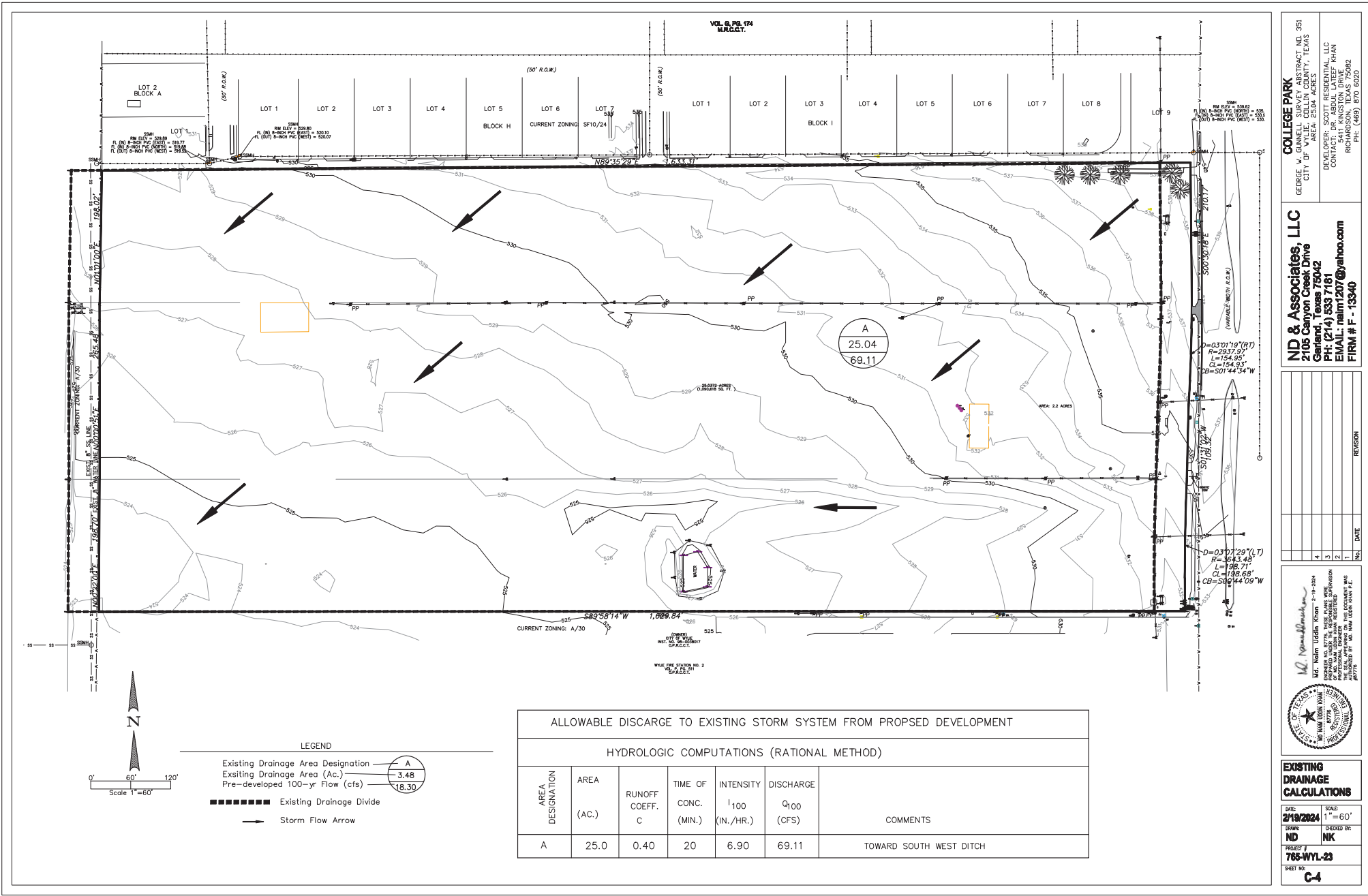


 Md. Naim Uddin Khan 2-19-2024
 ENGINEER NO. 87776. THESE PLANS WERE SUPERVISED BY ME.
 MD. NAIM UDDIN KHAN REGISTERED PROFESSIONAL ENGINEER
 THE SEAL APPEARING ON THIS DOCUMENT WAS ISSUED BY ME. NAIM UDDIN KHAN P.E. #87776

PRELIMINARY UTILITY PLAN

DATE: 2/19/2024	SCALE: 1"=60'
DRAWN: ND	CHECKED BY: NK
PROJECT # 705-WYL-23	
SHEET NO: C-3	





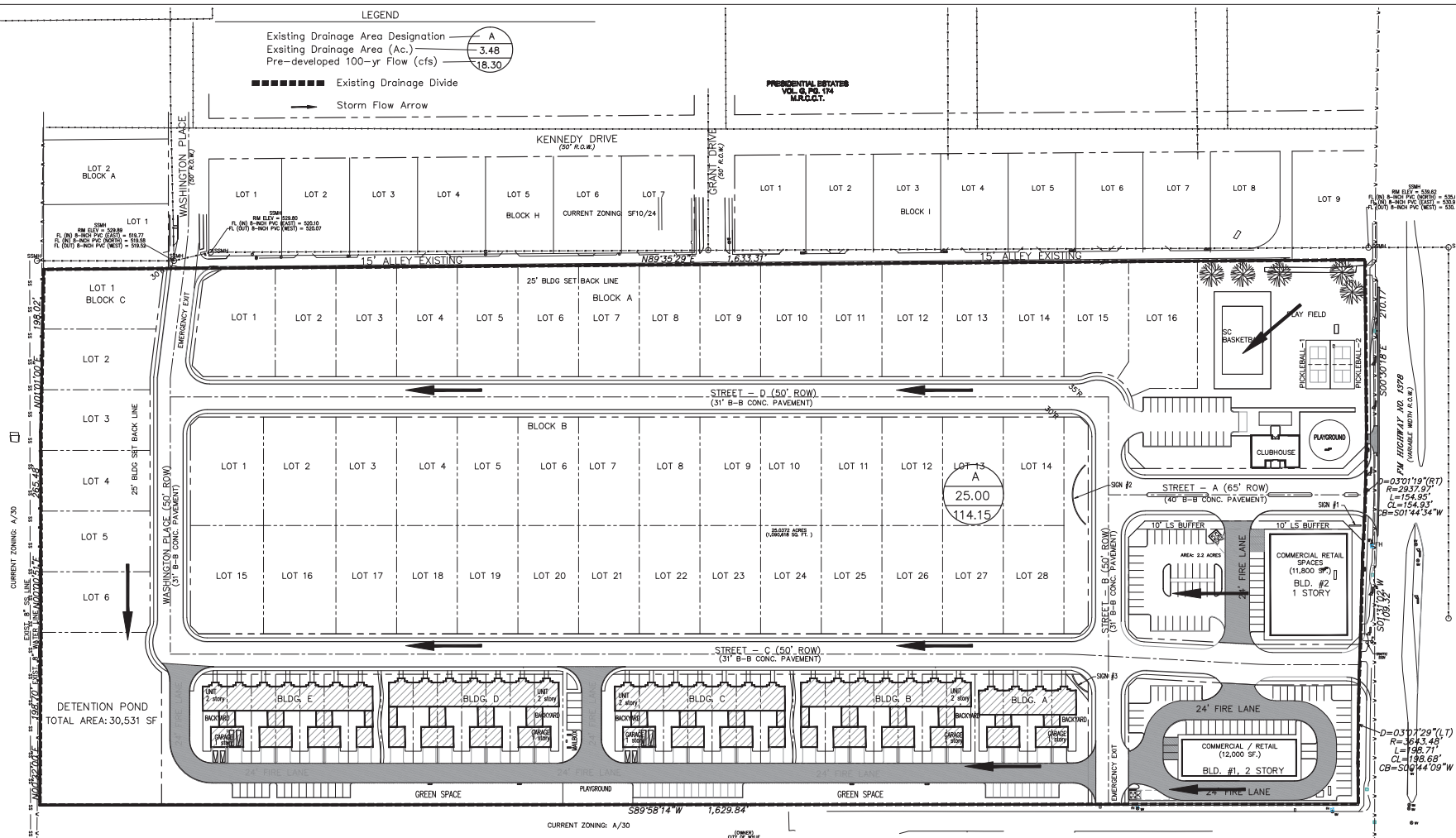
COLLEGE PARK
GEORGE V. GUNNELL SURVEY ABSTRACT NO. 351
CITY OF WYLLIE, COLLIN COUNTY, TEXAS
AREA 23.04 ACRES

ND & Associates, LLC
2105 Canyon Creek Drive
Garland, Texas 75042
PH: (214) 533 7181
EMAIL: naim1207@yahoo.com
FIRM # F - 13340

NO.	DATE	REVISION
1		
2		
3		
4		

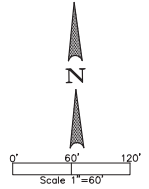
Mr. Naim Usdin Khan, P.E. 2-19-2024
Professional Engineer
State of Texas
No. 6779
Expiring 12/31/2026
Authorized by Mr. Naim Usdin Khan, P.E.
P. 0779

EXISTING DRAINAGE CALCULATIONS
DATE: 2/19/2024 SCALE: 1"=60'
DRAWN BY: ND
CHECKED BY: NK
PROJECT # 765-WYL-23
SHEET NO. C-4



COMPOSITE "C" CALCULATIONS
 TOTAL AREA: 25.00 AC
 TOTAL SINGLE FAMILY = 14.5 ACRES
 TOTAL TOWN HOMES = 4.0 ACRES
 TOTAL COMMERCIAL = 2.7 ACRES
 COMMON AREA = 3.80 ACRES

COMPOSITE "C" = $\frac{A1 \cdot C1 + A2 \cdot C2 + A3 \cdot C3 + A4 \cdot C4}{A1 + A2 + A3 + A4}$
 COMPOSITE "C" = $\frac{14.5 \cdot 0.50 + 4.0 \cdot 0.80 + 2.7 \cdot 0.90 + 3.80 \cdot 0.40}{25.00} = 0.58$



POST-DEVELOPMENT FLOW CALCULATIONS						
HYDROLOGIC COMPUTATIONS (RATIONAL METHOD)						
AREA DESIGNATION	AREA (AC.)	RUNOFF COEFF. C	TIME OF CONC. (MIN.)	INTENSITY I_{100} (IN./HR.)	DISCHARGE Q_{100} (CFS)	COMMENTS
A	25.0	0.58	15	7.86	114.15	TOWARDS DETENTION POND

COLLEGE PARK
 GEORGE V. GUNNELL SURVEY ABSTRACT NO. 351
 CITY OF WILSON, WILSON COUNTY, TEXAS
 DEVELOPER: SCOTT RESIDENTIAL, LLC
 CONTACT: DR. ABDUL LATIF KHAN
 5411 KINGSTON DRIVE
 RICHMOND, TEXAS 77402
 PH: (409) 870 6020

ND & Associates, LLC
 2105 Canyon Creek Drive
 Garland, Texas 75042
 PH: (214) 533 7181
 EMAIL: naim1207@yahoo.com
 FIRM # F - 13340

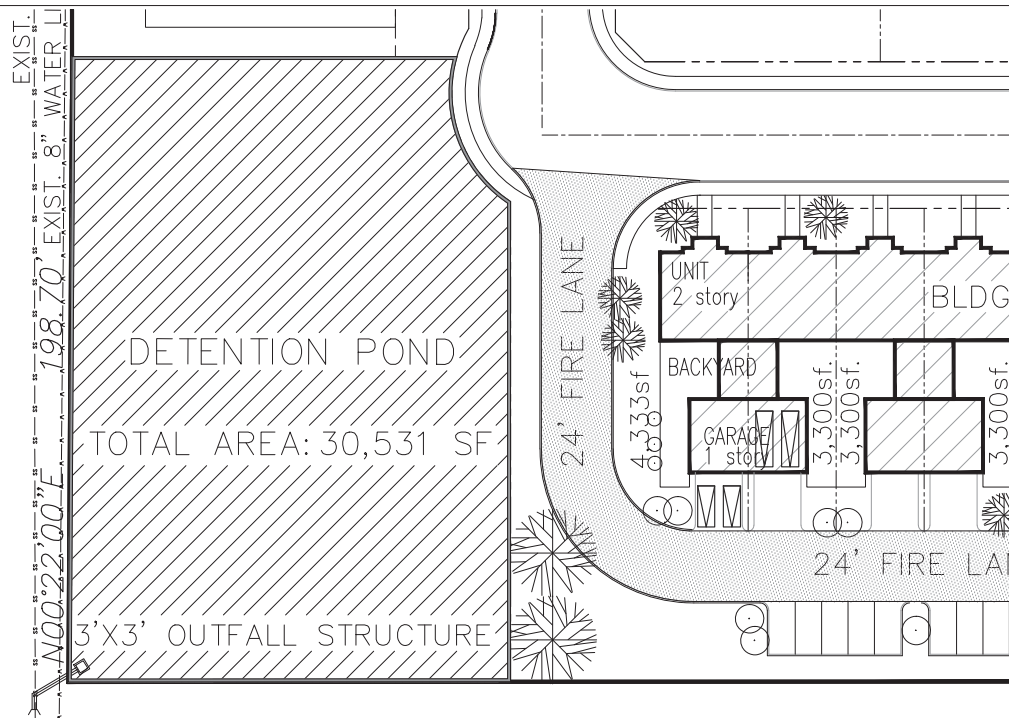
NO.	DATE	REVISION
1		
2		
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4		
5		
6		
7		

ND & Associates, LLC
 2105 Canyon Creek Drive
 Garland, Texas 75042
 PH: (214) 533 7181
 EMAIL: naim1207@yahoo.com
 FIRM # F - 13340

STATE OF TEXAS
 LAND SURVEYING
 NO. 11111
 EXPIRATION DATE 12/31/2024
 NAIM LATIF KHAN
 REGISTERED PROFESSIONAL LAND SURVEYOR
 I HEREBY CERTIFY THAT THE INFORMATION CONTAINED IN THIS DOCUMENT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED LAND SURVEYOR IN THE STATE OF TEXAS.

PROP. DRAINAGE AREA MAP & CALCULATIONS

DATE: 2/17/2024
 SCALE: 1" = 60'
 DRAWN BY: ND
 CHECKED BY: NK
 PROJECT: 785-WYL-23
 SHEET NO: C-5



DETENTION POND CALCULATIONS

1. RAINFALL INTENSITY CALCULATIONS

	100-year	25-year	10-year	5-year
e	0.7370	0.7588	0.7739	0.7890
b	86.7090	76.0690	68.9510	64.2590
d	11.0000	11.0000	11.0000	11.0000

2. Determine Allowable Discharge From the Proposed Development

Pre-Developed Flow	5-yr	10-yr	25-yr	100-yr
A	25.00	25.00	25.00	25.00
C	0.4	0.4	0.4	0.4
Tc	20	20	20	20
I	4.28	4.84	5.62	6.90
Q (cfs)	42.80	48.40	56.20	69.01

4. DETENTION POND NOTES:

- THE POND MIGHT BE ENGINEERED DETENTION POND WITH RETAINING WALL ON ALL SIDES.
- TOTAL DEPTH OF POND WILL BE 3.10' WHICH INCLUDES 1' FREEBOARD FOR 100-YR RAINFALL EVENT.
- MULTI-STAGED OUTFALL STRUCTURE WILL BE DESIGNED TO RELEASE 100-YR, 25-YR, 10-YR AND 5-YR RAINFALL.
- FLOW SPRADER WILL BE BUILT AT OUTFALL TO MAKE THE CONCENTRATED FLOW TO SHEET FLOW.
- DETENTION POND AREA WILL BE DEDICATED AS A DRAINAGE EASEMENT
- POND WALL WILL BE 1' WIDE ON THE TOP AND 2' INSIDE THE EASEMENT.
- RAMP WILL BE PROVIDE AT MAX 6:1 SLOPE FOR MAINTENANCE VEHICLE
- POND WILL BE MAINTAINED BY THE HOA.

3. Required Storage for 100-YR Storm Event With Maximum Release Rate for 100-YR Storm Event

a. 100-yr Storm Event (Maximum Release Rate: 69.01 cfs)							
100-yr	Duration	I-100yr	C	Area	Pick Flow	Inflow	Outflow
	min.	in/hr		Acres	cfs	cu.ft.	cu.ft.
	10	9.20	0.58	25.00	133.33	79998	41405
	15	7.86	0.58	25.00	113.91	102521	51756
	20	6.90	0.58	25.00	100.06	120074	62107
	30	5.62	0.58	25.00	81.43	146572	82810
	40	4.78	0.58	25.00	69.33	166391	103512
	50	4.19	0.58	25.00	60.76	182276	124215
	60	3.75	0.58	25.00	54.33	195578	144917
	70	3.40	0.58	25.00	49.30	207057	165620
	80	3.12	0.58	25.00	45.25	217180	186322
	90	2.89	0.58	25.00	41.90	226256	207025
	100	2.70	0.58	25.00	39.08	234498	227727
	110	2.53	0.58	25.00	36.68	242059	248430

c. 10-yr Storm Event (Maximum Release Rate: 48.40 cfs)

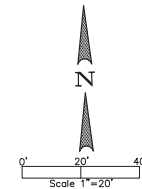
10-yr	Duration	I-5yr	C	Area	Pick Flow	Inflow	Outflow	Storage
	min.	in/hr		Acres	cfs	cu.ft.	cu.ft.	cu.ft.
	10	6.54	0.58	25.00	94.78	56865	29040	27,825
	15	5.54	0.58	25.00	80.34	72304	36300	36,004
	20	4.84	0.58	25.00	70.11	84137	43560	40,577
	30	3.89	0.58	25.00	56.47	101651	58080	43,571
	40	3.29	0.58	25.00	47.70	114472	72600	41,872
	50	2.86	0.58	25.00	41.53	124576	87120	37,456
	60	2.55	0.58	25.00	36.92	132922	101640	31,282
	70	2.30	0.58	25.00	33.34	140042	116160	23,882
	80	2.10	0.58	25.00	30.47	146260	130680	15,580
	90	1.94	0.58	25.00	28.11	151788	145200	6,588
	100	1.80	0.58	25.00	26.13	156771	159720	-2,949
	110	1.69	0.58	25.00	24.44	161313	174240	-12,927

b. 25-yr Storm Event (Maximum Release Rate: 56.20 cfs)

25-yr	Duration	I-5yr	C	Area	Pick Flow	Inflow	Outflow	Storage
	min.	in/hr		Acres	cfs	cu.ft.	cu.ft.	cu.ft.
	10	7.55	0.58	25.00	109.48	65689	33720	31,969
	15	6.42	0.58	25.00	93.10	83793	42150	41,643
	20	5.62	0.58	25.00	81.47	97766	50580	47,186
	30	4.54	0.58	25.00	65.90	118617	67440	51,177
	40	3.85	0.58	25.00	55.84	134020	84300	49,720
	50	3.36	0.58	25.00	48.75	146244	101160	45,084
	60	3.00	0.58	25.00	43.44	156400	118020	38,380
	70	2.71	0.58	25.00	39.31	165106	134880	30,226
	80	2.48	0.58	25.00	35.99	172741	151740	21,001
	90	2.29	0.58	25.00	33.25	179552	168600	10,952
	100	2.13	0.58	25.00	30.95	185711	185460	251
	110	2.00	0.58	25.00	28.99	191340	202320	-10,980

d. 5-yr Storm Event (Maximum Release Rate: 42.80 cfs)

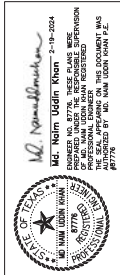
5-yr	Duration	I-5yr	C	Area	Pick Flow	Inflow	Outflow	Storage
	min.	in/hr		Acres	cfs	cu.ft.	cu.ft.	cu.ft.
	10	5.82	0.58	25.00	84.34	50607	25680	24,927
	15	4.91	0.58	25.00	71.26	64138	32100	32,038
	20	4.28	0.58	25.00	62.03	74436	38520	35,916
	30	3.43	0.58	25.00	49.75	89551	51360	38,191
	40	2.89	0.58	25.00	41.88	100513	64200	36,313
	50	2.51	0.58	25.00	36.36	109089	77040	32,049
	60	2.22	0.58	25.00	32.26	116130	89880	26,250
	70	2.01	0.58	25.00	29.07	122106	102720	19,386
	80	1.83	0.58	25.00	26.52	127303	115580	11,743
	90	1.68	0.58	25.00	24.43	131906	128400	3,506
	100	1.56	0.58	25.00	22.67	136042	141240	-5,198
	110	1.46	0.58	25.00	21.18	139800	154080	-14,280



COLLEGE PARK
 GEORGE W. GUNNELL SURVEY ABSTRACT NO. 351
 CITY OF WYLLIE, COLLIN COUNTY, TEXAS
 DEVELOPER: COLLEGE PARK, TEXAS
 CONTACT: DR. ABUL LALEF KHAN
 5411 KINGSTON DRIVE
 RICHARDSON, TEXAS 75082
 PH: (409) 876 0220

ND & Associates, LLC
 2105 Canyon Creek Drive
 Garland, Texas 75042
 PH: (214) 533 7181
 EMAIL: naim1207@yahoo.com
 FIRM # - 13340

NO.	DATE	REVISION
1		
2		
3		
4		



DETENTION POND PLAN & CALCULATIONS

DATE:	2/10/2024	SCALE:	1"=20'
DRAWN:	ND	CHECKED BY:	NK
PROJECT:	705-WYL-23		
SHEET NO:	C-6		

PLANNED DEVELOPMENT STANDARDS

EXHIBIT “C”

COLLEGE PARK

PURPOSE

College Park is a sustainable neighborhood with the intent to promote a gradual transition of single family detached residential living with a higher density townhouse community. The neighborhood is accompanied by open spaced amenities and a commercial retail component.

GENERAL CONDITIONS

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. A traffic Impact Analysis (TIA) shall be completed and accepted by the City prior to the final approval of a preliminary plat.
3. In order to promote concurrence of development the following shall be required:
 - a. A preliminary plat for the entire site shall be submitted as one subdivision.
 - b. A minimum of 10,000 square feet of commercial space on one lot, along with all customary infrastructure requirements shall be completed and receive approval by the City, through a shell building certificate of occupancy, prior to the final inspection of any single family residence, except up to three model homes.
 - c. A minimum of 20,000 square feet of commercial space on two separate lots, along with all customary infrastructure requirements shall be completed and receive approval by the City, through a shell building certificate of occupancy, prior to the 40th single family residence final inspection.

SINGLE FAMILY DETACHED RESIDENTIAL

II. GENERAL CONDITIONS:

1. All regulations of the Single Family 10/24 set forth in Article 3, Section 3.2 of the Comprehensive Zoning Ordinance (adopted as of June 2023) shall apply except as specifically provided herein.
2. The development shall be in general conformance with Exhibit “B” (Zoning Exhibit).

A. SPECIAL CONDITIONS:

1. Maximum number of residential detached lots shall not exceed 50 lots.
2. Alleys shall not be required within the Single Family Detached tract of the Planned Development.
3. All homes within the community shall have front entry garages.
4. J-swing garage entries shall not be required.

5. The second point of vehicular access into the development shall be located off the existing street of Washington Place to the north and shall be gate restricted for emergency access only.
6. A Homeowner's Association (HOA) shall be established that will be responsible for maintenance of all screening, HOA open space lots, HOA common areas, and landscaping within HOA areas.
 - a. A 8' high metal fence with brick columns shall be required for the community park.

TOWNHOUSE RESIDENTIAL

III. GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Townhouse District set forth in Article 3, Section 3.3 of the Comprehensive Zoning Ordinance (adopted as of June 2023) shall apply except as specifically provided herein.
3. The development shall be in general conformance with Exhibit "B" (Zoning Exhibit).

A. SPECIAL CONDITIONS:

1. Maximum number of townhouse lots shall not exceed 32 lots.
2. The Townhouse units shall have a front setback of 5' and shall provide rear entry vehicular access through a 24' wide alley which will also be used as a fire lane.
3. A Homeowner's Association (HOA) shall be established that will be responsible for maintenance of all HOA open space lots, HOA common areas, and landscaping within HOA areas.

COMMERCIAL

IV. GENERAL CONDITIONS:

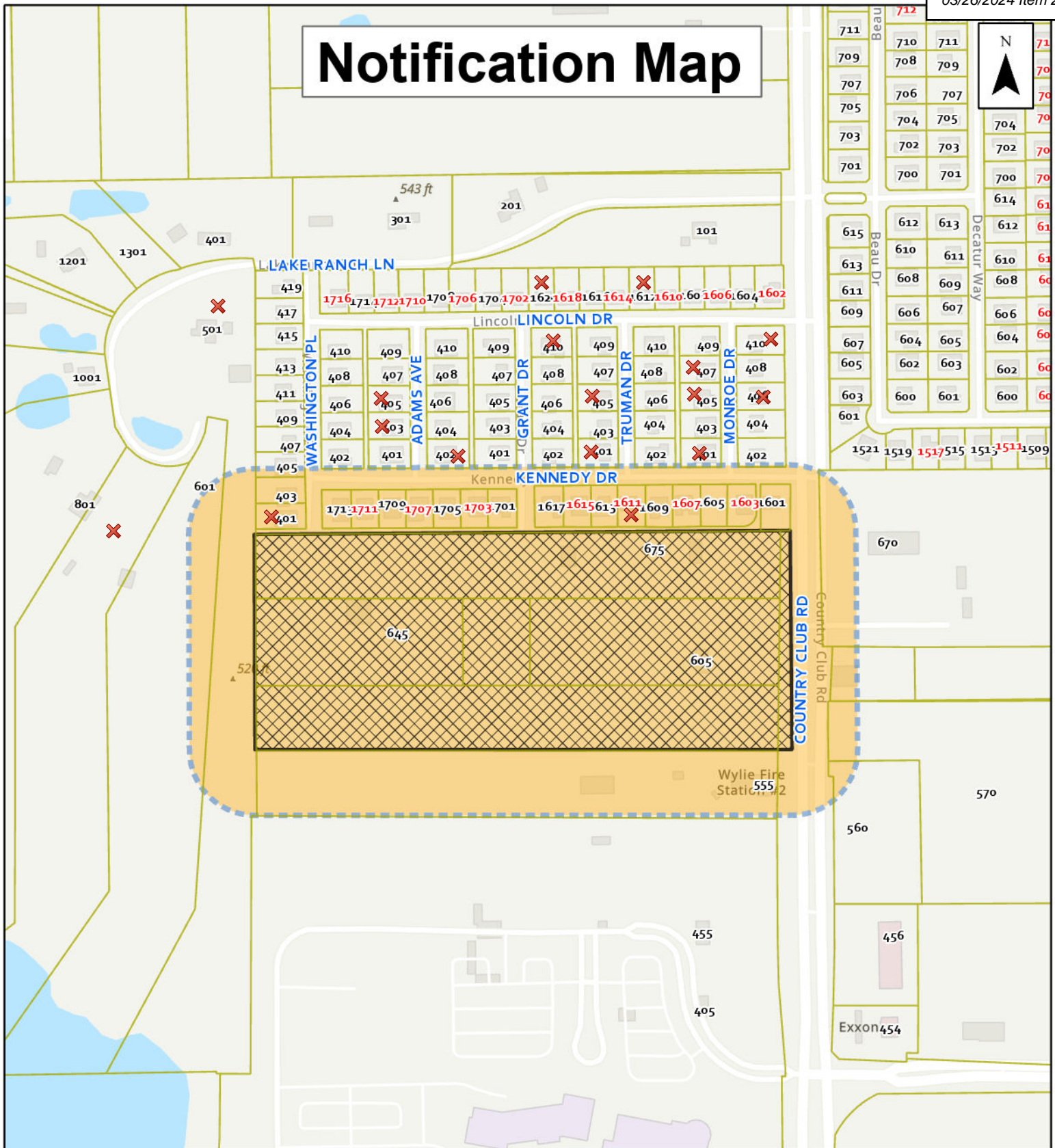
1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. All regulations of the Commercial Corridor District set forth in Article 4, Section 4.1.C of the Comprehensive Zoning Ordinance (adopted as of June 2023) shall apply except as specifically provided herein.
3. The development shall be in general conformance with Exhibit "B" (Zoning Exhibit).

A. SPECIAL CONDITIONS:

1. The following uses as defined in the June 2023 Comprehensive Zoning Ordinance shall be prohibited:

- a. Sexually Oriented Business
- b. Equipment Rental
- c. Automobile Rental
- d. Automobile Repair Minor
- e. Car Wash
- f. Vehicle Display, Sales or Service
- g. Smoke Shop
- h. Smoking Establishments
- i. Any and all uses listed under Sections 5.2.H and 5.2.I of the Zoning Ordinance (adopted as of June 2023)

Notification Map



ZONING CASE:
ZC 2023-18

 SUBJECT property  200 foot Notification Buffer

0 100 200 300 400 500 600 700 800 900 1,000 Feet



Date: 2/8/2024





Public Comment Form

First Name *

Shaun

Middle Name

Last Name *

Keefer

Address *

Street Address

1611 KENNEDY DR.

Address Line 2

City

WYLIE

State / Province / Region

Texas

Postal / Zip Code

75098-7103

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

So many reasons to be against this. Increased traffic through our neighborhood via Adams/Kennedy Dr.. A 6ft wall up against our alley on Kennedy will make it difficult to get in the driveway especially on trash day. Increased crime with retail and townhomes. Houses looked like they belong in a gentrified neighborhood and don't fit the Wylie look. Houses packed together like sardines. The houses will be overlooking our 8ft privacy fence.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/19/2024



Public Comment Form

First Name *

Robert

Middle Name

E

Last Name *

Thompson

Address *

Street Address

807 Carlton Rd

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/23/2024



Public Comment Form

First Name *

Michelle

Middle Name

Last Name *

Subia

Address *

Street Address

709 Overton Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Too much traffic. Not enough space in schools as it is to house more students

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/19/2024



Public Comment Form

First Name *

Gabriel

Middle Name

Last Name *

Subia

Address *

Street Address

709 Overton Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/19/2024



Public Comment Form

First Name *

marc

Middle Name

Last Name *

Pieroni

Address *

Street Address

701 lake ranch rd

Address Line 2

City

wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/19/2024



Public Comment Form

First Name *

Stephanie

Middle Name

J

Last Name *

Johnson

Address *

Street Address

503 Woodhollow Drive

Address Line 2

City

WYLIE

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Stephanie Johnson

Date of Signature

2/19/2024



Public Comment Form

First Name *

Mark

Middle Name

A

Last Name *

Johnson

Address *

Street Address

503 Woodhollow Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Mark Johnson

Date of Signature

2/19/2024



Public Comment Form

First Name *

marc

Middle Name

Last Name *

Pieroni

Address *

Street Address

501 lake ranch rd

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Marc Pieroni

Date of Signature

2/19/2024



Public Comment Form

First Name *

Lindsay

Middle Name

Last Name *

Davis

Address *

Street Address

406 Monroe Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Do not want multi-family dwellings and increased traffic next to my home.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/23/2024



Public Comment Form

First Name *

Ronald

Middle Name

Last Name *

Ward

Address *

Street Address

406 Monroe Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

It will lessen property values and increase traffic. No thank you.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/23/2024



Public Comment Form

First Name *

Rhoda

Middle Name

Last Name *

Ostertag

Address *

Street Address

405 Washington Pl

Address Line 2

405 Washington PL

City

Wylie

State / Province / Region

Texas

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

More traffic, and who will buy these condo/homes? Kids for the college? If so thats inviting trouble to Wylie. We do not even have enough teachers for the kids that live in Wylie now so why add more families!

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/15/2024



Public Comment Form

First Name *

Aaron

Middle Name

Last Name *

Gallagher

Address *

Street Address

405 Monroe Dr.

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

For the second time, no. Absolutely not.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A handwritten signature in black ink, appearing to read 'AAG', on a light gray rectangular background.

Date of Signature

2/19/2024



Public Comment Form

First Name *

Eunice

Middle Name

Last Name *

Navarro-Garcia

Address *

Street Address

405 Adams Ave

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Too many homes in very little space will be adding to traffic congestion as well as noise and crime rates with so many people crammed into that area. We want to maintain the quiet, peaceful environment we currently have.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/25/2024



Public Comment Form

First Name *

Melia

Middle Name

Last Name *

Abreo

Address *

Street Address

403 Adams Ave

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

This is a concern due to increased traffic, safety of neighborhood, and school capacity.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/20/2024



Public Comment Form

First Name *

Viktoria

Middle Name

Reindl

Last Name *

Bray

Address *

Street Address

402 Adams Ave.

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/23/2024



Public Comment Form

First Name *

Gary

Middle Name

Herman

Last Name *

Trentelman

Address *

Street Address

401 Washington PL

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Gary Trentelman

Date of Signature

2/15/2024



Public Comment Form

First Name *

Barbara

Middle Name

H

Last Name *

Curtis

Address *

Street Address

401 Monroe Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

We don't need the additional traffic in Presidential Estates.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/22/2024



Public Comment Form

First Name *

Steven

Middle Name

D

Last Name *

Curtis

Address *

Street Address

401 Monroe Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

We do not need the additional traffic in Presidential Estates.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

2/22/2024



Public Comment Form

First Name *

Salman Ali Danish

Middle Name

Last Name *

Mohammed

Address *

Street Address

3102 Grandview Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☒ I am FOR the requested zoning as explained on the public notice
- ☐ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/1/2024



Public Comment Form

First Name *

Christopher

Middle Name

Grant

Last Name *

Harwell

Address *

Street Address

401 Truman Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

There is way way too much congestive traffic for that area and adding anymore traffic would be detrimental to the citizens of Wylie. We cannot get our streets fixed for the disrepair that theyvare in now..The area needs to be zoned for wildlife. The noise would be horrible to the citizens in that area for the next 3 or more years. It's just a terrible idea any way you look at it. We've looked at this before and nothing has changed, please do not let this requested zoning change be approved. Thank you for your attention to this matter.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/4/2024



Public Comment Form

First Name *

Samantha

Middle Name

Last Name *

Kaye

Address *

Street Address

1612 Lincoln Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/2/2024



Public Comment Form

First Name *

Christopher

Middle Name

Anthony

Last Name *

McGee

Address *

Street Address

410 Grant Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/2/2024



Public Comment Form

First Name *

Jill

Middle Name

Last Name *

Voorhees

Address *

Street Address

1620 Lincoln Dr

Address Line 2

1620 Lincoln Dr

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I say yes to more homes but no to town homes. Townhomes would cheapen the look of country club. It is across the street from city hall and would be the first thing people see heading down country club. Please residential homes only.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/2/2024



Public Comment Form

First Name *

Alex

Middle Name

Last Name *

Grover

Address *

Street Address

1411 Talladega Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/2/2024



Public Comment Form

First Name *

Gary

Middle Name

G

Last Name *

Light

Address *

Street Address

405 Truman Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I have lived in Presidential Estates for 32 years. This has always been a safe place where children can play, and families can feel safe walking their dogs. In my opinion this project would decrease our ability to maintain our safe neighborhood.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/5/2024



Public Comment Form

First Name *

Kenneth

Middle Name

Last Name *

Nickell

Address *

Street Address

3502 Lombardy Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

We do NOT need more multi family development. Our traffic and roads are bad enough, as well as the load on our schools.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/5/2024



Public Comment Form

First Name *

Robin

Middle Name

Renee

Last Name *

Morris

Address *

Street Address

407 Monroe Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

What has changed since he last submitted this plan. We already have to much traffic and theft has increased in the area. We use to have land NOW we have nothing but concrete city here.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

3/5/2024



Public Comment Form

First Name *

Michael

Middle Name

Last Name *

Vincze

Address *

Street Address

410 Monroe Drive

Address Line 2

City

Wylie

State / Province / Region

Texas

Postal / Zip Code

75098

Case # *

ZC2023-18 645 & 675 FM 1378 and 605 Country Club Rd.

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

There's enough housing in Wylie already. No need to put a burden on our water supplies and roads. Expanding without increasing resources is never acceptable.

Thank you.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Michael Vincze

Date of Signature

3/12/2024



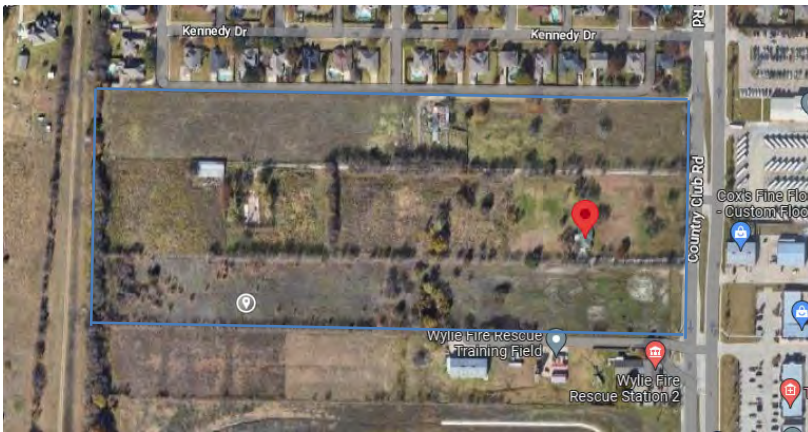
COLLEGE PARK

DEVELOPMENT PROPOSAL

SCOTT RESIDENTIAL, LLC

Land Area:

TOTAL LAND: 25.0 AC.



605 Country Club Rd.
Wylie, Tx 75098

LAND USED:

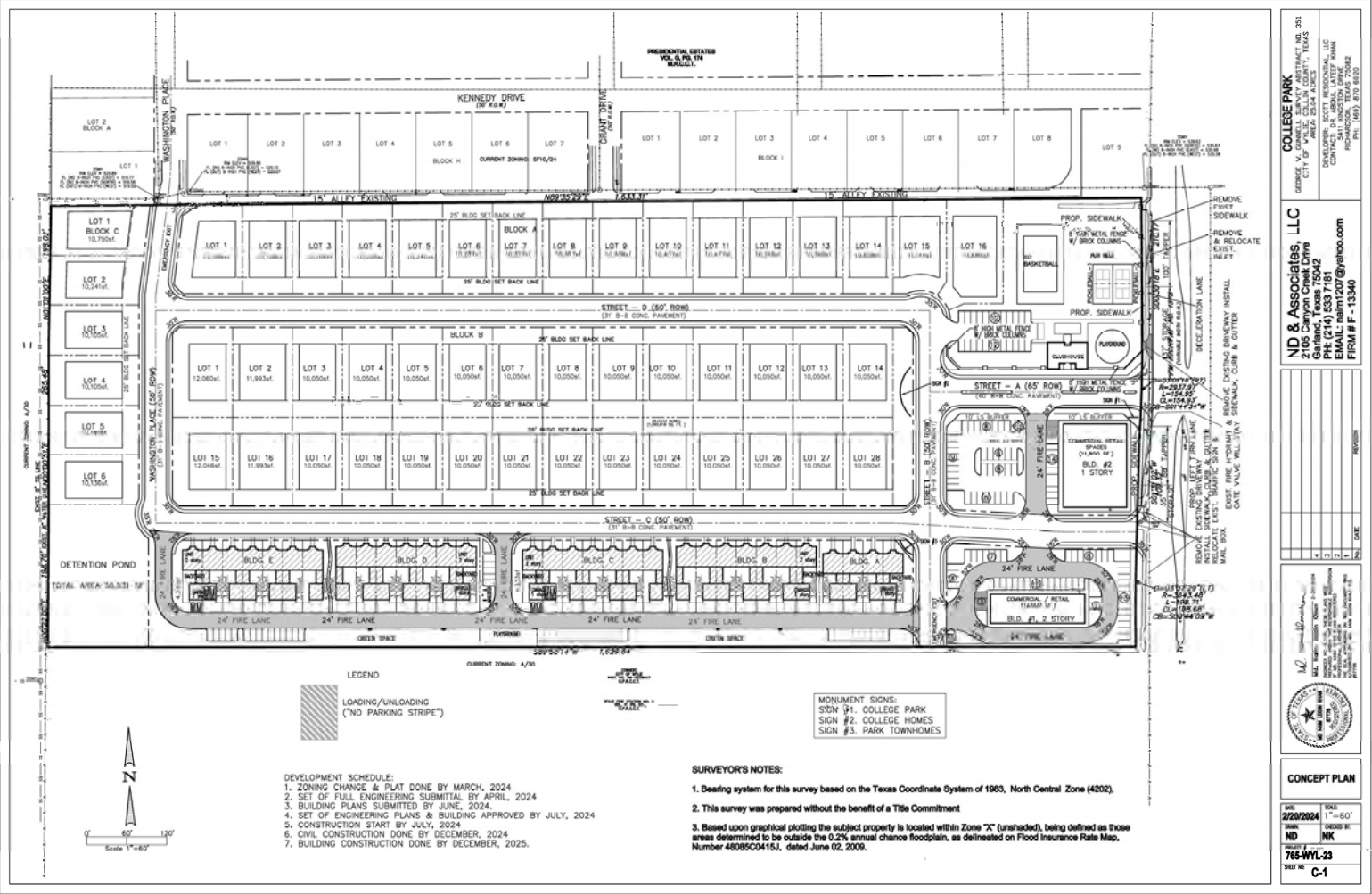
SINGLE FAMILY HOMES AREA: 14.5 AC.

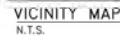
TOWNHOMES AREA: 4.0 AC.

COMMERCIAL LAND AREA: 2.7 AC.

COMMON AREAS: 3.8 AC.

Concept
Plan:





SITE DATA TABLE

	SF - 10/24 (SINGLE FAMILY)	TH (TOWNHOME)	COMMUNITY (COMMERCIAL)	COMMON AREAS
TOTAL LAND AREA	14.5 ACRES	4.0 ACRES	2.7 ACRES	3.6 ACRES
TOTAL HOUSES	50	32	23,800 SF. BLDG.	
MIN. LOT AREA	10,000 SF.	3,300 SF.		
MIN. LOT WIDTH	75 FEET	30 FEET		
MIN. LOT DEPTH	100 FEET	110 FEET		
MAX. LOT COVERAGE	45%	60%		
MIN. DWELLING SIZE	2,400 SF.	1,200 SF.		
FRONT YARD	25 FEET MIN.	5 FEET MIN.		
SIDE YARD	10 FEET MIN.	0 FEET MIN.		
REAR YARD	25 FEET MIN.	20 FEET MIN.		
BUILDING HEIGHT	40 FEET	40 FEET	50 FEET	
2 CAR GARAGE AREA	500 SF.	500 SF.		

CONCLUSIONS

ND & ASSOCIATES, LLC
CONTACT: NAIM KHAN, P.E. CFM
603 CHERRY TREE LANE
WYLIE, TEXAS 75090
PH. 214 533 7181
E-MAIL: naim1207@yahoo.com

SITE DATA

103

Site Plan:



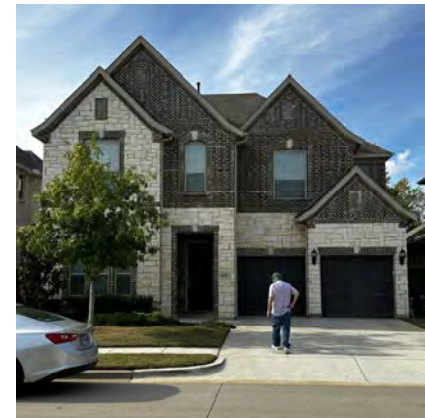
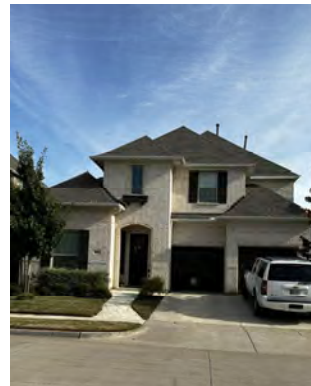
Commercial / Retails Birds Eye View:



Clubhouse:



Single Family Homes Example:





Wylie City Council

AGENDA REPORT

Department: City Manager
Prepared By: City Manager

Account Code: _____

Subject

Consider, and act upon, Resolution No. 2024-13(R), approving a Chapter 380 Agreement between the City of Wylie and Ferah Foods III, LLC, and authorizing the City Manager to execute the Chapter 380 Agreement.

Recommendation

Motion to approve the Item as presented.

Discussion

As previously discussed in Executive Session, City Council authorized the City Manager and WEDC Director to draft an agreement in the amount of \$200,000. The Company obligations include the purchase of the property, construction of the improvements not less than \$850,000, receipt of a Certificate of Occupancy for the restaurant, and to remain open and continually operating one year from the CO Date. The City obligations include a grant up to \$200,000 upon completion of the Company obligations as outlined in the Chapter 380 Agreement.

RESOLUTION NO. 2024-13(R)

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS, HEREBY AUTHORIZING THE CITY MANAGER OF THE CITY OF WYLIE, TEXAS, TO EXECUTE A CHAPTER 380 AGREEMENT BY AND BETWEEN THE CITY OF WYLIE AND FERAH FOODS III, LLC.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WYLIE, TEXAS:

SECTION 1: The City Manager of the City of Wylie, Texas, is hereby authorized to execute, on behalf of the City Council of the City of Wylie, Texas, the Chapter 380 Agreement by and between the City of Wylie, Texas and Ferah Foods III, LLC.

SECTION 2: This Resolution shall take effect immediately upon its passage.

DULY PASSED AND APPROVED by the City Council of the City of Wylie, Texas, on this the 26th day of March, 2024.

Matthew Porter, Mayor

ATTEST TO:

Stephanie Storm, City Secretary

CHAPTER 380 AGREEMENT BY AND BETWEEN
THE CITY OF WYLIE, TEXAS AND
FERAH FOODS III, LLC

This **CHAPTER 380 AGREEMENT** (“Agreement”) is entered into by and between **Ferah Foods III, LLC**, a Texas Limited Liability Company (“Company”) dba Ferah Smokehouse and Cantina and the **CITY OF WYLIE, TEXAS**, a Texas home-rule municipality (“City”).

W I T N E S S E T H:

WHEREAS, the City Council of the City of Wylie, Texas (“City Council”) has investigated and determined that it is in the best interest of the City and its citizens to encourage programs, including programs for making loans and grants of public money to promote local economic development and stimulate business and commercial activity in the City pursuant to Chapter 380, Texas Local Government Code, as amended, (“Chapter 380”);

WHEREAS, Company has acquired the tract of property located at 950 S Westgate Way, Wylie, Collin County, Texas 75098, which property is more fully described and/or depicted on the attached **Exhibit “A”** (the “Property”);

WHEREAS, Company proposes to construct a restaurant containing approximately 3,485 square feet of space on the Property (the “Restaurant”) in accordance with the Plans hereinafter defined (the “Project”). The total construction costs and finish-out to complete the Project (the “Project Costs”), net of any costs related to acquiring the Property, shall be not less than Eight Hundred Fifty Thousand Dollars (\$850,000.00);

WHEREAS, upon completion of the Project, Company shall obtain a permanent Certificate of Occupancy from the City for the newly constructed Restaurant within six (6) months after the Effective Date of this Agreement (the “Performance Deadline”);

WHEREAS, Company shall have the right to extend the Performance Deadline one (1) time for a period of ninety (90) additional days by providing written notice thereof to City prior to the Performance Deadline;

WHEREAS, the City Council has investigated and determined that Company meets the criteria for providing the assistance described in this Agreement, pursuant to Chapter 380, since the project will promote local economic development and stimulate business and commercial activities in the City; and

WHEREAS, the City is willing to provide Company with economic assistance on the terms and subject to the conditions stated herein, and Company is willing to accept the same subject to all terms and conditions contained in this Agreement.

NOW, THEREFORE, in consideration of the covenants and conditions contained in this Agreement, the City and Company agree as follows:

1. Findings Incorporated. The findings set forth above are made a part of this Agreement as if set forth herein verbatim.

2. Company Obligations. Company shall comply with the following requirements (collectively, the “Company Obligations”):

a) Year One Company Obligations:

i. Company shall supply documentation to the City that the Company has purchased and taken title to the Property for a purchase price of at least Five Hundred Seventy-Five Thousand Dollars (\$575,000.00) on or before the Performance Deadline.

ii. Company shall complete the plans and specifications for the Project (the “Plans”) and submit them to the City for approval prior to commencement of construction on or before the Performance Deadline.

iii. Company shall commence construction of the Project on or before the Performance Deadline.

iv. Company shall complete construction of the Project in substantial accordance with the Plans and obtain from the City a permanent Certificate of Occupancy for the remodeled Restaurant on or before the Performance Deadline.

v. Company shall supply documentation to the City that the Project Costs, net of any costs related to acquiring the Property, was at least Eight Hundred Fifty Thousand Dollars (\$850,000.00) on or before the Performance Deadline.

vi. Company shall supply documentation to the City that the Company has paid when due all taxes assessed to the Company, including, but not limited to, those related to the Restaurant and/or the Project, on or before the Performance Deadline.

b) Year Two Company Obligations:

i. Company shall supply documentation to the City that the Restaurant has remained open and continually operating from the date the City issues a permanent Certificate of Occupancy for the Restaurant (the “CO Date”) through the one (1) year anniversary of the CO Date.

ii. Company shall supply documentation to the City that the Company has paid when due all taxes assessed to the Company, including, but not limited to, those related to the Restaurant and/or the Project, through the one (1) year anniversary of the CO Date.

3. City Obligations. Subject to the terms and conditions of this Agreement and provided Company is not in default of this Agreement, the City shall comply with the following (the “City Obligations”):

- a) Within thirty (30) days after City receives documentation confirming that Company has satisfied all of the Year One Company Obligations set forth in Section 2(a) above, the City shall pay to Company an amount equal to One Hundred Thousand Dollars (\$100,000.00).
- b) Within thirty (30) days after City receives documentation confirming that Company has satisfied all of the Year Two Company Obligations set forth in Section 2(b) above, the City shall pay to Company an amount equal to One Hundred Thousand Dollars (\$100,000.00).

4. Events of Default. Each of the following shall constitute an Event of Default under this Agreement:

- a) General Event of Default. Failure of the Company to comply with or to perform any term, obligation, covenant or condition contained in this Agreement, or failure of the Company to comply with or to perform any term, obligation, covenant or condition contained in any other agreement by and between the Company and the City is an Event of Default.
- b) False Statements. Any warranty, representation or statement made or furnished to the City by or on behalf of the Company under this Agreement that is false or misleading in any material respect, either now or at the time made or furnished, is an Event of Default.
- c) Insolvency; Tax Delinquency. The Company's failure to pay taxes, fees, utility payments and other financial obligations owed to the City, dissolution or termination (other than a dissolution or termination by reason of a party merging with an affiliate) of a party's existence as a going business, insolvency, appointment of receiver for any part of the Company's property, any assignment for the benefit of creditors of the Company, any type of creditor workout for the Company, or the commencement of any proceeding under any bankruptcy or insolvency laws by or against the Company is an Event of Default.

5. Effect of an Event of Default. On the occurrence of an Event of Default, the non-defaulting party shall give written notice to the other party of the Event of Default, and the defaulting party shall have three (3) days to cure said default. In the event said default is not cured within the prescribed time period, the non-defaulting party shall have the right to terminate this Agreement. In the event the Company defaults and fails to cure said default within the prescribed time period, the City shall be entitled to take any of the following actions, as its sole and exclusive remedies: (i) waive the default; (ii) immediately terminate this Agreement by providing written notice thereof to Company; (iii) if Company has received any payments from the City under this Agreement, then Company shall refund to the City the full amount of all such payments; or (iv) exercise any other remedies available to the City at law or equity. In the event the City defaults and fails to cure said default within the prescribed time period, the Company shall be entitled to take one of the following actions, as its sole and exclusive remedy: (i) waive the default; (ii) immediately terminate this Agreement by providing written notice thereof to the City; or (iii) seek specific performance of this Agreement.

6. Notices. Any notice provided or permitted to be given under this Agreement must be in writing and may be served by depositing same in the United States mail, addressed to the party to be notified, postage pre-paid and registered or certified with return receipt requested, or by delivering the same in person to such party via email or a hand-delivery service, Federal Express or any courier service that provides a return receipt showing the date of actual delivery of same to the addressee thereof. Notice given in accordance herewith shall be effective upon receipt at the address of the addressee, provided that notice given by U.S. mail return receipt shall be deemed to have been received upon deposit with the postal service. For purposes of notice, the addresses of the parties shall be as follows:

If to the City: City of Wylie, Texas
 Attention: City Manager
 300 Country Club Rd., Building 100, 1st Floor
 Wylie, Texas 75098
 Telephone: 972-516-6010
 Email: brent.parker@wylietetexas.gov

Copy to: Abernathy, Roeder, Boyd & Hullett, P.C.
 Attention: G. Randal Hullett
 1700 Redbud Blvd., Suite 300
 McKinney, Texas 75069
 Telephone: (214) 544-4000
 Email:

If to Company: Ferah Foods III, LLC
 Attention: Owner
 4912 Orchard Drive
 Sachse, Texas 75048
 Telephone: 214-802-4778
 Email: Burak@ferahhospitality.com

Copy to: Jeremy Berlin
 12408 Spruce Drive
 Fort Worth, Texas 76244
 Telephone: 817-909-9353
 Email: jeremy@ferahhospitality.com

7. Verification and Compliance. The Company will allow the City to audit, if deemed necessary by the City, all of the Company's records, documents, agreements and other instruments in furtherance of the following purposes to the extent such documents reasonably relate to the matters herein: (i) to ensure the Company's compliance with the affirmative covenants set forth in this Agreement; (ii) to determine the existence of an Event of Default under the terms of this Agreement; and/or (iii) to ensure compliance with any other terms and conditions set forth herein or in any related documents. The City will provide the Company with written notice of any request for an audit and shall cooperate with the Company to schedule audit activities during the Company's normal business hours so as to minimize disruption to the Company's normal business operations.

8. Limitation on Liability; Indemnity. It is understood and agreed that the Company and the City, in satisfying the conditions of this Agreement, have acted independently, and that the City assumes no responsibilities or liabilities to third parties in connection with these actions. THE COMPANY AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE CITY AND ITS OFFICERS, EMPLOYEES, AGENTS, CONTRACTORS AND REPRESENTATIVES FROM ALL CLAIMS, SUITS, AND CAUSES OF ACTIONS, LIABILITIES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, OF ANY NATURE WHATSOEVER ASSERTED BY A THIRD PARTY AND ARISING OUT OF THE COMPANY'S PERFORMANCE OF THE CONDITIONS AND/OR OBLIGATIONS UNDER THIS AGREEMENT.

9. Miscellaneous Provisions.

- a) Binding Agreement. This Agreement shall constitute a valid and binding agreement by and between the City and Company.
- b) Savings/Severability. If a court of competent jurisdiction finds any provision of this Agreement to be invalid or unenforceable as to any person or circumstance, such finding shall not render that provision invalid or unenforceable as to any other persons or circumstances, or affect any other provision hereof. It is the intention and agreement of the parties to this Agreement that each such illegal, invalid or unenforceable provision shall be amended by the parties hereto to the extent necessary to make it legal, valid and enforceable while achieving the same objective of such provision, or, if that is not possible, by substituting therefore another provision that is legal, valid and enforceable and achieves the same objectives (or, if such provision cannot be amended or a provision substituted therefore in a manner that is legal, valid and enforceable and achieves the same objectives, then such provision shall be amended or a new provision substituted therefore that achieves as closely as possible the same objectives or economic position as the illegal, invalid or unenforceable provision, irrespective of whether such amendment or substituted provision is materially different than the illegal, invalid or unenforceable provision).
- c) Default. Notwithstanding any provision in this Agreement to the contrary, Company's and the City's only liability for breaching any provision of this Agreement shall be the remedies expressly set forth in this Agreement.
- d) Entire Agreement. This Agreement contains the entire agreement of the parties with respect to the matters contained herein and may not be modified or terminated except upon the provisions hereof or by the mutual written agreement of the parties hereto.
- e) Venue. This Agreement shall be construed in accordance with the laws of the State of Texas and shall be performable in Collin County, Texas. In the event of a lawsuit brought pursuant to this Agreement, exclusive venue shall lie in Collin County, Texas.

- f) Consideration. This Agreement is executed by the parties hereto without coercion or duress and for substantial consideration, the sufficiency of which is forever confessed.
- g) Counterparts. This Agreement may be executed in a number of identical counterparts, each of which shall be deemed an original for all purposes.
- h) Representations. Each signatory represents this Agreement has been read by the party for which this Agreement is executed and that such party has had an opportunity to confer with its counsel.
- i) Authority to Execute. The individuals executing this Agreement on behalf of the respective parties below represent to each other and to others that all appropriate and necessary action has been taken to authorize the individual who is executing this Agreement to do so for and on behalf of the party for which his or her signature appears, that there are no other parties or entities required to execute this Agreement in order for the same to be an authorized and binding agreement on the party for whom the individual is signing this Agreement and that each individual affixing his or her signature hereto is authorized to do so, and such authorization is valid and effective on the Effective Date of this Agreement.
- j) No Third Party Beneficiaries. Nothing in this Agreement shall be construed to create any right in any third party not a signatory to this Agreement, and the parties do not intend to create any third party beneficiaries by entering into this Agreement.
- k) Waiver. Waiver by either party of any breach of this Agreement, or the failure of either party to enforce any of the provisions of this Agreement, at any time, shall not in any way affect, limit or waive such party's right thereafter to enforce and compel strict compliance.
- l) Miscellaneous Drafting Provisions. This Agreement shall be deemed drafted equally by all parties hereto. The language of all parts of this Agreement shall be construed as a whole according to its fair meaning, and any presumption or principle that the language herein is to be construed against any party shall not apply. Headings in this Agreement are for the convenience of the parties and are not intended to be used in construing this document.
- m) Immunity. It is expressly understood and agreed that, in the execution and performance of this Agreement, the City has not waived, nor shall be deemed hereby to have waived, any defense or immunity, including governmental, sovereign and official immunity, that would otherwise be available to it against claims arising in the exercise of governmental powers and functions. By entering into this Agreement, the parties do not create any obligations, express or implied, other than those set forth herein.

- n) Assignment. This Agreement or any part thereof shall not be assigned or transferred by any party without the prior written consent of the other party.
- o) Undocumented Workers. The Company represents and certifies that the Company does not and will not knowingly employ an undocumented worker in accordance with Chapter 2264 of the Texas Government Code. If during the Term of this Agreement, the Company is convicted of a violation under 8 U.S.C. § 1324a(f), the Company shall repay to the City an amount equal to all payments tendered to the Company under this Agreement and any other funds received by the Company from the City under this Agreement plus interest, at the rate of four percent (4%), not later than the 120th day after the date the City notifies the Company of the violation.

[SIGNATURES APPEAR ON THE FOLLOWING PAGES]

IN WITNESS WHEREOF, the parties have executed this Agreement and caused this Agreement to be effective on the ____ day of _____, 2024 ("Effective Date").

ATTEST:

CITY OF WYLIE, TEXAS

By: _____
Stephanie Storm, City Secretary

By: _____
Brent Parker, City Manager

STATE OF TEXAS §
 §
COUNTY OF COLLIN §

BEFORE ME, the undersigned authority, on this day personally appeared BRENT PARKER, known to me to be one of the persons whose names are subscribed to the foregoing instrument; he acknowledged to me he is the duly authorized representative for the **CITY OF WYLIE, TEXAS**, and he executed said instrument for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2024.

Notary Public, State of Texas

COMPANY:

Ferah Foods III, LLC,
a Texas Limited Liability Company

By: _____
Name: _____
Title: _____

STATE OF TEXAS §
 §
COUNTY OF COLLIN §

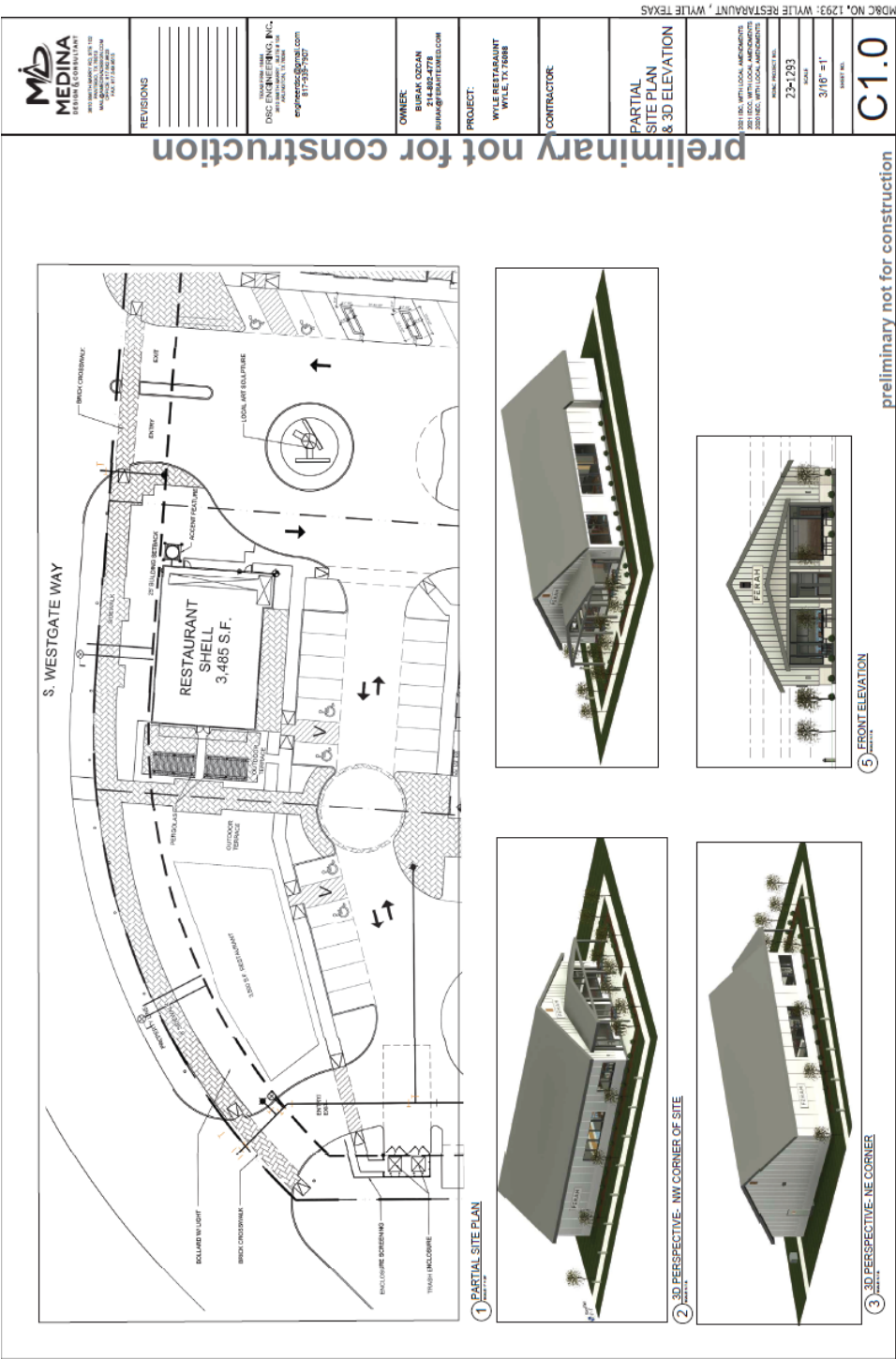
BEFORE ME, the undersigned authority, on this day personally appeared _____, _____ of **Ferah Foods III, LLC**, a Texas Limited Liability Company, known to me to be one of the persons whose names are subscribed to the foregoing instrument, and who acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated on behalf of said company.

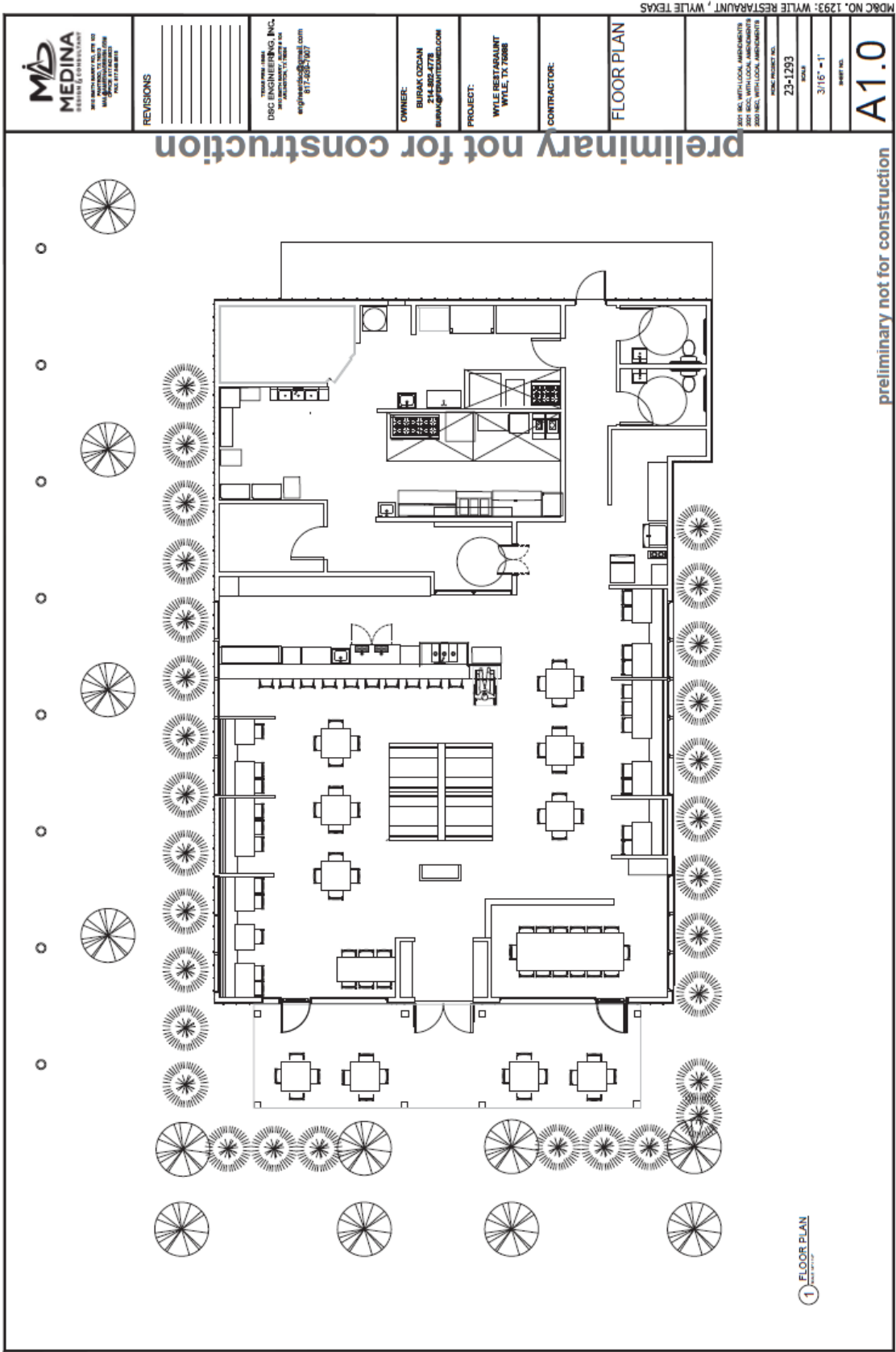
GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2024.

Notary Public, State of Texas

EXHIBIT “A”
DESCRIPTION AND/OR DEPICTION OF THE PROPERTY

Legal Description: SEVENTY8 & WESTGATE ADDITION, BLK A, LOT 3; ((REPLAT))





[illegible]



Wylie City Council

AGENDA REPORT

D

Department: WEDC

Prepared By: Jason Greiner

Account Code: _____

Subject

Consider, and place on file, the Wylie Economic Development Corporation 2023 Annual Report.

Recommendation

Motion to approve the Item as presented.

Discussion

As per the WEDC Bylaws, the WEDC must present an annual report to the Wylie City Council no later than April 1st of each year. The report must include, but is not limited to, a review of all expenditures made by the Board, a review of accomplishments, and a review of other than direct economic development. Staff believes the attached Report meets the intent of the requirement of the Bylaws with the same being presented to the WEDC Board of Directors on March 20, 2024.

Wylie Economic Development Corporation

FY 2023 Annual Report

March 20, 2024

Financial Condition

The Wylie Economic Development Corporation (WEDC) places a priority on financial reporting each year. According to the WEDC Bylaws, a review of all expenditures, accomplishments, and non-direct economic development activities must be presented to the City Council no later than April 1st each year.

At the end of each fiscal year, the WEDC undergoes an annual audit of its financial practices and transactions by a third-party firm chosen by the Wylie City Council and facilitated by the City of Wylie's Finance Department. The FY 2023 audit revealed no discrepancies or irregularities, as confirmed by the absence of notifications to the WEDC. To ensure a greater opportunity for a 'clean' audit, WEDC staff works closely with the Finance Department throughout the year so that there is a complete understanding of all WEDC activities by Finance staff and the same can be more accurately documented and communicated to the auditors.

The WEDC began the fiscal year with an anticipated fund balance of \$9,821,687, and the audited fund balance was later adjusted up to \$10,747,516. In FY 2023, sales tax receipts were up 11.25% over FY 2022 receipts with sales tax revenue totaling \$4,611,796 of available WEDC revenue. Other revenues included rental income of \$116,558, \$996 from Miscellaneous Income, \$75,397 from the gain/loss sale of assets, and allocated interest of \$381,356. Total FY 2023 available operating funds totaled \$5,186,102.

Expenditures for WEDC operations were as follows: Personnel: \$471,210, Administrative costs: \$166,978, Marketing & Promotion activities: \$222,596, Debt Service: \$1,231,998, Land Acquisition: \$345,442 (which is offset by a Contra Capital adjustment: -\$345,442), Infrastructure Improvements/Utility Relocation: \$130,358, Direct Business Incentives: \$855,812, Payment to Taxing Units: \$119, and \$658,324 in Other expenses which included: engineering, surveys, flood/drainage studies, tree removal, environmental remediation on WEDC-owned properties, maintenance of WEDC-owned properties, and demolition of commercial/residential structures located at 908 Kirby, 605 Commerce, and 200 W Brown.

The Debt Service account includes three loans: the Jarrard Loan, due for full repayment in December 2026; the Series 2021 Note, for land acquisition; and the Series 2022 Note, for infrastructure improvements. On October 5, 2021, at the beginning of FY 22, the Series 2021 Note was funded, with loan terms of 240 months at a 3.48% interest rate with a 5-year call restriction. On July 20, 2022, the Series 2022 Note was funded, with loan terms of 240 months at a 4.8% interest rate with a 5-year call restriction. It is important to note that the WEDC Board may at its option prepay the principal amount of the Series 2021 Note in whole, or in part, on any payment date on or after November 5, 2026. Additionally, the WEDC Board may at its option prepay the principal amount of the Series 2022 Note in whole, or in part, on any payment date on or after August 20, 2027. The principal balance at year-end FY 2023 was \$15,482,193. With no additional principal reduction payments, total expenditures for FY 2023 were \$4,082,836.

As shown above, in FY 2023 the WEDC had \$855,812 in direct incentive payments. Within that figure, \$29,377 was paid as part of ongoing sales tax reimbursement programs, \$257,000 for industrial projects, and \$569,434 for office/medical/general commercial. The WEDC also forgave a loan payment of \$20,000 pertaining to the LUV-ROS land purchase. Of the incentive payments made, \$571,434 represented either a one-time commitment or the final payment on a multi-year agreement.

After the current FY land transactions including 106 N. Birmingham Street to Glen Echo Brewing, 2200 W. Alanis Drive to Stealth Finishing, and the acquisition of Lot 2R of the Helmberger Industrial Park, the WEDC owns and manages 41.3978 acres of land with 30,736 square feet of improvements at a cost basis of \$16,006,004. In evaluating land that may be acquired, the WEDC Board of Directors assesses the sites' potential for business park development, the need for a site to be redeveloped based upon the current state of aging improvements, and/or a strategic intervention to protect the property from development which may not reflect the highest and best uses for an identified area. The remaining debt associated with real estate at year-end FY 2023 was \$7,664,256.

The FY 2024 WEDC Budget projects \$7,353,131 in total revenues. Sales tax receipts, being the primary revenue source, are budgeted at \$4,536,561, sale of WEDC property at \$2,655,970, and rental income of \$48,600. Total Expenses are budgeted at \$16,427,451, with Land Purchases at \$1,000,000, Infrastructure Projects at \$10,324,000, Debt Service at \$1,231,998, Personnel \$629,900, and Incentives \$1,929,250. Within the Incentives budget, there are 11 ongoing projects and \$300,000 set aside for Future Projects. Any additional incentive or infrastructure project not contemplated within the Budget and later approved by Council and the WEDC Board in FY 2024 will be funded from the end of year FY 2023 unallocated revenues equaling \$12,625,716.

As an ongoing performance indicator, staff tracks all commercial values as a percentage of the total assessed valuation. In 2023, commercial and industrial properties were valued at \$1.057B, or 12.9% of the total \$ 9.2B market value (less tax-exempt properties). Over the past five years, commercial and industrial values have increased by \$287MM (37.23%). Over the same period, total valuation has increased by \$3.9B or a 75.31% increase.

High-Impact Initiatives

Woodbridge Parkway Corridor

In 2014, the WEDC partnered with the City of Wylie, the City of Sachse, and Collin County to extend Woodbridge Parkway from Hensley Lane and provide direct access to State Highway 78. The WEDC borrowed \$976,000 to fund Woodbridge Parkway and the final principal payment was made in FY 2021.

On March 23, 2021, the City of Wylie entered into a Chapter 380 Agreement with Creekside Fine Grill, LLC to remodel the former Rock Wood Fire Pizza restaurant located at 2600 W. FM 544. Creekside opened in late FY 2023 and is the last addition to the Woodbridge Centre.

The WEDC funded a Sales Tax Reimbursement Agreement with Clark Street Development (owner/developer of Woodbridge Centre). In FY 2023, the final reimbursement amount of \$29,377 was paid to Clark Street. Including the infrastructure reimbursement of \$100,000, the total incentive paid from July 2013 to early FY 2023 was \$1,100,000. To date, the center is generating \$24MM in taxable sales on an annual basis and is projected to generate \$7.4MM for the City over the next 10 years.

544 Gateway Project

In 2016, the WEDC and the City began the process of assembling approximately 12 acres for redevelopment. Fronting FM 544 just west of Highway 78, the City acquired a 4.79-acre tract through a tax foreclosure that previously had EPA Superfund status. The remaining 7.42 acres were acquired by the WEDC from 2 property owners with frontage on FM 544 and Commerce Street.

To date, the following tasks have been completed: receipt of a Ready for Reuse Certificate from EPA, removal of ± 2 acres from the flood plain, creation of a Municipal Setting Designation, receipt of two Certificates of Completion via the Voluntary Cleanup Program from the TCEQ, demolition of dilapidated structures, relocation/expansion of previously existing tenant to Regency Business Park, and completion of significant fill and site work.

In early FY 2022, WEDC paid off the remaining balance associated with the acquisition of the WEDC-owned properties with the loan proceeds from the Series 2021 Note and purchased the 4.79-acre tract, formerly owned by the City Wylie for \$3,000,000. Since the project's inception, the WEDC has acquired 12.2 acres of land at \$5.7MM and paid for the remediation, demolition, dirt work, and maintenance of the property. Additionally, in June 2022, the WEDC completed the extension of the water line from the east along FM 544. This project not only enhances service to the 12-acre tract but also loops the water system to the east along Cooper Drive to Highway 78.

In early FY 2023, the WEDC entered into a contract for sale of the 1.56 AC Lot 2 with SCSD in the amount of \$1,295,256.60. In FY 2024, the WEDC sold the 3 AC Lot 6 to Phoenix Ascending in the amount of \$650,000 (\$250,000 cash to close/\$450,000 promissory note).

In January 2024, the WEDC approved a contract for the construction of John Yeager Way in the amount of \$1,766,920. The new street will connect traffic from FM 544, through the property and connect Business Way and Commerce Drive. The construction project should start in the next few weeks and will provide direct access to all seven lots.

Jackson Street

The WEDC continues to market its 1-acre property at the northeast corner of Jackson Avenue & Oak Street for an office and/or mixed-use development. While there has been little interest in a mixed-use vision originally proposed and contemplated, the WEDC has recently made progress on the concept.

Back in 2017, the WEDC closed on a 0.26-acre tract near the northwest corner of Jackson Avenue & Oak Street after negotiating with the property owner for over 2 years. In February 2019, the WEDC sold the lot to Rocking M, LLC to develop a 3,200-square-foot office building on the lot with the project receiving a Certificate of Occupancy in January 2020. The WEDC Board believed the office project will promote further investment in the downtown area and greatly complement the redevelopment of multiple residential structures into commercial uses.

To enhance future development in the downtown area, the WEDC invested in additional parking and alleyway improvements along N. Ballard Avenue and Jackson Streets. These investments totaled \$280,000 for alleyways extending along Jackson Avenue between Oak Street & Marble Street and N. Ballard Avenue between Jefferson Street & Brown Street.

To complement the ever-growing need for parking, the WEDC has made it a priority to identify and facilitate the construction of additional parking in the downtown area within walking distance of the proposed mixed-use project and Ballard Street shopping district. The WEDC is currently working with the City to dedicate additional parking along the railroad tracks.

State Highway 78 & Brown Street

In December 2018, City Council authorized the WEDC to start acquiring property in the area for this major Redevelopment Project. In early 2021, the WEDC acquired the last remaining commercial tract from TxDOT, a small strip of right-of-way, close to the intersection of Hwy 78 & Brown Street. In the fall of 2021, the WEDC used the loan proceeds from the Series 2021 Note to pay off the \$4,067,890 remaining balance associated with the acquisition of these WEDC properties.

In May 2020, the WEDC entered into a Development Agreement with the NTMWD for the relocation of the 42" water line. The \$1.7MM project was completed in mid-2023.

In August 2020, the WEDC entered into an agreement with McClure Partners Construction Company for the 1.74-acre lot at the corner of Hwy 78 & Brown Street. The pending real estate agreement is tied to the completion of the water line relocation and the installation of the new infrastructure, but it will act as a catalyst project for the overall 12-acre redevelopment adjacent to Historic Downtown Wylie.

In March 2024, the WEDC approved a contract for TxDOT Improvements along Hwy 78 between Oak Street and Brown Street in the amount of \$1,038,488. The project will include the realignment

of Marble Street, three deceleration lanes, and two hooded left-hand turns to accommodate the development of Cooper Plaza. The construction project should start in the next few weeks and will provide direct access to all seven lots.

State Highway 78 – Wylie Logistics Park

Over the years, the WEDC has experienced great success in attracting investment and primary jobs via the development of business parks. Between the development of Premier Business Park, 544 Industrial Park, and Premier Business Park South, the WEDC facilitated the development of 862,000 square feet of new construction, over 800 new/retained jobs, and nearly \$100MM in taxable value - on only 70 acres.

The \$64MM Wylie Intermodal Terminal opened in 2015 and expanded in 2018. In early 2023, the \$31 billion merger between Canadian Pacific Railway (CP) and Kansas City Southern (KCS) received a green light from the Surface Transportation Board, which created CPKC. The merger created the first truly North American Railroad, with the US-Mexico-Canada rail network connecting Wylie to 128 million consumers in Mexico as well as 38 million consumers in Canada. In late 2023, construction started on a 30-acre automotive facility at the 500-acre Wylie Intermodal Terminal. With roughly 200 acres of prime real estate along Hwy 78, Wylie is an ideal location for high-efficiency, multi-commodity, transload, and logistics investments.

Performance Agreements & Infrastructure Reimbursement

Fuel City Wylie, LLC. Fuel City opened its 9,340 SF facility in early January 2023, and its 6,214 SF car wash opened shortly after. Fuel City invested more than \$15MM on the project over 12 months and the Agreement outlined a reimbursement incentive of \$500,000 for the installation of qualified infrastructure associated with the project. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$1.9MM in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this business invests \$3.80 in our community.

American Entitlements, LLC. American Entitlements completed the 1,300 SF expansion of its downtown office and invested over \$200,000. They are still eligible to receive \$1,000 for each new job created, with a maximum incentive of \$35,000, payable over a three-year period. The Economic Impact Analysis (EIA) indicates that the project will generate approximately \$272,490 in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this business invests \$7.78 in our community.

New Projects for FY 2023

MLKJ Investments LLC - Purchase & Sale Agreement & Performance Agreement: In late 2022, WEDC approved a PSA with MLKJ Investments in the amount of \$500,000 (\$300,000 cash

to close/\$200,000 promissory note) for the sale of Lots 2, 3, and 4 of Wyndham Estates, Phase III at Squire Drive/Eubanks Lane. This Purchase and Sale Agreement was later amended to allow adequate time for the seller to obtain construction costs and to allow the WEDC tenant to relocate. (MLKJ Investments closed on this property in FY 2024, on December 1, 2023.) In November 2023, the WEDC approved a PA with MLKJ the amount of \$80,000 to construct a minimum of 45,000 SF of office/warehouse flex space with an anticipated capital investment in excess of \$5MM. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$411,393 in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this developer invests \$1.47 in our community.

CLF II LI Wylie Owner, LLC - Wylie Business Center/Lovett Development)/Performance Agreement: In November 2022, the WEDC approved a PA with Lovett Development to construct the [Wylie Business Center](#), an industrial/warehouse facility containing 274,416 SF of space with an anticipated capital investment of \$20,000,000. In January 2023, the WEDC and Lovett entered into an Agreement outlining a reimbursement incentive of \$1.3MM for the installation of qualified infrastructure associated with the project. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$4.4MM in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this developer invests \$3.38 in our community.

Wylie Insurance Agency/Performance Agreement: In December 2022, the WEDC entered into a PA with Wylie Insurance for the construction of a 5,361 SF office building with an anticipated capital investment of \$500,000. Wylie Insurance Agency soon after received its CO and the \$30,000 infrastructure reimbursement incentive for this project. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$132,537 in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this developer invests \$4.41 in our community.

Glen Echo Brewing LLC/Real Estate Sales Contract & Performance Agreement: In early 2023, the WEDC entered into a Real Estate Contract with Glen Echo Brewing in the amount of \$290,000 (\$190,000 cash to close/\$100,000 promissory note) for the sale of the existing 4,125 SF building at 106 N. Birmingham Street in Wylie. The WEDC later approved a PA with Glen Echo in the amount of \$100,000 for the renovation of the former automotive repair building by retrofitting it for a brewery, installing a new foundation, and adding a fire suppression system with an anticipated capital investment in excess of \$1MM. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$342,202 in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this business invests \$1.71 in our community.

Dank Real Estate (Deanan Popcorn)/Performance Agreement: In April 2023, the WEDC entered into a PA with Deanan Popcorn in the amount of \$30,000 for their new equipment investment in excess of \$650,000 and the creation of four additional FTEs. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$59,504 in overall tax revenue

for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this business invests \$1.98 in our community.

Jolt MSS LLC (Jolt Printing & Embroidery)/Performance Agreement: In April 2023, the WEDC entered into a PA with Jolt Printing in the amount of \$7,000 for the relocation of their business. The one-time expense was based solely on the relocation of the business operations and the retention of the employees in our community.

Firewater Investments, LLC (Herman Marshall)/Performance Agreement: In June 2023, the WEDC entered into a PA with Firewater Investments in the amount of \$300,000 for relocation of the business operations to Wylie. The \$1.5MM project included the renovation of their new facility, new equipment investment, the installation of over \$300,000 of qualified infrastructure, and the creation of 10 additional jobs. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$1MM in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this business invests \$3.36 in our community.

Sanden International (U.S.A.), Inc./Performance Agreement: In September 2023, the WEDC entered into a PA with [Sanden International](#) in the amount of \$500,000 for their facility renovation, new equipment investment in excess of \$25MM, and the retention of 240 FTEs. The Economic Impact Analysis (EIA) indicates that this project will generate an estimated \$812,616 in overall tax revenue for the City of Wylie over the next 10 years. For every \$1 that the WEDC invests, this business invests \$1.63 in our community.

BRE, Entrepreneurship, and Community Development

In an environment of continuous growth across Collin County, the WEDC, alongside our key community partners—the City of Wylie, Wylie ISD, Wylie Chamber of Commerce, and Collin College—is dedicated to addressing the evolving needs of our local businesses. Through direct engagement with these businesses, including visits and discussions, we gain essential insights into their current activities and future plans, enabling us to anticipate and meet their requirements more effectively. This proactive approach is the foundation of our Business Retention and Expansion (BRE) initiative, relying on the strong relationships we have established.

Additionally, the WEDC takes advantage of national events to introduce targeted programs for specific business sectors. Our Small Business Week and Manufacturing Day events are designed to offer support and create opportunities for businesses to engage with the community, develop their workforce, and explore expansion possibilities.

The [Small Business Week](#) in 2023 included a series of events aimed at celebrating and supporting small businesses and enhancing their visibility within the community. This included official recognitions from the Wylie City Council and the State of Texas, and the Taste of Wylie event, which not only highlighted the diverse culinary scene but also supported local food pantries. The

week also focused on providing small businesses with educational resources, particularly in digital marketing and on increasing visibility for businesses on N. Ballard Avenue.

Throughout the year, we support career exploration and talent development initiatives for Wylie ISD students, offering programs that connect students with real-world career opportunities. These include [Build Your Future Career Day](#) and Internship Signing Day, events that introduce students to various career fields and encourage early engagement with potential employers. These events also compliment other hiring events held by Collin College and Workforce Solutions of North Central Texas, like the annual powerhouse hiring event for Veterans [RED, WHITE, and You!](#) To date, these programs have exposed more than 600 students to 20+ companies hiring in the field of study students are pursuing.

In 2023, the WEDC, along with our community partners, hosted a Legislative Leadership VIP Dinner. This event aimed to strengthen ties between Wylie's leadership and state legislators, facilitating a valuable exchange of legislative updates and fostering collaboration.

Observing [National Manufacturing Day](#) in October allowed us to challenge misconceptions about the manufacturing sector and highlight the dynamic and skilled nature of manufacturing careers through educational activities and tours. These efforts are also aimed at providing insight into current industry and increasing engagement within the community.

The inaugural Hope Under the Stars event, in partnership with Hopes Gate, further showcased the WEDC's commitment to community engagement and business promotion. This event highlighted local businesses and supported a noble cause, demonstrating the WEDC's multifaceted approach to economic development.

The year concluded with the continuation of our Shop Local campaign and the Discover Wylie Gift Guide, broadening its reach to include more businesses. Coupled with the engaging 'Wylie Grinch' social media campaign, these initiatives successfully encouraged local shopping during the holiday season, highlighting the WEDC's ongoing commitment to nurturing a thriving, supportive business community in Wylie.

2024 Goals & Objectives

Downtown Revitalization and Expansion

- TxDOT - Median Improvements / Decel Lane Installation - *Mid 2024*
- Cooper Plaza - Infrastructure Installation & Market/Sell Lots – *Late 2024*
- Jackson Street Engineering & Design – *Late 2024*
- UP - Plan/Install Additional Parking - *TBD*
- Birmingham Street & Jefferson Avenue – Road Extensions – *TBD*

544 Gateway Addition, and Regency Business Park

- 544 Gateway / John Yeager Way - Infrastructure Installation – *Late 2024*
- Market/Sell WEDC Properties

Hwy 78 Developments (Eubanks to Wylie East)

- Atmos Gas - Main Line Extension and Installation - *Mid 2024*
- TxDOT Median Improvements / Decel Lanes Installation – *Late 2024 to Early 2025*

Expand/Promote BRE and Workforce Programs

- Expand relationships with Community Resource Partners
 - Career Fair / Hiring Events / Seminars
 - HR Roundtable / CEO Roundtable / Community Roundtable
- Grow MFG Day/Month & Training Opportunities Locally
 - Expand Tour Options, Locations, and Hours for the General Public
 - Expand the Workforce Luncheon, MFG Dinner, and Networking Event
- Expand/Promote Entrepreneurship and Small Business Assistance Programs
 - Expand Training & Enrichment Programs with the Chamber of Commerce
 - Grow Small Business Week Awareness and Promote EconDev Week
 - Grow the Entrepreneur Expo



Wylie City Council

AGENDA REPORT

Department: Public Works Account Code: _____

Prepared By: Tommy Weir

Subject
Discussion regarding Public Works Department overview and Five-Year Plan.

Recommendation
Discussion

Discussion
Provide City Council with an overview of the department and proposed Five-Year Plan.

PUBLIC WORKS: 5 Year Plan



4 DIVISIONS:

Administration

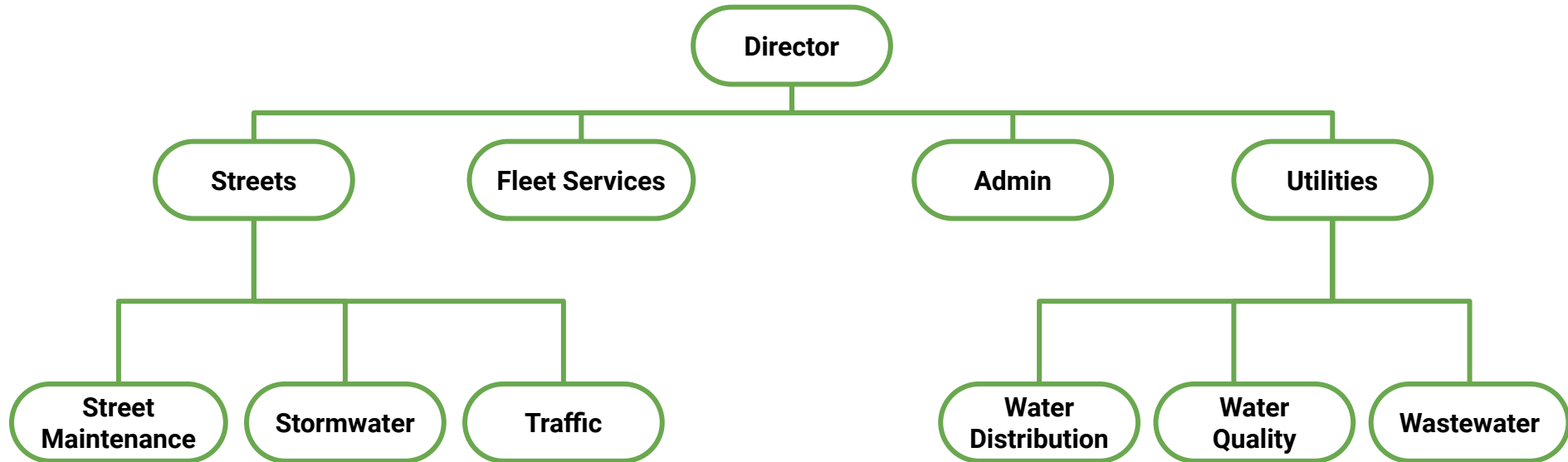
Streets Division

Fleet Services Division

Utilities Division

ORGANIZATION

Public Works has 53 full time positions across four functional areas in FY 2024



ADMINISTRATION



- Accounts for all executive level staff for the department.
- Take in and dispatch out customer complaints to the different divisions
- Long term planning of department goals and City infrastructure
- Register city vehicles
- Assist departments as needs arise

ADMINISTRATION

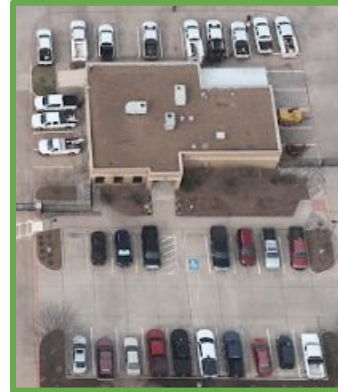
Year	Resident Calls	Service Requests	Registrations Processed
2022	1702	636	168 / 14
2023	1699	822	148 / 20
2024*	451	265	32 / 3

5 YEAR PLAN: ADMINISTRATION PUBLIC WORKS & PARKS COMPLEX

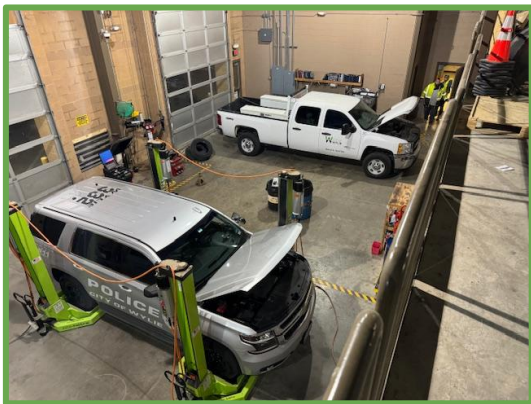
Limited Parking

- Public Works Dept has 52 parking spots for 53 employees
- Parks Dept has 18 parking spots for 20 employees

Exposure to outdoor elements can cause premature equipment failure.



5 YEAR PLAN: ADMINISTRATION PUBLIC WORKS & PARKS COMPLEX



Limited Indoor Storage

- Bay areas are shared between Fleet/Water/Wastewater/Streets



5 YEAR PLAN: ADMINISTRATION PUBLIC WORKS & PARKS COMPLEX

03/26/2024 Item WS1.

Limited Locker Room

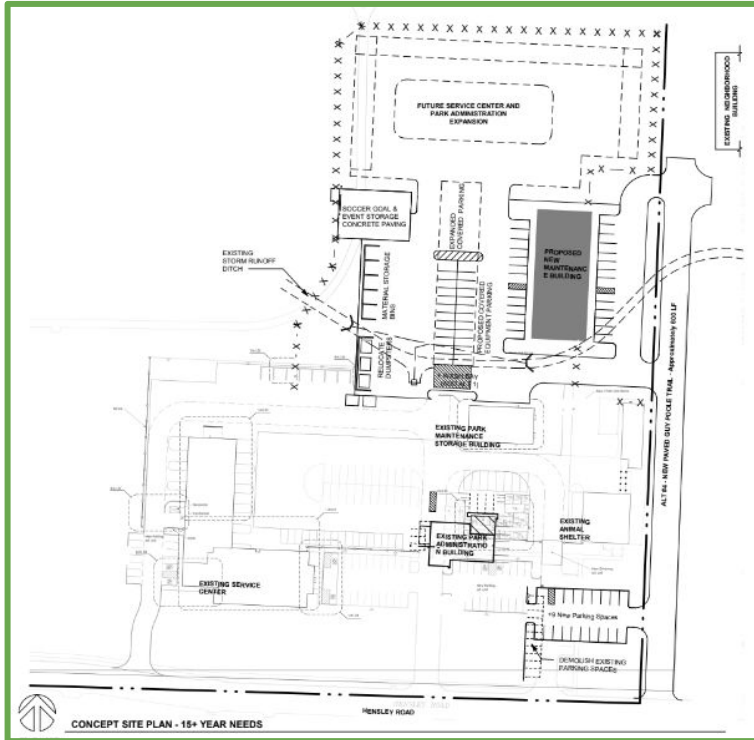
- 40 Lockers for 51 employees
- No doors for privacy
- No women's area

Limited Office Space

- Lack of capacity for future growth



5 YEAR PLAN: ADMINISTRATION PUBLIC WORKS & PARKS COMPLEX



5 YEAR PLAN: ADMINISTRATION PERSONNEL NEEDS

PW Training Coordinator



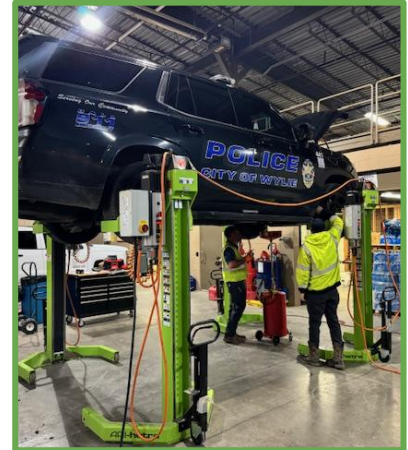
- **New Hire Training**
 - CDL (Permit, Driving, Testing)
 - Water/Wastewater/Stormwater license training
- **On-The-Job Training (OJT)**
 - Assist with Implementing Various Training

FLEET SERVICES

The fleet coordinator and support staff maintain city owned vehicles and equipment.

- 142 vehicles
- 20 pieces of equipment
- 15 trailers

As of Dec. 2023 oil changes and tire replacements are now performed by our fleet department.



FLEET SERVICES:

Fleet Replacement Criteria

AGE

- 1 point for every year of chronological age

Miles

- 1 point for every 20,000 miles

Hours

- 1 point for every 750 hours

Repair Costs

- 1 point for every \$10K

Overall Condition

- 1-5 scale (5 being the worst)

Reliability

- 1 point for every 5 service requests

Point Range Condition

- Excellent (1-20)
- Good (21-30)
- Qualifies for replacement (31-40)
- Immediate consideration (41 and above)

5 YEAR PLAN: PERSONNEL / EQUIPMENT NEEDS

FLEET

Fiscal Year	2025	2026	2027	2028	2029
Fleet Maintenance Technician (Utility Fund)	\$60,317	-	-	\$60,317	-

Two Post Lift	\$15,000	-	-	-	-
Graphic Printer	-	\$35,000	-	-	-
Replace Rubber Tire Loader	-	225,000	-	-	-

FLEET SERVICES (2023 Review)

	Quantity	Vendor Cost	Staff Cost	Savings
Oil Changes	388	\$42,680	\$18,236	\$24,444
(T)Replace	186	\$5,580	\$0 (We bring tire to vendor)	\$5,580
(T)Repairs	47	\$1,200	\$140	\$1,060
Brakes(F)*	36 sets	\$7,950	\$0 (We bring brakes to vendor)	\$7,950
Brakes(R)*	32 sets	\$10,100	\$0 (We bring brakes to vendor)	\$10,100
			Total	\$49,134

STREET MAINTENANCE / STORMWATER / TRAFFIC



Street Maintenance	Maintenance of streets, alleys, sidewalks, and screen walls.
Stormwater	Maintain compliance with the stormwater discharge permit and maintenance of the stormwater conveyance system.
Traffic	Maintenance of traffic signs, pavement markings, and signal equipment.

STREET MAINTENANCE / STORMWATER / TRAFFIC

Year	Streets	Alleys	Storm Pipe	Open Drainage	Signals	School Zone
2022	250 mi	33 mi	116 mi	45 mi	26	90
2023	304 mi	34 mi	136 mi	65 mi	26	90
Increase	+54	+1	+20	+20	Add 4 by 2029	Add 14 by 2029

5 YEAR PLAN: STREET / STORMWATER / TRAFFIC PERSONNEL

Fiscal Year	2025	2026	2027	2028	2029
EOI (Street Maint)	\$63,340	-	-	-	-
EOI (Street Maint)	-	-	\$57,019	\$57,019	\$57,019
EOI (Traffic)	\$63,340	-	-	-	-
EOI (Stormwater)	-	-	\$57,019	-	\$57,019
EOI (Stormwater)	-	-	-	-	\$63,340

5 YEAR PLAN: SIDEWALK REPAIR



	FY21	FY22	FY23	Per Ft
Inhouse Footage / Cost	3,231 / \$27,000	2,688 / \$22,300	1,760 / \$14,700	\$8/ft
Contractor Footage / Cost	6,300 / \$334,000	12,650 / \$678,000	8,468 / \$444,600	\$53/ft

*Salaries/year(4 employees)(\$234,400) + \$8/ft for 8,468ft (\$67,744) =
\$302,144 or \$35/ft (savings of \$142,000)

5 YEAR PLAN: EQUIPMENT NEEDS

STREET MAINTENANCE

Fiscal Year	2025	2026	2027	2028	2029	
Concrete Saw	\$65,000	-	-	-	-	
1 Ton Utility	-	\$65,000	\$65,000	\$65,000	-	
Skid Loader & Trailer	-	-	\$75,000	-	-	
Equipment Trailer (R)	-	-	\$30,000	-	-	(2001 Unit)
Sweeper	-	-	-	-	\$250,000	
6YD Dump	-	-	-	-	\$140,000	
Tri Axle Dump (6YD Dump) (R)	-	-	-	-	\$150,000	(2015 Unit)

5 YEAR PLAN: EQUIPMENT NEEDS

STORMWATER

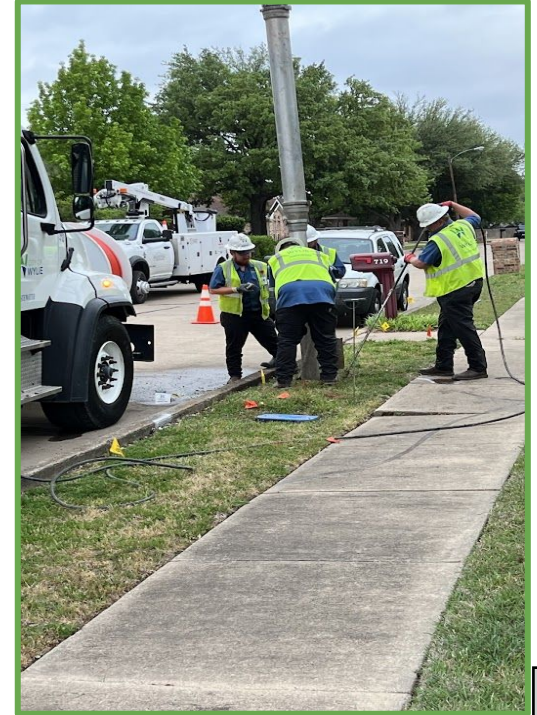
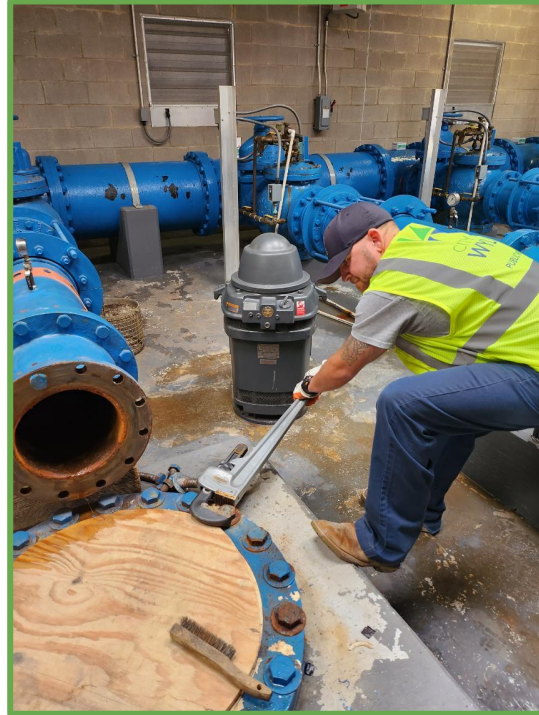
Fiscal Year	2025	2026	2027	2028	2029
6YD Dump (Sander)	\$172,000	-	-	-	-
Skid Loader & TRLR	\$75,000	-	-	-	-
Camera Inspection Unit	\$170,000	-	-	-	-
Excavator & TRLR	-	-	\$160,000	-	-
Vac Truck	-	-	-	\$515,000	-
Chipper	-	-	-	\$60,000	-
Screen Walls	\$50,000	\$50,000	\$50,000	\$50,000	\$50,000

5 YEAR PLAN: EQUIPMENT NEEDS

TRAFFIC

Fiscal Year	2025	2026	2027	2028	2029	
1 Ton Utility (R)	\$65,000	-	-	-	-	(2014 Unit)
$\frac{3}{4}$ Ton Utility Truck	-	\$60,000	-	-	-	
Thermal Striping Unit	-	-	\$155,000	-	-	
Traffic Cabinet Standardization	\$175,000	\$175,000	\$175,000	\$175,000	\$175,000	
Opticom/Detection Upgrade	\$250,000	\$250,000	\$250,000	\$250,000	\$250,000	
ADA Comp. (Ped Buttons)	\$30,000	\$30,000	\$30,000	\$30,000	\$30,000	
ADA Comp. (Sidewalk)	\$400,000	\$400,000	\$400,000	\$400,000	\$400,000	
School Zone Upgrade*	\$120,000	\$120,000	\$120,000	\$120,000	\$120,000	(FY24 St

UTILITIES: WATER DISTRIBUTION / WATER QUALITY / WASTEWATER



UTILITIES: WATER DISTRIBUTION / WATER QUALITY



- Maintain the water distribution system including water mains, fire hydrants, valves, and service lines.
- Operate and maintain pumping and storage facilities. Also collect monthly water quality samples.
- In 2022 became members of Texas 811. The department responds to approximately 10,000 locate tickets annually.
- Continued recipient of the “Superior Public Water System”

UTILITIES: WATER DISTRIBUTION / WATER QUALITY

	Water Mains (miles)	Fire Hydrants	Service Connections	Daily Pumping (MGD)	Excavations
2022	188	1,938	15,774	5.1	103
2023	190	1,981	15,992	5.7	176
Increase	+2	+43	+218	+.6	+75

5 YEAR PLAN: PERSONNEL NEEDS WATER

Fiscal Year	2025	2026	2027	2028	2029
Equipment Operator II (2)	-	\$128,680	-	-	-

5 YEAR PLAN: EQUIPMENT NEEDS

WATER

Fiscal Year	2025	2026	
Air Compressor	\$50,000	-	
¾ Ton Utility Truck	\$55,000	-	
Valve Exercise Trailer (R)	\$120,000	-	(2014 Unit)
Mini Excavator (R)	\$150,000	-	(2014 Unit)
On Call Truck (R)*	\$65,000	-	(2013 Unit)
6YD Dump Truck	-	\$140,000	

5 YEAR PLAN: EQUIPMENT NEEDS

WATER

Fiscal Year	2026	2027	2028	2029	
Skid Steer (R)	\$75,000	-	-	-	(2013 Unit)
$\frac{3}{4}$ Ton Utility (R)*	\$60,000	-	-	-	(2013 Unit)
(2) 1 Ton Utility Truck	-	\$140,000	-	-	
2 Ton Utility Truck (R)	-	-	-	\$160,000	(2014 Unit)

5 YEAR PLAN: WATER QUALITY UPGRADES

Fiscal Year	2025	2026	2027	2028	2029
CL2 Analyzers	\$20,000	\$20,000	\$20,000	-	-
Pump Station Pump Rebuilds / Inspections	\$75,000	\$75,000	\$75,000	\$75,000	\$75,000
Mag Meters / Pump Station Discharge	-	\$50,000	\$50,000	\$50,000	-
SCADA Upgrades	-	-	\$150,000	-	-

UTILITIES: WASTEWATER



- Maintain the wastewater collections system
- Operate and maintain 10 sewer lift stations
- Grease trap inspections
- Respond to customer issues

UTILITIES: WASTEWATER

	Sewer Main (miles)	Service Connections	Hydro Jetting (feet)	Camera Inspections (feet)	Sewer Lateral Repairs	Manhole Rehab/ Repairs
2022	219	15,809	43,681	3,437	11	6
2023	222	17,674	201,734	3,158	37	17
Increase	+3	+1,865	+158,053	-279	+26	+11

5 YEAR PLAN: VEHICLE NEEDS WASTEWATER

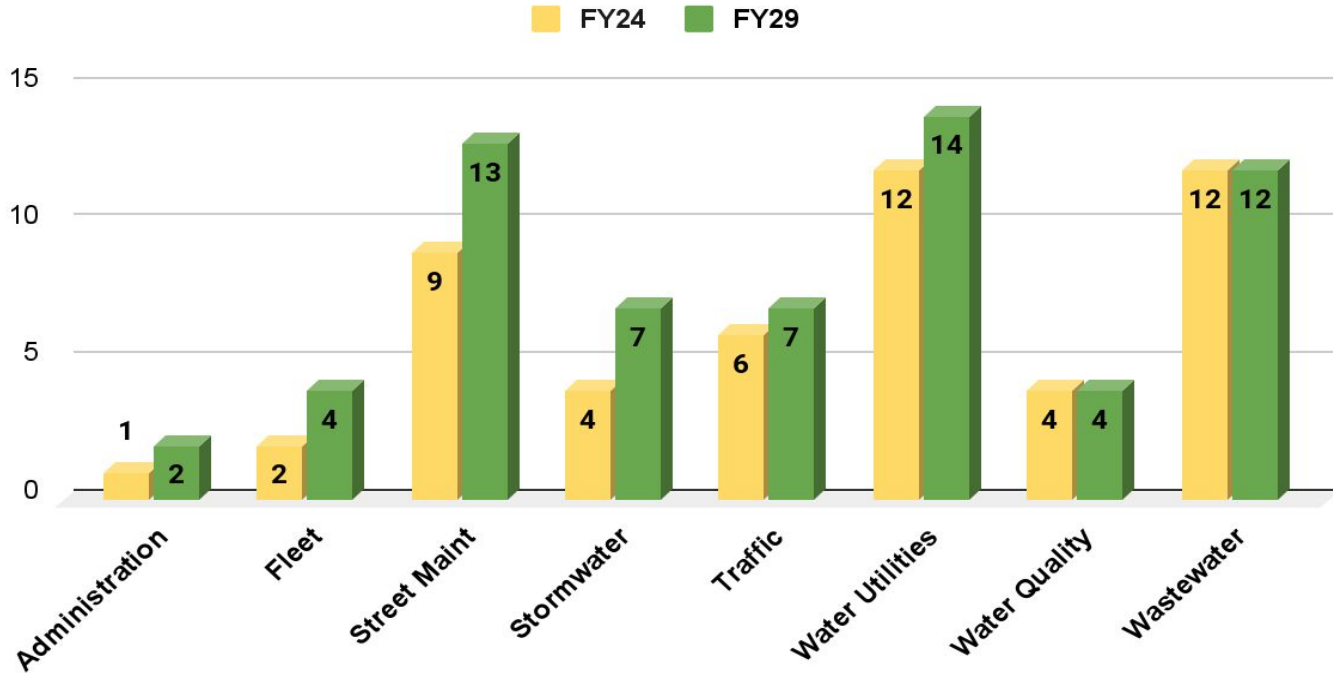
Fiscal Year	2025	2026	2027	2028	2029	
Concrete Road Saw/Trailer	\$80,000	-	-	-	-	
Bobcat Skid Steer (R)	\$75,000	-	-	-	-	(2014 Unit)
$\frac{3}{4}$ Ton Utility (R)*	\$60,000	-	-	-	-	(2013 Unit)
1 Ton Utility	-	-	\$65,000	-	-	
Isuzu Jet Truck (R)	-	-	\$350,000	-	-	(2013 Unit)
Mini Excavator (R)	-	-	-	\$140,000	-	(2012Unit)
Tri Axle Dump (6YD Dump) (R)	-	-	-	\$150,000	-	(2014 Unit)
Backhoe (R)	-	-	-	-	\$205,000	(2012 Unit)

5 YEAR PLAN: INFRASTRUCTURE IMPROVEMENTS WASTEWATER

Fiscal Year	2025	2026	2027	2028	2029
Lift Station Inspections	\$25,000	\$25,000	\$25,000	\$25,000	\$25,000
Lift Station SCADA Upgrades*	\$40,000	\$40,000	\$46,000	\$46,000	\$46,000
Manhole Relining	\$150,000	\$150,000	\$150,000	\$150,000	\$150,000
Bypass Pump Infrastructure	\$200,000	\$200,000	\$200,000	\$200,000	\$200,000
Pump Replacement/ Station Rebuild	\$150,000	\$300,000	\$150,000	\$150,000	\$150,000

PUBLIC WORKS: POSITIONS

Positions





Wylie City Council

AGENDA REPORT

Department: Finance Account Code: _____

Prepared By: Melissa Brown

Subject

Discuss Mid-Year Budget Adjustment for the Proposed Pay Plan.

Recommendation

Discussion

Discussion

Please see attached presentation.

Proposed Pay Plan Work Session

Proposed Pay Plan Increases

General Government

SUMMARY - 100% MARKET w/ TIME SERVICE CREDIT		
FUND	ANNUAL	MID-YEAR
100 - General Fund	\$1,433,309.46	\$716,654.73
112 - 4B Fund	\$432,701.69	\$216,350.85
611 - Utility Fund	\$466,128.67	\$233,064.33
TOTAL	\$2,334,378.94	\$1,167,189.47

Executive

SUMMARY - 11% FLAT INCREASE		
FUND	ANNUAL	MID-YEAR
100 - General Fund	\$375,726.29	\$187,863.14
611 - Utility Fund	\$30,581.78	\$15,290.89
TOTAL	\$406,308.07	\$203,154.03

Police Department

SUMMARY - 100% MARKET		
	ANNUAL	MID-YEAR
Police Personnel	\$855,510.94	\$427,755.47
Criminalist	\$10,955.34	\$5,477.67
Detention	\$61,870.35	\$30,935.17
100 - General Fund Total	\$928,336.62	\$464,168.31

Fire

SUMMARY - 100% MARKET		
	ANNUAL	MID-YEAR
Fire Personnel	\$907,317.60	\$453,658.80
Dispatch	\$59,025.90	\$29,512.95
100 - General Fund Total	\$966,343.51	\$483,171.75

Mid Year Budget Adjustment For Proposed Pay Plan

- General Fund - \$1,850,000
- 4B Sales Tax Fund - \$216,000
- Utility Fund - \$242,000

Funded with salary savings and/or fund balance

Tax Rate Increase To Support Proposed GF Pay Plan (2025)

\$3.7 million revenue requirement:

- \$1 million from new construction revenue
- \$1 million from 3.5% revenue cap (1.4 cents*)
- \$1.7 million from the incremental rate (2.4 cents*)
 - Available incremental rate is 3.1 cents

A total of 3.8 cents above the no new revenue rate*