

Wylie Planning and Zoning Commission Regular Meeting

June 02, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon approval of the meeting minutes from the May 19, 2026, Planning and Zoning Commission Meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Wylie I.S.D. CTE & AG Center, establishing one commercial lot on 37.818 acres. Property generally located at 1301 Hensley Lane.

REGULAR AGENDA

- 1. Consider, and act upon, a site plan amendment for W.I.S.D. CTE and AG Center, being on Lot 1, Block A of Wylie I.S.D. CTE & AG Center, for a school facility use on 37.818 acres. Property generally located at 1301 Hensley Lane.
- 2. Hold a Public Hearing to consider, and act upon a recommendation to City Council regarding a change of zoning from Neighborhood Services (NS) to Neighborhood Services - Special Use Permit (NS-SUP), to allow for convenience store and motor vehicle fueling station use on 3.53 acres generally located on the northeast corner of Country Club and Park Blvd. (ZC2026-06)
- 3. Hold a Public Hearing to consider, and act upon a recommendation to City Council regarding a change of zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP), to allow for a minor auto repair use on 1.275 acres located at 7940 E Parker Road. (ZC2026-05)
- 4. Hold a Public Hearing to consider, and act upon, a recommendation to City Council amending Zoning Ordinance (2023-23), Article 5, Sections 5.1 Land Use Charts, 5.2 Listed Uses, and Article 7 General Development Regulations, as they relate to existing and new proposed listed uses. (ZC 2026-04)

WORK SESSION

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on May 27, 2026, at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary’s Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:
§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning **Item:** A
Prepared By: Gabby Fernandez

Subject

Consider and act upon the approval of the meeting minutes from the May 19, 2026, Planning and Zoning Commission meeting.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes from the May 19, 2026, Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

May 19, 2026 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Joshua Butler called the meeting to order at 6:00 PM. In attendance were Chair Joshua Butler, Vice-Chair Rod Gouge, Commissioner Zeb Black, and Commissioner Joe Chandler. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent were Commissioner Zewge Kagnev, Commissioner Franklin McMurrian, and Commissioner Keith Scruggs.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice-Chair Gouge gave the Invocation, and Commissioner Black led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

None approached the Commission.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon approval of the meeting minutes from the May 5, 2026, Planning and Zoning Commission Meeting.**

BOARD ACTION

A motion was made by Vice-Chair Gouge, seconded by Chair Butler, to approve the Consent Agenda as presented. A vote was taken, and the motion passed 4 – 0.

REGULAR AGENDA

1. **Consider, and act upon, a site plan amendment for WISD McMillan Track & field renovations, being on Lot 1, Block A of Wylie Junior High School Addition , for a school recreation use on 44.89 acres, located at 1000 W Park Boulevard.**

BOARD ACTION

A motion was made by Commissioner Chandler and seconded by Commissioner Black to approve Regular Agenda Item 1 as presented. A vote was taken and carried 4-0.

2. **Consider, and act upon, a site plan amendment for WISD Transportation Center, being on Lot 1, Block A of Wylie I.S.D Transportation Center, for a school facility use on 10 acres, located at 670 Country Club Road.**

BOARD ACTION

A motion was made by Chair Butler and seconded by Commissioner Chandler to approve Regular Agenda Item 2 as presented. A vote was taken and carried 4-0.

3. **Consider, and act upon, a Site Plan for Lot 5, Block A of Wylie Hooper addition for the development of a restaurant with a drive-through. Property located on 0.97 acres at 2720 W FM 544.**

BOARD ACTION

A motion was made by Chair Butler and seconded by Vice-Chair Gouge to approve Regular Agenda Item 3 with conditions. A vote was taken and carried 4-0.

4. **Consider, and act upon, a Site Plan for Lot 2, Block A of Holiday Express Wylie addition for the development of a multi-tenant retail building with an attached drive-through restaurant. Property located on 1.954 acres at 2206 W FM 544.**

BOARD ACTION

A motion was made by Commissioner Chandler and seconded by Commissioner Black to approve Regular Agenda Item 4 as presented. A vote was taken and carried 4-0.

ADJOURNMENT

A motion was made by Commissioner Black and seconded by Vice-Chair Gouge to adjourn the meeting at 6:24 PM. A vote was taken and carried 4 – 0.

Joshua Butler, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Wylie I.S.D. CTE & AG Center, establishing one commercial lot on 37.818 acres. Property generally located at 1301 Hensley Lane.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Wylie Independent School District

APPLICANT: RLK Engineering

The applicant has submitted a Preliminary Plat to create Lot 1, Block A of Wylie I.S.D CTE & AG Center addition on 37.818 acres. The property is generally located at 1301 Hensley Lane. The purpose of the Preliminary Plat is to create one lot for the development of a career and technical education building and an agricultural center for the Wylie Independent School District. The property is zoned Agricultural (AG/30) and allows for the proposed use by right.

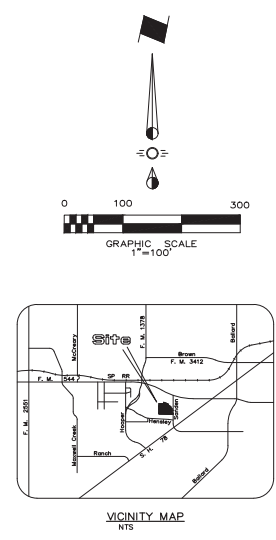
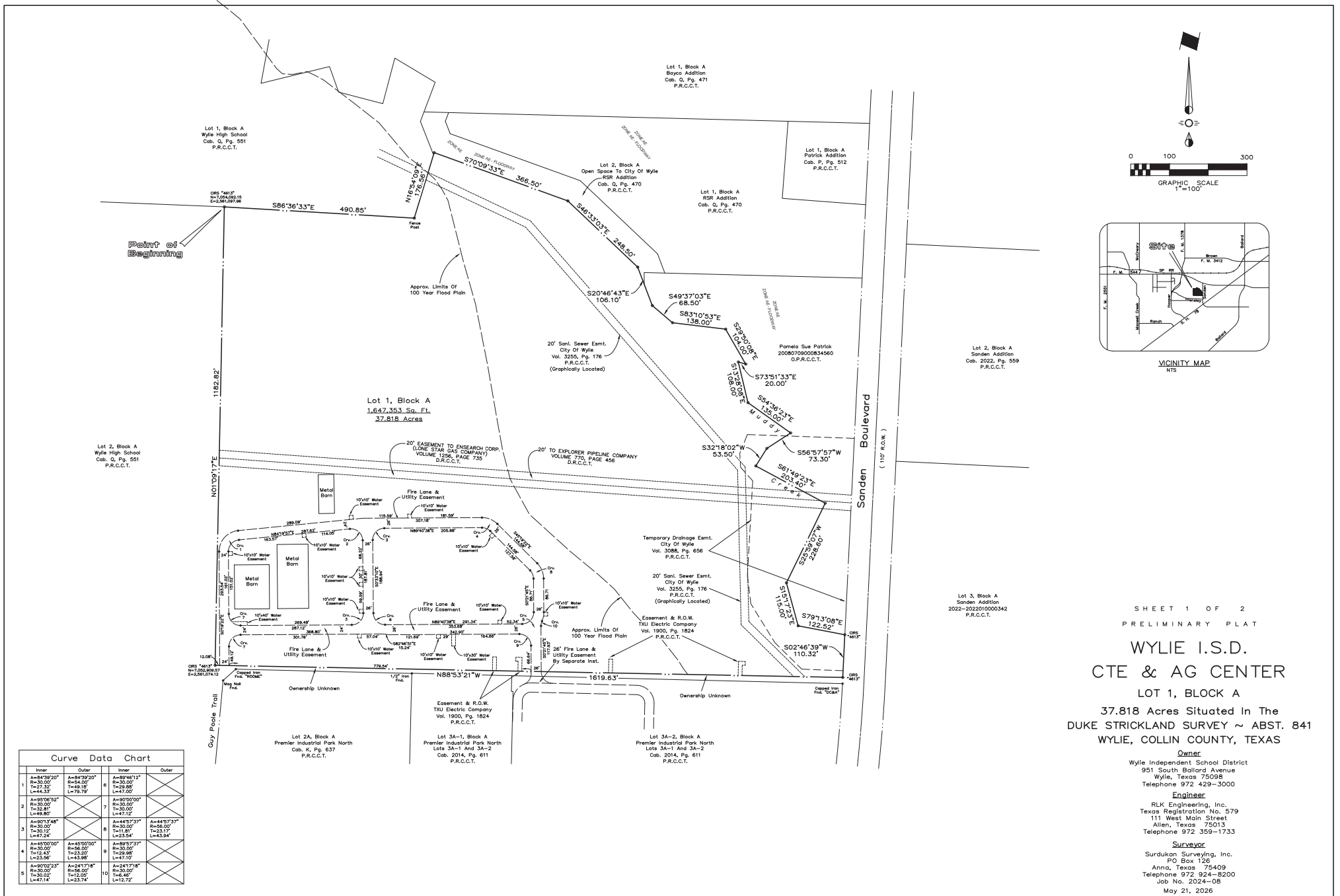
A site plan for the development is on the regular agenda.

The preliminary plat document contains a fire lane and access easement that loops around the site with access from Hensley Lane. A secondary access easement for compliance with the fire code regulations is provided which connects to an existing driveway located on the adjacent property to the south.

The plat shall also dedicate utility easements for water & sewer lines and fire hydrants for the development.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



SHEET 1 OF 2
PRELIMINARY PLAT

WYLIE I.S.D.
CTE & AG CENTER
LOT 1, BLOCK A
37.818 Acres Situated In The
DUKE STRICKLAND SURVEY ~ ABST. 841
WYLIE, COLLIN COUNTY, TEXAS

Owner
Wylie Independent School District
951 South Ballard Avenue
Wylie, Texas 75098
Telephone 972 429-3000

Engineer
RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor
Surdukan Surveying, Inc.
P.O. Box 126
Anna, Texas 75409
Telephone 972 924-8200
Job No. 2024-08
May 21, 2026

Inner	Outer	Inner	Outer
A=84°39'20" R=30.00' T=27.32' L=44.33'	A=84°39'20" R=30.00' T=49.18' L=76.79'	A=89°46'12" R=30.00' T=29.88' L=51.00'	
A=89°56'52" R=30.00' T=32.81' L=49.86'	A=90°00'00" R=30.00' T=30.00' L=47.10'	A=90°00'00" R=30.00' T=30.00' L=47.10'	
A=90°13'48" R=30.00' T=30.24' L=47.22'	A=44°57'37" R=30.00' T=11.81' L=23.56'	A=44°57'37" R=30.00' T=11.81' L=23.56'	A=44°57'37" R=30.00' T=23.17' L=43.34'
A=45°00'00" R=30.00' T=24.43' L=23.56'	A=45°00'00" R=30.00' T=23.20' L=43.98'	A=89°57'37" R=30.00' T=28.98' L=47.10'	
A=90°02'24" R=30.00' L=47.14'	A=91°17'18" R=30.00' T=12.00' L=23.74'	A=91°17'18" R=30.00' T=46.45' L=12.72'	

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

WHEREAS, the Wylie Independent School District is the owner of a tract of land situated in the Duke Strickland Survey, Abstract No. 841, City of Wylie, Collin County, Texas, and being all of a tract of land conveyed to the Wylie I.S.D. by deed recorded in County Clerk's File No. 92-0092602, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "4613" set for corner, said point being the northwest corner of said Wylie I.S.D. tract, also being the northeast corner of Lot 2, Block A, Wylie High School, an addition to the City of Wylie as recorded in Cabinet Q, Page 551, Plat Records of Collin County, Texas;

THENCE S86°36'33"E, a distance of 490.85 feet to a wood fence post for corner;

THENCE N16°54'09"E, a distance of 176.56 feet to a point for corner in Muddy Creek;

THENCE along Muddy Creek the following:

S70°09'33"E, a distance of 366.50 feet to a point for corner;

S46°33'03"E, a distance of 248.50 feet to a point for corner;

S49°37'03"E, a distance of 68.50 feet to a point for corner;

S20°46'43"E, a distance of 106.10 feet to a point for corner;

S83°10'53"E, a distance of 138.00 feet to a point for corner;

S29°50'08"E, a distance of 104.00 feet to a point for corner;

N73°51'33"W, a distance of 20.00 feet to a point for corner;

S13°28'08"E, a distance of 108.00 feet to a point for corner;

S54°36'23"E, a distance of 135.00 feet to a point for corner;

S56°57'57"W, a distance of 73.30 feet to a point for corner;

S32°18'02"W, a distance of 53.50 feet to a point for corner;

S61°49'23"E, a distance of 203.40 feet to a point for corner;

S25°59'07"W, a distance of 228.60 feet to a point for corner;

S15°17'23"E, a distance of 115.00 feet to a point for corner;

S79°13'08"E, a distance of 122.52 feet to a 1/2" iron rod with yellow plastic cap stamped "4613" set for corner in the west line of Sanden Boulevard (a 110' R.O.W.);

THENCE S02°46'38"W, with the west line of Sanden Boulevard, a distance of 110.32 feet to a 1/2" iron rod with yellow plastic cap stamped "4613" set for corner;

THENCE N88°53'21"W, a distance 1619.63 feet to a 1/2" iron rod with yellow plastic cap stamped "4613" set for corner in the aforementioned east line of Lot 2, Block A, Wylie High School Addition;

THENCE N01°09'17"E, with the east line of said Lot 2, a distance of 1619.63 feet to the POINT OF BEGINNING and CONTAINING 1,647,353 square feet, or 37.818 acres of land.

BASIS OF BEARINGS:

Bearings, are derived from ALLTERRA CENTRAL RTK Network, Texas State CENTRAL RTK Network, Texas State Plane Coordinates Epoch 2002.0.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That the Wylie Independent School District, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as an Wylie I.S.D. CTE & Ag Center, Lot 1, Block A, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights of way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof. The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity of any time of procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS my hand, this the ____ day of _____, 2026.

Name: _____

Title: _____

Wylie Independent School District

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office this the ____ day of _____, 2026.

Notary Public in and for
the State of Texas

SURVEYOR'S CERTIFICATE
KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdukan, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

David J. Surdukan
Registration No. 4613

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared David J. Surdukan, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the ____ day of _____, 2026.

Notary Public in and for
the State of Texas

APPROVAL BLOCK

"RECOMMENDED FOR APPROVAL"

Chairman, Planning & Zoning Commission
City of Wylie, Texas

Date

"APPROVED FOR CONSTRUCTION"

Mayor, City of Wylie, Texas

Date

"ACCEPTED"

Mayor, City of Wylie, Texas

Date

"The undersigned, the City Secretary of the City of Wylie, Texas hereby certifies that the foregoing Plat of Wylie I.S.D. CTE & Ag Center, an addition to the City of Wylie, was submitted to the City Council on the ____ day of _____, 2026, and the Council, by formal action then and there accepted the dedication of right-of-ways, streets, easements and alleys, as shown and set forth in and upon said Plat, and said Council further authorized the mayor to note the acceptance thereof by signing his name as hereinabove subscribed."

Witness my hand this ____ day of _____, A.D., 2026.

City Secretary
City of Wylie

SHEET 2 OF 2
PRELIMINARY PLAT

WYLIE I.S.D.
CTE & AG CENTER
LOT 1, BLOCK A
37.818 Acres Situated In The
DUKE STRICKLAND SURVEY ~ ABST. 841
WYLIE, COLLIN COUNTY, TEXAS

Owner

Wylie Independent School District
951 South Ballard Avenue
Wylie, Texas 75098
Telephone 972 429-3000

Engineer

RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor

Surdukan Surveying, Inc.
PO Box 126
Anna, Texas 75409
Telephone 972 924-8200
Job No. 2024-08
May 21, 2026

NOTES:

Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.

According to Flood Insurance Rate Map Nos. 48085C0415L and 48085C0420A, both dated June 2, 2009, prepared by the Federal Emergency Management Agency (FEMA) for Collin County, Texas, this property is within Zone AE.

Appurtenance between the height of 2ft and 9ft may not be placed in the visibility triangles



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning Item Number: 1
 Prepared By: Kevin Molina

Subject

Consider, and act upon, a site plan amendment for W.I.S.D. CTE and AG Center, being on Lot 1, Block A of Wylie I.S.D. CTE & AG Center, for a school facility use on 37.818 acres. Property generally located at 1301 Hensley Lane.

Recommendation

Motion to **approve** as presented

Discussion

OWNER: Wylie Independent School District

APPLICANT: PBK

The applicant is proposing to amend the site plan of the Wylie Independent School District agricultural center located on Lot 1, Block A of Wylie I.S.D. CTE & AG Center addition for improvements to the WISD agricultural center and the construction of a new career and technical education building. The property is generally located at 1301 Hensley Road. The proposed uses are allowed by right within the current zoning of Agriculture (AG/30).

The property shall remain with existing agricultural barn structures which measure a total of 29,150 sf and will add an additional 10,342 sf show area, 5,880 sf pig barn, 2,988 sf green house and 43,235 sf career technical building.

A fire lane utility access easement is provided which loops around the entire site and shall connect to two points of access which lead to Hensley Lane.

There are 130 parking spaces provided with 10 being ADA accessible. The parking is in compliance with the requirements of the Zoning Ordinance.

Landscaping is provided throughout the new parking areas and a large portion of the green space along the northern and eastern boundaries shall remain. A total of 1,438,647 sf of open space is provided.

The civil plans for this development shall be required to prove that on-site detention was not appropriate for this development.

The exterior material of the new structure consists of brick and metal panels. Entrances are emphasized with canopies and recessed architectural features.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.



WYLIE ISD CTE & AG CENTER

1501 Highway 411 Wylie, TX 75098



100% CONSTRUCTION DOCUMENTS



CLIENT: Wylie Independent School District
 DATE: 02/05/24 PROJECT NUMBER: 200258

DRAWING HISTORY		
No.	Description	Date

CHECKED BY: MD
 DRAWN BY: KR, ST

SECTOR A SITE PLAN

AS101 (P&Z)

GENERAL SITE PLAN NOTES

- REFER TO CIVIL DOCUMENTS.
- COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL, LANDSCAPE, AND/OR STRUCTURAL DOCUMENTS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 1% MINIMUM, 2% MAXIMUM AT ALL EXTERIOR PAVED PROJECTION AREAS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, PATIOS, STAIRS, PAVING, ETC.
- PROVIDE AND INSTALL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 2% FOR A HORIZONTAL DISTANCE OF 10 FEET AT ALL EXTERIOR NON-PAVED AREAS UNLESS NOTED OTHERWISE.
- REFER TO CIVIL DOCUMENTS FOR CONCRETE SIDEWALK EXPANSION JOINTS AND CONCRETE SIDEWALK CONTROL JOINTS.
- VERIFY AND CORRECT ALL JOINT LAYOUTS AT ALL CONCRETE SIDEWALKS WITH ARCHITECT PRIOR TO POURING OF CONCRETE.
- PROVIDE AND INSTALL CONCRETE SIDEWALK EXPANSION JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT 20 FEET ON-CENTER MAX. UNLESS NOTED OTHERWISE.
- PROVIDE AND INSTALL CONCRETE SIDEWALK CONTROL JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT DISTANCES EQUIVALENT TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET ON-CENTER MAX.
- VERIFY ALL SITE SIGNAGE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION OF SITE SIGNAGE.

KEYNOTE LEGEND

NUMBER	DESCRIPTION

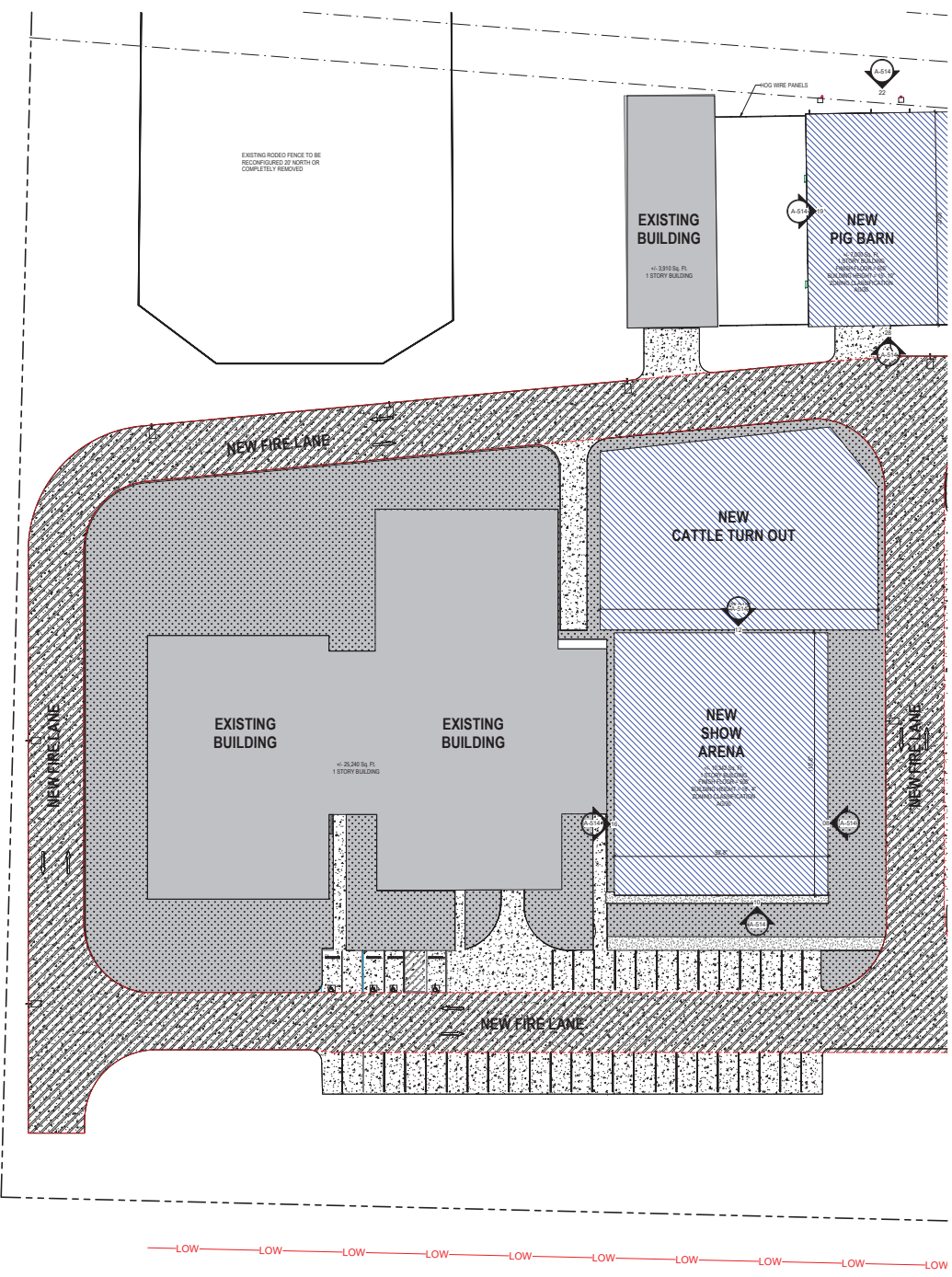
GATE SCHEDULE

MARK	SIZE		MATERIAL	HANDMADE SET	REMARKS
	W	H			
G01	2'-0"	8'-0"	Metal - Chain Link	2000	MANUAL OPERATION
G02	8'-0"	8'-0"	Metal - Chain Link	2000	MANUAL OPERATION
G03	8'-0"	8'-0"	Metal - Chain Link	2000	MANUAL OPERATION
G04	14'-0"	8'-0"	Metal - Chain Link	0000	MANUAL OPERATION
G05	8'-0"	8'-0"	Metal - Chain Link	2715K	MANUAL OPERATION
G06	8'-0"	8'-0"	Metal - Chain Link	2000	MANUAL OPERATION
G07	8'-0"	8'-0"	Metal - Chain Link	2000	MANUAL OPERATION
G08	8'-0"	8'-0"	Metal - Chain Link	0000	MANUAL OPERATION
G09	8'-0"	8'-0"	Metal - Chain Link	2000	MANUAL OPERATION
G10	14'-0"	8'-0"	Metal - Chain Link	0000	MANUAL OPERATION
G11	8'-0"	8'-0"	Metal - Chain Link	0000	MANUAL OPERATION
G12	8'-0"	8'-0"	Metal - Chain Link	2715K	MANUAL OPERATION
G13	8'-0"	8'-0"	Metal - Chain Link	0000	MANUAL OPERATION
G14	14'-0"	8'-0"	Metal - Chain Link	0000	MANUAL OPERATION
G15	14'-0"	8'-0"	Metal - Chain Link	0000	MANUAL OPERATION

SITE PLAN LEGEND

	EXISTING BUILDING		NEW BUILDING
	EXISTING SOD		NEW SOD
	EXISTING SIDEWALK		NEW SIDEWALK
	EXISTING DRIVE		NEW DRIVE
	NOT IN SCOPE		FIRE LANE
	GRAVEL		LIGHT POLE
	PROPERTY LINE		CHAIN LINK FENCE
	EASEMENT LINE		ORNAMENTAL FENCE

-LOW- LIMIT OF WORK

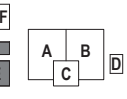


SECTOR A SITE PLAN (P&Z) (SCALE) UNLESS INDICATED



WYLIE ISD CTE & AG CENTER
1501 Westway Ln., Wylie, TX 75098

100% CONSTRUCTION DOCUMENTS



CLIENT		
Wylie Independent School District	DATE: 2/20/2024	
PROJECT NUMBER: 230358		
DRAWING HISTORY		
No.	Description	Date
1	Issued for P	2/20/24
2	Revised for P	2/20/24
3	Issued for P	2/20/24
4	Issued for P	2/20/24
5	Issued for P	2/20/24
6	Issued for P	2/20/24
7	Issued for P	2/20/24
8	Issued for P	2/20/24
9	Issued for P	2/20/24
10	Issued for P	2/20/24
11	Issued for P	2/20/24
12	Issued for P	2/20/24
13	Issued for P	2/20/24
14	Issued for P	2/20/24
15	Issued for P	2/20/24
16	Issued for P	2/20/24
17	Issued for P	2/20/24
18	Issued for P	2/20/24
19	Issued for P	2/20/24
20	Issued for P	2/20/24
21	Issued for P	2/20/24
22	Issued for P	2/20/24
23	Issued for P	2/20/24
24	Issued for P	2/20/24
25	Issued for P	2/20/24
26	Issued for P	2/20/24
27	Issued for P	2/20/24
28	Issued for P	2/20/24
29	Issued for P	2/20/24
30	Issued for P	2/20/24
31	Issued for P	2/20/24
32	Issued for P	2/20/24
33	Issued for P	2/20/24
34	Issued for P	2/20/24
35	Issued for P	2/20/24
36	Issued for P	2/20/24
37	Issued for P	2/20/24
38	Issued for P	2/20/24
39	Issued for P	2/20/24
40	Issued for P	2/20/24
41	Issued for P	2/20/24
42	Issued for P	2/20/24
43	Issued for P	2/20/24
44	Issued for P	2/20/24
45	Issued for P	2/20/24
46	Issued for P	2/20/24
47	Issued for P	2/20/24
48	Issued for P	2/20/24
49	Issued for P	2/20/24
50	Issued for P	2/20/24
51	Issued for P	2/20/24
52	Issued for P	2/20/24
53	Issued for P	2/20/24
54	Issued for P	2/20/24
55	Issued for P	2/20/24
56	Issued for P	2/20/24
57	Issued for P	2/20/24
58	Issued for P	2/20/24
59	Issued for P	2/20/24
60	Issued for P	2/20/24
61	Issued for P	2/20/24
62	Issued for P	2/20/24
63	Issued for P	2/20/24
64	Issued for P	2/20/24
65	Issued for P	2/20/24
66	Issued for P	2/20/24
67	Issued for P	2/20/24
68	Issued for P	2/20/24
69	Issued for P	2/20/24
70	Issued for P	2/20/24
71	Issued for P	2/20/24
72	Issued for P	2/20/24
73	Issued for P	2/20/24
74	Issued for P	2/20/24
75	Issued for P	2/20/24
76	Issued for P	2/20/24
77	Issued for P	2/20/24
78	Issued for P	2/20/24
79	Issued for P	2/20/24
80	Issued for P	2/20/24
81	Issued for P	2/20/24
82	Issued for P	2/20/24
83	Issued for P	2/20/24
84	Issued for P	2/20/24
85	Issued for P	2/20/24
86	Issued for P	2/20/24
87	Issued for P	2/20/24
88	Issued for P	2/20/24
89	Issued for P	2/20/24
90	Issued for P	2/20/24
91	Issued for P	2/20/24
92	Issued for P	2/20/24
93	Issued for P	2/20/24
94	Issued for P	2/20/24
95	Issued for P	2/20/24
96	Issued for P	2/20/24
97	Issued for P	2/20/24
98	Issued for P	2/20/24
99	Issued for P	2/20/24
100	Issued for P	2/20/24

CHECKED BY: MD
DRAWN BY: KR,ST

LEVEL 1 - AREA E
FLOOR PLAN

A-101E

GENERAL ARCH PLAN NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTACT ARCH-IF CLARIFICATION IS NECESSARY IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS.
- DRAWINGS NOTED AS "N.T." OR "N.T." ARE NOT TO SCALE.
- ALL DIMENSIONS ARE TO STRUCTURAL COLUMN LINES OR THE SURFACE OF PARTITION ASSEMBLY UNLESS NOTED OTHERWISE.
- VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS BEFORE COMMENCING WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- NOTES OR DIMENSIONS NOTED AS "TYPICAL" OR "TYP." OR "TYP." SHALL APPLY TO CONDITIONS THAT ARE THE SAME OR SIMILAR.
- DIMENSIONS NOTED AS "FIELD VERIFY" OR "V.F." OR "V.P." SHALL BE MEASURED AND CONFIRMED AT THE PROJECT SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCHITECT BEFORE INCORPORATING INTO THE WORK.
- DIMENSIONS NOTED AS "CLEAR" OR "CLEAR INSIDE" OR "C.I.P." REQUIRE SPECIFIC COORDINATION AMONG DISCIPLINES AND/OR MANUFACTURERS.
- REFER TO PARTITION TYPES ON A-B-D SERIES SHEETS.
- ALL INTERIOR PARTITIONS THIS SHEET EXCEPT FOR FURS-OUT PARTITIONS, SHALL BE PARTITION TYPE: UNO.
- ALL INTERIOR FURS-OUT PARTITIONS THIS SHEET SHALL BE PARTITION TYPE: F3 UNO.
- ADJACENT FURS-OUT WALLS WHERE WALL PARTITIONS OF DIFFERING THICKNESS ABUT AND OR ADJOIN IN THE SAME PLANE.
- ADJACENT FURS-OUT WALLS WHERE WALL PARTITIONS OF DIFFERING THICKNESS ABUT AND OR ADJOIN MASONRY WALL PARTITIONS IN THE SAME PLANE.
- ALL INTERIOR MASONRY WALLS SHALL HAVE BALANCE JOINTS.
- ALL DOORS SHALL BE SET 4 INCHES OFF THE ADJACENT PERPENDICULAR WALL ON THE HINGED SIDE OF THE DOOR UNLESS NOTED OTHERWISE. COMPASS SHALL HAVE BALANCE JOINTS BUT NOT LIMITED TO COMPACTS CONCERNING ACCESSIBILITY STANDARDS.
- ALL FLOOR THRESHOLDS AT ALL EXTERIOR DOORS SHALL BE SET IN FULL BED OF SEALANT.
- COORDINATE ALL ROOF DRAIN LEADER LOCATIONS WITH FLOOR PLAN PRIOR TO FLOOR SLAB CONSTRUCTION.
- ALL FLOOR BLOBS TO FLOOR DRAINS SHALL NOT EXCEED 1/8".
- PROVIDE AND INSTALL JOIST BRACING UNDERLAMENT WHERE BEYOND FLOOR SLAB EXISTS PRIOR TO INSTALLATION OF FLOOR FINISHES.
- COORDINATE HOSE REELING LOCATIONS AND DIMENSIONS WITH EQUIPMENT TO BE INSTALLED.
- ALL REQUIRED ACCESSIBLE CLEARANCES FOR ALL ITEMS, INCLUDING BUT NOT LIMITED TO ALL COUNTERTOPS, ALL PLUMBING FITTINGS, ALL DRINKING FOUNTAINS, ALL ELECTRIC WATER COOLERS, ALL LAVATORIES, ALL URINALS, ALL TOILETS SHALL BE STRICTLY ENFORCED.
- VERIFY RETURNINGS CORRESPOND TO ALL CONCEALED STRUCTURAL STEEL MEMBERS AT ALL EXTERIOR CANOPY LOCATIONS.
- REFER TO OTHER DISCIPLINE DOCUMENTS FOR ADDITIONAL SCOPE OF WORK.

EXTERIOR MATERIALS LEGEND

- CMU-01 SPLIT FACE BLOCK
- PBR METAL ROOF PANEL

KEYNOTE LEGEND

NUMBER	DESCRIPTION
02 42 13.MRP01.1	INSULATED METAL WALL PANEL, MWP-01, L, EXPOSED FASTENER, GABLE END
02 61 00.PBR01.1	INSULATED METAL ROOF PANEL, PBR-01, GALVALUMINE

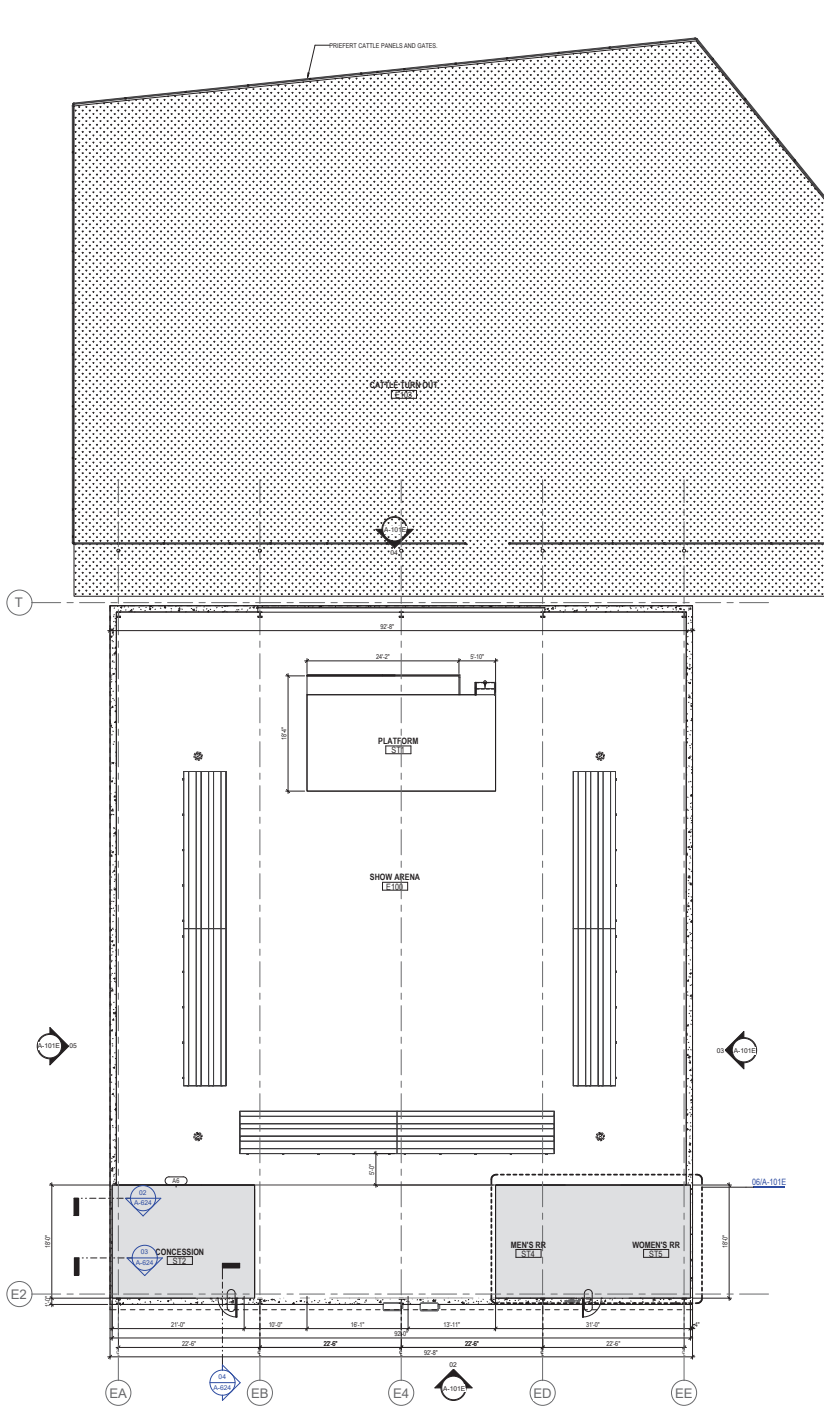
FLOOR PLAN LEGEND

- 10 65 14.MPSM METAL SHELVING, 72" H
- 10 44 66.FER FIRE EXTINGUISHER CABINET
- 11 08.BSP PORCELAIN PANEL MANDERBOARD
- 10 43 66.AED AUTOMATED EXTERNAL DEFIBRILLATOR
- 10 11 66.TRB TRUSSBOARD
- 11 52 66.PCF PROTECTIVE CEILING MOUNTED (P-CM)
- CARD READER REFER TO TECHNOLOGY
- LV AUTOMATIC OPERATOR REFER TO TECHNOLOGY

FLOOR FINISH LEGEND

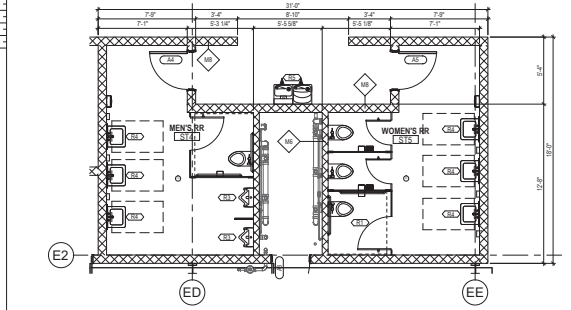
- SSF-01 GRADED CONCRETE
- LVT-01 LVT/LVT
- VF-01 HOMOGENOUS SHEET VINYL
- CPT-01 CABRET
- SSF-01 Static Dissipative Flooring

NOTE: PATTERNS ARE FOR REPRESENTATION ONLY, NOT FOR INSTALLATION.

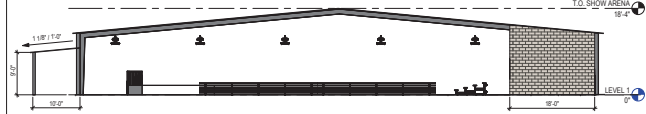


01 LEVEL 1 - AREA E - FLOOR PLAN - ARENA
1/8" = 1'-0"

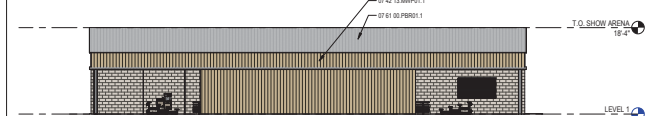
LEVEL 1 - AREA E FLOOR PLAN
FOR REFERENCE ONLY



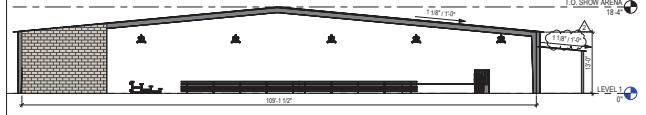
06 LEVEL 1 - AREA E - ENLARGED RESTROOM PLAN
1/4" = 1'-0"



05 ARENA - WEST ELEVATION
3/32" = 1'-0"



04 ARENA - SOUTH ELEVATION
3/32" = 1'-0"



03 ARENA - EAST ELEVATION
3/32" = 1'-0"

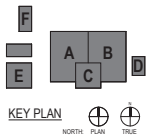


02 ARENA - NORTH ELEVATION
3/32" = 1'-0"



WYLIE ISD CTE & AG CENTER
1501 Highway 61, Wylie, TX 75086

PLANNING AND ZONING



CLIENT		
Wylie Independent School District		
DATE	PROJECT NUMBER	
02/05/2024	202558	
DRAWING HISTORY		
No.	Description	Date
CHECKED BY: Checker		
DRAWN BY: Author		

OVERALL EXTERIOR ELEVATIONS P&Z

A-513

GENERAL ELEVATION NOTES

1. ALL BUILDING EXPANSION JOINT TO BE 1" UNLESS OTHERWISE NOTED.
2. CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
3. 1/2" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL LANTER ANGLES.
4. EXPOSED EXTERIOR STRUCTURAL STEEL LUGS MEMBERS SHALL BE PAINTED P.B.
5. STEEL MASONRY LANTER SHALL BE GALVANIZED.
6. EXPOSED CONCRETE WALLS, COLUMNS, AND BEAMS SHALL BE RUBBED GROUT FINISH.
7. MASONRY WEIR AT 18" O.C. MAXIMUM.
8. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH END DAMS.
9. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKFILLERS WITH CONTINUOUS PERIMETER ALUMINUM ANGLE.
10. FLEXIBLE MEMBRANE FLASHING AT WINDOWS, SILLS AND LANTERS SHALL HAVE PRE-FORMED END DAMS.
11. MASONRY VENEER CONTROL JOINTS SHALL BE 3/8" AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 3'-7" FROM OUTSIDE CORNERS, AND AT 33'-0" O.C. MAXIMUM. UNLESS NOTED OTHERWISE, REFERENCE EXTERIOR ELEVATION PANEL.
12. OUTSIDE CORNERS, CONNECTIONS, AND DOWNSPOUTS SHALL BE PRE-FINISHED SHEET METAL, COLOR SELECTED BY ARCHITECT.
13. DOWNSPOUTS SHALL BE 1/2" GALVA PRE-FINISHED DOWNPOUT BOOTS 10'-0" ABOVE FINISH GRADE. CO-OR SELECTED BY ARCHITECT.
14. DOWNSPOUTS AND/OR ROOF DRAINS SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE CIVIL FOR STORM DRAIN CONNECTION DETAILS AND LOCATION.
15. CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. INCLUDE A 2'x2' WINDOW MOCK-UP. MOCK-UP SHALL INCLUDE METAL FLASHING, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHING, AND WINDOW METALLATIONS AS DETAILED IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 6" TALL x 16" LONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.
16. REFER TO STRUCTURAL SHEETS S301 AND S401 FOR ADDITIONAL COORDINATION INFORMATION FOR CONCRETE REINFORCEMENT AND CONTROL JOINT PLACEMENT.
17. REFER TO 1105-401 FOR ADDITIONAL COORDINATION INFORMATION FOR LOOSE MASONRY LANTERS WITH METAL STUD OR CIVIL BACKUP.
18. REFER TO SHEET S401 UNDER THE MASONRY NOTES HEADING FOR ADDITIONAL COORDINATION INFORMATION FOR MASONRY CONTROL JOINT PLACEMENT.

EXTERIOR MATERIALS LEGEND

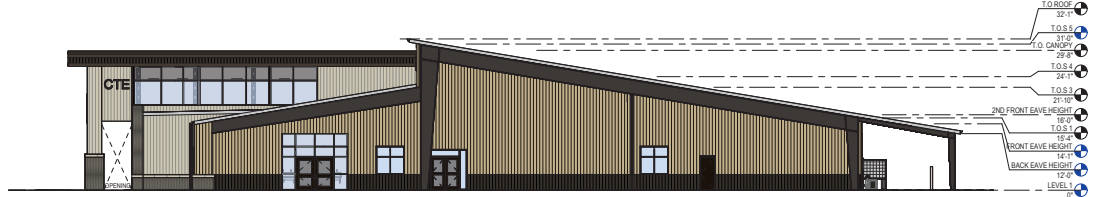
	MWP-01 METAL WALL PANEL		WL CAST IN PLACE CONCRETE WALL
	MWP-02 METAL WALL PANEL		CMU-01 CONCRETE MASONRY UNIT
	MWP-03 METAL WALL PANEL		BK-01 RUNNING BOND BRICK
	SSR-01 STANDING SEAM ROOF PANEL		BK-02 RUNNING BOND BRICK
	PFR-01 PER PANEL		CS-01 CAST STONE (CORDOVA STONE)



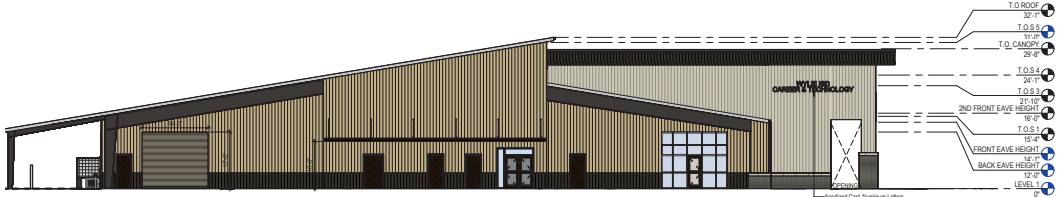
04 PLAN SOUTH ELEVATION P&Z
3/32" = 1'-0"



03 PLAN NORTH ELEVATION P&Z
3/32" = 1'-0"



02 PLAN EAST ELEVATION P&Z
3/32" = 1'-0"



01 PLAN WEST ELEVATION P&Z
3/32" = 1'-0"

OVERALL EXTERIOR ELEVATIONS P&Z
A-513
FOR BLUEPRINT LABELING ONLY



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 2

Subject

Hold a Public Hearing to consider, and act upon a recommendation to City Council regarding a change of zoning from Neighborhood Services (NS) to Neighborhood Services - Special Use Permit (NS-SUP), to allow for convenience store and motor vehicle fueling station use on 3.53 acres generally located on the northeast corner of Country Club and Park Blvd. (ZC2026-06)

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: ADC Industrial LLC

APPLICANT: ADC Industrial LLC

The applicant is requesting a Special Use Permit (SUP) on 3.53 acres to allow for a 5,000 square foot convenience store with fueling stations located on the northeast corner of Country Club and Park Blvd. The current zoning is Neighborhood Services (NS) and the Special Use Permit is required to allow for the proposed uses.

The Zoning Exhibit (Exhibit B) depicts the general location of the proposed use while also showing the potential development of two additional retail structures along Country Club Road.

The request shall only allow for a singular convenience store and fueling station to be generally developed in "Building 1" as shown on the Zoning Exhibit (Exhibit B).

The Special Use Permit development standards allow for the fueling station, convenience store, and a 300' distance waiver from public schools for the sale of beer, wine and smoking products. The sale of smoking products shall be limited to cigarettes and cigars. The sale of e-cigarettes, vape cartridges, CBD or THC smokable or edible products shall be prohibited.

If approved, a site plan submittal shall be required for the review of site, landscaping, elevations and preliminary engineering design. A plat which dedicates utility and fire lane easements shall be required prior to any Certificate of Occupancy being approved.


The property to the west is developed with the Wylie United Methodist Church. The property to the north is developed with the Birmingham Farms Single Family Planned Development (PD 2002-38). The property to the east is developed with Goddard School of Wylie and zoned Neighborhood Services. The property to the south is undeveloped and zoned Neighborhood Services. The closest motor fueling station with a convenience store is located south at Country Club and Brown Street. The site is located in the Local Commercial sector of the future land use map and is consistent with land use classification of the comprehensive plan.

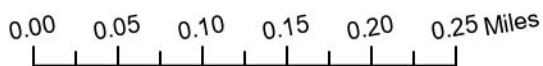
Notices were sent to fifteen property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor and two received in opposition of the request.

Locator Map



ZONING CASE:
ZC 2026-06 Keles Convenience Store and Gas

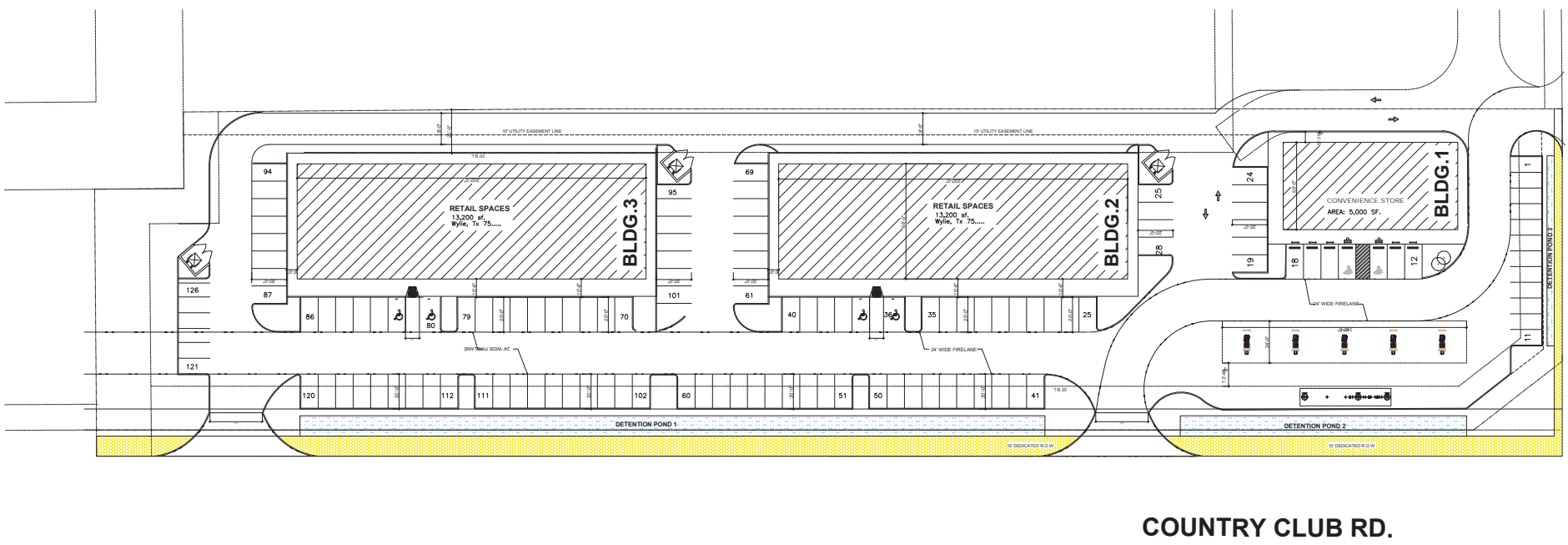
 SUBJECT property



Date: 5/11/2026

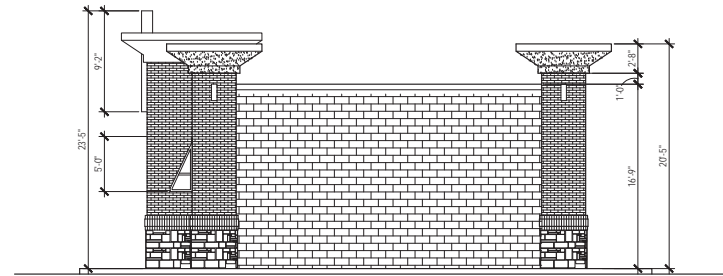
COMPILED BY: G STAFFORD



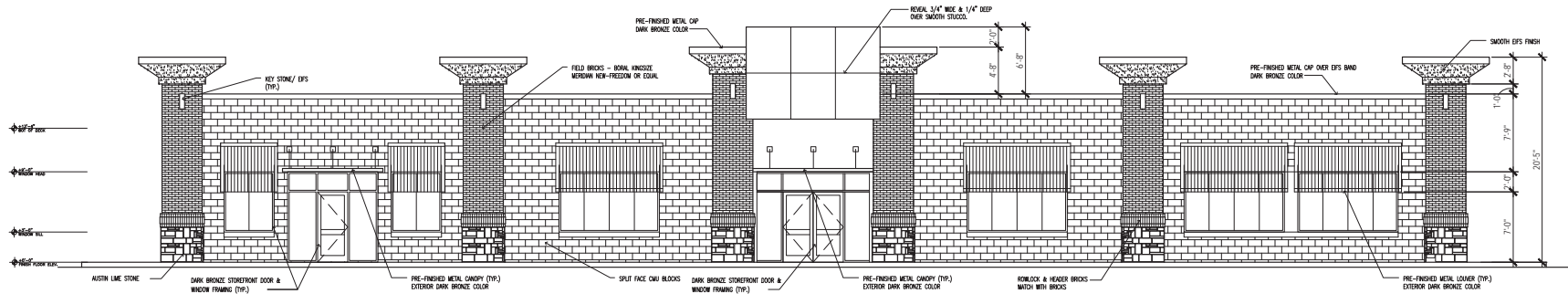


PARK BOULEVARD

COUNTRY CLUB RD.



2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



1 WEST ELEVATION
SCALE: 3/16" = 1'-0"

OWNER'S NAME
Kales Group Inc.
3815 Blossom Dr.
Sachse, TX 75048
Ph: (469)996-1363

PROJECT NAME
COUNTRY CLUB FOOD MART
XXXXXXXXXX
Wylie, TX 75088

REVISIONS

ARCHITECT OF THE RECORD:
Fahad Alkhatib & Associates, Inc.
Oculus Architects, Inc.
14201 West Branch Rd.
North Platte, NE 68901
Tel: 402-238-9991

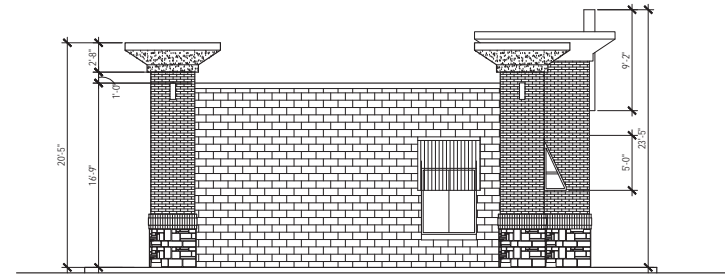
amazing concept
residential & commercial projects
506 Country Club, TX 75088
Tel: 407-864-8671
E-mail: am.ahmed@amazingconcept.com

SHEET TITLE:
EXTERIOR ELEVATIONS

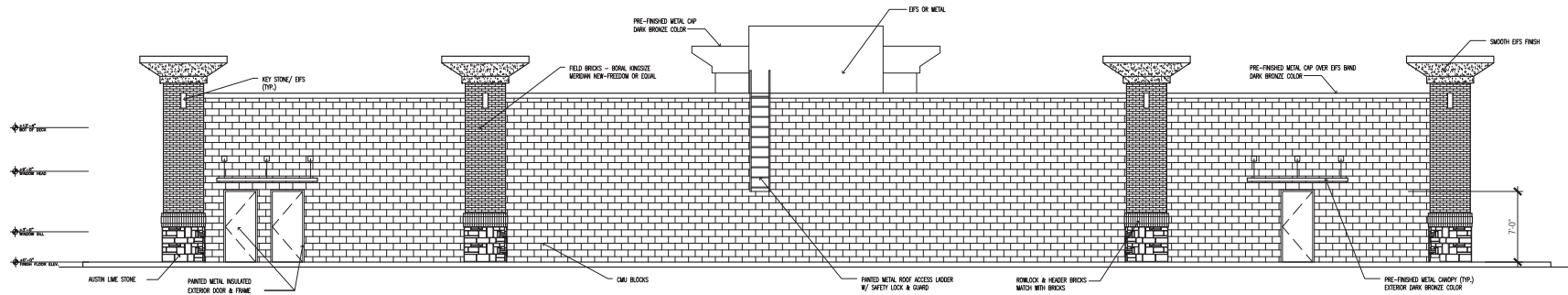
DATE:	SCALE:
09-29-2020	AS SHOWN
DRAWN:	DESIGNED:
A. HELLALUZZARBA	A. HELLALUZZARBA

PROJECT #
H-2020-06
SHEET NO.
A501

PRELIMINARY, NOT FOR CONSTRUCTION



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



1 EAST ELEVATION
SCALE: 3/16" = 1'-0"

OWNER'S NAME
Keles Group Inc.
3815 Blossom Dr.
Sachse, TX 75048
Ph: (469)996-1363

PROJECT NAME
COUNTRY CLUB FOOD MART
XXXXXXXXXX
Wylie, TX 75088

REVISIONS

ARCHITECT OF THE RECORD:
Fahradin Khondakari AIA, NCARB
Oculus Architects, Inc.
1420 West Branch St.
North Platte, NE 68901
Tel: 402-238-1951

amazing concept
residential & commercial projects
506 Colorado Drive, TX 75075
Tel: 409-244-6671
E-mail: amazingconcept@gmail.com

SHEET TITLE:
EXTERIOR ELEVATIONS

DATE:	SCALE:
09-29-2020	AS SHOWN
DRAWN:	DESIGNED:
A. HELLALUZZARANI	A. HELLALUZZARANI

PROJECT #
H-2020-06
SHEET NO.
A502

PRELIMINARY, NOT FOR CONSTRUCTION

EXHIBIT “C”
Conditions for Special Use Permit

I. PURPOSE

The purpose of this Special Use Permit is to allow for a motor fueling station with a convenience store use within a commercial retail development.

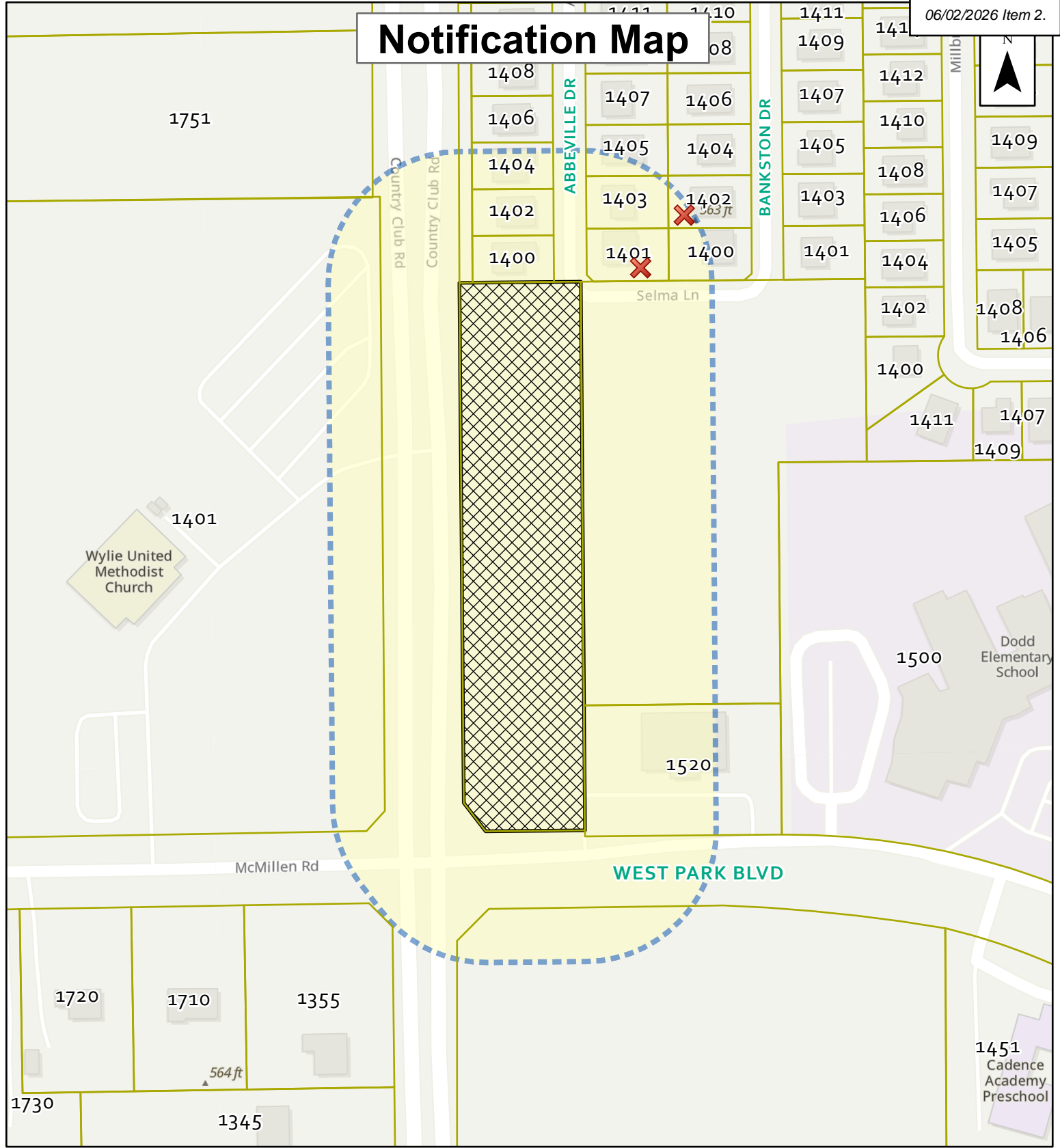
II. GENERAL CONDITIONS

1. The base zoning for the property, as depicted in the zoning exhibit, shall be Neighborhood Services (NS).
2. The Special Use Permit shall not affect any regulations of the Neighborhood Services (NS) design standards, as provided in Article 4 and 5 of the City of Wylie Zoning Ordinance as adopted June 2023; except as specifically provided herein.
3. The design and development of the Keles Fueling Station and Convenience Store shall be in accordance with Section II below and the Zoning Exhibit (Exhibit “B”).

III. SPECIAL CONDITIONS

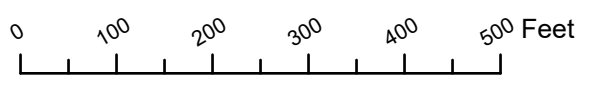
1. The following listed uses as defined in Articles 5 and 7 of the Zoning Ordinance (adopted as of June 2023) shall be allowed by-right on Lot 1, as depicted in the Zoning Exhibit (Exhibit “B”), only:
 - a. Fueling Station
 - b. Convenience Store
 - c. Beer and Wine Sales with a waiver to the 300’ distance requirements from a public school.
 - d. Smoking product sales: limited to cigarettes & cigars with a waiver to the 300’ distance requirement from a public school.
 - i. The total floor area allowed for the sale of smoking products is limited to 100 sqft and shall not be openly accessible to the general public.
 - ii. The sale of e-cigarettes, vape cartridges, CBD or THC smokable or edible products shall be prohibited.

Notification Map



ZONING CASE:
 ZC 2026-06 Keles Convenience Store and Gas

 SUBJECT property  200 foot Notification Buffer



Date: 5/11/2026

COMPILED BY: G STAFFORD





Public Comment Form

First Name *

Julie

Middle Name

Ann

Last Name *

John

Address *

Street Address

1401 Abbeville Drive

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2026-06 NEC of Country Club & Park Blvd.

Response *

- I am FOR the requested zoning as explained on the public notice
- I am AGAINST the requested zoning as explained on the public

Comments

Totally against. There is a 7-11 and beer/wine shop several blocks down. We don't need more. Turn it into park g with trees and benches for Dodd Park. Parking is horrendous in Selma and Abbeville when park is being used.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Date of Signature

5/20/2026



Public Comment Form

First Name *

Shawn

Middle Name

Last Name *

Redd

Address *

Street Address

1402 Bankston Dr

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2026-06 NEC of Country Club & Park Blvd.

Response *

- I am FOR the requested zoning as explained on the public notice
- I am AGAINST the requested zoning as explained on the public

Comments

We don't need more gas stations this close to the beighborhood and school. Also, it is too close to the park where our kids play every day. You're just inviting more problems rather than solving our current problems.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

5/17/2026



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning Item Number: 3
 Prepared By: Kevin Molina

Subject

Hold a Public Hearing to consider, and act upon a recommendation to City Council regarding a change of zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP), to allow for a minor auto repair use on 1.275 acres located at 7940 E Parker Road. **(ZC2026-05)**

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: Littles Academy LLC

APPLICANT: Parker European Car Care

The applicant is requesting a Special Use Permit (SUP) on 1.275 to allow for a 4,875 square foot automobile repair development on Lot 1, Block A of Stone 2514 Addition, located at 7940 E Parker Road. The current zoning is Commercial Corridor (CC) and the Special Use Permit is needed to allow for an automobile minor repair use.

The Special Use Permit is requesting to allow for service and loading areas to face Parker Road. In an effort to lessen the visual impact, additional landscaping is provided along the frontage of the property. The Special Use Permit request is also allowing for the use of an existing 2,400 sf metal frame building to remain as an accessory structure on the condition that the structure is not used for business operations and is subject to all zoning, city, and building code regulations.

The subject property is adjacent to land outside of the city limits to the north and to the west which is zoned agricultural. The land to the east is zoned agricultural and the land to the south is zoned within a residential planned development. There is approximately 140' of spacing from the main building to the adjacent residential Planned Development.

The subject property lies within the Low-Density sector of the Comprehensive Land Use Plan. The current zoning of the property being Commercial Corridor is not consistent with the land use plan. The rezoning of the property to Commercial Corridor was approved in September of 2020 at the time when the previous Comprehensive plan was active and had the land within the General Urban Sector which primarily supported retail, service, office, light production and research/development uses.


If approved, a site plan and plat submittal shall be required for the review of site, landscaping, elevations, preliminary engineering, and easement design.

Notices were sent to ten property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request.

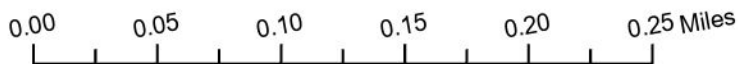
Locator Map



ZONING CASE:
ZC 2026-05 Parker European Car Care

 SUBJECT property

 Wylie City Limit



Date: 5/11/2026

COMPILED BY: G STAFFORD





INNOVA DESIGN GROUP, LLC
 JONATHAN ESTRADA
 1111 W. MCOPPOLE BLVD
 SUITE 100
 DALLAS, TX 75241
 TEL: 214.636.8800 FAX: 214.636.8801

PROJECT ADDRESS:
**7940 E. PARKER ROAD
 WYLIE, TX 75002**

NO.	DATE	DESC.
1	03.17.26	CITY REV.

NO.	DATE	DESC.
1	03.17.26	CITY REV.

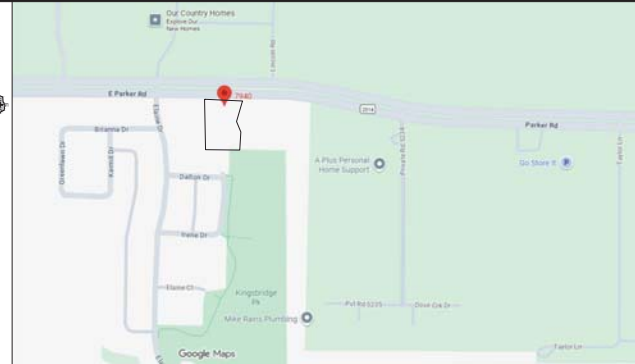
REVISIONS:
 NEW LIGHT MECHANIC AUTO SERVICE SHOP
 LOT 1, BLOCK A
 STONE 251A ADDITION
 LOT 1, BLOCK A

SCALE:
 1" = 20'-0"

DATE:
 03.17.26

SUP SITE PLAN
 A1.0

THESE PLANS ARE INTENDED TO PROVIDE INFORMATION TO THE PUBLIC AND TO THE CITY OF WYLIE. THE CITY OF WYLIE IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CITY OF WYLIE IS NOT PROVIDING ANY GUARANTEE, WARRANTY, OR REPRESENTATION OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CITY OF WYLIE IS NOT PROVIDING ANY GUARANTEE, WARRANTY, OR REPRESENTATION OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN. THE CITY OF WYLIE IS NOT PROVIDING ANY GUARANTEE, WARRANTY, OR REPRESENTATION OF THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

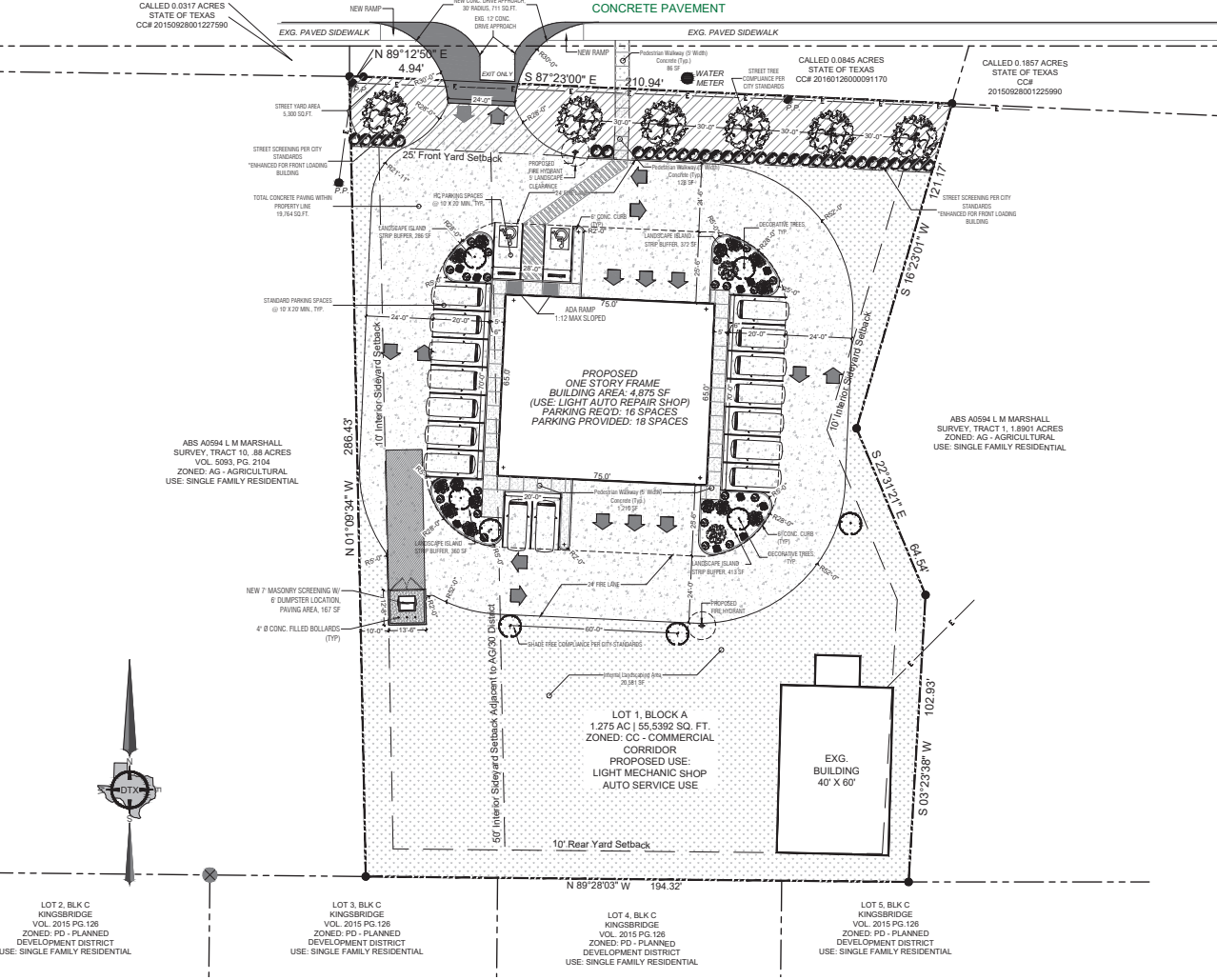


VICINITY MAP for reference only

SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	
ZONING:	CC - COMMERCIAL CORRIDOR
PROPOSED LAND USE:	LIGHT AUTO REPAIR (SUP)
LOT AREA (SQ. FT. (PER PLAT)):	55,539 SQ. FT. (1.275 ACRES)
BUILDING FOOTPRINT AREA:	4,875 SQ. FT.
AREA COVD BY CANOPY:	N/A
MAXIMUM BUILDING HT. (# STORIES):	1
MAXIMUM BUILDING HT. (FEET):	35'
LOT COVERAGE:	8.78%
FLOOR AREA RATIO:	1/11
PARKING TABULATIONS	
PARKING REQ'D (1:300):	18/25
PARKING PROVIDED:	18
ACCESSIBLE PARKING REQ'D:	1
ACCESSIBLE PARKING PROVIDED:	2
TOTAL PARKING PROVIDED:	18
LANDSCAPING AREAS (LS AREAS)	
LS AREA REQ'D (20% OF SITE):	11,108 SQ. FT.
STREET YARD AREA:	5,300 SQ. FT.
STREET YARD LS PROVIDED:	4,485 SQ. FT.
ISLAND LS PROVIDED:	1,451 SQ. FT.
INTERNAL LS PROVIDED:	20,581 SQ. FT.
TOTAL LS AREA PROVIDED:	26,497 SQ. FT.
PERMEABLE AREAS	
PERMEABLE AREAS:	0
PERMEABLE PAVEMENT:	0
OTHER PERMEABLE AREAS:	0
TOTAL PERMEABLE AREA:	0
IMPERVIOUS AREAS (WITHIN LOT)	
BUILDING AREA:	4,875 SQ. FT.
EXL. BUILDING AREAS:	2,576 SQ. FT.
PAVED WALKWAYS/ FLATWORK:	1,827 SQ. FT.
DRIVES, PARKING & OTHER:	19,764 SQ. FT.
TOTAL IMPERVIOUS AREA:	29,042 SQ. FT.
TOTAL AREA FOR OUTDOOR STORAGE: NONE	
TOTAL LS + IMPERVIOUS + OTHER:	55,539 SQ. FT.
LANDSCAPE AREA (%):	47.71%

- PRELIMINARY SITE PLAN NOTES**
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
 - HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENTLY ADOPTED INTERNATIONAL BUILDING CODE.
 - SIDEWALKS SHALL BE PROVIDED PER THE CITY DESIGN MANUAL IN THE PUBLIC RIGHT OF WAY UNLESS A SIDEWALK EASEMENT IS PROVIDED FOR A MEANDERING SIDEWALK OR AN ALTERNATIVE DESIGN IS APPROVED BY THE CITY.
 - BARRIER/FREE RAMPS, PER CITY STANDARDS, SHALL BE PROVIDED ON SIDEWALKS AT ALL CURB CROSSINGS.
 - ALL SIGNAGE CONTINGENT UPON APPROVAL BY BUILDING INSPECTIONS DEPT.
 - APPROVAL OF THE SITE PLAN IS NOT FINAL UNTIL ALL ENGINEERING PLANS ARE APPROVED.
 - OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
 - OUTDOOR LIGHTING SHALL COMPLY WITH ILLUMINATION STANDARDS WITHIN CITY ORDINANCE.
 - ALL PRIVATE ELECTRICAL TRANSMISSION, DISTRIBUTION, AND SERVICE LINES MUST BE UNDERGROUND.
 - USES SHALL CONFORM IN OPERATION, LOCATION, AND CONSTRUCTION TO THE FOLLOWING PERFORMANCE STANDARDS IN THE ZONING ORDINANCE, NOISE, SMOKE AND PARTICULATE MATTER, ODOROUS MATTER, FIRE OR EXPLOSIVE HAZARD MATERIAL, TOXIC AND NOXIOUS MATTER, VIBRATION, AND/OR OTHER PERFORMANCE STANDARDS.
 - ALL PROPOSED PAVING SHALL BE CONCRETE PER CITY OF WYLIE STANDARDS.
 - ANTICIPATED CONSTRUCTION START, JUNE, 2026.
 - FIRE LANES SHALL BE IN PLACE PRIOR TO ANY VERTICAL CONSTRUCTION.

**PARKER ROAD
 (F.M. 2514)
 VARIABLE WIDTH R.O.W.**



1 SITE PLAN
 Scale: 1" = 20'-0"
 0' 20' 40'

ZONING SPECIAL NOTE
 APPROVAL OF ZONING CASE ASSOCIATED WITH THIS EXHIBIT SHALL NOT IMPLY APPROVAL OF ANY ASSOCIATED STUDY, PLAT, OR PLAN, APPROVAL OF DEVELOPMENT STANDARDS SHOWN HEREON, OR THE INITIATION OF THE DEVELOPMENT PROCESS. PLANNING & ZONING COMMISSION AND/OR CITY COUNCIL ACTION ON STUDIES, PLATS, OR PLANS RELATING TO DEVELOPMENT OF THIS PROPERTY SHALL BE CONSIDERED AS AN ACTION SEPARATE FROM ACTION TAKEN ON THIS ZONING CASE.

EXHIBIT "C"**CONDITIONS FOR SPECIAL USE PERMIT****I. PURPOSE**

1. The purpose of this Special Use Permit is to allow for an automobile repair (minor) use within the Commercial Corridor District.

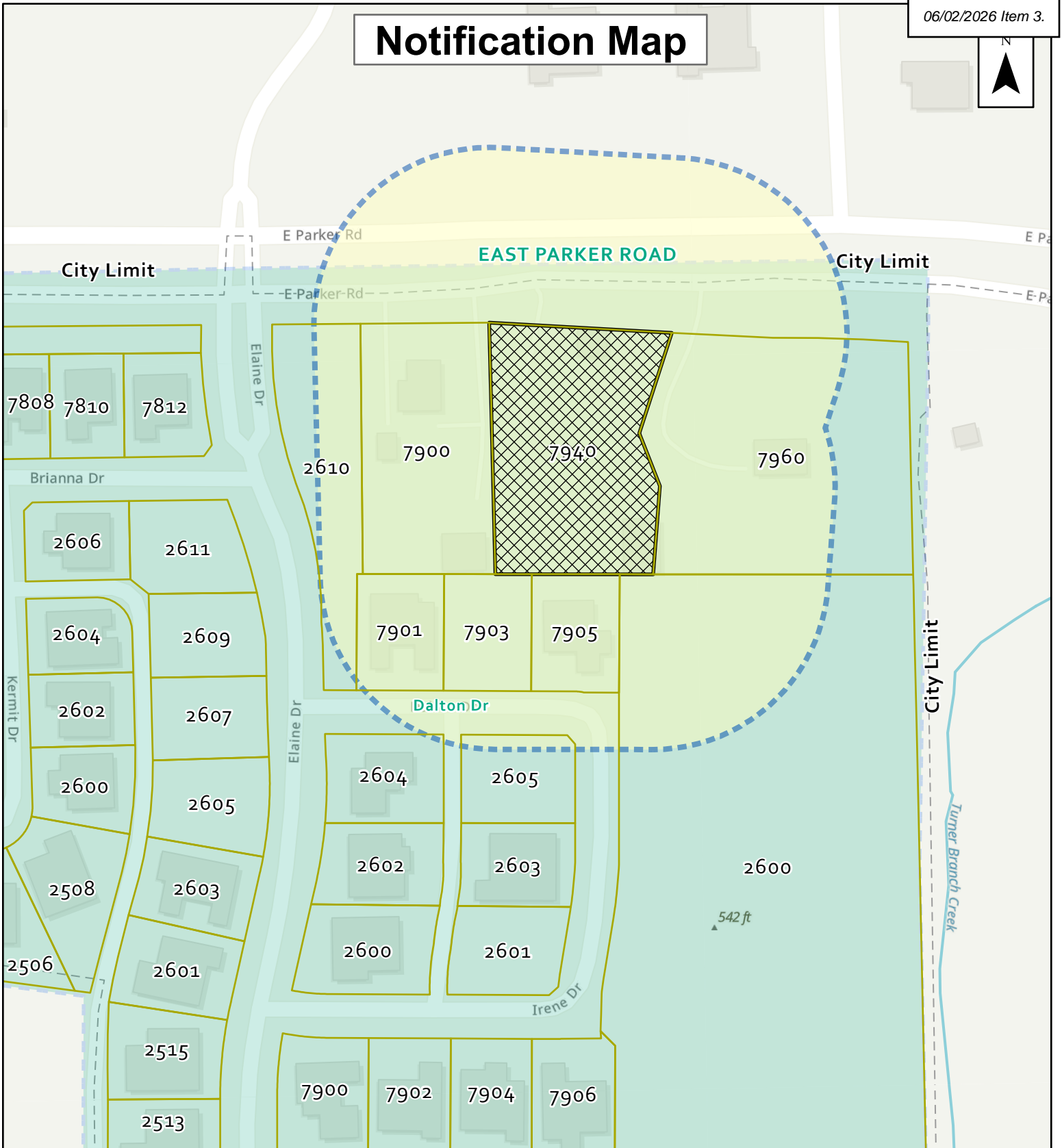
II. GENERAL CONDITIONS

1. This Special Use Permit shall not affect any regulations of the Commercial Corridor District (CC) set forth in Articles 4 and 5 of the Comprehensive Zoning Ordinance (adopted June 2023), except as specifically provided herein.
2. The design and development of the Parker European Car Care project shall be in accordance with Section III below and the Zoning Exhibit (Exhibit "B").

III. SPECIAL CONDITIONS

1. This Special Use Permit shall allow for an automobile repair (minor) use within the Commercial Corridor District.
2. This Special Use Permit shall allow for service and loading areas facing Parker Road, with landscaping provided in accordance with Zoning Exhibit "B".
3. The existing metal building with metal frame located on the subject property as identified in Exhibit "D", shall be considered legally nonconforming and shall be permitted to be used as an accessory structure. No business operations shall be allowed within the structure. This condition does not grant the structure nor the property any other exemptions from zoning or city ordinances, nor the building code.

Notification Map



ZONING CASE:

ZC 2026-05 Parker European Car Care



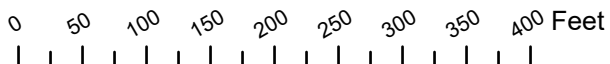
SUBJECT property



Wylie City Limit

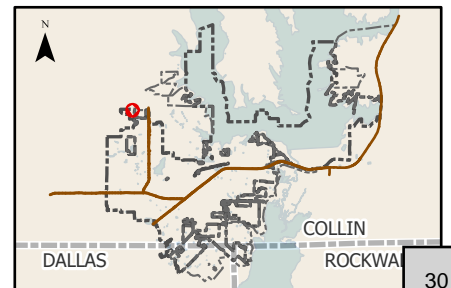


200 foot Notification Buffer



Date: 5/11/2026

COMPILED BY: G STAFFORD



Parker European Car Care

Premium European Auto Repair
Facility

Architectural Concept Package for
City Submission

Project Highlights

- Modern upscale automotive repair facility designed to enhance Parker Road.
- Large premium glass roll-up drive-through service bays.
- Contemporary architecture with professional landscaping.
- Clean and organized site layout with excellent traffic circulation.
- Dealer-quality service environment for European vehicles.
- Designed to positively contribute to the surrounding commercial corridor.



PARKER EUROPEAN CAR CARE

PREMIUM AUTO REPAIR FACILITY

- EXPERT TECHNICIANS
- DEALER QUALITY WITHOUT DEALER PRICES
- LATEST DIAGNOSTIC EQUIPMENT
- EUROPEAN CAR SPECIALISTS

AUTO REPAIR
Dealer Quality Without Dealer Prices

1. FRONT ELEVATION



2. REAR ELEVATION



3. LEFT SIDE ELEVATION



4. RIGHT SIDE ELEVATION



5. PERSPECTIVE FRONT VIEW



6. PERSPECTIVE REAR VIEW



7. AERIAL VIEW



8. SITE PLAN



9. VIEW FROM PARKER'S ROAD



10. CORNER VIEW FROM PARKER'S ROAD



11. NIGHT VIEW (FRONT ELEVATION)



Thank You

- Thank you for reviewing the Parker European Car Care architectural concept package.
- Our goal is to develop a clean, modern, and visually appealing facility that enhances the Parker Road corridor while providing high-quality automotive services to the community.
- We respectfully request approval of this permit submission.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning Item Number: 4
 Prepared By: Kevin Molina

Subject

Hold a Public Hearing to consider, and act upon, a recommendation to City Council amending Zoning Ordinance (2023-23), Article 5, Sections 5.1 Land Use Charts, 5.2 Listed Uses, and Article 7 General Development Regulations, as they relate to existing and new proposed listed uses. (**ZC 2026-04**)

Recommendation

Motion to recommend **approval** as presented.

Discussion

Planning Staff held a worksession with the Planning and Zoning Commission in March of 2026 and with City Council in April of 2026 to discuss recommended changes to the Zoning Ordinance related to existing uses and new proposed uses.

After a staff presentation and some discussion, the Commission and City Council directed staff to draft a Zoning Ordinance amendment. Those amendments are summarized below. The full text amendments are attached as Exhibit B.

The recommended changes are as follows:

1. Removed all listed drive through uses found in the land use chart on Section 5.1 and defined in Section 5.2 to create a consolidated Drive-Through Service section within Section 7.12 of the Zoning Ordinance which contains the following general provisions:
 - a. Require all drive-through uses after the date of this ordinance to obtain a Special Use Permit
 - b. Comply with a minimum stacking space for the first vehicle stop for commercial drive-through of 100 feet, and a minimum of 40 feet for any other stops.
 - c. Drive-Through stacking area shall not be adjacent to residential uses
 - d. The General Provision regarding Alcohol Provisions listed in Section 7.10 shall apply
2. Added new unlisted uses to Section 5.1 and Section 5.2 of the Zoning Ordinance (Event Center, Drone Delivery Station, Data Center).
 - a. Event Center shall be allowed by right within the Light Industrial and Downtown Historic districts and only by Special Use Permit within the Community Retail and Commercial Corridor districts. The following requirement shall apply:
 - i. Shall be required 1 parking space for every 100 sqft of occupied building area
 - ii. Shall provide security at every event where alcoholic beverages are provided or served.
 - iii. Shall not be located within 500' of the property line of a residentially zoned property.
 - b. Drone Delivery Station shall be allowed by right within the Light Industrial and Heavy Industrial districts and only by Special Use Permit within the Community Retail and Commercial Corridor districts. The following requirements shall apply:
 - i. Drone delivery stations shall not be located within 150' of the property line of a residentially zoned property.

- c. Data Center shall be allowed by right within the Light Industrial and Heavy Industrial districts and only by Special Use Permit within the Commercial Corridor district. The following requirements shall apply:
 - i. A Special Use Permit shall be required for facilities which have a cumulative building area at or over 25,000 square feet.
 - ii. Developments with a cumulative building area at or over 25,000 square feet shall provide a utility study demonstrating compatibility with existing city and franchisee infrastructure.
- 3. Mining use removed from Section 5.1 Land Use Chart and Section 5.2 Listed uses.
- 4. Revised the Home Occupation provisions found in Section 5.2 of the Zoning Ordinance in order to remain in compliance with State Law requirements by amending the following:
 - a. Adding: In order to maintain compatibility with the residential use of the property where the business is located, additional provisions are;
 - b. Adding: A home-based business that sells alcohol, is a sober living home, or is a Sexually Oriented Business, requires a Special Use Permit.
 - c. Striking: There shall be no more than two (2) employees who do not reside on the premises.
 - d. Striking: The use of utilities and community facilities shall be limited to that normally associated with the use of the property for residential purposes.
- 5. Requirement of the Sexually Oriented Business to obtain a Special Use Permit within the Light Industrial and Heavy Industrial districts.

The proposed changes allow city staff, the Planning and Zoning Commission, and City Council the opportunity to thoroughly evaluate and recommend site specific requirements on a case by case basis to better promote the health, safety, and welfare of the citizens of Wylie. The proposed amendments are more in line with the types of uses developers seek while establishing provisions that enable for improved transparency through the Special Use Permit public hearing process and offer citizens most affected by the proposed uses a better opportunity to provide input.

Zoning Ordinance Land Use Amendments

ZC 2026-04

1. Removed all listed drive through uses found in the land use chart on Section 5.1 to create a consolidated Drive-Through Service section within Article 7 of the Zoning Ordinance:

Permitted uses	Residential Districts							Non-Residential Districts							Parking		
	Low Density		High Density					Commercial				Industrial		Mixed Use			
	AG/30	SF-ED	SF 20/26	SF 10/24	TH	MF	MH	NS	CR	CC	BG	LI	HI	DTH		SBO	
1. Financial Institution (with drive-thru)								S	S	P							1 per 400-sq-ft (L)
19. Restaurant with Drive-in or Drive-through Service									S*	S*							1 per 150-sq-ft (L)

Section 7.12 Drive-Through Service Provisions:

A. General Provisions:

- a. Establishments are only permitted to operate with drive-through services before the date of this ordinance. For drive-through services after the date of this ordinance, a Special Use Permit (SUP) must be obtained from the City of Wylie.
- b. The minimum stacking space for the first vehicle stop for a commercial drive-through shall be a minimum of 100-feet, and a minimum of 40-feet thereafter, for any other stops.
- c. Drive through and stacking area shall not be located adjacent to residential uses.
- d. The General Provision regarding Alcohol Provisions listed in Section 7.10 shall apply.

2. Added new unlisted uses to the Zoning Ordinance (Event Center, Drone Delivery Station, Data Center):

Event Center:

Permitted uses	Residential Districts							Non-Residential Districts							Parking	
	Low Density		High Density					Commercial			Industrial		Mixed Use			
E. Recreational Entertainment & Amusement	AG/30	SF-ED	SF 20/26	SF 10/24	TH	MF	MH	NS	CR	CC	BG	LI	HI	DTH	SBO	
12. Event Center									S	S				P*		1 Per 100 sq ft (L)

12. Event Center

- a. Definition: Event center means a building or part of a building used for hosting gatherings or reception-type events. These types of uses include, but are not limited to birthday parties, weddings, baby showers, and commercial gatherings.
- b. Additional Provisions:
 - (1) The event center shall provide security at every event where alcoholic beverages are provided or served.
 - (2) Event centers shall not be located within 500’ of the property line of a residentially zoned property.
 - (3) A Special Use Permit shall be required within the Community Retail and Commercial Corridor Zoning districts.

Drone Delivery Station:

Permitted uses	Residential Districts							Non-Residential Districts							Parking	
	Low Density		High Density					Commercial				Industrial		Mixed Use		
E. Utility, Transportation and Public Service	AG/30	SF-ED	SF 20/26	SF 10/24	TH	MF	MH	NS	CR	CC	BG	LI	HI	DTH	SBO	
19. Drone Delivery Station									S	S		P*	P*			Per approved SUP (L)

19. Drone Delivery Station

- a. Definition: Drone delivery station means an area that is designated as a local home base for the storage and operation of drone delivery services.
- b. Additional Provisions:
 - (1) Drone delivery stations shall not be located within 150' of the property line of a residentially zoned property.
 - (2) A Special Use Permit shall be required within the Community Retail and Commercial Corridor Zoning districts.

Data Center:

Permitted uses	Residential Districts							Non-Residential Districts							Parking	
	Low Density		High Density					Commercial				Industrial		Mixed Use		
H. Industrial and Manufacturing	AG/30	SF-ED	SF 20/26	SF 10/24	TH	MF	MH	NS	CR	CC	BG	LI	HI	DTH	SBO	
8. Data Center										S		P*	P*			Per approved SUP (L)

8. Data Center

- a. Definition: Data Center means a facility that houses computing, networking, and storage equipment used to store, process, manage, and transmit data, including high-performance computing systems and infrastructure supporting artificial intelligence (AI), machine learning, cloud computing, and other advanced digital services.
- b. Additional Provisions:
 - (1) A Special Use Permit shall be required within the Commercial Corridor Zoning districts.
 - (2) A Special Use Permit shall be required for facilities which have a cumulative building area at or over 25,000 square feet.
 - (3) Developments with a cumulative building area over 25,000 square feet shall provide a utility study demonstrating compatibility with existing city and franchisee infrastructure.

3. Removed uncommon uses from the Zoning Ordinance:

Permitted uses	Residential Districts							Non-Residential Districts							Parking	
	Low Density		High Density					Commercial				Industrial		Mixed Use		
E. Recreational Entertainment & Amusement	AG/30	SF-ED	SF 20/26	SF 10/24	TH	MF	MH	NS	CR	CC	BG	LI	HI	DTH	SBO	
5. Mining	S												S			Per approved SUP

~~5. Mining~~

~~**Definition:** Mining means the extraction, removal, or stockpiling of earth materials, including soil, sand, gravel, or other materials found in the earth. The excavation of earth materials for ponds or lakes, including excavations for fish farming ponds and recreational lakes are considered mining unless otherwise expressly authorized by another provision of this ordinance. The following are not considered mining:~~

~~Excavation, removal, or stockpiling of earth materials incidental to construction approved by a final plat, building permit, or for governmental or utility construction projects.~~

~~**Additional Provisions:**~~

~~(1) A master plan and site plan, operation plans, and a restoration plan shall be provided with the Special Use Permit application.~~

~~(2) A Special Use Permit shall not be granted unless required state review and approval has been obtained.~~

4. Revised existing uses from the Zoning Ordinance:

Home Occupation:

Permitted uses	Residential Districts							Non-Residential Districts							Parking	
	Low Density		High Density					Commercial				Industrial		Mixed Use		
E. Recreational Entertainment & Amusement	AG/30	SF-ED	SF 20/26	SF 10/24	TH	M F	M H	NS	CR	CC	BG	LI	HI	DT H	SB O	
9. Home Occupation	P*	P*	P*	P*	P*											None

9. Home Occupation.

- a. Definition: Home occupation means an occupation that is incidental to the primary use of the premises as a residence and conducted on the residential premises by a resident of the premises.
- b. Additional Provisions: **In order to maintain compatibility with the residential use of the property where the business is located, additional provisions are;**

All permitted districts:

- (1) **A home-based business that sells alcohol, is a sober living home, or is a Sexually Oriented Business, requires a Special Use Permit.**
- (2) On-premise advertisements, signs or displays are prohibited.
- (3) The appearance of the structure shall not be altered, nor shall the occupation within the dwellings be conducted in a manner which would cause the premises to differ from its residential character either by the use of colors, materials, construction, lighting, or by signs, or the emission of sounds, noises, dust, odors, fumes, smoke, or vibrations.
- (4) Pedestrian and vehicular traffic will be limited to that normally associated with residential districts.
- (5) There shall be no outdoor storage of materials or equipment. There shall be no visible merchandise visible from outside the dwelling.
- (6) There shall be no use or storage of mechanical equipment not recognized as being part of normal household or hobby use.
- (7) A property owner may seek a variance to this ordinance in accordance with Article 8, Section 8.4 to the Zoning Board of Adjustment.
- (8) As defined by the Human Resource Code, Chapter 42 an "In-home Day Care" or a "Family home" that is certified, listed or registered with the State of Texas is exempt from this Ordinance, and governed by the rules and regulations of the State of Texas.

Sexually Oriented Business:

Permitted uses	Residential Districts	Non-Residential Districts	Parking

	Low Density		High Density					Commercial				Industrial		Mixed Use		
E. Recreational Entertainment & Amusement	AG/30	SF-ED	SF 20/26	SF 10/24	TH	M F	M H	NS	CR	CC	BG	LI	HI	DT H	SB O	
9. Sexually Oriented Business												S	S			1 Per 150 sq ft (L)

9. Sexually-Oriented Business

. **Definition:** An adult arcade, adult bookstore or adult video store, adult cabaret, adult motel, adult motion picture theater, adult theater, escort agency, or nude model studio.

Additional Provisions:

- (1) A Special Use Permit shall be required within the Light Industrial and Heavy Industrial zoning districts.
- (2) This use shall meet all requirements of the Chapter 26 “Businesses” of the City of Wylie Code of Ordinances, and Article IV Sexually Oriented Businesses.