

# Wylie Historic Review Commission Regular Meeting

September 28, 2023 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



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## CALL TO ORDER

### COMMENTS ON NON-AGENDA ITEMS

*Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.*

## PRESENTATIONS

### CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

A. Meeting Minutes from August 24, 2023 Regular Meeting

## REGULAR AGENDA

1. Consider and act upon a recommendation to the City Council regarding a request to construct a new residential structure, located at 111 Keefer Street within the Downtown Historic District.

## WORK SESSION

## RECONVENE INTO REGULAR SESSION

## EXECUTIVE SESSION

### RECONVENE INTO OPEN SESSION

*Take any action as a result from Executive Session.*

## ADJOURNMENT

### CERTIFICATION

I certify that this Notice of Meeting was posted on September 22, 2023 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.

§ 551.073 – Discussing prospective gift or donation to the City.



# Historic Review Commission

## **AGENDA REPORT**

Department: Planning

Item: A

Prepared By: Lillian Baker

### **Subject**

Consider and act upon Minutes from the August 24, 2023 Regular Meeting.

### **Recommendation**

Motion to approve as presented.

### **Discussion**

The minutes are attached for your consideration.

# Wylie Historic Review Commission Regular Meeting- Amended

August 24, 2023 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



## CALL TO ORDER

The meeting was called to order by Chair Sandra Stone at 6:00 p.m. Present were Chair Sandra Stone, Vice-Chair Allison Stowe, Board Member Anita Jones, Board Member Kali Patton, Board Member Krisleigh Hoermann, Board Member Stephen Burkett, Board Member Laurie Sargent, Deputy City Manager Renae Ollie, and Secretary Lillian Baker.

## INVOCATION AND PLEDGE OF ALLEGIANCE

The invocation was led by Deputy City Manager Ollie and the Pledge of Allegiance was led by Board Member Stowe.

## COMMENTS ON NON-AGENDA ITEMS

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None approached the Board.

## ELECTION OF CHAIR AND VICE CHAIR

- A. Nomination and Motion for Chair
- B. Nomination and Motion for Vice-Chair

## Board Action on Election of Chair and Vice-Chair

A motion was made by Chair Stone to nominate herself for re-election for chair. A motion was made by Board Member Stowe and seconded by Board Member Hoermann to re-elect Chair Stone. A vote was taken and carried 7 – 0.

A motion was made by Board Member Patton and seconded by Board Member Jones to re-elect Vice-Chair Stowe for Vice-Chair. A vote was taken and carried 7 – 0.

## CONSENT AGENDA

*All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.*

- A. Consider and act upon the approval of June 22, 2023 Meeting Minutes.

### **Board Action on Consent Agenda**

A motion was made by Board Member Patton and seconded by Vice-Chair Stowe to approve the Consent Agenda as presented. A vote was taken and carried 7 – 0.

## REGULAR AGENDA

1. Consider and act upon a recommendation to the City Council regarding a request to renovate an existing commercial structure, located at 105 W. Jefferson within the Downtown Historic District.

### **Board Comments on Regular Agenda**

Deputy City Manager Ollie presented an overview of the applicant's submittal. The paint selection swatches were presented to the board and a discussion was held on the preference of the color with the applicant, who was present. Applicant Bobby Heath and on the phone Chad Heath, discussed the historical selection of the colors based on the time period. The Board Discussed their color preference and how it would reflect in the Historic District.

### **Board Action on Regular Agenda**

A motion was made by Vice-Chair Stowe and seconded by Board Member Patton to approve the color palette of the eggshell color presented for the main building, charcoal for the top, the light blue that was presented for the façade with the arches, and charcoal on the inner arches. A vote was taken and carried 7 – 0.

## WORK SESSION

WS1. Work Session: Discuss Landmarks Ordinance

### **Board Discussion on Work Session**

Deputy City Manager Ollie started the discussion on the landmarks. She stated a landmark ordinance with the City does exist. The Board determined that the citizens should be given the option of a wall plaque or a yard plaque. The Board also discussed preference on plaque types and colors. The Board discussed having a brief synopsis of the history of the home as well as possibly adding to a mapping/walking tour, for those that choose to do so. In addition, the Board discussed a two-step criteria that would either provide a tax incentive for those that are of true historical designation or a nice home with non-period modifications for recognition. The Board discussed possible implications for Historic District Home's future potential if deemed a landmark. Costs and other items will be left for further discussion. Deputy City Manager Ollie stated that she would source companies for plaques and present back to the Board when she had more information available.

## ADJOURNMENT

A motion was made by Board Member Hoermann and seconded by Board Member Patton to adjourn. A vote was taken and carried 7 – 0. Chair Stone adjourned the meeting at 6:58 p.m.

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*Sandra Stone - Chair*

**ATTEST**

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*Lillian Baker - Secretary*



# Historic Review Commission

## AGENDA REPORT

**Department:** Planning  
**Prepared By:** Renae' Ollie

**Account Code:** \_\_\_\_\_

### Subject

Consider and act upon a recommendation to the City Council regarding a request to construct a new residential structure, located at 111 Keefer Street within the Downtown Historic District.

### Recommendation

Motion to recommend approval as presented

### Discussion

**OWNER: Angelica Hernandez**

**APPLICANT: Angelica Hernandez**

The Owner/Applicant is proposing to construct a new residential dwelling on a single lot. In accordance with Ordinance No. 2022-34, any development proposing new construction or substantial renovation requires special oversight by the Commission to ensure preservation of the historic and architectural character of the District.

The applicant is proposing to construct a 2,193 sf single story Craftsman style residential dwelling on 0.12073 acres (5,259 sf). The design includes an 8:12 pitch gable roof, a 4' open front porch with tapered square columns, American craftsman standard glass multi-pane windows. The primary exterior material shall be horizontal Hardi Board siding with a width between four and five inches.

The selected paint colors will be from Sherwin Williams Historic Color Palette:

Siding: Roycroft Vellum SW 2833

Trim: Classical White SW 2829

Wavy Decorative Shingles: Craftsman Brown SW 2835

As stated in the book *A Field Guide to American Houses* by Virginia Savage McAlester, identifying features of a Craftsman style house typically includes low-pitched, gabled roof with wide, unenclosed eave overhang; roof rafters usually exposed; decorative false beams or braces commonly added under gables; porches, either full or partial width; with roof supported by tapered square columns; columns or piers frequently extend to ground-level (without a break at level of porch floor); commonly one or one-half stories high, although two story examples occur in every subtype.

The single-family dwelling will conform to the design standards of Article 6.3 as well as other city ordinances and guidelines. Staff Recommends approval subject to additions and alterations as required by City Engineer and Building Inspections Department.

### History of property

It is believed that the property was platted sometime between the late 1940's to mid-1950's. A 1921 Sanborn Map shows a structure on the property. It is unknown when the structure was demolished.

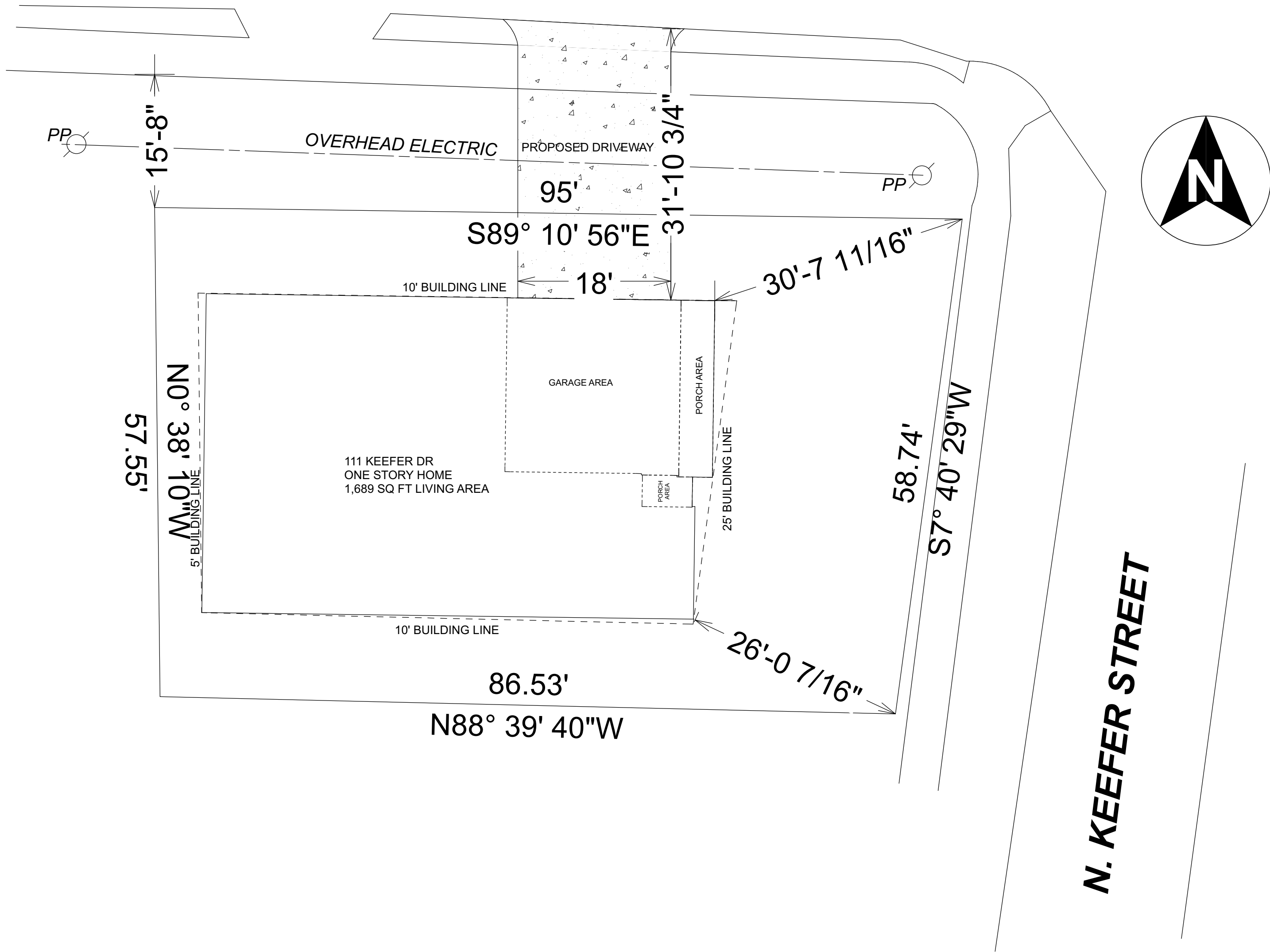
This item will be considered on the October 10th Council Agenda. If approved, work will begin October 15<sup>th</sup> with an approximate completion date of seven months.



GENERAL NOTES

1. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY, SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED. ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHOULD BE VERIFIED WITH THE OWNER OR ARCHITECT.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE 2021 IRC AND ALL APPLICABLE STATE, FEDERAL, & LOCAL CODES & AMENDMENTS.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
4. ANY ERRORS, OMISSIONS, OR INCONSISTENCIES ON THESE DRAWINGS OR ANY VARIATIONS OR AMBIGUITIES BETWEEN THESE DRAWINGS AND ACTUAL SITE AND CONSTRUCTION CONDITIONS AND/OR REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER.
5. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
7. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
8. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER TRADES. NOTIFY OWNER & ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
9. STORE MATERIALS IN SPACES DESIGNATED BY OWNER.
10. REMOVE RUBBISH FROM PREMISES AS OFTEN AS NECESSARY OR AS DIRECTED.
11. ALL WORK AND EQUIPMENT SHALL BE CLEANED TO THE SATISFACTION OF THE OWNER BEFORE TURNING SAME OVER TO THE OWNER.
12. SHOP DRAWINGS SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION OF ANY EQUIPMENT.
13. THE CONTRACTOR SHALL PAY ALL FEES, GIVE ALL NOTICES, FILE ALL NECESSARY DRAWINGS AND OBTAIN ALL PERMITS AND CERTIFICATES OR APPROVAL REQUIRED IN CONNECTION WITH ALL WORK UNDER THESE CONTRACT DOCUMENTS. HE OR SHE SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES, AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
14. THERE SHALL BE NO DEVIATION FROM SPECIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND/OR ENGINEER.
15. DRYWALL INSTALLATION SHALL BE IN CONFORMANCE WITH THE GYPSUM ASSOCIATIONS RECOMMENDED PRACTICES FOR THICKNESS, NAILING, TAPING, AND CORRECT STUD SPACING.
16. MECHANICAL CONTRACTOR TO VERIFY ANY CHASE AREA NOT SHOWN ON DRAWINGS. ALL SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL PRIOR TO ORDERING ANY EQUIPMENT.
17. CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT STRUCTURE AND PERSONNEL DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING OF LOADS DUE TO CONSTRUCTION EQUIPMENT, EXCAVATION PROTECTION, SCAFFOLDING, JOB SITE SAFETY, ETC. OBSERVATION VISITS TO THE SITE BY THE OWNER OR ENGINEER SHALL NOT INCLUDE INSPECTION OF ABOVE ITEMS.

W. MARBLE STREET



SITE PLAN

LEGAL DESCRIPTION
BROWN & BURNS, BLK 9, LOT 40R; REPLAT

SQUARE FOOTAGE	
PROPOSED LIVING AREA	1,689 SQ FT
PROPOSED PORCH/PATIO AREA	104 SQ FT
PROPOSED GARAGE AREA	400 SQ FT
TOTAL AREA	2,193 SQ FT
LOT SIZE	5,259 SQ FT
PERCENTAGE OF LOT	41.7% SQ FT



VICINITY MAP

THD

TORRES HOMES DESIGNS

INFO@THDTX.COM

214-854-5420

DESIGNER DISCLAIMER: We have exercised great effort and care in the creation of this home design and the completion of these construction drawings. However the designer, have not been contracted to provide personal consultation, site supervision or field inspection services and have no control over the construction materials, methods or sequencing used by the builder. For these reasons, as well as the gross variations in local building codes, the designer assume no responsibility for any damages, including structural failures resulting from errors or omission in these construction drawings. We strongly recommend that you, the homeowner, have these drawings thoroughly reviewed by a licensed architect, professional engineer, certified residential designer or general contractor licensed to practice in your area, in addition to your local building officials, prior to beginning construction.

SEAL:

ADDRESS:

111 KEEFER DR  
WYLIE, TX 75098

DATE:

9/15/2023

DRAWN BY:

ATOR

DESCRIPTION:

CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:

1' = 10'

SHEET TITLE:

SITE PLAN

A-1



THD  
TORRES HOMES DESIGNS  
INFO@THDTX.COM  
214-854-5420

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DATE:  
  
9/15/2023

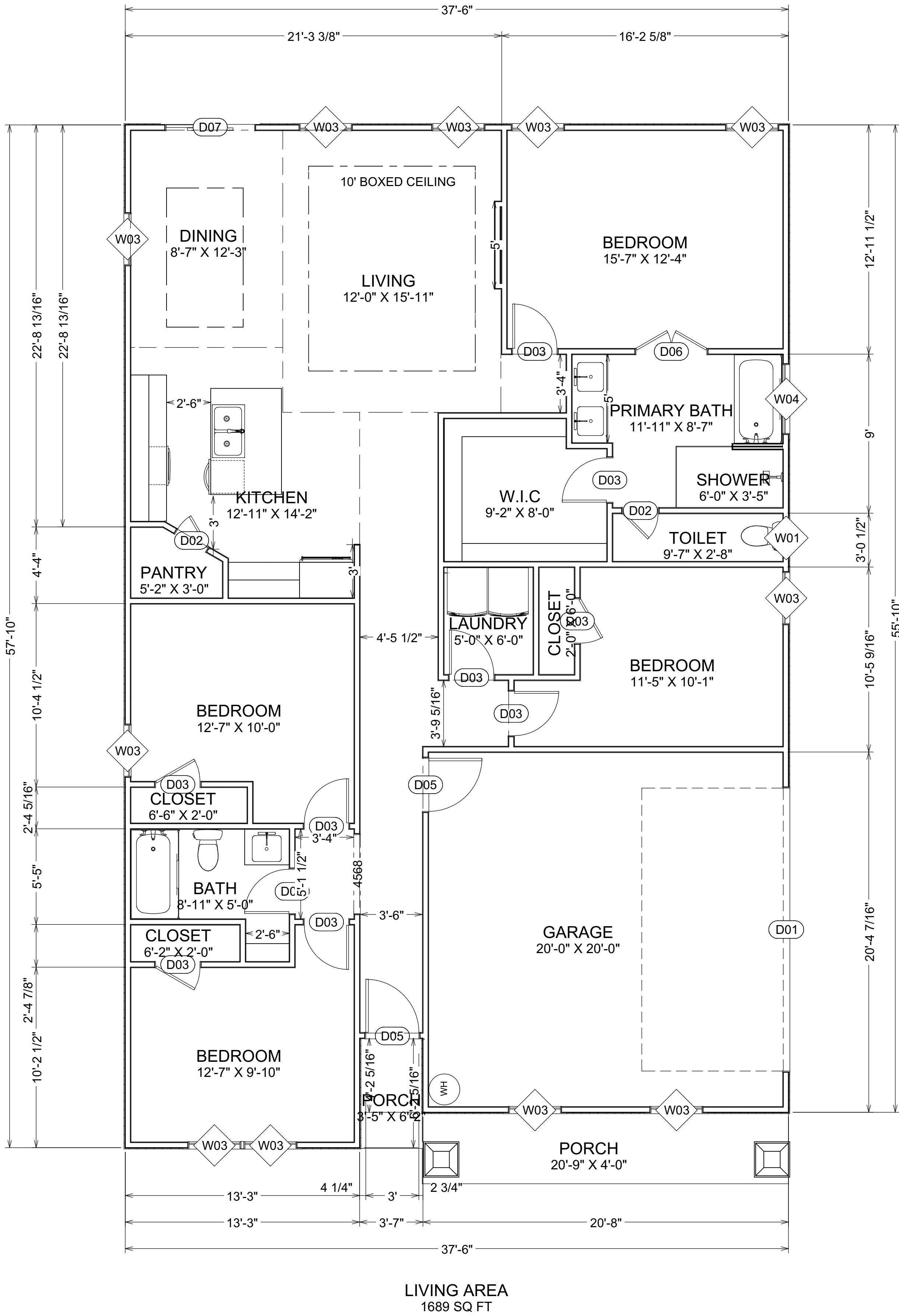
DRAWN BY:  
  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
  
1/4" = 1'

SHEET TITLE:  
  
FLOOR PLAN

A-2



CURRENT ADOPTED CODES:  
2021 INTERNATIONAL RESIDENTIAL CODE  
2020 NATIONAL ELECTRIC CODE  
2021 INTERNATIONAL ENERGY CONSERVATION CODE

## SQUARE FOOTAGE

PROPOSED LIVING AREA	1,689 SQ FT
PROPOSED PORCH/PATIO AREA	104 SQ FT
PROPOSED GARAGE AREA	400 SQ FT
TOTAL AREA	2,193 SQ FT

THD

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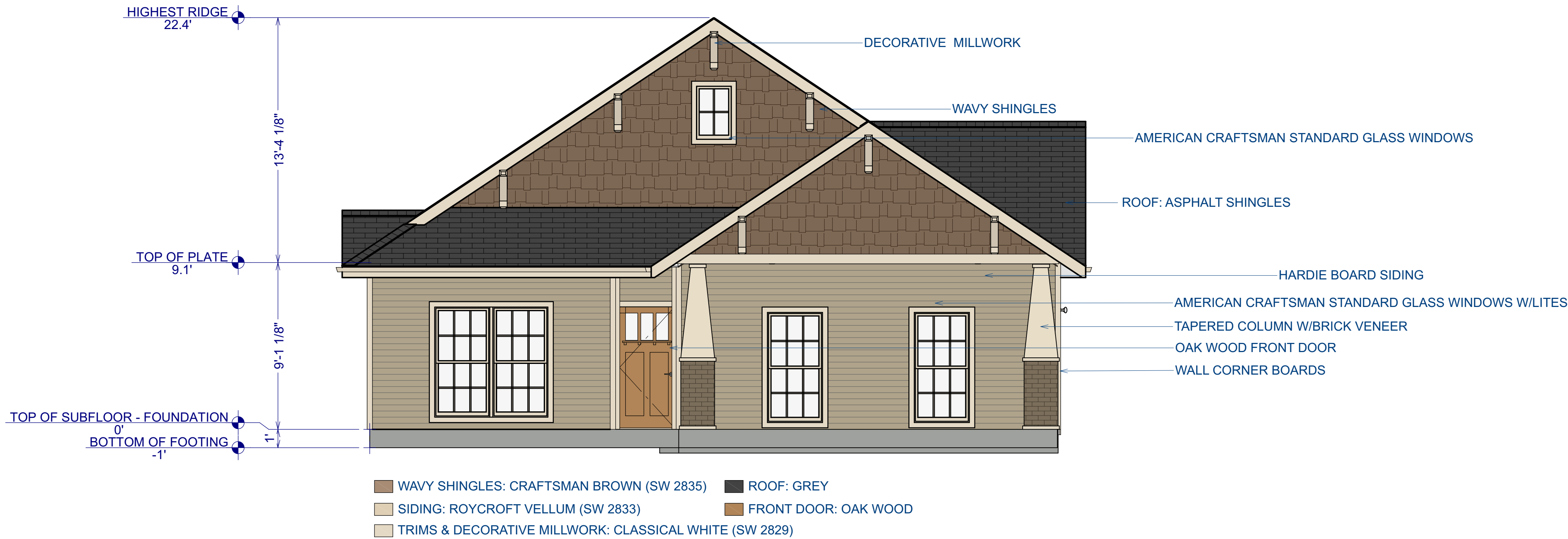
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ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

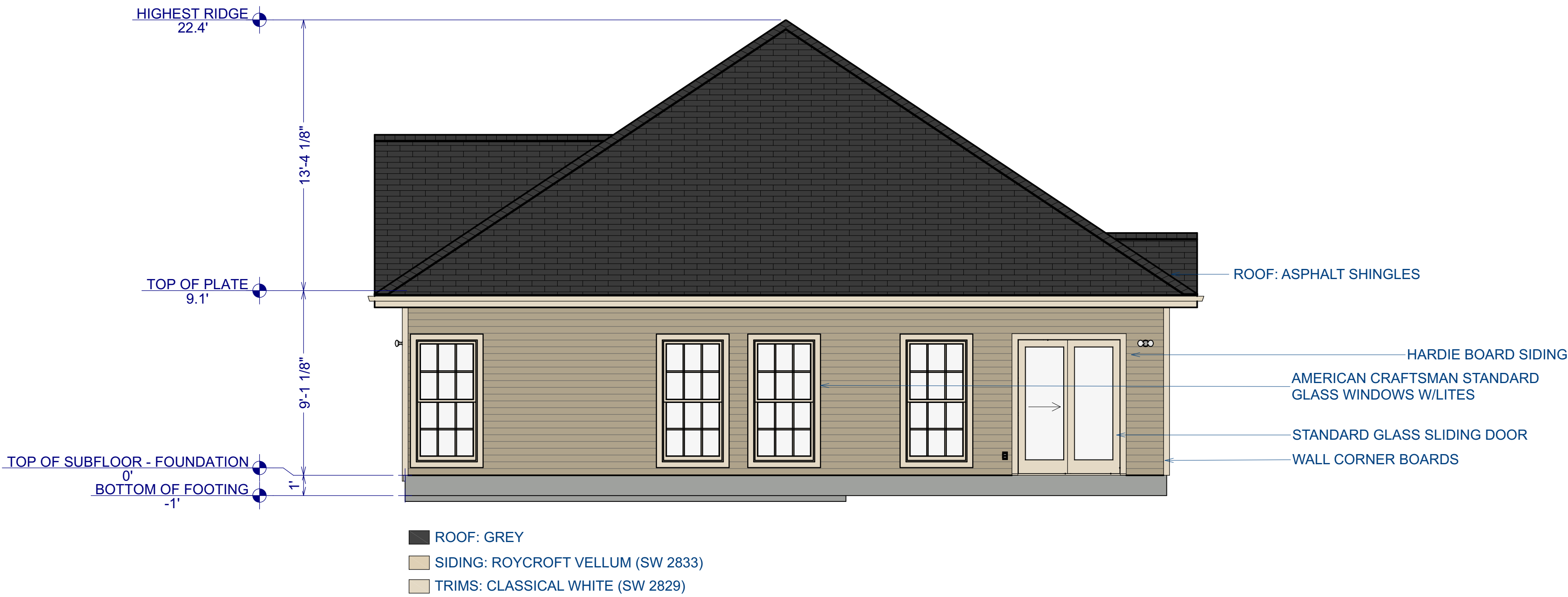
SCALE:  
1/4" = 1'

SHEET TITLE:  
FRONT & REAR ELEVATIONS

A-3



FRONT ELEVATION



REAR ELEVATION



THD

TORRES HOMES DESIGNS  
INFO@THDTX.COM  
214-854-5420

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SEAL:

ADDRESS:  
111 KEEFER DR  
WYLIE, TX 75098

DATE:  
9/15/2023

DRAWN BY:  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
1/4" = 1'

SHEET TITLE:  
RIGHT & LEFT ELEVATIONS

A-4



LEFT ELEVATION



RIGHT ELEVATION

THD

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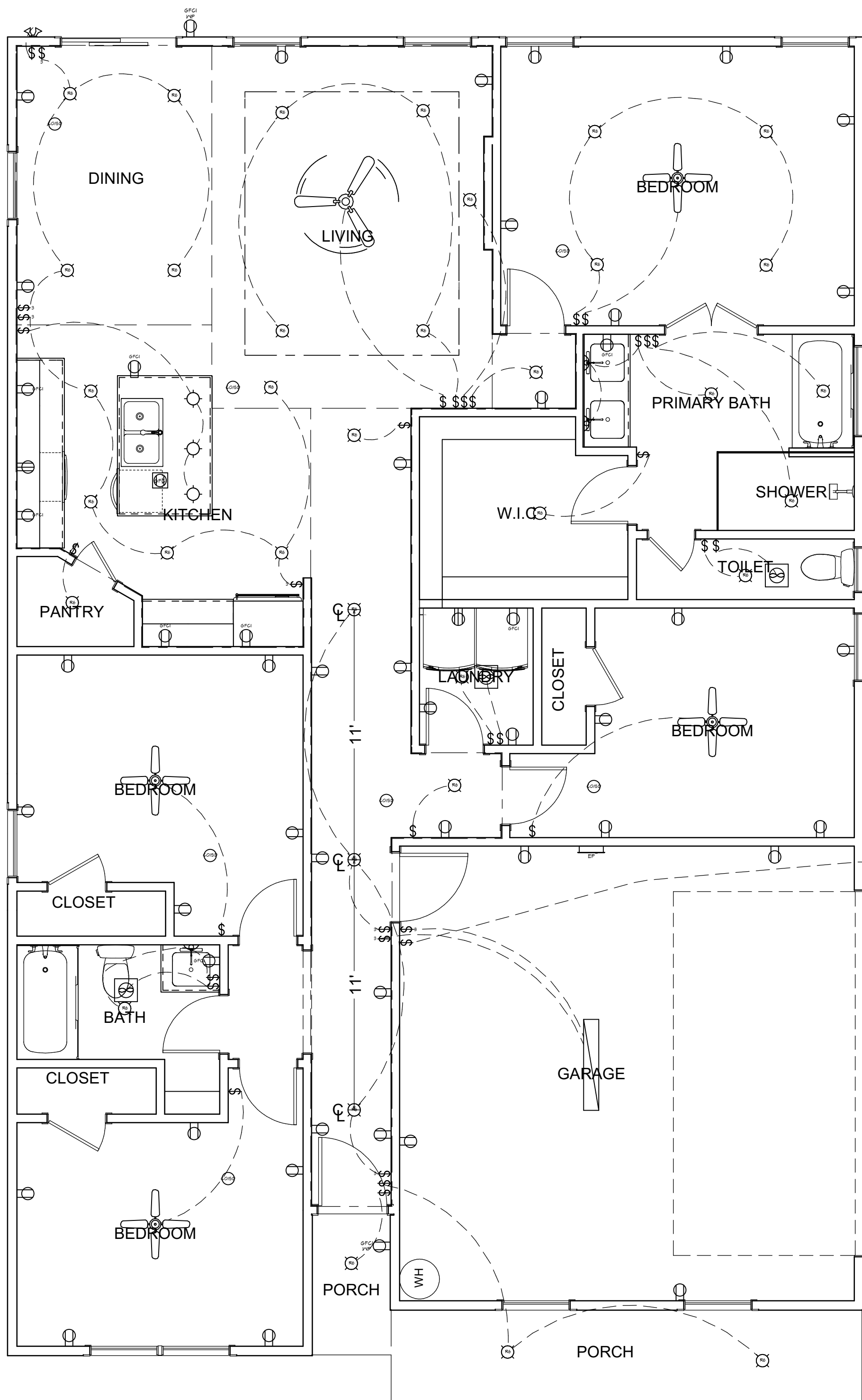
DRAWN BY:  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
1/4" = 1'

SHEET TITLE:  
ELECTRICAL & LIGHTING PLAN

A-5



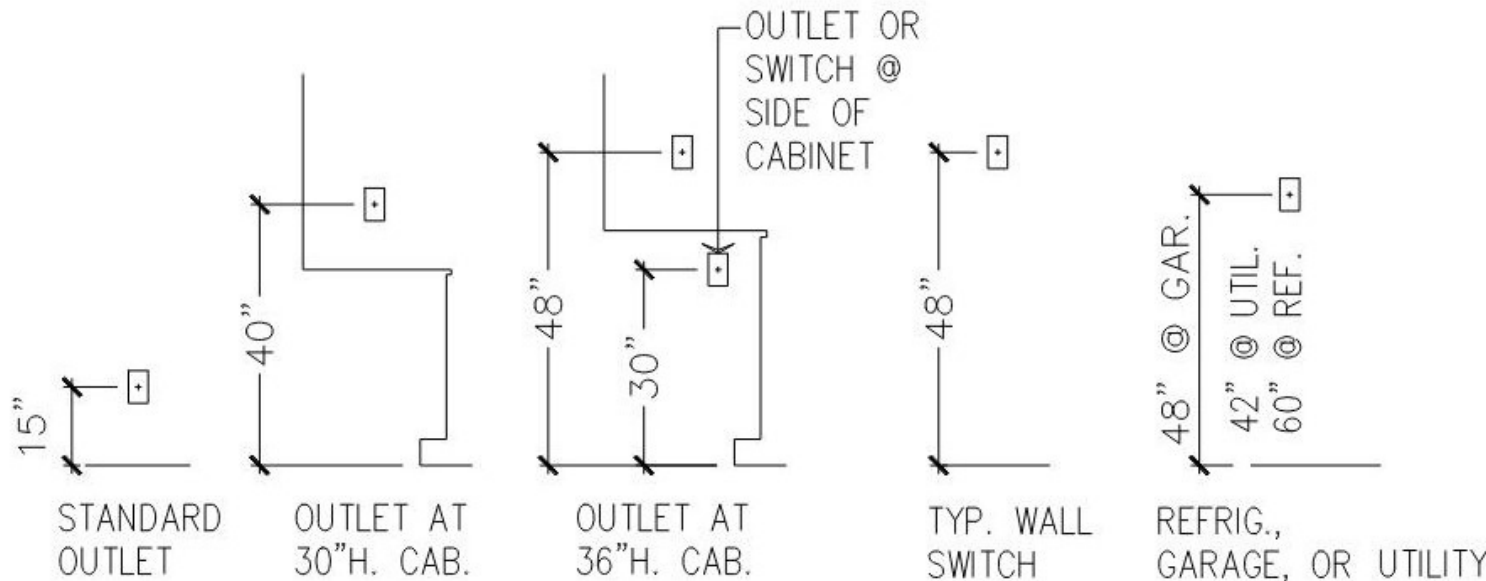
LIVING AREA  
1689 SQ FT

ELECTRICAL SCHEDULE		
2D SYMBOL	DESCRIPTION	QTY
	3 BLADE CEILING FAN	1
	CEILING FAN (LIGHTS)	4
	220V	2
	DUPLEX	40
	GFCI	8
	GFCI DUPLEX FLOOR RECEPTACLE	1
	RECESSED DOWN LIGHT 6	35
	GRAN TENOS	3
	PENDANT	3
	CO/SMOKE DETECTOR	7
	EXHAUST FAN	3
	MEDIUM RECESSED TUBE LIGHT [48W6D]	1
	DUAL SPOTLIGHT	2
	GFCI WEATHERPROOF RECEPTACLE	2
	ELECTRICAL PANEL - SURFACE MOUNTED	1
	SINGLE POLE SWITCH	27
	3-WAY SWITCH	8

GENERAL ELECTRICAL NOTES

1. ALL ELECTRICAL DEVICES AND WORK SHALL COMPLY WITH THE HIGHEST STANDARDS OF THE GOVERNING ELECTRICAL CODE.
2. PERFORMANCE STANDARDS SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS AS ESTABLISHED BY GOVERNING AND APPROVAL AGENCIES.
3. ALL DEVICES SHALL BE U.L. APPROVED AND BEAR U.L. LABELS
4. UNLESS NOTED OTHERWISE, ALL SWITCHES AND OUTLET HEIGHTS SHALL BE AS NOTED ON THESE DRAWINGS.
5. SWITCH AND DUPLEX OUTLETS OF MULTIPLE SWITCHES UP TO (4) FOUR WHEN SHOWN ADJACENT TO EACH OTHER ON PLAN SHALL BE GROUPED UNDER (1) PLATE.
6. VERIFY SERVICES AND LOCATION REQUIREMENTS FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT PRIOR TO INSTALLATION.
7. PROVIDE A MINIMUM OF TWO SEPARATE 20 AMP CIRCUITS TO KITCHEN APPLIANCES.
8. PROVIDE A MINIMUM OF ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES.

ELECTRIC FIXTURE HEIGHTS





THD  
TORRES HOMES DESIGNS  
INFO@THDTX.COM  
214-854-5420

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SEAL:

ADDRESS:  
111 KEEFER DR  
WYLIE, TX 75098

DATE:  
  
9/15/2023

DRAWN BY:  
  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
  
1/4" = 1'

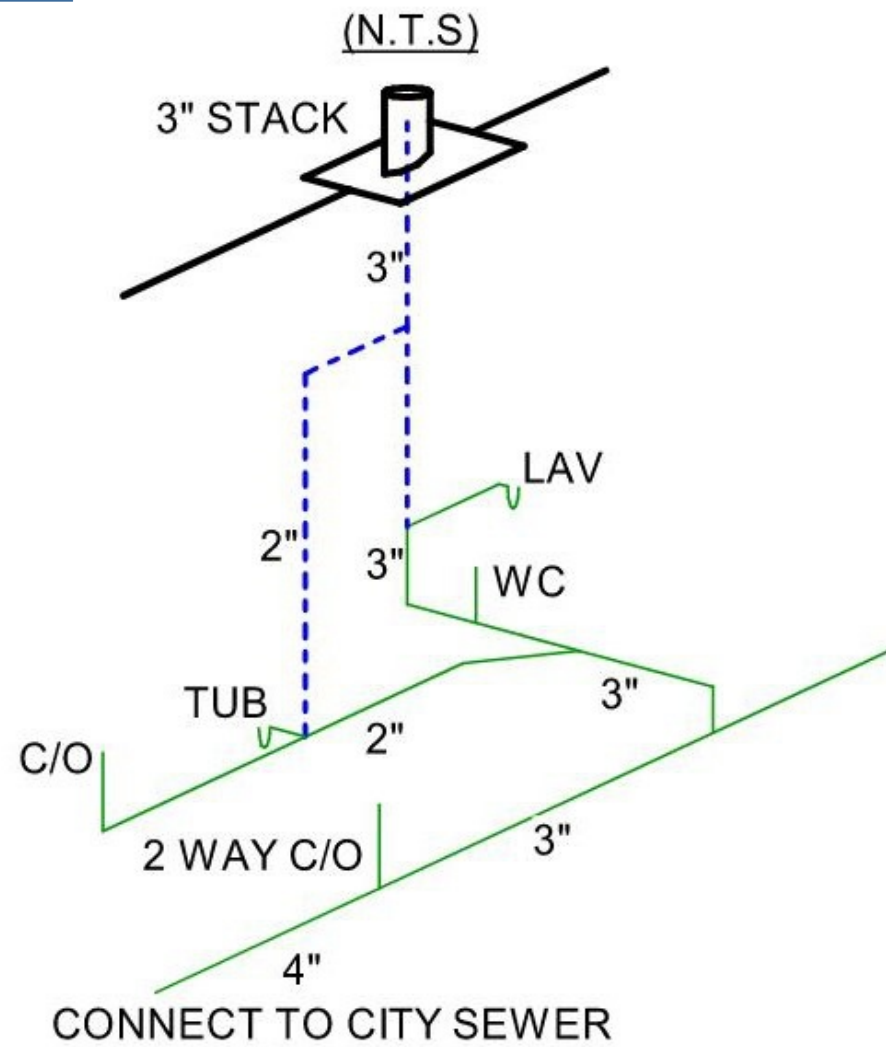
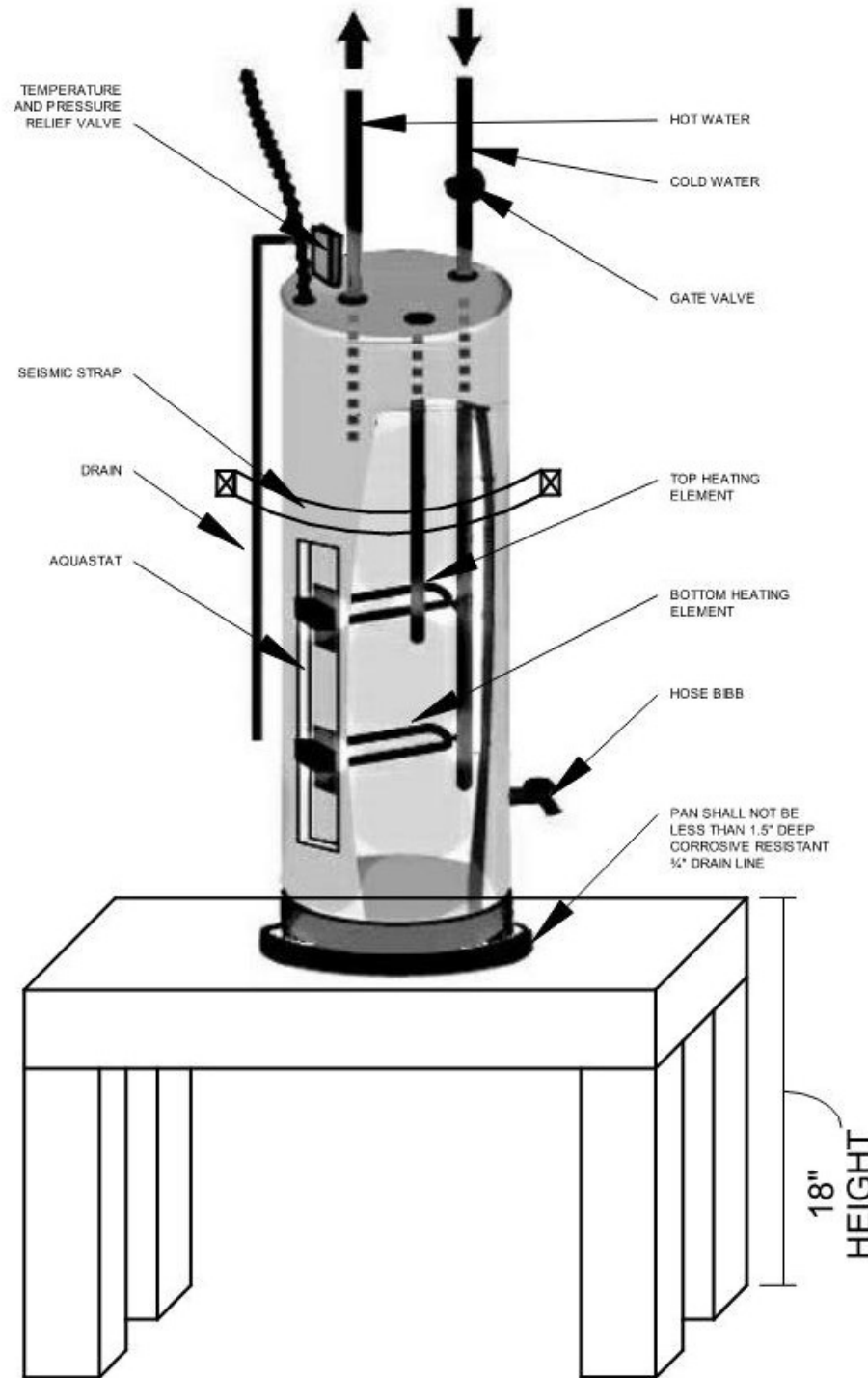
SHEET TITLE:  
  
PLUMBING PLAN

A-6

PLUMBING GENERAL NOTES

1. ALL PLUMBING WORK SHALL BE IN CONFORMANCE WITH THE TEXAS PLUMBING CODE, LATEST EDITION ADOPTED BY THE STATE OF TEXAS WITH TEXAS AMENDMENTS, MUNICIPAL OR CITY CODES, AND THE AUTHORITY HAVING JURISDICTION. INSTALLATION OF PLUMBING FIXTURES AND ACCESSORIES, INCLUDING FLUSH CONTROL VALVES INTENDED FOR PEOPLE WITH DISABILITIES, SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
2. INSTALLATION OF PLUMBING PIPING SHALL BE FULLY COORDINATED WITH STRUCTURAL, ARCHITECTURAL, ELECTRICAL, AND HVAC DRAWINGS TO AVOID CONFLICT. NO PLUMBING (WATER, DRAINS, VENT, OR GAS PIPING) SHALL BE INSTALLED DIRECTLY ABOVE ANY ELECTRICAL PANELS. COORDINATE WITH OTHER DIVISIONS BEFORE PROCEEDING WITH INSTALLATION.
3. PROVIDE WATER HAMMER ARRESTERS AT PLUMBING FIXTURES AND GROUPS OF PLUMBING FIXTURES THAT ARE SUBJECT TO WATER HAMMER. SELECT ARRESTERS IN ACCORDANCE WITH THE PLUMBING AND DRAINAGE INSTITUTE STANDARD.
4. ALL PLUMBING SERVICES GOING INTO THE BUILDING AND LEAVING THE BUILDING SHALL BE CONNECTED TO THE SITE UTILITIES, COORDINATE WITH SITE UTILITIES. COORDINATE ALL EXTERIOR UNDERGROUND PLUMBING WORK WITH THE SITE UTILITIES BEFORE COMMENCING WORK. COORDINATE ALL UNDERGROUND PIPING WITH FOUNDATION DRAWINGS.
5. INSTALL BALL VALVE CLOSE TO WATER MAIN ON EACH BRANCH AND RISER SERVING PLUMBING EQUIPMENT AND FIXTURES.
6. ALL EQUIPMENT, FIXTURES, AND SERVICEABLE DEVICES SHALL BE INSTALLED WITH ACCESS AND CLEARANCE FOR MAINTENANCE. COORDINATE WITH THE GENERAL CONTRACTOR AND OTHER TRADES TO PROVIDE THIS ACCESS AND CLEARANCE.
7. INSTALL ALL EQUIPMENT AND MATERIALS PER MANUFACTURER'S INSTRUCTIONS.
8. IF EQUIPMENT, FIXTURES, AND MATERIAL, OTHER THAN THAT SCHEDULED OR SPECIFIED, IS APPROVED AND PROVIDED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND PROVIDE REVISED UTILITIES AND SERVICE CONNECTIONS AND VERIFY THE SPACE ALLOTTED FOR ADEQUACY AND CLEARANCE REQUIREMENTS.
9. COORDINATE ALL LOCATIONS AND SIZES OF STRUCTURAL FLOOR AND WALL PENETRATIONS WITH THE GENERAL CONTRACTOR AND PROVIDE CODE REQUIRED SEALS AT ALL FIRE RATED WALL, CEILING, ROOF AND FLOOR PENETRATIONS.
10. ACCESS DOORS AND/OR PANELS SHALL BE PROVIDED AT ALL MAINTENANCE AND SERVICE LOCATIONS FOR CONCEALED CONTROL DEVICES, VALVES AND PLUMBING EQUIPMENT/ DEVICES. UNLESS A SIZE IS SPECIFICALLY NOTED, PANELS SHALL BE SIZED TO SERVICE EQUIPMENT/DEVICE. DOORS AND PANELS SHALL HAVE THE SAME FIRE RATING AS THE WALL OR CEILING IN WHICH THEY ARE INSTALLED. ACCESS DOORS AND/OR PANELS ARE NOT REQUIRED WHERE ADJUSTMENT, MAINTENANCE AND REPLACEMENT ARE POSSIBLE THROUGH LAY INSUSPENDED CEILING.
11. INSTALL SHUT OFF VALVES AT EACH FIXTURE. INSTALL BRANCH SHUTOFF VALVES WHERE INDICATED ON PLANS. LOCATE AND ORIENT VALVE OPERATORS FOR EASE OF ACCESS AND FULL LIMITS OF OPERATION.
12. OPENINGS DUE TO INSTALLATION OF DRAINAGE AND VENT SYSTEMS SHALL BE PROTECTED WITH A TEST PLUG SECURED AND LOCKED IN PLACE UNTIL FINAL CONNECTIONS ARE INSTALLED,
13. INSULATION AND VAPOR BARRIER SHALL BE PROVIDED ON ALL PIPING AND/OR EQUIPMENT SUBJECT TO HEAT LOSS, CONDENSATION, OR CONSTITUTING A POTENTIAL BURN HAZARD. INSULATION SHALL NOT BE CRUSHED OR COMPRESSED THROUGH INTERFERENCE WITH SYSTEMS INSTALLED BY OTHER TRADES OR BUILDING CONSTRUCTION.
14. INSTALL PLUMBING AND PIPING HIGH POINTS AS TIGHT AS POSSIBLE TO THE BUILDING STRUCTURE TO ALLOW PROPER PITCH AND MAXIMIZE CEILING HEIGHT.
15. ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED. EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH A CHROME PLATED ESCUTCHEON AT EACH FINISHED ENTRY/EXIT.
16. ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND BE SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHED SPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT. ALL PIPING EXPOSED TO VIEW SHALL BE ROUTED AS HIGH AS POSSIBLE AND TO THE UNDERSIDE OF STRUCTURE.

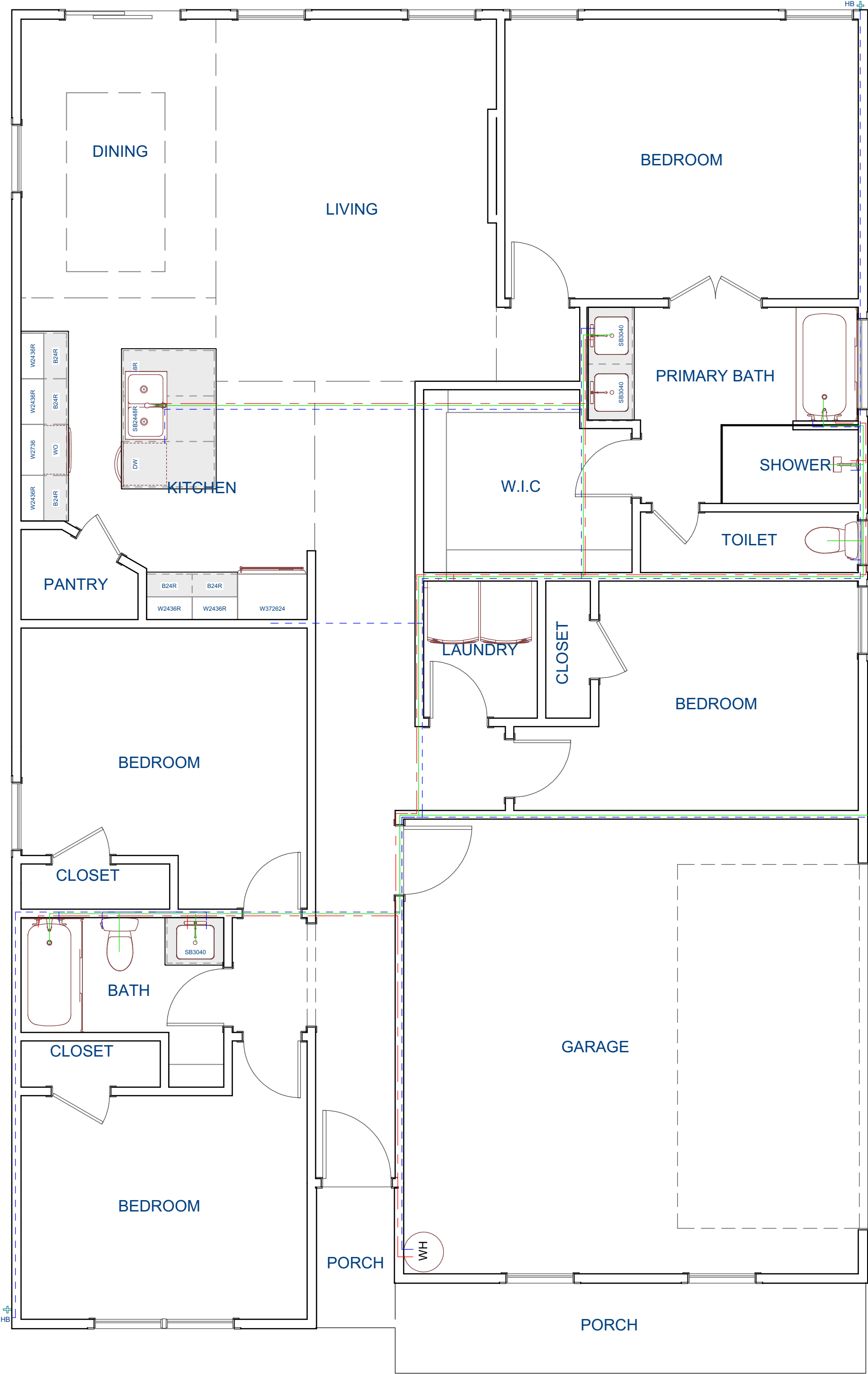
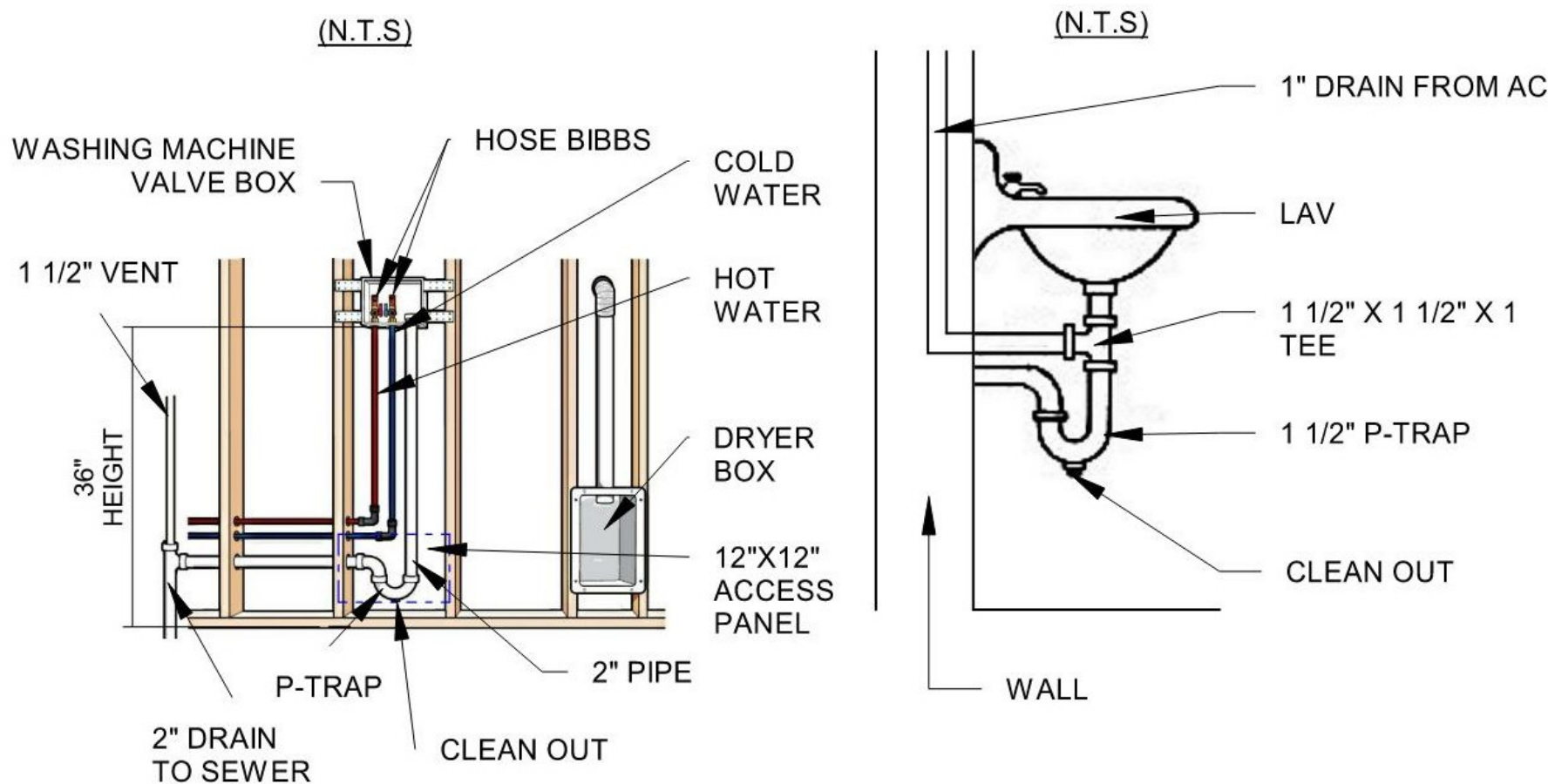
NOTE: (N.T.S)  
WATER HEATERS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS



PLUMBING

NOTE:  
WATER HEATER OPTION TO BE DECIDED BY OWNER/GENERAL CONTRACTOR

	COLD WATER LINE
	HOT WATER LINE
	SEWER LINE
	WATER HEATER





THD

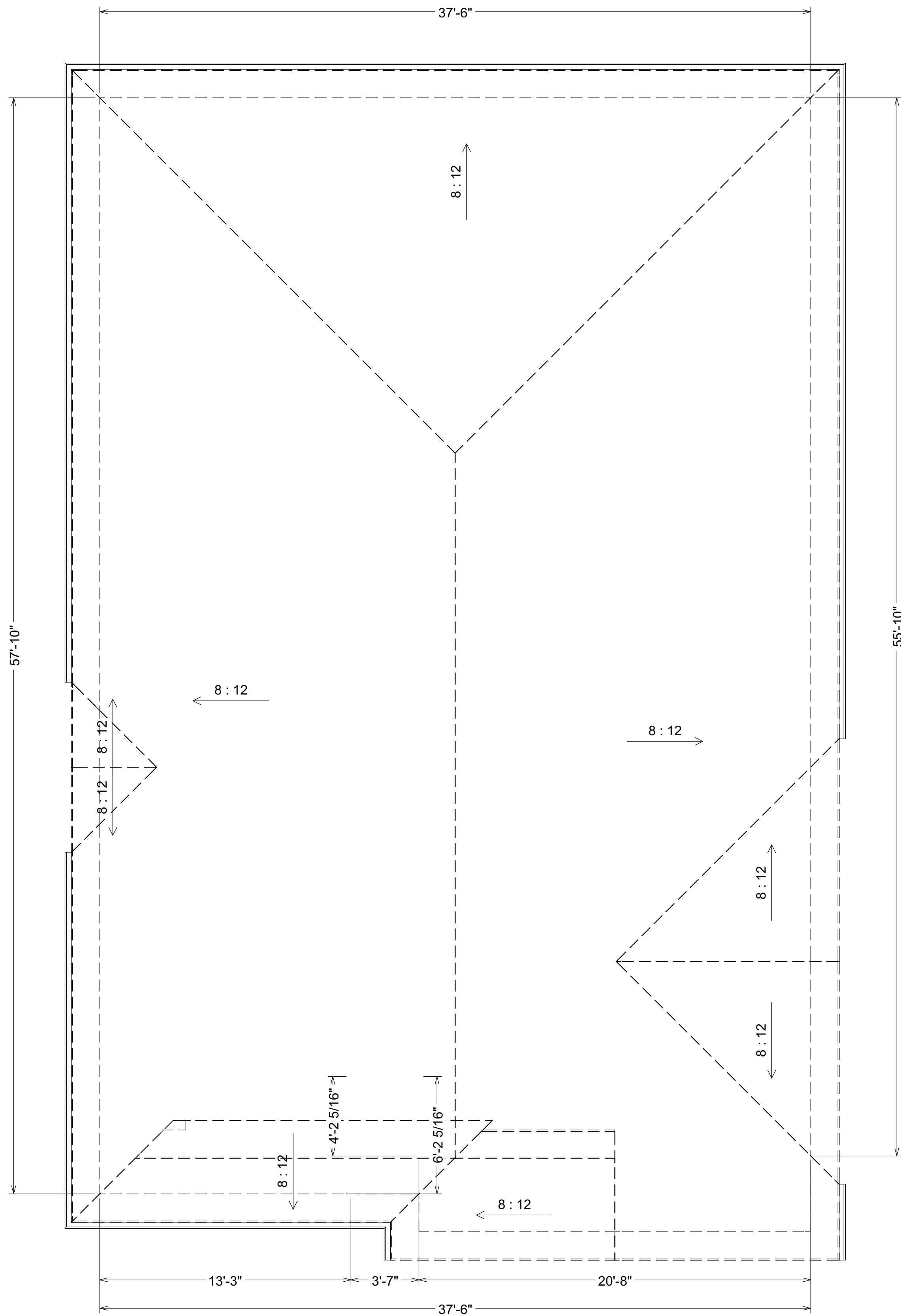
TORRES HOMES DESIGNS  
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214-854-5420

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SEAL:

ADDRESS:  
111 KEEFER DR  
WYLIE, TX 75098DATE:  
  
9/15/2023DRAWN BY:  
  
ATORDESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATHSCALE:  
  
1/4" = 1'SHEET TITLE:  
  
ROOF PLAN

A-7



ROOF PLAN  
SCALE = 1/4" = 1'-0"  
-ROOF AS SPECIFIED @ 8/12  
PITCH UNLESS NOTED  
OTHERWISE  
-ALL OVERHANGS @ 18  
UNLESS NOTED OTHERWISE

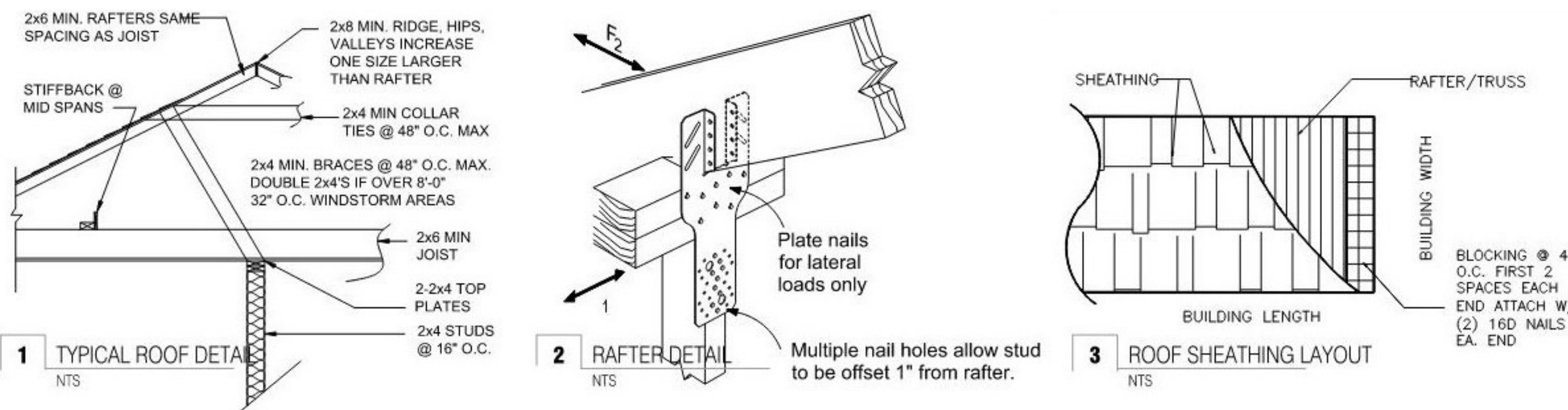
## FRAMING GENERAL NOTES:

1. ALL LUMBER TO BE NO.2 SYP OR DOUGLAS FIR, 19% M.C. U.O.N.
2. USE BLOCKING WHERE REQUIRED BY 2021 IBC.
3. CONNECTIONS TO BE PROPERLY INSTALLED WHERE REQUIRED PER 2018 IBC.
4. NAILS IN CONTACT WITH TREATED WOOD ARE TO BE STAINLESS STEEL OR A MIN. G185 HDS HOT DIP GALVANIZED SUCH AS: SIMPSON (AMAX G185).
5. TRANSFER ALL LOAD BEARING POINTS TO FOUNDATION.
6. SILL PLATES FOR ALL EXTERIOR WALLS SHALL BE OF PRESSURE TREATED LUMBER, OR SHALL BE PROVIDED WITH AN APPROVED VAPOR BARRIER BENEATH THEM.
7. ALL STUD WALLS SHALL BE S.P.F. #2 OR BETTER, KD (19% M.C.) OR #2 SOUTHERN PINE (U.O.N).
8. ALL EXT. AND LOAD BEARING STUD WALLS: STUD SPACING SHALL NOT EXCEED 16" O.C. FOR 2X4 STUDS AND 24" O.C. FOR 2X6 STUDS U.N.O.
9. EXT. JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES AND SHALL BE NAILED WITH NOT LESS THAN EIGHT 16d FACE NAILS ON EACH SIDE OF THE JOINT. PLATES SHALL BE NOMINAL 2 INCHES IN DEPTH AND HAVE A WIDTH AT LEAST EQUAL TO THE WIDTH OF THE STUDS.
10. AT GABLE ENDS, AT LEAST EVERY OTHER GABLE STUD SHALL BE ATTACHED TO THE DOUBLED TOP PLATE AND THE RAFTER WITH A SIMPSON H2.5.
11. BUILDER SHALL TAKE EXTRA CARE TO ENSURE THAT UPPER LEVEL LOAD BEARING WALLS AND POSTS CAN TRANSFER THEIR LOADS TO THE SUPPORTS DIRECTLY BELOW THEM. INSTALL BLOCKING OR STUB COLUMNS BELOW FLOOR DECKING.
12. ALL ROOF FRAMING DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE.

## ROOF FRAMING NOTES:

1. DESIGN LOADS: 20 PSF
2. ALL ROOFS SHALL BE FRAMED 2X6 #2 SYP RAFTERS SPACED @ 16" O.C. WITH A MAX SPAN OF 17'-11". ALL RAFTER SPLICES SHALL BE BRACED W/PLYWOOD GUSSETS BOTH SIDES.
3. PURLINS ARE TO BE SAME DEPTH AS RAFTERS THEY ARE SUPPORTING.
4. ALL HIPS, RIDGES AND VALLEYS TO BE AT LEAST ONE MILL SIZE LARGER THAN RAFTERS THEY ARE SUPPORTING.
5. PROVIDE COLLAR TIES AR 4'-0" O.C. ON ALL RIDGES.
6. ROOF SYSTEM SHALL BE COMPOSITE SHINGLES OVER 30# ROOFING FELT OVER 1/2" CDX PLYWOOD OR OSB STRUCTURAL PANELS. EXPOSURE 1.
7. CONTRACTOR SHALL FIELD VERIFY ALL ARCHITECTURAL FEATURES AND IS RESPONSIBLE FOR FIT AND FINISH.

ROOF VENTING NOTES:  
PROVIDE ADEQUATE VENTING FOR ATTIC USING A COMBINATION OF CONTINUOUS SOFFIT VENTING AND EITHER CONTINUOUS RIDGE VENTS AT ALL ROOF RIDGES OR VENT TILES TO COORDINATE WITH ROOF TILES. OWNER TO MAKE FINAL DECISION. IF VENT TILES ARE SELECTED, THEY SHALL BE LOCATED ON THE UPPER 1/3 OF THE ROOF AND INSTALLED ON THE ROOF PLANES NOT VISIBLE FROM THE MAIN ENTRY DRIVE. REFER TO ROOF TILE MANUFACTURER SPECIFICATIONS FOR ANY ADDITIONAL VENTING NOTES OR REQUIREMENTS.





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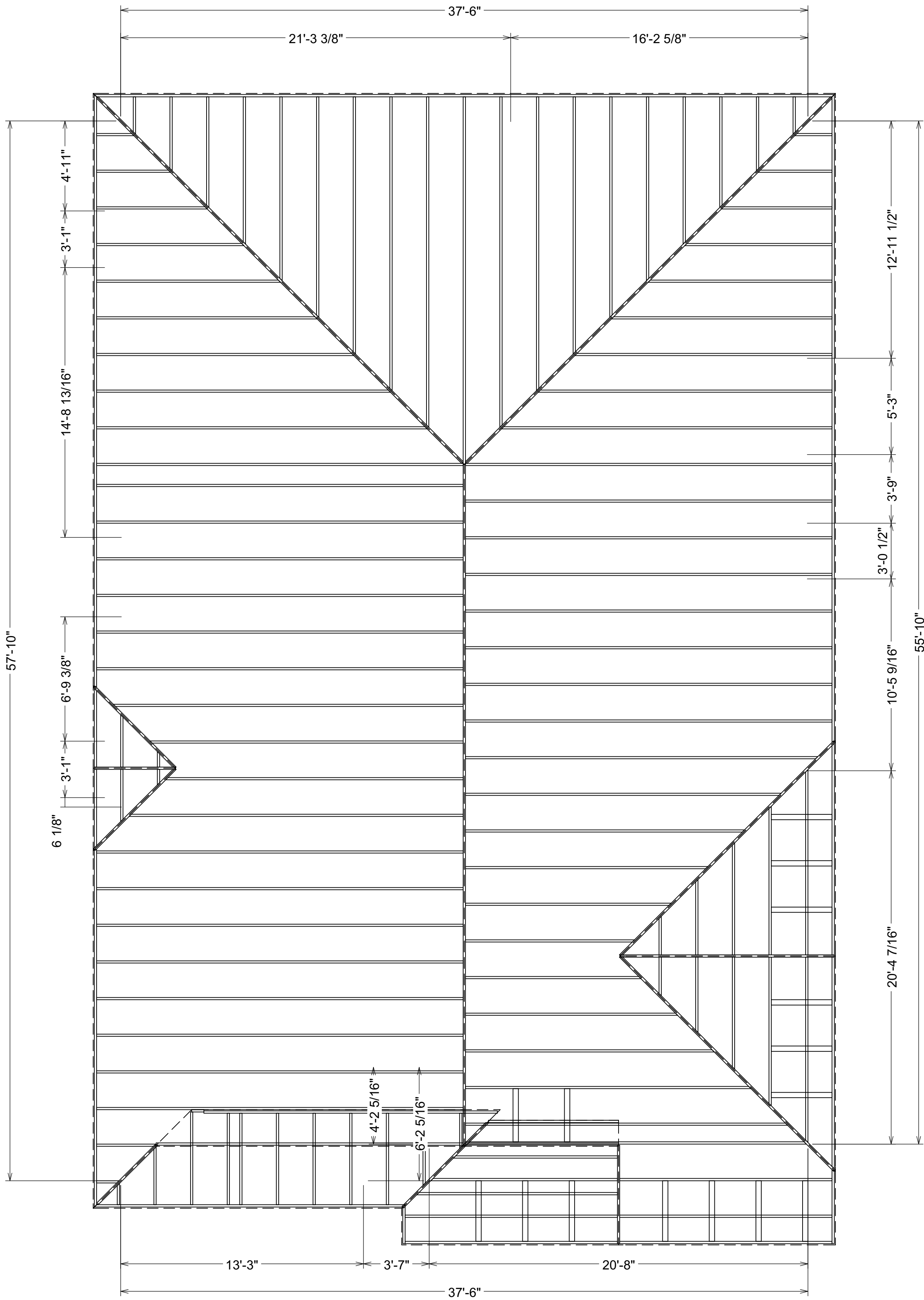
DRAWN BY:  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
1/4" = 1'

SHEET TITLE:  
ROOF FRAMING PLAN

A-8



- FRAMING NOTES:
1. ROOF PITCH 8:12 UNLESS NOTED
  2. ROOF TO BE COMPOSITION SHINGLE
  3. RAFTERS MUST MEET LOCAL CODE
  4. RAFTERS MUST BE SUPPORTED BY CONTINUOUS BRACING HORIZONTAL SPANS OF 15' OR GREATER
  5. SUPPORT ALL RIDGES, VALLEYS AND HIPS AT 8' MAX
  6. RAFTERS MAY BE SPLICED ONLY AT CONTINUOUS BRACING
  7. FASCIA OVERHANG 18" UNLESS NOTED

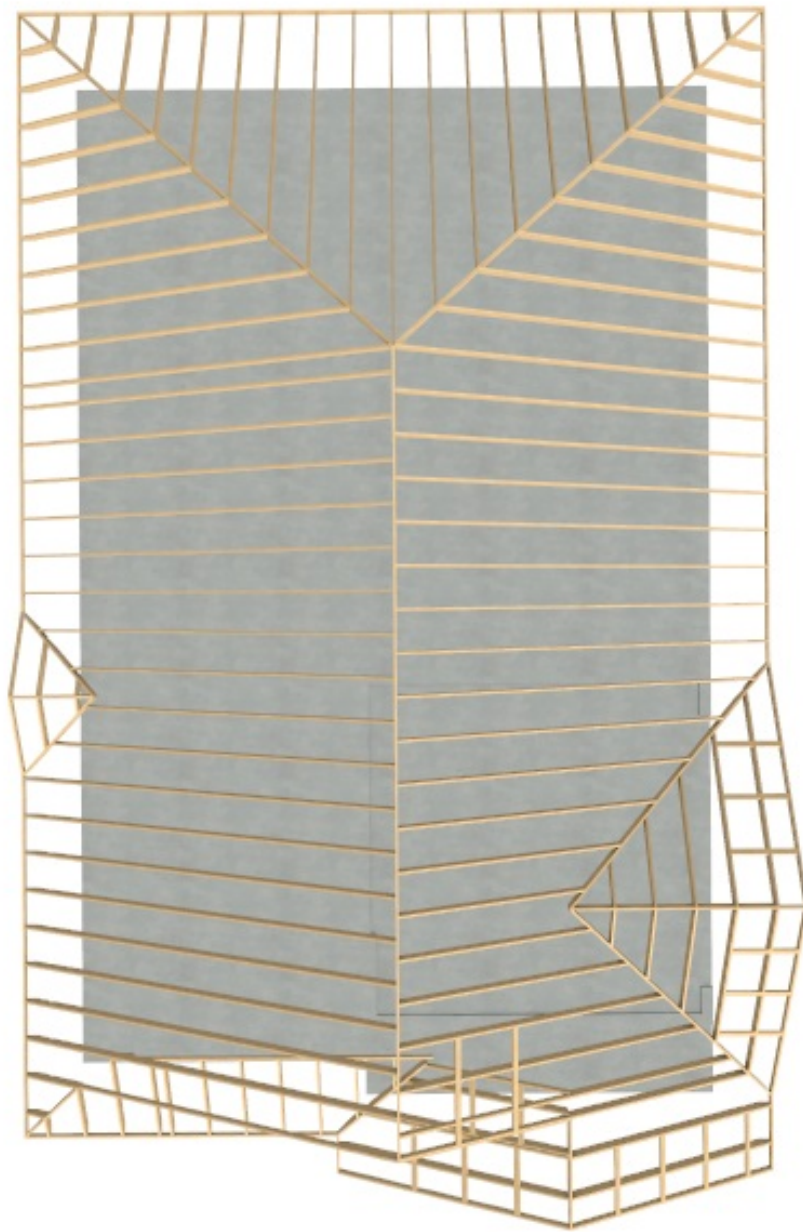
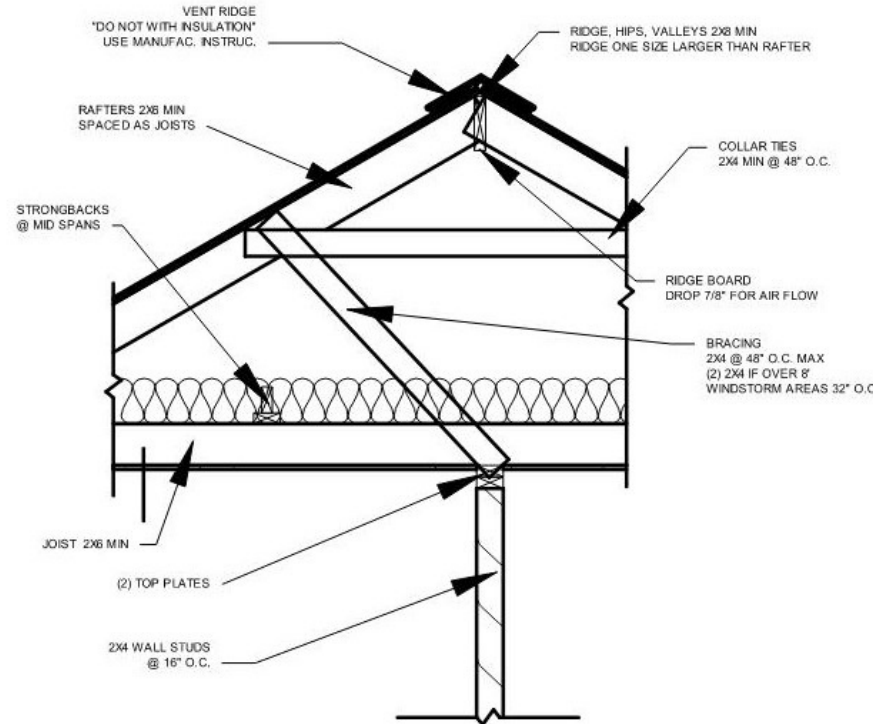
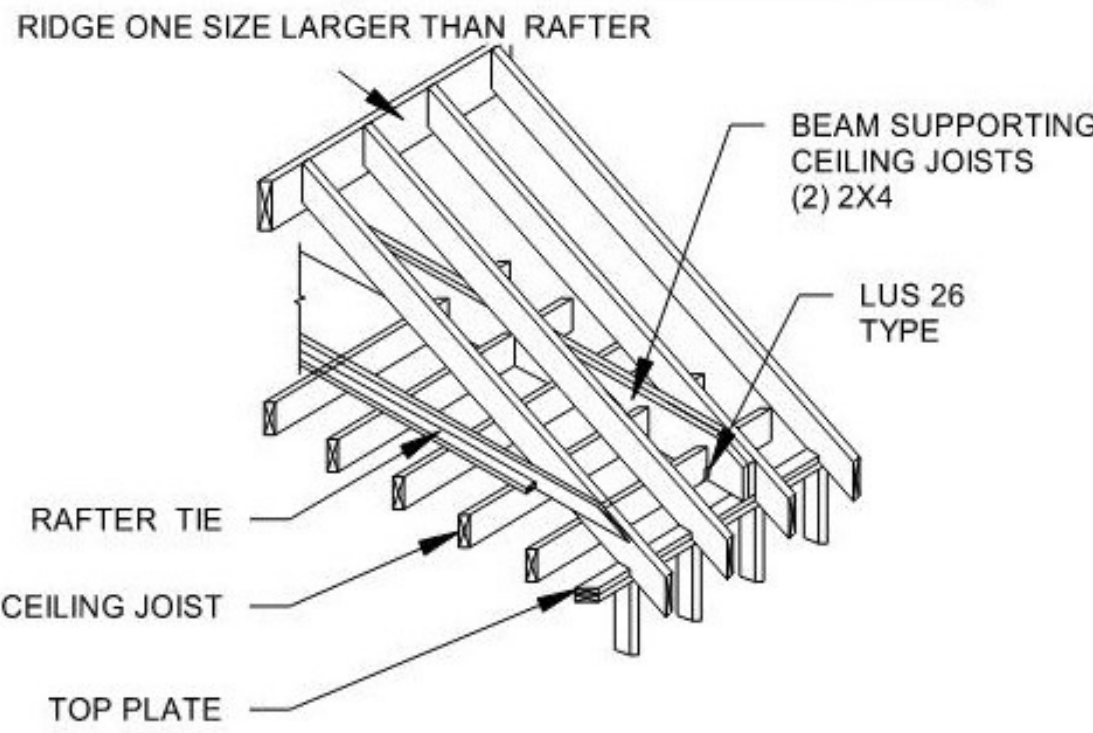


IMAGE NTS

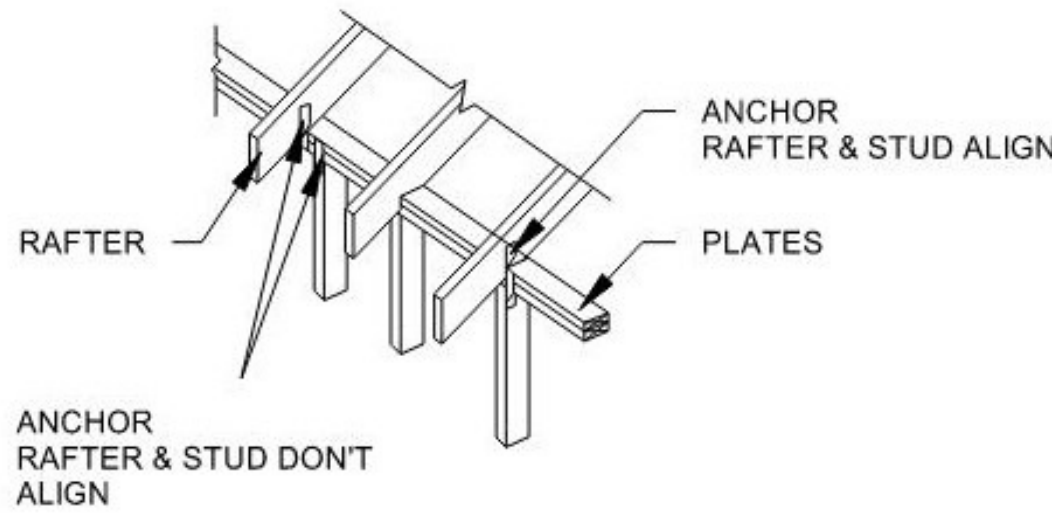
ROOF CROSS SECTION (N.T.S)



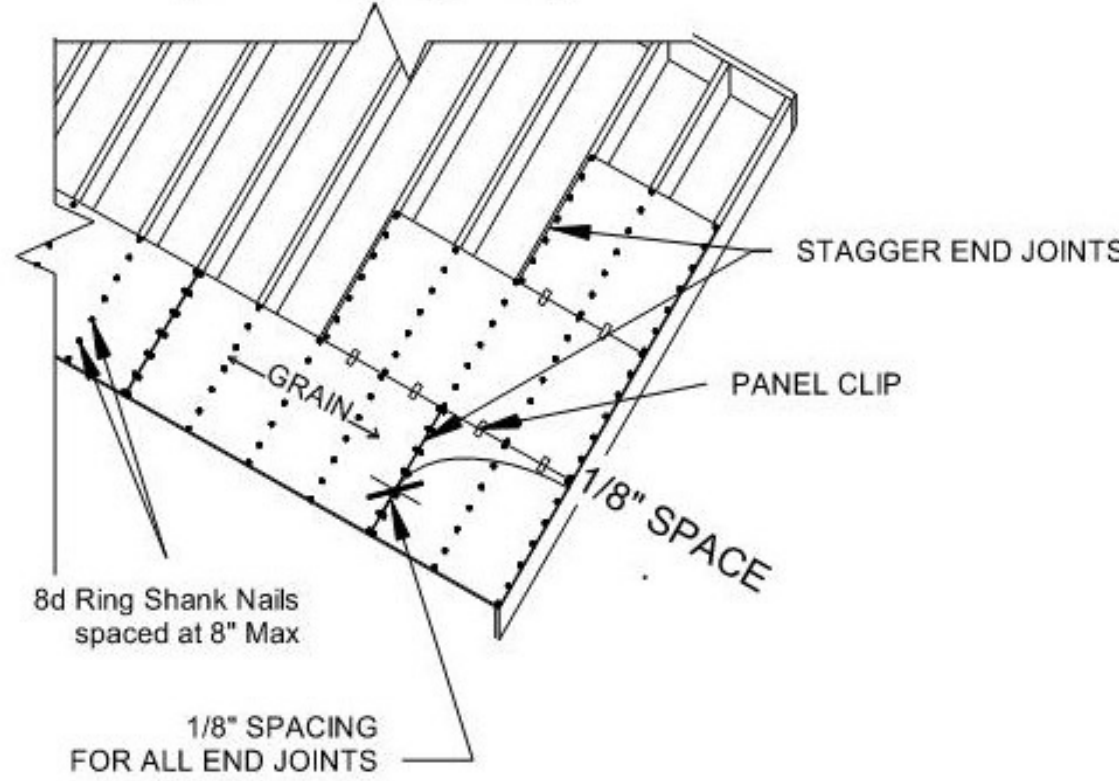
BEAMS AND RAFTERS (N.T.S)



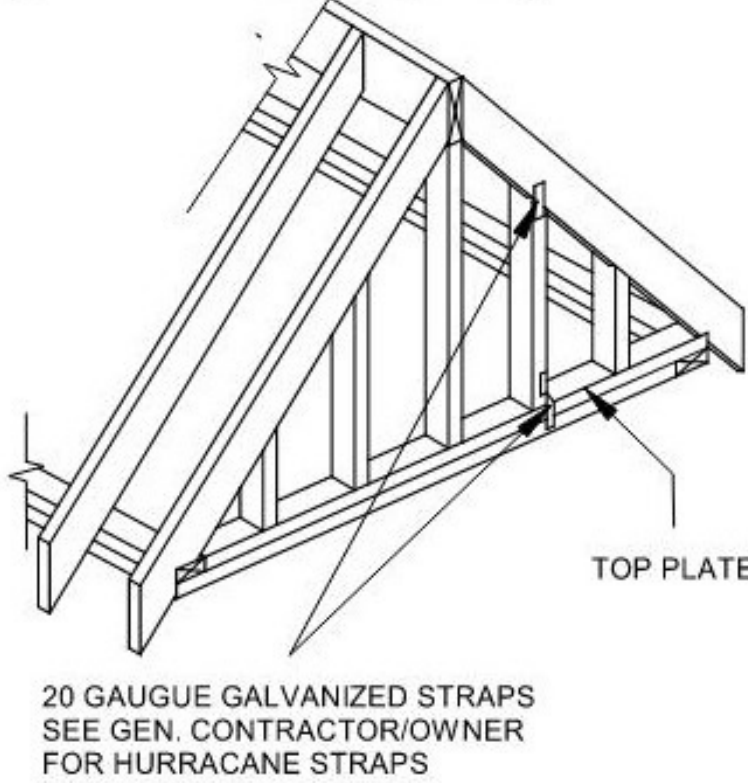
RAFTERS TO WALL (N.T.S)



SHEATHING (N.T.S)



GABLE AND STUDS (N.T.S)





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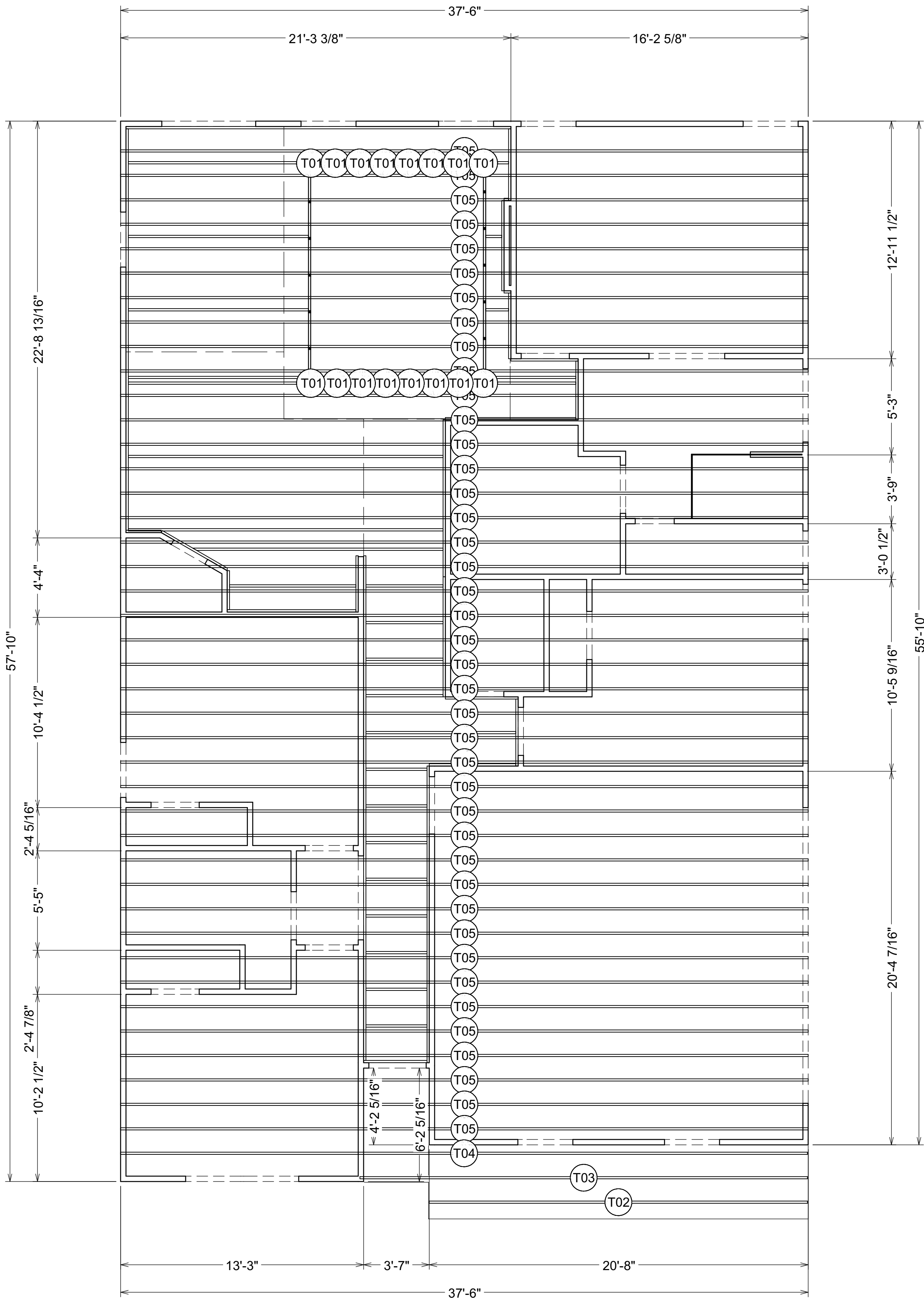
DRAWN BY:  
ATOR

DESCRIPTION:  
CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
1/4" = 1'

SHEET TITLE:  
CEILING FRAMING PLAN

A-9



NOTES:

1. CONTRACTOR TO BE RESPONSIBLE TO SEE THAT ALL STRUCTURES COMPLIES TO ALL CODES.
2. LAMINATED BEAMS TO BE SIZED BY MANUFACTURES ENGINEER.
3. ALL RAFTERS TO BE 2" X 6" @ 24" O.C. UNLESS INCREASED FOR STRUCTURAL PURPOSES.
4. CEILING JOIST TO BE 2" X 6" @ 16" O.C. UNLESS INCREASED FOR STRUCTURAL PURPOSES.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.

FRAMING SCHEDULE						
NUMBER	NAME	QTY	NOMINAL	LENGTH	MATERIAL	TYPE
T01	CEILING JOIST	16	2X6	14 1/2"	FIR FRAMING 1	LUMBER
T02	CEILING JOIST	1	2X6	247 1/2"	FIR FRAMING 1	LUMBER
T03	CEILING JOIST	1	2X6	292 7/8"	FIR FRAMING 1	LUMBER
T04	CEILING JOIST	1	2X6	449 1/2"	FIR FRAMING 1	LUMBER
T05	CEILING JOIST	41	2X6	450"	FIR FRAMING 1	LUMBER

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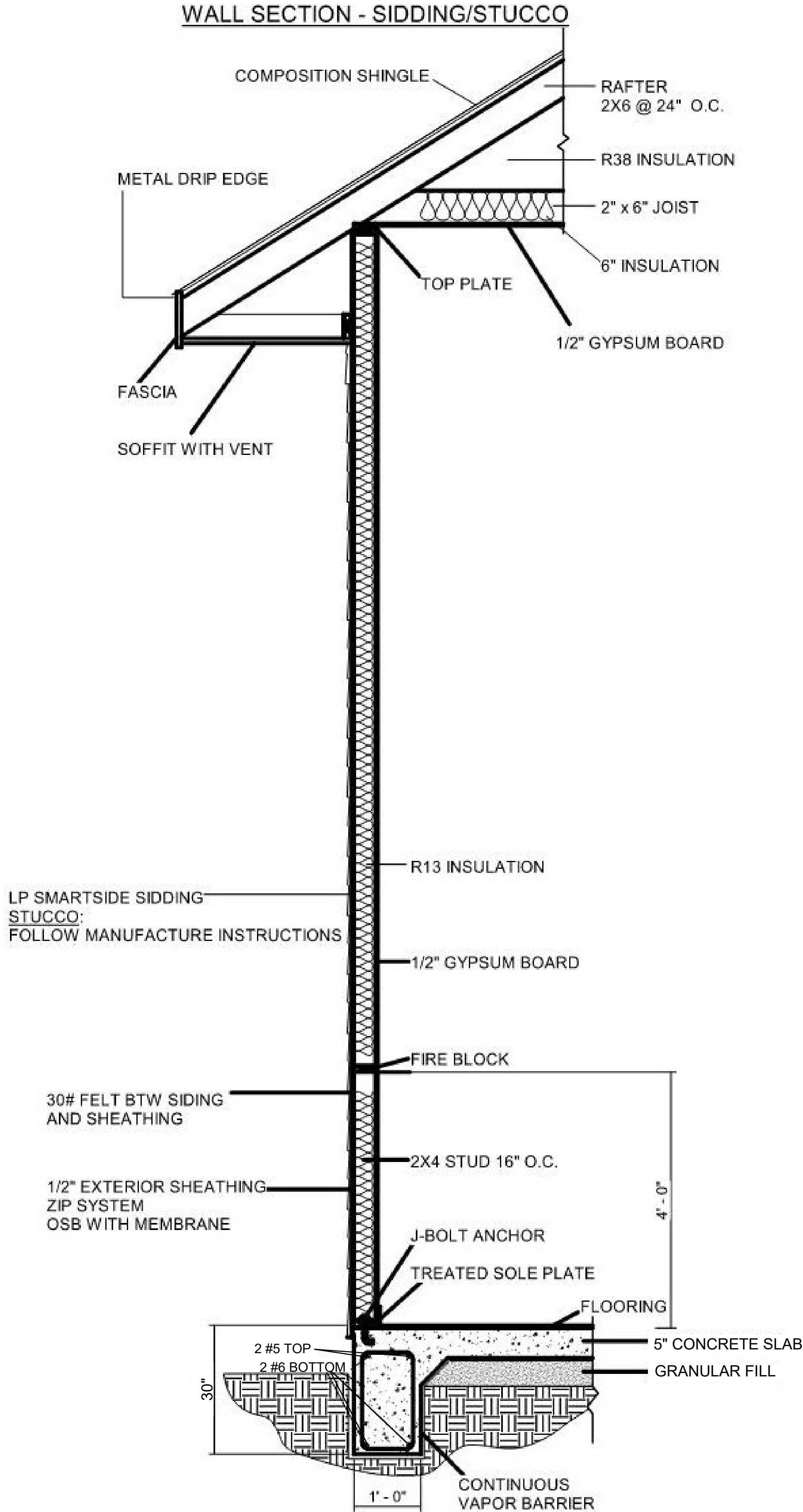
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CRAFTSMAN STYLE  
SINGLE FAMILY RESIDENCE  
ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
NTS

SHEET TITLE:  
WALL SECTION DETAILS

A-10

(N.T.S)



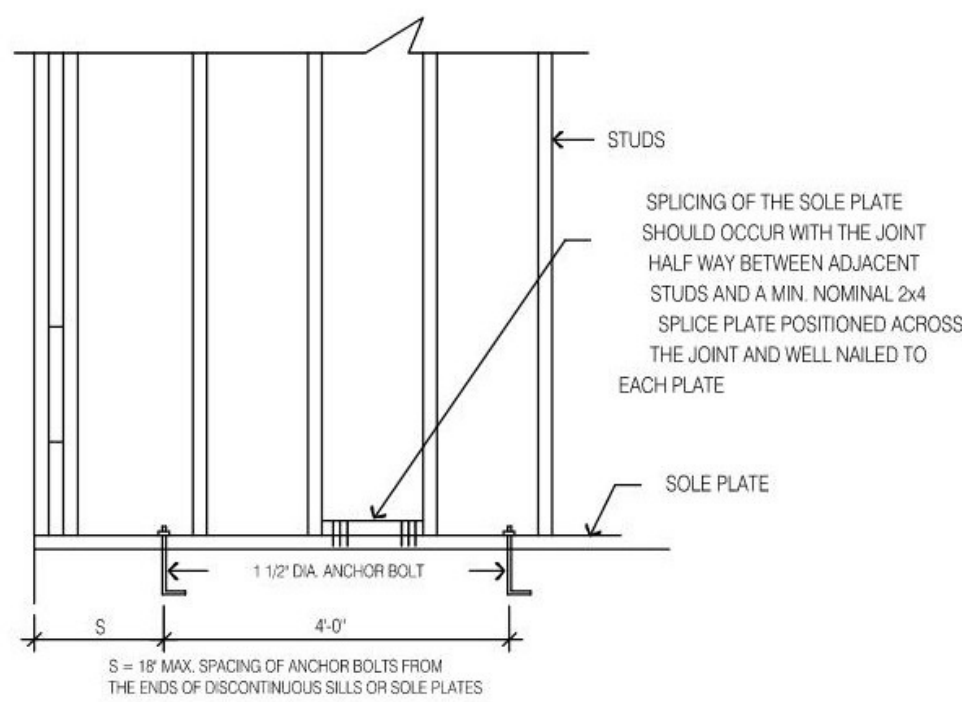
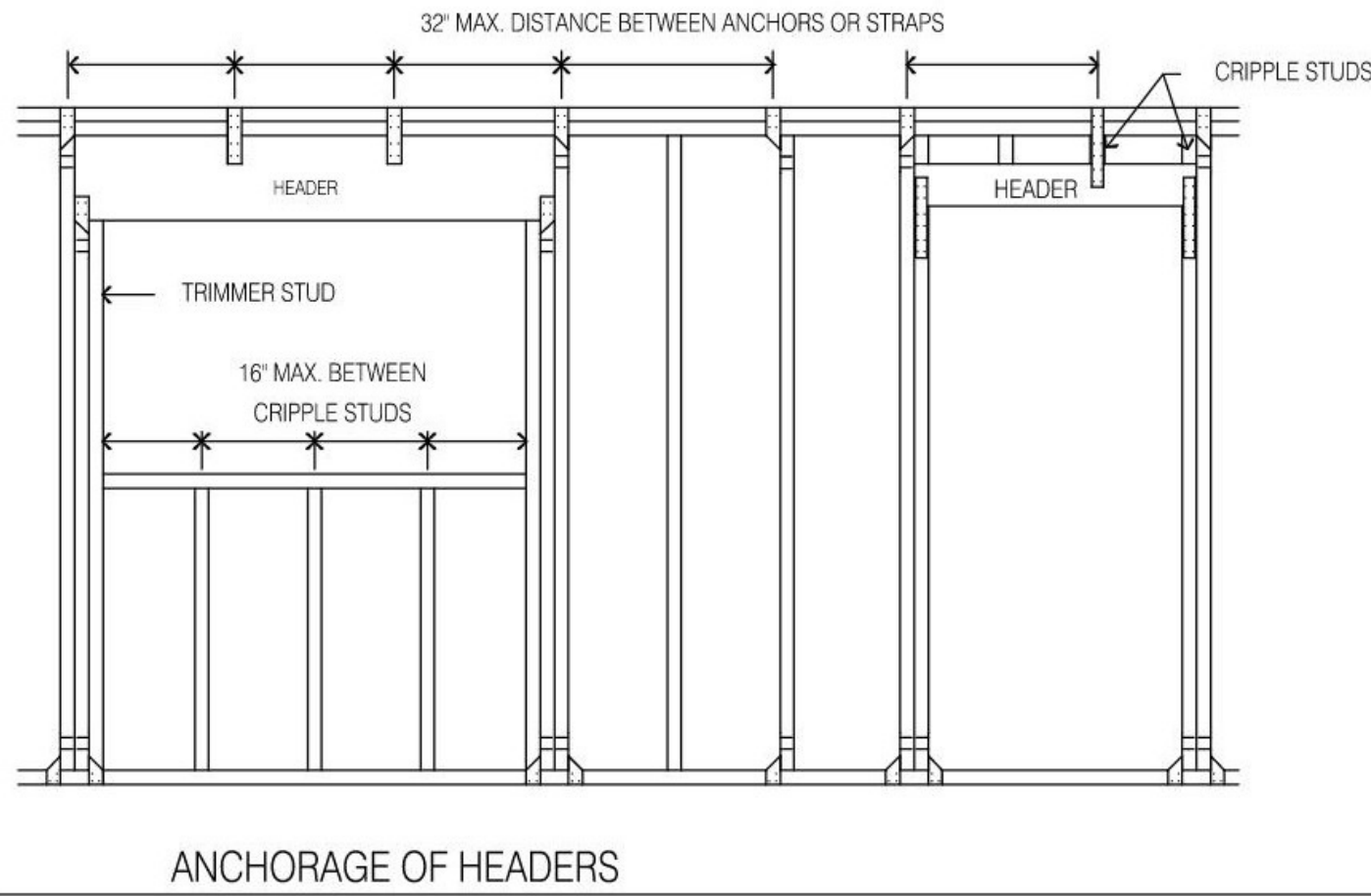
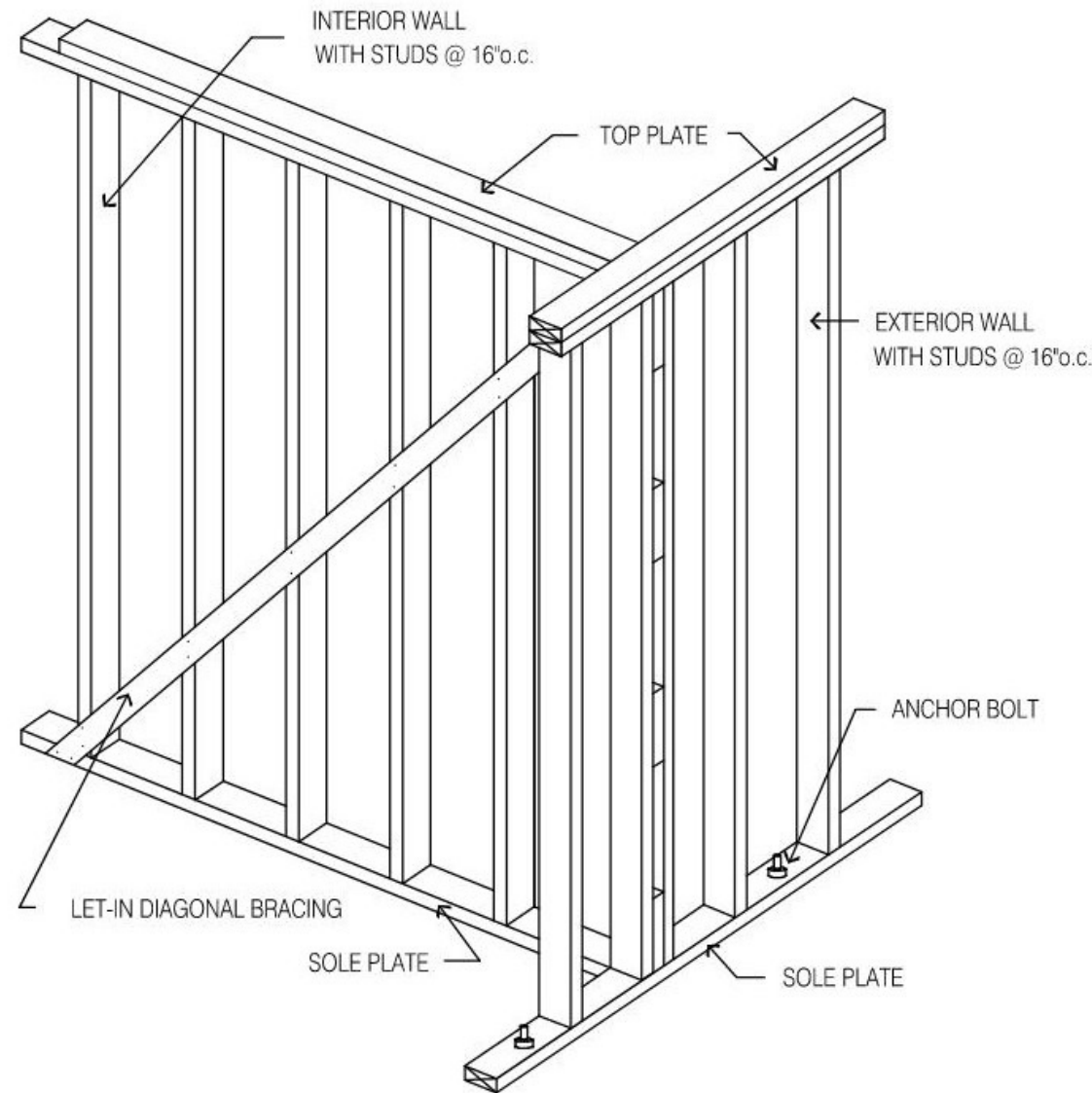
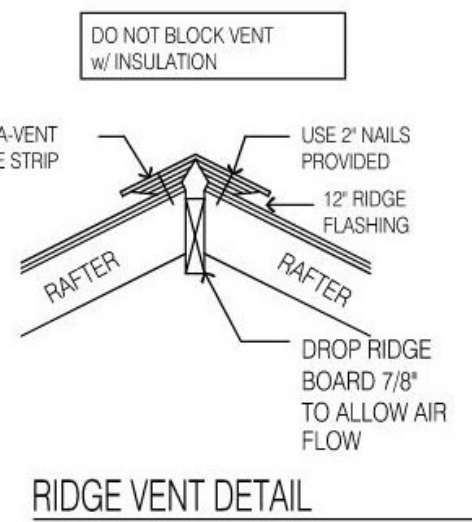
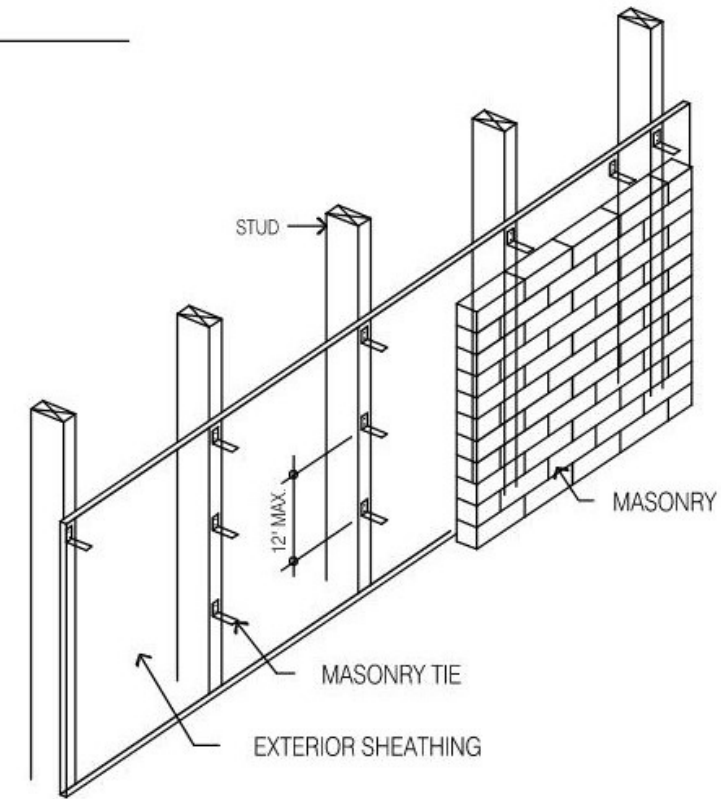
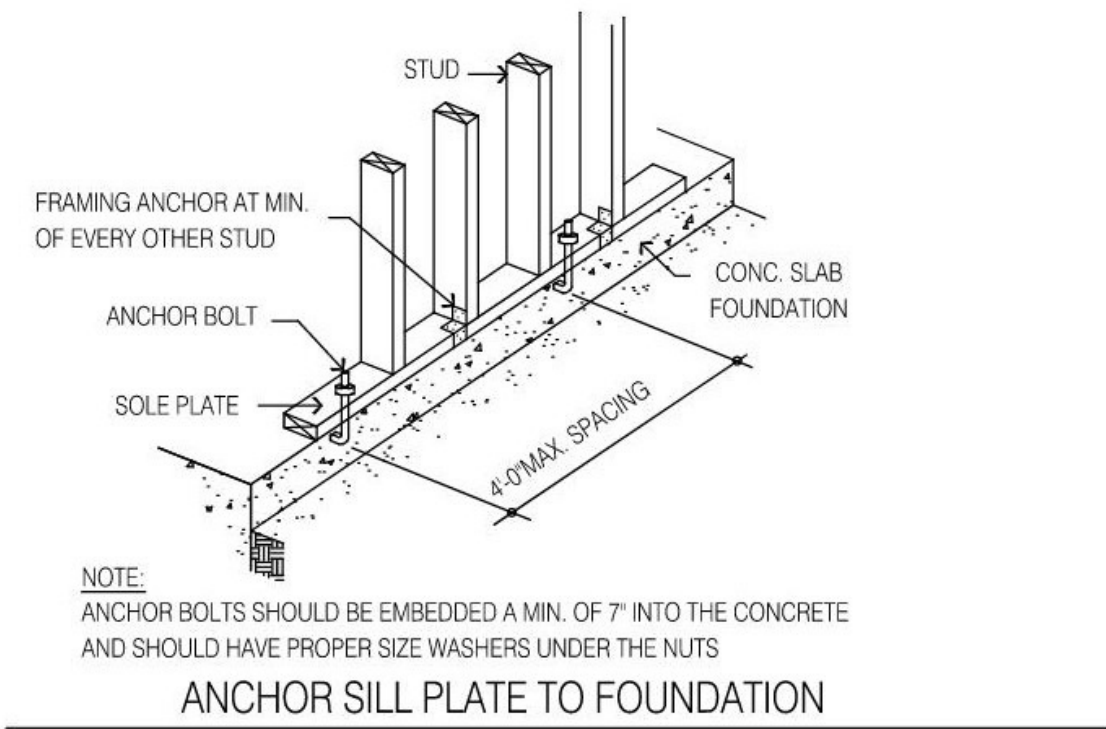
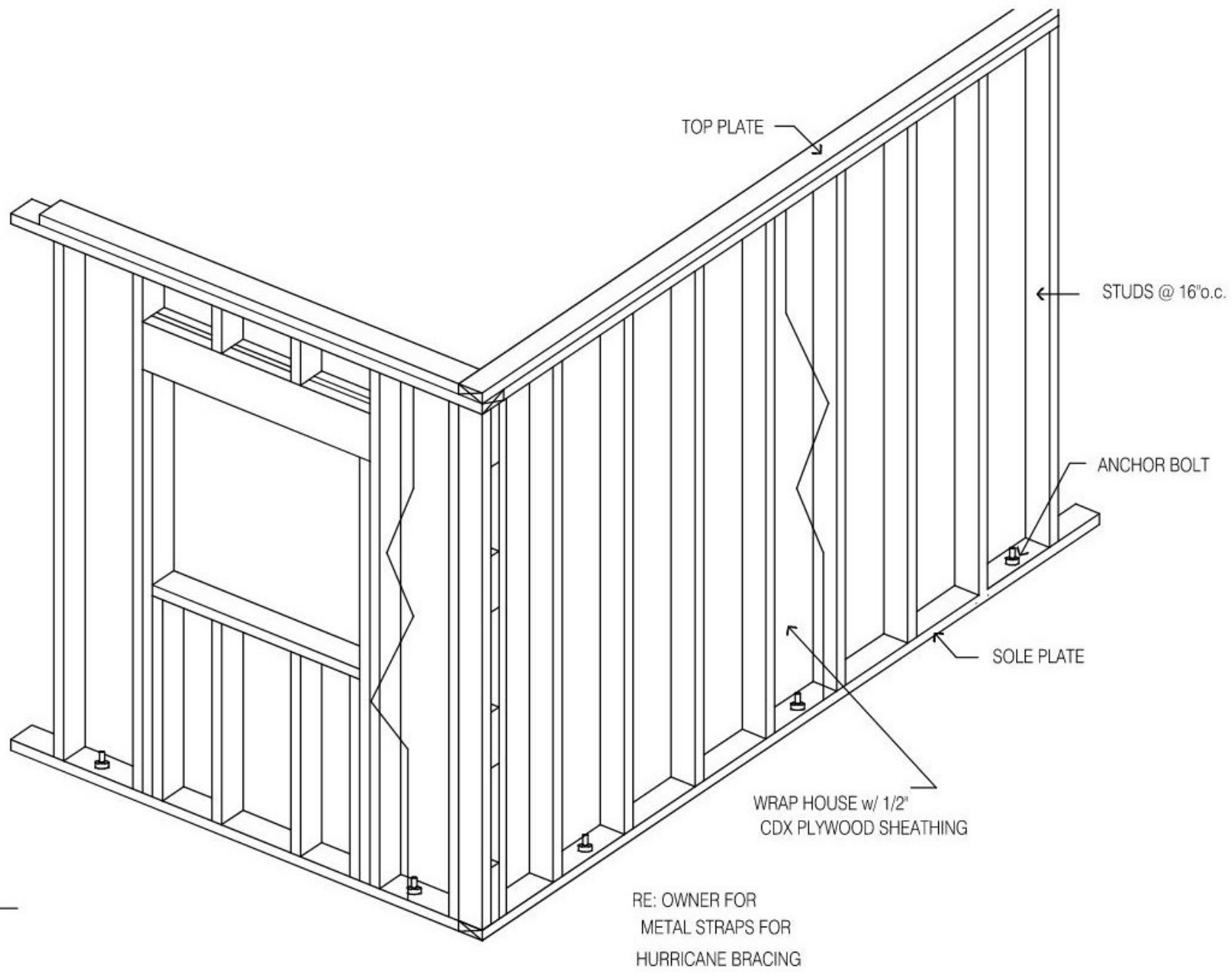
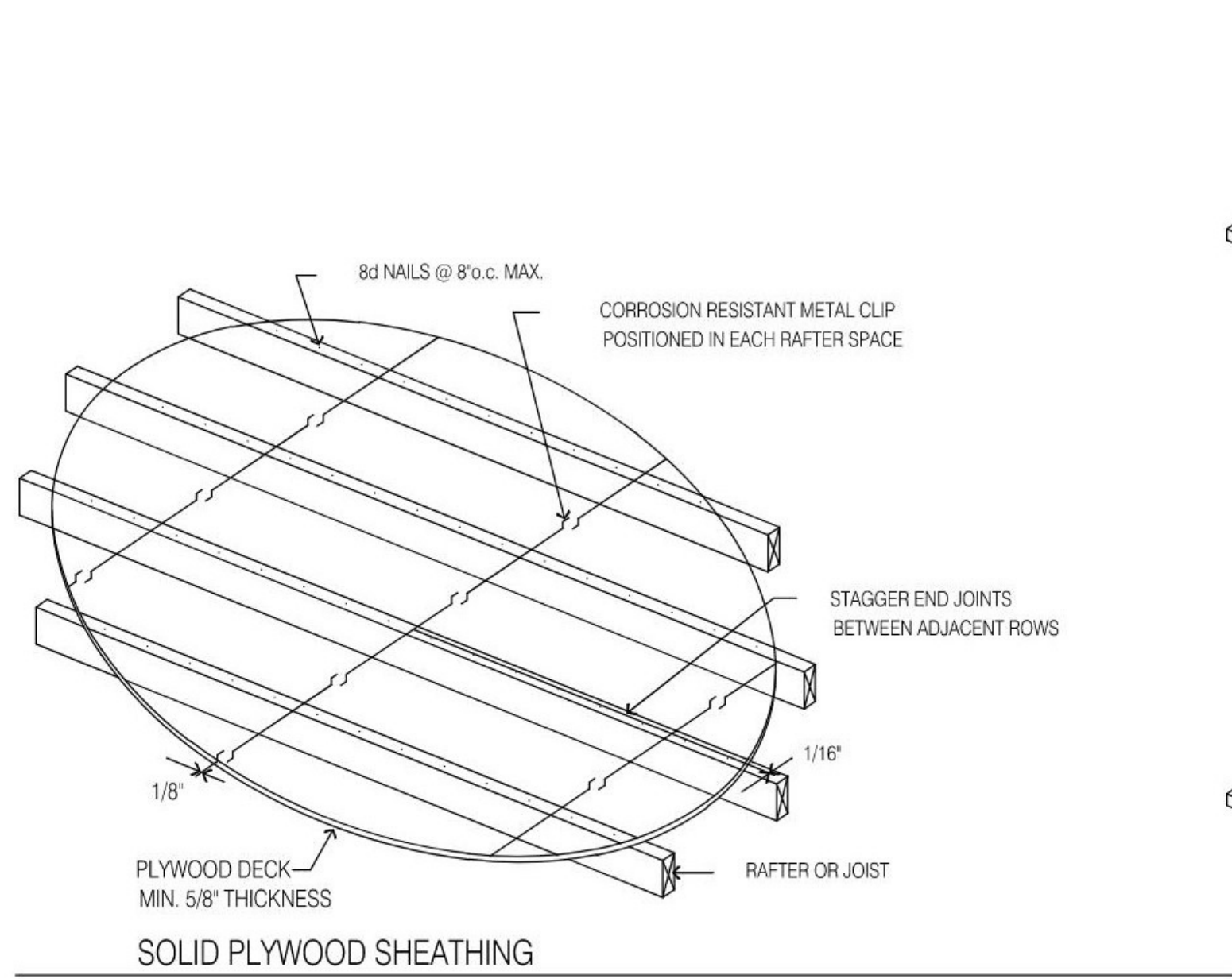


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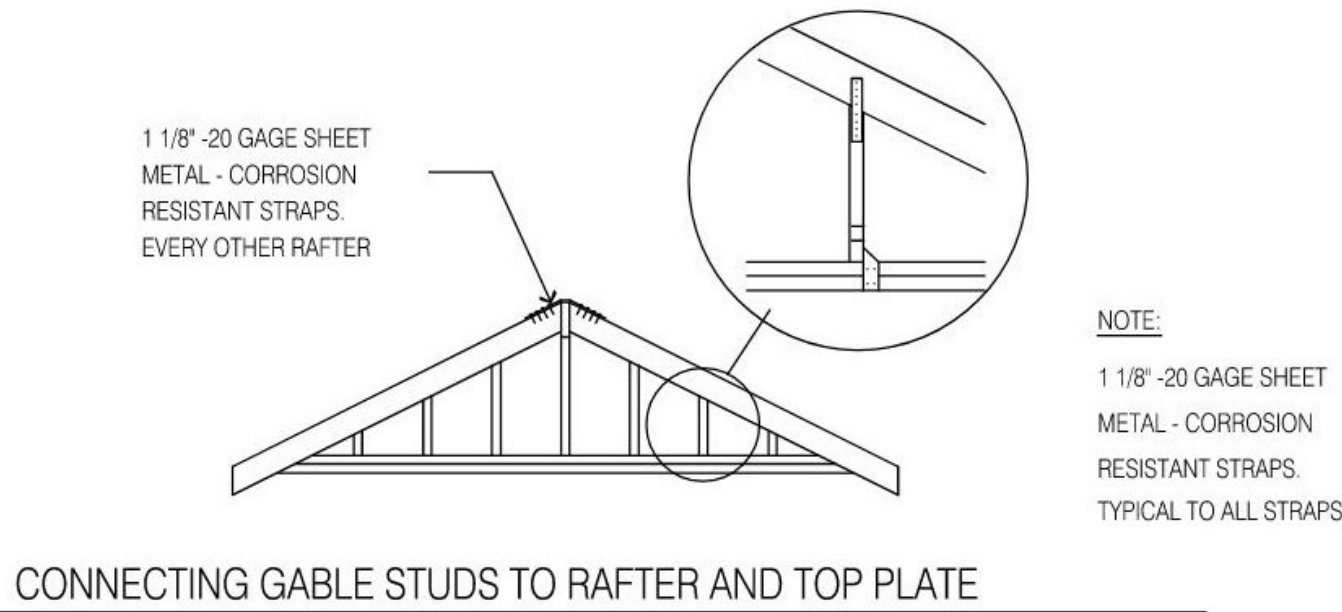
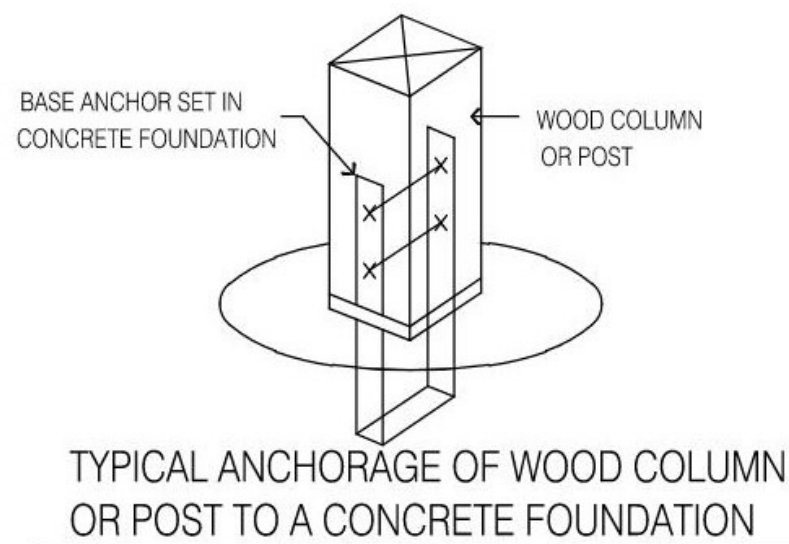
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SEAL:



- NOTE
1. ALL CEILINGS TO BE 9' UNLESS NOTED.
  2. BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
  3. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
  4. W.H. & HVAC TO BE IN ATTIC UNLESS OTHERWISE NOTED.
  5. PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES REFERENCE IRC SECTION G2419.
  6. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOM OR HOT TUBS SHALL BE TEMPERED. TO COMELY W/ IRC SECTION R308.4.8.



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DATE:  
9/15/2023

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ATOR

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ONE STORY | 4 BEDROOM, 2 BATH

SCALE:  
NTS

SHEET TITLE:  
FRAMING DETAILS

A-11