

Wylie Planning and Zoning Commission Regular Meeting

October 04, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, the approval of the September 20, 2022 Minutes.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat Woodlake Village Lots 3-6 of Block A, Slate Commercial PD 2022-38, being a Replat of Lot 1, establishing four commercial lots on 7.788 acres, generally located on State Highway 78 being 1000' east of Eubanks Lane.

REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for Lot 4 of Slate Commercial PD 2022-38, for a multi-tenant retail development on 1.223 acres. Property generally located on State Highway 78 being 1000' east of Eubanks Lane.
- 2. Hold a Public Hearing, consider, and act upon, a recommendation to the City Council regarding a change in zoning from Agricultural District (AG/30) to Planned Development - Single Family (PD-SF) to allow for a single family residential development with three open space lots and a commercial tract on 32.288 acres generally located on Country Club Road approximately 2000' south of Parker Road (ZC 2022-14).

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on September 30, 2022 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Mary Bradley

Subject

Consider, and act upon, Minutes from the September 20, 2022 Regular Meeting.

Recommendation

Motion to approve item as presented.

Discussion

The minutes are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

September 20, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Bryan Rogers called the meeting to order at 6:02pm. Commissioners present: Chair Rogers, Vice Chair Joshua Butler, Commissioner Keith Scruggs, Commissioner James Byrne, Commissioner Jacques Loraine, and Commissioner Rod Gouge. Commissioners absent were Commissioner Jennifer Grieser.

Staff present: Interim Community Services Director, Jasen Haskins, Senior Planner, Kevin Molina, and Administrative Assistant Mary Bradley.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice Chair Butler gave the Invocation and Commissioner Scruggs led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

No one addressed the Commissioners on Non-Agenda Items.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, the approval of the September 6, 2022 Minutes.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat of LI 78 Logistics Center being Lots 1, 2 and 3, Block A, establishing three lots on 22.052 acres, generally located on the southwest corner of State Highway 78 and Wylie East Drive.

Board Action

A motion was made by Commissioner Gouge, and seconded by Commissioner Byrne to approve Consent Agenda Items A - B as submitted. A vote was taken and carried 6 – 0.

Staff reminded the Commissioners of the next meeting on October 4, 2022. A suggestion was made to do the Texas Pledge as well as the Pledge of Allegiance. Staff stated that that would be researched.

ADJOURNMENT

A motion was made by Vice Chair Butler, and seconded by Commissioner Gouge to adjourn the meeting at 6:10PM.
A vote was taken and carried 6 – 0.

Bryan Rogers, Chair

ATTEST

Mary Bradley, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat Woodlake Village, Lots 3-6, Block A, Slate Commercial PD 2022-38, being a Replat of Lot 1, of Woodlake Village, establishing four commercial lots on 7.788 acres, generally located on State Highway 78 being 1000' east of Eubanks Lane.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Wylie Shops by Slate & Business Park

APPLICANT: Slate Land & Development Co

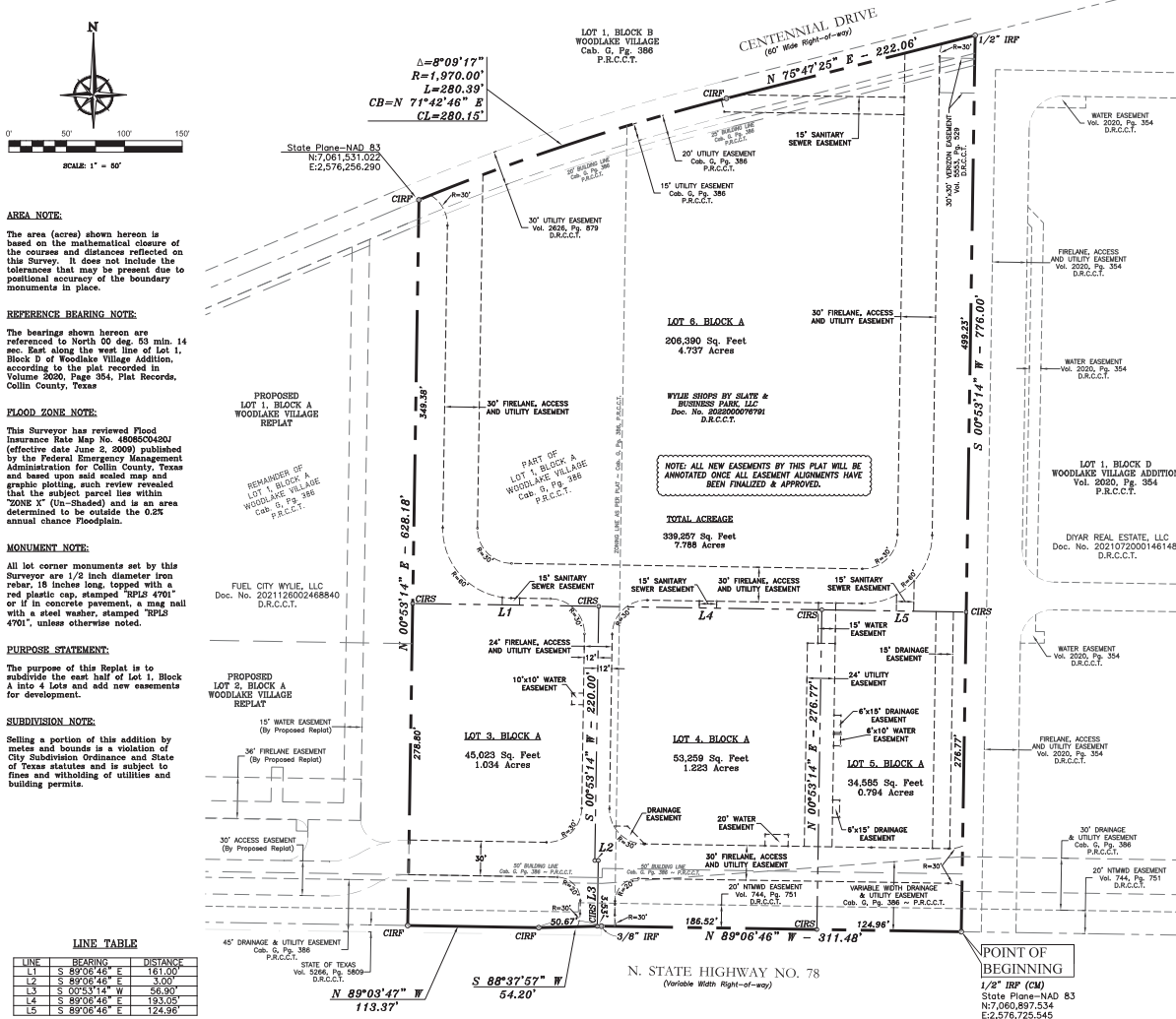
The applicant has submitted a Replat to create Lot 3, 4, 5 and 6 Block A of Woodlake Village. The property is generally located on State Highway 78 being 1000' east of Eubanks Lane.. The 7.788 acre tract was approved by City Council as Planned Development (PD 2022-38) in May of 2022 for the purpose of a Commercial Light Industrial development. The purpose of the Replat is to create 3 commercial lots, one industrial lot and the access drives for the retail/industrial development.

The site plan for Lot 4, Block A of Woodlake Village is also on the regular agenda.

This plat is dedicating access, fire and utility easements for the entire Planned Development. Two access points are provided from Centennial Drive, and one from State Highway 78. The site shall also provide cross access to the adjacent properties to the east and west of the site.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



AREA NOTE:

The area (acres) shown hereon is based on the mathematical closure of the courses and distances reflected on this survey. It does not include the tolerances that may be present due to positional accuracy of the boundary monuments in place.

REFERENCE BEARING NOTE:

The bearings shown hereon are referenced to North 00 deg. 53 min. 14 sec. East along the west line of Lot 1, Block D of Woodlake Village Addition, according to the plat recorded in Volume 2020, Page 354, Plat Records, Collin County, Texas.

FLOOD ZONE NOTE:

This Surveyor has reviewed Flood Insurance Rate Map No. 48065C04801 (effective date June 2, 2009) published by the Federal Emergency Management Administration for Collin County, Texas and based upon said map and graphic plotting, such review revealed that the subject parcel lies within "ZONE X" (Un-Shaded) and is an area determined to be outside the 0.2% annual chance Floodplain.

MONUMENT NOTE:

All lot corner monuments set by this Surveyor are 1/2 inch diameter iron rebar, 18 inches long, topped with a red plastic cap, stamped "RPLS 4701" or if in concrete pavement, a mag nail with a steel washer, stamped "RPLS 4701", unless otherwise noted.

PURPOSE STATEMENT:

The purpose of this Replat is to subdivide the east half of Lot 1, Block A into 4 Lots and add new easements for development.

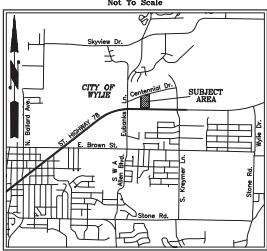
SUBDIVISION NOTE:

Selling a portion of this addition by lot and bounds is a violation of City Subdivision Ordinance and State of Texas statutes and is subject to fines and withholding of utilities and building permits.

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 89°06'48" E	161.00'
L2	S 89°06'48" E	3.00'
L3	S 00°53'14" W	56.90'
L4	S 89°06'48" E	193.00'
L5	S 89°06'48" E	124.96'

VICINITY MAP



ABBREVIATIONS

Cab. = Cabinet
Vol. = Volume
Pg. = Page
Doc. No. = Document Number
P.R.C.C.T. = Plat Records, Collin County, Texas
D.R.C.C.T. = Deed Records, Collin County, Texas
CM = Controlling Monument
IRF = Iron Rod Found
CIRS = 1/2" Iron Rod Set with Red Plastic Cap Stamped "RPLS 4701"
CIRP = 1/2" Iron Rod Found with Green Plastic Cap Stamped "EAGLE SURVEYING"
MNS = Mag Nail Set with Steel Washer Stamped "RPLS 4701"
4701 = The License Number for this Registered Professional Land Surveyor
NTMWD = North Texas Municipal Water District

STATE OF TEXAS)
COUNTY OF COLLIN)

OWNER'S CERTIFICATE

WHEREAS, WYLIE SHOPS BY SLATE & BUSINESS PARK, LLC is the owner of that certain tract of land, situated in the City of Wylie, in the Francisco De La Pena Survey, Abstract No. 688 of Collin County, Texas and being a portion of Lot 1, Block A of Woodlake Village, an addition to the City of Wylie, according to the plat thereof, recorded in Cabinet G, Page 385, Plat Records, Collin County, Texas (P.R.C.C.T.) and also being that same called 7.79 acre tract of land described in a Special Warranty Deed to Wylie Shops By Slate & Business Park, LLC, recorded in Document No. 2022000076791, Deed Records, Collin County, Texas (D.R.C.C.T.) and said parcel being more particularly described by metes & bounds as follows:

BEGINNING at a 1/2 inch iron rod found on the north right-of-way line of State Highway No. 78 (variable width right-of-way) for the southeast corner of the above described Lot 1, Block A and said 7.79 acre tract and same being the southwest corner of Lot 1, Block D of Woodlake Village Addition, an addition to the City of Wylie, according to the plat thereof, recorded in Volume 2020, Page 354, P.R.C.C.T.;

THENCE: North 89 deg. 06 min. 48 sec. West, along the common line of said State Highway No. 78 and said Lot 1, Block A, a distance of 311.48 feet to a 3/8 inch iron rod found for an angle corner;

THENCE: South 89 deg. 06 min. 48 sec. West, continuing along said common line, a distance of 54.20 feet to a 1/2 inch iron rod, topped with a green plastic cap, stamped Eagle Surveying, found for an angle corner;

THENCE: North 89 deg. 03 min. 47 sec. West, continuing along said common line, a distance of 113.37 feet to a 1/2 inch iron rod, topped with a green plastic cap, stamped Eagle Surveying, found for the southwest corner of said 7.79 acre tract;

THENCE: North 00 deg. 53 min. 14 sec. East, departing from said State Highway, over & across said Lot 1, Block A and with the west line of said 7.79 acre tract, a distance of 528.18 feet to a 1/2 inch iron rod, topped with a green plastic cap, stamped Eagle Surveying, found on the south right-of-way line of Centennial Drive (60' wide right-of-way) for the northwest corner of said 7.79 acre tract and said point being in a non-tangent curve to the right, having a radius of 1,970.00 feet, a central angle of 08 deg. 09 min. 17 sec. and a chord that bears North 71 deg. 42 min. 44 sec. East - 280.15 feet;

THENCE: Along the common line of said Lot 1, Block A, said 7.79 acre tract and said Centennial Drive and with said curve to the right, an arc distance of 280.39 feet to a 1/2 inch iron rod, topped with a green plastic cap, stamped Eagle Surveying, found for corner at the end of said curve;

THENCE: North 75 deg. 47 min. 25 sec. East, continuing along said common line, a distance of 222.06 feet to a 1/2 inch iron rod found for the northeast corner of said Lot 1, Block A and said 7.79 acre tract and same being the northwest corner of the above described Lot 1, Block D of Woodlake Village Addition;

THENCE: South 00 deg. 53 min. 14 sec. West, departing from Centennial Drive, along the common line of said Lot 1, Block A and said Lot 1, Block D, a distance of 778.00 feet to the POINT OF BEGINNING and containing 339,257 square feet or 7.788 acres of land.

OWNER'S DEDICATION

STATE OF TEXAS)
COUNTY OF COLLIN)

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That WYLIE SHOPS BY SLATE & BUSINESS PARK, LLC, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as WOODLAKE VILLAGE ADDITION, LOTS 3, 4, 5 AND 6, BLOCK A, an addition to the City of Wylie, Texas, being a replat of LOT 1, BLOCK A, OF WOODLAKE VILLAGE ADDITION, recorded in Cabinet G, Page 384, Plat Records, Collin County, Texas, as described in a deed to WYLIE SHOPS BY SLATE & BUSINESS PARK, LLC, recorded in Document No. 2022000076791, of the Deed Records of Collin County, Texas, does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown on this plat, for the use and enjoyment of the public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the improvements shown on this plat, nor shall any improvements be placed in, upon or across the improvements shown on this plat, except as may be approved by the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS MY HAND IN COLLIN COUNTY, TEXAS, this _____ day of _____, 2022.

BY:

Kris Ramji, President/CDO
Wylie Shops By Slate & Business Park, LLC

STATE OF TEXAS)
COUNTY OF COLLIN)

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared KRIS RAMJI, known to me to be the person whose name is subscribed in the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this _____ day of _____, 2022.

Notary Public, State of Texas

SURVEYOR'S CERTIFICATE

KNOWN ALL MEN BY THESE PRESENTS:

That I, Lawrence H. Ringley, do hereby certify that I have prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

DATED this _____ day of _____, 2022.

Lawrence H. Ringley, S.P.L.S.
State of Texas, No. 4701

STATE OF TEXAS)
COUNTY OF COLLIN)

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared LAWRENCE RINGLEY, known to me to be the person whose name is subscribed in the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND IN COLLIN COUNTY, TEXAS, this _____ day of _____, 2022.

Notary Public, State of Texas

"RECOMMENDED FOR APPROVAL"

Chairman, Planning & Zoning Commission
City of Wylie, Texas

"APPROVED FOR CONSTRUCTION"

Mayor, City of Wylie, Texas

"ACCEPTED"

Mayor, City of Wylie, Texas

Date _____
Witness my hand this _____ day of _____, A.D., 2022.

City Secretary
City of Wylie, Texas

Date _____

OWNER

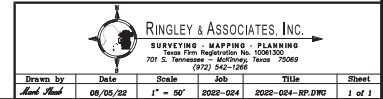
WYLIE SHOPS BY SLATE &
BUSINESS PARK, LLC
5729 Lebanon Rd. #144569
Prisco, Texas 75034
Contact: Kris Ramji
214-718-2626

SURVEYOR

RINGLEY & ASSOCIATES, INC.
701 S. Tennessee Street
McKinney, Texas 75069
Contact: Lawrence Ringley
972-542-1266
LHR@Ringley.com

REPLAT
LOTS 3, 4, 5, AND 6, BLOCK A
WOODLAKE VILLAGE
7.788 ACRES

LOT 1, BLOCK A, WOODLAKE VILLAGE,
Recorded in Cabinet G, Page 386, Plat Records, Collin County, Texas,
situated in the
Francisco De La Pena Survey, Abstract No. 688
City of Wylie, Collin County, Texas



Drawn by	Date	Scale	Job	Title	Sheet
David Reed	08/05/22	1" = 50'	2022-004	2022-004-RP-RPL	1 of 1



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 1

Subject

Consider, and act upon, a Site Plan for Lot 4 of Slate Commercial (PD 2022-38), for a multi-tenant retail development on 1.223 acres. Property generally located on State Highway 78 being 1000' east of Eubanks Lane.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Wylie Shops by Slate & Business Park

APPLICANT: Slate Land & Development Co.

The applicant is proposing to develop a 10,066 sq.ft multi-tenant retail building on 1.223 acres, located on Lot 4, Block A of Woodlake Village. The property is zoned within Planned Development 2022-38 and allows for retail development with shared parking throughout the entire 7.89 acre PD site.

The PD requirements call for one parking space for every 200 square feet of building area, a total of 51 parking spaces are required. The site plan provides 63 parking spaces, two being handicapped spaces.

The site provides 20% of landscaped area with trees and sidewalks along the street frontage of State Highway 78. A meandering sidewalk along State Highway 78 is also provided.

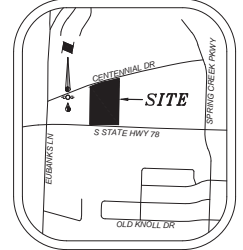
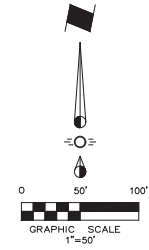
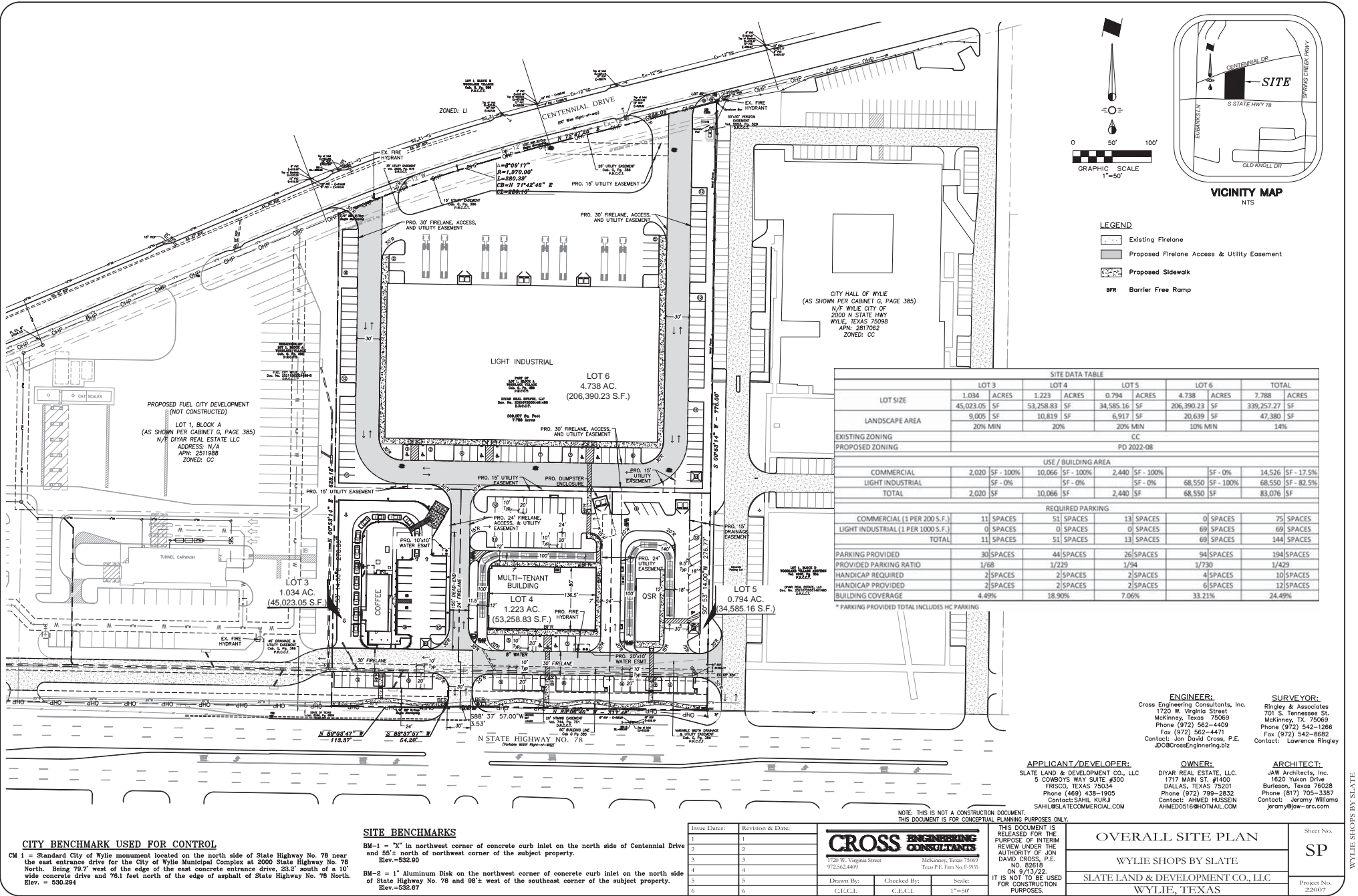
The exterior material of the primary structure consists of brick, stone, and stucco. The entrances are architecturally enhanced with metal awnings and exterior wall offsets to meet the City's architectural requirements.

Once completed the site is expected to have four total access points. One on-site from State Highway 78, two cross access from adjacent properties, and one from Centennial Drive. The site plan presented differs from the zoning exhibit, which is included in the packet for reference. The redesigned layout moves parking from the west side of the lot to the north side. The applicant has stated this was done to provide parking closer to the potential tenant on the east side. The new proposed site layout has been reviewed by staff and is in compliance with site design standards.

The presented plan addresses previous concerns from staff in regards to the drive-through placement aligning with the entrance drive from State Highway 78. The new updated plan has the drive-through shifted to the west. This change has allowed for the development to not have a one way entrance when entering the site and allows for improved traffic flow. The presented plan more closely resembles the zoning exhibit of the Planned Development than the denied site plan.

As presented, the site plan is in general compliance with the design requirements of the Zoning Ordinance and of Planned Development 2022-38. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department. A replat for the site has been applied for and is on the consent agenda.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



VICINITY MAP
NTS

- LEGEND**
- Existing Firelane
 - Proposed Firelane Access & Utility Easement
 - Proposed Sidewalk
 - BFR Barrier Free Ramp

SITE DATA TABLE										
LOT SIZE	LOT 3		LOT 4		LOT 5		LOT 6		TOTAL	
	1.034 ACRES	1.223 ACRES	0.794 ACRES	4.738 ACRES	7.788 ACRES					
	45,023.05 SF	53,258.83 SF	34,585.16 SF	206,390.23 SF	339,257.27 SF					
	9,005 SF	10,819 SF	6,917 SF	20,639 SF	47,380 SF					
LANDSCAPE AREA	20% MIN		20%		20% MIN		10% MIN		14%	
EXISTING ZONING	CC									
PROPOSED ZONING	PD 2022-08									
USE / BUILDING AREA										
COMMERCIAL	2,020 SF - 100%	10,066 SF - 100%	2,440 SF - 100%		SF - 0%		14,526 SF - 17.5%			
LIGHT INDUSTRIAL	SF - 0%	SF - 0%	SF - 0%		68,550 SF - 100%		68,550 SF - 82.5%			
TOTAL	2,020 SF	10,066 SF	2,440 SF		68,550 SF		83,076 SF			
REQUIRED PARKING										
COMMERCIAL (1 PER 200 S.F.)	11 SPACES	51 SPACES	13 SPACES		0 SPACES		75 SPACES			
LIGHT INDUSTRIAL (1 PER 1000 S.F.)	0 SPACES	0 SPACES	0 SPACES		69 SPACES		69 SPACES			
TOTAL	11 SPACES	51 SPACES	13 SPACES		69 SPACES		144 SPACES			
PARKING PROVIDED	30 SPACES	44 SPACES	26 SPACES		94 SPACES		194 SPACES			
PROVIDED PARKING RATIO	1/68	1/229	1/94		1/730		1/429			
HANDICAP REQUIRED	2 SPACES	2 SPACES	2 SPACES		4 SPACES		10 SPACES			
HANDICAP PROVIDED	2 SPACES	2 SPACES	2 SPACES		6 SPACES		12 SPACES			
BUILDING COVERAGE	4.49%	18.90%	7.06%		33.21%		24.49%			
* PARKING PROVIDED TOTAL INCLUDES HC PARKING										

CITY BENCHMARK USED FOR CONTROL
 CM 1 = Standard City of Wylie monument located on the north side of State Highway No. 78 near the east entrance drive for the City of Wylie Municipal Complex at 2000 State Highway No. 78 North. Being 79.7' west of the edge of the east concrete entrance drive, 23.2' south of a 10' wide concrete drive and 76.1 feet north of the edge of asphalt of State Highway No. 78 North. Elev. = 530.294

SITE BENCHMARKS
 BM-1 = 7" in northwest corner of concrete curb inlet on the north side of Centennial Drive and 55'± north of northwest corner of the subject property. Elev. = 532.90
 BM-2 = 1" Aluminum Disk on the northwest corner of concrete curb inlet on the north side of State Highway No. 78 and 98'± west of the southeast corner of the subject property. Elev. = 532.67

Issue Dates: 1, 2, 3, 4, 5, 6
 Revision & Dates: 1, 2, 3, 4, 5, 6

CROSS ENGINEERING CONSULTANTS
 1720 W. Virginia Street
 McKinney, Texas 75069
 Phone (972) 562-4489
 Fax (972) 562-4471
 Email: info@cross-engineering.com

McKinney, Texas 75069
 Phone (972) 799-2832
 Contact: AHMED HUSSEIN
 Email: AHMED0516@HOTMAIL.COM

ON 9/13/22
 IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

APPLICANT/DEVELOPER:
 SLATE LAND & DEVELOPMENT CO., LLC
 5 COWBOYS WAY SUITE 4300
 FRISCO, TEXAS 75034
 Phone (469) 438-1905
 Contact: SAHIL KOURI
 Email: SAHIL@SLATECOMMERCIAL.COM

OWNER:
 DIYAR REAL ESTATE, LLC
 1717 MAIN ST. #1400
 DALLAS, TEXAS 75201
 Phone (972) 799-2832
 Contact: AHMED HUSSEIN
 Email: AHMED0516@HOTMAIL.COM

ARCHITECT:
 JAW Architects, Inc.
 1620 Yukon Drive
 Burleson, Texas 76028
 Phone (817) 705-3387
 Contact: Jeremy Williams
 Email: jeremy@jaw-ar.com

ENGINEER:
 Cross Engineering Consultants, Inc.
 1720 W. Virginia Street
 McKinney, Texas 75069
 Phone (972) 562-4489
 Fax (972) 562-4471
 Contact: Jon David Cross, P.E.
 Email: JDC@CrossEngineering.biz

SURVEYOR:
 Ringling & Associates
 701 S. Tennessee St.
 McKinney, TX 75069
 Phone (972) 542-1266
 Fax (972) 542-8682
 Contact: Lawrence Ringling

OVERALL SITE PLAN		Sheet No.
WYLIE SHOPS BY SLATE		SP
SLATE LAND & DEVELOPMENT CO., LLC		Project No.
WYLIE, TEXAS		220007

WYLIE SHOPS BY SLATE

SHRUBS				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
186	(Symbol)	DWARF BURFORD HOLLY	Ilex cornuta Burfordii nana	5 gallon, 20"-24" H./18"-20" spread, full, bushy specimen
17	(Symbol)	MEXICAN FEATHER GRASS	Stipa tenuistria	1 gallon, 12" H./12" spread full, bushy specimen
TURF GRASS / MISCELLANEOUS				
11,012 S.F.	(Symbol)	ST. GRASS BERMUDA GRASS	Cynodon dactylon	Solid sod
456 L.F.	(Symbol)	RYERSON COMMERCIAL STEEL EDGE		

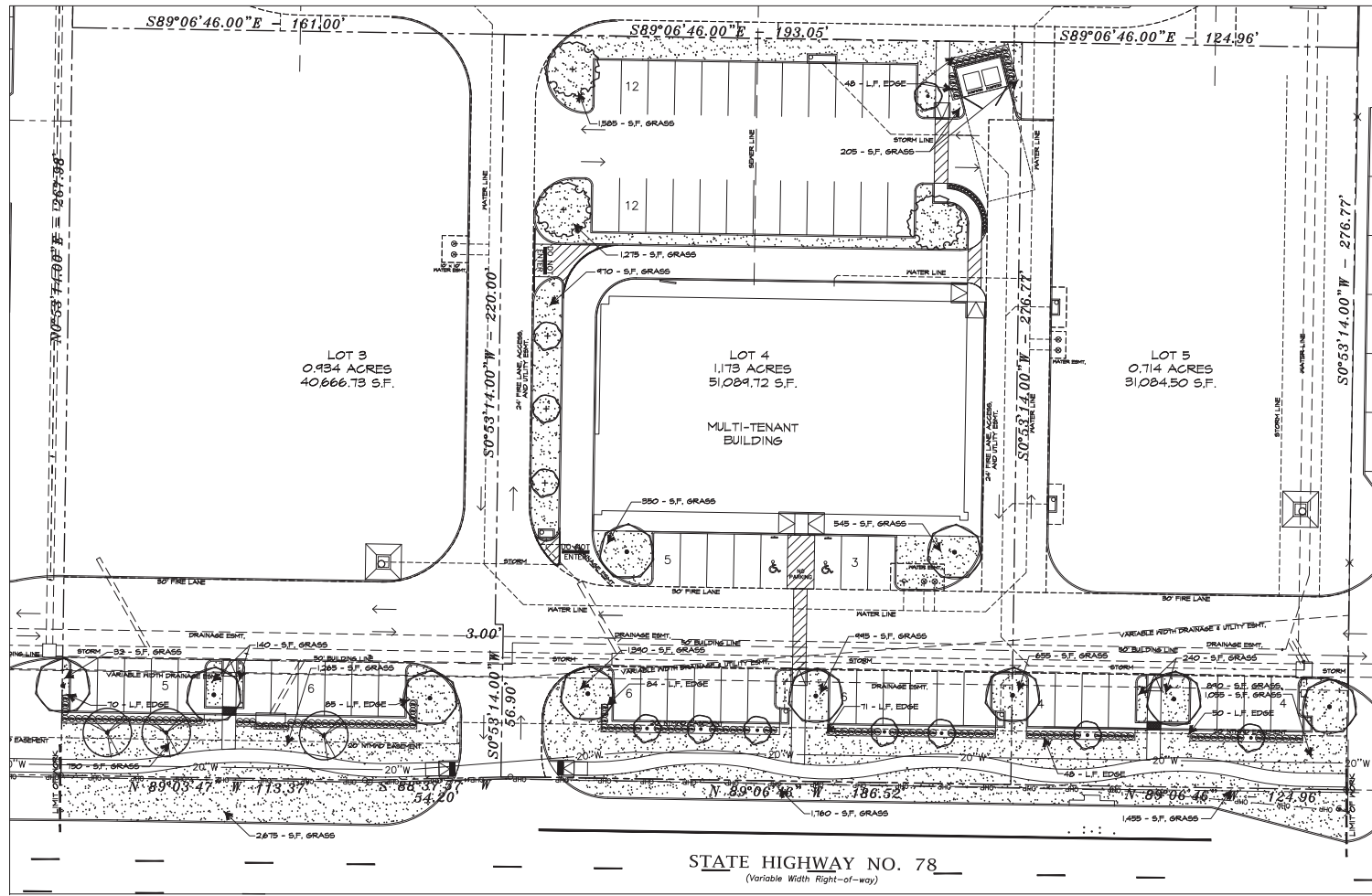
LARGE TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
10	(Symbol)	CEDAR ELM	Ulmus crassifolia	3" caliper, 17'-17" H./4'-6" spread, B&B, straight trunk
5	(Symbol)	CHINQUAPIN OAK	Quercus muhlenbergii	3" caliper, 17'-17" H./4'-6" spread, B&B, straight trunk
5	(Symbol)	PISTACHE	Pistacia chinensis	3" caliper, 17'-17" H./4'-6" spread, B&B, straight trunk

ORNAMENTAL TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
5	(Symbol)	CHEYENNE GRAPE HYDRILE	Lagerstroemia indica Oregon	1" H./8" spread min, 50 gallon, 3' trunk, full, bushy tree formed specimen
5	(Symbol)	TUSCARORA GRAPE HYDRILE	Lagerstroemia indica Tuscarora	1" H./8" spread min, 50 gallon, 3' trunk, full, bushy tree formed specimen

WYLIE LANDSCAPE TABULATIONS	
SITE AREA LANDSCAPING	
20% OF THE SITE SHALL BE IN PERMANENT LANDSCAPING P2 2022-09	
TOTAL SITE AREA UNDER DEVELOPMENT	55,258.89 S.F.
20% SITE LANDSCAPE AREA REQUIRED	10,952 S.F.
TOTAL SITE LANDSCAPE AREA PROVIDED	10,776 S.F.
PARKING LOT LANDSCAPING	
50 S.F. OF LANDSCAPE AREA FOR EACH PARKING SPACE	
LOT 4 PARKING SPACES PROVIDED	44 SPACES
PARKING LANDSCAPE AREA REQUIRED (44 x 424)	18,448 S.F.
PARKING LANDSCAPE AREA PROVIDED	12,200 S.F.
STREET FRONTAGE LANDSCAPING	
AT LEAST 50% OF THE REQUIRED REQUIRED YARD, EXCLUDING ANY ACCESS DRIVES, MUST BE DEVELOPED AS A 10' MIN. WIDE LANDSCAPE BUFFER. TREES SHALL BE PLANTED ON 50' OR 40' CENTERS DEPENDING ON SPECIES, REQUIRED TREES SHALL BE 3" CALIPER.	
STATE HIGHWAY 78	
LOT 4 FRONTAGE L.F.	186.92 L.F.
REQUIRED FRONTAGE TREES (187 / 50 = 6.2)	1 TREES
FRONTAGE TREES PROVIDED	1 TREES
FRONTAGE TREES PUSHED INTO PARKING AND 2 CANOPY TREES PLANTED DUE TO THE N.T.M.U.D.)	
LOT 5 FRONTAGE L.F.	124.96 L.F.
REQUIRED FRONTAGE TREES (125 / 50 = 4)	5 TREES
FRONTAGE TREES PROVIDED	5 TREES
FRONTAGE TREES PUSHED INTO PARKING AND 2 ORNAMENTAL PLANTED DUE TO THE N.T.M.U.D.)	
LOT 5 FRONTAGE L.F.	161.51 L.F.
REQUIRED FRONTAGE TREES (162 / 50 = 5.6)	6 TREES
FRONTAGE TREES PROVIDED	6 TREES
(5 CANOPY TREES PUSHED INTO PARKING DUE TO THE N.T.M.U.D.)	

IRRIGATION NOTE
ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS, AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

NTMUD NOTE
A. NORTH TEXAS MUNICIPAL WATER DISTRICT (NTMUD) 20 INCH WATER PIPELINE IS LOCATED WITHIN LIMITS OF CONSTRUCTION.
B. OPERATION OF HEAVY EARTHMOVING EQUIPMENT, COMPACTION EQUIPMENT OR HEAVY CONSTRUCTION EQUIPMENT, SUCH AS CONCRETE TRUCKS, SHALL BE RESTRICTED TO SPECIFIC CROSSING POINTS ACROSS NTMUD EASEMENTS, AS APPROVED BY THE NTMUD. THE CROSSINGS SHALL BE DESIGNATED AND VERIFIED TO PROVIDE A MINIMUM OF FIVE FEET OF COVER.
C. TO ASSURE THAT PLACINGS OF SIGNIFICANT LOADS OVER THE NTMUD PIPELINE DOES NOT DAMAGE THE EXISTING PIPELINE, NO MATERIALS SHALL BE STOCKPILED ON THE NTMUD ESMT, WITHOUT AUTHORIZATION FROM THE NTMUD. IF THE CONTRACTOR DESIRES TO USE THE NTMUD'S EASEMENT FOR STOCKPILE OF MATERIALS, CONTACT NTMUD ENGINEERING AT (972) 442-5409 SO YOUR PLANS FOR USE OF THE NTMUD'S EASEMENT CAN BE REVIEWED.
D. A MINIMUM OF 4.5 FEET SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF NTMUD PIPELINE IS REQUIRED. IN ADDITION, IF SEPARATION BETWEEN BOTTOM OF PAVEMENT AND TOP OF PIPELINE IS LESS THAN 4.5 FEET, THEN A THICKENED PAVEMENT SECTION IS REQUIRED.
E. CROSSINGS OF THE NTMUD EASEMENT WITH OTHER UTILITIES, SUCH AS TV CABLE, PHONE, GAS AND ELECTRIC, SHALL BE COORDINATED WITH THE NTMUD TO AVOID DAMAGE TO THE NTMUD FACILITIES.
F. OUTDOOR LIGHTING, LANDSCAPING, SCREENING WALLS OR OTHER FACILITIES SHALL NOT BE INSTALLED IN THE NTMUD EASEMENTS WITHOUT WRITTEN APPROVAL OF THE NTMUD.
G. UNLESS OTHERWISE SHOWN OR REQUIRED, A MINIMUM OF TWO FOOT CLEARANCE SHALL BE PROVIDED FOR ALL UTILITIES CROSSING THE NTMUD PIPELINES. DIRECTIONAL BORE CROSSINGS REQUIRE A MINIMUM OF FOUR FEET CLEARANCE.
H. THE CONTRACTOR SHALL CONTACT NTMUD LINE LOCATES AT (469) 428-4584 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY WORK IN THE VICINITY OF THE NTMUD FACILITIES.



STATE HIGHWAY NO. 78
(Variable Width Right-of-way)

Date:	
Revisions:	
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

Issued For:
CONSTRUCTION
Job No.
22125
Scale
1" = 20'-0"
Drawn By
JDS
Date
04-14-2022

Wylie Shops By Slate
Wylie Texas



Landscape Plan

Sheet Number:
L1
of L2 Sheets

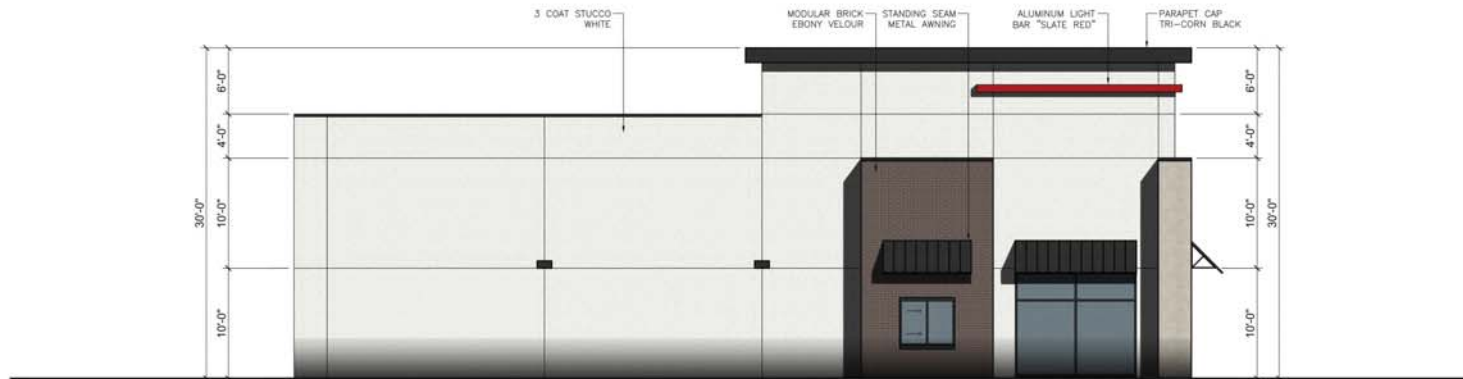
Grubbs Design Group, P.L.L.C. - 403 South Tennessee Street - McKinney, Texas 75069 - Phone (972) 548-5020



LEASE SPACE PLAN DATED 07/15/2012				
	LEASE SPACE	SIZE SF	% OF RENTAL	% OF RENTAL SF
	Office 100 - Available	2,027	35.24%	10.32
	Office 100 - Available	2,027	35.24%	10.32
	Office 101 - Available	7,263	12.75%	11.52
	Office 104 - Available	2,994	25.90%	13.25
	Office 106 - Available	2,711	21.27%	11.83
	Office 107 - Available	2,711	21.27%	11.83
	GRAND TOTAL	13,666	100%	59.06
				TOTAL SF WITHIN COMMON AREAS
				51

PROJECT NAME:		PROJECT NUMBER:		DRAWING ISSUE & REVISION LOG	
WYLE BY DATE		JUNE 21-0018		PRELIM	PRELIMINARY DESIGN CHANGES
				PRELIM	PRELIMINARY DESIGN CHANGES
PROJECT DESCRIPTION:		MULTI-TENANT RETAIL/RESTAURANT SHELLS BUILDING			
PROJECT ADDRESS:		BROADWAY VALLEY LOT 1 / BLOCK A, STATE HIGHWAY 78, WYLE TX			

[illegible]



1 - WEST FACING ELEVATION SCALE 3/16"=1'-0"



2 - EAST FACING ELEVATION SCALE 3/16"=1'-0"



BUILDING MATERIAL CALCULATIONS BUILDING											
	South Elevation		North Elevation		West Elevation		East Elevation		Totals		
Materials	SP	%	SP	%	SP	%	SP	%	SP	%	
Stone	555	21.31%	0	0.00%	60	2.99%	0	0.00%	615	6.42%	
Brick	558	20.28%	0	0.00%	218	10.86%	84	4.62%	852	8.88%	
Stucco	1,571	58.41%	3,153	100.00%	1,750	86.14%	1,734	95.38%	8,118	84.70%	
Totals (Excluding Glazing)	2,684	100%	3,153	100%	2,068	100%	1,818	100%	9,583	100%	
Materials	SP	%	SP	%	SP	%	SP	%	SP	%	
Glazing/Openings	1,000	27.75%	120	3.67%	0	0.00%	1,082	37.31%	2,202	18.68%	
Total Façade	3,684	28%	3,273	4%	2,068	0%	2,900	97%	11,785	19%	

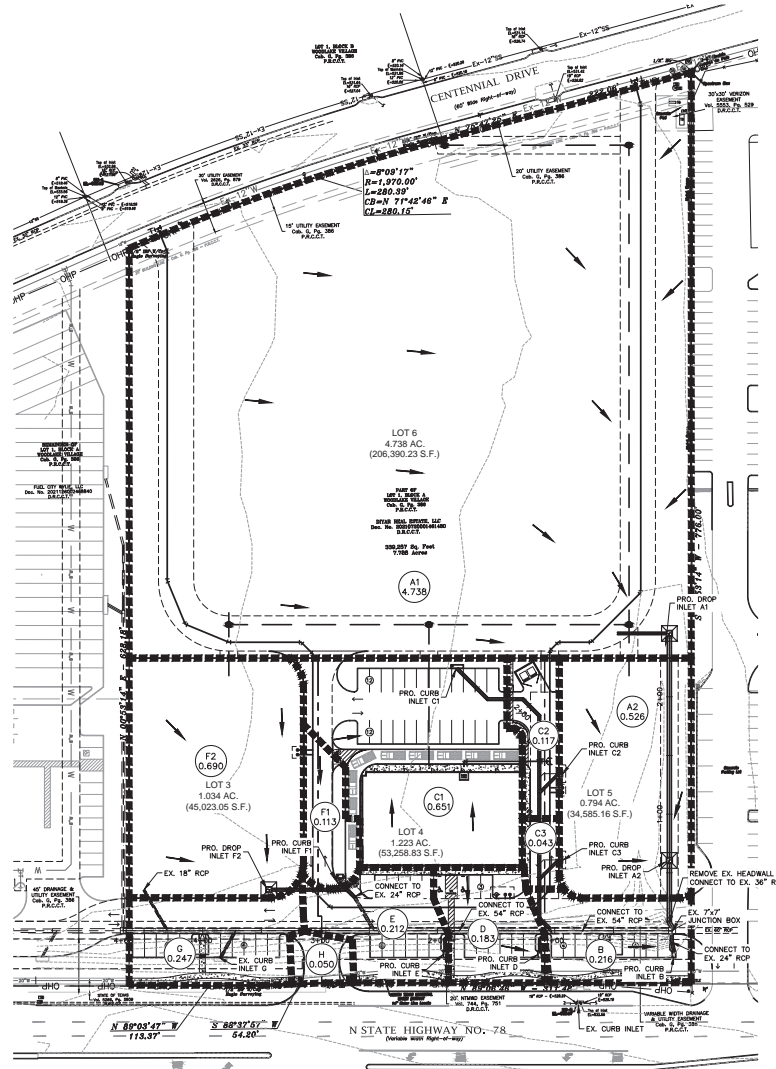
PRELIMINARY DESIGN

JAW

SLATE LAND & DEVELOPMENT CO

DRAWING ISSUE & REVISION LOG		PROJECT NAME	PROJECT NUMBER
PRELIM	06/15/2022	WYLE BY DATE	JUNE 21-2018
PRELIM	07/14/2022	PROJECT DESCRIPTION	MULTI-TENANT RETAIL/RESTAURANT SHALL BUILDING
		PROJECT ADDRESS	MODULANE VILLAGE LOT 1/2 BLOCK A, STATE HWY 78, WYLE TX

A2.1



DRAINAGE LEGEND

- (X) — Drainage Area Number
- (X.XX) — Acres
- Direction of Flow

GENERAL DRAINAGE NOTES

- All materials and construction shall be in accordance with the City of Wylie Standard Specifications and Construction Standards, and Standard Specifications for Public Works Construction prepared by North Central Texas Council of Governments (Latest Revision).
- Existing utilities are shown schematically and are for the contractors guidance only. The location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and, where possible, measurements taken in the field. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities.
- The contractor shall be responsible for protecting all existing improvements in the construction of this project. The contractor is responsible for repairs of damage to any existing improvements during construction. Repairs shall be equal to or better than condition prior to construction.
- All storm sewer pipe 18" and larger shall be Class III RCP unless otherwise noted. All storm sewer pipe 18" and smaller shall be PVC drainage pipe or approved equal, unless otherwise noted (RCP only under fire lanes).
- Contractor shall be responsible for maintaining trench safety requirements in accordance with the latest standards of O.S.H.A. or any other agency having jurisdiction for excavation and trenching procedures. Contractor shall provide and implement a trench safety plan complying with O.S.H.A.
- All RCP pipe joints shall have Ram-Neck joint sealer. In the absence of a City Standard for joint sealer.
- All roof drain laterals shall be 0.50% min. slope.

NTMWD NOTES

- North Texas Municipal Water District (NTMWD) 20-inch water pipeline is located within limits of construction.
- Operation of heavy earthmoving equipment, compaction equipment or heavy construction equipment, such as concrete trucks, shall be restricted to specific crossing points across NTMWD easements, as approved by the NTMWD. The crossings shall be designated and verified to provide a minimum of five-feet of cover.
- To assure that placing of significant loads over the NTMWD pipeline does not damage the existing pipeline, no materials shall be stockpiled on the NTMWD easement without authorization from the NTMWD. If the contractor desires to use NTMWD's easement for stockpile of materials, contact NTMWD Engineering at (972) 442-5405 so your plans for use of NTMWD's easement can be reviewed.
- A minimum of 4.5 feet separation between bottom of pavement and top of NTMWD pipeline is required. In addition, if separation between bottom of pavement and top of pipeline is less than 4.5 feet, then a thickened pavement section is required.
- Crossing of the NTMWD easement with other utilities, such as TV cable, phone, gas and electric, shall be coordinated with the NTMWD to avoid damage to the NTMWD facilities.
- Outdoor lighting, landscaping, screening walls or other facilities shall not be installed in NTMWD easements without written approval of the NTMWD.
- Unless otherwise shown or required, a minimum of two-foot clearance shall be provided for all utilities crossing the NTMWD pipelines. Directional bore crossings require a minimum of four-foot clearance.
- The Contractor shall contact NTMWD Line Locates at (469) 626-5559 at least 48 hours prior to performing any work in the vicinity of the NTMWD facilities.

EXISTING DRAINAGE FLOW CALCULATIONS					
I.D. NO.	AREA (AC.)	C	Tc (MIN)	100-YEAR 1 (IN/HR) Q (CFS)	COMMENTS
SITE	7.788	0.40	15.0	7.52 23.43	PRE-PROJECT
LAND USE: PASTURE					

PROPOSED DRAINAGE FLOW CALCULATIONS					
I.D. NO.	AREA (AC.)	C	Tc (MIN)	100-YEAR 1 (IN/HR) Q (CFS)	COMMENTS
A1	4.738	0.90	10.0	8.74 37.27	DROP INLET A1
A2	0.526	0.90	10.0	8.74 4.14	DROP INLET A1
B	0.216	0.90	10.0	8.74 1.70	CURB INLET B
C1	0.651	0.90	10.0	8.74 5.12	CURB INLET C1
C1	0.117	0.90	10.0	8.74 0.92	GRATE INLET C2
C3	0.043	0.90	10.0	8.74 0.34	GRATE INLET C2
C	0.183	0.90	10.0	8.74 1.44	GRATE INLET D
E	0.212	0.90	10.0	8.74 1.67	CURB INLET E
F1	0.117	0.90	10.0	8.74 0.89	CURB INLET C1
F1	0.690	0.90	10.0	8.74 5.43	DROP INLET F2
G	0.247	0.90	10.0	8.74 1.94	EX. CURB INLET G
H	0.050	0.90	10.0	8.74 0.40	SH 78 EX. CURB INLET
SITE	7.788	0.90	10.0	8.74 61.26	POST-PROJECT
LAND USE: COMMERCIAL & INDUSTRIAL					

PER DOWNSTREAM STORM DRAIN ANALYSIS BY JDIR ENGINEERS & CONSULTANTS, INC. DATED 03/02/2022.
EXISTING STORM SYSTEM DESIGNED TO HANDLE FULLY DEVELOPED SITE DRAINAGE.

SEE DRAINAGE AREA G OF THE DOWNSTREAM STORM DRAIN ANALYSIS SHEET C5C.

CAUTION!!
Existing Utilities in Area. Contractor shall determine location and elevation of all utilities prior to construction. Contractor shall inform Engineer of any conflicts prior to construction.

Note:
Existing Utilities Shown Per As-Built Documents. Contractor to Field Verify Location and Depth of All Utilities Prior to Construction and Notify Engineer of any Discrepancies.

STOP!
CALL BEFORE YOU DIG



(@ least 72 hours prior to digging)

CITY BENCHMARK USED FOR CONTROL

CM 1 = Standard City of Wylie monument located on the north side of State Highway No. 78 near the east entrance drive for the City of Wylie Municipal Complex at 2000 State Highway No. 78 North. Being 79.7' west of the edge of the east concrete entrance drive, 23.2' south of a 10' wide concrete drive and 76.1 feet north of the edge of asphalt of State Highway No. 78 North. Elev. = 530.294

SITE BENCHMARKS

BM-1 = "X" in northwest corner of concrete curb inlet on the north side of Centennial Drive and 55'± north of northwest corner of the subject property.
Elev. = 532.90

BM-2 = 1" Aluminum Disk on the northwest corner of concrete curb inlet on the north side of State Highway No. 78 and 98'± west of the southeast corner of the subject property.
Elev. = 532.67

Issue Dates:	Revision & Date:
1	1
2	2
3	3
4	4
5	5
6	6



1720 W. Virginia Street
McKinney, Texas 75069
972.562.4489
Texas P.E. Firm No. F-5915

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JON DAVID CROSS, P.E.
NO. 82618
ON 8/29/22
IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

PRELIM DRAINAGE PLAN

WYLIE SHOPS BY SLATE
SLATE LAND & DEVELOPMENT CO., LLC
WYLIE, TEXAS

Sheet No.

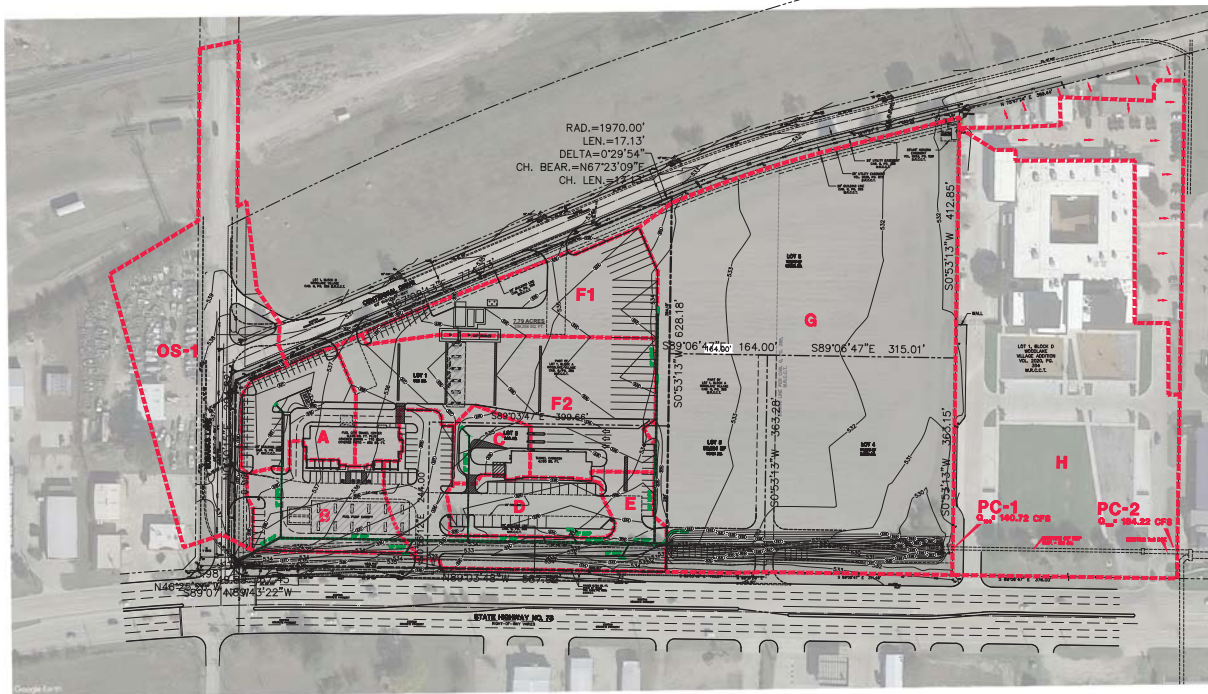
DP

Project No.
22007

WYLIE SHOPS BY SLATE

0' 80' 160' 240'

GRAPHIC SCALE



PROPOSED DRAINAGE DATA						
AREA	ACRES	C ₁	T ₁ in	Q ₁ mgd	OUTFALL COMMENTS	
CS-1	2.96	0.90	10	8.74	22.50	FROM HAULT PLANS FOR EUBANKS
A	0.71	0.90	10	8.74	5.58	TO INLET A
B	0.82	0.90	10	8.74	6.45	TO INLET B
C	0.32	0.90	10	8.74	2.52	TO INLET C
D	0.59	0.90	10	8.74	4.64	TO INLET D
E	1.21	0.90	10	8.74	9.92	TO INLET E
F1	1.14	0.90	10	8.74	8.57	TO INLET F
F2	2.14	0.90	10	8.74	15.63	TO INLET IZ2
G	8.10	0.60	10	8.74	63.71	FROM LOTS 3, 4 & 5
H	5.53	0.90	10	8.74	44.80	FROM CITY OF WILBEY PUBLIC SAFETY BUILDING

ALL SYSTEMS DOWNSTREAM FROM PC-2 WERE DESIGNED FOR A $Q_{100} = 184.22$ CFS. WALMART USED 188 CFS. THEREFORE, STORM WATER DETENTION NOT REQUIRED.

LEGEND

-

REVISIONS:	
9-3-21	CITY COMMENTS
3-2-22	CITY COMMENTS



SHEET TITLE:
DOWNSTREAM STORM DRAIN ANALYSIS
FUEL CITY TRAVEL CENTER
STATE HIGHWAY NO. 78 AT EUBANKS LANE
WILEY, TEXAS

JDJR PREPARED BY:
ENGINEERS & CONSULTANTS, INC.
TSPE REGISTRATION NUMBER F-0627

ENGINEERS • SURVEYORS • LAND PLANNERS
2600 Texas Drive Suite 100 Irving, Texas 75062
Tel 972-252-5257 Fax 972-252-0358

DATE: 6/21/21	DRAWN BY: JDJR	SHEET NO. C5C of 15
SCALE: 1" = 80'	CHECKED BY: JDJR	



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 2

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to the City Council regarding a change in zoning from Agricultural District (AG/30) to Planned Development - Single Family (PD-SF) to allow for a single family residential development with three open space lots and a commercial tract on 32.288 acres generally located on Country Club Road approximately 2000' south of Parker Road (ZC 2022-14).

Recommendation

Motion to recommend **approval, approval with amendments, denial.**

Discussion

OWNER: Fred Monroe for Monroe Estate

APPLICANT: Skorborg Company

The applicant is requesting to rezone 32.288 acres from AG/30 to a Planned Development with 78 single family lots, three open space lots and one commercial tract. The applicant has made changes to previous proposals based on feedback received during previous City Council meetings. The feedback generally consisted of concerns for the single family lot sizes, the limited amount of commercial property, and public access to the park. The applicant has reworked the site layout and PD Conditions to more closely resemble the SF-10/24 design standards of the Zoning Ordinance.

As presented, the requested PD allows for 78 single family homes on minimum 10,000 square foot lots. Home sizes are a minimum 2,400 square feet. These standards match the density requirements of the SF 10/24 zoning district. Some modifications to these standards are 7.5 feet side setbacks in lieu of 10 feet, 12.5 corner lots setbacks in lieu of 25 feet and 20' rear setbacks for Lots 26-32 Block A and Lots 9-11 Block B in lieu of 25 feet.

The architectural standards are also modified to allow for four lots skipped on the same side of the street without facade repetition in lieu of seven lots. The residential development shall also prohibit accessory structures.

The Planned Development is providing three open space areas. The property owner of Monroe Farms has decided to not include the land where an existing pond is currently located due to the complex difficulties of impoundment water rights by the City of Dallas. A 30 foot access easement has been provided on Street A of the Zoning Exhibit for access to the property.

An HOA shall be established that will be responsible for the three open space lots that are provided on site.

The four acre commercial tract shall comply with the design standards of the Neighborhood Service District as regulated in the Zoning Ordinance. A site plan shall be required for the commercial tract development.

The surrounding properties to the north, east, and west are a mix of residential and commercial uses both in and outside of city limits. Properties to the south consist of an elementary school and community church. The proposal is in line with the land use of the Comprehensive Plan. The project faces Country Club Road which is a six lane major thoroughfare.

A preliminary plat will be required should zoning be approved.

Notifications/Responses: Six notifications were mailed in accordance with state law; with one response returned in favor and none in opposition to the request.

LEGAL DESCRIPTION
EXHIBIT "A"
MONROE FARMS

BEING, a tract of land situated in the William Patterson Survey, Abstract No. 716, being part of a 49.6490 acre tract, as described in Vol. 1569, Pg. 328, in the Deed Records of Collin County, Texas, being more particularly described as follows:

BEGINNING, at a ½ inch iron rod found at the southeast corner of said 49.6490 acre tract being in the west line of Country Club Road (90' R.O.W.), being the northeast corner of Rita Smith Elementary School, an addition to the City of Wylie, as described in Doc. No. 2007-459 in the Plat Records of Collin County, Texas;

THENCE, South 86°27'02" West, along the south line of said 49.6490 acre tract and the north line of said Rita Smith Elementary School, for a distance of 2126.71 feet, to ½ inch iron rod found at southwest corner of said 49.6490 acre tract being the northwest corner of said Rita Smith Elementary School and being in the west line of Kingsbridge Phase I, an addition to the City of Wylie, as described in Vol. 2015, Pg. 461 in the Plat Records of Collin County, Texas;

THENCE, North 02°30'53" East, along the west line of said 49.6490 acre tract and the east line of said Kingsbridge Phase I, for a distance of 256.19 feet, to a ½ inch iron rod found;

THENCE, South 89°05'40" West, continuing along said west and east lines, for a distance of 41.69 feet, to a calculate point for corner;

THENCE, North 00°54'20" West, departing said lines, for a distance of 163.49 feet, to a calculated point for corner;

THENCE, North 86°27'02" East, for a distance of 361.88 feet, to a calculated point for corner;

THENCE, North 03°32'58" West, for a distance of 30.00 feet, to a calculated point for corner;

THENCE, North 86°27'02" East, for a distance of 37.50 feet, to a calculated point for corner;

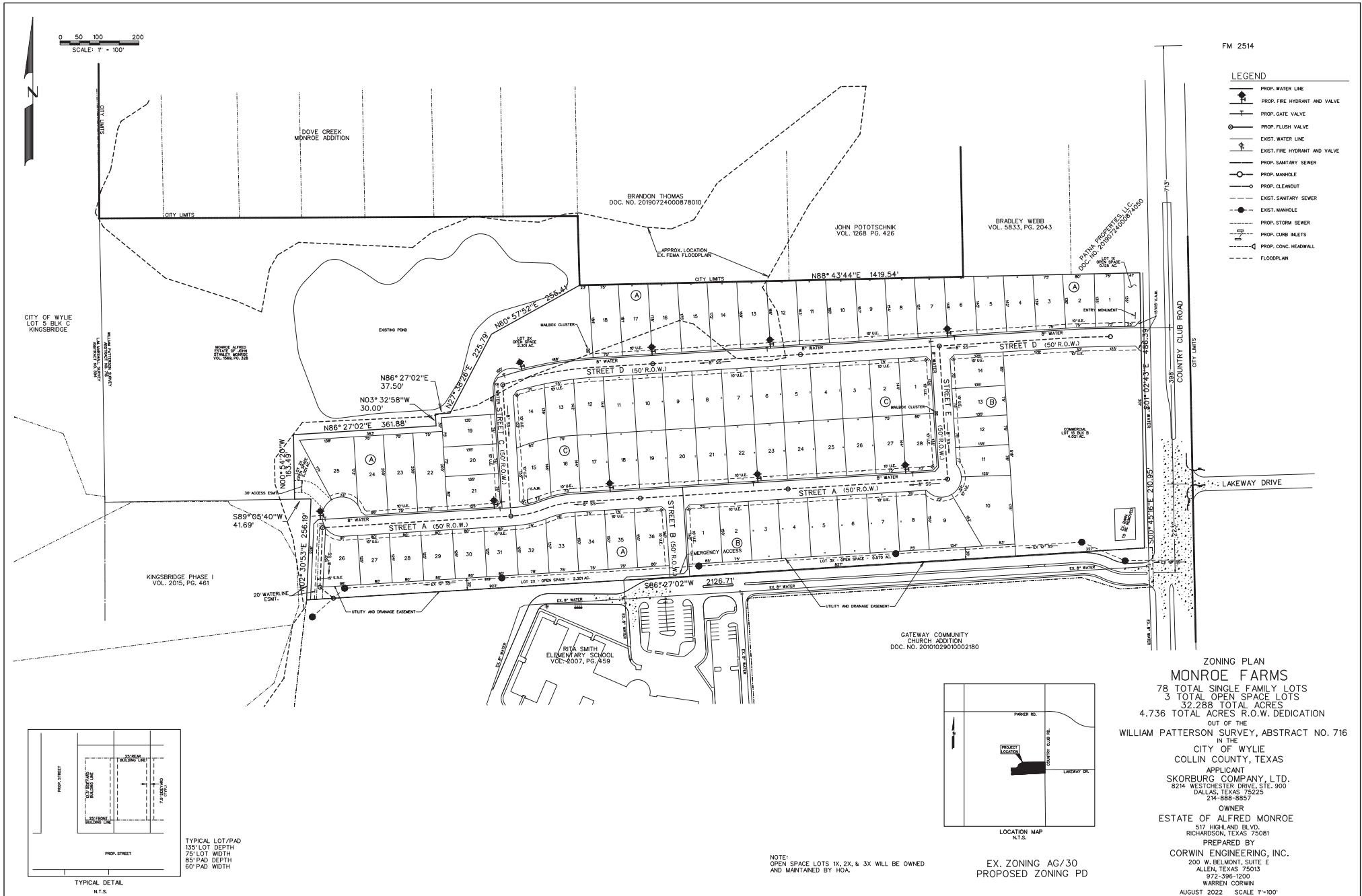
THENCE, North 27°38'26" East, for a distance of 225.79 feet, to a calculated point for corner;

THENCE, North 60°57'52" East, for a distance of 255.41 feet, to a ½ inch iron rod found in the north line of said 49.6490 acre tract;

THENCE, North 88°43'44" East, along the north line of said 49.6490 acre tract, for a distance of 1419.54 feet, to a ½ inch iron rod found at the northeast corner of said 49.6490 acre tract, being in the west line of said Country Club Road;

THENCE, South 01°02'43" East, along the west line of said Country Club and the east line of said 49.6490 acre tract, for a distance of 486.39 feet, to a ½ inch iron rod found;

THENCE, South $00^{\circ}45'16''$ East, continuing along said east and west lines, for a distance of 210.95 feet, to the POINT OF BEGINNING and containing 32.288 acres of land.



PLANNED DEVELOPMENT STANDARDS

EXHIBIT “C”

MONROE FARMS

I. PURPOSE

Monroe Farms is a sustainable neighborhood with the intent to promote: (1) the highest and best use for this location, (2) the natural features of the current landscape, and (3) high quality housing product that will make a beautiful and enduring community which upholds and enhances the quality of the surrounding environment. Monroe Farms strives to be a shining example of what Wylie has to offer.

The Neighborhood Service District, part of the Monroe Farms Planned Development, is a commercial development with the intent to promote: (1) convenient retail shopping, (2) personal services, and/or (3) professional offices serving the needs of Wylie residents. This commercial development strives to be a complementary component to the surrounding residential development and benefits Wylie, as a whole.

RESIDENTIAL

II. GENERAL CONDITIONS:

1. These Planned Development Standards shall not affect any regulations within the Zoning Ordinance (adopted as of 2021), except as specifically provided herein.
2. These Planned Development Standards shall not affect any regulations within the Subdivision Regulations (adopted as of 2003), except as specifically provided herein.
3. Lot to lot drainage shall not be allowed within the Planned Development.
4. The design and development of the Monroe Farms Planned Development shall take place in general accordance with the Zoning Exhibit (Exhibit B). A final plat shall not be approved nor construction of utilities commence prior to the completion of a Conditional Letter of Map Revision (CLOMR). However, a mass grading permit shall be issued to perform necessary grading activities upon City staff approval of the flood study and grading plan. Upon substantial completion, home construction shall be allowed to commence, but occupancy of any structure currently in the 100-year flood plain shall not be allowed until the completion of a Letter of Map Revision (LOMR).

III. SPECIAL CONDITIONS:

1. Section 3.2.B of the Zoning Ordinance is amended as follows:

A. Development Standards: Following are the yard, lot, and space requirements for the Planned Development, including, density, height, lot and unit size.

Figure 3-4 - Planned Development – Single Family (PD – SF)	
Density (<i>Maximum</i>)	
Number of Single family Lots shall not exceed	78
Lot Size (<i>Minimum</i>)	
Lot Area (sq. ft.)	10,000
Lot Width (feet)	75
Lot width of corner Lots (feet)	80
Lot Depth (feet)	100
Dwelling Regulations (<i>Minimum</i>)	
Minimum Square Footage	2,400
Design Standards Level of Achievement	See Section 3.4 Residential Design Standards or as amended herein
Yard Requirements (<i>Minimum</i>)– Main Structures	
Front Yard (feet)	25
Side Yard (feet)	7.5
Side Yard of Corner Lots (feet)	12.5
Rear Yard (feet) ¹	25
Lot Coverage	55%
Height of Structures (<i>Maximum</i>)	
Main Structure (feet)	40
Accessory Structure (feet)	No Accessory Structures Allowed

¹ – With the exception of Lots 26-32 Block A and Lots 9-11 Block B on the Zoning Exhibit (Exhibit B), which shall allow a 20' rear yard setback.

2. Section 3.4.D of the Zoning Ordinance - Land Design Standards are amended as follows:

A. 3.4.D.1.a - No public open space easements shall be required in the Planned Development.

3. Section 3.4.E of the Zoning Ordinance - Street and Sidewalk Standards are amended as follows:
 - A. 3.4.E.1.a - No curvilinear streets shall be required in the Planned Development.
 - B. 3.4.E.7.a. - Mailbox clusters shall be provided in the subdivision in conformance with USPS and as generally depicted on the zoning exhibit.

4. Section 3.4.F of the Zoning Ordinance - Architectural Standards are amended as follows:
 - A. 3.4.F.9.a. - In order to encourage variety, the exterior facades of houses on the same side of the street shall vary within every 4 homes. The same exterior facade of home cannot be directly across the street from each other. When a home is constructed, the same combination of brick, stone, masonry-like materials, and paint shall not be used on other houses within four (4) lots on either side of that home.
 - B. 3.4.F.10.a - Front entry garages that face the street shall be allowed.
 - C. 3.4.F.10.b - Garages that are a minimum of 600 square feet shall count as a desirable design attribute.

5. Section 3.2.B of the Subdivision Regulations are amended as follows:
 - A. Alleys shall not be required within the Planned Development.

6. The second point of vehicular access into the development shall be located off the existing drive on the properties to the south and shall be gate restricted for emergency access only. The developer shall be responsible for securing access to off-site access drives and property prior to construction.

7. A Homeowner's Association (HOA) shall be established that will be responsible for maintenance of all perimeter fencing, screening, detention ponds, floodplain areas, HOA open space lots, HOA common areas, and landscaping within HOA areas for the Planned Development.

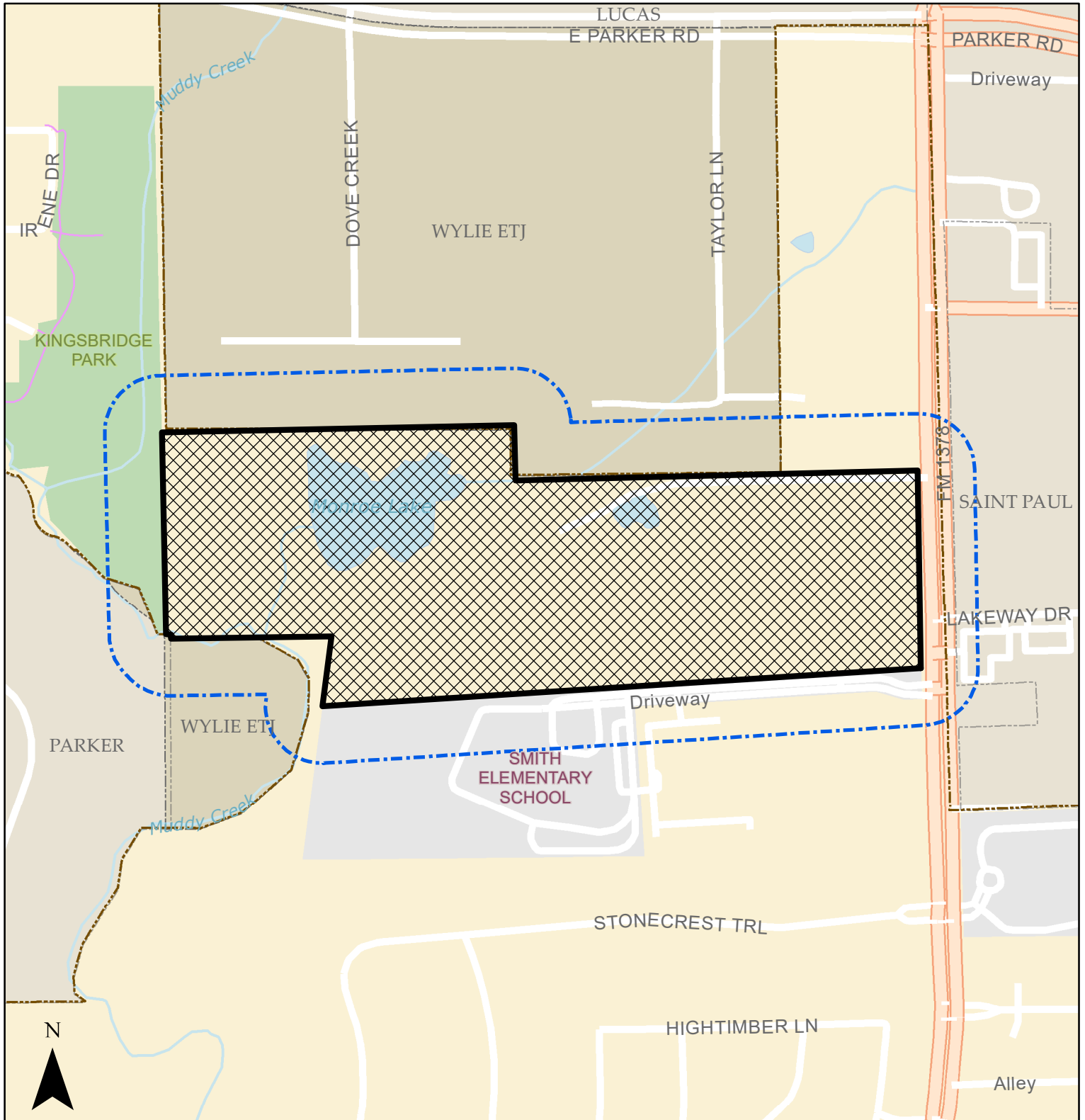
COMMERCIAL

II. GENERAL CONDITIONS:

1. All regulations of the Neighborhood Service District (NS) set forth in Article 4, Section 4.1 of the Comprehensive Zoning Ordinance (adopted as of 2021) shall apply.
2. This Planned Development District shall not affect any regulations within the Subdivision Regulations (adopted as of 2003).
3. No site layout will be approved with this proposal nor is a development schedule proposed. Future site design shall be in accordance with the rules, regulations provided in the City of Wylie Zoning Ordinance, and Subdivision Regulations.

Notification Map

10/04/2022 Item 2.



ZC 2022-14; Monroe Farms

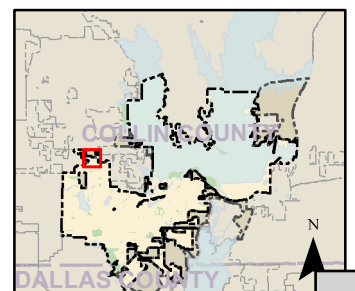


200 Foot Notification Buffer



Subject Property

0 230 460 920 1,380 1,840 Feet



PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098



I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-14.

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-14.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
 Planning & Zoning
 Commission meeting:

Tuesday, October 4, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
 City Council meeting:

Tuesday, October 25, 2022 6:00 pm
 Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

John Monroe

(please print)

Address:

2301 Country Club

Wylie

Signature:

John Monroe

Date:

9-22-2022

COMMENTS:



MONROE FARMS

Planning & Zoning

October 4, 2022

Subject Property

Subject Property Location



Subject Property



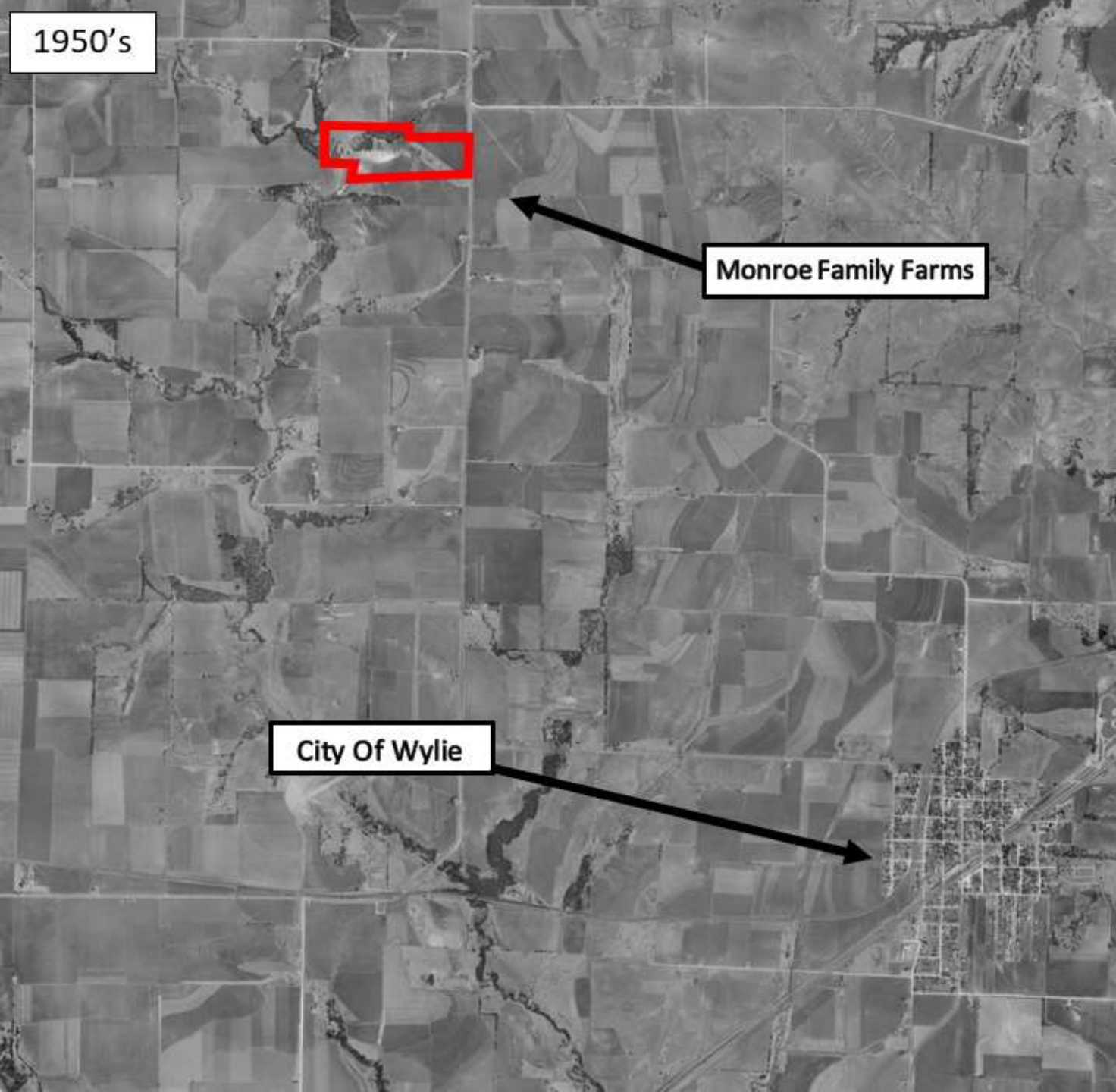
Parker Road

Country Club Road

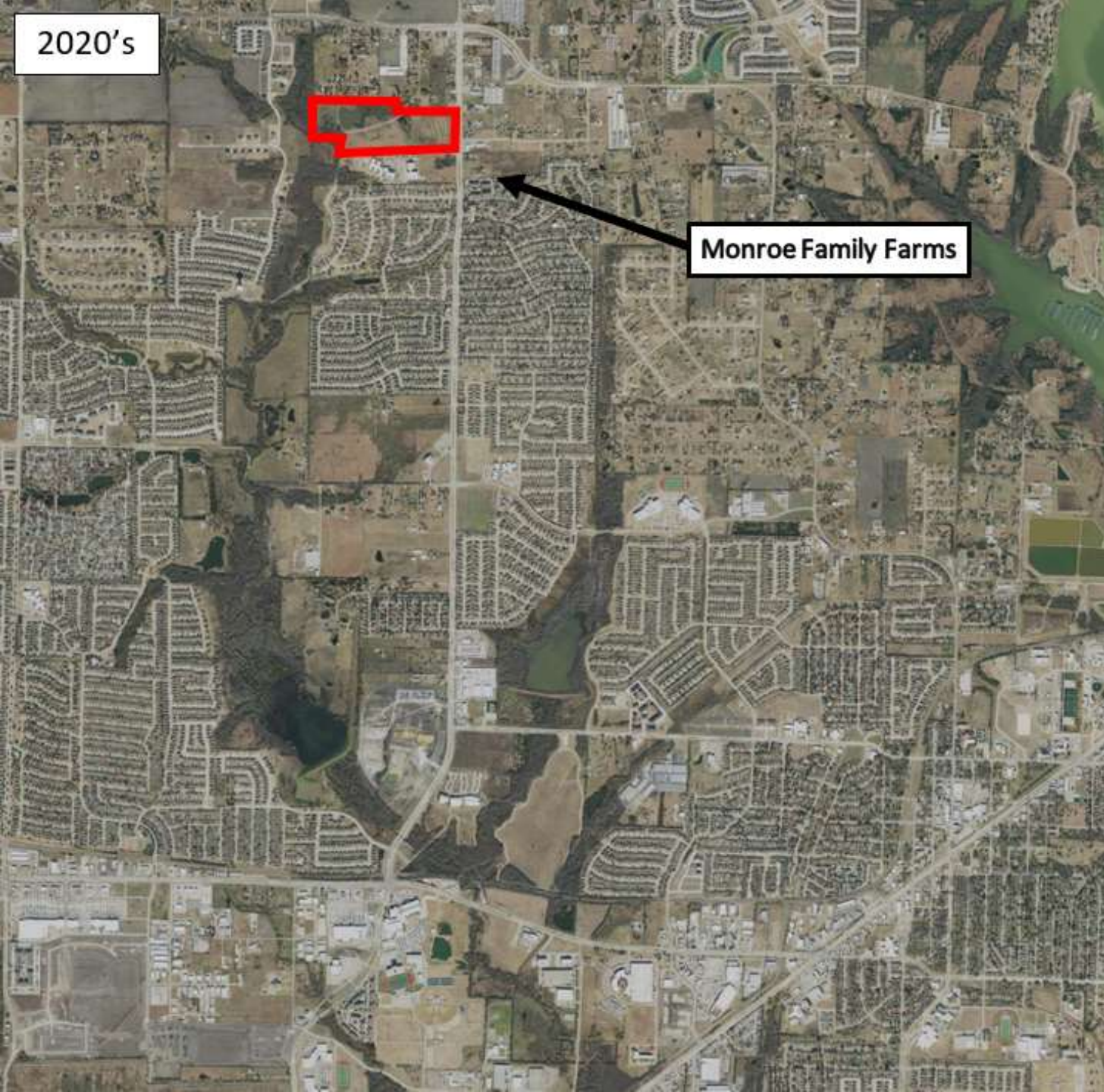
History Of The Monroe Family Farm

1950's

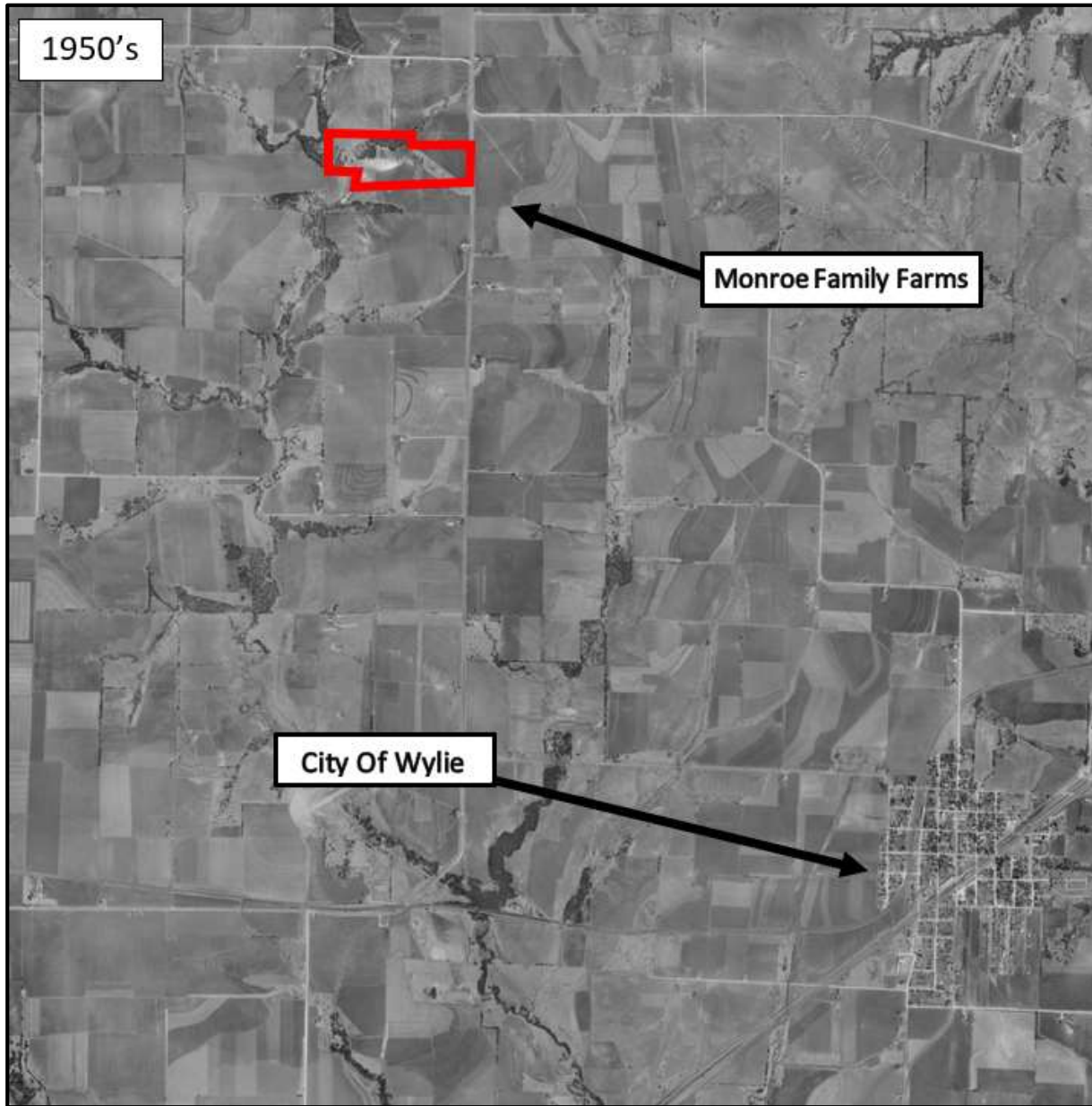
10/04/2022 Item 2.



- The Monroe's father purchased the property on a G.I. Bill after WWII in the 1950's
- 1950's Wylie, TX Population – Approximately 1,295



- The property has been in the Monroe's family for over 70 years
- Current Wylie, TX Population – Approximately 59,259



Zoning History

Previous Zoning History



- **2019 – Under Contract to Multi-Family Developer**
 - Multi-Family Development with Parkland Dedication
 - Approved by Parks Board & Planning and Zoning Commission
 - Denied by City Council
- **2020 – Under Contract to For-Rent Townhome Developer**
 - For-Rent Townhome Development with Parkland Dedication
 - Approved by Parks Board & Planning and Zoning Commission
 - Denied by City Council

Current Zoning History

10/04/2022 Item 2.



■ 2021 to Present –

- Single-Family Development with Parkland Dedication
- Approved by Parks & Recreation Board at 2 Meetings
- Attended a P&Z Work session
- Attended a City Council Work Session
- Revised Development Plan Based on P&Z and City Council's Feedback
 - ☑ Increased Lot Size
 - ☑ Reduced Lot Count by 33 Lots
 - ☑ Shifted County Club Rd Entrance North
 - ☑ Increased Commercial Frontage & Shifted South
- Approved by P&Z Commission
- Denied by City Council

Zoning Plan Approved by P&Z

10/04/2022 Item 2.

Monroe Farms – Plan Approved by P&Z

- **Number of Units:** 113 Single Family Homes
- **Typical Lot Size:**
 - 80 – 62' x 113' (7,000 sf)
 - 33 – 75' x 120' (9,000 sf)
- +/- 2.5 Acres - Future Commercial
- +/- 15.9 Acres - Park
- Approved by P&Z at the 4/5 meeting
 - With the addition of parallel parking along the park
 - Vote was unanimous 6-0



Lot Mix by Square Footage

Orange	67 (7,000 – 8,000 SF)
Purple	39 (8,001 – 9,000 SF)
Cyan	7 (9,001 – 10,000 SF)

Post City Council Denial – Work Session

City Council Work Session





10/04/2022 Item 2.

Monroe Farms –Revised Zoning Plan

- Revised the Zoning Plan and Attended a City Council Work Session on 7/12
- **Number of Units:** 114 Single Family Homes
- **Typical Lot Size:**
 - 50' x 110' (5,500 sf)
 - 61' x 115' (7,015 sf)
 - 84' x 120' (10,080 sf)
- +/- 2.5 Acres - Future Commercial
- +/- 15.9 Acres - Park



Lot Mix by Square Footage

	19 (5,500 – 7,000 SF)
	54 (7,001 – 8,000 SF)
	11 (8,001 – 9,999 SF)
	30 (10,000 SF +)

City Council's Feedback For Their Support





Monroe Farms – City Council's Feedback For Support

☐ All 10,000 SF lots

☐ The Development should have less than 90 lots



Lot Mix by Square Footage

	19 (5,500 – 7,000 SF)
	54 (7,001 – 8,000 SF)
	11 (8,001 – 9,999 SF)
	30 (10,000 SF +)

Parks and Recreation Update

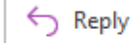
Re: Monroe Farms



Carmen Powlen <carmen.powlen@wylietexas.gov>

To Neil Stenberg

Cc John Arnold; Brent Parker; Jasen Haskins; Renae Ollie



Reply



Reply All



Forward



Fri 9/2/2022 2:26 PM



You replied to this message on 9/2/2022 2:30 PM.

If there are problems with how this message is displayed, click here to view it in a web browser.

Click here to download pictures. To help protect your privacy, Outlook prevented automatic download of some pictures in this message.

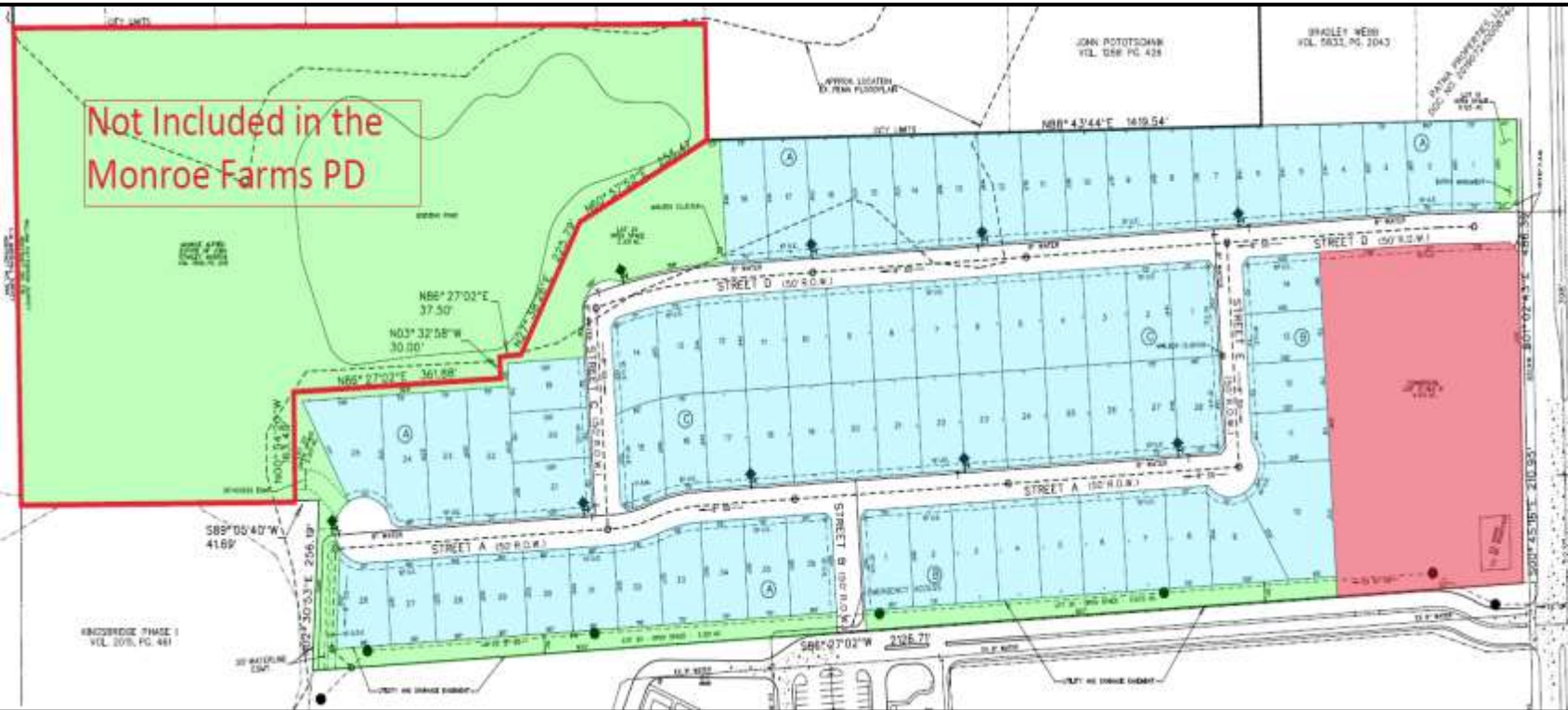
Neil, after talking to everyone on our end, the City has decided that we will not develop parkland on the property. You can keep the land acres in Ag.

I will email you separately about what that means regarding parkland dedication fees, etc.

Thank you,
Carmen Powlen
Parks and Recreation Director
City of Wylie

New Zoning Plan

New Zoning Plan



Lot Mix by Square Footage

78 (10,000 SF +)

Monroe Farms –Revised Zoning Plan

- **Number of Units:** 78 Single Family Homes
- **Typical Lot Size:**
75' x 144' (10,800 sf)
- +/- 4 Acres - Future Commercial

**68 fewer lots from the original zoning plan*

**35 fewer lots from the zoning plan approved at the 4/5 P&Z meeting*

Not Included in the
Monroe Farms PD



Representative Product

Representative Product

10/04/2022 Item 2.



Representative Product

10/04/2022 Item 2.



Representative Product

10/04/2022 Item 2.



Representative Product

10/04/2022 Item 2.



Representative Product

10/04/2022 Item 2.



Representative Product

10/04/2022 Item 2.



END