

Wylie Planning and Zoning Commission Regular Meeting

December 16, 2025 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider and act upon approval of the meeting minutes from the December 2, 2025 Planning and Zoning Commission Meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of BizSpace Wylie, creating one commercial lot on 5.274 acres. Property located at 2800 Hensley Lane.
- C. Consider, and act upon a recommendation to City Council regarding a Final Plat of Lot 1, Block A of Bufflehead Addition, establishing one light industrial lot on 7.64 acres. Property generally located at 3700 Eubanks Ln.

REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for Lot 1, Block A of BizSpace Wylie for the development of an office/warehouse development on 5.274 acres. Property located at 2800 Hensley Lane.
- 2. Consider, and act upon, a Site Plan for Lot 2, Block A of Summit Private School Addition for the development of a daycare center on 1.847 acres. Property located at 701 W Brown.
- 3. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Planned Development 2022-51 (PD 2022-51) to Commercial Corridor - Special Use Permit (CC-SUP) on 2.02 acre to allow for a landscaping contractor's maintenance yard. Property located at 703 N Highway 78 (ZC 2025-14).
- 4. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP) on 5.578 acres to allow for a warehouse use. Property located at 603 Sanden Blvd (ZC 2025-18).
- 5. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of two ordinances for a change in zoning from Planned Development 2020-27 (PD 2020-27) to Commercial

Corridor & Planned Development - Townhouse District (CC & PD-TH) on 20.381 acres to allow for commercial and townhome development. Property located at 2535 & 2701 S State Highway 78 (ZC 2025-19).

WORK SESSION

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on December 10, 2025 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Gabby Fernandez

Subject

Consider and act upon the approval of the meeting minutes from the December 2, 2025, Planning and Zoning Commission meeting.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes from the December 2, 2025, Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

December 02, 2025 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Joshua Butler called the meeting to order at 6:00 pm. In attendance were Chair Joshua Butler, Vice-Chair Rod Gouge, Commissioner Joe Chandler, Commissioner Zeb Black, Commissioner Franklin McMurrian, and Commissioner Keith Scruggs. Staff present were: Community Services Director Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant Gabby Fernandez. Absent was Commissioner Zewge Kagnev.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice-Chair Gouge gave the Invocation, and Chair Butler led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

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None approached the Commission.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. **Consider and act upon approval of the meeting minutes from the November 4, 2025 Planning and Zoning Commission meeting.**
- B. **Consider, and act upon a recommendation to City Council regarding a Final Plat for Dominion of Pleasant Valley Phase 6, creating 168 single family residential lots and three open space lots on 40.430 acres, generally located at the southwest intersection of Dominion Drive and Pleasant Valley Road.**
- C. **Consider, and act upon a recommendation to City Council regarding a Final Plat for Dominion of Pleasant Valley Phase 7, creating 11 single family residential lots and two open space lots on 6.475 acres, generally located at the northeast corner of Dominion Drive and Pleasant Valley Road.**

BOARD ACTION

A motion was made by Vice-Chair Gouge, seconded by Commissioner McMurrian, to approve the Consent Agenda as presented. A vote was taken and the motion passed 6 – 0.

REGULAR AGENDA

1. **Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change of zoning to amend Planned Development 2024-10 to a Planned Development (PD) with single family detached, commercial development and open space on 25.037 acres, generally located at 605 Country Club Road (ZC2025-16)**

Chair Butler opened the public hearing at 6:23 PM. None approached the Commission. Chair Butler closed the public hearing at 6:23 PM.

BOARD ACTION

A motion was made by Commissioner Chandler and seconded by Vice-Chair Gouge to recommend approval of Regular Agenda Item 1 as presented. A vote was taken and carried 6-0.

2. **Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LISUP) on 0.88 acres to allow for Vehicle Display, Sales or Service. Property located at 114 Regency Drive (ZC 2025-17).**

Chair Butler opened the public hearing at 6:34 PM. Two members of the public approached the Commission. Chair Butler closed the public hearing at 6:37 PM.

BOARD ACTION

A motion was made by Vice-Chair Gouge and seconded by Commissioner McMurrian to recommend approval of Regular Agenda Item 2 as presented. A vote was taken and carried 6-0.

3. **Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Agricultural (AG) to Community Retail - Special Use Permit (CRSUP) on 1.85 acre to allow for Office Showroom /Warehouse. Property located at 308 W Alanis Drive. (ZC 2025-09).**

Chair Butler opened the public hearing at 7:03 PM. Six members of the public approached the Commission. Chair Butler closed the public hearing at 7:21 PM.

BOARD ACTION

A motion was made by Vice-Chair Gouge and seconded by Commissioner McMurrian to recommend denial of Regular Agenda Item 3 as presented. A vote was taken and carried 6-0.

ADJOURNMENT

A motion was made by Vice-Chair Gouge and seconded by Chair Butler to adjourn the meeting at 7:39 PM. A vote was taken and carried 6 – 0.

Joshua Butler, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of BizSpace Wylie, creating one commercial lot on 5.274 acres. Property located at 2800 Hensley Lane.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Scott Investments LP

APPLICANT: Kimley-Hon And Associates

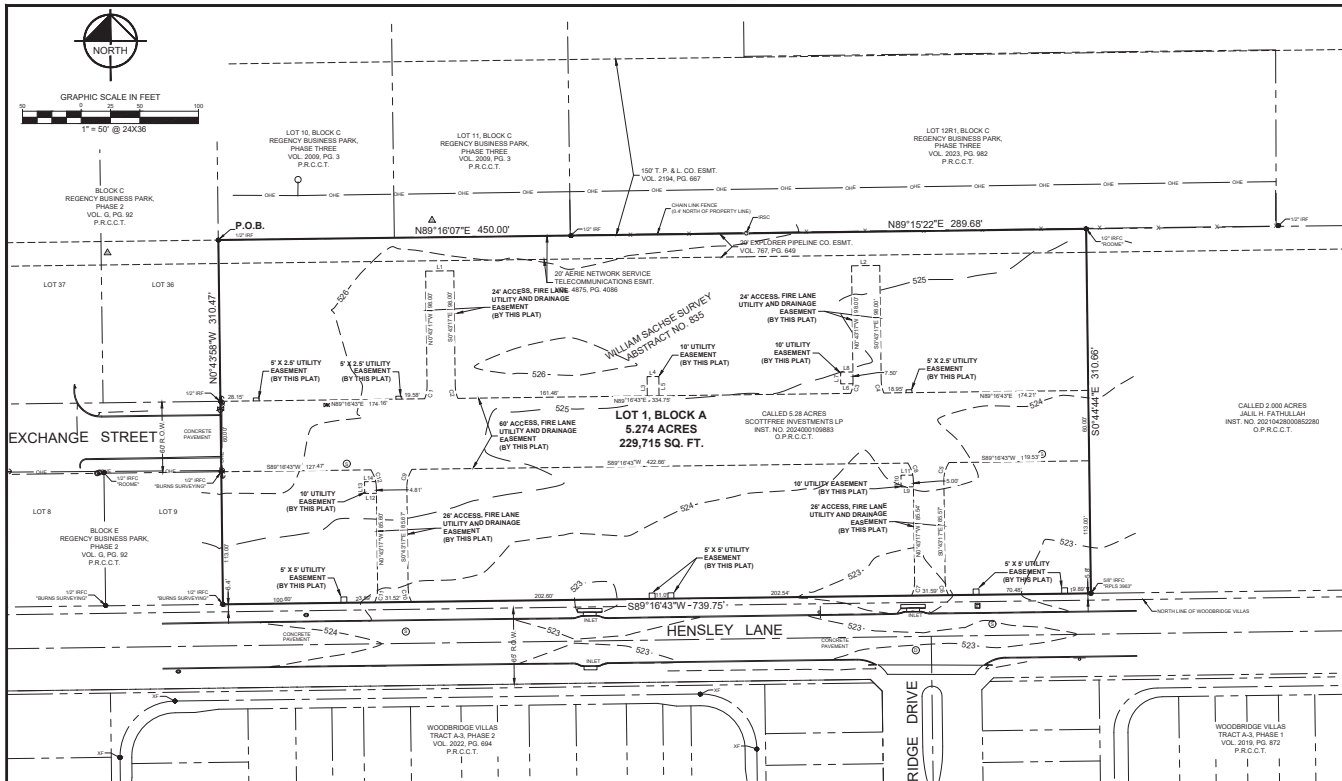
The applicant has submitted a Preliminary Plat to create Lot 1, Block A of BizSpace Wylie on 5.274 acres. The property is located at 2800 Hensley Lane.

The purpose of the Preliminary Plat is to create one lot for the construction of an eight building, 88,400 square foot flex space office warehouse development. The proposed use is allowed by right within the Light Industrial zoning district and the site plan is on the regular agenda for consideration.

The preliminary plat document contains a fire lane, access utility and drainage easement with access from the end of Exchange Street, from Hensley Lane for the adjacent property owner to the east. Additional utility easements are also provided for fire hydrants.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



LINE TABLE		
NO.	BEARING	LENGTH
L1	N89°16'43"E	24.00'
L2	N89°16'43"E	24.00'
L3	N00°43'17"W	16.50'
L4	N89°16'43"E	10.00'
L5	S89°43'27"E	16.50'
L6	S89°16'43"W	10.39'
L7	N00°43'17"W	10.00'
L8	N89°16'43"E	10.50'
L9	S89°16'43"W	10.00'
L10	N00°43'17"W	10.00'
L11	N89°16'43"E	10.05'
L12	S89°16'43"W	10.00'
L13	N00°43'17"W	10.00'
L14	N89°16'43"E	9.51'

CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	22°39'59"	28.00'	11.04'	N10°34'14"E	10.97'
C2	22°39'59"	28.00'	11.04'	S12°00'47"E	10.97'
C3	22°39'59"	28.00'	11.04'	N10°34'14"E	10.97'
C4	22°39'59"	28.00'	11.04'	S12°00'47"E	10.97'
C5	32°39'57"	28.00'	16.12'	S15°46'32"W	15.90'
C6	25°47'10"	28.00'	12.60'	S13°38'51"E	12.50'
C7	25°15'50"	28.00'	12.64'	N12°12'34"E	12.53'
C8	32°39'57"	28.00'	16.12'	N17°13'05"W	15.90'
C9	32°39'57"	28.00'	16.12'	S15°46'32"W	15.90'
C10	26°33'24"	28.00'	12.49'	S13°29'58"E	12.49'
C11	39°42'58"	28.00'	12.58'	N10°08'45"E	12.47'
C12	32°39'57"	28.00'	16.12'	N17°13'05"W	15.90'

- NOTES:
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines and withholdings of utilities and building permits.
 - Bearings based on the State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983 (2011).
 - All corners are a 5/8" iron rod with plastic cap stamped "KHA" set unless noted otherwise.

FLOOD STATEMENT:

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48085C0415J, for Collin County, Texas and incorporated areas, dated June 2, 2008, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain".

LEGEND

Δ = CENTRAL ANGLE
P.O.B. = POINT OF BEGINNING
BPC = IRON ROD WITH CAP FOUND
XF = "X" CUT IN CONCRETE FOUND
P.R.C.C.T. = PLAT RECORDS OF COLLIN COUNTY, TEXAS
O.P.R.C.C.T. = OFFICIAL PUBLIC RECORDS OF COLLIN COUNTY, TEXAS

RECOMMENDED FOR APPROVAL

Chairman, Planning & Zoning Commission
City of Wylie, Texas

Date

APPROVED FOR CONSTRUCTION

Mayor
City of Wylie, Texas

Date

ACCEPTED

Mayor
City of Wylie, Texas

Date

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the **BIZSPACE WYLIE, LOT 1, BLOCK A**, a subdivision or addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alley ways, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinafore subscribed.

Witness my hand this _____ day of _____, A.D. 20____.

City Secretary
City of Wylie, Texas

PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY

PRELIMINARY FINAL PLAT
BIZSPACE WYLIE
LOT 1, BLOCK A
5.274 ACRES OUT OF THE WILLIAM SACHSE SURVEY
ABSTRACT NO. 835
CITY OF WYLIE, COLLIN COUNTY, TEXAS
PREPARED: 11/20/2025
CITY PROJECT # _____

Kimley»Horn

6160 Warren Parkway, Suite 210
Frisco, Texas 75034
FIRM # 10193822
Tel. No. (972) 335-3580
Fax No. (972) 335-3779

PREPARED: 11/20/2025
Project No. 000061100
SHEET NO. 1 OF 1

Scale 1" = 50'
Drawn by MBM
Checked by KHA
Date 11/20/2025
Project No. 000061100
SHEET NO. 1 OF 1

FILED:

OWNER:
SCOTTFREE INVESTMENTS LP
519 E. I-30, SUITE 511
ROCKWALL, TX 75087
CONTACT:

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
6160 WARREN PKWY., SUITE 210
FRISCO, TEXAS 75034
TEL. 972-335-3580
CONTACT: MICHAEL MARX, R.P.L.S.

APPLICANT:
KIMLEY-HORN AND ASSOCIATES, INC.
2600 N. CENTRAL EXPY., SUITE 400
RICHARDSON, TX 75080
TEL. 214-420-5641
CONTACT: MICHAEL ANN DURDEN, P.E.

OWNER'S DEDICATION

STATE OF TEXAS §
COUNTY OF COLLIN §
CITY OF WYLIE §

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, **SCOTTFREE INVESTMENTS LP**, do hereby adopt this plat designating the hereinabove described property as **BIZSPACE WYLIE, LOT 1, BLOCK A**, an addition to the City of Wylie, and does hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Property owners shall maintain easements and any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, without the necessity at any time procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS OUR HAND AT _____ this _____ day of _____, 20____.

By: _____
Name: _____
Title: _____

STATE OF _____
COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for the said County and State, on this day personally appeared _____ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose therein expressed and under oath stated that the statements in the foregoing certificate are true.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

Notary Public in and for the State of _____

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael B. Marx, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Wylie, Texas.

Michael B. Marx
Registered Professional Land Surveyor No. 5181
Kimley-Horn and Associates, Inc.
5750 Genesis Court, Suite 200
Frisco, Texas 75034
Phone 972-335-3580
Fax 972-335-3779

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Michael B. Marx, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

Notary Public, State of Texas

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Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: C

Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat of Lot 1, Block A of Bufflehead Addition, establishing one light industrial lot on 7.64 acres. Property generally located at 3700 Eubanks Ln.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: esVolta

APPLICANT: Jonathan Murphy

The applicant has submitted a Final Plat to create Lot 1, Block A of Bufflehead Addition on 7.64 acres. The property is located at 23700 Eubanks Ln.

The purpose of the Final Plat is to create one lot for the construction of a battery storage use. The proposed use is allowed by right with an approved Special Use Permit in the Light Industrial District (Ordinance 2023-29). The preliminary plat for the development was approved in September of 2023 and the Site Plan was approved in October of 2024.

The final plat document contains a fire lane, access and utility easement for the battery storage development. Access to the site is provided by three entrances to the property from Eubanks Lane.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 1

Subject

Consider, and act upon, a Site Plan for Lot 1, Block A of BizSpace Wylie for the development of an office/warehouse development on 5.274 acres. Property located at 2800 Hensley Lane.

Recommendation

Motion to approve as presented.

Discussion

OWNER: Scott Investments LP

APPLICANT: Kimley-Horn And Associates

The applicant is proposing to develop an eight building, 88,400 square foot flex space office warehouse park. The property is zoned within the Light Industrial district and allows for the proposed use by right. The preliminary plat for the development is in the consent agenda and provides the necessary access and utility easements.

The proposal is for the development to be completed in four phases. Each phase shall be required to provide the necessary infrastructure for city code compliance.

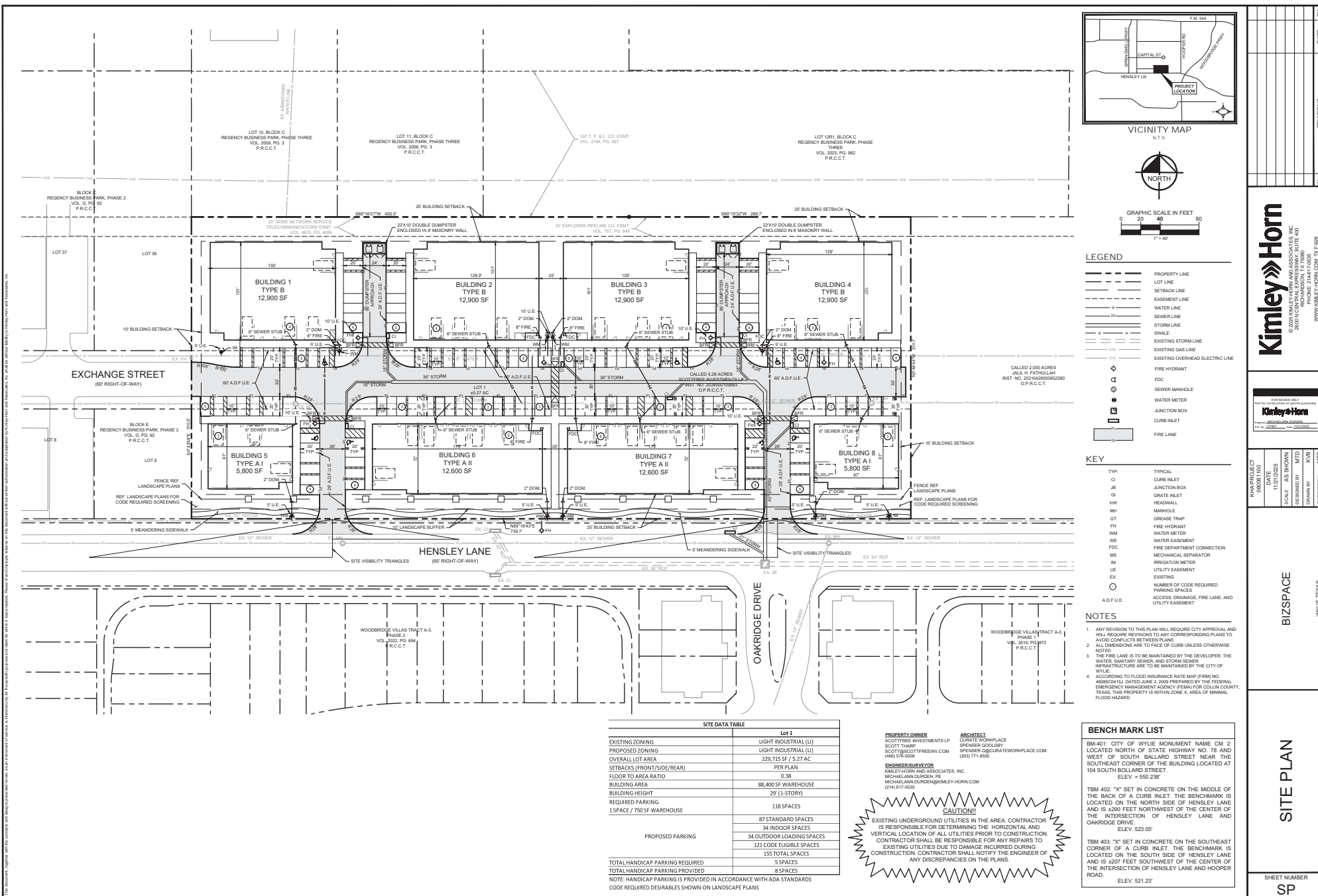
Access to the site is provided via a driveway extension from Exchange Street which provides access to the adjacent property owner to the east. Two additional drives are provided for access to Hensley Lane. All access drives shall be owned and maintained by the property owner.

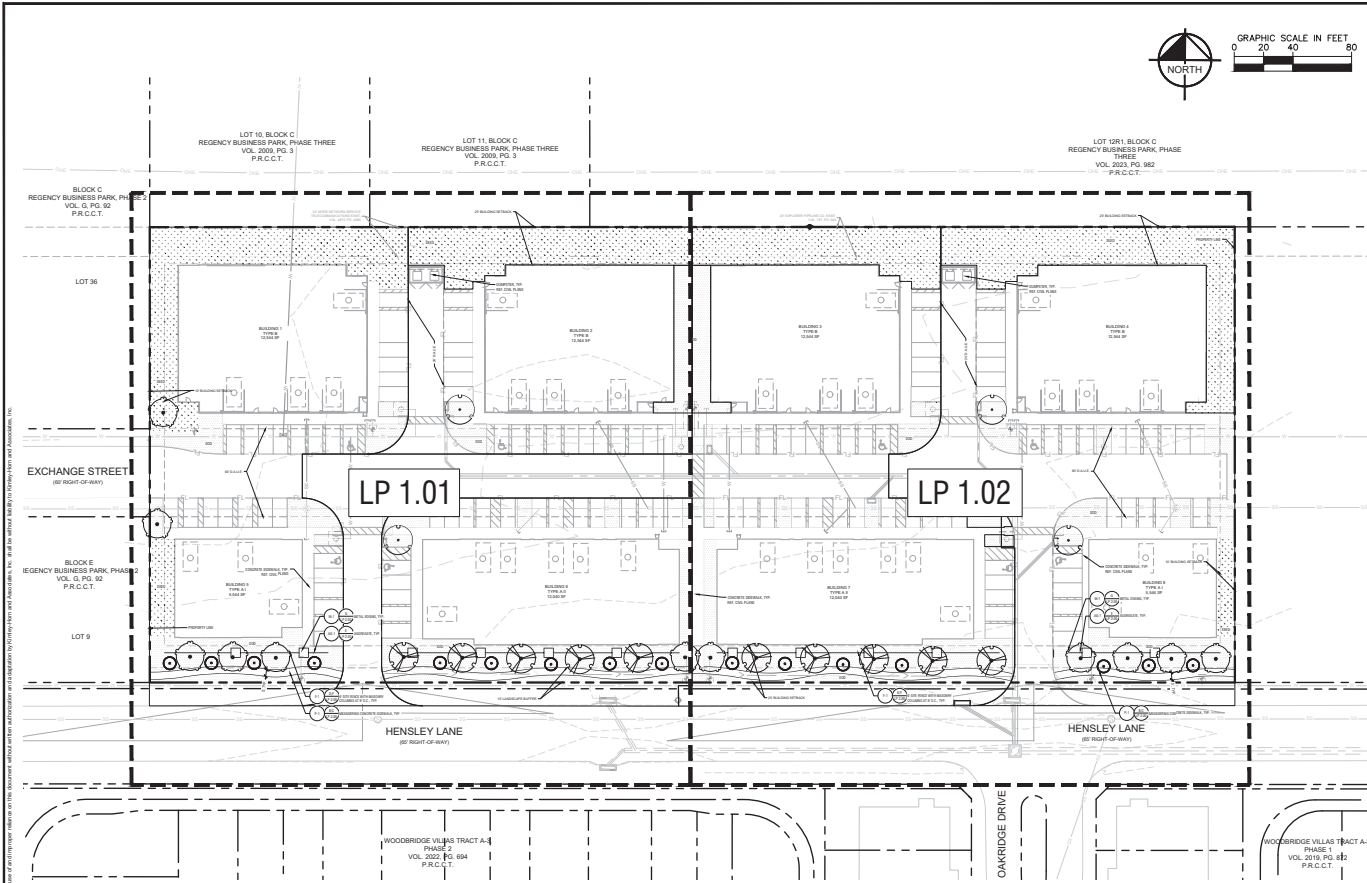
The development provides 87 standard spaces with 8 being ADA accessible, 34 outdoor loading spaces, and 34 indoor spaces. The development shall be allowed to provide shared parking throughout all buildings as the entire constructions will be contained on one single lot.

The site provides 56,186 sq.ft. of landscaping being approximately 25% of the overall landscaped area which is in compliance with the 10% minimum landscaping requirement. The landscape plan includes tree plantings primarily along street frontage of Hensley Lane with a 6' tall wrought iron fence with masonry columns to function as a buffer from the Woodbridge Villas residential neighborhood. A 5' wide meandering sidewalk shall also be required along the street frontage of Hensley Lane.

The structure's exterior material consists of Brick, CMU and storefront framing. The elevations provide architectural variation with the use of alternating CMU texture, overhead doors and awnings. Dumpsters enclosures shall be located near the north side of the property hidden from view from the Hensley Lane right of way.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.





PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IF IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PERMITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, SHOWING CONDITION AND MUST BE REPLACED WITHIN 30 DAYS WITH PLANT MATERIAL OF THE SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHADING AND REMOVAL OF SHEDS PRIOR TO PLANTING WALL AREAS.
- FINAL FENCE CHAINS SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TPODOL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. ALL PLANT QUANTITIES ARE LISTED FOR INFORMATION PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SHOWN ON THE PLAN AND SPECIFIED IN THE PLANT SCHEDULE.
- CONTRACTOR TO PROVIDE TIEES, STAKES BETWEEN ALL PLANTING BODIES AND TYPICAL SPACING INDICATED ON THE DRAWINGS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND IN THE PLANT SCHEDULE, PLANTING DETAILS, AND PLANTING OPERATIONS.
- ALL PLANT MATERIAL SHALL MEET RESISTANCE STANDARDS AS INDICATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS NECESSARY TO ACCOMPLISH ALL PLANTING OPERATIONS.
- PLANT MATERIAL SHALL BE PLANTED PER PLANTING SPECIFICATIONS UNLESS OTHERWISE NOTED ON DRAWINGS.
- PLANTING AREAS SHALL BE KEPT FREE OF TRUNK, BRANCHES, AND DEAD PLANT MATERIAL.
- ALL LINE ESTABLISHED AND, AND IRONING SELECT FILL FOR BUILDING OR PARKING CONSTRUCTION SHALL BE REMOVED FROM ALL PLANTING BEDS TO A MINIMUM DEPTH OF 24". REPLACE MATERIAL REMOVED WITH APPROVED TOPSOIL.
- THREE OVERHANGING PEDESTRIAN WALKS SHALL BE LIMITED TO A HEIGHT OF SEVEN FEET (7'). THREE OVERHANGING PUBLIC STREETS AND FREELANDS SHALL BE LIMITED TO A HEIGHT OF FOUR FEET (4').
- THREE PLANTED NEXT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL BE LIMITED TO 7" 80" MIN. I.F.T.
- PROVIDE PROTECTIVE TRUNKS SHALL BE STAKED WITH AN AT GRASS ROOT SHALL SECURE SYSTEM AS SHOWN IN THE PLANTING DETAILS AND SPECIFICATIONS. NO MOBILE-GROUND STAKING SYSTEMS, QUIP WIRELESS, METAL, STRAPS, POSTS (METAL OR WOOD) SHALL BE ALLOWED UNLESS AUTHORIZED BY WRITING BY THE LANDSCAPE ARCHITECT.
- PERMANENT PROTECTION TO BE INSTALLED PER REGULATION PLAN.

BizSpace - Wylie, TX

City of Wylie Zoning Ordinance

Zoning: Light Industrial

Total Site Area: 229,715 SF / 5.27 Acres

Total Parking Spaces: 126 Spaces

Total Handicap Parking Spaces: 8 Spaces

Section 4.2 Figure 4-5

Light Industrial District Buffering and Screening

Service and Loading Areas: must not be visible from public street or adjacent residential uses.

Required: N/A, Provided: N/A

Section 4.3 Figure 4-8

Landscaping of Required Yards

At least 20% of site shall be landscaped in NS, CR, CC, and BG Districts; 10% of site in LI and HI Districts.

Site Area: 229,715 SF x 10% = 22,971.5 SF

Landscaping is required in the front yard.

Landscaping is required in side and rear yards adjacent to, or across the street from residential.

DESIRABLE: Landscaping exceeds the minimum yard requirement by 10% (20% landscape in total)

Minimum (22,971.5 SF) x 1.10% = 25,268.65

Required: 22,971.5 SF, Provided: 56,186.65 SF

Landscaping of Parking Lots

Plans with over 12 parking spaces require 50 SF of landscaping per parking stall.

Parking Spaces (132) x 50 SF = 6,600 SF Landscaping

No parking space further than 60' from landscaped area on site.

Parking rows must end in a landscaped island.

Parking rows shall have landscaped areas at least every 12 spaces.

DESIRABLE: Landscaping exceeds the minimum yard requirement by 20% (50 SF space x 1.20 spaces = 7,260)

Minimum (6,600 SF) x 1.20% = 7,920 SF

Required: 6,600 SF, Provided: 7,260 SF

Visual Screening

Service and loading areas are required to be screening using the following requirements: screening strip is a minimum of 5' wide and 3' in height and has one flowering tree every 20 linear feet.

Required: YES, Provided: 6' Tall Masonry Fence with a mix of flowering trees and street trees.

Landscaping of Street Frontages

A minimum 50% of required front yard is developed as landscaped buffer of a minimum 10' in width.

1 trees required at a 30-40' linear spacing on street frontages.

Hensley Lane on S. site boundary - 740 LF (19 Trees)

3" caliper minimum trees are required for planting.

DESIRABLE: Increase the minimum width of landscape buffer by 20%

Minimum width (10') x 120% = 12' landscape buffer

Required: YES, Provided: YES

Site Phasing:

At least 20% of site shall be landscaped in NS, CR, CC, and BG Districts; 10% of site in LI and HI Districts.

Total Site Area: 229,715 SF x 10% = 22,971.5 SF

Phase 1: 60,050 SF x 10% = 6,005 SF Required

Phase 2: 73,176.62 SF x 10% = 7,317.66 SF Required

Phase 3: 59,862.75 SF x 10% = 5,986.28 SF Required

Phase 4: 48,538.85 SF x 10% = 4,853.88 SF Required

Required: 6,005 SF, Provided: 14,273.88 SF

Required: 7,317.66 SF, Provided: 13,452.12 SF

Required: 5,986.28 SF, Provided: 14,152.77 SF

Required: 4,853.88 SF, Provided: 14,307.88 SF

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL	SIZE	REMARKS
TREES							
	UA	7	ULMUS PARVIFOLIA / ALLEE / ALLEE LACEBARK ELM	B & B	3" CAL	12'-14' HT	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	UC	11	ULMUS CRASSIFOLIA / CEDAR ELM	B & B	3" CAL	12'-14' HT	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	OS	10	QUERCUS SHUMARDII / SHUMARD RED OAK	B & B	3" CAL	12'-14' HT	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
ORNAMENTAL TREES							
	LN	16	LAGERSTROEMIA X 'NATCHEZ' / NATCHEZ GRAPE MYRTLE	B & B	3-1.5" CANES	8'-10' HT	MULTI-TRUNK (3 STEMS MIN.), FULL AND MATCHING
AGGREGATE							
	RR	133 SF	/ RIVER ROCK	N/A	N/A	N/A	3"-6" CORRISSLE SIZE, LOCALLY SOURCED.
TURF/GRASSES							
	SOD	26,956 SF	CYNODON DACTYLON / BERMIUDA GRASS	N/A	N/A	N/A	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS.
	SEED	27,668 SF	CYNODON DACTYLON / HYDROSEED	N/A	N/A	N/A	HYDROSEED

MATERIALS SCHEDULE:

FENCES & GATES

F-1	6" TYPE FENCE
TYPE:	STEEL
COLOR:	BLACK
FINISH:	PRIME COAT, TWO COATS OF BLACK PAINT
SIZE:	72" HT.
INSTALL:	REF. PLANS AND DETAILS
APPROVAL:	SHOP DRAWINGS

STONE

ST-1	STONE VENEER
TYPE:	LEUERS LIMESTONE
COLOR:	BUFF
FINISH:	FLAMED, SAWN ALL SIDES
SIZE:	4" (W) X 12" (L) X 2" (D)
INSTALL:	REF. PLANS AND DETAILS
APPROVAL:	SHOP DRAWINGS, SAMPLE, MOCK UP

CAST STONE CAP

ST-2	CAST STONE CAP
TYPE:	COLUMNS
COLOR:	BUFF
SIZE:	9" (R) (REF. DETAILS FOR SIZING FOR COLUMNS)
FINISH:	SANDBLAST (ROUGH FINISH)
INSTALL:	REF. DETAILS
SUPPLIER:	CLASSIC CAST STONE
CONTACT:	(214) 678-2000
APPROVAL:	SHOP DRAWINGS, SAMPLE, MOCK UP

METALS

M-1	METAL EDGING
TYPE:	STEEL
COLOR:	BLACK
FINISH:	PAINTED
SIZE:	1/8" THICK 4" HT., WITH 12" TAPERED STAKES @ 30" O.C.
INSTALL:	REF. PLANS AND DETAILS
SUPPLIER:	PRO-STEEL
APPROVAL:	CUT SHEETS

AGGREGATE

AG-1	RIVER ROCK
COLOR:	TEXAS BLEND
SIZE:	MEDIUM 2"-4"
INSTALL:	REF. PLANS AND DETAILS
SUPPLIER:	SITE ONE
CONTACT:	512.278.0987
APPROVAL:	SAMPLE

PAVING:

P-1	CONCRETE PAVING (STANDARD)
COLOR:	NATURAL GRAY
FINISH:	MEDIUM BROOM FINISH
CONTROL JOINTS:	CAMOUT (14" DEPTH OF CONCRETE) @ REGULAR INTERVALS (TYPICAL JOINT SPACING TO BE EQUAL TO WIDTH OF WALK)
EXPANSION JOINTS:	GENERALLY 30' O.C. MAX. (SEE PLANS FOR LOCATION)
JOINT SEALANT:	COLOR SHALL MATCH CONCRETE
APPROVAL:	MOCKUP, 1:1 SEALANT SAMPLE

EXISTING UNDERGROUND UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



Know what's Below.
Call before you dig.

BENCHMARK LIST

BM-401: CITY OF WYLIE MONUMENT NAME CM 2 LOCATED NORTH OF STATE HIGHWAY NO. 78 AND WEST OF SOUTH BALLARD STREET NEAR THE SOUTHEAST CORNER OF THE BUILDING LOCATED AT 104 SOUTH BOLLARD STREET. ELEV. = 550.238'

BM-402: "X" SET IN CONCRETE ON THE MIDDLE OF THE BACK OF A CURB INLET. THE BENCHMARK IS LOCATED ON THE NORTH SIDE OF HENSLEY LANE AND IS 4200 FEET NORTHWEST OF THE CENTER OF THE INTERSECTION OF HENSLEY LANE AND OAKRIDGE DRIVE. ELEV. 523.05'

BM-403: "X" SET IN CONCRETE ON THE SOUTHEAST CORNER OF A CURB INLET. THE BENCHMARK IS LOCATED ON THE SOUTH SIDE OF HENSLEY LANE AND IS 4207 FEET SOUTHWEST OF THE CENTER OF THE INTERSECTION OF HENSLEY LANE AND HOOPER ROAD. ELEV. 521.23'

DATE

REVIEWS

No.

Kimley»Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
2000 LUTHERAL DRIVE, SUITE 400
WYLIE, TEXAS 75081
PHONE: 972.544.7000
WWW.KIMLEY-HORN.COM TX F-688

PRELIMINARY

Kimley»Horn

11/21/2025

SCALE: AS SHOWN

DESIGNED BY: M.L.T.

DRAWN BY: M.L.T.

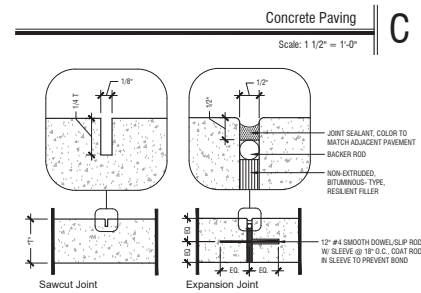
CHECKED BY: B.M.

OVERALL LANDSCAPE PLAN

SHEET NUMBER

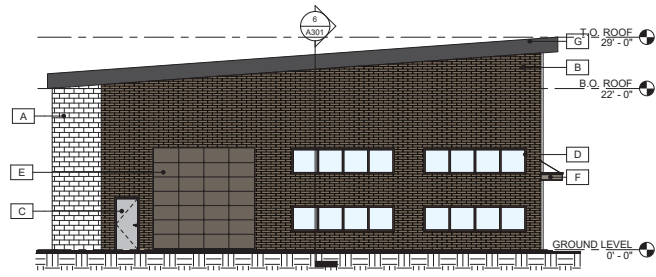
LP 1.00

13





1 BUILDING A-I - PHASE I - NORTH ELEVATION
1/8" = 1'-0"



2 BUILDING A-I - PHASE I - EAST ELEVATION
1/8" = 1'-0"



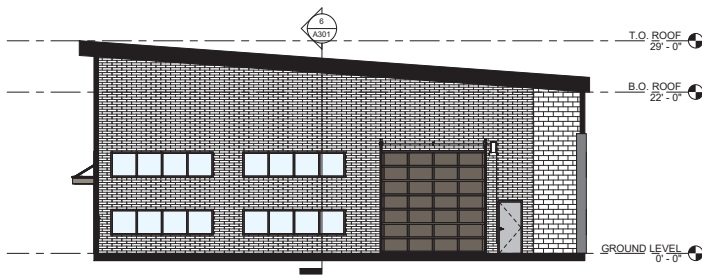
3 BUILDING A-I - PHASE I - SOUTH ELEVATION
1/8" = 1'-0"



4 BUILDING A-I - PHASE I - WEST ELEVATION
1/8" = 1'-0"



5 BUILDING A-I - PHASE I - SECTION 1
1/8" = 1'-0"



6 BUILDING A-I - PHASE I - SECTION 2
1/8" = 1'-0"

MATERIAL	
DESCRIPTION	
A	WHITE SPLIT FACE CONCRETE MASONRY UNIT
B	DARK BROWN 4X4X16 QUIK-BRICK
C	HOLLOW METAL DOOR
D	DARK BRONZE STOREFRONT MULLIONS
E	DARK BROWN OVERHEAD DOOR
F	PREFABRICATED METAL CANOPY WITH BLACK METAL ROOFING
G	BLACK R PANEL METAL ROOFING
H	LIGHT BROWN SMOOTH FACE CONCRETE MASONRY UNIT



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WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE WILL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS MUST BE SUBMITTED TO THE OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

© 2025 CURATE WORKPLACE



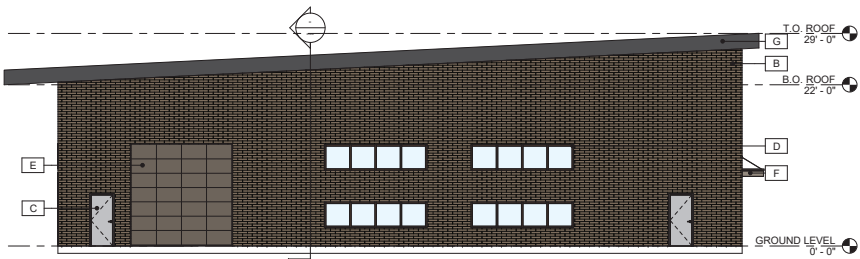
BIZSPACE

WYLIE, TEXAS

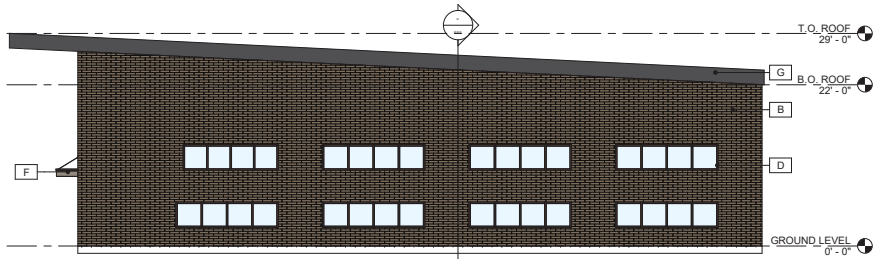
ISSUE:
XX.XX.2026 ISSUE FOR PERMIT

REVISION HISTORY:

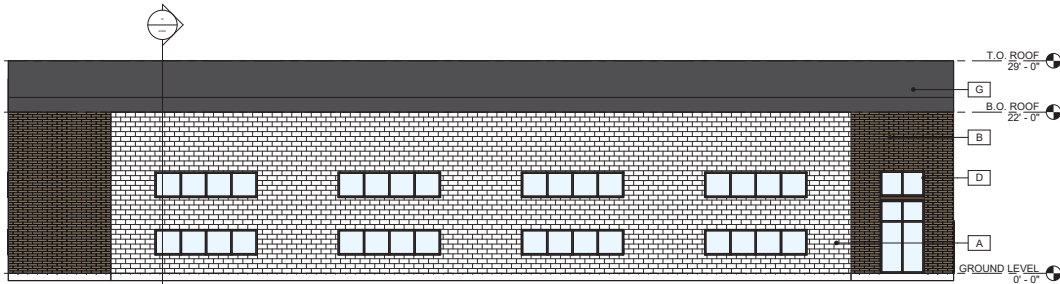
NORTH
BUILDING A-I - PHASE I -
EXTERIOR ELEVATIONS
A301
NOT FOR CONSTRUCTION



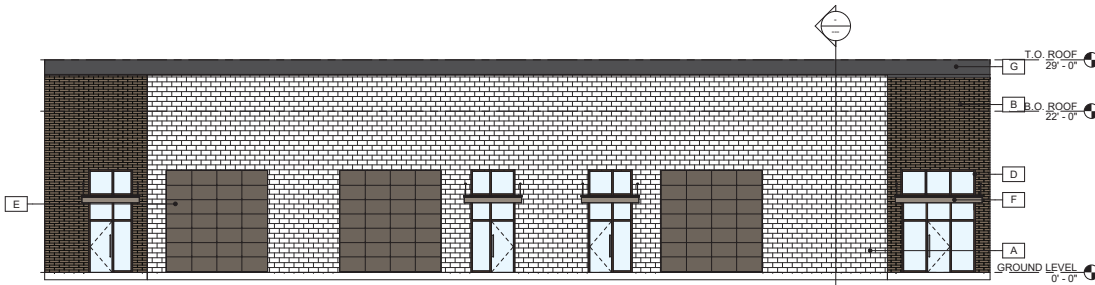
① BUILDING B - PHASE I - EAST ELEVATION
1/8" = 1'-0"



② BUILDING B - PHASE I - WEST ELEVATION
1/8" = 1'-0"



③ BUILDING B - PHASE I - NORTH ELEVATION
1/8" = 1'-0"



④ BUILDING B - PHASE I - SOUTH ELEVATION
1/8" = 1'-0"

MATERIAL	DESCRIPTION
A	WHITE SPLIT FACE CONCRETE MASONRY UNIT
B	DARK BROWN GLAZED CLIK-BLOCK
C	HOLLOW METAL DOOR
D	DARK BRONZE STOREFRONT MULLIONS
E	DARK BROWN OVERHEAD DOOR
F	PREFABRICATED METAL CANOPY WITH BLACK METAL ROOFING
G	BLACK R PANEL METAL ROOFING
H	LIGHT BROWN SMOOTH FACE CONCRETE MASONRY UNIT



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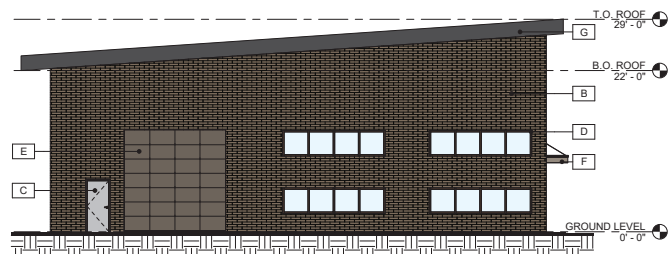
BIZSPACE

WYLIE, TEXAS

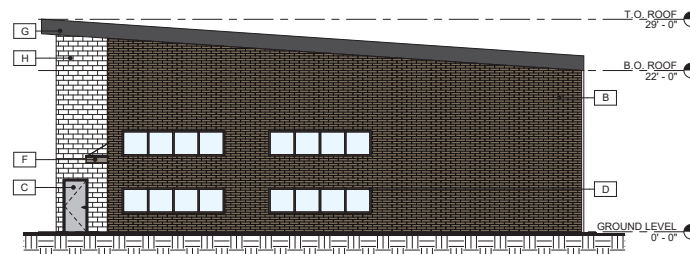
ISSUE:
XX.XX.2026 ISSUE FOR PERMIT

REVISION HISTORY:

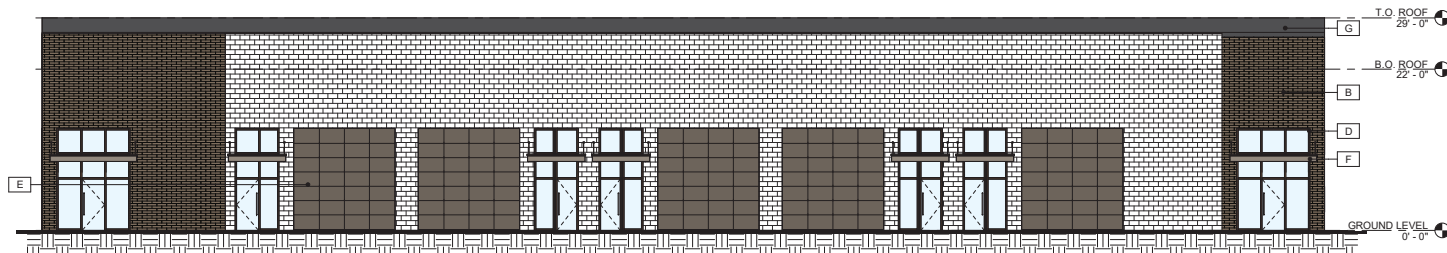
NORTH
BUILDING B - PHASE I - EXTERIOR ELEVATIONS
A302
NOT FOR CONSTRUCTION



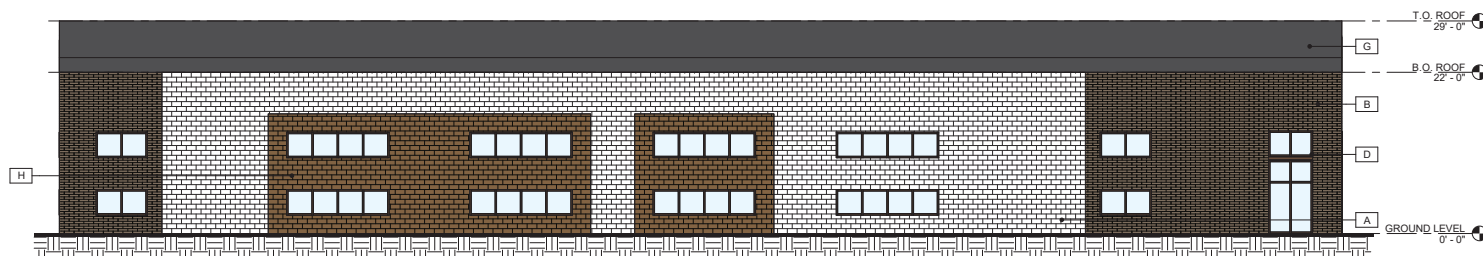
1 BUILDING A-II - PHASE 2 - EAST ELEVATION
1/8" = 1'-0"



2 BUILDING A-II - PHASE 2 - WEST ELEVATION
1/8" = 1'-0"



3 BUILDING A-II - PHASE 2 - NORTH ELEVATION
1/8" = 1'-0"



4 BUILDING A-II - PHASE 2 - SOUTH ELEVATION
1/8" = 1'-0"

MATERIAL	DESCRIPTION
A	WHITE SPLIT FACE CONCRETE MASONRY UNIT
B	DARK BROWN 4X4X16 QUIRK-BRICK
C	HOLLOW METAL DOOR
D	DARK BRONZE STOREFRONT MULLIONS
E	DARK BROWN OVERHEAD DOOR
F	PREFABRICATED METAL CANOPY WITH BLACK METAL ROOFING
G	BLACK S PANEL METAL ROOFING
H	LIGHT BROWN SMOOTH FACE CONCRETE MASONRY UNIT



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BIZSPACE

WYLIE, TEXAS

ISSUE:

XX.XX.2026 ISSUE FOR PERMIT

REVISION HISTORY:



BUILDING A-II - PHASE 2 -
EXTERIOR ELEVATIONS

B301

NOT FOR CONSTRUCTION



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 2

Subject

Consider, and act upon, a Site Plan for Lot 2, Block A of Summit Private School Addition for the development of a daycare center on 1.847 acres. Property located at 701 W Brown.

Recommendation

Motion to approve as presented.

Discussion

OWNER: Craig E Schacherer

APPLICANT: BGE, Inc.

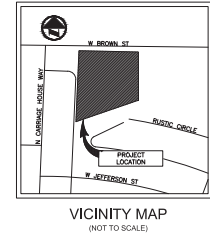
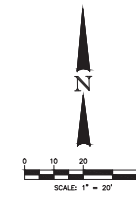
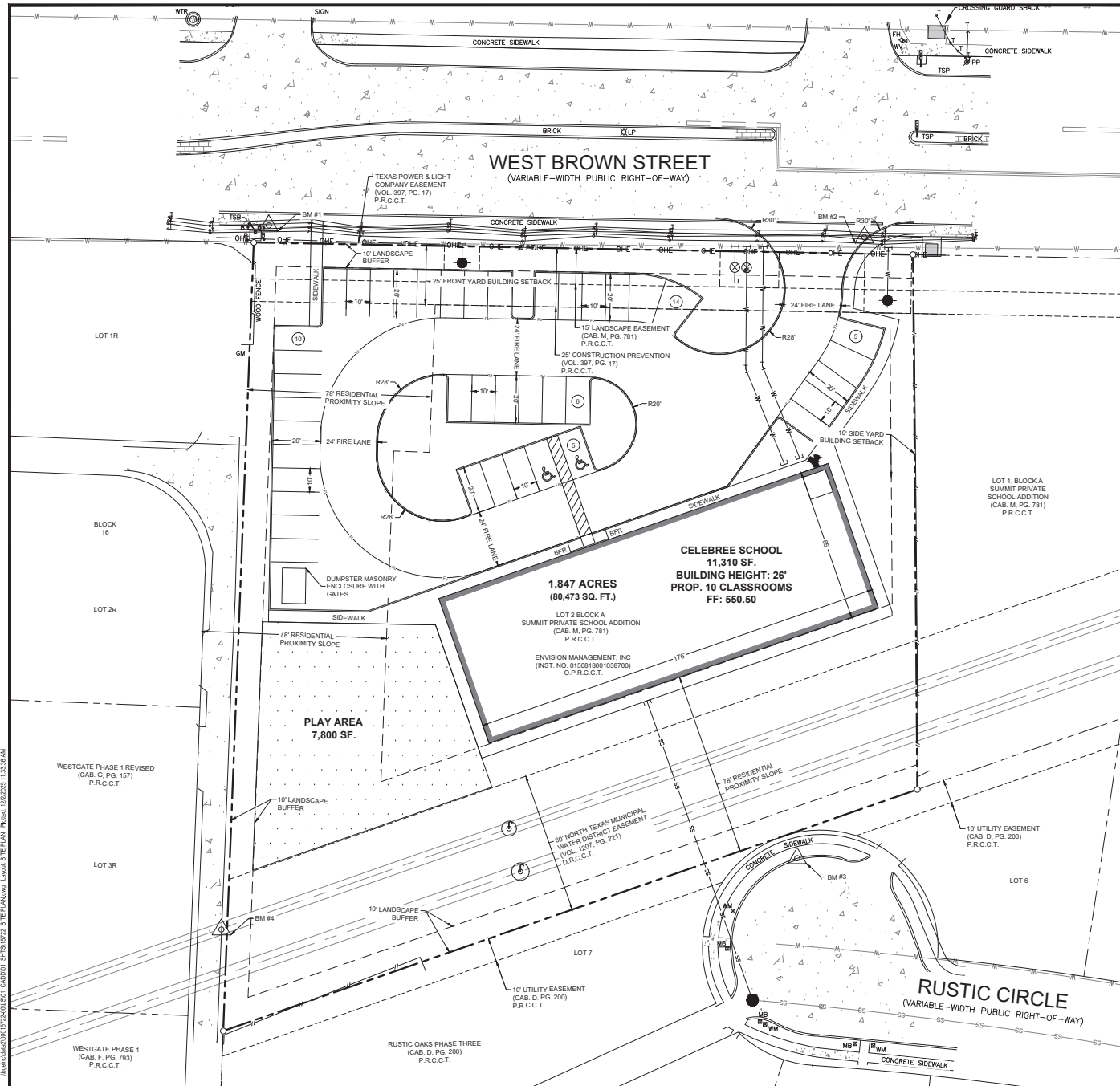
The applicant is proposing to develop a 11,310 square feet day care center on 1.847 acres. The property is zoned within the Neighborhood Services district and allows for the proposed use by right. The final plat for the property was approved in December of 1999. An amended plat shall be required for the dedication of fire lane and utility easements.

Access to the site is provided via a fire lane that connects to W Brown St. The development provides 40 parking spaces with 2 being ADA and is in compliance with the parking requirements of the Zoning Ordinance.

The site provides 42,220 sq.ft. of landscaping being approximately 53% of the overall landscaped area which is in compliance with the 20% minimum landscaping requirement. The landscape plan includes tree plantings primarily along the street frontage of W Brown St. A 6' tall board on board wooden fence is proposed adjacent to the residential neighborhoods located to the west and south.

The structure is in compliance with the residential proximity setback requirements of the Zoning Ordinance by being 78' feet away from the residential subdivisions. The structure's exterior material consists of siding, cultured stone, and bronze storefront framing. Architectural variation is provided with the use of decorative trusses and an architecturally offset emphasized entrance. The development will also provide a 7,800 play area.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.



LEGEND

	PROPOSED PROPERTY LINE
	PROPOSED LOT LINES
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED EASEMENT LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM LINE
	EXISTING SEWER MANHOLE
	EXISTING FH
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED MANHOLE

PROPOSED DEVELOPMENT SCHEDULE:

- 11/17/2025 - SITE PLAN SUBMITTAL
- 12/16/2025 - CITY OF WYLIE P&Z MEETING
- 01/16/2025 - FIRST CIVIL PLAN SUBMITTAL
- 04/01/2025 - CIVIL PLANS RELEASED FOR CONSTRUCTION

EXTERIOR BUILDING MATERIALS:

1. GLASS
2. ANTIQUE BRONZE STOREFRONT
3. POLYMER SIDING
4. EXTERIOR TRIM - PAINTED
5. EXTERIOR PAINT - HOLLOW METAL DOOR
6. PREMIUM ASPHALT ROOF SHINGLES
7. STANDING SEAM METAL ROOFING
8. CULTURED STONE

DESIRABLES MET:

1. FRONT FACADE ORIENTED TO THE STREET
2. BUILDING WITH NO MORE THAN ONE ROW PARKING IN FRONT
3. DIRECT CONNECTION BETWEEN BUILDINGS AND STREET
4. NOT VISIBLE FROM PUBLIC STREET BUT PROVIDE MASONRY SCREENING

SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	LOT 2
ZONING	MS
LAND USE	INSTITUTIONAL/EDUCATION
LOT AREA	1.85 AC
TOTAL AREA	40,506 SF/5.85 AC
TOTAL UNITS	1
BUILDING SLAB AREA	11,735 SF
PLAY AREA	17,870 SF
TOTAL TERRACE AREA	11,735 SF
BUILDING HEIGHT	26' 0"
LOT COVERAGE	14.3%
TOTAL FLOOR AREA RATIO	0.1413
PAVING IMPERVIOUS AREA	64648.8
PARKING	
PARKING RATIO	4 PARKING SPACES PER 1 CLASSROOM
PARKING REQUIRED	40
TOTAL PARKING PROVIDED	40
ADA PARKING REQUIRED	2
ADA PARKING PROVIDED	2
*NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH THE STANDARD	

SURVEYOR:

BGE INC.
700 N. PEARL STREET SUITE 2100
DALLAS, TX 75201
PHONE: (469) 621-3200

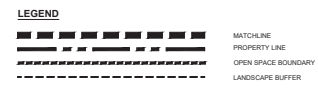
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



JAM ARCH
373 US-46 BUILDING D, SUITE 240
FAIRFIELD, NJ 07004
PHONE: (973) 291-3730

LANDSCAPE ARCHITECT

BGE INC.
700 N. PEARL STREET SUITE 2100
DALLAS, TX 75201
PHONE: (469) 621-3200

[illegible]



PLANT SCHEDULE		
SYMBOL	CODE	COMMON / BOTANICAL NAME
CANOPY TREES		
	QUE MAC	Burr Oak / <i>Quercus macrocarpa</i>
	ULM CRA	Cedar Elm / <i>Ulmus crassifolia</i>
	TAX ASC	Pond Cypress / <i>Taxodium ascendens</i>
ORNAMENTAL TREES		
	CER CAN	Eastern Redbud / <i>Cercis canadensis</i>
SHRUBS		
	MUH LIZ	Lindheimer's Muhly / <i>Muhlenbergia lindheimeri</i>
	ROS XLL	Prostrate Rosemary / <i>Rosmarinus x lavandulaeuses</i>
	ABE RCR	Rose Creek Abella / Abella x 'Rose Creek'
PERENNIALS		
	CON TEO	Gregg's Mistflower / <i>Conoclinium greggii</i>
SOD		
	SOD	Common Bermuda Sod / <i>Cynodon dactylon</i>
MISCELLANEOUS		
	MULCH	
	STEEL EDGE	

[illegible]

BGE JOB NO.	15722-00
SUBMITTAL DATE:	NOVEMBER 17, 2025
DESIGNED BY:	NS, AP
DRAWN BY:	NS, AP
CHECKED BY:	MS

A blank coordinate grid with x and y axes. The x-axis is horizontal and the y-axis is vertical, intersecting at the origin (0,0). The grid lines are spaced at intervals of 1 unit.

BGE Inc.
700 N Pearl St., Suite 2100, Dallas, TX 75201
Tel: 972-921-3200 • www.bgeinc.com
TSPF Registration No.: 1-1010

BGE

ECHO DEVELOPERS
5300 WESTVIEW DRIVE, SUITE 305
FREDERICK, MD 21703
CONTACT: GARY LARGIE

L3.01	<p>PLANTING PLAN</p>
	<p>CELEBREE SCHOOL 1.84 ACRES 701 W. 1ST ST. SUMMIT PRIVATE SCHOOL ADDITION, LOTS 1 AND 2, BLOCK A CITY OF WYILE COLLIN COUNTY, TEXAS</p>

U:\boring\data2\00015722.dwg P:\NTX\02\CAD\03\SHEETS\1_P\NTX.dwg Layout: 1,3.01 Plotted: 4/23/2005 9:17:26 AM

EXTERIOR ELEVATIONS : 701 W. Brown St., Wylie, Texas



1 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
SCALE: 1/8" = 1'-0"

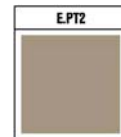
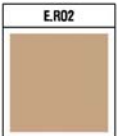
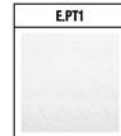


3 LEFT ELEVATION
SCALE: 1/8" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

LEGEND - EXTERIOR FINISHES				
Code	Material	Manufacturer	Product Specification	Comments
E.GL1	GLASS	KARAPOLIS	1" INSULATED GLASS UNITS	
E.MT1	STONE MOUNTAIN	KARAPOLIS	ARTISAN BRONZE	PAINTED BRONZE WILLIAMS - BRONZE BRICK
E.PT1	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT2	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT3	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT4	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT5	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT6	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT7	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT8	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT9	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT10	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT11	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT12	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT13	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT14	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT15	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
E.PT16	POLYMER TERRAZZO	ASDA	BRONZE AND METAL GLASSIC: METAL 1.5" SQUARE, 12" SQUARE, 12" SQUARE	
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373 US HIGHWAY ROUTE 46 WEST
BUILDING D, SUITE 240
FAIRFIELD, NEW JERSEY 07004
p: 973.291.3730 f: 973.291.3740
e: jmh@jam-arch.com

CELEBREE SCHOOL - EXTERIOR ELEVATIONS
701 W. BROWN ST., WYLIE, TEXAS

02.15.2023

DESIGNED BY JAM ARCH

NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYING PROTECTION AS AN ARCHITECTURAL WORK UNDER TITLE 17 U.S.C. AS AMENDED. DESIGN AND CONSTRUCTION ARE THE PROPERTY OF JAM ARCH. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM JAM ARCH.





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 3

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Planned Development 2022-51 (PD 2022-51) to Commercial Corridor - Special Use Permit (CC-SUP) on 2.02 acres to allow for a landscaping contractor's maintenance yard. Property located at 703 N Highway 78 (**ZC 2025-14**).

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: FWIRE LLC

APPLICANT: Dakota Proscapes

The applicant is requesting to rezone a Planned Development (PD 2022-51) to Commercial Corridor with a Special Use Permit (SUP) to allow for a landscaping contractor's maintenance yard on 2.02 acres generally located at 703 N Highway 78. The Special Use Permit is needed to allow for the outside storage of the landscaping business.

The property contains a 6,000 sf structure that was developed in 1994 which was recently renovated in 2023. The applicant is requesting to remove the previous Planned Development for an event center distillery use and have the base zoning of Commercial Corridor for the marketing of the existing structure while using the remainder of the space for a landscaping contractor's maintenance yard.

The developer has an active Temporary Use Permit on the property for the landscaping business with a contractor's yard on a smaller scale which expires on 01/31/2026. This temporary use was allowed as an initial test to judge the compatibility of the use and its effect on the surrounding properties.

The provided zoning exhibit shows the proposed fenced areas, parking areas and fire lane access from Marble street and State Highway 78.

If approved, the development shall be required to be in compliance with all applicable city codes with a site plan review being forthcoming.

The adjacent property to the north is zoned Commercial Corridor and developed with restaurant and retail uses. The property to the east and west are zoned residential and developed with single family homes. The property to the south contains the Hughes Cemetery.

The subject property lies within the Regional Commercial sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to 25 property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request

Locator Map



ZONING CASE:
ZC 2025-14 703 N STATE HWY 78

 SUBJECT property

0 0.1 0.2 0.3 Miles



Date: 11/20/2025
COMPILED BY: G STAFFORD



12/16/2025 Item 3.

CM	CM	ASPHALT
○	○	OVERHEAD ELECTRIC LINE
○	○	CHAINLINK FENCE
○	○	PIPE FENCE
○	○	WOOD FENCE
○	○	IRON FENCE
○	○	FIRE LANE
○	○	COVERED PORCH, OVERHANG
○	○	BRICK
○	○	CONCRETE
○	○	BUILDING
○	○	NO PARKING

**2.02 ACRES**

LOT 2A, BLOCK 2
REPLAT OF LOT 2 & LOT 3 IN BLOCK 2
OF A REPLAT OF OAKS RETAIL
(CAB. G, PAGE 285 P.R.C.C.T.)

703 N. STATE HIGHWAY 78
WYLIE, TEXAS

DATE: 12/18/2021
SCALE: 1" = 30'
JOB NO.: 2021-1995 & 2022-1469
CLIENT: CP DESIGN SERVICES
TECHNICIAN: TYB

BY-LINE
SURVEYING LLC
P.O. BOX 834
Emory, TX 75440
Ph: (903) 751-1100
Firm No: 1
www.bylineusa.com

Lot 2A, Block 2, of REPLAT OF LOT 2 & LOT 3 IN BLOCK 2 OF A REPLAT OF OAKS RETAIL, an addition to the City of Wylie, Collin County, Texas, according to the plat thereof recorded in Cabinet G, Page 285, Plat Records, Collin County, Texas.

SURVEYOR'S NOTES:

- 1) BEARINGS ARE BASED ON NAD 83(2011), TEXAS NORTH CENTRAL 4202, AS OBSERVED BY GPS. AREA AND DISTANCES SHOWN HEREON ARE AT GRID.
- 2) NO EASEMENT RECORD SEARCH WAS MADE BY THIS OFFICE CONCERNING THIS PROPERTY.
- 3) THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT, AND MAY BE SUBJECT TO RECORD EVIDENCE WHICH IS NOT AVAILABLE FOR CONSIDERATION AT THE TIME OF THIS SURVEY.
- 4) THE PROPERTY SHOWN HEREON WAS SURVEYED BASED ON DEEDS AND/OR LEGAL DESCRIPTIONS OBTAINED THROUGH NORMAL RESEARCH PROCEDURES. THERE MAY BE OTHER DOCUMENTS RECORDED/UNRECORDED THAT MAY AFFECT THE SUBJECT, AND THIS SURVEY IN NO WAY IMPAIRS OWNERSHIP OF ALL OR ANY PART OF THE SUBJECT AS SHOWN HEREON.
- 5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88.
- 6) CONTOURS SHOWN HEREON ARE SHOWN AT 1 FOOT INTERVALS.
- 7) FIELD WORK WAS COMPLETED 12/14/2021.
- 8) PERPETUAL EASEMENT TO THE NORTH TEXAS MUNICIPAL WATER DISTRICT AS RECORDED IN VOLUME 522, PAGE 618, DEED RECORDS, COLLIN COUNTY, TEXAS. - PROPERTY IS SUBJECT TO - PIPELINE WAS NOT LOCATED BY US ON THE GROUND OVER THIS SURVEYED TRACT, IT AFFECTS THE SENIOR PROPERTY OF THIS SURVEYED TRACT.

FLOOD STATEMENT:

THE PROPERTY IS SHOWN AS BEING LOCATED IN ZONE X BY FLOOD INSURANCE RATE MAP NO. 48085C04201, DATED 06/02/2009. IT IS SHOWN AS NOT BEING LOCATED IN A SPECIAL FLOOD HAZARD AREA INUNDATED BY 100-YEAR FLOOD.

I, Tina Ballard RPLS No. 6746, do hereby certify that the Plat of Survey shown hereon is a correct, and accurate representation of the property lines, and dimensions are as indicated; and EXCEPT AS SHOWN, all improvements are located within the boundaries, and there are no visible, and apparent encroachments or protrusions on the ground. Use of this survey by any other parties and/or for other purposes shall be at user's own risk, and any loss resulting from other use shall not be the responsibility of the undersigned.

REVISED: 09/19/2022 FOR EASEMENTS

BY: *Tina Ballard*
TINA BALLARD
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6746

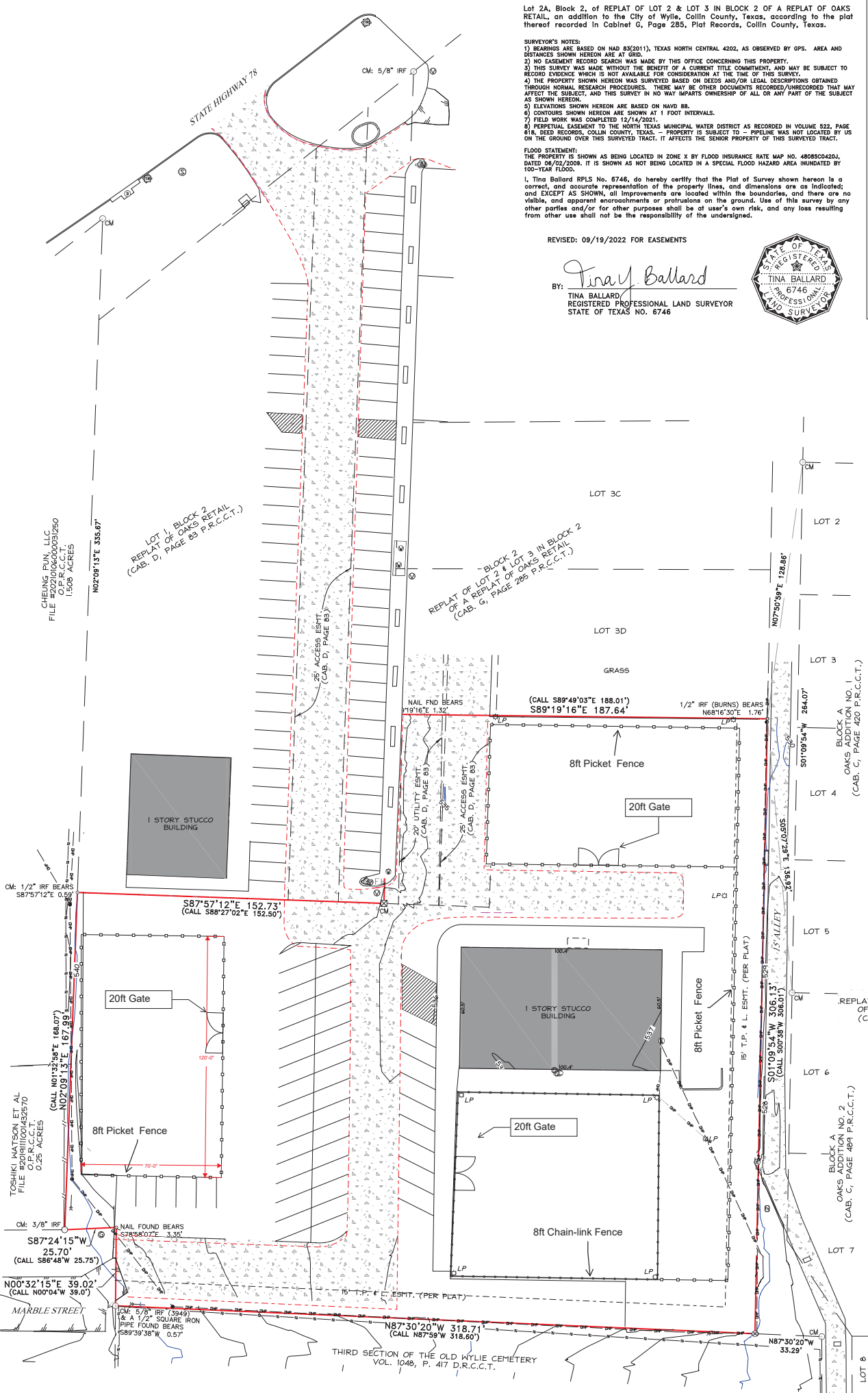


Exhibit “C”**FWIRE****Conditions For Special Use Permit****(Ordinance 2025-XX)****I. PURPOSE:**

The purpose of this Special Use Permit is to all for a landscaping contractor’s maintenance yard.

II. GENERAL CONDITIONS:

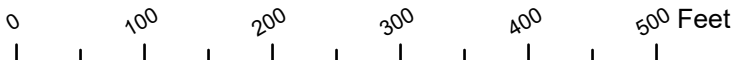
1. This exhibit shall not affect any regulations within the Zoning Ordinance (as of August 2025), except as specifically provided herein.
2. The design and development of the FWIRE development shall be in accordance with Section III below and the Zoning Exhibit (Exhibit B).

III. SPECIAL CONDITIONS:

1. The underlying zoning for this development shall be Commercial Corridor (CC). All by-right uses allowed in CC as of the date of this Ordinance shall be allowed. In addition, the Contractor Maintenance Yard (5.2.1.2) use is allowed by-right.
2. The Special Use Permit shall expire and zoning revert to the base CC district shall the landscaping contractor’s maintenance yard use cease to operate.

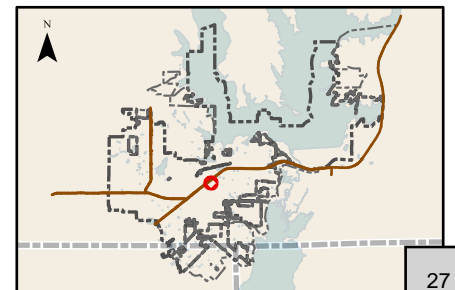
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ZC 2025-14 703 N STATE HWY 78



Date: 11/20/2025

COMPILED BY: G STAFFORD





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 4

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Light Industrial (LI) to Light Industrial - Special Use Permit (LI-SUP) on 5.578 acres to allow for a warehouse use. Property located at 603 Sanden Blvd (**ZC 2025-18**).

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: RAK Equities

APPLICANT: Westwood Professional Services

The applicant is requesting for 603 Sanden Blvd to be rezoned from Light Industrial to Light Industrial - Special Use Permit to allow for a 62,908 sqft warehouse use. The Special Use Permit (SUP) is needed as the Zoning Ordinance requires all warehouse buildings over 25,000 sqft. to have a SUP approval. The development is located on Lot 1R-4, Block A of Sanden Addition and is proposed as shell space by RAK Equities.

The site is proposed to be accessed by a fire lane that loops around the entire structure with two drives that lead to connections to Sanden Blvd and to FM 544. Truck loading areas are provided near the rear of the site. 102 parking spaces with 6 being ADA accessible being located along the front and sides of the building.

The site provides 60,546 sq.ft. of landscaping being approximately 25% of the overall landscaped area which is in compliance with the 10% minimum landscaping requirement. The landscape plan includes tree plantings primarily along the street frontage of Sanden Blvd and throughout the parking areas.

The structure's exterior material consists of tiltwall construction with Sherwin Williams: toque white, cityscape and Iron Ore paint being used. The elevations provide architectural variation with the use of varying tilt wall heights and an enhanced entrance with awnings.

If approved, the zoning exhibit shall serve as the site plan for the warehouse development.

The adjacent property to the north and south are undeveloped and zoned Light Industrial. The properties to the east and west are zoned Industrial and Industrial - Special Use Permit and contain similar warehouse industrial uses.

The subject property lies within the Industrial sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to 10 property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor and one was received in opposition of the request. The opposition stated concerns with truck traffic on Sanden Blvd. The Thoroughfare plan lists Sanden Blvd as a secondary thoroughfare with a plan for it to be widened to a 4

lane roadway with a 100' ROW width. Plans for the widening depend on the priority of the project within the Capital Improvements projects list.

Locator Map



ZONING CASE:
ZC 2025-18 603 SANDEN BLVD

 SUBJECT property

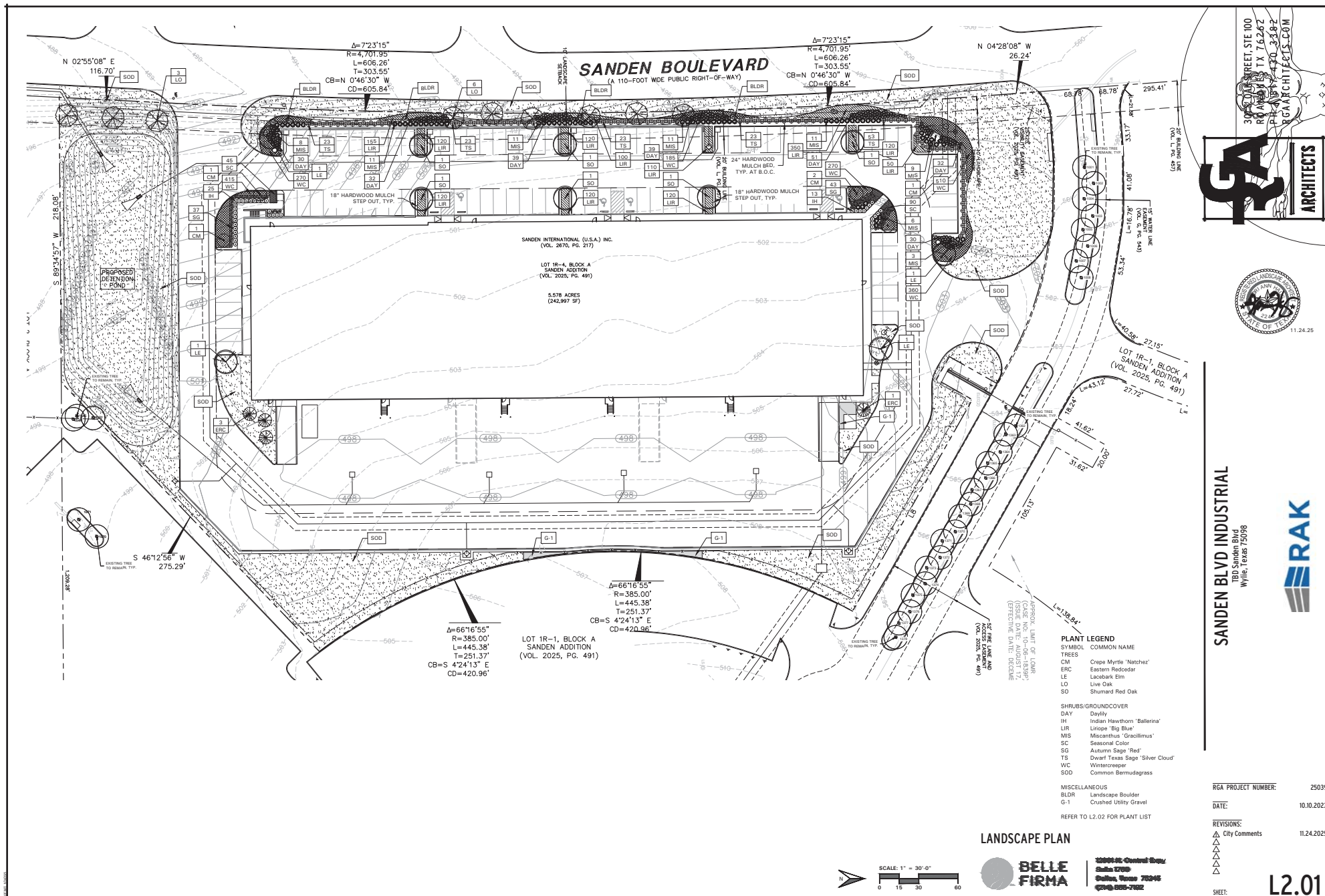
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Date: 11/20/2025

COMPILED BY: G STAFFORD





EXTERIOR PAINT KEY

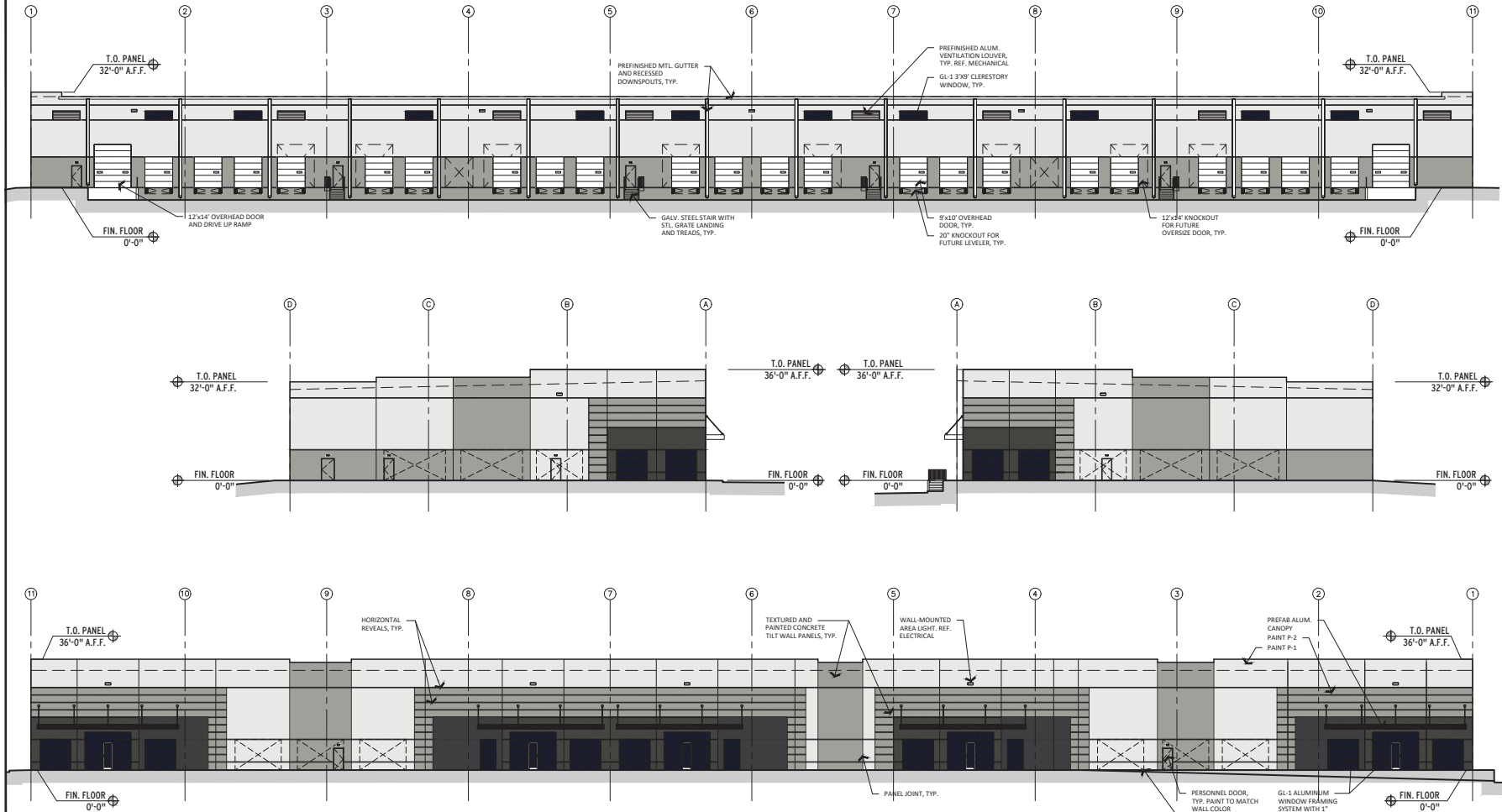
MATL	DESCR.
P-1	EXTERIOR CONCRETE (PRIMARY COLOR - TILT-WALL PANELS) SHERWIN WILLIAMS SW7005 'TOGGUE WHITE'
P-2	EXTERIOR CONCRETE (ACCENT COLOR - TILT-WALL PANELS) SHERWIN WILLIAMS SW7081 'CITYSCAPE'
P-3	EXTERIOR CONCRETE (ACCENT COLOR - TILT-WALL PANELS) SHERWIN WILLIAMS SW7051 'IRON ORE'
P-4	INTERIOR STRUCTURAL COLUMNS TO 8' AFF AND BOLLARDS (SAFETY YELLOW - SEMI-GLOSS)
P-5	METAL DOORS & FRAMES (COLOR TO MATCH WALL PANEL) - SEMI-GLOSS
GL-1	BLACK ANODIZED ALUM. WINDOW FRAMING SYSTEM WITH 1" INSULATED LOW-E GLAZING - SOLARBAN 10XL - PACIFICA

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION
EXTERIOR STAIRS, LANDINGS & RAILS TO BE GALVANIZED

301 S. OAK STREET, STE 100
ROANOKE, TX 76262
PH: 817-430-3382
RGAARCHITECTS.COM



PRELIMINARY
NOT FOR REGULATORY APPROVAL,
PERMITTING, OR CONSTRUCTION.
THIS PRELIMINARY DOCUMENT
IS RELEASED UNDER THE AUTHORITY OF
JERRY COOK,
TEXAS REGISTRATION NO. 20832
ON DATE INDICATED BELOW.



SANDEN BLVD INDUSTRIAL
100 Sanden Blvd
Wylie, Texas 75098



RGA PROJECT NUMBER: 25039

DATE: 10.10.2023

REVISIONS:

▲
▲
▲
▲
▲

SHEET:

A3.01

**RAK INDUSTRIAL
EXHIBIT "C"
CONDITIONS FOR SPECIAL USE PERMIT
ORDINANCE 2025-XX**

I. PURPOSE:

The purpose of this Special Use Permit is to allow for a Warehouse/Distribution use within the Light Industrial District.

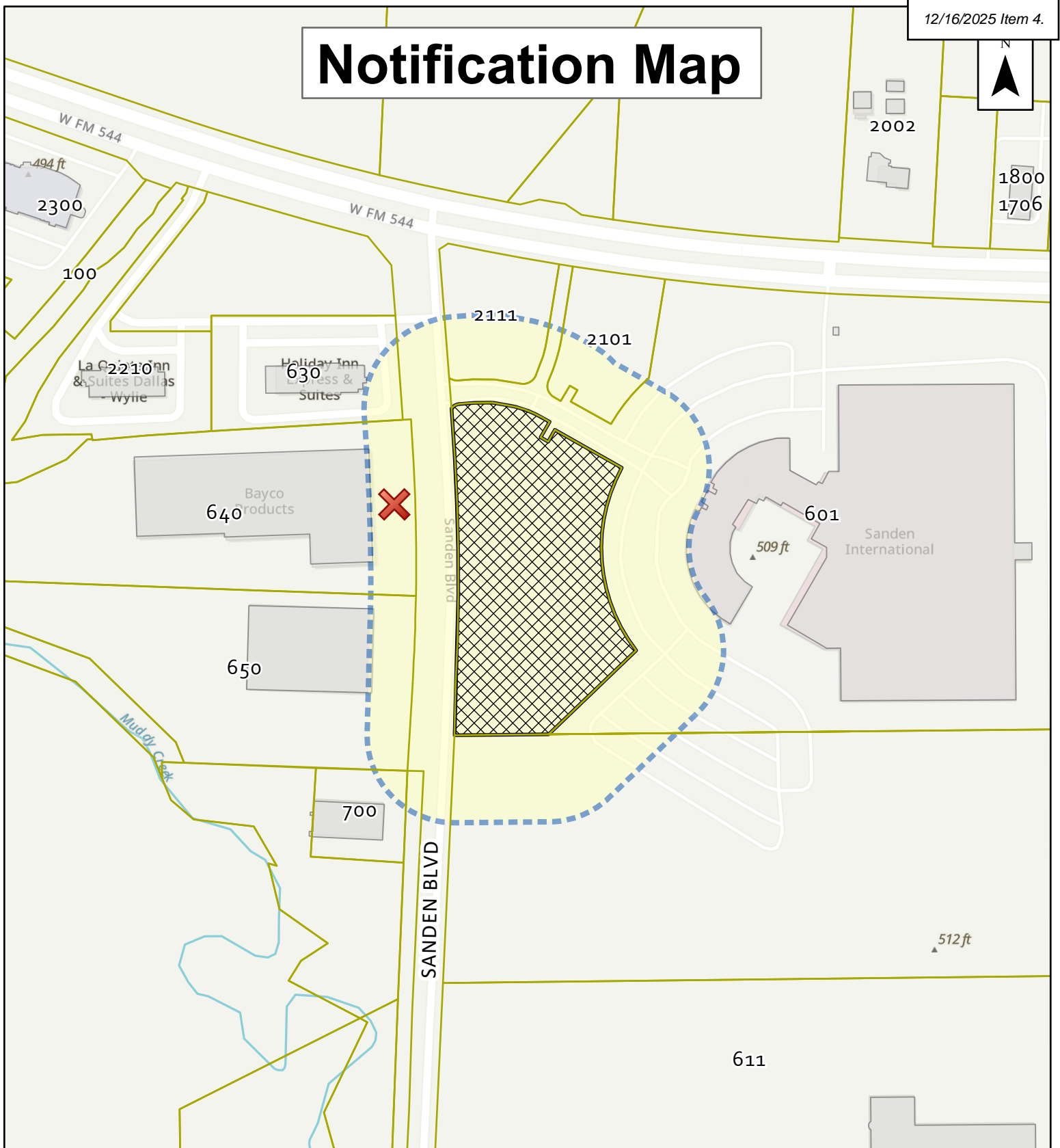
II. GENERAL CONDITIONS:

1. This Special Use Permit shall not affect any regulations of the Light Industrial District (CC) set forth in Article 4 and 5 of the Comprehensive Zoning Ordinance (adopted as of June 2023), except as specifically provided herein.
2. The design and development of the RAK Industrial development shall be in accordance with Section III below and the Zoning Exhibit (Exhibit B).

III. SPECIAL CONDITIONS:

1. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on the subject property:
 - a. Industrial (Inside)
 - b. Office Showroom/Warehouse
 - c. Light Assembly & Fabrication
 - d. Warehouse/Distribution Center
2. The zoning exhibit (Exhibit B) shall serve as the Site Plan for the RAK Industrial development. Approval of the Special Use Permit shall act as site plan approval.

Notification Map



ZONING CASE:
ZC 2025-18 603 SANDEN BLVD

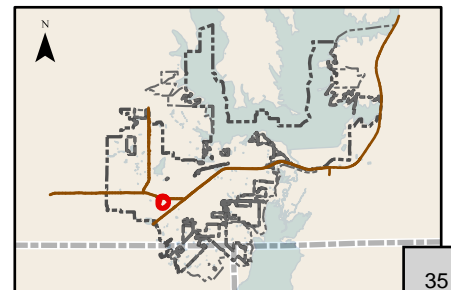
 SUBJECT property  200 foot Notification Buffer

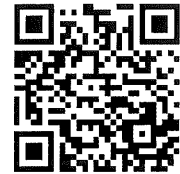
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Date: 11/20/2025

COMPILED BY: G STAFFORD





PUBLIC COMMENT FORM

*Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment>
or by scanning the QR code in the upper right hand corner.
(If completing the form below, please type or use black ink)*

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

_____ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2025-18.
X I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2025-18.
Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning
Commission meeting: Tuesday, December 16, 2025 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting: Tuesday, January 13, 2026 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: ERIC WICKSTROM, BAYCO PRODUCTS
(please print)
Address: 640 SANDEN BLVD
WYLLIE TX 75098
Signature: [Signature]
Date: 12-10-25

COMMENTS:

PLEASE SEE ATTACHED



800-233-2155 • 469-326-9400 • 640 S. Sanden Blvd., Wylie, TX 75098

www.nightstick.com

December 10, 2025

Re: Zoning Case #2025-18 – Request for Light Industrial Special Use Permit (603 Sanden Blvd)
City of Wylie Planning & Zoning Commission / City Council

I am **AGAINST** the requested zoning change *as presently proposed*.

After reviewing the applicant's submitted plans, I have significant concerns about the traffic and safety impacts created by the proposed use. The plans include a **62,908 sq ft building**, yet the **elevation drawings on Page 4** of the submission clearly show **24 dock-high loading doors** spanning the long sides of the building. Likewise, the **site plan on Page 3** shows full-length truck courts and circulation areas designed to accommodate continuous tractor-trailer movements.

For a building of this size, a typical Light Industrial warehouse would normally include **5 to 8 dock doors**. The industry standard ratio for a building this size is approximately **1 dock door per 8,000–12,000 sq ft**. The applicant is proposing **1 door per 2,621 sq ft**, which is **three to four times higher** than normal.

This dock density is consistent with **high-throughput distribution, cross-dock operations, or LTL freight terminals**, not with the low- to moderate-impact uses anticipated under standard Light Industrial zoning.

The intensity of truck activity implied by the plan is incompatible with the surrounding infrastructure. **Sanden Blvd is only one lane in each direction**, and the roadway does not provide shoulders, turn lanes, or staging space for heavy truck traffic. With 24 dock doors, trucks are likely to arrive in clusters throughout the day. If the internal truck courts become full or if carriers arrive early, trucks may be forced to **queue or idle on Sanden Blvd**, blocking traffic in both directions and creating a risk to employees and visitors entering nearby businesses, including Bayco Products at 640 Sanden Blvd.

My concerns based on the submitted plans include:

- The **24 dock doors shown on Page 4** indicate a truck-intensive operation far beyond standard Light Industrial use.
- The **truck courts shown on Page 3** are oriented for continuous tractor-trailer flow, which increases traffic volume and turning movements.
- **Sanden Blvd's one-lane-each-way configuration** cannot safely support the anticipated volume of heavy trucks.

- **Truck queueing or staging** on Sanden Blvd is a foreseeable and significant safety hazard.
- The use, as designed, is effectively a **distribution terminal**, not a traditional Light Industrial warehouse.

I am not opposed to development, but any approval of a high-intensity distribution use on this roadway must include protections for traffic safety and surrounding businesses.

Accordingly, I respectfully request that the City require the following conditions before approving the SUP:

1. A full **Traffic Impact Analysis (TIA)** that specifically accounts for the 24 dock doors shown in the plans.
2. Demonstrated **on-site truck queueing capacity** sufficient to prevent any staging on Sanden Blvd.
3. A condition prohibiting **truck staging or idling on Sanden Blvd**, enforceable by the City.
4. Evaluation of whether **roadway or turn-lane improvements** are necessary to mitigate truck impacts.

Without these safeguards, the proposed Special Use Permit poses unacceptable traffic, operational, and safety impacts to neighboring properties.

Respectfully submitted,



Eric Wickstrom, Vice President
Neighboring Property Representative
640 Sanden Blvd, Wylie, TX 75098 (Bayco Products)

469-326-9420



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 5

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of two ordinances for a change in zoning from Planned Development 2020-27 (PD 2020-27) to Commercial Corridor & Planned Development - Townhouse District (CC & PD-TH) on 20.381 acres to allow for commercial and townhome development. Property located at 2535 & 2701 S State Highway 78 (**ZC 2025-19**).

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: CL Blackbeard HoldCO LLC & Teal 919 LLC

APPLICANT: CL Blackbeard HoldCO LLC

The applicant is requesting to rezone Planned Development 2020-27 (PD 2020-27) to Commercial Corridor for the property located at 2535 S State Highway 78 while allowing for the approved Townhome Planned Development at 2701 State Highway 78 to retain all of its approved allowances of PD 2020-27.

The purpose of this zoning request is to rezone 16.216 acres out of the 20.381 acres Planned Development 2020-27 located at 2535 S State Highway 78 to Commercial Corridor for marketing purposes and allow for all uses allowed by right within the Commercial Corridor zoning.

The reason for the request is that the original multi-family mixed used development of Planned Development 2020-27 is no longer being pursued due to a foreclosure. The applicant's request will allow for the 16.216 acres to be marketed for commercial development without the pre-established zoning plan of PD 2020-27.

The property owner of the remaining 4.165 acres located at 2701 S State Highway 78, who also acquired the property due to foreclosure, is aware of but did not initiate this zoning request. Therefore, that property will be part of newly created Planned Development which removes any concurrency requirements tied to the commercial property owned by the applicants and retains the right to develop 34 residential townhomes with four open space lots.

If approved, the development shall be in compliance with all applicable city codes with a site plan review and platting being required prior to development commencing.

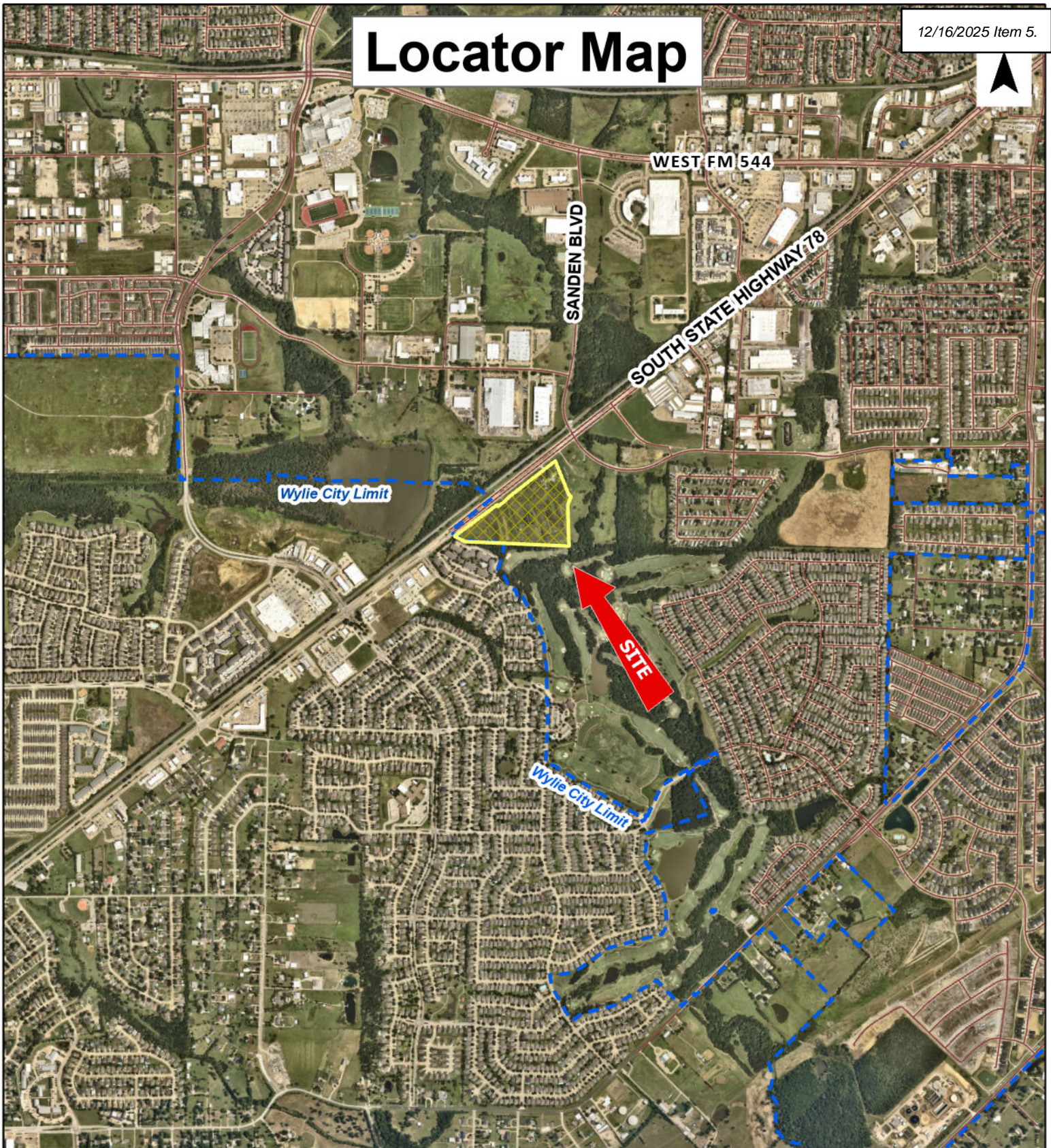
The adjacent property to the west contains apartments within the city of Sachse. The property to the south contains a golf course. The property to the north is undeveloped and is zoned Agricultural. The property to the west is undeveloped and is zoned Multi-Family.

The subject property lies within the Regional Commercial sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.

Notices were sent to four property owners within 200 feet as required by state law. At the time of posting, no responses were received in favor or in opposition of the request

Locator Map

12/16/2025 Item 5.



ZONING CASE:
ZC 2025-19 Crestline



SUBJECT property



Wylie City Limit

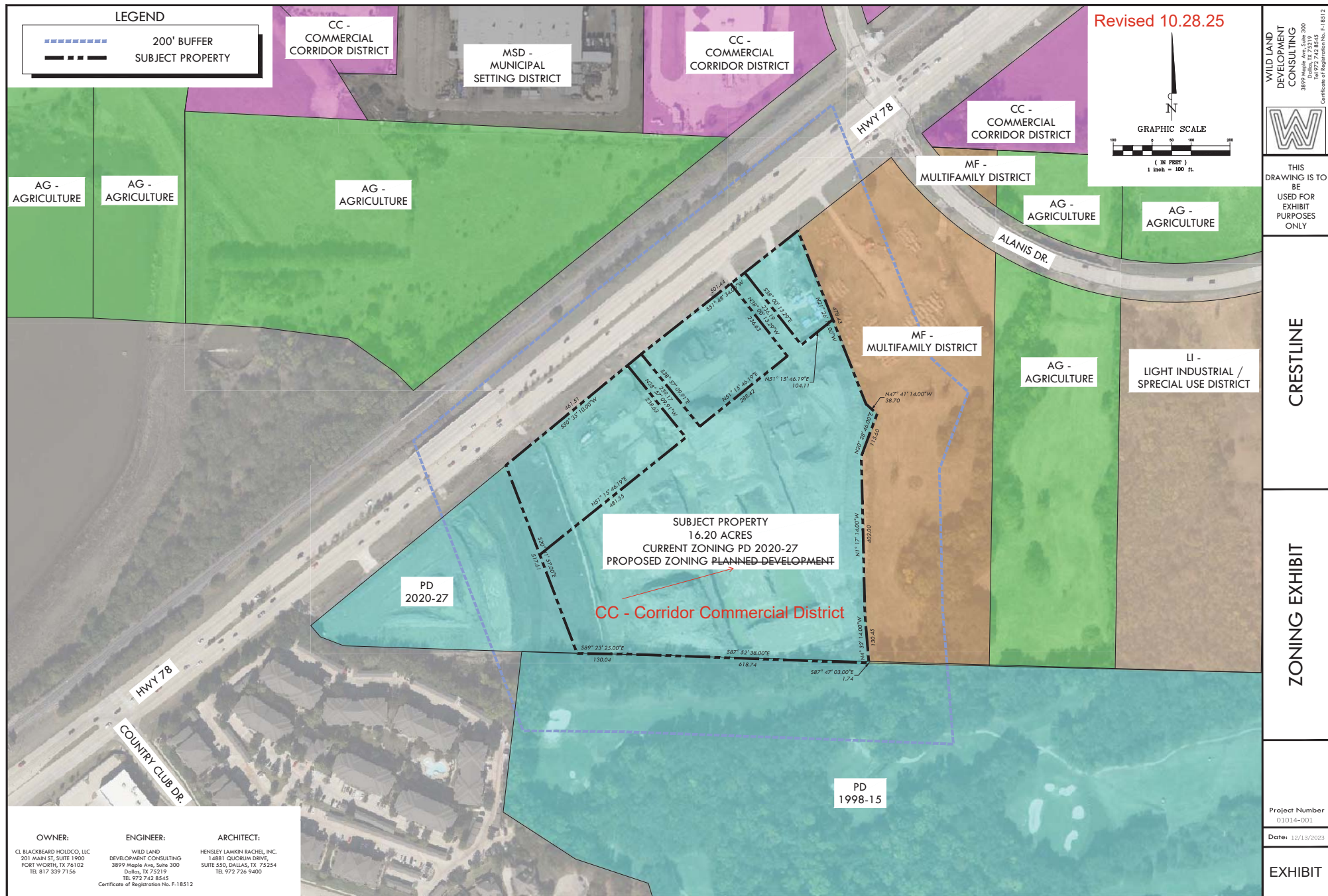
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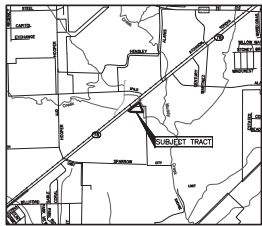


Date: 11/20/2025

COMPILED BY: G STAFFORD







VICINITY MAP
N.T.S.

KNOW ALL MEN BY THESE PRESENTS:

That I, Eduardo Martinez, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground.

PRELIMINARY
Signature: _____ FOR REVIEW ONLY.
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE.
Date: _____

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Eduardo Martinez, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____th day of _____, 20____.

Notary Public in and for the State of Texas

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Serene District Townhomes LLC, does hereby adopt this plat designating the herein above described property as the **DISTRICT TOWNHOMES ADDITION**, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights-of-way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated, for the public use forever, for the purposes indicated in this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements. If approved by the City Council of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof.

The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand, this _____day of _____, 20____.

By: _____

Name _____

STATE OF TEXAS
COUNTY OF _____

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

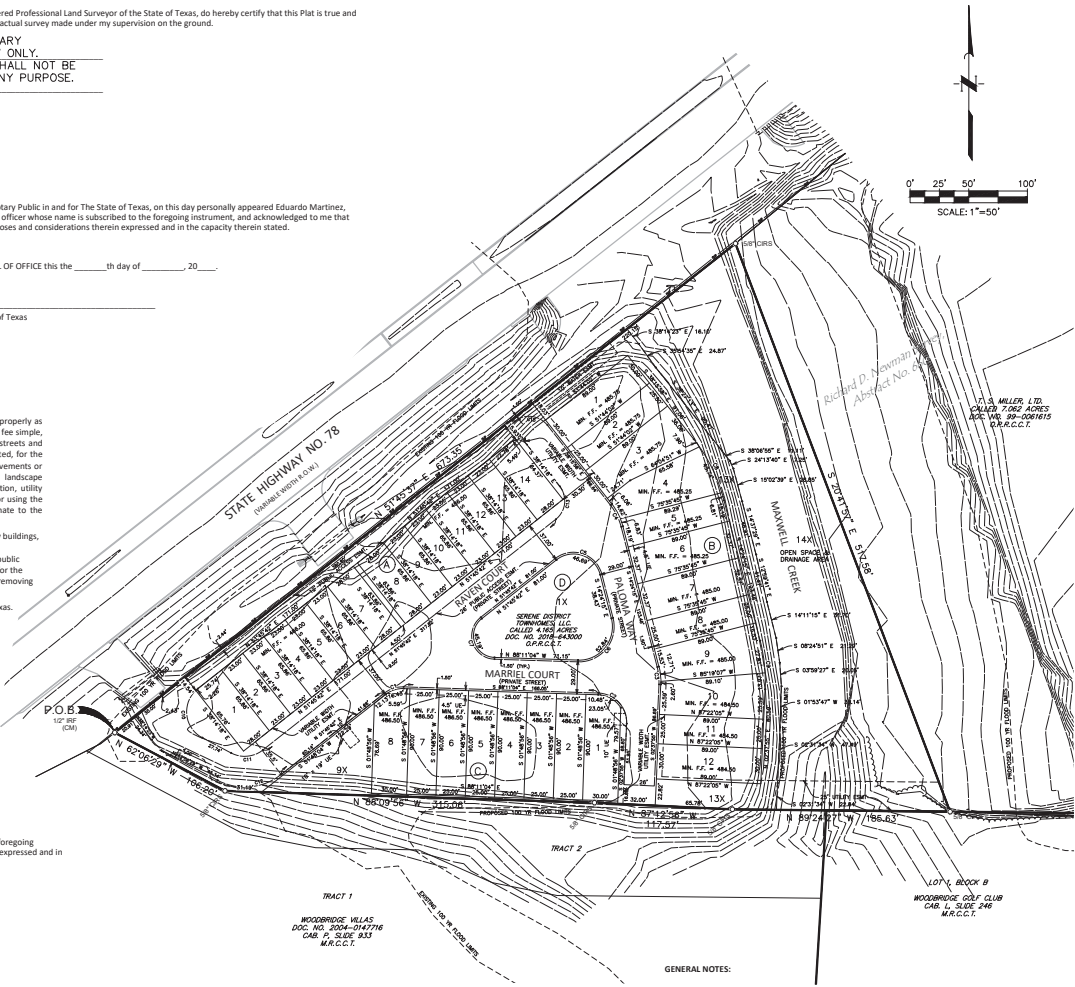
GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____th day of _____, 20____.

Notary Public in and for the State of Texas

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	23.50'	16.43'	16.10'	S 71°47'19" W 40°31'4"
C2	23.50'	23.05'	22.14'	N 62°04'59" W 58°13'10"
C3	30.50'	15.31'	15.26'	N 25°53'10" W 17°02'10"
C4	32.50'	21.49'	21.30'	N 25°20'06" W 23°03'43"
C5	23.50'	46.69'	39.39'	S 71°19'19" E 113°50'03"
C6	28.50'	35.84'	45.59'	S 38°42'21" W 106°13'11"
C7	18.50'	45.15'	34.76'	N 18°27'41" W 135°06'46"
C8	140.50'	28.51'	28.09'	N 26°20'06" W 23°03'43"
C9	140.50'	47.78'	47.62'	N 25°53'10" W 17°02'10"
C10	25.00'	49.69'	41.90'	N 25°10'17" W 113°52'24"
C11	25.00'	38.59'	27.39'	N 84°49'33" W 66°07'48"
C12	50.00'	57.71'	54.58'	S 84°49'33" W 66°07'48"
C13	20.00'	31.43'	28.29'	N 84°49'33" E 80°01'40"
C14	10.00'	15.70'	14.14'	S 83°15'02" E 89°58'07"
C15	20.00'	31.40'	28.28'	S 83°15'02" E 89°58'07"

LEGEND

POB CM R.O.W. VOL. PAGE EASEMENT IRON ROD FOUND CAPPED IRON ROD FOUND 5/8" CAPPED IRON ROD WITH YELLOW CAP STAMPED "JONES CARTER" SET FOR CORNER BL UE SSE DE N.E.E D.R.C.C.T R.P.R.C.C.T O.F.R.C.C.T C.C.F.	POINT OF BEGINNING CONTROL MONUMENT RIGHT OF WAY VOLUME PAGE EASEMENT IRON ROD FOUND CAPPED IRON ROD FOUND 5/8" CAPPED IRON ROD WITH YELLOW CAP STAMPED "JONES CARTER" SET FOR CORNER BL UE SSE DE N.E.E D.R.C.C.T R.P.R.C.C.T O.F.R.C.C.T C.C.F.
①	BLOCK LETTER



GENERAL NOTES:

- Bearings are based on the Texas State Plain Coordinate System, NAD 83, North Central Zone 4202.
- All floodplain information on this plat is for graphical depiction only, as scaled off of Firm Panel Map #48085C0351, Revised Dated June 02, 2009 for Collin County, Texas. This property is in Zone A-X, Areas determined to be outside the 0.2% annual chance floodplain.
- Set monuments are 5/8" iron rods with yellow plastic cap stamped "Jones Carter", unless noted otherwise.
- Selling a portion of this addition by metes and bounds is a violation of City Ordinance and State Law and is subject to fines and withholding of utilities and building permits.
- Elevations are based on the City of Wylie Monument CM 3. Elevation = 520.31.
- Public Open space lots to be dedicated to the City of Wylie and maintained by the HOA.
- Private Streets to be owned and maintained by the HOA.
- Elevations are based on City of Wylie Monuments
CM 2. Elevation = 550.24
CM 3. Elevation = 520.31
- Minimum finish floor elevations shall be least 2 feet above the SFHA WSE for the 100-year fully developed floodplain.

OWNER'S CERTIFICATION

STATE OF TEXAS :
COUNTY OF COLLIN :

WHEREAS, Serene District Townhomes, LLC, is the owner of a 4.165 acre tract of land situated in the Richard D. Newman Survey, Abstract No. 660, Collin County, Texas and being all of a called 4.165 Acre tract of Land described in deed to Serene District Townhomes LLC, as recorded in Instrument No. 2016-643000 of the Official Property Records of Collin County, Texas (O.P.R.C.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for corner in the existing southeast right-of-way line of State Highway No. 78, in the southwest line of said 4.165 acre tract and marking the northwest corner of Tract 2 of Woodbridge Villas, an addition to the City of Sachse, Collin County, Texas, according to the plat thereof Recorded in Cabinet P, Slide 933 of the Map Records of Collin, County, Texas (M.R.C.C.T.);

THENCE North 51 Degrees 45 Minutes 17 Seconds East, along the northerly line of said 4.165 acre tract and the southeast Right-of-Way line of said State Highway No. 78, a distance of 673.35 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for the northeast corner of said 4.165 acre tract, also being the northwest corner of a called 7.062 acre tract of land described in deed to T. S. Miller, Ltd as recorded in Document No. 99-0001615 of the Deed of Records of Collin County, Texas;

THENCE South 20 Degrees 41 Minutes 57 Seconds East, along the common line between said 4.165 acre tract and said 7.062 acre tract, a distance of 517.58 feet to a 5/8" iron rod with cap stamped "Jones Carter" set in the north line of the Lot 1, Block 8 of Woodbridge Golf Club, an addition to the City of Sachse, Collin County, Texas, according to the plat thereof Recorded in Cabinet L, Slide 246, M.R.C.C.T.;

THENCE North 89 Degrees 24 Minutes 27 Seconds West, along the north line of said Lot 1, Block 8, a distance of 185.63 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner in the north line of said Tract 2 and the south line of said 4.165 acre tract;

THENCE with the north line of said Tract 2 and the south line of the said 4.165 acre tract, the following courses:

North 87 Degrees 12 Minutes 56 Seconds West, 117.57 feet to a 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 88 Degrees 09 Minutes 56 Seconds West 315.06 feet to 5/8" iron rod with cap stamped "Jones Carter" set for corner;

North 62 Degrees 06 Minutes 29 Seconds West 106.20 feet to the **POINT OF BEGINNING** and containing 181,417 square feet or 4.165 acres of land more or less.

APPROVAL BLOCK

"Recommended for Approval"

Chairman, Planning & Zoning Commission Date:
City of Wylie, Texas

"Approved for Construction"

Mayor, City of Wylie, Texas Date:

"Accepted"

Mayor, City of Wylie, Texas Date:

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of Woodbridge Addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easement, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinabove subscribed.

Witness my hand this _____day of _____, A.D., 20____.

City Secretary
City of Wylie, Texas

PRELIMINARY PLAT
OF
DISTRICT TOWNHOMES ADDITION

34 RESIDENTIAL LOTS AND
4 OPEN SPACE LOTS
AN ADDITION TO THE
CITY OF WYLIE, COLLIN COUNTY, TEXAS
BEING 4.165 ACRES
SITUATED IN THE
RICHARD D. NEWMAN SURVEY, ABSTRACT NO. 660
COLLIN COUNTY, TEXAS

APRIL 2020

DEVELOPER / OWNER:
SERENE DISTRICT
TOWNHOMES, LLC
811 S. CENTRAL EXPRESS, SUITE 440
FLORENCE, TEXAS 75044
PHONE: (000) XXX-XXXX

ENGINEER / SURVEYOR:
J.C. JONES | CARTER
Texas Board of Professional Engineers Registration No. F-439
6509 Windcrest Drive, Suite 600 • Plano, Texas 75024
172.668.3300
Texas Board of Professional Land Surveying Registration No. 100461-03
Contact: E. Martinez, E-mail: emartinez@jonescarter.com

JOB No. 16737-0001 BAS/EM DWG No. 1855 SHEET 1 OF 1

EXHIBIT E - Townhomes
ZC 2020-03

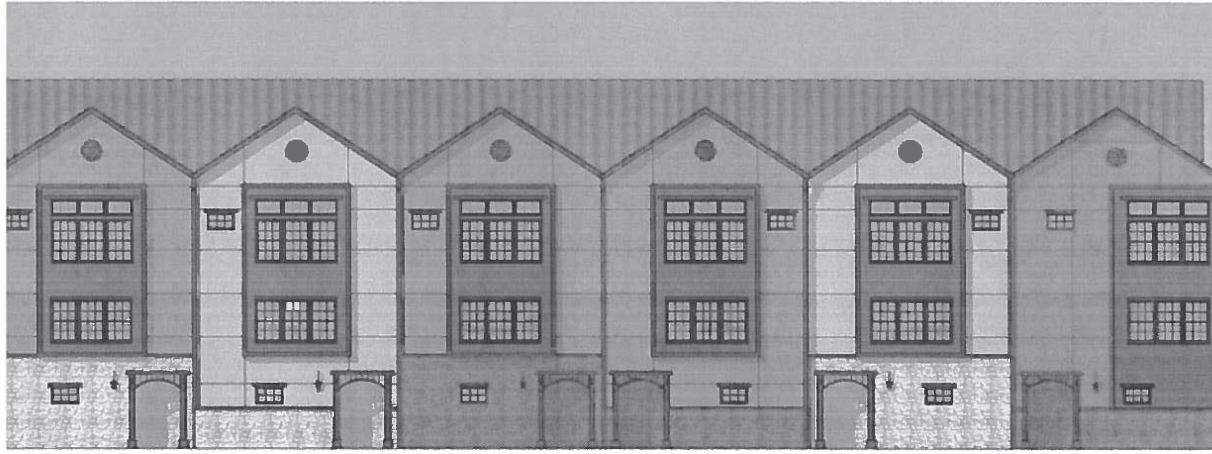
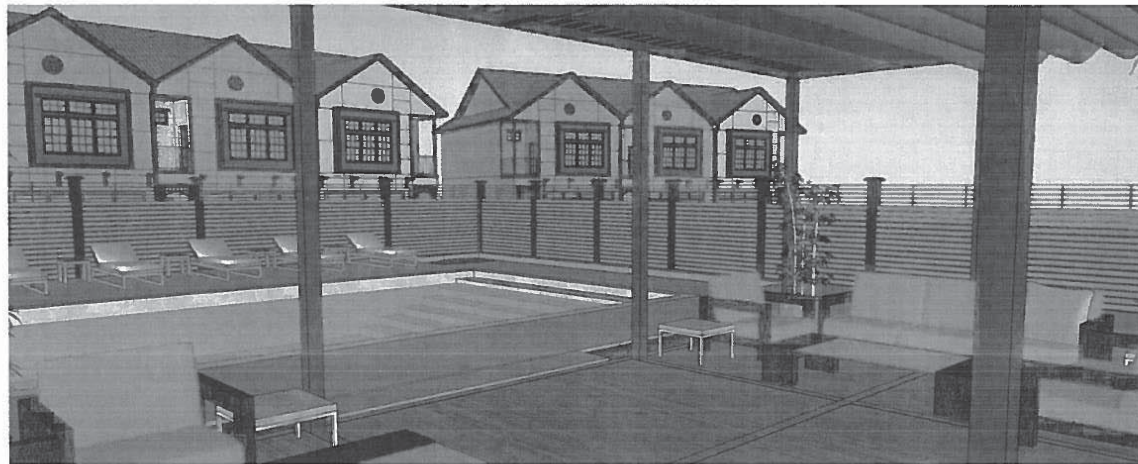


EXHIBIT E

EXHIBIT E - Townhomes



Planned Development District
Development Standards
(Zoning Case 2020-XX)

1.0 Purpose:

The purpose of this Planned Development is to provide the appropriate development standards and controls to allow a residential development on Tract 1 as shown in the included Zoning Exhibits.

Unless expressly stated otherwise within this Planned Development all development shall be subject to all applicable Zoning and City Ordinances and/or design standards.

2.0 Residential Townhome Standards: Unless included herein (Section 2 and 3) or attached zoning exhibit, Tract 1 design standards shall follow the requirements of Article 3, Residential District Regulations, and Figure 3-5 (Townhouse District) of the September 2019 City of Wylie Zoning Ordinance.

Figure 2-1 Tract 1 4.16 Acres Townhomes	
Lot size	Min of 1,495 SF on Rear Entry Units, 1,875 SF on Front Entry
Lot Width	23'
Lot Depth	66'
Corner Lot	15'
Minimum Rear Yard	10'
Minimum Front Yard	11'
Building Articulation	15%, 1 st Floor: 25% Max
Max. Roof Pitch	6:12
Repetition of Floor Plan	14 same sides with color variation
Minimum Dwelling Area	1,403 square feet excludes garage

3.0 Residential Townhome Standards:

3.1 Allowed Uses:

- a. The only allowed uses, as defined in the September 2019 City of Wylie Zoning Ordinance, on Tract 1 are:
 - i. Single Family Dwelling, Attached
 - ii. Community Park (Public)
 - iii. Neighborhood Park or Playground
 - iv. By Special Use Permit – any use required by local, state, or federal law.

3.2 Site Plans and Plats

- a. Upon approval of zoning, the developer will submit a plat for the property in accordance with the City of Wylie's Subdivision Regulations.
- b. A landscape plan shall be provided in conjunction with the preliminary plat. The landscape plan shall require City approval including open space approval by the City of Wylie Park Board.. The plan shall comprehensively address edge treatments, perimeter screening, and individual townhouse landscape design. The Developer shall coordinate with the City on the selection of type, style location, and size of all landscape improvements, including but not limited to plants, trees, mulch, irrigation, and benches.

3.3 Architectural Design Standards Tract 1:

- a. All townhome units in Tract 1 shall have 100 percent of each façade comprised of masonry and shall conform to the exterior design appearance of Exhibit E.
- b. Masonry shall include brick, stone or masonry stucco.
- c. EIFS may be used as an accent material and comprise no more than 15 percent of any façade.
- d. Roofing Materials shall be architectural grade overlap architectural shingles, metal, or composite Spanish roof tile and other roof appearances shall be painted to match the color of the roof.

3.4 The maximum number of townhomes in The District Townhome Community (Tract 1) shall be 34 Townhomes or approximately 8.2 Townhomes per gross acre.

3.5 A masonry and wrought iron perimeter screen shall be provided along the property adjacent to State Highway 78 as generally shown on Exhibit F.

3.6 Entry Features: Architectural features shall be stone, brick, and wrought iron screening wall monuments.

3.7 Signage at Community Entrance: Illuminated community identification shall be incorporated into a stone screening wall or monument at the Community entrance. The sign shall be illuminated by means other than streetlights. Landscaping and upright towers for the Community entrance signage shall be constructed to generally conform to those shown in Exhibit F.

3.8 Sidewalk Locations: Five-foot sidewalks shall be provided within the property. Primary walkway paving shall be enhanced using earth-tone colored concrete (stain mixed, not applied after), stamped/pattern concrete, aggregate or brick/paver stone at a minimum of 7.5 feet every 75 feet.

3.9 Sidewalk Lighting: Decorative street pole lighting shall be provided throughout the Community. The Developer shall pay for the installation including electrical connections. Operation and maintenance shall transfer to the HOA thereafter.

3.10 Mailboxes: Shall be located in a dedicated area as required by the United States Postal Service. Mailboxes shall be of a uniform style selected by the Developer and shall be stylistically consistent with the The District Townhomes Community.

3.11 A minimum of 15% of the land within the District Townhome shall be used as Open Space as shown on Exhibit A.

- a. The swimming pool/grill open space area will be owned and maintained by the homeowners' association (the HOA).
- b. All open spaces within the Community with the exception of the swimming pool area shall be accessible to the public.

3.12 Public open spaces shall be dedicated by plat to the City of Wylie in accordance with City's Subdivision Regulations.

3.13 Maintenance of the Open Space Area:

Maintenance of the open space area will be the responsibility of the Developer until it is turned over to the Homeowners Association (HOA).

Developer will be the contact entity with the City for all concerns regarding the maintenance of open space until 100% of HOA control is turned over to the homeowners.

A. Developer/HOA typical maintenance and responsibilities of amenities include but are not limited to:

- a. Clean up and litter removal.
- b. Landscaping installation, care, and maintenance.
- c. Trimming, clearing, and removal of unwanted vegetation as determined by the City Parks Department or Code Enforcement.
- d. Maintain irrigation system, pay for the water used in the system and test all backflow devices annually as per City requirements.

3.14 Water and sanitary sewer will be extended by the Developer to the site, per the Annexation Services Agreement (City of Wylie Ordinance 2020-17) and to Texas Department of Transportation and/or City of Wylie standards.

3.15 Minimum drive concrete pavement specifications shall be: six (6") inches of concrete, 3,600 psi, with # 3 rebar at 18-inch center to center, except in required fire lanes which shall be built to fire code or city engineering standards.

3.16 Exteriors shall have contrasting colors to achieve an architecturally enhanced appearance. Trim shall be painted one color and a side surface and garage doors shall be painted or stained a second color.

3.17 Roof pitches shall be a maximum of 6:12 for main gables and hips. Dormer roofs and roofs over porches may have a lesser pitch.

3.18 Roofing materials shall be architectural grade overlap architectural shingles, metal, or composite Spanish roof tile and other roof appearances shall match the color of the roof.

3.19 Garage doors shall be carriage style in appearance. This requirement shall be accomplished with the following:

- a. Garage door panels shall be wood clad or have the appearance of wood.
- b. Decorative hardware shall be attached to the garage doors. Such hardware shall include handles and hinges in a complementary color.

3.20 Landscaping: Sodded front yards must be provided with a minimum of one - three-inch caliper trees. Landscaping shall also be provided along the primary walkway to any home. When automated, subsurface irrigation systems are provided, rain sensors shall be installed and operational.

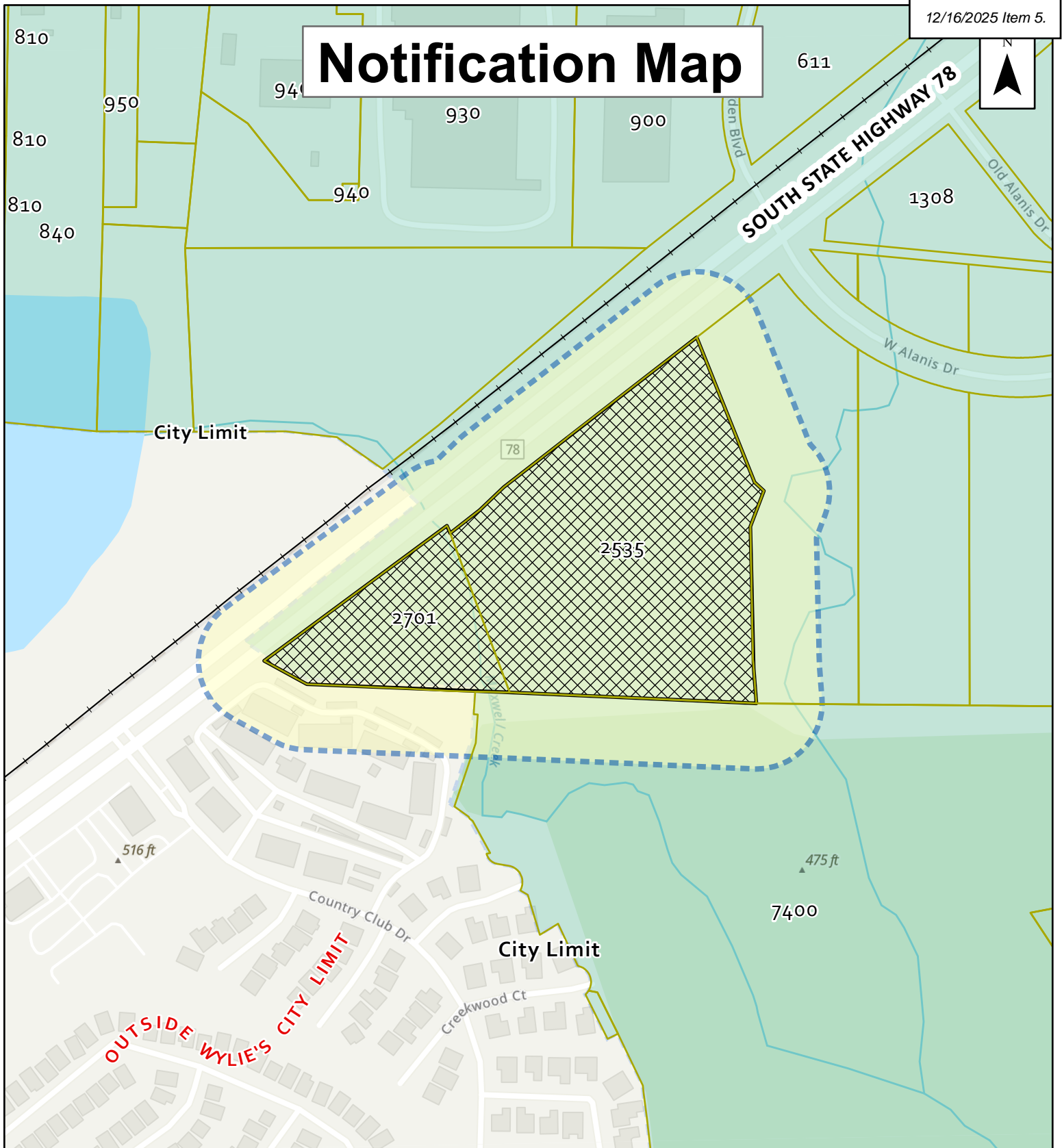
3.21 Energy: All homes shall comply with the then-current ICC Energy Code adopted by the City (including all local amendments).

3.22 Lighting:

- a. Entrances to homes and garage doors shall be illuminated.
- b. Lighted house number plaques shall be provided on the front of all homes.

- c. The color and shape of lighting hardware must be compatible with other building hardware.
- d. Lighting must be uniformly spaced.
- e. Lighting must be integrated with other accents and reveals.
- f. Specialty lighting shall be coordinated with predominate architectural features.
- g. Lighting fixtures along rights-of-way must be spaced to avoid conflicts with tree plantings. The heights of lighting fixtures must also avoid conflicts with tree plantings.

Notification Map



ZONING CASE:

ZC 2025-19 Crestline



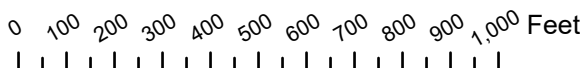
SUBJECT property



Wylie City Limit



200 foot Notification Buffer



Date: 11/20/2025

COMPILED BY: G STAFFORD

