

Wylie Planning and Zoning Commission Regular Meeting

October 15, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of the meeting minutes from the October 1, 2024 Planning and Zoning Commission Meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat for Lot 1, Block A of Wylie I.S.D. School Complex, creating one lot on 47.463 acres, generally located near 1204 Kreymer Lane.

REGULAR AGENDA

- 1. Consider, and act upon, a Site Plan for Lot 1, Block A of Wylie I.S.D. School Complex for the development of an Intermediate and Junior High School on 47.463 acres. Property generally located near 1204 Kreymer Lane.
- 2. Consider, and act upon, a Site Plan for Lot 1, Block B of Premier Industrial Park South for an addition to an existing manufacturing use. Property located at 930 Hensley Lane.
- 3. Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Neighborhood Services (NS) to Townhouse District (TH) on 1.84 acres to allow for single-family attached development. Property located at 701 West Brown Street (ZC 2024-07).

WORK SESSION

RECONVENE INTO REGULAR SESSION

EXECUTIVE SESSION

RECONVENE INTO OPEN SESSION

Take any action as a result from Executive Session.

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on October 11, 2024 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Gabby Fernandez

Subject

Consider, and act upon, approval of the meeting minutes from the October 1, 2024 Planning and Zoning Commission meeting.

Recommendation

Motion to approve Item as presented.

Discussion

The minutes from the October 1, 2024 Planning and Zoning Commission meeting are attached for your consideration.

Wylie Planning and Zoning Commission Regular Meeting

October 01, 2024 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

Chair Joshua Butler called the meeting to order at 6:00pm. In attendance were Chair Joshua Butler, Commissioner Joe Chandler, Vice-Chair Harold Gouge, Commissioner Keith Scruggs, Commissioner Zeb Black, Commissioner Zewege Kagnaw and Commissioner Franklin McMurrian. Staff present were: Community Services Director Jasen Haskins, Development Engineering Manager Than Nguyen and Administrative Assistant Gabby Fernandez.

INVOCATION & PLEDGE OF ALLEGIANCE

Vice-Chair Gouge gave the Invocation and Commissioner Black led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

No one approached the Commissioners on Non-Agenda Items.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, approval of the meeting minutes from the September 17, 2024 Planning and Zoning Commission meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat being a Replat of Lot 1 & 2, Block E of Regency Business Park Addition Phase 2, creating Lot 1R, Block E of Regency Business Park Addition Phase 2 on 0.5291 acres, located at 2812-2814 Exchange Street.

BOARD ACTION

A motion was made by Vice-Chair Gouge, seconded by Commissioner Black, to approve the Consent Agenda as presented. A vote was taken and the motion passed 7 – 0.

REGULAR AGENDA

1. Consider, and act upon, a Site Plan for Lot 1R, Block E of Regency Business Park Addition Phase 2 for the development of a parking lot on 0.5291 acres. Property located at 2812-2814 Exchange Street.

BOARD ACTION

A motion was made by Commissioner Black, seconded by Vice-Chair Gouge to approve Item 1 as presented. A vote was taken and the motion passed 7-0.

2. Consider, and act upon, a Site Plan for Lot 1, Block A of Bufflehead Addition for the development of a battery backup storage use on a total of 8.96 acres. Property located at 3700 Eubanks Lane.

BOARD ACTION

A motion was made by Vice-Chair Gouge, seconded by Commissioner McMurrian to approve Item 1 as presented. A vote was taken and the motion passed 7-0.

ADJOURNMENT

A motion was made by Commissioner Chandler, and seconded by Vice-Chair Gouge, to adjourn the meeting at 6:12 PM. A vote was taken and carried 7 – 0.

Joshua Butler, Chair

ATTEST

Gabby Fernandez, Secretary



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item Number: B

Prepared By: Kevin Molina

Subject

Consider, and act upon a recommendation to City Council regarding a Preliminary Plat for Lot 1, Block A of Wylie I.S.D. School Complex, creating one lot on 47.463 acres, generally located near 1204 Kreymer Lane.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Wylie Independent School District

APPLICANT: RLK Engineering

The applicant has submitted a Preliminary Plat for Lot 1, Block A of Wylie I.S.D. School Complex containing 47.463 acres zoned Agricultural (AG/30) located near 1204 Kreymer Lane. The purpose for the plat is to create one lot and establish fire lane, access & utility easements for the development of an Intermediate and Junior High school campus. The proposed use is allowed by right with the current zoning.

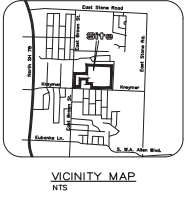
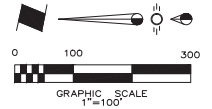
The site plans for the campus are on the regular agenda.

The preliminary plat contains two access easements from Kreymer Lane, two access easements from Mossy Oak Lane and one access easement from East Brown Street. The drives are designed in a manner to allow for vehicle parking and facilitate stacking during dropoff and pick up hours.

The plat dedicates the necessary utility easements for both the City of Wylie and for the East Fork Special Utility district.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



	Inner	Outer	Inner	Outer
1	A=90°00'00" R=28.00 T=28.00° L=5.98	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32
2	A=90°00'00" R=28.00 T=28.00° L=5.98	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32
3	A=115°15'11" R=45.00 T=10.05° L=11.99	A=115°15'11" R=75.00 T=10.05° L=19.98	A=115°15'11" R=75.00 T=10.05° L=19.98	A=115°15'11" R=75.00 T=10.05° L=19.98
4	A=120°00'32" R=45.00 T=10.05° L=11.99	A=120°00'32" R=75.00 T=10.05° L=19.98	A=120°00'32" R=75.00 T=10.05° L=19.98	A=120°00'32" R=75.00 T=10.05° L=19.98
5	A=150°04'42" R=45.00 T=10.05° L=11.99	A=150°04'42" R=75.00 T=10.05° L=19.98	A=150°04'42" R=75.00 T=10.05° L=19.98	A=150°04'42" R=75.00 T=10.05° L=19.98
6	A=90°00'00" R=28.00 T=28.00° L=5.98	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32
7	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32
8	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32
9	A=115°15'11" R=45.00 T=10.05° L=11.99	A=115°15'11" R=75.00 T=10.05° L=19.98	A=115°15'11" R=75.00 T=10.05° L=19.98	A=115°15'11" R=75.00 T=10.05° L=19.98
10	A=120°00'32" R=45.00 T=10.05° L=11.99	A=120°00'32" R=75.00 T=10.05° L=19.98	A=120°00'32" R=75.00 T=10.05° L=19.98	A=120°00'32" R=75.00 T=10.05° L=19.98
11	A=150°04'42" R=45.00 T=10.05° L=11.99	A=150°04'42" R=75.00 T=10.05° L=19.98	A=150°04'42" R=75.00 T=10.05° L=19.98	A=150°04'42" R=75.00 T=10.05° L=19.98
12	A=90°00'00" R=28.00 T=28.00° L=5.98	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32	A=45°00'00" R=50.00 T=22.78° L=4.32

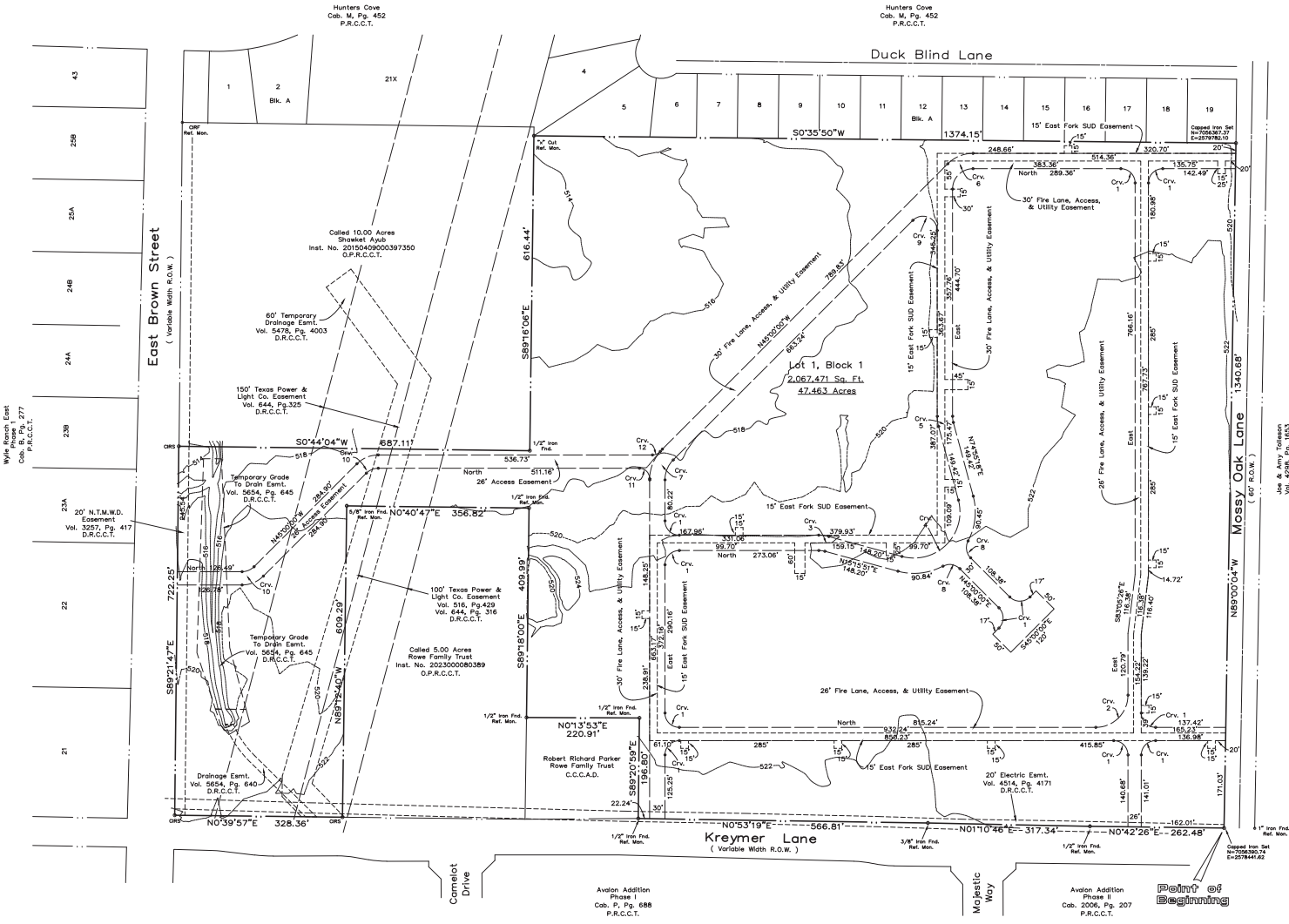
"PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY"
SHEET 1 OF 2
PRELIMINARY PLAT

**WYLIE I.S.D.
SCHOOL COMPLEX**
LOT 1, BLOCK A
47.463 Acres Situated In The
FRANCISCO DE LA PINA SURVEY ~ ABST. 668
WYLIE, COLLIN COUNTY, TEXAS

Owner
Wylie Independent School District
951 South Ballard Avenue
Wylie, Texas 75098
Telephone 972 429-3000

Engineer
RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor
Surdukan Surveying, Inc.
PO Box 126
Anna, Texas 75409
Telephone 972 924-8200
Job No. 2023-135
October 7, 2024



NOTE:
No appearance between the height of 2' and 9'
may be placed in the visibility triangles.

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF COLLIN

WHEREAS, the Wylie Independent School District is the owner of a tract of land situated in the Francisco De La Pina Survey, Abstract No. 688 in the City of Wylie, Collin County, Texas, being all of Tract A, a called 4,601 acre tract of land and part of Tract B, a called 44,711 acre tract of land both tracts being described in a Special Warranty Deed conveyed to Wylie Independent School District as recorded in Volume 6070, Page 4102 of the Deed Records of Collin County, Texas and being more particularly described in metes and bounds as follows:

BEGINNING at the northeast Right-of-Way (ROW) intersection of Kreymer Lane and Mossy Oak Lane at a 1/2" iron rod with plastic cap stamped "4613" set in the west line of said Tract B for the POINT OF BEGINNING;

THENCE N00°42'26"E, with the east ROW line of Kreymer Lane for a distance of 262.48 feet to a 1/2" iron rod found for corner;

THENCE N01°10'46"E, continuing with the east ROW line of Kreymer Lane for a distance of 317.34 feet to a 3/8" iron rod found for corner;

THENCE N00°53'19"E, continuing with the east ROW line of Kreymer Lane for a distance of 566.81 feet to a 1/2" iron rod found for corner;

THENCE S89°20'59"E, a distance of 196.80 feet to a 1/2" iron rod found for corner;

THENCE N00°13'53"E, a distance of 220.91 feet to a 1/2" iron rod found for the westernmost northwest corner of said Tract B and said iron rod found being in the south line of a called 5,000 acre tract of land conveyed to the Rowe Family Trust as recorded in instrument No. 202300080389 of the Official Public Records of Collin County, Texas;

THENCE S89°16'00"E, with the south line of the called 5,000 acre tract of land for a distance of 409.99 feet to a 1/2" iron rod found for the southeast corner of the called 5,000 acre tract of land;

THENCE N00°40'47"E, with the east line of the called 5,000 acre tract of land for a distance of 356.82 feet to a 5/8" iron rod found for the northeast corner of the called 5,000 acre tract of land and said iron rod being the southeast corner of said Tract A;

THENCE N89°12'40"W, with the south line of said Tract A and the north line of the called 5,000 acre tract of land for a distance of 609.29 feet to a 1/2" iron rod with plastic cap stamped "4613" set in the east ROW line of Kreymer Lane;

THENCE N00°39'57"E, with the east ROW line of Kreymer Lane for a distance of 328.36 feet to a 1/2" iron rod with plastic cap stamped "4613" set in the south ROW line of Brown Street for the northeast corner of said Tract A;

THENCE S89°21'47"E, with the south ROW line of Brown Street for a distance of 722.25 feet to a 1/2" iron rod with plastic cap stamped "4613" set for the northernmost northeast corner of said Tract B and the northwest corner of a called 10,000 acre tract of land conveyed to Shawket Ayub as recorded in Instrument No. 20150409000397350 of the Official Public Records of Collin County, Texas;

THENCE S00°44'04"W, with the west line of the called 10,000 acre tract of land for a distance of 687.11 feet to a 1/2" iron rod found for the southwest corner of the called 10,000 acre tract of land;

THENCE S89°16'06"E, a distance of 616.44 feet to an "x" cut found for the eastern most northeast corner of the said Tract B and said "x" cut being in the west line of Block A of Hunter's Cove, an addition to the City of Wylie as shown on the plat thereof recorded in Cabinet M, Page 452 of the Plat Records of Collin County, Texas;

THENCE S00°35'50"W, with the west line of said Block A of Hunter's Cove for a distance of 1374.15 feet to a 1/2" iron rod with plastic cap stamped "4613" set in the north ROW line of Mossy Oak Lane at the southwest corner of Lot 19 of said Block A of Hunter's Cove;

THENCE N89°00'04"W, the north ROW line of Mossy Oak Lane a distance of 1340.68 feet to the POINT OF BEGINNING and CONTAINING 2,067,471 square feet, or 47.463 acres of land.

BASIS OF BEARINGS:

Bearings, are derived from ALLTERRA CENTRAL RTK Network, Texas State CENTRAL RTK Network, Texas State Plane Coordinates Epoch 2002.0.

NOTES:

Selling a portion of this addition by metes and bounds is a violation of City ordinance and State law, and is subject to fines and withholding of utilities and building permits.
All easements are recorded in Cabinet 2010, Page 247 unless noted otherwise.

According to Flood Insurance Rate Map No. 48085C0420J, dated June 2, 2009, prepared by the Federal Emergency Management Agency (FEMA) for Collin County, Texas, this property is within Zone X.

Appurtenance between the height of 2ft and 9ft may not be placed in the visibility triangles

Onsite stormwater detention basin shall be maintained by the property owner.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That the Wylie Independent School District, acting herein by and through its duly authorized officers, does hereby adopt this plat designating the herein above described property as Wylie I.S.D. School Complex, Lot 1, Block A, an addition to the City of Wylie, Texas, and does hereby dedicate, in fee simple, to the public use forever, the streets, rights of way, and other public improvements shown thereon. The streets and alleys, if any, are dedicated for street purposes. The easements and public use areas, as shown, are dedicated for the public use forever, for the purposes indicated on this plat. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements, if approved by the City Council of the City of Wylie. In addition, utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Wylie's use thereof. The City of Wylie and public utility entities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easements. The City of Wylie and public utility entities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time of procuring permission from anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS my hand, this _____ day of _____, 2024.

Wylie Independent School District
Name:
Title:

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office this _____ day of _____, 2024.

Notary Public in and for
the State of Texas

SURVEYOR'S CERTIFICATE
KNOW ALL MEN BY THESE PRESENTS:

That I, David J. Surdukan, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon as set were properly placed under my personal supervision in accordance with the Subdivision Ordinance of the City of Wylie.

David J. Surdukan
Registration No. 4613

STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared David J. Surdukan, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this _____ day of _____, 2024.

Notary Public in and for
the State of Texas

APPROVAL BLOCK

"RECOMMENDED FOR APPROVAL"

Chairman, Planning & Zoning Commission Date
City of Wylie, Texas

"APPROVED FOR CONSTRUCTION"

Mayor, City of Wylie, Texas Date

"ACCEPTED"

Mayor, City of Wylie, Texas Date

"The undersigned, the City Secretary of the City of Wylie, Texas hereby certifies that the foregoing Final Plat of Wylie I.S.D. School Complex, an addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 2024, and the Council, by formal action then and there accepted the dedication of right-of-ways, streets, easements and alleys, as shown and set forth in and upon said Plat, and said Council further authorized the mayor to note the acceptance thereof by signing his name as hereinabove subscribed."

Witness my hand this _____ day of _____, A.D., 2024.

City Secretary
City of Wylie

"PRELIMINARY PLAT FOR REVIEW PURPOSES ONLY"

SHEET 2 OF 2
PRELIMINARY PLAT

WYLIE I.S.D.
SCHOOL COMPLEX
LOT 1, BLOCK A
47.463 Acres Situated In The
FRANCISCO DE LA PINA SURVEY ~ ABST. 688
WYLIE, COLLIN COUNTY, TEXAS

Owner

Wylie Independent School District
951 South Ballard Avenue
Wylie, Texas 75098
Telephone 972 429-3000

Engineer

RLK Engineering, Inc.
Texas Registration No. 579
111 West Main Street
Allen, Texas 75013
Telephone 972 359-1733

Surveyor

Surdukan Surveying, Inc.
PO Box 126
Anna, Texas 75409
Telephone 972 924-8200
Job No. 2023-135
October 7, 2024



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 1

Subject

Consider, and act upon, a Site Plan for Lot 1, Block A of Wylie I.S.D. School Complex for the development of an Intermediate and Junior High School on 47.463 acres. Property generally located near 1204 Kreymer Lane.

Recommendation

Motion to approve as presented.

Discussion

OWNER: Wylie Independent School District

APPLICANT: RLK Engineering & PBK Architects

The applicant is proposing to develop an Intermediate school that measures 138,048 sq.ft, a Junior High School that measures 165,875 sq.ft. for the Wylie Independent School District to be located on Lot 1, Block A of Wylie I.S.D School Complex on 47.463 acres, generally located near 1204 Kreymer Lane. The property is zoned Agricultural (AG/30) and allows for the proposed use by-right.

The Preliminary Plat for this development is on the consent agenda.

The development is providing 481 parking spaces with 16 being ADA accessible. The site contains fire lane access & utility easements with driveway entrances from Kreymer Lane, Mossy Oak Lane and East Brown Street.

The drive aisle is configured in a manner that allows for vehicle stacking for school services and activities. The construction of sidewalks shall be required along Kreymer Lane and Mossy Oak Lane. There is an existing sidewalk along East Brown Street.

The site provides 51.5% of landscaped area with landscaping along Kreymer Lane, Mossy Oak Lane and the parking areas. A football field with a walking track and four tennis courts are also being proposed with this site plan review.

The proposed exterior material consists of brick, stone, metal and wood. The entrances are enhanced with columns that brace an aluminum canopy. The max height of the structure is 38'9" and allows for two story structures. The structure shall be required to be sprinkled.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



ARCHITECT	P3K Architects, Inc.
OWNER	Wylie Independent School District
PROJECT NUMBER	240112
DATE	10/15/2024
PROJECT NAME	INTERMEDIATE AND JUNIOR HIGH SCHOOL
PROJECT ADDRESS	1401 Dallas Parkway, Suite 400 Dallas, TX 75245
PROJECT PHONE	972-355-1071 F 972-355-1065
PROJECT FAX	
PROJECT EMAIL	
PROJECT WEBSITE	
PROJECT SOCIAL MEDIA	
PROJECT NOTES	
PROJECT COMMENTS	

INTERMEDIATE AND JUNIOR HIGH SCHOOL

PLANNING AND ZONING

WYLE, TX 75068



KEY PLAN

INTERIM NOTIFICATION

Daniel Stuart Berger
Architectural Registration No. 28370

These documents are incomplete and are for interim review only, and may not be used for regulatory approval, permit, or construction.

CLIENT		
Wylie Independent School District		
DATE	PROJECT NUMBER	
2024/09/16	240112	
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: Checker
DRAWN BY: Author

ARCHITECTURAL SITE PLAN - AREA SOUTH

AS100

11

GENERAL ARCH SITE PLAN

1. REFER TO CIVIL DOCUMENTS.
2. COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL, LANDSCAPE, AND/OR STRUCTURAL DOCUMENTS.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 1% MINIMUM 2% MAXIMUM AT ALL EXTERIOR PAVED/POSSIBLE AREAS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, PATIOS, STAIRS, PAVING, ETC.
4. PROVIDE AND INSTALL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 1% FOR A HORIZONTAL DISTANCE OF 10 FEET AT ALL EXTERIOR NON-PAVED AREAS U.N.D.
5. REFER TO CIVIL DOCUMENTS FOR CONCRETE SIDEWALK EXPANSION JOINTS AND CONCRETE SIDEWALK CONTROL JOINTS.
6. VERIFY AND CORRECT ALL JOINT LAYOUTS AT ALL CONCRETE SIDEWALKS WITH ARCHITECT PRIOR TO POURING OF CONCRETE.
7. PROVIDE AND INSTALL CONCRETE SIDEWALK EXPANSION JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT 30 FEET ON CENTER MAX. U.N.D.
8. PROVIDE AND INSTALL CONCRETE SIDEWALK CONTROL JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT DISTANCES EQUIVALENT TO SIDEWALK WIDTH, BUT NOT TO EXCEED 10 FEET ON CENTER MAX.
9. VERIFY ALL SITE SIGNAGE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION OF SITE SIGNAGE.

PARKING COUNT		
PARKING TYPE	PARKING REQUIRED	PARKING ACTUAL
Handicap	6	16
Standard	348	461
Total	354	461

PARKING REQUIREMENTS
 1. PARKING SPACES - EACH INTERMEDIATE SCHOOL CLASSROOM (40 CLASSROOMS)
 7 PARKING SPACES - EACH JUNIOR HIGH SCHOOL CLASSROOM (42)

TOTAL REQUIRED: 354

ACCESSIBLE PARKING SPACES, PER TABLE 208.2

401 - 500 REQUIRES A MINIMUM NUMBER OF 8 ACCESSIBLE SPACES 2 OF THE 8 TO BE VAN

KEYNOTE LEGEND

NUMBER DESCRIPTION

GATE SCHEDULE

MARK	W	H	MTL	HARDWARE	REMARKS
P101	30'-0"	6'-0"	MM - CHARLES		MANUAL LOCK
P102	30'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
MD101	12'-0"	7'-0"	MM - CHARLES	003	MANUAL OPERATION
MD102	12'-0"	7'-0"	MM - CHARLES	003	MANUAL OPERATION
MD103	12'-0"	7'-0"	MM - CHARLES	003	MANUAL OPERATION
MD104	12'-0"	7'-0"	MM - CHARLES	003	MANUAL OPERATION
P105	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P106	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P107	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P108	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P109	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P110	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P111	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P112	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P113	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P114	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P115	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P116	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P117	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P118	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P119	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P120	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P121	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P122	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P123	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P124	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P125	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P126	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P127	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P128	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P129	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P130	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P131	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P132	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P133	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P134	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P135	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P136	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P137	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P138	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P139	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P140	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P141	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
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P144	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
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P146	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P147	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P148	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P149	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P150	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P151	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P152	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P153	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P154	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P155	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
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P158	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P159	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P160	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P161	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P162	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
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P164	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P165	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P166	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P167	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P168	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P169	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P170	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P171	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P172	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P173	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P174	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P175	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P176	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P177	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P178	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P179	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P180	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P181	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P182	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
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P184	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P185	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P186	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P187	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P188	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P189	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P190	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P191	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P192	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P193	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P194	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P195	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P196	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P197	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P198	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P199	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE
P200	3'-0"	6'-0"	MM - CHARLES		MANUAL OPERATION, PANIC HARDWARE

ARCH SITE PLAN LEGEND

CONCRETE	PROPOSED TREE RE: LANDSCAPE
COMMUNITY TORNADO SHELTER	LIGHT POLE
NEW BUILDING	PROPERTY LINE
HYDRO MULCH	CHAIN LINK FENCE
GRASS	ORNAMENTAL FENCE
SYNTHETIC TURF	FIRE LANE
	FLAG POLE
	FIRE HYDRANT
	MUSCO STADIUM LIGHTS

06 ARCHITECTURAL SITE PLAN

1" = 60'-0"



ARCHITECT	OWNER
P3K Architects, Inc. 1401 Dallas Parkway, Suite 400 Dallas, TX 75246 972-255-1071 F 972-255-1065	Wylie Independent School District 20040816 200412

DATE	DESCRIPTION
10/15/2024	10/15/2024
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10/15/2024	10/15/2024
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10/15/2024	10/15/2024

GENERAL ARCH SITE PLAN

1. REFER TO CIVIL DOCUMENTS.
2. COORDINATE ALL SPOT ELEVATIONS AND DIMENSIONS WITH CIVIL, LANDSCAPE, AND/OR STRUCTURAL DOCUMENTS.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 1% MINIMUM 2% MAXIMUM AT ALL EXTERIOR PAVED/POSSIBLY AREAS, INCLUDING BUT NOT LIMITED TO SIDEWALKS, PATIOS, STAIRS, PARKING, ETC.
4. PROVIDE AND INSTALL POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS OF 5% FOR A HORIZONTAL DISTANCE OF 10 FEET AT ALL EXTERIOR NON-PAVED AREAS U.N.O.
5. REFER TO CIVIL DOCUMENTS FOR CONCRETE SIDEWALK EXPANSION JOINTS AND CONCRETE SIDEWALK CONTROL JOINTS.
6. VERIFY AND CORRECT ALL JOINT LAYOUTS AT ALL CONCRETE SIDEWALKS WITH ARCHITECT PRIOR TO POURING OF CONCRETE.
7. PROVIDE AND INSTALL CONCRETE SIDEWALK EXPANSION JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT 8 FEET ON-CENTER MAX. U.N.O.
8. PROVIDE AND INSTALL CONCRETE SIDEWALK CONTROL JOINTS AT AREAS NOT SPECIFICALLY INDICATED AT DISTANCES EQUIVALENT TO SIDEWALK WIDTH, BUT NOT TO EXCEED 10 FEET ON-CENTER MAX.
9. VERIFY ALL SITE SIGNAGE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION OF SITE SIGNAGE.

PARKING TYPE	PARKING REQUIRED	PARKING ACTUAL
Handicap	6	16
Standard	2	5
Total	840	481

PARKING REQUIREMENTS:
1-5 PARKING SPACE - EACH INTERMEDIATE SCHOOL CLASSROOM (40 CLASSROOMS)
7 PARKING SPACE - EACH JUNIOR HIGH SCHOOL CLASSROOM (42)

TOTAL REQUIRED: 364
ACCESSIBLE PARKING SPACES, PER TAB. 208.2
401 - 500 REQUIRES A MINIMUM NUMBER OF 8 ACCESSIBLE SPACES 2 OF THE 8 TO BE VAN

KEYNOTE LEGEND

NUMBER	DESCRIPTION
--------	-------------

GATE SCHEDULE

MARK	W	H	MTL	HARDWARE SET	REMARKS
F101	20'-0"	8'-0"	Metal - Charcoal	SET	BRICK LOCK
F102	20'-0"	8'-0"	Metal - Charcoal	SET	MANUAL OPERATION, PANIC HARDWARE
M101	12'-0"	7'-0"	Metal - Charcoal	003	MANUAL OPERATION
M102	12'-0"	7'-0"	Metal - Charcoal	003	MANUAL OPERATION
M103	12'-0"	7'-0"	Metal - Charcoal	003	MANUAL OPERATION
M104	12'-0"	7'-0"	Metal - Charcoal	003	MANUAL OPERATION
P101	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P102	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P103	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P104	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P105	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P106	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P107	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P108	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P109	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P110	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P111	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P112	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P113	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P114	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P115	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P116	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P117	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P118	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P119	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE
P120	8'-0"	8'-0"	Metal - Charcoal	003	MANUAL OPERATION, PANIC HARDWARE

ARCH SITE PLAN LEGEND

	CONCRETE		PROPOSED TREE RE: LANDSCAPE
	COMMUNITY TORNADO SHELTER		LIGHT POLE
	NEW BUILDING		PROPERTY LINE
	HYDRO MULCH		CHAIN LINK FENCE
	GRASS		ORNAMENTAL FENCE
	SYNTHETIC TURF		FIRE LANE
	FLAG POLE		FIRE HYDRANT
	MUSCO STADIUM LIGHTS		

EAST BROWN STREET

KREYMER LANE

SINGLE FAMILY RESIDENTIAL

06 ARCHITECTURAL SITE PLAN - NORTH
1" = 60'-0"



WYLIE NEW INTERMEDIATE AND JUNIOR HIGH SCHOOL SITE PLAN

PLANNING AND ZONING



KEY PLAN

NORTH

PLAN

TREE

Interim review documents. Not for regulatory approval, permitting or construction.
Jeremy D. Blad
Texas RLA No. 2734

CLIENT		
Wylie Independent School District		
DATE		PROJECT NUMBER
2024/09/16		240112
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: JB
DRAWN BY: RS

LANDSCAPE PLAN

LP 1.01

PLANT SYMBOL LEGEND

TREES

- CEDEAR ELM
- LIVE OAK
- RED OAK
- ELDIABICA PINE
- AUTUMN BLAZE MAPLE
- DRAME ELM
- CHASTE TREE
- BURGUNDY HEARTS REDBUD

SCREEN SHRUBS

- DWARF YAUPOIN HOLLY

SMALL PERENNIALS / G.C. / VINES

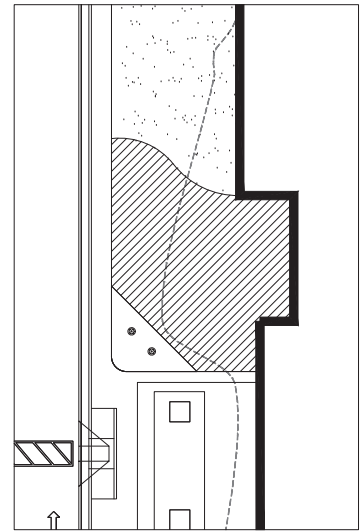
- PROPOSED BED

TURF

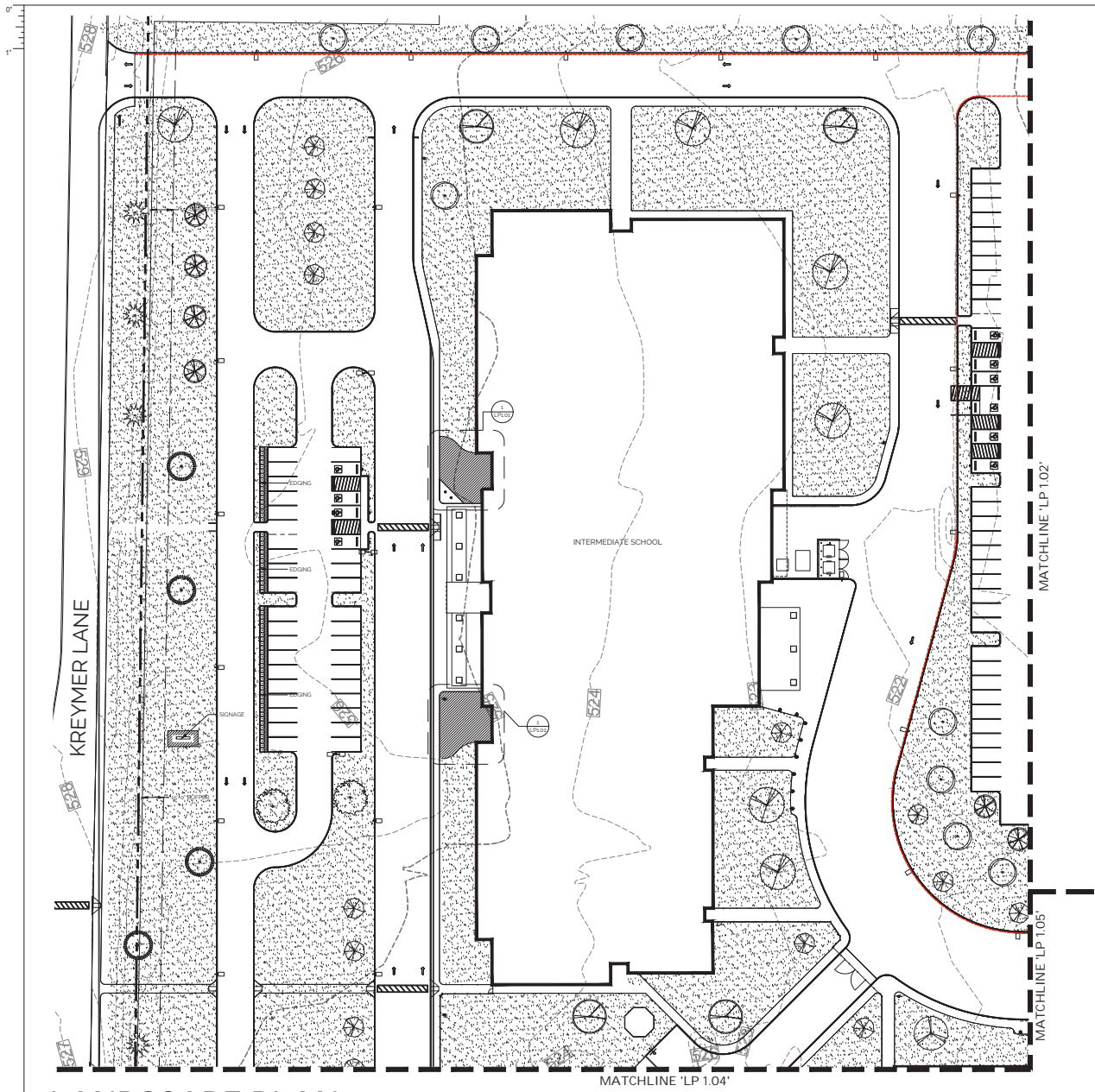
- BERMUDA SOD

OTHER

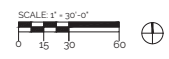
- DECOMPOSED GRANITE
- STEEL EDGE



1 PLANTER AREA ENLARGEMENT
1"=10'-0"



LANDSCAPE PLAN





ARCHITECT
PBR ARCHITECTS, INC.
DALLAS
14001 Dallas Parkway, Suite 400
Dallas, TX 75240
972-233-1275
972-233-1373 F
13.7 Miles SW 1908

WYLIE NEW INTERMEDIATE AND JUNIOR HIGH
SCHOOL SITE PLAN

PLANNING AND ZONING



KEY PLAN
NORTH PLAN TREE

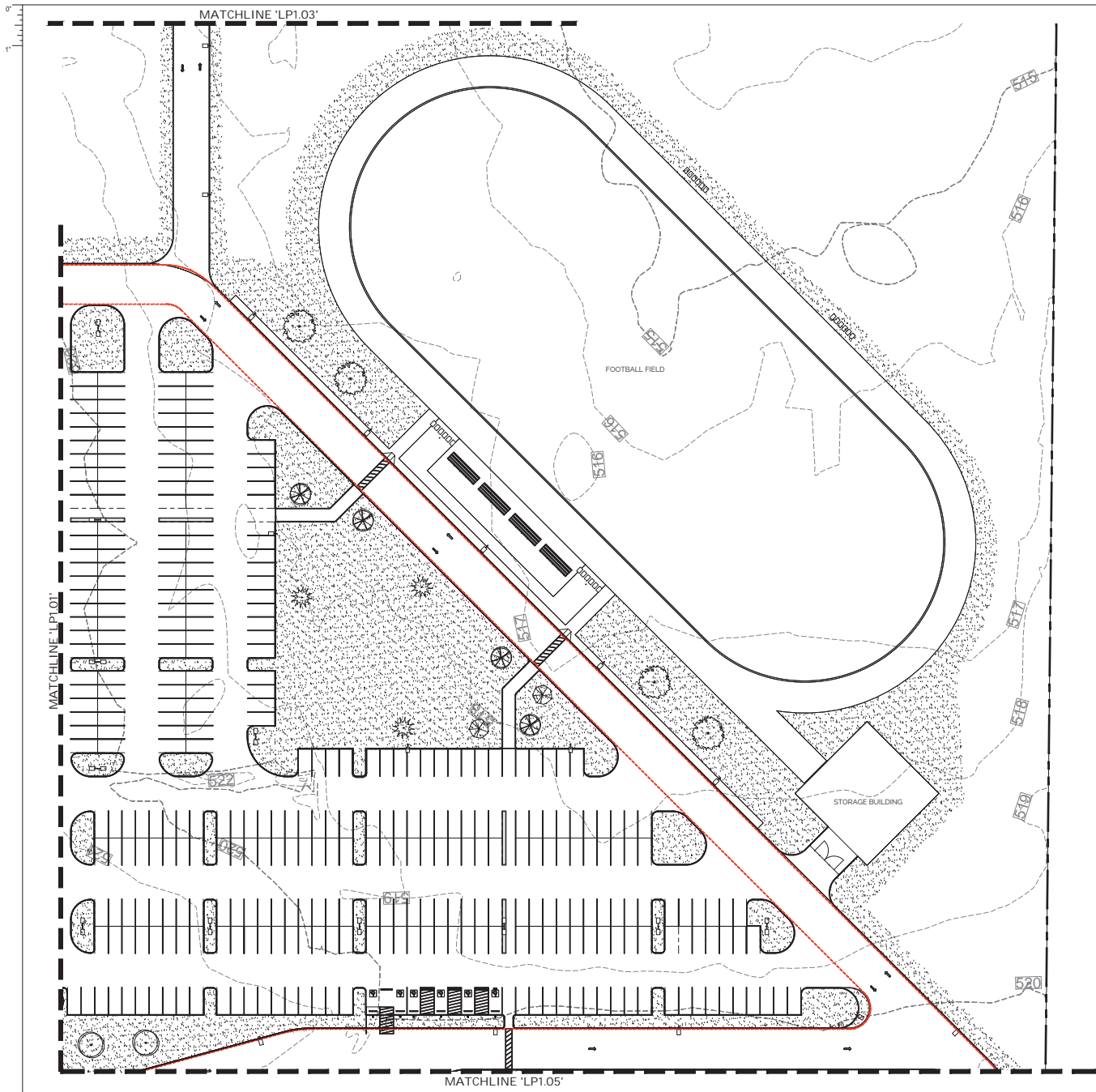
Interim review documents. Not for
regulatory approval, permitting or
construction.
Jeremy D. Blad
Texas RLA No. 2734

CLIENT		
Wylie Independent School District		
DATE	PROJECT NUMBER	
2024/09/16	240112	
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: JB
DRAWN BY: RS

LANDSCAPE PLAN

LP 1.02



- PLANT SYMBOL LEGEND
- TREES

 - CEDEAR ELM
 - LIVE OAK
 - RED OAK
 - ELDIABICA PINE
 - AUTUMN BLAZE MAPLE
 - DRAME ELM
 - CHASTE TREE
 - BURGUNDY HEARTS REDBUD
- SCREEN SHRUBS

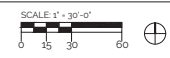
 - DWARF YAUPOIN HOLLY
- SMALL PERENNIALS / G.C. / VINES

 - PROPOSED BED
- TURF

 - BERMUDA SOD
- OTHER

 - DECOMPOSED GRANITE
 - STEEL EDGE

LANDSCAPE PLAN





ARCHITECT
PBR ARCHITECTS, INC.
DALLAS
14001 Dallas Parkway, Suite 400
Dallas, TX 75240
972-253-1270
972-253-1273 F
13.7 Mile, RR 1606

WYLIE NEW INTERMEDIATE AND JUNIOR HIGH
SCHOOL SITE PLAN

PLANNING AND ZONING



KEY PLAN
NORTH PLAN TREE

Interim review documents. Not for
regulatory approval, permitting or
construction.
Jeremy D. Blad
Texas RLA No. 2734

CLIENT		
Wylie Independent School District		
DATE	PROJECT NUMBER	
2024/09/16	240112	
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: JB
DRAWN BY: RS

LANDSCAPE PLAN

LP 1.03

PLANT SYMBOL LEGEND

TREES

- CEEDAR ELM
- LIVE OAK
- RED OAK
- ELDIARICA PINE
- AUTUMN BLAZE MAPLE
- DRAME ELM
- CHASTE TREE
- BURGUNDY HEARTS REDBUD

SCREEN SHRUBS

- DWARF YAUPOIN HOLLY

SMALL PERENNIALS / G.C. / VINES

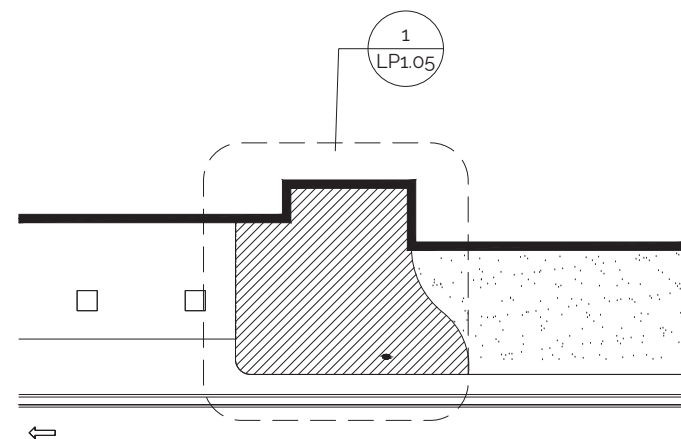
- PROPOSED BED

TURF

- BERMUDA SOD

OTHER

- DECOMPOSED GRANITE
- STEEL EDGE



1 PLANTER AREA ENLARGEMENTS
1'-0" = 4'-0"

LANDSCAPE PLAN

SCALE: 1" = 40'-0"



MATCHLINE 'LP1.01'

MATCHLINE 'THIS SHEET'

MATCHLINE 'THIS SHEET'



ARCHITECT
PBR ARCHITECT, INC.
DALLAS
14001 Dallas Parkway, Suite 400
Dallas, TX 75240
972-253-1270
972-253-1273 F
13.7 Mile, RR 1608

WYLIE NEW INTERMEDIATE AND JUNIOR HIGH
SCHOOL SITE PLAN

PLANNING AND ZONING



KEY PLAN
NORTH PLAN TREE

Interim review documents. Not for
regulatory approval, permitting or
construction.
Jeremy D. Blad
Texas RLA No. 2734

CLIENT		
Wylie Independent School District		
PROJECT NUMBER		
240112		
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: JB

DRAWN BY: RS

LANDSCAPE PLAN

LP 1.04

PLANT SYMBOL LEGEND

TREES

- CEADAR ELM
- LIVE OAK
- RED OAK
- ELDIARICA PINE
- AUTUMN BLAZE MAPLE
- DRAME ELM
- CHASTE TREE
- BURGUNDY HEARTS REDBUD

SCREEN SHRUBS

- DWARF YAUPOON HOLLY

SMALL PERENNIALS / G.C. / VINES

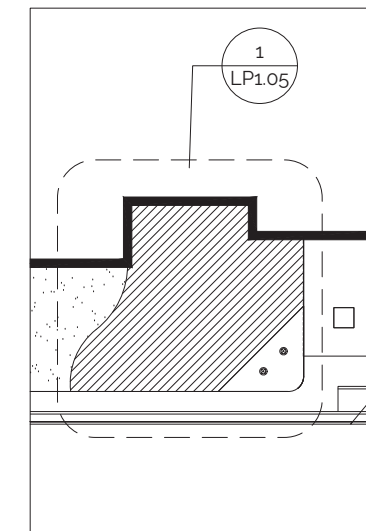
- PROPOSED BED

TURF

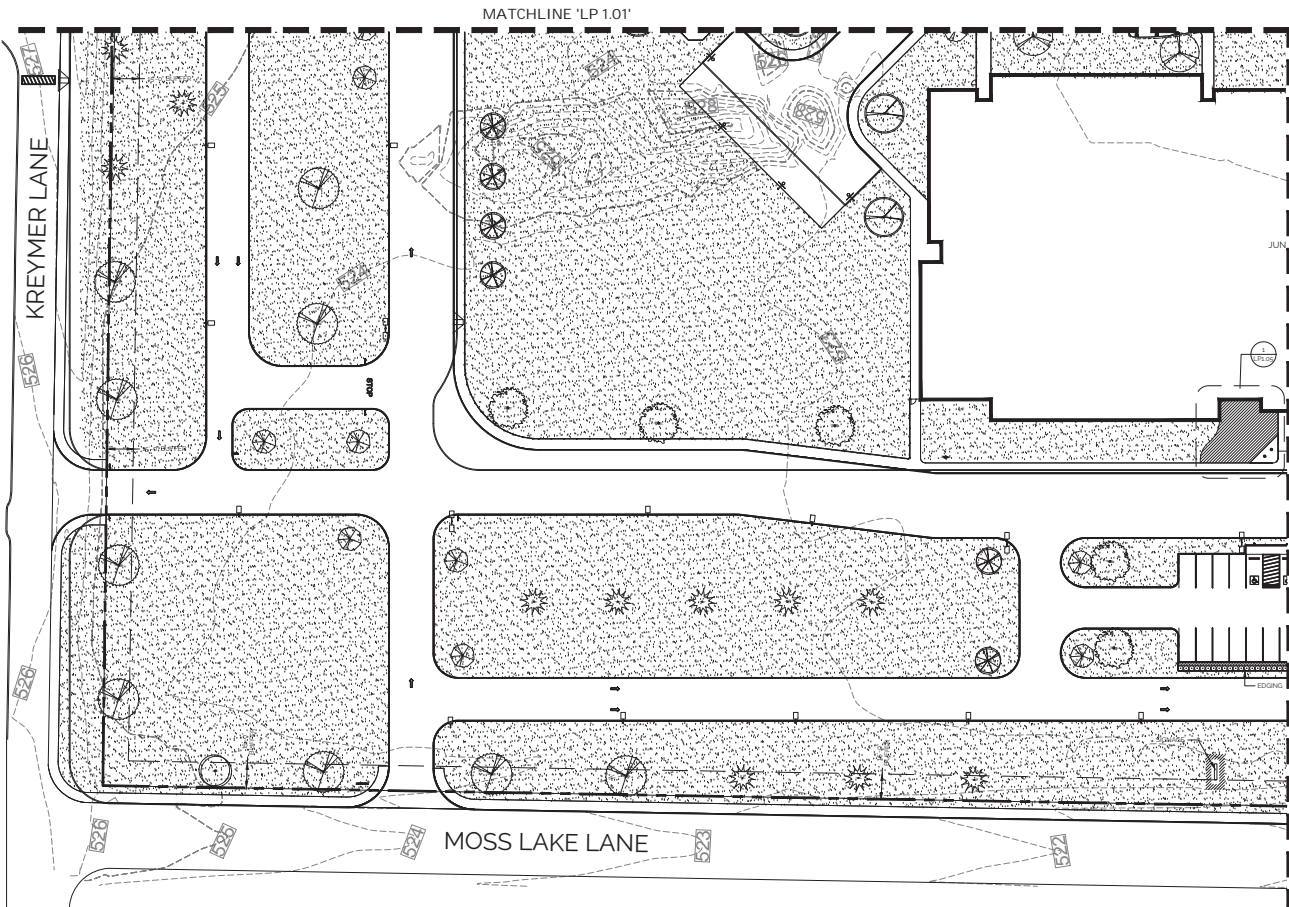
- BERMUDA SOD

OTHER

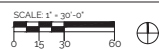
- DECOMPOSED GRANITE
- STEEL EDGE



1 PLANTER AREA ENLARGEMENT
1"=10'-0"



LANDSCAPE PLAN





ARCHITECT PBR ARCHITECTS, INC.
DALLAS
14001 Dallas Parkway, Suite 400
Dallas, TX 75240
972-253-1234
972-253-1373 F
13.7 Mile, RR 1608

WYLIE NEW INTERMEDIATE AND JUNIOR HIGH
SCHOOL SITE PLAN

PLANNING AND ZONING



KEY PLAN
NORTH PLAN TREE

Interim review documents. Not for
regulatory approval, permitting or
construction.
Jeremy D. Blad
Texas RLA No. 2734

CLIENT		
Wylie Independent School District		
DATE	PROJECT NUMBER	
2024/09/16	240112	
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: JB
DRAWN BY: RS

LANDSCAPE PLAN

LP 1.05

PLANT SYMBOL LEGEND

TREES

- CEDEAR ELM
- LIVE OAK
- RED OAK
- ELDIARICA PINE
- AUTUMN BLAZE MAPLE
- DRABE ELM
- CHASTE TREE
- BURGUNDY HEARTS REDBUD

SCREEN SHRUBS

- DWARF YAUPOON HOLLY

SMALL PERENNIALS / G.C. / VINES

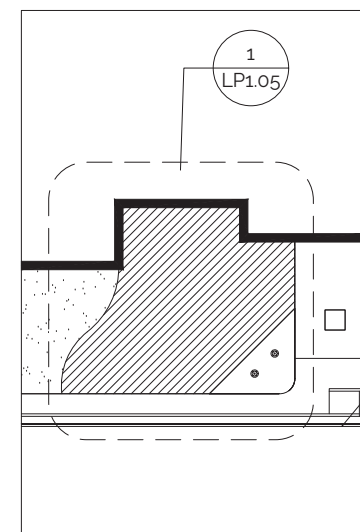
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TURF

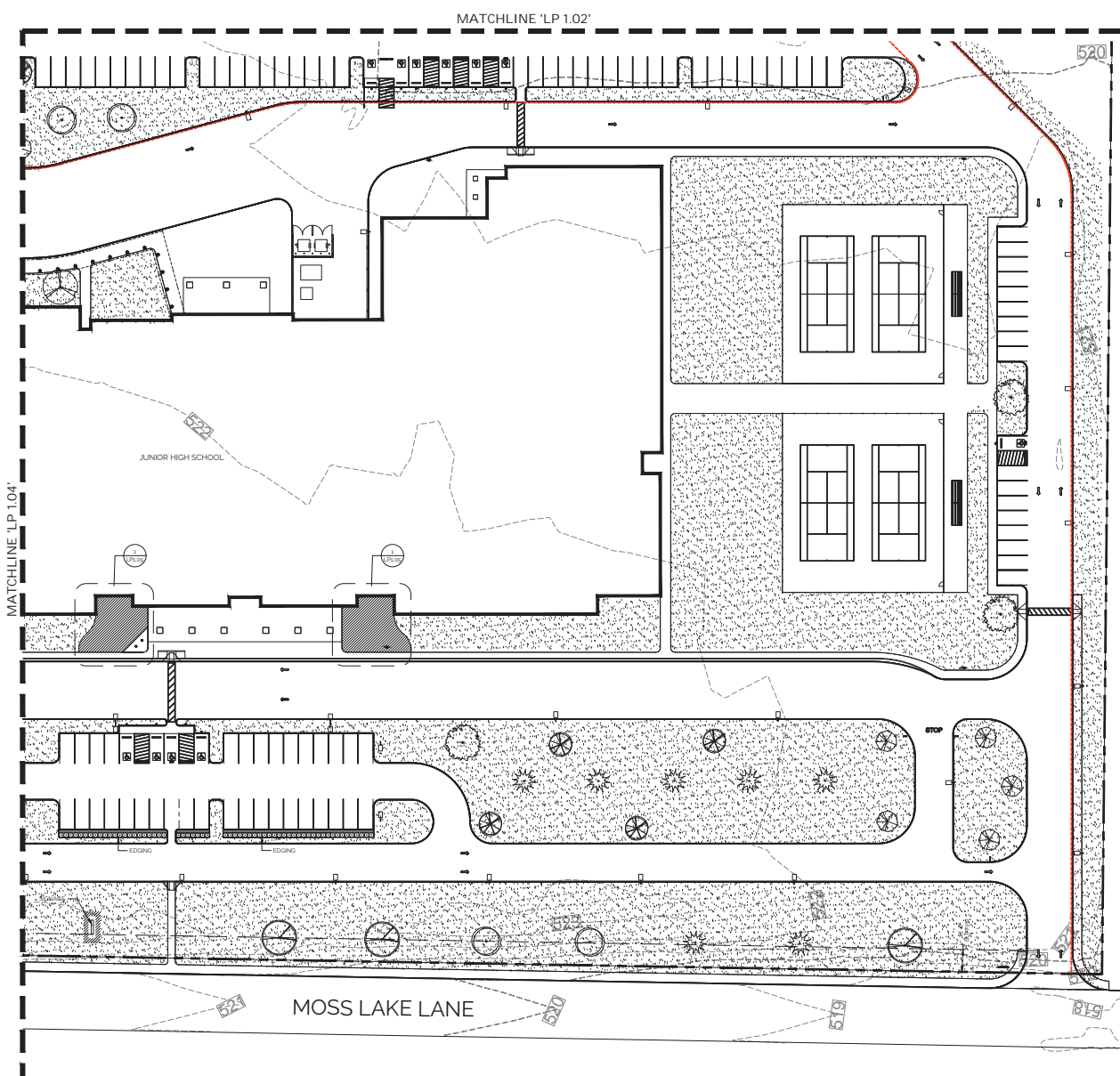
- BERMUDA SOD

OTHER

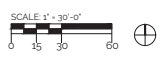
- DECOMPOSED GRANITE
- STEEL EDGE



1 PLANTER AREA ENLARGEMENT
1" = 10'-0"



LANDSCAPE PLAN



ARCHITECT	PBR ARCHITECT, INC.
DALLAS	
14001 Dallas Parkway, Suite 400	
Dallas, TX 75240	
972-233-1233	
972-233-1373 F	
13 F.W. 408 1608	
OWNER	
PROJECT	
DATE	
BY	
CHECKED BY	
DATE	
BY	
CHECKED BY	
DATE	
BY	
CHECKED BY	
DATE	

WYLIE NEW INTERMEDIATE AND JUNIOR HIGH SCHOOL SITE PLAN

PLANNING AND ZONING



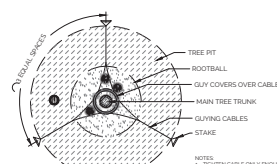
Interim review documents. Not for regulatory approval, permitting or construction.
Jeremy D. Blad
Texas RLA No. 2734

CLIENT		
Wylie Independent School District		
DATE		PROJECT NUMBER
2024/09/16		240112
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: JB
DRAWN BY: RS

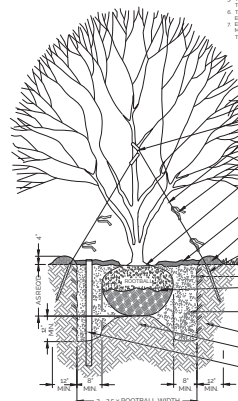
LANDSCAPE DETAILS

LP 1.06

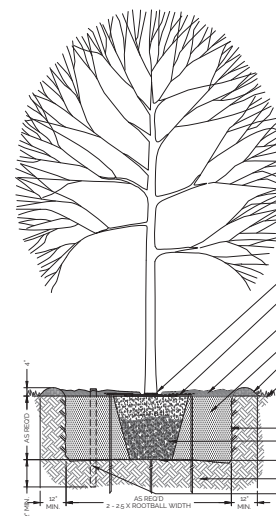


PLAN VIEW

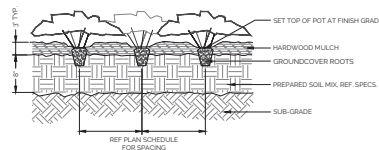
- NOTES
1. TIGHTEN CABLE ONLY ENOUGH TO KEEP GUY FROM SLIPPING AND ALLOW FOR TRUNK MOVEMENT. GUY COVERS SHALL BE SUFFICIENT TO ACCOMMODATE GROWTH AND BUFFER ALL BRANCHES FROM STAKES.
 2. TUCK ANY LOOSE ENDS OF CABLE INTO THE GUY COVER SO THAT NO SHARP WIRE ENDS ARE EXPOSED.
 3. REMOVE THE STAKE AND STAKES AS THE TREE HAS GROWN ROOTS SUFFICIENT TO OUSOURCE THE TREE MOVEMENT AT THE ROOTS. STAKES SHALL BE EXPOSED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
 4. THE TRUNK FLARE SHALL BE VISIBLE AT TOP OF THE ROOT BALL WITH NO RAIL OR MULCH IN CONTACT WITH THE TRUNK.
 5. TREES SHALL NOT BE RE-PALETTIZED AT PLANTING DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO CROWN OF TREE.
 6. TAMPS SOIL AROUND ROOT BALL BACK FROM 1" WITH FOOT PRESIGARE TO ELIMINATE ROOT BALL MOVEMENT.
 7. FILL MULCH AND SOIL TO PLANTING DEPTH TO MURDERY CONTROLS BY MARKING THE NORTH SIDE OF THE TREE IN THE MURDERY AND LOCATE TREE TO FACE NORTH AT THE SITE.



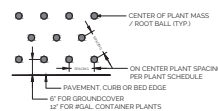
1 MULTI-STEM TREE PLANTING
1/2" = 1'-0"



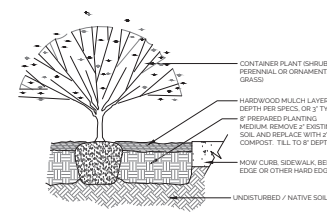
2 SHADE TREE PLANTING
1/2" = 1'-0"



3 GROUNDCOVER PLANTING
1/2" = 1'-0"



4 PLANT SPACING
1/4" = 1'-0"



5 CONTAINER PLANTING
1" = 1'-0"

ARCHITECT	OWNER
PBR Architects, Inc.	Wylie Independent School District
1401 Dallas Parkway, Suite 400	
Dallas, TX 75240	
972-353-1010	
972-353-1011 F	
14710 W. 38th Street	
Irving, TX 76039	
PROJECT NO.	
DATE	
SCALE	
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DATE	
SCALE	
DATE	
SCALE	
DATE	
SCALE	
DATE	
SCALE	

WYLIE NEW IS



KEY PLAN

INTERIM NOTIFICATION

Daniel Stuart Berger
Architectural Registration No. 25370

These documents are incomplete
and are for information review only,
and may not be used for
regulatory approval, permit, or
construction.

CLIENT		
Wylie Independent School District	DATE	PROJECT NUMBER
2024/08/27	2020111	
DRAWING HISTORY		
No.	Description	Date

CHECKED BY: Checker

DRAWN BY: Author

IS EXTERIOR
ELEVATIONS - P & Z

A-504A

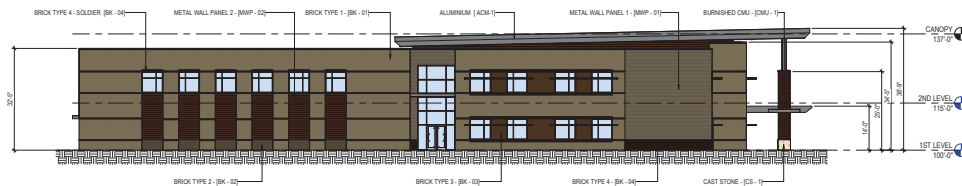
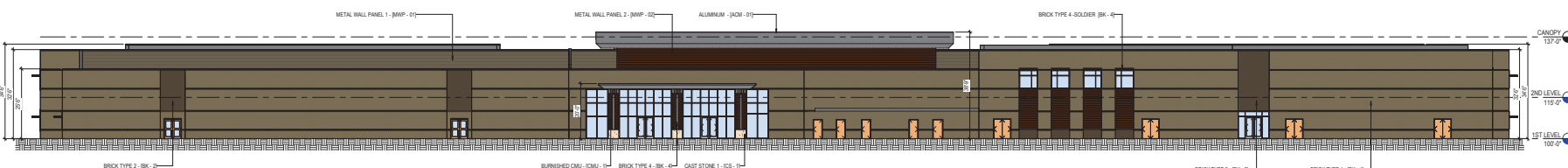
GENERAL ELEVATION NOTES

- ALL BUILDING EXPANSION JOINT TO BE 1" UNLESS OTHERWISE NOTED.
- CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
- 1/2" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL UNITS, ANGLE.
- EXPOSED EXTERIOR STRUCTURAL STEEL LIME FINISH SHALL BE PAINTED P-8.
- STEEL MASONRY UNITS SHALL BE GALVANIZED.
- EXPOSED CONCRETE WALLS, COLUMNS AND BEAMS SHALL BE RUBBED GROUT FINISH.
- MASONRY WEIR AT 18" O.C. MAXIMUM.
- EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH ENDO DAMS.
- EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKFILLERS WITH CONTINUOUS FORMER ALUMINUM ANGLE.
- FLEXIBLE MEMBRANE FLASHING AT WINDOW SILLS AND UNITS SHALL HAVE PRE-FORMED END DAMS.
- MASONRY VENEER CONTROL JOINTS SHALL BE 3/8" AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 3/4" FROM OUTSIDE CORNERS, AND AT 36" O.C. MAXIMUM. UNLESS NOTED OTHERWISE, REFERENCE EXTERIOR ELEVATIONS.
- OUTSIDE CONDUIT FOR CABLES AND DOWNPOUTS SHALL BE PRE-FINISHED SHEET METAL. COLOR SELECTED BY ARCHITECT.
- DOWNPOUTS SHALL HAVE 1/8" GAUGE PRE-FINISHED DOWNPOUT ROOTS TO 6" ABOVE FINISH GRADE. COLOR SELECTED BY ARCHITECT.
- DOWNPOUTS AND/OR ROOF DRAINS SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE CIVIL FOR STORM DRAIN CONNECTION DETAILS AND LOCATIONS.
- CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. INCLUDE A 24" WINDOW MOCK-UP. MOCK-UP SHALL INCLUDE METAL FLASHING, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHING, AND WINDOW INSTALLATIONS AS DETAILED IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 6" TALL X 18" LONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.

KEYNOTE LEGEND

NUMBER	DESCRIPTION
BK1 (R)	BRICK TYPE 1, RUNNING BOND
BK2 (R)	BRICK TYPE 2, RUNNING BOND
BK3 (R)	BRICK TYPE 3, RUNNING BOND
BK4 (R)	BRICK TYPE 4, RUNNING BOND
BK4 (S)	BRICK TYPE 4, SOLDIER COURSE
CS - 01	CAST STONE
NS - 01	NATURAL STONE
CMU - 01	BURNISHED CMU
WMP - 01	FLUSH WALL PANEL
WMP - 02	METAL WALL PANEL
ACM - 01	ALUMINUM
WS - 01	WOOD SOFFIT

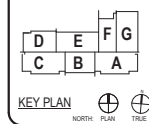
EXTERIOR MATERIALS LEGEND

24 COMPOSITE EXTERIOR ELEVATIONS - EAST
1/16" = 1'-0"18 COMPOSITE EXTERIOR ELEVATIONS - WEST
1/16" = 1'-0"12 COMPOSITE EXTERIOR ELEVATIONS - NORTH
1/16" = 1'-0"06 COMPOSITE EXTERIOR ELEVATIONS - SOUTH
1/16" = 1'-0"



ARCHITECT	OWNER
P3K Architects, Inc.	Wylie Independent School District
1401 Dallas Parkway, Suite 400	
Dallas, TX 75246	
972-233-1010	
972-233-1011	
972-233-1012	
972-233-1013	
972-233-1014	
972-233-1015	
972-233-1016	
972-233-1017	
972-233-1018	
972-233-1019	
972-233-1020	
972-233-1021	
972-233-1022	
972-233-1023	
972-233-1024	
972-233-1025	
972-233-1026	
972-233-1027	
972-233-1028	
972-233-1029	
972-233-1030	

WYLYE NEW JHS
25% CONSTRUCTION DOCUMENTS



INTERIM NOTIFICATION
Daniel Stuart Berger
Architectural Registration No. 25370
These documents are incomplete
and are for information review only,
and may not be used for
regulatory approval, permit, or
construction.

No.	Description	Date
1	Wylie Independent School District	2024/08/08
2	PROJECT NUMBER	240112
3	DRAWING HISTORY	

CHECKED BY: Checker
DRAWN BY: Author

JHS EXTERIOR
ELEVATIONS - P & Z

A-504B
20

GENERAL ELEVATION NOTES

1. ALL BUILDING EXPANSION JOINTS TO BE 1" UNLESS OTHERWISE NOTED.
2. CONTROL JOINT IN MASONRY VENEER TO BE 3/8" TYPICAL UNLESS OTHERWISE NOTED. EXTEND FULL HEIGHT OF WALL.
3. 1/2" EXPANSION JOINT FILLER ON BOTH ENDS OF ALL STEEL UNITS, ANGLES.
4. EXPOSED EXTERIOR STRUCTURAL STEEL TUBE MEMBERS SHALL BE PAINTED P-8.
5. STEEL MASONRY UNITS SHALL BE GALVANIZED.
6. EXPOSED CONCRETE WALLS, COLUMNS, AND BEAMS SHALL BE RUBBED GROUT FINISH.
7. MASONRY WEIR AT 18" O.C. MAXIMUM.
8. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE ALUMINUM SUB-SILLS WITH END DAMS.
9. EXTERIOR ALUMINUM STOREFRONT SYSTEM SHALL HAVE CONTINUOUS ALUMINUM BACKFILLERS WITH CONTINUOUS PERIMETER ALUMINUM ANGLE.
10. FLEXIBLE MEMBRANE FLASHING AT WINDOWS SILLS AND UNITS SHALL HAVE PRE-FORMED END DAMS.
11. MASONRY VENEER CONTROL JOINTS SHALL BE SIP AT INSIDE CORNERS. AT DISTANCES NOT TO EXCEED 1/4" FROM OUTSIDE CORNERS, AND AT 30" O.C. MAXIMUM. UNLESS NOTED OTHERWISE, REFERENCE EXTERIOR ELEVATION.
12. OUTERS, CONDUCTION HEADS, AND DOWNPOUTS SHALL BE PRE-FINISHED SHEET METAL. COLOR SELECTED BY ARCHITECT.
13. DOWNPOUTS SHALL HAVE 1/2" GAUGE PRE-FINISHED DOWNPOUT ROOTS TO 4" ABOVE FINISH GRADE. COLOR SELECTED BY ARCHITECT.
14. DOWNPOUTS AND/OR ROOF DRAINAGE SHALL BE CONNECTED TO STORM DRAIN SYSTEM UNLESS OTHERWISE NOTED. REFERENCE CIVIL FOR STORM DRAIN CONNECTION DETAILS AND LOCATION.
15. CONTRACTOR SHALL PROVIDE MOCK-UP FOR EACH EXTERIOR CONDITION AND CONSTRUCTION ASSEMBLY TYPE. INCLUDE A 2'x2' WINDOW MOCK-UP. MOCK-UP SHALL INCLUDE METAL FLASHING, VERTICAL AND HORIZONTAL FLEXIBLE MEMBRANE FLASHING, AND WINDOW INSTALLATIONS AS SHOWN IN CONSTRUCTION DOCUMENTS. MOCK-UP SHALL BE A MINIMUM OF 8" TALL X 16" LONG WITH AN EXTERIOR CORNER, INTERIOR CORNER, INTERIOR CORNER, AND VERTICAL CONTROL JOINTS. COORDINATE LOCATION OF MOCK-UP PANEL WITH ARCHITECT PRIOR TO CONSTRUCTION.

KEYNOTE LEGEND

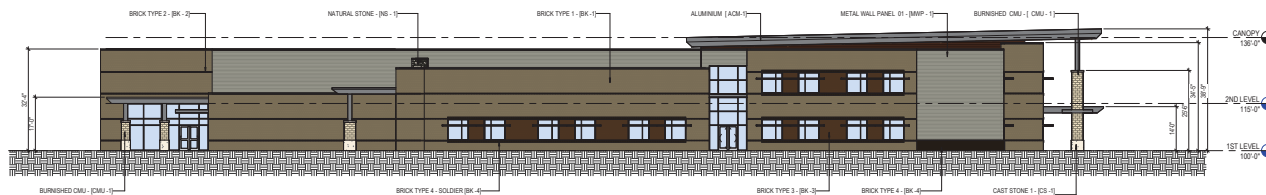
NUMBER	DESCRIPTION
--------	-------------

EXTERIOR MATERIALS LEGEND

- | | |
|--|------------------------------|
| BK1 (R)
BRICK TYPE 1,
RUNNING BOND | WWP - 01
FLUSH WALL PANEL |
| BK2 (R)
BRICK TYPE 2,
RUNNING BOND | WWP - 02
METAL WALL PANEL |
| BK3 (R)
BRICK TYPE 3,
RUNNING BOND | ACM - 1
ALUMINUM |
| BK4 (R)
BRICK TYPE 4,
RUNNING BOND | WS - 1
WOOD SOFFIT |
| BK4 (S)
BRICK TYPE 4,
SOLDIER COURSE | |
| CS - 01
CAST STONE | |
| NS - 01
NATURAL STONE | |
| CMU - 01
BURNISHED CMU | |

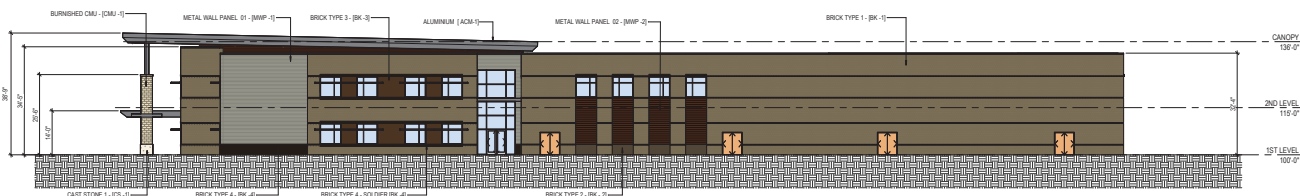
24 EXTERIOR ELEVATION - EAST

1/16" = 1'-0"



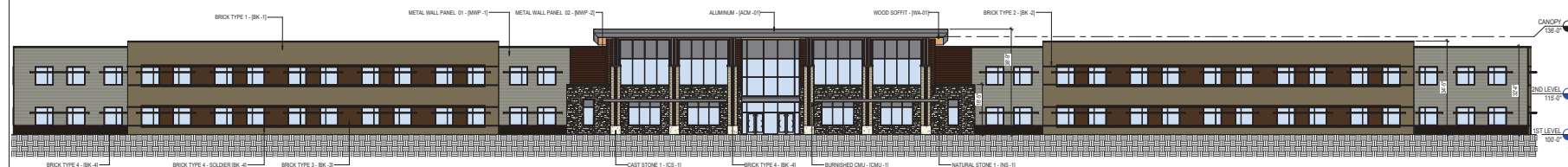
18 EXTERIOR ELEVATION - WEST

1/16" = 1'-0"



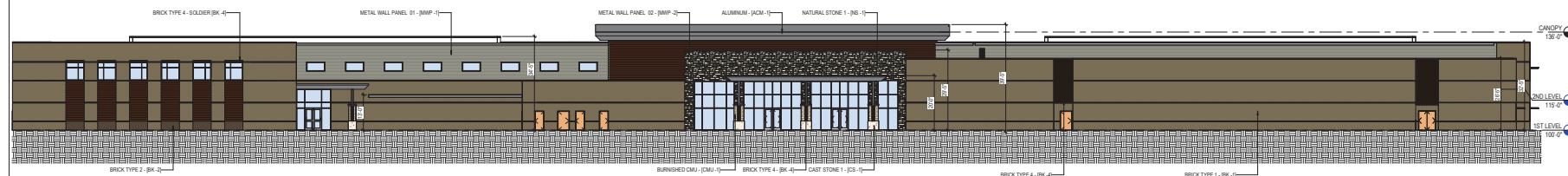
12 EXTERIOR ELEVATION - NORTH

1/16" = 1'-0"



06 EXTERIOR ELEVATION - SOUTH

1/16" = 1'-0"





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 2

Subject

Consider, and act upon, a Site Plan for Lot 1, Block B of Premier Industrial Park South for an addition to an existing manufacturing use. Property located at 930 Hensley Lane.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Tower Extrusion LLC

APPLICANT: Helmberger Associates

The applicant is proposing a 16,962 sq.ft. building addition and a detached truck barn measuring 4,560 sq.ft. on Lot 1, Block B of Premier Industrial Park South on 17.206 acres, located at 930 Hensley Lane. The property is zoned Light Industrial (LI) and allows for the proposed use by-right. The development is serving as an expansion to an existing aluminum manufacturing business that conducts services for casting, extrusions, fabrication and finishing.

The site plan for the property was originally approved in November of 1999 and is a site that the Wylie EDC used to relocate the original business owner, Extruders Division of Atrium Companies, Inc. when an agreement was made to purchase approximately 5 acres of land located at 404 South State Highway 78. The agreement led to enhancements to the commercial corridor of State Highway 78 and is the site where Chick-Fil-A and Whataburger are currently developed.

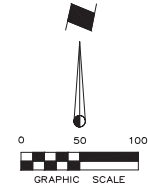
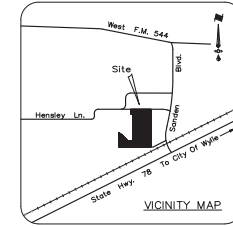
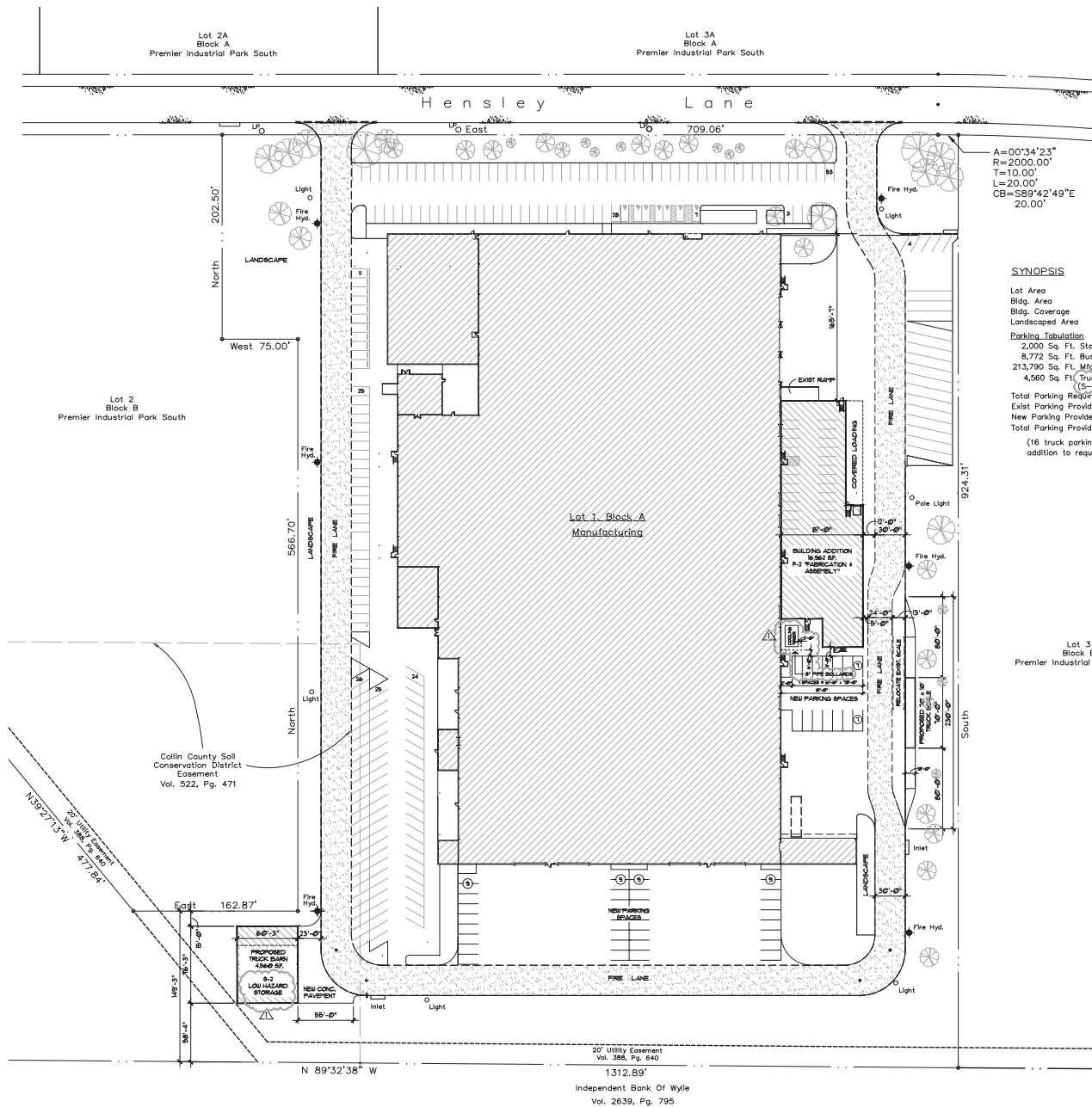
The development is providing 50 new parking spaces for a total of 251 spaces with seven being ADA accessible. There are an additional 16 parking spaces for semi-truck trailer parking.

A fire lane exists that loops around the entire development with two entrances from Hensley Lane. The fire lane shall be required to be platted as an easement on an amended plat prior to building permit finals being issued.

The site is providing 278,162 sq.ft. of landscaping which exceeds the minimum requirement of 74,950 sq.ft. (10%) and includes landscaping along the frontage and around the parking areas.

The proposed addition and truck barn have an exterior that consists of metal panels that match the appearance of the existing structure. The truck barn contains four roll up doors.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.



SYNOPSIS

Lot Area 749,497 Sq. Ft. (17.206 Ac.)
 Bldg. Area 229,122 Sq. Ft.
 Bldg. Coverage 30%
 Landscape Area 288,172 Sq. Ft.
 Parking Tabulation
 2,000 Sq. Ft. Storage @ 1/1000 2 Spa.
 8,772 Sq. Ft. Business @ 1/300 30 Spa.
 213,790 Sq. Ft. Mfg. @ 1/1000 214 Spa.
 4,560 Sq. Ft. Truck Barn @ 1/1000 5 Spa.
 (S-2 Storage)
 Total Parking Required 251 Spa.
 Exist. Parking Provided 201 Spa.
 New Parking Provided 50 Spa.
 Total Parking Provided 251 Spa.
 (16 truck parking spaces provided in addition to required auto parking)

GENERAL NOTES

- All materials and construction shall conform to City of Wylie Stds. and Specifications, except as noted herein and approved by the City.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with O.S.H.A. Standards.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project.
- All dimensions are to the face of curb.
- All curb radii are 3' unless noted otherwise.
- All new parking spaces are 10'x20' unless noted otherwise.
- All on-site pavement shall be 6-inch thick, 3000 psi concrete concrete with #3 bars @ 18" o.c.e.w. Unless noted otherwise all paving and earthwork operations shall conform to the recommendations in Geotechnical Investigation Report No. No. 5974, dated October 14, 1999 by Reed Engineering Group, Inc.
- Fire lanes shall be striped in accordance with the City of Wylie Standards.
- The Paving Contractor shall not place permanent pavement until all sleeving for irrigation, electric, gas, telephone, cable TV, site lighting, etc. has been installed. It shall be the Paving Contractor's responsibility to insure that all sleeving is in place prior to placing permanent paving.
- Concrete pavement shall be sawcut at 15' O.C.E.W. unless noted otherwise.

LEGEND

- 6" 3000 PSI Reinf. Conc. Pavement
- Proposed Expansion Joint

WAREHOUSE EXPANSION FOR:
TOWER EXTRUSIONS
 930 HENSLEY LANE
 WYLLIE, TEXAS 75098



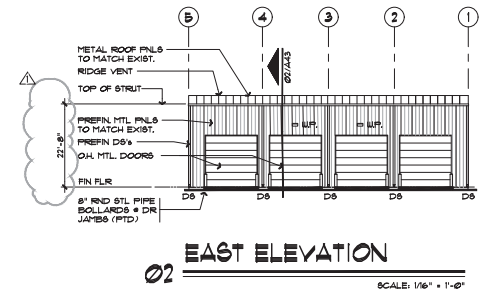
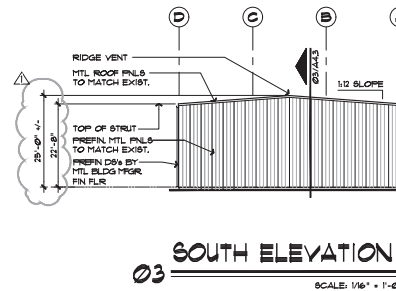
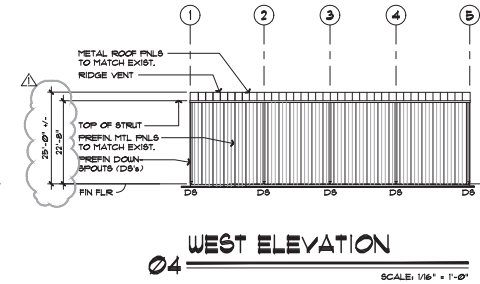
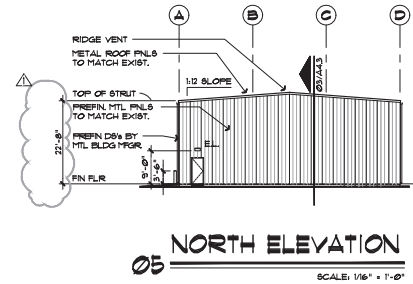
sma
 + architects pc

125 W. Main Street
 Suite 200
 Allen, TX 75013
 tele 972 / 359-8788

DATE: 3-21-24
 JOB NO.: TOWER EXTRUSIONS

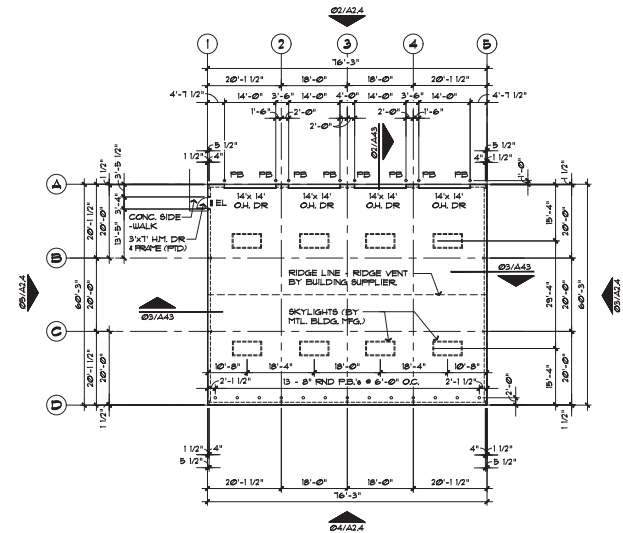
REVISIONS:
 6-11-24 PROGRESS SET
 7-11-24 PROGRESS SET
 8-20-24 FINAL SET
 9-21-24 REV 1

AS.I



NOTES

- 6\"/>



FLOOR PLAN TRUCK BARN
4594 S.F. SCALE: 1/8\"/>

WAREHOUSE EXPANSION FOR:
TOWER EXTRUSIONS
930 HENSLEY LANE
WYLLIE, TEXAS 75098

TRUCK
BARN

8-30-2024



sma
+ architects pc

125 W. Main Street
Allen, TX 75013
tel: 972 / 359-8788

DATE: 3-21-24
JOB NO. TOWER
EXTRUSIONS

REVISIONS:
6-11-24 PROGRESS SET
7-11-24 PROGRESS SET
8-20-24 FINAL SET
9-21-24 REV 1

A2.4



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 3

Subject

Hold a Public Hearing, consider, and act upon, a recommendation to City Council regarding the writing of an ordinance for a change in zoning from Neighborhood Services (NS) to Townhouse District (TH) on 1.84 acres to allow for single-family attached development. Property located at 701 West Brown Street (**ZC 2024-07**).

Recommendation

Motion to recommend (**disapproval**) as presented.

Discussion

OWNER: Craig Schacherer

APPLICANT: Meezan Investments

The applicant is requesting a zoning change from Neighborhood Services (NS) to Townhouse District (TH) to allow for the development of single family attached units on 1.84 acres for the purpose of selling the units individually. The property is located at 701 West Brown Street.

Access to the townhome units is proposed via a public street that connects to West Brown Street. The public street also extends past a 60' North Texas Municipal Water district easement that connects to Rustic Circle. Access to Rustic Circle is only proposed for Fire Department Emergency purposes. A metal gate shall be required to enforce this. The applicant has been granted permission by the NTMWD for the concrete paving over their easement.

A preliminary plat shall be required if this zoning is approved that shows compliance with requirements of the lot size, dwelling size, setbacks and architectural requirements for the Townhouse District zoning found in Section 3.2 and Section 3.4 the Zoning Ordinance.

The developer does not intend to have an Homeowners Association for this development. As proposed the public street including the gate will be maintained by the city once the right of way is dedicated with a plat document.

The developer has provided conceptual elevations of the townhouse units that contain Brick, Stone and Stucco. The units are proposed to be two stories. The developer has chosen a brick color that closely resembles the exterior of Birmingham School located to the north of this development

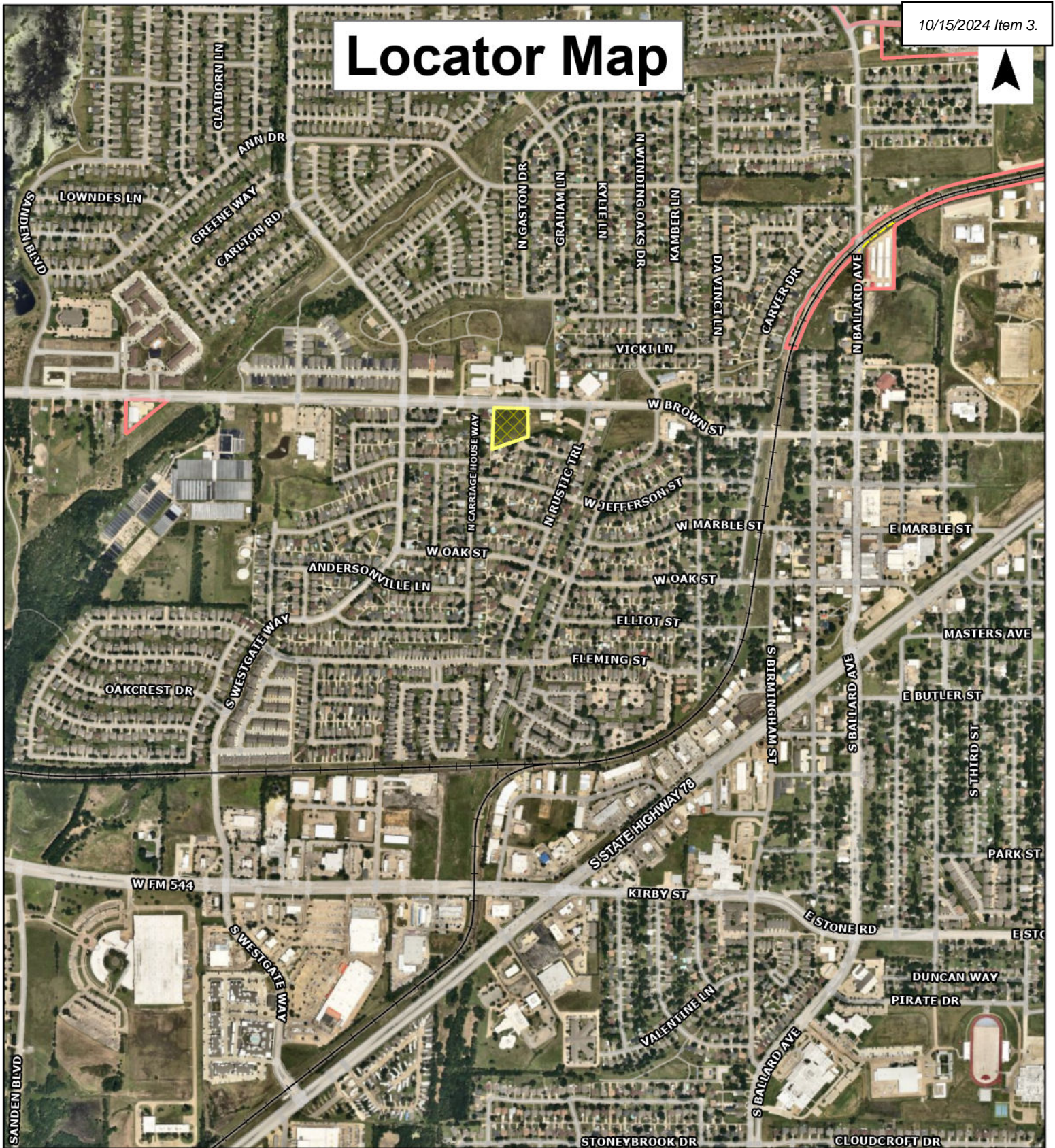
The property to the west and south is developed with single family detached homes. The property to the east is developed with a house of worship.

The subject property lies within the Local Commercial sector of the Comprehensive Future Land Use Plan. Development within this sector's main purpose is to provide small-scale commercial, retail, and office uses that are compatible with and serve adjacent neighborhoods. Staff is recommending disapproval due to the incompatibility of the proposed use with the land use plan.


The Future Land Use plan provides guidance and helps to inform development decisions; however, it is not the City zoning map, which regulates the use of land. The map is not the endpoint of discussions, but rather an important element to evaluate along with other site specific considerations.

Notices were sent to twenty four owners within 200 feet as required by state law. At the time of posting, 11 responses were received in opposition and three in favor of the request.

Locator Map



ZONING BOARD OF ADJUSTMENT CASE:
ZC 2024-07

 SUBJECT property

0 0.1 0.2 0.3 0.4 0.5 Miles

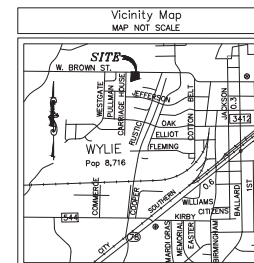


Date: 9/17/2024



As of the date of this survey and by graphical plotting, the subject property appears to be located in FEMA designated ZONE X, as shown on Map Panel Number 48085C0420J, dated JUNE 02, 2009. Exact designations can only be determined by an Elevation Certificate. This information is subject to change as a result of map revisions and/or amendments by FEMA.

THE ELEVATIONS SHOWN ARE DERIVED FROM GPS OBSERVATIONS
BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988
(NAVD88) AND IS REFERENCED TO THE CITY OF WYLLIE
BENCHMARK CM 2. VERTICAL ACCURACY IS +/- 0.10'.
LATITUDE: 33° 00' 49.37657" N
LONGITUDE: 96° 32' 20.70352" W
ELEVATION: 550.61



AFFORDABLE TOWNHOMES
701 BROWN STREET
WYLLIE, TEXAS

**JAHVANI CONSULTING
ENGINEERS, INC.**
TYPE REGISTRATION NO. F-10198

1 N. JOSEY LANE, #200
ROLLTTON, TEXAS 75006
TEL. (214) 718-9469
jahvani@hotmail.com

REVISIONS	DATE
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SEAL



DWG. TITLE:
ZONING EXHIBIT

DRAWN BY: HJ
SCALE: 1" = 30'

DATE 10-08-2024

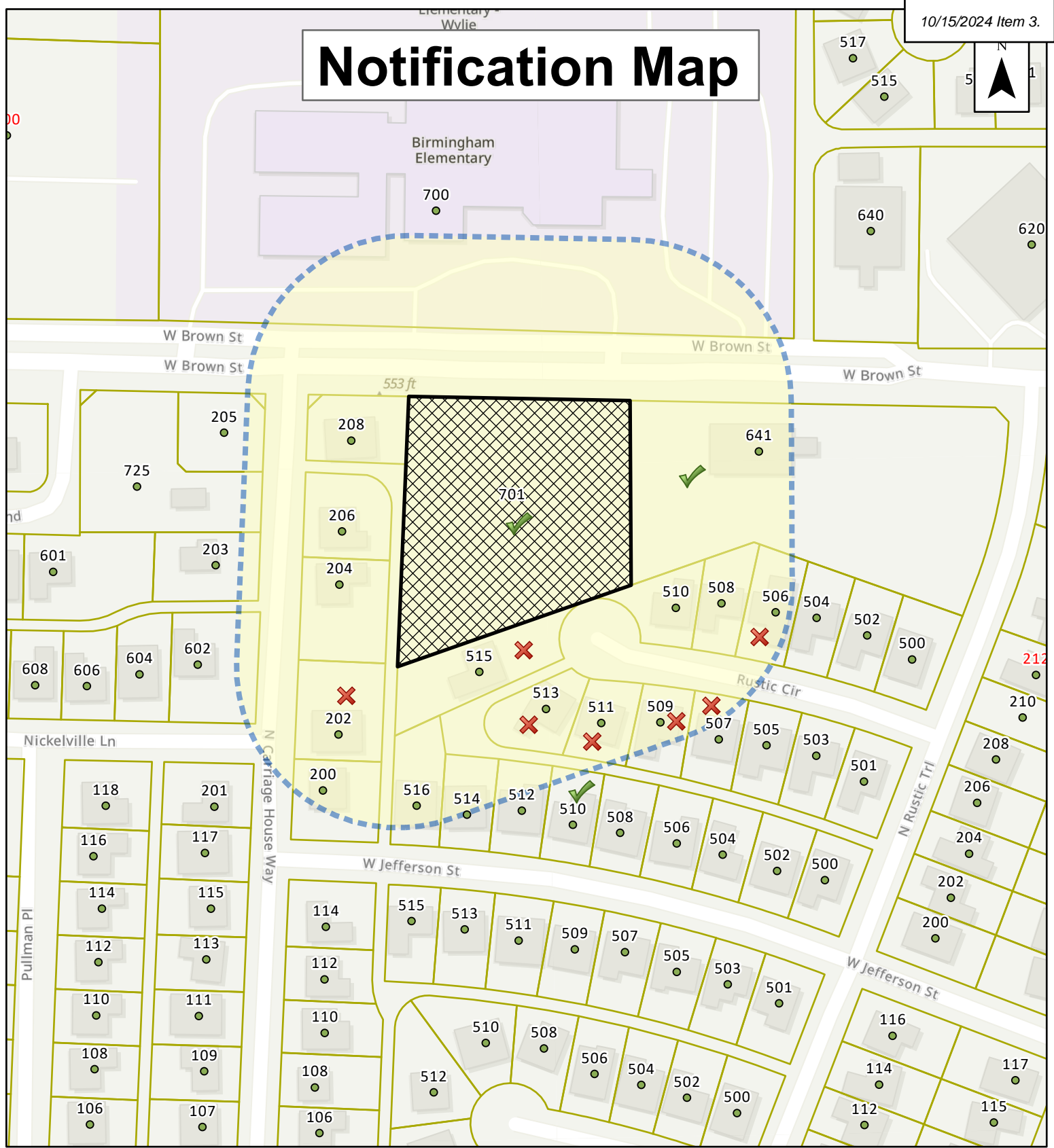
SHEET NUMBER



Figure 3-5 Townhouse District (TH)

Lot Size	
Lot Area (sq. ft.)	3,500 - exterior w/side yards 3,000 - interior w/no side yards
Lot Width (feet)	30
Lot width of corner Lots (feet)	45
Lot Depth (feet)	100
Lot Depth of Double Front Lots (Feet)	120
Dwelling Regulations	
Minimum Square Footage	1,000 - Duplex (2 dwellings) 1,200 - others (3+ dwellings)
Design Standards Level of Achievement	See Section 3.4 Residential Design Standards
Yard Requirements - Main Structures	
Front Yard (feet)	20
Side Yard (feet)	>0 for interior 0 or 5 for exterior
Side Yard of Corner Lots (feet)	15
Side Yard of allowable nonresidential use (feet)	NA
Rear Yard (feet)	25
Rear Yard Double Front Lots (feet)	45
Lot Coverage	60%
Height of Structures	
Main Structure (feet)	40
Accessory Structure (feet)	15

Notification Map



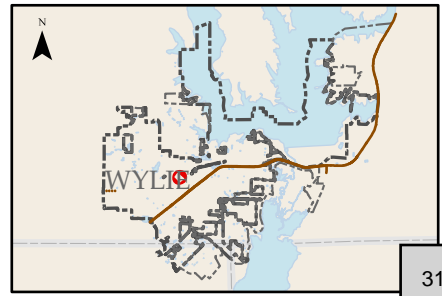
ZONING BOARD OF ADJUSTMENT CASE:
ZC 2024-07

 SUBJECT property  200 foot Notification Buffer

0 50 100 200 300 400 Feet



Date: 9/17/2024





Public Comment Form

First Name *

Hafiz

Middle Name

Last Name *

Waqas

Address *

Street Address

641 W Brown St

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

Response *

- ☒ I am FOR the requested zoning as explained on the public notice
- ☐ I am AGAINST the requested zoning as explained on the public

Comments

Perfect lot for residential since commercial would not be good fit for the community nor business owner.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

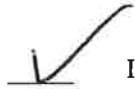
10/4/2024



PUBLIC COMMENT FORM

*Submissions can now be made on-line at <https://records.wylietexas.gov/Forms/PublicComment>
or by scanning the QR code in the upper right hand corner.
(If completing the form below, please type or use black ink)*

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098



I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2024-07.

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2024-07.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning
Commission meeting:

Tuesday, October 15, 2024 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, November 12, 2024 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

JEAN L. BURT
(please print)

Address:

510 W. JEFFERSON ST.
WYLIE, TX 75098

Signature:

Jean L. Burt

Date:

9/26/24

COMMENTS:



Public Comment Form

First Name *

Craig

Middle Name

Last Name *

Schacherer

Address *

Street Address

303 S Hwy 78, #203

Address Line 2

City

Wylie

State / Province / Region

Texas

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

Response *

- ☒ I am FOR the requested zoning as explained on the public notice
- ☐ I am AGAINST the requested zoning as explained on the public

Comments

I think this type of housing would be great for young families. With housing, versus businesses, it seems like there would be less traffic in front of the school.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

10/7/2024



Public Comment Form

First Name *

Bill

Middle Name

Last Name *

Callahan

Address *

Street Address

204 N Carriage House Way

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

Privacy and noise...Traffic on Brown St....Schoolchildren walking to and from Birmingham School..

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A handwritten signature in black ink, appearing to read 'Bill Callahan', on a light gray background.

Date of Signature

9/21/2024



Public Comment Form

First Name *

Lewis

Middle Name

Carroll

Last Name *

Briley

Address *

Street Address

202 N Carriage House Way

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

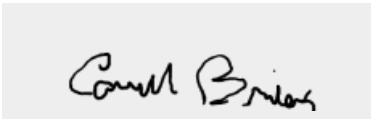
Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *



Date of Signature

10/5/2024



PUBLIC COMMENT FORM

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Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

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Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, November 12, 2024 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: _____

(please print)

Address: _____

Signature: _____

Date: _____

COMMENTS:

LIVE AT THIS ADDRESS FOR 29 YEARS +
I DON'T WANT TOWNHOMES NEXT TO OUR
CUSTOM HOME ADDITION + MORE TRAFFIC.



Public Comment Form

First Name *

Curtis

Middle Name

D

Last Name *

Cotton

Address *

Street Address

513 Rustic Cir

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A black and white image of a handwritten signature, which appears to be 'Curtis D. Cotton', on a light gray background.

Date of Signature

9/30/2024



Public Comment Form

First Name *

Kimberly

Middle Name

Last Name *

Martin

Address *

Street Address

511 Rustic Circle

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Kimberly Martin

Date of Signature

10/5/2024



PUBLIC COMMENT FORM

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(If completing the form below, please type or use black ink)*

Department of Planning
300 Country Club Road
Building 100
Wylie, Texas 75098

_____ I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2024-07.

 X I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2024-07.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of
Planning & Zoning
Commission meeting:

Tuesday, October 15, 2024 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of
City Council meeting:

Tuesday, November 12, 2024 6:00 pm
Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Leland Ekblad
(please print)

Address: 509 Rustic Cir
Wylie, TX 75098

Signature: Leland Ekblad

Date: 09/30/2024

COMMENTS:

My wife and I bought this house because it was on a circle and
there wouldn't be thru traffic. Also because the area is for single
housing only, we don't feel town houses would be appropriate
for the current surroundings. There are much better areas for
building town houses, there are some being built west on Brown
St. Why not create a park on the land so the kids have a place
to play without crossing Brown St. SO WE VOTE NO.



Public Comment Form

First Name *

Kelly

Middle Name

Last Name *

Disque

Address *

Street Address

507 Rustic Cir

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I opposed this zoning change due to the following: existing traffic congestion on Brown, impact to traffic on Rustic Circle, risk to children attending Birmingham Elementary School and impact to crime as shown by the Bachon Townhomes

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

Kelly Disque

Date of Signature

9/22/2024



Public Comment Form

First Name *

Shelly

Middle Name

Last Name *

McCure

Address *

Street Address

506 Rustic Cir

Address Line 2

City

Wylie

State / Province / Region

TX

Postal / Zip Code

75098

Case # *

ZC2024-07 701 W Brown Street

Response *

- ☐ I am FOR the requested zoning as explained on the public notice
- ☒ I am AGAINST the requested zoning as explained on the public

Comments

I have 4 kids who play in the culdesac with their friends. We bought this house to live on a culdesac. The traffic around the school is already super congested and high density housing is a burden on the schools my kids attend.

I agree and understand that by signing the electronic signature, that it is the equivalent to my manual/handwritten signature.

Signature *

A grey rectangular box containing a black electronic signature that reads 'Shelly McCure'.

Date of Signature

9/26/2024