

Wylie Planning and Zoning Commission Regular Meeting

March 15, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098



CALL TO ORDER

INVOCATION & PLEDGE OF ALLEGIANCE

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

CONSENT AGENDA

All matters listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will not be separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

- A. Consider, and act upon, the approval of the March 1, 2022 Minutes.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat for Lake Park Villas Phase 2, establishing 93 residential lots and four open space lots on 14.302 acres, generally located at the northwest corner of County Line Road and Troy Road.
- C. Consider, and act upon a recommendation to City Council regarding a Final Plat for Kreymer East Phase 2, establishing 144 residential lots and one open space lot on 43.089 acres, generally located on WA Allen Blvd and Glen Eagle Drive.
- D. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Hensley Park Addition, establishing one lot on two acres, located on the northwest corner of Hensley Road and Hooper Road.
- E. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Senior Medical Addition, establishing two lots on 21.3224 acres, generally located adjacent and southwest of 2300 FM 544.

REGULAR AGENDA

- 1. Hold a Public Hearing to act upon and consider a recommendation to City Council for amendments to Zoning Ordinance 2015-09, Article 6, Section 6.3 Downtown Historic District. ZC 2022-06.
- 2. Hold a Public Hearing to act upon, and consider recommendation to City Council regarding a request to change the zoning from Commercial Corridor (CC) to Planned Development-Commercial Industrial (PD-CI). Property located southwest corner of State Highway 78 and Wylie East Drive. ZC 2022-05.
- 3. Consider, and act upon, a Site Plan for an industrial use on 2 acres, being Lot 1, Block A of Hensley Park, located on the northwest corner of Hensley Road and Hooper Road.

4. Consider, and act upon, a Site Plan for Wylie Senior Apartments, an affordable age-restricted multi-family development on 16.88 acres, generally located adjacent and southwest of 2300 FM 544.
5. Hold a Public Hearing, to consider, and act upon a recommendation to City Council regarding a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-through service on 1.315 acres, property located at 3201 W FM 544. (ZC 2022-03).

ADJOURNMENT

CERTIFICATION

I certify that this Notice of Meeting was posted on March 11, 2022 at 5:00 p.m. on the outside bulletin board at Wylie City Hall, 300 Country Club Road, Building 100, Wylie, Texas, a place convenient and readily accessible to the public at all times.

Stephanie Storm, City Secretary

Date Notice Removed

The Wylie Municipal Complex is wheelchair accessible. Sign interpretation or other special assistance for disabled attendees must be requested 48 hours in advance by contacting the City Secretary's Office at 972.516.6020. Hearing impaired devices are available from the City Secretary prior to each meeting.

If during the course of the meeting covered by this notice, the Commission should determine that a closed or executive meeting or session of the Commission or a consultation with the attorney for the City should be held or is required, then such closed or executive meeting or session or consultation with attorney as authorized by the Texas Open Meetings Act, Texas Government Code § 551.001 et. seq., will be held by the Commission at the date, hour and place given in this notice as the Commission may conveniently meet in such closed or executive meeting or session or consult with the attorney for the City concerning any and all subjects and for any and all purposes permitted by the Act, including, but not limited to, the following sanctions and purposes:

Texas Government Code Section:

§ 551.071 – Private consultation with an attorney for the City.



Planning & Zoning Commission

AGENDA REPORT

Department: Planning

Item: A

Prepared By: Mary Bradley

Subject

Consider, and act upon, Minutes from the March 1, 2022 Regular Meeting.

Recommendation

Motion to approve Item A as presented.

Discussion

The minutes are attached for your consideration.



Wylie Planning and Zoning Commission Regular Meeting

March 01, 2022 – 6:00 PM

Council Chambers - 300 Country Club Road, Building #100, Wylie, Texas 75098

CALL TO ORDER

Chair Cory Plunk called the meeting to order at 6:01 p.m. The following Commissioners were present: Commissioner Jacques Loraine, Commissioner Taylor Newsom, Commissioner James Byrne, Commissioner Dan Norris. Vice Chair Rogers arrived before the Consent Agenda. Commissioner Joshua Butler arrived after Agenda Item C.

Staff present included: Planning Manager Jasen Haskins, Senior Planner Kevin Molina, and Administrative Assistant II Mary Bradley.

INVOCATION & PLEDGE OF ALLEGIANCE

Commissioner Newsom gave the Invocation and Commissioner Loraine led the Pledge of Allegiance.

COMMENTS ON NON-AGENDA ITEMS

Any member of the public may address the Commission regarding an item that is not listed on the Agenda. Members of the public must fill out a form prior to the meeting in order to speak. Commission requests that comments be limited to three minutes for an individual, six minutes for a group. In addition, the Commission is not allowed to converse, deliberate or take action on any matter presented during citizen participation.

No citizen approached the Commissioners.

CONSENT AGENDA

- A. Consider, and act upon, the approval of the Minutes from the February 15, 2022 Meeting.
- B. Consider, and act upon a recommendation to City Council regarding a Final Plat, being a Replat of Lot 1R-6, Block C of Woodlake Village Addition, establishing two lots on 18.574 acres, located on the northwest corner of State Highway 78 and Spring Creek Parkway
- C. Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Hensley Park Addition, establishing one lot on two acres, located on the northwest corner of Hensley Road and Hooper Road.

Chair Plunk requested Item C be pulled from the Consent Agenda and considered individually.

Board Action

A motion was made by Commissioner Newsom, seconded by Commissioner Loraine to approve Items A and B of the Consent Agenda as presented. A vote was taken and motion carried 6 – 0, with Commissioner Butler being absent.

REGULAR AGENDA

- C. Consider, and act upon, a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Hensley Park Addition, establishing one lot on two acres, located on the northwest corner of Hensley Road and Hooper Road.

Staff Comments

Senior Planner Molina addressed the Commissioners stating that the Applicant is requesting to withdraw Item C.

Board Action

A motion was made by Commissioner Newsom, seconded by Commissioner Norris to accept the withdrawal of Item C. A vote was taken and carried 6 – 0, with Commissioner Butler arriving after the vote.

1. Consider, and act upon, a Site Plan for a general office use on 0.725 acres, being Lot 1R, Block 6 of Keller's 1st Addition, located on the northwest corner of College Street and S Jackson Avenue.

Staff Comments

Senior Planner Molina addressed the Commissioners stating that the applicant is proposing to develop a 5,361 square feet general office building on 0.725 acres located on Lot 1R, Block 6 of Keller's 1st Addition. The building generally matches the appearance of an existing structure built by the same developer directly across the street at 403 S. Jackson Avenue.

The development is planned to contain four tenants and provides 25 parking spaces with one of them being ADA accessible. The site is providing 34 percent of landscaping meeting the 20 percent minimum requirement.

Board Action

A motion was made by Commissioner Newsom, seconded by Vice Chair Rogers to approve Item 1 as presented. A vote was taken and carried 7 – 0.

2. Consider, and act upon, a Site Plan for an industrial use on 2 acres, being Lot 1, Block A of Hensley Park, located on the northwest corner of Hensley Road and Hooper Road.

Staff Comments

Senior Planner Molina addressed the Commissioners stating that the applicant is requesting to withdraw Item 2,

Board Action

A motion was made by Commissioner Newsom, seconded by Commissioner Loraine, to withdraw Item 2, as requested. A vote was taken and carried 7 – 0.

3. Hold a Public Hearing, consider, and act upon, a recommendation to the City Council regarding a change in zoning from Commercial Corridor (CC) to Commercial Corridor - Special Use Permit (CC-SUP) to allow for a self-storage use on 4.282 acres, property located at 3475 W FM 544 (ZC 2021-27).

Staff Comments

Senior Planner Molina addressed the Commissioners stating that the property is located at 3475 W FM 544 and the applicant is desiring to expand the self-storage use.

The current use of Self Storage was originally developed in October 2003. The applicant is requesting a Special Use Permit as the use is currently legally non-conforming due to the use no longer being allowed by right in the Commercial Corridor (CC) zoning district. A site plan review and approval shall be required prior to any building permits issued.

The Special Use Permit request proposes to add one building that measures 3,155 square feet and a second building which measures 7,440 square feet. The conditions allow for the site to have a minimum of 15 percent of landscaping. The site currently has approximately 16 percent of landscaping. The site provides 5 parking spaces with one being an ADA space.

Board Discussion

The Commissioners discussed limiting the height of the structure to one story and limiting capacity.

Public Comments

Chair Plunk opened the Public Hearing on Item 3. With no one approaching the Commissioners, Chair Plunk closed the Public Hearing at 6:16 p.m.

Board Action

A motion was made by Commissioner Newsom, seconded by Commissioner Butler, to recommend approval with stipulations that the expansion is limited to one-story for the lifetime of the SUP. A vote was taken and carried 7 -0.

Administrative Assistant Bradley advised the Commissioners of a meeting on March 15, 2022.

ADJOURNMENT

A motion was made by Commissioner Norris, seconded by Commissioner Loraine to adjourn the meeting at 6:19 p.m. A vote was taken and carried 7 – 0.

Cory Plunk, Chair

ATTEST:

Mary Bradley, Administrative Assistant II



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: B

Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat for Lake Park Villas Phase 2, establishing 93 residential lots and four open space lots on 14.302 acres, generally located at the northwest corner of County Line Road and Troy Road.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: JHW W PLV

APPLICANT: Westwood

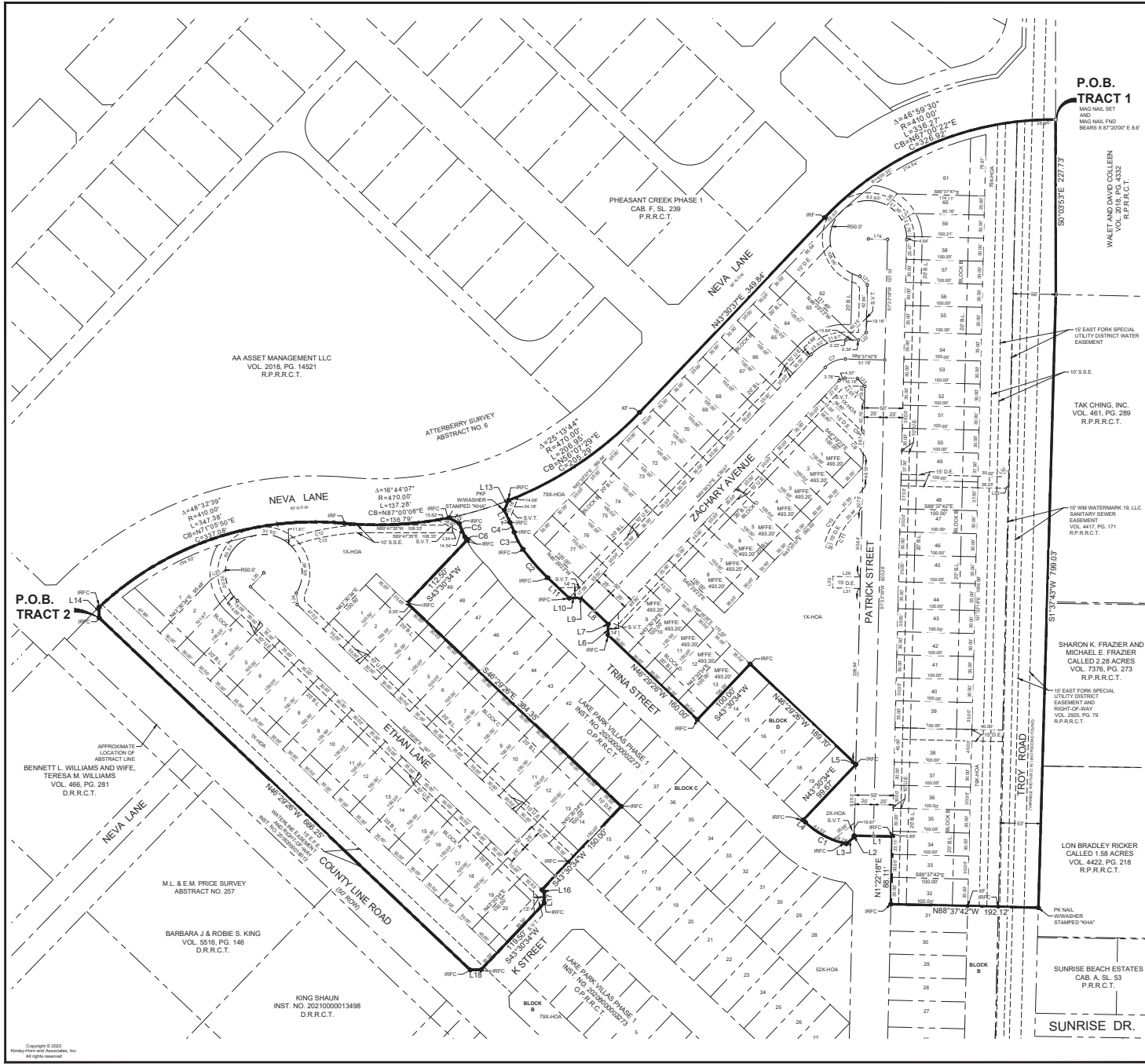
The applicant is proposing to create 93 residential lots and four open space lots for the development of attached residential single family units. This subject property is part of the overall 26 acres of the Lake Park Villas development approved in February of 2021 as Planned Development District (PD 2021-13). The preliminary plat for the site was approved in May of 2017.

The Planned Development allows for attached structures with two to three units on individual lots requiring a minimum lot size of 3,000 sq.ft to which the final plat complies.

The plat shall dedicate necessary rights-of-way, and utility easements.

The final plat complies with the preliminary plat, is technically correct, and abides by all aspects of the City of Wylie Subdivision Regulations.

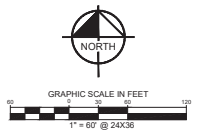
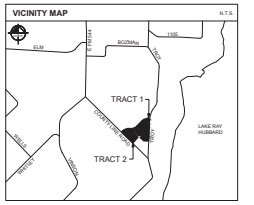
Approval is subject to additions and alterations as required by the City Engineering Department.



BENCH MARK LIST

CITY OF WYLLIE, TX CM 5
LOCATED NORTH OF THE NORTHEAST
INTERSECTION OF TROY ROAD AND COUNTY
ROAD 732. ELEV= 454.277

CITY OF WYLLIE, TX CM 2
LOCATED NORTH OF STATE HIGHWAY NO. 78
AND WEST OF SOUTH BALLARD STREET NEAR
THE SOUTHEAST CORNER OF THE BUILDING
LOCATED AT 104 SOUTH BALLARD STREET.
ELEV= 550.238'



LEGEND

BOUNDARY LINE
RIGHT-OF-WAY LINE
EXISTING ROAD
PROPOSED ROAD
EXISTING UTILITY
PROPOSED UTILITY
EXISTING FENCE
PROPOSED FENCE
EXISTING CURB
PROPOSED CURB
EXISTING DRIVE
PROPOSED DRIVE
EXISTING SIDEWALK
PROPOSED SIDEWALK
EXISTING PAVEMENT
PROPOSED PAVEMENT
EXISTING GRASS
PROPOSED GRASS
EXISTING TREES
PROPOSED TREES
EXISTING WATER
PROPOSED WATER
EXISTING ELEC. CABLE
PROPOSED ELEC. CABLE
EXISTING GAS CABLE
PROPOSED GAS CABLE
EXISTING SANITARY CABLE
PROPOSED SANITARY CABLE
EXISTING TELEPHONE CABLE
PROPOSED TELEPHONE CABLE
EXISTING CABLE TV CABLE
PROPOSED CABLE TV CABLE
EXISTING FIBER OPTIC CABLE
PROPOSED FIBER OPTIC CABLE
EXISTING RAILROAD
PROPOSED RAILROAD
EXISTING AIRPORT
PROPOSED AIRPORT
EXISTING MARINA
PROPOSED MARINA
EXISTING PORT
PROPOSED PORT
EXISTING CANAL
PROPOSED CANAL
EXISTING DAM
PROPOSED DAM
EXISTING BRIDGE
PROPOSED BRIDGE
EXISTING TUNNEL
PROPOSED TUNNEL
EXISTING CAUSEWAY
PROPOSED CAUSEWAY
EXISTING FERRY
PROPOSED FERRY
EXISTING BOAT LIFT
PROPOSED BOAT LIFT
EXISTING MARINA
PROPOSED MARINA
EXISTING PORT
PROPOSED PORT
EXISTING CANAL
PROPOSED CANAL
EXISTING DAM
PROPOSED DAM
EXISTING BRIDGE
PROPOSED BRIDGE
EXISTING TUNNEL
PROPOSED TUNNEL
EXISTING CAUSEWAY
PROPOSED CAUSEWAY
EXISTING FERRY
PROPOSED FERRY
EXISTING BOAT LIFT
PROPOSED BOAT LIFT

LINE TYPE LEGEND

BOUNDARY LINE
RIGHT-OF-WAY LINE
EXISTING ROAD
PROPOSED ROAD
EXISTING UTILITY
PROPOSED UTILITY
EXISTING FENCE
PROPOSED FENCE
EXISTING CURB
PROPOSED CURB
EXISTING DRIVE
PROPOSED DRIVE
EXISTING SIDEWALK
PROPOSED SIDEWALK
EXISTING PAVEMENT
PROPOSED PAVEMENT
EXISTING GRASS
PROPOSED GRASS
EXISTING TREES
PROPOSED TREES
EXISTING WATER
PROPOSED WATER
EXISTING ELEC. CABLE
PROPOSED ELEC. CABLE
EXISTING GAS CABLE
PROPOSED GAS CABLE
EXISTING SANITARY CABLE
PROPOSED SANITARY CABLE
EXISTING TELEPHONE CABLE
PROPOSED TELEPHONE CABLE
EXISTING CABLE TV CABLE
PROPOSED CABLE TV CABLE
EXISTING FIBER OPTIC CABLE
PROPOSED FIBER OPTIC CABLE
EXISTING RAILROAD
PROPOSED RAILROAD
EXISTING AIRPORT
PROPOSED AIRPORT
EXISTING MARINA
PROPOSED MARINA
EXISTING PORT
PROPOSED PORT
EXISTING CANAL
PROPOSED CANAL
EXISTING DAM
PROPOSED DAM
EXISTING BRIDGE
PROPOSED BRIDGE
EXISTING TUNNEL
PROPOSED TUNNEL
EXISTING CAUSEWAY
PROPOSED CAUSEWAY
EXISTING FERRY
PROPOSED FERRY
EXISTING BOAT LIFT
PROPOSED BOAT LIFT

CURVE TABLE

NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	31°40'23"	110.00'	68.81'	N82°10'38"W	68.04'
C2	11°05'53"	255.00'	48.02'	N40°50'00"W	48.00'
C3	10°58'00"	60.00'	25.22'	N47°50'00"W	25.14'
C4	3°05'45"	87.22'	13.77'	N23°50'00"W	13.76'
C5	3°30'28"	312.60'	18.19'	N23°12'41"E	18.12'
C6	3°43'51"	109.50'	5.22'	S28°19'00"E	5.22'
C7	47°51'41"	35.00'	29.24'	S87°28'28"W	28.39'
C8	20°21'18"	92.50'	32.86'	S38°58'44"E	32.60'
C9	7°38'30"	107.50'	14.27'	S42°41'08"E	14.26'
C10	25°01'57"	107.50'	48.37'	N30°58'12"E	48.59'
C11	25°01'57"	92.50'	40.41'	N30°58'12"W	40.09'
C12	21°12'14"	365.00'	112.87'	S79°36'16"W	112.29'
C13	10°58'14"	295.00'	103.42'	S80°09'48"W	102.89'

- Notes:**
- All corners are 5/8" iron rods set with a plastic cap stamped "H&H" unless otherwise noted.
 - Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - Bearing system of this survey is based on the Texas Coordinate System of 1983, North Central Zone (4202) North American Datum of 1983.
 - FLOOD STATEMENT:** According to Map No. 48307C0010L, dated September 20, 2008 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Rockwall County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone X (areas determined to be outside the 0.2% annual chance floodplain). This flood statement shall not remain liability on the part of the surveyor.
 - Approximate Density is 5.87 Dwellings Units / Acre.
 - All HOA lots will be owned and maintained by the HOA.
 - No appearance between the height of 2' and 9' may be placed in visibility triangles or easements.
 - Certificate of Occupancy will not be issued for the property until all the onsite and offsite civil improvements, including wall, and detention pond are constructed and accepted by the City.

**FINAL PLAT
LAKE PARK VILLAS
PHASE 2**

**BLOCK A, LOTS 1-20;
BLOCK B LOTS 32-77, 79X;
BLOCK C, LOTS 1-14, 1X;
BLOCK D LOTS 1-13, 1X-2X**

**93 RESIDENTIAL LOTS
4 HOA LOTS
BEING 9.830 ACRES - TRACT 1
BEING 4.472 ACRES - TRACT 2**

**SITUATED IN THE
ATTERBERRY SURVEY, ABSTRACT NO. 6
CITY OF WYLLIE, ROCKWALL COUNTY, TEXAS**

OWNER:
JHW W LPV, LLC
1180 Waters Edge Drive
Rockwall, TX 75087
Phone: 972-335-6280
Contact: Ryan Joyce

SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone: 972-335-3580
Contact: Michael Marx, R.P.L.S.

APPLICANT:
Kimley-Horn and Associates, Inc.
400 North Oklahoma Dr. Suite 105
Celina, Texas 75009
Phone: 469-501-2200
Contact: Cole Eckerberger, P.E.

Kimley»Horn

400 N. Oklahoma Drive, Suite 105
Celina, Texas 75009
FIRM # 10194503
Tel. No. (469) 501-2200

Scale: 1" = 60'
Drawn by: SPA
Checked by: KHA
Date: FEB. 2022
Project No.: 06324201
Sheet No.: 1 OF 2

STATE OF TEXAS §
COUNTY OF ROCKWALL §
CITY OF WYILE §

WHEREAS JHW W. LPV, LLC, are the sole owner of Tract 1 and Tract 2 of land situated in the Atterberry Survey, Abstract No. 6, City of Wylie, Rockwall County, Texas and being all of the remainder of that tract of land described in Special Warranty Deed to Wylie Lake Park Villas LLC, as recorded in Instrument No. 2021000008330 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

TRACT 1

BEING a tract of land situated in the Atterberry Survey, Abstract No. 6, City of Wylie, Rockwall County, Texas and being all of the remainder of that tract of land described in Special Warranty Deed to JHW W. LPV, LLC, as recorded in Instrument No. 2021000008330 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a mag nail set for the northeast corner of said JHW tract in the west line of a tract of land described in Special Warranty Deed to Walei and David Colleen, as recorded in Volume 2016, Page 4332 of the Deed Records of said county, same being in Troy Road, a variable width right-of-way, from which a mag nail found for witness bears South 87°20'00" East, 8.6 feet;

THENCE South 00°03'00" East, along the east line of said JHW tract, common to the west line of said Colleen tract, and along said Troy Road, a distance of 227.73 feet to a mag nail set for the southwest corner of said Colleen tract;

THENCE South 01°37'43" West, continuing along the east line of said JHW tract and along said Troy Road, and along the west line of a tract of land described in a Warranty Deed with Vendor's Lien to Tak Ching, Inc., as recorded in Volume 481, Page 2489 of the Deed Records of said county, a called 2.28 acre tract described in a Special Warranty Deed to Sharon K. Frazier and Michael E. Frazier, as recorded in Volume 7378, Page 273 of the Real Property Records of said county, and a called 1.58 acre tract described in a Special Warranty Deed to Lon Bradley Rickus, as recorded in Volume 4422, Page 218 of said Real Property Records, a distance of 798.93 feet to a PK nail with a washer, stamped "KHA", found for the most easterly northeast corner of Lake Park Villas Phase 1, an addition to the City of Wylie, as shown on the Final Plat recorded in Instrument No. 2020000002273 of the Official Public Records of said county, also being the northeast corner of a right-of-way dedication to the City of Wylie, as shown on said Lake Park Villas Phase 1;

THENCE in a westerly direction, along the northeasterly lines of said Lake Park Villas Phase 1, the following:

North 88°37'42" West, departing said Troy Road, passing a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northeast corner of Lot 75A-HQA, Block B, passing an "X" cur on a brick column for the northeast corner of Lot 31, Block B, continuing for a total distance of 150.12 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northwest corner of said Lot 31, Block B, same being on the easterly right of way line of Patrick Street, a 50' wide right-of-way;

North 01°22'18" East, along the easterly right of way line of said Patrick Street, a distance of 88.11 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northeast corner of said Patrick Street;

North 88°37'42" West, a distance of 50.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the northeast corner of said Patrick Street;

South 01°22'18" West, along the westerly right of way line of said Patrick Street, a distance of 2.19 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for northerly corner of a visibility dip;

South 50°18'00" West, along said visibility dip, a distance of 13.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for a corner on the northeasterly right of way line of Trina Street, a 50' wide right of way, and being at the beginning of a non-langent curve to the right having a central angle of 31°40'23", a radius of 110.00 feet, a chord bearing and distance of North 62°19'38" West, 60.04 feet;

In a northeasterly direction, along the northeasterly right of way line of said Trina Street, with said curve to the right, an arc distance of 60.81 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 46°29'26" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 4.24 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the southerly corner of Lot 19, Block D;

North 43°30'34" East, departing said Trina Street, along the southeasterly line of said Lot 19, Block D, a distance of 99.67 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", set for corner;

North 01°22'18" East, along an easterly line of said Lot 19, Block D, a distance of 0.44 feet to a point for corner;

North 46°29'26" West, along the northeasterly line of Lots 14-19, Block D, a distance of 189.70 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", set for the northerly corner of said Lot 14;

South 43°30'34" East, along the northeasterly line of said Lot 14, Block D, a distance of 100.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for the westerly corner of said Lot 14, same being on the northeasterly right of way line of aforesaid Trina Street;

North 46°29'26" West, along the northeasterly right of way line of said Trina Street, a distance of 160.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 01°29'24" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 14.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 43°30'37" East, continuing along the northeasterly right of way line of said Trina Street, a distance of 0.50 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 46°29'23" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 50.00 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

South 43°30'37" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 0.50 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 86°30'36" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 14.14 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 46°29'26" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 38.69 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a tangent curve to the right having a central angle of 11°05'03", a radius of 255.00 feet, a chord bearing and distance of North 40°59'00" West, 48.95 feet;

In a northeasterly direction, continuing along the northeasterly right of way line of said Trina Street, with said curve to the right, an arc distance of 49.02 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a compound curve to the right having a central angle of 15°58'00", a radius of 90.50 feet, a chord bearing and distance of North 27°29'20" West, 25.14 feet;

In a northeasterly direction, continuing along the northeasterly right of way line of said Trina Street, with said curve to the right, an arc distance of 25.22 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a non-tangent curve to the left having a central angle of 8°02'44", a radius of 87.22 feet, a chord bearing and distance of North 23°06'28" West, 13.75 feet;

In a northeasterly direction, continuing along the northeasterly right of way line of said Trina Street, with said curve to the left, an arc distance of 13.77 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found for corner;

North 24°42'29" West, continuing along the northeasterly right of way line of said Trina Street, a distance of 17.56 feet to a PK nail with a washer, stamped "KHA", found for southerly corner of a visibility dip;

North 23°52'52" East, along said visibility dip, a distance of 14.03 feet to a 5/8-inch iron rod with a red plastic cap, stamped "KHA", found on the southeasterly right of way line of New Lane, a 50' wide right of way, and being at the beginning of a non-tangent curve to the left having a central angle of 25°12'44", a radius of 470.00 feet, a chord bearing and distance of North 56°07'29" East, 205.29 feet;

THENCE along the southeasterly right-of-way line of said New Lane, the following courses and distances:

In a northeasterly direction, with said curve to the left, an arc distance of 206.95 feet to an "X" cut in concrete found at the end of said curve;

North 43°30'37" East, a distance of 349.84 feet to a 5/8 inch iron rod found at the beginning of a tangent curve to the right having a central angle of 46°59'30", a radius of 410.00 feet, a chord bearing and distance of North 67°00'22" East, 326.92 feet;

In a northeasterly direction, with said curve to the right, an arc distance of 336.27 feet to the POINT OF BEGINNING and containing 9.830 acres or 428.179 square feet of land, more or less.

TRACT 2

BEING a tract of land situated in the Atterberry Survey, Abstract No. 6, City of Wylie, Rockwall County, Texas and being all of the remainder of that tract of land described in Special Warranty Deed to Wylie Lake Park Villas LLC, as recorded in Instrument No. 2021000008330 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the south end of a corner clip at the intersection of the northeast right-of-way line of Vison Road, a variable width right-of-way, with the southeast right-of-way line of New Lane, a 60' wide right-of-way, for the most southerly northwest corner of said JHW tract;

THENCE North 00°10'06" West, along said corner clip, a distance of 13.83 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a non-langent curve to the right having a central angle of 48°32'30", a radius of 410.00 feet, a chord bearing and distance of North 71°05'00" East, 337.08 feet;

THENCE along the northwest line of said JHW tract, common to the southeast right-of-way line of said New Lane, the following courses and distances:

In a northeasterly direction, with said curve to the right, an arc distance of 347.38 feet to a 5/8 inch iron rod found at the beginning of a reverse curve to the left having a central angle of 16°44'07", a radius of 470.00 feet, a chord bearing and distance of North 87°00'06" East, 359.76 feet;

In a northeasterly direction, with said curve to the left, an arc distance of 137.28 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the northwest end of a visibility clip at the intersection of the southeast right-of-way line of said New Lane with the southeast right-of-way line of Trina Street, a 50' feet-wide right-of-way, as dedicated in Lake Park Villas Phase 1, an addition to the City of Wylie, as shown on the Final Plat recorded in Instrument No. 2020000002273 of the Official Public Records of said county;

THENCE South 01°19'30" East, departing the southeasterly right of way line of said New Lane and along said visibility clip, the a distance of 15.16 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found on the southeasterly right of way line of Trina Street, a 50' wide right of way as dedicated in said Lake Park Villas Phase 1, and being at the beginning of a non-langent curve to the left having a central angle of 5°39'25", a radius of 312.50 feet, a chord bearing and distance of South 23°12'41" East, 19.12 feet;

THENCE in a southeasterly direction, along the southeasterly right of way line of said Trina Street, and with said curve to the left, an arc distance of 19.13 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the beginning of a compound curve to the left having a central angle of 2°43'51", a radius of 109.50 feet, a chord bearing and distance of South 26°19'50" East, 5.22 feet;

THENCE in a southeasterly direction, continuing along the southeasterly right of way line of said Trina Street, and with said curve to the left, an arc distance of 5.22 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the northerly corner of Lot 49, Block C of said Lake Park Villas Phase 1;

THENCE South 43°30'34" West, departing the southeasterly right of way line of said Trina Street and along the northeasterly line of said Lot 48, Block C, a distance of 112.50 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the westerly corner of said Lot 49;

THENCE South 46°29'26" East, along the southeasterly line of Lots 38-49, Block C, of said Lake Park Villas Phase 1, a distance of 384.35 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the northerly corner of Lot 15 in said Block C;

THENCE South 43°30'34" West, along the northeasterly line of said Lot 15, Block C, passing a 5/8-inch iron rod with a red plastic cap set for the westerly corner of said Lot 15 and continuing over and across Ethan Lane, a 50' wide right of way as dedicated in said Lake Park Villas Phase 1, a total distance of 150.00 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the westerly corner of said Ethan Lane;

THENCE South 46°29'26" East, along the southwest right-of-way line of said Ethan Lane, a distance of 4.57 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the northwest end of a corner clip at the intersection of the southwest right-of-way line of said Ethan Lane with the northeast right-of-way line of K Street, a 50' wide right-of-way, as dedicated on said Final Plat of Lake Park Villas, Phase 1;

THENCE South 01°29'26" East, along said corner clip, a distance of 14.85 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found for the southeasterly corner of said corner clip;

THENCE South 43°30'34" West, along the northwest right-of-way line of said K Street, a distance of 119.80 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the east end of a corner clip at the intersection of the northwest right-of-way line of said K Street with the northeast right-of-way line of the aforementioned Vison Road;

THENCE South 86°30'34" West, along said corner clip, a distance of 14.14 feet to a 5/8 inch iron rod with a red plastic cap, stamped "KHA", found at the west end of said corner clip on the southeasterly line of said Vison Road;

THENCE North 46°29'26" West, along said common line, a distance of 66.25 feet to the POINT OF BEGINNING and containing 4.472 acres or 194.813 square feet of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT JHW W. LPV, LLC, ACTING HEREIN BY AND THROUGH ITS (ITS) DULY AUTHORIZED OFFICERS, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ADOPTED DESCRIBED PROPERTY AS LAKE PARK VILLAS, PHASE 2 AN ADDITION TO THE CITY OF WYILE, TEXAS, AND DOES HEREBY DEDICATE, IN FEE SIMPLE TO THE PUBLIC USE FOREVER, THE STREETS, RIGHTS-OF-WAY, AND OTHER PUBLIC IMPROVEMENTS SHOWN THEREON, THE STREETS AND ALLEYS, IF ANY, ARE DEDICATED FOR STREET PURPOSES THE EASEMENTS AND PUBLIC USE AREAS, AS SHOWN, ARE DEDICATED, FOR THE PUBLIC USE FOREVER, FOR THE PURPOSES INDICATED ON THIS PLAT. NO BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS SHALL BE CONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE EASEMENTS, AS SHOWN, EXCEPT THAT LANDSCAPE IMPROVEMENTS MAY BE PLACED IN LANDSCAPE EASEMENTS, IF APPROVED BY THE CITY COUNCIL OF THE CITY OF WYILE. IN ADDITION, UTILITY EASEMENTS MAY ALSO BE USED FOR THE MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES DESIRING TO USE OR USING THE SAME UNLESS THE EASEMENT LIMITS THE USE TO PARTICULAR UTILITIES, SAID USE BY PUBLIC UTILITIES BEING SUBORDINATE TO THE PUBLICS AND CITY OF WYILE'S USE THEREOF. CITY OF WYILE, TEXAS SUBDIVISION ORDINANCE ADOPTED 2-25-03, AMENDED 7-24-07.

THE CITY OF WYILE AND PUBLIC UTILITY ENTITIES SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS WHICH MAY IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE, OR EFFICIENCY OF THEIR RESPECTIVE SYSTEMS IN SAID EASEMENTS. THE CITY OF WYILE AND PUBLIC UTILITY ENTITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF ingress and egress TO OR FROM THEIR RESPECTIVE EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING, READING METERS AND ADDING TO OR REMOVING ALL OR PARTS OF THEIR RESPECTIVE SYSTEMS WITHOUT THE NECESSITY AT ANY TIME PROCLAIMING PERMISSION FROM ANYONE.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Wylie, Texas.

WITNESS, my hand, this _____ day of _____, 2022.

BY: JHW W. LPV, LLC

By: Ryan Joyce - Sole Manager

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared RYAN JOYCE, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2022.

Notary Public, State of Texas _____

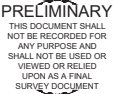
My Commission Expires on: _____

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

That I, Michael B. Marx, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Wylie, Texas.

Michael B. Marx
Registered Professional Land Surveyor No. 5181
Phillipsburg, Texas 75804
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone: 972-335-3580



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared MICHAEL B. MARX, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2022.

Notary Public, State of Texas _____

My Commission Expires on: _____

RECOMMENDED FOR APPROVAL

Chairman, Planning & Zoning Commission
City of Wylie, Texas _____ Date _____

APPROVED FOR CONSTRUCTION

Mayor
City of Wylie, Texas _____ Date _____

ACCEPTED

Mayor
City of Wylie, Texas _____ Date _____

The undersigned, the City Secretary of the City of Wylie, Texas, hereby certifies that the foregoing final plat of the LAKE PARK VILLAS, PHASE 2, a subdivision or addition to the City of Wylie was submitted to the City Council on the _____ day of _____, 20____, and the Council, by formal action, then and there accepted the dedication of streets, alleys, parks, easements, public places, and water and sewer lines as shown and set forth in and upon said plat and said Council further authorized the Mayor to note the acceptance thereof by signing his name as hereinafore subscribed.

Witness my hand this _____ day of _____, A.D. 2022.

City Secretary
City of Wylie, Texas _____

Notes :

- All corners are 5/8" iron rods set with a plastic cap stamped "KHA" unless otherwise noted.
- Selling a portion of this dedication by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
- Fencing system of this survey is based on the Texas Coordinate System of 1983, North Central Zone 4202 North American Datum of 1983.
- FLOOD STATEMENT: According to Map No. 48397C0010L, dated September 26, 2008 of the National Flood Insurance Program Map, Flood Insurance Rate Map of Rockwall County, Texas, Federal Emergency Management Agency, Federal Insurance Administration, this property is within Zone X (areas determined to be outside the 0.2% annual chance floodplain). This flood statement shall not create liability on the part of the surveyor.
- Approximate Density is 5.87 Dwelling Units / Acre.
- All HOA lots will be owned and maintained by the HOA.
- No apurtenance between the height of 2' and 9' may be placed in visibility triangles or easements.
- Certificate of Occupancy will not be issued for the property until all the onsite and offsite out improvements, screening wall, and detention pond are constructed and accepted by the City.

BENCH MARK LIST

CITY OF WYILE, TX CM 5
LOCATED NORTH OF THE NORTHEAST
INTERSECTION OF TROY ROAD AND COUNTY
ROAD 732. ELEV= 454.277
CITY OF WYILE, TX CM 2
LOCATED NORTH OF STATE HIGHWAY No. 78
AND WEST OF SOUTH BALLARD STREET NEAR
THE SOUTHEAST CORNER OF THE BUILDING
LOCATED AT 704 SOUTH BALLARD STREET.
ELEV= 550.238'

**FINAL PLAT
LAKE PARK VILLAS
PHASE 2**

BLOCK A, LOTS 1-20;
BLOCK B LOTS 32-77, 79X;
BLOCK C, LOTS 1-14, 1X;
BLOCK D LOTS 1-13, 1X-2X

93 RESIDENTIAL LOTS
4 HOA LOTS
BEING 9.830 ACRES -TRACT 1
BEING 4.472 ACRES -TRACT 2

SITUATED IN THE
ATTERBERRY SURVEY, ABSTRACT NO. 6
CITY OF WYILE, ROCKWALL COUNTY, TEXAS

Kimley»Horn

400 N. Oklahoma Drive, Suite 105 Tel. No. (469) 501-2200
Celina, Texas 75009
FIRM # 10194503

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	SPA	KHA	FEB. 2022	063249201	2 OF 2

SURVEYOR:
Kimley-Horn and Associates, Inc.
6160 Warren Parkway, Suite 210
Frisco, Texas 75034
Phone: 972-335-3580
Contact : Michael Marx, R.P.L.S.

APPLICANT:
Kimley-Horn and Associates, Inc.
400 North Oklahoma Dr. Suite 105
Celina, Texas 75009
Phone: 469-501-2200
Contact : Cole Eckerberger, P.E.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: C

Subject

Consider, and act upon a recommendation to City Council regarding a Final Plat for Kreymer East Phase 2, establishing 144 residential lots and one open space lot on 43.089 acres, generally located on WA Allen Blvd and Glen Eagle Drive.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Bloomfield Homes

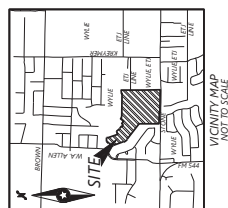
APPLICANT: Westwood

The applicant is proposing to create 144 residential lots and one open space lot for the development of residential single family homes and a park. This subject property is part of the overall 70 acres of the Kreymer East development approved in June 2016 as Planned Development District (PD 2015-23). The preliminary plat for this site was approved in August of 2020.

The PD allows for a maximum of 245 lots with a minimum lot size of 8,500 square feet for the entire 70 acre development. Phase 1 measures 26.782 acres and contains 86 residential lots. The combined residential lots of phase 1 and 2 is 230 lots being a density of 3.28 residential units per acre. There are no additional planned phases within this 70 acre planned development.

The final plat is compliant with the preliminary plat and shall dedicate necessary rights-of-way, and utility easements.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.



GENERAL NOTES:

- Trail strips shown herein are created from actual field surveys. **MAJOR** roads shown are those with posted speeds of 45 mph or greater and are shown current movements.
- Selling a portion of any lot in this addition by means and bounds is a violation of state law and city ordinance and is subject to penalties imposed by law.
- Lot 1X, Dedic and Reiland (Dedication to the City of Wylie, Maintained by the Home Owner Association (HOA)) as per Plan Development Agreement CD-20-12-23.
- All lot perimeter corners are set monumented with a 5/8" diameter iron rod with yellow plastic cap stamped with "WESTWOOD 112" unless noted. All interior corners are set monumented with a 1/2" diameter iron rod with yellow plastic cap stamped "WESTWOOD 112" unless otherwise noted.
- No appearance between the Neigh of 2' and 8' may be placed in the

02000000

[illegible]

SURVEYOR / ENGINEER
Westwood

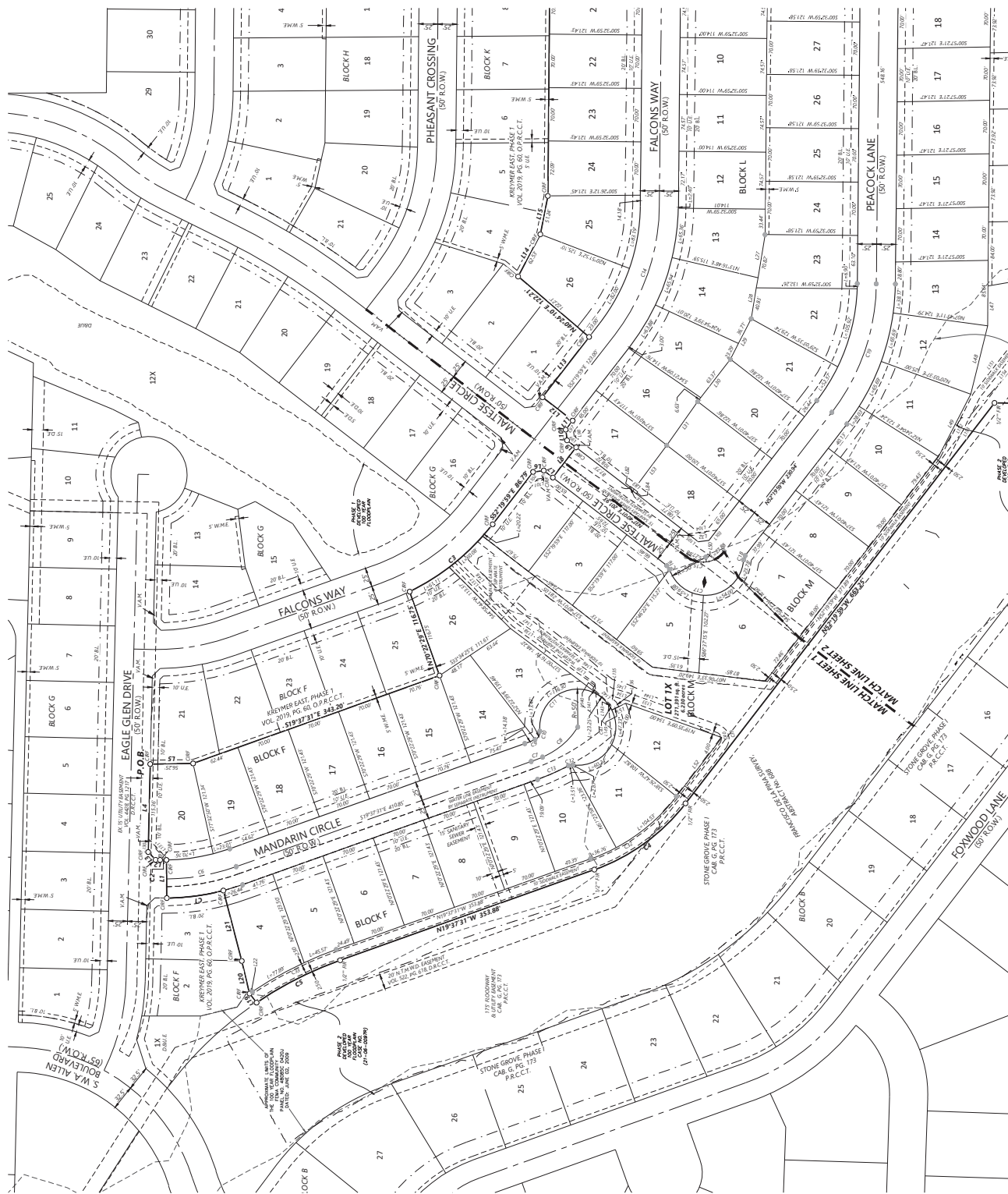
Phone (214) 473-4640
Toll Free (888) 937-5750
2901 Dallas Parkway, Suite 400
Plano, TX 75093
Waterbody Professional Services, Inc.
www.waterbody.com
B/E Firm Reg. No. 11756
B/E Firm Reg. No. 90074201

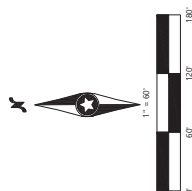
OWNER
BLOOMFIELD HOMES, L.P.
1050 EAST HIGHWAY 114, SUITE 210
SOUTH LAKE, TEXAS 76092

FINAL PLAT

FINAL PLAN
KREYMER EAST, PHASE 2
OF
LOTS 4-20, 26, BLOCK F; LOTS 13, 14, BLOCK
K; LOTS 15-26, BLOCK K; LOTS 147, BLOCK L;
LOTS 1X, 248, BLOCK M; LOTS 1-18, BLOCK N; LOTS
144 RESIDENTIAL LOTS & 1 COMMON AREA LOT
43.089 ACRES OF LAND

OUT OF THE
FRANCISCO DE LA PINA SURVEY, ABSTRACT NO.
IN THE
CITY OF WYLIE, COLLIN COUNTY, TEXAS





GENERAL NOTES:

1. The bearings shown herein are created from actual field surveys.

2. HADCO Survey of 1986, General 2016 (40202), Grid Bearings & Ties to show control monuments.

3. Selling a portion of any lot in this addition by meters and bounds is a violation of state law and city ordinance and is subject to penalties imposed by law.

4. Lot 1X, Dedicated Parkland and Drainage Easement to the City of Wylie, Authorized by the Home Owner's Association (HOA) 2015-27.

[illegible]

FINAL PLAT
OF

KREYMER EAST, PHASE 2
OF
LOTS 4-20, 26, BLOCK F; LOTS 13, 14, BLOCK J;
LOTS 15-26, BLOCK K; LOTS 1-47, BLOCK L;
LOTS 1X, 2-48, BLOCK M; LOTS 1-18; BLOCK N; LOT
1-44 RESIDENTIAL LOTS & 1 COMMON AREA LO
43.089 ACRES OF LAND

OUT OF THE
FRANCISCO DELA PINA SURVEY ABSTRACT NO. 688

IN THE
CITY OF WILF COLLIN COUNTY, TEXAS

SURVEYOR / ENGINEER

Westwood

Phone (214) 473-4640
Toll Free (888) 937-5150
2901 Dallas Parkway
Plano, TX 75093

Westborough, MA 01581
Westwood Professional Services, Inc.
Attn: Mr. J. James Davis, Esq. 55 West
Main Street, Suite 200

100% Firm Reg. No. 11725
TBPLS Firm Reg. No. 10074301
OWNER

ROOMFIELD HOMES, L.P.

EAST HIGHWAY 114, SUITE 21
SOUTH LAKE, TEXAS 76092

(817) 416-1572

4,2022 JOB NO. 0003171.02 KIRBY

[illegible]

Curve	Length	Radius	Curve Data		
			Start	End	Good Length
C0	65.0	80.0	1.5707963	1.5707963	64.44
C1	65.0	10.0	1.5707963	1.5707963	64.44
C2	65.0	10.0	1.5707963	1.5707963	64.44
C3	256.0	300.0	1.5707963	1.5707963	76.50
C4	62.0	62.0	1.5707963	1.5707963	61.68
C5	317.0	10.0	1.5707963	1.5707963	321.0
C6	147.4	300.0	1.5707963	1.5707963	146.20
C7	147.4	300.0	1.5707963	1.5707963	146.20
C8	147.4	300.0	1.5707963	1.5707963	146.20
C9	317.0	10.0	1.5707963	1.5707963	321.0
C10	317.0	10.0	1.5707963	1.5707963	321.0
C11	317.0	10.0	1.5707963	1.5707963	321.0
C12	317.0	10.0	1.5707963	1.5707963	321.0
C13	317.0	10.0	1.5707963	1.5707963	321.0
C14	317.0	10.0	1.5707963	1.5707963	321.0
C15	317.0	10.0	1.5707963	1.5707963	321.0
C16	317.0	10.0	1.5707963	1.5707963	321.0
C17	317.0	10.0	1.5707963	1.5707963	321.0
C18	317.0	10.0	1.5707963	1.5707963	321.0
C19	317.0	10.0	1.5707963	1.5707963	321.0
C20	317.0	10.0	1.5707963	1.5707963	321.0
C21	317.0	10.0	1.5707963	1.5707963	321.0
C22	317.0	10.0	1.5707963	1.5707963	321.0
C23	317.0	10.0	1.5707963	1.5707963	321.0
C24	317.0	10.0	1.5707963	1.5707963	321.0
C25	317.0	10.0	1.5707963	1.5707963	321.0
C26	317.0	10.0	1.5707963	1.5707963	321.0
C27	317.0	10.0	1.5707963	1.5707963	321.0
C28	317.0	10.0	1.5707963	1.5707963	321.0
C29	317.0	10.0	1.5707963	1.5707963	321.0
C30	317.0	10.0	1.5707963	1.5707963	321.0
C31	317.0	10.0	1.5707963	1.5707963	321.0
C32	317.0	10.0	1.5707963	1.5707963	321.0
C33	317.0	10.0	1.5707963	1.5707963	321.0
C34	317.0	10.0	1.5707963	1.5707963	321.0
C35	317.0	10.0	1.5707963	1.5707963	321.0
C36	317.0	10.0	1.5707963	1.5707963	321.0
C37	317.0	10.0	1.5707963	1.5707963	321.0
C38	317.0	10.0	1.5707963	1.5707963	321.0
C39	317.0	10.0	1.5707963	1.5707963	321.0
C40	317.0	10.0	1.5707963	1.5707963	321.0
C41	317.0	10.0	1.5707963	1.5707963	321.0
C42	317.0	10.0	1.5707963	1.5707963	321.0
C43	317.0	10.0	1.5707963	1.5707963	321.0
C44	317.0	10.0	1.5707963	1.5707963	321.0
C45	317.0	10.0	1.5707963	1.5707963	321.0
C46	317.0	10.0	1.5707963	1.5707963	321.0
C47	317.0	10.0	1.5707963	1.5707963	321.0
C48	317.0	10.0	1.5707963	1.5707963	321.0
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C55	317.0	10.0	1.5707963	1.5707963	321.0
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C59	317.0	10.0	1.5707963	1.5707963	321.0
C60	317.0	10.0	1.5707963	1.5707963	321.0
C61	317.0	10.0	1.5707963	1.5707963	321.0
C62	317.0	10.0	1.5707963	1.5707963	321.0
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C64	317.0	10.0	1.5707963	1.5707963	321.0
C65	317.0	10.0	1.5707963	1.5707963	321.0
C66	317.0	10.0	1.5707963	1.5707963	321.0
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C69	317.0	10.0	1.5707963	1.5707963	321.0
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C71	317.0	10.0	1.5707963	1.5707963	321.0
C72	317.0	10.0	1.5707963	1.5707963	321.0
C73	317.0	10.0	1.5707963	1.5707963	321.0
C74	317.0	10.0	1.5707963	1.5707963	321.0
C75	317.0	10.0	1.5707963	1.5707963	321.0
C76	317.0	10.0	1.5707963	1.5707963	321.0
C77	317.0	10.0	1.5707963	1.5707963	321.0
C78	317.0	10.0	1.5707963	1.5707963	321.0
C79	317.0	10.0	1.5707963	1.5707963	321.0
C80	317.0	10.0	1.5707963	1.5707963	321.0
C81	317.0	10.0	1.5707963	1.5707963	321.0
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C83	317.0	10.0	1.5707963	1.5707963	321.0
C84	317.0	10.0	1.5707963	1.5707963	321.0
C85	317.0	10.0	1.5707963	1.5707963	321.0
C86	317.0	10.0	1.5707963	1.5707963	321.0
C87	317.0	10.0	1.5707963	1.5707963	321.0
C88	317.0	10.0	1.5707963	1.5707963	321.0
C89	317.0	10.0	1.5707963	1.5707963	321.0
C90	317.0	10.0	1.5707963	1.5707963	321.0
C91	317.0	10.0	1.5707963	1.5707963	321.0
C92	317.0	10.0	1.5707963	1.5707963	321.0
C93	317.0	10.0	1.5707963	1.5707963	321.0
C94	317.0	10.0	1.5707963	1.5707963	321.0
C95	317.0	10.0	1.5707963	1.5707963	321.0
C96	317.0	10.0	1.5707963	1.5707963	321.0
C97	317.0	10.0	1.5707963	1.5707963	321.0
C98	317.0	10.0	1.5707963	1.5707963	321.0
C99	317.0	10.0	1.5707963	1.5707963	321.0
C100	317.0	10.0	1.5707963	1.5707963	321.0

Curve #	Length	Mean	Curve Data		
			Ratio	Count/Length	Good Length
C-1	4.52	25.00	1.072427	1.072427	4.52
C-2	4.52	25.00	1.072427	1.072427	4.52
C-3	14.41	30.59	1.370191	1.370191	14.03
C-4	14.41	30.59	1.370191	1.370191	14.03
C-5	14.08	30.59	1.023429	1.023429	14.08
C-6	12.97	40.10	0.887379	0.887379	12.96
C-7	12.97	40.10	0.887379	0.887379	12.96
C-8	11.36	38.00	1.070351	1.070351	11.36
C-9	11.36	38.00	1.070351	1.070351	11.36
C-10	11.36	38.00	1.070351	1.070351	11.36
C-11	14.41	30.59	1.370191	1.370191	14.03
C-12	14.41	30.59	1.370191	1.370191	14.03
C-13	14.41	30.59	1.370191	1.370191	14.03
C-14	14.41	30.59	1.370191	1.370191	14.03
C-15	14.41	30.59	1.370191	1.370191	14.03
C-16	14.41	30.59	1.370191	1.370191	14.03
C-17	14.41	30.59	1.370191	1.370191	14.03
C-18	14.41	30.59	1.370191	1.370191	14.03
C-19	14.41	30.59	1.370191	1.370191	14.03
C-20	14.41	30.59	1.370191	1.370191	14.03
C-21	14.41	30.59	1.370191	1.370191	14.03
C-22	14.41	30.59	1.370191	1.370191	14.03
C-23	14.41	30.59	1.370191	1.370191	14.03
C-24	14.41	30.59	1.370191	1.370191	14.03
C-25	14.41	30.59	1.370191	1.370191	14.03
C-26	14.41	30.59	1.370191	1.370191	14.03
C-27	14.41	30.59	1.370191	1.370191	14.03
C-28	14.41	30.59	1.370191	1.370191	14.03
C-29	14.41	30.59	1.370191	1.370191	14.03
C-30	14.41	30.59	1.370191	1.370191	14.03
C-31	14.41	30.59	1.370191	1.370191	14.03
C-32	14.41	30.59	1.370191	1.370191	14.03
C-33	14.41	30.59	1.370191	1.370191	14.03
C-34	14.41	30.59	1.370191	1.370191	14.03
C-35	14.41	30.59	1.370191	1.370191	14.03
C-36	14.41	30.59	1.370191	1.370191	14.03
C-37	14.41	30.59	1.370191	1.370191	14.03
C-38	14.41	30.59	1.370191	1.370191	14.03
C-39	14.41	30.59	1.370191	1.370191	14.03
C-40	14.41	30.59	1.370191	1.370191	14.03
C-41	14.41	30.59	1.370191	1.370191	14.03
C-42	14.41	30.59	1.370191	1.370191	14.03
C-43	14.41	30.59	1.370191	1.370191	14.03
C-44	14.41	30.59	1.370191	1.370191	14.03
C-45	14.41	30.59	1.370191	1.370191	14.03
C-46	14.41	30.59	1.370191	1.370191	14.03
C-47	14.41	30.59	1.370191	1.370191	14.03
C-48	14.41	30.59	1.370191	1.370191	14.03
C-49	14.41	30.59	1.370191	1.370191	14.03
C-50	14.41	30.59	1.370191	1.370191	14.03
C-51	14.41	30.59	1.370191	1.370191	14.03
C-52	14.41	30.59	1.370191	1.370191	14.03
C-53	14.41	30.59	1.370191	1.370191	14.03
C-54	14.41	30.59	1.370191	1.370191	14.03
C-55	14.41	30.59	1.370191	1.370191	14.03
C-56	14.41	30.59	1.370191	1.370191	14.03
C-57	14.41	30.59	1.370191	1.370191	14.03
C-58	14.41	30.59	1.370191	1.370191	14.03
C-59	14.41	30.59	1.370191	1.370191	14.03
C-60	14.41	30.59	1.370191	1.370191	14.03
C-61	14.41	30.59	1.370191	1.370191	14.03
C-62	14.41	30.59	1.370191	1.370191	14.03
C-63	14.41	30.59	1.370191	1.370191	14.03
C-64	14.41	30.59	1.370191	1.370191	14.03
C-65	14.41	30.59	1.370191	1.370191	14.03
C-66	14.41	30.59	1.370191	1.370191	14.03
C-67	14.41	30.59	1.370191	1.370191	14.03
C-68	14.41	30.59	1.370191	1.370191	14.03
C-69	14.41	30.59	1.370191	1.370191	14.03
C-70	14.41	30.59	1.370191	1.370191	14.03
C-71	14.41	30.59	1.370191	1.370191	14.03
C-72	14.41	30.59	1.370191	1.370191	14.03
C-73	14.41	30.59	1.370191	1.370191	14.03
C-74	14.41	30.59	1.370191	1.370191	14.03
C-75	14.41	30.59	1.370191	1.370191	14.03
C-76	14.41	30.59	1.370191	1.370191	14.03
C-77	14.41	30.59	1.370191	1.370191	14.03
C-78	14.41	30.59	1.370191	1.370191	14.03
C-79	14.41	30.59	1.370191	1.370191	14.03
C-80	14.41	30.59	1.370191	1.370191	14.03
C-81	14.41	30.59	1.370191	1.370191	14.03
C-82	14.41	30.59	1.370191	1.370191	14.03
C-83	14.41	30.59	1.370191	1.370191	14.03
C-84	14.41	30.59	1.370191	1.370191	14.03
C-85	14.41	30.59	1.370191	1.370191	14.03
C-86	14.41	30.59	1.370191	1.370191	14.03
C-87	14.41	30.59	1.370191	1.370191	14.03
C-88	14.41	30.59	1.370191	1.370191	14.03
C-89	14.41	30.59	1.370191	1.370191	14.03
C-90	14.41	30.59	1.370191	1.370191	14.03
C-91	14.41	30.59	1.370191	1.370191	14.03
C-92	14.41	30.59	1.370191	1.370191	14.03
C-93	14.41	30.59	1.370191	1.370191	14.03
C-94	14.41	30.59	1.370191	1.370191	14.03
C-95	14.41	30.59	1.370191	1.370191	14.03
C-96	14.41	30.59	1.370191	1.370191	14.03
C-97	14.41	30.59	1.370191	1.370191	14.03
C-98	14.41	30.59	1.370191	1.370191	14.03
C-99	14.41	30.59	1.370191	1.370191	14.03
C-100	14.41	30.59	1.370191	1.370191	14.03

User Table		
User #	Target	Direction
1.136	1.136	1.136
1.137	1.137	1.137
1.138	1.138	1.138
1.139	1.139	1.139
1.140	1.140	1.140
1.141	1.141	1.141
1.142	1.142	1.142
1.143	1.143	1.143
1.144	1.144	1.144
1.145	1.145	1.145
1.146	1.146	1.146
1.147	1.147	1.147
1.148	1.148	1.148
1.149	1.149	1.149
1.150	1.150	1.150
1.151	1.151	1.151
1.152	1.152	1.152
1.153	1.153	1.153
1.154	1.154	1.154
1.155	1.155	1.155
1.156	1.156	1.156
1.157	1.157	1.157
1.158	1.158	1.158
1.159	1.159	1.159
1.160	1.160	1.160
1.161	1.161	1.161
1.162	1.162	1.162
1.163	1.163	1.163
1.164	1.164	1.164
1.165	1.165	1.165
1.166	1.166	1.166
1.167	1.167	1.167
1.168	1.168	1.168
1.169	1.169	1.169
1.170	1.170	1.170
1.171	1.171	1.171
1.172	1.172	1.172
1.173	1.173	1.173
1.174	1.174	1.174
1.175	1.175	1.175
1.176	1.176	1.176
1.177	1.177	1.177
1.178	1.178	1.178
1.179	1.179	1.179
1.180	1.180	1.180
1.181	1.181	1.181
1.182	1.182	1.182
1.183	1.183	1.183
1.184	1.184	1.184
1.185	1.185	1.185
1.186	1.186	1.186
1.187	1.187	1.187
1.188	1.188	1.188
1.189	1.189	1.189
1.190	1.190	1.190
1.191	1.191	1.191
1.192	1.192	1.192
1.193	1.193	1.193
1.194	1.194	1.194
1.195	1.195	1.195
1.196	1.196	1.196
1.197	1.197	1.197
1.198	1.198	1.198
1.199	1.199	1.199
1.200	1.200	1.200

Low Table			Low Table		
Line #	Length	Direction	Line #	Length	Direction
1	1200	30.00	1201	30.00	30.00
2	1200	30.00	1202	30.00	30.00
3	1200	30.00	1203	30.00	30.00
4	1200	30.00	1204	30.00	30.00
5	1200	30.00	1205	30.00	30.00
6	1200	30.00	1206	30.00	30.00
7	1200	30.00	1207	30.00	30.00
8	1200	30.00	1208	30.00	30.00
9	1200	30.00	1209	30.00	30.00
10	1200	30.00	1210	30.00	30.00
11	1200	30.00	1211	30.00	30.00
12	1200	30.00	1212	30.00	30.00
13	1200	30.00	1213	30.00	30.00
14	1200	30.00	1214	30.00	30.00
15	1200	30.00	1215	30.00	30.00
16	1200	30.00	1216	30.00	30.00
17	1200	30.00	1217	30.00	30.00
18	1200	30.00	1218	30.00	30.00
19	1200	30.00	1219	30.00	30.00
20	1200	30.00	1220	30.00	30.00
21	1200	30.00	1221	30.00	30.00
22	1200	30.00	1222	30.00	30.00
23	1200	30.00	1223	30.00	30.00
24	1200	30.00	1224	30.00	30.00
25	1200	30.00	1225	30.00	30.00
26	1200	30.00	1226	30.00	30.00
27	1200	30.00	1227	30.00	30.00
28	1200	30.00	1228	30.00	30.00
29	1200	30.00	1229	30.00	30.00
30	1200	30.00	1230	30.00	30.00

Use Table		Use Table	
Use#1	Use#2	Use#1	Use#2
1	10	1	10
2	11	2	11
3	12	3	12
4	13	4	13
5	14	5	14
6	15	6	15
7	16	7	16
8	17	8	17
9	18	9	18
10	19	10	19
11	20	11	20
12	21	12	21
13	22	13	22
14	23	14	23
15	24	15	24
16	25	16	25
17	26	17	26
18	27	18	27
19	28	19	28
20	29	20	29
21	30	21	30
22	31	22	31
23	32	23	32
24	33	24	33
25	34	25	34
26	35	26	35
27	36	27	36
28	37	28	37
29	38	29	38
30	39	30	39
31	40	31	40
32	41	32	41
33	42	33	42
34	43	34	43
35	44	35	44
36	45	36	45
37	46	37	46
38	47	38	47
39	48	39	48
40	49	40	49
41	50	41	50
42	51	42	51
43	52	43	52
44	53	44	53
45	54	45	54
46	55	46	55
47	56	47	56
48	57	48	57
49	58	49	58
50	59	50	59
51	60	51	60
52	61	52	61
53	62	53	62
54	63	54	63
55	64	55	64
56	65	56	65
57	66	57	66
58	67	58	67
59	68	59	68
60	69	60	69
61	70	61	70
62	71	62	71
63	72	63	72
64	73	64	73
65	74	65	74
66	75	66	75
67	76	67	76
68	77	68	77
69	78	69	78
70	79	70	79
71	80	71	80
72	81	72	81
73	82	73	82
74	83	74	83
75	84	75	84
76	85	76	85
77	86	77	86
78	87	78	87
79	88	79	88
80	89	80	89
81	90	81	90
82	91	82	91
83	92	83	92
84	93	84	93
85	94	85	94
86	95	86	95
87	96	87	96
88	97	88	97
89	98	89	98
90	99	90	99
91	100	91	100
92	101	92	101
93	102	93	102
94	103	94	103
95	104	95	104
96	105	96	105
97	106	97	106
98	107	98	107
99	108	99	108
100	109	100	109
101	110	101	110
102	111	102	111
103	112	103	112

Year	Use (kWh)	Revenue (\$)
17	5,000	500
18	5,000	500
19	5,000	500
20	5,000	500
21	5,000	500
22	5,000	500
23	5,000	500
24	5,000	500
25	5,000	500
26	5,000	500
27	5,000	500
28	5,000	500
29	5,000	500
30	5,000	500
31	5,000	500
32	5,000	500
33	5,000	500
34	5,000	500
35	5,000	500
36	5,000	500
37	5,000	500
38	5,000	500
39	5,000	500
40	5,000	500
41	5,000	500
42	5,000	500
43	5,000	500
44	5,000	500
45	5,000	500
46	5,000	500
47	5,000	500
48	5,000	500
49	5,000	500
50	5,000	500
51	5,000	500
52	5,000	500
53	5,000	500
54	5,000	500
55	5,000	500
56	5,000	500
57	5,000	500
58	5,000	500
59	5,000	500
60	5,000	500
61	5,000	500
62	5,000	500
63	5,000	500
64	5,000	500
65	5,000	500
66	5,000	500
67	5,000	500
68	5,000	500
69	5,000	500
70	5,000	500
71	5,000	500
72	5,000	500
73	5,000	500
74	5,000	500
75	5,000	500
76	5,000	500
77	5,000	500
78	5,000	500
79	5,000	500
80	5,000	500
81	5,000	500
82	5,000	500
83	5,000	500
84	5,000	500
85	5,000	500
86	5,000	500
87	5,000	500
88	5,000	500
89	5,000	500
90	5,000	500
91	5,000	500
92	5,000	500
93	5,000	500
94	5,000	500
95	5,000	500
96	5,000	500
97	5,000	500
98	5,000	500
99	5,000	500
100	5,000	500



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: D

Subject

Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Hensley Park Addition, establishing one lot on two acres, located on the northwest corner of Hensley Road and Hooper Road.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Keles Group

APPLICANT: Geonav

The applicant has submitted a Preliminary Plat to create Lot 1, Block A of Hensley Park Addition. The property is located on the northwest corner of Hensley Road and Hooper Road. The land is zoned Light Industrial (LI). The purpose of the Preliminary Plat is to create the lot for a four-building LI development.

The site plan for the development is on the regular agenda.

This plat is dedicating a 30' fire lane and access easement with access from Hooper and Hensley Road. This access easement shall also function as a utility easement for the relocation of an existing water line that runs east to west on the site.

The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: E

Subject

Consider, and act upon a recommendation to City Council regarding a Preliminary Plat of Lot 1, Block A of Senior Medical Addition, establishing two lots on 21.3224 acres, generally located adjacent and southwest of 2300 FM 544.

Recommendation

Motion to recommend **approval** as presented.

Discussion

OWNER: Episcopal Church of Dallas

APPLICANT: Roers Development

The applicant has submitted a Preliminary Plat to create Lot 1, Block A of Senior Medical Addition. The property is generally located adjacent and southwest of 2300 FM 544. The property is zoned Planned Development-Multifamily (PD 2022-06) approved in January 2022 and allows for an age restricted multi-family use.

The purpose of the Preliminary Plat is to create two lots to allow for the aforementioned development of an age restricted multi-family use.

The site plan for the development is on the regular agenda.

This plat dedicates a 26' fire lane and access easement with access from Medical Plaza Drive. The plat also provides utility easements and the location of the 100-year floodplain.

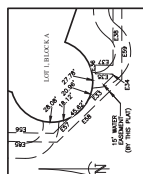
The plat is technically correct and abides by all aspects of the City of Wylie Subdivision Regulations. Approval is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

Case No.	Year	Length	Depth	Area	Volume	Weight
C1	2000	6.32	17.21	107.21	1.07	0.32
C2	2000	6.32	17.21	107.21	1.07	0.32
C3	2000	6.32	17.21	107.21	1.07	0.32
C4	2000	6.32	17.21	107.21	1.07	0.32
C5	2000	6.32	17.21	107.21	1.07	0.32
C6	2000	6.32	17.21	107.21	1.07	0.32
C7	2000	6.32	17.21	107.21	1.07	0.32
C8	2000	6.32	17.21	107.21	1.07	0.32
C9	2000	6.32	17.21	107.21	1.07	0.32
C10	2000	6.32	17.21	107.21	1.07	0.32
C11	2000	6.32	17.21	107.21	1.07	0.32
C12	2000	6.32	17.21	107.21	1.07	0.32
C13	2000	6.32	17.21	107.21	1.07	0.32
C14	2000	6.32	17.21	107.21	1.07	0.32
C15	2000	6.32	17.21	107.21	1.07	0.32
C16	2000	6.32	17.21	107.21	1.07	0.32
C17	2000	6.32	17.21	107.21	1.07	0.32
C18	2000	6.32	17.21	107.21	1.07	0.32
C19	2000	6.32	17.21	107.21	1.07	0.32
C20	2000	6.32	17.21	107.21	1.07	0.32
C21	2000	6.32	17.21	107.21	1.07	0.32
C22	2000	6.32	17.21	107.21	1.07	0.32
C23	2000	6.32	17.21	107.21	1.07	0.32
C24	2000	6.32	17.21	107.21	1.07	0.32
C25	2000	6.32	17.21	107.21	1.07	0.32
C26	2000	6.32	17.21	107.21	1.07	0.32
C27	2000	6.32	17.21	107.21	1.07	0.32
C28	2000	6.32	17.21	107.21	1.07	0.32
C29	2000	6.32	17.21	107.21	1.07	0.32
C30	2000	6.32	17.21	107.21	1.07	0.32
C31	2000	6.32	17.21	107.21	1.07	0.32
C32	2000	6.32	17.21	107.21	1.07	0.32
C33	2000	6.32	17.21	107.21	1.07	0.32

BOUNDARY LINE TABLE

Case	No.	Category	Number	Percentage	Percentage	No.	Category	Number	Percentage	Percentage
1	1	1	30	100	100	1	1	30	100	100
2	2	2	30	100	100	2	2	30	100	100
3	3	3	30	100	100	3	3	30	100	100
4	4	4	30	100	100	4	4	30	100	100
5	5	5	30	100	100	5	5	30	100	100
6	6	6	30	100	100	6	6	30	100	100
7	7	7	30	100	100	7	7	30	100	100
8	8	8	30	100	100	8	8	30	100	100
9	9	9	30	100	100	9	9	30	100	100
10	10	10	30	100	100	10	10	30	100	100
11	11	11	30	100	100	11	11	30	100	100
12	12	12	30	100	100	12	12	30	100	100
13	13	13	30	100	100	13	13	30	100	100
14	14	14	30	100	100	14	14	30	100	100
15	15	15	30	100	100	15	15	30	100	100
16	16	16	30	100	100	16	16	30	100	100
17	17	17	30	100	100	17	17	30	100	100
18	18	18	30	100	100	18	18	30	100	100
19	19	19	30	100	100	19	19	30	100	100
20	20	20	30	100	100	20	20	30	100	100
21	21	21	30	100	100	21	21	30	100	100
22	22	22	30	100	100	22	22	30	100	100
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24	24	24	30	100	100	24	24	30	100	100
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26	26	26	30	100	100	26	26	30	100	100
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28	28	28	30	100	100	28	28	30	100	100
29	29	29	30	100	100	29	29	30	100	100
30	30	30	30	100	100	30	30	30	100	100
31	31	31	30	100	100	31	31	30	100	100
32	32	32	30	100	100	32	32	30	100	100
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34	34	34	30	100	100	34	34	30	100	100
35	35	35	30	100	100	35	35	30	100	100
36	36	36	30	100	100	36	36	30	100	100
37	37	37	30	100	100	37	37	30	100	100
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53	53	53	30	100	100	53	53	30	100	100
54	54	54	30	100	100	54	54	30	100	100
55	55	55	30	100	100	55	55	30	100	100
56	56	56	30	100	100	56	56	30	100	100
57	57	57	30	100	100	57	57	30	100	100
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74	74	74	30	100	100	74	74	30	100	100
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76	76	76	30	100	100	76	76	30	100	100
77	77	77	30	100	100	77	77	30	100	100
78	78	78	30	100	100	78	78	30	100	100
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85	85	85	30	100	100	85	85	30	100	100
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100	100	100	30	100	100	100	100	30	100	100

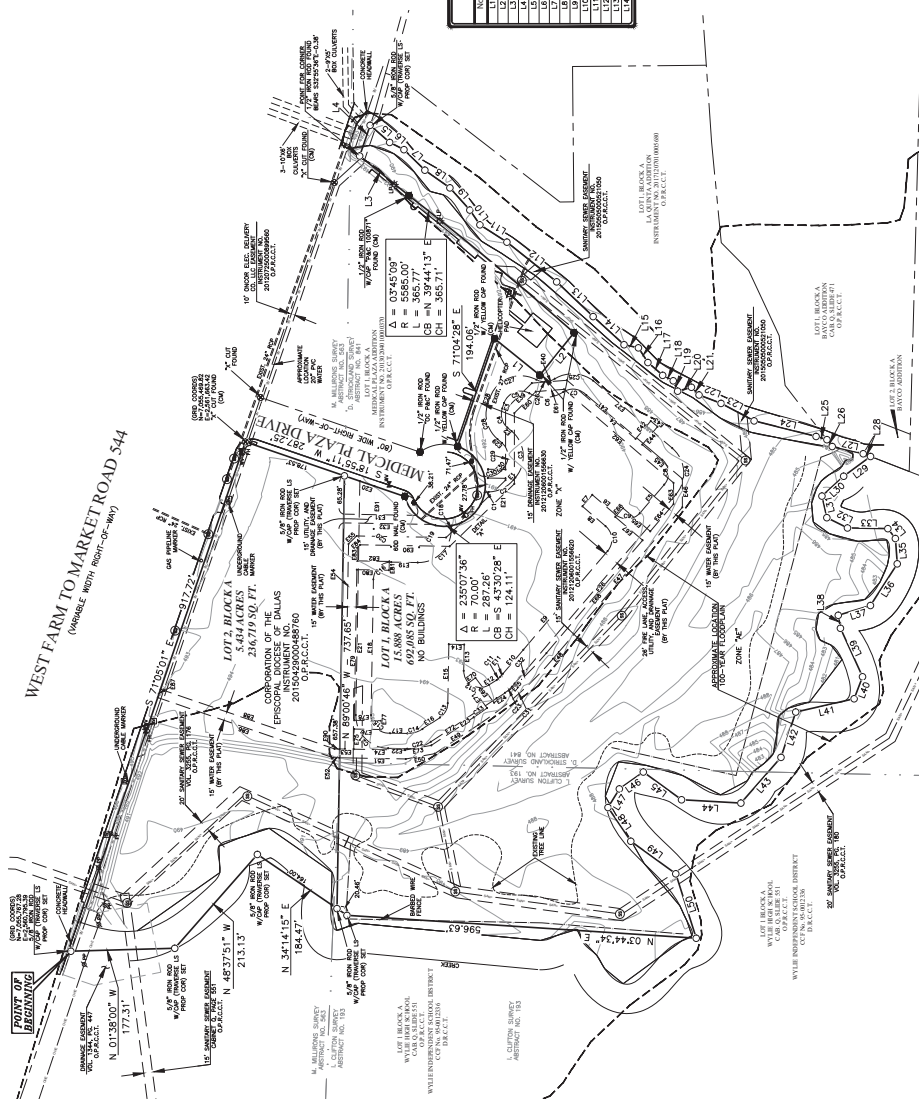


DETAIL "A"
NOT TO SCALE

PRELIMINARY PLAT
SENIOR MEDICAL
ADDITION
LOTS 1 AND 2, BLOCK A,
21 3224 ACRES.

LOTS 1 AND 2, BLOCK A,
21.3224 ACRES

SITUATED IN THE
I. CLIFTON SURVEY, ABSTRACT NO. 193
M. MILLERONS SURVEY, ABSTRACT NO. 563
D. STRICKLAND SURVEY, ABSTRACT NO. 841
AN ADDITION TO THE
CITY OF WYKE, COLLIN COUNTY, TEXAS



EASEMENT LINE TABLE

EASEMI LINE TABLE											
No.	Capacity kg	Net Weight kg	No.	Capacity kg	Net Weight kg	No.	Capacity kg	Net Weight kg	No.	Capacity kg	Net Weight kg
E1	4,720.50	9.65	E19	8,009.44	11.11	E35	15,909.00	15.16	E51	23,829.16	23.92
E2	4,720.50	9.65	E18	8,009.44	8.87	E34	15,909.00	15.07	E50	23,829.16	23.87
E3	4,720.50	9.65	E17	8,009.44	10.50	E33	15,909.00	15.07	E49	23,829.16	23.87
E4	4,720.50	9.65	E16	8,009.44	10.54	E32	15,909.00	15.07	E48	23,829.16	23.87
E5	4,720.50	9.65	E15	8,009.44	10.54	E31	15,909.00	15.07	E47	23,829.16	23.87
E6	4,720.50	9.65	E14	8,009.44	10.54	E30	15,909.00	15.07	E46	23,829.16	23.87
E7	4,720.50	9.65	E13	8,009.44	10.54	E29	15,909.00	15.07	E45	23,829.16	23.87
E8	4,720.50	9.65	E12	8,009.44	10.54	E28	15,909.00	15.07	E44	23,829.16	23.87
E9	4,720.50	9.65	E11	8,009.44	10.54	E27	15,909.00	15.07	E43	23,829.16	23.87
E10	4,720.50	9.65	E10	8,009.44	10.54	E26	15,909.00	15.07	E42	23,829.16	23.87
E11	4,720.50	9.65	E9	8,009.44	10.54	E25	15,909.00	15.07	E41	23,829.16	23.87
E12	4,720.50	9.65	E8	8,009.44	10.54	E24	15,909.00	15.07	E40	23,829.16	23.87
E13	4,720.50	9.65	E7	8,009.44	10.54	E23	15,909.00	15.07	E39	23,829.16	23.87
E14	4,720.50	9.65	E6	8,009.44	10.54	E22	15,909.00	15.07	E38	23,829.16	23.87
E15	4,720.50	9.65	E5	8,009.44	10.54	E21	15,909.00	15.07	E37	23,829.16	23.87
E16	4,720.50	9.65	E4	8,009.44	10.54	E20	15,909.00	15.07	E36	23,829.16	23.87
E17	4,720.50	9.65	E3	8,009.44	10.54	E19	8,009.44	10.54	E35	15,909.00	15.16
E18	4,720.50	9.65	E2	8,009.44	8.87	E18	8,009.44	8.87	E34	15,909.00	15.07
E19	4,720.50	9.65	E1	8,009.44	10.54	E17	8,009.44	10.54	E33	15,909.00	15.07
E20	4,720.50	9.65				E16	8,009.44	10.54	E32	15,909.00	15.07
E21	4,720.50	9.65				E15	8,009.44	10.54	E31	15,909.00	15.07
E22	4,720.50	9.65				E14	8,009.44	10.54	E30	15,909.00	15.07
E23	4,720.50	9.65				E13	8,009.44	10.54	E29	15,909.00	15.07
E24	4,720.50	9.65				E12	8,009.44	10.54	E28	15,909.00	15.07
E25	4,720.50	9.65				E11	8,009.44	10.54	E27	15,909.00	15.07
E26	4,720.50	9.65				E10	8,009.44	10.54	E26	15,909.00	15.07
E27	4,720.50	9.65				E9	8,009.44	10.54	E25	15,909.00	15.07
E28	4,720.50	9.65				E8	8,009.44	10.54	E24	15,909.00	15.07
E29	4,720.50	9.65				E7	8,009.44	10.54	E23	15,909.00	15.07
E30	4,720.50	9.65				E6	8,009.44	10.54	E22	15,909.00	15.07
E31	4,720.50	9.65				E5	8,009.44	10.54	E21	15,909.00	15.07
E32	4,720.50	9.65				E4	8,009.44	10.54	E20	15,909.00	15.07
E33	4,720.50	9.65				E3	8,009.44	10.54	E19	8,	

FLOOD NOTES

A portion of the subject property shown hereon lies within Zone "AE," Base Flood Elevations determined, with a determined base flood elevation between 491.00 and 498.00, the real lies within Zone "X," (areas determined to be outside the 0.2% annual chance floodplain) according to the Flood Insurance Rate Map, Community Panel No. 48085C0415J, dated June 2, 2009.

GENERAL NOTES

1. All underground utilities shown hereon were taken from existing plans, none of the underground utilities shown hereon have been field verified by the surveyor.
2. The purpose of this plat is to create two lots.
3. No lot to lot drainage without engineering approval.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Renae' Ollie

Item Number: 1

Subject

Hold a Public hearing to consider, and act upon a recommendation to the City Council to consider amendments to Zoning Ordinance 2015-09, Article 6, Section 6.3 Downtown Historic District. ZC 2022-06.

Recommendation

Motion to Table to April 5, 2022.

Discussion

The item was scheduled to be considered at the February 24, 2022 Historic Review Commission Meeting and due to inclement weather, the meeting was canceled. The item will be considered at the March 24, 2022 Historic Review Meeting.

At its October 28, 2021 meeting, the Commission discussed at length the proposed updates to Article 6, Section 6.3 Downtown Historic District guidelines and regulations. From that meeting and direction from the Commission, staff proposes the subject section be amended.

Primary changes include:

- Better define substantial renovations and routine maintenance (Sec C.2 & C.3)
- Included a section on the submittal process for landmarks (Sec. C.6)
- Demolition & Relocation section (Sec. E)
- Separated parking standards for residential and non-residential uses (Sec E.4.c & d)
- Accessory structures: eliminated placement of garages behind the rear edge of the main building. (Sec. E.4.b.iii)
- Removed the prohibition of vertical siding (Sec. E.5.f.iv)
- Signage: updated to allow no more than two uprights for pole signs. (Sec. 6.a.i)
- Added a definition for *Mural Signs*. (Sec. 6.l)

Financial Summary/Strategic Goals

Ties in with the City's mission statement: Honoring our past; Embracing our present; Planning our Future.
 Meets the following Strategic Goals: Economic Growth: Support and grow our local economy

ARTICLE 6 SPECIAL PURPOSE AND OVERLAY DISTRICTS

SECTION 6.3 DOWNTOWN HISTORIC DISTRICT (DTH)

A. Purpose

Wylie's downtown has been identified by the Comprehensive Plan as a valuable resource worthy of preservation as a historic district. This district provides development and design standards that preserve the historic and architectural character of existing development, provides for adaptive reuse of existing buildings, and the compatibility of new structures and uses with the historic nature of downtown.

A contributing building and/or structure is one which retains a high degree of architectural integrity that adds to the overall historic character of the district, and was built during the period of significance for the district, generally more than 50 years ago.

A non-contributing building and/or structure means a building not contributing to the historic significance of the district and does not add to the district's sense of time and place, and historical development; or one where the location, design, setting, materials, workmanship, feeling, and association have been so altered or have so deteriorated that the overall integrity of the building has been irretrievably lost. Generally, less than 50 years old.

B. District Boundaries

1. The Downtown Historic District (DTH) is generally bounded by State Highway 78 on the south, Cottonbelt Avenue on the west, from Eliot Street to Brown Street, and including property north of Brown Street on Keefer, and to the eastern property line of those lots facing west on Second Street from Brown Street to the north and Marble Street to the south, and those properties north of Brown Street along Ballard Avenue facing east and continuing north to Tract 4 of the Samuel B. Shelby Abstract and approximately 100 feet of frontage of those lots facing west and continuing north parallel to Ballard Avenue and encompassing all of Block 1, Lot 5 of the Russell #01 Addition and Block 1, Tract 49 of the James Truett Abstract.
2. The precise boundaries of the Downtown Historic District shall be shown on the official zoning map of the City of Wylie. The boundaries of the Downtown Historic District may be amended from time to time based on a request from area property owners, a request of the staff, the Commission, or at the pleasure of the Council. In considering a request for a change in district boundaries, the Council shall require:
 - a. Any additions to the district shall be contiguous to the existing boundaries of the district;
 - b. Any reductions in the district shall be located on the edge of the district such that a hole is not left inside the district; and

- c. If requested by a property owner, a petition shall be presented showing owners of more than 50 percent of the land within the district, excluding streets, and owners of more than 50 percent of the building sites in the district are in support of the requested change in boundaries.

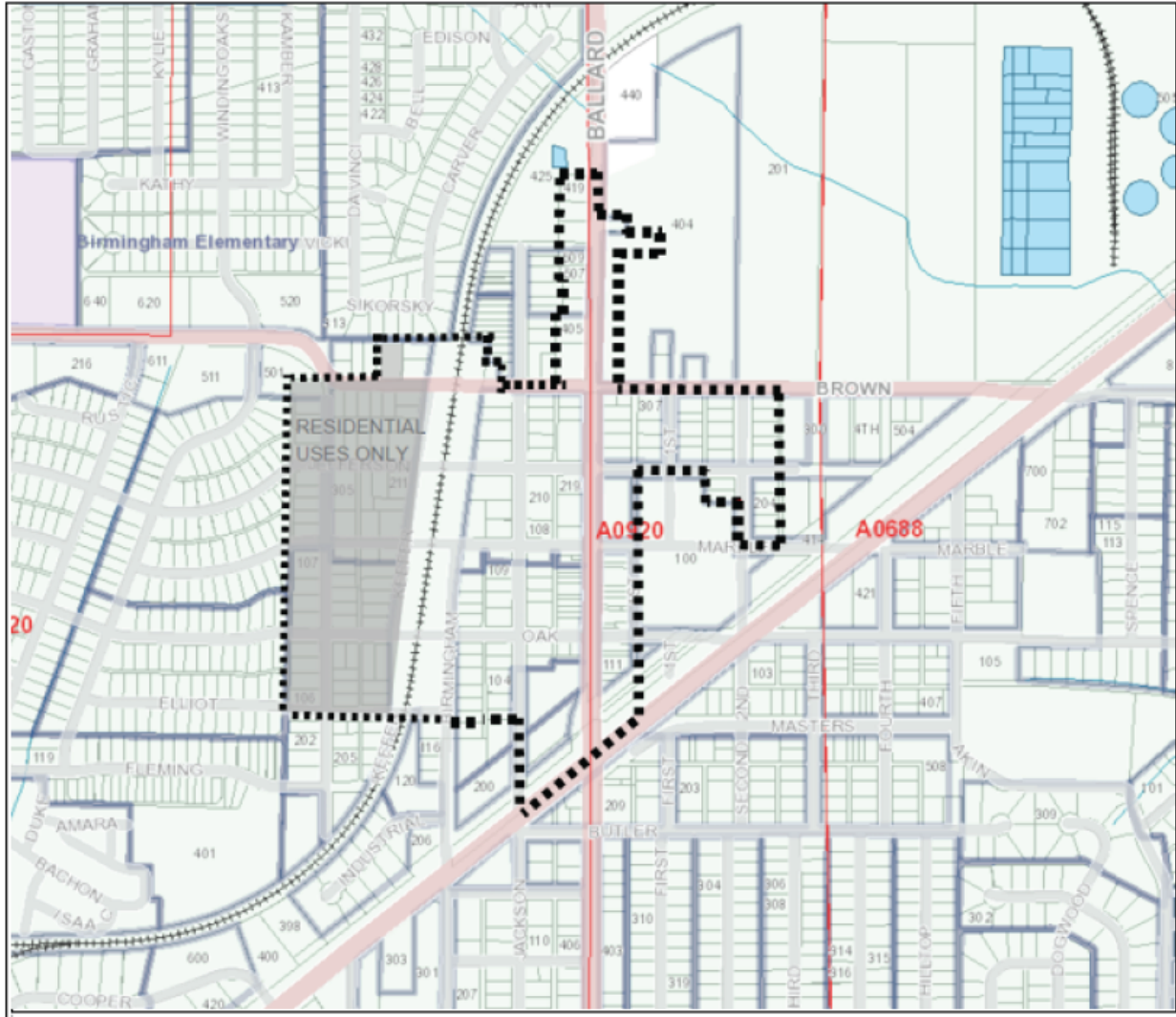


FIGURE 6-1 DOWNTOWN HISTORIC DISTRICT BOUNDARIES

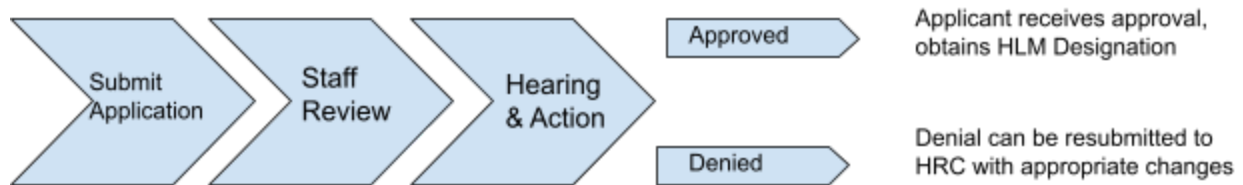
C. General Provisions

1. Site plan and design review submitted to the Planning Department is required for new construction and substantial renovation of existing buildings within the Downtown Historic District. All demolition request and work for contributing buildings and/or structures that do not qualify as routine maintenance must be reviewed by the Historic Review Commission

- a. Historic Review Commission (HRC) shall be appointed by the City Council and shall consist of seven (7) members in accordance with Ordinance 2013-17, and as amended.
- b. The HRC will be responsible for reviewing and recommending an action to the Planning and Zoning Commission and/or the City Council for proposed new construction or substantial renovation, revisions to the ordinance, and planning efforts to fulfill the purpose of the Downtown Historic Ordinance and to consider future amendments and long range goals of the District.
- c. Submission of Plans. A completed application shall be submitted with a fee, accompanied by the following, and any other necessary documents required by the Planning Department.
 - i. Site Plan showing existing and proposed structures and improvements
 - ii. Interior floor plan showing all spaces, doors and windows
 - iii. Exterior elevations including
 1. Existing & proposed changes
 2. Doors & windows
 3. Architectural features
 4. Trim details
 5. Material details
 - iv. Roof Plan
 - v. Accessory Structures
 - vi. Sections (for additions)
2. Substantial renovations as listed below require review by the HRC and City Council:
 - a. Alterations to the exterior of existing buildings that change the placement or design of windows, doors or other exterior features of the building such as coping or pilasters;
 - b. An increase in the floor area of the building greater than 10 percent.
 - c. Adding new exterior building materials that do not match the existing materials.
 - d. Interior renovation of existing buildings that alter the exterior appearance of the building (e.g., a drop ceiling that covers part of an existing window)
3. Common routine maintenance items as listed below may be reviewed at staff level.
 - a. Installation of an awning located on an accessory building, or on the rear facade of a main building.
 - b. Shingle replacement that does not include a change in color or style.
 - c. Siding replacement that meets the requirements of this ordinance.
 - d. Application of paint that is the same color as the existing or that is an appropriate dominant, trim, or accent color and part of an historic color palette.
 - e. The process of cleaning (including but not limited to low-pressure water-blasting and stripping, but excluding sandblasting and high-pressure water blasting).
 - f. Painting, replacing, duplicating or stabilizing deteriorated or damaged architectural features (including but not limited to roofing, windows, columns, and siding) in order to maintain the structure and to slow deterioration.
 - g. Interior renovation of existing buildings that do not alter the exterior appearance of the building.
4. Physical properties of an existing building such as setbacks, foot prints, height, or other similar characteristics that cannot be altered without substantial hardship are not required

to meet the development or design standards within this article. All other provisions shall apply.

5. All new development shall comply with the Site Design Standards included in Subsection 4, and the Architectural Standards in Subsection 5.
6. Submission of Plans for Landmark Designation shall be delivered to the City of Wylie Planning Department, a minimum of 30 days prior to the meeting date set for the Historic Review Commission
 - a. Required Documentation:
 - i. Completed application on forms provided by the City of Wylie with applicable fees
 - ii. Stated criteria met in accordance with Article II Landmarks, Section 58.23 of the Code of Ordinances, as amended
 - iii. Documented history of the structure, complete with photos
 - b. Review Criteria
 - i. Staff prepares a written report documenting the historical facts of the property and stating any impact that the owner may have with a historic landmark designation on the owner's property.
 - ii. Staff will present the completed application for consideration by the Historic Review Commission.
 - iii. The Commission will make a recommendation to the City Council. Designation of city landmarks will be made by a three-fourths vote of the city council in accordance with Local Government Code 211, Section 211.0165, as amended.



D. Permitted Uses

1. The Downtown Historic District may contain any combination of uses shown in the Use Chart in Article 5, Section 5.1.
2. Within the Downtown Historic District there are both residential and nonresidential uses which may be located in either residential structures or commercial structures. To maintain the architectural and historic character of existing blocks where one type of structure predominates, the following regulations shall apply.
 - a. Residential uses may be in residential structures or commercial structures. Residential uses in commercial structures are only allowed if they occupy less than 40 percent of the floor area of the building; and do not occupy the area adjacent to the street front.
 - b. Nonresidential uses may be in residential or commercial structures. Nonresidential uses in residential structures must be in those blocks where existing residential structures predominate.

- c. In block faces within the District that are currently developed with residential structures, new construction shall be of historic design. Either residential or nonresidential uses may be located in the residential structures.
- d. In block faces within the Downtown Historic District that are currently developed with commercial structures, new construction shall be of historic design.
- e. Only residential uses are permitted for those lots along Cotton Belt Avenue, and along Keefer Street from Elliot Street on the south to Brown Street on the north, as depicted in Figure 6.1 and on the official zoning map of the City of Wylie.

E. *Downtown Historic District Development and Design Standards and Guidelines*

- 1. All properties must meet requirements provided in this section for Site Design, and Architectural Standards.
- 2. **Purpose of Downtown Historic District Design Standards.** The purpose of these design standards is to ensure the preservation of the historic and architectural qualities which make the Downtown Historic District a unique place by permitting new development compatible with existing historic buildings and by maintaining the historic and architectural qualities of existing buildings.
 - a. Site Design Standards. The purpose of the Site Design Standards is to provide for building and parking placement compatible with existing development.
 - b. Architectural Standards. The purpose of the Architectural Standards is to provide for the preservation of existing historic and architectural qualities of Downtown Wylie, ensure new construction is compatible with these qualities, and to protect and promote the uniqueness of downtown as a commercial area.
 - c. Encourage the retention of original architectural elements:
 - i. Wood Windows
 - ii. Wood Doors
 - iii. Columns
 - iv. Chimneys
 - v. Porches
 - vi. Trim
 - d. Discourage:
 - i. Painting original brick that has never been painted
 - ii. The removal or replacement of original windows and doors
 - iii. The enclosure of porches
 - iv. The use of cementitious fiber board products except along ground
 - v. The use of vinyl windows
- 3. **Standards and Guidelines for Demolitions and Relocation.** Each historic style in Wylie is equally important, just as each house and the way it has, or will, develop is important. The historic district designation is not meant to freeze the neighborhood in time, but rather to guide the neighborhood into the future. The most significant events that affect the change of character in a historic district are remodeling, demolition and new construction. When altering an existing structure, or constructing a new home in the

district, it is important to draw upon the context of the local neighborhood for inspiration. This does not mean that new construction should mimic existing homes. However, new construction should be sympathetic to the existing building typologies within the district and, more specifically, in the sub-district and block face, if applicable

a. DEMOLITION

Prior to Demolition of a structure, a letter from a structural engineer is required. Each request for demolition shall be considered on a case by case basis for contributing structures.

Demolition of a structure will NOT be allowed if any of the items below are met:

1. A structure is of architectural or historical interest and/or value or its removal would be detrimental to the public interest, or
2. The building contributes significantly to the character of the historic district and demolition would create a detrimental view or adversely affect the existing buildings on the block, or
3. A structure is contributing and of old or unusual or uncommon design and materials and it could not be reproduced without great difficulty and/or expense, or
4. If its proposed replacement would not make a positive visual contribution, would disrupt the character or be visually incompatible within the historic district.

Demolition of a structure MAY be allowed if any of the following criteria is met:

1. The building has lost its architectural and historical integrity and importance and its removal will not result in a negative, less appropriate visual effect on the historic district, or
2. The structure does not contribute to the historical or architectural character and importance of the historic district (e.g. a noncontributing structure), and its removal will result in a positive, appropriate visual effect in the district.

b. RELOCATION

A building may only be moved from one site to another site within the historic district under the following conditions:

1. The building is seriously threatened in its original location,
2. The integrity and structural soundness of the building will be maintained,

3. The building will be compatible with the overall character, visual appearance and site orientation of existing buildings on the block at the new location, and
4. The removal of the building from its original site will not create a detrimental view or loss of integrity on its immediate block.

A building may be moved from a site outside of the historic district to a site within the historic district under the following conditions:

1. The integrity and structural soundness of the building will be maintained,
2. The building will be compatible with the overall character, visual appearance, and site orientation of existing buildings on the block at the new location, and
3. Any proposed replacement at the original site will result in a more positive visual effect on its immediate block.
4. Any relocated building moved into the historic district shall be rehabilitated and/or repaired in accordance with the applicable sections of these guidelines so as to retain the original character, architectural details, design, and materials of the structure.

~~4. Any relocated building in the historic district shall be rehabilitated (i.e. repaired and/or rehabilitated) in accordance with the applicable sections of these guidelines so as to retain the original character, architectural details, design, and materials of the structure~~



4. Site Design Standards

a. Building Placement - Commercial Structures

- i. Buildings shall be placed on the front property line. Buildings may be moved back from the front property line a total of four feet to provide for wider sidewalks and entries, if: The buildings takes up an entire block face; or is located on a corner; or has a total frontage of more than 50 percent of the block face.
- ii. New commercial structures shall be allowed only in block faces which are predominantly developed with existing commercial structures, or are predominately vacant land.
- iii. Buildings shall be placed on the side property line. Buildings may be moved back from the side property line a total of four feet to provide for wider sidewalks and entries when the side property line is along a street.
- iv. Buildings that go through a block so that they have frontage on two parallel streets, shall treat each frontage as a main façade.
- v. New commercial structures shall construct at least a six (6) foot wide sidewalk.

b. Building Placement - Residential Structures

- i New single family residential structures are only allowed in blocks which are predominantly developed with existing residential structures.
- ii Residential structures shall conform with the front yard, side yard and rear yard setbacks of existing residential buildings on the block face. Front yard and rear yard setbacks will be deemed to be in conformity if they are within five feet of the average of the existing setback on either side of the new construction. Side yard setbacks shall be no closer than the side yard setback adjacent to the new construction or 20 feet whichever is less. On corner lots, side yards shall be treated as front yards and shall be the same as that required for the primary front yard.
- iii Accessory structures such as garages, sheds, greenhouses etc. shall be located in a separate structure from the main building, be visually compatible with the main building and,
 - 1. Shall not extend beyond a platted side or rear building line adjacent to a street. If no building line exists adjacent to a street on an approved plat, the accessory structure shall not be located closer than ten (10) feet from the side or rear property line.
 - 2. Shall not be located closer than five (5) feet to the side property line when the accessory structure is located behind the main building.
 - 3. When the accessory structure is located in the side yard, the setback for the accessory structure will be the same as the setback requirement for the main building.
 - 4. No accessory structure shall be located within the front yard setback.
- iv New residential structures shall construct at least a six (6) foot wide sidewalk.

c. Parking for Nonresidential Uses

- i Onsite surface parking shall generally not be placed in the required front yard and shall generally be separated from public streets by the building which it serves. Exceptions to this requirement include:
 - a. A lot that is used entirely for surface parking with no listed use in accordance with Section 5.2.
 - b. Surface parking on corner lots or lots with frontage on 2 or more public streets shall comply with the above parking requirements along at least one street frontage.
 - c. Where onsite surface parking is constructed to serve existing buildings or additions to existing buildings, the above parking requirements shall not apply.
- ii Existing nonresidential uses may be renovated, reconstructed, and expanded up to 10 percent of their original floor area without having to comply with these parking standards.
- iii Commercial Uses less than 4,000 square feet in a block face with existing historic commercial buildings shall not be required to provide off-street parking.

- iv Commercial Uses over 4,000 square feet will be required to provide off-street parking under the following standards:
 - 1 A minimum of 50% of all required parking, in accordance with Article 5 Use Charts of this Ordinance, shall be located on site as required by specified use. All on-site parking shall be placed a minimum of 10 feet behind the front façade of the building with a landscape buffer provided.
 - 2 Alternative materials, ~~for driveways and parking spaces may include such as~~ ~~pavestones, and grasspavers or other materials can be used for driveways and parking spaces,~~ subject to approval of the City Engineer.
 - 3 Up to 25 percent of the required parking can be provided by on-street parking in front or to the side of the building with approval of the City Engineer.
 - 4 The remainder of the required parking can be provided by off-site parking facilities within 1,000 feet of the site **with approval of the property owner**. No off-street parking can be developed with frontage on Ballard Street ~~or the block face on the east side of Jackson Street.~~
 - 5 Upon a finding that a parking reduction is necessary to preserve historic buildings and maintain the design integrity of the Downtown Historic District, the Commission may grant parking variances up to a maximum of 75 percent of the required parking.
- v Off-street parking lots with over 20 spaces are required to have landscaping and lighting that meets the standards for other nonresidential developments. (Article 4, Section 4.3)

d. Parking for Residential Uses

- i Parking for residential use shall be on site and shall provide a minimum of two parking spaces.
- ii Alternative materials, ~~for driveways and parking spaces may include such as~~ ~~pavestones, and grasspavers or other materials can be used for driveways and parking spaces,~~ subject to approval of the City Engineer.

5. Architectural Design Standards

a. Street Facade – Commercial Structures

- i. Primary street facades for nonresidential buildings in the Downtown Historic District shall have the following basic features of existing historic buildings:
 - 1. Cornice at top of facade;
 - 2. Display windows with transom windows above and lower window panels below.
 - 3. Pilasters that divide the facade vertically and separate the display windows units into discrete visual elements.
 - 4. Second floor windows, recessed with multiple lights, lintels, and sills.
- ii. Architectural elements such as doors, windows, awnings, canopies and architectural details shall be compatible with the overall visual qualities existing within the historic buildings downtown. Maintain as much of the original basic façade as possible. The basic façade consists of three parts: the storefront, with

- large display windows and transom; the upper façade, with large regularly spaced windows; and the decorative cornice.
- iii. Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme existing within downtown and appropriate for the historic and architectural character of the commercial structure. (Sherwin Williams Preservation Palette, Valspar Historic Color Palette or equal would be an approved color palette)
 - iv. In addition to the above, all commercial structures shall have at least two of the following desirable design features as appropriate:
 - 1. Street facades on side streets that meet the requirement for primary facades; or
 - 2. Buildings on corners which create a diagonal corner cut with the entrance on the corner; or
 - 3. Pediments added to the top of the facade; or
 - 4. Decorative brickwork and architectural detailing on or around the cornice, fascia, pilasters, or around windows; or
 - 5. Use of natural wooden doors with glass windows; or
 - 6. Projecting canopies and or awnings placed over the ground floor windows and doors

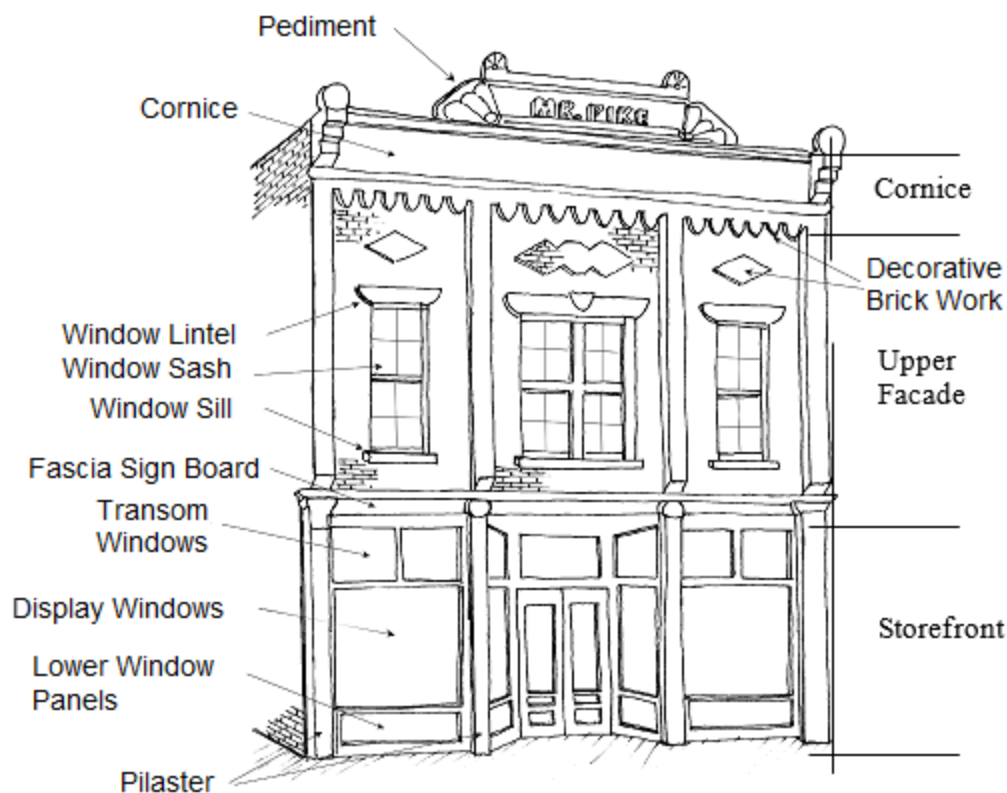


FIGURE 6-2 TYPICAL FEATURES OF COMMERCIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT

b. Street Facade – Residential Structures

- i. ~~(1) —~~ Residential structures within the Downtown Historic District shall have ~~identifiable~~ the following basic features of existing residential structures in the district, as appropriate to the architectural style of the building. These features ~~may include~~ are depicted in the following: ~~illustration for definitional purposes.~~
 - 1. Covered porches integrated into the front facade of the main structure;
 - 2. Multiplicity of roof forms;
 - 3. Columns and railings defining porch;
 - 4. Windows with multiple lights;
 - 5. High pitch roof lines; and
 - 6. Architectural detailing of gables, window and door casings, eave lines, and foundations.
- ii. Residential structures shall face the main street
- iii. Residential structures that have a room projecting from the primary line of the front facade shall have a covered porch across the inset portion of the facade.
- iv. Residential structures which do not have any projecting rooms shall have a covered porch across at least two thirds of the width of the facade.
- v. Porches on residential structures shall be covered with a roof that is integral to the main roof of the structure, or covered with a roof that is a substantial architectural element integral to the design of the front facade.
- vi. Porches shall have columns and railings around the edge of the porch except for the entrances steps.
- vii. Choice of color for the primary facade, various architectural elements, or details shall be in conformance with the color scheme appropriate for the architectural style of the residential structure. (Sherwin Williams Preservation Palette, Valspar Historic Color Palette or equal would be an approved color palette)
- viii. In addition to the above all residential structures shall have at least two of the following desirable design features as appropriate:

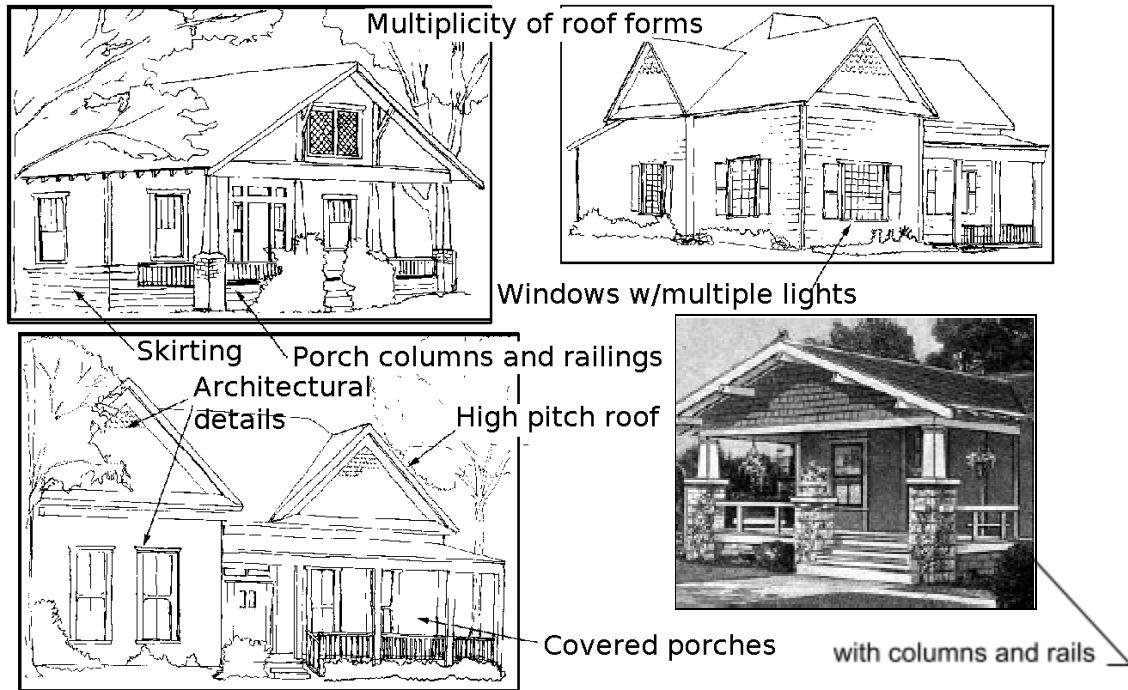


FIGURE 6-3 TYPICAL FEATURES OF RESIDENTIAL STRUCTURES IN THE DOWNTOWN HISTORIC DISTRICT

1. Use of skirting along the base of the building, in a manner appropriate to the architectural design of the building; Skirting materials shall be durable, suitable for exterior exposure, and installed in accordance with the manufacturer's installation instructions. Skirting shall be secured as necessary to ensure stability, to minimize vibrations, or minimize susceptibility to wind damage; or
2. Use of foundation plantings to soften and conceal the foundation; or
3. Use of architectural detailing appropriate to the architectural style of the building. Architectural detailing includes but is not limited to elements such as carving in porch rails, turned stiles, use of ornamentation around windows, doors, eave lines, porches, and decorative windows and materials within gables.

c. Building Proportions – Commercial Structures

- i. ~~New construction height, width and massing should be consistent with the scale of adjacent contributing structures. Overall height of single story commercial buildings in the Downtown Historic District shall be between 18 and 26 feet.~~
- ii. ~~Traditional patterns should be incorporated into new construction whenever possible.~~
- iii. ~~The proportion of the height to width of the facade between pilasters shall be in the range of 2.5 to 1 to 3 to 1. The basic window units shall be between 2 to 2.5 times the remaining height to the top of the cornice.~~
- iv. The ground floor facade shall have at least 45 percent of its area in transparent windows, or doors. The second floor facade shall have at least 20 percent of its

area in windows. The area of windows includes any mullions framing individual lights within the window frame.

- v. The building height shall not exceed ~~forty-five~~thirty-five (4535') feet at the highest point ~~of the cornice and up to forty (40')~~ feet for architectural elements including but not limited to turrets, pinnacles and pediments.

d. Building Proportions – Residential Structures

- i. ~~New r~~Residential structures within the Downtown Historic District ~~should respect building heights in accordance with period specific design. may be a maximum of two stories in height, so long as the second floor is located under the roof over the first floor. Dormers and/or windows in the gable end of the roof shall be used to provide light and air.~~
- ii. ~~Residential structures shall have a minimum roof pitch of 8:12.~~
- iii. The building height shall not exceed ~~forty-five~~thirty-five (4535') feet ~~including at the roof ridge and up to forty (40')~~ feet ~~including but not limited to turrets, pinnacles.~~

e. Building Materials - Commercial Structures

The base facade materials for commercial structures within the Downtown Historic District shall be brick or stone. Architectural details, trim, window or door framing may be wood, stone, cast stone, cast iron, or other materials compatible with the historic and architectural character of the Downtown Historic District.

f. Building Materials – Residential Structures

- i. The primary exterior material for residential structures within the Downtown Historic District shall be wood siding and/or composite masonry materials having a wood pattern.
- ii. The width of the siding shall be between four and five inches in width.
- iii. Renovation to existing residential structures should use materials which are compatible with the existing residential structure. Adherence to these material standards are encouraged where appropriate and/or possible.
- iv. ~~Vertical siding is prohibited.~~
- v. All development is defined by the base, middle and roof elements with particular attention to the front façade as this is the section that defines the character of the streetscape for the DTH. See Figure 6-4.



FIGURE 6-4 EXPRESSION OF BASE, MIDDLE AND ROOF ELEMENTS

g. Fencing – Commercial Structures

Any fencing for commercial structures within the Downtown Historic District shall be in the rear of the building ~~not visible from the street.~~

h. Fencing – Residential Structures

- i. Fencing placed in the front of the residential structure shall be limited as follows:
 - a. Height not to exceed 3 feet;
 - b. At least 50 percent of the surface area of the fence shall be open and transparent;
 - c. Made from wood or wrought iron. Masonry or brick may be used for columns with wood or wrought iron fence panels;
 - d. Have the posts and rails facing the inside of the fence.
- ii. Fences placed in the side or rear yard shall be permitted to a height of 8 feet maximum and shall be constructed of wood or wrought iron. Masonry or brick may be used for columns with wood or wrought iron fence panels All fences placed in front of the residential building shall be decorative in design.
- iii. ~~Fences placed behind the residential building shall conform to fencing requirements for single family development elsewhere in the city.~~

6. Signs

Purpose: All signs in this section are applicable to the Downtown Historic District only and are not appropriate to any other zoning district. The purpose of this section is ~~not to regulate the content of any sign, but to regulate~~ **to ensure that** the area, material, and placement of new signs and alterations made to existing signs ~~and to ensure consistency and to preserve the Downtown Historic District as a desirable area that is pleasing and visually attractive.~~ **are appropriate to the architectural design of the building and the district, and that signs do not visually obscure significant architectural features of a building or the district in general.**

a. General Provisions:

- (i) Pole sign means any sign erected on a vertical framework consisting of ~~no more than two~~ **one** uprights supported by the ground and where there is a physical separation between the base of the sign and the ground.
- (ii) Signs shall be constructed of materials that are not subject to deterioration when exposed to the weather. Internally illuminated signs must be constructed of non-combustible material or approved plastics.
- (iii) New signs should respect the size, scale and design of the historic building.
- (iv) New signs should not obscure significant features of the historic building. ~~(Signs above a storefront should fit within the historic signboard for example.)~~
- (v) No sign permitted under the regulations of this section shall be installed without first obtaining zoning clearance and a sign permit.

b. Signs for Residential Structures

- i The sign area of any one face shall not exceed sixteen (16) square feet in area. The sign area of a pole sign shall not comprise more than seventy percent (70%) of the entire sign structure.
- ii The maximum height of a pole sign structure shall be six (6) feet when no lighting is included. The maximum height of a pole sign structure shall be eight (8) feet when a globe type light is included.
- iii Logos and symbols may be illuminated or backlit by fluorescent fixtures. The use of indirect lighting is also allowed.
- iv The use of a fluorescent color on a sign is prohibited.
- v No more than one pole sign may be displayed on a premise at any given time.
- vi The sign may be placed adjacent to the public right-of-way, provided it does not encroach on the sight visibility triangle and is a minimum of six feet from the outside face of curb.
- vii Single acorn type luminaires, flutes, moldings or other traditional details are strongly preferred. See Figure 6-5.



FIGURE 6-5 TYPICAL POLE SIGN FEATURES FOR RESIDENTIAL STRUCTURES

c. Signs for Commercial Structures

- i The size of the sign shall be in proportion to the building and the neighboring structures and signs.
- ii The total maximum allowable sign area for each building face is one square foot per one linear foot of a single tenant, not to exceed 70 square feet, whichever is less.
- iii The total maximum allowable sign area for each building face is one square foot per one and one-half (1-1/2) linear foot of a multi-tenant building, not to exceed 100 square feet whichever is less.
- iv Signs shall be mounted or erected so they do not obscure the architectural features or openings of a building.
- v No sign or portion of a sign shall extend above the cornice line at the top of the building face. Roof top signs are prohibited.
- vi For buildings without a recognizable style, the sign shall adopt the decorative features of the building, utilizing the same materials and colors.
- vii The structural materials of the sign should match the historic materials of the building. Wood, metal, stucco, stone or brick, is allowed. Plastic, vinyl or similar materials are prohibited. Neon, resin to give the appearance of wood, and fabric may be used as appropriate.
- viii Attached signs may only be illuminated utilizing internal lighting. Exterior letters with exposed neon lighting are allowed.

d. Window Signs

Window signs do not require a permit or a permit fee. Window Signs must meet the following regulations:

- i. Window Signs must not obscure more than 20 percent of the window area per façade.
- ii. No illuminated Window Signs shall be ~~allowed where it creates an unduly distracting and hazardous condition to motorists, pedestrian or the general public.~~ ~~allowed within two feet of the window surface, except for open/closed signs.~~

e. Awning Signs

- i. An Awning may extend the full length of the wall of the building to which it is attached and shall solely be supported by the exterior wall of the building. The awning sign shall be no more than six feet (6') in height and shall not be placed less than eight feet (8') above the sidewalk.
- ii. ~~Artwork or copy on Awning Signs shall be limited to a business name and or logo.~~
- iii. The artwork or copy for an Awning Sign shall not exceed twenty percent (20%) of the area of the Awning and shall extend for no more than sixty percent (60%) of the length of the Awning.

f. Projecting Signs

- i. Signs shall be constructed of noncombustible material.
- ii. Signs shall not project more than three feet (3'), measured from the building face and shall not be closer than two feet (2') from the back of the curb line.
- iii. Bottom of the sign shall be at least 8 feet above the sidewalk.
- iv. Signs shall be compatible in design, shape, and material with the architectural and historic character of the building.
- v. Signs shall not exceed sixteen (16) square feet per sign face.

g. Canopy Signs

- i. A Canopy Sign is a permanent structure that is supported by the building or by a support extending to the ground directly under the canopy. The Canopy Sign may be attached to, or be an integral part of the face of a canopy.
- ii. ~~A Canopy Sign may consist of only the name and/or logo of the business at the location of the canopy.~~
- iii. The artwork or copy on a Canopy Sign shall not exceed ten percent of the face of the canopy, or a maximum of twenty-five (25) square feet, whichever is greater.
- iv. An illuminated stripe may be incorporated into a canopy. The stripe may extend along the entire length of the face of the canopy. The width or thickness of the stripe shall be limited to one-third of the vertical dimension of the face of the canopy. The internal illumination of a canopy is limited to the portions of the canopy face on which a sign or stripe is permitted.

h. Special Events Banner Signs

- i. A Special Event Banner sign is composed of cloth, plastic, canvas or other light fabric.

- ii Only banners promoting or supporting local community events will be permitted over public right-of-ways.
- iii An application to place a banner over a public right-of-way shall be submitted to the Building Inspections Department at least 10 days before the date to be installed.
- iv The City of Wylie may erect and remove banners over public right-of-way. Banners may only be installed at locations approved by the City.
- v The maximum banner size allowed is 4 x 36 feet, unless extended over the public right-of-way. Banners must be in good repair at all times.
- vi The banner may remain a maximum of fourteen (14) days. A maximum of two banners can be hung for each event with placement of the second banner provided as space allows. Only one banner will be hung at each location.
- vii When a banner over the public right-of-way is removed, the applicant is responsible for picking up the banner from the City of Wylie Service Center within ten (10) working days of the removal date. A late fee of \$50 will be charged for banners left after the ten (10) day period. Unclaimed banners will be disposed of 30-days after removal date.
- viii Banners not defined as Special Events Banners are regulated by the City's current Sign Ordinance and as amended.

i. A-Frame/Sandwich Board Signs

- (i) No more than one a-frame or sandwich board sign per business shall be allowed, and a minimum of four feet of clear sidewalk shall be maintained at all times. The sign shall be sufficiently weighted or anchored to prevent movement by wind or other elements.
 - (ii) No a-frame or sandwich board sign shall exceed eight square feet per face or four feet in height. The entire sign structure shall be calculated as the total of sign area.
 - (iii) Materials suggested for use for signs are finished hardwoods, or softwoods. Materials not allowed include, but are not limited to, fluorescent materials, paper or fluorescent paints.
- j. Encroachment into Public Right-of-Way.** Any sign that is located upon or overhangs a public right-of-way shall be approved by the Public Works Director or his/her designee on forms provided by the City of Wylie.
- k. Exempt Incidental Signs.** Small incidental signs can be installed along a business frontage without permit approval from the City. Incidental signs are commonly seen as menu boards, open signs, small window signs noting hours of operation, and small hanging signs. Incidental signs do not include other signs specifically listed within this ordinance. Although a permit is not required for these type signs, the following guidelines must be maintained.
- i No more than three (3) incidental signs per building entrance.

ZONING ORDINANCE

- ii Maximum area allowed is 3 sq. ft. each, with a total cumulative area not to exceed 7 sq. ft.;
- iii Incidental signs that project over or into a pedestrian right-of-way must be at least 7'-6" above the sidewalk;
- iv Cannot project beyond the awning;
- v Cannot extend above the awning;

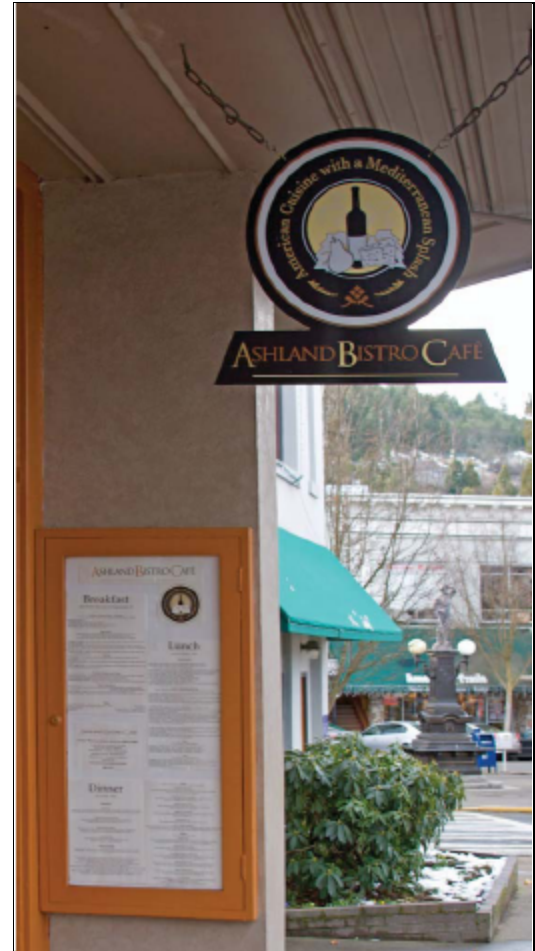


Figure 6-6 Exempt Incidental Signs

- l. Mural Signs shall be reviewed and approved by the Building Official for compliance with the definition of a mural and other applicable local, state, and federal laws.
- m. Signs denied by the Building Official shall be subject to review pursuant to Sec 22-443 (10) Variances of the city's Sign Ordinance, as amended.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Jasen Haskins, AICP

Item Number: 2

Subject

Consider, and act upon, a recommendation to City Council regarding a change in zoning from Commercial Corridor (CC) to Planned Development - Commercial Industrial (PD-CI) on 21.85 acres generally located on the southwest corner of State Highway 78 and Wylie East Drive.

Recommendation

Motion to recommend **approval, approval with amendments, denial.**

Discussion

OWNER: 78 Hooper LTD

APPLICANT: Lovett Industrial

The applicant is requesting to rezone 21.85 acres located on the south side of State Highway 78 between Wylie East Drive and Anson Parkway. The property is currently zoned Commercial Corridor. The applicant is requesting a Planned Development to allow for a combination of Light Industrial and Commercial uses.

The proposal includes a 318,000 square foot Light Industrial building on 18.6 acres, including 1.46 acres of water detention, and approximately 31,000 square feet of commercial pads on 3.18 acres. The development schedule provides for the timing of the industrial development, which if approved would be complete in late 2023.

The Planned Development establishes uses that are allowed by-right on the Industrial and Commercial lots separately. By right uses on the Industrial lot are:

- Industrial (Inside)
- Office Showroom/Warehouse
- Light Assembly & Fabrication
- Warehouse/Distribution Center
- Food Processing

By-right uses on the Commercial lots are:

- All by-right CC district uses
- Restaurant with or without drive thru
- Motor Vehicle Fueling Station
- Automotive Repair Minor

Uses that are not included in the Planned Development shall be prohibited.

The industrial property is to be developed with modified design standards of the Commercial Corridor zoning district. The modified design standards include allowing extended parking rows before a required landscaped island to 20, a parking ratio of 1:2000 sqft of floor area, 10% landscaping throughout the site as normally allowed in LI districts. Landscaping on

the site will be Texas native and drought resistant. Landscaping along the southern border will require a minimum of 30' trees placed 40' O.C. for approximately one large tree per residential yard for screening.

The commercial lots will be developed within current zoning ordinance design standards.

A Traffic Impact Analysis (TIA) was completed by the developer's consultant for the entire site. The TIA indicated that the site will generate approximately 450 daily peak hour trips. With the addition of a northbound left-turn lane on Wylie East Drive and striping of northbound Anson Parkway at Hwy 78 to include a dedicated 500' left turn lane, the TIA concludes that the current roadway network can handle the added development generated traffic. City Engineering staff have some concerns, and are conducting a full review of the TIA regarding the conclusions. Additionally, Engineering has requested an analysis from the applicant of the Anson Parkway concrete paving to determine the viability of withstanding repeated heavy commercial traffic. This roadway is currently outlined as a local collector on the 2018 Wylie Thoroughfare Map.

The properties adjacent to the subject property are zoned commercial to the west, residential to the south, and Commercial Industrial to the north. The properties to the west and north are undeveloped however a PD, site plan, and plat for 2.5 million square feet of Light Industrial development has been approved for the northern property.

The subject property lies within the General Urban Sector of the Comprehensive Land Use Plan. The proposed zoning is compatible with the Plan.


Notices were sent to 52 property owners within 200 feet as required by state law. At the time of posting one response was received in favor and one response opposed.

Locator Map

03/15/2022 Item 2.



ZC 2022-05; Lovett 78 Logistics Center

 Subject Property

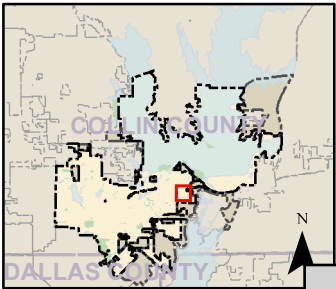
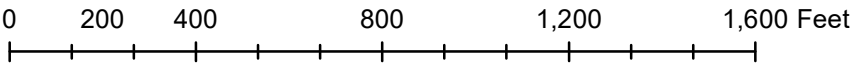


EXHIBIT "B"
CONDITIONS FOR PLANNED DEVELOPMENT
2022-XX-CC

I. PURPOSE:

This Planned Development District shall be established to provide warehousing, light industrial, light manufacturing, and commercial uses to support economic growth within the region.

II. GENERAL CONDITIONS:

1. This Planned Development District shall not affect any regulations within the Code of Ordinances, except as specifically provided herein.
2. The development shall be in general conformance with Exhibit "A" (Zoning Exhibit) and Exhibit "C" (Development Schedule).

III. SPECIAL CONDITIONS:

1. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on Lot 1 the subject property:
 - a. Industrial (Inside)
 - b. Office Showroom/Warehouse
 - c. Light Assembly & Fabrication
 - d. Warehouse/Distribution Center
 - e. Food Processing
2. The following uses as defined in the April 2021 Comprehensive Zoning Ordinance shall be expressly permitted on the subject property, but limited to the Proposed Retail Pad sites, as shown on the Zoning Exhibit:
 - a. Restaurant with or without Drive-in or Drive-through Service
 - b. Motor Vehicle Fueling Station
 - c. Car Wash
 - d. Automobile Repair, Minor
 - e. Other uses currently permitted under Corridor Commercial District zoning
 - f. Accessory uses to III.2.a-e
3. All other uses shall be prohibited on the subject property.

4. All commercial vehicles that utilize the site shall have access to Anson Parkway and Wylie East Drive as generally depicted on the Zoning Exhibit.
5. Design criteria shall be in conformance with Commercial Corridor Architectural Design Requirements of the April 2021 zoning ordinance.
6. All fixed lighting, interior and exterior shall be Light Emitting Diode (LED).
7. Prior to development, approved plats and site plans shall be required.
8. The entire subject property shall be in conformance with all regulations of the Commercial Corridor Zoning District set forth in, Section 4.3, and Section 5.2 of the current Zoning Ordinance in every respect with exception to the uses indicated in Section III.1, III.2, and III.3 above, and Section III.10 below.
9. For Lot 1 (Industrial) only all regulations of Section 4.3 (Design Standards), Figures 4-7, 4-8, and 4-9 and their associated definitions set forth in the Comprehensive Zoning Ordinance (adopted as of April 2021) are hereby replaced with the following:

Figure 4-7 Site Design Requirements

ELEMENT	BASE STANDARD (All Development Must Comply Fully with All Listed Below)
Building Placement	1. Entrances and/or facades oriented to the street
Parking Placement	1. Parking spaces at least 25' from residential lot line 2. Pedestrian parking ratio of 1 per 2,000 GFA (gross floor area)
Access Drives	1. Minimum width drive of 24', turning radius of 28' 2. Access drive at least 150' from intersection 3. Landscaped treatments of entrances
Location of Service and Loading Areas	1. Shall be individually screened from view from a public street. Screening will be achieved by a combination of

landscaping, berms, wing walls and building orientation as illustrated in the Zoning Exhibits.

Figure 4-8 Landscaping Design Requirements

ELEMENT	BASE STANDARD (All Development Must Comply Fully with All Listed Below)
Site wide landscaping	1. All landscape plantings excepting those immediately adjacent to structures shall be native to Texas and drought resistant species to the extent possible.
Landscaping of Parking Lots	1. Site plans requiring more than 12 spaces required to have 50 sq.ft. of landscaping per space. 2. No parking space further than 60' from landscaped area on site. 3. Parking rows 20 spaces or longer shall have landscaped island at the end. 4. All parking rows shall have landscaped areas at least every 20 spaces.
Visual Screening	1. Required screening in strip at least 5' wide, plants 3' in height when planted, included one flowering tree every 50 linear feet of area. This requirement will apply only to loading areas within the development. 2. Required screening along the southern boundary of the property includes a wall, utilizing complementary materials and elements, and landscaping, as shown on the Zoning Exhibits. Landscape plans call for 30' high trees, planted 40' OC.
Landscaping of Street Frontages	1. At least 50% of required front yard developed as landscaped buffer, at least 10' in width. 2. Trees required in buffer, in groves or belts on 30-40' spacing. 3. Required trees at least 3" in caliper.

4. At least 5' concrete walkway on perimeter when adjacent to thoroughfare.

Figure 4-9 Architectural Design Requirements

ELEMENT BASE STANDARD

(All Development Must Comply Fully with All Listed Below)

Building Materials

1. Allowed uses from Section III.2 shall have buildings constructed of masonry product with at least 20% stone on front façade. Tilt wall construction shall be permissible for Buildings on Lot 1.
2. Roofs with pitch greater than 2:12 use specified roofing materials.
3. Buildings shall provide consistent architectural styles and details, design themes, building materials, and colors throughout the development.

Building Articulation, Form and Massing

1. Walls not to exceed a height width ratio of 1 to 2 with variation in massing of facade. At least 20% of facade offset at least 4'.
2. Entrances must be emphasized with architectural elements.
3. Ground floor facades require specified features along 60% of length.

10. All regulations of the Commercial Corridor District (CC) set forth in Article 4, Section 4.1, 2 of the Comprehensive Zoning Ordinance (adopted as of April 2021) are hereby replaced with the following:

Figure 4-3 – Commercial Corridor (CC)

Height

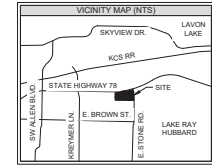
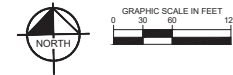
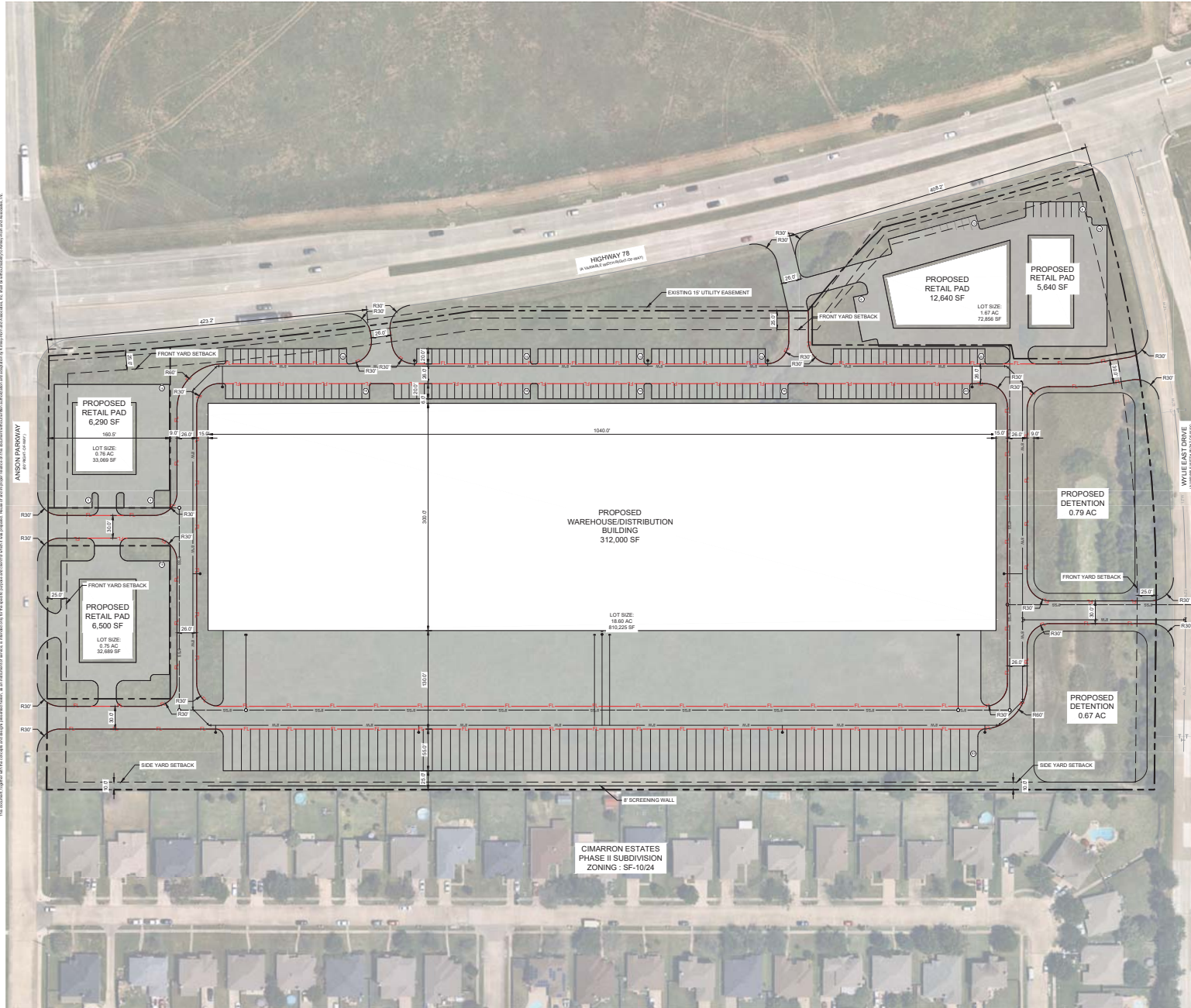
Height of Main Structure (feet)	50
Number of Stories	4
Residential Proximity	3: 1 slope from residential lot line

Building Placement and Coverage

Front Yard Setback (feet)	25
Side Yard Setback (feet)	10
Rear Yard Setback (feet)	10
Building Coverage	50 %

Buffering and Screening

Service and Loading Areas	Shall be individually screened from view from a public street. Screening will be achieved by a combination of landscaping, wing walls, berms and building orientation as illustrated in the Zoning Exhibits.
---------------------------	--



CONDITIONS FOR PLANNED DEVELOPMENT	
HEIGHT OF MAIN STRUCTURE	36 FT
NUMBER OF STORES	4
RESIDENTIAL PROXIMITY	3:1 SLOPE FROM RESIDENTIAL LOT LINE
FRONT YARD SETBACK	25 FT
SIDE YARD SETBACK	10 FT
REAR YARD SETBACK	10 FT
BUILDING COVERAGE	50%
SERVICE AND LOADING AREAS	SHALL BE INDIVIDUALLY SCREENED FROM VIEW FROM A PUBLIC STREET. SCREENING WILL BE ACHIEVED BY A COMBINATION OF LANDSCAPING, WING WALLS, BERMS AND BUILDING ORIENTATION.

SITE DATA SUMMARY TABLE FOR WAREHOUSE BUILDING	
COMBINED LOT AREA	21.85 AC / 951,786 SF
BUILDING SQUARE FOOTAGE	312,000 SF
BUILDING COVERAGE	32.0%
IMPERVIOUS COVER	65.0%
REQUIRED PARKING (1 PER 2,000 GFA)	312,000 / 2,000 = 156
PROPOSED AUTO PARKING	169
PROPOSED TRAILER STORAGE	83

OWNER
78 HOOPER, LTD

APPLICANT
LOVETT INDUSTRIAL - COLBY EVERETT
1902 WASHINGTON AVE, SUITE A
HOUSTON, TX 77007
(602) 999-3716
COLBY.EVERETT@LOVETTINDUSTRIAL.COM

ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL RD, TWO GALLERIA TOWERS, SUITE 700,
DALLAS, TX 75240
(602) 770-1300
DAN.GALLAGHER@KIMLEY-HORN.COM

NO.	REVISIONS	DATE

Kimley-Horn

13455 NOEL ROAD, TWO GALLERIA TOWERS, SUITE 700, DALLAS, TX 75240
PH: 214.635.1300
WWW.KIMLEY-HORN.COM, TX F 408
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT NO.	2021-001
DATE	FEBRUARY 2022
SCALE	AS SHOWN
DESIGNED BY	DNCS
DRAWN BY	SCPT
CHECKED BY	DNCS

LOVETT 78
LOGISTICS CENTER

WYLE
TEXAS

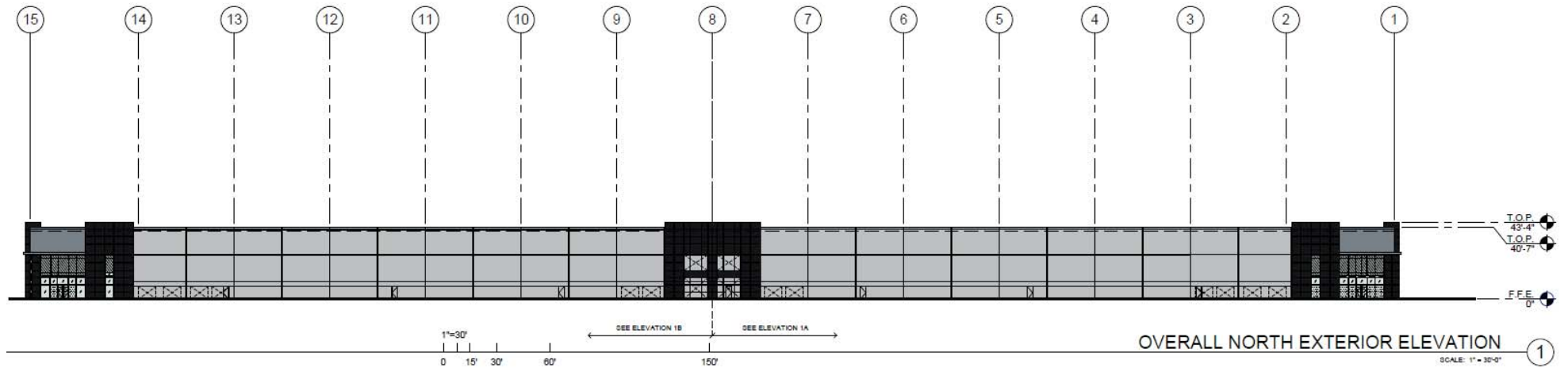
SITE PLAN

SHEET NUMBER
SP

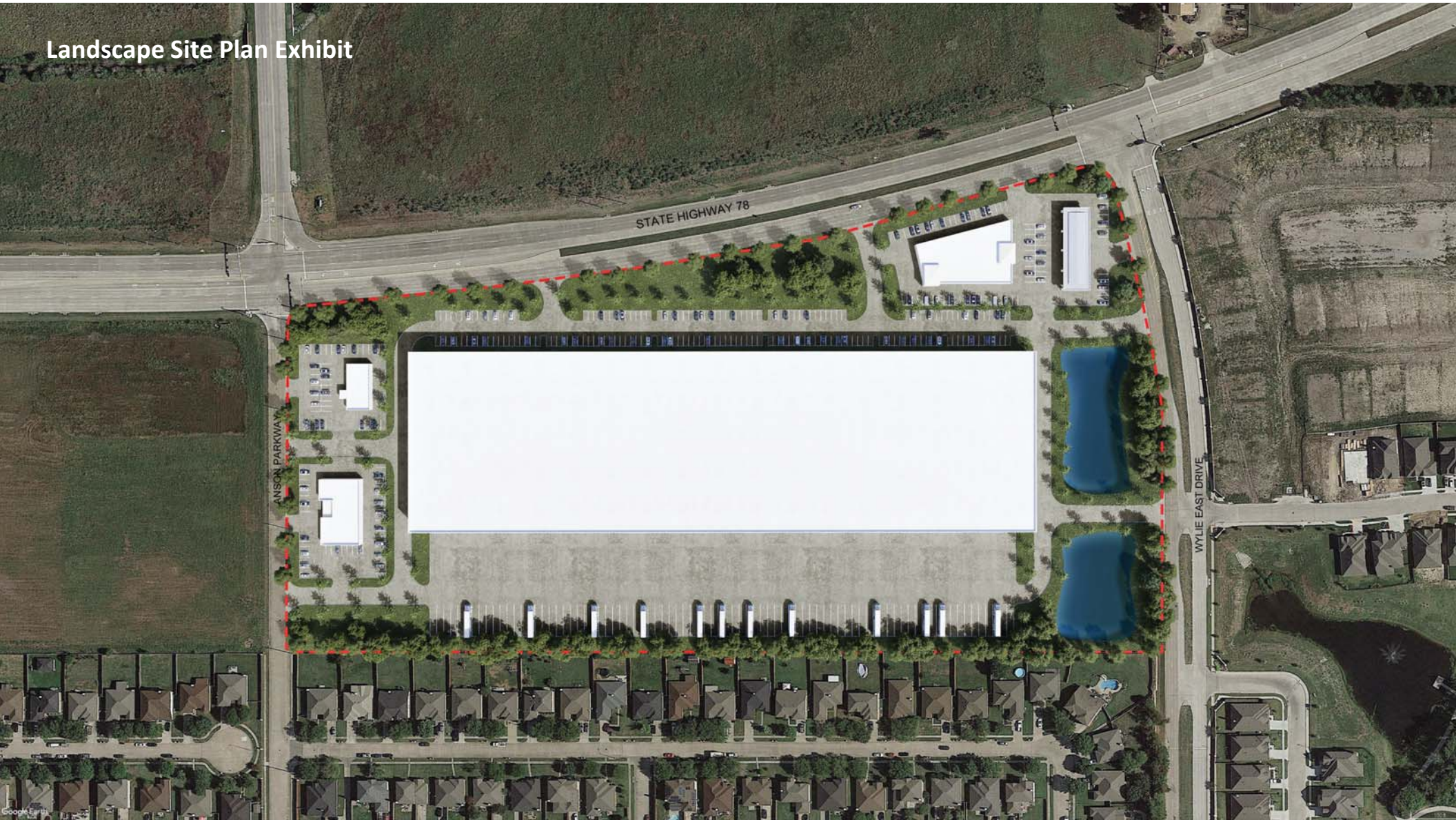
Representative Rendering



Representative Elevations



Landscape Site Plan Exhibit



Landscape Site Plan Exhibit



Landscape Site Plan Exhibit



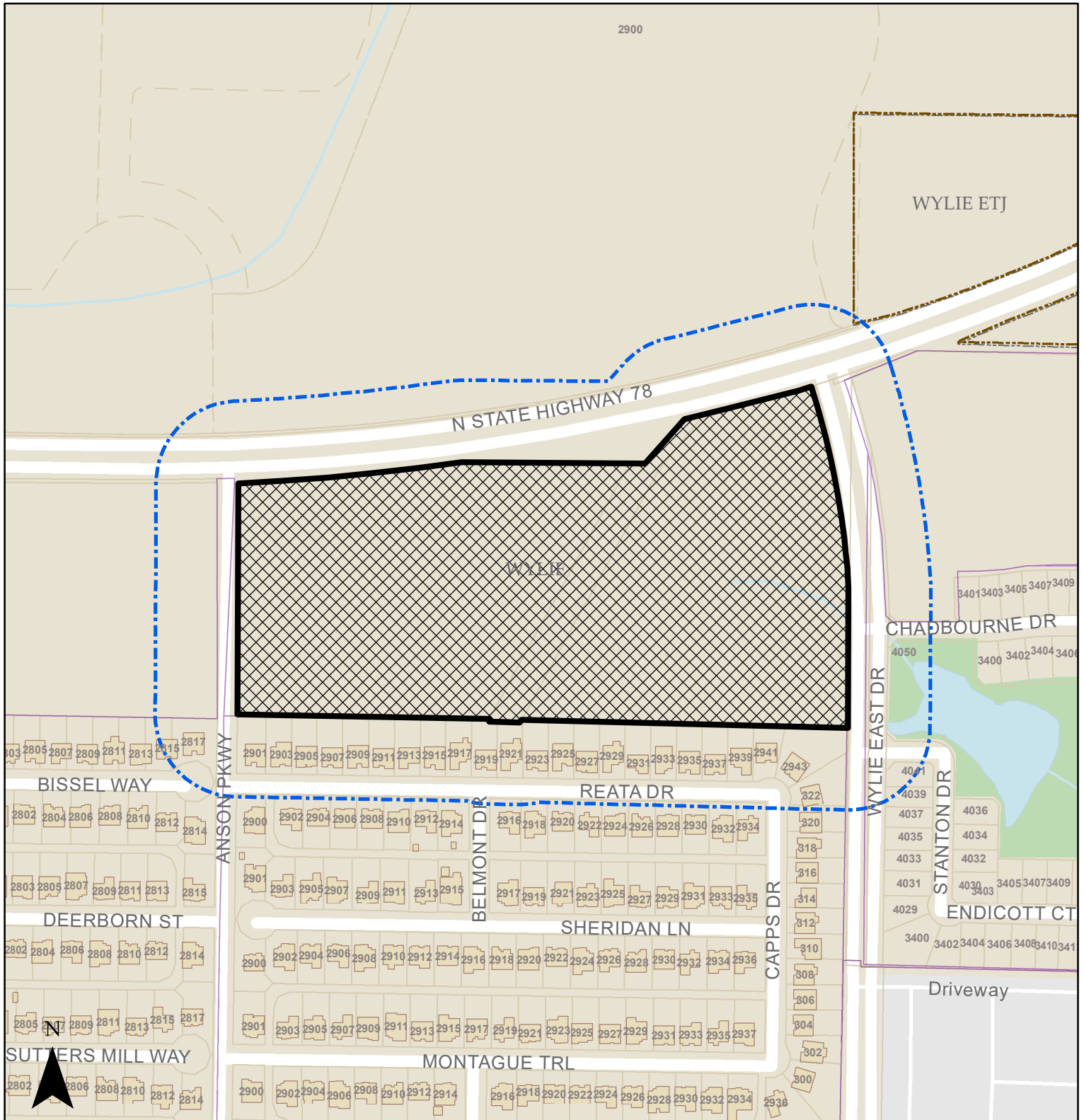
Lovett Logistics Planned Development Schedule

- Site planning complete – Q1 2022
- PD and site plan submittal – Q1 2022
- TIA & Updated ALTA Survey – Q1 2022
- Preliminary Geotech Report & Phase 1 ESA – Q2 2022
- PD approval at City Council – Q2 2022
- Close on land – Q2 2022
- Full design release – Q2 2022
- Pricing/permit architectural set – Q2 2022
- On-site & off-site construction documents complete – 3Q 2022
- Approval of civil plans – 3Q 2022
- Building permits – 3Q 2022
- Construction commencement – 3Q 2022
- Construction completion – 3Q 2023

**Timing of milestones for retail pads is pending leasing*

Notification Map

03/15/2022 Item 2.



ZC 2022-05; Lovett 78 Logistics Center

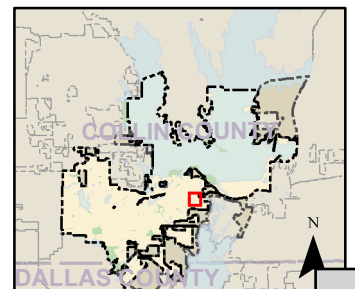


200 Foot Notification Buffer



Subject Property

0 160 320 640 960 1,280 Feet



PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098



I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.



I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of

Planning & Zoning

Commission meeting:

Tuesday, March 15, 2022 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of

City Council meeting:

Tuesday, April 12, 2022 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name: Nadin Nwinda
 (please print)

Address: 3450 Shenandoah st
Dallas, Tx 75205

Signature: Nadin Nwinda

Date: 2-25-2022

COMMENTS:

PUBLIC COMMENT FORM*(Please type or use black ink)*

Department of Planning
 300 Country Club Road
 Building 100
 Wylie, Texas 75098

I am **FOR** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

☒

I am **AGAINST** the requested zoning as explained on the attached public notice for Zoning Case #2022-05.

Please feel free to contact the Planning Department at 972.516.6320 with questions or concerns

Date, Location & Time of

Planning & Zoning

Commission meeting:

Tuesday, March 15, 2022 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Date, Location & Time of

City Council meeting:

Tuesday, April 12, 2022 6:00 pm

Municipal Complex, 300 Country Club Road, Building 100, Wylie, Texas

Name:

TIMOTHY TEAMANN

(please print)

Address:

2930 REATA DR.

WYLIE TX 75098

Signature:

T M Teamann

Date:

3.4.22

COMMENTS:

THE ORIGINAL ZONING AS COMMERCIAL CORRIDOR
WAS INSIGHTFUL AND AT PRESENT MOST FITTING

PLEASE CONSIDER AS A NEIGHBOR HOOD THAT
IS CENTERED BY STUDENTS OF W.E.H.S. A COMMERCIAL
CORRIDOR. A GATHERING PLACE FOR SENIOR'S LUNCH,
A JOB OPPORTUNITY FOR STUDENTS. WE DO NOT NEED
A MANUFACTURING BUILDING ON THE NEIGHBOR HOOD SIDE.



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 3

Subject

Consider, and act upon, a Site Plan for an industrial use on 2 acres, being Lot 1, Block A of Hensley Park, located on the northwest corner of Hensley Road and Hooper Road.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Keles Group

APPLICANT: ND & Associates, LLC

The applicant is proposing to develop four shell buildings totalling 32,875 sq.ft on two acres located on Lot 1, Block A of Hensley Park. The property is zoned Light Industrial and allows for the proposed industrial use by-right.

The preliminary plat for this development is also on the agenda.

The development requires 30 parking spaces for the proposed light industrial uses and is providing 32 parking spaces with 7 of them being ADA accessible.

The site is providing 27% landscaping which exceeds the 10% normally required in LI zoned districts. The plan calls for a 5' wide sidewalk along Hensley road.

Access to the site is proposed from a 30' driveway with access from Hooper Road and Hensley Road. This drive shall also function as a firelane. A city water line that currently runs east-west across the property is being relocated and placed along the proposed access drive.

The structure's exterior material consists of metal panels. Entrances are emphasized with metal canopies. All structures at or over 6,000 sq.ft. shall be required to have a fire sprinkler system installed.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

FIRE LANE MAINTENANCE NOTE:

1. DESIGNATED FIRE LANE SHALL BE SURFACED WITH MIN. 4000 PSI, #4 @ 18" O.C.W 6" CONCRETE WITH 6" LIME TREATED SUBGRADE TO SUPPORT ANY FIRE DEPARTMENT VEHICLE AND SHALL REMAIN STRUCTURALLY UNAFFECTED BY BAD WEATHER.

2. APPROVED STRIPING SHALL BE PROVIDED AND MAINTAINED FOR THE FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS AND TO PROHIBIT THEIR OBSTRUCTION.

3. 6-INCH WIDE RED STRIPING SHALL BE ALONG THE PERIMETER AND CONTAIN THE WORDS "FIRE LANE NO PARKING" IN 4-INCH HIGH WHITE LETTERS, AT 25 FOOT INTERVALS.

4. IT SHALL BE RESPONSIBILITY OF THE OPERATOR/OWNER OF PREMISES HAVING A FIRE LANE TO MAINTAIN IT IN GOOD CONDITION, FREE OF OBSTRUCTION.

SITE DATA SUMMARY TABLE

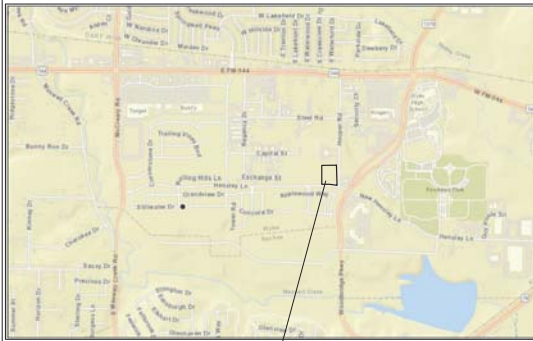
ITEM	
ZONING (from zoning map)	LIGHT INDUSTRIAL (LI)
LAND USE(from zoning ordinance)	LIGHT INDUSTRIAL
LOT AREA (square feet & acres)	87,096 SF ± (2.0 AC±)
PROP. BUILDING FOOT PRINT AREAS	32,606 S.F.
TOTAL BUILDING AREAS (square feet)	32,606 S.F.
LOADING/UNLOADING AREA	3600 SF
BUILDING HEIGHT	26.0'
NUMBER OF STOREY	ONE
LOT COVERAGE	37.43%
PARKING	
TOTAL PARKING SPACES REQUIRED : 1 PARKING SPACE FOR 1000 SF	
TOTAL PARKING SPACES REQUIRED (32,676-3600)/750	30 SPACES
PROVIDED PARKING (# spaces)	32 SPACES
ACCESSIBLE PARKING REQUIRED (# spaces)	2 SPACES
ACCESSIBLE PARKING PROVIDED (# spaces)	7 SPACES

SCHEDULE:

1. PRELIMINARY PLAT SUBMITTAL: 03/01/2022
2. CIVIL CONSTRUCTION DRAWINGS SUBMITTAL: 03/28/2022
3. BUILDING DRAWINGS SUBMITTAL: 03/07/2022
4. CONSTRUCTION START: 05/01/2022
5. CONSTRUCTION END: 11/01/2022

NOTE:

EXTERIOR BUILDING FINISH: PREFABRICATED METAL

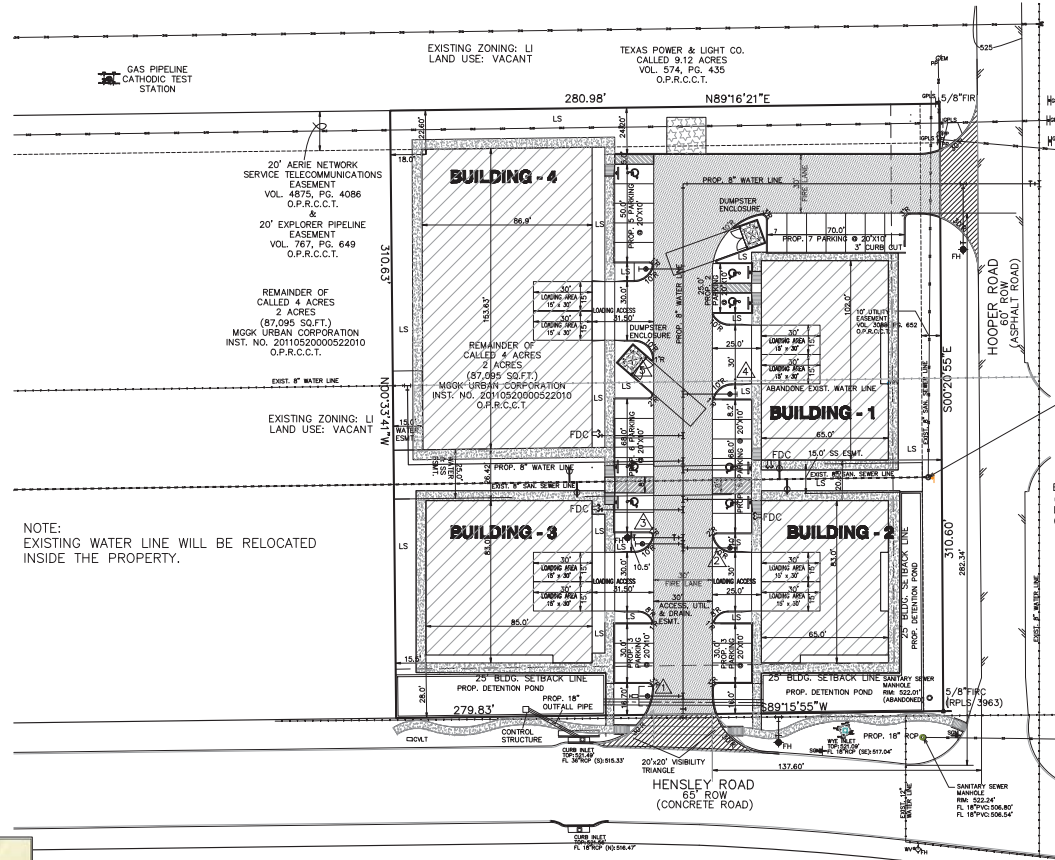


VICINITY MAP
N.T.S.

PROJECT SITE

DUMPSTER NOTE:

DUMPSTER TO BE SCREENED BY SIX-FOOT MASONRY WALL TO MATCH BUILDING WITH SIX-FOOT SOLID METAL GATE PER CITY DETAILS.



NOTE:
EXISTING WATER LINE WILL BE RELOCATED
INSIDE THE PROPERTY.

TYPICAL PAVING SECTION

- PAVEMENT IN ROW**
6" - 4000 PSI Class "C" Concrete @ 3 day
with #4 Bars at 18" O.C.W.
Minimum 6" Lime Stabilization
On Compacted Subgrade
- FIRE LANE & GARBAGE TRUCK ROUTE**
6" - 4000 PSI Class "C" Concrete
with #4 Bars at 18" O.C.W.
Minimum 6" Lime Stabilization
On Compacted Subgrade
- PARKING AREA PAVEMENT:**
5" - 4000 PSI Class "C" Concrete
with #4 Bars at 18" O.C.W.
Minimum 6" Lime Stabilization
On Compacted Subgrade
- DUMPSTER:**
7" - 4000 PSI Class "C" Concrete
with #4 Bars at 18" O.C.W.
Minimum 6" Lime Stabilization
6/24" Compacted Subgrade, Re-work
of FSI (Where Fill is Encounter)
- SIDEWALK:**
4" - 3000 PSI Concrete
with #4 Bars at 18" O.C.W.
2" Sand Bed on Compacted Subgrade

ALL CONCRETE FOR PAVEMENT SHALL BE 4500 PSI
IF IT IS NECESSARY FOR HAND FINISH.

WATER METER SCHEDULE

I.D	TYPE	SIZE	NO.	SAN. SEWER	REMARKS
△	IRRIGATION	1.0"	1	N/A	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED
△	DOMESTIC	1.0"	1	4"	PROPOSED

NOTE:
THE PURPOSE OF THIS SITE PLAN IS TO
CONSTRUCT A 4-METAL BUILDING

LEGEND

G7495/70	EXIST. GUTTER ELEVATION
CLVT	EXIST. CABLE VAULT
WV#	EXIST. WATER VALVE
ΦFH	EXIST. FIRE HYDRANT
SSMH	EXIST. SANITARY SEWER MANHOLE
Φ	EXIST. TREE
—X—X—X—	EXIST. FENCE
—W—W—W—	EXIST. WATER LINE
—SS—SS—	EXIST. SANITARY SEWER LINE
—STM—STM—	EXIST. STORM SEWER LINE
500	EXIST. CONTOUR

OWNER
ADC Industrial, LLC
Contact: Joseph Keles
3815 Blossom Dr.
Sachse, Texas 75048
PH: 469 996 1363
E-mail: jspkeles@gmail.com

CIVIL ENGINEER
ND & ASSOCIATES, LLC
Contact: Naim Khan, P.E., CFM
603 Cherry Tree Lane
Wylie, Texas 75098
PH: 214 533 7181
E-MAIL: naim1207@yahoo.com

SURVEYOR
GEONAV, LLC
Contact: (Joe) Chris Howard, RPLS, PLS (OK)
3410 Midcourt Road, Suite 110
Carrollton, Texas 75006
chris.howard@geonav.com
C: 972-243-2409
C: 281-701-3989

ARCHITECT
OCULUS Architects, INC.
Contact: Fokrudin Khondaker
14310 Rich Branch Drive
North Potomac
MD 20878

LANDSCAPE ARCHITECT
T.H. Pritchett/Associates
Contact: Tom Pritchett
1218 Camino Lago
Irving, TX 75039
PH: 214 697 25804



Md. Naim Uddin Khan 2-28-2022
ENGINEER NO. 87776. THESE PLANS WERE
PREPARED UNDER THE RESPONSIBLE SUPERVISION
OF MD. NAIM UDDIN KHAN REGISTERED
PROFESSIONAL ENGINEER
THE SEAL APPEARING ON THIS DOCUMENT HAS BEEN
AUTHORIZED BY MD. NAIM UDDIN KHAN P.E.
#87776

SITE PLAN

HENSLEY PARK

550 HOPPER ROAD, WYILE, TX 75098
AREA: 87,095 SF/2.0 ACRES

ND & Associates, LLC

603 Cherry Tree Lane
Wylie, Texas 75098
Contact: Naim Khan, P.E., CFM
PH: (214) 633 7181
EMAIL: naim1207@yahoo.com
FIRM # F - 13340

Date : 2/28/2022

Design : ND

Draft : ND

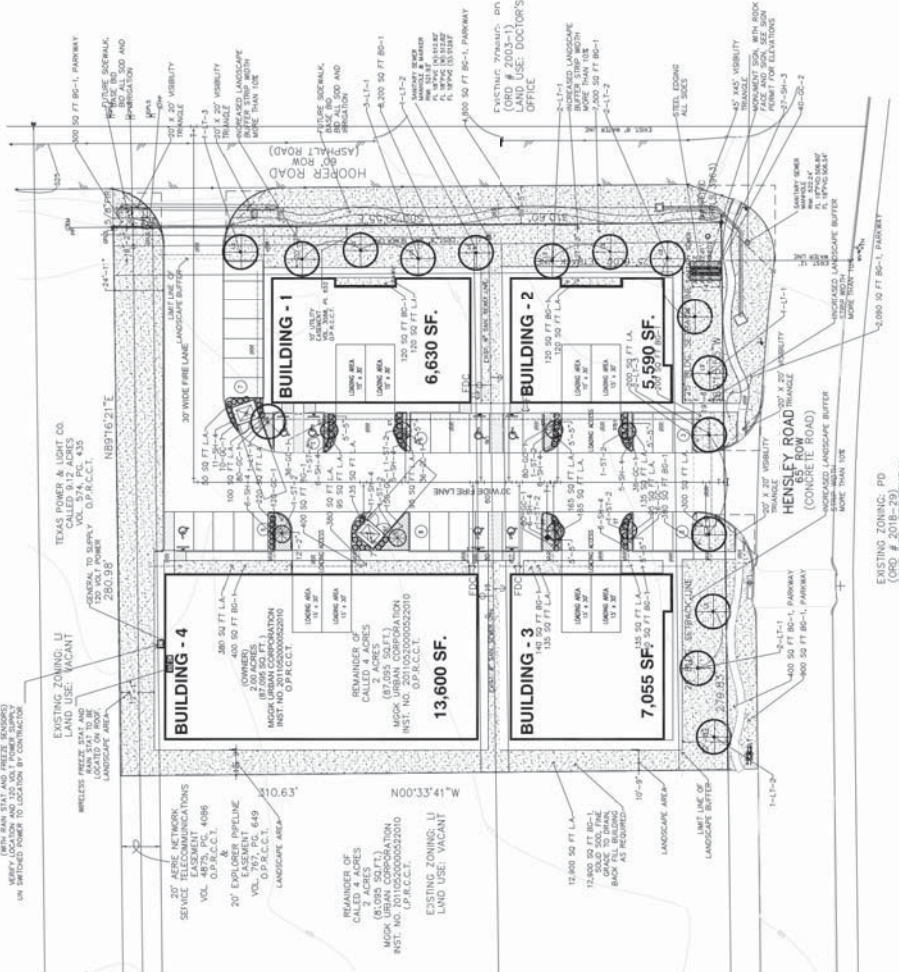
Checked : ND

PROJECT NO :
850-WYL-2022

SCALE: 1" = 30'

C-2

FOR CITY "SITE PLAN" REVIEW
NOT FOR CONSTRUCTION



CITY OF WYLLIE - LANDSCAPE ORDINANCE

[illegible]

PLANT SYMBOLS

PLANT MATERIAL, SEE PLANT LIST

PLANT MATERIALS QUANTITY

LANDSCAPE PLANT SYMBOLS

 LANDSCAPE STREET FRONTAGE SHALL BE FOR 30-40 IF ALL TREES TO BE INSTALLED OVER 7'-0" FROM ALL UNDERGROUND UTILITIES LOCATE UNDER DRIVELANDSCAPE STREET FRONTAGE SHALL BE FOR 30-40 IF ALL TREES TO BE INSTALLED OVER 7'-0" FROM ALL UNDERGROUND UTILITIES LOCATE UNDER DRIVEUTILITIES AS REQUIRED DURING CONSTRUCTION PERIOD.

PLANT LIST

[illegible]

THE UTILITIES

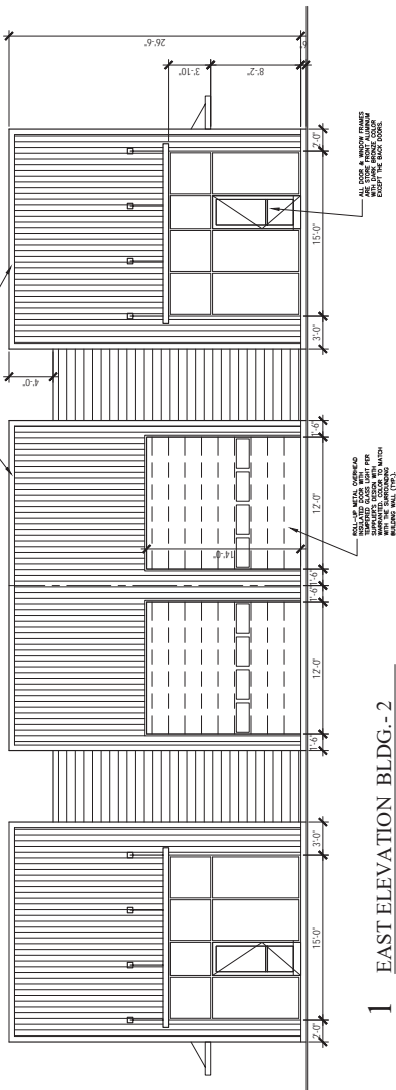
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LANDSCAPE NOTES

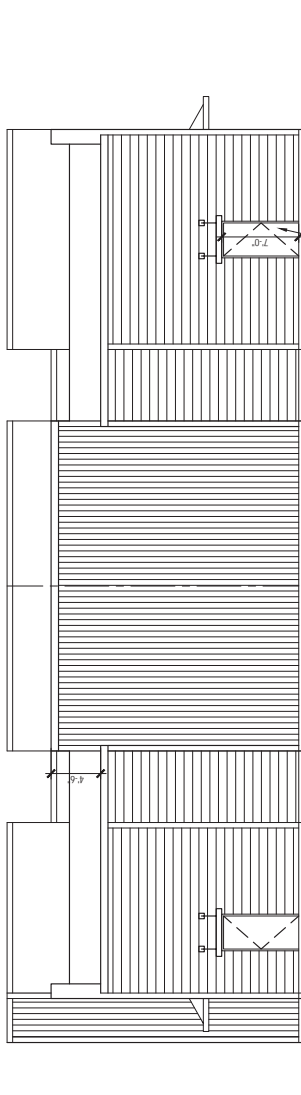
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MAINTENANCE PERIOD IN BASE BID 12 MONTHS

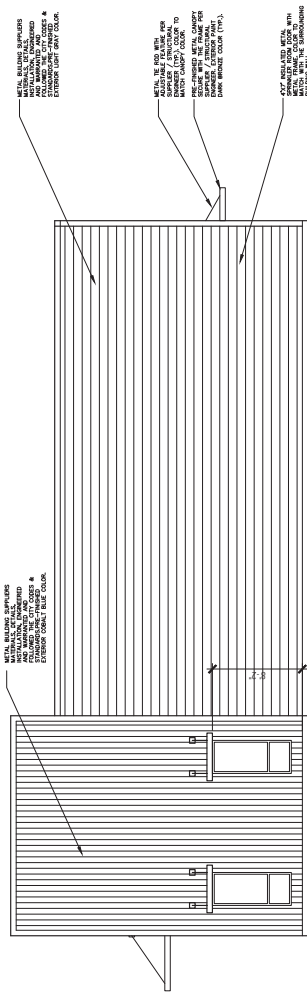
1. LANGUAGE CONTRACTOR TO MAINTAIN THE TIME LIMITS OF WORK ARE, FOR A PERIOD OF 12 MONTHS FROM DATE OF FINAL ACCEPTANCE.
2. FINAL ACCEPTANCE LETTER SHALL BE ISSUED BY ARCHITECT WITH DATE FOR PERIOD TO BE MAINTAINED.
3. INCLUDE COST IN BASE BID AS A LINE ITEM IF SUB CONTRACTING THIS WORK OUT. PROVIDE SUB CONTRACTOR'S NAME AND INSURANCE CERTIFICATION WITH BID.
4. PROVIDE ADDITIONAL BID FOR SECOND YEAR MAINTENANCE PERIOD OF 12 MONTHS AND ALSO ALTERNATE ITEM.



2 WEST ELEVATION BLDG. - 2



3 SOUTH ELEVATION BLDG. - 2
SCALE: 3/16" = 1'-0"





Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning
Prepared By: Kevin Molina

Item Number: 4

Subject

Consider, and act upon, a Site Plan for Wylie Senior Apartments, an affordable age-restricted multi-family development on 16.88 acres, generally located adjacent and southwest of 2300 FM 544.

Recommendation

Motion to **approve** as presented.

Discussion

OWNER: Episcopal Church of Dallas

APPLICANT: Roers Development

The applicant is proposing to develop an affordable age-restricted multi-family development totalling 58,907 sq.ft on 15.88 acres located on Lot 1, Block A of Senior Medical Addition. The property is zoned Planned Development-Multifamily (PD 2022-06) and allows for the age restricted multi-family use approved in January of 2022. The preliminary plat for this development is also on the agenda.

The proposal includes a maximum of 200 units at a density of 12.6 units per acre which conforms with the approved PD design standards. The units include studio, one bedroom, and two bedroom apartments at 560, 710,800 and 1000 square feet, respectively. The PD Conditions also allow a maximum building height of 55' which the Fire Department has reviewed and approved.

The development requires 1.25 parking spaces for every unit and is providing 250 spaces for 200 units. Ten of those spaces are ADA accessible.

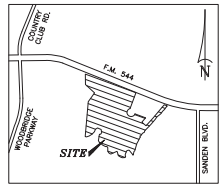
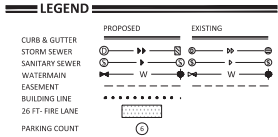
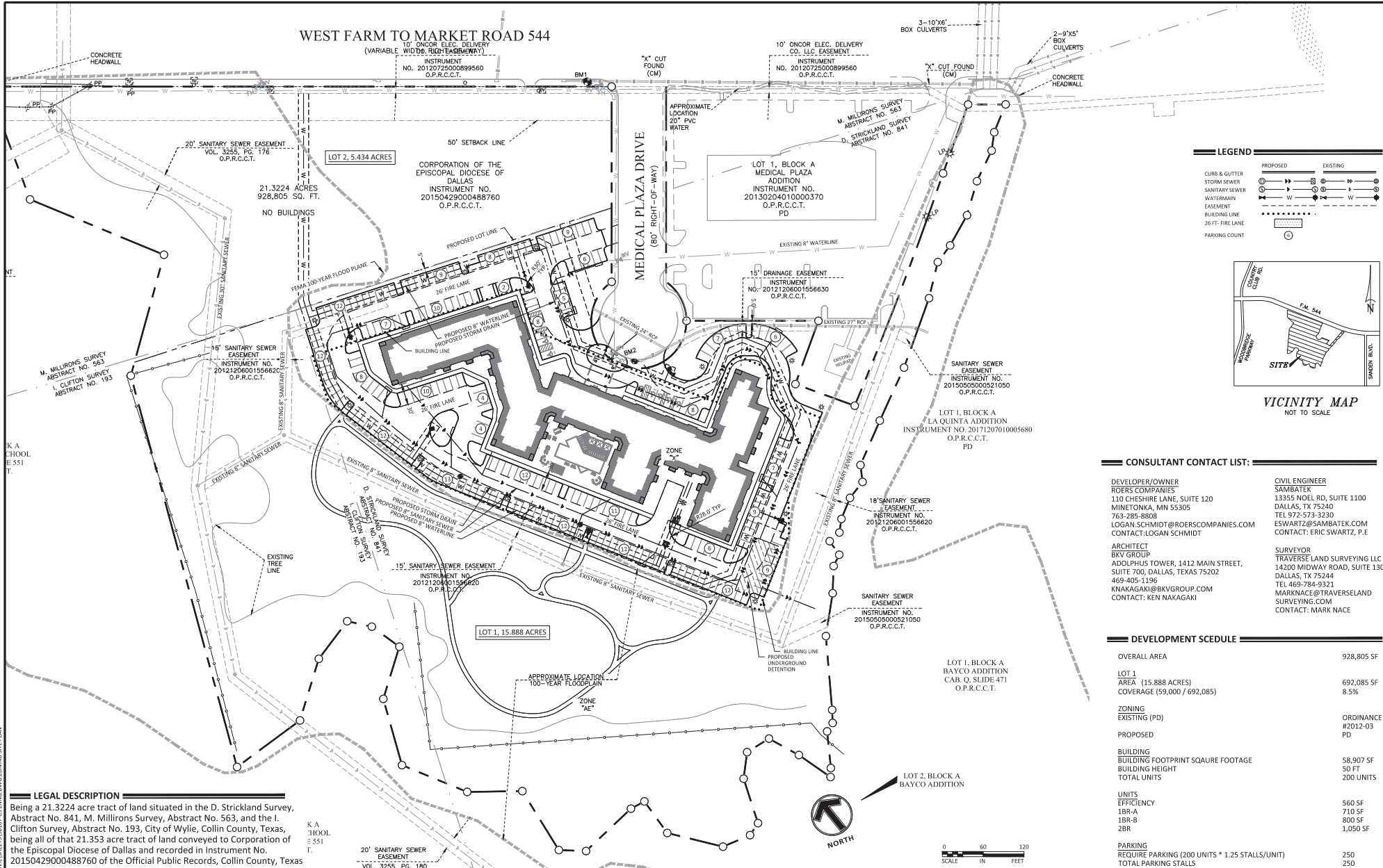
Fire, safety and vehicle access to the site is proposed from two driveway entrances from Medical Plaza. The site plan provides amenities such as a walking trail, outdoor pool area, and a dog park as shown in the site plan. Landscaped islands are also provided throughout the parking lot area.

The structure's exterior material consists of fiber cement, stucco and masonry. Entrances are emphasized with metal canopies. The structure shall be required to have a fire sprinkler system installed.

As presented, this site plan is in compliance with the design requirements of the Zoning Ordinance and of Planned Development 2022-06. Approval of the site plan is subject to additions and alterations as required by the City Engineering Department.

The Planning and Zoning Commission must provide a written statement of the reasons for conditional approval or disapproval to the applicant in accordance with Article 212, Section 212.0091 of the Texas Local Government Code.

WEST FARM TO MARKET ROAD 544



VICINITY MAP
NOT TO SCALE

CONSULTANT CONTACT LIST:

<p>DEVELOPER/OWNER ROERS COMPANIES 110 CHESHIRE LANE, SUITE 120 MINNETONKA, MN 55305 763-285-8808 LOGAN.SCHMIDT@ROERSCOMPANIES.COM CONTACT: LOGAN SCHMIDT</p>	<p>CIVIL ENGINEER SAMBATEK 13355 NOEL RD, SUITE 1100 DALLAS, TX 75240 TEL 972-573-3230 ESWARTZ@SAMBATEK.COM CONTACT: ERIC SWARTZ, P.E.</p>
<p>ARCHITECT BKV GROUP ADOLPHUS TOWER, 1412 MAIN STREET, SUITE 700, DALLAS, TEXAS 75202 469-405-1196 KNAGAKAKI@BKVGROUP.COM CONTACT: KEN NAKAGAKI</p>	<p>SURVEYOR TRAVERSE LAND SURVEYING LLC 14200 MIDWAY ROAD, SUITE 130 DALLAS, TX 75244 TEL 469-784-9321 MARKNACE@TRAVERSELANDSURVEYING.COM CONTACT: MARK NACE</p>

DEVELOPMENT SCHEDULE

OVERALL AREA	928,805 SF
LOT 1 AREA (15.888 ACRES)	692,085 SF
COVERAGE (59,000 / 692,085)	8.5%
ZONING	ORDINANCE #2012-03 PD
EXISTING (PD)	
PROPOSED	
BUILDING	58,907 SF
BUILDING FOOTPRINT SQUARE FOOTAGE	
BUILDING HEIGHT	50 FT
TOTAL UNITS	200 UNITS
UNITS	
EFFICIENCY	560 SF
1BR-A	710 SF
1BR-B	800 SF
2BR	1,050 SF
PARKING	
REQUIRE PARKING (200 UNITS * 1.25 STALLS/UNIT)	250
TOTAL PARKING STALLS	250

LEGAL DESCRIPTION

Being a 21.3224 acre tract of land situated in the D. Strickland Survey, Abstract No. 841, M. Millirons Survey, Abstract No. 563, and the I. Clifton Survey, Abstract No. 193, City of Wylie, Collin County, Texas, being all of that 21.353 acre tract of land conveyed to Corporation of the Episcopal Diocese of Dallas and recorded in Instrument No. 20150429000488760 of the Official Public Records, Collin County, Texas

NO	DATE	BY	CHKD	APPR	COMMENT

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes.
Sambatek
Engineer: ERIC C. SWARTZ, P.E.
P.E. No. 118608, Exp. 11/12/2023

DRAWN BY: SG
DESIGNED BY: SG
CHECKED BY: ELS
PROJECT NO: 50107

TEXAS REG. ENGINEERING FIRM: F-19014
Sambatek
www.sambatek.com
Engineering | Surveying | Planning | Environmental

ZONING SITE PLAN
ROERS INVESTMENTS
WYLIE SENIOR APARTMENTS
PRELIMINARY
WYLIE, TEXAS

SHEET
C3.01
OF 18
REV.




































DEVELOPMENT NOTES:

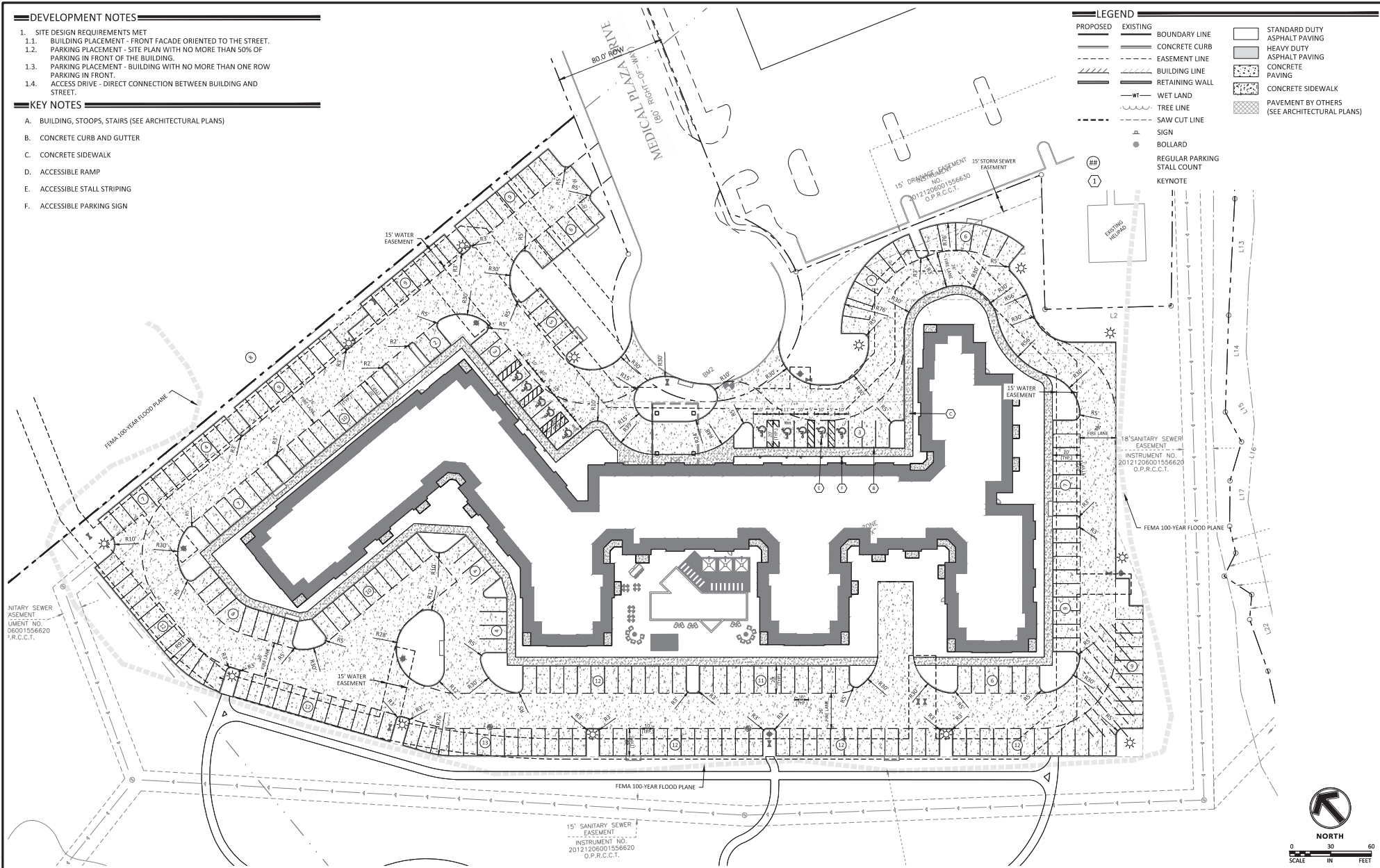
1. SITE DESIGN REQUIREMENTS MET
- 1.1. BUILDING PLACEMENT - FRONT FACADE ORIENTED TO THE STREET.
- 1.2. PARKING PLACEMENT - SITE PLAN WITH NO MORE THAN 50% OF PARKING IN FRONT OF THE BUILDING.
- 1.3. PARKING PLACEMENT - BUILDING WITH NO MORE THAN ONE ROW PARKING IN FRONT.
- 1.4. ACCESS DRIVE - DIRECT CONNECTION BETWEEN BUILDING AND

KEY NOTES

- A. BUILDING, STOOPS, STAIRS (SEE ARCHITECTURAL PLANS)
- B. CONCRETE CURB AND GUTTER
- C. CONCRETE SIDEWALK
- D. ACCESSIBLE RAMP
- E. ACCESSIBLE STALL STRIPING
- F. ACCESSIBLE PARKING SIGN

==LEGEND

- | | | | |
|--|---|---|---|
| PROPOSED | EXISTING | BOUNDARY LINE |  STANDARD DUTY ASPHALT PAVING |
|  |  |  CONCRETE CURB |  HEAVY DUTY ASPHALT PAVING |
|  |  |  EASEMENT LINE |  CONCRETE PAVING |
|  |  |  BUILDING LINE |  CONCRETE SIDEWALK |
|  |  |  RETAINING WALL |  PAVEMENT BY OTHERS (SEE ARCHITECTURAL PLANS) |
|  WET |  |  WET LAND | |
|  |  |  TREE LINE | |
|  |  |  SAW CUT LINE | |
|  |  |  SIGN | |
|  |  |  BOLLARD | |
| | | REGULAR PARKING STALL COUNT | |
|  |  |  KEYNOTE | |

[illegible]

The image shows a preliminary stamp from Sambatsk. At the top, the word "PRELIMINARY" is printed in a bold, sans-serif font. Below it, the text "FOR REVIEW ONLY" is centered. Underneath that, a line of text reads "Not for construction or permit purposes." The Sambatsk logo, which consists of a stylized figure and the word "Sambatsk" in a bold, sans-serif font, is positioned to the left of the text. Below the logo, the text "Engineer ERIC C. SWARTZ, P.E." is printed. At the bottom, the text "P.E. No. 119503 Date 11/12/2021" is printed.

DRAWN BY	SG
DESIGNED BY	SG
CHECKED BY	ECS
PROJECT NO	50107

TEXAS REG. ENGINEERING FIRM: F-19013

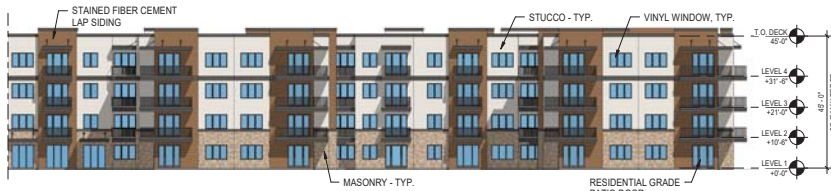
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DIMENSIONAL CONTROL PLAN

ROERS INVESTMENTS
WYLIE SENIOR APARTMENTS
PRELIMINARY
WYLIE, TEXAS

SHEET
C3.02
OF 18
REV

FIGURE 4-B ARCHITECTURAL DESIGN REQUIREMENTS		
ELEMENTS	BASE STANDARD	SELECT 3 DESIRABLE
BUILDING MATERIALS	N/A (MF ZONING)	1. USE OF TWO COMPLEMENTARY PRIMARY FACADE MATERIALS TO HELP ACHIEVE FACADE ARTICULATION, VISUAL VARIETY AND/OR ARCHITECTURAL DETAILING. 2. COPY SAME STYLE ENTIRE BLOCK.
BUILDING ARTICULATION, FORM AND MASSING	1. WALLS NOT EXCEED HEIGHT/WIDTH RATIO OF 1 TO 2 WITHOUT VARIATION IN MASSING OF FACADE. AT LEAST 20% OF FACADE OFFSET AT LEAST 4'. 2. ENTRANCES MUST BE EMPHASIZED WITH ARCHITECTURAL ELEMENTS.	1. APPLICATION OF BASE STANDARDS TO FACADES NOT FACING A PUBLIC STREET.
ARCHITECTURAL COMPATIBILITY	N/A (MF ZONING)	N/A (MF ZONING)



6 A1 PARTIAL SOUTH ELEVATION - RIGHT SIDE

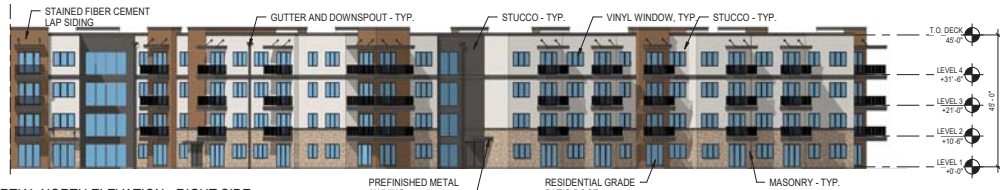


5 A1 PARTIAL SOUTH ELEVATION - LEFT SIDE



4 A1 OVERALL SOUTH ELEVATION

EXTERIOR MATERIAL SUMMARY
PRIMARY: MASONRY 30%
SECONDARY: STUCCO AND STAINED FIBER CEMENT LAP SIDING 70%



3 A1 PARTIAL NORTH ELEVATION - RIGHT SIDE

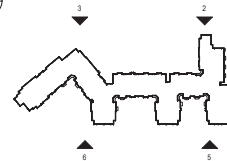


2 A1 PARTIAL NORTH ELEVATION - LEFT SIDE



1 A1 OVERALL NORTH ELEVATION

EXTERIOR MATERIAL SUMMARY
PRIMARY: MASONRY 30%
SECONDARY: STUCCO AND STAINED FIBER CEMENT LAP SIDING 70%



PROJECT TITLE

WYLIE SENIOR
APARTMENTS

ISSUE #	DATE	DESCRIPTION
---------	------	-------------

CERTIFICATION

DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	2425-08

SHEET TITLE

EAST AND WEST
ELEVATIONS

SHEET NUMBER

A2

FIGURE 4-9 ARCHITECTURAL DESIGN REQUIREMENTS		
ELEMENTS	BASE STANDARD	SELECT 3 DESIRABLE
BUILDING MATERIALS	N/A (MF ZONING)	1. USE OF TWO COMPLEMENTARY PRIMARY FACADE MATERIALS TO HELP ACHIEVE FACADE ARTICULATION, VISUAL VARIETY AND/OR ARCHITECTURAL DETAILING. 2. COPY SAME STYLE ENTIRE BLOCK.
BUILDING ARTICULATION, FORM AND MASSING	1. WALLS NOT EXCEED HEIGHT WIDTH RATIO OF 1 TO 2 WITHOUT VARIATION IN MASSING OF FACADE. AT LEAST 25% OF FACADE OFFSET AT LEAST 6'. 2. ENTRANCES MUST BE EMPHASIZED WITH ARCHITECTURAL ELEMENTS.	1. APPLICATION OF BASE STANDARDS TO FACADES NOT FACING A PUBLIC STREET.
ARCHITECTURAL COMPATIBILITY	N/A (MF ZONING)	N/A (MF ZONING)



2
A2
1" = 20'-0"

EXTERIOR MATERIAL SUMMARY
PRIMARY: MASONRY 30%
SECONDARY: STUCCO AND STAINED FIBER CEMENT LAP SIDING 70%



1
A2
1" = 20'-0"

EXTERIOR MATERIAL SUMMARY
PRIMARY: MASONRY 30%
SECONDARY: STUCCO AND STAINED FIBER CEMENT LAP SIDING 70%



BKV GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

1412 Main Street
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CONSULTANTS

PROJECT TITLE

**WYLIE SENIOR
APARTMENTS**

ISSUE #	DATE	DESCRIPTION
01/11/2022	01/11/2022	SITE PLAN SUBMITTAL
03/04/2022	03/04/2022	SITE PLAN RESUBMITTAL

CERTIFICATION



DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	XXXXXX

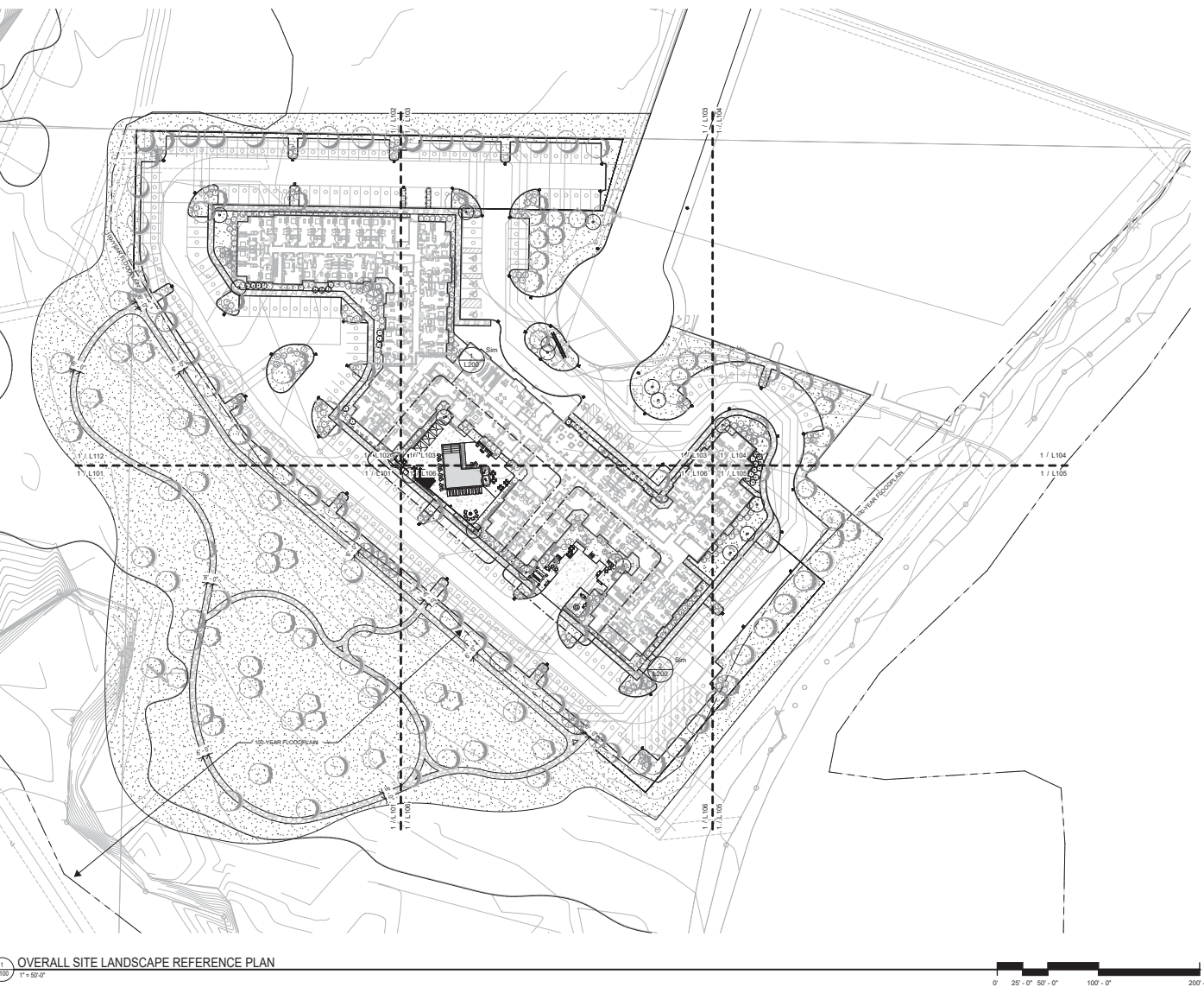
SHEET TITLE

**OVERALL
SITE/LANDSCAPE
PLANS**

SHEET NUMBER

L100

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GRAPHIC LEGEND:

CONCRETE #1: TYP (SEE SPEC)	TURFGRASS, 100% IRRIGATED (SEE SPEC)
HARDWOOD MULCH, SHREDED (SEE SPEC)	GROUNDCOVER #1 (SEE PLANT SCHEDULE)
PERENNIAL MIX (SEE PLANT SCHEDULE)	

B	C	D
A	F	E



OVERALL SITE LANDSCAPE REFERENCE PLAN
1" = 50' - 0"



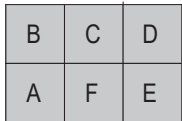
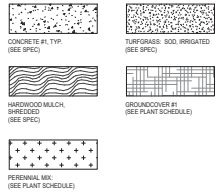
ISSUE #	DATE	DESCRIPTION
01/11/2022	01/11/2022	SITE PLAN SUBMITTAL
03/04/2022	03/04/2022	SITE PLAN SUBMITTAL

PROPOSED PLANT SCHEDULE:

Type	Qty	SYM	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	COMMENTS
TREES						
18	1	UN VR	EASTERN RED CEDAR	<i>Juniperus virginiana</i>	6'-8" HT. & 4'-5" SP.	
21	1	LAG ND	CRAPEMYRTLE	<i>Lagerstromia indica</i>	8' BAB	
20	1	MAG GRA	SOUTHERN MAGNOLIA	<i>Magnolia grandiflora</i>	6'-8" HT. & 4'-5" SP.	
58	1	QUE SHU	SHUMARD RED OAK	<i>Quercus shumardi</i>	6'-8" HT. & 4'-5" SP.	
38	1	TAX DB	BALE CYPRESS	<i>Taxodium distichum</i>	6'-8" HT. & 4'-5" SP.	
18	1	ELM DRA	DRAKE LACEBARK ELM	<i>Ulmus parviflora Drake</i>	6'-8" HT. & 4'-5" SP.	
SHRUBS						
26	1	ABE GRA	GLOSSY ABELIA	<i>Abelia x grandiflora</i>	30" HT. @ PLANTING	
25	1	ACU JAP	JAPANESE LAUREL	<i> Aucuba japonica</i>	30" HT. @ PLANTING	
37	1	BER THU	CRIMSON PYRAMID THAI JAPANESE BARBERRY	<i>Berberis thunbergii</i>	30" HT. @ PLANTING	
170	1	CLE JAP	SAGAWA	<i>Cleyera japonica</i>	30" HT. @ PLANTING	
33	1	DWARF KAL	DWARF WAX MYRTLE	<i>Hypocitrus kalmianum</i>	30" HT. @ PLANTING	
52	1	ILE MEL	WILLIE R. STEVENS HOLLY (EVERGREEN)	<i>Ilex x Nellie R. Stevens</i>	30" HT. @ PLANTING	
34	1	LAG DWA	DWARF PINK CRAP MYRTLE	<i>Lagerstromia indica</i>	30" HT. @ PLANTING	
30	1	RHA ND	INDIAN HAWTHORN	<i>Raphanostegia indica</i>	30" HT. @ PLANTING	
ORNAMENTAL TREES						
2	1	CHI LN	PURPLE SPLENDOR DESERT WILLOW	<i>Chilopsis linearis Purple Splendor</i>	6' HT. X 6' W	
9	1	CHI LN	HOLLYWOOD JUNPER	<i>Juniperus chinensis</i>	6' HT. & 4'-5" SP.	
GRASS						
52	1	CAL KAL	KARL FORSTER	<i>Calamagrostis x Karl Forster</i>	30" HT. @ PLANTING	
48	1	MUH CAP	GULF COAST PINK MUHLY	<i>Muhlenbergia capillaris</i>	30" HT. @ PLANTING	
50	1	MUH LN	LINDENBERG'S MUHLY	<i>Muhlenbergia lindenbergii</i>	30" HT. @ PLANTING	

NOTE: CONTRACTOR RESPONSIBLE FOR QUANTITIES PER DRAWINGS AND SPECIFICATIONS. QUANTITIES PROVIDED BY THE LANDSCAPE ARCHITECT ARE FOR CONVENIENCE ONLY. CONTRACTORS SHALL DO THEIR OWN VERIFIED QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

GRAPHIC LEGEND:



CERTIFICATION



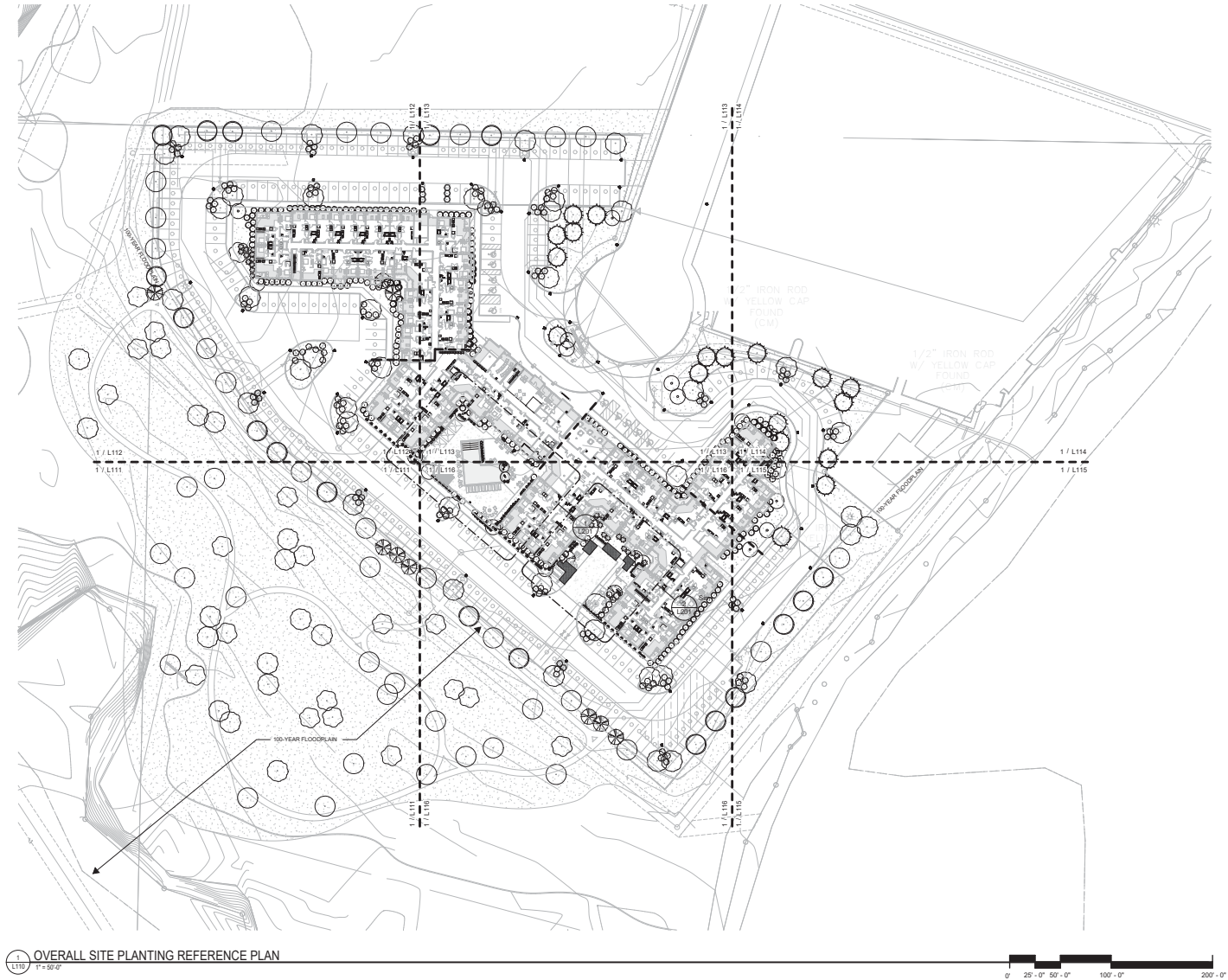
DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	XXXXXX

SHEET TITLE

OVERALL
PLANTING PLANS

SHEET NUMBER

L110



OVERALL SITE PLANTING REFERENCE PLAN

BKV GROUP

Architecture
Interior Design
Landscape Architecture
Engineering

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CONSULTANTS

PROJECT TITLE






WYLIE SENIOR
APARTMENTS

ISSUE #	DATE	DESCRIPTION
	01/11/2022	SITE PLAN SUBMITTAL
	03/04/2022	SITE PLAN SUBMITTAL

KEY NOTES:

F01	BENCH
F08	FIRE PIT
F11	POOL LEDGE LOUNGE CHAIR
F12	POOL LEDGE LOUNGE
F14	COW TABLE
F16	UMBRELLA
F17	BAR CHAIR
F18	ARM CHAIR
F20	SINK
F26	SUN SHADING-TRELLIS
F28	SOFA
PL06	ADA CHAIR LIFT LOCATION
PL07	HANDRAIL
PL08	POOL RULES SIGNAGE

GRAPHIC LEGEND:

 CONCRETE #1 TYP. (SEE SPEC)	 TURQUOISE SOIL IRRIGATED (SEE SPEC)
 HARDWOOD MULCH SHREDED (SEE SPEC)	 GROUNDCOVER #1 (SEE PLANT SCHEDULE)
 PERENNIAL MIX (SEE PLANT SCHEDULE)	

CERTIFICATION



DRAWN BY	Author
CHECKED BY	Checker
COMMISSION NUMBER	XXXXXX

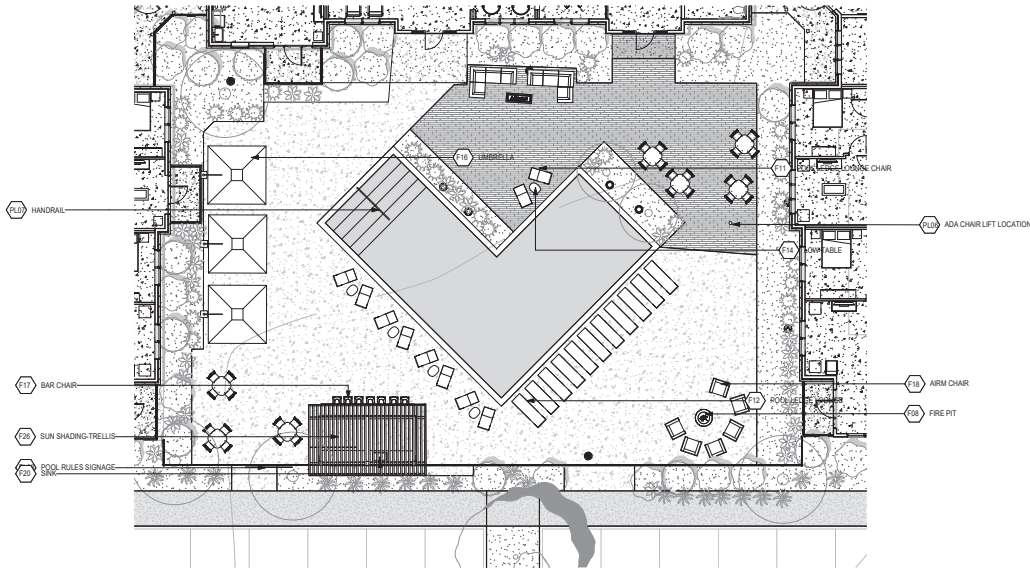
SHEET TITLE

ENLARGED
LANDSCAPE
PLAN

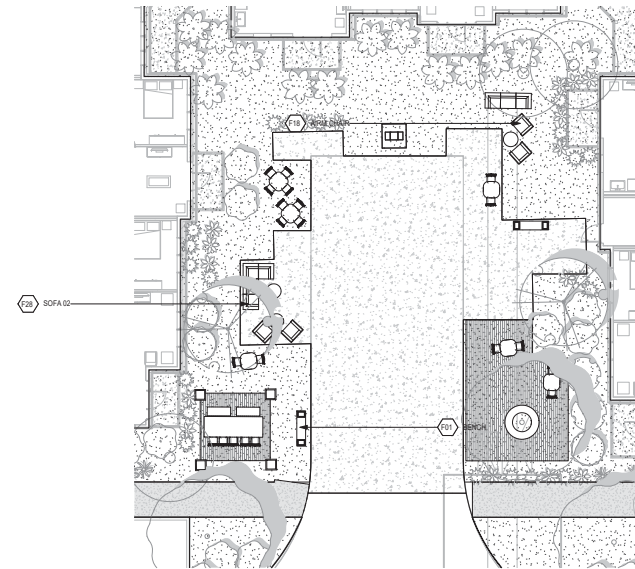
SHEET NUMBER

L200

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1.200 COURTYARD 1 - LANDSCAPE PLANS
F" = 10'0"



1.200 COURTYARD 2 - LANDSCAPE PLANS
F" = 10'0"

Roers Wylie Senior Apartments Landscape Requirements		
2425.06 COLLIN COUNTY WYLIE, TX		
Figure 4-8 Landscaping Design Requirements		
REQUIREMENT	20% of Site must be Landscaped. Landscaping that exceeds minimum 10% is desirable.	
	Total Useable Site Area*	692,081
	Total SF Required	138,416
	Total SF Provided	207,326
	Site plans requiring more than 12 spaces required to have 50 sq. ft. of landscaping per space.	30%
REQUIREMENT		
	Gross Parking Area Provided 250 spaces	50,000
	Parking Island/Landscape SF Required	12,500
	Parking Island/Landscape SF Provided	207,326
		415%



Wylie Planning & Zoning Commission

AGENDA REPORT

Department: Planning Item Number: 5

Prepared By: Kevin Molina

Subject

Hold a Public Hearing, to consider, and act upon a recommendation to City Council regarding a request for a change of zoning from Commercial Corridor (CC) to Commercial Corridor Special Use Permit (CC-SUP), to allow for a restaurant with drive-through service on 1.315 acres, property located at 3201 W FM 544. (ZC 2022-03)

Recommendation

Motion to recommend (**approval, approval with conditions or disapproval**) as presented.

Discussion

OWNER: Malik Pervez

ENGINEER: Halim Muhommad

The applicant is requesting a Special Use Permit (SUP) on 1.315 acres located at 3201 W FM 544 to allow for a restaurant with drive through service on the subject property. The site plan for the property was originally approved in August of 2017.

The Zoning Ordinance requires all restaurants with drive-through service to obtain a Special Use Permit. As the original site plan was approved in 2017 and the site is generally finished, a part of the Special Use Permit Conditions allows for the Zoning Exhibit to function as the review and approval of the site plan.

The property currently contains one restaurant with drive-through service (Building A) as the site plan was approved prior to the Special Use Permit requirement being in place. The new proposed restaurant with drive-through service is located on the northwest side of the rear building (Building B). Access to this restaurant is provided with plans to use the rear access drive as a drive-through lane. The rear access drive shall be required to have its fire striping removed. As presented the project is in compliance with the 140' drive-through stacking requirement and is in compliance with fire code requirements.

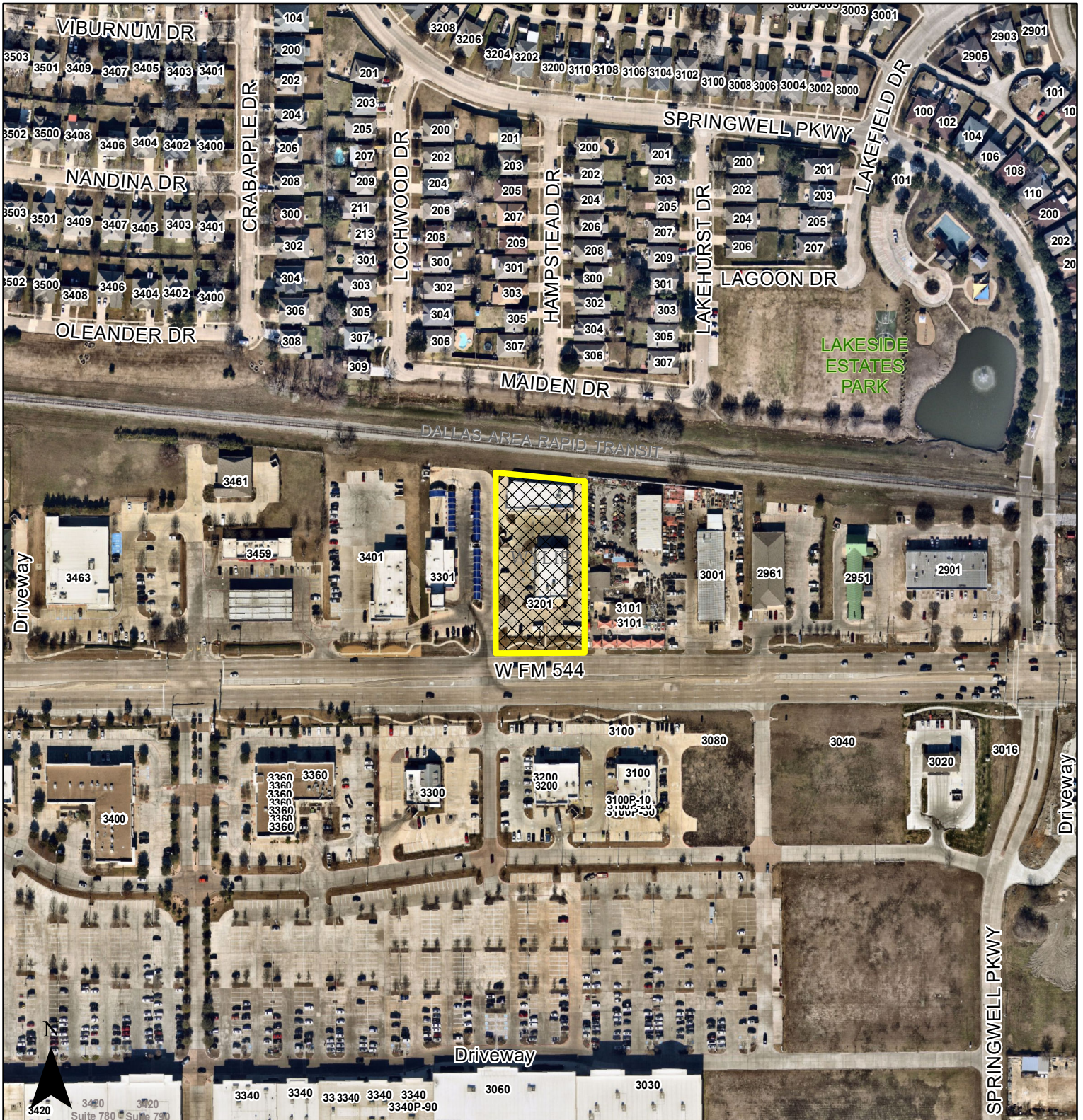
The proposed zoning exhibit provides a total of 45 parking spaces with two being ADA accessible. As part of the Special Use Permit the entire site shall be parked at a ratio of 1:275. Sit down restaurants shall also be prohibited due to a concern for parking availability for high traffic uses. As presented this item complies with the minimum site, landscaping and architectural requirements of the zoning ordinance.

The surrounding properties are zoned commercial to the east, south, and west and contain a car dealership, a shopping center, and a car wash. The property to the north contains a railroad and a residential subdivision. The nearest restaurants with drive-through service are located approximately 1,200 feet east of the site on the southeast corner of Springwell Pkwy and FM 544. The site is located in the General Urban Sector of the land use map and is consistent with the existing surrounding development and land use classification of the comprehensive plan.

Notifications/Responses: 8 notifications were mailed; with no responses received in opposition or in favor of the request.

Locator Map

03/15/2022 Item 5.

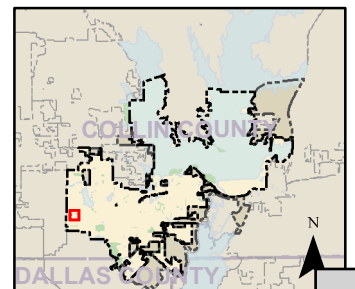


ZC 2022-03; Malik Plaza; 3201 W FM 544



Subject Property

0 125 250 500 750 1,000 Feet



Williams Addition Lot 3, Block A**EXHIBIT "B"****Conditions For Special Use Permit****I. PURPOSE:**

The purpose of this Special Use Permit is to allow for a restaurant with drive-in or drive-through service in Building B of the Zoning Exhibit (Exhibit C) and the continued use of a restaurant with drive-in or drive-through service in Building A of the Zoning Exhibit (Exhibit C).

II. GENERAL CONDITIONS:

1. The site shall be developed and uses allowed shall be in accordance with Commercial Corridor (CC) design standards, as provided in Article 4 and 5 of the City of Wylie Zoning Ordinance as adopted April 2021, except as specifically provided herein.
2. This Special Use Permit shall not affect any regulations within the Zoning Ordinance (adopted as of April 2021), except as specifically provided herein.
3. The design and development of the Williams Addition Lot 3, Block A development shall take place in general accordance with the Zoning Exhibit (Exhibit C).

III. SPECIAL CONDITIONS:

1. The restaurant with drive-in or drive-thru use in Building A shall be allowed as a condition of the SUP and as generally depicted on the zoning exhibit. The Building B restaurant shall be limited to a maximum of 1,800 square feet. The combined allowable maximum size of all restaurants shall be 4,200 sq.ft.
2. The overall parking for the site shall be at a ratio of 1:275 requiring a minimum total of 43 parking spaces.
3. The restaurant without drive thru use shall be prohibited as a use on this site.
4. The Zoning Exhibit (Exhibit C) shall serve as the Site Plan for the restaurant development. Approval of the SUP shall act as site plan approval.

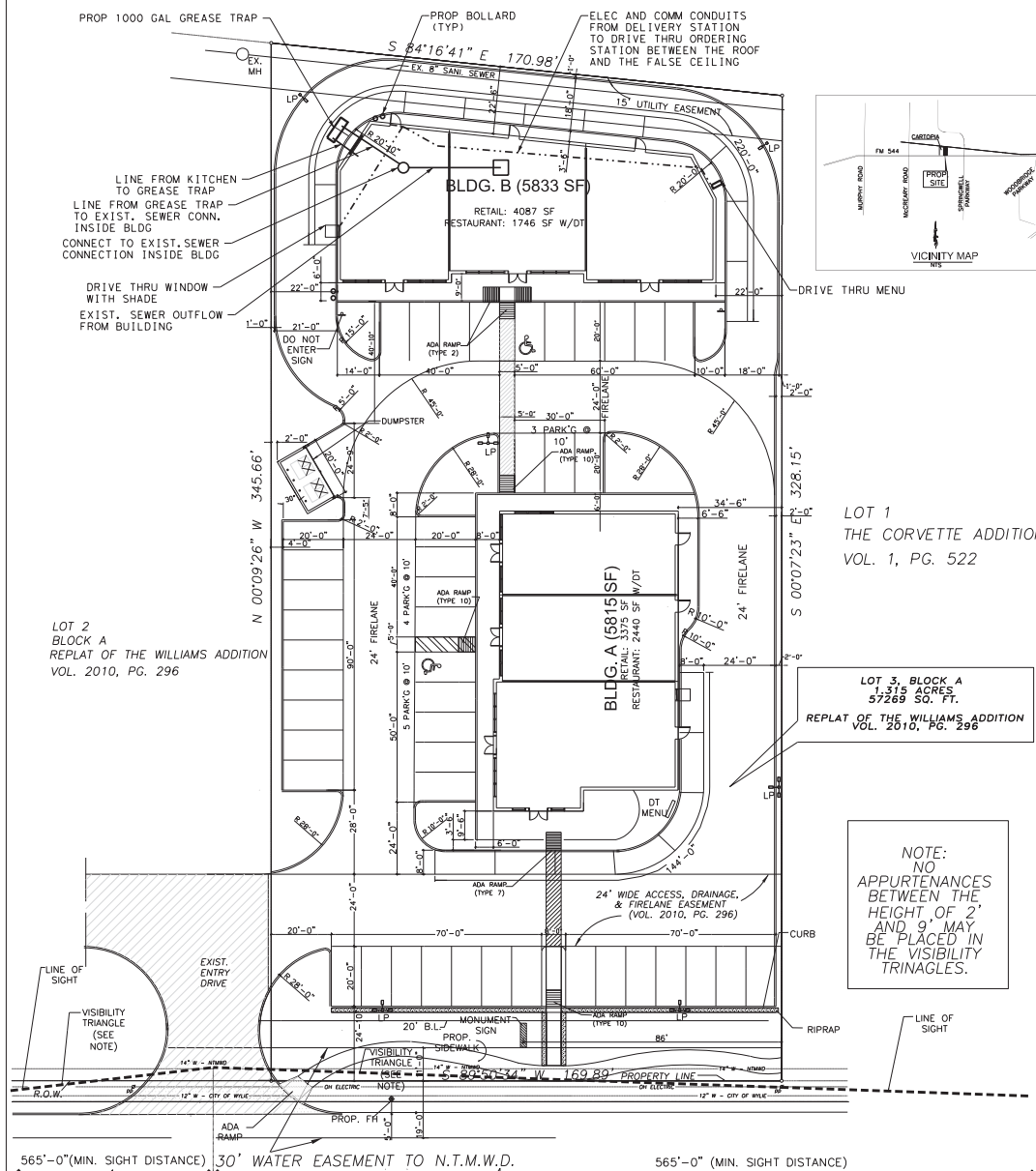
OWNER
AFA ENTERPRISES, LLC
3629 CLUB VIEW DRIVE
GARLAND, TEXAS 75044

CONSTRUCTION PLANS FOR
MALIK PLAZA
LOT-3, BLOCK-A, REPEAT OF WILLIAMS ADDITION
FM 544, WYLE, TEXAS

ISSUE DATE : 10/06/2017 - REV. 1
ISSUE DATE : 6/9/2017 - ORIGINAL

SHEET TITLE
SITE PLAN

SHEET NO.
C-3



1. CM#2:
Northing: 7057346.784 Ft.
Easting: 2569521.039 Ft.
Elevation: 550.238 Ft.

2. CM#3:
Northing: 7053976.538 Ft.
Easting: 2559122.001 Ft.
Elevation: 520.307 Ft.

SITE & PARKING DATA

LOT AREA	1.35 AC.	58,806 SF	
PROP. USAGE	BUILDING-A	BUILDING-B	TOTAL
COMMERCIAL	3,375 SF	4,087 SF	7,462 SF
RESTAURANT W/DT	2,440 SF	1,746 SF	4,186 SF
TOTAL BUILDING AREA:	5,815 SF	5,833 SF	11,648 SF
LANDSCAPE LOT COVERAGE			20%
PARKING REQUIRED: 1/275SF	22 SPACES	21 SPACES	43 SPACES
HC PARKING			2 SPACES
TOTAL PARKING PROVIDED			45 SPACES

Subject Tract lies within Zone "X" as scaled from F.I.R.M. Panel 48085C0415J, Dated June 2, 2009.

Zone "X" – Areas determined to be outside the 0.2% annual chance floodplain.

Location shown for all utility lines on this plan are approximate and extracted from the City & TxDot, public information sources. Contractor shall verify the exact location before construction.

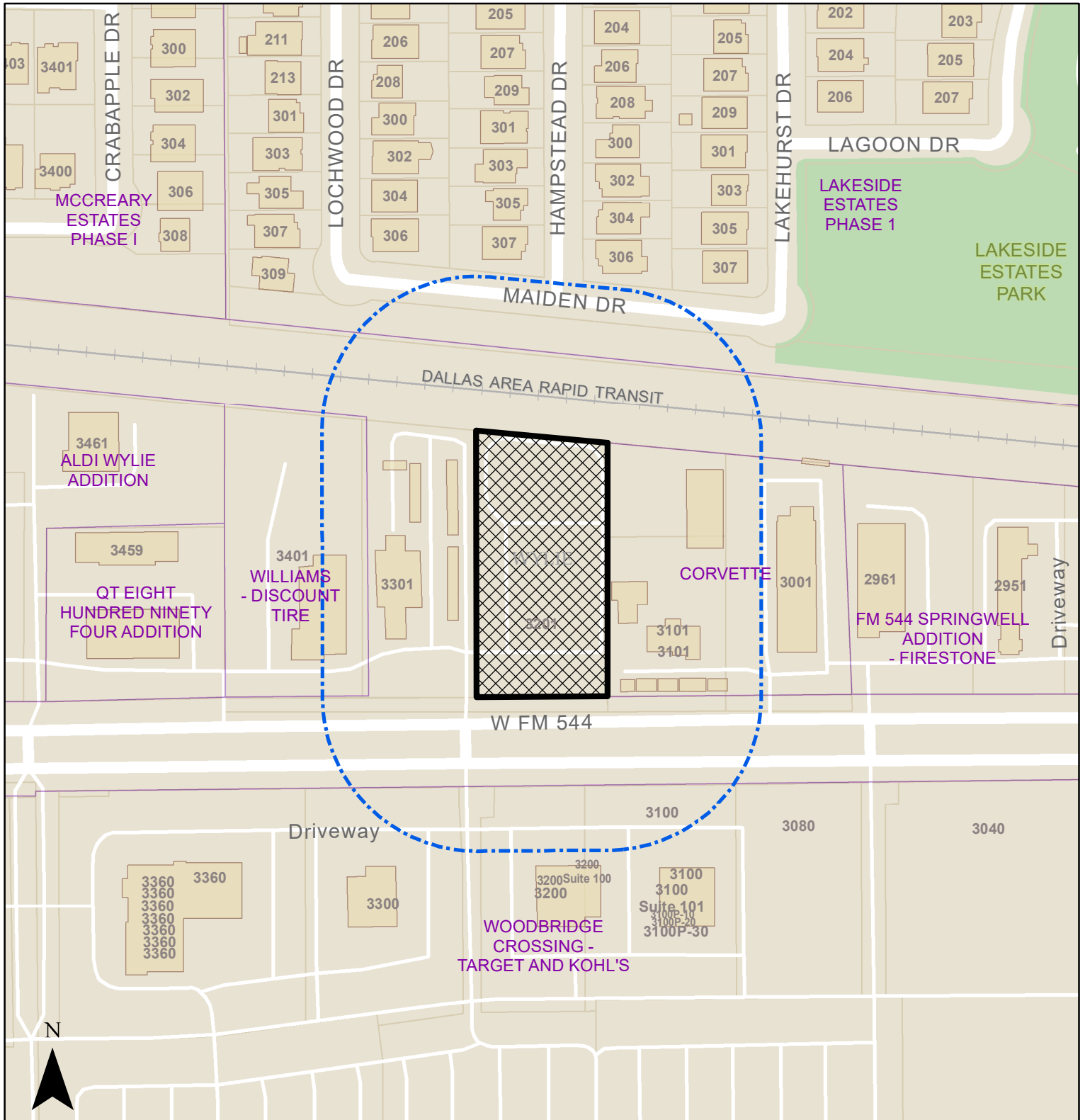
Participating Consultants:



GLOBAL CIVIL SOLUTIONS, LLC
11551 FOREST CENTRAL DRIVE
SUITE 220
DALLAS, TX 75243
F-12801

Notification Map

03/15/2022 Item 5.



ZC 2022-03; Malik Plaza; 3201 W FM 544



200 Foot Notification Buffer



Subject Property

0 85 170 340 510 680 Feet

