



Thursday, July 11, 2024  
5:30 PM

Location: Borough Assembly Chambers  
City Hall

Planning and Zoning Commission  
5:30 PM

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. AMENDMENTS TO THE AGENDA**

**4. CONFLICTS OF INTEREST**

**5. APPROVAL OF MINUTES**

- a. Approval of the regular meeting minutes from June 13th, 2024.

**6. CORRESPONDENCE**

**7. PERSONS TO BE HEARD**

**8. NEW BUSINESS**

- a. (PH) Conditional Use Permit application request for a proposed 150-foot self-support tower and unmanned ground equipment owned by the Central Council of the Tlingit & Haida Indian Tribes of Alaska within Tract C of the Meissner Subdivision according to Plat No. 97-10 of the Wrangell Recording District.

**9. UNFINISHED BUSINESS**

- a. Request from Steve Thomassen to purchase Borough Real Property identified as Lot 2, Block 63A, Industrial Park Subdivision II, according to Plat No. 2000-9, zoned Holding.
- b. Request from Brett Woodbury to purchase Borough Real Property (8 lots) identified as Lot 5A, Block 61, Industrial Park Subdivision II, according to Plat No. 2001-7, zoned Industrial, and Lots 8, 7, 9, 10, 11, 12, and 13, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial.

**10. COMMISSIONERS' REPORTS AND ANNOUNCEMENTS**

**11. ADJOURNMENT**

**Minutes of Planning & Zoning Commission  
Held on June 13, 2024**

**1. CALL TO ORDER:** Call to order at 5:33 PM.

**2. ROLL CALL**

**PRESENT:** Gary Watkins, Kathy St Clair, Chair Terri Henson, Apryl Hutchinson

**ABSENT:** Jillian Privett

**STAFF:** Kate Thomas, Matt Henson

**3. AMENDMENTS TO THE AGENDA**

*M/S KS/AH move to strike the language of item 8D and replace it with the following:*

*Request from Brett Woodbury to purchase Borough Real Property (8 lots) identified as;  
Lot 5A, Block 61, Industrial Park Subdivision II, according to Plat No. 2001-7, zoned  
Industrial*

*Lot 8, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial*

*Lot 7, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial*

*Lot 9, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial*

*Lot 10, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial*

*Lot 11, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial*

*Lot 12, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial*

*Lot 13, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial*

*Approved by all in favor.*

**4. CONFLICTS OF INTEREST**

Chair Henson states she may have a conflict with item 8a as there is a family connection.

Commissioners decided that she does not have conflict as there is no financial gain for Henson and may discuss and vote on the item.

**5. APPROVAL OF MINUTES**

- a. Approval of the minutes from the Planning and Zoning regular meeting held on April 11, 2024.

*M/S AH/KS move to approve the regular meeting minutes from the Planning and Zoning regular meeting held on April 11, 2024.*

*Approved unanimously by polled vote*

**6. CORRESPONDENCE**

Letter from Willie and Deveril Bloom regarding item 8a read into record.

Letter from Catherine White regarding item 8d read into record.

- a. April and May Economic Development Department Report.

Director Thomas provided report.

## 7. PERSONS TO BE HEARD

Bruce Smith Jr. - Item 8a - Adjacent landowner. Opposed to rezone. Projects have already intruded in the area. Light industrial activity is already in the middle of a residential area. Requested that if the commission proceed that it be done through a conditional use agreement and should mirror other agreements in the area. He stated that he does not want to see open storage such as the location at 6 mile.

Brett Woodbury - Item 8d - He stated in the past he wanted to trade his time and labor of building the road leading to the lots for the lots themselves. The Borough has declined this offer every time. He then stated that the intent of his request is to build and develop the lots as a subdivision and then sell the lots he does not want.

Lynda Nore - Item 8c - She stated that she is interested in purchasing a lot adjacent to the current property. Her family purchased their current location after hearing that the proposed land would be available for purchase in the future. She stated that if this land goes to public auction, there would need to build a road built leading to the lot.

Phillip Mach - Item 8a - The purpose of their storage unit building would not be boat and vehicle storage but professional storage units. He stated he is trying to fill a need for personal storage due to the lack of storage options and the forthcoming condo development. Unit sizes will vary from 10x10 to 10x30. He stated that he would plan to create a professional atmosphere with security systems and restricted access throughout the day. He also stated that there are other light industrial lots zoned the same in the vicinity and his would be a similar use. He acknowledged adjacent homeowner concerns and stated that he hopes to be a good neighbor. He also stated that contractual re-zoning poses an issue due to approval time frames and the potential seizure of the building. Stated that it also takes a large amount of capital to build this building but that it would benefit the city by becoming a tax revenue generator.

## 8. NEW BUSINESS

- a. (PH) Petition to Rezone remainder of Lot A-2, Torgramsen-Glasner Subdivision, according to Plat 2017-1, zoned Single Family Residential changing the zoning district from Single Family (SF) to Light Industrial (LI) requested by Phillip Mach.

### ***Public Hearing Opened***

Bruce Smith - asked if the property is still a single-family residence. Henson stated yes.

Phillip Mach - many lots in the area are being contractually rezoned.

### ***Public Hearing Closed***

***M/S GW/KS move to approve the findings of fact with a recommendation to the Borough Assembly to approve a Contract Zoning Agreement for the specific use requested by Mr. Phillip Mach as per the application with the following conditions:***

- 1) Site obscuring vegetated buffer of at least 25 feet must be maintained pursuant to WMC 20.52.200 to adjacent residential properties; and,***
- 2) Lighting at the facility should be angled downward and guarded from the sides so as not to disturb adjacent residences; and,***

**3) Operating hours should be restricted to between 10 PM and 7 AM, limiting impacts during the night hours.**

Director Thomas provided the administrative report.

Henson asked when the other storage unit contract zones were done, she was not happy to approve that. It initially was made to be a buffer zone between residential and other zoning types. Regarding the WCA property, their approval was meant to be a buffer area between their business and residential as well, but it has since scaled larger in size and operation than anticipated. She stated that she is not in favor of either the rezone or contract rezone. She acknowledged that there is a shortage of lots to do this business, but stated this is not the place to do so. She also stated that this type of spot zoning creates a bad precedent.

Watkins asked if the lots across the street were contacted. Thomas stated that anyone within the 300 ft radius was contacted. Watkins asked if this went to the assembly and if there would be another chance to publicly discuss this item. Thomas stated yes.

Hutchinson asked if Mr. Mach knew that the lots were zoned residential when he purchased the property. Mr. Mach stated yes. Henson stated that looking down the road, this opens an issue with newer subdivisions in town and sets the stage for spot zoning issues in the future. Hutchinson asked Mr. Smith if the development of the WCA building was at all irritating. He started with how it was built, no it isn't. Mr. Mach stated that the plan he presented to Mr. Smith shows that his business would not affect Mr. Smith's daily life. He also stated that this is already up against the highway and near higher traffic zones. Hutchinson asked if there is a grade to the lot. Mach stated yes and that only two acres of the property are usable of the 3.6 within the parcel boundaries.

Thomas stated that it might have been easier to rezone the whole area but there is residential development already in progress, so that was not a productive angle to approach the item.

***The motion failed unanimously by polled vote. All 4 Commissioners voted no.***

- b.** (PH) Conditional Use Permit application request for a cottage industry business within Lot 7, Block 62 of the Wrangell Townsite, zoned Single Family Residential, according to Plat No. 2008-4, requested by Wesley Seward.

***Public Hearing Opened***

Wesley Seward - AK Hobby Rocks is a hobby retail shop. He stated that he is working to become a zoned retailer to expand product offerings.

***Public Hearing Closed***

***M/S KS/AH move to approve the findings of fact and the conditional use permit request submitted by Wesley Seward to operate a hobby store which includes a space for clients to play games and cards purchased at the shop under the following conditions:***

- 1. Two off-street parking places must be provided; and,***
- 2. Business must be conducted during semi-normal business hours (e.g. 8:00 AM-10:00 PM)***

Hutchinson asked where the two spots would be located. Seward stated that there is ample room on his property for upwards of eight cars. Henson asked what the potential max capacity would

be. Seward stated that there are 5-10 people throughout the day, for special events, there might be 10-15 people. Henson asked what hours are being kept. Seward stated that it is typically evening hours ranging from 3:00 PM and 10:00 PM, sometimes as late as 11:00 PM. Watkins asked if the business is currently open. Seward stated yes and that his neighbor also runs a home business. Watkins stated his concern is the availability of parking. Seward stated that there is already a lot of traffic in the area and stated that there is ample room for parking. Seward also stated that if the business continues to expand, he is looking to move downtown. His goal is to be the biggest retailer of this hobby in southeast Alaska.

Thomas stated that the Seward family was not aware of the needed conditional use permit and thought a business license was sufficient. She also stated that 2nd Ave is very busy, and the borough is considering developing a sidewalk due to young pedestrians walking along the road which would greatly reduce the available parking Mr. Seward currently has.

Henson stated that the proposed operating hours by Mr. Seward may pose an issue as they pass the stated 10:00 PM cut-off. Hutchinson asked if the lighting is good on the street. Seward stated it is not good and extremely dark in the winter.

***Motion approved unanimously by polled vote. All Commissioners voted yes.***

- c. Request from Steve Thomassen to purchase Borough Real Property identified as Lot 2, Block 63A, Industrial Park Subdivision II, according to Plat No. 2000-9, zoned Holding.

***M/S AH/KS move to recommend approval of the application to purchase the Borough-owned real property identified as Lot 2, Block 63A, Industrial Park Subdivision II, according to Plat No. 2000-9, zoned Holding, requested by Steve Thomassen with the following conditions:***

- 1. A request to withdraw the lot from "Holding" and subsequent rezoning to "Industrial" shall be reviewed by the Planning and Zoning Commission for a recommendation for approval or denial of the request to the Borough Assembly to amend the zone prior to the procedures of disposal.***
- 2. The withdrawal from the "Holding" zone and subsequent rezoning to "Industrial" shall comply with the procedures outlined in the Wrangell Municipal Code Section 20.***
- 3. The sale of the aforementioned lot shall have "Construction as condition of sale - Construction completion terms for industrial development" as per WMC 16.12.150. All terms of the Wrangell Municipal Code from Title 16 and Title 20 shall apply to development of the requested lots***

Director Thomas provided the administrative report. Thomas stated that by approving this item, a precedent would be set to remove lots from holding and rezone them to industrial. A rezone petition will be on the agenda at the next meeting.

***M/S AH/KS move to table item 8c until the next regular meeting.***

***Motion to table approved by all in favor.***

- ~~d. Request from Steve Thomassen to purchase Borough Real Property identified as Lot 2, Block 63A, Industrial Park Subdivision II, according to Plat No. 2000-9, zoned Holding.~~

***M/S KS/AH move to recommend to the Borough Assembly approval of Mr. Brett Woodbury's request to purchase Borough Owned Real Property identified as:***

***Lot 5A, Block 61, Industrial Park Subdivision II, according to Plat No. 2001-7, zoned Industrial***

***Lot 8, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial***  
***Lot 7, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial***  
***Lot 9, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial***  
***Lot 10, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial***  
***Lot 11, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial***  
***Lot 12, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial***  
***Lot 13, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial***

***The sale of the aforementioned lots shall have "Construction as condition of sale - Construction completion terms for industrial development" as per WMC 16.12.150. All terms of the Wrangell Municipal Code from Title 16 and Title 20 shall apply to development of the requested lots.***

Director Thomas provided the administrative report. Thomas stated that there is other interest in the properties stated in this item. Staff's recommendation is to not approve the motion since construction for Fifth and Sixth Avenue is currently out to bid for competitive proposals. The construction project intends to construct the right-of-way that will allow access to the lots of interest. St Clair asked if Mr. Woodbury were to purchase the lots if he would complete the right of way. Mr. Woodbury stated that he would.

Thomas reminded the Commissioner that the decision to sell the lots should remain a separate discussion item regarding the construction of the roads, specific to whether Mr. Woodbury would construct the roads. There is no guarantee or agreement in place for Mr. Woodbury to construct the roads in exchange for the lots (trade).

Thomas stated that when the lots become available for bidding, Mr. Woodbury, like anyone, can bid and develop the land. St Clair asked if there have been any other parties interested in purchasing or bidding on the lots. Thomas said that there have been other interests. Henson stated if there was no other interest in the lots, the Commission would recommend to sell the lots.

Watkins asked if these are the last lots left in the industrial park. Thomas stated yes, under the current plans. Watkins stated his concern is giving control of the land to one person. Mr. Woodbury stated that he plans to build a subdivision and sell it to others. Secretary Henson re-read the letter from correspondence from Todd and Katherine White into the record. Mr. Woodbury stated that he has been attempting to purchase this land for over 10 years.

Henson stated that she doesn't believe that Planning and Zoning should have the authority to change what the Assembly has put in motion. Watkins asked if the land has been appraised as an inaccessible lot. Thomas stated that would be factored in on the appraisal, although the appraisal has not yet been completed.

***M/S AH/GW motioned to table the item until the next regular meeting in July.***

***Motion to table approved by all in favor***

**9. UNFINISHED BUSINESS: NONE.**

**10.COMMISSIONERS' REPORTS AND ANNOUNCEMENTS**

**11.ADJOURNMENT**

Adjourned at 7:08 PM.

Next scheduled meeting is July 11th, 2024, at 5:30 PM

ATTEST: \_\_\_\_\_  
Matt Henson, Secretary

\_\_\_\_\_  
Terri Henson, Chair

**City and Borough of Wrangell, Alaska**  
**Planning and Zoning Commission**  
**Regular Meeting July 11, 2024**  
**Staff Report**

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**Agenda Item:** New Business, Item 8A  
**From:** Kate Thomas, Economic Development Director

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**Subject:** (PH) Conditional Use Permit application request for a proposed 150-foot self-support tower and unmanned ground equipment owned by the Central Council of the Tlingit & Haida Indian Tribes of Alaska within Tract C of the Meissner Subdivision according to Plat No. 97-10 of the Wrangell Recording District.

**Review:** Central Council of the Tlingit and Haida Indian Tribes of Alaska are seeking a conditional use permit to construct a 150-foot self-support tower and unmanned ground equipment for the purpose of a cellular tower on private property located approximate to 3 Mile Zimovia Highway.

**Recommendation:** Staff recommend approval of the conditional use permit for the purpose of a cellular tower.

**Motion:** Move to approve the findings of fact and the conditional use permit request for a 150-foot self-support tower and unmanned ground equipment for the purpose of a cellular tower with the following conditions:

1. Fencing should be site obscuring facing residential properties; and,
2. Security lighting should be no higher than 15 feet from grade and angled down and side blocked to not impact adjacent residences; and,
3. All required setbacks for the Rural Residential 1 district must be met; and,
4. Generator will be for back up power supply only and muffled as much as possible.

**Review Criteria:**

Chapter 20.28: Rural Residential 1 District  
 Chapter 20.52: Standards  
 Chapter 20.68: Conditional Use Permits

**Attachments:**

1. Aerial Map of Property, 2. Conditional Use Permit application, 3.) Plat No 97-10, 4.) Site plan prepared by Kimley Horn.

**Findings of Fact:**

Central Council of Tlingit and Haida's Tidal Network is the property owner and primary applicant for the conditional use permit. Kimley Horn has been contracted to help with development and facilitation of the project. The property's legal access is via an access easement established with the front property owner, Charles Meissner whose parcel is abutting the right-of-way. The property owner is aware of the development. Radio and television transmitters and towers are allowable as a conditional use within the



Rural Residential 1 District. The Rural Residential district setbacks require 20 feet along the front and back yard property lines and 15 feet along the side yards. There are other residential properties to the front and side yards, whereas the property behind the cellular tower is owned by Mental Health Trust. Currently, there are no development plans or other uses occurring on that land.

**Conditions of approval for conditional use applications include:**

1. Minimal impacts on adjacent neighbors from noise, traffic, appearance, yards etc.:

There should be minimal impacts from a cellular tower at this location due to noise, traffic, or the fenced site area. Once construction is completed there will be minimal activity on site. The site plan shows a 60x60 chain link fenced around the compound with 3 strands of barbed wire. Much of the surrounding timber will likely limit adjacent residences viewshed of the tower itself, therefore there are no anticipated appearance issues. Lighting will be permitted at the site for security but is conditioned to be blocked to adjacent residents and angled downwards. A generator will also be on site for backup power purposes only.

2. Provisions of sewer and water:

There are no plans for installing sewer or water.

3. Entrances and off-street parking available without safety issues:

Access to the property is via a utility and access easement through the front property established in a private agreement. There is adequate parking and turn around on the property to access the infrastructure.



1 inch = 106.368459 feet  
 Date: 6/28/2024

Public Map



**DISCLAIMER: THESE MAPS ARE FOR PLANNING PURPOSES ONLY.  
 PROPERTY LINES ARE APPROXIMATE. AERIAL 2002.**

CITY AND BOROUGH OF WRANGELL, ALASKA  
CONDITIONAL USE APPLICATION

PLANNING AND ZONING COMMISSION

P.O. BOX 531  
WRANGELL, ALASKA 99929  
Application Fee: \$100.00

I. Applicant's Name and Address: Richard Peterson

P.O. Box 25550

Juneau, AK 99802

Applicant's Phone Number: 907-463-7102

Applicant's Email: rpeterson@tlingitandhaida.gov

II. Land Owner's Name and Address: Central Council of the Tlingit & Haida Indian Tribes of Alaska

P.O. Box 25550

Juneau, AK 99802

Land Owner's Phone Number: 907-463-7102

III. Legal Description: Lot \_\_\_\_\_, Block \_\_\_\_\_, U.S. Survey \_\_\_\_\_

Parcel ID No. 03-005-207

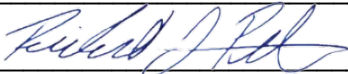
IV. Zoning Classification: RR1

V. Specific Request: Proposed 150' self-support tower and unmanned ground equipment owned by the Central Council of the Tlingit & Haida Indian Tribes of Alaska.

VI. Site Plan shall be submitted with the application. The plan shall show existing and proposed structures, driveways, parking areas, and roadways, existing and proposed grading. Additional information shall be furnished upon request of the Zoning Administrator.

VII. Construction Schedule: BEGIN: October 1, 2024 END: December 2024

SIGNATURE OF OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

SIGNATURE OF APPLICANT:  DATE: 6/6/2024

If more than one owner or if more than one parcel is involved, attach all signatures on a separate piece of paper identifying which parcels are owned by which persons. Written authorization of the property owner must be submitted with this application if the applicant is other than the owner.

CERTIFICATE OF OWNERSHIP AND DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE 4-28-97 [Signature] CHARLES H. MEISSNER (SIGNATURE)
DATE 4-28-97 [Signature] AILEEN M. MEISSNER (SIGNATURE)

NOTARY'S ACKNOWLEDGMENT

US OF AMERICA
STATE OF ALASKA
CITY OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS 28 DAY OF April 1997 BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED Charles H. Meissner and Aileen M. Meissner TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND THEY ACKNOWLEDGED TO ME THAT THEY SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

[Signature] NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA
STATE OF ALASKA OFFICIAL SEAL Deborah Schaff NOTARY PUBLIC My Commission Expires 1-17-2001

CERTIFICATE OF OWNERSHIP AND DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE 4/28/97 [Signature] CHARLES H. MEISSNER JR. (SIGNATURE)
DATE 4/28/97 [Signature] Paul Meissner (SIGNATURE)

NOTARY'S ACKNOWLEDGMENT

US OF AMERICA
STATE OF ALASKA
CITY OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS 28 DAY OF April 1997 BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED Charles H. Meissner Jr. and Paul Meissner TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND THEY ACKNOWLEDGED TO ME THAT THEY SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

[Signature] NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA
STATE OF ALASKA OFFICIAL SEAL Deborah Schaff NOTARY PUBLIC My Commission Expires 1-17-2001

CERTIFICATE STATE OF ALASKA (FIRST JUDICIAL DISTRICT)

I THE UNDERSIGNED, BEING DULY APPOINTED AND QUALIFIED, AND AN ACTING ASSESSOR FOR THE CITY OF WRANGELL, HEREBY CERTIFY THAT ACCORDING TO THE RECORDS IN MY POSSESSION, THE FOLLOWING DESCRIBED PROPERTY IS CARRIED ON THE TAX RECORDS OF THE CITY OF WRANGELL IN THE NAME OF Charles H. Meissner and Aileen M. Meissner AND THAT ACCORDING TO THE RECORDS IN MY POSSESSION, ALL TAXES ASSESSED AGAINST SAID LANDS ARE PAID IN FULL; THAT CURRENT TAXES FOR THE YEAR 1997 WILL BE DUE ON OR BEFORE AUGUST 15, 1997 DATED THIS 27 DAY OF May 1997.
Christina Jamison, Assessor, City of Wrangell

CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION

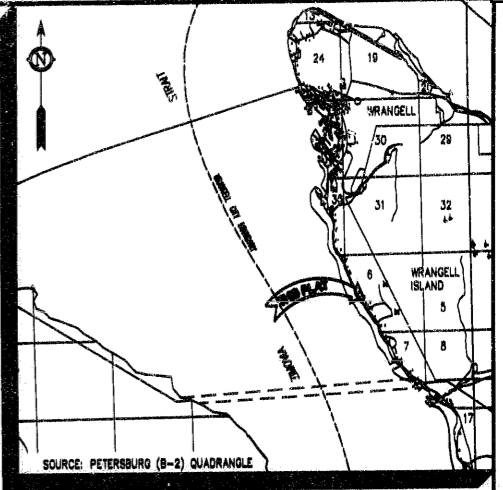
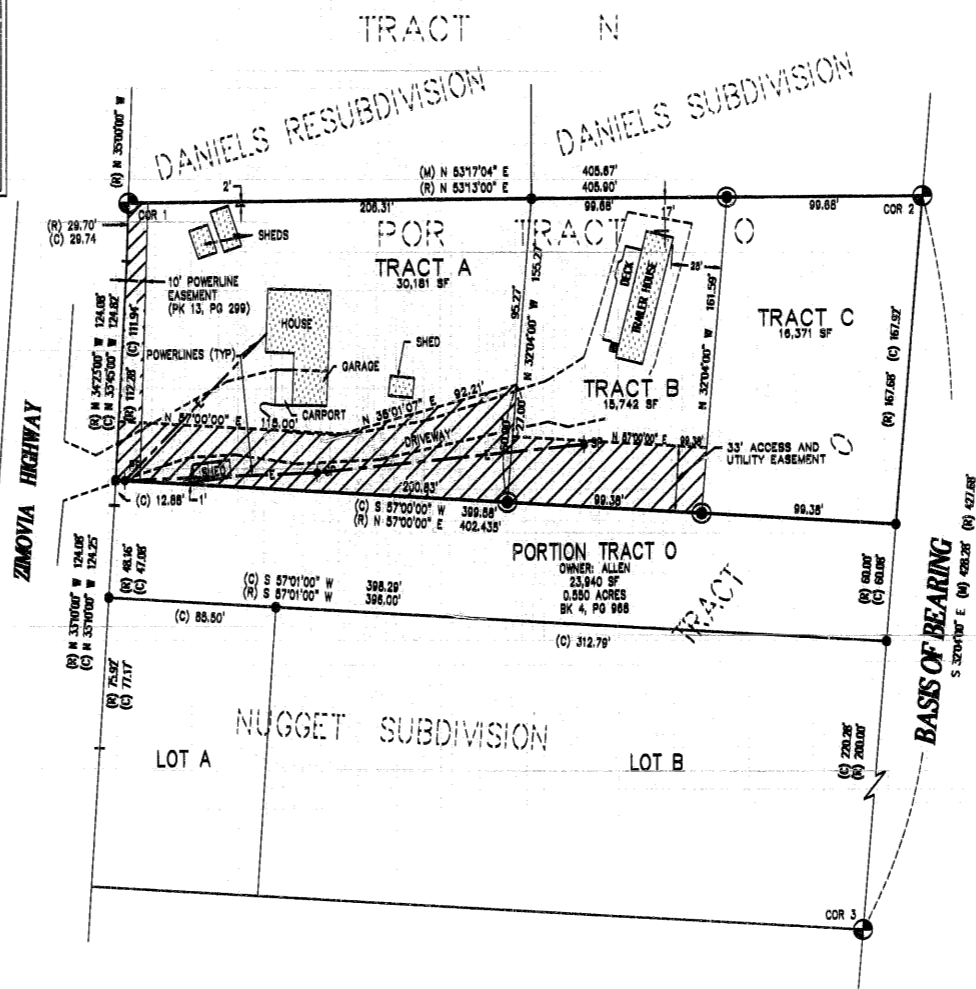
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WRANGELL PLANNING COMMISSION, AND THAT SAID PLAT HAS BEEN APPROVED BY THE COMMISSION BY PLAT RESOLUTION NO. 19 DATED 5-8-97 AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT MAGISTRATE, EX-OFFICIO RECORDER, WRANGELL, ALASKA.

DATE 5-8-97 [Signature] CHAIRMAN, PLANNING COMMISSION
[Signature] SECRETARY

CERTIFICATE OF APPROVAL BY THE COUNCIL

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WRANGELL COUNCIL AS RECORDED IN MINUTE BOOK PAGE DATED 5-8-97 AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT COURT, EX-OFFICIO RECORDER, WRANGELL, ALASKA.

[Signature] MAYOR, CITY OF WRANGELL
[Signature] CITY CLERK



VICINITY MAP
SCALE 1"=MILE

LEGEND

- Legend items: G.L.O. BRASS CAP (RECOVERED), SECONDARY MONUMENT (RECOVERED LS 6700), SECONDARY MONUMENT (SET LS 6700), RECORDED DATA, COMPUTED DATA, MEASURED DATA, POWER POLE, SERVICE POLE, BOOK AND PAGE, ELECTRICAL LINE.

PLAT NOTES

- Plat notes: 1. OFFSETS FROM THE PROPERTY LINE TO THE IMPROVEMENTS ARE SHOWN TO THE NEAREST FOOT. 2. REFERENCE MAY BE MADE TO DEED OF TRUST RECORDED IN BK 23, PG 877, WRANGELL RECORDING DISTRICT. 3. THE SETBACK YARD REQUIREMENTS FOR A FLAG LOT SHALL BE A FIVE-FOOT SETBACK FROM THE EASEMENT. THIS SHALL APPLY TO ALL EASEMENTS, WHETHER PUBLIC OR PRIVATE.

RECORDED - FILED 20
Wrangell REC. DIST.
DATE June 10 1997
TIME 2:00 P.M.
[Signature]



GREG SCHEFF & ASSOCIATES
LAND SURVEYORS

BOX 1331 WRANGELL, ALASKA 99929
(907) 874-2177

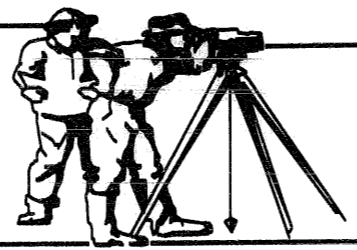
PROJECT: MEISSNER SUBDIVISION
A SUBDIVISION OF A PORTION OF TRACT O, (0-3)
USS 2321, CREATING TRACTS A, B, AND C
WRANGELL RECORDING DISTRICT

CLIENT: CHARLES AND AILEEN MEISSNER, BOX 948, WRANGELL, ALASKA 99929

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN OCT. 1996 A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

DATE 4/28/97
GREGORY O. SCHEFF LS 6700



51332-02 JUL 21, 1996 \* 09:34:11

DESIGNED: NZA
DRAWN: GDS/ACAD
CHECKED: GREGORY O. SCHEFF
DATE OF SURVEY: OCT. 1996
DATE OF PLAT: 2-21-98
SCALE: 1"=40'
SURVEYOR: GREGORY O. SCHEFF
PROJECT NO. 51332-02-00

# TIDAL NETWORK



SITE NAME:

## WRANGELL ZONE 2

### SITE ADDRESS (E-911 AND COORDINATES TO BE VERIFIED)

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY  
 LATITUDE: 56° 26' 06.51" N  
 LONGITUDE: 132° 22' 08.49" W  
 PARCEL ID: 03-005-207  
 ZONING: RR1



**POLICE DEPARTMENT:**

P.O. BOX 1168  
 431 ZIMOVIA HIGHWAY  
 WRANGELL, AK 99929  
 PHONE: (907) 874-3304  
 ATTN: NON-EMERGENCY

**FIRE DEPARTMENT:**

P.O. BOX 794  
 WRANGELL, AK 99929  
 PHONE: (907) 874-3223  
 ATTN: NON-EMERGENCY

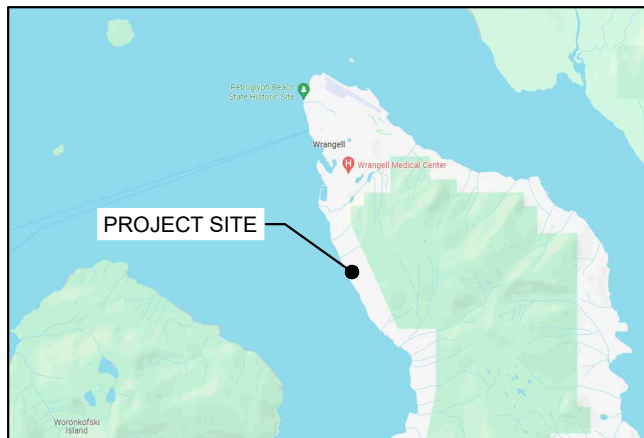
**CAPITAL FACILITIES DEPARTMENT:**

P.O. BOX 531  
 WRANGELL, AK 99929  
 PHONE: (907) 874-2381  
 EMAIL: AALHADDAD@WRANGELL.COM  
 ATTN: AMBER AL-HADDAD

**PLANNING AND ZONING DEPARTMENT:**

P.O. BOX 531  
 WRANGELL, AK 99929  
 PHONE: (907) 874-2381  
 EMAIL: KTHOMAS@WRANGELL.COM  
 ATTN: KATE THOMAS

**PERMIT INFORMATION**



VICINITY MAP

**JURISDICTION:**

CITY AND BOROUGH OF WRANGELL

**STATE:**

ALASKA

**TOWER TYPE:**

SELF-SUPPORT TOWER

**TOWER HEIGHT:**

150' (160' TO HIGHEST APPURTENANCE)

**NUMBER OF CARRIERS:**

0 EXISTING, 1 PROPOSED

**USE:**

PROPOSED TELECOMMUNICATIONS TOWER AND UNMANNED GROUND EQUIPMENT

**FLOOD INFO:**

SITE IS LOCATED WITHIN FEMA FLOOD MAP AREA 020098 0018 B DATED 06/15/82 WITHIN FLOOD ZONE C.

**PROJECT SUMMARY**

**DEVELOPER:**

CENTRAL COUNCIL OF THE TLINGIT AND HAIDA INDIAN TRIBES OF ALASKA (DBA TIDAL NETWORK)  
 PO BOX 25500  
 JUNEAU, AK 99802  
 PHONE: (907) 538-8255  
 ATTN: CHRIS CROPLEY

**POWER PROVIDER:**

WRANGELL MUNICIPAL LIGHT AND POWER  
 1064 CASE AVE.  
 WRANGELL, AK 99929  
 PHONE: (907) 874-2381  
 ATTN: DWIGHT YANCEY

**PROJECT COORDINATOR:**

PIERSON WIRELESS  
 7534 F STREET  
 OMAHA, NE 68127  
 PHONE: (402) 429-7660  
 ATTN: JESSIE RICO

**A/E CONSULTANT:**

KIMLEY-HORN AND ASSOCIATES, INC.  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: (470) 299-7052  
 ATTN: TREVOR NEWTON, P.E. (GA)

**PROJECT CONTACTS**

Sheet Number	Sheet Title
G0	COVER SHEET
-	SURVEY SHEET (1 OF 1)
G1	GENERAL NOTES
C0	AERIAL PLAN VIEW
C1	OVERALL SITE PLAN
C2	COMPOUND SITE PLAN
C3	EQUIPMENT PLAN
C4	EQUIPMENT RACK DETAIL
C5	FENCE, GATE AND COMPOUND DETAILS
C6	SITE SIGN DETAILS
C7	WAVEGUIDE BRIDGE DETAILS
C8	GRADING AND EROSION CONTROL PLAN
C9	GRADING AND EROSION CONTROL DETAILS
C10	ACCESS ROAD DETAILS
C11	ANTENNA AND TOWER ELEVATION DETAILS
S1	EQUIPMENT PLATFORM FRAMING PLAN
S1.1	EQUIPMENT PLATFORM GRATING PLAN
S2	PLATFORM ELEVATIONS
S2.1	PLATFORM ELEVATIONS
S3	STRUCTURAL DETAILS
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS
S6	STRUCTURAL DETAILS
E1	ELECTRICAL NOTES
E2	OVERALL UTILITY SERVICE ROUTING PLAN
E3	COMPOUND UTILITY ROUTING PLAN
E4	METER RACK DETAILS
E5	ELECTRICAL SINGLE LINE DIAGRAM
E6	PANEL SCHEDULE
E7	ELECTRICAL DETAILS
E8	GROUNDING NOTES
E9	GROUNDING PLAN
E10	GROUNDING SINGLE LINE DIAGRAM
E11	GROUNDING DETAILS
E12	GROUNDING DETAILS

**SHEET INDEX**

PROJECT INFORMATION: *Item a.*

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:

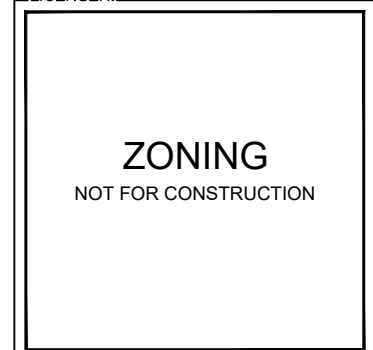


11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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0	05/23/24	100% DESIGN	TRN
A	04/18/24	80% DESIGN	TRN

LICENSER:



KHA PROJECT NUMBER:

017619002

DRAWN BY: CHECKED BY:

JW

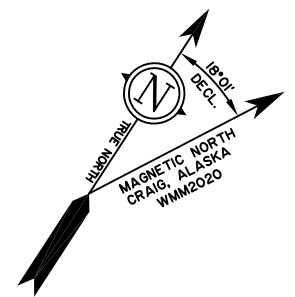
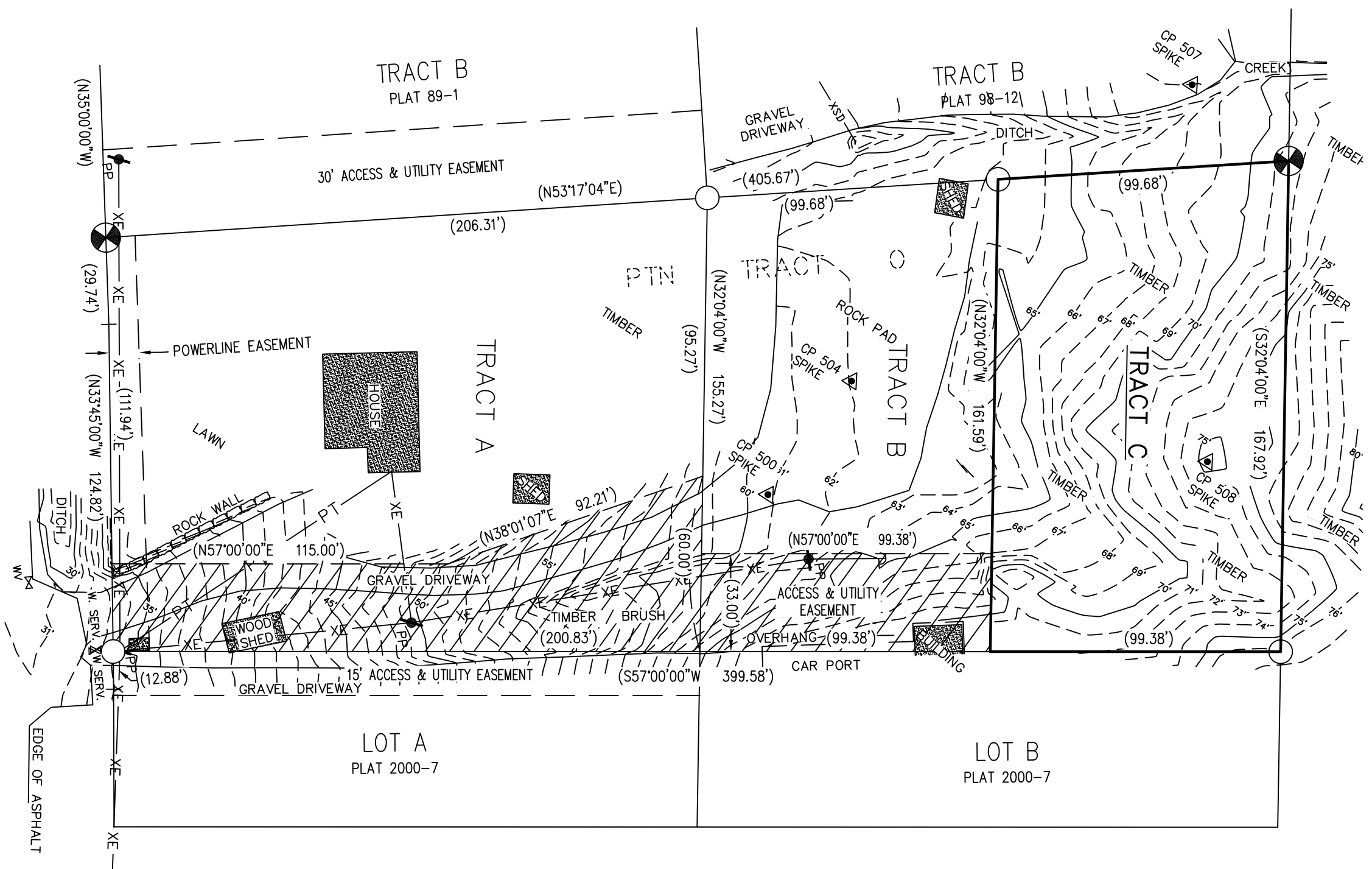
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SHEET TITLE:

COVER SHEET

SHEET NUMBER:

G0



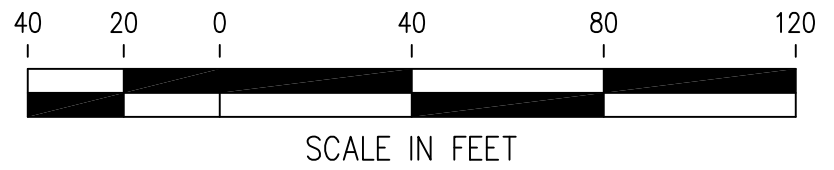
**LEGEND**

- SECONDARY MONUMENT RECOVERED THIS SURVEY
- PRIMARY MONUMENT RECOVERED THIS SURVEY
- SURVEY CONTROL POINT
- XE OVERHEAD ELECTRICAL LINE
- PT OVERHEAD COMMUNICATION LINE
- XSD UNDERGROUND STORM LINE
- UTILITY EASEMENT
- (XX.XX) DATA OF RECORD
- POWER POLE

**PLAT NOTES**

1. THIS PLAT DOES NOT MEET MINIMUM STANDARDS FOR BOUNDARY SURVEYS, AS SET FORTH BY THE ALASKA SOCIETY OF PROFESSIONAL LAND SURVEYORS. (A.S.P.L.S.)
2. THIS PLAT IS NOT TO BE SCALED FROM, USE GIVEN DIMENSIONS ONLY.
3. UNDERGROUND UTILITIES HEREON ARE APPROXIMATE & NOT A COMPLETE DEPICTION OF ALL SYSTEMS.
4. THIS COMPANY WAS NOT PROVIDED A TITLE REPORT FOR THIS SURVEY. RECORD INFORMATION SHOWN WAS DERIVED FROM READILY AVAILABLE RECORD INFORMATION ON THE ALASKA D.N.R. WEBSITE.
5. REFERENCE THE FOLLOWING WITHIN THE WRANGELL RECORDING DISTRICT:
  - PLAT 97-10 (MEISSNER SUBDIVISION)
  - DEED 2023-000199-0

DRAWN BY: MCH  
 DATE PLATTED: FEBRUARY, 2024  
 DATE SURVEYED: FEB 12, 2024  
 SCALE: 1"=40'  
 SURVEYOR: MCH  
 PROJ NO.: 242705



R&M ENGINEERING-KETCHIKAN, INC. Phone: (907) 225-7917  
 7180 REVILLA ROAD Fax: (907) 225-3441  
 KETCHIKAN, AK 99901

WRANGELL OFFICE Phone: (907) 305-0820  
 P.O. BOX 2286  
 WRANGELL, AK 99929

**PROJECT:**  
**TOPO SURVEY**  
 TRACT C, OF MEISSNER SUBD., A SUBD. OF A PORTION OF  
 TRACT O (USS 2321), ACCORDING TO PLAT 97-10 WITHIN  
 THE WRANGELL RECORDING DISTRICT,  
 FIRST JUDICIAL DISTRICT, STATE OF ALASKA

\\Pierston-Wireless\Tidal\_Network\Wrangell\Zone 2\CAD\CD\SEAK\_RAWLAND\_CD.dwg 06/11/24 8:20 AM by: trevor.newton

**1.00 GENERAL NOTES**

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND OWNER/CARRIER SPECIFICATIONS, THE OWNER/CARRIER PROJECT MANAGER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM OWNER/CARRIER PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "ALASKA 811" 72 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER 1-800-478-3121 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY OWNER/CARRIER PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER OWNER/CARRIER PROJECT MANAGER'S INSTRUCTIONS.

**2.00 EQUIPMENT FOUNDATION NOTES**

- 2.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 2.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO OWNER/CARRIER.
- 2.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- 2.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
- 2.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.07 AT THE REQUEST OF THE OWNER/CARRIER PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.08 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH 3/4" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 2.09 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.
- 2.10 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.
- 2.11 TOP OF FOUNDATION FINISH TO BE LEVEL ±1/8" IN 10'.
- 2.12 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.
- 2.13 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.

**3.00 GENERAL STRUCTURAL NOTES**

- 3.01 DESIGN: 2021 INTERNATIONAL BUILDING CODE WITH ALASKA AMENDMENTS.
- 3.02 STRUCTURAL STEEL W SHAPES SHALL CONFORM TO THE REQUIREMENTS OF ASTM A992 GR. 50. TUBING SHALL CONFORM TO ASTM A-500 GR. B. PIPE SHALL CONFORM TO ASTM A53 GR. B. CHANNELS AND ALL OTHER STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 UNLESS OTHERWISE NOTED.
- 3.03 ALL DETAILING, FABRICATION, AND ERECTION OF STRUCTURAL STEEL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE REQUIREMENTS OF THE AISC SPECIFICATIONS FOR BUILDINGS, LATEST EDITION.
- 3.04 WELDING SHALL BE DONE BY AN AWS CERTIFIED WELDER AND IN COMPLIANCE WITH AWS D1.1 ALL WELDS SIZES SHALL BE THE MAXIMUM ALLOWED BY THE MATERIAL BEING WELDED WITH E70XX ELECTRODES.
- 3.05 UNLESS OTHERWISE NOTED, ALL FIELD CONNECTIONS SHALL BE FULL DEPTH CONNECTIONS MADE WITH 3/4" DIAMETER HIGH STRENGTH BOLTS (ASTM A325-X).
- 3.06 CONNECTIONS SHALL BE DESIGNED AS BEARING TYPE WITH THREADS EXCLUDED FROM THE SHEAR PLANE.
- 3.07 HOT DIP GALVANIZE ALL STRUCTURAL STEEL, GRATING, HANDRAILS, AND HARDWARE. TOUCH UP ALL FIELD WELDS AND ABRADED AREAS WITH GALVANIZING PAINT. REPAIR OF ABRADED OR UNCOATED AREAS SHALL CONFORM TO THE LATEST VERSION OF ASTM A780-93A.
- 3.08 GALVANIZED STEEL SUBJECTED TO FIELD WELDING FOR STRUCTURAL CONNECTIONS SHALL BE PROPERLY PREPARED FOR A MINIMUM DISTANCE OF 1 INCH FROM THE WELD. APPROVED METHODS OF PREPARATION INCLUDE USING SUITABLE MASKING MATERIALS PRIOR TO GALVANIZING IN THE SHOP OR GRINDING THE COATING OFF IN THE FIELD. AFTER WELDING, APPLY EPOXY ZINC COATING SYSTEM SHERWIN-WILLIAMS AEROSOL ZINC CLAD 5 OR ENGINEER APPROVED EQUAL PER MANUFACTURER'S RECOMMENDATIONS.
- 3.09 CONTRACTOR / STEEL FABRICATOR SHALL VERIFY ALL DIMENSIONS, EXISTING COLUMN LOCATIONS, AND LOAD BEARING COLUMNS AS REQUIRED BEFORE FABRICATION OF ANY STEEL.
- 3.10 CONTRACTOR / STEEL FABRICATOR SHALL CONFORM TO THE MINIMUM EDGE DISTANCE REQUIREMENTS IN ACCORDANCE TO THE LATEST EDITION OF THE AISC MANUAL OF STEEL CONSTRUCTION.
- 3.11 ALL STRUCTURAL STEEL SHALL BE FABRICATED TO FIT AT BOLTED CONNECTIONS WITHIN 1/16 INCH TOLERANCE. STRUCTURAL STEEL SHALL NOT BE FLAME CUT UNDER ANY CIRCUMSTANCES WITHOUT APPROVAL OF THE ENGINEER.
- 3.12 CONTRACTOR / STEEL FABRICATOR SHALL CAP OR SEAL ALL PIPES/TUBES AS REQUIRED TO PREVENT RAINWATER INTRUSION.
- 3.13 CONTRACTOR / STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR ENGINEER'S REVIEW PRIOR TO ANY STEEL FABRICATION. AT THE CONTRACTOR'S OPTION, FIELD SPLICES MAY BE USED FOR ERECTION PURPOSES. IF FIELD SPLICES ARE USED, THE SHOP DRAWINGS SHALL INCLUDE ALL DETAILS FOR THE PROPOSED FIELD SPLICES.
- 3.14 AT THE CONTRACTORS OPTION, SHOP WELDS MAY BE USED INSTEAD OF FIELD WELDS.
- 3.15 GRATING SHALL BE 1 1/4" X 3/16" MCNICHOLS (OR APPROVED EQUAL). GRATING TO BE ATTACHED TO THE STRUCTURAL STEEL PLATFORM FRAMING USING STANDARD GRATING CLIPS IN ACCORDANCE WITH GRATING MANUFACTURERS' STANDARDS AND RECOMMENDATIONS.
- 3.16 IT IS ASSUMED THAT THE SHELTER IS ADEQUATE TO RESIST EQUIPMENT LOADING AND SPAN THE BEAM SPACINGS SHOWN. CONTRACTOR TO VERIFY MAXIMUM SPAN ALLOWANCES WITH THE SHELTER MANUFACTURER AND NOTIFY THE ENGINEER IF SPANS ARE NOT WITHIN TOLERANCE. CONNECT SHELTER TO STRUCTURAL STEEL PER MANUFACTURER'S RECOMMENDATIONS.

PROJECT INFORMATION: Item a.

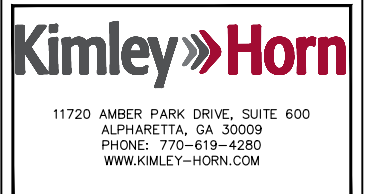
SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

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A	04/18/24	80% DESIGN	TRN

LICENSER:



KHA PROJECT NUMBER:

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DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

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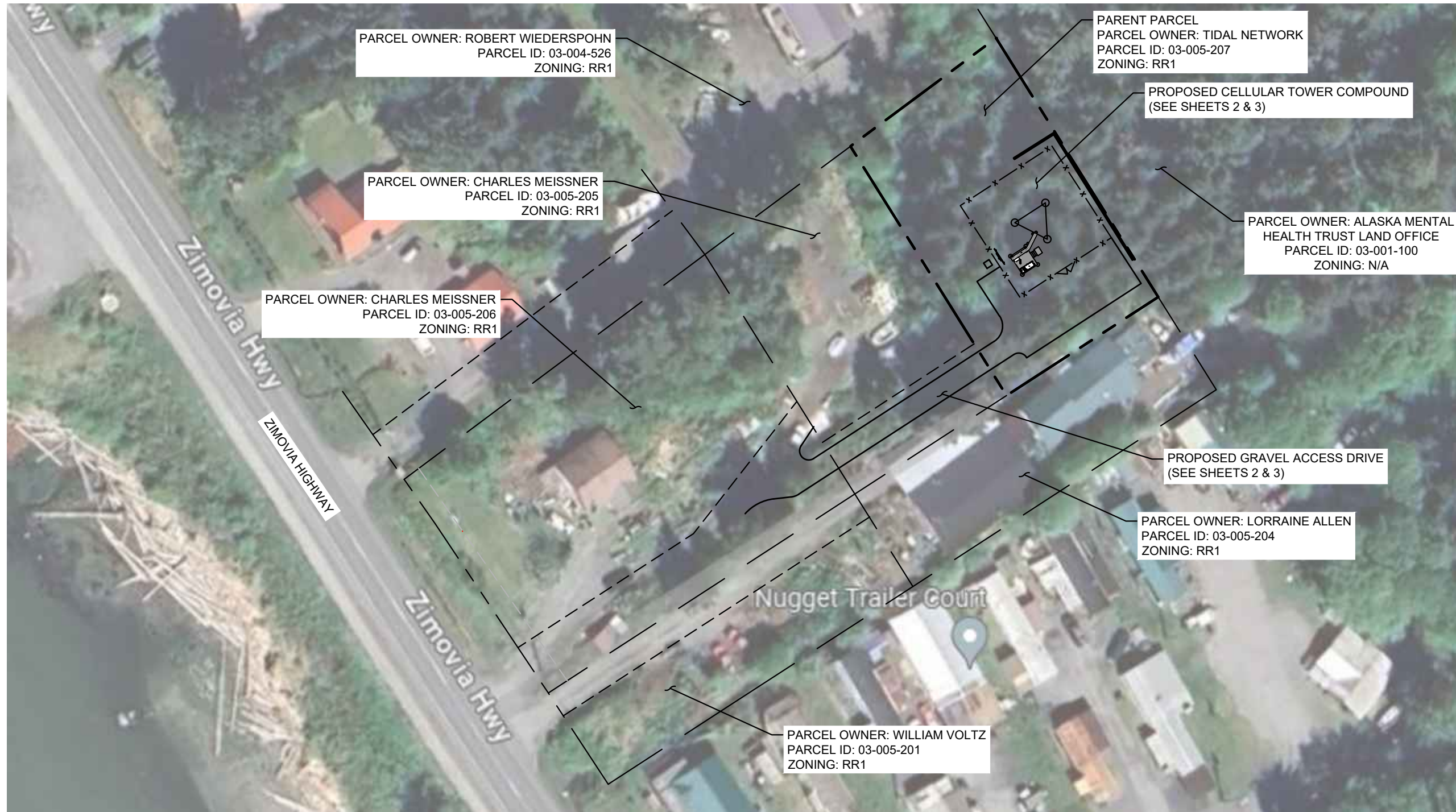
SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

G1

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PARCEL OWNER: ROBERT WIEDERSPOHN  
PARCEL ID: 03-004-526  
ZONING: RR1

PARENT PARCEL  
PARCEL OWNER: TIDAL NETWORK  
PARCEL ID: 03-005-207  
ZONING: RR1

PARCEL OWNER: CHARLES MEISSNER  
PARCEL ID: 03-005-205  
ZONING: RR1

PROPOSED CELLULAR TOWER COMPOUND  
(SEE SHEETS 2 & 3)

PARCEL OWNER: ALASKA MENTAL  
HEALTH TRUST LAND OFFICE  
PARCEL ID: 03-001-100  
ZONING: N/A

PARCEL OWNER: CHARLES MEISSNER  
PARCEL ID: 03-005-206  
ZONING: RR1

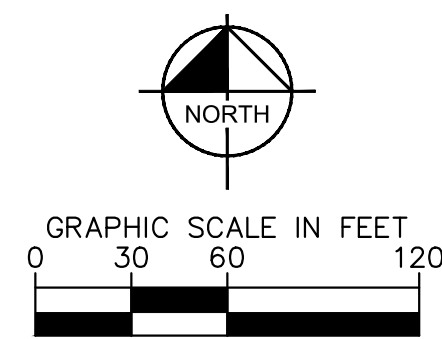
PROPOSED GRAVEL ACCESS DRIVE  
(SEE SHEETS 2 & 3)

PARCEL OWNER: LORRAINE ALLEN  
PARCEL ID: 03-005-204  
ZONING: RR1

PARCEL OWNER: WILLIAM VOLTZ  
PARCEL ID: 03-005-201  
ZONING: RR1

**1** AERIAL PLAN VIEW  
**C0** SCALE: 1" = 60'

SURVEY NOTE:  
1. PROPOSED COMPOUND LAYOUT IS BASED ON SURVEY PROVIDED BY R&M ENGINEERING-KETCHIKAN, INC. DATED 02/2024 AND SITE VISIT ON 02/12/2024



PROJECT INFORMATION: *Item a.*  
SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02  
TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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LICENSER:

**ZONING**  
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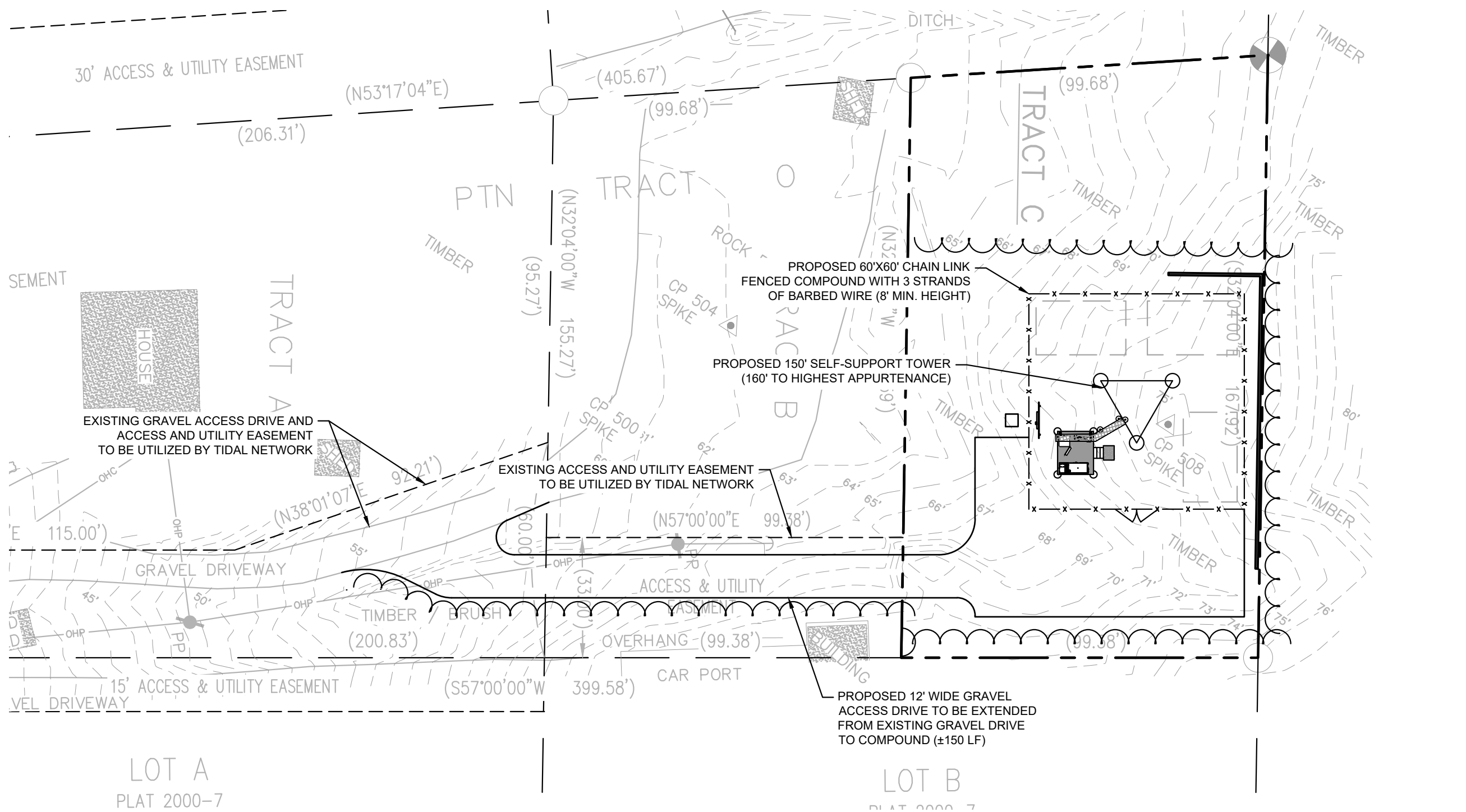
KHA PROJECT NUMBER:  
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DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE:  
**AERIAL PLAN VIEW**

SHEET NUMBER:  
**C0**

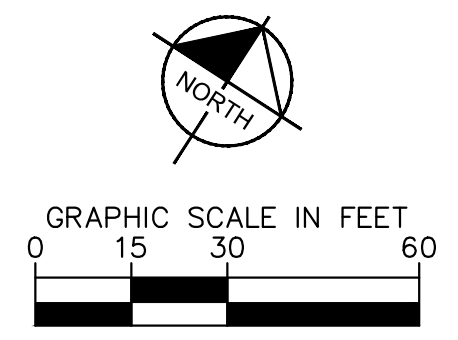


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**1** OVERALL SITE PLAN  
**C1** SCALE: 1" = 30'

**SURVEY NOTE:**  
 1. PROPOSED COMPOUND LAYOUT IS BASED ON SURVEY PROVIDED BY R&M ENGINEERING-KETCHIKAN, INC. DATED 02/2024 AND SITE VISIT ON 02/12/2024



**PROJECT INFORMATION:** Item a.  
**SITE NAME:** WRANGELL ZONE 2  
**SITE No.:** TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

**PLANS PREPARED FOR:**

**TIDAL NETWORK**  
**PIERSON WIRELESS**

**PLANS PREPARED BY:**

**Kimley-Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

**REV: DATE: ISSUED FOR: BY:**

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**LICENSER:**

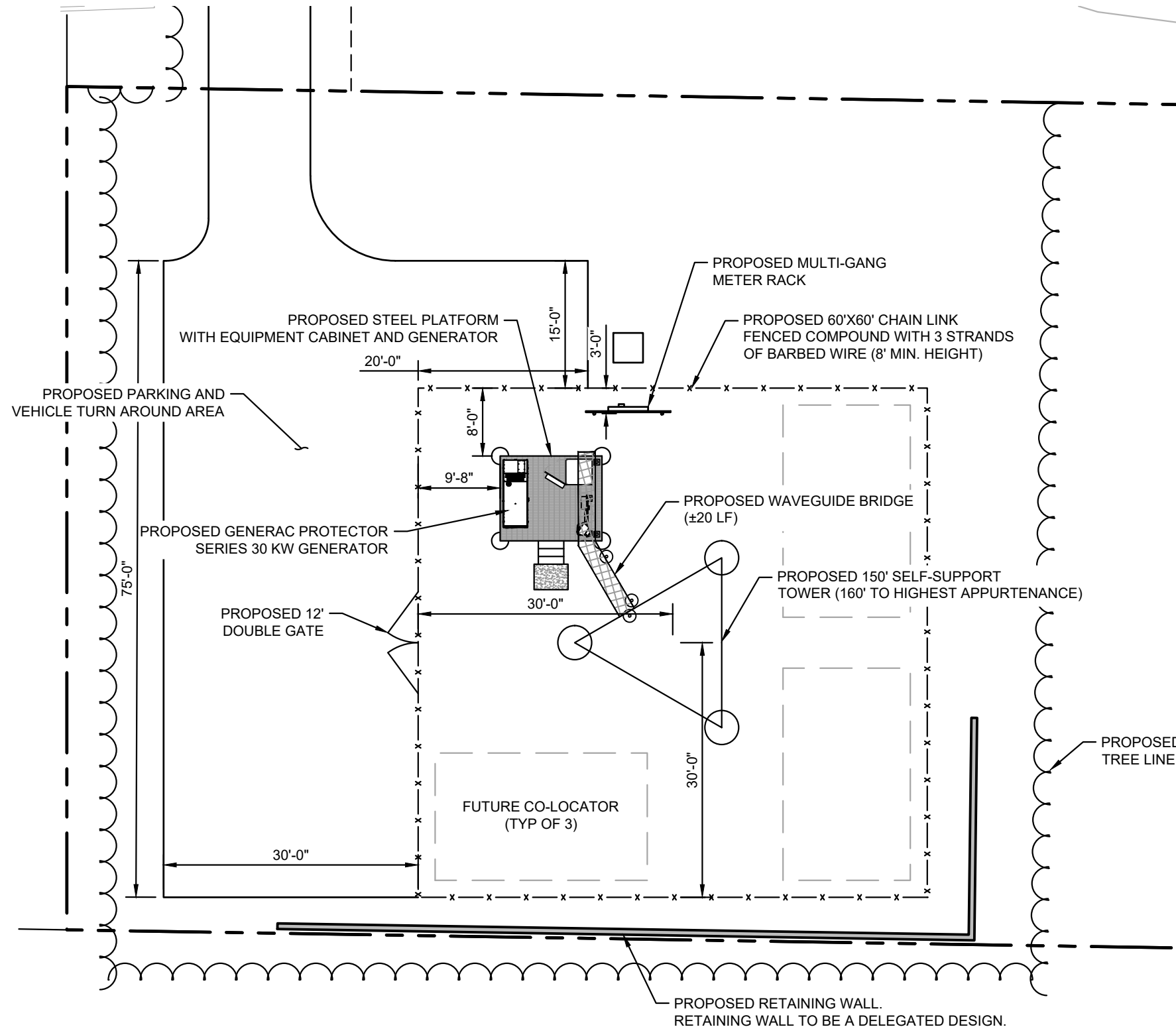
**ZONING**  
 NOT FOR CONSTRUCTION

**KHA PROJECT NUMBER:** 017619002  
**DRAWN BY:** JW **CHECKED BY:** TRN

**SHEET TITLE:** OVERALL SITE PLAN

**SHEET NUMBER:** C1

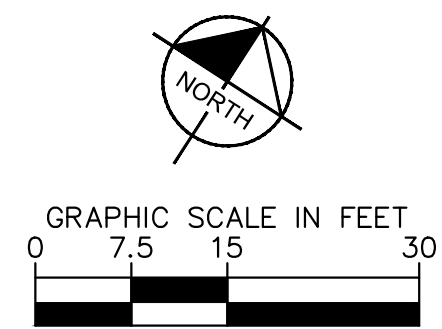
wireless\Pierston Wireless\Tidal Network\Wrangell\Zone 2\CAD\CD\SEAK\_RAWLAND\_CD.dwg 06/11/24 8:20 AM by: trevor.newton



**SITE NOTES:**

1. PROPOSED COMPOUND LAYOUT IS BASED ON SURVEY PROVIDED BY R&M ENGINEERING-KETCHIKAN, INC. DATED 02/2024 AND SITE VISIT ON 02/12/2024
2. CONTRACTOR TO CONFIRM WITH OWNER/CARRIER CONSTRUCTION MANAGER THAT THE EQUIPMENT SHOWN HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
3. THE BASIS OF EQUIPMENT DESIGN INCLUDES ONE (1) RF CABINET.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MODIFYING SCOPE OF WORK TO ACCOMMODATE ANY CHANGES IN THE EXACT EQUIPMENT PROCURED BY OWNER/CARRIER. COORDINATE ANY CHANGES WITH OWNER/CARRIER CONSTRUCTION MANAGER.
5. ROUTE COAX/FIBER UP TOWER PER STRUCTURAL ANALYSIS BY TOWER OWNER.
6. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN A COPY OF TOWER ERECTION DRAWINGS FROM OWNER/CARRIER CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION. CAISSONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWINGS BY OTHERS. DO NOT SCALE.
7. INSTALL 3/2" O.D. GALVANIZED STEEL POST FOR TDGSA-PA14 GROUND BAR. POST TO EXTEND 78" ABOVE GRADE AND SHALL BE EMBEDDED IN A 12"Ø CONCRETE FOOTING A MINIMUM OF 36". FOOTING SHALL EXTEND A MINIMUM OF 42" BELOW BELOW GRADE.

1 **COMPOUND SITE PLAN**  
C2 SCALE: 1" = 15'

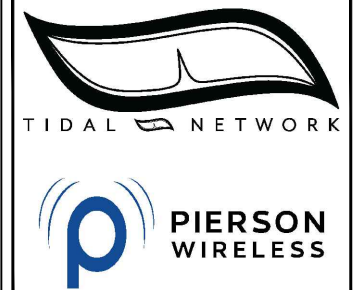


**PROJECT INFORMATION:**

SITE NAME: Item a.  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

**PLANS PREPARED FOR:**



**PLANS PREPARED BY:**

**Kimley»Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

**REV: DATE: ISSUED FOR: BY:**

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A	04/18/24	80% DESIGN	TRN

**LICENSER:**

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NOT FOR CONSTRUCTION

**KHA PROJECT NUMBER:**

017619002

**DRAWN BY: CHECKED BY:**

JW                      TRN

**SHEET TITLE:**

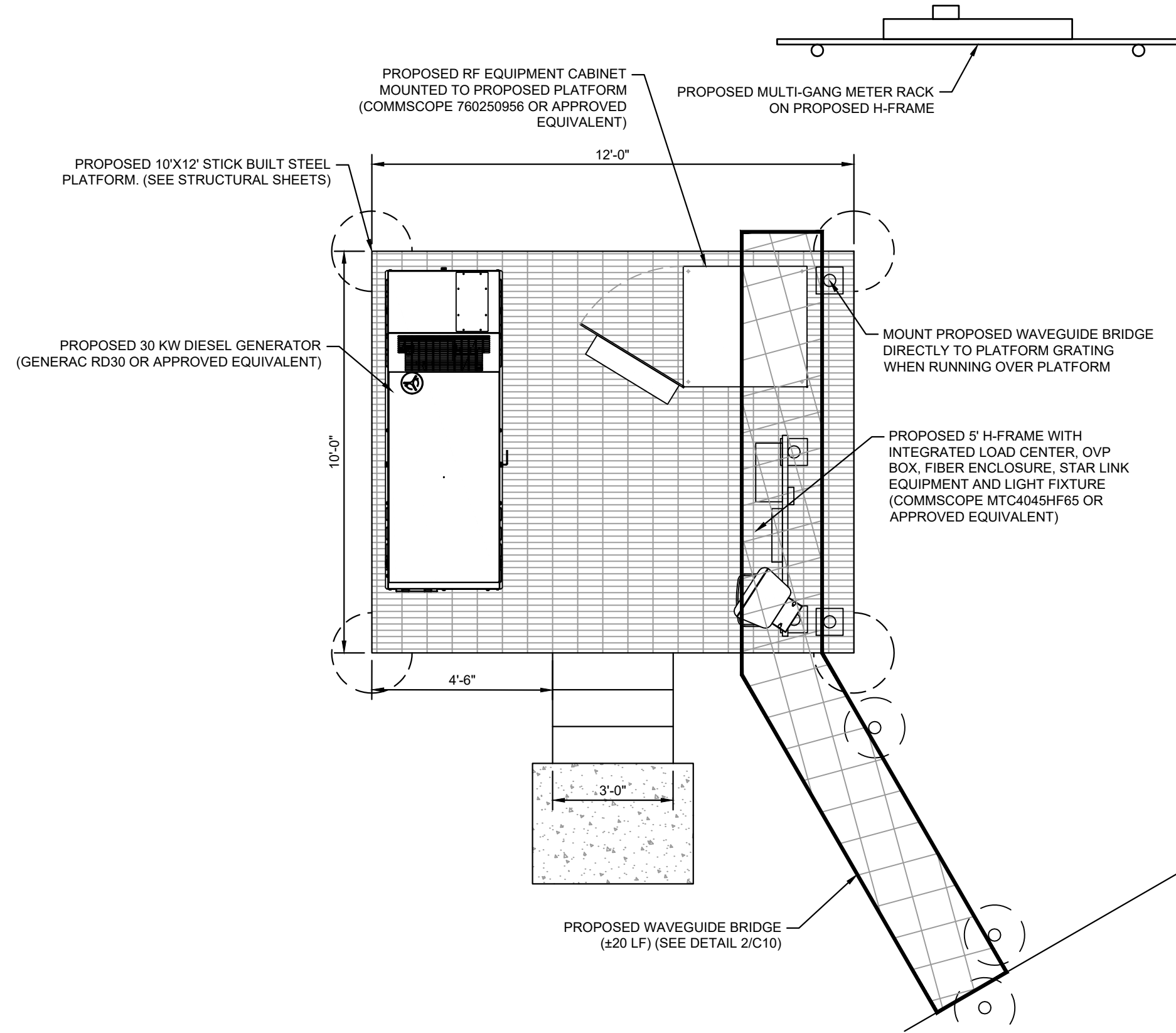
COMPOUND SITE PLAN

**SHEET NUMBER:**

C2

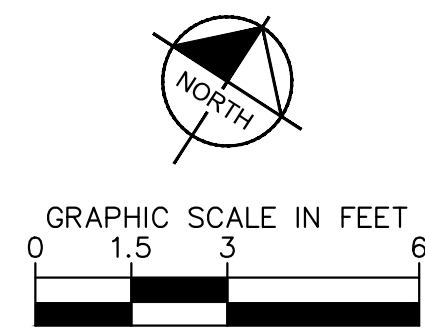
wireless\Pierston Wireless\Tidal Network\Wrangell\Zone 2\CAD\CD\SEAK\_RAWLAND\_CD.dwg ----- 06/11/24 8:20 AM by: trevor.newton

**1** EQUIPMENT PLAN  
**C3** SCALE: 1" = 3'



**EQUIPMENT ROUTING NOTES:**

- REFER TO THE SITE PLAN FOR EQUIPMENT LOCATION AND ORIENTATION.
- RUN 2" FLEX TELCO CONDUIT FROM BOTTOM OF TELCO BOX TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- RUN 2" FLEX POWER CONDUIT AND 1" FLEX ALARM CONDUIT FROM BOTTOM OF ILC TO SIDE OF RF CABINET WITH CHASE NIPPLES THROUGH FACTORY KNOCKOUTS.
- RUN 2" FLEX FIBER CONDUIT FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- RUN (1) 1½" FLEX POWER CONDUIT FOR EVERY (6) RRU CIRCUITS FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
- SUPPORT FLEX CONDUIT ON HORIZONTAL H-FRAME RAILS OR ON VERTICAL SITE STRUT SNT10 RAILS ADDED TO H-FRAME FOR CONDUIT/CABLE MANAGEMENT.
- RUN HYBRID CABLE FOR TOWER MOUNTED RRU'S OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. SWEEP DOWN ONTO H-FRAME RAILS, THEN LOOP UNDER OVP AND CONNECT TO BOTTOM OF OVP. ATTACH GROUND KITS TO HYBRID CABLE BEFORE LOOPING UNDER OVP, AND BOND TO TDSGA GROUND BAR AT BASE OF H-FRAME.
- RUN COAX CABLE FOR GROUND MOUNTED RRU'S (IF USED) OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. TERMINATE COAX ON ICE BRIDGE AND TRANSITION TO JUMPERS JUST BEFORE REACHING H-FRAME. ATTACH GROUND KITS TO COAX CABLE ON TOWER SIDE OF LAST ICE BRIDGE POST AND BOND TO TDSGA GROUND BAR NEAR TOP OF POST.
- GPS ANTENNA TO BE MOUNTED TO STANDARD HEIGHT POST WITH EXTENDED MOUNTING PIPE, USING COMMSCOPE GPS-U MOUNTING KIT. MOUNT AS NEAR AS AS PRACTICAL TO RBA84 CABINET.
- BOLT CABINETS AND GENERATOR TO GRATING USING FASTENERS SPECIFIED BY EQUIPMENT MANUFACTURER IN FACTORY PROVIDED MOUNTING HOLES.



PROJECT INFORMATION: **Item a.**

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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KHA PROJECT NUMBER:

017619002

DRAWN BY: CHECKED BY:

JW TRN

SHEET TITLE:



SHEET NUMBER:

C3

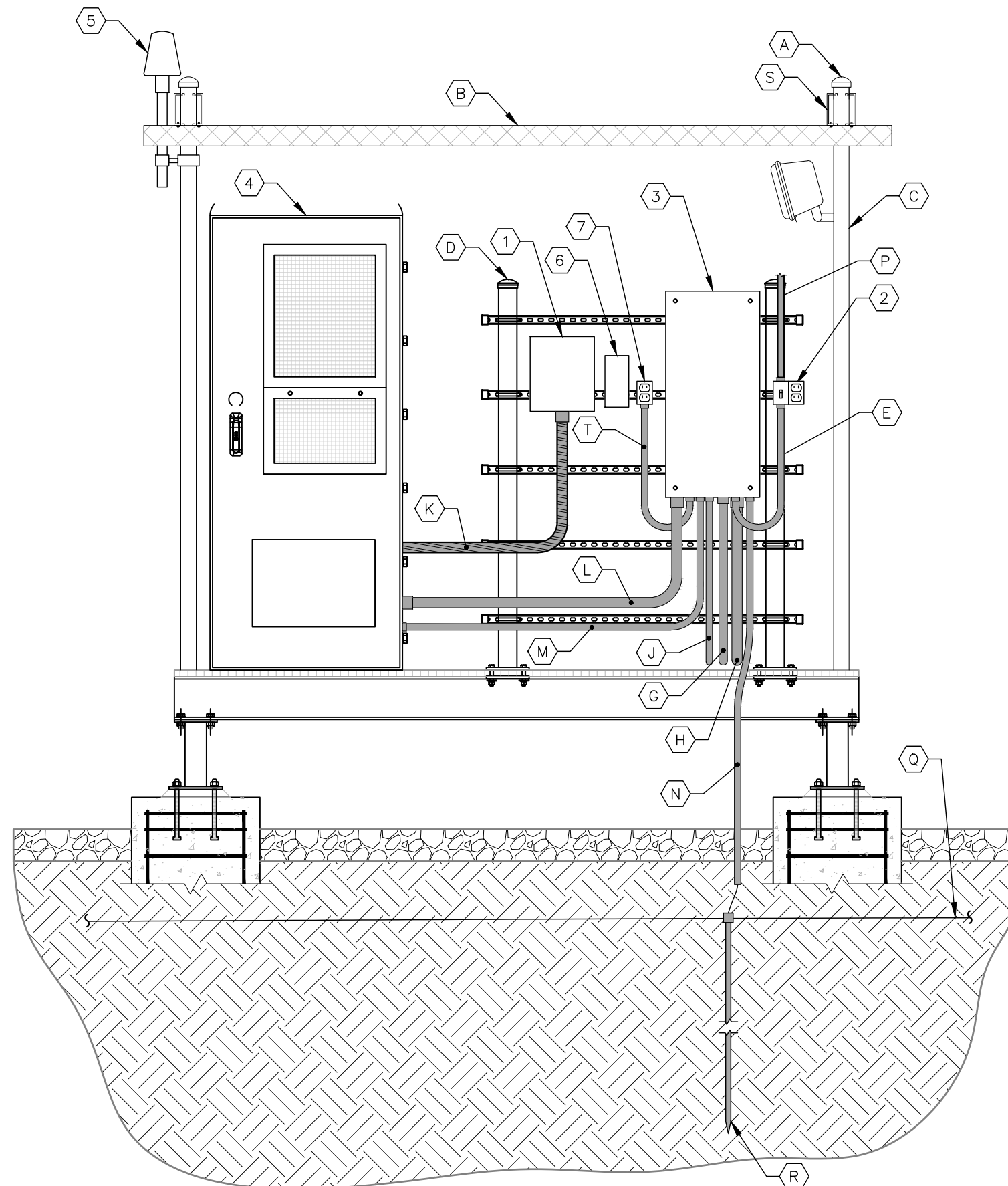
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**KEY NOTES - CONDUIT, CONDUCTORS, & MISC**

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) WAVEGUIDE BRIDGE, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
- (C) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (D) EQUIPMENT H-FRAME (COMMSCOPE MTC4045HF65, OR APPROVED EQUIVALENT)
- (E) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO LIGHTS/DUPLEX OUTLET.
- (F) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTOR (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- (G) 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR.
- (H) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR.
- (J) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER.
- (K) 2" FLEX CONDUIT FOR TELCO CABLES TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT LAYOUT.
- (L) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT LAYOUT.
- (M) 1" PVC CONDUIT FROM INTEGRATED LOAD CENTER (ILC) TO RF CABINET FOR ALARM SIGNAL CABLE. REFER TO ROUTING NOTES ON EQUIPMENT LAYOUT.
- (N) 3/4" PVC CONDUIT WITH ONE (1) - #2 AWG BARE TINNED COPPER GROUND LEAD FROM GROUNDING LUG IN ILC TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- (P) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO AREA LIGHTS.
- (Q) GROUND RING (SEE "E" SHEETS).
- (R) GROUND ROD, EXOTHERMIC WELD TO GROUND RING (SEE "E" SHEETS).
- (S) WB-K210-B15 HORSEHEAD SUPPORT BRACKET (SEE "WAVEGUIDE BRIDGE DETAILS" SHEET). THRU BOLTS REQUIRED FOR ATTACHMENT IN LIEU OF FACTORY PROVIDED U-BOLTS.
- (T) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO DUPLEX OUTLET.

**KEY NOTES - ELECTRICAL EQUIPMENT**

- (1) NEMA 3R ENCLOSURE TELCO BOX WITH REMOVABLE FRONT PANEL, PVC.
- (2) 20 AMP GFCI DUPLEX RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE, 2 GANG BOX WITH RED DOT 2CKPM-W COVER.
- (3) 200 AMP, 120/240 VOLT, INTEGRATED LOAD CENTER WITH 20-40 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH.
- (4) RF EQUIPMENT CABINET.
- (5) GPS ANTENNA.
- (6) STARLINK POWER SUPPLY UNIT.
- (7) 20 AMP DUPLEX RECEPTACLE IN NEMA 3R ENCLOSURE FOR STARLINK POWER SUPPLY UNIT.



**1** EQUIPMENT RACK DETAILS  
**C4** NOT TO SCALE

PROJECT INFORMATION: *Item a.*

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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LICENSER:

**ZONING**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619002

DRAWN BY: CHECKED BY:

JW TRN

SHEET TITLE:

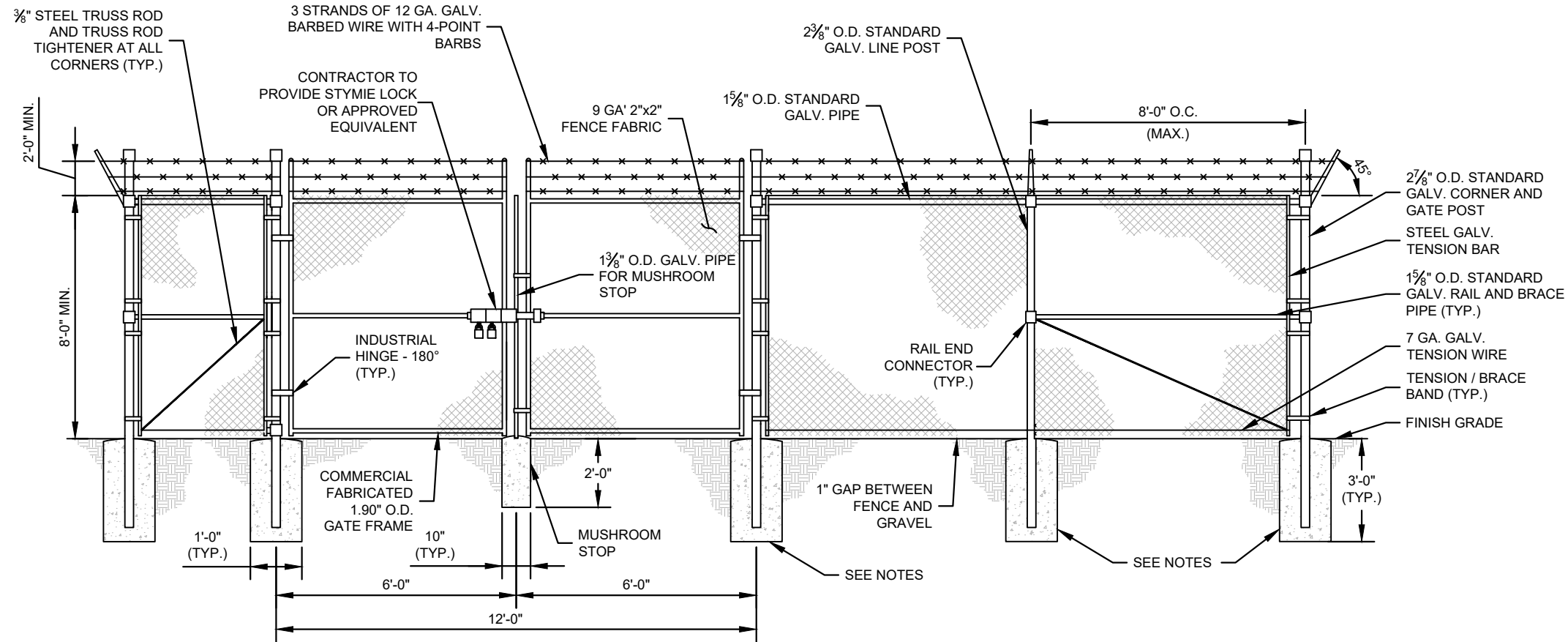
**EQUIPMENT RACK  
 DETAIL**

SHEET NUMBER:

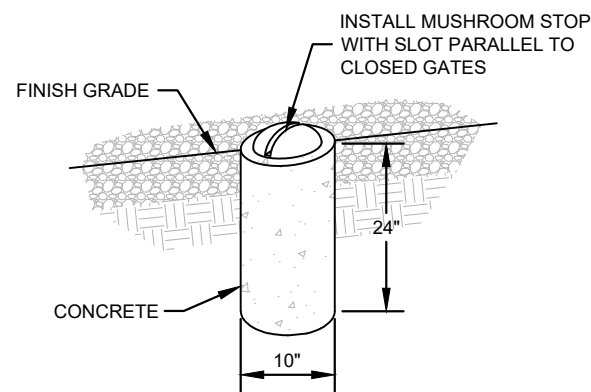
**C4**

**FENCE NOTES:**

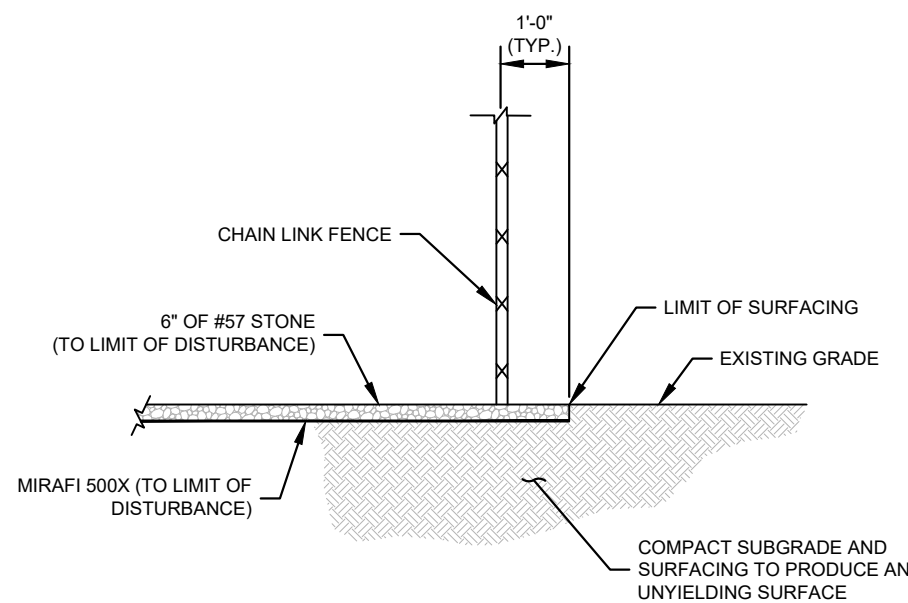
- USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
- WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
- ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
- CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
- PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
- THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
- CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
- CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



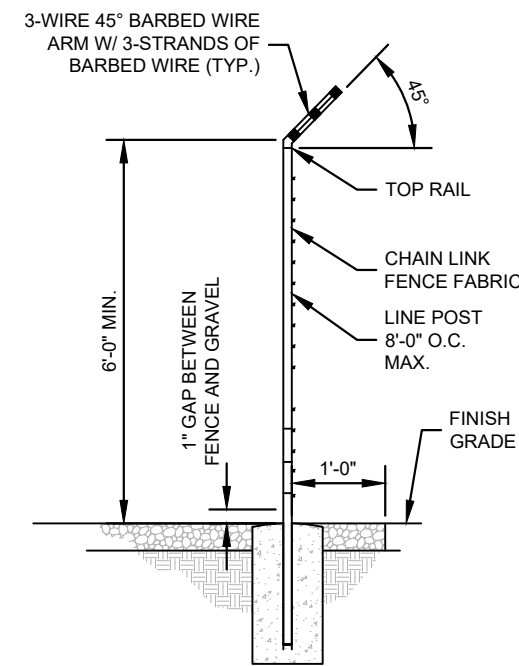
**1 CHAIN LINK FENCE AND GATE ELEVATION**  
C5 NOT TO SCALE



**2 MUSHROOM STOP**  
C5 NOT TO SCALE



**3 SITE COMPOUND SURFACE DETAIL**  
C5 NOT TO SCALE



**4 SECTION AT FENCE**  
C5 NOT TO SCALE

PROJECT INFORMATION: **Item a.**

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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**ZONING**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

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JW TRN

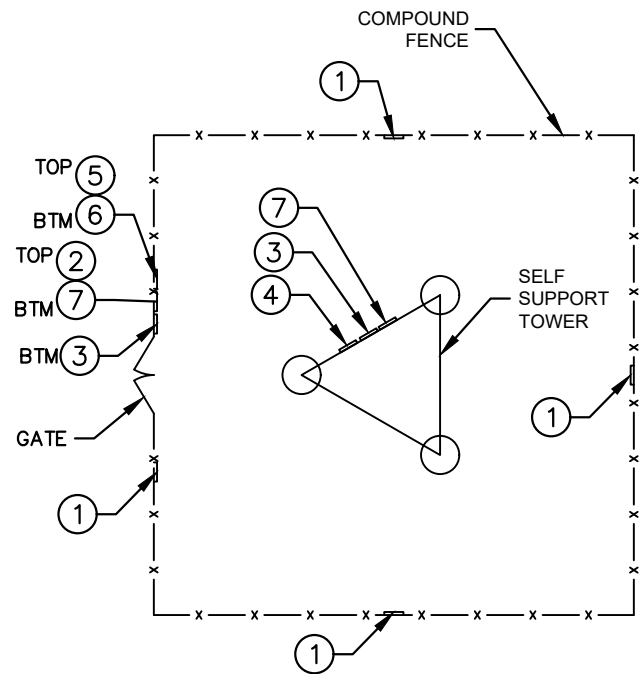
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**FENCE, GATE AND  
COMPOUND  
DETAILS**

SHEET NUMBER:

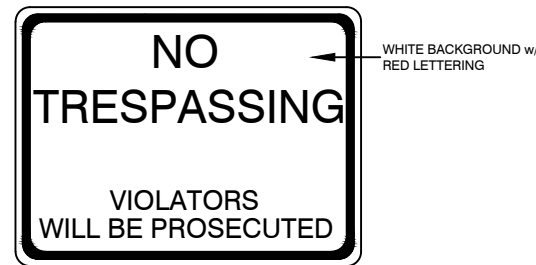
C5

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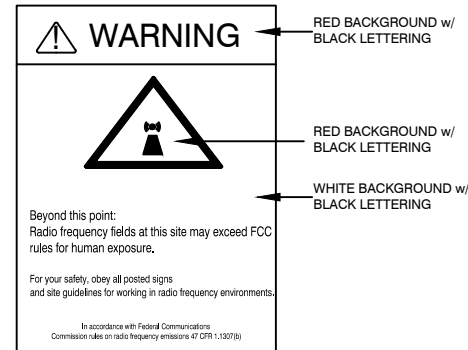


NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

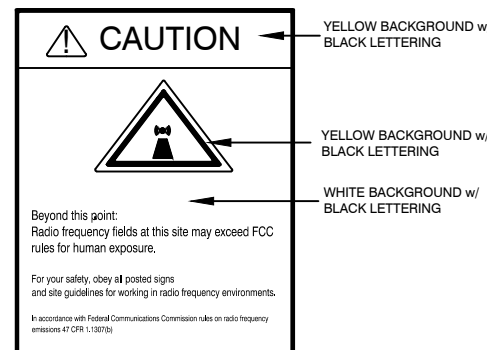
**1**  
C6 SIGN PLACEMENT PLAN VIEW  
NOT TO SCALE



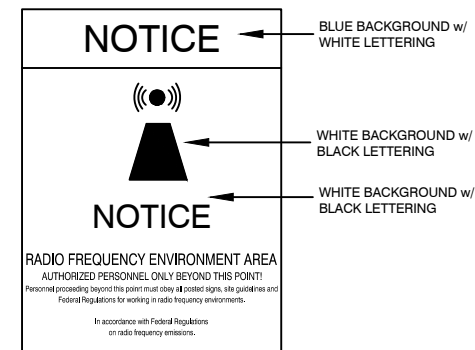
**1** NO-TRESPASSING SIGN  
18" HIGH X 24" WIDE  
(OPERATIONS PROVIDED)



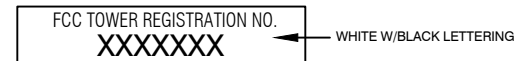
**4** WARNING-RF SIGN (RED)  
12" WIDE X 18" HIGH



**5** CAUTION-RF SIGN (YELLOW)  
12" WIDE X 18" HIGH

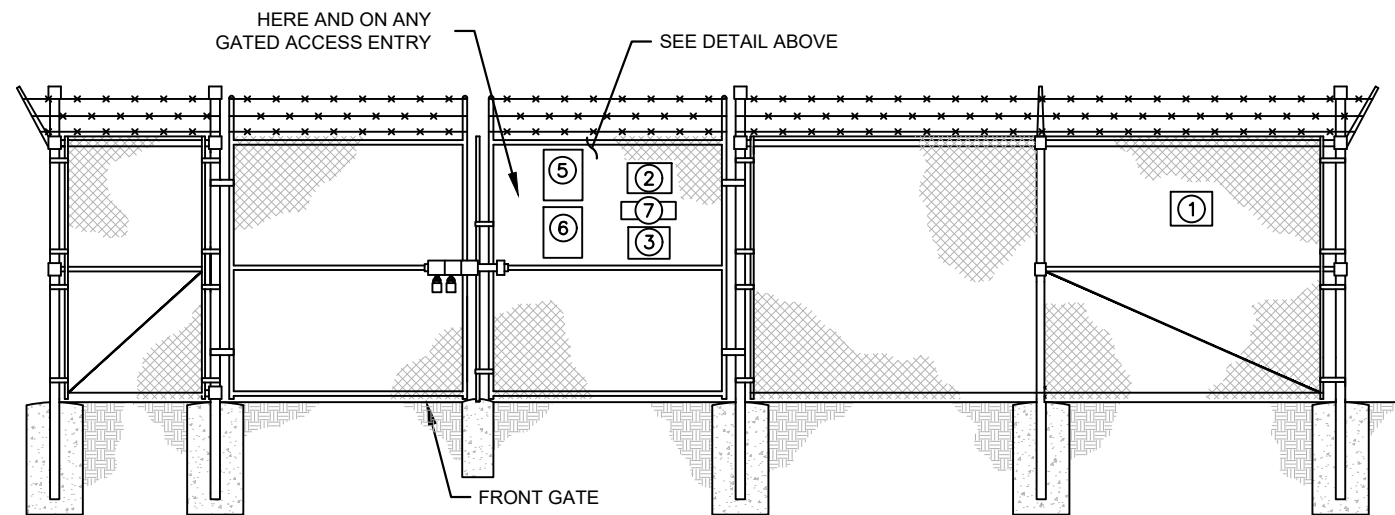


**6** NOTICE-RF SIGN (BLUE)  
12" WIDE X 18" HIGH



**7** FCC REGISTRATION SIGN  
20 WIDE X 4" HIGH

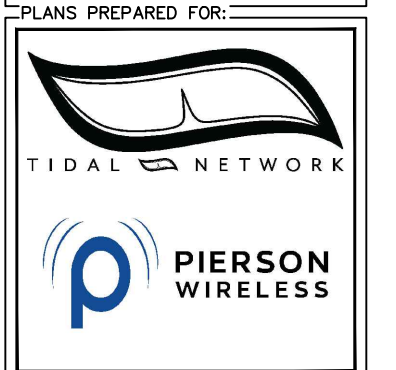
**2**  
C6 TYPICAL SIGNS AND SPECIFICATIONS  
NOT TO SCALE



**3**  
C6 SIGN PLACEMENT FRONT GATE VIEW  
NOT TO SCALE

**SIGNAGE NOTES:**  
1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.  
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.

PROJECT INFORMATION: Item a.  
SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02  
  
TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY



PLANS PREPARED BY:

**Kimley»Horn**  
11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

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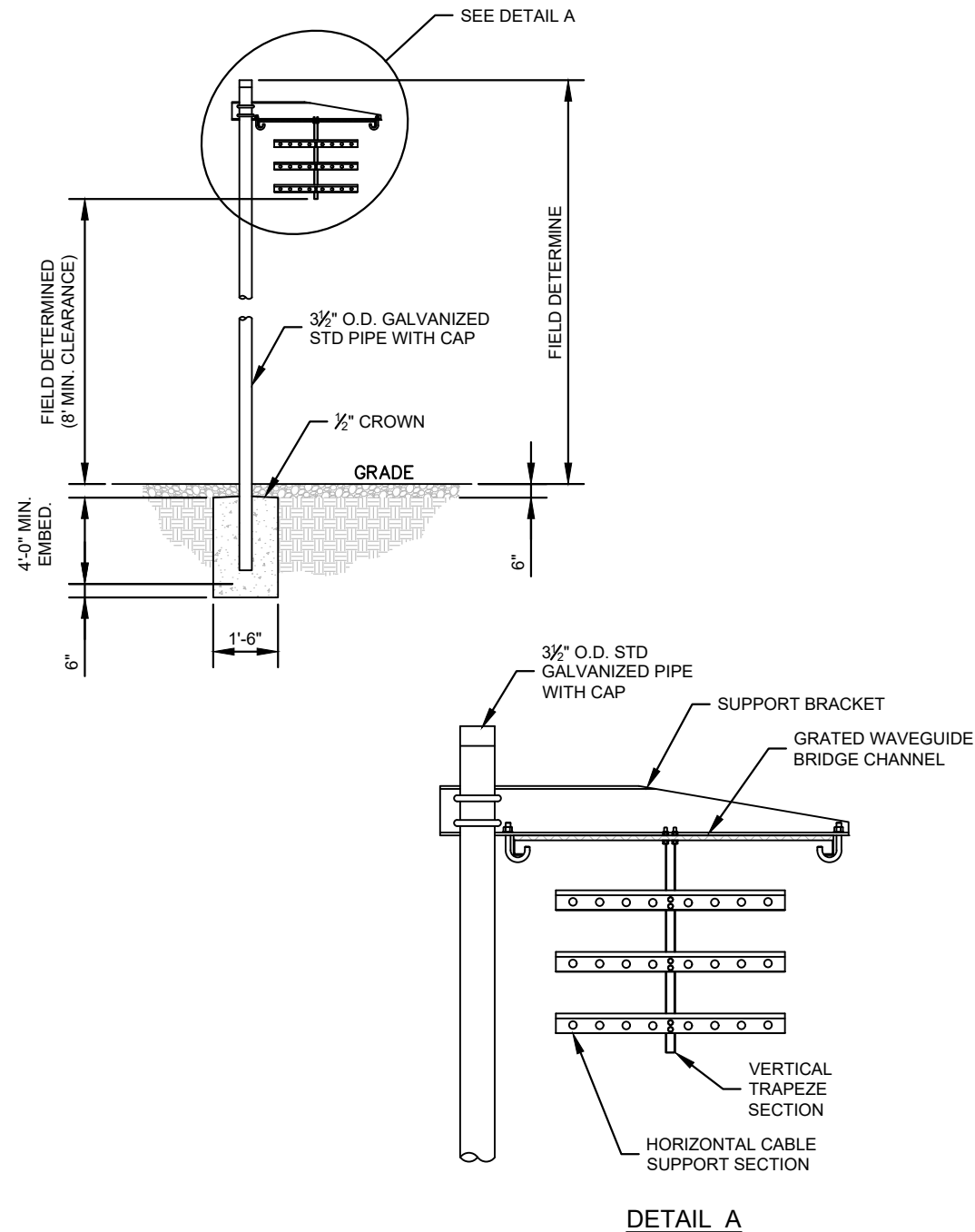
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KHA PROJECT NUMBER: 017619002  
DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE: **SITE SIGN DETAILS**

SHEET NUMBER: **C6**

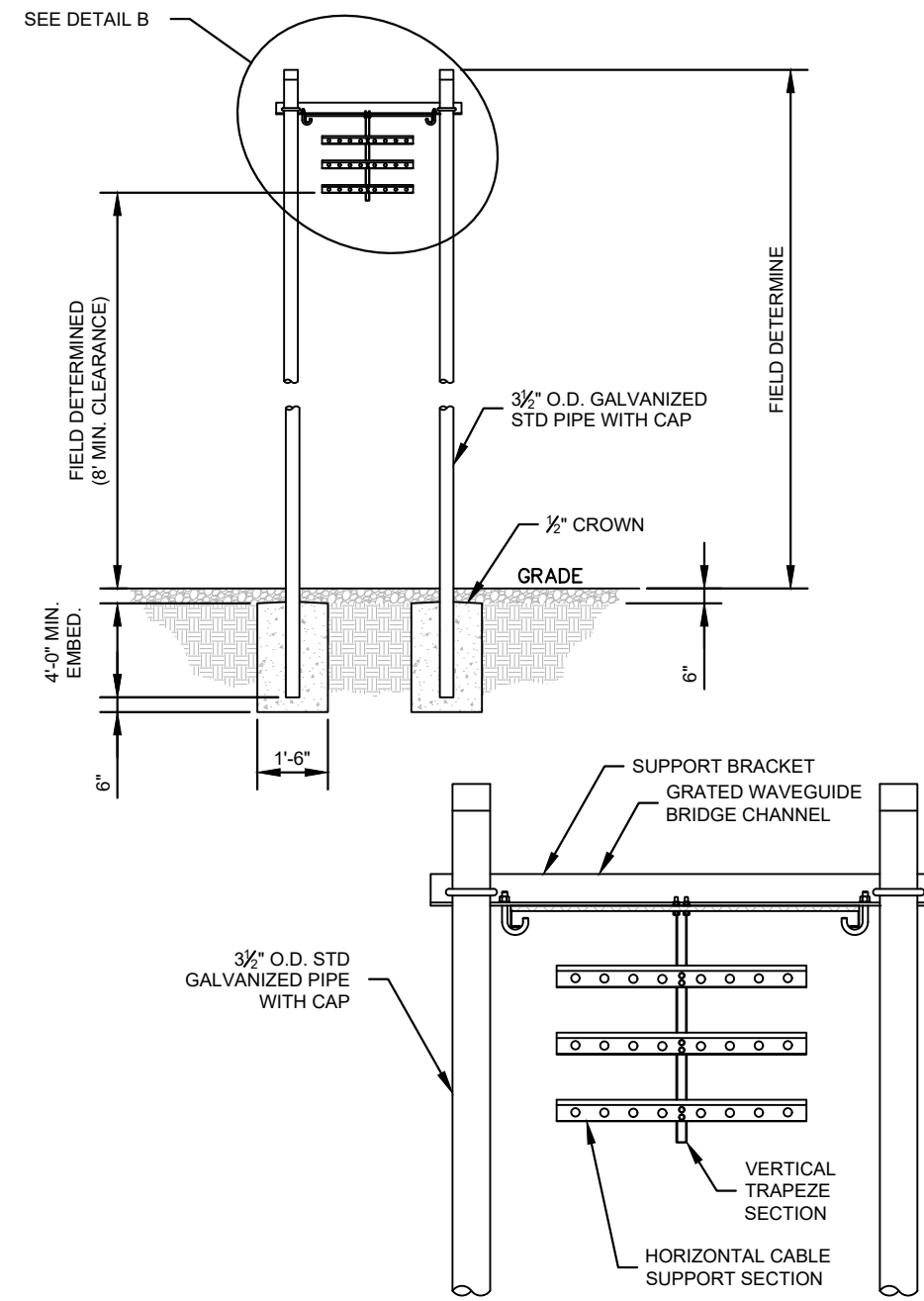
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COMMSCOPE 1 POST WAVEGUIDE BRIDGE KIT (PART #WB-K210-B15, OR APPROVED EQUIVALENT)

**NOTE:**

1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.



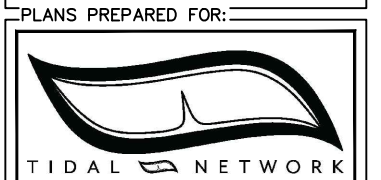
COMMSCOPE 2 POST WAVEGUIDE BRIDGE KIT (PART #WB-K410-B15, OR APPROVED EQUIVALENT)

**NOTE:**

1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

**2** WAVEGUIDE BRIDGE DETAIL WITH ALT DESIGN  
**C7** NOT TO SCALE

PROJECT INFORMATION: **Item a.**  
 SITE NAME: WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
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LICENSER:  
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KHA PROJECT NUMBER: 017619002

DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE:

**WAVEGUIDE BRIDGE DETAILS**

SHEET NUMBER: **C7**

06/11/24 8:20 AM by: trevor.newton  
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**NOTE:**  
CURRENT DESIGN ANTICIPATES APPROXIMATELY 12,384± SQ. FT. (0.28 ACRES) OF CLEARING AND GRADING FOR THE PROPOSED PROJECT. IF ADDITIONAL CLEARING IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR PROJECT MANAGER.

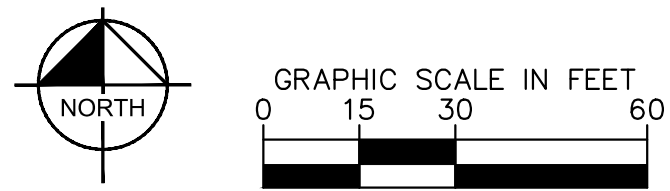
- GRADING NOTES:**
1. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
  2. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
  3. CONTRACTOR SHALL BLEND EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  4. PORTIONS OF THE SITE NOT SPECIFICALLY MENTIONED WITHIN THE GEOTECHNICAL REPORT SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
  5. FILL SHALL BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS.
  6. GROUND WATER SHOULD BE REASONABLY EXPECTED. ANY DE-WATERING OR MOISTURE CONDITIONING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE INCLUDED IN THE CONTRACT PRICE.
  7. SEED ALL DISTURBED AREAS NOT TOPPED WITH GRAVEL.
  8. MAXIMUM CUT SLOPE = 3H:1V UNLESS OTHERWISE NOTED.
  9. MAXIMUM FILL SLOPE = 3H:1V UNLESS OTHERWISE NOTED.

**LEGEND**

EXISTING CONTOURS	---
PROPOSED CONTOURS	—
LOD	— LOD — LOD — LOD — LOD —
SILT FENCE	— SF —
TREE PROTECTION FENCE	— TPF —
PROPOSED SPOT ELEVATION	● (XX.XX)



**1** GRADING AND EROSION CONTROL PLAN  
**C8** SCALE: 1" = 30'



PROJECT INFORMATION: **Item a.**  
 SITE NAME: WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

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LICENSER:

**ZONING**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER: 017619002  
 DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE: GRADING AND EROSION CONTROL PLAN

SHEET NUMBER: C8



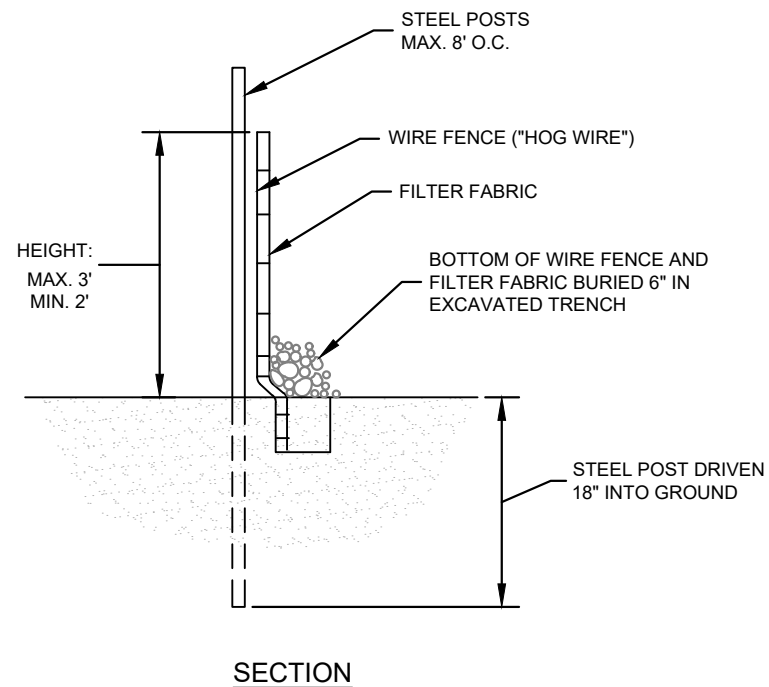
**EROSION CONTROL NOTES:**

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
2. ALL EXCAVATED SOILS NOT NEEDED ON SITE FOR BACKFILL OPERATIONS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AROUND THE ENTIRE CIRCUMFERENCE OF THE PILE.
4. PROVIDE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.

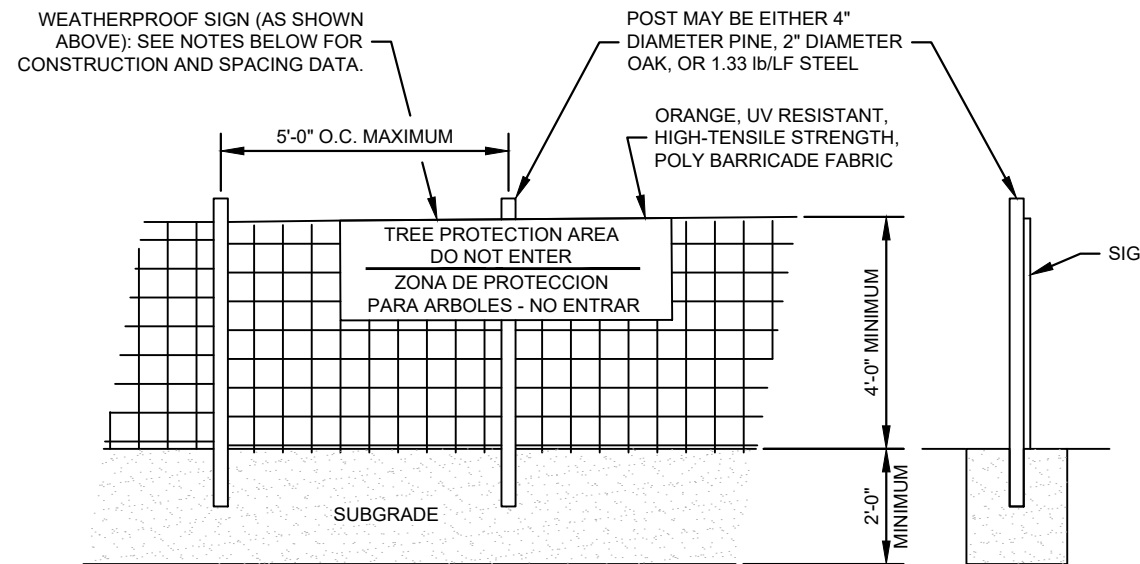
SEEDING SCHEDULE FOR SOUTHEASTERN ALASKA			
SOIL MOISTURE	SOIL GROUP	SPECIES/CULTIVAR SELECTIONS	SEEDING RATE LB./AC.
ALL	ALL	1 NORCOAST BERING HAIRGRASS 1 BOREAL RED FESCUE 2 ARCTARED RED FESCUE 2 NORTRAN TUFTED HAIRGRASS 2 CAIGGLUK TILES Y SAGEBRUSH 3 GRUENING ALPINE BLUEGRASS 3 SOURDOUGH BLUEJOINT GRASS	30
NOTES 1. PT SOILS ARE NOT HIGHLY ERODIBLE. RECOMMEND NO SEEDING, ONLY FERTILIZER APPLICATION. IF SEEDING IS RECOMMEND, USE 2. GW AND GP SOILS ARE NOT HIGHLY ERODIBLE. RECOMMEND FERTILIZER AND SCARFICATION ONLY. IF SEEDING IS RECOMMENDED, 3. IF THE AREA TO BE REVEGETATED IS ADJACENT TO A COASTLINE, CONSIDER USING BEACH WILDRIE TRANSPLANTS.			

SEEDING SCHEDULE FOR SOUTHWESTERN ALASKA			
SOIL MOISTURE	SOIL GROUP	SPECIES/CULTIVAR SELECTIONS	SEEDING RATE LB./AC.
ALL	ALL	1 NORCOAST BERING HAIRGRASS 1 BOREAL RED FESCUE 2 ARCTARED RED FESCUE 2 NORTRAN TUFTED HAIRGRASS 2 CAIGGLUK TILES Y SAGEBRUSH 3 SOURDOUGH BLUEJOINT GRASS 3 PENNLAWN RED FESCUE	40
NOTES 1. PT SOILS ARE NOT HIGHLY ERODIBLE. RECOMMEND NO SEEDING, ONLY FERTILIZER APPLICATION. IF SEEDING IS RECOMMEND, USE 2. GW AND GP SOILS ARE NOT HIGHLY ERODIBLE. RECOMMEND FERTILIZER AND SCARFICATION ONLY. IF SEEDING IS RECOMMENDED, 3. IF THE AREA TO BE REVEGETATED IS ADJACENT TO A COASTLINE, CONSIDER USING BEACH WILDRIE TRANSPLANTS.			

**1 SEEDING SCHEDULES**  
C9



**2 SILT FENCE DETAIL**  
C9 NOT TO SCALE



NOTES  
INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR SITE INSPECTION. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

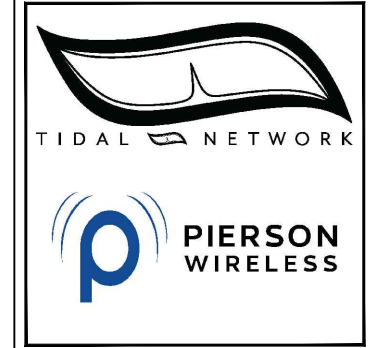
**3 TREE PROTECTION FENCE DETAIL**  
C9 NOT TO SCALE

PROJECT INFORMATION: **Item a.**

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



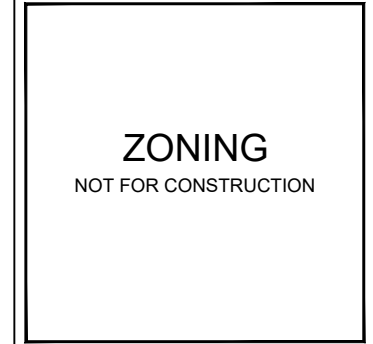
PLANS PREPARED BY:



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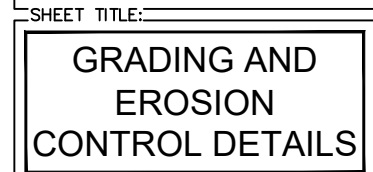
KHA PROJECT NUMBER:

017619002

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JW TRN

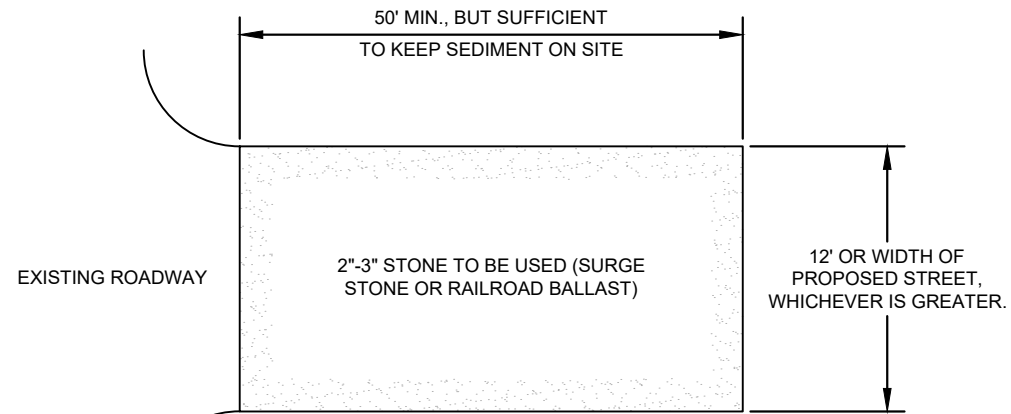
SHEET TITLE:



SHEET NUMBER:

C9

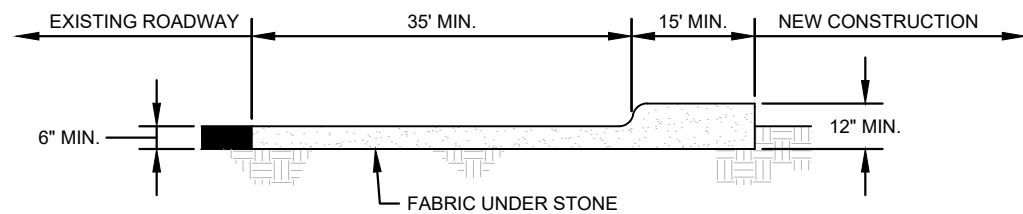
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**PLAN**

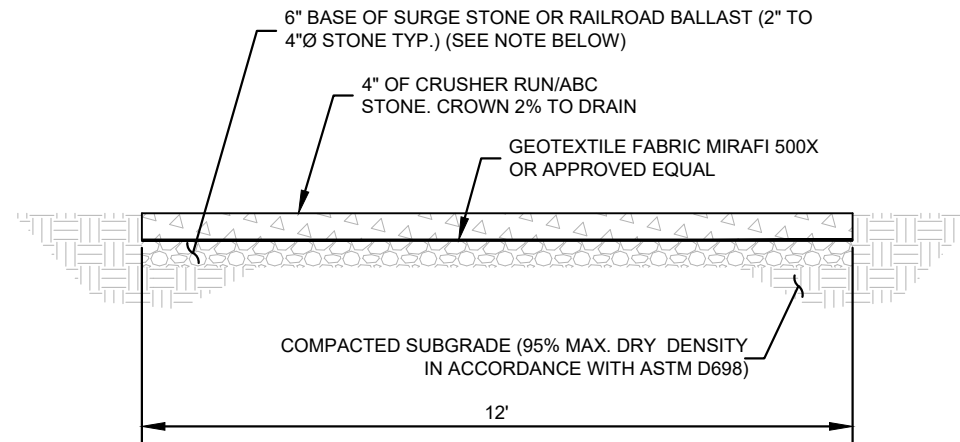
**NOTES:**

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



**CROSS SECTION**

1 CONSTRUCTION ENTRANCE  
C10 NOT TO SCALE



**NOTE:**  
 IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE VERIZON WIRELESS PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4"Ø STONE TYP.)

1 STANDARD ACCESS ROAD AND TURN-AROUND DETAIL  
C10 NOT TO SCALE

PROJECT INFORMATION: Item a.

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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A	04/18/24	80% DESIGN	TRN

LICENSER:

**ZONING**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619002

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

JW

TRN

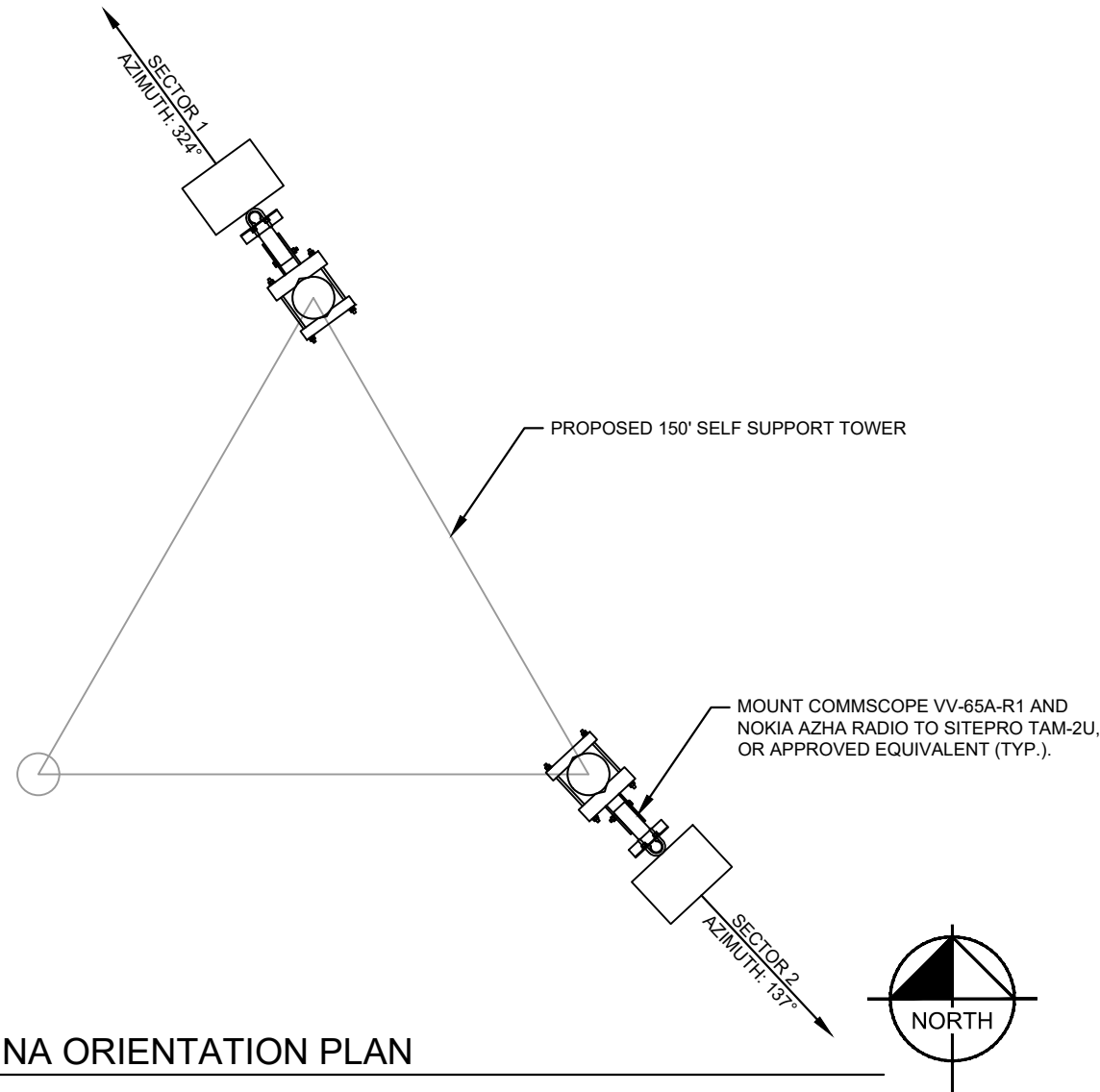
SHEET TITLE:

**ACCESS ROAD  
 DETAILS**

SHEET NUMBER:

C10

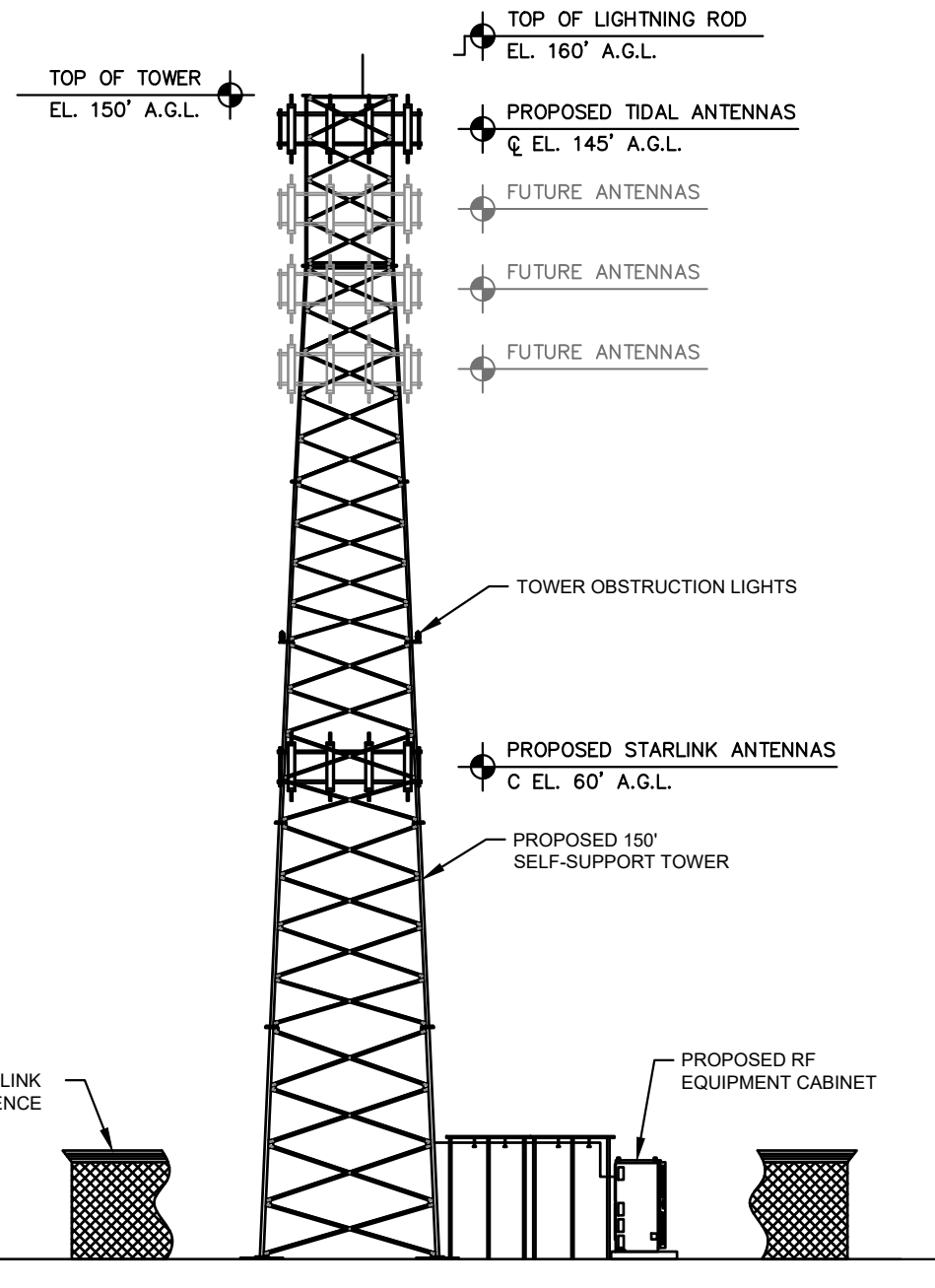
less\Piercion Wireless\Tidal Network\Wrangell Zone 2\CAD\CD\SEAK\_RAWLAND\_CD.dwg 06/11/24 8:20 AM by: trevor.newton



**1** ANTENNA ORIENTATION PLAN  
C11 NOT TO SCALE

**NOTES:**

1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE OWNER/CARRIER CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.
2. REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.
3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.



**2** SELF-SUPPORT TOWER ELEVATION  
C11 NOT TO SCALE

**NOTES:**

1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET G1).
2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
3. COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
4. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.

PROJECT INFORMATION: *Item a.*  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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LICENSER:

**ZONING**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER: \_\_\_\_\_  
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 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 JW TRN

SHEET TITLE:  
**ANTENNA AND TOWER ELEVATION DETAILS**

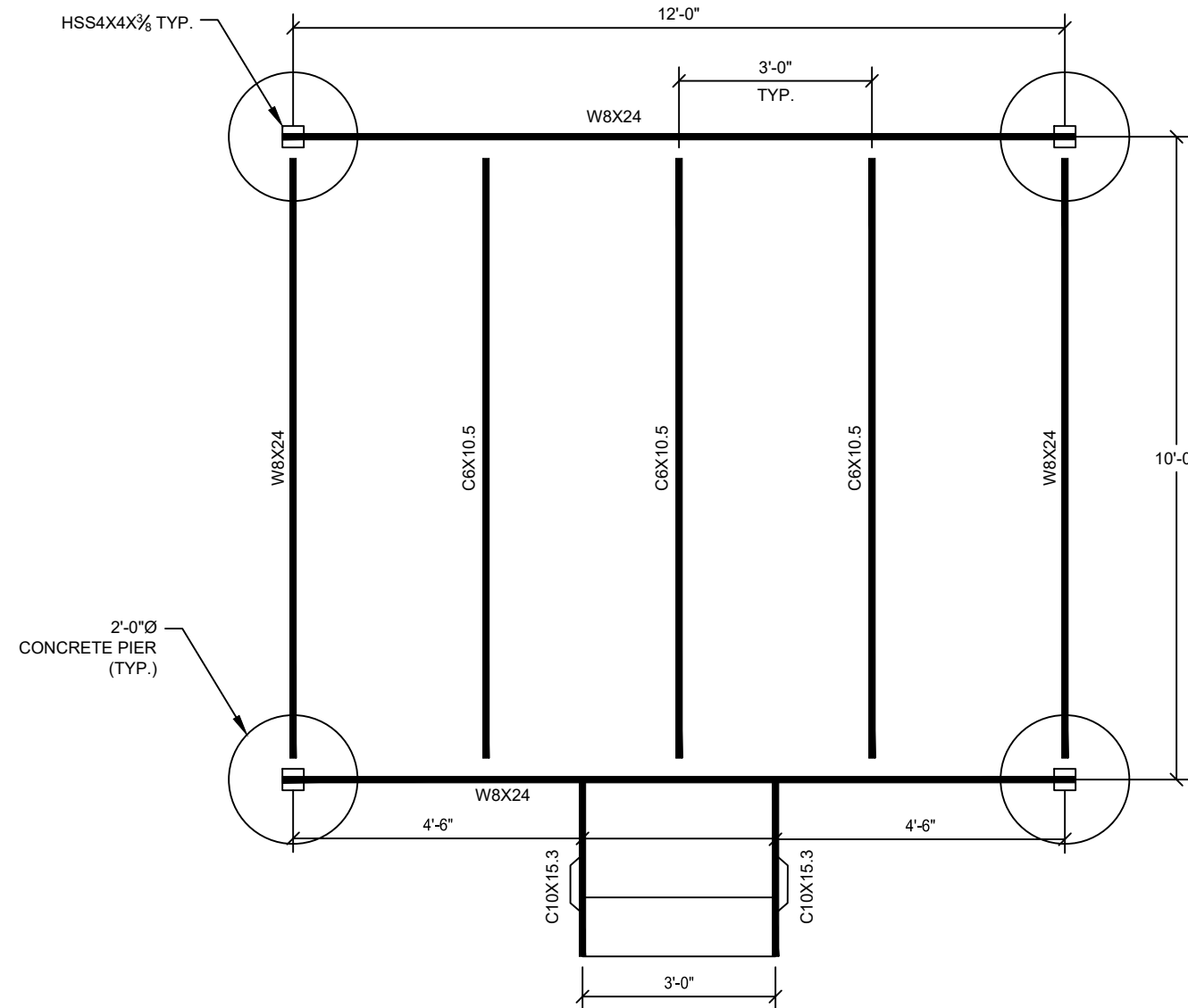
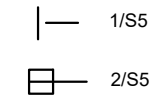
SHEET NUMBER:  
**C11**

...less\Pierson\_Wireless\Tidal\_Network\Wrangell\_Zone\_2\CAD\CDD\SEAK\_RAWLAND\_CD.dwg ----- 06/11/24 8:20 AM by: trevor.newton

**NOTES:**

1. DIMENSIONS TO CHANNEL MEMBERS ARE TO BACK OF CHANNEL. ALL OTHER DIMENSIONS ARE TO THE  $\text{C}$  OF MEMBERS UNLESS NOTED OTHERWISE.
2. SEE DETAIL 1/S6 FOR TYPICAL BEAM-BEAM CONNECTIONS.
3. ALL HANDRAIL CONNECTIONS SHALL BE BRACED SUCH THAT THEY ARE CONTINUOUS.
4. CONTRACTOR MAY USE W8X18 ALONG 4'-4" SECTION.

**BEAM CONNECTION KEY**



**1** PLATFORM FRAMING PLAN  
**S1** SCALE: 3/8" = 1'-0"

**PROJECT INFORMATION:** *Item a.*

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

**PLANS PREPARED FOR:**



**PLANS PREPARED BY:**



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
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**KHA PROJECT NUMBER:**

017619002

**DRAWN BY: CHECKED BY:**

JW TRN

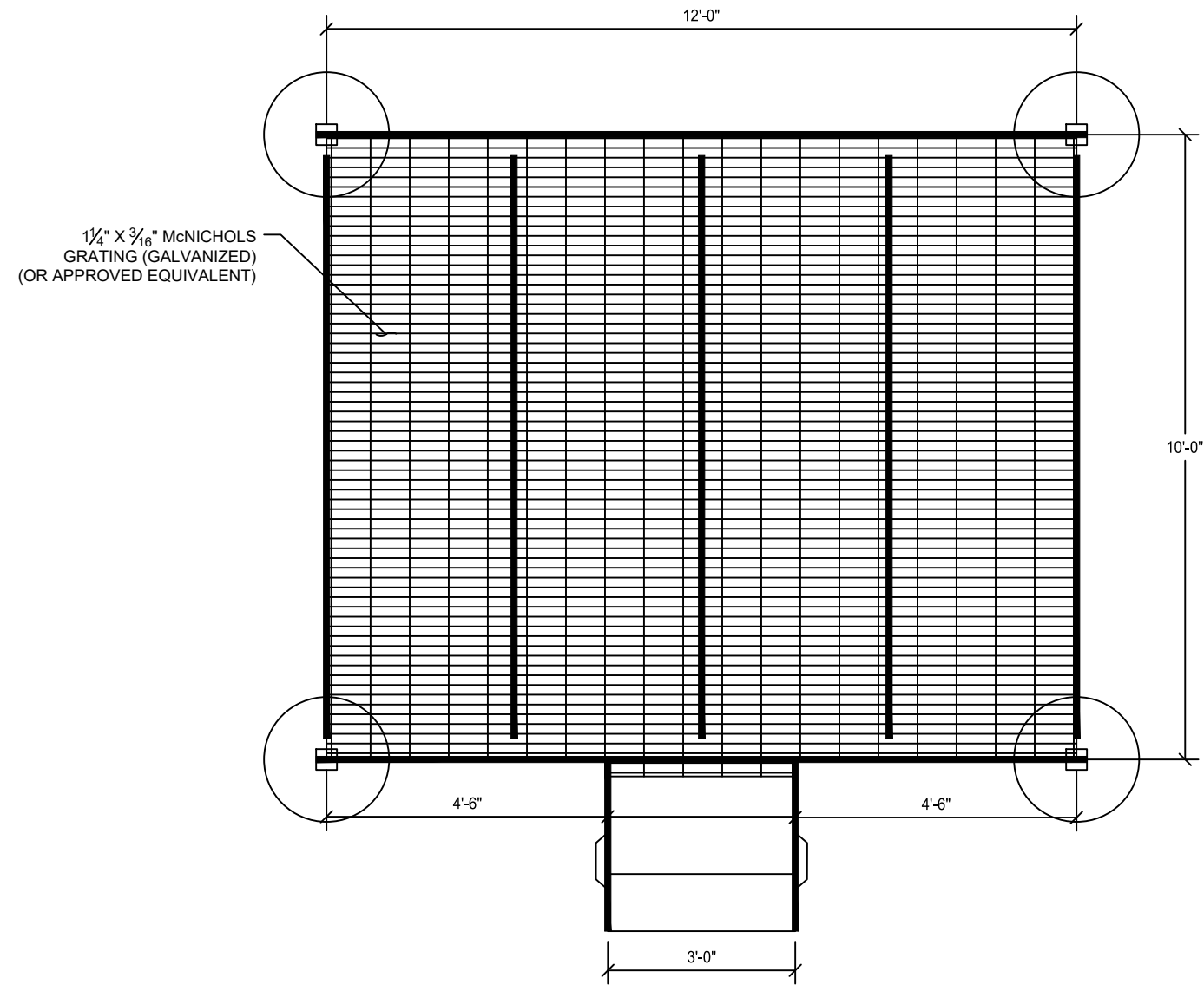
**SHEET TITLE:**

**EQUIPMENT  
PLATFORM  
FRAMING PLAN**

**SHEET NUMBER:**

S1

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**1** PLATFORM GRATING PLAN  
**S1.1** SCALE: 3/8" = 1'-0"

PROJECT INFORMATION: *Item a.*

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

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NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

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DRAWN BY: CHECKED BY:

JW TRN

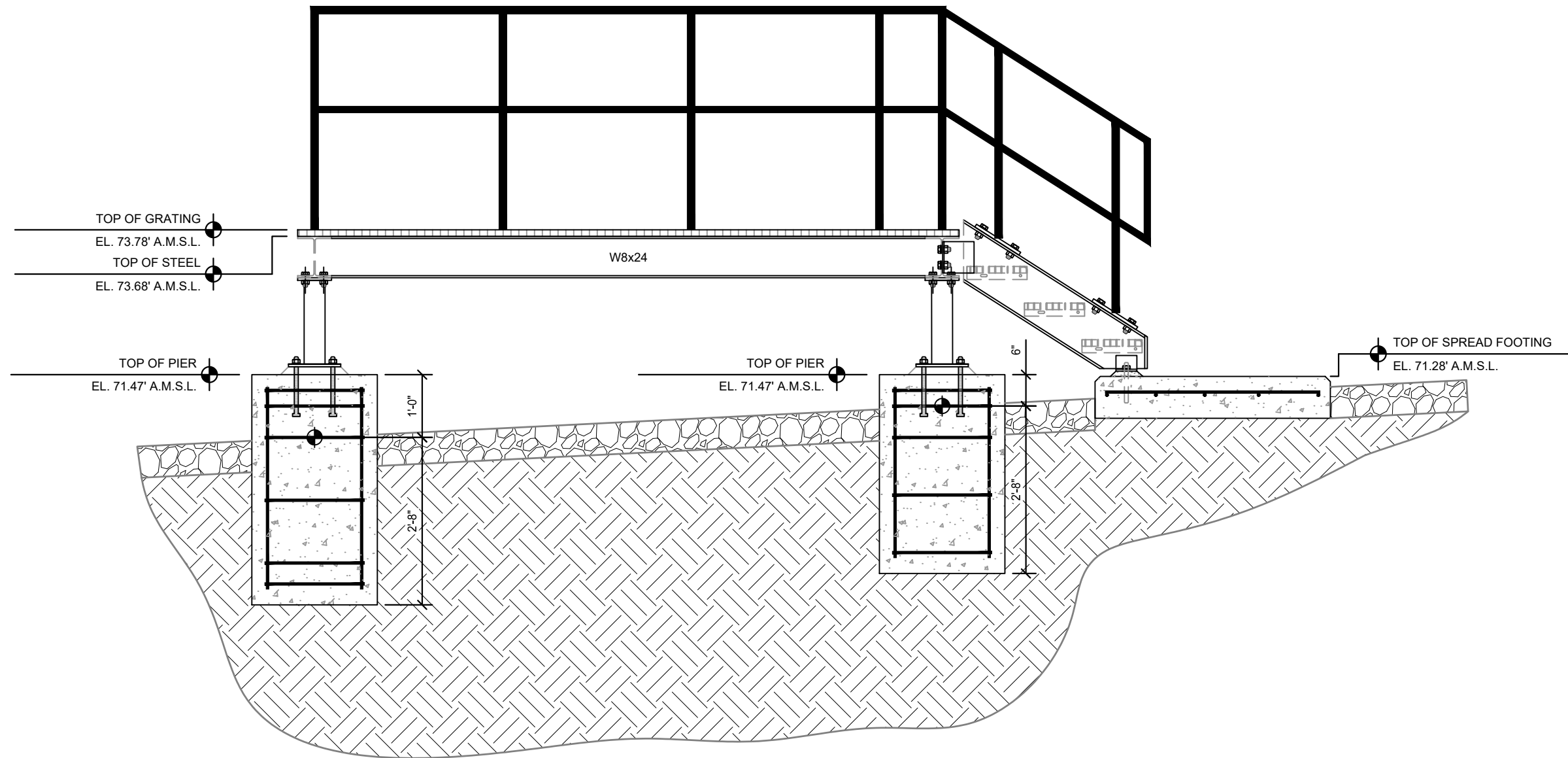
SHEET TITLE:

**EQUIPMENT  
PLATFORM  
GRATING PLAN**

SHEET NUMBER:

**S1.1**



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**1** PLATFORM ELEVATION - SIDE VIEW  
**S2** SCALE: 1/2" = 1'-0"

PROJECT INFORMATION: Item a.  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
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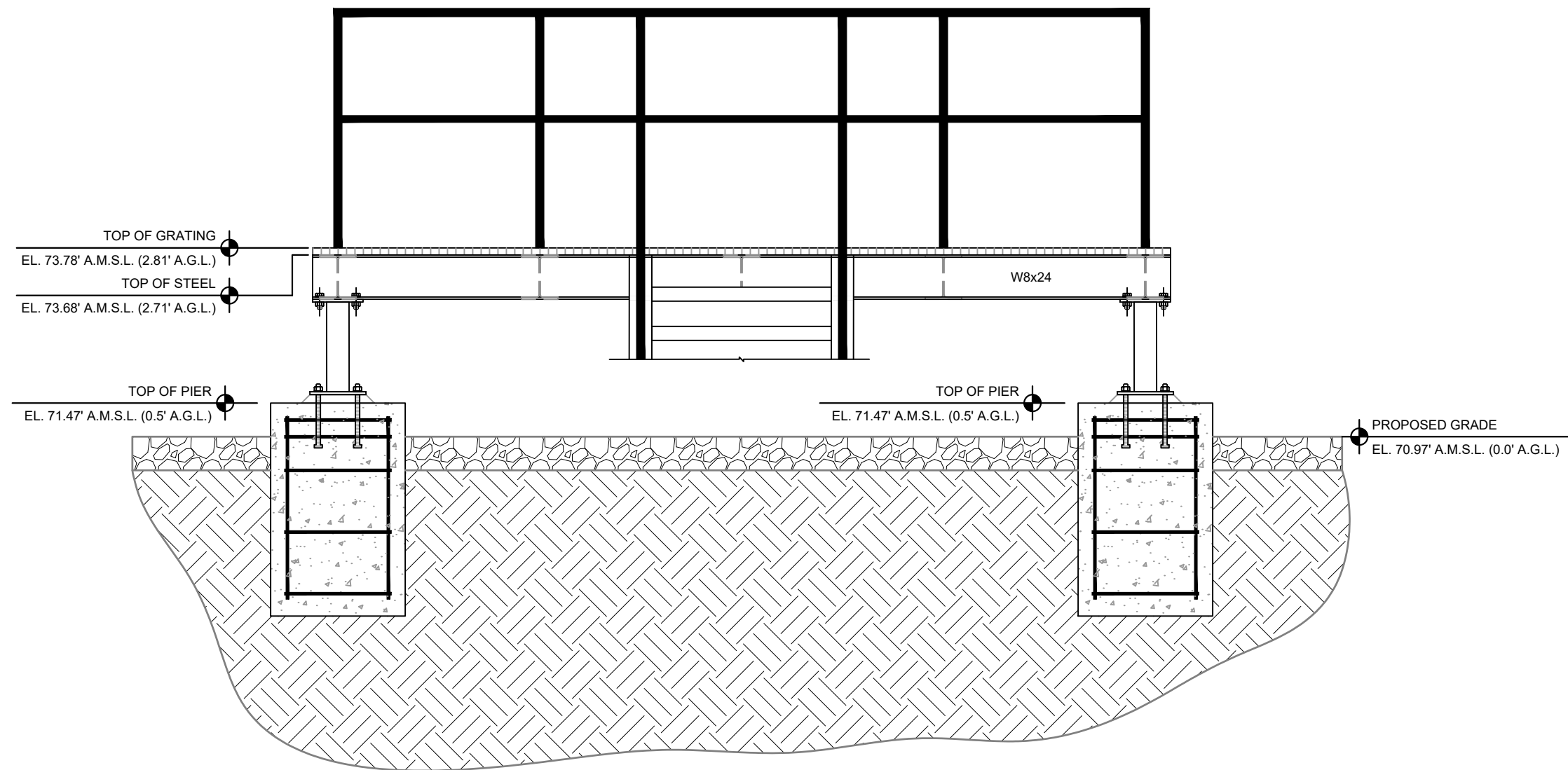
KHA PROJECT NUMBER: 017619002

DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE: PLATFORM ELEVATIONS

SHEET NUMBER: S2

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**1** PLATFORM ELEVATION - FRONT VIEW  
**S2** SCALE: 1/2" = 1'-0"

PROJECT INFORMATION: Item a.

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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KHA PROJECT NUMBER:

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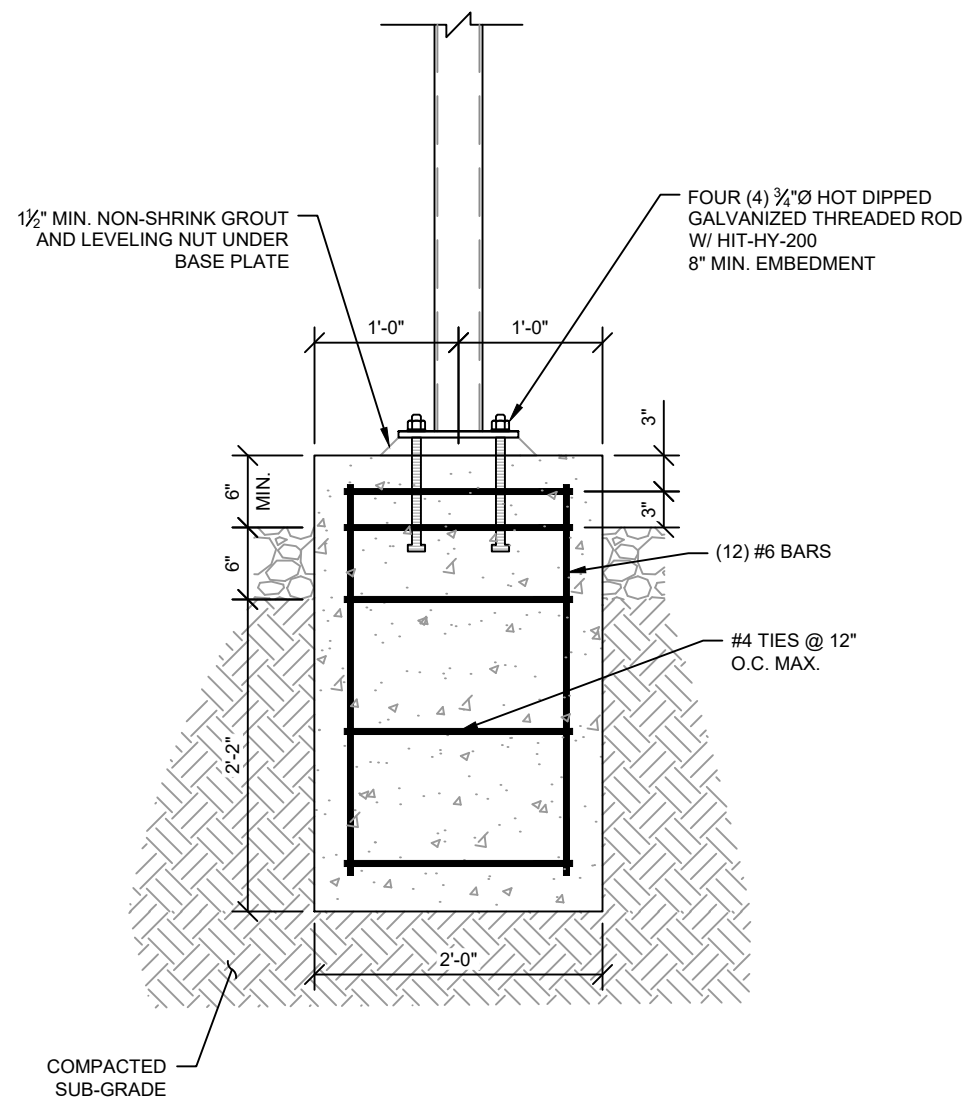
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**PLATFORM**  
**ELEVATIONS**

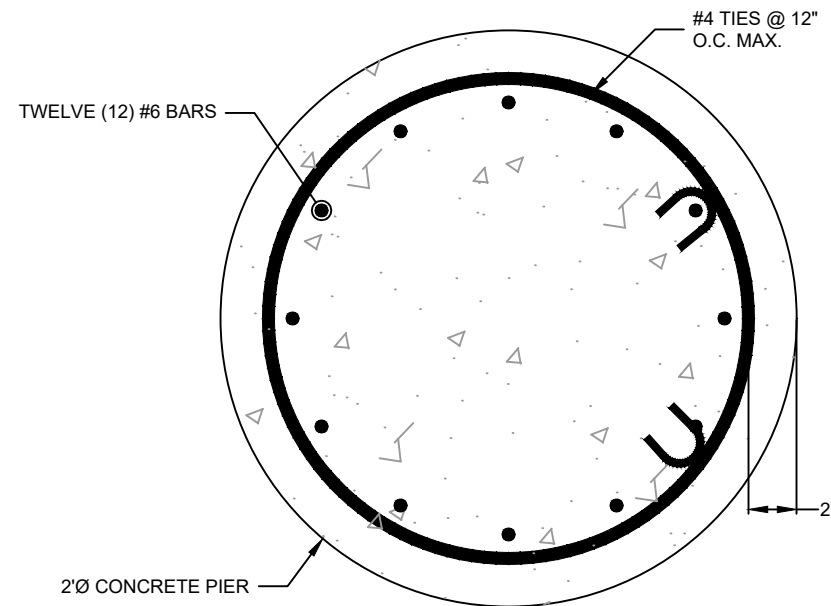
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S2.1

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**1**  
**S3** COLUMN TO PIER CONNECTION  
 SCALE: 3/4" = 1'-0"



**2**  
**S3** CONCRETE PIER REINFORCEMENT  
 SCALE: 1-1/2" = 1'-0"

PROJECT INFORMATION:

Item a.

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
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KHA PROJECT NUMBER:

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DRAWN BY: CHECKED BY:

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TRN

SHEET TITLE:

**STRUCTURAL**  
**DETAILS**

SHEET NUMBER:


S3



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PROJECT INFORMATION: Item a.  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
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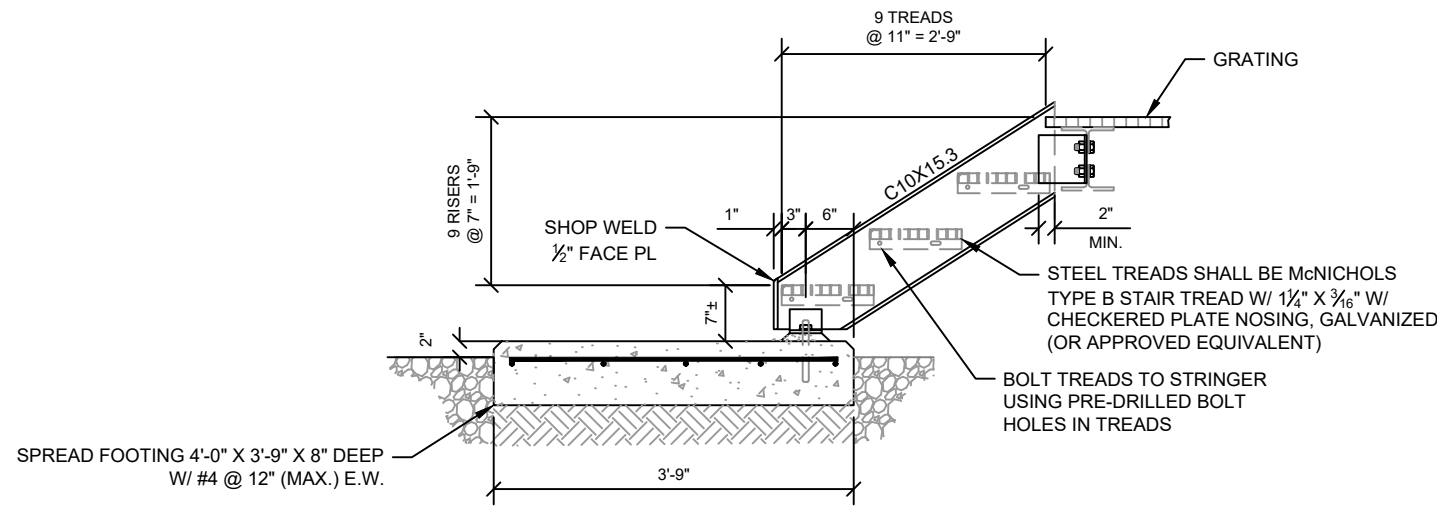
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KHA PROJECT NUMBER: 017619002

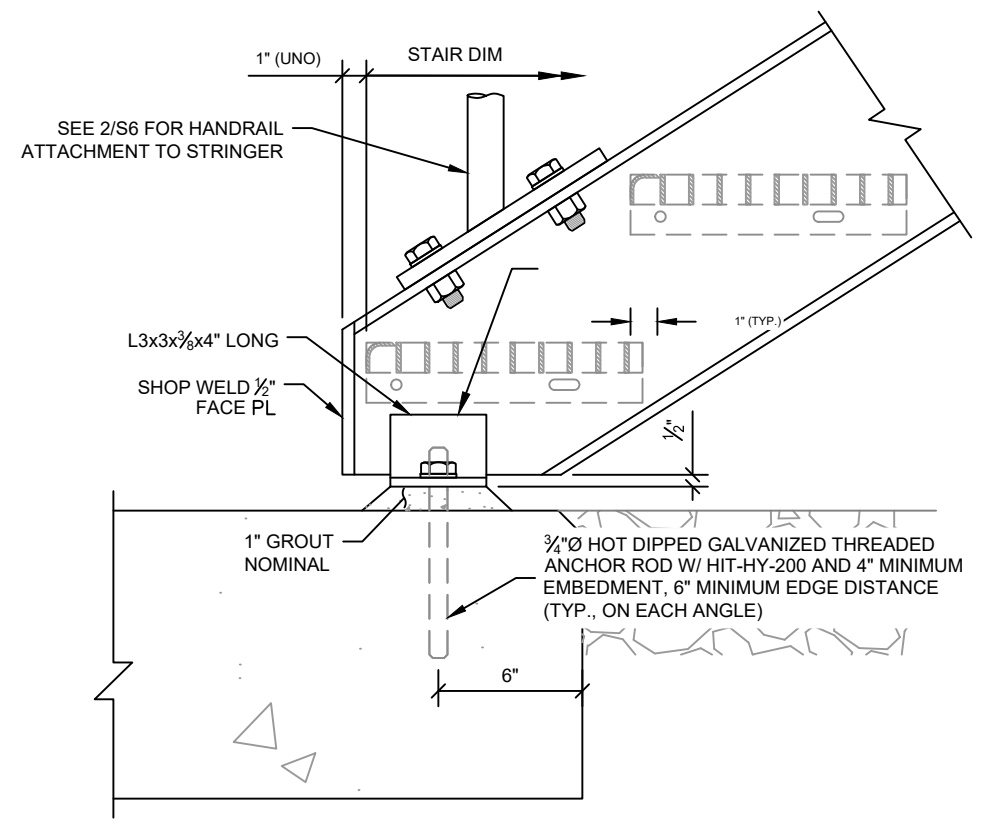
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SHEET TITLE: STRUCTURAL DETAILS

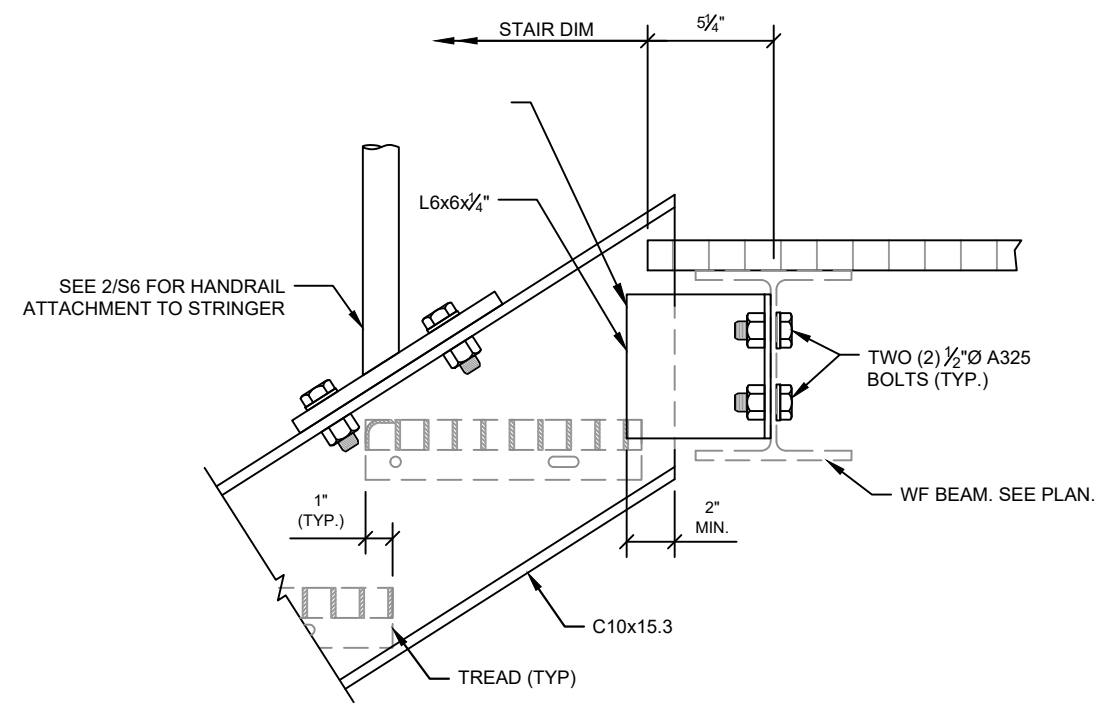
SHEET NUMBER: S4



1 STAIR DETAIL - SIDE VIEW  
S4 SCALE: 1/2" = 1'-0"

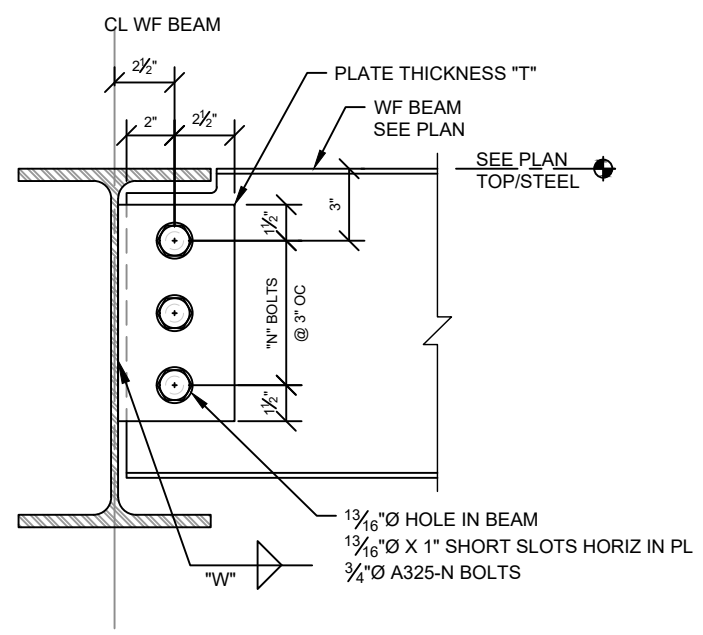


2 STAIR TO CONCRETE PAD CONNECTION DETAIL  
S4 SCALE: 1-1/2" = 1'-0"



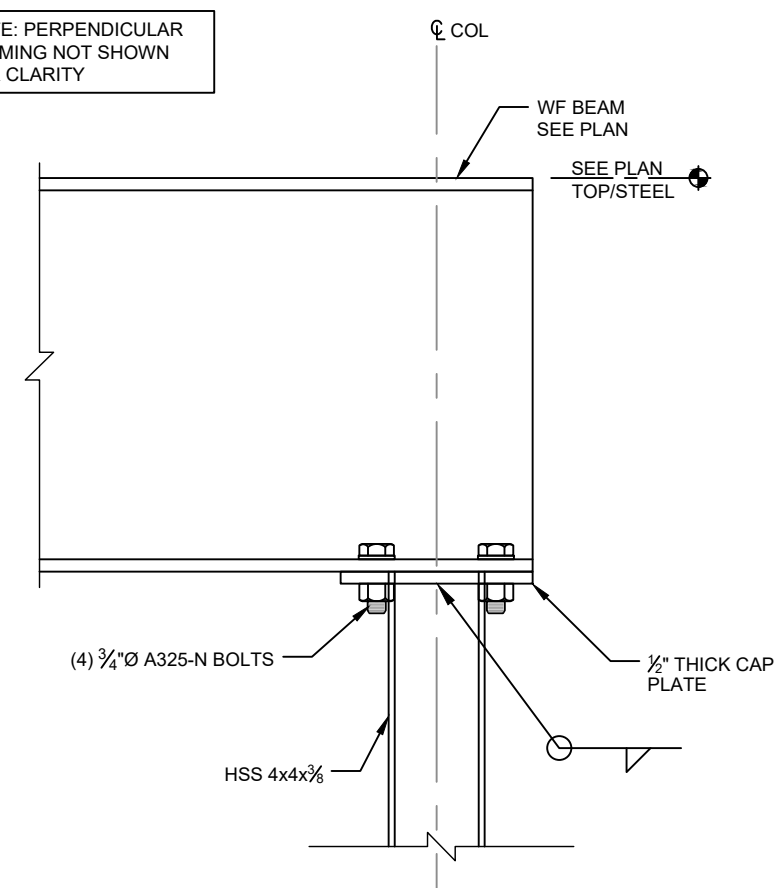
3 STAIR TO PLATFORM CONNECTION DETAIL  
S4 SCALE: 1-1/2" = 1'-0"

CONNECTION SCHEDULE			
BEAM SIZE	"N" NO. OF 3/4"Ø BOLTS	"T" PLATE THICKNESS	"W" WELD SIZE
W8	2	1/4"	3/16"
W10	2	1/4"	3/16"

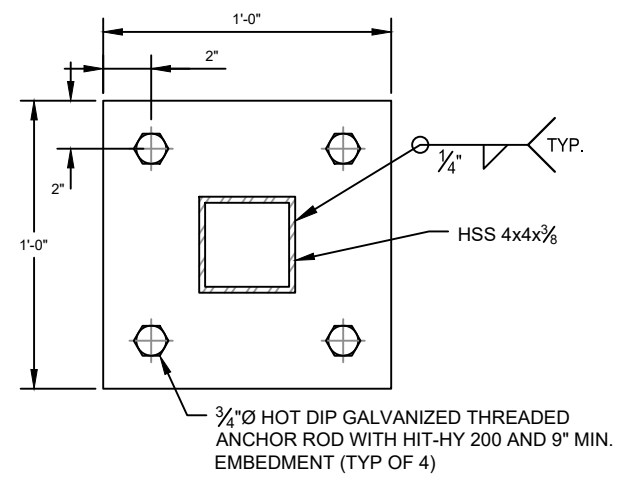


**1** BEAM TO BEAM CONNECTION DETAIL  
**S5** SCALE: 1-1/2" = 1'-0"

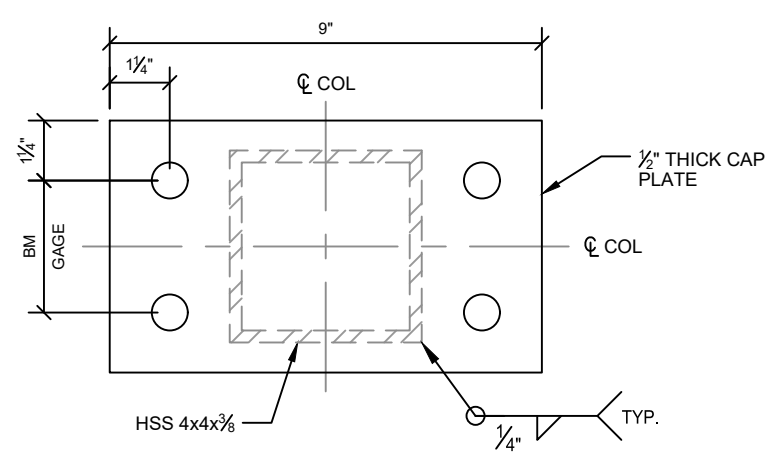
NOTE: PERPENDICULAR FRAMING NOT SHOWN FOR CLARITY



**2** BEAM OVER EXTERIOR COLUMN CONNECTION DETAIL  
**S5** SCALE: 1-1/2" = 1'-0"



**3** BASE PLATE DETAIL  
**S5** SCALE: 1-1/2" = 1'-0"



**4** CAP PLATE DETAIL  
**S5** SCALE: 3" = 1'-0"

PROJECT INFORMATION: **Item a.**  
 SITE NAME: WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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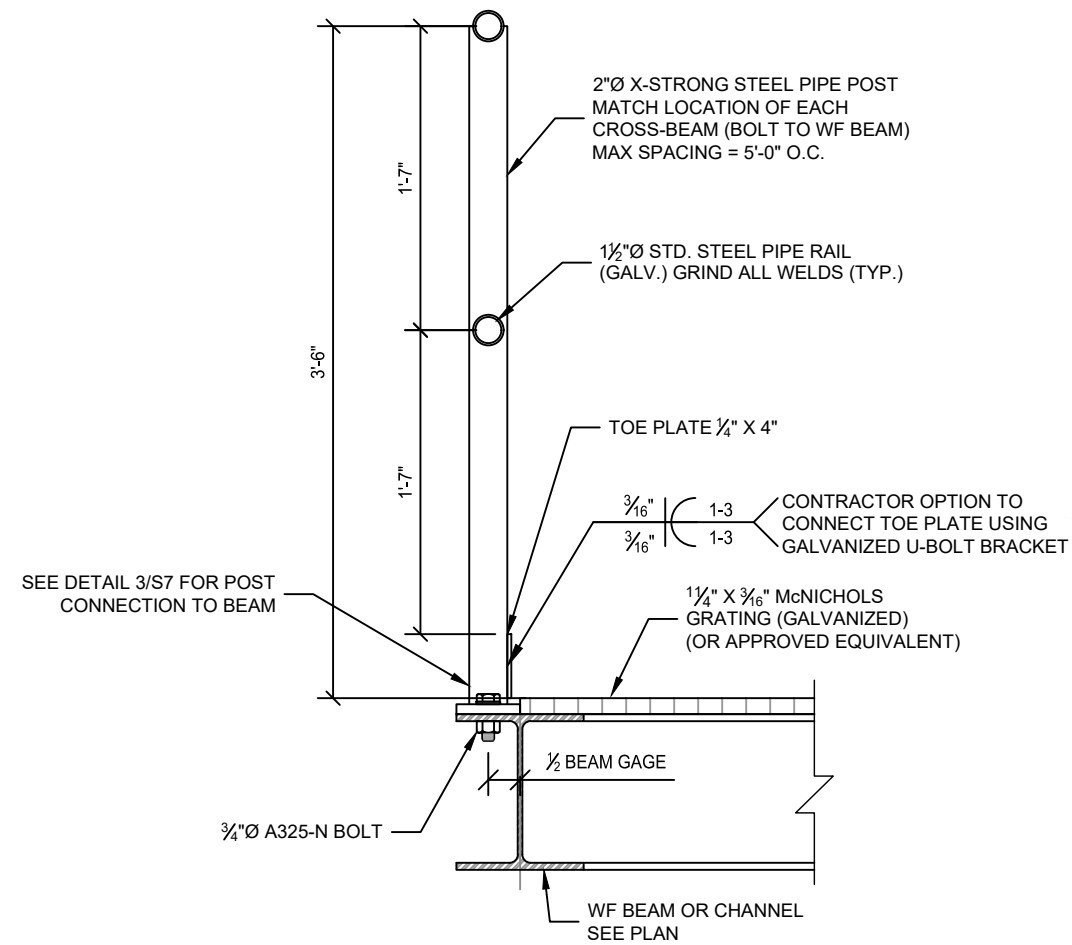
KHA PROJECT NUMBER: 017619002  
 DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE: **STRUCTURAL DETAILS**

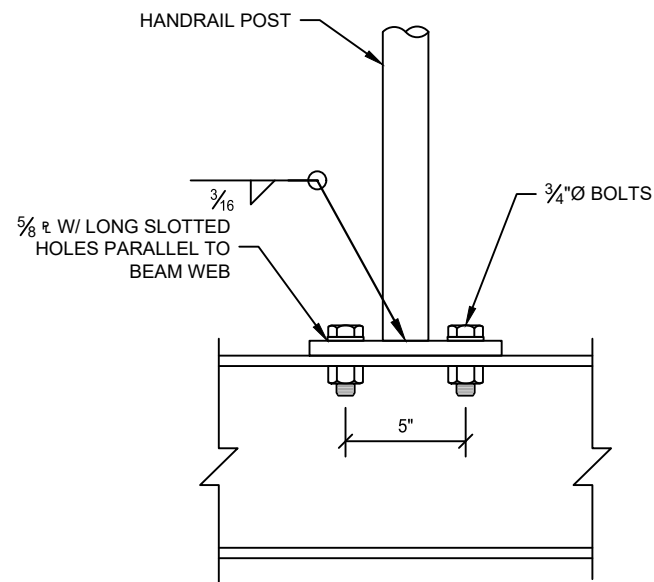
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06/11/24 8:20 AM by: trevor.newton  
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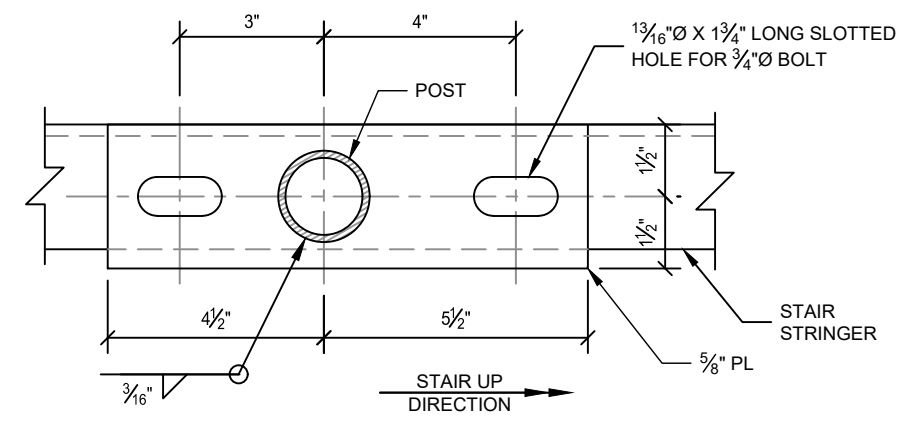
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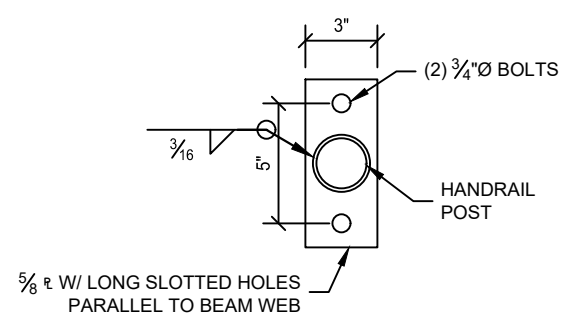
**1**  
**S6** HANDRAIL ON BEAM DETAIL  
 SCALE: 1" = 1'-0"



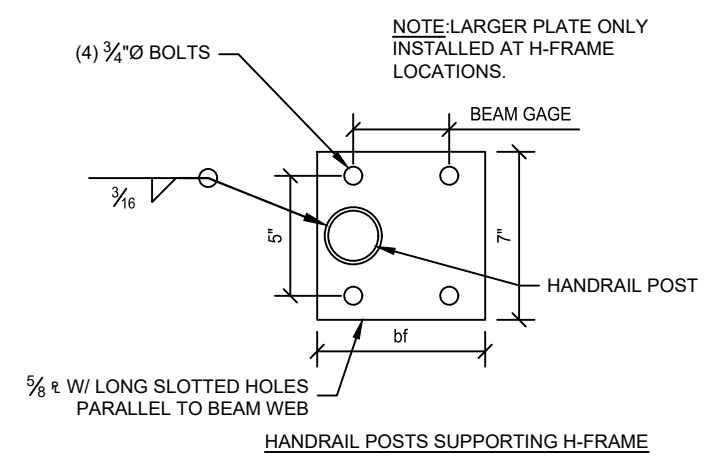
**3**  
**S6** HANDRAIL ON BEAM DETAIL  
 SCALE: 1-1/2" = 1'-0"



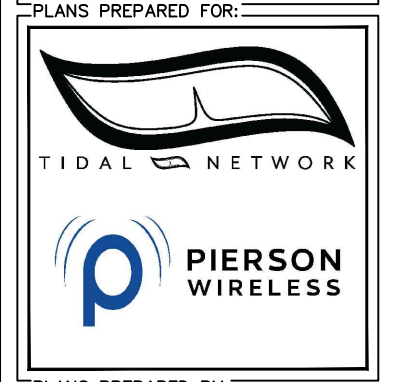
**2**  
**S6** HANDRAIL ON STRINGER DETAIL  
 SCALE: 3" = 1'-0"



**4**  
**S6** HANDRAIL TO BEAM CONNECTION DETAIL  
 SCALE: 1-1/2" = 1'-0"



PROJECT INFORMATION: **Item a.**  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY



PLANS PREPARED BY:  
**Kimley-Horn**  
 11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

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LICENSER:  
**ZONING**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:  
 017619002  
 DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE:  
**STRUCTURAL  
 DETAILS**

SHEET NUMBER:  
**S6**

# ELECTRICAL NOTES

## 1.00 CODES, STANDARDS, & SPECIFICATIONS

- 1.01 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL MATERIALS AND LABOR RELATED DIRECTLY OR INDIRECTLY TO ALL ELECTRICAL WORK DOCUMENTED IN THESE DRAWINGS SHALL BE PROVIDED AND PERFORMED IN CONFORMANCE WITH ALL CURRENT GOVERNING CODES, STANDARDS, AND PROFESSIONAL STANDARD OF CARE TO INCLUDE THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), UNDERWRITERS LABORATORY (UL), NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA), AMERICAN STANDARDS ASSOCIATION (ASA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND THE NATIONAL ELECTRICAL CODE (NEC).
- 1.02 MATERIALS SHALL BE NEW AND SHALL CONFORM TO ALL APPLICABLE CURRENT GOVERNING STANDARDS ESTABLISHED FOR EACH ITEM BY ASTM, UL, NEMA, ASA, AND NFPA.
- 1.03 ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY, AND MUNICIPAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT GOVERNING STANDARDS AND PRACTICES AS REQUIRED BY NEC, NEMA, ANSI, NFPA, UBC, UL, IEEE, AND THE LOCAL UTILITY COMPANY.
- 1.04 ALL ELECTRICAL GROUNDING SHALL COMPLY WITH THE CURRENT EDITION OF THE NEC.
- 1.05 CONTRACTOR SHALL MAINTAIN UL LISTED FIRE RATINGS AT ALL WALL PENETRATIONS.
- 1.06 CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF 36" IN FRONT OF ALL ELECTRICAL EQUIPMENT AS REQUIRED BY NEC. MINIMUM CLEARANCE SHALL BE OBSERVED FOR BOTH THE FRONT AND THE REAR OF THE METER H-FRAME RACK AND THE EQUIPMENT H-FRAME RACK.

## 2.00 GENERAL

- 2.01 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND ASSOCIATED FEES RELATED TO THE PROJECT AND SHALL DELIVER A COPY OF ALL PERMITS TO THE VERIZON REPRESENTATIVE.
- 2.02 CONTRACTOR SHALL SCHEDULE AND SHOULD ATTEND ALL INSPECTIONS REQUIRED BY THE JURISDICTION HAVING AUTHORITY.
- 2.03 CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC., FOR A COMPLETE WORKING ELECTRICAL INSTALLATION.
- 2.04 ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- 2.05 CONTRACTOR SHALL PROTECT ADJACENT EQUIPMENT AND FINISHES FROM DAMAGE AND SHALL REPAIR TO ORIGINAL CONDITION ANY ITEMS DAMAGED AS A RESULT OF THE WORK.
- 2.06 CONTRACTOR SHALL REPAIR ANY LANDSCAPING DISTURBED DURING CONSTRUCTION.
- 2.07 IF CONDUIT RUNS HAVE MORE THAN THREE (3) CONSECUTIVE 90 DEGREE TURNS, THE CONTRACTOR SHALL INSTALL PULL BOXES AS REQUIRED BY NEC.
- 2.08 CONTRACTOR SHALL INDICATE THE LOCATION OF ALL CAPPED UNDERGROUND SPARE CONDUIT ON THE RECORD DRAWINGS SUBMITTED TO THE OWNER.
- 2.09 CONTRACTOR SHALL COORDINATE EXACT ROUTING OF CONDUIT WITH OWNER. ALL CONDUIT SHALL BE ROUTED WITHIN 3 FEET, EITHER SIDE, OF PERIMETER FENCING.

## 3.00 MATERIALS

- 3.01 ALL EQUIPMENT AND MATERIALS SHOWN SHALL BE CONSIDERED NEW UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- 3.02 FINAL CONNECTIONS OF EQUIPMENT SHALL BE PER MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS, AND INSTRUCTIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT SUPPLIED BY VERIZON.
- 3.03 CONTRACTOR SHALL PROVIDE AN UPDATED PANELBOARD DIRECTORY FOR THE PANEL FROM WHICH THE NEW VERIZON EQUIPMENT CIRCUIT WILL BE CONNECTED. CONTRACTOR SHALL SUBMIT UPDATED DIRECTORY IN A PLASTIC COVER TO THE BUILDING OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 3.04 CONTRACTOR SHALL FIELD DETERMINE ACTUAL CONDUIT ROUTING AND SHALL OBTAIN APPROVAL FROM THE TOWER OWNER OF THE PROPOSED ROUTING PRIOR TO CONDUIT INSTALLATION.
- 3.05 ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION AND ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES CELSIUS.
- 3.06 ALL NEUTRAL CONDUCTORS SHALL HAVE WHITE INSULATION. ALL GROUND CONDUCTORS SHALL HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT PERMITTED.
- 3.07 CONTRACTOR SHALL SEAL ALL CONDUITS ENTERING AN ENCLOSURE WITH CONDUIT SEALANT THAT IS COMPATIBLE WITH THE INSULATION OF THE CONDUCTORS IN THE CONDUIT.
- 3.08 CONDUIT RUNS SHALL HAVE A CONTINUOUS DOWNWARD SLOPE AWAY FROM ALL EQUIPMENT TO PREVENT WATER INFILTRATION.
- 3.09 ALL CONDUIT SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE ON THE PLANS. WHEN CONDUIT IS ROUTED UNDER A ROADWAY, SCHEDULE 80 PVC CONDUIT SHALL BE UTILIZED. MANUFACTURED BEND RADII SHALL BE PER NEC.
- 3.10 CONTRACTOR SHALL PROVIDE TWO (2) 200 POUND TEST POLYETHYLENE PULL CORDS IN ALL CONDUITS AND ALL INNERDUCTS. PULL CORDS SHALL BE SECURED AT EACH END OF CONDUIT RUNS. ALL SPARE CONDUIT ENDS SHALL BE CAPPED WITH MANUFACTURED PVC FITTINGS.
- 3.11 CONTRACTOR SHALL BOND EACH METALLIC CONDUIT ENTERING A METALLIC ENCLOSURE WITH A #8 MIN AWG INSULATED COPPER BONDING JUMPER PER NEC. CONTRACTOR SHALL BOND ALL ELECTRICAL EQUIPMENT TO THE H-FRAME RACK ON WHICH EQUIPMENT IS MOUNTED WITH #8 MIN AWG INSULATED COPPER BONDING JUMPERS PER NEC.
- 3.12 CONTRACTOR SHALL IDENTIFY THE END OF ALL SPARE UNDERGROUND CONDUITS AND PROVIDE AND INSTALL 90 DEGREE ELBOWS WITH VERTICAL CONDUIT EXTENSIONS TO EXTEND 3" ABOVE FINISHED CRUSHED AGGREGATE GRADE. CONTRACTOR SHALL TERMINATE CONDUITS WITH MANUFACTURED CONDUIT CAPS THAT THE CONTRACTOR HAS PAINTED ORANGE.
- 3.13 CONTRACTOR SHALL PROVIDE AND INSTALL AN ENGRAVED PHENOLIC PLATE ON THE FRONT OF THE INTEGRATED LOAD CENTER. THE WORDING ON THE PLATE SHALL READ AS FOLLOWS: "MAXIMUM DRAW OF ALL RECTIFIERS AND EQUIPMENT ON THE LOAD CENTER CANNOT EXCEED 30kW. IF ADDITIONAL POWER IS REQUIRED, THE EXISTING 30kW GENERATOR MUST BE REPLACED."

## 4.00 PRE-CONSTRUCTION COORDINATION

- 4.01 CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND NOTE EXISTING CONDITIONS THAT MIGHT AFFECT THEIR WORK. ALL SUCH CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO BID.
- 4.02 THE CONTRACTOR SHALL PROVIDE A UTILITY LOCATOR AND SHALL VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 4.03 CONTRACTOR SHALL VERIFY, PRIOR TO ROUGH-IN, THAT SITE CONDITIONS ALLOW FOR THE PLACEMENT OF THE ELECTRICAL EQUIPMENT AS SHOWN ON THE PLANS.
- 4.04 CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL UTILITY REGARDING THE EXACT LOCATION OF THE TRANSFORMER, ALL METERING REQUIREMENTS, AND CONDUIT ROUTING BETWEEN TRANSFORMER AND METER.
- 4.05 CONTRACTOR SHALL COORDINATE WITH LOCAL TELCO UTILITY REGARDING THE EXACT LOCATION OF THE TELCO SERVICE ENTRY POINT.
- 4.06 CONTRACTOR SHALL COORDINATE WITH AUTHORITY HAVING JURISDICTION REGARDING LOCAL FROST LINE REQUIREMENTS FOR RACEWAY MATERIAL SELECTION AND INSTALLATION.
- 4.07 CONTRACTOR SHALL PERFORM AN ARC FLASH ANALYSIS AT THE INTEGRATED LOAD CENTER AND PROVIDE ARC FLASH LABEL PER NEC.
- 4.08 ALL CIRCUIT BREAKERS AND EQUIPMENT SHALL HAVE A MINIMUM AIC RATING OF 10,000 AMPS. IF THE RATING OF THE UTILITY TRANSFORMER PROVIDING THE ELECTRICAL SERVICE IS GREATER THAN 75 kVA, THE CONTRACTOR SHALL PERFORM A SHORT CIRCUIT ANALYSIS TO DETERMINE THE REQUIRED AIC RATING FOR THE CIRCUIT BREAKERS AND EQUIPMENT. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT (AFC) AT THE UTILITY SERVICE POINT. PROVIDE MAX. AFC SIGNAGE AS REQUIRED PER NEC 110.24. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT.

PROJECT INFORMATION: Item a.

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

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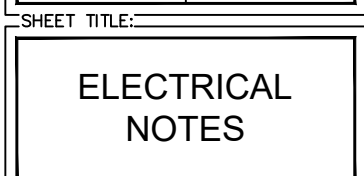
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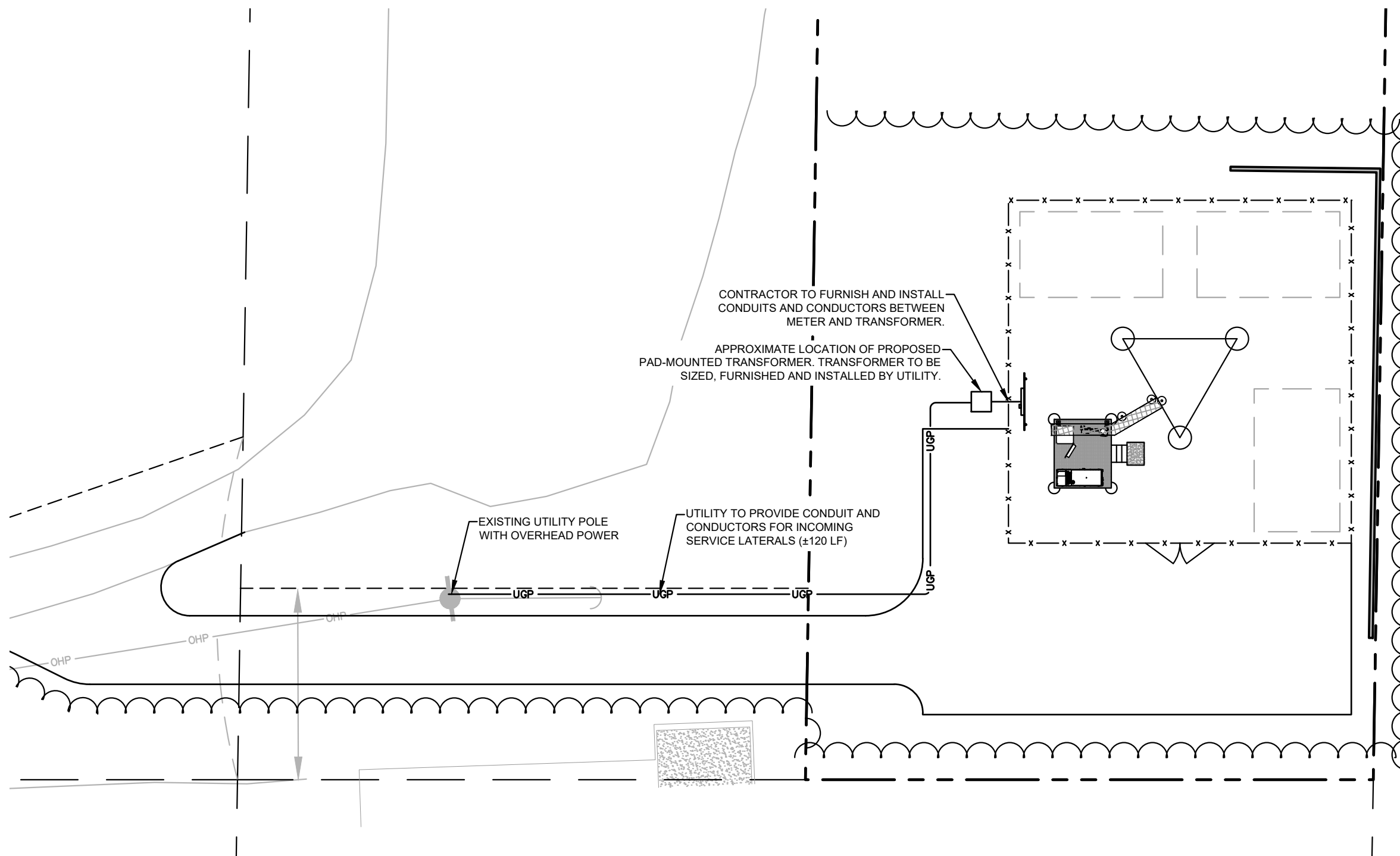
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E1

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# 1 OVERALL UTILITY SERVICE ROUTING PLAN

E2 SCALE: 1" = 20'

- POWER NOTES:
1. CONTRACTOR TO CONTACT DWIGHT YANCEY (DYANCEY@WRANGELL.COM) (907) 874-2381, PRIOR TO CONSTRUCTION
  2. WRANGELL MUNICIPAL LIGHT AND POWER TO FURNISH AND INSTALL ALL CONDUIT AND CONDUCTORS FOR PRIMARY POWER FROM THE EXISTING POWER POLE UP TO THE PROPOSED TRANSFORMER.
  3. WRANGELL MUNICIPAL LIGHT AND POWER TO FURNISH AND INSTALL A PAD MOUNT TRANSFORMER NEAR THE COMPOUND. CONTRACTOR TO COORDINATE EXACT TRANSFORMER LOCATION PRIOR TO CONSTRUCTION.
  4. TIDAL CONTRACTOR TO FURNISH AND INSTALL ALL CONDUIT AND CONDUCTORS FOR SECONDARY POWER FROM THE PROPOSED TRANSFORMER TO THE PROPOSED METER BASE.

PROJECT INFORMATION: Item a.  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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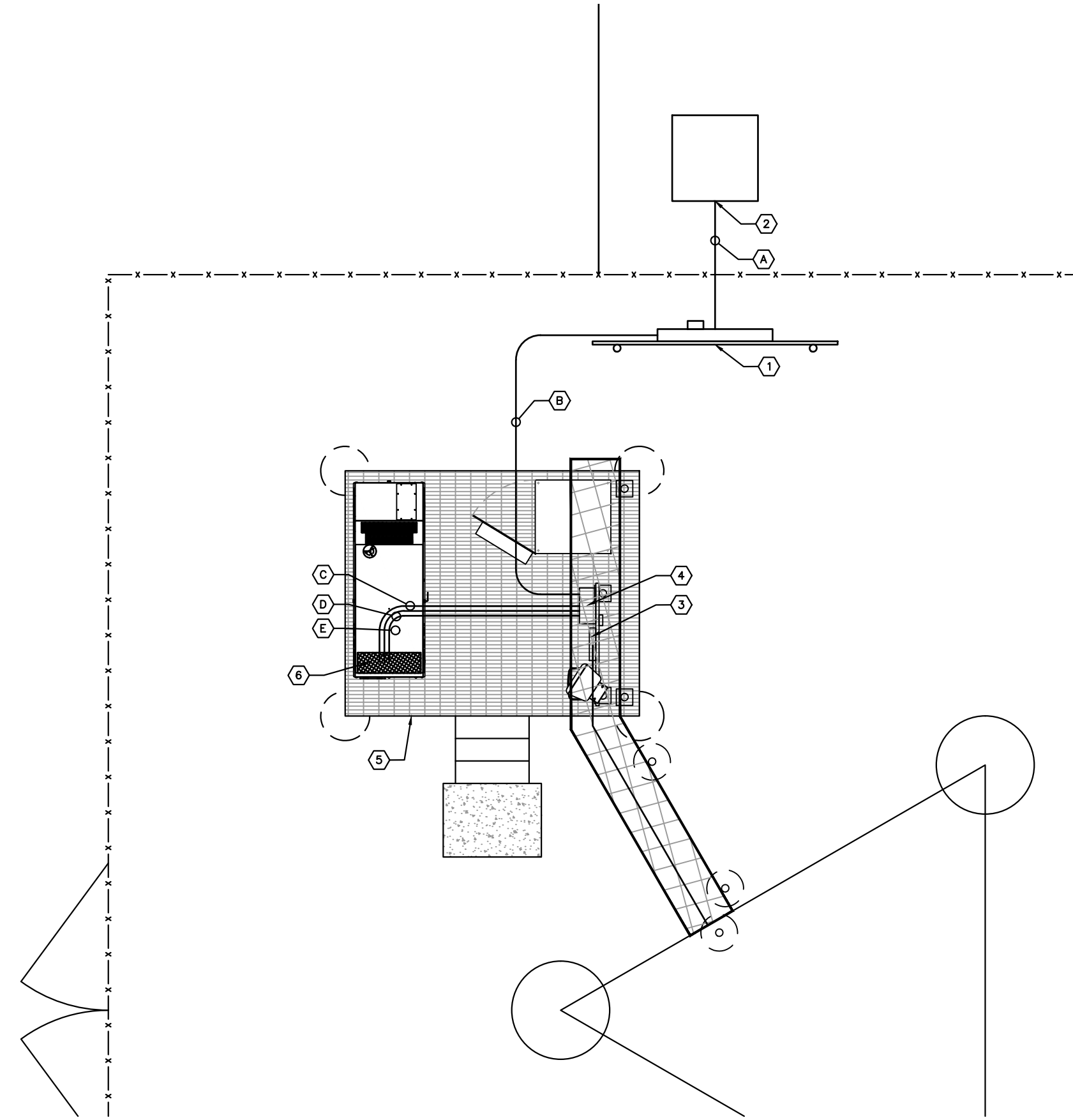
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NOT FOR CONSTRUCTION

KHA PROJECT NUMBER: \_\_\_\_\_  
 017619002  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 JW TRN

SHEET TITLE:  
**OVERALL UTILITY SERVICE ROUTING PLAN**

SHEET NUMBER:  
**E2**

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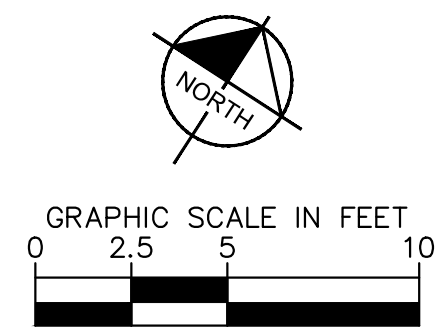
**KEY NOTES - ELECTRICAL EQUIPMENT**

- ① UTILITY METER H-FRAME (SEE DETAIL 1/E3).
- ② POWER STUB UP AT TRANSFORMER (SEE NOTE 4.04 ON SHEET E1).
- ③ TELCO BOX (SEE SHEET C4).
- ④ INTEGRATED LOAD CENTER (SEE SHEET C4).
- ⑤ EQUIPMENT PLATFORM (SEE SHEET C6).
- ⑥ GENERATOR STUB-UP AREA.

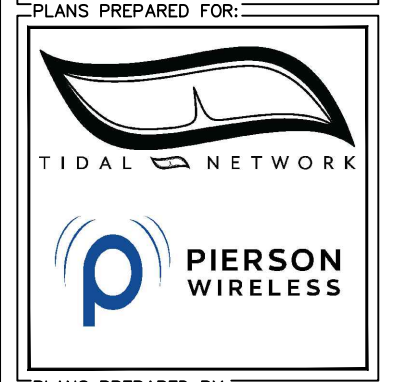
**KEY NOTES - CONDUIT, CONDUCTORS, & MISC.**

- A TWO (2) 4" PVC POWER CONDUITS FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY (SEE TRENCH DETAIL 2/E6).
- B 2" PVC POWER CONDUIT FROM PROPOSED METER RACK TO EQUIPMENT PLATFORM (SEE TRENCH DETAIL 2/E6).
- C 2" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR. (SEE TRENCH DETAIL 2/E6).
- D 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR (SEE TRENCH DETAIL 2/E6).
- E 1" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER (SEE TRENCH DETAIL 2/E6).

1 **COMPOUND UTILITY ROUTING PLAN**  
E3 SCALE: 1" = 5'



PROJECT INFORMATION: *Item a.*  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY



PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

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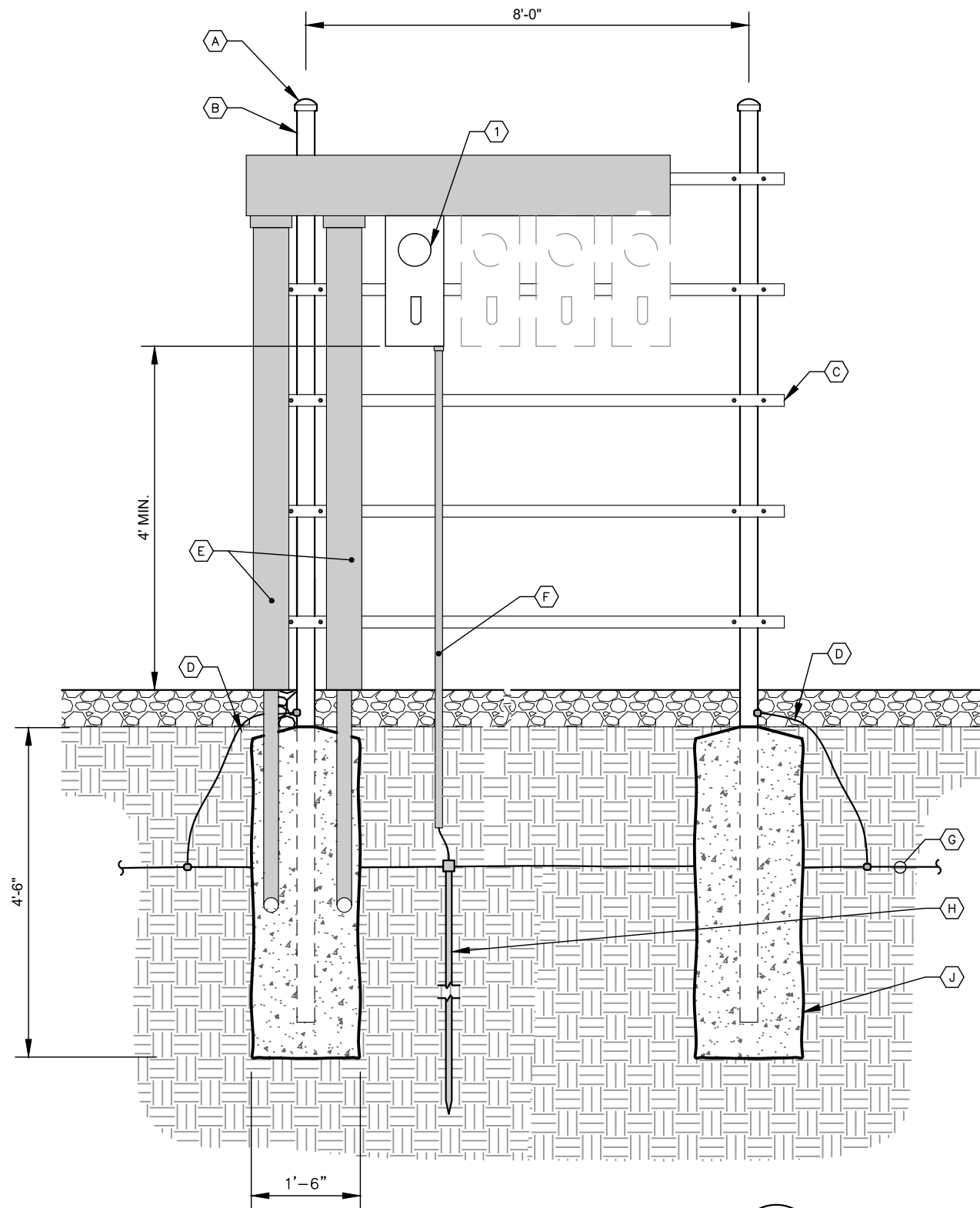
**ZONING**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER: \_\_\_\_\_  
 017619002  
 DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
 JW TRN

SHEET TITLE:  
**COMPOUND UTILITY ROUTING PLAN**

SHEET NUMBER:  
**E3**

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**1** METER RACK DETAILS  
**E4** NOT TO SCALE

**KEY NOTES - CONDUIT, CONDUCTORS, & MISC**

- A** GALVANIZED RIGID STEEL CAP, TYPICAL.
- B** 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- C** 1-5/8" x 1-5/8" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000 OR APPROVED EQUIVALENT) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- D** ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTOR IN 3/4" PVC CONDUIT FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- E** 4" PVC CONDUIT WITH 6" EXPANSION SLEEVE FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY. SEE DETAIL 2/E7 FOR TRENCHING INFORMATION.
- F** 1" PVC WITH ONE (1) - 2/0 BARE STRANDED TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- G** GROUND RING (SEE SHEETS E8-E9).
- H** GROUND ROD, EXOTHERMIC WELD TO GROUND RING
- J** CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI.

**KEY NOTES - ELECTRICAL EQUIPMENT**

- 1** FURNISH AND INSTALL SERVICE ENTRANCE RATED, 200 AMP, 3-WIRE, SINGLE PHASE, 120/240 VOLT, METER BASE WITH INTEGRATED 2-POLE, 200 AMP (22 KAIC) CIRCUIT BREAKER IN NEMA 3R ENCLOSURE.

PROJECT INFORMATION: **Item a.**

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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KHA PROJECT NUMBER:

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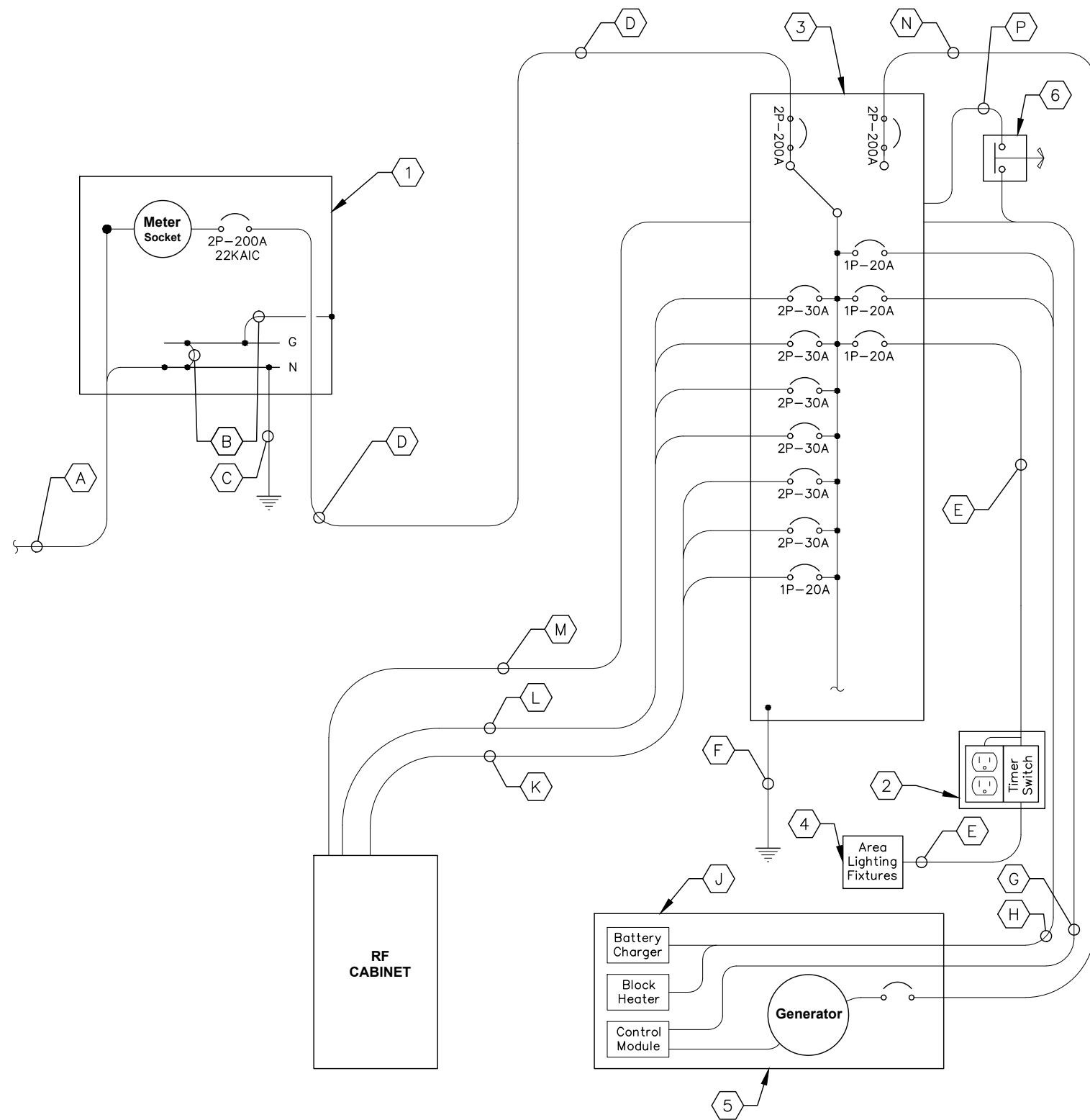
SHEET TITLE:

**METER RACK  
 DETAILS**

SHEET NUMBER:

**E4**

06/11/24 8:21 AM by: trevor.newton  
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**REQUIRED SIGNAGE PER NEC 702 AT SERVICE DISCONNECT**  
 "WARNING: Shock hazard exists if grounding electrode conductor or bonding jumper connection in this equipment is removed while alternate source(s) is energized. Opening the equipment disconnect will cause the stand-by generator to start. To remove power entirely from the equipment, the generator must be turned OFF and the generator circuit breaker must be open."

**REQUIRED SIGNAGE PER NEC 702 AT SERVICE DISCONNECT & INTEGRATED LOAD CENTER**  
 "NOTE: Emergency power is supplied by a stand-by generator located on Tidal equipment platform."

**1**  
**E5** **ELECTRICAL SINGLE LINE DIAGRAM**  
 NOT TO SCALE

**KEY NOTES - CONDUIT, CONDUCTORS, & MISC**

- A** TWO (2) 4" CONDUITS EA. WITH THREE (3) 3/0 CONDUCTORS BY CONTRACTOR FOR INCOMING SERVICE LATERALS BY LOCAL UTILITY FOR 800 AMP, 120/240 VOLT SINGLE PHASE SERVICE.
- B** BOND GROUND BUS TO NEUTRAL BUS AND GROUND BUS TO ENCLOSURE WITH 2/0 BONDING JUMPERS.
- C** ONE (1) 2/0 AWG BARE TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- D** THREE (3) 3/0 CONDUCTORS AND ONE (1) #6 AWG GROUND IN 2" CONDUIT.
- E** TWO (2) #12 AWG CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- F** ONE (1) #2 AWG BARE TINNED COPPER GROUND LEAD FROM GROUNDING LUG IN TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.
- G** AUTOMATIC TRANSFER SWITCH ALARM AND GENERATOR CONTROL CABLES IN 1" CONDUIT.
- H** FOUR (4) #12 CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- J** THE GENERATOR, WHEN UTILIZING A TWO POLE ATS WITH A SOLID NEUTRAL, IS NOT A SEPARATELY DERIVED SYSTEM. THEREFORE, DO NOT BOND THE NEUTRAL TO THE GROUND AT THE GENERATOR.
- K** FOUR (4) #6 AWG CONDUCTORS AND TWO (2) #6 EG FOR 30 AMP CIRCUITS. TWO (2) #8 AWG CONDUCTORS AND ONE (1) #8 EG FOR 20 AMP CIRCUIT. ALL IN 2" PVC CONDUIT.
- L** EIGHT (8) #6 AWG CONDUCTORS AND FOUR (4) #6 EG FOR 30 AMP CIRCUITS. ALL IN 2" PVC CONDUIT.
- M** ALARM CABLES IN 1" PVC CONDUIT.
- N** THREE (3) 1/0 AWG CONDUCTORS AND ONE (1) #6 AWG EG IN 1 1/2" CONDUIT. VERIFY GENERATOR BREAKER DOES NOT EXCEED 150 AMPS.
- P** 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE ILC TO THE EMERGENCY GENERATOR STOP SWITCH.

**KEY NOTES - ELECTRICAL EQUIPMENT**

- 1** FURNISH AND INSTALL SERVICE ENTRANCE RATED, 200 AMP, 3-WIRE, SINGLE PHASE, 120/240 VOLT, METER BASE WITH INTEGRATED 2-POLE, 200 AMP (22 KAIC) CIRCUIT BREAKER IN NEMA 3R ENCLOSURE.
- 2** 20 AMP GFCI DUPLEX OUTLET RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE.
- 3** 200 AMP, 120/240 VOLT, ILC BY GENERAC WITH 42 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH. ALL CIRCUIT BREAKERS SHALL BE RATED 10KAIC MINIMUM. ILC IS FURNISHED BY VERIZON AND INSTALLED BY GENERAL CONTRACTOR.
- 4** FURNISH AND INSTALL TWO (2) AREA LIGHTS, (LITHONIA HFR-250M-TA120-DNA-LP1), (OR APPROVED EQUIVALENT).
- 5** 30 KW DIESEL GENERATOR, CONTRACTOR SHALL COORDINATE SPECIFIC GENERATOR CONFIGURATION WITH OWNER AND INSTALL THE GENERATOR IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. GENERATOR BREAKER SIZED AND PROVIDED BY GENERATOR MANUFACTURER.

PROJECT INFORMATION: **Item a.**  
 SITE NAME: WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

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 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER: 017619002  
 DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE: **ELECTRICAL SINGLE LINE DIAGRAM**

SHEET NUMBER: **E5**



C:\Users\pierson\OneDrive\Documents\Tidal Network\Wrangell\Zone 2\CAD\CAD\SEAK\_RAWLAND\_CD.dwg 06/11/24 8:21 AM by: trevor.newton

TIDAL NETWORK - WRANGELL ZONE 2											
Voltage: 240/120 Volts Phase, Wires: Single Phase, 3 Wire Mounting Type: Surface Enclosure Type: NEMA 3R					MCB Size: 200 A AIC Rating: 10,000 Amps min Bus Rating: 200 A Neutral Rating: 100%						
Load Served	Load (kVA)		Circuit Bkr Size	Ckt Nbr	Phase		Ckt Nbr	Circuit Bkr Size	Load (kVA)		Load Served
	A	B			A	B			A	B	
Rectifier #1	2.27		2P-30	1	*		2	1P-20	1.54		Area Lights/GFCI
		2.27		3		*	4	1P-20		1.50	*Generator Block Heater
Rectifier #2	2.27		2P-30	5	*		6	1P-20	0.30		*Generator Battery Charger
		2.27		7		*	8	---			Space
Rectifier #3	2.27		2P-30	9	*		10	1P-20	0.18		Cabinet Duplex Outlet
		2.27		11		*	12	---			Space
Rectifier #4 (Future)			2P-30	13	*		14	---			Space
				15		*	16	---			Space
Rectifier #5 (Future)			2P-30	17	*		18	---			Space
				19		*	20	---			Space
Rectifier #6 (Future)			2P-30	21	*		22	---			Space
				23		*	24	---			Space
Space			---	25	*		26	---			Space
Space			---	27		*	28	---			Space
Space			---	29	*		30	---			Space
Space			---	31		*	32	---			Space
Space			---	33	*		34	---			Space
Space			---	35		*	36	---			Space
Space			---	37	*		38	---			Space
Space			---	39		*	40	---			Space
Space			---	41	*		42	---			Space
<b>Sub-Total (kVA)</b>	<b>6.81</b>	<b>6.81</b>							<b>2.02</b>	<b>1.50</b>	<b>Sub-Total (kVA)</b>

LOAD SUMMARY		A		B		Total Connected (kVA)
Load Description	Connected Load (kVA)	A	B	Demand Factor	Demand Load (kVA)	
Rectifiers/Equipment	6.81	6.81		1.00	6.81	6.81
Largest Motor	0.00	0.00		1.25	0.00	0.00
All Other Motors	0.00	0.00		1.00	0.00	0.00
Lighting	1.54	0.00		1.25	1.93	0.00
Duplex Receptacles	0.18	0.00		1.25	0.23	0.00
Total Miscellaneous	0.30	1.50		1.25	0.80	1.88
<b>Total Power per Phase</b>					9.76	8.69
<b>Total Demand Current per Phase</b>					81.33	72.38
<b>Total Demand Power</b>					18.45	kVA
<b>*Generator Load</b>					17.77	kVA

\*Note: Charger load removed and heater load demand demand factor reduced to 1.00 during generator operation.

1  
E6

**PANEL SCHEDULE**  
NOT TO SCALE

PROJECT INFORMATION: Item a.

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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LICENSER:

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KHA PROJECT NUMBER:

017619002

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

JW                      TRN

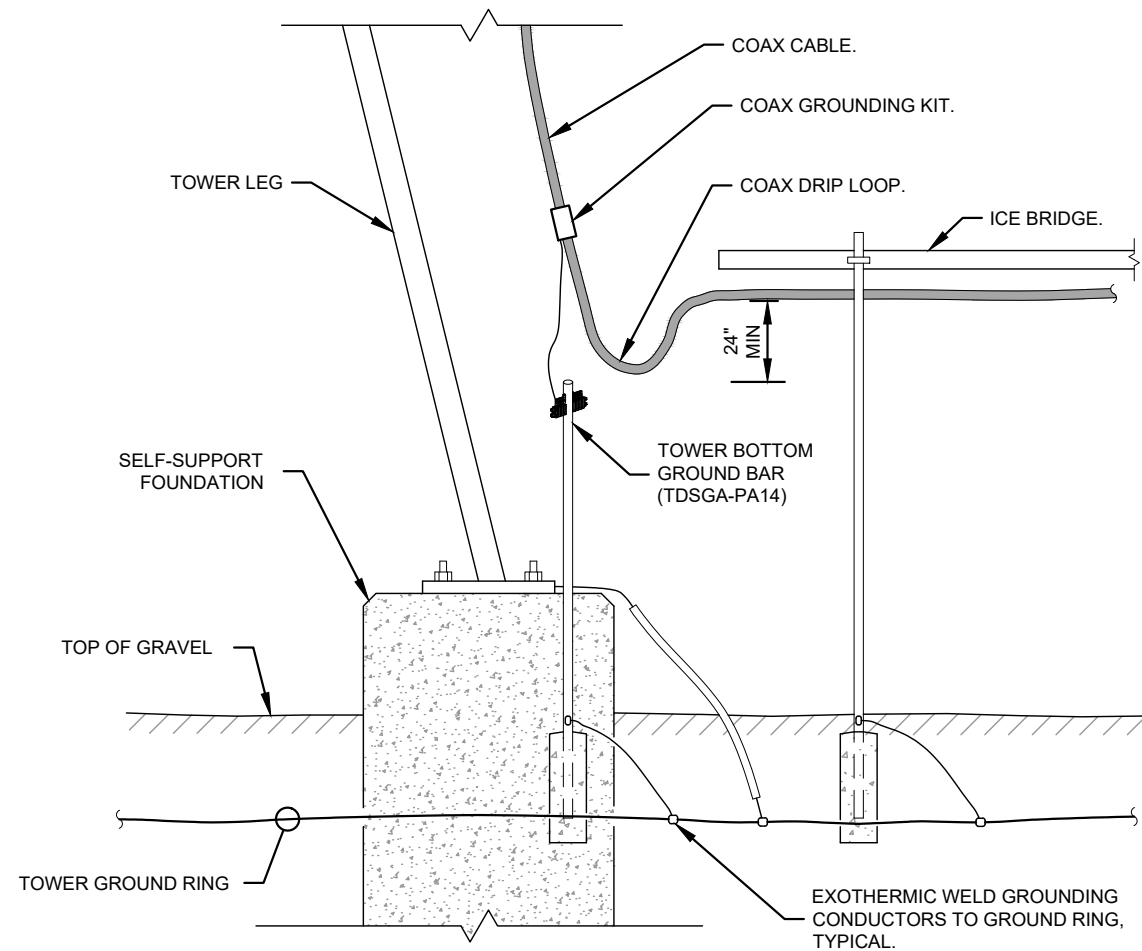
SHEET TITLE:

**PANEL SCHEDULE**

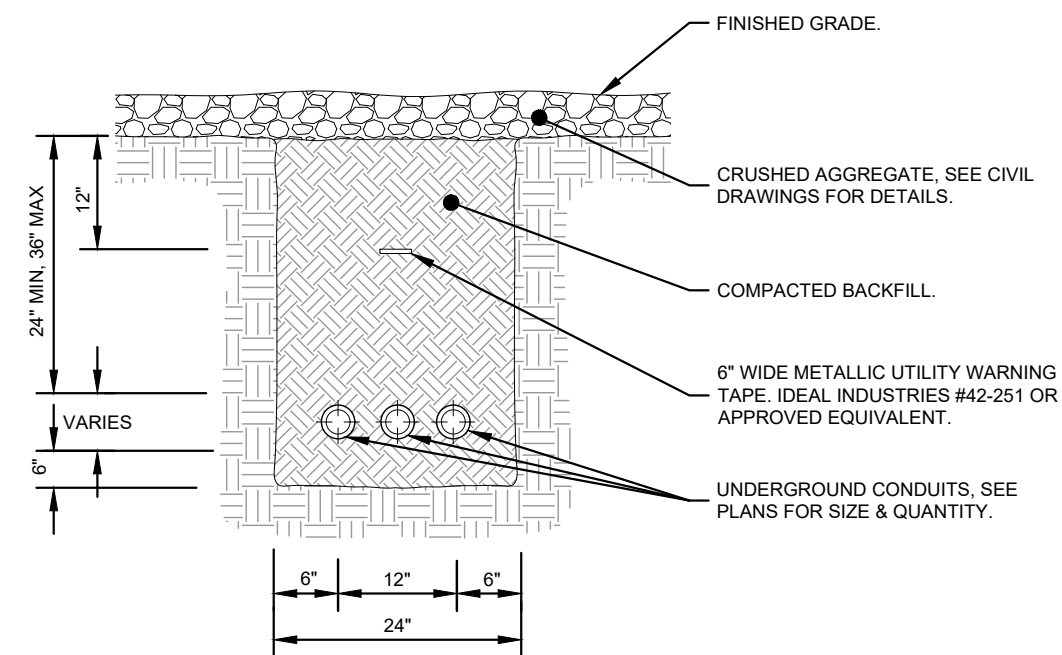
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**E6**

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**1** DRIP LOOP DETAIL  
**E7** NOT TO SCALE





- NOTES:
- IF GROUND SURFACE IS OTHER THAN NEWLY GRAVELED AREA. CONTRACTOR IS TO RESTORE TO ORIGINAL CONDITION.
  - PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
  - PROVIDE SCHEDULE 40 OR SCHEDULE 80 PVC CONDUIT & ELBOWS AT STUB UP LOCATIONS (I.E. POLES, EQUIPMENT, ETC.)
  - PROVIDE SCHEDULE 80 PVC CONDUIT BELOW PARKING LOTS AND ROADWAYS.

**2** TYPICAL TRENCH DETAIL  
**E7** NOT TO SCALE

PROJECT INFORMATION: Item a.  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
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KHA PROJECT NUMBER: \_\_\_\_\_

017619002

DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

JW                      TRN

SHEET TITLE: \_\_\_\_\_

**ELECTRICAL**  
**DETAILS**

SHEET NUMBER: \_\_\_\_\_

**E7**

# GROUNDING NOTES

1. THE GROUND RING SHALL CONSIST OF #2 AWG BARE SOLID TINNED COPPER (STC) CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROST LINE). LOCATE 24" MINIMUM AND 36" MAXIMUM FROM EQUIPMENT AREA AND FROM TOWER FOUNDATION. ALL CONNECTIONS SHALL BE MADE USING A PARALLEL TYPE EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
1. INSTALL GROUND RODS AS SHOWN AND AS REQUIRED. GROUND RODS TO BE COPPER CLAD STEEL, 5/8" DIAMETER AND 10FT IN LENGTH. SPACING BETWEEN GROUND RODS SHALL BE 10FT MINIMUM AND 15FT MAXIMUM. TOP OF GROUND ROD TO BE 30" MINIMUM BELOW GRADE (OR BELOW FROST LINE). BOND TOP OF GROUND ROD TO GROUND WIRE WITH EXOTHERMIC WELD. DO NOT EXOTHERMICALLY WELD ANYTHING TO GROUND ROD EXCEPT GROUND WIRE WHICH PASSES OVER TOP OF GROUND ROD (CLAMPED CONNECTIONS TO GROUND ROD PER TOWER MANUFACTURERS DETAILS ARE ACCEPTABLE).
2. EQUIPMENT PLATFORM GROUND RING SHALL HAVE A MINIMUM OF 4 GROUND RODS, INSTALLED AT THE CORNERS OF THE GROUND RING PLUS ADDITIONAL RODS AS REQUIRED TO COMPLY WITH THE SPACING REQUIREMENTS. TOWER GROUND RING SHALL HAVE A MINIMUM OF 3 GROUND RODS, EXCEPT USE 4 RODS AT A MONOPOLE TOWER. WHERE SPREAD TOWER FOOTING WOULD PREVENT GROUND RODS FROM BEING DRIVEN INTO SOIL ADJACENT TO TOWER, PROVIDE VERTICAL 1" DIAMETER PVC SLEEVES EMBEDDED IN FOOTING TO ALLOW INSTALLATION OF GROUND RODS.
3. EQUIPMENT GROUND RING AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH TWO #2 STC GROUND LEADS, TYPICALLY ONE ON EACH SIDE OF ICE BRIDGE.
4. BOND TOWER TO TOWER GROUND RING AT THREE LOCATIONS WITH #2 STC GROUND LEAD. SELF SUPPORT TOWERS SHALL HAVE EACH LEG BONDED TO GROUND RING, MONOPOLES AND GUYED TOWERS SHALL HAVE GROUND LEADS EQUALLY SPACED AROUND TOWER. EXOTHERMICALLY WELD GROUND LEADS TO TOP OF BASE PLATES, OR ATTACH TO TOWER USING TOWER MANUFACTURER PROVIDED DETAIL.
5. PROVIDE #2 STC RADIALS FROM THE TOWER GROUND RING TO EACH FENCE CORNER POST. RADIALS SHALL HAVE GROUND RODS AS PER THE REQUIRED SPACING. THE GROUND ROD AT THE END OF EACH RADIAL SHALL BE 24" MAXIMUM FROM FENCE CORNER POST. EQUIPMENT AREA GROUND RING AND CONNECTING GROUND LEADS (BETWEEN EQUIPMENT AREA AND TOWER GROUND RINGS) MAY BE USED AS PART OF THE RADIAL GOING TO THE FENCE CORNER POSTS TO WHICH THE EQUIPMENT AREA IS CLOSER THAN THE TOWER.
6. MINIMUM BEND RADIUS FOR #2 AWG GROUND WIRE IS 12", EXCEPT USE 24" FOR TOWER GROUND RINGS AND EQUIPMENT PAD GROUND RINGS.
7. GROUND ALL EXTERIOR EXPOSED METAL OBJECTS. USE TWO HOLE LUGS FOR CONNECTION TO FLAT METAL SURFACES. USE ONLY STAINLESS STEEL HARDWARE ON ALL MECHANICAL CONNECTIONS. CLEAN ALL SURFACES (AND STRIP PAINTED SURFACES) TO BARE BRIGHT METAL PRIOR TO MAKING GROUND CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO ALL CONNECTIONS. APPLY ZINC RICH PAINT (COLD GALV.) TO ALL EXOTHERMIC WELDS, AND TO ANY METAL EXPOSED BY CLEANING, STRIPPING, GRINDING, CUTTING OR DRILLING.
8. ALL #2 STC GROUNDING CONDUCTORS ABOVE GRADE SHALL BE RUN IN 3/4" FLEXIBLE PVC CONDUIT. CONDUIT SHALL BEGIN WITHIN 3/4" OF ABOVE GROUND CONNECTION POINT, SHALL EXTEND 24" BELOW GRADE MINIMUM WHERE RUNNING INTO THE GROUND, AND SHALL BE FILLED WITH SEALANT AT ANY ABOVE GROUND CONNECTION POINT. SECURE CONDUIT EVERY 24" ON VERTICAL RUNS AND EVERY 36" ELSEWHERE. THE PORTION OF THE SECURING FASTENER WHICH ENCIRCLES THE GROUNDING CONDUCTOR SHALL BE NON-METALLIC.
9. BOND EACH PLATFORM SUPPORT COLUMN AND EACH STAIR STRINGER / LADDER RAIL TO GROUND RING WITH #2 STC GROUND LEAD. EXOTHERMICALLY WELD #2 STC TO TOP OF COLUMN BASE PLATE OR SIDE OF STRINGER / LADDER RAIL. RUN PVC CONDUIT AND GROUND WIRE ALONG TOP OF FOOTING OR PIER USING SHORTEST PATH TO EDGE OF CONCRETE, AND THEN DOWN TO GROUND RING.
- 11A. AT GUYED AND SELF SUPPORT TOWERS MOUNT TDSGA-PA14 TOWER BOTTOM GROUND BAR ON DEDICATED POST DIRECTLY BELOW COAX CABLES COMING OFF TOWER. POST TO BE 3.5" OD GALVANIZED SCHEDULE 40 PIPE WITH GALVANIZED PIPE CAP. TOP OF POST TO BE 78" ABOVE GRADE. EMBED POST 30" MINIMUM IN 12" DIAMETER BY 36" DEEP MINIMUM CONCRETE FOOTING WITH TOP OF FOOTING 6" BELOW GRADE. IF TOWER FOUNDATION OBSTRUCTS AUGERED FOOTING, USE POST WITH 10" SQUARE GALVANIZED STEEL FLANGE PLATE WELDED TO BOTTOM AND BOLT FLANGE TO TOP OF CONCRETE TOWER FOOTING.
- 11B. AT MONOPOLE TOWERS CLAMP TDSGA-BC14 TOWER BOTTOM GROUND BAR DIRECTLY TO TOWER. IF RUNNING COAX INSIDE MONOPOLE, CLAMP ONTO BOTTOM LIP OF EXIT PORT. IF BANDING COAX TO OUTSIDE OF TOWER, CLAMP ONTO STEEL ANGLE WHICH IS Banded TO TOWER. BOND TDSGA-BC14 TO TOWER GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING.
12. AT EQUIPMENT PLATFORM, MOUNT TDSGA-BC14 MAIN EXTERIOR GROUND BAR TO BOTTOM FLANGE OF PLATFORM PERIMETER BEAM BELOW CABLE LADDER FOR COAX/HYBRID CABLES COMING DOWN FROM ICE BRIDGE. ISOLATE GROUND BAR FROM PLATFORM STEEL. BOND TDSGA-BC14 TO EQUIPMENT PLATFORM GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING. RUN PVC CONDUIT AND GROUND WIRE ALONG BOTTOM OF STEEL BEAM, DOWN STEEL COLUMN AND CONCRETE PIER INTO GRAVEL AREA AND THEN DOWN TO GROUND RING.
13. ALL ICE BRIDGE SECTIONS ARE TO BE JUMPERED TOGETHER WITH #2 WIRE, EITHER BARE TINNED COPPER OR GREEN INSULATED STRANDED. ICE BRIDGE SHALL BE GROUNDED AT EACH END WITH #2 STC WIRE LUGGED TO ICE BRIDGE AND EXOTHERMICALLY WELDED TO UPPER PORTION OF NEAREST ICE BRIDGE POST.
14. BOND EACH ICE BRIDGE POST, H-FRAME POST OR DEDICATED GROUNDING POST TO BURIED GROUNDING SYSTEM WITH #2 STC LEAD EXOTHERMICALLY WELDED TO POST BELOW TOP OF GRAVEL AND EXOTHERMICALLY WELDED TO GROUND RING. EACH POST TO HAVE SEPARATE GROUND LEAD DIRECTLY TO GROUND RING - DO NOT DAISY CHAIN POSTS TOGETHER.
15. BOND EACH RF CABINET TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND TO GROUND BAR. LUG TO CABINET BODY USING LOCATION AT WHICH STUDS ON CABINET CHASSIS HAVE DIRECT GROUND WIRE CONNECTION TO CABINET INTERNAL GROUND BAR. RUN CONDUIT AND CONDUCTOR ACROSS BACK OF CABINET (DO NOT RUN TOWARDS NEAREST CORNER OF CABINET AND THEN BEND GROUND WIRE SHARPLY), DOWN THROUGH PLATFORM GRATING, THEN OVER TO MAIN EXTERIOR GROUND BAR.
16. BOND EACH BATTERY CABINET (WHERE USED) TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND TO GROUND BAR. CONNECT TWO HOLE LUG TO BACK OF CABINET AT FACTORY PROVIDED GROUNDING STUDS. RUN CONDUIT AND CONDUCTOR DOWN THROUGH PLATFORM GRATING, THEN OVER TO MAIN EXTERIOR GROUND BAR.
17. BOND H-FRAME MOUNTED SERVICE DISCONNECT (OR METER BASE) AND INTEGRATED LOAD CENTER TO DEDICATED GROUND ROD(S) OR TO GROUND RING AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS. RUN PVC CONDUIT AND GROUND WIRE ALONG BOTTOM OF PLATFORM, DOWN NEAREST PLATFORM PIER, AND THEN DOWN TO GROUND RING.
18. BOND GENERATOR TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 STC LUGGED TO GENERATOR BODY AND TO GROUND BAR. BOND #2 STC AT TWO DIAGONALLY OPPOSITE LOCATIONS ON GENERATOR BY DRILLING AND BOLTING TWO HOLE LUG TO FINS ON GENERATOR BASE STRUCTURE. RUN CONDUIT AND CONDUCTOR DOWN THROUGH PLATFORM GRATING, THEN OVER TO MAIN EXTERIOR GROUND BAR.
19. WHERE PROPANE TANK IS INSTALLED TO FUEL GENERATOR, BOND PROPANE TANK TO GROUND RING WITH A SINGLE #2 STC CLAMPED TO FILLER PIPE OF PROPANE TANK AND EXOTHERMICALLY WELDED TO GROUND RING. GROUND LEAD SHOULD RUN TO TANK SUPPORT AND TAKE SHORTEST PATH ACROSS CONCRETE PAD OR PLATFORM TO GRAVEL AREA, THEN CONTINUE TO GROUND RING. IF PROPANE TANK FUEL LINE IS METALLIC AND CROSSES EQUIPMENT GROUND RING, BOND FUEL LINE TO EQUIPMENT GROUND RING WHERE THE TWO LINES CROSS WITH A SINGLE #2 STC CLAMPED TO FUEL LINE AND EXOTHERMICALLY WELDED TO GROUND RING.
20. BOND GPS ANTENNA AND GPS ANTENNA MOUNT TO TDSGA-BC14 MAIN EXTERIOR GROUND BAR WITH #2 GREEN INSULATED STRANDED GROUND WIRE.
21. PROVIDE TWO GROUND RODS OUTSIDE GATES OF COMPOUND. DISTANCE BETWEEN GROUND RODS SHALL MATCH WIDTH OF GATE OPENING, AND DISTANCE FROM FENCE SHALL MATCH LENGTH OF LONGEST INDIVIDUAL GATE LEAF. BOND GATE POSTS TOGETHER WITH #2 STC LEAD WHICH RUNS PAST AND CONNECTS TO GROUND RODS OUTSIDE GATES.
22. BOND EACH GATE POST WITH #2 STC TO NEAREST PORTION OF GROUNDING SYSTEM INSIDE COMPOUND.
23. BOND EACH GATE TO GATE POST WITH FLEXIBLE INSULATED OR BRAIDED #4/0 COPPER STRAP. EXOTHERMICALLY WELD STRAP TO BOTH GATE AND GATE POST.
24. ANY METAL FENCE POST WITHIN 6FT OF A GROUNDED METAL OBJECT SHALL BE BONDED TO THE NEAREST GROUND RING. ANY METAL FENCE WITHIN 6FT OF A GROUND RING SHALL HAVE THE LINE POSTS BONDED TO THE GROUND RING AT 20FT MAXIMUM INTERVALS AS MEASURED ALONG THE LENGTH OF THE FENCE.
25. WHERE GROUND BASED RRU'S, RAYCAP OVP'S OR DIPLEXERS ARE INSTALLED AT THE EQUIPMENT AREA, BOND EACH COMPONENT TO NEAREST TDSGA GROUND BAR BELOW THE COMPONENT WITH #2 GREEN INSULATED STRANDED GROUND WIRE. SINGLE HOLE LUG OR RING TYPE CONNECTOR IS SUITABLE FOR CONNECTION TO GROUNDING STUD ON EACH COMPONENT.
26. NOTIFY VZW CM TO INSPECT GROUND RING BEFORE BACKFILLING. CONTRACTOR SHALL HIRE A 3RD PARTY TO PERFORM AN IEEE81 FALL OF POTENTIAL METHOD GROUND TEST. MAXIMUM ALLOWABLE RESISTANCE TO GROUND IS 5 OHMS. PROVIDE ADDITIONAL GROUND SYSTEM COMPONENTS AS REQUIRED TO ACHIEVE THIS VALUE.
27. REFER TO TOWER GROUNDING DIAGRAM AND NOTES FOR GROUND SYSTEM REQUIREMENTS ON THE TOWER.
28. GROUNDING OF ALL ELECTRICAL EQUIPMENT SHALL BE AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.

PROJECT INFORMATION:

Item a.

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

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KHA PROJECT NUMBER:

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JW TRN

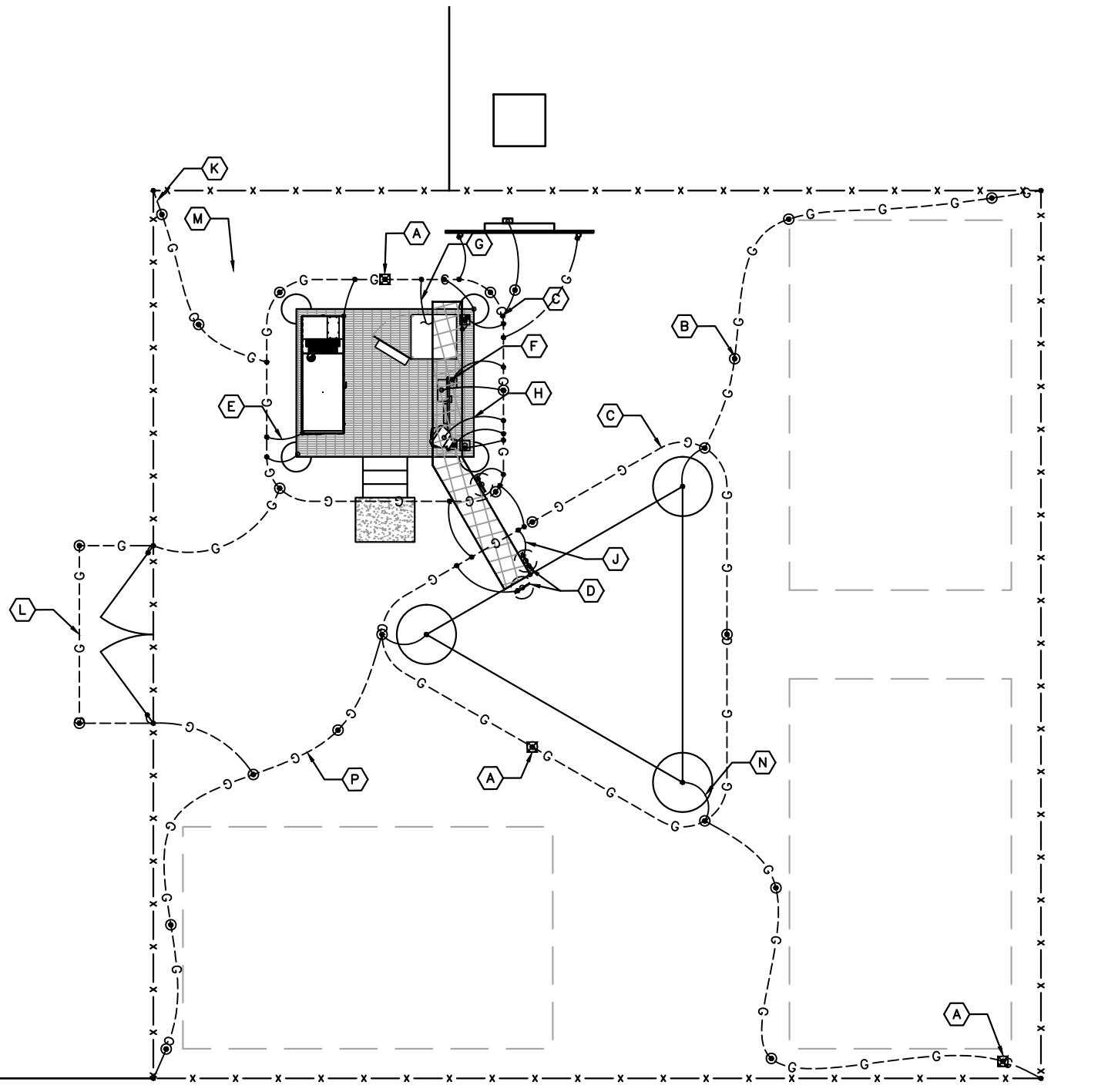
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GROUNDING NOTES

SHEET NUMBER:

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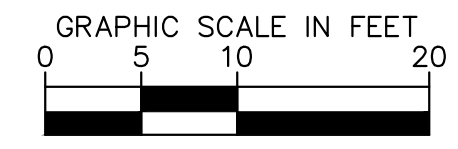
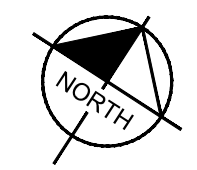


**KEY NOTES - GROUNDING EQUIPMENT**

- (A) GROUND ROD TEST WELL (SEE DETAIL 1/E11).
- (B) GROUND ROD, TYPICAL (SEE DETAIL 2/E10 AND NOTES 2 AND 3 ON E8).
- (C) TOWER AND EQUIPMENT GROUND RING (SEE NOTES 1, 3, 4, 5, 6 AND 7 ON E8).
- (D) TDSGA-PA14 OR TDSGA-BC14 WHERE APPLICABLE (SEE NOTES 10 AND 11 ON E8).
- (E) GENERATOR GROUNDING (SEE NOTE 16 ON E8).
- (F) GPS ANTENNA GROUNDING (SEE NOTE 18 ON E8).
- (G) RF CABINET GROUNDING (SEE NOTE 14 ON E8).
- (H) OVP GROUNDING (SEE NOTE 23 ON E8).
- (J) ICE BRIDGE POST BOND TO GROUND RING, TYPICAL (SEE NOTES 12 AND 13 ON E8).
- (K) FENCE POST GROUNDING, TYPICAL. (SEE NOTE 22 ON E8).
- (L) GATE GROUNDING, TYPICAL. (SEE NOTES 19, 20 & 21 ON E8).
- (M) UTILITY H-FRAME GROUNDING, TYPICAL. (SEE SHEET E3 AND NOTE 13 ON E8).
- (N) TOWER GROUNDING, TYPICAL. (SEE NOTES 5, 6 & 25 ON E8).
- (P) GROUND RADIALS, TYPICAL (SEE NOTE 6 ON E8).
- (Q) REFER TO SHEETS E8, E9, E10 & E11 FOR GROUNDING NOTES, DETAILS, AND SPECIFICATIONS.

**LEGEND:**

	GROUND RING
	GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
	EXOTHERMIC WELD
	GROUND ROD TEST WELL (SEE DETAIL 1/E10)
	MECHANICAL CONNECTION



**1** GROUNDING PLAN  
**E9** SCALE: 1" = 10'

PROJECT INFORMATION: Item a.  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

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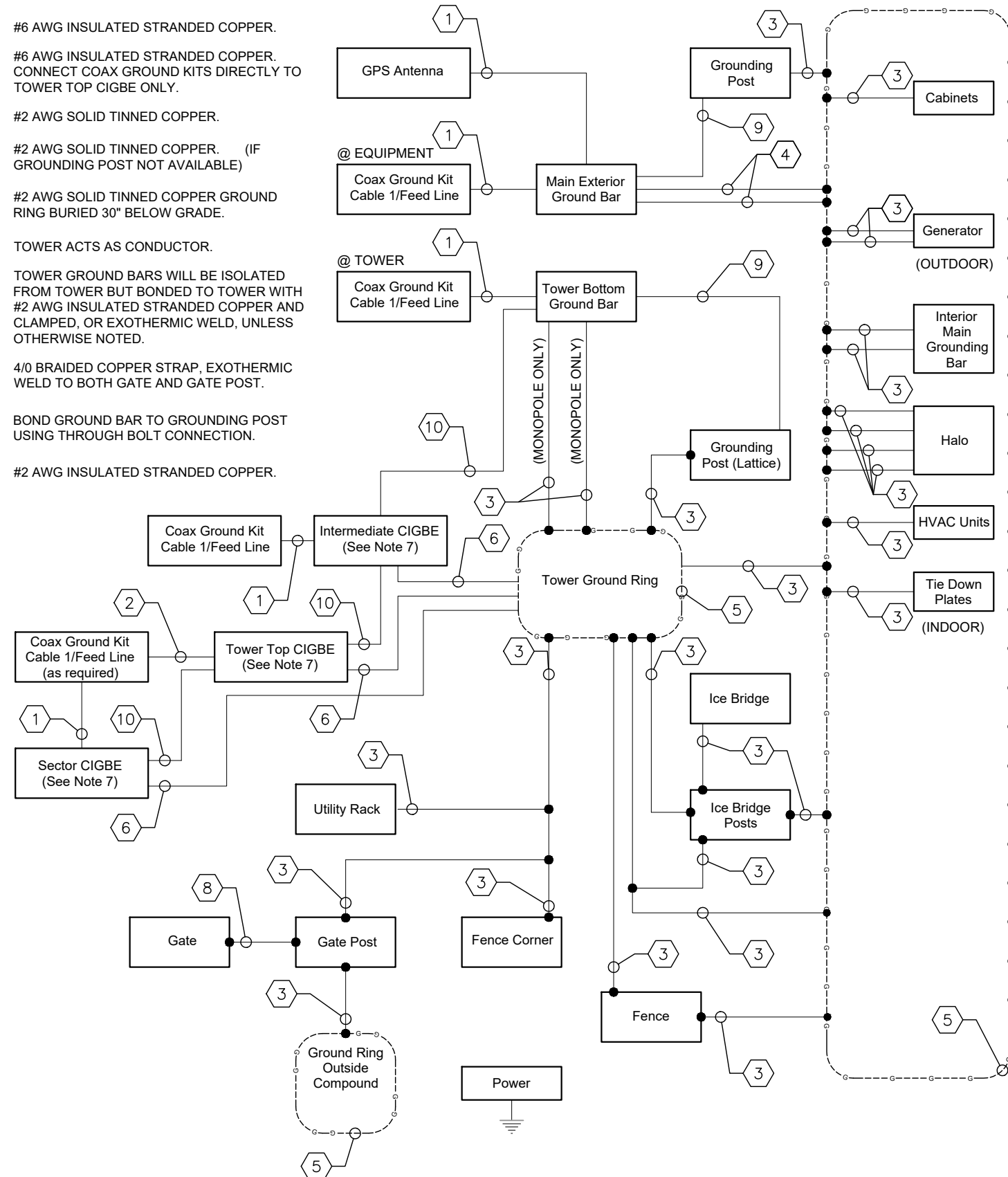
**GROUNDING PLAN**

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**E9**

**KEY NOTES - ELECTRICAL EQUIPMENT**

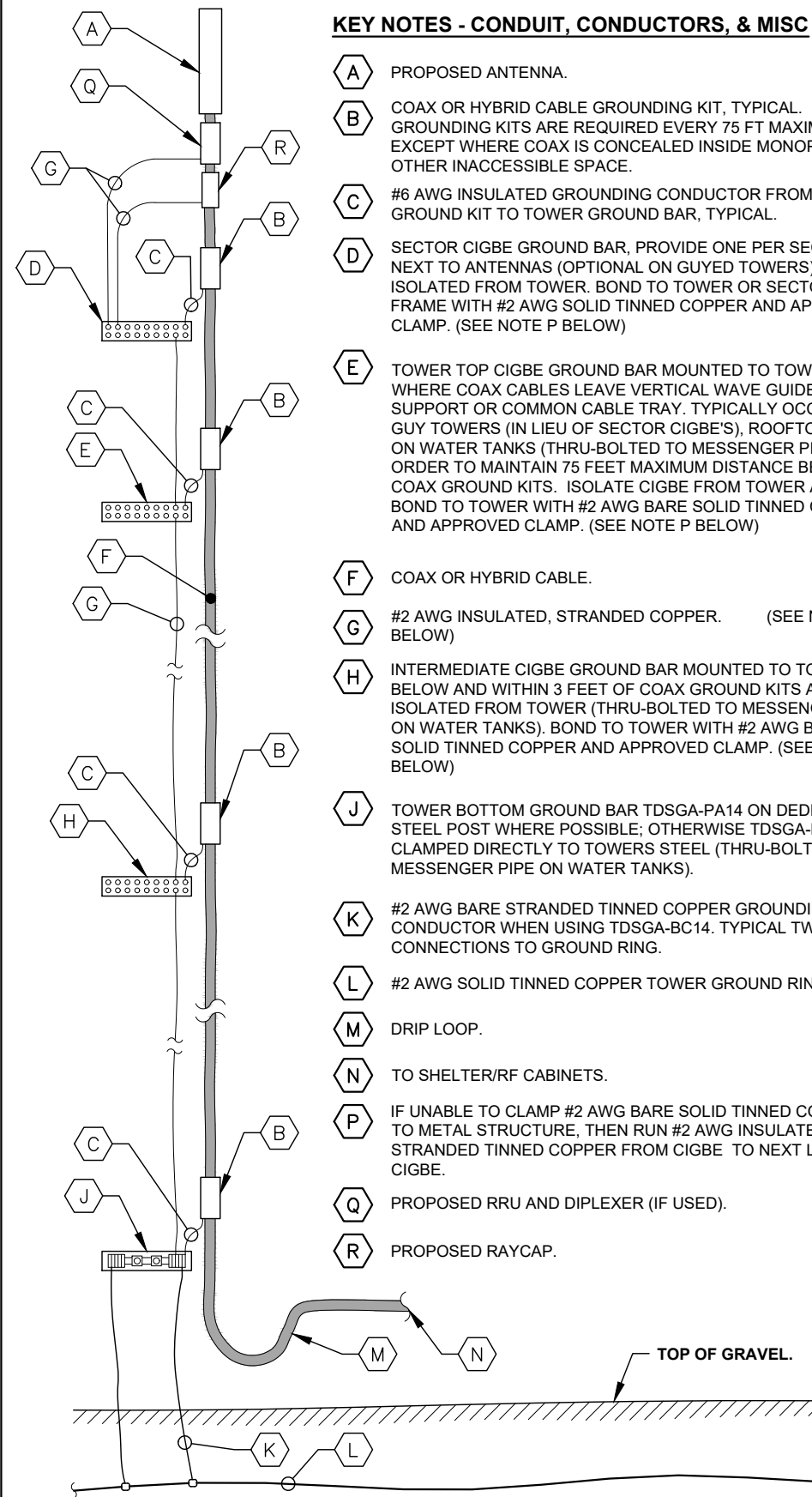
- 1 #6 AWG INSULATED STRANDED COPPER.
- 2 #6 AWG INSULATED STRANDED COPPER. CONNECT COAX GROUND KITS DIRECTLY TO TOWER TOP CIGBE ONLY.
- 3 #2 AWG SOLID TINNED COPPER.
- 4 #2 AWG SOLID TINNED COPPER. (IF GROUNDING POST NOT AVAILABLE)
- 5 #2 AWG SOLID TINNED COPPER GROUND RING BURIED 30" BELOW GRADE.
- 6 TOWER ACTS AS CONDUCTOR.
- 7 TOWER GROUND BARS WILL BE ISOLATED FROM TOWER BUT BONDED TO TOWER WITH #2 AWG INSULATED STRANDED COPPER AND CLAMPED, OR EXOTHERMIC WELD, UNLESS OTHERWISE NOTED.
- 8 4/0 BRAIDED COPPER STRAP, EXOTHERMIC WELD TO BOTH GATE AND GATE POST.
- 9 BOND GROUND BAR TO GROUNDING POST USING THROUGH BOLT CONNECTION.
- 10 #2 AWG INSULATED STRANDED COPPER.



**1 GROUNDING SINGLE LINE DIAGRAM**  
E10 NOT TO SCALE

**KEY NOTES - CONDUIT, CONDUCTORS, & MISC**

- A PROPOSED ANTENNA.
- B COAX OR HYBRID CABLE GROUNDING KIT, TYPICAL. GROUNDING KITS ARE REQUIRED EVERY 75 FT MAXIMUM EXCEPT WHERE COAX IS CONCEALED INSIDE MONOPOLE OR OTHER INACCESSIBLE SPACE.
- C #6 AWG INSULATED GROUNDING CONDUCTOR FROM COAX GROUND KIT TO TOWER GROUND BAR, TYPICAL.
- D SECTOR CIGBE GROUND BAR, PROVIDE ONE PER SECTOR NEXT TO ANTENNAS (OPTIONAL ON GUYED TOWERS) AND ISOLATED FROM TOWER. BOND TO TOWER OR SECTOR FRAME WITH #2 AWG SOLID TINNED COPPER AND APPROVED CLAMP. (SEE NOTE P BELOW)
- E TOWER TOP CIGBE GROUND BAR MOUNTED TO TOWER WHERE COAX CABLES LEAVE VERTICAL WAVE GUIDE SUPPORT OR COMMON CABLE TRAY. TYPICALLY OCCURS ON GUY TOWERS (IN LIEU OF SECTOR CIGBE'S), ROOFTOPS, OR ON WATER TANKS (THRU-BOLTED TO MESSENGER PIPE) IN ORDER TO MAINTAIN 75 FEET MAXIMUM DISTANCE BETWEEN COAX GROUND KITS. ISOLATE CIGBE FROM TOWER AND BOND TO TOWER WITH #2 AWG BARE SOLID TINNED COPPER AND APPROVED CLAMP. (SEE NOTE P BELOW)
- F COAX OR HYBRID CABLE.
- G #2 AWG INSULATED, STRANDED COPPER. (SEE NOTE P BELOW)
- H INTERMEDIATE CIGBE GROUND BAR MOUNTED TO TOWER BELOW AND WITHIN 3 FEET OF COAX GROUND KITS AND ISOLATED FROM TOWER (THRU-BOLTED TO MESSENGER PIPE ON WATER TANKS). BOND TO TOWER WITH #2 AWG BARE SOLID TINNED COPPER AND APPROVED CLAMP. (SEE NOTE P BELOW)
- J TOWER BOTTOM GROUND BAR TDSCA-PA14 ON DEDICATED STEEL POST WHERE POSSIBLE; OTHERWISE TDSCA-BC14 CLAMPED DIRECTLY TO TOWERS STEEL (THRU-BOLTED TO MESSENGER PIPE ON WATER TANKS).
- K #2 AWG BARE STRANDED TINNED COPPER GROUNDING CONDUCTOR WHEN USING TDSCA-BC14. TYPICAL TWO CONNECTIONS TO GROUND RING.
- L #2 AWG SOLID TINNED COPPER TOWER GROUND RING.
- M DRIP LOOP.
- N TO SHELTER/RF CABINETS.
- P IF UNABLE TO CLAMP #2 AWG BARE SOLID TINNED COPPER TO METAL STRUCTURE, THEN RUN #2 AWG INSULATED STRANDED TINNED COPPER FROM CIGBE TO NEXT LOWEST CIGBE.
- Q PROPOSED RRU AND DIPLEXER (IF USED).
- R PROPOSED RAYCAP.



**2 COAX-TOWER GROUNDING SCHEMATIC**  
E10 NOT TO SCALE

PROJECT INFORMATION: *Item a.*

SITE NAME:  
WRANGELL ZONE 2  
SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
WRANGELL, AK 99929  
WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
ALPHARETTA, GA 30009  
PHONE: 770-619-4280  
WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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1	06/06/24	CUP	TRN
0	05/23/24	100% DESIGN	TRN
A	04/18/24	80% DESIGN	TRN

LICENSER:

**ZONING**  
NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619002

DRAWN BY: CHECKED BY:

JW TRN

SHEET TITLE:

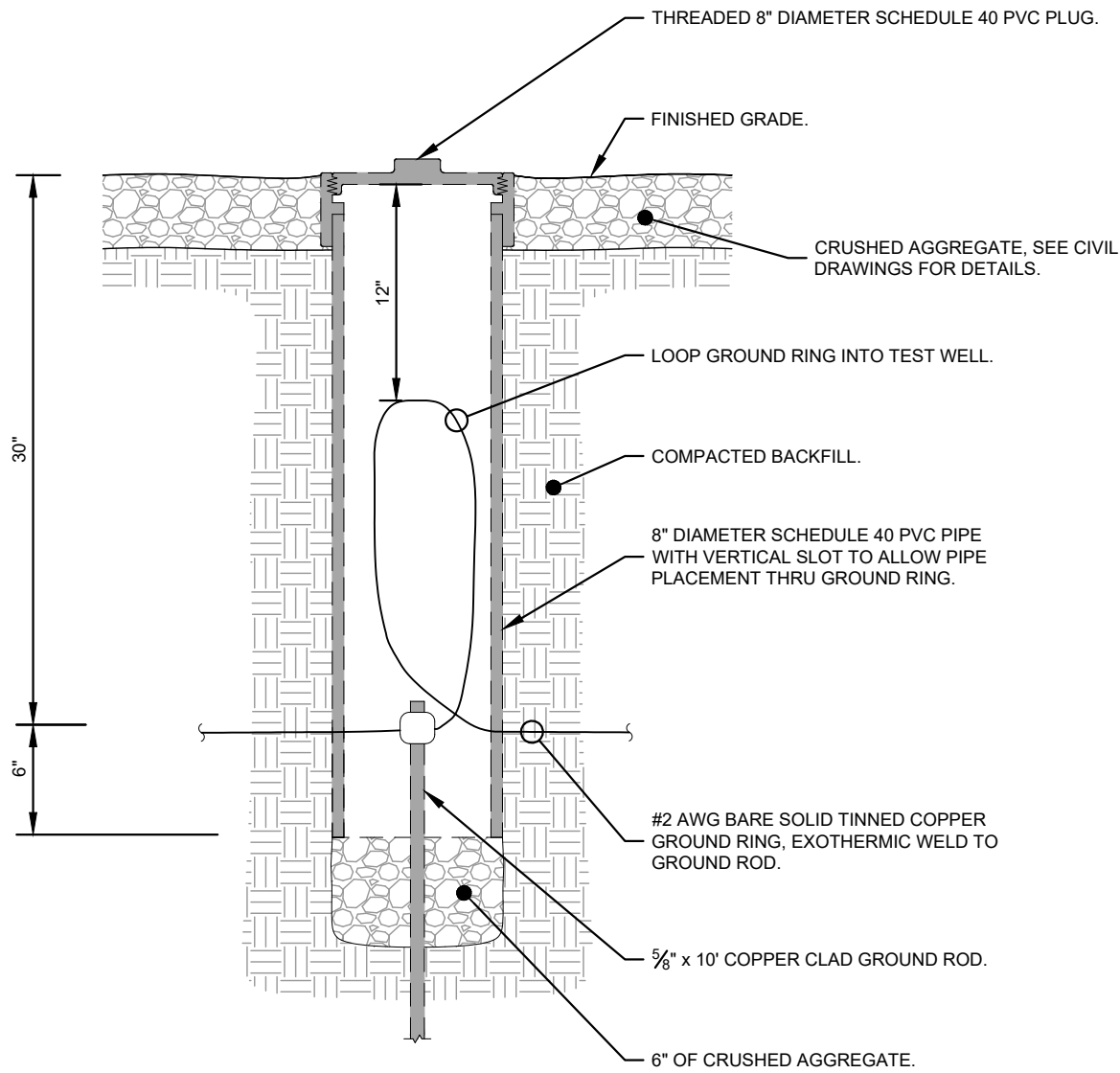
**GROUNDING  
SINGLE LINE  
DIAGRAM**

SHEET NUMBER:

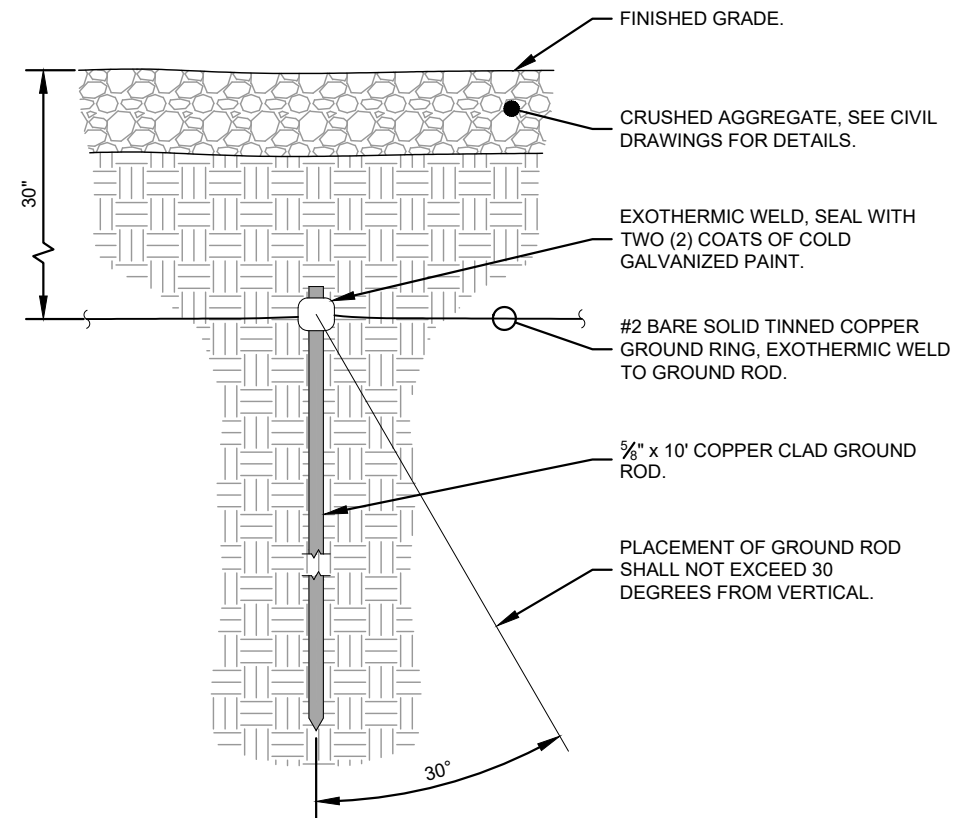
E10

C:\Users\pierson\OneDrive\Work\Projects\Wrangell\Zone 2\CAD\CD\SEAK\_RAWLAND\_CD.dwg 06/11/24 8:21 AM by: trevor.newton

eless\Pierston Wireless\Tidal Network\Wrangell\Zone 2\CAD\CD\SEAK RAWLAND\_CD.dwg ----- 06/11/24 8:21 AM by: trevor.newton



**1** GROUND ROD TEST WELL DETAIL  
**E11** NOT TO SCALE



**2** GROUND ROD INSTALLATION DETAIL  
**E11** NOT TO SCALE

PROJECT INFORMATION: Item a.

SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02

TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:



PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: DATE: ISSUED FOR: BY:

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0	05/23/24	100% DESIGN	TRN
A	04/18/24	80% DESIGN	TRN

LICENSER:

**ZONING**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER:

017619002

DRAWN BY: CHECKED BY:

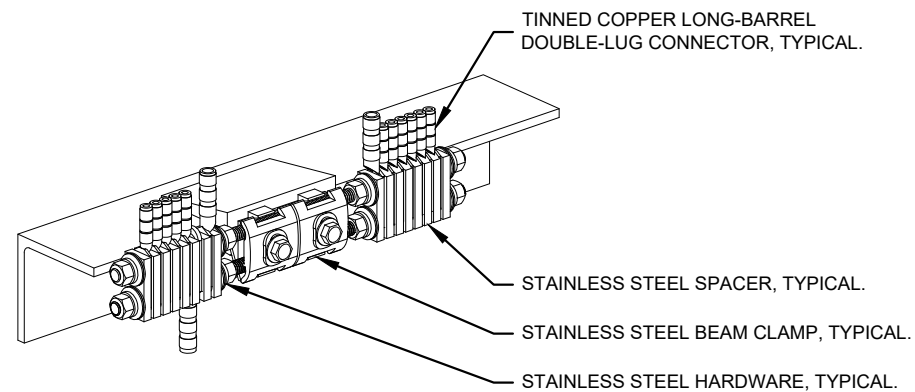
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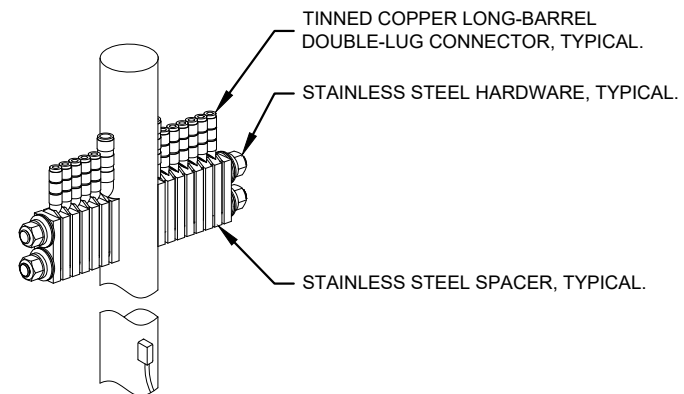
**GROUNDING**  
**DETAILS**

SHEET NUMBER:

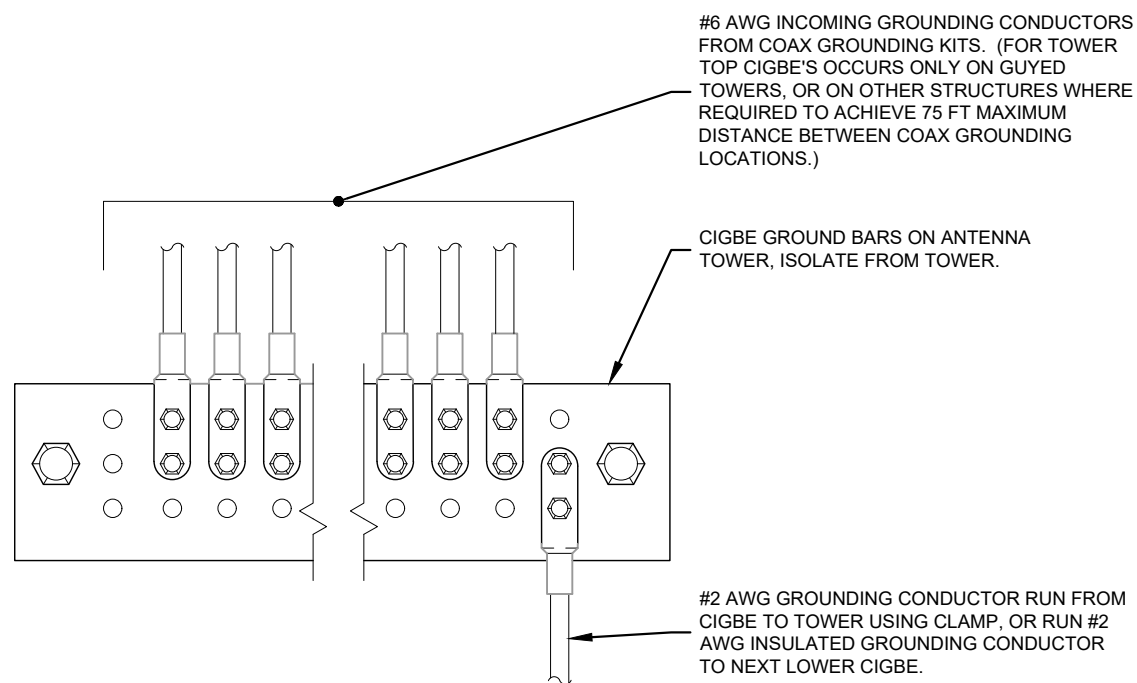
E11



**1** BAR NONE GROUNDED BEAM CLAMP (TDSGA-BC14)  
**E12** NOT TO SCALE



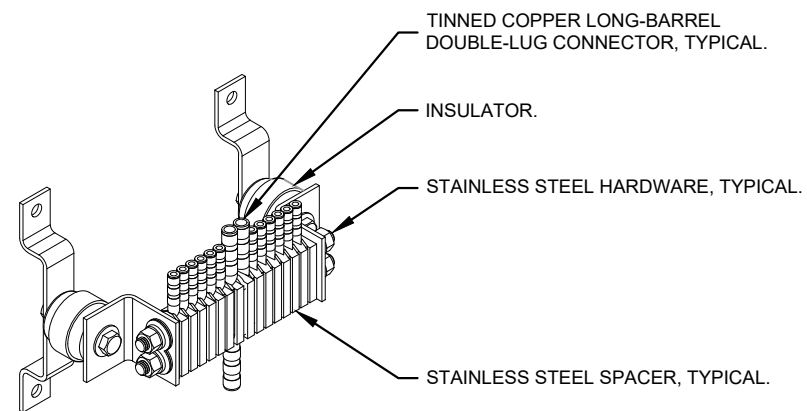
**2** BAR NONE POST MOUNTED (TDSGA-PA14)  
**E12** NOT TO SCALE



**3** ANTENNA GROUND WIRE INSTALLATION DETAIL  
**E12** NOT TO SCALE

**NOTES:**

1. ALL CIGBE GROUND BARS ON TOWER ARE TO BE ERICO TDSGA. TYPICALLY USE TDSGA-WB17 ISOLATED FROM UNISTRUT BRACKET.
2. IF CIGBE CANNOT BE CONNECTED TO TOWER WITH #2 AWG GROUNDING CONDUCTOR, VIA CLAMP OR EXOTHERMIC WELD, THEN RUN #2 AWG BLACK GROUND LEAD FROM CIGBE DOWN TO NEXT LOWER CIGBE. SECURE GROUND LEAD WITH NON-METALIC TIES AT SAME SPACING AS COAX SUPPORTS.



**4** BAR NONE INSULATED (TDSGA-WB17)  
**E12** NOT TO SCALE

PROJECT INFORMATION: *Item a.*  
 SITE NAME:  
 WRANGELL ZONE 2  
 SITE No.: TIDAL-WRG-02  
 TRACT C PLAT: 97 - 10  
 WRANGELL, AK 99929  
 WRANGELL COUNTY

PLANS PREPARED FOR:

PLANS PREPARED BY:

11720 AMBER PARK DRIVE, SUITE 600  
 ALPHARETTA, GA 30009  
 PHONE: 770-619-4280  
 WWW.KIMLEY-HORN.COM

REV: \_\_\_\_\_ DATE: \_\_\_\_\_ ISSUED FOR: \_\_\_\_\_ BY: \_\_\_\_\_

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1	06/06/24	CUP	TRN
0	05/23/24	100% DESIGN	TRN
A	04/18/24	80% DESIGN	TRN

LICENSER:

**ZONING**  
 NOT FOR CONSTRUCTION

KHA PROJECT NUMBER: 017619002  
 DRAWN BY: JW CHECKED BY: TRN

SHEET TITLE: **GROUNDING DETAILS**

SHEET NUMBER: **E12**

**City and Borough of Wrangell, Alaska**  
**Planning and Zoning Commission**  
**Regular Meeting June 13<sup>th</sup>, 2024**  
**Staff Report**

---

**Agenda Item:** New Business, Item 8C

**From:** Kate Thomas, Economic Development Director

**Subject:** Request from Steve Thomassen to purchase Borough Real Property identified as Lot 2, Block 63A, Industrial Park Subdivision II, according to Plat No. 2000-9, zoned Holding.

---

**Background:**

The applicant, Steve Thomassen, is requesting to purchase Lot 2 within the Industrial Park Subdivision II, for the purposes of expanding the family’s sawmill operation to accommodate locals and outlying communities with another source of wood products. The application also states that it would support expansion of seafood business. The applicant owns the adjacent land and has reached maximum capacity, with no more room for expansion.

The Planning and Zoning Commission will make a recommendation to the Borough Assembly to sell the land to Mr. Thomassen or deny the request. The outcome of the Commissioner’s review will proceed to the Assembly for final approval or denial.

**Review Criteria:**

[Chapter 20.48 - I DISTRICT – INDUSTRIAL](#)

[Chapter 16.12 - DISPOSITION OF PUBLIC LANDS AND TIDELANDS](#)

[Chapter 20.76 - AMENDMENTS](#)

**Findings of Fact:**

Steve Thomassen is seeking to purchase Borough Owned Real Property for the purpose of expanding his family’s sawmill business. Mr. Thomassen owns the lot (63A) immediately adjacent to the lot requested. The lot is in the Industrial Park, with legal access from Mission Street. Mission Street is a platted right-of-way; however, it has not been developed. Therefore, the only access to Lot 2 currently is through the Mr. Thomassen property immediately adjacent to Lot 2. Mr. Thomassen’s existing lot legal access is via Howell Street as shown on the attachment titled “Aerial Map”.

Lot 2 is currently zoned “holding”. As per section [20.36 of the Wrangell Municipal Code](#), the holding (H) district is intended to maintain future development options by setting aside large areas (in excess of short-term needs), by piecemeal development for possible future use. By preventing premature development at densities that under-utilize the land, relatively large parcels can be retained for major development projects (e.g., industrial use) when and if a need arises. Areas may be withdrawn from the holding district to meet future development needs consistent with the intent of this chapter, or to provide for a use that cannot be accommodated elsewhere. The Planning Commission may recommend areas for withdrawal by the borough assembly. Such withdrawals shall recognize long-term land use needs over immediate concern. Withdrawals from holding follow the same procedures outlined by [Title 20 - Amendments](#). Mr. Thomassen has been informed of the requirement to rezone the lot, and subsequently submitted an application to change the zone which will go before the Planning Commission in July 2024.



The Comprehensive Plan references a high need for industrial development to support business expansion, personal use and other activities allowable in the Industrial District. Referencing figure 6-18 Future Growth Map of the Comprehensive Plan, there appears to be intentions to expand the industrial park, while also creating a recreation/open space buffer between the industrial park and residential area to the west northwest of the existing industrial park. An additional lot in combination with the Mission St. right-of-way allows for an adequate buffer between industrial use and residential development.

If the City and Borough of Wrangell (CBW) were to sell this lot by public auction process, a road and services would need to be constructed to provide access to the property and services. Selling this lot to Mr. Thomassen directly eliminates those costs as access would be provided through his currently owned lot. The CBW recently published an [Invitation to Bid and Project Manual](#) for Fifth and Sixth Avenue Road construction. While Fifth and Sixth Avenue are within the same zoning district and area, construction of the roads does not equate to access of Lot 2. However, the project will allow the Borough to proceed with a sale of eight lots zoned for industrial use which benefits the public and allows further development of private land in the industrial park.

**Attachments:**

1.) Land Purchase Application, 2.) Aerial Map of Properties, 3.) Plat No. 2000-9, 4.) Future Growth Map from 2010 Comprehensive Plan

**Recommendation:**

Staff recommend that the Planning and Zoning Commission approve a recommendation to the Borough Assembly to approve the sale of Lot 2.

**Recommended Motion:**

Move to recommend approval of the application to purchase the Borough-owned real property identified as Lot 2, Block 63A, Industrial Park Subdivision II, according to Plat No. 2000-9, zoned Holding, requested by Steve Thomassen with the following conditions:

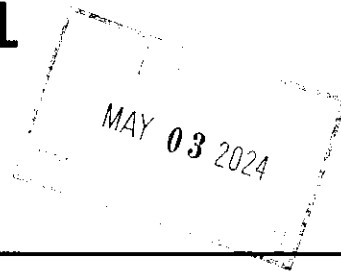
1. A request to withdrawal the lot from "Holding" and subsequent rezoning to "Industrial" shall be reviewed by the Planning and Zoning Commission for a recommendation for approval or denial of the request to the Borough Assembly to amend the zone prior to the procedures of disposal.
2. The withdrawal from the "Holding" zone and subsequent rezoning to "Industrial" shall comply with the procedures outlined in the [Wrangell Municipal Code Section 20](#).
3. The sale of the aforementioned lot shall have "Construction as condition of sale – Construction completion terms for industrial development" as per WMC 16.12.150. All terms of the Wrangell Municipal Code from Title 16 and Title 20 shall apply to development of the requested lots.

# CITY & BOROUGH OF WRANGELL

OFFICE OF THE BOROUGH CLERK

PO BOX 531 WRANGELL, AK, 99929 | +1 (907) 874-2381

205 BRUEGER STREET WRANGELL, AK, 99929



CITY & BOROUGH OF WRANGELL  
GATEWAY TO THE STIKINE

Item a.

## PUBLIC LAND & TIDELANDS PURCHASE APPLICATION

WMC 16.12.010 - 16.12.180

APPLICATION FEE: \$250.00 NON- REFUNDABLE - MUST BE PAID AT TIME OF FILING

OFFICIAL USE ONLY	RECEIVED BY <input type="text" value="Erin"/>	DATE RECEIVED <input type="text" value="5-3-24"/>	PAYMENT TYPE	CHECK <input checked="" type="checkbox"/>
			CREDIT CARD <input type="checkbox"/>	CASH <input type="checkbox"/>

Applications to purchase borough-owned real property or borough-owned tidelands shall be submitted to the borough clerk. The borough clerk shall submit the application to the planning and zoning commission and if borough-owned tidelands, to the port commission for comments in favor or against the sale.

After the report(s) have been received by the borough clerk from the planning and zoning commission or the port commission (if borough-owned tidelands), the borough clerk shall place the request for purchase on an upcoming regular borough assembly agenda, as a public hearing item, for the assembly to approve moving forward with the sale. All property owners within 300 feet shall be notified by mail regarding the public hearing.

### SECTION I.

APPLICANT'S FULL NAME <input type="text" value="STEVE HUGO THOMASSEN"/>	EMAIL ADDRESS <input type="text" value="CruBAK99929@gmail.com"/>	PHONE NUMBER <input type="text" value="907-305-0993"/>
----------------------------------------------------------------------------	---------------------------------------------------------------------	-----------------------------------------------------------

APPLICANT'S PHYSICAL ADDRESS

APPLICANT'S MAILING ADDRESS

### SECTION II.

REQUEST TO PURCHASE OR EXCHANGE ..... PURCHASE  EXCHANGE

REQUEST TO PURCHASE TIDELANDS OR REAL PROPERTY ..... TIDELANDS  REAL PROPERTY

PLEASE PROVIDE THE PARCEL ID NUMBER AS WELL AS EITHER THE PHYSICAL ADDRESS OR LEGAL DESCRIPTION OF THE PROPERTY.

PARCEL ID NUMBER <input type="text" value="02-020-152"/>	PHYSICAL ADDRESS <input type="text" value="Industrial Park"/>
-------------------------------------------------------------	------------------------------------------------------------------

LOT: <input type="text" value="2"/>	BLOCK: <input type="text" value="63A"/>	SUBDIVISION: <input type="text"/>
-------------------------------------	-----------------------------------------	-----------------------------------

LEGAL ACCESS TO LOTS (STREET NAME)

CURRENT ZONING OF PROPERTY

LOT SIZE

CITY & BOROUGH OF WRANGELL  
PUBLIC LAND & TIDELANDS PURCHASE APPLICATION

Item a.

CONTINUED FROM PAGE 1

SECTION III.

INCLUDE AND LIST ANY SUPPORTING DOCUMENTS (I.E. MAPS).

[Empty box for supporting documents]

STATE THE PURPOSE AND PROPOSED USE OF THE PROPERTY.

EXPAND OUR SAWMILL OPERATION (THOMASSEN TIMBER) SO WE CAN ACCOMMODATE THE PEOPLE OF WRANGELL AND OUTLYING TOWNS WITH ANOTHER SOURCE OF WOOD PRODUCTS. WE WOULD ALSO LIKE TO BETTER FACILITATE OUR SEAFOOD BUSINESS. AT THIS TIME WE ARE COMPLETELY OUT OF ROOM FOR ANY EXPANSION.

DESCRIBE THE IMPROVEMENTS THAT WILL BE ADDED TO THE PROPERTY.

CLEAR LOGS AND ROCK PROPERTY. IN TIME WOULD LIKE TO PUT UP ANOTHER BUILDING FOR LUMBER DRYING AND EQUIPMENT FOR SPECIALIZED LUMBER SUCH AS TUNYER AND GROOVE PLANKS AND BEVEL SIDING.

WHEN WILL THE PROPOSED CONSTRUCTION IMPROVEMENTS BEGIN AND WHEN WILL THEY BE COMPLETED?

START DATE

END DATE

WHAT IS THE ESTIMATED COST OF IMPROVEMENTS THAT WILL BE ADDED TO PROPERTY? AT THE LEAST COST: \$ 150,000. -

DESCRIBE THE EFFECTS THAT THE PROPOSED USE WILL HAVE ON PUBLIC STREETS, PUBLIC FACILITIES, PUBLIC SERVICES, PUBLIC UTILITIES, TRAFFIC, AND PARKING. INCLUDE A PLAN FOR MITIGATING ADVERSE EFFECTS ON STREETS, PUBLIC FACILITIES, PUBLIC SERVICES, PUBLIC UTILITIES, TRAFFIC CONGESTION, AND PARKING, AND A PLAN FOR PAYING ALL ASSOCIATED COSTS.

THERE WILL BE NONE. SEWER AND WATER ARE ALREADY SUPPLIED. THE ONLY ACCESS IS THROUGH MY PROPERTY. THE PROPERTY IS A DEAD END PROPERTY. IF ANYTHING IT WILL FREE UP CONGESTION. THE PROPERTY I WOULD LIKE IS AND WILL BE ADJOINED TO THE PROPERTY I ALREADY OWN.

**CITY & BOROUGH OF WRANGELL**  
**PUBLIC LAND & TIDELANDS PURCHASE APPLICATION**

Item a.

CONTINUED FROM PAGE 2

**SECTION III. (CONT.)**

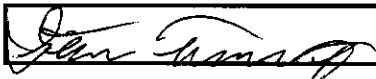
If the applicant wishes to purchase real property or tidelands for the purposes of economic development, the assembly may determine, in its sole discretion, that it is in the best interest of the Borough to dispose of the property, which has a value of \$1,000,000 or less, without requests for proposals or sealed bid procedures and at less than fair market value. In determining the best interests of the borough under the Wrangell Municipal Code, the assembly may consider any relevant factors, which may include:

- i. The desirability of the economic development project.
- ii. The actual or potential economic benefits to the borough, its economy and other businesses within the borough.
- iii. The contribution of the proponent to the economic development project in terms of money, labor, innovation, expertise, experience and otherwise.
- iv. The business needs of the proponent of the project in terms of integration into existing facilities and operations, stability in business planning, business commitments, and marketing.
- v. Actual or potential local employment due to the economic development project.
- vi. Actual and potential enhancement of tax and other revenues to the borough related to the project.
- vii. Existing and reasonably foreseeable land use patterns and ownership.

**SECTION IV. ACKNOWLEDGEMENT**

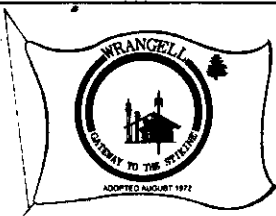
*I hereby affirm all the information submitted with this application is true and correct to the best of my knowledge. I understand that incomplete applications will not be accepted and that all fees must be paid prior to review of this application.*

**SIGNATURE OF APPLICANT**



**DATE**

4-19-2024



CITY AND BOROUGH OF WRANGELL  
PO BOX 531  
205 BRUEGER STREET  
WRANGELL, AK 99929  
PHONE: (907) 874-2381

RECEIPT # 47894  
5/03/2024

Item a.

Received From STEVE & LYNDA THOMASSEN, JR  
P.O. BOX 424  
WRANGELL, AK 99929

<u>Lookup</u>	<u>Name</u>	<u>Payment Type</u>	<u>Check #</u>	<u>Amount Received</u>
3705	Thomassen Jr, Steve & Lynda	Check	0001036	250.00

**Description:**

Public Land Purchase Application Industrial Park Lot 2 Block 63A

Planning & Zoning Permit Revenue 250.00

# CITY AND BOROUGH OF WRANGELL, ALASKA

Item a.

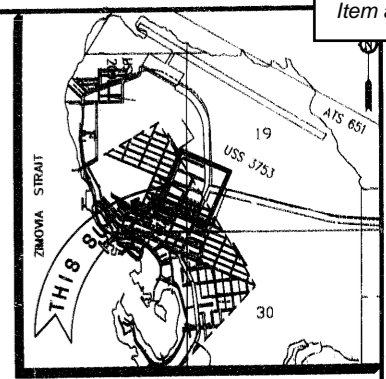


1 inch = 53.184229 feet  
Date: 5/2/2024

Public Map



**DISCLAIMER: THESE MAPS ARE FOR PLANNING PURPOSES ONLY.  
PROPERTY LINES ARE APPROXIMATE. AERIAL 2002.**

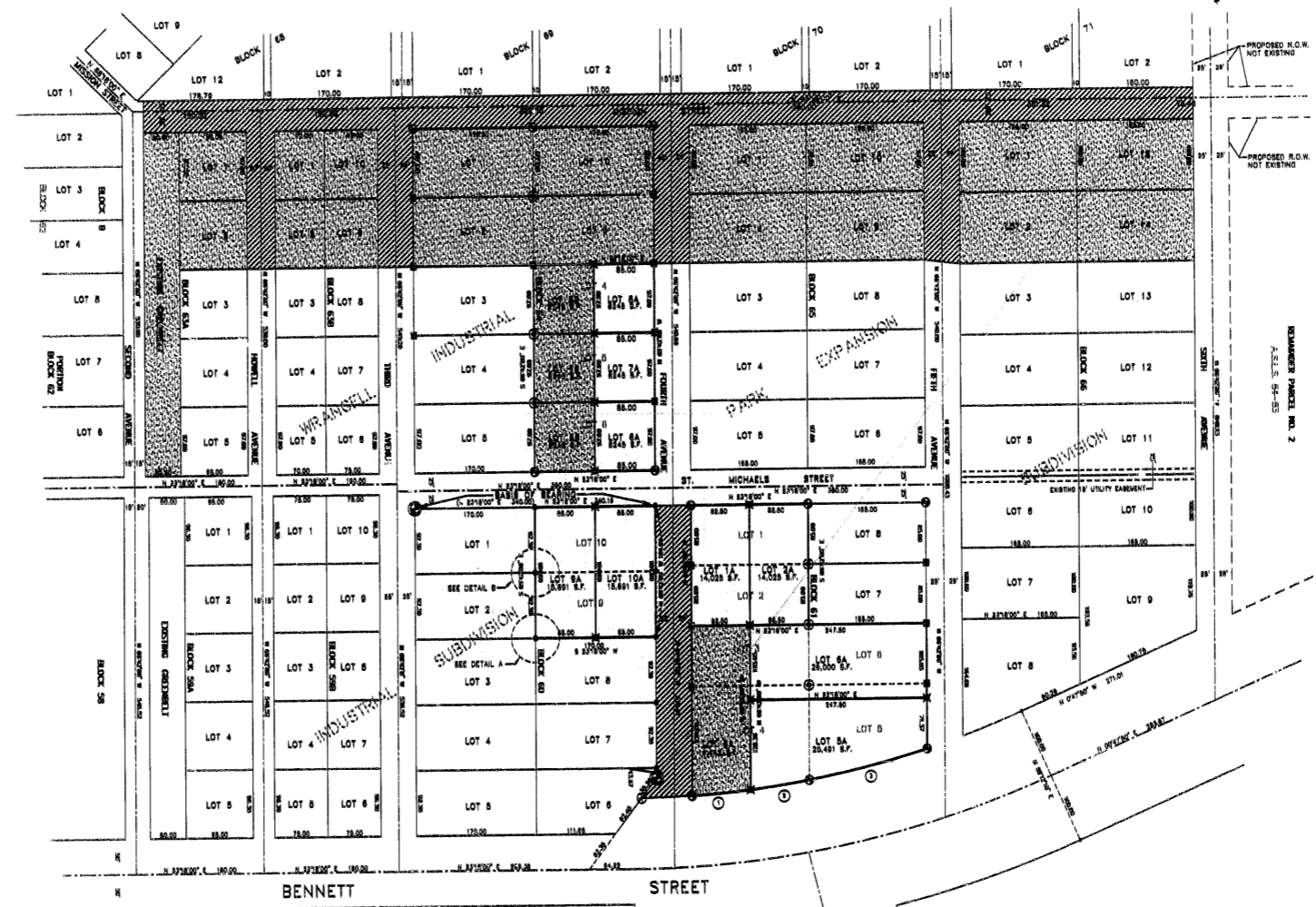


VICINITY MAP  
NOT TO SCALE

- LEGEND**
- BRAUN PRIMARY ALUMINUM CAP RECOVERED
  - STRAGER PRIMARY ALUMINUM CAP RECOVERED
  - BRAUN 4"x4" WOOD POST RECOVERED
  - ⊙ BRAUN REBAR AND ALUMINUM CAP RECOVERED
  - STRAGER REBAR AND ALUMINUM CAP RECOVERED
  - ✕ REBAR AND ALUMINUM CAP SET - SCHEFF LS6700
  - ⊕ MURPH PRIMARY ALUMINUM CAP RECOVERED
  - CENTERLINE
  - ▨ UTILITY EASEMENTS WITHIN THE MITIGATED SET-ASIDE AREAS
  - ▩ MITIGATED SET-ASIDE PROPERTIES (NO DEVELOPMENT ALLOWED)
- (N 89°19'00" E 346.00) DATA OF RECORD  
(N 89°19'00" E 346.16) DATA MEASURED OR COMPUTED

**CURVE DATA**

①	Δ = 03°33'48"	②	Δ = 03°35'28"	③	Δ = 07°19'40"
	R = 1332.40'		R = 1332.40'		R = 1332.40'
	L = 82.87'		L = 83.51'		L = 170.41'
	C = 82.87'		C = 83.50'		C = 70.29'
	CHD. BRG. = S18°00'54"W		CHD. BRG. = S14°28'04"W		CHD. BRG. = S08°58'47"W



**CERTIFICATE OF OWNERSHIP AND DEDICATION**

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: 12/15/00  
MAYOR, CITY OF WRANGELL

**NOTARY'S ACKNOWLEDGMENT**

U.S. OF AMERICA  
STATE OF ALASKA  
CITY OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS 15th DAY OF December, 2000, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED Gregory G. Scheff KNOWN TO ME TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND SAID ACKNOWLEDGED TO ME THAT SAID Gregory G. Scheff SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

Gregory G. Scheff  
NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA  
MY COMMISSION EXPIRES: 1-7-2002

**CERTIFICATE STATE OF ALASKA (FIRST JUDICIAL DISTRICT)**

I, THE UNDERSIGNED, BEING DULY APPOINTED AND QUALIFIED, AND AN ACTING ASSESSOR FOR THE CITY OF WRANGELL, HEREBY CERTIFY THAT ACCORDING TO THE RECORDS IN MY POSSESSION, THE FOLLOWING DESCRIBED PROPERTY IS CARRIED ON THE TAX RECORDS OF THE CITY OF WRANGELL, IN THE NAME OF City of Wrangell

AND THAT ACCORDING TO THE RECORDS IN MY POSSESSION, ALL TAXES ASSESSED AGAINST SAID LANDS ARE PAID IN FULL; THAT CURRENT TAXES FOR THE YEAR 2000 WILL BE DUE ON OR BEFORE AUGUST 15, 2000, DATED THIS DAY OF December

ASSESSOR: Gregory G. Scheff  
CITY OF WRANGELL

**CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WRANGELL PLANNING COMMISSION, AND THAT SAID PLAT HAS BEEN APPROVED BY THE COMMISSION BY PLAT RESOLUTION NO. 20 DATED 12/15/00

AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT MAGISTRATE, EX-OFFICIO RECORDER, WRANGELL, ALASKA.

DATE: 12/15/00  
CHAIRMAN, PLANNING COMMISSION: Gregory G. Scheff  
SECRETARY: Gregory G. Scheff

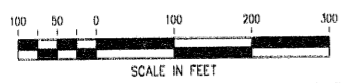
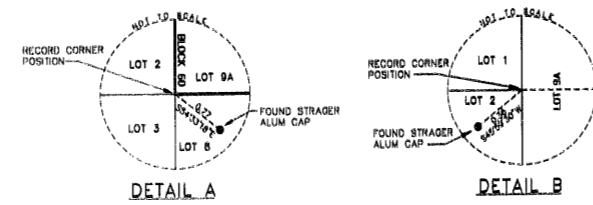
**CERTIFICATE OF APPROVAL BY THE COUNCIL**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WRANGELL COUNCIL AS RECORDED IN MINUTE BOOK 100 PAGE 20 DATED 12/15/00

AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT COURT, EX OFFICIO RECORDER, WRANGELL, ALASKA.

DATE: 12/15/00  
MAYOR, CITY OF WRANGELL: Gregory G. Scheff  
ATTEST: Gregory G. Scheff  
CITY CLERK

- PLAT NOTES**
- SET ASIDE PROPERTIES, AS SHOWN IN VARIOUS HACHURES, IS THE MITIGATION REQUIRED BY THE CORPS OF ENGINEERS WETLAND FILL PERMIT TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS THAT MIGHT RESULT FROM THE FILL. THE CITY OF WRANGELL HAS A CORPS OF ENGINEER'S FILL PERMIT, PERMITTING DEVELOPMENT OF THE INDUSTRIAL PARK AS SHOWN, AND CAN SELL LOTS WITHIN THIS DEVELOPMENT.
  - TOTAL PROJECT AREA = 33.82 ACRES  
TOTAL MITIGATED SET-ASIDE AREA = 7.13 ACRES  
TOTAL MITIGATED SET-ASIDE AREA WITH UTILITY EASEMENTS = 9.99 ACRES
  - REFERENCE PLAT #92-9, WRANGELL INDUSTRIAL EXPANSION SUBDIVISION, RECORDED WITHIN WRANGELL RECORDING DISTRICT.  
REFERENCE PLAT #85-8, AMENDED INDUSTRIAL SUBDIVISION PLAT, RECORDED WITHIN WRANGELL RECORDING DISTRICT.

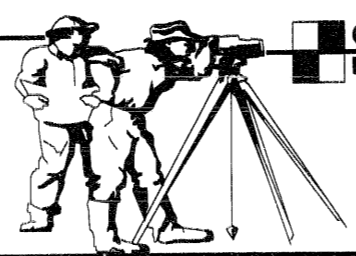


DESIGNED: GGS  
DRAWN: JLS  
CHECKED: GGS  
DATE OF SURVEY: OCTOBER, 2000  
DATE OF PLAT: DECEMBER, 2000  
SCALE: 1" = 100'  
SURVEYOR: GREGORY G. SCHEFF  
PROJECT NO. 51044-62-00

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN OCTOBER 2000, A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

DATE: 12-5-00  
GREGORY G. SCHEFF LS 6700



**GREG SCHEFF & ASSOCIATES**  
LAND SURVEYORS

BOX 1331 WRANGELL, ALASKA 99929  
PHONE (907) 874-2177  
FAX (907) 874-2187

**PROJECT: INDUSTRIAL PARK SUBDIVISION III**

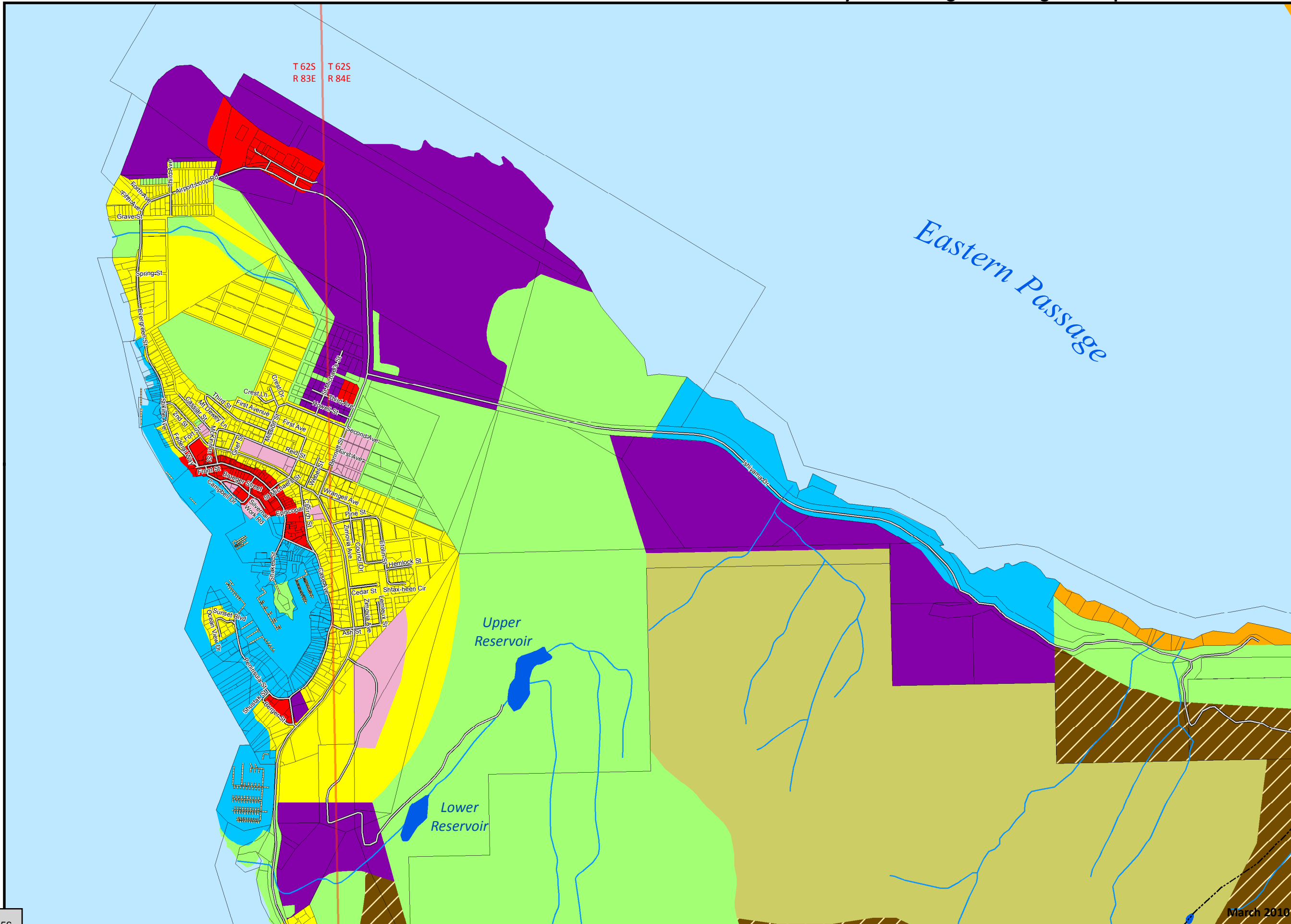
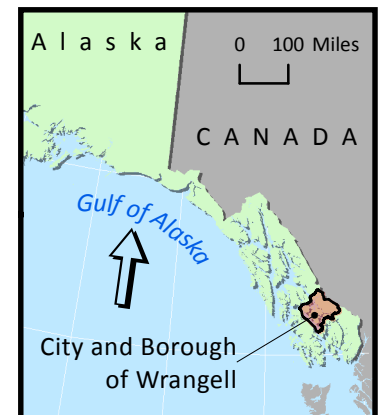
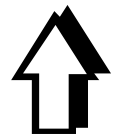
THE REPLAT OF BLOCKS 60, AMENDED INDUSTRIAL SUBDIVISION AND BLOCKS 61 AND 64, WRANGELL INDUSTRIAL PARK EXPANSION SUBDIVISION AND MITIGATION SET-ASIDE PROPERTY FOR THE DEVELOPMENT OF THE INDUSTRIAL SUBDIVISION WITHIN BLOCKS 63A, 63B, 64, 65, 66 AND INCLUDING THE RIGHT-OF-WAYS OF HOWELL, THIRD, FOURTH, FIFTH AVENUES AND MISSION ST.

CLIENT: CITY OF WRANGELL  
BOX 531  
WRANGELL, ALASKA 99929

# Future Growth Map

-  Residential
-  Remote Residential
-  Commercial
-  Public and Community Facilities
-  Industrial/ Light Industrial
-  Waterfront Development
-  Resource Development
-  Resource Development with Scenic Protection
-  Important Habitat/ Special Areas
-  Recreation, Parks or Open Space
-  Wilderness

0 Miles .5





**City and Borough of Wrangell, Alaska**  
**Planning and Zoning Commission**  
**Regular Meeting June 13<sup>th</sup>, 2024**  
**Staff Report**

**Agenda Item:** New Business, Item 8D

**From:** Kate Thomas, Economic Development Director

**Subject:** Request from Brett Woodbury to purchase Borough Real Property (8 lots) identified as;

Lot 5A, Block 61, Industrial Park Subdivision II, according to Plat No. 2001-7, zoned Industrial  
 Lot 8, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 7, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 9, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 10, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 11, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 12, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 13, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial

**Background:**

The applicant, Mr. Brett Woodbury is requesting to purchase eight (8) lots within the Wrangell Industrial Park for the purposes of site development for resale to industrial users as per the application. The lots requested are adjacent to Fifth and Sixth Avenue. A road development project is currently out of bid, to construct 5<sup>th</sup> and 6<sup>th</sup> avenue. Commissioner's may review the [Invitation to Bid and Project Manual](#) on the Borough's website.

The Planning and Zoning Commission will make a recommendation to the Borough Assembly to sell the land to Mr. Woodbury or deny the request. The outcome of the Commissioner's review will proceed to the Assembly for final approval or denial.

**Review Criteria:**

[Chapter 20.48-I DISTRICT – INDUSTRIAL](#)  
[Chapter 16.12- DISPOSITION OF PUBLIC LANDS AND TIDELANDS](#)

**Findings of Fact:**

Mr. Brett Woodbury is seeking to purchase Borough Owned Real Property for the purpose of developing them into suitable and ready-use industrial lots to be re-sold to interested parties in the private market. There are eight (8) lots in this request. All of the lots are located in what is locally known as the Industrial Park. Lots 9, 10, 11, 12, and 13 legal access will be via Sixth Avenue. Lots 5A, 7 and 8 legal access will be via Fifth Avenue. Fifth and Sixth Avenue will connect to the Airport Loop Road and St. Michaels Street, as shown in the attachment titled "Aerial Map". The total square footage of the lots is 155,275 or 3.56 acres.

Currently there is no developed road access to the lots within Mr. Woodbury's request. The City and Borough of Wrangell (CBW) is actively seeking bids to develop Fifth and Sixth Avenue. The Invitation to Bid and Project Manual were published on Thursday, June 6<sup>th</sup>, 2024, by the Capital Facilities and Projects department. There are no plans to develop the lots adjacent to the new roads. However, the purpose of the project is to establish access to more industrial lots for public auction. The bidding period will close on June 18<sup>th</sup>, 2024,

with an anticipated project completion date of October 30<sup>th</sup>, 2024. Following the completion of the road project, the eight lots will be offered for sale through a public auction process. This process ensures fair market value is obtained for the land and maximizes potential revenue for the community. Public auction ensures a transparent and competitive process for land acquisition.

The [Wrangell Municipal Code Chapter 16](#) allows people to apply to purchase public land (not tidelands) through the Planning and Zoning Commission. Tideland purchases require an additional review by the Port and Harbor Commission. The Commission(s) review submitted applications and make a recommendation to the Borough Assembly for final approval. If approved, the applicant shall be responsible for the costs associated with the sale, including an appraisal to determine the fair market value of the land. A land survey may also be required depending on the specific property needs.

To date there has been substantial interest in industrial lots from residents and businesses. The Comprehensive Plan references a high need for industrial development to support business expansion, personal use and other activities allowable in the Industrial District. The demand is driving the CBW investment in road development to gain access to more lots in the area.

**Attachments:**

1.) Land Purchase Application, 2.) Aerial Map of Properties, 3.) Plat No. 92-9, 4.) Plat No. 2001-7

**Recommendation:**

The Planning and Zoning Department recognizes the applicant's interest in purchasing the subject land. However, due to the imminent road project and subsequent public auction, approval of this application is not recommended at this time.

Staff **do not** recommend that the Planning and Zoning Commission approve a recommendation to the Borough Assembly to approve the sale of Lots 5A, 8, 7, 9, 10, 11, 12, and 13.

**Recommended Motion:**

Move to recommend to the Borough Assembly approval of Mr. Brett Woodbury's request to purchase Borough Owned Real Property identified as:

Lot 5A, Block 61, Industrial Park Subdivision II, according to Plat No. 2001-7, zoned Industrial  
 Lot 8, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 7, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 9, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 10, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 11, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 12, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial  
 Lot 13, Block 66, Wrangell Industrial Park, according to Plat No. 92-9, zoned Industrial

The sale of the aforementioned lots shall have "Construction as condition of sale – Construction completion terms for industrial development" as per [WMC 16.12.150](#). All terms of the Wrangell Municipal Code from Title 16 and Title 20 shall apply to development of the requested lots.



**CITY & BOROUGH OF WRANGELL  
PUBLIC LAND & TIDELANDS PURCHASE APPLICATION**

Item b.

CONTINUED FROM PAGE 1

**SECTION III.**

**INCLUDE AND LIST ANY SUPPORTING DOCUMENTS (I.E. MAPS).**

See attached

**STATE THE PURPOSE AND PROPOSED USE OF THE PROPERTY.**

Site development for resale to industrial users.

**DESCRIBE THE IMPROVEMENTS THAT WILL BE ADDED TO THE PROPERTY.**

5th and 6th Avenue to be constructed with properties developed.

**WHEN WILL THE PROPOSED CONSTRUCTION IMPROVEMENTS BEGIN AND WHEN WILL THEY BE COMPLETED?**

START DATE 8/1/2024

END DATE 12/31/2024

**WHAT IS THE ESTIMATED COST OF IMPROVEMENTS THAT WILL BE ADDED TO PROPERTY?** .....

cost: \$ Variable

**DESCRIBE THE EFFECTS THAT THE PROPOSED USE WILL HAVE ON PUBLIC STREETS, PUBLIC FACILITIES, PUBLIC SERVICES, PUBLIC UTILITIES, TRAFFIC, AND PARKING. INCLUDE A PLAN FOR MITIGATING ADVERSE EFFECTS ON STREETS, PUBLIC FACILITIES, PUBLIC SERVICES, PUBLIC UTILITIES, TRAFFIC CONGESTION, AND PARKING, AND A PLAN FOR PAYING ALL ASSOCIATED COSTS.**

Provide new infrastructure and provide access for desirable developed industrial lots.

**CITY & BOROUGH OF WRANGELL**  
**PUBLIC LAND & TIDELANDS PURCHASE APPLICATION**  
CONTINUED FROM PAGE 2

Item b.

**SECTION III. (CONT.)**

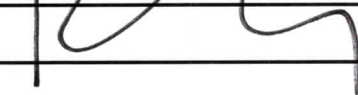
If the applicant wishes to purchase real property or tidelands for the purposes of economic development, the assembly may determine, in its sole discretion, that it is in the best interest of the Borough to dispose of the property, which has a value of \$1,000,000 or less, without requests for proposals or sealed bid procedures and at less than fair market value. In determining the best interests of the borough under the Wrangell Municipal Code, the assembly may consider any relevant factors, which may include:

- i. The desirability of the economic development project.
- ii. The actual or potential economic benefits to the borough, its economy and other businesses within the borough.
- iii. The contribution of the proponent to the economic development project in terms of money, labor, innovation, expertise, experience and otherwise.
- iv. The business needs of the proponent of the project in terms of integration into existing facilities and operations, stability in business planning, business commitments, and marketing.
- v. Actual or potential local employment due to the economic development project.
- vi. Actual and potential enhancement of tax and other revenues to the borough related to the project.
- vii. Existing and reasonably foreseeable land use patterns and ownership.

**SECTION IV. ACKNOWLEDGEMENT**

*I hereby affirm all the information submitted with this application is true and correct to the best of my knowledge. I understand that incomplete applications will not be accepted and that all fees must be paid prior to review of this application.*

SIGNATURE OF APPLICANT



DATE

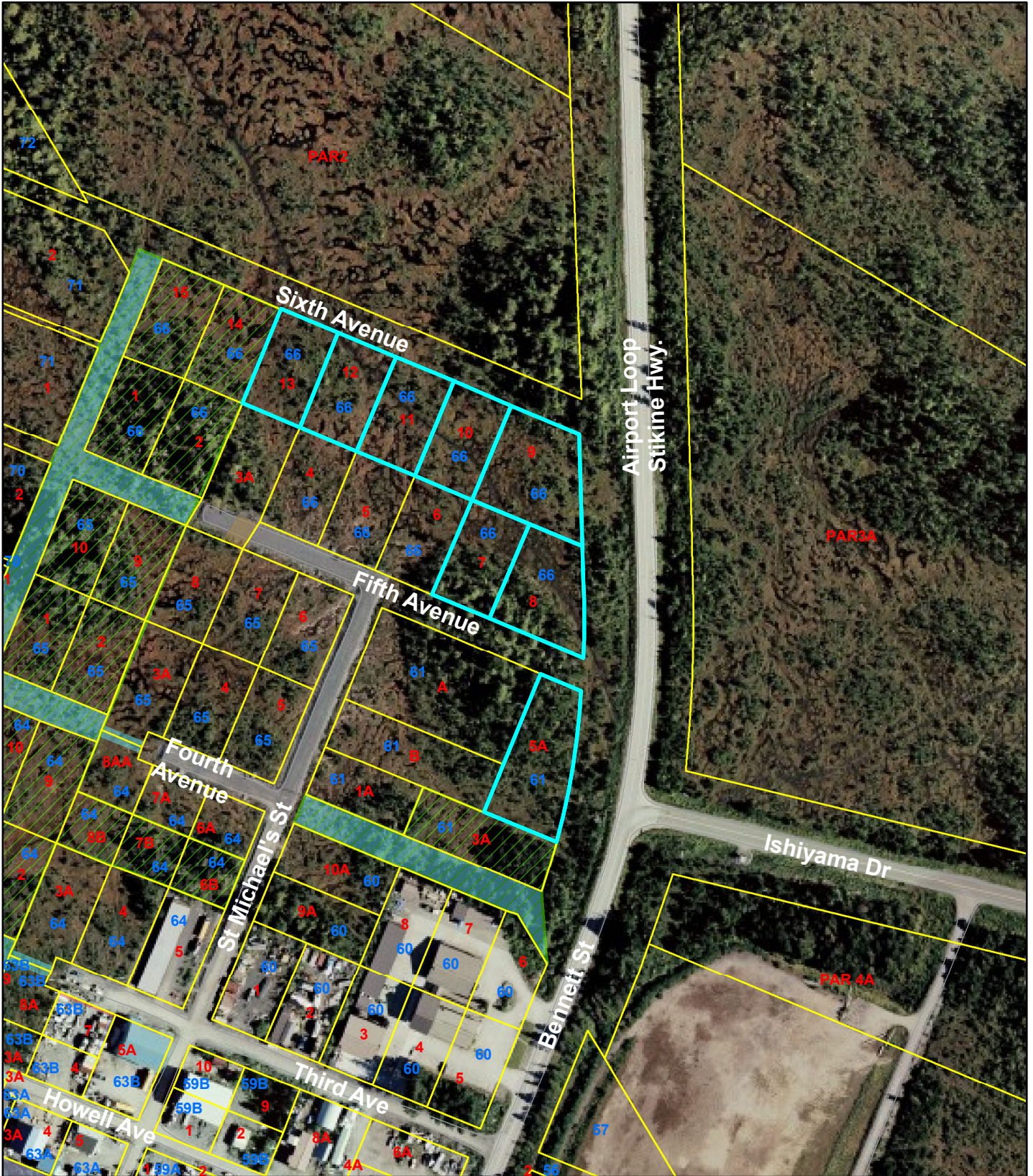
5/31/24

<b>Requested Lots for Purchase</b>			
<b>Pracel</b>	<b>Block</b>	<b>Lot</b>	<b>Plat</b>
02-028-204	61	5A	2001-7
02-028-113	66	8	92-9
02-028-111	66	7	92-9
02-028-115	66	9	92-9
02-028-117	66	10	92-10
02-028-119	66	11	92-9
02-028-121	66	12	92-9
02-028-12	66	13	92-9



# CITY AND BOROUGH OF WRANGELL, ALASKA

Item b.



Public Map



1 inch = 221.600956 feet

64 Date: 6/6/2024

**DISCLAIMER: THESE MAPS ARE FOR PLANNING PURPOSES ONLY.  
PROPERTY LINES ARE APPROXIMATE. AERIAL 2002.**



**GENERAL NOTES**

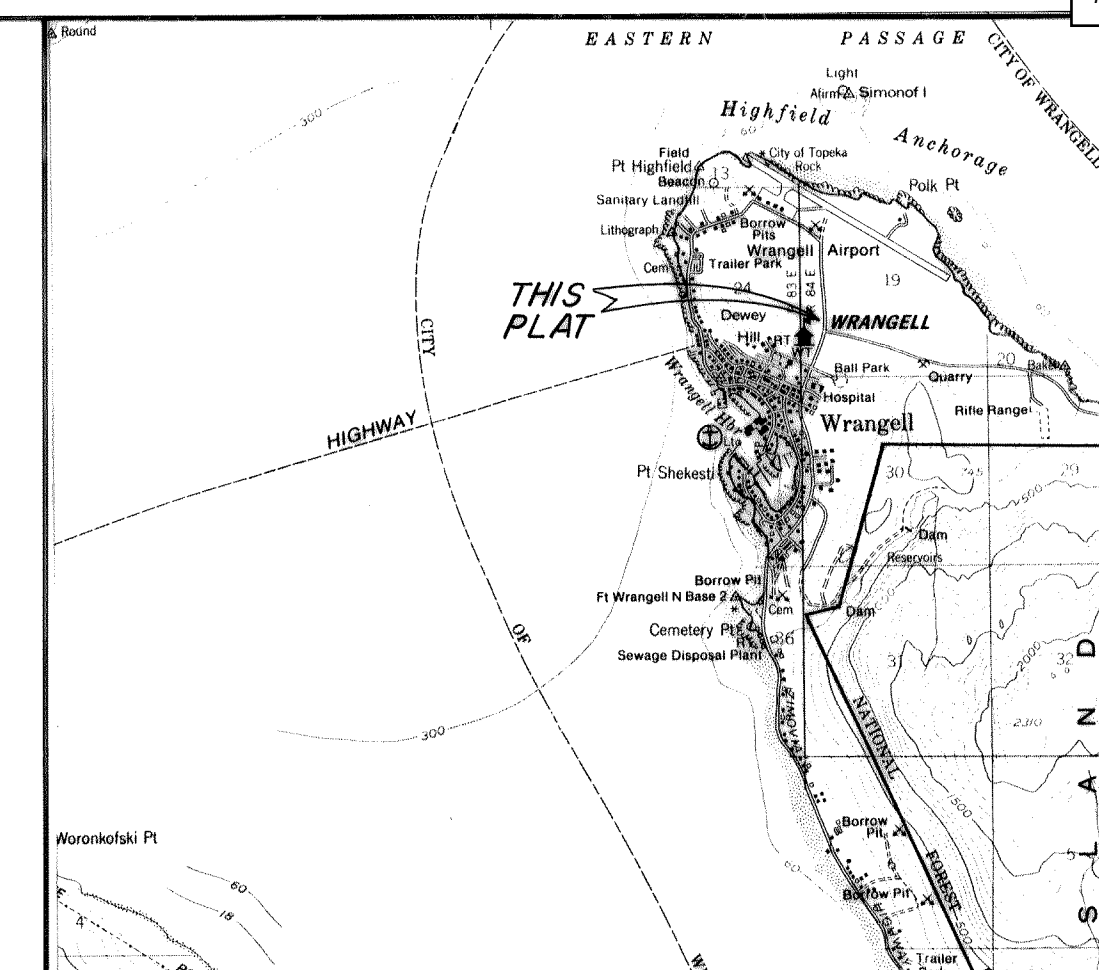
1. THE BASIS OF BEARING UTILIZED TO CONDUCT THIS SURVEY WAS THE COMPUTED INVERSE BETWEEN THE 3" ALUMINUM CAP ON REBAR MONUMENT AT THE NORTH WEST CORNER OF LOT 6, BLOCK 60 AND THE CROSS ON ROCK MONUMENT AT CORNER 36, U.S. SURVEY 125, HAVING AN ACCEPTED BEARING OF N 30°01'W.
2. WHERE RECORD SURVEY COURSES (BEARINGS AND/OR DISTANCES) DIFFER FROM MEASURED AND/OR COMPUTED COURSES, THE RECORD COURSE IS SHOWN WITHIN PARENTHESES, WHILE THE MEASURED AND/OR COMPUTED COURSE IS SHOWN WITHOUT PARENTHESES.
3. THE ACCURACY OF THIS SURVEY IS GREATER THAN 1:10,000.
4. ALL BEARINGS SHOWN ARE TRUE BEARINGS AND ARE ORIENTED TO THE BASIS-OF-BEARING AND DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES.
5. CUL DE SAC'S SHOWN ON THE WEST END OF HOWELL, THIRD, FOURTH AND FIFTH AVENUE ARE TEMPORARY EASEMENTS FOR THE CONSTRUCTION OF TURN AROUNDS. AT THE TIME MISSION STREET IS CONSTRUCTED TO THESE STREETS, THESE CUL DE SAC EASEMENTS SHALL BE CONSIDERED VACATED BY THE CITY OF WRANGELL.

CURVE DATA		CURVE DATA		CURVE DATA		CURVE DATA	
CURVE	RADIUS	TANGENT	LENGTH	DELTA	CHORD	CH. BEARING	
(1)	1332.40'	83.30'	166.38'	7°09'15"	166.27'	S 16°13'15"W	
(2)	1332.40'	85.32'	170.41'	7°19'40"	170.29'	S 08°58'45"W	
(3)	1332.40'	44.63'	89.22'	3°50'10"	89.21'	S 01°07'15"W	
(4)	1432.40'	79.58'	158.99'	6°21'35"	158.91'	S 02°22'55"W	
(5)	1432.40'	194.70'	387.03'	15°28'55"	385.86'	S 13°18'10"W	
(6)	1432.40'	28.21'	56.41'	2°15'25"	56.41'	S 22°10'20"W	
(7)	50.00'	114.56'	115.93'	132°50'37"	91.65'	S 66°42'00"E	
(8)	50.00'	86.60'	104.72'	120°00'00"	86.60'	S 66°42'00"E	

**LEGEND**

- ⊕ B.L.M. CROSS ON ROCK MONUMENT
- ⊕ CONCRETE HIGHWAY MONUMENT
- ⊙ ALUMINUM PIPE MONUMENT BY OTHERS
- 3" ALCAP ON REBAR MONUMENT LS-3337
- 1 1/2" ALCAP ON REBAR MONUMENT BY OTHERS
- ⊕ BRAUN ALUMINUM PIPE MONUMENT
- BRAUN 4"X4" WOOD POST MONUMENT
- BRAUN 1 1/2" ALCAP ON REBAR MONUMENT
- BRAUN 1 1/2" ALUMINUM STEM CAP GROUTED IN ROCK
- ⊕ BRASS CAP MONUMENT

U.S.S. No. 125  
U.S.S. No. 1119



**VICINITY MAP**

SOURCE: USGS QUADRANGLE PETERSBURG B-2  
DATE: 1986 SCALE: 1 INCH = 1 MILE

**SURVEYOR'S CERTIFICATE**

I, RICK G. BRAUN, L.S., CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ALASKA. THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF LANDS SURVEYED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THE DISTANCES AND BEARINGS ARE SHOWN CORRECTLY; AND THAT ALL PERMANENT EXTERIOR CONTROL MONUMENTS, ALL OTHER MONUMENTS, AND LOT CORNERS HAVE BEEN SET AND STAKED.



**CERTIFICATE OF ACCEPTANCE**

BY THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
WASTE WATER DISPOSAL:  
THE ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION HAS REVIEWED PLANS FOR THIS SUBDIVISION'S WASTEWATER DISPOSAL, AND APPROVES THIS SUBDIVISION FOR PLATTING. ALL LOTS FOR THIS SUBDIVISION SYSTEM ARE APPROVED FOR CONNECTION TO THE CITY OF WRANGELL SEWER SYSTEM ONLY.

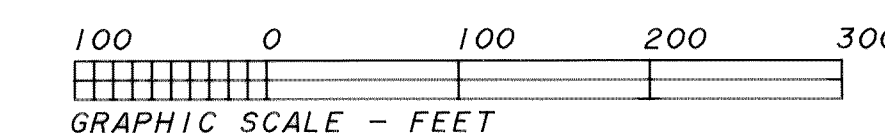
*Carol Regan, Waste Manager* 6-25-92  
NAME AND TITLE OF ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION APPROVING OFFICIAL

**WRANGELL INDUSTRIAL PARK EXPANSION SUBDIVISION**

A PLAT OF A SUBDIVISION OF BLOCKS 61, 63, 64, 65 AND 66 OF U.S. SURVEY No. 1119

AND OF A PORTION OF PARCEL 2 OF A.S.L.S. No. 84-83  
WRANGELL RECORDING DISTRICT

CLIENT: CITY OF WRANGELL  
P.O. BOX 531  
WRANGELL, AK 99929



**SURVEYOR**  
**RICK G. BRAUN, L.S.**  
P.O. BOX 211, PETERSBURG, AK 99833  
PH (907) 772-3986  
SURVEY COMPLETED 4/23/92 DRAWN BY R.B.  
SCALE AS SHOWN PROJ. NO. COW892

RECORDED - FILED  
WRANGELL REC. DIST.  
DATE August 2, 1992  
TIME 2:11  
BY City of Wrangell  
WRANGELL 99929

**CERTIFICATE OF PAYMENT OF TAXES**

STATE OF ALASKA )  
 ) ss.  
FIRST JUDICIAL DISTRICT )

I, THE UNDERSIGNED, BEING DULY APPOINTED AND QUALIFIED, AND ACTING ASSESSOR FOR THE CITY OF WRANGELL, DO HEREBY CERTIFY THAT, ACCORDING TO THE RECORDS OF THE CITY OF WRANGELL, THE FOLLOWING DESCRIBED PROPERTY IS CARRIED ON THE TAX RECORDS IN THE NAME OF: City of Wrangell  
AND THAT, ACCORDING TO THE RECORDS IN MY POSSESSION, ALL TAXES ASSESSED AGAINST SAID LANDS AND IN FAVOR OF THE CITY OF WRANGELL ARE PAID IN FULL; THAT CURRENT TAXES FOR THE YEAR \_\_\_\_\_ WILL BE DUE ON OR BEFORE July 1, 1992  
DATED THIS 14 DAY OF July, 1992  
AT WRANGELL, ALASKA.  
*Christie L. Jamies*  
TREASURER - CITY OF WRANGELL

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

7-30-92  
DATE 7-30-92 *David R. Blahnik*  
MAYOR, CITY OF WRANGELL

NOTARY'S ACKNOWLEDGMENT  
U.S. OF AMERICA  
STATE OF ALASKA

CITY OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS 30<sup>TH</sup> DAY OF July, 1992, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED David R. Blahnik TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND WHO ACKNOWLEDGED TO ME THAT he SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN SPECIFIED.

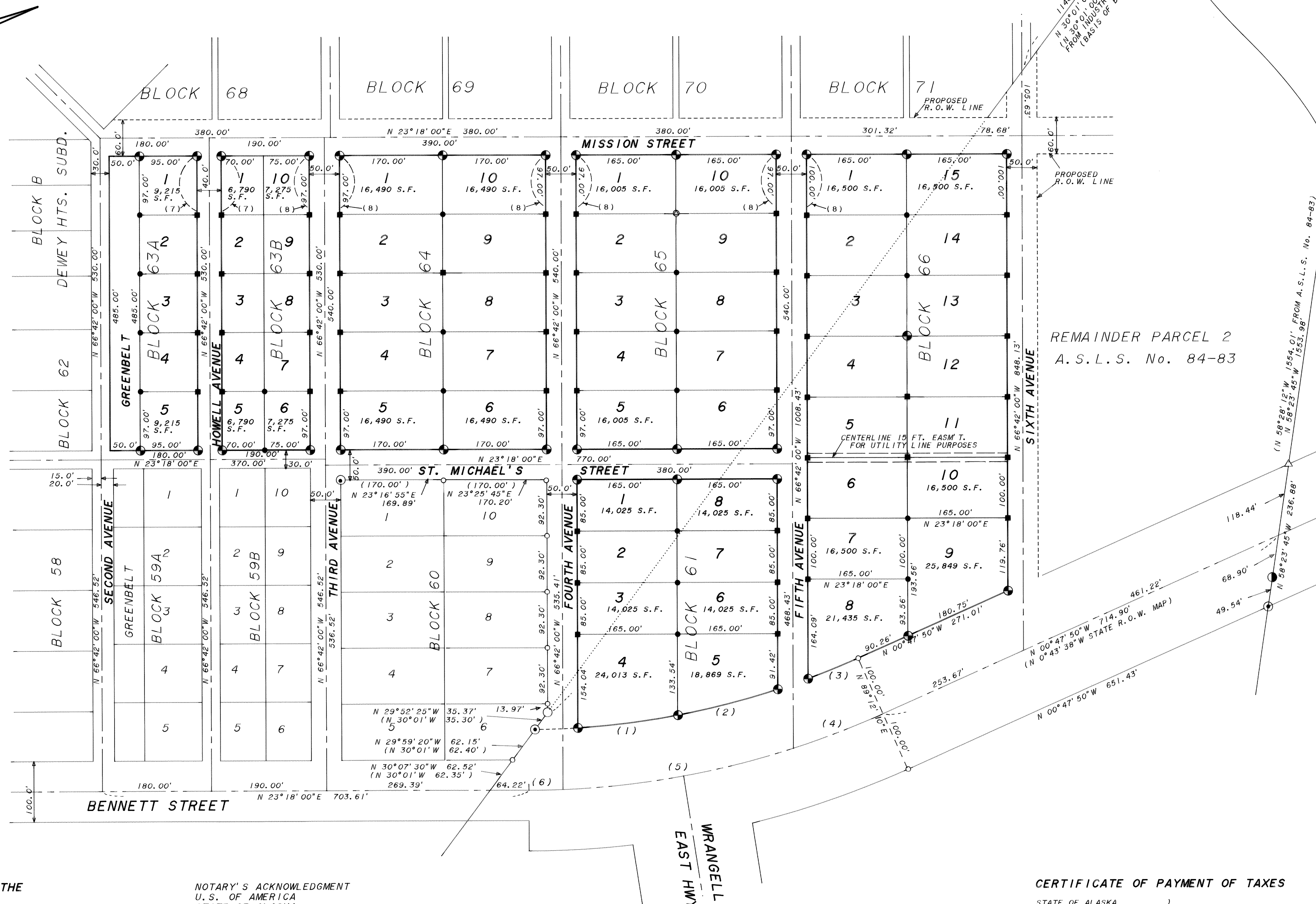
WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.  
*Christie L. Jamies*  
NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA  
MY COMMISSION EXPIRES 10-24-94

**CERTIFICATE OF APPROVAL BY THE PLATTING BOARD**

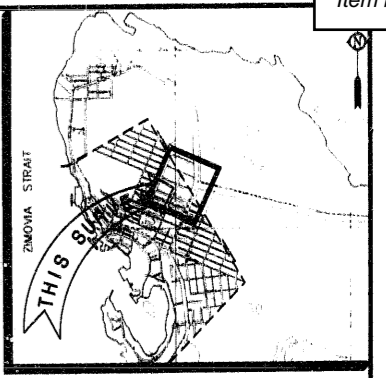
I, HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WRANGELL, AND THAT SAID PLAT HAS BEEN APPROVED BY THE BOARD BY PLAT RESOLUTION NO. 7-14-92, DATED July 14, 1992 AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE DISTRICT MAGISTRATE, EX OFFICIO RECORDER, WRANGELL, ALASKA.

Christie L. Jamies  
DATE 7-14-92 CHAIRMAN, WRANGELL PLATTING BOARD

*Christie L. Jamies*  
CLERK, WRANGELL PLATTING BOARD



WRANGELL 92-9

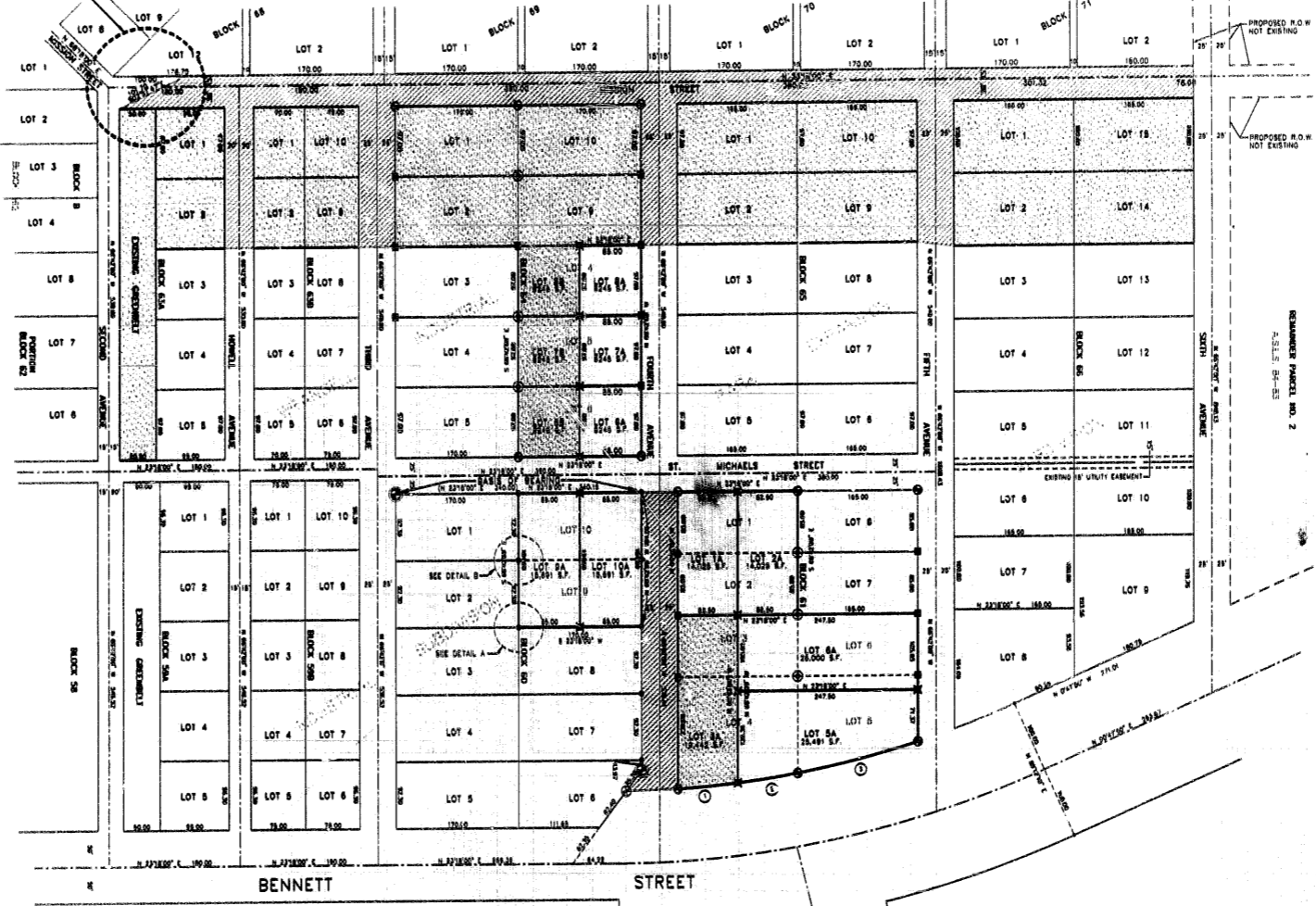


VICINITY MAP  
NOT TO SCALE

CURVE DATA					
①	Δ = 03°33'48" R = 1332.40' L = 82.87' C = 83.50'	②	Δ = 03°35'28" R = 1332.40' L = 83.51' C = 83.50'	③	Δ = 07°19'40" R = 1332.40' L = 170.41' C = 170.29'
CHD BRG = S18°00'54"W		CHD BRG = S14°26'04"W		CHD BRG = S08°30'47"W	



AMENDED PLAT REVISION

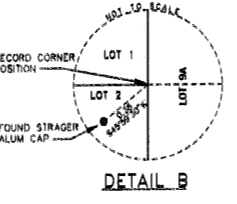
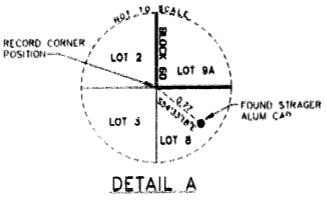


- LEGEND**
- BRAUN PRIMARY ALUMINUM CAP RECOVERED
  - ⊙ STRAGER PRIMARY ALUMINUM CAP RECOVERED
  - BRAUN 4"x4" WOOD POST RECOVERED
  - ⊙ BRAUN REBAR AND ALUMINUM CAP RECOVERED
  - ⊙ STRAGER REBAR AND ALUMINUM CAP RECOVERED
  - ⊙ REBAR AND ALUMINUM CAP SET - SCHEFF LS6700
  - ⊙ MURPH PRIMARY ALUMINUM CAP RECOVERED
- CENTERLINE
- ▨ UTILITY EASEMENTS WITHIN THE MITIGATED SET-ASIDE AREAS
- ▨ MITIGATED SET-ASIDE PROPERTIES (NO DEVELOPMENT ALLOWED)
- (N 82°18'00" E 340.00) DATA OF RECORD
- (N 82°18'00" E 340.16) DATA MEASURED OR COMPUTED

PLAT NOTES

- SET ASIDE PROPERTIES, AS SHOWN IN VARIOUS HATCHURES, IS THE MITIGATION REQUIRED BY THE CORPS OF ENGINEERS WE LAND FILL PERMIT TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS THAT MIGHT RESULT FROM THE FILL. THE CITY OF WRANGELL HAS A CORPS OF ENGINEER'S FILL PERMIT, PERMITTING DEVELOPMENT OF THE INDUSTRIAL PARK AS SHOWN, AND CAN SELL LOTS WITHIN THIS DEVELOPMENT.
- TOTAL PROJECT AREA = 33.82 ACRES  
TOTAL MITIGATED SET-ASIDE AREA = 7.13 ACRES  
TOTAL MITIGATED SET-ASIDE AREA WITH UTILITY EASEMENTS = 9.94 ACRES
- REFERENCE PLAT #92-9, WRANGELL INDUSTRIAL EXPANSION SUBDIVISION, RECORDED WITHIN WRANGELL RECORDING DISTRICT.  
REFERENCE PLAT #95-8, AMENDED INDUSTRIAL SUBDIVISION PLAT, RECORDED WITHIN WRANGELL RECORDING DISTRICT.
- THE PURPOSE OF THIS AMENDED PLAT IS TO ELIMINATE THE UTILITY EASEMENT AS SHOWN ON MISSION STREET BETWEEN BLOCK 63A AND 65, BECAUSE THAT AREA HAS ALREADY BEEN FILLED AND/OR IMPROVED.

2001-7  
Wrangell, REC DIST 30<sup>th</sup>  
DATE: May 2, 2001  
TIME: 11:56 P.M.  
Prepared by:  
City of Wrangell



**CERTIFICATE OF OWNERSHIP AND DEDICATION**

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: 4-26-01  
Christie L. Spina  
MAYOR, CITY OF WRANGELL

**NOTARY'S ACKNOWLEDGMENT**

U.S. OF AMERICA  
STATE OF ALASKA  
CITY OF WRANGELL

THIS IS TO CERTIFY THAT ON THIS 26<sup>th</sup> DAY OF April, 2001, BEFORE ME, THE UNDERSIGNED A NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA, DULY COMMISSIONED AND SWORN, PERSONALLY APPEARED Christie L. Spina TO ME KNOWN TO BE THE IDENTICAL INDIVIDUAL(S) MENTIONED AND WHO EXECUTED THE WITHIN PLAT AND Christie L. Spina ACKNOWLEDGED TO ME THAT Christie L. Spina SIGNED THE SAME FREELY AND VOLUNTARILY FOR THE USES AND PURPOSES THEREIN SPECIFIED.

WITNESS MY HAND AND NOTARY SEAL THE DAY AND YEAR IN THIS CERTIFICATE FIRST HEREIN WRITTEN.

Christie L. Spina  
NOTARY PUBLIC IN AND FOR THE STATE OF ALASKA  
MY COMMISSION EXPIRES: 2002

**CERTIFICATE STATE OF ALASKA (FIRST JUDICIAL DISTRICT)**

I, THE UNDERSIGNED, BEING DULY APPOINTED AND QUALIFIED, AND AN ACTING AGENT FOR THE CITY OF WRANGELL, HEREBY CERTIFY, THAT ACCORDING TO THE RECORDS IN MY POSSESSION, THE FOLLOWING DESCRIBED PROPERTY IS CARRIED ON THE TAX RECORDS OF THE CITY OF WRANGELL, IN THE NAME OF City of Wrangell

AND THAT ACCORDING TO THE RECORDS IN MY POSSESSION, ALL TAXES ASSESSED AGAINST SAID LANDS ARE PAID IN FULL, THAT CURRENT TAXES FOR THE YEAR 2001 WILL BE DUE ON OR BEFORE AUGUST 16, 2001, DATED THIS 16<sup>th</sup> DAY OF April, 2001.

Christie L. Spina  
AGENT CITY OF WRANGELL

**CERTIFICATE OF APPROVAL BY THE PLANNING COMMISSION**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WRANGELL PLANNING COMMISSION, AND THAT SAID PLAT HAS BEEN APPROVED BY THE COMMISSION BY PLAT RESOLUTION NO. 2001-10, DATED 4-20-01, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT MAGISTRATE, EX-OFFICIO RECORDER, WRANGELL, ALASKA.

DATE: 4-20-01  
William Schuch  
CHAIRMAN, PLANNING COMMISSION

Ruth Crayne  
SECRETARY

**CERTIFICATE OF APPROVAL BY THE COUNCIL**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WRANGELL COUNCIL AS RECORDED IN MINUTE BOOK 1156, PAGE 10, DATED 4-20-01, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE DISTRICT COURT, EX-OFFICIO RECORDER, WRANGELL, ALASKA.

DATE: 4-27-01  
Christie L. Spina  
MAYOR, CITY OF WRANGELL

ATTEST:  
Christie L. Spina  
CITY CLERK

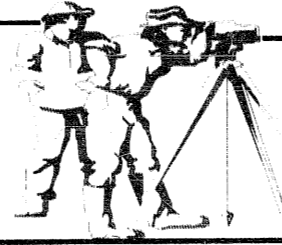


DESIGNED: GGS  
DRAWN: TJS  
CHECKED: GGS  
DATE OF SURVEY: OCTOBER 2000  
DATE OF PLAT: MARCH 2001  
SCALE: 1"=100'  
SURVEYOR: GREGORY G. SCHEFF

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT I AM A REGISTERED SURVEYOR, LICENSED IN THE STATE OF ALASKA, AND THAT IN OCTOBER 2000, A SURVEY OF THE HEREIN DESCRIBED LANDS WAS CONDUCTED UNDER MY DIRECT SUPERVISION AND THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF THE FIELD NOTES OF SAID SURVEY, AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT ACCORDING TO SAID FIELD NOTES.

3-26-01  
GREGORY G. SCHEFF LS 6700



**GREG SCHEFF & ASSOCIATES**  
LAND SURVEYORS

BOX 1331 WRANGELL, ALASKA 99929  
PHONE (907) 974-2177  
FAX (907) 974-2187

**AMENDED INDUSTRIAL PARK SUBDIVISION III**

THE REPLAT OF BLOCKS 60, AMENDED INDUSTRIAL SUBDIVISION AND BLOCKS 61 AND 64, WRANGELL INDUSTRIAL PARK EXPANSION SUBDIVISION AND MITIGATION SET-ASIDE PROPERTY FOR THE DEVELOPMENT OF THE INDUSTRIAL SUBDIVISION WITHIN BLOCKS 63A, 63B, 64, 65, 66 AND INCLUDING THE RIGHT-OF-WAYS OF HOWELL, THIRD, FOURTH, FIFTH AVENUES AND MISSION ST.

CLIENT: CITY OF WRANGELL  
BOX 531  
WRANGELL, ALASKA 99929