



City and Borough of Wrangell  
Port Commission  
AGENDA

Wednesday, September 06, 2023  
6:00 PM

Location: Borough Assembly Chambers  
City Hall

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. APPROVAL OF MINUTES** (*MOTION - Move to approve the Minutes, as presented*)

a. Port Commission Minutes 4/27/23

**4. AMENDMENTS TO THE AGENDA**

**5. CORRESPONDENCE**

**6. PERSONS TO BE HEARD**

**7. HARBORMASTER'S REPORT**

a. Harbormasters Report September 2023

**8. COMMISSIONER REPORTS**

**9. UNFINISHED BUSINESS**

**10. NEW BUSINESS**

a. Conditional Use Permit application request for a temporary structure for personal use on a portion of Lot 3 and Lot 4, Shoemaker Bay, zoned Shoemaker Bay Development, Plat 99-8, requested by Bernard Massin.

b. Request from Randy Easterly to purchase Borough Real Property/Tidelands identified as Lot 24A, Plat 2006-6, Block 83A,

c. Request from Wrangell Cooperative Association to purchase a portion of Borough Real Property/Tidelands identified as Lot 1, Plat 84-5, of the ATS 1209 Subdivision, zoned Open Space/Public.

**11. NEXT AGENDA ITEMS**

**12. ADJOURN**

**Minutes of the Regular Wrangell Port Commission Meeting  
Held April 27<sup>th</sup>, 2023**

Chairman John Yeager called the Regular Port Commission meeting to order at 6:00 p.m. on April 27<sup>th</sup>, 2023.

PRESENT: Commissioners Martin, Yeager, Davies, Buness, and Morrison.

Harbormaster Steve Miller was also in attendance.

**APPROVAL OF MINUTES**

a. Approval of minutes from meetings held on April 6<sup>th</sup>, 2023.

***M/S: Martin/Morrison to approve the minutes as presented. Motion approved unanimously.***

**AMENDMENTS TO THE AGENDA** - None.

**CORRESPONDENCE/PERSONS TO BE HEARD**- None.

**HARBORMASTER'S REPORT**

**Harbors:** Routine maintenance in Meyers Chuck on April 19<sup>th</sup> and 20<sup>th</sup>, including replacing a bull rail, planks, and fixing a steel piling. Collaboration with PN&D and their engineering team on cost-saving measures.

**Port:** Preparations for the summer season, cleaning city dock, and setting up summer floats.

**MSC:** Operating at full capacity, fully booked through the end of June.

**COMMISSIONER REPORTS**

- Morrison - None.
- Buness - None.
- Davies – None.
- Martin – None.
- Yeager – None.

**UNFINISHED BUSINESS** - None.



## NEW BUSINESS -

### **Assignment of WMSC Lease Lot 3**

*M/S: Martin/Davies to approve assignment of WMSC Lease Lot 3 from Tyler Thompson, dba Wrangell Machine Shop to Dan Thompson, dba Trotsky & Thorson Vessel Construction for the existing square footage size of 4,240 square ft. Motion approved unanimously.*

### **Modification to MSC Lease**

*M/S: Bunes/Morrison to approve the modification to MSC for Tyler Thompson dba Wrangell Machine Shop, swapping Lot 3 for Mill Dock, Lot 6, and amending the Monthly Lease amount. Motion approved unanimously.*

### **Purchase of Tidelands Parcel**

*M/S: Davies/Bunes to Recommend Approval of John Agostine request to purchase tidelands Parcel 02-015-113 Lot 15A, Plat 2004-9 and Parcel 02-0150111 Lot 14A Plat2004-9. Motion approved unanimously.*

### **Lease to Trident Seafoods**

*M/S: Bunes/Davies to Approve Lease to Trident Seafoods, parcel 02-023-700, Specifically 100ft NW from the southernmost portion old mill dock including the approach nearest the Trident Seafood plant. Motion approved unanimously.*

### **Recommendation of Wrangell Tourism Best Management Practices**

*M/S: Martin/Morrison to Approve Recommendation of Wrangell Tourism Best Management Practices. Motion approved unanimously.*

### **Budget Amendments**

*M/S: Martin/Morrison to Approve Amending the FY 2023 Budget in the Port and Harbor fund by transferring funds from harbor reserve account to the heritage harbor anode project account in the amount of \$27,770. Motion approved unanimously.*

### **Budget Amendments**

*M/S: Bunes/Martin to approve recommendation Amending the FY 2023 Budget in the Port And Harbor fund by transferring funds from Harbor Reserve Account to the MSC pier Anode Project account in the amount of \$22,490. Motion approved unanimously.*

### **Budget Amendments**

*M/S: Bunes/Davies to approve recommendation amending the FY 2023 budget in the Port and Harbor fund by transferring funds from Harbor Reserve account to the T-Dock*

***anode installation project account in the amount of \$17,340 and authorizing its expenditures. Motion approved unanimously.***

NEXT AGENDA ITEMS:

The next Regular meeting will be held on June 1<sup>st</sup> , 2023.

The Regular Port Commission meeting was adjourned at 7:25 p.m.

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## Harbormaster Report September 7th, 2023

## Completed Projects (July/August):

1. Repaired work float by fixing the decking and reattaching piling hoops.
2. Replaced and repaired bull rail at the old mill dock.
3. Striped the boat launch parking lot.
4. Pressure washed the airplane float and replaced planking.
5. Pressure washed E dock, Heritage Harbor, Standard oil float, Fish and Game Float, and Inner Harbor.
6. Conducted grounds maintenance at all harbor parking lots every 2 weeks.
7. Completed compressor maintenance at the barge ramp.
8. Completed winch maintenance at the barge ramp.
9. Obtained annual certification for cranes at all harbors.
10. Completed concrete patching at City Dock.
11. Replaced deteriorating decking at the old mill dock.
12. Replaced spigots with new 3/4" and 1.5" valves at all harbors.
13. Repaired decking and bull rail at Reliance dock.
14. Replaced some decking at Reliance pier.
15. Annual billing completed and sent out. Shout out to the entire crew for putting in the extra time over the 4<sup>th</sup> of July holiday to make sure everything got done.

## Current Projects:

1. Security camera project with Chatham Electric: Pre-construction meeting expected in the first or second week of September. Substantial completion by March 14th, 2024.
2. Meyers Chuck project with PND. Awaiting information from the state granting agency regarding funding. We are confident of full funding as we are the sole Tier 1 applicant. Staff is recommending concept 2.2 for this project to stay within boundaries and accommodate larger vessels utilizing both sides of the float. We are seeking permission to procure and build floats in Wrangell to reduce costs and contribute to matching grant funding. Cost estimates and concepts included in the report.
3. Anode project with PND. The design is complete and ready to go out to bid once all approvals have been met. I Included the engineer drawings and cost estimates for discussion.

Updates:

1. Trident Seafoods is operational, and the Marine Service Center is currently full of vans for fish processing.
2. The Marine Service Center has experienced an increase in haul outs due to vessels running aground and needing repairs. Beneficial for local vendors, but unfortunate for vessel owners.
3. Completed a 1-week maintenance shutdown where we replaced bearings, sheaves, and cable on the 300-ton Ascom marine lift. Maintenance cost was higher than usual at around 30k primarily due to the cable change. This was an extensive maintenance list for a 10-year-old machine. Normal maintenance costs are typically 5k a year for both machines.
4. Cruise ship season is winding down with a handful of ships still arriving with the final ship Seabourn Odyssey, arriving October 8<sup>th</sup>. Due to staffing and unpredictable weather during the last few months of the season, we will be removing the summer floats on August 12th.

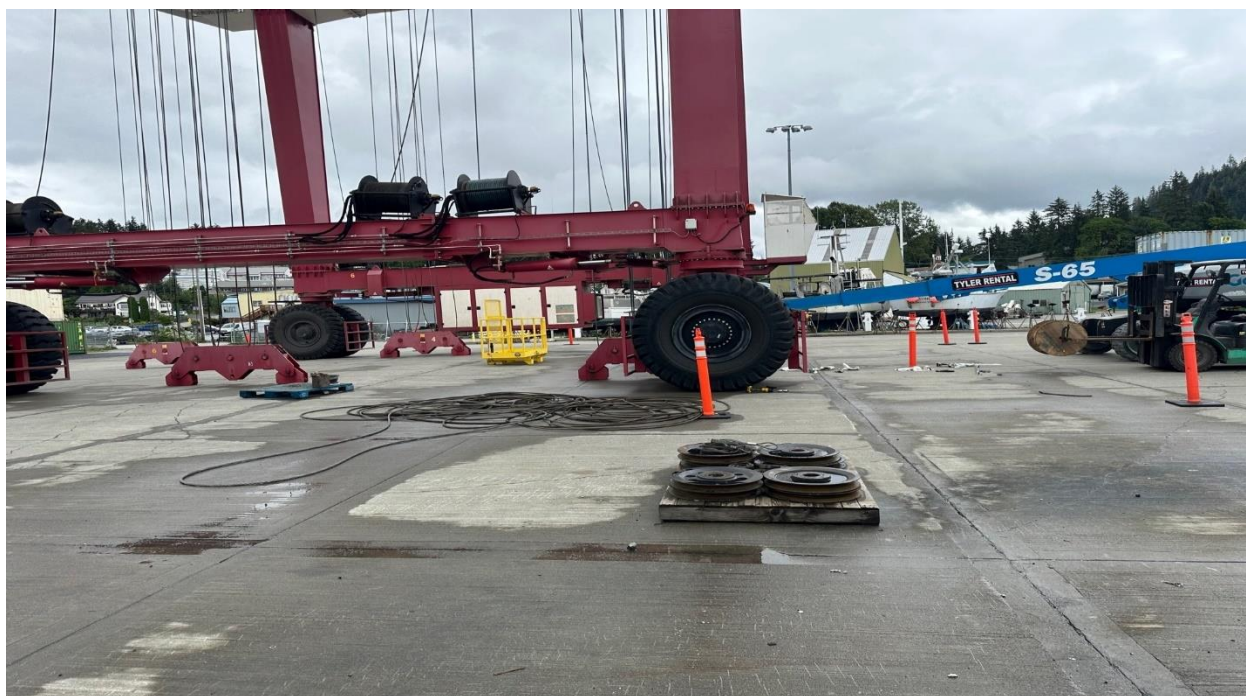


Set up to get the work done.





Sheaves and bearing replacement.

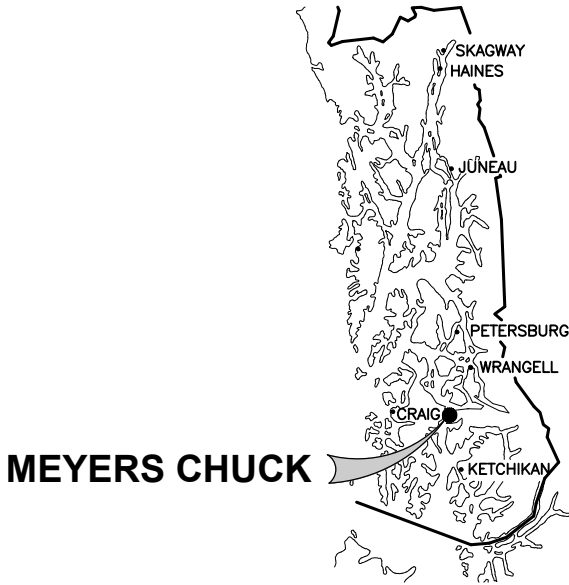


3600' of cable replaced.

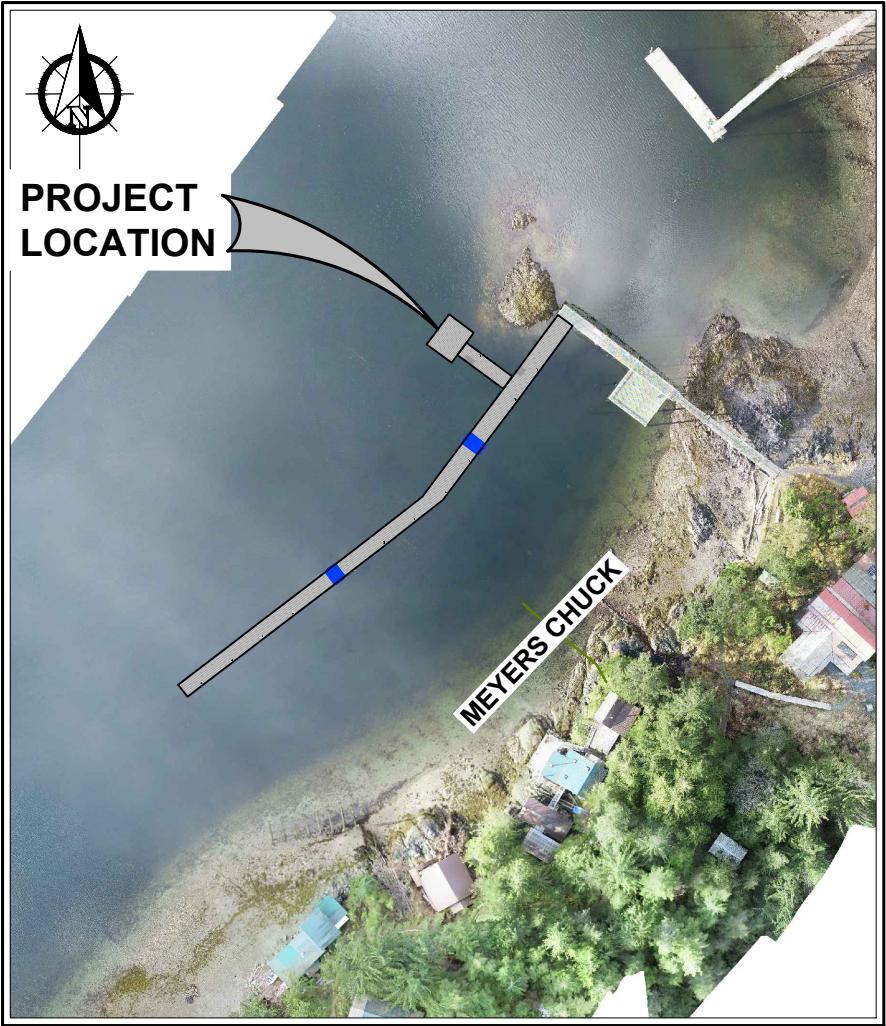


CITY & BOROUGH OF WRANGELL, ALASKA  
MEYERS CHUCK HARBOR IMPROVEMENTS

Item a.



LOCATION MAP



IMAGERY FROM:  
MEYERS CHUCK, ALASKA

VICINITY MAP  
NOT TO SCALE

DRAWING INDEX	
DWG. NO.	TITLE
C0.1	TITLE SHEET, VICINITY MAP AND DRAWING INDEX
C1.0	EXISTING CONDITIONS & SURVEY CONTROL
C2.1A	CONCEPT NO. 1A
C2.1B	CONCEPT NO. 1B
C2.2	CONCEPT NO. 2
C2.3	CONCEPT NO. 3
C2.4	CONCEPT NO. 4

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REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.



9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: BMI      CHECKED: JLD  
DRAWN: WRB      APPROVED: \_\_\_\_\_

SCALE:

PRELIMINARY  
LAYOUT

DATE: 06/8/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
MEYERS CHUCK HARBOR IMPROVEMENTS

SHEET TITLE:  
TITLE SHEET, VICINITY MAP  
AND DRAWING INDEX

PND PROJECT NO.: 232037      C.A.N. NO.: AECC250

C0.1

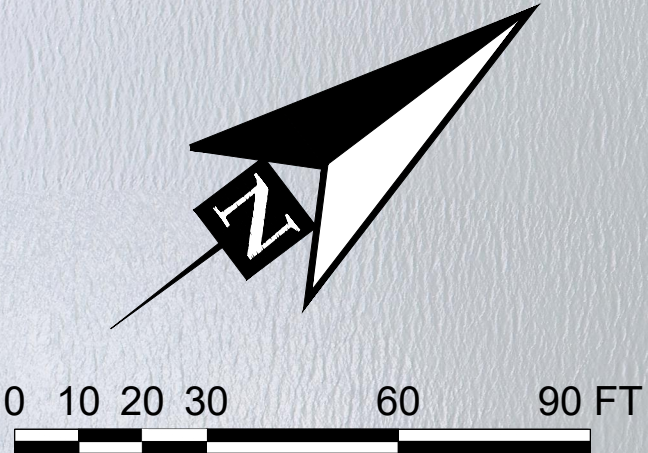


NOTES

1. THE VERTICAL DATUM FOR THIS SURVEY IS MEAN LOWER LOW WATER (MLLW)=0.00' BASED ON NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) TIDE STATION, 9450753, MAGNETIC POINT, UNION BAY, ERNEST SOUND. THE BASIS OF ELEVATION IS BENCH MARK "VIXEN HBR 2009", HAVING A PUBLISHED ELEVATION OF 22.992 U.S. FEET.
2. ELEVATIONS THIS SURVEY WERE DETERMINED IN NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DERIVED FROM GNSS STATIC OBSERVATION, POST PROCESSED AND NETWORK ADJUSTED IN TRIMBLE BUSINESS CENTER V5.8, HOLDING NGS CONTINUOUSLY OPERATING REFERENCE STATIONS: AB49 KLAUOCKAIRAK2006, AB51 PETERSBURGAK2005, AND JNU1 JUNEAU WAAS 1. ELEVATIONS WERE ADJUSTED BY 4.179 U.S. FEET; THE MLLW TO NAVD88 DELTA; FOUND BY COMPARING NAVD88 VALUE PUBLISHED ON A SHARED OPUS SOLUTION FOR VIXEN HBR 2009 (18.812 U.S. FEET), AND THE MLLW ELEVATION FOR VIXEN HBR 2009 PUBLISHED ON THE BENCHMARK SHEETS FOR NOAA TIDE STATION 9450753, MAGNETIC POINT, UNION BAY ERNEST SOUND (22.992 U.S. FEET).  
N: 1429478.599  
E: 2976522.280
3. BASIS OF COORDINATES FOR THIS SURVEY ARE NAD 83, ALASKA STATE PLANE ZONE 1, IN U.S. SURVEY FEET. COORDINATES WERE DERIVED FROM GNSS STATIC OBSERVATION, POST PROCESSED AND NETWORK ADJUSTED IN TRIMBLE BUSINESS CENTER V5.8, HOLDING NGS CONTINUOUSLY OPERATING REFERENCE STATIONS: AB49 KLAUOCKAIRAK2006, AB51 PETERSBURGAK2005, AND JNU1 JUNEAU WAAS 1; TO DETERMINE THE FOLLOWING POSITION FOR POINT NUMBER 201:  
N: 1429478.599  
E: 2976522.280
4. PROPERTY STATUS SHOWN HEREON IS FROM PLATS OF RECORD. NO TITLE SEARCH WAS REQUESTED OR PREPARED FOR THIS SURVEY. RECORD PLATS WERE ROTATED AND SCALED USING THE CONVERGENCE ANGLE AND COMBINED SCALE FACTOR FOR POINT 202, DERIVED FROM GNSS STATIC OBSERVATION AND POST PROCESSED UTILIZING NGS OPUS.
5. DATA WAS COLLECTED USING GNSS REAL TIME KINEMATIC TECHNIQUES USING TRIMBLE R12I RECEIVERS AND TRIMBLE ACCESS 2023 SOFTWARE. BATHYMETRIC DATA WAS COLLECTED USING A SEAFLOOR SYSTEMS, OHMEX HYDROLITE SINGLE BEAM SONAR SYSTEM.
6. CONTOURS ARE IN FEET, WITH ONE FOOT INTERVALS.
7. FIELD SURVEY PERFORMED APRIL 20-21, 2023 BY PND ENGINEERS.

SURVEY CONTROL				
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
201	1429478.599	2976522.280	15.58	SAC [2" PND, MCPD-1 2023]
202	1429406.042	2976483.717	17.04	FBC [3.25" CONST. MON., 1985 L56284]
502	1428884.872	2975882.172	19.69	FBC [3.25" USS, S2673 B-1 1961]

\*NOT SHOWN HEREON



REVISIONS

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9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
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DESIGN: IB CHECKED: AH/BI  
DRAWN: IB APPROVED: BI

SCALE:  
1" = 30'

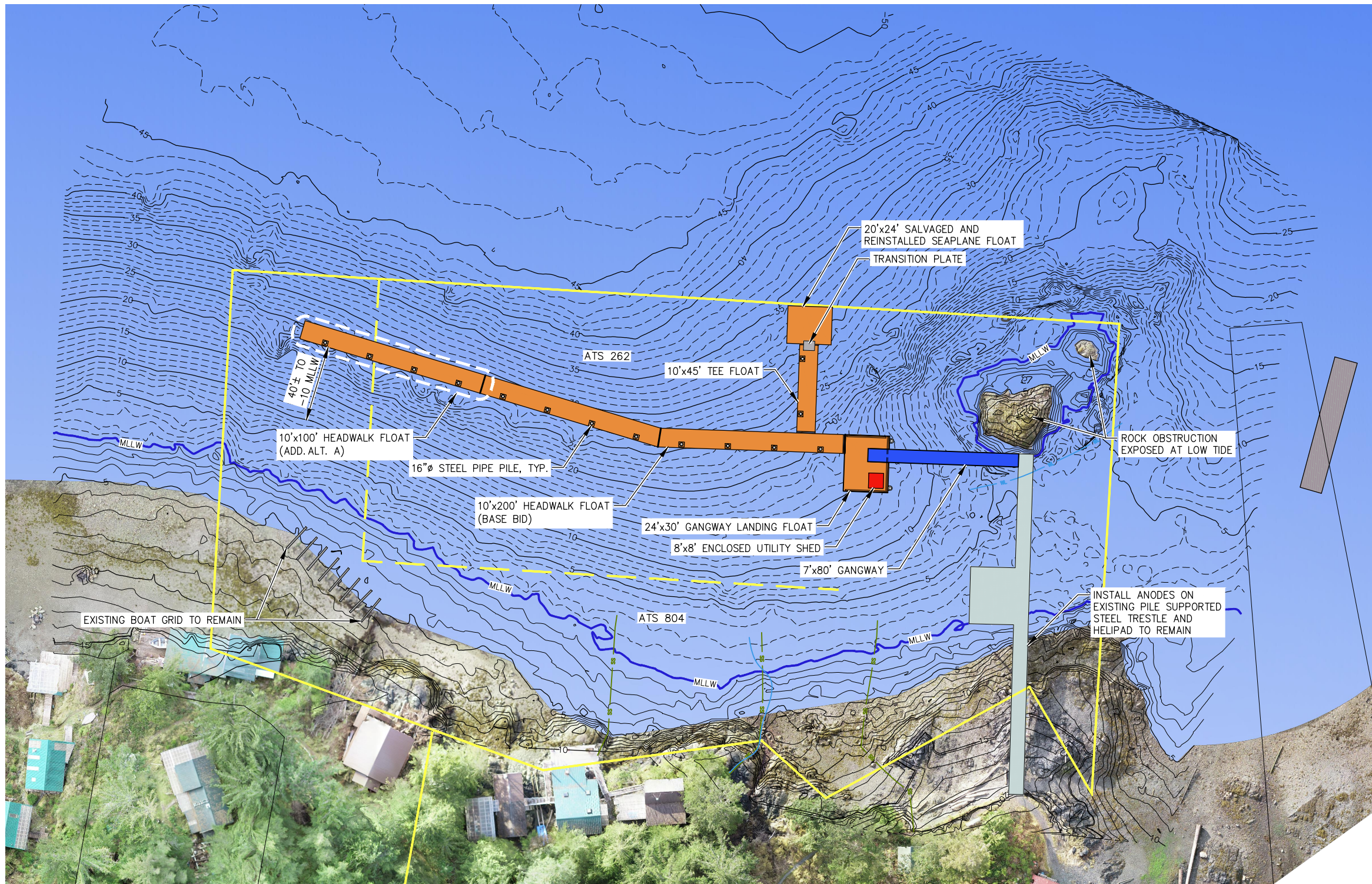
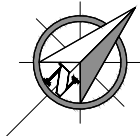
CITY OF WRANGELL, ALASKA  
MEYERS CHUCK PUBLIC DOCK

SHEET TITLE: EXISTING CONDITIONS  
&  
SURVEY CONTROL

PND PROJECT NO.: 232037 C.A.N.: AECC250

C1.0



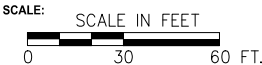


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PRELIMINARY  
LAYOUT

DATE: 06/8/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
MEYERS CHUCK HARBOR IMPROVEMENTS

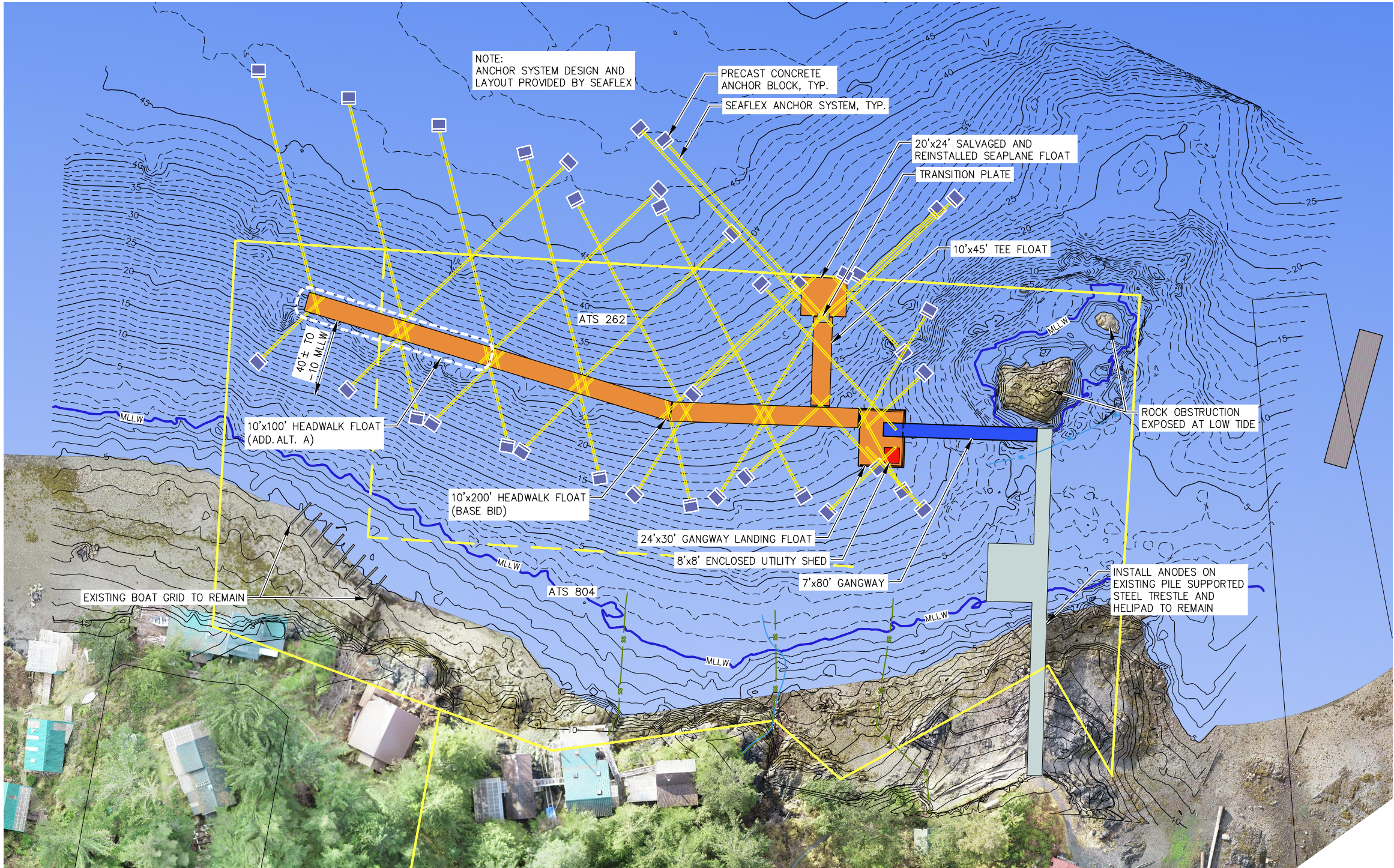
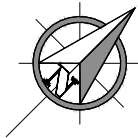
SHEET TITLE:  
CONCEPT NO. 1A

C2.1A

PND PROJECT NO.: 232037    C.A.N. NO.: AECC250



XXXX\232037 Meyers Chuck Harbor Replacement\G. Drawings\Marine\C2.1-C2.3.dwg - Bivanowicz - 6/7/2023



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

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DESIGN: BMI  
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APPROVED: \_\_\_\_\_

SCALE: SCALE IN FEET  
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PRELIMINARY  
LAYOUT

DATE: 06/8/2023

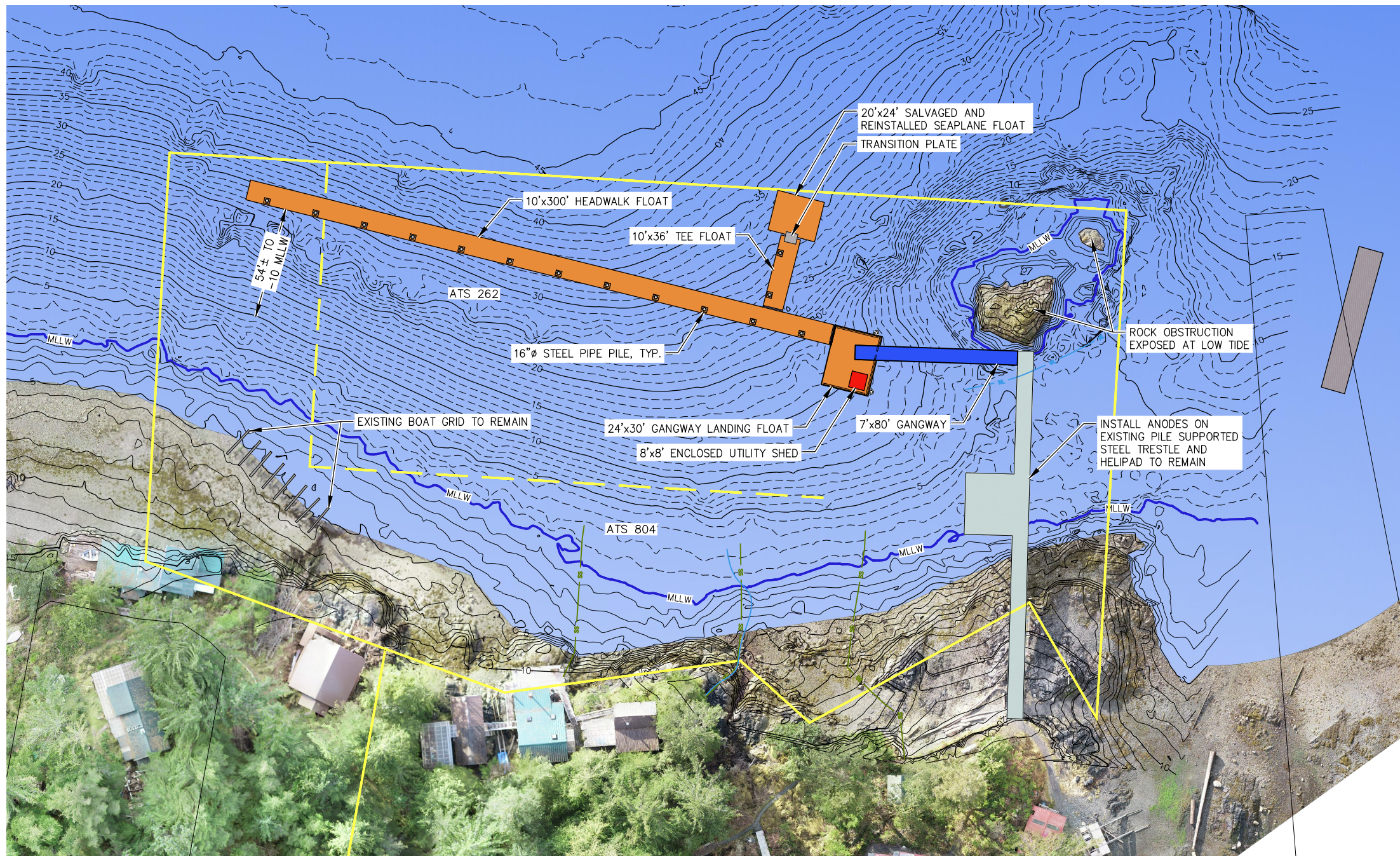
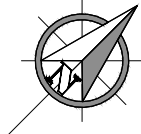
CITY & BOROUGH OF WRANGELL, ALASKA  
MEYERS CHUCK HARBOR IMPROVEMENTS

SHEET TITLE:  
CONCEPT NO. 1B

PND PROJECT NO.: 232037 C.A.N. NO.: AECC250

C2.1B





XXXX\232037 Meyers Chuck Harbor Replacement\G. Drawings\Marine\C2.1-C2.3.dwg - Bivanowicz - 6/7/2023

REVISIONS					
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DESIGN: BMI    CHECKED: JLD

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SCALE: SCALE IN FEET

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PRELIMINARY  
LAYOUT

DATE: 06/8/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
MEYERS CHUCK HARBOR IMPROVEMENTS

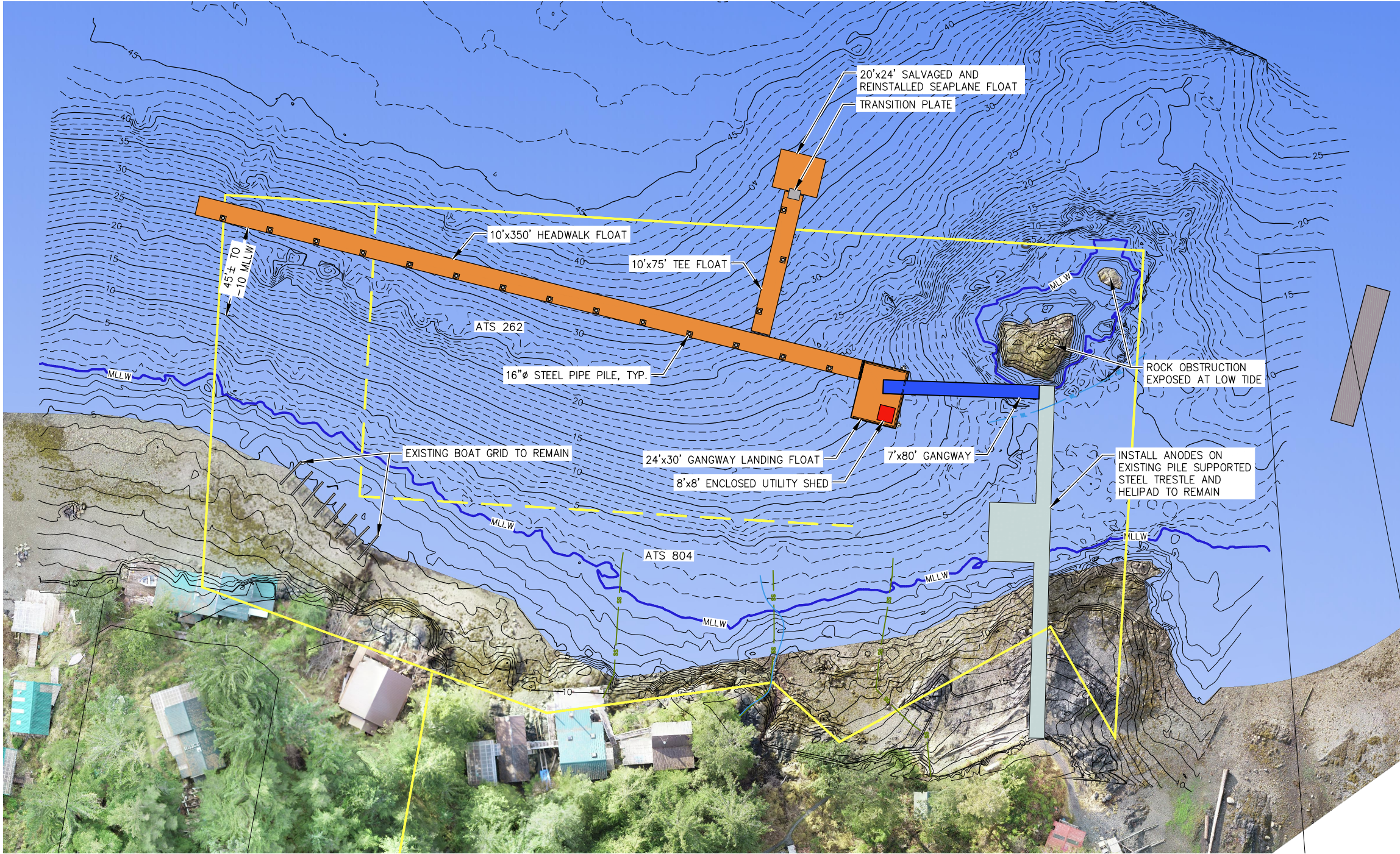
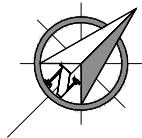
SHEET TITLE:  
CONCEPT NO. 2

C2.2

PND PROJECT NO.: 232037

C.A.N. NO.: AECC250





XXXX\232037 Meyers Chuck Harbor Replacement\G. Drawings\Marine\C2.1-C2.3.dwg - Bivanowicz - 6/7/2023

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

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ENGINEERS, INC.

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DESIGN: BMI  
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PRELIMINARY  
LAYOUT

DATE: 06/8/2023

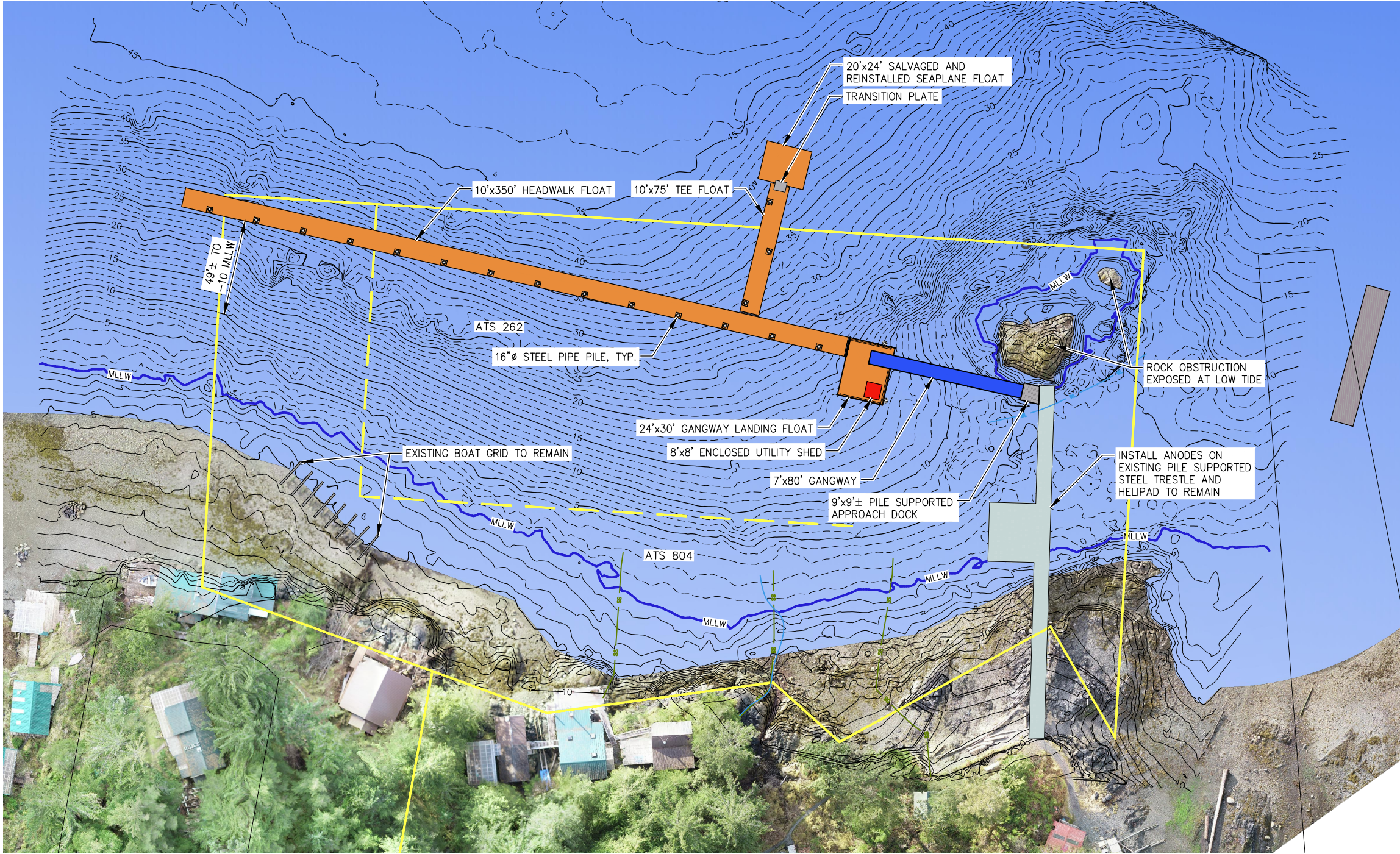
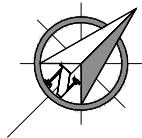
CITY & BOROUGH OF WRANGELL, ALASKA  
MEYERS CHUCK HARBOR IMPROVEMENTS

SHEET TITLE:  
CONCEPT NO. 3

PND PROJECT NO.: 232037 C.A.N. NO.: AECC250

C2.3





XXXX\232037 Meyers Chuck Harbor Replacement\G. Drawings\Marine\C2.1-C2.3.dwg - Bivanowicz - 6/7/2023

REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

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ENGINEERS, INC.

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DESIGN: BMI    CHECKED: JLD

DRAWN: WRB    APPROVED: \_\_\_\_\_

SCALE: SCALE IN FEET

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30

60 FT.

PRELIMINARY  
LAYOUT

DATE: 06/8/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
MEYERS CHUCK HARBOR IMPROVEMENTS

SHEET TITLE:  
CONCEPT NO. 4

PND PROJECT NO.: 232037    C.A.N. NO.: AECC250

C2.4





**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 1A**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: June 8, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$396,800
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2702.1	Construction Surveying	LS	All Req'd	\$50,000	\$50,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 200'	SF	2,000	\$350	\$700,000
2895.2	Tee Float, 10' x 45'	SF	450	\$350	\$157,500
2895.3	24' x 30' Gangway Landing Float	SF	720	\$350	\$252,000
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$50,000	\$50,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	12	\$17,500	\$210,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$25,000	\$25,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	52	\$700	\$36,400
2996.2	Install Pile Anode	EA	52	\$800	\$41,600
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
13121.1	8'x8' Utility Shed	LS	All Req'd	\$50,000	\$50,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$2,380,800</b>
<b>CONTINGENCY (15%)</b>					<b>\$357,120</b>
<b>PLANNING, PERMITTING, FINAL DESIGN</b>					<b>\$332,566</b>
<b>CONSTRUCTION ADMIN./INSPECTION (8%)</b>					<b>\$190,464</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$3,260,950</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Headwalk Float, 10' x 100'	SF	1,000	\$350	\$350,000
2896.1-A	Steel Pipe Mooring Pile, 16"x.500"	EA	4	\$17,500	\$70,000
2996.2-A	Supply Pile Anode, 6"x6"x48"	EA	8	\$600	\$4,800
2996.3-A	Install Pile Anode	EA	8	\$600	\$4,800
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$454,600</b>
<b>CONTINGENCY (15%)</b>					<b>\$68,190</b>
<b>TOTAL RECOMMENDED ADD. ALT. A BUDGET</b>					<b>\$522,790</b>
<b>TOTAL RECOMMENDED BASE BID &amp; ADD. ALT. A BUDGET</b>					<b>\$3,783,740</b>

*Note: Costs shown are estimated for construction year 2023. Costs shall be inflated at the applicable rate to reflect anticipated construction year.*



**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 1B**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: June 8, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$477,600
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2702.1	Construction Surveying	LS	All Req'd	\$75,000	\$75,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 200'	SF	2,000	\$350	\$700,000
2895.2	Tee Float, 10' x 45'	SF	450	\$350	\$157,500
2895.3	24' x 30' Gangway Landing Float	SF	720	\$350	\$252,000
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$50,000	\$50,000
2896.1	Supply Seaflex Anchor System	LS	All Req'd	\$250,000	\$250,000
2896.2	Install Seaflex Anchor System and Anchor Block	LS	All Req'd	\$200,000	\$200,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$25,000	\$25,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	28	\$700	\$19,600
2996.2	Install Pile Anode	EA	28	\$800	\$22,400
3301.1	Supply Precast Concrete Anchor Blocks	EA	30	\$7,500	\$225,000
13121.1	8'x8' Utility Shed	LS	All Req'd	\$50,000	\$50,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$2,865,600</b>
<b>CONTINGENCY (15%)</b>					<b>\$429,840</b>
<b>PLANNING, PERMITTING (no IHA), FINAL DESIGN</b>					<b>\$236,616</b>
<b>CONSTRUCTION ADMIN./INSPECTION (8%)</b>					<b>\$229,248</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$3,761,304</b>
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Headwalk Float, 10' x 100'	SF	1,000	\$350	\$350,000
2896.1-A	Supply Seaflex Anchor System	LS	All Req'd	\$50,000	\$50,000
2996.1-A	Install Seaflex Anchor System and Blocks	LS	All Req'd	\$20,000	\$20,000
3301.1-A	Supply Precast Concrete Anchor Blocks	EA	6	\$6,000	\$36,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$481,000</b>
<b>CONTINGENCY (15%)</b>					<b>\$72,150</b>
<b>TOTAL RECOMMENDED ADD. ALT. A BUDGET</b>					<b>\$553,150</b>
<b>TOTAL RECOMMENDED BASE BID &amp; ADD. ALT. A BUDGET</b>					<b>\$4,314,454</b>

*Note: Costs shown are estimated for construction year 2023. Costs shall be inflated at the applicable rate to reflect anticipated construction year.*



# MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 2

PND PROJECT 232037.01

PREPARED BY: PND ENGINEERS, INC.

Prepared on: June 8, 2023

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$477,100
2060.1	Demolition and Disposal	LS	All Req'd	\$175,000	\$175,000
2702.1	Construction Surveying	LS	All Req'd	\$50,000	\$50,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 300'	SF	3,000	\$350	\$1,050,000
2895.2	Tee Float, 10' x 36'	SF	360	\$350	\$126,000
2895.3	24' x 30' Gangway Landing Float	SF	720	\$350	\$252,000
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$50,000	\$50,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	16	\$17,500	\$280,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$25,000	\$25,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	44	\$700	\$30,800
2996.2	Install Pile Anode	EA	44	\$800	\$35,200
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
13121.1	8'x8' Utility Shed	LS	All Req'd	\$50,000	\$50,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$2,862,600</b>
<b>CONTINGENCY (15%)</b>					<b>\$429,390</b>
<b>PLANNING, PERMITTING, FINAL DESIGN</b>					<b>\$332,566</b>
<b>CONSTRUCTION ADMIN./INSPECTION (8%)</b>					<b>\$229,008</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$3,853,564</b>

*Note: Costs shown are estimated for construction year 2023. Costs shall be inflated at the applicable rate to reflect anticipated construction year.*





# MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 3

PND PROJECT 232037.01

PREPARED BY: PND ENGINEERS, INC.

Prepared on: June 8, 2023

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$556,500
2060.1	Demolition and Disposal	LS	All Req'd	\$175,000	\$175,000
2702.1	Construction Surveying	LS	All Req'd	\$50,000	\$50,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 350'	SF	3,500	\$350	\$1,225,000
2895.2	Tee Float, 10' x 75'	SF	750	\$350	\$262,500
2895.3	24' x 30' Gangway Landing Float	SF	720	\$350	\$252,000
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$50,000	\$50,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	19	\$17,500	\$332,500
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$25,000	\$25,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	66	\$700	\$46,200
2996.2	Install Pile Anode	EA	66	\$800	\$52,800
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
13121.1	8'x8' Utility Shed	LS	All Req'd	\$50,000	\$50,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$3,339,000</b>
<b>CONTINGENCY (15%)</b>					<b>\$500,850</b>
<b>PLANNING, PERMITTING, FINAL DESIGN</b>					<b>\$332,566</b>
<b>CONSTRUCTION ADMIN./INSPECTION (8%)</b>					<b>\$267,120</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$4,439,536</b>

*Note: Costs shown are estimated for construction year 2023. Costs shall be inflated at the applicable rate to reflect anticipated construction year.*







**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 4**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: June 8, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$583,100
2060.1	Demolition and Disposal	LS	All Req'd	\$175,000	\$175,000
2702.1	Construction Surveying	LS	All Req'd	\$50,000	\$50,000
2726.1	9' x 9' Approach Dock	LS	All Req'd	\$75,000	\$75,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 350'	SF	3,500	\$350	\$1,225,000
2895.2	Tee Float, 10' x 75'	SF	750	\$350	\$262,500
2895.3	24' x 30' Gangway Landing Float	SF	720	\$350	\$252,000
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$50,000	\$50,000
2896.1	Steel Pipe Dock Support Pile, 12.75"x.500"	EA	2	\$12,500	\$25,000
2896.2	Steel Pipe Mooring Pile, 16"x.500"	EA	19	\$17,500	\$332,500
2896.1	Drilled Pile Socket	EA	6	\$12,000	\$72,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$25,000	\$25,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	70	\$700	\$49,000
2996.2	Install Pile Anode	EA	70	\$800	\$56,000
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
13121.1	8'x8' Utility Shed	LS	All Req'd	\$50,000	\$50,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$3,498,600</b>
<b>CONTINGENCY (15%)</b>					<b>\$524,790</b>
<b>PLANNING, PERMITTING, FINAL DESIGN</b>					<b>\$332,566</b>
<b>CONSTRUCTION ADMIN./INSPECTION (8%)</b>					<b>\$279,888</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$4,635,844</b>

*Note: Costs shown are estimated for construction year 2023. Costs shall be inflated at the applicable rate to reflect anticipated construction year.*



**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 2**  
**ROM CONCEPT ESTIMATE**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: August 7, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$283,125
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2060.2	Salvage Existing Gangway & Deliver to Wrangell	LS	All Req'd	\$25,000	\$25,000
2702.1	Construction Surveying	LS	All Req'd	\$40,000	\$40,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 200'	SF	2,000	\$350	\$700,000
2895.2	Tee Float, 10' x 36'	SF	360	\$350	\$126,000
2895.3	24' x 30' Gangway Landing Float	SF	720	\$350	\$252,000
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$25,000	\$25,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	12	\$17,500	\$210,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$20,000	\$20,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	52	\$700	\$36,400
2996.2	Install Pile Anode	EA	52	\$800	\$41,600
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$2,170,625</b>
<b>CONTINGENCY (10%)</b>					<b>\$217,063</b>
<b>PLANNING, PERMITTING (no IHA), FINAL DESIGN</b>					<b>\$236,616</b>
<b>CONSTRUCTION ADMIN./INSPECTION (7%)</b>					<b>\$151,944</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$2,776,247</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
1505.1-A	Mobilization	LS	All Req'd	15%	\$68,190
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Headwalk Float, 10' x 100'	SF	1,000	\$350	\$350,000
2896.1-A	Steel Pipe Mooring Pile, 16"x.500"	EA	4	\$17,500	\$70,000
2996.2-A	Supply Pile Anode, 6"x6"x48"	EA	8	\$600	\$4,800
2996.3-A	Install Pile Anode	EA	8	\$600	\$4,800
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$522,790</b>
<b>CONTINGENCY (10%)</b>					<b>\$52,279</b>
<b>TOTAL RECOMMENDED ADD. ALT. A BUDGET</b>					<b>\$575,069</b>
<b>TOTAL RECOMMENDED BASE BID &amp; ADD. ALT. A BUDGET</b>					<b>\$3,351,316</b>

*Note: Engineer's Estimate based on recent projects of similar scope. Market volatility and material price escalation due to pandemic, as well as recent inflation may effect contractor bids and overall project costs.*





**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 2A**  
**ROM CONCEPT ESTIMATE**  
**AKDOT STYLE TIMBER FLOATS**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: August 7, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$225,375
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2060.2	Salvage Existing Gangway & Deliver to Wrangell	LS	All Req'd	\$25,000	\$25,000
2702.1	Construction Surveying	LS	All Req'd	\$40,000	\$40,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 200'	SF	2,000	\$225	\$450,000
2895.2	Tee Float, 10' x 36'	SF	360	\$225	\$81,000
2895.3	24' x 30' Gangway Landing Float	SF	720	\$225	\$162,000
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$25,000	\$25,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	12	\$17,500	\$210,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$20,000	\$20,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	52	\$700	\$36,400
2996.2	Install Pile Anode	EA	52	\$800	\$41,600
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$1,727,875</b>
<b>CONTINGENCY (10%)</b>					<b>\$172,788</b>
<b>PLANNING, PERMITTING (no IHA), FINAL DESIGN</b>					<b>\$236,616</b>
<b>CONSTRUCTION ADMIN./INSPECTION (7%)</b>					<b>\$120,951</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$2,258,230</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$49,440
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Headwalk Float, 10' x 100'	SF	1,000	\$225	\$225,000
2896.1-A	Steel Pipe Mooring Pile, 16"x.500"	EA	4	\$17,500	\$70,000
2996.2-A	Supply Pile Anode, 6"x6"x48"	EA	8	\$600	\$4,800
2996.3-A	Install Pile Anode	EA	8	\$600	\$4,800
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$379,040</b>
<b>CONTINGENCY (10%)</b>					<b>\$37,904</b>
<b>TOTAL RECOMMENDED ADD. ALT. A BUDGET</b>					<b>\$416,944</b>
<b>TOTAL RECOMMENDED BASE BID &amp; ADD. ALT. A BUDGET</b>					<b>\$2,675,174</b>

*Note: Engineer's Estimate based on recent projects of similar scope. Market volatility and material price escalation due to pandemic, as well as recent inflation may effect contractor bids and overall project costs.*





**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 2B**  
**ROM CONCEPT ESTIMATE**  
**AKDOT STYLE TIMBER LOG STRINGER FLOATS**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: August 7, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$243,855
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2060.2	Salvage Existing Gangway & Deliver to Wrangell	LS	All Req'd	\$25,000	\$25,000
2702.1	Construction Surveying	LS	All Req'd	\$40,000	\$40,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 200'	SF	2,000	\$265	\$530,000
2895.2	Tee Float, 10' x 36'	SF	360	\$265	\$95,400
2895.3	24' x 30' Gangway Landing Float	SF	720	\$265	\$190,800
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$25,000	\$25,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	12	\$17,500	\$210,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$20,000	\$20,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	52	\$700	\$36,400
2996.2	Install Pile Anode	EA	52	\$800	\$41,600
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$1,869,555</b>
<b>CONTINGENCY (10%)</b>					<b>\$186,956</b>
<b>PLANNING, PERMITTING (no IHA), FINAL DESIGN</b>					<b>\$236,616</b>
<b>CONSTRUCTION ADMIN./INSPECTION (7%)</b>					<b>\$130,869</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$2,423,995</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
1505.1-A	Mobilization	LS	All Req'd	15%	\$55,440
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Headwalk Float, 10' x 100'	SF	1,000	\$265	\$265,000
2896.1-A	Steel Pipe Mooring Pile, 16"x.500"	EA	4	\$17,500	\$70,000
2996.2-A	Supply Pile Anode, 6"x6"x48"	EA	8	\$600	\$4,800
2996.3-A	Install Pile Anode	EA	8	\$600	\$4,800
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$425,040</b>
<b>CONTINGENCY (10%)</b>					<b>\$42,504</b>
<b>TOTAL RECOMMENDED ADD. ALT. A BUDGET</b>					<b>\$467,544</b>
<b>TOTAL RECOMMENDED BASE BID &amp; ADD. ALT. A BUDGET</b>					<b>\$2,891,539</b>

*Note: Engineer's Estimate based on recent projects of similar scope. Market volatility and material price escalation due to pandemic, as well as recent inflation may effect contractor bids and overall project costs.*





**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 2C**  
**ROM CONCEPT ESTIMATE**  
**POLYTUB FLOAT PERFORMANCE SPECIFICATION**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: August 7, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$266,955
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2060.2	Salvage Existing Gangway & Deliver to Wrangell	LS	All Req'd	\$25,000	\$25,000
2702.1	Construction Surveying	LS	All Req'd	\$40,000	\$40,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Headwalk Float, 10' x 200'	SF	2,000	\$315	\$630,000
2895.2	Tee Float, 10' x 36'	SF	360	\$315	\$113,400
2895.3	24' x 30' Gangway Landing Float	SF	720	\$315	\$226,800
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$25,000	\$25,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	12	\$17,500	\$210,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$20,000	\$20,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	52	\$700	\$36,400
2996.2	Install Pile Anode	EA	52	\$800	\$41,600
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$2,046,655</b>
<b>CONTINGENCY (10%)</b>					<b>\$204,666</b>
<b>PLANNING, PERMITTING (no IHA), FINAL DESIGN</b>					<b>\$236,616</b>
<b>CONSTRUCTION ADMIN./INSPECTION (7%)</b>					<b>\$143,266</b>
<b>TOTAL RECOMMENDED BUDGET</b>					<b>\$2,631,202</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
1505.1-A	Mobilization	LS	All Req'd	15%	\$62,940
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Headwalk Float, 10' x 100'	SF	1,000	\$315	\$315,000
2896.1-A	Steel Pipe Mooring Pile, 16"x.500"	EA	4	\$17,500	\$70,000
2996.2-A	Supply Pile Anode, 6"x6"x48"	EA	8	\$600	\$4,800
2996.3-A	Install Pile Anode	EA	8	\$600	\$4,800
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$482,540</b>
<b>CONTINGENCY (10%)</b>					<b>\$48,254</b>
<b>TOTAL RECOMMENDED ADD. ALT. A BUDGET</b>					<b>\$530,794</b>
<b>TOTAL RECOMMENDED BASE BID &amp; ADD. ALT. A BUDGET</b>					<b>\$3,161,996</b>

*Note: Engineer's Estimate based on recent projects of similar scope. Market volatility and material price escalation due to pandemic, as well as recent inflation may effect contractor bids and overall project costs.*





**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 2D**  
**ROM CONCEPT ESTIMATE**  
**HDPE PIPE FLOAT - OWNER PROCURE/CONTRACTOR INSTALL**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: August 7, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID FLOAT PROCUREMENT</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$75,000
2896.1	HDPE Pipe Float Material Package	LS	All Req'd	\$500,000	\$500,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$575,000</b>
<b>CONTINGENCY (10%)</b>					<b>\$57,500</b>
<b>TOTAL RECOMMENDED BASE BID FLOAT PROCUREMENT BUDGET</b>					<b>\$632,500</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$151,455
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2060.2	Salvage Existing Gangway & Deliver to Wrangle	LS	All Req'd	\$25,000	\$25,000
2702.1	Construction Surveying	LS	All Req'd	\$40,000	\$40,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Install Headwalk Float, 10' x 200'	SF	2,000	\$65	\$130,000
2895.2	Install Tee Float, 10' x 36'	SF	360	\$65	\$23,400
2895.3	Install 24' x 30' Gangway Landing Float	SF	720	\$65	\$46,800
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$25,000	\$25,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	12	\$17,500	\$210,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$20,000	\$20,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	52	\$700	\$36,400
2996.2	Install Pile Anode	EA	52	\$800	\$41,600
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$1,161,155</b>
<b>CONTINGENCY (10%)</b>					<b>\$116,116</b>
<b>PLANNING, PERMITTING (no IHA), FINAL DESIGN</b>					<b>\$236,616</b>
<b>CONSTRUCTION ADMIN./INSPECTION (7%)</b>					<b>\$81,281</b>
<b>TOTAL RECOMMENDED BASE BID INSTALLATION BUDGET</b>					<b>\$1,595,167</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A FLOAT PROCUREMENT</b>					
1505.1-A	Mobilization	LS	All Req'd	15%	\$26,250
2896.1-A	HDPE Pipe Float Material Package	LS	All Req'd	\$175,000	\$175,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$201,250</b>
<b>CONTINGENCY (10%)</b>					<b>\$20,125</b>
<b>TOTAL RECOMMENDED ADD. ALT. A FLOAT PROCUREMENT BUDGET</b>					<b>\$221,375</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
1505.1-A	Mobilization	LS	All Req'd	15%	\$25,440
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Install Headwalk Float, 10' x 100'	SF	1,000	\$65	\$65,000
2896.1-A	Steel Pipe Mooring Pile, 16"x.500"	EA	4	\$17,500	\$70,000
2996.1-A	Supply Pile Anode, 6"x6"x48"	EA	8	\$600	\$4,800
2996.2-A	Install Pile Anode	EA	8	\$600	\$4,800
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$195,040</b>
<b>CONTINGENCY (10%)</b>					<b>\$19,504</b>
<b>TOTAL RECOMMENDED ADD. ALT. A INSTALLATION BUDGET</b>					<b>\$214,544</b>

**TOTAL RECOMMENDED PROCUREMENT, BASE BID & ADD. ALT. A BUDGET**

**\$2,663,586**

*Note: Engineer's Estimate based on recent projects of similar scope. Market volatility and material price escalation due to pandemic, as well as recent inflation may effect contractor bids and overall project costs.*





**MEYERS CHUCK FLOAT IMPROVEMENTS - CONCEPT 2E**  
**ROM CONCEPT ESTIMATE**  
**HDPE PIPE FLOAT - OWNER PROCURE & FRAME/CONTRACTOR INSTALL**  
**PND PROJECT 232037.01**  
**PREPARED BY: PND ENGINEERS, INC.**  
**Prepared on: August 7, 2023**

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID FLOAT PROCUREMENT</b>					
1505.1	Mobilization	LS	All Req'd	15%	\$60,000
2896.1	HDPE Pipe Float Material Package	LS	All Req'd	\$400,000	\$400,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$460,000</b>
<b>CONTINGENCY (10%)</b>					<b>\$46,000</b>
<b>TOTAL RECOMMENDED BASE BID FLOAT PROCUREMENT BUDGET</b>					<b>\$506,000</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>BASE BID</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$201,940
2060.1	Demolition and Disposal	LS	All Req'd	\$150,000	\$150,000
2060.2	Salvage Existing Gangway & Deliver to Wrangle	LS	All Req'd	\$25,000	\$25,000
2702.1	Construction Surveying	LS	All Req'd	\$40,000	\$40,000
2894.1	7'x80' ADA Compliant Aluminum Gangway	LS	All Req'd	\$175,000	\$175,000
2895.1	Install Headwalk Float, 10' x 200'	SF	2,000	\$65	\$130,000
2895.2	Install Tee Float, 10' x 36'	SF	360	\$65	\$23,400
2895.3	Install 24' x 30' Gangway Landing Float	SF	720	\$65	\$46,800
2895.4	Install Salvaged Seaplane Float	LS	All Req'd	\$25,000	\$25,000
2896.1	Steel Pipe Mooring Pile, 16"x.500"	EA	12	\$17,500	\$210,000
2896.1	Drilled Pile Socket	EA	3	\$15,000	\$45,000
2897.1	Supply Flotation Billet	EA	20	\$500	\$10,000
2897.2	Install Flotation Billet	EA	20	\$600	\$12,000
2899.1	Life Ring Cabinet and Base	EA	2	\$1,500	\$3,000
2899.2	Fire Cabinet and Base	EA	2	\$2,000	\$4,000
2899.3	Safety Ladders	EA	2	\$2,000	\$4,000
2899.4	Signs and Assemblies	LS	All Req'd	\$3,500	\$3,500
2902.1	Float Transition Plate	LS	All Req'd	\$20,000	\$20,000
2996.1	Supply Pile Anode, 6"x6"x48"	EA	52	\$700	\$36,400
2996.2	Install Pile Anode	EA	52	\$800	\$41,600
2996.3	Anodes Continuity Testing	LS	All Req'd	\$5,000	\$5,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$1,211,640</b>
<b>CONTINGENCY (10%)</b>					<b>\$121,164</b>
<b>PLANNING, PERMITTING (no IHA), FINAL DESIGN</b>					<b>\$236,616</b>
<b>CONSTRUCTION ADMIN./INSPECTION (7%)</b>					<b>\$84,815</b>
<b>TOTAL RECOMMENDED BASE BID INSTALLATION BUDGET</b>					<b>\$1,654,235</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A FLOAT PROCUREMENT</b>					
1505.1-A	Mobilization	LS	All Req'd	15%	\$22,500
2896.1-A	HDPE Pipe Float Material Package	LS	All Req'd	\$150,000	\$150,000
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$172,500</b>
<b>CONTINGENCY (10%)</b>					<b>\$17,250</b>
<b>TOTAL RECOMMENDED ADD. ALT. A FLOAT PROCUREMENT BUDGET</b>					<b>\$189,750</b>

Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>ADD. ALT. A - 10'x100' HEADWALK FLOAT</b>					
1505.1-A	Mobilization	LS	All Req'd	20%	\$33,920
2060.1-A	Demolition and Disposal	LS	All Req'd	\$25,000	\$25,000
2895.1-A	Install Headwalk Float, 10' x 100'	SF	1,000	\$65	\$65,000
2896.1-A	Steel Pipe Mooring Pile, 16"x.500"	EA	4	\$17,500	\$70,000
2996.1-A	Supply Pile Anode, 6"x6"x48"	EA	8	\$600	\$4,800
2996.2-A	Install Pile Anode	EA	8	\$600	\$4,800
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$203,520</b>
<b>CONTINGENCY (10%)</b>					<b>\$20,352</b>
<b>TOTAL RECOMMENDED ADD. ALT. A INSTALLATION BUDGET</b>					<b>\$223,872</b>

**TOTAL RECOMMENDED PROCUREMENT, BASE BID & ADD. ALT. A BUDGET** **\$2,573,857**

*Note: Engineer's Estimate based on recent projects of similar scope. Market volatility and material price escalation due to pandemic, as well as recent inflation may effect contractor bids and overall project costs.*





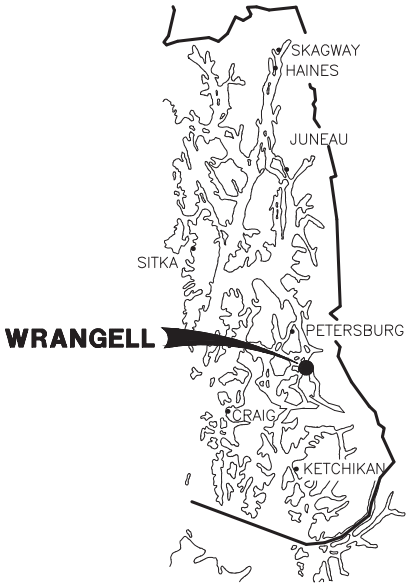
# CITY & BOROUGH OF WRANGELL WRANGELL HARBOR ANODES

## HERITAGE HARBOR, MARINE SERVICE CENTER BOAT HAULOUT FACILITY, MARINE SERVICE CENTER CONCRETE TEE DOCK

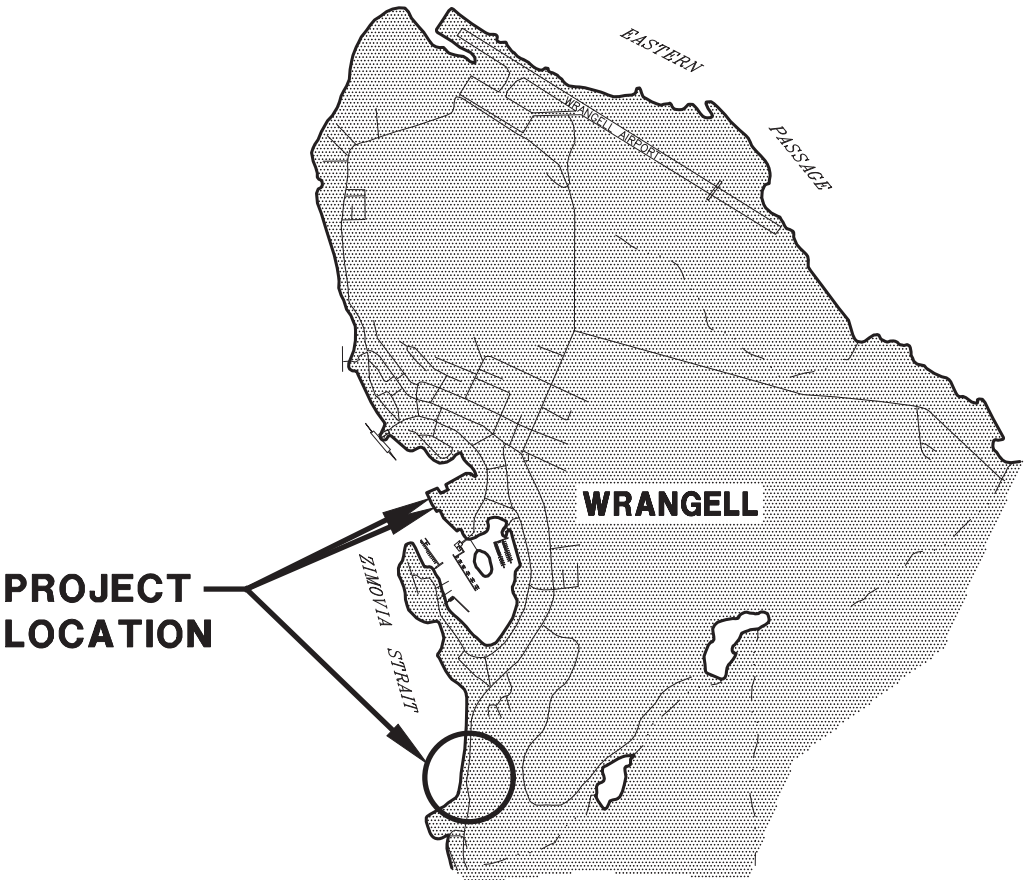
### DESIGN REVIEW SUBMITTAL



LOCATION MAP



SOUTHEAST ALASKA



PROJECT LOCATION

VICINITY MAP

PND ENGINEERS, INC. (PND) IS NOT RESPONSIBLE FOR SAFETY PROGRAMS, METHODS OR PROCEDURES OF OPERATION, OR THE CONSTRUCTION OF THE DESIGN SHOWN ON THESE DRAWINGS. DRAWINGS ARE FOR THE USE OF THIS PROJECT ONLY AND ARE NOT INTENDED FOR REUSE WITHOUT WRITTEN APPROVAL FROM PND. DRAWINGS ARE ALSO NOT TO BE USED IN ANY MANNER THAT WOULD CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO PND.

PROJECT SCHEDULE	
DESCRIPTION	SCHEDULE
1. START ON-SITE CONSTRUCTION	FOLLOWING NOTICE TO PROCEED
2. SUBSTANTIAL COMPLETION	TBD
3. FINAL COMPLETION OF ALL WORK UNDER THIS CONTRACT.	TBD

DRAWING INDEX	
SHEET NO.	TITLE
	GENERAL
1.01	COVER SHEET, VICINITY MAP AND DRAWING INDEX
1.02	TYPICAL DETAILS
	BASE BID A – HERITAGE HARBOR
2.01	OVERALL FLOAT PLAN AND PILE PLAN
2.02	PILE SCHEDULE AND DETAILS
	BASE BID B – MARINE SERVICE CENTER BOAT HAULOUT FACILITY
3.01	DOCK PLAN
3.02	PILE SCHEDULE AND DETAILS
3.03	TYPICAL DETAILS
	BASE BID C – MARINE SERVICE CENTER CONCRETE TEE DOCK
4.01	CONCRETE TEE DOCK PLAN
4.02	PILE SCHEDULE AND DETAILS
4.03	DOCK SECTION

TIDAL DATA
DESIGN HIGH WATER = +22.0 FEET
MHHW (MEAN HIGHER HIGH WATER) = 16.0 FEET
MHW (MEAN HIGH WATER) = 15.1 FEET
MTL (MEAN TIDE LEVEL) = 8.3 FEET
MLW (MEAN LOW WATER) = +1.5 FEET
MLLW (MEAN LOWER LOW WATER) = 0 FEET
DESIGN LOW WATER = -6.0 FEET

FROM: NOAA NOS/CO-OPS STATION ID: 9451204  
WRANGELL, AK, AND USC&GS TIDAL DATA

DESIGN HIGH AND DESIGN LOW WATER LEVELS BASED  
ON EXTREME TIDE LEVEL OBSERVATIONS IN KETCHIKAN.



REVISIONS				
REV.	DATE	DESCRIPTION	DWN.	CKD.



ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: MBH    CHECKED: BMI  
DRAWN: DRD    APPROVED: CRS

SCALE:



DATE: 6/27/2023

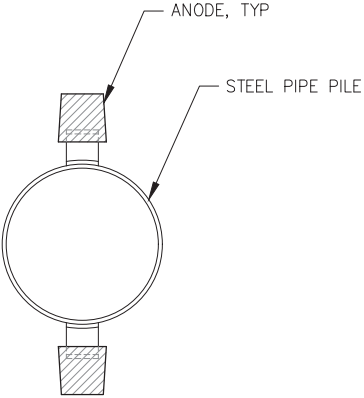
CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES

SHEET TITLE:  
COVER SHEET, VICINITY  
MAP AND DRAWING INDEX

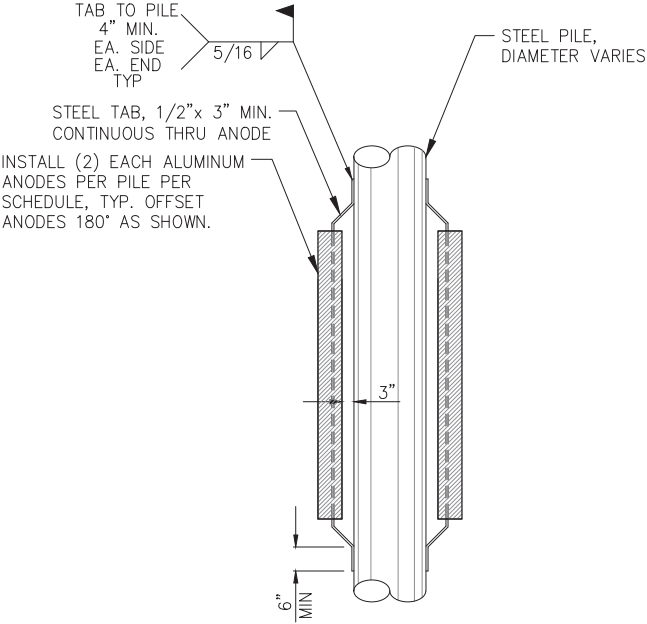
PND PROJECT NO.: 232051    C.A.N. NO.: AECC250

1.01





A TYPICAL ANODE INSTALLATION SECTION



B TYPICAL ANODE INSTALLATION DETAIL

ANODE SCHEDULE			
TYPE	DIMENSION	NOMINAL WT	QUANTITY
1	4x4x72	115 LBS	172
2	6x6x72	260 LBS	301
3	6x6x60	210 LBS	220



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

P | N | D

ENGINEERS, INC.

9360 Glacier Highway Ste 100  
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Phone: 907-586-2093  
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DESIGN: MBH  
DRAWN: DRD

CHECKED: BMI  
APPROVED: CRS

SCALE:

DESIGN  
REVIEW  
SUBMITTAL

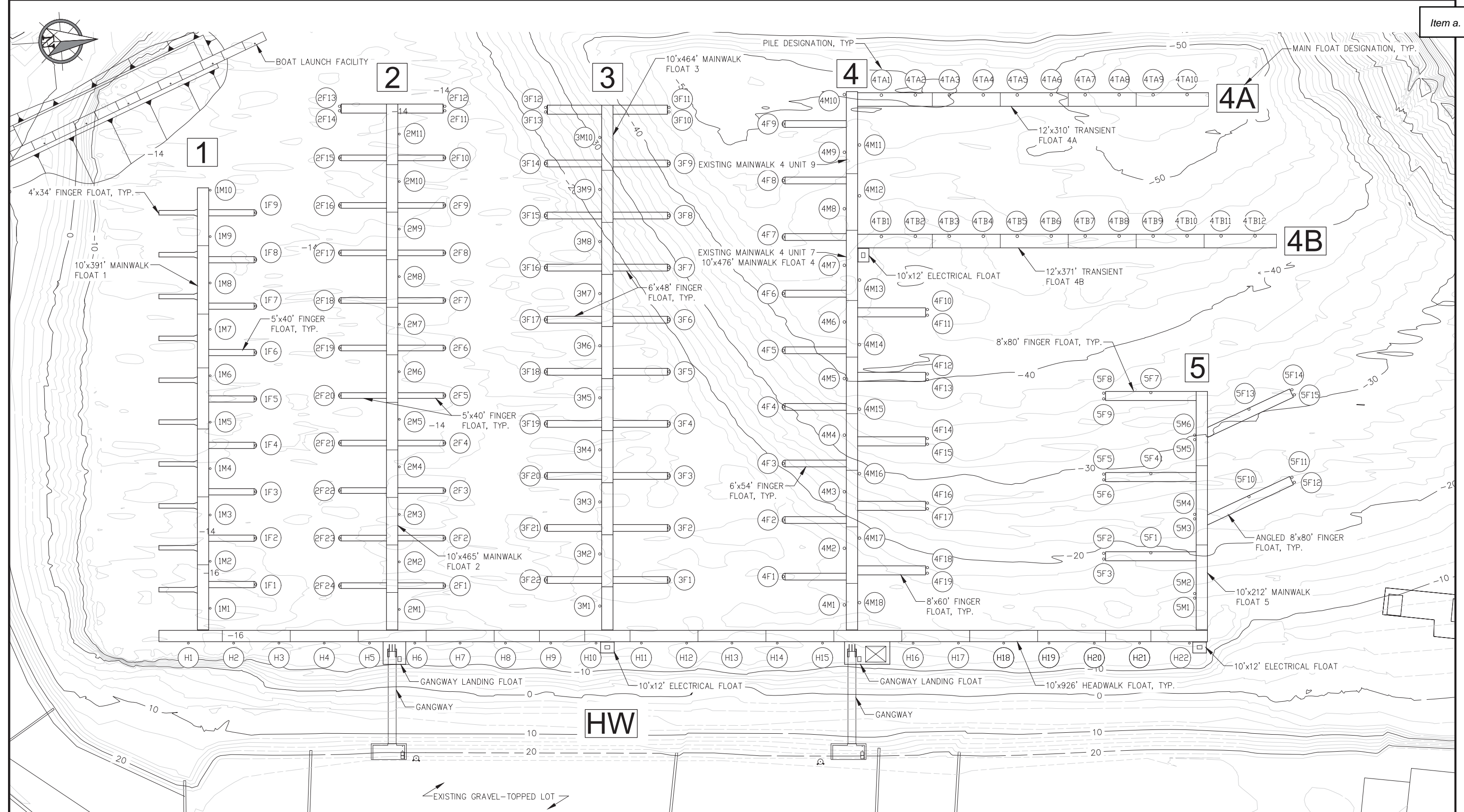
DATE: 6/27/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES

SHEET TITLE:  
TYPICAL DETAILS

PND PROJECT NO.: 232051 C.A.N. NO.: AECC250

1.02



OVERALL FLOAT AND PILE PLAN



REVISIONS				
REV.	DATE	DESCRIPTION	DWN.	CKD.

PND

ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: MBH  
DRAWN: DRD

CHECKED: BMI  
APPROVED: CRS

SCALE: SCALE IN FEET  
0 40 80 FT.

DESIGN  
REVIEW  
SUBMITTAL

DATE: 6/27/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES  
HERITAGE HARBOR

SHEET TITLE:  
OVERALL FLOAT PLAN  
AND PILE PLAN

2.01

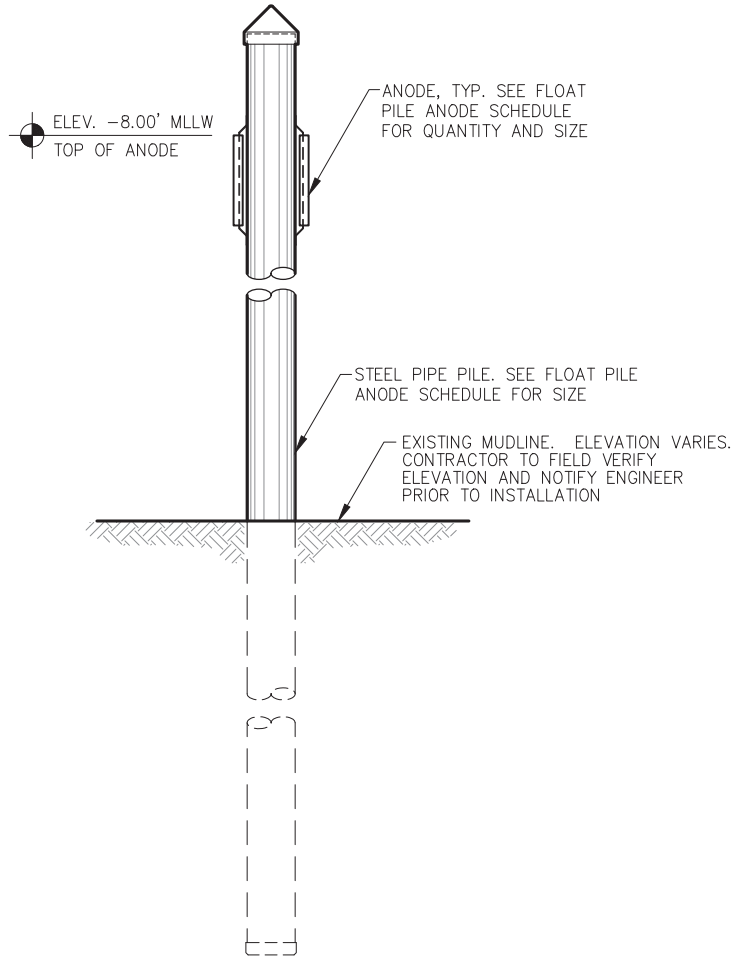
PND PROJECT NO.: 232051

C.A.N. NO.: AECC250

FLOAT PILE ANODE SCHEDULE				
PILE NO.	PILE DESIGN.	PILE DIAMETER	ANODE QUANTITY	ANODE TYPE
1	H1	12.75"	2	1
2	H2	12.75"	2	1
3	H3	12.75"	2	1
4	H4	12.75"	2	1
5	H5	12.75"	2	1
6	H6	12.75"	2	1
7	H7	12.75"	2	1
8	H8	12.75"	2	1
9	H9	12.75"	2	1
10	H10	12.75"	2	1
11	H11	12.75"	2	1
12	H12	12.75"	2	1
13	H13	12.75"	2	1
14	H14	12.75"	2	1
15	H15	12.75"	2	1
16	H16	12.75"	2	1
17	H17	12.75"	2	1
18	H18	12.75"	2	1
19	H19	12.75"	2	1
20	H20	12.75"	2	1
21	H21	12.75"	2	1
22	H22	12.75"	2	1
23	1M1	12.75"	2	1
24	1M2	12.75"	2	1
25	1M3	12.75"	2	1
26	1M4	12.75"	2	1
27	1M5	12.75"	2	1
28	1M6	12.75"	2	1
29	1M7	12.75"	2	1
30	1M8	12.75"	2	1
31	1M9	12.75"	2	1
32	1M10	12.75"	2	1
33	1F1	12.75"	2	1
34	1F2	12.75"	2	1
35	1F3	12.75"	2	1
36	1F4	12.75"	2	1
37	1F5	12.75"	2	1
38	1F6	12.75"	2	1
39	1F7	12.75"	2	1
40	1F8	12.75"	2	1
41	1F9	12.75"	2	1
42	2M1	12.75"	2	1
43	2M2	12.75"	2	1
44	2M3	12.75"	2	1
45	2M4	12.75"	2	1
46	2M5	12.75"	2	1
47	2M6	12.75"	2	1
48	2M7	12.75"	2	1
49	2M8	12.75"	2	1
50	2M9	12.75"	2	1
51	2M10	12.75"	2	1
52	2M11	12.75"	2	1
53	2F1	12.75"	2	1
54	2F2	12.75"	2	1
55	2F3	12.75"	2	1
56	2F4	12.75"	2	1
57	2F5	12.75"	2	1
58	2F6	12.75"	2	1
59	2F7	12.75"	2	1
60	2F8	12.75"	2	1
61	2F9	12.75"	2	1
62	2F10	12.75"	2	1
63	2F11	12.75"	2	1
64	2F12	12.75"	2	1
65	2F13	12.75"	2	1

FLOAT PILE ANODE SCHEDULE				
PILE NO.	PILE DESIGN.	PILE DIAMETER	ANODE QUANTITY	ANODE TYPE
66	2F14	12.75"	2	1
67	2F15	12.75"	2	1
68	2F16	12.75"	2	1
69	2F17	12.75"	2	1
70	2F18	12.75"	2	1
71	2F19	12.75"	2	1
72	2F20	12.75"	2	1
73	2F21	12.75"	2	1
74	2F22	12.75"	2	1
75	2F23	12.75"	2	1
76	2F24	12.75"	2	1
77	3M1	16"	2	2
78	3M2	16"	2	2
79	3M3	16"	2	2
80	3M4	16"	2	2
81	3M5	16"	2	2
82	3M6	16"	2	2
83	3M7	16"	2	2
84	3M8	16"	2	2
85	3M9	16"	2	2
86	3M10	16"	4	2
87	3F1	16"	2	2
88	3F2	16"	2	2
89	3F3	16"	2	2
90	3F4	16"	2	2
91	3F5	16"	2	2
92	3F6	16"	2	2
93	3F7	16"	2	2
94	3F8	16"	4	2
95	3F9	16"	4	2
96	3F10	16"	4	2
97	3F11	16"	4	2
98	3F12	16"	2	2
99	3F12	16"	2	2
100	3F14	16"	2	2
101	3F15	16"	2	2
102	3F16	16"	2	2
103	3F17	16"	2	2
104	3F18	16"	2	2
105	3F19	16"	2	2
106	3F20	16"	2	2
107	3F21	16"	2	2
108	3F22	16"	2	2
109	4M1	16"	2	2
110	4M2	16"	2	2
111	4M3	16"	2	2
112	4M4	16"	4	2
113	4M5	16"	4	2
114	4M6	16"	4	2
115	4M7	16"	4	2
116	4M8	16"	4	2
117	4M9	16"	4	2
118	4M10	16"	4	2
119	4M11	16"	4	2
120	4M12	16"	4	2
121	4M13	16"	4	2
122	4M14	16"	4	2
123	4M15	16"	2	2
124	4M16	16"	2	2
125	4M17	16"	2	2
126	4M18	16"	2	2
127	4F1	16"	4	2
128	4F2	16"	4	2
129	4F3	16"	4	2
130	4F4	16"	4	2

FLOAT PILE ANODE SCHEDULE				
PILE NO.	PILE DESIGN.	PILE DIAMETER	ANODE QUANTITY	ANODE TYPE
131	4F5	16"	4	2
132	4F6	16"	4	2
133	4F7	16"	4	2
134	4F8	16"	4	2
135	4F9	16"	4	2
136	4F10	12.75"	2	1
137	4F11	12.75"	2	1
138	4F12	12.75"	2	1
139	4F13	12.75"	2	1
140	4F14	12.75"	2	1
141	4F15	12.75"	2	1
142	4F16	12.75"	2	1
143	4F17	12.75"	2	1
144	4F18	12.75"	2	1
145	4F19	12.75"	2	1
146	4TA1	24"	4	3
147	4TA2	24"	4	3
148	4TA3	24"	4	3
149	4TA4	24"	4	3
150	4TA5	24"	4	3
151	4TA6	24"	4	3
152	4TA7	24"	4	3
153	4TA8	24"	4	3
154	4TA9	24"	4	3
155	4TA10	24"	4	3
156	4TB1	24"	4	3
157	4TB2	24"	4	3
158	4TB3	24"	4	3
159	4TB4	24"	4	3
160	4TB5	24"	4	3
161	4TB6	24"	4	3
162	4TB7	24"	4	3
163	4TB8	24"	4	3
164	4TB9	24"	4	3
165	4TB10	24"	4	3
166	4TB11	24"	4	3
167	4TB12	24"	4	3
168	5M1	16"	2	2
169	5M2	16"	2	2
170	5M3	16"	2	2
171	5M4	16"	2	2
172	5M5	16"	4	2
173	5M6	16"	4	2
174	5F1	16"	2	2
1775	5F2	16"	2	2
176	5F3	16"	2	2
177	5F4	16"	2	2
178	5F5	16"	2	2
179	5F6	16"	2	2
180	5F7	16"	4	2
181	5F8	16"	4	2
182	5F9	16"	4	2
183	5F10	16"	2	2
184	5F11	16"	2	2
185	5F12	16"	2	2
186	5F13	16"	4	2
187	5F14	16"	4	2
188	5F15	16"	4	2
189	4TB8	24"	4	2
190	4TB9	24"	4	2
191	4TB10	24"	4	2
192	4TB11	24"	4	2
193	4TB12	24"	4	2



TYPICAL STEEL FLOAT MOORING PILE



REVISIONS				
REV.	DATE	DESCRIPTION	DWN.	CKD.

P

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D

ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: MBH  
DRAWN: DRD

CHECKED: BMI  
APPROVED: CRS

SCALE:  
AS SHOWN

DESIGN  
REVIEW  
SUBMITTAL

DATE: 6/27/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES  
HERITAGE HARBOR

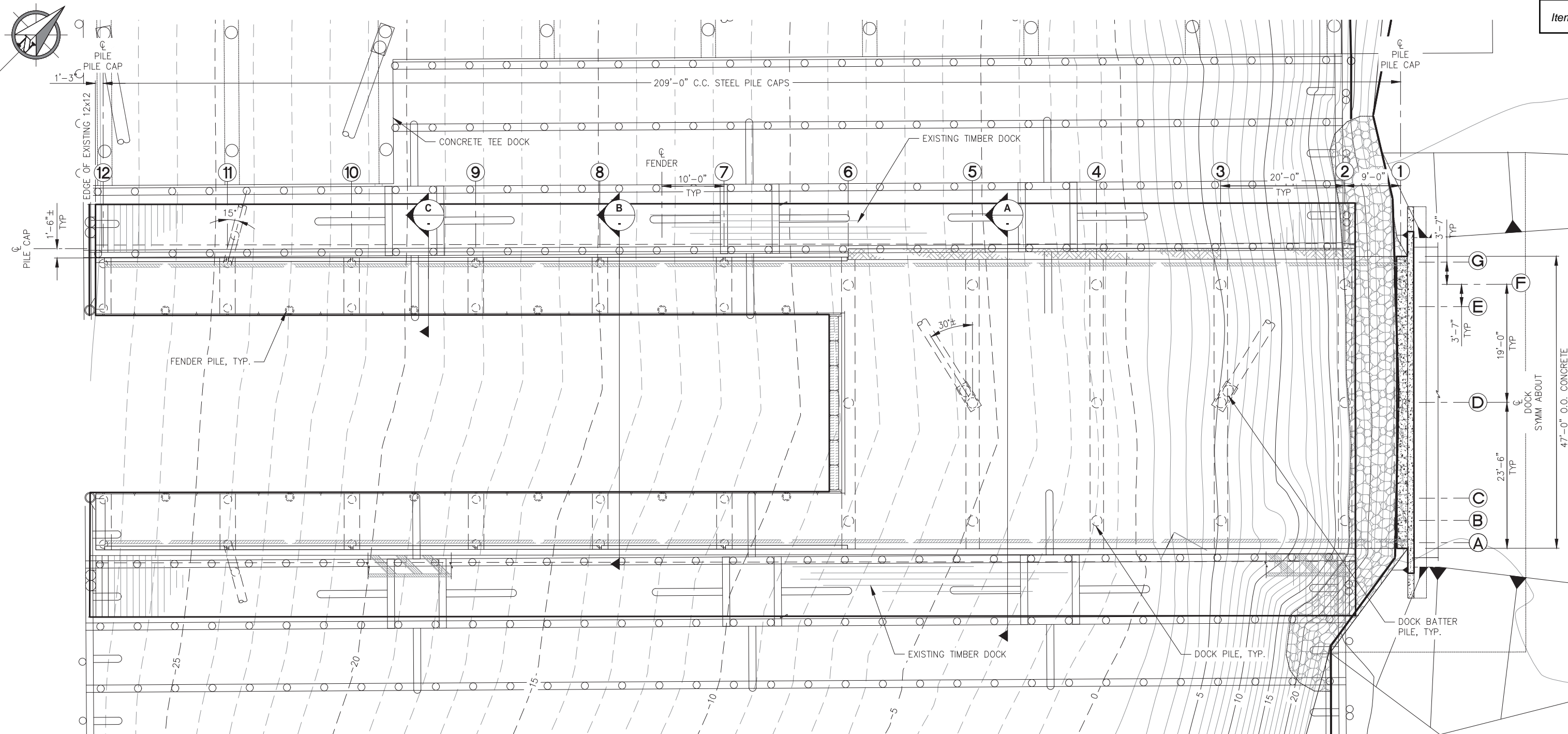
SHEET TITLE:  
PILE SCHEDULE AND DETAILS

2.02

PND PROJECT NO.: 232051

C.A.N. NO.: AECC250





## DOCK PLAN

**NOTE:** NOT ALL DOCK PANELS, BULLRAILS, HANDRAILS, LIGHTS, BELOW DECK UTILITIES OR OTHER APPURTENANCES ARE SHOWN FOR CLARITY.

[illegible]

MSC BOAT HAULOUT DOCK PILE ANODE SCHEDULE					
PILE NO.	LOCATION	ORIENTATION	PILE DIAMETER	ANODE QUANTITY	ANODE TYPE
1	1B	VERTICAL	20"Ø	—	—
2	1D	VERTICAL	20"Ø	—	—
3	1F	VERTICAL	20"Ø	—	—
4	2B	VERTICAL	20"Ø	—	—
5	2D	VERTICAL	20"Ø	—	—
6	2F	VERTICAL	20"Ø	—	—
7	3B	VERTICAL	20"Ø	—	—
8	3D	VERTICAL	20"Ø	—	—
9	3D	BATTER	20"Ø	—	—
10	3F	VERTICAL	20"Ø	—	—
11	4B	VERTICAL	20"Ø	3	3
12	4D	VERTICAL	20"Ø	3	3
13	4F	VERTICAL	20"Ø	3	3
14	5B	VERTICAL	20"Ø	3	3
15	5D	VERTICAL	20"Ø	3	3
16	5D	BATTER	20"Ø	3	3
17	5F	VERTICAL	20"Ø	3	3
18	6B	VERTICAL	20"Ø	3	3
19	6D	VERTICAL	20"Ø	3	3
20	6F	VERTICAL	16"Ø	2	2
21	7A	VERTICAL	16"Ø	2	2
22	7C	VERTICAL	16"Ø	2	2
23	7E	VERTICAL	16"Ø	2	2
24	7G	VERTICAL	16"Ø	2	2
25	8A	VERTICAL	16"Ø	2	2
26	8C	VERTICAL	16"Ø	2	2
27	8E	VERTICAL	16"Ø	2	2
28	8G	VERTICAL	16"Ø	2	2
29	9A	VERTICAL	16"Ø	2	2
30	9C	VERTICAL	16"Ø	2	2
31	9E	VERTICAL	16"Ø	2	2
32	9G	VERTICAL	16"Ø	2	2
33	10A	VERTICAL	16"Ø	2	2
34	10C	VERTICAL	16"Ø	2	2
35	10E	VERTICAL	16"Ø	2	2
36	10G	VERTICAL	16"Ø	2	2
37	11A	VERTICAL	16"Ø	2	2
38	11AB	BATTER	16"Ø	2	2
39	11GB	BATTER	16"Ø	2	2
40	11C	VERTICAL	16"Ø	2	2
41	11E	VERTICAL	16"Ø	2	2
42	11G	VERTICAL	16"Ø	2	2
43	12A	VERTICAL	16"Ø	2	2
44	12C	VERTICAL	16"Ø	2	2
45	12E	VERTICAL	16"Ø	2	2
46	12G	VERTICAL	16"Ø	2	2



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

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DESIGN: MBH  
DRAWN: DRD

CHECKED: BMI  
APPROVED: CRS

SCALE:

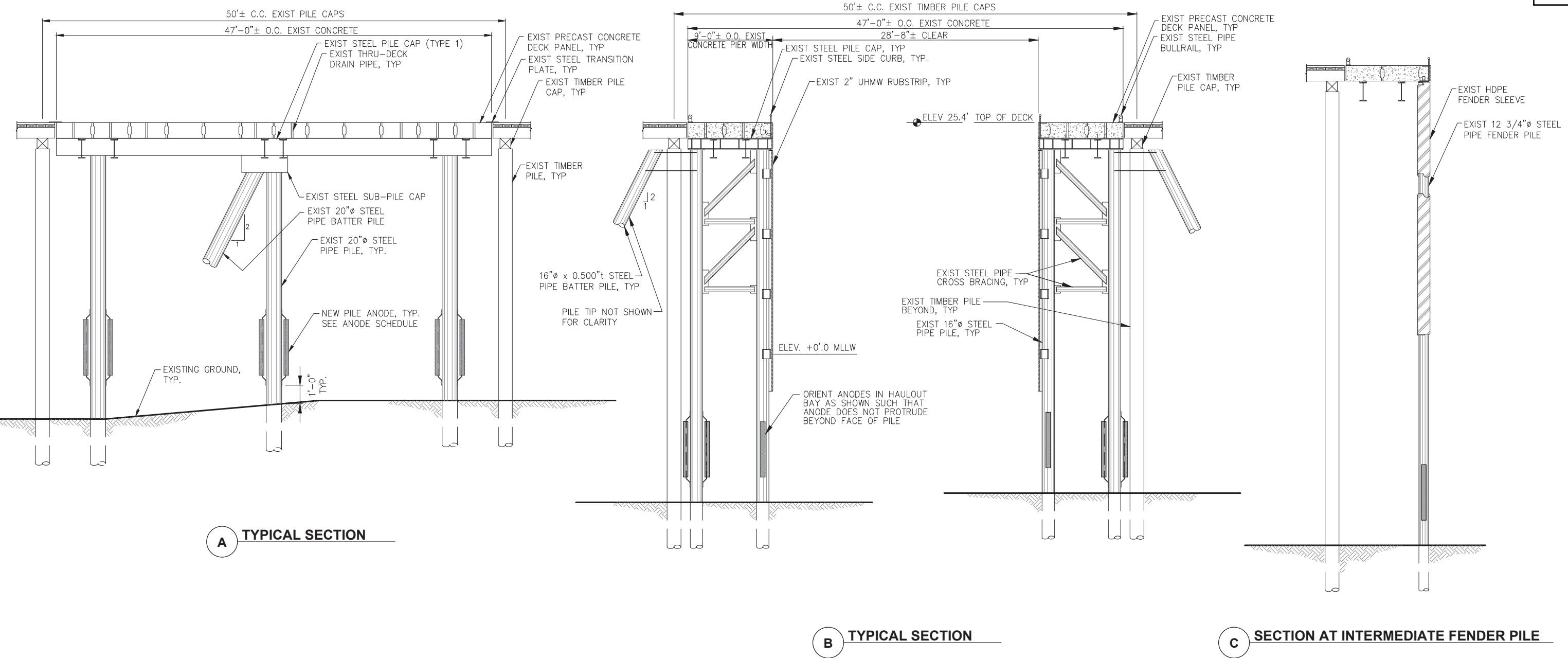


CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES  
MSC BOAT HAULOUT FACILITY

SHEET TITLE:  
PILE SCHEDULE AND DETAILS

PND PROJECT NO.: 232051  
C.A.N. NO.: AECC250

3.02



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.



9360 Glacier Highway Ste 100  
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Fax: 907-586-2099  
www.pndengineers.com

DESIGN: MBH CHECKED: BMI  
DRAWN: DRD APPROVED: CRS

SCALE: SCALE IN FEET  
0 4 8ft.

DESIGN  
REVIEW  
SUBMITTAL

DATE: 6/27/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES  
MSC BOAT HAULOUT FACILITY

SHEET TITLE:

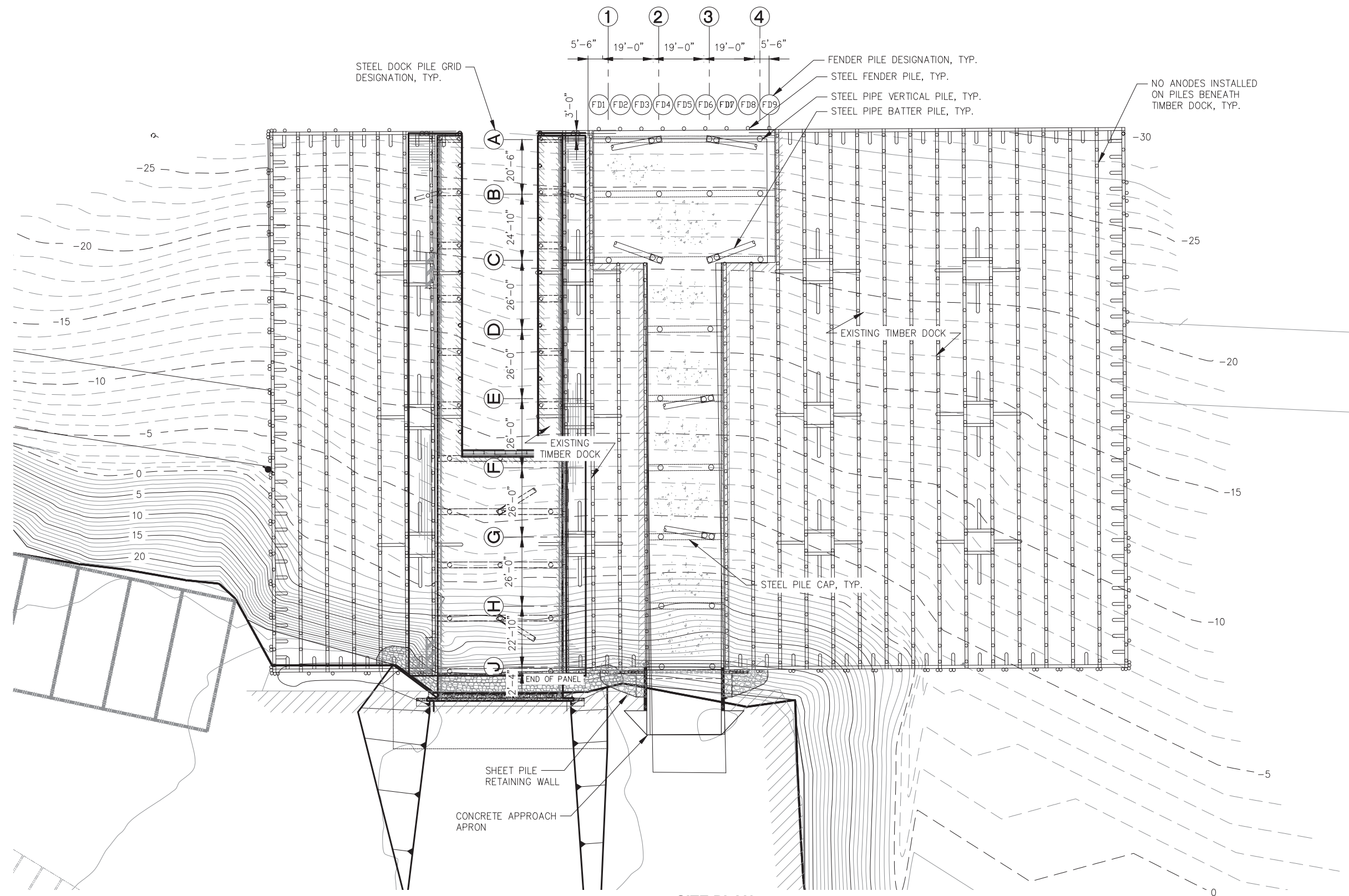
TYPICAL DETAILS

PND PROJECT NO.: 232051

C.A.N. NO.: AECC250

3.03





SITE PLAN

NOTE: NOT ALL DOCK PANELS, BULLRAILS, HANDRAILS, LIGHTS, BELOW DECK UTILITIES OR OTHER APPURTENANCES ARE SHOWN FOR CLARITY.



REVISIONS				
REV.	DATE	DESCRIPTION	DWN.	CKD.

PND

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Fax: 907-586-2099  
www.pndengineers.com

DESIGN: MBH    CHECKED: BMI  
DRAWN: DRD    APPROVED: CRS

SCALE: SCALE IN FEET  
0 20 40 FT.

DESIGN  
REVIEW  
SUBMITTAL

DATE: 6/27/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES  
WMSC CONCRETE TEE DOCK

SHEET TITLE:  
CONCRETE TEE DOCK PLAN

PND PROJECT NO.: 232051    C.A.N. NO.: AECC250

4.01

CONCRETE TEE DOCK PILE ANODE SCHEDULE					
PILE NO.	LOCATION	TYPE	SIZE	ANODE QUANTITY	ANODE SIZE
1	A1	VERTICAL	24"Ø	3	3
2	A2	VERTICAL	24"Ø	3	3
3	A2	BATTER	24"Ø	3	3
4	A3	VERTICAL	24"Ø	3	3
5	A3	BATTER	24"Ø	3	3
6	A4	VERTICAL	24"Ø	3	3
7	B1	VERTICAL	24"Ø	3	3
8	B2	VERTICAL	24"Ø	3	3
9	B3	VERTICAL	24"Ø	3	3
10	B4	VERTICAL	24"Ø	3	3
11	C1	VERTICAL	24"Ø	3	3
12	C2	VERTICAL	24"Ø	3	3
13	C2	BATTER	24"Ø	3	3
14	C3	VERTICAL	24"Ø	3	3
15	C3	BATTER	24"Ø	3	3
16	C4	VERTICAL	20"Ø	3	3
17	D2	VERTICAL	20"Ø	3	3
18	D3	VERTICAL	20"Ø	3	3
19	E2	VERTICAL	20"Ø	3	3
20	E3	VERTICAL	20"Ø	3	3
21	E3	BATTER	20"Ø	3	3
22	F2	VERTICAL	20"Ø	3	3
23	F3	VERTICAL	20"Ø	3	3
24	G2	VERTICAL	20"Ø	3	3
25	G3	VERTICAL	20"Ø	3	3
26	G3	BATTER	20"Ø	3	3
27	H2	VERTICAL	20"Ø	—	—
28	H3	VERTICAL	20"Ø	—	—
29	J2	VERTICAL	20"Ø	—	—
30	J3	VERTICAL	20"Ø	—	—
31	FD1	VERTICAL	16"Ø	2	2
32	FD2	VERTICAL	16"Ø	2	2
33	FD3	VERTICAL	16"Ø	2	2
34	FD4	VERTICAL	16"Ø	2	2
35	FD5	VERTICAL	16"Ø	2	2
36	FD6	VERTICAL	16"Ø	2	2
37	FD7	VERTICAL	16"Ø	2	2
38	FD8	VERTICAL	16"Ø	2	2
39	FD9	VERTICAL	16"Ø	2	2



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

P

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9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
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Fax: 907-586-2099  
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DESIGN: MBH  
DRAWN: DRD

CHECKED: BMI  
APPROVED: CRS

SCALE:



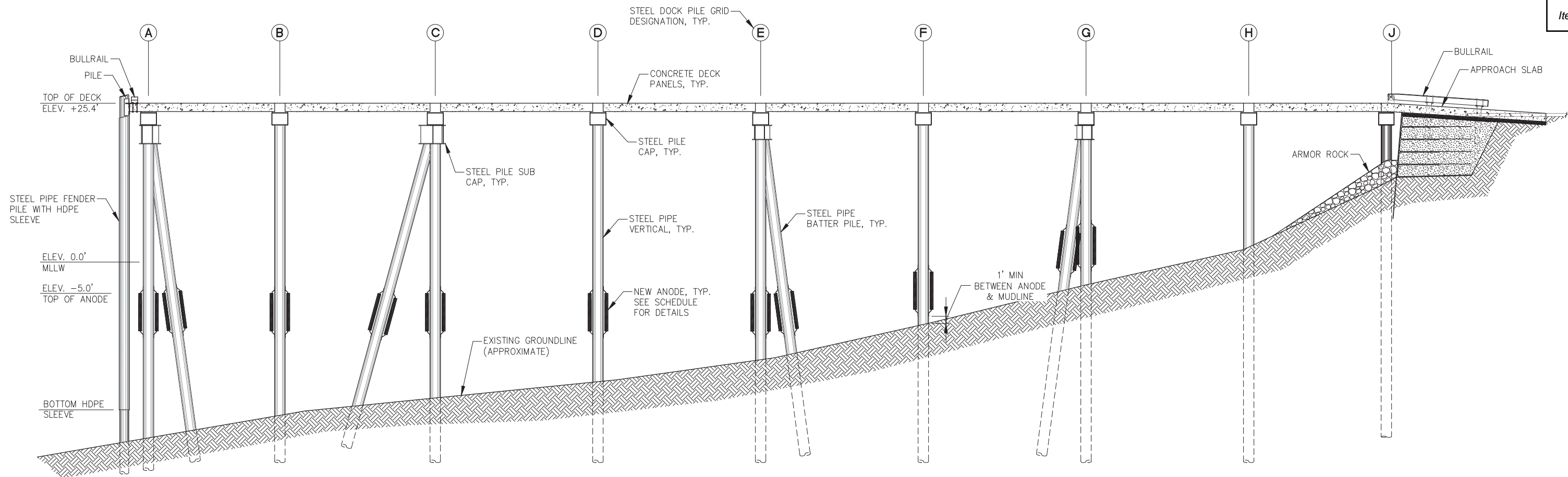
CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES  
WMSC CONCRETE TEE DOCK

SHEET TITLE:  
PILE SCHEDULE AND DETAILS

PND PROJECT NO.: 232051 | C.A.N. NO.: AECC250

4.02





**NOTE:** INSTALL TOP OF ANODE AT -5' MLLW AS SHOWN UNLESS MUDLINE IS AT ANODE LOCATION IS ABOVE -12' MLLW, INSTALL ANODE 1' ABOVE MUDLINE AS SHOWN

**DOCK SECTION**



REVISIONS					
REV.	DATE	DESCRIPTION	DWN.	CKD.	APP.

**P** | **N** | **D**

ENGINEERS, INC.

9360 Glacier Highway Ste 100  
Juneau, Alaska 99801  
Phone: 907-586-2093  
Fax: 907-586-2099  
www.pndengineers.com

DESIGN: MBH    CHECKED: BMI

DRAWN: DRD    APPROVED: CRS

SCALE: SCALE IN FEET

0      8      16 FT.

DESIGN  
REVIEW  
SUBMITTAL

DATE: 6/27/2023

CITY & BOROUGH OF WRANGELL, ALASKA  
WRANGELL HARBOR ANODES  
WMSC CONCRETE TEE DOCK

SHEET TITLE:  
**DOCK SECTION**

PND PROJECT NO.: 232051    C.A.N. NO.: AECC250

4.03

35



**CITY AND BOROUGH OF WRANGELL  
WRANGELL HARBOR ANODES  
BID READY ENGINEER'S ESTIMATE  
Prepared By: PND Engineers, Inc. on July 27, 2023**

Design Review Cost Estimate					
Item	Item Description	Units	Quantity	Unit Cost	Amount
<b>Base Bid A - Heritage Harbor</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$ 128,720.00
2996.1	Supply Pile Anode Type 1	EA	172	\$ 600.00	\$ 103,200.00
2996.2	Supply Pile Anode Type 2	EA	248	\$ 650.00	\$ 161,200.00
2996.3	Supply Pile Anode Type 3	EA	88	\$ 675.00	\$ 59,400.00
2996.4	Install Pile Anodes	EA	508	\$ 600.00	\$ 304,800.00
2996.5	Anode Continuity Testing & Potential Readings	LS	All Req'd	\$ 15,000.00	\$ 15,000.00
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$ 772,320.00</b>
<b>CONTINGENCY (20%)</b>					\$ 154,464.00
<b>ENGINEERING DESIGN</b>					\$ 27,770.00
<b>CACI (6%)</b>					\$ 46,339.20
<b>Total Base Bid A</b>					<b>\$1,000,893</b>
<b>Base Bid B - MSC Boat Haulout Facility</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$ 24,020.00
2996.2	Supply Pile Anode Type 2	EA	35	\$ 650.00	\$ 22,750.00
2996.3	Supply Pile Anode Type 3	EA	54	\$ 675.00	\$ 36,450.00
2996.4	Install Pile Anode	EA	89	\$ 600.00	\$ 53,400.00
2996.5	Anode Continuity Testing & Potential Readings	LS	All Req'd	\$ 7,500.00	\$ 7,500.00
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$ 144,120.00</b>
<b>CONTINGENCY (20%)</b>					\$ 28,824.00
<b>ENGINEERING DESIGN</b>					\$ 22,490.00
<b>CACI (6%)</b>					\$ 8,647.20
<b>Total Base Bid B</b>					<b>\$ 204,081.20</b>
<b>Base Bid C - MSC Concrete Tee Dock</b>					
1505.1	Mobilization	LS	All Req'd	20%	\$ 25,890.00
2996.2	Supply Pile Anode Type 2	EA	18	\$ 650.00	\$ 11,700.00
2996.3	Supply Pile Anode Type 3	EA	78	\$ 675.00	\$ 52,650.00
2996.4	Install Pile Anode	EA	96	\$ 600.00	\$ 57,600.00
2996.5	Anode Continuity Testing & Potential Readings	LS	All Req'd	\$ 7,500.00	\$ 7,500.00
<b>ESTIMATED CONSTRUCTION BID PRICE</b>					<b>\$ 155,340.00</b>
<b>CONTINGENCY (20%)</b>					\$ 31,068.00
<b>ENGINEERING DESIGN</b>					\$ 17,340.00
<b>CACI (6%)</b>					\$ 9,320.40
<b>Total Base Bid C</b>					<b>\$ 213,068.40</b>
<b>Total Base Bids A, B, and C</b>					<b>\$ 1,418,042.80</b>

*Note: Engineer's Estimate based on recent projects of similar scope. Market volatility and material price escalation due to pandemic, as well as recent inflation may effect contractor bids and overall project costs.*

**City and Borough of Wrangell, Alaska**  
**Port Commission**  
**Regular Meeting September 7<sup>th</sup>, 2023**  
**Staff Recommendation**

---

**Agenda Item:** New Business

**From:** Steve Miller, Port Director

**Subject:** Conditional Use Permit application request for a temporary structure for personal use on a portion of Lot 3 and Lot 4, Shoemaker Bay, zoned Shoemaker Bay Development, Plat 99-8, requested by Bernard Massin.

---

Bernard Massin is seeking approval for a conditional use permit to construct a temporary structure for personal use on his property (Tideland Lessee), within the Shoemaker Bay Harbor parking lot. The structure is 30 ft. x 65 ft. (1,950 sq. ft.). There is 8 ft. of distance between the two buildings on Lot 4. Bernard Massin is the primary tenant on property within the Shoemaker Bay Waterfront Development district. Mr. Massin has existing structures on site with other improvements made in years past.

**Attachments:** 1.) Aerial Map of Property, 2.) Proposed Building Plans, 3. Conditional Use Permit.

**Recommendation:** The Harbor Department recommends approving the conditional use permit requested by Bernard Massin. The Planning and Zoning commission passed this recommendation at their August 10<sup>th</sup>, 2023, meeting.

**Recommended Motion:** Move to recommend approval of the conditional use permit request for construction of a temporary structure for personal use subject to the conditions set forth by the Planning and Zoning Commission..

1. Construction shall not impede upon or obstruct the driving lane where it will impact harbor circulation.

2. Construction, maintenance, repair, and storage of vessels must occur indoors. WMC 20.49.040 (D and E).



# CITY AND BOROUGH OF WRANGELL, ALASKA

Item a.

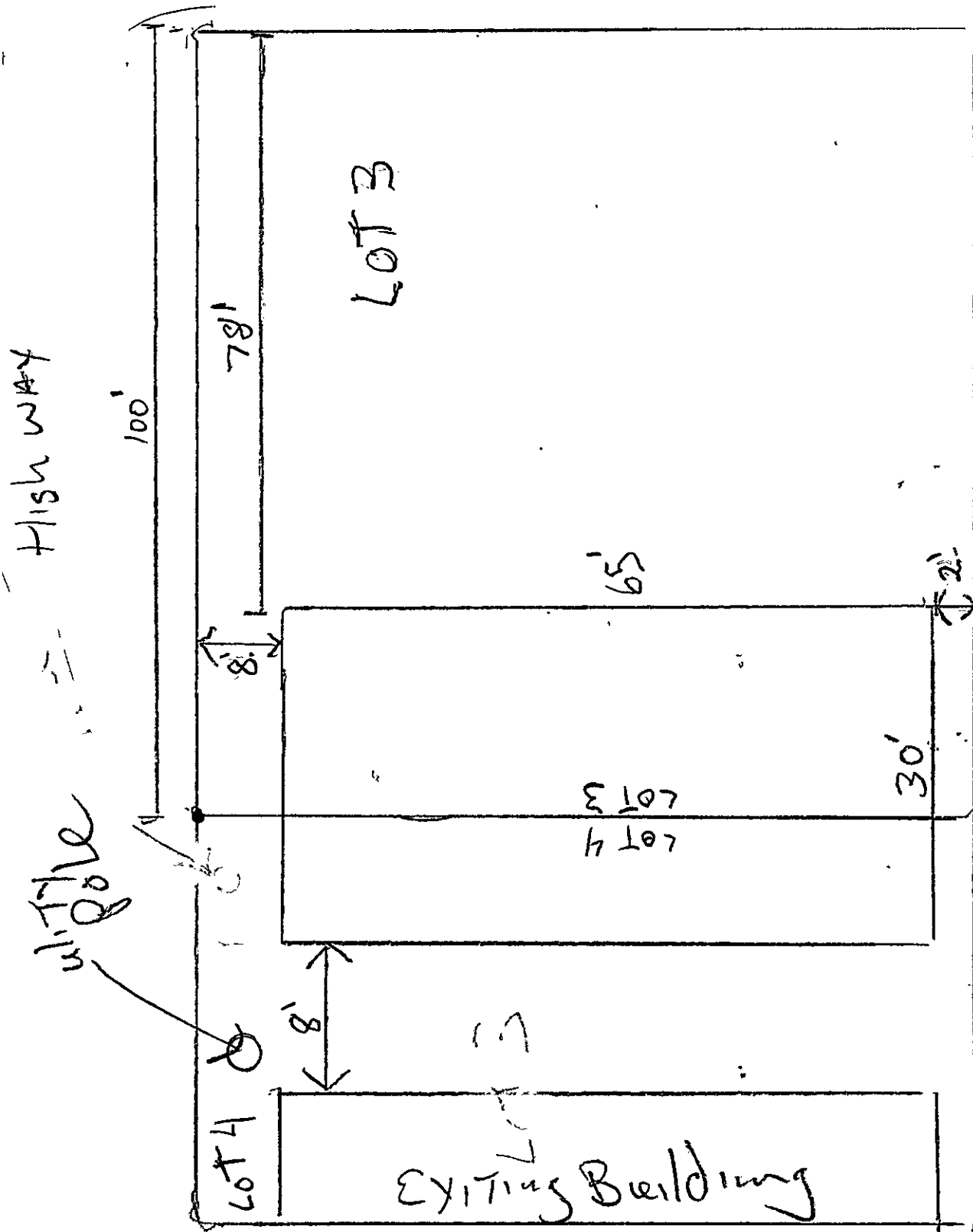


1 inch = 88.640382 feet  
Date: 7/28/2023

Public Map



**DISCLAIMER: THESE MAPS ARE FOR PLANNING PURPOSES ONLY.  
PROPERTY LINES ARE APPROXIMATE. AERIAL 2002.**



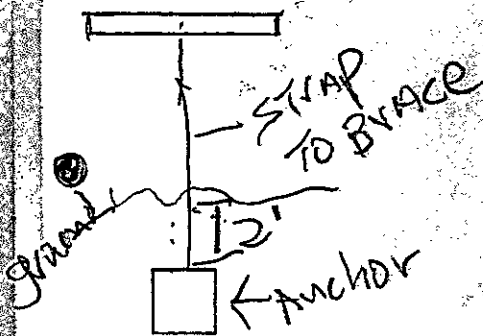
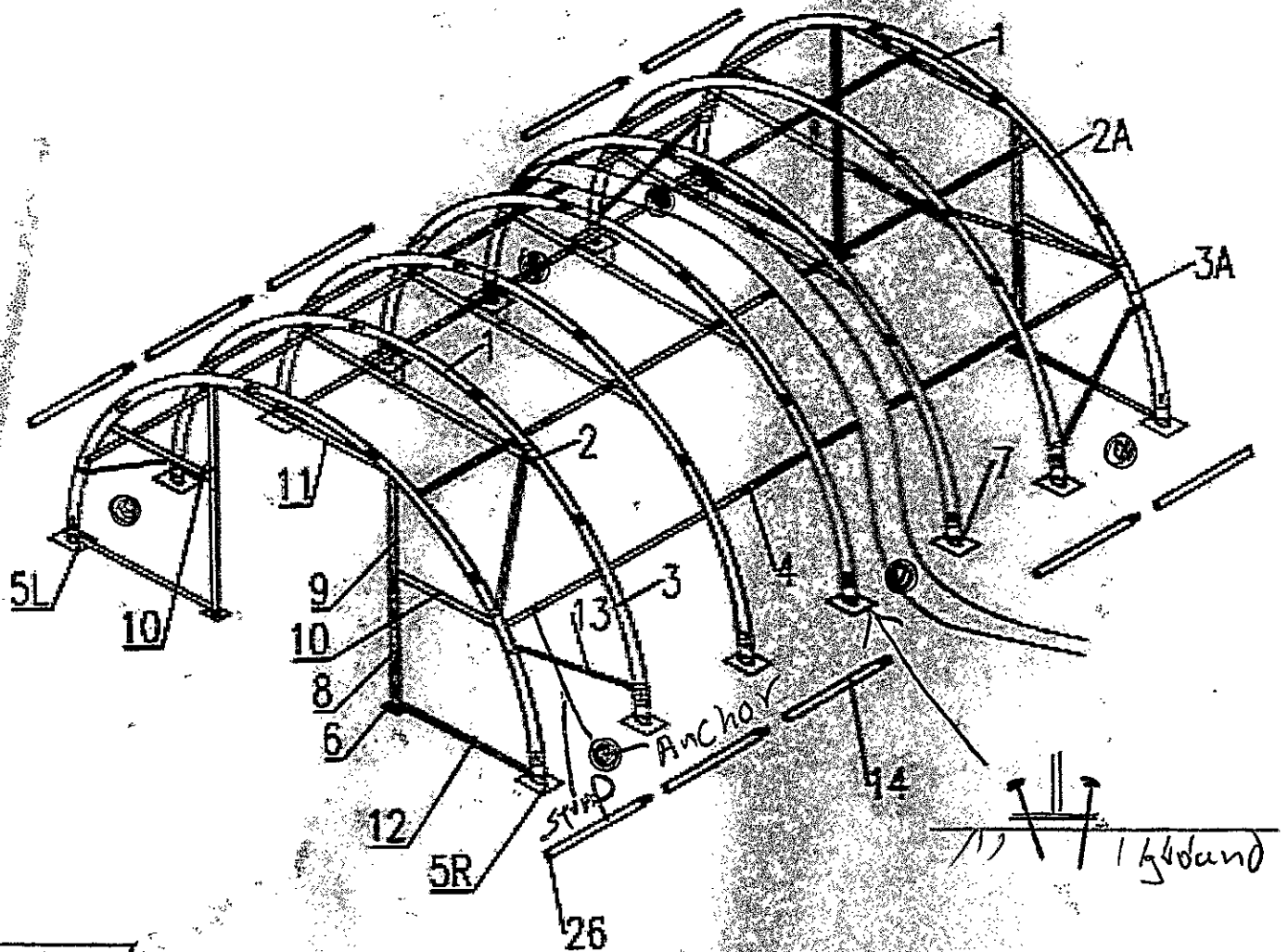
Shoemaker Terr Building

MASSION  
Box 1349  
Wanganui

MASSIN  
Box 1349  
Winnipeg

Stoemaker Temp Building

Item a.



(W30'x H15') FRAME SKETCH

Figure 3



# CITY AND BOROUGH OF WRANGELL, ALASKA

## CONDITIONAL USE APPLICATION

**RECEIVED**  
**JUL 27 2023**  
**WRANGELL CITY HALL**

### PLANNING AND ZONING COMMISSION

P.O. BOX 531

WRANGELL, ALASKA 99929

Application Fee: \$100.00

**I. Applicant's Name and Address:**

Bernie Massin  
Box 1349  
Wrangell AK 99929

**Applicant's Phone Number:**

305-8037

**Applicant's Email**

Bernie.Massin@yathooicon

**II. Land Owner's Name and Address:**

~~Box 134~~  
Same

**Land Owner's Phone Number:**

305-0037

**III. Legal Description:** Lot 344, Block \_\_\_\_\_, U.S. Survey 03-007-581

Parcel ID No. \_\_\_\_\_

63-007502

**IV. Zoning Classification:**

**V. Specific Request:**

30X6S Temp Building  
for inside storage

**VI. Site Plan shall be submitted with the application. The plan shall show existing and proposed structures, driveways, parking areas, and roadways, existing and proposed grading. Additional information shall be furnished upon request of the Zoning Administrator.**

**VII. Construction Schedule: BEGIN:**

**END:**

**SIGNATURE OF OWNER:**

[Signature]

**DATE:**

7/27/23

**SIGNATURE OF APPLICANT:**

[Signature]

**DATE:**

7/27/23

**If more than one owner or if more than one parcel is involved, attach all signatures on a separate piece of paper identifying which parcels are owned by which persons.**

**Written authorization of the property owner must be submitted with this application if the applicant is other than the owner.**

**City and Borough of Wrangell, Alaska**  
**Port Commission**  
**Regular Meeting September 7<sup>th</sup>, 2023**  
**Staff Recommendation**

---

**Agenda Item:** New Business

**From:** Steve Miller, Port Director

**Subject:** Request from Randy Easterly to purchase Borough Real Property/Tidelands identified as Lot 24A, Plat 2006-6, Block 83A,

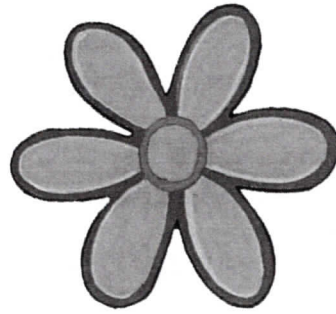
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Randy Easterly is requesting to purchase tidelands that he is currently leasing from the City and Borough of Wrangell. He is requesting this purchase so he can fill and build a shop for possible expansion of a business.

**Attachments:** 1.) Request from Randy Easterly, 2.) Tidelands lease agreement, 3.) Ariel photo of lot 24A, Plat 2006-6, Block 83A.

**Recommendation:** Selling the property to Randy Easterly, who has a long-term lease and has made improvements to the tidelands over the last few years, will not have any adverse impact on the harbor department and its operations. The harbor department has no objection to selling this tidelands lot 24A, Plat 2006-6, Block 83A.

**Recommended Motion:** Move to recommend approval of Randy Easterly's request to purchase lot 24A, Plat 2006-6, Block 83A.



Hi Kim, 8-15-23

We would like to request  
to purchase our Tideland:

Block-83A Lot 24A Parcel no#  
02-025-228

We would like to fill out our  
rockpad onto the tideland for  
parking & a shop.

It would be beneficial to  
the city for Property Taxes &  
possibly a future business.

We really don't want to  
Spend a bunch of money to  
develope the cities property.

Thank You,  
Randy Easterly

Return to: City of Wrangell, Alaska  
Post Office Box 531  
Wrangell, AK 99929

Wrangell Recording District

Page 1 of 3

[fold here]

### TIDELANDS LEASE MODIFICATION

THIS INDENTURE is made this 16<sup>th</sup> day of October, 2006, between the **City of Wrangell, Alaska**, of Post Office Box 531, Wrangell, Alaska 99929, as *Lessor*, and **Randy Easterly** and **Jeannie Easterly**, of Post Office Box 1524, Wrangell, Alaska 99929, as *Lessees*.  
WITNESSETH:

Lessees are the assignees of that certain Tidelands Lease with Lessor dated June 25, 2002, and recorded on July 5, 2002, in the Wrangell Recording District, First Judicial District, State of Alaska, as Document No. 2002-000320-0, by virtue of that Consent to Assignment of Lease and Assumption thereof recorded on June 14, 2004, in the Wrangell Recording District, First Judicial District, State of Alaska, as Document No. 2004-000268-0. The parties have agreed to modify that Lease to increase the leased property area to that described below and to increase the annual rental amount.

Lessor hereby leases and demises unto Lessees, and Lessees hereby leases and takes from Lessor, for and in consideration of the rents, terms, limitation, covenants and mutual agreements hereinafter stated, the following described tide and submerged lands situated in the **Wrangell Recording District, First Judicial District, State of Alaska**, to-wit:

Lot 24A, Block 83-A, A.T.S. #83, as shown on Plat No. 2006-6 recorded August 31, 2006, Wrangell Recording District, First Judicial District, State of Alaska.

Each of the parties hereto has performed or caused to be performed all of the acts and things required by the substantive and procedural requirements of the Wrangell Municipal Code, Title 16, Chapter 8, and the Army Corps of Engineers, if necessary.

The original term of the Lease remains as fifty-five (55) years, ending and terminating on June 25, 2057, unless renewed or sooner terminated under the provisions of said Municipal Code.



The annual rental is modified to be Five Hundred Ninety-five Dollars (\$595.00), payable in advance each year, subject to adjustment pursuant to the provisions of the Wrangell Municipal Code, § 16.08.220, as it may from time to time be amended.

Lessees will maintain the following described improvements on the leased lands:  
Garage-Woodshed.

Lessor has imposed no other conditions or limitations on Lessees other than those contained in Wrangell Municipal Code, Title 16, and those that may be required by the Army Corps of Engineers, and in consideration thereof, Lessees hereby agree to perform such other acts and deeds required by said Municipal Code relating to the construction and operation of said structure. Lessees hereby state that they are aware of such requirements and that they have read or caused the provisions thereof to be read and understood, which terms and provisions are hereby adopted by reference as if fully set forth in writing herein.

The terms and conditions of this Lease are subject to and include the provisions of Wrangell Municipal Code, Chapter 16.08, as the same may be amended, revised or replaced.

Lessees further agree, at the expiration of said term or renewal term, to quit and surrender the said premises with improvements thereon according to the terms and provisions of the Wrangell Municipal Code.

Dated at Wrangell, Alaska, the day and year next below written.

Date: October 16, 2006

ATTEST:

Christie Jamieson  
Christie Jamieson  
City Clerk

City of Wrangell, Alaska  
Lessor

By Valery McCandless, serving as Mayor  
Valery McCandless  
Mayor

Date: 11-9-06, 2006

Randy Easterly  
Randy Easterly  
Lessee

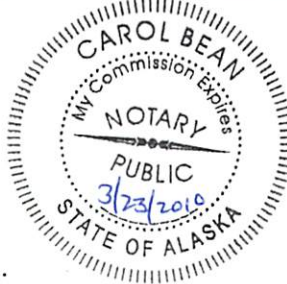
Date: Oct, 19, 2006

Jeannie Easterly  
Jeannie Easterly  
Lessee



STATE OF ALASKA )  
 ) ss:  
 First Judicial District )

The foregoing instrument was acknowledged before me this 16<sup>th</sup> day of October, 2006, by **Valery McCandless** and **Christie Jamieson**, Mayor and City Clerk, respectively, of the City of Wrangell, Alaska.



Carol Bean  
 Notary Public for Alaska  
 Commission expires: 3/23/2010

STATE OF ALASKA )  
 ) ss:  
 First Judicial District )

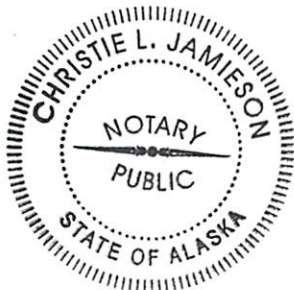
The foregoing instrument was acknowledged before me this 9<sup>th</sup> day of November, 2006, by **Randy Easterly**.



Christie L. Jamieson  
 Notary Public for Alaska  
 Commission expires: 7-2-2010

STATE OF ALASKA )  
 ) ss:  
 First Judicial District )

The foregoing instrument was acknowledged before me this 19<sup>th</sup> day of October, 2006, by **Jeannie Easterly**.



Christie L. Jamieson  
 Notary Public for Alaska  
 Commission expires: 7-2-2010

ALASKA



## CC

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**City and Borough of Wrangell, Alaska**  
**Port Commission**  
**Regular Meeting September 7<sup>th</sup>, 2023**  
**Staff Recommendation**

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**Agenda Item:** New Business

**From:** Steve Miller, Port Director

**Subject:** Request from Wrangell Cooperative Association to purchase a portion of Borough Real Property/Tidelands identified as Lot 1, Plat 84-5, of the ATS 1209 Subdivision, zoned Open Space/Public.

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The Wrangell Cooperative Association, Earth Branch is requesting to purchase a portion of Borough property as identified in the report from planning and zoning. Please see attached planning and zoning staff report.

**Attachments:** 1.) Planning and Zoning Staff Report containing maps and utility locations, 2.) Letter From WCA outlining proposal, 3.) Photo of proposed split submitted by WCA,

**Recommendation:** After discussions with the Planning and zoning administration over constraints that may arise for the city's use of this property it is recommended to approve the sale of the identified parcel of tidelands.

**Recommended Motion:** Move to recommend approval of the Wrangell Cooperative Association, Earth Branch's request to purchase a portion of Borough property/tidelands Lot 1, Plat 84-5, of the ATS 1209 Subdivision, zoned Open Space/Public

**City and Borough of Wrangell, Alaska**  
**Planning and Zoning Commission**  
**Regular Meeting August 10<sup>th</sup>, 2023**  
**Staff Report**

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**Agenda Item:** New Business, Item 8D

**From:** Kate Thomas, Economic Development Director

**Subject:** Request from Wrangell Cooperative Association to purchase a portion of Borough Real Property/Tidelands identified as Lot 1, Plat 84-5, of the ATS 1209 Subdivision, zoned Open Space/Public.

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**Background:**

The Wrangell Cooperative Association, Earth Branch is requesting to purchase a portion of Borough property as identified in the attached map for the purpose of establishing a year-round greenhouse defined in the proposal herein. Considerable internal discussion has taken place in the review of the disposal/sale of the property in question. Directors from Parks and Recreation, Capital Facilities and Public Works have had an opportunity to review the proposal and share implications of the sale as it relates to their area of expertise. Likewise, the Port and Harbor Commission will review the item at their regularly scheduled meeting in September. All supporting documents and recommendations will be elevated to the Borough Assembly through the Clerk's office under a Public Hearing.

The property identified as Lot 1 of the ATS 1209 Subdivision is zoned Open Space/ Public. The City and Borough of Wrangell owns the land, while the Parks and Recreation department is tasked with land management. Originally the parcel was entirely tidelands, however it was filled to accommodate recreation activities such as baseball and gardening. Currently the Wrangell Community Garden has a memorandum of agreement in place between the Garden Committee and the City and Borough of Wrangell (P&R) which allows for community use for the purpose of gardening within certain boundaries of the parcel. The Wrangell Cooperative Association, Earth Branch is a partner to the Garden Committee, who hosts a community compost machine inside one of the structures on site. If the property is subdivided as requested by the purchasing party and recommended by the Planning Administrator, the Community Garden activity is subject to remain on site on the southern part of parcel that would be maintained by the Borough through the terms set by the Memorandum of Agreement.

In addition to the present use occurring on site, the City and Borough has existing utility infrastructure for water, power, and waste. The wastewater systems' sewer outfall lines run (see satellite image) east to west through the property. Additional water services route to the old concession stand building on the east side of the parcel and to the City Park restroom facilities on the opposite side of the road accessing the parcel. Due to the critical nature of the infrastructure and future improvements therein it is paramount that the sale of any portion of the parcel excludes land that accommodates the access and utility easement. Coast Alaska currently holds a Special Use Permit to allow the Permittee to maintain a transmission tower and communication structure at Cemetery Point. Access to the permitted area will be maintained by way of the easement.

While land modifications and improvements took place previously, any recent developments for new uses or conditional uses have not come to fruition. In part, this is because the land is proximate to indigenous burial grounds of tribal members long since passed throughout the forested area that separates the Heritage Harbor parking lot from the cemetery and surrounding area. The City and Borough has sought approval/support from the Wrangell Cooperative Association (WCA) in review of proposals that have been submitted. WCA has objected to development due to the spiritual and cultural importance of the burial grounds. To that end, land ownership and stewardship in this area is of high importance to the WCA as described in their attached proposal. It is important to note that without agency support as required by the Alaska State Historic



Preservation Office (SHPO) the City and Borough of Wrangell is unlikely to qualify for federal funding in this area, restricting capacity to tackle any major land modifications and/or improvements on site.

The City and Borough of Wrangell has evaluated that land for cemetery expansion in future developments. The characteristics of the property are such that the Borough does not believe it would be viable for cemetery expansion in the way of burials, although a columbarium might be considered. Currently, Parks & Recreation has no improvement plans on the property, other than to transition the southern portion (existing garden area) of the parcel to natural greenspace maintaining the purpose of the zoned area and complimenting existing and proposed uses.

Lastly, greenhouse construction may require a zone change under a contract zone, unless the Commission recognizes greenhouse developments under “recreation facilities and sites” in the Open Space/Public zone that currently exists. “Contract zoning” means a zoning reclassification to a less restricted use when the owner of the rezoned property, through an agreement with the borough assembly, places restrictions on the use of the land beyond the zoning requirements generally attaching to the new district in which the property has been placed (WMC 20.77.010).

**Attachments:**

1.) Public map of property, 2.) Public map of proposed area with features indicating proximate location of utilities, 3.) Letter from WCA outlining proposal 4.) Photo of proposed split submitted by WCA, 5.) Sewer outfall satellite image, 6.) Plat 84-5.

**Recommendation:**

Staff recommend that the Planning and Zoning Commission approve a recommendation to the Borough Assembly to approve the sale of a portion of Lot 1, of the ATS 1209 Subdivision with conditions for approval.

**Recommended Motion:**

Move to recommend approval of the Wrangell Cooperative Association, Earth Branch’s request to purchase a portion of Borough property/tidelands Lot 1, Plat 84-5, of the ATS 1209 Subdivision, zoned Open Space/Public with the following conditions.

1. Parcel shall be surveyed and subdivided with necessary access and utility easements maintained and/or established in the replat;
2. Borough shall provide input on property lines established in the replat;
3. Contract zone shall be established under the zoning district which best aligns with greenhouse use;
4. Borough maintains ownership of the south lot created by the subdivision;
5. Tidelands lease shall be established until the proposed improvements are complete;
6. Public use is maximized to the degree possible;
7. All expenses associated with the sale of the property are the responsibility of the purchasing party.

*Item c.*



N

1 inch = 221.600956 feet  
54 e: 6/27/2023

Public Map



**DISCLAIMER: THESE MAPS ARE FOR PLANNING PURPOSES ONLY.  
PROPERTY LINES ARE APPROXIMATE. AERIAL 2002.**





Public Map



1 inch = 221.600956 feet  
55 e: 6/29/2023

**DISCLAIMER: THESE MAPS ARE FOR PLANNING PURPOSES ONLY.  
PROPERTY LINES ARE APPROXIMATE. AERIAL 2002.**



Outfall per NOAA Chart

Outfall per Shannon & Wilson drawings/Carson Dorn Benthic Infauna study

Heritage Harbor

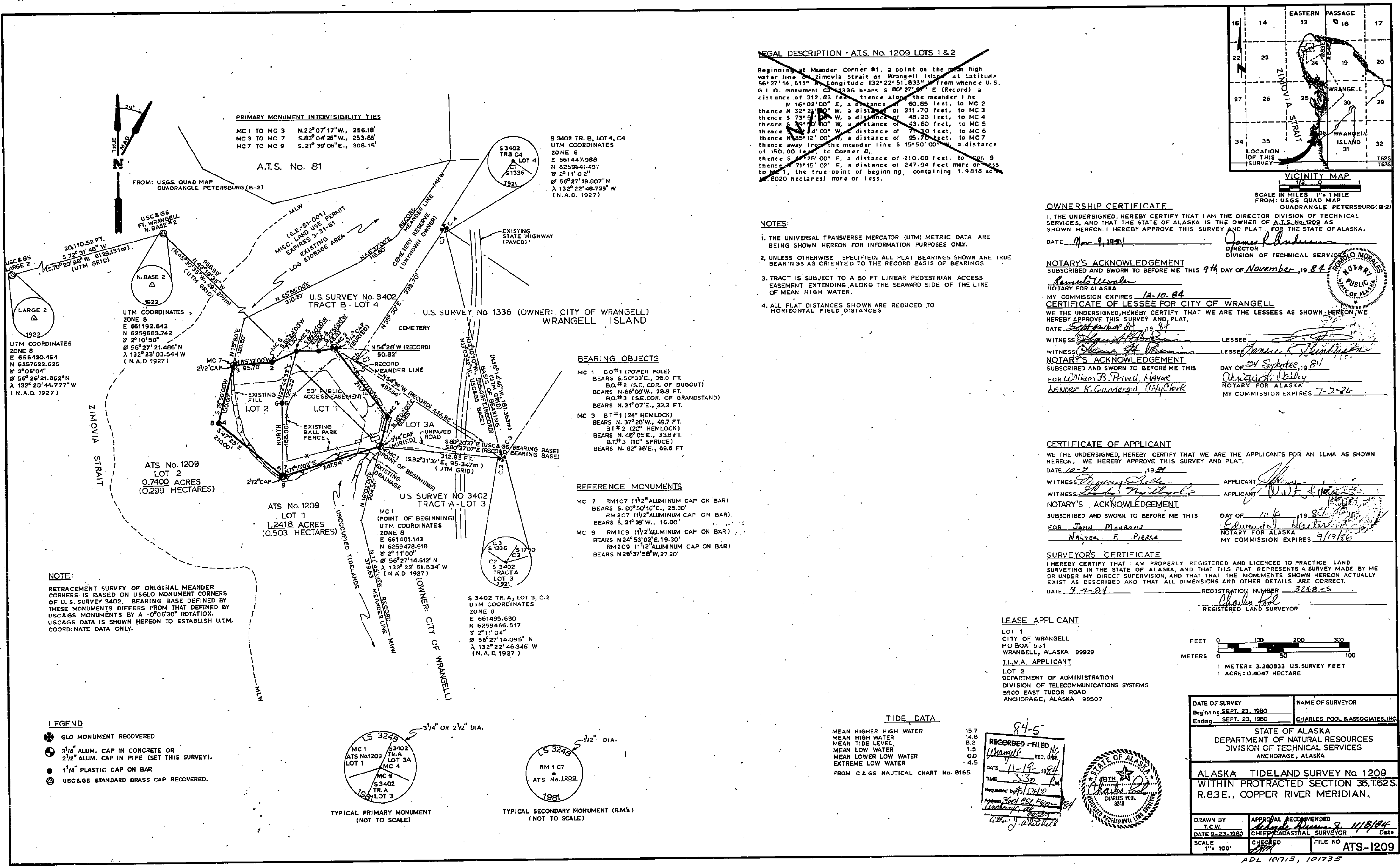
Harbor View Self Storage

Wrangell Memorial Cemetery

Wrangell City Park

Bloom's Trailer Court





LEGAL DESCRIPTION - A.T.S. No. 1209 LOTS 1 & 2

Beginning at Meander Corner #1, a point on the Mean High water line of Zimovia Strait on Wrangell Island at Latitude 56°27'14.611" N Longitude 132°22'51.833" W from whence U.S. G.L.O. monument C2-1336 bears S 80°27'07" E (Record) a distance of 312.83 feet, thence along the meander line N 16°02'00" E, a distance of 50.85 feet, to MC 2 thence N 32°21'00" W, a distance of 211.70 feet, to MC 3 thence S 73°51'00" W, a distance of 49.20 feet, to MC 4 thence S 89°50'00" W, a distance of 43.60 feet, to MC 5 thence N 85°12'00" W, a distance of 95.70 feet, to MC 6 thence away from the meander line S 15°50'00" W, a distance of 150.00 feet, to Corner 8, thence S 11°25'00" E, a distance of 210.00 feet, to Corner 9 thence N 71°15'02" E, a distance of 247.94 feet more or less to MC 1, the true point of beginning, containing 1.9818 acres (87,6020 hectares) more or less.

NOTES:

1. THE UNIVERSAL TRANSVERSE MERCATOR (UTM) METRIC DATA ARE BEING SHOWN HEREON FOR INFORMATION PURPOSES ONLY.
2. UNLESS OTHERWISE SPECIFIED, ALL PLAT BEARINGS SHOWN ARE TRUE BEARINGS AS ORIENTED TO THE RECORD BASIS OF BEARINGS
3. TRACT IS SUBJECT TO A 50 FT LINEAR PEDESTRIAN ACCESS EASEMENT EXTENDING ALONG THE SEAWARD SIDE OF THE LINE OF MEAN HIGH WATER.
4. ALL PLAT DISTANCES SHOWN ARE REDUCED TO HORIZONTAL FIELD DISTANCES

BEARING OBJECTS

- MC 1 80°11' (POWER POLE)  
BEARS S 56°33' E., 39.0 FT.  
B.O.#2 (S.E. COR. OF DUGOUT)  
BEARS N 66°09' W., 38.9 FT.  
B.O.#3 (S.E. COR. OF GRANDSTAND)  
BEARS N 21°07' E., 32.2 FT.
- MC 3 BT#1 (24" HEMLOCK)  
BEARS N 37°28' W., 49.7 FT.  
BT#2 (20" HEMLOCK)  
BEARS N 40°05' E., 33.8 FT.  
BT#3 (10" SPRUCE)  
BEARS N 82°38' E., 69.5 FT.

REFERENCE MONUMENTS

- MC 7 RM1C7 (1 1/2" ALUMINUM CAP ON BAR)  
BEARS S 80°50'16" E., 25.30'  
RM2C7 (1 1/2" ALUMINUM CAP ON BAR)  
BEARS S 31°39' W., 16.80'
- MC 9 RM1C9 (1 1/2" ALUMINUM CAP ON BAR)  
BEARS N 24°53'02" E., 19.30'  
RM2C9 (1 1/2" ALUMINUM CAP ON BAR)  
BEARS N 29°37'58" W., 27.20'

OWNERSHIP CERTIFICATE

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM THE DIRECTOR DIVISION OF TECHNICAL SERVICES, AND THAT THE STATE OF ALASKA IS THE OWNER OF A.T.S. No. 1209 AS SHOWN HEREON. I HEREBY APPROVE THIS SURVEY AND PLAT FOR THE STATE OF ALASKA.

DATE Nov 9, 1984

NOTARY'S ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF November, 1984

NOTARY FOR ALASKA  
My Commission Expires 12-10-84

CERTIFICATE OF LESSEE FOR CITY OF WRANGELL

WE THE UNDERSIGNED, HEREBY CERTIFY THAT WE ARE THE LESSEES AS SHOWN HEREON. WE HEREBY APPROVE THIS SURVEY AND PLAT.

DATE September 8, 1984

WITNESS James H. Berman LESSEE  
WITNESS James H. Berman LESSEE

NOTARY'S ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS DAY OF Sept, 1984

FOR William B. Privett, Mayor  
Lawrence K. Gunderson, City Clerk

NOTARY FOR ALASKA  
My Commission Expires 7-2-86

CERTIFICATE OF APPLICANT

WE THE UNDERSIGNED, HEREBY CERTIFY THAT WE ARE THE APPLICANTS FOR AN ILMA AS SHOWN HEREON. WE HEREBY APPROVE THIS SURVEY AND PLAT.

DATE 10-2-84

WITNESS John M. Berman APPLICANT  
WITNESS John M. Berman APPLICANT

NOTARY'S ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN TO BEFORE ME THIS DAY OF 10/2, 1984

FOR John M. Berman  
Walter F. Pierce

NOTARY FOR ALASKA  
My Commission Expires 9/19/86

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM PROPERLY REGISTERED AND LICENCED TO PRACTICE LAND SURVEYING IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AS DESCRIBED AND THAT ALL DIMENSIONS AND OTHER DETAILS ARE CORRECT.

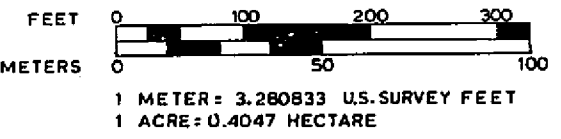
DATE 9-7-84 REGISTRATION NUMBER 3248-S

REGISTERED LAND SURVEYOR

LEASE APPLICANT

LOT 1  
CITY OF WRANGELL  
P.O. BOX 531  
WRANGELL, ALASKA 99929

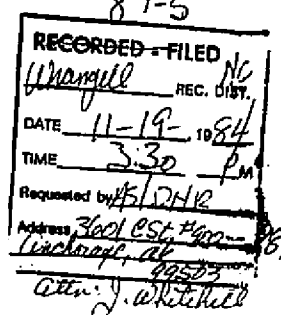
ILMA APPLICANT  
LOT 2  
DEPARTMENT OF ADMINISTRATION  
DIVISION OF TELECOMMUNICATIONS SYSTEMS  
5800 EAST TUDOR ROAD  
ANCHORAGE, ALASKA 99507



TIDE DATA

MEAN HIGHER HIGH WATER	15.7
MEAN HIGH WATER	14.8
MEAN TIDE LEVEL	8.2
MEAN LOW WATER	1.5
MEAN LOWER LOW WATER	0.0
EXTREME LOW WATER	-4.5

FROM C & GS NAUTICAL CHART No. 8165



DATE OF SURVEY Beginning <u>SEPT. 23, 1980</u> Ending <u>SEPT. 23, 1980</u>	NAME OF SURVEYOR <u>CHARLES POOL &amp; ASSOCIATES, INC.</u>
STATE OF ALASKA DEPARTMENT OF NATURAL RESOURCES DIVISION OF TECHNICAL SERVICES ANCHORAGE, ALASKA	
ALASKA TIDELAND SURVEY No. 1209 WITHIN PROTRACTED SECTION 36, T62S. R.83E., COPPER RIVER MERIDIAN.	
DRAWN BY T.C.W. DATE <u>9-23-1980</u>	APPROVAL RECOMMENDED <u>Charles Pool</u> <u>9/18/84</u> DATE SCALE 1" = 100'
CHECKED <u>John M. Berman</u>	FILE NO. <u>ATS-1209</u>

ADL 101715, 101735

Alex Angerman  
 Tl'átk | Earth Branch  
 PO Box 2021  
 Wrangell, AK 99929  
 igapcoord.wca@gmail.com  
 907-305-0977

City & Borough of Wrangell  
 205 Brueger Street  
 Wrangell, AK 99929

Subject: Request for Greenhouse Land

To Whom It May Concern;

I hope this letter finds you in good health and high spirits. I am writing on behalf of the Wrangell Cooperative Association Tl'átk | Earth Branch to formally request the allocation of a parcel from the City & Borough of Wrangell for a year-round greenhouse. We have secured funding to assist our branch in the build of this greenhouse but need land to build on. Our organization strongly believes in the importance of food sovereignty, and we are confident that this request aligns with the City's goals for sustainable development and environmental stewardship. Attached to this letter is the portion of the plot in which we hope to purchase (highlighted in yellow).

The Wrangell Cooperative Association Tl'átk | Earth Branch is committed to fostering a healthy and vibrant environment for the residents of Wrangell. We actively engage in various community initiatives aimed at promoting conservation, outdoor recreation, and environmental education. It is with great enthusiasm and dedication that we seek to obtain this land, which would serve as a valuable asset for our community members and future generations.

The land will be used as follows:

- The build of a four-season greenhouse with water and electrical connections. While building, we will prioritize the protection of natural habitats, sensitive ecosystems, and wildlife within the designated parcel. This will include implementing sustainable land management practices and promoting biodiversity conservation.
- The product of the greenhouse will benefit the community as a whole, to the discretion of the WCA Tribal Council. We are not seeking to compete with other local greenhouses as the more food security our island has, the better.



- More than likely, we will be able to move our commercial composter, currently housed within the old baseball concession stands adjacent to the community garden, to this land to assist with heating the greenhouse. The product from the composter will continue to benefit the community as well.
- We will eventually have the ability to hire staff to maintain the greenhouse and composter which will allow for additional economic development in Wrangell.
- The greenhouse will serve as an educational resource, offering opportunities for workshops, training, and programs focused on environmental awareness, sustainability, and gardening practices.

It has come to our attention that the land is both tidelands and maintained by the Parks & Recreation Department. It will also need to be rezoned. We are open to answering any questions. We also understand that the path to the towers behind (beach side) needs to remain open. We will be very happy to be close to the indigenous gravesites located right behind this parcel of land. We understand the responsibility that comes with the stewardship of such an area and are committed to upholding the highest standards of environmental care and community engagement.

We kindly request consideration and are open to providing additional information, addressing any concerns, and exploring potential partnership opportunities to ensure the successful implementation of this project.

Thank you for considering our request for this land. We firmly believe that this initiative will contribute significantly to the quality of life in Wrangell and promote a sustainable future for our community. We look forward to the opportunity to discuss this matter further and provide any necessary details to support our request.

Please feel free to contact me at 907-305-0977 or [igapcoord.wca@gmail.com](mailto:igapcoord.wca@gmail.com) to arrange a meeting at your convenience. Thank you for your attention, and we appreciate your support in our endeavor.

Sincerely,

*Alex Angerman*

Alex Angerman

Tl'átk | Earth Branch Coordinator

