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## MEETING NOTICE

*The City Council of the City of Woodcreek, Texas will conduct a meeting at Woodcreek City Hall, 41 Champions Circle, Woodcreek, Texas. The meeting will be held on Wednesday, October 09, 2024 at 6:30 PM.*

*All attendees are encouraged to wear face coverings when a minimum of six-foot social distancing cannot be maintained. Smoking is not allowed anywhere on the property of City Hall.*

*The public may watch this meeting live at the following link:*

<https://zoom.us/j/93042077015?pwd=VWltS09Va1IJZWxzZHY4TVRMOzBvQT09>

Meeting ID: 930 4207 7015 ; Passcode: 946057

*A recording of the meeting will be made and will be available to the public in accordance with the Texas Public Information Act upon written request. This notice, as amended, is posted pursuant to the Texas Open Meetings Act (Vernon's Texas Codes Ann. Gov. Code Chapter 551).*

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*The City of Woodcreek is committed to compliance with the Americans with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Please call the City Secretary's Office at 512-847-9390 for information. Hearing-impaired or speech disabled persons equipped with telecommunications devices for the deaf may call 7-1-1 or may utilize the statewide Relay Texas program at 1-800-735-2988.*

*Pursuant to Section 30.07, Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly.*

*It is anticipated that members of other City Boards, Commissions, Panels and/or Committees may attend the meeting in numbers that may constitute a quorum of the other City Boards, Commissions, Panels and/or Committees. Notice is hereby given that this meeting, to the extent required by law, is also noticed as a meeting of the other City Boards, Commissions, Panels and/or Committees of the City, whose members may be in attendance. The members of the City Boards, Commissions, Panels and/or Committees may participate in discussions on the items listed on this agenda, which occur at this meeting, but no action will be taken by those in attendance unless such action item is specifically listed on an agenda during a regular or special meeting for the respective Board, Commission, Panel and/or Committee subject to the Texas Open Meetings Act.*

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*The City Council may retire to Executive Session any time during this meeting, under Texas Government Code, Subchapter D.*

Action, if any, will be taken in open session.

*This agenda has been reviewed and approved by the City's legal counsel and the presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the governmental body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.*

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*Any citizen shall have a reasonable opportunity to be heard at any and all meetings of the Governing Body in regard to: (1) any and all matters to be considered at any such meeting, or (2) any matter a citizen may wish to bring to the Governing Body's attention. No member of the Governing Body may discuss or comment on any citizen public comment, except to make: (1) a statement of specific, factual information given in response to the inquiry, or (2) a recitation of existing policy in response to the inquiry. Any deliberation of or decision about the subject of the inquiry shall be limited to a proposal to place the subject on the agenda for a subsequent meeting per Texas Local Government code Sec. 551.042*

*Citizen comments will be allowed at the beginning of every meeting, or alternatively, before an item on the agenda upon which the citizen wishes to speak is to be considered. All citizens will be allowed to comment for **three (3) minutes** per person and shall be allowed more time at the Mayor or Chair's discretion. In addition, citizens may pool their allotted speaking time. To pool time, a speaker must present the names individuals present in the audience who wish to yield their three(3) minutes. Citizens may present materials regarding any agenda item to the City Secretary at or before a meeting, citizens attending any meeting are requested to complete a form providing their name, address, and agenda item/concern, but are not required to do so before speaking and presenting it to the City Secretary prior to the beginning of such meeting. Comments may only be disallowed and/or limited as per Government Code § 551.007(e).*

*Submit written comments by email to [woodcreek@woodcreektx.gov](mailto:woodcreek@woodcreektx.gov) by **NOON**, the day prior to the meeting. Please include your full name, home or work address, and the agenda item number. Written comments will be part of the official written record only.*

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## AGENDA

**CALL TO ORDER**

**MOMENT OF SILENCE**

**PLEDGES**

**ROLL CALL and ESTABLISH QUORUM**

**PUBLIC COMMENTS**

## REGULAR AGENDA

1. Consideration and Possible Action to approve the portion of the FY 2024-2025 tax rate dedicated to maintenance and operations be \$0.1099, and the total FY 2024-2025 tax rate of \$0.1908 as reflected in the FY2024-2025 budget pursuant to TEX. TAX CODE § 26.05(a)
2. Consideration and Possible Action on an Ordinance of the City Council of The City Of Woodcreek, Texas (Ordinance #24-10-09-1, Adopting a Tax Rate Of \$0.1908 Per One Hundred Dollars (\$100.00) Consisting of the Approved Maintenance and Operation Rate (\$0.1099) and Debt Service Rate (\$0.0809) of Assessed Valuation For the City Of Woodcreek To Be Effective For the 2024 Tax Year (Fiscal Year 2025)
3. Discussion and possible action to award the City of Woodcreek 2024 Safety Enhancement Program bid to Myers Concrete. (Hines)
4. Discussion and possible action to select a design and authorize the City of Woodcreek Engineering Firm, Freeland Turk, and city staff to draft and post a Request for Bid to improve the cul de sac at Champion Court to enhance safety. (Hines)
5. Discussion and possible action to post a Request for Qualifications (RFQ) for a City Secretary for The City of Woodcreek. (Hines)
6. Discussion and possible action to delegate all duties of the office of City Secretary of the City of Woodcreek to the current acting City Administrator, Jim Burton, who may then assign some task to other city staff to distribute the workload. (Hines)
7. Discussion and possible action to approve a stipend for city staff, Taffy Barker, not to exceed \$250.00 per week as compensation for added duties that may occur during the duration of the time that the City of Woodcreek takes to hire a new City Secretary. (Hines)
8. Authorize staff to draft and issue a request for proposals (RFP) for administrative and plan development services for the Resilient Communities Program (RCP) grant program administered by the Texas General Land Office (GLO). (Hines)
9. Discussion and possible action to adopt a Flood Plain Damage Prevention Ordinance for the City of Woodcreek, Texas. (Hines)
10. Discussion and possible action to adopt a resolution designating the totality of the American Rescue Plan Act funds received by the City of Woodcreek as "lost revenue," be incorporated into the General Fund, and allocated for drainage and planning projects during the fiscal year 2024-2025. (Hines)
11. Discussion and possible action to authorize the Mayor to negotiate the terms and conditions of an employment agreement with the selected candidate from the City Administrator selection process, execute the agreement subject to legal review, and upon successful execution, appoint the individual as the City Administrator for the City of Woodcreek. (Hines)

## COUNCIL CONSIDERATIONS FOR AGENDA ITEMS AT NEXT REGULAR COUNCIL MEETING

### ANNOUNCEMENTS

12. Town Hall for City-Wide Drainage Issues Scheduled for October 22nd at 6:30PM at the VFW with City Engineers, Freeland Turk, in attendance and leading the meeting.
13. Deerfield update: a projected timeline has been received from the project management team. We are waiting for an updated design plan, and then will move forward with scheduling a town hall meeting to discuss the north / south work with residents and property owners in that area.

### ADJOURN

**POSTING CERTIFICATION**

**IT IS HEREBY CERTIFIED** that the foregoing agenda has been posted on the outdoor Notice Board of Woodcreek City Hall on the **4th day of October, 2024 at 4:00PM.**



## City Council Agenda Item Coversheet

### Proposed Motion:

Motion to approve the portion of the FY 2024-2025 tax rate dedicated to maintenance and operations to be \$0.1099, and the total FY 2024-2025 tax rate of \$0.1908 as reflected in the FY2024-2025 budget pursuant to TEX. TAX CODE § 26.05(a)

### Item Description:

Due to an error on the tax rate calculation sheet, as provided by Hays County, the portion of the overall tax rate dedicated to M&O was miscalculated. This action does NOT alter the budget passed or the overall tax rate. The motion is only to adjust the M&O to the correct number in documentation. In the subsequent agenda item, the motion is to amend the existing ordinance with the appropriate number as reflected in this item.

If proposing to spend money, what amount and from what budget line item?

# CITY OF WOODCREEK ANNUAL OPERATING BUDGET Fiscal Year October 1, 2024 to September 30, 2025

“This budget will raise less revenue from property taxes than last year’s budget by an amount of \$62.00, which is a .0002% decrease from last year’s budget. The property tax revenue to be raised from new property added to the tax roll this year is \$473.00.”

Ordinance Number 24-09-25-01      Approved October 9, 2024

Mayor Pro Tem Debra Hines	Yes ( )	No( )	Abstention( )
Council Member Linnea Bailey	Yes ( )	No( )	Abstention( )
Council Member Chrys Grummert	Yes ( )	No( )	Abstention( )
Council Member Bob Hambrick	Yes ( )	No( )	Abstention( )
Council Member Krista Richardson	Yes ( )	No( )	Abstention( )

	<b>2023-2024</b>	<b>2024-2025</b>
<b>Property Tax Rate</b>	<b>\$ .2000 /\$100 of Valuation</b>	<b>\$ .1908 /\$100 of Valuation</b> No-New-Revenue (NNR) Tax Rate
No-New-Revenue Tax Rate	\$ .1647 /\$100 of Valuation	\$ .1908 /\$100 of Valuation
No-New-Revenue Maintenance & Operations Rate	\$ .1649 /\$100 of Valuation	\$ .1099 /\$100 of Valuation
Voter Approval Tax Rate	\$ .2705 /\$100 of Valuation	\$ .2489 /\$100 of Valuation
Debt Rate	\$ .0977 /\$100 of Valuation	\$ .0809 /\$100 of Valuation

Total Amount of Debt Obligations for the City of Woodcreek, secured by property taxes: \$3,310,000

ORDINANCE No. 24-09-25-01  
CITY OF WOODCREEK, TEXAS

AN ORDINANCE OF THE CITY OF WOODCREEK, TEXAS APPROVING THE CERTIFIED APPRAISAL ROLL; SETTING THE TAX RATE; LEVYING AND ASSESSING AD VALOREM TAXES FOR THE USE AND SUPPORT OF THE MUNICIPAL GOVERNMENT OF THE CITY OF WOODCREEK, TEXAS FOR FISCAL YEAR 2024-2025; APPORTIONING THE LEVIES FOR SPECIFIC PURPOSES; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the City Council finds Chief Appraiser of the Hays County Central Tax Appraisal District has prepared, certified, and submitted to the tax assessor collector the appraisal roll of the City of Woodcreek, Texas (the "City") for 2024; and

WHEREAS, the Tax Assessor and Collector of Hays County has performed the statutory calculations required by Section 26.04 of the Texas Tax Code, and the City of Woodcreek has published the proposed tax rate, and has fulfilled all other requirements for publication as contained in Section 26.052 of the Texas Tax Code, in a manner designed to come to the attention of all residents of said City and has submitted said rates to the City Council of said City prior to the City Council meeting of October 9, 2024; and

WHEREAS, the City Council finds the tax rate to be levied for 2024 (fiscal year 2025) set by this ordinance is based on the appraisal roll and is sufficient to provide the tax revenues required by the City; and

WHEREAS, the City Council finds all requirements contained in the Texas Tax Code have been met and all required notices have been issued in accordance with Texas law permitting this tax levy; and

WHEREAS, the City Council finds that this Ordinance is in compliance with Texas Tax Code 06.05 (b)(1) by including the following statement in type larger than the type used in any other portion of this Ordinance:

**THIS TAX RATE WILL RAISE NO MORE TAXES FOR MAINTENANCE  
AND OPERATIONS THAN LAST YEARS TAX RATE.**

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WOODCREEK, TEXAS:

## SECTION 1.

That the tax rate of the City of Woodcreek, Texas for the tax year 2024 be, and is hereby, set at \$0.1908 on each one hundred dollars (\$ 100) of the taxable value of real and personal property not exempt from taxation by the Constitution and laws of this State situated within the corporate limits of said City.

## SECTION 2.

That there is hereby levied for the tax year 2024 upon all real and personal property not exempt from taxation by the Constitution and laws of this State situated within the corporate limits of said City, and there shall be collected for the use and support of the municipal government of the City of Woodcreek, Texas, to provide a sinking fund for the retirement of the existing indebtedness of said City so levied and collected, shall be apportioned to the specific purposes hereinafter set forth; to-wit:

- A. For the payment of current expenses and to be deposited in the general fund (for the purposes of maintenance and operations) \$.1099 on each one hundred dollars (\$ 100) of the taxable value of such property; and
- B. To provide for sinking funds for the payment of the principal and interest and the retirement of the tax note debt, and the same shall become due as shall be necessary to pay the principal and interest of the current year as follows, \$.0809 per one hundred dollars (\$ 100) valuation.

## SECTION 3.

In accordance with the provisions and requirements of Section 26.05 of the Texas Property Tax Code, as amended, the City Council hereby states that:

**THIS TAX RATE WILL RAISE NO MORE TAXES FOR MAINTENANCE  
AND OPERATIONS THAN LAST YEAR'S TAX RATE.**

## SECTION 4.

That the Hays County Tax Assessor and Collector is hereby authorized to assess and collect the taxes of said City employing the above tax rate.

## SECTION 5.

The taxes levied hereby are due presently and shall be delinquent if not paid by January 2025.

## SECTION 6.

That monies collected pursuant to this Ordinance shall be expended as set forth in the City of Woodcreek's FY 2024-2025 Annual Budget.



SECTION 7.

That this Ordinance shall take effect and be in full force and effect from and after its passage and approval according to law.

SECTION 8.

Pursuant to Texas Tax Code 06.05 (b) this ordinance must be a record vote; which is reflected below:

Mayor Pro Tem Debra Hines	( )Yes	( )No	( )Abstention
Council Member Linnea Bailey	( )Yes	( )No	( )Abstention
Council Member Chrys Grummert	( )Yes	( )No	( )Abstention
Council Member Bob Hambrick	( )Yes	( )No	( )Abstention
Council Member Krista Richardson	( )Yes	( )No	( )Abstention

PASSED, ADOPTED AND APPROVED by the City Council of the City of Woodcreek on this the 9th day of October, 2024.

CITY OF WOODCREEK:

ATTEST:

\_\_\_\_\_  
Jeff Rasco, Mayor

\_\_\_\_\_  
Acting City Secretary



September 30, 2024

Jeff Rasco  
Mayor  
City of Woodcreek  
41 Champions Circle  
Woodcreek, TX 78676

**Re: 2024 Safety Enhancement Program**

Dear Mayor Rasco:

The bids for the City of Woodcreek Project titled 2024 Safety Enhancement Program were received online on September 25, 2024, through CivCast. A total of two bid packages were received by the 3:00 p.m. deadline.

The attached bid tabulation provides the results of the responsive bidders. Myers Concrete Construction submitted the apparent lowest responsive bid of \$199,119.71. We reviewed their bid package and determined it to be administratively complete.

FTEG reviewed the information in their bid package, and we have determined that Myers Concrete Construction possesses the necessary qualifications to construct the referenced project. We also sought and received reference information that indicates Myers Concrete Construction has performed satisfactorily on similar projects.

Therefore, Freeland Turk recommends the City of Woodcreek award the contract for the Project titled 2024 Safety Enhancement Program to Myers Concrete Construction for the contract amount.

If you have any questions, please call me at (713) 419-5181.

Sincerely,

A handwritten signature in black ink that reads 'Melanie Norris' in a cursive script.

Melanie Norris, P.E.

Attachment: Bid Tabulation, Bid, References



**Freeland Turk**  
ENGINEERING GROUP

FREELAND TURK ENGINEERING GROUP, LLC  
18830 FORTY SIX PKWY, BLDG 2, STE B  
SPRING BRANCH, TX 78070

FIRM F-21047

830-377-4555

PROJECT WOODCREEK 2024 SAFETY ENHANCEMENT PROGRAM

DATE 9/25/2024

**BID SIGN IN SHEET**

COMPANY	NAME	EMAIL	PHONE
Freeland Turk Engineering Group	Gary Freeland	<a href="mailto:gfreeland@freelandturk.com">gfreeland@freelandturk.com</a>	830-377-4555
	Jim BORTOJ		
	MAYOR HUNT		



**Freeland Turk**  
ENGINEERING GROUP

FREELAND TURK ENGINEERING GROUP, LLC  
18830 FORTY SIX PKWY, BLDG 2, STE B  
SPRING BRANCH, TX 78070


FIRM F-21047  
830-377-4555

PROJECT WOODCREEK 2024 SAFETY ENHANCEMENT PROGRAM      BIDS OPENED BY Gary Freeland  
DATE 9/25/2024

BID OPENING - 3PM

COMPANY				BID PRICE
Myers Concrete				* 199,119.71
Alpha Paving				* 279,120.00

WITNESS SIGNATURE/DATE J. Berto 9/25/24

		FIRM F-21047	
		830-377-4555	
PROJECT	2024 SAFETY ENHANCEMENT PROGRAM		
DATE	9/30/2024 BID TABULATION		
<b>BID TAB</b>			
	MYERS CONCRETE		ALPHA PAVING
DESCRIPTION		BID AMOUNT	BID AMOUNT
GRAND TOTAL BID AMOUNT		\$199,119.71	\$279,120.00

**From:** City of San Antonio Compliance Senior Analyst  
Thomas Nixon  
210-207-6924

**Date:** 9/26/2024

**By:** Kaed Sheppard

**Subject:** 2024 SAFETY ENHANCEMENT PROGRAM

1. Did Contractor provide scope of work on-time and on-budget?  
*A: Yes, on time even though they faced adversity due to weather delays.*
2. Did contractor quality of performance meet your expectations and job specifications?  
*A: Yes*
3. Did contractor have any equipment issues?  
*A: No, project was completed in 2016.*
4. Have you had any warranty issues?  
*A: No*
5. Would you use/recommend Contractor for future projects?  
*A: Yes, would use them again.*



**From:** City of San Marcos Engineering Associate II  
Angel Sosa  
512-393-8146

**Date:** 9/26/2024

**By:** Kaed Sheppard

**Subject:** 2024 SAFETY ENHANCEMENT PROGRAM

1. Did Contractor provide scope of work on-time and on-budget?  
*A: Yes*
2. Did contractor quality of performance meet your expectations and job specifications?  
*A: Yes*
3. Did contractor have any equipment issues?  
*A: No*
4. Have you had any warranty issues?  
*A: No.*
5. Would you use/recommend Contractor for future projects?  
*A: Yes.*



**From:** City of Dripping Springs  
Kevin Hoffman, Transportation Department Manager at RPS North America  
512-328-5771

**Date:** 9/27/2024

**By:** Kaed Sheppard

**Subject:** 2024 SAFETY ENHANCEMENT PROGRAM

1. Did Contractor provide scope of work on-time and on-budget?  
*A: Yes, there were a few change orders and unidentified circumstances that arose, but they remained very cooperative and responded well to adversity of the project.*
2. Did contractor quality of performance meet your expectations and job specifications?  
*A: Yes, they did quality work and gave exactly what we were looking for.*
3. Did contractor have any equipment issues?  
*A: Nothing major that I can recall.*
4. Have you had any warranty issues?  
*A: No and its been ten years since they completed the project.*
5. Would you use/recommend Contractor for future projects?  
*A: Yes definitely for this scope of work (concrete repair and paving repair/modification.)*



**PROJECT:**

2024 Safety Enhancement Program  
154-102

**BIDDER:**

Myers Concrete

**TOTAL BID:**

\$199,119.71

**COMPLETION TIME:**

Not Required

**BIDDER INFO:**

2301 FM 3237  
wimberley, TX 78676  
P: 5126335229  
F:

Item 3.

**BID TOTALS**

<b>BASE BID</b>	<b>Total</b>
GENERAL CONDITIONS	\$32,989.00
2024 SAFETY ENHANCEMENT PROGRAM	\$166,130.71
<b>Total</b>	<b>\$199,119.71</b>

<b>GENERAL CONDITIONS</b>					
No.	Description	Unit	Qty	Unit Price	Ext Price
100-6001	PREPARING ROW	STA	15	\$141.00	\$2,115.00
500-6001	MOBILIZATION	LS	1	\$17,836.00	\$17,836.00
502-6001	BARRICADES, SIGNS AND TRAFFIC HANDLING	MO	3	\$4,346.00	\$13,038.00
<b>Subtotal:</b>					<b>\$32,989.00</b>

<b>2024 SAFETY ENHANCEMENT PROGRAM</b>					
No.	Description	Unit	Qty	Unit Price	Ext Price
105-6045	REMOVING STAB BASE AND ASPH PAV (2" - 8")	SY	220	\$46.00	\$10,120.00
247-6061	FL BS (CMP IN PLACE)(TY A GR 1-2)(6")	SY	30	\$90.00	\$2,700.00
506-6038	TEMPORARY SEDIMENT CONTROL FENCE (INSTALL)	LF	400	\$18.00	\$7,200.00
506-6039	TEMPORARY SEDIMENT CONTROL FENCE (REMOVE)	LF	400	\$9.00	\$3,600.00
644-6001	IN SM RD SN SUP&AM TY10BWG(1)SA(P)	EA	17	\$817.00	\$13,889.00
666-6048	REFL PAV MRK TY I (W) 24" (SLD)(100MIL)	LF	200	\$18.00	\$3,600.00
666-6182	REFL PAV MRK TY II (W) 24" (SLD)	LF	200	\$18.00	\$3,600.00
3076-6024	D-GR HMA TY-D SAC-B PG70-22 (2" DRIVEWAYS)	SY	220	\$60.00	\$13,200.00
3076-6024	D-GR HMA TY-D SAC-B PG70-22 (2" OVERLAY)	SY	1000	\$27.65	\$27,650.00
SPEC	INSTALL PROVIDED DIGITAL SPEED SIGNS	EA	4	\$266.51	\$1,066.04
SPEC	INSTALL PROVIDED SIGNS	EA	10	\$233.91	\$2,339.10

SPEC	BLADE LEVEL UP WITH ASPHALT CONCRETE	SY	1000	\$27.65	\$27,650.00	Item 3.
SPEC	GUARDRAIL MODIFICATION	LS	1	\$14,312.27	\$14,312.27	
SPEC	SPEED CUSHION	EA	10	\$3,520.43	\$35,204.30	
Subtotal: \$166,130.71						

**ACKNOWLEDGE ADDENDA**

Item 3.

NAME	ACKNOWLEDGEMENT DATE
ADDENDUM #1	09/23/2024 20:10:57 PM

**REQUIRED DOWNLOADS***Item 3.*

TYPE	NAME	DOWNLOAD DATE
Plans	CONSTRUCTION DOCUMENTS	9/9/2024 11:56:10 AM
Bid Docs	PROJECT MANUAL	9/9/2024 11:56:47 AM
Addenda	ADDENDUM #1	9/9/2024 11:56:54 AM

## **BID FORM FOR CONSTRUCTION CONTRACT**

The terms used in this Bid with initial capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

### **ARTICLE 1—OWNER AND BIDDER**

- 1.01 This Bid is submitted to: **City of Woodcreek, 41 Champions Circle, Woodcreek, Texas 78676**
- 1.02 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with Owner in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

### **ARTICLE 2—ATTACHMENTS TO THIS BID**

- 2.01 The following documents are submitted with and made a condition of this Bid:
- A. Required Bid security;
  - B. List of Proposed Subcontractors;
  - C. List of Proposed Suppliers;
  - D. Evidence of authority to do business in the state of the Project; or a written covenant to obtain such authority within the time for acceptance of Bids;
  - E. Contractor's license number as evidence of Bidder's State Contractor's License or a covenant by Bidder to obtain said license within the time for acceptance of Bids; and
  - F. Required Bidder Qualification Statement with supporting data.

### **ARTICLE 3—BASIS OF BID—LUMP SUM BID AND UNIT PRICES**

- 3.01 *Unit Price Bids*
- A. Bidder will perform the following Work at the indicated unit prices:
  - B. Bidder acknowledges that:
    1. each Bid Unit Price includes an amount considered by Bidder to be adequate to cover Contractor's overhead and profit for each separately identified item, and
    2. estimated quantities are not guaranteed, and are solely for the purpose of comparison of Bids, and final payment for all Unit Price Work will be based on actual quantities, determined as provided in the Contract Documents.

### **ARTICLE 4—TIME OF COMPLETION**

- 4.01 Bidder agrees that the Work will be substantially complete and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before the dates or within the number of calendar days indicated in the Agreement.
- 4.02 Bidder accepts the provisions of the Agreement as to liquidated damages.

**ARTICLE 5—BIDDER’S ACKNOWLEDGEMENTS: ACCEPTANCE PERIOD, INSTRUCTIONS, AND RECEIPT OF ADDENDA**

5.01 *Bid Acceptance Period*

- A. This Bid will remain subject to acceptance for 60 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of Owner.

5.02 *Instructions to Bidders*

- A. Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security.

5.03 *Receipt of Addenda*

- A. Bidder hereby acknowledges receipt of the following Addenda:

Addendum Number	Addendum Date
1	9/5/24

**ARTICLE 6—BIDDER’S REPRESENTATIONS AND CERTIFICATIONS**

6.01 *Bidder’s Representations*

- A. In submitting this Bid, Bidder represents the following:

1. Bidder has examined and carefully studied the Bidding Documents, including Addenda.
2. Bidder has visited the Site, conducted a thorough visual examination of the Site and adjacent areas, and become familiar with the general, local, and Site conditions that may affect cost, progress, and performance of the Work.
3. Bidder is familiar with all Laws and Regulations that may affect cost, progress, and performance of the Work.
4. Bidder has carefully studied the reports of explorations and tests of subsurface conditions at or adjacent to the Site and the drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, with respect to the Technical Data in such reports and drawings.
5. Bidder has carefully studied the reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, with respect to Technical Data in such reports and drawings.
6. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and the Technical

Data identified in the Supplementary Conditions or by definition, with respect to the effect of such information, observations, and Technical Data on (a) the cost, progress, and performance of the Work; (b) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, if selected as Contractor; and (c) Bidder's (Contractor's) safety precautions and programs.

7. Based on the information and observations referred to in the preceding paragraph, Bidder agrees that no further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract.
8. Bidder is aware of the general nature of work to be performed by Owner and others at the Site that relates to the Work as indicated in the Bidding Documents.
9. Bidder has given Engineer written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and of discrepancies between Site conditions and the Contract Documents, and the written resolution thereof by Engineer is acceptable to Contractor.
10. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.
11. The submission of this Bid constitutes an incontrovertible representation by Bidder that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

#### 6.02 Bidder's Certifications

##### A. The Bidder certifies the following:

1. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation.
2. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid.
3. Bidder has not solicited or induced any individual or entity to refrain from bidding.
4. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 8.02.A:
  - a. Corrupt practice means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the bidding process.
  - b. Fraudulent practice means an intentional misrepresentation of facts made (a) to influence the bidding process to the detriment of Owner, (b) to establish bid prices at artificial non-competitive levels, or (c) to deprive Owner of the benefits of free and open competition.
  - c. Collusive practice means a scheme or arrangement between two or more Bidders, with or without the knowledge of Owner, a purpose of which is to establish bid prices at artificial, non-competitive levels.



- d. Coercive practice means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the bidding process or affect the execution of the Contract.

BIDDER hereby submits this Bid as set forth above:

Bidder:

MYERS CONCRETE CONSTRUCTION

(typed or printed name of organization)

By:

*[Handwritten Signature]*

(individual's signature)

Name:

CHASE BOTKIN

(typed or printed)

Title:

OPERATIONS MANAGER

(typed or printed)

Date:

9/25/24

(typed or printed)

If Bidder is a corporation, a partnership, or a joint venture, attach evidence of authority to sign.

Attest:

*[Handwritten Signature]*

(individual's signature)

Name:

*[Handwritten Name]*

(typed or printed)

Title:

*[Handwritten Title]*

(typed or printed)

Date:

*[Handwritten Date]*

(typed or printed)

Address for giving notices:

2301 FM 3237

WIMBERLEY, TX

Bidder's Contact:

Name:

CHASE BOTKIN

(typed or printed)

Title:

OPERATIONS MANAGER

(typed or printed)

Phone:

512-633-5229

Email:

CHASE@MYERSCONCRETE.COM

Address:

2301 FM 3237

WIMBERLEY, TX

Bidder's Contractor License No.: (if applicable)



### BID BOND

**KNOW ALL MEN BY THESE PRESENTS, that** we Myers Concrete Construction, LP as principal, hereinafter called the "Principal," and **SURETEC INSURANCE COMPANY**, 2103 CityWest Blvd., Suite 1300, Houston, TX 77042, as surety, hereinafter called the "Surety," are held and firmly bound unto City of Woodcreek as obligee, hereinafter called the Obligee, in the sum of 5% of the greatest amount bid for the payment of which sum well and truly to be made, the said Principal and the said Surety, bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

**WHEREAS**, the principal has submitted a bid for safety enhancement project.

**NOW, THEREFORE**, if the contract be timely awarded to the Principal and the Principal shall within such time as specified in the bid, enter into a contract in writing or, in the event of the failure of the Principal to enter into such Contract, if the Principal shall pay to the Obligee the difference not to exceed the penalty hereof between the amount specified in said bid and such larger amount for which the Obligee may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect.

**PROVIDED, HOWEVER**, neither Principal nor Surety shall be bound hereunder unless Obligee prior to execution of the final contract shall furnish evidence of financing in a manner and form acceptable to Principal and Surety that financing has been firmly committed to cover the entire cost of the project.

SIGNED, sealed and dated this 25th day of September, 2024.

**Principal:**  
**Myers Concrete Construction, LP**

By: Randy Myers  
Signature

Name: Randy Myers

Title: V.President

**SureTec Insurance Company**

By: Jennifer Webb  
Signature

Name: **Jennifer Webb**  
**Attorney-in-Fact**



*The Rider(s) Attached Hereto Is/Are Incorporated in the Bond and Contains Important Coverage Information and Limitations*

# SureTec Insurance Company

## LIMITED POWER OF ATTORNEY

**Know All Men by These Presents**, That SURETEC INSURANCE COMPANY (the "Company"), a corporation duly organized and existing under the laws of the State of Texas, and having its principal office in Houston, Harris County, Texas, does by these presents make, constitute and appoint

Scott Burton, Shawn Claiborne, Jennifer Webb

its true and lawful Attorney-in-fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver any and all bonds, recognizances, undertakings or other instruments or contracts of suretyship to include waivers to the conditions of contracts and consents of surety for, providing the bond penalty does not exceed

Ten Million and 00/100 Dollars (\$10,000,000.00)

and to bind the Company thereby as fully and to the same extent as if such bond were signed by the President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said Attorney-in-Fact may do in the premises. Said appointment is made under and by authority of the following resolutions of the Board of Directors of the SureTec Insurance Company:

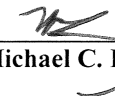
*Be it Resolved*, that the President, any Vice-President, any Assistant Vice-President, any Secretary or any Assistant Secretary shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

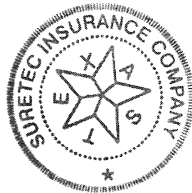
*Attorney-in-Fact* may be given full power and authority for and in the name of and of behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements or indemnity and other conditional or obligatory undertakings and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-Fact shall be binding upon the Company as if signed by the President and sealed and effected by the Corporate Secretary.

*Be it Resolved*, that the signature of any authorized officer and seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signature or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached. *(Adopted at a meeting held on 20<sup>th</sup> of April, 1999.)*

**In Witness Whereof**, SURETEC INSURANCE COMPANY has caused these presents to be signed by its President, and its corporate seal to be hereto affixed this 16th day of August, A.D. 2024.

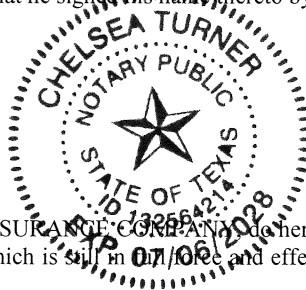
SURETEC INSURANCE COMPANY

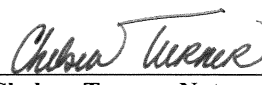
By:   
Michael C. Keimig, President



State of Texas                      ss:  
County of Harris

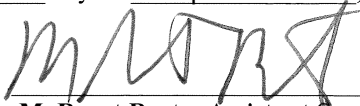
On this 16th day of August, A.D. 2024 before me personally came Michael C. Keimig, to me known, who, being by me duly sworn, did depose and say, that he resides in Houston, Texas, that he is President of SURETEC INSURANCE COMPANY, the company described in and which executed the above instrument; that he knows the seal of said Company; that the seal affixed to said instrument is such corporate seal; that it was so affixed by order of the Board of Directors of said Company; and that he signed his name thereto by like order.



  
Chelsea Turner, Notary Public  
My commission expires July 6, 2028

I, M. Brent Beaty, Assistant Secretary of SURETEC INSURANCE COMPANY, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Company, which is still in full force and effect; and furthermore, the resolutions of the Board of Directors, set out in the Power of Attorney are in full force and effect.

Given under my hand and the seal of said Company at Houston, Texas this 25th day of September, 2024, A.D.

  
M. Brent Beaty, Assistant Secretary

Any instrument issued in excess of the penalty stated above is totally void and without any validity. 4221235  
For verification of the authority of this power you may call (713) 812-0800 any business day between 8:30 am and 5:00 pm CST.

**SureTec Insurance Company**  
**THIS BOND RIDER CONTAINS IMPORTANT COVERAGE**

**Statutory Complaint  
Notice**

To obtain information or make a complaint: You may call the Surety's toll free telephone number for information or to make a complaint at: 1-866-732-0099. You may also write to the Surety at:

SureTec Insurance Company  
9500 Arboretum Blvd., Suite  
400  
Austin, TX 78759

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**ARTICLE 1—GENERAL INFORMATION**

1.01 Provide contact information for the Business:

Legal Name of Business:		MYERS CONCRETE CONST.	
Corporate Office			
Name:	CHASE BOTKIN	Phone number:	512-633-5229
Title:	OPERATIONS MANAGER	Email address:	CHASE@MYERSCONCRETE.COM
Business address of corporate office:		2301 FM 3237	
		WIMBERLEY, TX	
		<del>75114</del> 78676	
Local Office SAME			
Name:		Phone number:	
Title:		Email address:	
Business address of local office:			

1.02 Provide information on the Business's organizational structure:

Form of Business:	<input type="checkbox"/> Sole Proprietorship <input checked="" type="checkbox"/> Partnership <input type="checkbox"/> Corporation		
<input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Joint Venture comprised of the following companies:			
1.	Myers Construction 79-2006 - 27 years		
2.	Myers Concrete Construction, LP 2006 - Present 18 years		
3.			
Provide a separate Qualification Statement for each Joint Venturer.			
Date Business was formed:	2006 2006	State in which Business was formed:	TX
Is this Business authorized to operate in the Project location?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Pending	

1.03 Provide information regarding the Business's officers, partners, and limits of authority.

Name:	CHARLENE MYERS	Title:	OWNER
Authorized to sign contracts:		Limit of Authority:	\$ NO LIMIT
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Name:	RANDY MYERS	Title:	OWNER
Authorized to sign contracts:		Limit of Authority:	\$ NO LIMIT
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Name:	CHASE BOTKIN	Title:	OPERATIONS MANAGER
Authorized to sign contracts:		Limit of Authority:	\$ NO LIMIT
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Name:	CLARK MYERS	Title:	ESTIMATOR / PM

**ARTICLE 2—LICENSING**

2.01 Provide information regarding licensure for Business:

Name of License:	Sclerax		
Licensing Agency:	State of Texas		
License No:	33-1107017	Expiration Date:	N/A
Name of License:			
Licensing Agency:			
License No:		Expiration Date:	

**ARTICLE 3—SAFETY**

3.01 Provide information regarding Business’s safety organization and safety performance.

Name of Business’s Safety Officer:	CHRIS BOYKIN		
Safety Certifications			
Certification Name	Issuing Agency	Expiration	

3.02 Provide Worker’s Compensation Insurance Experience Modification Rate (EMR), Total Recordable Frequency Rate (TRFR) for incidents, and Total Number of Recorded Manhours (MH) for the last 3 years and the EMR, TRFR, and MH history for the last 3 years of any proposed Subcontractor(s) that will provide Work valued at 10% or more of the Contract Price. Provide documentation of the EMR history for Business and Subcontractor(s).

Year	2021			2022			2023		
Company	EMR	TRFR	MH	EMR	TRFR	MH	EMR	TRFR	MH
Multiplex Concrete Co.	.90			.78			1.09		

**ARTICLE 4—FINANCIAL**

4.01 Provide information below

Financial Institution:	Open National Bank
Business address:	RR12 Wimberley, TX. 78676
Account Manager:	Kelley Barclay, President 512.847.8200
Phone:	

**ARTICLE 5—SURETY INFORMATION**

5.01 Provide information regarding the surety company that will issue required bonds on behalf of the Business, including but not limited to performance and payment bonds.

Surety Name:	Suretec - Benchmark Insurance		
Surety is a corporation organized and existing under the laws of the state of:	Texas		
Is surety authorized to provide surety bonds in the Project location?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Is surety listed in "Companies Holding Certificates of Authority as Acceptable Sureties on Federal Bonds and as Acceptable Reinsuring Companies" published in Department Circular 570 (as amended) by the Bureau of the Fiscal Service, U.S. Department of the Treasury?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Mailing Address (principal place of business):	9737 Great Hills Trail Suite 320 Austin, TX. 78759		
Physical Address (principal place of business):	Same as above		
Phone (main):	512.732.0099	Phone (claims):	8106.732.0099

**ARTICLE 6—INSURANCE**

6.01 Provide information regarding Business's insurance company(s), including but not limited to its Commercial General Liability carrier. Provide information for each provider.

Name of insurance provider, and type of policy (CLE, auto, etc.):			
Insurance Provider	Type of Policy (Coverage Provided)		
See attached Certificate			
Are providers licensed or authorized to issue policies in the Project location?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Does provider have an A.M. Best Rating of A-VII or better?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Mailing Address (principal place of business):	PO Box 1107 San Marcos, TX. 78667		
Physical Address (principal place of business):	925 West Hopkins San Marcos, TX. 78666		
Phone (main):	512-754-2700	Phone (claims):	512-754-2700





# CERTIFICATE OF LIABILITY INSURANCE

Item 3.

DATE (MM/DD/YYYY)  
04/18/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Benchmark Insurance Group, Inc. 225 West Hopkins PO Box 1687 San Marcos TX 78667-1687		<b>CONTACT NAME:</b> Jennifer Webb <b>PHONE (A/C, No, Ext):</b> (512) 754-2700 <b>E-MAIL ADDRESS:</b> JWebb@Benchmark-Ins.com <b>FAX (A/C, No):</b> (512) 754-2717																						
<b>INSURED</b> Myers Concrete Construction, LP 2301 FM 3237 Wimberley TX 78676		<table border="1"> <thead> <tr> <th colspan="2">INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A:</td> <td>Cincinnati Insurance Companies</td> <td>10677</td> </tr> <tr> <td>INSURER B:</td> <td>Texas Mutual Insurance Company</td> <td>22945</td> </tr> <tr> <td>INSURER C:</td> <td>Endurance American Insurance Company</td> <td>10641</td> </tr> <tr> <td>INSURER D:</td> <td></td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> <td></td> </tr> </tbody> </table>		INSURER(S) AFFORDING COVERAGE		NAIC #	INSURER A:	Cincinnati Insurance Companies	10677	INSURER B:	Texas Mutual Insurance Company	22945	INSURER C:	Endurance American Insurance Company	10641	INSURER D:			INSURER E:			INSURER F:		
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INSURER F:																								

**COVERAGES**      **CERTIFICATE NUMBER:** CL2441805433      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSTR LTR	TYPE OF INSURANCE	ADDITIONAL INSURED	SUBROGATION	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			ENP 0533937	04/25/2024	04/25/2025	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 500,000 MED EXP (Any one person) \$ 10,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY <input type="checkbox"/> AUTOS ONLY			EBA 0533937	04/25/2024	04/25/2025	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$ \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0			ENP 0533937	04/25/2024	04/25/2025	EACH OCCURRENCE \$ 3,000,000 AGGREGATE \$ 3,000,000 \$
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	0001156496	04/25/2024	04/25/2025	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH-ER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
C	Excess Liability - Follow Form			EXC30036390601	04/25/2024	04/25/2025	Each Occurrence 3,000,000 Aggregate 3,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

### CERTIFICATE HOLDER

### CANCELLATION

\*\*\*EVIDENCE OF INSURANCE\*\*\*

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

© 1988-2015 ACORD CORPORATION. All rights reserved.

**ARTICLE 7—CONSTRUCTION EXPERIENCE**

7.01 Provide information that will identify the overall size and capacity of the Business.

Average number of current full-time employees:	65
Estimate of revenue for the current year:	12 MIL
Estimate of revenue for the previous year:	15 MIL

7.02 Provide information regarding the Business's previous contracting experience.

Years of experience with projects like the proposed project:		
As a general contractor:	45	As a joint venturer:
Has Business, or a predecessor in interest, or an affiliate identified in Paragraph 1.03:		
Been disqualified as a bidder by any local, state, or federal agency within the last 5 years? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Been barred from contracting by any local, state, or federal agency within the last 5 years? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Been released from a bid in the past 5 years? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Defaulted on a project or failed to complete any contract awarded to it? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Refused to construct or refused to provide materials defined in the contract documents or in a change order? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Been a party to any currently pending litigation or arbitration? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Provide full details in a separate attachment if the response to any of these questions is Yes.		

7.03 List all projects currently under contract in Schedule A and provide indicated information.

7.04 List a minimum of three and a maximum of six projects completed in the last 5 years in Schedule B and provide indicated information to demonstrate the Business's experience with projects similar in type and cost of construction.

7.05 In Schedule C, provide information on key individuals whom Business intends to assign to the Project. Provide resumes for those individuals included in Schedule C. Key individuals include the Project Manager, Project Superintendent, Quality Manager, and Safety Manager. Resumes may be provided for Business's key leaders as well.

**ARTICLE 8—REQUIRED ATTACHMENTS**

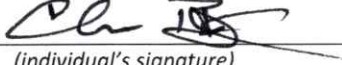
8.01 Provide the following information with the Statement of Qualifications:

- A. If Business is a Joint Venture, separate Qualifications Statements for each Joint Venturer, as required in Paragraph 1.02.
- B. Certification of Business's safety performance if required by Paragraph 3.02.
- C. Attachments providing additional information as required by Paragraph 7.02.
- D. Schedule A (Current Projects) as required by Paragraph 7.03.

- E. Schedule B (Previous Experience with Similar Projects) as required by Paragraph 7.04.
- F. Schedule C (Key Individuals) and resumes for the key individuals listed, as required by Paragraph 7.05.
- G. Additional items as pertinent.

This Statement of Qualifications is offered by:

Business: MYERS CONCRETE CONST.  
*(typed or printed name of organization)*

By: CHASE BOKIN   
*(individual's signature)*

Name: CHASE BOKIN  
*(typed or printed)*

Title: OPERATIONS MANAGER  
*(typed or printed)*

Date: 9/25/24  
*(date signed)*

*(If Business is a corporation, a partnership, or a joint venture, attach evidence of authority to sign.)*

Attest:   
*(individual's signature)*

Name: Nicole Parker  
*(typed or printed)*

Title: Office Mgr.  
*(typed or printed)*

Address for giving notices:  
2301 FM 3237  
WIMBERLEY TX

Designated Representative:  
Name: CHASE BOKIN  
*(typed or printed)*

Title: OPERATIONS MANAGER  
*(typed or printed)*

Address: 2301 FM 3237  
WIMBERLEY, TX

Phone: 512-633-5229

Email: CHASE@MYERSCONCRETE.COM

Schedule A—Current Projects

SEE ATTACHED LIST

Item 3.

Name of Organization					
Project Owner		Project Name			
General Description of Project					
Project Cost		Date Project			
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager	Quality Control Manager	
Name					
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)					
	Name	Title/Position	Organization	Telephone	Email
Owner					
Designer					
Construction Manager					

Project Owner		Project Name			
General Description of Project					
Project Cost		Date Project			
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager	Quality Control Manager	
Name					
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)					
	Name	Title/Position	Organization	Telephone	Email
Owner					
Designer					
Construction Manager					

Project Owner		Project Name			
General Description of Project					
Project Cost		Date Project			
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager	Quality Control Manager	
Name					
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)					
	Name	Title/Position	Organization	Telephone	Email
Owner					
Designer					
Construction Manager					

Schedule B—Previous Experience with Similar Projects

SEE ATTACHED LIST

Item 3.

Name of Organization					
Project Owner		Project Name			
General Description of Project					
Project Cost		Date Project			
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager	Quality Control Manager	
Name					
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)					
	Name	Title/Position	Organization	Telephone	Email
Owner					
Designer					
Construction Manager					

Project Owner		Project Name			
General Description of Project					
Project Cost		Date Project			
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager	Quality Control Manager	
Name					
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)					
	Name	Title/Position	Organization	Telephone	Email
Owner					
Designer					
Construction Manager					

Project Owner		Project Name			
General Description of Project					
Project Cost		Date Project			
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager	Quality Control Manager	
Name					
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)					
	Name	Title/Position	Organization	Telephone	Email
Owner					
Designer					
Construction Manager					

**Schedule B—Previous Experience with Similar Projects**

Item 3.

Name of Organization		Project Name	
Project Owner		Project Name	
General Description of Project		Date Project	
Project Cost		Date Project	
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager
Name			Quality Control Manager
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)			
	Name	Title/Position	Organization
			Telephone
Owner			Email
Designer			
Construction Manager			

Project Owner		Project Name	
General Description of Project		Date Project	
Project Cost		Date Project	
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager
Name			Quality Control Manager
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)			
	Name	Title/Position	Organization
			Telephone
Owner			Email
Designer			
Construction Manager			

Project Owner		Project Name	
General Description of Project		Date Project	
Project Cost		Date Project	
Key Project Personnel	Project Manager	Project Superintendent	Safety Manager
Name			Quality Control Manager
Reference Contact Information (listing names indicates approval to contacting the names individuals as a reference)			
	Name	Title/Position	Organization
			Telephone
Owner			Email
Designer			
Construction Manager			

**Schedule C—Key Individuals**

<b>Project Manager</b> <i>See attached</i>			
Name of individual			
Years of experience as project manager			
Years of experience with this organization			
Number of similar projects as project manager			
Number of similar projects in other positions			
Current Project Assignments			
Name of assignment		Percent of time used for this project	Estimated project completion date
Reference Contact Information (listing names indicates approval to contact named individuals as a reference)			
Name		Name	
Title/Position		Title/Position	
Organization		Organization	
Telephone		Telephone	
Email		Email	
Project		Project	
Candidate's role on project		Candidate's role on project	
<b>Project Superintendent</b> <i>See attached</i>			
Name of individual			
Years of experience as project superintendent			
Years of experience with this organization			
Number of similar projects as project superintendent			
Number of similar projects in other positions			
Current Project Assignments			
Name of assignment		Percent of time used for this project	Estimated project completion date
Reference Contact Information (listing names indicates approval to contact named individuals as a reference)			
Name		Name	
Title/Position		Title/Position	
Organization		Organization	
Telephone		Telephone	
Email		Email	
Project		Project	
Candidate's role on project		Candidate's role on project	



**Safety Manager**

*See attached*

Name of individual		
Years of experience as project manager		
Years of experience with this organization		
Number of similar projects as project manager		
Number of similar projects in other positions		
Current Project Assignments		
Name of assignment	Percent of time used for this project	Estimated project completion date

Reference Contact Information (listing names indicates approval to contact named individuals as a reference)			
Name		Name	
Title/Position		Title/Position	
Organization		Organization	
Telephone		Telephone	
Email		Email	
Project		Project	
Candidate's role on project		Candidate's role on project	

*See attached*

**Quality Control Manager**

Name of individual		
Years of experience as project superintendent		
Years of experience with this organization		
Number of similar projects as project superintendent		
Number of similar projects in other positions		
Current Project Assignments		
Name of assignment	Percent of time used for this project	Estimated project completion date

Reference Contact Information (listing names indicates approval to contact named individuals as a reference)			
Name		Name	
Title/Position		Title/Position	
Organization		Organization	
Telephone		Telephone	
Email		Email	
Project		Project	
Candidate's role on project		Candidate's role on project	



**MYERS CONCRETE CONSTRUCTION, LP.**  
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WIMBERLEY, TX 78676  
PHONE 512-847-8000  
info@myersconcrete.com  
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**HUB/WBE/SBE Certified**

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Federal Tax ID# 33-1107017 DUNS#062410899  
HUB#1331107017400/ WBE#MYE8321732/ SCTRCA#211026246/ SEBEDA#10020505

### **Organization Structure**

Myers Concrete Construction, LP. is led by Charlene and Randy Myers. Charlene and Randy have owned and operated Myers Concrete for over 40 years.

Randy Myers oversees operations.

Chase Botkin serves as our General Manager over Field Operations & Chief Estimator

Tim Green assists in the field as a Supervisor.

John Lira assists in the field as a Supervisor.

Joe Barcenas assists in the field as a Supervisor.

Cade Patterson is Myers Concrete Technical Supervisor and Estimator.

Clark Myers is Chief Estimator

Lacey Peace is in charge of Payables, purchasing, ordering, and submittals.

Nicole Parker handles all the contract documents and pay applications

Patrice Myers handles all H/R, Payroll, EEO, and DBE Liaison.

### Contact List

Randy Myers	Vice President	512-753-6800	randy@myersconcrete.com
Chase Botkin	GM/Superintend	512-633-5229	chase@myersconcrete.com
Clark Myers	Estimator	512-618-1985	clark@myersconcrete.com
Tim Green	Asst. Supervisor	512-757-0355	tim@myersconcrete.com
Jeremy Cuevas	Asst. Supervisor	512-648-0592	jeremy@myersconcrete.com
Joe Barcenas	Asst. Supervisor	512-753-6481	joe@myersconcrete.com
Cade Patterson	Sales/Estimating	512-393-1992	cade@myersconcrete.com
Nicole Parker	A/R & Contract Mgr.	512-847-8000	nicole@myersconcrete.com
Patrice Myers	P/R Manager	512-847-8000	patrice@myersconcrete.com

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Wimberley, TX. 78676  
512-847-8000 Office

## CURRENT WORK IN PROGRESS

Customer Name	Job Name	Address1	CONTRACT AMOUNT	City/State/Zip	Active
ADKISSON, MARY ANN	APPROACH AND SIDEWALK	412 LEVERETE LOOP	\$6,650.00	WIMBERLEY, TX	NOT STARTED
ATS	RM12 @ CALITERRA PKWY	RM12 & CALITERRA PKWY	\$18,500.00	DRIPPING SPRINGS, TX	ON HOLD
BASTROP, CITY OF	ANNUAL CONCRETE	MULTIPLE LOCATIONS	\$0.00	BASTROP, TX	ON HOLD
BEACON	SUNFIELD POOL DECK	6910 SUNFIELD PKWY	\$943,976.50	BUDA, TX	ON HOLD
COMAL COUNTY	WATSON LANE		\$244,806.00	NEW BRAUNFELS, TX	IN PROGRESS
COST, CHRIS	MILLINGS DRIVEWAY	1518 PALOMINO	\$9,800.00	SAN MARCOS, TX	IN PROGRESS
CROSS, DEE	CROSS HOUSE SLAB		\$105,362.00	WIMBERLEY, TX	NOT STARTED
CTRMA	ZEN GARDENS	183 CENTRAL AVE TO BLUESTEIN	\$1,863,901.20	AUSTIN, TX	IN PROGRESS
DRIPPING SPRINGS, CITY OF	RANCH HOUSE ROAD PHASE 2	RANCH HOUSE ROAD	\$371,465.16	DRIPPING SPRINGS, TX	DONE
FIETZ, SHAUN	PLANTER BEDS & SIDEWALK	571 PAVEL SPRINGS TRAIL	\$16,790.00	WIMBERLEY, TX	NOT STARTED
HARVEY CLEARY	KIMPTON BOUTIQUE HOTEL	431 SOUTH ALAMO ST	\$238,261.00	SAN ANTONIO, TX	IN PROGRESS
HARVEY CLEARY	WHOLE FOODS BEECAVE	12601 HILL COUNTRY BLVD	\$99,271.00	BEECAVE, TX	ON HOLD
HARVEY CLEARY	218 SOUTH LAMAR	218 SOUTH LAMAR	\$122,902.00	AUSTIN, TX	ON HOLD
HARVEY CLEARY	415 COLORADO	415 COLORADO	\$106,783.00	AUSTIN, TX	NOT STARTED
HAYS CISD	ANNUAL CONCRETE SERVICES 2022	1005 East FM 150		Kyle, TX 78640	IN PROGRESS
HAYS COUNTY	EL RANCH CIMA SETS & CURBS		\$116,778.00	FISCHER, TX	ON HOLD
HAYS COUNTY	ANNUAL CONTRACT IFB-2021-005 3RD TERM		\$0.00		NOT STARTED
HITT CONTRACTING INC	SAIA LTD FREIGHT OFFICE	8080 PURNELL DR	\$114,045.00	AUSTIN, TX	NOT STARTED
KILPATRICK, SCOTT	DRIVEWAY EXT	210 CLIFF CIRCLE	\$6,900.00	MARBLE FALLS, TX	NOT STARTED
MABRY, HARVEY	GRASS PAVERS	286 SUMMIT DRIVE	\$12,800.00	WIMBERLEY, TX	NOT STARTED
PELCZAR, ERIC	APPROACH AND PATCHING	1702 FLITE ACRES	\$6,764.00	WIMBERLEY, TX	NOT STARTED
RAND	816 CONGRESS	816 CONGRESS	\$11,649.00	AUSTIN, TX	IN PROGRESS
RAND	ACCENTURE	10931 LAUREATE DR	\$9,696.00	SAN ANTONIO, TX	NOT STARTED
RSI	BOBCAT STADIUM			SAN MARCOS, TX	NOT STARTED
RYAN COMPANIES	KUERIG, DR PEPPER		\$23,306.00	MANOR, TX	NOT STARTED
SAN MARCOS, CITY OF	ANNUAL CONCRETE SERVICES	MULTIPLE LOCATIONS	\$300,000.00		
SAN MARCOS, CITY OF	HOPKINS FLATWORK		\$0.00		IN PROGRESS
SAUR CONSTRUCTION	GEORGE'S RANCH CONCRETE RIPRAP	407 TX 46	\$433,734.00	BOERNE, TX	IN PROGRESS
SCHMOE, DOUG	DRIVEWAY, BARN SLAB, SPORTS COURT	280 PINION TRAIL	\$60,608.00	WIMBERLEY, TX	IN PROGRESS
SEQUOIA SERVICES	GIBOLO CREEK DAMN #4		\$3,273,280.00	BOERNE, TX	NOT STARTED
STRUCTURETONE	KITCHEN BISTRO	600 GUADALUPE ST	\$102,963.60	AUSTIN, TX	ON HOLD
STRUCTURETONE	SMCISD		\$754,036.80		NOT STARTED
SUMMIT DESIGN BUILD	4315 SOUTH CONGRESS	4315 SOUTH CONGRESS	\$162,552.00	AUSTIN, TX	ON HOLD
TARA COCO	PICKLEBALL COURT	2501 RIVER ROAD	\$60,000.00	WIMBERLEY, TX	ON HOLD
TEXAN WATER	KOA FREDERICKSBURG PAD	4088 N STATE HWY 16	\$6,722.00	FREDERICKSBURG, TX	NOT STARTED
TURNER	PARK 35	12100 Park 35 Circle	\$335,779.00	AUSTIN, TX	ON HOLD
WAELDER, CITY OF	DRAINAGE IMPROVEMENT		\$337,012.00	WAELDER, TX	NOT STARTED
WESTLAKE, CITY OF	DRAINAGE		\$0.00	AUSTIN, TX	NOT STARTED
WHITING TURNER	BAYLOR SCOTT & WHITE RR	300 UNIVERSITY	\$359,535.00	ROUND ROCK, TX	IN PROGRESS
WHITING TURNER	HUTTO DATA CENTER	3399 COUNTY ROAD 132	\$942,470.00	HUTTO, TX	ONE HOLD
WILD SEED HEMP FARM	NEW METAL BUILDING & CANOPY AREA	2001 MOUNT SHARP ROAD	\$135,740.00	WIMBERLEY, TX	NOT STARTED



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**Credit References:**

Ingram Ready Mix  
3580 FM 482  
New Braunfels, TX 78132  
830-625-9156  
Fax 830-685-6174  
Cust # MYE60  
sybarra@irmtx.com

CMC Construction  
PO Box 844573  
Dallas, TX 75284-4573  
800-729-1150  
Fax 281-597-5386  
Cust # 762000  
Lucio.Garza@cmc.com

McCoy Building Supply  
PO Box 1362  
San Marcos, TX 78666  
512-395-6644  
Fax 512-805-6825  
[Bob.Bochniak@mccoys.com](mailto:Bob.Bochniak@mccoys.com)  
Cust # 98026302

Centex Materials  
PO Box 676484  
Dallas, TX 75267  
512-460-3003  
Fax 512-444-9809  
[lrackley@centexmaterials.com](mailto:lrackley@centexmaterials.com)  
Cust # MYECONCOM

More available upon request



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### Company Information:

Legal Name: Myers Concrete Construction, LP Partnership  
 Mailing Address: 2301 FM 3237, Wimberley, TX 78676  
 Phone: 512-847-8000  
 Since: 1977  
 Sales Tax ID: 1-33-1107017-4  
 EIN: 33-1107017

Accounts Payable: ap@myersconcrete.com

Bank Reference: Ozona National Bank Acct # 10041622 Checking  
 Attn: Kelly Barclay  
 PO Box 528  
 Wimberley, TX 787676  
 512-847-8200

Principles: President  
 Charlene Myers SS# 461-33-3934  
 PO Box 828 DL# 09543961  
 Wimberley, TX 78676 DOB 08/30/1962  
 Home # 512-847-6606

Vice President  
 Randy Myers SS # 456-96-6298  
 PO Box 828 DL# 06031861  
 Wimberley, TX 78676 DOB 05/29/1958

Myers Concrete Construction, LP  
 2310 FM 3237  
 Wimberley, TX. 78676

**COMPLETED PROJECTS**

Balfour Beatty -

Contact: Ben Wittman, PM 512.590.0023 office\_BWittman@Balfourbeattyus.com

Project: Danforth Junior High Renovations - \$730,804.00

*Erosion Control, Excavation, Dirt Work, Paving, Storm Drain, Building Foundations, Sidewalks, Curb and Gutter*

Start 06/2016 Estimated Completion TBD

JE Dunn – ABIA Maintenance Facility

Attn: Jack Whaley, PE 512-987-3755 Cell / Jack.Whaley@jedunn.com

Project: ABIA Maintenance \$729,540.00

Concrete Foundations 128,268 SF, Elevator pits, Retain Walls

Start 12/2020 Estimated Completion 05/2020

SpawGlass – COA Children’s Garden

Attn: Jaime Hutton, Project Manager (512) 839-4787 o. (512) 719-5251

Sidewalk, Pervious Concrete, Retain Wall, Ribbon Curb, Walls

Amount: \$557,248.00

Southwest Corporation -

Contact: Mike Halloran, PM 512.836.1552 office\_halloran@southwestcorporation.com

Project: Women’s Locker Room Additions - \$402,870.00

Start 04/2017 Estimated Completion TBD

Workman Commercial – WISD Ag Barn

Contact: Travis L. Thrift, Vice President 512-326-9293 o|512-748-9977 c

Project: WISD Ag Barn – PVC, SET, Foundations, Stoops, Driveways, Aprons, Sidewalks, Concrete Canopy Foundation

Amount: \$249,928.000

Owner: City of Marble Falls

Attn: Robert W. Moss, CPSI

Parks and Recreation Director

1808 2nd Street - Marble Falls, TX 78654

Office: 830-798-6250 Cell: 512-755-3210

Project: Lakeside Park - Excavation of apx. 8,000 CY of dirt to build man made beach, reconstruction of roadway and installation of new asphalt parking lots totaling apx. 12,000 SY of road and parking

Amount - \$3 million

JE Dunn – Bowie HS Parking Lot

Contact: Jack Whaley, PE 512.987.3755 Mobile jack.whaley@jedunn.com

Project: Bowie HS Parking – Curb and Gutter, Sidewalk, Concrete Approach, ADA Ramps, Inlet Throats, Light Pole Bases

Amount - \$468,876.00

Beacon Construction

Contact: Brian Still 512.843.7222 (O) 512.848.2477 (m) brian@beaconccinc.com

Project: Sunfield Amenity Center Site Work \$265,117.00

Concrete sidewalks, concrete paving, retaining walls, steps, light pole bases, sidewalks, foundations.

Start 09/2018 Estimated Completion 04/2019 on schedule

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Atlas Construction-

Contact: Mike Ammerman, PM  
 Email: mrcs@tstar.net Phone 830.596.0496  
 Project: City of Seguin Sidewalk Imp Project - \$781,225.00  
 Start 07/01/2018 Estimated Completion 02/2019

City of New Braunfels -

Contact: Adam Michie, PE 830-221-4079 amichie@nbtexas.org  
 Project: Downtown Sidewalk Pedestrian Improvements - \$2,194,667.00  
 Start 03/2017 Estimated Completion 10/2018

Aecom Hunt Construction -

Contact: Randall Martinez, PM 512-568-0870 randall.martinez@aecom.com  
 Project: Fairmont Hotel, Austin - Concrete site work \$933,434.00  
 Start 6/2017 Estimated Completion 06/2018

Beacon Construction

Contact: Brian Still 512.843.7222 (O) 512.848.2477 (m) brian@beaconccinc.com  
 Project: Kissing Tree Amenity Center Concrete Site Work \$686,000.00  
 Concrete cart paths, concrete paving, retaining walls, steps, light pole bases, sidewalks, foundations.  
 Start 11/2017 Completion 8/2018 on schedule

City of Wimberley - Hidden Valley Low Water Crossing

Contact: Chris Reed, PM with Stantec 210-525-9090  
 Project: Concrete foundations, piers, pavement, box culverts, rock filter dams - \$1,336,860.00  
 Start 06/01/2016 Estimated Completion 11/06/2017

Vaughn Construction - Texas State University, Jones Dining Hall

Contact: Erik Eubank 512-844-8021  
 Project: TSU Jones Dining Hall concrete site work - \$872,412.00  
 Start 3/2015 Estimated Completion 05/2016

Flynn Construction - Bobcat Mall Trail

Contact: Art Campbell 512-440-7643  
 Project: Concrete Pads, Concrete ramps, Sidewalks - \$982,000.00  
 Start 8/02/2015 Estimated Completion 03/15/2016

WISD - Re Veg Bond

Contact: Eddie Campbell 512-632-6687  
 Project: Grading, Re-Veg, Topsoil, & Sidewalks - \$643,561.18  
 Start 5/25/2016 Estimated Completion 9/30/2016

City of San Antonio - Gold Canyon Park

Contact: Thomas Nixon 210-207-6924  
 Thomas.Nixon@sanantonio.gov  
 Project: Concrete Trails & Asphalt parking lot - \$564,690.50  
 Start 10/01/2015 Estimated Completion 02/28/2016

STR - City of Austin WTP#4

Contact: Tom Stanfield 512-818-4180 Cell  
 Project: City of Austin Water Treatment Plant Concrete Work - \$747,035.90  
 Start 4/25/2014 Estimated Completion 10/31/2014

Henock Construction - JDR Building Reno Elevated Slab

Contact: Rudy Gutierrez  
 Project: JDR Building 7 Renovations, Elevated Slab, interior curb, chamfer curb- \$45,495.00  
 Start 01/2018 Completed: 05/2018 on time

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**Wimberley, TX. 78676**

**RYAN Companies – HACA Site work**

Contact: Lorena Liendo 512-493-5935 lorena.liendo@ryancompanies.com

Project: concrete paving with monolithic curb, sidewalk, approach, concrete flumes, curb & gutter  
 \$181,965.00

Start 4/2018 Completed: 05/201

**Southwest Corporation – Camp Mabry**

Contact: Dallas Ham, PM Cell: 512-736-0300 Phone: 512.836.1552 dallas@southwestcorporation.com

Project: Concrete paving, sidewalks, mechanical pads, concrete stoop, steps, ramps and landing  
 \$175,818.52

Start 5/30/2017 Completed 05/30/2018 on time

**Lend Lease – Ft. Sam Bldg. 1384 Parking Lot**

Contact: Rusty Holt 830-431-2657

Project: Concrete parking lot, 7" paving, seal coating, striping - \$302,562.00

Start 1/2/2017 Estimated Completion 2/28/2017

**City of Round Rock – Hesters Crossing**

Contact: Federico Sanchez P.M.

Project: Channel Improvements, Concrete Rip-Rap & Gabion Baskets - \$109,050.80

Start 1/30/2017 Estimated Completion 4/30/2017

**Brushy Creek MUD- Sendero Springs Trail & Drainage Imp**

Contact: Halff & Associates, Andy Dutton 512-942-6232 Office / Email: adutton@halff.com

Project: Granite and Concrete trail - \$296,660.00

Start 4/2017-01/2018 Completed on time

**City of San Marcos – Earle St. Sidewalk Imp.**

Contact: Angela Sosa 512-393-8146

Project: Sidewalks, crosswalks, and curb ramps - \$17,918.00

Start 10/01/2016 Estimated Completion 10 days from notice

**Triad – Hill Country Resort**

Contact: David Hawkins 713-303-6249

Project: Building Conc, Site Conc, & Rubber Membrane - \$218,245.00

Start 2/25/2015 Estimated Completion 3/31/2015

**Flynn Construction – Retama Hall Texas State University**

Contact: Art Campbell 512-848-9930

Project: Various Concrete Works - \$129,231.00

Start 9/1/2016 Estimated Completion 11/16/20156

**Vaughn Construction – St. David's**

Contact: Jose Villarreal 512-663-7707

Project: St. David's light weight concrete decking - \$217,775.00

Start 4/9/2015 Estimated Completion 11/1/2015

**City of San Antonio - District 2 Park Improvements**

Contact: Marc Wittlinger 210-207-2874

Project: Sidewalks, Concrete Pavement, Concrete Curbs - \$383,800.00

Start 6/01/2015 Estimated Completion November 6, 2015

**Lost Creek MUD – Sidewalks**

Contact: Tom Clark 512-327-6243

Project: Sidewalks, crosswalks, and curb ramps - \$86,556.00

Start 3/20/2015 Estimated Completion April 3, 2015



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City of Schertz – East Dietz Creek

Contact: Cynthia Raleigh 210-619-1822  
 Project: East Dietz Creek Channel Improvement - \$177,744.00  
 Start 3/15/2015 Estimated Completion 5/15/2015

Triad – Hill Country Resort

Contact: David Hawkins 713-303-6249  
 Project: Building Conc, Site Conc, & Rubber Membrane - \$218,245.00  
 Start 2/25/2015 Estimated Completion 3/31/2015

Vaughn Construction – St. David's

Contact: Jose Villarreal 512-663-7707  
 Project: St. David's light weight concrete decking - \$217,775.00  
 Start 4/9/2015 Estimated Completion 7/1/2015

Zimmerman Construction – City of Boerne, School Street

Contact: Joe Ballanger 956-367-5309  
 Project: School Street Repair - \$53,035.00  
 Start 2/1/2015 Estimated Completion 3/16/2015

Haltner – Johnson City Motor Bank

Contact: Sandra Haltner 832-563-6100 Cell  
 Project: Johnson City Motor Bank Foundation and Site Work - \$358,920.00  
 Start 9/1/2014 Estimated Completion 12/15/2014

SpawGlass – MD Anderson, Smithville

Contact: Grady Carlson 210-336-7711  
 Project: MD Anderson in Smithville Concrete work - \$499,668.02  
 Start 3/1/2014 Estimated Completion 11/01/2014

SpawGlass – UT Geography

Contact: Grady Carlson 210-336-7711  
 Project: UT Geography Concrete Work - \$76,111.00  
 Start 8/15/2014 Estimated Completion 12/1/2014

Satterfield & Pontikes – SMCISD Schools

Contact: Calen Shearer 210-572-4700  
 Project: San Marcos CISD Additions and Renovations - \$419,502.00  
 Start 8/1/2014 Estimated Completion 12/1/2014

H.A.I. – Johnson City Motor Bank

Contact: Sandra Haltner  
 Project: New foundation and site work for Motor bank - \$346,740.00  
 Start 8/1/2014 Estimated Completion 11/25/2014

Structure Tone – HEB 11Retail

Contact: George Ryan 210-606-4358  
 Project: HEB San Antonio 11 concrete foundation & site work- \$178,000.00  
 Start 9/20/2014 – 12/31/2014

Williamson County – Various Headwall/Wingwall

Contact: Kon Kwan 512-512-943-1100  
 Project: Various Wingwall and Headwalls over Williamson County –  
 CR 362 / CR 498 / CR 470 - \$188,798.00  
 CR 214 - \$75,000.00  
 Annual Contract 1/1/2014 – 12/31/2014

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Red Hawk Road POA – Bridge Stabilization

Contact: Larry Calvert 512-484-0422  
Project: Red Hawk Rd Bridge stabilization - \$180,900.00  
Start 6/16/2014 – 9/16/2014

City of Dripping Springs – Mercer Street Sidewalk Improvements

Contact: Kevin Hoffman (Klotz Associates) 512-328-5771 Office  
Project: Sidewalk Improvements on Mercer Street - \$595,656.00  
Start 11/11/2013 Estimated Completion 04/15/2014

City of San Marcos – RR Quiet Zone

Contact: Janae Ryan 512-393-8149 Office  
Project: Railroad Quiet Zone - \$219,259.80  
Start 02/10/2014 Estimated Completion 05/10/2014

Structure Tone – HEB South Flores

Contact: Ty Jones 210-542-5340 Cell  
Project: HEB South Flores - \$182,758.00  
Start 12/15/2013 Estimated Completion 2/28/2014

Texas State University – Annual Contract for various projects

Project: Flat work for Aquarena Center Road - \$86,789.45  
Project: Trip Hazard at Supple Science- \$6,830.00  
Project: Pickard Street Flat Work - \$18,424.01  
Project: Campus Standard Sidewalk -\$187,089.60  
Project: Physical Plant sidewalk -\$22,000.00  
Project: Spring Lake Retain Wall -\$99,814.00  
Project: Muller Farm - \$33,601.30

Lee Lewis – Texas State University, Brogdon Hall Renovations

Contact: Matt Vitek 806-548-0168  
Project: Brogdon Hall Concrete Work - \$93,650.00  
Start 12/15/2012 Estimated Completion 05/30/2013

San Antonio Housing Authority – Various Concrete at Alazan

Contact: Carl Bottoms 210-477-6165  
Project: Alazan Housing \$49,700.00  
Start 3/01/2012 Estimated Completion 5/31/2013

Lee Mechanical – Cemex Odessa

Contact: Jack Baggs 636-524-1711  
Project: Various Concrete pads for Cemex in Odessa  
Start 01/01/2013 Estimated Completion 07/01/2013

Spaw Glass – DSTA Bastrop

Contact: Nick Slovak 512-845-7637 Office  
Project: New building foundation - \$242,007.00  
Start 06/30/2013 Estimated Completion 10/31/2013

MYCON – HEB San Antonio

Contact: Wayne Kertch 512-734-2701  
Project: HEB Store remodel and Freezer Slab - \$148,000.00  
Start 8/01/2013 Estimated Completion 10/31/2013

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City of Jonestown – Sidewalk Improvements

Contact: David Allen, Eng.  
Project: Sidewalk Improvements - \$59,968.14  
Start 09/15/2013 Estimated Completion 11/15/2013

RSB Builders

Project: Praise Jesus Flat Work Phase II  
Started estimated completion date  
Total contract- \$63,029.00

Valley Crest Landscape

Project: Muller Airport - \$57,879.85  
Project: Muller SW Greenway park walking trail -\$107,601.00  
Project: Muller SW Greenway Flagstone Bedding -\$19,988.80  
Project: Muller SW Greenway Pond Access -\$10,856.00  
Project: Muller SW Greenway Park sculptures foundations-\$28,981.00  
Project: Muller SW Greenway Park Pocket Park - \$27,481.00  
Project: Muller NW Greenway Shade Structure -\$56,530.00

City of Llano

Contact – Sarah Franklin  
Project: Downtown Sidewalk Project  
Start 11-2010 Estimated Completion 01-2011

Austin ISD – Barton Hills Elementary School

Contact: Julie Moore 512-414-1715  
Project: Driveway, Sidewalk & Dumpster Pad Improvements - \$38,440.00  
Start 06/01/2011 Estimated Completion 07/15/2011

Corpus Christi ISD – Travis Elementary

Contact: Brian Bray 361-695-7350  
Project: Replace Concrete Parking Lot and Sidewalks - \$462,473.00  
Start 06/01/2011 Estimated Completion 08/12/2011

Corpus Christi ISD – Club Estates Elementary

Contact: Brian Bray 361-695-7350  
Project: Replace Concrete Parking Lot and Sidewalks - \$297,782.00  
Start 06/01/2011 Estimated Completion 08/12/2011

Northside ISD – Playground Improvement Phase III

Contact: Mike Boehmer 210-397-1214  
Project: Playground Improvements, Phase 3 -\$157,883.75  
Start 6/20/2011 Estimated Completion 08/20/2011

Northside ISD – Blatman Elementary School Drainage

Contact: Mike Boehmer 210-397-1214  
Project: Blatman ES Drainage - \$88,343.00  
Start 7/5/2011 Estimated Completion 08/12/2011

Chemical Lime

Contact: Dix Brown 830-708-7060  
Project: New Containment Wall - \$49,000.00  
Start 02-09 Estimated Completion 03-09

City of Hallettsville

Project: "Downtown Renovations- Phase I" & Phase II"  
Phase I - Started 01/05 estimated completion date 01/06

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 2310 FM 3237  
 Wimberley, TX. 78676

Total Contract- \$585,000.00  
 Phase II - Started 01/06 estimated completion date 03/07  
 Total Contract- \$1,321,245.97

Du-Mor Enterprises – Various concrete slabs

Project: Stone Creek Ranch - \$234,295.80  
 Project: Color Spot Nursery -\$44,700.00  
 Project: Stone Creek Ranch - \$78,758.00

RENTEPRISES

Project: Super “S” Food Store slab - \$338,914.00  
 Project- Ace Hardware slab- \$232,824.00  
 Project- Concrete slab for retail areas - \$168,946.00  
 Estimated Completion- 04/07

Longcope Family, LTD

Project: River Road Improvements  
 Started 10/06 estimated completion date 01/07  
 Total contract- \$347,461.50

Silverleaf Resorts, Inc

Project: Member Service Parking Lot  
 Started 12/06 estimated completion 03-07 Total Contract- \$141,848.41  
 Project: Sales Center Infrastructure - \$597,836.00  
 Project: Building 53 Infrastructure - \$247,512.65  
 Project: Multiple Job Sites at Hill Country Resort  
 Started 1/07 estimated completion 06/07  
 Total Contract- apx. \$255,000.00

Gonzales Housing Authority

Project: Village Drainage Improvements  
 Start 2/07 Completion date 4/07  
 Total Contract- \$130,000.00

City of Kyle Parks and Recreation

Project: City Hall and Train Depot Parking  
 Start 4/07 Estimated Completion 10/07  
 Total Contract- \$1,489,600.00  
 Engineer: Halff and Associates

Kendall County

Project: Concrete Headwall - \$77,000.00  
 Started 03/07 estimated completion 07/07

PK&L Construction – Concrete Foundations & Concrete Valley Gutters

Project: Sand Hill Energy -\$79,088.00

City Of Lampasas

Project: Sidewalk, Curb & Gutter Repair -\$36,848.00

Williamson County

Parking Lot & Sidewalks - \$24,630.55  
 Contact: Dwaine Gosset 512-943-1611  
 Project: Pier Installation, Pct.4 Courthouse - \$117,400.00  
 Start 02-09 Estimated Completion 03-09  
 Contact: Joe England 512-943-3330

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Project: CR-269 Rip-Rap - \$39,064.30  
Start 03-09 Estimated Completion 05-09

City of San Marcos

Project: San Marcos Cemetery Fence - \$45,900.00  
Project: Jaycess Park Sidewalks - \$

Port Enterprises

Project: Parking, Drainage, and Grading - \$127,984.00

Contact: Rocky Barnett 512-848-5583

Project: Parking, Drainage, and Grading at Manchaca  
Start 01-09 Estimated Competition 03-09

Griffin Industries

Project: Paving at Feather Building - \$68,858.00  
Project: New Hopper at 90U Building - \$33,060.00

City of Temple

Contact: Salvador Rodriquez 254-298-5748  
Project: Lighting and Sidewalk Improvement \$88,250.00  
Start Date 06-09 estimated completion 09/09

Bartlett Cocke

Contact: Kevin Byrd 512-845-2310  
Project: Conversion of Goodnight JH- \$236,700.00  
Started 01/09 estimated completion 06/09

Williamson County

Contact: Joe England 512-943-3330  
Project: CR 109 Culvert Replacements - \$108,969.30  
Start 05-09 Estimated Completion 07-09  
Project: CR 313 Box Culvert - \$72,842.43  
Start 06-09 Estimated Completion 07-09

Extreme Power

Contact: Clayton Such  
Project: Pad for new switch gear - \$20,975.00  
Start 05-09 Estimated Completion 06-09

Alamo Community College

Contact: Jamie Contreras 210-733-7444  
Project: Motor Pool Parking Lot Expansion - \$147,300.00  
Start 05-09 Estimated Completion 07-09

Central Texas Roads

Contact: Marilyn Harris 830-582-1177  
Project: Oak Orchard Enclave  
Start 01-10 Estimated Completion 05-10

Du-Mor Enterprises

Contact: Troy Hargrover 210-684-7211  
Project: Camp Bullis  
Start 11-09 Estimated Completion 06-10

Alamo 1

Contact: Steve Moreno 210-404-1220  
Project: Lackland Air Force Base, multiple slabs - \$172,022.00

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Start 02-10 Estimated Completion 05-10

Zachry Construction

Contact: Fabian Leal 210-336-8357

Project: Embassy Suites Riverwalk Steps - \$306,900.00

Start 04-09 Estimated Completion 04-10

Bexar County

Contact: Jamie Contreras 210-335-6539

Project: El Carmen Tennis Courts - \$98,015.00

Start 12-09 Estimated Completion 03-10

City of New Braunfels

Contact: Adam Michie 830-221-4027

Project: River Terrace Channel Improvements -\$79,295.00

Start 02-10 Estimated Completion 04-10

Timco-Southwest

Contact: Mark Dykes 972-274-0518

Project: US Oncology - \$257,960.00

Start 03-10 Estimated Completion 07-10

Tremur

Contact: Dane Hebert 512-415-0572

Project: Fort Sam Detention Pond - \$63,000.00

Start 07-10 Estimated Completion 08-10

Capitol Metro

Contact: Robert Okamoto 512-3897428

Project: Manor Road Repair - \$59,833.00

Start 06-10 Estimated Completion 07-10

Hays County

Contact – Jerry Borcharding 512-393-7385

Project: Green Acres Bridge - \$168,000.00

Start 07-10 Estimated Completion 08-10



MYERS CONCRETE CONSTRUCTION, LP.  
2301 FM 3237  
WIMBERLEY, TX 78676  
PHONE 512-847-8000  
info@myersconcrete.com  
www.myersconcrete.com  
**HUB/WBE/SBE Certified**

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Myers Concrete Construction, LP

Federal Tax ID# 33-1107017

HUB Certified – State of Texas VID# 1331107017400

WBE Certified – City of Austin Vendors Code# MYE8321732

SBE - SCTRCA – South Central Texas # 211026246



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### Project Management Ability

a. Myers Concrete Construction, LP. is led by Randy Myers. Randy has owned and operated Myers for over 44 years.

Chase Botkin serves as our Field Manager and Supervisor.

Joe Barcenas serves as a Supervisor as well.  
 John Lira serves as a Supervisor as well.

Cade Patterson is Myers Construction's Technical Supervisor.

Clark Myers serves as our Project Manager

Myers Construction has 6 full-time Field Foreman to choose from to take care of the day-to-day operations on each project.

(Resumes Available upon request)

b. Daily schedule meetings are performed and discussed to lay out the crews and check progress of the work being completed and discuss any issues that need to be addressed.

c. Myers Concrete Construction, LP. is bondable up to 8 million aggregate and 12 million total, has all insurance requirements as per bid documents

#### References

Bonds and Insurance - Benchmark Insurance, Scott Burton 512-754-2700

Bank Reference – Ozona National Bank, Kelly Barclay 512-847-8200

d. Performance and Payment Bond reference – Benchmark Insurance, Scott Burton 512-754-2700





**MYERS CONCRETE CONSTRUCTION, LP.**  
 2301 FM 3237  
 WIMBERLEY, TX 78676  
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 www.myersconcrete.com  
**HUB/WBE/SBE Certified**

Item 3.

Available Equipment List – All equipment is owned and available to this project

300	2016	BOBCAT	S-590
301	2017	BOBCAT - HAMMER	HB 1180 HYDRAULIC BREAKER
309	2014	BOBCAT	S530
310	2008	BOBCAT	S-175k
311	2014	BOBCAT	S630
313	2011	BOBCAT	S-175k
315	2006	BOBCAT	185-K
316	2008	BOBCAT	S-175k
318	2015	BOBCAT	S-650 (T4)
319	2017	BOBCAT	S-650 (T4)
320	2004	BACKHOE	420D
321	2003	BACKHOE	420D CATERPILLAR
323	2002	BACKHOE	420D
328	2004	BACKHOE	420D CATERPILLAR
341	2011	BACKHOE	420E4T
342	2011	BACKHOE	420E4T
343	2009	BACKHOE	310J
344	2014	BACKHOE	416F
327		BACKHOE - ATTACHMENT	AUGER - BELL TEC
317	2014	BOBCAT MINI-EX Trackhoe	Bobcat
349	2016	BOBCAT MINI-EX Trackhoe	E42 MINI EX
360	2011	BOBCAT MINI-EXCAVATOR	JOHN DEERE
385	2012	BOBCAT MINI-EX Trackhoe	Bobcat
333	2007	MAN LIFT	JLG 400s
340	2004	DOZER D5GXL	D5GXL
355	2005	DAEWOO	FORKLIFT
353		CAT FORKLIFT	FORKLIFT
330		TRENCHER	DITCH WITCH RO 30-39 HP
379		Walkbehind Trencher	1030
376	2008	TRACTOR	KUBOTA - L4740 GST
382	2003	LOADER	KOMATSU
384	2002	EXCAVATOR Trackhoe	KOMATSU
386	2017	Excavator	Yanmar
351		ROLLER -Pneumatic	PS 180 Cat
352		ROLLER-DYNA PAK	CC102
354		ROLLER	Terex - 3 ton
366	2006	ROLLER BOMAG	BW900-2
368		Volvo Roller	SD75D
369	2012	ROLLER - BOMAG	BW177DH-40
361	2000	LEE BOY PAVER	1000B
362		LEE BOY	Motorgrader
363	2005	Leeboy Tack Distributer	L500T
364	2008	SEAL COAT MACHINE	SEAL-RITE SR-850 EX

370		ROD CHOMPER	Cuts Rebar
372		BREAKER	EZ 500 LB
374	2006	Cyclone Hammer	SW3500
375		BOBCAT AUGER	BELTEC - BDAD
373		GEORGIA BUGGY	MILLER 11 CF
376			
377	2005	Georgia POWER BUGGY	SB1600 16CF
378	2010	GEORGIA BUGGY	SB1600
381		COMBI-HAMMER	374056
		4X HYD. HAMMER	E205
		CONCRETE SAW	PACIV13H
		14" SAW	TS400
		JUMPING JACK	BS700
		GENERATOR	469673
305		Landscape Rake	
	2010	Bobcat Leveler	CB26
308	2010	Bobcat Flow Planer	14"
307	2007	Bobcat Sweeper	72Sweeper
306		Bobcat Sweeper	72Sweeper
380		NPK Hammer	E205
390		Snap on Scanner	
391		Miller Marc Welder	252
399		NPK Plat Compactor	C-4B
398		NPK Hammer Backhoe	
		Bretec Hammer	M5
<b>Bobcat Attachment</b>		Hydraulic Breaker	HB980
<b>Backhoe Attachments</b>		2- 9" buckets	1- 16" bucket
		allen 436 finish machine	36" finish machine
		12" Bucket WR	24" Bucket WR
		3 Kwik disconnects buckets	
		leading edge multi rpper	S#513286
		D5G Ripper	
		24" Hensley Bucket	
	15-Apr	3/4 HP Concrete Vibrator	filed small tools 15'
	15-Apr	Elec rebar/steel rod cutter	filed small tools 15'
		Trimble S6 Robotic Total Station & TSC2 Controller	
8	2015	D140 Riding Lawn Mower	JOHN DEERE



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 SPRING BRANCH, TX 78070  
 TBPE FIRM F-2104



CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
**COVER SHEET**

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION

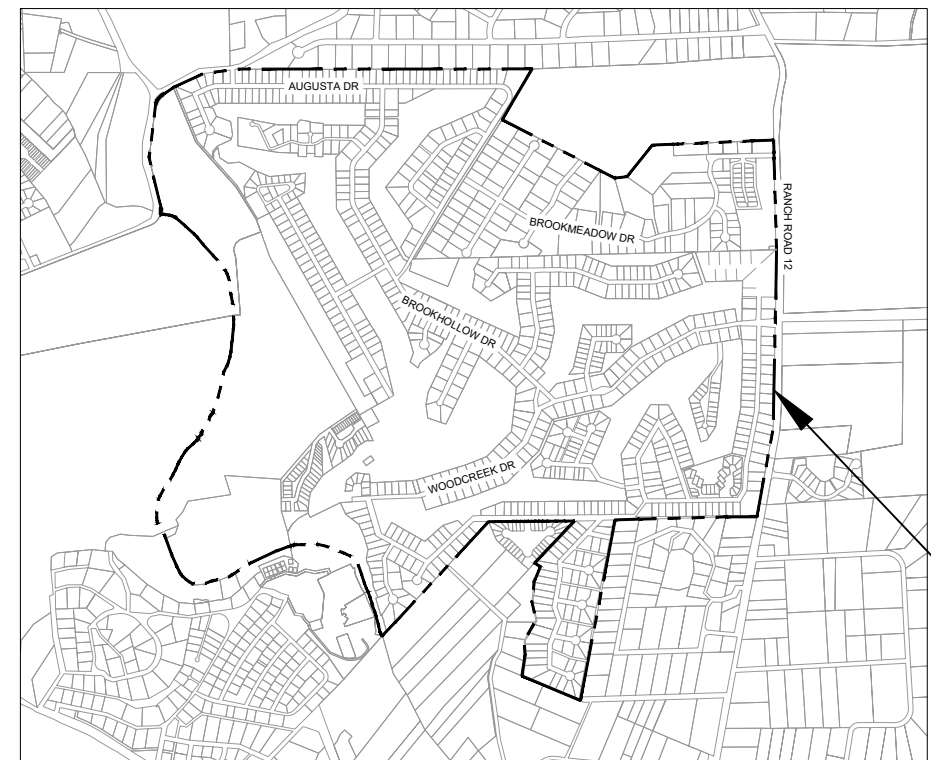
SHEET:  
**C0.00** 59

# CITY OF WOODCREEK

## 2024 SAFETY ENHANCEMENT PROGRAM

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C2.02	DRIVEWAY PAVING LAYOUTS SHT 2
C2.03	DRIVEWAY PAVING LAYOUTS SHT 3
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**PROJECT LIMITS**  
 (VARIOUS LOCATIONS WITHIN CITY LIMITS)

**CITY MAYOR:**  
 JEFF RASCO

**CITY COUNCIL MEMBERS:**  
 PLACE 1, MAYOR PRO TEM - DEBRA HINES  
 PLACE 2 - LINNEA R. BAILEY  
 PLACE 3 - CHRYS GRUMMERT  
 PLACE 4 - BOB HAMBRICK  
 PLACE 5 - KRISTA RICHARDSON

**CITY MANAGER:**  
 JIM BURTON

Date: Aug 21, 2024, 10:26am User ID: norri File: Z:\ENG - PBD\154 - City of Woodcreek\102 - TO 3 - 2024 Safety Enhancement Program\_CAD.dwg 154\_102-CVR-001.dwg



THE SIZE, TYPE, LOCATION AND DEPTH OF EXISTING UTILITIES AS SHOWN HEREIN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



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CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
GENERAL NOTES SHT 1

**CITY OF WOODCREEK**

**2024 SAFETY ENHANCEMENT PROGRAM  
GENERAL NOTES**

**GENERAL DESCRIPTION OF THE SCOPE OF WORK**

THE SCOPE OF WORK GENERALLY INVOLVES DRIVEWAY PAVEMENT RECONSTRUCTION, ROAD OVERLAY, INSTALLATION OF SPEED LIMIT SIGNS AND SPEED CUSHIONS, AND THE MODIFICATION OF A GUARDRAIL WITHIN THE CITY LIMITS OF WOODCREEK, TEXAS.

**PROJECT LIMITS AND AREA**

THE PROJECT LIMITS CONSIST OF THE PUBLIC STREET AND RIGHT-OF-WAY LOCATED IN WOODCREEK, TEXAS.

THE PROJECT LIMITS INCLUDE AREAS WITHIN THE EXISTING STREET RIGHT-OF-WAY NEEDED TO PARK AND OPERATE THE EQUIPMENT.

THE CONTRACTOR SHALL NOT WORK OUTSIDE OF THE RIGHT-OF-WAY.

THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE EXISTING CURB, PARKWAY, DRIVEWAYS, AND PRIVATE PROPERTY OUTSIDE OF THE PROJECT LIMITS.

**NOTIFICATIONS**

THE CONTRACTOR SHALL NOTIFY THE CITY OF WOODCREEK AND THE ENGINEER 72 HOURS BEFORE STARTING CONSTRUCTION.

THE CONTRACTOR SHALL PROVIDE THE START AND END DATES FOR CONSTRUCTION, ANY SCHEDULE CHANGES, AND ADDITIONAL INFORMATION FOR COORDINATION PURPOSES.

**REGULATIONS**

THE CONTRACTOR SHALL CONDUCT ALL CONSTRUCTION OPERATIONS ACCORDING TO APPLICABLE STATE STATUTES AND U.S. OSHA REGULATIONS.

THE CONTRACTOR MAY OBTAIN INFORMATION AND RELATED REFERENCE MATERIALS FROM OSHA AT 1033 LA POSADA DR., SUITE 375, AUSTIN, TEXAS 78752-3832.

ALL CONSTRUCTION SHALL COMPLY WITH THE TEXAS ADMINISTRATIVE CODE, TCEQ, AND ANY OTHER GOVERNING ENTITY, ORDINANCES, OR CODES.

**JOB SITE RESPONSIBILITY**

THE CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR JOB SITE CONDITIONS DURING THE CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND THE PROTECTION OF PROPERTY.

THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO REGULAR WORKING HOURS.

**UTILITIES**

THE CONTRACTOR SHALL USE ESTABLISHED SAFETY PRACTICES WHEN WORKING NEAR UTILITIES.

THE CONTRACTOR SHALL INFORM AND CONSULT WITH THE APPROPRIATE UTILITY OWNERS BEFORE WORK BEGINS, ALLOWING THEM ENOUGH TIME TO IDENTIFY, LOCATE, REROUTE, OR MAKE OTHER ADJUSTMENTS TO UTILITY LINES.

THE SIZE, LOCATION, AND DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES' EXACT HORIZONTAL AND VERTICAL LOCATIONS BEFORE COMMENCING WORK.

ALL EXISTING UTILITIES SHALL REMAIN IN PLACE AND STAY IN SERVICE UNLESS OTHERWISE INDICATED ON THE PLANS.

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO LOCATE AND PRESERVE ALL UNDERGROUND AND ABOVE-GROUND UTILITIES IN THE PROJECT AREA.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF UTILITY CONFLICTS.

THE ENGINEER WILL DECIDE WHETHER TO ADJUST UTILITIES OR ADJUST THE WORK TO ELIMINATE OR LESSEN THE CONFLICT.

UNLESS OTHERWISE SHOWN ON THE PLANS, THE ENGINEER WILL MAKE NECESSARY ARRANGEMENTS WITH THE UTILITY OWNER WHEN UTILITY ADJUSTMENTS ARE REQUIRED.

THE CONTRACTOR SHALL USE WORK PROCEDURES THAT PROTECT UTILITIES OR APPURTENANCES THAT REMAIN IN PLACE DURING CONSTRUCTION.

THE CONTRACTOR SHALL CONDUCT WORK WITH MINIMUM DISTURBANCE OF EXISTING UTILITIES AND COORDINATE WORK IN OR NEAR UTILITIES WITH THE UTILITY OWNERS.

THE CONTRACTOR SHALL COOPERATE WITH UTILITIES TO REMOVE AND REARRANGE UTILITIES TO AVOID SERVICE INTERRUPTION OR DUPLICATE WORK BY THE UTILITIES.

THE CONTRACTOR SHALL NOT DISRUPT UTILITY SERVICES TO CUSTOMERS IN THE PROJECT AREA UNLESS THE OUTAGE HAS BEEN COORDINATED AND SCHEDULED WITH THE APPROPRIATE UTILITY PROVIDER(S) AND CUSTOMERS.

THE CONTRACTOR SHALL PROVIDE 24-HOUR EMERGENCY CONTACT INFORMATION TO AREA UTILITY COMPANIES.

THE CONTRACTOR SHALL ALLOW UTILITIES ACCESS TO THE RIGHT OF WAY.

THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE APPROPRIATE UTILITY COMPANIES OF SERVICE INTERRUPTIONS RESULTING FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES AND COOPERATE WITH UTILITIES UNTIL SERVICE IS RESTORED. (CONTINUED NEXT PAGE)

THE CONTRACTOR SHALL ALWAYS MAINTAIN ACCESS TO FIRE HYDRANTS.

THE CONTRACTOR SHALL AVOID CUTTING OR DAMAGING UNDERGROUND UTILITY LINES TO REMAIN IN PLACE AND PROMPTLY NOTIFY THE UTILITY COMPANY IF DAMAGE OCCURS.

THE CONTRACTOR SHALL PROTECT IN PLACE ALL UTILITY APPURTENANCES IN THE STREET PAVEMENT, INCLUDING MANHOLES AND VALVE BOXES.

THE CONTRACTOR SHALL REPAIR AT NO ADDITIONAL COST TO THE OWNER ANY UTILITY APPURTENANCES DAMAGED DURING OVERLAY, PAVEMENT REPAIR, AND OTHER CONSTRUCTION OPERATIONS.

THE CONTRACTOR SHALL INSTALL SOD AT NO ADDITIONAL COST TO THE OWNER FOR ANY DISTURBED AREAS.

**CONSTRUCTION WATER**

THE CONTRACTOR SHALL OBTAIN A WATER SUPPLY FOR CONSTRUCTION PURPOSES AT THEIR COST.

THE CONTRACTOR MAY ARRANGE FOR A TEMPORARY WATER METER FROM THE WATER PROVIDER.

**HAUL ROUTE PROTECTION**

THE CONTRACTOR SHALL USE WHATEVER MEANS TO PREVENT SOIL AND OTHER FOREIGN MATERIALS FROM LITTERING PUBLIC STREETS USED TO HAUL MATERIALS TO AND FROM THIS PROJECT SITE.

THE CONTRACTOR SHALL REMOVE SOIL, DIRT, MUD, AND OTHER MATERIALS FROM THE PUBLIC STREETS TO PREVENT HAZARDOUS CONDITIONS AND PROTECT THE TRAVELING PUBLIC.

**FIELD CHANGES**

THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY IF ANY FIELD CHANGES ARE REQUIRED.

**WORKING HOURS**

THE CONTRACTOR'S WORKING HOURS SHALL BE MONDAY THROUGH FRIDAY FROM 7 AM TO 6 PM. THE CONTRACTOR SHALL NOT WORK WEEKENDS OR HOLIDAYS UNLESS APPROVED BY CITY OF WOODCREEK.

**STORMWATER**

THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND NOT BLOCK STORMWATER.

JOB: 154-102	
DATE: 2024/08/21	
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PEER:	OTHER:
REVISIONS:	
DELTA	DESCRIPTION

**CONSTRUCTION SPECIFICATIONS**

THE CONTRACTOR SHALL PERFORM ALL WORK AND CONSTRUCT THE IMPROVEMENTS PER TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS, AND BRIDGES (ADOPTED BY TXDOT NOVEMBER 1, 2014) AND ANY APPLICABLE SPECIAL PROVISIONS AND SPECIFICATIONS.

**ITEM 100 - PREPARING ROW**

THIS SPECIFICATION SHALL GOVERN AND INCLUDE THE PREPARATION OF THE PROJECT SITE FOR CONSTRUCTION.

**ITEM 105 - REMOVING TREATED AND UNTREATED BASE AND ASPHALT PAVEMENT**

THE CONTRACTOR SHALL REMOVE THE EXISTING ASPHALT AND BASE MATERIAL PER THE LIMITS SHOWN ON THE PLANS TO A DEPTH NO GREATER THAN THE EXISTING SUBGRADE. THE CONTRACTOR SHALL NOT STOCK PILE REMOVED MATERIALS AND SHALL HAUL OFF REMOVED MATERIALS IMMEDIATELY.

**ITEM 247 - FLEXIBLE BASE**

THE CONTRACTOR SHALL FURNISH AND INSTALL TYPE A, GRADE I-II FLEXIBLE BASE MATERIAL PER DEPTH SHOWN ON PLANS.

**ITEM 500 - MOBILIZATION**

**ITEM 502 - BARRICADES, SIGNS, AND TRAFFIC HANDLING**

THE CONTRACTOR SHALL MAINTAIN ONE-LANE TWO-WAY TRAFFIC USING FLAGGERS AT ALL TIMES DURING ACTIVE CONSTRUCTION AND WORKING HOURS. TWO-WAY TRAFFIC MUST BE MAINTAINED WHEN THE CONTRACTOR IS NOT ACTIVELY WORKING ON-SITE.

THE CONTRACTOR SHALL PROVIDE ADDITIONAL TRAFFIC CONTROL SIGNS AT ALL INTERSECTIONS TO IDENTIFY ROAD WORK AHEAD.

**ITEM 506 - TEMPORARY EROSION, SEDIMENTATION, AND WATER POLLUTION PREVENTION AND CONTROLS**

SEE PLANS.

**ITEM 644 - SMALL ROADSIDE SIGN ASSEMBLIES**

SEE PLANS.

**ITEM 666 - RETROREFLECTORIZED PAVEMENT MARKINGS**

TYPE II TRAFFIC PAINT SHALL BE INSTALLED AS A SEALER/BASE COAT BEFORE INSTALLING TYPE I HOT-APPLIED THERMOPLASTIC.

**SPECIAL SPECIFICATION 3076 - DENSE-GRADED HOT-MIX ASPHALT**

**HMAC SHALL BE INSTALLED WHERE INDICATED ON THE PLANS, VARIOUS DRIVEWAYS AND OVERLAY ON DEERFIELD DRIVE**

HMAC SHALL BE TYPE AND DEPTH AS SPECIFIED ON PLANS.

TACK COAT SHALL BE CBC-1H APPLIED AT A RATE OF 0.10 GAL/SY.

MODIFICATIONS ADDED TO SPECIFICATION ARE AS FOLLOWS:

**PARAGRAPH 5**

1. HOT MIX WILL BE MEASURED BY THE SQUARE YARD.

**PARAGRAPH 6**

1. PAYMENT WILL BE PAID FOR AT THE UNIT BID PRICE PER SQUARE YARD.  
2. TACK COAT WILL BE SUBSIDIARY TO THIS ITEM.

**SPECIAL SPECIFICATION - INSTALL PROVIDED DIGITAL SPEED SIGNS**

SEE PLAN SHEETS FOR LOCATIONS. THE GOVERNING SPECIFICATION FOR THIS ITEM IS TXDOT ITEM 644 - SMALL ROADSIDE SIGN ASSEMBLIES.

THE CITY OF WOODCREEK WILL PROVIDE THE SOLAR POWERED DIGITAL SPEED SIGNS. THE CONTRACTOR SHALL FULLY FURNISH ALL POSTS, HARDWARE, BASE ETC TO APPROPRIATELY MOUNT THE PROVIDED SIGNS. THREE SIGN LOCATIONS ARE INCLUDED WITHIN THE PLANS, THE FOURTH LOCATION WILL BE DETERMINED DURING CONSTRUCTION.

**SPECIAL SPECIFICATION - INSTALL PROVIDED SIGNS**

THE CITY OF WOODCREEK HAS VARIOUS SMALL SIGNS TO BE INSTALLED, LOCATIONS WILL BE DETERMINED DURING CONSTRUCTION. THE GOVERNING SPECIFICATION FOR THIS ITEM IS TXDOT ITEM 644 - SMALL ROADSIDE SIGN ASSEMBLIES.

THE CITY OF WOODCREEK WILL PROVIDE VARIOUS SMALL SIGNS. THE CONTRACTOR SHALL FULLY FURNISH ALL POSTS, HARDWARE, BASE ETC. TO APPROPRIATELY MOUNT THE PROVIDED SIGNS.

**SPECIAL SPECIFICATION - GUARDRAIL MODIFICATION**

SEE PLANS. THE GOVERNING SPECIFICATIONS FOR THIS WORK ARE LISTED BELOW:  
TXDOT ITEM 540 - METAL BEAM GUARD FENCE  
TXDOT ITEM 542 - REMOVING METAL BEAM GUARD FENCE

ALL WORK INCLUDING REMOVING THE EXISTING GUARD FENCE, PORTABLE RESTROOM RELOCATION, AND INSTALLATION SHALL BE SUBSIDIARY TO THIS ITEM. THIS WORK WILL BE PAID BY THE LUMP SUM, AND WILL INCLUDE ALL NECESSARY WORK FOR FINAL COMPLETION.

**SPECIAL SPECIFICATION - SPEED CUSHION**

COMPLETE IN PLACE TO INCLUDE ALL NECESSARY FURNISHINGS FOR INSTALLATION PER DETAIL INCLUDED IN PLANS AND MANUFACTURER INSTALLATION RECOMMENDATIONS. MARKING PATTERN IS TO BE SC-070603-M. THIS WORK WILL BE PAID BY EACH INDIVIDUAL SPEED CUSHION.

**SPECIAL SPECIFICATION - BLADE LEVEL-UP WITH ASPHALT CONCRETE**

SEE PLANS.

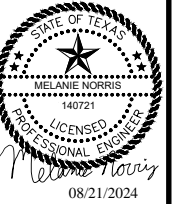
**SUBMITTALS**

THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ENGINEER FOR APPROVAL FOR ALL MATERIALS FOR ITEMS SPECIFIED.

Item 3.



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SPRING BRANCH, TX 76070  
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CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
GENERAL NOTES SHT 2

JOB: 154-102

DATE: 2024/08/21

DRAWN: TN PM: MN

DESIGN: DM:

PEER: OTHER:

REVISIONS:

DELTA DESCRIPTION

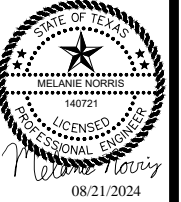
DELTA	DESCRIPTION

SHEET:

C0.02 61



18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-032  
SPRING BRANCH, TX 78070 TBE FIRM F-2104

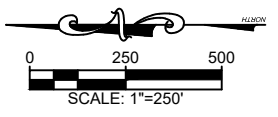
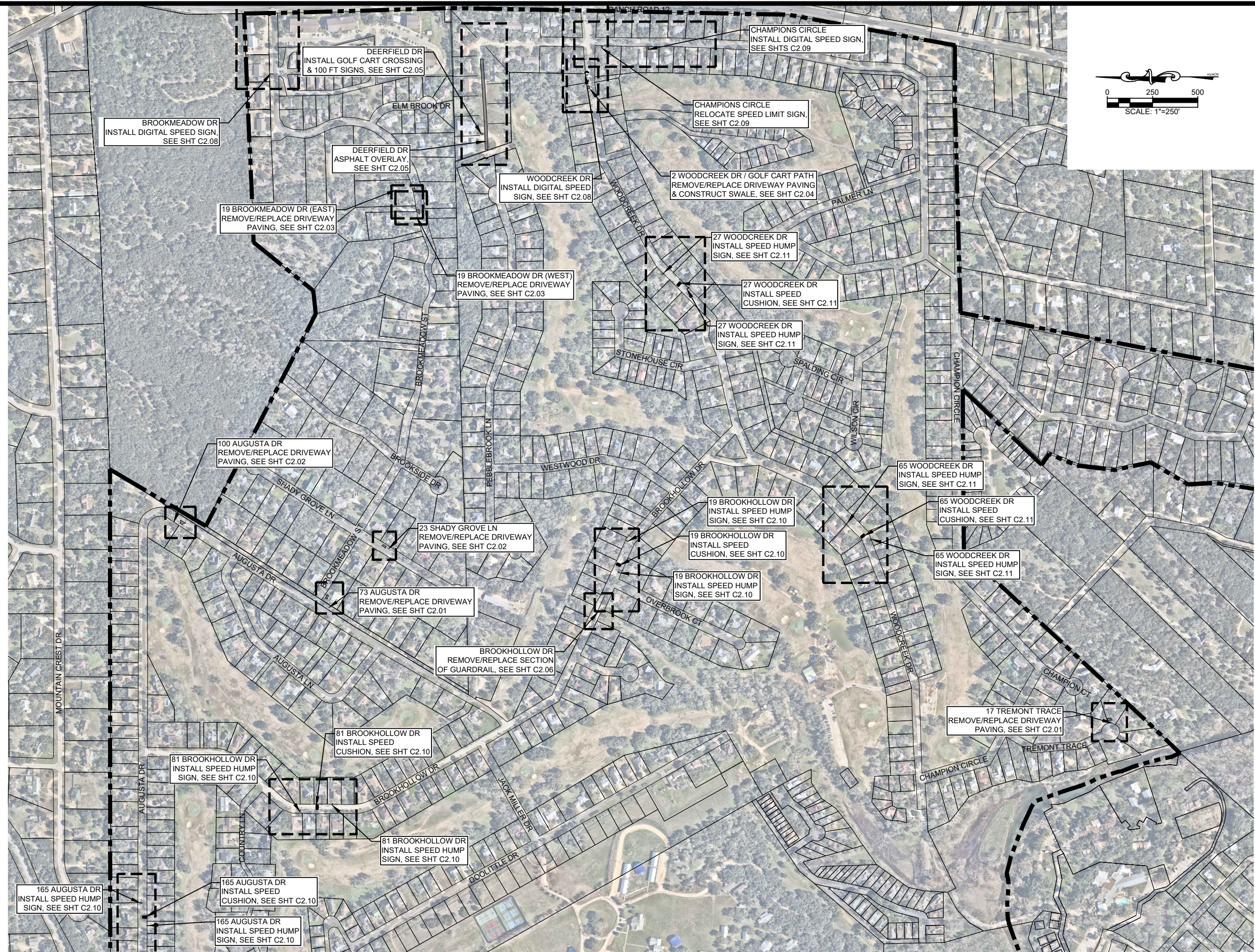


CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
OVERALL (P)SITE PLAN

JOB: 154-102  
DATE: 2024/08/21  
DRAWN: TN PM: MN  
DESIGN: DM:  
PEER: OTHER:

REVISIONS:	
DELTA	DESCRIPTION

Date: Aug 21, 2024, 10:27am User ID: norri  
File: Z:ENG - PBD 154 - City of Woodcreek 102 - TO 3 - 2024 Safety Enhancement Program\_CAD.dwg 154\_102-PSITE-PLAN-001.dwg





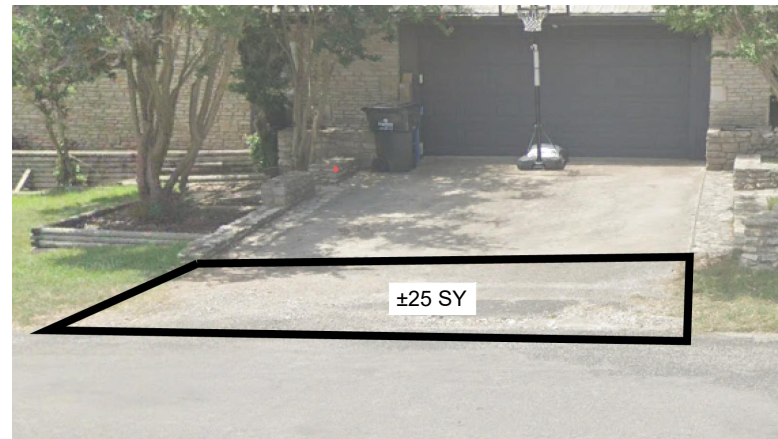
CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
 DRIVEWAY PAVING LAYOUTS  
 SHT 1

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION



**17 TREMONT TRCE - FRONT STREET VIEW**  
 SCALE: N.T.S.



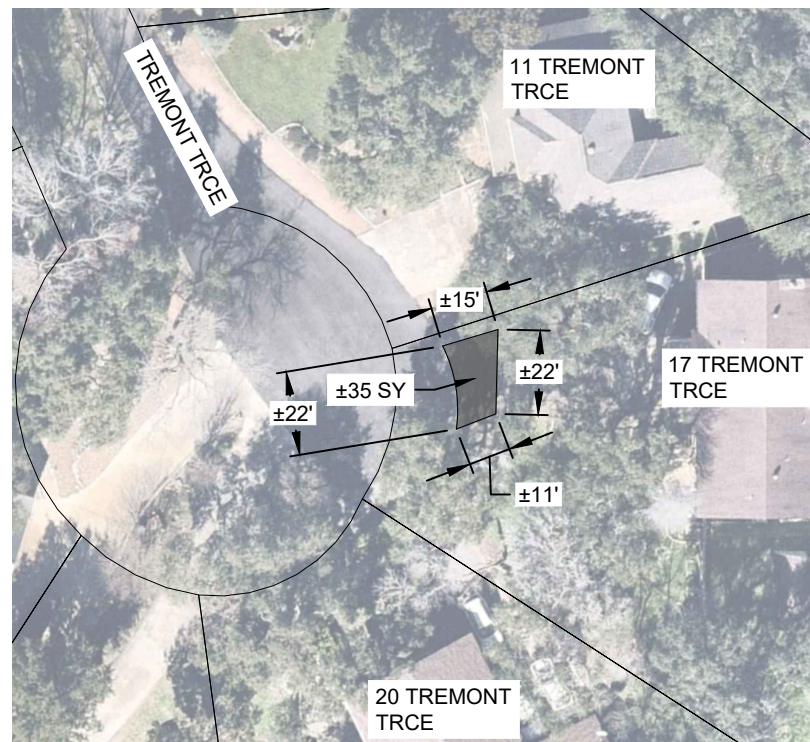
**73 AUGUSTA DR - FRONT STREET VIEW**  
 SCALE: N.T.S.

LEGEND

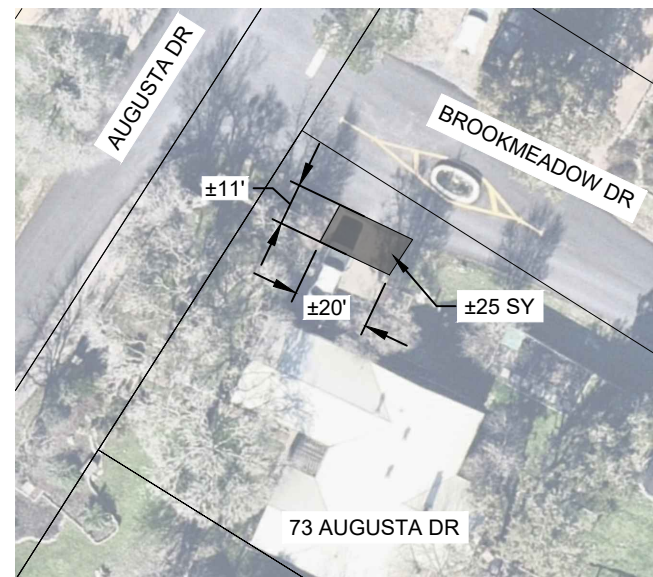
DRIVEWAY PAVING SECTION

NOTES:

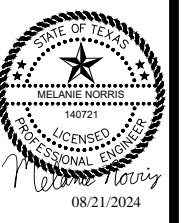
1. CONTRACTOR SHALL REMOVE 2" OF DRIVEWAY MATERIAL (ASPHALT AND BASE) AND REMOVE FROM THE SITE.
2. THE CONTRACTOR SHALL REPLACE EXISTING ASPHALT WITH 2" OF HMAC (TXDOT SPEC ITEM 3076).
3. THE CONTRACTOR SHALL MATCH EXISTING GRADES OF EXISTING ASPHALT IN AREAS BEING REPAVED AND MAINTAIN EXISTING DRAINAGE PATTERNS.
4. DIMENSIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONCERNS OR DISCREPANCIES.



**17 TREMONT TRCE - AERIAL PLAN VIEW**  
 SCALE: 1" = 50'



**73 AUGUSTA DR - AERIAL PLAN VIEW**  
 SCALE: 1" = 50'



CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
DRIVEWAY PAVING LAYOUTS  
SHT 2

JOB: 154-102  
DATE: 2024/08/21  
DRAWN: TN PM: MN  
DESIGN: DM:  
PEER: OTHER:

REVISIONS:

DELTA	DESCRIPTION



**100 AUGUSTA DR - FRONT STREET VIEW**  
SCALE: N.T.S.

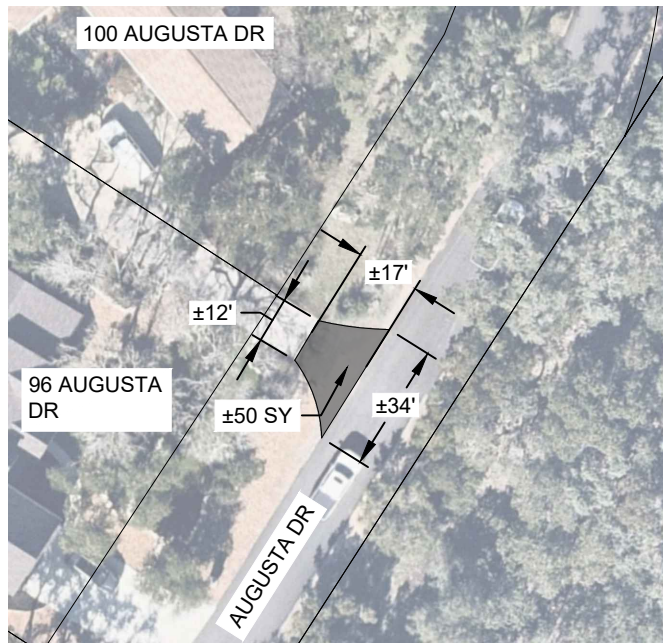


**23 SHADY GROVE LN - FRONT STREET VIEW**  
SCALE: N.T.S.

LEGEND



- NOTES:
1. CONTRACTOR SHALL REMOVE 2" OF DRIVEWAY MATERIAL (ASPHALT AND BASE) AND REMOVE FROM THE SITE.
  2. THE CONTRACTOR SHALL REPLACE EXISTING ASPHALT WITH 2" OF HMAC (TxDOT SPEC ITEM 3076).
  3. THE CONTRACTOR SHALL MATCH EXISTING GRADES OF EXISTING ASPHALT IN AREAS BEING REPAVED AND MAINTAIN EXISTING DRAINAGE PATTERNS.
  4. DIMENSIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONCERNS OR DISCREPANCIES.



**100 AUGUSTA DR - AERIAL PLAN VIEW**  
SCALE: 1" = 50'



**23 SHADY GROVE LN - AERIAL PLAN VIEW**  
SCALE: 1" = 40'





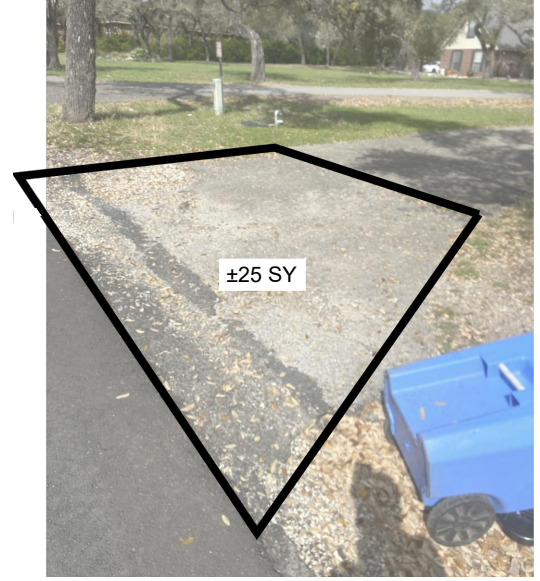
CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
 DRIVEWAY PAVING LAYOUTS  
 SHT 3

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION



19 BROOKMEADOW DR (WEST) - FRONT STREET VIEW  
 SCALE: N.T.S.



19 BROOKMEADOW DR (EAST) - FRONT STREET VIEW  
 SCALE: N.T.S.

LEGEND



NOTES:

1. CONTRACTOR SHALL REMOVE 2" OF DRIVEWAY MATERIAL (ASPHALT AND BASE) AND REMOVE FROM THE SITE.
2. THE CONTRACTOR SHALL REPLACE EXISTING ASPHALT WITH 2" OF HMA (TxDOT SPEC ITEM 3076).
3. THE CONTRACTOR SHALL MATCH EXISTING GRADES OF EXISTING ASPHALT IN AREAS BEING REPAVED AND MAINTAIN EXISTING DRAINAGE PATTERNS.
4. DIMENSIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONCERNS OR DISCREPANCIES.



19 BROOKMEADOW DR (WEST) - AERIAL PLAN VIEW  
 SCALE: 1" = 50'



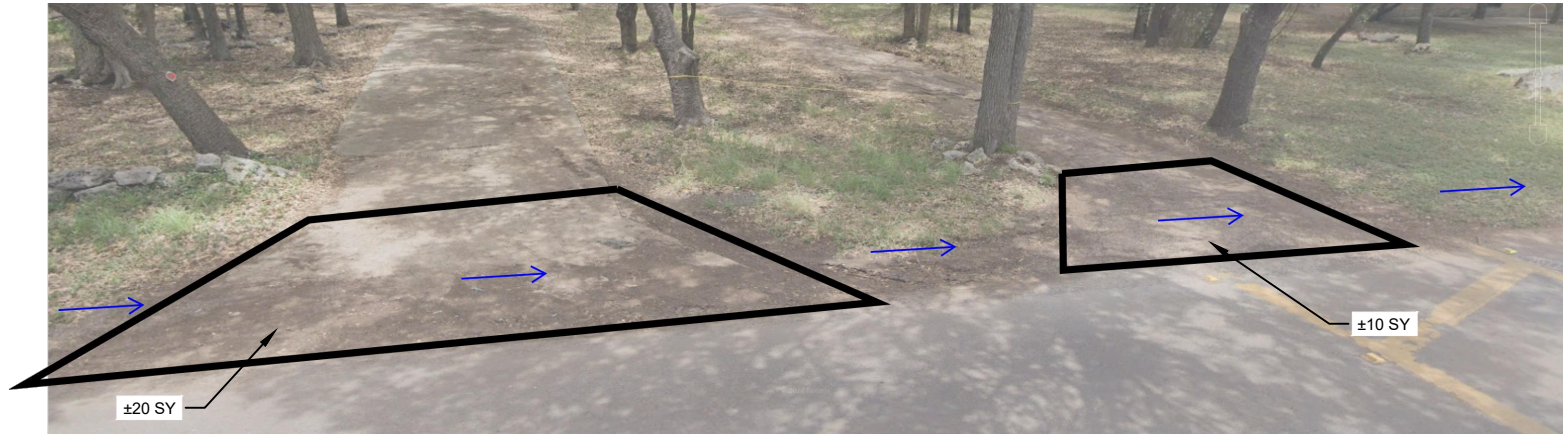
19 BROOKMEADOW DR (EAST) - AERIAL PLAN VIEW  
 SCALE: 1" = 50'



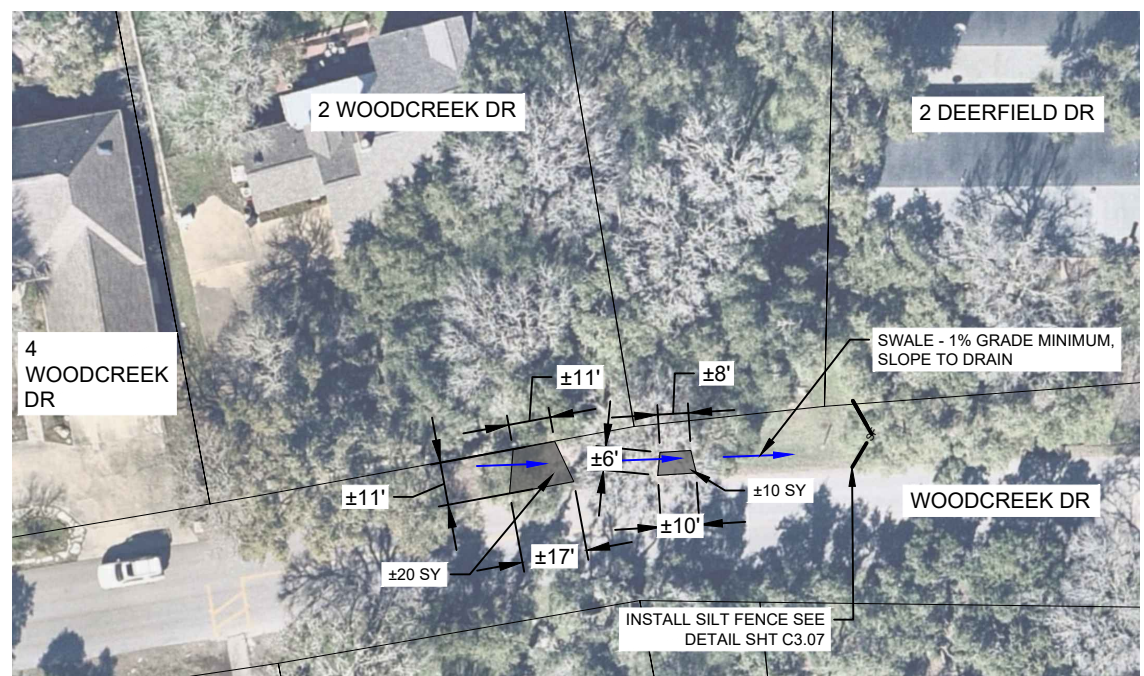
CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
DRIVEWAY PAVING LAYOUTS  
SHT 4

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION



**2 WOODCREEK DR / GOLF CART PATH - FRONT STREET VIEW**  
SCALE: N.T.S.



**2 WOODCREEK DR / GOLF CART PATH - AERIAL PLAN VIEW**  
SCALE: 1" = 50'

LEGEND

■ DRIVEWAY PAVING SECTION

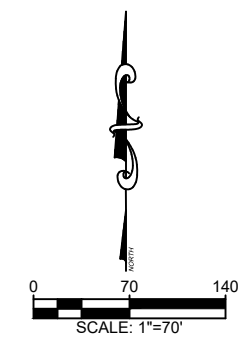
— SF — SILT FENCE

- NOTES:
1. CONTRACTOR SHALL REMOVE 8" OF DRIVEWAY MATERIAL (ASPHALT AND BASE) AND REMOVE FROM THE SITE.
  2. THE CONTRACTOR SHALL REPLACE EXISTING ASPHALT WITH 2" OF HMA (TXDOT SPEC ITEM 3076) AND 6" OF FLEXIBLE BASE MATERIAL (TXDOT SPEC ITEM 247).
  3. THE CONTRACTOR SHALL MATCH EXISTING GRADES OF EXISTING ASPHALT AT TIE IN AREAS.
  4. THE CONTRACTOR SHALL CONSTRUCT A SWALE AT A MINIMUM 1% GRADE ACROSS THE TWO DRIVEWAYS AND CREATE POSITIVE DRAINAGE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
  5. DIMENSIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONCERNS OR DISCREPANCIES.

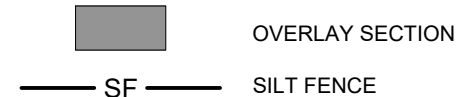
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File: Z:\ENG - PRD\154 - City of Woodcreek\102 - TO 3 - 2024 Safety Enhancement Program\_CAD.dwg (154\_102-PSITE-PLAN-001.dwg)



CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
**DEERFIELD DR OVERLAY PLAN**



LEGEND:



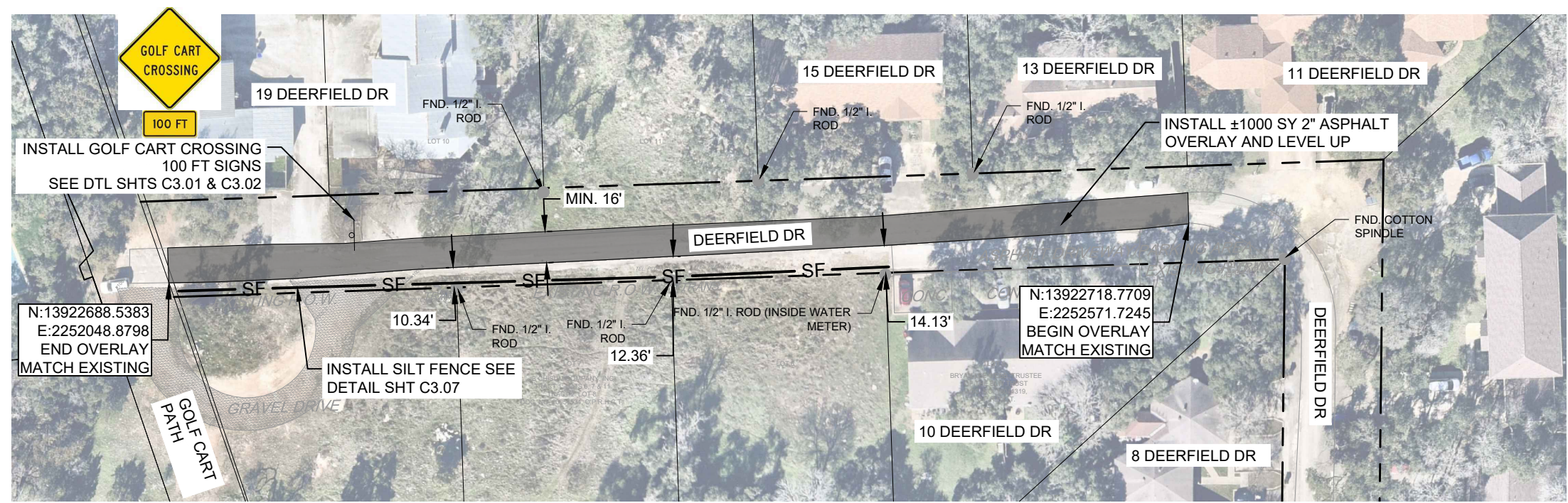
NOTES:

1. THE CONTRACTOR SHALL PLACE AN ASPHALT CONCRETE LEVEL-UP THROUGHOUT THE OVERLAY SECTION LIMITS (SPECIAL SPECIFICATION BLADE LEVEL-UP WITH ASPHALT CONCRETE) TO FILL IN ALL AREAS OF DEPRESSION.
2. THE CONTRACTOR SHALL INSTALL A 2" HMAC OVERLAY (TXDOT SPEC 3076) PER THE LIMITS SHOWN ON THE PLANS.
3. THE CONTRACTOR SHALL MATCH THE EXISTING PAVEMENT LIMITS, AND MAINTAIN A MINIMUM OF A 16' WIDE PAVEMENT SECTION.
4. THE CONTRACTOR SHALL MATCH EXISTING GRADES OF EXISTING ASPHALT AT TIE IN AREAS INCLUDING DRIVEWAYS.
5. THE CONTRACTOR SHALL PLACE HMAC OVERLAY MATCHING EXISTING GRADES AND DRAINAGE PATTERNS.
6. GOLF CART SIGN SHALL BE INSTALLED DIRECTLY BEHIND MAILBOXES AND SHALL NOT IMPEDE ACCESS.

SURVEY NOTES:

1. BEARING ORIENTATION IS BASED UPON THE TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE 4204, NORTH AMERICAN DATUM OF 1983 (NAD 83), 2011 ADJUSTMENT, EPOCH 2010.00. MEASUREMENTS ARE IN U.S. SURVEY FEET.
2. MEASUREMENTS ARE IN U.S. SURVEY FEET. DISTANCES AND COORDINATES SHOWN HEREON ARE IN GRID.
3. THE SURVEYOR HAS NOT ABSTRACTED THE SUBJECT PROPERTY, NOR MADE ANY INDEPENDENT INVESTIGATION OR SEARCH FOR EASEMENTS OF RECORD, RESTRICTIVE COVENANTS OR ANY OTHER ENCUMBRANCES THAT MAY AFFECT THE SUBJECT PROPERTY.
4. FIELD WORK WAS COMPLETED ON JULY 22, 2024.

JOB: 154-102	
DATE: 2024/08/21	
DRAWN: TN	PM: MN
DESIGN: DM	
PEER: OTHER:	
REVISIONS:	
DELTA	DESCRIPTION



Date: Aug 21, 2024, 10:28am User ID: norri  
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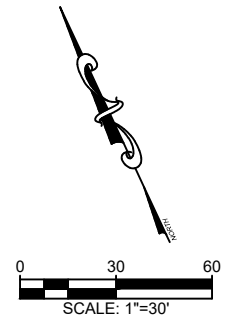
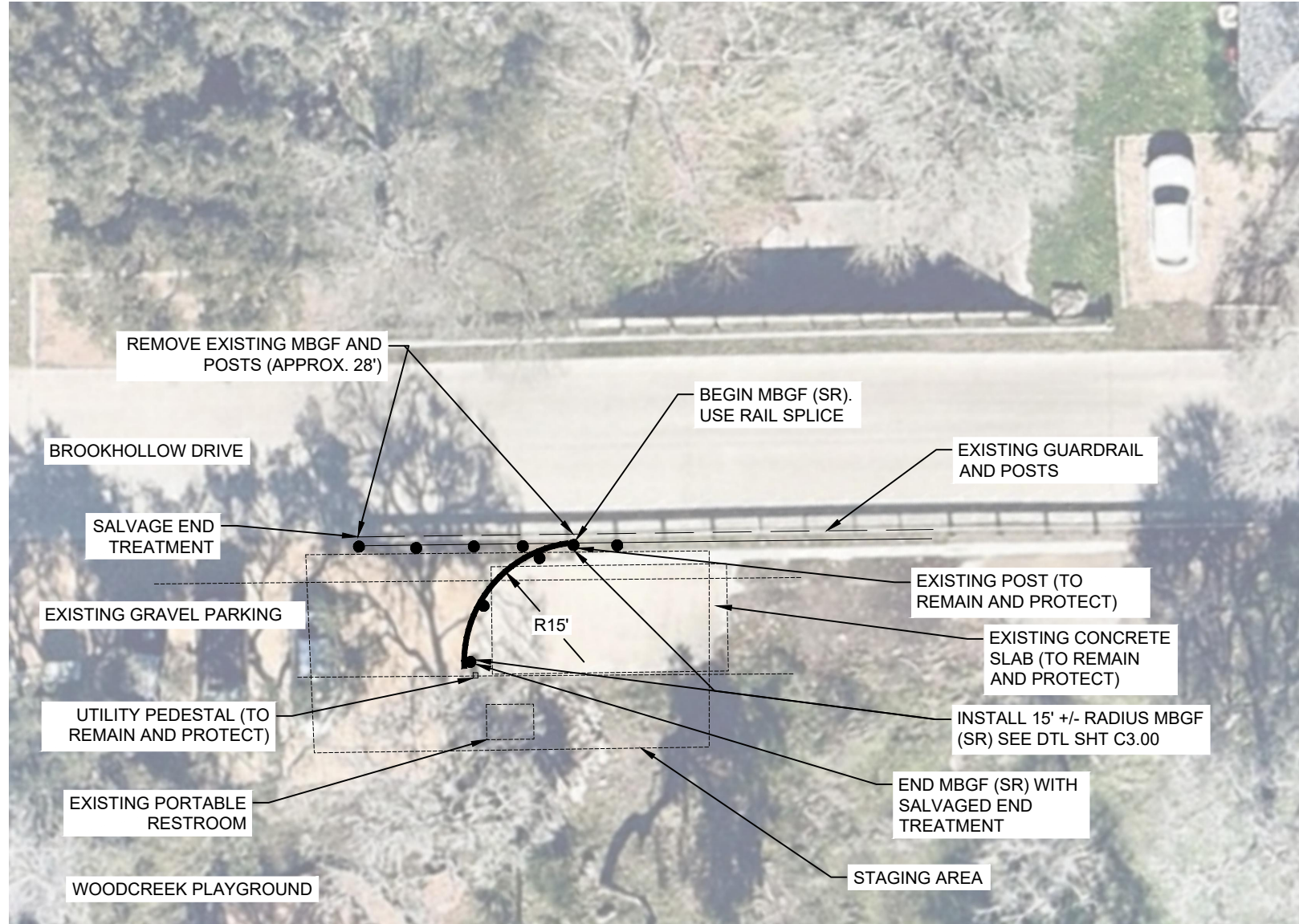


CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
**GUARDRAIL MODIFICATION PLAN**

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION

- NOTES:
1. THE CONTRACTOR MAY CLOSE ONE LANE OF BROOKHOLLOW DR. TO ESTABLISH A WORK ZONE. DURING LANE CLOSURES, THE CONTRACTOR SHALL PROPERLY MAINTAIN TRAFFIC ON BROOKHOLLOW DR.
  2. THE CONTRACTOR MAY TEMPORARILY REPOSITION THE EXISTING PORTABLE BATHROOM TO ACCOMMODATE MBGF INSTALLATION.
  3. THE CONTRACTOR SHALL CONTACT TEXAS 811 AND LOCATE UNDERGROUND UTILITIES BEFORE CONSTRUCTION STARTS. THE CONTRACTOR SHALL CONTACT THE ENGINEER IF ANY UTILITY CONFLICTS WITH THE CONSTRUCTION OF IMPROVEMENTS DESCRIBED IN THE PLANS.
  4. THE CONTRACTOR SHALL REMOVE (NOT STORE) PORTIONS OF THE EXISTING MBGF AND TIMBER POSTS AS SHOWN ON THE PLANS.
  5. THE CONTRACTOR MAY SALVAGE AND REUSE EXISTING TIMBER POSTS TO CONSTRUCT SHORT RADIUS MBGF IF POSTS ARE IN GOOD CONDITION WITH NO INDICATION OF ROTTING OR FAILURE. STEEL AND COMPOSITE MATERIAL POSTS ARE NOT PERMITTED.
  6. THE CONTRACTOR SHALL FIELD FIT A 15' (+/-) SHORT RADIUS MBGF AS SHOWN ON THE PLANS.
  7. THE TIMBER POSTS SHALL NOT BE INSTALLED IN THE EXISTING CONCRETE SLAB.
  8. THE CONTRACTOR MAY ADJUST THE SPACING OF THE TIMBER POSTS TO AVOID THE EXISTING CONCRETE SLAB AND UTILITIES.
  9. THE CONSTRUCTOR SHALL INSTALL THE SHORT RADIUS MBGF USING A RAIL SPLICE AS INDICATED ON THE PLANS. THE NEW MBGF SHALL BE INSTALLED LEVEL WITH THE EXISTING ELEVATION OF THE MBGF AT THE SPLICE LOCATION.
  10. THE CONTRACTOR SHALL REMOVE ALL EXCAVATED MATERIALS IMMEDIATELY AFTER DIGGING THE HOLES FOR THE TIMBER POSTS.





CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
**SIGNAGE AND CROSSWALKS**

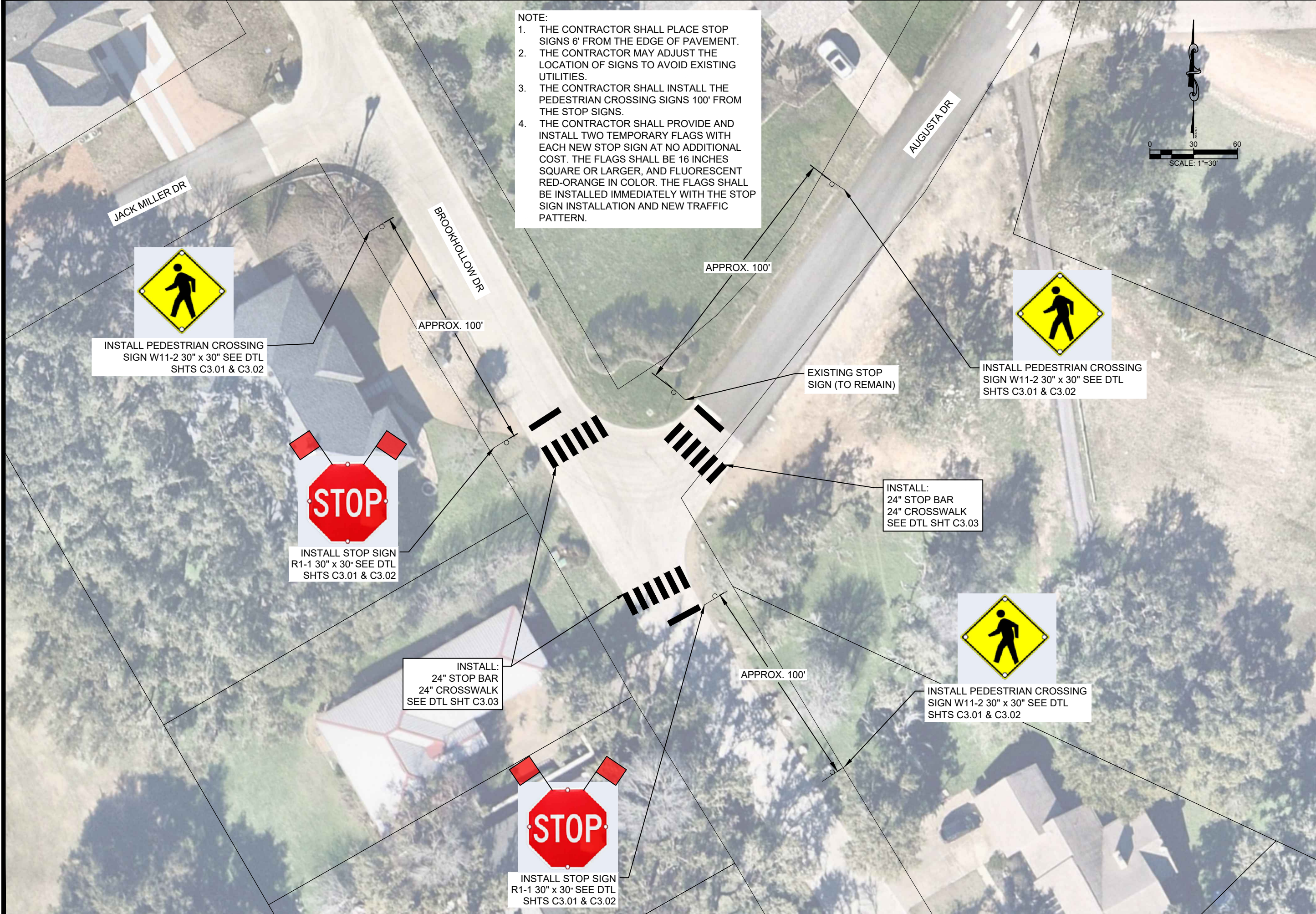
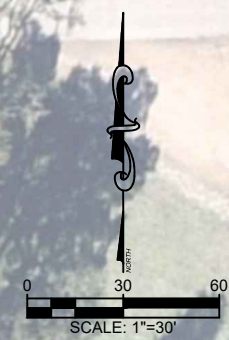
JOB: 154-102  
DATE: 2024/08/21  
DRAWN: TN PM: MN  
DESIGN: DM:  
PEER: OTHER:

REVISIONS:

DELTA	DESCRIPTION

**NOTE:**

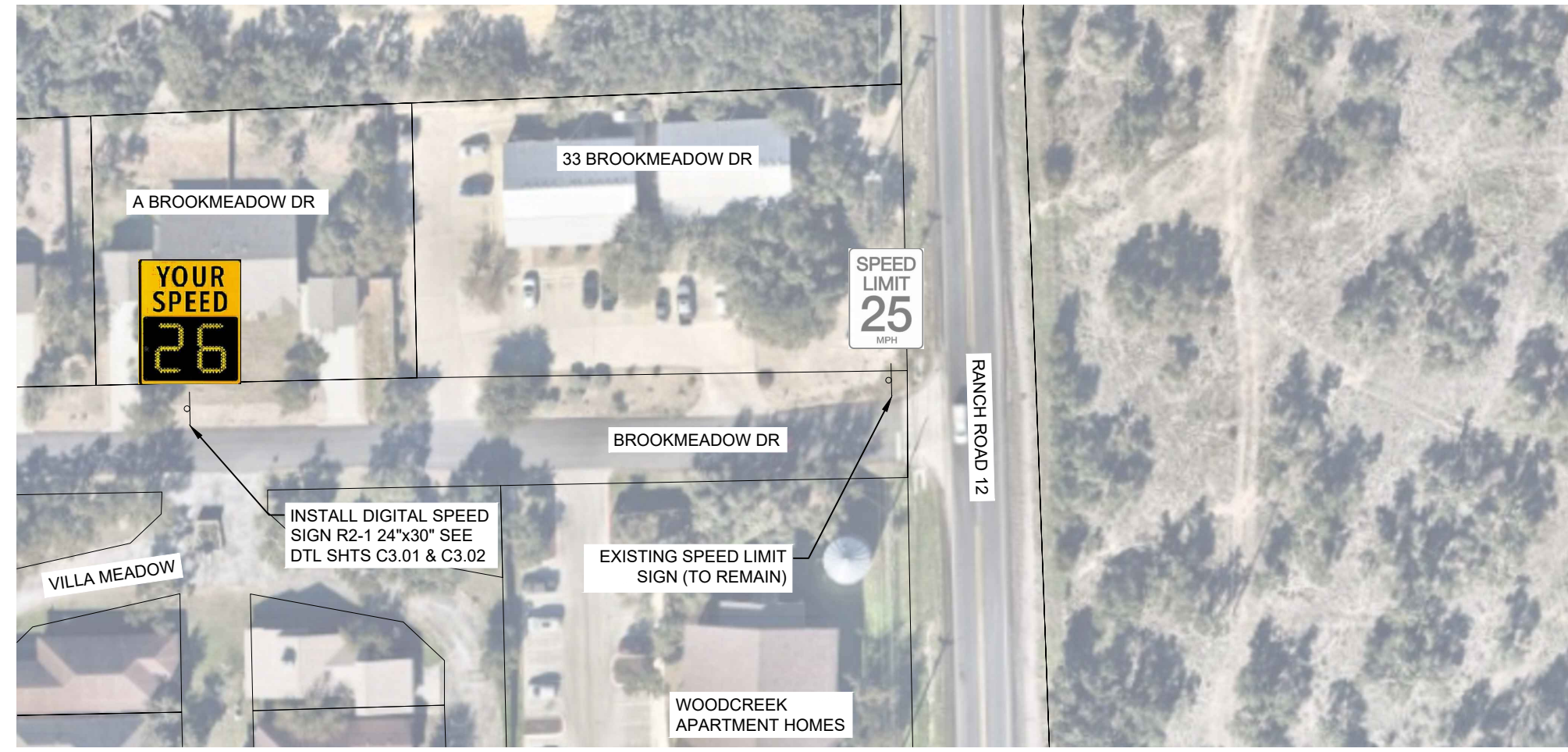
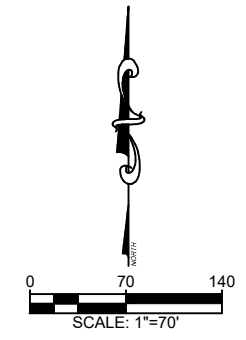
1. THE CONTRACTOR SHALL PLACE STOP SIGNS 6' FROM THE EDGE OF PAVEMENT.
2. THE CONTRACTOR MAY ADJUST THE LOCATION OF SIGNS TO AVOID EXISTING UTILITIES.
3. THE CONTRACTOR SHALL INSTALL THE PEDESTRIAN CROSSING SIGNS 100' FROM THE STOP SIGNS.
4. THE CONTRACTOR SHALL PROVIDE AND INSTALL TWO TEMPORARY FLAGS WITH EACH NEW STOP SIGN AT NO ADDITIONAL COST. THE FLAGS SHALL BE 16 INCHES SQUARE OR LARGER, AND FLUORESCENT RED-ORANGE IN COLOR. THE FLAGS SHALL BE INSTALLED IMMEDIATELY WITH THE STOP SIGN INSTALLATION AND NEW TRAFFIC PATTERN.



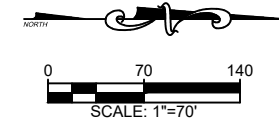
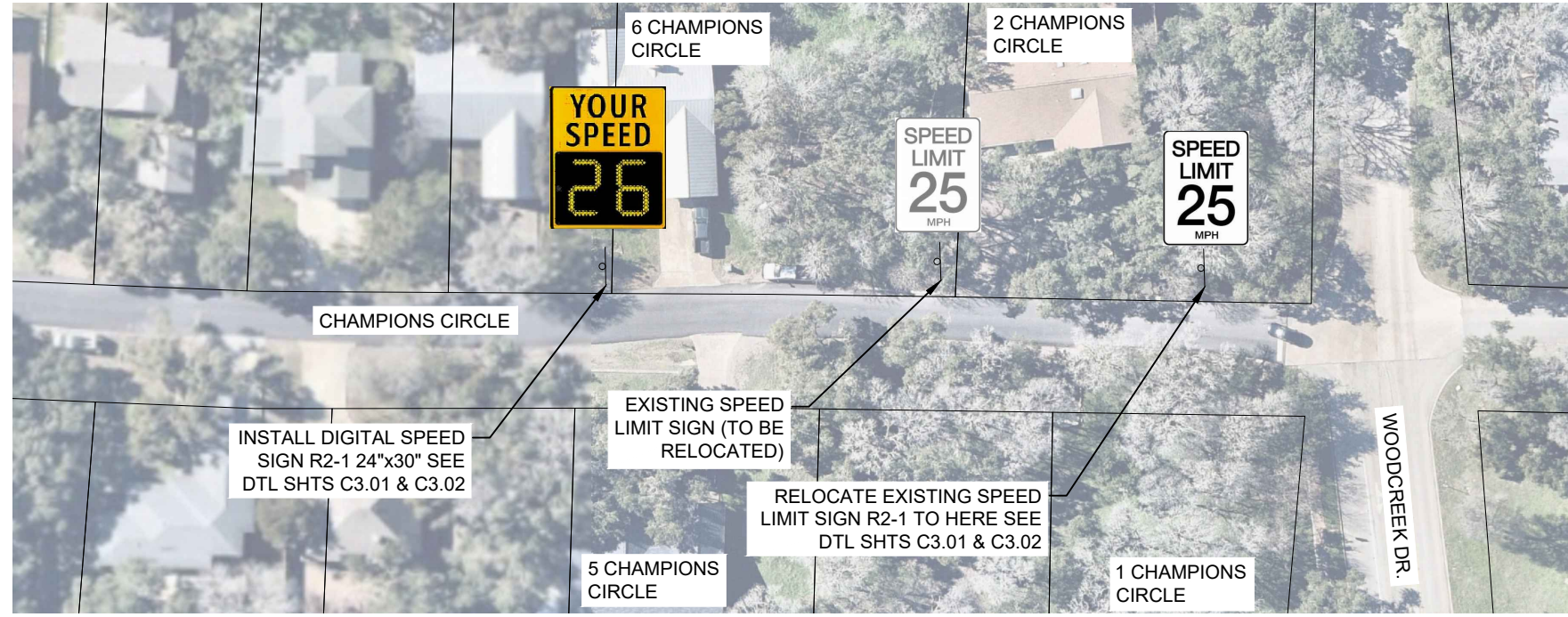
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File: Z:ENG - PRD\154 - City of Woodcreek\102 - TO 3 - 2024 Safety Enhancement Program\_CAD.dwg\154\_102-MEGF-SGN-STRNCP-PLAN-001.dwg

REVISIONS:

DELTA	DESCRIPTION



- NOTES:
1. THE CONTRACTOR SHALL ASSEMBLE AND INSTALL SOLAR POWERED DIGITAL SPEED SIGNS PROVIDED BY THE CITY OF WOODCREEK .
  2. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POSTS AND PROVIDE REQUIRED MOUNTING HARDWARE AS NECESSARY FOR THE SOLAR POWERED DIGITAL SPEED SIGNS.
  3. THE SIGN LOCATIONS ARE APPROXIMATE, CONTRACTOR SHALL PLACE SIGNS WHERE THEY WILL BE FULLY VISIBLE. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL TRIM ANY TREE LIMBS OR SHRUBS THAT WILL BLOCK THE VIEW OF THE INSTALLED SIGNS AT NO ADDITIONAL COST.



- NOTES:
1. THE CONTRACTOR SHALL ASSEMBLE AND INSTALL SOLAR POWERED DIGITAL SPEED SIGNS PROVIDED BY THE CITY OF WOODCREEK .
  2. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POSTS AND PROVIDE REQUIRED MOUNTING HARDWARE AS NECESSARY FOR THE SOLAR POWERED DIGITAL SPEED SIGNS.
  3. THE SIGN LOCATIONS ARE APPROXIMATE, CONTRACTOR SHALL PLACE SIGNS WHERE THEY WILL BE FULLY VISIBLE. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL TRIM ANY TREE LIMBS OR SHRUBS THAT WILL BLOCK THE VIEW OF THE INSTALLED SIGNS AT NO ADDITIONAL COST.

Item 3.

**Freeland+Turk**  
 ENGINEERING GROUP

18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-0322  
 SPRING BRANCH, TX 76070 TBP# FIRM F-2104

Melanie Norris  
 08/21/2024

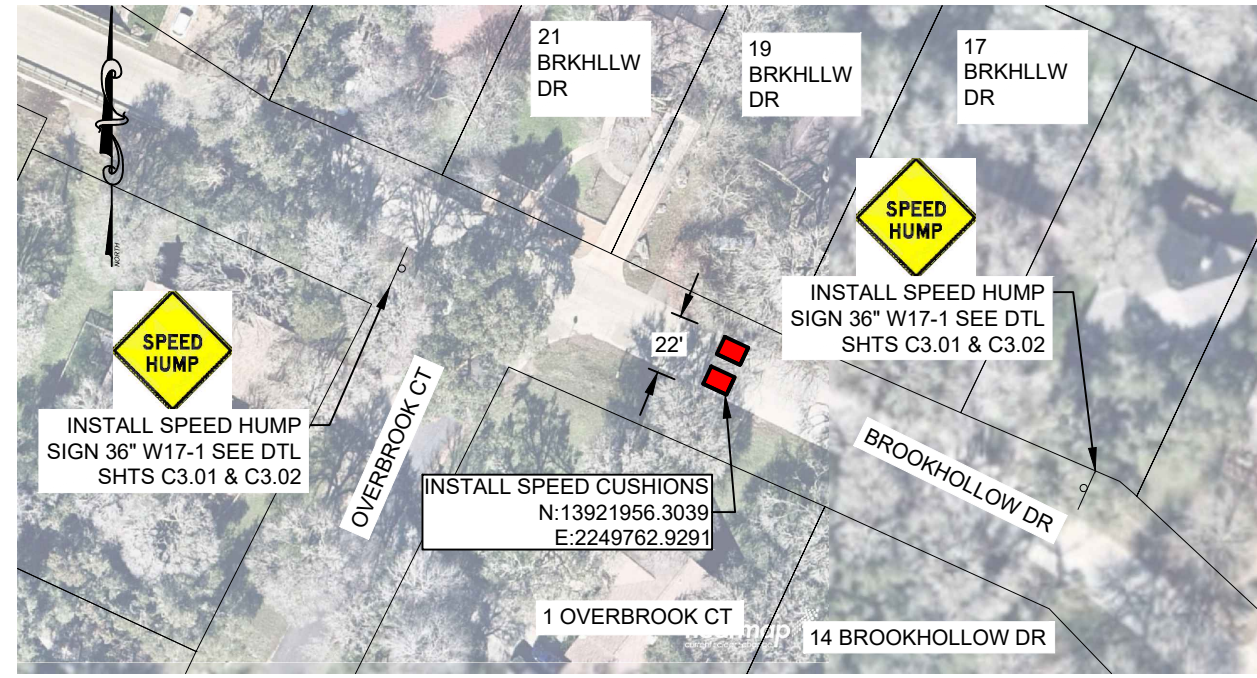
CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
 DIGITAL SPEED SIGN  
 LOCATIONS SHT 2

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

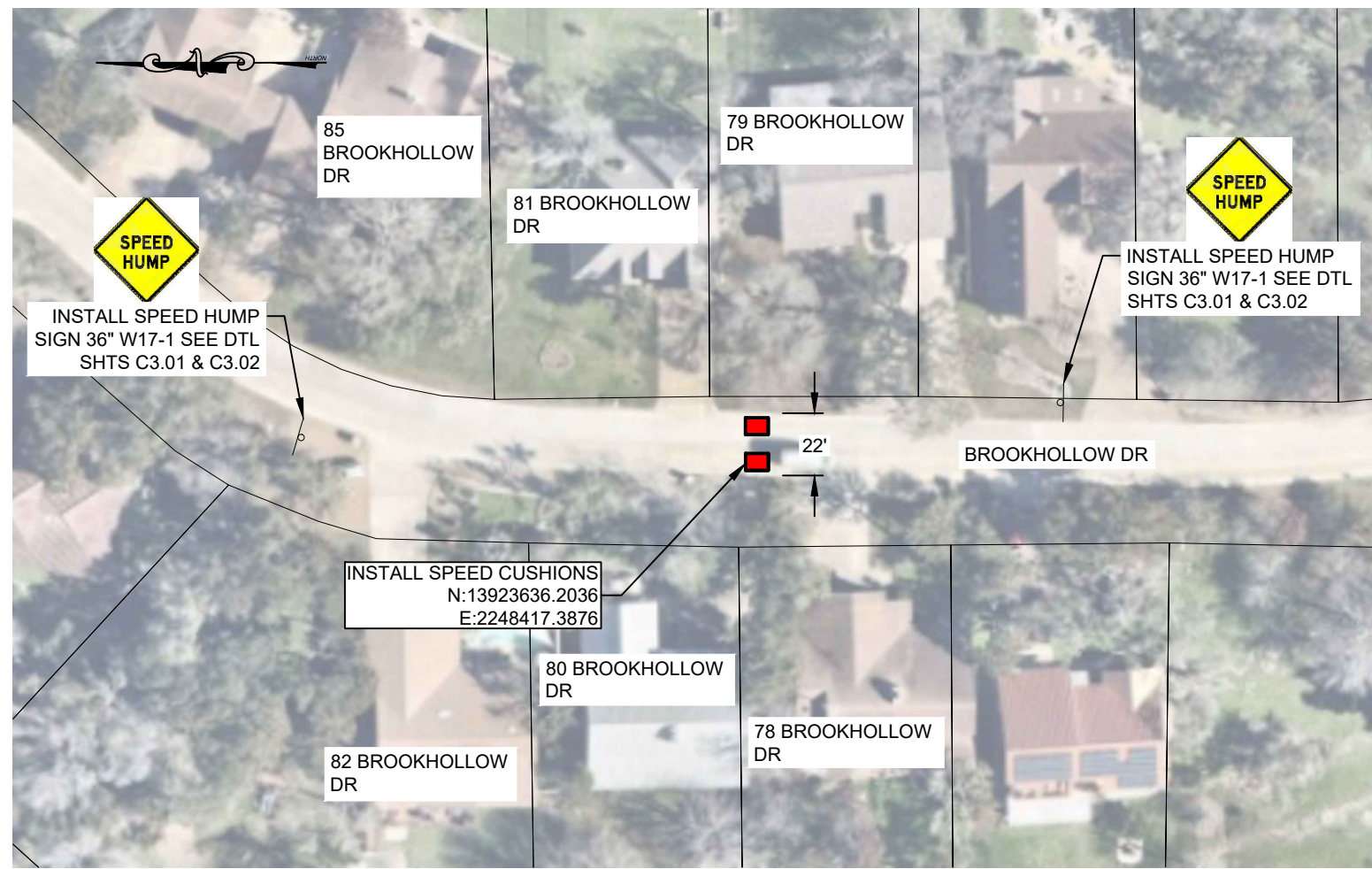
REVISIONS:	
DELTA	DESCRIPTION

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION



**19 BROOKHOLLOW DR**  
 SCALE: 1" = 70'



**81 BROOKHOLLOW DR**  
 SCALE: 1" = 60'

- NOTES:
- SEE SHTS C3.05 & C3.06 FOR SPEED CUSHION DETAILS. INSTALLATION SPACING IS DEPENDENT ON ROADWAY WIDTH, NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - SPEED CUSHIONS SHALL BE INSTALLED AT LEAST 7 FEET AWAY FROM ALL SURROUNDING DRIVEWAYS.
  - THE CONTRACTOR SHALL INSTALL SPEED CUSHIONS PER MANUFACTURER INSTALLATION RECOMMENDATIONS.
  - SPEED CUSHION MARKING PATTERN IS TO BE SC-070603-M.
  - THE SIGN LOCATIONS ARE APPROXIMATE, CONTRACTOR SHALL PLACE SIGNS WHERE THEY WILL BE FULLY VISIBLE AND AT A MINIMUM SPACING OF 100 FEET FROM THE SPEED CUSHIONS TO BE INSTALLED. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - CONTRACTOR SHALL TRIM ANY TREE LIMBS OR SHRUBS THAT WILL BLOCK THE VIEW OF THE INSTALLED SIGNS AT NO ADDITIONAL COST.

Date: Aug 21, 2024, 10:28am User ID: norri  
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18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-032  
 SPRING BRANCH, TX 78070  
 TBPE FIRM F-2104



CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
 SPEED CUSHION LOCATIONS  
 SHT 2

JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION



**27 WOODCREEK DR**  
 SCALE: 1" = 80'

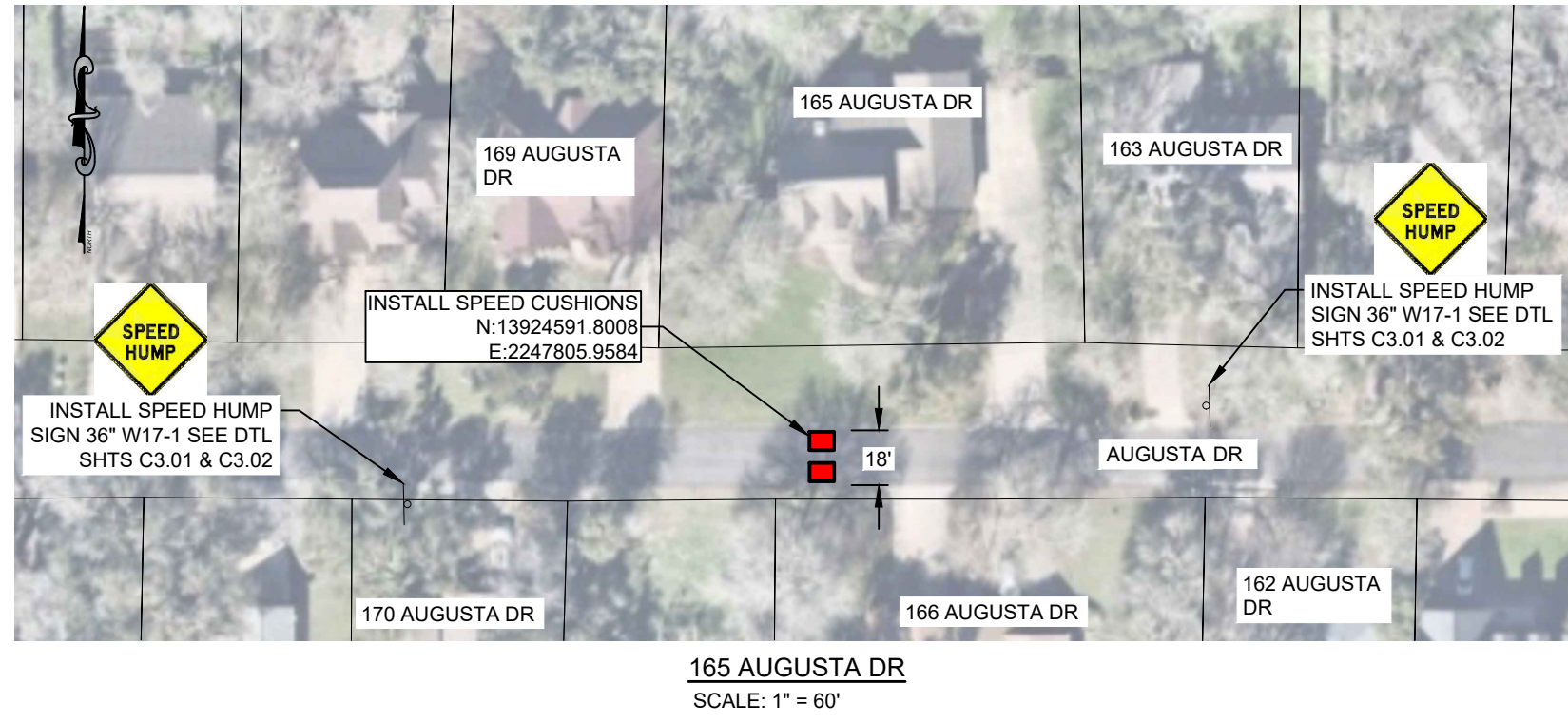


**65 WOODCREEK DR**  
 SCALE: 1" = 70'

- NOTES:
- SEE SHTS C3.05 & C3.06 FOR SPEED CUSHION DETAILS. INSTALLATION SPACING IS DEPENDENT ON ROADWAY WIDTH, NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - SPEED CUSHIONS SHALL BE INSTALLED AT LEAST 7 FEET AWAY FROM ALL SURROUNDING DRIVEWAYS.
  - THE CONTRACTOR SHALL INSTALL SPEED CUSHIONS PER MANUFACTURER INSTALLATION RECOMMENDATIONS.
  - SPEED CUSHION MARKING PATTERN IS TO BE SC-070603-M.
  - THE SIGN LOCATIONS ARE APPROXIMATE, CONTRACTOR SHALL PLACE SIGNS WHERE THEY WILL BE FULLY VISIBLE AND AT A MINIMUM SPACING OF 100 FEET FROM THE SPEED CUSHIONS TO BE INSTALLED. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
  - CONTRACTOR SHALL TRIM ANY TREE LIMBS OR SHRUBS THAT WILL BLOCK THE VIEW OF THE INSTALLED SIGNS AT NO ADDITIONAL COST.

Date: Aug 21, 2024, 10:28am User ID: norri  
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**165 AUGUSTA DR**  
 SCALE: 1" = 60'

- NOTES:
1. SEE SHTS C3.05 & C3.06 FOR SPEED CUSHION DETAILS. INSTALLATION SPACING IS DEPENDENT ON ROADWAY WIDTH, NOTIFY ENGINEER OF ANY DISCREPANCIES.
  2. SPEED CUSHIONS SHALL BE INSTALLED AT LEAST 7 FEET AWAY FROM ALL SURROUNDING DRIVEWAYS.
  3. THE CONTRACTOR SHALL INSTALL SPEED CUSHIONS PER MANUFACTURER INSTALLATION RECOMMENDATIONS.
  4. SPEED CUSHION MARKING PATTERN IS TO BE SC-070603-M.
  5. THE SIGN LOCATIONS ARE APPROXIMATE, CONTRACTOR SHALL PLACE SIGNS WHERE THEY WILL BE FULLY VISIBLE AND AT A MINIMUM SPACING OF 100 FEET FROM THE SPEED CUSHIONS TO BE INSTALLED. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
  6. CONTRACTOR SHALL TRIM ANY TREE LIMBS OR SHRUBS THAT WILL BLOCK THE VIEW OF THE INSTALLED SIGNS AT NO ADDITIONAL COST.

Item 3.



18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-0322  
 SPRING BRANCH, TX 78070  
 TBPE FIRM F-2104

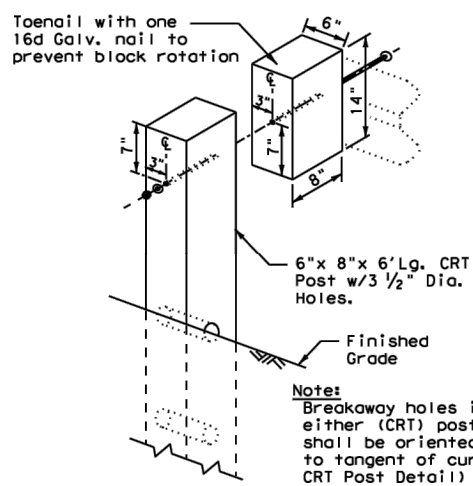


CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
**SPEED CUSHION LOCATIONS**  
 SHT 3

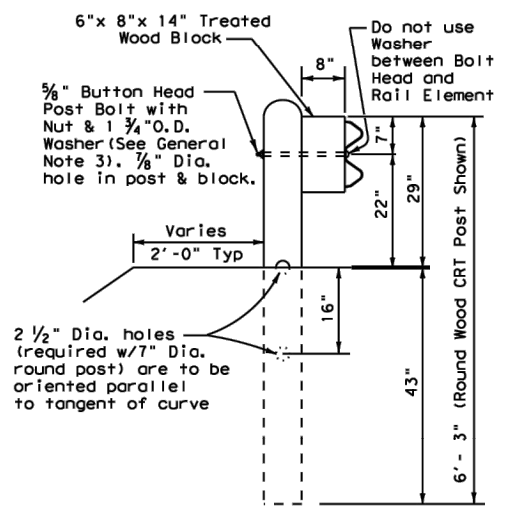
JOB:	154-102
DATE:	2024/08/21
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION

DISCLAIMER: THIS STANDARD IS GOVERNED BY THE "TEXAS ENGINEERING PRACTICE ACT". NO WARRANTY OF ANY KIND IS MADE BY TxDOT FOR ANY PURPOSE WHATSOEVER. THE USE OF THIS STANDARD FOR THE CONVERSION OF THIS STANDARD TO OTHER FORMATS OR FOR INCORRECT RESULTS OR DAMAGES RESULTING FROM ITS USE.

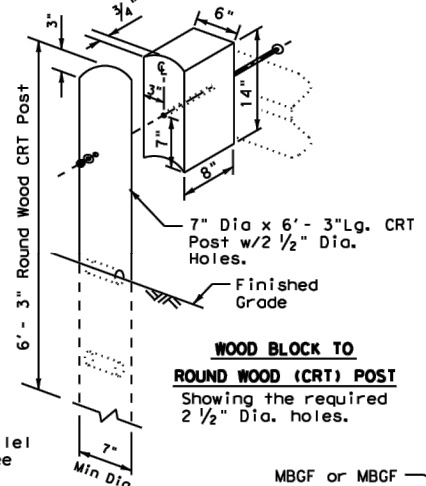


**WOOD BLOCK TO RECTANGULAR WOOD (CRT) POST**  
Showing the required 3 1/2" Dia. holes.

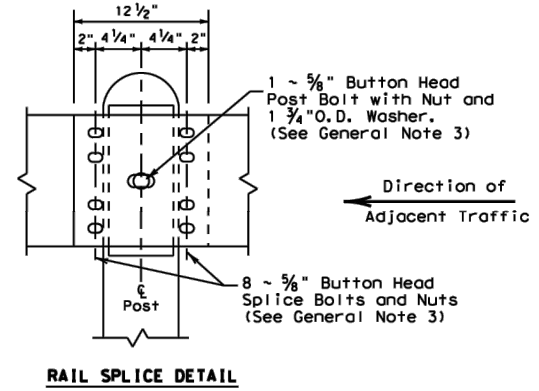


**(CRT) POST DETAIL CONTROLLED RELEASE TERMINAL POST**

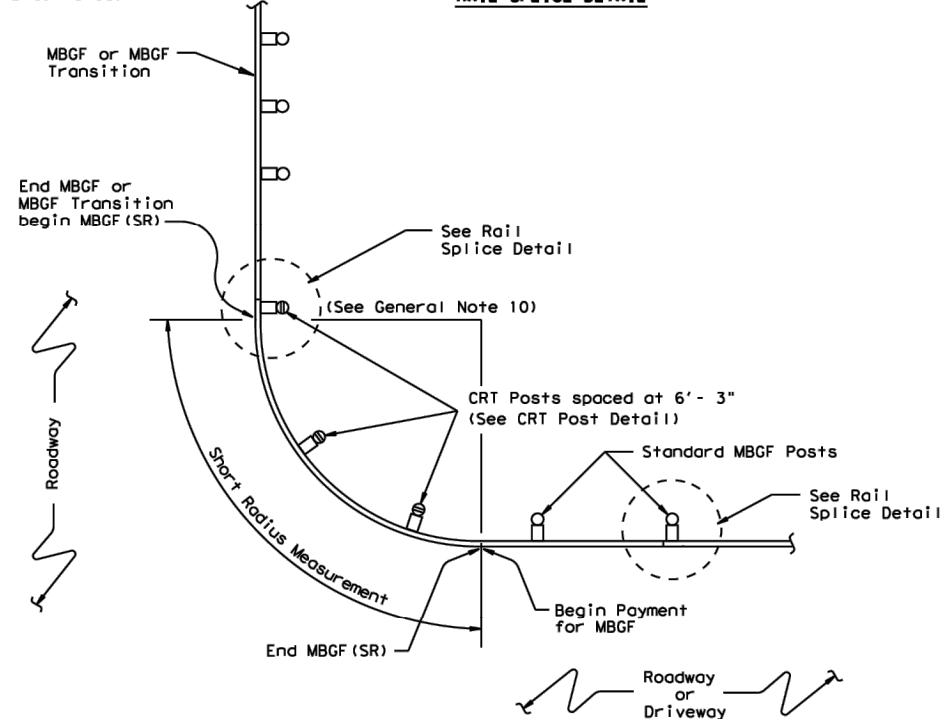
Two or more wood CRT post(s) are required at any radius installation located at intersecting roadways or driveways.



**WOOD BLOCK TO ROUND WOOD (CRT) POST**  
Showing the required 2 1/2" Dia. holes.



**RAIL SPLICE DETAIL**

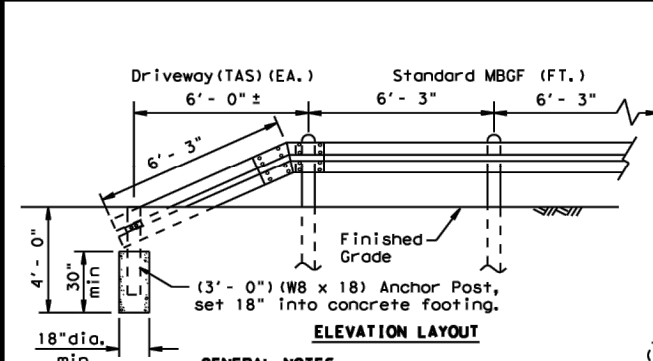


**PLAN VIEW SHOWING TYPICAL RADIUS**

The required radius is shown elsewhere on the plans.

**GENERAL NOTES**

- The type of (CRT) post (round wood post, or rectangular wood post) will be shown elsewhere in the plans. The exact position of MBGF shall be shown elsewhere in the plans or as directed by the Engineer.
- Steel posts are not permitted at CRT post positions.
- Rail element shall meet the requirements of Item 540, "Metal Beam Guard Fence" except as modified on the plans. The Contractor may furnish rail elements of 12 1/2 or 25 foot nominal lengths.
- Button head "post" bolts (ASTM A307) shall be of sufficient length to extend through the full thickness of the nut (ASTM A563) and Type A (1 3/4" O.D.) washer and not more than 1" beyond it. Button head "splice" bolts (ASTM A307) are 5/8" x 1 1/4" (or 2" long at triple rail splices) with a 5/8" double recessed nut (ASTM A563).
- Fittings (bolts, nuts, and washers) shall be galvanized in accordance with Item 445, "Galvanizing." Fittings shall be subsidiary to the bid item.
- Crown shall be widened to accommodate the Metal Beam Guard Fence.
- The lateral approach to the guard fence, shall have a slope rate of not more than 1V:10H.
- Unless otherwise shown in the plans, guard fence placed in the vicinity of curbs shall be positioned so that the face of curb is located directly below or behind the face of the block. Rail placed over curbs shall be installed so that the post bolt is located approximately 21 inches above the gutter pan or roadway surface.
- If solid rock is encountered within 0 to 18" of the finished grade, drill a 22" dia. hole, 24" into the rock, or drill two 12" dia. front to back overlapping holes, 24" into the rock or to the standard embedment depth, whichever is less. Any excess post length, after meeting these depths, may be field cut to ensure proper guardrail mounting height. Backfill with a cohesionless material.
- Guardrail posts shall not be set in concrete, of any depth.
- Special rail fabrication will be required at installations having a curvature of less than 150 ft. radius. The required radius shall be shown on the plans.
- The terminal anchor section (TAS) post shall be set in Class A concrete (unless otherwise shown in the plans) in accordance with Item 421, "Hydraulic Cement Concrete." Concrete shall be subsidiary to the bid item requiring construction of the terminal anchor section (TAS). Terminal anchor post to be galvanized in accordance with Item 445, "Galvanizing."
- Unless otherwise shown in the plans, a composite material post and/or block that meets the requirements of DMS-7210, "Composite Material Posts and Blocks for Metal Beam Guard Fence" may be substituted for posts and/or blocks of similar dimensions. The Construction Division, TxDOT maintains a Material Producer List (MPL) for producers of materials conforming to DMS-7210. Only producers on the MPL can furnish composite material posts and/or blocks.

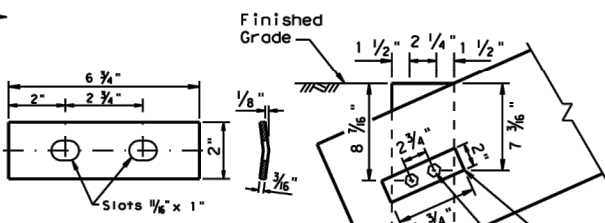


**GENERAL NOTES**

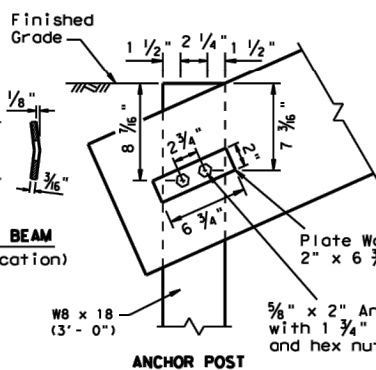
- The "Driveway" Terminal Anchor Section is ONLY to be used within driveway locations, where the ROW is limited and a standard 25 ft. (TAS) Terminal Anchor Section, is too long.
- Terminal anchor post shall be set in Class A concrete.
- All steel shall be galvanized after fabrication in accordance with Item 445, "Galvanizing."

**"DRIVEWAY" TERMINAL ANCHOR SECTION**

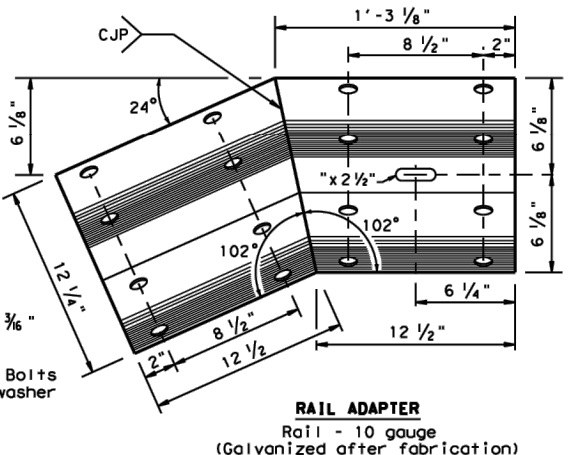
Only for use within driveway locations, where a standard (TAS) Terminal Anchor Section can not be installed.



**PLATE WASHER FOR METAL BEAM**  
(Galvanized after fabrication)



**ANCHOR POST**



**RAIL ADAPTER**

Rail - 10 gauge  
(Galvanized after fabrication)

**ONLY FOR USE IN MAINTENANCE REPAIRS OR HIGHLY CONSTRAINED SITE CONDITIONS.**

Texas Department of Transportation  
Design Division Standard

**METAL BEAM GUARD FENCE (SHORT RADIUS) MBGF (SR) - 19**

FILE: mbgfsr19.dgn	DW: TxDOT	CK: KM	DN: BD	CK: VP
© TxDOT NOVEMBER 2019	CONT	SECT	JOB	HIGHWAY
REVISIONS		DIST	COUNTY	SHEET NO.

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**SIGN SUPPORT DESCRIPTIVE CODES**  
(Descriptive Codes correspond to project estimate and quantities sheets)

SM RD SGN ASSM TY XXXXX (X) XX (X-XXXX)

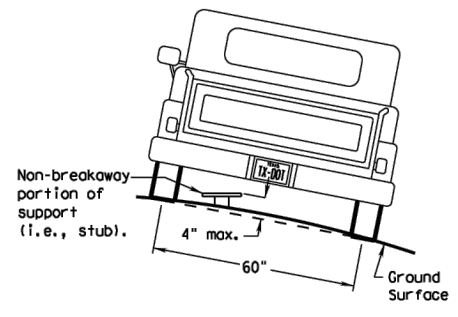
**Post Type**  
FRP = Fiberglass Reinforced Plastic Pipe (see SMD(FRP))  
TWT = Thin-Walled Tubing (see SMD(TWT))  
10BWG = 10 BWG Tubing (see SMD(SLIP-1) to (SLIP-3))  
S80 = Schedule 80 Pipe (see SMD(SLIP-1) to (SLIP-3))

**Number of Posts (1 or 2)**

**Anchor Type**  
UA = Universal Anchor - Concreted (see SMD(FRP) and (TWT))  
UB = Universal Anchor - Bolted down (see SMD(FRP) and (TWT))  
WS = Wedge Anchor Steel - (see SMD(TWT))  
WP = Wedge Anchor Plastic (see SMD(TWT))  
SA = Slipbase - Concreted (see SMD(SLIP-1) to (SLIP-3))  
SB = Slipbase - Bolted Down (see SMD(SLIP-1) to (SLIP-3))

**Sign Mounting Designation**  
P = Prefab. "Plain" (see SMD(SLIP-1) to (SLIP-3), (TWT), (FRP))  
T = Prefab. "T" (see SMD(SLIP-1) to (SLIP-3), (TWT))  
U = Prefab. "U" (see SMD(SLIP-1) to (SLIP-3))  
IF REQUIRED  
1EXT or 2EXT = Number of Extensions (see SMD(SLIP-1) to (SLIP-3), (TWT))  
BM = Extruded Wind Beam (see SMD(SLIP-1) to (SLIP-3))  
WC = 1.12 #/ft Wing Channel (see SMD(SLIP-1) to (SLIP-3))  
EXAL = Extruded Aluminum Sign Panels (see SMD(SLIP-3))

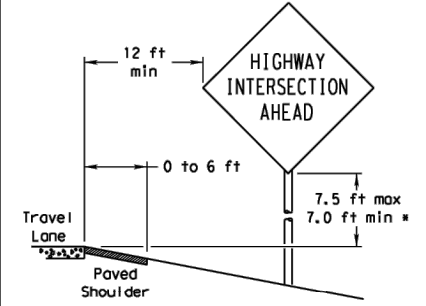
**REQUIRED CLEARANCE FOR BREAKAWAY SUPPORT**



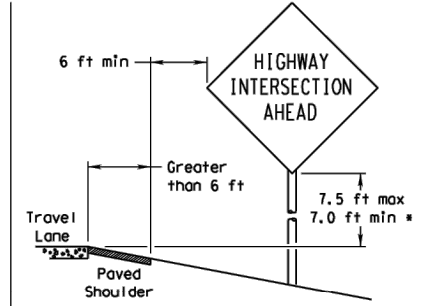
To avoid vehicle undercarriage snagging, any substantial remains of a breakaway support, when it is broken away, should not project more than 4 inches above a 60-inch chord (i.e., typical space between wheel paths).

**SIGN LOCATION**

**PAVED SHOULDERS**

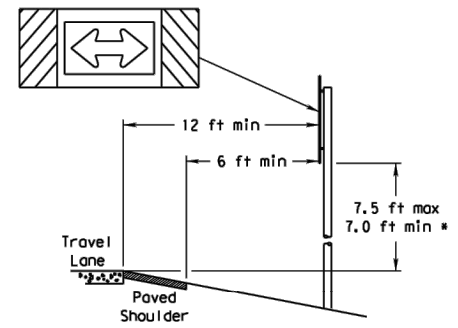


**LESS THAN 6 FT. WIDE**  
When the shoulder is 6 ft. or less in width, the sign must be placed at least 12 ft. from the edge of the travel lane.



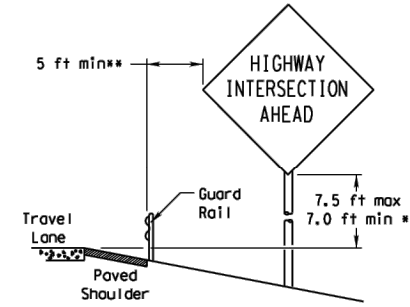
**GREATER THAN 6 FT. WIDE**  
When the shoulder is greater than 6 ft in width, the sign must be placed at least 6 ft. from the edge of the shoulder.

**T-INTERSECTION**

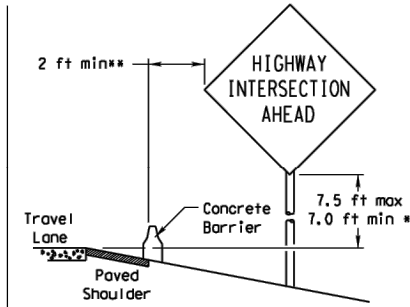


When this sign is needed at the end of a two-lane, two way roadway, the right edge of the sign should be in line with the centerline of the roadway. Place as close to ROW as practical.

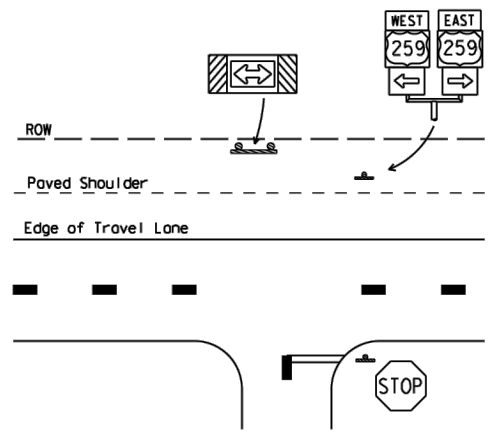
**BEHIND BARRIER**



**BEHIND GUARDRAIL**  
\*\*Sign clearance based on distance required for proper guard rail or concrete barrier performance.

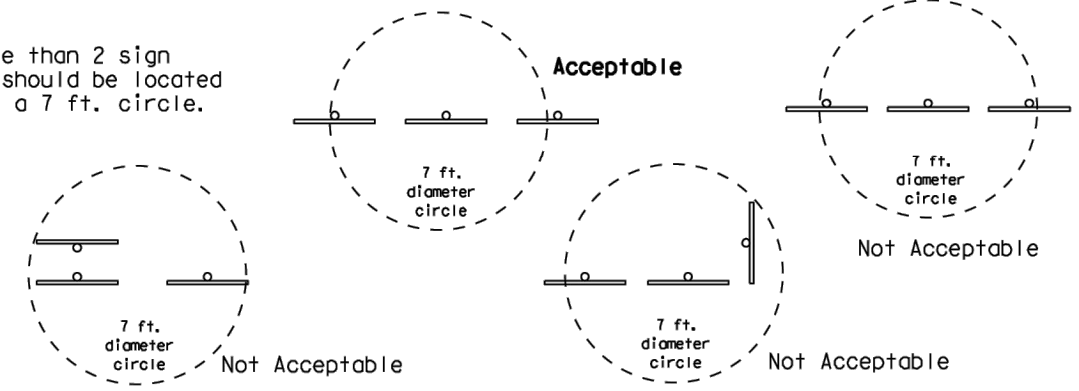


**BEHIND CONCRETE BARRIER**

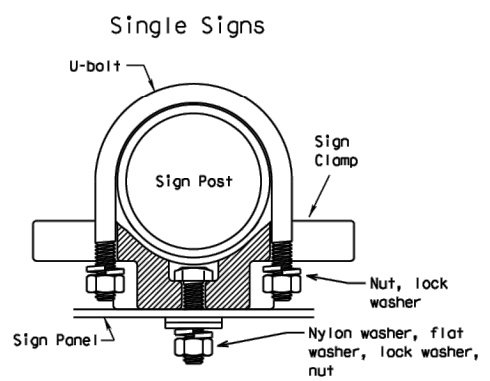


\* Signs shall be mounted using the following condition that results in the greatest sign elevation:  
(1) a minimum of 7 to a maximum of 7.5 feet above the edge of the travel lane or  
(2) a minimum of 7 to a maximum of 7.5 feet above the grade at the base of the support when sign is installed on the backslope.  
The maximum values may be increased when directed by the Engineer.  
See the Traffic Operations Division website for detailed drawings of sign clamps, Triangular Slipbase System components and Wedge Anchor System components.  
The website address is:  
<http://www.txdot.gov/publications/traffic.htm>

No more than 2 sign posts should be located within a 7 ft. circle.



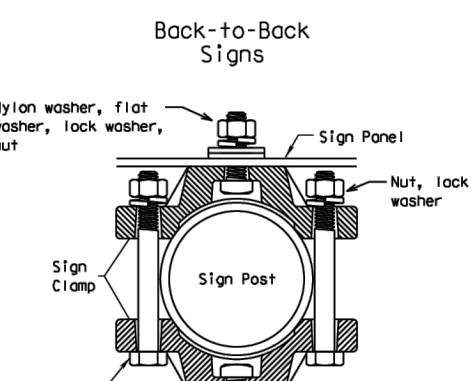
**TYPICAL SIGN ATTACHMENT DETAIL**



Bolts used to mount sign panels to the clamp are 5/16-18 UNC galvanized square head with nut, nylon washer, flat washer and lock washer. The bolt length is 1 inch for aluminum.

When two sign clamps are used to mount signs back-to-back, use a 5/16-18 UNC galvanized hex head per ASTM A307 with nut and helical-spring lock washer. The approximate bolt lengths for various post sizes and sign clamp types are given in the table at right. The bolt length may need to be adjusted depending upon field conditions.

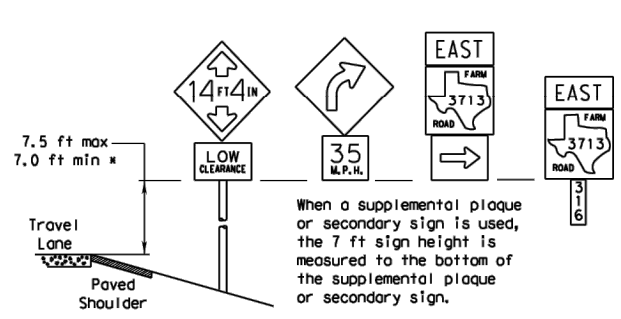
Sign clamps may be either the specific size clamp or the universal clamp.



When two sign clamps are used to mount signs back-to-back, use a 5/16-18 UNC galvanized hex head per ASTM A307 with nut and helical-spring lock washer. The approximate bolt lengths for various post sizes and sign clamp types are given in the table at right. The bolt length may need to be adjusted depending upon field conditions.

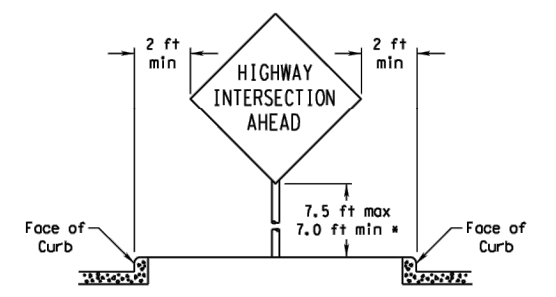
Pipe Diameter	Approximate Bolt Length	
	Specific Clamp	Universal Clamp
2" nominal	3"	3 or 3 1/2"
2 1/2" nominal	3 or 3 1/2"	3 1/2 or 4"
3" nominal	3 1/2 or 4"	4 1/2"

**SIGNS WITH PLAQUES**

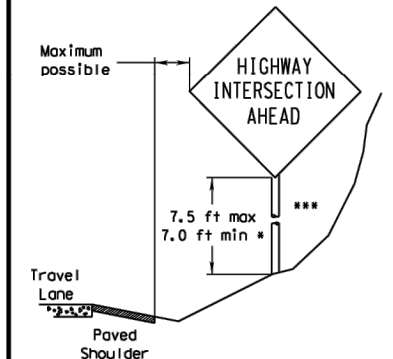


When a supplemental plaque or secondary sign is used, the 7 ft sign height is measured to the bottom of the supplemental plaque or secondary sign.

**CURB & GUTTER OR RAISED ISLAND**



**RESTRICTED RIGHT-OF-WAY (When 6 ft min. is not possible.)**



Right-of-way restrictions may be created by rocks, water, vegetation, forest, buildings, a narrow island, or other factors.  
In situations where a lateral restriction prevents the minimum horizontal clearance from the edge of the travel lane, signs should be placed as far from the travel lane as practical.  
\*\*\* Post may be shorter if protected by guardrail or if Engineer determines the post could not be hit due to extreme slope.

**Texas Department of Transportation**  
Traffic Operations Division

**SIGN MOUNTING DETAILS**  
**SMALL ROADSIDE SIGNS**  
**GENERAL NOTES & DETAILS**  
**SMD (GEN) -08**

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9-08 REVISIONS

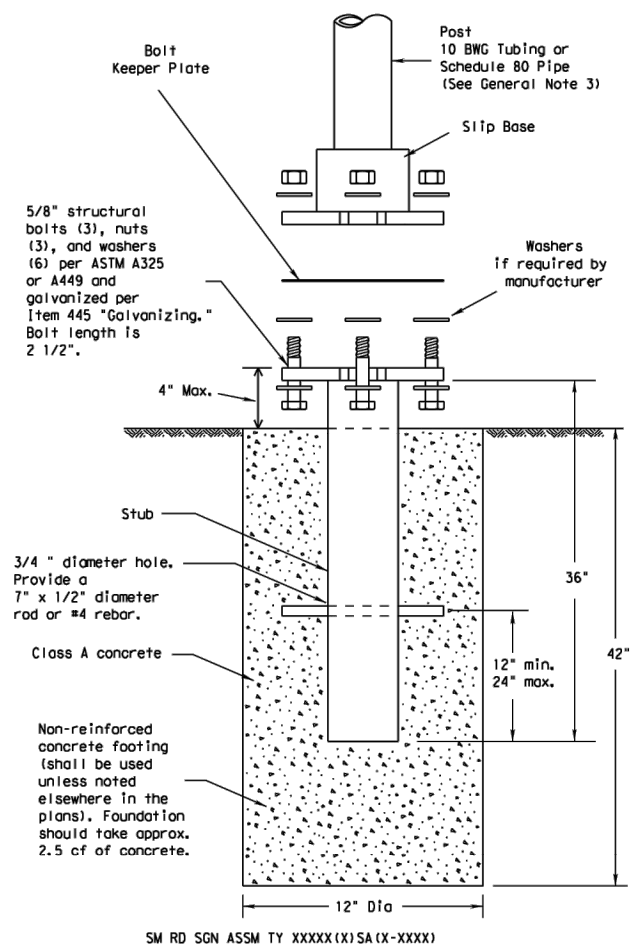
REV	DATE	BY	CHKD	APP	DESCRIPTION
1	07/2002				INITIAL RELEASE
2	08/2002				REVISIONS

CONTRACT NO. \_\_\_\_\_ DISTRICT \_\_\_\_\_ COUNTY \_\_\_\_\_ HIGHWAY \_\_\_\_\_ SHEET NO. \_\_\_\_\_

REVISIONS:

DELTA	DESCRIPTION

TRIANGULAR SLIPBASE INSTALLATION GENERAL REQUIREMENTS



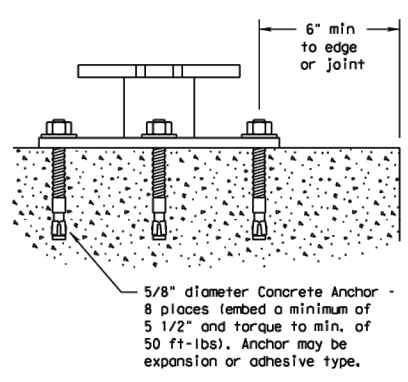
**NOTE**

There are various devices approved for the Triangular Slipbase System. Please reference the Material Producer List for approved slip base systems. [http://www.txdot.gov/business/producer\\_list.htm](http://www.txdot.gov/business/producer_list.htm) The devices shall be installed per manufacturers' recommendations. Installation procedures shall be provided to the Engineer by Contractor.

- GENERAL NOTES:**
- Slip base shall be permanently marked to indicate manufacturer. Method, design, and location of marking are subject to approval of the TxDOT Traffic Standards Engineer.
  - Material used as post with this system shall conform to the following specifications:
    - 10 BWG Tubing (2.875" outside diameter)
      - 0.134" nominal wall thickness
      - Seamless or electric-resistance welded steel tubing or pipe
      - Steel shall be HSLAS Gr 55 per ASTM A1011 or ASTM A1008
      - Other steels may be used if they meet the following:
        - 55,000 PSI minimum yield strength
        - 70,000 PSI minimum tensile strength
        - 20% minimum elongation in 2"
      - Wall thickness (uncoated) shall be within the range of 0.122" to 0.138"
      - Outside diameter (uncoated) shall be within the range of 2.867" to 2.883"
      - Galvanization per ASTM A123 or ASTM A653 G210. For pre-coated steel tubing (ASTM A653), recoat tube outside diameter weld seam by metallizing with zinc wire per ASTM B833.
    - Schedule 80 Pipe (2.875" outside diameter)
      - 0.276" nominal wall thickness
      - Steel tubing per ASTM A500 Gr C
      - Other seamless or electric-resistance welded steel tubing or pipe with equivalent outside diameter and wall thickness may be used if they meet the following:
        - 46,000 PSI minimum yield strength
        - 62,000 PSI minimum tensile strength
        - 21% minimum elongation in 2"
      - Wall thickness (uncoated) shall be within the range of 0.248" to 0.304"
      - Outside diameter (uncoated) shall be within the range of 2.855" to 2.895"
      - Galvanization per ASTM A123
  - See the Traffic Operations Division website for detailed drawings of sign clamps and Texas Universal Triangular Slipbase System components. The website address is: <http://www.txdot.gov/publications/traffic.htm>
  - Sign supports shall not be spliced except where shown. Sign support posts shall not be spliced.

- ASSEMBLY PROCEDURE**
- Foundation**
- Prepare 12-inch diameter by 42-inch deep hole. If solid rock is encountered, the depth of the foundation may be reduced such that it is embedded a minimum of 18 inches into the solid rock.
  - The Engineer may permit batches of concrete less than 2 cubic yards to be mixed with a portable, motor-driven concrete mixer. For small placements less than 0.5 cubic yards, hand mixing in a suitable container may be allowed by Engineer. Concrete shall be Class A.
  - Push the pipe end of the slip base stub into the center of the concrete. Rotate the stub back and forth while pushing it down into the concrete to assure good contact between the concrete and stub. Continue to work the stub into the concrete until it is between 2 to 4 inches above the ground.
  - Plumb the stub. Allow a minimum of 4 days to set, unless otherwise directed by the Engineer.
  - The triangular slipbase system is multidirectional and is designed to release when struck from any direction.
- Support**
- Cut support so that the bottom of the sign will be 7 to 7.5 feet above the edge of the travelway (i.e., edge of the closest lane) when slip plate is below the edge of pavement or 7 to 7.5 feet above slip plate when the slip plate is above the edge of the travelway. The cut shall be plumb and straight.
  - Attach sign to support using connections shown. When multiple signs are installed on the same support, ensure the minimum clearance between each sign is maintained. See SMD(SLIP-2) for clearances based on sign types.

CONCRETE ANCHOR



Concrete anchor consists of 5/8" diameter stud bolt with UNC series bolt threads on the upper end, heavy hex nut per ASTM A563, and hardened washer per ASTM F436. The stud bolt shall have a minimum yield and ultimate tensile strength of 50 and 75 KSI, respectively. Nuts, bolts and washers shall be galvanized per Item 445, "Galvanizing." Adhesive type anchors shall have stud bolts installed with Type III epoxy per DMS-6100, "Epoxyes and Adhesives." Adhesive anchors may be loaded after adequate epoxy cure time per the manufacturer's recommendations. Top of bolt shall extend at least flush with top of the nut when installed. The anchor, when installed in 4000 psi normal-weight concrete with a 5 1/2" minimum embedment, shall have a minimum allowable tension and shear of 3900 and 3100 psi, respectively.

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DATE: FILE:

**Texas Department of Transportation**  
Traffic Operations Division

**SIGN MOUNTING DETAILS**  
**SMALL ROADSIDE SIGNS**  
**TRIANGULAR SLIPBASE SYSTEM**  
**SMD (SLIP-1) -08**

© TxDOT July 2002	DN: TxDOT	CK: TxDOT	DN: TxDOT	CK: TxDOT
9-08	CONT	SECT	JOB	HIGHWAY
	DIST		COUNTY	SHEET NO.



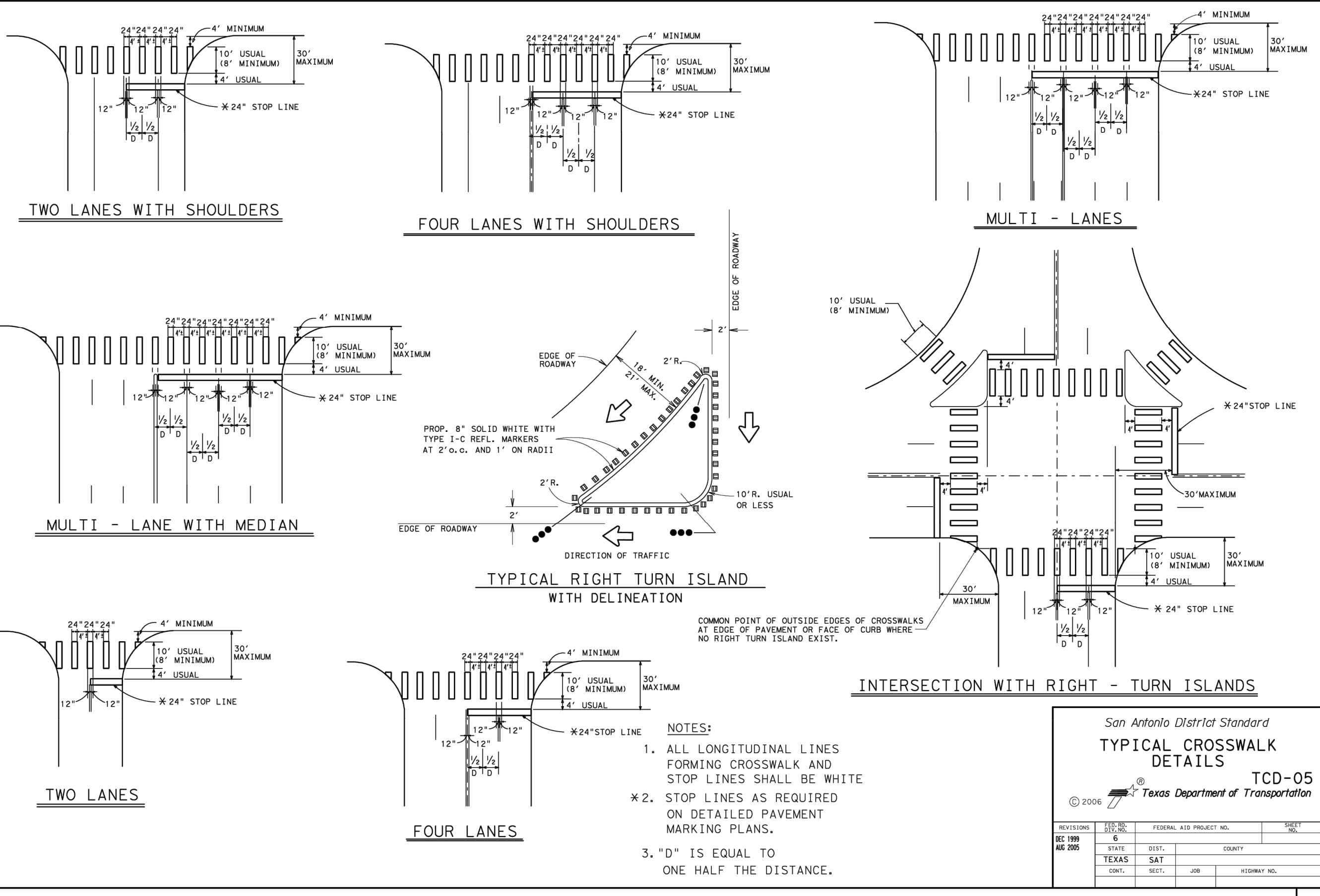
18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-032  
 SPRING BRANCH, TX 76070  
 TBPE FIRM F-2104



CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
 CROSSWALK DETAIL

JOB: 154-102  
 DATE: 2024/08/21  
 DRAWN: TN PM: MN  
 DESIGN: DM:  
 PEER: OTHER:

REVISIONS:	
DELTA	DESCRIPTION



LEVELS DISPLAYED ACC:  
 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

- NOTES:
- ALL LONGITUDINAL LINES FORMING CROSSWALK AND STOP LINES SHALL BE WHITE
  - STOP LINES AS REQUIRED ON DETAILED PAVEMENT MARKING PLANS.
  - "D" IS EQUAL TO ONE HALF THE DISTANCE.

San Antonio District Standard  
**TYPICAL CROSSWALK DETAILS**  
 TCD-05  
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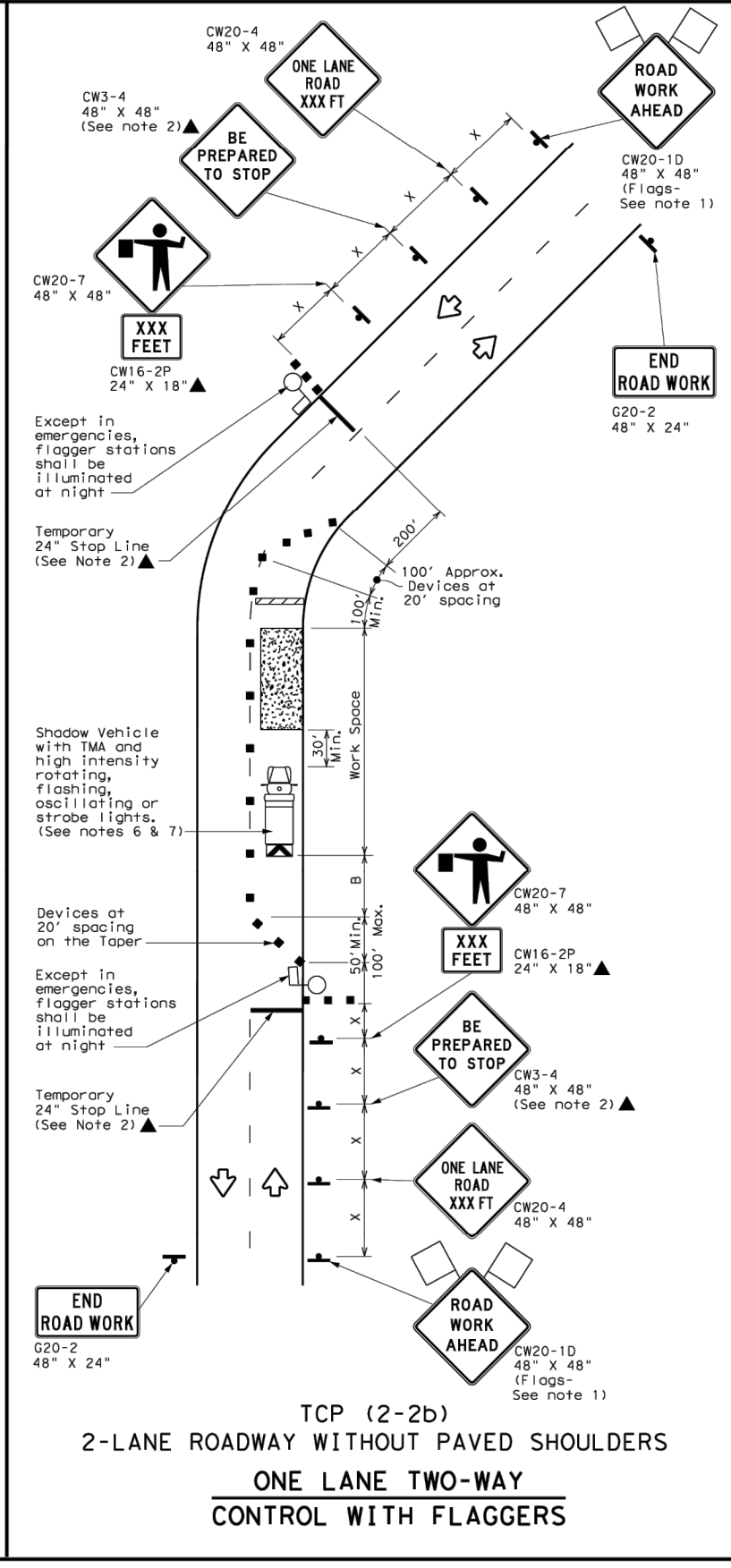
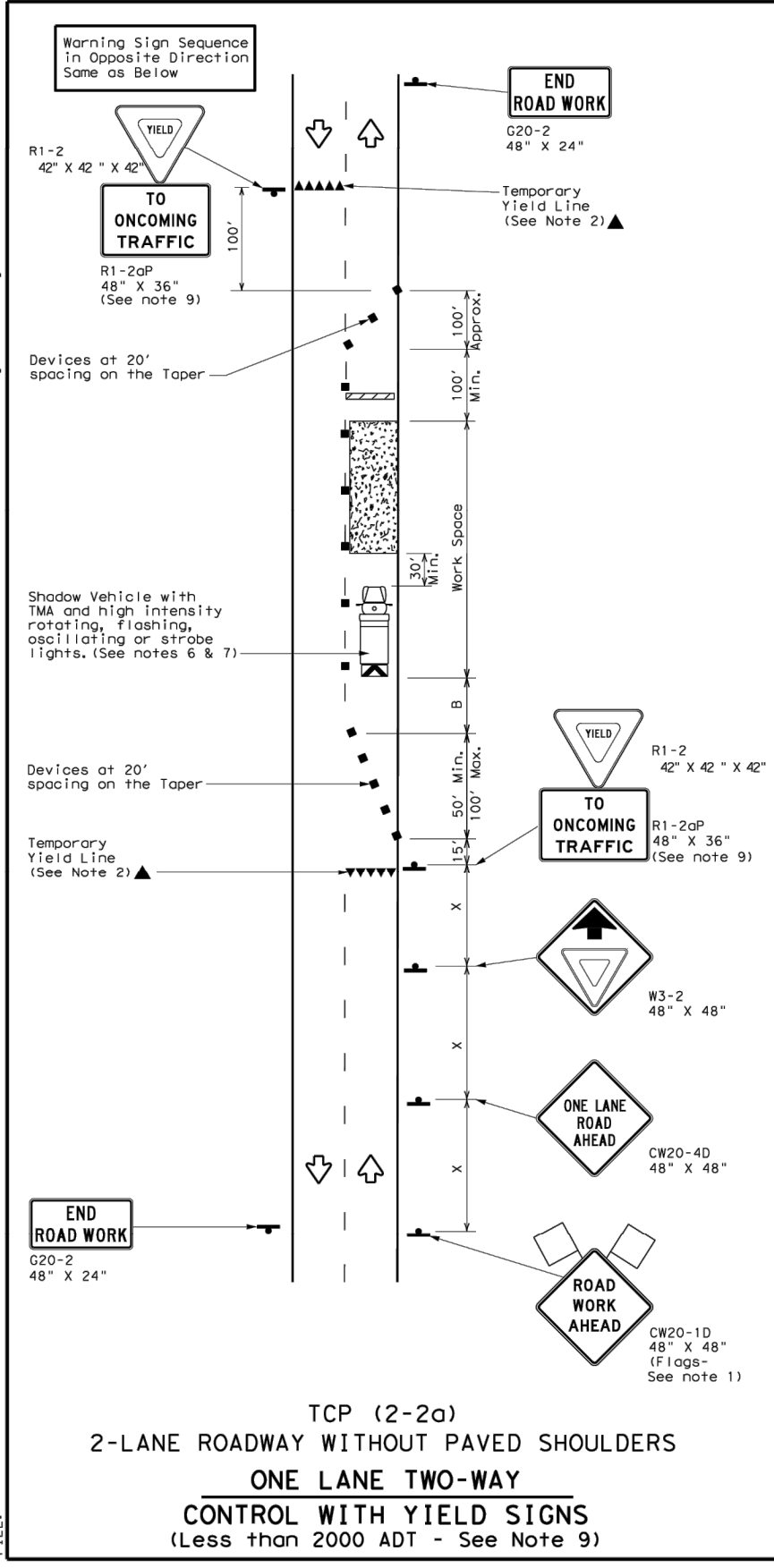
REVISIONS	FED. RD. DIV. NO.	FEDERAL AID PROJECT NO.	SHEET NO.
DEC 1999	6		
AUG 2005			
	STATE	DIST.	COUNTY
	TEXAS	SAT	
	CONT.	SECT.	JOB HIGHWAY NO.



JOB: 154-102  
DATE: 2024/08/21  
DRAWN: TN PM: MN  
DESIGN: DM:  
PEER: OTHER:  
REVISIONS:  
DELTA DESCRIPTION

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DATE: FILE:



**LEGEND**

	Type 3 Barricade		Channelizing Devices
	Heavy Work Vehicle		Truck Mounted Attenuator (TMA)
	Trailer Mounted Flashing Arrow Board		Portable Changeable Message Sign (PCMS)
	Sign		Traffic Flow
	Flag		Flagger

Posted Speed * X	Formula L = WS <sup>2</sup> / 60	Minimum Desirable Taper Lengths X X			Suggested Maximum Spacing of Channelizing Devices		Minimum Sign Spacing "x" Distance	Suggested Longitudinal Buffer Space "B"	Stopping Sight Distance
		10' Offset	11' Offset	12' Offset	On a Taper	On a Tangent			
30	L = WS <sup>2</sup> / 60	150'	165'	180'	30'	60'	120'	90'	200'
35		205'	225'	245'	35'	70'	160'	120'	250'
40		265'	295'	320'	40'	80'	240'	155'	305'
45	L = WS	450'	495'	540'	45'	90'	320'	195'	360'
50		500'	550'	600'	50'	100'	400'	240'	425'
55		550'	605'	660'	55'	110'	500'	295'	495'
60		600'	660'	720'	60'	120'	600'	350'	570'
65		650'	715'	780'	65'	130'	700'	410'	645'
70		700'	770'	840'	70'	140'	800'	475'	730'
75		750'	825'	900'	75'	150'	900'	540'	820'

\* Conventional Roads Only  
\*\* Taper lengths have been rounded off.  
L=Length of Taper (FT) W=Width of Offset (FT) S=Posted Speed (MPH)

**TYPICAL USAGE**

	MOBILE	SHORT DURATION	SHORT TERM STATIONARY	INTERMEDIATE TERM STATIONARY	LONG TERM STATIONARY
		✓	✓	✓	

- GENERAL NOTES**
- Flags attached to signs where shown, are REQUIRED.
  - All traffic control devices illustrated are REQUIRED, except those denoted with the triangle symbol may be omitted when stated elsewhere in the plans, or for routine maintenance work, when approved by the Engineer.
  - The CW3-4 "BE PREPARED TO STOP" sign may be installed after the CW20-4 "ONE LANE ROAD XXX FT" sign, but proper sign spacing shall be maintained.
  - Flaggers should use two-way radios or other methods of communication to control traffic.
  - Length of work space should be based on the ability of flaggers to communicate.
  - A Shadow Vehicle with a TMA should be used anytime it can be positioned 30 to 100 feet in advance of the area of crew exposure without adversely affecting the performance or quality of the work. If workers are no longer present but road or work conditions require the traffic control to remain in place, Type 3 Barricades or other channelizing devices may be substituted for the Shadow Vehicle and TMA.
  - Additional Shadow Vehicles with TMAs may be positioned off the paved surface, next to those shown in order to protect a wider work space.
- TCP (2-2a)**
- The R1-2 "YIELD" sign traffic control may be used on projects with approaches that have adequate sight distance. For projects in urban areas, work space should be no longer than one half city block. In rural areas, roadways with less than 2000 ADT, work space should be no longer than 400 feet.
  - The R1-2aP "YIELD TO ONCOMING TRAFFIC" sign shall be placed on a support at a 7 foot minimum mounting height.
- TCP (2-2b)**
- Channelizing devices on the center line may be omitted when a pilot car is leading traffic and approved by the Engineer.
  - If the work space is located near a horizontal or vertical curve, the buffer distances should be increased in order to maintain stopping sight distance to the flagger and a queue of stopped vehicles. (See table above).
  - Flaggers should use 24" STOP/SLOW paddles to control traffic. Flags should be limited to emergency situations.

Texas Department of Transportation  
Traffic Operations Division Standard

**TRAFFIC CONTROL PLAN**  
**ONE-LANE TWO-WAY**  
**TRAFFIC CONTROL**

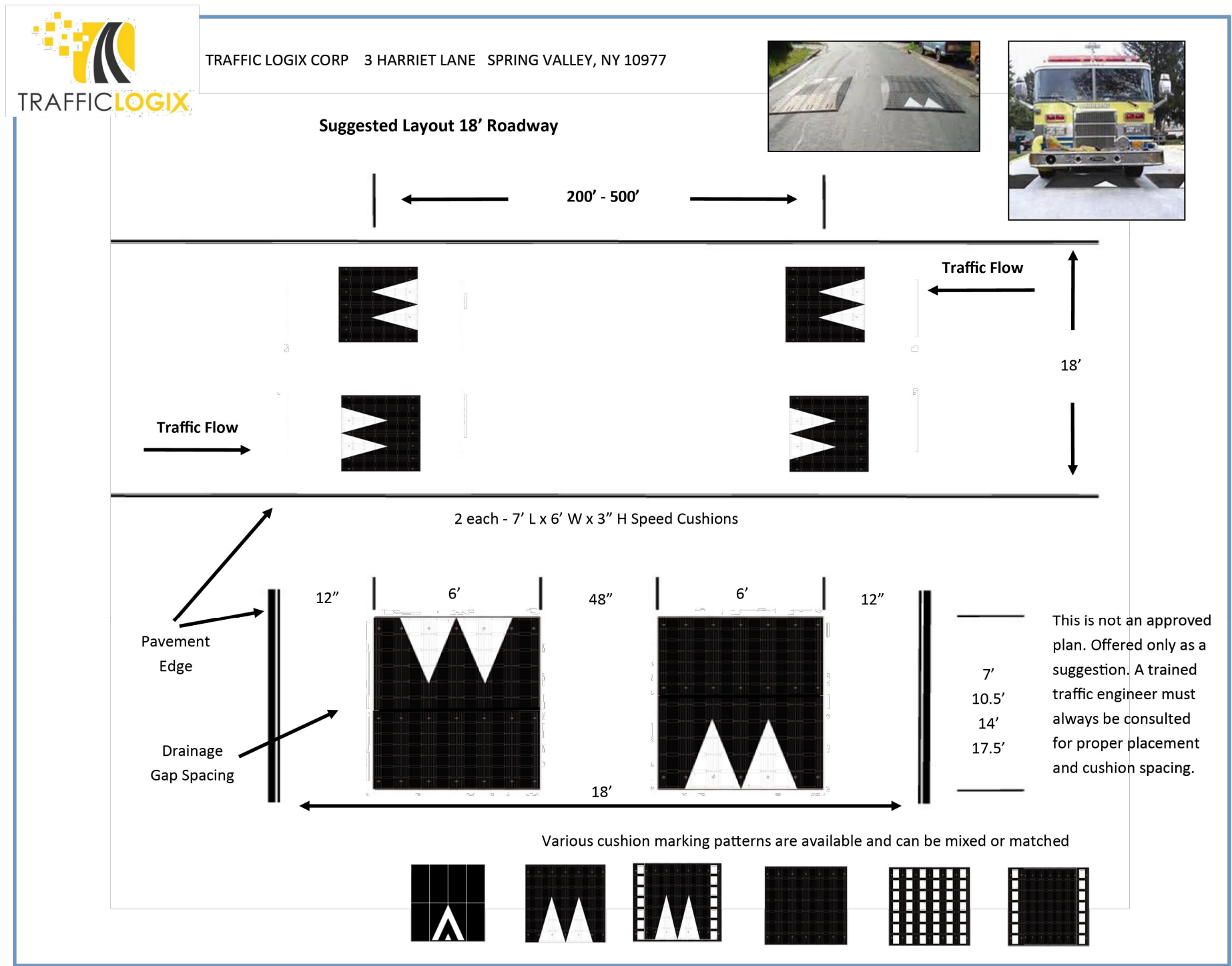
**TCP (2-2) - 18**

FILE: tcp2-2-18.dgn	DN: [ ]	CK: [ ]	DW: [ ]	CK: [ ]
© TxDOT December 1985	CONT	SECT	JOB	HIGHWAY
REVISIONS				
8-95 3-03				
1-97 2-12				
4-98 2-18				
DIST		COUNTY		SHEET NO.

REVISIONS:

DELTA	DESCRIPTION

SPEED CUSHION MARKING PATTERN IS TO BE SC-070603-M.



**Speed Cushions** **TL Standard Cushion**

**General Description:** Speed Cushions of various dimensions may be constructed utilizing patented directional tongue and groove 18" x 42" interlocking rubber modules. This two directional tongue and groove interlocking module system provides additional connection between the modules and increases stability of the installed speed cushion. Each module is bolted to the road using six fusion coated rust resistant lag bolts through a plastic shield installed in the pavement.

Patented Interlocking tongue and groove module

**Standard Speed Cushion**

**SPECIFICATIONS**

**Dimensions of the tongue and groove modules:**  
Width: 18" (+/- 1/16")  
Length: 42" (+/- 1/8")  
Thickness: 3" (+/- 1/8")

**Dimensions of the Cushions are changeable by**  
Width: 18" increments  
Length: 42" increments

**Standard Dimensions of Speed Cushions**  
7' x 6' x 3" • 8 modules  
10.5' x 6' x 3" (Flat surface 72" x 42") • 12 modules  
14' x 6' x 3" (Flat surface 72" x 84") • 16 modules  
21' x 6' x 3" (Flat surface 72" x 126") • 20 modules  
Entrance and exit gradient: 1:15 (7%) Lip: .25"  
Side gradient: 1:3 (35%) Lip: .25"

**Physical properties:**  
**Material:** Compression molded 100% recycled synthetic and natural rubber composite  
**Tensile strength:** minimum 500 psi  
**Shore hardness:** minimum 70A  
**Specific gravity:** 1.1  
**Deformation Rate:** None; 100% recovery  
**Skid Resistance:** 89 (Dry)

**Markings:** All markings are embedded into the rubber during the manufacturing process and have reflective qualities.

**White Square Pattern**  
Yellow also available

8' W x 7' L x 3" H  
Part # SC-070603-W

Part # SC-140603-W  
6' W x 14' L x 3" H

Part # SC-1050603-W  
6' W x 10.5' L x 3" H

Not Shown  
6' W x 21' L x 3" H  
6' W x 14' L x 4" H  
6' W x 21' L x 4" H

TRAFFIC LOGIX CORP 3 HARRIET LANE SPRING VALLEY, NY 10977 866.915.6449 www.trafficlogix.com

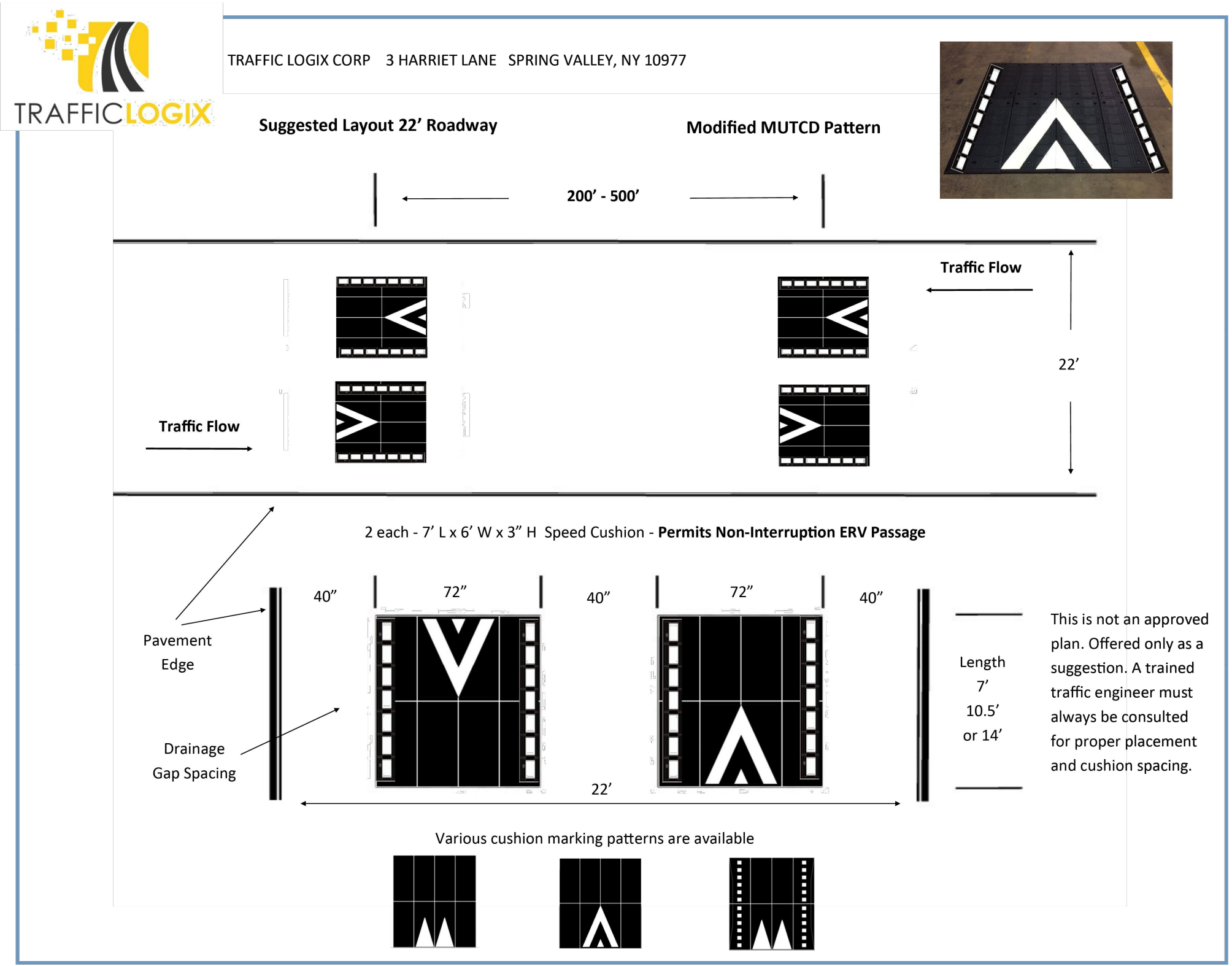




JOB:	154-102
DATE:	2024/08/21
DRAWN:	TN PM: MN
DESIGN:	DM:
PEER:	OTHER:

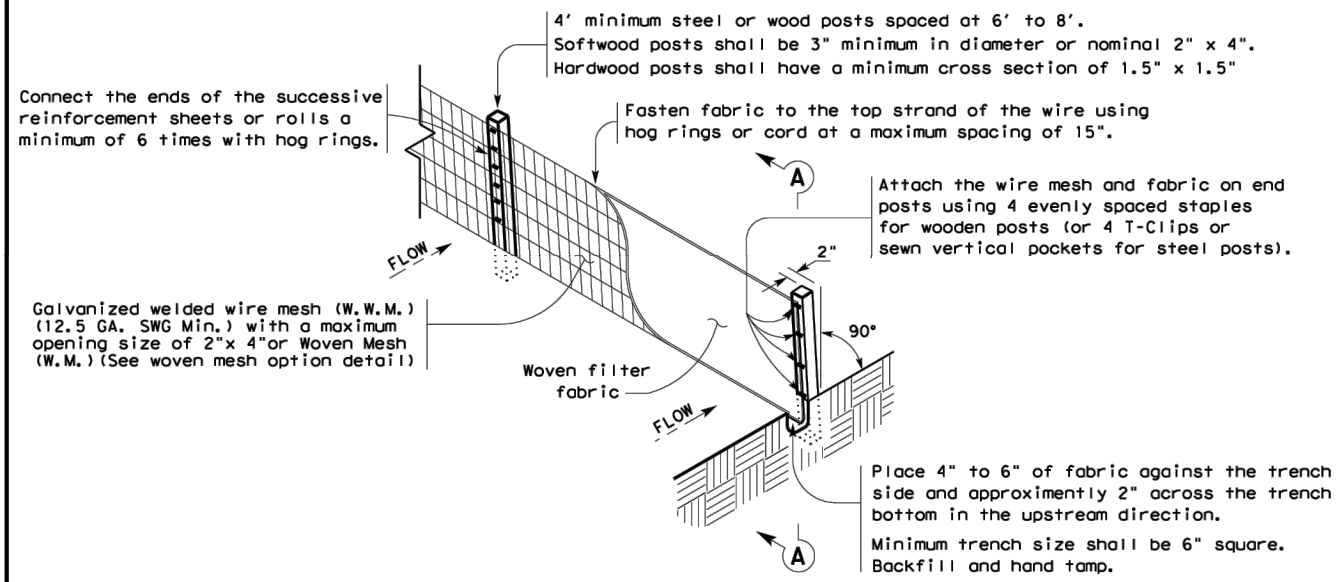
REVISIONS:	
DELTA	DESCRIPTION

SPEED CUSHION MARKING  
PATTERN IS TO BE SC-070603-M.



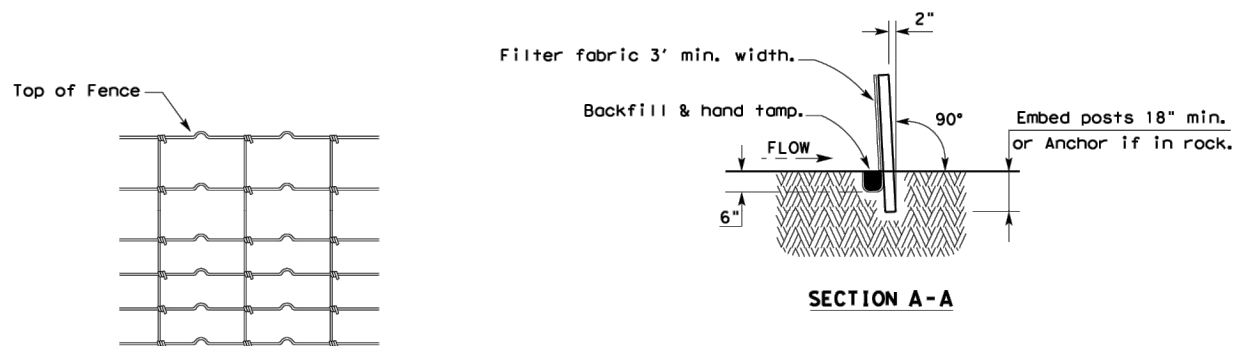
DISCLAIMER: The use of this standard is governed by the "Texas Engineering Practice Act". No warranty of any kind is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the conversion of this standard to other formats or for incorrect results or damages resulting from its use.

DATE  
FILE



**TEMPORARY SEDIMENT CONTROL FENCE**

SCF



**HINGE JOINT KNOT WOVEN MESH (OPTION) DETAIL**

Galvanized hinge joint knot woven mesh (12.5 GA. SWG Min.) requires a minimum of five horizontal wires spaced at a maximum of 12 inches apart and all vertical wires spaced at a maximum of 12 inches apart.

**SEDIMENT CONTROL FENCE USAGE GUIDELINES**

A sediment control fence may be constructed near the downstream perimeter of a disturbed area along a contour to intercept sediment from overland runoff. A 2 year storm frequency may be used to calculate the flow rate to be filtered.

Sediment control fence should be sized to filter a maximum flow through rate of 100 GPM/FT<sup>2</sup>. Sediment control fence is not recommended to control erosion from a drainage area larger than 2 acres.

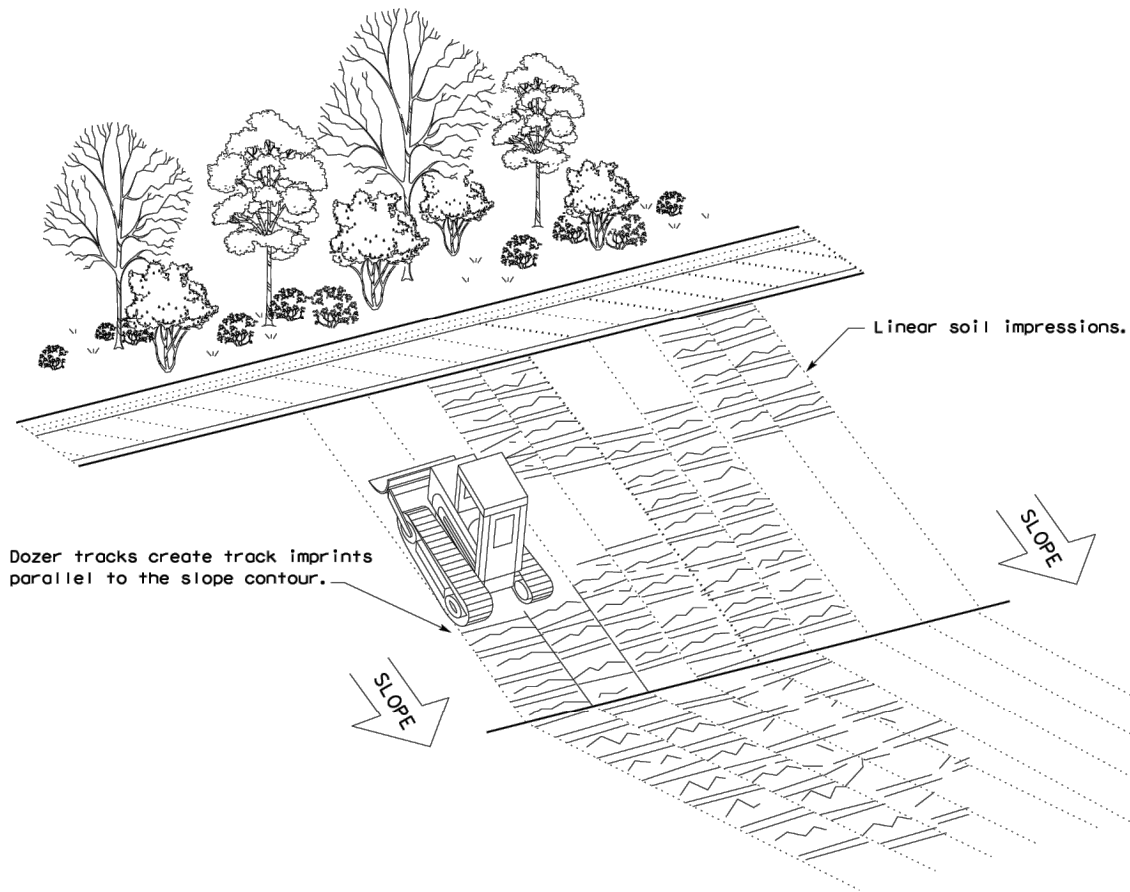
**LEGEND**

Sediment Control Fence

SCF

**GENERAL NOTES**

1. Vertical tracking is required on projects where soil distributing activities have occurred unless otherwise approved.
2. Perform vertical tracking on slopes to temporarily stabilize soil.
3. Provide equipment with a track undercarriage capable of producing linear soil impressions measuring a minimum of 12" in length by 2" to 4" in width by 1/2" to 2" in depth.
4. Do not exceed 12" between track impressions.
5. Install continuous linear track impressions where the minimum 12" length impressions are perpendicular to the slope or direction of water flow.



**VERTICAL TRACKING**



**TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES FENCE & VERTICAL TRACKING EC(1)-16**

FILE: ec116	DN: TxDOT	CK: KM	DW: VP	DN/CK: LS
© TxDOT: JULY 2016	CONT	SECT	JOB	HIGHWAY
REVISIONS	DIST	COUNTY	SHEET NO.	



CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
EROSION CONTROL DETAIL

JOB: 154-102	DATE: 2024/08/21
DRAWN: TN	PM: MN
DESIGN: DM	PEER: OTHER:
REVISIONS:	
DELTA	DESCRIPTION

## ADDENDUM #1

**Date:** 09-05-2024

**Subject:** 2024 Safety Enhancement Program Pre-Bid Meeting

### Part 1

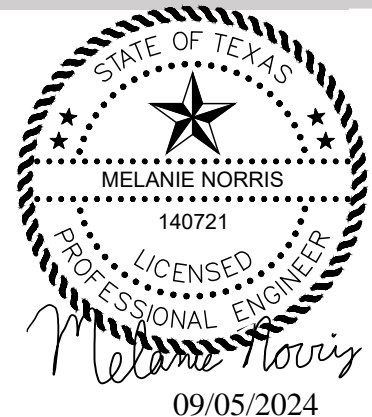
Pre-bid meeting minutes are attached.

### Part 2

Construction plan sheets listed below have been revised due to modifying a digital speed sign location and adding a fourth location:

- C0.02 – Revised special specification notes for “Install Provided Digital Speed Signs”
- C2.00 – Revised digital speed sign locations
- C2.09 – Revised digital speed sign locations

Bid tab has been revised accordingly per the above listed plan revisions to remove Item 644-6068 for relocating a sign.



## MEETING AGENDA

**Date:** 09-04-2024

**Subject:** 2024 Safety Enhancement Program Pre-Bid Meeting

**Agenda below:**

1. Owner's Representatives – City of Woodcreek, Freeland Turk Engineering Group
  - a. City – Jim Burton, City Administrator
  - b. FTEG – Melanie Norris, PE – Owners Rep, PM, EOR
  - c. FTEG – Tom Turk, PE – Owners Rep
  
2. Project Documents
  - a. Found on [www.civcastusa.com](http://www.civcastusa.com) and include:
    - i. Project Manual
    - ii. Plans – 2024 Safety Enhancement Program
    - iii. Bid Form
      1. Click the green “Bid” tab to export bid form
  
3. Project Introduction
  - a. Project locations include various streets within the City of Woodcreek City Limits (See plan sheet C2.00):
    - i. Augusta Drive
    - ii. Brookhollow Drive
    - iii. Brookmeadow Drive
    - iv. Deerfield Drive
    - v. Shady Grove Lane
    - vi. Tremont Trace
    - vii. Woodcreek Drive
  - b. Project includes:
    - i. Repairing asphalt driveways
    - ii. HMAC level-up and 2” overlay of Deerfield Dr
    - iii. Modifying ~28 lf of metal guardrail
    - iv. Installing 10 speed cushions at 5 locations
    - v. Various roadway signs including:
      1. Provide and install various small signs
      2. Install provided small signs (Locations TBD)

3. Install provided digital speed signs (Locations to be updated in addendum prior to bid)
    - vi. Pavement striping – stop bars and crosswalks
  - c. TxDOT Specifications (with some special specifications)
  - d. Special specifications to note (see plan sheet C0.1):
    - i. Hot-mix will be measured by the square yard and tack coat will be its subsidiary
    - ii. Level-up on Deerfield is special spec: “Blade Level-Up With Asphalt Concrete”
  - e. The work area is within City of Woodcreek owned property and ROW
  - f. Use caution with existing utilities within street
  - g. Please read notes within plans, contract documents and specifications
4. Bid
- a. Basis of award – Base bid only - bids received online only through Civcast
  - b. Bid Opening September 25<sup>th</sup> 3pm – ONLINE bid, read publicly from City Hall
5. Contractor’s Construction Schedule
- a. NTP – TBD
  - b. Substantial Completion = 90 days (plus 30 days final acceptance)
  - c. LDs - \$500/day
6. Questions and Answers
- a. Basic questions only – please submit technical questions to [mnorris@freelandturk.com](mailto:mnorris@freelandturk.com)
  - b. Questions due by email 7 days prior to bid, questions received after that deadline may not be answered.

**CONSTRUCTION SPECIFICATIONS**

THE CONTRACTOR SHALL PERFORM ALL WORK AND CONSTRUCT THE IMPROVEMENTS PER TXDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MAINTENANCE OF HIGHWAYS, STREETS, AND BRIDGES (ADOPTED BY TXDOT NOVEMBER 1, 2014) AND ANY APPLICABLE SPECIAL PROVISIONS AND SPECIFICATIONS.

**ITEM 100 - PREPARING ROW**

THIS SPECIFICATION SHALL GOVERN AND INCLUDE THE PREPARATION OF THE PROJECT SITE FOR CONSTRUCTION.

**ITEM 105 - REMOVING TREATED AND UNTREATED BASE AND ASPHALT PAVEMENT**

THE CONTRACTOR SHALL REMOVE THE EXISTING ASPHALT AND BASE MATERIAL PER THE LIMITS SHOWN ON THE PLANS TO A DEPTH NO GREATER THAN THE EXISTING SUBGRADE. THE CONTRACTOR SHALL NOT STOCK PILE REMOVED MATERIALS AND SHALL HAUL OFF REMOVED MATERIALS IMMEDIATELY.

**ITEM 247 - FLEXIBLE BASE**

THE CONTRACTOR SHALL FURNISH AND INSTALL TYPE A, GRADE I-II FLEXIBLE BASE MATERIAL PER DEPTH SHOWN ON PLANS.

**ITEM 500 - MOBILIZATION**

**ITEM 502 - BARRICADES, SIGNS, AND TRAFFIC HANDLING**

THE CONTRACTOR SHALL MAINTAIN ONE-LANE TWO-WAY TRAFFIC USING FLAGGERS AT ALL TIMES DURING ACTIVE CONSTRUCTION AND WORKING HOURS. TWO-WAY TRAFFIC MUST BE MAINTAINED WHEN THE CONTRACTOR IS NOT ACTIVELY WORKING ON-SITE.

THE CONTRACTOR SHALL PROVIDE ADDITIONAL TRAFFIC CONTROL SIGNS AT ALL INTERSECTIONS TO IDENTIFY ROAD WORK AHEAD.

**ITEM 506 - TEMPORARY EROSION, SEDIMENTATION, AND WATER POLLUTION PREVENTION AND CONTROLS**

SEE PLANS.

**ITEM 644 - SMALL ROADSIDE SIGN ASSEMBLIES**

SEE PLANS.

**ITEM 666 - RETROREFLECTORIZED PAVEMENT MARKINGS**

TYPE II TRAFFIC PAINT SHALL BE INSTALLED AS A SEALER/BASE COAT BEFORE INSTALLING TYPE I HOT-APPLIED THERMOPLASTIC.

**SPECIAL SPECIFICATION 3076 - DENSE-GRADED HOT-MIX ASPHALT**

**HMAC SHALL BE INSTALLED WHERE INDICATED ON THE PLANS, VARIOUS DRIVEWAYS AND OVERLAY ON DEERFIELD DRIVE**

HMAC SHALL BE TYPE AND DEPTH AS SPECIFIED ON PLANS.

TACK COAT SHALL BE CBC-1H APPLIED AT A RATE OF 0.10 GAL/SY.

MODIFICATIONS ADDED TO SPECIFICATION ARE AS FOLLOWS:

**PARAGRAPH 5**

1. HOT MIX WILL BE MEASURED BY THE SQUARE YARD.

**PARAGRAPH 6**

1. PAYMENT WILL BE PAID FOR AT THE UNIT BID PRICE PER SQUARE YARD.  
2. TACK COAT WILL BE SUBSIDIARY TO THIS ITEM.

**SPECIAL SPECIFICATION - INSTALL PROVIDED DIGITAL SPEED SIGNS**

SEE PLAN SHEETS FOR LOCATIONS. THE GOVERNING SPECIFICATION FOR THIS ITEM IS TXDOT ITEM 644 - SMALL ROADSIDE SIGN ASSEMBLIES.

THE CITY OF WOODCREEK WILL PROVIDE THE SOLAR POWERED DIGITAL SPEED SIGNS. THE CONTRACTOR SHALL FULLY FURNISH ALL POSTS, HARDWARE, BASE ETC TO APPROPRIATELY MOUNT THE PROVIDED SIGNS.

**SPECIAL SPECIFICATION - INSTALL PROVIDED SIGNS**

THE CITY OF WOODCREEK HAS VARIOUS SMALL SIGNS TO BE INSTALLED, LOCATIONS WILL BE DETERMINED DURING CONSTRUCTION. THE GOVERNING SPECIFICATION FOR THIS ITEM IS TXDOT ITEM 644 - SMALL ROADSIDE SIGN ASSEMBLIES.

THE CITY OF WOODCREEK WILL PROVIDE VARIOUS SMALL SIGNS. THE CONTRACTOR SHALL FULLY FURNISH ALL POSTS, HARDWARE, BASE ETC. TO APPROPRIATELY MOUNT THE PROVIDED SIGNS.

**SPECIAL SPECIFICATION - GUARDRAIL MODIFICATION**

SEE PLANS. THE GOVERNING SPECIFICATIONS FOR THIS WORK ARE LISTED BELOW:  
TXDOT ITEM 540 - METAL BEAM GUARD FENCE  
TXDOT ITEM 542 - REMOVING METAL BEAM GUARD FENCE

ALL WORK INCLUDING REMOVING THE EXISTING GUARD FENCE, PORTABLE RESTROOM RELOCATION, AND INSTALLATION SHALL BE SUBSIDIARY TO THIS ITEM. THIS WORK WILL BE PAID BY THE LUMP SUM, AND WILL INCLUDE ALL NECESSARY WORK FOR FINAL COMPLETION.

**SPECIAL SPECIFICATION - SPEED CUSHION**

COMPLETE IN PLACE TO INCLUDE ALL NECESSARY FURNISHINGS FOR INSTALLATION PER DETAIL INCLUDED IN PLANS AND MANUFACTURER INSTALLATION RECOMMENDATIONS. MARKING PATTERN IS TO BE SC-070603-M. THIS WORK WILL BE PAID BY EACH INDIVIDUAL SPEED CUSHION.

**SPECIAL SPECIFICATION - BLADE LEVEL-UP WITH ASPHALT CONCRETE**

SEE PLANS.

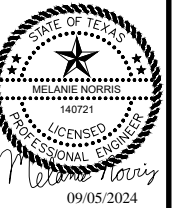
**SUBMITTALS**

THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ENGINEER FOR APPROVAL FOR ALL MATERIALS FOR ITEMS SPECIFIED.

Item 3.



18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-0322  
SPRING BRANCH, TX 76070  
TBPE FIRM F-2104



CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
GENERAL NOTES SHT 2

JOB: 154-102

DATE: 2024/09/03

DRAWN: TN PM: MN

DESIGN: DM:

PEER: OTHER:

**REVISIONS:**

DELTA DESCRIPTION

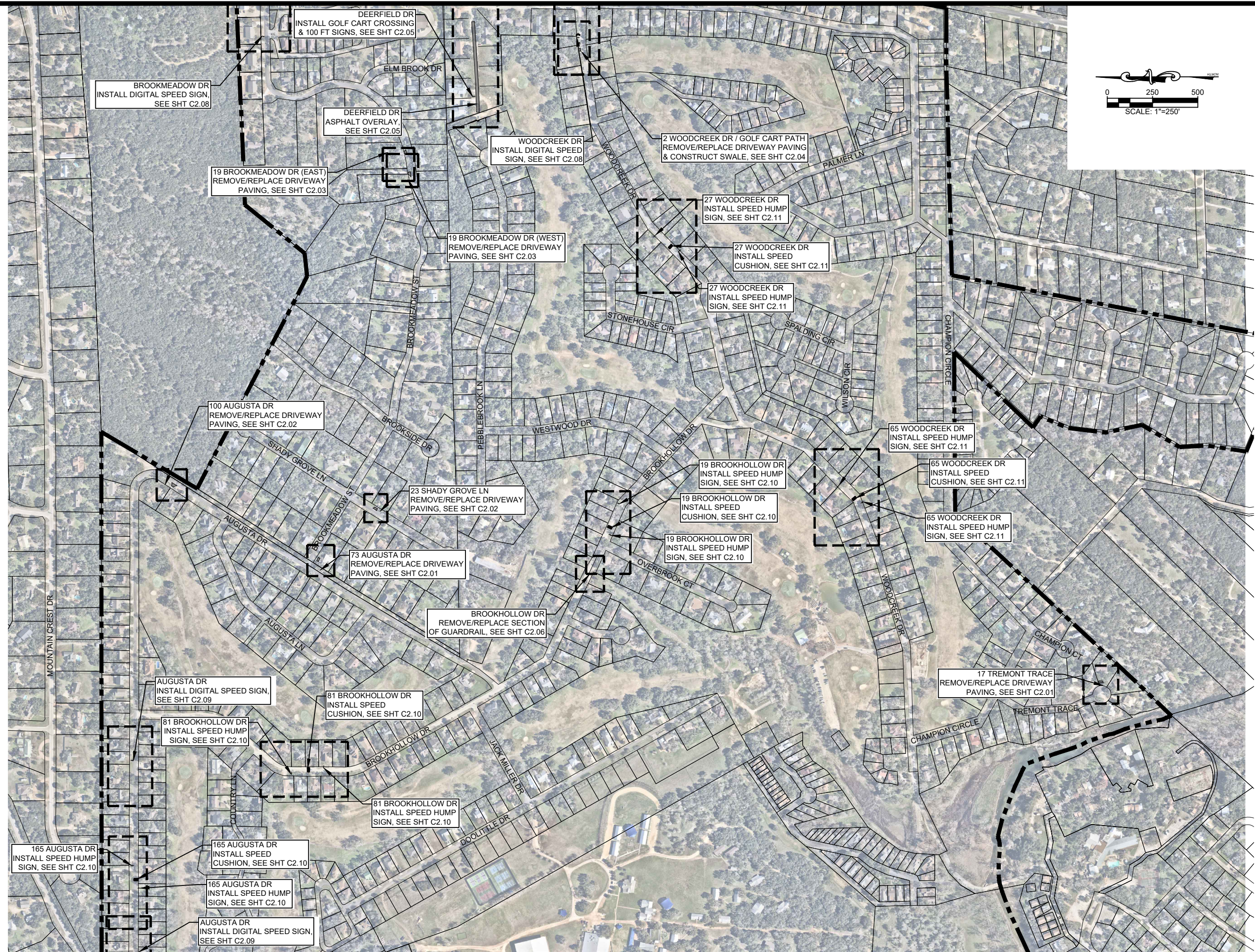
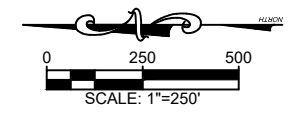
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SHEET:

C0.02 86

CITY OF WOODCREEK  
2024 SAFETY ENHANCEMENT PROGRAM  
OVERALL (P)SITE PLAN

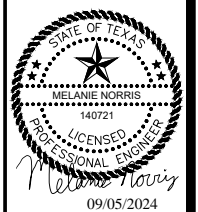
JOB:	154-102
DATE:	2024/09/03
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:
REVISIONS:	
DELTA	DESCRIPTION
SHEET:	C2.00 87



Date: Sep 03, 2024, 9:32am User ID: shepp  
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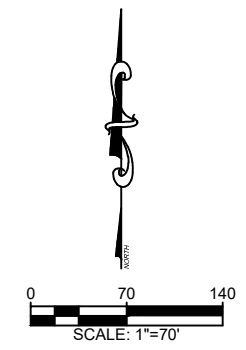
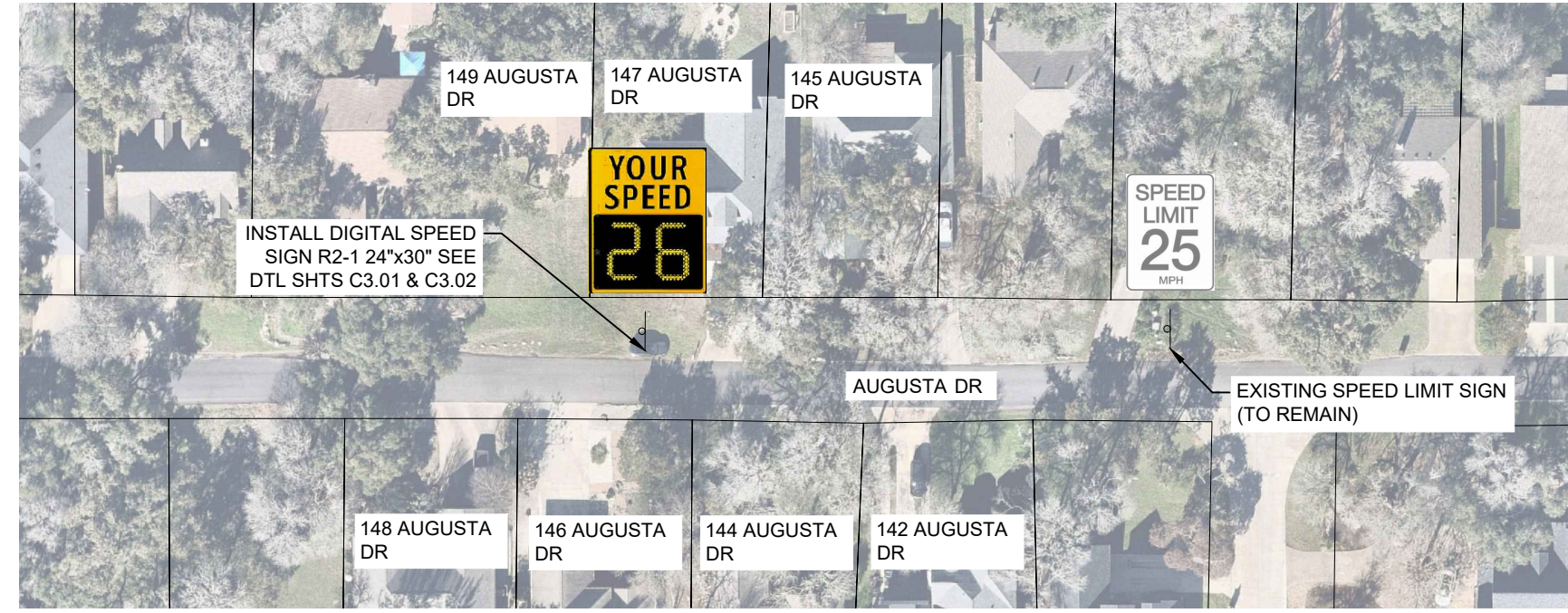
18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-0322  
 SPRING BRANCH, TX 76070  
 TBPE FIRM F-2104



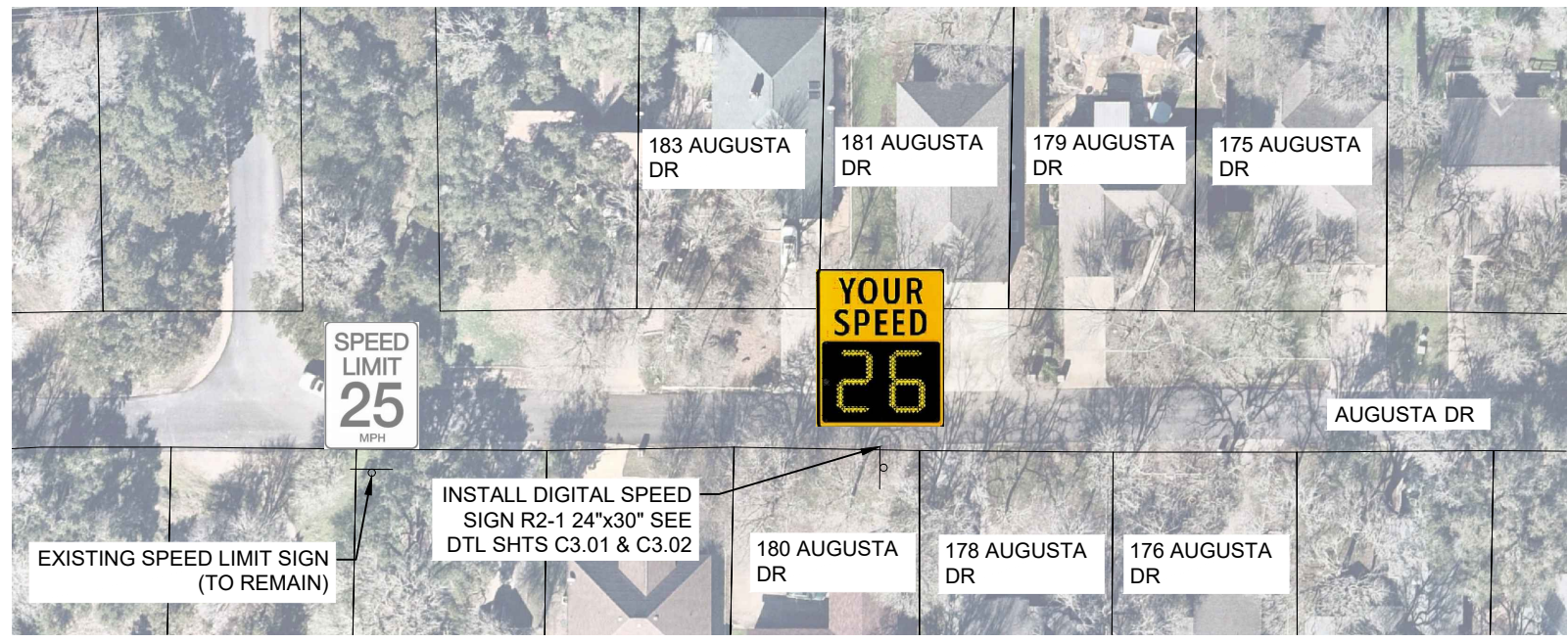
CITY OF WOODCREEK  
 2024 SAFETY ENHANCEMENT PROGRAM  
 DIGITAL SPEED SIGN  
 LOCATIONS SHT 2

JOB:	154-102
DATE:	2024/09/05
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION



- NOTES:
1. THE CONTRACTOR SHALL ASSEMBLE AND INSTALL SOLAR POWERED DIGITAL SPEED SIGNS PROVIDED BY THE CITY OF WOODCREEK.
  2. THE CONTRACTOR SHALL FURNISH AND INSTALL THE POSTS AND PROVIDE REQUIRED MOUNTING HARDWARE AS NECESSARY FOR THE SOLAR POWERED DIGITAL SPEED SIGNS.
  3. THE SIGN LOCATIONS ARE APPROXIMATE, CONTRACTOR SHALL PLACE SIGNS WHERE THEY WILL BE FULLY VISIBLE. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL TRIM ANY TREE LIMBS OR SHRUBS THAT WILL BLOCK THE VIEW OF THE INSTALLED SIGNS AT NO ADDITIONAL COST.



Date: Sep 05, 2024, 8:35am User ID: shepp File: Z:\eng - pdf\154 - city of woodcreek\102 - to 3 - 2024 safety enhancement program - CAD\dwg\154\_102\_MRCF-SIGN-STRPG PLAN-001.dwg





September 30, 2024

Jim Burton  
City Administrator - City of Woodcreek  
41 Champions Circle  
Woodcreek, Texas 78676

**RE: Champions Court Turnaround**

Dear Mr. Burton:

The City of Woodcreek requested Freeland Turk to assess the emergency vehicle access conditions on Champions Court and determine the feasibility of improving access by constructing a suitable turnaround.

**Existing Conditions** - Champion Court is a 225' long cul-de-sac (approximately 23' wide) intersecting Champions Circle in Woodcreek, Texas. The shape of the cul-de-sac is non-standard and does not follow the circular shape of the 100' diameter right-of-way. Numerous trees exist within the right-of-way, including one inside the paved street. The existing cul-de-sac does not provide an adequate turning area for emergency vehicles and is considered sub-standard.

**Circular Turnaround Approach** - A sufficient right-of-way exists to construct a standard cul-de-sac providing sufficient access for emergency services vehicles. However, constructing an 80-foot-diameter cul-de-sac will require removing several trees, which would have an undesirable environmental impact on the area. Since there is another available option, we do not recommend this approach.

**Hammerhead Turnaround Approach** - Sufficient right-of-way exists to construct a "hammerhead" style turnaround. This alternative approach will provide emergency service vehicles with adequate access and space to turn. The improvements needed include pavement widening, as shown on the attached exhibit. The location of the pavement widening was selected to minimize the impact on existing trees. We recommend the existing tree located in the pavement be removed to improve safety and facilitate turnaround movements. We recommend paving the turnaround area with Hot Mix Asphalt Concrete.

Should you have any comments or questions regarding the contents of this letter, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read 'T. Turk', is written over a blue circular graphic element.

Thomas N. Turk, P.E.  
Principal

Attachment: Hammerhead Style Turnaround Exhibit

Date: 5/9/2024, 1:36pm User ID: shepp  
 File: Z:\ENG - PRD\154 - City of Woodcreek\100 - TO 1 - GIS\13 - Champions Court Turnaround\Exhibit\154-100-TURNRD-EXHIBT.dwg



LEGEND:

- (P)PAVEMENT
- (E)PAVEMENT
- (E)TREE

Item 4.

18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-0322  
 SPRING BRANCH, TX 76070 TBPE FIRM F-2104

CITY OF WOODCREEK  
 CHAMPIONS COURT TURNAROUND  
 PROPOSED HAMMERHEAD STYLE  
 TURNAROUND

JOB: 154-100	
DATE: 2024/09/03	
DRAWN: TN	PM: MN
DESIGN: DM	
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION

SHEET:

3

90

Date: Sep 05, 2024, 09:38am User ID: norri  
 File: Z:\ENG - PRD\154 - City of Woodcreek\100 - TO 1 - CES\13 - Champions Court Turnaround Exhibit\154-100-TURNROD-EXHIBIT.dwg



LEGEND:

(E)PAVEMENT

(E)TREE

Item 4.



18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-0332  
 SPRING BRANCH, TX 78070  
 TBPE FIRM F-2104

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CITY OF WOODCREEK  
 CHAMPIONS COURT TURNAROUND  
 EXISTING CONDITIONS

JOB:	154-100
DATE:	2024/09/05
DRAWN: TN	PM: MN
DESIGN:	DM:
PEER:	OTHER:

REVISIONS:	
DELTA	DESCRIPTION

Date: Sep 05, 2024, 9:38am User ID: norri  
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Item 4.



18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-032  
 SPRING BRANCH, TX 76070  
 TBPE FIRM F-2104

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CITY OF WOODCREEK  
 CHAMPIONS COURT TURNAROUND  
 PROPOSED CUL-DE-SAC

JOB: 154-100  
 DATE: 2024/09/05  
 DRAWN: TN PM: MN  
 DESIGN: DM:  
 PEER: OTHER:

REVISIONS:	
DELTA	DESCRIPTION

Date: 5/9/2024, 9:38am User ID: norri  
 File: Z:\ENG - PRD\154 - City of Woodcreek\100 - TO 1 - GIS\13 - Champions Court Turnaround Exhibit\154\_100-TURNND-EXHIBT.dwg



LEGEND:

- (P)PAVEMENT
- (E)PAVEMENT
- (E)TREE
- IFC OUTLINE

Item 4.



18830 FORTY SIX PKWY, BLDG 2, STE B (830) 438-0322  
 SPRING BRANCH, TX 76070

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CITY OF WOODCREEK  
 CHAMPIONS COURT TURNAROUND  
 PROPOSED HAMMERHEAD STYLE  
 TURNAROUND WITH OUTLINE

JOB: 154-100	
DATE: 2024/09/05	
DRAWN: TN	PM: MN
DESIGN: DM	
PEER: OTHER:	

REVISIONS:	
DELTA	DESCRIPTION

SHEET: 4 93

## **REQUEST FOR QUALIFICATIONS (RFQ): City Secretary, A Full-Time, Exempt Position (salary range \$40,000-\$60,000)**

**\* Candidates can apply for this position through Wednesday, November 6<sup>th</sup> 2024, at 5:00P (CST)**

The City of Woodcreek seeks an experienced professional with superior note taking and listening skills who can quickly comprehend and process large amounts of information at once. Applicants must be highly organized and very detail oriented.

### **JOB SUMMARY:**

The City Secretary has statutory responsibility for maintenance and retention of official records of the city. This includes the taking and publishing of meeting minutes, posting official notices, publishing of key documents, maintenance and operation of the city website related to document management and meeting postings, managing a record retention policy and the conversion of paper to digital files,

This position is officially governed by the Texas Local Government Code and all duties conveyed thereupon shall apply to the official duties of this position in accordance with the Code of Ordinance of the City of Woodcreek and any other duties hereby assigned by the City Administrator and/or City Council of the City of Woodcreek.

### **REPORTING RELATIONSHIPS:**

Reports to the City Administrator of the City of Woodcreek, a Type A General Law City.

Supervises the day-to-day operations of record taking, retention, storage, filing, posting, and publishing for all city business.

### **MAIN JOB TASKS and RESPONSIBILITIES:**

- Coordinating the City's election process
- Preparing meeting agendas and minutes for City Council and other meetings of city boards or commissions
- Managing the City's records retention program, responding to open records inquiries and concerns of the public, and processing administrative documentation of official city records. This is accomplished by completing general clerical duties, providing customer service, preparing correspondence and reports, and filing systems.
- Manages and coordinates with fellow staff members to fulfill the operations of the City Secretary's office and ensures all official city activities are compliant with federal, state, and City policies, ordinances.
- Reviews and maintains custody of official records and archival of such documents including, City ordinances, resolutions, contracts, judgments, agreements, surety bonds, deeds, insurance, minutes, etc.
- Oversees record management program, ensures the accuracy of technical files and official records, and ensures City record retention program is compliant with Texas Statutes.
- Reviews, approves, attests, and oversees the timely renewal of all official documents, adopted resolutions, ordinances, agreements, contracts, meeting minutes, and other official records after each meeting.
- Participates and organizes special events; prepares ceremonial items such as proclamations, certificates, and awards.
- Coordinates, directs, and organizes the posting of all legal notices, agendas, publications, resolutions, and codification of ordinances.

- Works closely with the City Administrator in the preparation of Council, all Boards/Commissions and ad hoc committee agendas and other City Council, board/commission, and any ad hoc committee-related duties as assigned.
- Provides research and project support for the City Manager, and when directed for Council, Boards/Commissions, and ad hoc committees.
- Compiles, reviews, approves, and delivers various agenda packets to include packets for City Council, all Boards/Commissions, and any ad hoc committees.
- Coordinates with the technical preparation, recordation, and transcribing of proceedings of official meetings and public hearings of the City Council, Boards/Commissions, and any ad hoc committees.
- Acts as city recorder; maintains custody of city seal; affixes to documents and obligations of the City as required; countersigns city legal documents; recommends rules and regulations to be adopted to protect municipal records; establishes systems to file and maintain official records including minutes, ordinances, resolutions, contracts, judgments, surety bonds, deeds, elections, and other records; ensures all records are maintained and in compliance with mandated requirements.
- Attends all City Council and ensures the accurate completion of required minutes in a timely fashion
- Participates in the development and administration of the City Secretary's Office budget.
- Provides certification of petitions to the City Council.
- Serves as Municipal Election Administrator; coordinates municipal elections through the County; prepares all election information for council candidates, election orders, resolutions, notices, and other pertinent documents; coordinates with the City Legal department to ensure conformance with election and government code; receives and files all campaign financial reports; coordinates the Canvass of Election Results; arranges the swearing-in of newly elected council members and board members; updates city website with current election information, campaign forms, as well as current and historical election results, campaign finance reports, and election history.
- Reviews and processes all open record requests according to Attorney General guidelines.
- Responds to and resolves delicate and sensitive citizen inquiries and complaints.
- Establishes, maintains, and builds upon effective working relationships with appointed and elected officials, citizens, supervisors, co-workers, volunteers, and local businesses.
- Organizes community input meetings as needed to facilitate the exchange of information between the City and the community.
- Exercises considerable initiative, independent judgment, and confidentiality.
- Conveys a positive, professional image by action, communication, and appearance.
- Exhibits regular, reliable, and punctual attendance, which is an essential function of the job.
- Must be able to work night meetings; work may occasionally require travel, including overnight stays, involving training, and conducting City business.
- Performs all other related job duties and responsibilities as assigned.

#### **KNOWLEDGE, SKILLS and ABILITIES:**

- Knowledge of rules, regulations, and laws governing city elections in the State of Texas.
- In depth understanding of the Texas Election Code, Texas Local Government Code, Public Information Act, Texas Open Meetings, and Open Records Act with the use of analytical judgment and decision-making abilities appropriate to the work environment of the organization.
- Familiar with the City of Woodcreek Code of Ordinance and has a significant understanding of how a Type A General Law city functions
- Is able to practically apply the State law, Freedom of Information Act, Texas Open Meetings and Open Records law.
- Texas State Library and Archives Commission rules and regulations.
- Effective communications both orally and in writing
- Being a team player who is flexible, a problem solver, able to hear and accept feedback, good listener, possesses confidence.
- Understanding and explaining complex situations involving all City departments and functions.
- Ability to:
  - Read literature, books, reviews, scientific or technical journals, abstracts, financial reports, and legal documents.

- Remain flexible and open to new ideas and encourage others to value change.
- Identify ways to incorporate new practices into the existing framework.
- Communicate clearly and concisely, both orally and in writing.
- Meet deadlines.
- Establish and maintain effective working relationships with those contacted in the course of work, including City employees and other government officials, community groups, the general public, and media representatives.
- Identify and respond to community and City Council issues, concerns, and needs.
- Provide information and organize material, including records retention/destruction in compliance with laws, regulations, and policies.
- Be able to regularly work afternoon and evening meetings in addition to normal hours of operation of City Hall.

#### **WORKING CONDITIONS and PHYSICAL REQUIREMENTS:**

- The work environment is primarily an office setting, where noise and temperature levels are moderate.
- Attendance is mandatory at City Council meetings, most of which occur after hours.
- Work may occasionally require travel, including overnight stays, involving training and conducting City business.
- May occasionally be required to inspect outdoor sites which may require climbing and traversing rough terrain.
- The work is light to medium requiring exerting up to fifty pounds (50) to move objects.
- Must possess the physical ability to work primarily with fingers, perceive the nature of sounds, make rational decisions through sound logic and deductive processes, express or exchange ideas by the spoken word, substantial movements (motions) with the hands, wrists, and/or fingers, and discern letters or numbers at a given distance.
- Additionally, the following physical abilities are required: feeling, grasping, handling, lifting, mental acuity, reaching, repetitive motion, speaking, standing, talking, visual acuity and walking.
- Must be able to adequately work office equipment such as computers, scanners, copiers, phones, fax machines, mail weight meters, and other similar items.

#### **EDUCATION and EXPERIENCE:**

- Bachelor's Degree in relevant field of study (preferred)
- Minimum of three (3) years of progressively responsible experience in municipal government management (preferred)
- Election experience (preferred)
- CivicPlus and Fundview training (preferred)

#### **CERTIFICATIONS, LICENSES and SPECIAL REQUIREMENTS:**

- Must have and maintain a Texas Municipal Clerks Association (TMCA) Certification or able to receive within two (2) years of hire date.
- Notary public or able to obtain within six (6) months of employment.
- Texas Open Meetings Act and Public Information Act Training required upon hiring
- Proof of citizenship and/or eligibility to legally work in the United States.
- A Valid Class C Texas motor vehicle driver's license and the ability to maintain a satisfactory driving record

**\*\* Candidates can apply for this position through Wednesday, November 6<sup>th</sup> 2024, at 5:00P (\*\***  
**When applying, please include a Letter of Interest, Resume and three (3) professional references.**  
**\* Preliminary Interviews will begin the week of August 12, 2024. \***

***The salary offered to a qualified candidate will reflect the candidate's experience and qualifications.***

#### **DISCLAIMER:**

*Nothing in this job description restricts the City Council's right to assign or reassign duties and responsibilities to this job at any time. This description reflects the City Council's assignment of essential functions; it does not proscribe or restrict the tasks that may be assigned. This job description may be changed at any time.*



*The City of Woodcreek is committed to compliance with the American Disabilities Act & Amendments Act. If you require reasonable accommodation during the application process or have a question regarding an essential job function, please contact the City Secretary at (512) 847-9390.*

*The City of Woodcreek is an Equal Opportunity Employer and values diversity in its workplace.*



## City Council Agenda Item Coversheet

### Proposed Motion:

Authorize staff to draft and issue a request for proposals (RFP) for administrative and plan development services for the Resilient Communities Program (RCP) grant program administered by the Texas General Land Office (GLO). (Hines)

### Item Description:

Wimberley applied for and was awarded a grant totaling \$300,000 for a comprehensive plan and corresponding code rewrite. This is the Resilient Community Program grant from the General Land Office. There is no required match for this grant. If the city wants to pursue this funding and desires to use outside professional management services, the council will need to authorize the issuance of Request for Proposals. Grant Works can then submit a proposal to manage this grant process.

If proposing to spend money, what amount and from what budget line item?



## City Council Agenda Item Coversheet

### Proposed Motion:

Motion to adopt the Flood Plain Damage Prevention Ordinance for the City of Woodcreek, Texas. (Hines)

### Item Description:

The Legislature of the State of Texas has in the Flood Control Insurance Act, Texas Water Code, Section 16.315, delegated the responsibility of local governmental units to adopt regulations designed to minimize flood losses.

A newly revised Flood Insurance Rate Map (FIRM) has been produced for Hays County, TX and incorporated areas, including the City of Woodcreek (NFIP #481641). The new FIRM and Flood Insurance Study (FIS) will be effective January 17, 2025.

To avoid suspension from the National Flood Insurance Program (NFIP) on January 17, 2025, FEMA Region 6 must have received a copy of your updated and adopted Flood Damage Prevention Order/Ordinance (FDPO) indicating adoption of the new FIS and FIRM prior to January 17, 2025.

If proposing to spend money, what amount and from what budget line item?

## **FLOOD DAMAGE PREVENTION ORDINANCE**

### **ARTICLE I**

#### **STATUTORY AUTHORIZATION, FINDINGS OF FACT, PURPOSE AND METHODS**

##### **SECTION A. STATUTORY AUTHORIZATION**

The Legislature of the State of Texas has in the Flood Control Insurance Act, Texas Water Code, Section 16.315, delegated the responsibility of local governmental units to adopt regulations designed to minimize flood losses. Therefore, the City Council of the City of Woodcreek, Texas does ordain as follows:

##### **SECTION B. FINDINGS OF FACT**

1. The flood hazard areas of the City of Woodcreek are subject to periodic inundation, which results in loss of life and property, health and safety hazards, disruption of commerce and governmental services, and extraordinary public expenditures for flood protection and relief, all of which adversely affect the public health, safety and general welfare.
2. These flood losses are created by the cumulative effect of obstructions in floodplains which cause an increase in flood heights and velocities, and by the occupancy of flood hazard areas by uses vulnerable to floods and hazardous to other lands because they are inadequately elevated, floodproofed or otherwise protected from flood damage.

##### **SECTION C. STATEMENT OF PURPOSE**

It is the purpose of this ordinance to promote the public health, safety and general welfare and to minimize public and private losses due to flood conditions in specific areas by provisions designed to:

1. Protect human life and health;
2. Minimize expenditure of public money for costly flood control projects;
3. Minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the general public;
4. Minimize prolonged business interruptions;
5. Minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in floodplains;
6. Help maintain a stable tax base by providing for the sound use and development of flood-prone areas in such a manner as to minimize future flood blight areas; and
7. Ensure that potential buyers are notified that property is in a flood area.

##### **SECTION D. METHODS OF REDUCING FLOOD LOSSES**

In order to accomplish its purposes, this ordinance uses the following methods:

1. Restrict or prohibit uses that are dangerous to health, safety or property in times of flood, or cause excessive increases in flood heights or velocities;
2. Require that uses vulnerable to floods, including facilities which serve such uses, be protected against flood damage at the time of initial construction;
3. Control the alteration of natural floodplains, stream channels, and natural protective barriers, which are involved in the accommodation of flood waters;
4. Control filling, grading, dredging and other development which may increase flood damage;
5. Prevent or regulate the construction of flood barriers which will unnaturally divert flood waters or which may increase flood hazards to other lands.

## **ARTICLE 2 DEFINITIONS**

Unless specifically defined below, words or phrases used in this ordinance shall be interpreted to give them the meaning they have in common usage and to give this ordinance its most reasonable application.

**ALLUVIAL FAN FLOODING** - means flooding occurring on the surface of an alluvial fan or similar landform which originates at the apex and is characterized by high-velocity flows; active processes of erosion, sediment transport, and deposition; and unpredictable flow paths.

**APEX** - means a point on an alluvial fan or similar landform below which the flow path of the major stream that formed the fan becomes unpredictable and alluvial fan flooding can occur.

**APPURTENANT STRUCTURE** - means a structure which is on the same parcel of property as the principal structure to be insured and the use of which is incidental to the use of the principal structure

**AREA OF FUTURE CONDITIONS FLOOD HAZARD** - means the land area that would be inundated by the 1-percent-annual chance (100 year) flood based on future conditions hydrology.

**AREA OF SHALLOW FLOODING** - means a designated AO, AH, AR/AO, AR/AH, or VO zone on a community's Flood Insurance Rate Map (FIRM) with a 1 percent or greater annual chance of flooding to an average depth of 1 to 3 feet where a clearly defined channel does not exist, where the path of flooding is unpredictable and where velocity flow may be evident. Such flooding is characterized by ponding or sheet flow.

**AREA OF SPECIAL FLOOD HAZARD** - is the land in the floodplain within a community subject to a 1 percent or greater chance of flooding in any given year. The area may be designated as Zone A on the Flood Hazard Boundary Map (FHBM). After detailed rate making has been completed in preparation for publication of the FIRM, Zone A usually is refined into Zones A, AO, AH, A1-30, AE, A99, AR, AR/A1-30, AR/AE, AR/AO, AR/AH, AR/A, VO, V1-30, VE or V.

**BASE FLOOD** - means the flood having a 1 percent chance of being equaled or exceeded in any given year.

**BASE FLOOD ELEVATION (BFE)** - The elevation shown on the Flood Insurance Rate Map (FIRM) and found in the accompanying Flood Insurance Study (FIS) for Zones A, AE, AH, A1-A30, AR, V1-V30, or VE that indicates the water surface elevation resulting from the flood that has a 1% chance of equaling or exceeding that level in any given year - also called the Base Flood.

**BASEMENT** - means any area of the building having its floor subgrade (below ground level) on all sides.

**BREAKAWAY WALL** - means a wall that is not part of the structural support of the building and is intended through its design and construction to collapse under specific lateral loading forces, without causing damage to the elevated portion of the building or supporting foundation system.

**CRITICAL FEATURE** - means an integral and readily identifiable part of a flood protection system, without which the flood protection provided by the entire system would be compromised.

**DEVELOPMENT** - means any man-made change to improved and unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or drilling operations or storage of equipment or materials.

**ELEVATED BUILDING** – means, for insurance purposes, a non-basement building, which has its lowest elevated floor, raised above ground level by foundation walls, shear walls, posts, piers, pilings, or columns.

**EXISTING CONSTRUCTION** - means for the purposes of determining rates, structures for which the "start of construction" commenced before the effective date of the FIRM or before January 1, 1975, for FIRMs effective before that date. "Existing construction" may also be referred to as "existing structures."

**EXISTING MANUFACTURED HOME PARK OR SUBDIVISION** - means a manufactured home park or subdivision for which the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including, at a minimum, the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads) is completed before the effective date of the floodplain management regulations adopted by a community.

**EXPANSION TO AN EXISTING MANUFACTURED HOME PARK OR SUBDIVISION** - means the preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads).

**FLOOD OR FLOODING** - means a general and temporary condition of partial or complete inundation of normally dry land areas from:

1. the overflow of inland or tidal waters.
2. the unusual and rapid accumulation or runoff of surface waters from any source.

**FLOOD ELEVATION STUDY** – means an examination, evaluation and determination of flood hazards and, if appropriate, corresponding water surface elevations, or an examination, evaluation and determination of mudslide (i.e., mudflow) and/or flood-related erosion hazards.

**FLOOD INSURANCE RATE MAP (FIRM)** - means an official map of a community, on which the Federal Emergency Management Agency has delineated both the special flood hazard areas and the risk premium zones applicable to the community.

**FLOOD INSURANCE STUDY (FIS)** – see *Flood Elevation Study*

**FLOODPLAIN OR FLOOD-PRONE AREA** - means any land area susceptible to being inundated by water from any source (see definition of flooding).

**FLOODPLAIN MANAGEMENT** - means the operation of an overall program of corrective and preventive measures for reducing flood damage, including but not limited to emergency preparedness plans, flood control works and floodplain management regulations.

**FLOODPLAIN MANAGEMENT REGULATIONS** - means zoning ordinances, subdivision regulations, building codes, health regulations, special purpose ordinances (such as a floodplain ordinance, grading ordinance and erosion control ordinance) and other applications of police power. The term describes such state or local regulations, in any combination thereof, which provide standards for the purpose of flood damage prevention and reduction.

**FLOOD PROTECTION SYSTEM** - means those physical structural works for which funds have been authorized, appropriated, and expended and which have been constructed specifically to modify flooding in order to reduce the extent of the area within a community subject to a "special flood hazard" and the extent of the depths of associated flooding. Such a system typically includes hurricane tidal barriers, dams, reservoirs, levees or dikes. These specialized flood modifying works are those constructed in conformance with sound engineering standards.

**FLOOD PROOFING** - means any combination of structural and non-structural additions, changes, or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures and their contents.

**FLOODWAY** – see *Regulatory Floodway*

**FUNCTIONALLY DEPENDENT USE** - means a use, which cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities, port facilities that are necessary for the loading and unloading of cargo or passengers, and ship building and ship repair facilities, but does not include long-term storage or related manufacturing facilities.

**HIGHEST ADJACENT GRADE** - means the highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure.

**HISTORIC STRUCTURE** - means any structure that is:

1. Listed individually in the National Register of Historic Places (a listing maintained by the Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
2. Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;
3. Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or
4. Individually listed on a local inventory or historic places in communities with historic preservation programs that have been certified either:
  - a. By an approved state program as determined by the Secretary of the Interior or;
  - b. Directly by the Secretary of the Interior in states without approved programs.

**LEVEE** - means a man-made structure, usually an earthen embankment, designed and constructed in accordance with sound engineering practices to contain, control, or divert the flow of water so as to provide protection from temporary flooding.

**LEVEE SYSTEM** - means a flood protection system which consists of a levee, or levees, and associated structures, such as closure and drainage devices, which are constructed and operated in accordance with sound engineering practices.

**LOWEST FLOOR** - means the lowest floor of the lowest enclosed area (including basement). An unfinished or flood resistant enclosure, usable solely for parking of vehicles, building access or storage in an area other than a basement area is not considered a building's lowest floor; **provided** that such enclosure is not built so as to render the structure in violation of the applicable non-elevation design requirement of Section 60.3 of the National Flood Insurance Program regulations.

**MANUFACTURED HOME** - means a structure transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. The term "manufactured home" does not include a "recreational vehicle".

**MANUFACTURED HOME PARK OR SUBDIVISION** - means a parcel (or contiguous parcels) of land divided into two or more manufactured home lots for rent or sale.

**MEAN SEA LEVEL** - means, for purposes of the National Flood Insurance Program, the North American Vertical Datum (NAVD) of 1988 or other datum, to which base flood elevations shown on a community's Flood Insurance Rate Map are referenced.

**NEW CONSTRUCTION** - means, for the purpose of determining insurance rates, structures for which the "start of construction" commenced on or after the effective date of an initial FIRM or after December 31, 1974, whichever is later, and includes any subsequent improvements to such structures. For floodplain management purposes, "new construction" means structures for which the "start of construction" commenced on or after the effective date of a floodplain management regulation adopted by a community and includes any subsequent improvements to such structures.

**NEW MANUFACTURED HOME PARK OR SUBDIVISION** - means a manufactured home park or subdivision for which the construction of facilities for servicing the lots on which the manufactured homes are to be affixed (including at a minimum, the installation of utilities, the construction of streets, and either final site grading or the pouring of concrete pads) is completed on or after the effective date of floodplain management regulations adopted by a community.

**RECREATIONAL VEHICLE** - means a vehicle which is (i) built on a single chassis; (ii) 400 square feet or less when measured at the largest horizontal projections; (iii) designed to be self-propelled or permanently towable by a light duty truck; and (iv) designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.

**REGULATORY FLOODWAY** - means the channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than a designated height.

**RIVERINE** - means relating to, formed by, or resembling a river (including tributaries), stream, brook, etc.

**SPECIAL FLOOD HAZARD AREA** - see *Area of Special Flood Hazard*

**START OF CONSTRUCTION** - (for other than new construction or substantial improvements under the Coastal Barrier Resources Act (Pub. L. 97-348)), includes substantial improvement and means the date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition placement, or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction of a structure on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond the stage of excavation; or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading and filling; nor does it include the installation of streets and/or walkways; nor does it include excavation for basement, footings, piers or foundations or the erection of temporary forms; nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For a substantial improvement, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not that alteration affects the external dimensions of the building.

**STRUCTURE** - means, for floodplain management purposes, a walled and roofed building, including a gas or liquid storage tank, that is principally above ground, as well as a manufactured home.

**SUBSTANTIAL DAMAGE** - means damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damaged condition would equal or exceed 50 percent of the market value of the structure before the damage occurred.

**SUBSTANTIAL IMPROVEMENT** - means any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before "start of construction" of the improvement. This term includes structures which have incurred "substantial damage", regardless of the actual repair work performed. The term does not, however, include either: (1) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code



enforcement official and which are the minimum necessary to assure safe living conditions or (2) Any alteration of a "historic structure", provided that the alteration will not preclude the structure's continued designation as a "historic structure."

**VARIANCE** – means a grant of relief by a community from the terms of a floodplain management regulation. (For full requirements see Section 60.6 of the National Flood Insurance Program regulations.)

**VIOLATION** - means the failure of a structure or other development to be fully compliant with the community's floodplain management regulations. A structure or other development without the elevation certificate, other certifications, or other evidence of compliance required in Section 60.3(b)(5), (c)(4), (c)(10), (d)(3), (e)(2), (e)(4), or (e)(5) is presumed to be in violation until such time as that documentation is provided.

**WATER SURFACE ELEVATION** - means the height, in relation to the North American Vertical Datum (NAVD) of 1988 (or other datum, where specified), of floods of various magnitudes and frequencies in the floodplains of coastal or riverine areas.

### **ARTICLE 3 GENERAL PROVISIONS**

#### **SECTION A. LANDS TO WHICH THIS ORDINANCE APPLIES**

The ordinance shall apply to all areas of special flood hazard with the jurisdiction of the City of Woodcreek.

#### **SECTION B. BASIS FOR ESTABLISHING THE AREAS OF SPECIAL FLOOD HAZARD**

The areas of special flood hazard identified by the Federal Emergency Management Agency in the current scientific and engineering report entitled, "The Flood Insurance Study (FIS) for Flood Insurance Study (FIS) for Hays County TX and Incorporated Areas, " dated 01-17-2025, with accompanying Flood Insurance Rate Maps and/or Flood Boundary-Floodway Maps (FIRM and/or FBFM) dated 01-17-2025 and any revisions thereto are hereby adopted by reference and declared to be a part of this ordinance.

#### **SECTION C. ESTABLISHMENT OF DEVELOPMENT PERMIT**

A Floodplain Development Permit shall be required to ensure conformance with the provisions of this ordinance.

#### **SECTION D. COMPLIANCE**

No structure or land shall hereafter be located, altered, or have its use changed without full compliance with the terms of this ordinance and other applicable regulations.

#### **SECTION E. ABROGATION AND GREATER RESTRICTIONS**

This ordinance is not intended to repeal, abrogate, or impair any existing easements, covenants, or deed restrictions. However, where this ordinance and another ordinance, easement, covenant, or deed restriction conflict or overlap, whichever imposes the more stringent restrictions shall prevail.

#### **SECTION F. INTERPRETATION**

In the interpretation and application of this ordinance, all provisions shall be;

- (1) considered as minimum requirements;

- (2) liberally construed in favor of the governing body; and
- (3) deemed neither to limit nor repeal any other powers granted under State statutes.

#### **SECTION G. WARNING AND DISCLAIMER OR LIABILITY**

The degree of flood protection required by this ordinance is considered reasonable for regulatory purposes and is based on scientific and engineering considerations. On rare occasions greater floods can and will occur and flood heights may be increased by man-made or natural causes. This ordinance does not imply that land outside the areas of special flood hazards or uses permitted within such areas will be free from flooding or flood damages. This ordinance shall not create liability on the part of the community or any official or employee thereof for any flood damages that result from reliance on this ordinance, or any administrative decision lawfully made hereunder.

### **ARTICLE 4 ADMINISTRATION**

#### **SECTION A. DESIGNATION OF THE FLOODPLAIN ADMINISTRATOR**

The Code Administrator is hereby appointed the Floodplain Administrator to administer and implement the provisions of this ordinance and other appropriate sections of 44 CFR (Emergency Management and Assistance - National Flood Insurance Program Regulations) pertaining to floodplain management.

#### **SECTION B. DUTIES & RESPONSIBILITIES OF THE FLOODPLAIN ADMINISTRATOR**

Duties and responsibilities of the Floodplain Administrator shall include, but not be limited to, the following:

1. Maintain and hold open for public inspection all records pertaining to the provisions of this ordinance.
2. Review permit application to determine whether to ensure that the proposed building site project, including the placement of manufactured homes, will be reasonably safe from flooding.
3. Review, approve or deny all applications for development permits required by adoption of this ordinance.
4. Review permits for proposed development to assure that all necessary permits have been obtained from those Federal, State or local governmental agencies (including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. 1334) from which prior approval is required.
5. Where interpretation is needed as to the exact location of the boundaries of the areas of special flood hazards (for example, where there appears to be a conflict between a mapped boundary and actual field conditions) the Floodplain Administrator shall make the necessary interpretation.
6. Notify, in riverine situations, adjacent communities and the State Coordinating Agency which is the Texas Water Development Board (TWDB) and also the Texas Commission on Environmental Quality (TCEQ), prior to any alteration or relocation of a watercourse, and submit evidence of such notification to the Federal Emergency Management Agency.
7. Assure that the flood carrying capacity within the altered or relocated portion of any watercourse is maintained.
8. When base flood elevation data has not been provided in accordance with Article 3, Section B, the Floodplain Administrator shall obtain, review and reasonably utilize any base flood elevation data and floodway data available from a Federal, State or other source, in order to administer the provisions of Article 5.
9. When a regulatory floodway has not been designated, the Floodplain Administrator must require that no new construction, substantial improvements, or other development (including fill) shall be

permitted within Zones A1-30 and AE on the community's FIRM, unless it is demonstrated that the cumulative effect of the proposed development, when combined with all other existing and anticipated development, will not increase the water surface elevation of the base flood more than one foot at any point within the community.

10. Under the provisions of 44 CFR Chapter 1, Section 65.12, of the National Flood Insurance Program regulations, a community may approve certain development in Zones A1-30, AE, AH, on the community's FIRM which increases the water surface elevation of the base flood by more than 1 foot, provided that the community **first** completes all of the provisions required by Section 65.12.

### **SECTION C. PERMIT PROCEDURES**

1. Application for a Floodplain Development Permit shall be presented to the Floodplain Administrator on forms furnished by him/her and may include, but not be limited to, plans in duplicate drawn to scale showing the location, dimensions, and elevation of proposed landscape alterations, existing and proposed structures, including the placement of manufactured homes, and the location of the foregoing in relation to areas of special flood hazard. Additionally, the following information is required:
  - a. Elevation (in relation to mean sea level), of the lowest floor (including basement) of all new and substantially improved structures;
  - b. Elevation in relation to mean sea level to which any nonresidential structure shall be floodproofed;
  - c. A certificate from a registered professional engineer or architect that the nonresidential floodproofed structure shall meet the floodproofing criteria of Article 5, Section B (2);
  - d. Description of the extent to which any watercourse or natural drainage will be altered or relocated as a result of proposed development;
  - e. Maintain a record of all such information in accordance with Article 4, Section (B)(1);
2. Approval or denial of a Floodplain Development Permit by the Floodplain Administrator shall be based on all of the provisions of this ordinance and the following relevant factors:
  - a. The danger to life and property due to flooding or erosion damage;
  - b. The susceptibility of the proposed facility and its contents to flood damage and the effect of such damage on the individual owner;
  - c. The danger that materials may be swept onto other lands to the injury of others;
  - d. The compatibility of the proposed use with existing and anticipated development;
  - e. The safety of access to the property in times of flood for ordinary and emergency vehicles;
  - f. The costs of providing governmental services during and after flood conditions including maintenance and repair of streets and bridges, and public utilities and facilities such as sewer, gas, electrical and water systems;
  - g. The expected heights, velocity, duration, rate of rise and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site;
  - h. The necessity to the facility of a waterfront location, where applicable;
  - i. The availability of alternative locations, not subject to flooding or erosion damage, for the proposed use.

### **SECTION D. VARIANCE PROCEDURES**

1. The Appeal Board, as established by the community, shall hear and render judgment on requests for variances from the requirements of this ordinance.
2. The Appeal Board shall hear and render judgment on an appeal only when it is alleged there is an error in any requirement, decision, or determination made by the Floodplain Administrator in the enforcement or administration of this ordinance.
3. Any person or persons aggrieved by the decision of the Appeal Board may appeal such decision in the courts of competent jurisdiction.

4. The Floodplain Administrator shall maintain a record of all actions involving an appeal and shall report variances to the Federal Emergency Management Agency upon request.
5. Variances may be issued for the reconstruction, rehabilitation or restoration of structures listed on the National Register of Historic Places or the State Inventory of Historic Places, without regard to the procedures set forth in the remainder of this ordinance.
6. Variances may be issued for new construction and substantial improvements to be erected on a lot of 1/2 acre or less in size contiguous to and surrounded by lots with existing structures constructed below the base flood level, providing the relevant factors in Section C (2) of this Article have been fully considered. As the lot size increases beyond the 1/2 acre, the technical justification required for issuing the variance increases.
7. Upon consideration of the factors noted above and the intent of this ordinance, the Appeal Board may attach such conditions to the granting of variances as it deems necessary to further the purpose and objectives of this ordinance (Article 1, Section C).
8. Variances shall not be issued within any designated floodway if any increase in flood levels during the base flood discharge would result.
9. Variances may be issued for the repair or rehabilitation of historic structures upon a determination that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and the variance is the minimum necessary to preserve the historic character and design of the structure
10. **Prerequisites for granting variances:**
  - a. Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief.
  - b. Variances shall only be issued upon: (i) showing a good and sufficient cause; (ii) a determination that failure to grant the variance would result in exceptional hardship to the applicant, and (iii) a determination that the granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, create nuisances, cause fraud on or victimization of the public, or conflict with existing local laws or ordinances.
  - c. Any application to which a variance is granted shall be given written notice that the structure will be permitted to be built with the lowest floor elevation below the base flood elevation, and that the cost of flood
  - d. insurance will be commensurate with the increased risk resulting from the reduced lowest floor elevation.
  - e. Variances may be issued by a community for new construction and substantial improvements and for other development necessary for the conduct of a functionally dependent use provided that (i) the criteria outlined in Article 4, Section D (1)-(9) are met, and (ii) the structure or other development is protected by methods that minimize flood damages during the base flood and create no additional threats to public safety.

## **ARTICLE 5**

### **PROVISIONS FOR FLOOD HAZARD REDUCTION SECTION A. GENERAL STANDARDS**

In all areas of special flood hazards the following provisions are required for all new construction and substantial improvements:

1. All new construction or substantial improvements shall be designed (or modified) and adequately anchored to prevent flotation, collapse or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;
2. All new construction or substantial improvements shall be constructed by methods and practices that minimize flood damage;
3. All new construction or substantial improvements shall be constructed with materials resistant to flood damage;

4. All new construction or substantial improvements shall be constructed with electrical, heating, ventilation, plumbing, and air conditioning equipment and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during conditions of flooding;
5. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the system;
6. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of flood waters into the system and discharge from the systems into flood waters; and,
7. On-site waste disposal systems shall be located to avoid impairment to them or contamination from them during flooding.

## **SECTION B. SPECIFIC STANDARDS**

In all areas of special flood hazards where base flood elevation data has been provided as set forth in (i) Article 3, Section B, (ii) Article 4, Section B (8), or (iii) Article 5, Section C (3), the following provisions are required:

1. **Residential Construction** - new construction and substantial improvement of any residential structure shall have the lowest floor (including basement), elevated to or above the base flood elevation. A registered professional engineer, architect, or land surveyor shall submit a certification to the Floodplain Administrator that the standard of this subsection as proposed in Article 4, Section C (1) a., is satisfied.
  
1. **Nonresidential Construction** - new construction and substantial improvements of any commercial, industrial or other nonresidential structure shall either have the lowest floor (including basement) elevated to or above the base flood level or together with attendant utility and sanitary facilities, be designed so that below the base flood level the structure is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. A registered professional engineer or architect shall develop and/or review structural design, specifications, and plans for the construction, and shall certify that the design and methods of construction are in accordance with accepted standards of practice as outlined in this subsection. A record of such certification which includes the specific elevation (in relation to mean sea level) to which such structures are floodproofed shall be maintained by the Floodplain Administrator.
2. **Enclosures** - new construction and substantial improvements, with fully enclosed areas below the lowest floor that are usable solely for parking of vehicles, building access or storage in an area other than a basement and which are subject to flooding shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect or meet or exceed the following minimum criteria:
  - a. A minimum of two openings on separate walls having a total net area of not less than 1 square inch for every square foot of enclosed area subject to flooding shall be provided.
  - b. The bottom of all openings shall be no higher than 1 foot above grade.
  - c. Openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters.
  
3. **Manufactured Homes** -
  - a. Require that all manufactured homes to be placed within Zone A on a community's FHBM or FIRM shall be installed using methods and practices which minimize flood damage. For the purposes of this requirement, manufactured homes must be elevated and anchored to resist flotation, collapse, or lateral movement. Methods of anchoring may include, but are not limited to, use of over-the-top or frame ties to ground anchors. This

requirement is in addition to applicable State and local anchoring requirements for resisting wind forces.

- b. Require that manufactured homes that are placed or substantially improved within Zones A1-30, AH, and AE on the community's FIRM on sites (i) outside of a manufactured home park or subdivision, (ii) in a new manufactured home park or subdivision, (iii) in an expansion to an existing manufactured home park or subdivision, or (iv) in an existing manufactured home park or subdivision on which a manufactured home has incurred "substantial damage" as a result of a flood, be elevated on a permanent foundation such that the lowest floor of the manufactured home is elevated to or above the base flood elevation and be securely anchored to an adequately anchored foundation system to resist flotation, collapse, and lateral movement.
  - c. Require that manufactured homes be placed or substantially improved on sites in an existing manufactured home park or subdivision with Zones A1-30, AH and AE on the community's FIRM that are not subject to the provisions of paragraph (4) of this section be elevated so that either:
    - i. the lowest floor of the manufactured home is at or above the base flood elevation, or
    - ii. the manufactured home chassis is supported by reinforced piers or other foundation elements of at least equivalent strength that are no less than 36 inches in height above grade and be securely anchored to an adequately anchored foundation system to resist flotation, collapse, and lateral movement.
4. **Recreational Vehicles** - Require that recreational vehicles placed on sites within Zones A1-30, AH, and AE on the community's FIRM either (i) be on the site for fewer than 180 consecutive days, or (ii) be fully licensed and ready for highway use, or (iii) meet the permit requirements of Article 4, Section C (1), and the elevation and anchoring requirements for "manufactured homes" in paragraph (4) of this section. A recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices and has no permanently attached additions.

### **SECTION C. STANDARDS FOR SUBDIVISION PROPOSALS**

1. All subdivision proposals including the placement of manufactured home parks and subdivisions shall be consistent with Article 1, Sections B, C, and D of this ordinance.
2. All proposals for the development of subdivisions including the placement of manufactured home parks and subdivisions shall meet Floodplain Development Permit requirements of Article 3, Section C; Article 4, Section C; and the provisions of Article 5 of this ordinance.
3. Base flood elevation data shall be generated for subdivision proposals and other proposed development including the placement of manufactured home parks and subdivisions which is greater than 50 lots or 5 acres, whichever is lesser, if not otherwise provided pursuant to Article 3, Section B or Article 4, Section B (8) of this ordinance.
4. All subdivision proposals including the placement of manufactured home parks and subdivisions shall have adequate drainage provided to reduce exposure to flood hazards.
5. All subdivision proposals including the placement of manufactured home parks and subdivisions shall have public utilities and facilities such as sewer, gas, electrical and water systems located and constructed to minimize or eliminate flood damage.

### **SECTION D. STANDARDS FOR AREAS OF SHALLOW FLOODING (AO/AH ZONES)**

Located within the areas of special flood hazard established in Article 3, Section B, are areas designated as shallow flooding. These areas have special flood hazards associated with flood depths of 1 to 3 feet where a clearly defined channel does not exist, where the path of flooding is unpredictable, and where velocity flow may be evident. Such flooding is characterized by ponding or sheet flow; therefore, the following provisions apply:

1. All new construction and substantial improvements of **residential** structures have the lowest floor (including basement) elevated to or above the base flood elevation or the highest adjacent grade at least as high as the depth number specified in feet on the community's FIRM (at least 2 feet if no depth number is specified).
2. All new construction and substantial improvements of **non-residential** structures;
  - a. have the lowest floor (including basement) elevated to or above the base flood elevation or the highest adjacent grade at least as high as the depth number specified in feet on the community's FIRM (at least 2 feet if no depth number is specified), or
  - b. together with attendant utility and sanitary facilities be designed so that below the base specified flood depth in an AO Zone, or below the Base Flood Elevation in an AH Zone, level the structure is watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads of effects of buoyancy.
3. A registered professional engineer or architect shall submit a certification to the Floodplain Administrator that the standards of this Section, as proposed in Article 4, Section C are satisfied.
4. Require within Zones AH or AO adequate drainage paths around structures on slopes, to guide flood waters around and away from proposed structures.

#### **SECTION E. FLOODWAYS**

Floodways - located within areas of special flood hazard established in Article 3, Section B, are areas designated as floodways. Since the floodway is an extremely hazardous area due to the velocity of flood waters which carry debris, potential projectiles and erosion potential, the following provisions shall apply:

1. Encroachments are prohibited, including fill, new construction, substantial improvements and other development within the adopted regulatory floodway unless it has been demonstrated through hydrologic and hydraulic analyses performed in accordance with standard engineering practice that the proposed encroachment would not result in any increase in flood levels within the community during the occurrence of the base flood discharge.
2. If Article 5, Section E (1) above is satisfied, all new construction and substantial improvements shall comply with all applicable flood hazard reduction provisions of Article 5.
3. Under the provisions of 44 CFR Chapter 1, Section 65.12, of the National Flood Insurance Program Regulations, a community may permit encroachments within the adopted regulatory floodway that would result in an increase in base flood elevations, provided that the community **first** completes all of the provisions required by Section 65.12.

#### **SECTION F. SEVERABILITY**

If any section, clause, sentence, or phrase of this Ordinance is held to be invalid or unconstitutional by any court of competent jurisdiction, then said holding shall in no way affect the validity of the remaining portions of this Ordinance.

#### **SECTION G. PENALTIES FOR NON-COMPLIANCE**

No structure or land shall hereafter be constructed, located, extended, converted, or altered without full compliance with the terms of this court order and other applicable regulations. Violation of the provisions of this court order by failure to comply with any of its requirements (including violations of conditions and safeguards established in connection with conditions) shall constitute a misdemeanor. Any person who violates this court order or fails to comply with any of its requirements shall upon conviction thereof be fined not more than \$500.00 for each violation, and in addition shall pay all costs and expenses involved in the case. Nothing herein contained shall prevent the City Council from taking such other lawful action as is necessary to prevent or remedy any violation.

**SECTION H. CERTIFICATION OF ADOPTION**

**APPROVED:** \_\_\_\_\_  
**(Mayor Jeff Rasco)**

**PASSED:** \_\_\_\_\_  
**(Date)**

**ORDINANCE BECOMES EFFECTIVE:** \_\_\_\_\_  
**(Date)**

I, the undersigned, Jim Burton, do hereby certify that the above is a true and correct copy of an ordinance duly adopted by the City of Woodcreek, at a regular meeting duly convened on October 9th 2024.

\_\_\_\_\_  
Jim Burton, Acting City Administrator and Acting City Secretary





CITY OF WOODCREEK, TEXAS  
RESOLUTION NO. 2024-XX

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**A RESOLUTION TO ALLOCATE THE CITY'S AMERICAN RESCUE PLAN ACT (ARPA) FUNDS TO THE LOST REVENUE CATEGORY**

WHEREAS, the American Rescue Plan Act (ARPA) was signed into law by President Biden in March 2021 to provide emergency funding to state and local governments in response to the COVID-19 pandemic; and

WHEREAS, under ARPA, non-entitlement units of government (NEUs), such as the City of Woodcreek, were provided funding through the State and Local Fiscal Recovery Funds (SLFRF) to mitigate the fiscal impacts of the public health emergency; and

WHEREAS, ARPA permits local governments to use the funds for a variety of purposes, including replacement of lost revenue to fund government services; and

WHEREAS, the U.S. Department of the Treasury's final rule on ARPA funds allows recipients to elect a standard allowance of up to \$10 million for revenue loss, providing flexibility in the use of these funds for government services; and

WHEREAS, the City of Woodcreek has determined that allocating its ARPA funds to lost revenue replacement is the best use of these funds to maintain essential public services and support the long-term financial health of the City; and

WHEREAS, this allocation of ARPA funds will enable the City of Woodcreek to continue providing necessary government services to its residents without further strain on local revenues;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF WOODCREEK, TEXAS:**

1. **Allocation of ARPA Funds:** The City Council hereby elects to allocate the entire amount of ARPA funds received by the City of Woodcreek to the lost revenue replacement category as provided for under the U.S. Department of Treasury's final rule on ARPA funds.
2. **Use of Funds:** These funds shall be used for the provision of government services in accordance with ARPA guidelines and the specific needs of the City of Woodcreek as determined by the City Council.
3. **Implementation:** The City Administrator is hereby authorized to take all necessary actions to implement this resolution and ensure compliance with all applicable laws and reporting requirements related to the use of ARPA funds.

PASSED AND APPROVED this \_\_\_ day of \_\_\_\_\_, 2024, by a record vote of the City Council of Woodcreek, Texas.

WOODCREEK, TEXAS

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PLACE 37  
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By: \_\_\_\_\_  
*Jeff Rasco, Mayor*

**ATTEST:**

\_\_\_\_\_  
*City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
*City Attorney's Office*