



PLANNING AND ZONING COMMISSION AUGUST 13, 2024

August 13, 2024 at 5:30 PM

Wolfforth City Hall - 302 Main Street Wolfforth, TX

AGENDA

CALL MEETING TO ORDER

ROLL CALL AND ESTABLISH A QUORUM

CITIZEN ENGAGEMENT

This is an opportunity for the public to address the Planning and Zoning Commission regarding an item on the agenda, except public hearings that are included on the agenda. Comments related to public hearings will be heard when the specific hearing begins. Citizen comments are limited to three (3) minutes per speaker, unless the speaker requires the assistance of a translator, in which case the speaker is limited to six (6) minutes, in accordance with applicable law. Each speaker shall approach the designated speaker location, complete the citizen engagement sign in sheet and state his/her name and city of residence before speaking. Speakers shall address the Planning and Zoning Commission with civility that is conducive to appropriate public discussion. Speakers can address only the Planning and Zoning Commission and not individual city officials or employees. The public cannot speak from the gallery but only from the designated speaker location.

ITEMS FOR INDIVIDUAL CONSIDERATION

1. Consider and take appropriate actions on minutes of the Planning and Zoning Commission meeting from July 9, 2024.
2. Consider and take appropriate action on final plat The Overlook, Lots 342-A through 389-A, a replat of lots 342 through 390 of the Overlook, Lots 179-390.
3. Consider and take appropriate action on revisions to rough draft of an amendment to the Wolfforth Code of Ordinances, Article 14.03 Use Regulations.

ADJOURN

In accordance with the Americans with Disability Act any person with a disability requiring reasonable accommodation to participate in this meeting should call the City Secretary at 806-855-4120 or send written request to P.O. Box 36 Wolfforth Texas 79382 at least 48 hours in advance of the meeting date.

Certification

I, the undersigned authority do hereby certify that the Notice of Meeting was posted at City Hall of the City of Wolfforth, Texas was posted on August 9, 2023 at 5:00 p.m.

/s/ Tara Tomlinson, Director of Development Services



PLANNING AND ZONING COMMISSION JULY 9, 2024

July 09, 2024 at 5:30 PM

Wolfforth City Hall - 302 Main Street Wolfforth, TX

MINUTES

CALL MEETING TO ORDER

Kyle Reeves called the meeting to order at 5:32.

ROLL CALL AND ESTABLISH A QUORUM

CITIZEN ENGAGEMENT

This is an opportunity for the public to address the Planning and Zoning Commission regarding an item on the agenda, except public hearings that are included on the agenda. Comments related to public hearings will be heard when the specific hearing begins. Citizen comments are limited to three (3) minutes per speaker, unless the speaker requires the assistance of a translator, in which case the speaker is limited to six (6) minutes, in accordance with applicable law. Each speaker shall approach the designated speaker location, complete the citizen engagement sign in sheet and state his/her name and city of residence before speaking. Speakers shall address the Planning and Zoning Commission with civility that is conducive to appropriate public discussion. Speakers can address only the Planning and Zoning Commission and not individual city officials or employees. The public cannot speak from the gallery but only from the designated speaker location.

No one participated in citizen engagement.

ITEMS FOR INDIVIDUAL CONSIDERATION

1. Consider and take appropriate action on minutes of the Planning and Zoning Commission meeting from June 11, 2024.

Motion made by Charlotte McDonald, second by Russell Dabbs to approve minutes from June 11, 2024. Motion carried unanimously.

2. Consider and take appropriate action on discussion of amendment to the Wolfforth Code of Ordinances, Article 14.03 Use Regulations.

Tara Tomlinson reported on new mixed use zoning category. The following revisions were suggested:

1. Add description of where drive-throughs can be located on site plan.
2. Change "Event Center/Rental Hall" to Special Use Permit.
3. Change "Alley Walkways" to say "Pedestrian Access".
4. Specify that the Pedestrian Access will be concreted.
5. Make sidewalk sales permit required for each event.
6. Awnings will either follow standards in current Code of Ordinances or go fully to the edge of the sidewalk near the curb.

Other items to research include Beauty shops/Nail salons, driveway access requirements to parking area, and design requirements for full awnings.

3. Consider and take appropriate action on final plat for Aidan Addition (Chelo's).

Motion was made by Michael Adams, second by Charlotte McDonald to recommend approval of Aidan Addition plat. Motion carried unanimously.

ADJOURN

Motion by Charlotte McDonald, second by Russell Dabbs to adjourn the meeting at 6:19 pm. Motion carried unanimously.

In accordance with the Americans with Disability Act any person with a disability requiring reasonable accommodation to participate in this meeting should call the City Secretary at 806-855-4120 or send written request to P.O. Box 36 Wolfforth Texas 79382 at least 48 hours in advance of the meeting date.

Certification

I, the undersigned authority do hereby certify that the Notice of Meeting was posted at City Hall of the City of Wolfforth, Texas was posted on July 5, 2024 at 5:00 p.m.

Kyle Reeves, Chair of Planning and Zoning Commission

ATTEST:

Tara Tomlinson, Director of Development Services



AGENDA ITEM COMMENTARY

MEETING NAME:	Planning and Zoning Commission
MEETING DATE:	August 13, 2024
ITEM TITLE:	Consider and take appropriate action on final plat The Overlook, Lots 342-A through 389-A, a replat of lots 342 through 390 of the Overlook, Lots 179-390.
STAFF INITIATOR:	Tara Tomlinson, Director of Development Services

BACKGROUND:

The attached plat has been reviewed by staff and third parties and meets the City's ordinances for approval with attached address changes. Per City of WolfForth's Code of Ordinances, approval by Planning and Zoning Commission shows that the plat meets all ordinances.

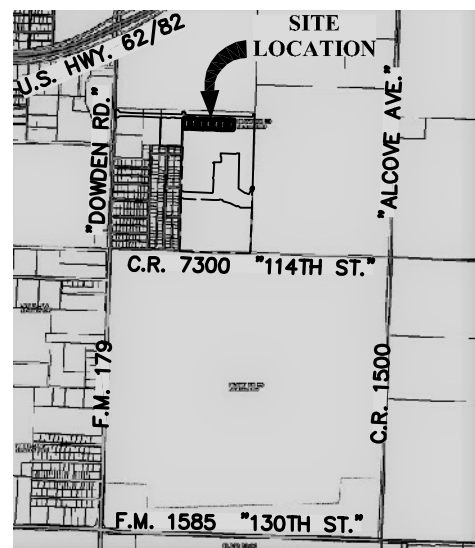
The attached plat is part of an amendment to the original plat. The lots are changing from townhomes to single family.

EXHIBITS:

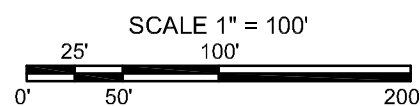
1. New amended proposed plat
2. Original plat

COMMITTEE ACTION/STAFF RECOMMENDATION:

Staff advises review of The Overlook, Lots 342-A through 389-A, a replat of lots 342 through 390 of the Overlook, Lots 179-390 plat and recommends approval to City Council.



VICINITY MAP
NOT TO SCALE



THE OVERLOOK, LOTS 342-A THROUGH 389-A,

A REPLAT OF LOTS 342 THROUGH 390
OF THE OVERLOOK, LOTS 179 THROUGH 390,

AN ADDITION TO THE CITY OF WOLFFORTH, LUBBOCK COUNTY, TEXAS

(ORIGINAL PLAT PREVIOUSLY RECORDED IN COUNTY CLERK'S PLAT AND DEDICATION NUMBER 2023033089 OF
THE OFFICIAL PUBLIC RECORDS OF LUBBOCK COUNTY, TEXAS)

PLAT CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	40.00'	26.06'	37°19'40"	25.60'	S. 20°30'49" W.
C2	43.00'	191.12'	254°39'19"	68.39'	S. 88°09'00" E.
C3	40.00'	26.06'	37°19'40"	25.60'	N. 16°48'50" W.

LOT CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C4	40.00'	21.31'	30°31'42"	21.06'	N. 13°24'51" W.
C5	40.00'	4.75'	6°47'58"	4.74'	N. 32°04'41" W.
C6	43.00'	43.33'	57°43'45"	41.52'	N. 06°36'47" W.
C7	43.00'	52.23'	69°35'54"	49.08'	N. 57°03'02" E.
C8	43.00'	52.23'	69°35'59"	49.08'	S. 53°21'01" E.
C9	43.00'	43.32'	57°43'41"	41.51'	S. 10°18'49" W.
C10	40.00'	4.75'	6°48'02"	4.74'	S. 35°46'38" W.
C11	40.00'	21.31'	30°31'37"	21.06'	S. 17°06'48" W.
C12	40.00'	21.30'	30°30'59"	21.05'	S. 13°24'30" E.
C13	40.00'	4.76'	6°48'41"	4.75'	N. 32°04'20" W.
C14	43.00'	43.32'	57°43'09"	41.51'	N. 06°37'06" W.
C15	43.00'	52.24'	69°36'31"	49.09'	N. 57°02'44" E.
C16	43.00'	52.24'	69°36'35"	49.09'	S. 53°20'43" E.
C17	43.00'	43.32'	57°43'04"	41.51'	S. 10°19'07" W.
C18	40.00'	4.76'	6°48'45"	4.75'	S. 35°46'17" W.
C19	40.00'	21.30'	30°30'55"	21.05'	S. 17°06'27" W.

PLAT LINE TABLE		
LINE	BEARING	DISTANCE
L1	S. 43°08'59" E.	14.14'
L2	S. 46°51'00" W.	21.21'
L3	N. 43°09'00" W.	21.21'
L4	N. 01°51'00" E.	203.01'
L5	N. 46°51'01" E.	14.14'
L6	S. 43°08'59" E.	21.21'
L7	S. 01°51'00" W.	99.68'
L8	N. 01°51'00" E.	99.68'
L9	N. 46°51'01" E.	21.21'
L10	S. 01°51'00" W.	203.01'
L11	N. 43°09'00" W.	14.14'
L12	S. 46°51'00" W.	14.14'
L13	N. 01°51'00" E.	203.02'
L14	S. 01°51'00" W.	99.69'
L15	N. 01°51'00" E.	99.69'
L16	S. 01°51'00" W.	203.02'

LOT LINE TABLE		
LINE	BEARING	DISTANCE
L17	N. 01°51'00" E.	20.00'

NOTE

ALL TPE'S WERE PREVIOUSLY DEDICATED WITH THE ORIGINAL PLAT RECORDED IN COUNTY CLERK'S PLAT AND DEDICATION NUMBER 2023033089:

- TPE 1 = SOUTH LINE OF TPE 1 IS 19.00' NORTH OF THE SOUTH LINE OF LOT 351-A
- TPE 2 = NORTH LINE OF TPE 2 IS 12.00' SOUTH OF THE NORTH LINE OF LOT 353-A
- TPE 3 = SOUTH LINE OF TPE 3 IS 10.00' NORTH OF THE SOUTH LINE OF LOT 365-A
- TPE 4 = NORTH LINE OF TPE 4 IS ON THE NORTH LINE OF LOT 367-A
- TPE 5 = SOUTH LINE OF TPE 5 IS 19.00' NORTH OF THE SOUTH LINE OF LOT 379-A
- TPE 6 = NORTH LINE OF TPE 6 IS 12.00' SOUTH OF THE NORTH LINE OF LOT 381-A

NOTES:

- HEAVY LINES INDICATE PLAT LIMITS.
- ALL STREETS, ALLEYS, AND EASEMENTS WITHIN PLAT LIMITS ARE HEREIN DEDICATED, UNLESS NOTED OTHERWISE.
- NO BUILDING PERMIT SHALL BE ISSUED ON ANY SURVEY CERTIFICATE THAT IS NOT IN ACCORDANCE WITH THIS FINAL PLAT.
- ANY RELOCATION OR REVISION OF EXISTING FACILITIES SHALL BE THE SUBDIVIDER'S EXPENSE. COMPENSATION SHALL BE MADE PRIOR TO RECORDING OF THIS FINAL PLAT.
- ALL EXISTING OR PROPOSED UTILITY SERVICES TO AND ON TRACTS INDICATED BY THIS PLAT SHALL BE CONTAINED IN THE PUBLIC RIGHT-OF-WAY AND PUBLIC OR PRIVATE UTILITY EASEMENTS. UTILITY SERVICE INSTALLATION REQUESTED AT A FUTURE DATE AND NOT WITHIN AN EASEMENT INDICATED BY THIS PLAT, SHALL BE WITHIN A PROPER UTILITY EASEMENT GRANTED BY THE OWNER OF SAID PROPERTY BY SEPARATE RECORDED INSTRUMENT PRIOR TO THE PROVISION OF SUCH SERVICE. SUCH EASEMENTS SHALL BE AT THE EXPENSE OF THE ENTITY REQUESTING SUCH INSTALLATION.
- ALL EASEMENTS HEREIN GRANTED SHALL ENTITLE THE CITY OR THE UTILITY COMPANY USING SUCH EASEMENTS TO THE RIGHT TO REMOVE, REPAIR OR REPLACE ANY LINES, PIPES, CONDUITS, OR POLES WITHIN SUCH EASEMENTS AS MAY BE DETERMINED BY THE CITY OR UTILITY COMPANY WITHOUT THE CITY OR UTILITY COMPANY BEING RESPONSIBLE OR LIABLE FOR THE REPLACEMENT OF IMPROVEMENTS, PAVING OR SURFACING OF THE EASEMENT NECESSITATED BY SUCH REPAIR, REMOVAL, OR REPLACEMENT. EASEMENTS DESIGNATED OR INTENDED FOR VEHICULAR PASSAGE (UTILITY AND EMERGENCY) OR PEDESTRIAN ACCESS SHALL NOT BE FENCED OR OTHERWISE OBSTRUCTED.
- ANY EASEMENTS OR RIGHTS-OF-WAY SHOWN AS "TO BE DEDICATED BY SEPARATE INSTRUMENT" ARE SHOWN ON THE PLAT FOR INFORMATION PURPOSES ONLY. THIS PLAT DOES NOT DEDICATE SAID EASEMENTS.
- IN ORDER TO PREVENT DAMAGE TO PUBLIC AND PRIVATE UTILITIES AND TO MINIMIZE AND OR ELIMINATE INTERRUPTION OF UTILITY SERVICES, THE CITY OF WOLFFORTH REQUESTS THAT NO UTILITY RISERS, METER BASES, PEDESTALS, ETC., PUBLIC OR PRIVATE, BE PLACED IN THE CHAMFERED CORNERS OF ALLEY WAYS.

- CCFN = COUNTY CLERK'S FILE NUMBER
- P&D = COUNTY CLERK'S PLAT AND DEDICATION NUMBER
- R-O-W = RIGHT-OF-WAY
- TPE = 4' X 6' (MINIMUM) TRANSFORMER PAD EASEMENT (SPEC), INDICATED BY SYMBOL ☒
- USE = UNDERGROUND STREETLIGHT CABLE EASEMENT
- SPEC = SOUTH PLAINS ELECTRIC COOPERATIVE

ALL CORNERS ARE MONUMENTED WITH 1/2" IRON RODS WITH CAPS MARKED "AMD ENGINEERING", EITHER FOUND OR SET, UNLESS OTHERWISE NOTED.
BEARINGS AND COORDINATES SHOWN HEREON ARE RELATIVE TO THE TEXAS COORDINATE SYSTEM OF 1983 (2011), TEXAS NORTH CENTRAL ZONE, AS DETERMINED BY A POINT OF ORIGIN LOCATED AT NORTHING: 7,245,217.570 AND EASTING: 899,519.772. THE CONVERGENCE ANGLE TO TRUE NORTH IS (-)01° 54' 46.24" AND THE COMBINED SCALE FACTOR IS 0.99974921.
DISTANCES SHOWN HEREON ARE AT SURFACE, IN U.S. SURVEY FEET.
THESE PLAT LIMITS CONTAIN A TOTAL OF 4.693 ACRES OF LAND IN AGGREGATE OF FIVE PARCELS. DESCRIPTION OF THESE PLAT LIMITS ARE ON A SEPARATE DOCUMENT, OF SAME DATE HEREWITH.

KNOW ALL MEN BY THESE PRESENTS:
THAT I, LONDON MERRITT, REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACCURATE AND CORRECT SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS AND/OR OTHER CONTROL SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF WOLFFORTH, TEXAS.

REGISTERED PROFESSIONAL LAND SURVEYOR # 6466
LUBBOCK, TEXAS
SURVEYED: AUGUST 8, 2023

**PLAT FOR REVIEW,
DO NOT RECORD P.M.
05/20/2024 @**

APPROVED THIS _____ DAY OF _____, 20____,
BY THE CITY COUNCIL OF THE CITY OF WOLFFORTH, TEXAS.

APPROVED:

MAYOR

ATTEST:

CITY SECRETARY

SECTION 24, BLOCK AK, HE & WT RR. Co., ABSTRACT No. 885



CIVIL ENGINEERING
LAND SURVEYING

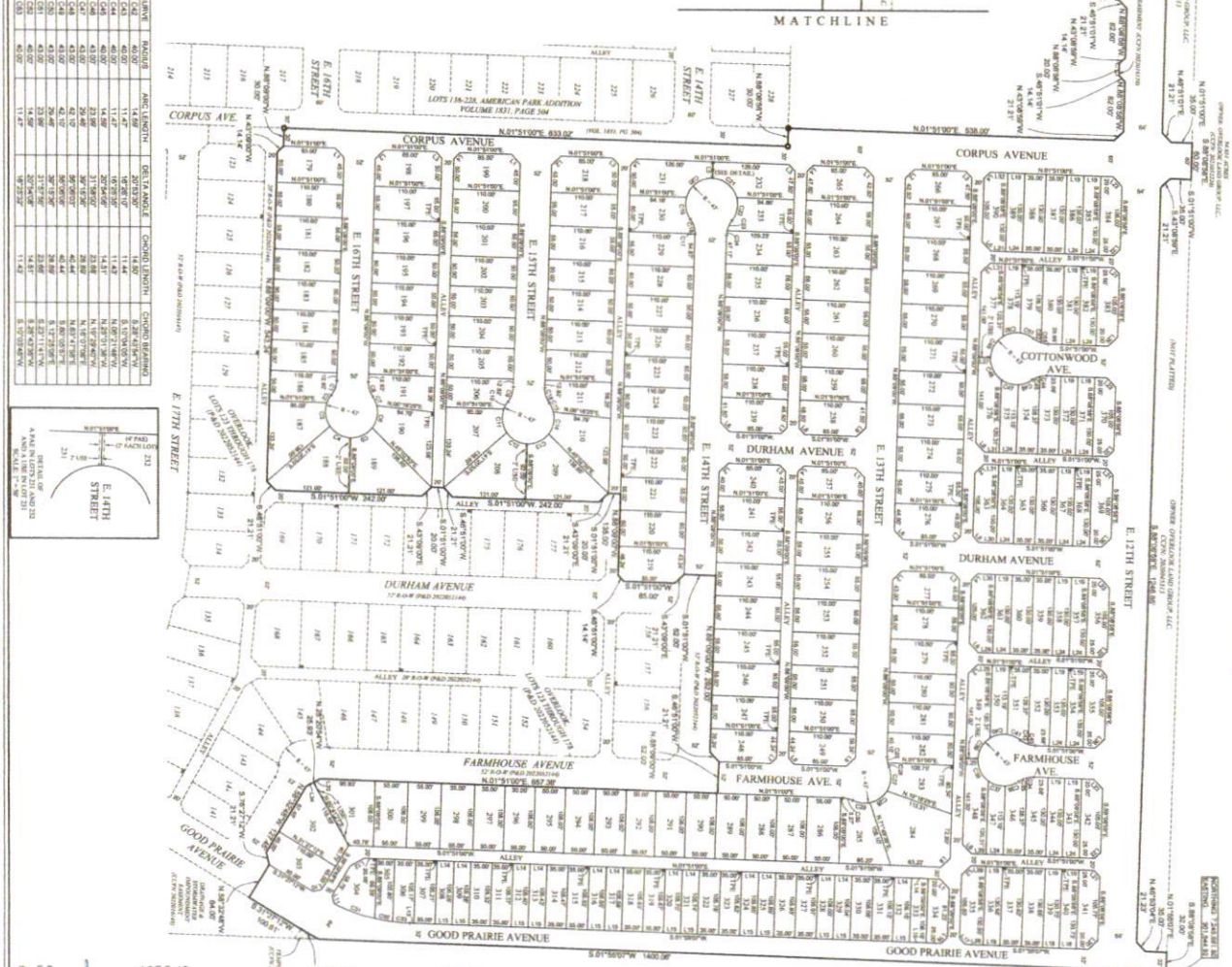
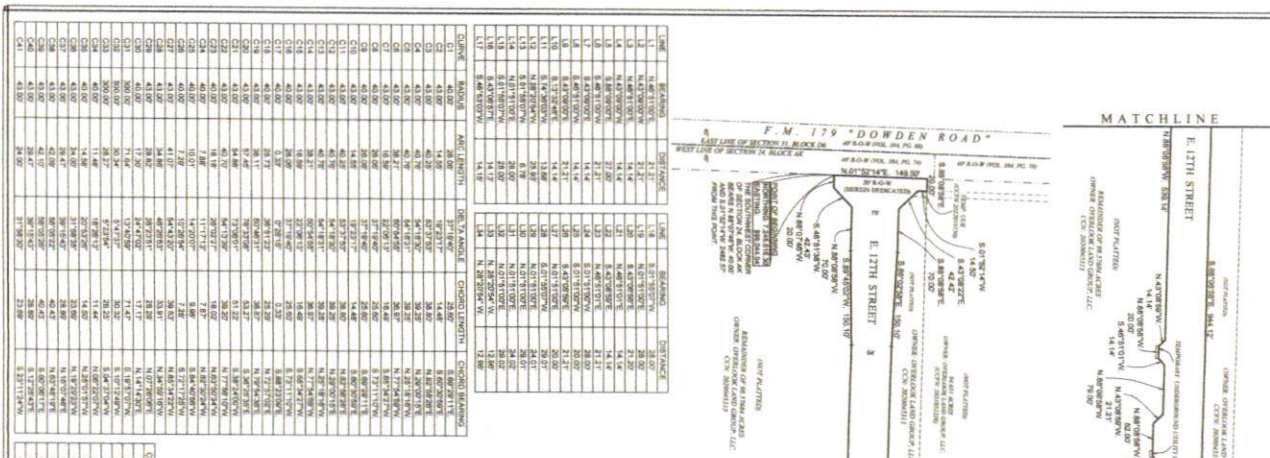
AMD Engineering, LLC
6515 68th Street, Suite 300
Lubbock, TX 79424

Phone: 806-771-5976
Fax: 806-771-7625
TBPELS Reg. # 10178500

Accuracy - Efficiency - Integrity

PROPERTY OWNER: OVERLOOK LAND DEVELOPMENT GROUP, LLC.
ADDRESS: P.O. BOX 53417, LUBBOCK, TEXAS 79453
PHONE: 806-781-7928
JOB NUMBER: 240233

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NOT PLATTED 163.410 ACRES
 RECORD OWNER: OVERLOOK LAND GROUP, LLC
 CCN: 202109422

NOT PLATTED 163.410 ACRES
 RECORD OWNER: OVERLOOK LAND GROUP, LLC
 CCN: 202109422

THE OVERLOOK,
 LOTS 179 THROUGH 390,
 AN ADDITION TO THE CITY OF WOLFORTH,
 LIBBICK COUNTY, TEXAS

CITY OF WOLFORTH
 BEING PART OF THE COUNTY OF LIBBICK COUNTY, TEXAS

NOTES:

1. HEAVY LINES INDICATE PLAT LIMITS.
2. ALL LOTS ARE TO BE CONVEYED TO THE CITY OF WOLFORTH BY DEED.
3. NO SAVING RESERVATION OR EASEMENT SHALL BE MADE IN ACCORDANCE WITH THIS PLAT.
4. ALL EASEMENTS ON RECORD OR OTHERWISE ACQUIRED BY THE CITY OF WOLFORTH SHALL BE SHOWN ON THIS PLAT.
5. ALL EASEMENTS ON RECORD OR OTHERWISE ACQUIRED BY THE CITY OF WOLFORTH SHALL BE SHOWN ON THIS PLAT.
6. ALL EASEMENTS ON RECORD OR OTHERWISE ACQUIRED BY THE CITY OF WOLFORTH SHALL BE SHOWN ON THIS PLAT.
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9. ALL EASEMENTS ON RECORD OR OTHERWISE ACQUIRED BY THE CITY OF WOLFORTH SHALL BE SHOWN ON THIS PLAT.
10. ALL EASEMENTS ON RECORD OR OTHERWISE ACQUIRED BY THE CITY OF WOLFORTH SHALL BE SHOWN ON THIS PLAT.

APPROVED THIS 14th DAY OF August, 2023.

ATTEST:

CITY SECRETARY

REGISTERED PROFESSIONAL LAND SURVEYOR AND SURVEYOR #448
 LIBBICK COUNTY, TEXAS
 BRAWLEY, ALBERT J. 3033

AMID
 CIVIL ENGINEERING
 LAND SURVEYING
 10101 W. STATE ST. SUITE 100
 FORT WORTH, TEXAS 76134
 (817) 336-1111
 WWW.AMIDLANDSURVEYING.COM



AGENDA ITEM COMMENTARY

MEETING NAME:	Planning and Zoning Commission
MEETING DATE:	August 13, 2024
ITEM TITLE:	Consider and take appropriate action on revisions to rough draft of an amendment to the Wolfforth Code of Ordinances, Article 14.03 Use Regulations.
STAFF INITIATOR:	Tara Tomlinson, Director of Development Services

BACKGROUND:

In July 2024, Planning and Zoning Commission was presented with a proposed Old Town Mixed Use category. After discussion, several revisions were suggested. Attached are amendments to the original document. Changes are shown in yellow and diagrams have been added for clarification on setback requirements.

The following revisions were suggested:

1. Add description of where drive-throughs can be located on site plan.
2. Change "Event Center/Rental Hall" to Special Use Permit.
3. Change "Alley Walkways" to say "Pedestrian Access".
4. Specify that the Pedestrian Access will be concreted.
5. Make sidewalk sales permit required for each event.

6. Awnings will either follow standards in current Code of Ordinances or go fully to the edge of the sidewalk near the curb.

EXHIBITS:

1. Revised proposed Old Town Mixed Use

COMMITTEE ACTION/STAFF RECOMMENDATION:

Approve changes and make and further recommendations.

14.03.XXX- Old Town Mixed-Use District (OTM)

(a) Purpose- The Old Town Mixed-Use District is intended to serve as a mixed-use community commercial center. Mutually supportive office, civic, cultural, entertainment, and residential uses are planned to enhance the viability of this mixed-use community commercial center. Multiple, complementary uses may be mixed vertically with the same building. This form of development is arranged around a connected street and sidewalk network that serves vehicle, pedestrian, and bicycle transportation.

(b) Allowed Uses- Uses in Old Town Mixed-Use District shall be generally pedestrian oriented and encourage pedestrian traffic. Any use or combination of uses otherwise authorized by these zoning regulations is allowed. Uses with drive-through lanes are discouraged in town center, are permitted only by Special Use Permit. If such uses are allowed by approval, the use must be mitigated with special design features during site plan review **and located at the endcaps of the building site plan.**

(c) Use table- Old Town Mixed-Use Zoning District

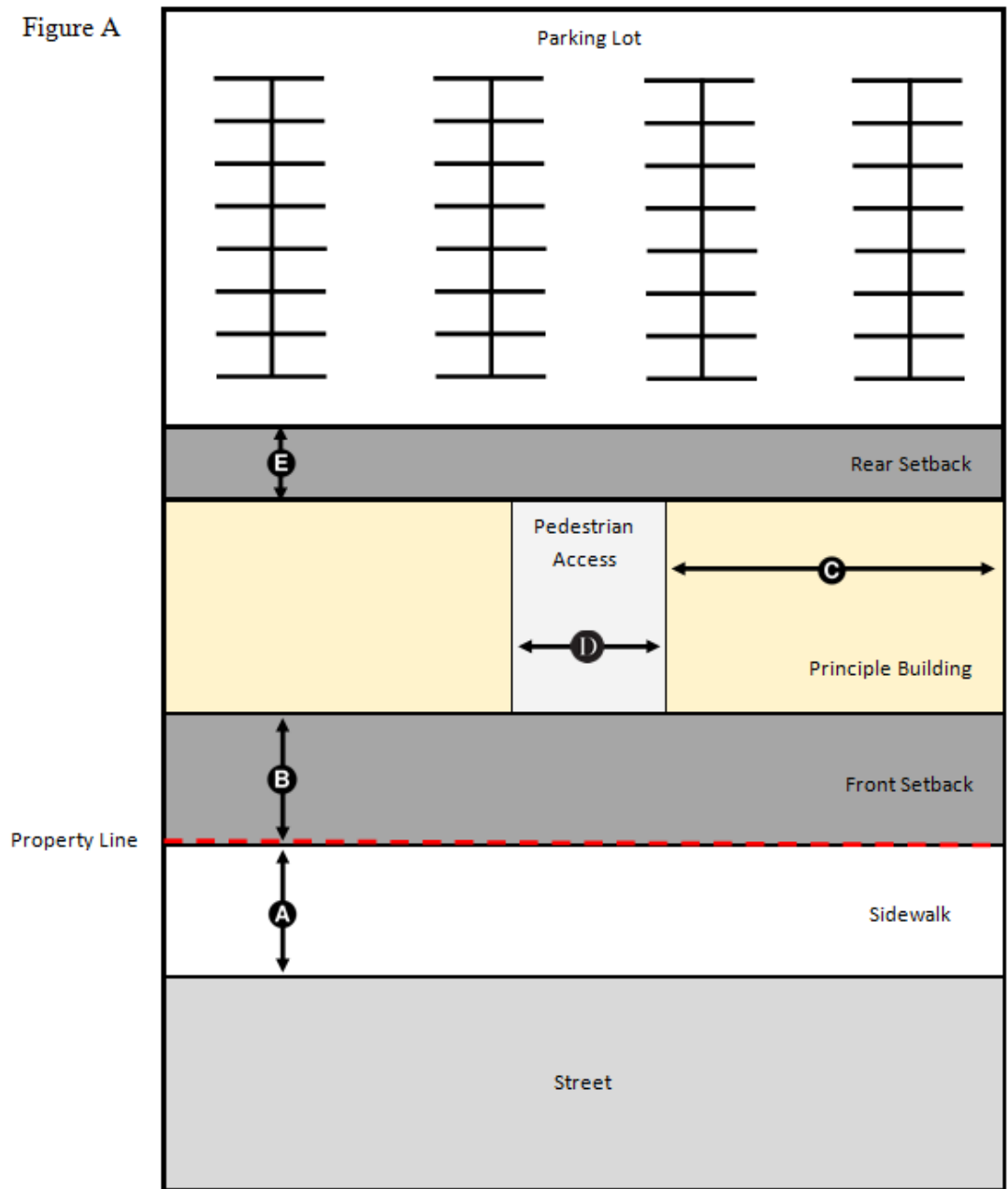
Use	P = Permitted S = Special Use Permit NP = Not Permitted
<i>Commercial Uses</i>	
Retail Sales and Services- excluded are sales geared towards automobile, including gasoline service stations.	P S- if includes drive-through
Banks, Credit Unions, Real Estates Offices, and Property Management services- No drive-throughs	P
Offices for business, professional, and technical uses such as accountants, architects, lawyers, doctors, etc.	P
Food Service uses such as full-service restaurants, cafeterias, and snack bars including café seating within a public or private sidewalk area with no obstruction of pedestrian circulation.	P S-if includes drive-through
Art, antique, and furniture sales (retail or repair; excludes auto sales and services)	P
Farmer's Market	S
Veterinary Clinic, completely within an enclosed building (no outdoor facilities for overnight storage of animals)	P
Bed and Breakfast Establishments	S
Full-Service Hotels	S
Barber, beauty shop, cosmetologist, or hairdresser	P
Any use with on-premise alcohol sales as less than 50% of gross sales revenue	P
Any use with on-premise alcohol sales as more than 50% of gross sales revenue	S
Any use with off-premises alcohol sales at any amount	S

Tasting Rooms	S
Sale of Used Goods	S
<i>Entertainment Uses</i>	
Theaters and Cinemas	P
Museums	P
Fitness, recreational sports, gym, or athletic club	P
Parks, greens, plazas, squares, and playgrounds	P
Amusement, Commercial (indoor)	P
Amusement, Commercial (outdoor)	S
Event Center/Rental Hall	S
<i>Institutional and Civic Uses</i>	
Religious institutions	P
Civic uses (courthouse, City Hall, and other public offices)	P
Assisted Living	S
<i>Residential Uses</i>	
Residential Apartments and/or condominiums	S- for upper floors
Upper floor residential uses	S

(d) Design Standards- The following minimum standards shall be required (See Figure A):

- i) Setbacks- Structures will have zero lot lines. Buildings in this zone shall comply with the following:
 - (1) Zero lot lines are those lines situated so that the roof line of a structure can be located on the side lot boundary without any setback required.
 - (2) The minimum rear yard shall be five (5) feet for a single-story structure and fifteen (15) for any multi-story structure.
 - (3) A concrete sidewalk shall be constructed ten (10) feet from curb in a dedicated public right-of-way.
 - (4) The minimum front setback shall be ten (10) feet from sidewalk using concrete or another approved material.
 - (5) Pedestrian access shall be placed every two hundred and fifty (250) feet at minimum that are twenty (20) feet in width that shall be constructed with concrete.
 - (6) No doors or windows shall be located on any wall located on a zero-lot line.

Figure A



Section	Area Description	Setback Requirement (Figure A)
A	Required Sidewalk	10'
B	Minimum Front Setback from property line	10'
C	Maximum Principle Building Width	250'
D	Minimum Pedestrian Access	20'
E	Minimum Rear Setback from Principle Building	5' - Single Story 15' - Multi-Story

- ii) Parking- All off-street parking requirements will follow the standards set forth in article **14.05.011** and must be located in the rear of the structure.
- iii) Patios- The design of the interior and immediate surroundings of a patio should adhere to the following guidelines:
 - (1) The surface area of an outdoor patio may not exceed the interior floor area of the primary licensed establishment.
 - (2) A fence or vertical barrier may be used to delineate the perimeter of the patio area.
 - (3) Perimeter fences shall not obstruct the line of sight for pedestrians and drivers.
 - (4) Patios shall be located in the front setback or on the rooftop.
- iv) Signs- All permissible signage shall be designed and follow the standards set forth in article **14.04.014**.
- v) Outside storage- No outdoor storage, except for refuse disposal, shall be permitted. Refuse disposal areas shall be landscaped or screened from view.
- vi) Live Outdoor Music at Retail Sales and Service- Live outdoor music will be permissible during peak hours (defined as Sunday through Thursday from 12 pm to 10 pm, and Friday, Saturday, and holidays from 12 pm to 12 am. Music performances are **not to exceed Texas Penal Code 42.01 c (2) (85dB or under at property line)** at a distance of one hundred (100) meters.
- vii) Live Outdoor Music at Amphitheaters or Outdoor Events- Live outdoor music will be permissible Friday, Saturday, and holidays from the hours of 12 pm to 12 am. A permit must be obtained through the city. Music performances are not to exceed ninety-five decibels (95 dB) at a distance of one hundred (100) meters.
- viii) Principal Building Standards-
 - (1) Buildings shall be oriented towards the main street.
 - (2) Primary entrances to buildings shall be located on the street along which the building is oriented. At intersections, corner buildings may have their primary entrances oriented at an angle to the intersection. All primary entrances shall be oriented to the public sidewalk for ease of pedestrian access.
 - (3) Building maximum- 3 stories or 45 feet (whichever is less)
 - (4) Building Material- The wall surface for all buildings on sides adjacent to any street or alley walkway other than glass shall be of one hundred percent (100%) masonry material. Seventy-five percent (75%) of overall wall surfaces other than glass shall be of brick, stone, or cast stone. The remaining twenty-five percent (25%) may be stucco, fibrous cement, split-face block, or other masonry material. The use of any other wall surface material may be approved by the City Council at the time of the site plan review.
 - (5) Awnings/Canopies-
 - (a) Measurements for eaves and awnings on main residential buildings which project a distance of no more than two feet into required yards. (See Figure 1)
 - (b) Canopies may project into required front yards for a minimum distance of twenty (20) feet, provided that no supporting structure for such extensions shall be located within the required front yard. Masonry piers will be located at the edge of the curb. (See Figure 2)

Figure 1

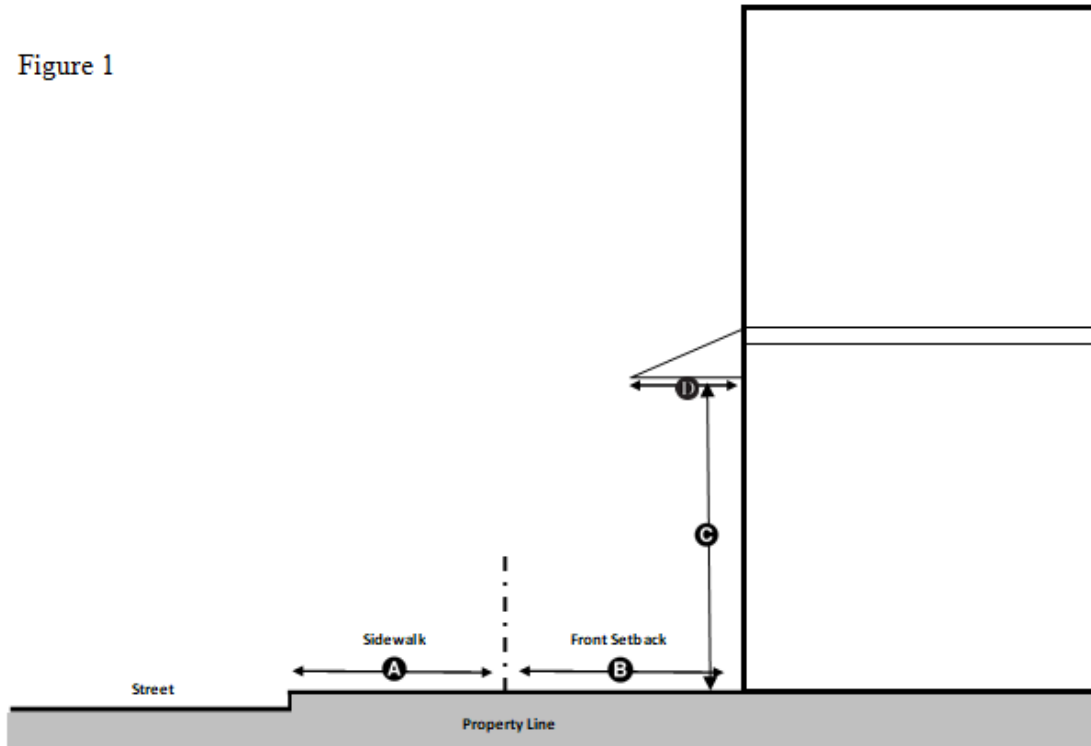
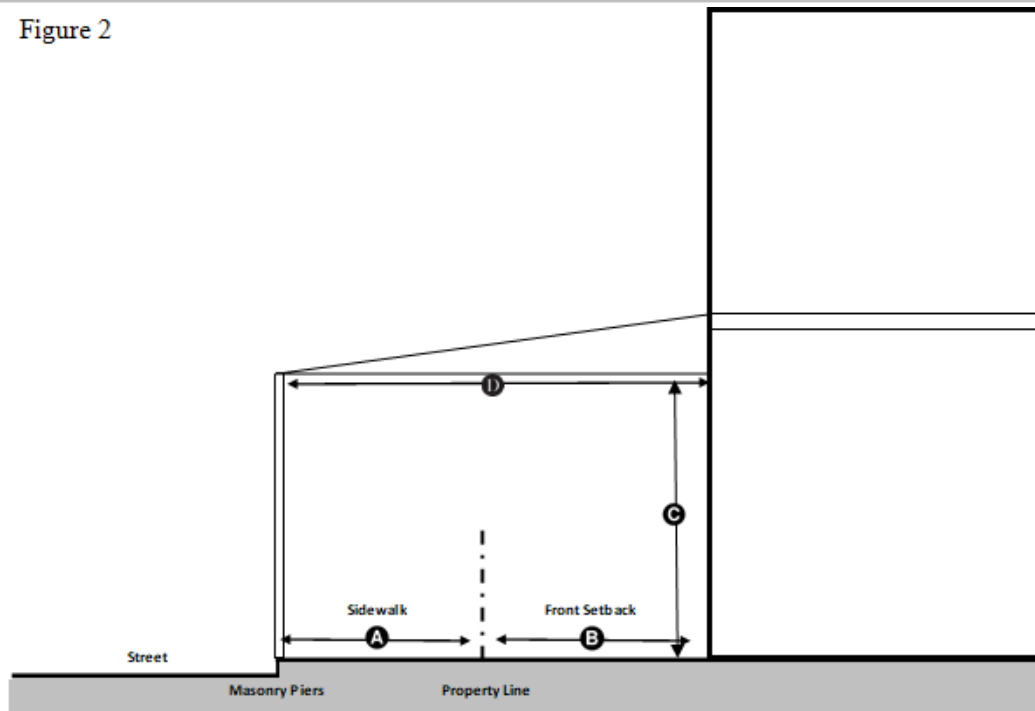


Figure 2



Section	Area Description	Setback Requirement (Fig 1)	Setback Requirement (Fig 2)
A	Required Sidewalk	10'	10'
B	Minimum Front Setback from property line	10'	10'
C	Awning/Canopy Minimum Height	8'	8'
D	Awning/Canopy Extension	2' Maximum	20' minimum (to curb)

- (c) Awnings/Canopies shall be constructed with metal or canvas. Vinyl and plastic are prohibited. Piers supporting canopies at the curbs edge shall be made with masonry material approved by city officials.
 - (d) Lighting and other attachments should be securely fixed and integrated to the supporting structure.
 - (e) At no time shall a canopy be located over any on-street parking or travel lane. The edge of the canopy may not extend past the edge to which it is attached.
- ix) Sidewalk Sales- Sidewalk vendors selling goods must obtain a Sidewalk Vending Permit before conducting vending business activities in the City of Wolfforth. The permits are issued by the Development Department and are valid for seven days from the date of issuance and must be renewed per event.
- (1) In general, sidewalk vendors must adhere to the following guidelines:
- (a) Display Sidewalk Vending Permit while conducting vending business activities.
 - (b) Vending activities shall take place on a sidewalk and during approved times as follows: hours imposed on other businesses on the same street block or 8 am to sunset, whichever is less restrictive on non-residential blocks.
 - (c) A Sidewalk Vending Permit does not provide an exclusive right to operate on any sidewalk or portion thereof. Must be in front of primary business.
 - (d) Sidewalk vendors must ensure that the 10-foot area immediately surrounding the vending space is kept clean and free of trash and debris associated with their vending operation. A trash receptacle must be provided for customers and must be large enough to accommodate customer trash.
 - (e) Vending equipment and goods must be attended to at all times by the business owner or employee. Vendors must remove all equipment and goods at the end of each day.
 - (f) Obstructions that would reduce the width of the sidewalk to less than forty-eight (48) inches are prohibited.
 - (g) The public right of way or any area that blocks pedestrians or vehicles is prohibited.
 - (h) Vending is prohibited in any public property that does not meet the definition of a sidewalk, including but not limited to any alley, street, street or roadway median, street end or parking lots.