



## PLANNING & ZONING MEETING - FEBRUARY 20, 2024 AGENDA

City Hall, 120 El Chico Trl., Suite A, Willow Park, TX 76087

Tuesday, February 20, 2024 at 6:00 PM

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### CALL TO ORDER

### DETERMINATION OF QUORUM

### APPROVAL OF MEETING MINUTES

1. Meeting Minutes of January 16, 2024.

### PUBLIC HEARING

2. **PUBLIC HEARING** to consider a Request for Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class I – Special purpose: ‘PD’ Planned Development District” for 721 Ranch House Road, Lot 1, Block 1 in the Willow Park Church of Christ Addition, City of Willow Park, Parker County, Texas.
3. **PUBLIC HEARING** to consider a Request for Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class IV - Industrial: Commercial – ‘LI’ Light Industrial District” for the Haney Complex Addition, Tracts 1-3, being approximately 31.247 acres in the Eliza Ozer Survey, Abstract Number 1031, City of Willow Park, Parker County, Texas.
4. **PUBLIC HEARING** to consider a Request for a Special Use Permit regarding the addition of a Roller Skating Rink as an allowable use for Lot 3, Block 3 in the Haney Complex Addition, which is concurrently requesting a Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class IV - Industrial: Commercial – ‘LI’ Light Industrial District” in the City of Willow Park, Parker County, Texas.

### ITEMS TO BE CONSIDERED AND ACTED UPON:

5. **Discussion & Action:** To consider a Request for Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class I – Special purpose: ‘PD’ Planned Development District” for 721 Ranch House Road, Lot 1, Block 1 in the Willow Park Church of Christ Addition, City of Willow Park, Parker County, Texas.
6. **Consideration & Action:** Preliminary Plat for Lots 1-6, Lot 1, Haney Complex, being 31.247 acres, Eliza Ozer Survey, Abstract No. 1031, in the City of Willow Park, Parker County, Texas.

- 7. Consideration & Action: Final Plat for Lots 1-6, Lot 1, Haney Complex, being 31.247 acres, Eliza Oxer Survey, Abstract No. 1031, in the City of Willow Park, Parker County, Texas.**
- 8. Consideration & Action: to consider a Request for Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class IV - Industrial: Commercial – ‘LI’ Light Industrial District” for the Haney Complex Addition, Tracts 1-3, being approximately 31.247 acres in the Eliza Oxer Survey, Abstract Number 1031, City of Willow Park, Parker County, Texas.**
- 9. Consideration & Action: to consider a Request for a Special Use Permit regarding the addition of a Roller Skating Rink as an allowable use for Lot 3, Block 3 in the Haney Complex Addition, which is concurrently requesting a Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class IV - Industrial: Commercial – ‘LI’ Light Industrial District” in the City of Willow Park, Parker County, Texas.**

## **ADJOURNMENT**

*As authorized by Section 551.127, of the Texas Government Code, one or more Council Members or employees may attend this meeting remotely using video conferencing technology.*

Any member of the public has the right to appear at the Public Hearing. Please contact the Development Department at 817-441-7108 or [tfisher@willowpark.org](mailto:tfisher@willowpark.org) with any questions.

CERTIFICATION I, the undersigned authority, does hereby certify that this Notice of a Meeting was posted on the bulletin board at City Hall, 120 El Chico Trail, Suite A, Willow Park, TX 76087, a place convenient and readily accessible to the general public at all times, and said Notice was posted on the following date and time: February 16, 2024 on/before 5:00 p.m. and remained so posted continuously for at least 72 hours before said meeting is to convene.

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Toni Fisher

Planning and Development Director

The City Hall is wheelchair accessible and accessible parking spaces are available. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services such as interpreters for persons who are deaf or hearing impaired, readers, or large print, are requested to contact the City Secretary's Office at 817-441-7108, or by email at [cdozier@willowpark.org](mailto:cdozier@willowpark.org). Requests should be made at least 48 hours prior to the meeting. This agenda is posted on the city's web site at [www.willowpark.org](http://www.willowpark.org)





**P&Z MEETING - JANUARY 16, 2024 MINUTES**

**City Hall, 120 El Chico Trl., Suite A, Willow Park, TX 76087**

**Tuesday, January 16, 2024 at 6:00 PM**

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**CALL TO ORDER**

Order called by Scott Smith, Commissioner, substituting for Chair/Co-Chair, at 6:00 p.m.

**DETERMINATION OF QUORUM**

Determination of Quorum by Commissioner Scott Smith, substituting for Chair/Co-Chair:

**PRESENT**

Billy Weikert  
Scott Smith  
Zac Walker

**ABSENT**

Jared Fowler  
Rodney Wilkins  
Sharon Bruton

City Staff Present: Toni Fisher, Planning & Development Director

**APPROVAL OF MEETING MINUTES**

- 1. Meeting Minutes for Planning & Zoning Meeting of October 17, 2023.

Minutes approved.

Motion made by Weikert, Seconded by Walker.

Voting Yea: Weikert

**PUBLIC HEARING:**

- 2. **PUBLIC HEARING:** to consider a request for change in rezoning from “Class II: Residential: ‘R-1’ Single-Family District” to “Class III – Business: ‘O’ Office District” for 721 Ranch House Road, Lot 1, Block 1 in the Willow Park Church of Christ Addition, City of Willow Park, Parker County, Texas.

**Open: 6:02 p.m.**

Dave Laurenzo, Resident

Mike Casey, Resident

**Closed: 6:06 p.m.**

**ITEMS TO BE CONSIDERED AND ACTED UPON:**

- 3. Discussion & Action: To consider a request for change in rezoning from “Class II: Residential: ‘R-1’ Single-Family District” to “Class III – Business: ‘O’ Office District” for 721 Ranch House Road, Lot 1, Block 1 in the Willow Park Church of Christ Addition, City of Willow Park, Parker County, Texas.**

Jerry Stockton, Applicant, is in attendance and spoke to the request for Zoning Change. Mr. Stockton stated that this will be a remodel, following city ordinances, building code, and fire code, and a new sewer line to hook up to City sewer (from septic). He stated that this building is intended for, primarily, start-up businesses needing office space, with an estimated 14-16 partitioned offices. Mr. Stockton said that this model mirrors others he has in the city, one of which is Lynch Legacy.

Following public comments, Commissioner Weikert indicated that he was concerned with the lighting being too bright or intrusive to the neighboring residences. He requested approval with the condition regarding the lighting.

Motion was made to approve the request for change for rezoning with the condition that overhead lighting would not create a nuisance to surrounding residents.

Motion made by Weikert, Seconded by Walker.  
Voting Yea: Smith

**ADJOURNMENT**

*As authorized by Section 551.127, of the Texas Government Code, one or more Council Members or employees may attend this meeting remotely using video conferencing technology.*

Adjourned by Commissioner Scott Smith at 6:19 p.m.

**Minutes Approved:**

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<b>Jared Fowler, Chair</b>	<b>Date</b>
<b>Rodney Wilkins, Co-Chair</b>	

Any member of the public has the right to appear at the Public Hearing. Please contact the Development Department at 817-441-7108 or with any questions.

CERTIFICATION I, the undersigned authority, does hereby certify that this Notice of a Meeting was posted on the bulletin board at City Hall, 120 El Chico Trail, Suite A, Willow Park, TX 76087, a place convenient and readily accessible to the general public at all times, and said Notice was posted on/before the following date and time: January 12, 2024, 5:00 p.m. and remained so posted continuously for at least 72 hours before said meeting is to convene.



# PLANNING & ZONING AGENDA ITEM BRIEFING SHEET

<b>Meeting Date:</b> February 20, 2024	<b>Department:</b> Planning & Development	<b>Presented By:</b> Toni Fisher, Director
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**AGENDA ITEM:**

**Discussion & Action:** To consider a Request for Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class I – Special purpose: ‘PD’ Planned Development District” for 721 Ranch House Road, Lot 1, Block 1 in the Willow Park Church of Christ Addition, City of Willow Park, Parker County, Texas.

**BACKGROUND:**

The 1.0-acre property located at 721 Ranch House Road is owned by Robert Heil and was operated as Willow Park Church of Christ. The property is for sale by Pastor Heil and currently under contract by Aledo Legacy, LLC. The request came before P&Z and City Council in January for a change in zoning from “R-1 Residential Single-Family Zoning” to Commercial “O - Office District”.

P&Z Commission approved the zoning request with conditions; the City Council was presented with a Petition from residents against the zoning change, and the Council postponed the item with no action. City Staff then organized a Town Hall Meeting with those who petitioned, the property owner, and the buyers. On February 8, the Applicant and Owner withdrew the Zoning Change Application, and the subject Planned Development Application was submitted which outlines permitted and non-permitted uses for the property and addresses specific items of concern from residents.

The P&Z Commission will conduct a Public Hearing for this zoning change request. Notice of Public Hearing was emailed to each resident who attended the Town Hall Meeting and provided his/her email address and US mailed to each, as well as US mailed to those who signed the Petition presented to City Council, and those within 300 feet of the subject property, exceeding the 200 feet required by state law.

**STAFF RECOMMENDATION:**

The City Staff has reviewed this request and recommends its approval, as presented.

**EXHIBITS:**

- Planned Development Application
- Planned Development Ordinance & Exhibits
- Notice of Public Hearing
- Petitions provided to City Council on 1/23/24

**RECOMMENDED MOTION:**

**Motion to approve the request for a change in zoning from “Class II: Residential: ‘R-1’ Single-Family District” to “Class I – Special purpose: ‘PD’ Planned Development District” for 721 Ranch House Road, as presented.**

**CITY OF WILLOW PARK**  
**ORDINANCE \_\_\_\_\_**

**AN ORDINANCE OF THE CITY OF WILLOW PARK, TEXAS PROVIDING FOR A ZONING CHANGE FROM "CLASS II - R-1 RESIDENTIAL SINGLE-FAMILY DISTRICT" TO "PD - PLANNED DEVELOPMENT DISTRICT" FOR 721 RANCH HOUSE ROAD, LOT 1, BLOCK 1 IN THE WILLOW PARK CHURCH OF CHRIST ADDITION, CITY OF WILLOW PARK, PARKER COUNTY, TEXAS; REPEALING CONFLICTING ORDINANCES; PROVIDING FOR A SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Willow Park, Texas, is a Type A general law municipality located in Parker County, created in accordance with the provisions of Chapter 211 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Property Owner, Robert Heil, legal representative for Willow Park Church of Christ, has applied for a change in zoning for 721 Ranch House Road, Lot 1, Block 1, being a 1.0 acre tract situated in the Willow Park Church of Christ Addition (the "Property") from "R-1" Single Family District to "PD – Planned Development District"; and

**WHEREAS**, the City has complied with all requirements of Chapter 211 of the Local Government Code and all other laws dealing with notice, publication and procedural requirements of the rezoning of the Property; and

**WHEREAS**, the City of Willow Park, Texas does hereby deem it advisable and in the public interest to grant the requested zoning.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF WILLOW PARK, TEXAS:**

**SECTION 1. Land Use Permitted.** The Zoning Ordinance, and the Official Zoning Map are hereby amended insofar as they relate to certain land located in Willow Park, Texas, as described by legal description and shown on the Property Survey attached hereto as Exhibit 'A', by changing the zoning of said property from R-1 Single Family to "PD/O", including any other conditions and restrictions imposed and approved by the City Council, which are incorporated herein.

**1.01 General Description:** Professional office building will consist of a single to multi-tenant office building, functioning as a local community office space for businesses to conduct professional business services during normal business hours. The maximum office spaces will be twenty-one (21) with an average space of approximately 10'x12'. Landlord will offer to lease the

spaces to businesses who want to expand or open their new business in the City of Willow Park. Access shall be allowed from access drives or parking areas connecting to public roadways. Requirements for development shall be governed by standards as described below and applicable City of Willow Park city ordinances, including Zoning Ordinance Article 14.06.004 - Class I - Special Purpose: "PD" Planned Development District. If there are conflicts between the requirements of Article 14.06.004 and these Planned Development requirements, the Planned Development requirements shall govern.

**1.02 Permitted Uses:** Permitted uses, as referenced below, shall be allowed within the Planned Development District:

**A. Permitted Uses:**

1. Professional Office Building with permitted uses as per City of Willow Park city ordinance 14.06.012 "Class III - Business: 'O' Office District", with the exceptions as listed below in "Non-Permitted Uses"
2. Private School – must include 8' privacy fencing between subject property and western and southern bordering residential properties.
3. Private kitchen only for the use of tenants in the building.
4. Outside play and/or lounging area permitted only on south side of building.

**B. Non-Permitted Uses:**

1. Wedding or Event Venue
2. Daycare
3. Commercial kitchen
4. Sound amplification equipment, including "loud speakers"

**C. Accessory Uses Allowed:** None.

**1.03 Density:** The maximum allowable density for the entire tract will be twenty-one (21) office spaces. Population occupancy for the building is as determined by City of Willow Park Fire Marshal's office.

**1.04 Required Parking:** Parking lot and driveways shall be maintained in accordance with paving standards established by the City of Willow Park's subdivision ordinances. All vehicular parking for leases and visitors must be contained within the parking lot area; no on-street parking is permitted.

**A. No overnight or weekend parking of the following vehicles:**

1. Oversized service trucks
2. Large transportation buses

**B. No parking at any time of the following vehicles:**

1. Large industrial vehicles
2. Trailers of any kind

- 1.05 Open Space:** Existing open space, including any and all outdoor play and/or lounging areas, will be maintained by the property owner per the ordinances of the City of Willow Park.
- 1.06 Garbage and Trash Collection:** Garbage collection dumpster to be placed on the south and rear side of the property. The garbage and trash collection will be provided through the City of Willow Park. All freestanding dumpsters shall be enclosed and screened; screening on three sides must measure to a height of at least six (6) feet or a minimum of six (6) inches above the top of the dumpster, whichever is greater. The enclosure shall be constructed of material consistent with that of the building structures. The fourth side of the enclosure shall be gated to shield view of the interior with gates a minimum of six (6) feet in height or consistent with the height of the other three sides of the enclosure, whichever is greater.
- 1.07 Landscaping:** Landscaping shall be maintained by the property owner and in accordance with the City of Willow Park city ordinances.
- 1.08 Exterior Lighting:** All lighting should be in accordance with the City of Willow Park city ordinances for commercial buildings. Lighting may be used to accent architectural details, emphasize primary entrances, accent signs, illuminate sidewalks, and illuminate parking areas and service entrances for public safety concerns. Lighting shall meet the following criteria:
- A. Light fixtures and light standards visible from a public street or public right-of-way shall be of an architectural design that is compatible with the architectural design of the primary structure.
  - B. Installed light sources may not use the equivalent of more than 1,200 lumens per bulb and shall be installed in such a manner to be shielded from public view and mitigate glare and light spill. No lighting shall be shining outward toward the parking lot. All lighting must shine toward the structure and be a warm light.
  - C. There shall be no direct illumination of any residential use or residential zoning district.
  - D. Lights shall be fully shielded to minimize light trespassing onto any residential zoning district. "Fully shielded" shall mean a technique or method of construction or manufacture that does not allow any light dispersion to shine above the horizontal plane from the lowest light-emitting point of the light fixture. Any structural part of the light fixture providing this shielding shall be permanently affixed to the light fixture.
- 1.09 Signage requirements:** A monument or ground sign is permitted. Its size and illumination shall be in accordance with the City of Willow Park city ordinances for commercial signs. Waving flags or blow-up characters are not permitted on the property



at any time. A temporary “For Lease” Sign is permitted.

**1.10 Special Event:** Any and all special events whose attendance is expected to exceed 100 persons must comply with the City of Willow Park city ordinances, permitting, and approval for Special Events.

**SECTION 2. Repeal of Conflicting Ordinances.** All Ordinances in conflict herewith be and the same are hereby repealed to the extent of such conflict.

**SECTION 3. Severability Clause.** This ordinance shall be cumulative of all provisions of ordinances of the City of Willow Park, Texas except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed. To the extent that the provisions of the City of Willow Park's various development ordinances conflict with this ordinance, the terms of this ordinance shall control.

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment of decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence paragraph or section.

**SECTION 4. Effective Date.** This Ordinance shall become effective immediately upon its passage and publication as required by law.

**PASSED by an affirmative vote of all members of the City Council, this 27th day of February 2024.**

**APPROVED:**

\_\_\_\_\_  
Doyle Moss, Mayor

**ATTEST:**

\_\_\_\_\_  
Crystal R. Dozier TRMC, City Secretary

\_\_\_\_\_  
Pat Chesser, City Attorney

The Willow Park City Council in acting on Ordinance \_\_\_\_\_, did on the 27<sup>th</sup> day of February 2024, vote as follows:

	<u>FOR</u>	<u>AGAINST</u>	<u>ABSTAIN</u>
Doyle Moss, Mayor	_____	_____	_____
Eric Contreras, Place 1	_____	_____	_____
Chawn Gilliland, Place 2	_____	_____	_____
Greg Runnebaum, Place 3	_____	_____	_____
Lea Young, Place 4	_____	_____	_____
Nathan Crummel, Place 5	_____	_____	_____

**EXHIBIT A:** Legacy Office Building



**EXHIBIT B**















## City of Willow Park

### Notice of Public Hearing

The City of Willow Park Planning & Zoning Commission will hold a public hearing on the matters listed below:

1. **PUBLIC HEARING to consider a Request for Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class IV - Industrial: Commercial – ‘LI’ Light Industrial District” for the Haney Complex Addition, Tracts 1-3, being approximately 31.247 acres in the Eliza Oxer Survey, Abstract Number 1031, City of Willow Park, Parker County, Texas.**
2. **PUBLIC HEARING to consider a Request for a Special Use Permit regarding the addition of a Roller Skating Rink as an allowable use for Lot 3, Block 3 in the Haney Complex Addition, which is concurrently requesting a Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class IV - Industrial: Commercial – ‘LI’ Light Industrial District” in the City of Willow Park, Parker County, Texas.**
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Planning & Zoning Commission Meeting: Tuesday, February 20, 2024

Time: 6:00 PM

Location: Willow Park City Hall  
120 El Chico Trail, Ste A  
Willow Park, TX 76087

Any member of the public has the right to appear at the Public Hearing. Please contact the Development Department at 817-441-7108 x100 or [tfisher@willowpark.org](mailto:tfisher@willowpark.org) with any questions.

The above notice was posted on the bulletin board at the City of Willow Park City Hall, Willow Park, Texas on/before February 9, 2024 by 5:00 p.m.

**P&Z Meeting – 02.20.2024**

**PUBLIC HEARING to consider a Request for Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class I – Special purpose: ‘PD’ Planned Development District” for 721 Ranch House Road, Lot 1, Block 1 in the Willow Park Church of Christ Addition, City of Willow Park, Parker County, Texas.**

Notice of Public Hearing mailed to “Property Owner/Resident” at the addresses below:

117 SAM BASS RD  
WILLOW PARK TX 76087

1101 E STAGE COACH  
WILLOW PARK TX 76087

1107 STAGE COACH  
WILLOW PARK TX 76087

1100 SAM BASS RD  
WILLOW PARK TX 76087

1107 SAM BASS RD  
WILLOW PARK TX 76087

1101 SAM BASS RD  
WILLOW PARK TX 76087

1100 WOODBRIDGE CT  
WILLOW PARK TX 76087

101 TRINITY DR  
WILLOW PARK TX 76087

109 TRINITY DR  
WILLOW PARK TX 76087

108 SAM BASS RD  
WILLOW PARK TX 76087

116 SAM BASS RD  
WILLOW PARK TX 76087

1100 STAGE COACH  
WILLOW PARK TX 76087

100 SAM BASS RD  
WILLOW PARK TX 76087

1106 SAM BASS RD  
WILLOW PARK TX 76087

601 RANCH HOUSE RD  
WILLOW PARK TX 76087

Dr. Susan Bohn, Superintendent  
Aledo Independent School District  
1008 Bailey Ranch Rd  
Aledo TX 76008

**Date mailed:** 02/09/24

**By:** Toni Fisher, Planning & Development Director

*ADDITIONALLY MAILED TO:*

Those In Attendance at  
Town Hall Meeting on 1/30/24:

KJ HANNAH  
177 MELBOURNE DR  
WILLOW PARK TX 76087

DAVE LAURENZO  
133 SAM BASS DR  
WILLOW PARK TX 76087

CATHY AUEN  
132 SAM BASS RD  
WILLOW PARK TX 76087

JO ALSOP  
807 SAM BASS CT  
WILLOW PARK TX 76087

MIKE CASEY  
124 SAM BASS RD  
WILLOW PARK TX 76087

M. GALLE  
500 SQUAW CREEK RD  
WILLOW PARK TX 76087

Those Who Signed the  
Petition Dated 1/23/24:

WENDI CUNNINGHAM & BOBBY CLARK  
201 SAM BASS RD  
WILLOW PARK TX 76087

MARK CURTIS  
200 SAM BASS RD  
WILLOW PARK TX 76087

CARL & HEATHER STORRIE  
208 SAM BASS RD  
WILLOW PARK TX 76087

PAM & BILLY PARKER  
125 TRINITY DR  
WILLOW PARK TX 76087

GINA & CHUCK PRILL  
100 SAM BASS RD  
WILLOW PARK TX 76087

**Date mailed:** 02/09/24

**By:** Toni Fisher, Planning & Development Director



January 23, 2024

Subject: Petition to the Willow Park City Council

The undersigned respectfully assert that the request to rezone Church of Christ Property located at 721 Ranch House Road to Class III "O" Office space be denied.

The current ordinances, and loose enforcement of current ordinances, will permit the developers of this property to support businesses that would dramatically detract from the local neighborhood and will have a significant and detrimental impact to the property values in the area.

Specifically, the citizens demand that either city ordinances be changed to include these requirements or specific provisions are added to the rezoning approval that ensures the citizens will enjoy the current quiet, peaceful and uncluttered views from their homes. These requirements must apply to this and any subsequent owners and include:

- 1) Specific prohibition of the property to be used as a party or wedding venue.
- 2) A prohibition of lighting that shines outward toward the parking lots. All lighting must shine toward the structure and be a warm light, 2700-3000 K (no bright lights that illuminate the neighborhood). Specifically, this means no light from any lens can be seen from neighboring properties
- 3) A prohibition of overnight parking on the property. We do not want vehicles, especially service trucks on the property at night and weekends.
- 4) A prohibition of large industrial vehicles or trailers parked on the property at any time.
- 5) A prohibition of dumpsters, "out" buildings or supplies on the north or west side of the building. All outside structures, supplies, equipment, or dumpsters must be concealed by privacy fencing.
- 6) A prohibition of outside functions on the property.
- 7) A prohibition of the use of loud speakers on the property
- 8) Only simple vacancy signage is permitted. No waving flag runners or blow up characters or attention getting devices.
- 9) A prohibition of any electronic signage either on the building or on the monument sign.
- 10) Finally, the developer must provide a comprehensive plan of renovation, number of offices, expected number of employees, anticipated traffic volume from business and a complete lighting plan before any rezoning reconsideration can be made by the citizens and the City Council. The design must fit seamlessly into the neighborhood environment.

Name	Address/Phone
✓ WENDI CUNNINGHAM	201 SAM BASS RD, WILLOW PARK TX 76087
✓ Bobby Clark	201 Sam Bass Rd, Willow Park TX 76087
✓ MARK CRETZ	200 SAM BASS RD, WILLOW PARK TEX 76087
✓ Carl & Heather Stornie (817) 995-5314	208 Sam Bass Rd Willow Park, TX 76087
Cindy Voorhees	114 SAM BASS RD, WILLOW PARK 76087
88 Mary Dierich	1101 Stage Coach Trail East Willow Park 76087
Walt Owen	132 SAM BASS RD, WILLOW PARK
KJ Hannah	177 Melbourne WP
Roseal Heil	117 SAM BASS RD WP
✓ Pam Pule	65 Trinity Dr
✓ Billy Pule	125 Trinity Dr
Russ McCar	1100 STAGE COACH TRAIL EAST WILLOW PARK 76087
Zony Clouse	133 Mannedie

RECEIVED  
JAN 23 2024  
Item 5.

BY: *[Signature]*

January 23, 2024

Subject: Petition to the Willow Park City Council

The undersigned respectfully assert that the request to rezone Church of Christ Property located at 721 Ranch House Road to Class III "O" Office space be denied.

The current ordinances, and loose enforcement of current ordinances, will permit the developers of this property to support businesses that would dramatically detract from the local neighborhood and will have a significant and detrimental impact to the property values in the area.

Specifically, the citizens demand that either city ordinances be changed to include these requirements or specific provisions are added to the rezoning approval that ensures the citizens will enjoy the current quiet, peaceful and uncluttered views from their homes. These requirements must apply to this and any subsequent owners and include:

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- 6) A prohibition of outside functions on the property.
- 7) A prohibition of the use of loud speakers on the property
- 8) Only simple vacancy signage is permitted. No waving flag runners or blow up characters or attention getting devices.
- 9) A prohibition of any electronic signage either on the building or on the monument sign.
- 10) Finally, the developer must provide a comprehensive plan of renovation, number of offices, expected number of employees, anticipated traffic volume from business and a complete lighting plan before any rezoning reconsideration can be made by the citizens and the City Council. The design must fit seamlessly into the neighborhood environment.

Name	Address/Phone
<i>Teri Kolombe</i>	<i>108 Sam Bass Rd. 940-445-4828</i>
<i>✓ Nina Prill</i>	<i>100 SAM BASS Rd. 817-692-9416</i>
<i>✓ Chuck Prill</i>	<i>100 SAM BASS RD 817-781-5178</i>
<i>Cyrril Vaughn</i>	<i>116 SAM BASS Rd 817-798-8159</i>
<i>Anthony K...</i>	<i>1101 Sam Bass Rd 817 896 0515</i>
<i>[Signature]</i>	<i>133 Sam Bass Rd 817 475 8847</i>

*lorento*





## PLANNING & ZONING AGENDA ITEM BRIEFING SHEET

<b>Council Date:</b>  February 20, 2024	<b>Department:</b>  Planning & Development	<b>Presented By:</b>  Toni Fisher, Director
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**AGENDA ITEM:**

**Consideration & Action: Preliminary Plat for Lots 1-6, Lot 1, Haney Complex, being 31.247 acres, Eliza Oxer Survey, Abstract No. 1031, in the City of Willow Park, Parker County, Texas.**

**BACKGROUND:**

Applicant and surveyor, Scott Crawford of Baird, Hampton & Brown, Inc., along with the property owners, Dustin & Jayme Haney, proposed to plat 31.247 acres, located south of East Bankhead Highway, Eliza Oxer Survey, Abstract No. 1031 Survey into Lots 1 through 5. This was presented and approved by the P&Z Commission on October 17, 2023. At the time, this subdivision was within the City’s extraterritorial jurisdiction, but was since annexed into the City of Willow Park on January 9, 2024 by Ordinance 895-24.

From October 2023 to present, projections for this property have changed, and owners have decided to subdivide the property into six lots, instead of the originally approved five, and added a public street. For these reasons, the Preliminary Plat is being presented to P&Z again for approval, concurrently with the Final Plat.

The Preliminary Plat has been reviewed and approved by City Staff.

**STAFF RECOMMENDATION:**

City Staff recommend acceptance of Preliminary Plat, as presented.

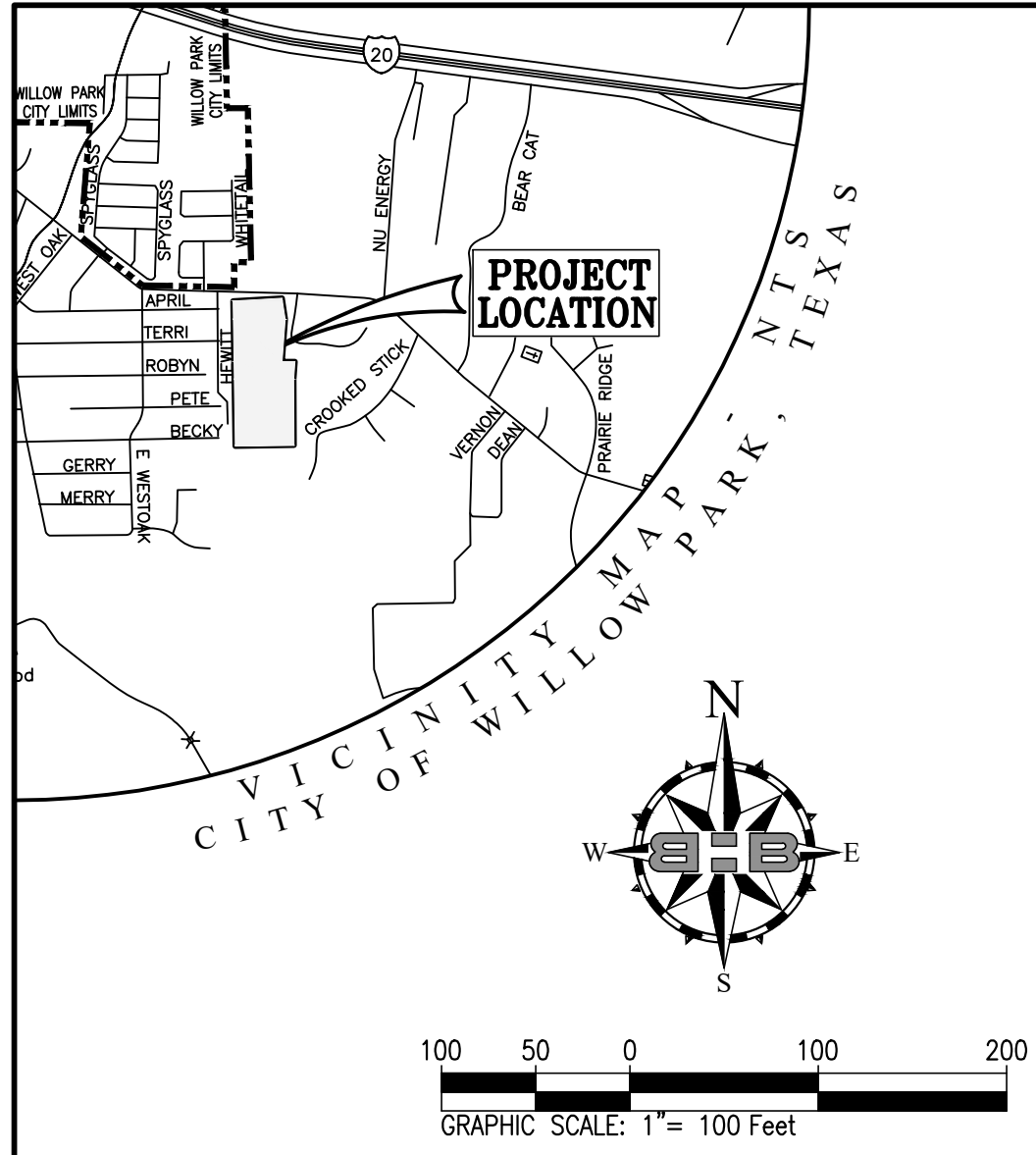
**EXHIBITS:**

- Preliminary Plat – Lots 1-6, Haney Complex
- Preliminary Plat – Lots 1-5, Haney Complex as previously presented & approved by P&Z
- Preliminary Plat Corrections List
- Preliminary Plat Application
- Site Aerial

**RECOMMENDED MOTION:**

**Approval of the subject Preliminary Plat, as presented.**





**LEGEND**

- CIRF.....1/2" Capped Iron Rod Marked "CARTER ALEDO" Found
- CIRF(CTLS).....1/2" Capped Iron Rod Marked "CTLS" Found
- D.R.P.C.T.....Deed Records, Parker County, Texas
- IRF.....Iron Rod Found
- IRS.....5/8" Capped Iron Rod Marked "BHB INC" Set
- P.R.P.C.T.....Plat Records, Parker County, Texas
- ①.....Block Number

**GENERAL NOTES**

1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
2. Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
3. Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
4. The property as platted is subject to any document pertaining to utility easements for electric, telephone or other utilities that affects said property as recorded in the Parker County Clerk's Office.
5. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
6. Utility Easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park and public entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easement. The City of Willow Park and public utility entities shall have the full right of ingress and egress to and from their respective easements, without the necessity at any time of procuring permission from anyone.
7. All lots shall conform to current zoning building set backs as specified by the City of Willow Park's Municipal Code of Ordinances.
8. Selling a portion of this Addition by metes and bounds is a violation of City Ordinances and State Law, and is subject to fines and withholding of utilities and building permits.
9. All of Lots 5 and 6 are drainage easements. At the time of future development and replatting of these lots, drainage easements corresponding to specific drainage ways shall be dedicated and these lot-wide drainage easements shall be vacated.

**FLOOD ZONE NOTES**

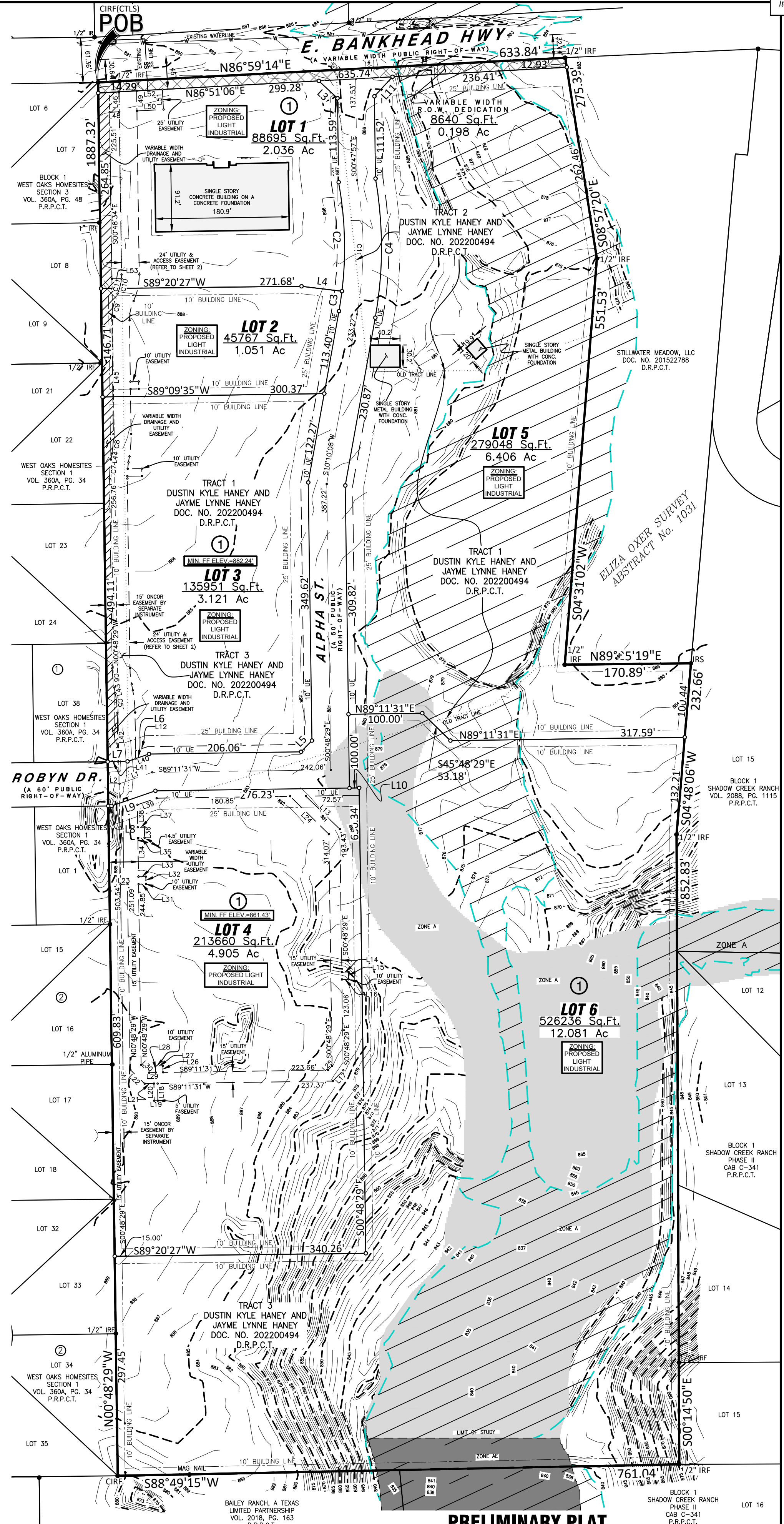
- A portion of the subject property lies within SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD:
- A. Zone A - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study floodplain limits.
  - B. Zone AE - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study floodplain limits.
  - C. The remainder of the subject property lies within Zone X - Areas determined to be outside the 0.2% annual chance floodplain per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008.
  - D. Preliminary 100-YR Ultimate Floodplain per Baird, Hampton, Brown Inc. Floodstudy of Haney Complex, dated 10/31/2023. This Preliminary Plat does not represent a drainage study for Floodplain limits.

Owners/Developers:  
Attn: Dustin Kyle Haney &  
Jayme Lynne Haney, Co-Trustees  
Haney Revocable Trust  
103 Plantation Ct.  
Aledo, Texas 76008  
PH# 817-980-2425

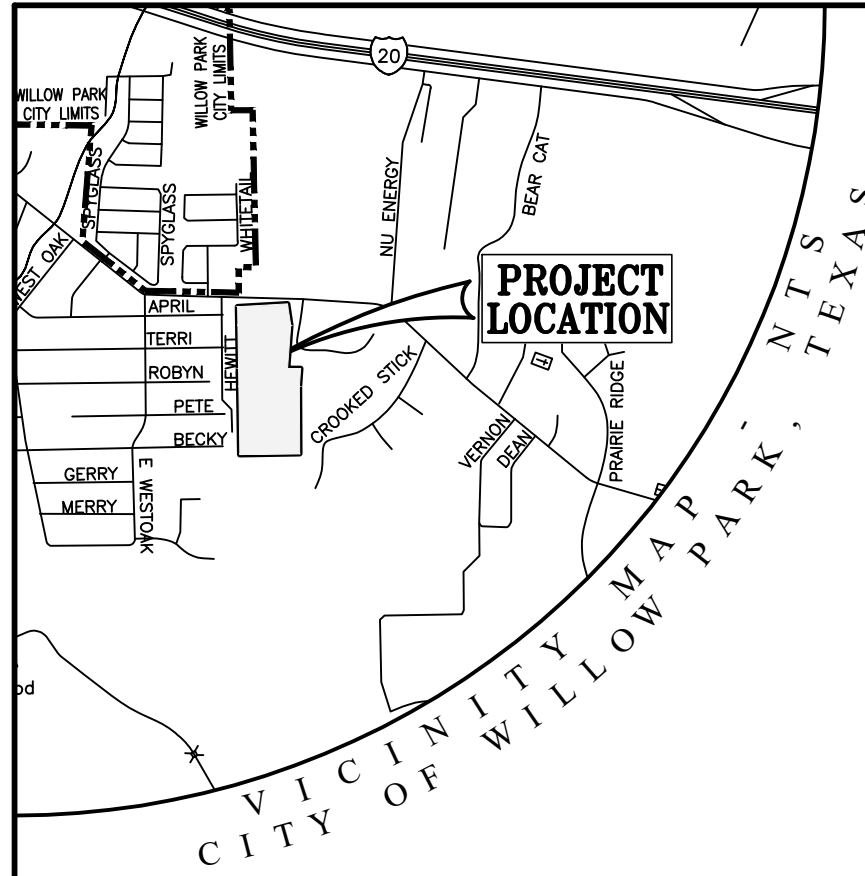
Surveyor:



949 Hilltop Drive, Weatherford, TX 76086  
tstock@bhinc.com • 817.596.7575 • bhinc.com  
TBPES Firm #44 • TBPES FIRM #10194146







**GENERAL NOTES**

1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
2. Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
3. Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
4. The property as platted is subject to any document pertaining to utility easements for electric, telephone or other utilities that affects said property as recorded in the Parker County Clerk's Office.
5. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
6. Utility Easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park and public entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easement. The City of Willow Park and public utility entities shall have the full right of ingress and egress to and from their respective easements, without the necessity at any time of procuring permission from anyone.
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9. All of Lots 5 and 6 are drainage easements. At the time of future development and replatting of these lots, drainage easements corresponding to specific drainage ways shall be dedicated and these lot-wide drainage easements shall be vacated.

Line Table			Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length
L1	S70°59'59"W	46.85	L22	N45°48'29"W	27.43	L43	N10°48'29"W	8.31
L2	S89°11'31"W	15.53	L23	S89°18'37"W	9.50	L44	N9°11'31"E	8.31
L3	S46°58'25"E	34.62	L24	S45°48'29"E	73.23	L45	N0°48'29"W	154.07
L4	S83°03'03"E	55.25	L25	S44°11'31"W	7.93	L46	S0°48'34"E	27.02
L5	S44°11'31"W	21.21	L26	N0°48'29"W	9.00	L48	S86°59'14"W	13.06
L6	S70°59'59"W	30.83	L27	S89°11'31"W	10.00	L50	N86°59'14"E	36.02
L7	S89°11'31"W	26.74	L28	S0°48'29"E	9.00	L51	N3°00'46"W	27.14
L8	N89°11'31"E	4.31	L29	S89°11'31"W	8.89	L53	N89°12'03"E	12.78
L9	N70°59'59"E	62.86	L30	N45°48'29"W	15.00	L54	N0°48'29"W	83.23
L10	S89°11'31"W	13.17	L31	N89°18'37"E	9.99	L55	S89°11'31"W	11.14
L11	S43°01'35"W	36.07	L32	N0°41'23"W	10.00	L56	N0°48'29"W	10.00
L12	S70°59'59"W	17.29	L33	S89°18'37"W	10.01	L57	N89°11'31"E	11.14
L13	S45°48'29"E	64.44	L34	N0°48'29"W	52.50	L58	N0°48'29"W	60.85
L14	N89°11'31"E	9.00	L35	N89°11'31"E	9.00	L59	N9°11'31"E	8.31
L15	S0°48'29"E	10.00	L36	N0°48'29"W	14.50	L60	S89°11'31"W	19.13
L16	S89°11'31"W	9.00	L37	S89°11'31"W	9.00	L61	N0°48'29"W	10.00
L17	S44°11'31"W	20.36	L38	N0°48'29"W	30.41	L62	N89°11'31"E	19.78
L18	S0°48'29"E	23.17	L39	N70°59'59"E	27.51	L63	N10°48'29"W	8.31
L19	S89°11'31"W	5.00	L40	N70°59'59"E	18.98	L64	N0°48'29"W	62.27
L20	N0°48'29"W	23.17	L41	N89°11'31"E	14.00			
L21	S89°11'31"W	12.61	L42	N0°48'29"W	65.98			

Curve Table					
Curve #	Delta	Radius	Arc Length	Chord Bearing	Chord Length
C1	20°23'11"	513.00'	182.53'	S0°01'29"E	181.57'
C2	17°24'22"	488.00'	148.25'	S1°45'13"E	147.68'
C3	3°13'11"	488.00'	27.42'	S8°33'33"W	27.42'
C4	20°09'54"	538.00'	189.35'	S0°05'11"W	188.37'
C5	10°00'00"	150.00'	26.18'	N5°48'29"W	26.15'
C6	10°00'00"	150.00'	26.18'	N5°48'29"W	26.15'
C7	10°00'00"	150.00'	26.18'	N4°11'31"E	26.15'
C8	10°00'00"	150.00'	26.18'	N4°11'31"E	26.15'
C9	25°31'24"	84.00'	37.42'	N11°57'14"E	37.11'
C10	25°21'58"	60.00'	26.56'	N12°01'57"E	26.35'
C11	20°08'30"	60.00'	21.09'	N14°38'41"E	20.98'
C12	25°21'58"	84.00'	37.19'	N12°01'57"E	36.89'
C13	25°31'24"	60.00'	26.73'	N11°57'14"E	26.51'
C14	10°00'00"	174.00'	30.37'	N4°11'31"E	30.33'
C15	3°59'33"	126.00'	8.78'	N7°11'45"E	8.78'
C16	1°26'58"	126.00'	3.19'	N0°05'00"W	3.19'
C17	10°00'00"	126.00'	21.99'	N5°48'29"W	21.96'
C18	10°00'00"	174.00'	30.37'	N5°48'29"W	30.33'

**BEING** a tract of land situated in the Eliza Oxer Survey, Abstract Number 1031, Parker County, Texas, and being all of Tracts 1-3 as described by deed to Dustin Kyle Haney and Jayme Lynne Haney as recorded in Document Number 202200494, Deed Records, Parker County, Texas (D.R.P.C.T.), and being more particularly described by metes and bounds as follows: Bearings referenced to U.S. State Plane Grid 1983 - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.)

**BEGINNING** at a found 1/2-inch capped iron rod marked "CTL5" for the northwest corner of the said Haney tracts, same being the most northerly corner of Lot 7, Block 1, West Oaks Homesites, Section 3, an addition to Parker County, Texas as shown on the plat recorded in Volume 360A, Page 48, Plat Records, Parker County, Texas (P.R.P.C.T.), and being the most easterly corner of Lot 6 of said Block 1, and also being in the south right-of-way line of East Bankhead Highway (a variable width right-of-way);

**THENCE** North 86°59'14" East, with the common line between the said Haney tracts and the said south right-of-way line, passing at a distance of 28.75 feet a found 1/2-inch iron rod, being the northwest corner of the aforesaid Haney Tract 1, same being the most northerly northeast corner of the aforesaid Haney Tract 3, then continuing in all for a total distance of 633.84 feet to a found 1/2-inch iron rod for the northeast corner of the aforesaid Haney Tract 2, same being the northwest corner of a tract of land as described by deed to Stillwater Meadow, LLC as recorded in Document Number 201522788, D.R.P.C.T.;

**THENCE** with the common line between the said Haney tracts and the said Stillwater Meadow, LLC tract the following courses and distances:

South 08°57'20" East, a distance of 275.39 feet to a found 1/2-inch iron rod;

South 04°31'02" West, a distance of 551.53 feet to a found 1/2-inch iron rod for the southeast corner of the said Haney Tract 1, same being the southwest corner of the said Stillwater Meadow, LLC tract, and being in the north line of the aforementioned Haney Tract 3; North 89°25'19" East, a distance of 170.89 feet to a set 5/8-inch capped iron rod marked "BHB INC" for the northeast corner of the said Haney Tract 3, same being the southeast corner of the said Stillwater Meadow, LLC tract, and being in the west line of Lot 15, Block 1, Shadow Creek Ranch, an addition to Parker County, Texas as shown on the plat recorded in Volume 2088, Page 1115, P.R.P.C.T.;

**THENCE** South 04°48'06" West, with the common line between the said Haney tracts and said Lot 15, a distance of 232.66 feet to a found 1/2-inch iron rod;

**THENCE** South 00°14'50" East, continuing with the said common line, passing at a distance of 158.15 feet, a point for the southwest corner of said Lot 15, same being the northwest corner of Lot 12, Block 1, Shadow Creek Phase II, an addition to Parker County, Texas as shown on the plat recorded in Cabinet C, Page 341, P.R.P.C.T., same being the most northerly corner of Lot 13 of said Block 1, Shadow Creek Phase II, and now continuing with the common line between the said Haney tracts and said Shadow Creek Phase II in all for a total distance of 852.83 feet to a found 1/2-inch iron rod for the southeast corner of the aforesaid Haney Tract 3, same being the southwest corner of Lot 15 of said Block 1, Shadow Creek Phase II, and being in the north line of Lot 16 of said Block 1, Shadow Creek Phase II;

**THENCE** South 88°49'15" West, continuing with the common line between the said Haney Tracts and said Shadow Creek Phase II, passing at a distance of 378.98 feet, a point for the northwest corner of said Lot 16, same being the northeast corner of a remainder tract of land as described by deed to Bailey Ranch, a Texas Limited Partnership as recorded in Volume 2018, Page 163, D.R.P.C.T. and now continuing with the common line between the said Haney tracts and the said Bailey Ranch tract, in all for a total distance of 761.04 feet to a found 1/2-inch capped iron rod marked "CARTER ALEDO" for the southwest corner of the said Haney Tract 3, same being the southeast corner of Lot 35, Block 2, West Oaks Homesites, Section 1, an addition to Parker County, Texas as shown on the plat recorded in Volume 360A, Page 34, P.R.P.C.T., and being the southeast corner of Lot 34 of said Block 2;

**THENCE** North 00°48'29" West, with the common line between the said Haney tracts and said West Oaks Homesites, Section 1, passing at a distance of 1507.28 feet, a point for the northeast corner of said West Oaks Homesites, Section 1, same being the southeast corner of the aforementioned Block 1, West Oaks Homesites, Section 3 from which a found 1/2-inch iron rod bears North 88°55'59" West, a distance of 1.88 feet, and now continuing with the common line between the said Haney tracts and the said West Oaks Homesites, Section 3 in all for a total distance of 1887.32 feet to the **POINT OF BEGINNING** and containing 1,361,137 feet or 31.247 acres of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, **Haney Revocable Trust**, acting herein by and through its duly authorized Trustees, does hereby certify and adopt this plat designating the herein above described property as Lots 1-5, Block 1, **Haney Complex**, an addition to the City of Willow Park, Parker County, Texas, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. Haney Revocable Trust does herein certify the following: The streets and alleys are dedicated for street and alley purposes. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat. No building, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by The City of Willow Park. The City of Willow Park, is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park, and public utilities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements. The City of Willow Park, and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time permission from anyone. All modifications to this document shall be by means of plat and approved by The City of Willow Park.

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Dustin Kyle Haney, Co-Trustee, known to me to be the person whose name are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Jayme Lynne Haney, Co-Trustee, known to me to be the person whose name are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Notary Public in and for the State of Texas

Notary Public in and for the State of Texas

**SURVEYOR'S CERTIFICATION**

I, Toby G. Stock, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby declare that this survey is true and correct and was prepared from an actual survey made under my supervision on the ground. Further, this survey conforms to the general rules of procedures and practices of the most current Texas Engineering and Land Surveying Practice Acts and Rules Concerning Practice and Licensure.

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

Toby G. Stock  
State of Texas Registered Professional Land Surveyor No. 6412  
Date: February 09, 2024

**CITY OF WILLOW PARK, TEXAS**

CITY COUNCIL

NOTE: THIS PLAT IS VALID ONLY IF RECORDED WITHIN  
SIX (6) MONTHS AFTER DATE OF APPROVAL

BY: \_\_\_\_\_ DATE \_\_\_\_\_

CITY MAYOR

ATTEST: \_\_\_\_\_ DATE \_\_\_\_\_

CITY SECRETARY

**PRELIMINARY PLAT**  
**LOTS 1-6, BLOCK 1**  
**HANEY COMPLEX**

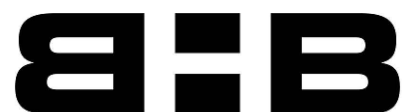
**BEING A 31.247 ACRE TRACT OF LAND SITUATED IN THE**  
**ELIZA OXER SURVEY, ABSTRACT NO. 1031**

**an addition to the City of Willow Park, Parker County, Texas**

**FEBRUARY 2024**

**SHEET 2 OF 2**

Surveyor:



**BAIRD, HAMPTON & BROWN**  
engineering and surveying

949 Hilltop Drive, Weatherford, TX 76086  
tstock@bhinc.com • 817.596.7575 • bhinc.com  
TBPELS Firm #44 • TBPELS FIRM #10194146

Owners/Developers:  
Attn: Dustin Kyle Haney &  
Jayme Lynne Haney, Co-Trustees  
Haney Revocable Trust  
103 Plantation Ct.  
Aledo, Texas 76008  
PH# 817-980-2425

January 10, 2024

Toni Fisher  
Planning & Development Director  
City of Willow Park  
120 El Chico Trail, Suite A  
Willow Park, Texas 76087

**Re: RESPONSE TO PRELIMINARY PLAT CORRECTION LIST FOR  
PROPOSED LOTS 1-5, BLOCK 1, HANEY COMPLEX ADDITION, CITY OF WILLOW PARK  
BHB NO. 2023.810.087**

Dear Ms. Fisher,

This is in response to the comments you provided for the above-mentioned project. The original comment list is provided with our responses to the right outlined in red. If you have any questions or comments regarding this matter, please feel free to contact me at (817) 596-7575 or via email at [scrawford@bhbin.com](mailto:scrawford@bhbin.com).

Respectfully,  
**Baird, Hampton & Brown**



Scott Crawford, PE  
Associate | Senior Civil Engineer



# CORRECTIONS LIST

Project Type: Preliminary Plat | Project Title: Preliminary Plat  
 ID # 23-000329 | Started: 09/06/2023 at 9:40 AM

<b>Address</b> Haney Complex 000 Haney Complex, Willow Park, TX USA	<b>Legal</b> No legal information	<b>Property Info</b> No property information
--	--------------------------------------	---

<b>Description</b> Haney Complex Addition   Lot 1-5 Blk 1
--

CORRECTION / ADDED ON	DESCRIPTION	PRIORITY
-----------------------	-------------	----------

**Miscellaneous**

Required: 20 | Corrected: 0

**Screening Fence [14.09.001]**

By: Toni Fisher  
 09/30/2023 at 10:53 AM

REQUIRED

City Ordinance requires Screening Fence as a buffer between residential and commercial zoning.

Normal

This has been added to the site plan.

**Notes**

By: Toni Fisher  
 09/30/2023 at 10:33 AM

REQUIRED

General Notes, Item #4:

- Change Hood County to *Parker* County

Revised as noted.

Normal

General Notes, Item #6:

- Change "my" to "may";
- Last line of paragraph: should "permission for anyone" be "permission *from* anyone"?

Revised as noted.

Flood Zone Note, title:

- Change "Note" to "Notes"
- Item A: last sentence should read "This does not represent a drainage study *for* floodplain limits."

Revised as noted.

**Vicinity Map**  
By: Gretchen Vazquez  
09/22/2023 at 4:53 PM

Show the location of the city limits line on the vicinity map.

Normal

Revised as noted.

REQUIRED

**Lot and Block Numbering**  
By: Gretchen Vazquez  
09/22/2023 at 4:52 PM

Each lot or block should be identified by number or letter. Label block numbers on the plat.

Normal

Revised as noted.

REQUIRED

**Building Setbacks**  
By: Gretchen Vazquez  
09/22/2023 at 4:52 PM

Remove the building setbacks from the plat. Add a note to the plat stating, "Building setbacks to be obtained from the City of Willow Park".

Normal

Revised as noted.

REQUIRED

**General Notes**  
By: Gretchen Vazquez  
09/22/2023 at 4:51 PM

General Note #4 references Hood County Clerk's Office.

Normal

Revised as noted.

REQUIRED

**Title Block**  
By: Gretchen Vazquez  
09/22/2023 at 4:51 PM

Include lot and block numbers.

Normal

Revised as noted.

REQUIRED

**Streets Rights-of-Way**  
By: Gretchen Vazquez  
09/22/2023 at 4:50 PM

Show the opposite side of Bankhead Highway right-of-way line. The City of Willow Park Master Thoroughfare plan classifies Bankhead Highway as a minor arterial (90' right-of-way). Show and label any right-of-way dedication.

Normal

We are scheduling additional survey to capture the property line across Bankhead in order to determine the correct ROW dedication.

REQUIRED

**Street Centerline**  
By: Gretchen Vazquez  
09/22/2023 at 4:49 PM

Show dimensions from centerline to property boundary.

Normal

We are scheduling additional survey to capture the property line across Bankhead in order to determine the correct ROW centerline.

REQUIRED

**Streets Rights-of-Way**  
By: Gretchen Vazquez  
09/22/2023 at 4:49 PM

Aerial imagery shows an unimproved street east of the West Oak Homesites subdivision. Is Hewitt Lane a public street? Show and label all known rights-of-way within or affecting the area to be subdivided.

Normal

We were unable to find evidence of previously dedicated ROW for Hewitt Ln. A public access & utility easement will run down the west side of the property and connect to Robyn Lane.

REQUIRED



**Detention Pond**

By: Gretchen Vazquez  
09/22/2023 at 4:49 PM

REQUIRED

1. Who will be responsible for the maintenance of the detention area? Detention facilities shall be maintained by the property owner. Add a note to the plat and label it as a detention area easement.

2. The proposed detention area does not border a public right-of-way. Provide means or access way for maintenance purposes. Easements shall be of sufficient size to permit maintenance of the drainage facility.

Normal

Detention was shown on the site plan as an area placeholder if detention was required. We have prepared a drainage area since that time showing no detention is required due to the large size of the overall drainage basin and our site's proximity to the floodplain.

**Minimum Finish Floor Elevation**

By: Gretchen Vazquez  
09/22/2023 at 4:48 PM

REQUIRED

Where building sites are located in the floodplain, the minimum finished floor elevation above the 100-year flood elevation shall be written on the face of the plat for every lot or building site.

Normal

Revised as noted. Minimum FF elevations will be shown as determined by BHB flood study to accompany LOMA.

**Approximate Zone A**

By: Gretchen Vazquez  
09/22/2023 at 4:47 PM

REQUIRED

Zone A areas indicate approximate floodplain boundaries. No detailed study has been performed to determine base flood elevations in these areas. The City of Willow Park floodplain management ordinance requires that all new subdivision proposals and other proposed developments greater than 50 lots or 5 acres, whichever is the lesser, include within such proposals base flood elevation data.

Normal

Revised as noted. 100-yr floodplain boundaries will be shown as determined by BHB flood study to accompany LOMA.

**Zoning**

By: Gretchen Vazquez  
09/22/2023 at 4:46 PM

REQUIRED

Are there any land uses proposed for Lot 2?

Normal

The proposed use of Lot 2 is uncertain at this time.

**Public Use Areas**

By: Gretchen Vazquez  
09/22/2023 at 4:45 PM

REQUIRED

Are there areas proposed to be reserved or dedicated for public use?

Normal

Not at this time.

**Robyn Drive**  
By: Gretchen Vazquez  
09/22/2023 at 4:44 PM

REQUIRED

Provide additional information on the site plan showing the cross-access connectivity to the adjoining subdivision. Is the existing access point built to the property line?

Normal

A public access & utility easement will run down the west side of the property and connect to Robyn Lane. Robyn Lane is not currently paved all the way to this property.

**Overall Utility Layout**  
By: Gretchen Vazquez  
09/22/2023 at 4:43 PM

REQUIRED

1. Label where the existing 4" force main ends and 3" force main begins. Label where the 3" force main ends and 2" force main begins.

Normal

Revised as noted.

2. Provide easement for future expansion of sanitary sewer force main.

The force mains to serve each lot are located in utility easements. A stub out is provided for Lot 2. Any easements if necessary can be added on a replat of Lot 2 since there are no Lot 2 developments proposed.

**Site Plan**  
By: Gretchen Vazquez  
09/22/2023 at 4:42 PM

REQUIRED

Is a screening fence/wall along the common line between your development and the West Oak Homesites subdivision being proposed?

Normal

Yes, as part of these revisions.

**Design Plans and Specifications**  
By: Gretchen Vazquez  
09/22/2023 at 4:40 PM

REQUIRED

Per the Developer's Agreement, construction plans shall be submitted for review and approved prior to approval and filing of the final plat.

Normal

Noted.

**Fire Review**  
By: John Schneider  
09/07/2023 at 2:02 PM

REQUIRED

Need the building height information to verify fire lane widths. Also, all fire lanes and access roads need to meet the turning radius of the largest fire apparatus SAE 35.21, Tire 35.94, Bumper 40.81

Normal

Noted.  
Building heights provided by the architect: Retro Rink at ridge is 24'6-3/4" +/- at eave it is 14'-0" +/-  
Fortified Metals: Fabrication portion is ridge is 27'-3 3/4" +/- at eave 23'-0" +/-  
The office area ridge is 20'-7 3/4" +/- at eaves 12'-0" +/-

Thanks,  
Schneider

Review Category A

Required: 2 | Corrected: 0

**Public Works Review Correct Item 2**  
By: Michelle Guelker  
09/12/2023 at 4:32 PM

REQUIRED

Under general notes, change Hood County to Parker County.

Normal

Revised as noted.



**Public Works Review Correct Item 1**

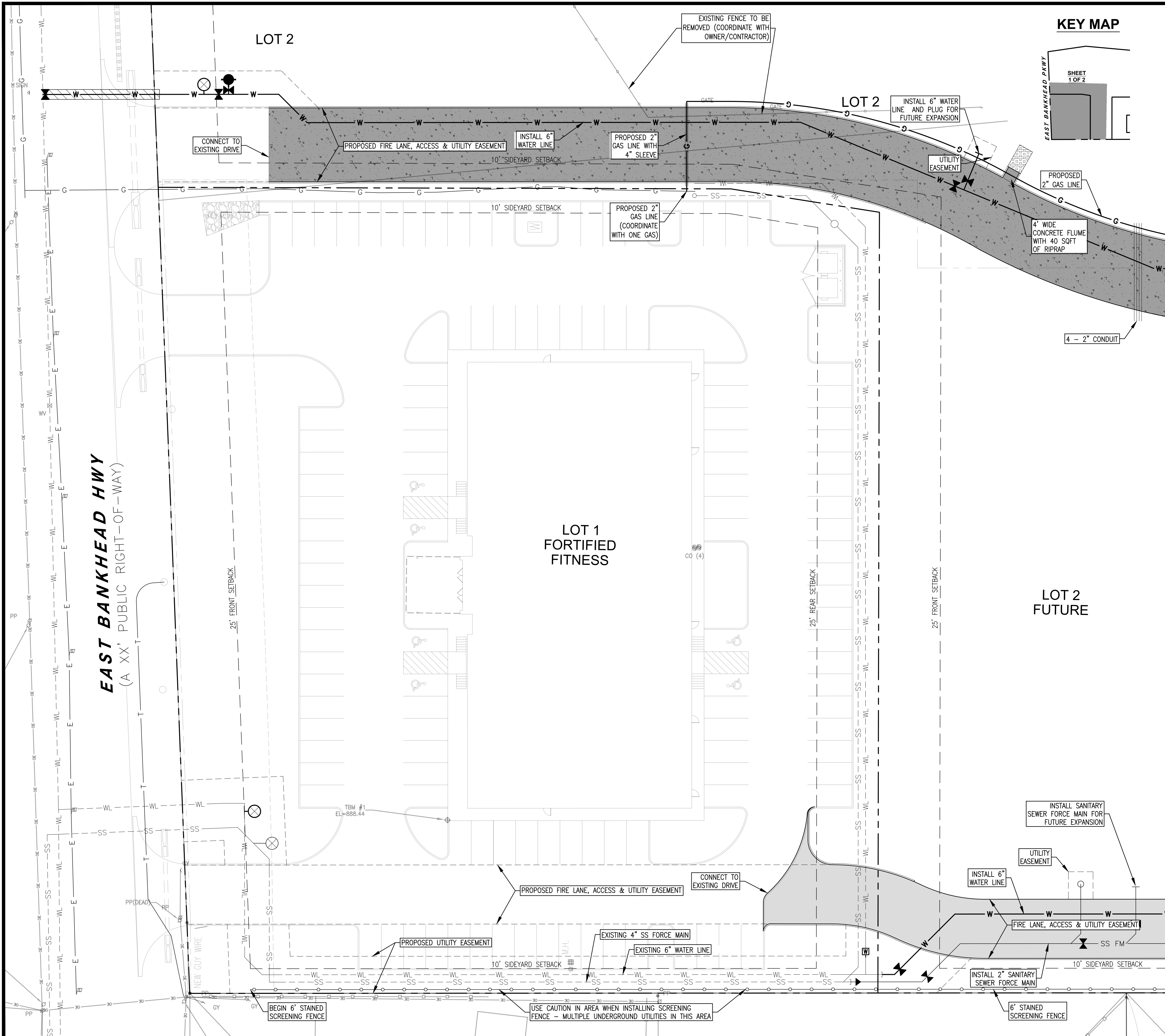
By: Michelle Guelker  
09/12/2023 at 4:29 PM

**REQUIRED**

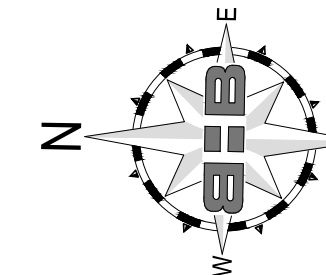
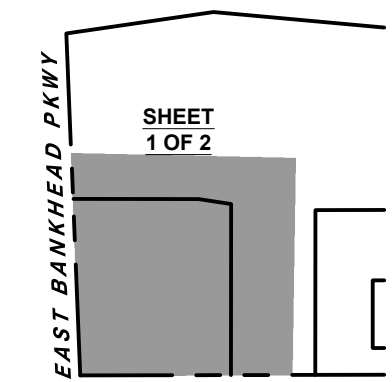
Hewitt Lane runs along the west side of the property. The plat does not show Hewitt Lane. Is Hewitt Lane being abandoned or will it be the easement along the west property line?

Normal

We were unable to find evidence of previously dedicated ROW for Hewitt Ln. A public access & utility easement will run down the west side of the property and connect to Robyn Lane.



**KEY MAP**



GRAPHIC SCALE: 1" = 20'-0" (22"x34")  
1" = 40'-0" (11"x17")

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- LEGEND**
- (4) NUMBER OF PARKING SPACES
  - MEDIUM TO HEAVY DUTY PAVEMENT 7" 3500 PSI CONCRETE PAVING W/ #3 REBAR AT 18" O.C.E.W.
  - MEDIUM DUTY PAVEMENT 6" 3500 PSI CONCRETE PAVING W/ #3 REBAR AT 18" O.C.E.W.
  - SIDEWALK 4" 3500 PSI CONCRETE PAVING W/ #3 REBAR AT 18" O.C.E.W.

**SITE SUMMARY**

**LOT 3**  
USE: RETRO RINK - ROLLER SKATING RINK  
ACREAGE: 3.220 ACRES  
PROPOSED ZONING: COMMERCIAL  
PARKING REQUIRED: 105 SPACES\*\*  
PARKING PROVIDED: 136 SPACES  
FRONT YARD SETBACK: 25 FEET  
REAR YARD SETBACK: 25 FEET  
SIDE YARD SETBACK: 10 FEET  
MAX. BLDG./LOT COVERAGE: 60%  
ACTUAL BLDG./LOT COVERAGE: 22.3%  
\*\*A PARKING REQUIREMENT VARIANCE OF ONE SPACE PER 300 SQUARE FEET IS REQUESTED FOR LOT 3. THIS IS BASED ON A CITY OF DALLAS REQUIREMENT THAT IS SPECIFIC TO ROLLER SKATING RINKS.

MATCHLINE

Item 6

**BAIRD, HAMPTON & BROWN**  
engineering and surveying  
949 Hilltop Drive, Weatherford, TX 76086  
ma@bhinc.com • 817.596.7515 • bhinc.com  
TPELS Firm #44, #10194146

HANEY REVOCABLE TRUST  
DUSTIN KYLE & JAYME LYNNE - CO-TRUSTEES

**HANEY COMPLEX - RETRO RINK**  
9744 EAST BANKHEAD PKWY  
WILLOW PARK, TEXAS

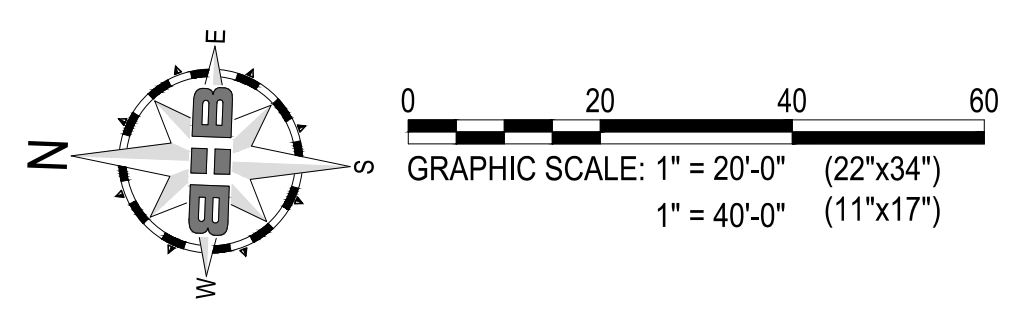
SITE PLAN 1 OF 2

NO.	DESCRIPTION	DATE

PROJECT NUMBER: 2023.150.000  
DATE: 12/14/2023 DRAWN BY: JPM  
DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**C4.0**



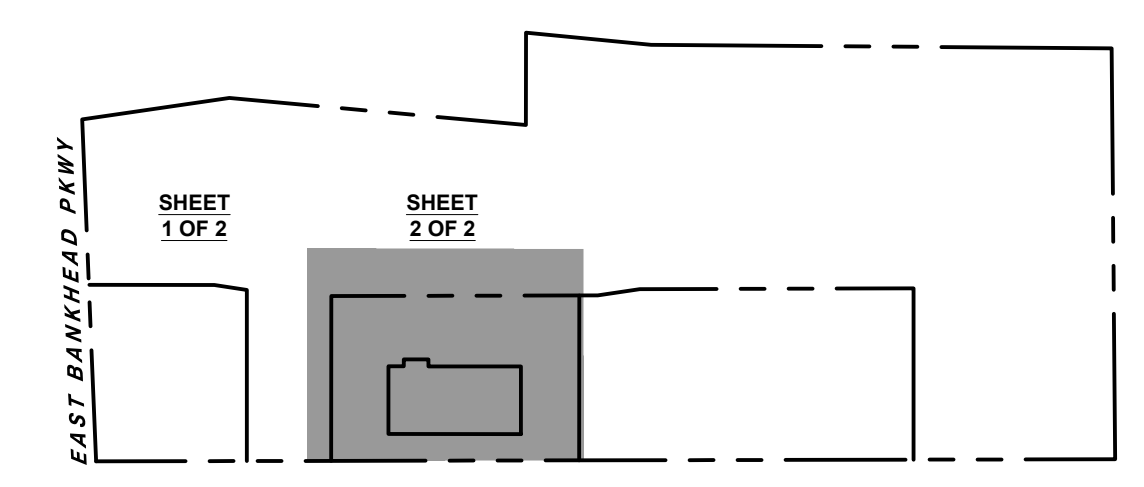


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**KEY MAP**



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 engineering and surveying  
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 mail@bhinc.com • 817.596.7575 • bhinc.com  
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 9744 EAST BANKHEAD PKWY  
 WILLOW PARK, TEXAS

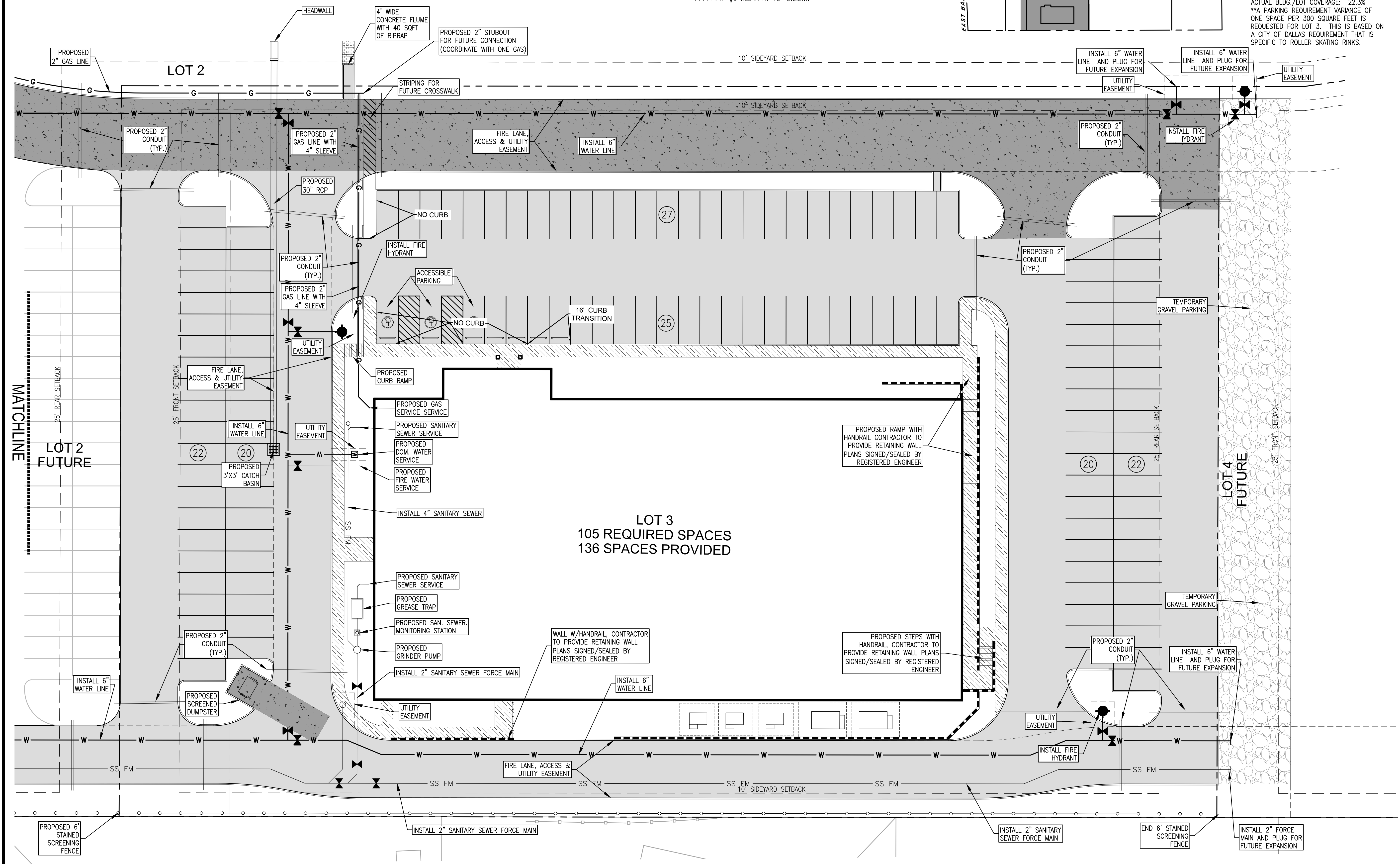
**SITE PLAN 2 OF 2**

NO.	DESCRIPTION	DATE

STATE OF TEXAS  
 T. SCOTT CRAWFORD  
 100155  
 LICENSED PROFESSIONAL ENGINEER  
 T. Scott Crawford  
 12/14/2023

PROJECT NUMBER: 2023.150.000  
 DATE: 12/14/2023 DRAWN BY: JPM  
 DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**C4.1**



1:10:2024 5:00PM F:\proj\2023\150\XXX\HaneComplex01 Design & Drafting\02 Civil\2023.150.000\_Site Plan.dwg C4.1 SITE PLAN 2 OF 2







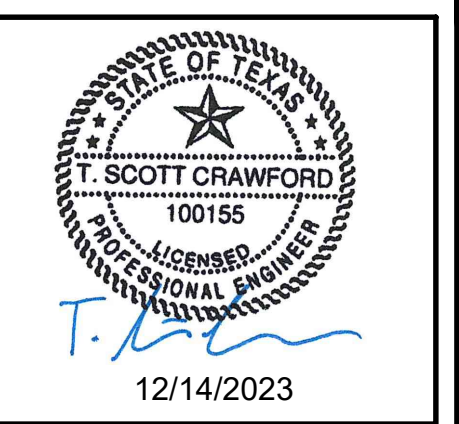


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DUSTIN KYLE & JAYME LYNNE - CO-TRUSTEES

**HANEY COMPLEX - RETRO RINK**  
9744 EAST BANKHEAD PKWY  
WILLOW PARK, TEXAS

UTILITY PLAN 2 OF 2

NO.	DESCRIPTION	DATE

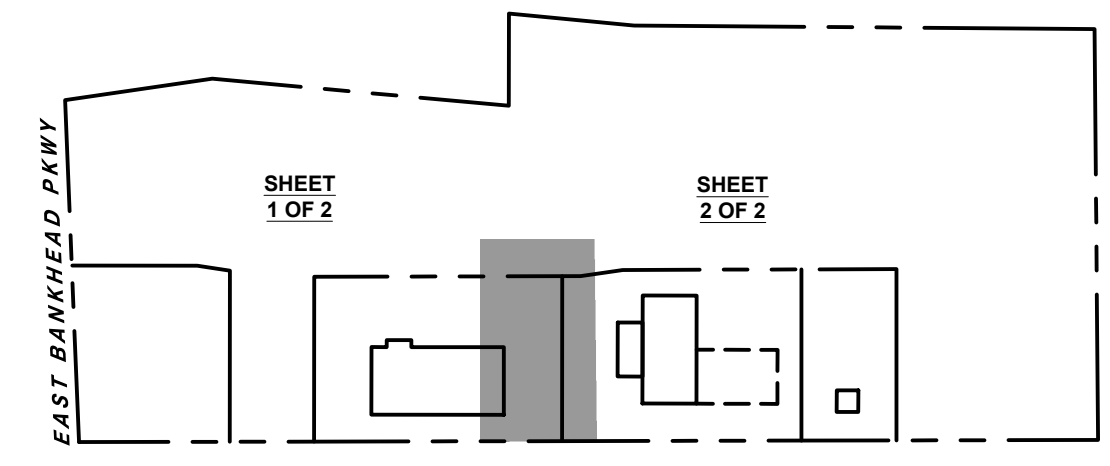


PROJECT NUMBER: 2023.150.000  
DATE: 12/14/2023 DRAWN BY: JPM  
DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**C7.1**

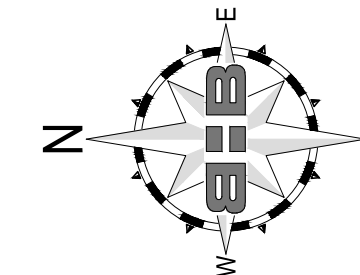
1:10/2024 5:00PM F:\job\2023\150\XXX\HaneComplex01 Design & Drafting\02 Civil\2023.150.dwg WATER PLAN.dwg CT:1 UTILITY PLAN 2 OF 2

**KEY MAP**



**LEGEND**

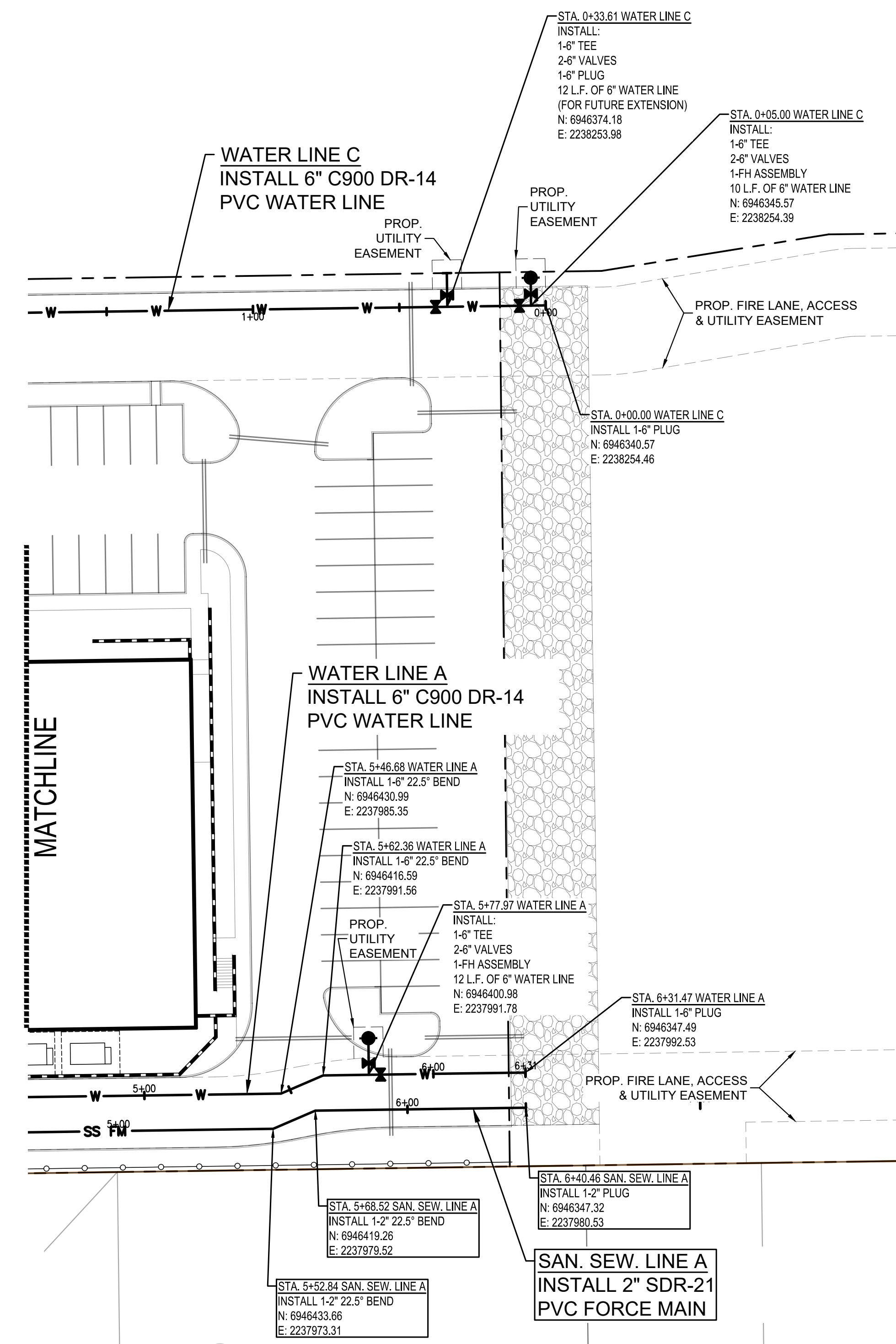
- PROP. SANITARY SEWER SERVICE
- PROP. WATER SERVICE
- PROP. FIRE HYDRANT
- PROP. WATER VALVE
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT



GRAPHIC SCALE: 1" = 30'-0" (22"x34")  
1" = 60'-0" (11"x17")

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MATCHLINE

SS 5+00

STA. 5+52.84 SAN. SEW. LINE A  
INSTALL 1-2" 22.5" BEND  
N: 6946433.66  
E: 2237973.31

**SAN. SEW. LINE A**  
INSTALL 2" SDR-21  
PVC FORCE MAIN

**WATER LINE A**  
INSTALL 6" C900 DR-14  
PVC WATER LINE

**WATER LINE C**  
INSTALL 6" C900 DR-14  
PVC WATER LINE

STA. 0+33.61 WATER LINE C  
INSTALL:  
1-6" TEE  
2-6" VALVES  
1-6" PLUG  
12 L.F. OF 6" WATER LINE  
(FOR FUTURE EXTENSION)  
N: 6946374.18  
E: 2238253.98

STA. 0+05.00 WATER LINE C  
INSTALL:  
1-6" TEE  
2-6" VALVES  
1-FH ASSEMBLY  
10 L.F. OF 6" WATER LINE  
N: 6946345.57  
E: 2238254.39

STA. 0+00.00 WATER LINE C  
INSTALL 1-6" PLUG  
N: 6946340.57  
E: 2238254.46

STA. 5+46.68 WATER LINE A  
INSTALL 1-6" 22.5" BEND  
N: 6946430.99  
E: 2237985.35

STA. 5+62.36 WATER LINE A  
INSTALL 1-6" 22.5" BEND  
N: 6946416.59  
E: 2237991.56

STA. 5+77.97 WATER LINE A  
INSTALL:  
1-6" TEE  
2-6" VALVES  
1-FH ASSEMBLY  
12 L.F. OF 6" WATER LINE  
N: 6946400.98  
E: 2237991.78

STA. 6+31.47 WATER LINE A  
INSTALL 1-6" PLUG  
N: 6946347.49  
E: 2237992.53

STA. 6+40.46 SAN. SEW. LINE A  
INSTALL 1-2" PLUG  
N: 6946347.32  
E: 2237980.53

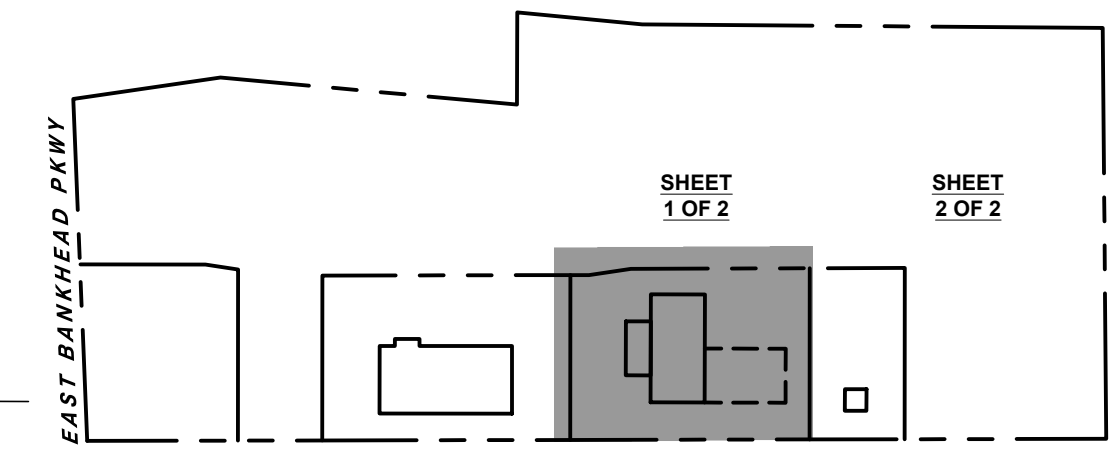


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 BHB, INC.  
 TX REGISTERED FIRM F-00044  
 ENGINEER: T. SCOTT CRAWFORD, P.E.  
 TEXAS LICENSE NO. 100155  
 DATE: 01/10/2024

PROJECT NUMBER: 2023.150.000  
 DATE: 01/10/2024 DRAWN BY: JPM  
 DESIGN BY: TSC CHECKED BY: TSC

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**C4.0**

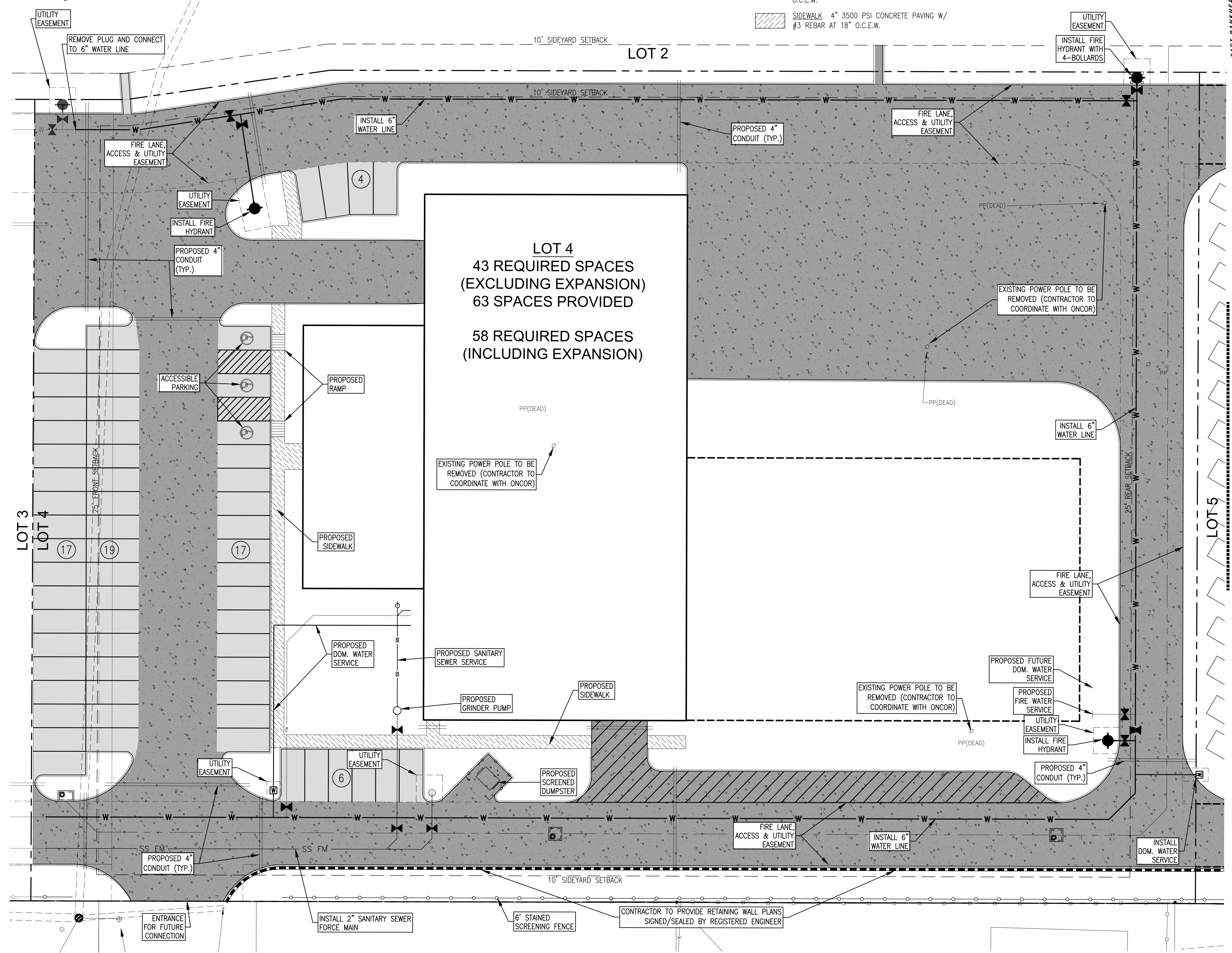
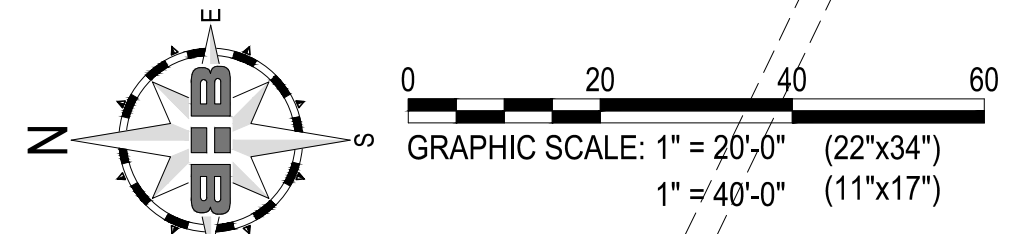
**KEY MAP**



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**SITE SUMMARY**

**LOT 1**  
 USE: FORTIFIED FITNESS - GYM  
 ACREAGE: 2.137 ACRES  
 PROPOSED ZONING: COMMERCIAL  
 PARKING REQUIRED: 83 SPACES  
 PARKING PROVIDED: 121 SPACES  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG./LOT COVERAGE: 60%  
 ACTUAL BLDG./LOT COVERAGE: 17.6%

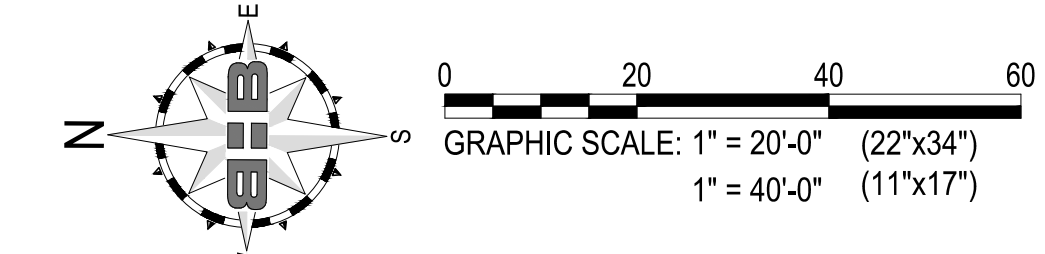
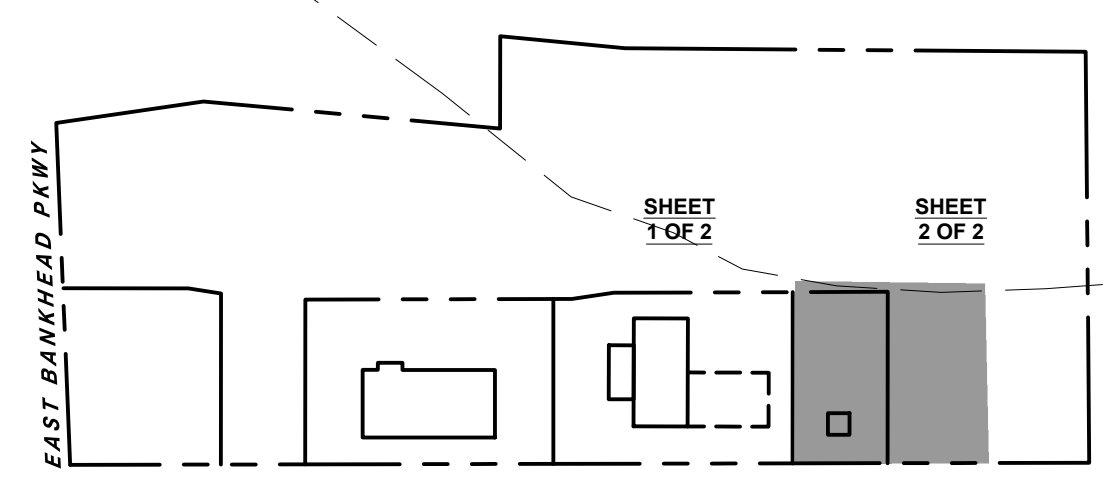
**LOT 2**  
 USE: DRAINAGE & FUTURE COMMERCIAL  
 ACREAGE: 20.698 ACRES  
 PROPOSED ZONING: COMMERCIAL  
 PARKING REQUIRED: N/A  
 PARKING PROVIDED: N/A  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG./LOT COVERAGE: 60%  
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**LOT 3**  
 USE: RETRO RINK - ROLLER SKATING RINK  
 ACREAGE: 3.220 ACRES  
 PROPOSED ZONING: COMMERCIAL  
 PARKING REQUIRED: 105 SPACES\*\*  
 PARKING PROVIDED: 136 SPACES  
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**LOT 4**  
 USE: FORTIFIED METALS - METAL SALES  
 ACREAGE: 3.202 ACRES  
 PROPOSED ZONING: LIGHT INDUSTRIAL  
 PARKING REQUIRED: 43 SPACES++  
 PARKING PROVIDED: 63 SPACES  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG. LOT COVERAGE: 50%  
 ACTUAL BLDG. LOT COVERAGE: 17.6%  
 ++BASED ON 1:200 FOR OFFICE SPACE AND 1:1000 FOR INDUSTRIAL/MANUFACTURING.

**LOT 5**  
 USE: ROLL-OFF DUMPSTER RENTAL  
 ACREAGE: 1.991 ACRES  
 PROPOSED ZONING: LIGHT INDUSTRIAL  
 PARKING REQUIRED: 4 SPACES  
 PARKING PROVIDED: 4 SPACES  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG. LOT COVERAGE: 50%  
 ACTUAL BLDG. LOT COVERAGE: 1.8%

**KEY MAP**



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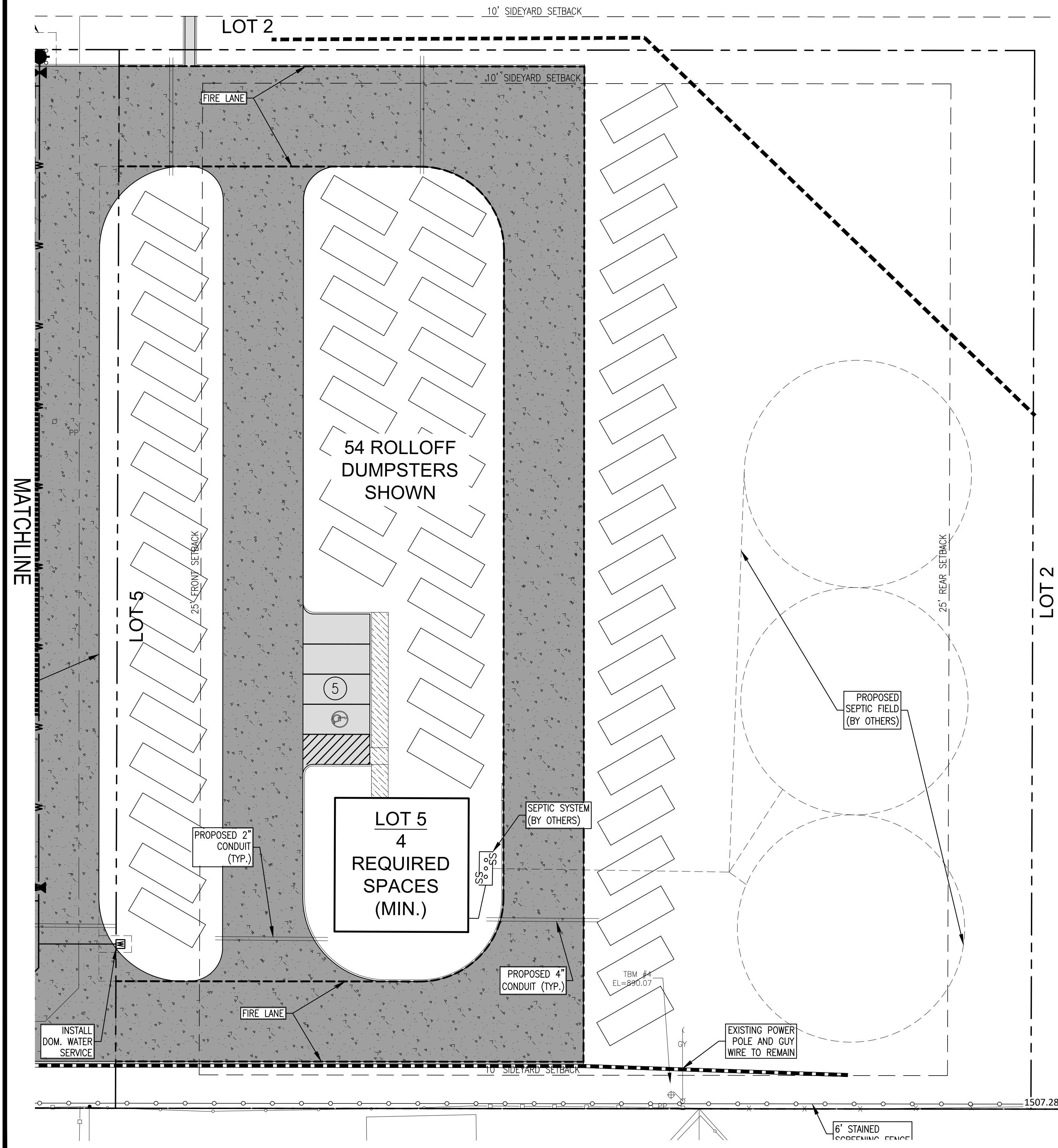
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 ACREAGE: 20.698 ACRES  
 PROPOSED ZONING: COMMERCIAL  
 PARKING REQUIRED: N/A  
 PARKING PROVIDED: N/A  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
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1:10:2024 5:03PM F:\job\2023\10\0000\Haney Complex\01 Design & Drafting\02 Civil\06 Phase 2\2023.810.sxd SITE PLAN\_ P2.dwg SITE PLAN 2 OF 2

N00°48'29"W

1507.28'



UTILITY PLAN

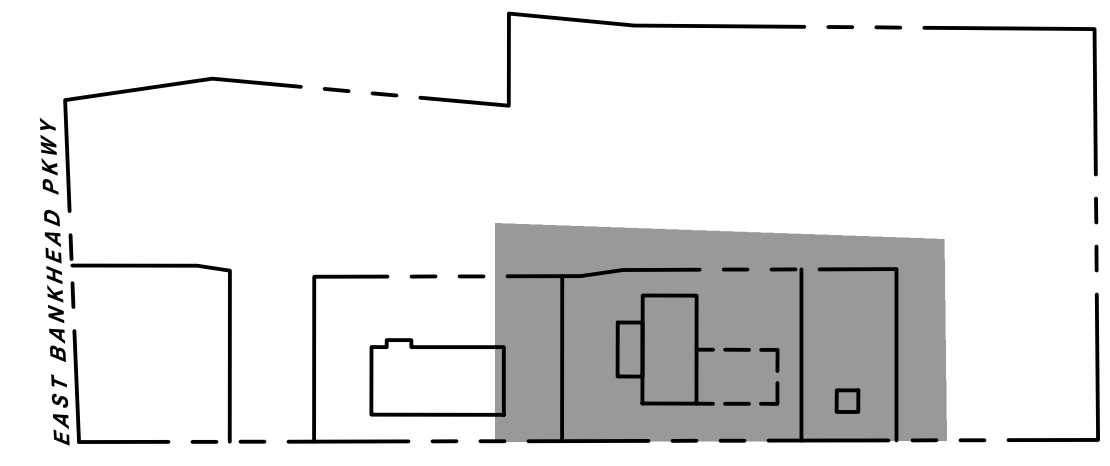
NO.	DESCRIPTION	DATE

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 ENGINEER: T. SCOTT CRAWFORD, P.E.  
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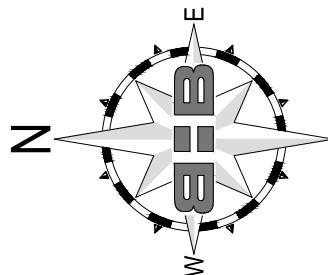
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**C7.0**

**KEY MAP**



**LEGEND**

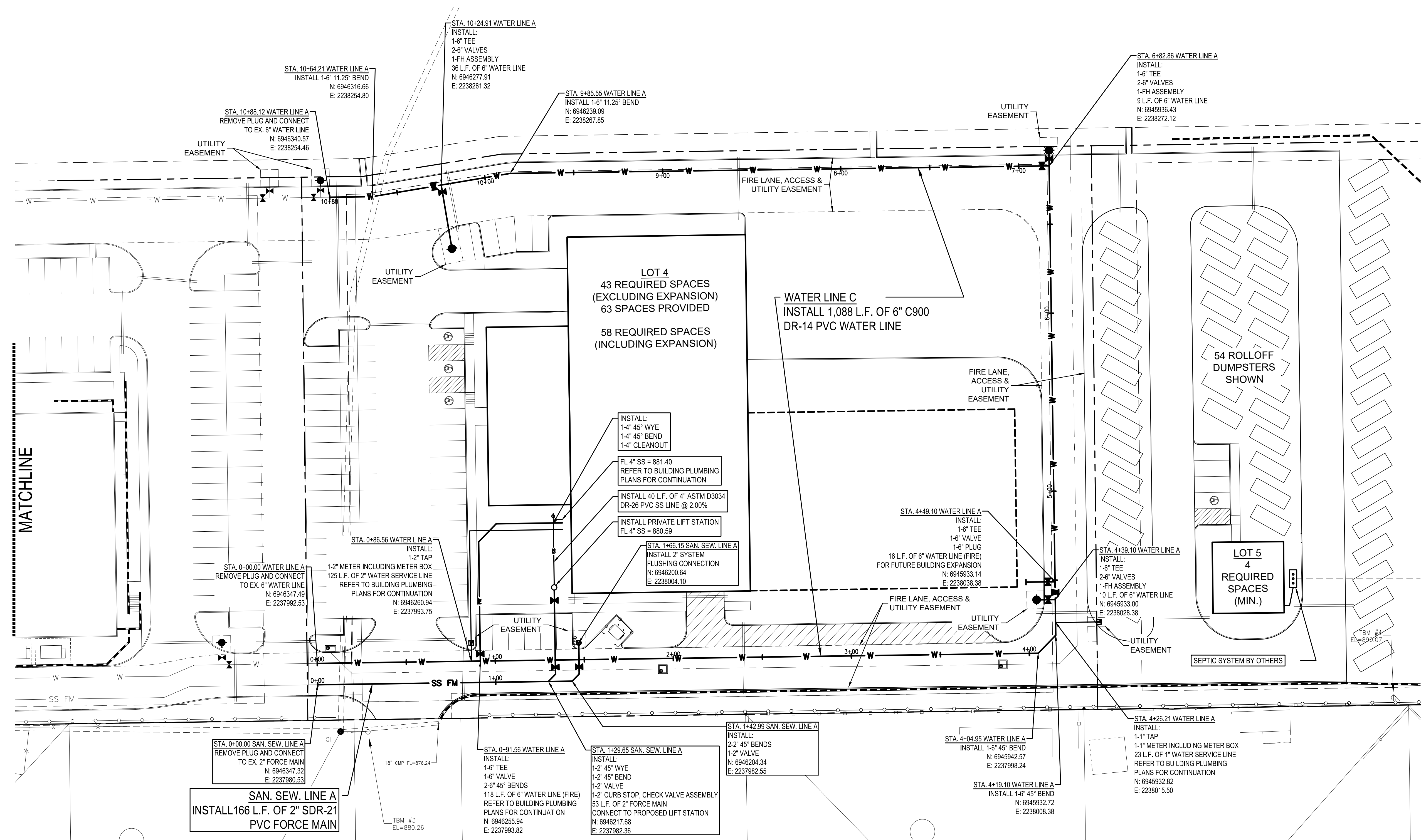
- PROP. SANITARY SEWER SERVICE
- PROP. WATER SERVICE
- PROP. FIRE HYDRANT
- ✕ PROP. WATER VALVE
- W ✕ EXISTING WATER VALVE
- EXISTING FIRE HYDRANT



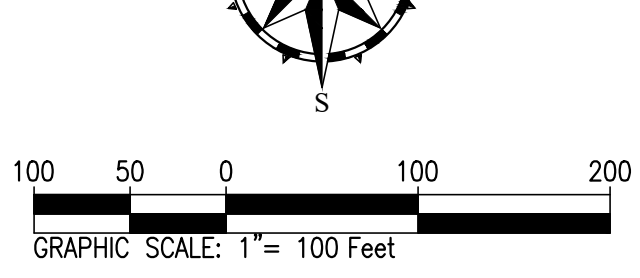
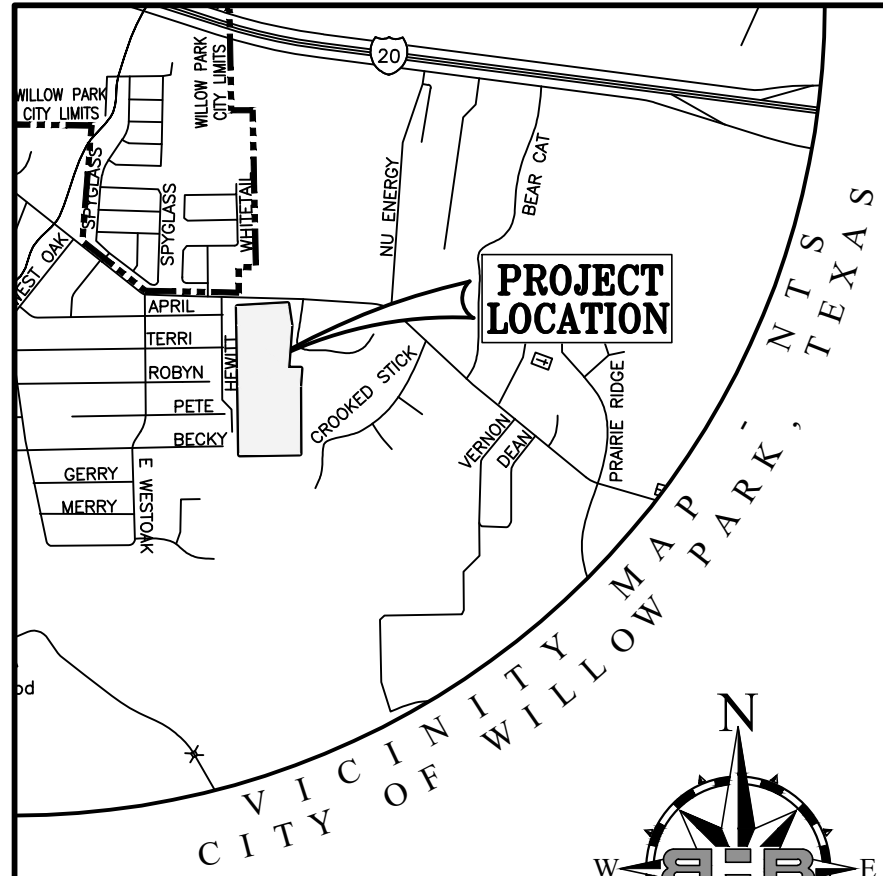
GRAPHIC SCALE: 1" = 30'-0" (22"x34")  
 1" = 60'-0" (11"x17")

**WARNING TO CONTRACTOR**  
 CALL 1-800-344-8377 (TEXAS 811) OR OTHER UTILITY LOCATION SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. BAIRD, HAMPTON, AND BROWN INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS.

**GENERAL UTILITY NOTE**  
 ALL UTILITIES MAY NOT BE SHOWN ON THE PLANS. LOCATION OF EXISTING UTILITIES DEPICTED ON THE PLANS ARE APPROXIMATE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION. UTILITIES DAMAGED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.







LEGEND

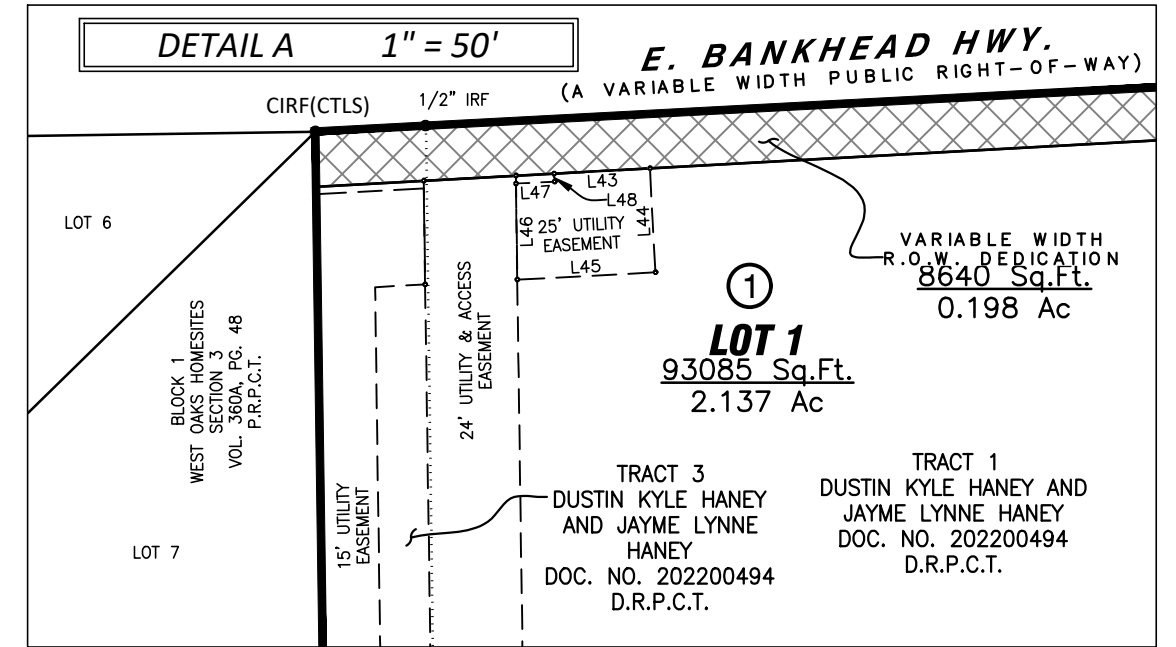
- CIRF.....1/2" Capped Iron Rod Marked "CARTER ALEDO" Found
- CIRF(CTLS).....1/2" Capped Iron Rod Marked "CTLS" Found
- D.R.P.C.T.....Deed Records, Parker County, Texas
- IRF.....Iron Rod Found
- IRS.....5/8" Capped Iron Rod Marked "BHB INC" Set
- P.R.P.C.T.....Plat Records, Parker County, Texas
- ①.....Block Number

GENERAL NOTES

1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
2. Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
3. Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
4. The property as platted is subject to any document pertaining to utility easements for electric, telephone or other utilities that affects said property as recorded in the Parker County Clerk's Office.
5. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
6. Utility Easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park and public entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easement. The City of Willow Park and public utility entities shall have the full right of ingress and egress to and from their respective easements, without the necessity at any time of procuring permission from anyone.
7. All lots shall conform to current zoning building set backs as specified by the City of Willow Park's Municipal Code of Ordinances.
8. Selling a portion of this Addition by metes and bounds is a violation of City Ordinances and State Law, and is subject to fines and withholding of utilities and building permits.
9. Building setbacks to be obtained from the City of Willow Park.

FLOOD ZONE NOTES

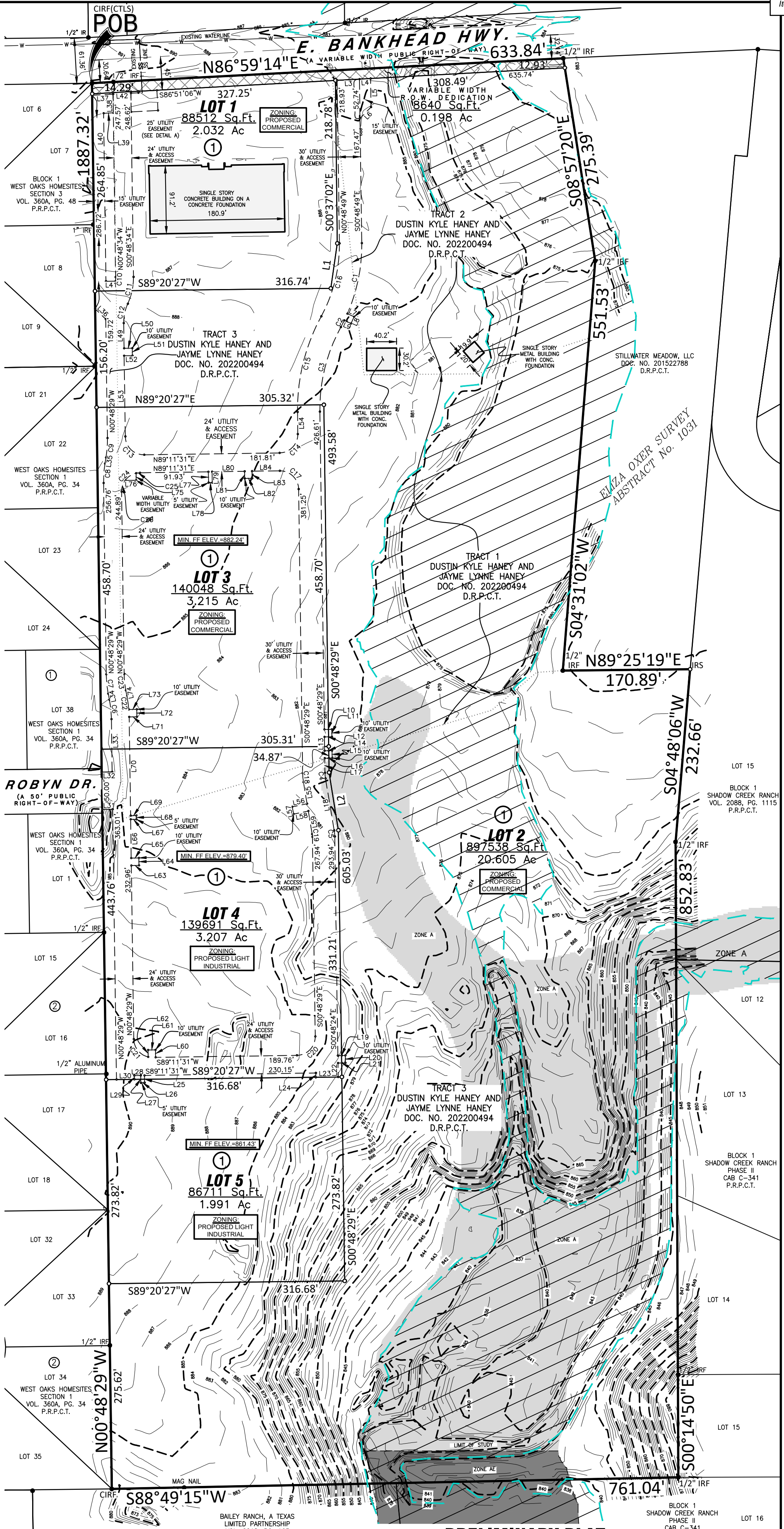
- A portion of the subject property lies within SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD:
- A. Zone A - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study for floodplain limits.
  - B. Zone AE - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study floodplain limits.
  - C. The remainder of the subject property lies within Zone X - Areas determined to be outside the 0.2% annual chance floodplain per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008.
  - D. Preliminary 100-YR Ultimate Floodplain per Baird, Hampton, Brown Inc. Floodstudy of Haney Complex, dated 10/31/2023. This Preliminary Plat does not represent a drainage study for Floodplain limits.



Owners/Developers:  
 Attn: Dustin Kyle Haney &  
 Jayme Lynne Haney, Co-Trustees  
 Haney Revocable Trust  
 103 Plantation Ct.  
 Aledo, Texas 76008  
 PH# 817-980-2425

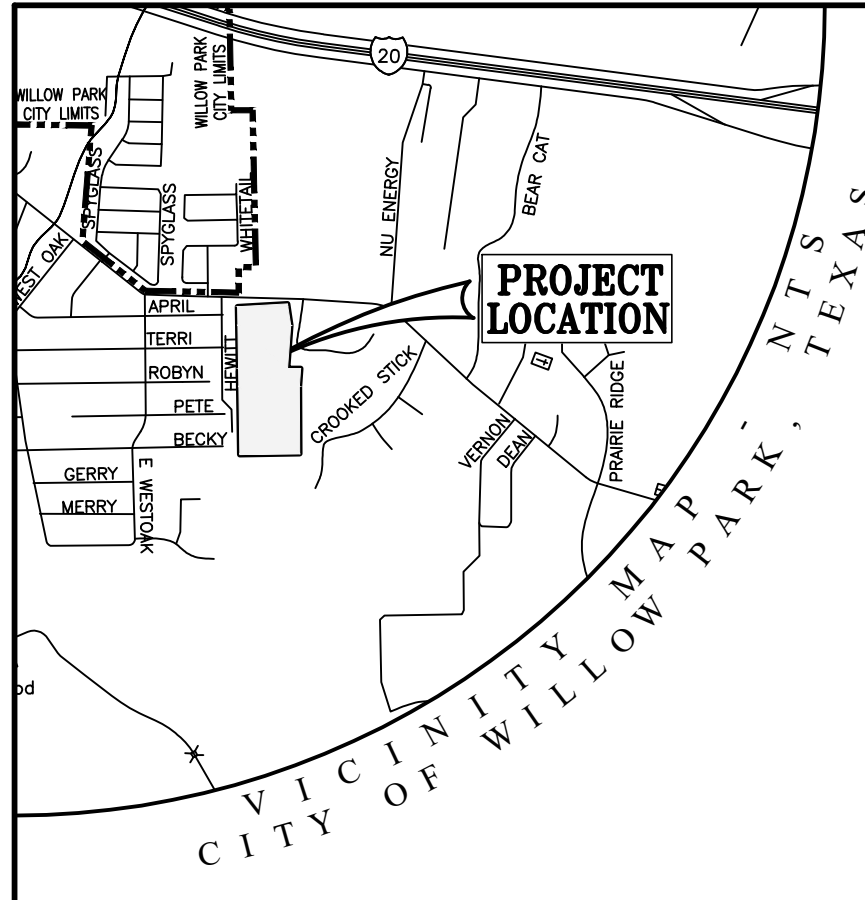
Surveyor:  
**BHB**  
**BAIRD, HAMPTON & BROWN**  
 engineering and surveying

949 Hilltop Drive, Weatherford, TX 76086  
 tstock@bhinc.com • 817.596.7575 • bhinc.com  
 TBPES Firm #44 • TBPES FIRM #10194146



**PRELIMINARY PLAT**  
**LOTS 1-5, BLOCK 1**  
**HANEY COMPLEX**  
 BEING A 31.247 ACRE TRACT OF LAND SITUATED IN THE  
**ELIZA OXER SURVEY, ABSTRACT NO. 1031**  
 an addition to the City of Willow Park, Parker County, Texas  
**JANUARY 2024** **SHEET 1 OF 2**





PROJECT LOCATION

GENERAL NOTES

- 1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
2. Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
3. Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
4. The property as platted is subject to any document pertaining to utility easements for electric, telephone or other utilities that affects said property as recorded in the Parker County Clerk's Office.
5. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
6. Utility Easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof.
7. All lots shall conform to current zoning building set backs as specified by the City of Willow Park's Municipal Code of Ordinances.
8. Selling a portion of this Addition by metes and bounds is a violation of City Ordinances and State Law, and is subject to fines and withholding of utilities and building permits.
9. Building setbacks to be obtained from the City of Willow Park.

BEING a tract of land situated in the Eliza Oxer Survey, Abstract Number 1031, Parker County, Texas, and being all of Tracts 1-3 as described by deed to Dustin Kyle Haney and Jayme Lynne Haney as recorded in Document Number 202200494, Deed Records, Parker County, Texas (D.R.P.C.T.), and being more particularly described by metes and bounds as follows: Bearings referenced to U.S. State Plane Grid 1983 - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.)

BEGINNING at a found 1/2-inch capped iron rod marked "CTLS" for the northwest corner of the said Haney tracts, same being the most northerly corner of Lot 7, Block 1, West Oaks Homesites, Section 3, an addition to Parker County, Texas as shown on the plat recorded in Volume 360A, Page 48, Plat Records, Parker County, Texas (P.R.P.C.T.), and being the most easterly corner of Lot 6 of said Block 1, and also being in the south right-of-way line of East Bankhead Highway (a variable width right-of-way);

THENCE North 86°59'14" East, with the common line between the said Haney tracts and the said south right-of-way line, passing at a distance of 28.75 feet a found 1/2-inch iron rod, being the northwest corner of the aforesaid Haney Tract 1, same being the most northerly northeast corner of the aforesaid Haney Tract 3, then continuing in all for a total distance of 633.84 feet to a found 1/2-inch iron rod for the northeast corner of the aforesaid Haney Tract 2, same being the northwest corner of a tract of land as described by deed to Stillwater Meadow, LLC as recorded in Document Number 201522788, D.R.P.C.T.;

THENCE with the common line between the said Haney tracts and the said Stillwater Meadow, LLC tract the following courses and distances: South 08°57'20" East, a distance of 275.39 feet to a found 1/2-inch iron rod;

South 04°31'02" West, a distance of 551.53 feet to a found 1/2-inch iron rod for the southeast corner of the said Haney Tract 1, same being the southwest corner of the said Stillwater Meadow, LLC tract, and being in the north line of the aforementioned Haney Tract 3; North 89°25'19" East, a distance of 170.89 feet to a set 5/8-inch capped iron rod marked "BHB INC" for the northeast corner of the said Haney Tract 3, same being the southeast corner of the said Stillwater Meadow, LLC tract, and being in the west line of Lot 15, Block 1, Shadow Creek Ranch, an addition to Parker County, Texas as shown on the plat recorded in Volume 2088, Page 1115, P.R.P.C.T.;

THENCE South 04°48'06" West, with the common line between the said Haney tracts and said Lot 15, a distance of 232.66 feet to a found 1/2-inch iron rod;

THENCE South 00°14'50" East, continuing with the said common line, passing at a distance of 158.15 feet, a point for the southwest corner of said Lot 15, same being the northwest corner of Lot 12, Block 1, Shadow Creek Phase II, an addition to Parker County, Texas as shown on the plat recorded in Cabinet C, Page 341, P.R.P.C.T., same being the most northerly corner of Lot 13 of said Block 1, Shadow Creek Phase II, and now continuing with the common line between the said Haney tracts and said Shadow Creek Phase II in all for a total distance of 852.83 feet to a found 1/2-inch iron rod for the southeast corner of the aforesaid Haney Tract 3, same being the southwest corner of Lot 15 of said Block 1, Shadow Creek Phase II, and being in the north line of Lot 16 of said Block 1, Shadow Creek Phase II;

THENCE South 88°49'15" West, continuing with the common line between the said Haney Tracts and said Shadow Creek Phase II, passing at a distance of 378.98 feet, a point for the northwest corner of said Lot 16, same being the northeast corner of a remainder tract of land as described by deed to Bailey Ranch, a Texas Limited Partnership as recorded in Volume 2018, Page 163, D.R.P.C.T. and now continuing with the common line between the said Haney tracts and the said Bailey Ranch tract, in all for a total distance of 761.04 feet to a found 1/2-inch capped iron rod marked "CARTER ALEDO" for the southwest corner of the said Haney Tract 3, same being the southeast corner of Lot 35, Block 2, West Oaks Homesites, Section 1, an addition to Parker County, Texas as shown on the plat recorded in Volume 360A, Page 34, P.R.P.C.T., and being the southeast corner of Lot 34 of said Block 2;

THENCE North 00°48'29" West, with the common line between the said Haney tracts and said West Oaks Homesites, Section 1, passing at a distance of 1507.28 feet, a point for the northeast corner of said West Oaks Homesites, Section 1, same being the southeast corner of the aforementioned Block 1, West Oaks Homesites, Section 3 from which a found 1/2-inch iron rod bears North 88°55'59" West, a distance of 1.88 feet, and now continuing with the common line between the said Haney tracts and the said West Oaks Homesites, Section 3 in all for a total distance of 1887.32 feet to the POINT OF BEGINNING and containing 1,361,137 feet or 31.247 acres of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Haney Revocable Trust, acting herein by and through its duly authorized Trustees, does hereby certify and adopt this plat designating the herein above described property as Lots 1-5, Block 1, Haney Complex, an addition to the City of Willow Park, Parker County, Texas, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. Haney Revocable Trust does herein certify the following: The streets and alleys are dedicated for street and alley purposes. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat. No building, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by The City of Willow Park. The City of Willow Park, is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park, and public utilities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements. The City of Willow Park, and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time permission from anyone. All modifications to this document shall be by means of plat and approved by The City of Willow Park.

STATE OF TEXAS § COUNTY OF \_\_\_\_\_ §

STATE OF TEXAS § COUNTY OF \_\_\_\_\_ §

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Dustin Kyle Haney, Co-Trustee, known to me to be the person whose name are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Jayme Lynne Haney, Co-Trustee, known to me to be the person whose name are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Notary Public in and for the State of Texas

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATION

I, Toby G. Stock, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby declare that this survey is true and correct and was prepared from an actual survey made under my supervision on the ground. Further, this survey conforms to the general rules of procedures and practices of the most current Texas Engineering and Land Surveying Practice Acts and Rules Concerning Practice and Licensure. PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT. Toby G. Stock State of Texas Registered Professional Land Surveyor No. 6412 Date: January 10, 2024

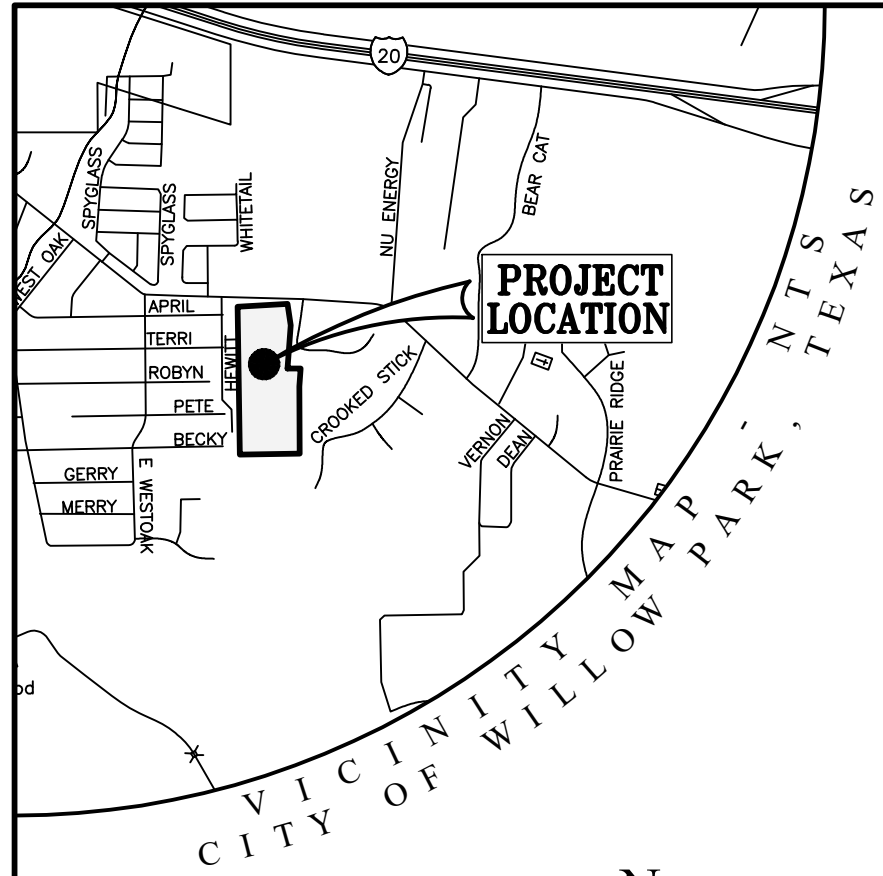
CITY OF WILLOW PARK, TEXAS CITY COUNCIL NOTE: THIS PLAT IS VALID ONLY IF RECORDED WITHIN SIX (6) MONTHS AFTER DATE OF APPROVAL BY: CITY MAYOR DATE ATTEST: CITY SECRETARY DATE

PRELIMINARY PLAT LOTS 1-5, BLOCK 1 HANEY COMPLEX BEING A 31.247 ACRE TRACT OF LAND SITUATED IN THE ELIZA OXER SURVEY, ABSTRACT NO. 1031 an addition to the City of Willow Park, Parker County, Texas JANUARY 2024 SHEET 1 OF 2

BHB BAIRD, HAMPTON & BROWN engineering and surveying 949 Hilltop Drive, Weatherford, TX 76086 tstock@bhbincc.com • 817.596.7575 • bhbincc.com TBPELS Firm #44 • TBPLES FIRM #10194146

Owners/Developers: Attn: Dustin Kyle Haney & Jayme Lynne Haney, Co-Trustees Haney Revocable Trust 103 Plantation Ct. Aledo, Texas 76008 PH# 817-980-2425





LEGEND

- CIRF.....1/2" Capped Iron Rod Marked "CARTER ALEDO" Found
- CIRF(CTLS).....1/2" Capped Iron Rod Marked "CTLS" Found
- D.R.P.C.T.....Deed Records, Parker County, Texas
- IRF.....Iron Rod Found
- IRS.....5/8" Capped Iron Rod Marked "BHB INC" Set
- P.R.P.C.T.....Plat Records, Parker County, Texas

GENERAL NOTES

1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
2. Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
3. Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
4. The property as platted is subject to any document pertaining to utility easements for electric, telephone or other utilities that affects said property as recorded in the Hood County Clerk's Office.
5. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
6. Utility Easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park and public entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easement. The City of Willow Park and public utility entities shall have the full right of ingress and egress to and from their respective easements, without the necessity at any time of procuring permission for anyone.
7. All lots shall conform to current zoning building set backs as specified by the City of Willow Park's Municipal Code of Ordinances.
8. Selling a portion of this Addition by metes and bounds is a violation of City Ordinances and State Law, and is subject to fines and withholding of utilities and building permits.

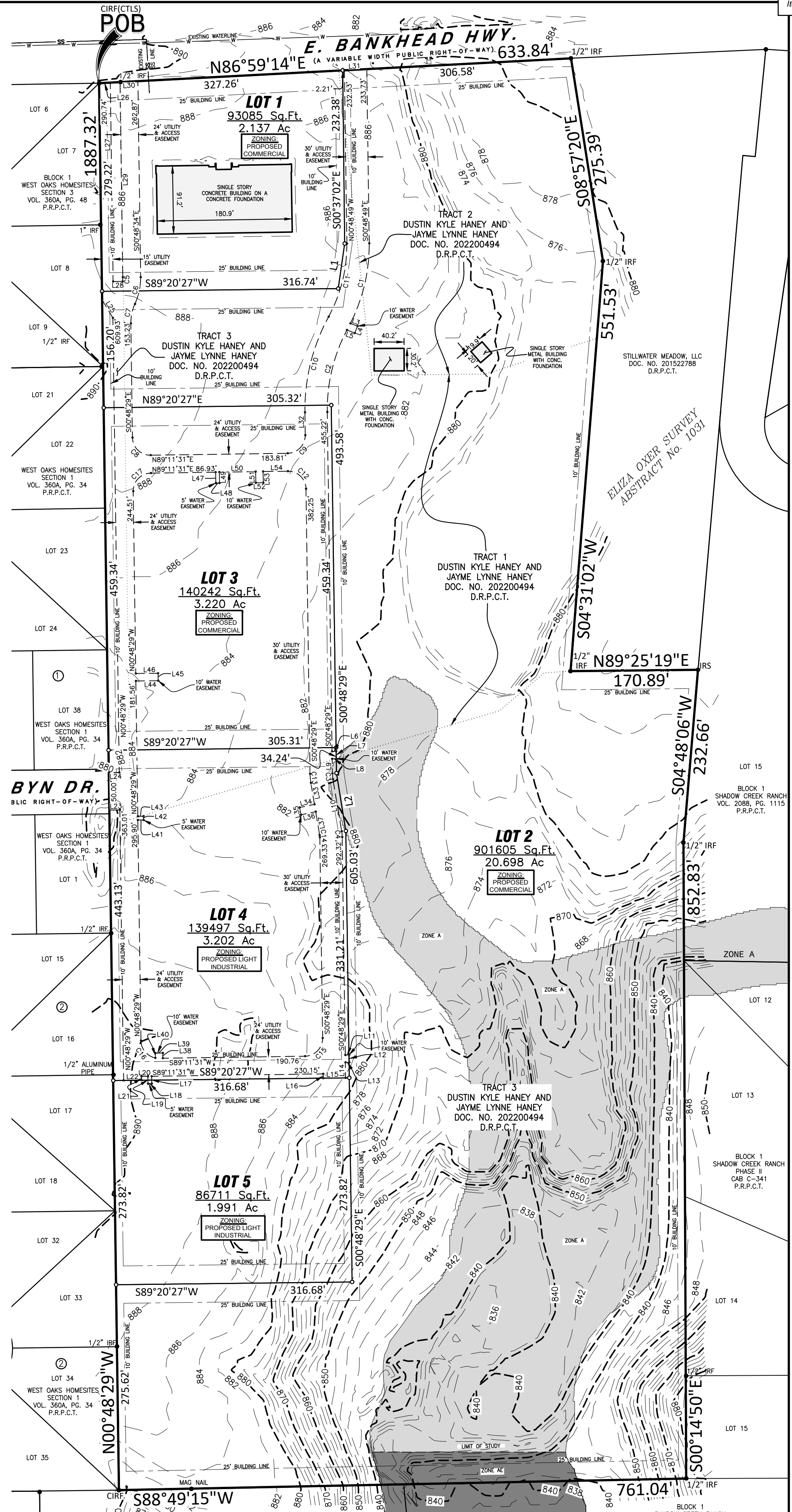
FLOOD ZONE NOTE

- A portion of the subject property lies within SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD:
- A. Zone A - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study floodplain limits.
  - B. Zone AE - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study floodplain limits.
  - C. The remainder of the subject property lies within Zone X - Areas determined to be outside the 0.2% annual chance floodplain per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008.
  - D. On-site proposed floodplain to be determined with supporting drainage study.

Owners/Developers:  
 Attn: Dustin Kyle Haney &  
 Jayme Lynne Haney, Co-Trustees  
 Haney Revocable Trust  
 103 Plantation Ct.  
 Aledo, Texas 76008  
 PH# 817-980-2425

Surveyor:  
**BHB**  
**BAIRD, HAMPTON & BROWN**  
 engineering and surveying

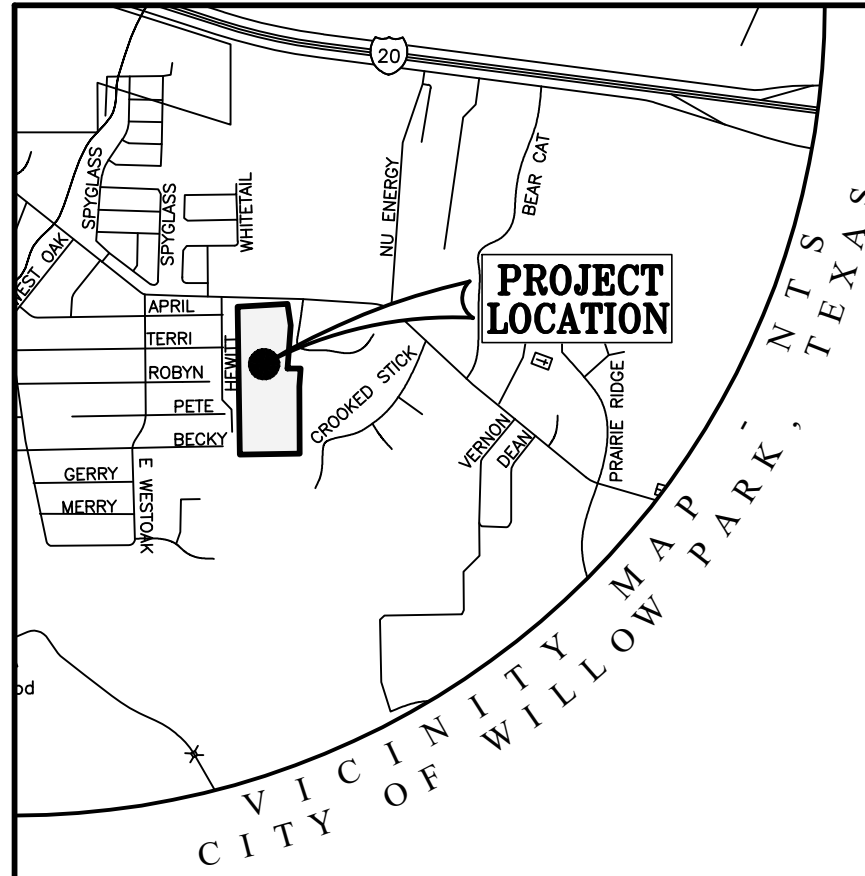
949 Hilltop Drive, Weatherford, TX 76086  
 tstock@bhbinc.com • 817.596.7575 • bhbinc.com  
 TBPESL Firm #44 • TBPESL FIRM #10194146



PRELIMINARY PLAT

**HANEY COMPLEX**  
 BEING A 31.247 ACRE TRACT OF LAND SITUATED IN THE  
**ELIZA OXER SURVEY, ABSTRACT NO. 1031**  
 an addition to the City of Willow Park, Parker County, Texas  
**AUGUST, 2023** **SHEET 1 OF 2**





BEING a tract of land situated in the Eliza Oxer Survey, Abstract Number 1031, Parker County, Texas, and being all of Tracts 1-3 as described by deed to Dustin Kyle Haney and Jayme Lynne Haney as recorded in Document Number 202200494, Deed Records, Parker County, Texas (D.R.P.C.T.), and being more particularly described by metes and bounds as follows: Bearings referenced to U.S. State Plane Grid 1983 - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.)

BEGINNING at a found 1/2-inch capped iron rod marked "CTLS" for the northwest corner of the said Haney tracts, same being the most northerly corner of Lot 7, Block 1, West Oaks Homesites, Section 3, an addition to Parker County, Texas as shown on the plat recorded in Volume 360A, Page 48, Plat Records, Parker County, Texas (P.R.P.C.T.), and being the most easterly corner of Lot 6 of said Block 1, and also being in the south right-of-way line of East Bankhead Highway (a variable width right-of-way);

THENCE North 86°59'14" East, with the common line between the said Haney tracts and the said south right-of-way line, passing at a distance of 28.75 feet a found 1/2-inch iron rod, being the northwest corner of the aforesaid Haney Tract 1, same being the most northerly northeast corner of the aforesaid Haney Tract 3, then continuing in all for a total distance of 633.84 feet to a found 1/2-inch iron rod for the northeast corner of the aforesaid Haney Tract 2, same being the northwest corner of a tract of land as described by deed to Stillwater Meadow, LLC as recorded in Document Number 201522788, D.R.P.C.T.;

THENCE with the common line between the said Haney tracts and the said Stillwater Meadow, LLC tract the following courses and distances:

South 08°57'20" East, a distance of 275.39 feet to a found 1/2-inch iron rod;

South 04°31'02" West, a distance of 551.53 feet to a found 1/2-inch iron rod for the southeast corner of the said Haney Tract 1, same being the southwest corner of the said Stillwater Meadow, LLC tract, and being in the north line of the aforementioned Haney Tract 3; North 89°25'19" East, a distance of 170.89 feet to a set 5/8-inch capped iron rod marked "BHB INC" for the northeast corner of the said Haney Tract 3, same being the southeast corner of the said Stillwater Meadow, LLC tract, and being in the west line of Lot 15, Block 1, Shadow Creek Ranch, an addition to Parker County, Texas as shown on the plat recorded in Volume 2088, Page 1115, P.R.P.C.T.;

THENCE South 04°48'06" West, with the common line between the said Haney tracts and said Lot 15, a distance of 232.66 feet to a found 1/2-inch iron rod;

THENCE South 00°14'50" East, continuing with the said common line, passing at a distance of 158.15 feet, a point for the southwest corner of said Lot 15, same being the northwest corner of Lot 12, Block 1, Shadow Creek Phase II, an addition to Parker County, Texas as shown on the plat recorded in Cabinet C, Page 341, P.R.P.C.T., same being the most northerly corner of Lot 13 of said Block 1, Shadow Creek Phase II, and now continuing with the common line between the said Haney tracts and said Shadow Creek Phase II in all for a total distance of 852.83 feet to a found 1/2-inch iron rod for the southeast corner of the aforesaid Haney Tract 3, same being the southwest corner of Lot 15 of said Block 1, Shadow Creek Phase II, and being in the north line of Lot 16 of said Block 1, Shadow Creek Phase II;

THENCE South 88°49'15" West, continuing with the common line between the said Haney Tracts and said Shadow Creek Phase II, passing at a distance of 378.98 feet, a point for the northwest corner of said Lot 16, same being the northeast corner of a remainder tract of land as described by deed to Bailey Ranch, a Texas Limited Partnership as recorded in Volume 2018, Page 163, D.R.P.C.T. and now continuing with the common line between the said Haney tracts and the said Bailey Ranch tract, in all for a total distance of 761.04 feet to a found 1/2-inch capped iron rod marked "CARTER ALEDO" for the southwest corner of the said Haney Tract 3, same being the southeast corner of Lot 35, Block 2, West Oaks Homesites, Section 1, an addition to Parker County, Texas as shown on the plat recorded in Volume 360A, Page 34, P.R.P.C.T., and being the southeast corner of Lot 34 of said Block 2;

THENCE North 00°48'29" West, with the common line between the said Haney tracts and said West Oaks Homesites, Section 1, passing at a distance of 1507.28 feet, a point for the northeast corner of said West Oaks Homesites, Section 1, same being the southeast corner of the aforementioned Block 1, West Oaks Homesites, Section 3 from which a found 1/2-inch iron rod bears North 88°55'59" West, a distance of 1.88 feet, and now continuing with the common line between the said Haney tracts and the said West Oaks Homesites, Section 3 in all for a total distance of 1887.32 feet to the POINT OF BEGINNING and containing 1,361,137 feet or 31.247 acres of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Haney Revocable Trust, acting herein by and through its duly authorized Trustees, does hereby certify and adopt this plat designating the herein above described property as Lots 1-5, Haney Complex, an addition to the City of Willow Park, Parker County, Texas, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. Haney Revocable Trust does herein certify the following: The streets and alleys are dedicated for street and alley purposes. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances. The easements and public use areas, as shown, are dedicated for the public use forever for the purposes indicated on this plat. No building, fences, trees, shrubs, or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by The City of Willow Park. The City of Willow Park, is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park, and public utilities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements. The City of Willow Park, and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time permission from anyone. All modifications to this document shall be by means of plat and approved by The City of Willow Park.

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

STATE OF TEXAS §  
COUNTY OF \_\_\_\_\_ §

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Dustin Kyle Haney, Co-Trustee, known to me to be the person whose name are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Before me, the undersigned authority, a Notary Public in and for said County and State on this date personally appeared Jayme Lynne Haney, Co-Trustee, known to me to be the person whose name are subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Given under my hand and seal of office, this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

Notary Public in and for the State of Texas

Notary Public in and for the State of Texas

**SURVEYOR'S CERTIFICATION**

I, Toby G. Stock, a Registered Professional Land Surveyor licensed in the State of Texas, do hereby declare that this survey is true and correct and was prepared from an actual survey made under my supervision on the ground. Further, this survey conforms to the general rules of procedures and practices of the most current Texas Engineering and Land Surveying Practice Acts and Rules Concerning Practice and Licensure.

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

Toby G. Stock  
State of Texas Registered Professional Land Surveyor  
No. 6412  
Date: August 30, 2023

CITY OF WILLOW PARK, TEXAS  
CITY COUNCIL  
NOTE: THIS PLAT IS VALID ONLY IF RECORDED WITHIN SIX (6) MONTHS AFTER DATE OF APPROVAL  
BY: \_\_\_\_\_ DATE \_\_\_\_\_  
CITY MAYOR  
ATTEST: \_\_\_\_\_ DATE \_\_\_\_\_  
CITY SECRETARY

**PRELIMINARY PLAT**

**HANEY COMPLEX**

**BEING A 31.247 ACRE TRACT OF LAND SITUATED IN THE ELIZA OXER SURVEY, ABSTRACT NO. 1031**

**an addition to the City of Willow Park, Parker County, Texas**

**AUGUST, 2023**

**SHEET 2 OF 2**

**GENERAL NOTES**

- 1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
- 2. Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
- 3. Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
- 4. The property as platted is subject to any document pertaining to utility easements for electric, telephone or other utilities that affects said property as recorded in the Hood County Clerk's Office.
- 5. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
- 6. Utility Easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park and public entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easement. The City of Willow Park and public utility entities shall have the full right of ingress and egress to and from their respective easements, without the necessity at any time of procuring permission for anyone.
- 7. All lots shall conform to current zoning building set backs as specified by the City of Willow Park's Municipal Code of Ordinances.
- 8. Selling a portion of this Addition by metes and bounds is a violation of City Ordinances and State Law, and is subject to fines and withholding of utilities and building permits.

Line Table			Line Table			Line Table		
Line #	Direction	Length	Line #	Direction	Length	Line #	Direction	Length
L1	S8°09'39"W	61.00	L19	N0°48'29"W	9.79	L37	S9°33'08"E	31.76
L2	S9°07'57"E	78.54	L20	S89°11'31"W	8.62	L38	N0°48'29"W	7.00
L3	S68°18'49"E	10.22	L21	S0°48'29"E	5.12	L39	S89°11'31"W	10.00
L4	S21°41'11"W	10.00	L22	S89°20'27"W	24.00	L40	S0°48'29"E	6.47
L5	N68°18'49"W	11.33	L23	S89°11'31"W	14.00	L41	N89°11'31"E	7.63
L6	N89°11'31"E	5.50	L24	N89°11'31"E	14.00	L42	N0°48'29"W	5.00
L7	S0°48'29"E	10.00	L25	N30°48'38"W	27.99	L43	S89°11'31"W	7.63
L8	S89°11'31"W	5.50	L26	N86°59'14"E	15.01	L44	N89°11'31"E	30.00
L9	S0°48'29"E	19.63	L27	S0°48'30"E	266.84	L45	N0°48'29"W	10.00
L10	S9°33'08"E	71.01	L28	N89°11'30"E	12.79	L46	S89°11'31"W	30.00
L11	N89°11'31"E	5.29	L29	N0°48'34"W	261.88	L47	S0°48'29"E	14.56
L12	S0°48'29"E	10.00	L30	N86°59'14"E	24.02	L48	N89°11'31"E	5.00
L13	S89°11'31"W	5.29	L31	N86°59'14"E	30.02	L49	N0°48'29"W	14.56
L14	S0°48'29"E	20.83	L32	S0°48'29"E	30.60	L50	N89°11'31"E	48.66
L15	S89°20'27"W	30.00	L33	S9°33'08"E	29.24	L51	S0°48'29"E	15.00
L16	N0°48'29"W	5.75	L34	S77°56'31"W	20.41	L52	N89°11'31"E	10.00
L17	S0°48'29"E	9.79	L35	S12°03'29"E	10.00	L53	N0°48'29"W	15.00
L18	S89°11'31"W	5.00	L36	N77°56'31"E	19.98	L54	N89°11'31"E	33.21

Curve Table					
Curve #	Delta	Radius	Arc Length	Chord Bearing	Chord Length
C1	27°43'16"	230.00'	111.28'	S13°14'36"W	110.20'
C2	28°29'03"	230.00'	114.34'	S13°26'03"W	113.17'
C3	8°44'40"	50.00'	7.63'	S5°10'48"E	7.62'
C4	8°44'40"	50.00'	7.63'	S5°10'48"E	7.62'
C5	5°13'28"	60.00'	5.47'	N1°57'42"E	5.47'
C6	25°21'58"	84.00'	37.19'	S12°01'57"W	36.89'
C7	25°31'24"	60.00'	26.73'	S11°57'14"W	26.51'
C8	90°00'00"	24.00'	37.70'	S45°48'29"E	33.94'
C9	90°00'00"	24.00'	37.70'	N44°11'31"E	33.94'
C10	29°27'04"	260.00'	133.64'	N13°55'03"E	132.18'
C11	29°14'47"	200.00'	102.09'	N14°01'12"E	100.98'
C12	90°00'00"	24.00'	37.70'	S45°48'29"E	33.94'
C13	8°44'40"	80.00'	12.21'	S5°10'48"E	12.20'
C14	8°44'40"	20.00'	3.05'	S5°10'48"E	3.05'
C15	90°00'00"	24.00'	37.70'	S44°11'31"W	33.94'
C16	77°58'31"	24.00'	32.66'	N39°47'44"W	30.20'
C17	90°00'00"	24.00'	37.70'	N44°11'31"E	33.94'

Surveyor:



**BAIRD, HAMPTON & BROWN**  
engineering and surveying

949 Hilltop Drive, Weatherford, TX 76086  
tstock@bhinc.com • 817.596.7575 • bhinc.com  
TBPELS Firm #44 • TBPELS FIRM #10194146

Owners/Developers:  
Attn: Dustin Kyle Haney &  
Jayme Lynne Haney, Co-Trustees  
Haney Revocable Trust  
103 Plantation Ct.  
Aledo, Texas 76008  
PH# 817-980-2425





City of Willow Park
Planning & Development Department
516 Ranch House Road
Willow Park, Texas 76087
Phone: (817) 441-7108
willowpark.org

PLAT APPLICATION

SUBMITTAL DATE: 8/30/2023

TYPE OF PLAT:

- Preliminary Plat (checked)
Final Plat
Replat
Minor Replat
Amended Plat
Vacating Plat

PROPERTY INFORMATION:

Project Name: Haney Complex
Legal Description: Lot: 1-5 (Proposed) Block: 1 (Proposed)
Name of Subdivision(s): Haney Complex Addition Phase: 1
Project Address/Location: 9744 E Bankhead Highway
Existing Number of Lots: 0 Proposed Number of Lots: 5 Gross Acreage: 31.247 acres
Current Zoning: N/A # of Street Intersections: 0

PURPOSE for Platting, Replatting, Amending, or Vacating:

This purpose of this plat is to facilitate the proposed development of the site as well as the eventual annexation and zoning of the site.

1. APPLICANT:

Name(s): Scott Crawford, PE
Business Name (if applicable): Baird, Hampton & Brown, Inc.
Mailing Address: 949 Hilltop Drive City: Weatherford St: TX Zip: 76086
Phone Number: 817-596-7575 Email Address: scrawford@bhbin.com

Signature of Applicant (Required): T. Crawford

2. PROPERTY OWNER OF RECORD:

Name(s): Dustin Haney & Jayme Haney - Co-Trustees
Business Name (if applicable): Haney Revocable Trust
Mailing Address: 103 Plantation Ct. City: Aledo St: TX Zip: 76008
Phone Number: 817-980-2425 Email Address: dustinh@dhaneyroofing.com

Signature of Owner of Record (Required): Dustin Haney, Jayme Haney

**3. SURVEYOR:**

Name(s): Toby Stock, RPLS  
Business Name (if applicable): Baird, Hampton & Brown, Inc.  
Mailing Address: 949 Hilltop Drive City: Weatherford St: TX Zip: 76086  
Phone Number: 817-596-7575 Email Address: tstock@bhinc.com

**4. ENGINEER:**

Name(s): Scott Crawford, PE  
Business Name (if applicable): Baird, Hampton & Brown, Inc.  
Mailing Address: 949 Hilltop Drive City: Weatherford St: TX Zip: 76086  
Phone Number: 817-596-7575 Email Address: scrawford@bhinc.com

**PRINCIPAL CONTACT:** Owner: \_\_\_\_\_ Applicant: \_\_\_\_\_ Surveyor: \_\_\_\_\_ Engineer: X

- Staff comment letters and mark-ups will be distributed only to the designated principal contact person
- Comments will be sent via email unless otherwise specified
- Contact person will be Collaborator status on MyGov (see City website for sign-up instructions)

**UTILITY PROVIDERS:** (For City informational purposes only; Contact of utilities is the responsibility of the Applicant)

Electric Provider: Oncor  
Water Provider: City of Willow Park  
Wastewater Provider: City of Willow Park  
Gas Provider (if applicable): Lone Star Gas

**APPLICATION FEES**

(as per "Development Services Fee" schedule)

\$375.00 Preliminary Plat: \$300.00 + \$15 PER LOT

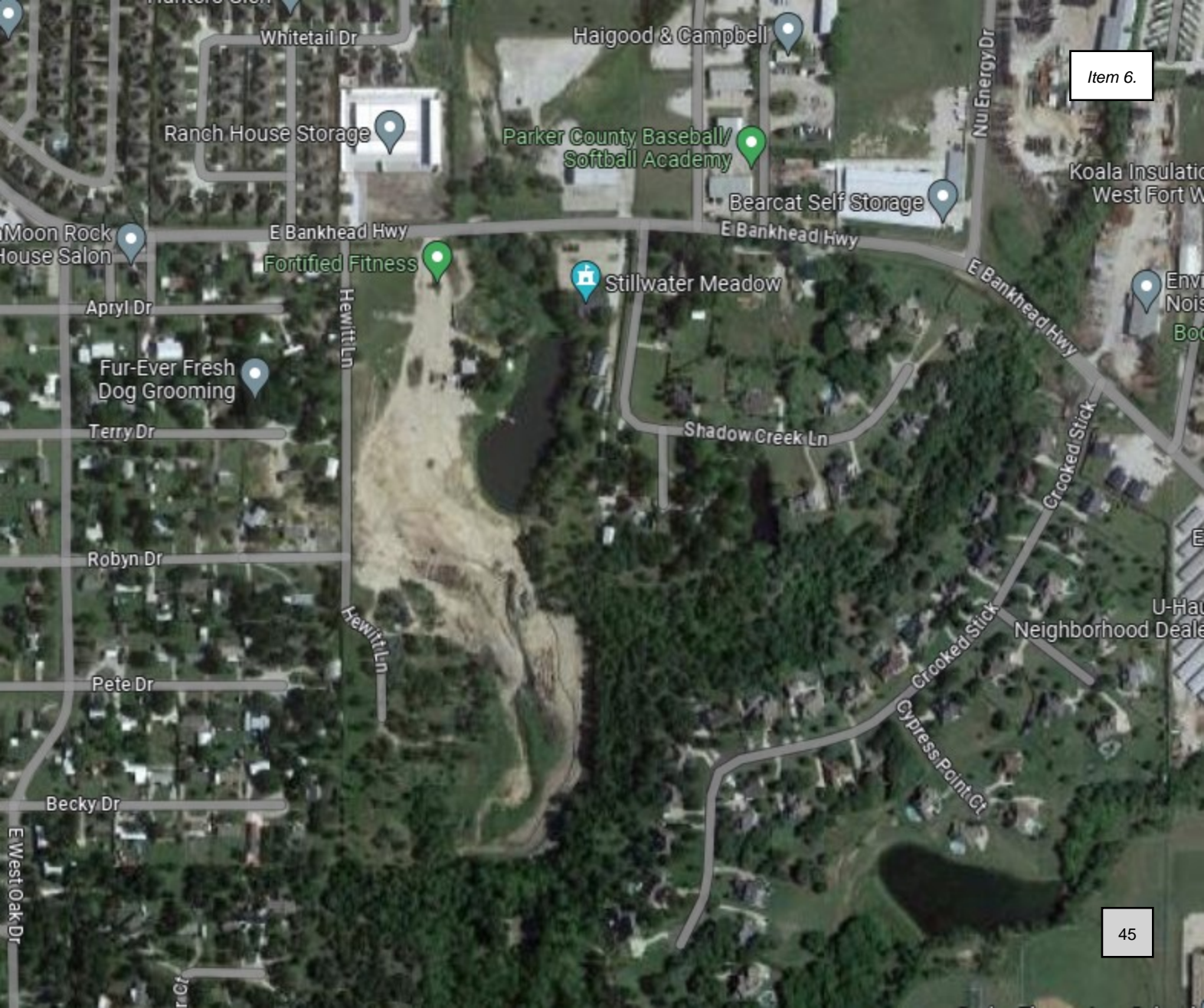
\_\_\_\_\_ Final, Replat, Minor, Amended, Abandoned Plat: \$300.00 + \$25 PER LOT

**Additional fees (if applicable):** Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the Applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

**Submittal Instructions:**

- Email completed and executed **Plat Application, Plat Drawing**, and any/all supporting documentation necessary per **City of Willow Park Plat Submittal Checklist** (may be found on website) to the Planning & Development Department at [permits@willowpark.org](mailto:permits@willowpark.org).
- You may pay the **Application Fee**, via check or credit card\*: 1) in person/courier or US Mail to City of Willow Park, 516 Ranch House Rd, Willow Park, TX 76087; or, 2) by phone via credit card\* at 817-441-7108 x103.  
(\*credit card convenience fees apply)





Item 6.



# PLANNING & ZONING AGENDA ITEM BRIEFING SHEET

<b>Council Date:</b> February 20, 2024	<b>Department:</b> Planning & Development	<b>Presented By:</b> Toni Fisher, Director
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**AGENDA ITEM:**

**Consideration & Action: Final Plat for Lots 1-6, Block 1, Haney Complex, being 31.247 acres, Eliza Oxer Survey, Abstract No. 1031, in the City of Willow Park, Parker County, Texas.**

**BACKGROUND:**

Applicant and surveyor, Scott Crawford of Baird, Hampton & Brown, Inc., along with the property owners, Dustin & Jayme Haney, propose to plat 31.247 acres, located south of East Bankhead Highway, Eliza Oxer Survey, Abstract No. 1031 Survey into Lots 1 through 6. This subdivision was annexed into the City of Willow Park on .

The Final Plat has been reviewed by City Staff; corrections as attached.

**STAFF/BOARD/COMMISSION RECOMMENDATION:**

City Staff recommend acceptance of Final Plat with condition that all corrections are satisfactorily addressed.

**EXHIBITS:**

- Final Plat – Lots 1-6, Haney Complex
- Staff Corrections
- Plat Application

**RECOMMENDED MOTION:**

**Approval of the subject Final Plat with conditions, as presented.**



# CORRECTIONS LIST

Project Type: Final Plat | Project Title: Final Plat  
 ID # 24-000053 | Started: 02/14/2024 at 2:56 PM

<p><b>Address</b></p> <p>Haney Complex              000 Haney Complex,              Willow Park, TX USA</p>	<p><b>Legal</b></p> <p>No legal information</p>	<p><b>Property Info</b></p> <p>No property information</p>
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<p><b>Description</b></p> <p>Haney Complex Addition, Lot 1-6, Block 1</p>
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CORRECTION / ADDED ON	DESCRIPTION	PRIORITY
<p>Miscellaneous <span style="float: right;">Required: 6   Corrected: 0</span></p>		
<p><b>ENG - Flood Study</b>                      By: Gretchen Vazquez                      02/16/2024 at 9:08 AM  <span style="border: 1px solid red; border-radius: 10px; padding: 2px;">REQUIRED</span></p>	<p>When can we expect submittal of the flood study so that staff can verify the minimum finished floor elevations and limits of the floodway/floodplain on the plat?</p>	<p>Normal</p>
<p><b>Label Robyn Dr.</b>                      By: Toni Fisher                      02/15/2024 at 3:04 PM  <span style="border: 1px solid red; border-radius: 10px; padding: 2px;">REQUIRED</span></p>	<p>Please label Robyn Dr and its width where it extends between Lots 3 &amp; 4.</p>	<p>Normal</p>
<p><b>Building on Lot 1</b>                      By: Toni Fisher                      02/15/2024 at 2:00 PM  <span style="border: 1px solid red; border-radius: 10px; padding: 2px;">REQUIRED</span></p>	<p>Please remove the building shown on Lot 1; the Final Plat should not show structures, only the Preliminary Plat.</p>	<p>Normal</p>
<p><b>Zoning designation</b>                      By: Toni Fisher                      02/15/2024 at 1:59 PM  <span style="border: 1px solid red; border-radius: 10px; padding: 2px;">REQUIRED</span></p>	<p>Please remove Zoning designation block on each lot. The zoning change is being done concurrently so this is not yet approved.</p>	<p>Normal</p>
<p><b>City Limits - Vacinity Map</b>                      By: Toni Fisher                      02/15/2024 at 1:54 PM  <span style="border: 1px solid red; border-radius: 10px; padding: 2px;">REQUIRED</span></p>	<p>In the Vacinity Map on Page 1 and Page 2: Please include the Haney Complex, all Lots 1-6, within the City Limits of Willow Park.</p>	<p>Normal</p>

**Add Utility Easement for potential Lift Station**

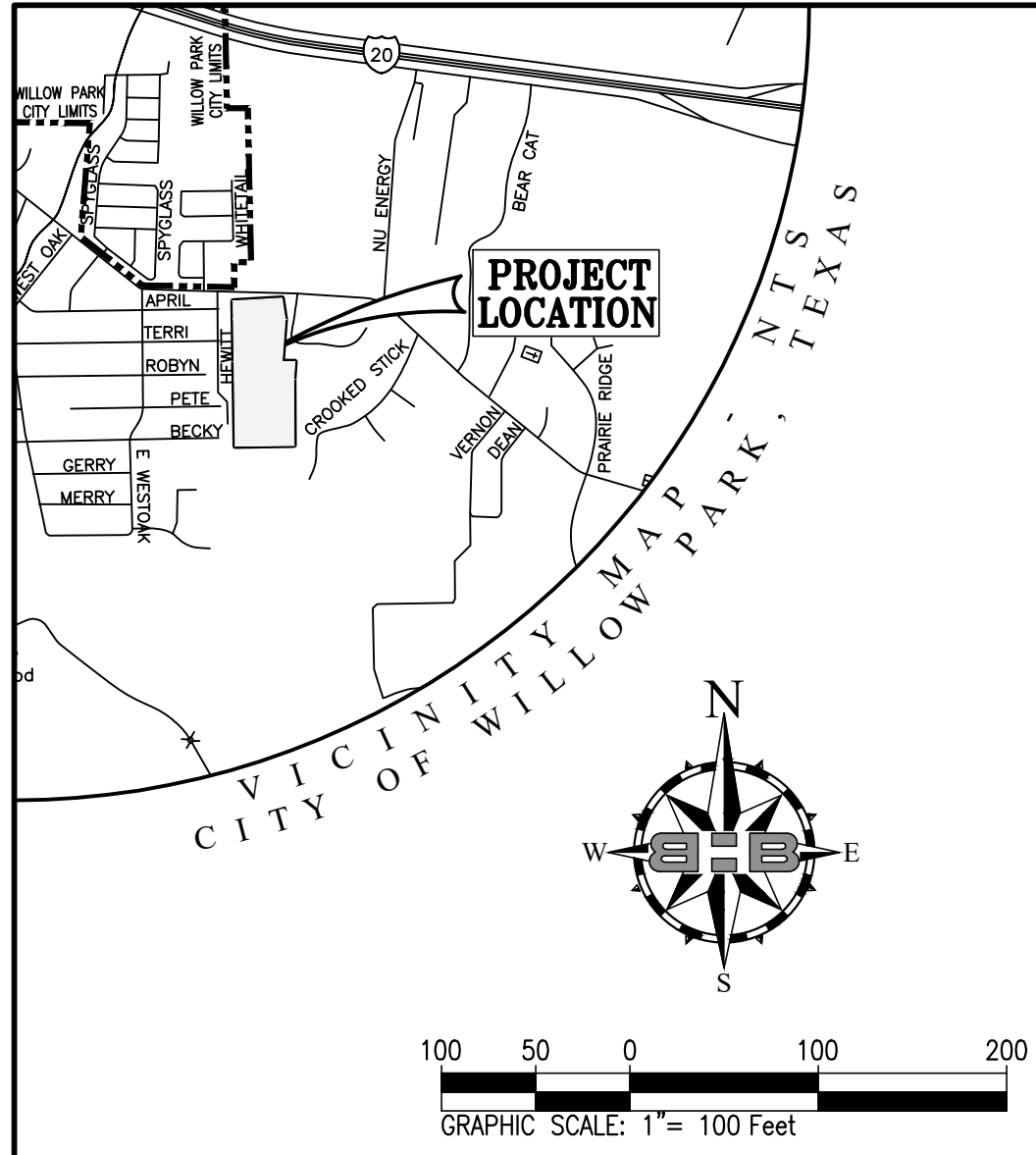
By: Toni Fisher  
02/15/2024 at 1:42 PM

**REQUIRED**

Per our previous conversation, please add a 30'x30' utility easement on the northeast corner of Lot 5, along E. Bankhead Hwy., for a potential future lift station.

**Normal**





- LEGEND**
- CIRF.....1/2" Capped Iron Rod Marked "CARTER ALEDO" Found
  - CIRF(CTLS).....1/2" Capped Iron Rod Marked "CTLS" Found
  - D.R.P.C.T.....Deed Records, Parker County, Texas
  - IRF.....Iron Rod Found
  - IRS.....5/8" Capped Iron Rod Marked "BHB INC" Set
  - P.R.P.C.T.....Plat Records, Parker County, Texas
  - ①.....Block Number

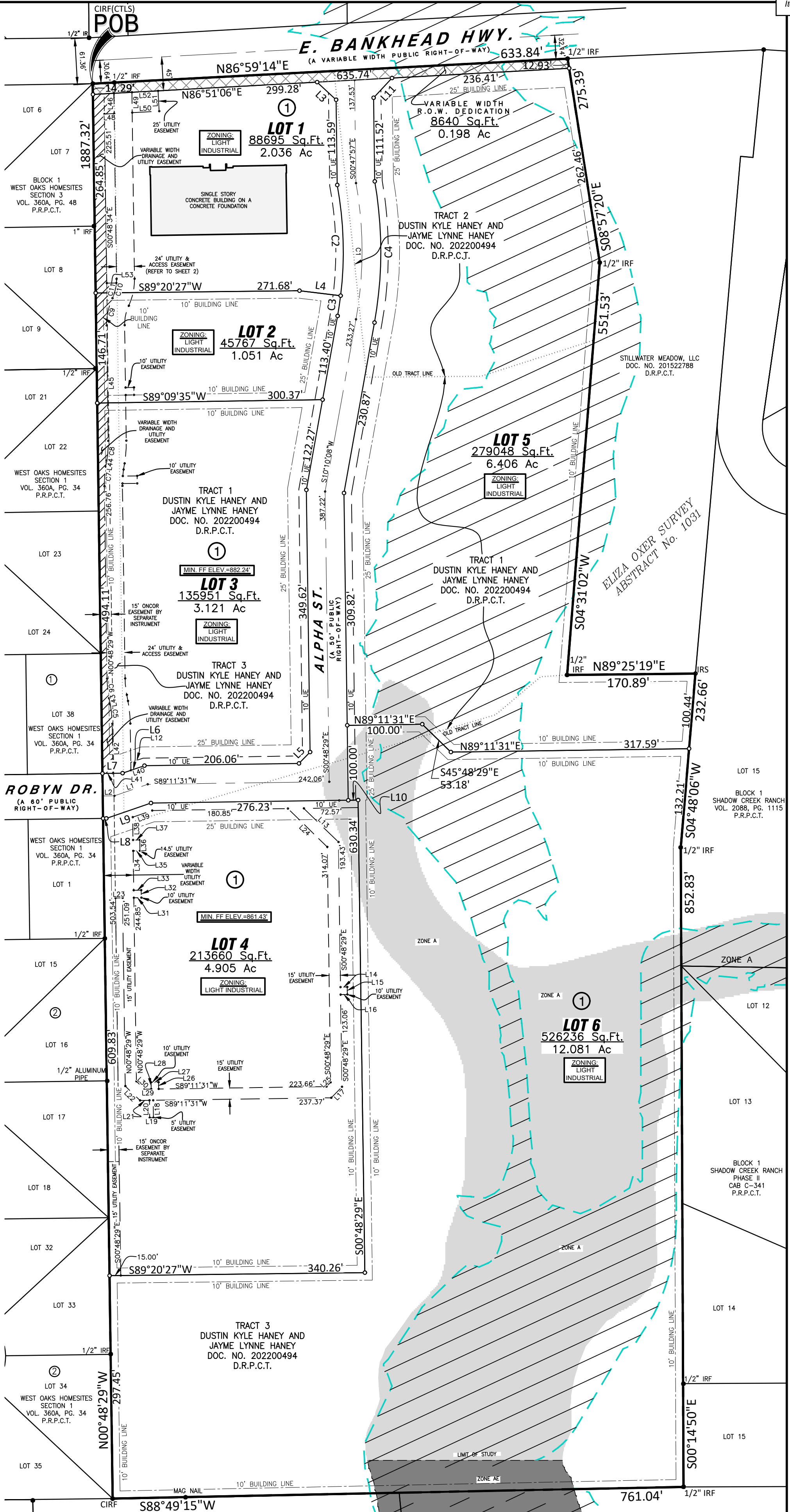
- GENERAL NOTES**
1. Basis of bearing being U.S. State Plane Grid - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.
  2. Vertical Datum established using the AllTerra RTKNet Cooperative Network. All elevations shown are NAVD88.
  3. Unless otherwise noted all property corners are set 5/8 inch capped iron rods stamped "BHB INC".
  4. The property as platted is subject to any document pertaining to utility easements for electric, telephone or other utilities that affects said property as recorded in the Parker County Clerk's Office.
  5. This survey has been prepared without the benefit of a current commitment for title insurance, additional easements or restrictions may affect this property.
  6. Utility Easements may be used for the mutual use and accommodation of all public utilities, said use by public utilities being subordinate to the public's and The City of Willow Park's use thereof. The City of Willow Park and public entities shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in said easement. The City of Willow Park and public utility entities shall have the full right of ingress and egress to and from their respective easements, without the necessity at any time of procuring permission from anyone.
  7. All lots shall conform to current zoning building set backs as specified by the City of Willow Park's Municipal Code of Ordinances.
  8. Selling a portion of this Addition by metes and bounds is a violation of City Ordinances and State Law, and is subject to fines and withholding of utilities and building permits.
  9. All of Lots 5 and 6 are drainage easements. At the time of future development and replatting of these lots, drainage easements corresponding to specific drainage ways shall be dedicated and these lot-wide drainage easements shall be vacated.

- FLOOD ZONE NOTES**
- A portion of the subject property lies within SPECIAL FLOOD HAZARD AREAS (SFHAs) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD:
- A. Zone A - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study for floodplain limits.
  - B. Zone AE - Base flood elevations determined per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008. The location as shown is per scaling. This does not represent a drainage study floodplain limits.
  - C. The remainder of the subject property lies within Zone X - Areas determined to be outside the 0.2% annual chance floodplain per FIRM, Flood Insurance Rate Map, Community Panel Number 48367C0450E, Map Revised September 26, 2008.
  - D. Preliminary 100-YR Ultimate Floodplain per Baird, Hampton, Brown Inc. Floodstudy of Haney Complex, dated 10/31/2023. This Final Plat does not represent a drainage study for Floodplain limits.

Owners/Developers:  
 Attn: Dustin Kyle Haney &  
 Jayme Lynne Haney, Co-Trustees  
 Haney Revocable Trust  
 103 Plantation Ct.  
 Aledo, Texas 76008  
 PH# 817-980-2425

Surveyor:  
**BHB**  
**BAIRD, HAMPTON & BROWN**  
 engineering and surveying

949 Hilltop Drive, Weatherford, TX 76086  
 tstock@bhbinc.com • 817.596.7575 • bhbinc.com  
 TBPELS Firm #44 • TBPELS FIRM #10194146



**FINAL PLAT**  
**LOTS 1-6, BLOCK 1**  
**HANEY COMPLEX**  
 BEING A 31.247 ACRE TRACT OF LAND SITUATED IN THE  
 ELIZA OXER SURVEY, ABSTRACT NO. 1031  
 an Addition to the City of Willow Park, Parker County, Texas  
 FEBRUARY 2024 SHEET 1 OF 2









**City of Willow Park**  
**Planning & Development Department**  
516 Ranch House Road  
Willow Park, Texas 76087  
Phone: (817) 441-7108  
willowpark.org

**PLAT APPLICATION**

**SUBMITTAL DATE:** 1/29/2024

**TYPE OF PLAT:**

- Preliminary Plat
- Final Plat
- Replat
- Minor Replat
- Amended Plat
- Vacating Plat

**PROPERTY INFORMATION:**

**Project Name:** Haney Complex  
**Legal Description:** **Lot:** 1-6 (Proposed) **Block:** 1 (Proposed)  
**Name of Subdivision(s):** Haney Complex Addition **Phase:** 1  
**Project Address/Location:** 9744 E Bankhead Hwy, Willow Park, TX 76008  
**Existing Number of Lots:** 0 **Proposed Number of Lots:** 6 **Gross Acreage:** 31.247 acres  
**Current Zoning:** Light Industrial (Proposed) **# of Street Intersections:** 1

**PURPOSE for Platting, Replatting, Amending, or Vacating:** This purpose of this plat is to facilitate the proposed development of the site.

**1. APPLICANT:**

**Name(s):** Scott Crawford, PE  
**Business Name (if applicable):** Baird, Hampton & Brown, Inc.  
**Mailing Address:** 949 Hilltop Drive **City:** Weatherford **St:** TX **Zip:** 76086  
**Phone Number:** 817-596-7575 **Email Address:** scrawford@bhbin.com

\*\*\*Signature of Applicant (Required): \_\_\_\_\_

**2. PROPERTY OWNER OF RECORD:**

**Name(s):** Dustin Haney & Jayme Haney - Co-Trustees  
**Business Name (if applicable):** Haney Revocable Trust  
**Mailing Address:** 14848 Complacent Way **City:** Aledo **St:** TX **Zip:** 76008  
**Phone Number:** 817-980-2425 **Email Address:** dustinh@dkhaneyroofing.com

\*\*\*Signature of Owner of Record (Required): [Signature]



**3. SURVEYOR:**

Name(s): Toby Stock, RPLS  
Business Name (if applicable): Baird, Hampton & Brown, Inc.  
Mailing Address: 949 Hilltop Drive City: Weatherford St: TX Zip: 76086  
Phone Number: 817-596-7575 Email Address: tstock@bhbin.com

**4. ENGINEER:**

Name(s): Scott Crawford, PE  
Business Name (if applicable): Baird, Hampton & Brown, Inc.  
Mailing Address: 949 Hilltop Drive City: Weatherford St: TX Zip: 76086  
Phone Number: 817-596-7575 Email Address: scrawford@bhbin.com

**PRINCIPAL CONTACT:** Owner:  Applicant:  Surveyor:  Engineer:   
• Staff comment letters and mark-ups will be distributed only to the designated principal contact person  
• Comments will be sent via email unless otherwise specified  
• Contact person will be Collaborator status on MyGov (see City website for sign-up instructions)

**UTILITY PROVIDERS:** (For City informational purposes only; Contact of utilities is the responsibility of the Applicant)

Electric Provider: Oncor  
Water Provider: City of Willow Park  
Wastewater Provider: City of Willow Park  
Gas Provider (if applicable): Lone Star Gas

**APPLICATION FEES**

(as per "Development Services Fee" schedule)

         Preliminary Plat: \$300.00 + \$15 PER LOT  
         Final, Replat, Minor, Amended, Abandoned Plat: \$300.00 + \$25 PER LOT

**Additional fees (if applicable):** Any reasonable fees and/or costs, which are required by the City of Willow Park for a proper review of this request, are the sole responsibility of the Applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building(s)/property inspections and/or testing(s).

**Submittal Instructions:**

- Email completed and executed **Plat Application, Plat Drawing**, and any/all supporting documentation necessary per **City of Willow Park Plat Submittal Checklist** (may be found on website) to the Planning & Development Department at [permits@willowpark.org](mailto:permits@willowpark.org).
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(\*credit card convenience fees apply)





# PLANNING & ZONING AGENDA ITEM BRIEFING SHEET

<b>Meeting Date:</b> February 20, 2024	<b>Department:</b> Planning & Development	<b>Presented By:</b> Toni Fisher, Director
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**AGENDA ITEM:**

**Discussion & Action:** to consider a request for Zoning Change from “R-1” to “Class IV – Industrial: Commercial – ‘LI’ Light Industrial District” for the Haney Complex Addition, Tracts 1-3, being approximately 31.247 acres in the Eliza Oxer Survey, Abstract Number 1031, City of Willow Park, Parker County, Texas.

**BACKGROUND:**

The property was annexed into the City of Willow Park on January 9, 2024, by Ordinance 895-24. Per city ordinance 14.11.002, newly annexed areas of Willow Park shall be automatically placed in an R-1 zoning district. Property owners submitted a Zoning Change Application for rezoning of the entire subject property from “Class II – Residential: ‘R-1’ Single Family District” to “Class IV – Commercial ‘LI’ Light Industrial” zoning district for the purpose of development. Fortified Fitness, a physical fitness center, is already operational on Lot 1, and a Special Use Permit Application was submitted concurrently with this Application for an indoor roller rink on Lot 3.

The Commission will conduct a public hearing to consider comments regarding this zoning change.

**STAFF RECOMMENDATION:**

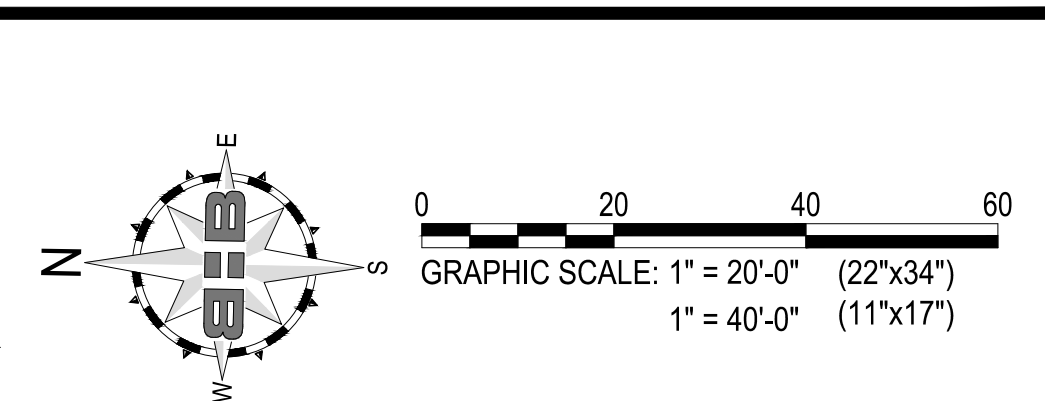
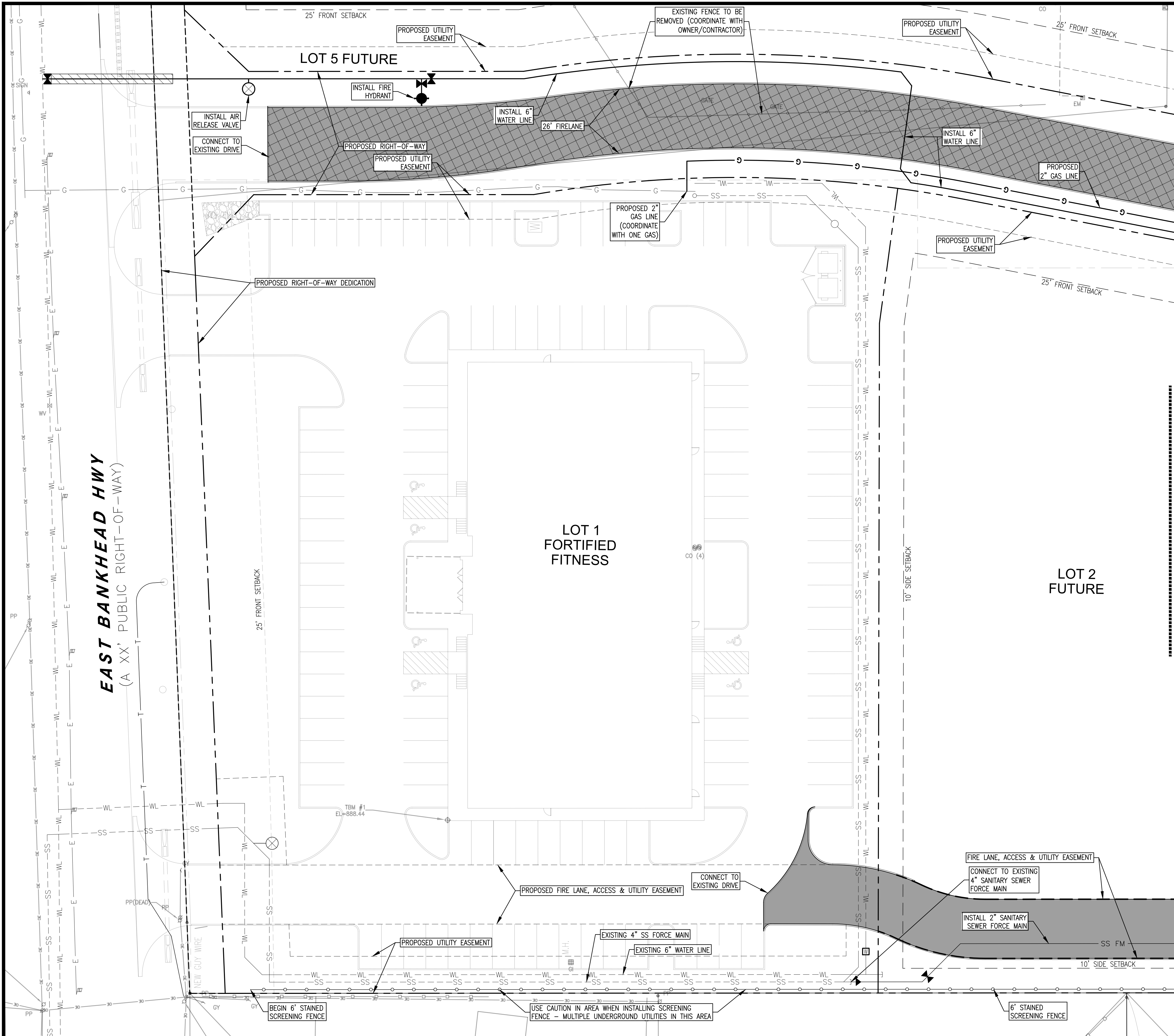
Staff recommends approval of the Special Use Permit Application from “R-1 Residential” to “Commercial-Light Industrial” for the subject property, as presented.

**EXHIBITS:**

- Zoning Change Application & Attachments
- Staff Corrections
- Haney Complex - Site Plan
- Aerial Photo of Subject Property (*GoogleMaps – circa 2022*)

**RECOMMENDED MOTION:**

**Motion to approve the request for Zoning Change from “R-1” to “Class IV – Industrial: Commercial – ‘LI’ Light Industrial District” for the Haney Complex Addition, Tracts 1-3, City of Willow Park, as presented.**



**WARNING TO CONTRACTOR**  
CALL 1-800-344-8377 (TEXAS 811) OR OTHER UTILITY LOCATION SERVICES 48 HOURS PRIOR TO CONSTRUCTION ACTIVITY. BAIRD, HAMPTON, AND BROWN INC. IS NOT RESPONSIBLE FOR KNOWING ALL EXISTING UTILITIES OR DEPICTING EXACT LOCATIONS ON ALL DRAWINGS.

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- LEGEND**
- (4) NUMBER OF PARKING SPACES
  - MEDIUM TO HEAVY DUTY PAVEMENT 7" 3500 PSI CONCRETE PAVING W/ #3 REBAR AT 18" O.C.E.W.
  - MEDIUM DUTY PAVEMENT 6" 3500 PSI CONCRETE PAVING W/ #3 REBAR AT 18" O.C.E.W.
  - SIDEWALK 4" 3500 PSI CONCRETE PAVING W/ #3 REBAR AT 18" O.C.E.W.

**SITE SUMMARY**

**LOT 1**  
USE: FORTIFIED FITNESS - GYM (EXISTING)  
ACREAGE: 2.036 ACRES  
PROPOSED ZONING: COMMERCIAL  
PARKING PROVIDED: 83 SPACES  
PARKING REQUIRED: 121 SPACES  
FRONT YARD SETBACK: 25 FEET  
REAR YARD SETBACK: 25 FEET  
SIDE YARD SETBACK: 10 FEET  
MAX. BLDG./LOT COVERAGE: 60%  
ACTUAL BLDG./LOT COVERAGE: 17.6%

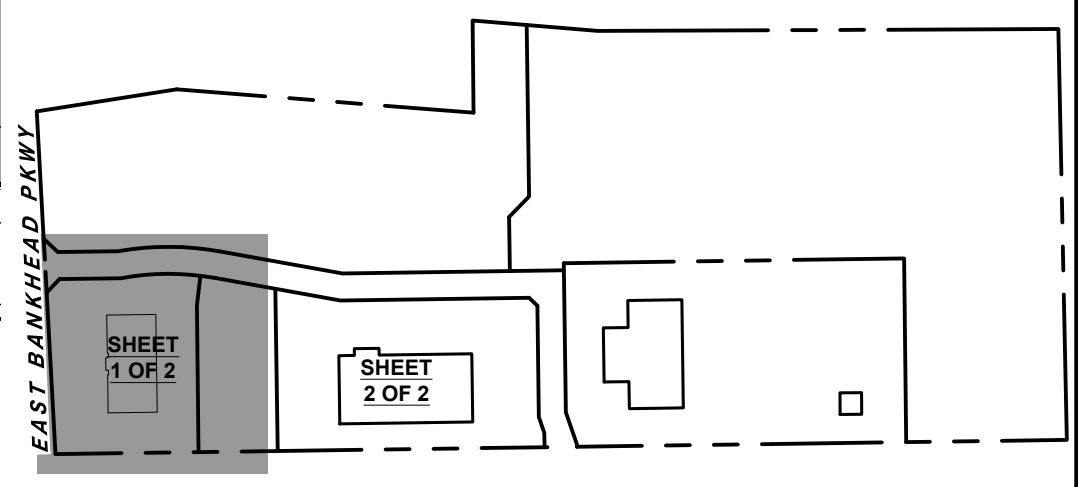
**LOT 2**  
USE: FUTURE DEVELOPMENT  
ACREAGE: 1.051 ACRES  
PROPOSED ZONING: LIGHT INDUSTRIAL  
PARKING REQUIRED: N/A  
PARKING PROVIDED: N/A  
FRONT YARD SETBACK: 25 FEET  
REAR YARD SETBACK: 25 FEET  
SIDE YARD SETBACK: 10 FEET  
MAX. BLDG./LOT COVERAGE: 60%  
ACTUAL BLDG./LOT COVERAGE: N/A

**LOT 3**  
RETRO RINK - ROLLER SKATING RINK  
ACREAGE: 3.121 ACRES  
PROPOSED ZONING: LIGHT INDUSTRIAL  
PARKING REQUIRED: 105 SPACES\*\*  
PARKING PROVIDED: 128 SPACES  
FRONT YARD SETBACK: 25 FEET  
REAR YARD SETBACK: 25 FEET  
SIDE YARD SETBACK: 10 FEET  
MAX. BLDG./LOT COVERAGE: 60%  
ACTUAL BLDG./LOT COVERAGE: 23.2%  
IMPERVIOUS PAVING: 72,360 SQ.FT.

\*\*A PARKING REQUIREMENT VARIANCE OF ONE SPACE PER 300 SQUARE FEET IS REQUESTED FOR LOT 3. THIS IS BASED ON A CITY OF DALLAS REQUIREMENT THAT IS SPECIFIC TO ROLLER SKATING RINKS.

MATCHLINE

**KEY MAP**



**BHB**  
BAIRD, HAMPTON & BROWN  
building partners  
949 Hilltop Drive, Weatherford, TX 76086  
mail@bhinc.com • 817.596.7515 • bhinc.com  
TBPPELS Firm #44, #10194146

HANEY REVOCABLE TRUST  
DUSTIN KYLE & JAYME LYNNE - CO-TRUSTEES

**HANEY COMPLEX - RETRO RINK**  
9744 EAST BANKHEAD PKWY  
WILLOW PARK, TEXAS

**SITE PLAN 1 OF 2**

NO.	DESCRIPTION	DATE

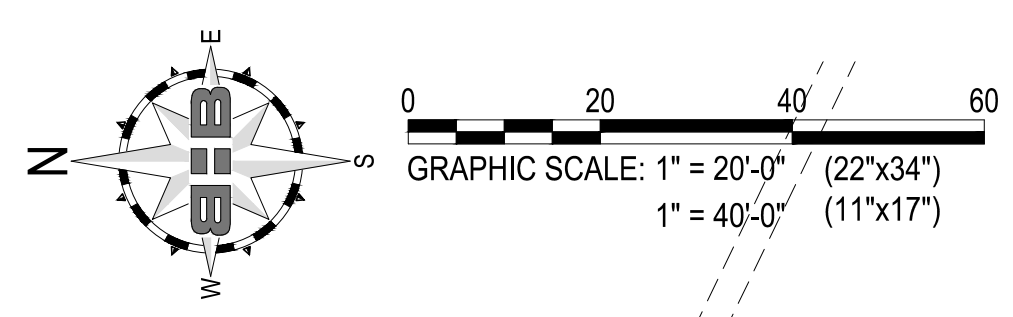
NOT FOR CONSTRUCTION  
THIS DOCUMENT IS INTENDED FOR REVIEW ONLY, AND IS NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.  
BHB, INC.  
TX, REGISTERED FIRM F-00044  
ENGINEER: T. SCOTT CRAWFORD, P.E.  
TEXAS LICENSE NO: 100155  
DATE: 2/9/2024

PROJECT NUMBER: 2023.150.000  
DATE: 2/9/2024 DRAWN BY: JPM  
DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**C4.0**





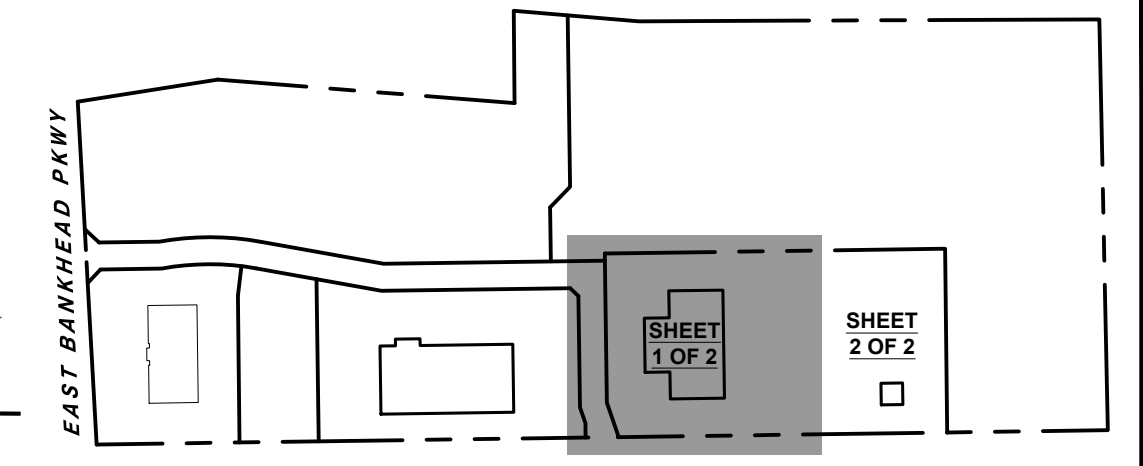


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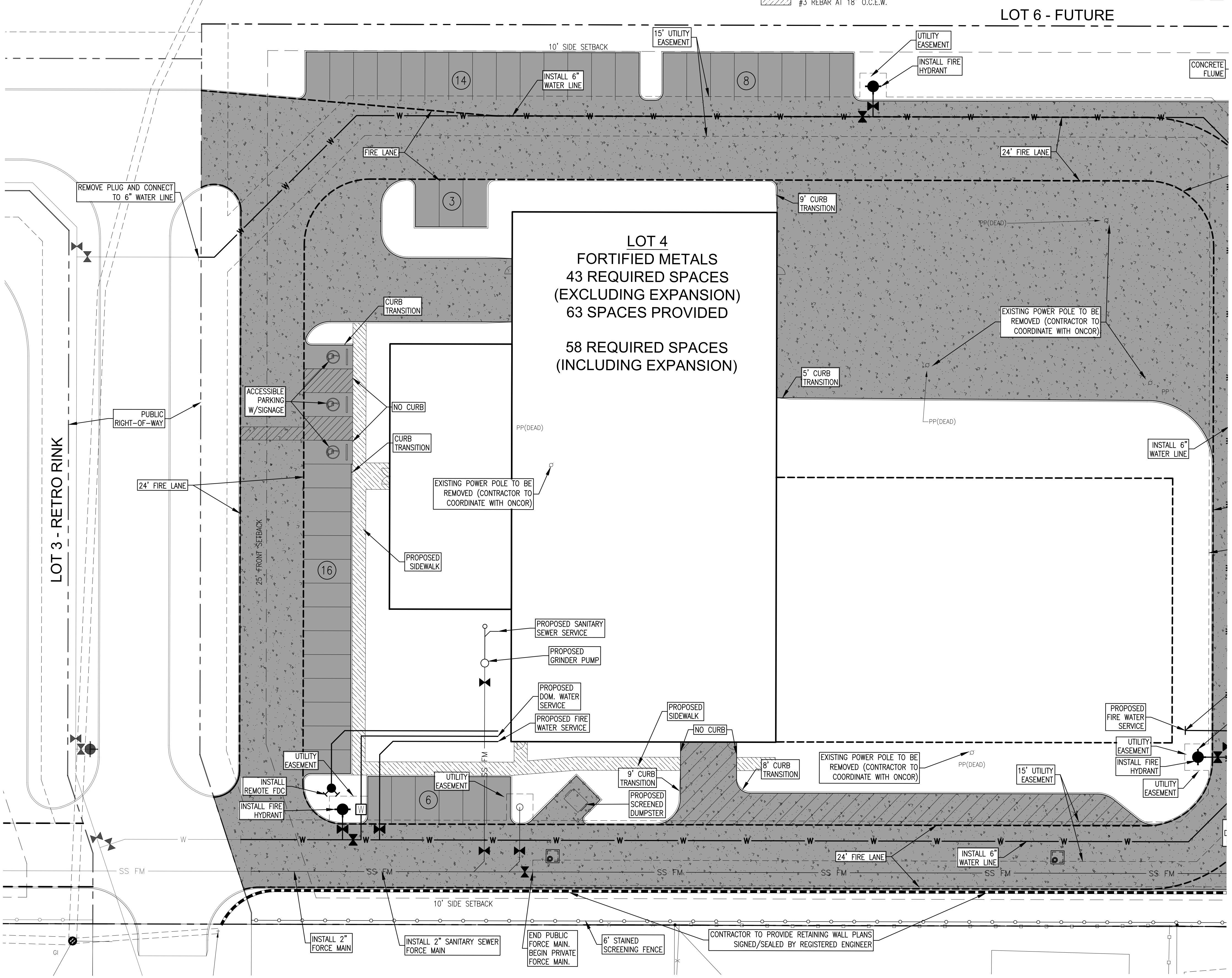


**BHB**  
**BAIRD, HAMPTON & BROWN**  
 engineering and surveying  
 949 Hilltop Drive, Weatherford, TX 76086  
 mail@bhinc.com • 817.596.7575 • bhinc.com  
 TBPELS Firm #44, #10194146

HANEY REVOCABLE TRUST  
 DUSTIN KYLE & JAYME LYNNE - CO-TRUSTEES  
**HANEY COMPLEX -**  
**FORTIFIED METALS**  
 9744 EAST BANKHEAD PKWY  
 WILLOW PARK, TEXAS

**SITE SUMMARY**

**LOT 4**  
 USE: FORTIFIED METALS - METAL SALES  
 ACREAGE: 4.905 ACRES  
 PROPOSED ZONING: LIGHT INDUSTRIAL  
 PARKING REQUIRED: 47 SPACES++  
 PARKING PROVIDED: 71 SPACES  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG. LOT COVERAGE: 50%  
 ACTUAL BLDG. LOT COVERAGE: 19.3%  
 ++BASED ON 1:200 FOR OFFICE SPACE AND 1:1000 FOR INDUSTRIAL/MANUFACTURING.



**SITE PLAN 1 OF 2**

NO.	DESCRIPTION	DATE

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 BHB, INC.  
 TX REGISTERED FIRM F-00044  
 ENGINEER: T. SCOTT CRAWFORD, P.E.  
 TEXAS LICENSE NO: 100155  
 DATE: 2/9/2024

PROJECT NUMBER: 2023.150.000  
 DATE: 2/9/2024 DRAWN BY: JPM  
 DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**C4.0**

**BHB**  
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 engineering and surveying  
 949 Hilltop Drive, Weatherford, TX 76086  
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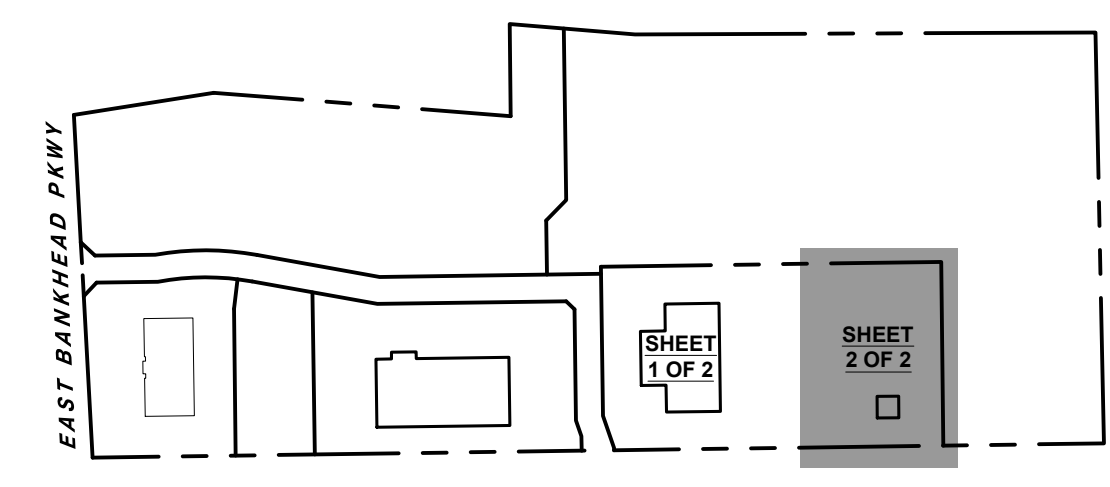
SITE PLAN 2 OF 2

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PROJECT NUMBER: 2023.150.000  
 DATE: 2/9/2024 DRAWN BY: JPM  
 DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**C4.1**

**KEY MAP**



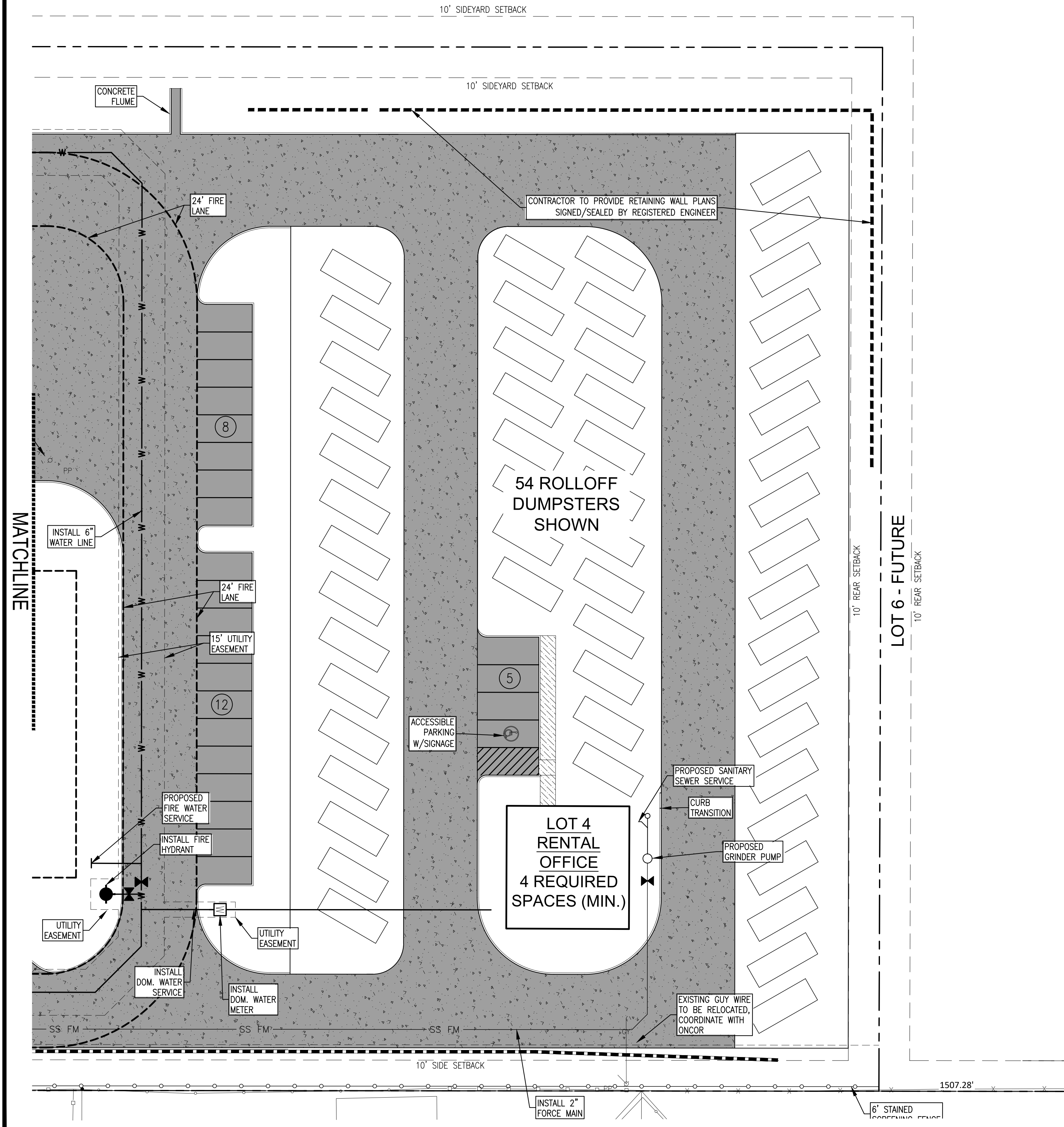
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2/9/2024 4:17PM F:\job\2023\150\XXX\HaneComplex01\Design & Drafting\02 Civil\06 Phase 2\2023.150.sxc SITE PLAN\_ P2.dwg SITE PLAN 2 OF 2





**CITY OF WILLOW PARK  
PLANNING & DEVELOPMENT DEPARTMENT  
ZONING CHANGE APPLICATION**

---

It is our mission at the City of Willow Park to promote commerce while preserving neighborhoods through orderly review, study, and consideration of zoning issues relative to state and local laws. The Zoning Ordinances adopted by the City of Willow Park specify the zoning districts within our city limits as per the city's Comprehensive Plan. There are certain guidelines to which a zoning change must adhere to become a legal district.

Each submittal is reviewed by designated members of City Staff within the Planning & Development, Public Works, and Fire Marshal departments for confirmation of compliance within City Ordinances. Once the Application is reviewed and accepted by Staff, the Application will move to the next step, along with any Staff comments, to the Planning & Zoning Commission. There will be a Public Notice posted in the local newspaper for the zoning request, not less than 15 days before the Public Hearing; and, surrounding property owners within 200 feet of the subject property will be notified by Certified Letter, not less than 10 days before the Public Hearing.

**For important deadline date information, please review the "Planning & Development Department – Project Review Schedule" on the City's website or contact the Planning & Development Director.**

To allow for effective and efficient handling of your request, please review the following Checklist and provide all required documentation with the Application payment to the City of Willow Park's permits technician as per the directions stated.

**Should you have any questions or concerns at all, please do not hesitate to contact the Planning & Development Department at 817-441-7108. We are here to help you.**

**SUBMITTAL:**

Please electronically submit the completed Application, Checklist, and all supporting documents to [permits@willowpark.org](mailto:permits@willowpark.org). Application Fee payment may be paid by check, money order, cashier's check, or credit card (over the phone or in person; convenience fees apply).



**CITY OF WILLOW PARK**  
**PLANNING & DEVELOPMENT DEPARTMENT**  
**ZONING CHANGE APPLICATION CHECKLIST**

**Please include this Checklist with your Application.**

An Application may be deemed incomplete and not accepted unless all applicable information noted below is submitted to the City of Willow Park's Planning & Development Department, and accompanies Application Fee payment, at the time of Application.

*Please Initial below to confirm, or write "N/A" if not applicable:*

- Site location/vicinity map clearly showing the location of the subject.
  
- Site Plan showing:
  - Boundary of subject property, indicated by a heavy solid line, dimensioned with bearings and distances, and distance to the nearest cross street.
  
  - A north arrow is provided with drawing, oriented such as that north is located to the top or left side of drawing sheet.
  
  - A written and bar scale is provided. 1"= 200' unless previously approved by City Staff.
  
  - Accurately located, labeled and dimensioned footprint of existing structure(s) to remain is/are shown by a heavy dashed line.
  
  - Show adjacent property lines and names of property owners within 200 feet of the subject property.
  
  - Adjacent zoning and land use (e.g. bank with drive-thru, office building, undeveloped, etc.) within 200 feet of the property line is indicated.
  
  - Names of all adjacent property owners and/or subdivisions within 200 ft. of the subject property, including Lot, Block, and County Clerk recording information (Property ID on Parker County Appraisal District) is shown.

**SUBMITTAL:**

Please electronically submit the completed Application, Checklist, and all supporting documents to [permits@willowpark.org](mailto:permits@willowpark.org). Application Fee payment may be paid by check, money order, cashier's check, or credit card (over the phone or in person; convenience fees apply).

**Please contact the Planning & Development Department with any questions, or if you need any assistance in completing this Application.**





CITY OF WILLOW PARK  
PLANNING & DEVELOPMENT DEPARTMENT  
ZONING CHANGE APPLICATION

Name of Applicant: Scott Crawford, P.E. - Baird, Hampton & Brown, Inc.

Mailing Address: 949 Hilltop Drive Weatherford, TX 76086  
Street City State Zip

Business Phone: 817-596-7575 Cell: 214-886-3345

Email Address: scrawford@bhbinc.com

Name of Property Owner: Dustin Haney & Jayme Haney - Co-Trustees, Haney Revocable Trust

Mailing Address: 103 Plantation Ct. Aledo, TX 76008  
Street City State Zip

Business Phone: 817-980-2425 Cell: \_\_\_\_\_

Email Address: dustinh@fortifiedfitness.com

Address of property requesting to be re-zoned: 9744 E Bankhead Hwy, Willow Park, TX 76008

Legal Description: Lot: 1-6 (Prop.) Block: 1 (Proposed) Addition: Haney Complex Addition (Proposed)

Current Zoning District: R-1-Single Family Residential

Requested Zoning District: LI-Light Industrial

Reason for zoning request: Property development

Does the Request conform to the proposed Future Land Use Map in the City's Comprehensive Plan? Y/N

APPLICATION FEE: **\$250** and/or as per "Development Fee Schedule"

*Any additional reasonable fees and/or costs which are required by the City of Willow Park for a proper review of this request are the sole responsibility of the applicant. Such fees or costs shall include, but are not limited to engineering reviews, legal opinions, building/property inspections and/or testing(s).*

T. A. L.

SIGNATURE OF APPLICANT

2/5/2024

DATE

[Signature]

SIGNATURE OF PROPERTY OWNER\*

2/1/24

DATE

\* If the Property Owner is represented by an alternate, a notarized letter of authorization must be submitted with Application.



# CORRECTIONS LIST

Project Type: Rezoning Application | Project Title: Rezoning Application

ID # 24-000038 | Started: 02/05/2024 at 3:28 PM

<p><b>Address</b></p> <p>Haney Complex 000 Haney Complex, Willow Park, TX USA</p>	<p><b>Legal</b></p> <p>No legal information</p>	<p><b>Property Info</b></p> <p>No property information</p>
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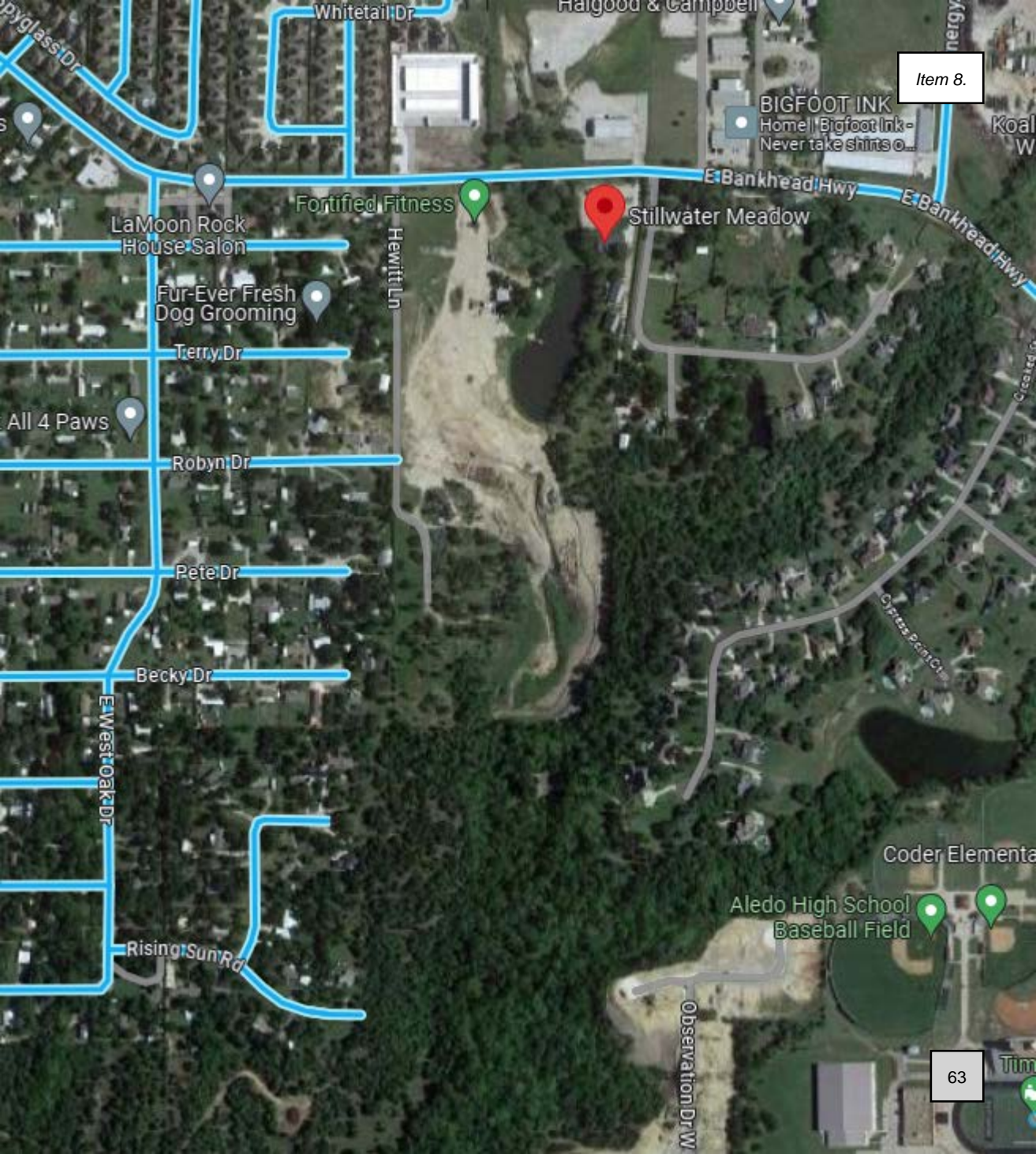
<p><b>Description</b></p> <p>Haney Complex Addition   Lot 1-6 Blk 1</p>
---

CORRECTION / ADDED ON	DESCRIPTION	PRIORITY
<p><b>Miscellaneous</b> <span style="float: right;">Required: 1   Corrected: 2</span></p>		
<p><b>SUP - Site Plan</b> By: Gretchen Vazquez 02/08/2024 at 4:05 PM <b>CORRECTED</b></p>	<p>Indicate the height of the building. Provide the square footage (gross area) of the building to verify that the proposed development meets our parking space requirements.</p>	<p><b>Normal</b></p>
<p><b>SUP - Site Plan</b> By: Gretchen Vazquez 02/08/2024 at 4:04 PM <b>CORRECTED</b></p>	<p>Show the location of any proposed signs and types of visual screening such as walls and/or fences.</p>	<p><b>Normal</b></p>
<p><b>Site Plan</b> By: Toni Fisher 02/06/2024 at 12:26 PM <b>REQUIRED</b></p>	<p>If you would like the color-coded Site Plan to be submitted with this Zoning Change Application, please revise entire Site Plan to be "Light Industrial", none being "Commercial", and resubmit.</p>	<p><b>Normal</b></p>









Item 8.

63





# PLANNING & ZONING AGENDA ITEM BRIEFING SHEET

<b>Meeting Date:</b> February 20, 2024	<b>Department:</b> Planning & Development	<b>Presented By:</b> Toni Fisher, Director
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**AGENDA ITEM:**

**Consideration & Action: to consider a Request for a Special Use Permit regarding the addition of a Roller Skating Rink as an allowable use for Lot 3, Block 3 in the Haney Complex Addition, which is concurrently requesting a Zoning Change from “Class II: Residential ‘R-1’ Single-Family District” to “Class IV - Industrial: Commercial – ‘LI’ Light Industrial District” in the City of Willow Park, Parker County, Texas.**

**BACKGROUND:**

The property was annexed into the City of Willow Park on January 9, 2024, by Ordinance 895-24. Per city ordinance 14.11.002, newly annexed areas of Willow Park shall be automatically placed in an R-1 zoning district. Property owners submitted a Zoning Change Application for rezoning of the entire subject property from “Class II – Residential: ‘R-1’ Single Family District” to “Class IV – Commercial ‘LI’ Light Industrial” concurrently this Special Use Permit Application for an indoor roller rink on Lot 3.

Parking requirements per City Ordinance 14.12.001 are 1 space per 100 sq. ft. of floor area for indoor commercial amusement use, which would require 316 spaces. The site plan shows parking for 105, reduced from 128 which is the parking requirement specifically for a roller rink in other cities throughout the metroplex. As a reasonable compromise, Staff requested for Mr. Haney to install approved surfacing on Lot 2 to create substantial additional parking. In addition, Fortified Fitness and future Complex development to the south will also provide availability of additional evening parking.

The Commission will conduct a public hearing to consider comments regarding this Special Use zoning change.

**STAFF RECOMMENDATION:**

Staff recommends approval of the Special Use Permit Application with the condition of an additional fifty (50) parking spaces with approved surface material on Lot 2 prior to rink’s final inspection and Certificate of Occupancy.

**EXHIBITS:**

- Special Use Permit Application & Attachments
- Addendum Site Plans

**RECOMMENDED MOTION:**

**Motion to approve the request for Special Use Permit regarding the addition of a Roller Skating Rink as an allowable use for Lot 3, Block 3, with the condition of an additional fifty (50) parking spaces with approved surface material on Lot 2 prior to rink’s final inspection and Certificate of Occupancy.**



# SPECIAL/SPECIFIC USE PERMIT APPLICATION

City of Willow Park – Planning & Development Dept.  
 516 Ranch House Rd, Willow Park, TX 76087  
 817-441-7108 x100 [www.willowpark.org](http://www.willowpark.org)

## APPLICANT INFORMATION

Name of Applicant/Agent: Scott Crawford, P.E.		Business Name (if applicable): Baird, Hampton & Brown, Inc.
Business/Mailing Address: Street, City, State, Zip 949 Hilltop Drive, Weatherford, TX 76086		
Email Address: scrawford@bhinc.com <b>NOTE: Email is the primary form of contact with Applicants.</b>		Cell/Primary Phone # of Applicant/Agent: 214-886-3345
Are you the Owner of the property or the Owner's Agent? <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent*	Do you have written permission from the Owner of the property or the Owner's Agent to proceed with this request? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No*	<b>*NOTE: If you are not the Owner of the Property, the Owner <u>must</u> sign this Application below to indicate his/her permission and approval of this request.</b>

## DESCRIPTION OF REQUEST

Current Zoning Classification: Proposed Light Industrial	Legal Description of Property: Proposed Lot 3, Block 3, Haney Complex Addn.	Street address of Property (if known): 9744 E Bankhead Hwy, Willow Park, TX 76008
Reason for Special Use Permit: Describe the nature of the proposed use of this property, activity, and any particular characteristics related to the use of the property: The proposed use is a roller skating rink (Retro Rink) which is an allowed use but requires a SUP by City Code. The site plan is provided with this application. A parking variance is requested from the City's 1 space per 100 s.f. for indoor amusement which is well above any examples for a use of this type in surrounding cities. A variance to 1 space per 300 s.f. is requested, which the City of Dallas uses specifically for roller skating rinks.		

## PROPERTY OWNER INFORMATION

Name of Property Owner: Dustin Haney & Jayme Haney, Co-Trustees	Business Name (if applicable): Haney Revocable Trust
Business/Mailing Address: Street, City, State, Zip 103 Plantation Ct., Aledo, TX 76008	
Email Address: dustinh@fortifiedfitness.com	Cell/Primary # of Property Owner 817-980-2425

## INCLUDE WITH APPLICATION SUBMISSION

**THIS APPLICATION MUST BE SUBMITTED WITH THE ITEMS LISTED BELOW:**

- Completed and fully executed Special/Specific Use Permit Application
- Map, Plot Plan, Survey, and/or Plat of property location
- Renderings of proposed construction including building elevations, square footage, bldg. height, construction materials, and uses of bldgs
- Site Plan showing placement of building(s), location/construction of sign(s), off-street parking areas, and ingress/egress to public streets
- Landscaping plan & visual screening (walls/paintings/fences)
- Permit Fee Payment as specified in Development Services Fees
- Relationship of intended use to all existing properties/land uses in all directions to minimum distance of 200 feet of application property

**\*\*The Applicant or his/her Representative(s) must be present at the scheduled Public Hearing for this Permit.\*\*** Public Hearing will be scheduled based on City's acceptance of completed Application with all supporting documents and payment as it aligns with the Planning & Zoning Schedule.

I hereby certify that I am, or that I represent, the legal owner of the property described above and do hereby submit this request for a Special Use Permit to the Planning and Zoning Commission for consideration.

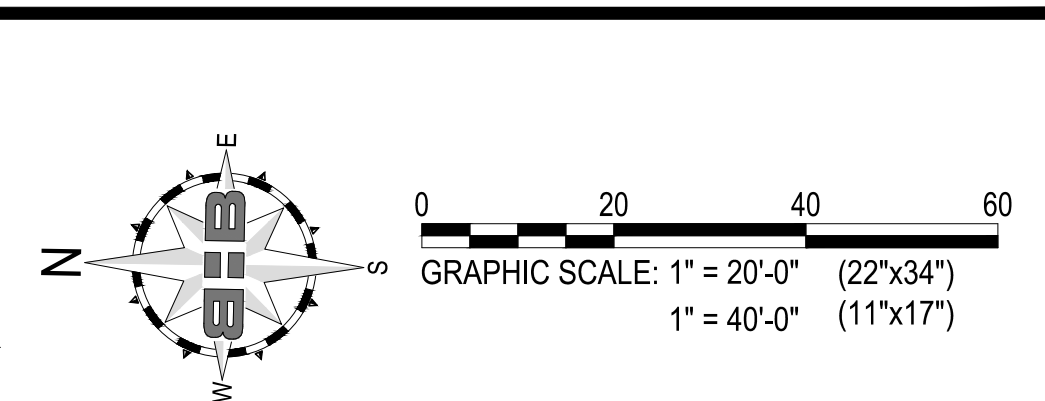
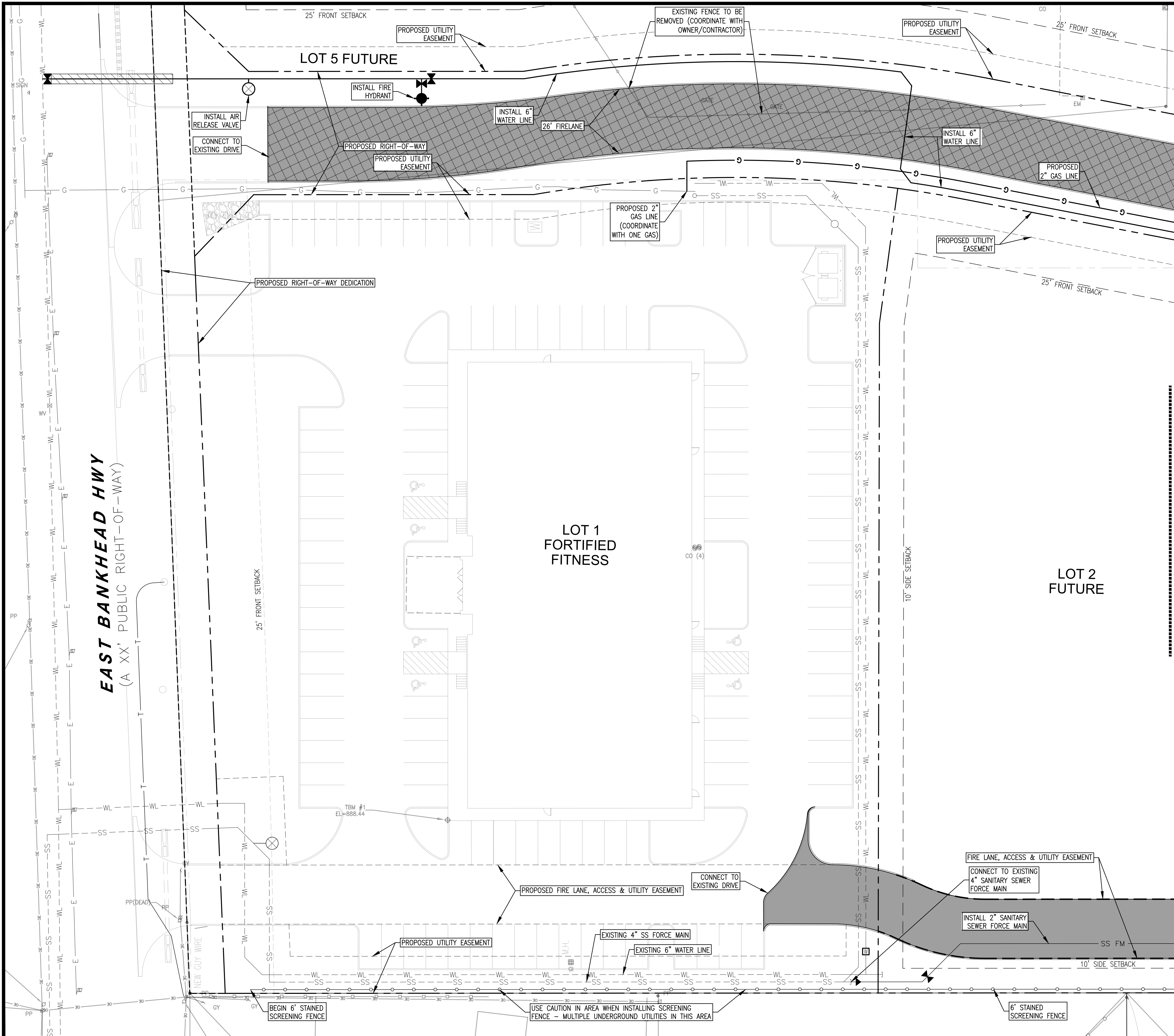
Applicant's Signature: \_\_\_\_\_ Date: 2/5/2024

Owner's Signature\* (if different than Applicant): \_\_\_\_\_ Date: 2/1/2024  
 \*Owner's signature indicates permission to proceed with this Permit request.

Please email completed Application and all Attachments to [permits@willowpark.org](mailto:permits@willowpark.org). Permit Fee may be paid by check (mailed or in person) or by credit card (in person or processed over the phone to Permit Tech x103; processing fee applies).

CITY USE: Date App Rec'd: \_\_\_\_\_ App Reviewed by: \_\_\_\_\_ Date App Officially Accepted: \_\_\_\_\_ MyGov Proj#: \_\_\_\_\_





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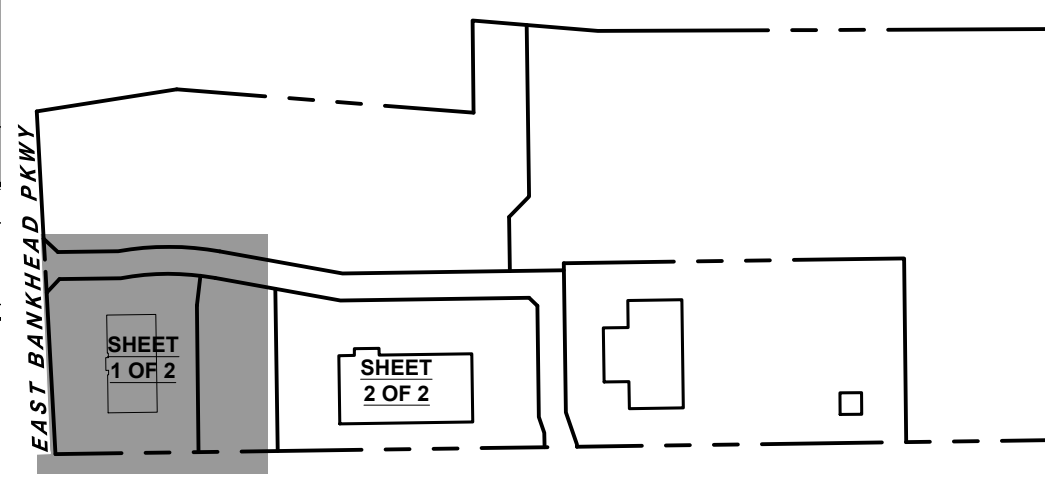
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 PARKING REQUIRED: N/A  
 PARKING PROVIDED: N/A  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG./LOT COVERAGE: 60%  
 ACTUAL BLDG./LOT COVERAGE: N/A

**LOT 3**  
 RETRO RINK - ROLLER SKATING RINK  
 ACREAGE: 3.121 ACRES  
 PROPOSED ZONING: LIGHT INDUSTRIAL  
 PARKING REQUIRED: 105 SPACES\*\*  
 PARKING PROVIDED: 128 SPACES  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG./LOT COVERAGE: 60%  
 IMPERVIOUS PAVING: 72,360 SQ.FT.

\*\*A PARKING REQUIREMENT VARIANCE OF ONE SPACE PER 300 SQUARE FEET IS REQUESTED FOR LOT 3. THIS IS BASED ON A CITY OF DALLAS REQUIREMENT THAT IS SPECIFIC TO ROLLER SKATING RINKS.

MATCHLINE

**KEY MAP**



Item 9

**BAIRD, HAMPTON & BROWN**  
 building partners  
 949 Hilltop Drive, Weatherford, TX 76086  
 mail@bhinc.com • 817.596.7575 • bhinc.com  
 TBP/ELS Firm #44, #10194146

HANEY REVOCABLE TRUST  
 DUSTIN KYLE & JAYME LYNNE - CO-TRUSTEES

**HANEY COMPLEX - RETRO RINK**  
 9744 EAST BANKHEAD PKWY  
 WILLOW PARK, TEXAS

**SITE PLAN 1 OF 2**

NO.	DESCRIPTION	DATE

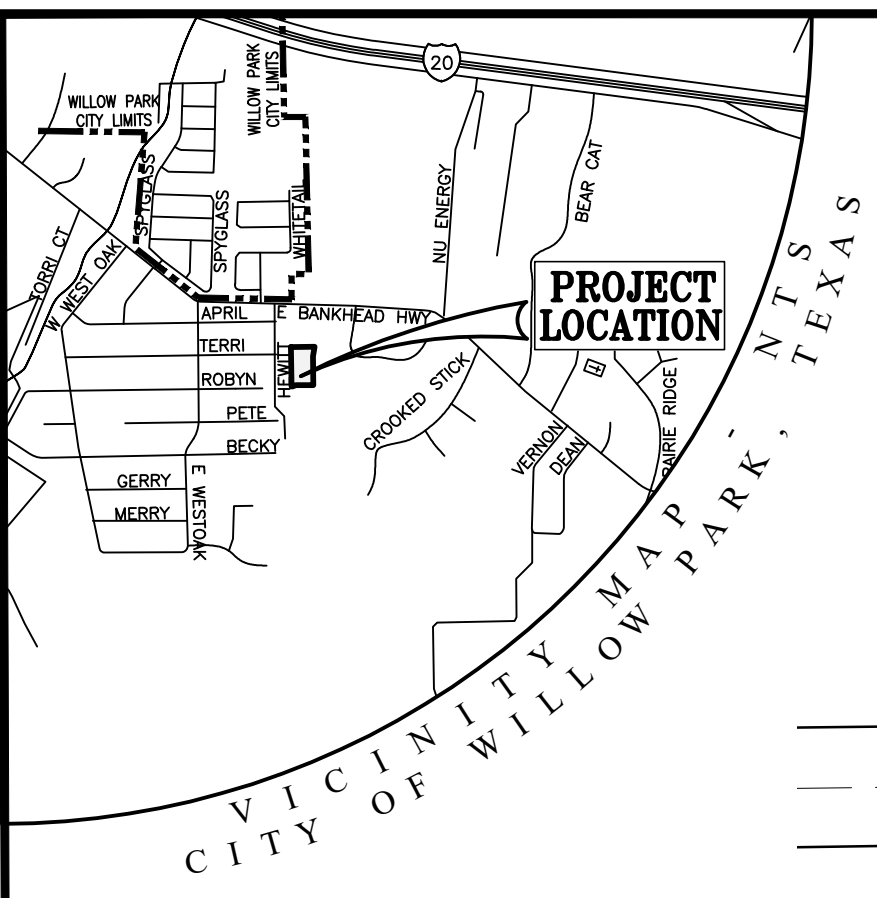
**NOT FOR CONSTRUCTION**  
 THIS DOCUMENT IS INTENDED FOR REVIEW ONLY, AND IS NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES.  
 BHB, INC.  
 TX, REGISTERED FIRM F-00044  
 ENGINEER: T. SCOTT CRAWFORD, P.E.  
 TEXAS LICENSE NO: 100155  
 DATE: 2/9/2024

PROJECT NUMBER: 2023.150.000  
 DATE: 2/9/2024 DRAWN BY: JPM  
 DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**C4.0**







GRAPHIC SCALE: 1" = 100 Feet

**METES AND BOUNDS**

BEING a tract of land situated in the Eliza Oker Survey, Abstract Number 1031, Parker County, Texas, and being a portion of Tracts 1 and 3 as described by deed to Dustin Kyle Haney and Jayme Lynne Haney as recorded in Document Number 202200494, Deed Records, Parker County, Texas (D.R.P.C.T.), and being more particularly described by metes and bounds as follows: Bearings referenced to U.S. State Plane Grid 1983 - Texas North Central Zone (4202) NAD83 as established using the AllTerra RTKNet Cooperative Network. Reference frame is NAD83(2011) Epoch 2010.0000. Distances shown are U.S. Survey feet displayed in surface values.)

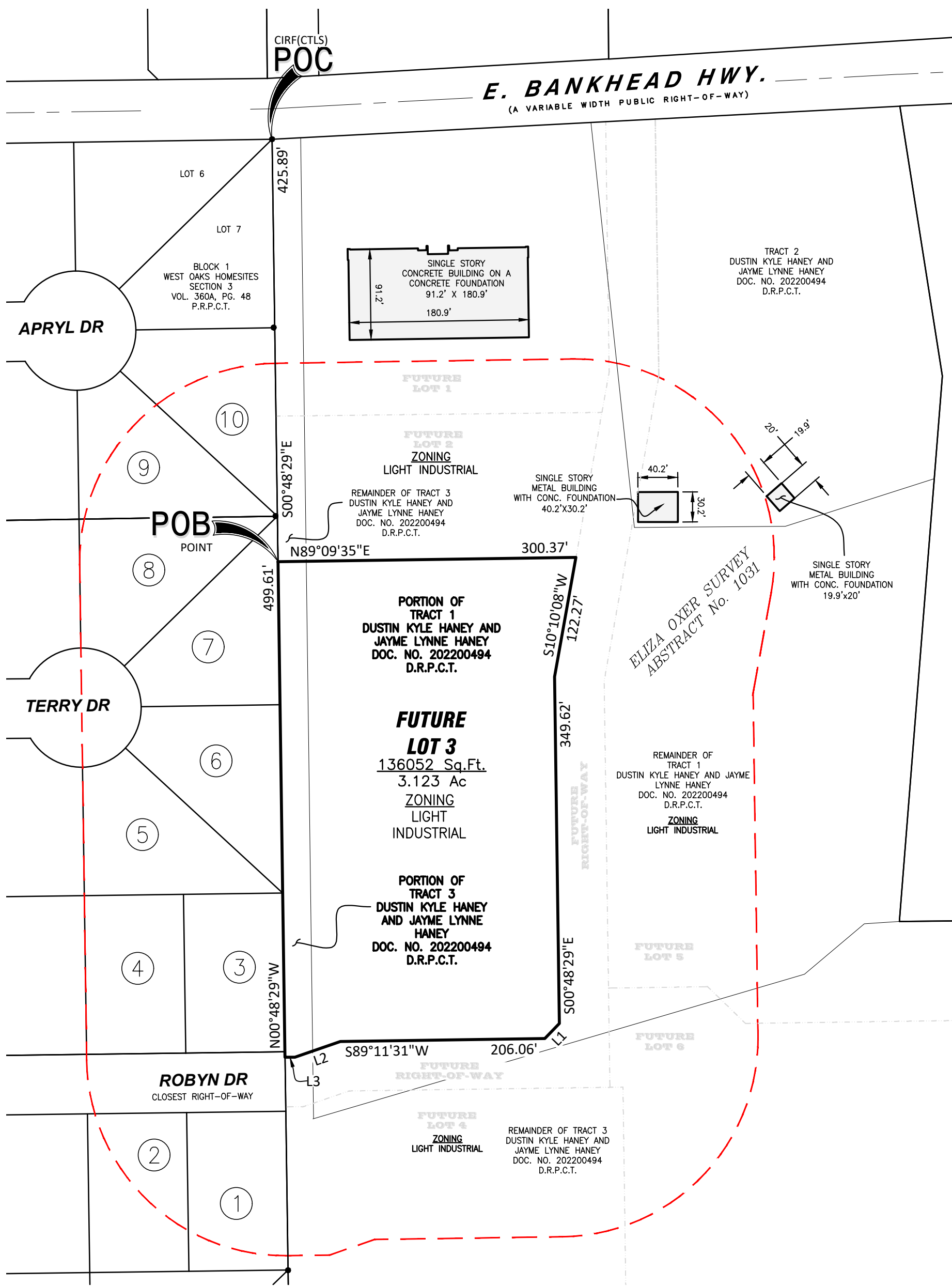
COMMENCING at a found 1/2-inch capped iron rod marked "CTLs" for the northwest corner of the said Haney tracts, same being the most northerly corner of Lot 7, Block 1, West Oaks Homesites, Section 3, an addition to Parker County, Texas as shown on the plat recorded in Volume 360A, Page 48, Plat Records, Parker County, Texas (P.R.P.C.T.), and being the most easterly corner of Lot 6 of said Block 1, and also being in the south right-of-way line of East Bankhead Highway (a variable width right-of-way);

THENCE North 86°59'14" East, with the common line between the said Haney tracts and east line of said Block 1, West Oaks Homesites, a distance of 425.89 feet to a point, being the **POINT OF BEGINNING**;

THENCE over and across said Haney tracts for the following courses and distances:

- North 86°09'35" East, a distance of 300.37 feet to a point;
- South 10°10'08" West, a distance of 122.27 feet to a point;
- South 00°48'29" East, a distance of 349.62 feet to a point;
- South 44°11'31" West, a distance of 21.21 feet to a point;
- South 89°11'31" West, a distance of 206.06 feet to a point;
- South 70°59'59" West, a distance of 48.45 feet to a point;
- South 89°11'31" West, a distance of 10.00 feet to a point being on the common line of said Haney Tracts and said Block 1, West Oaks Homesites;

THENCE North 00°48'29" West, with the said common line, a distance of 499.61 feet **POINT OF BEGINNING** and containing 136,052 feet or 3.123 acres of land more or less.



ADJACENT PROPERTY OWNERS WITHIN 200 FT. OF SUBJECT PROPERTY						
TR.	OWNER NAME	LOT	BLK.	RECORDING INFO.	PCAD ID.	EXIST. ZONING/LAND USE
1	DAVID & CAROLE PITTS	2	2	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000030783	RESIDENTIAL
2	DAVID & CAROLE PITTS	2	2	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000030783	RESIDENTIAL
3	BEARCAT RAILHEAD LLC	38	1	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000111360	RESIDENTIAL
4	BEARCAT RAILHEAD LLC	37	1	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000111757	RESIDENTIAL
5	BEARCAT RAILHEAD LLC	24	1	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000030772	RESIDENTIAL
6	JERRI FAY LOHMANN	23	1	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000030771	RESIDENTIAL
7	DAN & JESSICA PENNINGTON	22	1	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000030769	RESIDENTIAL
8	DAN & JESSICA PENNINGTON	21	1	WEST OAK HOME SITES, SECTION I, VOL. 360A, PG. 34	R000030769	RESIDENTIAL
9	WILLIAM & BARBARA GRIFFIN, KATHLEEN YNOSTROSA	9	1	WEST OAK HOMESITES SECTION 3, VOL. 360A, PG. 48	R000030758	RESIDENTIAL
10	CARLOS & CHARLES SMITH	8	1	WEST OAK HOMESITES SECTION 3, VOL. 360A, PG. 48	R000030756	RESIDENTIAL

Line Table		
Line #	Direction	Length
L1	S44°11'31"W	21.21
L2	S70°59'59"W	48.45
L3	S89°11'31"W	10.00

**LEGEND**

D.R.P.C.T..... Deed Records, Parker County, Texas  
 O.P.R.T.C.T..... Official Public Records, Parker County, Texas  
 PCAD..... Parker County Appraisal District  
 P.O.B..... Point of Beginning  
 P.O.C..... Point of Commencement  
 P.R.P.C.T..... Plat Record, Parker County, Texas  
 #..... Adjacent Property Owner  
 --- 200' Property Buffer  
 - - - Future Lot Line

**PARKING VARIANCE NOTE:**  
 A parking variance is requested from the City's 1 space per 100 s.f. for indoor amusement which is well above any examples for a use of this type in surrounding cities. A variance to 1 space per 300 s.f. is requested, which the City of Dallas uses specifically for roller skating rinks.

**B=B**  
 BAIRD, HAMPTON & BROWN  
 building partners  
 849 Hilleg Drive, Weatherford, TX 76086  
 tbaoc@bhbc.com • 817.586.7575 • bhbc.com  
 TBPCLS FIRM #44 • TBPCLS FIRM #101941

**FUTURE LOT 3  
 HANEY COMPLEX ADDITION**  
 9744 E BANKHEAD HWY.  
 WILLOW PARK, TX 76008  
 CITY OF WILLOW PARK, PARKER COUNTY, TEXAS

**SPECIAL USE PERMIT - AREA EXHIBIT**

NO.	DESCRIPTION	DATE

**PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.**

PROJECT NUMBER: 2023.150.000  
 DATE: 2024-02-05 DRAWN BY: GCW  
 DESIGN BY: SC CHECKED BY: TS





**PLANT SCHEDULE**

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	SPREAD	REMARKS
<b>DECIDUOUS TREES</b>								
	CE	4	CEDAR ELM	Ulmus crassifolia	3" Cal.	12' - 14'	4' - 6'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
	CP	2	CHINESE PISTACHE	Pistacia chinensis	3" Cal.	12' - 14'	4' - 6'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
	SO	4	SHUMARD OAK	Quercus shumardii	3" Cal.	12' - 14'	4' - 6'	NURSERY GROWN; FULL; 7' MIN. BRANCHING HEIGHT
<b>ORNAMENTAL TREES</b>								
	CCMM	1	CATAWBA CRAPE MYRTLE MULTI-TRUNK	Lagerstroemia indica 'Catawba'	30 gal.	6' - 8'	4' - 6'	NURSERY GROWN; FULL; MULTI-TRUNK MIN. 3 CANES
<b>SHRUBS</b>								
	BBL	308	BIG BLUE LIRIOPE	Liriope muscari 'Big Blue'	1 gal.	1' - 1.5'		FULL
	BA	32	BLONDE AMBITIOM BLUE GRAMA GRASS	Bouteloua gracilis 'Blonde Ambition'	3 gal.	1' - 1.5'	1' - 1.5'	FULL
	RY	21	BRAKELIGHTS® RED YUCCA	Hesperaloe parviflora 'Perpa'	5 gal.	1' - 2'	1' - 2'	FULL
	CL	28	CLEYERA	Ternstroemia gymnanthera	5 gal.	2' - 3'	2' - 3'	FULL
	CGY	17	COLOR GUARD YUCCA	Yucca filamentosa 'Color Guard'	3 gal.	1' - 1.5'	1' - 1.5'	FULL
	TSC	40	COMPACT TEXAS SAGE	Leucophyllum frutescens 'Compacta'	3 gal.	3' MIN.	2'	FULL
	DBH	76	DWARF BURFORD HOLLY	Ilex cornuta 'Dwarf Burford'	3 gal.	3' MIN.	2'	FULL
	DYH	20	DWARF YAUPON HOLLY	Ilex vomitoria 'Nana'	3 gal.	2'	2'	FULL
	ON	25	NANDINA 'OBSESSION'	Nandina domestica 'Obsession'	3 gal.	1' - 2'	1' - 2'	FULL
	PIH	18	PINKIE INDIAN HAWTHORN	Rhaphiotepis indica 'Pinkie'	3 gal.	1' - 2'	1' - 2'	FULL
	PDL	14	PURPLE DIAMOND LOROPETALUM	Loropetalum chinense rubrum 'Shang-hi'	3 gal.	2' - 3'	2' - 3'	FULL

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	HEIGHT	SPREAD	SPACING	REMARKS
<b>LOW GROUND COVERS</b>									
	LIR	550	BIG BLUE LIRIOPE	Liriope muscari	1 gal.	6" - 12"	6" - 12"	12" o.c.	FULL
<b>SOD/SEED</b>									
	SOD	28,789 sf	BERMUDA GRASS	Cynodon dactylon	SOD				FULL, TIFWAY 419, TEX TURF 10, OR OTHER IMPROVED VARIETY. MUST NOT CONTAIN ANY WEEDS.
<b>MATERIALS</b>									
	BG	425 sf	BASALT GRAVEL	Basalt Gravel	---				SEE DETAIL
	DG	1,073 sf	DECOMPOSED GRANITE	Decomposed Granite	---				SEE DETAIL

**REFERENCE NOTES SCHEDULE**

SYMBOL	DESCRIPTION
LE-101	COMMERCIAL GRADE STEEL EDGING 3/16" thick; black (preferred) or green; securely staked.

**NOTES**

THE QUANTITIES OF PLANTS AND MATERIALS SHOWN IN THE ABOVE LISTS MUST BE COMPARED TO THE LANDSCAPE PLAN. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

ACTUAL QUANTITY OF SOD (AND/OR HYDROMULCH) NEEDED MAY DIFFER FROM SQUARE FOOTAGES LABELED. CONTRACTOR SHALL BID QUANTITY SHOWN IN PLANT LIST, AND PROVIDE PER SQUARE FOOT UNIT COSTS FOR ADDING AND SUBTRACTING SOD (AND/OR HYDROMULCH). THE CONTRACTOR IS REQUIRED TO TAKE APPROPRIATE MEASURES TO ENSURE THAT A FULL STAND OF HEALTHY GRASS IS ESTABLISHED IN ALL GRASS AREAS. GRASS SHALL BE PLANTED IN AREAS DISTURBED BY GRADING AND OTHER CONSTRUCTION ACTIVITIES. FIELD VERIFICATION OF GRASS LIMITS IS OFTEN REQUIRED. THESE INSTRUCTIONS ALSO APPLY IF EROSION CONTROL BLANKET IS CALLED FOR ON THE PLANS.

PRIOR TO INSTALLATION OF PLANTS, THE LANDSCAPE CONTRACTOR SHALL WALK THE SITE WITH THE OWNER'S REPRESENTATIVE TO VERIFY ALL AREAS TO BE PLANTED, PLANT SIZES, AND COORDINATION OF PLANTING ACTIVITIES WITH IRRIGATION INSTALLATION.

IF HYDROMULCH IS NOT SHOWN ON THE LANDSCAPE PLANS, THE LANDSCAPE CONTRACTOR SHALL DISCUSS WITH THE OWNER'S REPRESENTATIVE IF IT IS POSSIBLE TO INSTALL HYDROMULCH RATHER THAN SOD IN SOME GRASS AREAS. IF HYDROMULCH IS INSTALLED, IT SHALL BE SULTAN, BLACK JACK, OR SAHARA BERMUDA WITH A TACKIFIER ADDITIVE ON 4:1 OR GREATER SLOPES. BERMUDA HYDROMULCH SHALL ONLY BE APPLIED BETWEEN THE DATES OF MAY 1st AND SEPTEMBER 15th. BETWEEN SEPTEMBER 15th and MAY 1st, HYDROMULCH WITH ANNUAL RYE GRASS, AND RETURN AFTER MAY 1st TO REMOVE OR TILL IN RYE GRASS AND HYDROMULCH (OR SOD IF OWNER REQUESTS) WITH BERMUDA. PRIOR TO HYDROMULCHING, VERIFY WITH OWNER'S REPRESENTATIVE AREAS, DATES, AND TYPE OF GRASS. DISCUSS WITH THE OWNER THE SCHEDULE AND OTHER DETAILS REGARDING RETURNING AFTER MAY 1ST TO ESTABLISH PERMANENT BERMUDA GRASS.

ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2014."

ALL NEW LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSORS. SYSTEM SHALL BE DESIGNED BY A TEXAS LICENSED IRRIGATOR, AND INSTALLED BY A TEXAS LICENSED IRRIGATION INSTALLER. DESIGN AND INSTALLATION SHALL CONFORM TO ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS, AND OTHER APPLICABLE CODES.

THE LANDSCAPE CONTRACTOR AND IRRIGATION CONTRACTOR SHALL TAKE NECESSARY MEASURES TO COORDINATE THE TIMING OF INSTALLATION OF PLANTS AND INSTALLATION OF THE IRRIGATION SYSTEM. COORDINATE WITH THE GENERAL CONTRACTOR IF NECESSARY. THE GENERAL CONTRACTOR OR PAVING CONTRACTOR SHALL CONSULT WITH THE IRRIGATION CONTRACTOR REGARDING THE POSSIBILITY OF IRRIGATION SLEEVES WITHIN AREAS TO BE PAVED.

Note: the specifications below are to be considered guide specifications. Not all the requirements are applicable to this project. Most important are the requirements for plant quality, and the guarantee.

**LANDSCAPE SPECIFICATIONS**

**SCOPE OF WORK**

A. Furnish all supervision, labor, materials, services, and equipment required to complete the work covered in these specifications and plans, including the following: planting of trees, shrubs, and groundcover, submittals, maintenance, guarantee, cleanup, and acceptance.

**REFERENCES**

A. American Standard for Nursery Stock – ANSI Z60.1 – published by American Nursery & Landscape Association; latest edition.

B. Hortis Third, 1976 – Cornell University

**SUBMITTALS (IF REQUESTED BY OWNER OR OWNER'S REPRESENTATIVE)**

A. Samples: Provide representative quantities of mulch and stone. Samples shall be approved by Owner's Representative before use on project.

B. If requested by the Owner's Representative, the Landscape Contractor shall provide at the site two (2) representative samples of each variety of trees, shrubs, and groundcover plants for Owner's Representative's approval. Photographs of representative plants are acceptable. Photos must show plant clearly from at least two sides.

C. Plant substitutions must be pre-approved by the Owner's Representative in writing.

**JOB CONDITIONS**

A. General Contractor shall leave planting bed areas three (3) inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All construction debris shall be removed prior to Landscape Contractor beginning work.

B. Underground utilities must be located prior to planting. Landscape Contractor shall arrange for utility location service. Contact Texas811.com at least two working days prior to excavation. Landscape Contractor shall be responsible for protecting utility lines. Repairs due to damage shall be at the Landscape Contractors expense.

C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner will not be responsible for theft or damage.

**MAINTENANCE and GUARANTEE**

A. The Landscape Contractor is responsible for maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, or groundcover will be accepted unless they show a healthy growth and satisfactory foliage conditions.

B. Maintenance shall include watering, cultivation, weeding, edging, pruning of trees, cleaning up, and all other necessary maintenance tasks.

C. A written notice requesting final inspection and acceptance should be submitted to the Owner's Representative at least five (5) days prior to completion. If requested, an on-site inspection by the Owner's Representative and the Landscape Contractor will be completed prior to final acceptance.

D. After final acceptance, the Owner assumes responsibility for maintenance.

E. Trees, shrubs, and groundcover shall be guaranteed for a twelve (12) month period after acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner's Representative. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be subject to replacement.

F. First initial plant replacement shall be at the Landscape Contractor's expense. Additional replacement plants beyond the first are not guaranteed.

G. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified.

H. The Owner agrees that for the guarantee to be effective, he/she will water plants at least twice a week during dry periods. The Landscape Contractor shall visit the site at regular intervals during the guarantee period to observe the condition of the plants, and report any problems and possible remedies to the Owner.

**QUALITY ASSURANCE**

A. Owner's Representative has the right to inspect all plant materials at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.

B. Owner's Representative retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.

C. Owner's Representative may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately.

**PRODUCT DELIVERY, STORAGE AND HANDLING**

A. Balled and burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.

B. Container grown plants: Deliver plants in rigid container to hold ball shape and protect root mass.

**DESIGN/BUILD IRRIGATION NOTES**

ALL NEW LANDSCAPED AREAS SHALL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH RAIN AND FREEZE SENSORS. SYSTEM SHALL BE DESIGNED BY A TEXAS LICENSED IRRIGATOR, AND INSTALLED BY A TEXAS LICENSED IRRIGATION INSTALLER. DESIGN AND INSTALLATION SHALL CONFORM TO ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY REQUIREMENTS, CITY REQUIREMENTS, AND OTHER APPLICABLE CODES.

THE CONTRACTOR SHALL PROVIDE A DESIGN-BUILD LANDSCAPE IRRIGATION SYSTEM FOR THE PROPOSED PLANTS WITHIN THE PROJECT LIMITS. THE CONTRACTOR SHALL DETERMINE IF AN EXISTING FUNCTIONING SYSTEM IS ALREADY IN PLACE, AND WHETHER OR NOT IT CAN BE EXPANDED. BEFORE CONSTRUCTION BEGINS THE IRRIGATION CONTRACTOR SHALL PREPARE AN IRRIGATION DRAWING FOR APPROVAL BY THE OWNER, INCLUDING THE FOLLOWING DESIGN GUIDELINES:

- TURF, SHRUBS, AND TREES SHALL ALL BE ZONED SEPARATELY.
- PIPE SHALL BE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF FIVE FEET PER SECOND.
- OPERATING PRESSURE AT ALL ROTARY HEAD NOZZLES SHALL BE MINIMUM 30 PSI.
- OPERATING PRESSURE AT ALL SPRAY NOZZLES SHALL BE MINIMUM 25 PSI.
- OPERATING PRESSURE AT ALL DRIP ZONES SHALL BE MINIMUM 25 PSI.
- OPERATING PRESSURE AT ALL TREE BUBBLER ZONES SHALL BE MINIMUM 25 PSI.
- MANUFACTURER'S INSTALLATION GUIDELINES AND INSTRUCTIONS SHALL BE FOLLOWED.
- STATE AND LOCAL IRRIGATION CODES SHALL BE FOLLOWED.

UPON APPROVAL, THE CONTRACTOR'S IRRIGATION PLAN FOR DESIGN-BUILD AREAS SHALL BE USED TO OBTAIN AN IRRIGATION INSTALLATION PERMIT BY THE IRRIGATION CONTRACTOR. UPON COMPLETION, AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE OWNER. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR PAYING ANY PERMIT FEES THAT MAY BE REQUIRED.

IRRIGATION SHALL BE INSTALLED TO PROVIDE FULL COVERAGE, WITHOUT GAPS. OVER-SPRAY ONTO SIDEWALKS, PARKING AREAS, AND DRIVEWAYS SHALL BE AS MINIMAL AS POSSIBLE. DRIP IRRIGATION AND OTHER LOW WATER USE IRRIGATION METHODS AND EQUIPMENT SHALL BE EMPLOYED AS MUCH AS POSSIBLE, PRACTICAL, AND AS PER CODES.

THE IRRIGATION CONTRACTOR SHALL ARRANGE TO WALK THE SITE WITH THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION IN ORDER TO VERIFY ALL PROPOSED ASPECTS OF THE IRRIGATION TO BE PROVIDED.

THE IRRIGATION CONTRACTOR SHALL CONTACT TEXAS 811 PRIOR TO CONSTRUCTION IN ORDER TO LOCATED UNDERGROUND UTILITIES. IF UNDERGROUND UTILITIES ARE DAMAGED DURING IRRIGATION INSTALLATION, THE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS, AT NO COST TO THE OWNER.

THE GENERAL CONTRACTOR, LANDSCAPE CONTRACTOR, AND IRRIGATION CONTRACTOR SHALL TAKE NECESSARY MEASURES TO COORDINATE THE TIMING OF INSTALLATION OF SITE CONSTRUCTION ITEMS, LANDSCAPE PLANTS, AND INSTALLATION OF THE IRRIGATION SYSTEM.

PRIOR TO CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL CONSULT WITH THE GENERAL CONTRACTOR OR PAVING CONTRACTOR REGARDING THE POSSIBILITY OF IRRIGATION SLEEVES WITHIN AREAS TO BE PAVED.

THE ABOVE NOTES ARE INTENDED TO SERVE AS GUIDELINES ONLY. THEY ARE NOT INTENDED TO OVERRULE THE OPINIONS AND RECOMMENDATIONS OF A LICENSED IRRIGATOR, WHO RETAINS THE RIGHT TO REVISE, CHANGE, AND EDIT THESE NOTES.

C. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.

D. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.

E. Do not lift, move, adjust to plumb, or otherwise manipulate plants by trunks or stems.

**PLANTS**

A. Plants shall be well-formed nursery grown stock, with tags showing species and variety. Tags must remain until after final acceptance. Plants will be individually approved by the Owner's Representative and his decision as to their acceptability shall be final.

B. The Plant and Materials List shown on the plans is an aid to the Landscape Contractor. Confirm all quantities, and report any discrepancies to the Owner's Representative.

C. Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. Plants shall be free from insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, and insect eggs and larvae.

D. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Unless specified as multi-trunk, trees shall have a single dominant leader.

E. Substitutions: Plant substitutions may be requested. Substitutions must be pre-approved by the Owner's Representative. In order for a substitution to be considered, the contractor must provide proof that the specified plant is not readily available, either by species, quantity, or size. The contractor shall provide in writing the names, phone numbers, and contact persons from three wholesale nurseries that were contacted. The contractor may suggest an alternative, but the Owner's Representative shall reserve the right as to which substitution, if any, is allowed.

**INSTALLATION**

A. Prior to installation, Landscape Contractor shall inspect all existing conditions and report any deficiencies to the Owner's Representative.

B. Areas to receive rock groundcover: Remove existing grass, weeds, rocks, or other obstructions. Lay polypropylene fabric, using pins as necessary to hold securely in place. Place stone groundcover to depths indicated on plans. Surfaces shall be smooth, without visible depressions or ridges.

C. Position the trees and shrubs in their intended location as per plan. Notify the Owner's Representative for inspection and approval of all positioning of plant materials. Plants in the vicinity of fire hydrants, meters, or utility boxes must be placed so that, at plant maturity, a five (5) foot clearance is provided.

D. Dig a wide, rough sided hole the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed. Root flare of trees must be exposed.

E. Backfill trees only with existing material excavated from the pit. Carefully settle by watering to prevent air pockets. Backfill shrubs and groundcover beds with planting soil mix as specified in the planting details.

F. All plant beds and trees shall be mulched with a minimum settled thickness of three (3") inches over the entire bed or pit.

G. In the event that rock, or underground construction work or obstructions are encountered, the Landscape Contractor shall notify the Owner's Representative or Landscape Architect immediately in order to determine if alternate locations can be selected. Where locations cannot be changed, if possible, the obstructions shall be removed to a depth of not less than three (3) feet below grade and no less than six (6) inches below the bottom of the root ball when plant is properly set at the required grade. For trees, the planting pit shall be at least three times the width of the root ball. Prior to excavating the obstruction(s), the Landscape Contractor shall negotiate with the Owner's Representative to determine if a change order is required.

H. The Landscape contractor shall return after a period of one year to remove all tree staking materials. If any trees appear to need additional time to stabilize, staking will remain for no longer than an additional 6 months. During the period of time when trees are staked, the contractor is responsible for straightening trees that are not plumb, and adjusting stakes and guy wires as necessary. Guy wires must fit loosely as called for in the planting details.

I. Lay sod within 24 hours of harvesting. Do not lay sod if ground is frozen or muddy. Sod shall form a solid mass with tightly fitted joints. Butt ends and sides of sod; do not stretch or overlap. Stagger sod strips or pads to offset joints in adjacent courses. Avoid damage to subgrade or sod during installation. Tamp and roll lightly to ensure contact with subgrade, eliminate air pockets, and form a smooth surface. Work sifted soil or fine sand into minor cracks between pieces of sod; remove excess to avoid smothering sod and adjacent grass. Lay sod across angle of slopes exceeding 1:3. Anchor sod on slopes exceeding 1:6 with biodegradable staples spaced as recommended by sod grower but not less than 2 anchors per sod strip to prevent slippage. Saturate sod with fine water spray within two hours of planting. After planting, water daily or more frequently until sod is established.

**CLEANUP**

A. During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each day's work. Site shall be clean and neat at time of final inspection.

**B = B**  
**BAIRD, HAMPTON & BROWN**  
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 TBPELS Firm #44, #10194146

**HANEY REVOCABLE TRUST**  
 DUSTIN KYLE & JAYME LYNNIE - CO-TRUSTEES  
**HANEY COMPLEX - RETRO RINK**  
 9744 EAST BANKHEAD PKWY  
 WILLOW PARK, TEXAS

**PLANT LIST & NOTES**

NO.	DESCRIPTION	DATE

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 Feb 05, 2024

PROJECT NUMBER:	2023.150.000
DATE:	02/05/2024
DESIGN BY:	ZG
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SHEET  
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LANDSCAPE DETAILS

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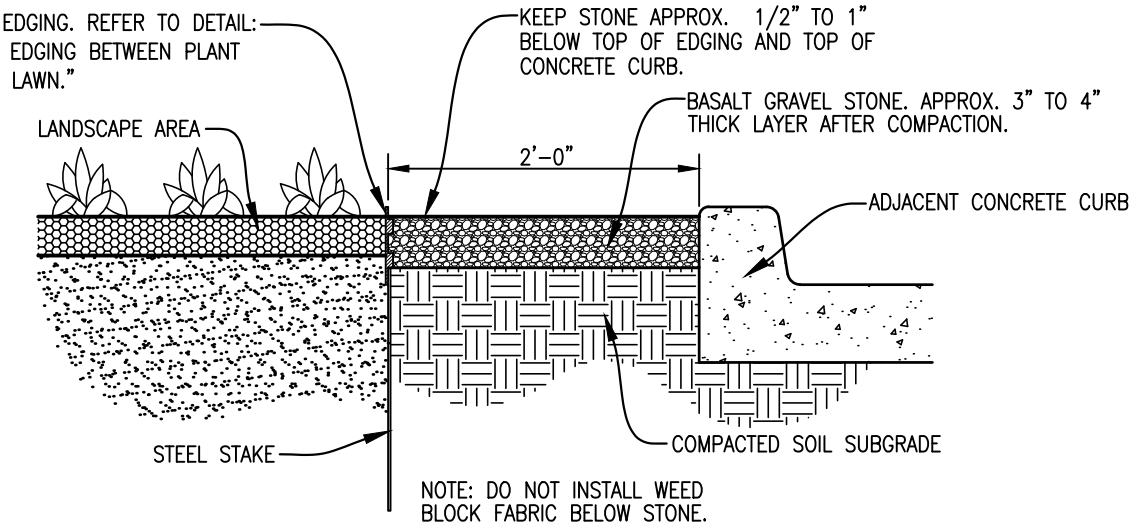
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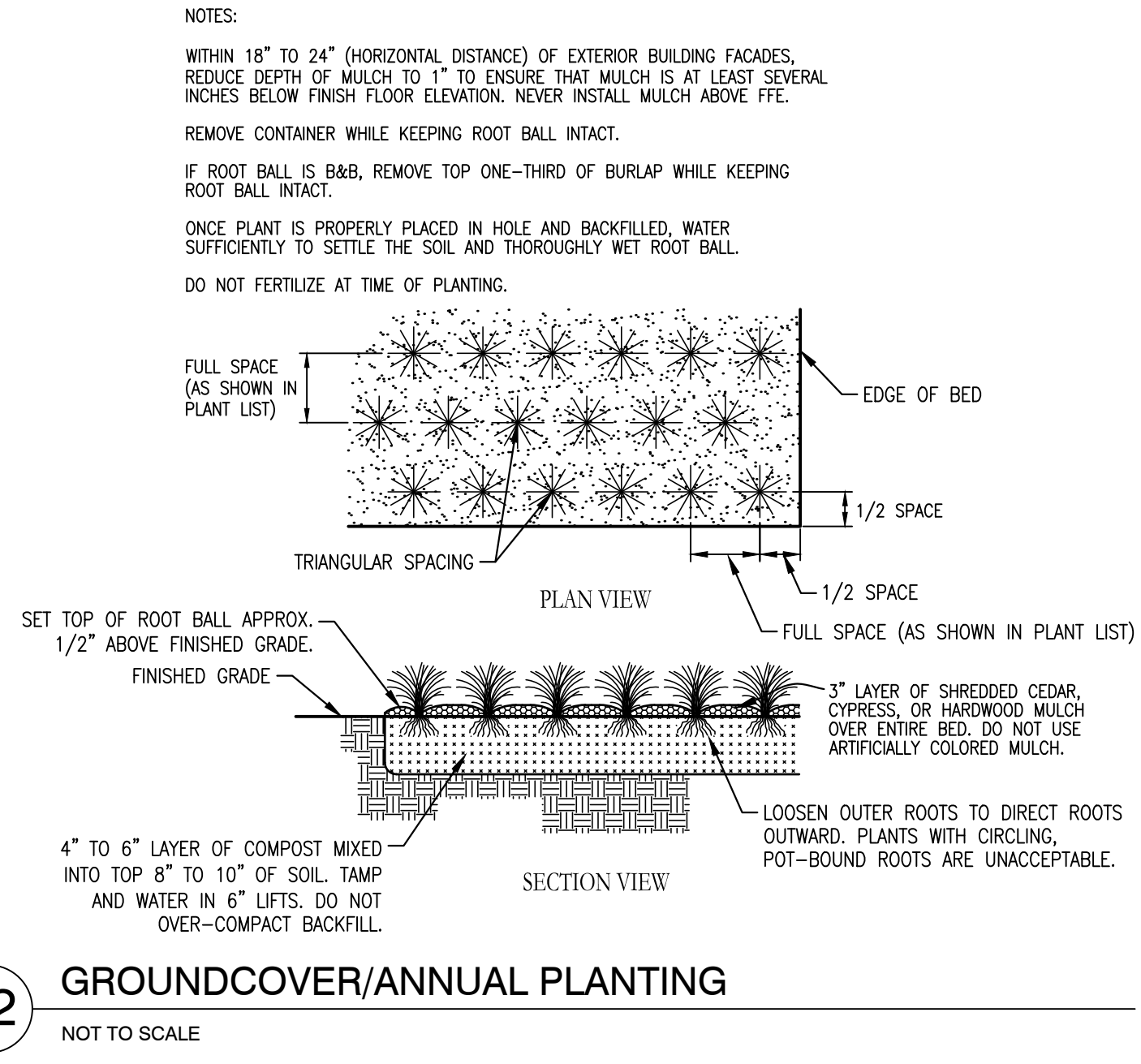


**03 BASALT GRAVEL GROUND COVER**  
 NOT TO SCALE



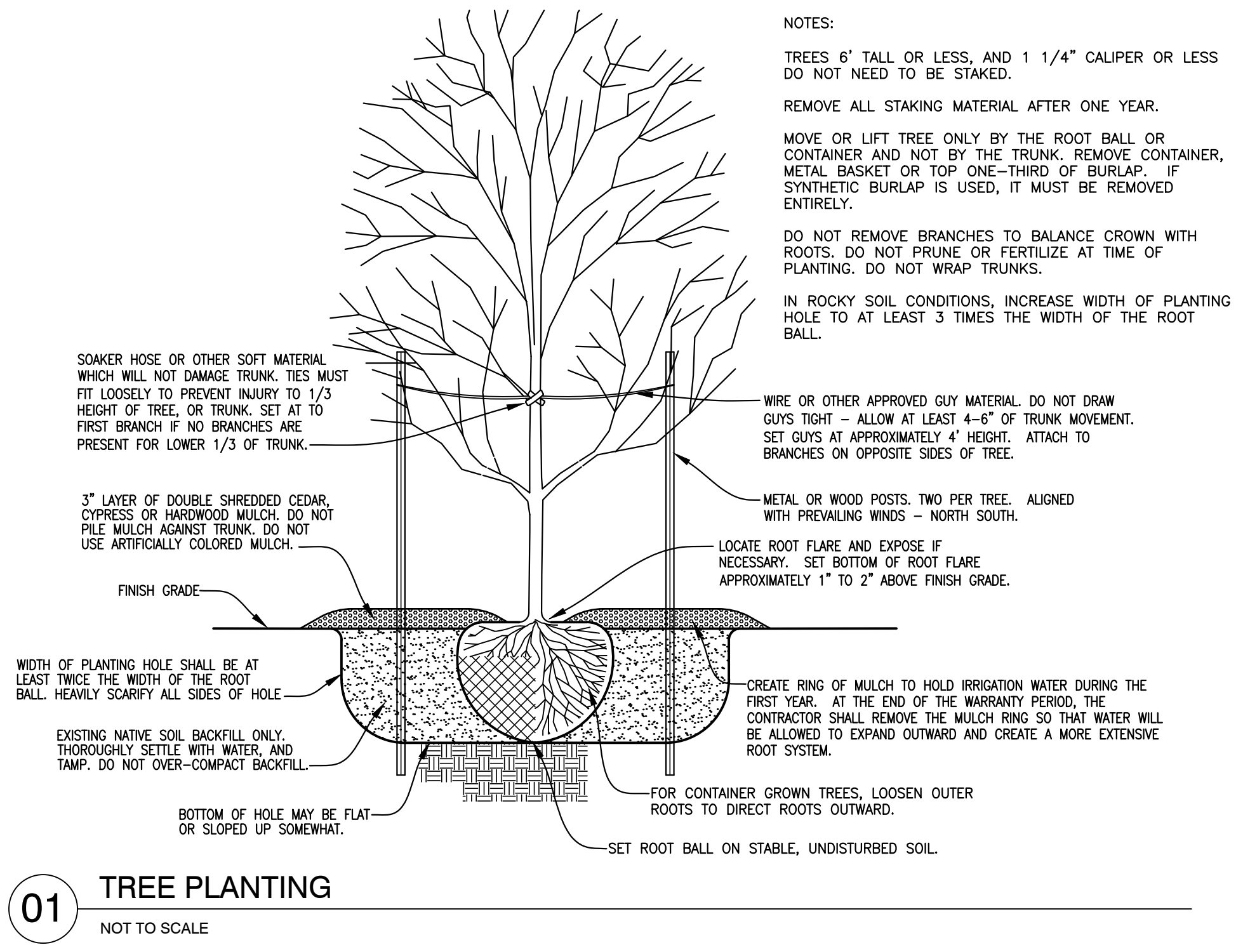
NOTES:  
 THIS DETAIL ILLUSTRATES AN APPLICATION WHERE THE STONE IS ADJACENT TO A PARKING SPACE. THIS DETAIL ALSO APPLIES TO OTHER APPLICATIONS.  
 STONE SHALL BE CRUSHED BASALT GRAVEL, OR EQUIVALENT. REFER TO PLANT AND MATERIALS LIST.  
 MOISTEN BASALT GRAVEL AND COMPACT WITH VIBRATORY PLATE COMPACTOR. MAKE SEVERAL PASSES, AND TOP OFF WITH ADDITIONAL STONE IF NEEDED. RE-COMPACT SO THAT TOP SURFACE OF STONE WILL BE SLIGHTLY BELOW ADJACENT CURB AND STEEL EDGING.

STEEL EDGING. REFER TO DETAIL: "STEEL EDGING BETWEEN PLANT BED & LAWN."  
 KEEP STONE APPROX. 1/2" TO 1" BELOW TOP OF EDGING AND TOP OF CONCRETE CURB.  
 BASALT GRAVEL STONE, APPROX. 3' TO 4" THICK LAYER AFTER COMPACTION.  
 ADJACENT CONCRETE CURB  
 COMPACTED SOIL SUBGRADE  
 STEEL STAKE  
 NOTE: DO NOT INSTALL WEED BLOCK FABRIC BELOW STONE.



NOTES:  
 WITHIN 18" TO 24" (HORIZONTAL DISTANCE) OF EXTERIOR BUILDING FACADES, REDUCE DEPTH OF MULCH TO 1" TO ENSURE THAT MULCH IS AT LEAST SEVERAL INCHES BELOW FINISH FLOOR ELEVATION. NEVER INSTALL MULCH ABOVE FFE.  
 REMOVE CONTAINER WHILE KEEPING ROOT BALL INTACT.  
 IF ROOT BALL IS B&B, REMOVE TOP ONE-THIRD OF BURLAP WHILE KEEPING ROOT BALL INTACT.  
 ONCE PLANT IS PROPERLY PLACED IN HOLE AND BACKFILLED, WATER SUFFICIENTLY TO SETTLE THE SOIL AND THOROUGHLY WET ROOT BALL.  
 DO NOT FERTILIZE AT TIME OF PLANTING.

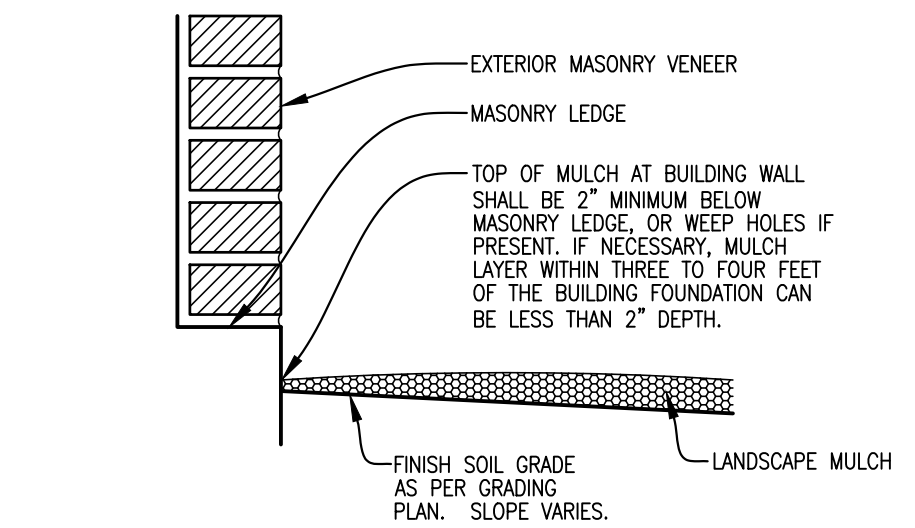
TRIANGULAR SPACING  
 FULL SPACE (AS SHOWN IN PLANT LIST)  
 EDGE OF BED  
 1/2 SPACE  
 1/2 SPACE  
 FULL SPACE (AS SHOWN IN PLANT LIST)  
 PLAN VIEW  
 SECTION VIEW  
 SET TOP OF ROOT BALL APPROX. 1/2" ABOVE FINISHED GRADE.  
 FINISHED GRADE  
 3" LAYER OF SHREDDED CEDAR, CYPRESS, OR HARDWOOD MULCH OVER ENTIRE BED. DO NOT USE ARTIFICIALLY COLORED MULCH.  
 LOOSEN OUTER ROOTS TO DIRECT ROOTS OUTWARD. PLANTS WITH CIRCLING, POT-BOUND ROOTS ARE UNACCEPTABLE.  
 4" TO 6" LAYER OF COMPOST MIXED INTO TOP 8" TO 10" OF SOIL. TAMP AND WATER IN 6" LIFTS. DO NOT OVER-COMPACT BACKFILL.



NOTES:  
 TREES 6' TALL OR LESS, AND 1 1/4" CALIPER OR LESS DO NOT NEED TO BE STAKED.  
 REMOVE ALL STAKING MATERIAL AFTER ONE YEAR.  
 MOVE OR LIFT TREE ONLY BY THE ROOT BALL OR CONTAINER AND NOT BY THE TRUNK. REMOVE CONTAINER, METAL BASKET OR TOP ONE-THIRD OF BURLAP. IF SYNTHETIC BURLAP IS USED, IT MUST BE REMOVED ENTIRELY.  
 DO NOT REMOVE BRANCHES TO BALANCE CROWN WITH ROOTS. DO NOT PRUNE OR FERTILIZE AT TIME OF PLANTING. DO NOT WRAP TRUNKS.  
 IN ROCKY SOIL CONDITIONS, INCREASE WIDTH OF PLANTING HOLE TO AT LEAST 3 TIMES THE WIDTH OF THE ROOT BALL.

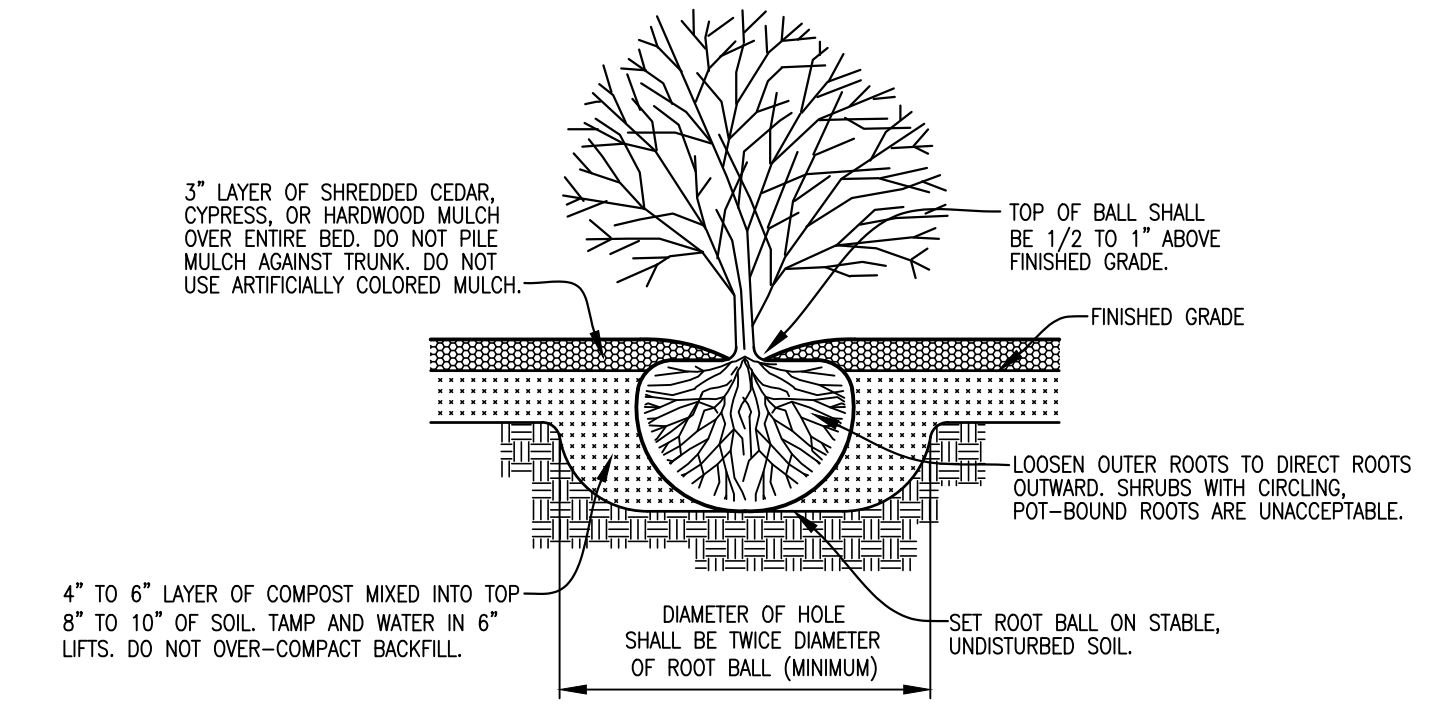
SOAKER HOSE OR OTHER SOFT MATERIAL WHICH WILL NOT DAMAGE TRUNK. TIES MUST FIT LOOSELY TO PREVENT INJURY TO 1/3 HEIGHT OF TREE, OR TRUNK. SET AT TO FIRST BRANCH IF NO BRANCHES ARE PRESENT FOR LOWER 1/3 OF TRUNK.  
 WIRE OR OTHER APPROVED GUY MATERIAL. DO NOT DRAW GUYS TIGHT - ALLOW AT LEAST 4-6" OF TRUNK MOVEMENT. SET GUYS AT APPROXIMATELY 4' HEIGHT. ATTACH TO BRANCHES ON OPPOSITE SIDES OF TREE.  
 METAL OR WOOD POSTS, TWO PER TREE, ALIGNED WITH PREVAILING WINDS - NORTH SOUTH.  
 LOCATE ROOT FLARE AND EXPOSE IF NECESSARY. SET BOTTOM OF ROOT FLARE APPROXIMATELY 1" TO 2" ABOVE FINISH GRADE.  
 3" LAYER OF DOUBLE SHREDDED CEDAR, CYPRESS OR HARDWOOD MULCH. DO NOT PILE MULCH AGAINST TRUNK. DO NOT USE ARTIFICIALLY COLORED MULCH.  
 FINISH GRADE  
 WIDTH OF PLANTING HOLE SHALL BE AT LEAST TWICE THE WIDTH OF THE ROOT BALL. HEAVILY SCARP ALL SIDES OF HOLE.  
 EXISTING NATIVE SOIL BACKFILL ONLY. THOROUGHLY SETTLE WITH WATER, AND TAMP. DO NOT OVER-COMPACT BACKFILL.  
 BOTTOM OF HOLE MAY BE FLAT OR SLOPED UP SOMEWHAT.  
 FOR CONTAINER GROWN TREES, LOOSEN OUTER ROOTS TO DIRECT ROOTS OUTWARD.  
 SET ROOT BALL ON STABLE, UNDISTURBED SOIL.  
 CREATE RING OF MULCH TO HOLD IRRIGATION WATER DURING THE FIRST YEAR. AT THE END OF THE WARRANTY PERIOD, THE CONTRACTOR SHALL REMOVE THE MULCH RING SO THAT WATER WILL BE ALLOWED TO EXPAND OUTWARD AND CREATE A MORE EXTENSIVE ROOT SYSTEM.

NOTES:  
 LANDSCAPE CONTRACTOR SHALL COORDINATE CLOSELY WITH GRADING/GENERAL CONTRACTOR TO ENSURE THAT FINISH GRADE IS CORRECT AND WILL ALLOW MULCH TO BE PLACED AS SHOWN IN THIS DETAIL.  
 IN LOCATIONS WHERE THERE IS AN EXTERIOR BUILDING MATERIAL OTHER THAN MASONRY, THE TOP LEVEL OF MULCH SHALL BE AT LEAST 4" BELOW FINISH FLOOR ELEVATION.



**04 LANDSCAPE MULCH AT BUILDING WALL**  
 NOT TO SCALE

EXTERIOR MASONRY VENEER  
 MASONRY LEDGE  
 TOP OF MULCH AT BUILDING WALL SHALL BE 2" MINIMUM BELOW MASONRY LEDGE, OR WEEP HOLES IF PRESENT. IF NECESSARY, MULCH LAYER WITHIN THREE TO FOUR FEET OF THE BUILDING FOUNDATION CAN BE LESS THAN 2" DEPTH.  
 FINISH SOIL GRADE AS PER GRADING PLAN. SLOPE VARIES.  
 LANDSCAPE MULCH

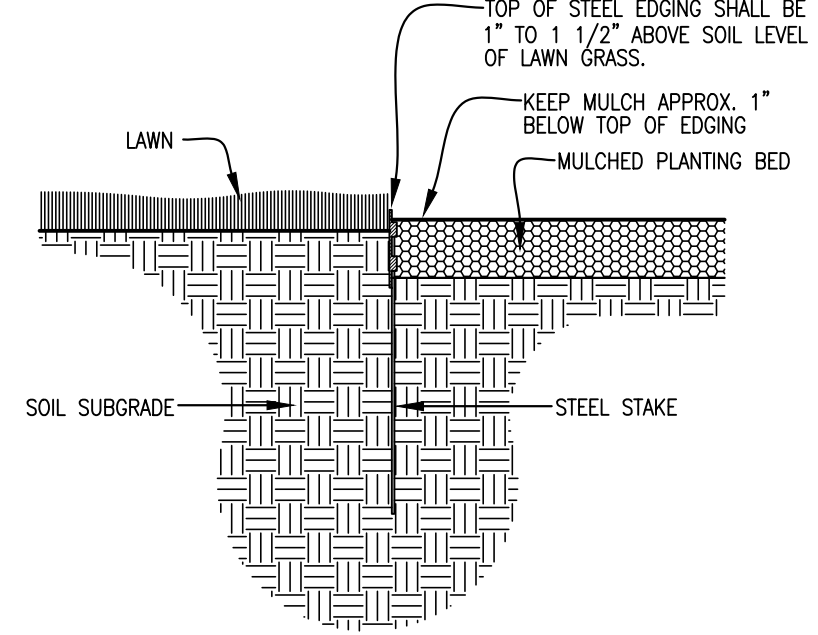


**05 SHRUB/PERENNIAL PLANTING**  
 NOT TO SCALE

3" LAYER OF SHREDDED CEDAR, CYPRESS, OR HARDWOOD MULCH OVER ENTIRE BED. DO NOT PILE MULCH AGAINST TRUNK. DO NOT USE ARTIFICIALLY COLORED MULCH.  
 FINISHED GRADE  
 TOP OF BALL SHALL BE 1/2" TO 1" ABOVE FINISHED GRADE.  
 LOOSEN OUTER ROOTS TO DIRECT ROOTS OUTWARD. SHRUBS WITH CIRCLING, POT-BOUND ROOTS ARE UNACCEPTABLE.  
 4" TO 6" LAYER OF COMPOST MIXED INTO TOP 8" TO 10" OF SOIL. TAMP AND WATER IN 6" LIFTS. DO NOT OVER-COMPACT BACKFILL.  
 DIAMETER OF HOLE SHALL BE TWICE DIAMETER OF ROOT BALL (MINIMUM)  
 SET ROOT BALL ON STABLE, UNDISTURBED SOIL.

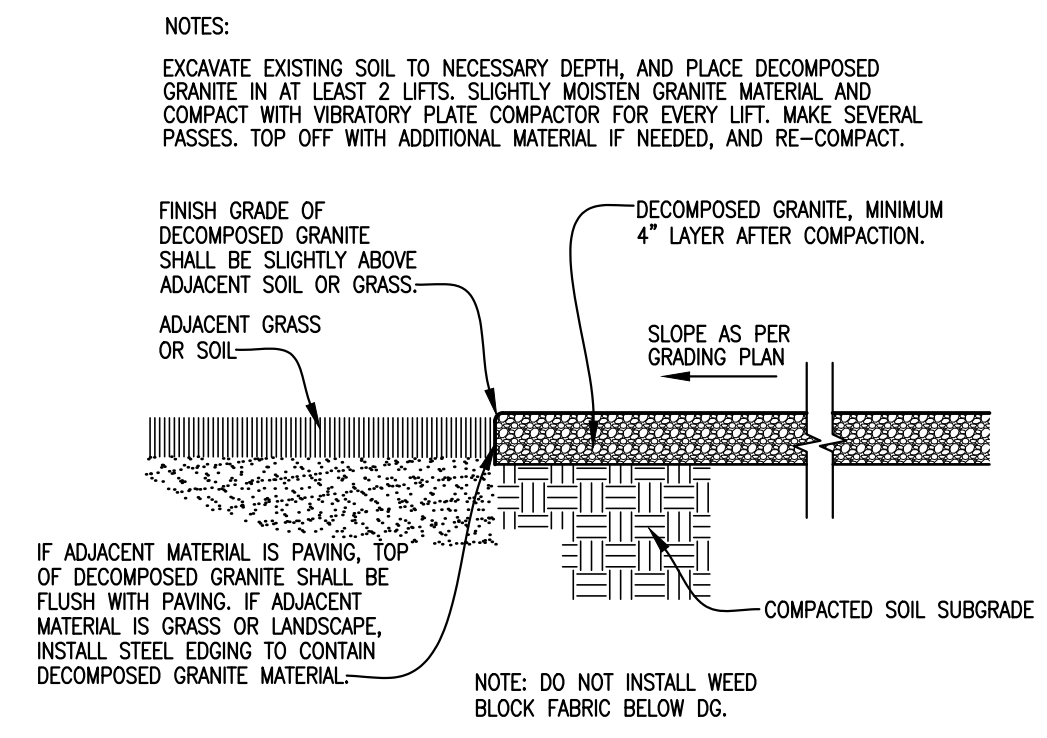
NOTES:  
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 REMOVE CONTAINER WHILE KEEPING ROOT BALL INTACT.  
 IF ROOT BALL IS B&B, REMOVE TOP ONE-THIRD OF BURLAP WHILE KEEPING ROOT BALL INTACT.  
 ONCE PLANT IS PROPERLY PLACED IN HOLE AND BACKFILLED, WATER SUFFICIENTLY TO SETTLE THE SOIL AND THOROUGHLY WET ROOT BALL.  
 DO NOT FERTILIZE AT TIME OF PLANTING.

NOTES:  
 STEEL EDGING SHALL BE COMMERCIAL GRADE; 3/16" THICK; BLACK COLOR (PREFERRED) OR GREEN.  
 INSTALL SECTIONS SO THAT CURVED SECTIONS FORM SMOOTH RADIIUSES. STRAIGHT SECTIONS SHALL BE STRAIGHT AND TRUE, WITHOUT 'BOWS' OR 'WAVERS'.  
 AT ENDS OF RUNS, CUT A CHAMFER (ABOUT 1 INCH) INTO THE EXPOSED TOP END POINT TO ELIMINATE SHARP POINTS. POINTS MAY ALSO BE GROUND SMOOTH TO FORM A MINIMUM 3/4 INCH RADIUS.



**06 STEEL EDGING**  
 NOT TO SCALE

TOP OF STEEL EDGING SHALL BE 1" TO 1 1/2" ABOVE SOIL LEVEL OF LAWN GRASS.  
 KEEP MULCH APPROX. 1" BELOW TOP OF EDGING  
 MULCHED PLANTING BED  
 SOIL SUBGRADE  
 STEEL STAKE



**07 DECOMPOSED GRANITE MISC. INSTALLATIONS**  
 NOT TO SCALE

FINISH GRADE OF DECOMPOSED GRANITE SHALL BE SLIGHTLY ABOVE ADJACENT SOIL OR GRASS.  
 ADJACENT GRASS OR SOIL  
 DECOMPOSED GRANITE, MINIMUM 4" LAYER AFTER COMPACTION.  
 SLOPE AS PER GRADING PLAN  
 COMPACTED SOIL SUBGRADE  
 IF ADJACENT MATERIAL IS PAVING, TOP OF DECOMPOSED GRANITE SHALL BE FLUSH WITH PAVING. IF ADJACENT MATERIAL IS GRASS OR LANDSCAPE, INSTALL STEEL EDGING TO CONTAIN DECOMPOSED GRANITE MATERIAL.  
 NOTE: DO NOT INSTALL WEED BLOCK FABRIC BELOW DG.



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 TBP/ELS Firm #44, #10194146

HANEY REVOCABLE TRUST  
 DUSTIN KYLE & JAYME LYNNE - CO-TRUSTEES  
**HANEY COMPLEX - RETRO RINK**  
 9744 EAST BANKHEAD PKWY  
 WILLOW PARK, TEXAS

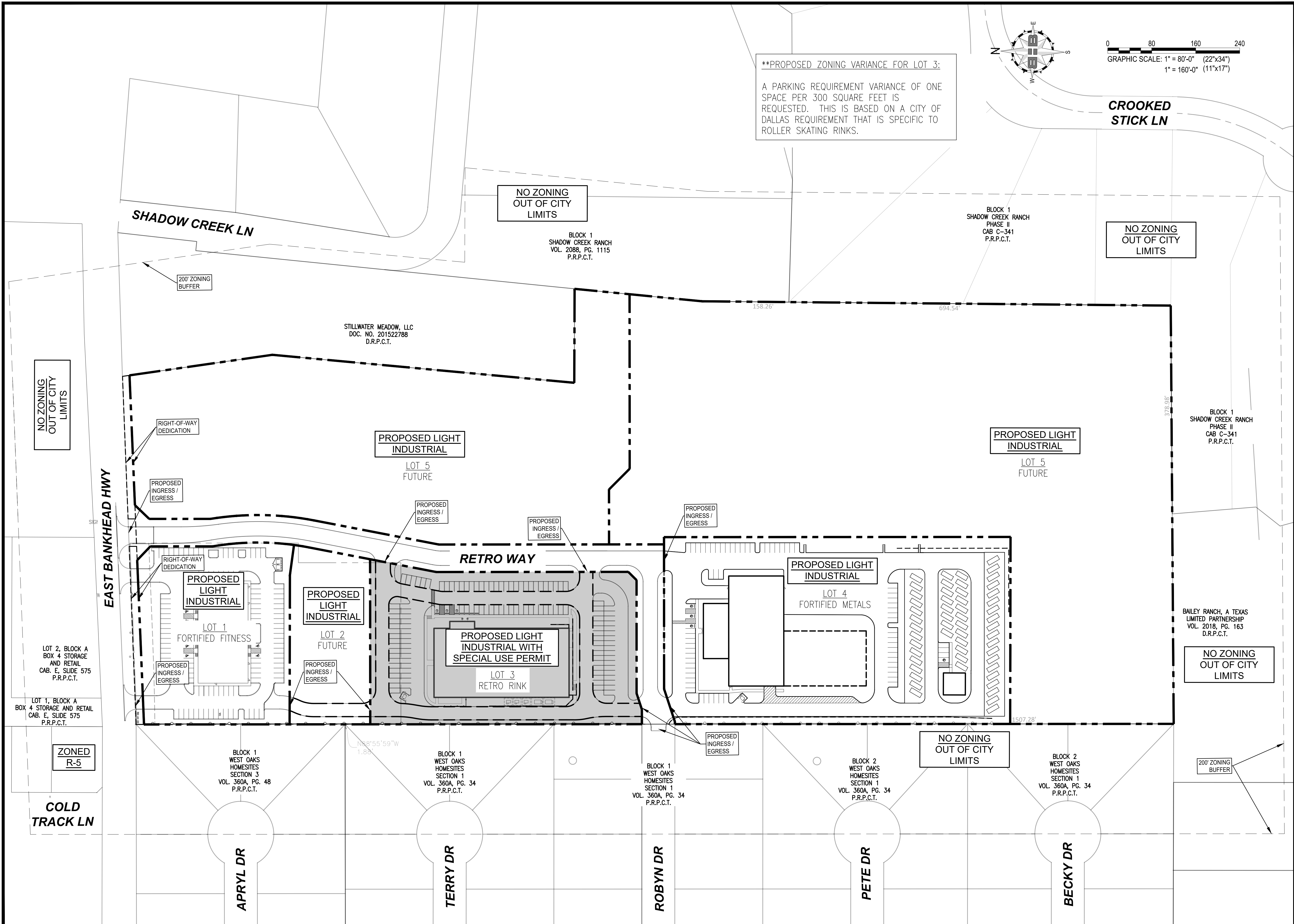
**LOT 3 - S.U.P. SITE PLAN**

NO.	DESCRIPTION	DATE

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 BHB, INC.  
 TX, REGISTERED FIRM F-00044  
 ENGINEER: T. SCOTT  
 CRAWFORD, P.E.  
 TEXAS LICENSE NO: 100155  
 DATE: 02/05/2024

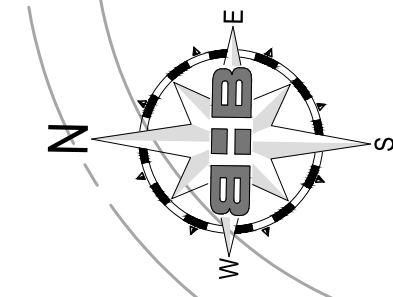
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 DESIGN BY: TSC CHECKED BY: TSC

SHEET  
**1 OF 2**



**\*\*PROPOSED ZONING VARIANCE FOR LOT 3:**  
 A PARKING REQUIREMENT VARIANCE OF ONE SPACE PER 300 SQUARE FEET IS REQUESTED. THIS IS BASED ON A CITY OF DALLAS REQUIREMENT THAT IS SPECIFIC TO ROLLER SKATING RINKS.

GRAPHIC SCALE: 1" = 80'-0" (22"x34")  
 1" = 160'-0" (11"x17")



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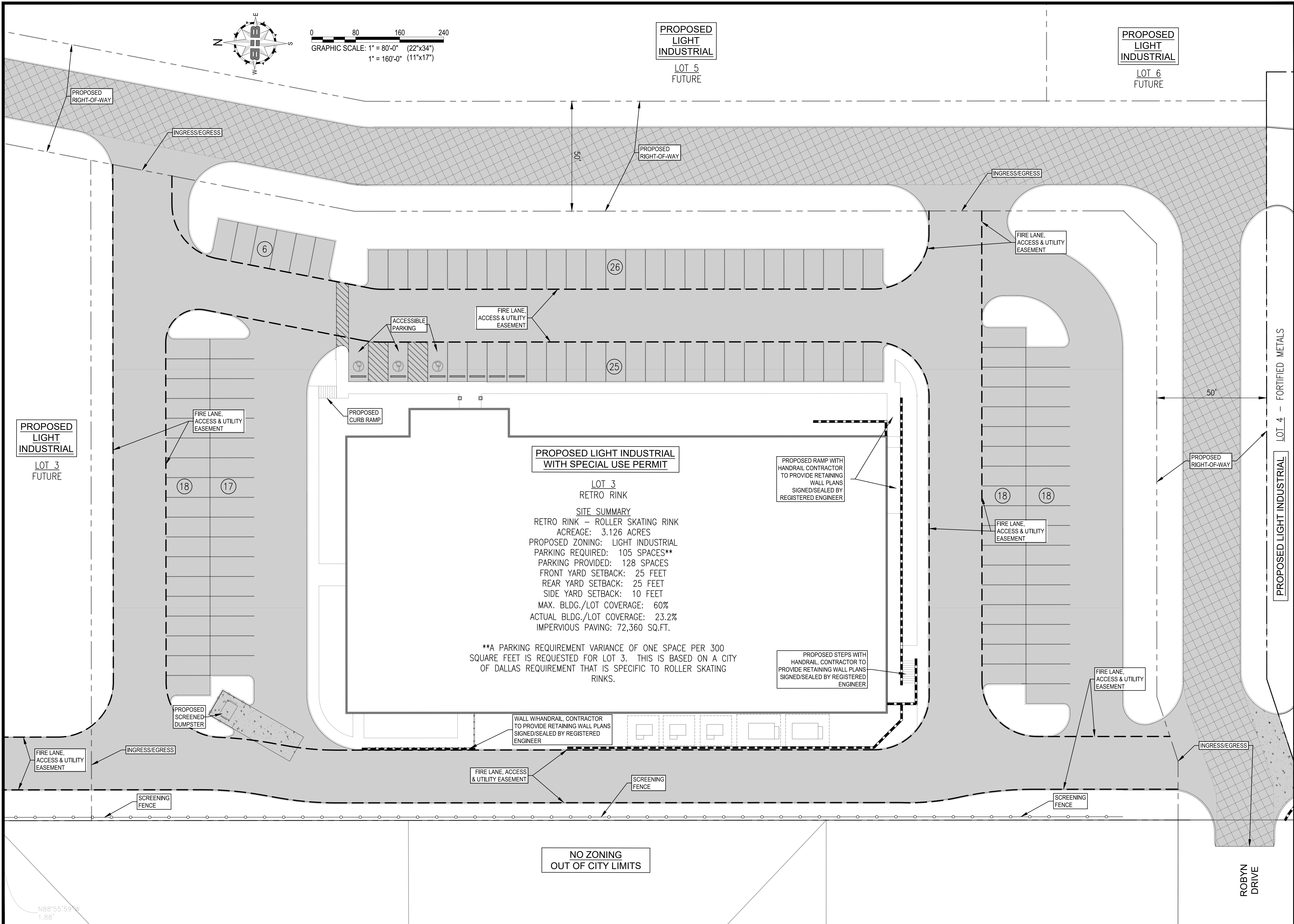
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SHEET  
**2 OF 2**



PROPOSED  
 LIGHT  
 INDUSTRIAL  
 LOT 5  
 FUTURE

PROPOSED  
 LIGHT  
 INDUSTRIAL  
 LOT 6  
 FUTURE

PROPOSED  
 LIGHT  
 INDUSTRIAL  
 LOT 3  
 FUTURE

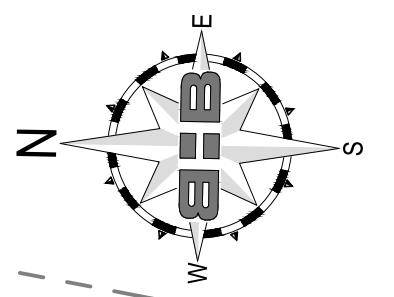
PROPOSED LIGHT INDUSTRIAL  
 WITH SPECIAL USE PERMIT

LOT 3  
 RETRO RINK

**SITE SUMMARY**  
 RETRO RINK - ROLLER SKATING RINK  
 ACREAGE: 3.126 ACRES  
 PROPOSED ZONING: LIGHT INDUSTRIAL  
 PARKING REQUIRED: 105 SPACES\*\*  
 PARKING PROVIDED: 128 SPACES  
 FRONT YARD SETBACK: 25 FEET  
 REAR YARD SETBACK: 25 FEET  
 SIDE YARD SETBACK: 10 FEET  
 MAX. BLDG./LOT COVERAGE: 60%  
 ACTUAL BLDG./LOT COVERAGE: 23.2%  
 IMPERVIOUS PAVING: 72,360 SQ.FT.

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NO ZONING  
 OUT OF CITY LIMITS



0 80 160 240  
 GRAPHIC SCALE: 1" = 80'-0" (22"x34")  
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N89°55'59"W  
 1.88'



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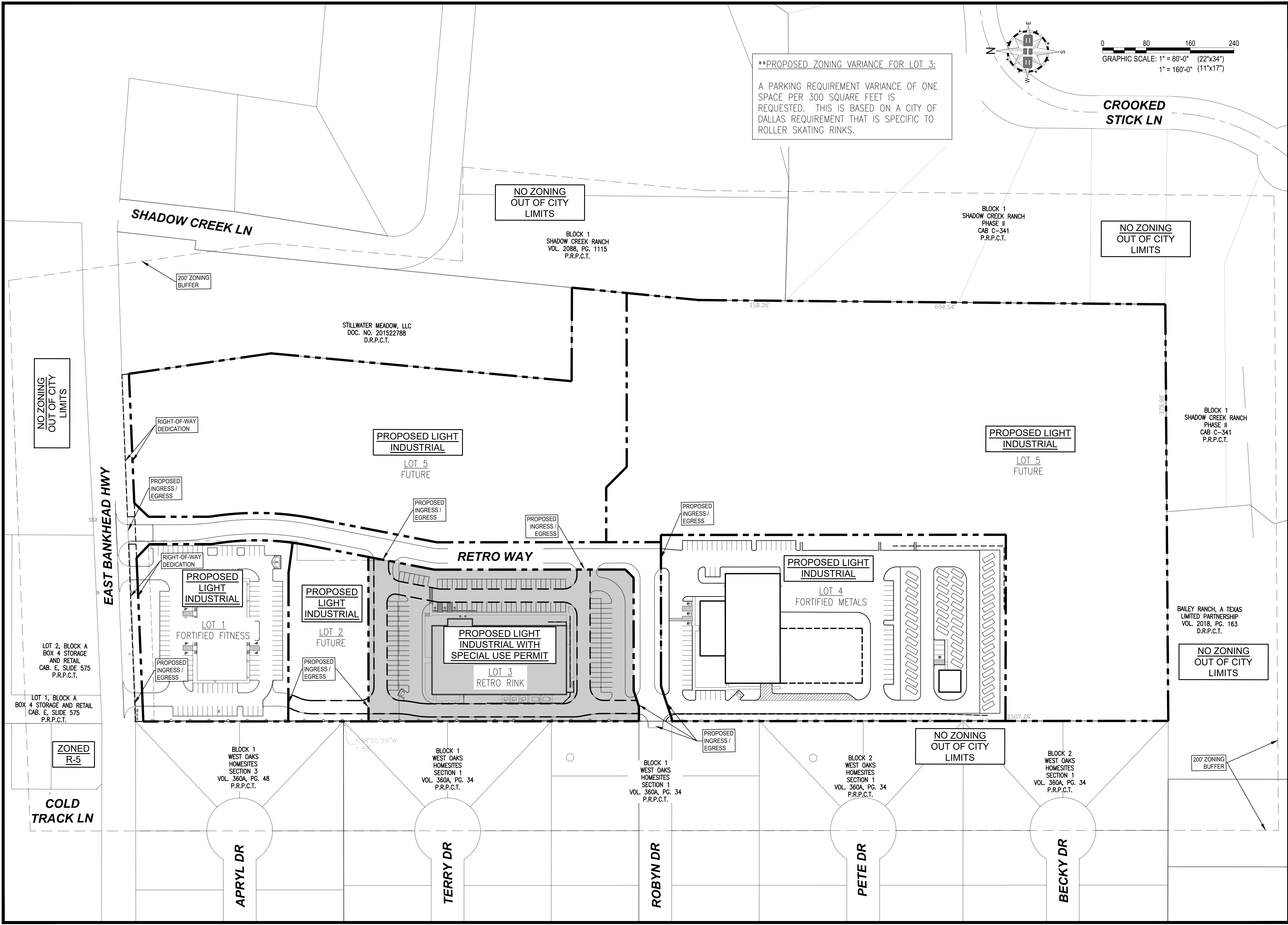
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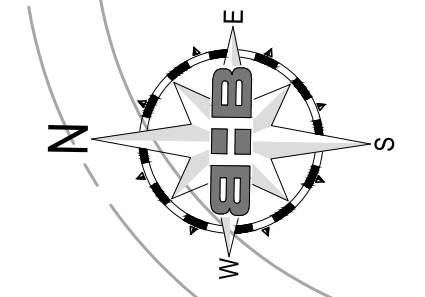
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