



**City of Willowick**  
**PLAN REVIEW BOARD**  
Thursday, December 11, 2025 at 3:00 PM  
Willowick Building & Service Center

**ADA NOTICE**

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

**AGENDA**

1. **Call meeting to order**
2. **Roll call**
3. **Approval of minutes**
  1. Plan Review Board Minutes - November 13th 2025
4. **New business**
  1. Speedy Gas - Located at 29000 Lakeshore Blvd.
5. **Public portion**
6. **Old business**
7. **Miscellaneous**
8. **Adjournment**



**City of Willowick**  
**PLAN REVIEW BOARD**

Thursday, November 13, 2025 at 3:00 PM  
 Willowick Building & Service Center

**ADA NOTICE**

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**MINUTES**

**1. Call meeting to order**

Chairman Brennan called the November 13th, 2025, Plan Review Board meeting to order at 3:00pm.

**Roll call**

**PRESENT**

Chairman Brennan  
 Chief Daubenmire  
 Chief Malovrh Jr.  
 Mr. McLaughlin  
 Mr. Lazor

**Approval of minutes**

Plan Review Board Minutes - October 9th, 2025

Motion made to approve the October 9th, 2025, Plan Review Board minutes by Mr. Lazor, Seconded by Mr. McLaughlin.

Voting Yea: Chairman Brennan, Chief Daubenmire, Chief Malovrh Jr., Mr. McLaughlin, Mr. Lazor

**New business**

Bickford Flavors - Located at 1197 E. 305th Street (parking lot expansion)

Mr. Scott Sofer was present representing Bickford Flavors located at 1197 E. 305th Street. Chairman Brennan stated that Mr. Sofer provided a letter of intent and a site plan for review, he advised that this is for expanding and paving the parking lot which will include re-striping. Chairman Brennan stated that Mr. McLaughlin and himself have previously reviewed the plans showing the elevations, new pavement and striping. Mr. Sofer purchased the property 5 years ago and as he understands the lot is not buildable due to an easement for the gas line, he would like extend his parking, making use of the land. This will relieve some of the parking congestion that they have on the side of the building where multiple trucks are coming in and out throughout the day to the building. Chairman Brennan advised that per the plans, there are some lines indicating the proposal for jersey barriers to be put up along the North side of the property and as Mr. Sofer had indicated, previously this parcel was separated by fencing, Mr. Sofer purchased the property and wants to move that parking area over into that parcel, repave it and put some jersey barriers up. Chairman Brennan advised that his only concern with that would be a visibility issue

(referenced the site plan) when you are pulling out of the back properties turning onto East 305th street. He stated that his recommendation would be to move the barrier to a minimum of 10 feet back from the sidewalk. Mr. Sofer clarified that he is not sure that the barriers are going to be jersey barriers, he is not exactly sure what is going to be there, it is still to be determined but he will comply with what is required. Mr. Lazor asked what type of business this is, Mr. Sofer advised that his business makes flavors and extracts for the food and beverage industry. There was some discussion regarding the location of the business. Mr. Sofer stated that there is a gravel driveway and to his understanding it will eventually be closed off as well as the owner did not realize that he purchased the driveway. There are a lot of people that use it and there are other ways to access the buildings however he stated that is a whole other issue. Chairman Brennan asked Mr. Sofer how long he has been at that building, Mr. Sofer stated that he opened in 2015, it sat empty for about 3 years before he took it over and put in manufacturing. Mr. McLaughlin wanted to touch base regarding the grading, referencing the North corner having a low point, Mr. McLaughlin asked about reversing that so that it goes towards the basin, it would have to be built up some. Mr. Sofer asked for clarification and Mr. McLaughlin stated towards the existing drain and creating the flow path towards the existing drain, isolating the flow that routes onto the other property. Mr. Sofer stated that he does not see that happening, the flow naturally goes that way now and it goes to the railroad track, Mr. Sofer had the railroad trench it out. Mr. Sofer asked Mr. McLaughlin if he has been over to the property, Mr. McLaughlin advised that he has been to the property. Mr. Sofer stated that he had the railroad come clean it all out, open up all the piping so that the water that is naturally on the driveway on his parcel of land, it naturally now flows over to the trench where it is supposed to go. The new owner of the driveway realizes that there is a crock in the driveway which is also filled with gravel and that goes over to that drain as well. He stated that area sits on the corner next to his property based on the survey. Mr. McLaughlin stated that per the plans there will be a barrier added that does not currently exist, Mr. Sofer advised that he is unsure as to what type of barrier is going to be used, his goal is to make it so whatever water is here (referencing the site plan) is not going to run down there (referencing the site plan), to keep the grading going the same way. He advised that he may even use a pole, just so that there is separation between the properties, when he first started occupying the space there were all kinds of trucks using his property to get to the lots in the back, that's when he used remaining railroad ties in front of the fence to stop that from happening. He stated that there is no reason that anyone should be driving through his lot to get to other properties as there is a driveway for that. He stated that is all he is looking at and he is open to ideas with what looks right in the city. He stated that he would hate to use orange jersey barriers as they do not look great. He thinks that the cement blocks that the railroad used doesn't look terrible. Chairman Brennan noted that Mr. Sofer is referring to the jersey barriers that the railroad put down on the left hand side, Mr. Sofer stated that is what he is referring to, the cement blocks. Mr. Sofer advised that he saw at Cedar Point they have blue plastic barriers that sit up some which allow water to flow under them but again he stated that he is open to ideas, all he wants to do is have separation of his property to the driveway. Chairman Brennan advised that if he does decide to change the type of barrier (whether a curb, a barrier (cement or plastic) make sure to let the city know, it wont require a new meeting but a review. Chairman Brennan wanted to go back to clarify, that the person at the rear of the property which is DiNunzio's where that drain's at, that is on DiNunzio's property. Mr. Sofer stated that it is not on DiNunzio's property, it is on Troy's property who bought the back building, when you look at the map, the layout of it (referencing the property plans) it shows some of it based on the survey that it belongs to Troy. Chairman Brennan advised that he was with Mr. DiNunzio and it was on Mr. DiNunzio's property, he had someone come and vac it out, it was his and that is why he had that service performed. Chairman Brennan wanted to provide the clarification to Mr. Sofer as Mr. DiNunzio would not have done that if it was not on his property. Mr. Sofer stated that him and Rich (Mr. DiNunzio) have worked together on multiple things,

he stated that the vacuuming did not work as it is so compacted with years and years of stones, instead of a proper fix they just through stone on top, you can see the old concrete that is left in that driveway, he stated it would be nice to get that fixed. Troy who owns the driveway based on what the county says is wanting to fix that but isn't at that point to do so yet, but that drain doesn't do anything anyways. Chairman Brennan stated that there used to be a pipe that went to the reveane. Mr. Sofer said that when the water does run on his parcel of land and also advised that the Fire Department was there because they ran the hydrants and he did Mr. Sofer a favor and ran hydrant water (because the Fire Department needed somewhere for it to go), it ran down Mr. Sofer's parcel of land and then it went over across the driveway into the ditch, he advised when there was flooding that's where the water goes, when it reaches his parking lot at the fence it breaches that to the railroad tracks. Chairman Brennan stated that is the reason for Mr. Sofer to put these jersey barriers up, Mr. Sofer stated no, not at all. He stated that he is not trying to redirect water using a jersey barrier, Chairman Brennan asked if he is trying to block the water, Mr. Sofer stated no. He advised that he wants the jersey barriers so that no one drives on his property, that's the reason behind it, which is why even bollards or poles would work as well to keep vehicles out. He advised that it will help for plowing as well, for where the snow goes when it is pushed. He said that Chairman Brennan touched base on curbing and he does not want that as curbing directs water, which is not what he wants, he wants water to run exactly how it runs now. Mr. McLaughlin stated that with closing that, whether curbing or jersey barriers, that will change the flow path. Mr. Sofer stated that if it was a jersey barrier they would be separated like the railroad has it now which he thinks those are 3 foot and they may have a 3 or 4 foot spacing. Mr. McLaughlin advised if there is going to be spacing then that would help eliminate that. Chairman Brennan reminded Mr. Sofer that when the board is reviewing what the plans are, the board is reviewing what is provided to them for review, therefor they only know what is provided. Mr. Sofer stated that he understands that and the area in discussion should have been removed by the architect completing the plans. Mr. McLaughlin asked for the record, that no grading is going to be changed, just replacing in kind and re-surfacing. Mr. Sofer stated that is 100% correct.

Motion made to approve Bickford Flavors - Located at 1197 E. 305th Street (parking lot expansion and resurfacing) by Mr. McLaughlin, Seconded by Mr. Lazor.

Voting Yea: Chairman Brennan, Chief Daubenmire, Chief Malovrh Jr., Mr. McLaughlin, Mr. Lazor

### **Public portion**

Public portion was open and closed at 3:15pm with no public present.

### **Old business**

None.

### **Miscellaneous**

None.

### **Adjournment**

Motion made to adjourn the November 13th, Plan Review Board meeting at 3:16pm by Mr. Lazor, Seconded by Mr. McLaughlin.

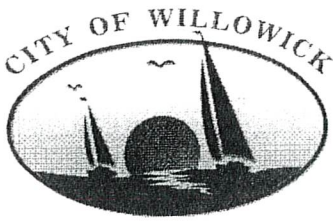
Voting Yea: Chairman Brennan, Chief Daubenmire, Chief Malovrh Jr., Mr. McLaughlin, Mr. Lazor

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Chairman Brennan

---

Heather Boling – Secretary



CITY OF WILLOWICK PLAN REVIEW BOARD  
APPLICATION FOR PERMIT TO OCCUPY FOR  
BUSINESS, COMMERCIAL, INDUSTRIAL, ETC.  
YOU MUST FILL OUT ENTIRE APPLICATION  
440-516-3000

Item #1.



PERMIT FEE: \$60.00

DATE: 12/3/2025

Location of Occupancy: 29000 LAKESHORE BLVD Business Name: SPEEDY GAS  
(ADDRESS)

Business Owner's Name & Address: LAKESHORE GAS, LLC. 6229 PEARL RD. PARMA HTS. OH. 44130

CITY/STATE/ZIP: WILLOWICK, OHIO

Telephone Number: 216-659-0111 Fax Number: — Federal ID Number: 39-2883999  
Or Social Security Number

OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: LAKESHORE GAS, LLC.  
6229 PEARL RD. PARMA HTS. 44130 216-659-0111

SUBMIT NEW DETAILED FLOOR PLAN: 1,800 SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: 1,800

Building Size: 1,800 SF Total Number Of Employees: 2

Intended Number of Occupants: 19 Total Number of Seating: 0

Site Plan With Number of Paved Parking Spaces: 12 Hours Of Operation: 5AM - 1AM

Letter of Intent: ✓ Previous Use: GAS STATION/STORE Proposed Use: GAS STATION/STORE

NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: Gihad Zayed

Home Address/City/Zip: 6229 Pearl Rd. Parma Hts. OH 44130 Telephone Number: 216-659-0111

I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpose stated above. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire & Willowick Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be complied with before opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of the City of Willowick.

Applicant's Signature: [Signature] Date: 12/3/2025

**Office use only:**

Zoning District: \_\_\_\_\_ Authorized Occupants: \_\_\_\_\_

TEMPORARY APPROVED BY: \_\_\_\_\_ Date: \_\_\_\_\_

Zoning Dept. Inspected by: \_\_\_\_\_ DATE: \_\_\_\_\_

Zoning Permit # \_\_\_\_\_ Zoning Permit Fee \$ \_\_\_\_\_

Fire Dept. Inspected By: \_\_\_\_\_ Date: \_\_\_\_\_



Letter of Intent:

To whom It may concern,

My name is Gihad Zayed and I am the business representative for Lakeshore Gas LLC (Speedy Gas Lakeshore) located at 29000 Lakeshore Blvd. in Willowick Ohio. We intend to remodel the store inside and out, to give it a new look but to keep its existing purpose of a gas fueling station and convenience store. The store was in really bad shape and needed to be gutted and for everything to be brought back to the 21<sup>st</sup> century to make it a safe and desirable destination for the community. Everything we are doing will be in our building plans, my group and I operate in many cities and have good relationships with our neighbors every where we go. If you have any questions please don't hesitate to call me personally at 216-659-0111.

Sincerely

Gihad Zayed



Type of Business  
What is being sold

## For Office Use Only

Date: \_\_\_\_\_

Permit #: \_\_\_\_\_

Receipt #: \_\_\_\_\_

Amount: \_\_\_\_\_

Issued By: \_\_\_\_\_

## City Of Willowick

31230 Vine St. Willowick Oh 44095

## Commercial Zoning Application

440-516-3000

Property Address: 29000 LAKESHORE BLVD.Owners Name: LAKESHORE GAS, LLCPhone No: 216-659-0111Owners Address: 6229 PEARL RD.City, State, Zip PARMA HTS., OH, 44138Contractor: RELIABLE GC INC.Phone No: 216-659-0111Contractor Address: 7250 PEARL RD - UNIT BCity, State, Zip MIDDLEBURG HTS., OH, 44130Zoning District : ☐ Apartment District ☐ Industrial District ☒ Retail District ☐ Mixed Use District ☐ Multi Family District

## Zoning Review Structure

2 Sets construction drawings required

2 Site plans required

☐ New Commercial Structure☐ Addition☒ Interior Alteration☒ Exterior Alterations☒ Demolition☐ Other \_\_\_\_\_

## Zoning Review Accessory Structure

2 Sets construction drawings required

2 Site plans required

☐ Accessory Building☐ Tool / Storage Shed > 120 sq. ft.☐ Gazebo☐ Deck☐ Ramp☐ Other \_\_\_\_\_

## Zoning Review Misc.

2 Site Plans Required

☐ A/C Unit (rear yard only)☐ Generator (rear yard only)☐ Other \_\_\_\_\_Estimated Cost \$ 350,000.-

All commercial electrical, building, gas piping, hydronics and HVAC permits are to be obtained from the Lake County Building Department, 105 Main St., bldg. B, Second Floor, Painesville oh 44077. Phone # 440-350-2636.

I state that I am the owner/agent of the subject property, have read and understand the contents of this application; and that all information contained in this application, attached exhibits and other information submitted is complete and in all respects true and correct, to the best of my knowledge and belief.

Property Owners Agent Signature

Date

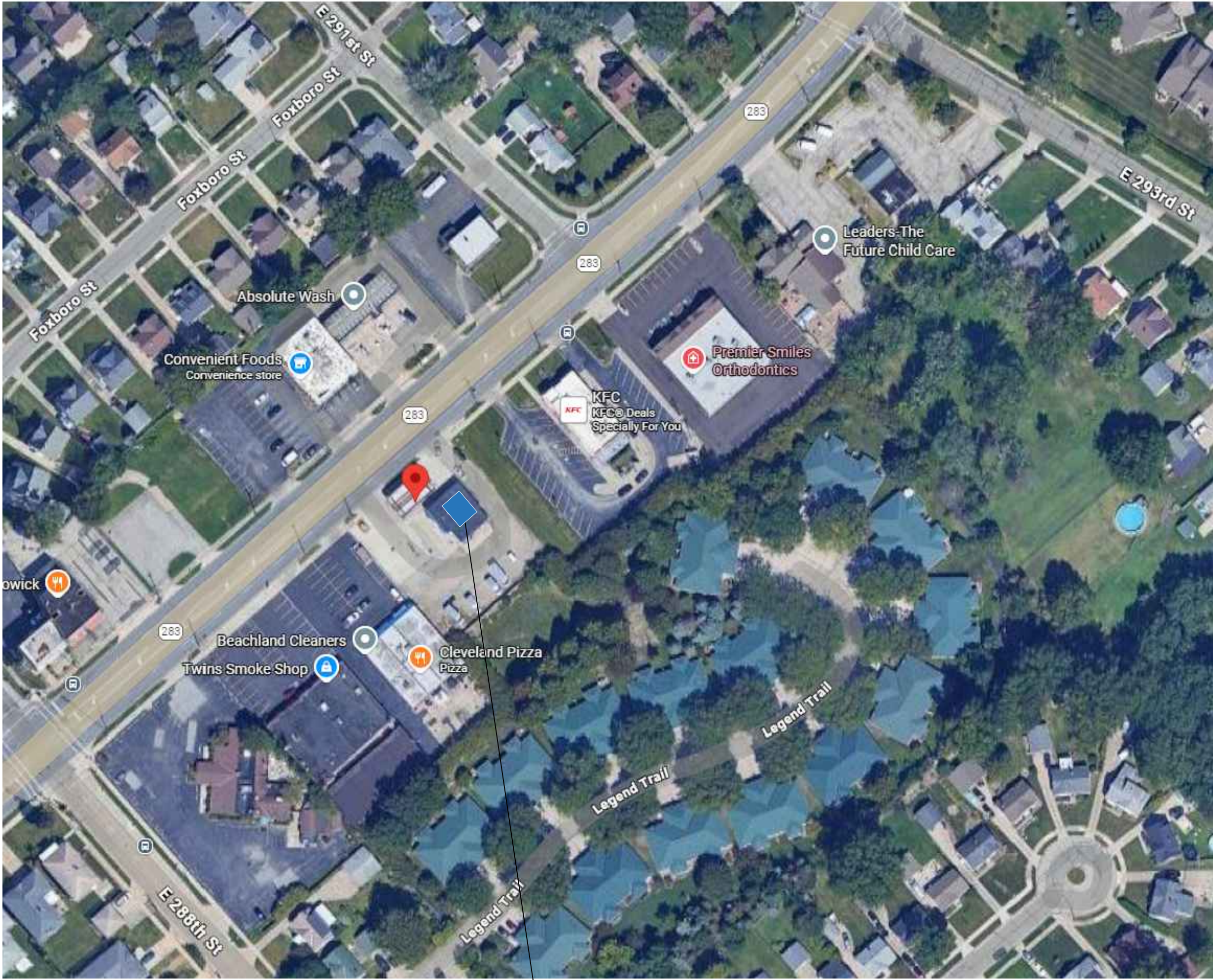
Print Name

12/3/2025ARTHUR MORRIS

## Office Use Only

☐ Approved Date: \_\_\_\_\_☐ Denied Reason: \_\_\_\_\_☐ Variance Needed Reviewed By: \_\_\_\_\_





SITE LOCATION MAP



# REMODELING FOR: SUNOCO

29000 LAKESHORE BLVD.  
WILLOWICK, OHIO 44095  
LAKE COUNTY

## LIST OF DRAWINGS

A000	TITLE SHEET CODE INFORMATION SITE LOCATION
C2.00	EXISTING SITE PHOTOS
C2.01	TOPOGRAPHIC SURVEY
D100	DEMOLITION PLAN
S1	STRUCTURAL SPECIFICATIONS
S2	STRUCTURAL SPECIFICATIONS
S3	STRUCTURAL DEMOLITION PLAN FRAMING PLAN
S4	SECTIONS
S5	STRUCTURAL DETAILS
A100	FLOOR PLAN DOOR / ROOM SCHEDULES
A110	CEILING PLAN
A300	WALL SECTIONS
A400	EXTERIOR ELEVATIONS

## CODE REFERENCES

2024 OHIO BUILDING CODE  
2024 OHIO MECHANICAL CODE  
2024 OHIO PLUMBING CODE  
2017 OHIO ENERGY CONSERVATION CODE  
2017 NATIONAL ELECTRIC CODE  
2009 ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

## 2024 OBC CODE INFORMATION

USE SUMMARY:

INTERIOR/EXTERIOR REMODELING OF EXISTING CONVENIENCE STORE

CONSTRUCTION TYPE (OBC 602)

5B COMBUSTIBLE/UNPROTECTED

MASONRY BEARING WALLS WITH WOOD JOISTS AND DECK ROOF FRAMING. CONCRETE SLAB ON GRADE FLOOR

USE GROUP CLASSIFICATION

EXISTING: M-MERCANTILE

PROPOSED: M-MERCANTILE

TOTAL ALLOWABLE AREA (TABLE 506.2)

PERMITTED NS: 14,000 S.F.

PROPOSED NS: 1,800 S.F. SINGLE FIRE AREA

BUILDING NOT EQUIPT WITH SPRINKLER SYSTEM

OCCUPANCY (TABLE 1004.1.1)

RETAIL 60 SF GROSS/ OCC. 960 SF / 60 = 16 OCCUPANTS

STOCK AREA 300 SF GROSS/ OCC. 840 SF / 300 = 3 OCCUPANTS

19 OCCUPANTS

REQUIRED EGRESS CAPACITY: 19 X .2 = 3.8"

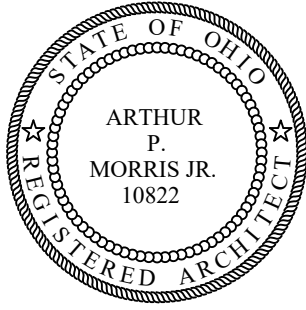
1 RESTROOM FIXTURE PROPOSED AT UNISEX RESTROOM



AM ARCHITECTURE, INC.  
ARCHITECTURE • DESIGN-BUILD

7210 GRANBY DRIVE  
HUDSON, OHIO 44236

Phone (330) 881-4128  
E-Mail: apm.amarchitecture@outlook.com



Arthur P. Morris, Jr., License #10822  
Expiration Date 12/31/2025

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2025

REMODELING FOR:  
**SUNOCO**  
29000 LAKESHORE BLVD.  
WILLOWICK, OHIO 44095

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REMARKS

DATE

REVISION

SD:	DRAWN BY:	AM
DD:	CHECKED BY:	AM
FINAL:	REVIEWED BY:	AM

VERIFY ALL  
DIMENSIONS IN FIELD

251101

CODE INFORMATION

A000

## SITE SURVEY

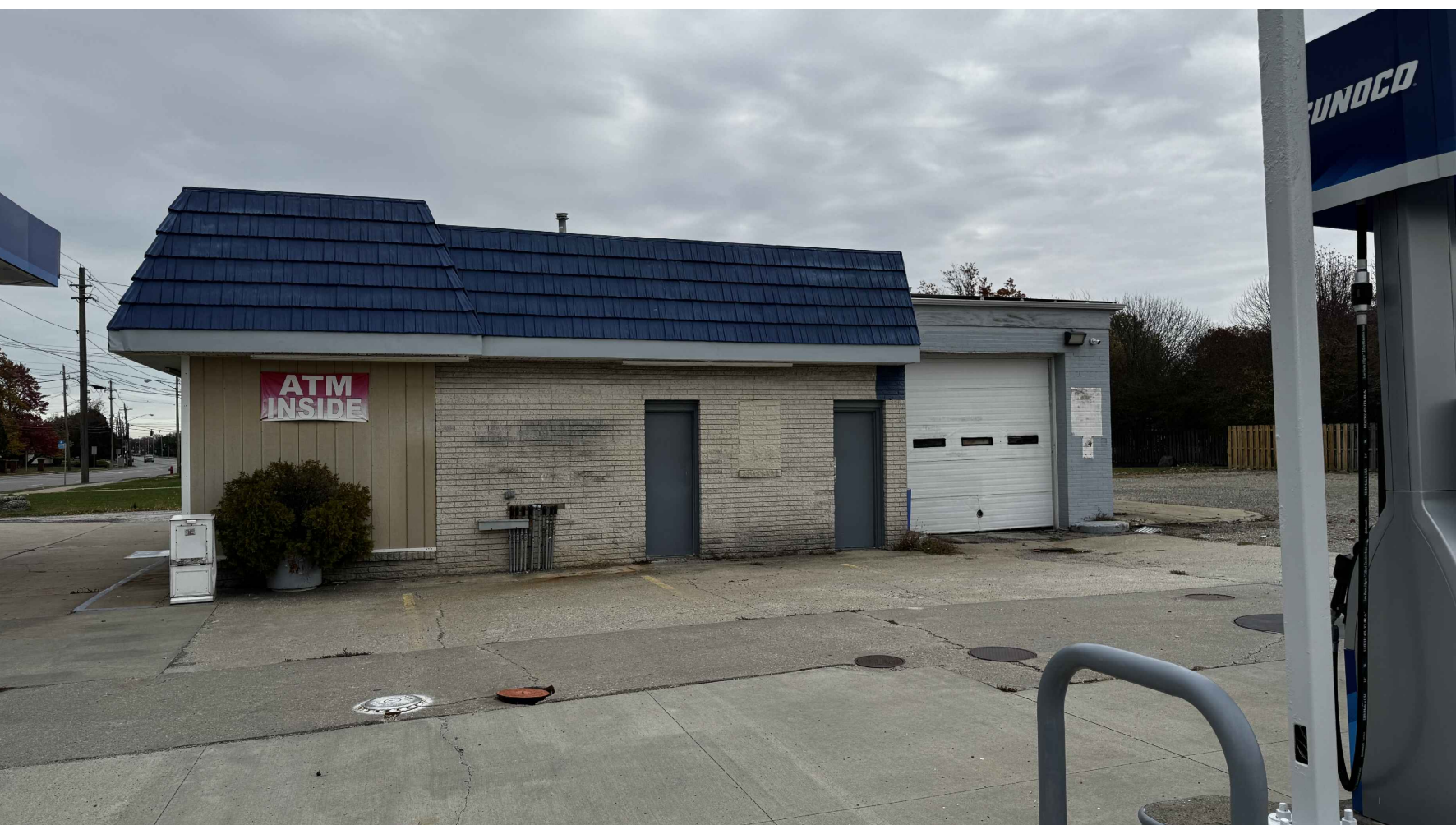
RIVERSTONE  
LAND SURVEYING/ENGINEERING/DESIGN  
3800 LAKESIDE AVENUE  
CLEVELAND, OHIO 44114  
216-491-2000  
WWW.RIVERSTONESURVEY.COM

## STRUCTURAL ENGINEER

CARUSO ENGINEERING  
5545 WILSON MILLS ROAD  
HIGHLAND HEIGHTS, OHIO 44143  
440-459-6709  
WWW.CARUSO.ENG.COM



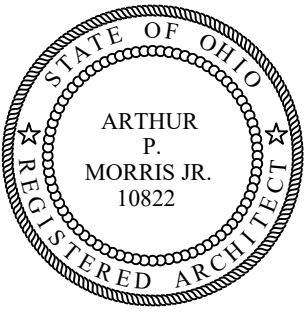
## EXISTING BUILDING PHOTOS



AM ARCHITECTURE, INC.  
ARCHITECTURE • DESIGN • BUILD

7210 GRANBY DRIVE  
HUDSON, OHIO 44236

Phone (330) 881-4128  
Email: [apm.amarchitecture@outlook.com](mailto:apm.amarchitecture@outlook.com)



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Expiration Date 12/31/2025

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2025

REMODELING FOR:  
**SUNOCO**  
29000 LAKESHORE BLVD.  
WILLOWICK, OHIO 44095

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[illegible]

SD: DRAWN BY: AM  
DD: CHECKED BY: AM  
FINAL: REVIEWED BY: AM

VERIFY ALL  
DIMENSIONS IN FIELD

251101

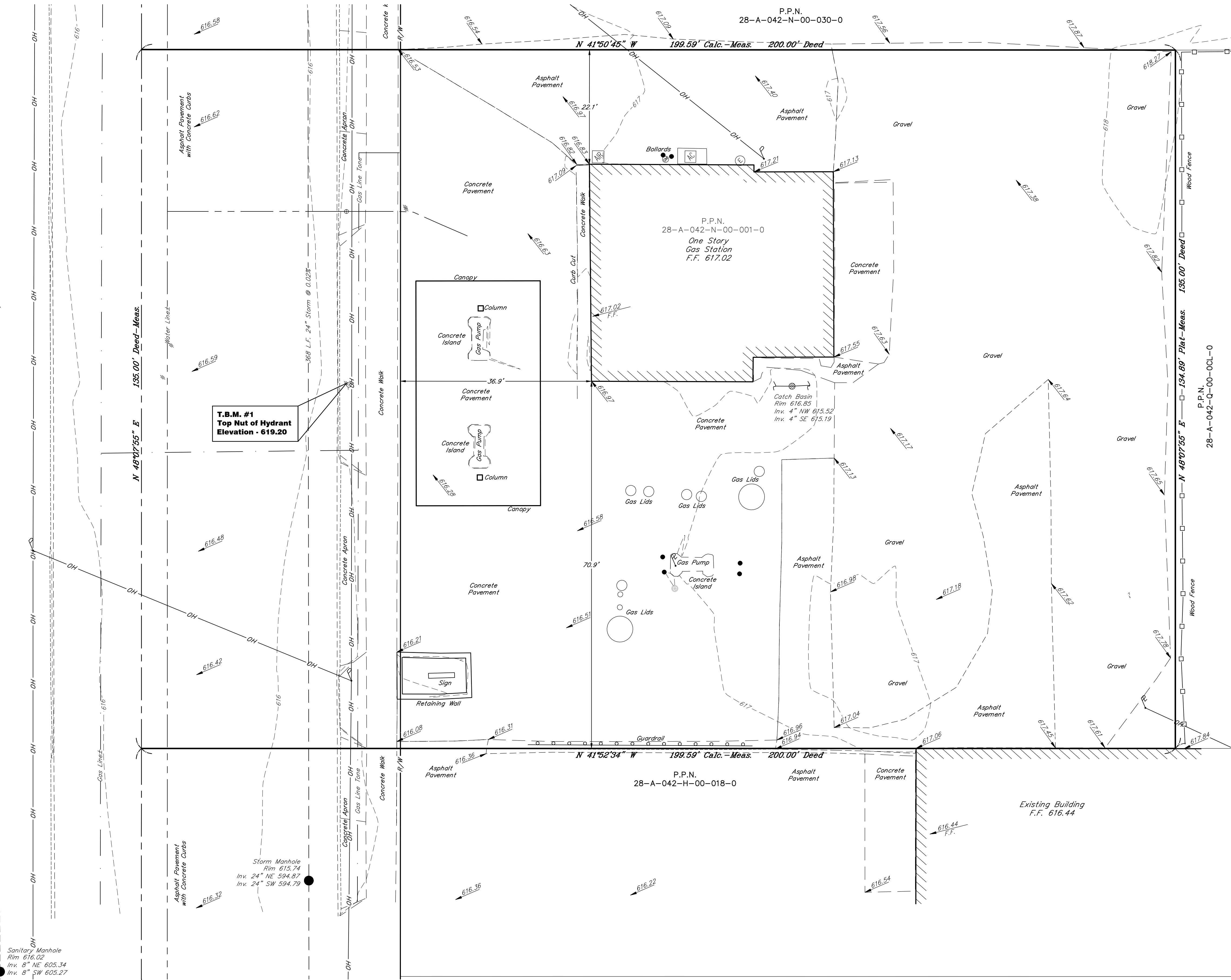
## EXISTING PHOTOS

## C2.00



LAKESHORE BOULEVARD 80'  
(STATE ROUTE 283)  
(A PUBLIC RIGHT-OF-WAY)

302 L.F. 8" Sanitary @ 0.8%



Sanitary Manhole  
Rim 616.02  
Inv. 8" NE 605.34  
Inv. 8" SW 605.27

Storm Manhole  
Rim 615.74  
Inv. 24" NE 594.87  
Inv. 24" SW 594.79

P.P.N.  
28-A-042-H-00-018-0

P.P.N.  
28-A-042-N-00-001-0  
One Story  
Gas Station  
F.F. 617.02

P.P.N.  
28-A-042-N-00-030-0

P.P.N.  
28-A-042-Q-00-0CL-0

LEGEND			
	= Monument Box Found		= Spot Elevation Tag
	= Iron Pin or Pipe Found		= Hydrant
	= 5/8" Iron Pin Set and Capped Riverstone Company PS 8740		= Water Service Valve
	= P.K. Nail		= Water Valve
	= Gas Meter		= Water Meter
	= Gas Valve		= Reducer
	= Utility Pole		= Storm Manhole
	= Light Pole		= Sanitary Manhole
	= Guy Anchor & Line		= Curb Inlet
	= Telephone Box		= Catch Basin
	= Electric Box		= Property Line
	= Cable Box		= Centerline
	= Ballard		
	= Cleanout / Test Tee		
Ex. Parcel line			
Original Sublot Line			
Original Lot Line			
Centerline			
Property Line			
Right-of-way Line			
Easement Line			
Railroad Tracks			
Electric Line			
Gas Line			
Sanitary/Combination Sewer			
Storm Sewer			
Waterline			
Fence Line (Wooden)			
Fence Line (Chain-Link)			
Guardrail			
Ac.	Acres	L.C.A.	Limited Common Area
Adj.	Adjacent	L.F.	Lineal Feet
A.F.N.	Auditor's File Number	M.E.	Match Existing
Asp.	Asphalt	Meas./M.	Measured
B.F.	Basement Floor	M.H.	Manhole
BW	Bottom of Wall	Obs.	Observed
Calc./C.	Calculated	Pg.	Page
CB	Catch Basin	P.P.N.	Permanent Parcel
C.C.M.R	Cuyahoga County Map	Number	Number
		Prop	Proposed
		Rec./R.	Record
		R/W	Right-of-way
		San.	Sanitary
		S.F.	Square Feet
		S/L	Sublot
		Stm.	Storm
		T.B.M.	Temporary Bench Mark
		TBR	To Be Removed
		T/C	Top of Curb
		Tele	Telephone
		T.F.	Top of Footer
		T.T.	Test Tee
		TW	Top of Wall
		Typ.	Typical
		Vol.	Volume
		Wat	Water

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.

GILCREST DRIVE  
(A PUBLIC RIGHT-OF-WAY)

EAST 288TH STREET  
(A PUBLIC RIGHT-OF-WAY)

Preliminary  
Not for  
Construction

**RIVERSTONE**  
LAND SURVEYING - ENGINEERING - DESIGN  
3800 LAKESHORE AVENUE, SUITE 100  
CLEVELAND, OHIO 44114  
PHONE: (216) 991-9640  
WWW.RIVERSTONESURVEY.COM

2025-194

PLAN REVISIONS:

PAGE REVISIONS:

ISSUED FOR:

DATE

NOT FOR CONSTRUCTION

SPEEDY MART  
29000 LAKESHORE BOULEVARD  
WILLOWICK, OHIO

EXISTING CONDITIONS

Ohio Utilities Protection Service  
**Call 811**  
before you dig

OGPUPS  
Ohio Oil & Gas Producers Underground Protection Service  
Call (814) 765-2884 or 811

C2.01

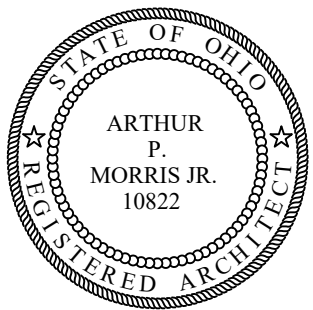




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Expiration Date 12/31/2025

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2025

REMODELING FOR:  
**SUNOCO**

29000 LAKESHORE BLVD.  
WILLOWICK, OHIO 44095

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REMARKS

DATE

REVISION

SD:	DRAWN BY:	AM
DD:	CHECKED BY:	AM
FINAL:	REVIEWED BY:	AM

VERIFY ALL  
DIMENSIONS IN FIELD

251101

DEMOLITION PLAN

D100

DEMO PLAN CODED NOTES

- 001
- STRIP EXISTING FLOORING AND PREP FOR NEW CERAMIC TILE FLOOR FINISH

002

DEMO EXISTING RESTROOMS AND UTILITY ROOM. DEMO EXISTING CMU PARTITION WALL=SEE STRUCTURAL

003

DEMO EXISTING SUSPENDED CEILINGS

004

DEMO EXISTING PLUMBING FIXTURES—CAP ROUGH PLUMBING AT SOURCE MAIN. PROVIDE SEALED CAP AT CONC. FLOOR PENETRATIONS. LEVEL WITH CONCRETE TO ALIGN WITH EXISTING CONC.

005

DEMO EXISTING BRICK VENEER

006

DEMO EXISTING STOREFRONT DOORS AND WINDOWS

007

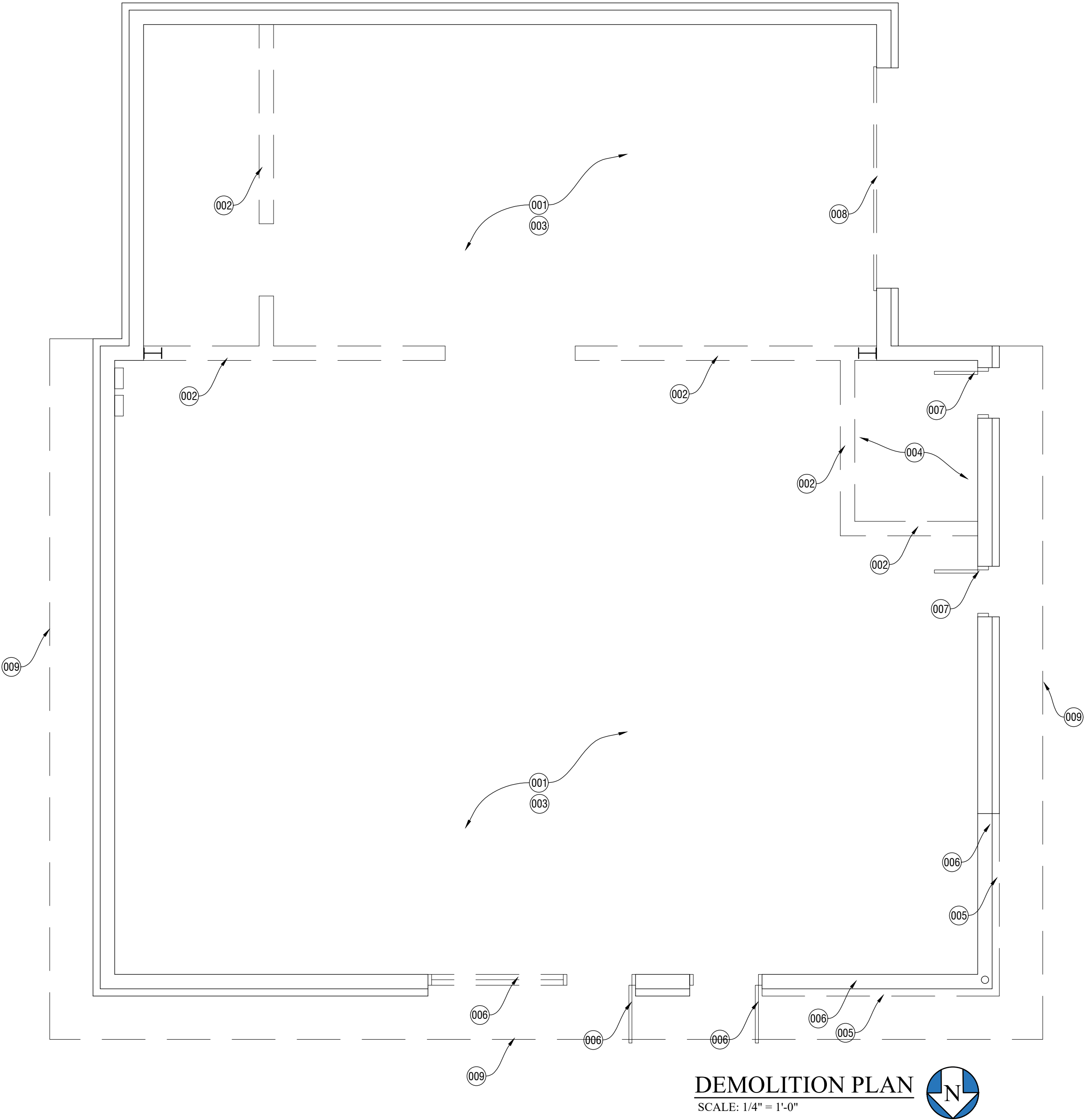
DEMO EXISTING HM DOOR AND FRAME

008

DEMO EXISTING OH DOOR AND RELATED FRAME

009

DEMO EXISTING OVERHANG AND FASCIA





CODES AND STANDARDS:

1. OHIO BUILDING CODE (OBC) 2024  
2. ASCE 7-22

DESIGN LOADS

1. GROUND SNOW LOAD, 30 PSF  
2. ROOF LIVE LOAD, 20 PSF

WIND AND SEISMIC CRITERIA

RISK CATEGORY = II

1. WIND LOAD CRITERIA:  
BASIC WIND SPEED = 115 MPH  
IMPORTANCE FACTOR,  $I_w$  = 1.00  
EXPOSURE CAT. = C
2. SEISMIC CRITERIA:  
 $S_1$  = 0.044g  
 $S_2$  = 0.141g  
IMPORTANCE FACTOR,  $I_e$  = 1.50  
SITE CLASS = D  
 $R_w$  = 6.5  
 $C_t$  = 0.020  
SEISMIC DESIGN CATEGORY = B
3. SNOW LOAD CRITERIA:  
 $P_g$  = 30 PSF  
 $C_e$  = 0.9  
 $C_t$  = 1.0  
IMPORTANCE FACTOR,  $I_s$  = 1.20  
 $P_s$  = 0.7  $C_e$   $C_t$   $I_s$   $P_g$  = 23 PSF  
= 23 PSF (GOVERNING)

SOILS

1. PRESUMPTIVE BEARING CAPACITY: 2,000 PSF

ABBREVIATIONS

AB	ANCHOR BOLT
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL
CJ	CONTROL JOINT
EJ	EXPANSION JOINT
EE	EACH END
EF	EACH FACE
EW	EACH WAY
EOS	EDGE OF SLAB
HSS	HOLLOW STRUCTURAL STEEL
IF	INSIDE FACE
LW	LONG WAY
NFP	NO FIREPROOFING
NTS	NOT TO SCALE
OC	ON CENTER
SIM	SIMILAR
SOG	SLAB ON GRADE
STL	STEEL
T&B	TOP AND BOTTOM
TOC	TOP OF CONCRETE
TOS	TOP OF SLAB
TOSTL	TOP OF STEEL
TOW	TOP OF WALL
UON	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
WP	WORKING POINT
WWF	WELDED WIRE FABRIC

GENERAL

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. IN CASE OF CONFLICT, MORE COSTLY REQUIREMENTS GOVERN FOR BIDDING. SUBMIT CLARIFICATION REQUEST PRIOR TO PROCEEDING WITH WORK.
2. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK. UNLESS NOTED OTHERWISE, DETAILS IN STRUCTURAL DRAWINGS ARE TYPICAL AS INDICATED BY CUTS, REFERENCES, OR TITLES.
4. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING CODES:  
4.1. OBC AND LATEST REVISIONS REFERRED TO HERE AS "THE CODE", AND ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK.
5. THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
6. ASTM SPECIFICATIONS ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
7. CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH STRUCTURES ARE FOUND, ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
8. CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACED ON FRAMED ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
9. UNLESS NOTED OTHERWISE, EXPANSION BOLTS IN CONCRETE SHALL BE 1/2" DIAMETER X 3 1/2" EMBEDMENT HILTI KWIK BOLTS 11 (ICBO 462T) OR APPROVED ALTERNATE WITH ALLOWABLE VALUES EQUAL TO OR EXCEEDING THOSE FOR HILTI, PER CURRENT ICBO RESEARCH REPORT. UNLESS NOTED OTHERWISE, ALL EPOXY ANCHORS SHALL BE 1/2" DIAMETER WITH 4 1/4" EMBEDMENT HILTI HIT SYSTEM (ICBO 4016) OR APPROVED ALTERNATE WITH ALLOWABLE VALUES EQUAL TO OR EXCEEDING THOSE FOR HILTI, PER CURRENT ICBO RESEARCH REPORT. INSTALL EXPANSION AND EPOXY ANCHORS PER MANUFACTURERS RECOMMENDATIONS.
10. GROUT OTHER THAN FOR MASONRY CELLS SHALL BE NON-SHRINK, NON-METALLIC, MEETING ASTM C-827, C-191 AND C-109, MIXED AND INSTALLED PER MANUFACTURER SPECIFICATIONS. MINIMUM COMPRESSIVE STRENGTH 5,000 PSI IN TWO DAYS.
11. PROVIDE HEADERS AT ALL WALL OPENINGS AS INDICATED. MINIMUM (2)2X6 HEADER SHALL BE PROVIDED AT ALL DOOR AND WINDOW OPENINGS IF NONE IS SPECIFIED. ALL HEADERS SHALL BE SUPPORTED ON TIMBER POSTS AS INDICATED. IF NO POSTS ARE INDICATED, PROVIDE A MINIMUM OF (2)2X4.

FOUNDATION

1. FOUNDATION ELEMENTS SHALL BEAR ON UNDISTURBED SOIL.
2. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS UNLESS SUPPORTING SLABS ARE IN PLACE AND SET OR THE WALLS ARE ADEQUATELY BRACED.
3. DEWATERING OF THE SITE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID UNDERMINING EXISTING FOUNDATIONS. METHOD OF DEWATERING AND RELATED CALCULATIONS IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND MUST COMPLY WITH THE SOILS AND GROUND WATER MANAGEMENT SPECIFICATIONS FOR THIS PROJECT.
4. PROVIDE DOWELS IN FOUNDATIONS FOR ALL WALLS, COLUMNS AND SHEAR WALLS OF SAME NUMBER AND SIZE AS THE VERTICAL REINFORCEMENT ABOVE.
5. PROVIDE WATERSTOPS AT ALL VERTICAL CONSTRUCTION JOINTS IN WALLS BELOW GRADE.
6. CONTRACTOR TO INSTALL ALL PIPE SLEEVES, BOXED OPENINGS, ANCHOR BOLTS, INSERTS ETC. AS REQUIRED FOR THE VARIOUS TRADES. WALL POCKETS AND EMBED FLATES, TO RECEIVE BEAMS AND SLABS, SHALL BE PROVIDED AS REQUIRED FOR THE SUPERSTRUCTURE. SHOP DRAWINGS SHOWING THE POSITION OF THE OPENINGS SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE.
7. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SUBSURFACE AND EXISTING CONDITIONS BEFORE COMMENCING THE WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF ALL EXCAVATION SLOPES. WHERE NECESSARY, SHEETING, SHORING AND UNDERPINNING OF EXCAVATION SHALL BE PROVIDED WITH ALL REQUIRED TIE BACKS AND BRACING.
9. METHODS EMPLOYED IN ALL SHEETING, SHORING AND UNDERPINNING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR AND LICENSED IN THE STATE OF OHIO.
10. TEMPORARY BRACING SHALL BE PROVIDED FOR ALL BUTTRESSES. WHERE BUTTRESSES DO NOT EXIST OR SPACING BETWEEN BUTTRESSES EXCEEDS 25 FEET, AND WHERE THE DIFFERENCE IN LEVEL BETWEEN INSIDE AND OUTSIDE GRADE IS MORE THAN 4'-0", INTERMEDIATE BRACING SHALL BE PROVIDED. WHERE RAMPS OCCUR, THE GRADE ELEVATION OUTSIDE OF RAMP WALLS SHALL BE USED IN FIGURING THE DIFFERENCE IN LEVEL. CORNER BUTTRESSES NEED NOT BE BRACED. NO BACKFILLING IS TO BE DONE BEFORE ALL SLABS WHICH PROVIDE BRACING FOR WALLS ARE IN PLACE, UNLESS APPROVED BY THE ENGINEER. PROVIDE TEMPORARY BRACING FOR ALL PIERS AND SUMP PITS.
11. ALL FOUNDATION ELEMENTS ARE TO BE CENTERED ON COLUMNS ABOVE, U.O.N.
12. FOUNDATION ELEVATIONS SHOWN ON THE DRAWINGS HAVE BEEN ESTIMATED USING THE GEOTECHNICAL REPORT. ACTUAL ELEVATIONS OF FOUNDATION ELEMENT BOTTOMS WILL BE DETERMINED BY FIELD CONDITIONS.

CONCRETE:

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM WITH CHAPTER 19 OF THE CODE AND WITH THE PROVISIONS OF ACI 318, LATEST EDITION. REINFORCED CONCRETE IS DESIGNED BY THE "ULTIMATE STRENGTH DESIGN METHOD".
2. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND APPROVED BY THE STRUCTURAL ENGINEER. MIX DESIGN METHODS (TEST HISTORY OR TRAIL BATCH METHOD) PER CODE SECTION 1905.3 SHALL BE USED TO PROPORTION CONCRETE. SUBMIT MIX DESIGN METHOD DATA.
4. SCHEDULE OF STRUCTURAL CONCRETE: 28-DAY STRENGTH AND TYPES:
- | LOCATION IN STRUCTURE | STRENGTH | DENSITY | SLUMP |
|-----------------------|----------|---------|-------|
| ALL CONCRETE FOOTINGS | 4,000    | 150 PCF | 4"-6" |
| SLAB-ON-GRADE         | 4,000    | 150 PCF | 4"-6" |
5. PORTLAND CEMENT SHALL CONFORM TO ASTM C-150, TYPE I OR II. FLY ASH IS NOT PERMITTED IN MIXES.
6. AGGREGATE FOR CONCRETE SHALL CONFORM TO ALL REQUIREMENTS AND TESTS OF ASTM C-33 AND PROJECT SPECIFICATIONS.
7. CONCRETE MIXING OPERATION, ETC. SHALL CONFORM TO ASTM C-94
8. PLACEMENT OF CONCRETE SHALL CONFORM TO CODE SECTION 1905 AND PROJECT SPECIFICATIONS. CLEAN AND ROUGHEN TO 1/4" AMPLITUDE ALL CONCRETE SURFACES AGAINST WHICH NEW CONCRETE IS TO BE PLACED.
9. ALL REINFORCING BARS, ANCHOR BOLTS, AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
10. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT. CORING CONCRETE IS NOT PERMITTED. NOTIFY THE ENGINEER OF CONDITIONS NOT SHOWN ON THE DRAWINGS IN ADVANCE OF PROCEEDING WITH WORK. SEE THESE DRAWINGS FOR ADDITIONAL RESTRICTIONS ON THE PLACEMENT OF OPENINGS IN SLABS AND WALLS.
11. PIPES LARGER THAN 1-1/2" DIAMETER SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED BY THE ENGINEER. PIPES SHALL NOT DISPLACE OR INTERRUPT REINFORCING BARS. SPACE EMBEDDED PIPES AT A MINIMUM OF 3 DIAMETERS.
12. CUT CONTROL JOINTS FOR SLABS ON GRADE A MAXIMUM OF 20'-0" O.C., UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS. CUT JOINTS WITHIN EIGHT (8) HOURS AFTER PLACING CONCRETE. CURE CONCRETE BY WET CURING OR LIQUID SPRAY CONFORMING TO ASTM C-309. CONTRACTOR TO VERIFY CURING AGENT IS COMPATIBLE WITH ANY FLOOR ADHESIVES SPECIFIED WITHIN THE CONTRACT DOCUMENTS.

MASONRY

1. CONSTRUCT ALL MASONRY WALLS IN ACCORDANCE WITH ACI 530.1 SPECIFICATIONS UNLESS OTHERWISE SHOWN OR NOTED, WITH REQUIREMENTS FOR OWNER INSPECTION AND ACCEPTANCE DELETED.
2. MATERIALS:
- 2.1. HOLLOW LOAD BEARING UNITS: ASTM C-90 (GRADE N-I)
- 2.2. SOLID LOAD BEARING UNITS: ASTM C-145 (GRADE N-1)
- 2.3. CONCRETE BRICK: ASTM C-55 (GRADE N-I)
- 2.4. FACING BRICK: ASTM C-128, TYPE FBS, GRADE SW
- 2.5. NON LOAD BEARING UNITS: ASTM C-129
- 2.6. MORTAR (TYPE M OR S): ASTM C-270
- 2.7. GROUT: ASTM C-476 (2,500 PSI)
- 2.8. REINFORCING STEEL BARS: ASTM A-615 GRADE 60
3. MASONRY PRISM STRENGTH (F ' M) = 1,800 PSI AT 28 DAYS, U.N.O.
4. MORTAR USAGE FOR ABOVE AND BELOW GRADE WALLS:
- 4.1. REINFORCED MASONRY: TYPE M
- 4.2. LOAD BEARING (INTERIOR AND EXTERIOR): TYPE S
5. IN MASONRY WALLS, NO CHASES, RISERS, CONDUITS OR TOOTHING OF MASONRY SHALL OCCUR WITHIN 17" OF CENTERLINE OF BEAM BEARING OR CONCENTRATED LOADS.
6. USE TWO COURSES (16") OF SOLID OR GROUTED SOLID MASONRY BELOW EACH BEAM BEARING.
7. PROVIDE HORIZONTAL JOINT REINFORCING IN ALL MASONRY WALLS AT 16" O.C. VERTICALLY. HORIZONTAL JOINT REINFORCING SHALL BE DUR-O-WAL EXTRA- HEAVY-DUTY TRUSS TYPE, 3/16" GALVANIZED WIRE, OR EQUAL.
8. PROVIDE UNITS APPROPRIATE FOR THE USE, I.E., SASH, BULLNOSE, BOND, ETC. ...
9. PROVIDE FIRE RATED OR EQUIVALENT MASONRY UNITS AT FIREWALLS, STAIRWELLS. CERTIFICATES OF COMPLIANCE SHALL BE FURNISHED UPON REQUEST.

Item #1.

ISSUE	DATE
PERMIT	10/21/2025

revisions		
no.	description	date
1	ADDENDUM 1	10/21/25



STRUCTURAL MODIFICATION  
SERVICE STATION BUILDING  
29000 LAKESHORE BLVD  
WILLOWICK, OH 44095

PROJECT NO. 1226
SHEET NAME NOTES I
SHEET NO. S1



STRUCTURAL STEEL

1.

DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE LATEST EDITION AS REFERENCED BY THE APPLICABLE BUILDING CODE, OF THE AISC "STEEL CONSTRUCTION MANUAL" AND AISC 360 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", HEREIN REFERRED TO AS "AISC MANUAL" AND "AISC SPECIFICATION".

A.

STRUCTURAL STEEL: (W SHAPES) ASTM A992 (FY=50KSI)

B.

(PLATE GIRDERS) ASTM A572 GRADE 50 (FY=50KSI)

C.

(M, S, C SHAPES) ASTM A36 UNO

D.

(PLATE, ANGLES) ASTM A36 UNO

E.

HSS: (TUBULAR SHAPES) ASTM A500 GRADE C (FY=50KSI)

F.

(ROUND SHAPES) ASTM A500 GRADE C (FY=46KSI)

G.

PIPE SECTIONS: ASTM A53, TYPE E OR S, GRADE B (FY=35KSI)

H.

ALL ANCHOR RODS SHALL BE ASTM F1554 GRADE 36, UNO.

I.

ALL STRUCTURAL STEEL NOT TO RECEIVE SPRAY FIRE-PROOFING SHALL BE PRIMED WHITE OR LIGHT GRAY; ASPHALTIC PAINTS ARE NOT ACCEPTABLE.

J.

ALL COLUMN BASE PLATES SHALL HAVE A MINIMUM OF FOUR ANCHOR RODS.

2.

CONNECTIONS SHOWN ON THESE DRAWINGS ARE GENERALLY SCHEMATIC. THEY ARE INTENDED TO DEFINE THE SPATIAL RELATIONSHIP OF THE FRAMED MEMBERS AND SHOW A FEASIBLE METHOD OF MAKING THE CONNECTION. ANY CONNECTION THAT IS NOT SHOWN OR IS NOT COMPLETELY DETAILED ON THE STRUCTURAL DRAWINGS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER, RETAINED BY THE FABRICATOR. DETAILS AND CONNECTIONS MAY BE DESIGNED TO CONFORM TO AISC MANUAL. COMPLETELY DETAILED MEANS THE FOLLOWING INFORMATION IS SHOWN ON THE SHOP DETAIL DRAWINGS:

A.

ALL PLATE DIMENSIONS AND GRADE.

B.

ALL WELD SIZES, LENGTHS, PITCHES AND RETURNS.

C.

ALL HOLE SIZES AND SPACINGS.

D.

NUMBER AND TYPE OF BOLTS; WHERE BOLTS ARE SHOWN BUT NO NUMBER IS GIVEN, THE CONNECTION HAS NOT BEEN COMPLETELY DETAILED.

E.

WHERE PARTIAL INFORMATION IS GIVEN, IT SHALL BE THE MINIMUM REQUIREMENT FOR CONNECTION.

F.

METHOD OF DESIGN.

3.

SUBMIT CALCULATIONS STAMPED & SIGNED BY AN ENGINEER REGISTERED IN THE STATE OF OHIO INCLUDING, BUT NOT LIMITED TO, MOMENT CONNECTIONS (FLEXIBLE AND FULLY RESTRAINED MOMENT CONNECTIONS), BRACING GUSSET PLATES AND CONNECTION TO BEAM/COLUMN ASSEMBLY, WEB-TO-CHORD CONNECTION AT TRUSSES, AND ANY UNIQUE CONNECTIONS THAT ARE NOT COMPLETELY DETAILED ON THESE DRAWINGS.

4.

DETAILS AND CONNECTIONS COMPLETELY DETAILED IN THE CONTRACT DRAWINGS MAY NOT BE ALTERED WITHOUT WRITTEN APPROVAL BY THE ENGINEER. WHERE APPROVED, ALTERED CONNECTIONS SHALL BE COMPLETELY DETAILED BY THE FABRICATOR'S ENGINEER CLEARLY ON THE SHOP DRAWINGS.

5.

ALTERATIONS OF SCHEMATIC CONNECTION DETAILS MAY IMPACT ARCHITECTURAL CONCEPT AND SHALL NOT BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.

6.

MINIMUM CONNECTION PLATE THICKNESS SHALL BE 3/8", UNLESS OTHERWISE INDICATED IN THE CONTRACT DRAWINGS.

7.

FOR W, M, S, AND C SHAPES, UNLESS OTHERWISE NOTED, BEAM TO BEAM CONNECTIONS AND BEAM TO COLUMN CONNECTIONS SHALL BE ONE OF THE FOLLOWING DOUBLE ANGLE (T MIN=5/16") FRAMED BEAM CONNECTIONS:

A.

SHOP WELDED PER TABLE 10-2, AISC MANUAL FOR USING WELD A, AND USING 3/4" DIAMETER A325-N BOLTS IN STANDARD OR HORIZONTALLY SLOTTED HOLES FOR THE FIELD CONNECTION.

B.

ALL BOLTED CONNECTIONS PER TABLE 10-1, AISC MANUAL. CONTROLLING STRENGTH OF CONNECTION SHALL BE LEAST OF BOLT / ANGLE STRENGTH OR BEAM WEB STRENGTH TAKING INTO ACCOUNT COPED FLANGES. THE MINIMUM LENGTH OF CONNECTION ANGLES SHALL BE EQUAL TO ONE-HALF THE DEPTH OF THE MEMBER TO BE SUPPORTED.

8.

UNLESS OTHERWISE NOTED, ALL CONNECTIONS AT HSS SECTIONS SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC MANUAL AND AISC SPECIFICATION.

9.

WHERE THE REACTIONS OF UNIFORMLY LOADED BEAMS AND GIRDERS ARE NOT SHOWN ON THE DRAWINGS, THE CONNECTIONS SHALL BE DESIGNED TO SUPPORT THE REACTIONS DUE TO THE MAXIMUM ALLOWABLE UNIFORM LOAD AS INDICATED IN THE LOAD TABLES OF THE AISC MANUAL, PART 3 FOR THE GIVEN BEAM SIZE AND SPAN. FOR BEAMS AND GIRDERS NOT UNIFORMLY LOADED SEE PLAN FOR REACTION; IF NO REACTION IS SHOWN, CONTACT ENGINEER OF RECORD FOR REACTIONS.

10.

ALL BOLTS SHALL BE CONSIDERED BEARING BOLTS. DO NOT OVERTIGHTEN BEARING BOLTS, ESPECIALLY FOR BEAMS TO SUPPORT CONCRETE SLABS. TIGHTEN BEARING BOLTS TO A SNUG CONDITION ONLY, PER AISC SPECIFICATIONS.

11.

TWIST-OFF TYPE TENSION CONTROL BOLTS ARE NOT PERMITTED TO BE USED AS BEARING BOLTS.

12.

ALL MOMENT PLATE CONNECTIONS SHALL BE DESIGNED FOR THE FULL MOMENT CAPACITY (AS TABULATED IN THE AISC MANUAL, PART 3) OF THE BEAM, UNLESS NOTED OTHERWISE. LOCAL STRESSES AT BOLT HOLES DO NOT GOVERN.

13.

ALL WELDING SHALL BE DONE USING E-70XX ELECTRODES IN ACCORDANCE WITH THE LATEST AWS SPECIFICATIONS.

14.

WORK THESE DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR NAILER HOLES AND ARCHITECTURAL CLEARANCES.

15.

GENERAL CONTRACTOR SHALL VERIFY ALL STRUCTURAL BEAM LOCATIONS, MECHANICAL UNIT WEIGHTS AND OPENING SIZES AND LOCATIONS WITH MECHANICAL CONTRACTOR AND VENDOR'S DRAWINGS FOR ACTUAL MECHANICAL UNIT PURCHASED.

16.

SPLICING OF STRUCTURAL MEMBERS WHERE NOT DETAILED ON THE DRAWINGS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

17.

SCREED PLATES, FOUR STOPS AND SLAB SUPPORTS AT SLAB OPENINGS, AT SLAB EDGES AND SUPPORTS FOR METAL DECK AROUND COLUMNS SHALL BE FURNISHED BY THE CONTRACTOR AS REQUIRED TO COMPLETE THE WORK.

18.

CUTS, HOLES, COPING, ETC. REQUIRED FOR WORK OF OTHER TRADES SHALL BE SHOWN ON THE SHOP DRAWINGS AND MADE IN THE SHOP. CUTS OR BURNING OF HOLES IN STRUCTURAL STEEL MEMBERS IN THE FIELD WILL NOT BE PERMITTED, UNLESS SPECIFICALLY APPROVED IN EACH CASE BY THE STRUCTURAL ENGINEER.

19.

ALL HSS SHAPES (ROUND, SQUARE, RECTANGULAR, ETC.) ARE TO HAVE A 1/4" CAP PLATE AT ALL EXPOSED ENDS. CAP PLATES TO BE SEAL WELDED ALL AROUND, UNO. PROVIDE 3/8"Ø WEEP HOLES IN THE CENTER OF THE PLATE.

20.

ALL WELD SIZES NOT SHOWN IN DETAILS HEREIN SHALL BE THE MINIMUM REQUIRED SIZE BASED ON THICKNESS OF THINNER PART AS PER AISC SPECIFICATION, TABLES J2.3 & J2.4. EXCEPTION: AT MEMBER SPLICES WELDS OR BOLTS SHALL DEVELOP FULL STRENGTH OF THE MEMBER OR COMPONENTS BEING CONNECTED.

21.

ALL AROUND WELDS INDICATED HEREIN SHALL BE DISCONTINUOUS AT THE FLANGE TIPS OF OPEN SECTIONS.

22.

ALL STRUCTURAL STEEL, INCLUDING BASE PLATES AND TOPS OF ANCHOR BOLTS, TO BE EXPOSED TO SOIL ARE TO BE COATED WITH AN APPROVED COAL TAR EPOXY, 16 MILS MINIMUM THICKNESS.

23.

ANY ALTERATION MADE BY THE DETAILER ON THE STRUCTURAL STEEL SHOP DRAWINGS TO SCHEMATIC OR COMPLETELY DETAILED CONNECTIONS SHOWN ON THE CONTRACT DRAWINGS MUST BE CLEARLY IDENTIFIED BY CLOUDING OR BY DIRECT NOTE ON THE SHOP DRAWING BY THE DETAILER PRIOR TO SUBMISSION TO THE ENGINEER.

24.

ANY MEMBER SIZES SHOWN ON THE PLANS, AND CURRENTLY LISTED IN THE AISC MANUAL, WHICH ARE NOT CURRENTLY AVAILABLE MUST BE BROUGHT TO THE ARCHITECT'S AND STRUCTURAL ENGINEER'S ATTENTION PRIOR TO AWARD OF STEEL CONTRACT. NO CLAIM FOR ADDITIONAL COST WILL BE ACCEPTED AFTER THE AWARD, FOR MEMBER/BUILT UP MEMBER SUBSTITUTIONS FOR THESE SIZES.

25.

FILLER BEAMS SHALL BE SPACED EQUALLY BETWEEN ESTABLISHED DIMENSIONS, UNLESS NOTED OTHERWISE.

26.

ALL SUPPLEMENTAL STEEL ANGLES REQUIRED FOR ROOF UNITS AND ROOF OPENINGS OVER 12"x12" TO BE SUPPLIED BY STRUCTURAL STEEL FABRICATOR AND BE COORDINATED BY GENERAL CONTRACTOR WITH THE JOIST FABRICATOR, MECHANICAL DRAWINGS AND MECHANICAL EQUIPMENT SUPPLIER.

27.

ALL STRUCTURAL STEEL BEAMS AND COLUMNS ADJACENT TO MASONRY SHALL HAVE ADJUSTABLE MASONRY ANCHORS AT 2'-0" O.C.

28.

HOT DIP GALVANIZE PER ASTM A123 AFTER FABRICATION THE FOLLOWING STRUCTURAL STEEL MEMBERS:

A.

SHELF ANGLES SUPPORTING MASONRY

B.

LINTELS SUPPORTING SINGLE OR MULTIPLE WYTHE EXTERIOR MASONRY WALLS.

C.

ITEMS IDENTIFIED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. ALL STEEL PERMANENTLY EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED UNLESS SPECIFIED OTHERWISE ON THE ARCHITECTURAL DRAWINGS. FOR MEMBERS SHOWN TO BE GALVANIZED, ALL CONNECTION MATERIAL SHALL ALSO BE GALVANIZED.

29.

CAMBER VALUES SHOWN ON THE PLANS FOR BEAMS AND GIRDERS SHALL BE THE AMOUNT OF CAMBER IN THE MEMBER FOLLOWING ERECTION. CONTRACTOR SHALL VERIFY THAT CAMBER INDICATED ON PLANS CORRESPONDS TO ACTUAL FIELD CONDITIONS PRIOR TO PLACEMENT OF SLAB. CONTRACTOR IS TO NOTE THAT THE STRUCTURAL STEEL BEAMS HAVE BEEN CAMBERED IN AN EFFORT TO LIMIT FLOOR LEVELING COMPOUND DUE TO THE DEFLECTION OF THE STRUCTURAL STEEL BEAMS AND GIRDERS. HOWEVER, THE AMOUNT OF ACTUAL CAMBER FOR EACH STRUCTURAL STEEL MEMBER MAY VARY DUE TO MILL OR SHOP TOLERANCE AND BEAMS WITH COMPUTED INITIAL DEFLECTIONS LESS THAN 3/4" ARE NOT CAMBERED AT ALL. THEREFORE, THE CONTRACTOR MAY NOT ASSUME THAT THE CAMBERS INDICATED ELIMINATE THE NEED FOR FLOOR LEVELING COMPOUND.

30.

THE CONCRETE SLABS AND/OR STEEL DECKS ARE PART OF THE STABILITY SYSTEM FOR A COMPLETED STRUCTURE. THE CONTRACTOR

SHALL PROVIDE TEMPORARY ERECTION BRACING TO MAINTAIN STRUCTURAL STEEL IN PROPER POSITION UNTIL PERMANENTLY SECURED. REMOVE TEMPORARY BRACING AND THEIR CONNECTIONS ONLY AFTER ERECTION OF PERMANENT MEMBERS IS COMPLETE AND ALL CONCRETE SLABS HAVE BEEN PLACED AND CURED AND STEEL DECKS ARE PROPERLY FASTENED. A COMPLETED STRUCTURE HAS ITS BOUNDARIES DEFINED BY THE BUILDING EXTERIOR AND/OR INTERIOR EXPANSION JOINTS WHERE THEY EXIST BETWEEN BUILDING SEGMENTS.

10/21/2025 10:51:47 AM

Item #1.

ISSUE DATE

PERMIT 10/21/2025

revisions

no.	description	date
1	ADDENDUM 1	10/21/25

STATE OF OHIO

CHRISTOPHER PAUL CARUSO 1878 REGISTERED PROFESSIONAL ENGINEER

EXP: 12/31/2025

CARUSO

ENGINEERING

5545 WILSON HILLS RD SUITE #106  
HIGHLAND HEIGHTS, OH 44143  
440.454.6701 | WWW.CARUSO-ENG.COM

STRUCTURAL MODIFICATION

SERVICE STATION BUILDING

29000 LAKESHORE BLVD  
WILLOWICK, OH 44095

PROJECT NO.  
1226

SHEET NAME  
NOTES II

SHEET NO.  
S2

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ISSUE		DATE
PERMIT		10/21/2025
revisions		
no.	description	date
1	ADDENDUM 1	10/21/25

STATE OF OHIO

CHRISTOPHER PAUL CARUSO

REGISTERED PROFESSIONAL ENGINEER

EXP: 12/31/2025

CARUSO

ENGINEERING

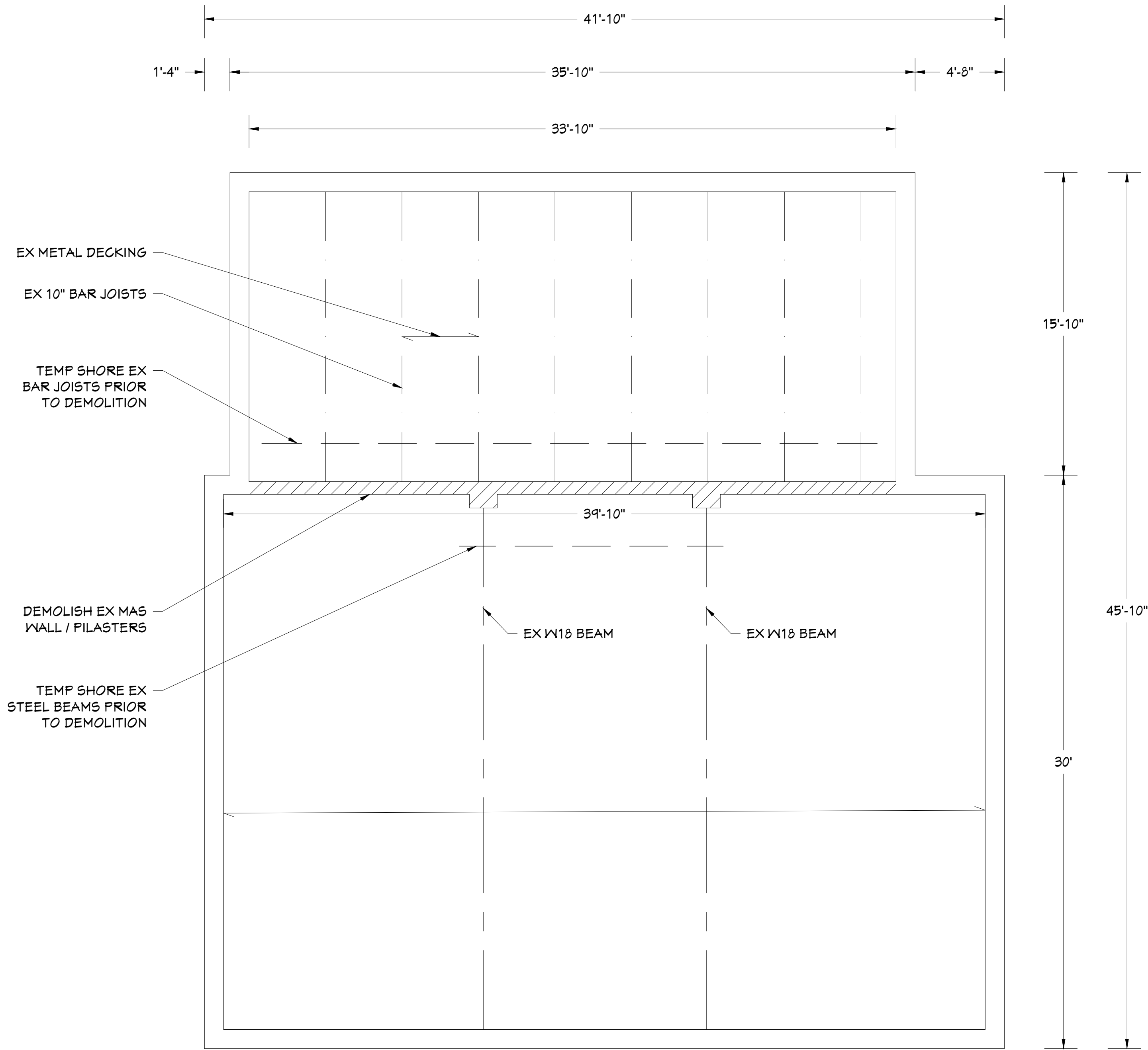
5545 WILSON MILLS RD SUITE #106  
HIGHLAND HEIGHTS, OH 44143  
440.454.6701 | WWW.CARUSO-ENG.COM

STRUCTURAL MODIFICATION

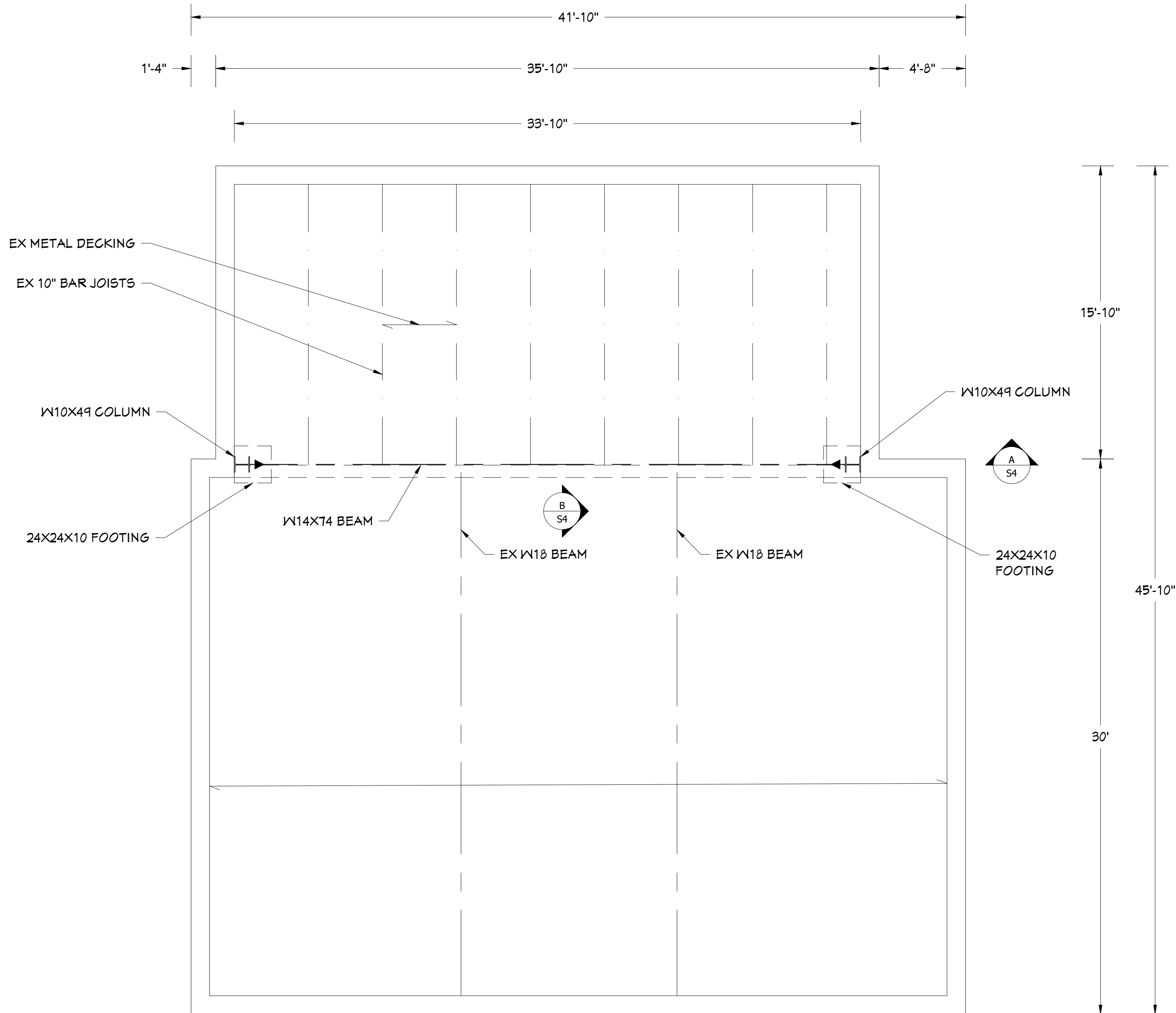
SERVICE STATION BUILDING

29000 LAKESHORE BLVD  
WILLOWICK, OH 44095

PROJECT NO. 1226
SHEET NAME PLANS
SHEET NO. S3



DEMOLITION PLAN  
Scale: 1/4" = 1'-0"



PROPOSED PLAN  
Scale: 1/4" = 1'-0"



ISSUE	DATE
PERMIT	10/21/2025

revisions		
no.	description	date
1	ADDENDUM 1	10/21/25

STATE OF OHIO

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REGISTERED PROFESSIONAL ENGINEER

EXP: 12/31/2025

CARUSO

ENGINEERING

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WILLOWICK, OH 44095

PROJECT NO.

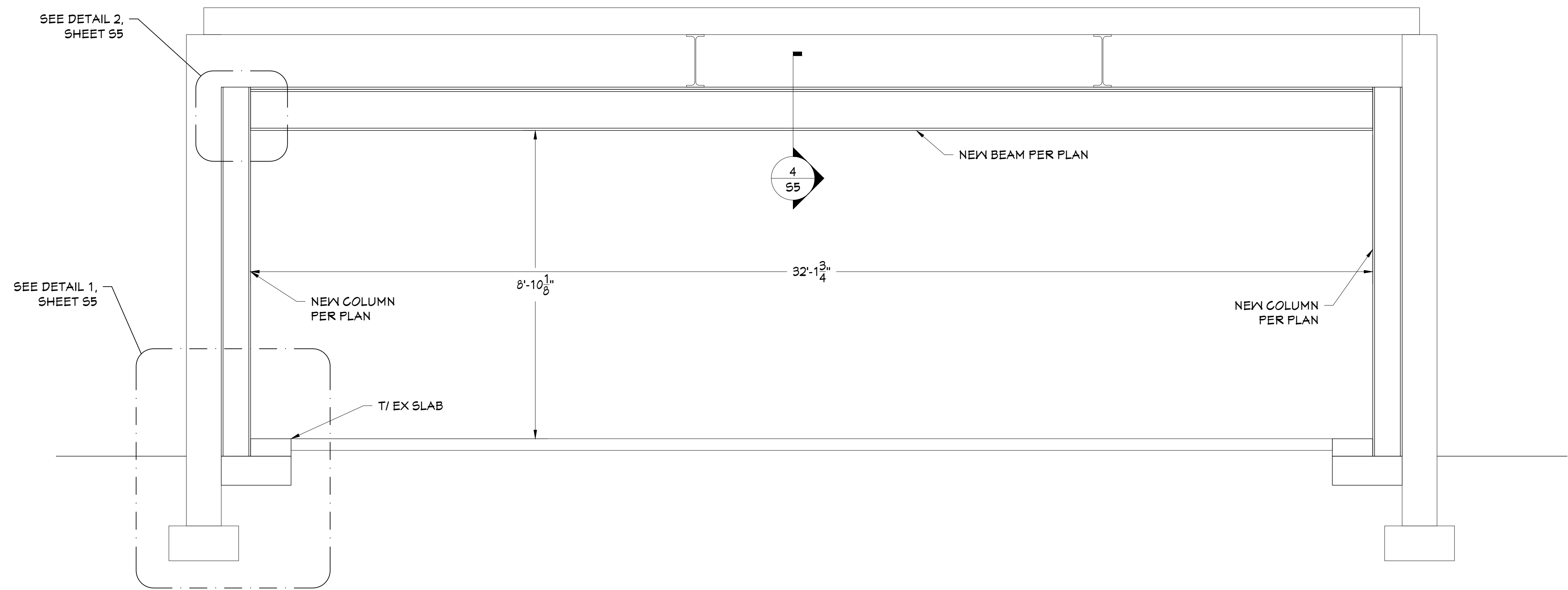
1226

SHEET NAME

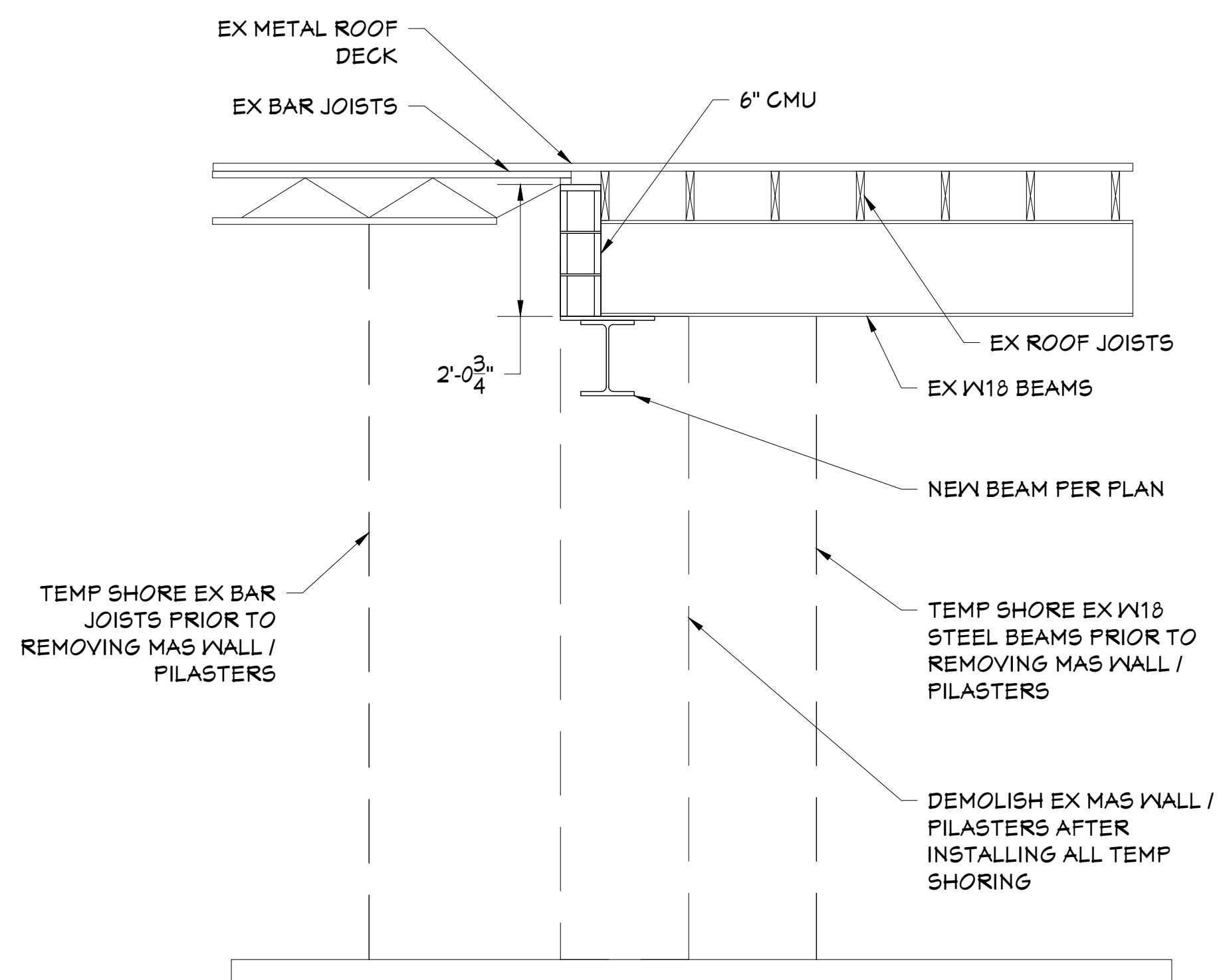
SECTIONS

SHEET NO.

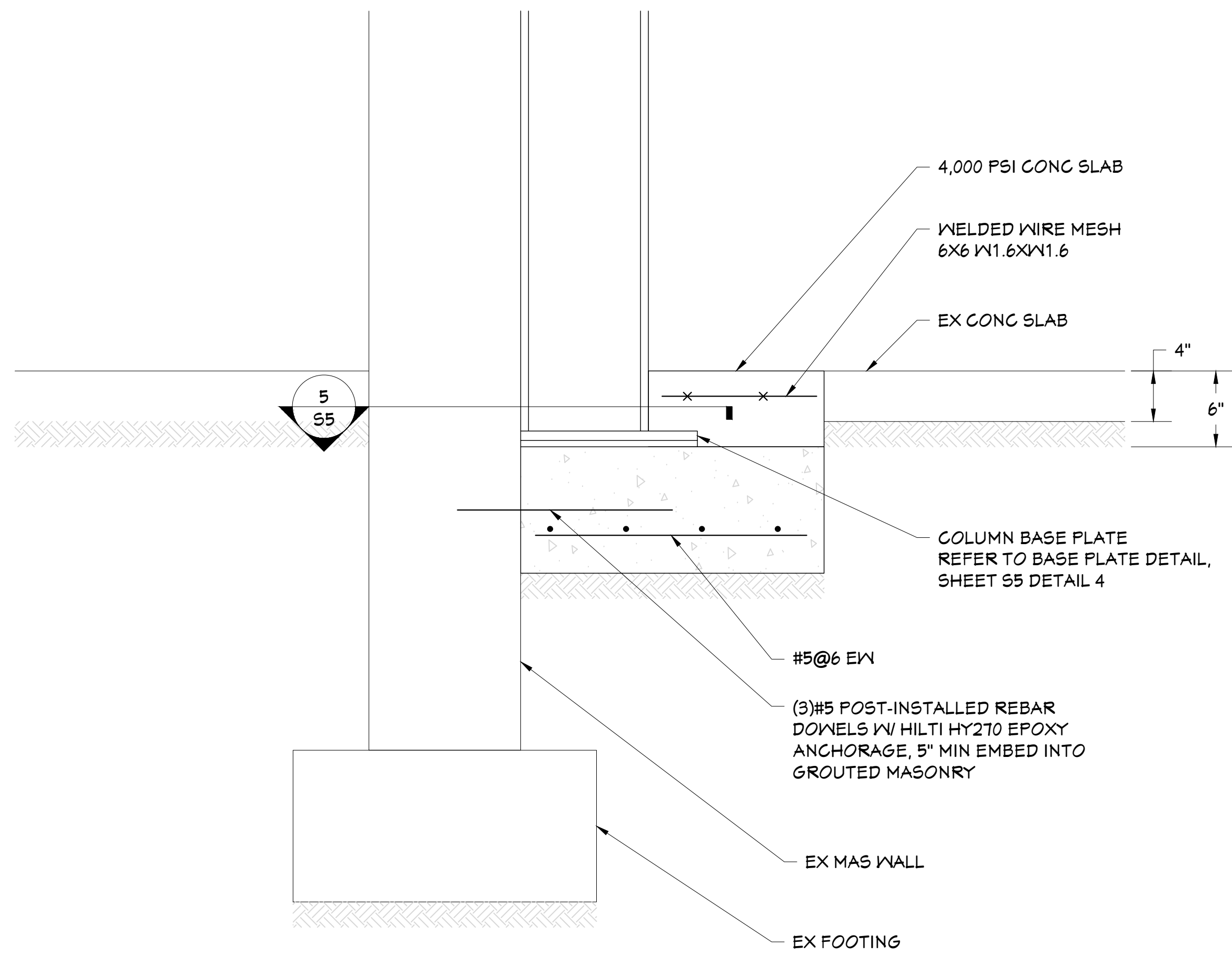
S4



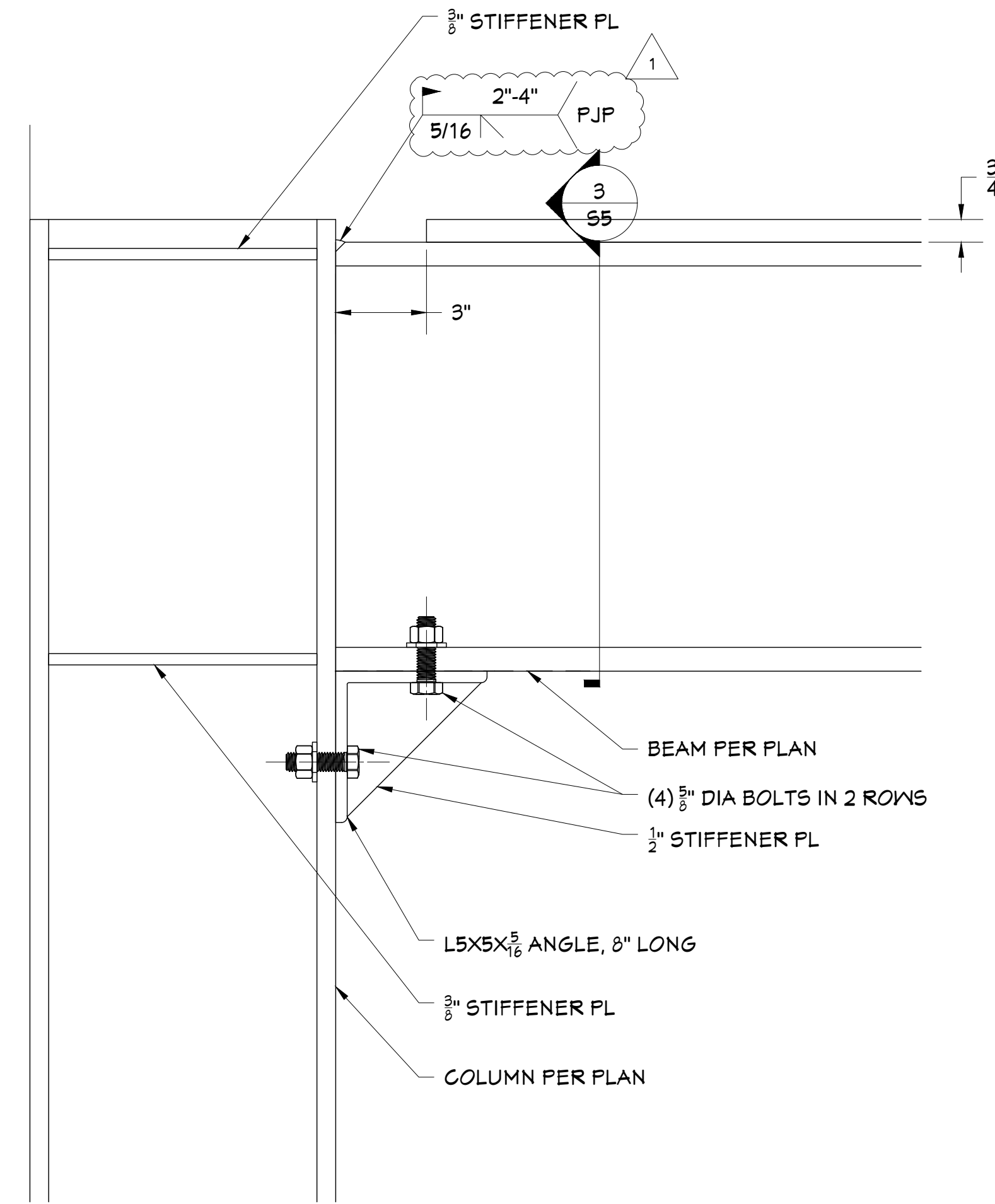
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Scale: 1/2" = 1'-0"



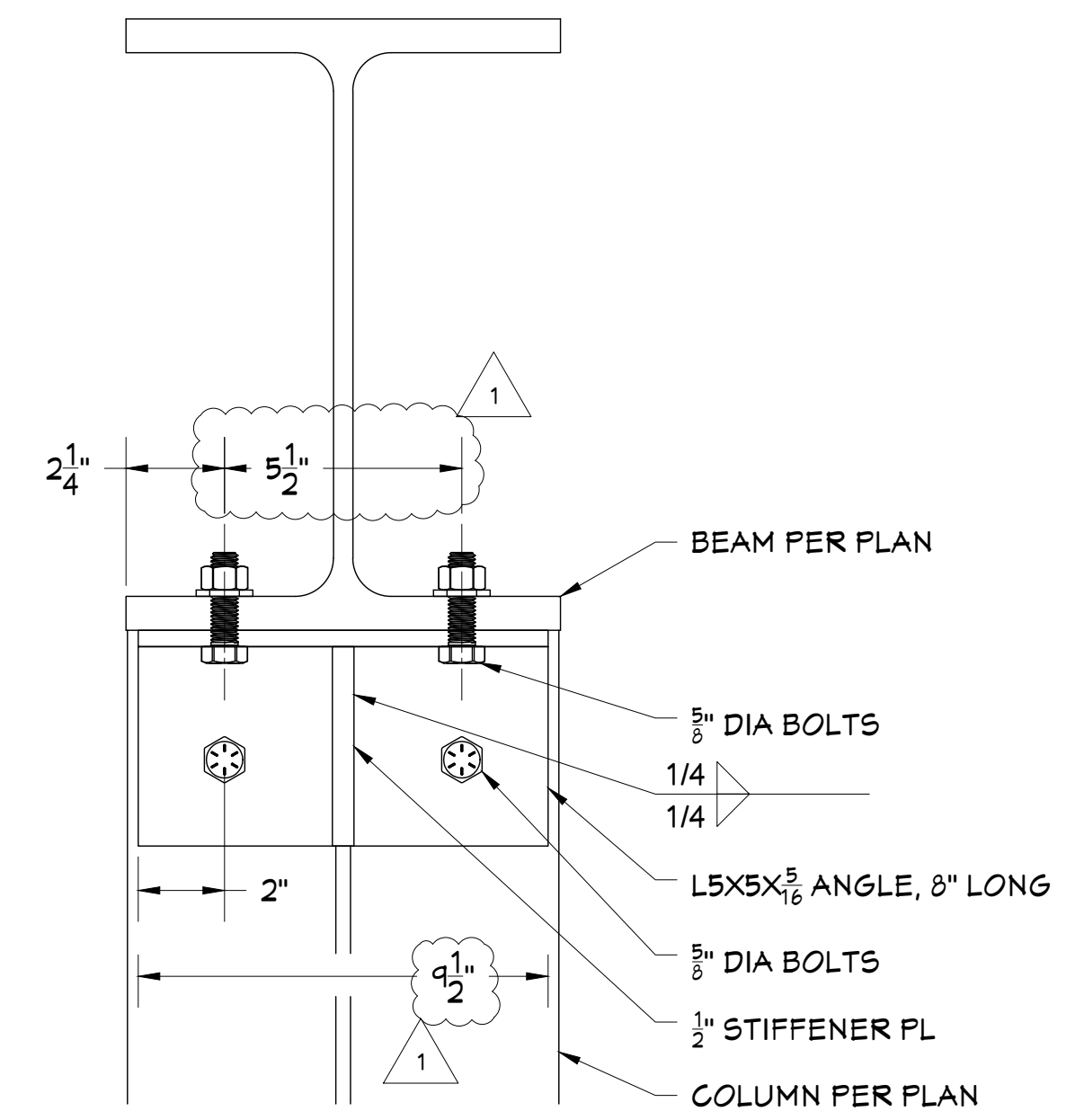
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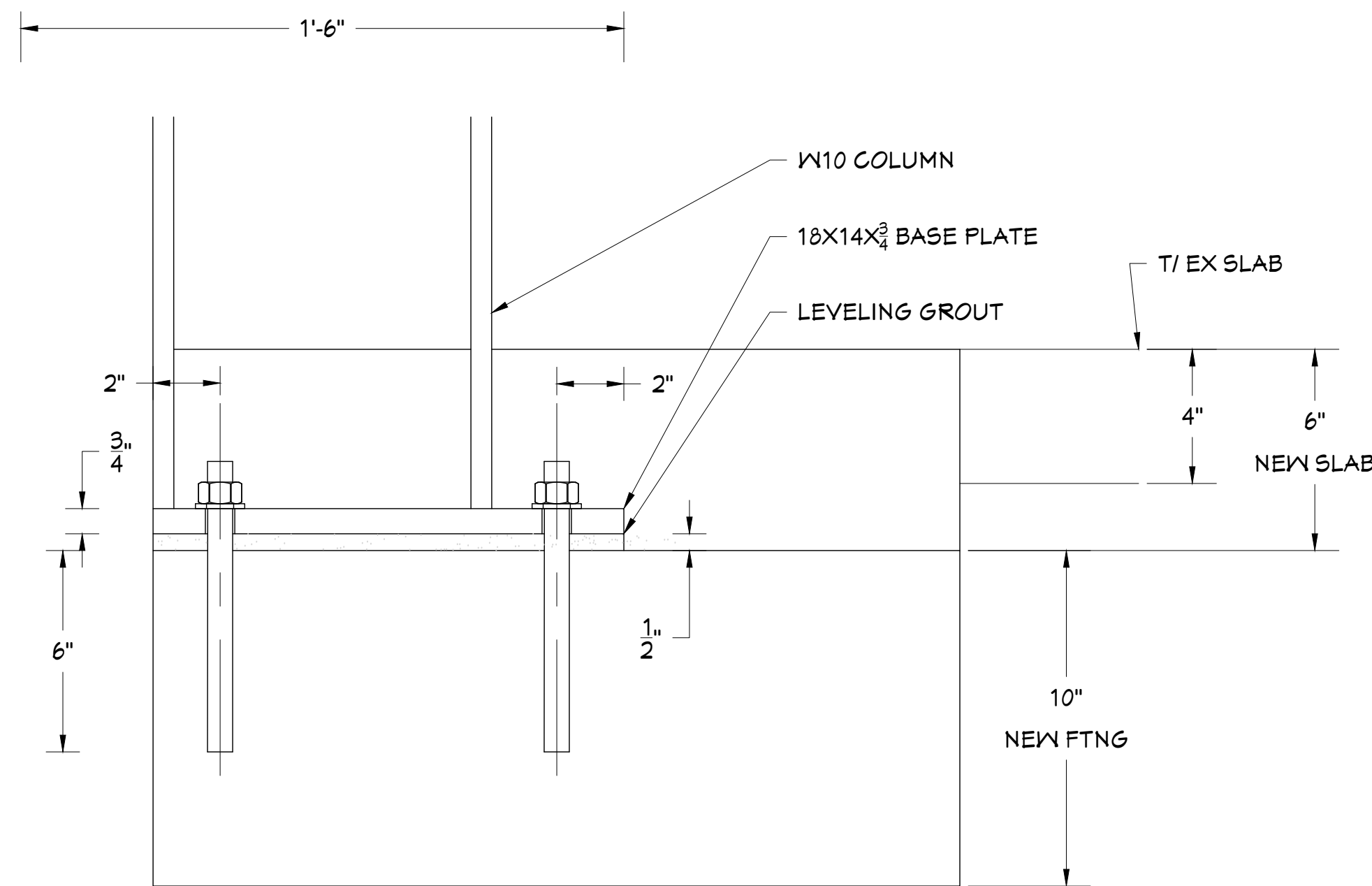
1 COLUMN BASE SECTION  
Scale: 1 1/2" = 1'-0"



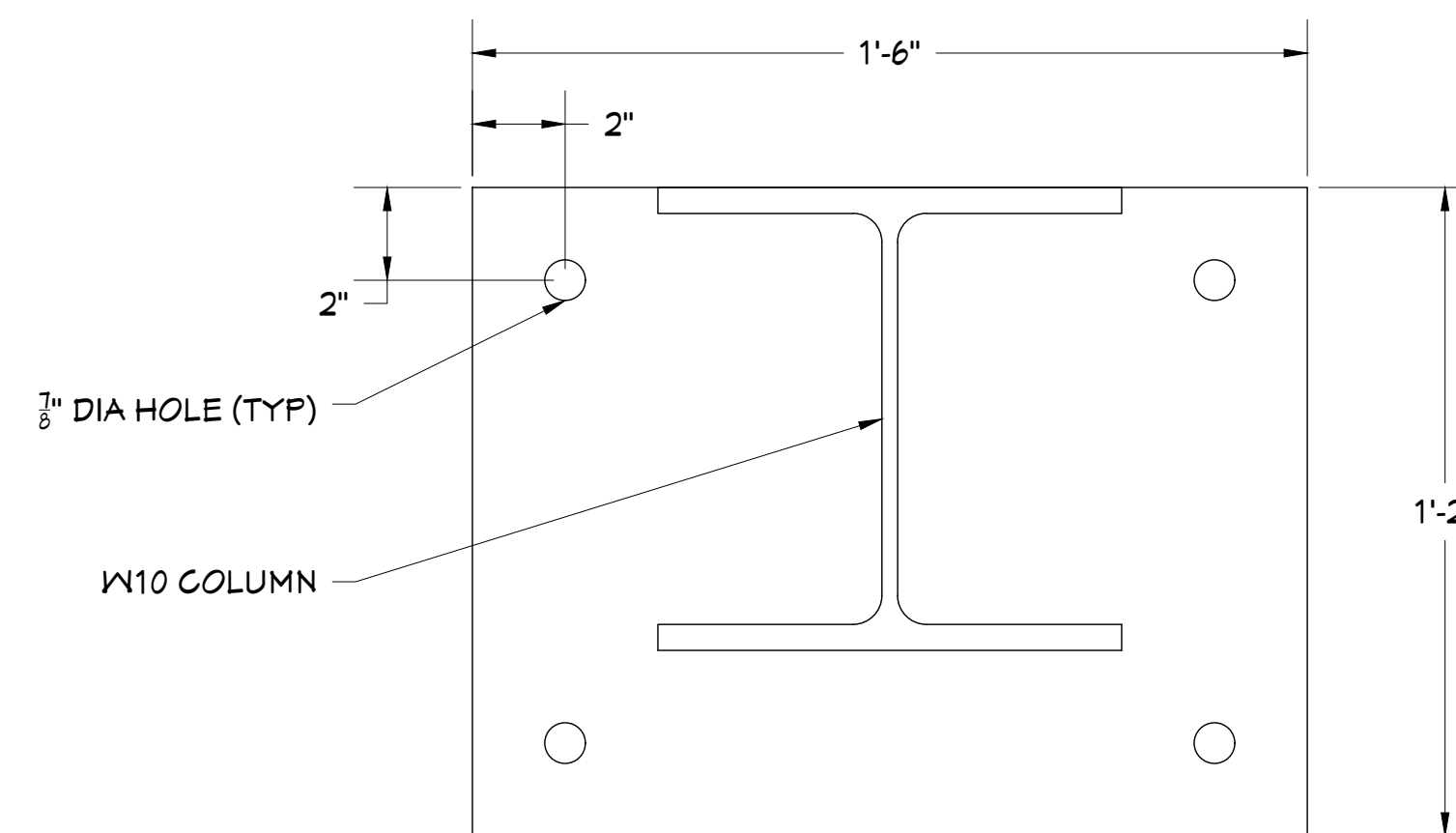
2 BEAM TO COLUMN DETAIL  
Scale: 3" = 1'-0"



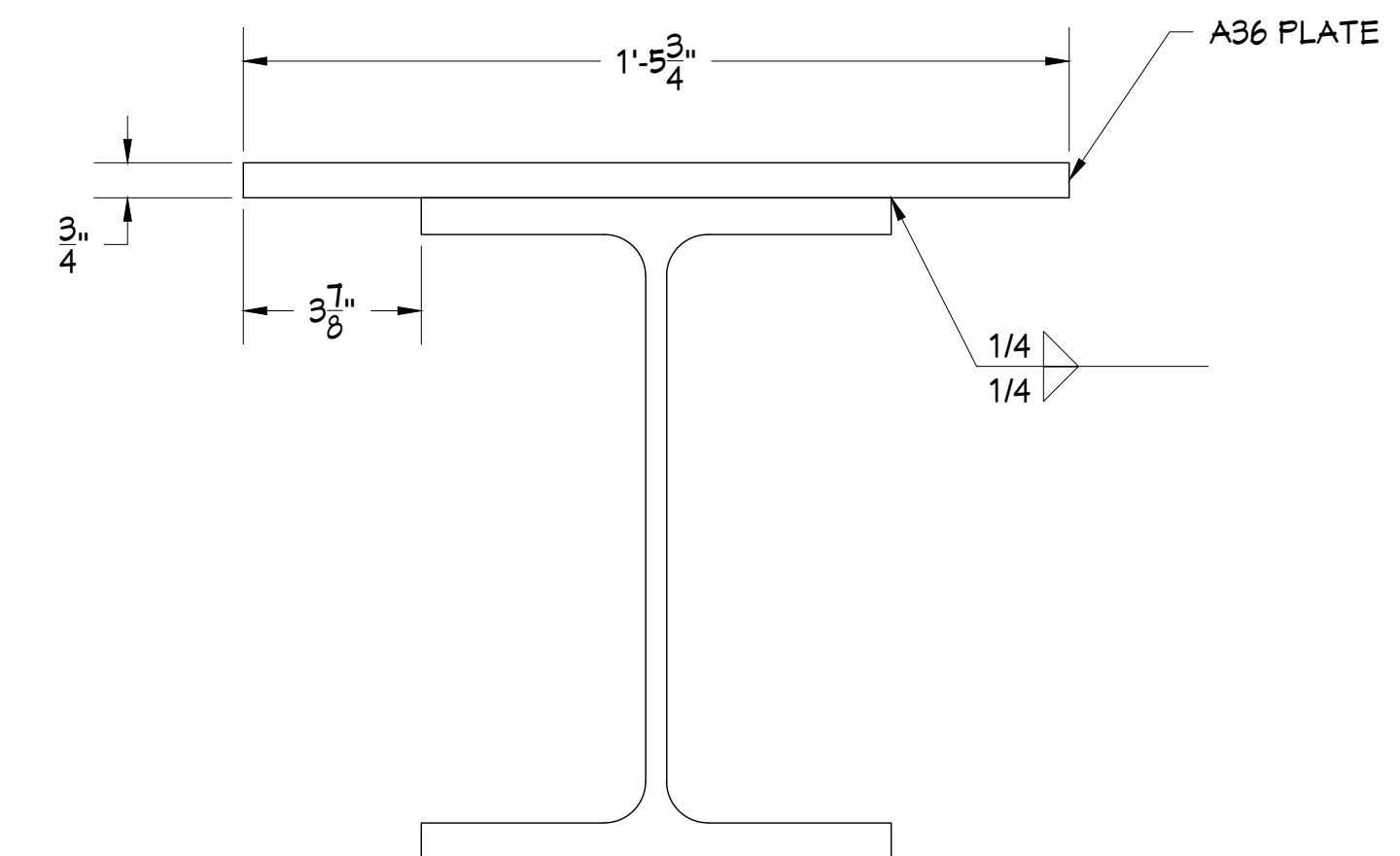
3 BEAM TO COLUMN DETAIL 2  
Scale: 3" = 1'-0"



4 COLUMN BASE DETAIL  
Scale: 3" = 1'-0"



5 COLUMN BASE PLATE DETAIL  
Scale: 3" = 1'-0"



6 BEAM DETAIL  
Scale: 3" = 1'-0"

Item #1.

ISSUE	DATE	
PERMIT	10/21/2025	
revisions		
no.	description	date
1	ADDENDUM 1	10/21/25



**CARUSO**  
ENGINEERING

5545 WILSON MILLS RD SUITE #106  
HIGHLAND HEIGHTS, OH 44143  
440.454.6701; WWW.CARUSO-ENG.COM

**STRUCTURAL MODIFICATION**  
SERVICE STATION BUILDING

29000 LAKESHORE BLVD  
WILLOWICK, OH 44095

PROJECT NO.  
1226

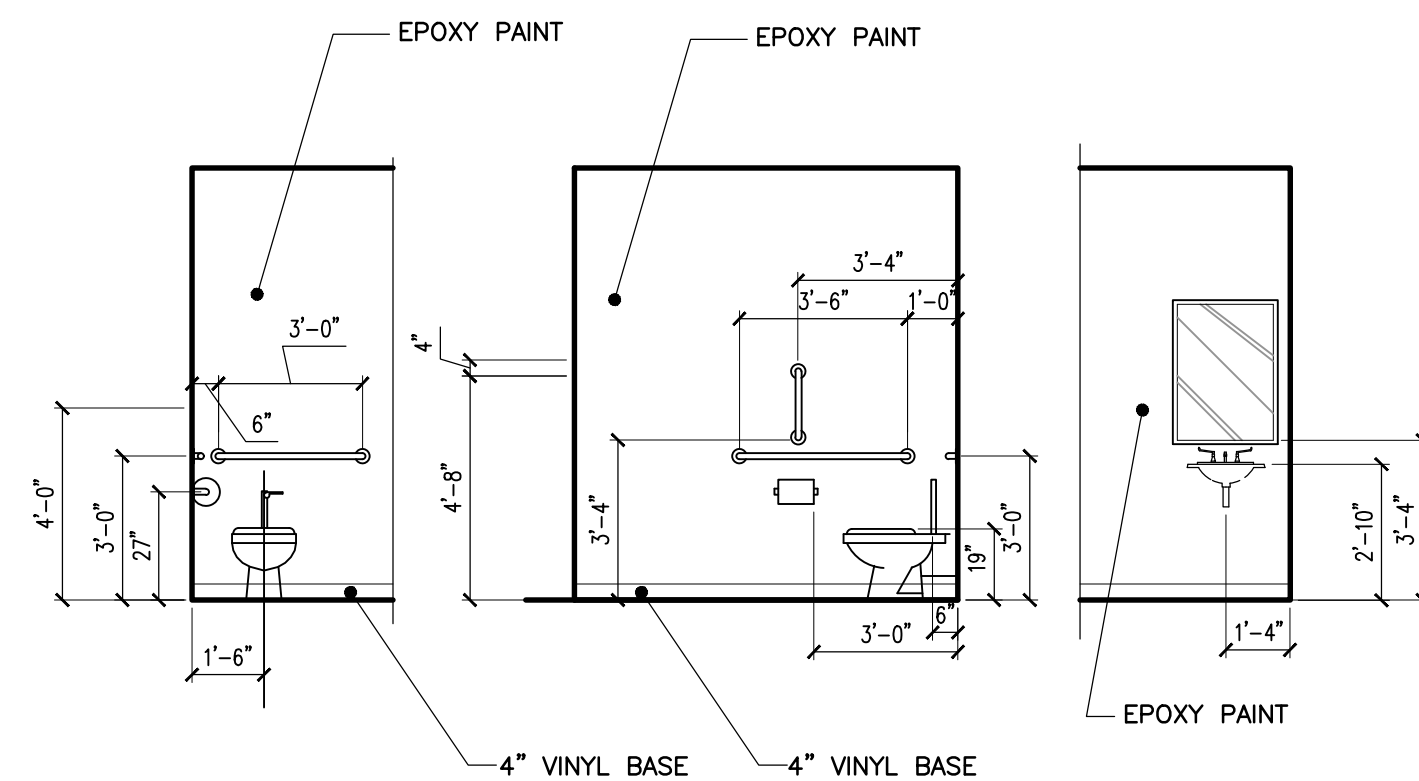
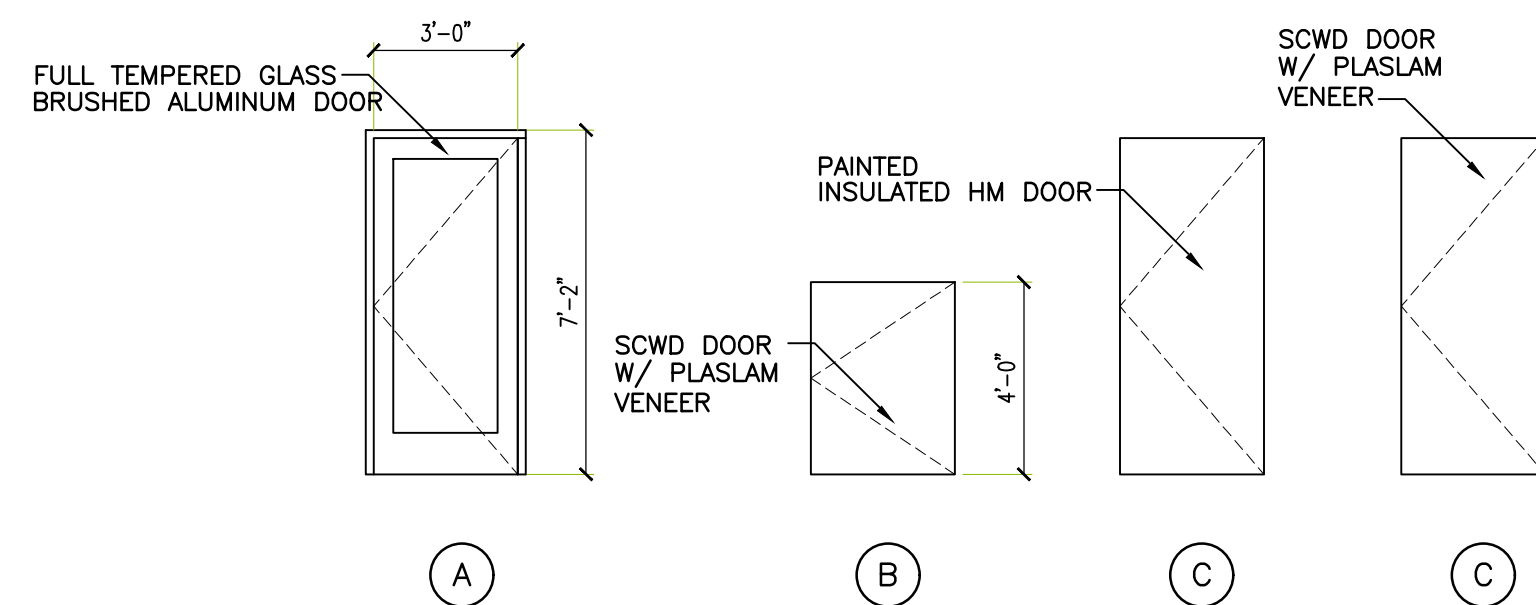
SHEET NAME  
SECTIONS & DETAILS

SHEET NO.  
**S5**

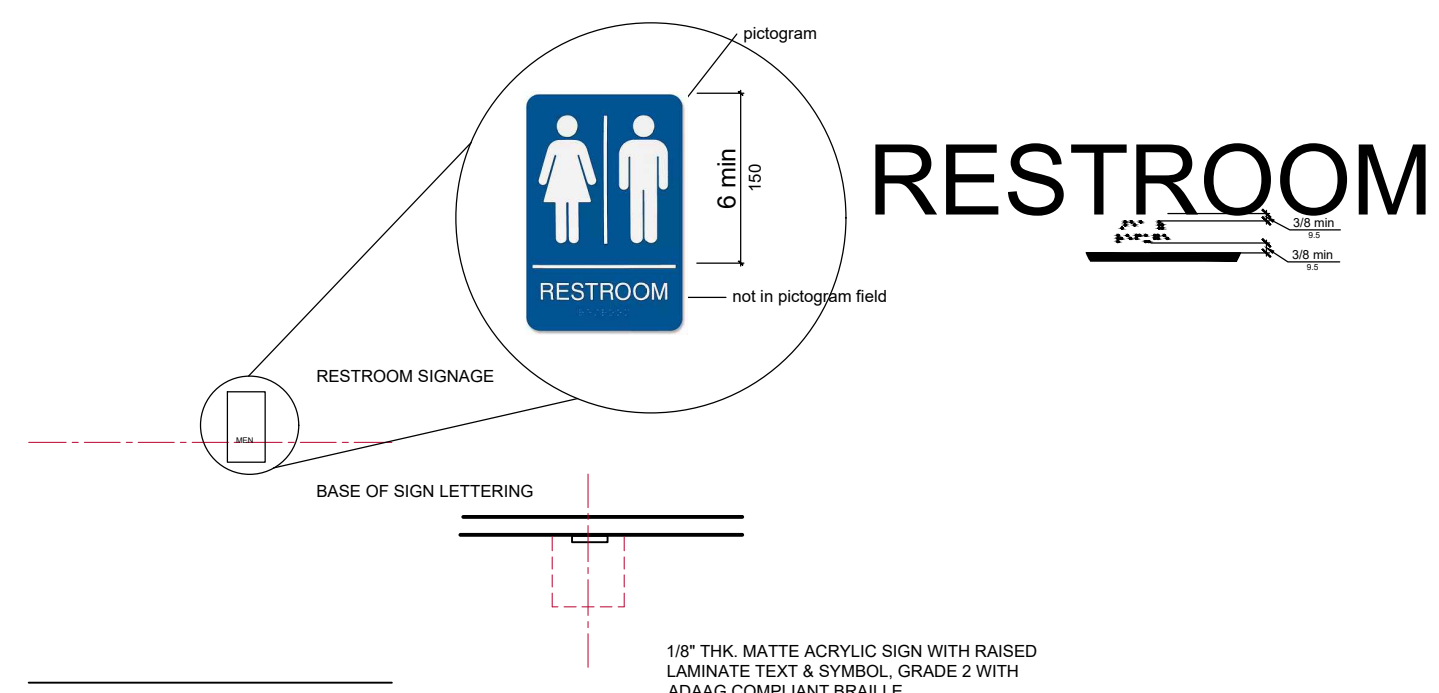


DOOR SCHEDULE																					
DOOR FIRE RATING (FRAME AND HDWR.'EQ. TO DOOR)						HARDWARE: ALL DOORS TO HAVE ICC/ANSI A117.1-2009 COMPLIANT HARDWARE											LOCKSET FUNCTION				
NUMBER		DOOR  SIZE	FIRE RATING	DOOR TYPE	DOOR MAT'L	FRAME TYPE	HINGES-1 1/2 PAIR	HINGES-3 PAIR	LATCHSET	LOCKSET	HORIZONTAL PANIC DEVICE	PUSH/PULL	CLOSER	THRESHOLD	WEATHERSTRIP FULL	PUSH BAR	DEADBOLT W/ THUMBTURN	P A P C O E	PASSAGE PRIVACY STOREROOM CLOSET OFFICE PUSHBAR ENTRANCE	P/P CL	PUSH/PULL CLASSROOM
																		REMARKS			
A 100	ENTRY	3'-0" x 7'-0"	A	ALUM	ALUM													P/P	PROVIDE OPEN/CLOSED INDICATOR AT DEADBOLT		
A 101	CASHIER	3'-0" x 4'-0"	B	WD	HM													O			
A 102	OFFICE	3'-0" x 7'-0"	D	WD	HM													O			
A 103	DRY STORAGE	3'-0" x 7'-0"	C	HM	HM													EX			
A 104	UNISEX RESTROOM	3'-0" x 7'-0"	D	WD	HM													P			

NOTE: ALL DOOR HARDWARE TO BE COMPLY WITH THE INTERIOR AT ALL TIMES



**RESTROOM ELEVATIONS**  
SCALE: 1/4" = 1'-0"

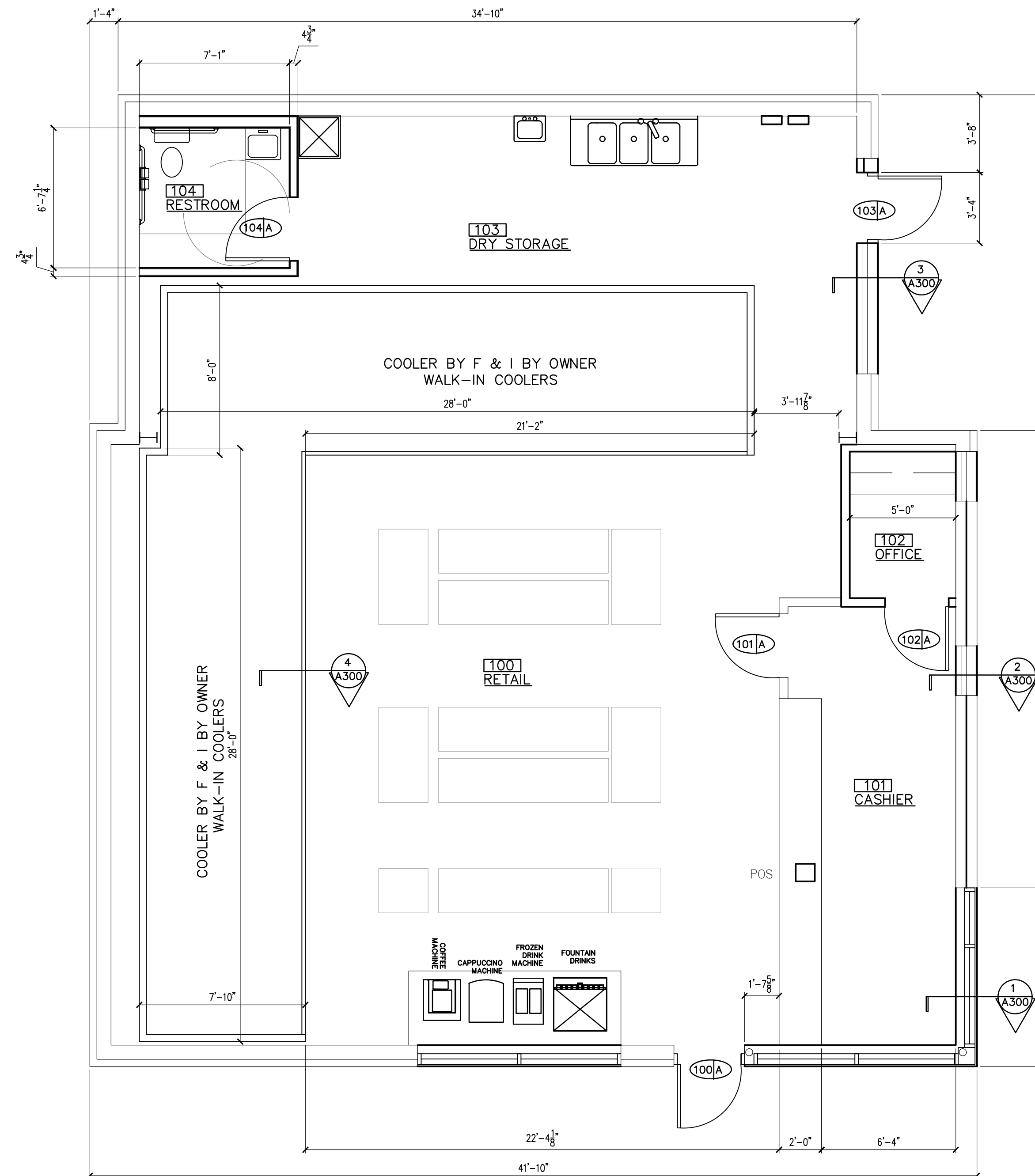


**RESTROOM SIGNAGE**

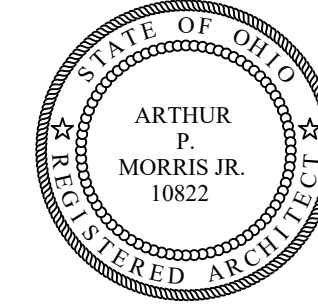
ROOM FINISH SCHEDULE																					
ROOM		FLOOR				BASE		WALLS								CEILINGS		REMARKS			
		CERAMIC TILE	SEALED CONCRETE	VCT				NORTH		SOUTH		EAST		WEST							
NUMBER	NAME							4" COVER VINYL				MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH
100	RETAIL							1	P	1	P	1	P	1	P	5	---	9'-8"			
101	CASHIER							1	P	1	P	1	P	---	---	5	---	9'-8"			
102	OFFICE							1	P	1	P	1	P	1	P	5	---	9'-8"			
103	DRY STORAGE							1	P	1	P	1	P	1	P	5	---	9'-8"			
104	UNISEX RESTROOM							1	P	1	P	1	P	1	P	2	1	8'-0"			

1 = PAINTED DRYWALL/GMU

S = STAIN



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



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REMODELING FOR:  
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29000 LAKESHORE BLVD.  
WILLOWICK, OHIO 44095

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REMARKS

DATE

REVISION

SD:

DD:

FINAL:

DRAWN BY: AM

CHECKED BY: AM

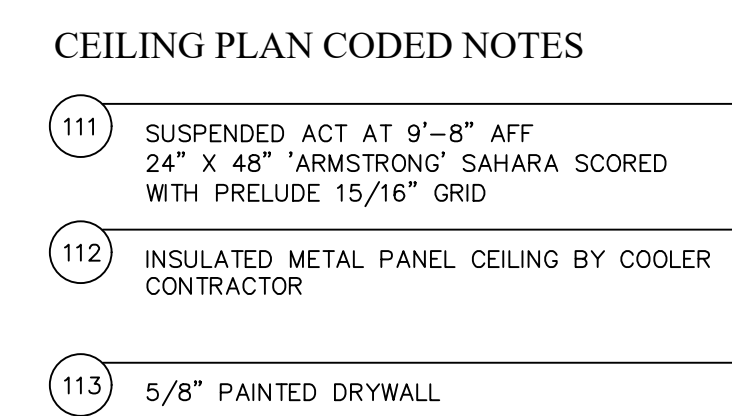
REVIEWED BY: AM


VERIFY ALL  
DIMENSIONS IN FIELD

**251101**

FLOOR PLAN


**A100**



  
**AM ARCHITECTURE, INC.**  
ARCHITECTURE • DESIGN • BUILD

7210 GRANBY DRIVE  
HUDSON, OHIO 44326

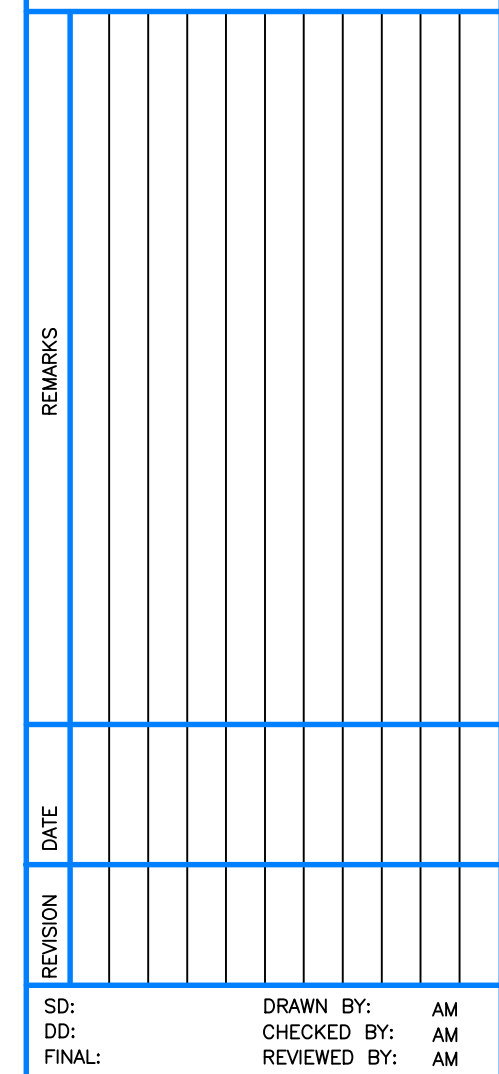
Phone (330) 881-4128  
EMail: [apm.amarchitecture@outlook.com](mailto:apm.amarchitecture@outlook.com)



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A110

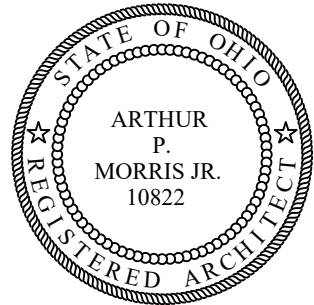




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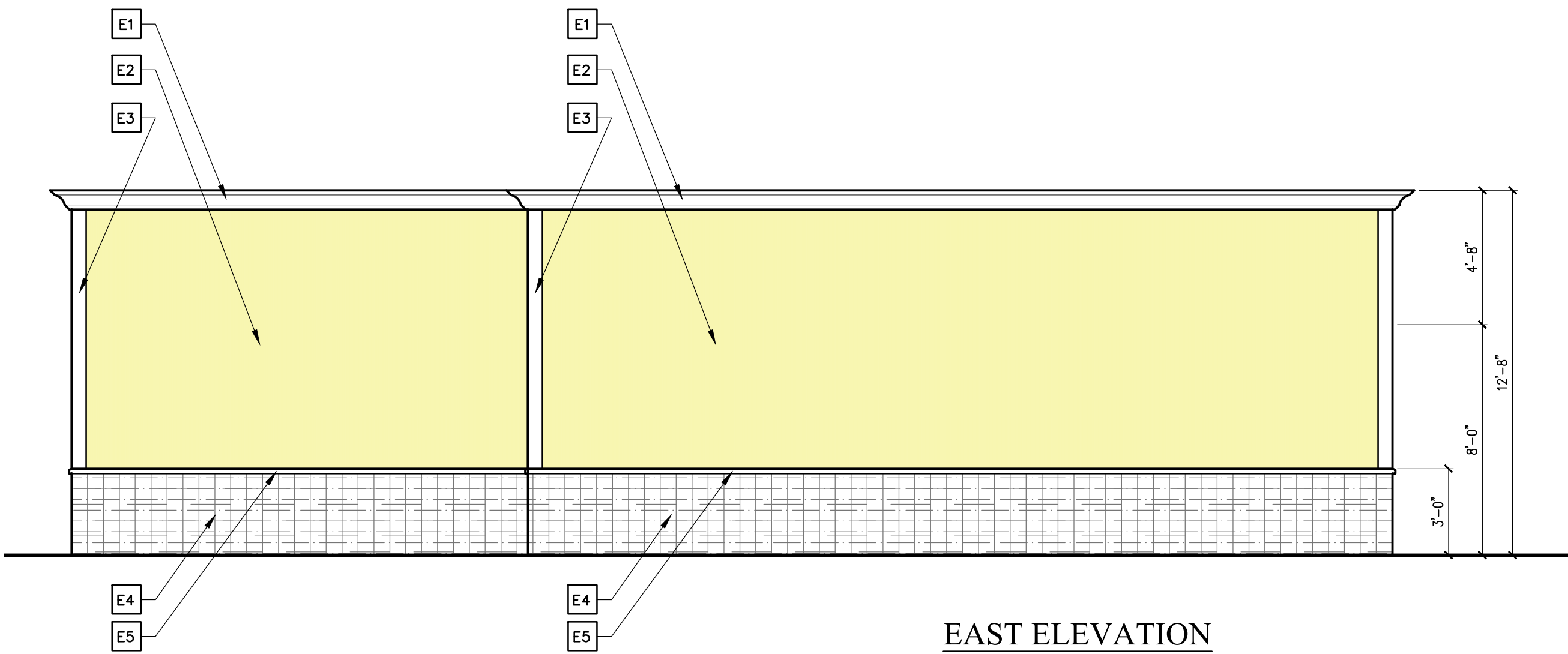
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WILLOWICK, OHIO 44095

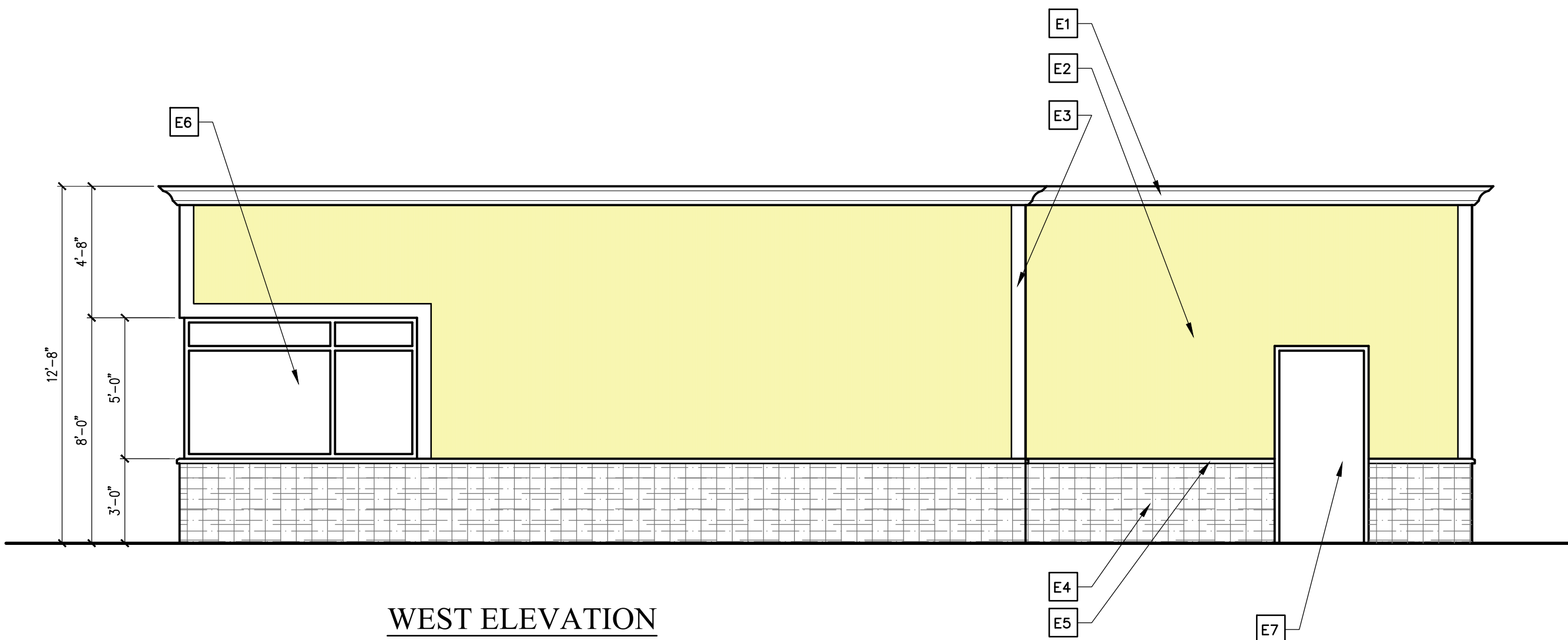
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EXTERIOR ELEVATION CODED NOTES

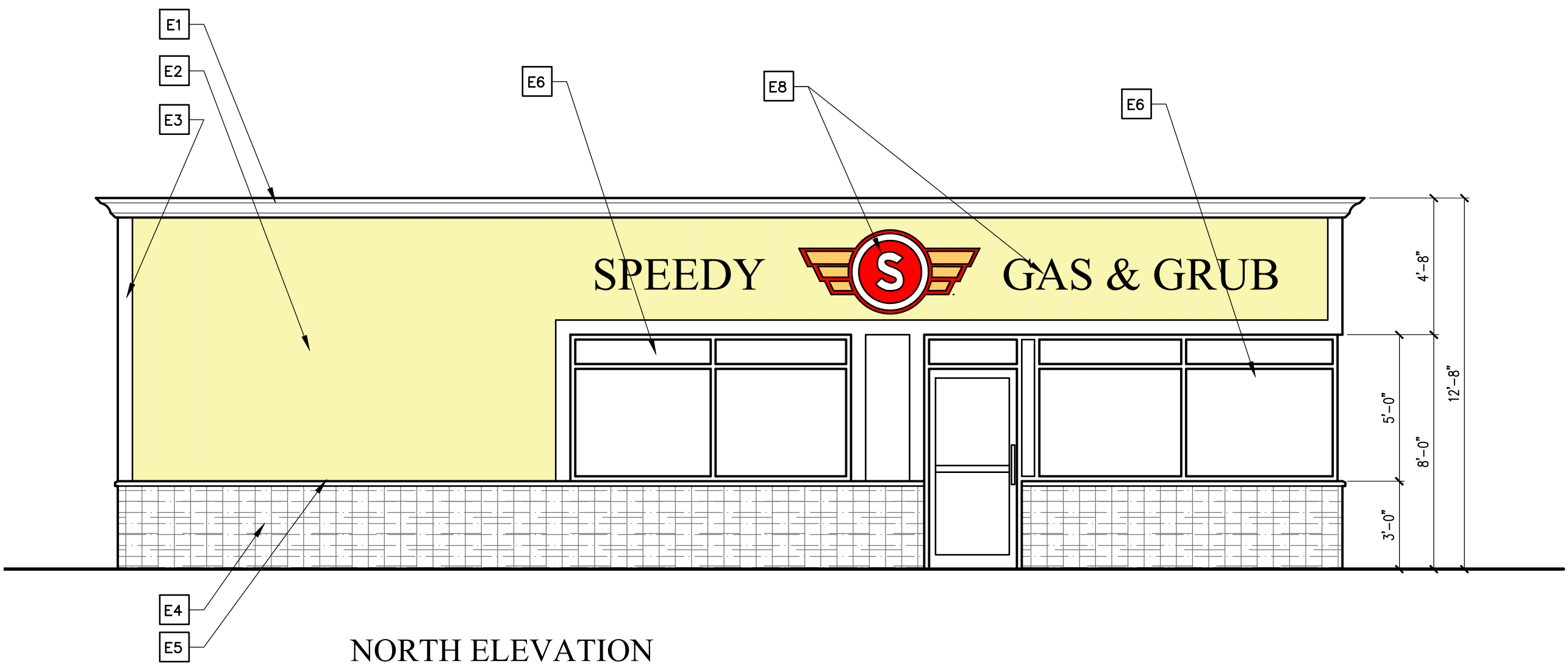
- E1 PAINTED FIBERGLASS TRIM MOULD
- E2 2" PRE-COLORED EIFS
- E3 2" EIFS CORNER TRIM [OWNER ALTERNATE FOR AZAK]
- E4 STONE VENEER
- E5 STONE VENEER-MATCHING SILL WITH 1" PROJECTION
- E6 ALUMINUM STOREFRONT WINDOWS/DOORS
- E7 INSULATED HOLLOW METAL DOOR AND FRAME
- E8 INTERNALLY ILLUMINATED SIGNAGE- BY OWNER
- E9 PREFINISHED METAL VENEER AND COPING
- E10 PAINTED CMU



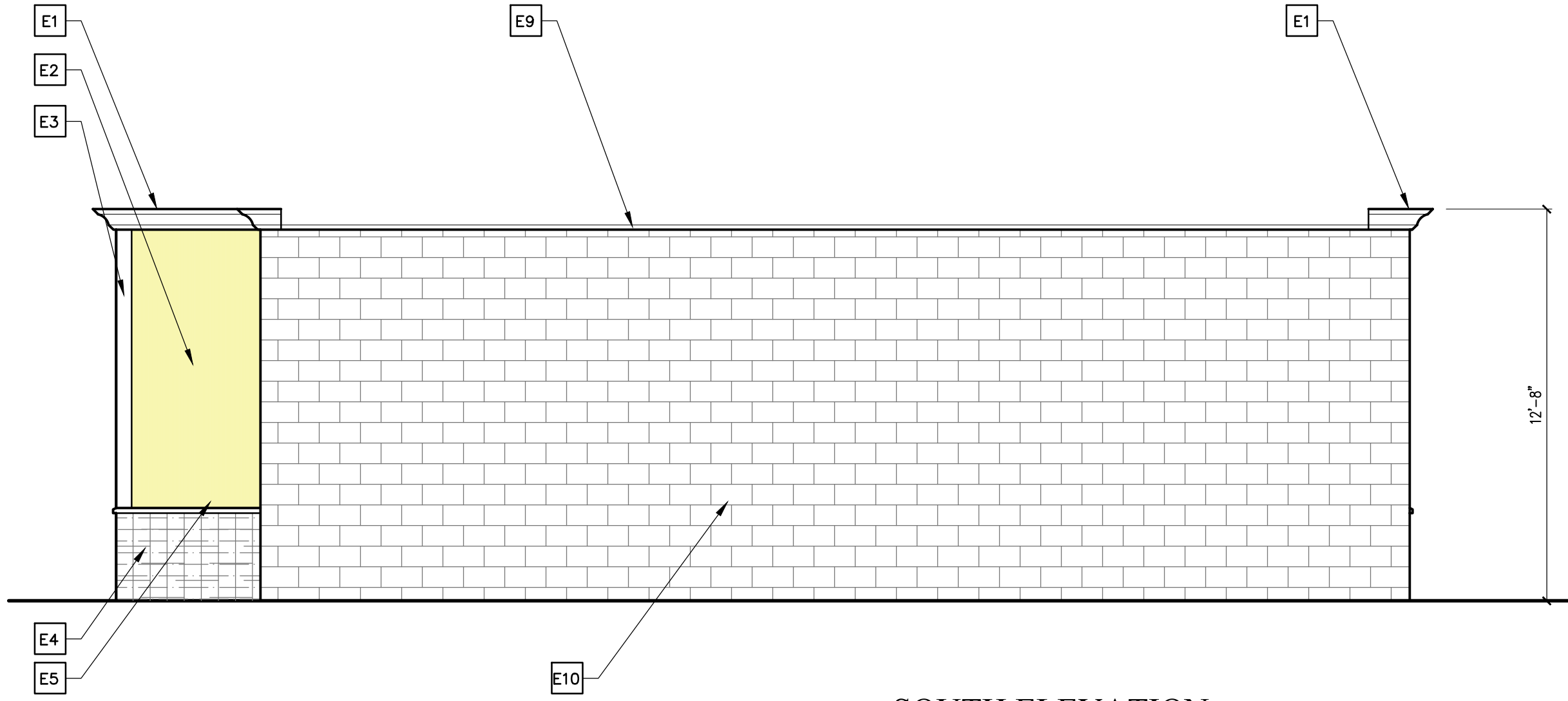
EAST ELEVATION  
SCALE: 1/8" = 1'-0"



WEST ELEVATION  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATIONS  
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

A400