

City of Willowick PLAN REVIEW BOARD

Thursday, February 23, 2023 at 3:00 PM Willowick Building & Service Center

ADA NOTICE

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

AGENDA

- 1. Call meeting to order
- 2. Roll call
- 3. Approval of minutes
 - 1. Plan Review Board Meeting Minutes January 26, 2023
- 4. New business
 - 1. Lake Hospital System c/o Everstream Solutions Located at 29804 Lakeshore Blvd
 - 2. Premier Smiles c/o Everstream Solutions Located at 29100 Lakeshore Blvd
 - 3. Mazzola Supply LLC Located at 1107 E. 305th Street
 - 4. Goodwill Located at 30040 Lakeshore Blvd #28
- 5. Public portion
- 6. Old business
- 7. Miscellaneous
- 8. Adjournment



City of Willowick PLAN REVIEW BOARD

Thursday, January 26, 2023 at 3:00 PM Willowick Building & Service Center

ADA NOTICE

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

MINUTES

1. Call meeting to order

Chief Brennan called the January 26th, 2023 Plan Review Board meeting to order at 3:05pm.

Roll call

PRESENT Chief Brennan Chief Turner Tim McLaughlin Mike Lazor

ALSO PRESENT

Ken Pintar

Approval of minutes

January 12th 2023 - Plan Review Board Minutes

Motion to approve January 12th, 2023, meeting minutes made by Tim McLaughlin, Seconded by Mike Lazor.

Voting Yea: Chief Brennan, Chief Turner, Tim McLaughlin, Mike Lazor

New business

Good Vibes Beauty - located at 1265 E. 305th Street

Chief Brennan advised that this is a name change for an existing business with the same owner. This business was formally known as The Beauty Bar and the submitted name change is Good Vibes Beauty.

Motion made to approve the name change to Good Vibes Beauty by Chief Turner, Seconded by Mike Lazor.

Voting Yea: Chief Brennan, Chief Turner, Tim McLaughlin, Mike Lazor

Greenlight Matchmaking Services, LLC - located at 259 Shoregate Mall

Charisse Green was present representing Greenlight Matchmaking Services, LLC. Chief Brennan asked Charrise to provide a description of the type of business Greenlight Matchmaking Services LLC is. Charrise stated that it is going to be a dating service however it is more than that, she stated they promote long term commitment and/or marriage counseling. It is more of a service set up for people that need counseling such as grief recovery. She stated that based on the full scope of business that is why her slogan is "It is more than a dating service". Most of the people that will be coming in are people in need of counseling, they may be coming out of divorces or something along those lines, she stated that they plan to provide outreach. Chief Brennan asked if this is like a therapy. Charisse stated that yes because individuals that would come in for the dating aspect won't be rejected, they do a behavioral assessment and if there are any indication that raises a red flag with the counselors, they are promoted for counseling. Chief Brennan asked if there is anyone that has a PHD that is affiliated with the business, Charisse stated that she has a bachelor's degree in sociology and a masters of community health education. Chief Brennan advised that the reason he was asking was because in that district, a retail district the city has uses spelled out in the ordinance and one of the uses is medical offices. She stated that the services will be external services, this space would be used for the administrative purposes of the business, conducting background checks and assessments. There was some further discussion on the uses allowed in a retail district and based on the submittal for this business it looks as if Greenlight Matchmaking Services, LLC is presenting as a service and services need to go in front of the Planning Commission and City Council. Chief Brennan advised that he would give her a call following the meeting to go over the next steps.

Motion made to approve Greenlight Matchmaking Services, LLC pending the approval from Planning Commission and City Council by Mike Lazor, Seconded by Tim McLaughlin. Voting Yea: Chief Brennan, Chief Turner, Tim McLaughlin, Mike Lazor

After further discussion following this meeting with the Law Director it was determined that this business does not need to go to Planning Commission or City Council as the use of this business does fall under the allowed uses in this district as it is more administrative. As the Plan Review Board has already approved this business Greenlight Matchmaking Services, LLC can move forward with their process to open and operate.

Public portion

Public portion was opened and closed at 3:13pm with no one present.

Old business

Cheif Brennan stated that he would like to bring back to the table Mazzola Supply located at 30521 Euclid Ave.

Motion made to bring back to the table Mazzola Supply to present a revised use of his business made by Chief Turner, Seconded by Chief Brennan.

Voting Yea: Chief Brennan, Chief Turner, Tim McLaughlin, Mike Lazor

Mazzola Supply (revised plan - previously tabled) - located at 30521 Euclid Ave.

Mike Mazzola was present to provide his revised plan of use for 30521 Euclid Ave.

Mike Mazzola stated that his intention is to not complete mixing/manufacturing on site as previously stated. Mulch and topsoil he will be just bagging and selling, the cleaning of the main yard will be brought to 30521 Euclid Ave and put in dumpsters, then it is transported to Middlefield where its processed and then bought back.

Plan Review Board Minutes

1/26/2023

Chief Brennan stated that he would like to make a motion to approve Mazzola Supply located at 30521 Euclid Ave to sell mulch, compost and firewood.

Motion made to approve Mazzola Supply's revised use of business made by Mike Lazor, Seconded by Tim McLaughlin.

Voting Yea: Chief Brennan, Chief Turner, Tim McLaughlin, Mike Lazor

Miscellaneous

None.

Adjournment

Motion made to adjourn January 26th, 2023 Plan Review Board meeting at 3:22pm made by Chief Turner, Seconded by Chief Brennan.

Voting Yea: Chief Brennan, Chief Turner, Tim McLaughlin, Mike Lazor



PERMIT FEE: \$60.00

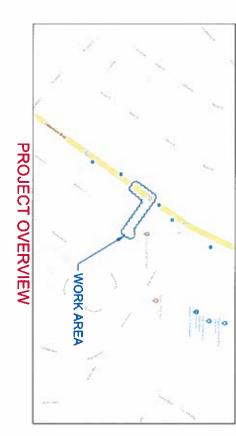
CITY OF WILLOWICK PLAN REVIEW BOARD APPLICATION FOR PERMIT TO OCCUPY FOR BUSINESS, COMMERCIAL, INDUSTRIAL, ETC. YOU MUST FILL OUT ENTIRE APPLICATION 440-516-3000

DATE: 1/19/23		
Location of Occupancy: 29804 LAI		
	RESS) <u>Everstream Solutions - 1228 Eucl</u>	id Ave Suite 250
busiliess Owlier's Name & Address	Liverstream Solutions - 1226 Euch	id 11ve. Suite 25v
CITY/STATE/ZIP: Cleveland, OH	44115	
Telephone Number: 216.923.2244	Fax Number:	
		Or Social Security Number
OWNED OF PROPERTY/NAME/ADDI	RESS/TELEPHONE NUMBER: Lake Hospi	tal System Inc
OWNER OF PROPERTY MAINLE ADDI	RESS/TEEFHONE NOMBER.	
SUBMIT NEW DETAILED FLOOR PLAN	N: n/a SQ. FT. HABITABLE FLOO	R AREA FOR OCCUPANCY: n/a
Building Size: <u>n/a</u>	Total Number	Of Employees:n/a
Intended Number of Occupants:n	/a Total Number of Seating : n/a	
Site Plan With Number of Paved Park	king Spaces: n/a	Hours Of Operation: n/a
Letter of Intent: n/a	Denvious HonoC Other Best 1 St	uctures Proposed Use: Fiber optic installation
Letter or intent: 11/4	Previous Use: <u>C - Other Retail Str</u>	uctures Proposed Ose: There optic installation
NAME OF PRINCIPAL OR CONTACT F	PERSON FOR NEW BUSINESS: Michelle	e Fisher
Home Address/City/Zip: 1228 Euc	lid Ave. Cleveland, OH 44115	_Telephone Number: <u>216.923.224</u> 4
above. Any change in the purpose of Zoning Department. <u>A final approva</u>	occupancy will not be made without app <u>I by The Willowick Building Dept.</u> (440)51 by further agree to maintain the above p	and that the premises will be used for the purpose stated roval from Lake County Building, Willowick Fire & Willowick 6-3000 or a representative thereof, must be complied with premises in compliance with the ordinances of the City of Wil-
Applicant's Signature: Michelle for	ishes	Date: 1/19/23
Office use only:		
Zoning District:	Authorized Occupants:	
TEMPORARY APPROVED BY:	Date:	
Zoning Dept. Inspected by:		DATE:
Zoning Permit #	Zoning Permit Fee \$_	
Fire Dept. Inspected By:		Date:

everstream

ENGINEERING SERVICES

SOF 64772 WILLOWICK HEALTH CENTER



SOF 64772
CONSTRUCTION DRAWING

29804 LAKESHORE BLVD WILLOWICK, OH. 44095 LAKE COUNTY

POLE OWNERS:

PROJECT STATUS: CONSTRUCTION DRAWING STATUS DATE: 1/18/23

ASSOCIATED PERMITS: CITY OF WILLOWICK

MAINTENANCE OF ACCESS AND TRAFFIC

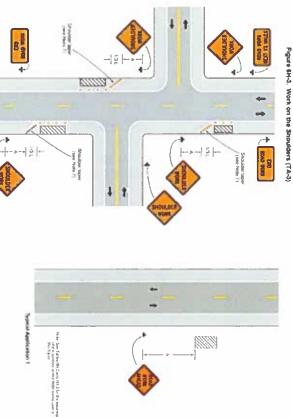
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Page 733

Figure 6H-1. Work Beyond the Shoulder (TA-1)



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Page 726 Table 6H-2: Meaning of Symbols on Typical Application

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Table 6H		
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Meaning o		
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Diagrams		

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LIGHT POLE **ELECTRICAL LINE ELECTRICAL VAULT**

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(Jrban ihigh speed) *	350	950	986
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ROB WOOD

Underground Fiber Existing Conduit Aerial Fiber + Seck

Slock Loop Read Pole Splice Point

Ex. Pole

STOBILLS

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Pr. Guy & Anchor Ex. Guy & Anchor

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SCH. 80 0'
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MATERIAL DATA TOTAL FOOTAGES

Pole-to-Pole Guy

LINETYPES

EGENDS

See Tables 8+ 2 and 8+ 3 for the meaning of the symbols and/or later pations used in this figure

Typical Application 3

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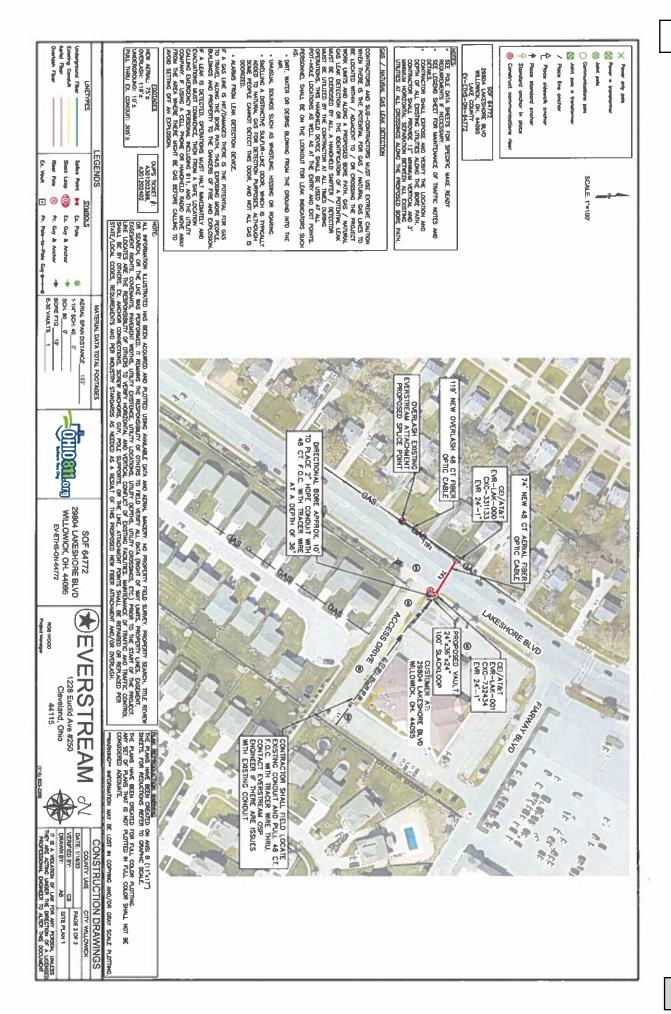
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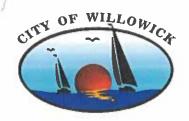
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PROPOSED	SYMBOL KEY
EXISTING	OTHER UTILITIES

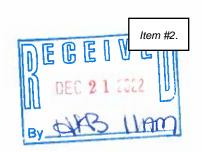
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Surveyor	-ტ	FIRE HYDRANT
Temperary barner with warning light	∑\$	WATER VALVE
Traffic or bedressen signal	87	STORM WATER LINE
Truck-inquirted allengator	8	STORM WATER UTILITY
Type leaveness	- PAS	WASTE WATER LINE
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PERMIT FEE: \$60.00

CITY OF WILLOWICK PLAN REVIEW BOARD APPLICATION FOR PERMIT TO OCCUPY FOR BUSINESS, COMMERCIAL, INDUSTRIAL, ETC. YOU MUST FILL OUT ENTIRE APPLICATION 440-516-3000



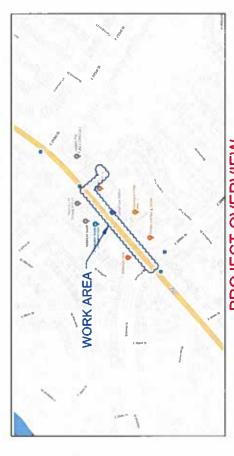
DATE: <u>12/14/22</u>
Location of Occupancy: 29100 LAKESHORE BLVD Business Name:
Business Owner's Name & Address: Everstream Solutions - 1228 Euclid Ave. Suite 250
CITY/STATE/ZIP: Cleveland, OH 44115
Telephone Number: 216.923.2244 Fax Number: Federal ID Number: Or Social Security Number
OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: 29100 LAKESHORE BOULEVARD LLC C/O PREMIER SMILES
SUBMIT NEW DETAILED FLOOR PLAN: n/a SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: n/a
Building Size: n/a Total Number Of Employees: n/a
Intended Number of Occupants: n/a Total Number of Seating : n/a
Site Plan With Number of Paved Parking Spaces: n/a Hours Of Operation : n/a
Letter of Intent: n/a Previous Use: C - Other Retail Structures Proposed Use: Fiber optic installation
NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: Michelle Harmon
Home Address/City/Zip: 1228 Euclid Avc. Cleveland, OH 44115 Telephone Number: 216.923.2244
I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpose stated above. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire & Willowick Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be complied with before opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of the City of Willowick. DocuBigned by: Hickelle Harmon
Applicant's Signature:
Office use only:
Zoning District: Authorized Occupants:
TEMPORARY APPROVED BY: Date:
Zoning Dept. Inspected by: DATE:
Zoning Permit # Zoning Permit Fee \$
Fire Dept. Inspected By: Date :

everstream

ENGINEERING SERVICES

SOF 51538

GROWING SMILES PREMIER SMILES



PROJECT OVERVIEW

CONSTRUCTION DRAWING SOF 51538

29100 LAKESHORE BLVD. WILLOWICK, OH. 44095 LAKE COUNTY

ASSOCIATED PERMITS: CITY OF WILLOWICK POLE OWNERS: CEI AT&T

> PROJECT STATUS: CONSTRUCTION DRAWING STATUS DATE: 11/30/22

MAINTENANCE OF ACCESS AND TRAFFIC

DURING THE CONSTRUCTION PERIOD; SDEWALCS, SHOULDERS, TRANEL LANE(S), OR STREETS MAY HAVE TO BE TEMPORARILY CLOSED OR RESTRICTED FOR THE UNLIANANCY LOLAND OF ECUMPHANTOR RESPONSIBILITY TO CORDINATE DIRECTLY WITH THE LOCAL CONFERENCE RESPONSIBILITY TO CORDINATE DIRECTLY WITH THE LOCAL CONFERENCE ALTHORNIES ON ARY SUCH CLOSINES AND MUST GOTAN WRITHEN PERAISSON FROM THE APPROPRIATE AUTHORNIES PRORY TO IMPLEMENTING SUCH CLOSINES OR RESTRICTIONS. ANY CLOSINE OR RESTRICTION MUST COMPLY WITH THE STATE MANUAL OF UNIFORM CONTRICL DEVICES (AUTCD) FOR STREETS AND INHUMANYS (LATEST EDITION AND REPORTED). AND THE CONTRICL OF OUR PROPRIATES IN ECCUMPACTOR SHALL PREPARE AND SHARMIT REQUIREDENTS. THE CONTRICTION TRAFFIC WAINTENINGS OF CONTRACTOR. ALL RECOURED CONSTRUCTION TRAFFIC WAINTENINGS DEVICES SHALL BE PROVIDED, RECEITED AND MAINTANED, AND ULTIMATELY REMOVED BY THE CONTRACTOR.

THE CONTRACTOR SHALL MANTAN SAFE AND SATISFACTORY ACCESS TO ALL ABUTTING PROPERTIES AND INTERSECTING STREETS AT ALL TIMES DURING THE CONSTRUCTION OF THE BAPROCELED AT THE END OF EACH WORK DAY. PER THE STATE WIND AND OTHER APPLICABLE APPROPRIATE CONFORMED FOR THE CONTRACTOR SHALL BE BACKFILED AT THE END OF EACH WORK DAY SARRELOSES, APPROCHAEDS SLICH AS BARRELOSES, APPROCHAEDS SLICH AS BARRELOSES, CONES, SIGNACE, BARRELS, MESSAGE BOARDS, LIGHTING, PLAGED, LAW ENFORCEMENT OFFICERS, ETC. TO ANDID DAMANGE AND FORECOME TRAVERSING THE CONSTRUCTION AREA.

OTHER UTILITIES SYMBOL KEY

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24"x36"x24" VAULT 30"x60"x30" VAULT 36"x60"x36" VAULT Ø ≥

Figure 5H-1. Work Beyond the Shoulder (TA-1)

Page 733

Figure 6H-3. Work on the Shoulders (TA-3)

2012 Edition

4

TELECOM MANHOLE

GAS VALVE

B ≱X ⊙

TELECOM CABINET

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TELECOM LINE CABLE TV LINE

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CONDUIT

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Page 728

FIRE HYDRANT WATER LINE RAILROAD # **-**Ф-

UG SLACK LOOP

Table 6H-2. Meaning of Symbols on Typical Application Diagrams

Changeable message

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ELECTRICAL TRANSFORMER

ELECTRICAL VAULT

ELECTRICAL LINE

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WASTE WATER MANHOLE ELECTRICAL PEDESTAL

STORM WATER UTILITY

WASTE WATER LINE

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STORM WATER LINE

WATER VALVE

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Table 6H-3. Meaning of Letter Codes on Typical Application Diagrams

0-0	U	100	350	300	2,640
Distance Between Signs (Feet) **	6	100	350	200	1,500
	¥	100	350	300	1,000
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29100 LAKESHORE BLVD. WILLOWICK, OH. 44095 000

MATERIAL DATA TOTAL FOOTABES

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AERIAL SPAN DISTANCE 1-14" SCH. 40 0"

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Ex. Pole

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Splice Point Stack Loop Reer Pote

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LEGENDS

Typical Application 3

i. See Tables 8+2 and 8+3. For the meaning of the symbols andoor letter codes used in the figure

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★EVERSTREAM 1228 Euclid Ave #250 Cleveland, Ohio 44115 ROB WOOD Protect Manager

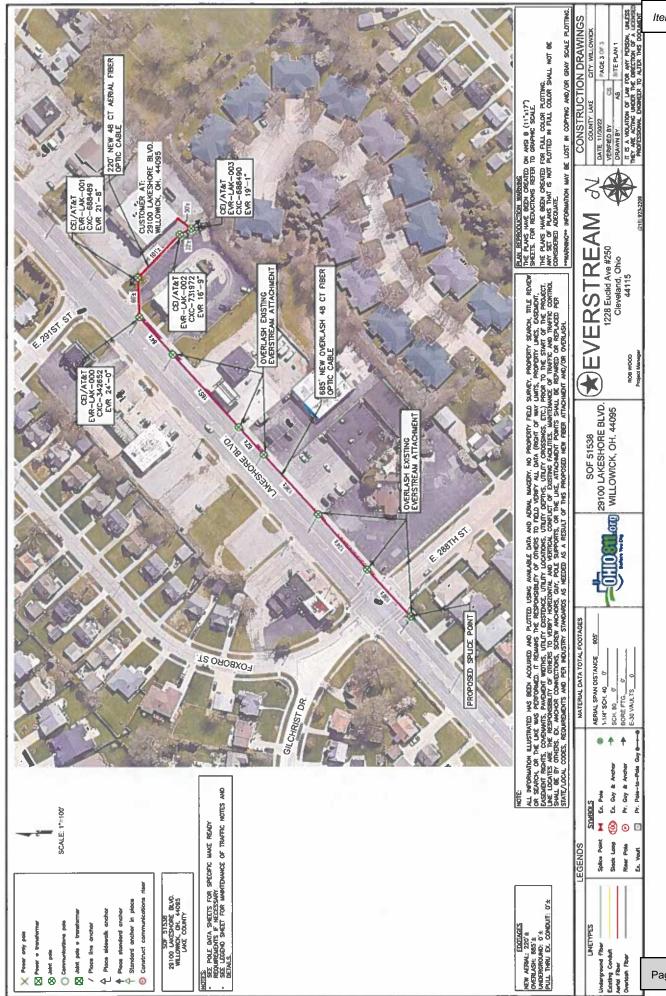
CONSTRUCTION DRAWINGS COUNTY: LAKE
DATE: 11/2022
VERIFIED BY: 6

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSER PROFESSIONAL ENGINEER TO ALTER THIS DIQUILIENT CS LEGEND

CITY; WILLOWICH

PAGE 2 OF 3

Page 11





16

CITY OF WILLOWICK PLAN REVIEW BOARD APPLICATION FOR PERMIT TO OCCUPY FOR BUSINESS, COMMERCIAL, INDUSTRIAL, ETC. YOU MUST FILL OUT ENTIRE APPLICATION 440-516-3000

PERMIT FEE: \$60.00 60 CO	
Location of Occupancy: 1107 FAST 305 Business Name: MAZZOLA Supply	
Business Owner's Name & Address: Mike MAZZULA 9032 FAST MOUN	Mainmet
CITY/STATE/ZIP: Chardon onto 440 24	
LILIO-043-3313 Fax Number: N/A Federal ID Number: 270-6 Or Social Security	
OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: DOC - FORMICA.	
318 Stanford Dr wicklife also 44094	
SUBMIT NEW DETAILED FLOOR PLAN : SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: 200	mike .
Building Size: 10 × 20 Total Number Of Employees: 6 Me.	marrula-
Intended Number of Occupants: / Total Number of Seating: 2	,
Site Plan With Number of Paved Parking Spaces: Hours Of Operation:	<u>t</u>
Letter of Intent: Previous Use: Proposed Use:	Phone CAlls.
NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: MIKE MAZZOLA OB32 + AS+ MOUNTAIN VIEW Chanded OS+10 440-285 Home Address/City/Zip: 440-285	HOVE
I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpobove. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be conbefore opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of t	& Willowick mplied with
Applicant's Signature: 2-6-20	23
Office use only:	
Zoning District: Authorized Occupants:	
TEMPORARY APPROVED BY: Date:	
Zoning Dept. Inspected by: DATE:	
Zoning Permit # Zoning Permit Fee \$	
Fire Dept. Inspected By: Date :	

CITY OF WILLOWICK-APPLICATION FOR COMMERCIAL ESTABLISHMENT LICENSE REQUIRED AFTER APPROVAL.

Note* A separate permit is required for all new signs from the Willowick Building Department.

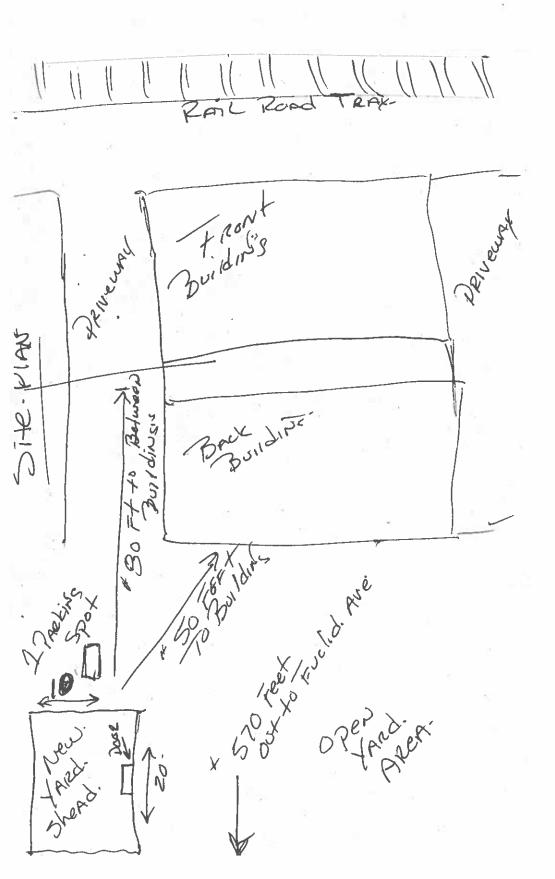
MikeMazzola 440-943-3313.

MAZZOLA Supply 21C. 1107 FAST 305th Willowick offo 4485

My. intent for the New YARD Stead is to Replace the 30+ YEAR Old ONE. + hAt is BE coming Very hand to maintain Roof Leaks. Floor. Rotting window Leaks ext, This is A None. Perminant Structure with NO Plumbing or Zunning water MINER Electric wak, over Head Lights And Sevenal outlets, outside Light. For Police Drive. thev: This YARD SteAd is Used for. Mo. to Return Phone CAVE. ANd DADEN WORK NO Staff, And Costomeris CAIL IN ORders Very Little to NO FOOT TRAFIC.

Thank you

Jewal Responsible chair Shelves





OLD HICKORY BUILDINGS, LLC MURFREESBORO, TN 37133 P.O. BOX 331973

- GENERAL NOTES:

 1. STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 2017 OHIO BUILDING CODE.
- 2. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ABOVE CODES AT THE TIME OF
- 3. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS
- 4. STRUCTURES ARE CLASSIFIED AS "MINOR STORAGE FACILITIES" (RISK CATEGORY I) PER OBC TABLE 1604.5 AND SHOULD NOT BE USED FOR HUMAN HABITATION.
- 5. STRUCTURES ARE DESIGNED FOR LOCATIONS THAT HAVE A 3 SECOND WIND GUST OF 105 MPH FOR RISK CATEGORY I STRUCTURES PER OBC FIGURE 1609.3(3) AND ASCE 7-10 FIGURE 26.5-1C.
- 6. SIDING FASTENERS SHALL NOT BE INSTALLED IN PANEL SIDING GROOVES IN THE FIELD OF THE PANEL OR WHEN THE SIDING GROOVES OCCUR AT CUT EDGES OF THE SIDING PANEL.
- 7. STRUCTURES SHOULD HAVE 25 YEAR RATED FIBERGLASS/ ASPHALT SHINGLES OR 29 GA METAL ROOFING OVER WOOD WOOD FRAMING SHALL COMPLY WITH THE ANSI/AWC "NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD
- 9. ALL ROOF DECKING IS TO BE 1/6" OSB

TIEMS BY OTHERS:
THE FOLLOWING ITEMS ARE TO BE SUPPLIED AND
INSTALLED BY OTHERS. THESE ITEMS MAY BE SUBJECT
TO LOCAL JURISDICTION APPROVAL. OLD HICKORY

1. THE COMPLETE FOUNDATION AND TIE-DOWN SYSTEM BUILDINGS IS NOT RESPONSIBLE FOR THESE ITEMS CONSTRUCTION", 2015.

- 10. ALL SIDING IS TO BE %" TREATED T1-11 PLYWOOD OR %" LP SMART PANEL SIDING.
- 11. ALL FLOOR JOISTS ARE TO BE PRESSURE TREATED SYP #2, OR BETTER, UNLESS NOTED OTHERWISE. FLOOR JOISTS FOR 10' WIDE BUILDINGS ARE TO BE SYP #1, OR BETTER.
- OR BETTER ALL UN-TREATED WOOD FRAMING IS TO BE SPF #2
- ALL EXTERIOR NAILS ARE TO BE ZINC COATED.
- 14. ALL FLOOR DECKING IS TO BE %" OR %" PLYWOOD OR ENGINEERED FLOORING.
- ALL SKIDS ARE TO BE 4x6 PRESSURE TREATED. RATED FOR GROUND CONTACT.
- 16. SECTIONS AND DETAILS SHOWN ARE INTENDED TO BE TYPICAL AND SHALL APPLY AT ALL SIMILAR LOCATIONS, UNLESS NOTED OTHERWISE.

NOTE: CAC WIND PRESSURES SHOWN ARE FOR A 10 SQUARE FOOT EFFECTIVE AREA (A6) AND MAY BE REDUCED FOR LARGER AREAS AS ALLOWED BY CODE

1. RISK CATEGORY

2. FLOOR LIVE LOAD: 40 PSF

- 3. SNOW LOADS ARE BASED ON THE FOLLOWING: GROUND SNOW LOAD, Pg = 30 PSF FLAT ROOF SNOW LOAD, Pf = 20 PSF IMPORTANCE FACTOR, I = 0.8 EXPOSURE FACTOR, Ce = 1.0 THERMAL FACTOR, Ct = 1.2
- 4. WIND LOADS ARE BASED ON THE FOLLOWING: Vull = 105 MPH (OBC FIGURE 1609.3(3)) INTERNAL PRESSURE COEFFICIENT: RISK CATEGORY

COMPONENTS & CLADDING: ROOF-ZONE 1 = 10.0, -10.9 PSF ROOF-ZONE 2 = 10.0, -19.0 PSF ROOF-ZONE 3 = 10.0, -28.0 PSF WALL-ZONE 4 = 11.9, -12.9 PSF WALL-ZONE 5 = 11.9, -15.4 PSF

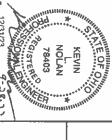
 $GCpi = \pm 0.18$

- PIERS (IF REQUIRED):

 1. PIERS ARE NOT REQUIRED WHEN THE SKIDS CAN BE ARE PERMITTED TO BE ORIENTED WITH THE LONG SIDE PARALLEL TO THE SKID PROVIDED THAT THE INTERIOR SKIDS SHALL BE ORIENTED WITH THE LONG SIDE PERPENDICULAR TO THE SKID. PIERS ALONG PERPENDICULAR TO THE SKID. PIERS ALONG THE INTERIOR SKID ARE ORIENTED THE OUTSIDE SKIDS OF BUILDINGS WITH 4 SKIDS SUPPORTED ON FIRM, LEVEL GROUND. PIERS ALONG
- 2. PIERS SHALL TYPICALLY BE 8"x8"x16" OPEN CELL OR SOLID BLOCK. OPEN CELL BLOCKS AND 2" THICK SOLID BLOCKS ARE NOT TO BE USED AS THE BASE OF ANY PLACED ON THEIR SIDE CELLS RUNNING VERTICALLY AND MUST NOT BE PIERS. OPEN CELL BLOCKS ARE TO BE PLACED ON TOP OF SOLID BLOCKS AS NEEDED WITH THE OPEN WITH THE GROUND AT EACH PIER SHALL BE A 4"x8"x16" SOLID CONCRETE BLOCKS, DRY STACKED TO A MAXIMUM HEIGHT OF 36". THE BLOCK IN CONTACT

CORNER PIERS OVER 20" TALL SHALL BE DOUBLE STACKED CONCRETE BLOCKS. TIE DOUBLE STACKED ON EACH ROW. BLOCKS BY ALTERNATING THE DIRECTION OF BLOCKS

- 3. OLD HICKORY BUILDINGS IS NOT RESPONSIBLE FOR SUPPORT THE PROPOSED STRUCTURE. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO DETERMINE IF SITE CONDITIONS ARE SUITABLE TO SUPPORT THE STRUCTURE THE PREPARATION OF THE PROPOSED SITE OR DETERMINATION OF THE SITE'S SUITABILITY TO
- 4. PIERS SHOWN ON SHEET S-1 ARE CONCEPTUAL AND MAY NOT REFLECT ACTUAL CONDITIONS. THE PIER LAYOUT MAY BE ADJUSTED AS NEEDED BASED ON SITE CONDITIONS, PROVIDED THAT THE MAXIMUM SPACING SHOWN IS NOT EXCEEDED.



12/31/23

)--SNOW=30PSF--OBC 2017

3. ELECTRICAL SERVICE HOOKUP 2. RAMPS, STAIRS, AND GENERAL ACCESS

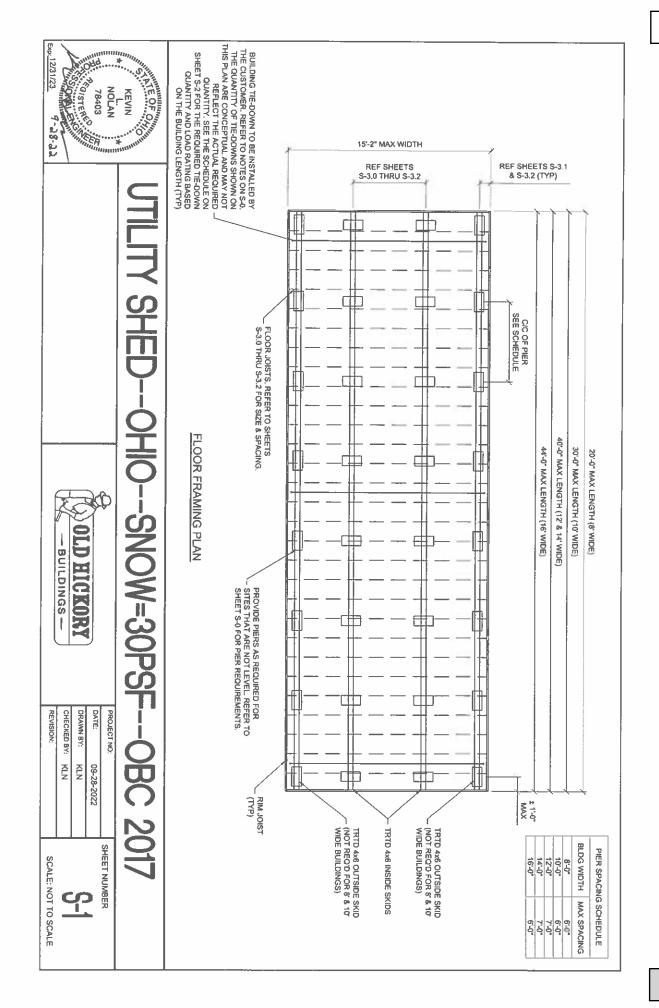


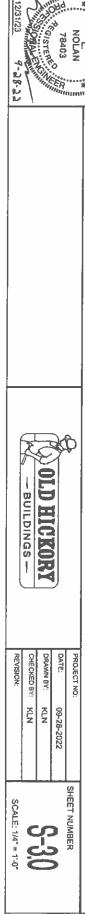
PROJECT NO:		SHEET N
DATE:	09-28-2022	
DRAWN BY:	KLN	
CHECKED BY:	KLN	

REVISION:

SCALE: NONE

17





<u>|</u>)--SNOW=30PSF--C NOTES: 1. PROVIDE A DOUBLE TOP PLATE ALONG THE SIDE WALLS WHEN THE RAFTER SPACING DOES NOT MATCH THE WALL STUD SPACING.

2. ACTUAL SKID SPACING MAY VARY PROVIDED THAT THE CENTER TO CENTER SPACING IS WITHIN THE MAXIMIN SPACING STATED.

3. 2x6 FRAMING MAY BE SUBSTITUTED FOR THE 2x4 FRAMING SHOWN.

THE SPACING OF THE 2x6 FRAMING SHALL BE AS SHOWN FOR THE 2x4.

CE OF O

KEVIN

85 1'-1070 7'-8" MAX 2x4 STUDS. SEE SCHEDULE : FOR MAX SPACING. 2x4 BOTTOM PLATE TOP PLATE. REFER TO NOTE 1 (2) 4x6 TRTD SKID 2x4 RAFTERS @ 24" O.C. MAX 5'-0" MIN 6'-6" MAX WIDE. 9.0 %" OSB DECKING WI FIBERGLASS/ASPHALT SHINGLES OR 29-GAGE METAL ROOFING. 2x4 TRTD FLOOR JOIST @ 16" O.C. MAX 2x4 BUILDING TIE @ 96" O.C. MAX %" OR %" PLYWOOD OR ENGINEERED FLOORING WALL SIDING, REFER TO GENERAL NOTE 10 ON SHEET S-0 **BUILDING SECTIONS**

2x4

TRTD FLOOR JOIST @ 16" O.C. MAX

5'-41/5" MIN 7'-8" MAX

%" OR %" PLYWOOD OR ENGINEERED FLOORING

(2) 4x6 TRTD SKID

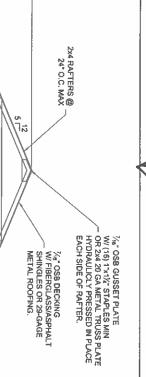
10' WIDE

WALL STUD SPACING SCHEDULE (REFER TO NOTE 1)

STUD SPACING

%" LP SMART PANEL %" T1-11 PLYWOOD WALL SIDING

16" MAX 24" MAX 10'-0"



W₆" OSB GUSSET PLATE
WI (16) 1"x1%" STAPLES MIN
OR 2x4 20 GA METAL TRUSS PLATE
HYDRAULICLY PRESSED IN PLACE

EACH SIDE OF RAFTER.

2-3<mark>7</mark>-

7'-8" MAX

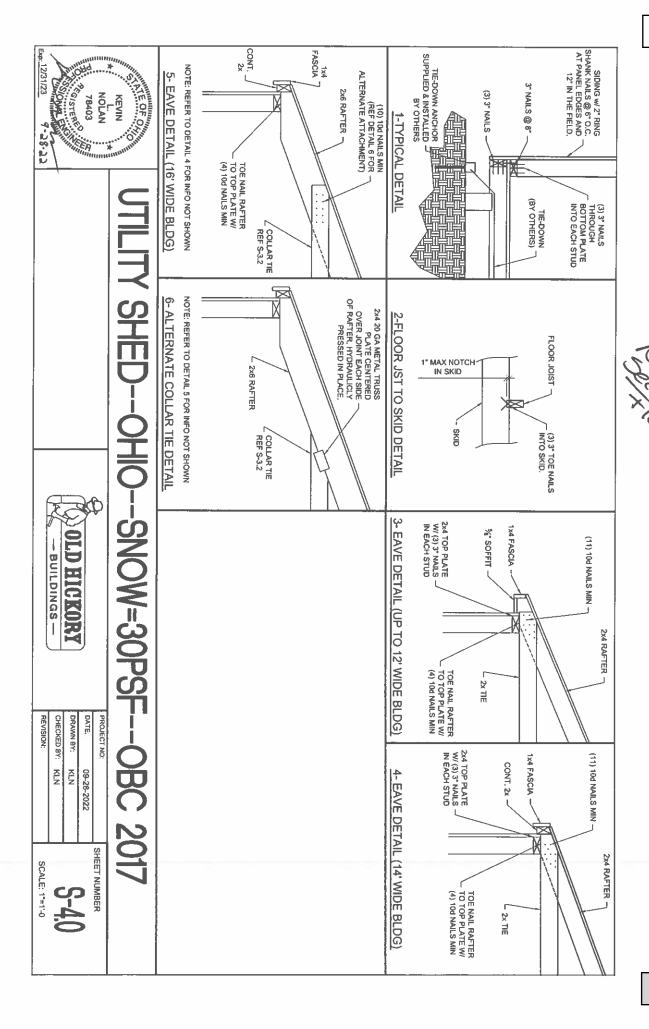
2x4 STUDS. SEE SCHEDULE -FOR MAX SPACING.

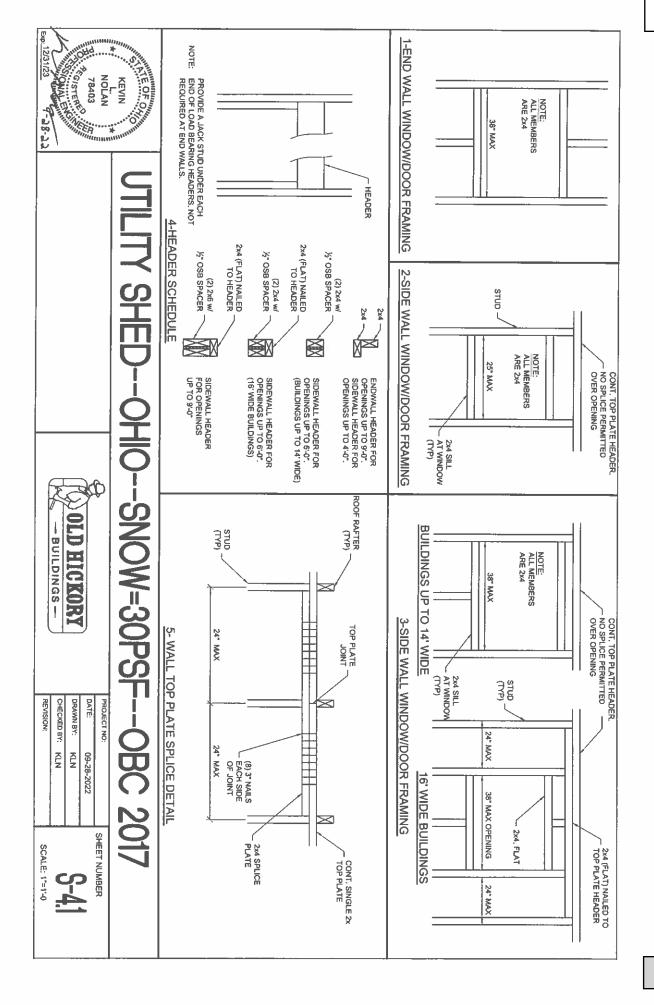
2x4 BUILDING TIE @ 72" O.C. MAX

WALL SIDING. REFER
TO GENERAL NOTE 10
ON SHEET S-0

TOP PLATE.
REFER TO NOTE 1

2x4 BOTTOM PLATE







PERMIT FEE: \$60.00

CITY OF WILLOWICK PLAN REVIEW BOARD APPLICATION FOR PERMIT TO OCCUPY FOR BUSINESS, COMMERCIAL, INDUSTRIAL, ETC. YOU MUST FILL OUT ENTIRE APPLICATION 440-516-3000

DATE:
Location of Occupancy: 30040 Lake Shore Blvd. Unit #28 (ADDRESS) Business Name: Goodwill Noustries OF GREATER CLUSELAND AND GAS
(ADDRESS) CENTRAL OHIO, INC. Business Owner's Name & Address: 408 NINTH ST. SW MAIN TREW COO
CITY/STATE/ZIP: CANTON OH 44707
Telephone Number: 330 - 445 - 1035 Fax Number: 330 - 454 - 9465 Federal ID Number: 34 - 0509 974 Or Social Security Number
OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: Philips Edison & Co. / Merrick Reynolds / 11501 Northlake Dr. Cincinnati, OH 45249 / 513-538-4412
SUBMIT NEW DETAILED FLOOR PLAN: SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: 31,625 SF
Building Size: 31,625 SF Total Number Of Employees: 25
Intended Number of Occupants: 372 Total Number of Seating: 0
Site Plan With Number of Paved Parking Spaces: X Hours Of Operation: 94 - 8P M - 5 114 - 6P 50NDA
Letter of Intent: Previous Use: Mercantile Proposed Use: Mercantile
NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: MARK TREW CHICH OPOLATING OFFICER
Home Address/City/Zip: 468 NINTH ST. SW CANTON OH Telephone Number: 330 - 451 - 9373
I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpose stated above. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire & Willowick Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be complied with before opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of the City of Willowick.
Applicant's Signature: Date: 2/14/23
Office use only:
Zoning District: Authorized Occupants:
TEMPORARY APPROVED BY:Date:
Zoning Dept. Inspected by: DATE:
Zoning Permit #Zoning Permit Fee \$
Fire Dept. Inspected By:

CITY OF WILLOWICK-APPLICATION FOR COMMERCIAL ESTABLISHMENT LICENSE REQUIRED <u>AFTER APPROVAL</u>. Note* A separate permit is required for all new signs from the Willowick Building Department.

Item #4.



Corporate Office 408 Ninth St. SW

Canton, OH 44707 P: 330-454-9461 F: 330-454-9465

Toll Free: 1-800-942-3577

February 14, 2023

City of Willowick Plan Review Board 30435 Lake Shore Boulevard Willowick, Ohio 44095

Please accept this letter of intent for Goodwill Industries of Greater Cleveland and East Central Ohio to occupy 30040 Lake Shore Boulevard, Unit #28 for our newest retail store location.

Goodwill Industries of Greater Cleveland and East Central Ohio is non-profit social enterprise that supports workforce, family strengthening, and community social services programs through the sale of donated goods at our retail stores. The sales from our twenty-three stores across Northeast Ohio supported over 18,000 people in our communities last year who participated in Goodwill programs. The addition of this location will allow Goodwill to further our mission in Willowick and across Lake County.

Goodwill retail stores collect donations of clothing and household items from the community through our attended donor doors to sell in our retail stores. Goodwill's newest retail location in Willowick will employ twenty-five individuals to work at the store. The store will operate seven days per week (Monday-Saturday 9am to 8pm) (Sundays 11am-6pm). In addition, Goodwill stores serve as a training ground for individuals with disabilities and workplace barriers to gain valuable experience and train and prepare for employment in the community.

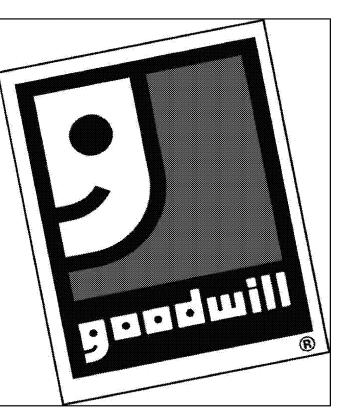
We look forward to becoming a greater part of the Willowick community through this new location and are excited to partner with the community to enhance the lives of those who are most in need in our community.

Sincerely,

Mark Trew-

Chief Operating Officer

Goodwill Industries of Greater Cleveland and East Central Ohio, Inc.



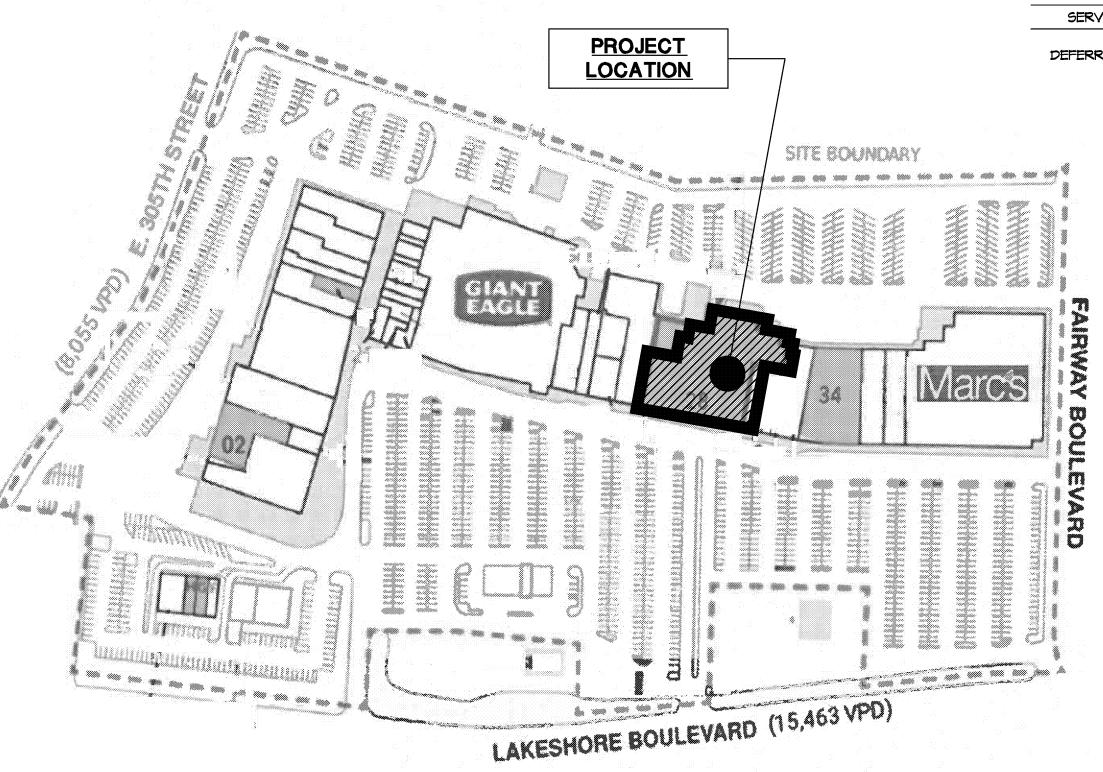
SHOREGATE TOWN CENTER 30040 LAKE SHORE BLVD. UNIT #28

WILLOWICK, OH 44095

ABBREVIATION LIST

ADDITE VIATION LIC			
ABOVE FINISHED FLOOR	AFF	LAMINATED PLASTIC	LAM
ADJUSTABLE	LDA	LANDLORD	LL
ALUMINUM	ALUM	LEFT-HAND	L₩
ANCHOR BOLT	AB	LONG LEG HORIZONTAL	LLH
APPROXIMATELY	APPROX	LONG LEG VERTICAL	LLY
ARCHITECTURAL	ARCH	LONG	LG
AT	@	MANHOLE	MH
BEAM	BM	MANUFACTURER	MFR
BEARING	BRG	MASONRY OPENING	MO
	BLKG		
BLOCKING		MATERIAL	MATL
BOARD	BD .	MAXIMUM	MAX
ВОТТОМ	BTM or B/	MECHANICAL	MECH
BUILDING	BLDG	METAL	MTL
CATCH BASIN	CB	MINIMUM	MIN
CEILING	CLNG	MISCELLANEOUS	MISC
CENTER TO CENTER	C/C	MOUNTED	MTD
CENTERLINE	CL	NOT APPLICABLE	NA
CLEAN OUT	co	NOT IN CONTRACT	NIC
COLUMN	COL	NOT TO SCALE	NTS
CONCRETE MASONRY UNIT	CMU	ON CENTER	OC or o.c.
CONCRETE	CONC	OPENING	OPNG
CONSTRUCTION	CONST	OPPOSITE DIAMETER	OPP
CONTINUOUS	CONT	OUTSIDE DIAMETER	OD
CONTROL JOINT	CJ_	OVERFLOW ROOF DRAIN	ORD
COURSE	CRS	PAINT	PT
DIAMETER	DIA	PAIR	PR
DIMENSION	DIM	PLASTIC LAMINATE	PLAM
DOWN	DN	PLATE	PL
DOWNSPOUT	DS	PLUS OR MINUS	+/-
DRAWING	DWG	PLYWOOD	PLWD
EACH FACE	EF	POINT OF SALE	POS
EACH WAY	EM	PRESERVATIVE TREATED	PPT
EACH	EA	PROPERTY LINE	P/L
ELECTRIC	ELEC	QUARRY TILE	QT .
ELECTRIC WATER COOLER	ENC	RADIUS	RAD or R
ELEVATION	ELEV	RAIN WATER CONDUCTOR	RWC
EQUAL	EQ	REINFORCED	REINF
EXISTING	EXIST	REQUIRED	REQ'D
EXPANSION JOINT	EJ	REVISION	REV
EXTERIOR	EXT	RIGHT HAND	RH
EXTERIOR INSULATION & FINISH SYSTEM	EIFS	RIGHT OF WAY	ROW
FIBER REINFORCED PLASTIC	FRP	ROOF DRAIN	RD SECT
FINISH	FIN	SECTION	SECT
FINISHED FLOOR	FF .	SHEET	SHT
FIRE EXTINGUISHER CABINET	FEC	SIMILAR	SIM
FIRE RETARDANT TREATED	FRT	SPECIFICATION	SPEC
FIXTURE	FIXT	SQUARE FEET	SF
FLOOR	FLR	STAINLESS STEEL	99
FLOOR DRAIN	FD	STANDARD	STD
GALVANIZED	GALV	STEEL	STL
GAUGE	GA	STRUCTURAL	STRUCT
GENERAL CONTRACTOR	GC	SUSPENDED	SUS P
GLASS	GL	TELEPHONE	TEL
GLASS FIBER REINFORCED CONCRETE	GFRC	TONGUE AND GROOVE	T\$ <i>G</i>
GLASS FIBER REINFORCED GYPSUM	GFRG	TOP OF	T/
GYPSUM BOARD	GYP BD	TOP OF JOIST	LOT
HANDICAPPED	HCPD	TOP OF MASONRY	TOM
HARDWOOD	HDWD	TOP OF STEEL	TOS
HEATING/VENTILATING/AIR CONDITIONING	HVAC	TYPICAL	TYP
HEAVY DUTY	HD	UNLESS NOTED OTHERWISE	UNO
HOLLOW CORE	HC	VERTICAL	VERT
HOLLOW METAL	HM	VINYL COMPOSITION TILE	VCT
HORIZONTAL	HORIZ	VINTE COMPOSITION TILE VINYL TILE	VT
		VINTL TILE VINYL WALL COVERING	YMC
HOSE BIBB	HB IAILL		
HOT WATER HEATER	MH	WALL COVERING	MC IAIIAI E
HOUR	HR	WELDED WIRE FABRIC	MME
INSIDE DIAMETER	ID INCUI	MITH	W/
INSULATION	INSUL	MITHOUT	W/O
INTERIOR	INT	WOOD	MD
JOIST BEARING	JB	WORK POINT	MP
•		i e e e e e e e e e e e e e e e e e e e	

SITE PLAN



CONTACTS

AR	CHITECT
ONY	'X CREATIVE
250	OI EMERY ROAD, SUITE 400
	VELAND, OH 44128
	ITACT: EDWARD GEMBKA
PH:	216-223-3252
E:	egembka@onyxcreative.com

PHILLIPS EDISON & COMPANY

CONTACT: MERRICK REYNOLDS

E: mreynolds@phillipsedison.com

11501 NORTHLAKE DR CINCINNATI, OH 45249

PH: 513-538-4412

BLUE STREAK CONSULTING 2500 EMERY ROAD, SUITE 400 CLEVELAND, OH 44128 CONTACT: PETER FITZGERALD PH: 216.223.3200 E: pfitzgerald@bluestreak-consulting.com

M.E.P. ENGINEERS

STRUCTURAL ENGINEER BLUESTREAK CONSULTING 25001 EMERY ROAD, SUITE 400 CLEVELAND, OH 44128 CONTACT: TERRY FRANCIS PH: 216-223-3200 E: tfrancis@bluestreak-consulting.com

CODE SUMMARY

	CRITERIA	REQUIREMENTS	OBC 2017
TYPE OF CO	ONSTRUCTION	II B, FULLY SPRINKLED	OBC SECTION 602
NUMBER OF	FLOORS	ı	
USE AND O	CCUPANCY CLASSIFICATION		OBC SECTION 302
MIXE	ED .	M / S-I - NON-SEPARATED	OBC SECTION 309, 311
ACC	ESSORY	В	OBC SECTION 304
ALL CIALADI I			
	E BUILDING AREA	UNLIMITED	OBC SECTION 507.4
	REA (EXISTING)	31,625 5Q FT	
	LOAD CALCULATIONS		
·	15 SQ FT / 60 SQ FT PER OCCUPANT=	32I OCCUPANTS	OBC TABLE 1004.1.2
B: 5-1:	1,435 SQ FT / 100 SQ FT PER OCCUPANT=	14 OCCUPANTS	OBC TABLE 1004.1.2
9-1:	10,915 SQ FT / 300 SQ FT PER OCCUPANT=	37 OCCUPANTS	OBC TABLE 1004.1.2
GRO	955 FLOOR AREA / OCCUPANTS	31,625 SQ FT / 372 OCCUPANTS	
EGRESS RE	QUIREMENTS (PER AREA)		OBC SECTION 1005.3.2
312 OCC EGRESS I 2 DOOR I PAIR DO	WIDTH REQUIRED UPANTS × 0.2" PER OCCUPANT = WIDTH PROVIDED: × 34" = 68" CLEAR OORS (68" CLEAR) C. LOAD = 74.4" / 2 = 37.2" PERMITTED TOTAL EGRESS WIDTH PROVIDED:	74.4" REQUIRED 105.2" PROVIDED (COMPLY)	<i>O</i> BC SECTION 1005.3.2
EXIT	'S REQUIRED / PROVIDED	2/3	OBC SECTION 1006.3.1
MAX	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0"	REFER TO LIFE SAFETY PLAN AO.I (COMPLY)	OBC TABLE 1017.2
STOCK R	<u>00M</u>		
	WIDTH REQUIRED PANTS x 0.2" PER OCCUPANT =	7.4" REQUIRED	
	WIDTH PROVIDED: 5 x 34" = 68" CLEAR TOTAL EGRESS WIDTH PROVIDED:	68" PROVIDED (COMPLY)	
EXIT	S REQUIRED / PROVIDED	1/2	OBC SECTION 1006.2.1.
	S REQUIRED / PROVIDED IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0"	REFER TO LIFE SAFETY	OBC SECTION 1006.2.1. OBC TABLE 1017.2
MAX		<u> </u>	
MAX	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0"	REFER TO LIFE SAFETY	
MAX PLUMBING C MALE:	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0"	REFER TO LIFE SAFETY	OBC TABLE 1017.2
PLUMBING O MALE: TOIL	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0" CALCULATIONS M = 168 OCCUPANTS / S = 18 OCCUPANTS	REFER TO LIFE SAFETY PLAN AO.I (COMPLY)	OBC TABLE 1017.2
MAX PLUMBING O MALE: TOIL LAV	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0" CALCULATIONS M = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - 1 PER 500 (M) / 1 PER 100 (S)	REFER TO LIFE SAFETY PLAN AO.I (COMPLY) 168/500 + 18/100 = 0.50 => I TOILET	OBC TABLE 1017.2 OBC TABLE 2902.1
MAX PLUMBING C MALE: TOIL LAV	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0" CALCULATIONS M = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - PER 500 (M) / PER 100 (S) S - PER 750 (M) / PER 100 (S)	REFER TO LIFE SAFETY PLAN AO.I (COMPLY) I68/500 + I8/100 = 0.50 => I TOILET I68/750 + I8/100 = 0.40 => I LAV	OBC TABLE 1017.2 OBC TABLE 2902.1
MAX PLUMBING C MALE: TOIL LAV ACTUAL FEMALE	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0" CALCULATIONS M = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - PER 500 (M) / PER 100 (S) S - PER 750 (M) / PER 100 (S) FIXTURES PROVIDED	REFER TO LIFE SAFETY PLAN AO.I (COMPLY) I68/500 + I8/100 = 0.50 => I TOILET I68/750 + I8/100 = 0.40 => I LAV	OBC TABLE 1017.2 OBC TABLE 2902.1 OBC TABLE 2902.1
MAX PLUMBING C MALE: TOIL LAV ACTUAL FEMALE TOIL	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0" CALCULATIONS M = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - I PER 500 (M) / I PER 100 (S) S - I PER 750 (M) / I PER 100 (S) FIXTURES PROVIDED EM = 168 OCCUPANTS / S = 18 OCCUPANTS	REFER TO LIFE SAFETY PLAN AO.I (COMPLY) 168/500 + 18/100 = 0.50 => TOILET 168/750 + 18/100 = 0.40 => LAV TOILET / URINAL / LAY	OBC TABLE 1017.2 OBC TABLE 2902.1 OBC TABLE 2902.1
MAX PLUMBING C MALE: TOIL LAV ACTUAL FEMALE TOIL LAV	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0" CALCULATIONS M = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - I PER 500 (M) / I PER 100 (S) S - I PER 750 (M) / I PER 100 (S) FIXTURES PROVIDED E M = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - I PER 500 (M) / I PER 100 (S) S - I PER 750 (M) / I PER 100 (S)	REFER TO LIFE SAFETY PLAN AO.I (COMPLY) I68/500 + I8/100 = 0.50 => I TOILET I68/750 + I8/100 = 0.40 => I LAV I TOILET / I URINAL / I LAV I68/500 + I8/100 = 0.50 => I TOILET I68/750 + I8/100 = 0.40 => I LAV	OBC TABLE 2902.I OBC TABLE 2902.I OBC TABLE 2902.I
MAX PLUMBING C MALE: TOIL LAV ACTUAL FEMALE TOIL LAV ACTUAL	IMUM EXIT ACCESS TRAVEL DISTANCE 250'-0" CALCULATIONS M = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - I PER 500 (M) / I PER 100 (S) S - I PER 750 (M) / I PER 100 (S) FIXTURES PROVIDED EM = 168 OCCUPANTS / S = 18 OCCUPANTS ETS - I PER 500 (M) / I PER 100 (S)	REFER TO LIFE SAFETY PLAN AO.I (COMPLY) I68/500 + I8/100 = 0.50 => I TOILET I68/750 + I8/100 = 0.40 => I LAV I TOILET / I URINAL / I LAV I68/500 + I8/100 = 0.50 => I TOILET I68/750 + I8/100 = 0.40 => I LAV 2 TOILETS / I LAV	OBC TABLE 2902.I OBC TABLE 2902.I

DEFERRED SUBMITTALS: SPRINKLER, FIRE ALARM

MATERIAL AND KEY GRAPHIC SYMBOLS

	GROUT MORTAR	XXXXXX	BRICK
	PLYWOOD		CONCRETE BLOCK
	RIGID INSULATION		STEEL
<u> </u>	BATT OR BLANKET INSULATION	4 4 4 4	CONCRETE
	EXISTING CONSTRUCTION	\bigwedge	REVISION INDICATOR
	NEW CONSTRUCTION		
ш			ROD & SEALANT
\otimes	DOOR IDENTIFICATION	*	FLOOR ELEVATION
11		\overline{X}	GRID LINE
X AX.X	SECTION INDICATOR	X AX.X	DETAIL INDICATOR

PROJECT SUMMARY

THE PROJECT CONSISTS OF A MODIFYING AN EXISTING 30,546 SF VACANT MERCANTILE TENANT SPACE TO CREATE A GOODWILL MERCANTILE SHOP. THIS SCOPE INCLUDES BOTH SHELL AND TI CONSTRUCTION WITHIN AN EXISTING SHOPPING CENTER. THE PROPOSED PROJECT INCLUDES ARCHITECTURAL, STRUCTURAL, AND MEP WORK.

APPLICABLE CODES

- 2017 OHIO BUILDING CODE
- 2017 OHIO MECHANICAL CODE 2017 OHIO PLUMBING CODE
- 2014 NATIONAL ELECTRICAL CODE NFPA 70 2012 INTERNATIONAL ENERGY CONSERVATION CODE

GENERAL NOTES

- I. FLAME SPREAD & SMOKE DEVELOPED RATINGS: I.a. ALL FINISHES TO BE AS NOTED & SHALL NOT HAVE SMOKE DEVELOPED RATINGS
- 1.b. INTERIOR FINISHES OF WALLS & CEILINGS IN ALL ROOMS OR ENCLOSED SPACES SHALL HAVE A CLASS C FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450. INTERIOR FINISHES OF EXIT ENCLOSURES & EXIT PASSAGEWAYS SHALL HAVE
- 84. IFC TABLE 803.3. I.C. MATERIALS USED AS INTERIOR TRIM SHALL HAVE A MINIMUM CLASS C FLAME SPREAD & SMOKE DEVELOPED INDEX & SHALL COMPLY WITH ASTM E 84. COMBUSTIBLE TRIM SHALL NOT EXCEED 10% OF THE AGGREGATE WALL OR CEILING

A CLASS B FLAME SPREAD INDEX 26-75; SMOKE DEVELOPED INDEX 0-450. ASTM E

- AREA IN WHICH IT IS LOCATED (IFC 804). I.d. INTERIOR WALL & CEILING FINISHES SHALL COMPLY WITH NFPA 286 TESTING MEASURES. INTERIOR FLOOR FINISHES SHALL COMPLY WITH NFPA 253 WITH A CLASS 2 CRITICAL RADIANT FLUX > 0.22 WATTS / CM2. FLOOR FINISHES IN EXIT / ACCESS CORRIDORS SHALL BE CLASS | CRITICAL RADIANT FLUX > 0.45 WATTS / CM2.
- I.e. INTERIOR FINISH MATERIALS SHALL BE APPLIED SO THAT THEY WILL NOT BECOME READILY DETACHED WHERE SUBJECTED TO 200 DEGREES F. FOR NOT LESS THAN 30 I.F. THE REQUIRED FLAME SPREAD OR SMOKE DEVELOPED INDEX OF SURFACES IN
- EXISTING BUILDINGS MAY BE ACHIEVED BY APPLICATION OF APPROVED FIRE RETARDANT COATINGS & SHALL COMPLY WITH NFPA 703 (IFC 803.4).
- 2. ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL CODES, THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, \$ NFPA 72. 3. THE CONTRACT WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, TOOLS,
- LABOR & SERVICES NECESSARY FOR COMPLETION OF THE PROJECT. 4. THE G.C. SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS HAVING JURISDICTION WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS, INCLUDING ALL SEISMIC REQUIREMENTS. THE G.C. SHALL PROCURE & PAY FOR
- ALL NECESSARY BUILDING PERMITS & SHALL BE REIMBURSED FOR GENERAL BUILDING PERMIT COSTS BY OWNER. BUSINESS LICENSE COSTS ARE NOT REIMBURSABLE. 5. THE G.C. SHALL BE RESPONSIBLE FOR THE QUALITY OF WORKMANSHIP & FOR COMPLIANCE WITH THE DESIGN. THE G.C. SHALL CORRECT ALL ERRORS & DEVIATIONS AS
- REQUESTED BY THE OWNER. 6. G.C. SHALL BE RESPONSIBLE FOR QUALITY OF ALL REFURBISHED MATERIALS. ALL REFURBISHED MATERIALS TO APPEAR NEW.
- THE G.C. SHALL PROVIDE & INSTALL FIRE EXTINGUISHERS PER CFC STANDARD 10-1 . ALL WOOD BLOCKING, STUDS, PLYWOOD, ETC. TO BE FIRE RETARDANT. . AT THE TIME OF SUBMITTING FINAL BID, THE G.C. SHALL VERIFY ALL RELEVANT
- DIMENSIONS, ELEVATIONS, ANGLES, & EXISTING CONDITIONS BEFORE PROCEEDING WITH THE AFFECTED WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO PROCEEDING WITH AFFECTED
- MORK.

 10. THE G.C. SHALL CONTACT THE OWNER / TENANT IMMEDIATELY IF THEY ENCOUNTER ANY HAZARDOUS MATERIALS. II. EXACT LOCATIONS OF PIPING, DUCTWORK, CONDUIT & FIXTURES SHALL BE COORDINATED
- BETWEEN CONTRACTORS & SUBCONTRACTORS TO AVOID INTERFERENCE.

 12. ALL SPRINKLER HEADS SHOWN ARE CONCEPTUAL ONLY. G.C. TO HIRE A LICENSED SPRINKLER CONTRACTOR TO DESIGN & INSTALL / MODIFY SPRINKLER SYSTEM. HEAD REPLACEMENT TO MEET ALL LOCAL & NATIONAL CODES INCLUDING NFPA-13.

 13. EACH CONTRACTOR SHALL COORDINATE ARCHITECTURAL DRAWINGS WITH THE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS & ALL SPECIFICATIONS BEFORE PROCEEDING WITH THE WORK & SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS
- PROCEEDING WITH AFFECTED WORK. 14. SHOULD ANY OF THE DETAILED INSTRUCTIONS ON THE DRAWINGS CONFLICT WITH THE NOTES OR SPECIFICATIONS OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL

IMMEDIATELY. ALL DISCREPANCIES SHALL BE RESOLVED PRIOR TO THE CONTRACTOR

- 15. ADDITIONAL WORK, IF APPLICABLE, MUST BE AUTHORIZED IN WRITING BY LOANDLORD OR ARCHITECT AFTER THE FORMAL REQUEST FOR INFORMATION (RFI) PROCESS HAS BEEN COMPLETED (GC ISSUES AN RFI TO THE ARCHITECT, IF THE CLARIFICATIONS AND / OR SUPPLEMENTAL INFORMATION INVOLVE AN ADJUSTMENT IN THE CONTRACT SUM, THE ARCHITECT SHALL ISSUE A WORK CHANGE PROPOSAL REQUEST TO THE G.C. TO OBTAIN PRICE QUOTATIONS NEEDED FOR NEGOTIATING CHANGES IN THE CONTRACT FOR
- 16. JOB SITE CLEANING: DURING DEMOLITION & CONSTRUCTION, THE JOB SITE & BUILDING INTERIOR SHALL BE CLEANED ON A DAILY BASIS, INCLUDING REMOVAL OF TRASH, RUBBLE, DEBRIS & ORGANIZATION OF MATERIALS & EQUIPMENT. UPON COMPLETION OF THE WORK, THE JOB SITE & BUILDING INTERIOR SHALL BE THOROUGHLY CLEANED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY CONSTRUCTION WORK. THE G.C. SHALL REMOVE TRASH, RUBBLE, TOOLS, EQUIPMENT & EXCESS MATERIALS FROM THE
- PREMISES. THE BUILDING IS TO BE LEFT IN <u>PERFECTLY CLEAN CONDITION</u>. 17. G.C. IS TO PROVIDE SUPERVISION OF ALL TRADES / SUBS AS WELL AS ON-SITE SUPERVISION UNTIL THE STORE'S GRAND OPENING. G.C. & E.C. TO BE ON SITE GRAND OPENING DAY IN CASE OF EMERGENCY. 18. STAGING AREA WILL BE CONTAINED TO AN AREA AS DICTATED BY THE LANDLORD.
- 19. G.C. IS REQUIRED TO HAVE DUMPSTERS AVAILABLE DURING CONSTRUCTION & THROUGH THE FIXTURE INSTALL PROCESS, AT A LOCATION APPROVED BY THE LANDLORD, MALL OR OWNER.

DRAWING INDEX

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STRUCTURAL

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52.0	STRUCTURAL PLAN AND SECTION		

MECHANICAL & PLUMBING

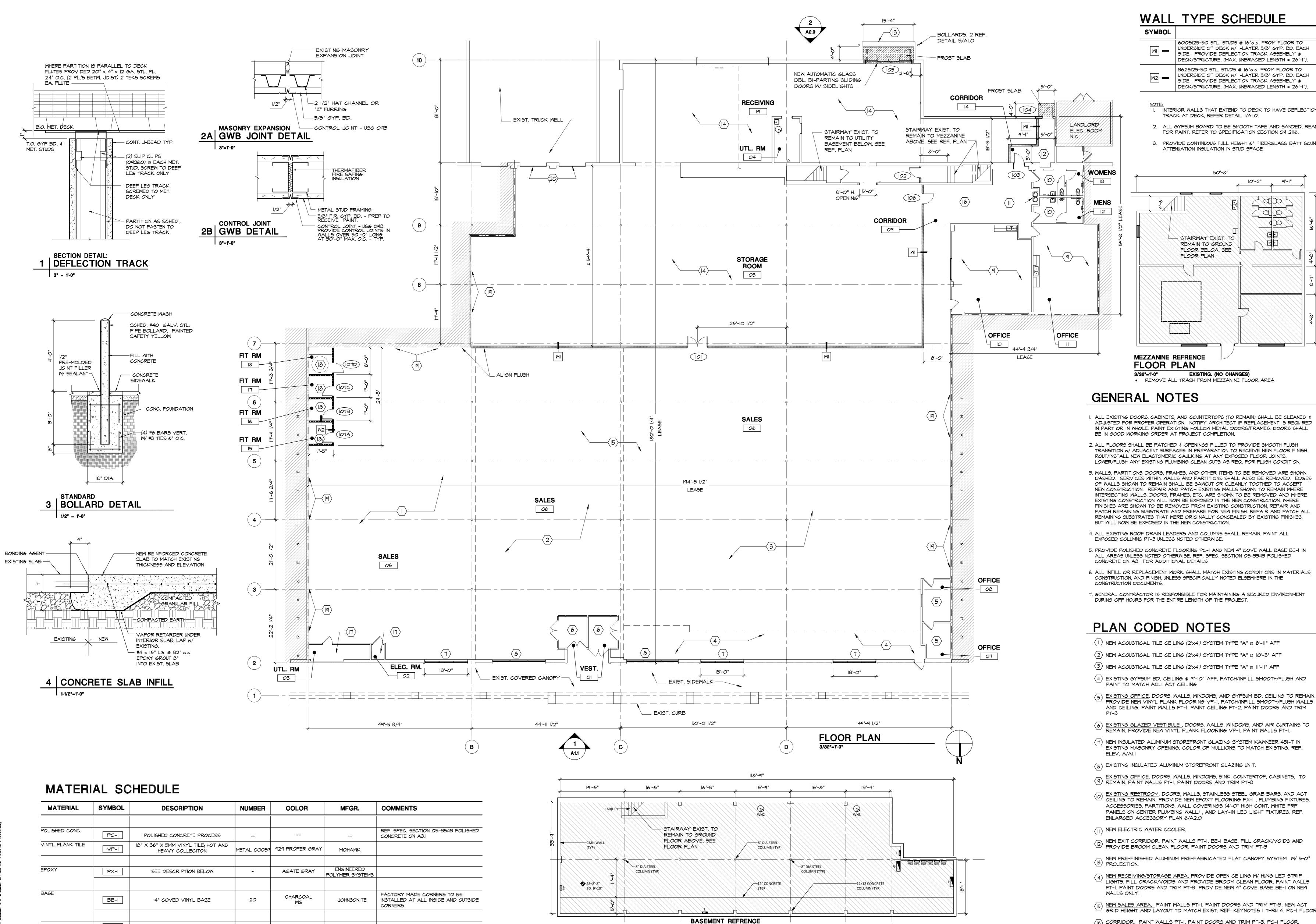
MI.O	MECHANICAL PLAN		
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Item #4.

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FLOOR PLAN

EXISTING. (NO CHANGES)

REMOVE ALL TRASH FROM BASEMENT FLOOR LEVEL AREA

PAINT

NOTES:

PT-2

PT-3

• EPOXY FLOORING IN RESTROOMS TO RECEIVE:

• FINAL FLOORING SYSTEMS TO BE APPROVED BY OWNER AND ARCHITECT

NEBULOUS MHITE

PX-1 10-12 MIL BRUTE COAT EPOXY MULTI-PURPOSE COATING (EMP) BY ENGINEERED POLYMER SYSTEMS WITH SATURATION BROADCASTS OF VINYL

FLAKE BY TORGINAL. REMOVE EXCESS FLAKE AND SEAL WITH EMP. FINISH WITH BRUTE COAT URETHANE HIGH SOLIDS UV STABILIZED TOPCOAT.

SHERWIN WILLIAMS

SHERMIN MILLIAMS | MHITE CEILING PAINT IN OFFICES

SHERWIN WILLIAMS | COLOR TO MATCH BE-I

PAINT; EGGSHELL FINISH

PAINT; EGGSHELL FINISH

PAINT; SEMI-GLOSS FINISH

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NEW EXIT CORRIDOR. PAINT WALLS PT-1. BE-1 BASE. FILL CRACK/VOIDS AND PROVIDE BROOM CLEAN FLOOR. PAINT DOORS AND TRIM PT-3

NEW PRE-FINISHED ALUMINUM PRE-FABRICATED FLAT CANOPY SYSTEM W/ 5-0" $\langle 13 \rangle$ PROJECTION.

I PROVIDE NEW VINYL PLANK FLOORING VP-1. PATCH/INFILL SMOOTH/FLUSH WALLS AND CEILING. PAINT WALLS PT-I. PAINT CEILING PT-2. PAINT DOORS AND TRIM

REMAIN. PROVIDE NEW VINYL PLANK FLOORING VP-I. PAINT WALLS PT-I.

EXISTING MASONRY OPENING. COLOR OF MULLIONS TO MATCH EXISTING. REF.

ACCESSORIES, PARTITIONS, WALL COVERINGS (4'-O" HIGH CONT. WHITE FRP

PANELS ON CENTER PLUMBING WALL), AND LAY-IN LED LIGHT FIXTURES. REF.

WALL TYPE SCHEDULE

TRACK AT DECK, REFER DETAIL I/AI.O.

ATTENUATION INSULATION IN STUD SPACE

STAIRWAY EXIST. TO REMAIN TO GROUND FLOOR BELOW, SEE

EXISTING. (NO CHANGES)

REMOVE ALL TRASH FROM MEZZANINE FLOOR AREA

FLOOR PLAN

MEZZANINE REFRENCE

FLOOR PLAN

PAINT TO MATCH ADJ. ACT CEILING

ENLARGED ACCESSORY PLAN 6/A2.0

50'-8"

600SI25-30 STL. STUDS @ 16"o.c. FROM FLOOR TO UNDERSIDE OF DECK W/ I-LAYER 5/8" GYP. BD. EACH

SIDE. PROVIDE DEFLECTION TRACK ASSEMBLY @

DECK/STRUCTURE. (MAX. UNBRACED LENGTH = 26'-1").

3625125-30 STL. STUDS @ 16"o.c. FROM FLOOR TO

SIDE. PROVIDE DEFLECTION TRACK ASSEMBLY @

INTERIOR WALLS THAT EXTEND TO DECK TO HAVE DEFLECTION

ALL GYPSUM BOARD TO BE SMOOTH TAPE AND SANDED. READY

10'-2"

9'-1"

0000

3. PROVIDE CONTINUOUS FULL HEIGHT 6" FIBERGLASS BATT SOUND

FOR PAINT. REFER TO SPECIFICATION SECTION 09 2116.

DECK/STRUCTURE. (MAX. UNBRACED LENGTH = 26'-1").

UNDERSIDE OF DECK W/ I-LAYER 5/8" GYP. BD. EACH

SYMBOL

(14) NEW RECEIVING/STORAGE AREA. PROVIDE OPEN CEILING W/ HUNG LED STRIP LIGHTS, FILL CRACK/VOIDS AND PROVIDE BROOM CLEAN FLOOR. PAINT WALLS PT-I. PAINT DOORS AND TRIM PT-3. PROVIDE NEW 4" COVE BASE BE-I ON NEW

(15) NEW SALES AREA. PAINT WALLS PT-1. PAINT DOORS AND TRIM PT-3. NEW ACT GRID HEIGHT AND LAYOUT TO MATCH EXIST. REF. KEYNOTES I THRU 4. PC-1 FLOOR

(6) CORRIDOR. PAINT WALLS PT-1. PAINT DOORS AND TRIM PT-3. PC-1 FLOOR.

EXIST. ELEC. / UTILITY ROOMS. EXISTING WALLS, LIGHTS, DOORS AND CEILING TO REMAIN AS IS. PROVIDE BROOM CLEAN FLOOR.

(18) NEW DRESSING ROOMS. PAINT WALLS PT-1. PAINT DOORS AND TRIM PT-3. PROVIDE NEW ACOUSTICAL TILE CEILING (2'x4') SYSTEM TYPE "A" @ 8'-0" AFF.

(19) AFTER CLADDING AND SLATWALL REMOVAL, PATCH AND REPAIR EXISTING

GYPSUM BD. ON ALL EXISTING DEMISING WALLS TO LEVEL 4 FINISH

(20) CLEAN AND REPAIR EXITING OVERHEAD DOOR AND HARDWARE TO BE IN GOOD WORKING ORDER. PROVIDE HARDWARE TO COMPLY WITH LOCAL AHJD.

FLOOR PLAN





COVE LIGHT

MOUNTING TYPE.

MOUNTING TYPE.

CEILING SYSTEM

4' LED FIXTURE. REF. ELEC. DWGS FOR

8' LED FIXTURE. REF. ELEC. DWGS FOR

REF. KEYNOTES ON FLOOR PLAN FOR CEILING HEIGHTS. MAINTAIN EXISTING SPRINKLER HEAD LAY OUT IN ACCORDANCE WITH SPRINKLER DESIGNER'S FINAL FIRE PROTECTION PLAN IN AREAS WHERE NEW CEILINGS ARE MATCHING EXISTING ACT GRID PATTERN AND HEIGHT.

RCP GENERAL NOTES

WOMENS

PREFABRICATED

14

REF. DETAIL 2/AI.I

OFFICE

- PATCH AND REPAINT EXISTING GYPSUM CEILING TYP.

CANOPY REF.

ELEVATION

CORRIDOR

ETR. EXTERIOR SOFFIT AND LIGHT FIXTURES

- PATCH AND REPAINT EXISTING

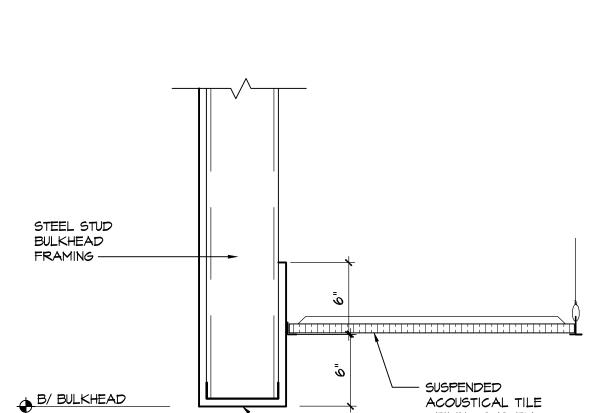
GYPSUM CEILING TYP.

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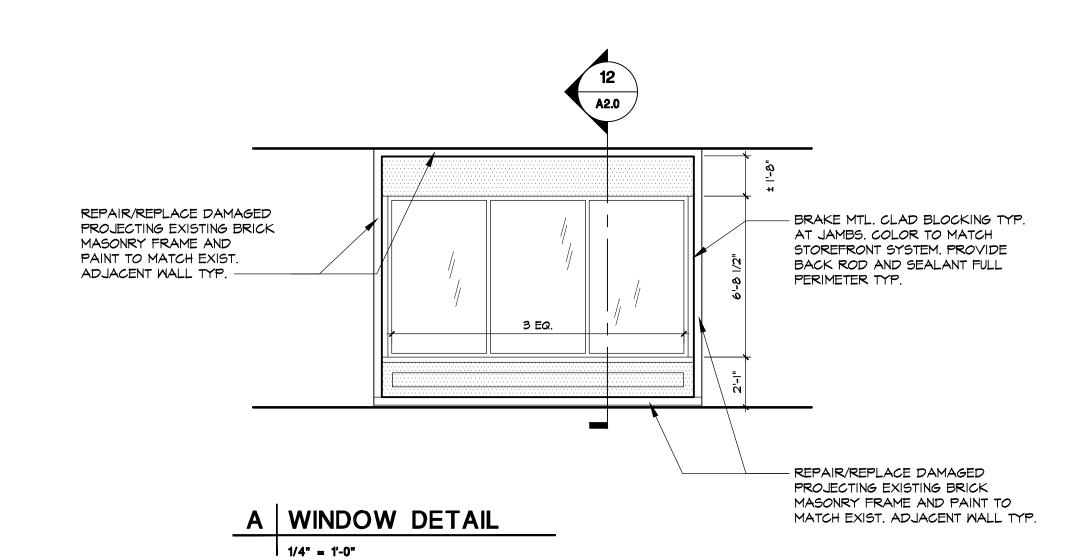
CEILING PLAN

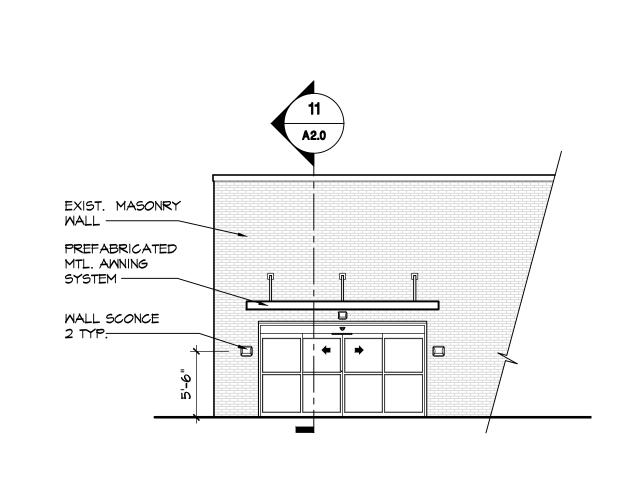
3/32"=1'-0"

- 2. REF. ELEC. DWGS. FOR EMERGENCY AND EXIT LIGHTING LOCATIONS
- 3. PAINT EXISTING EXPOSED ROOF DECK IN ROOMS: CORRIDOR 14,
- RECEIVING 19, AND STORAGE 05 TO MATCH BASE BE-I 4. MOUNT FLUORESCENT STRIP LIGHT FIXTURES TO THE BOTTOM OF BAR
- JOISTS IN ROOMS: CORRIDOR 14, RECEIVING 19, AND STORAGE 05.
- 5. ALL CEILING MATERIALS SHALL BE CLASS "A" TYPE.
- 6. PROVIDE ACCESS PANELS IN GYPSUM BD. CEILINGS AS REQUIRED BY 7. REFER TO ELECTRICAL SHEETS FOR ADDITIONAL INFORMATION.
- 8. ACCESS PANELS IN CEILING MUST BE LOCATED TO PROVIDE ACCESS TO MECHANICAL EQUIPMENT, VALVES, DAMPERS, CONTROLS, CLEANOUTS, J-BOXES, ETC. VERIFY AND COORDINATE WITH BUILDING OPERATIONS MANAGER PRIOR TO CONSTRUCTION. PANELS SHALL BE
- 9. ALL PLUMBING SHUT OFF VALVES ARE TO BE LOCATED IN ACCESSIBLE CEILING. REFER TO PLUMBING DWG'S. (TYP.)
- IO. FIRE PROTECTION PLANS (SPRINKLER DRAWINGS) MUST BE ENGINEERED. G. C. SHALL COORDINATE THE SUBMITTAL TO THE LANDLORD AND CITY FOR APPROVAL.

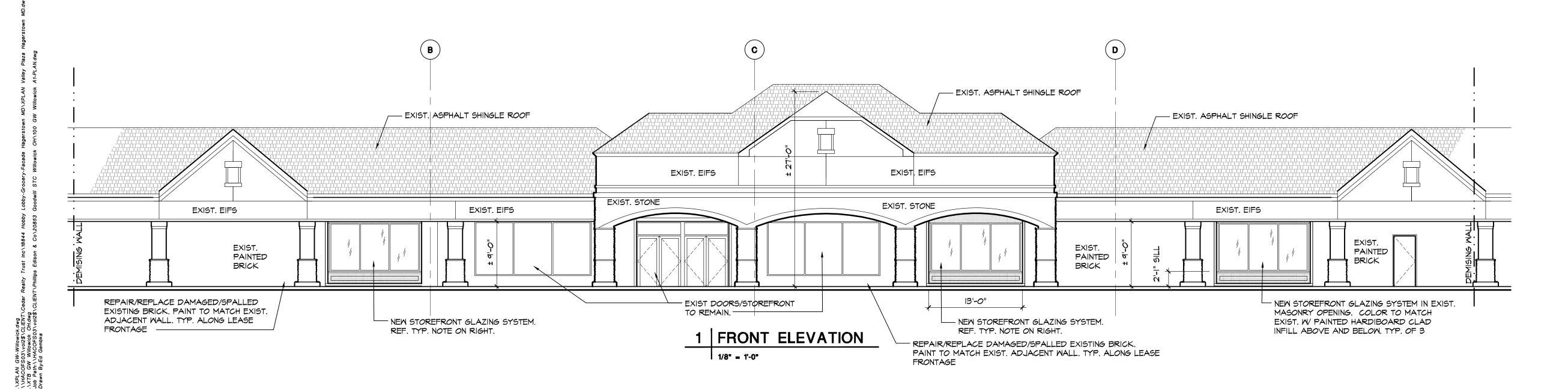


- GYP. BD. SHEATHING 2 BULKHEAD DETAIL 1-1/2"=1'-0"





2 REAR ELEVATION



11'-3"

\[\sqrt{2} \quad \qquad \quad \quad

SALES O6

ETR. EXTERIOR SOFFIT AND LIGHT FIXTURES

PATCH/REPAIR AND REPAINT

EXISTING GYPSUM BULKHEAD

/#ASCIA |FLUSH TYP.

FIT RM

FIT RM

FIT RM

FIT RM

UTL. RM

04

STORAGE **ROOM** 05

20'-0" TYP.

PATCH/REPAIR AND REPAINT EXISTING GYPSUM BULKHEAD /FASCIA FLUSH TYP.

_ CLEAN ETR. EXTERIOR LIGHT

GOOD WORKING ORDER

FIXTURES. ENSURE ALL ARE IN

A1.1

CEILING PLAN &
ELEVATIONS
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