



City of Willowick
BOARD OF ZONING APPEALS

Wednesday, February 11, 2026 at 6:30 PM
City Council Chambers

ADA NOTICE

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

AGENDA

CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRMAN SWEAR IN APPLICANT(S) & AUDIENCE MEMBERS WHO WILL BE GIVING TESTIMONY.

APPROVAL OF MINUTES

- [1.](#) Minutes 12-10-25

BZA CASES

- [2.](#) Case 26-1 Igor Baraz - vacant lot - 0 E. 316 St.

NEW BUSINESS

OLD BUSINESS

ADJOURNMENT

File Attachments for Item:

1. Minutes 12-10-25



City of Willowick
BOARD OF ZONING APPEALS

Wednesday, December 10, 2025 at 6:30 PM
City Council Chambers

ADA NOTICE

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

MINUTES

CALL MEETING TO ORDER

Chairman Koudela called the meeting to order at 6:30 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT

Chairman Nick Koudela
BZA Member Phil Yarleets
BZAMember Tom Flaisig
BZA Member Debbie Clarke
BZA Member Rich Hill

CHAIRMAN SWEAR IN APPLICANT(S) & AUDIENCE MEMBERS WHO WILL BE GIVING TESTIMONY.

The Chairman swore in applicant's and audience members who will be speaking to the Board.

APPROVAL OF MINUTES

1. Board of Zoning Appeals Minutes - October 8th 2025

Motion made by BZA Member Yarleets, Seconded by BZA Member Clarke to approve the October 8th, 2025, Board of Zoning Appeals meeting minutes.

Voting Yea: Chairman Koudela, BZA Member Yarleets, BZA Member Clarke

Voting Abstaining: BZAMember Flaisig, BZA Member Hill

BZA CASES

2. Case No. 25-17 Shoregate Towers NS LLC/Vijal Ponnezhan

Mr. Ponnezhan stated that they are a family owned company that owns and manages multi-family properties throughout the Midwest, and are currently in the process of purchasing Shoregate Towers. Their portfolio model is that they have over 6000 units in 7 states, and they buy for long term. They are currently looking to purchase Shoregate Towers and completely renovate it and keep it for long term. They are looking for a variance for the escrow of 150% to 100%. The amount needed is around \$11,500.000, which would be close to 17,000.000 at

150%. These renovations may take over 2 years. They would like to use a Pledged Asset Line of Credit instead of a traditional escrow account. He said in the package he provided there is a letter to confirm that he has a Pledged Asset Line of \$12,435,867.44. They would lose about \$2,000,000.00 in revenue over 2 years by using a traditional escrow account. This account is made up of preferred stocks, bonds and cash which is equivalent to cash. There is no sunset clause which means if it takes over 2 years the funds will always be there.

They will be transparent with the City and provide revenue reports quarterly or monthly to the City and Council showing that the funds are still there and status updates.

With this account they don't have to request funds and wait to pay vendors and contractors, which will allow them to get the best contractors and work because they will be getting paid without waiting.

The company is paying for all repairs and renovations with cash. There will be no loans or financing. They are also paying for cash at closing for the buildings.

Chairman Koudela asked Sean Brennan, Chief Housing & Zoning Inspector if he can explain the point of sale escrow process.

Mr. Brennan stated this is not a typical point of sale due to the large amount of money involved. The most the city ever had to escrow was from a place down the street and that was over \$100,000.00. In a single family dwelling the point of sale consists of a sewer dye test, CO2 detectors, sidewalk & driveway apron, and any outstanding property maintenance violations. In order to escrow these items there would need to be a written estimate by a contractor and once approved a letter from the title agency stating that 150% of funds will be held in escrow and not to be released until the City of Willowick authorizes the release. Obviously in this scenario there are millions of dollars involved.

Chairman Koudela asked what happens if a new owner refuses to have the work done. Example a new roof. What would happen then. Mr. Brennan said they would have to get a search warrant to make the repairs, and/or go through the court system.

Mr. Koudela asked what would happen if there is no cash to draw on because part of it is stocks & bonds. Mr. Ponnezhan stated the money will always be available.

Mr. Yarleets stated that since the Board doesn't have the ability to check this company's background or credibility has the City done this, and does the City feel comfortable that this will be a project that will go through.

Ms. Gwartz, Law Director for the City said that so far they have done everything that Sean has asked them to do. They have acquired properties like this before in similar status. They don't provide public housing. She doesn't expect it to be luxury apartments, but a nice safe living environment.

Mandy Gwartz stated that herself, Sean and Mayor Vanni were happy with the fact that Vijai and his Father came and spoke with them. They explained that they still own all of the properties that were purchased and brought their Maintenance Manager with them that has been with them over 20 years and have employees that have been with them for many years, which shows longevity. They are happy with the prospective buyers. Ms. Gwartz also explained that they would be losing over \$2,000,000.00 with a traditional escrow account. These are unusual variance requests due to the large amount of money and the nature of property. They are doing

these repairs without even being the owners as of yet, and City is good with these variance requests.

Ms. Gwartz also stated that many contractors are hesitant to work on this property due to unpaid projects from the previous owners in the past. With this Line of Credit, they know they will be getting paid regularly. She and Sean Brennan looked through all of the estimates provided in the package by Mr. Ponnezhan and everything looks good.

Ms. Gwartz stated that the buildings are currently only 30% occupied. At one time they were at 90% occupancy with rent was around \$750.00 per month which is unusually low for this area and brought in less desirable occupants by attracting people who couldn't afford to rent anywhere else. The Police Department was there several times a day. The receivership did not rent out any apartments after the occupants moved out. The occupants that are still there now are all people that we want to be there. People that are on social security or a fixed income that are good renters.

Ms. Gwartz asked Mr. Ponnezhan the company's plan to rent right away. Mr. Ponnezhan stated once they close in mid to the end of February they will begin repairs on occupied units and common areas. They cannot rent any units until even the balconies are done and inspected by the Engineer. They will also work on the façade, garage and inside.

Ms. Clarke asked how repairs will be done with occupied units. Will the residents have to move to a renovated unit? Mr. Ponnezhan stated that they will be given that choice, but if they do move they will be considered new residents and will lose their current rent amount as it will be increased. If they stay they will make the necessary repairs that are required while the occupants are residing in the unit. Ms. Clarke asked that if down the line it looks like things aren't going good on the reports can the City then make them open a traditional escrow account. Ms. Gwartz said no not once the variances are granted.

Mr. Flaisig asked if the City will be liable if the violations and repairs are not done. Ms. Gwartz said no, they can request an extension; however, we don't have to grant the extension and take action from there.

Ms. Gwartz asked Mr. Ponnezhan if they are prepared to make these repairs without a large percentage of rentals knowing they won't be making any income on them. Mr. Ponnezhan stated yes, they are aware of what they're getting into. They have expertise in these problems in other properties. Mr. Ponnezhan also said they work with Fannie Mae taking over properties. Even with an auction like this they would have to approve a buyer like them. They're not just going to hand it over to someone who can't handle a project like this. They have a good relationship with several people at Fannie Mae and they consider them a preferred buyer. They come to them regularly with assets like this that are not necessarily an auction but other properties. They approve them and they have a great track record to show this that's why they have no problem to work with them on this project. That will explain their background.

Mr. Koudela asked about the account numbers being wrong. Mr. Ponnezhan said he just put a holder there and forgot to come back to it. The correct account numbers are on the Line of Credit Letter.

Ms. Gwartz asked Mr. Ponnezhan what their plan is to rent out units. Mr. Ponnezhan said they have already been reaching out to engineers and everything will be done simultaneously and start first on occupied units & common areas. When the weather breaks they will start on the outside. They will repair the façade and garage.

#1 -Motion by Mr. Yarleets, Seconded by Ms. Clarke grant a variance of in the application of Section 1355.05(e) of the Codified Ordinances to not have to deposit monies in escrow for specific point of sale violations at 30901-30951 Lakeshore Blvd. Shoregate Towers NS LLC/Vijai Ponnezhan, Dynasty Properties LLC. Vote: All ayes. Motion carried.

#2 – Motion by Mr. Flaisig, Seconded by Mr. Yarleets to grant a variance for Shoregate Towers NS LLC/Vijai Ponnezhan, Dynasty Properties Inc to use an asset line of credit letter from Charles Schwab Bank for the sum of \$12,435,867.44 for the specific point of sale violations and to provide the City with quarterly statements showing fund availability untill all violations are resolved in the application of Section 1355.05(e) of the Codified Ordinances at 30901-30951 Lakeshore Blvd. Vote: All ayes. Motion carried.

NEW BUSINESS

None

OLD BUSINESS

None

ADJOURNMENT

Motion made by BZA Member Flaisig, Seconded by BZA Member Yarleets.

Voting Yea: Chairman Koudela, BZA Member Yarleets, BZA Member Flaisig, BZA Member Clarke, BZA Member Hill

Nick Koudela, Chairman

ATTEST:

Jennifer Quinn, Secretary

File Attachments for Item:

2. Case 26-1 Igor Baraz - vacant lot - 0 E. 316 St.

APPLICATION FOR VARIANCE WILLOWICK BOARD OF ZONING APPEALS

NAME OF PROPERTY OWNER: Igor Baraz

ADDRESS: Vacant Lot - Parcel No - 28-A-044-F-00-014-0

PHONE: _____

NAME OF APPLICANT
IF DIFFERENT FROM OWNER: Zachary Miller - Architect

ADDRESS: 412-228-2626

PHONE: _____

REASON AND JUSTIFICATION FOR REQUEST:

NEW SINGLE FAM. HOME ON VACANT LOT; SETBACKS (NON-CONFORMING)
TO MATCH NEIGHBORING HOMES ON STREET.

DATE: 1/16/26 SIGNED: [Signature] APPLICANT

FOR OFFICE USE ONLY

CASE NO. 26-1

PROPERTY ZONED FOR
(STATE DISTRICT):

Multi-family

APPLICABLE SECTION OF
CODIFIED ORDINANCES:

See attached

VARIANCE SOUGHT:

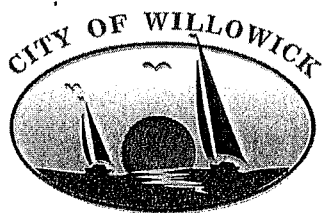
See attached

Pursuant to Section 1169.05(b) of the Codified Ordinances, a check in the amount of \$150.00 made payable to the City of Willowick, together with a drawing showing where the requested variance will be located and all measurements of same, must accompany this request for variance. All pertinent information must be submitted to the building department no later than 3 weeks prior to the meeting date, which is the second Wednesday of each month.

Meeting 6:30 pm 2/11/26 at 30435 Lakeshore Blvd. City Hall Council Chambers, 2nd floor

Case No. 26-1 Igor Baraz-owner/Zachary Miller-Architect**Vacant Lot E. 316 St. Parcel # 28-A-044-F-00-014-0**

1. 1163.03(a) – 5,420 square feet. *The property owner would like to construct a single-family dwelling on a lot that is 2,080 square feet. (52 ft. – width x 40 feet – depth)
2. 1163.06(b) - 2 feet side property line, opposite the driveway.
3. 1163.03(b) – 5 feet 3 inches side property line, driveway side. *The property owner wants to construct a single family dwelling 2 feet from the left side property line and 4' 9" from the right side property line."
4. 1163.07 – 17 feet 6 inches, rear yard. *The property owner wants to construct a single-family dwelling up to the rear property line, the dwelling height is 35 feet.
5. 1163.10 – 9 feet 8 inches, front yard building line set back. *The property owner wants to construct a single family dwelling 4 inches from the front property line. Per set back map 10 feet is required.



Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

Willowick Oh 44095

BUILDING DEPARTMENT

31230 VINE ST

WILLOWICK OH 44095

PHONE: 440-516-3000

FAX: 440-585-3776

EMAIL: sbrennan@cityofwillowick.com

RE: PERMIT APPLICATION AT: Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1.163.03 LOT AREA PER FAMILY; EXTENT OF LAND OCCUPANCY; MINIMUM FLOOR AREA REQUIREMENTS; PARKING, LOADING AND UNLOADING SPACE. (a) In a Single Family District, no dwelling or premises shall be erected or altered to accommodate or make provision for more than one family for each **7,500 square feet of the area of the lot if any interior lot** or for each 6,000 square feet if a corner lot.

Variances Needed : 1) 5,420 Square Feet.

Property owner wants to construct a single family dwelling on a lot that is 2,080 square feet. (52 Ft -Width x 40 Feet -Depth)

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT ME.

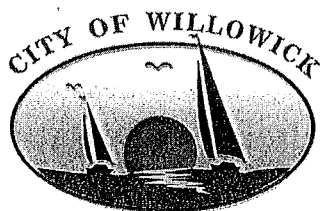
SINCERELY,

Sean Brennan
SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

APPLICANTS SIGNATURE

DATE



Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

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DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.06 SIDE YARDS IN SINGLE FAMILY DISTRICTS. (b) In a Single Family District there shall be provided on each lot side yards of at least the total distance set forth in column one of the following chart, which total distances shall be divided, between the two sides of the lot, in conformity to the provisions of column two of the following chart, provided, however, that in no case shall the distance between houses or other residence structures be less than twelve feet, except in the case of corner lots, where the distance shall be not less than ten feet:

Column One	Column Two		
Lot Width at Least Building	Total Side Yard Distance (in	Driveway Side (in feet)	Side Opposite Driveway (in
45 or less	12	9	3
46 to 50	13	10	3
<u>51 to 60</u>	<u>14</u>	<u>10</u>	<u>4</u>

Variances Needed : 2) 2 Feet side property line, opposite the driveway.

3) 5 Feet 3 Inches side property line, driveway side.

* Home owner wants to construct a single family dwelling 2 feet from left side property line and 4 feet 9 inches from right side property line.

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

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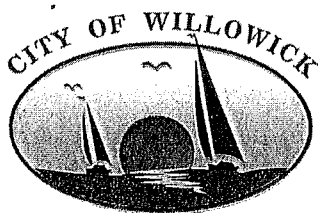
SINCERELY,

Sean Brennan
SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

APPLICANTS SIGNATURE

DATE



Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

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RE: PERMIT APPLICATION AT: Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.07 REAR YARDS. In a Single Family or Apartment District, every building erected shall have a rear yard. Such rear yard shall not be less than thirty percent of the depth of the lot, but need not be more than forty feet, provided that the rear yard is no less than one-half of the height of the building. Forty percent of the area of such yard may be occupied by a one-story detached garage not more than fifteen feet in height, nor more than 576 square feet as provided in Section 1337.01 of this Code of Ordinance. On a corner lot the rear line of which is identical with the side line of an interior lot, no such detached garage shall be erected within thirty feet of any street line or within three feet of the side or rear lot line, or ten feet from any dwelling or residence structure. No detached garage shall be in excess of one-story unless a subdivision plan provides otherwise. A detached garage shall be located as determined by the Building Inspector, unless located by the City Board of Zoning Appeals.

Variances Needed: 4) 17 Feet 6 Inches, rear yard.

* Home owner wants to construct a single family dwelling up to the rear property line, the dwelling height is 35 feet

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

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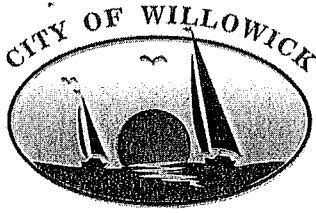
SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

APPLICANTS SIGNATURE

1/16/26

DATE



Owner : Igor Baraz

Architect : Zachary Miller

Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

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RE: PERMIT APPLICATION AT: Vacant Lot East 316 St Parcel # 28-A-044-F-00-014-0

DEAR SIR AND / OR MADAM:

THIS LETTER IS TO INFORM YOU THAT YOUR BUILDING PERMIT APPLICATION WAS DENIED FOR THE FOLLOWING REASON (S) :

1163.10 FRONT YARDS; BUILDING LINES. For the purpose of regulating front yards, for the purpose of further regulating side yards of corner buildings and for the purpose of regulating the alignment of buildings near street frontages, building lines as set forth on the building maps which are on file in the office of the Chief Building Inspector and are hereby declared to be part hereof, are hereby established. The map designations and the map designation rules, which accompany said map, are hereby declared part thereof. Between a building line and the street line no building or portion of a building extending above the established grade may be erected. In a Single Family District a one story unclosed porch may, however, be constructed between the building line and the street line. On a corner lot between the building line and the street line and within the triangular space included between the street lines for a distance of twenty-five feet from their point of intersection, no fence or other structure more than three feet in height above the plane of the established grade shall hereafter be erected, and no shrubs or foliage shall be maintained that in the judgment of the Chief Building Inspector will materially obstruct the view by a driver of a vehicle approaching the intersection and within seventy-five feet of the center of such intersection of approaching cross traffic within seventy-five feet of the center of such intersection. Where a building line is shown on the building line map as an existing alignment line, the alignment of the buildings existing along such frontage shall determine the building line. In a Retail or Industrial District where a building line is required along both the front and side line of a corner lot, and the building thereon as constructed faces the front of the lot, the building line along such line for a distance of 150 feet back from the building line at the corner shall be located fifteen feet back from the street line in all cases where a greater distance is prescribed on the building line map. On any street frontage in a Single Family, Multi Family, Mixed Use, Apartment or Industrial District, where a building line is required along both the front and side line of a corner lot and the building thereon as constructed faces the front of the lot, the building line along such line for a distance of 150 feet back from the building line at the corner shall be located fifteen feet back from the street line in all cases where a greater distance is prescribed on the building line map. On any street front in a Single Family, Multi Family, Mixed Use, Apartment or Industrial District, where no building line is designated on the building line map, the location of the building line shall be as follows:

Variances Needed: 5) 9 Feet 8 Inches , front yard building line set back.

* Home owner wants to construct a single family dwelling ⁴ (inches) from front property line. Per set back map 10 feet is required.

IF YOU WISH TO APPEAL THIS RULING, AN APPLICATION FOR THE BOARD OF ZONING APPEALS CAN BE OBTAINED AT THE WILLOWICK BUILDING DEPARTMENT. THE BOARD OF ZONING APPEALS MEETS THE SECOND WEDNESDAY OF EVERY MONTH AT CITY HALL, 30435 LAKE SHORE BLVD. , UPSTAIRS IN COUNCIL CHAMBERS AT 6:30 PM. APPLICATIONS MUST BE RECEIVED THREE (3) WEEKS PRIOR TO THE DATE OF THE MEETING.

IF YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT ME.

SINCERELY,

Sean Brennan

SEAN BRENNAN

CHIEF HOUSING AND ZONING INSPECTOR

[Signature]

APPLICANTS SIGNATURE

1/14/26

DATE

NEW SINGLE FAMILY HOME - E 316TH ST

PROJECT DESCRIPTION

NEW SLAB-ON-GRADE (NO BASEMENT) SINGLE FAMILY HOME.		
ATTACHED 2-CAR GARAGE: 406SF		
UTILITY ROOM: 246 SF		
HEATED SQUARE FOOTAGE: 1,748 SF		

PROJECT DIRECTORY

ARCHITECT	ZACHARY D. MILLER	(412) 228 2626
CONTRACTOR	TBD	TBD
OWNER	TBD	TBD

DRAWING INDEX

SHEET	SCOPE INFO, SITE AERIAL, RENDERINGS, DRAWING INDEX
T1.0	SITE CONTEXT PLAN + EXIST. BOUNDARY SURVEY
G1.0 + G1.1	ZONING REVIEW SITE PLAN + ELEVATION
F1.0	FOUNDATION PLAN
A1.0	FIRST FLOOR PLAN
A2.0	SECOND FLOOR PLAN
A3.0	THIRD FLOOR PLAN
A4.0	ROOF PLAN
A5.0	ELEVATION
A6.0	ELEVATION
A7.0	ELEVATION
A8.0	ELEVATION

DESIGN CRITERIA/CALCULATIONS

1. GROUND SNOW LOAD: 30 PSF
2. BASIC WIND SPEED: 110 MPH (ULT), EWP: B, 90 MPH, DESIGN SPEED
3. WIND EXPOSURE CATEGORY: -B
4. HIGH WIND DESIGN CRITERIA: -B
5. SEISMIC DESIGN CATEGORY: -B
6. WEATHERING: -SEVERE
7. TERMITE AREA: HEAVY TO MODERATE
8. WINTER DESIGN TEMPERATURE: 50 F
9. FLOOR LOADS FOR DECKS AND FLOOR JOISTS
- 10 PSF DEAD LOAD
- 12 PSF WIND LOAD (90 MPH MAX)
- 30 PSF SNOW LOAD
10. CONCRETE COMPRESSIVE STRENGTH:
- 4000 PSI FOR 28 DAYS
11. LOAD BEARING VALUE OF SOIL: 1500 PSI
12. ENERGY EFFICIENCY MINIMUMS - 2018 IEC:
- ROOF: INSULATION ENTIRELY ABOVE DECK: R-30CI
- METAL FRAME WALLS: R13 + R7.5CI
- SLAB ON GREET: R10
- CEILING INSULATION: R10
- CLEVELAND, OHIO CLIMATE ZONE: 5
- ROOF DESIGN LOADS:
- 15 PSF DEAD LOAD
- 12 PSF WIND LOAD (90 MPH MAX)
- 30 PSF SNOW LOAD
- DOORS: R4.75
- RESIDENTIAL GARAGE DESIGN LOADS
- FLOOR CONCRETE SLAB ON GRADE
- 30 PSF LIVE LOAD
- 15 PSF DEAD LOAD
- 12 PSF WIND LOAD (90 MPH MAX)
- 30 PSF SNOW LOAD
- MINIMUM LIVE LOAD - 1ST FLOOR: 100PSF

GENERAL NOTES

1. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE OHIO BUILDING CODE, ALL STATE, LOCAL AND OTHER CODES.
2. DIMENSIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR(S) PRIOR TO ORDERING AND CONSTRUCTION MATERIALS. REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. DO NOT SCALE DRAWINGS.
3. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE DESIGN. ANY REVISIONS, CHANGES, DEVIATIONS, OR INCONSISTENCIES BETWEEN THE AS-BUILT CONDITIONS AND THESE DRAWINGS SHALL IMMEDIATELY BE REPORTED TO THE ARCHITECT BEFORE CONSTRUCTION.
4. IT IS THE INTENT OF THESE DRAWINGS TO HAVE ALL OF THE WORK DONE AND COMPLETED IN A GOOD MANNER. ALL WORK SHALL BE FURNISHED AND INSTALLED COMPLETE IN EVERY DETAIL, READY FOR SATISFACTORY OPERATION, AND ALL REQUIRED APPARATUS AND MATERIAL SHALL BE FURNISHED EVEN THOUGH NOT SPECIFICALLY MENTIONED.
5. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION.
6. ALL MATERIALS, FINISHES AND EQUIPMENT SHALL BE ERECTED, INSTALLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
7. NO EXTRAS WILL BE AUTHORIZED UNLESS THEY ARE APPROVED IN WRITING BY THE OWNER.
8. EVERY CONTRACTOR SHALL CARRY WORKMANS COMPENSATION AND LIABILITY INSURANCE. CONTRACTORS' LIABILITY INSURANCE SHALL INCLUDE A "HOLD HARMLESS" CLAUSE TO INDEMNIFY THE ARCHITECT AND THE OWNER AGAINST ANY AND ALL CLAIMS THAT MAY ARISE DURING THE LIFE OF THE CONTRACT.
9. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN CONSTRUCTION TOOLS AND MATERIALS. CONTRACTORS AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PAYMENT OF ALL FEES AND CHARGES IN ADVANCE OF ANY CONSTRUCTION.
10. THE CONTRACTOR SHALL KEEP THE AREA CLEAR AT ALL TIMES. REMOVE ALL RUBBISH FROM THE PREMISES EACH DAY. AFTER COMPLETION OF THE WORK, THE SITE SHALL BE CLEANED WHEREVER SUCH CLEANING IS REQUIRED, INCLUDING AREAS OF THE BUILDING MADE DIRTY BY THE CONSTRUCTION WORK. EACH CONTRACTOR SHALL REMOVE FROM THE PREMISES TRASH, RUBBISH, TOOLS, EQUIPMENT, EXCESS MATERIALS. THE SITE IS TO BE LEFT IN PERFECTLY CLEAN CONDITION.
11. ALL LAWS IN FORCE AT THE BUILDING LOCATION SHALL GOVERN. EACH CONTRACTOR AND SUB-CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THOSE LAWS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THESE DRAWINGS.
12. PROTECT EXISTING OCCUPANCY WHICH IS TO REMAIN IN CONTINUOUS OPERATION. CAREFULLY REMOVE PORTIONS THAT ARE TO BE REMOVED AND PROTECT PORTIONS THAT ARE TO REMAIN TEMPORARILY OR PERMANENTLY IN PLACE. PROVIDE SHORING AS REQUIRED.
13. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL PAYMENT TO THE GENERAL CONTRACTOR.
14. NO SMOKING IN THE HOUSE. ALL CIGARETTE BUTTS TO BE REMOVED FROM PREMISES.

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PROJECT ADDRESS
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PARCEL 28A044F00140
PROJECT NAME

NEW SINGLE FAMILY HOME - E 316TH ST

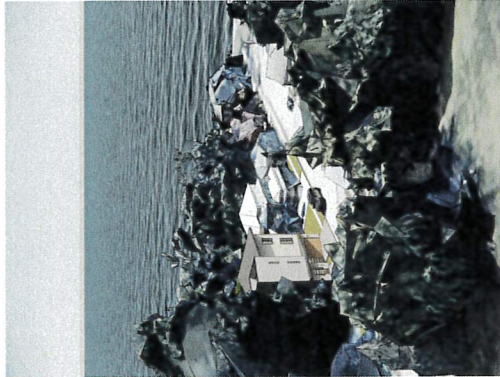
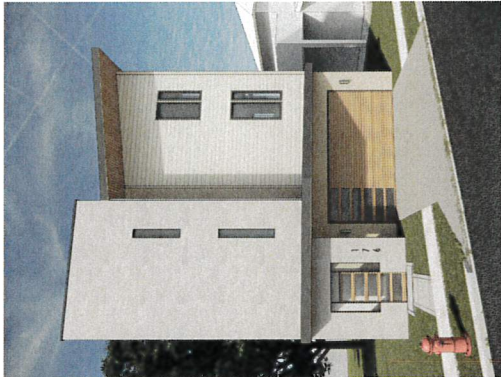
ARCHITECTURAL DRAWINGS FOR

PREPARED FOR: X

ISSUE	
SURVEY	
INITIAL DWGS -	
REVISED DWGS -	

TITLE SHEET
T1.0

Item #2.



ARCHITECTURAL DRAWINGS FOR:
NEW SINGLE FAMILY
HOME - E 316TH ST

PREPARED FOR: **X**

ISSUE
SURVEY-
INITIAL DWGS -
REVISED DWGS -

① CALLED NORTH
SITE PLAN
G1.0

Item #2.



1 SITE CONTEXT PLAN
NO SCALE



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PROJECT NAME

NEW SINGLE FAMILY HOME - E 316TH ST

ARCHITECTURAL DRAWINGS FOR

PREPARED FOR:

ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

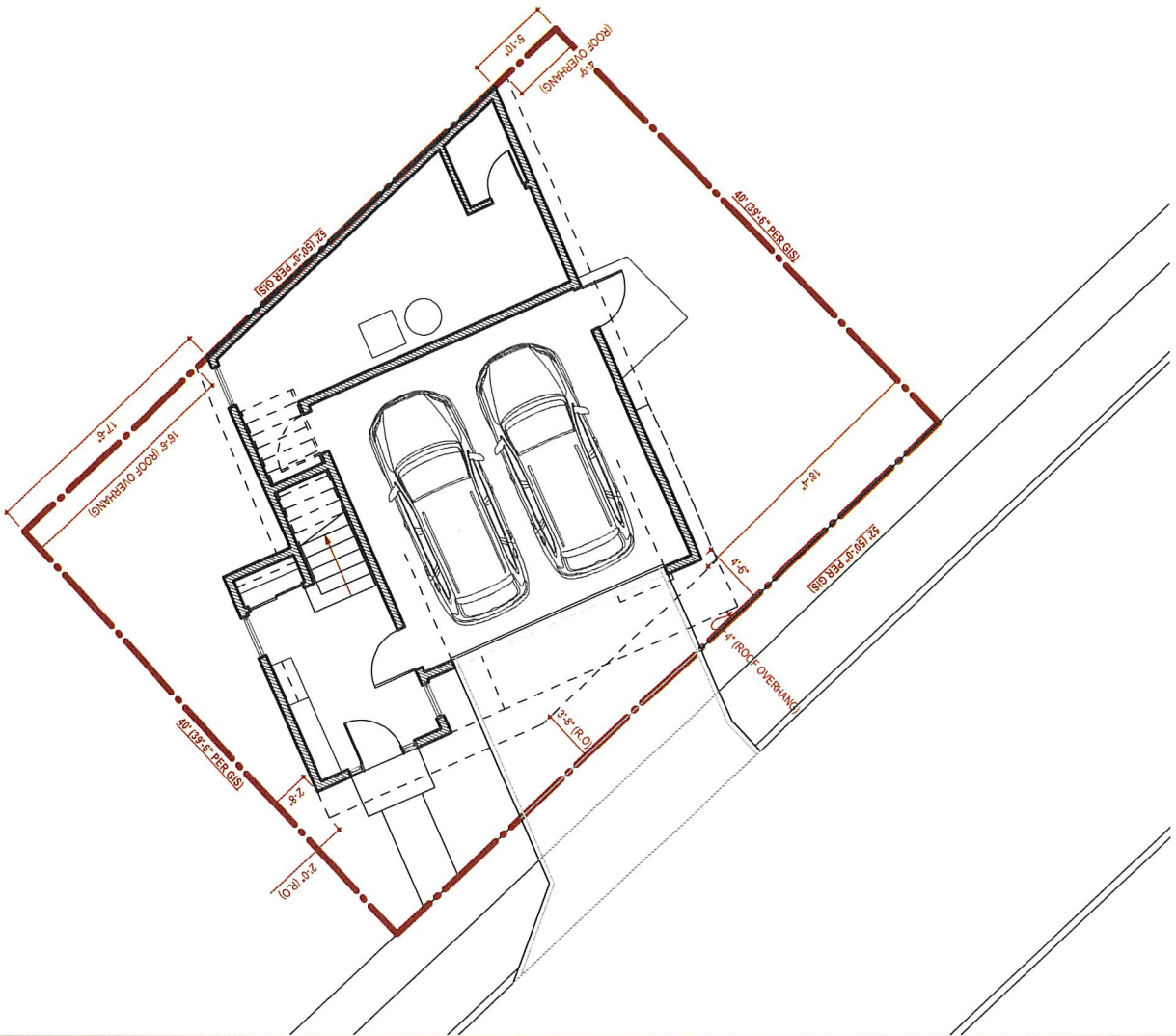
SITE PLAN
G1.1
CALLED NORTH

Item #2.

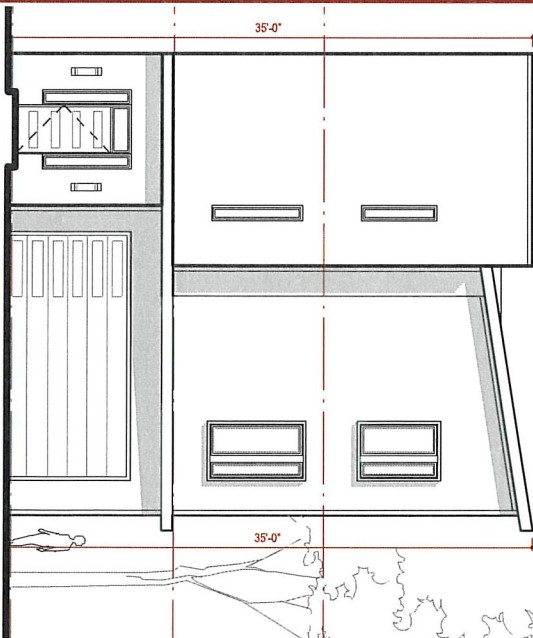


1 SITE CONTEXT PLAN
NO SCALE

① SITE/SETBACK PLAN
SCALE: 1/8"=1'-0"



② FRONT ELEVATION
SCALE: 1/8"=1'-0"



① CALLED NORTH

ZONING REVIEW
Z1.0

ISSUE
SURVEY
INITIAL DWGS.
REVISED DWGS.

PREPARED FOR:
X

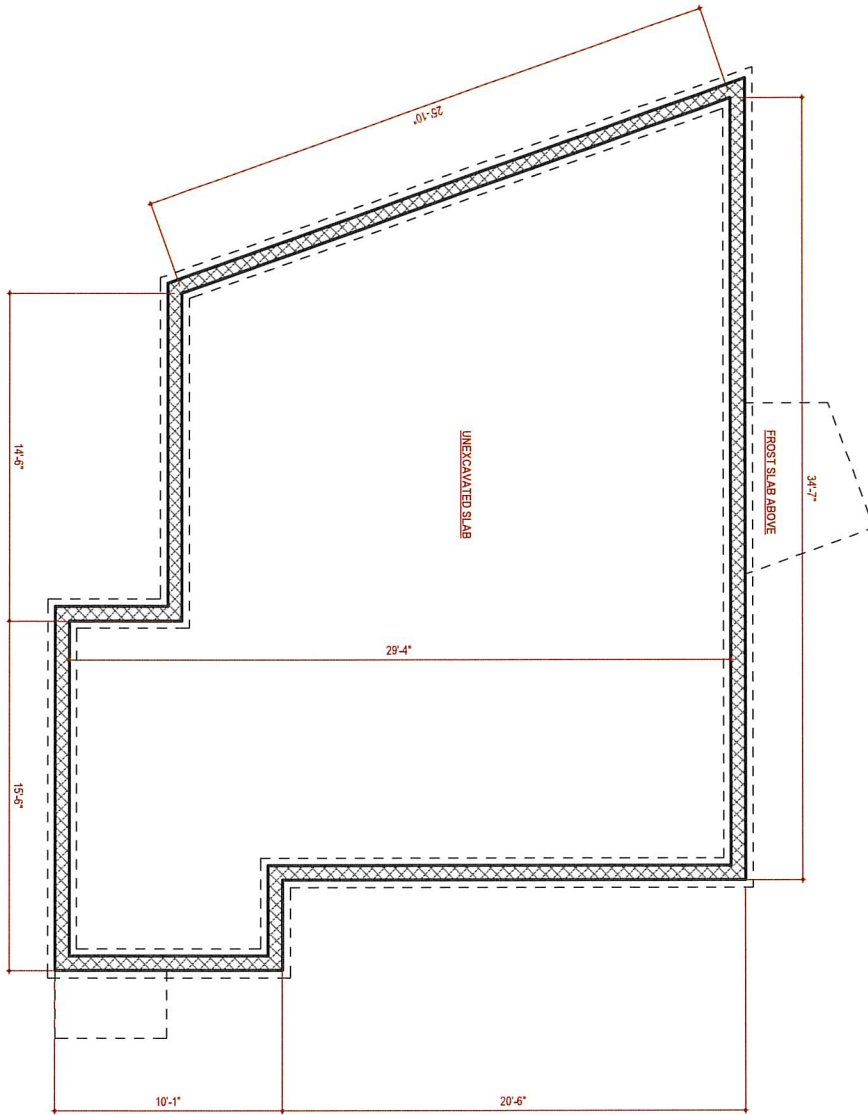
ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PROJECT ADDRESS
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PARCEL 28044700140
PROJECT NAME



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① FOUNDATION PLAN
SCALE: 3/16"=1'-0"



ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PROJECT ADDRESS
0 E 316TH ST
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PARCEL 28004F000140
PROJECT NAME

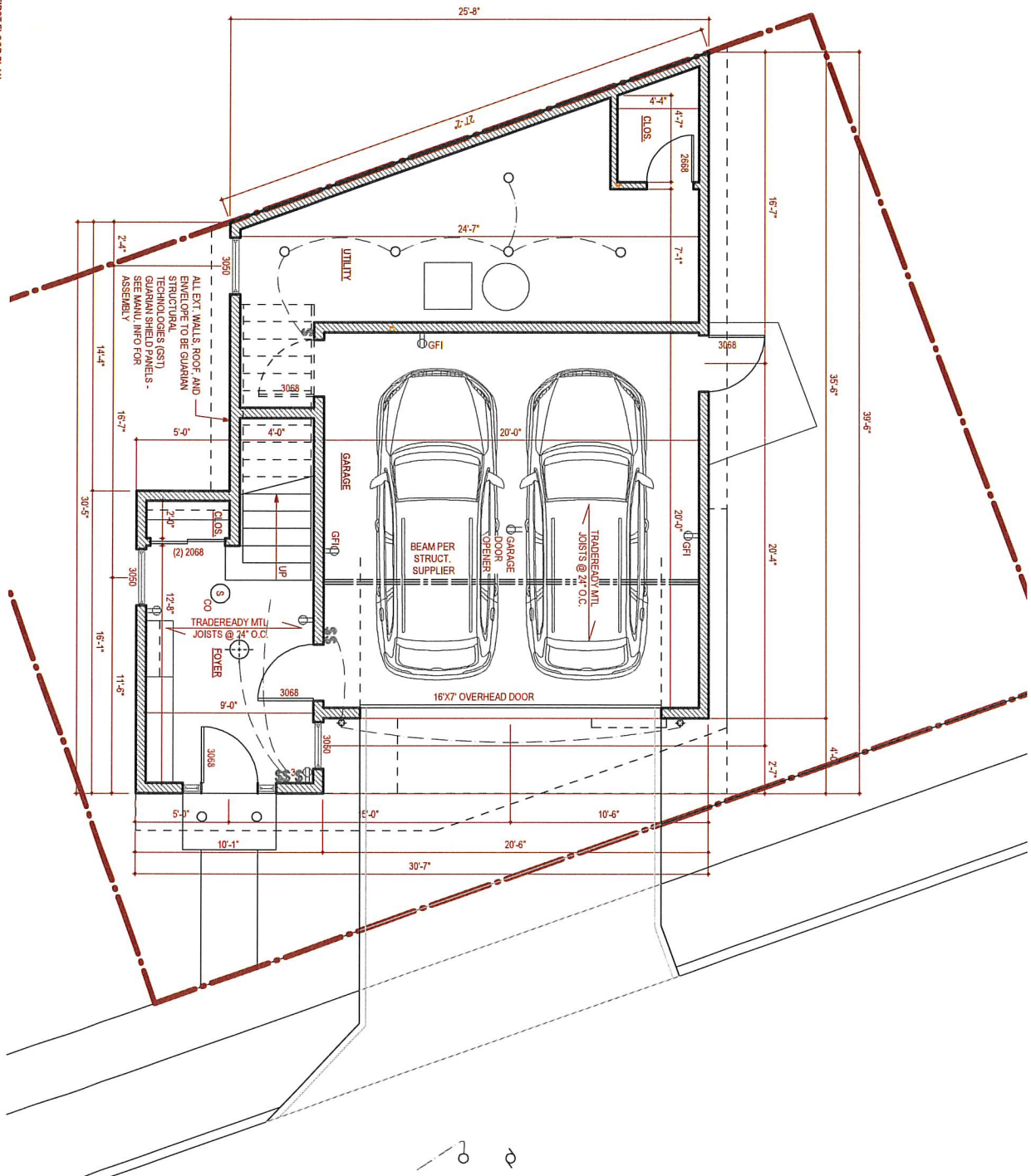


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FLOOR PLANS
F1.0

ISSUE	PREPARED FOR:
SURVEY	X
INITIAL DWGS.	
REVISED DWGS.	

1 FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



ARCHITECTURAL DRAWINGS FOR:

NEW SINGLE FAMILY HOME - E 316TH ST

PROJECT ADDRESS
0 E 316TH ST
WILLOW, OH, 44095
PARCEL 2804R030740
PROJECT NAME

ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

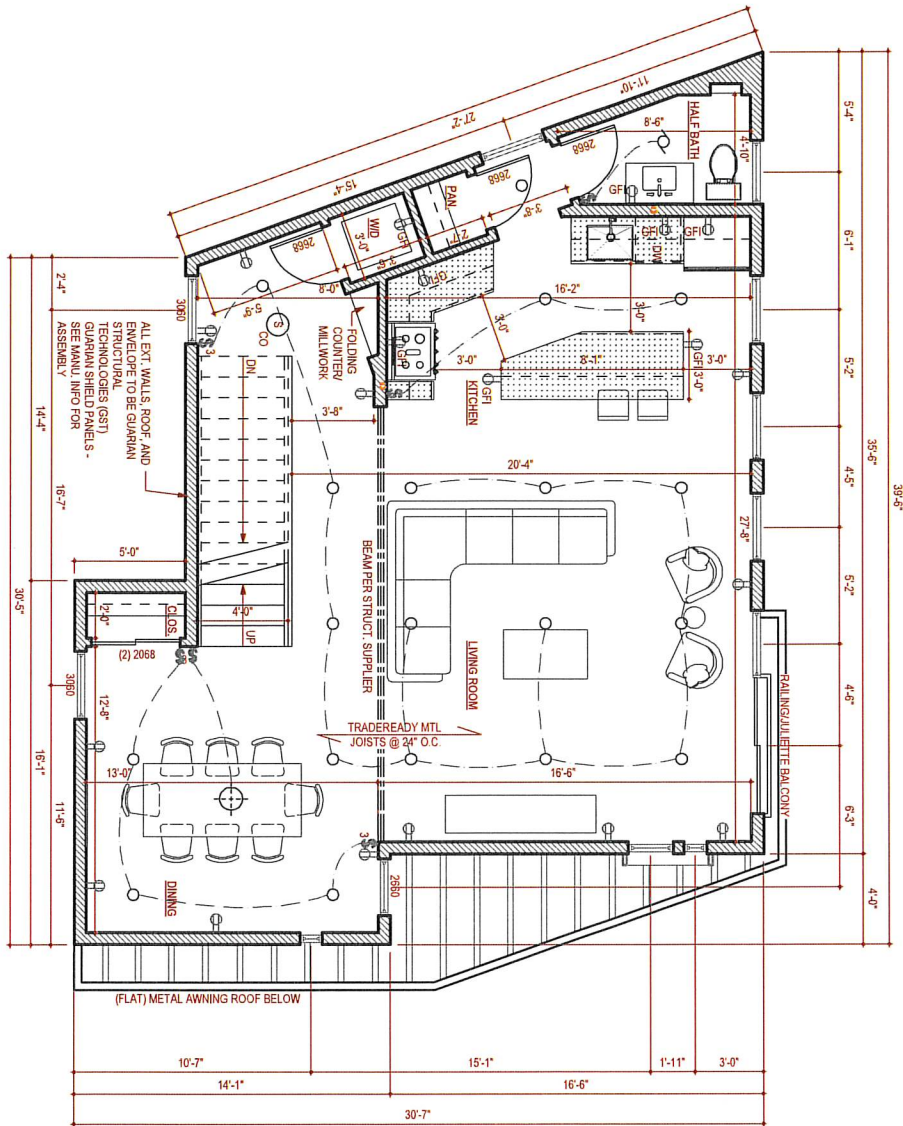
PREPARED FOR:
X

FLOOR PLANS
A1.0

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1 SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



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PROJECT NAME

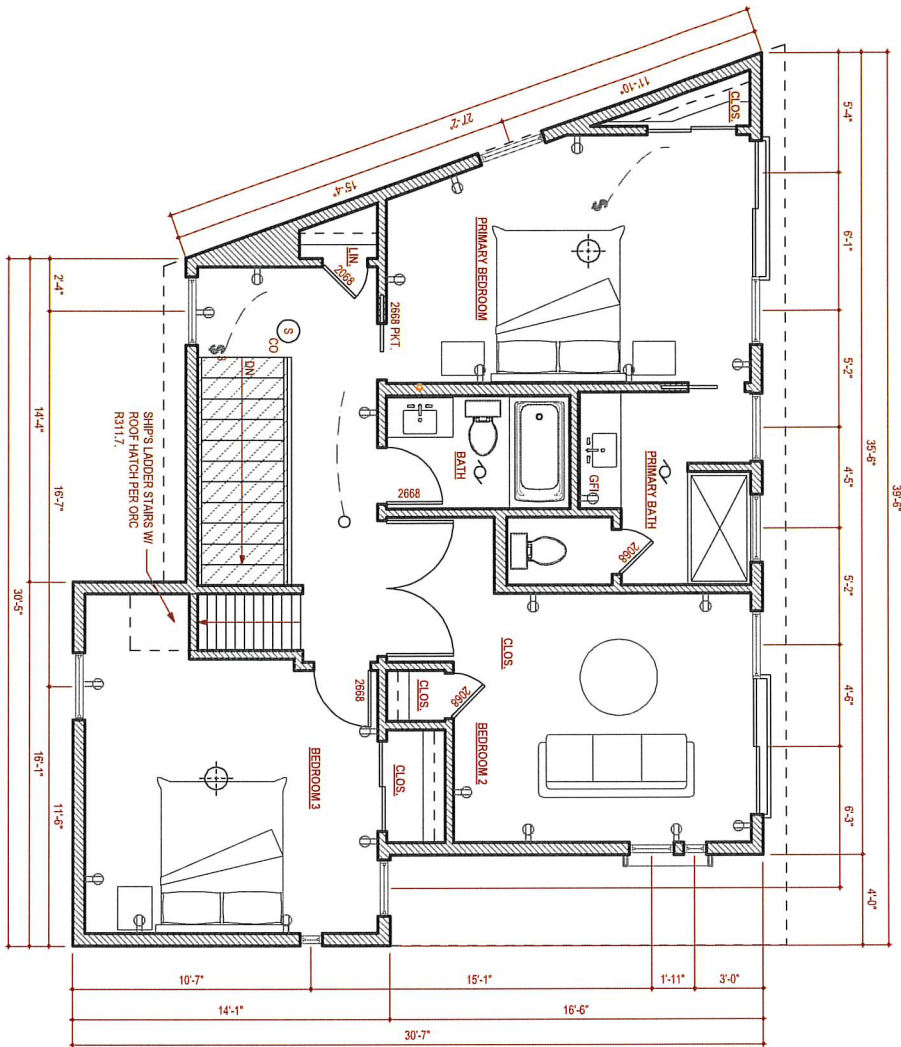
ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PREPARED FOR:
X

ISSUE
SURVEY
INITIAL DWGS.
REVISED DWGS.

FLOOR PLANS
A2.0

1 THIRD FLOOR PLAN
SCALE: 3/16"=1'-0"



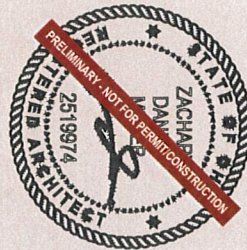
FLOOR PLANS
A3.0

ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

PREPARED FOR:
X

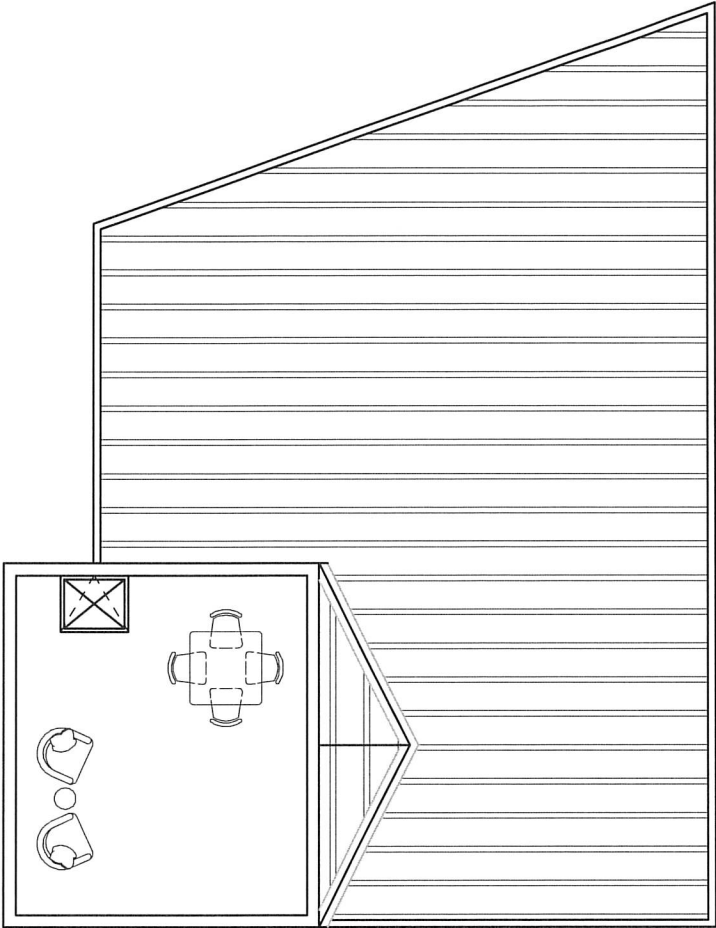
ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PROJECT ADDRESS
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PROJECT NAME



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① ROOF PLAN
SCALE: 3/16"=1'-0"



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PROJECT NAME

ARCHITECTURAL DRAWINGS FOR:

NEW SINGLE FAMILY HOME - E 316TH ST

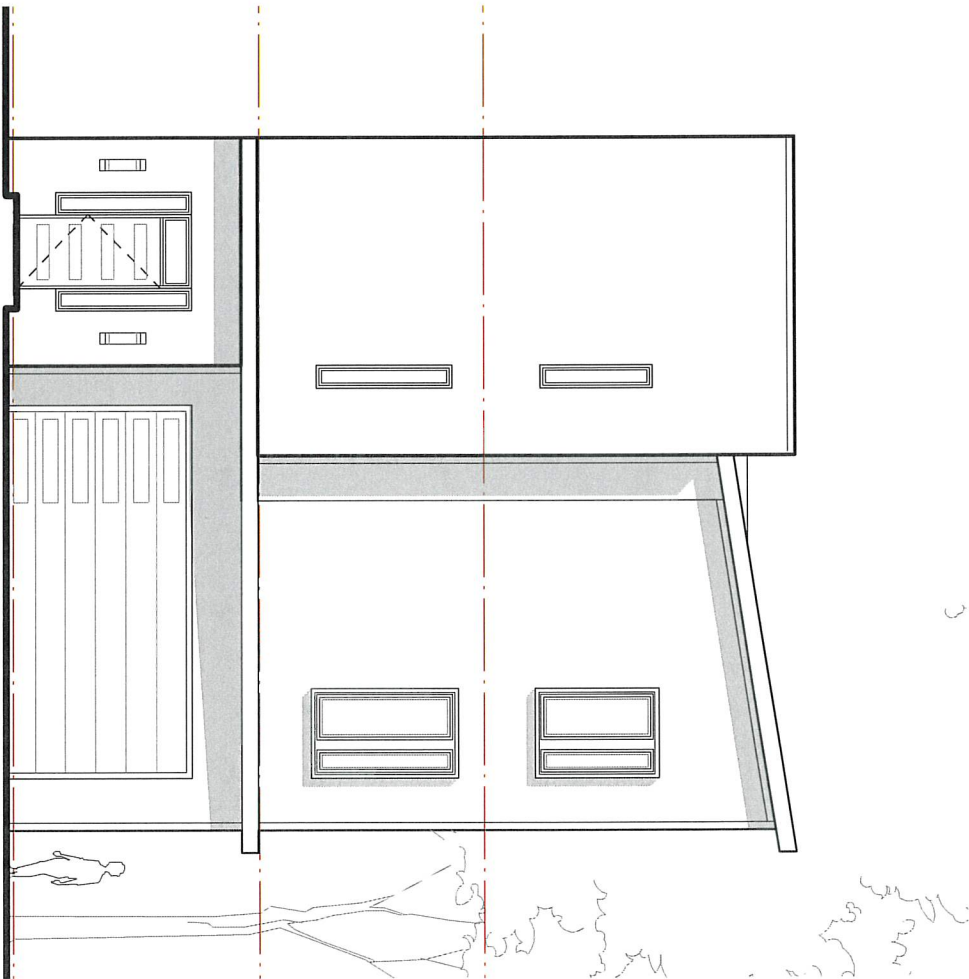
PREPARED FOR:

X

ISSUE
SURVEY-
INITIAL DWGS -
REVISED DWGS -

FLOOR PLANS
A4.0

1 FRONT ELEVATION
SCALE: 3/16"=1'-0"



1
CALLED NORTH

ELEVATIONS
A5.0

ISSUE	PREPARED FOR:
SURVEY-	X
INITIAL DWGS -	
REVISED DWGS -	

ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

PROJECT ADDRESS
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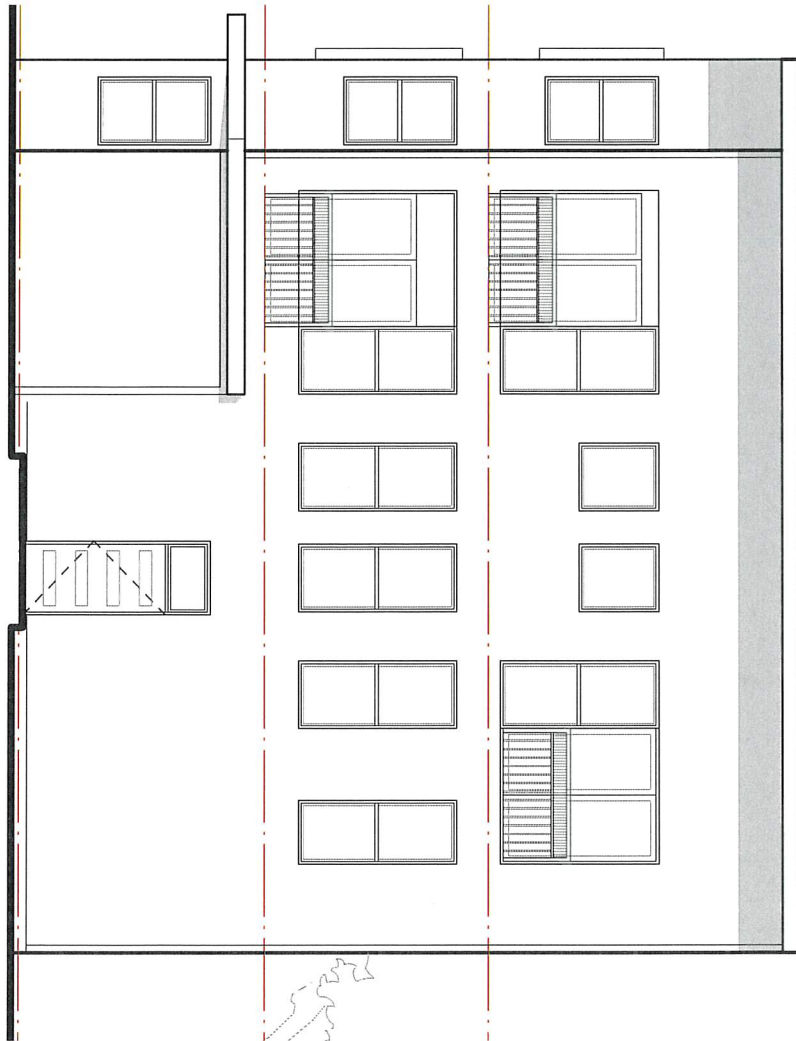
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① SIDE ELEVATION
SCALE: 3/16"=1'-0"



ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

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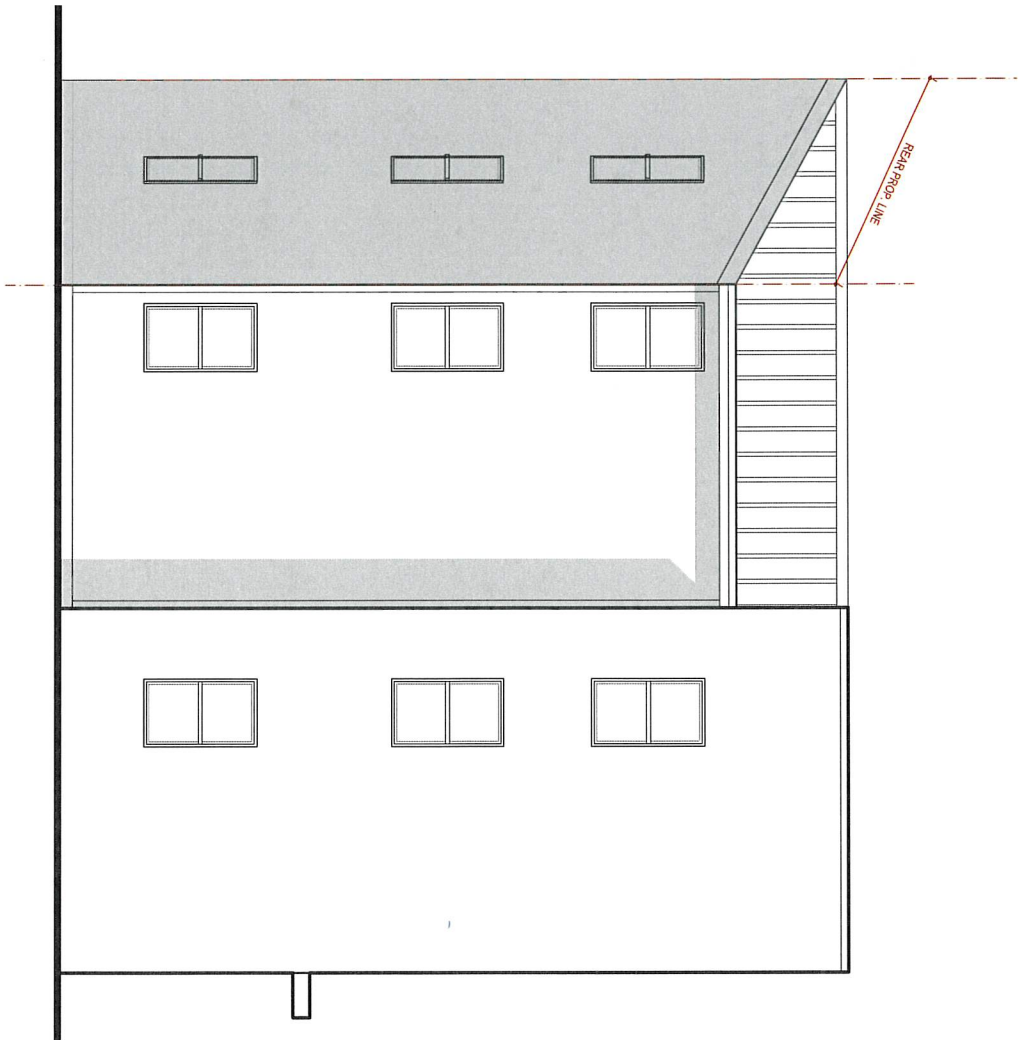


PREPARED FOR:
X

ISSUE
SURVEY -
INITIAL DWGS -
REVISED DWGS -

① ELEVATIONS
CALLED NORTH
A6.0

① SIDE ELEVATION
SCALE: 3/16"=1'-0"



①
CALLED NORTH

ELEVATIONS
A7.0

ISSUE	
SURVEY	
INITIAL DWGS	
REVISED DWGS	

PREPARED FOR:
X

ARCHITECTURAL DRAWINGS FOR:
**NEW SINGLE FAMILY
HOME - E 316TH ST**

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