



**City of Willowick**  
**PLAN REVIEW BOARD**  
Thursday, June 08, 2023 at 3:00 PM  
Willowick Building & Service Center

**ADA NOTICE**

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

**AGENDA**

1. **Call meeting to order**
2. **Roll call**
3. **Approval of minutes**
  1. [Plan Review Board Minutes - May 11th 2023](#)
4. **New business**
  1. [Chopsticks Cuisine - Located at 31442 Vine Street \(new business and interior alterations\)](#)
  2. [One Oak Tree LLC DBA Winner's Paradise - Located at 32801 Vine Street \(new business location and interior alterations\) - Previously approved location of 31442 Vine Street](#)
5. **Public portion**
6. **Old business**
7. **Miscellaneous**
8. **Adjournment**



**City of Willowick**  
**PLAN REVIEW BOARD**  
 Thursday, May 11, 2023 at 3:00 PM  
 Willowick Building & Service Center

**ADA NOTICE**

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**MINUTES**

**1. Call meeting to order**

Chief Brennan called the May 11th, 2023, Plan Review Board meeting to order at 3:00pm.

**Roll call**

PRESENT

Chief Brennan

Chief Turner

Mike Lazor

ABSENT

Chief Malovrh Jr.

Tim McLaughlin

ALSO PRESENT

Ken Pintar

**Approval of minutes**

Plan Review Board Minutes - April 27th, 2023

Motion to approve the April 27th, 2023, Plan Review Board minutes made by Chief Turner, Seconded by Mike Lazor.

Voting Yea: Chief Brennan, Chief Turner, Mike Lazor

**New business**

LJ Clippers LLC DBA Great Clips - Located at 30140 Lakeshore Blvd

Kristen Wanyek was present representing LJ Clippers LLC DBA Great Clips. Chief Brennan advised the board that this item is a business ownership change. Ms. Wanyek stated that she is the area manager for the business and that the business changed hands a in October of 2022. Chief Brennan stated that we were made aware of the change of ownership while Commercial Establishment license renewals were being sent out.

Motion made to approve LJ Clippers LLC DBA Great Clips located at 30140 Lakeshore Blvd by Mike Lazor, Seconded by Chief Turner.

Voting Yea: Chief Brennan, Chief Turner, Mike Lazor

Luxury Brand Party Co - Top Designer Landscaping - Located at 30509 Euclid Ave - Tabled

Motion made to bring Luxury Brand Party Co - Top Designer Landscaping located at 30509 Euclid Ave previously tabled back to the table by Chief Turner, Seconded by Mike Lazor.

Voting Yea: Chief Brennan, Chief Turner, Mike Lazor

Chief Brennan stated that this business has been to and approved by both Planning Commission and City Council. The Plan Review Board tabled this because the landscaping portion of the business is service based and required approval from Planning Commission and City Council.

Motion made to approve Luxury Brand Party Co - Top Designer Landscaping located at 30509 Euclid Ave by Chief Turner, Seconded by Mike Lazor.

Voting Yea: Chief Brennan, Chief Turner, Mike Lazor

**Public portion**

Public portion was opened and closed at 3:06pm with no public present.

**Old business**

None.

**Miscellaneous**

None.

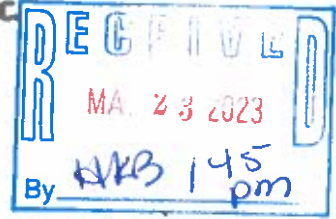
**Adjournment**

Motion made to adjourn the May 11th, 2023, Plan Review Board meeting at 3:06pm by Mike Lazor, Seconded by Chief Turner.

Voting Yea: Chief Brennan, Chief Turner, Mike Lazor



CITY OF WILLOWICK PLAN REVIEW BOARD  
APPLICATION FOR PERMIT TO OCCUPY FOR  
BUSINESS, COMMERCIAL, INDUSTRIAL, ETC.  
YOU MUST FILL OUT ENTIRE APPLICATION  
440-516-3000



PERMIT FEE: \$60.00  
DATE: 05/23/2023

Location of Occupancy: 31442 Vine Street Business Name: CHOPSTICKS CUISINE  
(ADDRESS)

Business Owner's Name & Address: Zhenyi Chen 7190 Hawthorn Trce

CITY/STATE/ZIP: Independence OH 44131

Telephone Number: 2165664532 Fax Number: X Federal ID Number: 641-47-6738  
Or Social Security Number

OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: Chenhs LLC 7190 Hawthorn Trce  
Independence OH 44131 2165664532

SUBMIT NEW DETAILED FLOOR PLAN:  SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: 1,393

Building Size: 1,495 Total Number Of Employees: 4

Intended Number of Occupants: 12 MAX Total Number of Seating: 8

Site Plan With Number of Paved Parking Spaces 29 Hours Of Operation: \_\_\_\_\_

Letter of Intent:  Previous Use: INTERNET CAFE Proposed Use: CHINESE RESTAURANT

NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: Zhenyi Chen

Home Address/City/Zip: 7190 Hawthorn Trce Independence OH 44131 Telephone Number: 2165664532

I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpose stated above. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire & Willowick Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be complied with before opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of the City of Willowick.

Applicant's Signature: Zhenyi Chen Date: 05/23/2023

Office use only:

Zoning District: \_\_\_\_\_ Authorized Occupants: \_\_\_\_\_

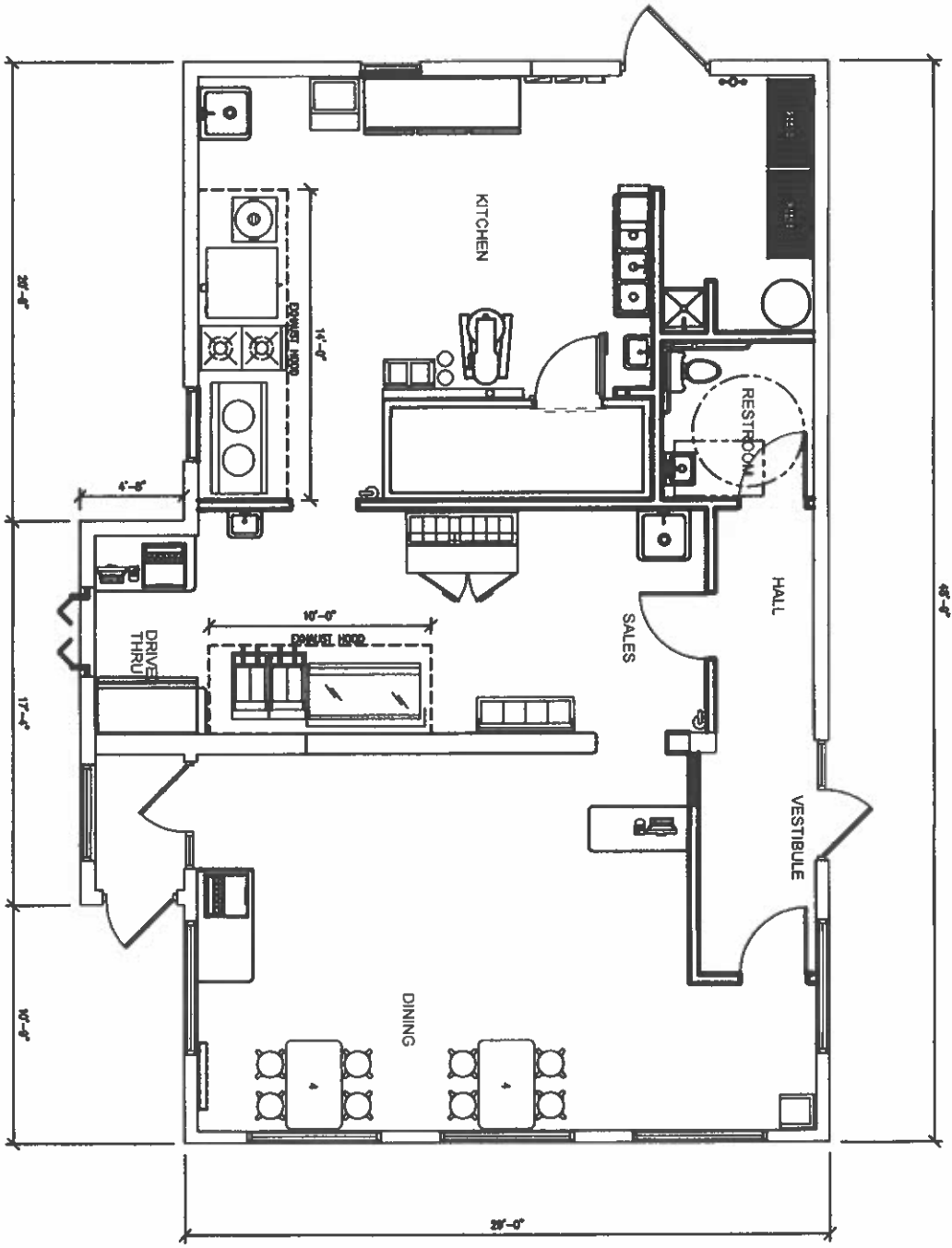
TEMPORARY APPROVED BY: \_\_\_\_\_ Date: \_\_\_\_\_

Zoning Dept. Inspected by: \_\_\_\_\_ DATE: \_\_\_\_\_

Zoning Permit # \_\_\_\_\_ Zoning Permit Fee \$ \_\_\_\_\_

Fire Dept. Inspected By: \_\_\_\_\_ Date: \_\_\_\_\_

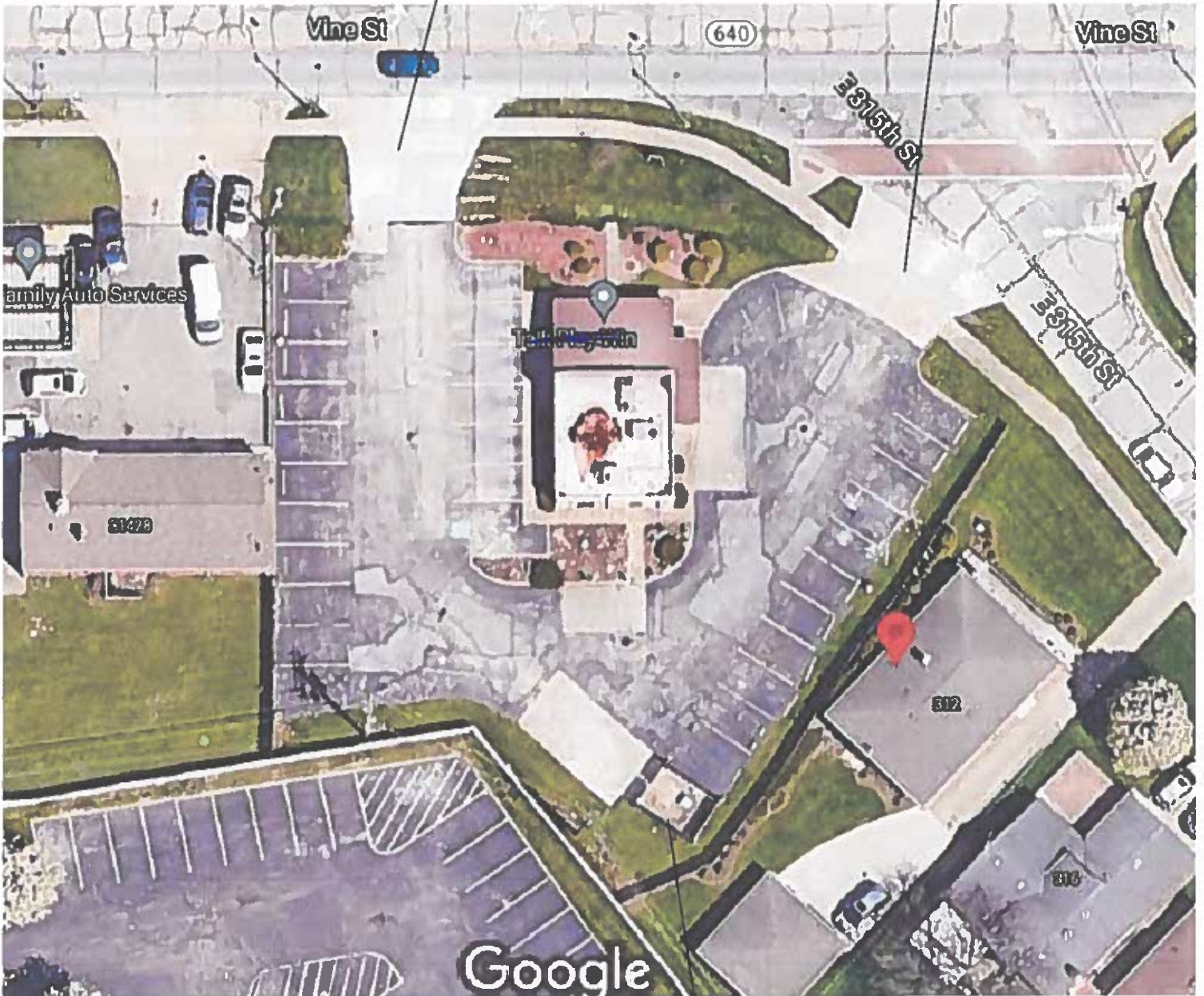
CITY OF WILLOWICK-APPLICATION FOR COMMERCIAL ESTABLISHMENT LICENSE REQUIRED AFTER APPROVAL.  
Note\* A separate permit is required for all new signs from the Willowick Building Department.



**PROPOSED FLOOR PLAN**  
SCALE: 1/8"=1'-0"  
**CHOPSTICKS CUISINE**  
31442 VINE STREET  
WILLOWICK, OHIO



EXISTING CURB CUTS



EXISTING DUMPSTER ENCLOSURE



# SITE PLAN

SCALE: NONE

PARKING SPACES: 29

## Letter of Intent

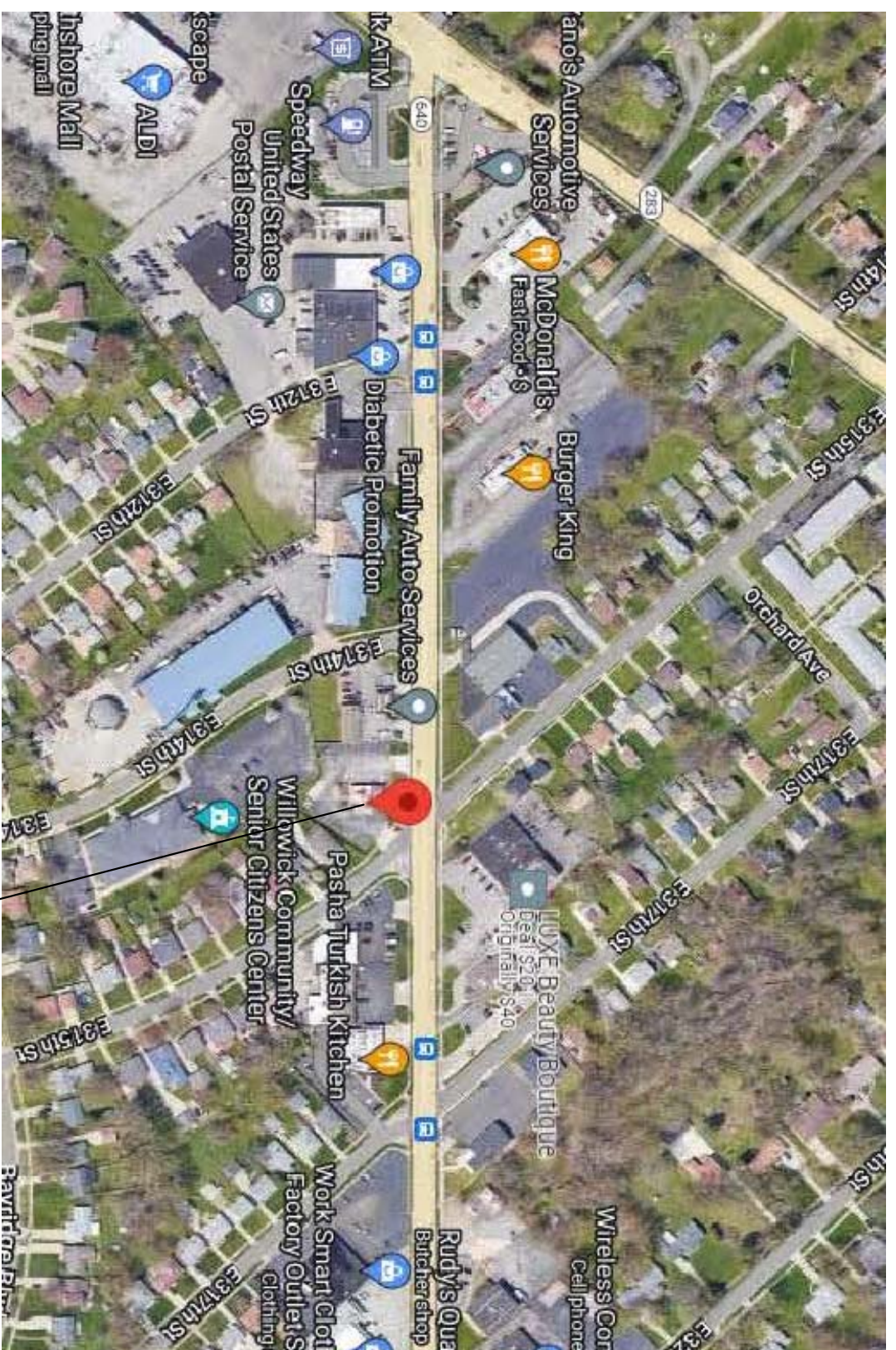
City of Willowick-Plan Review Board

My name is Zhong Chen, and I am the owner of the proposed restaurant at 31442 Vine Street, Willowick, Ohio. I have been involved in my family's restaurant businesses for almost 20 years and have a vast knowledge of how to operate a Chinese restaurant. I am now looking to expand with my own restaurant. I purchased the property in April, 2022 and have prepared architectural construction documents for submittal. I believe this restaurant, which will mainly be a takeout and drive thru establishment, with minimal seating, will be a great asset to the city, and occupy a currently vacant building. I look forward to becoming part of the Willowick community.

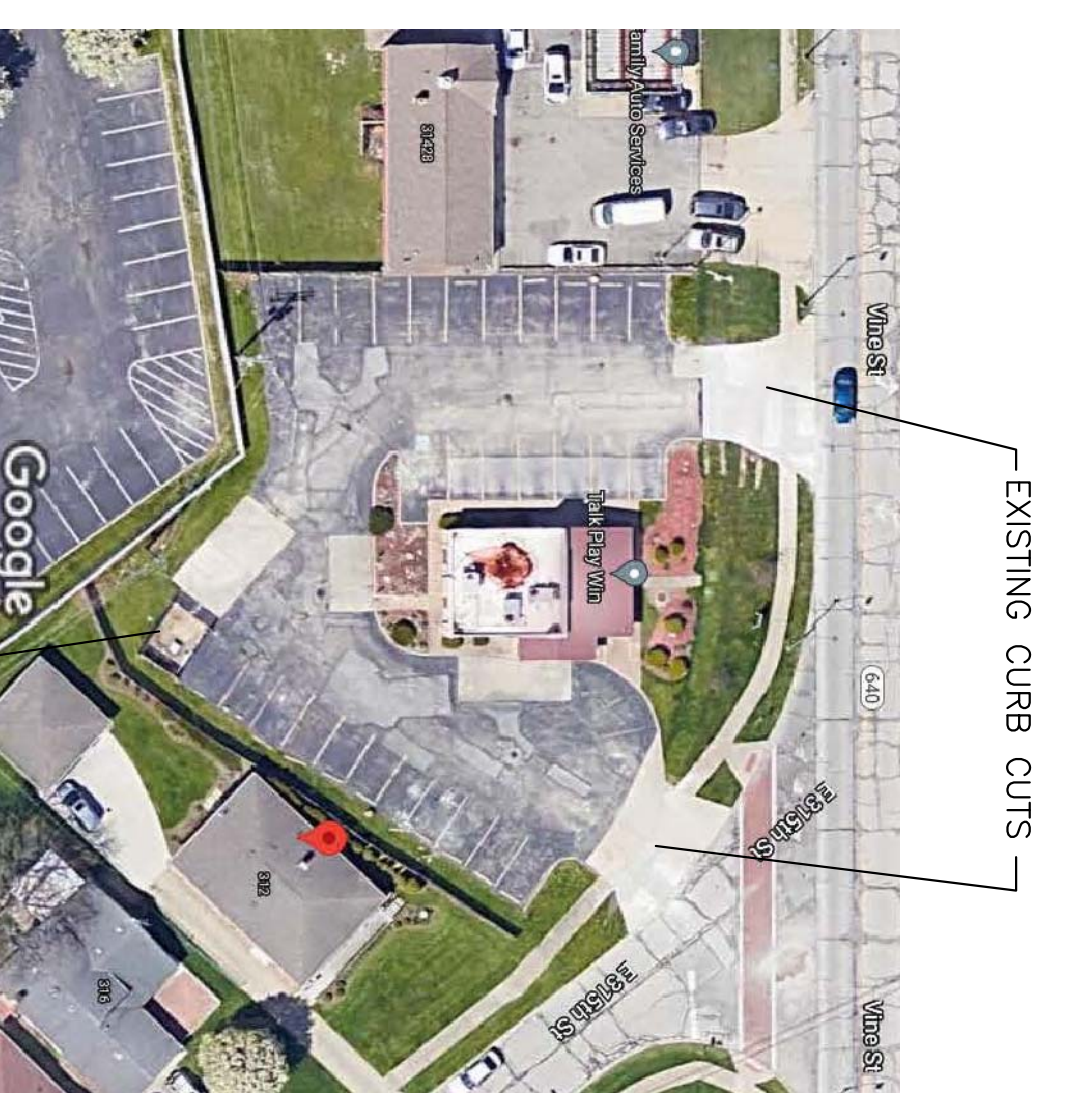
A handwritten signature in black ink that reads "Zhong Chen". The signature is written in a cursive, slightly slanted style.

Zhong Chen – Owner/operator

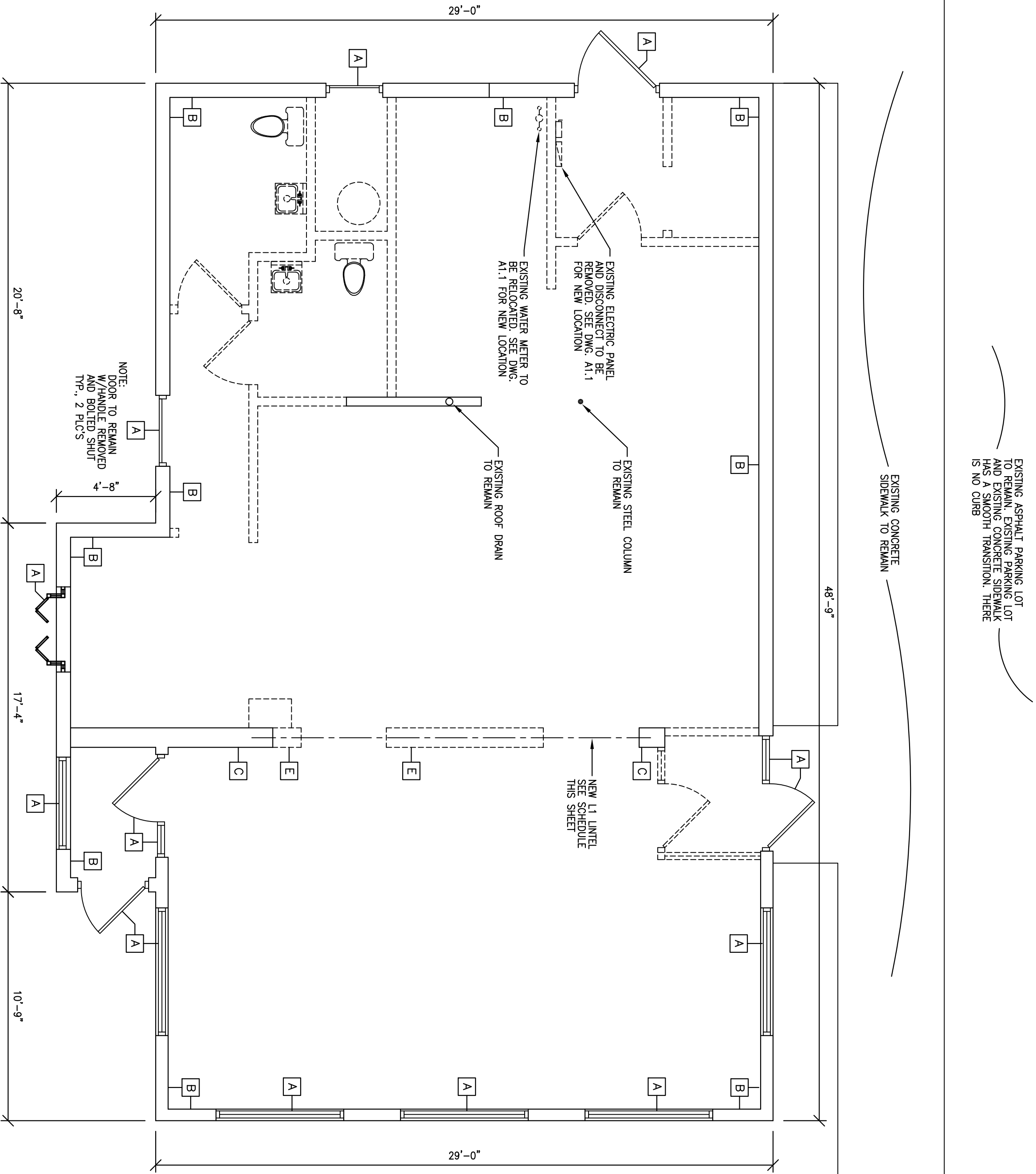




**LOCATION MAP**  
SCALE: NONE  
NORTH



**SITE PLAN**  
SCALE: NONE  
NORTH  
PARKING SPACES: 29  
EXISTING CURB CUTS  
EXISTING DUMPSTER ENCLOSURE

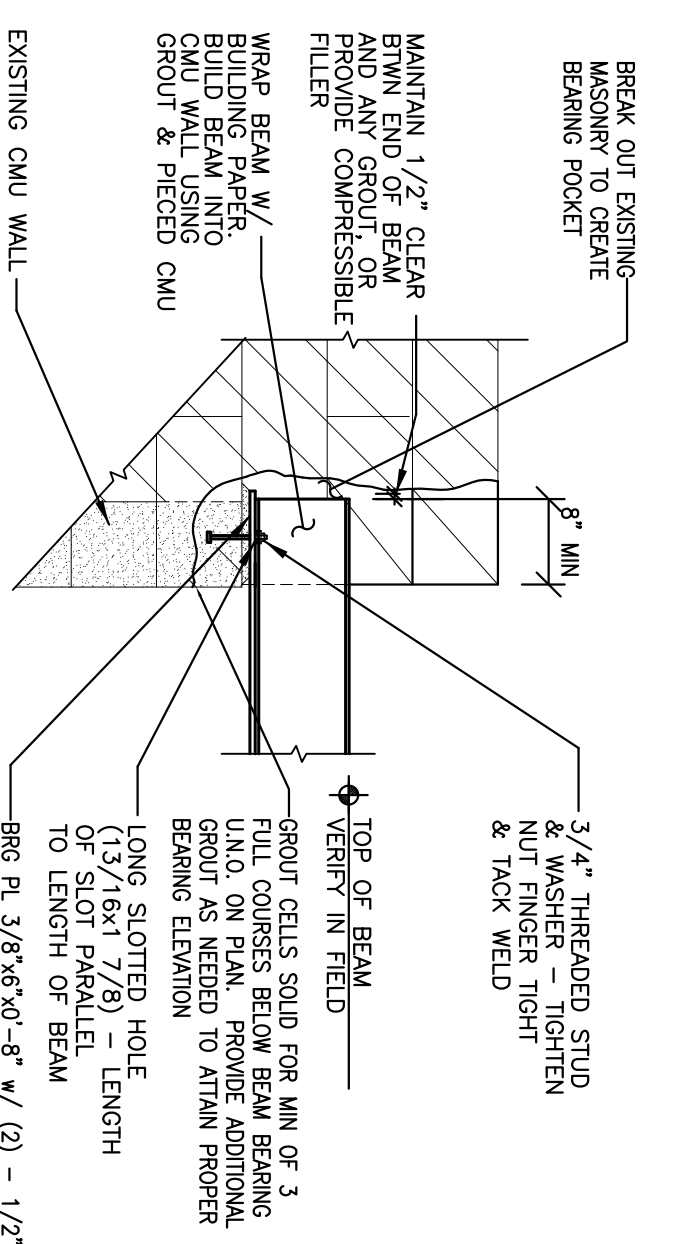


**EXISTING CONDITIONS/  
DEMOLITION PLAN**  
SCALE: 1/4"=1'-0"

**LINTEL SCHEDULE**

MARK	SIZE	CONFIGURATION	REMARKS
L1	W18x35 w/ 2" PL -0"	EQUATE ERECTION 1/4" V-3-1/2"	

- LINTEL SCHEDULE NOTES:**
- 1) PROVIDE 8" MINIMUM BEARING FOR ALL LINTELS, U.N.O.
  - 2) PROVIDE MINIMUM OF 3 COURSES SOLID CAU BELOW LINTEL BEARING (UNLESS OTHERWISE NOTED).
  - 3) CENTER BEAMS WITHIN WIDTH OF BLOCK UNLESS NOTED OTHERWISE.
  - 4) PROVIDE ADJUSTABLE MASONRY ANCHORS ON WEBS/FLANGES AT 32" O.C.
  - 5) PROVIDE HORIZONTAL REINFORCING IN THE JOINT ABOVE THE LINTEL AND EXTEND 24" BEYOND EDGE OF OPENING.
  - 6) REFER TO ELEVATIONS FOR OPENING LOCATIONS, ELEVATIONS, & SIZES.
  - 7) EXTEND BOTTOM PLATES FULL LENGTH (UNLESS BEARING PL. IS INDICATED IN SCHEDULE).
  - 8) SHORE ALL CAU LINTELS UNTIL GROUT HAS CURED.
  - 9) BOTTOM PL. TO BE 1" W/ WIDER THAN NOMINAL WALL THICKNESS U.N.O.
  - 10) ALL BEAMS SHALL BE A992 WITH MIN F<sub>y</sub>=50 KSI.
- STRUCTURAL STEEL:**  
All structural steel beams and channels shall conform to ASTM A992 or ASTM A572 Gr. 50 except plate and angle sections which shall conform to ASTM A572 Gr. 50. All steel connections shall conform to AISC 358. All steel members shall conform to the latest AISC specifications. All structural steel which is not spray prepared shall be shop primed. Provide AISC standard connections. E-70x electrodes in accordance with the latest AWS specifications.



**BEAM BEARING  
DETAIL @ EXISTING WALL**  
SCALE: N.T.S.

**DEMOLITION NOTE:**

1. EXTENT OF DEMOLITION WORK IS AS INDICATED ON THE DRAWINGS. VERIFY WITH OWNER PRIOR TO DEMOLITION. ALL REMOVED ITEMS TO BE THROWN AWAY. REMOVE FROM BUILDING SITE ALL DEBRIS, RUBBISH, AND OTHER MATERIALS. DEMOLITION OPERATIONS, BURNING OR OTHER MATERIAL IS NOT PERMITTED.
2. REMOVE COMPLETELY ALL WALLS AS INDICATED. PATCH AND REPAIR, AS REQUIRED. ALL REMAINING SURFACES TO RECEIVE NEW FINISHES SPECIFIED IN SECTION M1.1.
3. ALL ABANDONED PLYING LINES ARE TO BE CAPPED BELOW FLOOR LEVEL AND EXCAVATION IS TO BE FILLED WITH CONCRETE AND PREPARED TO RECEIVE NEW FINISH. COORDINATE WITH THE OWNER FOR SHUT-OFF, CAPPING AND/OR UTILITY SERVICES, AS REQUIRED.
4. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITIONS OF REAS OR STRUCTURES TO BE REMOVED OR DEMOLISHED.
5. GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PROTECTION, AS REQUIRED, TO PROTECT GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
6. REPAIR, AT NO ADDITIONAL COST TO OWNER, ANY DAMAGES CAUSED TO ADJACENT FACILITIES BY THIS DEMOLITION.
7. DO NOT CLOSE, BLOCK, OR OTHERWISE OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED OR USED FACILITIES.
8. G.C. IS TO PROVIDE PORTABLE FIRE EXTINGUISHERS AND OTHER FIRE PROTECTION AS DEEMED NECESSARY BY THE FIRE DEPARTMENT HAVING JURISDICTION, FOR THE DURATION OF THE PROJECT, INCLUDING DEMOLITION.
9. DO NOT INTERRUPT EXISTING UTILITIES SERVING OTHER OCCUPIED PORTIONS OF THE FACILITY.
10. COMPLY WITH APPLICABLE REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
11. COMPLY WITH APPLICABLE REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

**WALL LEGEND**

- A** EXISTING WINDOWS/DOORS TO REMAIN
- B** EXISTING EXTERIOR WALL TO REMAIN
- C** EXISTING LOAD BEARING WALL TO REMAIN
- D** NEW WALL - 3.5" W/ 5/8" STEEL STUDS @ 16" O.C. W/ 5/8" GPM BR. BOTH SIDES TO 6" RIGID ACT. CEILING
- E** EXISTING WALLS, COUNTERS, LIGHTS, CEILING, ETC. TO BE REMOVED

**CODE DATA**

BUILDING CODE:	2017 OHIO BUILDING CODE
PLUMBING CODE:	2017 OHIO PLUMBING CODE
ELECTRICAL CODE:	2017 OHIO ELECTRIC CODE
MECHANICAL CODE:	2017 OHIO MECHANICAL CODE
ACCESSIBILITY CODE:	ICC A 117.1 2009
PREVIOUS TENANT USE:	'A2' - ASSEMBLY (INTERNET CAFE)
PROPOSED TENANT USE:	'B' - BUSINESS
CONSTRUCTION TYPE	IIIB
PROJECT AREA	1,495 SQ.FT.
SEATING, RESTROOMS,	416 S.F. @ 15 SQ. FT./PERSON = 28 OCCUPANTS
KITCHENS:	1,079 S.F. @ 200 SQ. FT./PERSON = 6 OCCUPANTS
TOTAL = 34 OCCUPANTS	

**DRAWING INDEX**

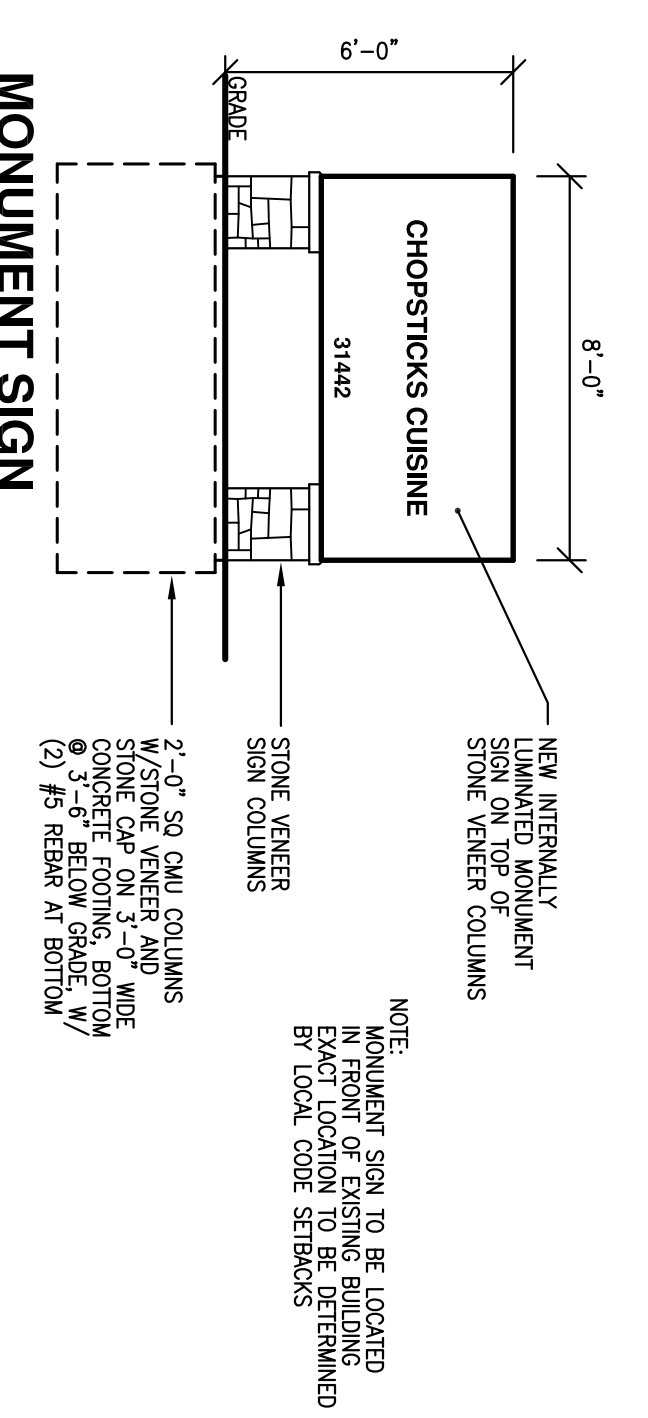
DESCRIPTION	QUANTITY
OCCUPANT LOAD	34 OCCUPANTS
SEATING: (ACTUAL)	8
EXITS REQUIRED	2
EXITS PROVIDED	3
FIRE PROTECTION	EXHAUST HOOD FIRE SUPPRESSION SYSTEM

**DRAWING INDEX**

DESCRIPTION	QUANTITY
CVR COVER SHEET - CODE DATA, SITE PLAN	
DEMOLITION PLAN, EXISTING CONDITIONS PLAN	
A1.1 REMODELING PLAN, DOOR & ROOM FINISH SCHEDULE	
KITCHEN EQUIPMENT SCHEDULE	
A2.1 ARCHITECTURAL CEILING PLAN	
P1.1 PLUMBING PLAN & GAS RISER DIAGRAM	
P2.1 PLUMBING SPECIFICATIONS & DETAILS	
P2.1 SANITARY RISER DIAGRAM	
A2.1 ARCHITECTURAL CEILING PLAN	
M1.1 MECHANICAL PLAN & MECHANICAL SPECIFICATIONS	
M2.1 EXHAUST HOOD DETAILS & SPECIFICATIONS	
E1.1 LIGHTING PLAN & ELECTRICAL SPECIFICATIONS	
E2.1 POWER PLAN	
E3.1 ELECTRICAL SPECIFICATIONS, SCHEDULES	

**SUMMARY OF WORK**

AN ENGINEER, CONSENTING, CLOSED INTERNET CAFE. THE INTERIOR WILL BE COMPLETELY REMODELED WITH NEW COUNTER AND FINISHES. THE EXTERIOR WILL BE REPAIRED. EXISTING SIGNAGE WILL BE LIMITED TO 9 SIGNS.



**MONUMENT SIGN**  
SCALE: 1/4"=1'-0"

	Project	CHOPSTICKS CUISINE
	Address	31442 VINE STREET WILLOWICK, OHIO
<b>Architecture</b> Project Management Owner Representation 2091 South Belvoir Blvd. South Euclid, Ohio 44121 216-246-0246 robin.c.kevin@gmail.com	Drawing	<b>COVER SHEET - CODE DATA, SITE PLAN</b>
	Scale:	1/4" = 1'-0"
	Date:	5-3-2023
	Issue for:	PERMIT

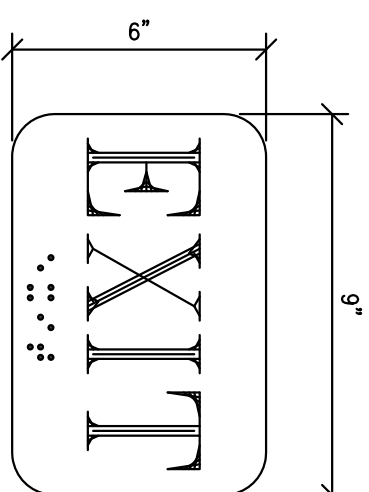
**CVR**



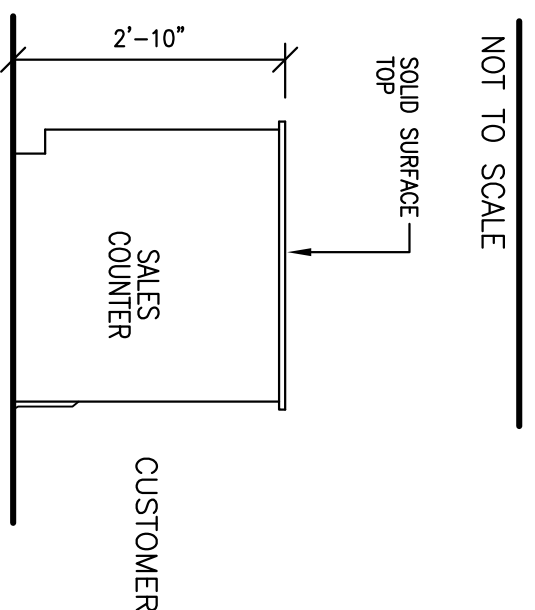
**EQUIPMENT SCHEDULE**

ITEM QTY	DESCRIPTION	MAKE	MODEL	REMARKS
1	HOT WELL STATION	ADVANCE TARGO	HF-4E-240	3,000 WATTS
2	P.O.S.	BY VENDOR	-	-
3	EXHAUST HOOD TYPE-1 (10'-0")	CAPRIE AIRE	CUSTOM	
4	EXHAUST HOOD TYPE-1 (10'-0")	CAPRIE AIRE	CAG-60-10	175,000 BTU
5	COUNTER-CUSTOM	BY OWNER	-	-
6	1. 3-COMP SINK	ADVANCE TARGO	FE-3-1020-18	
7	2. TABLE	BY OWNER	-	-
8	CHAIRS	BY VENDOR	-	-
9	1. SODA DISPENSER	BY OWNER	-	-
10	1. COUNTER-CUSTOM	BY OWNER	-	-
11	1. HAND SINK	KROME	HS-1317	W/FAUCET AND HANDLES
12	1. TRASH DISPENSER	GLOBE	SP30P	
13	1. MAKER	BY OWNER	-	-
14	2. SNEEZE GUARD	WATS	WD25	
15	1. GREASE TRAP	BY OWNER	-	-
16	1. COUNTER-CUSTOM	BY VENDOR	-	-
17	1. SODA DISPENSER	MERCO	Z48	
18	1. LOT	BY OWNER	-	-
19	1. REFRIGERATED PREP TABLE	BY OWNER	AP7-60-HC	
20	1. T.V.	VALCON	LC300-1	90,000 BTU
21	2. DEEP FRYER	AMERICAN RANGE	ARCH-2	220,000 BTU
22	2. BOWL WOK	EMPIRA	EMH-1HD	80,000 BTU
23	2. SOUP RANGE	VALCON	TCM1-RM-55N	34,600 BTU
24	1. RICE COOKER	VALCON	VC446D	100,000 BTU
25	1. CONNECTION OVER	CAPRIE AIRE	FE-1-1820	
26	1. EXHAUST HOOD (14'-0")	BY OWNER	-	-
27	2. 1-COMP SINK (VEGE SINK)	ADVANCE TARGO	7-FS-80	
28	1. HAND SINK	EXISTING	-	-
29	1. WALK IN COOLER	SCOTTSMAN	B33P	
30	1. ICE MACHINE	AVANTO	SS-3R-HC	
31	1. REFRIG IN FREEZER-3 DOOR	A.O. SMITH	BH-189	199,000 BTU
32	1. HOT WATER TANK	MUSTIE	650M	
33	1. MOP SINK	BY VENDOR	-	-
34	3. BKG-N-HDX	BY VENDOR	-	-

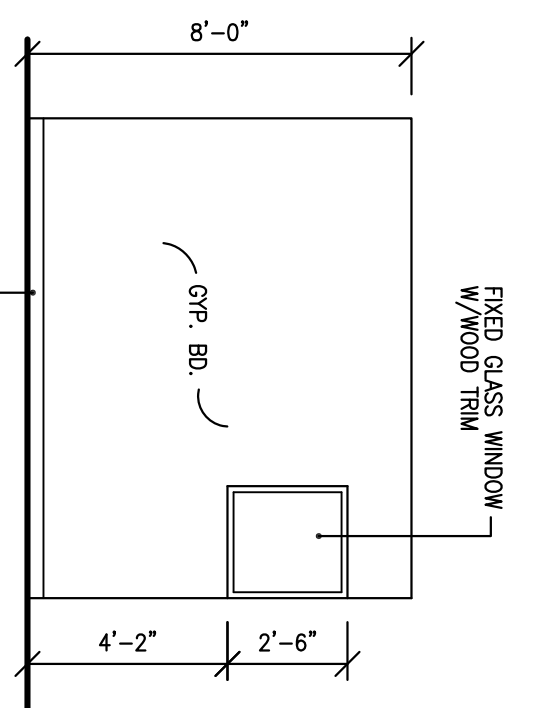
NOTE: ALL EQUIPMENT TO BE NSF AND UL LABELED &/OR CERTIFIED



**TACTILE EXIT SIGN DETAIL**

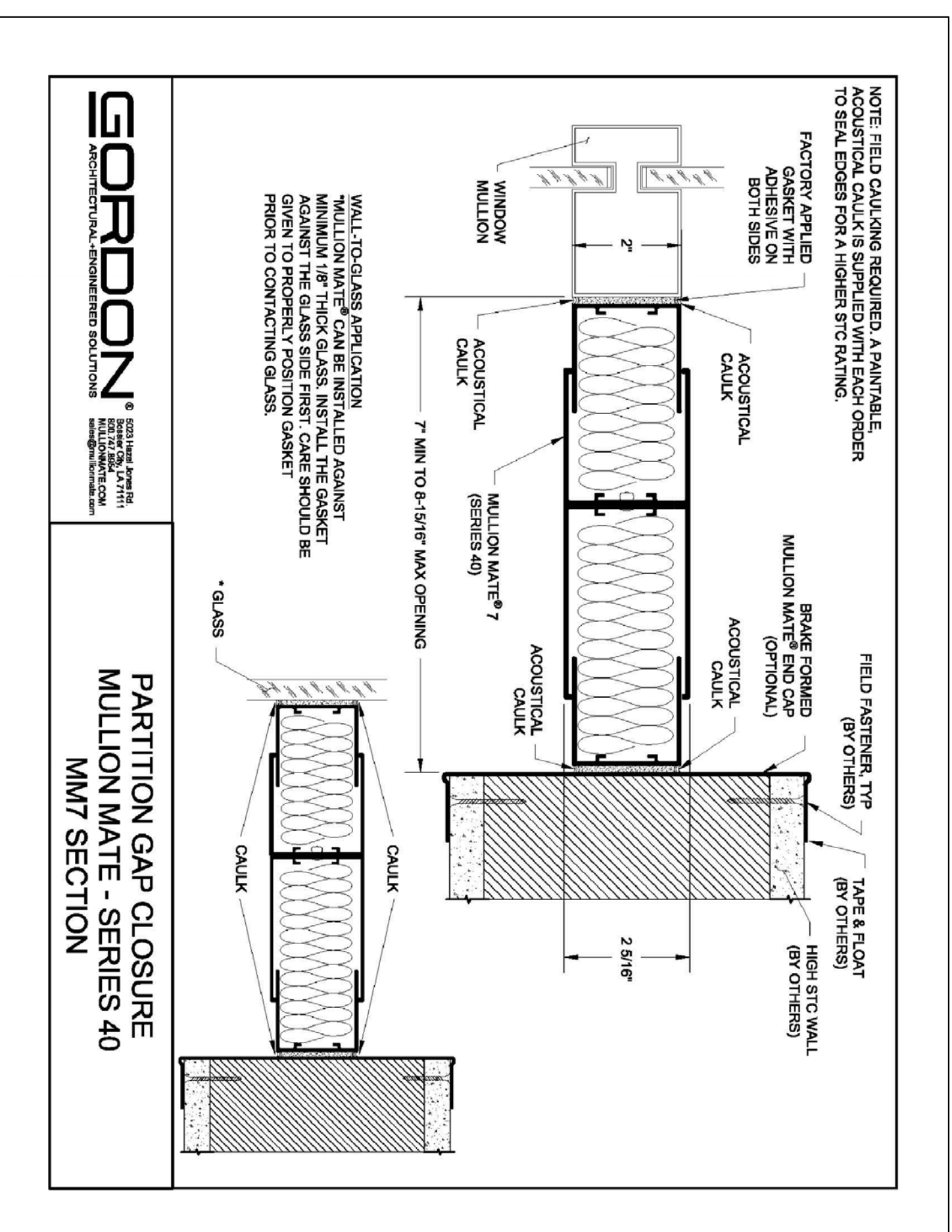


**SECTION 1.1**



**SECTION 2.1**

INTERIOR ELEVATION SCALE: 1/4"=1'-0"

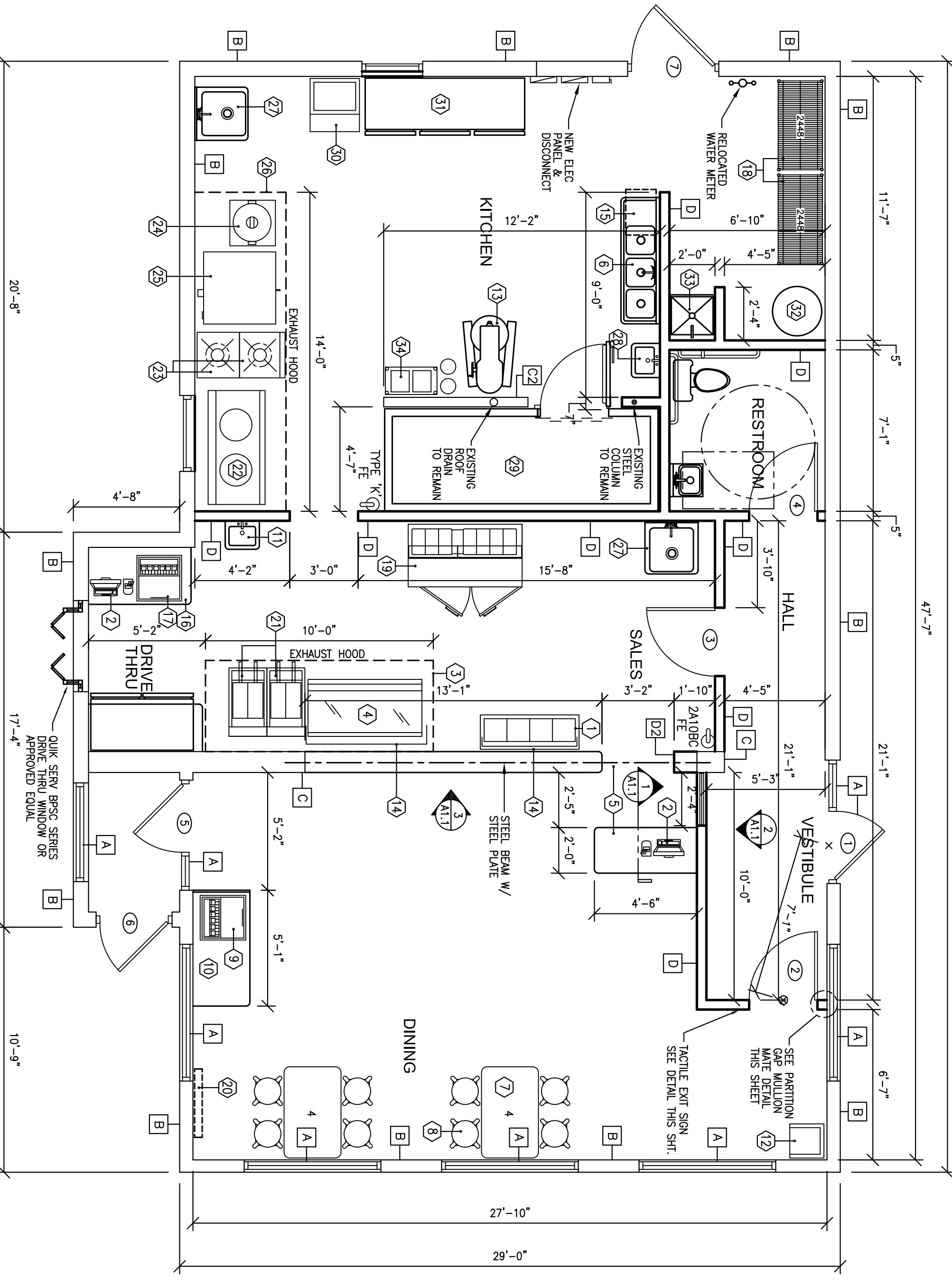


**SECTION 3.1**

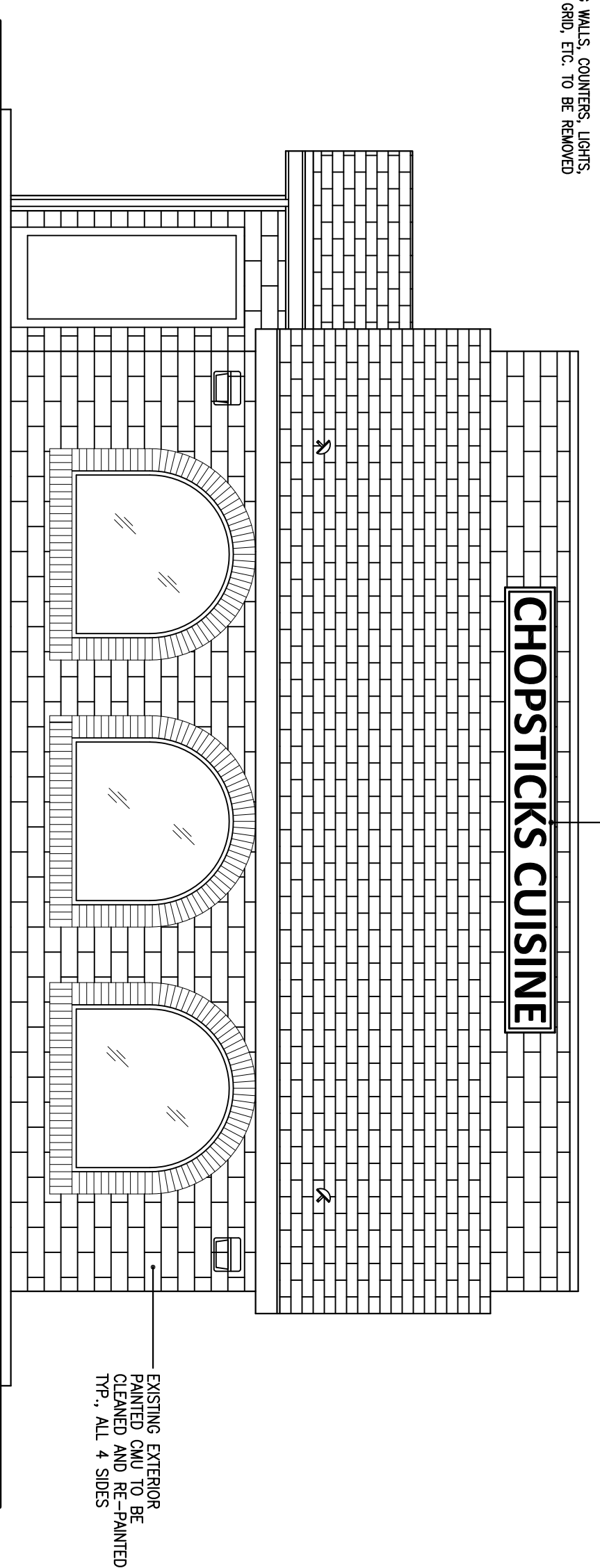


**WALL LEGEND**

- A. EXISTING WINDOWS/DOORS TO REMAIN
- B. EXTERIOR WALL TO REMAIN
- C. EXISTING LOAD BEARING WALL TO REMAIN
- D. EXISTING INTERIOR WALL TO REMAIN
- E. NEW WALL - 3/8" METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD TO 6" ABOVE ACT CEILING
- F. NEW WALL - 6" SOLID CORE CMU W/ REINFORCING FOR NEW BEAM SPAN. VERIFY EXISTING ROOMING IS ADEQUATE
- G. EXISTING WALLS, COUNTERS, LIGHTS, CEILING GRILL, ETC. TO BE REMOVED



**SECTION 4.1**



**DOOR SCHEDULE**

NO.	SIZE	TYPE	MATERIAL FINISH		FRAME FINISH		HARDWARE	COMMENTS
			MATERIAL	FINISH	MATERIAL	FINISH		
1	3'-0" x 7'-0" x 1 3/4"	A	ALUMINUM/GLASS	WOOD	ALUMINUM/GLASS	WOOD	1.3,4,7,9,10	EXISTING DOOR
2	3'-0" x 7'-0" x 1 3/4"	A	HOLLOW METAL	ALUMINUM	PAINT	FACTORY	1.3,4	
3	3'-0" x 6'-8" x 1 3/4"	B	ALUMINUM	ALUMINUM	PAINT	FACTORY	1.3,6	
4	3'-0" x 6'-8" x 1 3/4"	B	ALUMINUM	ALUMINUM	PAINT	FACTORY	1.2,5,11	
5	3'-0" x 7'-0" x 1 3/4"	A	ALUMINUM	ALUMINUM	PAINT	FACTORY	1.3,4	
6	3'-0" x 7'-0" x 1 3/4"	A	ALUMINUM	ALUMINUM	PAINT	FACTORY	1.3,4,7,9,10	EXISTING DOOR
7	3'-8" x 7'-0" x 1 3/4"	B	ALUMINUM	ALUMINUM	PAINT	FACTORY	1.2,3,7,9,10,15	EXISTING DOOR

**DOOR TYPES**

- HARDWARE**
- 1) 1 1/2" P.R. BUTTS (PER LDF)
  - 2) WALL STOP
  - 3) CLOSER
  - 4) PUSH/PULL HARDWARE
  - 5) PANIC EXIT LOCKSET W/ LEVER HANDLE
  - 6) OFFICE EXIT LOCKSET W/ LEVER HANDLE
  - 7) DEAD BOLT LOCK W/INSIDE LEVER
  - 8) NOT USED
  - 9) WEATHERSTRIPPING
  - 10) THRESHOLD (1/2" HIGH MAX)
  - 11) ROOM DIVISION SIGN (WITH BLACK BACKGROUND)
  - 12) PASSAGE LOCKSET W/ LEVER HANDLE
  - 13) STORAGE LOCKSET W/ LEVER HANDLE
  - 14) ELUSION DOOR HARDWARE
  - 15) PANIC HARDWARE

**DOOR NOTES:**

- 1) HANDLES PULLS AND OTHER OPENING DEVICES ON ACCESSIBLE DOORS SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE LEVER OPERATED MECHANISMS POSITIONED AT THE TOP OF THE DOOR.
- 2) ALL DOORS MIN. WIDTH 2'-6" CLEAR AT 90 DEGREE OPEN.
- 3) DOOR HARDWARE OPERATIONS SHALL COMPLY WITH THE FOLLOWING STANDARDS: ALL GRESS DOORS SHALL BE READY OPERABLE FROM THE SIDE WHICH GRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. LEVER HANDLES, KNOBS AND OTHER DOOR HARDWARE REQUIRED FOR ACCESSIBILITY ON ALL GRESS. SMALLER DEVICES SHALL BE PROHIBITED ON ALL GRESS.

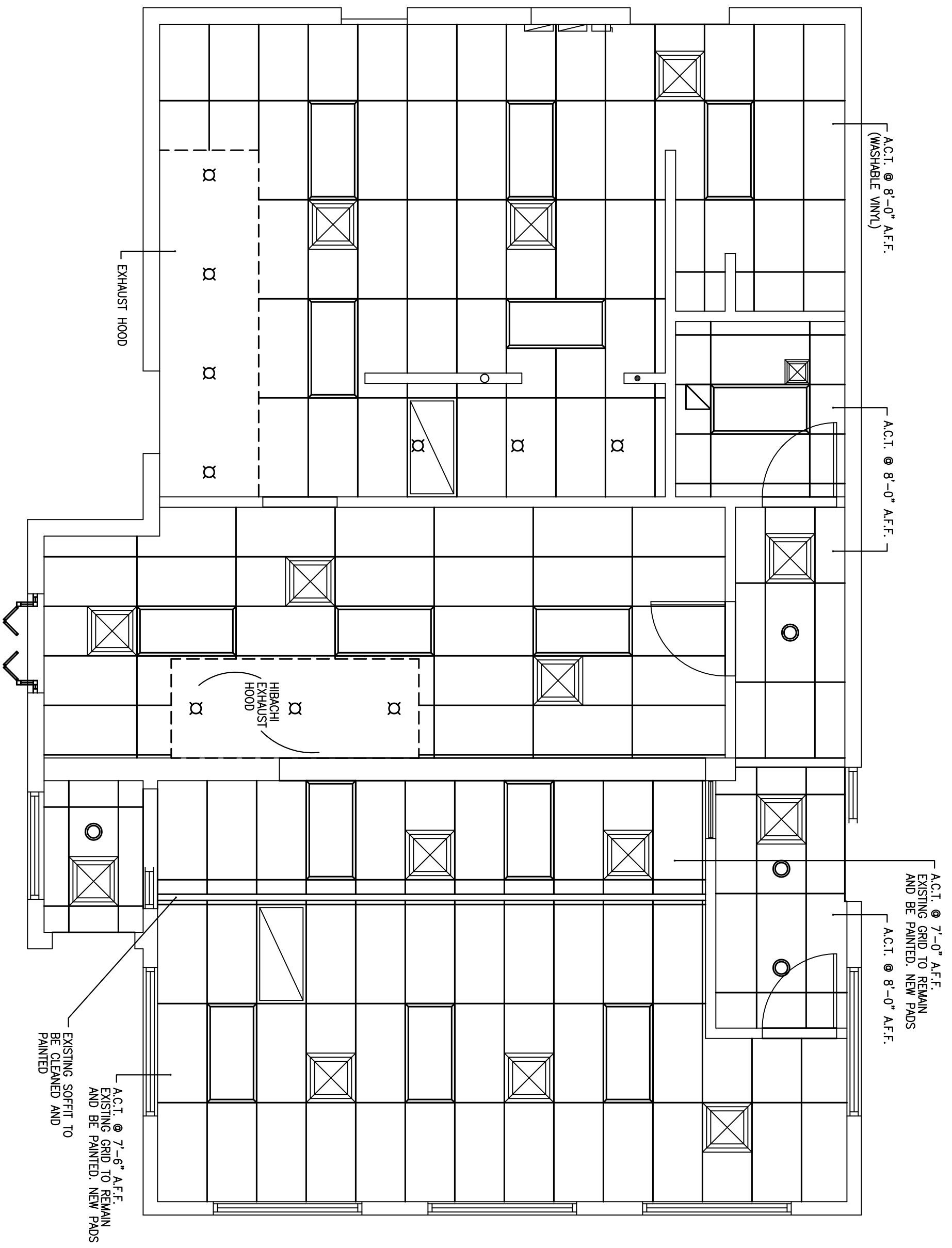
**ROOM FINISH SCHEDULE**

ROOM NAME	WALLS		FLOORING		CEILING	
	MATERIAL	FINISH	MATERIAL	BASE	MATERIAL	FINISH
VESTIBULE	DRYWALL/PAINT		QUARRY TILE		WASHABLE TILE @ 9'-0"	A.C.T. @ 9'-0"
DINING	DRYWALL/PAINT		CERAMIC TILE		A.C.T. @ 8'-0"	EXIST. ACT W/ NEW PADS
KITCHEN	DRYWALL/PAINT		QUARRY TILE			
DRIVE THRU	DRYWALL/PAINT		CERAMIC TILE			
HALL	DRYWALL/PAINT					
RESTROOM	DRYWALL/PAINT					

REQUIRED INTERIOR WALL AND CEILING FINISHES (UNSPRINKLERED) O.B.C. TABLE 803.5  
 EXIT ACCESS CORRIDORS: CLASS B FLAME SPREAD: 26-75 SMOKE DEVELOPED: 0-450  
 ROOMS AND ENCLOSED SPACES: CLASS C FLAME SPREAD: 76-200 SMOKE DEVELOPED: 0-450

**KEVIN C. ROBINETTE ARCHITECTURE, LLC**  
 Project: CHOPSTICKS CUISINE  
 Address: 31442 VINE STREET WILLOWICK, OHIO  
 Drawing: REMODELING/EQUIPMENT PLAN  
 Scale: 1/4" = 1'-0"  
 Date: 5-3-2023  
 Issue for: PERMIT

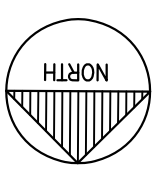
**architects**  
 REGISTERED ARCHITECT  
 KEVIN C. ROBINETTE  
 7728  
 STATE OF OHIO  
 A1.1



**REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

**SYMBOL LEGEND**

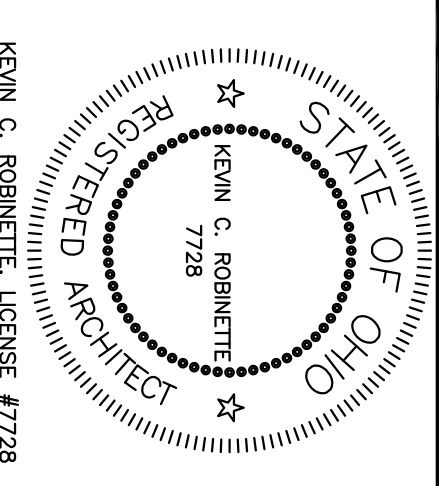
- 2' X 4' RECESSED FLUORESCENT LIGHT FIXTURE WITH 3-28W-120V LAMPS, ELECTRONIC BALLAST AND ACRYLIC PRESANIC LENS, 120V
- 
- 12' X 12' HMC DIFFUSER
- 2' X 2' HMC DIFFUSER
- 100 WATT COMPACT FLUORESCENT LIGHT (EXHAUST HOOD)
- RESTROOM EXHAUST FAN 75 CFM
- 2' X 4' RETURN AIR GRILLE



REV. DATE DESCRIPTION

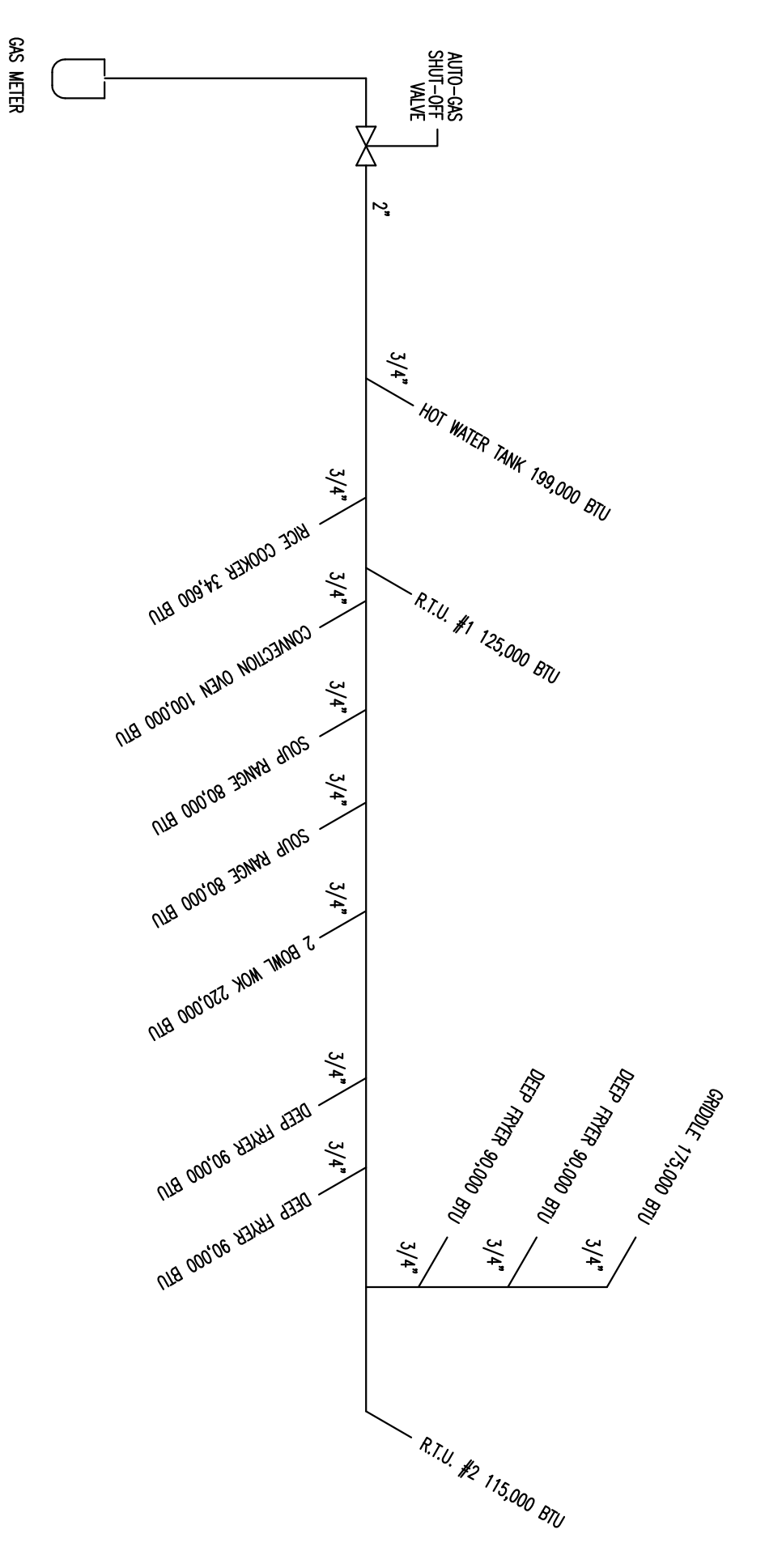
Project	CHOPSTICKS CUISINE
Address	31442 VINE STREET WILLOWICK, OHIO
Drawing	REFLECTED CEILING PLAN
Scale:	1/4" = 1'-0"
Date:	5-3-2023
Issue for:	PERMIT

<b>KEVIN C. ROBINETTE ARCHITECTURE, LLC</b> AIA	
<b>Architecture</b>	
<b>Project Management</b>	
<b>Owner Representation</b>	
2091 South Belvoir Blvd. South Euclid, Ohio 44121 216-246-0246	robin.c.kevin@gmail.com

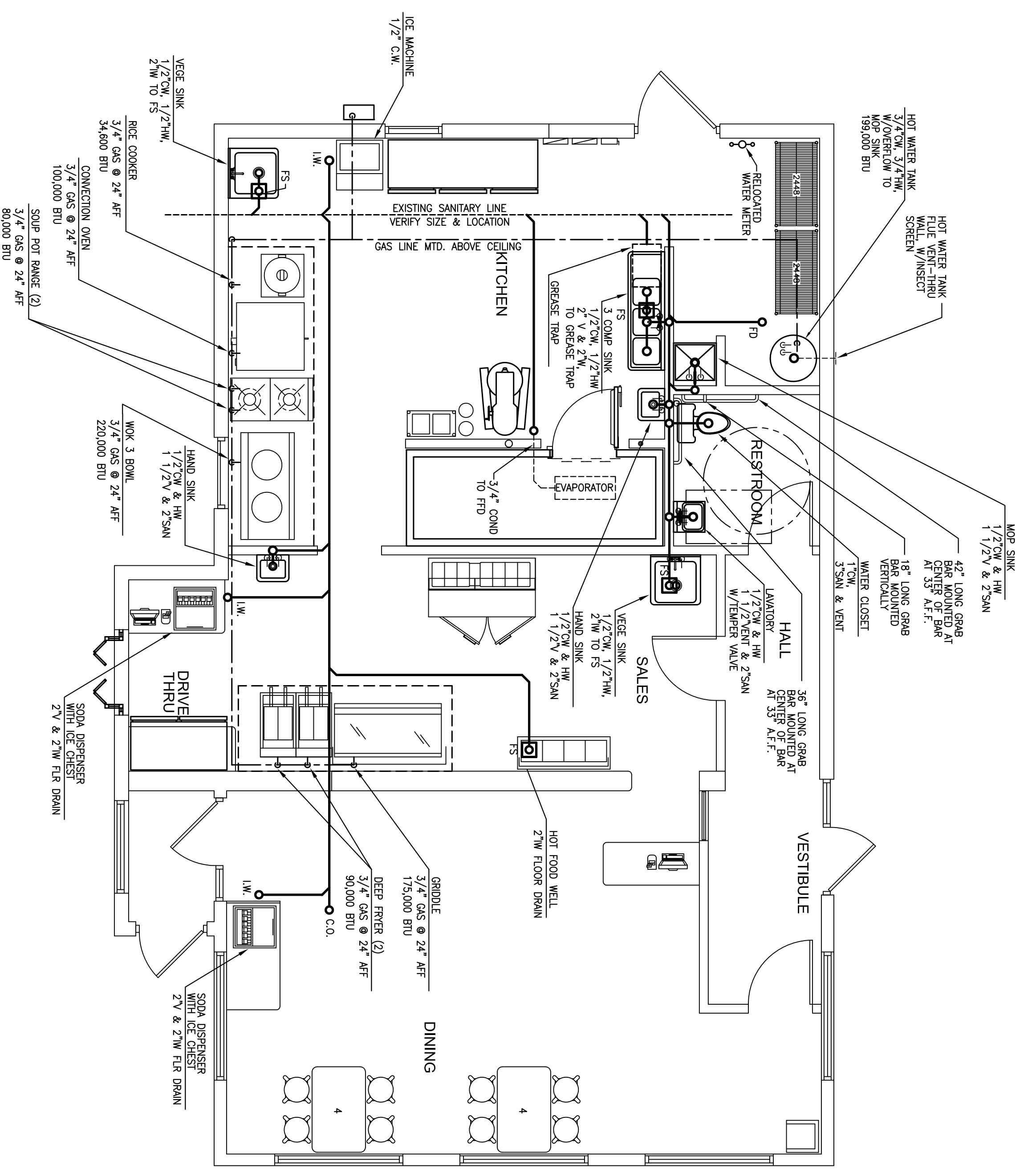


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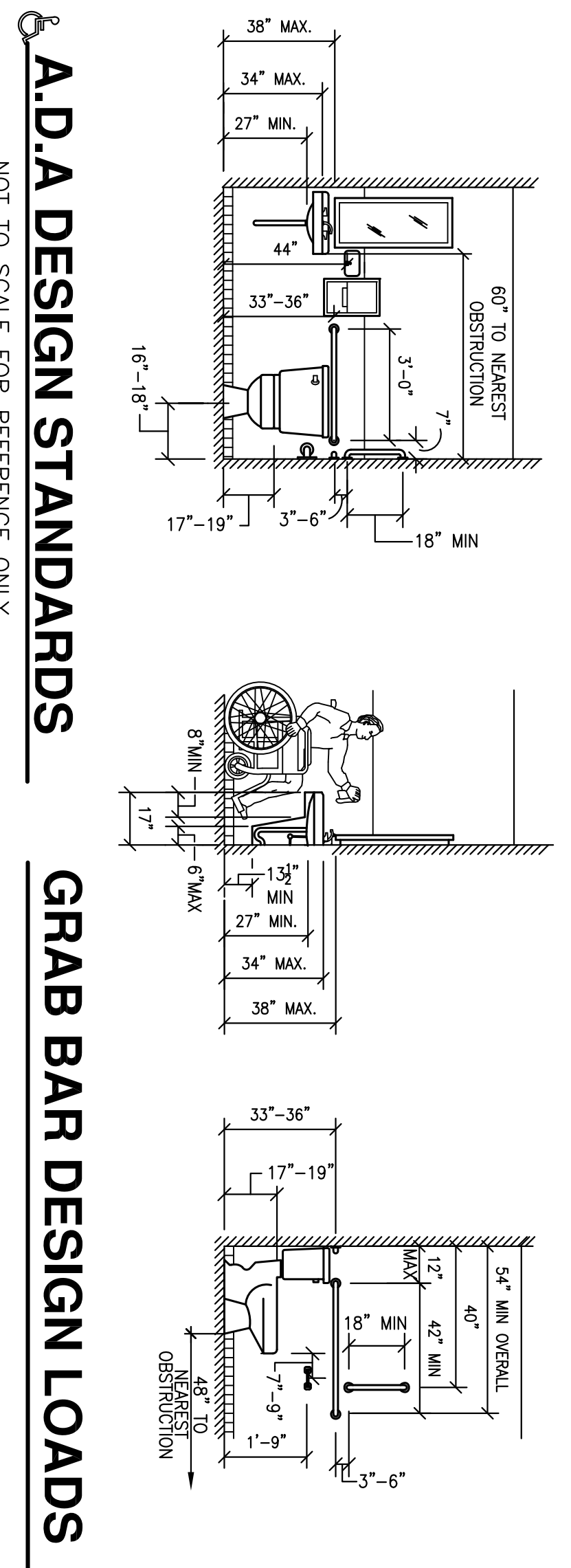




**GAS RISER DIAGRAM**  
 NOT TO SCALE  
 NOTE:  
 FINISH AND INSTALL GAS STAND BY-OFF VALVE INTERCONNECTED WITH HOOD FIRE SUPPRESSION SYSTEM



**PLUMBING PLAN**  
 SCALE: 1/4" = 1'-0"



**A.D.A. DESIGN STANDARDS**  
 NOT TO SCALE FOR REFERENCE ONLY

**GRAB BAR DESIGN LOADS**

**A.D.A. REQUIREMENT NOTES**

- (REST ROOM CONDITION)
- TOILET PAPER DISPENSERS MUST PERMIT CONTINUOUS PAPER FLOW AND BE MOUNTED 1'-9" CENTER TO FINISH FLOOR.
  - HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE PROTECTED TO PROTECT AGAINST CONTACT.
  - THERE SHALL BE NO SWAP OR ABRASIVE SURFACES UNDER LAVATORIES.
  - IF SELF CLOSING VALVES ARE USED ON FAUCETS, FAUCETS SHALL REMAIN OPEN FOR A MINIMUM OF TEN SECONDS.
  - ALL STRESSES ON GRAB BARS AND COMPONENTS SHALL BE BASED ON 250 LBS.
  - PAPER TOWEL DISPENSERS TO BE LOCATED AT A HEIGHT OF 44" ABOVE FINISHED FLOOR MAXIMUM.
  - PROVIDE SIGN ON REST ROOM DOORS ADJACENT TO URINAL SIZE BRILLE AND BUSHED LETTERS (17/2)
  - ALL DOORS MAX. WIDTH 2'-8" CLEAR AT 90 DEGREE OPEN.
  - WATER CLOSET FLUSH CONTROLS MUST BE MOUNTED ON OPEN SIDE OF TOILET AREA

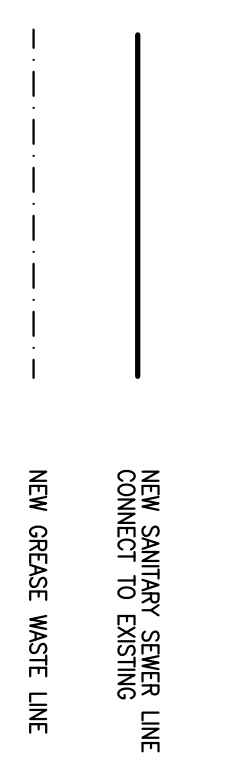
**PLUMBING FIXTURES**

- WATER CLOSET (ACCESSIBLE) - AMERICAN STANDARD NO. 2108-800
- LONG GRAB BAR MOUNTED AT CENTER OF BAR AT 33" A.F.F.
- WATER HEATER - RHEED MODEL C100-80
- 100 GALLON, 199,000 BTU
- 120V
- WATER HEATER - RHEED MODEL C100-80
- 100 GALLON, 199,000 BTU
- 120V
- WATER HEATER - RHEED MODEL C100-80
- 100 GALLON, 199,000 BTU
- 120V
- WATER HEATER - RHEED MODEL C100-80
- 100 GALLON, 199,000 BTU
- 120V

**PLUMBING NOTES**

- ALL PLUMBING WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES. NOTIFY ARCHITECT IN WRITING ABOUT ANY CONFLICTS BETWEEN ACTUAL FIELD CONDITIONS AND WORK SHOWN ON PLANS.
- INSULATE ALL HOT & COLD WATER PIPING CONCEALED IN WALLS AND CEILINGS, W/ 3/8" POLYETHYLENE PIPE INSULATION.
- PLUMBING WORK SHALL INCLUDE ALL LABOR AND MATERIALS INCLUDING PLUMBING SYSTEM.
- PEX PIPING IS AN ACCEPTABLE ALTERNATE MATERIAL.
- SAFECUT CONCRETE SLAB AS REQUIRED FOR NEW PIPING UNDER FLOOR, SHALL BE REINFORCED WITH 2# CONCRETE FIBER REINFORCING STEEL W/ 3/8" POLYETHYLENE PIPE INSULATION.
- REUSE WHERE POSSIBLE. EXISTING SUPPLY AND WASTE LINES.
- ALL EXISTING PLUMBING LINES THAT ARE TO BE ABANDONED ARE TO BE RECEIVED NEW FLOOR FINISHES AND CAPPED, FINISH FLOOR SMOOTH TO PROVIDE SHUT-OFF VALVES AT ALL EQUIPMENT CONNECTIONS.
- ALL FLOOR DRAINS SHALL HAVE A TRAP PRIMER WITH 1/2" WATER SUPPLY. IN THE REMOVAL OF ANY PART OF DRAINAGE SYSTEM, DEADEND LINES ARE TO BE TOTALLY REMOVED.

**PIPING LEGEND**



**GREASE TRAP CALCULATION**

3 COMPARTMENT SINK (RECYCING) 15" x 15" x 12" x 3 = 8,100 G.U./731 = 35.06 G.P.M.  
 35 GALLONS x 7.5 = 30 GAL./MIN = 18.75 G.P.M.  
 3 COMP. SINK: 18.75 GAL./MIN  
 38 LB GREASE TRAP REQUIRED

REV.	DATE	DESCRIPTION

Project	CHOPSTICKS CUISINE
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Drawing	PLUMBING PLAN
Scale:	1/4" = 1'-0"
Date:	5-3-2023
Issue for:	PERMIT

**KEVIN C. ROBINETTE ARCHITECTURE, LLC**  
 Architecture  
 Project Management  
 Owner Representation  
 2091 South Belvoir Blvd.  
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 robin.c.kevin@gmail.com

**STATE OF OHIO**  
 REGISTERED ARCHITECT  
 KEVIN C. ROBINETTE  
 7728  
 EXPIRATION DATE: 12/31/2023

**P1.1**

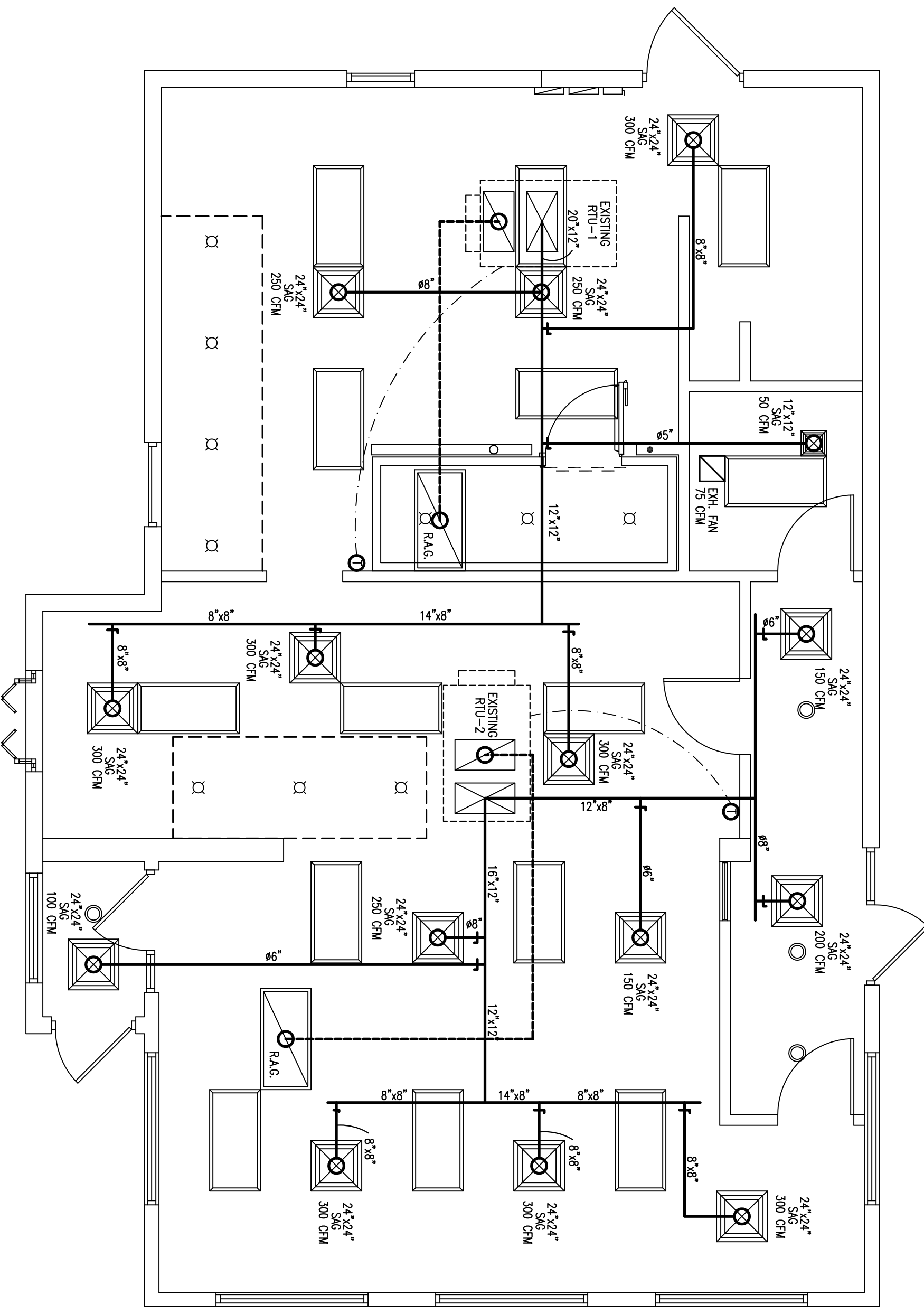




**MECHANICAL SPECIFICATIONS**

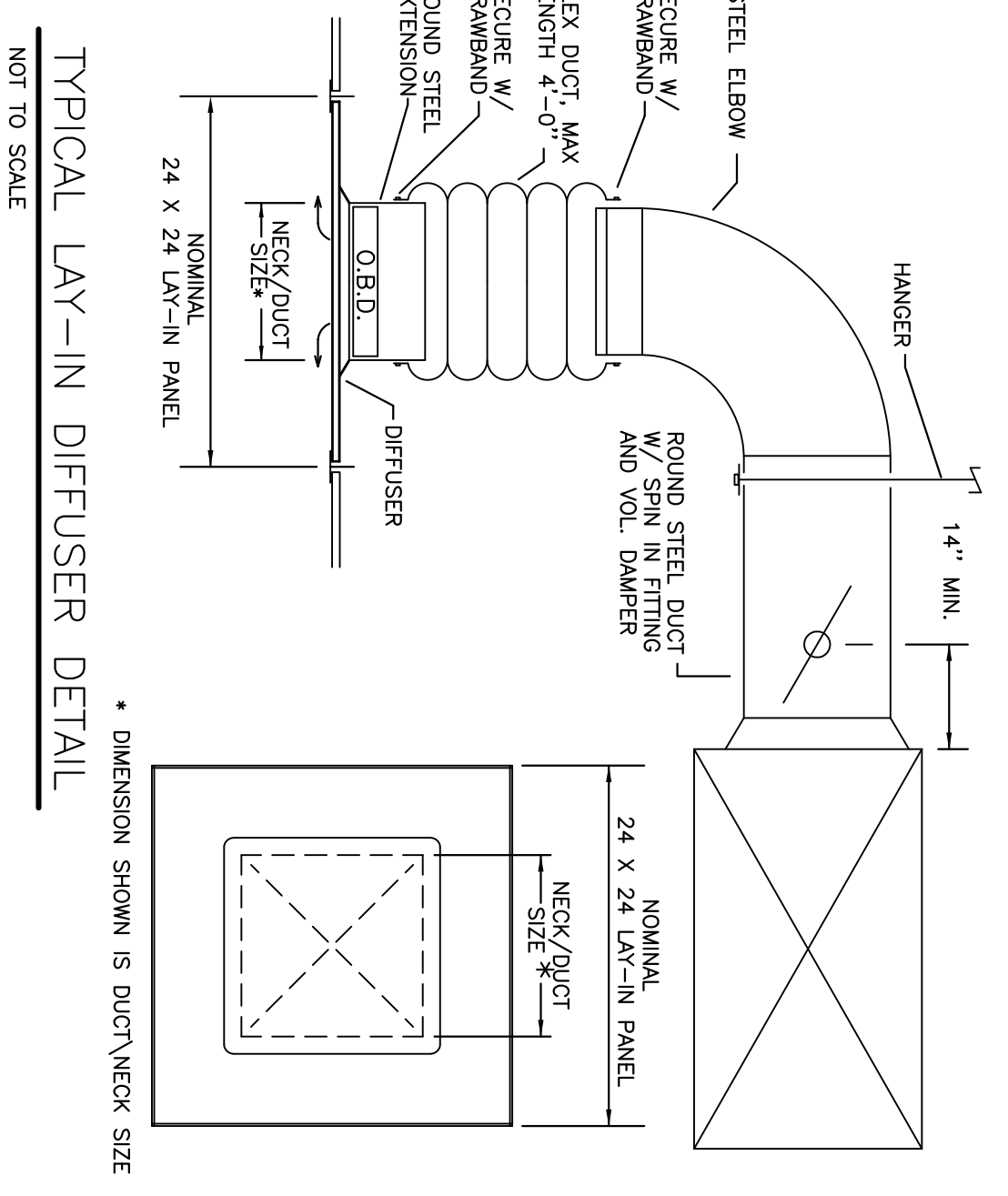
1. SCOPE
  - A. COORDINATION OF EXISTING SYSTEMS
    1. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS AFFECTING THIS WORK AND THE SUBMISSION OF A BID WILL BE CONSIDERED AS INCLUDING SUCH KNOWLEDGE. NO PAYMENT WILL BE MADE ON CLAIMS THAT ARISE FROM A LACK OF KNOWLEDGE OF EXISTING CONDITIONS.
  - B. FINISH ALL MATERIALS, LABOR, EQUIPMENT, CONTROLS AND SYSTEM READY FOR USE.
2. GENERAL REQUIREMENTS
  - A. ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER IN ACCORDANCE WITH THE BEST ENGINEERING PRACTICE AND IN CONFORMANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. ALL METHODS SHALL BE APPROVED IN ADVANCE BY THE ARCHITECT IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.
  - B. COORDINATE ALL WORK WITH OTHER TRADES.
  - C. AT ALL TIMES KEEP PREMISES IN NEAT AND ORDERLY CONDITION.
  - D. THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL ROOF, CEILING, WALL AND FLOOR OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK. PATCHING SHALL BE INCLUDED MATCH ADJACENT SURFACES. STRUCTURAL MEMBERS SHALL NOT BE CUT WITHOUT PERMISSION OF THE ARCHITECT.
  - E. LOCATE AND INSTALL ALL EQUIPMENT REQUIRING SERVICE SO IT WILL BE EASILY ACCESSIBLE.
  - F. FINISH WRITTEN GUARANTEE STATING THAT ALL SYSTEMS AND EQUIPMENT ARE TO BE GUARANTEED FOR PARTS AND LABOR FOR A PERIOD OF FIVE (5) YEARS. THE CONTRACTOR SHALL GUARANTEE REFRIGERATION COMPRESSORS FOR 5 YEARS.
  - G. AT THE COMPLETION OF THE WORK, CLEAN ALL EQUIPMENT AND ANY OTHER ITEMS INSTALLED UNDER THIS CONTRACT. PREPARE TWO COPIES OF OPERATION AND MAINTENANCE INSTRUCTIONS IN BOUND COVERS FOR ALL EQUIPMENT FURNISHED UNDER THIS CONTRACT. MANUALS SHALL INCLUDE OPERATING INSTRUCTIONS, PARTS LISTINGS, SERVICE PROCEDURES AND CONTRACTORS' AND SUPPLIERS' NAMES, ADDRESSES AND PHONE NUMBERS.
3. MATERIALS
  - A. PIPE AND FITTINGS
    1. REFRIGERANT PIPING: TYPE "L" HARD COPPER
    2. CONDENSATE DRAIN: TYPE "L" HARD COPPER
    3. FITTINGS FOR COPPER PIPE SHALL BE WROUGHT COPPER SOLDER JOINT TYPE WITH 95/5 SOLDER.
  - B. ARBSTRONG ARMAFLEX II PIPE INSULATION
    1. SERVICE TYPE
    2. CONDENSATE DRAINS TYPE A
    3. REFRIGERANT SUCTION TYPE A
4. JOINTS IN REFRIGERANT PIPING SHALL BE MADE WITH SILVER BRAZING ALLOY HAVING MELTING POINT ABOVE 1100°F AND MAINTAINING CONTINUOUS FLOW THROUGH PIPE WHILE BRAZING.
  - B. SLEEVES
    1. WHERE PIPES PASS THROUGH MASONRY OR CONCRETE WALLS, OR FIVE RATED PARTITIONS, SET MACHINE CUT SLEEVES OF THE SAME MATERIAL AS THE PIPE. THE END OF PIPES WITH ENDS OF SLEEVES FINISH WITH PARTITION FACE.
    2. WHERE PIPES ARE INSULATED, PROVIDE SLEEVES LARGE ENOUGH TO ALLOW INSULATION TO PASS THROUGH SLEEVE TO MAINTAIN INTEGRITY OF THE FIRE RATING.
    3. SEAL OPENINGS BETWEEN PIPE AND SLEEVE AS REQUIRED TO MAINTAIN INTEGRITY OF THE FIRE RATING.
    4. PROVIDE ALL INSERTS AND SUPPORTS TO PROPERLY SUPPORT AND RETAIN PIPING, TO CONTROL EXPANSION, CONTRACTION, ANCHORAGE, DRAINAGE AND TO PREVENT SWAY AND VIBRATION.
5. HEATING, VENTILATING AND AIR CONDITIONING
  - A. PROVIDE ALL HEATING AND AIR CONDITIONING EQUIPMENT AND SHEET METAL WORK AS INDICATED ON THE DRAWINGS IN ACCORDANCE WITH LATEST EDITION OF THE ASHRAE GUIDE AND DATA BOOK, SMACNA STANDARDS, AND THIS SPECIFICATION.
  - B. LOW PRESSURE DUCTWORK SHALL BE CONSTRUCTED OF THE FOLLOWING GAUGES:
 

LARGEST DIMENSION	U.S. GAUGE (ADVANCED STEEL)
1" - 12"	26
13" - 30"	24
31" - 54"	22
55" - 84"	20
  - C. GRILLES AND DIFFUSERS
    1. SEE DRAWINGS FOR ALL GRILLE AND DIFFUSER SPECIFICATIONS AND LOCATIONS.
  - D. FINISH AND INSTALL ALL MANUAL DAMPERS AND DEFLECTORS INDICATED ON DRAWINGS OR WHERE NECESSARY TO PROPERLY DISTRIBUTE AND BALANCE AIR.
  - E. REFER TO EQUIPMENT NOTES ON DRAWING FOR ALL OTHER EQUIPMENT SPECIFICATIONS AND ACCESSORIES.
  - F. AIR BALANCE - DAMP SYSTEM SHALL BE TESTED, BALANCED AND ADJUSTED TO MEET DESIGN REQUIREMENTS. SUBMIT WRITTEN REPORT FOR APPROVAL.
  - G. TEMPERATURE CONTROLS - FINISH, INSTALL AND BALANCE ALL TEMPERATURE CONTROLS AND ACCESSORIES INCLUDING ANY DEVICES REQUIRED FOR A COMPLETE AND OPERABLE SYSTEM.
  1. COORDINATE LOCATION WITH OWNER. PROVIDE CLEAR PLASTIC COVER WITH KEY.



**MECHANICAL PLAN**

SCALE: 1/4"=1'-0"



TYPICAL LAY-IN DIFFUSER DETAIL  
NOT TO SCALE

**ROOF TOP UNITS (RTU) (BOTH UNITS ARE EXISTING - TO REMAIN)**

RTU-1	TRANE MODEL NO. YC060F3M08C NOMINAL 5 TONS WITH 1750 CFM
	COOLING: 60,000 BTU
	HEATING: 125,000 BTU INPUT
	100,000 BTU OUTPUT
208V-36	MCA = 41.9 MOCF = 50 KW = 5.55
RTU-2	BRYANT MODEL NO. 5800P0680 NOMINAL 5 TONS WITH 1750 CFM
	COOLING: 60,000 BTU
	HEATING: 115,000 BTU INPUT
	92,000 BTU OUTPUT
208V-36	MCA = 42.3 MOCF = 50 KW = 5.55

REV.	DATE	DESCRIPTION

Project	CHOPSTICKS CUISINE
Address	31442 VINE STREET WILLOWICK, OHIO
Drawing	MECHANICAL PLAN
Scale:	1/4" = 1'-0"
Date:	5-3-2023
Issue for:	PERMIT

**architects**

**KEVIN C. ROBINETTE ARCHITECTURE, LLC**  
AIA

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STATE OF OHIO  
REGISTERED ARCHITECT  
KEVIN C. ROBINETTE  
7728  
EXPIRATION DATE: 12/31/2023

**M1.1**

# EXHAUST HOOD SPECIFICATIONS

## TYPE 1 HOOD REQUIREMENTS (HEAVY-DUTY COOKING APPLIANCES)

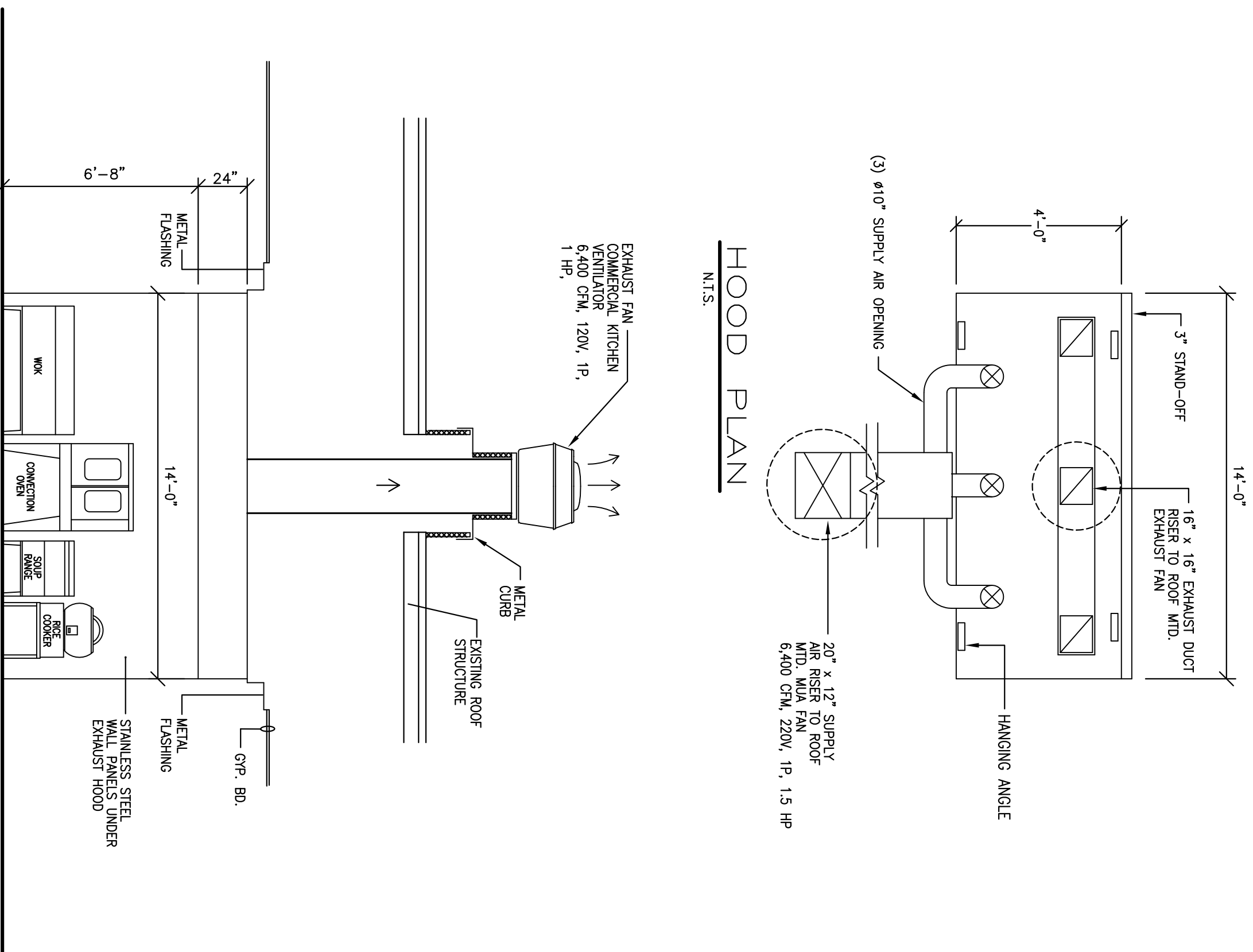
1. MATERIALS  
HOOD SHALL BE CONSTRUCTED OF STAINLESS STEEL, NOT LESS THAN 18 GA. IN THICKNESS.
2. SUPPORTS  
THE HOOD SHALL BE SUPPORTED WITH 1/2" DIA. ALL-THREAD HANGER RODS IN SUFFICIENT QUANTITIES TO CARRY THE APPLIED LOAD OF THE HOOD, ANY UNSUPPORTED DUCTWORK, THE EFFLUENT LOADING AND THE LIVE LOAD OF ANY PERSONNEL WORKING IN OR ON THE HOOD.
3. JOINTS, SEAMS AND PENETRATIONS  
EXTERNAL JOINTS, SEAMS AND PENETRATIONS SHALL BE MADE WITH A CONTINUOUS LIQUID-TIGHT WELD TO THE LOWEST. OUTERMOST PERIMETER OF THE HOOD.  
INTERNAL JOINTS, SEAMS AND PENETRATIONS, FILTER SUPPORTS FRAMES AND OTHER APPENDAGES ATTACHED INSIDE THE HOOD SHALL NOT BE REQUIRED TO BE WELDED OR BRAZED BUT SHALL BE OTHERWISE SEALED TO BE GREASE TIGHT
4. CLEANING AND GREASE CUTTER  
THE HOOD SHALL BE PROVIDED WITH A GREASE CUTTER WHICH DRAINS TO AN APPROVED COLLECTION RECEPTACLE WHICH IS FABRICATED, DESIGNED AND INSTALLED TO ALLOW ACCESS FOR CLEANING.
5. CLEARANCES  
THE HOOD SHALL BE INSTALLED WITH A CLEARANCE OF NOT LESS THAN 18" TO COMBUSTIBLE MATERIALS.
6. GREASE FILTERS  
THE HOOD SHALL BE EQUIPPED WITH LISTED GREASE FILTERS DESIGNED FOR THE SPECIFIC PURPOSE. GREASE COLLECTING EQUIPMENT SHALL BE PROVIDED WITH ACCESS FOR CLEANING. THE LOWEST EDGE OF THE GREASE FILTER SHALL BE LOCATED NOT LESS THAN 5 FEET ABOVE COOKING SURFACES WITHOUT EXPOSED FLAMES AND 2 FEET FOR COOKING SURFACES WITH EXPOSED FLAMES AND BURNERS.  
THE HOOD SHALL BE PROVIDED WITH ACCESS TO REMOVE GREASE FILTERS FROM THE HOOD. THE HOOD SHALL BE EQUIPPED WITH A DRIP TRAY BENEATH THE LOWER EDGE OF THE FILTERS.
7. CAPACITY OF HOOD  
THE HOOD SHALL EXHAUST A MINIMUM OF 400 CFM PER LINEAL FOOT (WALL-MOUNTED CANOPY TYPE HOOD).
8. PERFORMANCE TEST  
A PERFORMANCE TEST SHALL BE CONDUCTED UPON COMPLETION AND THE TEST SHALL VERIFY THE RATE OF REQUIRED EXHAUST AIRFLOW. REQUIRED MAKE-UP AIRFLOW AND PROPER OPERATION, THE PERMIT HOLDER SHALL FURNISH THE NECESSARY TEST EQUIPMENT AND DEVICES REQUIRED TO PERFORM THE TEST.
9. CAPTURE AND CONTAINMENT TEST  
THE PERMIT HOLDER SHALL CONDUCT A CAPTURE AND CONTAINMENT TEST WITH ALL APPLIANCES UNDER THE HOOD AT OPERATING TEMPERATURE. THE TEST SHALL VERIFY THE RATE OF REQUIRED EXHAUST AIRFLOW AND CONTAINMENT SHALL BE VERIFIED BY VISUALLY OBSERVING SMOKE OR STEAM PRODUCED BY ACTUAL OR SIMULATED COOKING.
10. FIRE SUPPRESSION  
THE HOOD SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SUPPRESSION SYSTEM, COMPLYING WITH BUILDING AND INTERNATIONAL FIRE CODES. THE FIRE SUPPRESSION CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND ALL PERTINENT DETAILS FOR APPROVAL.
11. MAKEUP AIR  
MAKEUP AIR SHALL BE PROVIDED BY MECHANICAL MEANS DURING THE OPERATION OF THE KITCHEN EXHAUST SYSTEM FOR COOKING APPLIANCES. THE EXHAUST AND MAKEUP AIR SYSTEMS SHALL BE ELECTRICALLY INTERLOCKED TO OPERATE TOGETHER. MAKEUP AIR IS PROVIDED WHEREVER THE EXHAUST SYSTEM IS IN OPERATION.
12. MAKEUP AIR TEMPERATURE  
THE TEMPERATURE DIFFERENCE BETWEEN MAKEUP AIR AND THE AIR IN THE CONDITIONED SPACE SHALL NOT EXCEED 10 DEGREES F.
13. TYPE 1 EXHAUST DUCTS SHALL BE INDEPENDENT OF ALL OTHER EXHAUST SYSTEMS
14. DUCT MATERIALS  
GREASE DUCTS SHALL BE CONSTRUCTED OF STEEL NOT LESS THAN MAKEUP AIR DUCTS WITHIN 18 INCHES OF A TYPE 1 HOOD SHALL BE NONCOMBUSTIBLE OR SHALL BE LISTED FOR THE APPLICATION.
15. JOINTS, SEAMS AND PENETRATIONS OF GREASE DUCTS  
JOINTS, SEAMS AND PENETRATIONS OF GREASE DUCTS SHALL BE MADE WITH A CONTINUOUS LIQUID-TIGHT WELD OR BRAZE MADE ON THE EXTERNAL SURFACE OF THE DUCT SYSTEM.
16. DUCT JOINT TYPES  
DUCT JOINTS SHALL BE BUTT JOINTS OR OVERLAPPING DUCT JOINTS OF EITHER THE TELESCOPING OR BELL TYPE. THE DIFFERENCE BETWEEN THE INNER CROSS-SECTIONAL DIMENSIONS OF OVERLAPPING SECTIONS OF DUCT SHALL NOT EXCEED 1/8" PER JOINT. OVERLAPPING DUCT JOINTS SHALL NOT EXCEED 2 INCHES.
17. DUCT-TO-HOOD JOINTS  
DUCT-TO-HOOD JOINTS SHALL BE MADE WITH A CONTINUOUS INTERNAL OR EXTERNAL LIQUID-TIGHT WELDED OR BRAZED JOINTS. SUCH JOINTS SHALL BE SMOOTH, ACCESSIBLE FOR INSPECTION AND WITHOUT GREASE TRAPS.
18. DUCT-TO-EXHAUST FAN CONNECTIONS  
DUCT-TO-EXHAUST FAN CONNECTIONS SHALL BE FLANGED AND CASKETS AT THE BASE OF THE FAN FOR VERTICAL DISCHARGE FANS
19. VIBRATION ISOLATION  
A VIBRATION ISOLATION CONNECTOR FOR CONNECTING A DUCT TO A FAN SHALL BE PROVIDED. NONCOMBUSTIBLE PACKING ON THE EXTERIOR SURFACE OF THE DUCT SHALL BE PROVIDED. VIBRATION ISOLATION CONNECTORS LISTED AND LABELED FOR THE APPLICATION. VIBRATION ISOLATION CONNECTORS SHALL BE INSTALLED ONLY AT THE CONNECTION OF A DUCT TO A FAN INLET.

## GREASE DUCTS SERVING TYPE 1 HOODS

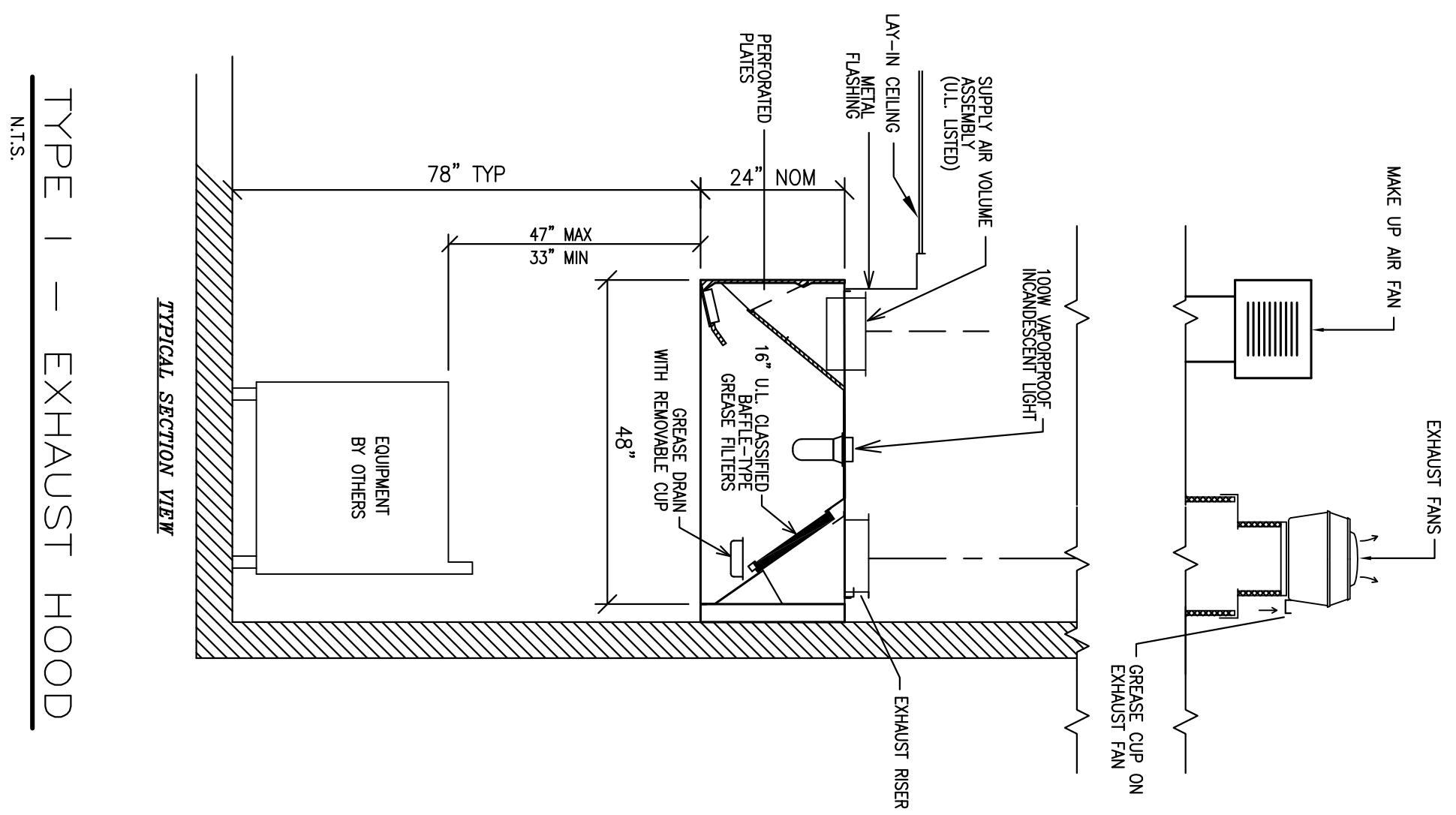
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## AIR BALANCE

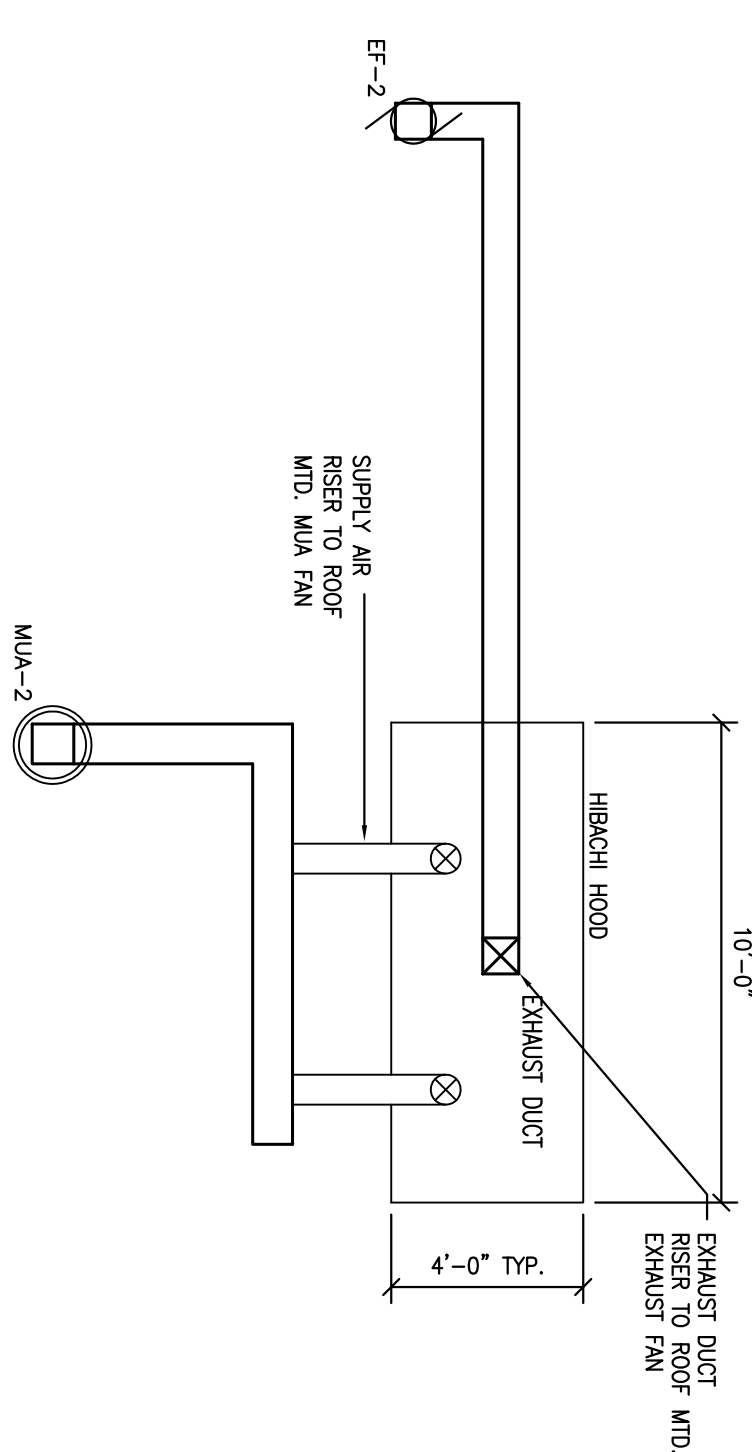
EXHAUST	SUPPLY	RA	OA
KEF-1	6,400 CFM		
KEF-2	4,000 CFM		
RESTROOM EXH. FAN	75 CFM		
		1,600 CFM	400 CFM
		1,600 CFM	400 CFM
		1,600 CFM	400 CFM
TOTAL	10,475 CFM	3,200 CFM	9,120 CFM



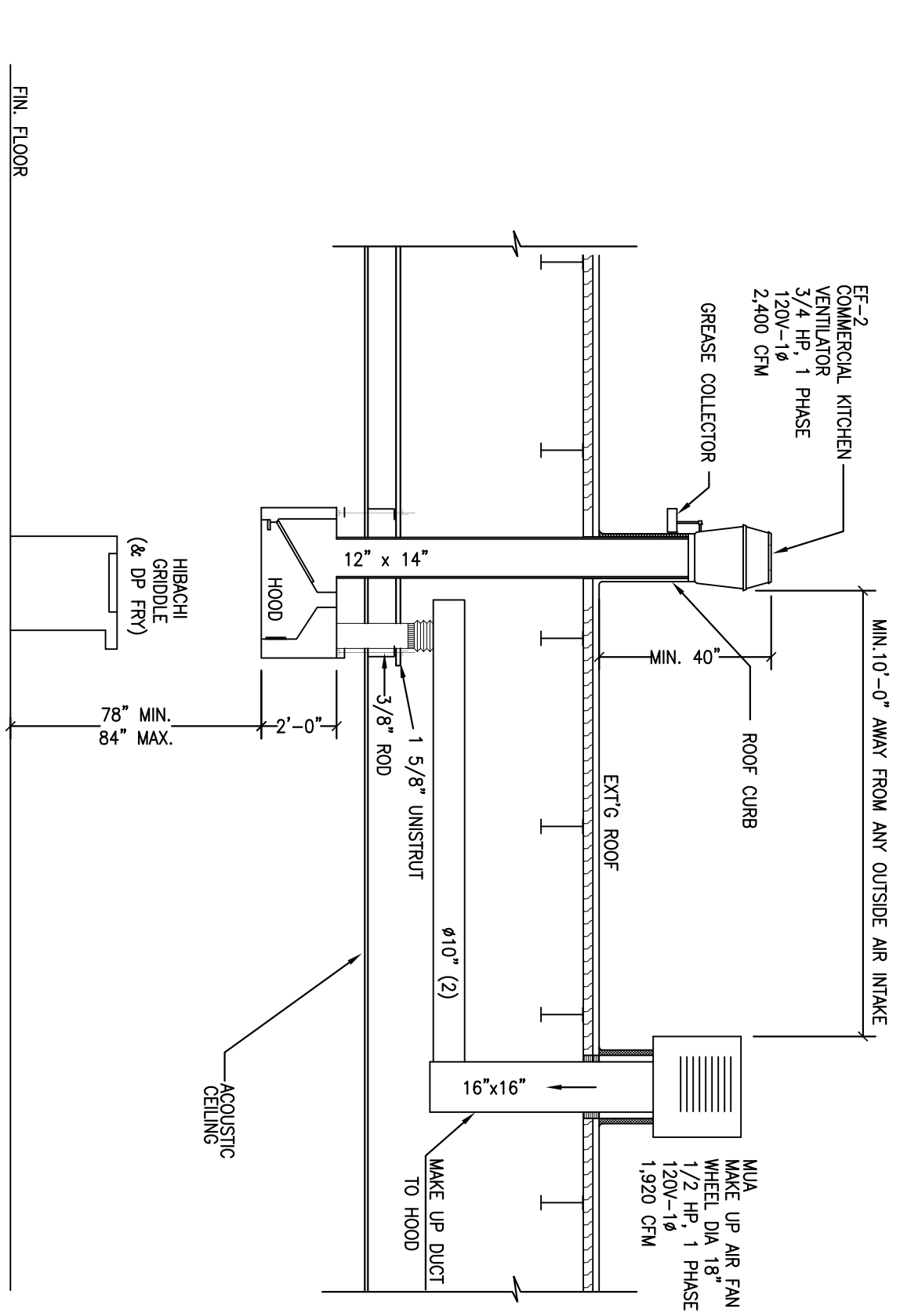
EXHAUST HOOD #1 ELEVATION



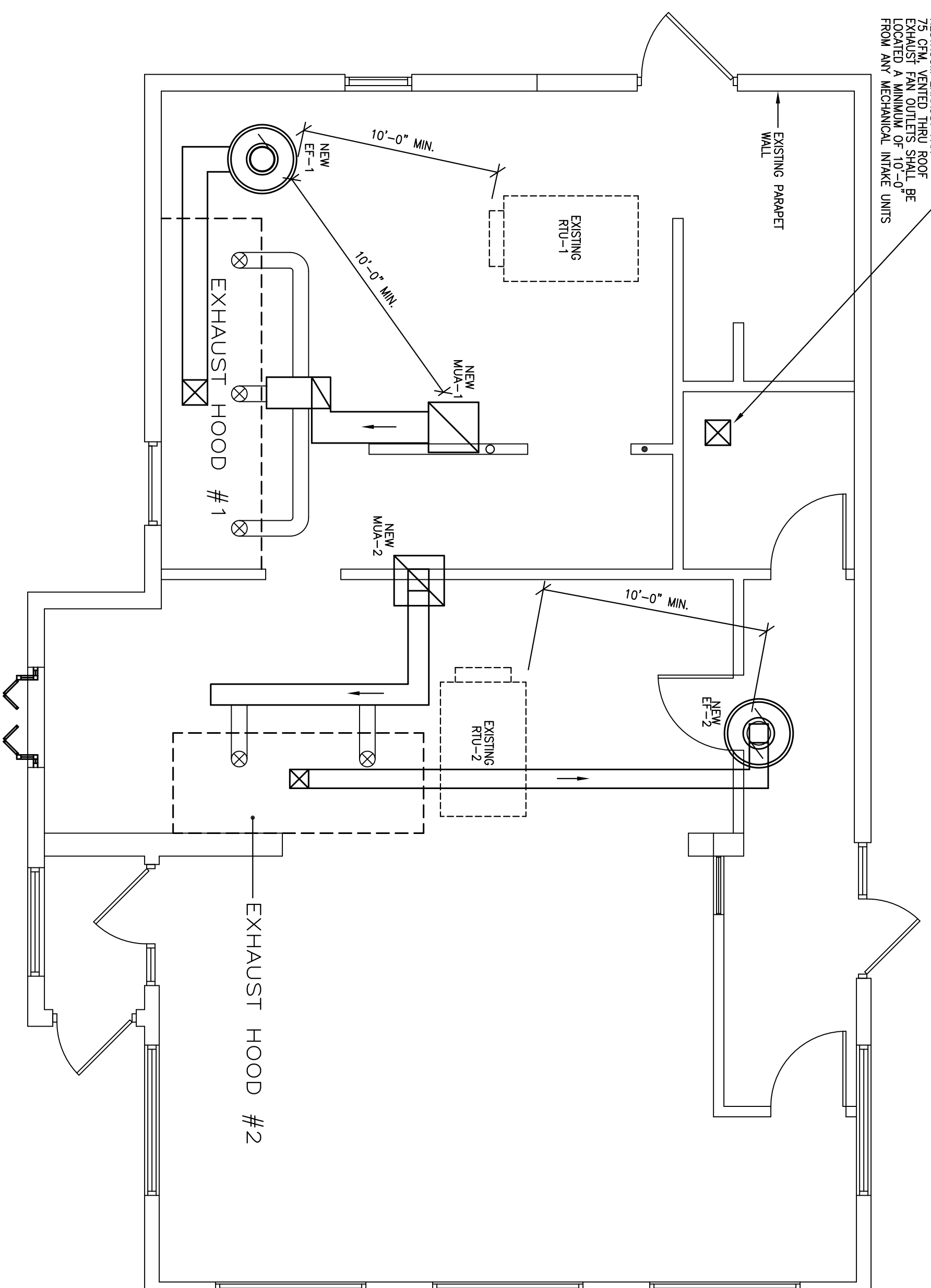
TYPICAL SECTION VIEW



ISLAND HOOD PLAN



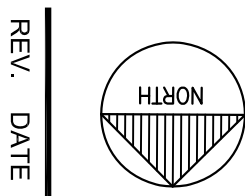
EXHAUST HOOD #2 ELEVATION



MECHANICAL ROOF PLAN

SCALE: 1/4" = 1'-0"

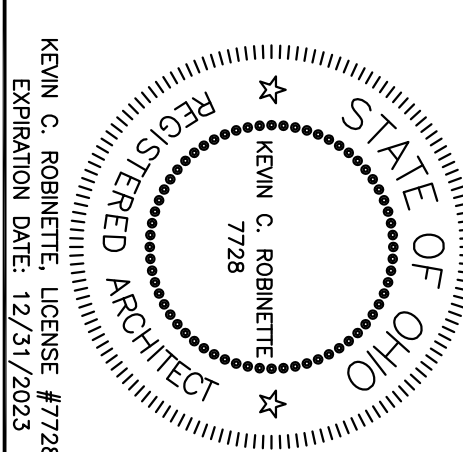
**NOTICE :**  
NONE OF THE DRAWINGS AND OR DETAILS ISSUED FOR THIS PROJECT ARE TO BE SEALED.  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS, NOTES AND DETAILS PRIOR TO CONSTRUCTION START. ANY DISCREPANCIES ARE TO BE REPORTED TO DIXON ARCHITECTS, INC. IN WRITING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES RESULTING IN FAILURE TO DO SO WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
ALL DRAWINGS, SPECIFICATIONS AND DETAILS ISSUED FOR THIS PROJECT ARE THE PROPERTY OF DIXON ARCHITECTS, INC. UNLESS OTHERWISE NOTED.  
REV. DATE DESCRIPTION



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Address	31442 VINE STREET WILLOWICK, OHIO
Drawing	EXHAUST HOOD DETAILS
Scale:	1/4" = 1'-0"
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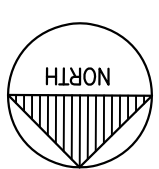
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216-246-0246 robin.c.kevin@gmail.com



M2.1







REV. DATE DESCRIPTION

Project	CHOPSTICKS CUISINE
Address	31442 VINE STREET WILLOWICK, OHIO
Drawing	<b>POWER PLAN</b>
Scale:	1/4" = 1'-0"
Date:	5-3-2023
Issue for:	PERMIT

<b>KEVIN C. ROBINETTE ARCHITECTURE, LLC</b> AIA	
<i>Architecture</i>	
<i>Project Management</i>	
<i>Owner Representation</i>	
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STATE OF OHIO  
REGISTERED ARCHITECT  
KEVIN C. ROBINETTE  
7728  
KEVIN C. ROBINETTE, LICENSE #7728  
EXPIRATION DATE: 12/31/2023

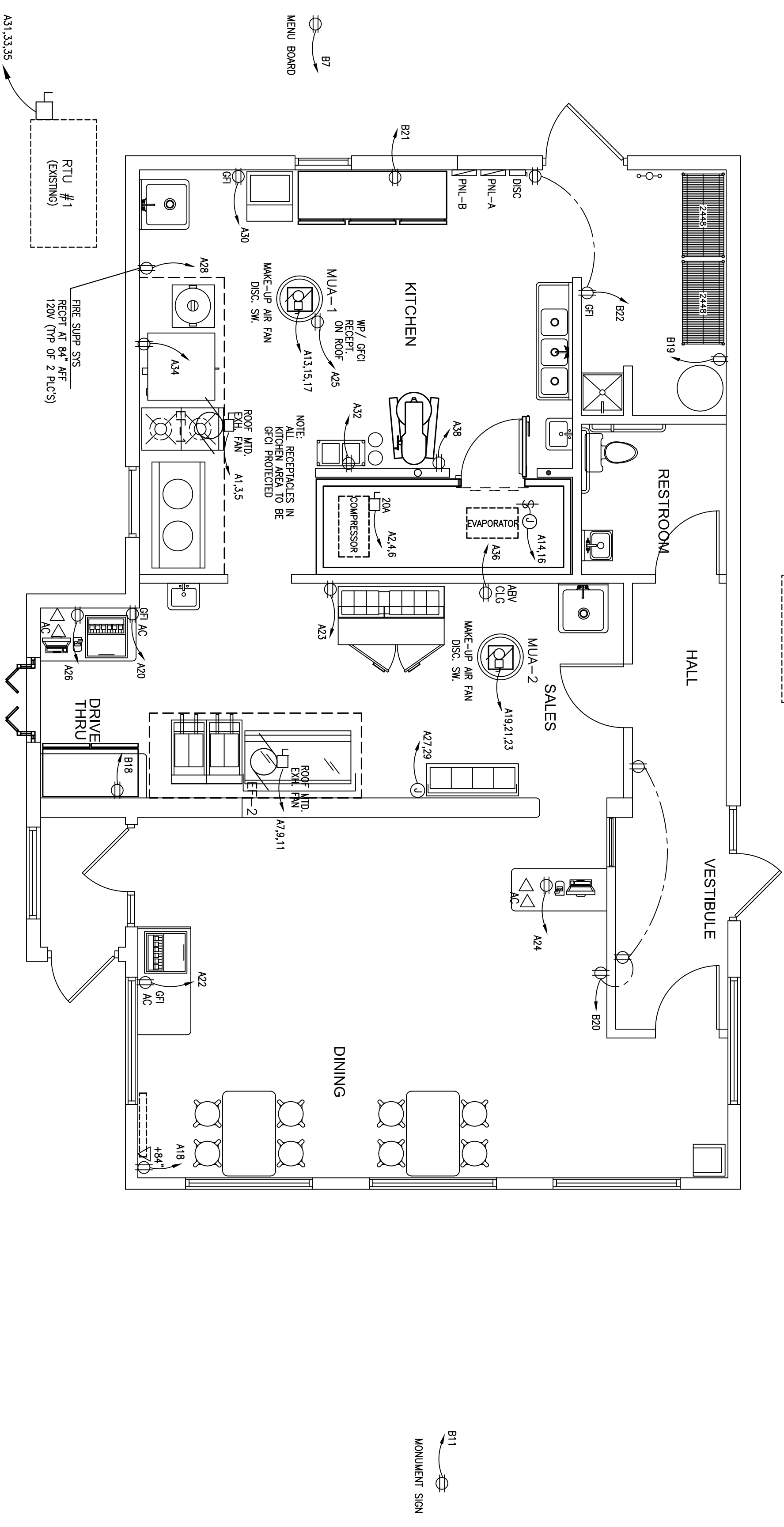
**E2.1**

**SYMBOL LEGEND**

- ⊖ DUPLEX OUTLET MOUNTED AT 18" A.F.F.  
RATED AT 120V-20A
- ⊖ AC DUPLEX OUTLET MOUNTED ABOVE COUNTER.  
RATED AT 120V-20A
- ⊖ WP DUPLEX OUTLET, NEMA 4 TYPE ENCLOSURE.  
RATED AT 120V-20A
- ⊖ GFI DUPLEX OUTLET, GROUND FAULT INTERRUPTER.  
RATED AT 120V-20A
- ⊖ 208V-3Φ RECEPTACLE  
MOUNT ABOVE CEILING
- ⊖ JUNCTION BOX
- ▽ TELE/DATA OUTLET MOUNTED AT 18" A.F.F.  
1/2"Ø, STUBBED-UP ABOVE CEILING
- ▽ AC TELE/DATA OUTLET MOUNTED ABOVE COUNTER.  
1/2"Ø, STUBBED-UP ABOVE CEILING

**ELECTRICAL NOTES**

1. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL REQUIREMENTS OF THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ALL STATE AND LOCAL ELECTRICAL CODES
2. ELECTRIC CONTRACTOR SHALL REVIEW ALL EQUIPMENT ELECTRICAL LOADS WITH EQUIPMENT SUPPLIER(S) PRIOR TO ORDERING. PANEL BOARDS, REPORT ANY CHANGES TO ARCHITECT IN WRITING PRIOR TO INSTALLATION
3. REMOVE ALL ABANDONED WIRING BACK TO PANEL
4. ELECTRICAL CONTRACTOR SHALL PROVIDE NEW TYPED DIRECTORIES FOR ALL ELECTRIC PANEL BOARDS
5. EXIT AND EMERGENCY LIGHTING TO BE WIRED AHEAD OF LOCAL SWITCHING
6. ALL ELECTRICAL RUNS TO BE UNDERGROUND AND IN 3/4" PVC



**POWER PLAN**

SCALE: 1/4" = 1'-0"

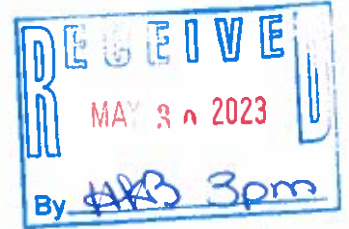






**CITY OF WILLOWICK PLAN REVIEW BOARD  
APPLICATION FOR PERMIT TO OCCUPY FOR  
BUSINESS, COMMERCIAL, INDUSTRIAL, ETC.  
YOU MUST FILL OUT ENTIRE APPLICATION  
440-516-3000**

Item #2.



PERMIT FEE: \$60.00  
DATE: 5/23/23

Location of Occupancy: 32801 Vine St Business Name: Winner's Paradise  
(ADDRESS)

Business Owner's Name & Address: Michael Wilson 2880 Crane Schoolhouse Rd

CITY/STATE/ZIP: Bethel, OH 45106

Telephone Number: 570-423-8129 Fax Number: \_\_\_\_\_ Federal ID Number: 065-80-0335  
Or Social Security Number

OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: PBA Eastside Properties LLC, Alex Tenenbaum,  
18370 South Miles Rd, Warrensville, OH 44128, (440) 382-6511

SUBMIT NEW DETAILED FLOOR PLAN : 1,500 SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: B

Building Size: 5,768 sf Total Number Of Employees: 2-3

Intended Number of Occupants: 25 Total Number of Seating : 22

Site Plan With Number of Paved Parking Spaces: 26 Hours Of Operation : \_\_\_\_\_

Letter of Intent: \_\_\_\_\_ Previous Use: B Proposed Use: B

NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: Michael Wilson

Home Address/City/Zip: 2880 Crane Schoolhouse Rd, Bethel, OH, 45106 Telephone Number: (570) 423-8129

*I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpose stated above. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire & Willowick Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be complied with before opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of the City of Willowick.*

Applicant's Signature: [Signature] Date: 5/23/23

**Office use only:**

Zoning District: \_\_\_\_\_ Authorized Occupants: \_\_\_\_\_

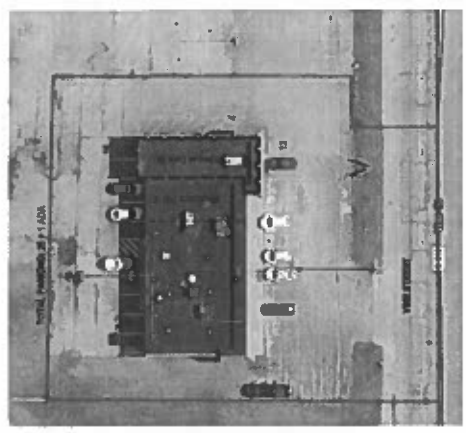
TEMPORARY APPROVED BY: \_\_\_\_\_ Date: \_\_\_\_\_

Zoning Dept. Inspected by: \_\_\_\_\_ DATE: \_\_\_\_\_

Zoning Permit # \_\_\_\_\_ Zoning Permit Fee \$ \_\_\_\_\_

Fire Dept. Inspected By: \_\_\_\_\_ Date: \_\_\_\_\_

**CITY OF WILLOWICK-APPLICATION FOR COMMERCIAL ESTABLISHMENT LICENSE REQUIRED AFTER APPROVAL.  
Note\* A separate permit is required for all new signs from the Willowick Building Department.**



# FOR BID / PERMIT - 05/23/23

## 32801 Vine Street

### Willowick, OH 44095

#### CONTACTS

**LANDLORD**  
P&L Land Management, LLC  
1870 South Main Rd  
Warrensville Heights, OH 44128  
Email: [landlord@pandl.com](mailto:landlord@pandl.com)

**TENANT**  
One Oak Tree LLC  
3800 Doris Stephenson Road  
Warrensville Heights, OH 44128  
Email: [oneoaktree11@gmail.com](mailto:oneoaktree11@gmail.com)

**ARCHITECT**  
Roberto Pinedo  
32801 Vine Street  
Willowick, OH 44095  
Email: [rpinedo@robtopia.com](mailto:rpinedo@robtopia.com)

**MEP ENGINEER**  
Thomas Mason  
32801 Vine Street  
Willowick, OH 44095  
Email: [t.mason@robtopia.com](mailto:t.mason@robtopia.com)

**CONTRACTOR**  
T.B.D.

#### CODE DATA

INTERNET REQUIRING AN EXTERIOR WALKWAY SPACE WITH A MINIMAL RAMP LOCATED AT 2800' MAX FROM THE BUILDING TO THE STREET. THE RAMP SHALL BE 4' WIDE AND 1:12 SLOPE.

APPLICABLE CODES: IBC 2018, IRC 2018, ASHRAE 90.1-2013, ASHRAE 55-2013, ASHRAE 62.1-2013, ASHRAE 189.1-2020, ASHRAE 153-2013, ASHRAE 155-2013, ASHRAE 156-2013, ASHRAE 157-2013, ASHRAE 158-2013, ASHRAE 159-2013, ASHRAE 160-2013, ASHRAE 161-2013, ASHRAE 162-2013, ASHRAE 163-2013, ASHRAE 164-2013, ASHRAE 165-2013, ASHRAE 166-2013, ASHRAE 167-2013, ASHRAE 168-2013, ASHRAE 169-2013, ASHRAE 170-2013, ASHRAE 171-2013, ASHRAE 172-2013, ASHRAE 173-2013, ASHRAE 174-2013, ASHRAE 175-2013, ASHRAE 176-2013, ASHRAE 177-2013, ASHRAE 178-2013, ASHRAE 179-2013, ASHRAE 180-2013, ASHRAE 181-2013, ASHRAE 182-2013, ASHRAE 183-2013, ASHRAE 184-2013, ASHRAE 185-2013, ASHRAE 186-2013, ASHRAE 187-2013, ASHRAE 188-2013, ASHRAE 189-2013, ASHRAE 190-2013, ASHRAE 191-2013, ASHRAE 192-2013, ASHRAE 193-2013, ASHRAE 194-2013, ASHRAE 195-2013, ASHRAE 196-2013, ASHRAE 197-2013, ASHRAE 198-2013, ASHRAE 199-2013, ASHRAE 200-2013.

USE AND OCCUPANCY CLASSIFICATION: COMMERCIAL (C)

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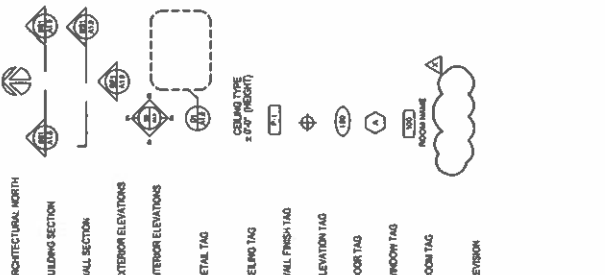
MINIMUM CLEARANCE HEIGHT: 97'0" (MINIMUM)

MINIMUM CLEARANCE HEIGHT: 98'0" (MINIMUM)

MINIMUM CLEARANCE HEIGHT: 99'0" (MINIMUM)

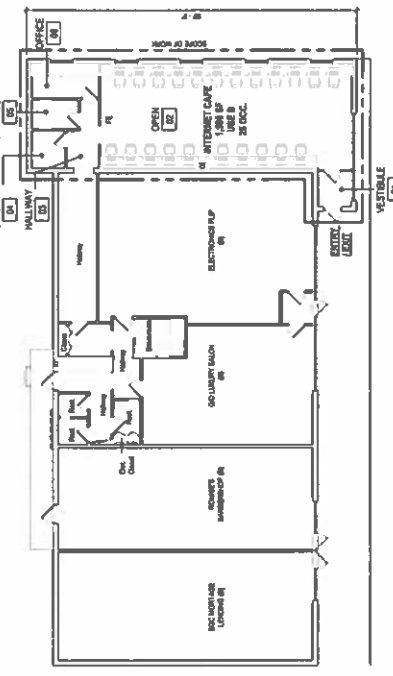
MINIMUM CLEARANCE HEIGHT: 100'0" (MINIMUM)

#### GRAPHIC SYMBOLS



#### A. CODE ANALYSIS 1ST FLOOR

SCALE: 1/8" = 1'-0"



STARTING WALL CONSTRUCTION TO REMAIN  
PROPOSED NEW WALL  
ELEVATIONS TO BE INCLUDED  
FINAL LOCATION TO BE DETERMINED BY LOCAL AGENCY

OR

#### INDEX OF DRAWINGS

NO.	TITLE	DATE
1	TITLE SHEET	05/23/23
2	FOUNDATION PLAN	05/23/23
3	1ST FLOOR PLAN	05/23/23
4	2ND FLOOR PLAN	05/23/23
5	3RD FLOOR PLAN	05/23/23
6	4TH FLOOR PLAN	05/23/23
7	5TH FLOOR PLAN	05/23/23
8	6TH FLOOR PLAN	05/23/23
9	7TH FLOOR PLAN	05/23/23
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18	16TH FLOOR PLAN	05/23/23
19	17TH FLOOR PLAN	05/23/23
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21	19TH FLOOR PLAN	05/23/23
22	20TH FLOOR PLAN	05/23/23
23	21ST FLOOR PLAN	05/23/23
24	22ND FLOOR PLAN	05/23/23
25	23RD FLOOR PLAN	05/23/23
26	24TH FLOOR PLAN	05/23/23
27	25TH FLOOR PLAN	05/23/23
28	26TH FLOOR PLAN	05/23/23
29	27TH FLOOR PLAN	05/23/23
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99	97TH FLOOR PLAN	05/23/23
100	98TH FLOOR PLAN	05/23/23
101	99TH FLOOR PLAN	05/23/23
102	100TH FLOOR PLAN	05/23/23







—○ ONE OAK TREE LLC —○  
MICHAEL WILSON

## CONTACT

☎ 570-423-8129

✉ MeWilson5711@gmail.com

City of Willowick Plan Review Board

31230 Vine St

Willowick, OH 44095

## Dear Plan Review Board

We are intending to open/start an entertainment center at 32801 Vine St under the name of Winner's Paradise. With this document you will find the following:

- Application for permit approval
- Floor plan including expected seating.
- Outside parking
- Machine data including Model and Serial numbers.
- Company and Owner's information
- Employee Identification

Thank you for your attention and consideration to this application. If you have any questions, please do not hesitate to reach out.

Sincerely,  
Michael Wilson  
One Oak Tree LLC





## COAM SAS Compliance Report

<b>Report Issued to</b>	Georgia Lottery Corporation
<b>Date of Issue</b>	November 4, 2022
<b>Product Manufacturer Contact Details</b>	Jenka Lab, LLC 5044 B U Bowman Drive Suite 106 Buford, GA, 30518
<b>Product Details</b>	<i>RMC2G Platform v3.21 GA with AURORA World Famous with Game Themes v1.101702</i>
<b>eclipse Compliance Testing Report Reference Information</b>	Review and analysis of the <i>RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702</i> submitted by Jenka Lab, LLC.
<b>Report Number</b>	NA_JENKAL_5813-01_PA

### 1. INTRODUCTION

eclipse Compliance Testing has conducted a review and examination of the *RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702* for compliance with the following technical standard(s):

- The document titled Georgia COAM SAS Requirements Version 1.7 issued on October 20, 2016 by the Georgia Lottery Corporation.

This assessment is focused on the SAS communication, via SAS simulation, and the interoperability of SAS communications with the Intralot, Inc. Central Monitoring System v3.2, implemented by the Georgia Lottery Corporation, to the aforementioned technical standards.

### 2. OVERVIEW OF TEST SCOPE

The following components have been reviewed for use with *RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702* to determine compliance with the aforementioned technical standards:

Software Name	Version	Component
<i>RMC2G</i>	3.21 GA	Platform
<i>AURORA World Famous</i>	Aurora-6 ver. 1.101702	Game Themes

The *AURORA World Famous v1.070602 Games Themes* consists of five (5) 3x3 Reel Nudge style skill games intended for use in the Georgia Lottery Corporation COAM implementation.

**eclipse Compliance Testing** has composed a detailed compliance analysis of the *RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702* with regard to the aforementioned technical standards. A detailed compliance analysis is attached hereto as an Appendix.

### 3. SOURCE CODE REVIEW

Jenka Lab, LLC has provided **eclipse Compliance Testing** with the software source code associated with the *RMC2G Platform v3.21 GA with AURORA World Famous with Game Themes v1.101702*. The review and evaluation of software source code is essential in establishing system operation and game outcome determination.

Our review of the source code indicates that the *RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702* implements the SAS communication protocol as required under the Georgia COAM SAS Requirements issued by the Georgia Lottery Corporation.

### 4. SOFTWARE INFORMATION

The software/firmware used to operate the *RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702* software is housed on the microcontroller installed on the circuit board of the Jenka Lab, LLC device running on the Linux operating system. The system memory for the *RMC2G Platform* and *AURORA World Famous Game Themes* software is stored in SRAM, which uses an onboard battery to maintain the information until a RAM Clear is performed. The CRC16 signature obtained and verified during testing was displayed through the SAS simulator as 8CC8 when polled with a seed of 0000.

The *RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702* supports the use of pulse in bill acceptors. This is performed by sending a pulse to the game board, which will add funds to the balance meter of the terminal rather than using standard communications used by bill acceptors (ex. RS-232). Additionally, the *RMC2G Platform v3.21 GA with AURORA World Famous Game Themes v1.101702* does not support AFT or EFT communications.

### 5. GAME PLAY AND DEVICE OPERATION

The *AURORA World Famous Game Themes v1.101702* offers five (5) different game themes. The available game themes consisted of five (5) 3x3 reel nudge style skill games. The 3x3 reel nudge style games provide the player with an entertaining game, the outcome of which is based upon the player's decision to select a reel to nudge in the proper direction to align a winning symbol combination and win a potential prize for the nudge style games. The 3x3 reel nudge

style games that are available on the *AURORA World Famous Game Themes v1.101702* includes the following:

- *American Legend*
- *Dragon Money*
- *Smoking Hot*
- *South Central*
- *Win Mill*

## 6. EXCEPTIONS AND NOTEWORTHY ITEM FOR CONSIDERATION

The following item of note has been listed below for consideration by the Georgia Lottery Corporation. This item of note was discovered during the review and analysis undertaken by **eclipse Compliance Testing** to determine compliance with the previously listed requirements.

1. Upon review of the Jenka Lab, LLC *RMC2G Platform v3.21 GA with AURORA World Famous with Game Themes v1.101702*, it was discovered that the displayed electronic meters do not roll over at the same time as the communicated SAS meters. The Jenka Lab, LLC *RMC2G Platform v3.21 GA* allows for the displayed electronic meters to exceed the eight (8) digits in meter length.

## 7. FINDINGS AND CONCLUSIONS

Based upon our review of the *RMC2G Platform v3.21 GA with AURORA World Famous with Game Themes v1.101702*, we have determined that this device facilitates SAS 6.02 communication, via SAS simulation and with the Intralot, Inc. Central Monitoring System in accordance with the following technical standards:

- The document titled Georgia COAM SAS Requirements issued by the Georgia Lottery Corporation.

As previously mentioned, this assessment is focused on the SAS communication via SAS simulation, and on the interoperability of the SAS communications with the Intralot, Inc. Central Monitoring System v3.2, implemented by the Georgia Lottery Corporation of the aforementioned technical standards.

## 8. TERMS AND CONDITIONS

It should be noted that all findings and conclusions of fact have been derived from actual product interaction, visual observations, and the review of the submitted source code. **eclipse Compliance Testing** has performed extensive research and analysis to determine the findings previously mentioned. However, we realize that not all information may have been disclosed or provided for our review. If any parties dispute our findings, or may present evidence or information contrary to our findings, we would welcome the addition of this information for our consideration. In such an instance, we reserve the right to amend or revise this document.



This document is NOT an approval letter or expression of any opinion as to whether this system should be approved. Approval of this system should be granted by the Georgia Lottery Corporation, who may rely upon our findings for the determination of compliance.

This document has been prepared by **eclipse Compliance Testing** for Gaming Regulatory Authorities addressed hereto, for the benefit of Jenka Lab, LLC. Distribution of this document is limited exclusively to **eclipse Compliance Testing**, Jenka Lab, LLC, and those granted use of the report by the aforementioned parties. This report shall not be reproduced, except in full, without the written approval of **eclipse Compliance Testing**. Authorized parties may download an authentic electronic copy of this report from the *Reports* section of the **eclipse Compliance Testing** website ([www.eclipsetesting.com](http://www.eclipsetesting.com)).

If you should have any questions or require additional information, please feel free to contact our office at (440) 914-TEST (8378).

Sincerely,



Nick Farley  
*President*

AP  
NF/bj/jm  
Attachments

**APPENDIX**

**Jenka Lab, LLC**

***RMC2G Platform v3.21 GA with AURORA World Famous Game Themes  
v1.101702***

**Detailed Compliance Analysis**

### SAS COMPLIANCE SUMMARY

(Performed with the SAS Simulator and with Intralot, Inc. Central Monitoring System)

SAS Requirement/ Event	Supported Functionality	Pass / Fail / N/A
Must not disable COAM when disconnected	✓	Pass
Must stop responding when COAM loses power after sending SAS Event 18	✓	Pass
Must respond when COAM power is restored and send SAS Event 17	✓	Pass
Must allow for configurable machine address with a range of 1-127	✓	Pass
COAM must support the ability to allow cash out when the COAM is disabled by the CMS, receives 0x01 Shutdown (lock out play).	✓	Pass
COAM must send event 70 as required by the SAS protocol	✓	Pass
Must support base accounting denomination of \$0.01 (pennies)	✓	Pass
<b>Must support the following SAS Long Polls:</b>		
0x01 Shutdown (lock out play) (persistent message must be displayed)	✓	Pass
0x02 Startup (enable play)	✓	Pass
0x0E Disable real time event reporting	✓	Pass
0x0F Send meters \$10 through \$15	✓	Pass
0x19 Send meters \$11 through \$15	✓	Pass
0x0F Send Gaming Machine ID and Information	✓	Pass
0x21 ROM signature verification using seed	✓	Pass
0x2F Send selected meters for game n (machine only)	✓	Pass
0x51 Send game n configuration	✓	Pass
0x53 Send total number of games implemented	✓	Pass
0x54 Send SAS version ID and gaming machine serial number	✓	Pass
0x55 Send Enabled Features	✓	Pass
0x56 Send enabled game numbers	✓	Pass
0xA0 Send selected game number	✓	Pass
<b>Must support transmission of the following meters:</b>		
0000 (\$11) Total Coin In	✓	Pass
0001 (\$12) Total Coin Out	✓	Pass
0002 (\$14) Total Jackpot Credits	✓	Pass
0003 (\$13) Total hand paid cancelled credits	✓	Pass
0004 (\$10) Total cancelled credits	✓	Pass
0005 (\$15) Game Played	✓	Pass
0006 Games Won	✓	Pass
0007 Games Lost	✓	Pass
000B Total credits from bill accepted	✓	Pass
000C Current credits	✓	Pass
0016 Total ticket out	✓	Pass
001C Total machine paid payable win, not including progressive or external bonus	✓	Pass
001D Total machine paid progressive win	✓	Pass
001E Total machine paid external bonus win	✓	Pass
001F Total attendant paid payable win, not including progressive or external bonus	✓	Pass
0020 Total attendant paid progressive win	✓	Pass

SAS Requirement/ Event	Supported Functionality	Pass / Fail / N/A
0021 Total Attendant Paid External Bonus	✓	Pass
0022 Total won credits	✓	Pass
0023 Total Hand paid credits	✓	Pass
0024 Total drop	✓	Pass
0040-0057 Total number of X bills accepted	✓	Pass
<b><i>Must support the following SAS Events:</i></b>		
17 AC power applied	✓	Pass
18 AC power lost	✓	Pass
51 Hand pay is pending	✓	Pass
52 Hand pay was reset	✓	Pass
15 Logic door open	✓	Pass
16 Logic door closed	✓	Pass
98 Power off card cage (must be monitored for at least 7 days with power lost)	✓	Pass
3C Operator menu accessed/changed	✓	Pass
3B Low backup battery detected	✓	Pass
70 Exception buffer overflow	✓	Pass
7A Gaming machine soft meter reset	✓	Pass

✓ = This functionality is supported.



9) The name and address of any and all persons, businesses or organizations that provide games computer software, equipment, or services or operate devices linked to the licensee's entertainment ' devices or to devices necessary to operate the entertainment devices, whether any such provisions are sold, leased or licensed -

- Devices will be sold to the business owner.
- Game providers information:  
Primetime Games  
PO Box 68 Tallapoosa Georgia 30176

Winning Range
1 - \$50 to \$500 Mini bonus
2 - \$500 to \$1000 Minor bonus
3 - \$1000 to \$1500 Major Jackpot
4 - \$1500 to \$2000 Major Jeckpot2
5 - \$2000 to \$2500 Grand Jackpot.

Rewards	Winning Chance
Store card with play credits	Very High
microwave + Store card with play credits	Medium
TV	Low Medium
music instrument guitar+ audio equipment	Low
air fryer + microwave + kitchen set + \$500 gift card our store.	Very Low