



City of Willowick
PLANNING COMMISSION

Monday, April 10, 2023 at 7:30 PM
City Council Chambers

ADA NOTICE

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

AGENDA

1. **Call meeting to order**
2. **Pledge of Allegiance to the Flag**
3. **Roll Call**
4. **Approval of Minutes**
 1. 1. Planning Commission Minutes - February 13th, 2023
5. **Development & Plan Review Committee**
6. **Rules Committee**
7. **City Engineer's Report – Mr. McLaughlin**
8. **Law Director's Report – Ms. Landgraf**
9. **Architectural Review Board**
10. **Community Reinvestment Area – Mr. Carden**
11. **Public Hearings**
12. **Public Portion**
13. **Remarks – Old Business**
14. **Remarks – New Business**
 1. 1. Luxury Brand Party Co. / Top Designer Landscaping - Located at 30509 Euclid Ave.
 2. 2. Modern Suds Laundromat - Located at 30437 Euclid Ave
15. **Adjournment**



City of Willowick
PLANNING COMMISSION
Monday, February 13, 2023 at 7:30 PM
City Council Chambers

ADA NOTICE

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

MINUTES

Call meeting to order

The February 13th, 2023, meeting was called to order at 7:30pm.

Pledge of Allegiance to the Flag

At this time Mayor Vanni swore in members renewing their expired terms: Mr. Houry and Mr. Hren. Mayor Vanni then swore in the new Planning Commission members: Ms. Raymond and Mr. Urwin.

Roll Call

PRESENT

Mark Carden
Robert Houry
Jef Hren
Eric Foisel
Joan Raymond
John Urwin

ALSO PRESENT

Chief Brennan
Law Director Landgraf
Councilman Phares

ABSENT

Adam Fortney

Approval of Minutes

December 12th 2022 Planning Commission Minutes

Motion to approve the December 12th, 2022 Planning Commission meeting minutes made by Mr. Houry, Seconded by Mr. Foisel.

Voting Yea: Mr. Carden, Mr. Houry, Mr. Hren, Mr. Foisel
Voting Abstaining: Ms. Raymond, Mr. Urwin

Development & Plan Review Committee - Mr. Rising

No Report submitted.

Rules Committee – Mr. Rising

No Report submitted.

City Engineer’s Report – Mr. McLaughlin

No Report submitted.

Law Director’s Report – Ms. Landgraf

No Report

Architectural Review Board - Mr. Heckman

No Report submitted.

Community Reinvestment Area – Mr. Carden

No Report

Public Hearings

Public Portion

Public portion was opened and closed at 7:41pm with no public present.

Remarks – Old Business

Discussion on Uniform Design Codes for the City of Willowick and review of Ordinances 1145 and 1141

Mr. Carden recapped that the board has reviewed different design standards for surrounding cities such as the City of Solon and the City of Lakewood during the past couple of meetings. The board took some of the best that they favored from each design standard and then the decision was made to combine and edit out some duplication and make it something we could fit it into our city ordinances for design standards. After the previous meeting Law Director Landgraf took the discussion on the ordinances and narrowed it down to put into a formal format. The ordinances we are discussing are 1141 and 1145. The board reviewed the changes that had been made, those changes can be recognized by the red print to differentiate. Mr. Houry asked if this is still a draft copy, it was advised that yes this is still a draft.

Chief Housing and Zoning Inspector Chief Brennan was present to go over the current ordinances in place as well as the zoning map of the city. He stated that he would like to have some clarification on some items. He stated that under 1145.11 as he has to enforce the ordinances put into place, he would like to be clear. In the first part he sees that this is for retail district and for the rehabilitation of a building, so for new buildings and for existing structures. As an example situation he presented an existing business in the city, saying they would like to come in and do a face change on the building and if you look at some of the standards being presented Chief Brennan would like to know if this would be applied in this situation, such as electrical or if they want to change just the facade do they have to put the electrical underground per the ordinance being submitted, he could understand if this was a new construction, makes sense however would that be feasible for an existing building to have to go through all that for a face change? Mr. Houry stated that he views this as more ascetic then mechanical however that is just his option. Chief Brennan stated that in the presented ordinance under building instructors design color and standards it then gets into the mechanical. The board then all reviewed the area Chief Brennan was referring too. He advised that in that area it states all utilities serving the site including electrical, telephone and all supporting equipment there to including meters, transformers shall be

underground or within the main building leading him back to the initial question of a face change of an existing building do they then need to comply with electrical being underground.

Mr. Foisel stated that if you go to the very last paragraph on page 15, the very end of the addition there is an area of a catch all where Planning Commission has the authority to waive the standards set forth from the section, although it is very specific stating minimum height restrictions however if it was broadened some to allow items by a case-by-case basis, as we want to encourage these standards, encourage them to do so however we are aware that there are going to be extreme burdens in some situations where they are trying to bring a building up to par to make it more presentable and more incline with what we are doing but maybe there will be unique circumstances where everything going underground is not appropriate or feasible financially. He stated that maybe the board should look at broadening the catch all at the bottom to incorporate the opportunity for businesses to still improve their facade in line with what we are looking for, but they can't just do what they want. They can at least for the ascetics' part of it, come up to the par with that without changing electrical and having to put it underground. There was some discussion regarding expanding the catch all to incorporate more due to unique circumstances.

Chief Brennan stated within the same ordinance there is an area where they are all in compliance with the requirements of the ordinance it can be approved by Plan Review Board. However, if they are not in compliance will they then have to come to Planning Commission for approval? Mr. Foisel stated that based on how the ordinance is written up now, that yes if they are not in compliance and it is a unique situation, they would have to go to Planning Commission for approval. Mr. Foisel stated that the only change he would look at on page 15, would be to remove the words "the minimum height" then it will incorporate everything that has been updated as it would then read "Planning Commission shall have the authority to waive the standard set forth 1145.04 if it determines after public hearing that due to unique circumstances restrictions set forth therein cannot be achieved and the adjustment proposed will not have a material adverse impact on the city". He indicated by removing the narrow nature of it, which would be the height restriction only, it expands it and opens it up. Law Director Landgraf stated that this is only saying Planning Commission has the authority to waive standards in 1145.04, which is parking. Mr. Foisel stated that the board would need to expand that to chapter 1145.04 and 1145.11. Law Director Landgraf stated that standardly the board would have the authority over the chapter. There was some discussion regarding the authority of the Plan Review board and Planning Commission approving businesses as Plan Review Board currently has the authority to allow a speedier process. If the Planning Commission board wanted the authority to move forward with the revisions in red that are being discussed Planning Commission would need to give themselves the authority over 1145.11. There was some discussion about the fundamental goals and designs of the development, which talks about the area by the lakefront. Per the zoning map, you can see where Lakeshore Blvd and Vine Street would come into play however, there is also some retail down East 305th street and Euclid Avenue, is that area also going to be factored into this as it all pertains to 1145. There was some further discussion as to designs regarding to lakefront and yes, the board would like to include all areas to tie in the city on a lake aspect. There was some discussion regarding the verbiage under standards.

Ms. Raymond stated that as she is a new member, she has read through everything and has listened to this full discussion as well as speaking with others. She stated that she is confused regarding the roles of the Planning Commission vs. the Plan Review Board vs. Board of Zoning Appeals. She stated for items like adverse financial ability for the electrical to be underground (as an example) who makes the decision on what is feasible and what is not feasible? There was some further discussion regarding ascetics and mechanical. Law Director Landgraf responded stating when a new business wants to come to the city, they submit a plan to Chief Brennan for the Plan Review Board to review, if it is determined at that time that the business does not comply with the standards put into place then it would go to Planning Commission to review. If the business can not comply with the requirements and Planning

Commission does not waive their authority and the business can not comply, then the business would have to go to Board of Zoning Appeals who has the authority to grant variances. There was some discussion regarding Plan Review Board duties and responsibilities.

It was decided that Planning Commission will change the authority to waive standards from 1145.04 to both 1145.04 and 1145.11

It was decided that (similar to 1145.11) Planning Commission will grant themselves authority to waive any standards from 1141.09 at the time of Plan Approval.

It was discussed whether or not we should remove the “with the exception of Vine St.” from 1145.03.

It was discussed regarding the possibility of re-zoning the commercial parcels more than x feet away from Euclid and East 305th Street as commercial / light industrial. There is no immediate deadline here but something to discuss at the March meeting.

There was some discussion regarding the ability to revise the ordinance once it is in place if it is determined it is counterproductive.

Motion made to send the revised ordinance to City Council by Mr. Foisel, Seconded by Mr. Hren.
Voting Yea: Mr. Carden, Mr. Houry, Mr. Hren, Mr. Foisel, Ms. Raymond, Mr. Urwin

Remarks – New Business

There is no new business.

Adjournment

Motion to adjourn the February 13th, 2023 Planning Commission meeting at 9pm made by Mr. Carden, Seconded by Mr. Houry.

Voting Yea: Mr. Carden, Mr. Houry, Mr. Hren, Mr. Foisel, Ms. Raymond, Mr. Urwin



SEAN BRENNAN
Chief Housing and Zoning Inspector

City of Willowick

31230 VINE STREET
WILLOWICK, OHIO 44095

Item #1.

BUILDING DEPARTMENT
Phone: 440-516-3000
Fax: 440-585-3776
Email: sbrennan@cityofwillowick.com

March 27, 2023

RE: Luxury Brand Party Co. / Top Designer Landscaping – Located at 30509 Euclid Ave.

Dear Chairman Carden,

On Thursday, March 9th, 2023 Luxury Brand Party Co. / Top Designer Landscaping was tabled by the Plan Review Board members. This will be brought back to the table for review of the Plan Review Board members pending approval from Planning Commission and City Council. The board reviewed this as a service establishment under (Retail District) codified ordinance 1145.03 (a) (3). Per the requirements from this code section this will be formally submitted to Planning Commission for the upcoming board meeting.

Please see the attached documents regarding the type of business, their letter of intent and a floor plan.

If you have any questions please contact me at your convenience.

Thank you,

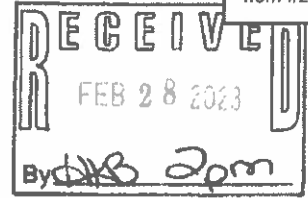
Sean Brennan

Chief Housing and Zoning Inspector

Plan Review Board Chairman



CITY OF WILLOWICK PLAN REVIEW BOARD
APPLICATION FOR PERMIT TO OCCUPY FOR
BUSINESS, COMMERCIAL, INDUSTRIAL, ETC.
YOU MUST FILL OUT ENTIRE APPLICATION
440-516-3000



PERMIT FEE: \$60.00
DATE: 1/29/23

Location of Occupancy: 30509 Eudio Ave Business Name: Webster & Webster Inc

*Luxury Brand
Party Co,
Top Designer
Landscaping*

Business Owner's Name & Address: Rico Webster

CITY/STATE/ZIP: Willowick, OH 44095

Telephone Number: 216-990-4029 Fax Number: _____ Federal ID Number: 46-3957280
Or Social Security Number

OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: DAVID GUARAY (30509 Eudio)
30509 Eudio Ave Willowick, Ohio 44095 (216-438-8888)

SUBMIT NEW DETAILED FLOOR PLAN: SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: _____

Building Size: _____ Total Number Of Employees: 3+4

Intended Number of Occupants: 4 Total Number of Seating: 4

Site Plan With Number of Paved Parking Spaces: _____ Hours Of Operation: 9-5pm

Letter of Intent: Previous Use: _____ Proposed Use: _____

NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: Rico Webster

Home Address/City/Zip: 332 E. 330th Willowick, OH Telephone Number: 216-990-4029

I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpose stated above. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire & Willowick Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be complied with before opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of the City of Willowick.

Applicant's Signature: Rico Webster Date: 1/30/23

Office use only:

Zoning District: _____ Authorized Occupants: _____

TEMPORARY APPROVED BY: _____ Date: _____

Zoning Dept. Inspected by: _____ DATE: _____

Zoning Permit # _____ Zoning Permit Fee \$ _____

Fire Dept. Inspected By: _____ Date: _____

CITY OF WILLOWICK-APPLICATION FOR COMMERCIAL ESTABLISHMENT LICENSE REQUIRED AFTER APPROVAL
Note* A separate permit is required for all new signs from the Willowick Building Department.

Letter of Intent for 30509 Euclid Wickliffe Ohio 44092

The Luxury Brand Party Co and Top Designer Landscape

Sharing a co warehousing space

The front office space is for rental supply items to display. The rear space will be used for shared storage.

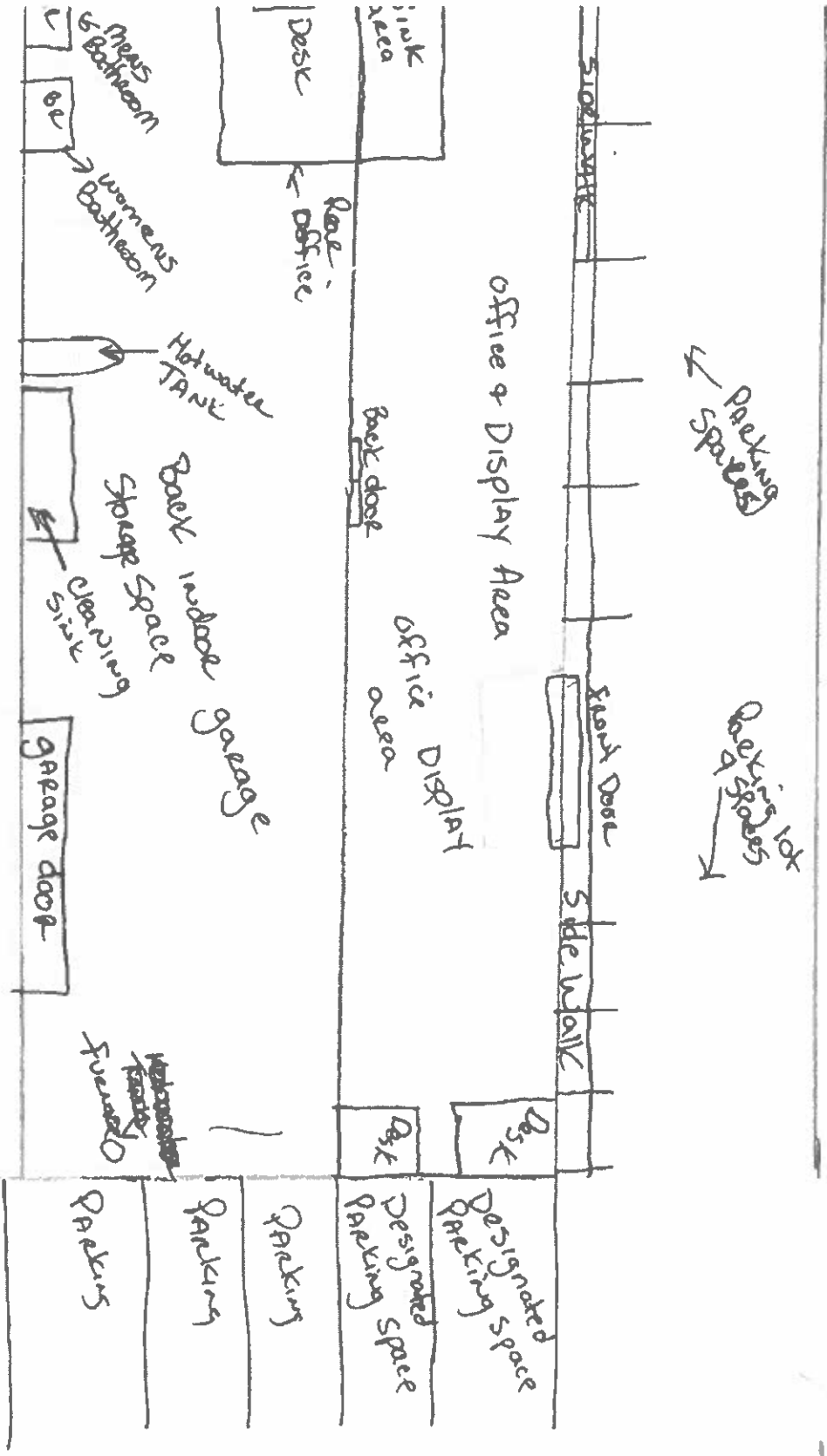
The Luxury Brand Party Co will occupy the front office space and use it as a showroom for rental supply items such as tables and chairs so that customers can view the inventory that we have for rent. Supplies will also be stored in the rear of the space to fulfill orders placed by customers. There will be two dedicated parking spaces on the side of the building for party supply customers. This space will not be used for hosting any types of events. We simply rent supplies and furniture to customers for their events.

[Www.theluxurybrandpartyco.com](http://www.theluxurybrandpartyco.com)

Top Designer Landscaping will occupy an office in the rear of the space with an admin office and storage for items such as rakes, brooms, shovels and trash bags.

Vehicles for the landscaping business will be parked in the rear of the building.

Eucilio Ave - - - - - Eucilio Ave



Gravel Parking in the rear of the Building

Top Designer Landscaping Vehicle Parking



City of Willowick
PLAN REVIEW BOARD
 Thursday, March 09, 2023 at 3:00 PM
 Willowick Building & Service Center

ADA NOTICE

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City of Willowick at 440-585-3700 at least three working days before the meeting.

MINUTES

1. Call meeting to order

Chief Brennan called the March 9th, 2023, Plan Review Board meeting to order at 3:00pm.

Roll call

PRESENT

Sean Brennan
 Brian Turner
 Bill Malovrh Jr.
 Tim McLaughlin
 Ken Pintar

ALSO PRESENT

Councilwoman Antosh

ABSENT

Mike Lazor

Approval of minutes

Plan Review Board Minutes - February 23rd 2023

Motion to approve the February 23rd, 2023, meeting minutes made by Chief Turner, Seconded by Tim McLaughlin.

Voting Yea: Chief Brennan, Chief Turner, Chief Malovrh Jr., Tim McLaughlin, Ken Pintar

New business

Pie Cafe - Located at 31715 Vine Street

Rahmi Olgac was present representing Pie Cafe located at 31715 Vine Street. Chief Brennan stated that Mr. Olgac would like to open up a restaurant at that location and he provided a letter of intent stating that they will be selling pizza, coffee, drinks and sandwiches. Chief Brennan stated that Pie Cafe previously came to the Plan Review Board and was approved to re-do the full building, they were also approved for the parking at that time. They have the required parking, and the business is permitted in that district. At this time now that Pie Cafe is finishing its renovations, they are ready to open and

operate. Chief Brennan asked Mr. Olgac if the owner obtained occupancy from the county yet and Mr. Olgac stated that yes, he did.

Motion made by Ken Pintar, Seconded by Chief Turner.

Voting Yea: Chief Brennan, Chief Turner, Chief Malovrh Jr., Tim McLaughlin, Ken Pintar

Luxury Brand Party Co / Top Designer Landscaping - Located at 30509 Euclid Ave

Rico Webster was present representing Luxury Brand Party Co / Top Designer Landscaping located at 30509 Euclid Avenue. Chief Brennan advised that this is the building that has "At the Office Bar" located within the building. He stated that per the letter of intent Luxury Brand Party Co / Top Designer Landscaping is looking to have a party company where rental party supplies such as tables and chairs will be rented out. They are also looking to do a landscaping business out of the office as well. Mr. Webster stated that his landscaping company completes a lot of commercial landscaping contracts such as RTA, Cleveland Schools as well as sub-contracting and they have been in business for about 15 years, Luxury Brand Party Co is a new business which rental of items such as balloon arches, chairs, table clothes and other party supplies will be rented out. He advised that this would not be a party center. Chief Brennan asked regarding the landscaping business, if customers call him to contract services to which Mr. Webster responded stating yes, customers call him for services. Chief Brennan went over the uses in a retail district, he stated that based on the business submittal it would be more of a service-based industry for both of the businesses he is looking to open. Chief Brennan also asked questions regarding the parking plan and equipment and trailers. Mr. Webster stated that all the equipment will be stored inside the trailers so there would be no equipment within the building. The building will be used as an office space. Chief Brennan explained that when it comes to professional service establishments Planning Commission and City Council will need to approve these types of businesses. Chief Brennan advised that Plan Review Board can table the business pending the approval from Planning Commission and City Council.

Motion to table Luxury Brand Party Co / Top Designer Landscaping pending approval from Planning Commission and City Council made by Tim McLaughlin, Seconded by Chief Turner.

Voting Yea: Chief Brennan, Chief Turner, Chief Malovrh Jr., Tim McLaughlin, Ken Pintar

Willowick Cafe - Located at 28809 Lakeshore Blvd.

Dominic Polito was present with his Architect Michael Tomasic representing Willowick Cafe located at 28809 Lakeshore Boulevard. Chief Brennan stated that the plans submitted are for remodeling and renovations, it was previously a tavern. He advised that after reviewing the plans there are a few things to go over.

Mr. Polito stated that in August of 2022 is when he transitioned to helping his father with this business, on September 24th, 2022, the Willowick Cafe caught on fire, he wanted to thank Chief Turner and his firefighters for saving the building as a whole. Mr. Polito advised that he is looking to change the reputation of the establishment. He explained what he is looking to make this establishment into, something new and exciting. Chief Brennan went over the ordinances with the board and Mr. Polito with regards to parking. After looking at the parking spaces and what was submitted for seating, they need 1 parking space per 2 seats for a restaurant, per the plans there are 96 seats meaning he would need 48 parking spaces, he currently has 27. Chief Brennan stated that Mr. Polito has the right to appeal that at the Board of Zoning Appeals, he would go there for 21 spaces. The second item would be the required green space, currently there is a green belt of grass area located on the plans, per the ordinance 10' of

green space is required, and there is currently only 6', short about 4'. This can also be appealed at the Board of Zoning Appeals. There was some discussion regarding fencing and shrubs as well. As far as the business, it is permitted in that district. There was some discussion regarding the upstairs apartments, where only one is going to be used as residential as well as the "future patio" listed on the plans.

Mr. Polito provided different scenarios for the submittals of plans moving forward regarding seating and parking as well as different situations regarding Board of Zoning Appeals and City Council to determine how he will proceed and what his next steps are.

Motion made to approve preliminary plans pending approval from Board of Zoning Appeals and City Council by Chief Turner, Seconded by Ken Pintar.

Voting Yea: Chief Brennan, Chief Turner, Chief Malovrh Jr., Tim McLaughlin, Ken Pintar

Public portion

Public portion was open and closed with no public present at 3:44pm.

Old business

No old business.

Miscellaneous

No miscellaneous.

Adjournment

Motion made to adjourn the March 9th, 2023, Plan Review Board meeting at 3:45pm by Chief Turner, Seconded by Tim McLaughlin.

Voting Yea: Chief Brennan, Chief Turner, Chief Malovrh Jr., Tim McLaughlin, Ken Pintar



SEAN BRENNAN
Chief Housing and Zoning Inspector

City of Willowick

31230 VINE STREET
WILLOWICK, OHIO 44095

Item #2.

BUILDING DEPARTMENT
Phone: 440-516-3000
Fax: 440-585-3776
Email: sbrennan@cityofwillowick.com

March 27, 2023

RE: Modern Suds Laundromat – Located at 30437 Euclid Ave

Dear Chairman Carden,

On Thursday, March 23rd, 2023 Modern Suds Laundromat was approved by the Plan Review Board members pending approval from Planning Commission and City Council. The board reviewed this as a service establishment under (Retail District) codified ordinance 1145.03 (a) (3). Per the requirements from this code section this will be formally submitted to Planning Commission for the upcoming board meeting.

Please see the attached documents regarding the type of business, their letter of intent and a floor plan.

Please note I am including the Plan Review Board minutes affiliated with the meeting for this establishment, these minutes have not yet been approved.

If you have any questions please contact me at your convenience.

Thank you,

Sean Brennan

Chief Housing and Zoning Inspector

Plan Review Board Chairman



CITY OF WILLOWICK PLAN REVIEW BOARD
APPLICATION FOR PERMIT TO OCCUPY FOR
BUSINESS, COMMERCIAL, INDUSTRIAL, ETC.
YOU MUST FILL OUT ENTIRE APPLICATION
440-516-3000

PERMIT FEE: \$60.00
DATE: 3/13/03

Location of Occupancy: 30437-30439 Euclid Ave. Business Name: Modern Suds Laundromat
(ADDRESS)

Business Owner's Name & Address: Vincent Frascchetti 2743 Overlook Dr.

CITY/STATE/ZIP: Twinsburg, Ohio 44087

Telephone Number: 330 888-8616 Fax Number: _____ Federal ID Number: 92-2716994
Or Social Security Number

OWNER OF PROPERTY/NAME/ADDRESS/TELEPHONE NUMBER: J&P Property Management, LLC
Joseph Catanese 30441 Euclid Ave. Willowick, OH 44092

SUBMIT NEW DETAILED FLOOR PLAN: _____ SQ. FT. HABITABLE FLOOR AREA FOR OCCUPANCY: 2,000 sq/Ft

Building Size: 2,000 sq/Ft Total Number Of Employees: < 1

Intended Number of Occupants: < 40 Total Number of Seating: 10-15

Site Plan With Number of Paved Parking Spaces: > 50 spaces Hours Of Operation: 5a.m - 10p.m

Letter of Intent: _____ Previous Use: Vacant Proposed Use: Laundromat

NAME OF PRINCIPAL OR CONTACT PERSON FOR NEW BUSINESS: Vincent Frascchetti

Home Address/City/Zip: 2743 Overlook Dr. Twinsburg, OH 44087 Telephone Number: 330-888-8616

I hereby certify that the above questions have been answered correctly by me and that the premises will be used for the purpose stated above. Any change in the purpose of occupancy will not be made without approval from Lake County Building, Willowick Fire & Willowick Zoning Department. A final approval by The Willowick Building Dept. (440)516-3000 or a representative thereof, must be complied with before opening of business. I do hereby further agree to maintain the above premises in compliance with the ordinances of the City of Willowick.

Applicant's Signature: [Signature] Date: 3/13/03

Office use only:

Zoning District: _____ Authorized Occupants: _____

TEMPORARY APPROVED BY: _____ Date: _____

Zoning Dept. Inspected by: _____ DATE: _____

Zoning Permit # _____ Zoning Permit Fee \$ _____

Fire Dept. Inspected By: _____ Date: _____

CITY OF WILLOWICK-APPLICATION FOR COMMERCIAL ESTABLISHMENT LICENSE REQUIRED AFTER APPROVAL
Note* A separate permit is required for all new signs from the Willowick Building Department.

March 13, 2023

Vincent Frascchetti
2743 Overlook Dr.
Twinsburg, OH 44087

To Willowick Review Board,

This letter of intent is to grant permission to open a new laundromat located at 30437 & 30439 Euclid Ave. Willowick, OH, 44092. The intent of the space will provide a self-service laundromat with the option of offering a full service that would include a wash, dry fold along with pick-up & drop-off. The name of the laundromat will be Modern Suds Laundromat and will consist of all state of the art equipment which will include touch screens on all washers/dryers. The laundromat will also offer laundry detergents, laundry sheets, detergent pods, etc. for purchase as well. Modern Suds Laundromat will also be a "cashless" establishment with the exception of the payment center that will have a bill feeder for the purchase of a laundry card. The two methods for service on the washer/dryer would be payment by laundry card or smart phone once optional app is installed.

Thank you

Vincent Frascchetti



KRODERS



LAUNDRY

LAUNDRY

Item #2.

Item #2.

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City of Willowick
PLAN REVIEW BOARD
 Thursday, March 23, 2023 at 3:00 PM
 Willowick Building & Service Center

ADA NOTICE

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MINUTES – DRAFT NOT APPROVED

1. Call meeting to order

Chief Brennan called the March 23rd, 2023, Plan Review Board meeting to order at 3:00pm.

Roll call

PRESENT

Chief Brennan
 Tim McLaughlin
 Mike Lazor

ABSENT

Chief Turner
 Chief Malovrh Jr.

ALSO PRESENT

Councilwoman Antosh
 Ken Pintar

Approval of minutes

Plan Review Board Minutes - March 9th, 2023

Motion to approve the March 9th, 2023, meeting minutes made by Mike Lazor, Seconded by Chief Brennan.

Voting Yea: Chief Brennan, Tim McLaughlin, Mike Lazor

New business

Luxe Beauty Boutique - Located at 31601 Vine Street Suite 102

Chief Brennan advised that Naomi Greenwood is present representing Luxe Beauty Boutique, he stated that this is an existing business, and she is moving across the hall where there was a previous salon. Per the letter of intent, she will not be doing any alterations. She will be doing some signage in the future.

Motion made to approve Luxe Beauty Boutique - Located at 31601 Vine Street Suite 102 by Mike Lazor, Seconded by Chief Brennan. Voting Yea: Chief Brennan, Tim McLaughlin, Mike Lazor

Modern Suds Laundromat - Located at 30437 Euclid Ave.

Chief Brennan stated that this location is over by Guiseppe's pizza and Vincent Frascetti is present representing Modern Suds Laundromat - Located at 30437 Euclid Ave. Mr. Frascetti stated that this location is 2 combined units. Mr. Frascetti advised the board that he is looking to put in a laundromat, starting off as a self-serve service with the option in the future to possibly add to a wash, dry, fold service. He stated that is could start off that was as it is designed as such however right now those plans are up in the air. The equipment is all state-of-the-art touch screen. There was some discussion regarding where a similar touch screen local laundromat is. Chief Brennan asked if this is a coinless service, to which Mr. Frascetti responded yes, this is a coinless service. The goal is to make it cashless where the customers would pay via app or laundry card. Chief Brennan stated that, this area is zoned a retail district and under 1145 under the uses this would fall under a service establishment which would require approval from Planning Commission and Willowick City Council. It was asked if there will be an employee on site and Mr. Frascetti stated that starting off it will be all self-serve, once they add the additional service at that time there would be an employee on site. Councilwoman Antosh asked that if there were not an employee on site what would happen if a machine broke, Mr. Frascetti stated that everything is handled on his phone, his phone number will be posted and can handle everything through his phone. It will be under 24-hour surveillance for the establishment and locks are automatic also handled through his phone.

Motion made to approve Modern Suds Laundromat - Located at 30437 Euclid Ave. pending the approval from Planning Commission and City Council by Chief Brennan, Seconded by Mike Lazor.
Voting Yea: Chief Brennan, Tim McLaughlin, Mike Lazor

Public portion

None

Old business

None

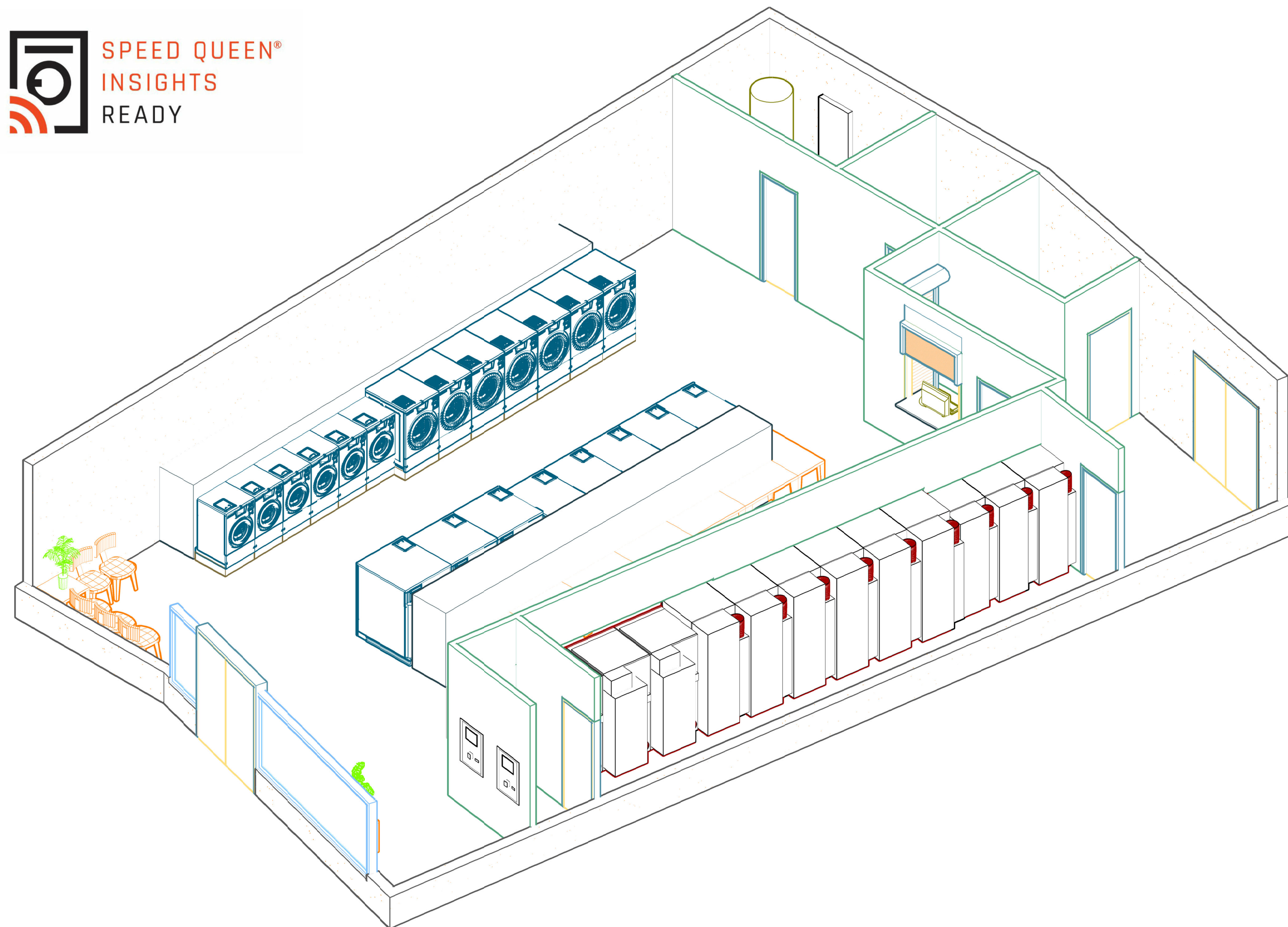
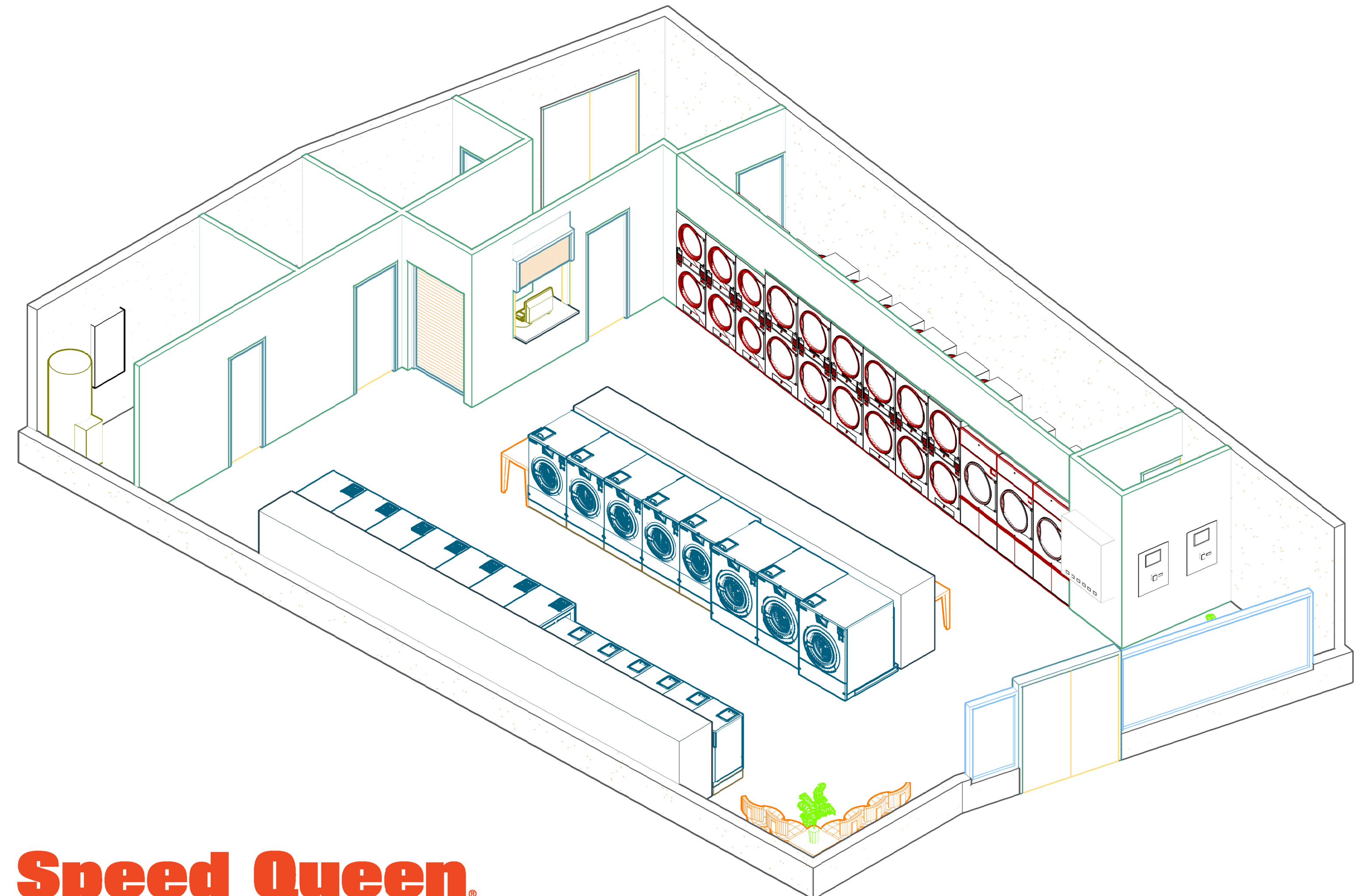
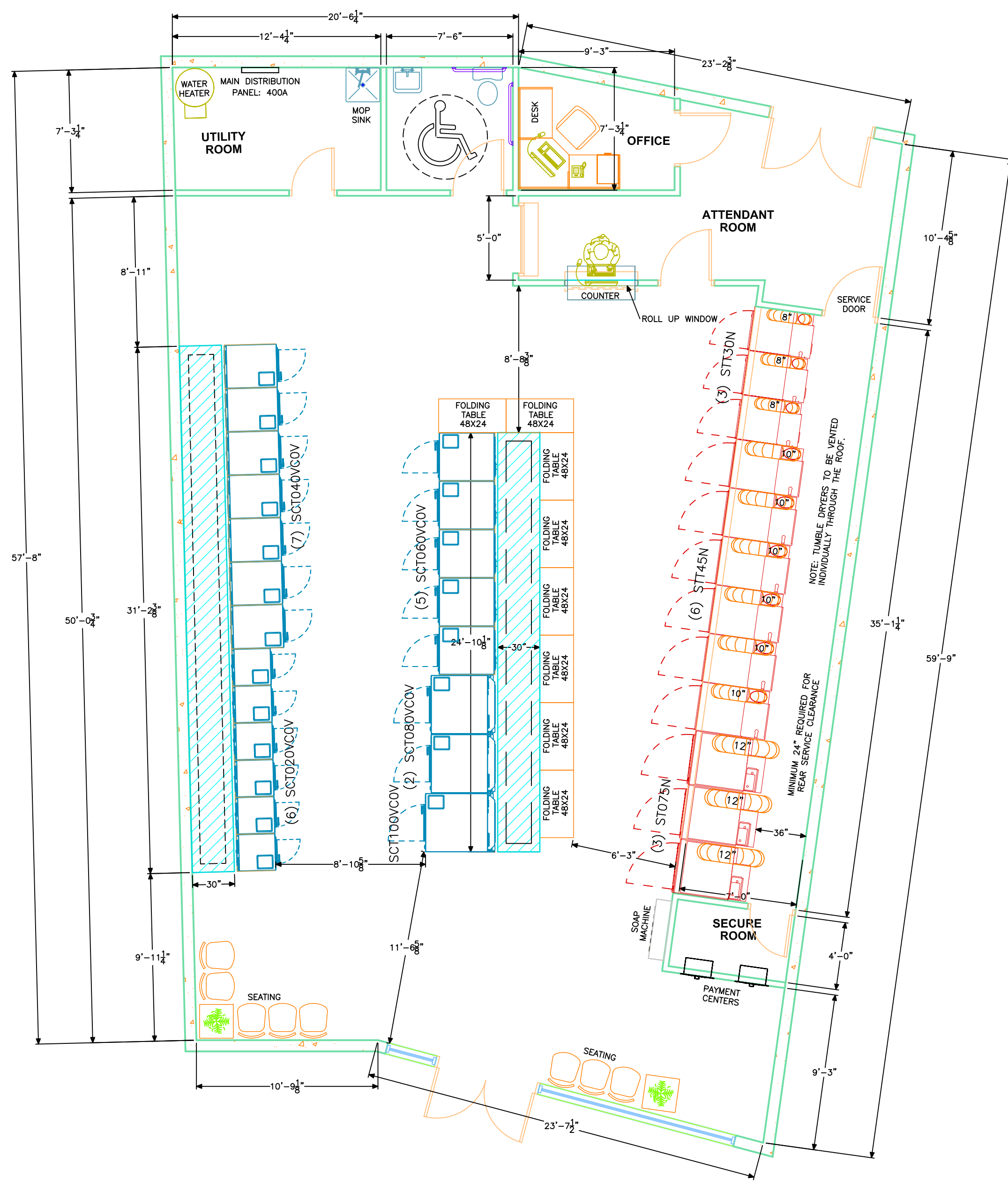
Miscellaneous

None

Adjournment

Motion made to adjourn the March 23rd, 2023, Plan Review Board meeting at 3:14pm by Tim McLaughlin, Seconded by Mike Lazor.

Voting Yea: Chief Brennan, Tim McLaughlin, Mike Lazor



DRAWING NOTES

- THESE DRAWINGS ARE FOR INFORMATION PURPOSES ONLY. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL CODES AND PRACTICES.
- ALL VALUES MAY CHANGE WITHOUT NOTICE.
- DO NOT SCALE THIS DRAWING.
- ALL CONNECTIONS AND SERVICES SHALL BE MADE BY QUALIFIED TECHNICIANS.

EQUIPMENT SPECIFICATIONS

MODEL NUMBER	DESCRIPTION	QTY	MACHINE CAPACITY	EXTENDED CAPACITY
SCT100VCOV	SPEED QUEEN 100lb. HARDMOUNT WASHER-EXTRACTOR	1	100 lbs.	100 lbs.
SCT080VCOV	SPEED QUEEN 80lb. HARDMOUNT WASHER-EXTRACTOR	2	80 lbs.	160 lbs.
SCT060VCOV	SPEED QUEEN 60lb. HARDMOUNT WASHER-EXTRACTOR	5	60 lbs.	300 lbs.
SCT040VCOV	SPEED QUEEN 40lb. HARDMOUNT WASHER-EXTRACTOR	7	40 lbs.	280 lbs.
SCT020VCOV	SPEED QUEEN 20lb. HARDMOUNT WASHER-EXTRACTOR	6	20 lbs.	120 lbs.
TOTAL WASH CAPACITY:				960 lbs.
MODEL NUMBER	DESCRIPTION	QTY	MACHINE CAPACITY	EXTENDED CAPACITY
ST075N	SPEED QUEEN 75lb. SINGLE POCKET TUMBLE DRYER	3	75 lbs.	225 lbs.
ST145N	SPEED QUEEN 45lb. STACKED TUMBLE DRYER	6	90 lbs.	540 lbs.
ST130N	SPEED QUEEN 30lb. STACKED TUMBLE DRYER	3	60 lbs.	180 lbs.
TOTAL DRY CAPACITY:				945 lbs.
WASH TO DRY RATIO:				1 : .98

PROJECT:
**30441 EUCLID
AVE**

PROJECT NUMBER:
LDR-4412

AREA:
1625

EQUIPMENT DISTRIBUTOR:
**Alliance Laundry
1 Shepard Street
Ripon, WI, 54971**

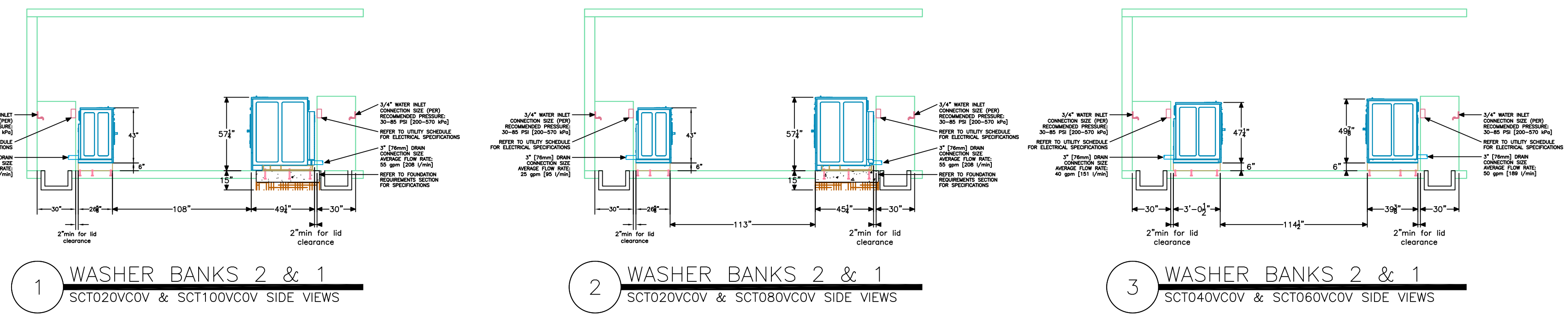
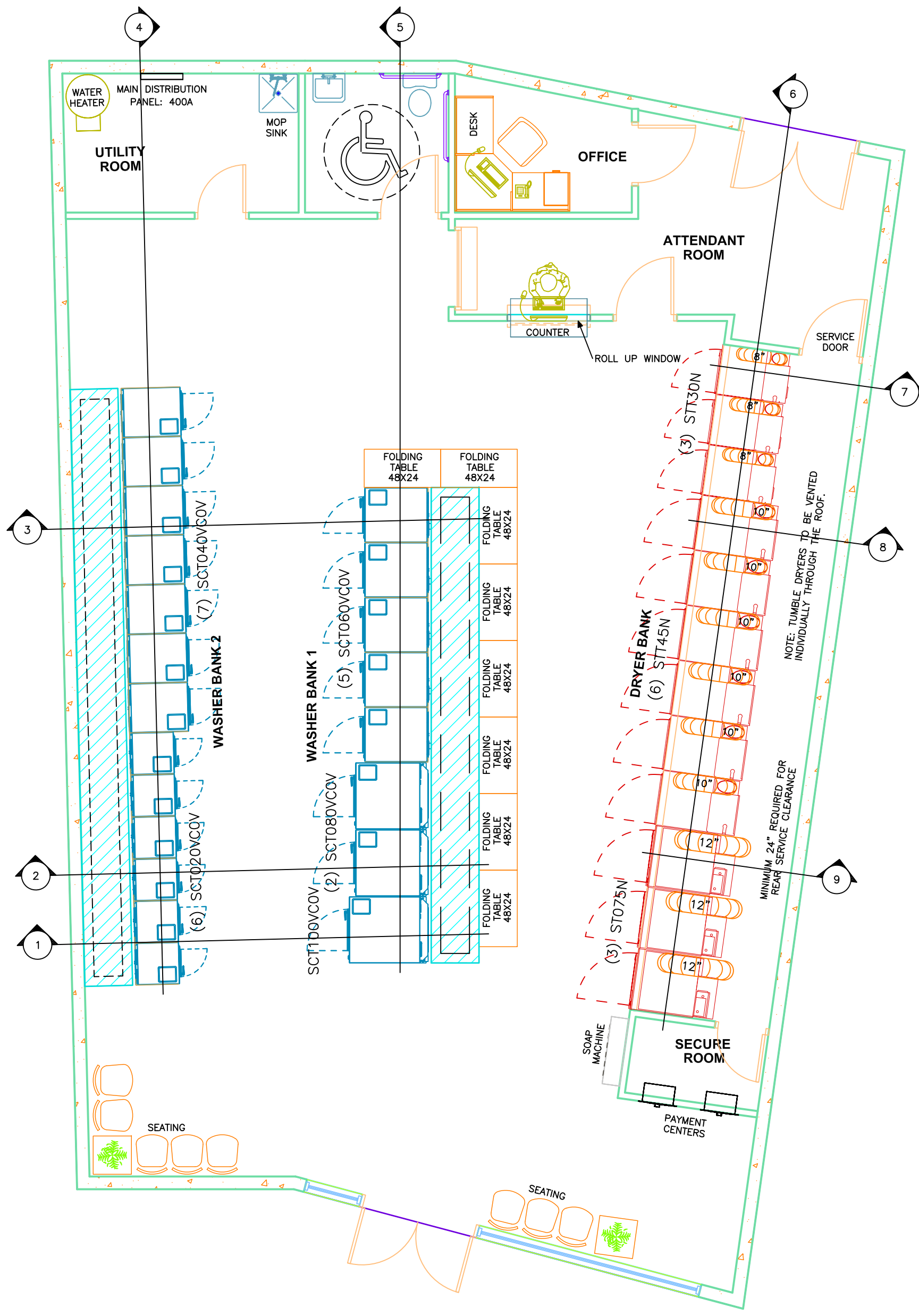
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COVER SHEET

SHEET NUMBER:
SHEET 1 OF 5

DATE:
8-Mar-23

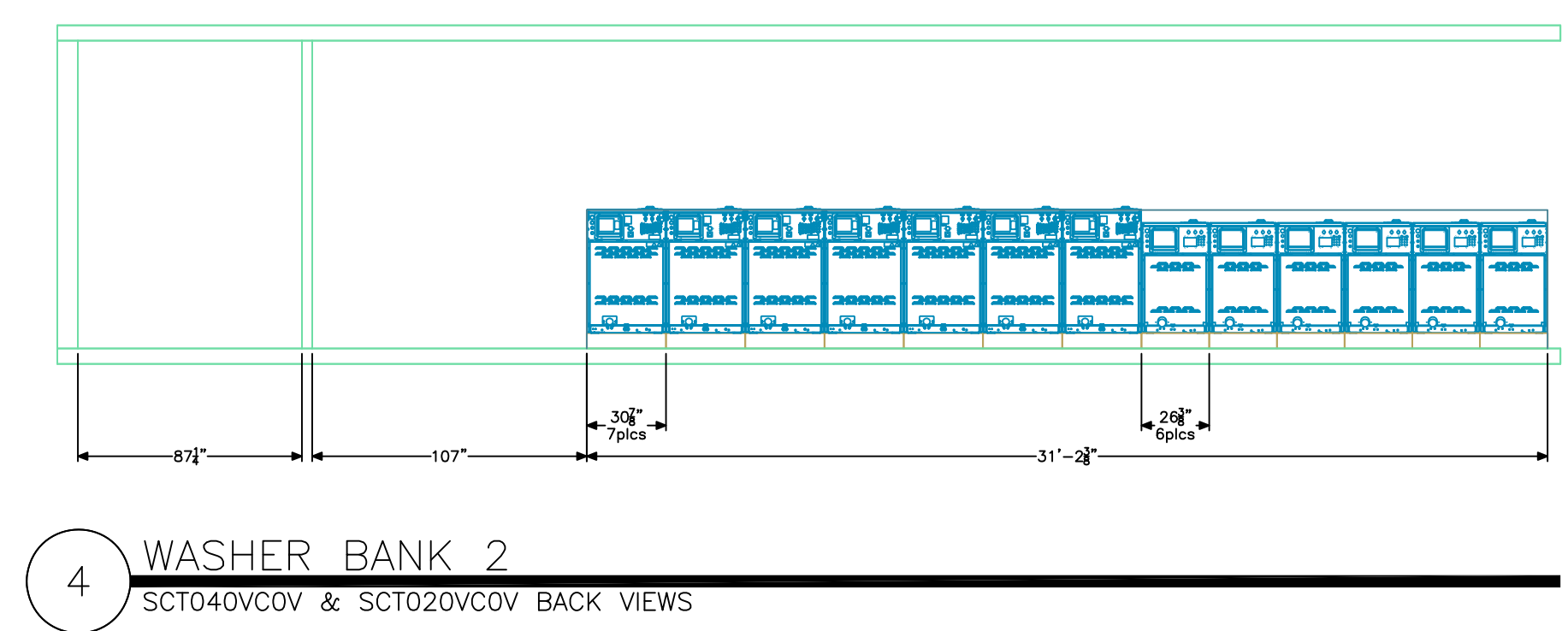
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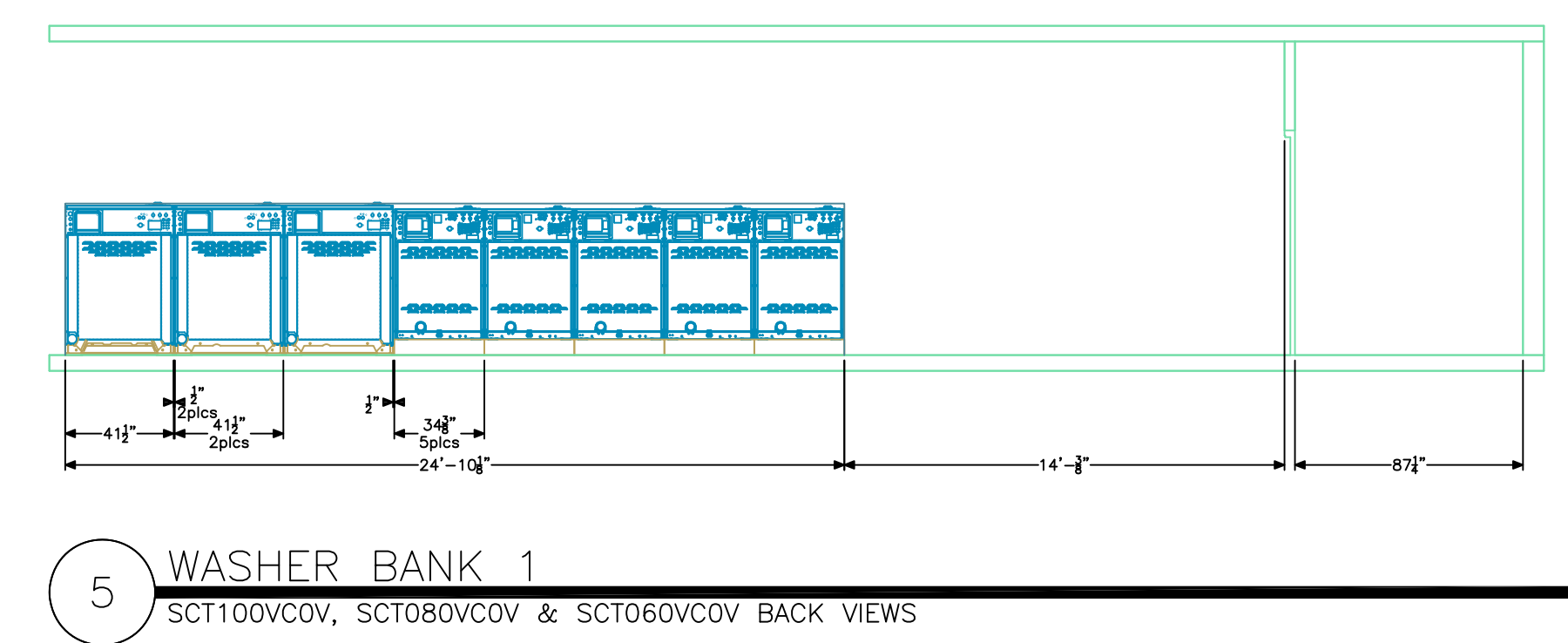
1 WASHER BANKS 2 & 1
SCT020VC0V & SCT100VC0V SIDE VIEWS

2 WASHER BANKS 2 & 1
SCT020VC0V & SCT080VC0V SIDE VIEWS

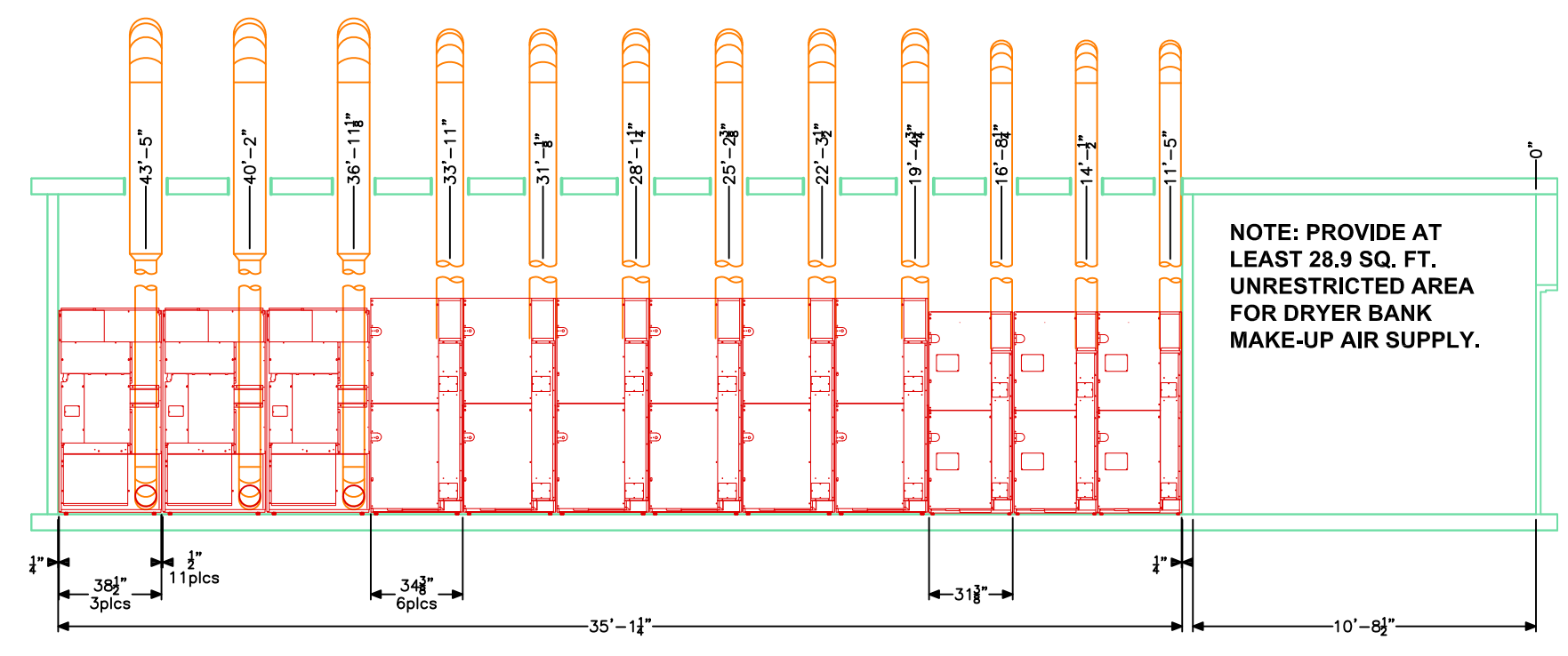
3 WASHER BANKS 2 & 1
SCT040VC0V & SCT060VC0V SIDE VIEWS



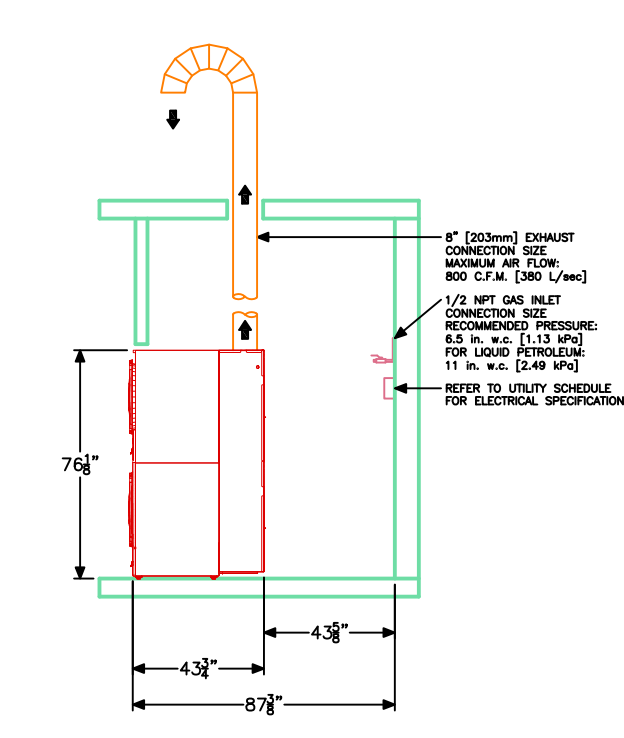
4 WASHER BANK 2
SCT040VC0V & SCT020VC0V BACK VIEWS



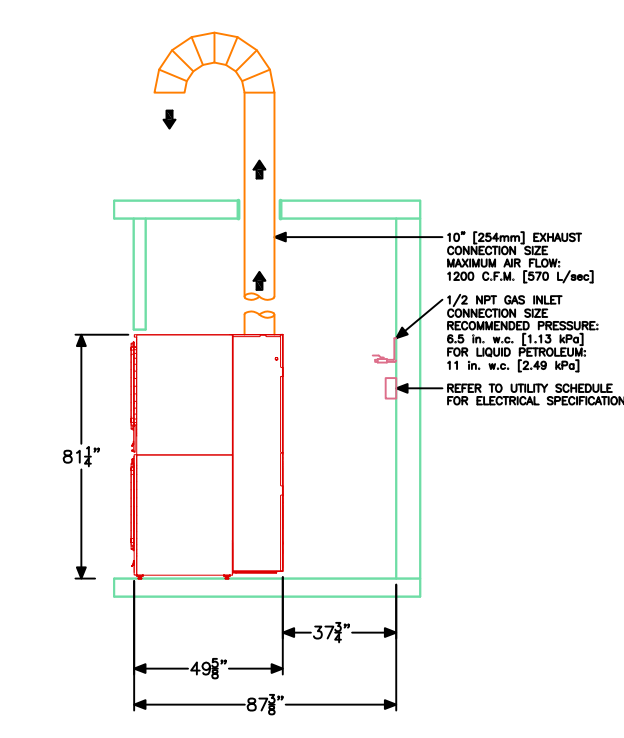
5 WASHER BANK 1
SCT100VC0V, SCT080VC0V & SCT060VC0V BACK VIEWS



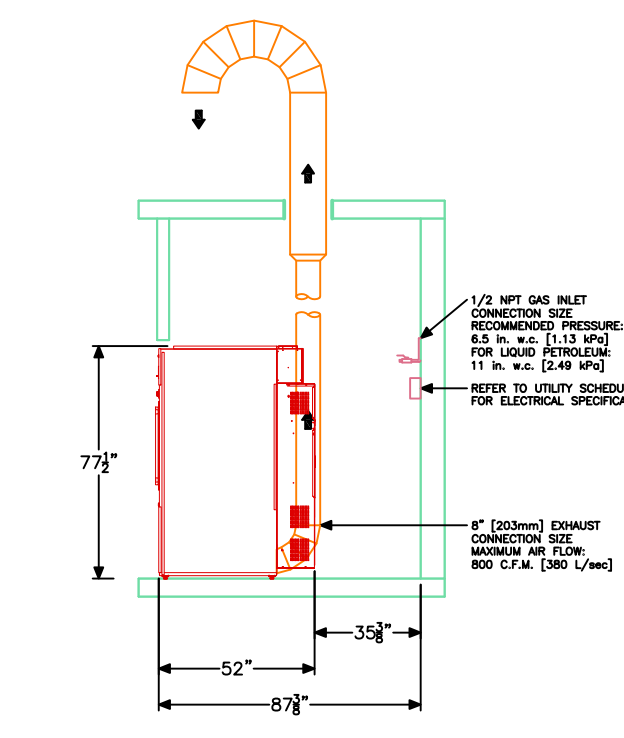
6 DRYER BANK
ST075N, STT45N & STT30N BACK VIEWS



7 DRYER BANK
STT30N SIDE VIEW



8 DRYER BANK
STT45N SIDE VIEW



9 DRYER BANK
ST075N SIDE VIEW



PROJECT:
30441 EUCLID AVE

PROJECT NUMBER:
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EQUIPMENT DISTRIBUTOR:
Alliance Laundry
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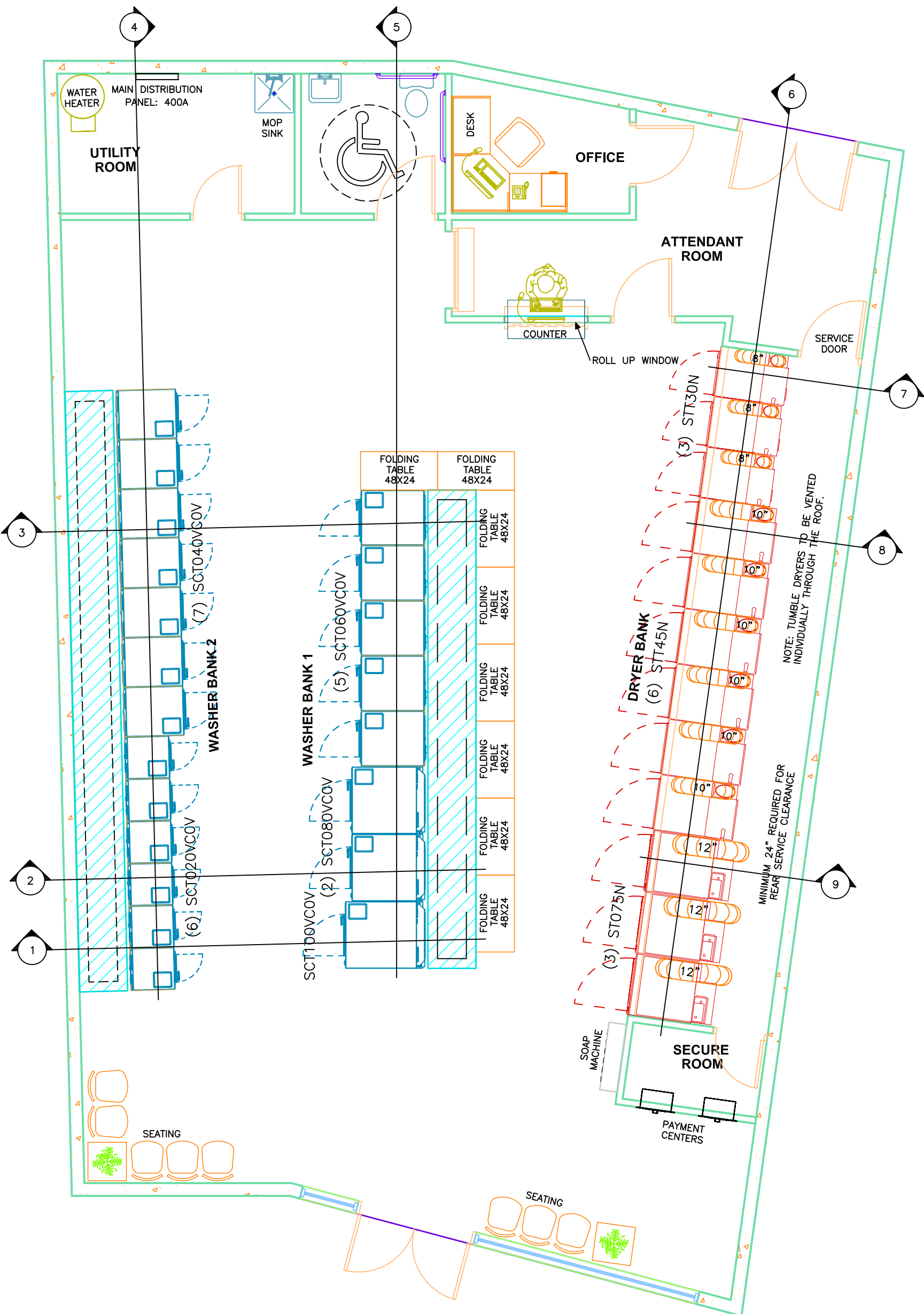
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EQUIPMENT ELEVATIONS

SHEET NUMBER:
SHEET 2 OF 5

DATE:
8-Mar-23

NOT FOR CONSTRUCTION PURPOSES. Equipment specifications are subject to change without notice. Please see equipment installation manuals for details. equipment installation require



LAUNDRY EQUIPMENT LIST

ITEM	MANUFACTURER	MODEL	DESCRIPTION	QTY.	FUTURE
1	SPEED	SCT100VCOV	WASHER-EXTRACTOR	1	
2	SPEED	SCT080VCOV	WASHER-EXTRACTOR	2	
3	SPEED	SCT060VCOV	WASHER-EXTRACTOR	5	
4	SPEED	SCT040VCOV	WASHER-EXTRACTOR	7	
5	SPEED	SCT020VCOV	WASHER-EXTRACTOR	6	
6	SPEED	STT45N	STACK TUMBLER	6	
7	SPEED	ST075N	TUMBLER	3	
8	SPEED	STT30N	STACK TUMBLER	3	

ELECTRICAL REQUIREMENTS

MODEL	VOLTAGE/CYCLE/PHASE	FULL LOAD AMP DRAW	CIRCUIT BREAKER	WIRE SIZE AWG (mm)
SCT100VCOV	200-240/50-60/1ø	16A	20A	12[4]
SCT080VCOV	200-240/50-60/1ø	15A	20A	12[4]
SCT060VCOV	200-240/50-60/1ø	11A	15A	14[2.5]
SCT040VCOV	200-240/50-60/1ø	7A	15A	14[2.5]
SCT020VCOV	200-240/50-60/1ø	4A	15A	14[2.5]
STT45N	200-240/50-60/1ø	12A	15A	14[2.5]
ST075N	200-240/50-60/1ø	7A	15A	14[2.5]
STT30N	200-240/50-60/1ø	9A	15A	14[2.5]
TOTALS		294.0A		

DRAIN OUTLET SIZE

MODEL	MACHINE DRAIN OUTLET	ESTIMATED DRAIN LINE FOR EACH BULKHEAD
SCT100VCOV	3"	
SCT080VCOV	3"	
SCT060VCOV	3"	
SCT040VCOV	3"	
SCT020VCOV	3"	TROUGH DRAIN

NOTE: ELECTRICAL RATINGS ARE SUBJECT TO CHANGE WITHOUT NOTICE. REFER TO SERIAL PLATE FOR ELECTRICAL RATINGS INFORMATION SPECIFIC TO YOUR MACHINE.

NOTE: ELECTRIC HEATED STACK DRYER AND STACK 30 TUMBLER DRYER FULL LOAD AMPS AND CIRCUIT BREAKERS ARE SHOWN PER POCKET. PLEASE CONSULT INSTALLATION MANUAL FOR SPECIFICATIONS.

IMPORTANT: FOR PERSONAL SAFETY AND PROPER OPERATION, THE MACHINE MUST BE GROUNDED IN ACCORDANCE WITH STATE AND LOCAL CODES.

NOTE: CONNECTIONS MUST BE MADE BY A QUALIFIED ELECTRICIAN. REFER TO THE MANUFACTURER'S INSTALLATION MANUAL FOR MORE DETAILS AND ELECTRICAL REQUIREMENTS.

DYNAMIC LOAD SPECIFICATIONS

MODEL	STATIC LOAD, LBS/SF	DYNAMIC LOAD, LBS/SF	MAXIMUM DYNAMIC LOAD, LBS/SF	DYNAMIC LOAD FREQUENCY, Hz
SCT100VCOV	149	149	4330	9.5
SCT080VCOV	140	149	4330	10.4
SCT060VCOV	105	143	2770	11.4
SCT040VCOV	98	119	1820	12.2
SCT020VCOV	97	96	805	13.7

IMPORTANT: THOROUGHNESS OF DETAIL MUST BE STRESSED WITH ALL FOUNDATION WORK TO ENSURE A STABLE UNIT INSTALLATION, ELIMINATING POSSIBILITIES OF EXCESSIVE VIBRATION DURING EXTRACT. REFER TO THE MANUFACTURER'S INSTALLATION MANUAL FOR MORE DETAILS.

GAS INLET SIZE

MODEL	OPERATING PRESSURE (PSI)	GAS TYPE	MAX BTU/HOUR	CONNECTION SIZE	ESTIMATED GAS SUPPLY LINE
STT45N	7"±1.5"	NATURAL	190000	1/2"	3"
ST075N	7"±1.5"	NATURAL	165000	1/2"	
STT30N	7"±1.5"	NATURAL	146000	1/2"	
TOTAL			2073000		

NOTE: IT IS IMPORTANT THAT EQUAL PRESSURE BE MAINTAINED AT ALL TUMBLE DRYER GAS CONNECTIONS. THIS CAN BE DONE BY INSTALLING A 1" (25.4mm) PIPE GAS LOOP TO MAINTAIN EQUAL PRESSURE AT ALL GAS CONNECTIONS.

IMPORTANT: THE ESTIMATED GAS SUPPLY LINE SIZE IS BASED ON A 0.5 PSI (0.04 bar) SUPPLY SYSTEM AND 60' (18m) LENGTH OF PIPE, AND ONLY TAKES INTO ACCOUNT THE LAUNDRY EQUIPMENT REQUIREMENTS. WHEN CONDUCTING FINAL SIZING OF THE INCOMING GAS LINE, A PROFESSIONAL SHOULD BE CONSULTED AS FIGURES MAY VARY BASED ON SUPPLY SYSTEM SIZE, LOCAL CODE REGULATIONS, DISTANCE AND CONFIGURATION OF PIPING, AND OTHER GAS REQUIREMENTS FROM NON-LAUNDRY FIXTURES.

EXHAUST/VENT OUTLET SIZE

MODEL	SIZE	AIR FLOW	MIN. CROSS SECT. AREA, sq. in.
STT45N	10"	1200 cfm	6x98 sq. in.
ST075N	8"	800 cfm	3x63 sq. in.
STT30N	8"	800 cfm	3x63 sq. in.

PROVIDE A MINIMUM 28.9 SQ FT OF MAKE-UP AIR OPENING FOR ALL DRYERS.

NOTE: THE MAKE-UP AIR IS SIZED BASED ON A LOUVERED INSTALLATION. AN ADDITIONAL 40% HAS BEEN ADDED DUE TO POSSIBLE AIR FLOW RESTRICTIONS.

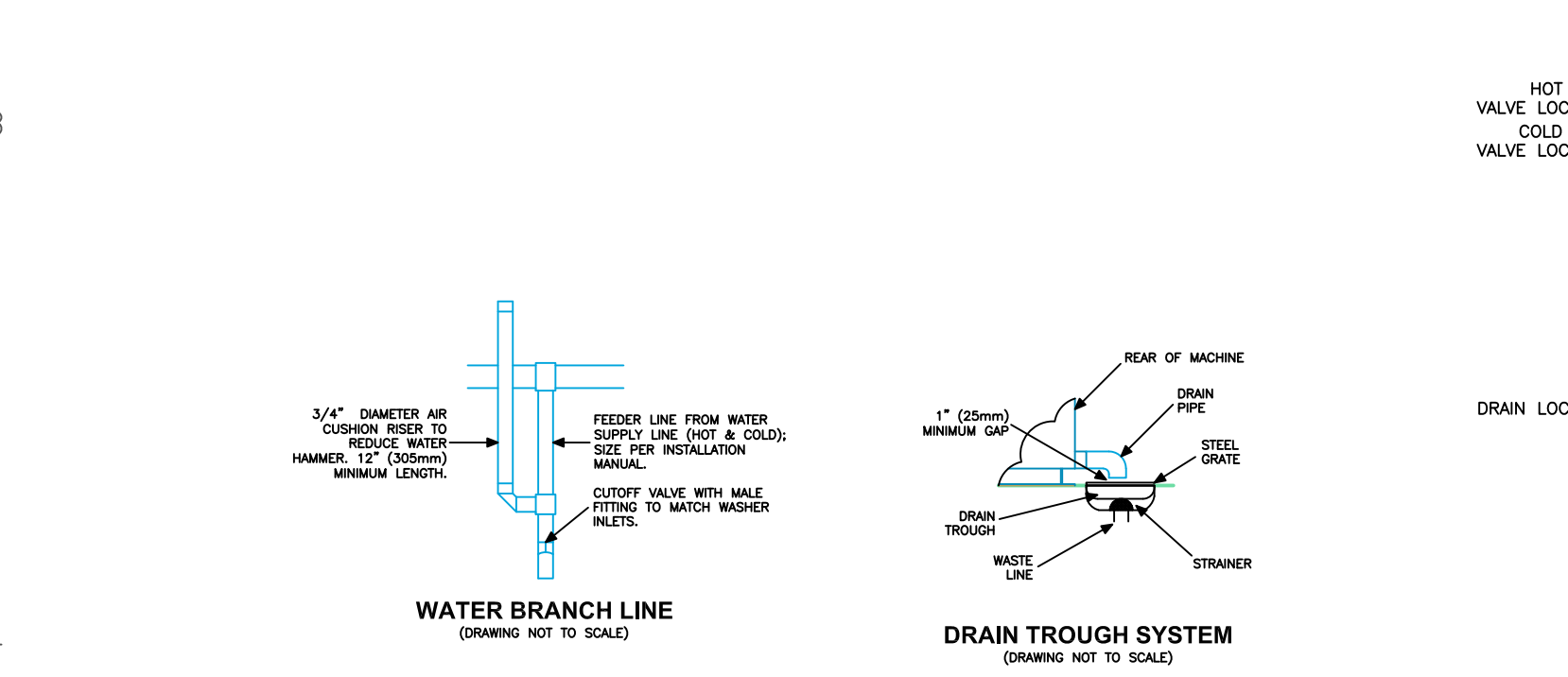
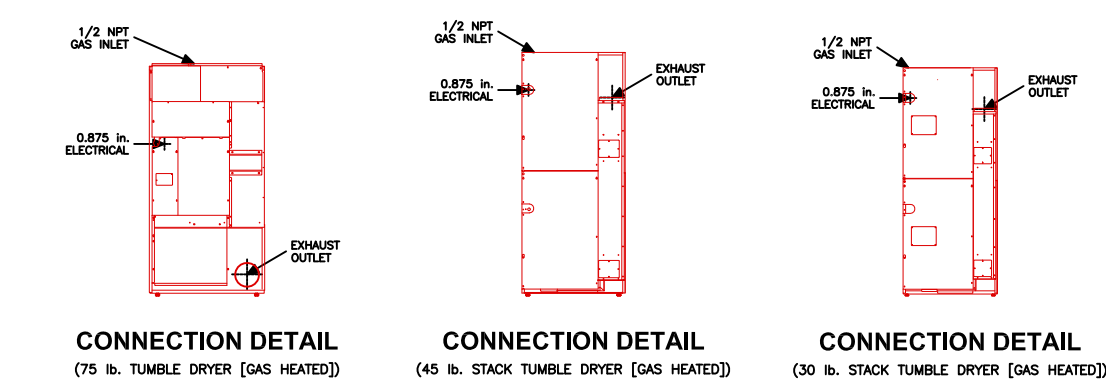
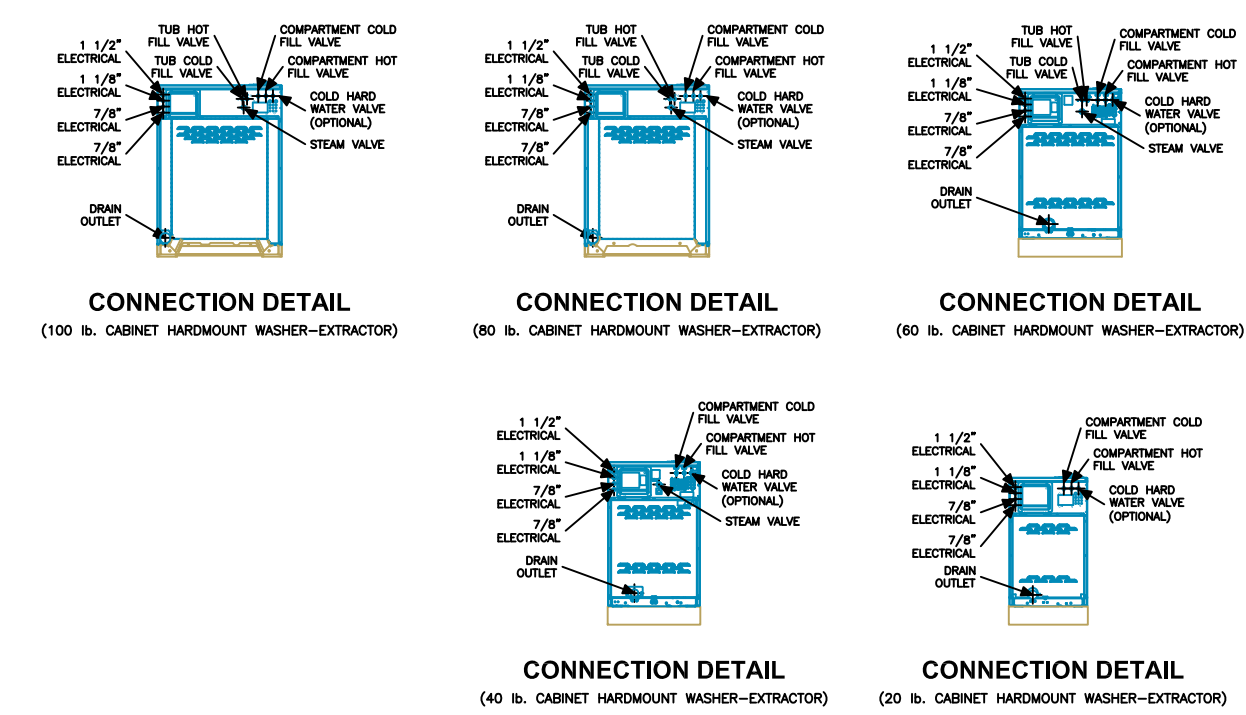
NOTE: THIS FIGURE IS CALCULATED BASED ONLY ON THE DRYERS. OTHER GRAVITY VENTED APPLIANCES PRESENT WILL REQUIRE THE MAKE-UP AIR OPENING(S) TO BE INCREASED SUFFICIENTLY TO PREVENT UNDERDRAFTS IN ANY OF THE VENTS.

WATER INLET SUPPLY

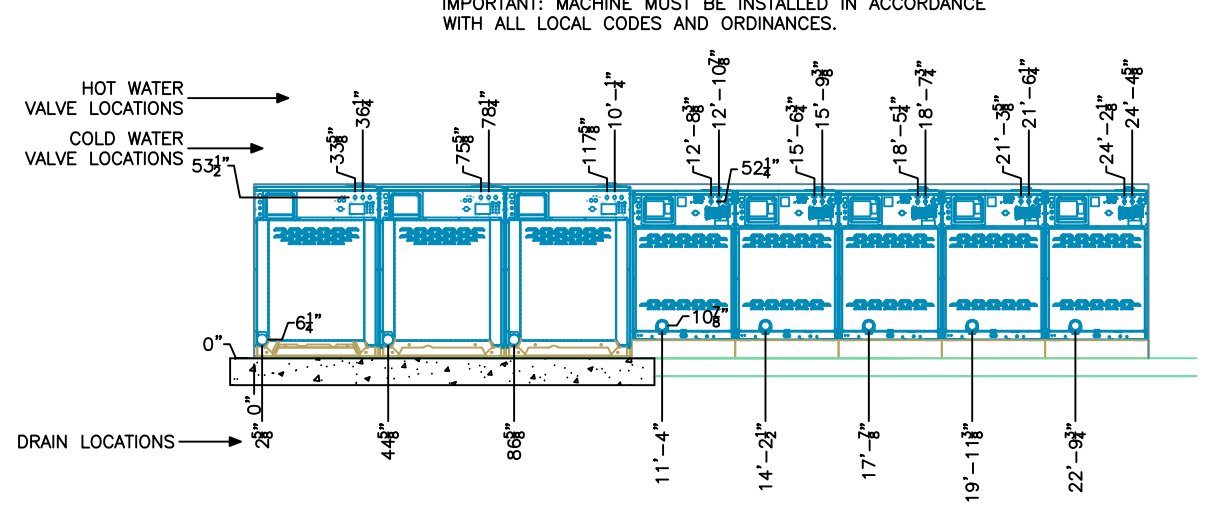
MODEL	COLD WATER		HOT WATER		AVERAGE HOT WATER USAGE IN GALLONS/CYCLE	MAXIMUM VALVE FLOW GALLONS/MINUTE	REQUIRED LINE SIZE TO SUPPLY MACHINE		ESTIMATED WATER LINE SUPPLY SIZE	
	CONNECTION SIZE	OPTIMUM PRESSURE	CONNECTION SIZE	OPTIMUM PRESSURE			COLD	HOT	COLD	HOT
SCT100VCOV	3/4"	30lbs	3/4"	30lbs	19	11.5	11.5	3/4"	3/4"	
SCT080VCOV	3/4"	30lbs	3/4"	30lbs	16.4	11.5	11.5	3/4"	3/4"	
SCT060VCOV	3/4"	30lbs	3/4"	30lbs	11.8	9.3	9.3	3/4"	3/4"	
SCT040VCOV	3/4"	30lbs	3/4"	30lbs	9.6	5.3	5.3	3/4"	3/4"	
SCT020VCOV	3/4"	30lbs	3/4"	30lbs	5.0	5.3	5.3	3/4"	2 1/2" 2 1/2"	

NOTE: THE AVERAGE HOT WATER PER CYCLE FIGURE IS PER MACHINE, AND WAS CALCULATED BASED ON 60 PSI OPERATING PRESSURE. ALL HOT WATER USAGE FIGURES ARE ESTIMATED. ACTUAL CONSUMPTION FIGURES WILL VARY DEPENDING ON LOCAL WATER PRESSURES, EQUIPMENT CONDITION, NUMBER OF CYCLES, CYCLE TIMES SELECTED, LOAD SIZES AND THE TYPE OF MATERIALS PROCESSED.

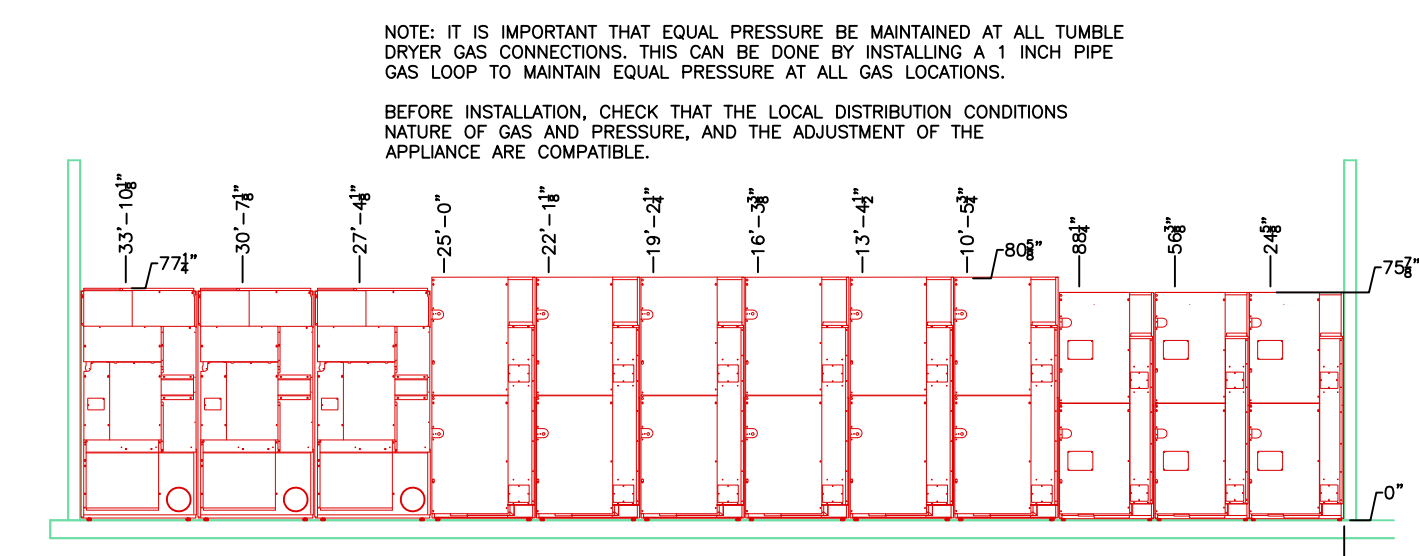
IMPORTANT: THE ESTIMATED WATER LINE SUPPLY SIZE IS BASED ON OPTIMUM WATER PRESSURE, AND ONLY TAKES INTO ACCOUNT THE LAUNDRY EQUIPMENT REQUIREMENTS. WHEN CONDUCTING FINAL SIZING OF THE INCOMING WATER LINE, A PROFESSIONAL SHOULD BE CONSULTED AS FIGURES MAY VARY BASED ON WATER PRESSURE AVAILABILITY, PLUMBING REGULATION REQUIREMENTS, DISTANCE AND CONFIGURATION OF PIPING, AND OTHER WATER REQUIREMENTS FOR NON-LAUNDRY FIXTURES.



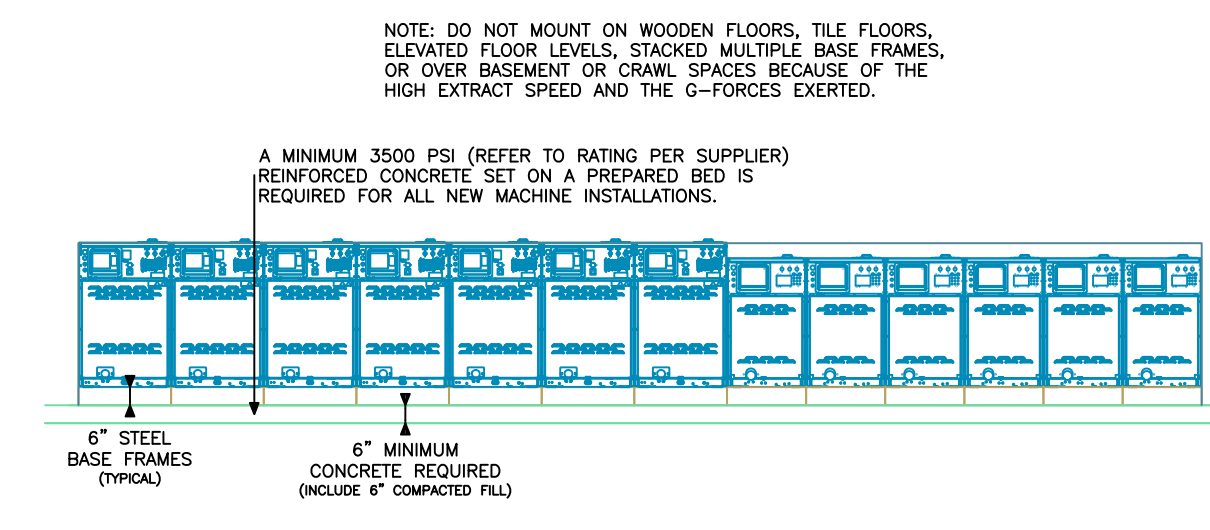
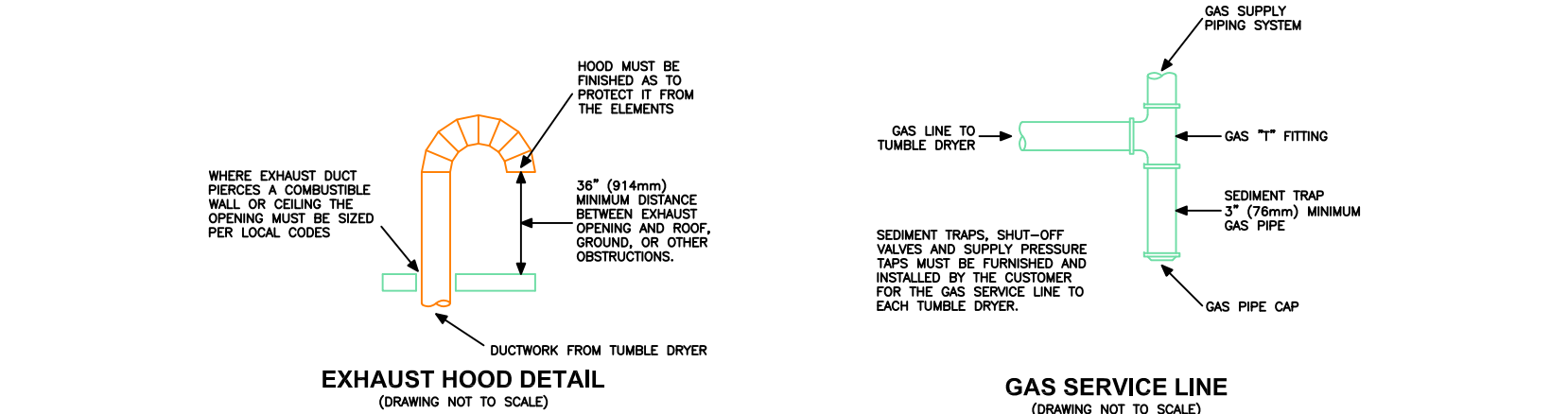
4A WASHER BANK 2 WATER/DRAIN LOCATIONS



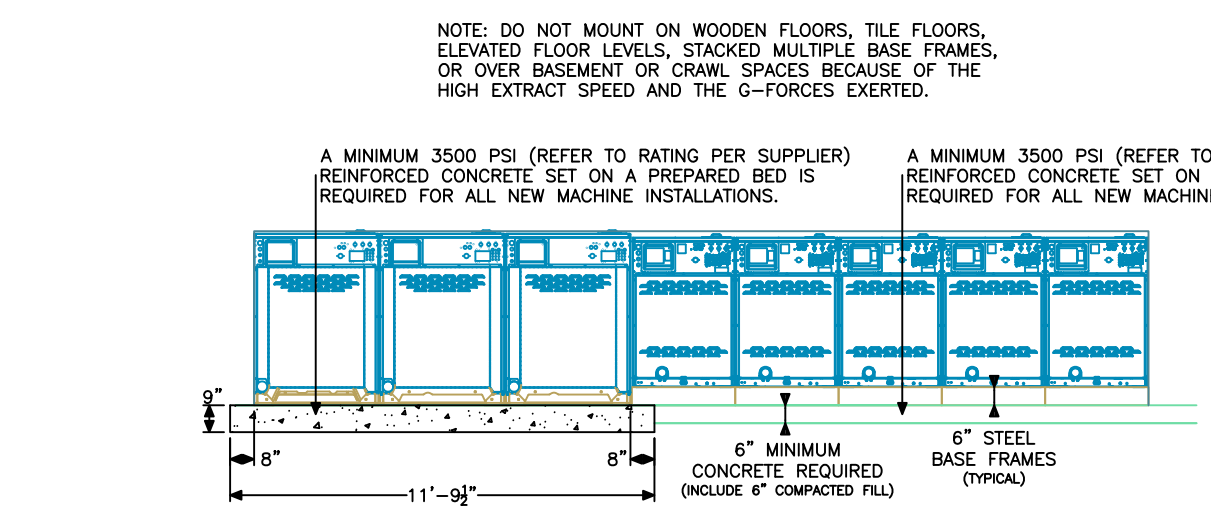
5A WASHER BANK 1 WATER/DRAIN LOCATIONS



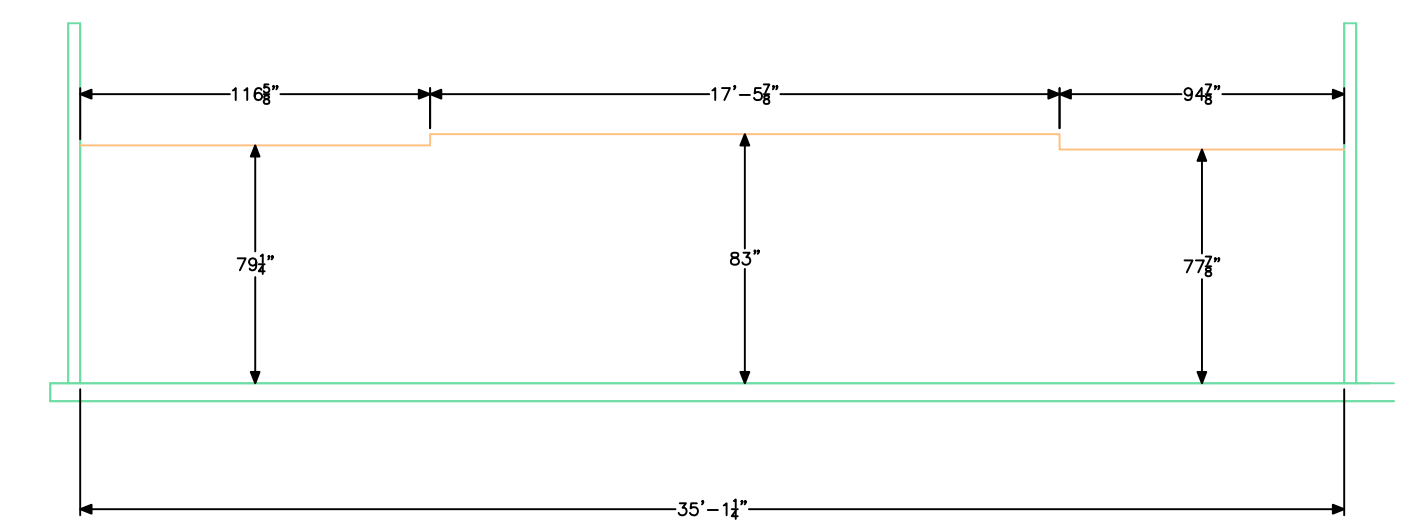
6A DRYER BANK NATURAL GAS VALVE LOCATIONS



4B WASHER BANK 2 FOUNDATION SPECIFICATIONS



5B WASHER BANK 1 FOUNDATION SPECIFICATIONS



6B DRYER BANK TUMBLE DRYER OPENING MEASUREMENTS

Speed Queen
The Proven Performer in Laundry

PROJECT:
30441 EUCLID AVE

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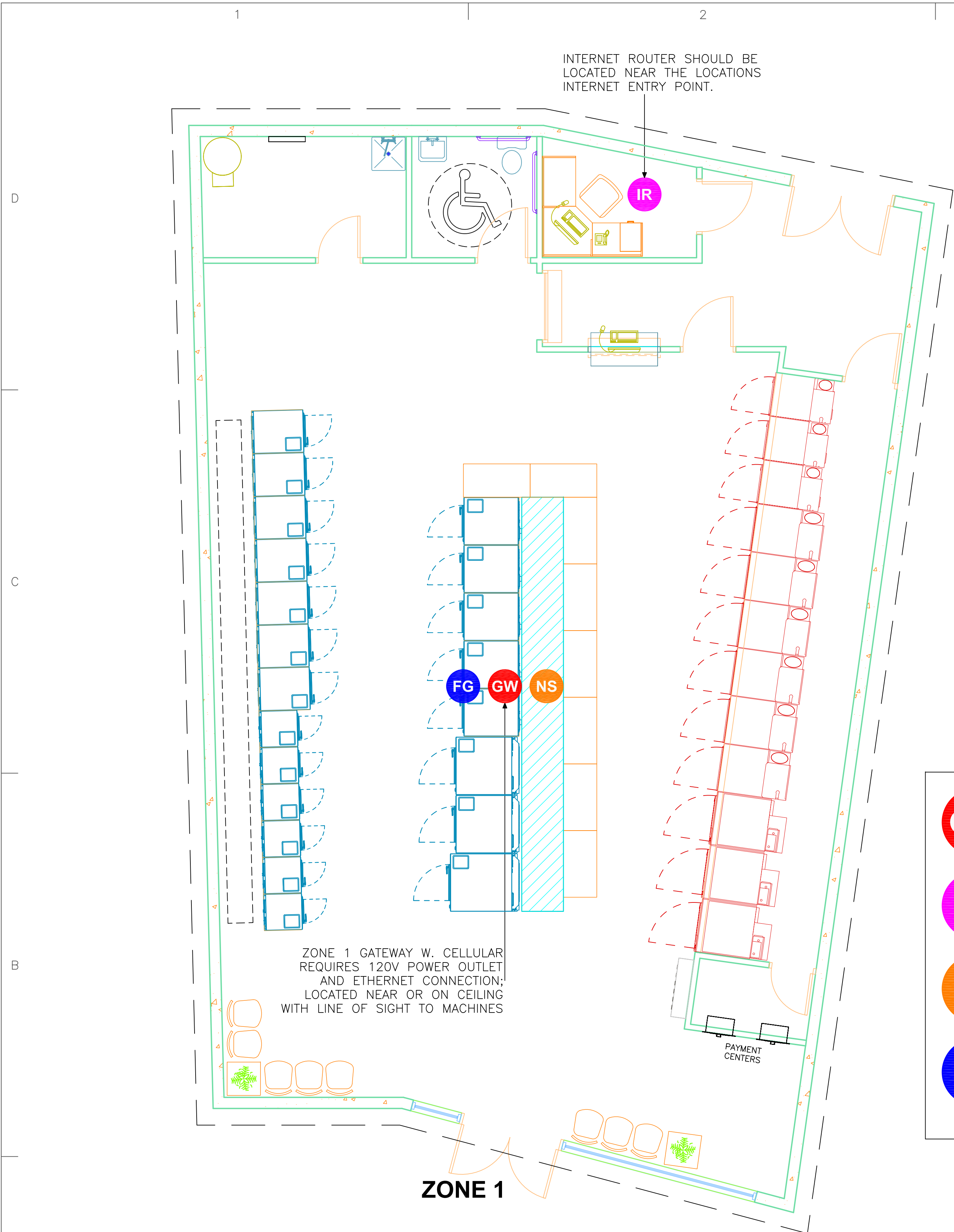
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UTILITIES SPECIFICATIONS

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SHEET 3 OF 5

DATE:
8-Mar-23

NOT FOR CONSTRUCTION PURPOSES. Equipment specifications are subject to change without notice. Please see equipment installation manuals for detailed equipment installation requirements.



GW GATEWAY

IR INTERNET ROUTER

NS NETWORK SWITCH

FG FAILOVER GATEWAY

EQUIPMENT NEEDED:

- MACHINES WITH NETWORK BOARDS OR BUILT-IN CONNECTIVITY
- GATEWAY KIT(S)
- NETWORK SWITCH (FOR LOCATIONS WITH THREE OR MORE CELLULAR GATEWAYS)
- USB IR INTERFACE KIT
- ANDROID 6.0 (MARSHMALLOW) WITH INTERNET CONNECTION OR SPEED QUEEN QUANTUM PC SOFTWARE
- THE FACILITY MUST HAVE INTERNET ACCESS

NOTE:

GATEWAYS SHOULD NOT BE NEAR OTHER ELECTRICAL DEVICES (MICROWAVES, TVS, ETC.) AND SHOULD NOT BE PLACED BEHIND WALLS OR METAL BARRIERS. MAKE SURE ANTENNAS ARE POINTED DOWN IN DIFFERENT DIRECTIONS.

NOTE:

FOR 3 OR MORE GATEWAYS, A SINGLE ETHERNET CABLE SHOULD BE RUN FROM THE INTERNET ROUTER TO THE NETWORK SWITCH. FROM THE NETWORK SWITCH, ETHERNET CABLES WILL BE RUN TO GATEWAYS.

NOTE:

ETHERNET CONNECTION IS RECOMMENDED WHEREVER POSSIBLE FOR MAXIMUM RELIABILITY. FOR OPTIMAL PERFORMANCE, A BROADBAND INTERNET CONNECTION SPEED OF 10Mbps IS REQUIRED.

PRO TIP:

IT IS HIGHLY RECOMMENDED TO PUT THE GATEWAY POWER OUTLETS ON A SWITCH OR WI-FI SMART PLUG TO MAKE POWER CYCLING EASY.

**PLEASE CONTACT SOFTWARE SUPPORT FOR QUESTIONS.
EMAIL SOFTWARESUPPORT@ALLIANCELS.COM OR CALL 1-844-241-5519.**



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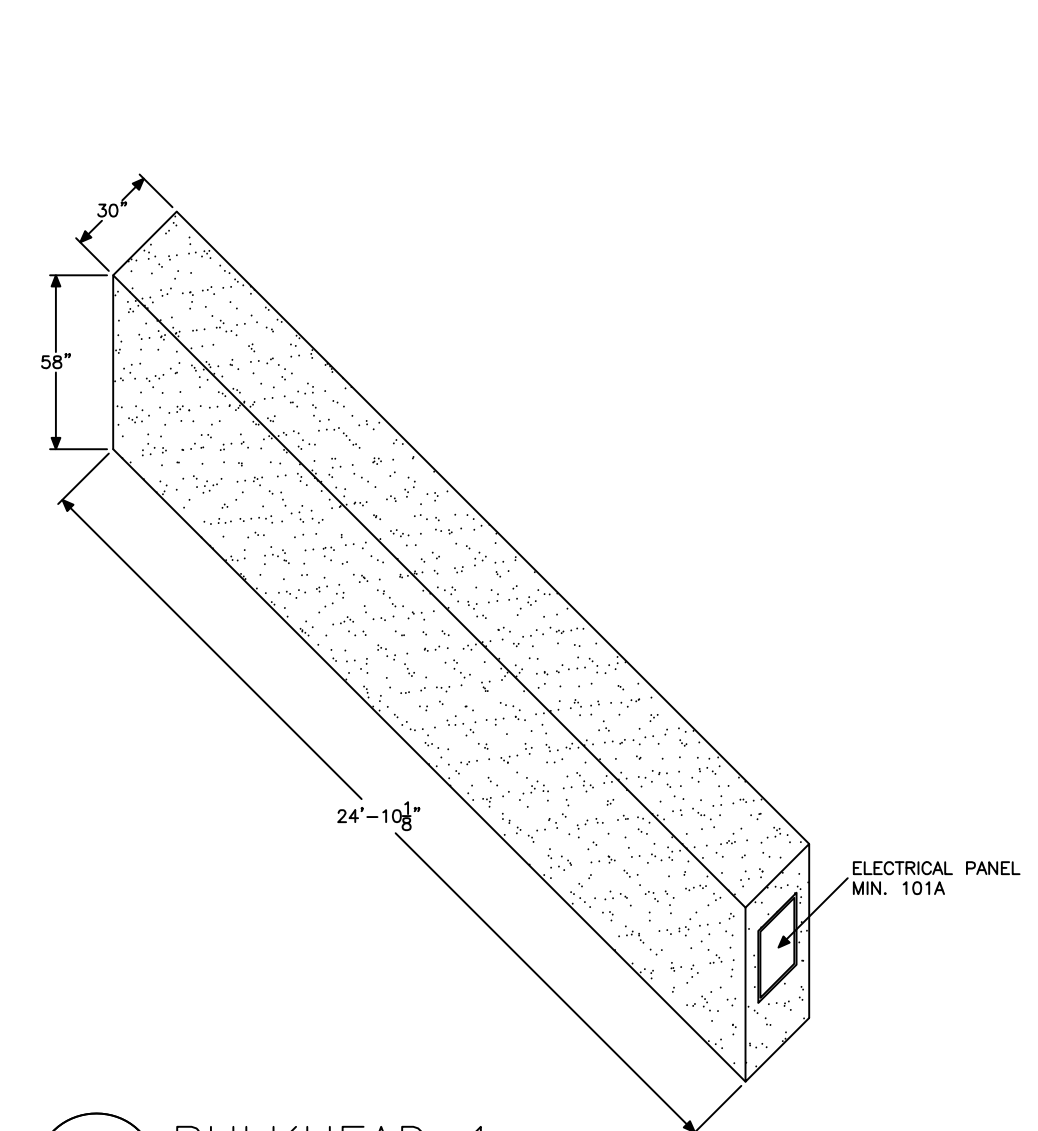
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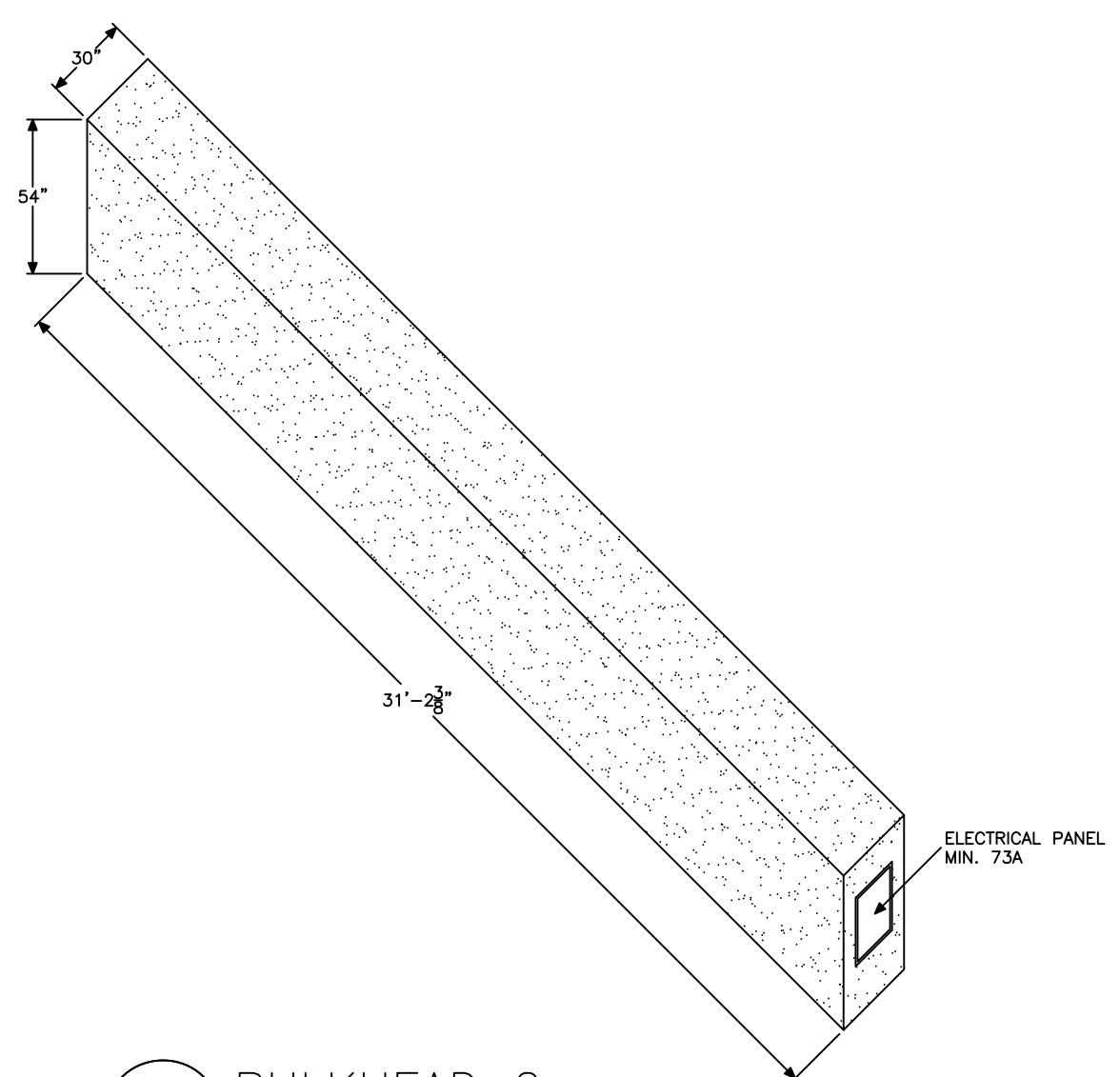
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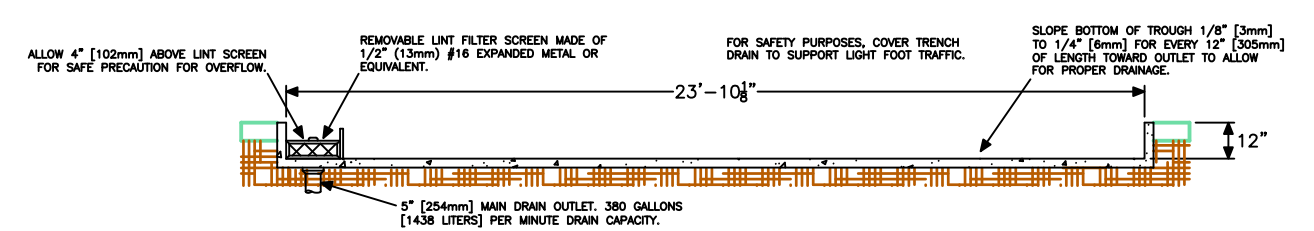
Speed Queen
The Proven Performer in Laundry



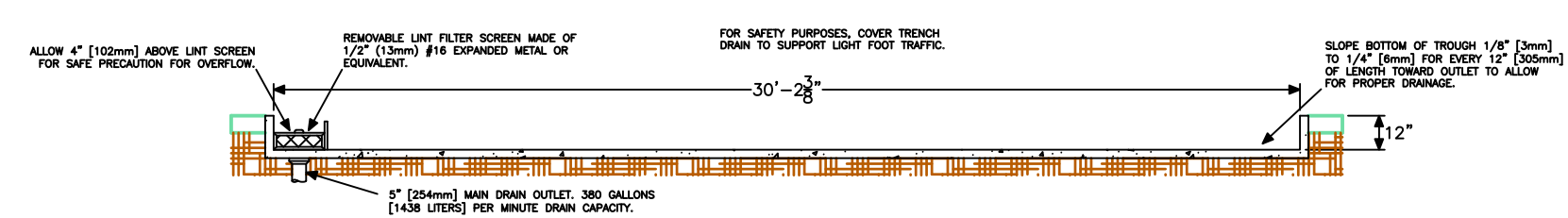
B1 BULKHEAD 1
WASHER BANK 1



B2 BULKHEAD 2
WASHER BANK 2



TD1 TROUGH DRAIN 1
WASHER BANK 1



TD2 TROUGH DRAIN 2
WASHER BANKS 2

H.V.A.C. NOTE
A LICENSED HEATING, VENTING AND AIR CONDITIONING (HVAC) FIRM SHOULD BE CONSULTED TO ENSURE A PROPER VENTING SYSTEMS IS INSTALLED. IMPROPERLY SIZED OR INSTALLED EXHAUST DUCTWORK CAN CREATE EXCESSIVE BACK PRESSURE WHICH RESULTS IN SLOW DRYING, INCREASE USE OF ENERGY, OVERHEATING OF DRYER AND CAN CREATE A POTENTIAL FIRE HAZARD.

MATERIALS REQUIRED (GAS)
(OBTAIN MATERIALS REQUIRED LOCALLY)
• FUSED DISCONNECT SWITCH OR CIRCUIT BREAKER ON 1 PHASE MODELS. CIRCUIT BREAKER ON 3 PHASE MODELS.
• ONE GAS SHUT-OFF VALVE FOR GAS SERVICE LINE TO EACH TUMBLE DRYER.

GAS NOTES
• OBTAIN SPECIFIC GAS SERVICE PIPE SIZE FROM GAS SUPPLIER. REFER TO INSTALLATION/MAINTENANCE MANUAL FOR GENERAL PIPE SIZE.
• SEDIMENT TRAPS, SHUT-OFF VALVES, AND SUPPLY PRESSURE TAPS MUST BE FURNISHED BY THE CUSTOMER FOR THE GAS SERVICE LINE TO EACH TUMBLE DRYER.
• IT IS IMPORTANT THAT EQUAL PRESSURE BE MAINTAINED AT ALL TUMBLE DRYER GAS CONNECTIONS. THIS CAN BE DONE BY INSTALLING A 1" (25.4mm) PIPE GAS LOOP TO MAINTAIN EQUAL PRESSURE AT ALL GAS CONNECTIONS.
• AN IN-LINE PRESSURE REGULATOR MAY BE REQUIRED IF THE LINE PRESSURE EXCEEDS 10.5 W.C.I. (26.1mbar, 2.61kPa) WITH ALL GAS APPLIANCES RUNNING.
• FOR PROPER OPERATION AT ALTITUDES ABOVE 2000' (610m), THE GAS BURNER ORIFICE SIZE MUST BE REDUCED TO ENSURE COMPLETE COMBUSTION.
• REFER TO INSTALLATION/MAINTENANCE MANUAL FOR COMPLETE INSTALLATION PROCEDURES AND GAS REQUIREMENT INFORMATION.

EXHAUST NOTES
• WHENEVER POSSIBLE, INSTALL TUMBLE DRYERS ALONG AN OUTSIDE WALL WHERE DUCT LENGTH CAN BE KEPT TO A MINIMUM, AND MAKE-UP AIR CAN BE EASILY ACCESSED. CONSTRUCTION MUST NOT BLOCK THE AIRFLOW AT THE REAR OF THE TUMBLE DRYER. DOING SO WOULD PREVENT ADEQUATE AIR SUPPLY TO THE TUMBLE DRYER COMBUSTION CHAMBER.
• MAKE-UP AIR OPENINGS IN ROOMS CONTAINING TUMBLE DRYERS AND/OR GAS FIRED HOT WATER HEATERS OR OTHER GRAVITY VENTED APPLIANCES MUST BE INCREASED SUFFICIENTLY TO PREVENT DOWNDRAFTS IN ANY VENTS WHEN ALL TUMBLE DRYERS ARE IN OPERATION.
• DO NOT LOCATE GRAVITY VENTED APPLIANCES BETWEEN TUMBLE DRYERS AND MAKE-UP AIR OPENINGS. IF IT IS NECESSARY TO DUCT MAKE-UP AIR TO TUMBLE DRYERS, INCREASE AREA OF DUCT WORK BY 25% TO COMPENSATE FOR RESTRICTIONS IN AIR MOVEMENT.
• FOR MAXIMUM EFFICIENCY AND MINIMUM LINT ACCUMULATION, TUMBLE DRYER AIR MUST BE EXHAUSTED TO THE OUTDOORS BY THE SHORTEST POSSIBLE ROUTE.
• PROPER SIZED EXHAUST DUCTS ARE ESSENTIAL FOR PROPER OPERATION. ALL ELBOWS SHOULD BE SWEEP TYPE. EXHAUST DUCTS MUST BE ASSEMBLED SO THE INTERIOR SURFACES ARE SMOOTH, SO THE JOINTS DO NOT PERMIT THE ACCUMULATION OF LINT.
• THE MAXIMUM ALLOWABLE LENGTH VENTING IS 14' (4.3m) AND TWO 90° ELBOWS OR EQUIVALENT. IF THE EQUIVALENT LENGTH OF DUCT WORK REQUIRED FOR AN INSTALLATION EXCEEDS THE MAXIMUM ALLOWABLE LENGTH, THE DIAMETER OF A ROUND DUCT MUST BE INCREASE BY 10% FOR EACH ADDITIONAL 20' (6.1m). CROSS SECTION AREA OF A RECTANGULAR DUCT MUST BE INCREASED BY 20% FOR EACH ADDITIONAL 20' (6.1m).

DRYER ENCLOSURE NOTE
IT IS GENERALLY DESIRABLE TO ENCLOSE THE TUMBLE DRYERS TO SEGREGATE THE MAKE-UP AIR SUPPLY, ESPECIALLY IF THE LAUNDRY ROOM IS AIR CONDITIONED OR HAS SOME SORT OF ENVIRONMENTAL CONTROL. TUMBLE DRYER ENCLOSURES PROVIDE (2) SIGNIFICANT BENEFITS:
• THE TUMBLE DRYERS DO NOT USE CONDITIONED ROOM AIR FOR COMBUSTION MAKE-UP AIR. THIS MAKES OPERATING BOTH THE ENVIRONMENTAL SYSTEM AND THE TUMBLE DRYERS LESS EXPENSIVE BECAUSE AIR THAT IS COOLED TO 75°F (24°C) IS NOT TAKEN FROM THE ROOM AND REHEATED TO 160°-180°F (71-82°C).
• HEAT EMISSIONS FROM THE TUMBLE DRYERS ARE REDUCED UP TO 80%. EACH EXPOSED FACE WILL EMIT 2% OF THE RATED BTU INPUT. IF A TUMBLE DRYER IS NOT ENCLOSED, THERE ARE FIVE FACES EXPOSED, SO THE HEAT EMITTED IS 5 x 0.02 x RATED BTU INPUT, OR 10%. IF ENCLOSED, ONLY ONE FACE IS EXPOSED.

ELECTRICAL NOTES
• ELECTRICAL CONNECTIONS MUST BE MADE BY A QUALIFIED ELECTRICIAN USING DATA ON A SERIAL PLATE, INSTALLATION MANUALS AND WIRING DIAGRAMS PROVIDED WITH MACHINE AND ACCORDING TO LOCAL CODES.
• INSTALL A CIRCUIT BREAKER AS CLOSE TO THE TUMBLE DRYER AS POSSIBLE. IF MORE THAN ONE TUMBLE DRYER IS BEING INSTALLED, A CIRCUIT BREAKER MUST BE PROVIDED FOR EACH.
• CONNECT MACHINE TO AN INDIVIDUAL BRANCH CIRCUIT NOT SHARED WITH LIGHTING OR OTHER EQUIPMENT.
• FOR 3 PHASE MACHINES ONLY - DO NOT USE FUSES TO AVOID THE POSSIBILITY OF "SINGLE PHASING" AND CAUSING PREMATURE FAILURE OF THE MOTORS.
• THE TUMBLE DRYER MUST BE GROUNDED. THE TUMBLE DRYER MUST BE CONNECTED TO A GROUNDED METAL, PERMANENT WIRING SYSTEM; OR AN EQUIPMENT GROUNDING CONDUCTOR MUST BE RUN WITH THE CIRCUIT CONDUCTORS AND CONNECTED TO APPROPRIATE GROUND LOCATION.
FOR T30 AND T45 TUMBLE DRYERS ONLY:
• ALL GAS AND STEAM TUMBLE DRYERS REQUIRE A SINGLE SERVICE CONNECTION TO TB1 OF THE UPPER UNIT JUNCTION BOX ONLY. THE SERIAL PLATE REFLECTS CURRENT DRAW, BREAKER/FUSE SIZE AND CONDUCTOR AMPERAGE REQUIRED FOR THE ENTIRE MACHINE.
• ALL ELECTRIC TUMBLE DRYERS REQUIRE SEPARATE SERVICE CONNECTIONS FOR UPPER AND LOWER UNIT. SERIAL PLATE RATINGS REFLECT CURRENT DRAW, BREAKER/FUSE SIZE AND CONDUCTOR AMPERAGE REQUIRED PER UNIT.

FOUNDATION REQUIREMENTS
• A MINIMUM 3500 PSI (REFER TO RATING PER SUPPLIER) REINFORCED CONCRETE SET ON A PREPARED BED IS REQUIRED FOR ALL NEW MACHINE INSTALLATIONS.
• DO NOT MOUNT ON METAL BASE FRAMES, WOODEN FLOORS, TILE FLOORS, ELEVATED FLOOR LEVELS, OR OVER BASEMENTS OR CRAWL SPACES BECAUSE OF THE HIGH EXTRACT SPEED AND THE G-FORCES EXERTED. FOR 80 POUND MODELS AND LARGER, DO NOT MOUNT ON METAL BASE FRAMERS.
• FOR NEW FOUNDATIONS A MOUNTING BOLT TEMPLATE OR AN ELEVATED METAL BASE FRAME IS AVAILABLE AT EXTRA COST. FOR ALL INSTALLATIONS A CONCRETE HARDWARE KIT IS AVAILABLE AT EXTRA COST.
• THE MACHINE MUST BE ANCHORED TO A SMOOTH LEVEL SURFACE SO THAT THE ENTIRE BASE OF THE MACHINE IS SUPPORTED AND RESTS ON THE MOUNTING SURFACE.
• IMPORTANT: DO NOT PERMANENTLY SUPPORT THE MACHINE ON ONLY FOUR POINTS WITH SPACERS. GROUTING IS REQUIRED AND SPACERS MUST BE REMOVED.
• DO NOT ISOLATE THE PAD. THIS TYPE OF INSTALLATION IS NOT RECOMMENDED. INSTALLER MUST CONSULT A STRUCTURAL ENGINEER FOR CONCRETE SPECIFICATIONS AND REQUIREMENTS FOR INSTALLATIONS THAT WILL NOT BE TIED INTO ADJACENT FOUNDATIONS.
• THOROUGHNESS OF DETAIL MUST BE STRESSED WITH ALL FOUNDATION WORK TO ENSURE A STABLE UNIT INSTALLATION, ELIMINATING POSSIBILITIES OF EXCESSIVE VIBRATION DURING EXTRACT.
• REFER TO INSTALLATION MANUAL FOR COMPLETE INSTALLATION PROCEDURES AND FOUNDATION REQUIREMENTS.

WATER CONNECTION NOTES
• THE MAXIMUM WATER INLET TEMPERATURE FOR VENDED MODELS IS 125°F (51°C) AND THE RECOMMENDED MAXIMUM WATER INLET TEMPERATURE FOR ON-PREMISES MODELS IS 150°F (66°C) (STANDARD MODELS) OR 140°F (60°C) (WRAS APPROVED MODELS).
• CONNECTIONS SHOULD BE SUPPLIED BY A HOT AND A COLD WATER LINES OF AT LEAST THE SIZES SHOWN IN THE INSTALLATION MANUAL. INSTALLATION OF ADDITIONAL MACHINES WILL REQUIRE PROPORTIONATELY LARGER WATER LINES.
• IF ADDITIONAL HOSE LENGTHS ARE NEEDED OR USING HOSES OTHER THAN THOSE SUPPLIED BY MANUFACTURER, FLEXIBLE HOSES WITH SCREEN FILTERS ARE REQUIRED.
• SUITABLE AIR CUSHIONS (RISERS) SHOULD BE INSTALLED IN SUPPLY LINES TO PREVENT "HAMMERING".
• ALLIANCE LAUNDRY SYSTEMS, LLC RANGES OF FRONT LOADING COMMERCIAL CLOTHES WASHING MACHINES HAVE SOLENOID VALVES AT THE INLETS. THE WATER SUPPLY TO THE WASHING MACHINES IS SUPPLIED WITH AN AB AIR GAP BETWEEN THE SOAP TRAY AND THE DRUM. MINIMUM AND MAXIMUM WORKING PRESSURE 1.4 bar AND 8.3 bar. THE MACHINES ARE SUPPLIED WITH APPROVED INLET HOSES WITH A MAXIMUM INLET DIMENSION OF 0.50" (15mm) (ID).
• NOTE: THE MACHINE HAS A FLUID CATEGORY 5 BACKFLOW PREVENTION DEVICE BUILT IN BETWEEN THE SOAP TRAY AND DRUM.
• NOTE: NO MORE THAN TWO WATER CONNECTION HOSES SHOULD BE USED ON WRAS-APPROVED MODELS.
• REFER TO INSTALLATION MANUAL FOR COMPLETE INSTALLATION PROCEDURES AND WATER CONNECTION REQUIREMENTS.

DRAIN CONNECTION NOTES
• IMPORTANT: MACHINES MUST BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
• ALL DRAIN SYSTEMS MUST BE VENTED TO PREVENT AIR LOCK AND TO PREVENT SIPHONING.
• USE THE SUPPLIED BLACK RUBBER ADAPTER AND CLAMPS TO TRANSITION FROM THE MACHINE DRAIN OUTLET TO THE 2" (51mm) SCHEDULE 40 PVC PLUMBING (20 AND 30 MODELS) AND THE 3" (76mm) SCHEDULE 40 PVC PLUMBING (40-100 MODELS).
• IF PROPER DRAIN SIZE IS NOT AVAILABLE OR PRACTICAL, A SURGE TANK IS REQUIRED. A SURGE TANK ALONG WITH A SUMP PUMP SHOULD BE USED WHEN GRAVITY DRAINAGE IS NOT POSSIBLE.
• INCREASING THE DRAIN HOSE LENGTH, INSTALLING ELBOWS, OR CAUSING BENDS WILL DECREASE DRAIN FLOW RATE AND INCREASE DRAIN TIMES, IMPAIRING MACHINE PERFORMANCE.
• REFER TO INSTALLATION MANUAL FOR COMPLETE INSTALLATION PROCEDURES AND DRAIN REQUIREMENTS.

ELECTRICAL NOTES
• IMPORTANT: ELECTRICAL RATINGS ARE SUBJECT TO CHANGE. REFER TO THE SERIAL DECAL FOR ELECTRICAL RATINGS INFORMATION SPECIFIC TO YOUR MACHINES.
• ELECTRICAL CONNECTIONS ARE MADE AT THE REAR OF THE MACHINE. THE MACHINE MUST BE CONNECTED TO THE PROPER ELECTRICAL SUPPLY SHOWN ON THE IDENTIFICATION PLATE ATTACHED TO THE REAR OF THE MACHINE, USING COPPER CONDUCTORS ONLY.
• MACHINES ARE EQUIPPED WITH AC INVERTER DRIVES REQUIRING A CLEAN POWER SUPPLY, FREE FROM VOLTAGE SPIKES AND SURGES. USE VOLTAGE MONITOR TO CHECK INCOMING POWER.
• SINGLE-PHASE MACHINES REQUIRE A SINGLE-PHASE INVERSE-TIME CIRCUIT BREAKER. THREE-PHASE MACHINES AND V-SPEED MACHINES REQUIRE A SEPARATE, THREE-PHASE INVERSE-TIME CIRCUIT BREAKER TO PREVENT DAMAGE TO THE MOTOR BY DISCONNECTING ALL LEGS IF ONE SHOULD BE LOST ACCIDENTALLY. REFER TO INSTALLATION MANUAL FOR MODEL SPECIFIC CIRCUIT BREAKER REQUIREMENTS.
• IMPORTANT: ALL QUICK DISCONNECTS SHOULD COMPLY WITH THE SPECIFICATIONS. DO NOT USE FUSES INSTEAD OF CIRCUIT BREAKERS.
• IMPORTANT: CONNECTION MUST BE MADE BY A QUALIFIED ELECTRICIAN USING WIRING DIAGRAM PROVIDED WITH MACHINE, OR ACCORDING TO ACCEPTED EUROPEAN UNION STANDARDS.
• CONNECT MACHINE TO AN INDIVIDUAL BRANCH CIRCUIT NOT SHARED WITH LIGHTING OR OTHER EQUIPMENT.
• FOR PERSONAL SAFETY AND PROPER OPERATION, THE MACHINE MUST BE GROUNDED IN ACCORDANCE WITH STATE AND LOCAL CODES. IF SUCH CODES ARE NOT AVAILABLE, GROUNDING MUST CONFORM TO THE NATIONAL ELECTRICAL CODE, ARTICLE 250 (CURRENT EDITION). THE GROUND CONNECTION MUST BE MADE TO A PROVEN EARTH GROUND, NOT TO CONDUIT OR WATER PIPES.
• ELECTRICALLY HEATED MACHINES DO NOT REQUIRE DUAL POWER SOURCES. DO NOT CONNECT CUSTOMER POWER OR CUSTOMER LOAD TO THE INTERNAL LOAD DISTRIBUTION TERMINAL BLOCK. REFER TO THE MACHINE ELECTRICAL SCHEMATIC FOR DETAILS.

PROJECT:
30441 EUCLID AVE

PROJECT NUMBER:
LDR-4412

AREA:
1625

EQUIPMENT DISTRIBUTOR:
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DRAWN BY:
LAD

TITLE OF SHEET:
**BULKHEAD
DETAILS & NOTES**

SHEET NUMBER:
SHEET 5 OF 5

DATE:
8-Mar-23