



White Salmon Planning Commission Meeting A G E N D A

August 14, 2024 – 5:30 PM

119 NE Church Ave and Zoom Teleconference

Meeting ID: 849 2977 8928

Call in Number: 1 (253) 215-8782 US (Tacoma)

Call to Order/Roll Call

Approval of Minutes

- [1.](#) Meeting Minutes – January 10, 2024
- [2.](#) Meeting Minutes – February 28, 2024
- [3.](#) Meeting Minutes – March 27, 2024
- [4.](#) Meeting Minutes – April 24, 2024
- [5.](#) Meeting Minutes – May 8, 2024

Public Hearing

- [6.](#) Viewshed Overlay Ordinance
A public hearing, with a virtual/telephonic attendance option, will be held during the Planning Commission meeting on Wednesday, August 14, at 5:30 PM or as soon thereafter as possible. Any individual who wishes to testify in person or via teleconference will be allowed to do so. The hearing will be located in the City Council Chambers, 119 NE Church.
 - a. Presentation
 - b. Public Testimony
 - c. Discussion
 - d. Action

Discussion Items

- [7.](#) Recommendations to Update Development and Design Standard for Commercial Zones
8. Feedback From Community Survey - Pre-approved Plans and Manufactured Housing

Adjournment



File Attachments for Item:

1. Meeting Minutes – January 10, 2024



DRAFT

**CITY OF WHITE SALMON
Planning Commission Workshop - Wednesday, January 10, 2024**

COMMISSION AND ADMINISTRATIVE PERSONNEL PRESENT

Commission Members:

Greg Hohensee, Chair
Michael Morneault

Staff:

Erika Castro Guzman, City Project Coordinator
Troy Rayburn, City Administrator
Kelly Hickok, Legal Counsel

Excused:

Seth Gilchrist
Tom Stevenson
Ross Henry

CALL TO ORDER/ ROLL CALL

Chairman Greg Hohensee called the meeting to order at 5:30 pm. A quorum of planning commissioner members was **not** present. There were three audience members in attendance in person and via teleconference.

PRESENTATION

1. **Amendments to WSMC 2.20 Boards, Committees, and Commissions and WSMC 2.21 Hearing Examiner**

Troy Rayburn, City Administrator, presented an overview of the proposed amendments to the White Salmon Municipal Code, as detailed in the December 20th Council Report. The proposed changes aim to update the roles and responsibilities of both the Planning Commission and the Hearing Examiner to better address current needs and conditions.

Kelly Hickok, Legal Counsel, explained that recent population changes have prompted the need to adjust planning duties. These updates are designed to enhance the efficiency and effectiveness of the planning process. Specifically, the changes are intended to improve record development for appeals, ensuring thorough and accurate documentation.

Role Adjustments

Planning Commission: The amendments will remove the Planning Commission's authority to make final decisions on conditional use permits, variances, and home occupation permits. Instead, the Planning Commission will focus on holding hearings and making recommendations on subdivisions, comprehensive plan amendments, and zoning changes.

Hearing Examiner: The quasi-judicial responsibilities will be transferred to the Hearing Examiner. This shift aims to improve record-keeping and the appearance of fairness, while allowing the Planning Commission to concentrate on its policy advisory role.

No decisions were made during this workshop; it was conducted for informational purposes only. A recording of the session will be made available to Planning Commissioners who were unable to attend.

ADJOURNMENT

The meeting was adjourned at 5:38 pm.

Greg Hohensee, Chairman

Erika Castro Guzman, City Project Coordinator

File Attachments for Item:

2. Meeting Minutes – February 28, 2024



DRAFT

CITY OF WHITE SALMON
Planning Commission Workshop - Wednesday, February 28, 2024

COMMISSION AND ADMINISTRATIVE PERSONNEL PRESENT

Commission Members:

Greg Hohensee, Chair
Michael Morneault
Tom Stevenson
Ross Henry

Staff:

Stephanie Porter, City Clerk-Treasurer
Troy Rayburn, City Administrator
Kelly Hickok, Legal Counsel

Excused:

Seth Gilchrist

CALL TO ORDER/ ROLL CALL

Chairman Greg Hohensee called the meeting to order at 5:30 pm. A quorum of planning commissioner members was present. There was an unrecorded number of audience members in attendance in person and via teleconference.

PUBLIC COMMENT

There was no public comment.

DISCUSSION ITEMS

1. Planning Commission Bi-Laws

Troy Rayburn, City Administrator, opened the work session by outlining its purpose: to review and update the Planning Commission bylaws in response to recent changes. He introduced Kelly Hickok, Legal Counsel, who would present findings on rules and procedures adopted by other cities.

Chair Greg Hohensee proposed beginning with an overview of the recent changes to the municipal code affecting the Planning Commission's rules. He emphasized that the bylaws should be considered in the context of the Commission's transition from a quasi-judicial to a legislative role.

The group discussed the necessity of establishing bylaws, noting that the Planning Commission currently operates with minimal written rules. Bylaws from other cities typically cover important issues such as attendance, conflicts of interest, ex parte communications, and procedural guidelines.

The Planning Commission generally agreed on the following key topics to potentially address in bylaws include:

- Legislative rules of procedure

- Attendance requirements and excused absences
- Defining and dealing with conflicts of interest and ex parte communications
- Process for amending bylaws
- Code of conduct and respect for staff, public, etc.

2. **Planning Commission Roles and Responsibilities**

Kelly Hickok, Legal Counsel, summarized the updates to Title 19, highlighting several key changes. Notably, the new project permit application framework table (WSMC 19.10.40) designates the Hearings Examiner to make final determinations on zoning variances and conditional use permits under Type 2 reviews. Additional changes include the elimination of undefined permit types, the inclusion of reasonable use variances in Type IB decisions, and the reclassification of short plats from Type 2 to Type IB.

Furthermore, it was noted that the Planning Commission will continue to make final decisions on Type 2 matters, such as site and building plan reviews, which remain appealable to the City Council. Meanwhile, Type IB decisions, which were previously made by the Planning Administrator and appealed to the Planning Commission, are now handled by the Hearings Examiner, with appeals directed to Superior Court.

The transition to a Hearings Examiner shifts the Planning Commission away from a quasi-judicial role, a move adopted by many cities to minimize liability and procedural errors. The Hearings Examiner, with expertise in land use law, is positioned to make impartial decisions, allowing the Planning Commission to concentrate on policy development. This change also meets state requirements for a Board of Adjustment in cities with populations over 2,500.

Commissioners raised concerns about the Hearings Examiner process potentially being less accessible to the public compared to the Planning Commission's hearings. Kelly Hickok, Legal Counsel, agreed to investigate whether Hearings Examiner proceedings are conducted in person or via Zoom.

There was interest in improving communication between the Planning Commission and City Council under the new structure, potentially having a Council member attend Planning Commission meetings and/or a Commissioner provide updates to Council. Having a permanent Planning Director would help facilitate this relationship.

The next steps were outlined as follows: Kelly will compile a draft of the bylaws, incorporating best practices from other cities, by March 6. Commissioners will review the draft and provide feedback to staff by March 20. A follow-up work session is scheduled for March 27 to discuss the draft, with the aim of finalizing the bylaws recommendation for presentation to the City Council for codification.

ADJOURNMENT

The meeting was adjourned at 6:45 pm.

Greg Hohensee, Chairman

Erika Castro Guzman, City Project Coordinator

File Attachments for Item:

3. Meeting Minutes – March 27, 2024



DRAFT

**CITY OF WHITE SALMON
Planning Commission Meeting - Wednesday, March 27, 2024**

COMMISSION AND ADMINISTRATIVE PERSONNEL PRESENT

Commission Members:

Greg Hohensee, Chair
Michael Morneault
Seth Gilchrist
Tom Stevenson

Staff:

Erika Castro Guzman, City Project Coordinator
Troy Rayburn, City Administrator
Kelly Hickok, Legal Counsel

Excused:

Ross Henry

CALL TO ORDER/ ROLL CALL

Chairman Greg Hohensee called the meeting to order at 5:30 pm. A quorum of planning commissioner members was present. There was an unrecorded number of audience members in attendance in person and via teleconference.

PUBLIC COMMENT

There was no public comment.

ACTION ITEM

1. Planning Commission By-laws and Rules of Procedure

Kelly Hickok, Legal Counsel, presented the updated draft of the bylaws, reflecting the feedback from commissioners received during the February 28 meeting. Key discussion points included:

Meeting Schedule:

- Agreed to hold regular meetings on the 2nd Wednesday of each month at 5:30 pm to avoid conflicts with City Council meetings
- Language to be updated to: "Regular meetings shall be held on the second Wednesday of each month at 5:30 pm"

Agenda Distribution:

- Agenda packets to be distributed 5 days (the Friday) prior to the meeting
- Language to be updated to: "The agenda and matters to be considered shall be distributed at least five (5) days prior to the meeting date"

Public Comment:

- Each speaker to be limited to three minutes
- Chair may extend time at their discretion based on meeting attendance

- Language to be updated to: "Each member of the public is limited to three (3) minutes for comment. The chair may extend this time at their discretion."

Commissioner Attendance:

- Commissioners are expected to attend regular and special meetings in-person
- Remote attendance allowed with majority approval of commissioners present
- In-person attendance required for public hearings unless excused by majority vote
- Language to be added differentiating attendance rules for regular meetings vs public hearings

Quasi-Judicial Hearings:

- Rules of procedure for quasi-judicial hearings to remain in bylaws
- Planning Commission still has quasi-judicial role for certain matters
- Retaining rules allows flexibility if Commission role changes in the future

Bylaws Amendments:

- Language to be updated to clarify bylaws amendments require approval by City Council

**Motion made by Seth Gilchrist, Seconded by Michael Morneault
Motion to forward the revised Planning Commission bylaws, incorporating the edits discussed tonight, to the City Council for their consideration.**

No further discussion.

MOTION CARRIES 4–0.

Stevenson – Aye, Gilchrist – Aye, Morneault– Aye, Hohensee – Aye.

2. **Planning Commissioner Resignation**

Planning Commissioner Seth Gilchrist announced he has submitted his resignation from the Planning Commission. Commissioners and staff thanked him for his thoughtful service over the past four years, especially on key legislation and the comprehensive plan update.

ADJOURNMENT

The meeting was adjourned at 6:46 pm.

Greg Hohensee, Chairman

Erika Castro Guzman, City Project Coordinator

File Attachments for Item:

4. Meeting Minutes – April 24, 2024



DRAFT

CITY OF WHITE SALMON
Planning Commission Meeting - Wednesday, April 24, 2024

COMMISSION AND ADMINISTRATIVE PERSONNEL PRESENT

Commission Members:

Greg Hohensee, Chair
Michael Morneault
Ross Henry
Tom Stevenson
Erika Price

Staff:

Erika Castro Guzman, City Project Coordinator
Troy Rayburn, City Administrator
Alex Capron, Consultant Planner

CALL TO ORDER/ ROLL CALL

Chairman Greg Hohensee called the meeting to order at 5:30 pm. A quorum of planning commissioner members was present. There was an unrecorded number of audience members in attendance in person and via teleconference.

The Planning Commission welcomed its newest member, Erika Price. Commissioner Price introduced herself as a resident of White Salmon for the past two years, having lived in the Gorge since 2018, including Hood River, where she served as a Planning Commissioner. She has a background in architecture and works for a Native American-owned engineering firm in Portland, specializing in land planning, architecture, and engineering. Her experience includes collaborating with the US Army Corps on tribal fishing and housing issues along the Columbia River. She expressed her enthusiasm for joining the White Salmon community.

DISCUSSION ITEM

1. **Heritage Tree Ordinance Update**

Presentation

Alex Capron, Consultant Planner, provided an overview of the Heritage Tree Ordinance update. He noted that the existing ordinance, adopted in 2012, has been perceived as inflexible in accommodating development. In 2019, the city engaged a consultant to develop a Community Forestry Management Plan. The aim of the current update is to balance development needs with effective tree protection.

Community outreach efforts included an online survey, which garnered 128 responses and indicated strong support for protecting larger, mature trees. Planner Capron also highlighted his discussions with the White Salmon Tree Board to gather additional feedback.

Discussion

The Planning Commission discussed several key changes in the draft ordinance. The update introduces an "Exceptional Trees" category, which is determined based on specific species and size thresholds. It also allows greater flexibility for development footprints, adjusting based on

the size of the lot or project. Additionally, the draft removes the requirement for perpetual tree protection easements and incorporates tree replacement ratios.

Planning Commission members raised several concerns regarding the proposed amendments. They noted the complexity of the changes, including a 3.5-page tree table, and questioned the enforceability of the ordinance given the city's limited staff resources. There were also concerns about the potential impacts on lower-income homeowners and the need to address wildfire risk and create defensible space. Commissioners suggested considering incentives rather than solely relying on punitive regulations and emphasized the importance of simplicity and clarity in the ordinance.

The discussion included White Salmon's location within the Columbia River Gorge National Scenic Area and the extensive surrounding forested lands.

The Planning Commission requested several revisions for the next draft. They would like a simpler ordinance that focuses on protecting native trees while allowing for development flexibility. They also suggested considering a pause in the adoption timeline to allow for additional public input. Additionally, they emphasized the need to involve fire officials to address wildfire concerns and explore potential incentives alongside regulations.

The Planning Commission also explored methods to enhance communication of their recommendations to the City Council, including the possibility of having a commissioner attend council meetings. Troy Rayburn, City Administrator, mentioned that the city is actively recruiting for a new City Planner to help manage the workload.

The meeting concluded with a plan for the consultant planners to integrate the Planning Commission's feedback into a revised draft of the ordinance.

ADJOURNMENT

The meeting was adjourned at 6:46 pm.

Greg Hohensee, Chairman

Erika Castro Guzman, City Project Coordinator

File Attachments for Item:

5. Meeting Minutes – May 8, 2024



DRAFT

**CITY OF WHITE SALMON
Planning Commission Meeting - Wednesday, May 8, 2024**

COMMISSION AND ADMINISTRATIVE PERSONNEL PRESENT

Commission Members:

Greg Hohensee, Chair
Michael Morneault
Tom Stevenson
Ross Henry

Staff:

Erika Castro Guzman, Project Coordinator
Kelly Hickok, Legal Counsel

Planning Consultants:

Michael Mehaffy, Consultant Housing Planner

Excused:

Erika Price

CALL TO ORDER/ ROLL CALL

Chairman Greg Hohensee called the meeting to order at 5:33 pm. A quorum of planning commissioner members was present. There were eight audience members in attendance in person and via teleconference.

APPROVAL OF MEETING MINUTES

1. **Meeting Minutes – November 8, 2023**
2. **Meeting Minutes – November 14, 2023**

**Moved by Michael Morneault. Seconded by Tom Stevenson.
Motion to approve minutes of November 8 and November 14, 2023, as written.**

**MOTION CARRIED 4–0.
Morneault– Aye, Henry – Aye, Stevenson – Aye, Hohensee – Aye.**

PUBLIC HEARING

3. **Ordinance 2024-XX-XXXX Amending Title 17 By Revising Chapters 17.23, 17.24, 17.28, 17.32, 17.36, 17.40, 17.48, 17.50, 17.64, 17.68, And 17.72**

Planning Commission public hearing to review and discuss proposed updates to the White Salmon zoning ordinances.

Chair Greg Hohensee opened the public hearing discussion at 5:35 PM.

A. PRESENTATION

Dr. Michael Mahaffey, Planning Consultant, provided an overview of the proposed zoning code changes, which are designed to enhance housing diversity and affordability in White Salmon. He explained that these changes are part of a multi-year effort to update the city's comprehensive plan and zoning code. Key modifications include eliminating minimum building size requirements, expanding minimum lot sizes while reducing setback

requirements, lowering off-street parking requirements, and clarifying the regulations for accessory dwelling units.

B. PUBLIC TESTEMONY

Chair Greg Hohensee opened the public comment portion of the hearing at 5:51 pm.

Mark VanderZanden, Outside City Resident

Mark Vanders, founder of Sound Architecture, introduced himself and his firm’s extensive work in the Columbia River Gorge. He emphasized the importance of middle housing projects in creating affordable housing through increased density. Currently, Vanders is working on a housing and commercial project on E Jewett Blvd, which could be significantly impacted by upcoming changes to the middle housing code. He expressed concern that these changes might disrupt his project, which has been developed under the existing code. Vanders suggested forming a group of developers to discuss and adapt to the updates, and requested a slower pace in implementing changes to allow his project to proceed as planned. He also offered his expertise to help refine the middle housing code to better meet the town’s needs.

Peter Wright, Inside City Resident

Peter Wright, White Salmon Resident, addressed Mark VanderZanden’s comment, highlighting the vibrant discussions taking place at the office hour sessions hosted by Housing Consultant Dr. Mahaffey. He encouraged the Planning Commission to attend these sessions, where a wide range of participants, including small builders, architects, and former planners, have engaged in meaningful discussions about public perspectives and challenges. Wright noted that while these discussions haven’t fully translated into the Commission’s meetings, they have been valuable. He mentioned Chair Hohensee’s idea of exploring work credits for street parking when driveways are not installed as a topic for future consideration. Wright acknowledged the difficulty of navigating incremental changes in the zoning process and suggested that a more cohesive approach would be beneficial.

Laura Cheney, Inside City Resident

Laura Channy, White Salmon Resident, expressed concerns from a recent meeting with Housing Consultant Dr. Mahaffey. She noted that several important questions about alley setbacks, density, and water system capacity remained unanswered. She recalled community concerns during the Walker House development discussions, particularly regarding noise and parking issues. Channy emphasized that increased density would exacerbate existing parking problems, highlighting that parking is already a significant issue in the city.

Rich Anderson, Outside City Resident

Rich Anderson, a long-time Underwood resident and part-time developer in Portland, expressed concerns about proposed building regulation changes. He stated that he is rushing to submit his application before the new rules take effect, fearing that the proposed building height limits from Jewett would derail his project, causing delays and increased costs. Anderson argues against size limits on units and suggests focusing on density instead. He believes the current 1,500 square foot cap for townhouses may be too restrictive and recommends allowing larger units if they meet density requirements. He stated that his project will include adequate parking per current code, and he believed adjusting regulations to support larger units while maintaining density could better manage costs and address housing needs in the commercial zone.

Chair Greg Hohensee closed the public comment portion of the hearing at 6:03 pm.

C. DISCUSSION

The Planning Commission reviewed the proposed changes in detail, with commissioners offering feedback and suggestions. Key topics of discussion included concerns about restricting office uses on commercial streets, debates over the proposed changes to building height limits on Jewett Street, adjustments to minimum lot sizes and setbacks for multi-family zones, and whether to maintain the current allowances for office uses in commercial areas.

Commercial Use Definition (WSMC 17.08.146)

Dr. Mahaffey proposed removing "office" from the definition of commercial use, allowing offices only on ground floors facing designated commercial streets. The goal is to activate these areas with more retail and restaurant options. Commissioners raised concerns that this change might be overly restrictive and could discourage office developments that attract employees who support local businesses. They cited successful office uses on Jewett Blvd as examples of how such developments can enhance the town's vibrancy. The commission did not reach a consensus on recommending this change and suggested revisiting it when developing a downtown commercial zone.

Building Height on South Side of Jewett Blvd (WSMC 17.28.080)

The proposal to limit building height on the south side of Jewett Blvd suggests reducing the height limit to 35 feet above grade starting 60 feet back from the Jewett Blvd frontage, intending to prevent excessively tall buildings from overshadowing the alley. Commissioners debated the potential unintended consequences of this change and expressed concerns that it might adversely affect a current applicant. There was also confusion about the exact implications of the proposal, and a preference was expressed for seeing it illustrated. The commission voted 3-1 against recommending this change at present, deciding instead to revisit it in conjunction with the future form-based code.

Minimum Lot Size for Duplexes (WSMC 17.28.040)

Dr. Mahaffey explained that the proposal to adjust the minimum lot size for duplexes corrects an error, aligning it with the requirements for townhouses. The revised minimum lot size for duplexes on separate lots should be 2,000 square feet each, rather than the previously stated 4,000 square feet. The commission had no objections to this clarifying change.

Rear Setbacks in R3 Zone (WSMC 17.32.040)

A 5-foot minimum rear setback was proposed for the R3 multifamily zone, addressing an omission from the previous code update. The commissioners amended this proposal to require the rear setback to match the setback of any adjacent lower-density zone. This adjustment aims to create a transition and prevent taller buildings from overshadowing neighboring properties.

Office Use Restriction on Commercial Streets

The issue of restricting office use on commercial streets was revisited, mirroring the discussion from the Commercial Use Definition topic. The Commission echoed their recommendation to retain the current regulations and not implement this change.

Residential Uses in Public Zone (WSMC 17.49.020)

The proposal to permit residential uses in the public zone near the school, contingent upon specific approval by the City Council, was discussed. Commissioners expressed concerns about potentially bypassing the hearings examiner process and felt that the existing conditional use

process was adequate for managing such applications. Consequently, the commission recommended maintaining the current regulations with no changes.

In summary, several proposed edits aim to facilitate the development of "missing middle" housing types, such as duplexes, multiplexes, and accessory dwelling units. However, concerns were raised about potential unintended consequences, including the risk of overly tall buildings adjacent to alleys and the possibility of excessively restricting office uses. There was also debate regarding the allowance of office uses on ground floors of commercial streets. The commission recommended simplifying the code language where possible to reduce confusion and ensure clarity.

D. ACTION

Motion

Moved by Ross Henry. Seconded by Tom Stevenson.

Motion to recommend the code changes as amended in the discussion. (Move forward with items 3, 4, 5 as amended and items 1, 2, 6, 7 removed)

Discussion

Commissioner Ross Henry emphasized the importance of recognizing potential unintended consequences as the city implements zoning changes. While he agreed with many of the proposed adjustments, he stressed the need for caution and thorough consideration of their potential impacts. He stated that these changes, made after significant effort and analysis, could affect various aspects of the community in unforeseen ways. For example, increasing density might improve housing availability but could also present new challenges.

Commissioner Henry highlighted the need for careful evaluation of how these changes would impact property values and overall community dynamics. He underscored the importance of responding to any emerging issues proactively and being prepared for potential repercussions. He urged that we remain vigilant and responsive to concerns as they arise.

MOTION CARRIED 4–0.

Henry – Aye, Stevenson – Aye, Morneault– Aye, Hohensee – Aye.

Chair Greg Hohensee closed the public hearing at 7:27 PM.

GENERAL DISCUSSION

Chair Greg Hohensee expressed his appreciation for everyone’s contributions. He acknowledged that, from his perspective and potentially shared by other commissioners, the recent code edits were significant. However, he suggested that the city should address broader issues during the form-based code phase, as making incremental changes now could lead to confusion.

Chair Hohensee proposed that the city planners integrate some of the restrictive aspects of the ordinance into the housing code update, rather than complicating the heritage tree code. He believed this approach would keep the heritage tree ordinance more straightforward and enforceable. He also noted that, in evaluating the impact, some exclusions for each zone seemed overly broad, diminishing the relevance of the heritage tree ordinance in areas like R2 and R3, where the zoning permits almost any type of construction.

Commissioner Tom Stevenson recommended a review of off-street parking regulations. He noted that while it might not be a major issue, it's worth examining these regulations further. The Commission acknowledge that a commenter had expressed concern about parking, suggesting that it's a relevant topic for consideration.

ADJOURNMENT

The meeting was adjourned at 7:30 pm.

Greg Hohensee, Chairman

Erika Castro Guzman, City Project Coordinator

File Attachments for Item:

6. Viewshed Overlay Ordinance

A public hearing, with a virtual/telephonic attendance option, will be held during the Planning Commission meeting on Wednesday, August 14, at 5:30 PM or as soon thereafter as possible. Any individual who wishes to testify in person or via teleconference will be allowed to do so. The hearing will be located in the City Council Chambers, 119 NE Church.



MEMORANDUM

Date: August 14, 2024

Subject: Context for the consideration of Viewshed Overlay Ordinance 2024-08-1169: Protection of Publicly Accessible Scenic Views

Introduction

This memorandum aims to provide context for the protection of publicly accessible scenic views in the City of White Salmon, as supported by findings in *the 2021 City of White Salmon Comprehensive Plan (2021)*. This ordinance is being proposed based on the belief supported by input from community surveys, in addition to the adopted plan previously referenced, that scenic views are integral to the identity, economy, and quality of life in White Salmon, and their preservation is essential for maintaining the community's character and values.

1. Vision and Community Values

The comprehensive plan emphasizes the importance of maintaining the small-town character, natural beauty, and scenic views that are central to White Salmon's identity. Scenic views, particularly those of the Columbia River and Mt. Hood, are deeply valued by the community and contribute to the city's unique sense of place. Rheingarten Park is the central public greenspace within the city's parks and trails system that provides access to Mt. Hood views. Protecting that view aligns with the community's vision of a "thriving village" that balances growth with the preservation of its natural environment.

2. Economic Development and Tourism

Tourism and recreation are key components of White Salmon's local economy, as highlighted in the comprehensive plan. Scenic views are a significant attraction for visitors, enhancing the appeal of the area for outdoor activities such as hiking, mountain biking, and sightseeing, as well as public social gatherings; specific to the latter, the only outdoor public space available for reserving for gatherings is indeed in the affected area.

3. Environmental Stewardship and Sustainability

The comprehensive plan outlines a commitment to sustainable growth that respects the natural environment. Protecting scenic views from private development is consistent with these sustainability goals by preventing urban sprawl and maintaining the integrity of natural landscapes. This approach preserves the visual appeal of the environment but also supports future development in the affected area that is in keeping with goals and objectives related to housing, both in the Comprehensive Plan as well as the 2023 Housing Action Plan.



4. Quality of Life and Public Recreation

Access to parks, green spaces, and natural views is crucial for the well-being of White Salmon's residents. Scenic views contribute significantly to the aesthetic and recreational value of these public spaces, providing daily opportunities for residents to connect with nature. Safeguarding these views ensures that future generations can continue to enjoy the health and aesthetic benefits of the natural environment.

5. Long-term Planning and Community Character

The comprehensive plan stresses the importance of thoughtful, long-term planning to manage growth while preserving the community's character. Allowing private development to obstruct scenic views could undermine the very qualities that make White Salmon a desirable place to live. By protecting publicly accessible views in a reasonable way, the city can guide development in a way that enhances, rather than detracts from, the community's unique character.

Conclusion

In conclusion, the protection of publicly accessible scenic views is not only consistent with the goals and values outlined in the *2021 City of White Salmon Comprehensive Plan* but also believed to be essential for the sustained well-being and prosperity of the community. This viewshed ordinance is being proposed by the Administration so that these considerations may be considered for determining how decisions regarding land use and development in areas with established vital scenic resources are handled. It is the Administration's view that the points summarized above and based on findings within the existing *Comprehensive Plan* build a case for why scenic views should be protected as a public resource, ensuring they remain a defining and cherished feature of White Salmon for future generations.

**CITY OF WHITE SALMON
ORDINANCE NO. 2024-**

**AN ORDINANCE AMENDING TITLE 17 OF THE WHITE SALMON MUNICIPAL CODE BY
ADDING CHAPTER 17.77 TO UPDATE PROVISIONS OF THE ZONING CODE.**

WHEREAS, the City of White Salmon (“City”) acknowledges the need to preserve the scenic views and aesthetic character of the city, in particular scenic views of Mount Hood from Rhinegarten Park; and

WHEREAS, the City recognizes the economic and cultural value of these scenic views; and

WHEREAS, the City recognizes the need for viewshed regulations to preserve these views; and

WHEREAS, the City also recognizes the need to balance protection of scenic views with development needs in the community; and

WHEREAS, the City has conducted hearings and solicited public testimony, sufficient to establish regulations in accordance with RCW 36.70A;

**NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF WHITE SALMON DOES
ORDAIN AS FOLLOWS:**

That the following amendments be made to White Salmon Municipal Code Title 17:

SECTION 1. Amendment to Title 17, Chapter 17.77

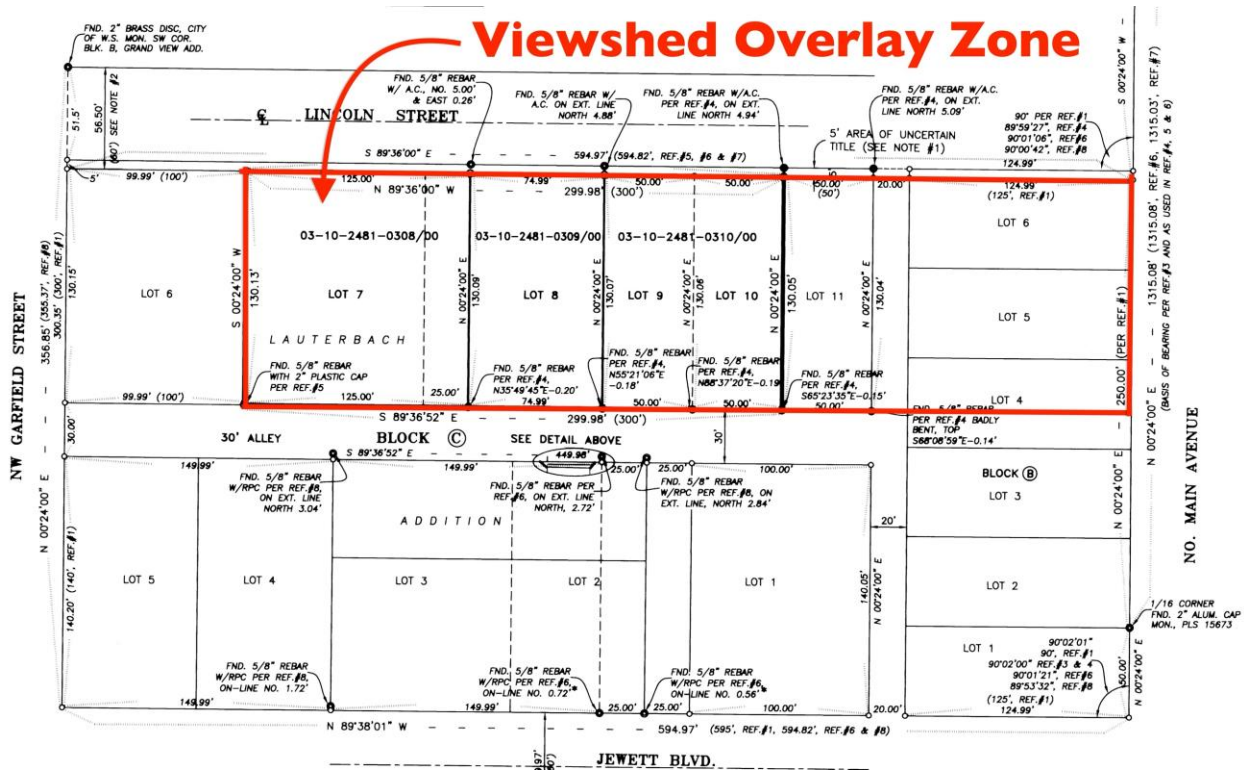
17.77 Viewshed Overlay

17.77.010 - Purpose

The purpose of this Viewshed Overlay Ordinance is to preserve the scenic views and aesthetic character of the City of White Salmon by regulating building heights within a designated overlay area. The ordinance aims to balance development needs with the community’s desire to protect significant views.

17.77.020 - Overlay Area Description

The Viewshed Overlay Area is hereby established and defined as a rectangle extending from the right of way line at the corner of North Main Street and Lincoln Street, west 444.98 feet, and south 130.07 feet, as shown graphically in the exhibit below.



17.77.030 - Building Height Restrictions

A. Maximum Building Elevation:

- The maximum elevation for any building within the overlay area shall be **681.00 feet** above sea level.

B. Exceptions:

- Chimneys and other projections that extend above the roofline are permitted, provided they do not exceed 5 feet in width in any dimension.

17.77.040 - Building Plan Requirements

A. Registered Surveyor Certification:

- Building plans submitted for construction within the overlay area must include at least one corner of the building with an elevation established by a registered surveyor.

B. Height Demonstration Exhibit:

- An exhibit must be included with the building plans demonstrating that the building height does not exceed **681.00 feet** above sea level, excluding exceptions as provided in Section 17.77.030.B).

17.77.050 - Enforcement and Penalties

A. Compliance:

- All construction within the overlay area must comply with the provisions of this ordinance. Non-compliance may result in penalties as determined by the City of White Salmon.

B. Penalties:

- Violations of this ordinance shall be subject to fines and corrective actions as prescribed by the city's zoning enforcement regulations.

SECTION 2. Severability / Validity. The provisions of this ordinance are declared separate and severable. If any section, paragraph, subsection, clause or phrase of this ordinance is for any reason held to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portion of this ordinance.

SECTION 3. Effective Date. This ordinance shall take effect and be in force five (5) days after its approval, passage and publication as required by law.

SECTION 4: Transmittal to the State. Pursuant to RCW 36.70A.106, a complete and accurate copy of this ordinance shall be transmitted to the Department of Commerce within ten (10) days of adoption.

PASSED this 20th day of December by the City Council of the City of White Salmon, Washington.

Marla Keethler, Mayor

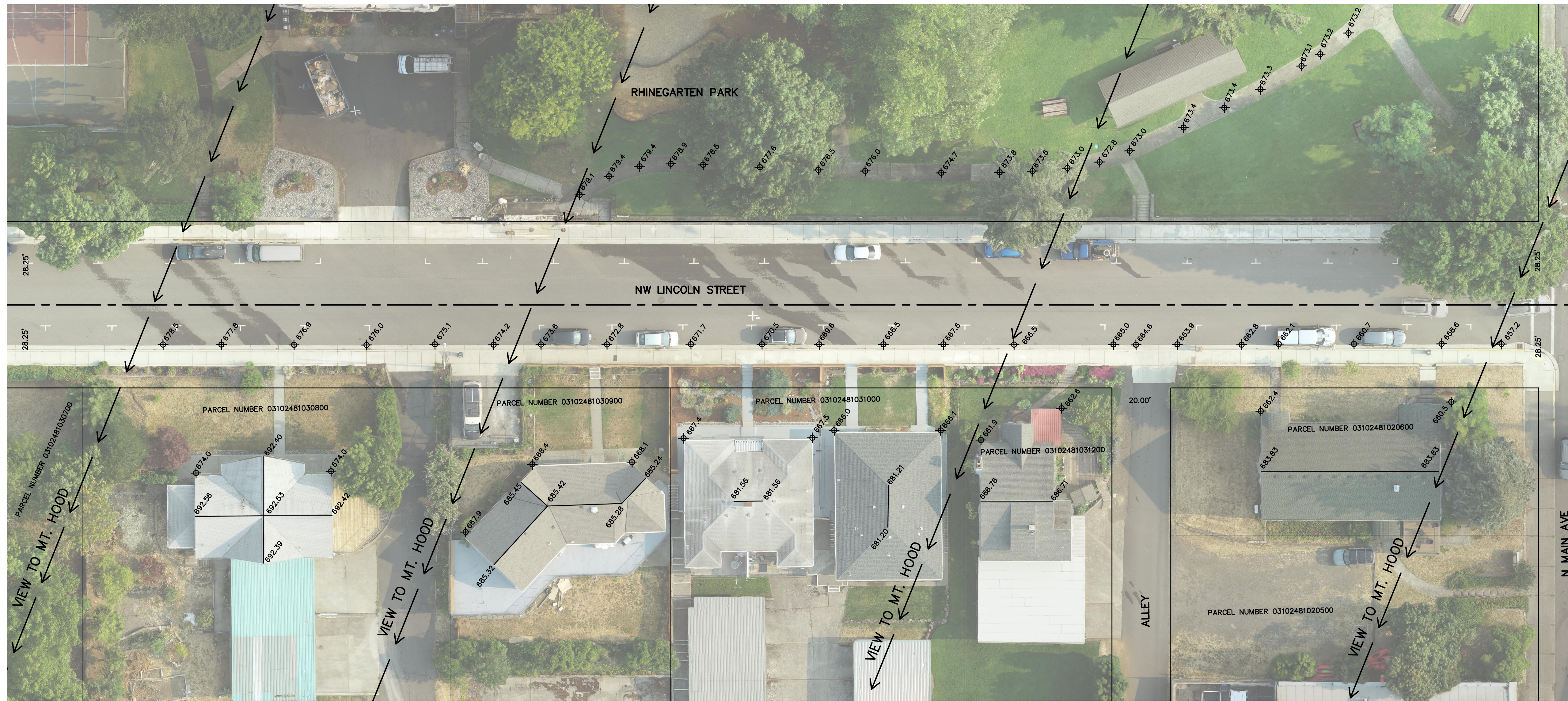
APPROVED AS TO FORM:

ATTEST:

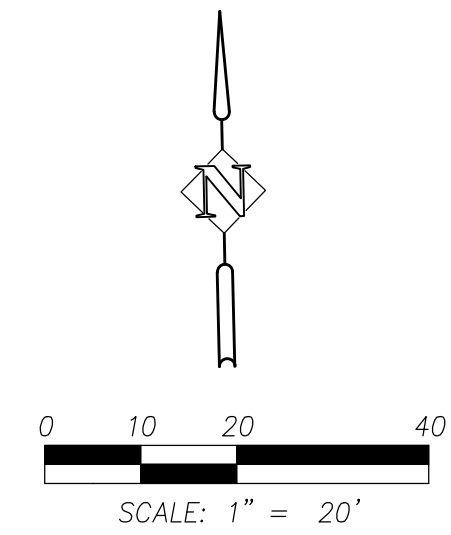
Stephanie Porter, Clerk Treasurer

Shawn MacPherson, City Attorney

CITY OF WHITE SALMON
RHINEGARTEN PARK
VIEWSHED SURVEY EXHIBIT

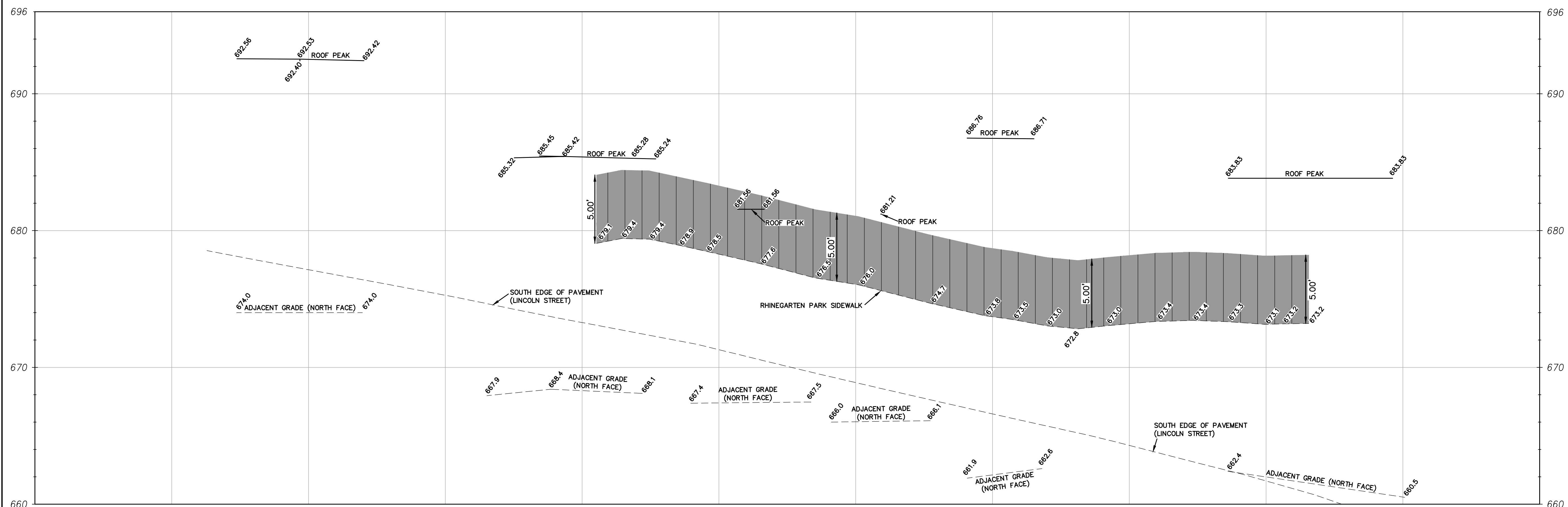


PLAN VIEW



NOTES

- THE PURPOSE OF THIS SURVEY EXHIBIT IS TO PROVIDE DATA TO ASSIST IN THE INFORMED ESTABLISHMENT OF A VIEWSHED OVERLAY ORDINANCE IN THE CITY OF WHITE SALMON OVER SOME OF THE PROPERTIES SOUTH OF RHINEGARTEN PARK.
BOUNDARY INFORMATION SHOWN HEREON IS BASED ON INFORMATION PROVIDED BY KLICKITAT COUNTY TREASURER PROPERTY LOOKUP INTERACTIVE MAPPING PROGRAM. THIS IS NOT A BOUNDARY SURVEY.
THIS SURVEY EXHIBIT WAS PREPARED BASED ON STANDARDS FOR THE SPECIFIC PURPOSE DETAILED ABOVE AND MAY NOT BE SUITABLE FOR ANY OTHER PURPOSE. HHPR AND THE UNDERSIGNED SURVEYOR ASSUME NO LIABILITY FOR THE USE OF THE INFORMATION SHOWN HEREON FOR ANY OTHER PURPOSE.
- THE INFORMATION SHOWN ON THIS SURVEY EXHIBIT IS BASED ON SITE CONTROL ESTABLISHED USING A TRIMBLE R12I GNSS RECEIVER, A TRIMBLE S5 3" ROBOTIC TOTAL STATION AND A TOPCON DIGITAL LEVEL.
THE BASIS OF BEARINGS AND COORDINATES FOR SITE CONTROL WAS ESTABLISHED RELATIVE TO THE WASHINGTON STATE PLANE COORDINATE SYSTEM, SOUTH ZONE WITHIN THE REFERENCE FRAME OF NAD83(2011) VIA REDUNDANT GNSS OBSERVATIONS.
A CLOSED TRAVERSE OF SITE CONTROL WAS PERFORMED WITH THE ROBOTIC TOTAL STATION INITIALIZED USING A COORDINATE AND AZIMUTH RELATIVE TO THE BASIS OF BEARING FROM THE GNSS OBSERVATIONS. DISTANCES ARE IN GROUND DIMENSIONS, UNITS ARE US SURVEY FEET.
A DIFFERENTIAL LEVEL LOOP USING THE DIGITAL LEVEL WAS PERFORMED ON SITE CONTROL. ELEVATIONS WERE MADE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) IN THE UNITS OF US SURVEY FEET (USFT) BASED ON REDUNDANT GNSS OBSERVATIONS OF SITE CONTROL AND THE FOLLOWING WASHINGTON DEPARTMENT OF TRANSPORTATION (WSDOT) SURVEY MARKS PUBLISHED ON THE WSDOT SURVEY INFORMATION SYSTEM:
DESIGNATION: GP20141-23 ELEVATION: 576.866
LOCATION: NW CORNER OF THE INTERSECTION OF E JEWETT BOULEVARD & NE GRANDVIEW BOULEVARD
DESIGNATION: GP20141-24 ELEVATION: 461.341
LOCATION: S SIDE OF E JEWETT BOULEVARD ±80' W OF SE 8TH STREET
AERIAL IMAGERY WAS COLLECTED USING A DJI PHANTOM 4 PRO UNMANNED AERIAL VEHICLE AND PROCESSED USING PIX4D SOFTWARE. THE IMAGERY WAS PROCESSED AND GEOFERENCED USING AERIAL TARGETS MEASURED FROM SITE CONTROL.
THIS WORK WAS PERFORMED IN THE FIELD ON AUGUST 6 & 7, 2024.
THIS SURVEY MEETS THE ACCURACY STANDARDS AS SET FORTH IN WAC 322-130-000



PROFILE VIEW

HORIZ. SCALE: 1"=20'
VERT. SCALE: 1"=4'



SIGNED:
EXPIRES: 01/30/2026

Harper Houf Peterson Righellis Inc.
ENGINEERS • PLANNERS
LANDSCAPE ARCHITECTS • SURVEYORS
205 SE Spokane Street, Suite 200, Portland, OR 97202
phone: 503.221.1131 www.hhpr.com fax: 503.221.1171



**Proposed
Overlay
Elevation**

683.83

(Grandfathered)

686.76

**Proposed
Overlay
Elevation**

681.21

681.56

(Grandfathered)

685.42

City of White Salmon

Draft Viewshed Ordinance



Presentation to Planning Commission

August 14, 2024

CITY OF WHITE SALMON
ORDINANCE NO. 2024-

AN ORDINANCE AMENDING TITLE 17 OF THE WHITE SALMON MUNICIPAL CODE BY
ADDING CHAPTER 17.77 TO UPDATE PROVISIONS OF THE ZONING CODE.

WHEREAS, the City of White Salmon (“City”) acknowledges the need to preserve the scenic views and aesthetic character of the city, in particular scenic views of Mount Hood from Rhinegarten Park; and

WHEREAS, the City recognizes the economic and cultural value of these scenic views; and

WHEREAS, the City recognizes the need for viewshed regulations to preserve these views; and

WHEREAS, the City also recognizes the need to balance protection of scenic views with development needs in the community; and

WHEREAS, the City has conducted hearings and solicited public testimony, sufficient to establish regulations in accordance with RCW 36.70A;

**NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF WHITE SALMON DOES
ORDAIN AS FOLLOWS:**

That the following amendments be made to White Salmon Municipal Code Title 17:

SECTION 1. Amendment to Title 17, Chapter 17.77

17.77 Viewshed Overlay

17.77.010 - Purpose

The purpose of this Viewshed Overlay Ordinance is to preserve the scenic views and aesthetic character of the City of White Salmon by regulating building heights within a designated overlay area. The ordinance aims to balance development needs with the community's desire to protect significant views.



**View from
Lower Park
Sidewalk**



**View from
Covered
Picnic Area**



**View from
Picnic Table**



**View from
Playground
Area**

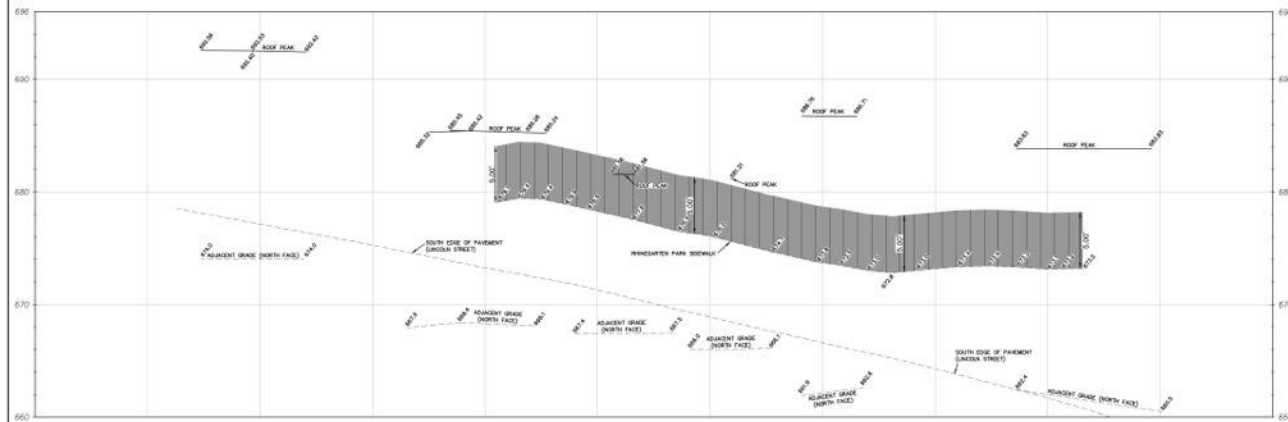


**View from
Sidewalk on
Lincoln**

Current Est. Height Restriction (Depends on Building Placement)



CITY OF WHITE SALMON
RHINEGARTEN PARK
VIEWSHED SURVEY EXHIBIT



Harper Houf Peterson Righelli Inc.
ENGINEERS/PLANNERS
LANDSCAPE ARCHITECTS • SURVEYORS
300 9th Avenue North, White Salmon, Washington 97143
Phone: 509.223.1171 www.HHPRI.com WA 509.223.1171

Survey Data



PARCEL NUMBER 03102481031200

24.86' Height

**Existing
Height
(Tallest
Roof)**



Approx. 30' total

~13 feet

~9 feet

~8 feet

**Estimated
Current
Building
Height
(Tallest
Element)**

683.83'

686.76'

681.21

681.56

685.42

CAUTION
NO
CLIMBING
ON FENCE

**Proposed Overlay
Height Limit -
681.00 Feet**

(Existing properties are grandfathered)

683.83'

686.76'

681.21

681.56

685.42

CITY OF WHITE SALMON
ORDINANCE NO. 2024-

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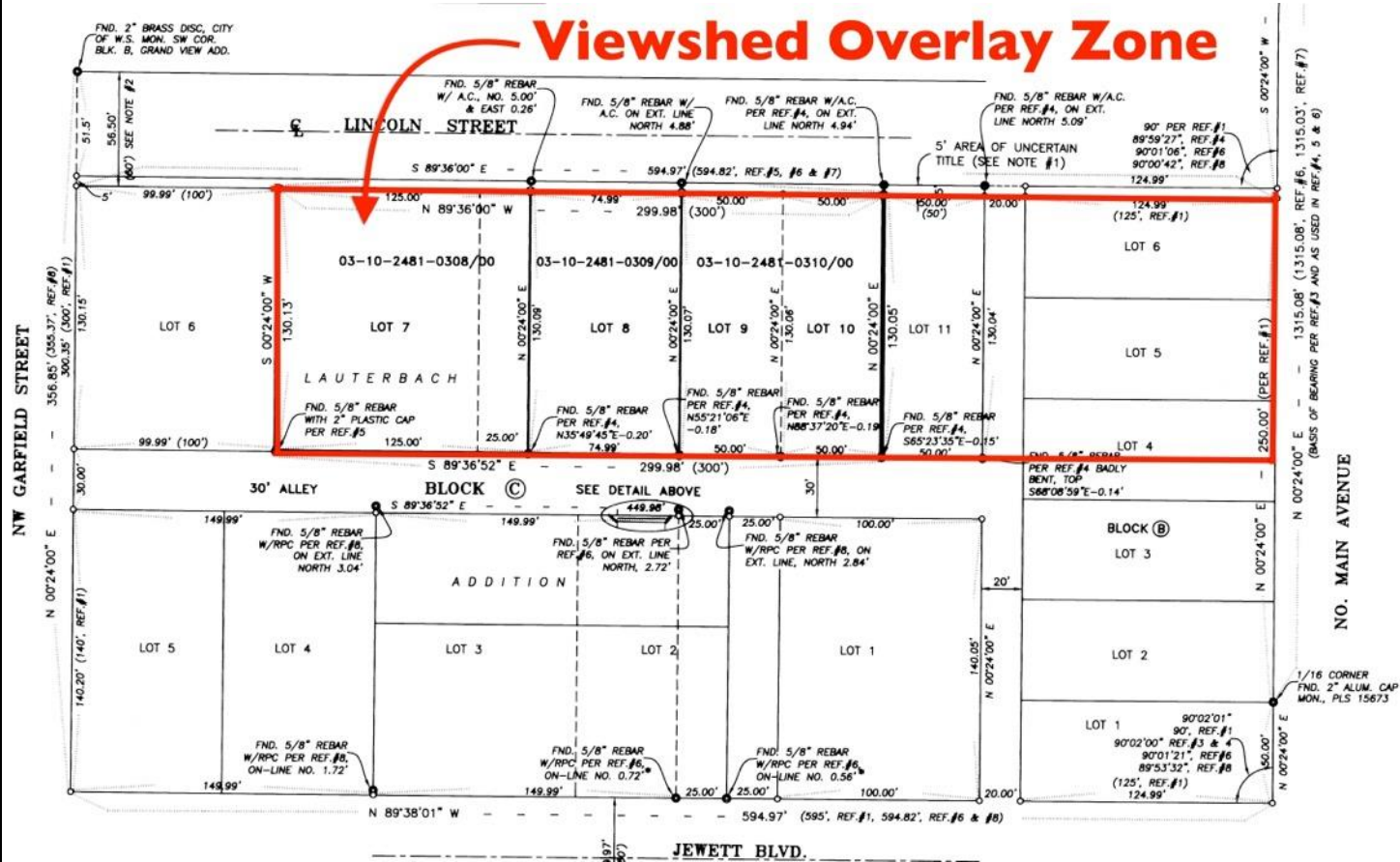
17.77 Viewshed Overlay

17.77.010 - Purpose

The purpose of this Viewshed Overlay Ordinance is to preserve the scenic views and aesthetic character of the City of White Salmon by regulating building heights within a designated overlay area. The ordinance aims to balance development needs with the community's desire to protect significant views.

17.77.020 - Overlay Area Description

The Viewshed Overlay Area is hereby established and defined as a rectangle extending from the right of way line at the corner of North Main Street and Lincoln Street, west 444.98 feet, and south 130.07 feet, as shown graphically in the exhibit below.



17.77.030 - Building Height Restrictions

A. Maximum Building Elevation:

- The maximum elevation for any building within the overlay area shall be **681.00 feet** above sea level.

B. Exceptions:

- Chimneys and other projections that extend above the roofline are permitted, provided they do not exceed 5 feet in width in any dimension.

17.77.040 - Building Plan Requirements

A. Registered Surveyor Certification:

- Building plans submitted for construction within the overlay area must include at least one corner of the building with an elevation established by a registered surveyor.

B. Height Demonstration Exhibit:

- An exhibit must be included with the building plans demonstrating that the building height does not exceed **681.00 feet** above sea level, excluding exceptions as provided in Section 17.77.030.B).

17.77.050 - Enforcement and Penalties

A. Compliance:

- All construction within the overlay area must comply with the provisions of this ordinance. Non-compliance may result in penalties as determined by the City of White Salmon.

B. Penalties:

- Violations of this ordinance shall be subject to fines and corrective actions as prescribed by the city's zoning enforcement regulations.

SECTION 2. Severability / Validity. The provisions of this ordinance are declared separate and severable. If any section, paragraph, subsection, clause or phrase of this ordinance is for any reason held to be unconstitutional or invalid, such decision shall not affect the validity of the remaining portion of this ordinance.

SECTION 3. Effective Date. This ordinance shall take effect and be in force five (5) days after its approval, passage and publication as required by law.

SECTION 4: Transmittal to the State. Pursuant to RCW 36.70A.106, a complete and accurate copy of this ordinance shall be transmitted to the Department of Commerce within ten (10) days of adoption.

PASSED this 20th day of December by the City Council of the City of White Salmon, Washington.

Marla Keethler, Mayor

APPROVED AS TO FORM:

ATTEST:

Stephanie Porter, Clerk Treasurer

Shawn MacPherson, City Attorney



Questions on the draft...



Thank you!

File Attachments for Item:

7. Recommendations to Update Development and Design Standards for Commercial Zones

City of White Salmon

Discussion Items – Zoning Code Updates



Presentation to Planning Commission

August 14, 2024

Items to Discuss...

- ***Recommendations to Update Siting and Design Guidelines for Commercial Zones***
- ***Feedback From Community Survey - Pre-approved Plans and Manufactured Housing***

- ***Recommendations to Update Siting and Design Guidelines for Commercial Zones***

White Salmon Zoning

-  MPUD Multi Family Planned Unit Development Overlay
-  PUD Planned Unit Development Overlay
-  RL Single Family Large Lot Residential
-  R-1 Single Family Residential
-  R-2 Two-Family Residential
-  R-3 Multi-Family Residential
-  MHR Mobile Home Residential
-  C Commercial
-  RD Riverfront District
-  PU Public

Digitized from City of White Salmon Zoning Map

Klickitat County Zoning

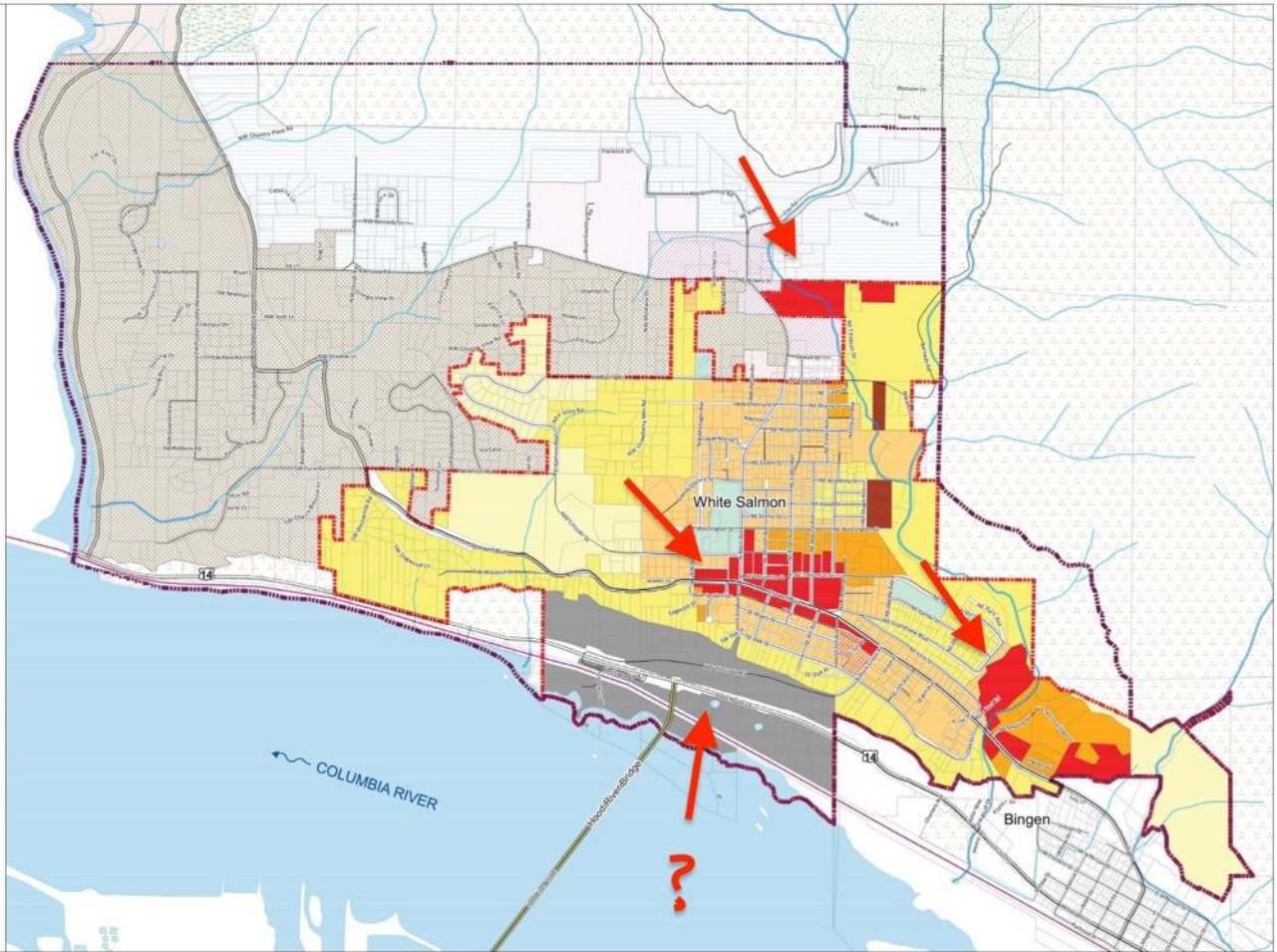
-  Extensive Agriculture
-  Forest Resource
-  General Commercial
-  General Rural
-  Industrial Park
-  Open Space
-  Public
-  Residential
-  Resource Lands
-  Rural Residential 1
-  Rural Residential 2
-  Suburban Residential

Source: Klickitat County GIS

Map Symbols

-  White Salmon City Limits
-  White Salmon Urban Area
-  Parcel Lines
-  Water Bodies
- Roads**
-  Bridge
-  City, County, Other Govt
-  Private
-  State
-  railroad

0 500 1,000 2,000 Feet



Changing Best Practice in Walkable Communities



Pullman, WA

**Typical “Traditional”
Commercial Downtown
(Some on-street parking,
majority in rear)**



Onalaska, Wisconsin (Anywhere USA?)

**1960s-era “Strip Mall”
(Parking in front)**



Orenco Station, OR

**New Best Practice:
Back to Traditional Downtown
(Some on-street parking
majority in rear)**

Local Examples



**Typical “Traditional”
Commercial Downtown**
(Some on-street parking,
majority in rear)



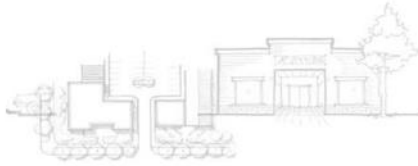
1960s-Style “Strip Mall”
(Parking in front)



**New Best Practice:
Back to Traditional Downtown**
(Some on-street parking,
majority in rear)

Benchmark Examples

DRAFT 3 – FOR REVIEW



VISTA FIELD DESIGN STANDARDS

City of Kennewick, WA

x, 2016
Ordinance No. xx
Resolution No. xx

Building Location and Orientation

Intent:

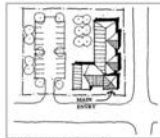
To enforce the physical and visual connection between businesses, streets, and open spaces in order to create a vibrant and attractive business and streetscape environment.

Standards:

Mandatory

1. **Setback.** Buildings shall be located closer to the street to enhance the streetscape character.
 - a) **Corner sites:** Buildings for the corner sites must be maximum 5 ft from the back of the walk. When the building abuts the sidewalk, or the setback is zero (0 ft), the sidewalk shall be at least 10 ft wide. Such setback shall not be required when the corner is designed as public open space, plaza, landscaping and/or prominent massing.
 - b) **Other sites:** According to the streetscape options mentioned in the "Specific Standards" section (page 26).
 - c) Setback standards can be altered for sites with steep slopes or other critical areas, or for a specific design approved by the Planning Director that meets the intent, objectives and principles of the design standards.
2. **Solid, blank façades and service areas** shall be oriented away from public streets. They may be screened by "liner buildings" that have appropriate street frontage as specified elsewhere herein.

DO:



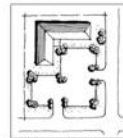
Building close to the street.

DO:



Building abutting wider sidewalk.

DO NOT:



Building away from the street.

DO NOT:



Solid facade facing the street.

Façade Transparency

Intent:

To create a visual connection between the indoor and outdoor environment in order to make businesses more attractive.

Standards:

Mandatory

1. **Solid blank walls** shall be avoided except for service areas where it shall be screened from public view (see Service Areas - pg. 11).
2. **Façades facing public streets or public open spaces** must be treated with a combination of prominent primary or secondary entrances, display windows, transparent façades, façade modulation, canopies, and/or awnings.
3. **For retail buildings**
Façade facing public streets or public open spaces or plaza shall have at least 40% of the façade area comprised of clear vision glass at the ground level unless a specific alternative design is approved by the Planning Director.
4. **For office buildings**
Façade facing public streets or public open spaces or plaza shall have at least 20% of the façade area comprised of clear vision glass unless a specific alternative design is approved by the Planning Director.
5. **Clear vision glass** for façade transparency at the ground level shall be calculated between 2 ft to 12 ft from the ground level.

DO:



Indoor-outdoor relationship.



50% transparent façade area (between 2 ft to 12 ft from the ground level)



Benchmark Examples

18.3.2.060 Site Development and Design Standards

A. Street Design and Access. The design and construction of streets and public improvements shall be in accordance with section [18.4.6.040](#) Street Design Standards, except as otherwise required for the following facilities within the Croman Mill District. A change in the design of a street in a manner inconsistent with the Croman Mill District Street Design Standards requires a minor amendment in accordance with subsection [18.3.2.030.B](#).

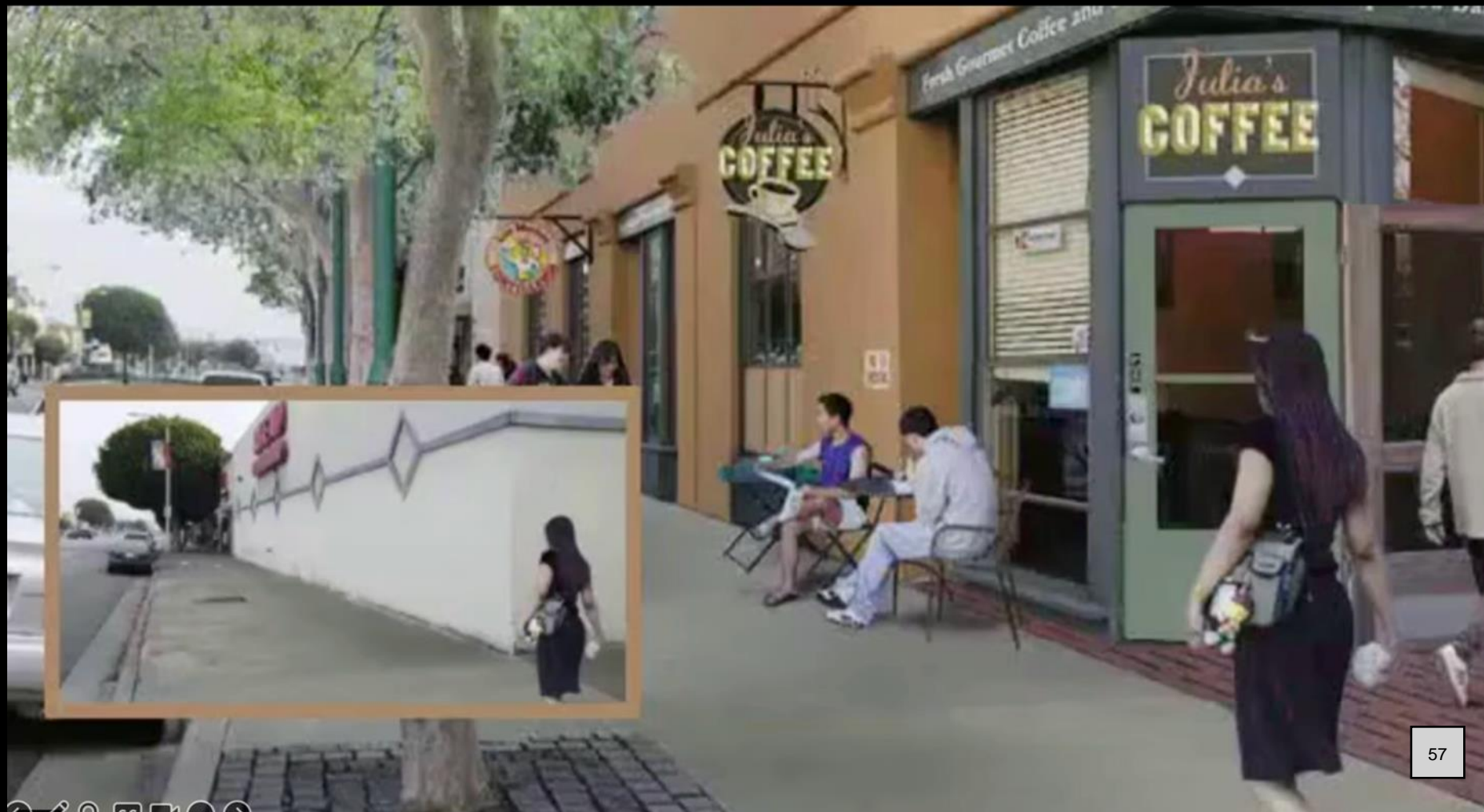
1. **Central Boulevard.** The tree-lined boulevards along Siskiyou Boulevard and Ashland Street are an easily identifiable feature of Ashland's boulevard network. Application of this street design to the central boulevard will create a seamless boulevard loop, linking the Croman Mill District with downtown Ashland. The central boulevard also serves as the front door to the Croman Mill District, creating a positive first impression when entering the district. Options addressing the street configuration and intersection geometry will be evaluated with the final design of the central boulevard. See central boulevard location in Figure [18.3.2.060.A.1.a](#) and street cross section in Figure 18.3.2.060.1.b.

1. **Building Orientation and Scale – General Requirements.** The following standards apply to all buildings, except the Staff Advisor may waive one or more of the following where a building is not adjacent to an active edge street and is not accessed by pedestrians, such as warehouses and industrial buildings without attached offices:

- a. Buildings shall have their primary orientation toward the street rather than the parking area. Building entrances shall be oriented toward the street and shall be accessed from a public sidewalk.
- b. All front doors must face streets and walkways. Where buildings are located on a corner lot, the entrance shall be oriented toward the higher order street or to the lot corner at the intersection of the streets.]
- c. Buildings on corner lots shall be located as close to the intersection corner as practicable.
- d. Public sidewalks shall be provided adjacent to a public street along the street frontage.
- e. Building entrances shall be located within ten feet of the public right-of-way to which they are required to be oriented. Exceptions may be granted for topographic constraints, lot configuration, designs where a greater setback results in an improved access or for sites with multiple buildings where this standard is met by other buildings. The entrance shall be designed to be clearly visible, functional, and shall be open to the public during all business hours.
- f. Automobile circulation or parking shall not be allowed between the building and the right-of-way.
- g. Buildings shall incorporate lighting and changes in mass, surface or finish giving emphasis to entrances.

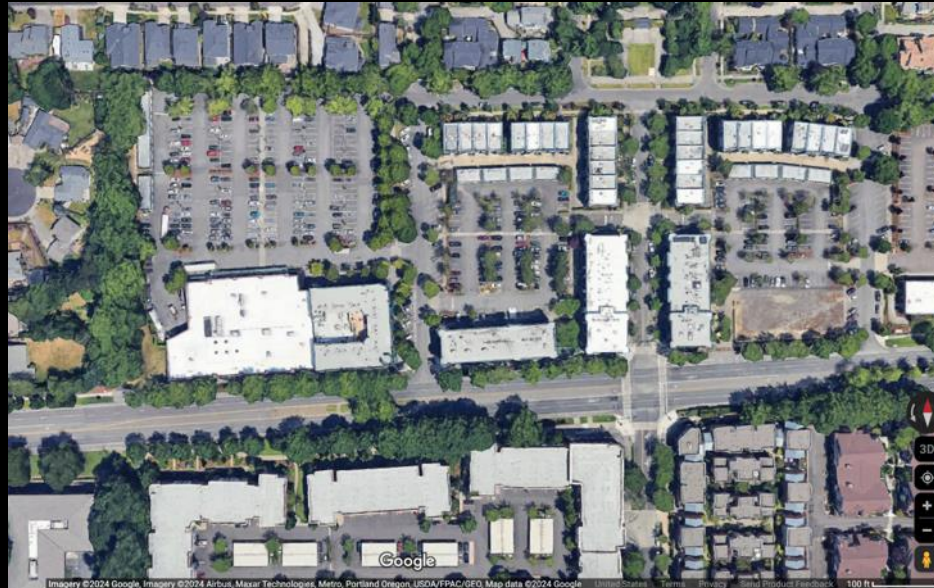
- a. Buildings shall be set back not more than ten feet from a public sidewalk unless additional setback area is used for pedestrian entries, such as alcoves, or for pedestrian activities such as plazas or outside eating areas. This standard shall apply to both street frontages on corner lots. If more than one structure is proposed for a site, at least 65 percent of the aggregate building frontage shall be within ten feet of the sidewalk.
 - b. Building frontages greater than 100 feet in length shall have offsets, jogs or have other distinctive changes in the building façade.
 - c. Buildings shall incorporate arcades, roofs, alcoves, porticoes, and awnings that protect pedestrians from the rain and sun.
 - d. Buildings shall incorporate display areas, windows, and doorways as follows. Windows must allow view into working areas or lobbies, pedestrian entrances, or displays areas. Blank walls within 30 feet of the street are prohibited.
 - e. At least 50 percent of the first-floor façade is comprised of transparent openings (clear glass) between three and eight feet above grade.
3. **Building Orientation for Within the NC, MU, and OE Zones, and Not Adjacent to an Active Edge Street.** Any wall that is within 30 feet of the street, plaza or other park or common open space shall contain at least 20 percent of the wall area facing the street in display areas, windows, or doorways. Up to 40 percent of the length of the building perimeter can be exempted for this standard if oriented toward loading or service areas.
 4. **Parking Areas and On-Site Circulation.** Except as otherwise required by this chapter, automobile parking, loading, and circulation areas shall comply with the requirements of part [18.4](#), Site Development and Design Standards, and the following standards:
 - a. Primary parking areas shall be located behind buildings with limited parking on one side of the building, except that parking shall be located behind buildings only where

Ashland, Oregon



Elements of Development and Design Standards

1. Building fronting pedestrian street, larger parking lot behind (limited side yard parking also)



Elements of Development and Design Standards

***2. Main entrance, windows are required on the front
(Second main entrance can be behind)***



Elements of Development and Design Standards

2. (Entrances can also be at corners)



Elements of Development and Design Standards

**3. Masses over a certain length/height must be broken
(Step-backs, step-downs, recesses, etc)**



Elements of Development and Design Standards

4. All sides of a building must be well-designed and articulated, with sufficient screening of truck bays, trash, etc.



Elements of Development and Design Standards

5. Landscaping must be attractive and adequate to support pedestrian activity and experience



Draft of ordinance to follow after discussion... (Survey?)

CITY OF WHITE SALMON
ORDINANCE NO. 2024-

AN ORDINANCE AMENDING TITLE 17 OF THE WHITE SALMON MUNICIPAL CODE BY
ADDING CHAPTER 17.77 TO UPDATE PROVISIONS OF THE ZONING CODE.

WHEREAS, the City of White Salmon ("City") acknowledges the need to preserve the scenic views and aesthetic character of the City of White Salmon, in particular scenic views of Mount Hood from ~~Bishopgarden~~ Park; and

WHEREAS, the City recognizes the need for viewshed regulations to preserve these views; and

WHEREAS, the City recognizes the need to balance protection of scenic views with development needs in the community; and

WHEREAS, the City has conducted hearings and solicited public testimony, sufficient to establish regulations in accordance with RCW 36.70A;

NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF WHITE SALMON DOES
ORDAIN AS FOLLOWS:

That the following amendments be made to White Salmon Municipal Code Title 17:

SECTION 1. Amendment to Title 17, Chapter 17.48.075, Chapter 17.48.080.

Key: Underlined = added language
~~Strikethrough~~ = deleted
language

17.48.075 Development and design standards.

- A. Property development standards—All new development shall conform to Chapter 17.81, Site and Building Plan Review, and to any and all architectural and design standards which may be adopted by the city.
- B. Roof standards/surfacing:
 - 1. Finished roof material shall meet Class "C" roof standards. ~~Dark and non-reflective roofing material shall be used for all visible roof surfaces. ["Cool roofs" are recommended now – typically white or reflective material, or green roofs.]~~
- C. Roof standards/mechanical equipment and venting:
 - 1. All mechanical equipment located on roof surfaces such as, but not limited to, air conditioners, heat pumps, fans, ventilator shafts, duct work, or related devices or support work, shall be screened from view when possible and visible equipment shall be of a matte and/or non-reflective finish, unless reviewed and determined by the planning commission to be compatible with or a positive addition to the design and character of the commercial area. This restriction shall not apply to radio/television antennas or dishes (see Chapter 17.78).
 - 2. All exposed metal flashing, roof jacks and plumbing vents shall be matte finishes/non-reflective.

**- *Feedback From Community Survey - Pre-approved
Plans and Manufactured Housing (Report)***

- *Feedback From Community Survey - Pre-approved Plans and Manufactured Housing (Report)*

I. Pre-approved Plans

White Salmon Visual Preference Survey for Pre-Approved Plans

Housing Action Plan Implementation, Phase II

Thank you for taking this survey! Your evaluation will help us to identify preferred small housing plans for the City of White Salmon – one of a series of planned actions to create more and better housing options for all White Salmon residents under the City’s adopted Housing Action Plan. This is a unique

PLEASE RATE: Plan One.

"Sugarberry Cottage"



Specifications	Construction
Area: 1,100 sq. ft. Bedrooms: 2 Bathrooms: 1 Garage: Attached, 1-car	Construction: 1.5 Foundation: Full Basement
Roof: Asphalt/Flt. Exterior: Siding Interior: Hardwood	Roofing: Asphalt/Flt. Exterior: Siding Interior: Hardwood
Other: None	Other: None



Additional comments on this

Plan Two.

"Canton Row"



Specifications	Construction
Area: 1,100 sq. ft. Bedrooms: 2 Bathrooms: 1 Garage: Attached, 1-car	Construction: 1.5 Foundation: Full Basement
Roof: Asphalt/Flt. Exterior: Siding Interior: Hardwood	Roofing: Asphalt/Flt. Exterior: Siding Interior: Hardwood
Other: None	Other: None



Additional comments for this

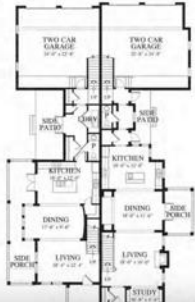
Open White Salmon 61 responses
 Visual Preference Survey for Small Manufactured Residences
 Modified 06/30/2024

Open White Salmon 48 responses
 Visual Preference Survey for Pre-Approved Plans
 Modified 06/24/2024

A1		X		V		fX		Respondent ID	
Response	Submit	Start Date	End Date	IP Address	Email	First Name	Last Name	Company	Address
1	192-11	4/30/2024	Completed	192.168.201.88					Adrianne Green
1	192-11	4/30/2024	Completed	47.20.138.188					Anna Rotholz
1	192-11	4/30/2024	Completed	179.239.234.286					Donna Ruth Cheff-Davis
1	192-11	4/30/2024	Completed	60.233.268.197					Wendy Gray
1	192-11	4/30/2024	Completed	95.149.249.117					Kathleen L. McCreath
1	192-11	4/30/2024	Completed	192.168.189.117					Erin Decker
1	192-11	4/30/2024	Completed	200.28.242.11					Alpha One Big River
1	192-11	4/30/2024	Completed	192.168.201.28					Nichole Gunning
1	192-11	4/30/2024	Completed	79.105.200.29					David Dawson
1	192-11	4/30/2024	Completed	68.37.40.194					Carol Benner
1	192-11	4/30/2024	Completed	192.168.201.129					David Harkett
1	192-11	4/30/2024	Completed	98.138.4.208					Thane
1	192-11	4/30/2024	Completed	79.105.200.105					Phoebie Knaubach
1	192-11	4/30/2024	Completed	192.168.201.103					Alan Bayliss
1	192-11	4/30/2024	Completed	79.105.200.87					Marshall Pratt
1	192-11	4/30/2024	Completed	208.226.108.87					Colin Goodwin
1	192-11	4/30/2024	Completed	47.28.17.41					Barbara Robinson
1	192-11	4/30/2024	Completed	192.168.201.149					Chris O'Brien
1	192-11	4/30/2024	Completed	47.2.18.85					Nick Campbell
1	192-11	4/30/2024	Completed	79.105.200.204					Joan Forst
1	192-11	4/30/2024	Completed	79.105.200.202					Monique Brown
1	192-11	4/30/2024	Completed	79.105.200.183					Lynn Thomas
1	192-11	4/30/2024	Completed	79.105.200.118					Maria Searborn
1	192-11	4/30/2024	Completed	79.105.200.107					Wendy
1	192-11	4/30/2024	Completed	129.95.261.183					Theresa G. Nelson
1	192-11	4/30/2024	Completed	192.168.201.157					Jason Kato Ito
1	192-11	4/30/2024	Completed	68.138.261.115					Barbara Beattie
1	192-11	4/30/2024	Completed	192.168.201.179					Dan Wilson
1	192-11	4/30/2024	Completed	192.242.180.208					Carroll Brown
1	192-11	4/30/2024	Completed	65.214.31.9					Vanita Bernby
1	192-11	4/30/2024	Completed	65.149.249.193					Barbara Ann Brown
1	192-11	4/30/2024	Completed	65.214.31.206					Nicole Brown
1	192-11	4/30/2024	Completed	68.138.261.79					Scottie Nelson
1	192-11	4/30/2024	Completed	192.168.201.228					Scottie Nelson
1	192-11	4/30/2024	Completed	79.105.200.74					Sam
1	192-11	4/30/2024	Completed	67.20.192.218					Ellen
1	192-11	4/30/2024	Completed	192.168.201.210					Ginger Hartnett
1	192-11	4/30/2024	Completed	79.105.200.178					Paula Kay
1	192-11	4/30/2024	Completed	192.168.201.157					Theresa G. Nelson
1	192-11	4/30/2024	Completed	208.226.108.157					Cheriseanne Heaton
1	192-11	4/30/2024	Completed	68.138.261.128					Leanne Wright
1	192-11	4/30/2024	Completed	68.218.21.209					Leanne Wright
1	192-11	4/30/2024	Completed	68.138.261.127					Leanne Wright
1	192-11	4/30/2024	Completed	68.27.33.236					Scottie Nelson
1	192-11	4/30/2024	Completed	192.20.246.44					Michelle Coppenher
1	192-11	4/30/2024	Completed	67.41.197.192					Donna Ruth Cheff

Plan Three.

Farnham Duplex



Two side-by-side homes in one. Three bedrooms each, including a flex space above the garage. Use the flex space as a home office or guest suite. Front and side porches, too.

- Unit A: 3 bedrooms - 3.5 baths (2,085 s.f.)
- Unit B: 3 bedrooms - 3.5 baths (2,339 s.f.)
- 56"6" W x 108'8" D
- 4,424 square feet total



Plan Seven.

Greenwood Cottage



An easy-to-build Craftsman cottage with two bedrooms, one bath, and a private front porch

- 2 bedrooms - 1 bath
- 24' W x 36' D x 20' H
- 1 story
- 725 square feet

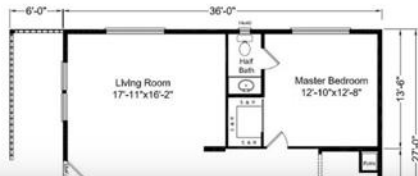


PLEASE RATE: Plan One, "River's Edge"



\$101,621*

972 SCFT 2 BEDROOMS 2 BATHROOMS 27x42 AREA 2 SECTIONS 1 LIVING AREA 1 DINING AREA



Plan Two, "Athens Park 516."



9
Single family detached
Single family detached 10

Why no garage? Everybody in this town needs a garage!

9
10

7
10

6
7

10
7

8.44

7.79

5.90

4.13

6.58

“Sugarberry Cottage”



Farnham Duplex



“Canton Row”



Opticos Design - “Duplex”



Optico



7

7

10

4

10

3

6.58

3.81

8.15

5.69

7.60

3.83



Greenwood Cottage

One Car Carriage House

Opticos Design - "Sixplex"

Opticos Design - "Triplex"



6.67

5.17

7.15

5.69

5.46



Tucker Carriage House



Summerland Duplex



a garage, it's fine.

10

10

6

10

10

5.46

8.00

4.88

8.04

7.71

e House



Summerland Duplex



SUMMARY:

- **Of the total of 20 candidates, 16 received scores of 5 or more out of 10 (average positive)**
- **4 received less than 5 (average negative)**
- **All negatives were of drawings only (unfair comparison?)**
- **Three were duplex or more (“missing middle”)**
- **We may need to keep looking for candidates of this type to meet the goals of the Housing Action Plan**

- *Feedback From Community Survey - Pre-approved Plans and Manufactured Housing (Report)*

2. Manufactured Housing

nice

8.13



6.00



4.42



3.77



5.55



5.23



5.23

4.47



4.50

5.20



SUMMARY:

- **Out of the 10 candidates, 6 received scores of 5 or more (average positive)**
- **4 received scores of less than 5 (average negative)**
- **2 were similar to “mobile home” appearance**
- **2 were “contemporary” designs (surveys show they are controversial, with 60-70% finding them objectionable)**



Survey research on preferences for traditional versus modern architecture often shows a split in public opinion, though the exact percentages can vary depending on the demographic, geographic location, and the way the questions are framed. Here are some general findings based on various surveys:

1. United Kingdom:

- A survey conducted by YouGov in 2015 revealed that about **77%** of respondents preferred traditional architecture, particularly for residential buildings, while **23%** favored modern architecture.

2. United States:

- A Harris Poll in 2016 indicated that approximately **70%** of Americans preferred traditional architectural styles for their homes, with **30%** expressing a preference for modern or contemporary styles.
- Another survey by the National Association of Home Builders (NAHB) in 2020 found that around **64%** of prospective homebuyers preferred traditional designs, while about **36%** leaned towards modern or contemporary styles.

3. Global Trends:

- A 2017 survey by the Royal Institute of British Architects (RIBA) showed that, globally, about **60-65%** of people preferred traditional architecture when asked about their ideal home, while **35-40%** preferred modern architecture.
- In some European countries like France and Italy, the preference for traditional architecture can be even higher, with **over 80%** of respondents in some surveys indicating a preference for traditional styles.

These percentages suggest a general trend where traditional architecture is more popular than modern architecture, particularly in the context of residential buildings.



Thank you!