



White Salmon Planning Commission Meeting
A G E N D A
May 13, 2026 – 5:30 PM
119 NE Church Ave and via Zoom Teleconference

Meeting ID: [823 8669 6907](#)
Call in Number: 1 (253) 215-8782 US (Tacoma)

Call to Order/Roll Call

Public Comment

Members of the public attending the meeting, either in person or via Zoom, are welcome to provide general public comment. Each speaker will be allotted three minutes.

Public Hearing

Type II Site and Building Plan Review. A proposal for a multiplex residential use with four (4) dwellings on a 6,012 sq. ft. parcel in the R2 zone, located at 130 SE Wyers Street, planning file WS-SPR-2026.002.

1. Chair opens the hearing
- [2.](#) Staff presentation
3. Applicant presentation
4. Public testimony
5. Commission discussion
6. Commission action

Adjournment



File Attachments for Item:

2. Staff presentation



CITY OF WHITE SALMON

100 N. Main Street, White Salmon, WA 98672

(509) 493-1133

TYPE II STAFF REPORT FOR SITE AND BUILDING PLAN REVIEW

Date: May 6, 2026

Site Address: 130 SE WYERS ST
Applicant: Charissa McGinn, Adair Homes
Owner: Juan Chavez and Janae Papazian
Agent: Charissa McGinn, Adair Homes

Parcel Number: 03111972021300
Legal Description: LOT 10 BLK 2 ORIGINAL TO WS SWSW 19-3-11
Planning File: WS-SPR-2026.002

1.0 SUMMARY

- 1.1 Proposal:
A multiplex residential use with four (4) dwellings on a 6,012 sq. ft. parcel in the R2 zone.
- 1.2 Staff Recommendation:
Approval with Conditions
- 1.3 List of Attachments
1. Application
 - a. Narrative
 - b. Site Plan
 - c. Topographic and utilities plan
 - d. Site Plan for trees and drainage
 - e. Tree Removal Form
 - f. Building Plans
 2. Location map
 3. Aerial photo
 4. Agency Public Notice
 5. Public Comments

2.0 AUTHORITY

Per the White Salmon Municipal Code §17.81.040, a Site Plan Review is required for new construction, except single-family uses.

This review is a **Type II procedure**, per WSMC §17.81.060, because the project includes construction of a new building with less than ten thousand square feet gross floor area. For Type II Site Plan Reviews, the Planning Commission is designated as the review committee, per WSMC §17.81.030. A Type II procedure includes a staff report and recommendation made by the administrator, an open record public hearing, and a final decision by the Planning Commission, per WSMC §19.10.040.

Review procedures are described in WSMC Chapter 19.10. Appeals information can be found at the end of this report.

3.0 PROCEDURE AND TIMELINE

The procedure and timeline for a Type II review is described in WSMC Title 19.

3.1	Pre-application conference:	9/5/2024
3.2	Application submitted:	1/27/2026
3.3	Application deemed incomplete:	2/18/2026
3.4	More materials submitted:	3/18/2026
3.5	Application deemed complete:	3/18/2026
3.6	Notice of Application:	3/26/2026
3.7	Mailed Notice of Public Hearing:	4/28/2026
3.8	Posted Notice of Public Hearing:	4/28/2026
3.9	Published Notice of Public Hearing:	4/29/2026 in the <i>Columbia Gorge News</i>
3.10	Staff Report:	5/6/2026
3.11	Public Hearing:	5/13/2026
3.12	Final Order mailed:	Within five (5) days of the decision
3.13	Appeal deadline:	Within thirty (30) calendar days of decision

4.0 PROPERTY CHARACTERISTICS

- 4.1 Zoning:
 - 4.1.1 Comprehensive Plan: Medium Density Residential (MDR)
 - 4.1.2 Current Zoning: R2 Multiplex Residential
- 4.2 Size: 6,012 square feet
- 4.3 Access: Primary access from Wyers St, and alley access in the rear
- 4.4 Previous Land Use Actions:
None. Lot created with original White Salmon plat in 1903.
- 4.5 Current Land Use: Vacant
- 4.6 Neighboring Land Uses:
 - 4.6.1 North: Commercial
 - 4.6.2 East: Residential
 - 4.6.3 South: Residential
 - 4.6.4 West: Residential
- 4.7 Critical Areas:
 - 4.7.1 Fish and wildlife conservation areas: No
 - 4.7.2 Geologically hazardous areas: No, except “regional lava flows” which are typical for the entire city of White Salmon.
 - 4.7.3 Flood hazard areas: No
 - 4.7.4 Critical aquifer recharge areas: No
 - 4.7.5 Wetland critical areas: No

5.0 CONTEXT FINDINGS

None.

6.0 CRITERIA FOR APPROVAL

The following sections of the White Salmon Municipal Code have bearing on this application.

WSMC Chapter 17.28 – R2 Multiplex Residential District

- 17.28.010 – Principal uses permitted outright.
- 17.28.034 – Property development standards.
- 17.28.040 – Density provisions.
- 17.28.050 – Off-street parking space. (As modified by Ordinance No. 2024-12-1171)
- 17.28.060 – Utility requirements.

WSMC Chapter 17.68 – Design and Use Standards

- 17.68.040 – Front yards—Use restrictions.
- 17.68.050 – Front yards—Projection of steps, fences and other structures.
- 17.68.060 – Side yards—Use restrictions.
- 17.68.070 – Side yards—Projection limitations.
- 17.68.080 – Rear yards—Projection limitations.

WSMC Chapter 17.81 – Site and Building Plan Review

WSMC Chapter 18.40 – Tree Protection

- 18.40.040 – Significant and Special tree retention associated with development.

WSMC Chapter 18.41 – Heritage Trees

- 18.41.050 – Heritage tree removal.

WSMC Chapter 19.10 – Land Development Administration Procedures

- 19.10.230 – Review and decision (Type II)

WSMC Chapter 13.01 – Construction Permitting

- 13.01.050 – Stormwater runoff control standards.
- 13.01.070 – Access standards.

WSMC Chapter 13.12 – Sewer System

- 13.12.030 – Installation of toilet facilities and connection to system required when.

WSMC Chapter 13.16 – Water and Sewer Rates and Charges

- 13.16.005 – New water connections—Residences.

7.0 FINDINGS

7.1 **WSMC 17.28.010 – Principal uses permitted outright.**

Principal uses permitted outright in the R2 district include:

A. Principal uses permitted outright in residential district R1, plus up to four rowhouse or multiplex units, provided that the end or side units are set back five feet from the adjacent property lines, and meet other development standards of this zone.

Staff Finding: Satisfied

The requested use is four multiplex dwelling units. The site plan shows that the standards for required yards and setbacks are met; see 7.4 below for details.

7.2 **WSMC 17.28.034 – Property development standards.**

A. Dwelling standards:

1. A primary (not accessory) single-family residential dwelling shall have a minimum floor area of four hundred square feet excluding porches, carports, garages, and basement or other rooms used exclusively for the storage or housing of mechanical or central heating equipment.

2. All primary (not accessory) single-family dwellings shall be placed on permanent foundations.

3. All manufactured homes must be new on the date of installation and comply with the applicable siting standards in Section 17.68.130.

4. Maximum building height shall not exceed twenty-eight feet.

5. No business signs shall be erected or displayed on residential lots or adjacent street right-of-way buffer strips, except as provided in Sign Ordinance, Chapter 15.12 of this code.

6. No contour or existing topography shall be substantially altered by fill, excavation, channeling or other device that would cause flooding, inundation, siltation, or erosion by stormwater on adjoining lots, open spaces, or rights-of-way.

Staff Finding: Satisfied

All dwellings have a permanent foundation on the building plans. The size of the dwellings are:

Dwelling	Area	Building Height
Unit "1"	504 sq ft	27' 1"
Unit "2"	504 sq ft	27' 1"
Unit "A"	1,146 sq ft (2 stories)	17' 3 1/4"
Unit "B"	1,114 sq ft (2 stories)	17' 3 1/4"

These standards are met.

7.3 WSMC 17.28.040 – Density provisions.

Density provisions for the R2 district are as follows:

- A. *Maximum number of primary dwelling structures per lot: Four;*
- B. *Minimum area of lot: Three thousand square feet for each single-family structure or up to four rowhouse or multiplex units on the same lot; and eight hundred square feet for rowhouse units on separate lots;*
- C. *Minimum depth of lot: Fifty feet;*
- D. *Minimum width of lot: Thirty feet for each single-family structure or up to four rowhouse or multiplex units on the same lot; and twelve feet for rowhouse units on separate lots;*
- E. *Maximum percentage of lot coverage: Seventy-five percent;*

Staff Finding: Satisfied

The requested use is four multiplex dwelling units. The lot area is 6,012 sq ft. The lot depth is 124.5 feet. The lot coverage is calculated here:

Building (footprint)	Sq ft
UNIT 1	504
UNIT 2	504
UNIT A	552
UNIT B	536
BREEZE WAY	48
Total	2144
Lot area	6012
Lot coverage	35.7%

These standards are met.

The lot width, at its narrowest length along Wyers St, is 27.5 feet and is 67.2 feet at its widest length along the alley. This lot could not be created by a land division today, but is considered “nonconforming” because it was legally created with the original White Salmon plat in 1903. It does not prevent the lot from being developed with permitted uses.

- 7.4** *F. Minimum front yard depth: Twelve feet, except that porches, stoops or other transitional structures may encroach up to eight feet into this frontage zone;*
G. Minimum side yard width: Five feet, or zero feet for approved rowhouses;
H. Minimum side yard width along flanking street of corner lot: Ten feet;
I. Minimum rear yard required: Ten feet.

Staff Finding: Satisfied

The front yard depth is more than 12’ feet, the side yards are 5’, and the rear yard is more than 10’. These standards are met.

**7.5 *17.28.050 – Off-street parking space.
(As modified by Ordinance No. 2024-12-1171)***

In the R2 district, for units with greater than 800 square feet of living area, measured from exterior walls, at least two permanently maintained off-street parking spaces or a private garage shall be on the same lot as the dwelling, or be attached thereto or made a part of the main building. For units with 800 square feet of living area or less, measured from exterior walls, at least one permanently maintained off-street parking space or a private garage shall be on the same lot as the dwelling, or be attached thereto or made a part of the main building.

Each parking space shall not be less than nine feet wide and eighteen feet long. The size of the garage is not to exceed the size of the dwelling. Assigned parking in remote lots, including approved joint use parking under binding agreements, may be substituted if they are within 200 feet of the subject property.

Staff Finding: Satisfied

Units “A” and “B” are over 800 sq feet and require 2 parking spaces each, while Units “1” and “2” are under 800 sq feet and require 1 parking space each, for a total of 6 parking spaces. The site plan shows 4 parking spaces with dimensions of 10’ by 19’ in the alley, and 2 parking spaces in the front yard, with dimensions of 11’ by 20’. This standard is met.

7.6 17.28.060 – Utility requirements.

In the R2 district, all new structures shall be serviced by underground utilities.

Staff Finding: Satisfied with Conditions

The proposal is subject to this standard, and it is a condition of approval.

7.7 17.68.040 – Front yards—Use restrictions.

Where any front yard is required, no building shall be thereafter erected or altered so that any portion thereof shall be nearer the front property line than the distance indicated by the depth of the required front yard.

17.68.050 – Front yards—Projection of steps, fences and other structures.

Steps, terraces, platforms, porches, and similar projections may be built within a front yard, but in no case shall such projections cause a front yard to be less than four feet from the face of the projection to the property line. Fences up to forty-two inches high are allowed on the front property line.

Staff Finding: Satisfied

The front yard minimum setback is met. No front yard fence is proposed.

7.8 17.68.060 – Side yards—Use restrictions.

Where any specified side yard is required, no building shall be hereafter erected or altered so that any portion thereof shall be nearer to the side lot line than the distance indicated by the width of the required side yard.

17.68.070 – Side yards—Projection limitations.

Eaves, cornices, chimneys and similar projections may extend over the required side yard for a distance of not more than two feet.

Staff Finding: Satisfied

The side yard minimum setback is met.

7.9 17.68.080 – Rear yards—Projection limitations.

Eaves, cornices, steps, platforms, rear porches and similar projections, whether enclosed or not, but not more than one story in height, may extend into the rear yard setback up to three feet from the rear lot line. Accessory buildings may occupy the rear yard and shall be located a minimum of five feet from rear lot lines unless otherwise required to meet the setbacks applicable to the principal structure. ADUs may be located a minimum of three feet from the rear lot line when the rear lot line adjoins an alley.

Staff Finding: Satisfied

The rear yard minimum setback is met.

7.10 WSMC 18.40.040 – Significant and Special tree retention associated with development.

B. Retention of significant and special trees. Development proposals shall retain significant and/or special trees to the maximum extent feasible. [...] Removal of a significant and/or special tree associated with development shall be limited to the following circumstances: [...]

1. If the tree is dead or meets the criteria of a hazardous tree, as determined by a qualified professional arborist.

2. A significant and/or special tree can be removed if its presence reduces the building area of the lot by more than fifty percent after all potential alternatives have been considered, including a possible reduction to setbacks and minimum yard depth and width requirements.

3. If retention of the tree limits the structural footprint to less than the following, when also omitting steep slope areas as area available to development:

a. Single-Family Home: One thousand square feet.

b. Townhomes or Multi-Family Units: Nine hundred square feet per unit.

c. Accessory Dwelling Unit: Seven hundred square feet.

d. Businesses/Commercial: One thousand two hundred square feet or the amount of square footage necessary to support the existing or proposed use, as shown by the applicant in a site development permit.

4. Retention of a significant and/or special tree or grove will prevent creation of a residential lot through a subdivision or short subdivision.

5. A significant and/or special tree cannot be removed to facilitate construction access and will only be considered for removal if it impedes the ability of the landowner to develop permitted buildings or permanent access as described by an approved driveway permit, pursuant to WSMC 13.01.070.

Staff Finding: Satisfied with Conditions

The applicant submitted a tree removal form and site plan showing the trees on-site. Two regulated trees are proposed for removal:

1. Oregon White Oak, 24 inch diameter (dbh), a “special” tree
2. Cedar, 20 inch diameter (dbh), a “significant” tree

The Oak is located near the center of Units “A” and “B” and would prevent these units from having 900 square feet, so its removal can be approved for removal under 18.40.040 (B)(3).

The Cedar is located in the parking area for Units “1” and “2” and would prevent the required parking spaces and permanent access from Wyers Street, so it can be approved for removal under 18.40.040 (B)(5). Additionally, the Cedar is very close to, and has intertwined roots with, a large Douglas Fir to the east, located on the neighbor’s property at 140 SE Wyers Street. This Douglas Fir is leaning over the neighbor’s house and may become hazardous in the future. Even if the cedar is retained, its roots are likely to be damaged by the installation of surface improvements and/or the weight of parked vehicles. Removing the tree at a later date could have an impact on stormwater runoff, because less water would be absorbed and the stormwater facility may be undersized. Staff finds that removing this tree is appropriate and meets the intent of the Code.

Condition of Approval: The two removed trees shall be replaced at a 2-to-1 ratio, according to WSMC 18.40.050. If tree replacements cannot be accommodated on-site, then the applicant or owner shall pay the fee-in-lieu before any building permit is issued, per §18.40.050 (C).

7.11 WSMC 18.41.050 - Heritage tree removal.

A. Heritage trees may only be removed if they meet the circumstances outlined in WSMC 18.40.040.B(1).

Staff Finding: Satisfied

No heritage trees are on site.

7.12 19.10.230 – Review and decision (Type II)

D. Required Findings. In addition to the approval criteria listed in this code, the designated decision-making body shall not approve a proposed development unless it first makes the following findings and conclusions:

- 1. The development is consistent with the White Salmon comprehensive plan and meets the requirements and intent of the White Salmon Municipal Code;*
- 2. The development is not detrimental to the public health, safety and welfare;*
- 3. The development adequately mitigates impacts identified under Chapters 18.10 (Critical Areas Ordinance) and 18.20 (Environmental Protection/SEPA Review) of this code; and*
- 4. For land division applications, findings and conclusions shall be issued in conformance with White Salmon Municipal Code Title 16 and RCW 58.17.110.*

Staff Finding: Satisfied

Based on the findings in this report, the development is consistent with the White Salmon municipal code and comprehensive plan.

Staff does not believe there is any detriment to public health, safety, or welfare, except those possible effects noted in this staff report, which can be mitigated with appropriate Conditions of Approval.

No critical areas are on site, and developments with four or fewer dwellings are categorically exempt from SEPA under Washington Administrative Code (WAC) 197-11-800. No environmental mitigation is required under the city's Critical Areas ordinances or SEPA.

No land division is proposed.

7.13 13.01.050 – Stormwater runoff control standards.

B. Generally, the city stormwater runoff control standards are based on low impact development (LID) techniques that minimize impervious surfaces and infiltrate stormwater on site. Tight line conveyance of stormwater onto adjacent property will be allowed only if there is no other feasible alternative and only if the proposed location and volume of runoff will not change.

- 1. If the development proposes more than two thousand square feet of impervious surface, the developer shall calculate the estimated runoff volume for the design storm specified by the city official. The runoff*

*volume shall be calculated as follows:
impervious area (sf) x 0.10 (ft) = runoff volume (cf).*

2. Infiltration facilities must be constructed capable of infiltrating the design storm runoff volume.

Staff Finding: Satisfied with Conditions

This development adds about 2,328 sq ft of impervious surface from the structure. The 6 parking spaces are a total of 1,675 sq ft, and proposed to be surfaced with gravel to minimize new impervious surfaces and stormwater runoff.

Gutters on the structure will exhaust to splash blocks and river rock French drains in both side yards, to allow stormwater to infiltrate into the soil.

Condition of Approval: The applicant shall submit technical drawings of the stormwater facilities (including associated calculations for the design storm and the impervious area) for approval by the city engineer.

7.14 13.01.070 – Access standards.

Where development on private property abutting a right-of-way and requires access, the review and approval of construction permits for regulated activities shall be based on the conformance of the development plans with the standards of this section. The city official may impose any conditions of approval needed to assure that the development plan meets the appropriate standards. To implement this section, the following standards shall apply:

- A. The driveway access location, design, and restoration, shall comply with the requirements of the city official.*
- B. Access ways shall comply with the provisions of the city of White Salmon Land Division Ordinance where applicable.*
- C. Driveways in approved subdivisions shall be constructed in accordance with any applicable design details approved as part of the subdivision design plans.*
- D. No more than one driveway per lot is permitted.*
- E. Driveway location shall comply with applicable spacing standards as specified in Title 17: Zoning, White Salmon Municipal Code.*
- F. Driveway grades shall be compatible with the adjoining roadway profile and shall be designed to prevent access conflicts, spacing problems or any similar safety problems relative to the right-of-way.*
- G. Driveway design and construction shall be compatible with the existing public streets, sidewalks, shoulders, stormwater facilities or any other public facility in or near the right-of-way.*
- H. Driveways shall not be allowed at locations that present a hazard on the roadway as determined by the city official.*

Staff Finding: Satisfied with Conditions.

The following definitions are relevant:

Chapter 13.01 - CONSTRUCTION PERMITTING

13.01.020 - Definitions.

D. "Driveway" means a privately owned access point for a single lot from a city street.

Chapter 17.08 – DEFINITIONS

17.08.560 - Street.

"Street" means a public way which affords a primary means of access to property.

17.08.050 - Alley.

"Alley" means a public right-of-way not over thirty feet wide which affords, generally, a secondary means of access to abutting lots, not intended for general use.

The alley access and parking is therefore not a "driveway" as defined in the Code. It is permissible to have both the primary access from Wyers and the secondary access from the rear alley.

Driveway standards such as spacing are not found in Title 17, but rather in Section 16.65.070, quoted here:

D. Access. Every lot shall be provided with access by a public road or private road connecting to an existing public road, over a permanent easement, inseparable from the lot served. [...]

1. Driveway standards - A minimum of twelve feet of improved driveway width and frontage width shall be provided for each residential driveway. A private driveway will only be approved when it can be demonstrated that the private driveway is designed and can be constructed to function safely. Any private driveway shall be required to be paved for the final twenty feet including the full apron width where the driveway meets the public or private road and to comply with the minimum dimensional standards provided in under subsection B, above. A shared private driveway may be permissible for up to two dwellings. Two dwellings may share a single private driveway where there are spacing constraints or other factors that justify a joint driveway, and it can be demonstrated that a joint or shared driveway can operate safely. [...]

3. [...] If two units will use the drive, a minimum of fifteen feet of pavement width shall be provided along with two feet of improved shoulder on either side of the driveway's paved surface.

The standards for driveway width are met. However, the applicant proposes to keep the driveway and parking areas as gravel for stormwater run-off reasons, and this section 16.65.070 requires pavement, including pavement "for the final twenty feet." To meet the intent of this section and accommodate the increase in traffic in the alley, where we can expect four additional vehicles to routinely travel, staff recommends the following conditions of approval to be met before Certificates of Occupancy are issued.

Condition of Approval: The applicant shall pave the alley from the intersection with S First Ave to and through the property, to match the existing grade and join the existing pavement on the eastern portion of the alley.

Condition of Approval: The applicant shall either install permeable pavers for the driveway and parking area off Wyers, or shall install typical impervious pavement and accommodate that increased stormwater runoff in its stormwater facility calculations and plans.

Condition of Approval: Driveway construction and alley improvements require a Right-of-Way permit.

7.15 WSMC 13.12.030 - Installation of toilet facilities and connection to system required when.

A. The owners of all houses, buildings, or properties used for human occupancy, employment, recreation or other purposes, situated within the city and abutting on any street, alley or right-of-way in which there is now located, or may in the future be located, a public sanitary sewer of the city, are required, at their expense, to install suitable toilet facilities therein, and to apply for a permit and pay the fees therefor to connect such facilities directly with the proper public sewer in accordance with the provisions of this chapter, within one hundred eighty days after the date of official notice to do so, provided that such public sewer is within three hundred feet of the property line at the property owners expense, unless septic is approved by the Klickitat County Department of Health or the connection is determined to be financially impractical by the public works director or their representative.

Staff Finding: Satisfied

This development will connect to public sewer, as shown on the site plan, and no septic system is proposed. Per the Public Works department, sewer connections are available from SE Wyers St.

Condition of Approval: Sewer laterals shall be tapped off the sewer main at a 90-degree angle, per the Public Works Department.

7.16 WSMC 13.16.005 - New water connections—Residences.

One hookup per dwelling unit is required.

Staff Finding: Satisfied

This development will connect to public water, as shown on the site plan. Per the Public Works department, water connections are available from SE Wyers St.

8.0 PUBLIC COMMENTS

Staff received the following comments, summarized below. For the full comments, see attachment #5, Public Comments.

Comment: Amber Johnson from Washington Department of Fish and Wildlife is concerned with the loss of the 24" White Oak tree, states that younger replacement trees cannot provide the same ecological functions for decades, and asks that the applicant create a mitigation plan to achieve no net loss and get it approved by WDFW.

Staff response: Staff contacted Ms. Johnson to discuss whether a mitigation plan is a state requirement; she clarified it is only a request. The City has its own tree protection regulations in WSMC 18.40, as discussed above.

Comment: Tonya Brumley from NW Natural Gas informs that a gas main line is under the alley, there is no gas available from Wyers, and invites the applicant to reach out if they are interested in natural gas service.

Staff response: None

Comment: Klickitat County Public Works said "no comment".

Staff response: None

(Note: Several comments had similar themes; the staff response is consolidated.)

Comment: Ross Henry and Brynion Berkey at 140 SE Wyers St have concerns about the density of the development, the nonconforming lot, and neighborhood consistency. They contest the idea that the Cedar tree needs removal due to hazard. They ask specific questions about front and rear setbacks, lot coverage, lot width, and sidewalks, which are addressed in the staff response below.

Comment: Donna Rockwell has concerns about the density and neighborhood character.

Comment: Sean and Lori Harrod at 127 SE Wyers are opposed to the proposal because it does not fit the neighborhood aesthetic, and they have concerns about a shortage of parking, the inconsistent addressing, the motives of the developers, and short-term rentals.

Comment: Jonathan DeArmond at 181 S First Ave has concerns about the development's use as short-term rentals, as well as density, affordability, removal of old-growth trees especially to accommodate parking, minimum yards, maximum lot coverage, the minimum lot width being nonconforming, and the motives of the developers.

Staff response:

The proposal meet the standards for the R2 zone, including number of dwellings per parcel, minimum yards (setbacks), minimum off-street parking, maximum building height, and maximum lot coverage. These are the standards adopted by the City Council, that staff must legally use to evaluate a proposal, and ultimately how characteristics like privacy, open space, parking availability and access, and neighborhood scale are regulated. This proposal meets the standards, as detailed in the Findings sections above. The following responses are specific to the particular concerns brought by the commenters.

Yards: The definitions for yards in WSMC Chapter 17.08, as follows:

17.08.640 - Yards.

"Yards" means land, unoccupied or unobstructed from the ground upward, except for such encroachments as may be permitted by this title, surrounding a building site.

17.08.650 - Yard, front.

"Front yard" means an open space, other than the court, on the same lot with the building, between the front line of the building (exclusive of steps) and the front property line.

17.08.660 - Yard, rear.

"Rear yard" means an open space on the same line with the building, between the rear line of the building (exclusive of steps, porches and accessory buildings other than garages or workshops addressed in underlying zone) and the rear line of the lot.

Vehicle parking is not explicitly prohibited by these definitions, or by the use limitations in Chapter 17.68 (detailed in Findings section 7.7 and 7.8 above). There is some ambiguity whether "unoccupied" or "unobstructed" applies to buildings or if it should apply to vehicles also. However, it is very typical for residents to park their cars in a driveway, and parking in a driveway would also be within the yard area. WSMC Chapter 10.24 "STOPPING, STANDING AND PARKING" also does not mention parking in yards. Staff finds that parking in a required yard is typical and is not considered a Code violation, and finds no support in the Code that parked vehicles are subject to setbacks or disallowed from parking in required yards.

Lot coverage: The building plans include the area of each unit's footprint on the first page. The proposal meets the standard for maximum lot coverage with about 36%, as detailed in Findings section 7.3 above. The definition for lot coverage in WSMC 17.08.330 includes only buildings, not impervious surfaces.

Lot width: Discussed in Findings section 7.3 above. While this lot could not be created by a land division today, it is legally nonconforming. The nonconformity does not preclude development, provided that other applicable standards can be met.

Sidewalks: Sidewalks are not required by the Code. There are no sidewalks on neighboring parcels to connect with, and requiring them for a single parcel would provide no public benefit.

Addressing: Staff agrees that the addressing is inconsistent. The labels of A/B and 1/2 are not binding. When addresses are formally assigned to the new dwellings, they will follow a standard format as determined by the Planning Department. This is also important for emergency response.

Trees: Regulated trees can be removed for development within the limitations of WSMC 18.40.040. The applicants are required to replace the trees or pay the fee-in-lieu.

9.0 STAFF RECOMMENDATION

Based on the findings above, staff recommends **conditional approval** for this Site and Building Plan Review, subject to the conditions listed below.

10.0 CONDITIONS OF APPROVAL

Staff recommends the following conditions of approval.

1. All residences shall be connected to public water and sewer utilities, including provision of engineered pump systems, if such systems are deemed necessary.
2. Sewer laterals shall be tapped off the sewer main at a 90-degree angle, per the Public Works Department.
3. The two trees removed shall be replaced at a 2-to-1 ratio, according to WSMC 18.40.050. If tree replacements cannot be accommodated on-site, then the applicant or owner shall pay the fee-in-lieu before any building permit is issued, per §18.40.050 (C).
4. The applicant shall pave the alley from the intersection with S First Ave to and through the property, to match the existing grade and join the existing pavement on the eastern portion of the alley.
5. The applicant shall either install permeable pavers for the driveway and parking area off Wyers, or shall install typical impervious pavement and accommodate that increased stormwater runoff in its stormwater facility calculations and plans.
6. Driveway construction and alley improvements require a Right-of-Way permit.
7. The applicant shall submit technical drawings of the stormwater facilities (including associated calculations for the design storm and the impervious area) for approval by the city engineer.
8. No structures may be built on any existing or future easements.
9. All new utilities must be underground.
10. Construction hours are between 7 AM – 7 PM.
11. A copy of the Staff Report and building permits shall be retained on-site while project activity is underway.

Respectfully submitted on May 6, 2026,



Rowan Fairfield, City Planner

APPEALS PROCEDURE

Type II Planning commission decisions may be appealed by parties of record from the open record hearing to the city council, per WSMC 19.10.300. If no appeal is submitted, the decision becomes final at the expiration of the 30-day appeal period.

To appeal, the applicant must file a written appeal within **thirty calendar days** after the notice of the decision. The appeal must be received by 5:00 PM on the last business day of the appeal period, contain the contents required by WSMC 19.10.310, and the appeal fee must be paid.

If a written notice of appeal is received within the specified time, the matter will be referred to the city council. The decision of the council shall be the final city decision.

Project Narrative

The proposed project consists of the construction of two duplex residential buildings connected by a shared breezeway, located in White Salmon, Washington, within an R2-zoned area. The development is designed to comply with the intent and requirements of the R2 zoning designation, providing medium-density residential housing that is compatible with the surrounding neighborhood.

The site will have primary access from Wyers Street, with secondary access from the alley to the north, allowing for efficient circulation, service access, and emergency access as required. The breezeway connection between the two duplex structures provides covered pedestrian circulation while maintaining separation between building masses, helping to reduce visual bulk and enhance site functionality.

Each duplex is intended for residential use only and will meet applicable local, state, and building code requirements, including setbacks, height limits, parking, utilities, and life-safety standards. The project aims to make efficient use of the existing lot while respecting neighborhood character and infrastructure capacity. This narrative is submitted in support of obtaining the necessary building permits and approvals from the City of White Salmon.

LEGEND

PROPERTY LINE	—
SETBACK LINE	- - -
EASEMENT	· · · · ·
CONTOUR LINE	- · - · - ·
CENTER LINE OF ROAD	- · - · - ·
ROOF LINE	—
SEWER/SEPTIC LINE (S/L)	— S/L —
WELL	⊙ W ⊙
WATER LINE (W/L)	— W/L —
UG POWER (UGP)	— UGP —
OH POWER (OHP)	— OHP —
ELEVATIONS	X'



SITE PLAN DRAFTED BY:

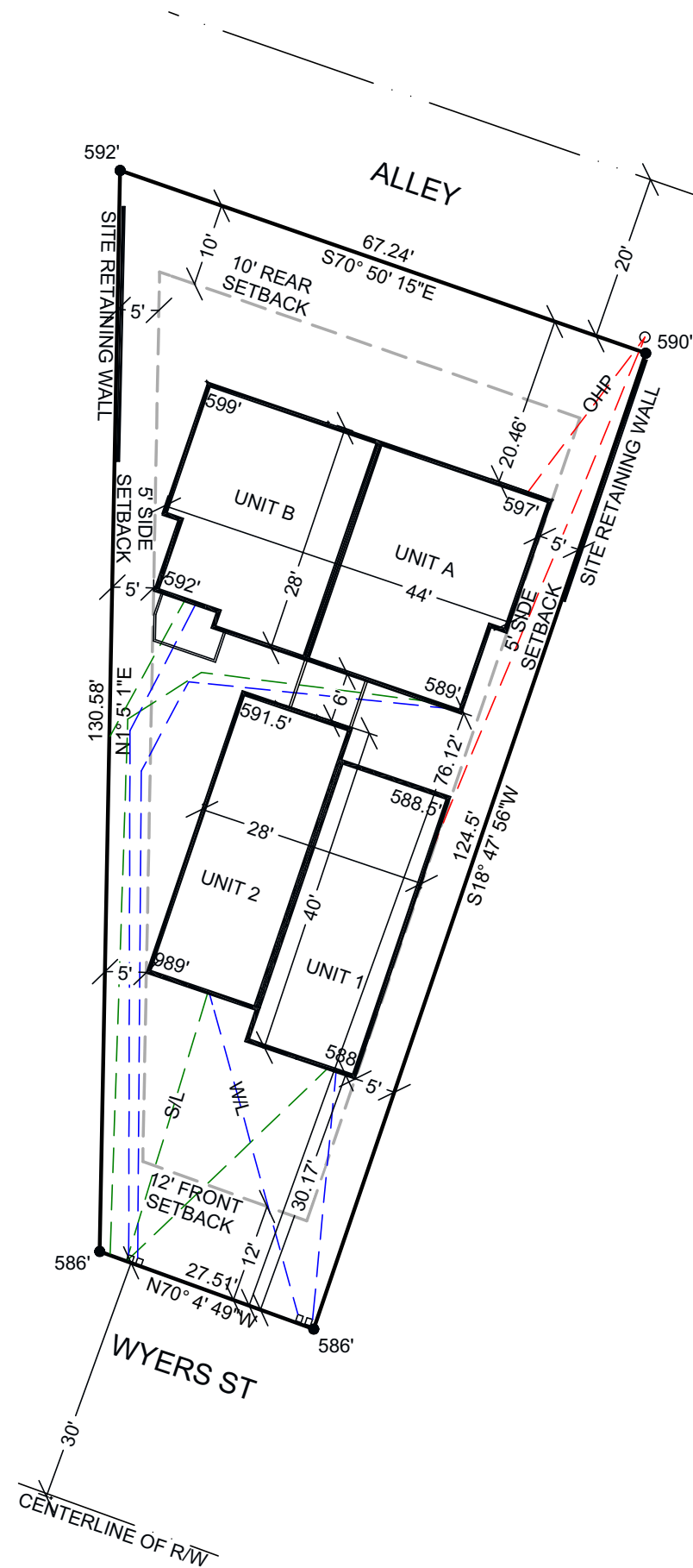
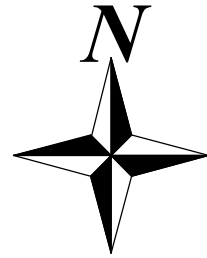


**EVERGREEN
SITE PLANS**

(360) 773-2330

ADDRESS: 130 SE WYERS ST
CITY, STATE: WHITE SALMON, WA
TAX LOT NUMBER: 03111972021300
PROPERTY ID:
SCALE: 1"=20'
DATE: 10/27/2025

CHAVES RESIDENCE SITE PLAN



TRENCHING LENGTHS:
ELECTRICAL APPROX: 75'
WATER APPROX: 275'
SANITARY APPROX: 30'

CUSTOMER INITIALS: _____

DISCLAIMER:
THE BUILDING LOCATIONS, BUILDING DIMENSIONS, AND SETBACKS DEPICTED ON THIS PLOT PLAN ARE ESTIMATED ONLY BASED ON THE LOT DIMENSIONS AVAILABLE AT THE TIME THE HOME ORDER WAS PLACED AND ARE THUS SUBJECT TO CHANGE. CUSTOMER AGREES THAT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK, CUSTOMER MUST APPROVE THE SITE PLAN AND PLACEMENT OF THE HOME ON CUSTOMERS PROPERTY. ADAIR AGREES TO PLACE STAKES DEPICTING THE HOME LOCATION ON THE PROPERTY IN ACCORDANCE WITH THE APPROVED PLOT PLAN AND TO VALIDATE THAT PLACEMENT WITH THE SURVEY ALL OF WHICH CONFORM TO REQUIRED SETBACKS AND EASEMENTS.

CUSTOMER INITIALS: _____ DATE: _____

TERRA SURVEYING
TOPOGRAPHIC/BOUNDARY SURVEY
for
JANAE PAPAZIAN

LOCATION:

TRACT OF LAND LOCATED IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 3 NORTH, RANGE 11 EAST, CITY OF WHITE SALMON WILLAMETTE MERIDIAN, KLIKITAT COUNTY, WASHINGTON.

PROPERTY ADDRESS:
130 SE WYERS STREET
WHITE SALMON, WASHINGTON
98672

ZONING:
CITY OF WHITE SALMON
R-2
2 FAMILY RESIDENTIAL

NARRATIVE:

THE PURPOSE OF THIS SURVEY WAS TO PROVIDE TOPOGRAPHIC DETAIL ON THE SUBJECT PROPERTY FOR ARCHITECTURAL DESIGN PURPOSES.

TOPOGRAPHIC DETAIL WAS DONE ON THE SUBJECT PROPERTY PER THE REQUEST OF THE CLIENT.

CONTOUR INTERVAL IS SHOWN AT 1'.

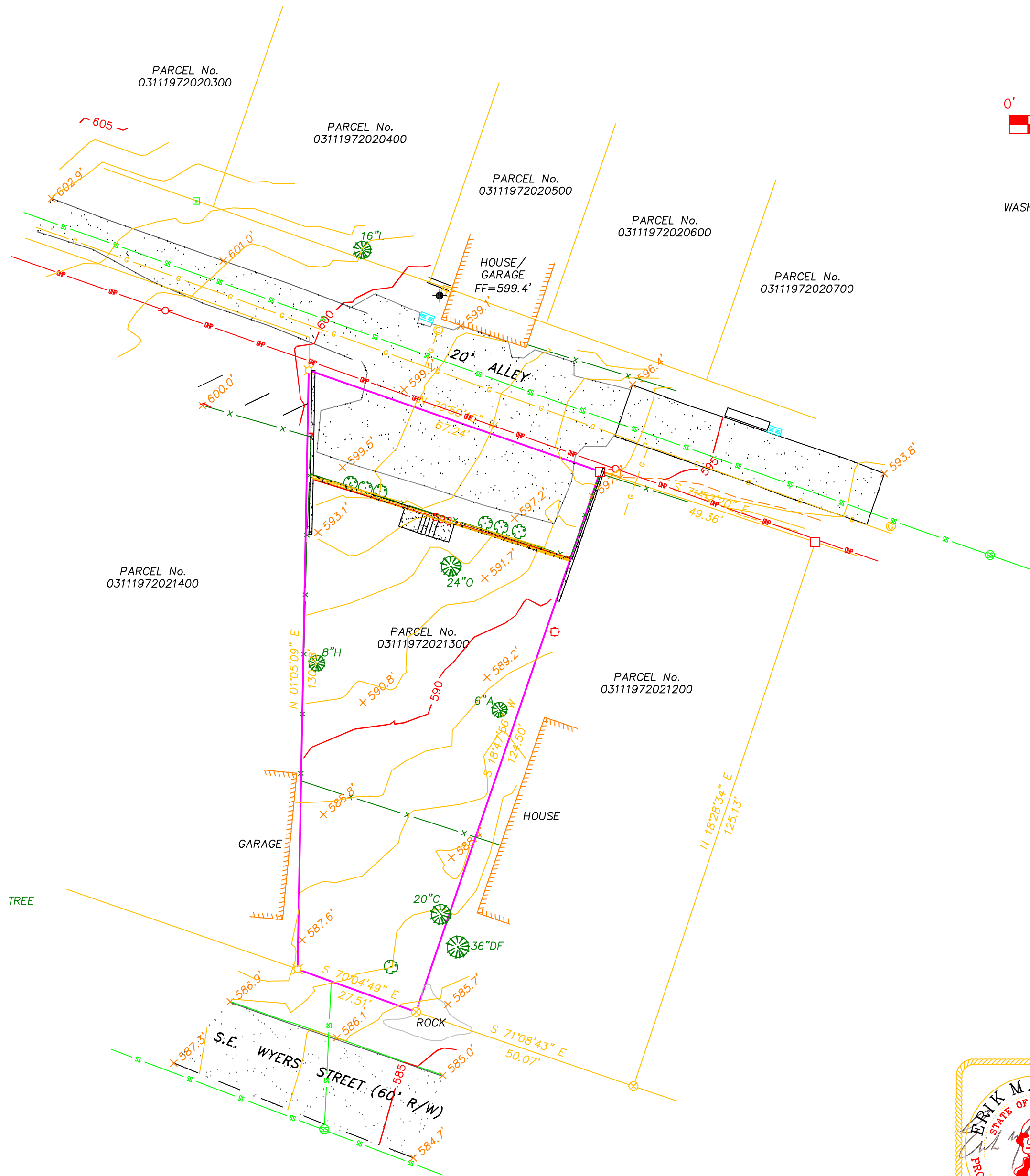
UTILITIES LOCATES TICKET NO. 550014933

LEGEND:

- FOUND MONUMENT, AS NOTED
- ⊗ FOUND 5/8 IRON ROD, L.S. 43141
- ⊗ FOUND 5/8" IRON ROD, NO CAP
- CALCULATED, NOT FOUND OR SET
- () DEED OR PLAT CALL
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ WATER METER
- POWER POLE
- POWER OUTLET
- ⊕ POWER TRANSFORMER
- ⊕ NATURAL GAS VALVE
- ⊕ SANITARY CLEANOUT
- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM SEWER CATCH BASIN
- ⊕ GAS METER
- ◆ 3"X3" CONCRETE BOLLARD
- ⊕ APPLE(A)/ CEDAR(C)/ DOUGLAS FIR(DF)/ HOLLY(H)/ LOCUST(L)/ OAK(O) TREE
- ⊕ ARBORVITAE TREE/ LILAC BUSH
- ⊕ SPOT ELEVATION

LINE/HATCH LEGEND:

- x — EXISTING FENCE
- OP — OVERHEAD POWER LINE
- W — WATER LINE
- S — SANITARY SEWER LINE
- S — STORM SEWER LINE
- G — NATURAL GAS LINE
- ~ ~ ~ VEGETATION EDGE
- ▨ CONCRETE/GRAVEL/PAVEMENT



SCALE: 1" = 20'

BASIS OF BEARING:

WASHINGTON STATE PLANE - SOUTH ZONE (4602)
GRID BEARINGS AND US FEET



TERRA SURVEYING

P.O. BOX 617
HOOD RIVER, OREGON 97031
PHONE: (541) 386-4531
E-Mail: terra@gorge.net

DATE: (REVISED) NOVEMBER 18, 2024
PROJECT: 24125SITE/MP
SCALE: 1" = 20'
PARCEL No: 03111972021300

LEGEND

PROPERTY LINE	—
SETBACK LINE	- - -
EASEMENT	---
CONTOUR LINE	· · ·
CENTER LINE OF ROAD	- · - · -
ROOF LINE	—
SEWER/SEPTIC LINE (S/L)	— S/L —
WELL	⊙
WATER LINE (W/L)	— W/L —
UG POWER (UGP)	— UGP —
OH POWER (OHP)	— OHP —
ELEVATIONS	X'



SITE PLAN DRAFTED BY:



EVERGREEN
SITE PLANS

(360) 773-2330

ADDRESS:
130 SE WYERS ST

CITY, STATE:
WHITE SALMON, WA

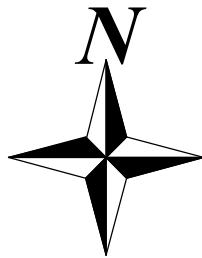
TAX LOT NUMBER:
03111972021300

PROPERTY ID:

SCALE:
1"=20'

DATE:
10/27/2025

CHAVES RESIDENCE SITE PLAN



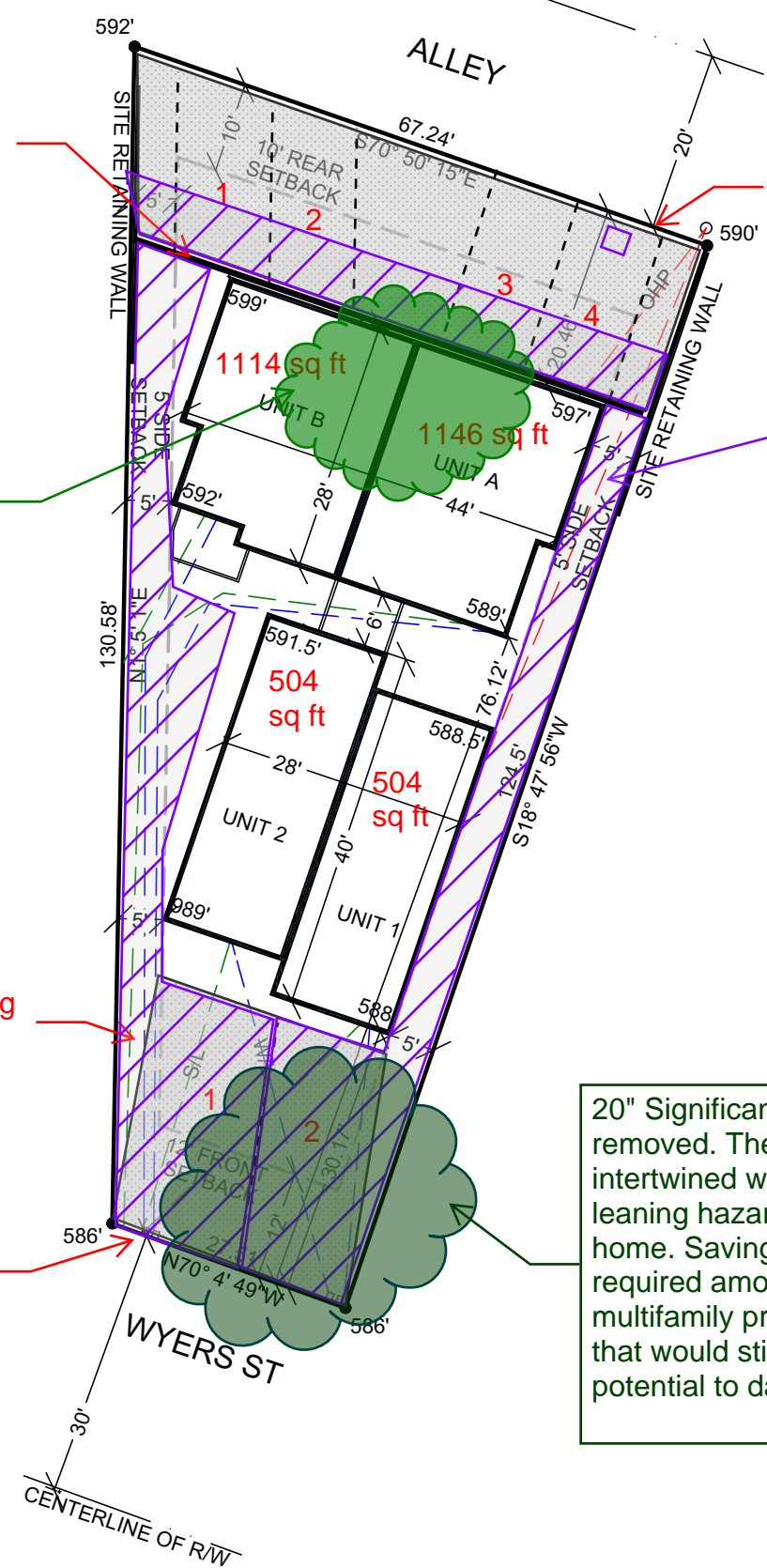
TRENCHING LENGTHS:
ELECTRICAL APPROX: 75'
WATER APPROX: 275'
SANITARY APPROX: 30'

Retention wall with curb

24" special tree, oak specimen, to be removed. It's placement is in the center of the build footprint and prevents lot development. Keeping the oak tree would prevent Units A and B from having 900 sq. ft. 18.40.040.B.3.b

675 sq ft of gravel parking
2 parking spaces 11'x20'

Driveway approach curb.



1000 sq ft of gravel parking
4 parking spaces 10'x19'

Gutters will exhaust out to splash blocks at relevant sides of each unit (east/west). There will be river rock French drainage along each side of the property, splitting respective drainage from structures. The southern parking areas will be used for as additional storm water drainage as needed to create the needed s.f. for the impervious surface.

2244 s.f. of impervious surface
6012 s.f. of lot
37% impervious surface

2244 x.f. of impervious surface = 224.4 c.f. runoff volume

20" Significant tree, Cedar specimen, to be removed. The root system for this tree is intertwined with a Douglass fir tree which is leaning hazardously towards a neighboring home. Saving this cedar tree prevents the required amount of parking for this multifamily project, additionally the parking that would still be existing near this tree has potential to damage the root system.

DISCLAIMER:
THE BUILDING LOCATIONS, BUILDING DIMENSIONS, AND SETBACKS DEPICTED ON THIS PLOT PLAN ARE ESTIMATED ONLY BASED ON THE LOT DIMENSIONS AVAILABLE AT THE TIME THE HOME ORDER WAS PLACED AND ARE THUS SUBJECT TO CHANGE. CUSTOMER AGREES THAT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK, CUSTOMER MUST APPROVE THE SITE PLAN AND PLACEMENT OF THE HOME ON CUSTOMERS PROPERTY. ADAIR AGREES TO PLACE STAKES DEPICTING THE HOME LOCATION ON THE PROPERTY IN ACCORDANCE WITH THE APPROVED PLOT PLAN AND TO VALIDATE THAT PLACEMENT WITH THE SURVEY ALL OF WHICH CONFORM TO REQUIRED SETBACKS AND EASEMENTS.

CUSTOMER INITIALS: _____ DATE: _____

CUSTOMER INITIALS: _____



CITY OF WHITE SALMON CITY HALL OFFICE

Tree Removal Notification Form

1. PROPERTY OWNER INFORMATION

- Name: Juan Chaves and Janae Papazian
- Mailing Address: 9578 NW Maxing Dr. Portland, OR 97220
- Phone Number: 919.400.0779
- Email: janaepapazian@gmail.com

2. SITE INFORMATION

- Site Address: 130 SE Myers St. White Salmon WA 98672
- Parcel Number: 03111972021300
- Zoning District: _____

3. TREE REMOVAL DETAILS

- Total number of trees proposed for removal: All
- Species (if known): 20" Cedar and 24" Oak as well as, Arborvitae, fruit trees, Holly & Grand fir
- Reason for Removal:
 - Dead/Diseased
 - Hazard to Structures or Utilities
 - Invasive Species
 - Site Development
 - Other (please explain): _____
- Tree Diameter at Breast Height (DBH):
 - Tree 1: ___ in Tree 2: ___ in Tree 3: ___ in
- Tree Height Estimate (if known):
 - Tree 1: ___ ft Tree 2: ___ ft Tree 3: ___ ft
- Is the tree located within a critical area or on a slope over 15%?
 - Yes No Unsure
- Will any equipment (e.g., cranes, heavy machinery) be used for removal?
 - Yes No

100 Main Street PO Box 2139 White Salmon, Washington 98672
Telephone: (509) 493-1133 Web Site: whitesalmonwa.gov



**CITY OF WHITE SALMON
CITY HALL OFFICE**

4. REPLANTING PLAN (if applicable)

- **Are replacement trees being planted?** Yes No
If yes, how many? _____
Species and Location: _____

5. ADDITIONAL REQUIREMENTS (Check all that apply)

- Site Plan or sketch showing tree location(s)
- Photos of trees proposed for removal
- Arborist Report (if tree is healthy and removal is not related to hazard)

6. APPLICANT SIGNATURE

I hereby certify that the information provided above is accurate and complete to the best of my knowledge. I understand that removal of trees without notification or required approval may result in enforcement action.

Signed by: Janae Papazian **Date:** 1/7/2026
5CA575A7F84948A

FOR STAFF USE ONLY

- Reviewed More Info Needed Approved Denied

Reviewed By: _____ **Date:** _____

Notes/Conditions:

THE CHAVES RESIDENCE - CUSTOM , STND.

PROJECT DESCRIPTION

<u>AREAS</u>	<u>AREAS</u>
TOTAL: UNIT A-1146 SF / UNIT B-1114 SF	TOTAL: UNIT 1 - 504 SF / UNIT 2 - 504 SF
MAIN FLOOR: UNIT A-552 SF / UNIT B-536 SF	MAIN FLOOR - UNIT 1 - 504 SF / UNIT 2 - 504 SF
UPPER FLOOR: UNIT A-594 SF / UNIT B-578 SF	
BREEZE WAY: 48 SF	
STORIES: 2	STORIES: 1
CONSTRUCTION: WOOD, LIGHT FRAME	CONSTRUCTION: WOOD, LIGHT FRAME
SITE ADDRESS: UNIT A / UNIT B	SITE ADDRESS: UNIT 1 / UNIT 2
130 SE WYERS ST.	130 SE WYERS ST.
WHITE SALMON, WA. 98672	WHITE SALMON, WA. 98672
JURISDICTION: CITY OF WHITE SALMON	JURISDICTION: CITY OF WHITE SALMON



DRAWINGS INDEX

CS	COVER SHEET
N	NOTES
EW	ENERGY PATH - WASHINGTON
A1	EXTERIOR ELEVATIONS
A1.1	EXTERIOR ELEVATIONS
A2	MAIN FLOOR PLAN
A2.1	LOWER FLOOR PLAN
A2.2	UNIT 1 & 2 FLOOR PLAN
A3	FOUNDATION PLAN
A3.1	FLOOR JOIST PLAN
A3.2	UNIT 1 & 2 FOUNDATION PLAN
A4	MAIN FRAMING PLAN
A4.1	LOWER FRAMING PLAN
A4.2	UNIT 1 & 2 FRAMING PLAN
A5	ROOF PLAN
A5.1	UNIT 1 & 2 ROOF PLAN
A6	BUILDING SECTIONS
A6.1	UNIT 1 & 2 BUILDING SECTIONS
A7	CABINET DETAILS
A7.1	UNIT 1 & 2 CABINET DETAILS

CODE INFORMATION

2021 IRC W/ WASHINGTON AMENDMENTS
2021 WASHINGTON STATE ENERGY CODE

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND THE CONSTRUCTION DRAWINGS PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ADAIR HOMES IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CROSS CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE STRUCTURAL AND OTHER DRAWINGS AS APPLICABLE. NOTIFY ADAIR HOMES OF ANY DISCREPANCIES BEFORE COMMENCING WORK.
- WHERE NO SPECIFIC STANDARDS ARE APPLIED TO A MATERIAL OR METHOD OF CONSTRUCTION TO BE USED IN THE WORK, ALL SUCH MATERIALS AND METHODS ARE TO MAINTAIN THE STANDARDS OF THE INDUSTRY.
- ALL CONSTRUCTION WORK SHALL BE DONE IN COMPLIANCE WITH THE LATEST EDITION OF THE APPLICABLE BUILDING CODE AS AMENDED BY THE STATE AND ALL OTHER STATE AND LOCAL REQUIREMENTS THAT APPLY.
- MATERIALS, EQUIPMENT, ETC., NOT INDICATED ON DRAWINGS OR SPECIFIED HEREIN BUT REQUIRED FOR THE SUCCESSFUL COMPLETION OF THE INSTALLATION SHALL BE HELD TO BE IMPLIED AND SHALL BE FURNISHED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
- ERRORS OR OMISSIONS IN ANY SCHEDULE OR DRAWING DO NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE WORK INTENDED IN THE DRAWINGS OR SPECIFICATIONS.

DESIGN CRITERIA

SEISMIC DESIGN CATEGORY: C
WIND SPEEDS: < OR = TO 85mph Vasd / 110mph Vult
EXPOSURE CATEGORY: B
SOILS BEARING CAPACITY: 1500#
ROOF SNOW LOAD: 40#
FROST DEPTH: 18"

TYPICAL ABBREVIATIONS

CL	CENTER LINE	CPT	CARPET	HVAC	HEATING, VENTILATION & AIR CONDITIONING	SYM	SYMBOL OR SYMMETRICAL
°	DEGREE(S)	CTR	CENTER	LTBD	LOCATION TO BE DETERMINED	T&B	TOP AND BOTTOM
"	INCH(ES)	CTSK	COUNTERSINK	MAX	MAXIMUM	T&G	TONGUE AND GROOVE
'	FOOT (FEET)	DED	DEDICATED	MIN	MINIMUM	TEMP	TEMPERED OR TEMPORARY
#	NUMBER OR POUND	DIA	DIAMETER	MTL	METAL	TKC	TIGHT KNOT CEDAR
x	BY (2 x 4)	DIM	DIMENSION	NTS	NOT TO SCALE	TO	TOP OF
AB	ANCHOR BOLT	DN	DOWN	OBS	OBSURE	TOD	TOP OF DECK
A/C	AIR CONDITIONING	DW	DISHWASHER	OC	ON CENTER	TOS	TOP OF SLAB
ADJ	ADJUST(ABLE)	EA	EACH	OPP	OPPOSITE	TOW	TOP OF WALL
AFF	ABOVE FINISHED FLOOR	EXT	EXTERIOR OR EXTENSION	OPT.	OPTIONAL	TYP	TYPICAL
ALT	ALTERNATE, ALTERNATIVE	FF	FINISHED FLOOR	OSB	ORIENTED STRAND BOARD	UM.	UNDERMOUNT
BD	BOARD	FDN	FOUNDATION	OSB	ORIENTED STRAND BOARD	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	FLR.	FLOOR	PL	PLATE	VERT	VERTICAL
BLK	BLOCK	FO	FACE OF	PT	PRESSURE TREATED	VIF	VERIFY IN FIELD
BLKG	BLOCKING	FOC	FACE OF CONCRETE	PWD	PLYWOOD	W/	WITH
BS	BOTH SIDES	FOF	FACE OF FINISH	QTY	QUANTITY	W/	WOOD
CL	CENTER LINE	FOS	FACE OF STUD	REQ'D	REQUIRED	WH	WATER HEATER
CLG	CEILING	GYP	GYP SUM	RM	ROOM	W/O	WITHOUT
CLO	CLOSET	GYP BD	GYP SUM BOARD (SHEETROCK)	RO	ROUGH OPENING		
CLR	CLEAR(ANCE)	HDW	HARDWARE	RS	ROUGH SAWN		
CMFT.	COMFORT HEIGHT	HT	HEIGHT	STN	STONE VENEER		
CONC.	CONCRETE			SIM	SIMILAR		

REVISION HISTORY

#	DATE	DESCRIPTION



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:
130 SE WYERS ST.
WHITE SALMON, WA. 98672

PLAN ORIENTATION:
STANDARD

GARAGE CONFIGURATION:
INTEGRAL

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

SCALE:
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:
CS

COVER SHEET

<p>ENGINEERED</p> <p>1) THIS PLAN IS Laterally and vertically engineered. 2) ENGINEERED REQUIREMENTS AND DETAILS (SEE 'S' SHEETS) SUPERSEDE ARCHITECTURAL DETAILS FOR SAID ELEMENTS OR PLAN. 3) ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE AVAILABLE ON THE JOB SITE AT THE TIME OF INSPECTION FOR THE INSPECTOR'S USE AND REFERENCE.</p>	<p>FRAMING NOTES</p> <p>1) ALL EXTERIOR WALL STUDS, HOUSE AND GARAGE, SHALL BE 2x6 @ 16" OC. 2) WALL STUDS SHALL BE DF/L #2, UNLESS NOTED OTHERWISE. 3) STRUCTURAL MEMBERS (POSTS, BEAMS, ETC) SHALL BE A MIN OF DF/L #2, UNLESS NOTED OTHERWISE. ALL STUDS AT WHERE HOLDDOWNS ATTACH SHALL BE DF-L #2. 4) WOOD IN CONTACT WITH CONCRETE SHOULD BE PRESERVATIVE-TREATED (PT) WOOD IN ACCORDANCE WITH AWPA U1 AND M4 STANDARDS. 5) PROVIDE MIN. A SINGLE OR MULTIPLE STUDS UNDER GIRDER BEARING POINTS TO MATCH THE NUMBER OF MEMBERS IN THE TRUSS, UNLESS NOTED OTHERWISE. 6) DOOR ROUGH OPENINGS SHALL BE A MINIMUM OF 3" FROM THE FACE OF ADJACENT WALLS. 7) PROVIDE SOLID HEADERS IN OPENINGS IN INTERIOR BEARING WALLS. 8) BEAMS SHALL BE ATTACHED TO POSTS AND POSTS TO FOOTINGS/SUPPORT MEMBERS WITH APPROPRIATE FASTENERS. FASTENERS INSTALLED IN PRESERVATIVE-TREATED (PT) WOOD SHALL BE HOT-DIPPED ZINC COATED GALVANIZED WITH MIN. COATING WEIGHT COMPLYING WITH ASTM A 153. THIS INCLUDES NUTS AND WASHERS. FASTENERS OTHER THAN NAILS AND TIMBER RIVETS ARE PERMITTED TO BE MECHANICALLY DEPOSITED ZINC-COATED WITH COATING WEIGHTS COMPLYING WITH ASTM B 695, CLASS 55 MIN. PLAIN CARBON STEEL FASTENERS IN PT WOOD WITH SBX/DOT OR ZINC BORATE ARE NOT REQUIRED TO BE GALVANIZED. 9) STUD HEIGHT IS DEPENDENT ON BUILDING PLATE HEIGHT: 92 5/8" TALL STUDS = 8' PLATE 104 5/8" TALL STUDS = 9' PLATE 116 5/8" TALL STUDS = 10' PLATE 10) SEE ENGINEER'S PLANS ('S' SHEETS) FOR WINDOW/ DOOR HEADER CALLOUTS. 10) SEE 'D' SHEETS FOR FRAMING DETAILS AS WELL AS ENGINEER'S 'S' OR 'D' SHEETS. 11) FIREBLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS (R302.11): - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS (VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET) - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. - AT CHIMNEYS AND FIREPLACES.</p>	<p>FLOOR JOIST NOTES</p> <p>1) SEE PLANS FOR JOIST LAYOUT. 2) FLOOR JOISTS SHALL BE BLOCKED PER THE JOIST MANUFACTURER'S INSTRUCTIONS. 3) FULL DEPTH BLOCKING SHALL BE PROVIDED AT INTERMEDIATE JOIST SUPPORTS. 4) LATERAL RESTRAINT OF FLOOR JOISTS AT JOIST ENDS TO BE PROVIDED PER DETAIL 1/D1 AND PER THE ENGINEER OF RECORD. 5) JOISTS TO BE HUNG TO BEAMS HELD UP IN FLOOR SYSTEM WITH APPROVED JOIST HANGERS. 6) PENETRATIONS THROUGH JOIST WEBS TO BE PERMITTED PER MANUFACTURER'S SPECIFICATIONS ONLY. 7) OFFSET JOISTS TO AVOID PLUMBING, ETC. PER JOIST LAYOUT AND/OR MANUFACTURER'S SPECIFICATIONS. OFFSETS SHALL NOT EXCEED 3".</p>	<p>ELECTRICAL NOTES</p> <p>1) ACTUAL LOCATION OF ELECTRICAL OUTLETS, ELECTRIC RESISTANCE HEATERS, THERMOSTATS, AND ALL ELECTRICAL COMPONENTS SHALL BE DETERMINED BY THE ELECTRICIAN AND INSTALLED TO CODE. 2) ALL HABITABLE ROOMS, BATHROOMS, HALLWAYS, STAIRWAYS AND GARAGES TO HAVE A MINIMUM OF ONE WALL SWITCH-CONTROLLED LIGHTING FIXTURE OR OUTLET. 3) STAIRWAYS MUST BE ILLUMINATED IN ONE OF TWO WAYS: a) ARTIFICIAL LIGHTING IN THE VICINITY OF EACH LANDING (TOP, BOTTOM, AND INTERMEDIATE). b) ARTIFICIAL LIGHTING OVER EACH INDIVIDUAL STAIRWAY SECTION. 4) STAIRWAYS SHALL HAVE HAVE A CONTROL SWITCH AT EACH FLOOR. 5) AT LEAST ONE WALL-SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF EACH OUTDOOR EGRESS DOOR HAVING GRADE LEVEL ACCESS, INCLUDING OUTDOOR EGRESS DOORS FOR ATTACHED GARAGES AND DETACHED GARAGES WITH ELECTRIC POWER. 5) RANGE HOOD EXHAUST FAN RATE TO BE MIN. 150 CFM. RANGE HOODS CAPABLE OF EXHAUSTING MORE THAN 400 CFM REQUIRE MAKE UP AIR (IRC M1503.6) 6) BATHROOM EXHAUST FAN RATE TO BE MIN. 80 CFM 7) PROVIDE (1) CONTINUOUSLY OPERATING EXHAUST FAN PER HOME. SEE PLANS FOR LOCATION. 8) RECEPTACLE OUTLETS SHALL BE DISTRIBUTED IN EVERY HABITABLE ROOM (KITCHEN, BEDROOM, LIVING ROOM, DINING ROOM, ETC) SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET. 9) COUNTERTOP RECEPTACLES SHALL BE INSTALLED AT EVERY WALL COUNTERTOP SPACE THAT IS 12" OR WIDER AND SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET IN THAT SPACE. 10) AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH ISLAND OR PENINSULAR COUNTERTOP SPACE WITH A LONG DIMENSION OF 24" OR GREATER AND A SHORT DIMENSION OF 12" OR GREATER. 11) AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS AND SUCH OUTLET SHALL BE LOCATED WITHIN 36" OF THE OUTSIDE EDGE OF EACH LAVATORY BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE LAVATORY BASIN LOCATION. 12) ALL BATHROOM, GARAGE, OUTDOOR, UNFINISHED BASEMENT AND KITCHEN COUNTERTOP RECEPTACLE OUTLETS SHALL HAVE GFCI PROTECTION (IRC E3902). 13) ALL RECEPTACLES THAT ARE LOCATED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK SHALL HAVE GFCI PROTECTION (IRC E3902.7). 14) THE RECEPTACLE SUPPLYING THE DISHWASHER SHALL HAVE GFCI PROTECTION (IRC E3902.10). 15) ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE, 15- AND 20-AMP OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, GREAT ROOMS, DENS, BEDROOMS, CLOSETS, LAUNDRY ROOMS, HALLWAYS AND OTHER SIMILAR ROOMS OR AREAS SHALL HAVE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION PER SECTION E3902.16.</p>	<p>ADDRESS:</p> <p>2021 IRC</p> <p>130 SE WYERS ST. WHITE SALMON, WA. 98672</p> <p>SCALE: 11/12/2025 DATE: 11/12/2025 DRAFTED BY: WD REV:</p>	<p>PAGE: N</p>																							
<p>FOUNDATION NOTES</p> <p>1) MIN. COMPRESSIVE STRENGTH OF CONCRETE (TABLE R402.2) U.N.O. PER ENGINEER:</p> <table border="1" data-bbox="177 459 640 772"> <thead> <tr> <th rowspan="2">TYPE/LOCATION</th> <th colspan="3">WEATHERING POTENTIAL</th> </tr> <tr> <th>NEGLECTIBLE</th> <th>MODERATE</th> <th>SEVERE</th> </tr> </thead> <tbody> <tr> <td>FOUNDATIONS, BASEMENT WALLS, CONCRETE NOT EXP. TO WEATHER</td> <td>2500 PSI</td> <td>2500 PSI</td> <td>2500 PSI AIR ENTRAINED</td> </tr> <tr> <td>BASEMENT SLABS</td> <td>2500 PSI</td> <td>2500 PSI</td> <td>2500 PSI AIR ENTRAINED</td> </tr> <tr> <td>FOUNDATIONS, BASEMENT WALLS, OTHER VERT CONC EXPOSED TO WEATHER</td> <td>2500 PSI</td> <td>3000 PSI AIR ENTRAINED</td> <td>3000 PSI AIR ENTRAINED</td> </tr> <tr> <td>GARAGE FLOOR SLABS, PORCHES & STEPS EXP. TO WEATHER</td> <td>2500 PSI</td> <td>3000 PSI AIR ENTRAINED</td> <td>3500 PSI AIR ENTRAINED</td> </tr> </tbody> </table> <p>2) FOUNDATIONS WITH STEM WALLS SHALL HAVE REINFORCEMENT PER ENGINEER. 3) BOTTOM REINFORCEMENT SHALL BE PLACED A MIN OF 3" ABOVE THE BOTTOM OF THE FOOTING. 4) MUDSILLS AT EXTERIOR WALLS, INTERIOR BEARING WALL SOLE PLATES, AND INTERIOR BRACED WALL PLATES THAT ARE SUPPORTED ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION WITH MIN. 5/8" ANCHOR BOLTS @ 4'-0" OC. MIN. ANCHOR BOLTS AT BOARD ENDS ARE TO BE A MAX. OF 12" AND NOT LESS THAN 7 BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. ANCHOR BOLTS TO HAVE MIN. 7" EMBEDMENT INTO CONCRETE FOUNDATION. OTHER INTERIOR BEARING WALLS NOT DENOTED ON THE PLANS AS REQUIRING ANCHOR BOLTS, SHALL BE CONNECTED TO FOOTINGS WITH APPROVED FASTENERS. (R403.1.6 & R403.1.6.1) 5) CONCRETE PAD FOOTINGS SHALL HAVE REINFORCEMENT PER ENGINEER. 6) A PLATE WASHER CONFORMING TO SECTION R602.11.1 SHALL BE PROVIDED FOR ALL ANCHOR BOLTS. PLATE WASHER TO BE A MIN. OF 0.229 INCH x 3 INCHES x 3 INCHES. 7) ADJUST FOOTING DEPTH AS NECESSARY PER FROST DEPTH REQUIREMENTS. 8) CRAWL SPACE VENTILATION SHALL BE PROVIDED PER IRC R408.1. SEE FOUNDATION PLAN FOR VENTILATION CALCULATIONS. A FOUNDATION VENT SHALL BE PROVIDED WITHIN 3' OF BUILDING CORNERS. INSTALL CLASS 1 VAPOR BARRIER IN CRAWL SPACE PER MANUF. SPECIFICATIONS (JOINTS LAPPED 12" AT SEAMS AND EXTEND MIN. 12" UP FOUNDATION WALLS).</p>	TYPE/LOCATION	WEATHERING POTENTIAL			NEGLECTIBLE	MODERATE	SEVERE	FOUNDATIONS, BASEMENT WALLS, CONCRETE NOT EXP. TO WEATHER	2500 PSI	2500 PSI	2500 PSI AIR ENTRAINED	BASEMENT SLABS	2500 PSI	2500 PSI	2500 PSI AIR ENTRAINED	FOUNDATIONS, BASEMENT WALLS, OTHER VERT CONC EXPOSED TO WEATHER	2500 PSI	3000 PSI AIR ENTRAINED	3000 PSI AIR ENTRAINED	GARAGE FLOOR SLABS, PORCHES & STEPS EXP. TO WEATHER	2500 PSI	3000 PSI AIR ENTRAINED	3500 PSI AIR ENTRAINED	<p>HVAC NOTES</p> <p>1) ALL NEW DUCT SYSTEMS AND AIR HANDLING EQUIPMENT AND APPLIANCES SHALL BE LOCATED FULLY WITHIN THE BUILDING THERMAL ENVELOPE N1105.3 EXCEPTIONS: 1. VENTILATION INTAKE DUCTWORK AND EXHAUST DUCTWORK 2. UP TO 5 PERCENT OF THE LENGTH OF AN HVAC SYSTEM DUCTWORK SHALL BE PERMITTED TO BE LOCATED OUTSIDE OF THE THERMAL ENVELOPE 3. DUCTS DEEPLY BURIED IN INSULATION IN ACCORDANCE WITH ALL THE FOLLOWING: 3.1 INSULATION SHALL BE INSTALLED TO FILL GAPS AND VOIDS BETWEEN THE DUCT AND THE CEILING, AND A MINIMUM OF R-19 SHALL BE INSTALLED ABOVE THE DUCT BETWEEN THE DUCT AND UNCONDITIONED ATTIC. 3.2 INSULATION DEPTH MARKER FLAGS SHALL BE INSTALLED ON THE DUCTS EVERY 10 (3048mm) OR AS APPROVED BY THE BUILDING OFFICIAL. 2) BATHROOM EXHAUST FANS AND OUTDOOR VENTILATION SUPPLY FANS SHALL BE ENERGY STAR CERTIFIED</p>	<p>FLOOR PLAN NOTES</p> <p>1) BEDROOMS, HABITABLE ATTICS, AND BASEMENTS SHALL HAVE AT LEAST ONE EMERGENCY EGRESS WINDOW. WHERE BASEMENTS HAVE MULTIPLE BEDROOMS, EACH BEDROOM SHALL HAVE AN EGRESS WINDOW. EGRESS WINDOWS SHALL MEET THE FOLLOWING REQUIREMENTS: - SILL HEIGHT NOT MORE THAN 44" AFF - CLEAR NET OPENING AREA OF 5.7 SF - CLEAR NET OPENING HEIGHT OF 24" - CLEAR NET OPENING WIDTH OF 20" 2) WHERE THE OPENING OF AN OPERABLE WINDOW IS MORE THAN 72" ABOVE GRADE, THE SILL SHALL NOT BE LESS THAN 24" AFF. IF THE SILL HEIGHT IS LESS THAN 24", THE WINDOW SHALL BE EQUIPPED WITH AN OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090. 3) PROVIDE A SMOKE DETECTOR IN EVERY BEDROOM. PROVIDE A COMBINATION CARBON MONOXIDE / SMOKE DETECTOR TO THE COMMON SPACE (HALLWAY, BONUS ROOM, ETC) ON EACH FLOOR. CO/SD DETECTOR TO BE WITHIN 14' OF EACH BEDROOM ENTRANCE. MULTIPLE CO/SD DETECTORS MAY BE NECESSARY ON A SINGLE FLOOR PER PLAN LAYOUT. SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WILL PREVENT THE PLACEMENT OF A REQUIRED SMOKE ALARM. 4) PROVIDE INSULATION DAMS AT ALL CEILING MOUNTED HEATER LOCATIONS (IF APPLICABLE). 5) NATURAL LIGHT TO BE PROVIDED AT A RATIO OF 8% OF FLOOR AREA OF HABITABLE ROOMS. NATURAL VENTILATION TO BE PROVIDED AT A RATIO OF 4% OF FLOOR AREA OF HABITABLE ROOMS. 6) ALL INTERIOR WALL SURFACES AND CEILINGS TO BE SHEETROCKED WITH 1/2" GYP BD, OR AS REQUIRED PER LOCAL JURISDICTIONAL REQUIREMENTS. THIS WILL INCLUDE ANY ACCESSIBLE UNDER-STAIR LOCATIONS. ALL TUB/SHOWER ENCLOSURES SHALL HAVE WATER RESISTANT GYP BD. 7) ACCESS HATCHES & DOORS FROM CONDITIONED SPACES TO UNCONDITIONED SPACES (ATTIC AND CRAWL SPACES) SHALL BE WEATHERSTRIPPED & INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES (R402.2.4) 8) APPLY 1/2" GYP BD TO GARAGE WALLS AND CEILING. IF THERE IS HABITABLE SPACE ABOVE THE GARAGE, THE LID SHALL HAVE 5/8" TYPE 'X' GYP BD, AND ALL SUPPORTING WALLS 1/2" GYP BD. (LOCAL JURISDICTIONAL REQUIREMENTS MAY SUPERSEDE THESE REQUIREMENTS - CHECK WITH LOCAL JURISDICTION)</p>	<p>CHAVES CUSTOM - 366</p> <p>IFIMS MODEL CODE - JOB #: WOWA - CUSTOM</p> <p>PLAN ORIENTATION: STANDARD</p> <p>GARAGE CONFIGURATION: INTEGRAL</p> <p>NOTES</p>	<p>ADAIR HOMES INC. © COPYRIGHT 2025</p> <p>ADAIR HOMES, INC 4400 NE 77TH AVE SUITE 100 VANCOUVER, WA 98662</p>	<p>ADAIR HOMES INC. © COPYRIGHT 2025</p> <p>ADAIR HOMES, INC 4400 NE 77TH AVE SUITE 100 VANCOUVER, WA 98662</p>
TYPE/LOCATION		WEATHERING POTENTIAL																										
	NEGLECTIBLE	MODERATE	SEVERE																									
FOUNDATIONS, BASEMENT WALLS, CONCRETE NOT EXP. TO WEATHER	2500 PSI	2500 PSI	2500 PSI AIR ENTRAINED																									
BASEMENT SLABS	2500 PSI	2500 PSI	2500 PSI AIR ENTRAINED																									
FOUNDATIONS, BASEMENT WALLS, OTHER VERT CONC EXPOSED TO WEATHER	2500 PSI	3000 PSI AIR ENTRAINED	3000 PSI AIR ENTRAINED																									
GARAGE FLOOR SLABS, PORCHES & STEPS EXP. TO WEATHER	2500 PSI	3000 PSI AIR ENTRAINED	3500 PSI AIR ENTRAINED																									

SECTION R402 - BUILDING THERMAL ENVELOPE

R402.1 General (Prescriptive). The building thermal envelope shall meet the requirements of Sections R402.1.1 through R402.1.6.
 R402.4.1.2 Testing. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 4.0 air changes per hour. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals).

SECTION R403 - SYSTEMS

R403.5.3 Hot water pipe insulation. Insulation for hot water pipe, both within and outside the conditioned space, shall have a minimum thermal resistance (R-value) of R-3.
 Exception: Pipe insulation is permitted to be discontinuous where it passes through studs, joists or other structural members and where the insulated pipes pass other piping, conduit or vents, provided the insulation is installed tight to each obstruction.

SECTION R404 - ELECTRICAL POWER AND LIGHTING SYSTEMS

R404.1 Lighting equipment. All permanently installed lighting fixtures, excluding kitchen appliance lighting fixtures, shall contain only high-efficacy lighting sources.
 R404.1.1 Exterior lighting. Connected exterior lighting for residential buildings shall comply with Section C405.5. Exceptions: Solar-powered lamps not connected to any electrical service.
 R404.1.2 Fuel gas lighting equipment. Fuel gas lighting systems shall not have continuously burning pilot lights.

R404.2 Interior lighting controls. Permanently installed interior lighting fixtures shall be controlled with either a dimmer, an occupant sensor control or other control that is installed or built into the fixture.
 Exception: Lighting controls shall not be required for the following:
 1. Bathrooms.
 2. Hallways.
 3. Lighting designed for safety or security.

R404.3 Exterior lighting controls. Where the total permanently installed exterior lighting power is greater than 30 watts, the permanently installed exterior lighting shall comply with the following:
 1. Lighting shall be controlled by a manual on and off switch which permits automatic shut-off actions. Exception: Lighting serving multiple dwelling units.
 2. Lighting shall be automatically shut off when daylight is present and satisfies the lighting needs.
 3. Controls that override automatic shut-off actions shall not be allowed unless the override automatically returns automatic control to its normal operation within 24 hours.

**SECTION R406
 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS**

R406.1 Scope. This section establishes additional energy efficiency requirements for all new construction covered by this code, including additions subject to Section R502 and change of occupancy or use subject to Section R505 unless specifically exempted in Section R406. Credit from both Sections R406.2 and R406.3 are required.
 R406.2 Carbon emission equalization. This section establishes a base equalization between fuels used to define the equivalent carbon emissions of the options specified. The permit shall define the base fuel selection to be used and the points specified in Table R406.2 shall be used to modify the requirements in Section R406.3.
 R406.3 Additional energy efficiency requirements. Each dwelling unit in a residential building shall comply with sufficient options from Tables R406.2 and R406.3 so as to achieve the following minimum number of credits:

- 1. Small Dwelling Unit: 5.0 credits Dwelling units less than 1500 square feet in conditioned floor area with less than 300 square feet of fenestration area. Additions to existing building greater than 500 square feet of heated floor area but less than 1500 square feet.
- 2. Medium Dwelling Unit: 8.0 credits All dwelling units that are not included in #1, #3 or #4.
- 3. Large Dwelling Unit: 9.0 credits Dwelling units exceeding 5000 square feet of conditioned floor area.
- 4. Dwelling units serving Group R-2 occupancies: 6.5 credits See Section R401.1 and residential building in Section R202 for Group R-2 scope.
- 5. Additions 150 square feet to 500 square feet: 2.0 credits

The drawings included with the building permit application shall identify which options have been selected and the point value of each option, regardless of whether separate mechanical, plumbing, electrical, or other permits are utilized for the project.

TABLE R406.2 ENERGY EQUALIZATION CREDITS

System Type	Description of Primary Heating Source	Credits
<input type="checkbox"/>	1. For combustion heating equipment meeting minimum federal efficiency standards for the equipment listed in Table C403.3.2(5) or C403.3.2(6)	0
<input type="checkbox"/>	2. For an initial heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) and supplemental heating provided by electric resistance or a combustion furnace meeting minimum standards listed in Table C403.3.2(5)b	1.5
<input type="checkbox"/>	3. For heating system based on electric resistance only (either forced air or Zonal)	0.5
<input checked="" type="checkbox"/>	4c. For heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) or C403.3.2(9) or Air to water heat pump units that are configured to provide both heating and cooling and are rated in accordance with AHRI 550/590	3.0
<input type="checkbox"/>	5. For heating system based on electric resistance with: 1. Inverter-driven ductless mini-split heat pump system installed in the largest zone in the dwelling, or 2. With 2kW or less total installed heating capacity per dwelling	2.0
a.	Additional points for the HVAC system are included in Table R406.3.	

**TABLE 406.3
 ENERGY CREDITS - DUCTED HVAC**

Option	Description	Credits
1. EFFICIENT BUILDING ENVELOPE OPTIONS		
<input type="checkbox"/>	1.2 Prescriptive compliance is based on Table R402.1.3 with the following modifications: Vertical fenestration U = 0.25 Floor R-38 Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab or Compliance based on Section R402.1.5: Reduce the Total conductive UA by 15%.	1.0
<input type="checkbox"/>	1.3 Prescriptive compliance is based on Table R402.1.3 with the following modifications: Vertical fenestration U = 0.18 Ceiling and single-rafter or joist-vaulted R-60 advanced Wood frame wall R-21 int plus R-12 ci Floor R-38 Basement wall R-21 int plus R-12 ci Slab on grade R-10 perimeter and under entire slab Below grade slab R-10 perimeter and under entire slab or Compliance based on Section R402.1.5: Reduce the Total conductive UA by 22.5%.	1.5

Option	Description	Credits
2. AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION OPTIONS		
<input type="checkbox"/>	2.1 Compliance based on Section R402.4.1.2: Reduce the tested air leakage to 2.0 air changes per hour maximum at 50 Pascals, or for R-2 Occupancies, optional compliance based on Section R402.4.1.2: Reduce the tested air leakage to 0.25 cfm/ft2 maximum at 50 Pascals and All whole house ventilation requirements as determined by Section M1505.3 of the International Residential Code or Section 403.8 of the International Mechanical Code shall be met with a heat recovery ventilation system with minimum sensible heat recovery efficiency of 0.65. To qualify to claim this credit, the building permit drawings shall specify the option being selected, the maximum tested building air leakage, and shall show the qualifying ventilation system and its control sequence of operation.	1.0

Option	Description	Credits
3. HIGH EFFICIENCY HVAC EQUIPMENT OPTIONS		
Only one option from Items 3.1 through 3.10 may be selected in this category. Item 3.11 may be taken with Items 3.1 or 3.3c only.		
<input checked="" type="checkbox"/>	3.7a,d,e Ductless split system heat pumps with no electric resistance heating in the primary living areas. A ductless heat pump system with a minimum HSPF 2 of 9 (HSPF of 10) shall be sized and installed to provide heat to entire dwelling unit at the design outdoor air temperature. Exception: In homes with total heating loads of 24,000 or less using multi-zone mini-split systems with nominal ratings of 24,000 or less, the minimum HSPF s to claim this credit shall be 8.19 HSPF 2 (or 9 HSPF). To qualify to claim this credit, the building permit drawings shall specify the option being selected, the heated floor area calculation, the heating equipment type(s), the minimum equipment efficiency, and total installed heat capacity (by equipment type).	2.0

Option	Description	Credits
4. HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM OPTIONS		
<input type="checkbox"/>	4.1 HVAC equipment and associated duct system(s) installation shall comply with the requirements of Section R403.3.2. Electric resistance heat, hydronic heating and ductless heat pumps are not permitted under this option. Direct combustion heating equipment with AFUE less than 80% is not permitted under this option. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the heating equipment type and shall show the location of the heating and cooling equipment and all the ductwork.	0.5

Option	Description	Credits
5. EFFICIENT WATER HEATING OPTIONS		
Only one option from Items 5.3 through 5.8 may be selected in this category. Items 5.1 and 5.2 may be combined with any option.		
<input type="checkbox"/>	5.2 For Compact Hot Water Distribution system credit, the volume shall store not more than 16 ounces of water between the nearest source of heated water and the termination of the fixture supply pipe where calculated using Section R403.5.2. Construction documents shall indicate the ounces of water in piping between the hot water source and the termination of the fixture supply. When the hot water source is the nearest primed plumbing loop or trunk, this must be primed with an On Demand recirculation pump and must run a dedicated ambient return line from the furthest fixture or end of loop to the water heater. To qualify for this credit, the dwelling must have a minimum of 1.5 bathrooms.	0.5
<input type="checkbox"/>	5.6 Water heating system shall include one of the following: Electric heat pump water heater meeting the standards for Tier III of NEEA's advanced water heating specification or For R-2 Occupancy, electric heat pump water heater(s), meeting the standards for Tier III of NEEA's advanced water heating specification, shall supply domestic hot water to all units. If one water heater is serving more than one dwelling unit, all hot water supply and recirculation piping shall be insulated with R-8 minimum pipe insulation. To qualify to claim this credit, the building permit drawings shall specify the option being selected and shall specify the water heater equipment type and the minimum equipment efficiency.	2.0

Option	Description	Credits
	6. RENEWABLE ELECTRIC ENERGY OPTION	N/A
	7. APPLIANCE PACKAGE OPTION	N/A

WHOLE HOUSE VENTILATION - M1505.4
M1505.4.1 - THE WHOLE HOUSE VENTILATION SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR AN ERV/HRV WITH INTEGRAL FANS, ASSOCIATED DUCTS AND CONTROLS. LOCAL EXHAUST OR SUPPLY FANS ARE PERMITTED TO SERVE AS PART OF THE WHOLE-HOUSE VENTILATION SYSTEM WHEN PROVIDED WITH THE PROPER CONTROLS PER SECTION M1505.4.2. THE SYSTEM SHALL BE DESIGNED AND INSTALLED TO EXHAUST AND/OR SUPPLY THE MINIMUM OUTDOOR AIRFLOW RATES PER SECTION M1505.4.3 AS MODIFIED BY THE WHOLE-HOUSE VENTILATION SYSTEM COEFFICIENTS IN SECTION M1504.5.3.1 WHERE APPLICABLE. THE WHOLE-HOUSE VENTILATION SYSTEM SHALL OPERATE CONTINUOUSLY AT THE MINIMUM VENTILATION RATE DETERMINED PER SECTION M1505.4.2 UNLESS CONFIGURED WITH INTERMITTENT CONTROLS PER SECTION M1505.4.3.2
M1505.4.2 - SYSTEM CONTROLS. THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH CONTROLS THAT ENABLE MANUAL OVERRIDE.
M1505.4.3 - THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE 1505.4.3(1) OR EQUATION 15-1
TABLE M1505.4.3(1) - < 1,501 SQ.FT/4-5 BEDROOMS = 60 CFM 1,501 - 2,000 SQ.FT/3 BEDROOMS = 50 CFM x 1.5 = 75CFM 3,001 - 3,500 SQ.FT/4 BEDROOMS = 75 CFM x 1.5 = 112.5 CFM
TABLE M1505.4.3(2) - SYSTEM COEFFICIENT C SYSTEM TYPE - BALANCED DISTRIBUTED = 1.0 SYSTEM TYPE - BALANCED NOT DISTRIBUTED = 1.25 SYSTEM TYPE - NOT BALANCED DISTRIBUTED = 1.25 SYSTEM TYPE - NOT BALANCED NOT DISTRIBUTED = 1.5

2021 WSEC

DEEPLY BURIED DUCTS NOTES:

- R403.3.6.IEFFECTIVE R-VALUE OF DEEPLY BURIED DUCTS.
- WHERE USING A SIMULATED ENERGY PERFORMANCE ANALYSIS, SECTIONS OF DUCTS THAT ARE: INSTALLED IN ACCORDANCE WITH SECTION R403.3.6; LOCATED DIRECTLY ON, OR WITHIN 5.5 INCHES (140 MM) OF THE CEILING; SURROUNDED WITH BLOWN-IN ATTIC INSULATION HAVING AN R-VALUE OF R-30 OR GREATER AND LOCATED SUCH THAT THE TOP OF THE DUCT IS NOT LESS THAN 3.5 INCHES (89 MM) BELOW THE TOP OF THE INSULATION, SHALL BE CONSIDERED AS HAVING AN EFFECTIVE DUCT INSULATION R-VALUE OF R-25.

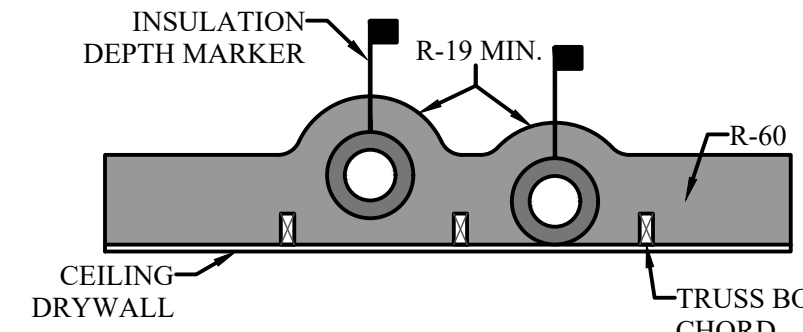
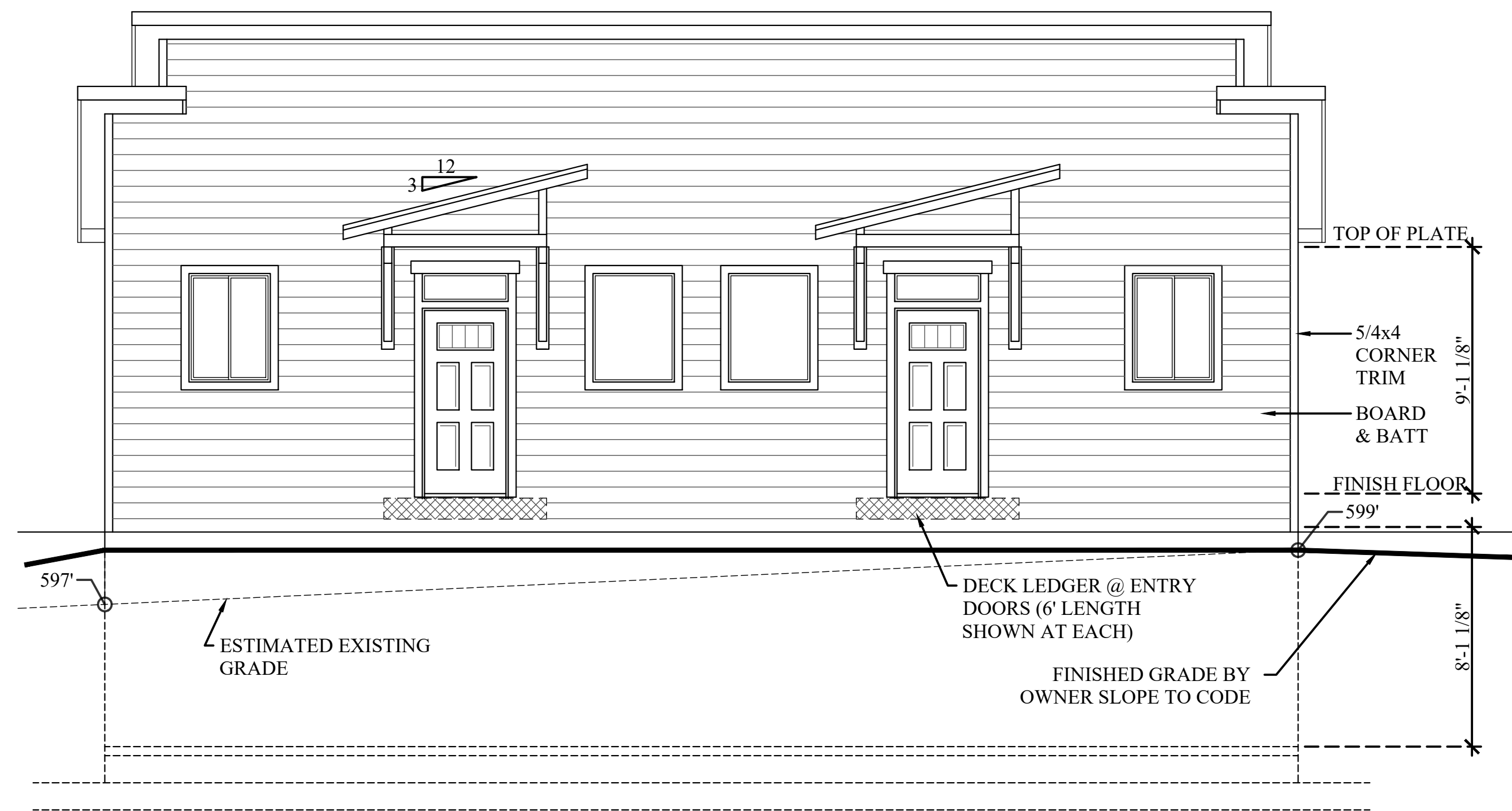
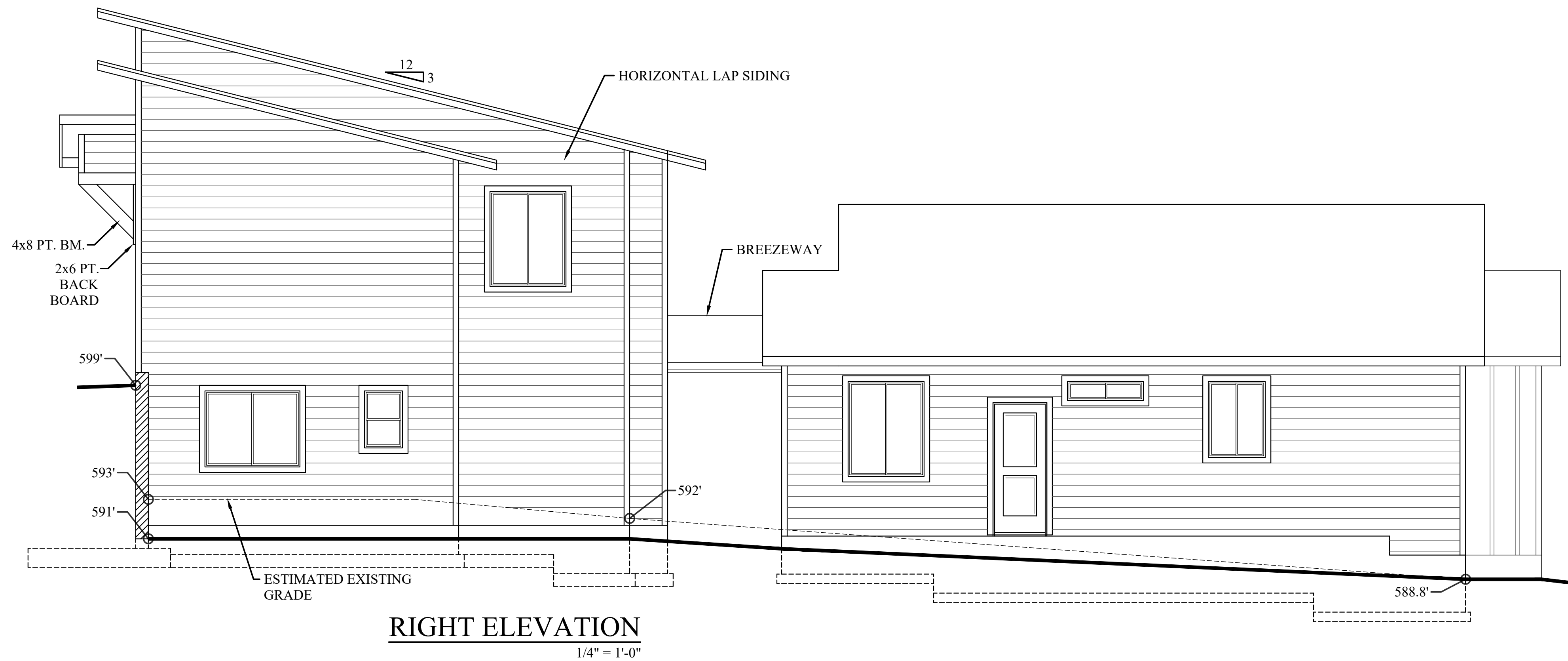


Figure 3. Categorization of buried duct insulation levels; not for moist and marine climates

ADDRESS: 130 SE WYERS ST. WHITE SALMON, WA. 98672	PAGE: EW
2021 IRC	SCALE: DATE: 11/12/2025 DRAFTED BY: WD REV:
CHAVES CUSTOM - 366	IHMS MODEL CODE - JOB #: WOWA - CUSTOM
ADAIR HOMES INC. © COPYRIGHT 2025	PLAN ORIENTATION: STANDARD
ADAIR HOMES, INC 4400 NE 77TH AVE SUITE 100 VANCOUVER, WA 98662	GARAGE CONFIGURATION: INTEGRAL WASHINGTON ENERGY



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

NOTE:
EXTERIOR ELEVATIONS ARE DRAWN W/
ESTIMATED GRADES. ONCE SITE
CLEARING & EXCAVATION IS COMPLETE,
SOME ADJUSTMENTS MAY BE NECESSARY.



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

GARAGE CONFIGURATION:
INTEGRAL

PLAN ORIENTATION:
STANDARD

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

EXTERIOR ELEVATIONS

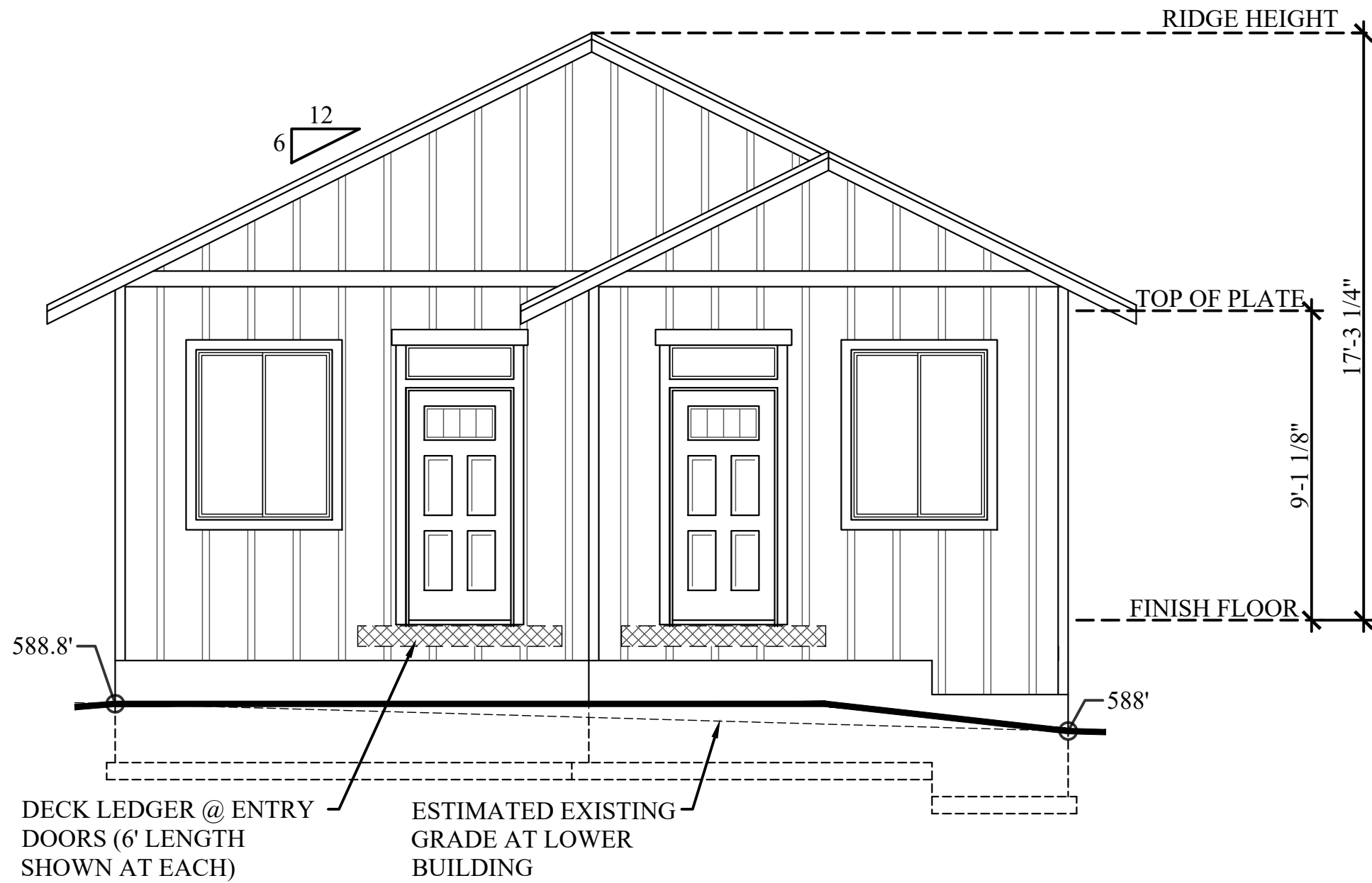
SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:

A1



UNIT A & B REAR ELEVATION
1/4" = 1'-0"



UNIT 1 & 2 REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

NOTE:
EXTERIOR ELEVATIONS ARE DRAWN W/
ESTIMATED GRADES. ONCE SITE
CLEARING & EXCAVATION IS COMPLETE,
SOME ADJUSTMENTS MAY BE NECESSARY.

ADAIR HOMES INC.
© COPYRIGHT 2025
ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:
130 SE WYERS ST.
WHITE SALMON, WA. 98672

GARAGE CONFIGURATION:
INTEGRAL

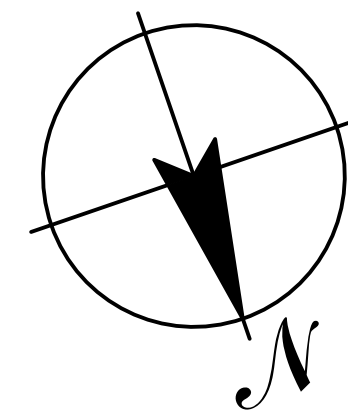
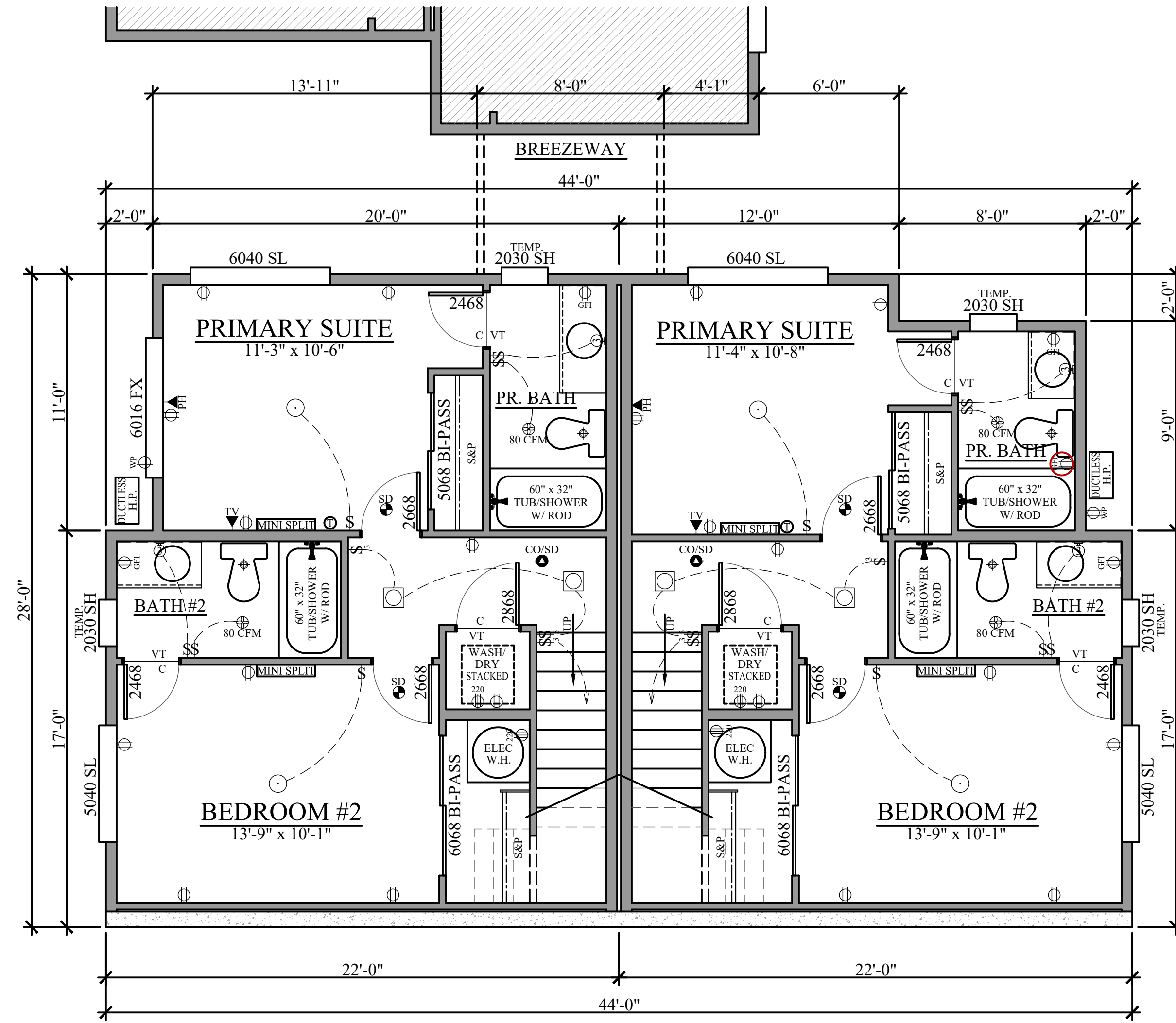
PLAN ORIENTATION:
STANDARD

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:
A1.1



UNIT A

UNIT B

LOWER FLOOR PLAN

1,088 TOTAL SF
 UNIT A - 552 SF
 UNIT B - 536 SF

1/4" = 1'-0"

FLOOR PLAN NOTES

- SEE NOTES SHEET (SHEET 'N') FOR GENERAL FLOOR PLAN NOTES.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MINUTE FIRE-RATED DOOR WITH SELF-LATCHING & SELF CLOSING DEVICES AS PER R302.5.1
- FOR STRUCTURAL & LATERAL REQUIREMENTS SEE FRAMING PLANS & ALL "S" SHEETS.

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
DUCTLESS HEAT PUMP HEAD	MINI SPLIT
THERMOSTAT	⊕
FAN - CONTINUOUS OPERATING	CONT. OP.
FAN - 80 CFM	80 CFM
FAN - CEILING ROUGH-IN	
LIGHT - WALL MOUNT - EXT.	
LIGHT - DINING ROOM	
LIGHT - KEYLESS	
LIGHT - FOYER - 1 OR 2 STORY	
LIGHT - FLUSH MOUNT/MUSHROOM	
LIGHT - PENDANT	
LIGHT - LIGHT ROUGH-IN	
LIGHT - UNDER CABINET	
LIGHT - LOW PROFILE LED	
LIGHT - W. M. - VANITY - 2, 3, OR 4B	
OUTLET - 120v - DUPLEX	
OUTLET - 120v - QUADPLEX	
OUTLET - 120v - WATER PROOF	
OUTLET - 120v - GFI	
OUTLET - 120v - SEPTIC (L.T.B.D.)	SEPTIC
OUTLET - 120v - HALF HOT	
OUTLET - 120v - POP-UP	
OUTLET - 120v - FLOOR (L.T.B.D.)	
OUTLET - 120v 3 PRONG RV (EXTR.)	
OUTLET - 240v	
OUTLET - 240v - WELL CIRCUIT (L.T.B.D.)	WELL
OUTLET - 240v - EV CIRCUIT	
OUTLET - JUNCTION BOX	
OUTLET - PHONE	
OUTLET - TV	
OUTLET - SMURF TUBE	
HEAT DETECTOR (WA HOMES ONLY)	HD
SMOKE DETECTOR	
SMOKE/CO DETECTOR	CO/SD
SWITCH - 1, 3, OR 4 WAY	
SWITCH - DIMMER	



ADAIR HOMES, INC
 4400 NE 77TH AVE
 SUITE 100
 VANCOUVER, WA 98662

CHAVES CUSTOM - 366

GARAGE CONFIGURATION:
INTEGRAL

PLAN ORIENTATION:
STANDARD

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

LOWER FLOOR PLAN

2021 IRC

ADDRESS:

130 SE WYERS ST.
 WHITE SALMON, WA. 98672

SCALE: 1/4" = 1'-0"

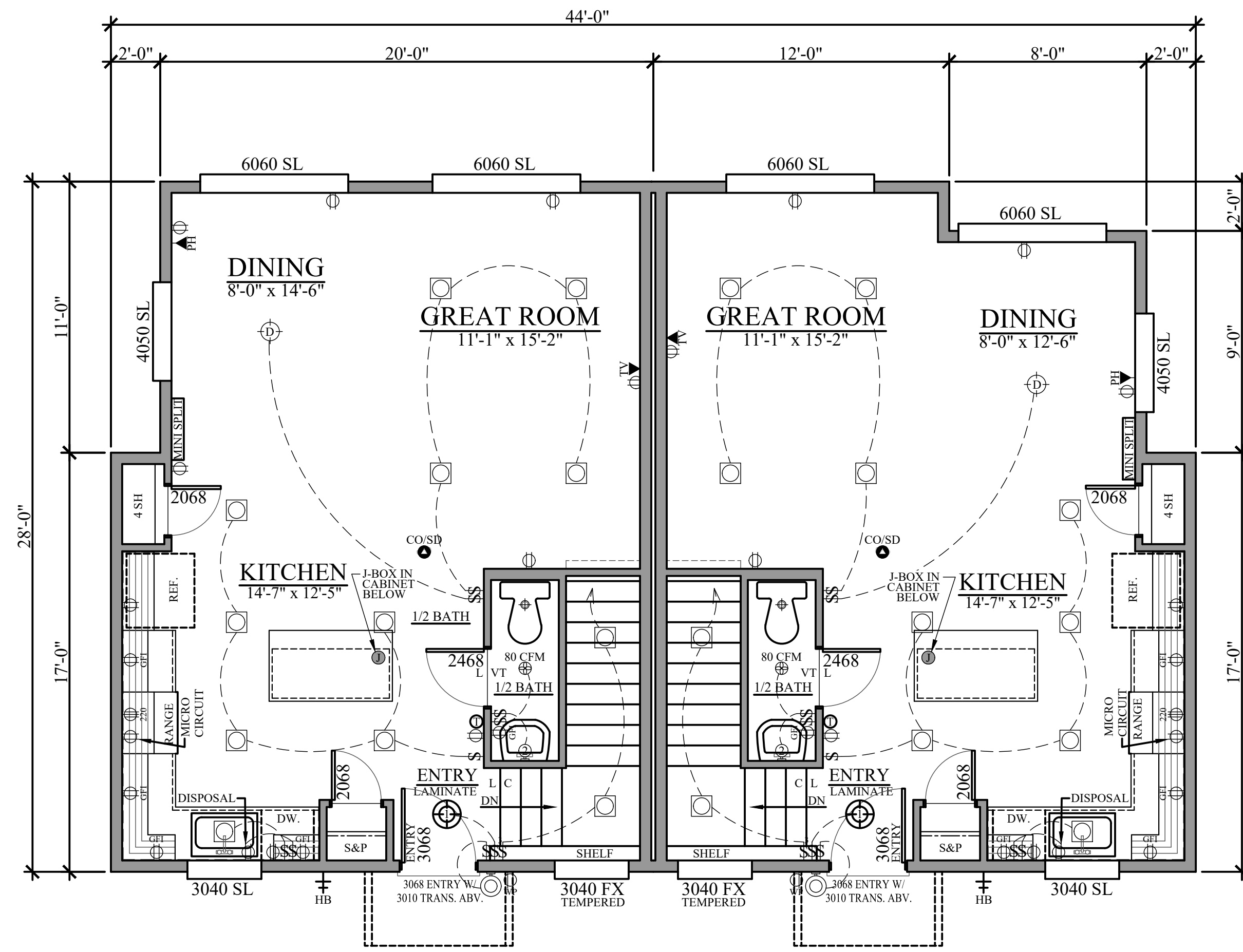
DATE: 11/12/2025

DRAFTED BY: WD

REV:

PAGE:

A2



UNIT A

UNIT B

UPPER FLOOR PLAN

1,172 TOTAL SF
 UNIT A - 594 SF
 UNIT B - 578 SF

1/4" = 1'-0"

FLOOR PLAN NOTES

- SEE NOTES SHEET (SHEET 'N') FOR GENERAL FLOOR PLAN NOTES.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MINUTE FIRE-RATED DOOR WITH SELF-LATCHING & SELF CLOSING DEVICES AS PER R302.5.1
- FOR STRUCTURAL & LATERAL REQUIREMENTS SEE FRAMING PLANS & ALL "S" SHEETS.

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
DUCTLESS HEAT PUMP HEAD	MINI SPLIT
THERMOSTAT	⊕
FAN - CONTINUOUS OPERATING	CONT. OP.
FAN - 80 CFM	80 CFM
FAN - CEILING ROUGH-IN	
LIGHT - WALL MOUNT - EXT.	
LIGHT - DINING ROOM	
LIGHT - KEYLESS	
LIGHT - FOYER - 1 OR 2 STORY	
LIGHT - FLUSH MOUNT/MUSHROOM	
LIGHT - PENDANT	
LIGHT - LIGHT ROUGH-IN	
LIGHT - UNDER CABINET	
LIGHT - LOW PROFILE LED	
LIGHT - W. M. - VANITY - 2, 3, OR 4B	
OUTLET - 120v - DUPLEX	
OUTLET - 120v - QUADPLEX	
OUTLET - 120v - WATER PROOF	
OUTLET - 120v - GFI	
OUTLET - 120v - SEPTIC (L.T.B.D.)	SEPTIC
OUTLET - 120v - HALF HOT	
OUTLET - 120v - POP-UP	
OUTLET - 120v - FLOOR (L.T.B.D.)	FLOOR
OUTLET - 120v 3 PRONG RV (EXTR.)	RV
OUTLET - 240v	
OUTLET - 240v - WELL CIRCUIT (L.T.B.D.)	WELL
OUTLET - 240v - EV CIRCUIT	
OUTLET - JUNCTION BOX	
OUTLET - PHONE	
OUTLET - TV	
OUTLET - SMURF TUBE	
HEAT DETECTOR (WA HOMES ONLY)	HD
SMOKE DETECTOR	SD
SMOKE/CO DETECTOR	CO/SD
SWITCH - 1, 3, OR 4 WAY	\$\$\$
SWITCH - DIMMER	\$@#



ADAIR HOMES, INC
 4400 NE 77TH AVE
 SUITE 100
 VANCOUVER, WA 98662

2021 IRC

CHAVES CUSTOM - 366

ADDRESS:
 130 SE WYERS ST.
 WHITE SALMON, WA. 98672

IHMS MODEL CODE - JOB #:
 WOWA - CUSTOM

PLAN ORIENTATION:
 STANDARD

MAIN FLOOR PLAN

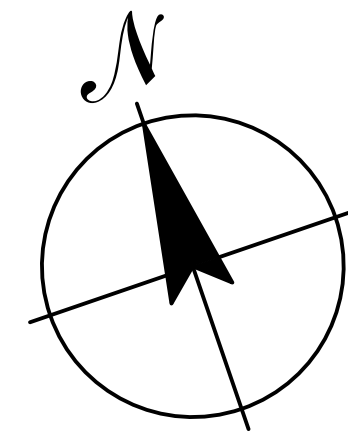
SCALE: 1/4" = 1'-0"

DATE: 11/12/2025

DRAFTED BY: WD

REV:

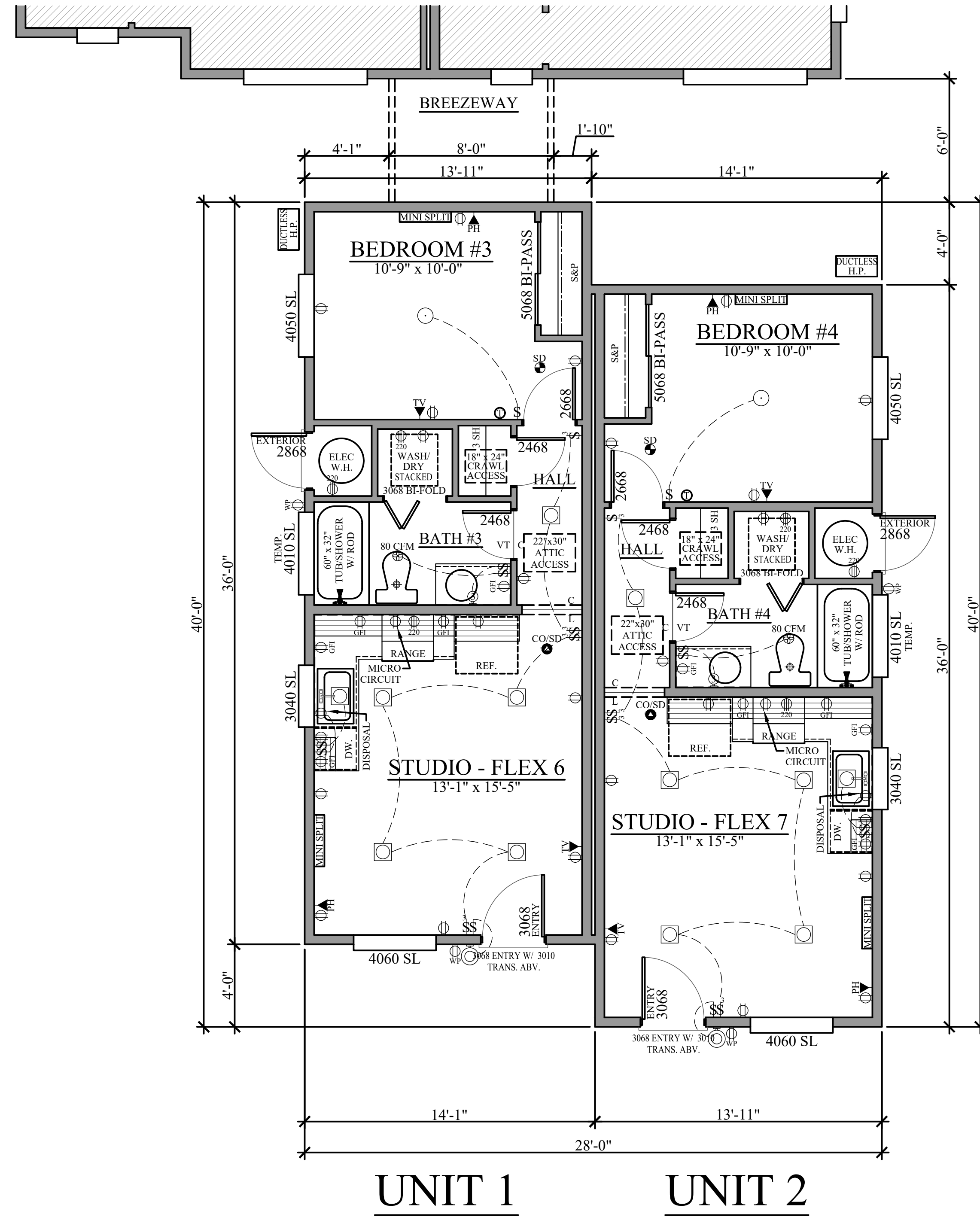
PAGE:
A2.1



MAIN FLOOR PLAN

1,008 TOTAL SF
 UNIT 1 - 504 SF
 UNIT 2 - 504 SF

1/4" = 1'-0"



FLOOR PLAN NOTES

- SEE NOTES SHEET (SHEET 'N') FOR GENERAL FLOOR PLAN NOTES.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MINUTE FIRE-RATED DOOR WITH SELF-LATCHING & SELF CLOSING DEVICES AS PER R302.5.1
- FOR STRUCTURAL & LATERAL REQUIREMENTS SEE FRAMING PLANS & ALL "S" SHEETS.

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
DUCTLESS HEAT PUMP HEAD	MINI SPLIT
THERMOSTAT	⊕
FAN - CONTINUOUS OPERATING	CONT. OP.
FAN - 80 CFM	80 CFM
FAN - CEILING ROUGH-IN	
LIGHT - WALL MOUNT - EXT.	
LIGHT - DINING ROOM	
LIGHT - KEYLESS	
LIGHT - FOYER - 1 OR 2 STORY	
LIGHT - FLUSH MOUNT/MUSHROOM	
LIGHT - PENDANT	
LIGHT - LIGHT ROUGH-IN	
LIGHT - UNDER CABINET	
LIGHT - LOW PROFILE LED	
LIGHT - W. M. - VANITY - 2, 3, OR 4B	
OUTLET - 120v - DUPLEX	
OUTLET - 120v - QUADPLEX	
OUTLET - 120v - WATER PROOF	
OUTLET - 120v - GFI	
OUTLET - 120v - SEPTIC (L.T.B.D.)	SEPTIC
OUTLET - 120v - HALF HOT	
OUTLET - 120v - POP-UP	
OUTLET - 120v - FLOOR (L.T.B.D.)	FLOOR
OUTLET - 120v 3 PRONG RV (EXTR.)	
OUTLET - 240v	
OUTLET - 240v - WELL CIRCUIT (L.T.B.D.)	WELL
OUTLET - 240v - EV CIRCUIT	
OUTLET - JUNCTION BOX	
OUTLET - PHONE	
OUTLET - TV	
OUTLET - SMURF TUBE	
HEAT DETECTOR (WA HOMES ONLY)	
SMOKE DETECTOR	
SMOKE/CO DETECTOR	CO/SD
SWITCH - 1, 3, OR 4 WAY	
SWITCH - DIMMER	



ADAIR HOMES, INC
 4400 NE 77TH AVE
 SUITE 100
 VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:
 130 SE WYERS ST.
 WHITE SALMON, WA. 98672

GARAGE CONFIGURATION:
 INTEGRAL

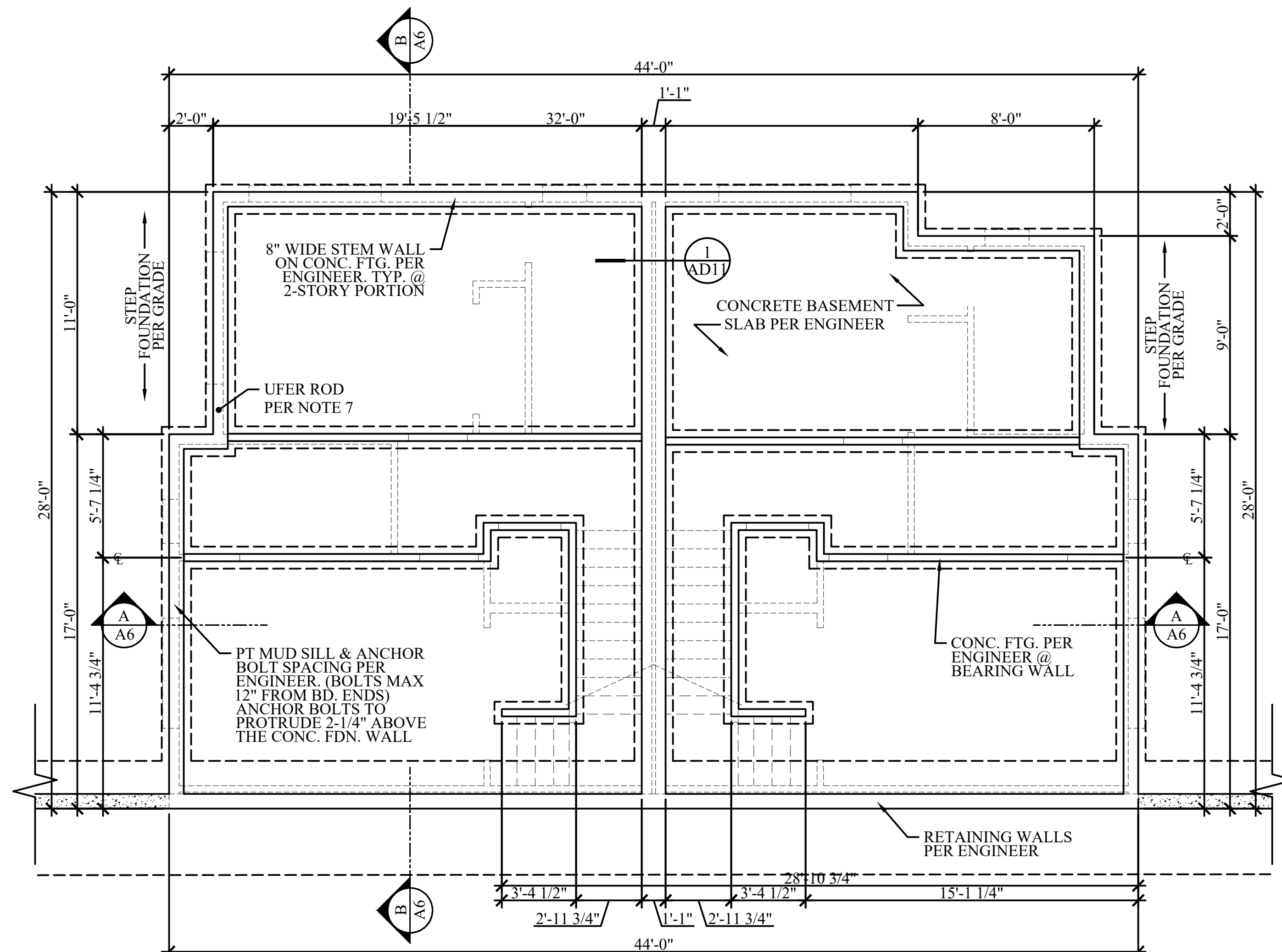
PLAN ORIENTATION:
 STANDARD

IHMS MODEL CODE - JOB #:
 WOWA - CUSTOM

UNIT 1 / 2 FLOOR PLAN

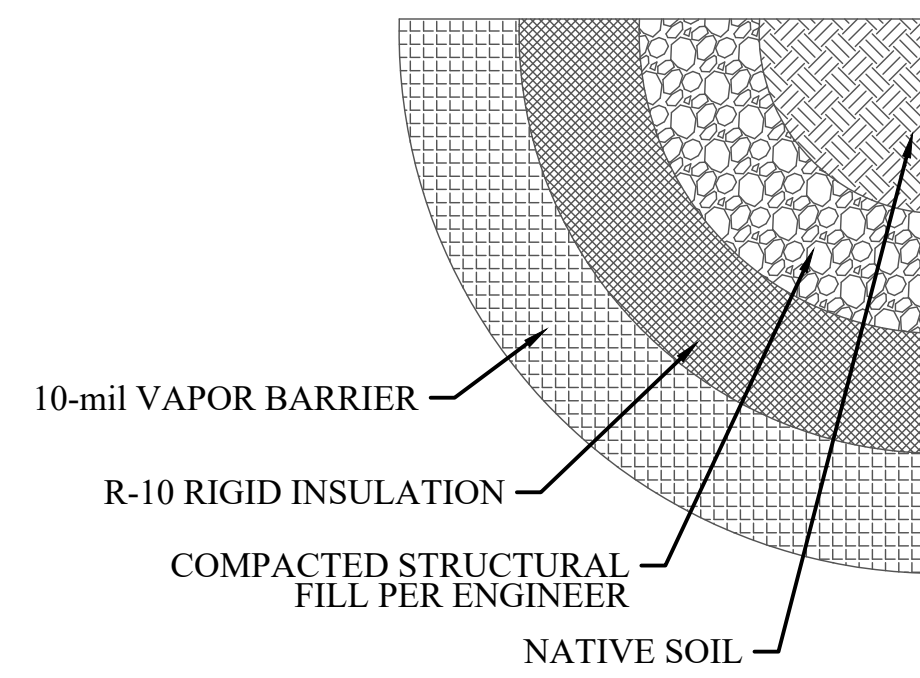
SCALE: 1/4" = 1'-0"
 DATE: 11/12/2025
 DRAFTED BY: WD
 REV:

PAGE:
 A2.2



UNIT A & B FOUNDATION PLAN

1/4" = 1'-0"



UNDER SLAB FILL

FDN PLAN NOTES

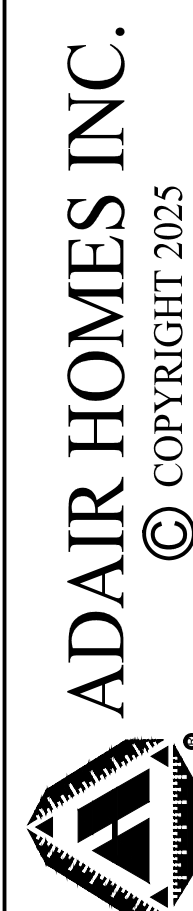
- 1) SEE NOTES SHEET (SHEET 'N') AND/OR ENGINEER'S "S" SHEETS FOR GENERAL FOUNDATION PLAN NOTES & REQUIREMENTS.
- 2) = BEARING WALLS THAT ARE SUPPORTED ON CONTINUOUS FTGS. & REQUIRE ANCHOR BOLT CONNECTION (PLATE TO FOOTING). ALL OTHER CRIPPLE WALLS ARE TO BE ATTACHED TO FTG. W/ POWDER ACTUATED FASTENERS @ MIN. 32" O.C. WHERE ANCHOR BOLTS DO NOT OCCUR.
- 3) 2" DIAMETER WATER LINE BLOCKOUT & 5" DIAMETER SEWER LINE BLOCKOUT LOCATION(S) TO BE IDENTIFIED ON SITE IF REQUIRED.
- 4) = VENTS PROHIBITED IN DOOR SITES.
- 5) CRIPPLE WALLS W/ A STUD HEIGHT LESS THAN 14" SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE W/ WOOD STRUCTURAL PANELS FASTENED TO BOTH TOP & BOTTOM PLATES.
- 6) ALL POSTS AS WELL AS ANY BEARING WALLS PARALLEL TO THE FLOOR JOISTS ARE TO EXTEND TO DECKING.
- 7) PROVIDE (2) UFER GROUNDS TIED INTO REBAR GRID. (1) AT PANEL LOCATION & (1) AT MIN. 20 FT. SEPARATION.

STRUCTURAL NOTICE:

1. BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCH. SHEETS.
2. PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS, & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS.
3. ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMEER U.N.O. BY THE ENGINEER.
4. PROVIDE DBL 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

THIS PLAN IS FULLY ENGINEERED

REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

GARAGE CONFIGURATION: INTEGRAL
PLAN ORIENTATION: STANDARD
IHMS MODEL CODE - JOB #: WOWA - CUSTOM
FOUNDATION PLAN

2021 IRC

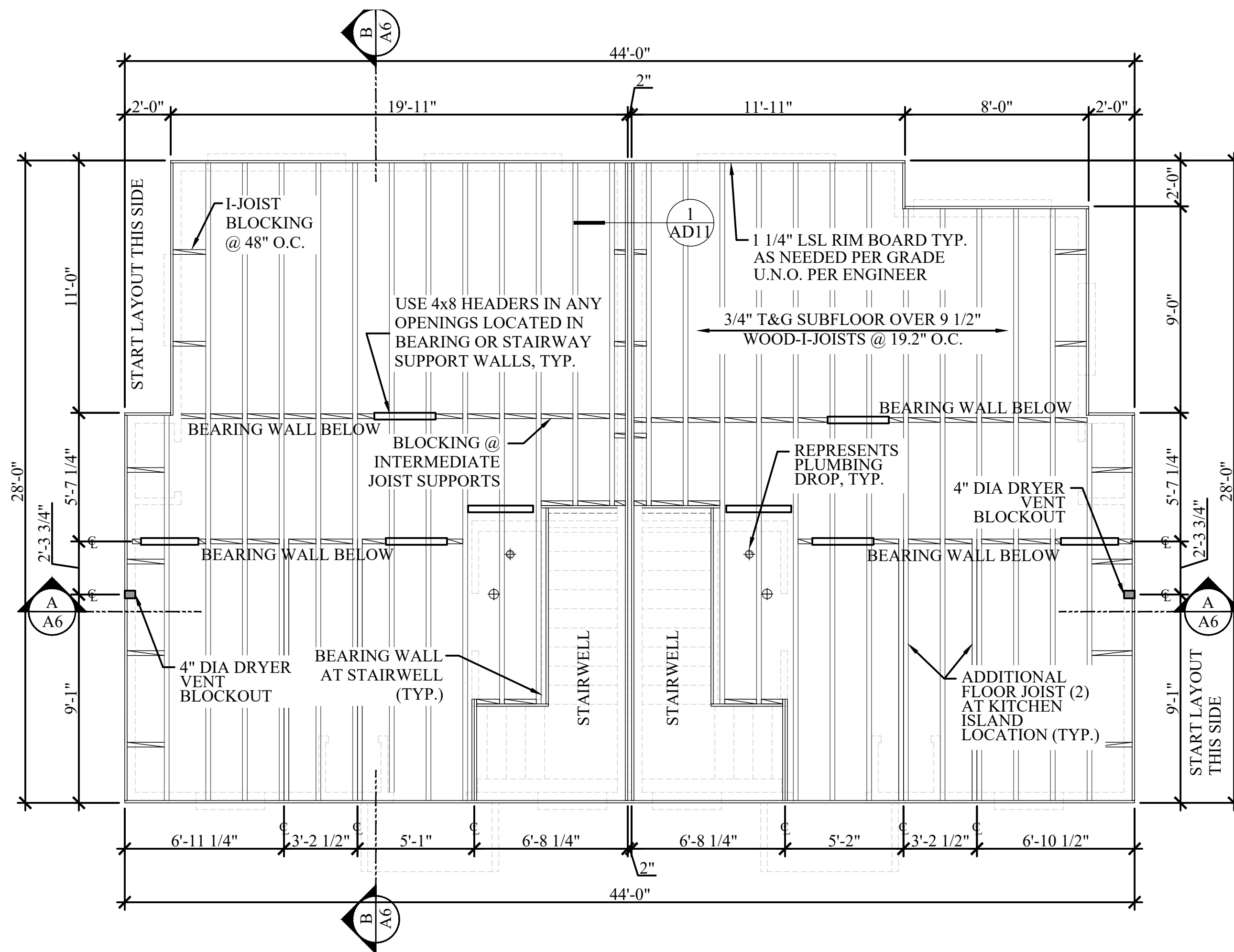
ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:


A3



UNIT A & B UPPER FLR. JOIST PLAN

1/4" = 1'-0"

JOIST LAYOUT NOTES

- 1)  = REPRESENTS FULL DEPTH BLOCKING AT JOIST ENDS (WHEN JOISTS END AT INTERIOR BEARING WALLS) AND INTERMEDIATE JOIST SUPPORTS.
- 2) FOR ADDITIONAL NOTES AND INFORMATION SEE FLOOR JOIST NOTES ON SHEET 'N'.
- 3) REFER TO MANUFACTURER'S SPECIFICATIONS AND DRAWINGS FOR INSTALLATION.

JOIST LAYOUT FOR 19.2" SPACING

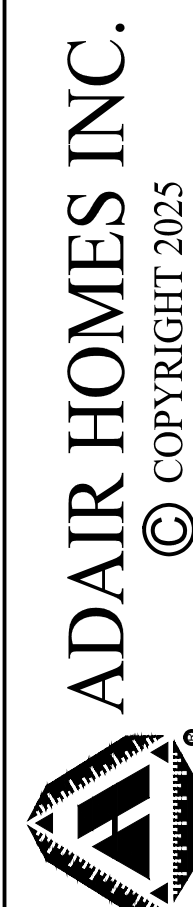
1 - 19 3/16"	(1'-7 3/16")	9 - 172 13/16"	(14'-4 13/16")
2 - 38 3/8"	(3'-2 3/8")	16'-10 - 192"	(16'-0")
3 - 57 5/8"	(4'-9 5/8")	11 - 211 3/16"	(17'-7 3/16")
4 - 76 13/16"	(6'-4 13/16")	12 - 230 3/8"	(19'-2 3/8")
8'-5 - 96"	(8'-0")	13 - 249 5/8"	(20'-9 5/8")
6 - 115 3/16"	(9'-7 3/16")	14 - 268 13/16"	(22'-4 13/16")
7 - 134 3/8"	(11'-2 3/8")	24'-15 - 288"	(24'-0")
8 - 153 5/8"	(12'-9 5/8")		

STRUCTURAL NOTICE:

1. BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCH. SHEETS.
2. PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS, & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS.
3. ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMEER U.N.O. BY THE ENGINEER.
4. PROVIDE DBL 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

THIS PLAN IS FULLY ENGINEERED

REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

GARAGE CONFIGURATION:
INTEGRAL

PLAN ORIENTATION:
STANDARD

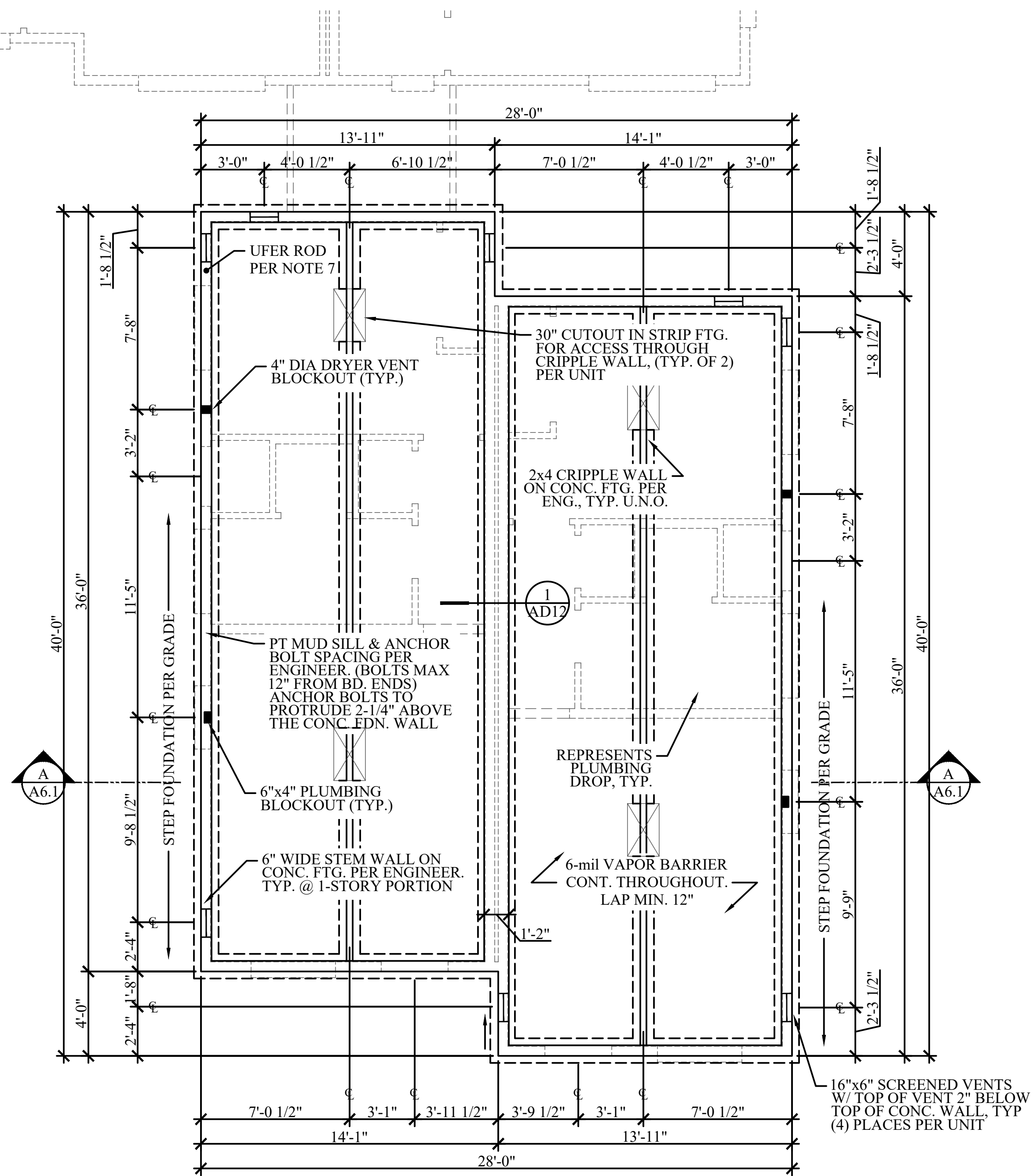
IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

MAIN FLOOR JOIST PLAN

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:

A3.1



UNIT 1 & 2 FOUNDATION PLAN

1/4" = 1'-0"

FDN PLAN NOTES

- 1) SEE NOTES SHEET (SHEET 'N') AND/OR ENGINEER'S "S" SHEETS FOR GENERAL FOUNDATION PLAN NOTES & REQUIREMENTS.
- 2) [Hatched Box] = BEARING WALLS THAT ARE SUPPORTED ON CONTINUOUS FTGS. & REQUIRE ANCHOR BOLT CONNECTION (PLATE TO FOOTING). ALL OTHER CRIPPLE WALLS ARE TO BE ATTACHED TO FTG. W/ POWDER ACTUATED FASTENERS @ MIN. 32" O.C. WHERE ANCHOR BOLTS DO NOT OCCUR.
- 3) 2" DIAMETER WATER LINE BLOCKOUT & 5" DIAMETER SEWER LINE BLOCKOUT LOCATION(S) TO BE IDENTIFIED ON SITE IF REQUIRED.
- 4) [Solid Box] = VENTS PROHIBITED IN DOOR SITES.
- 5) CRIPPLE WALLS W/ A STUD HEIGHT LESS THAN 14" SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE W/ WOOD STRUCTURAL PANELS FASTENED TO BOTH TOP & BOTTOM PLATES.
- 6) ALL POSTS AS WELL AS ANY BEARING WALLS PARALLEL TO THE FLOOR JOISTS ARE TO EXTEND TO DECKING.
- 7) PROVIDE (2) UFER GROUNDS TIED INTO REBAR GRID. (1) AT PANEL LOCATION & (1) AT MIN. 20 FT. SEPARATION.

VENTILATION

1) THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE CRAWLSPACE WITH THE USE OF A CLASS 1 VAPOR RETARDER MATERIAL. THERE SHALL BE ONE VENT MIN. WITHIN 3' OF EACH BUILDING CORNER.

FOUNDATION VENTS ARE BASED ON A SCREENED 16" x 6" VENT WITH A NET-FREE VENTILATING AREA OF 72 SQ IN PER VENT.

UNIT 1 CRAWLSPACE:

AREA	65,940 SQ IN
REQUIRED VENTING	220 SQ IN
VENTS REQUIRED	4 VENTS
VENTS PROVIDED	4 VENTS

UNIT 2 CRAWLSPACE:

AREA	65,940 SQ IN
REQUIRED VENTING	220 SQ IN
VENTS REQUIRED	4 VENTS
VENTS PROVIDED	4 VENTS

STRUCTURAL NOTICE:

1. BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCH. SHEETS.
2. PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS, & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS.
3. ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMEER U.N.O. BY THE ENGINEER.
4. PROVIDE DBL 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

THIS PLAN IS FULLY ENGINEERED

REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION



ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

GARAGE CONFIGURATION: INTEGRAL
PLAN ORIENTATION: STANDARD
IHMS MODEL CODE - JOB #: WOWA - CUSTOM

UNIT 1 / 2 FOUNDATION PLAN

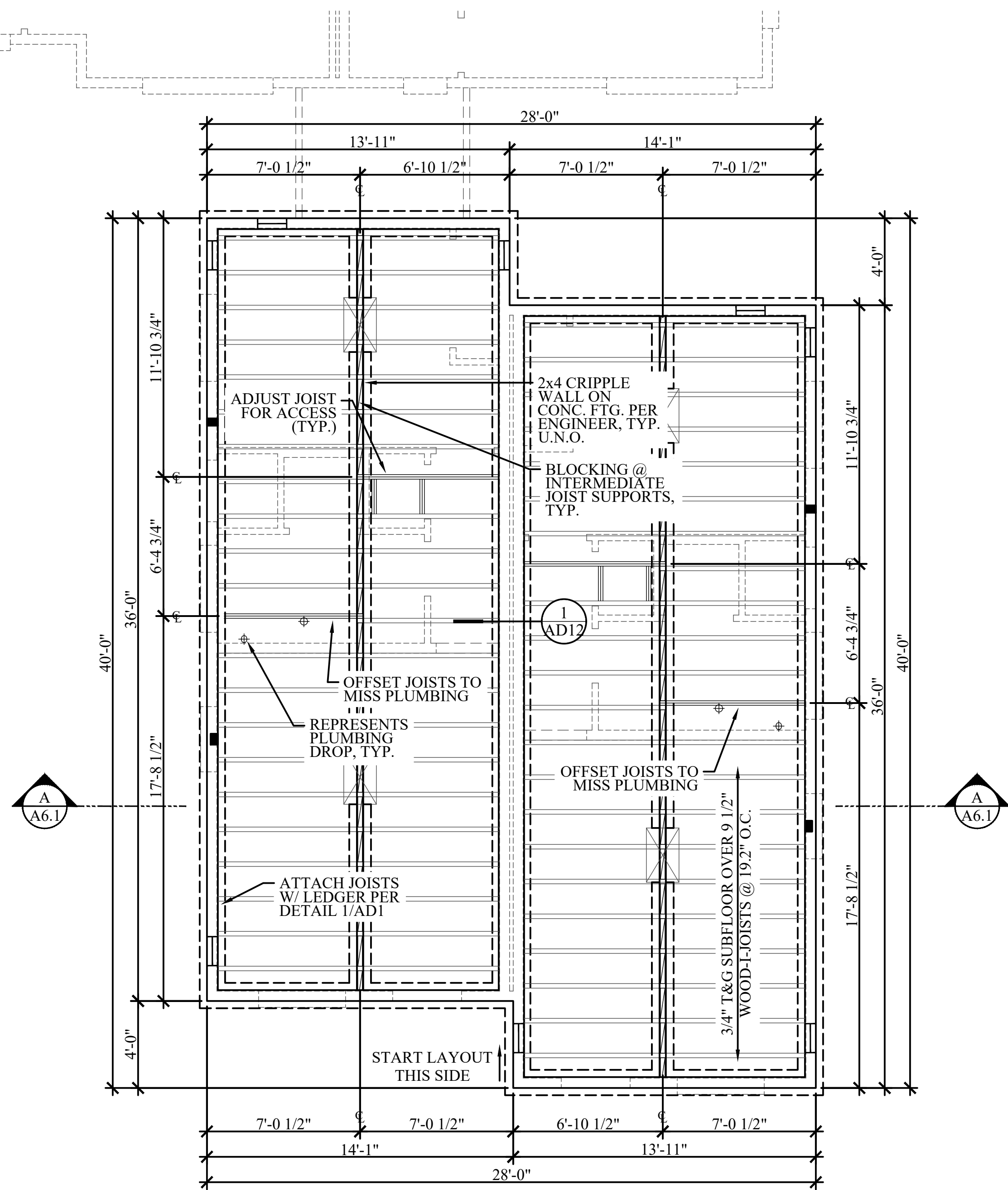
2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:
A3.2



UNIT 1 & 2 FLOOR JOIST PLAN

1/4" = 1'-0"

STRUCTURAL NOTICE:

1. BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCH. SHEETS.
2. PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS, & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS.
3. ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMEER U.N.O. BY THE ENGINEER.
4. PROVIDE DBL 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

THIS PLAN IS FULLY ENGINEERED

REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

ADAIR HOMES INC.

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

GARAGE CONFIGURATION:
INTEGRAL

PLAN ORIENTATION:
STANDARD

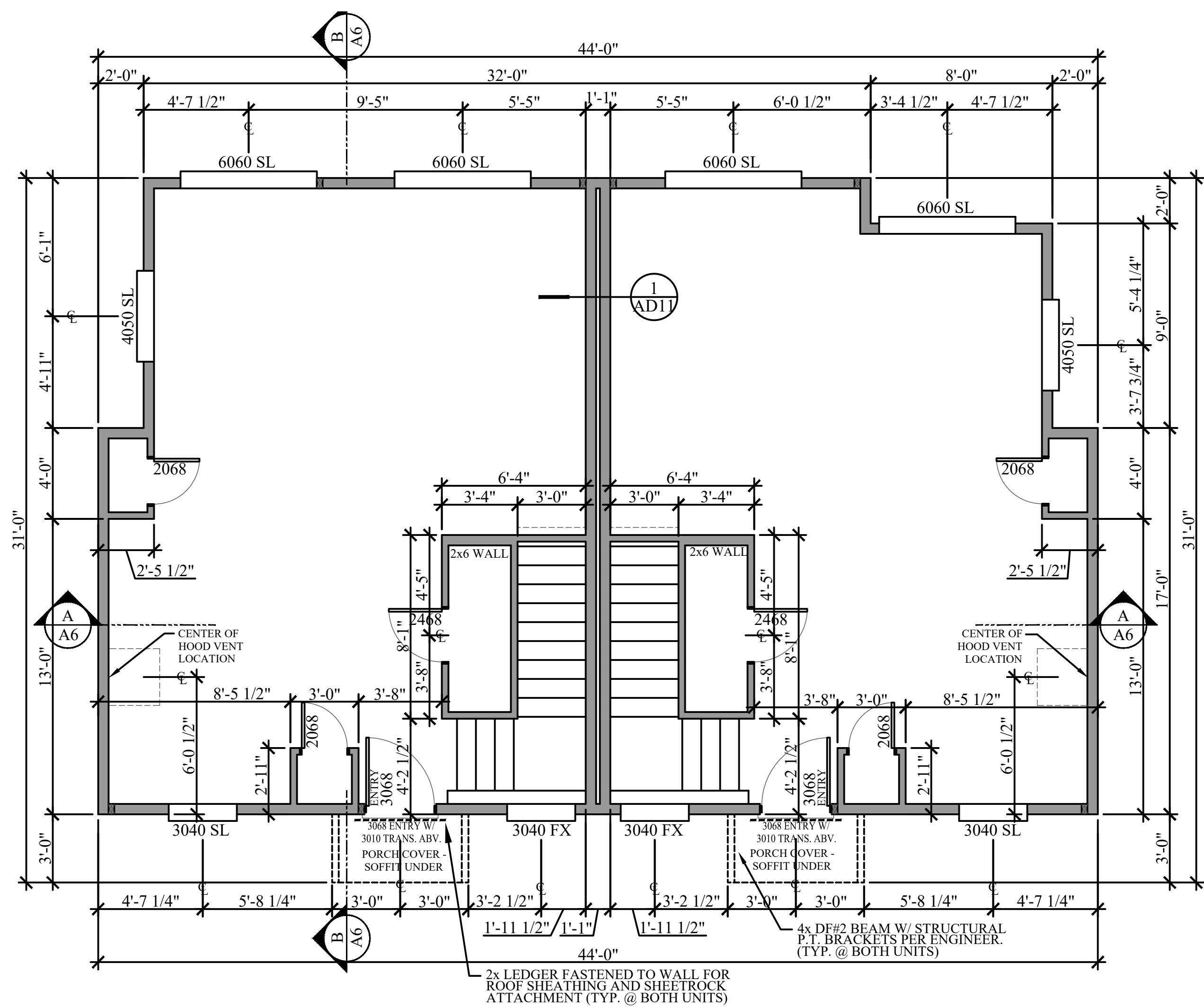
IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

UNIT 1 / 2 FLOOR JOIST PLAN

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:

A3.3



UNIT A & B UPPER FRAMING PLAN

1/4" = 1'-0"

FRAMING PLAN NOTES

- 1) BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCHITECTURAL SHEETS.
- 2) PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS..
- 3) ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMMER UNLESS NOTED OTHERWISE BY THE ENGINEER.
- 4) PROVIDE DOUBLE 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

INT. & EXT. SWING DR. FRAMING

- 1) ROUGH OPENING **WIDTH** TO BE THE **DOOR SIZE +2"** UNLESS NOTED OTHERWISE ON PLAN OR BY MANUFACTURER'S SPECIFICATIONS.
- 2) ROUGH OPENING **HEIGHT** TO BE **82 5/8"** FOR TYP. 6'-8" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.
- 3) ROUGH OPENING **HEIGHT** TO BE **98 5/8"** FOR TYP. 8'-0" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.

CLOSET DOOR FRAMING NOTES

- BI-PASS CLOSETS:**
R.O. WIDTH TO MATCH CLOSET WIDTH
R.O. HEIGHT = 83-1/8"
- BI-FOLD CLOSETS:**
R.O. WIDTH = CLOSET WIDTH + 1-1/2"
R.O. HEIGHT = 81-5/8"

WINDOW FRAMING NOTES

- TYPICAL HEADER HEIGHTS TO BE AS FOLLOWS U.N.O. ON PLAN:
- MAIN FLOOR - 8'-1 1/8" PLATE: **6'-11 3/8"**
MAIN FLOOR - 9'-1 1/8" PLATE: **7'-11 3/8"**
- UPPER FLOOR - 8'-1 1/8" PLATE: **7'-1 3/8"**

GARAGE DOOR FRAMING NOTES

- TYPICAL DOOR FRAMING TO BE AS FOLLOWS U.N.O. ON PLAN:
- WIDTH - DOOR SIZE PLUS 3"
HEIGHT - DOOR SIZE PLUS 1-1/2" FROM SLAB

THIS PLAN IS FULLY ENGINEERED
REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

ADAIR HOMES INC.
© COPYRIGHT 2025

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

PLAN ORIENTATION:
STANDARD

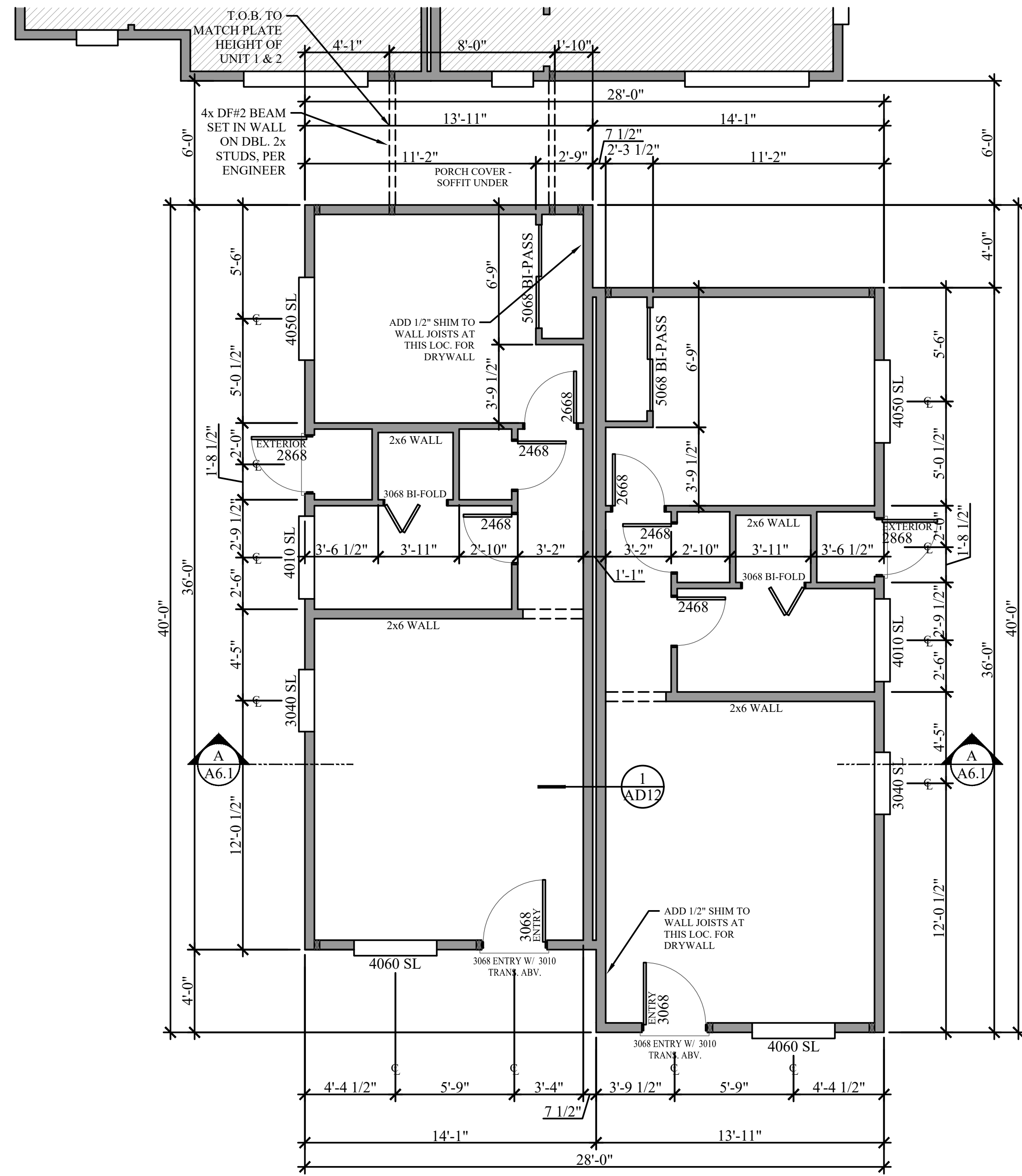
IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:

A4.1

MAIN FLR. FRAMING PLAN



UNIT 1 & 2 FRAMING PLAN

1/4" = 1'-0"

FRAMING PLAN NOTES

- 1) BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCHITECTURAL SHEETS.
- 2) PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS..
- 3) ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMMER UNLESS NOTED OTHERWISE BY THE ENGINEER.
- 4) PROVIDE DOUBLE 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

INT. & EXT. SWING DR. FRAMING

- 1) ROUGH OPENING **WIDTH** TO BE THE **DOOR SIZE +2"** UNLESS NOTED OTHERWISE ON PLAN OR BY MANUFACTURER'S SPECIFICATIONS.
- 2) ROUGH OPENING **HEIGHT** TO BE **82 5/8"** FOR TYP. 6'-8" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.
- 3) ROUGH OPENING **HEIGHT** TO BE **98 5/8"** FOR TYP. 8'-0" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.

CLOSET DOOR FRAMING NOTES

- BI-PASS CLOSETS:**
R.O. WIDTH TO MATCH CLOSET WIDTH
R.O. HEIGHT = 83-1/8"
- BI-FOLD CLOSETS:**
R.O. WIDTH = CLOSET WIDTH + 1-1/2"
R.O. HEIGHT = 81-5/8"

WINDOW FRAMING NOTES

- TYPICAL HEADER HEIGHTS TO BE AS FOLLOWS U.N.O. ON PLAN:
- MAIN FLOOR - 8'-1 1/8" PLATE: **6'-11 3/8"**
MAIN FLOOR - 9'-1 1/8" PLATE: **7'-11 3/8"**
- UPPER FLOOR - 8'-1 1/8" PLATE: **7'-1 3/8"**

GARAGE DOOR FRAMING NOTES

- TYPICAL DOOR FRAMING TO BE AS FOLLOWS U.N.O. ON PLAN:
- WIDTH - DOOR SIZE PLUS 3"
HEIGHT - DOOR SIZE PLUS 1-1/2" FROM SLAB

THIS PLAN IS FULLY ENGINEERED
REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

GARAGE CONFIGURATION: INTEGRAL
PLAN ORIENTATION: STANDARD
IHMS MODEL CODE - JOB #: WOWA - CUSTOM

UNIT 1 & 2 FRAMING PLAN

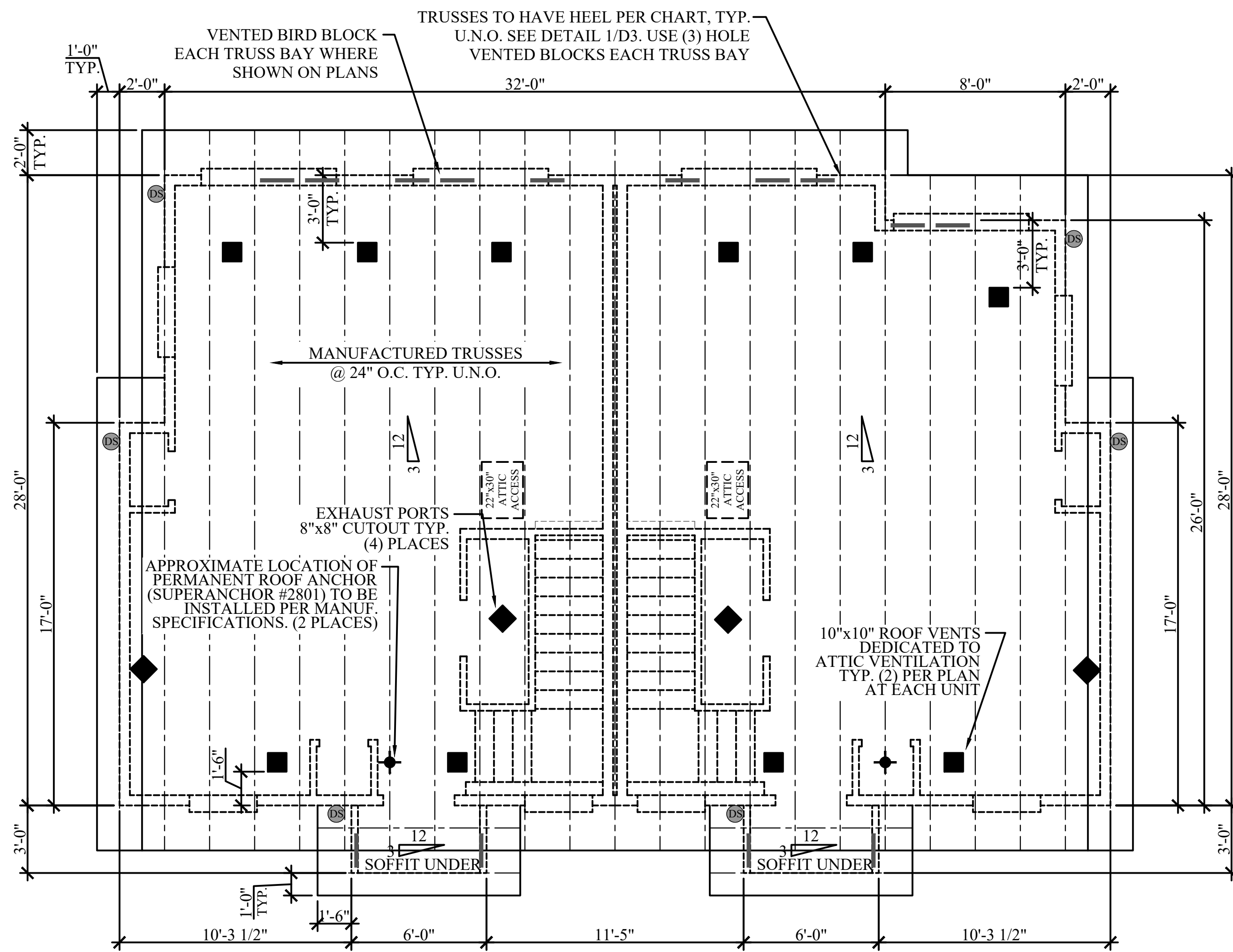
2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:
A4.2



ROOF PLAN (UNIT A / UNIT B)

1/4" = 1'-0"

NOTE:
USE VENTED BLOCKS EACH TRUSS BAY. VENTED BLOCKS ARE TO BE (3) HOLE STYLE

ROOF PLAN NOTES

- 1) PROVIDE PROTECTIVE FLASHING FOR ALL ROOF PENETRATIONS.
- 2) REQUIRED VENTILATION OPENINGS SHALL BE COVERED W/ BUG/INSECT SCREENS.
- 3) REQUIRED VENTILATION OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND/OR RAIN.
- 4) INSTALL INSULATION SO THAT THE FREE FLOW OF AIR WITHIN THE ATTIC IS NOT BLOCKED.
- 5) COMPOSITION SHINGLE ROOFING TO BE INSTALLED OVER 15# ROOFING FELT PER MANUFACTURER'S SPECIFICATIONS.
- 6) SEE PLAN FOR ROOF PITCH.
- 7) GABLE END OVERHANGS ARE 12", EAVES ARE 2'-0" TYPICAL UNLESS NOTED OTHERWISE.
- 8) PORCH & PATIO COVERS TO BE SOFFITED W/ PLAIN PANEL SIDING, U.N.O., VENT THE ENCLOSED SPACE PER CODE.
- 9) PROVIDE & INSTALL RAIN GUTTERS & DOWNSPOUTS AS REQUIRED PER BUILD LOCATION.

VENTILATION

- 1) THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED A) THAT AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE BEING VENTILATED. THE REMAINING BALANCE OF THE REQUIRED VENTING WILL BE PROVIDED BY EAVE VENTS AND/OR LOW ROOF VENTS. B) A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING
- 2) ALTERNATIVE METHOD: VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

VENTS:

- 1) 10"x10" ROOF VENTS ARE BASED ON 51 SQ IN NET FREE VENTILATION AREA PER VENT.
- 2) EAVE VENTS ARE BASED ON 9 SQ IN NET FREE VENTILATION AREA PER VENT.

MAIN ROOF UNIT A:

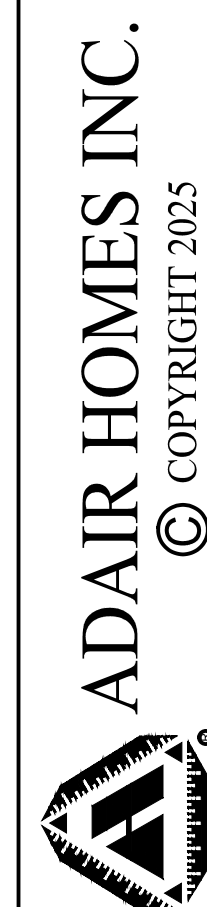
AREA	88,128 SQ IN
REQUIRED VENTING	294 SQ IN
ROOF VENTS (HIGH)	102 SQ IN (2)
EAVE VENTS	153 SQ IN (3)
ROOF VENTS (LOW)	45 SQ IN (5)

MAIN ROOF:

AREA	85,824 SQ IN
REQUIRED VENTING	287 SQ IN
ROOF VENTS (HIGH)	102 SQ IN (2)
EAVE VENTS	153 SQ IN (3)
ROOF VENTS (LOW)	45 SQ IN (5)

LEGEND

- Ⓢ DOWNSPOUT ABOVE TO ROOF BELOW
- Ⓣ DOWNSPOUT TO RAIN DRAIN
- 10"x10" STANDARD ATTIC SPACE ROOF VENT
- ◆ 8"x8" EXHAUST PORT
- EAVE VENT
- ✦ ROOF ANCHOR



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

PLAN ORIENTATION:
STANDARD

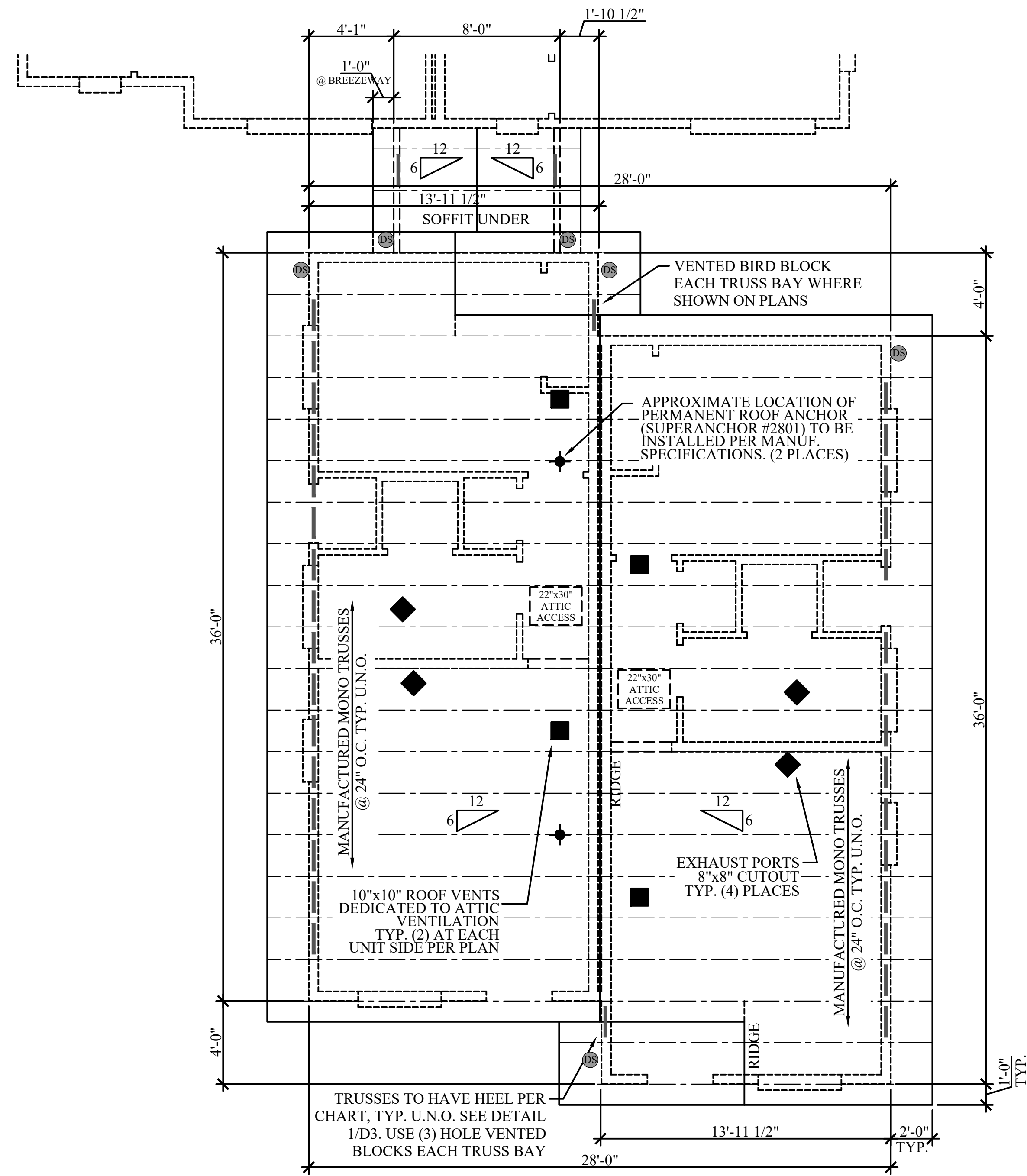
ROOF PLAN

SCALE: 1/4" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD

REV:

PAGE:

A5



ROOF PLAN (UNIT 1 / UNIT 2)

1/4" = 1'-0"

NOTE:
USE VENTED BLOCKS EACH TRUSS BAY. VENTED BLOCKS ARE TO BE (3) HOLE STYLE

ROOF PLAN NOTES

- 1) PROVIDE PROTECTIVE FLASHING FOR ALL ROOF PENETRATIONS.
- 2) REQUIRED VENTILATION OPENINGS SHALL BE COVERED W/ BUG/INSECT SCREENS.
- 3) REQUIRED VENTILATION OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND/OR RAIN.
- 4) INSTALL INSULATION SO THAT THE FREE FLOW OF AIR WITHIN THE ATTIC IS NOT BLOCKED.
- 5) COMPOSITION SHINGLE ROOFING TO BE INSTALLED OVER 15# ROOFING FELT PER MANUFACTURER'S SPECIFICATIONS.
- 6) SEE PLAN FOR ROOF PITCH.
- 7) GABLE END OVERHANGS ARE 12", EAVES ARE 2'-0" TYPICAL UNLESS NOTED OTHERWISE.
- 8) PORCH & PATIO COVERS TO BE SOFFITED W/ PLAIN PANEL SIDING, U.N.O., VENT THE ENCLOSED SPACE PER CODE.
- 9) PROVIDE & INSTALL RAIN GUTTERS & DOWNSPOUTS AS REQUIRED PER BUILD LOCATION.

VENTILATION

- 1) THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED A) THAT AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE BEING VENTILATED. THE REMAINING BALANCE OF THE REQUIRED VENTING WILL BE PROVIDED BY EAVE VENTS AND/OR LOW ROOF VENTS. B) A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING
- 2) ALTERNATIVE METHOD: VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.

VENTS:

- 1) 10"x10" ROOF VENTS ARE BASED ON 51 SQ IN NET FREE VENTILATION AREA PER VENT.
- 2) EAVE VENTS ARE BASED ON 9 SQ IN NET FREE VENTILATION AREA PER VENT.

MAIN ROOF UNIT 1:

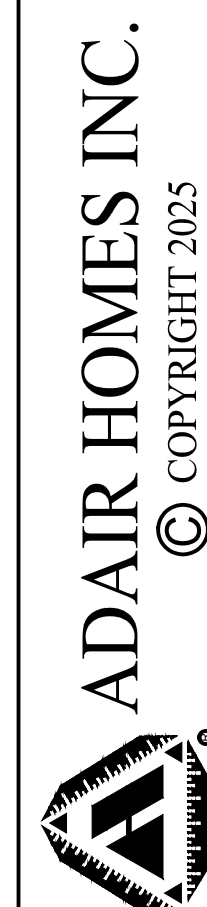
AREA	79,536 SQ IN
REQUIRED VENTING	266 SQ IN
ROOF VENTS (HIGH)	102 SQ IN (2)
EAVE VENTS	171 SQ IN (19)

MAIN ROOF UNIT 2:

AREA	72,624 SQ IN
REQUIRED VENTING	243 SQ IN
ROOF VENTS (HIGH)	102 SQ IN (2)
EAVE VENTS	144 SQ IN (16)

LEGEND

- Ⓢ DOWNSPOUT ABOVE TO ROOF BELOW
- Ⓣ DOWNSPOUT TO RAIN DRAIN
- 10"x10" STANDARD ATTIC SPACE ROOF VENT
- ◆ 8"x8" EXHAUST PORT
- EAVE VENT
- ✦ ROOF ANCHOR



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

PLAN ORIENTATION:
STANDARD

GARAGE CONFIGURATION:
INTEGRAL

UNIT 1 & 2 ROOF PLAN

SCALE: 1/4" = 1'-0"

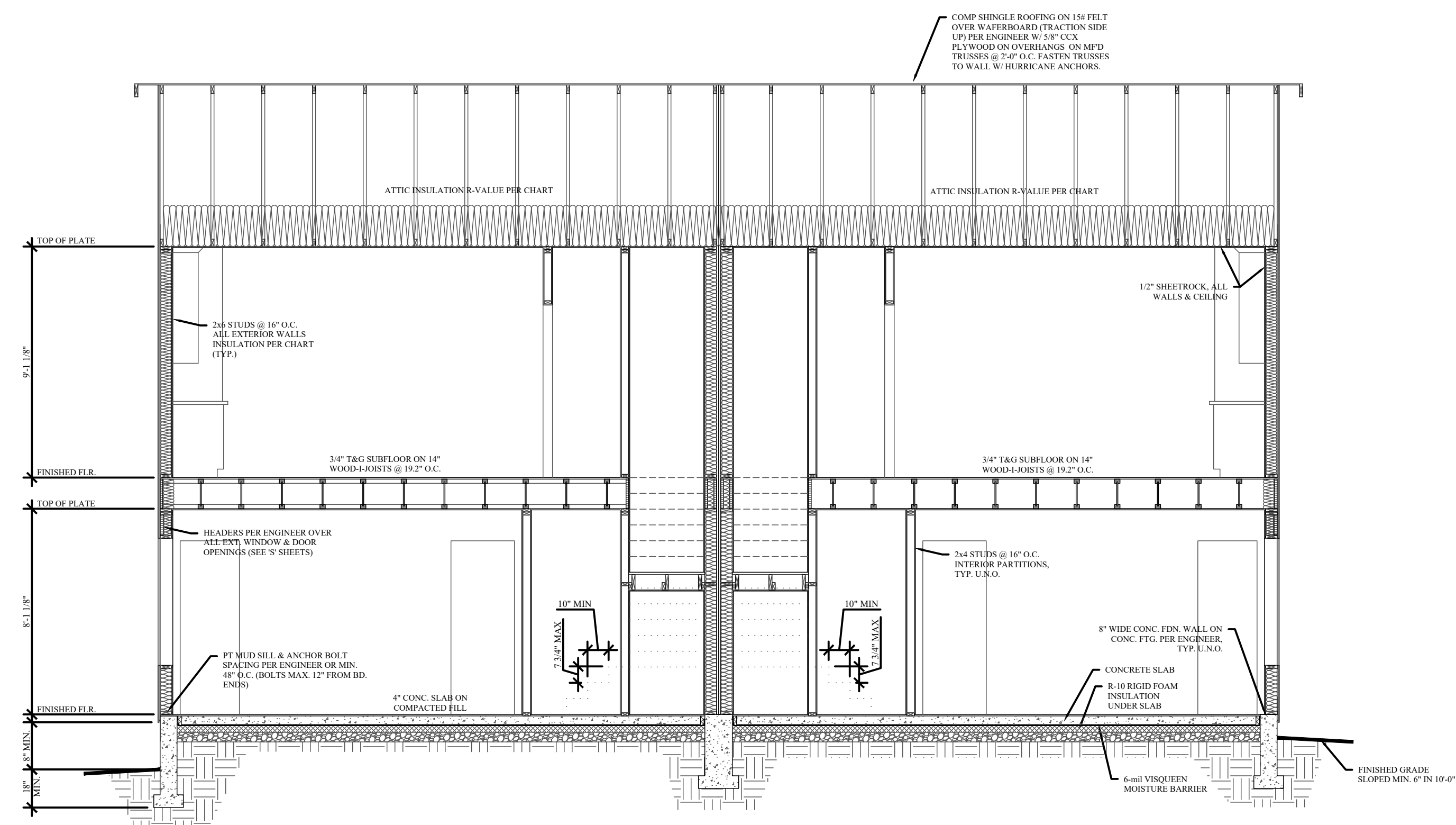
DATE: 11/12/2025

DRAFTED BY: WD

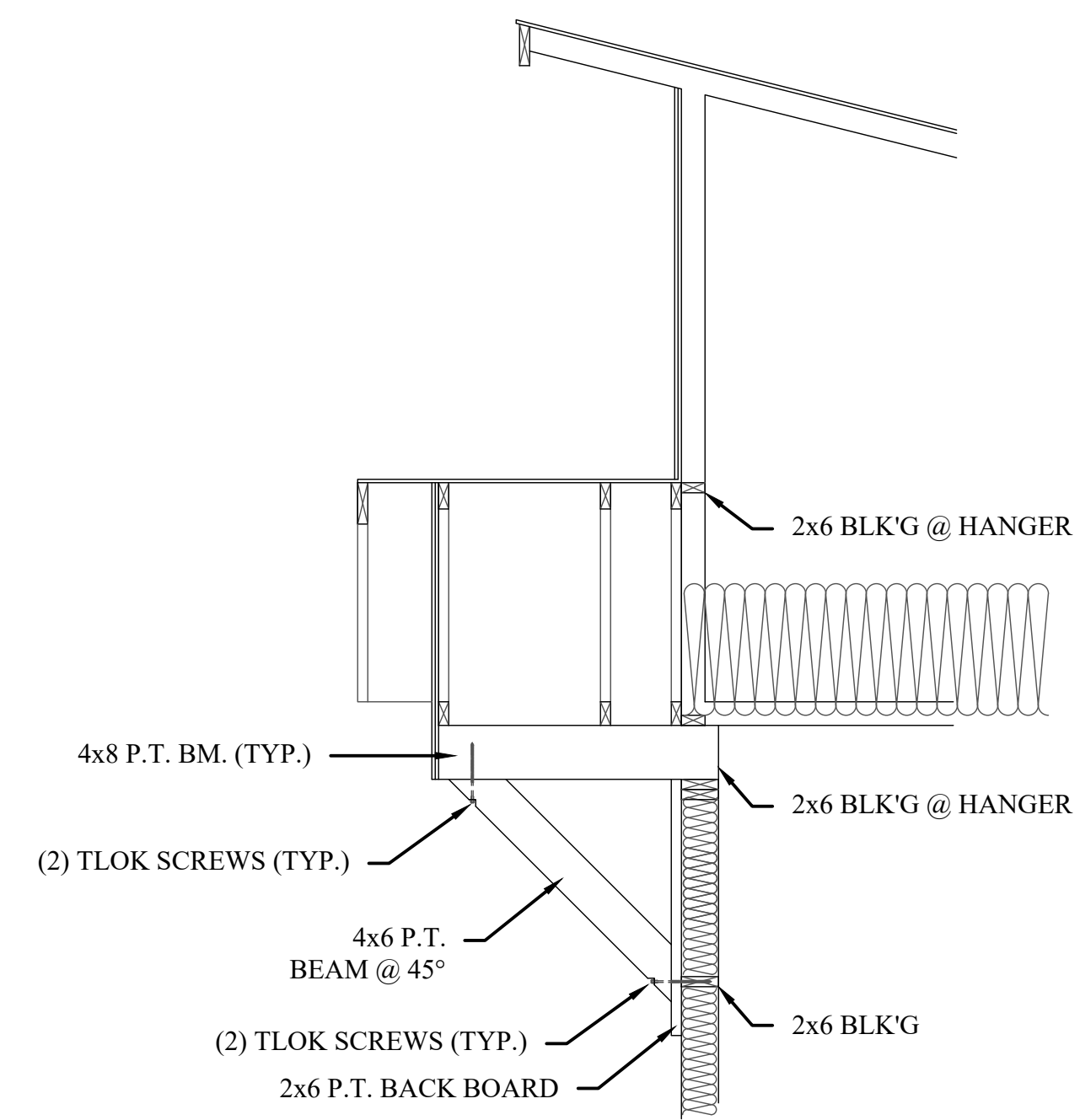
REV:

PAGE:

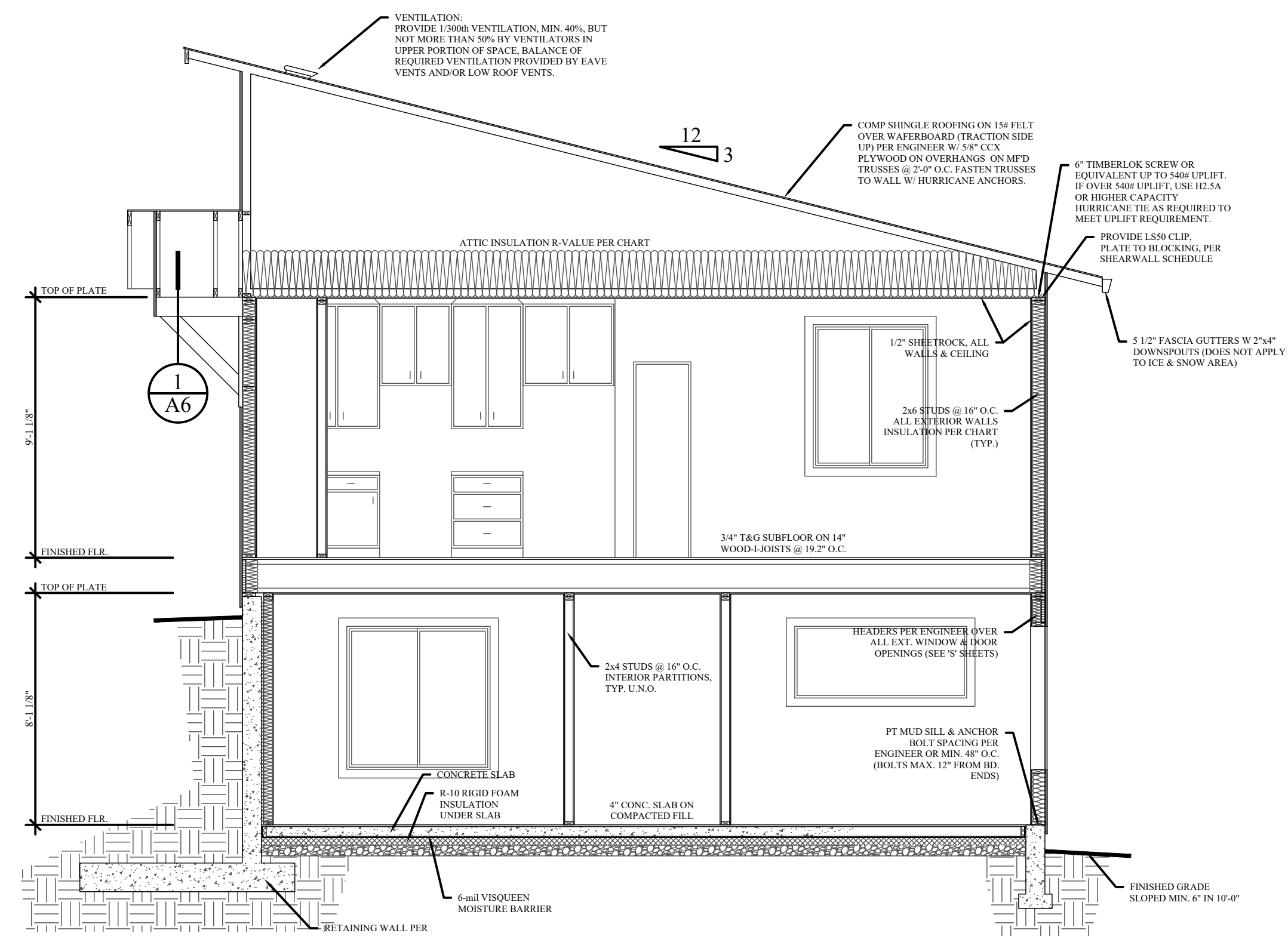
A5.1



BUILDING SECTION A
3/8" = 1'-0"



① WOOD PORCH BRACKETS



BUILDING SECTION B
3/8" = 1'-0"

BUILDING ENVELOPE SCHEDULE

	WALL INSULATION (ABOVE GRADE)	WALL INSULATION (BELOW GRADE)	FLAT CEILINGS	VAULTED CEILINGS	UNDER FLOOR (CRAWL SPACE)	SLAB-EDGE PERIMETER	HEATED SLAB INTERIOR	WINDOWS	SKYLIGHTS	EXTERIOR DOORS
THIS PLAN PROVIDES:	R-23 INTERMEDIATE	N/A	R-49	R-49	R-38	N/A	N/A	U-0.25	N/A	U-0.20



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

GARAGE CONFIGURATION:
INTEGRAL

PLAN ORIENTATION:
STANDARD

BUILDING SECTION

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: 3/8" = 1'-0"

DATE: 11/12/2025

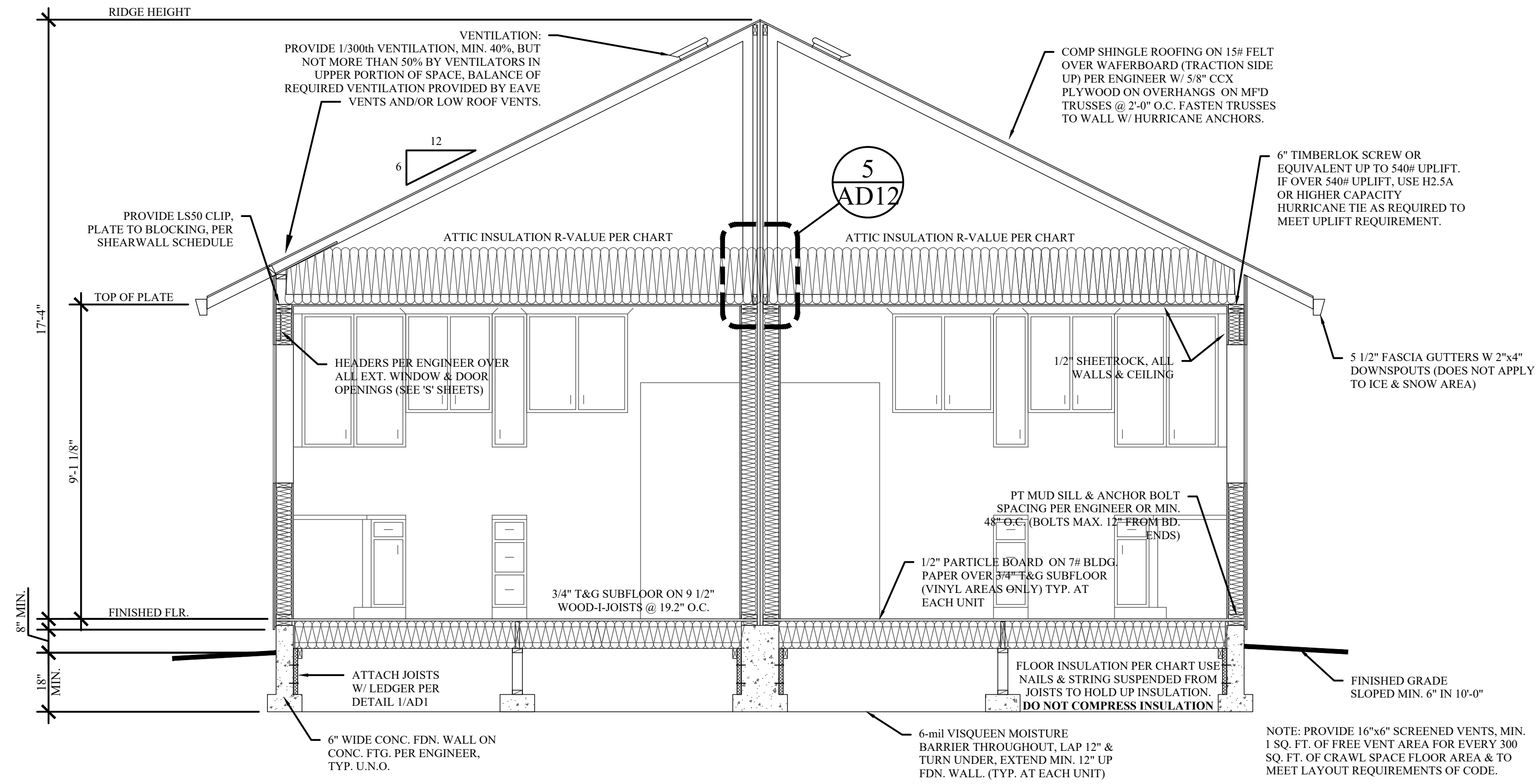
DRAFTED BY: WD

REV:

PAGE:

A6

BUILDING ENVELOPE SCHEDULE										
	WALL INSULATION (ABOVE GRADE)	WALL INSULATION (BELOW GRADE)	FLAT CEILINGS	VAULTED CEILINGS	UNDER FLOOR (CRAWL SPACE)	SLAB-EDGE PERIMETER	HEATED SLAB INTERIOR	WINDOWS	SKYLIGHTS	EXTERIOR DOORS
THIS PLAN PROVIDES:	R-23 INTERMEDIATE	N/A	R-49	R-49	R-38	N/A	N/A	U-0.25	N/A	U-0.20



BUILDING SECTION A
3/8" = 1'-0"

ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

GARAGE CONFIGURATION:
INTEGRAL

PLAN ORIENTATION:
STANDARD

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

UNIT 1 & 2 BUILDING SECTION

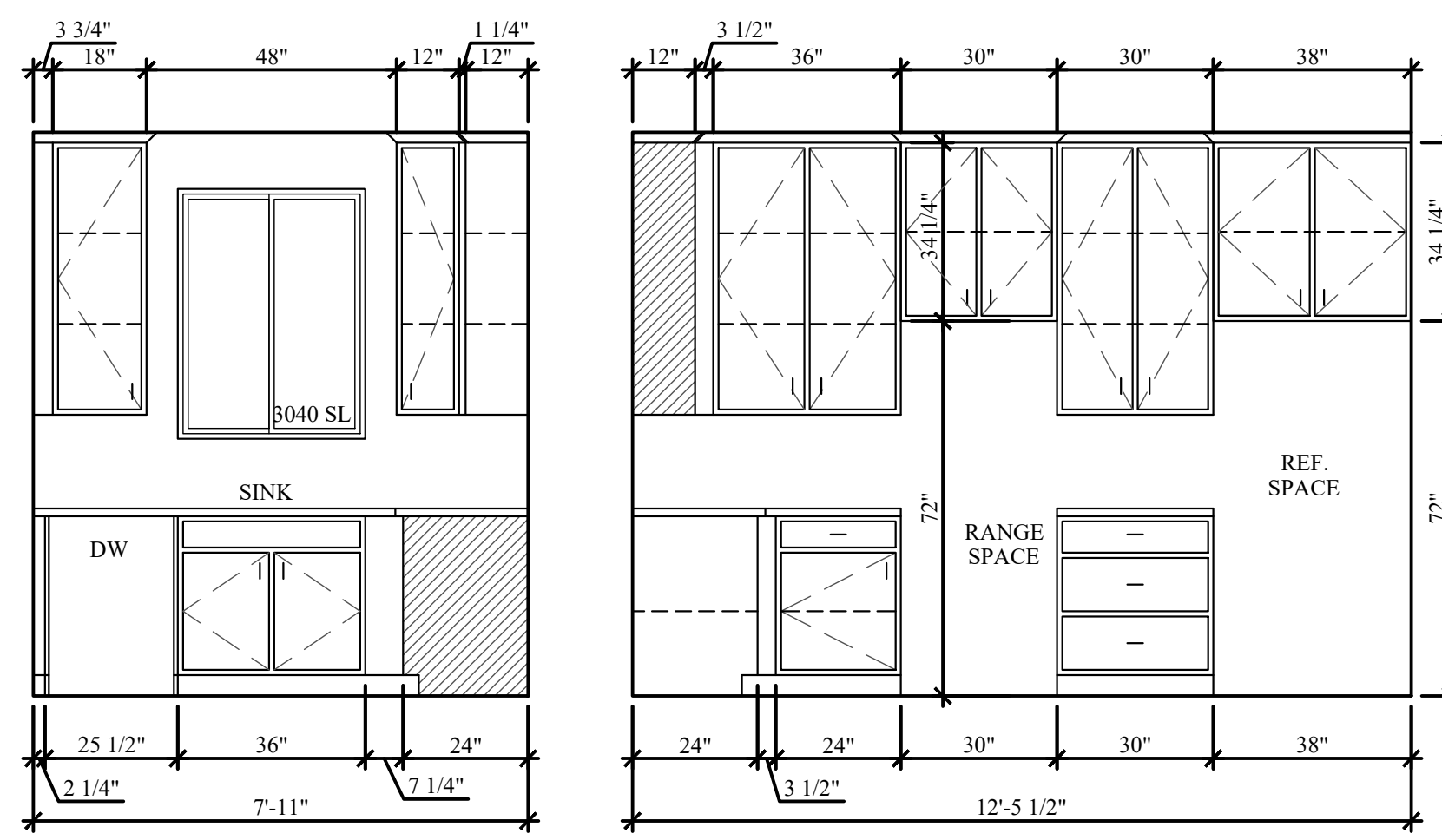
2021 IRC

ADDRESS:

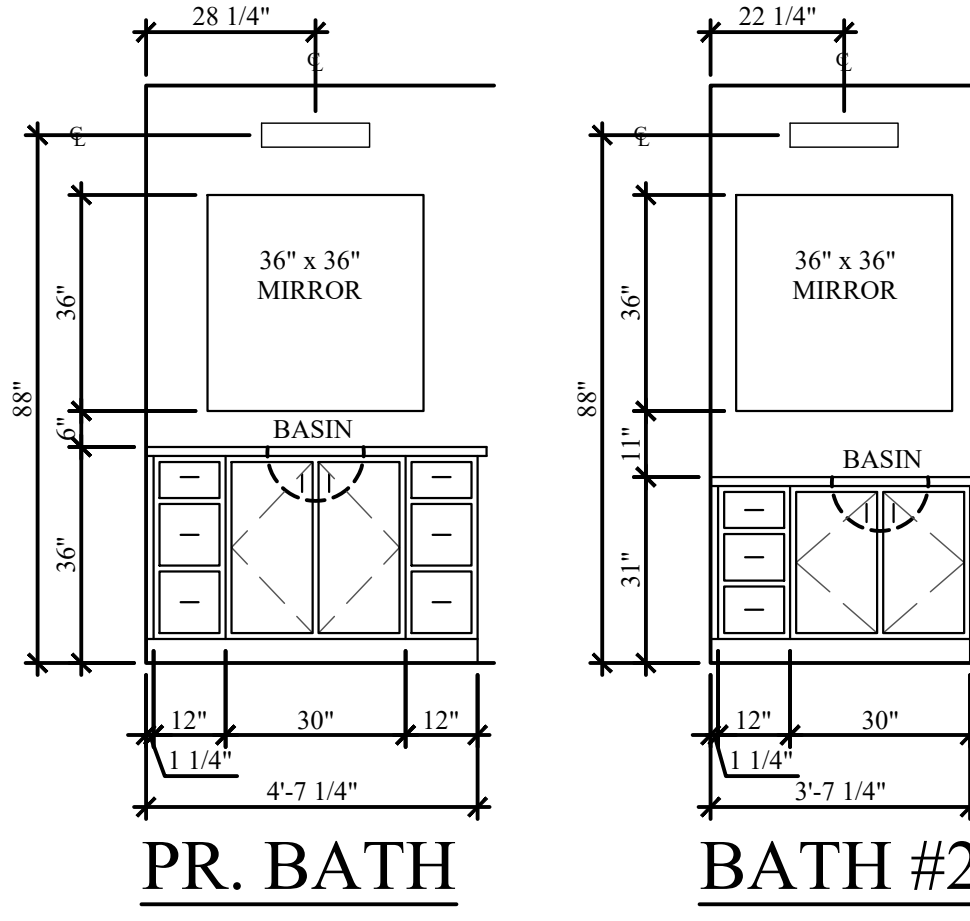
130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: 3/8" = 1'-0"
DATE: 11/12/2025
DRAFTED BY: WD
REV:

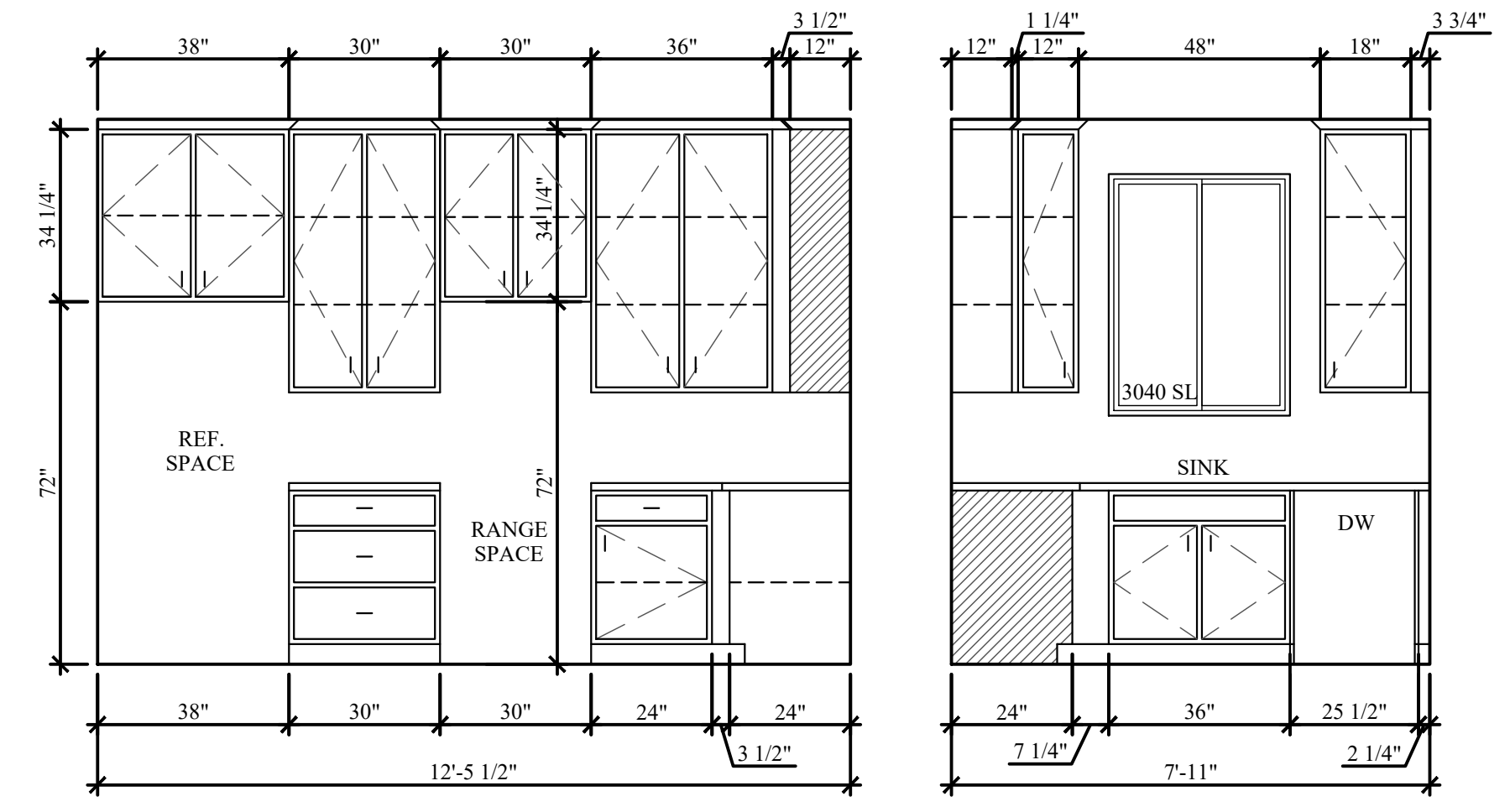
PAGE:
A6.1



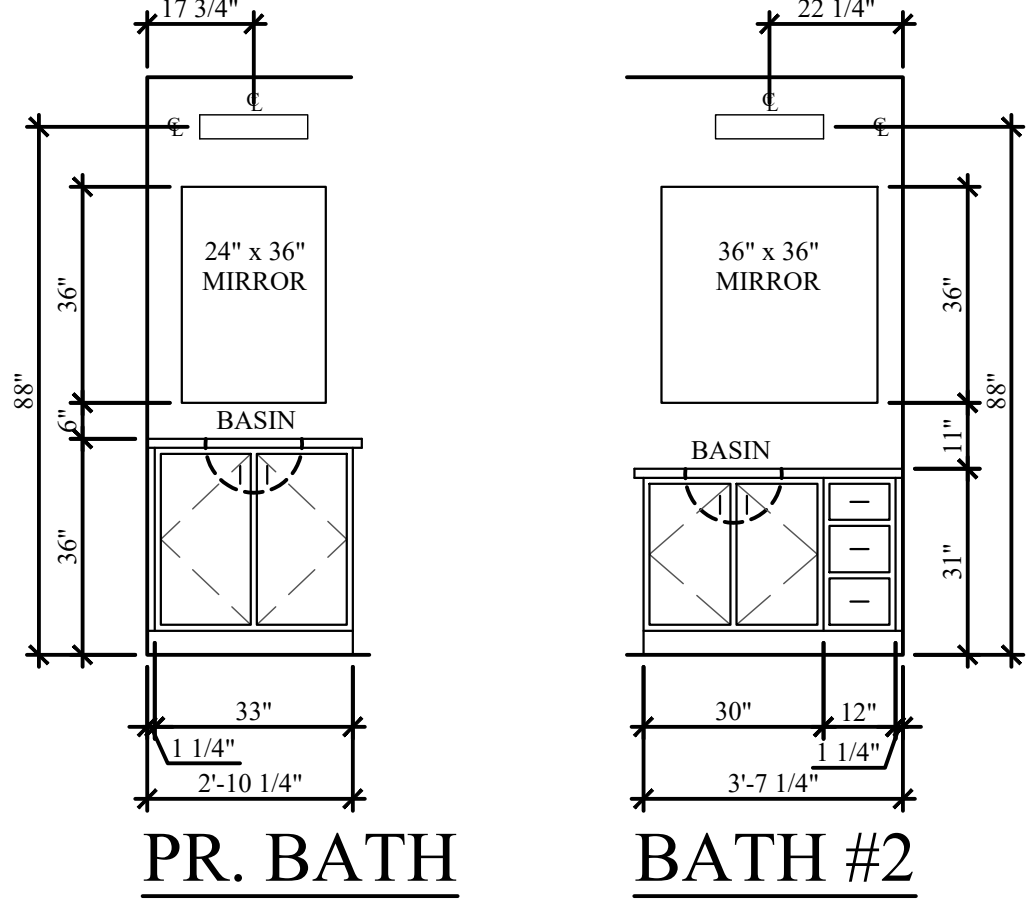
KITCHEN



UNIT A - BLDG 1 CABINETS




KITCHEN

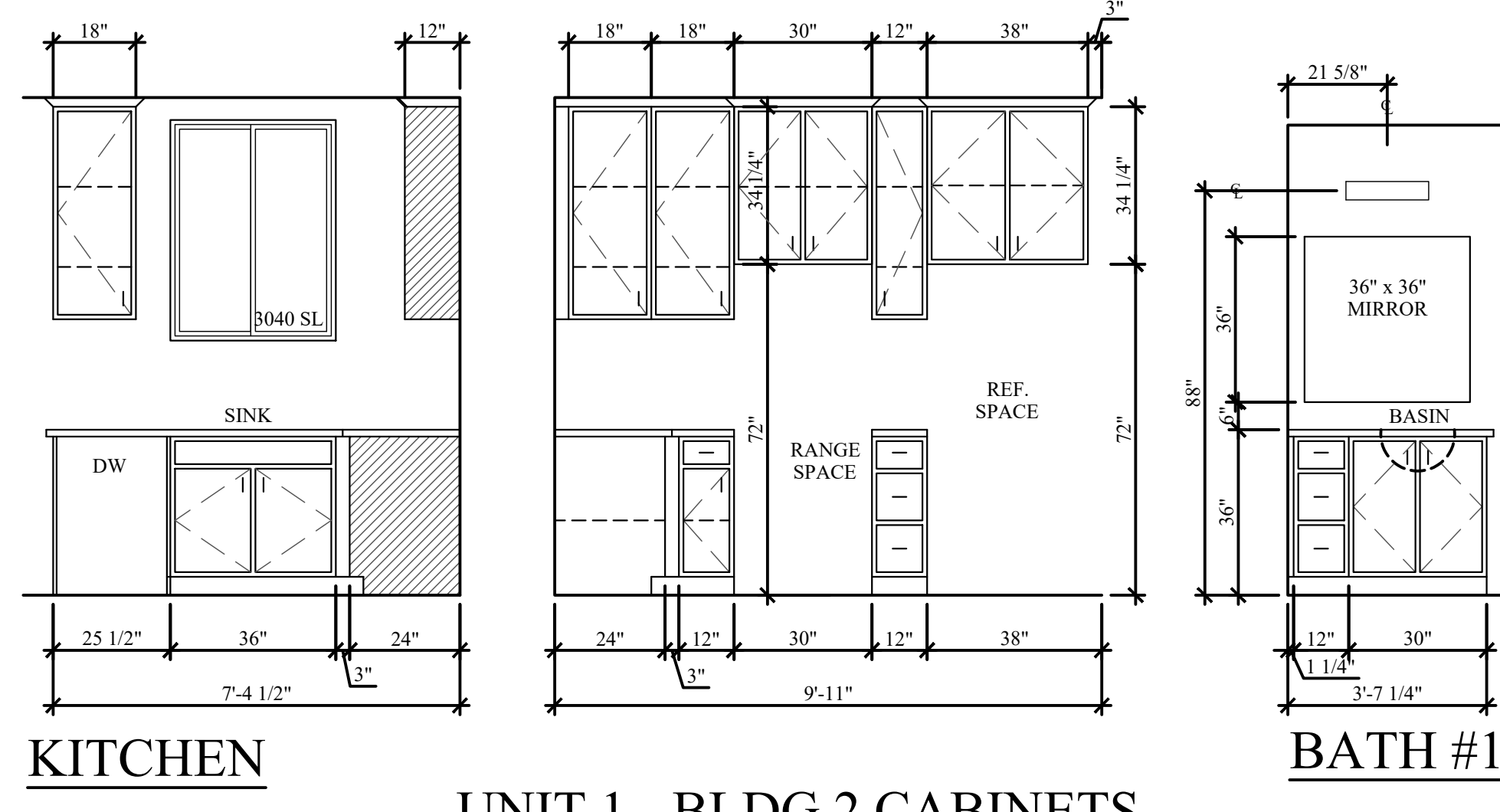


UNIT B - BLDG 1 CABINETS

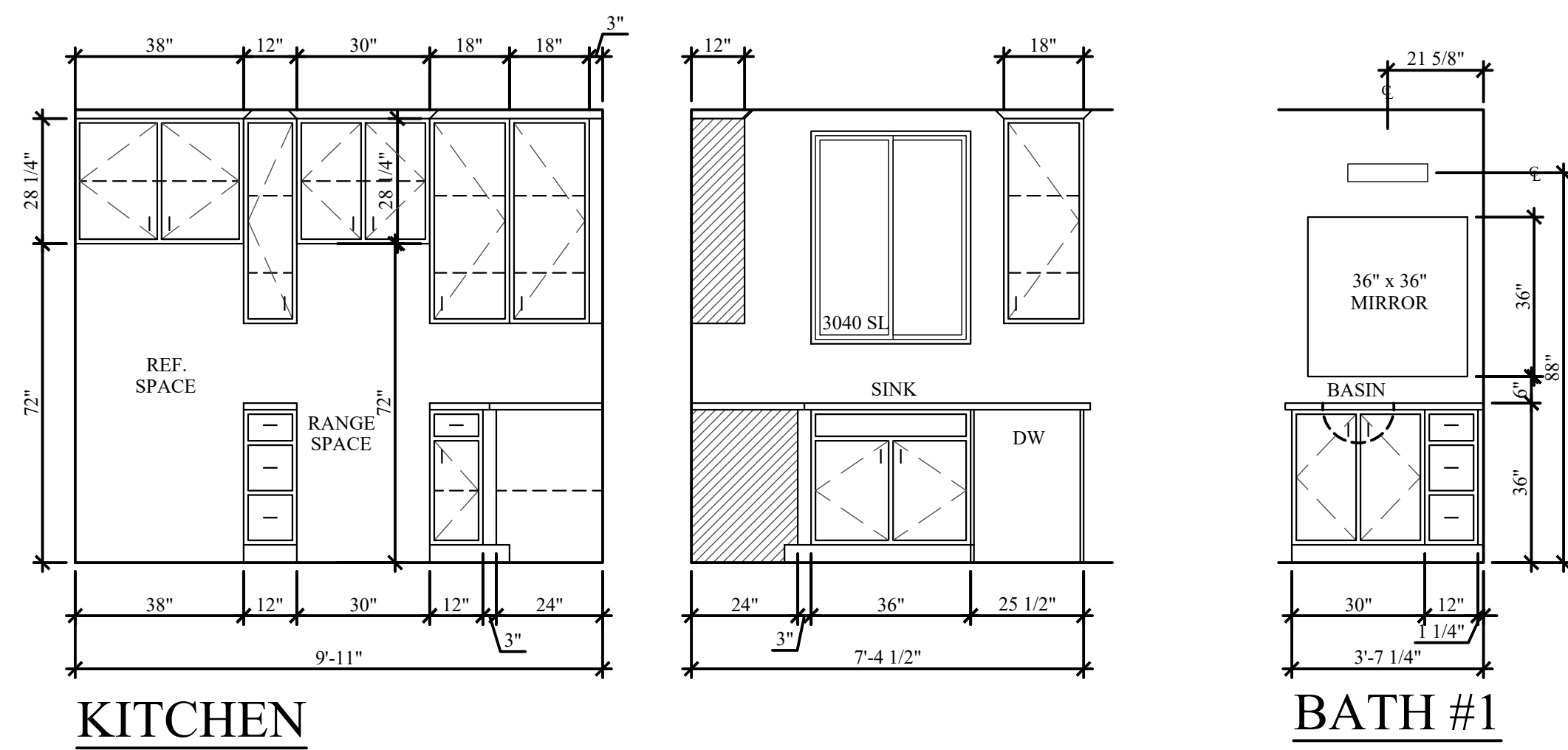
CABINET NOTES

- NOTES
 1. ALL CABINET DIMENSIONS SHALL BE CONFIRMED AFTER COMPLETION OF ROUGH FRAMING.
 2. ALL DIMENSIONS MAY VARY, AND THE CABINETS ADJUSTED AS NECESSARY.
 3. ACTUAL CABINET DESIGN TO BE DETERMINED BY THE CABINET MAKER.
 4. MOUNT UPPER CABINETS SO THAT THERE IS 18" CLEAR FROM BASE OF UPPER CABINET TO TOP OF COUNTERTOP (20" CLEAR FROM BASE OF UPPER CABINET TO TOP OF COUNTERTOP WHEN VALANCE IS USED).

ADDRESS: 2021 IRC 130 SE WYERS ST. WHITE SALMON, WA. 98672		SCALE: 1/2" = 1'-0" DATE: 11/12/2025 DRAFTED BY: WD REV:		PAGE: A7
CHAVES CUSTOM - 366		IHMS MODEL CODE - JOB #: WOWA - CUSTOM		CABINET DETAILS
		GARAGE CONFIGURATION: INTEGRAL	PLAN ORIENTATION: STANDARD	
 ADAIR HOMES INC. © COPYRIGHT 2025		ADAIR HOMES, INC 4400 NE 77TH AVE SUITE 100 VANCOUVER, WA 98662		




UNIT 1 - BLDG 2 CABINETS

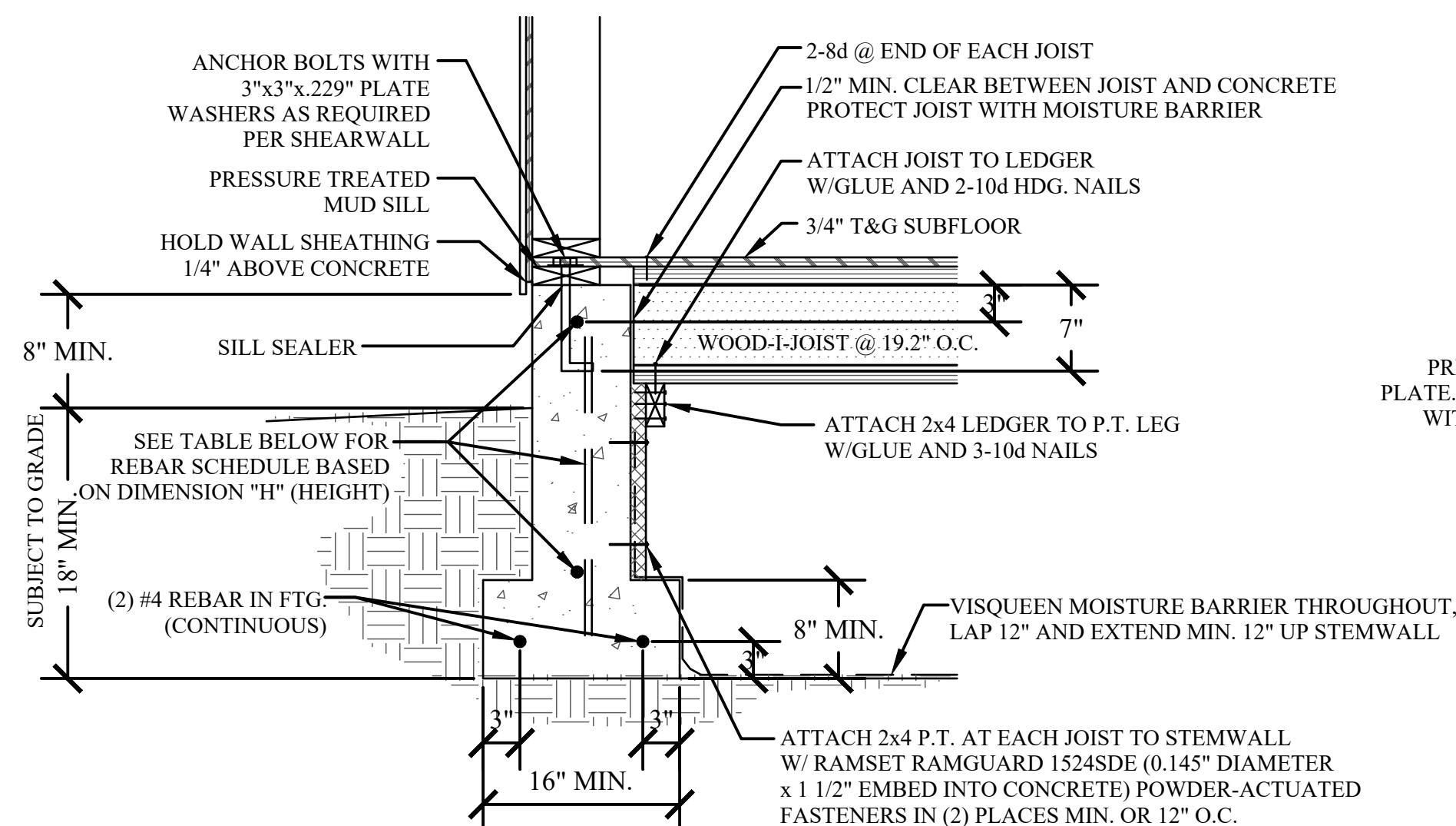


UNIT 2 - BLDG 2 CABINETS

CABINET NOTES

NOTES
 1. ALL CABINET DIMENSIONS SHALL BE CONFIRMED AFTER COMPLETION OF ROUGH FRAMING.
 2. ALL DIMENSIONS MAY VARY, AND THE CABINETS ADJUSTED AS NECESSARY.
 3. ACTUAL CABINET DESIGN TO BE DETERMINED BY THE CABINET MAKER.
 4. MOUNT UPPER CABINETS SO THAT THERE IS 18" CLEAR FROM BASE OF UPPER CABINET TO TOP OF COUNTERTOP (20" CLEAR FROM BASE OF UPPER CABINET TO TOP OF COUNTERTOP WHEN VALANCE IS USED).

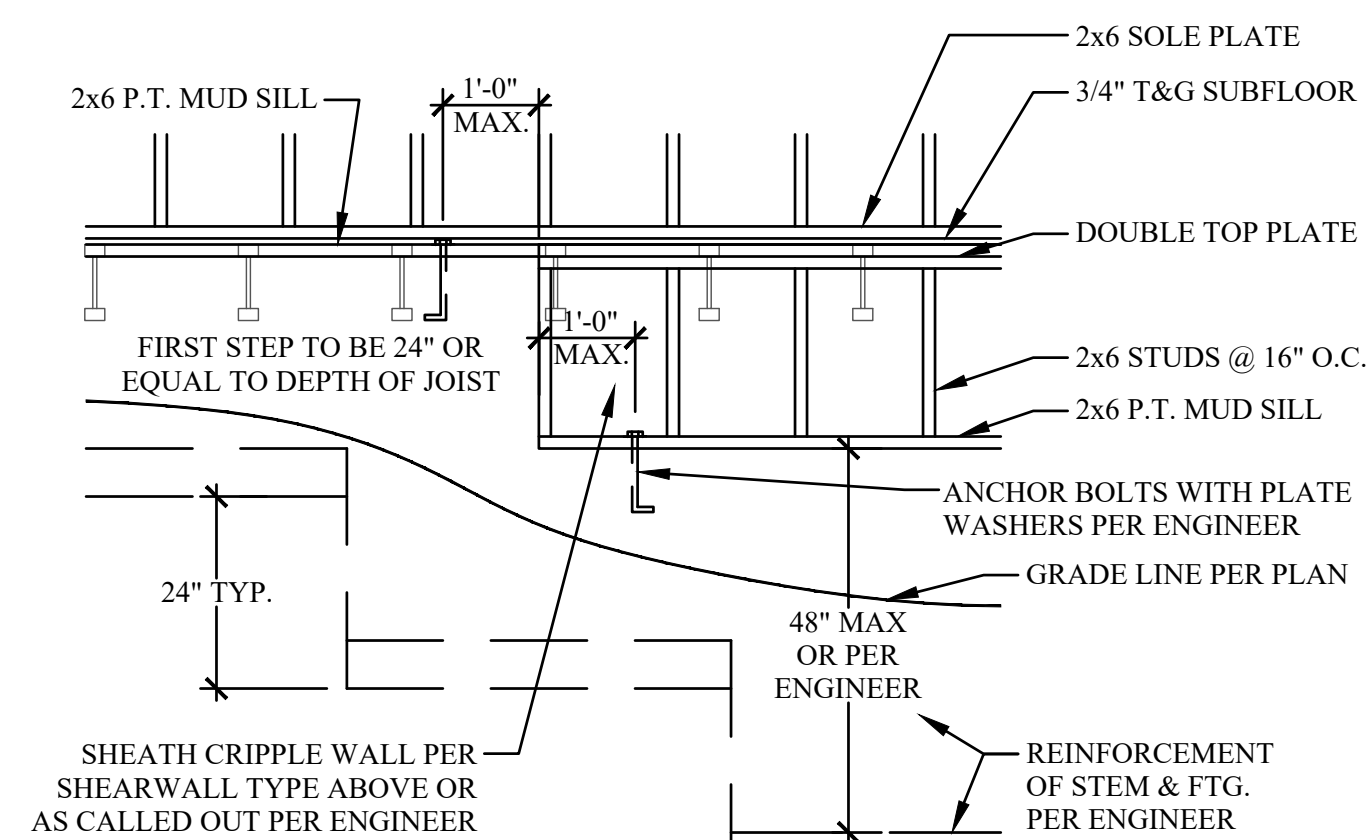
ADAIR HOMES INC. © COPYRIGHT 2025  ADAIR HOMES, INC 4400 NE 77TH AVE SUITE 100 VANCOUVER, WA 98662	CHAVES CUSTOM - 366		ADDRESS: 2021 IRC 130 SE WYERS ST. WHITE SALMON, WA. 98672
	GARAGE CONFIGURATION: INTEGRAL	PLAN ORIENTATION: STANDARD	IHMS MODEL CODE - JOB #: WOWA - CUSTOM
UNIT 1 & 2 CABINET DETAILS			PAGE: A7.1



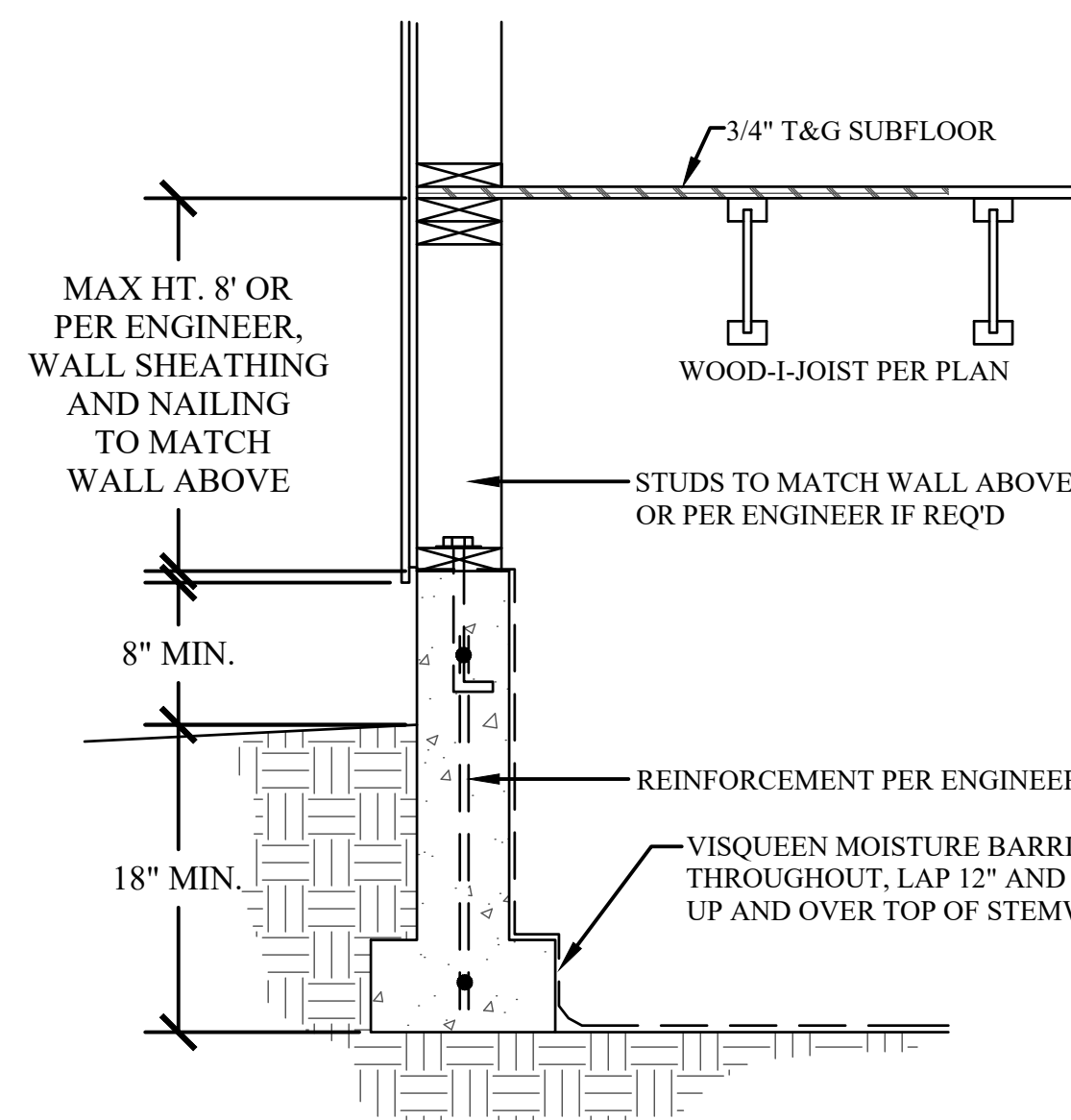
"H" = HEIGHT OF STEM WALL	VERTICAL REBAR	HORIZONTAL REBAR (SEE NOTE)
0 - 2 FT.	#4 @ 72" O.C.	(2) #4
2 - 4 FT.	#4 @ 48" O.C.	#4 @ 24" O.C.

NOTE:
ALL HORIZONTAL REBAR RUNS SHALL BE CONTINUOUS AND SPLICES SHALL OVERLAP A MINIMUM OF 12". NO REBAR SHALL BE IN CONTACT WITH EARTH.

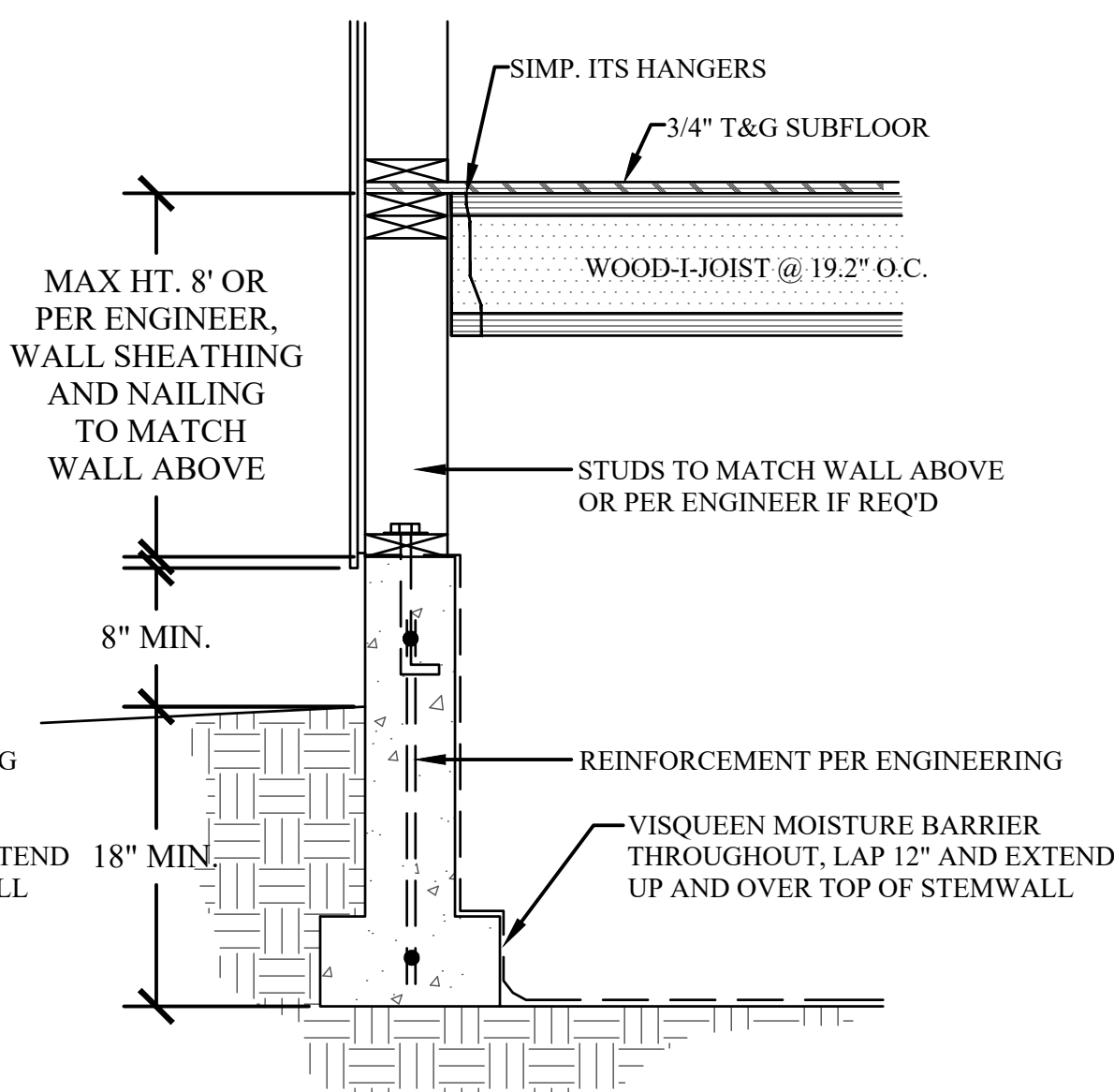
1 FOUNDATION & FLOOR SECTION
SCALE: 1" = 1'-0"
Klickitat County



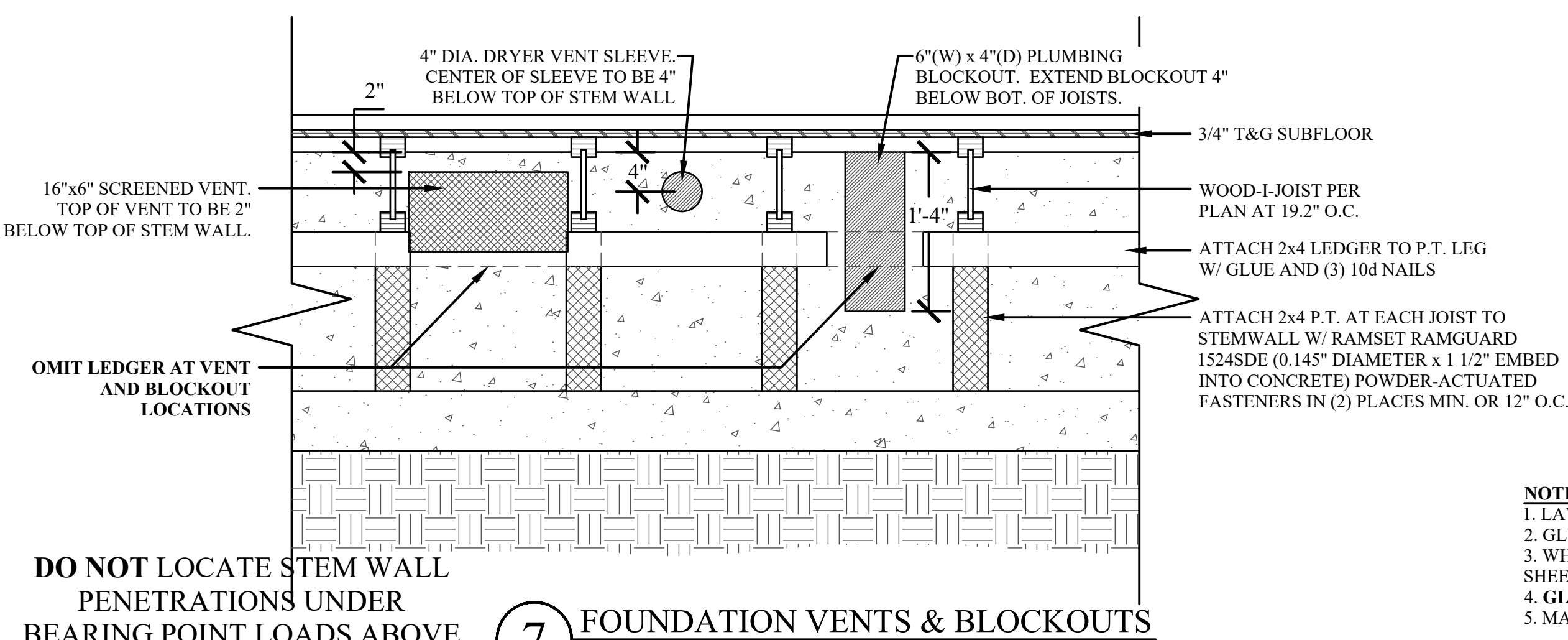
4 STEPPED FOUNDATION
SCALE: 1/4" = 1'-0"
PERPENDICULAR JOISTS



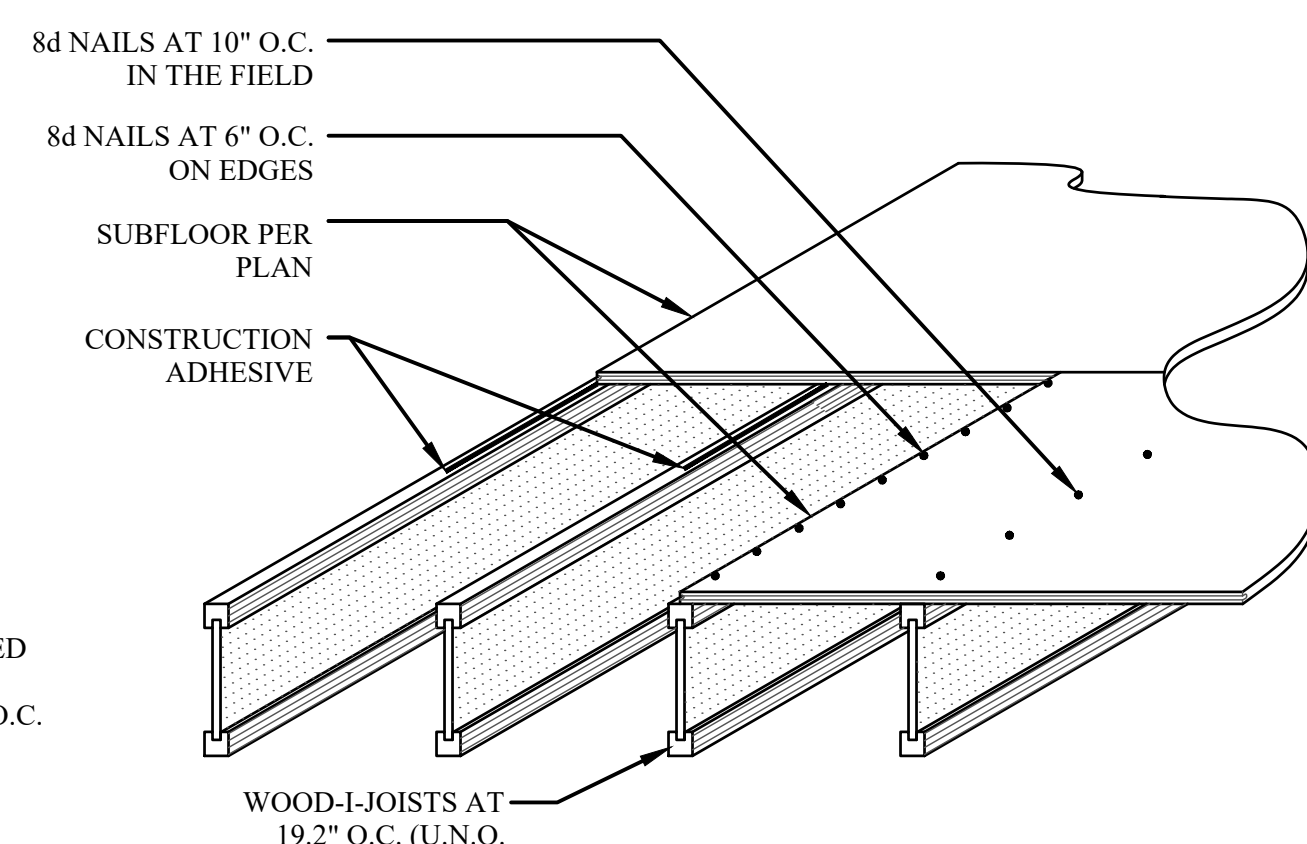
5a STEPPED FOUNDATION
SCALE: 1/4" = 1'-0"
PARALLEL JOISTS AS NEEDED



5b STEPPED FOUNDATION
SCALE: 1/4" = 1'-0"
PERPENDICULAR JOISTS AS NEEDED

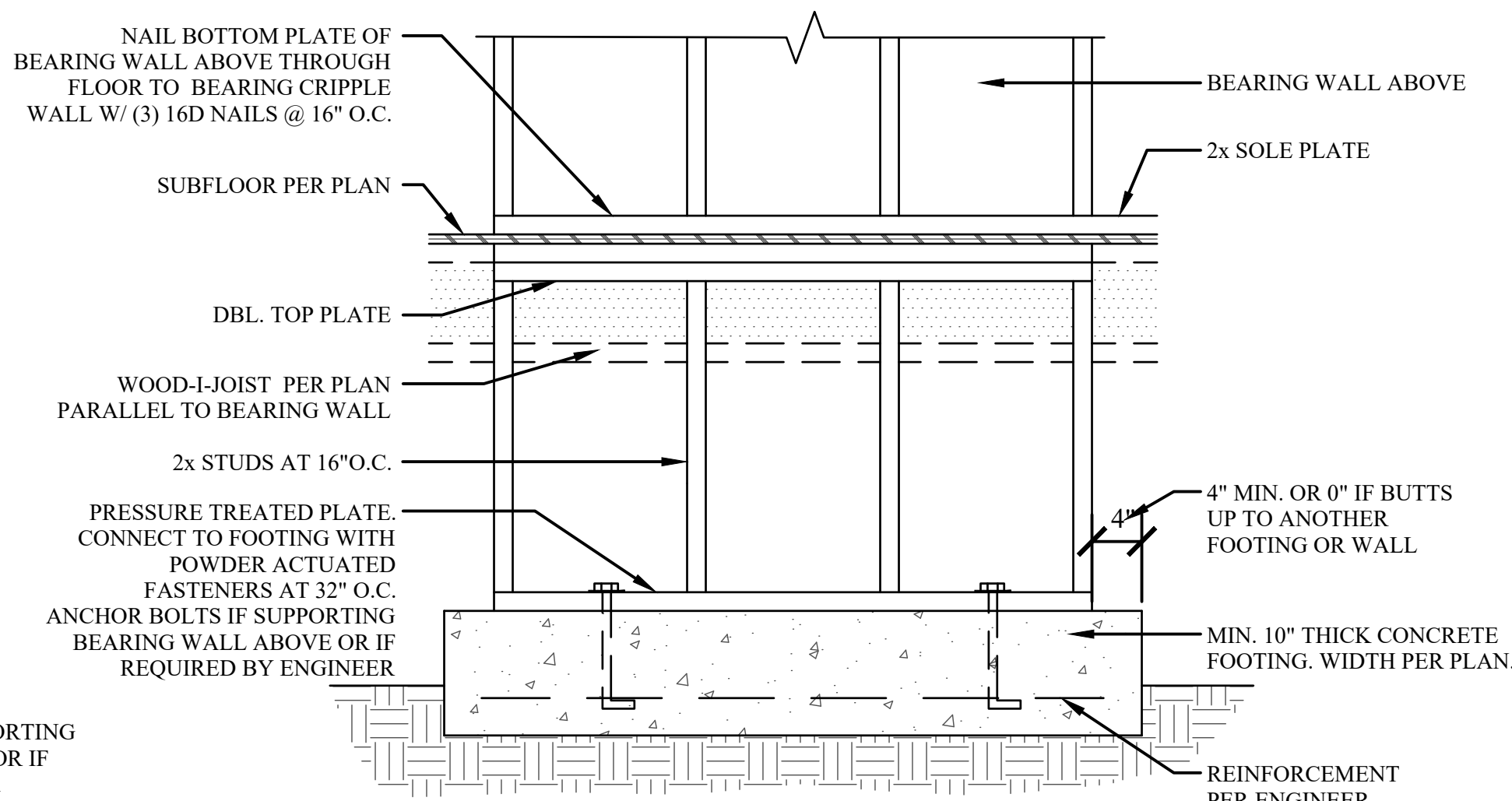


7 FOUNDATION VENTS & BLOCKOUTS
SCALE: 1" = 1'-0"

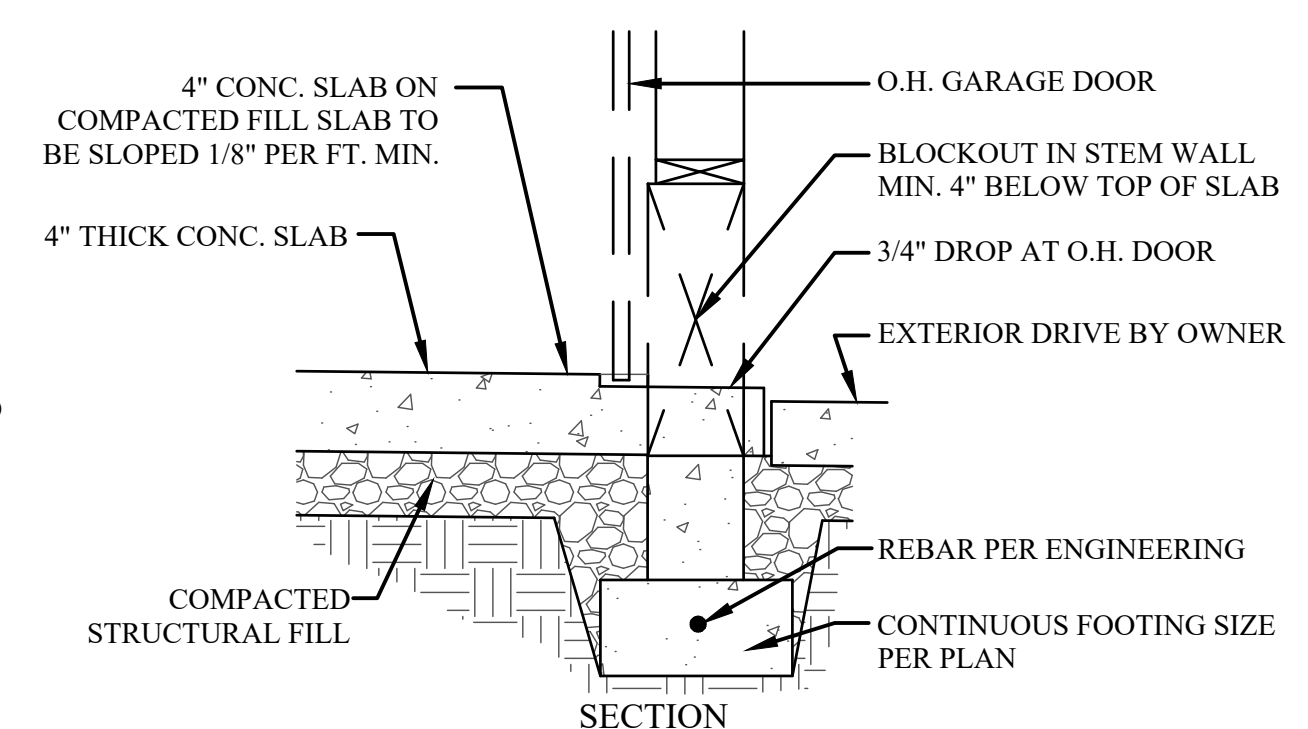
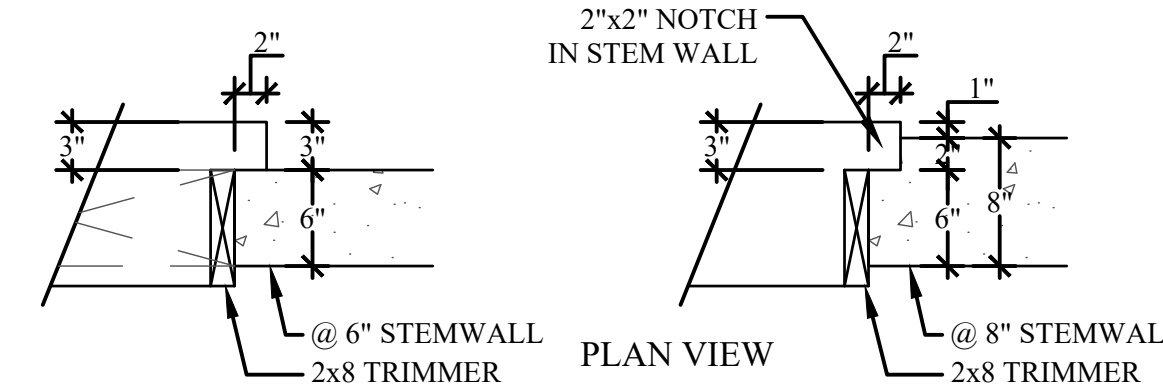


NOTES:
1. LAY T&G SUBFLOOR WITH THE TOUGUE TOWARD YOU AND THE GROOVE AWAY.
2. GLUE AND NAIL EACH SHEET BEFORE INSTALLING THE NEXT.
3. WHEN PUSHING THE SHEETS TOGETHER, PROTECT THE GROOVE EDGE OF THE SHEET WITH A 2x4 LAID ACROSS THE JOISTS
4. GLUE LINE MUST BE CONTINUOUS FOR THE FULL WIDTH OF THE SHEET.
5. MAINTAIN 1/8" GAP AT THE END OF SHEETS.

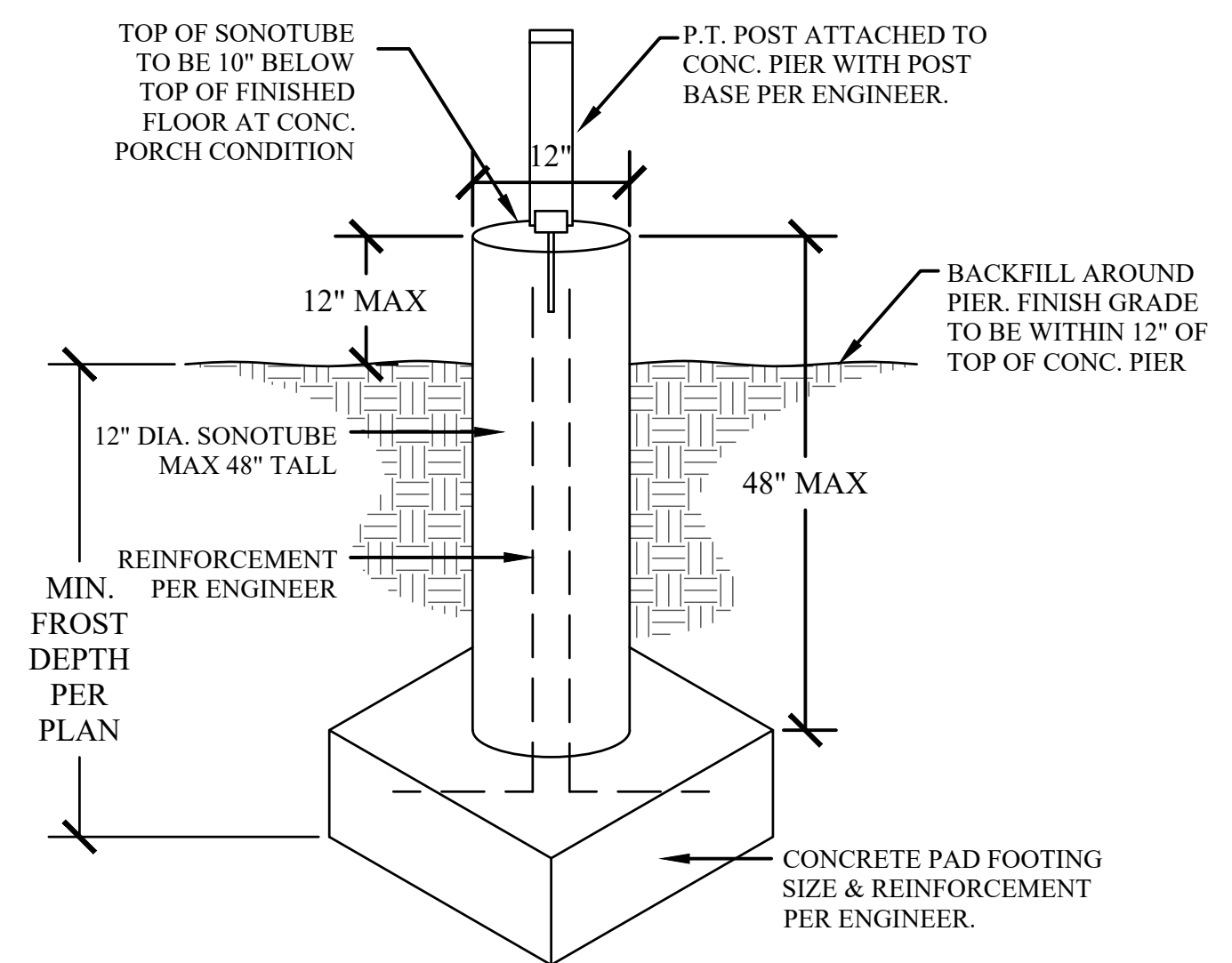
8 SUBFLOOR INSTALLATION
SCALE: NTS



3 BEARING WALL, PARALLEL TO JOISTS
SCALE: 1" = 1'-0"
INTERIOR FOOTING AND PONY WALL



6 FOUNDATION at OVERHEAD GARAGE DOOR
SCALE: 1" = 1'-0"



9 SONOTUBE PIER TO PAD FOOTING CONNECTION
SCALE: NTS

ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

PLAN ORIENTATION:
STANDARD

GARAGE CONFIGURATION:
INTEGRAL

DETAILS

SCALE: AS SHOWN

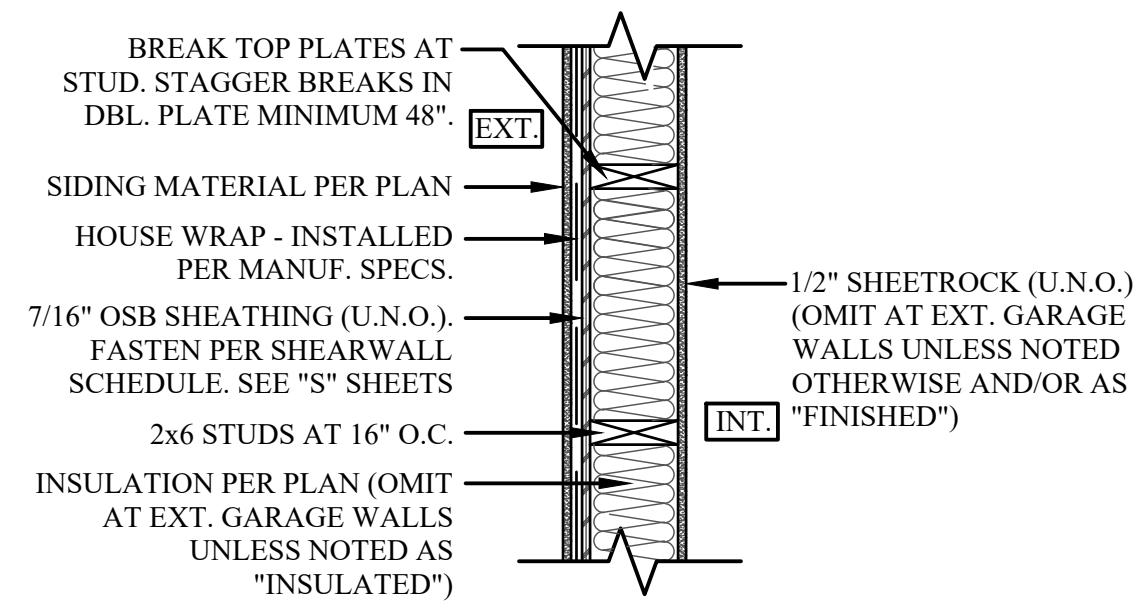
DATE: 11/12/2025

DRAFTED BY: WD

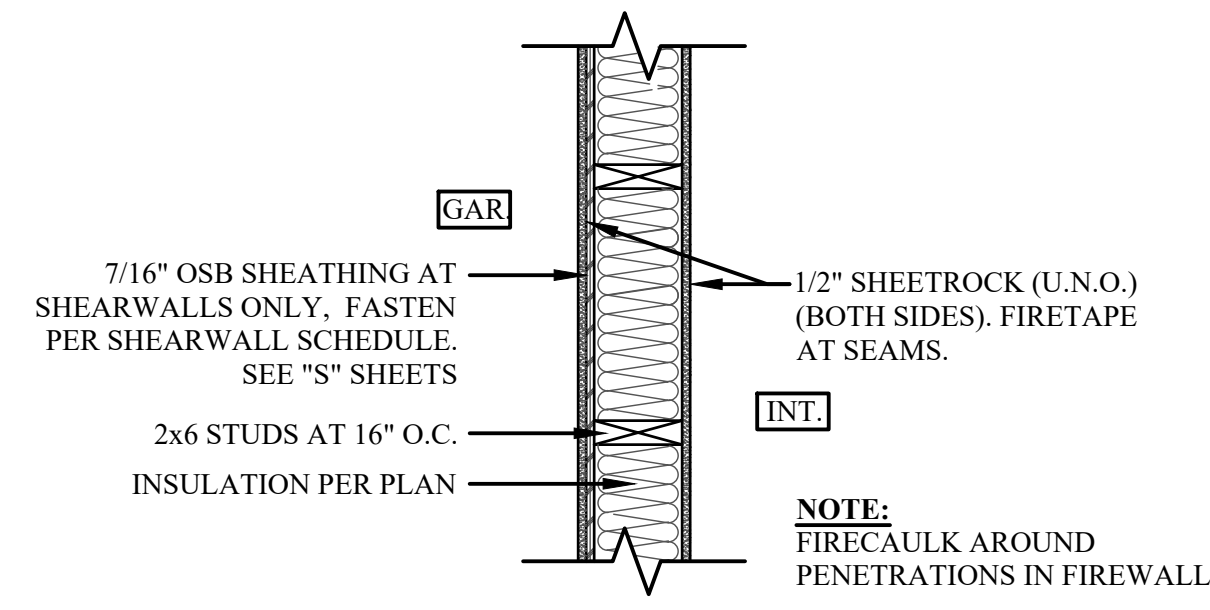
REV:

PAGE:

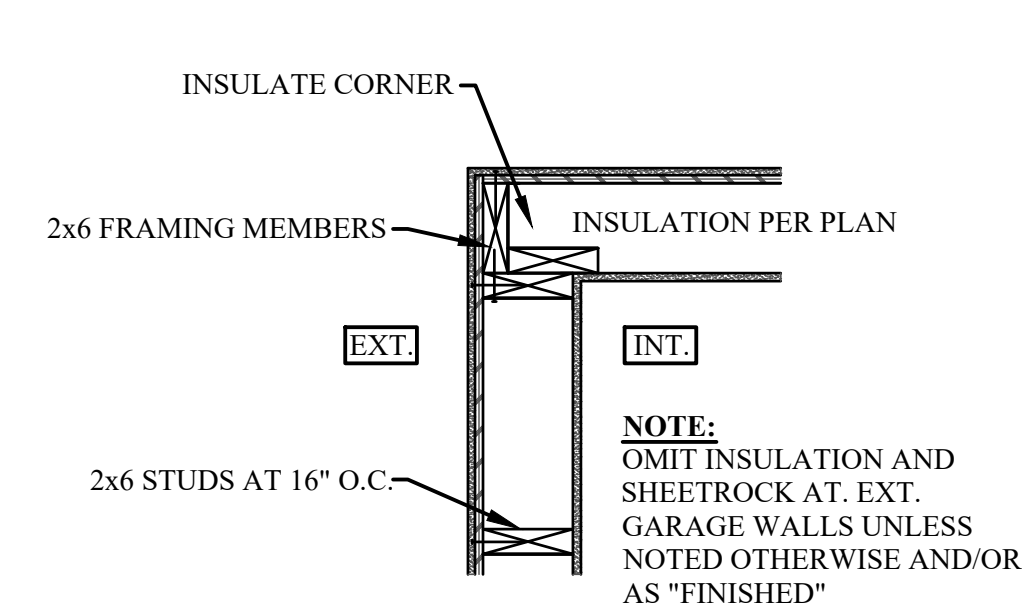
AD1



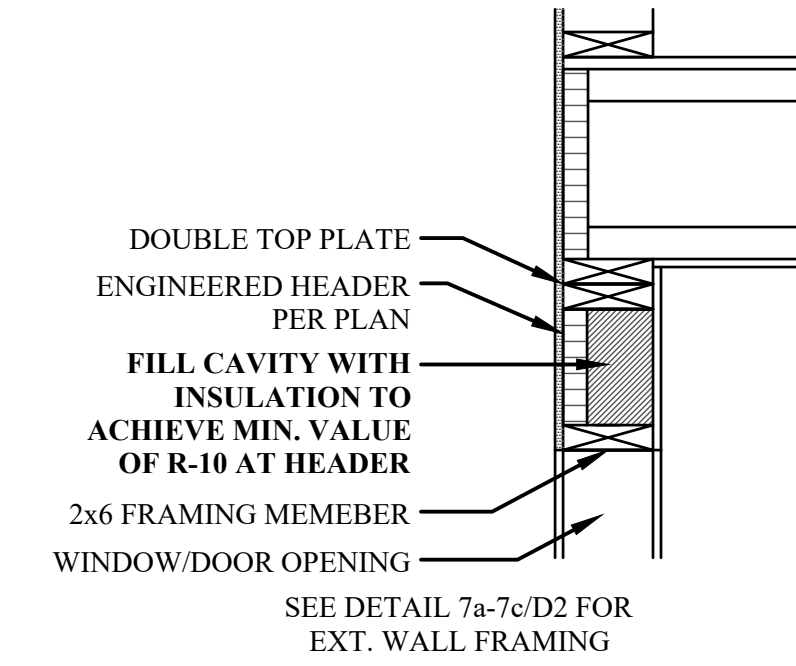
1 EXTERIOR WALL DETAIL
SCALE: 1" = 1'-0"



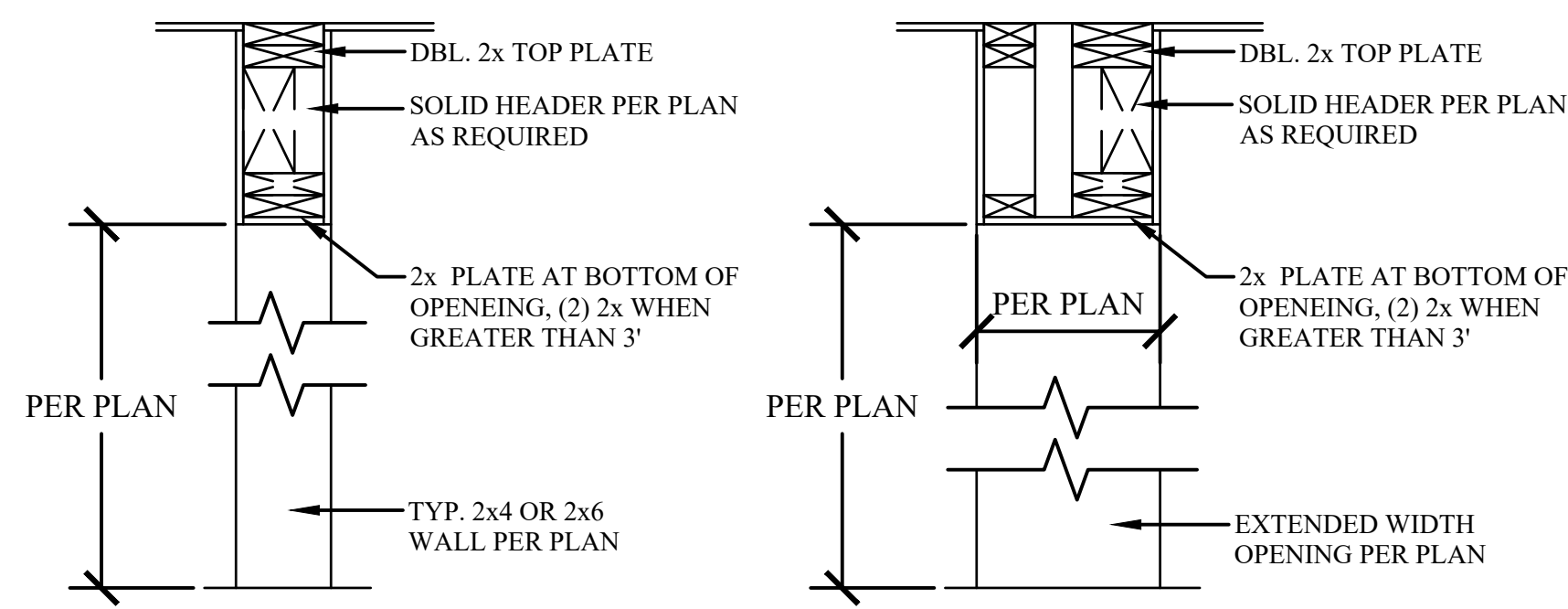
2 INTERIOR/GARAGE TRANSITION WALL
SCALE: 1" = 1'-0"



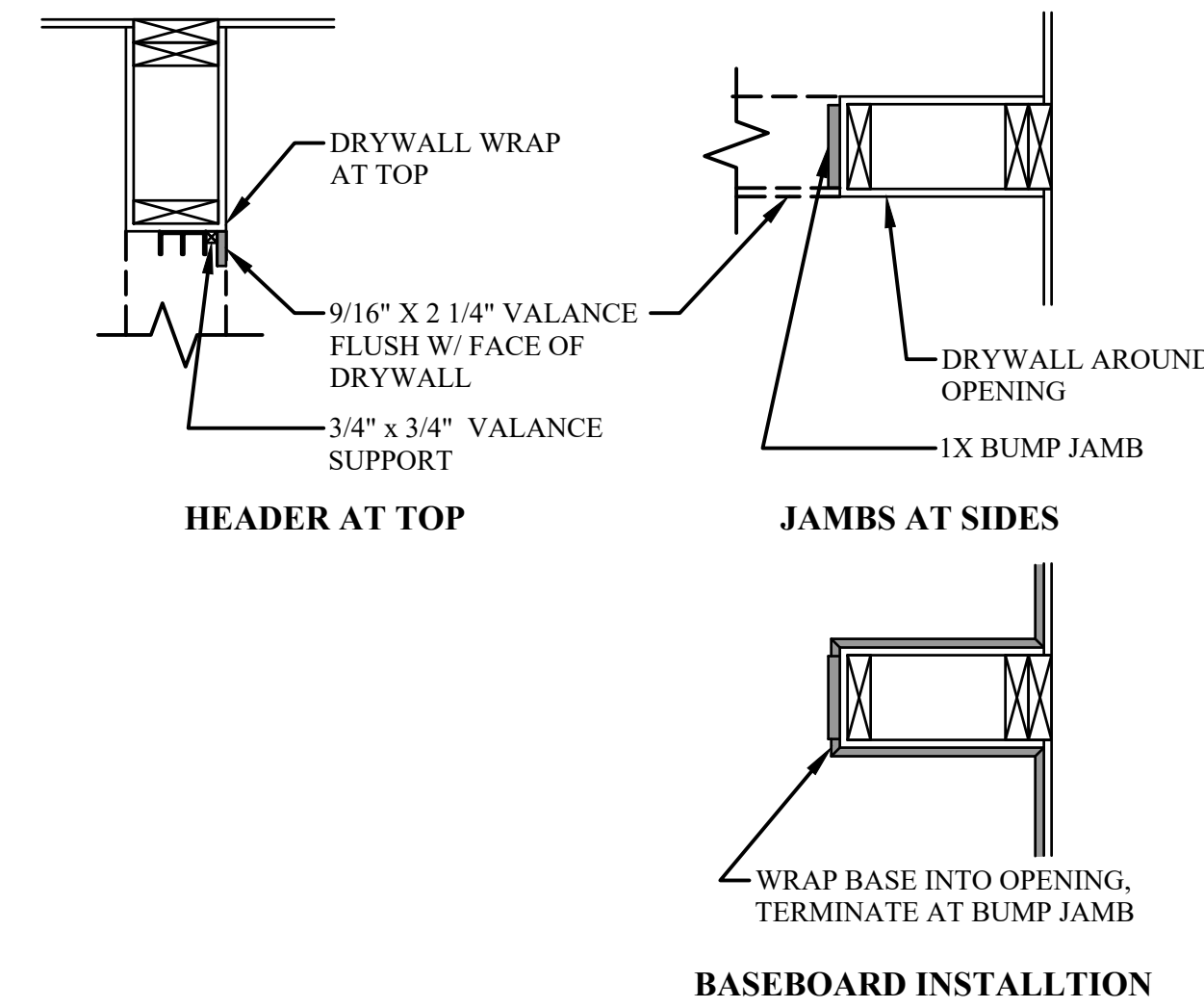
3 THREE STUD CORNER
SCALE: 1" = 1'-0"



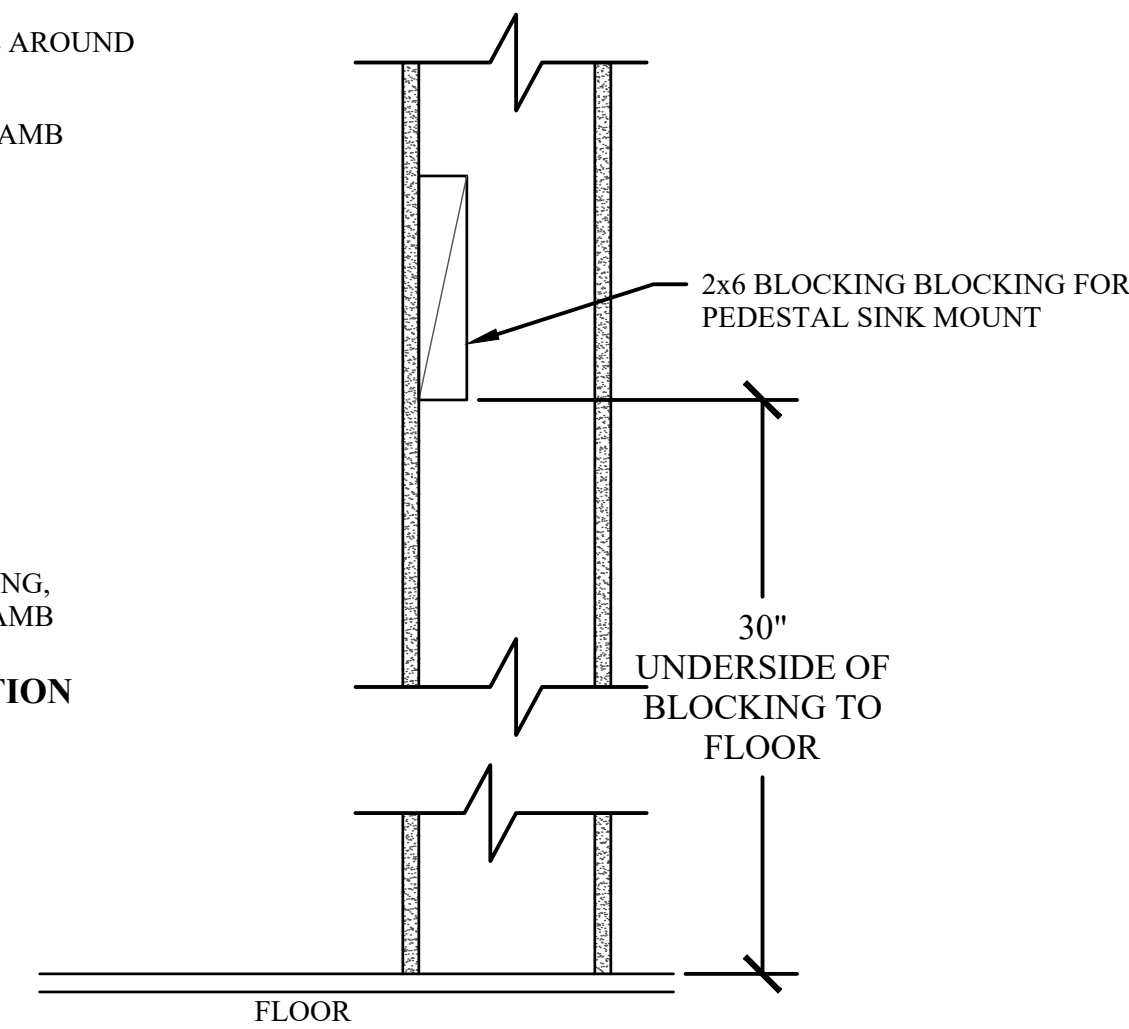
4 INSULATED HEADER
SCALE: 1" = 1'-0"



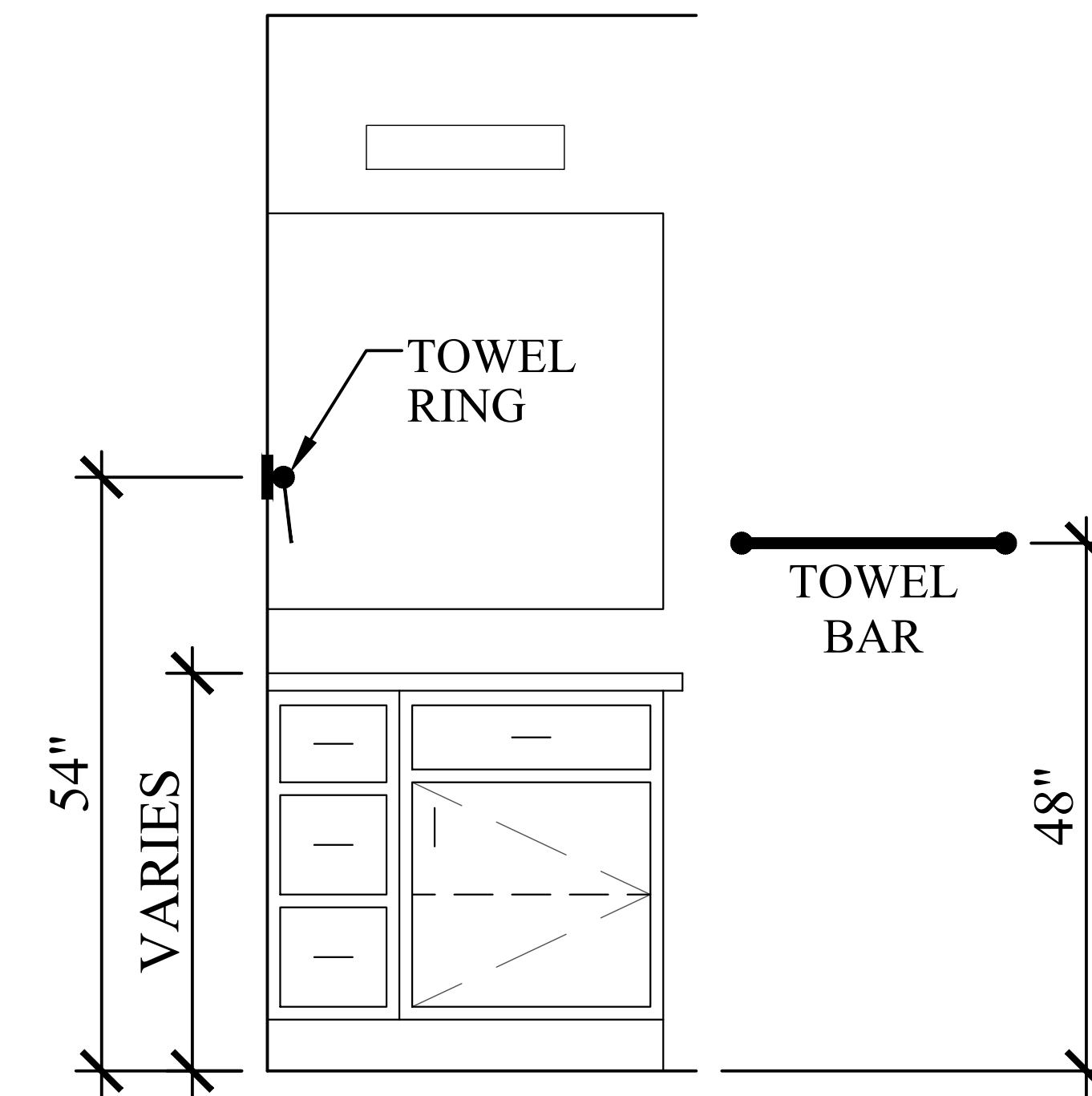
5 FRAME DOWN INTERIOR OPENING DETAIL
SCALE: 1" = 1'-0"



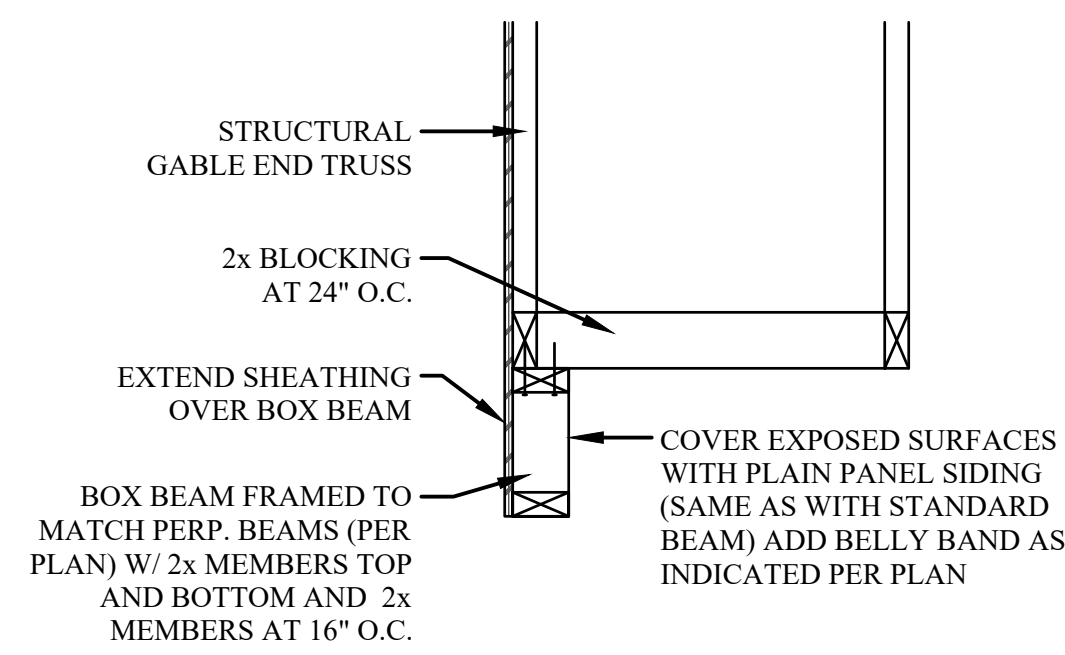
9 BI-PASS CLOSET DOOR STD DRYWALL WRAPPED
SCALE: 1" = 1'-0"



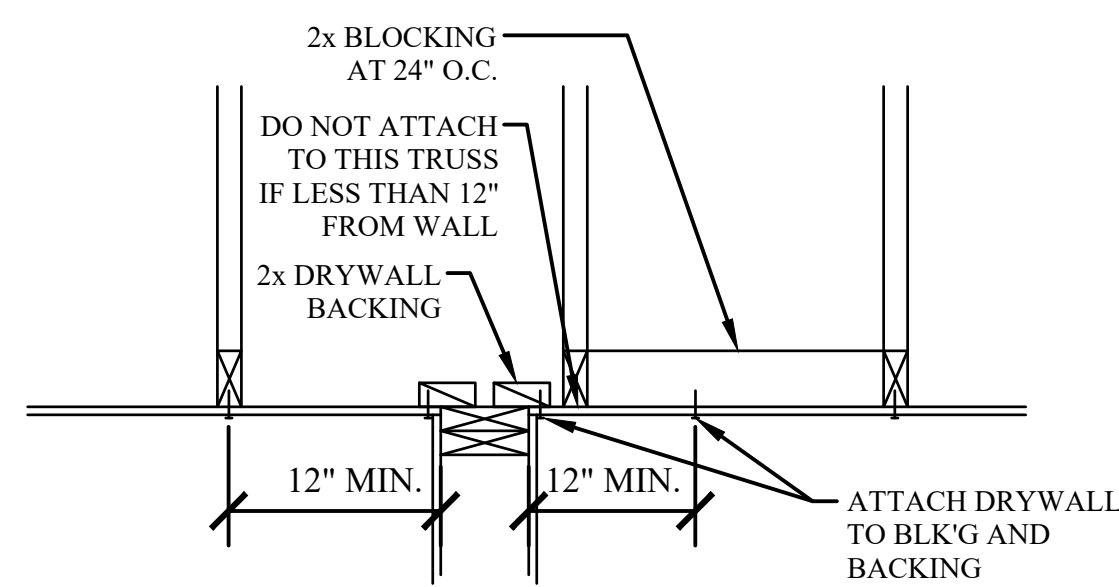
7.2 PEDESTAL SINK BACKING
SCALE: 2" = 1'-0"



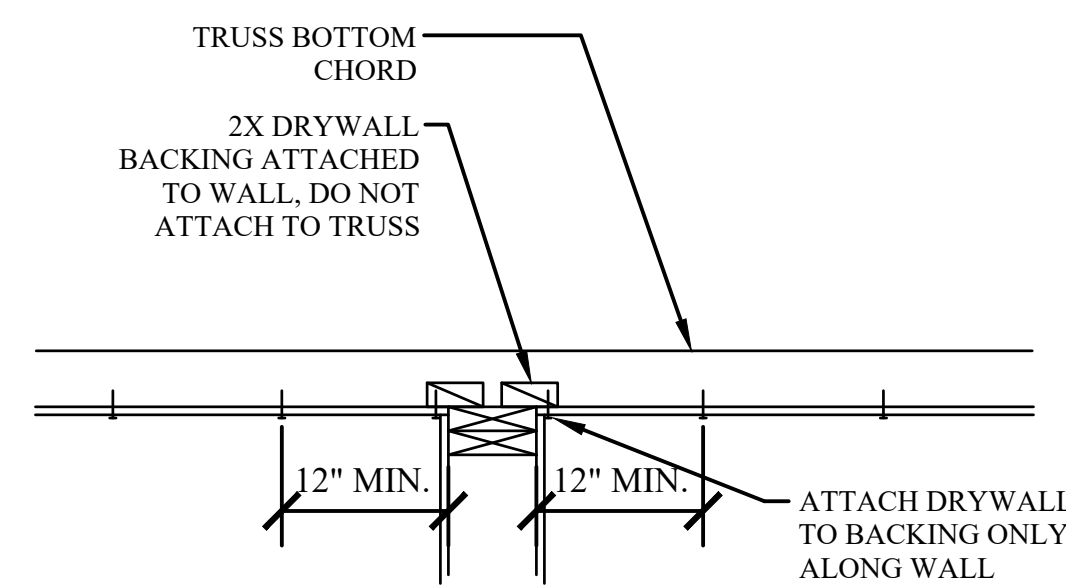
7.3 TOWEL BAR LOCATION
SCALE: NTS



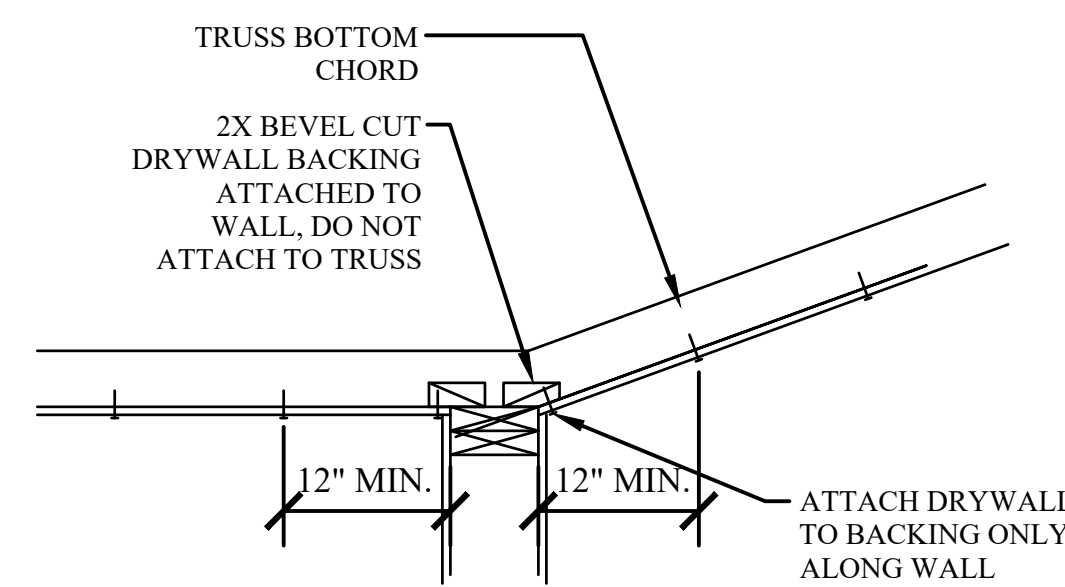
6 BOX BEAM DETAIL
SCALE: 2" = 1'-0"



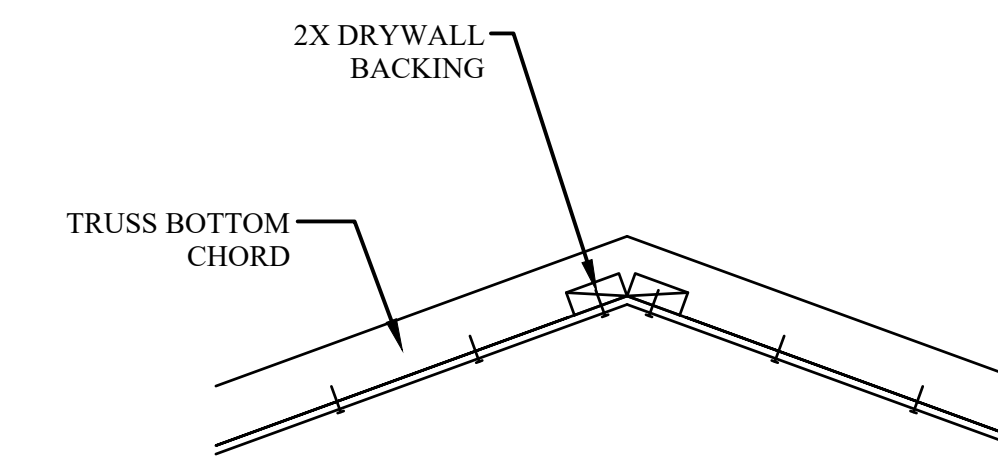
8 DRYWALL BACKING @ INT. WALL
SCALE = 1" = 1'-0" PARALLEL CONDITION



8.1 DRYWALL BACKING @ INT. WALL
SCALE = 1" = 1'-0" PERPENDICULAR CONDITION



8.2 DRYWALL BACKING @ INT. WALL
SCALE = 1" = 1'-0" PERPENDICULAR VAULT CONDITION



8.3 DRYWALL BACKING @ VAULT
SCALE = 1" = 1'-0" PERPENDICULAR VAULT CONDITION



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

ADDRESS:

2021 IRC
130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:

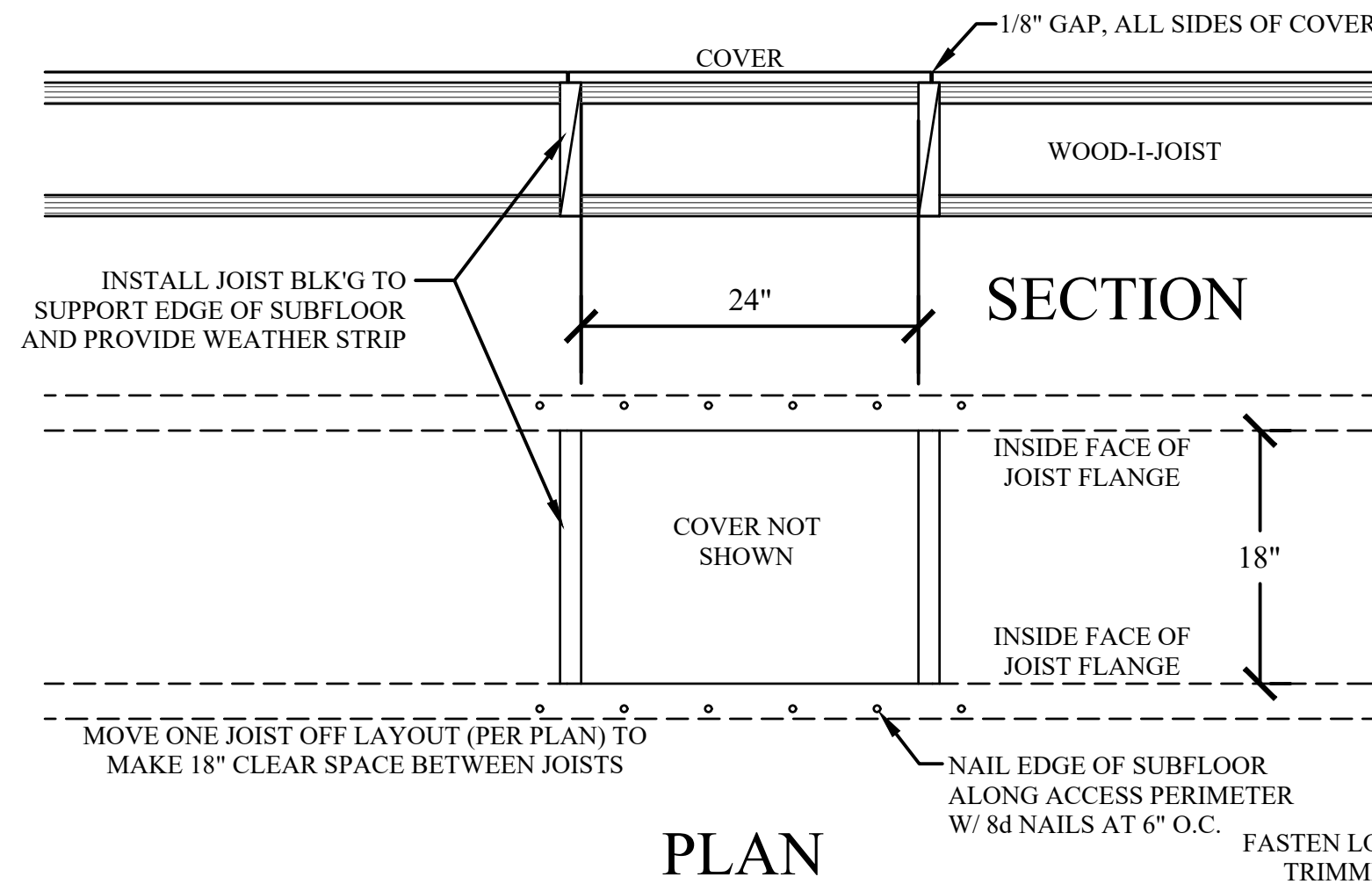
PLAN ORIENTATION:
STANDARD

GHMS MODEL CODE - JOB #:
WOWA - CUSTOM

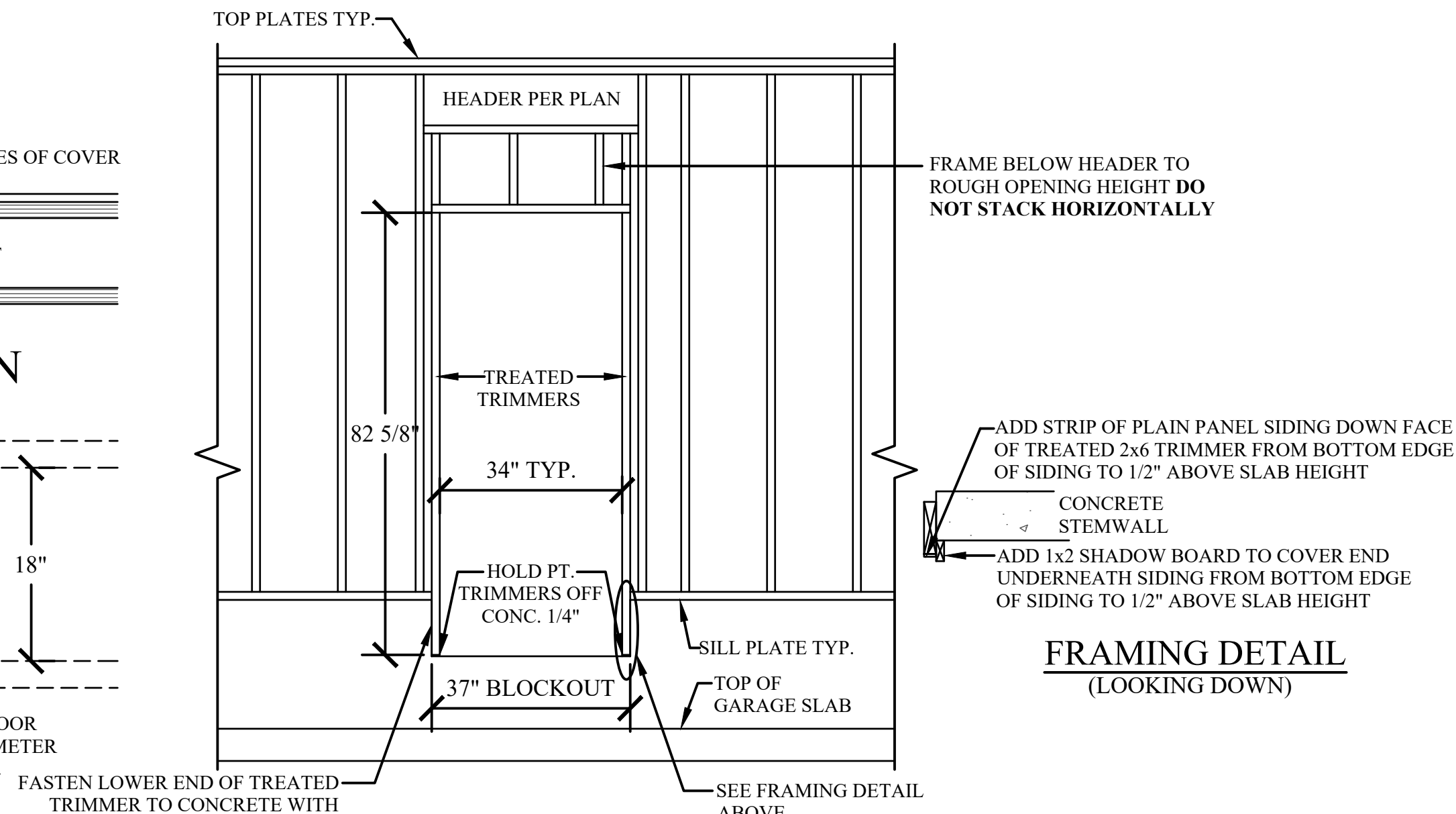
PAGE:

AD2

DETAILS

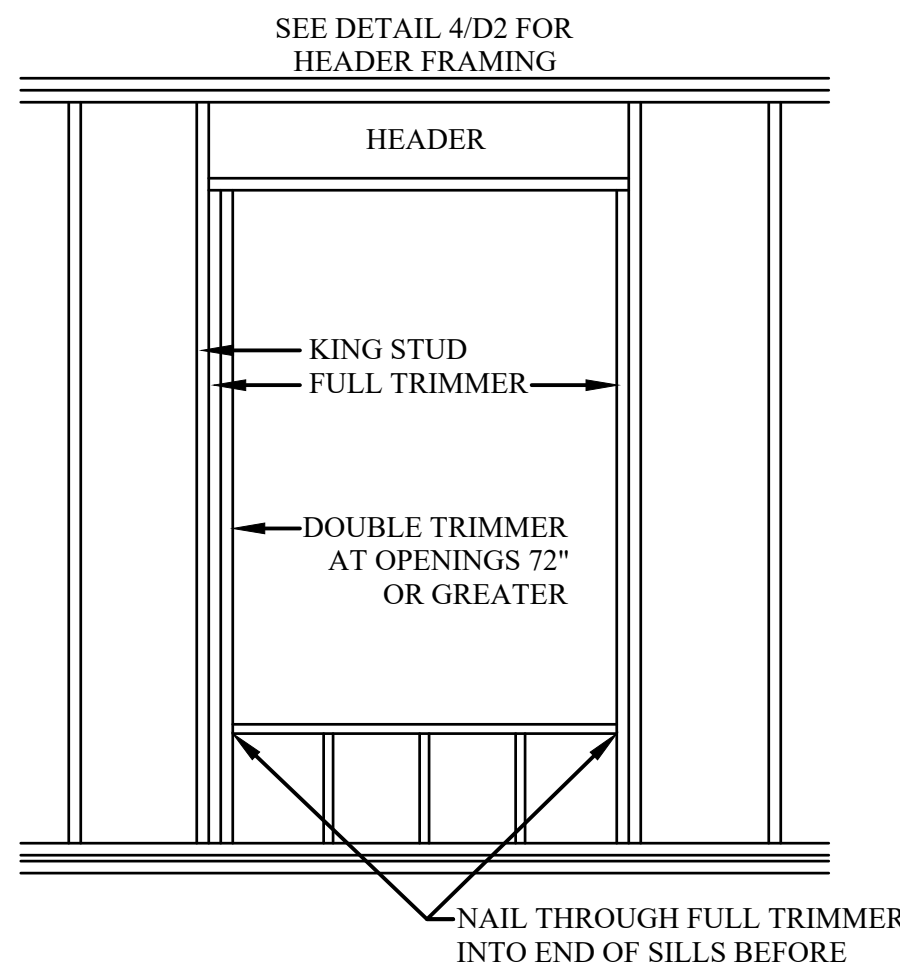


5 CRAWL SPACE ACCESS
 SCALE: 1" = 1'-0"



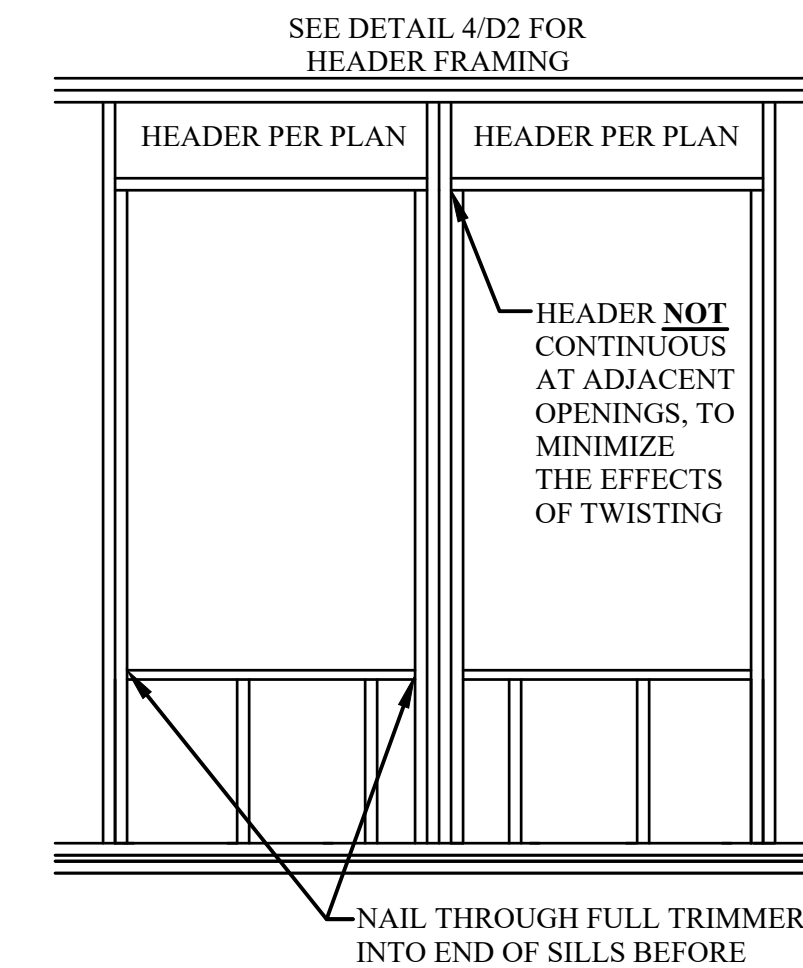
6 GARAGE MAN DOOR DETAIL
 SCALE: 1/2" = 1'-0"

NOTE:
 TOP OF WINDOW ROUGH OPENINGS TO BE AS FOLLOWS, UNLESS NOTED OTHERWISE
 MAIN & LOWER FLOOR:
 8" PLATE - 6'-11 1/8" A.F.F. W/ 9 1/2" TALL HEADERS.
 9" PLATE - 7'-11 1/8" A.F.F. W/ 9 1/2" TALL HEADERS.
 UPPER FLOOR: 7'-1 3/8" A.F.F. W/ 7 1/4" TALL HEADERS.

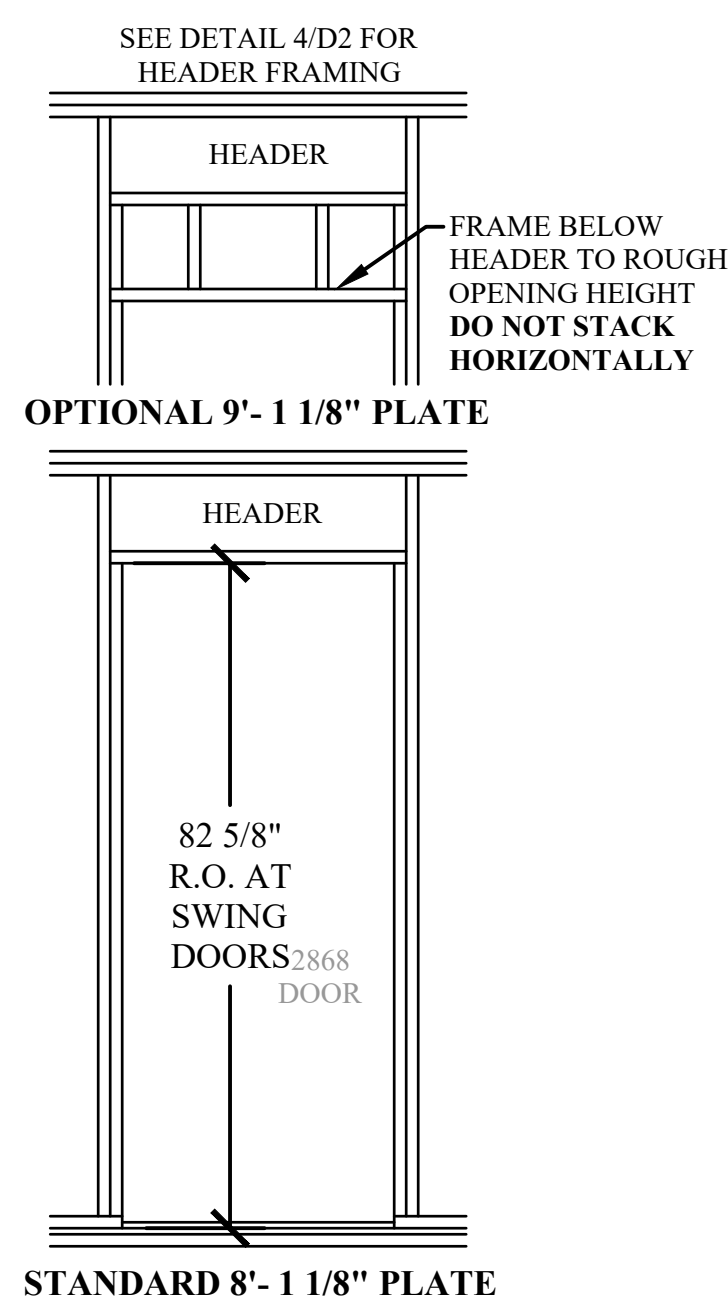


7a EXTERIOR WALL FRAMING
 SCALE: 1/2" = 1'-0" AT TYPICAL WINDOW

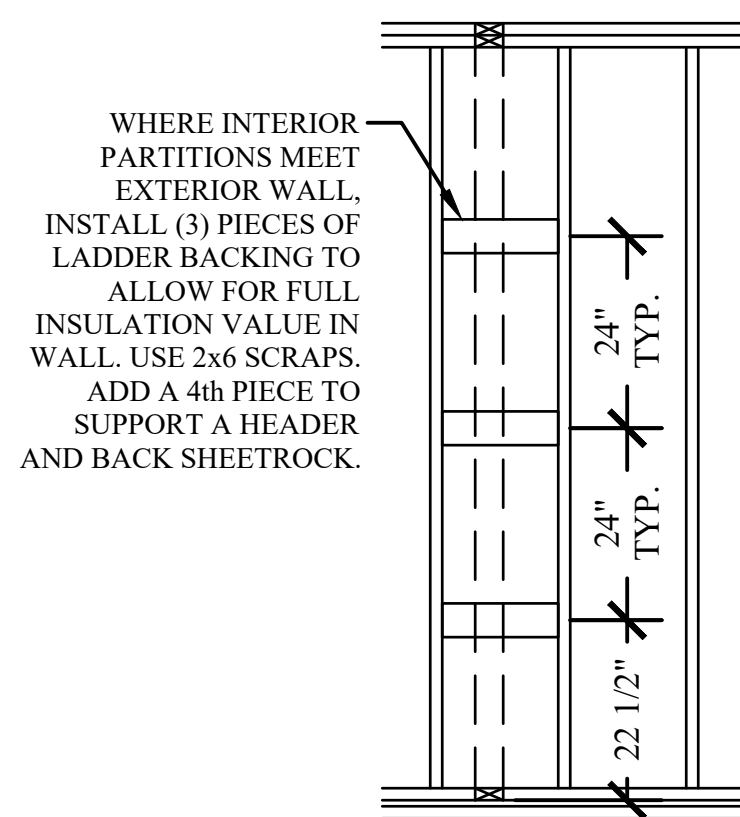
NOTE:
 TOP OF WINDOW ROUGH OPENINGS TO BE AS FOLLOWS, UNLESS NOTED OTHERWISE
 MAIN & LOWER FLOOR:
 8" PLATE - 6'-11 1/8" A.F.F. W/ 9 1/2" TALL HEADERS.
 9" PLATE - 7'-11 1/8" A.F.F. W/ 9 1/2" TALL HEADERS.
 UPPER FLOOR: 7'-1 3/8" A.F.F. W/ 7 1/4" TALL HEADERS.



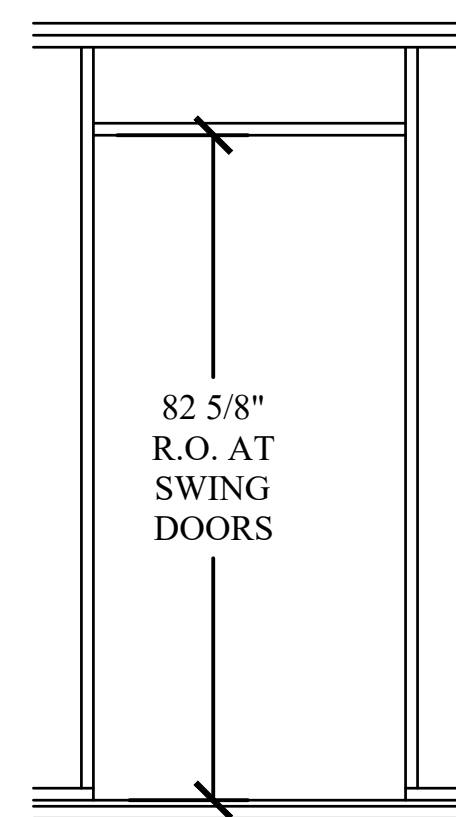
7b EXTERIOR WALL FRAMING
 SCALE: 1/2" = 1'-0" AT DOUBLE WINDOW



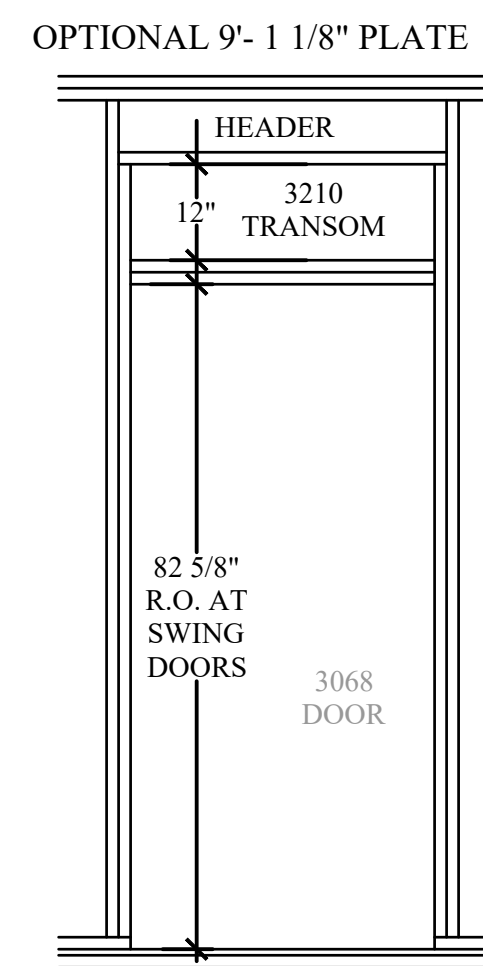
7c EXTERIOR WALL FRAMING
 SCALE: 1/2" = 1'-0" AT EXTERIOR SWING DOOR



7d WALL INTERSECTION FRAMING
 SCALE: 1/2" = 1'-0" AT INTERIOR OR EXTERIOR



7e INTERIOR WALL FRAMING
 SCALE: 1/2" = 1'-0" AT INTERIOR SWING DOOR



7f EXTERIOR DOOR SIDE LITE WINDOW FRAMING
 SCALE: 1/2" = 1'-0"

ADAIR HOMES INC.
 © COPYRIGHT 2025

ADAIR HOMES, INC
 4400 NE 77TH AVE
 SUITE 100
 VANCOUVER, WA 98662

CHAVES CUSTOM - 366

ADDRESS:
 2021 IRC

130 SE WYERS ST.
 WHITE SALMON, WA. 98672

SCALE: AS SHOWN
 DATE: 11/12/2025

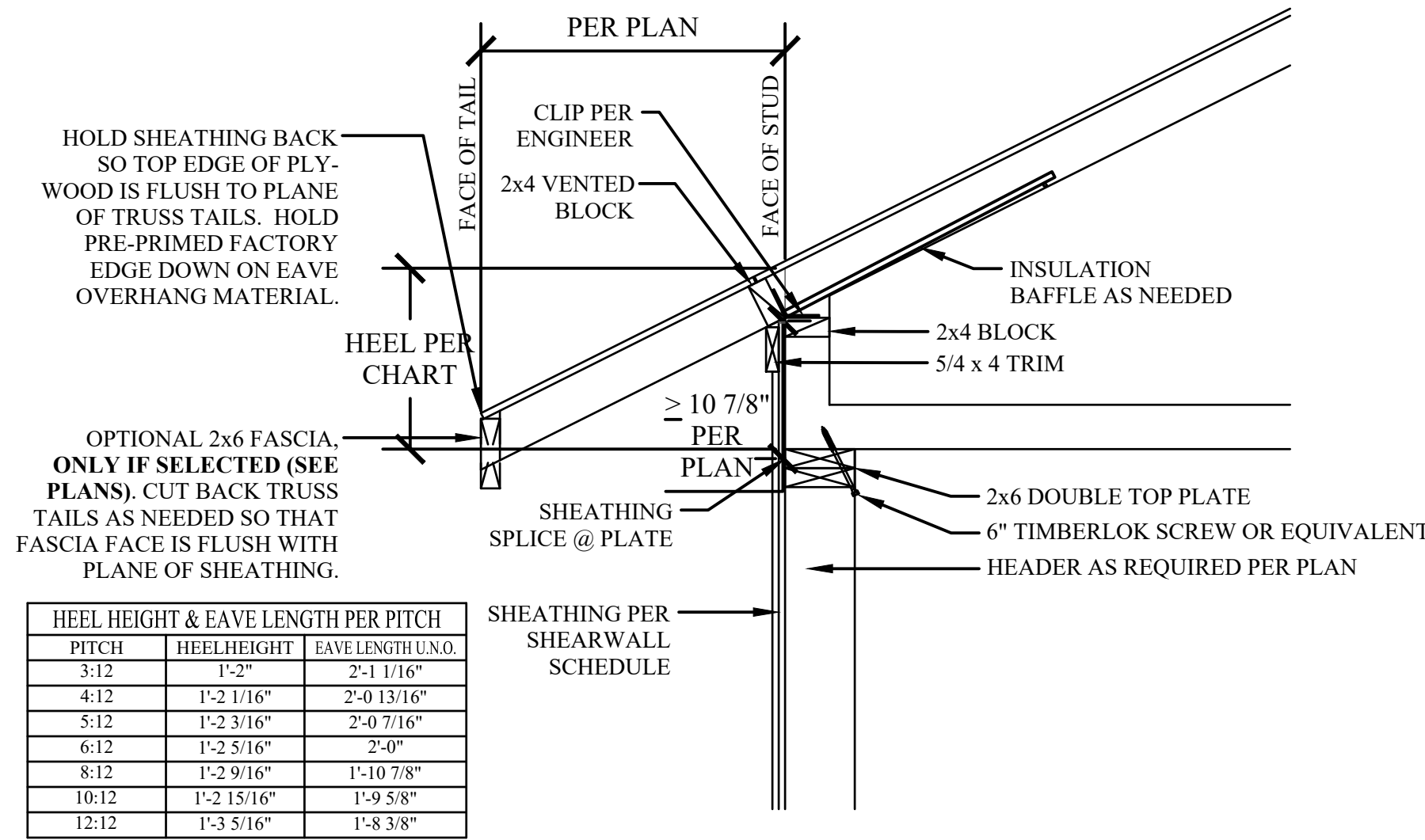
DRAFTED BY: WD
 REV:

IHMS MODEL CODE - JOB #:
 WOWA - CUSTOM

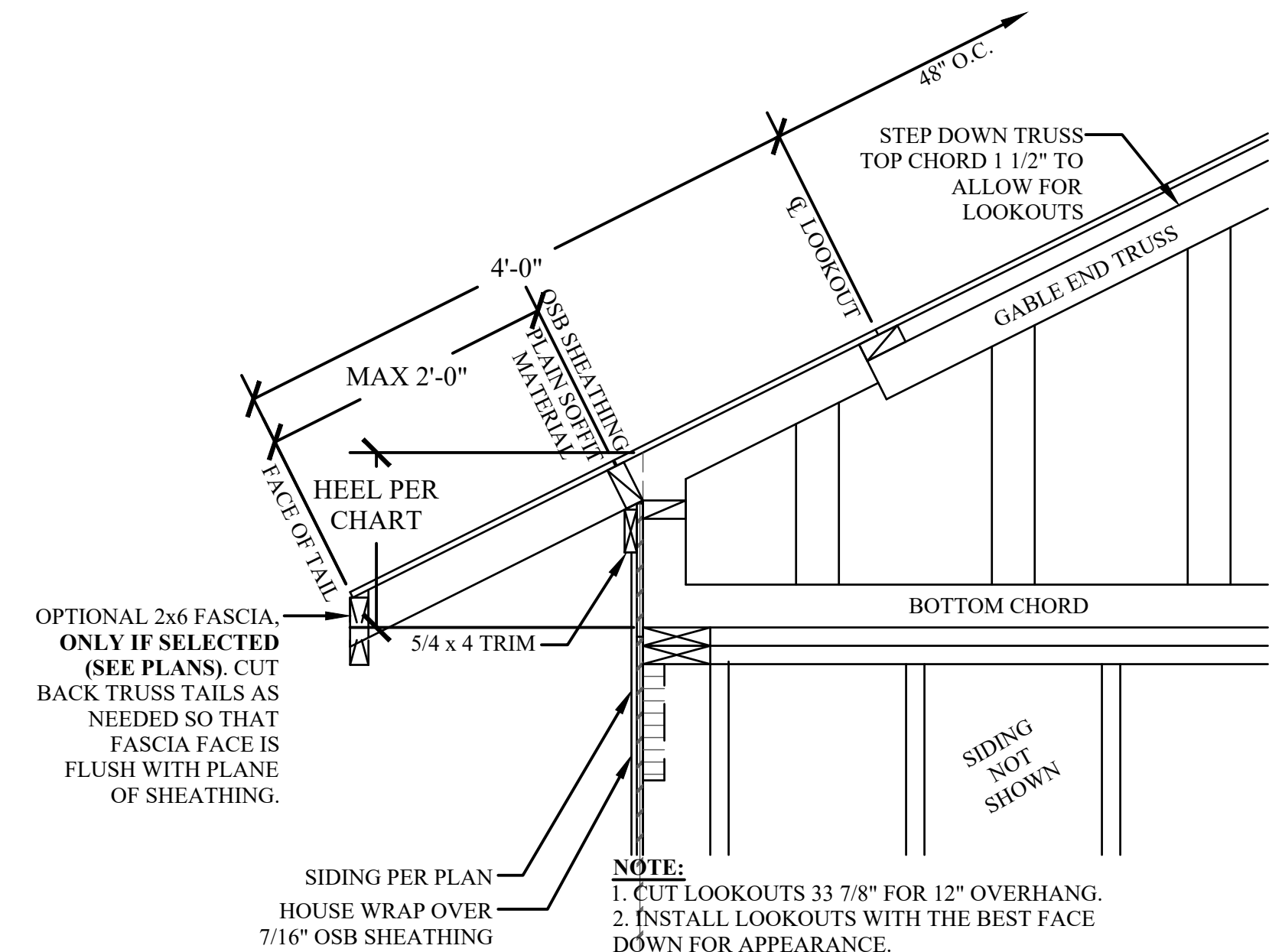
PLAN ORIENTATION:
 STANDARD

GARAGE CONFIGURATION:
 INTEGRAL
 DETAILS

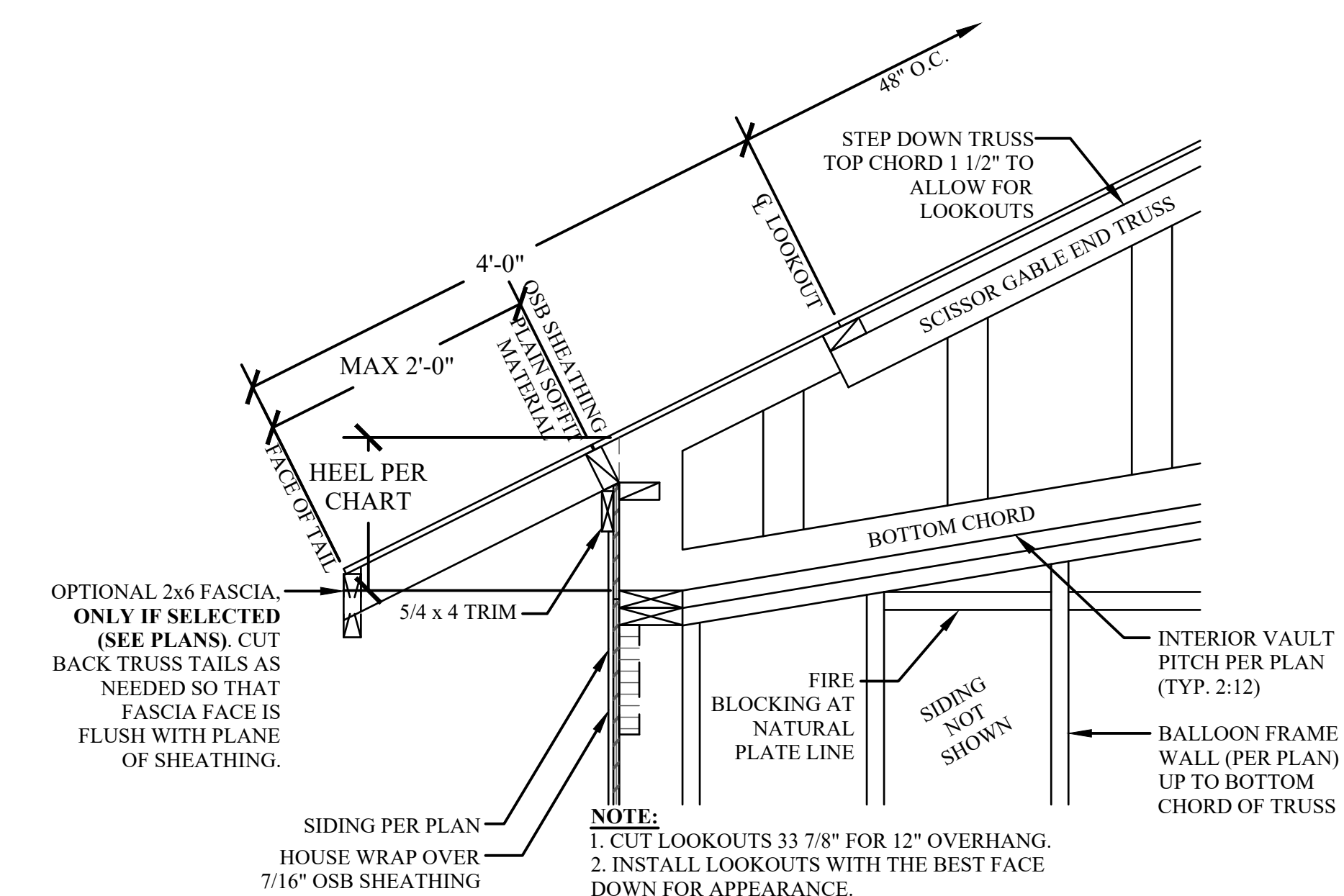
PAGE:
 AD3



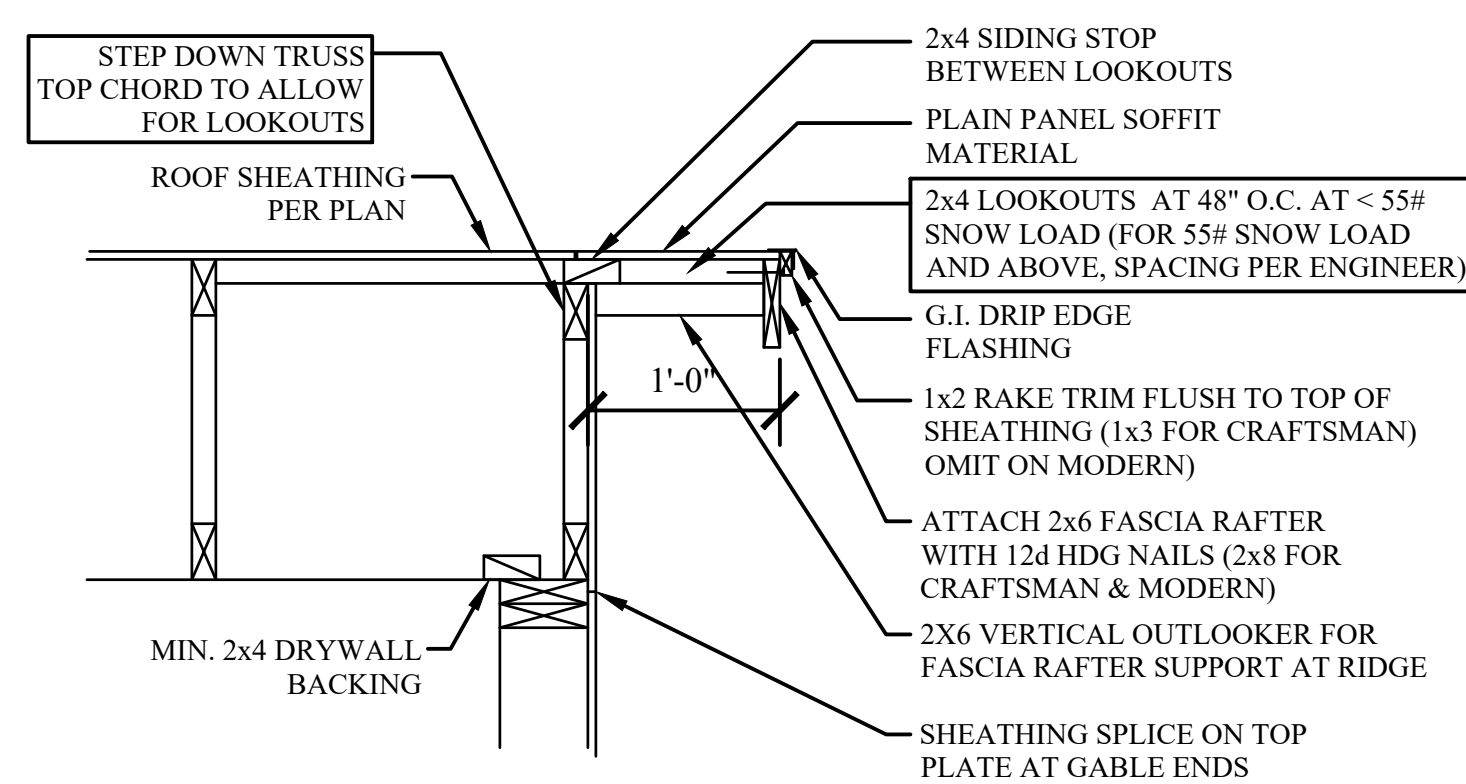
1 TRUSS BEARING ON 2x6 EXTERIOR WALL
SCALE: 1" = 1'-0"



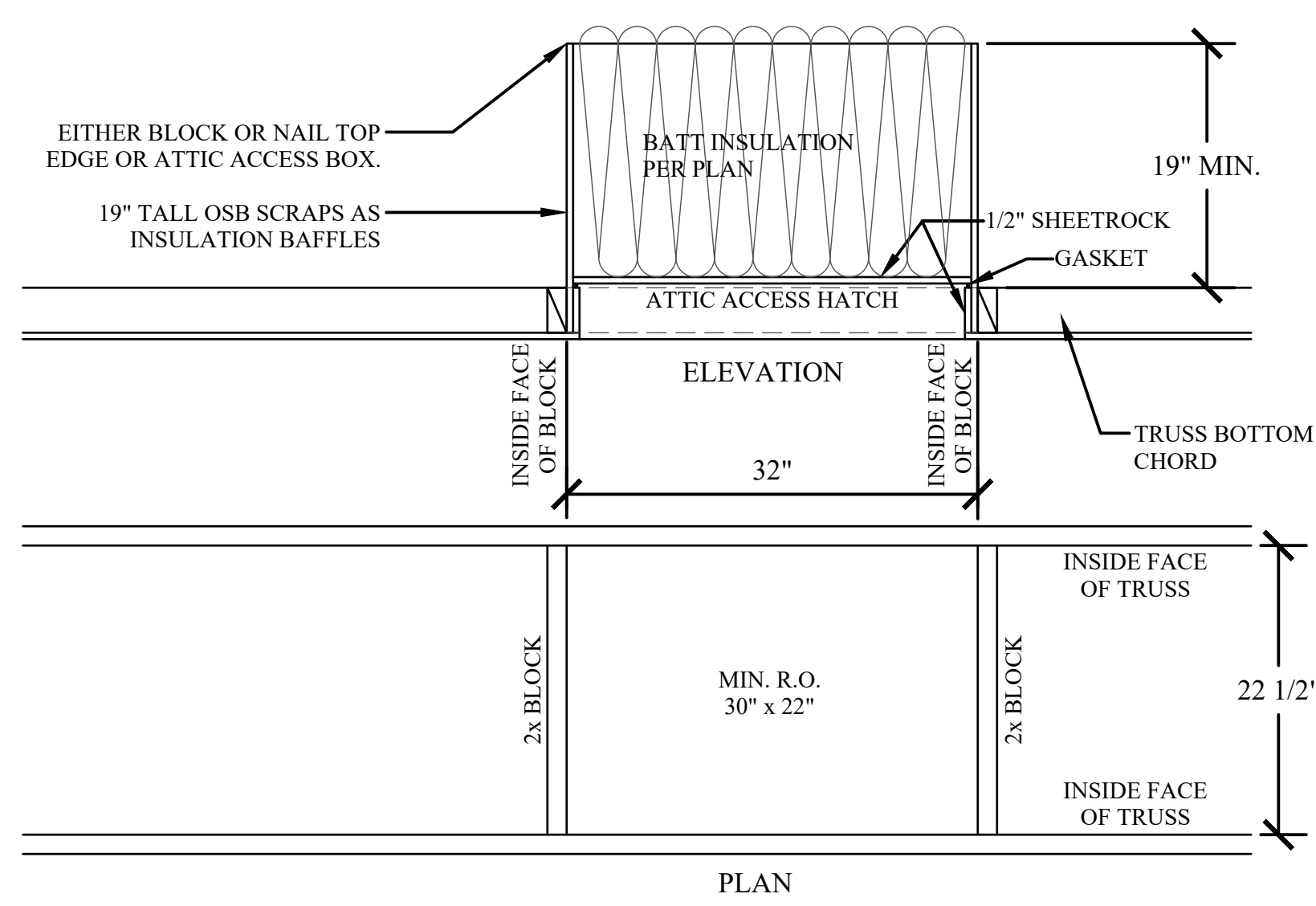
2a FLAT TRUSS AT GABLE END
SCALE: 1" = 1'-0"



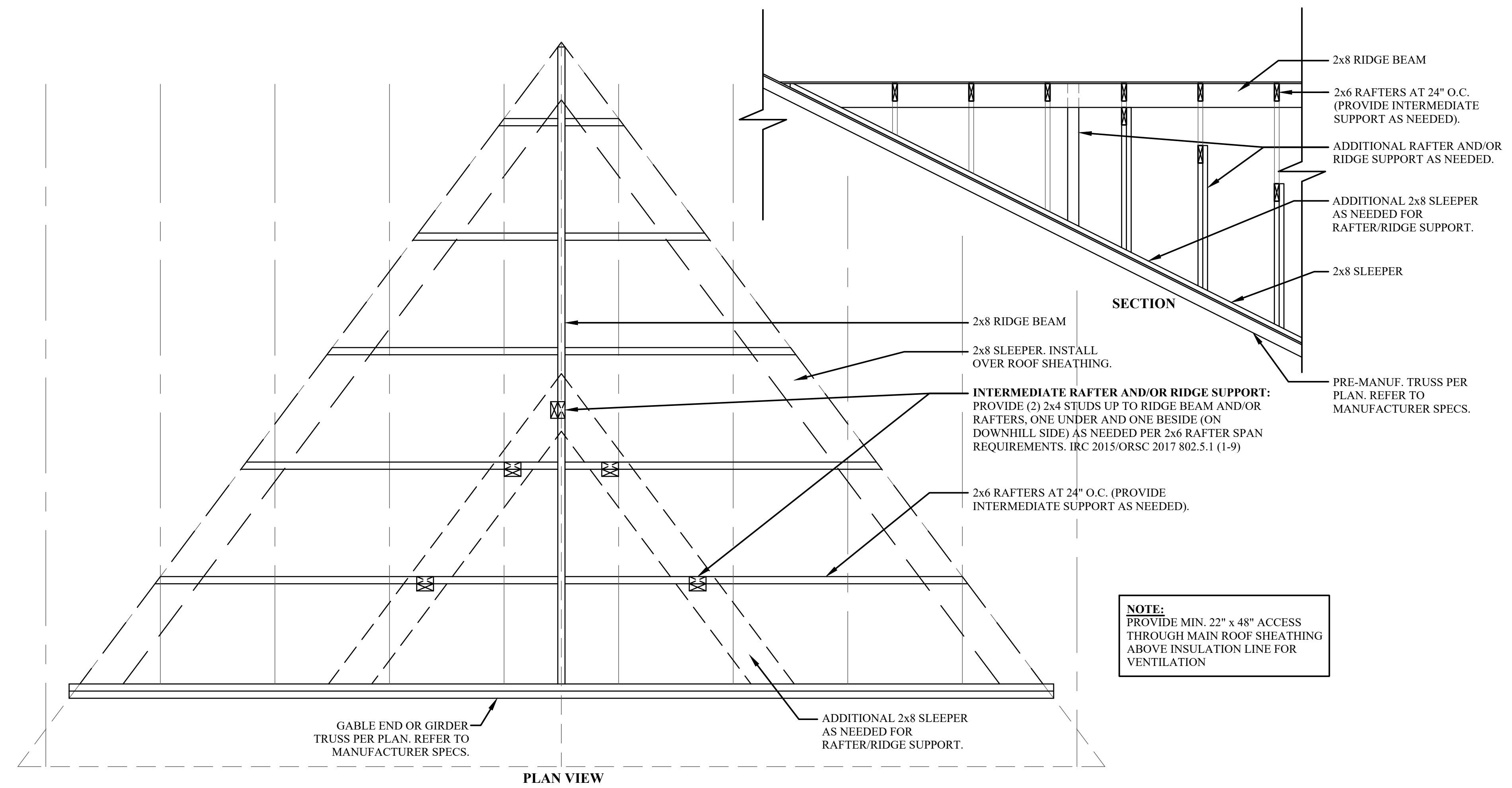
2b VAULTED TRUSS AT GABLE END
SCALE: 1" = 1'-0"



3 GABLE END
SCALE: 1" = 1'-0"



4 ATTIC ACCESS
SCALE: 1" = 1'-0"



5 OVER-FRAMING DETAIL
SCALE: NTS

ADDRESS: 2021 IRC

130 SE WYERS ST. WHITE SALMON, WA. 98672

SCALE: AS SHOWN

DATE: 11/12/2025

DRAFTED BY: WD

REV:

2021 IRC

CHAVES CUSTOM - 366

IHMS MODEL CODE - JOB #:

WOWA - CUSTOM

PLAN ORIENTATION: STANDARD

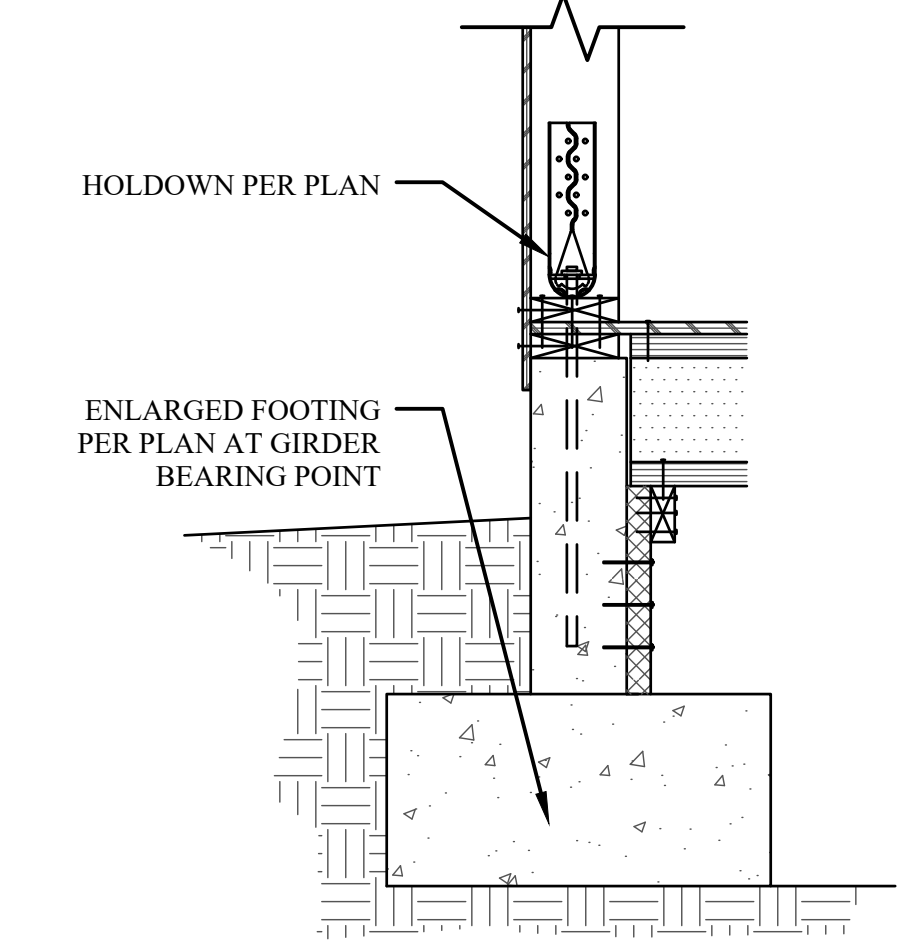
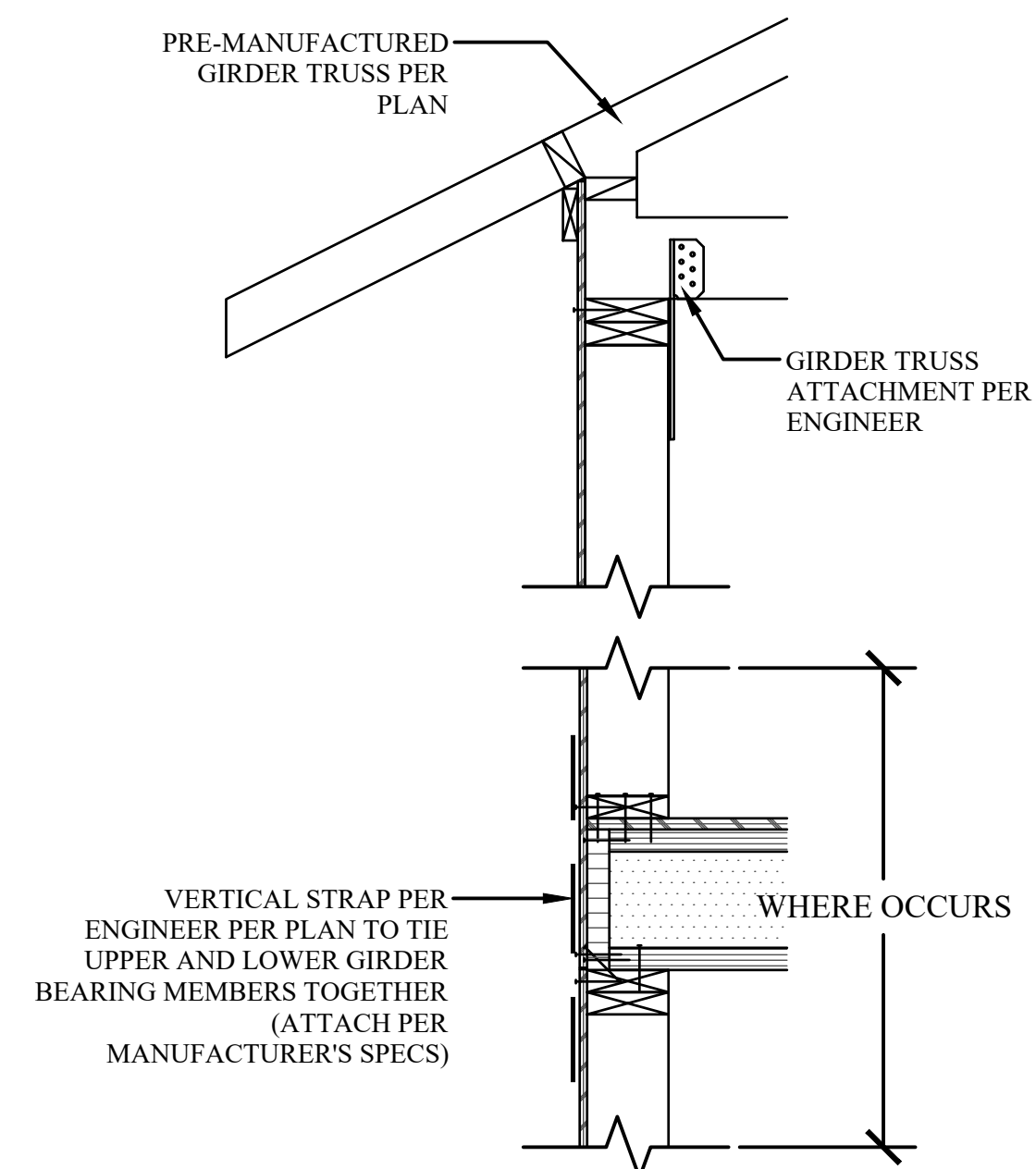
GARAGE CONFIGURATION: INTEGRAL

DETAILS

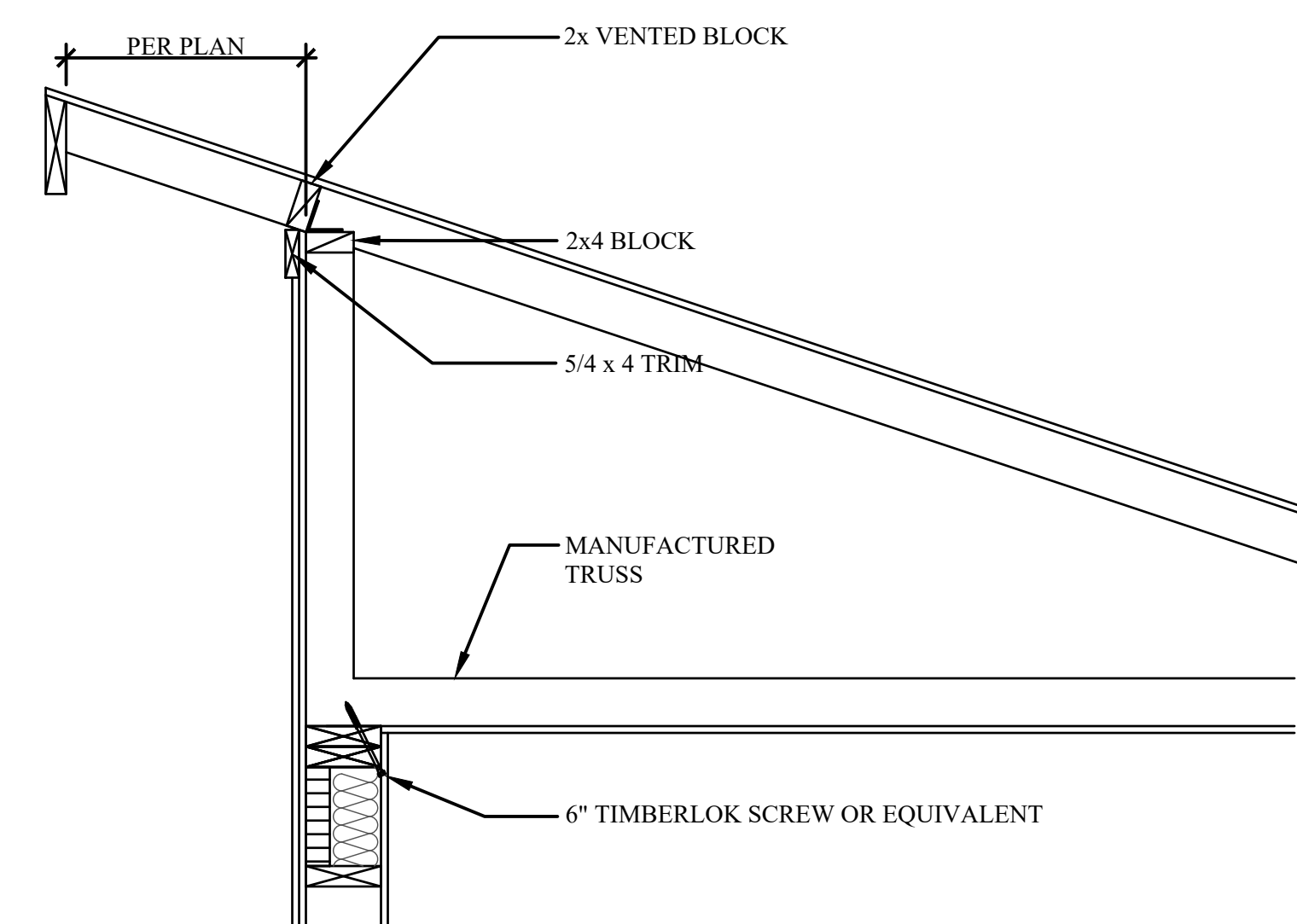
ADAIR HOMES INC. © COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

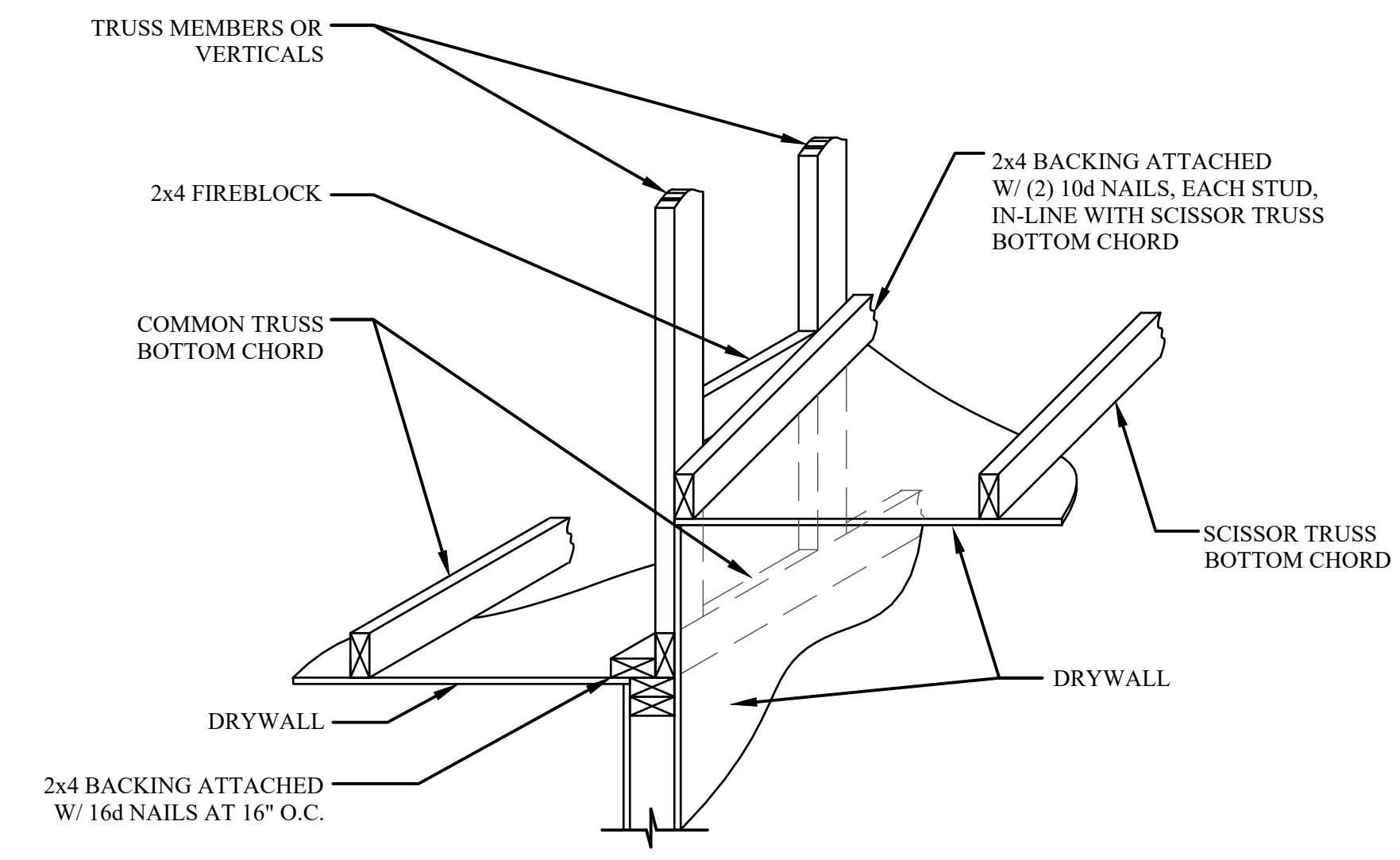
ADAIR HOMES INC. LOGO



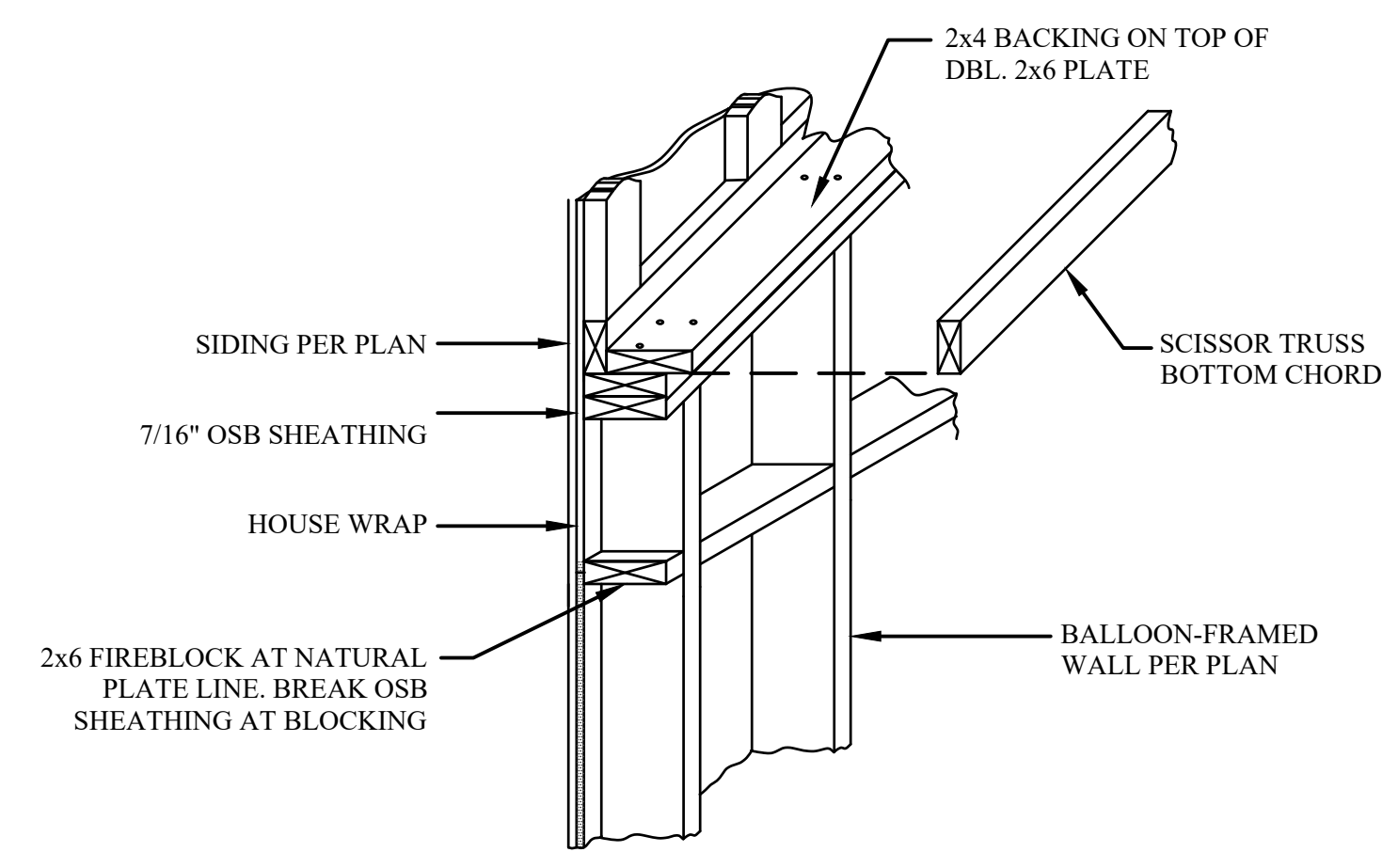
1 GIRDER TRUSS LOAD TRANSFER
SCALE: 1" = 1'-0"



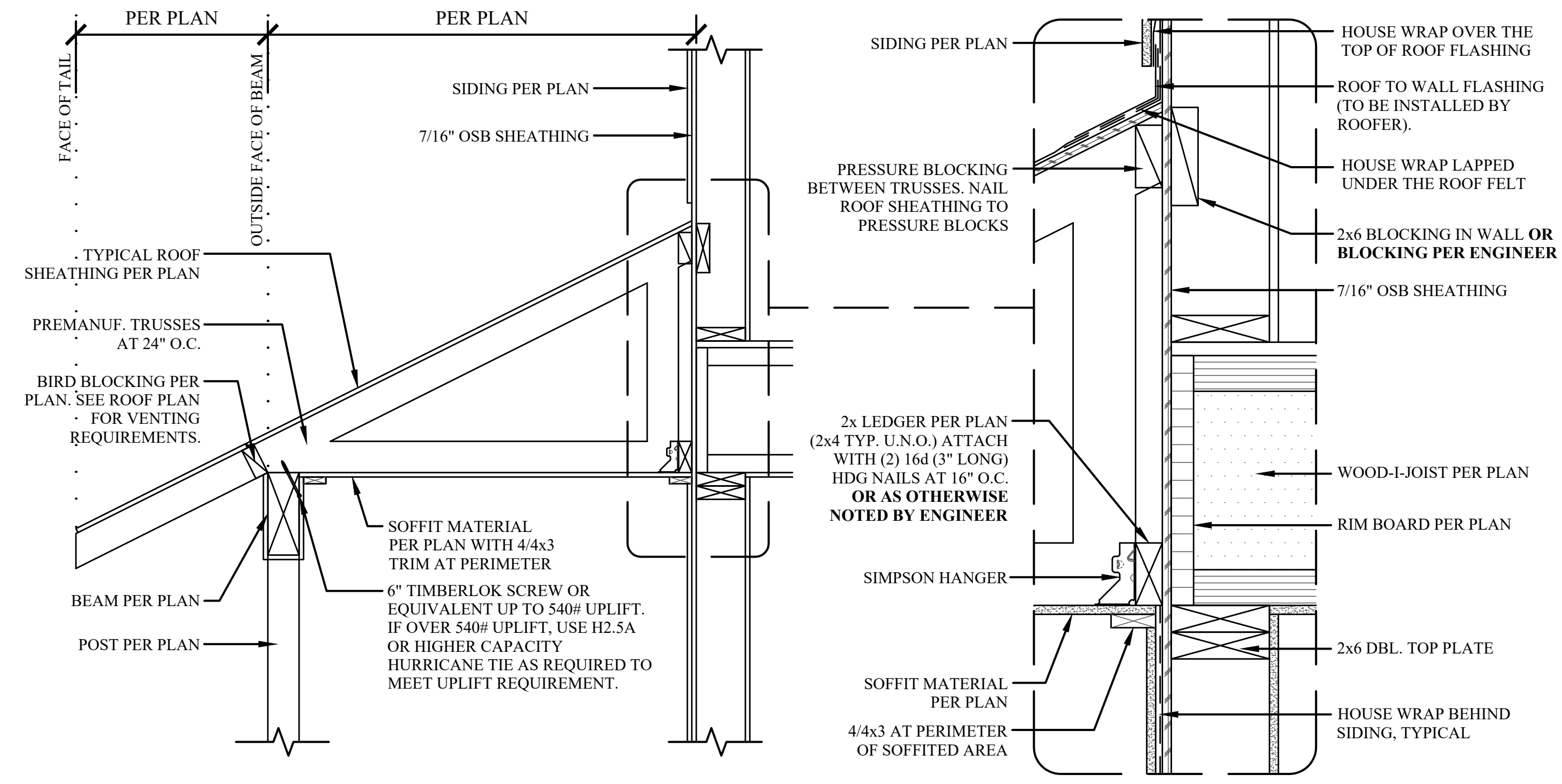
3 TRUSS BEARING AT UPPER EAVE
SCALE: 1" = 1'-0"



2a VAULT BACKING, STRUCTURAL TRUSS
SCALE: 1" = 1'-0"



2b VAULT BACKING, GABLE-END TRUSS
SCALE: 1" = 1'-0"



4a TRUSS ATTACHED WITH LEDGER
SCALE: 1" = 1'-0" & 2" = 1'-0" ATTACHED TO 2-STORY WALL

NOTE:
FOR ADDITIONAL INFORMATION SEE "FLASHING AT ROOF TO WALL TRANSITION" DETAIL

ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

PLAN ORIENTATION:
STANDARD

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

GARAGE CONFIGURATION:
INTEGRAL

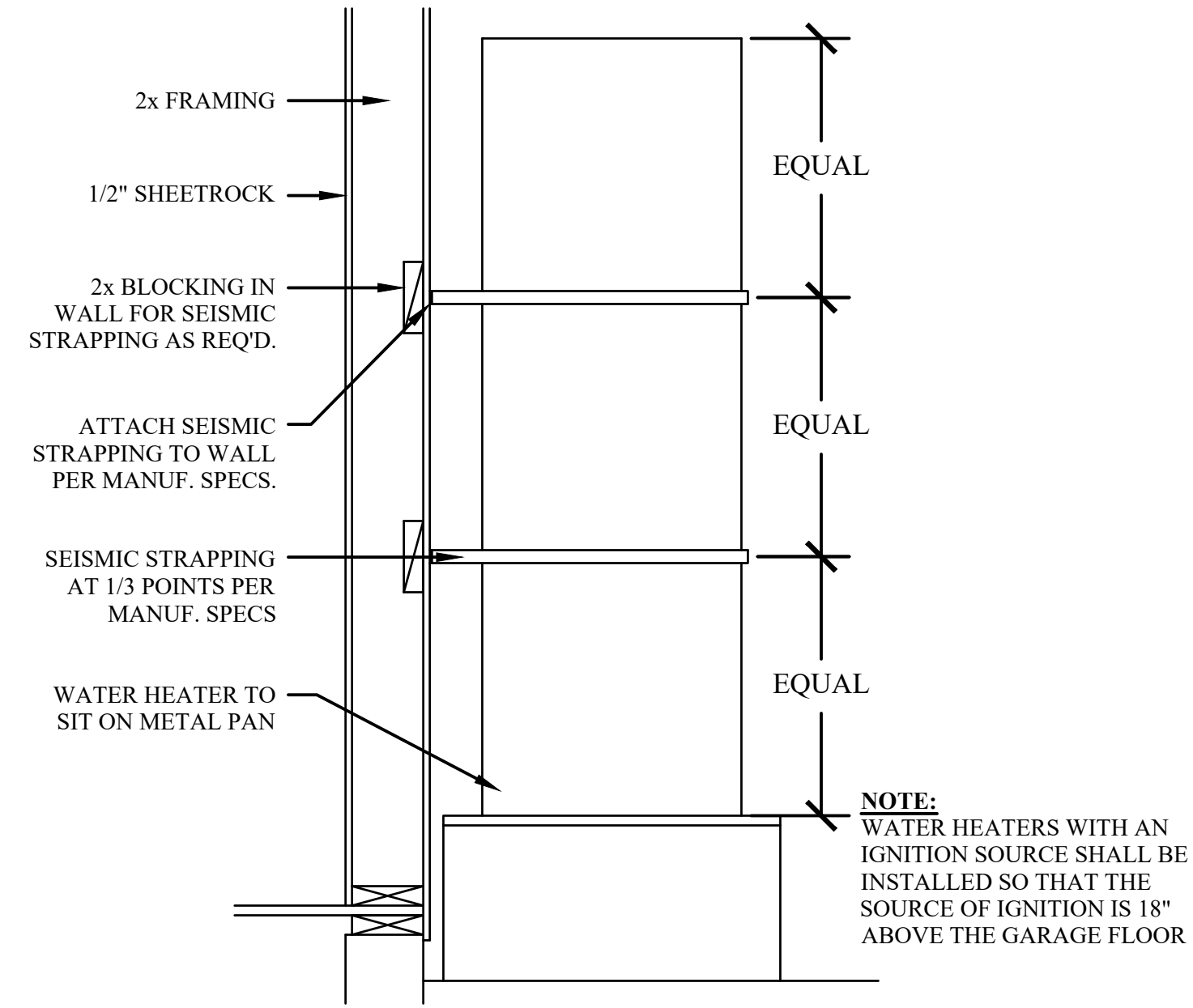
DETAILS

2021 IRC

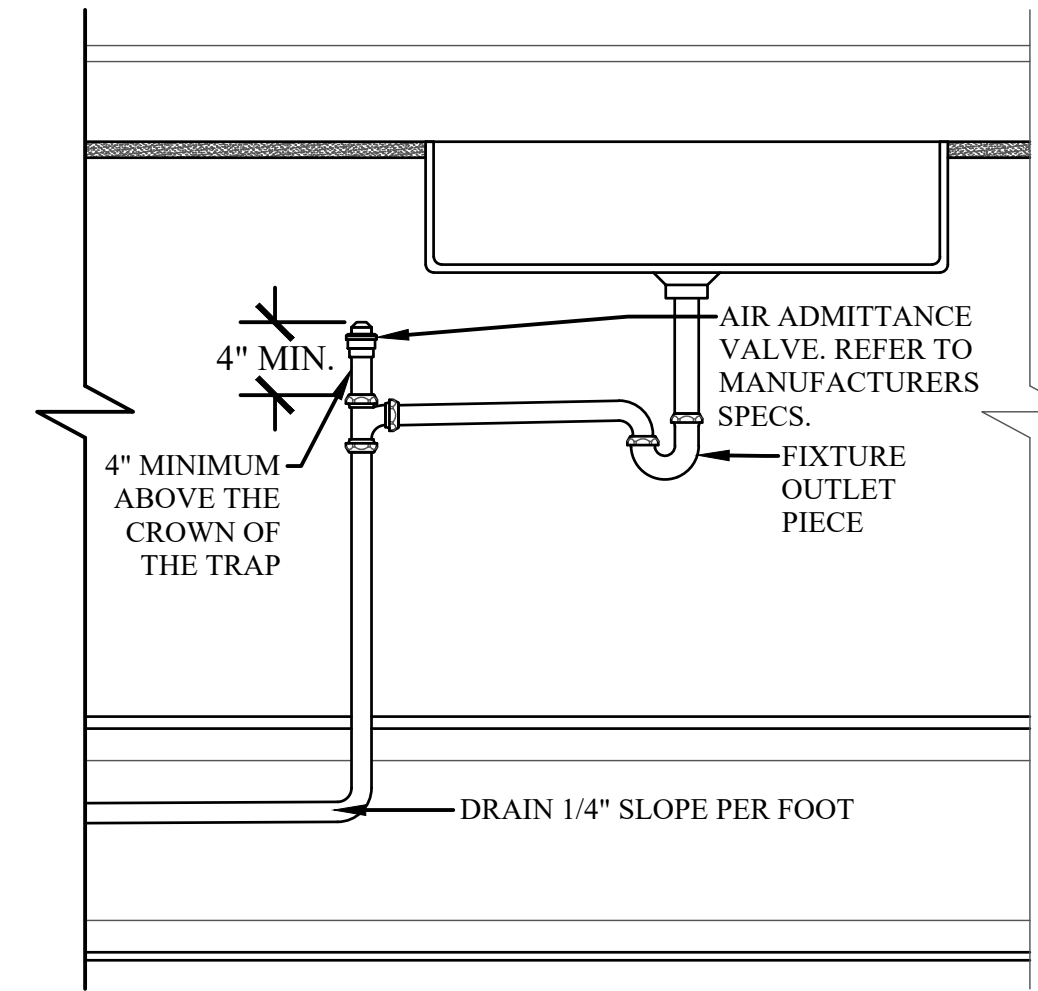
ADDRESS:
130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:

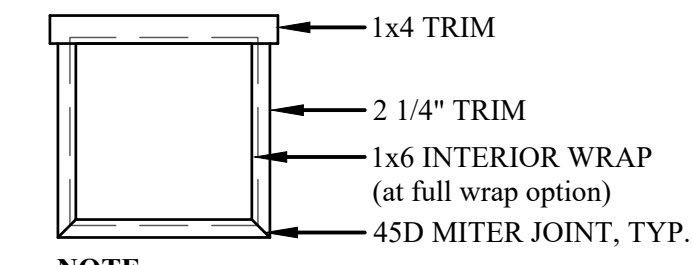
PAGE:
AD5



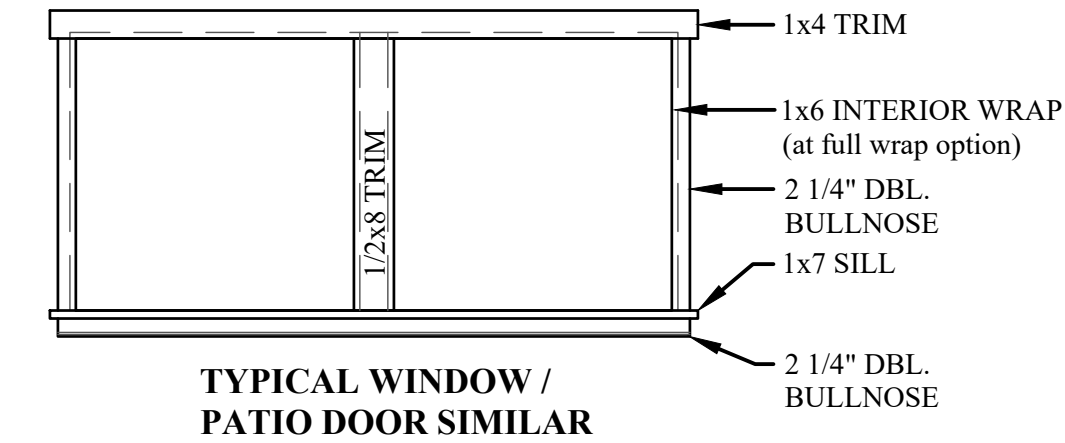
1 WATER HEATER DETAIL (GARAGE)
SCALE: 1" = 1'-0"



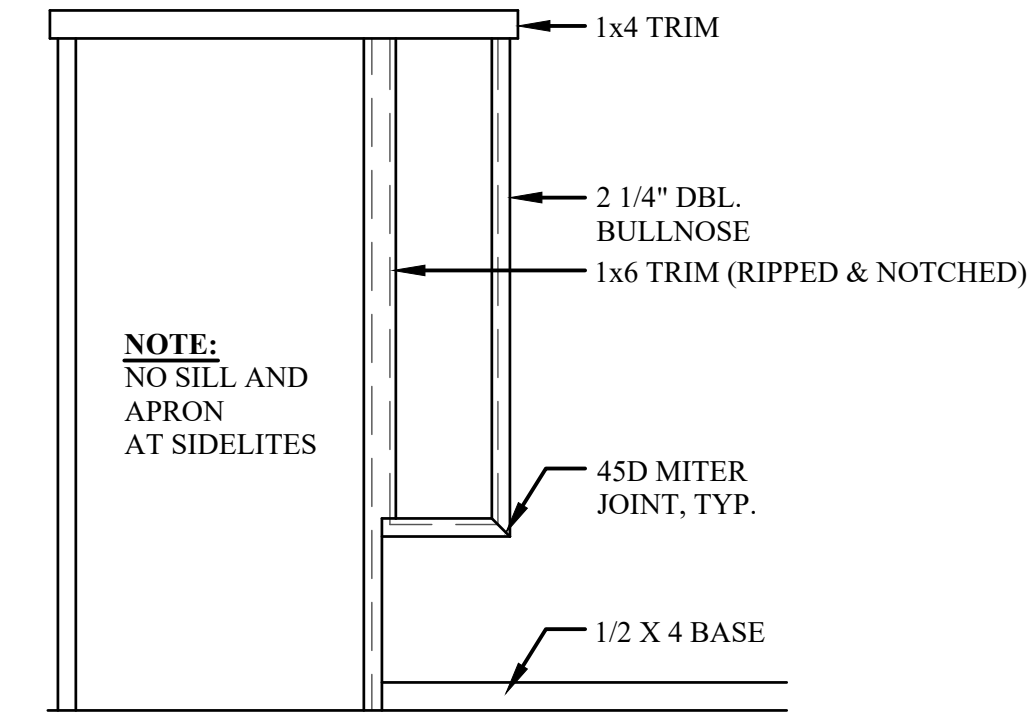
2 AIR ADMITTANCE VALVE DETAIL
SCALE: 2" = 1'-0"



NOTE: NO SILL AND APRON WHEN SILL IS > 4'-6" A.F.F.

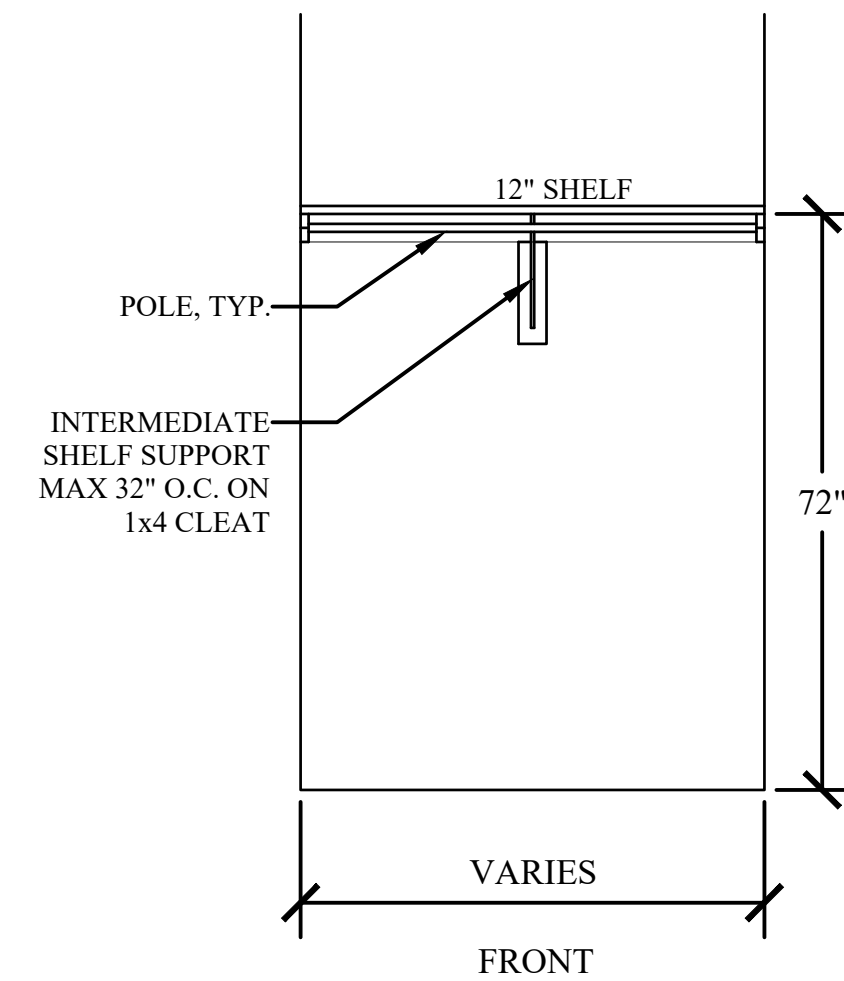


TYPICAL WINDOW / PATIO DOOR SIMILAR

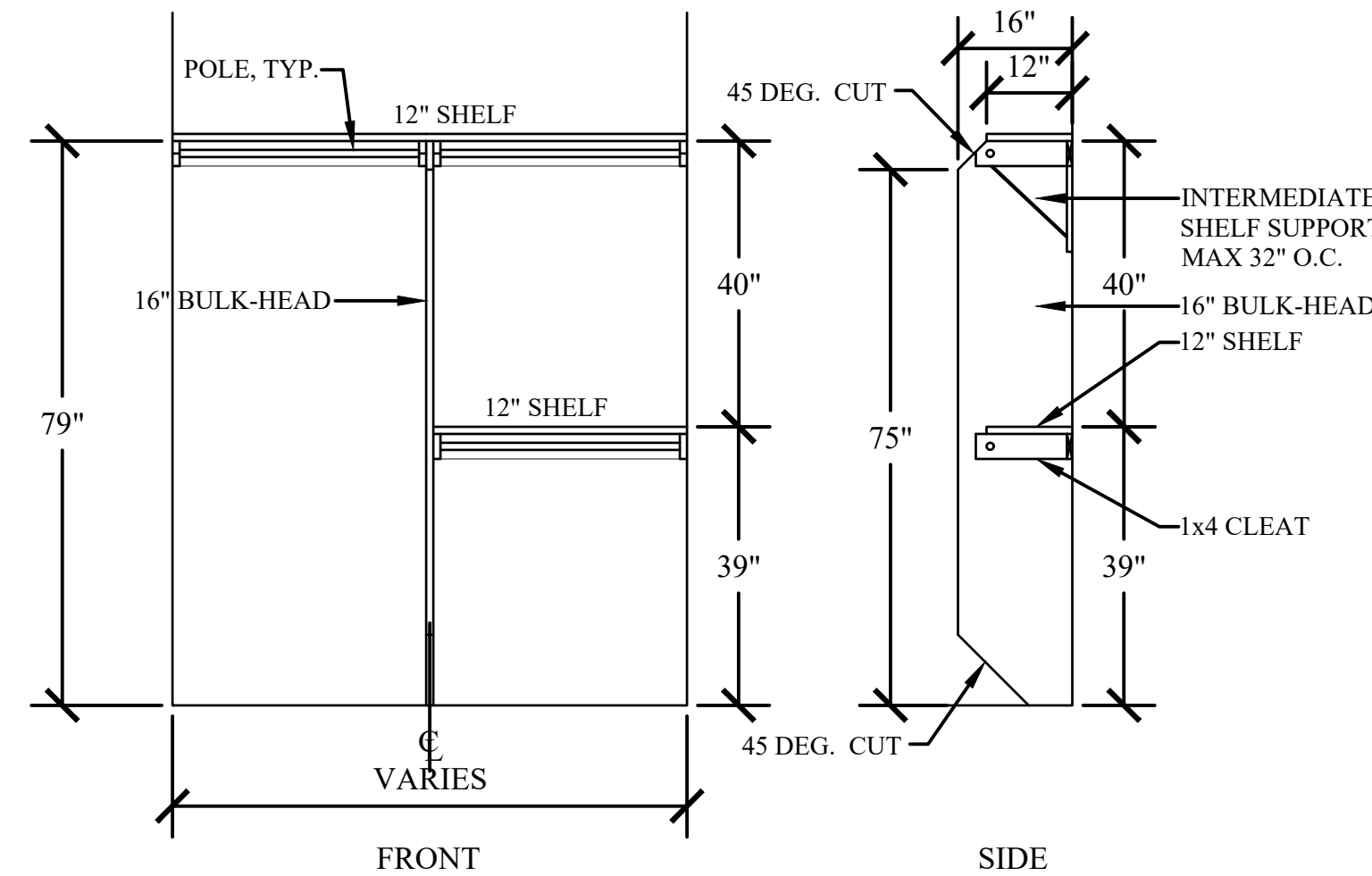


ENTRY DOOR/SIDELITE CRAFTSMAN TRIM

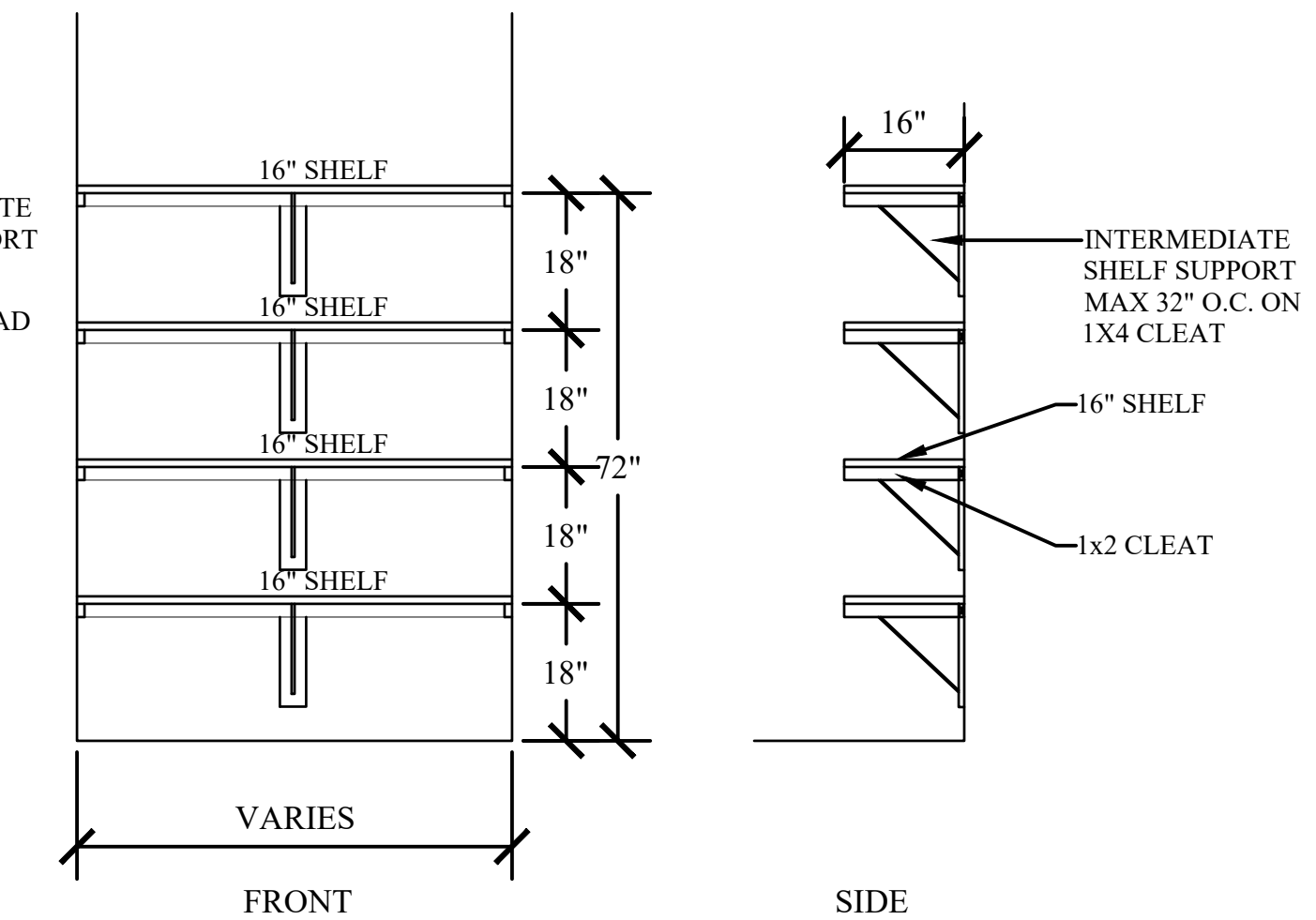
3 FULL-WRAP WINDOW TRIM AND/OR SILL & APRON
SCALE: NTS



4a TYPICAL CLOSET SHELVING
SCALE: NTS



4b UPGRADED CLOSET SHELVING
SCALE: NTS



4c TYPICAL PANTRY/LINEN SHELVING
SCALE: NTS
4 SHELVES



ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

ADDRESS:

2021 IRC

130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:

SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:

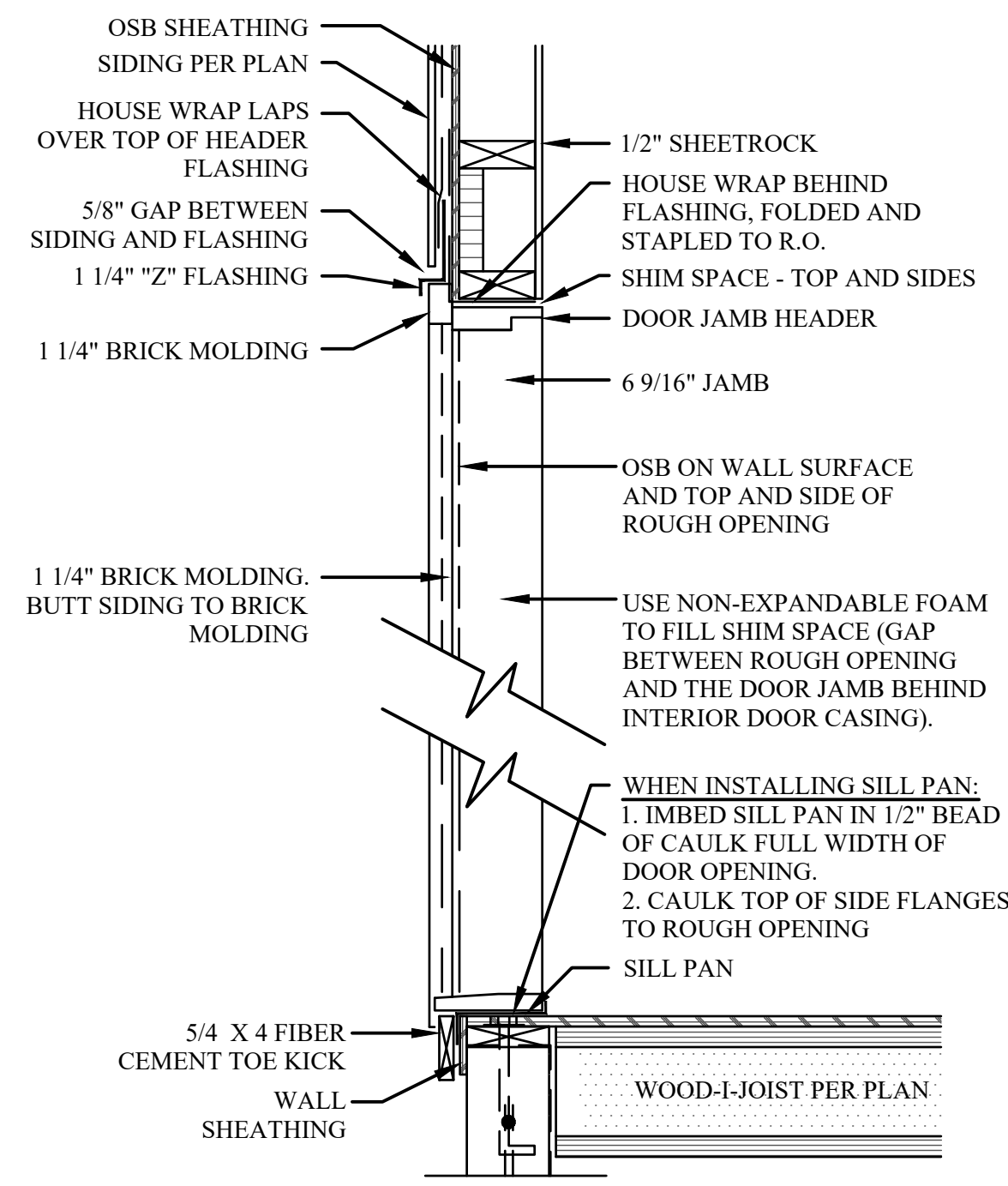
PAGE:
AD6

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

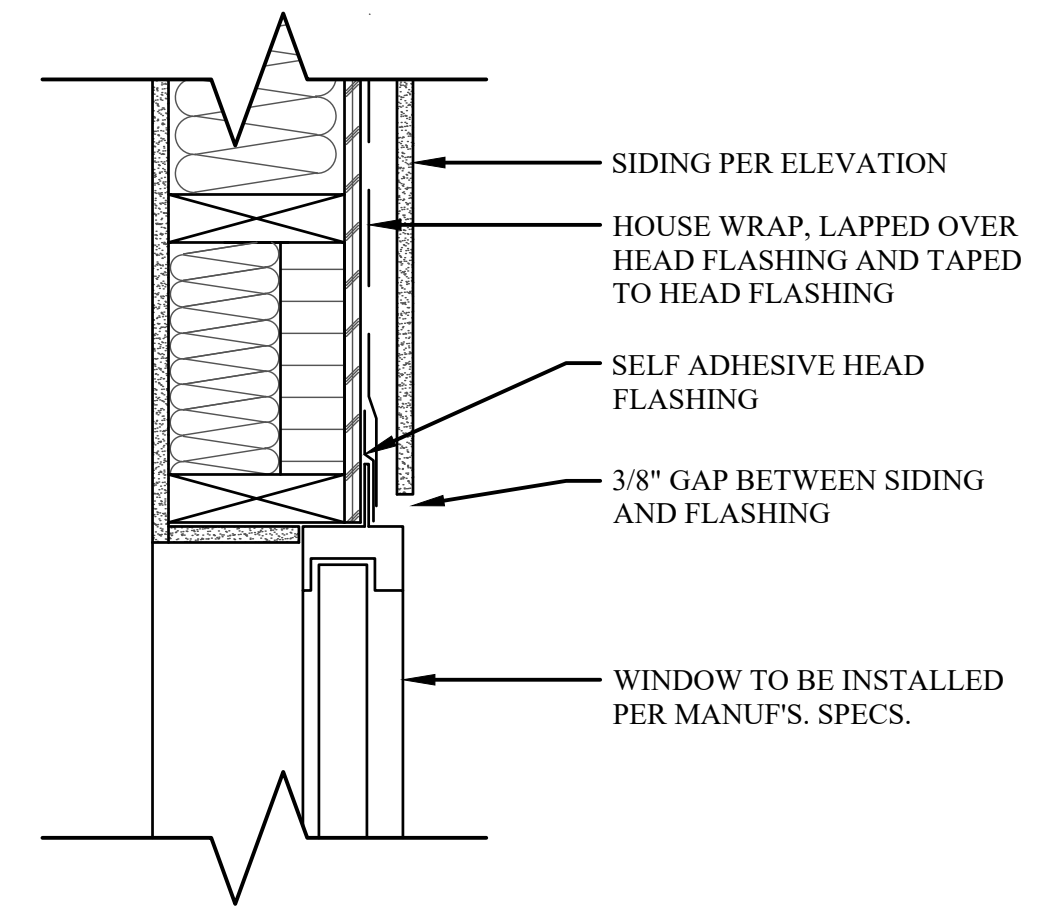
PLAN ORIENTATION:
STANDARD

GARAGE CONFIGURATION:
INTEGRAL

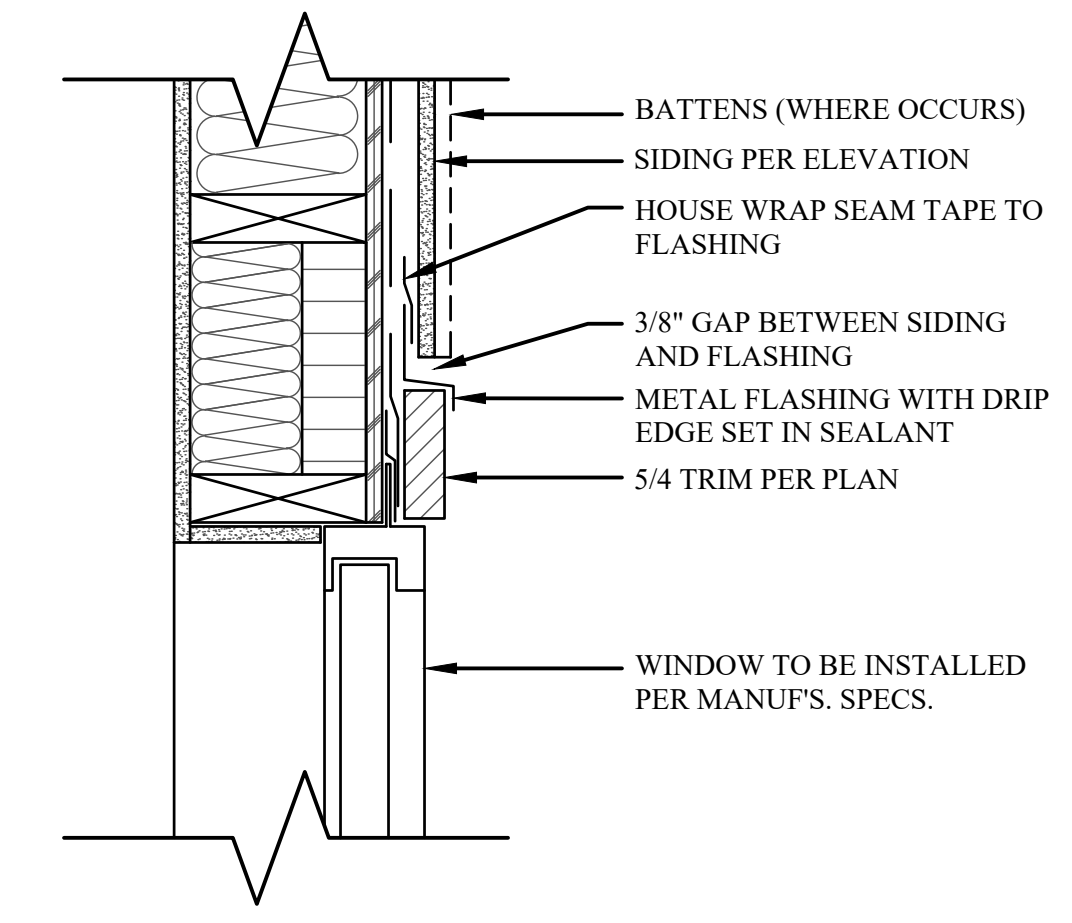
DETAILS



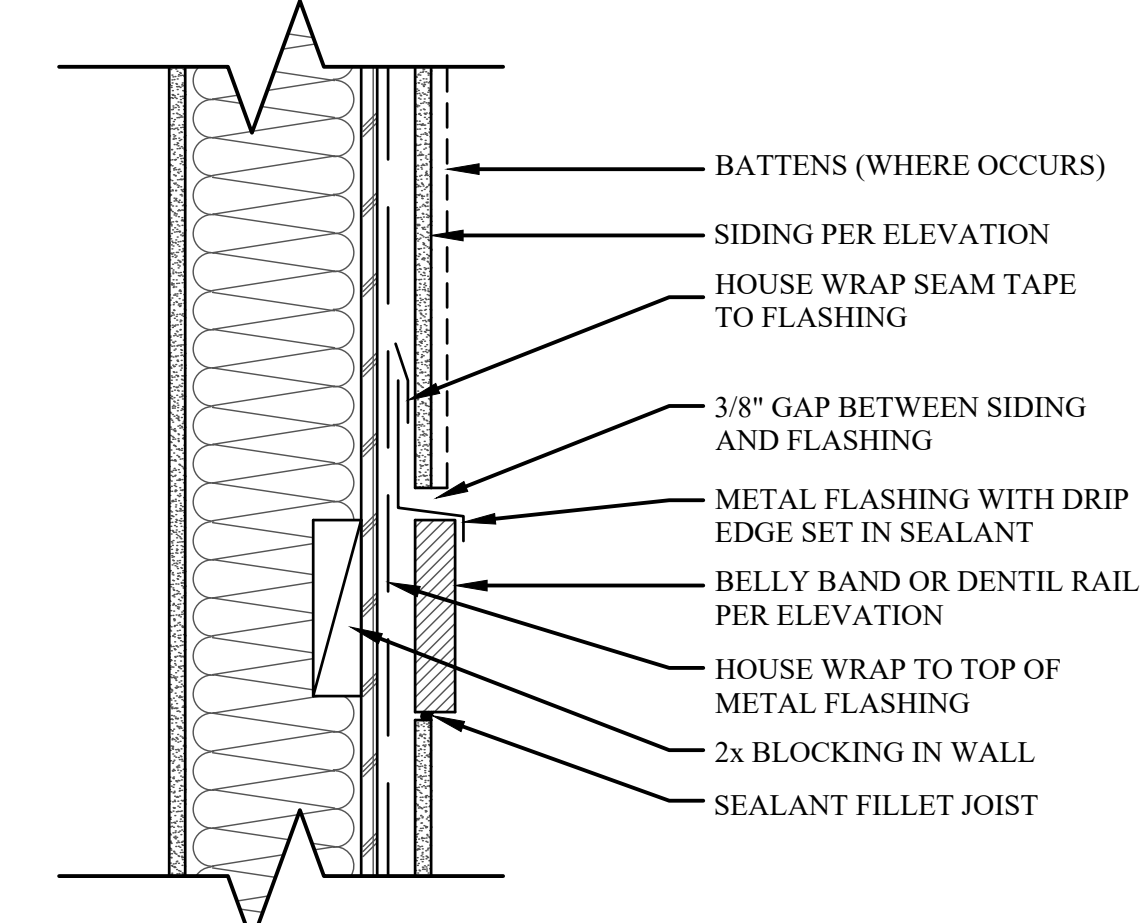
1 EXTERIOR DOOR DETAIL
SCALE: 1" = 1'-0"



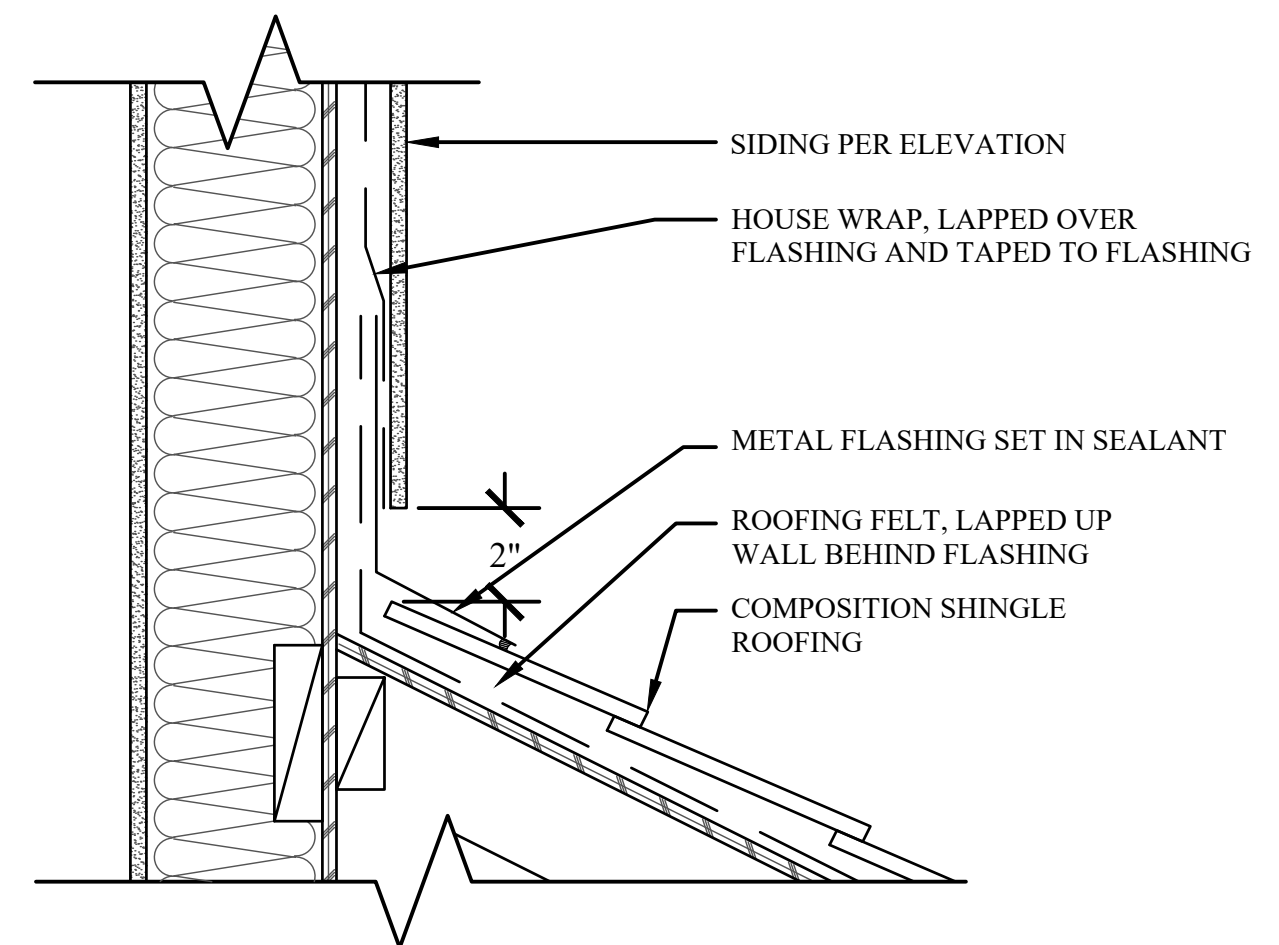
2a WINDOW HEAD FLASHING
SCALE: 2" = 1'-0"



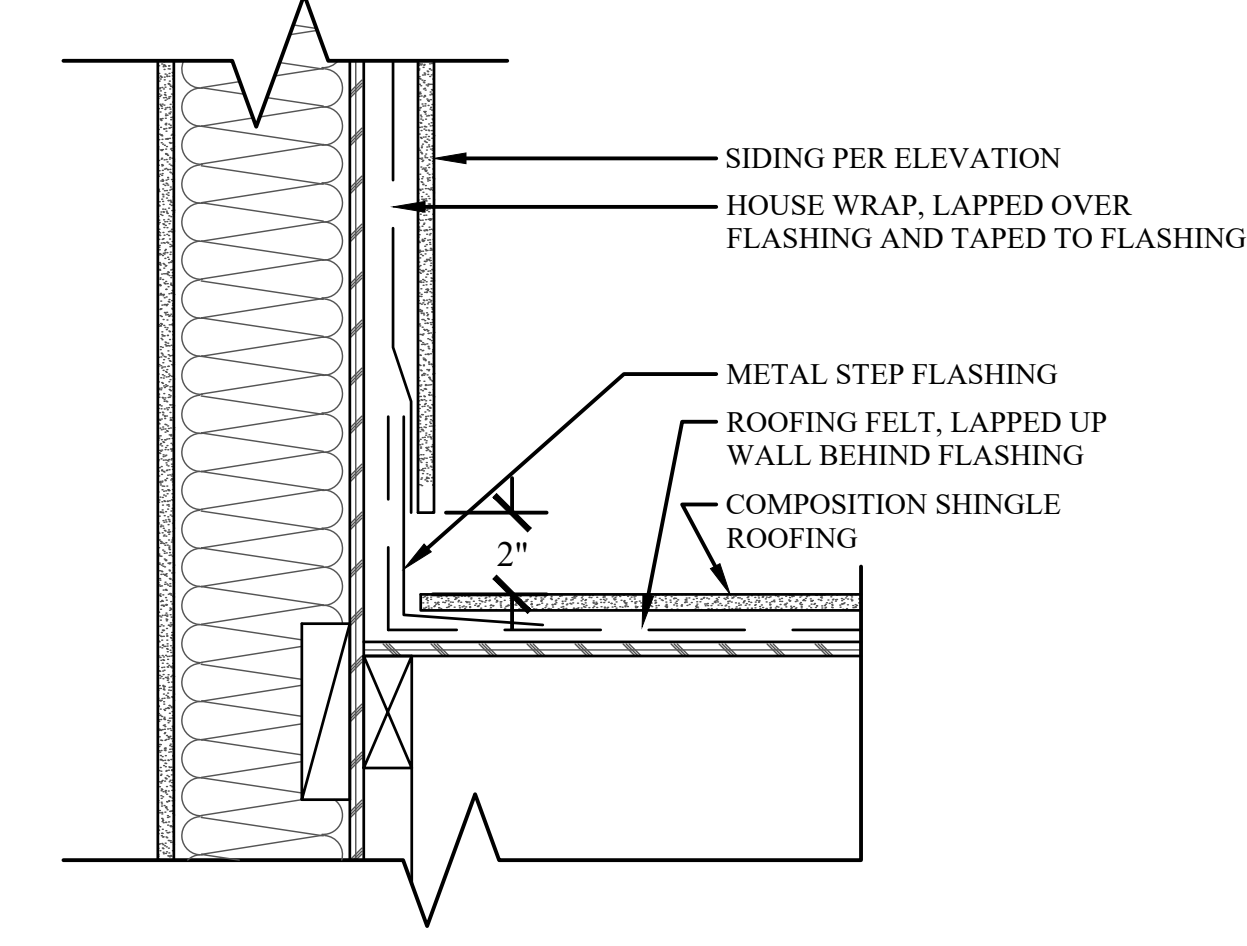
2b WINDOW HEAD FLASHING WITH TRIM
SCALE: 2" = 1'-0"



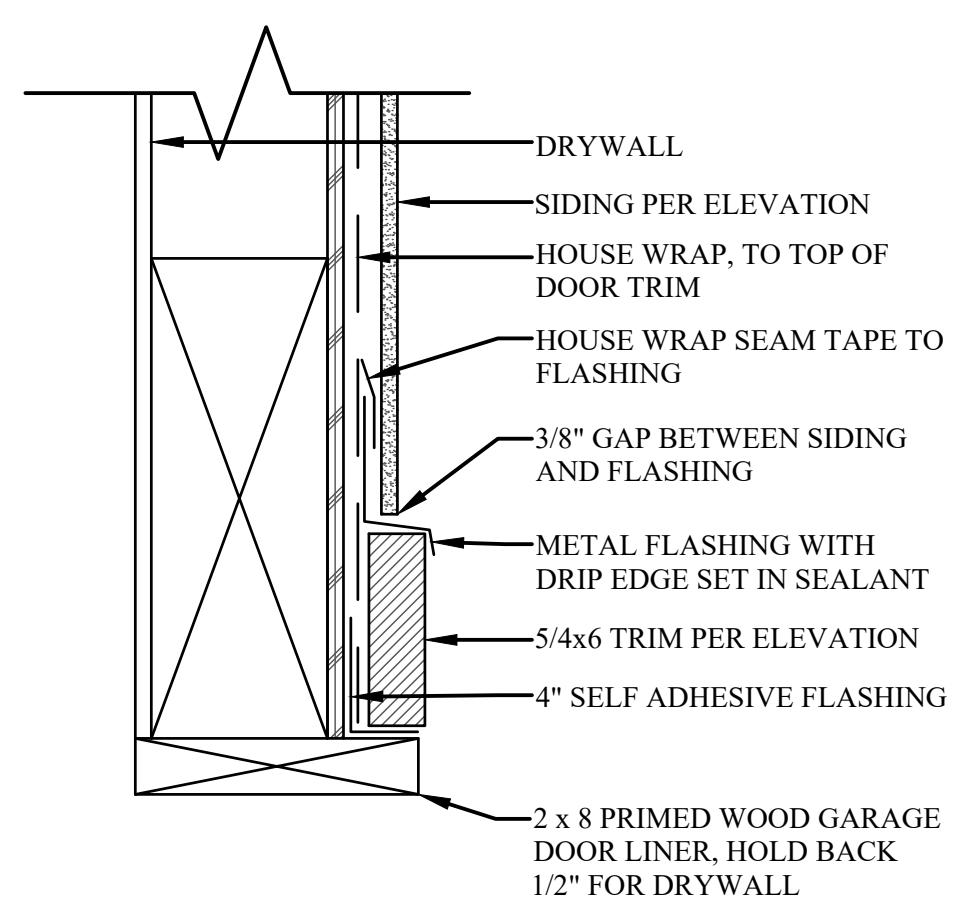
3 FLASHING AT SIDING TRANSITION
SCALE: 2" = 1'-0"



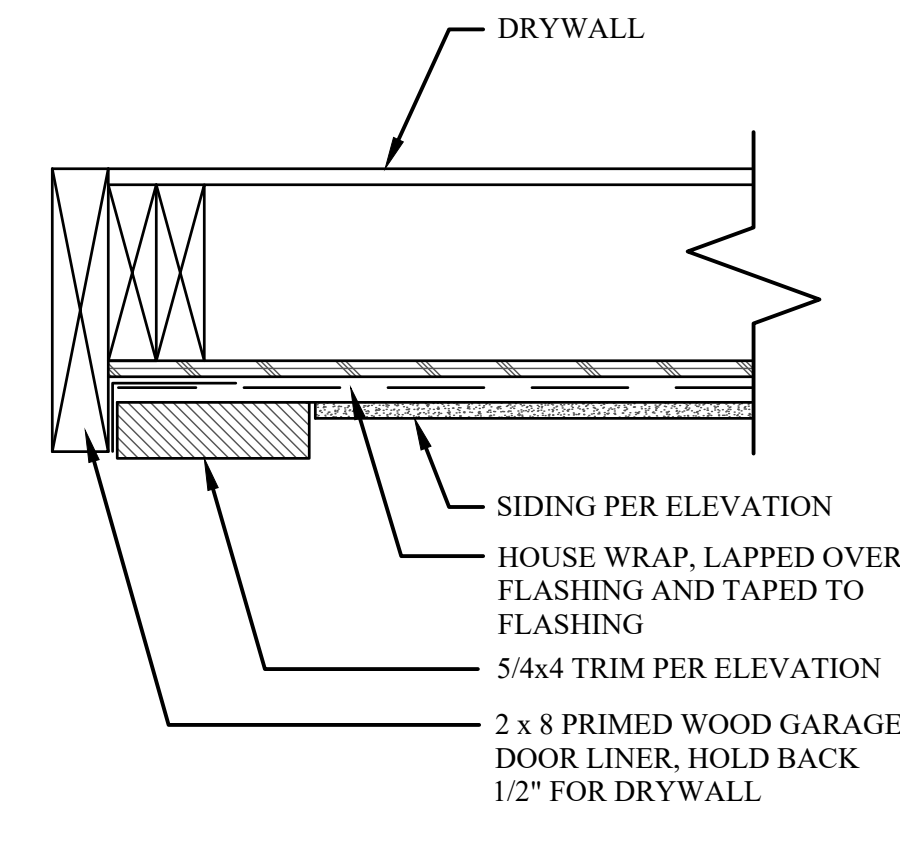
5a FLASHING AT ROOF TO WALL TRANSITION
SCALE: 2" = 1'-0"



5b FLASHING AT ROOF TO WALL TRANSITION
SCALE: 2" = 1'-0"



6a GARAGE DOOR LINER AT JAMB WITH TRIM
SCALE: 2" = 1'-0"



6b GARAGE DOOR LINER AT JAMB WITH TRIM
SCALE: 2" = 1'-0"

1 EXTERIOR DOOR DETAIL
SCALE: 1" = 1'-0"

2a WINDOW HEAD FLASHING
SCALE: 2" = 1'-0"

2b WINDOW HEAD FLASHING WITH TRIM
SCALE: 2" = 1'-0"

3 FLASHING AT SIDING TRANSITION
SCALE: 2" = 1'-0"

5a FLASHING AT ROOF TO WALL TRANSITION
SCALE: 2" = 1'-0"

5b FLASHING AT ROOF TO WALL TRANSITION
SCALE: 2" = 1'-0"

6a GARAGE DOOR LINER AT JAMB WITH TRIM
SCALE: 2" = 1'-0"

6b GARAGE DOOR LINER AT JAMB WITH TRIM
SCALE: 2" = 1'-0"

ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

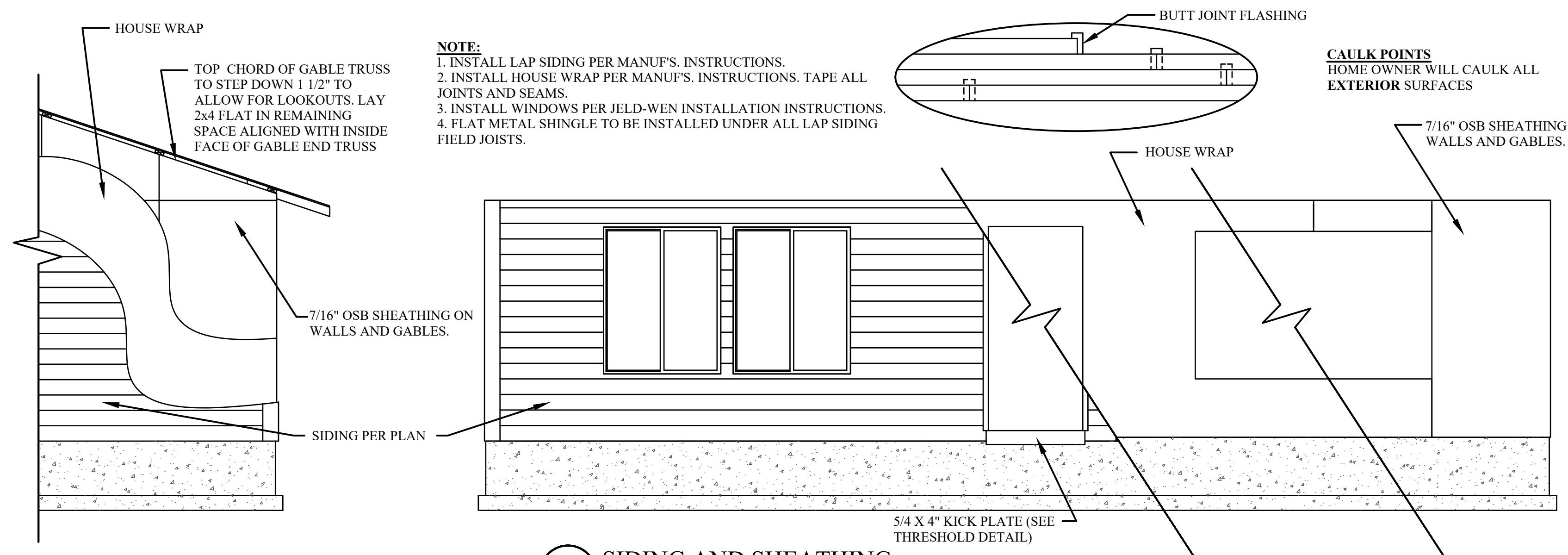
GARAGE CONFIGURATION: INTEGRAL
PLAN ORIENTATION: STANDARD
IHMS MODEL CODE - JOB #: WOWA - CUSTOM
DETAILS

2021 IRC

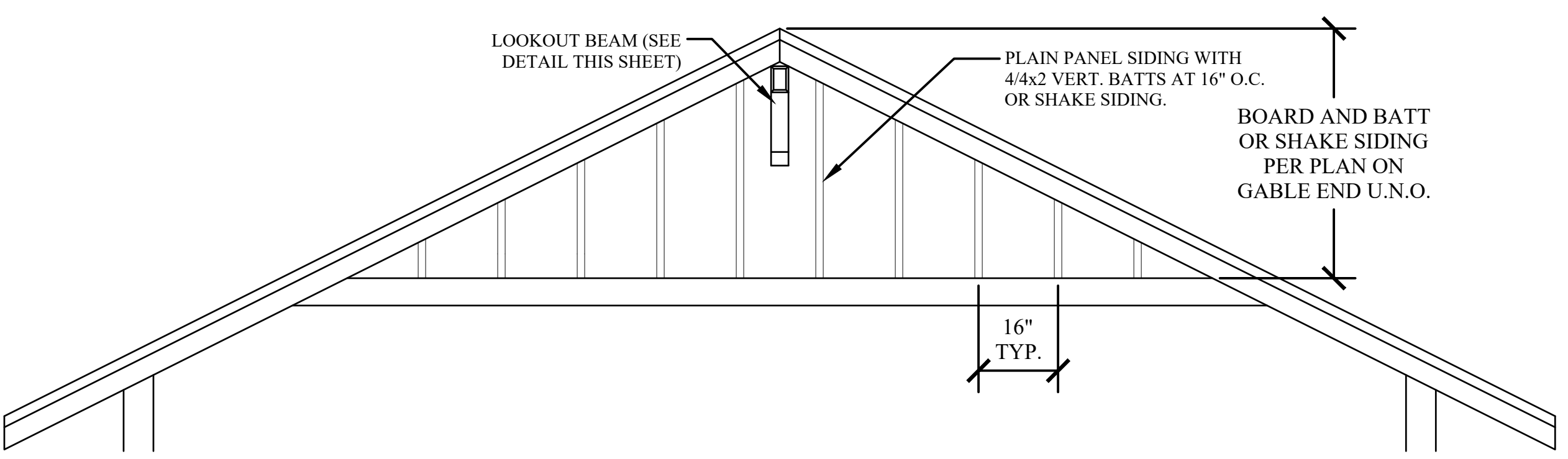
ADDRESS:
130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:

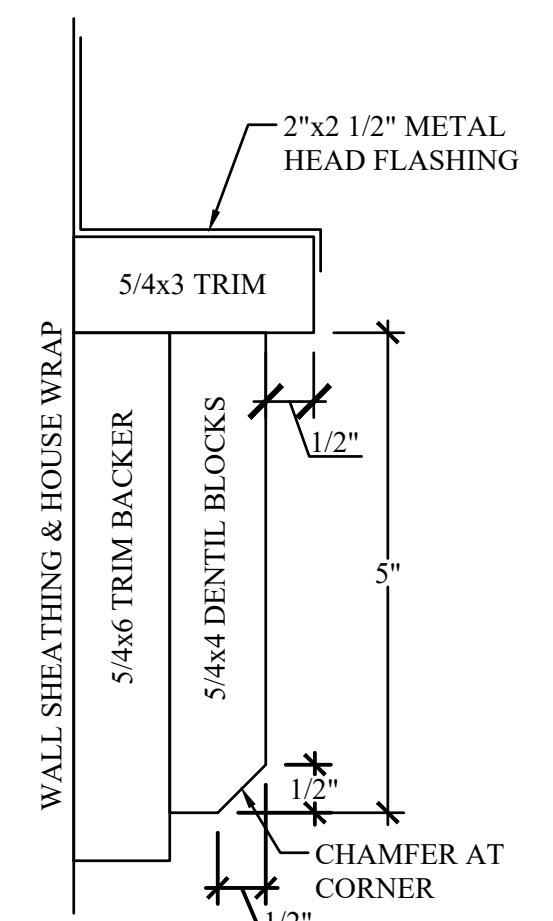
PAGE:
AD7



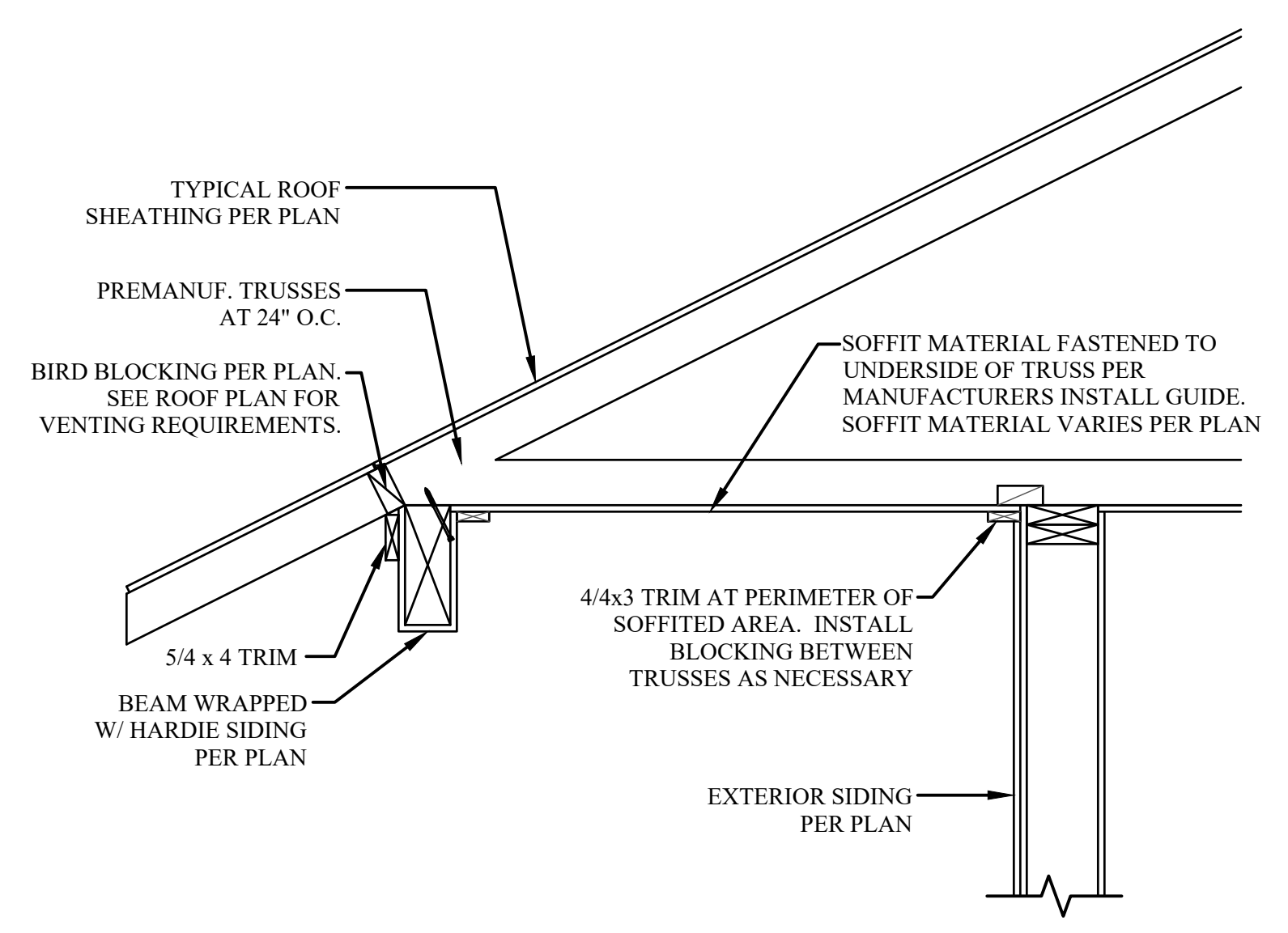
1 SIDING AND SHEATHING
 SCALE: NTS



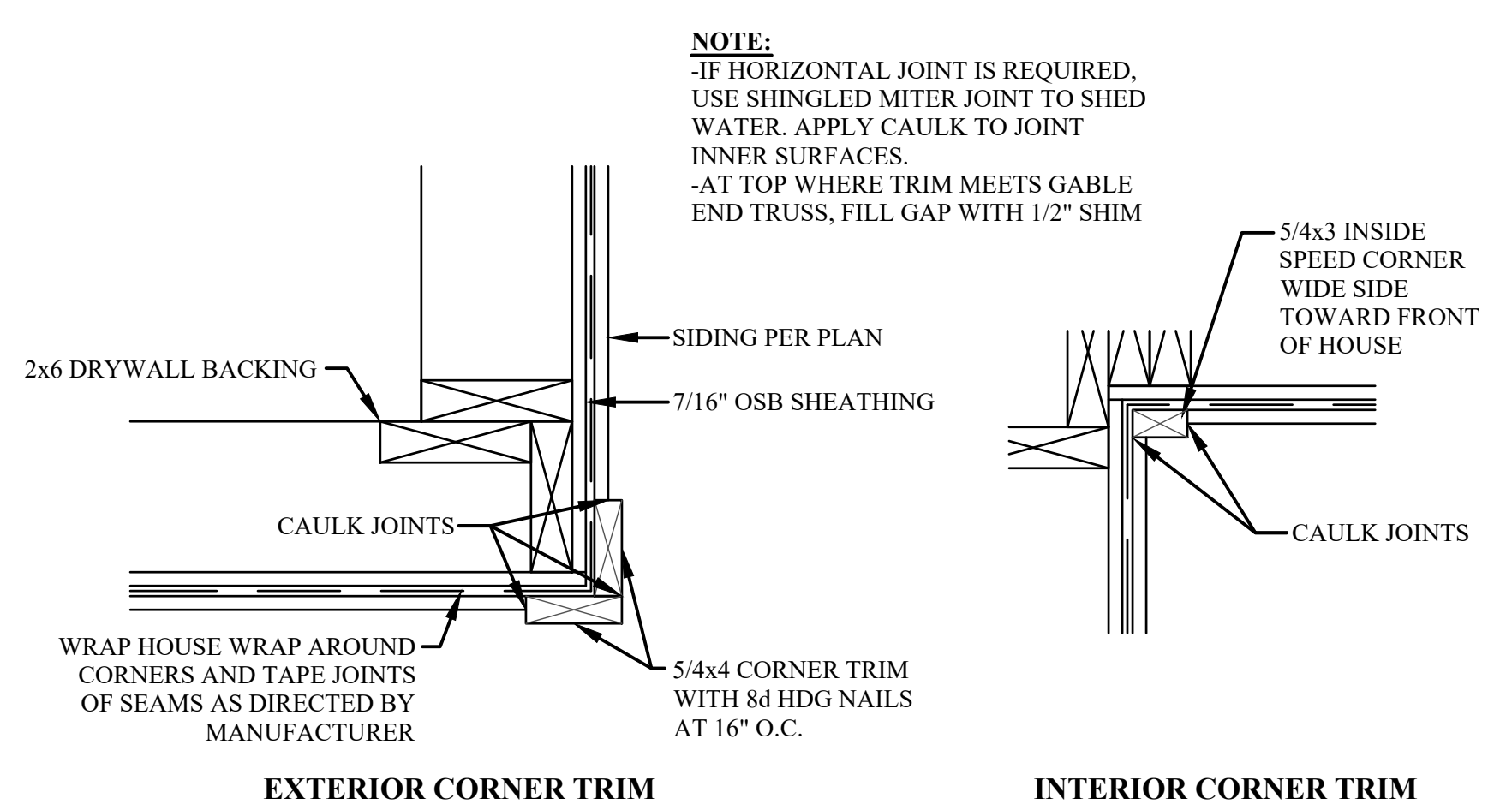
2 GABLE END DETAILING
 SCALE: NTS



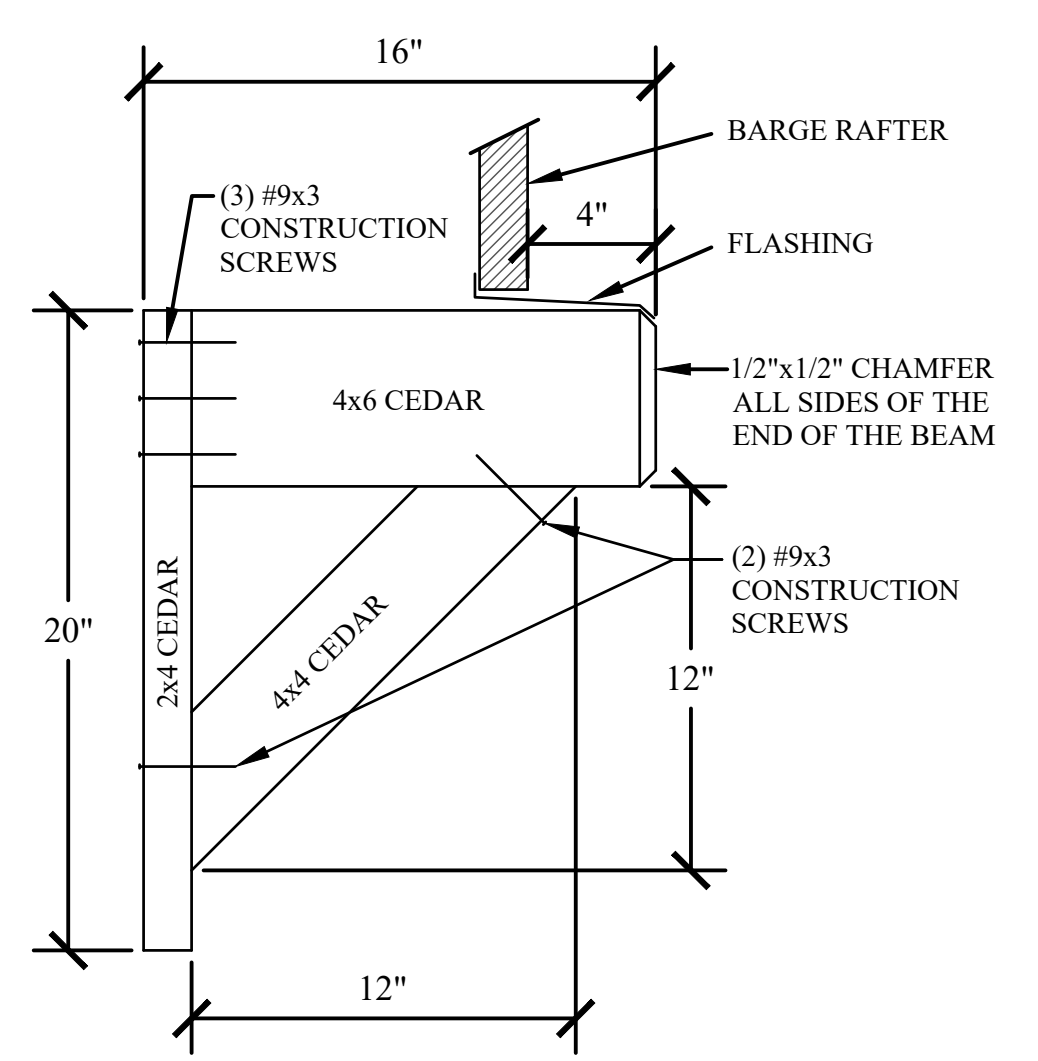
3 DENTIL RAIL
 SCALE: 3" = 1'-0"



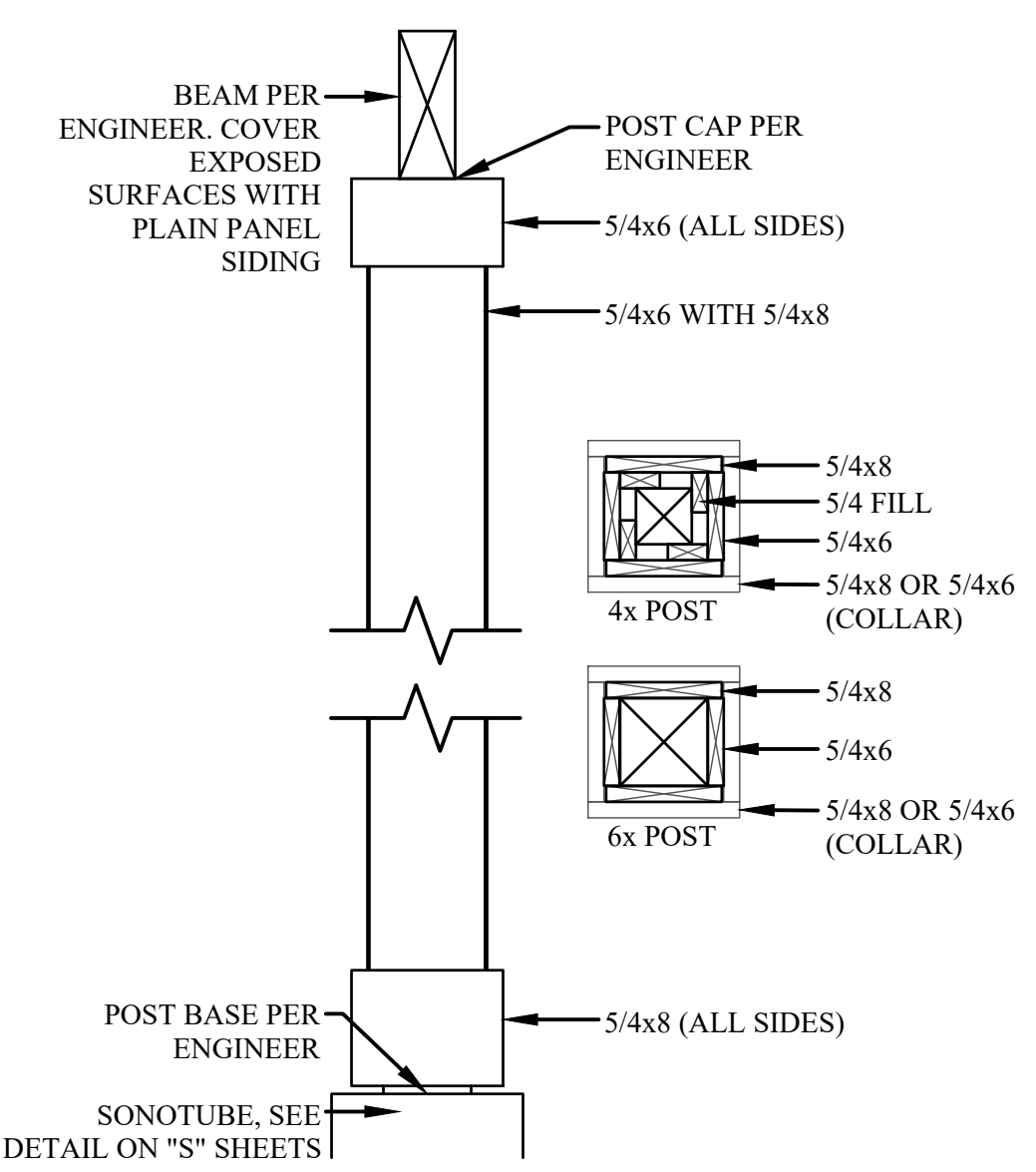
4 EXTERIOR SOFFIT ATTACHMENT
 SCALE: 1" = 1'-0"



5 CORNERBOARD TRIM
 SCALE: 2" = 1'-0"



6 LOOKOUT BEAM
 SCALE: 2" = 1'-0"



7a EXTERIOR COLUMN
 SCALE: 1" = 1'-0" CLASSIC/TRADITIONS

ADAIR HOMES INC.
 © COPYRIGHT 2025

ADAIR HOMES, INC
 4400 NE 77TH AVE
 SUITE 100
 VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:
 130 SE WYERS ST.
 WHITE SALMON, WA. 98672

GARAGE CONFIGURATION:
 INTEGRAL

PLAN ORIENTATION:
 STANDARD

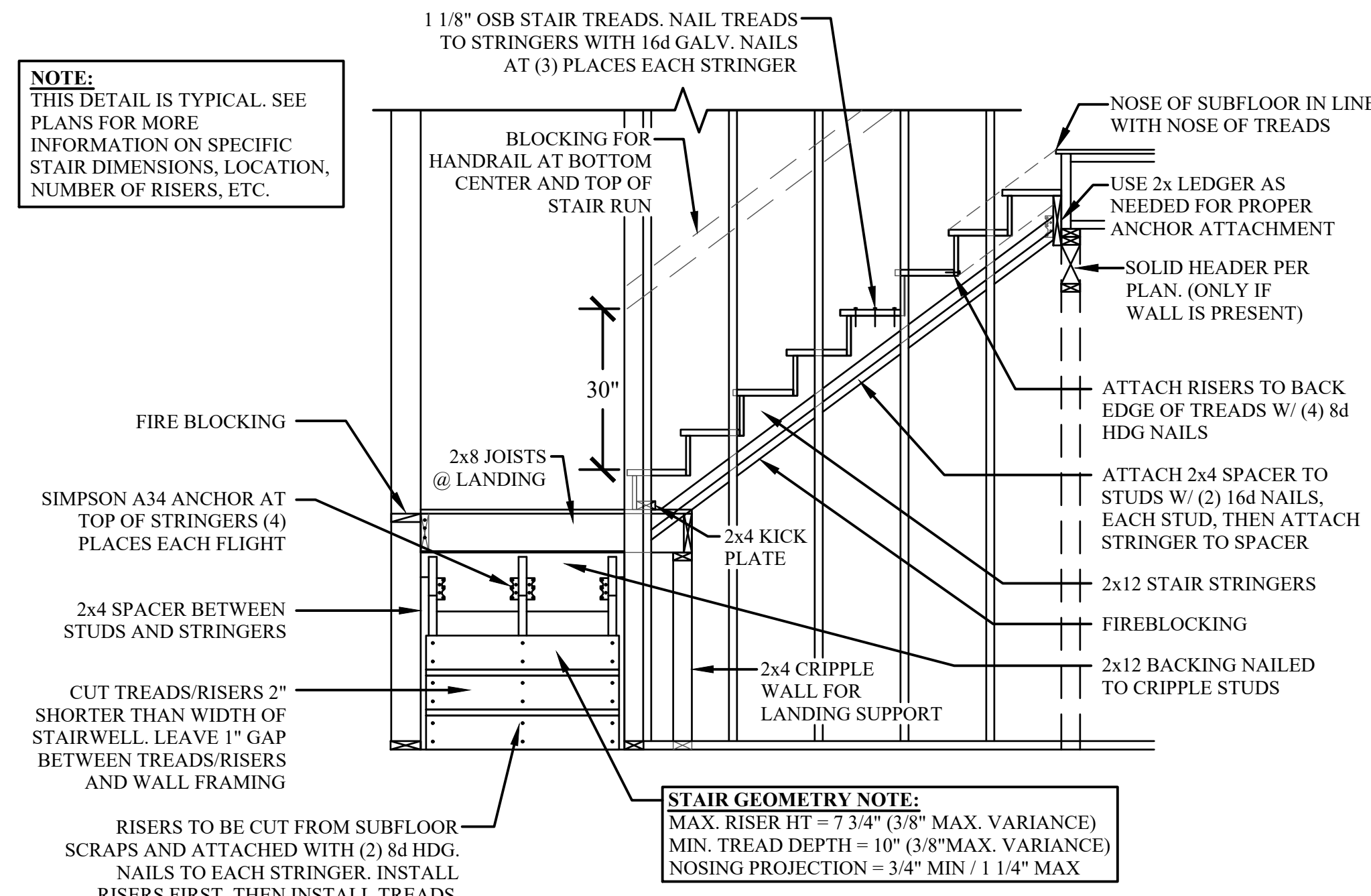
IHMS MODEL CODE - JOB #:
 WOWA - CUSTOM

SCALE: AS SHOWN
 DATE: 11/12/2025
 DRAFTED BY: WD
 REV:

DETAILS

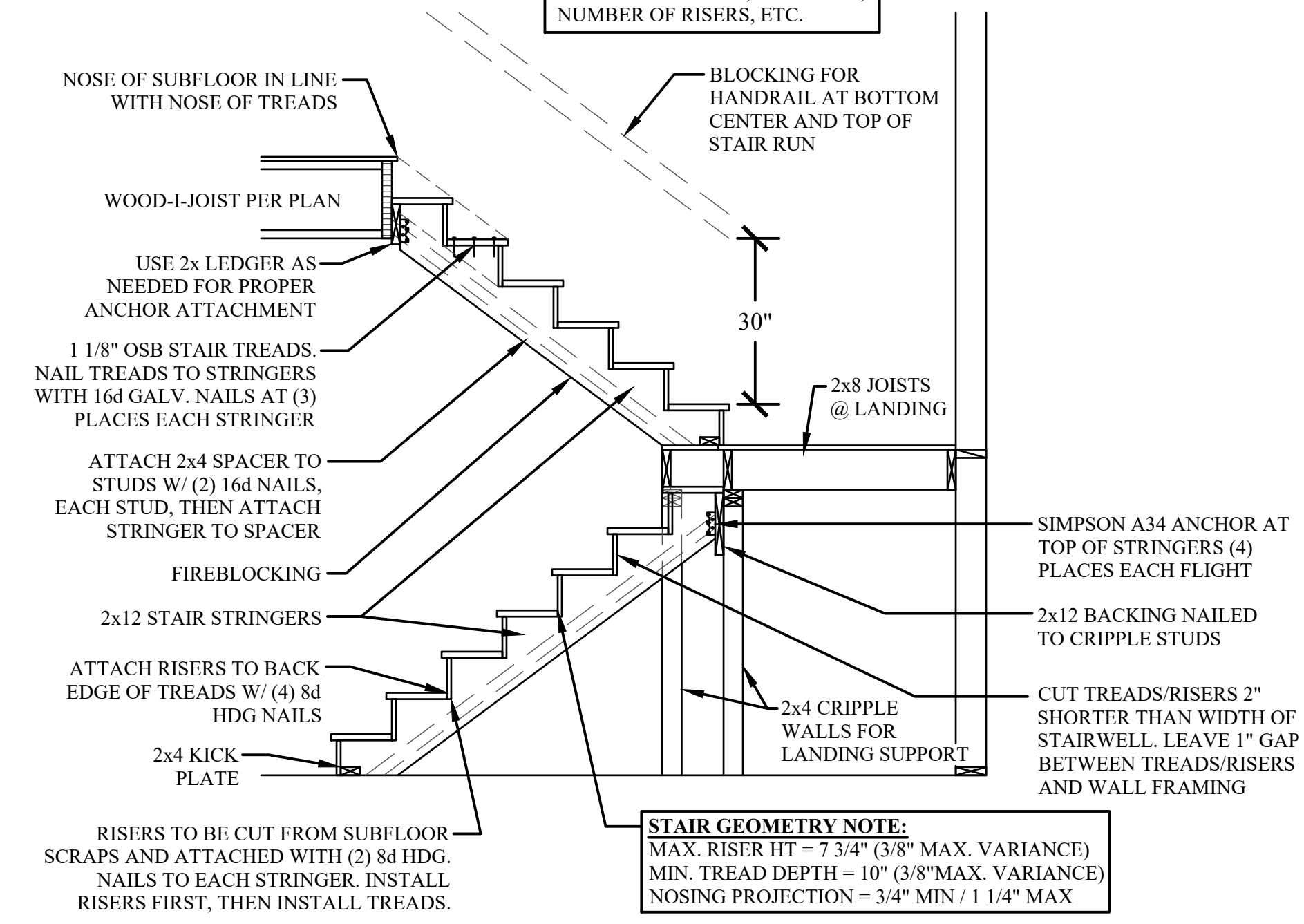
PAGE:
AD8

NOTE:
THIS DETAIL IS TYPICAL. SEE PLANS FOR MORE INFORMATION ON SPECIFIC STAIR DIMENSIONS, LOCATION, NUMBER OF RISERS, ETC.



1a STAIR FRAMING DETAIL - L-SHAPED STAIR
SCALE: 1/2" = 1'-0"

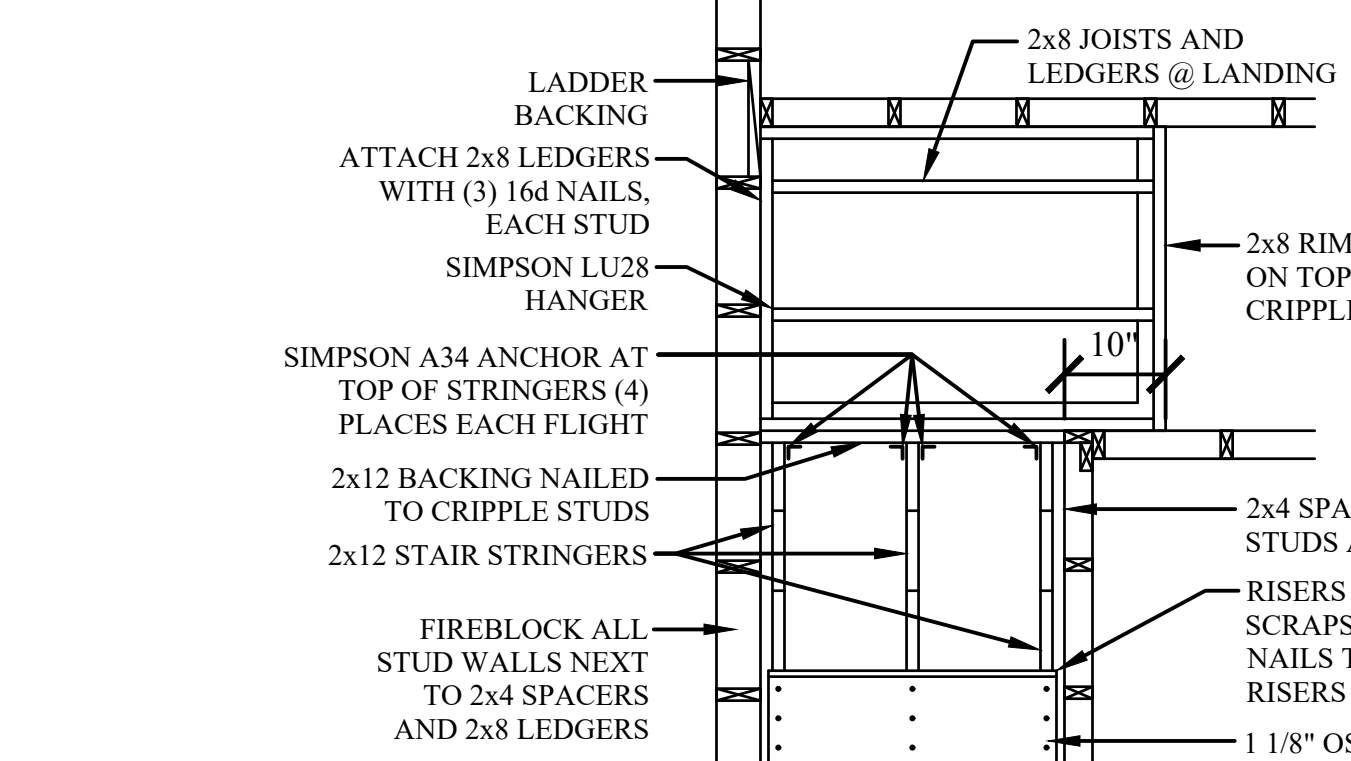
NOTE:
THIS DETAIL IS TYPICAL. SEE PLANS FOR MORE INFORMATION ON SPECIFIC STAIR DIMENSIONS, LOCATION, NUMBER OF RISERS, ETC.



2a STAIR FRAMING DETAIL - U-SHAPED STAIR
SCALE: 1/2" = 1'-0"

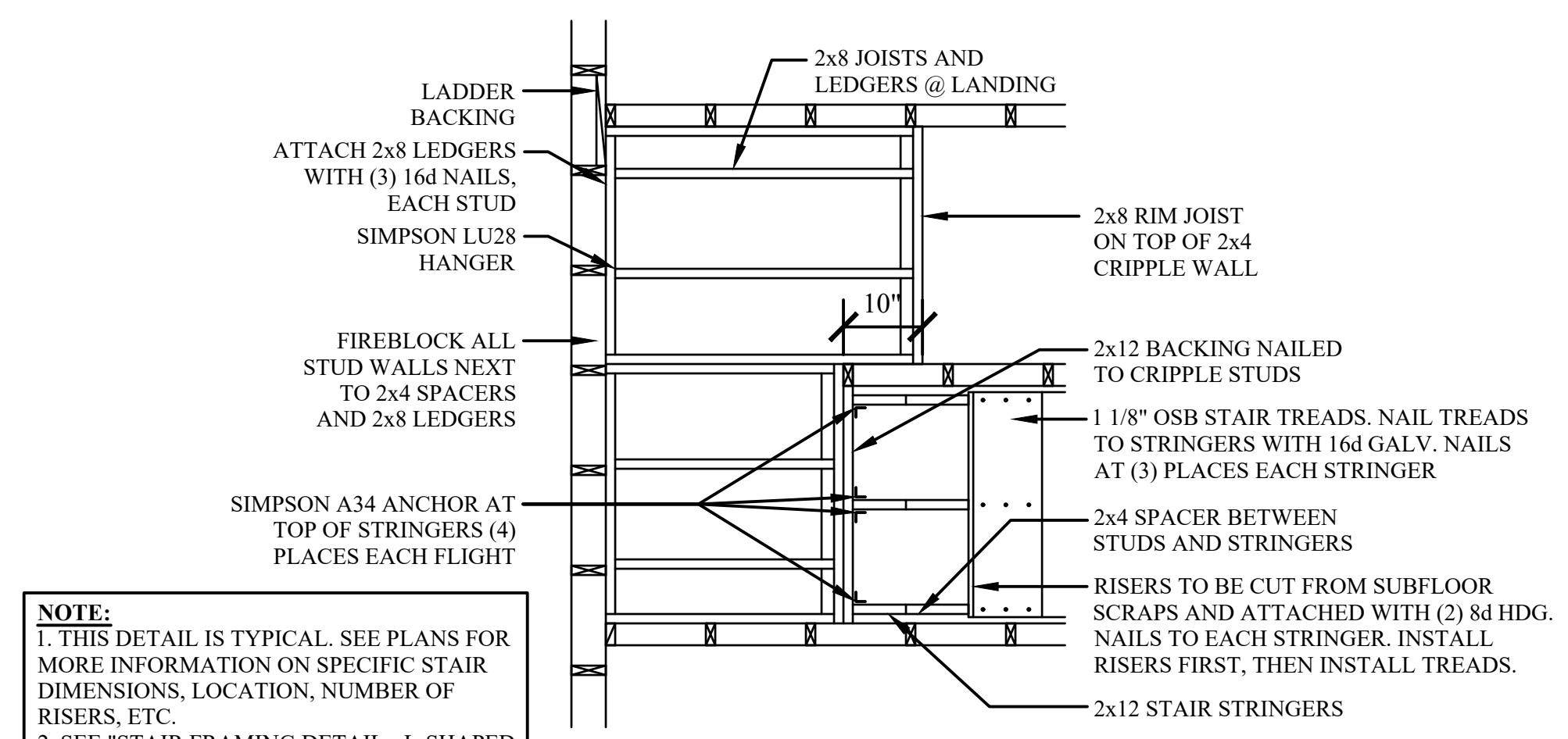
STAIR GEOMETRY NOTE:
MAX. RISER HT = 7 3/4" (3/8" MAX. VARIANCE)
MIN. TREAD DEPTH = 10" (3/8" MAX. VARIANCE)
NOSING PROJECTION = 3/4" MIN / 1 1/4" MAX

NOTE:
1. THIS DETAIL IS TYPICAL. SEE PLANS FOR MORE INFORMATION ON SPECIFIC STAIR DIMENSIONS, LOCATION, NUMBER OF RISERS, ETC.
2. SEE "STAIR FRAMING DETAIL - L-SHAPED STAIR" FOR MORE INFORMATION.

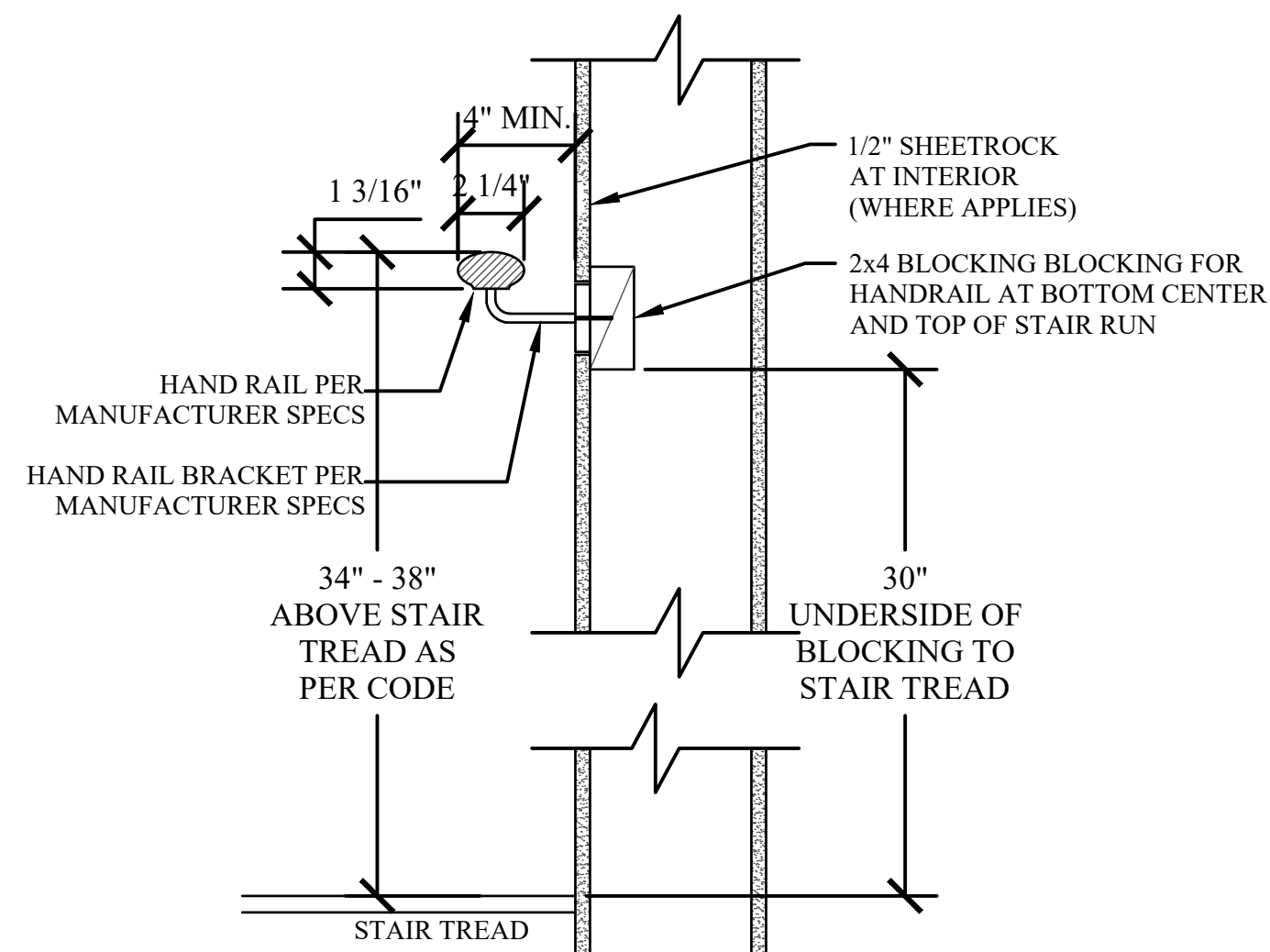


1b STAIR FRAMING PLAN - L-SHAPED STAIR
SCALE: 1/2" = 1'-0"

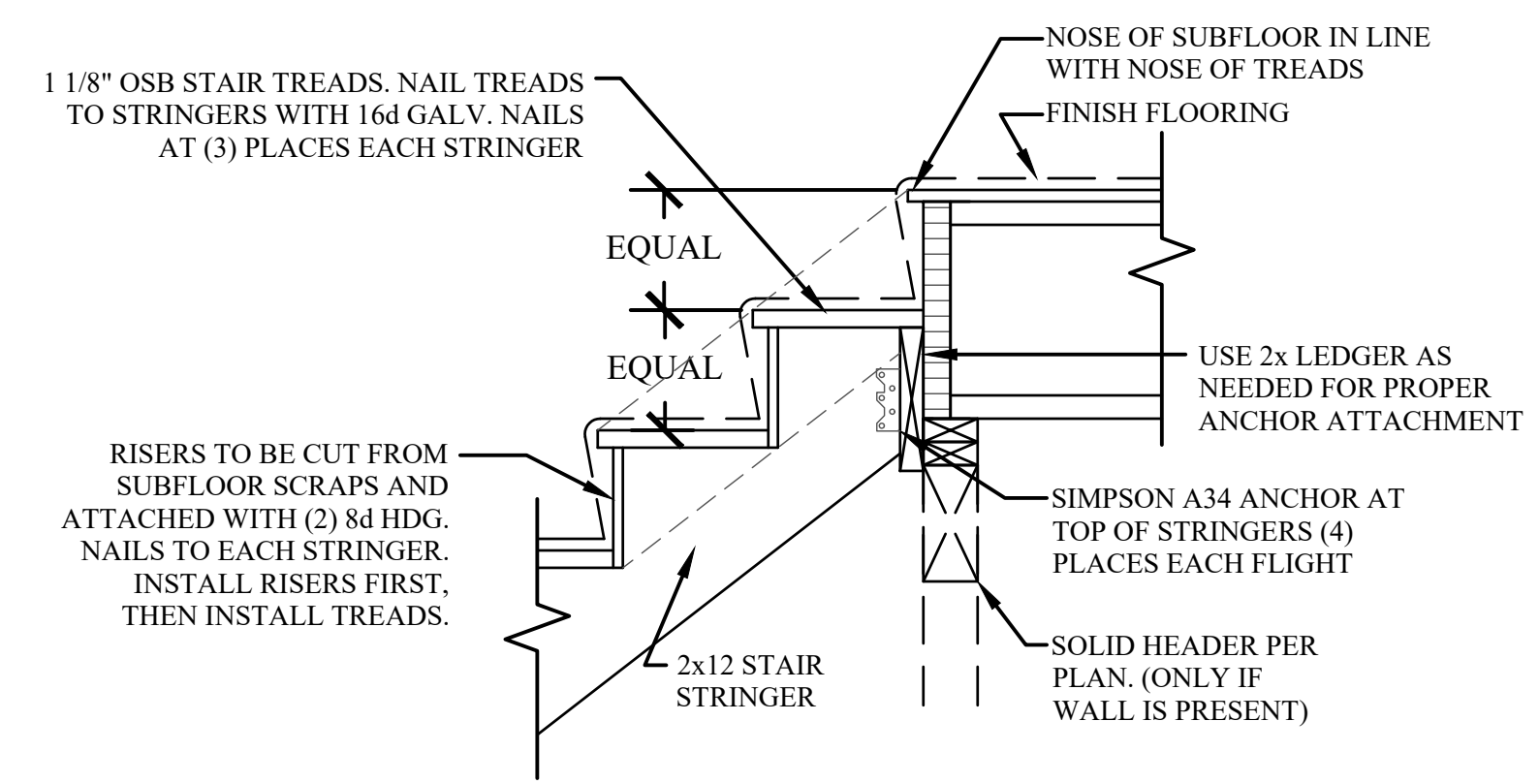
NOTE:
1. THIS DETAIL IS TYPICAL. SEE PLANS FOR MORE INFORMATION ON SPECIFIC STAIR DIMENSIONS, LOCATION, NUMBER OF RISERS, ETC.
2. SEE "STAIR FRAMING DETAIL - L-SHAPED STAIR" FOR MORE INFORMATION.



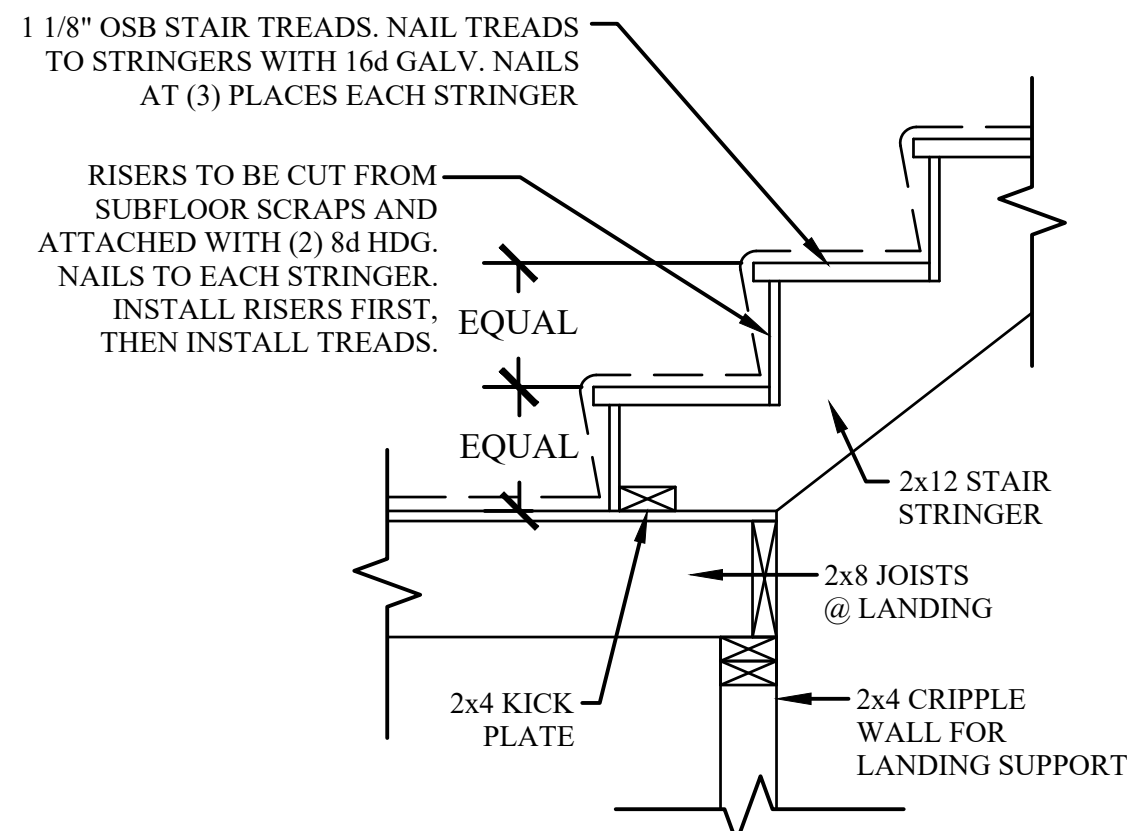
2b STAIR FRAMING PLAN - U-SHAPED STAIR
SCALE: 1/2" = 1'-0"



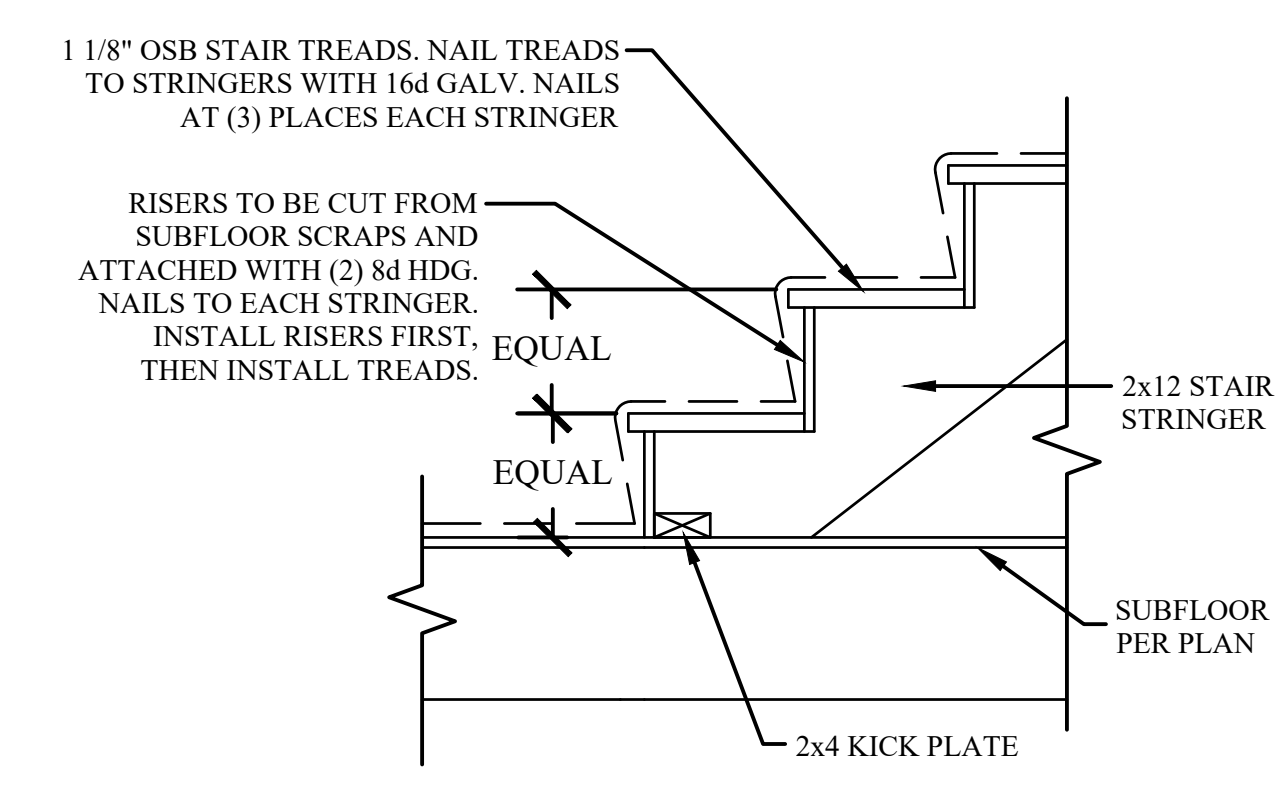
3 HAND RAIL DETAIL
SCALE: 2" = 1'-0"



4 STAIR DETAIL - TOP OF STAIR RUN
SCALE: 1" = 1'-0"

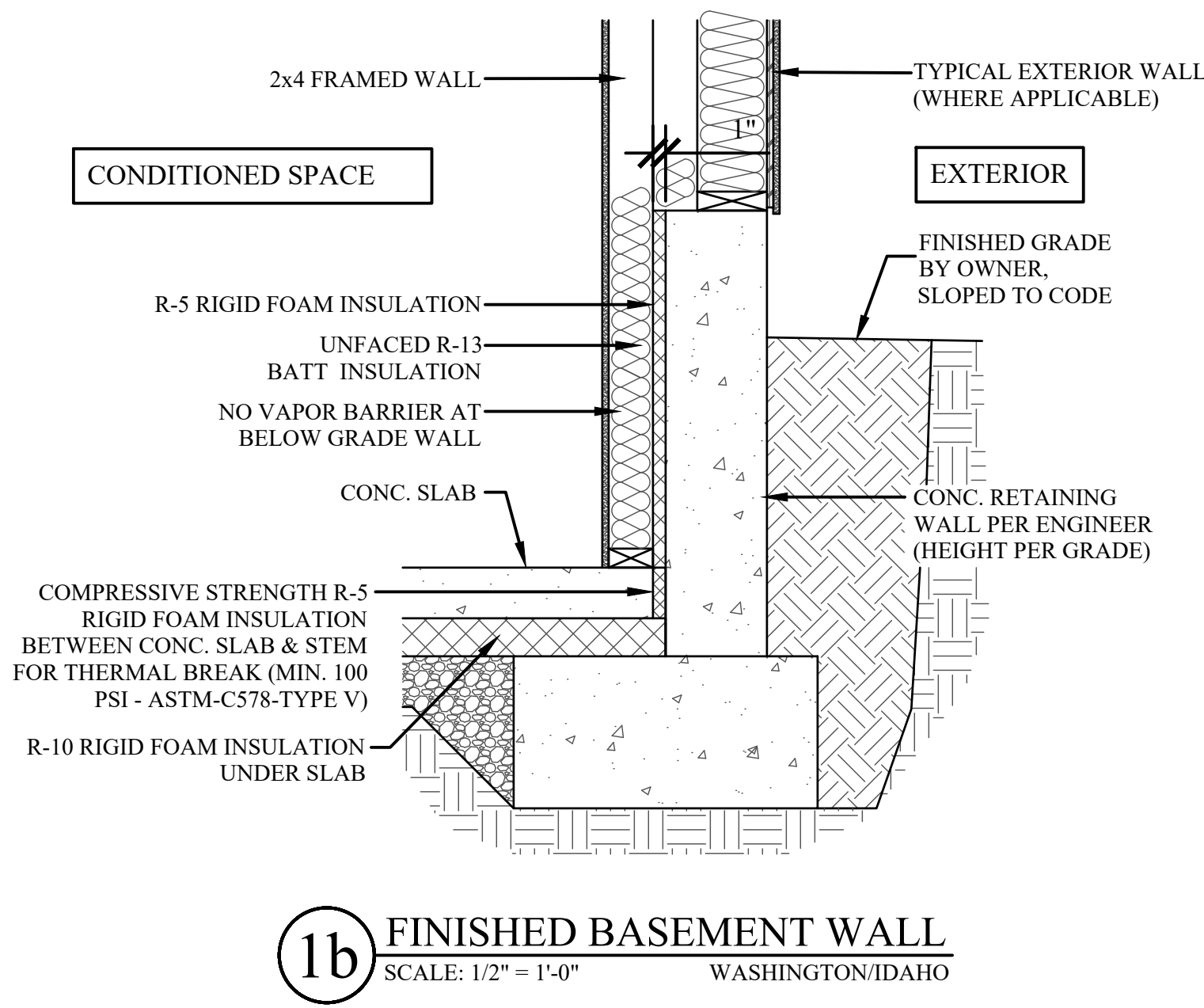


5 STAIR DETAIL - AT LANDING
SCALE: 1" = 1'-0"

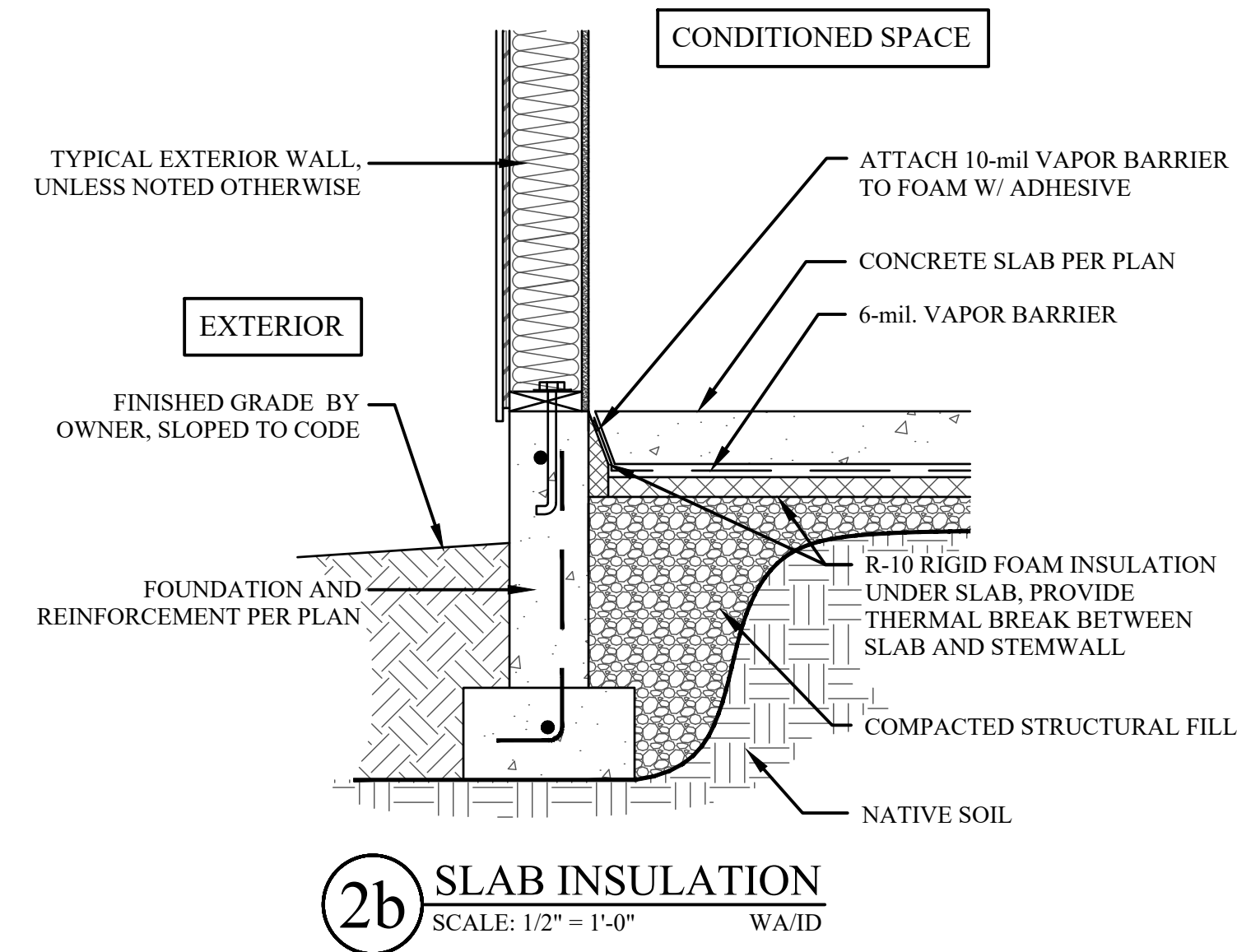


6 STAIR DETAIL - AT FLOOR
SCALE: 1" = 1'-0"

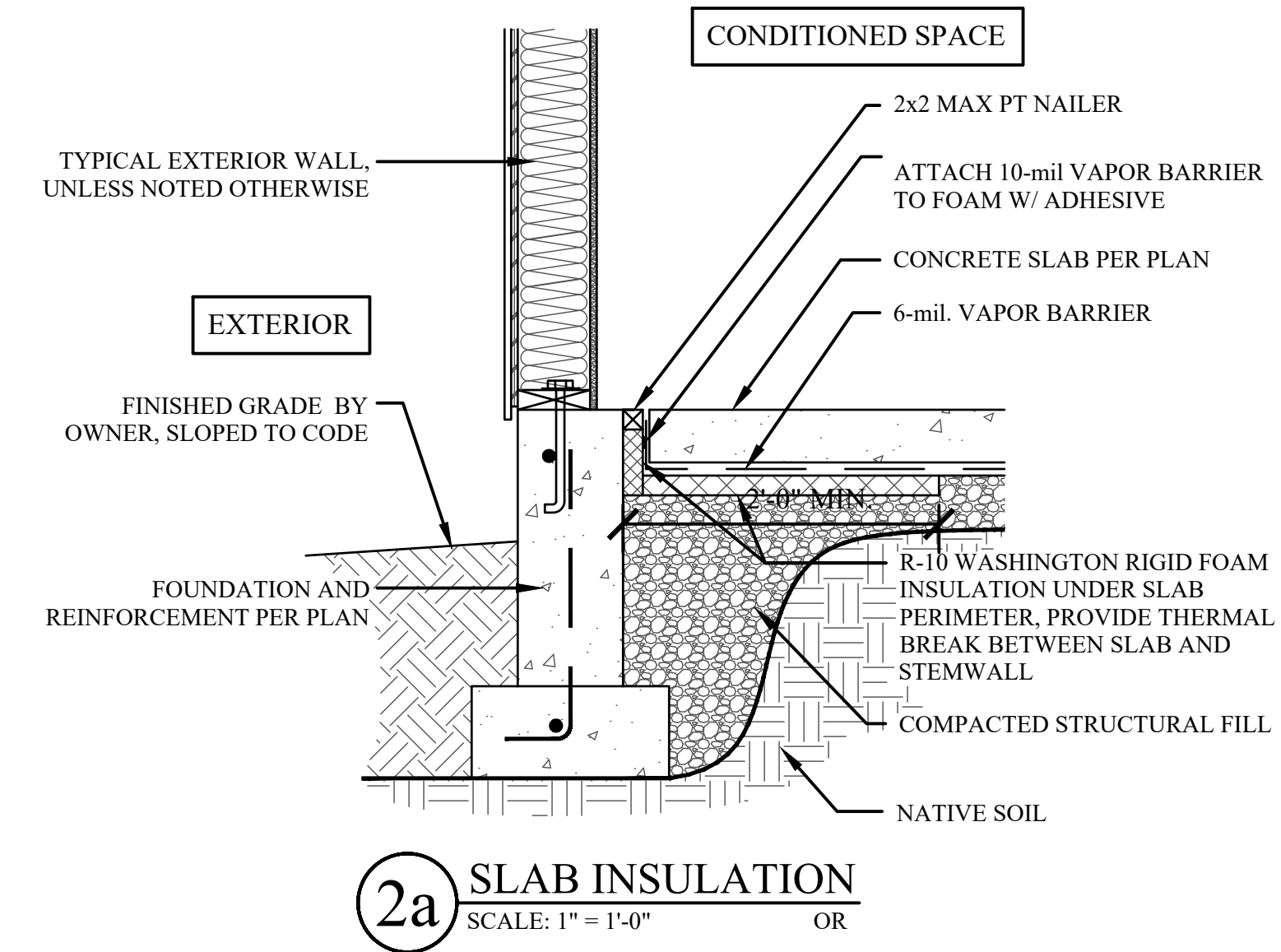
CHAVES CUSTOM - 366	ADDRESS: 2021 IRC	ADDRESS: 130 SE WYERS ST. WHITE SALMON, WA. 98672
	PLAN ORIENTATION: STANDARD	SCALE: AS SHOWN DATE: 11/12/2025 DRAFTED BY: WD REV:
GARAGE CONFIGURATION: INTEGRAL	IHMS MODEL CODE - JOB #: WOWA - CUSTOM	PAGE: AD9
DETAILS	ADAIR HOMES INC. © COPYRIGHT 2025	ADAIR HOMES, INC 4400 NE 77TH AVE SUITE 100 VANCOUVER, WA 98662



1b FINISHED BASEMENT WALL
SCALE: 1/2" = 1'-0"
WASHINGTON/IDAHO



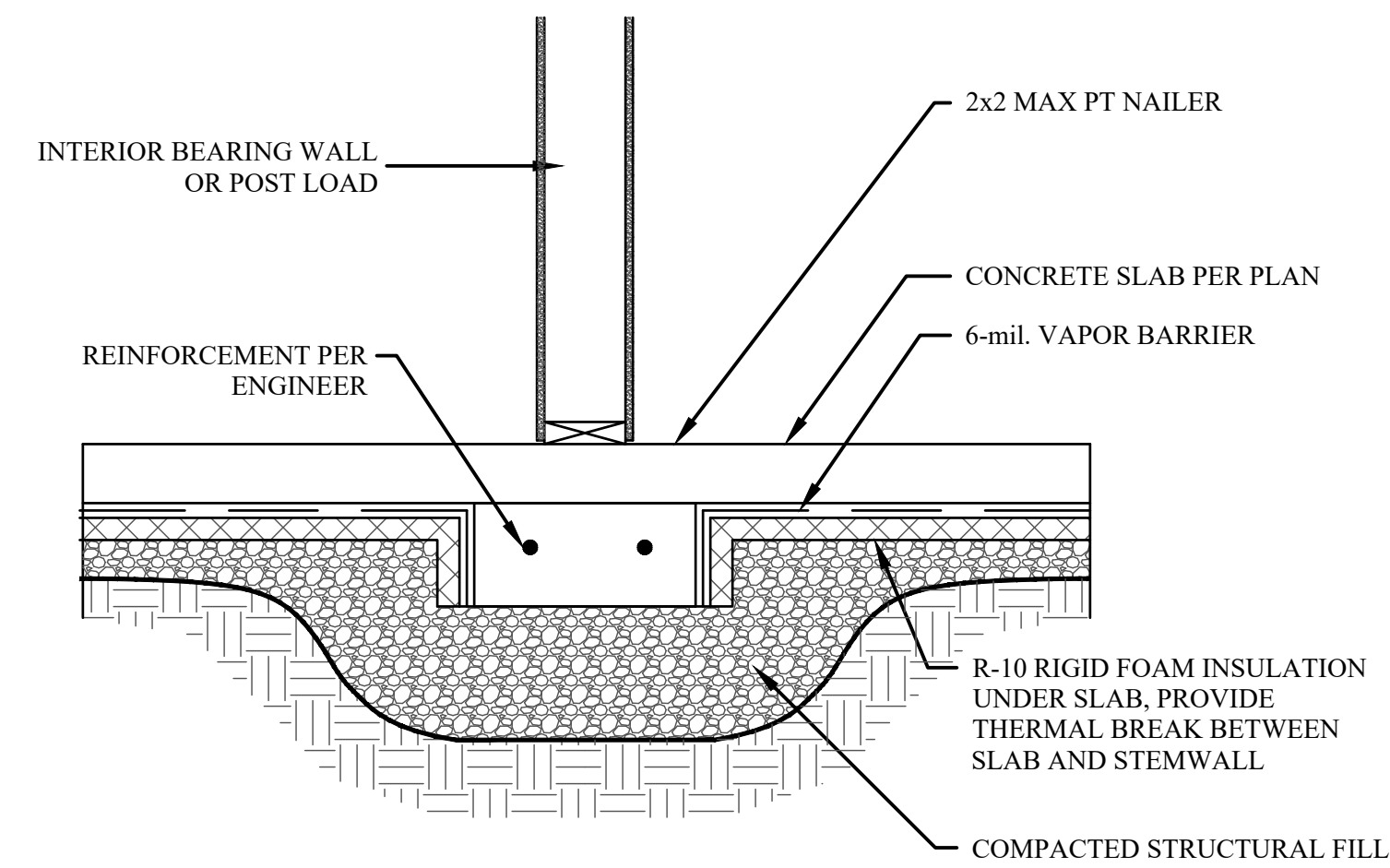
2b SLAB INSULATION
SCALE: 1/2" = 1'-0"
WA/ID



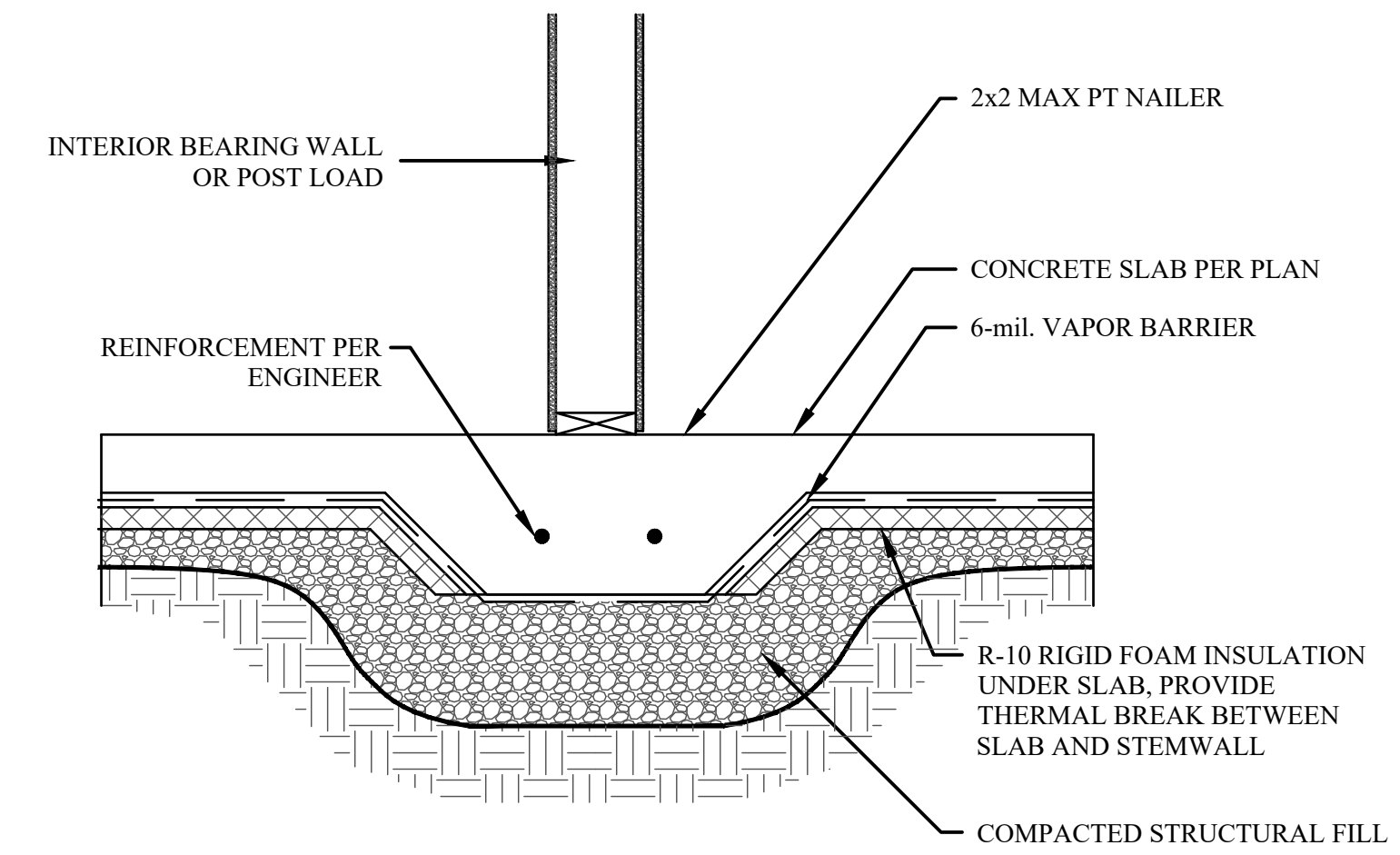
2a SLAB INSULATION
SCALE: 1" = 1'-0"
OR



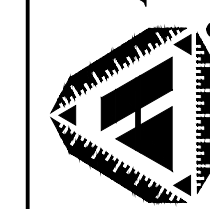
3b SLAB INSULATION AT BEARING
SCALE: 1" = 1'-0"
2-POUR



3b SLAB INSULATION AT BEARING
SCALE: 1" = 1'-0"
MONO-POUR



3b SLAB INSULATION AT BEARING
SCALE: 1" = 1'-0"
MONO-POUR



ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:

130 SE WYERS ST.
WHITE SALMON, WA. 98672

IHMS MODEL CODE - JOB #:
WOWA - CUSTOM

PLAN ORIENTATION:
STANDARD

GARAGE CONFIGURATION:
INTEGRAL

DETAILS

SCALE: AS SHOWN

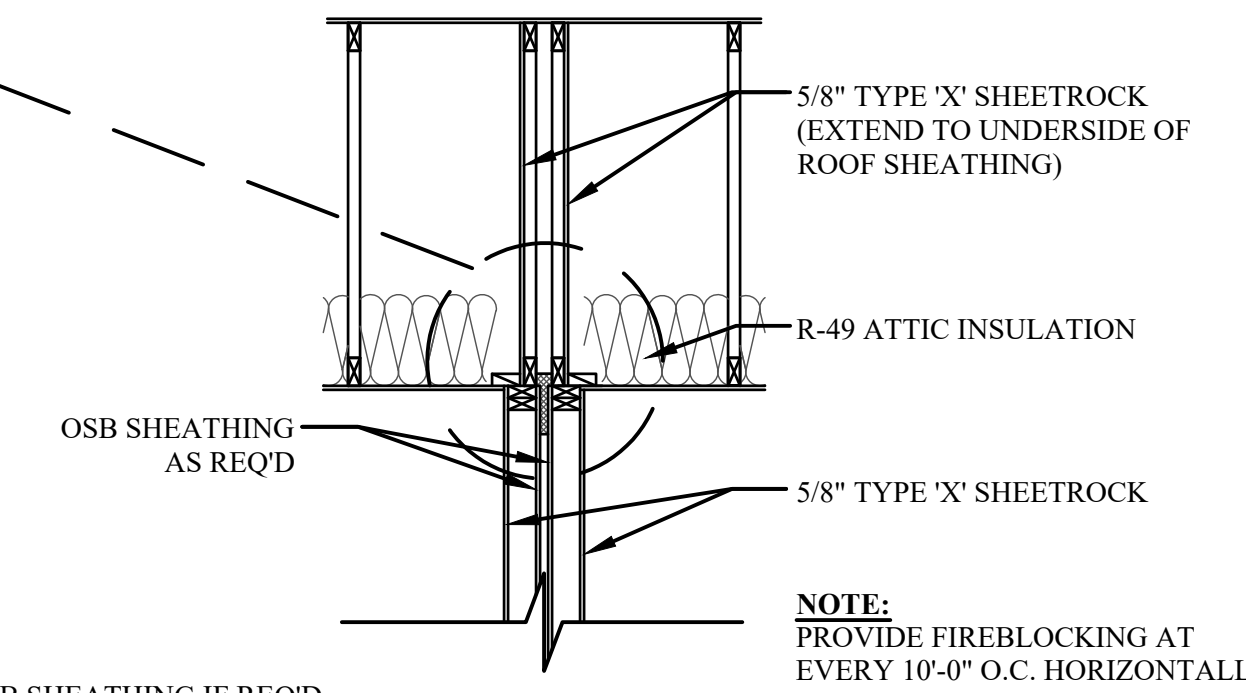
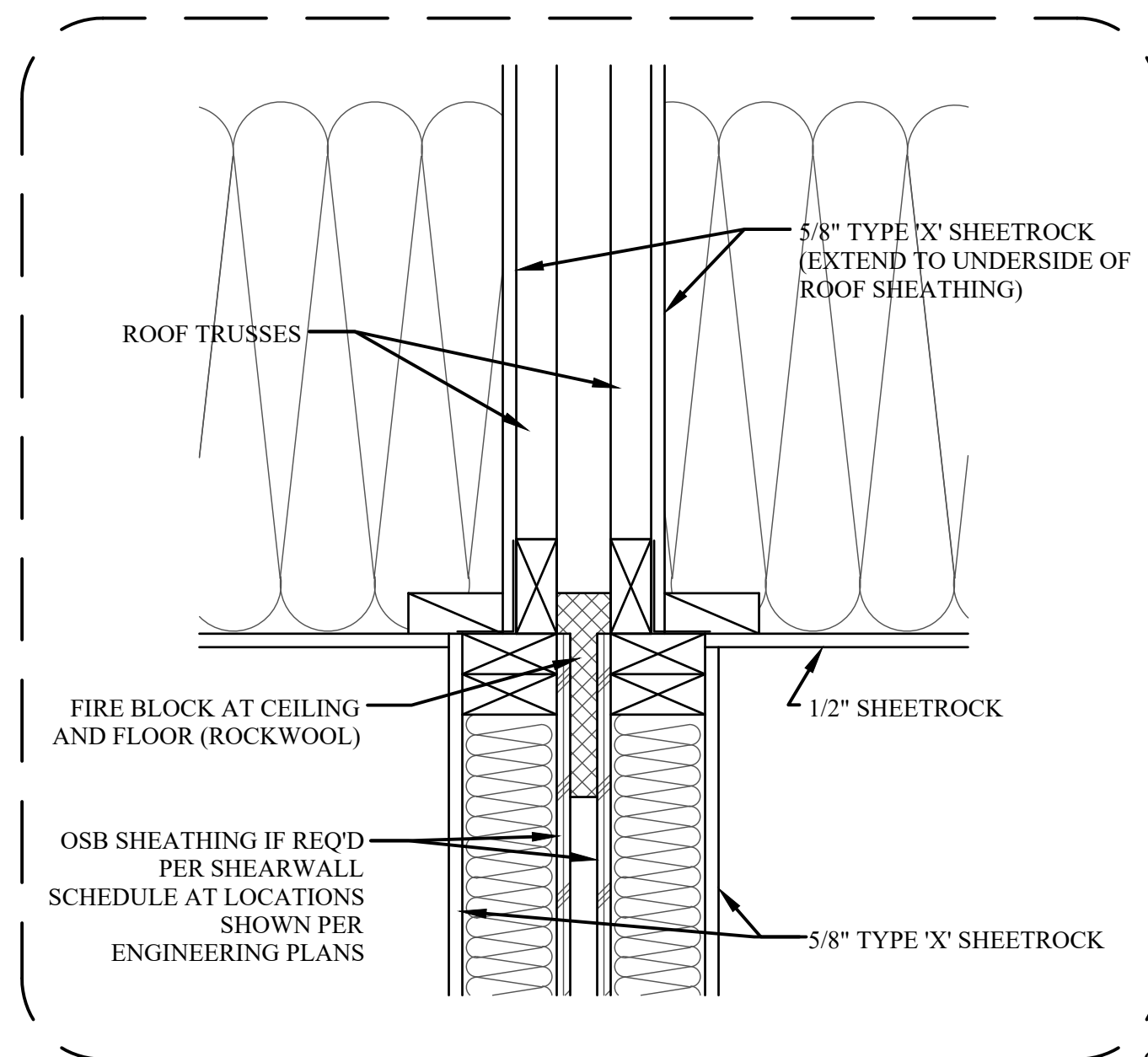
DATE: 11/12/2025

DRAFTED BY: WD

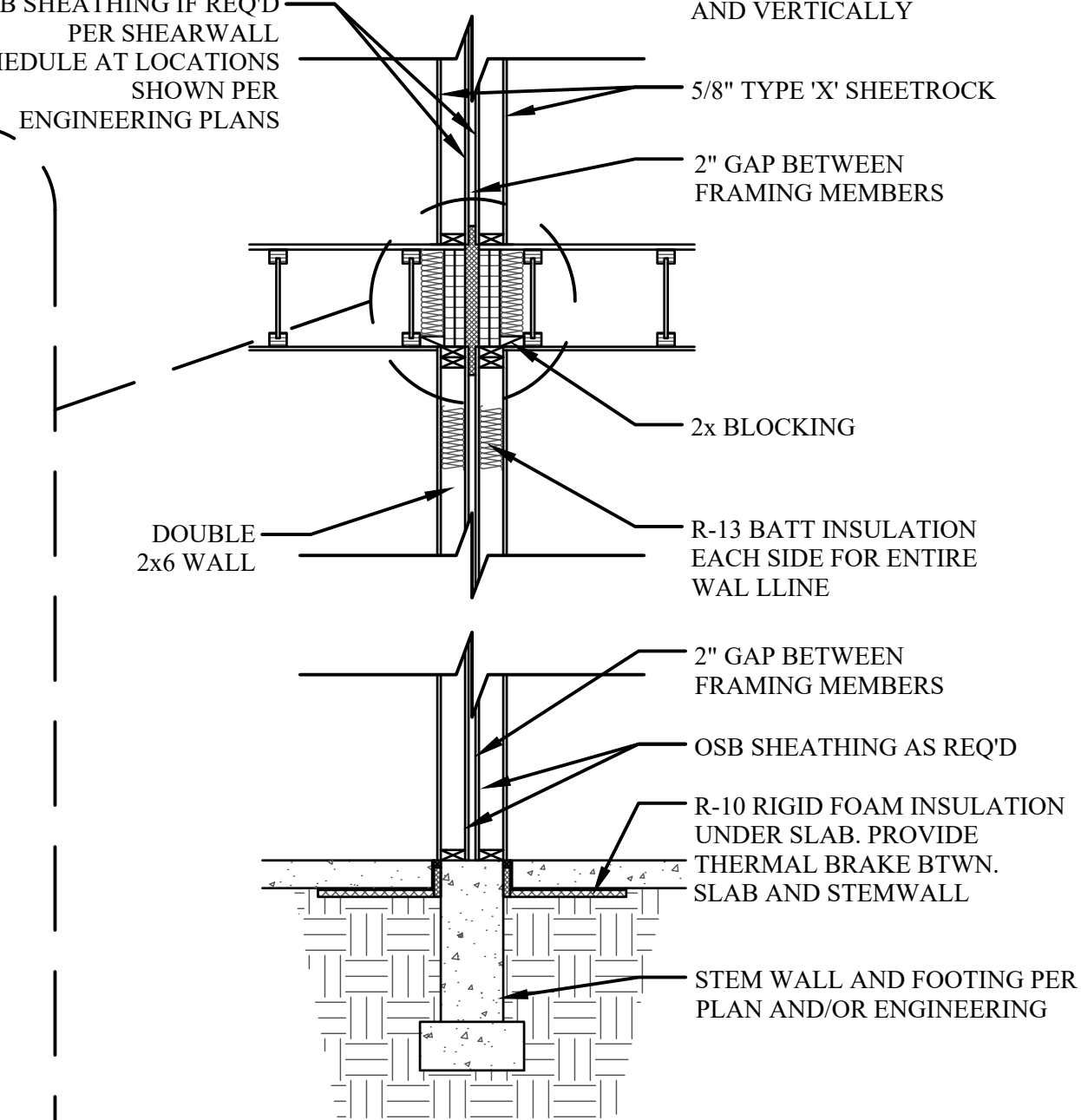
REV:

PAGE:

AD10

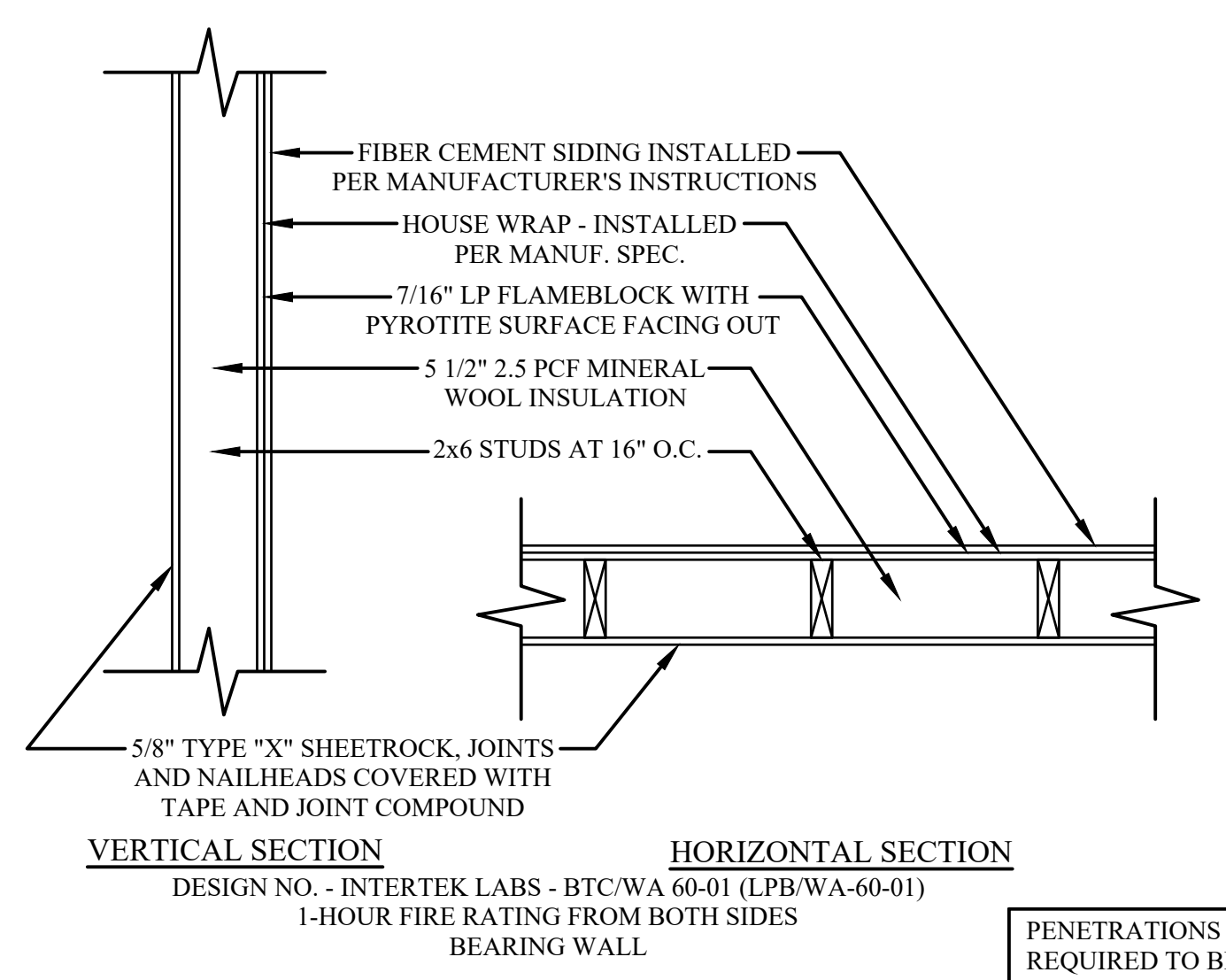


NOTE: PROVIDE FIREBLOCKING AT EVERY 10'-0" O.C. HORIZONTALLY AND VERTICALLY



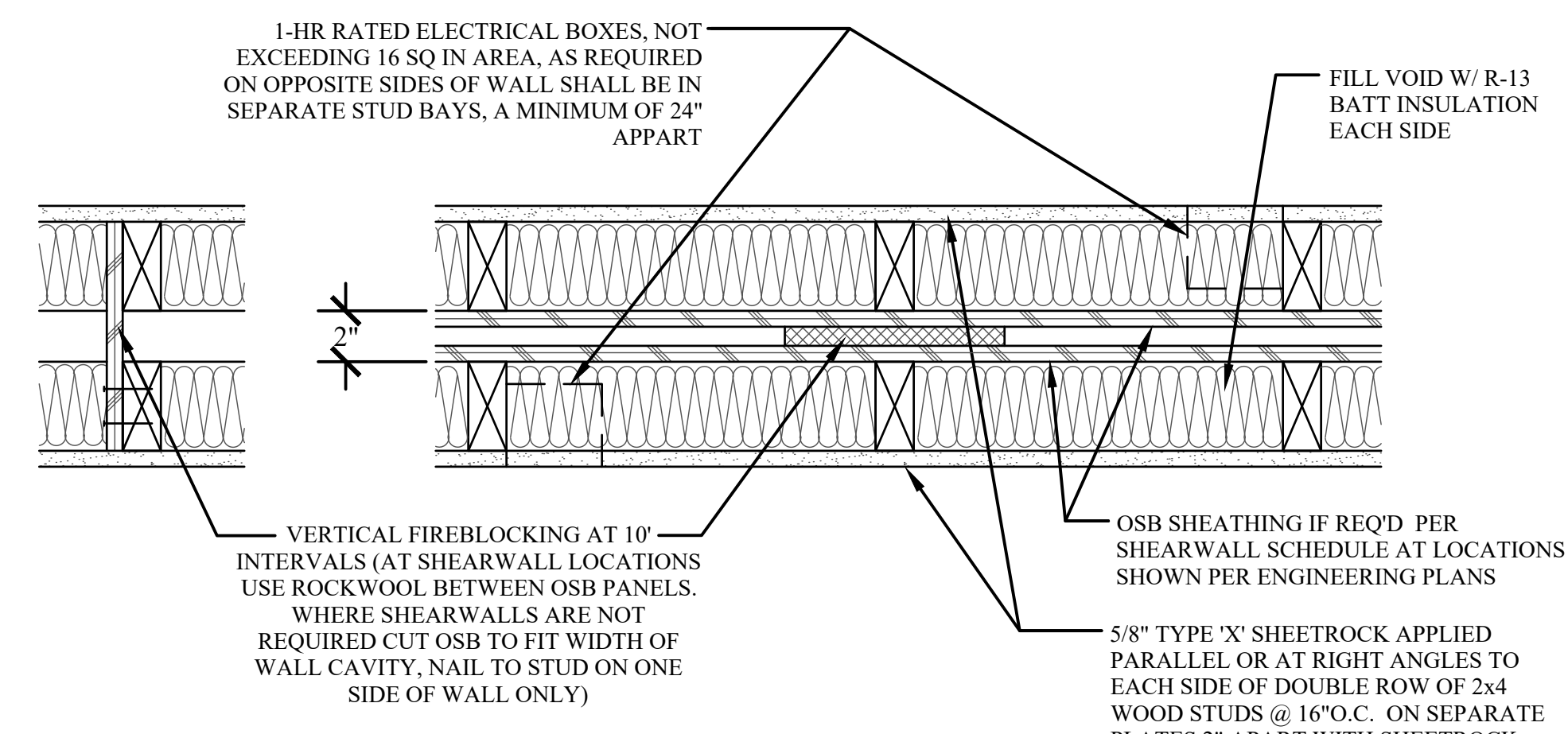
1 COMMON WALL SECTION
SCALE: 1/2" = 1'-0" & 1" = 1'-0"

NOTE: THIS DETAIL IS BASED ON GYPSUM ASSOCIATION FILE NO. WP 3370: 1 HOUR RATED, 45 TO 49 STC



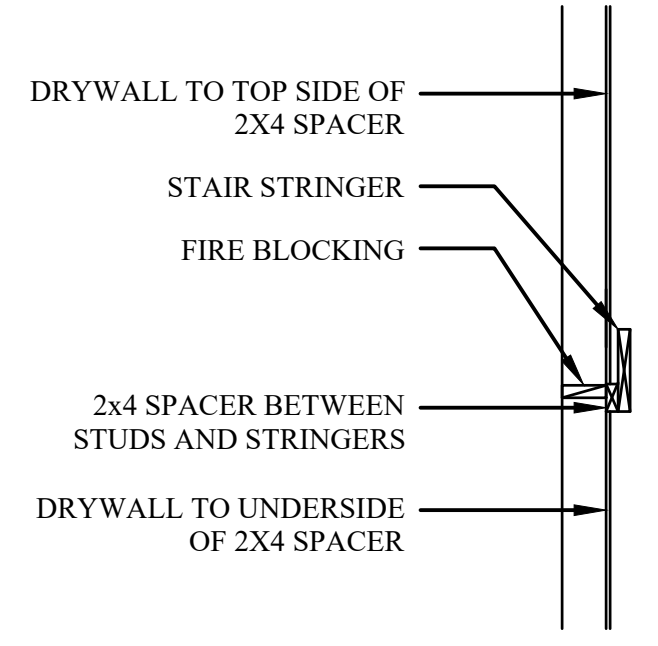
3 EXTERIOR 1 HOUR FIRE RATED WALL DETAIL - LPB/WPPS 60-01
SCALE: 1" = 1'-0"

PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH SECTION R302.4 MEMBRANE PENETRATIONS SHALL BE IN ACCORDANCE WITH SECTION R302.4.2



2 COMMON WALL ASSEMBLY
SCALE: 2" = 1'-0"

NOTE: THIS DETAIL IS BASED ON GYPSUM ASSOCIATION FILE NO. WP 3370: 1 HOUR RATED, 45 TO 49 STC



4 COMMON WALL STAIR STRINGER
SCALE: 1/2" = 1'-0"

NOTE: THIS DETAIL IS BASED ON GYPSUM ASSOCIATION FILE NO. WP 3370: 1 HOUR RATED, 45 TO 49 STC

ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

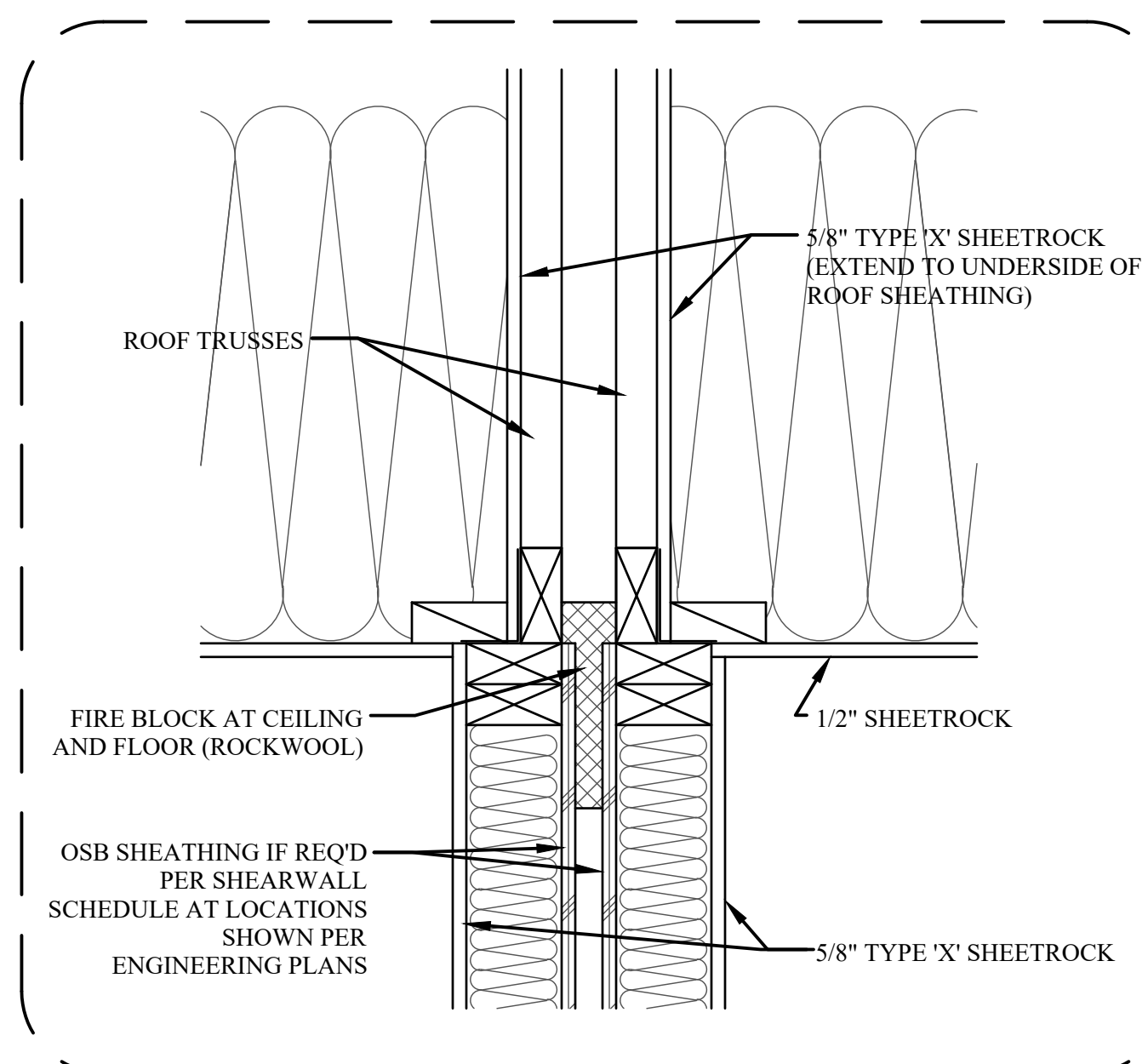
CHAVES CUSTOM - 366

PLAN ORIENTATION: STANDARD
GARAGE CONFIGURATION: INTEGRAL
IHMS MODEL CODE - JOB #: WOWA - CUSTOM
DETAILS

ADDRESS: 2021 IRC
130 SE WYERS ST.
WHITE SALMON, WA. 98672

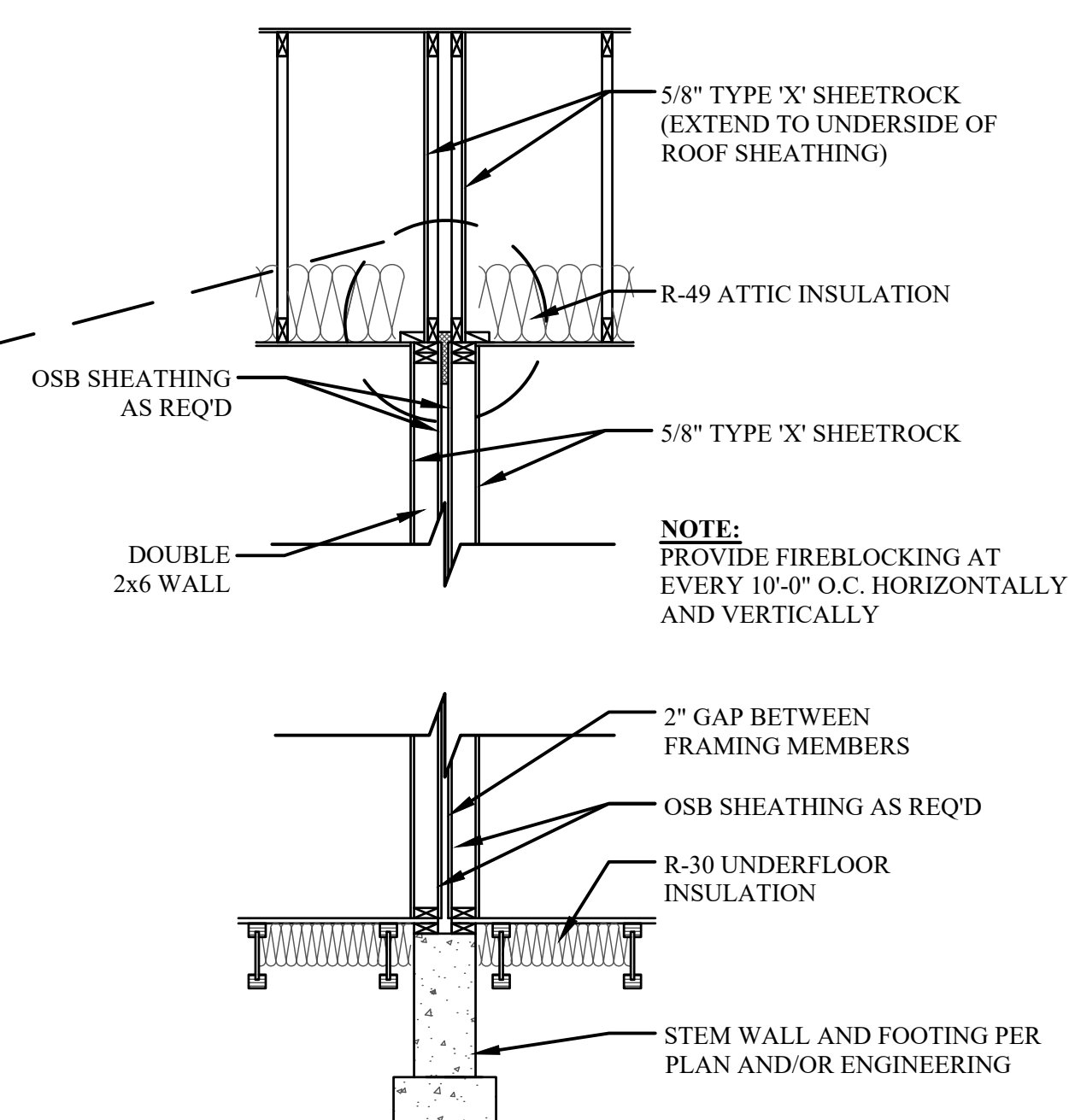
SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:
PAGE: AD11

2 STORY - 1 H. FIRE WALL



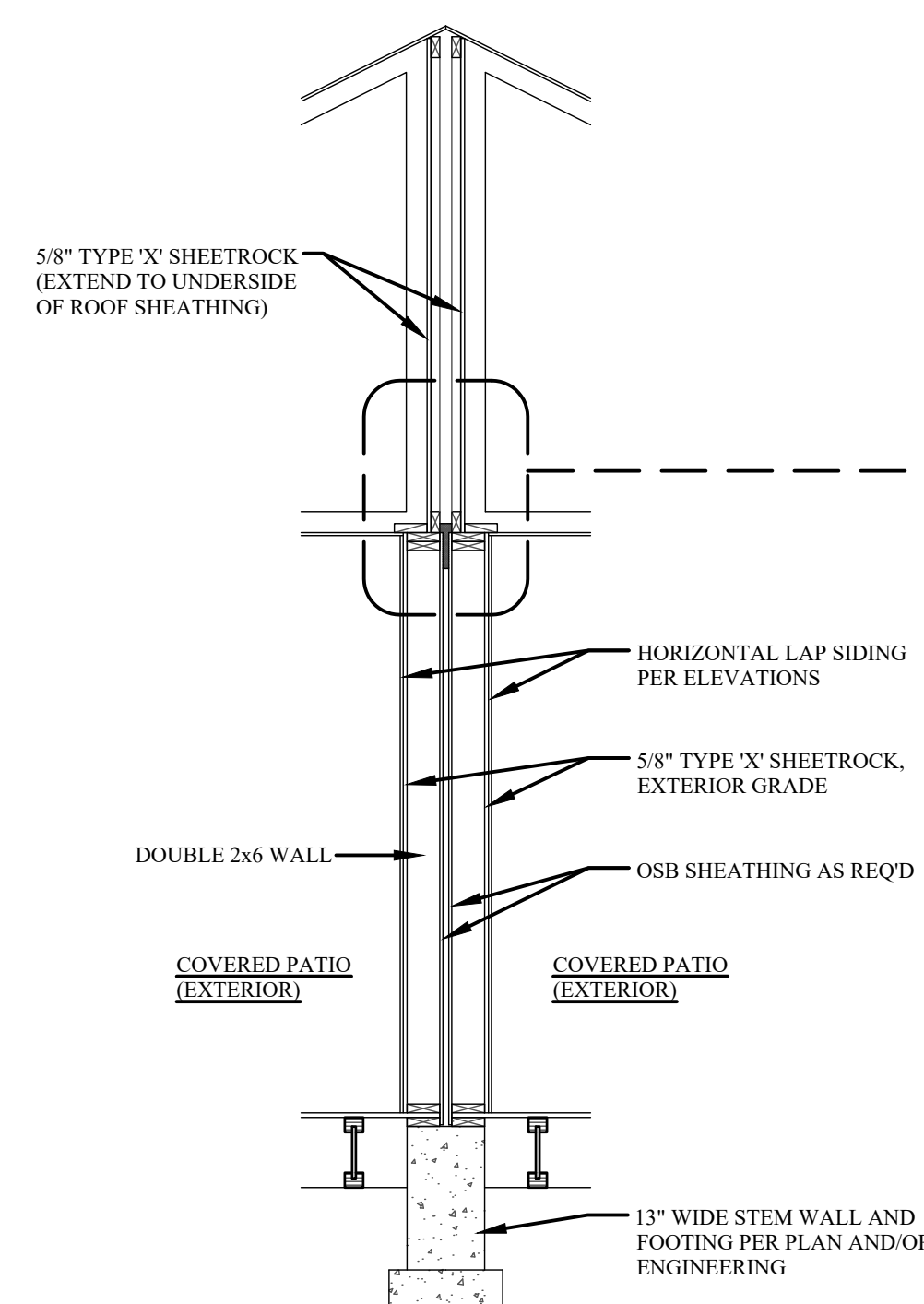
1 COMMON WALL SECTION
SCALE: 1/2" = 1'-0" & 1" = 1'-0"

NOTE: THIS DETAIL IS BASED ON GYPSUM ASSOCIATION FILE NO. WP 3370: 1 HOUR RATED, 45 TO 49 STC



3 EXTERIOR 1 HOUR FIRE RATED WALL DETAIL - LPB/WPPS 60-01
SCALE: 1" = 1'-0"

PENETRATIONS OF WALL ASSEMBLIES REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH SECTION R302.4. MEMBRANE PENETRATIONS SHALL BE IN ACCORDANCE WITH SECTION R302.4.2

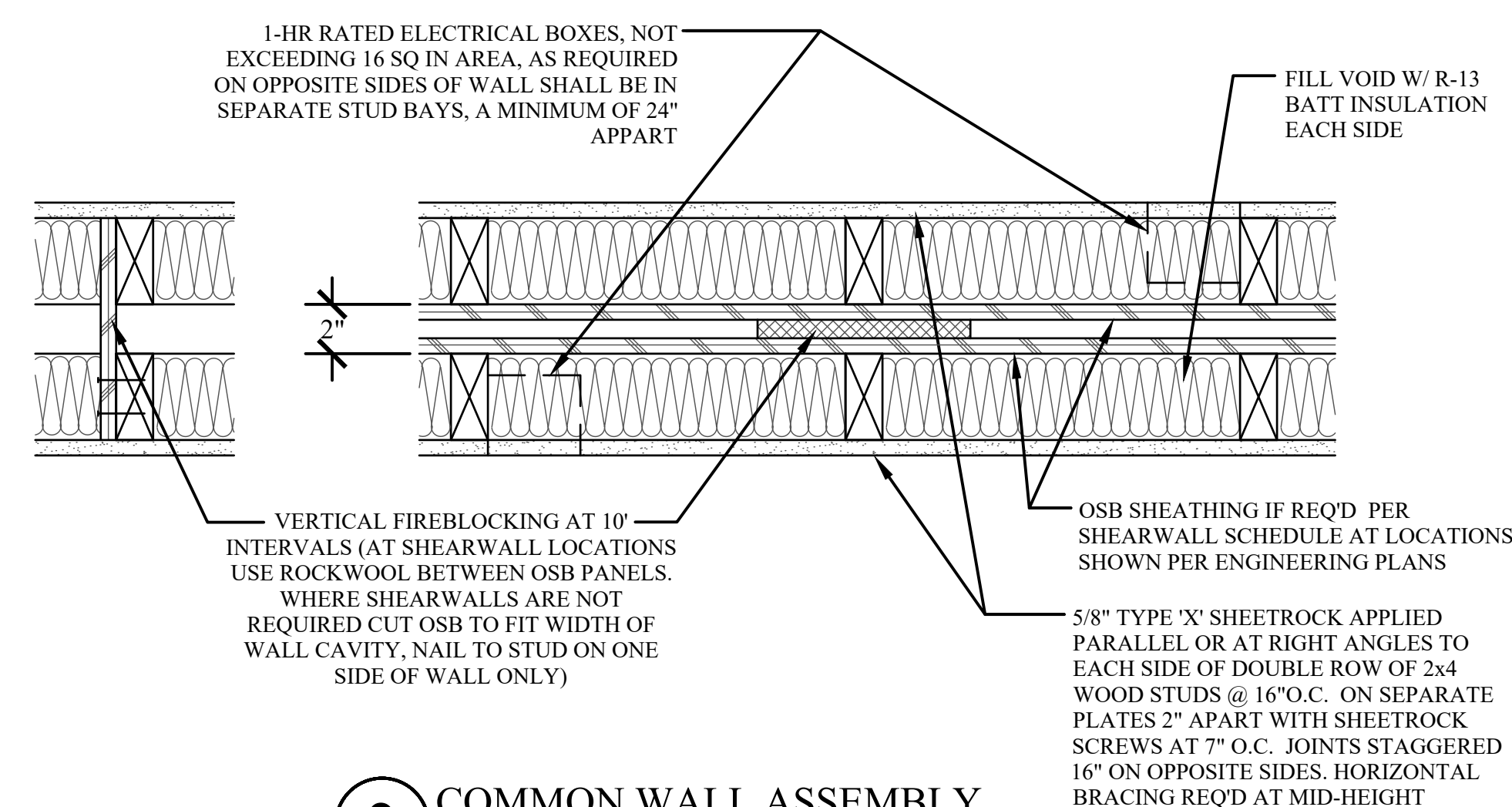
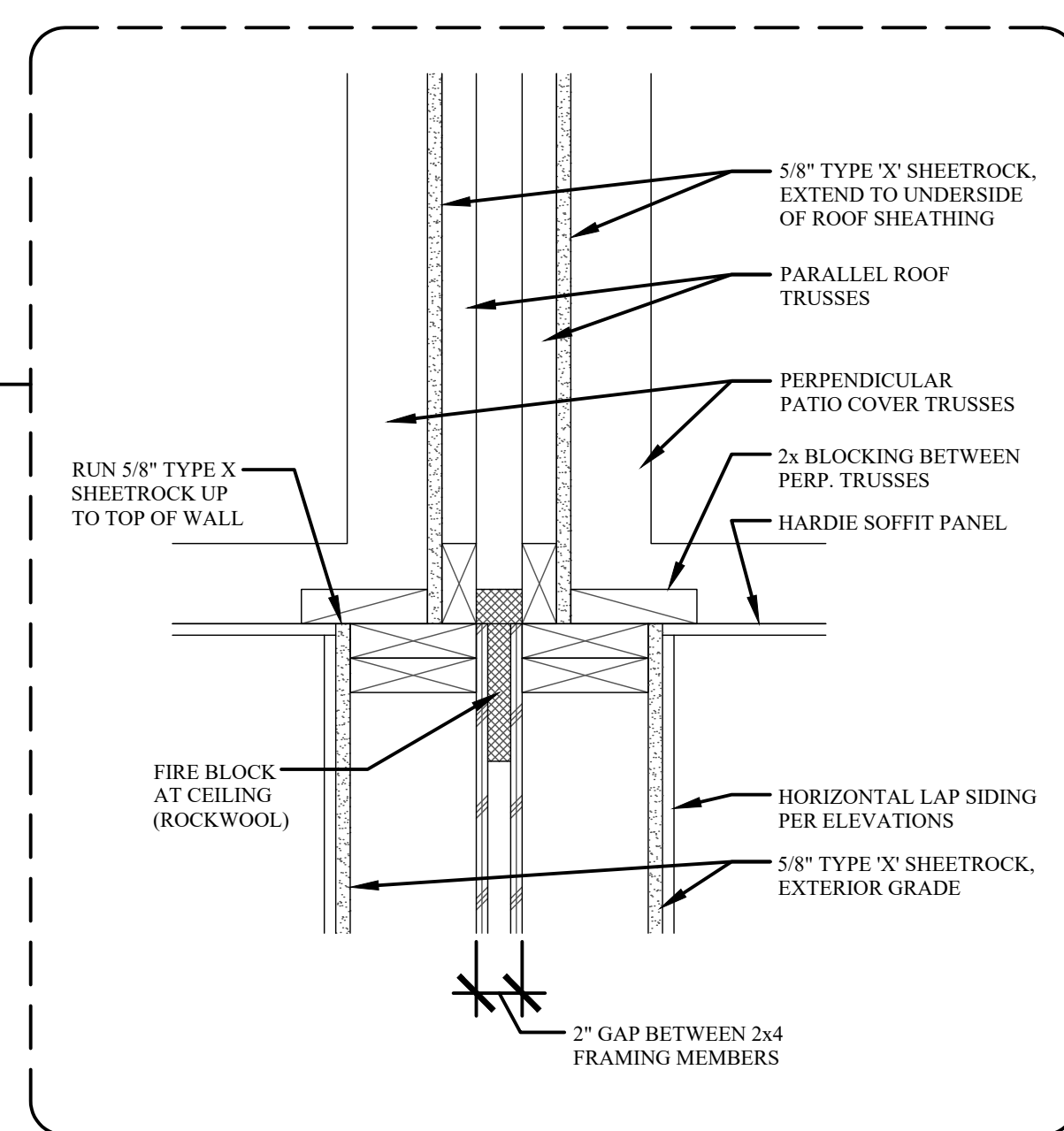


4 COMMON WALL STAIR STRINGER
SCALE: 1/2" = 1'-0"

NOTE: THIS DETAIL IS BASED ON GYPSUM ASSOCIATION FILE NO. WP 3370: 1 HOUR RATED, 45 TO 49 STC

5 COMMON WALL SECTION
SCALE: 1/2" = 1'-0" & 1" = 1'-0" @ REAR PATIO COVER

NOTE: THIS DETAIL IS BASED ON GYPSUM ASSOCIATION FILE NO. WP 3370: 1 HOUR RATED, 45 TO 49 STC



2 COMMON WALL ASSEMBLY
SCALE: 2" = 1'-0"

NOTE: THIS DETAIL IS BASED ON GYPSUM ASSOCIATION FILE NO. WP 3370: 1 HOUR RATED, 45 TO 49 STC



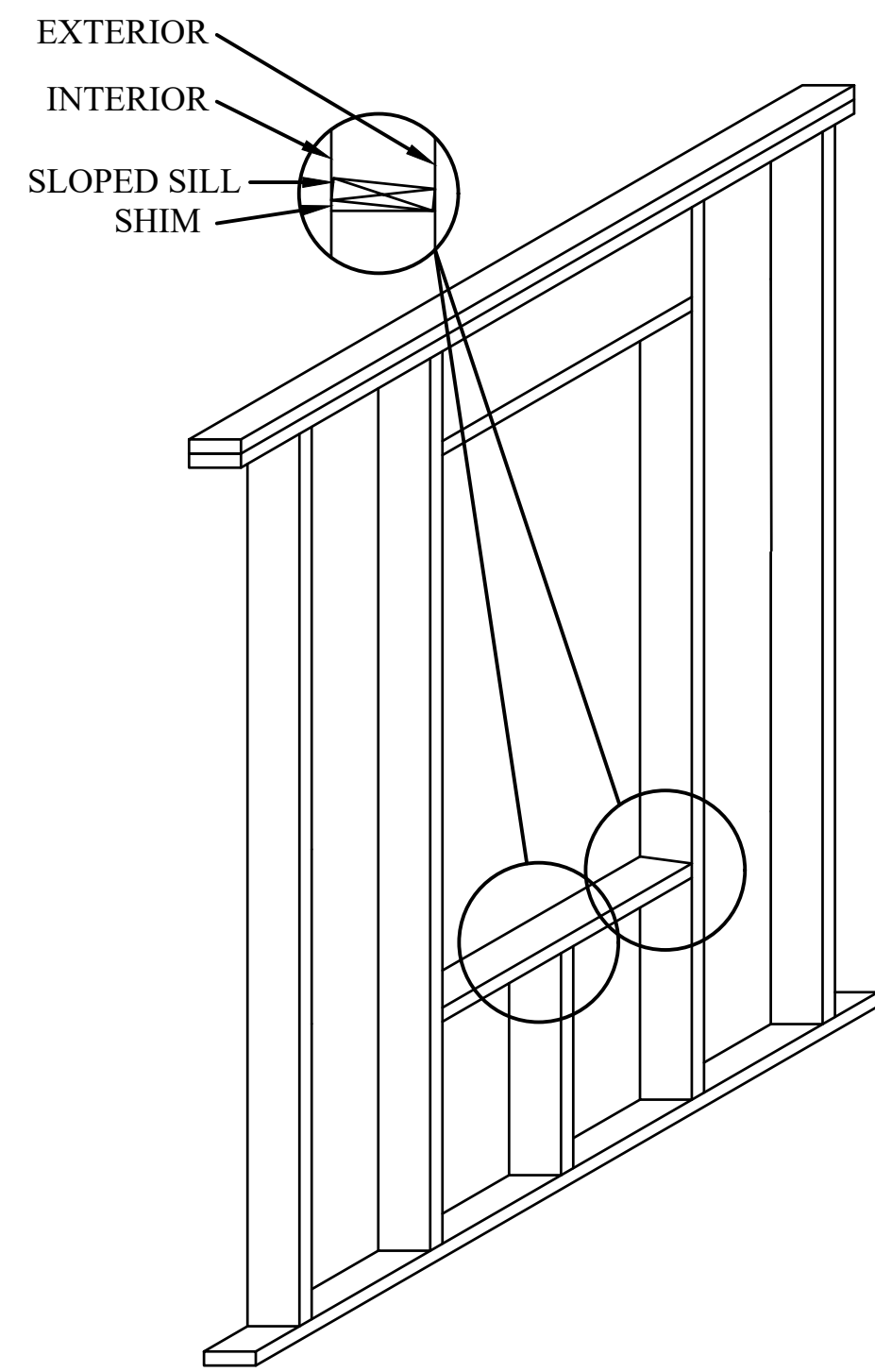
ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

ADDRESS:
2021 IRC
130 SE WYERS ST.
WHITE SALMON, WA. 98672

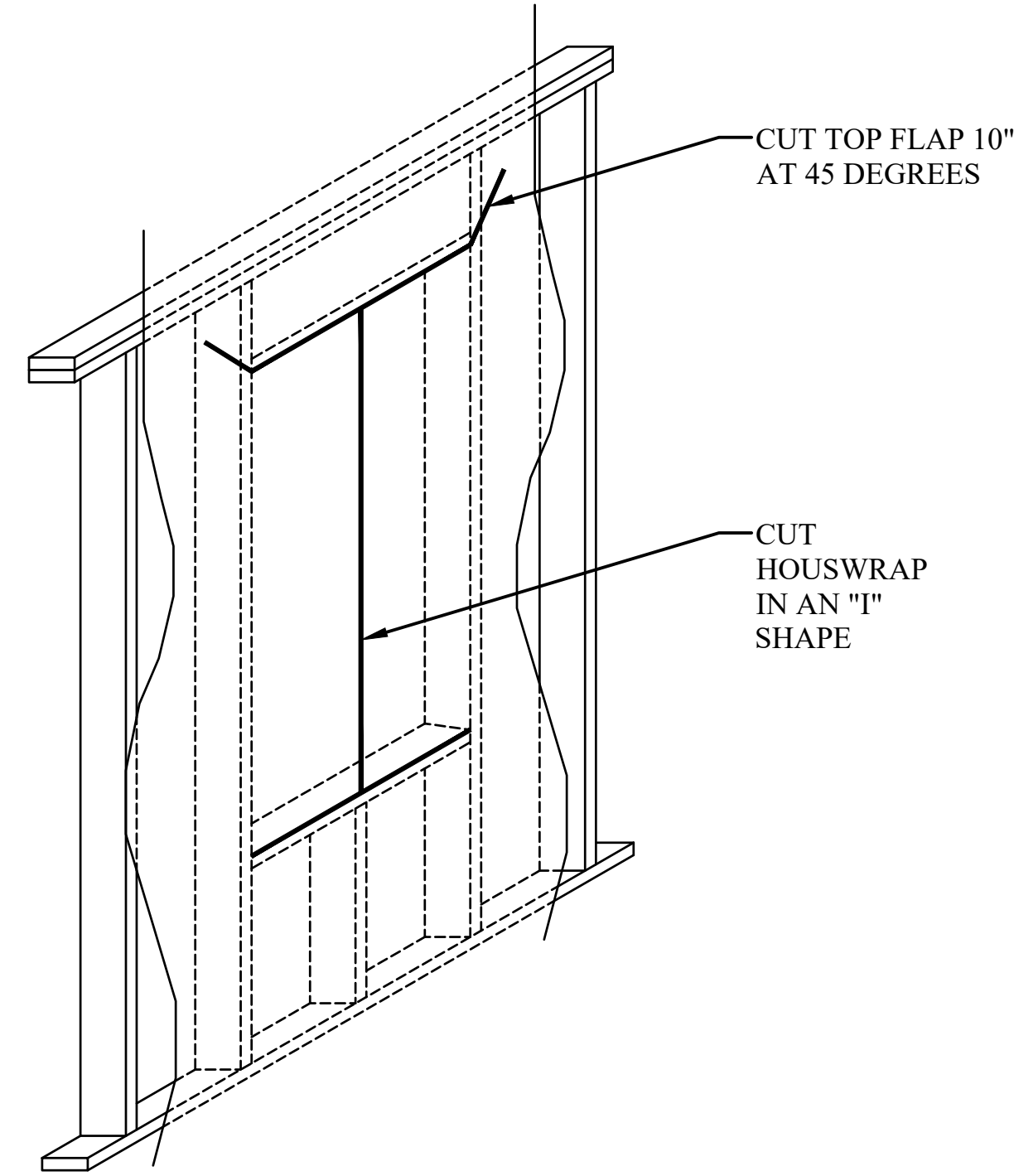
PLAN ORIENTATION:
STANDARD
GARAGE CONFIGURATION:
INTEGRAL
IHMS MODEL CODE - JOB #:
WOWA - CUSTOM
SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:
AD11

1 STORY - 1 H. FIRE WALL



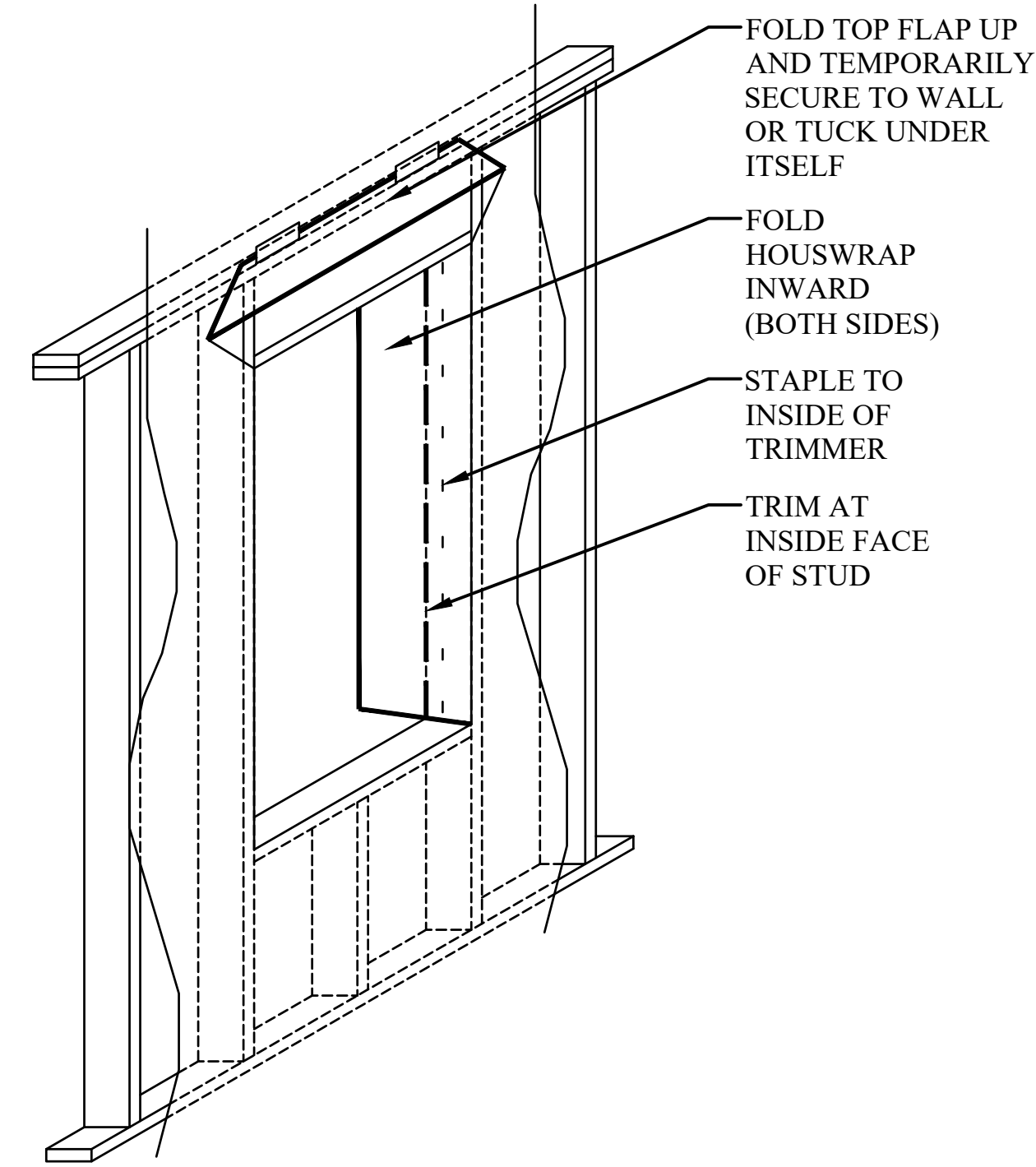
** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 1
ENSURE WINDOW FRAMING IS CORRECT SIZE, IS SQUARE AND PLUMB. ENSURE SILL IS SLOPED A MINIMUM OF 6 TO 8 DEGREES (ADD SHIMS FOR SUPPORT)



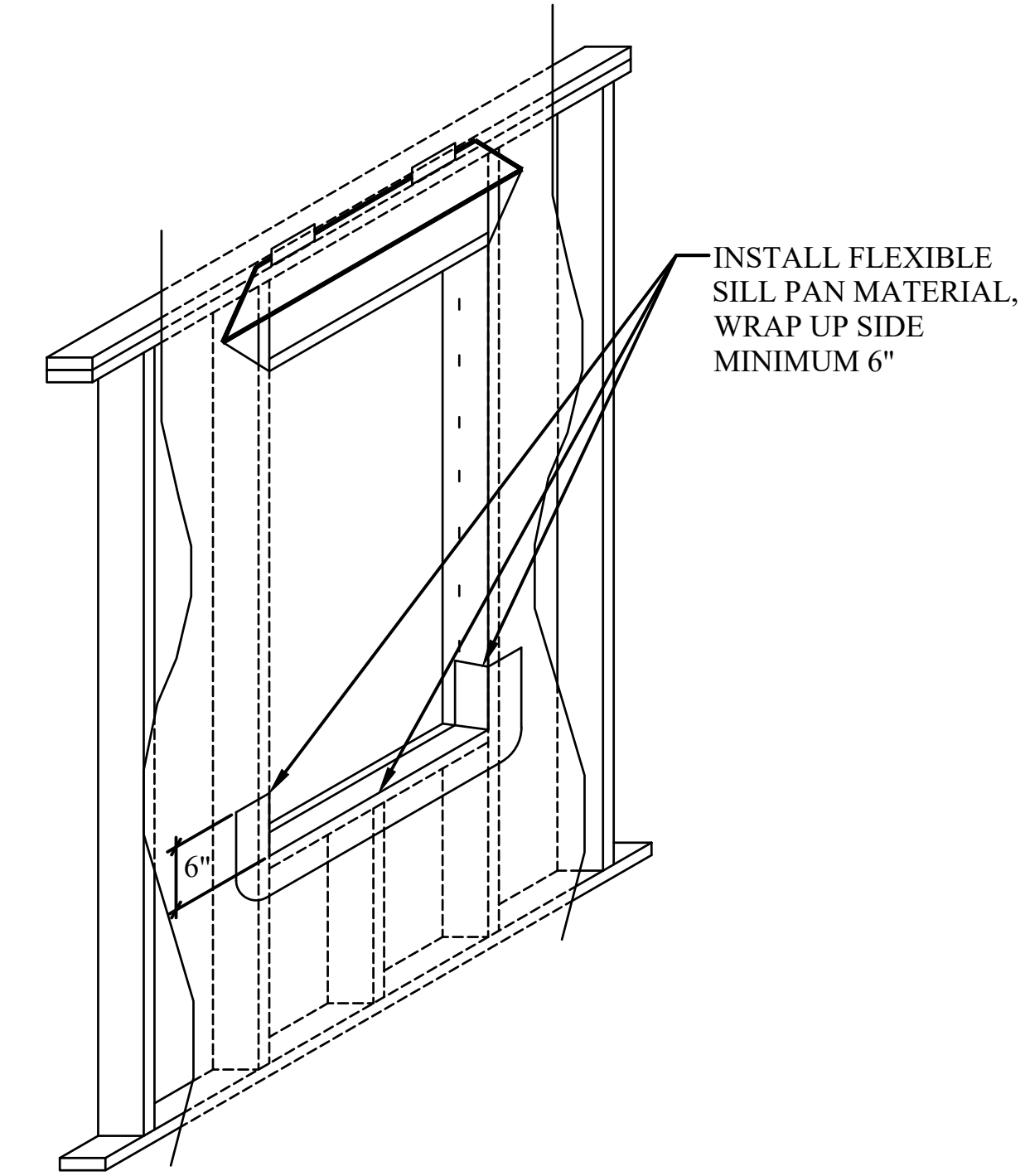
** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 2
INSTALL HOUSWRAP OVER WALLS AND OPENING. CUT HOUSWRAP IN AN "I" SHAPE AT WINDOW OPENING. CUT HOUSWRAP TOP FLAP 10" AT 45 DEGREE ANGLE.



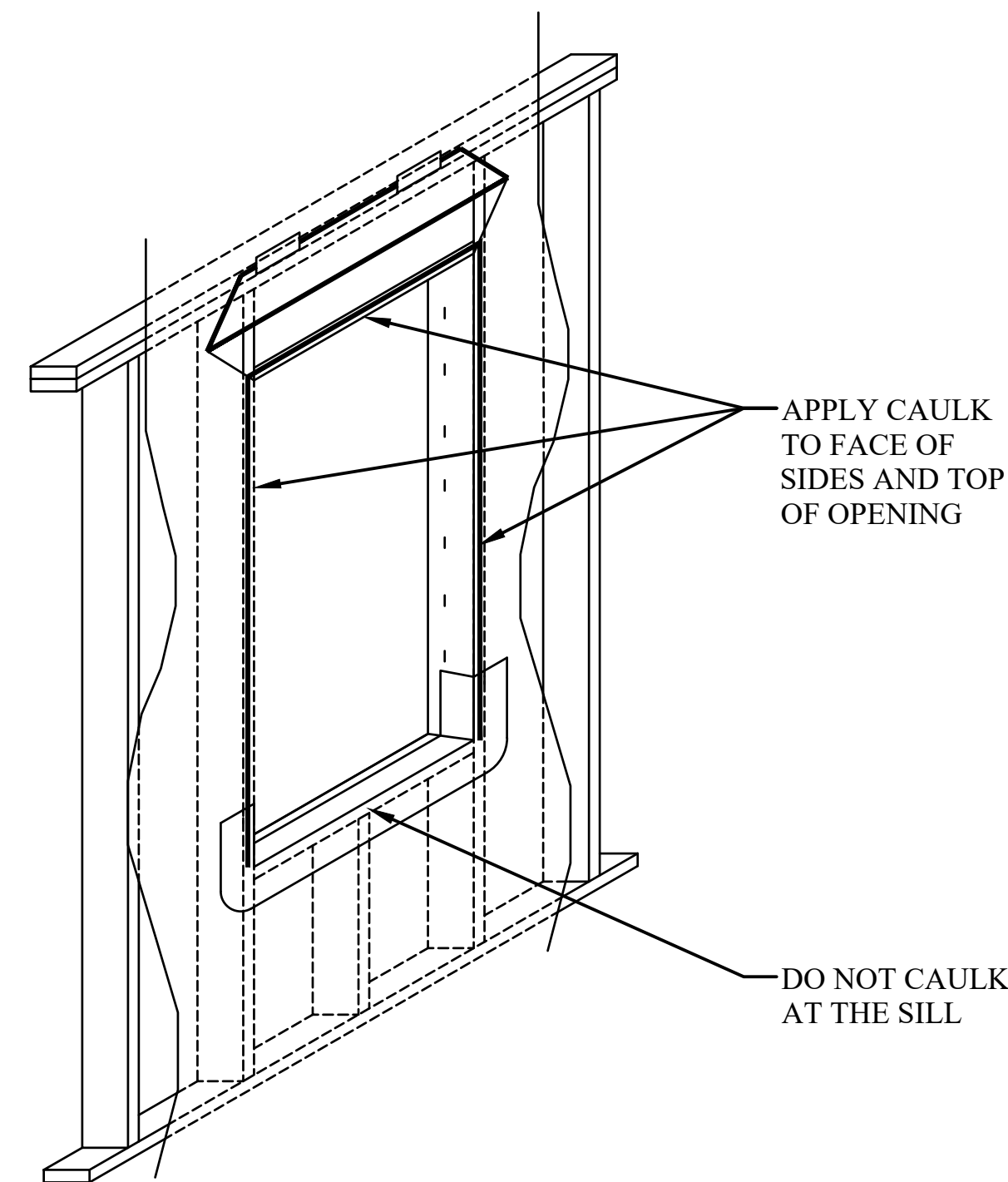
** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 3
WRAP HOUSWRAP INTO OPENING AT THE SIDES AND STAPLE TO WINDOW FRAMING (TRIM OFF EXTRA AT FACE OF STUDS). FOLD TOP FLAP UP AND TEMPORARILY SECURE IN PLACE.



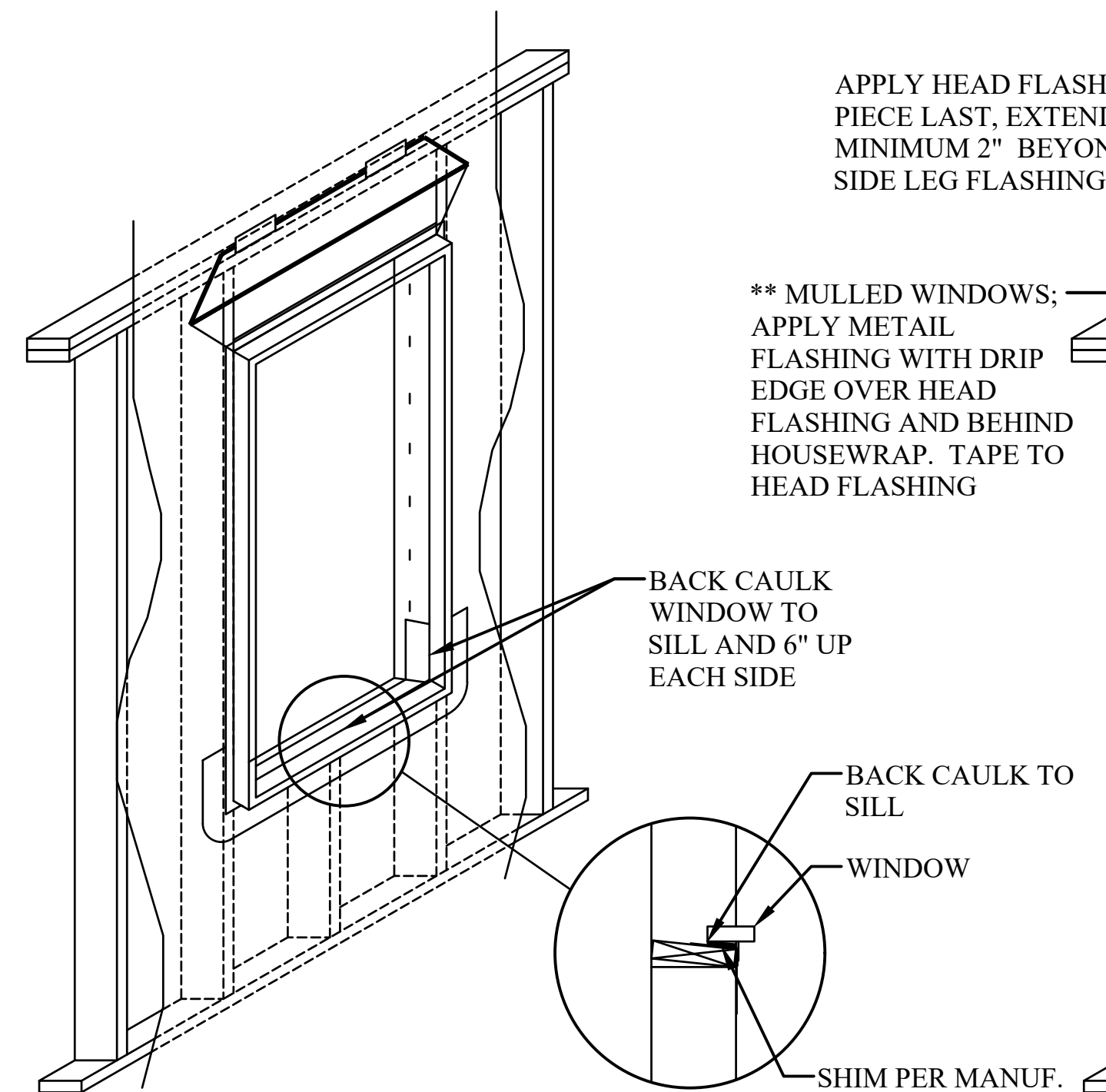
** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 4
INSTALL FLEXIBLE SILL PAN



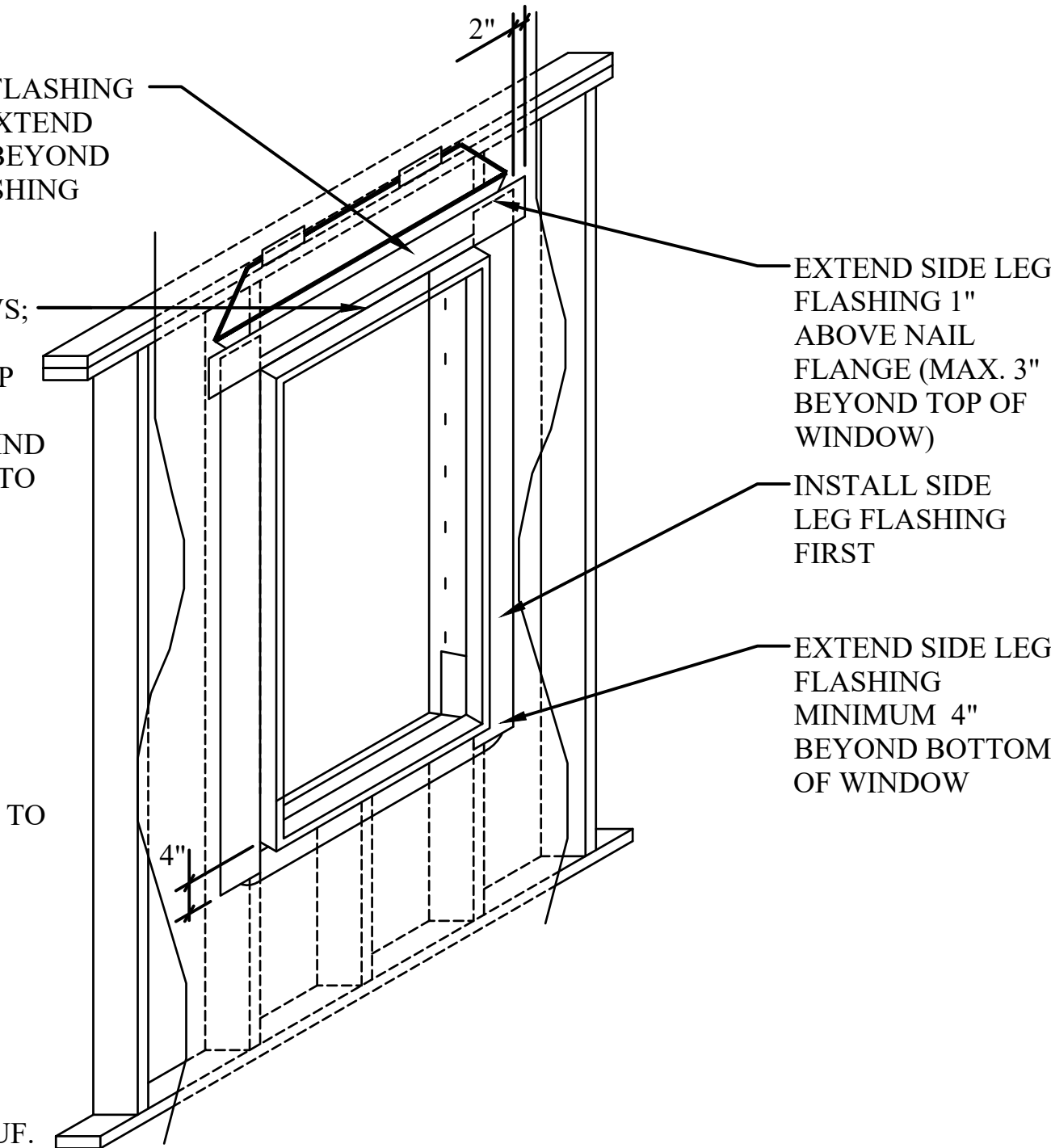
** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 5
CAULK SIDES AND TOP OF WINDOW OPENING (DO NOT CAULK THE SILL)



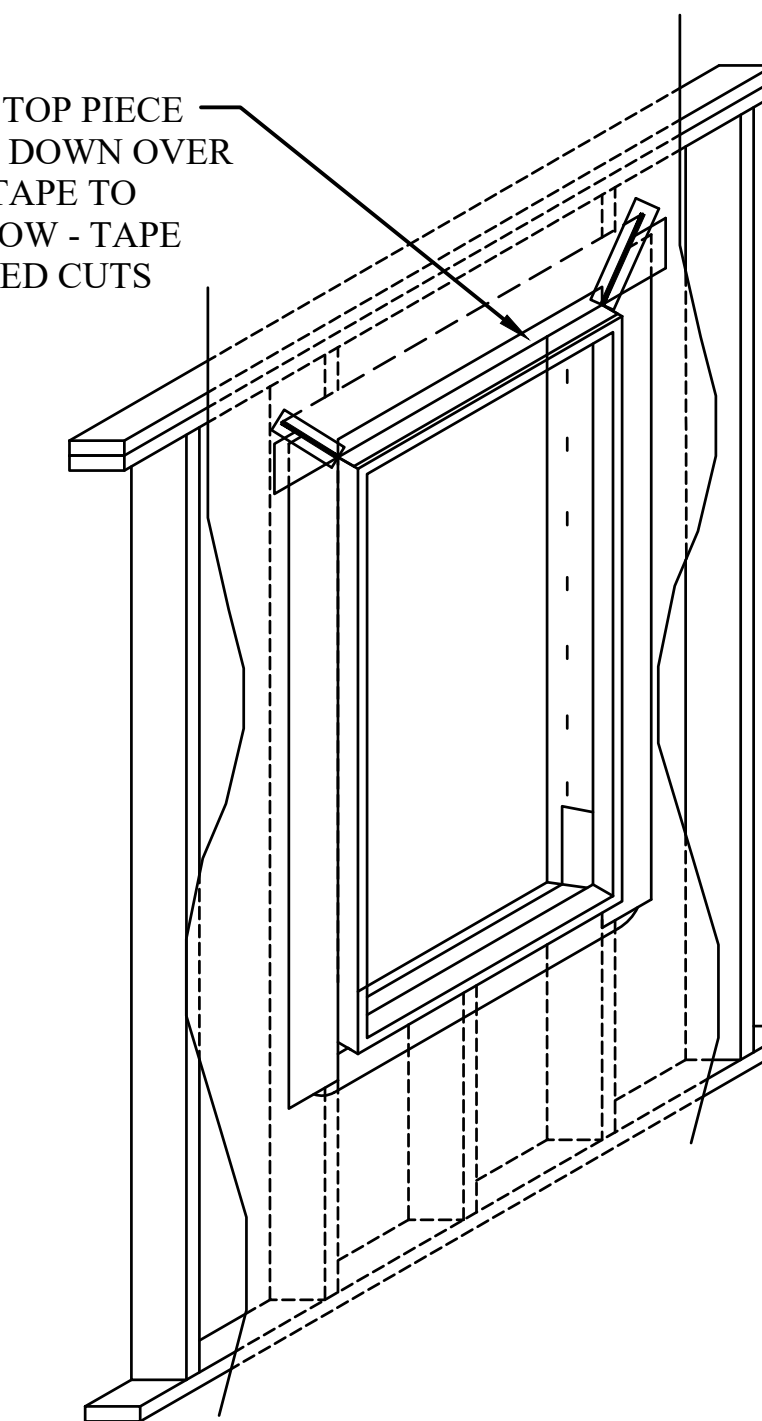
** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 6
SET WINDOW, ENSURE WINDOW IS COMPLETELY SUPPORTED AT THE BOTTOM, USE SHIMS AS NEEDED PER MANUFACTURER RECOMMENDATIONS



** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 7
INSTALL SELF ADHESIVE FLASHING TO SIDES AND TOP OF WINDOW



** WALL SHEATHING NOT SHOWN FOR CLARITY **

STEP 8
FOLD TOP PIECE OF HOUSWRAP DOWN OVER TOP OF WINDOW. TAPE TO TOP OF WINDOW



ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

2021 IRC

ADDRESS:
130 SE WYERS ST.
WHITE SALMON, WA. 98672

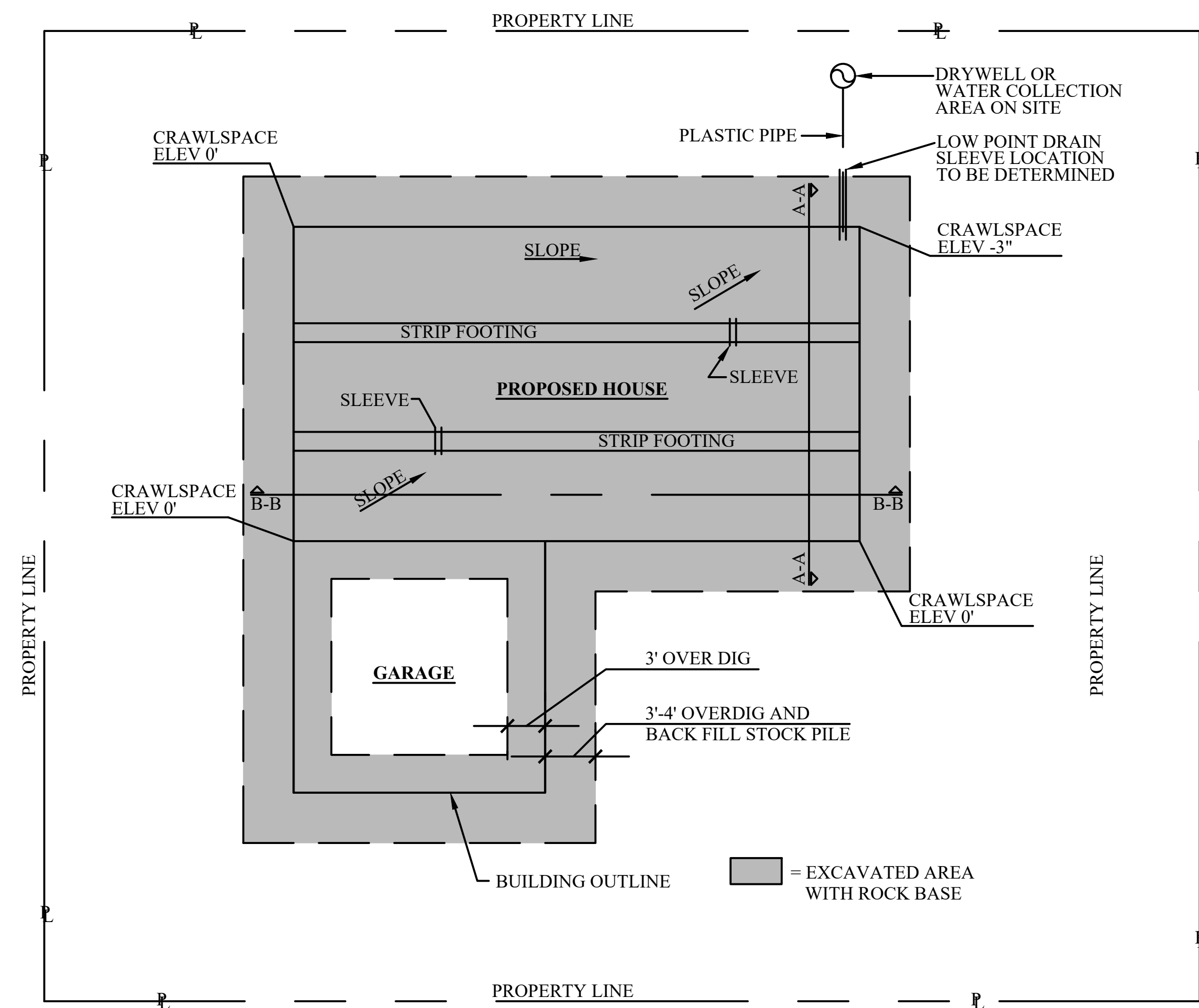
PLAN ORIENTATION:
STANDARD

GHM MODEL CODE - JOB #:
WOWA - CUSTOM

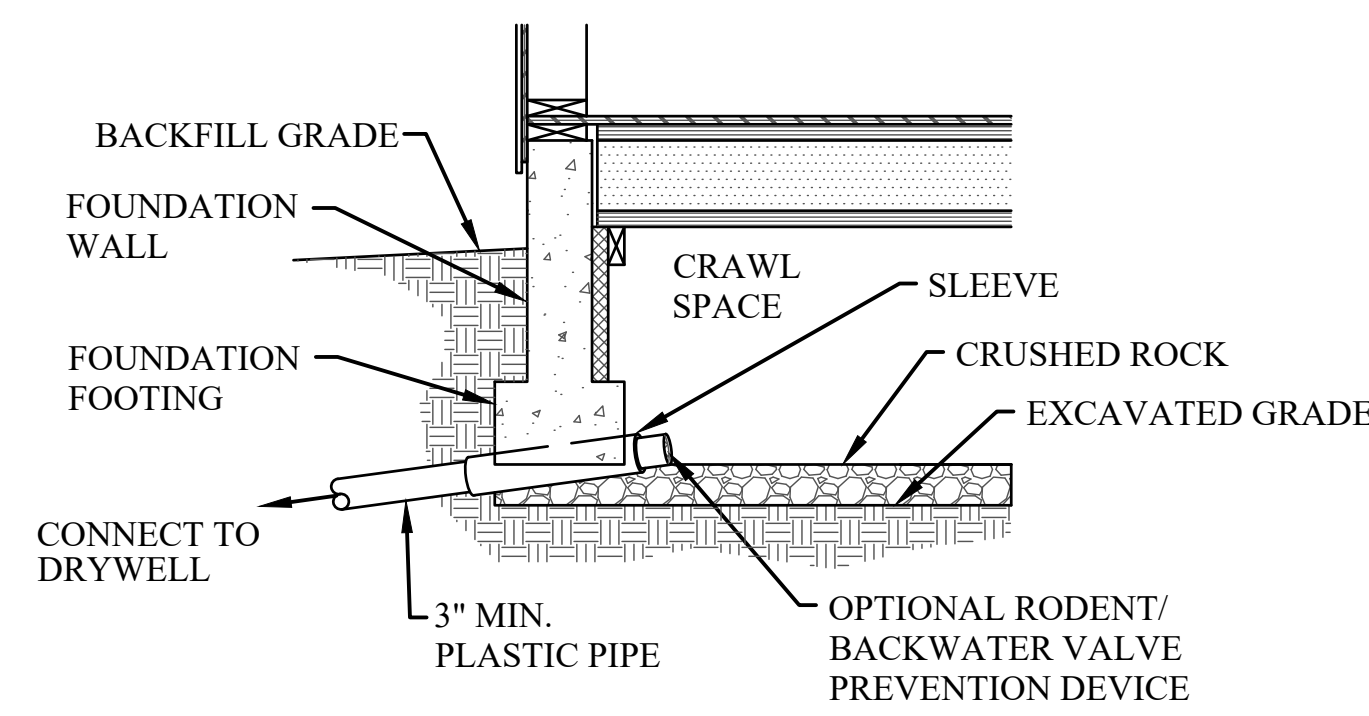
SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:
AD11

DETAILS



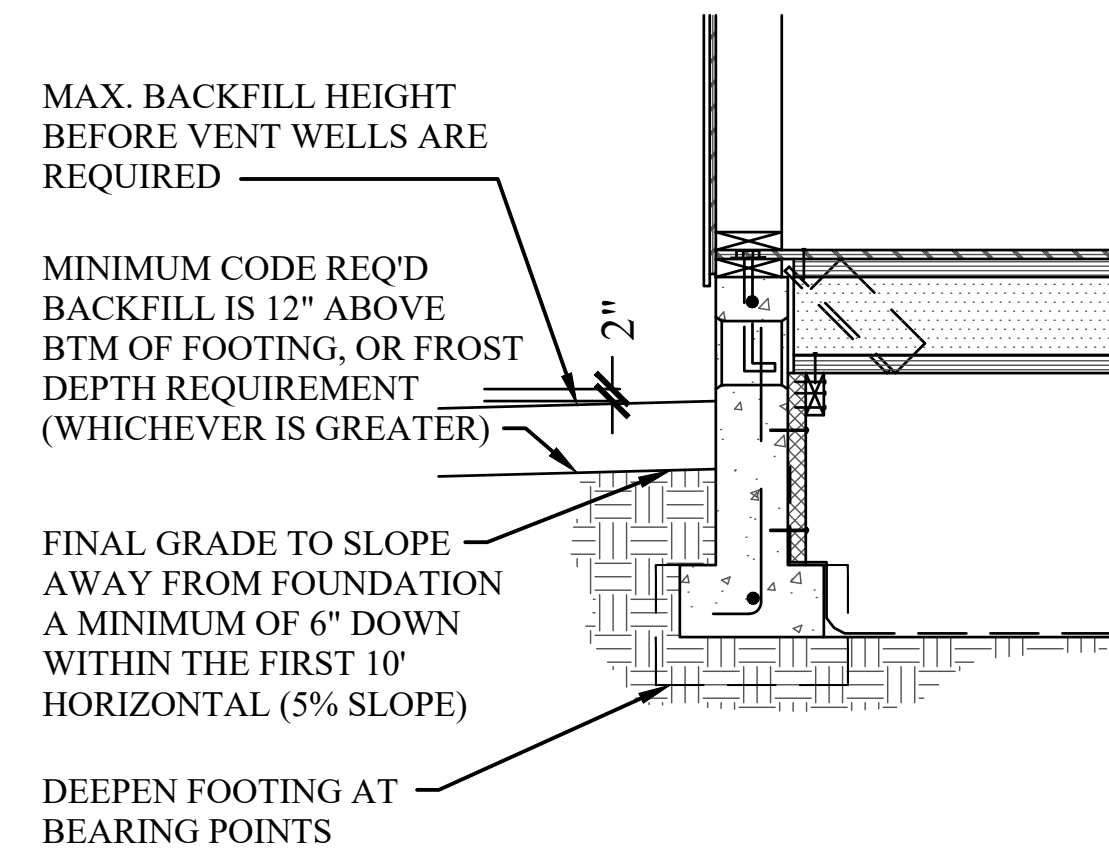
1 LOW POINT DRAIN EXAMPLE
NO SCALE



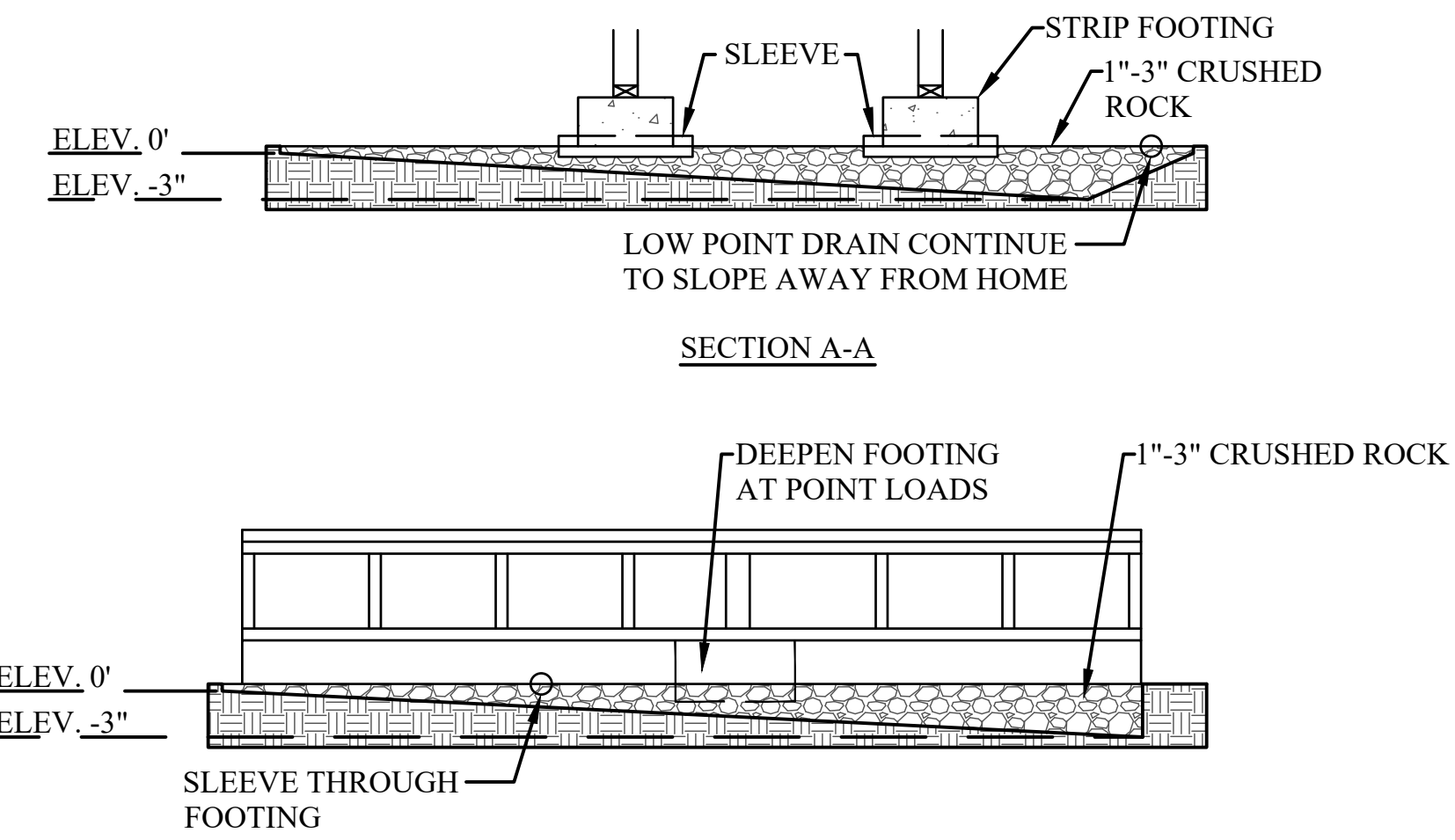
DRAIN UNDER FOOTING DETAIL

NOTE:

1. DIRECTION OF SLOPE MAY CHANGE DEPENDING ON LOT. LOW POINT DRAIN CAN BE LOCATED ANYWHERE ON EXTERIOR FOOTING
2. LOW POINT DRAIN TO EXTEND MIN. 4' PAST FURTHEST POINT OF EXCAVATED OVER DIG TO DRYWELL
3. ENTIRE BUILDING FOOTPRINT SHALL BE CAPPED WITH 1-3" ROCK
4. IN CASE BUILDING IS TO HAVE INTERIOR FOOTINGS, SLEEVES SHALL BE PLACED INTERMEDIATELY TO ALLOW THE UNINTERRUPTED FLOW OF WATER ON THE WATER COLLECTION SITE



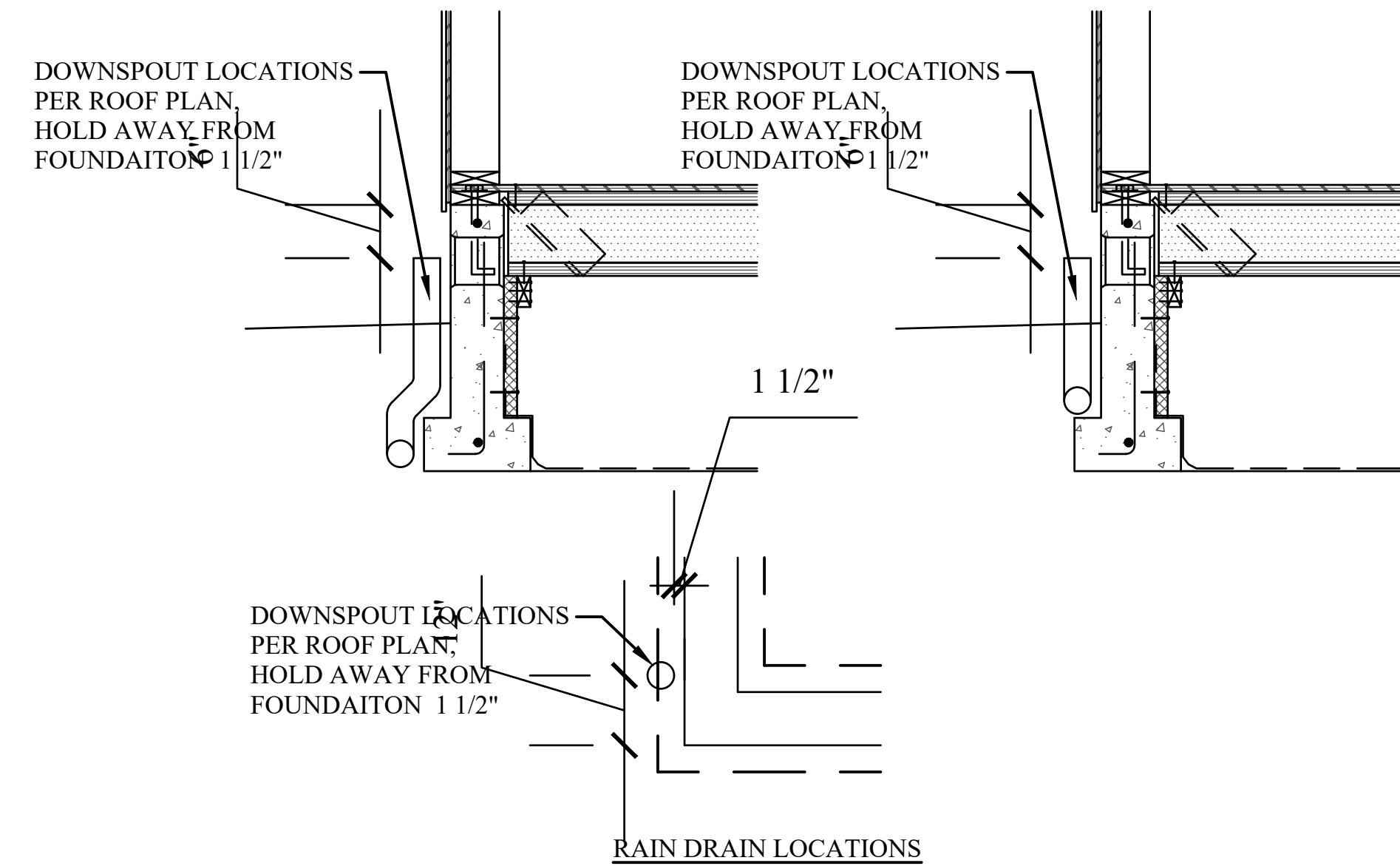
EXT. BACKFILL/GRADING REQUIREMENTS



SECTION A-A

SECTION B-B

IMPORTANT:
OWNER SHOULD CONSULT WITH THEIR EXCAVATOR AND/OR OTHER EXPERTS TO DESIGN A DRAINAGE SYSTEM APPROPRIATE TO THEIR SITE AND PROJECT



RAIN DRAIN LOCATIONS

ADAIR HOMES INC.
© COPYRIGHT 2025

ADAIR HOMES, INC
4400 NE 77TH AVE
SUITE 100
VANCOUVER, WA 98662

CHAVES CUSTOM - 366

GARAGE CONFIGURATION: INTEGRAL
PLAN ORIENTATION: STANDARD
IHMS MODEL CODE - JOB #: WOWA - CUSTOM

DETAILS

2021 IRC

ADDRESS:
130 SE WYERS ST.
WHITE SALMON, WA. 98672

SCALE: AS SHOWN
DATE: 11/12/2025
DRAFTED BY: WD
REV:

PAGE:

AD11

Location Map

130 SE Wyers Street



Legend

Roads

- City
- County
- Other Govt
- Private
- State

Parcels

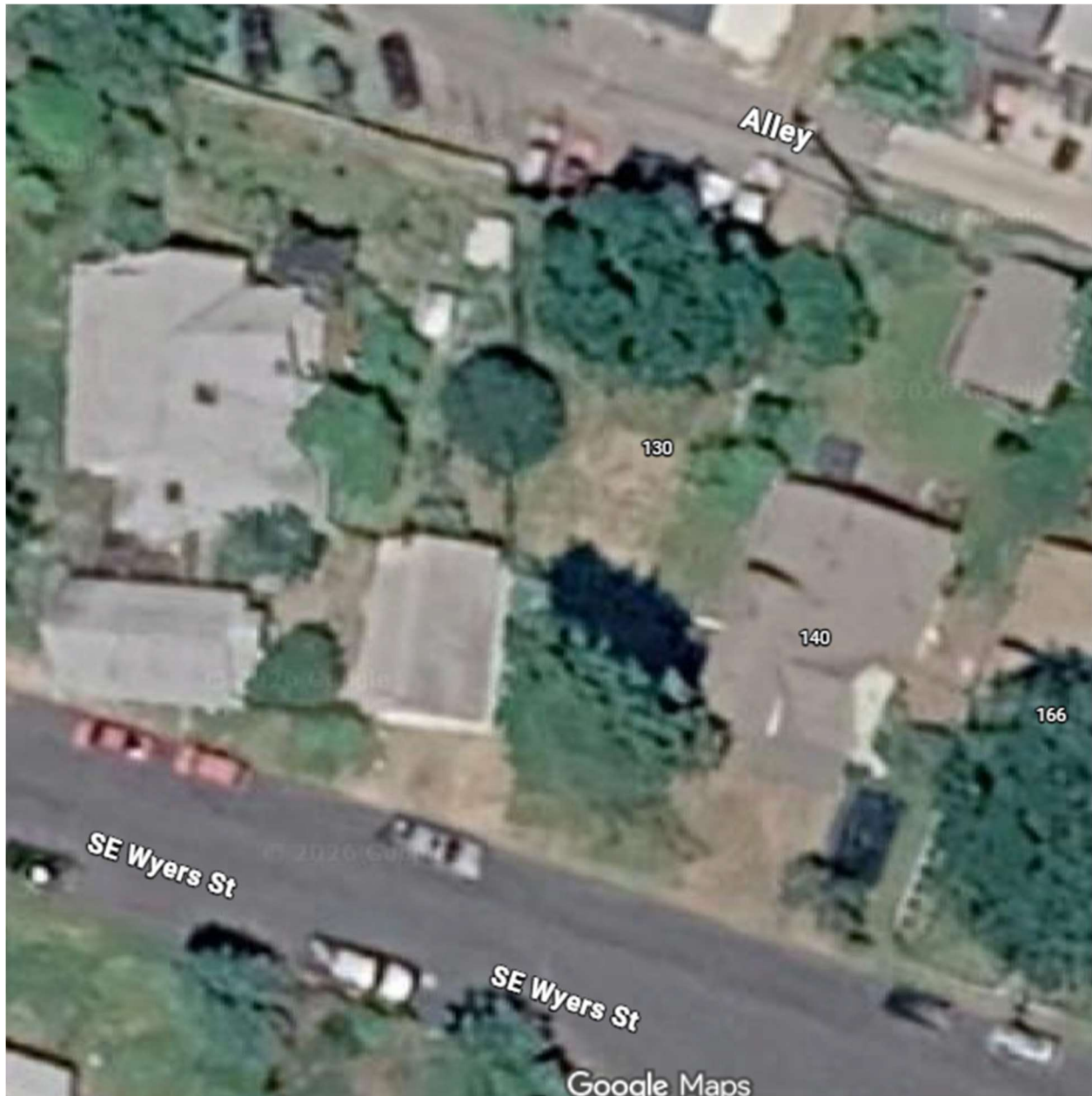


50 ft



Aerial photo

130 SE Wyers Street





CITY OF WHITE SALMON

CITY HALL

DATE: March 26, 2026

TO: Bingen / White Salmon Police Department – lisa@bwspolice.com
White Salmon Finance Director – jennifern@whitesalmonwa.gov
Fire District 3 Chief – chieflong@westklickitatfire.gov
White Salmon PW Director – christ@ci.white-salmon.wa.us
White Salmon Utility Clerk – utilityclerk@ci.white-salmon.wa.us
Klickitat County Assessor – realproperty@klickitatcounty.org
Klickitat County Treasurer – gregg@klickitatcounty.org
Klickitat County Public Utility District – aestey@klickpud.com
Klickitat County Mapping Technician – pwgis@klickitatcounty.org
Washington Department of Fish & Wildlife – amber.johnson@dfw.wa.gov
Charter Communications – msag@charter.com
NW Natural Gas – tlb@nwnatural.com

FROM: City of White Salmon Planning Department

SUBJECT: Site and Building Plan Review File: WS-SPR-2026.002
Applicant: Charissa McGinn, Adair Homes
Property Owner: Juan Chaves and Janae Papazian
Location: 130 SE Wyers, White Salmon, WA 98672
Klickitat County Parcel No: 03111972021300

The City of White Salmon is accepting public comments on a Site and Building Plan Review application submitted by Adair Homes on behalf of Juan Chaves and Janae Papazian for the property located at 130 SE Wyers, Klickitat County Parcel No. 03111972021300. The site is within a portion of the SW ¼ SW ¼ of Section 19, Township 3 North, Range 11 East, Willamette Meridian, within the city limits of White Salmon, Washington. The applicant proposes the construction of a multiplex residential structure with four units. This project is categorically exempt from SEPA determination under Washington Administrative Code 197-11-960.

Per WSMC 19.10.150(D)(8), we welcome public comments on this proposal. If you wish to provide feedback, please submit written or oral comments by 5:00 PM on Wednesday, April 8, 2026. The final decision will be made within 120 days from the date of the determination of completeness.

For questions or further information, please contact city planner Rowan Fairfield at RowanF@whitesalmonwa.gov.



State of Washington
DEPARTMENT OF FISH AND WILDLIFE
Southwest Region 5 • 5525 South 11th St Ridgefield, WA 98642
Telephone: (360) 696-6211 • Fax: (360) 906-6776

April 8, 2026

City of White Salmon
P.O. Box 2139
White Salmon, WA 98672

Dear Planners:

Thank you for the opportunity to comment on Site and Building Plan Review File: WS-SPR-2026.002. The Washington Department of Fish and Wildlife (WDFW) has reviewed this proposal and offers the following comments for your consideration.

We are primarily concerned with the loss of a 24' Oregon white oak located on the property. The proposal also does not address mitigation for the spatial and temporal loss of the large Oregon white oak.

Oregon White Oak Protection

This project calls for the removal of one large diameter Oregon white oak. Oregon white oaks are considered a priority species because they provide invaluable food and habitat for many native Washington animals, including migratory birds (rufous hummingbirds, band-tailed pigeons, chipping sparrows, and more), nuthatches, woodpeckers, raptors, squirrels, and a wide array of invertebrates, including oak-obligates. Moreover, Oregon white oaks take decades to reach maturity and can live hundreds of years. This means that the ecological functions that mature oaks provide will be lost when these individuals are removed and will not be replaced for decades even when saplings are planted for mitigation.

The proposed plan does not adequately address the temporal loss of removing an old, mature oak tree.

If avoidance is not possible then WDFW asks that the applicant create a mitigation plan to better achieve no net loss and for it to be approved by WDFW.

Sincerely,

Amber Johnson
Habitat Biologist



Rowan Fairfield <rowanf@whitesalmonwa.gov>

NW Natural response for City of White Salmon - Public Notice/Comment, Site and Building Plan Review 2026.002

Brumley, Tonya <Tonya.Brumley@nwnatural.com>

Mon, Apr 6, 2026 at 4:01 PM

To: Miryan Manjarrez-Hurtado <miryanm@ci.white-salmon.wa.us>, Rowan Fairfield <rowanf@ci.white-salmon.wa.us>, Miryan Manjarrez-Hurtado <miryanm@whitesalmonwa.gov>

Hello Rowan & Miryan-

Please let the applicant know that a gas main is under the alley road, north of this property, if interested in building with gas. There is no main gas line under SE Wyers. Please share my contact information below with the builder if more questions about natural gas are requested.

Thank you

Tonya

Tonya Brumley

NW Natural

Columbia Gorge- Community Affairs Manager

South Coast - New gas services

w: 503.610.7954 m: 541.993.8889 nwnatural.com

Facts & Analysis about our energy system: [Our Energy System - NW Natural](#)

From: Miryan Manjarrez-Hurtado <miryanm@ci.white-salmon.wa.us>

Sent: Thursday, March 26, 2026 3:08 PM

To: Rowan Fairfield <rowanf@ci.white-salmon.wa.us>; Miryan Manjarrez-Hurtado <miryanm@whitesalmonwa.gov>

Subject: [External]City of White Salmon - Public Notice/Comment, Site and Building Plan Review 2026.002

CAUTION: This email originated outside NW Natural. Please DO NOT CLICK LINKS OR OPEN ATTACHMENTS unless you recognize the sender and know the content is safe.

Good afternoon,

The City of White Salmon is currently accepting **public comments** on a Site and Building Plan Review application submitted by Adair Homes for the property located at [130 SE Wyers \(Klickitat County Parcel No. 03111972021300\)](#). The applicant proposes the construction of a four-unit multiplex residential structure. This project is categorically exempt from SEPA determination under WAC 197-11-960.

Per WSMC 19.10.150(D)(8), we welcome your feedback on this proposal. Please submit any written or oral comments by **5:00 PM on Wednesday, April 8, 2026**. A final decision will be issued within 120 days of the determination of completeness.

For questions or further information, please contact City Planner Rowan Fairfield at RowanF@whitesalmonwa.gov.

Best,

Miryan Manjarrez-Hurtado

--



• + ° ❁ ३ + ° . **Miryan Manjarrez-Hurtado** . • + ° ❁ ३ + ° .

Associate Planner

100 N Main White Salmon, WA 98672

(509) 493-1133 ext. 209 | www.whitesalmonwa.gov

Disclaimer: The Building/Planning Department strives to give the best customer service possible and to respond to questions as accurately as possible based on the information provided. However, answers given at the counter and before application are not binding, staff cannot waive any provisions of Code or state law, and the information as may be provided is not a substitute for formal Final Action, which may only occur in response to a complete application to the Building/Planning Department. Those relying on verbal input or preliminary written feedback do so at their own risk. Fees and timelines are subject to change. Zoning, Land Division, and other White Salmon Municipal Code sections are subject to change.

KLICKITAT COUNTY
PUBLIC WORKS DEPARTMENT



115 WEST COURT STREET, MS 303, GOLDENDALE, WASHINGTON 98620 • FAX 509 773-5713 • VOICE 509 773-4616
JEFF HUNTER – PUBLIC WORKS DIRECTOR

Date: April 7, 2026

To: City of White Salmon Planning Department

From: Nathen Erickson, Klickitat County Public Works 

Re: WS-SPR-2026.002; Chaves & Papazian Multiplex (Adair Homes)

Public Works has reviewed the proposed multiplex and has the following comments:

- Public Works has reviewed the proposed site/building plan. Since this project is taking place entirely within City limits, on City of White Salmon roads, and is not impacting any County roads and/or intersections at this time, Public Works do not have any comments at this time.

Thank you for the opportunity to provide input regarding the proposed development at 130 SE Wyers Street.

I am the owner of the neighboring property at 140 SE Wyers Street, where my family has lived since 2011. We chose White Salmon to raise our children and to be part of the White Salmon community. Over the years, I have remained actively involved locally, including serving six years on the Planning Commission and as a board member of the White Salmon Valley Education Foundation. I believe community participation is essential to preserving the character and long-term well-being of our city.

During my time on the Planning Commission, I participated in updates to the Comprehensive Plan and reviewed numerous development proposals. One principle that consistently guided my decision-making was the importance of precedent. When you approve a plan, you are not just approving that plan; you are approving every other plan like it that gets submitted. Each approval contributes to a pattern that shapes future development, and it is critical that those decisions align with both the intent of the code and the vision of the Comprehensive Plan.

Professionally, I have worked as a real estate broker in the Gorge for over 15 years. In that time, I have observed significant increases in housing prices, particularly following the rise of remote work during COVID. While I understand the City's efforts to address affordability through increased density, I do not believe that density will resolve affordability challenges, nor do I believe it reflects the preferences of many long-term residents. White Salmon will always be a highly desirable place to live, and demand will always outpace supply, which in simple economic rules continue to make White Salmon a very expensive place to own or rent a home.

With respect to the proposed development at 130 SE Wyers Street, I have several concerns.

First, the lot is non-conforming, measuring approximately 27.6 feet in width at the street. This constraint is substantial and should be carefully considered in evaluating the appropriateness of the proposal. Over the years, I personally explored purchasing this lot but ultimately determined that its size and configuration limited its potential uses.

The current proposal is set to maximize density on a constrained parcel in a manner that is inconsistent with both the lot's physical limitations and the surrounding neighborhood. In practical terms, the proposal functions similarly to two duplexes on a non-conforming lot. Approval of this type of development would set a meaningful precedent for future applications, potentially encouraging similar high-density projects on substandard lots.

When the Comprehensive Plan was developed, there was broad agreement on the importance of maintaining White Salmon's small-town feel. In my view, this proposal does not align with that objective and introduces a level of density disproportionate to the site's scale. This level of density isn't even seen in metropolitan areas, let alone anywhere in the gorge.

Additionally, I have specific questions regarding compliance with City ordinances:

- **Front Yard Setback:** The minimum required depth is 12 feet. The proposal does not appear to provide a functional front yard. Are parking spaces being counted toward this requirement?
- **Rear Yard Setback:** The minimum required depth is 10 feet. This area also appears to be occupied by parking. Can parking areas be considered compliant yard space, particularly when Units A and B are primary structures rather than accessory uses?
- **Lot Coverage:** The maximum allowable lot coverage is 75%. The proposal does not clearly demonstrate compliance with this standard. It is also unclear whether parking areas are included in the lot coverage calculation.
- **Lot Width:** Given the non-conforming width of approximately 27 feet, how is this being addressed within the approval framework?
- **Future sidewalk:** I know white salmon is set on having sidewalks throughout the city. This doesn't appear to be included.

Finally, I have had the cedar tree on the property evaluated by an arborist, and I was not advised that removal was necessary. The tree's lean appears to be a natural response to prevailing wind conditions.

In closing, I respectfully ask that the City carefully consider not only what the code may allow, but how it is being applied in this instance, and whether the proposal is consistent with the intent of the Comprehensive Plan and the character of the surrounding neighborhood.

Thank you for your time and consideration.

Ross Henry & Brynion Berkey



Rowan Fairfield <rowanf@whitesalmonwa.gov>

130 SE Wyers Street

Donna Smollen Rockwell <donnasmollen@gmail.com>
To: "rowanf@whitesalmonwa.gov" <rowanf@whitesalmonwa.gov>

Tue, Apr 7, 2026 at 4:52 PM

I would like to comment concerning the 4-plex units proposed on Wyers Street in White Salmon. After reviewing the site map which I received from the City, and doing a physical inspection of the lot, I feel that the density of the units on a very small lot is not in character with the surrounding neighborhood. I don't object to two units but I feel four is excessive for the square footage of the lot.

Sincerely
Donna Rockwell



Rowan Fairfield <rowanf@whitesalmonwa.gov>

Neighbor Comments: 130 SE WYERS ST, White Salmon, WA 98672

sean harrod <seanharrod@yahoo.com>
To: RowanF@whitesalmonwa.gov

Wed, Apr 8, 2026 at 9:11 AM

To whom it may concern,

We've lived in and owned 127 SE Wyers St. since 2005 and are very surprised to find out that the oddly shaped lot across from us is now to become a 4 family complex.

We have some concerns about this and are hopeful that this plan will be summarily rejected.

#1 Esthetic:

Our house was built in ~1905 by the Wyers family. The two identical houses across the street were built for his sons. These houses were built identically so that neither of the 2 son's would feel that the other's house was superior. Then, we have Shirley DeArmond's house (although I believe her son Jonathon owns it) - its carriage house and barn are from a similar vintage and as historically a beautiful house as any in White Salmon.

We've been looking at this oddly shaped piece of property for 20+ years now. It's been a challenge to imagine a single family dwelling as an attractive match to the neighborhood. Looking at the layout for the 4 plex is an assault to the imagination and it's not at all suitable to the neighboring houses on the east, west or south side.

#2 Parking:

My wife and I have to remind ourselves that it's a privilege to live in a place that so many people find desirable. The renaissance that the downtown core has gone through, with all the various restaurants and shops, has been remarkable. However, the knock-on effect is that our neighborhood street stands as the overflow parking for patrons of the downtown business. Adding a 4 unit dwelling implies as many as 8 more vehicles to contend with and perhaps more.

#3 Why?:

As we understand it the people applying for this build plan are not residents of the gorge. They're not raising their kids in our schools, paying tolls on our bridge or paying taxes towards our community services. Simply put, they are not contributing anything to the welfare of our community. Knowing this and looking at their plan makes me extremely skeptical of their motive. It seems overtly speculative and therefore highly cynical and callous. I can only assume that this group of people have carefully examined White Salmon's building codes with an eye of taking advantage of what they see as an opportunity in service of their own ends. I'm not read up on the nuances of White Salmon's new building codes but I understand that this lot should (or could?) be zoned R2. There are 4 dwellings on this property. It seems like a blatant insincere misdirect to label the "unit 1, unit 2" and then "unit A and unit B." Unit's A & B should (or could) be labeled unit 3 and unit 4.

#4 Mistake(?):

If the White Salmon council or planning committee or whomever makes a mistake by affirming this plan - this mistake can't be reversed. If these people are already pushing the boundaries of our building codes claiming that it's in service of our desire for more affordable higher density housing and then don't deliver on it - there won't be any recourse. These people are profit motivated. Maybe they actually intend to rent 1, 2, 3 or all of the units as short term rentals. The build won't match the neighborhood esthetic but if it also doesn't begin to address the issues that the White Salmon building codes are in service of, then what would have been the point? White Salmon, our community and our neighborhood will have to live with the mistake - there won't be any going back.

Finally, we're hoping that some of our neighbors will provide the White Salmon decision makers with more technical or legal reasons for why this proposal should be opposed. We hope that our strong feelings about this proposal will also stand as reasonable common sense/fairness-based reasons for this proposal to be resoundingly rejected.

Thanks,

Sean & Lori Harrod
127 SE Wyers St / 222 SE Second Ave
541 490-7116

Date: April 7, 2026
To: City of White Salmon
From: Jonathan DeArmond, Property owner of 181 S 1st Ave
Subject: Comments on Site and Building Plan for 130 SE Wyers St

Thank you for providing me the opportunity to comment on the application submitted by Adair Homes for the property located at 130 SE Wyers St in White Salmon. I have lived in and owned property in the beautiful White Salmon area since 1998 and while I support efforts to alleviate the housing affordability crisis, there are a number of shared concerns I have with this proposal and express them not only with adjacent neighbors in mind but all residents feeling the squeeze of higher density housing if further precedent is set.

The proposal for 130 SE Wyers uniquely aims to maximize livable square footage for the lot size at exact tolerances for setback, leaving no space for a front, side or rear yard, which is out of character for the neighborhood. Additionally, the complete removal of old-growth trees and choice for separate units too small for families will stand in contrast to the surrounding homes. This not only will alter the community appearance, but change the culture and encourage similar development of non-family friendly structures at the expense of our neighborhoods and families seeking affordable housing.

While I believe there are positive, win-win alternatives to the proposal, these are the comments and concerns I have with the proposal as it currently stands:

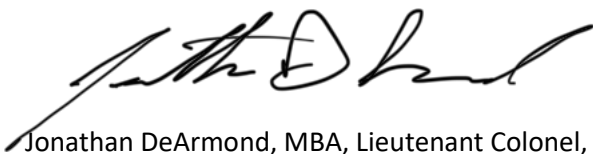
- *Vacation and Short-Term Rental (STR) Use:* The units appear to be optimized for single adults or a couple, and are to fit exactly within the current White Salmon minimum requirements for STR. Due to the already narrow side setback of 5 feet and removal of trees, the adjacent properties are exposed to the detrimental effects of living in close proximity to STRs (i.e. noise and disturbances of high turnover guests and partying, safety concerns, theft, waste and trash, loss of privacy etc.). No assurances of non-STR use can be guaranteed as the structures themselves lend to that use; given future ownership changes and amendments to STR ordinance.
- *High Density/Affordability:* I understand recent changes to the R2 zoning rules are in the spirit of creating more affordable housing; however, these four small units may accomplish the opposite, especially impacting lower income families, by driving up lot prices due to the now increased profit potential of higher density. Is there a study specific to White Salmon or Columbia Gorge area that correlates higher density lot development to lower housing costs?
- *Affordability:* The choice for this type of development also does not increase the supply of starter family homes which will decrease affordability and buying opportunities for families.
- *Removal of All Old-Growth Trees:* In addition to remaining consistent with the neighborhood appearance, established trees reduce noise, heat and light pollution while providing habitat, wind shelter, shade and erosion protection. Removing the old-growth cedar and oak trees will negatively impact the community in each of these categories. There are numerous studies supporting the benefits of trees in urban environments and the proposal does not provide options to preserve these existing benefits.

- *City Ordinances:*
 - The minimum front yard depth is 12 feet; 8 feet with encroaching transitional structures. The current proposal does not contain space for a front yard.
 - The minimum rear yard required is 10 feet. The rear lot line is on an alley; however, units A and B are not accessory structures, they are the largest and primary units.
 - The maximum percentage of lot coverage is 75%. The current proposal does not show how compliance with this provision is met.
 - The lot width is 27 feet on the South side which is non-conforming.
 - 6 parking spaces are required for this “multifamily” project to accommodate the two additional small family units sized at 504 sq ft each. On the basis of common sense, I question the legitimacy of the multifamily claim in the proposal and tradeoff of felling an old-growth cedar tree to provide a 6th parking spot. If a 504 sq ft unit cannot honestly house a family, the units should be renamed to accurately reflect what they are and evaluated to the R-2 Two-Family Residential criteria.

There is a balance between the interests of the property developer and preservation of the neighborhood and city culture. The current proposal is skewed towards profits of the developer with little consideration to the community as a whole, neighbors and families seeking affordable housing. It is my understanding the buyer/developer is not local, further indicating the lack of community empathy, decent civic intention and income that would not remain in local circulation. Additionally, the city notice for public comment is the first communication I received regarding plans for the lot; no communication or outreach from the buyer/developer. I respectfully request this proposal be re-evaluated to comply with city ordinances and with the responsible oversight of local government to safeguard our community and the people who actually live here.

I trust in local statutes and leadership to act in fairness; however, I/we are prepared to seek legal counsel if required to protect our interests in the neighborhood. I am available for contact at dearmond@gmail.com.

Thank you for your thoughtfulness and consideration,



Jonathan DeArmond, MBA, Lieutenant Colonel, U.S. Air Force (Ret)
Property owner at 181 S 1st Ave, White Salmon, WA