

White Salmon Planning Commission Meeting
A G E N D A
October 27, 2021 – 5:30 PM
Via Zoom Teleconference (No in-person session)



Meeting ID: 846 1814 6936 Passcode: 012096
Call-in Numbers:
346 248 7799 669 900 6833 253 215 8782
312 626 6799 929 205 6099 301 715 8592

We ask that the audience call-in instead of videoing in or turn off your camera, so the video does not show during the meeting to prevent disruption. Thank you.

Call to Order/Roll Call

Approval of Minutes

- [1.](#) Meeting Minutes - September 22, 2021

Action Items

- [2.](#) 119 W Jewett Blvd, River Watch Hotel Design Review

Public Hearing

- [3.](#) Amendments to WSMC 5.02 Short-term Rental
Written comments may be submitted to erikac@ci.white-salmon.wa.us by 5:00 p.m. on Wednesday, October 27, 2021 noting in the subject line "Public Hearing – Proposed Land Use Codes – Short-term Rentals." All written comments will be read during the public hearing. In addition, any individual who wishes to testify via the teleconference will be allowed to do so. You must register with the city (by contacting Erika Castro Guzman at erikac@ci.white-salmon.wa.us by 5:00 p.m. on Wednesday, October 27) that you desire to testify via teleconference and provide your name and/or phone number as it will appear during the Zoom teleconference. A copy of the proposed codes is available below under "Supporting Documents" or by calling Erika Castro Guzman at 509-493-1133 #209.

Adjournment

File Attachments for Item:

1. Meeting Minutes - September 22, 2021



CITY OF WHITE SALMON
Planning Commission Meeting - Wednesday, September 22, 2021

COMMISSION AND ADMINISTRATIVE PERSONNEL PRESENT

Commission Members:

Greg Hohensee, Chairman
Ross Henry
Seth Gilchrist
Tom Stevenson

Staff:

Brendan Conboy, City Land-Use Planner
Erika Castro Guzman, City Associate Planner

Excused:

Michael Morneault

CALL TO ORDER/ ROLL CALL

Chairman Greg Hohensee called the meeting to order at 5:32 p.m. Two audience members attended by teleconference. A quorum of planning commissioner members was present.

APPROVAL OF MINUTES

1. Approval of Meeting Minutes – August 25, 2021

Moved by Tom Stevenson. Seconded by Seth Gilchrist.

Motion to approve minutes of August 25, 2021, as amended. CARRIED 4–0.

Hohensee – Aye, Henry – Aye, Gilchrist – Aye, Stevenson – Aye.

DISCUSSION ITEMS

2. Workshop

a. Short-term Rentals

Land-use Planner, Brendan Conboy, presented to the Planning Commission to discuss staff's proposed alternatives and regulatory tools for short-term rentals (STRs) to guide staff to their desired outcome.

The Planning Commission discussed if short-term rentals should be a conditional use or an outright use by zone/overlay. Land-use Planner Conboy commented this determines the level of review the City does for an STR. Commissioner Gilchrist stated that STRs may be outright use around the commercial zone/overlay and be had with a conditional use permit for the remaining city limits. Commissioner Henry said that STRs should be outright use with clear guidelines, while Commissioner Stevenson opposed by stating that STRs should be a conditional use permit in all zones/overlays. Chairman Hohensee stated that a well-defined administrative procedure may allow STRs as an outright use and supports Commissioner Gilchrist's comment if there were to be an overlay a CUP could work.

Commissioners discussed defining an overlay to further define how STRs would be best regulated within zoning districts or an overlay. Commissioner Stevenson believes that STRs are a commercial use/activity; therefore, he favors an overlay that radiates out from the commercial area and a reasonable walking area. Land-use Planner Conboy identified a reasonable walking area to be a 15-minute walk from downtown. Commissioner

Gilchrist stated that he thinks that an overlay would give the most flexibility in regulating STRs. Chairman Hohensee said that he believes an overlay causes economic disparity and favors regulating STRs by zoning districts. Commissioner Henry shared Figure 1 to identify an overlay of where he thinks STRs are walkable to downtown that could be an outright use, and STRs outside this area would

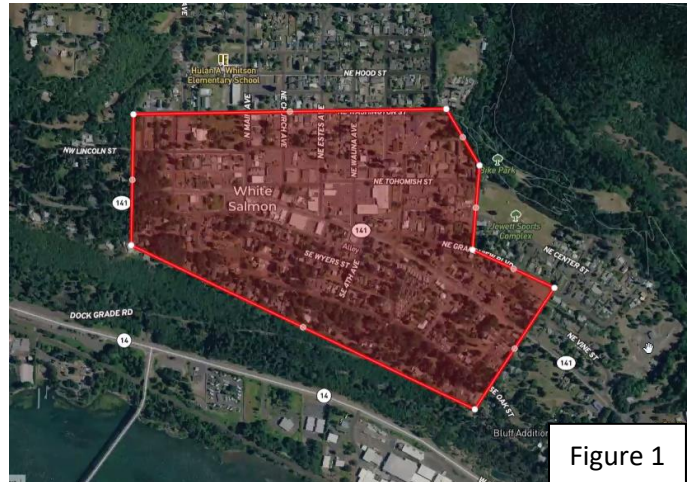


Figure 1

require a conditional use permit. With the review of Figure 1, Chairman Hohensee stated that if this were to be the proposed overlay, we might as well treat all STRs via conditional use permit; he believes everything is walkable. Commissioner Gilchrist stated that he would not like to see green space/parks within the boundary to prevent confusion moving forwards. Commissioner Stevenson thinks STR should only be in the commercial zone but with an administrative review at all levels. Commissioner Henry favors restrictive overlays that radiate around the commercial area.

Three Commissioners support the overlay with a basic permitting process inside a defined overlay and a conditional use permit process outside said defined overlay. Commissioner Hohensee strongly disagrees with regulating STRs with an overlay until further discussion of the STR criteria. He further stated that if the commercial area would be made an STR outright, further discussion of a limiting percentage and location of the STR is required.

The Planning Commission, in general, has a desire for a straightforward STR commercial zoning; there is concern about more stringent criteria in the walkable area (the walkable neighborhood is up for discussion). Therefore the Commission generally agrees that a tiered overlay may meet everyone's desires for the new STR policy.

Commissioners discussed if Accessory Dwelling Units (ADUs) should be used for short-term rentals. Land-use Planner Conboy stated that historically, ADUs were used for an extended family but are now used as an infill tool and have had positive effects on neighborhoods, though that could be compromised by allowing them to be STR. Commissioner Henry stated he was unsure; he thinks ADUs are similar to hotels and, at the same time, can supply rentals to local employees. Commissioner Gilchrist stated he was also unsure; he thinks some ADUs should be considered for STRs as smaller ADUs may not be suitable as a long-term rental. He favors ADUs becoming STRs with a conditional use process. Commissioner Stevenson stated he would like to see a ban for

short-term rentals in ADUs. Chairman Hohensee said he would like to limit the total number of STRs allowed, not restrict the type of structure.

Commissioners discussed if there should be a limit to the total number of nights for short-term rentals. Commissioner Gilchrist stated that the limitation should apply outside the commercial zone overlay, Commissioner Henry agreed. Commissioner Stevenson stated that he thinks the total night limit should be 60; Chairman Hohensee stated that making the number of nights too small may restrict a certain type of growth. Therefore, he believes the total number of nights should not be less than 90. Commissioner Gilchrist shares that it is typical for a family to STR their home while on vacation, and he sees value in limiting the number of nights to less than 90 days depending on how owner-occupied is defined (parameters yet to be discussed); Commissioner Stevenson agrees. In general, the Planning Commission would like to limit the total number of nights in the residential area.

Commissioners discussed their views on what the city would be interested in protecting before defining 'owner-occupancy.' Commissioner Stevenson stated that he sought to avoid taking away from long-term rental stock and avoid STRs from becoming a business. Commissioner Gilchrist said he feared the community losing the small-town feel and evidence of such; Commissioner Henry agreed by adding he is concerned about people using Washington State as a tax shelter. Chairman Hohensee stated he seeks to keep a stable economy and protect the community by preserving our strong neighborhood feel.

Commissioners discussed how to define 'owner-occupancy.' Commissioner Stevenson stated that he would like the definition to include anyone renting a portion of their home/ADU on the premises, or proof of residency in White Salmon, and must have a contact person available 24/7. Commissioner Henry stated he would like to see an element limiting one STR and avoid Washington State be used as a tax shelter. Land-use Conboy suggested adding additional STR application requirements, such as a previous year's income tax return and two forms of identification (ID). Commissioners loosely agreed that the City's goal would be met by requesting STR applicants for a previous year's tax return, two forms of ID, and to be entered into a lottery system if they met the owner-occupancy requirements once a quota is met. Further discussion is needed to define owner occupancy; it was agreed that an applicant must be a White Salmon resident. Some Commissioners suggested that the lottery terms be long enough so that if an applicant doesn't get selected the first time, they have no more of a chance than others of getting chosen at a later time of application. The administrative procedure to be further discussed at the City Council level.

Commissioners discussed if there should be a limit to the total number of short-term rentals per owner/entity. Land-use Planner Conboy stated that he recommended that there not be a limit in the commercial zone and that the residential be limited to one STR. Commissioner Henry and Gilchrist agreed. Commissioner Stevenson recommended a limit of four STRs in the City per owner not to encourage a hotel-like system. Chairman Hohensee recommended limiting one STR in the residential area, recommended a (1/3) fraction of each structure in the commercial area, and no STRs in the multifamily zone district. Commissioner Henry added that STR in the commercial area should not be located on the street level.

Commissioners concluded that more information was needed to determine if there should be a total number of ADUs in the community. Land-use Planner Conboy stated that White Salmon, WA is currently estimated to have 7-14% of its housing stock be used as STR. In comparison, Hood River, OR is 5%, and a typical non-resort town is 1%. Commissioners requests a break down by housing type and size within White Salmon City Limits, a percentage of how many are STRs, a percentage of homes that are 'dark,' and the correlation to housing affordability/crisis to analyze at what percentage of STRs in a community then turns harmful.

ADJOURNMENT

The meeting was adjourned at 8:05 p.m.

Greg Hohensee, Chairman

Erika Castro Guzman, Associate Planner

File Attachments for Item:

2. 119 W Jewett Blvd, Riverwatch LLC Hotel Design Review

STAFF REPORT



| | | | |
|-------------------------------|--|------------------------|-------------------------------------|
| Meeting Date: | October 27, 2021 | Meeting Title: | Planning Commission |
| Submitting Department: | Planning Department | Presenter: | Brendan Conboy, City Planner |
| Agenda Item: | Design Review – 119 W Jewett Blvd | Public Comment: | No |

Purpose and Policy Considerations

The White Salmon Municipal Code requires that metal siding in the Commercial zone is subject to Planning Commission approval. WSMC Sec. 17.048.075(C) states,

Exterior walls/metal—Metal walls, panels, partitions, facing or surfacing of any type is subject to review by the planning commission and must be found to be compatibly designed and intentionally applied rather than relied on solely as a less expensive option. Window panel fillers, exterior metal doors, door casings and windows shall be allowed.

Project Location

The subject parcel is legally described as Lot 2 WS-BLA 2021-002; 24-3-10. The subject site is 16,330 square feet in size and fronts West Jewett Boulevard to the north directly across from City Hall. To the east, the property fronts Southwest Riverwatch Drive with commercial zoning and commercial properties across the street. The property fronts Southwest Riverwatch Drive to the south with R-2 zoning across the street. To the west, the property abuts a historic single-family home that is now a commercial property as it is commercially zoned.



Background

The applicant, Riverwatch LLC, submitted a building permit for review on May 17, 2021, for a 29-unit lodging facility described as a Hotel/Short Term Residency (please see Exhibit B). The proposal consists of two separate buildings with connected underground parking that steps down the slope adjacent to Southwest Riverwatch Drive. City staff reviewed the applicant's building plans for compliance with the White Salmon Municipal Code, Fire, and Building Codes. Phase one of the building permit was approved by the Building Official and issued on August 25, 2021, and a second permit for phase two of the permit was approved by the City Building Official and issued on October 19, 2021.

The applicant applied prior to the adoption of [Ord. No. 2021-05-1079](#) (May 19, 2021), amending the definition of 'tourist facilities' which had been previously interpreted to include short-term rental. In consultation with the City Attorney, it has been determined that the applicant is vested under the code at the time they applied per [RCW 19.27.095](#). This means that the application was reviewed under the code at the time of application which included hotel and tourist facilities as a principal use allowed outright subject to Type-1A administrative review. The city is currently reviewing [Chapter 19.10 - Land Development Administrative Procedures](#) to ensure that such projects will be subject to Planning Commission site plan review in the future.

Requested Action

The applicant is requesting approval of COR-TEN® metal siding as an exterior material. COR-TEN® is a trademarked name owned by U.S. Steel and refers to weathering steel which through the process of oxidation with the elements over the course of years produces a reddish rusty hue that removes the need for paint. The applicant has provided renderings of what the building will look like clad in COR-TEN® which are attached as (Exhibit A)

Analysis

COR-TEN® is a popular material used broadly in contemporary architecture for both residential and commercial projects. Staff finds that the selection of COR-TEN® weathering steel by the applicant has been intentionally applied and is compatible with the overall design of the building. Furthermore, COR-TEN® is not a low-cost material and staff finds that the selection is not motivated by cost in comparison to other acceptable materials.

Recommendation

Staff recommends that the Planning Commission approve the applicant's request for COR-TEN® steel as a material siding provided that the applicant satisfies the Planning Commission's concerns that the material siding meets the standards set forth in WSMC Sec. 17.048.075(C).

RIVERWATCH, LLC
Overall Complex Site Plan

October, 2021



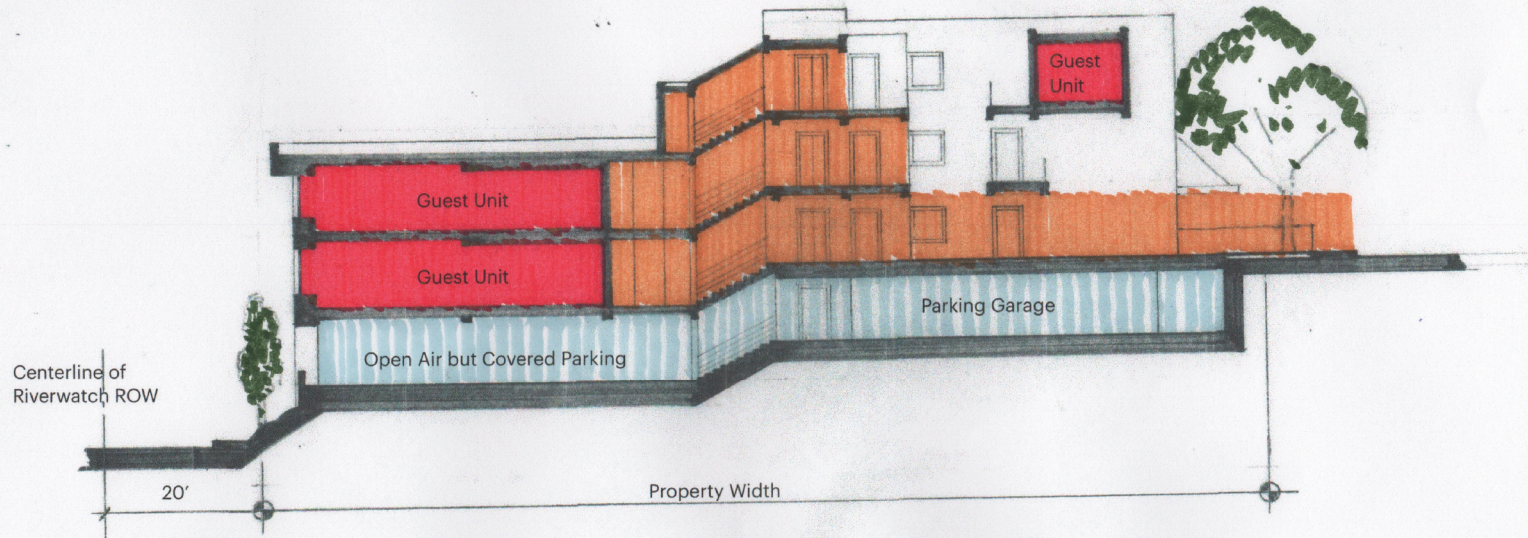
RIVERWATCH, LLC

Cross Sections B and C

October, 2021



Section "C"

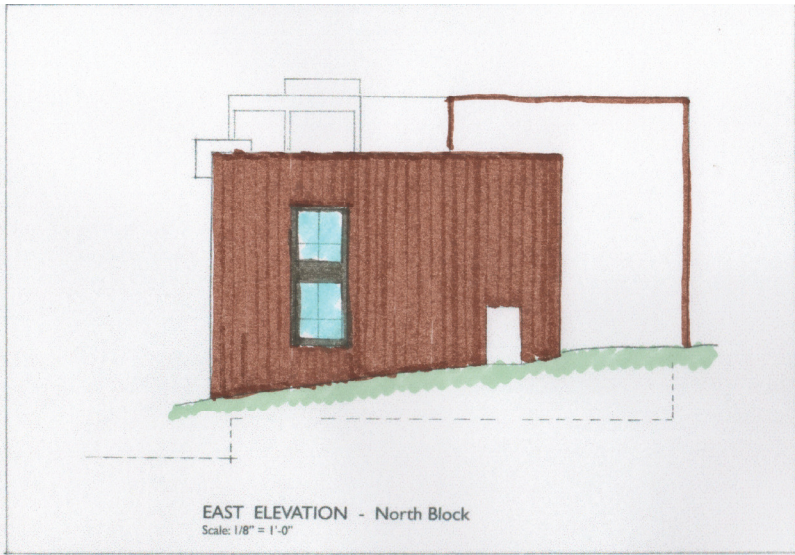


Section "B"

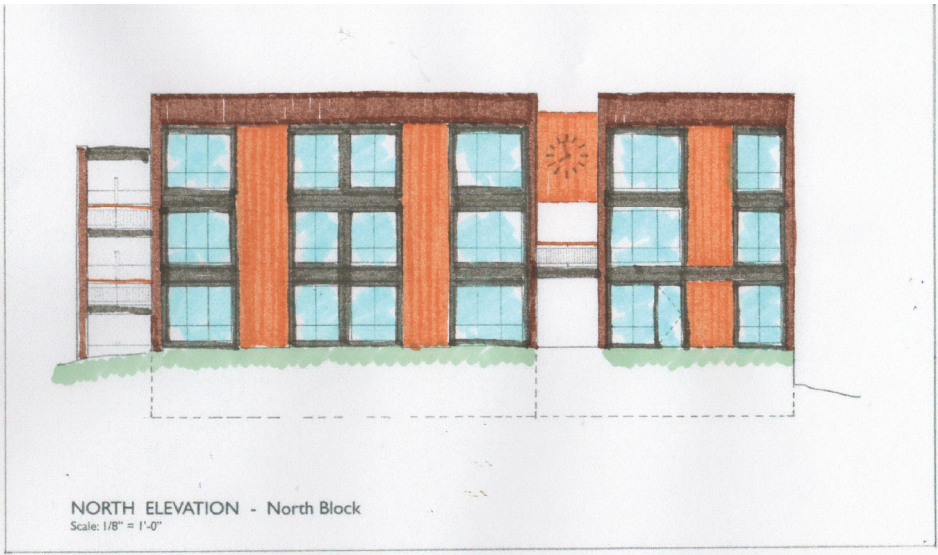


Sheet

2



EAST ELEVATION - North Block
Scale: 1/8" = 1'-0"

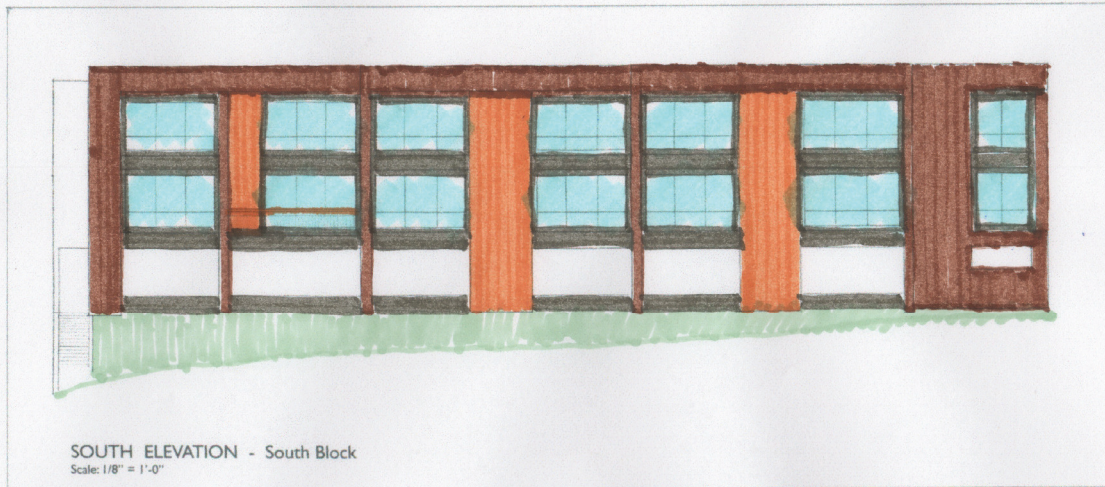


NORTH ELEVATION - North Block
Scale: 1/8" = 1'-0"

RIVERWATCH, LLC

Primary Ext. Elevations

October, 2021



SOUTH ELEVATION - South Block
Scale: 1/8" = 1'-0"



Sheet

3

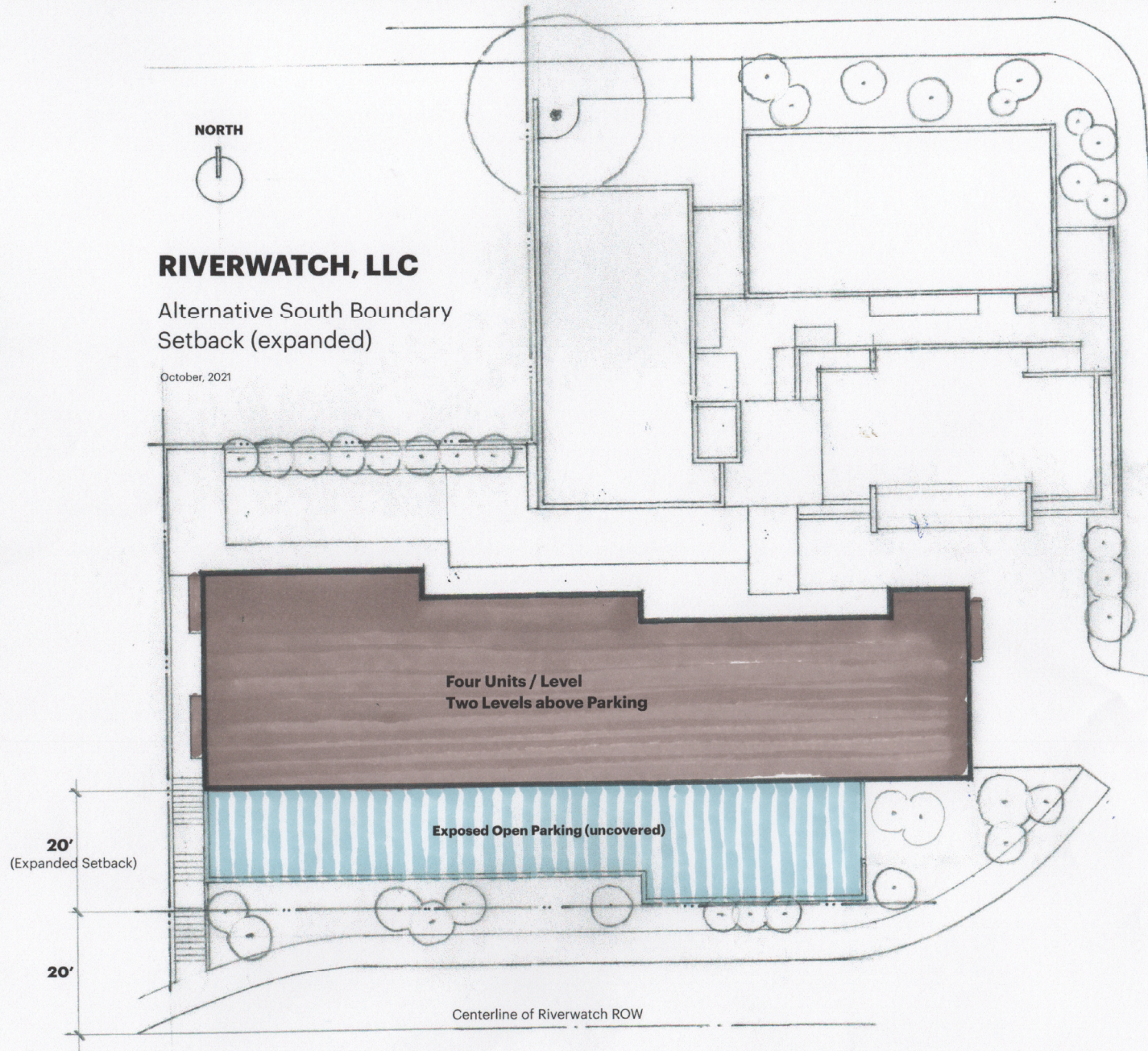
NORTH



RIVERWATCH, LLC

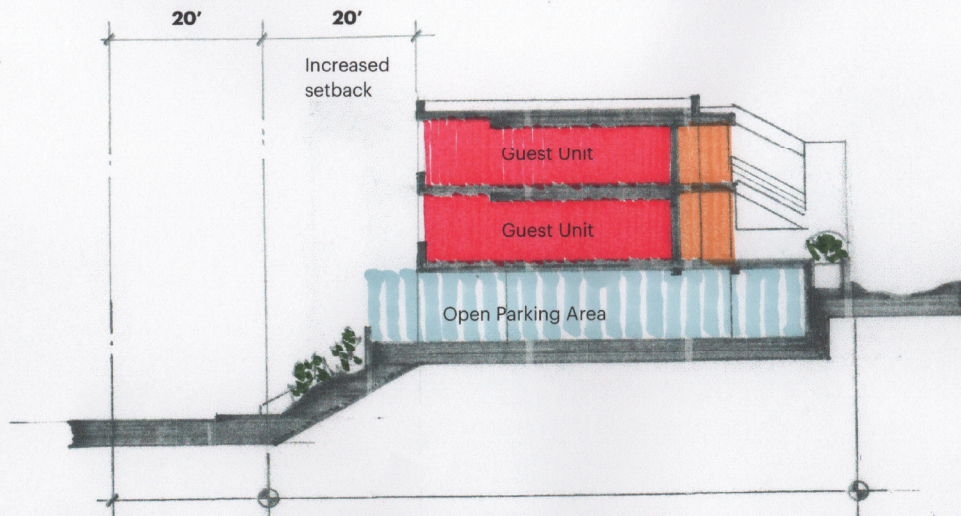
Alternative South Boundary
Setback (expanded)

October, 2021



Sheet

4



Section "C"

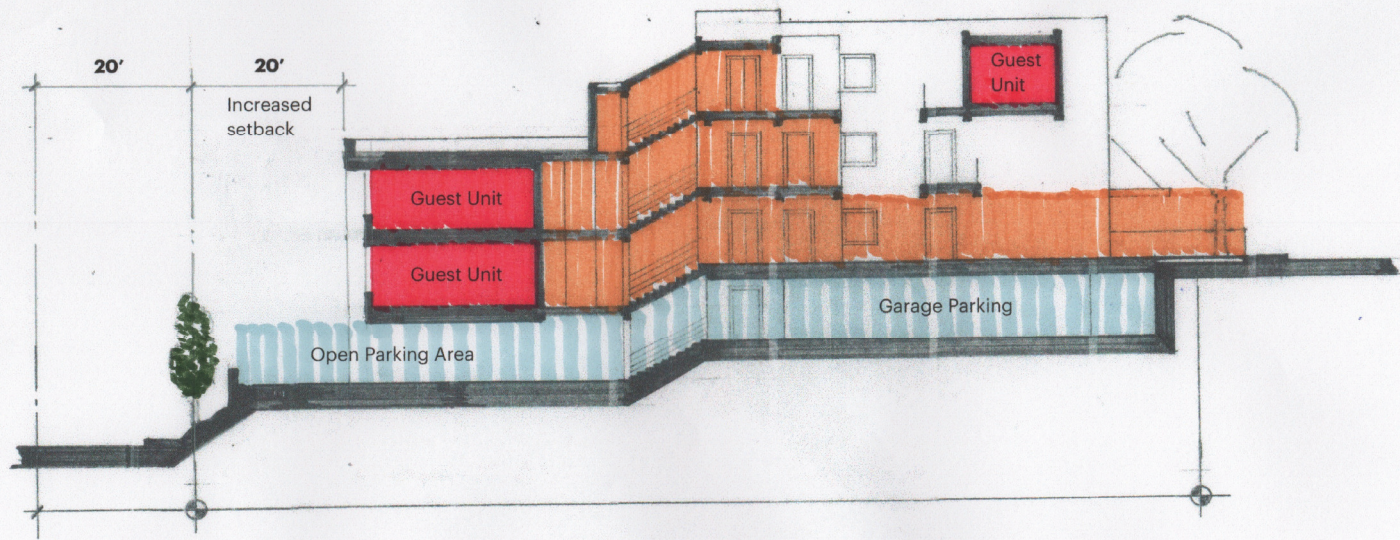
RIVERWATCH, LLC

Alternative South Boundary Setback

October, 2021

Note:

An increase in the south boundary setback will require a reduction in the south building unit count from 14 to 8 - a 42% reduction



Section "B"



Sheet

5



RIVERWATCH, LLC.

157 WEST JEWETT BLVD
WHITE SALMON, WA 98672

A TWO AND THREE LEVEL, 29 UNIT, HOTEL/SHORT TERM RESIDENCY COMPLEX; 35 ON-SITE PARKING STALLS; ONE GROUND LEVEL RETAIL SPACE; PUBLIC ROOFTOP TERRACE.

LIST OF DRAWINGS

EXHIBIT B

ARCHITECTURAL

- A 01 COVER SHEET
- A 02 AREA CALCULATIONS AND NOTES
- A 03 PARKING LEVEL PLAN
- A 04 FIRST LEVEL PLAN (JEWETT STREET LEVEL)
- A 05 SECOND LEVEL PLAN
- A 06 THIRD LEVEL PLAN / SOUTH BUILDING ROOF PLAN
- A 07 NORTH ROOF PLAN / ROOF TERRANCE PLAN
- A 08 BUILDING CROSS SECTIONS
- A 09 NORTH BUILDING EXTERIOR ELEVATIONS
- A 10 SOUTH BUILDING EXTERIOR ELEVATIONS
- A 11 DOOR AND WINDOW SCHEDULES
- A 12 UNIT PLANS - 1A, 1B, 1C, AND RETAIL
- A 13 UNIT PLANS - 1D AND 1E
- A 14 UNIT PLANS - 1F AND 1G
- A 15 UNIT PLANS - 2A AND 2A
- A 16 UNIT PLANS - 2B AND 2B
- A 17 UNIT PLANS - 2C

STRUCTURAL

- S 1.1 GENERAL STRUCTURAL NOTES
- S 1.2 GENERAL STRUCTURAL NOTES
- S 1.3 STATEMENT OF SPECIAL INSPECTIONS
- S 1.4 LOAD MAP - NORTH BUILDING
- S 1.5 LOAD MAP - SOUTH BUILDING
- S 2.1 FOUNDATION PLAN
- S 2.2 LEVEL 1 FRAMING PLAN
- S 2.3 LEVEL 2 FRAMING PLAN
- S 2.4 LEVEL 3 FRAMING PLAN / SOUTH ROOF FRAMING PLAN
- S 2.5 NORTH ROOF FRAMING PLAN
- S 3.1 TYPICAL CONCRETE DETAILS
- S 3.2 TYPICAL CONCRETE DETAILS
- S 3.3 TYPICAL CONCRETE DETAILS
- S 3.4 TYPICAL CONCRETE DETAILS
- S 4.1 TYPICAL WOOD FRAMING DETAILS
- S 4.2 TYPICAL WOOD FRAMING DETAILS
- S 4.3 TYPICAL WOOD FRAMING DETAILS
- S 4.4 TYPICAL WOOD FRAMING DETAILS
- S 5.1 TYPICAL STEEL DETAILS
- S 5.2 TYPICAL STEEL DETAILS

CIVIL

- C 0.1 CIVIL TITLE SHEET
- C 0.2 GENERAL NOTES
- C 0.3 GENERAL NOTES
- C 1.0 SITE PAVING AND HORIZONTAL CONTROL PLAN
- C 2.0 PRECISE GRADING AND STORM WATER CONTROL PLAN
- C 2.1 STORM WATER MANAGEMENT CALCULATIONS AND BMP PROFILE
- C 3.0 PRIVATE UTILITIES PLAN AND HOOK UPS TO PUBLIC UTILITIES
- C 4.0 EROSION AND SEDIMENT CONTROL PLAN
- C 5.0 STANDARD CONSTRUCTION DETAILS
- C 5.1 STANDARD CONSTRUCTION DETAILS
- C 5.2 STANDARD CONSTRUCTION DETAILS
- C 5.3 STANDARD CONSTRUCTION DETAILS



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RIVERWATCH, LLC.
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WHITE SALMON, WA 98672

ISSUED FOR:
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GENERAL CONTRACTOR NOTES:

1. ALL WORK SHALL CONFORM TO THE 2015 IBC AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. DO NOT SCALE DRAWINGS: USE CALCULATED DIMENSIONS ONLY. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING ANY PORTION OF THE WORK.
4. VERIFY ALL ROUGH-IN DIMENSIONS AND LOCATIONS FOR EQUIPMENT, FIXTURES, ETC. PROVIDE ALL BLOCKING, BUCK-OUTS, BACKING, AND JACKS REQUIRED FOR INSTALLATION.
5. PROVIDE ALL PROTECTION, SHORING, AND BRACING AS REQUIRED BY SITE CONDITIONS IN ORDER TO MAINTAIN A SAFE JOB SITE AND PROTECT COMPONENTS TO REMAIN.
6. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
7. STAIR AND GUARDRAIL OPENINGS TO BE SUCH THAT A 4" SPHERE SHALL NOT PASS THROUGH (LESS THAN 4").
8. TIGHT LINE ALL FOOTINGS, S.O.G. DRAINS, AND DOWNSPOUTS TO APPROVED DISCHARGE SYSTEM.
9. PROVIDE WHOLE HOUSE FAN, 50-75 CFM MAXIMUM, 1.5 SONES MAXIMUM. VENT TO OUTSIDE WITH 24-HR PROGRAMMABLE TIMER.
10. ALL DIMENSIONS ARE FROM FACE OF FRAMING, UNO.

GENERAL MATERIAL NOTES:

1. SUBMIT SAMPLES OF PROPOSED EXTERIOR MATERIALS FOR APPROVAL PRIOR TO PURCHASE. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
2. ALL INTERIOR FINISH TRIM TO BE CLEAR FIR. TRIM TO BE KILN DRIED, STRAIGHT, WITHOUT CUP, WARP, OR WOW. SUBMIT SAMPLES OF PROPOSED MATERIALS FOR APPROVAL PRIOR TO PURCHASE. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
3. ALL EXPOSED STRUCTURAL WOOD (I.E. RAFTER TAILS) TO BE SELECT STRUCTURAL DOUGLAS FIR.
4. ALL EXTERIOR NAILS AND OTHER FASTENERS TO BE GALVANIZED STEEL.
5. SET AND FILL ALL EXPOSED NAILS.
6. ALL FLASHING TO BE GALVANIZED METAL, GALVALUME, OR FACTORY FINISH TO BE APPROVED BY ARCHITECT.
7. ALL EXPOSED EXTERIOR CONCRETE (EXCLUSIVE OF FOUNDATION WALLS) TO BE SAND FINISH.
8. FINISH CARPENTRY MATERIALS TO BE OF PREMIUM QUALITY: CLEAR KILN DRIED, STRAIGHT, WITHOUT CUP, WARP, OR WOW. SUBMIT SAMPLES OF PROPOSED MATERIALS FOR APPROVAL PRIOR TO PURCHASE. REFER TO SPECIFICATIONS FOR MORE INFORMATION.

CODE COMPLIANCE:

2015 INTERNATIONAL BUILDING CODE (IBC)
 2015 WASHINGTON COMMERCIAL ENERGY CODE

OCCUPANCY: R-2
 GROUND SNOW LOADING: 52 PSF
 WIND: 85 MPH - 3 SECOND GUST
 FROST DEPTH: 18"
 SEISMIC ZONE: D1
 EXPOSURE: B

HABITABLE FLOOR AREAS:

BASEMENT: 0
 FIRST FLOOR: 9266 SF
 SECOND FLOOR: 9266 SF
 PENTHOUSE: 2509 SF

MISC:

- ALL UNITS HAVE EXTERIOR ACCESS
- THREE EXIT STAIRS / ONE ELEVATOR ARE PROVIDED
- SMOKE DETECTORS ARE REQUIRED FOR ALL SLEEPING AREAS
- A CARBON MONOXIDE AND SMOKE DETECTOR IS REQUIRED OUTSIDE ALL SLEEPING AREAS
- A BUILDING-WIDE SPRINKLER SYSTEM TO MEET NFPA-13R IS REQUIRED
- A SEPARATE ELECTRICAL PERMIT IS REQUIRED. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO OBTAIN SAID PERMIT FROM THE STATE OF WASHINGTON.

| Area Calculation | | | | | | | | | | |
|--------------------------------------|--------------|--------------|-------------|--------------|--------------|--------------|-------------|-------------|-----------|--------------|
| | Garage Level | | First Level | | Second Level | | Third level | | Totals | |
| Retail Space | | | 1 | 625 | | | | | 1 | 625 |
| Studios | | | 2 | 780 | 2 | 780 | 1 | 390 | 5 | 1950 |
| One Bedroom | | | 5 | 3700 | 5 | 3700 | | | 10 | 7400 |
| | | | 2 | 1275 | 3 | 1925 | 2 | 1275 | 7 | 4475 |
| Two Bedroom | | | 2 | 1688 | 2 | 1688 | 1 | 844 | 5 | 4220 |
| | | | 1 | 904 | | 904 | | | 2 | 1808 |
| Unit totals/Level | | | 12 | | 13 | | 4 | | 29 | |
| Habitable Areas/Level | | | | 8347 | | 8997 | | 2509 | | 19853 |
| Private Deck | | | 1 | 125 | | | | | | |
| Public Roof Terrace | | | | | | | 1250 | | | |
| Public Outdoor Walks / Aprons | | 1152 | | 1712 | | 1333 | | 1309 | | |
| Exit Stairs | 2 | 240 | 3 | 360 | 3 | 360 | 2 | 240 | | |
| Elevator Stop | 1 | 90 | 1 | 90 | | 90 | 1 | 90 | | |
| Upper Level Parking | (9 stalls) | 4637 | | | | | | | | |
| Lower Level Parking | (26 stalls) | 8105 | | | | | | | | |
| Totals | | 14224 | | 10634 | | 10780 | | 5398 | | |



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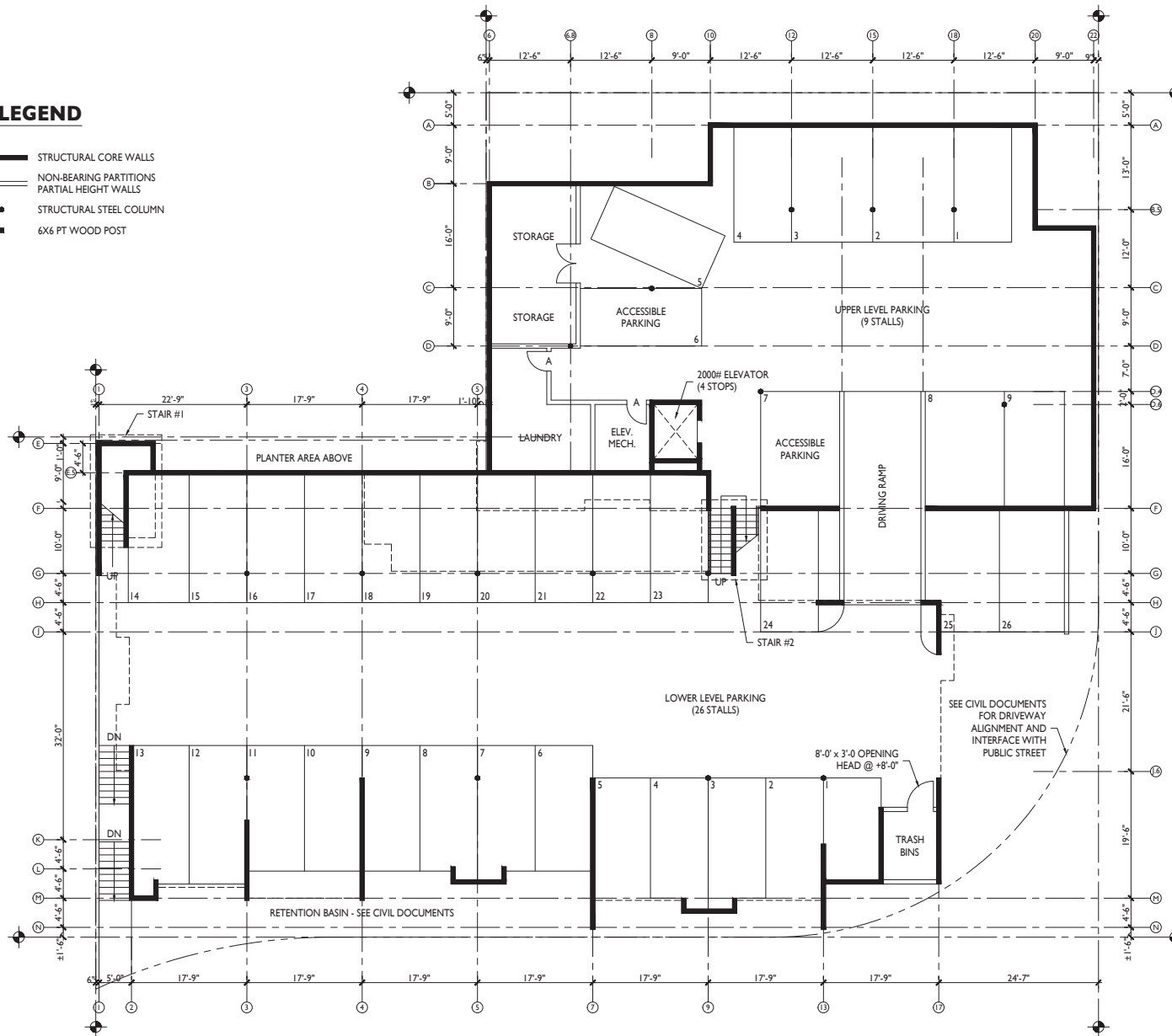
RIVERWATCH, LLC.
 157 W JEWETT BLVD.
 WHITE SALMON, WA 98672

ISSUED FOR:
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02

LEGEND

- STRUCTURAL CORE WALLS
- - - NON-BEARING PARTITIONS
PARTIAL HEIGHT WALLS
- STRUCTURAL STEEL COLUMN
- 6X6 FT WOOD POST



1 PARKING LEVEL PLAN
1/8" = 1'-0"



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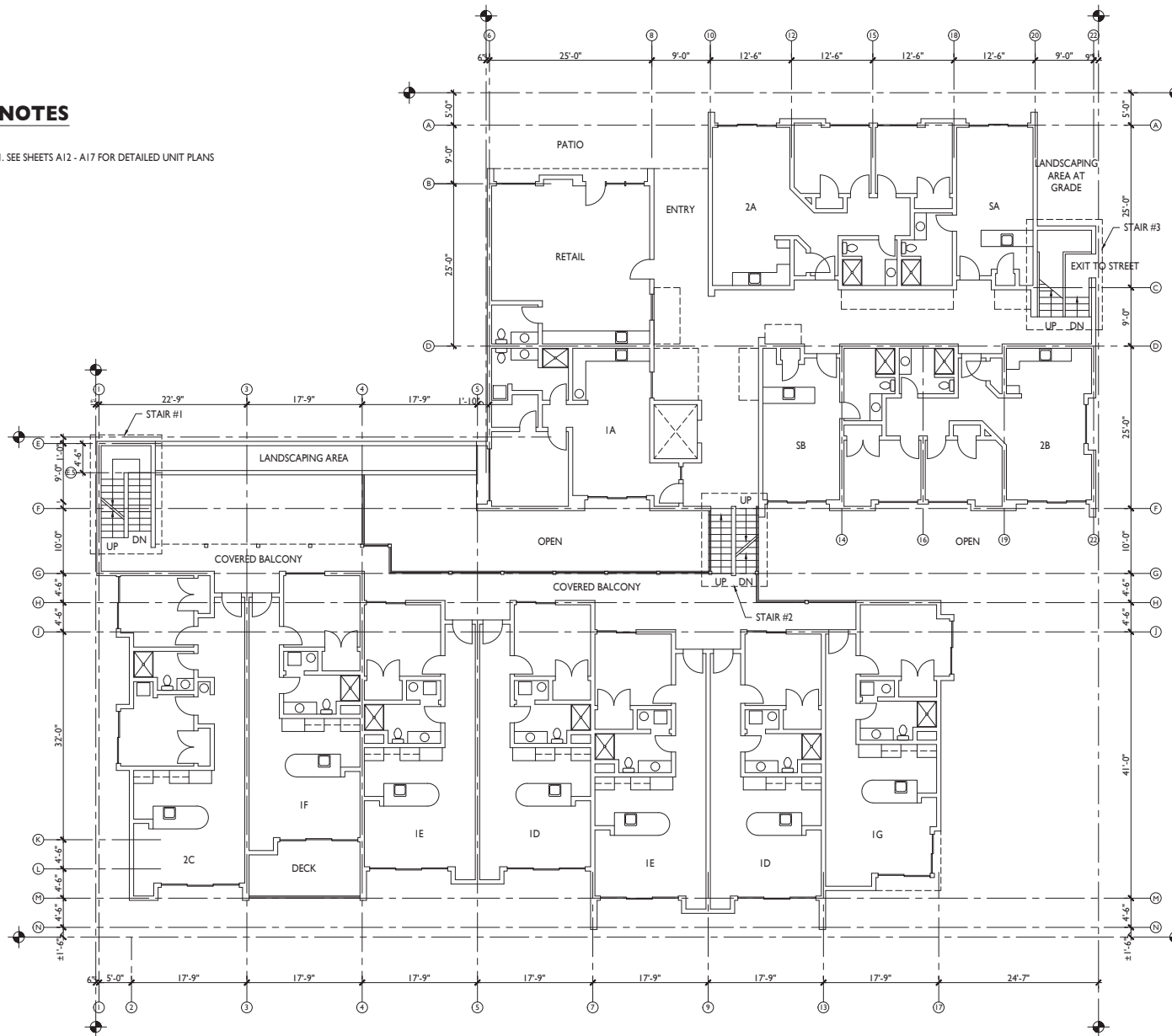
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NOTES

I. SEE SHEETS A12 - A17 FOR DETAILED UNIT PLANS



I FIRST LEVEL PLAN
1/8" = 1'-0"



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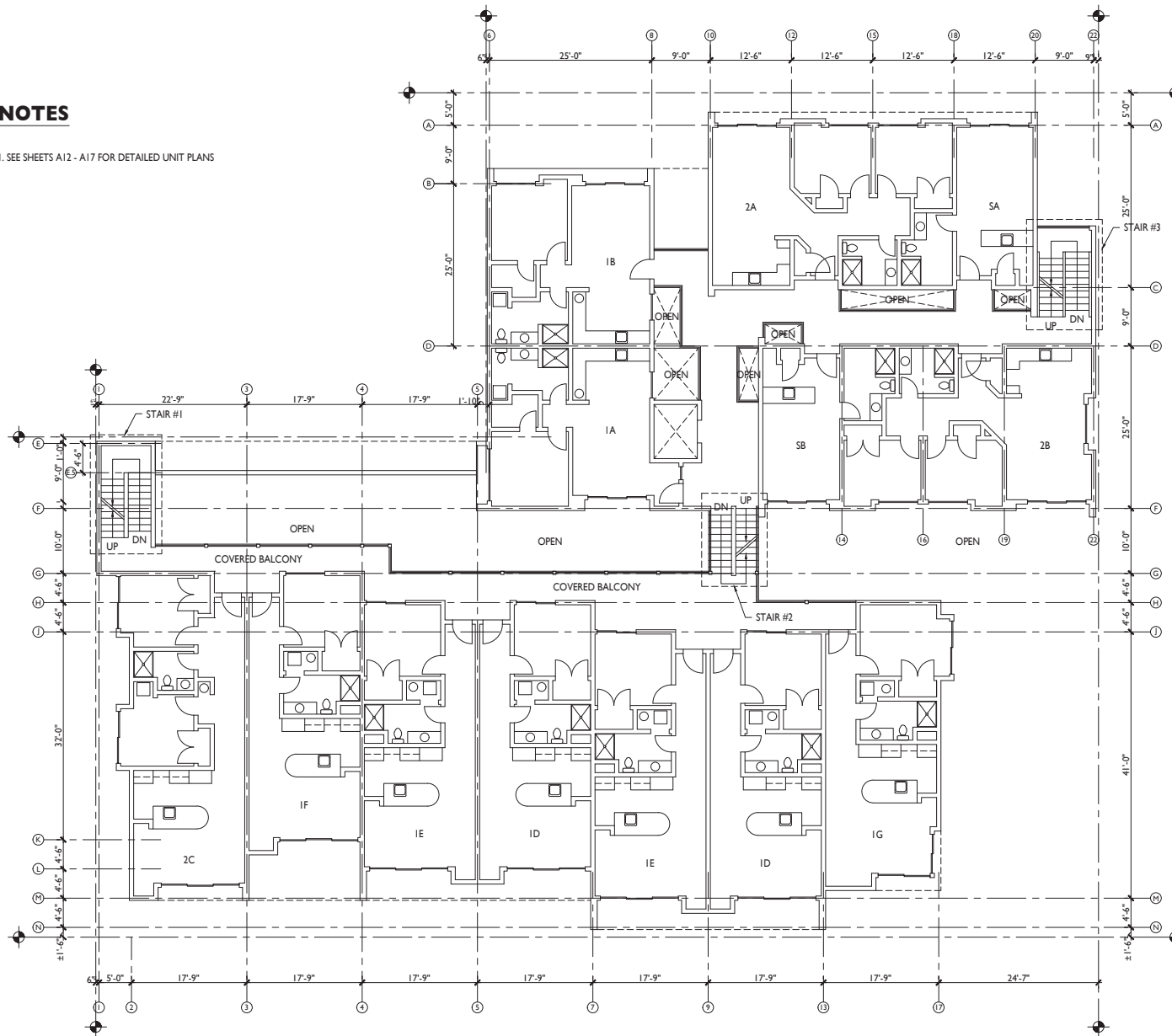
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ISSUED FOR:
PERMITTING

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NOTES

I. SEE SHEETS A12 - A17 FOR DETAILED UNIT PLANS



I SECOND LEVEL PLAN
1/8" = 1'-0"



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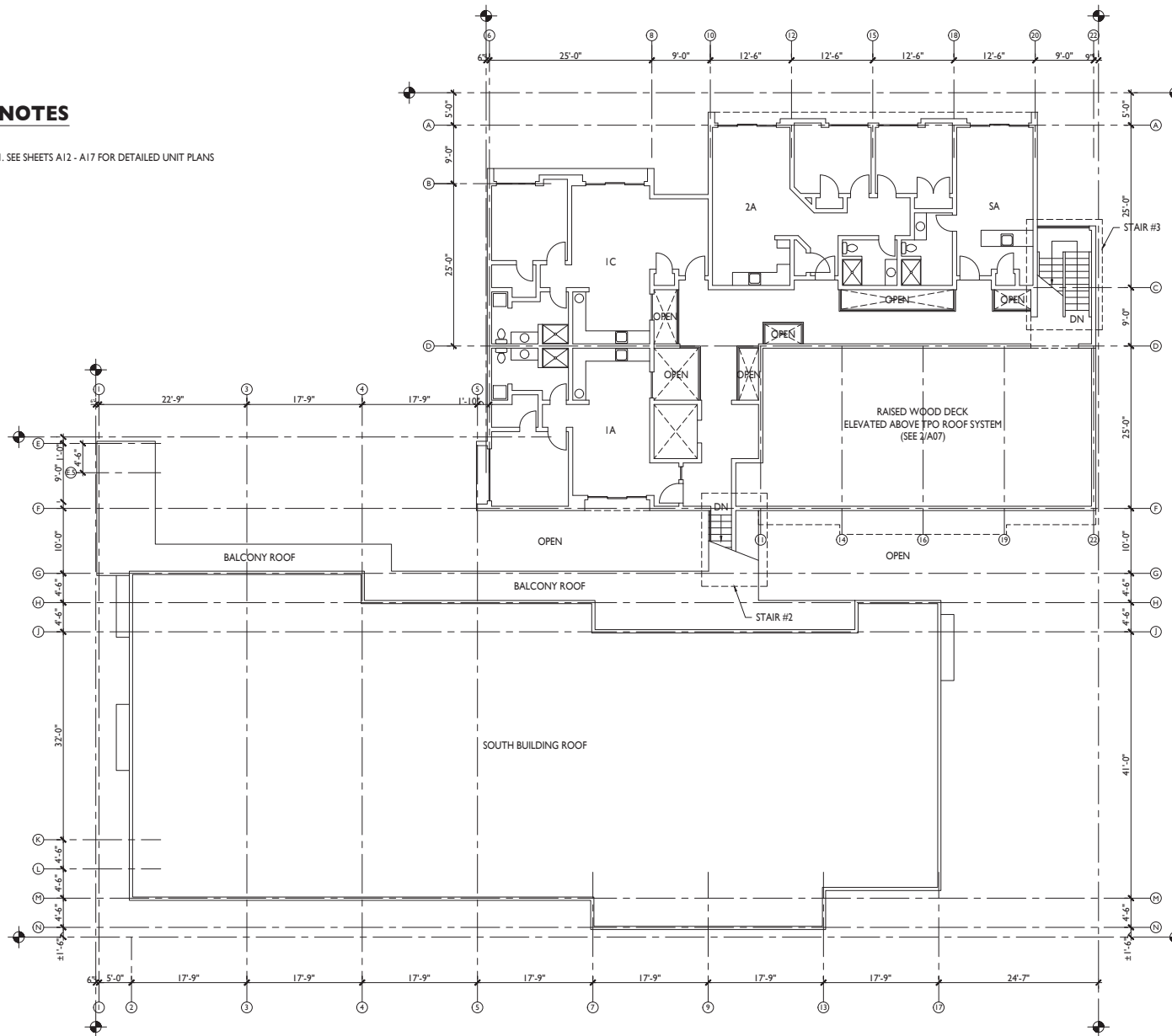
ISSUED FOR:
PERMITTING

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NOTES

I. SEE SHEETS A12 - A17 FOR DETAILED UNIT PLANS



I THIRD LEVEL PLAN + SOUTH ROOF
1/8" = 1'-0"



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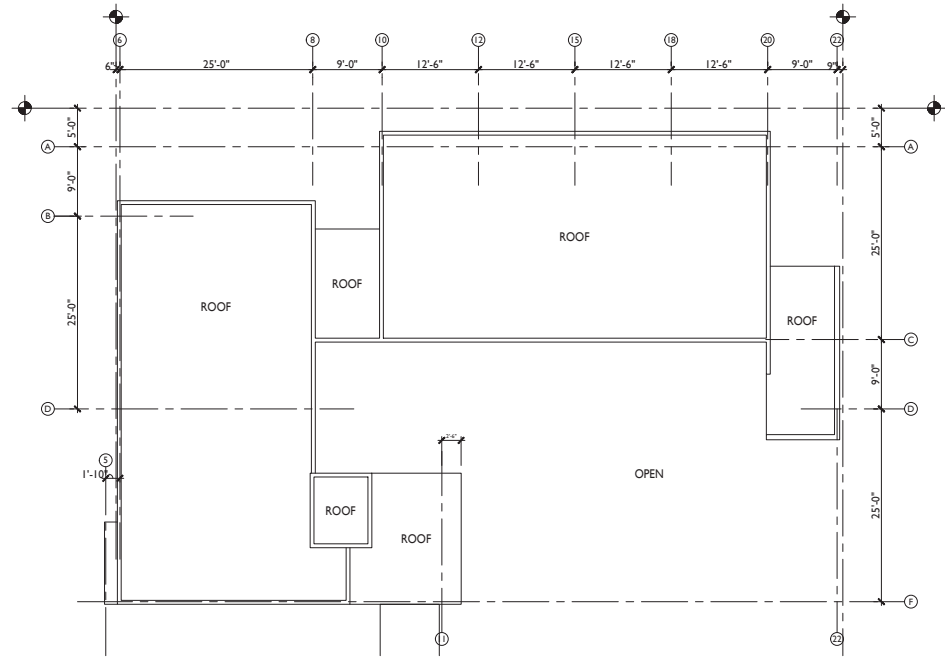
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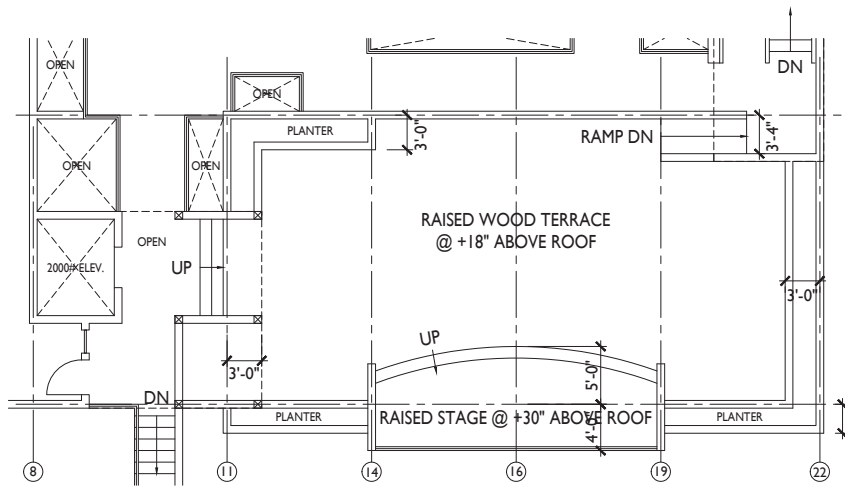
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
PERMITTING

A
06



1 NORTH ROOF PLAN
1/8" = 1'-0"



2 ROOF TERRACE PLAN
3/16" = 1'-0"



DBH Studio
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dbh@dbhstudio.com
303.331.1241

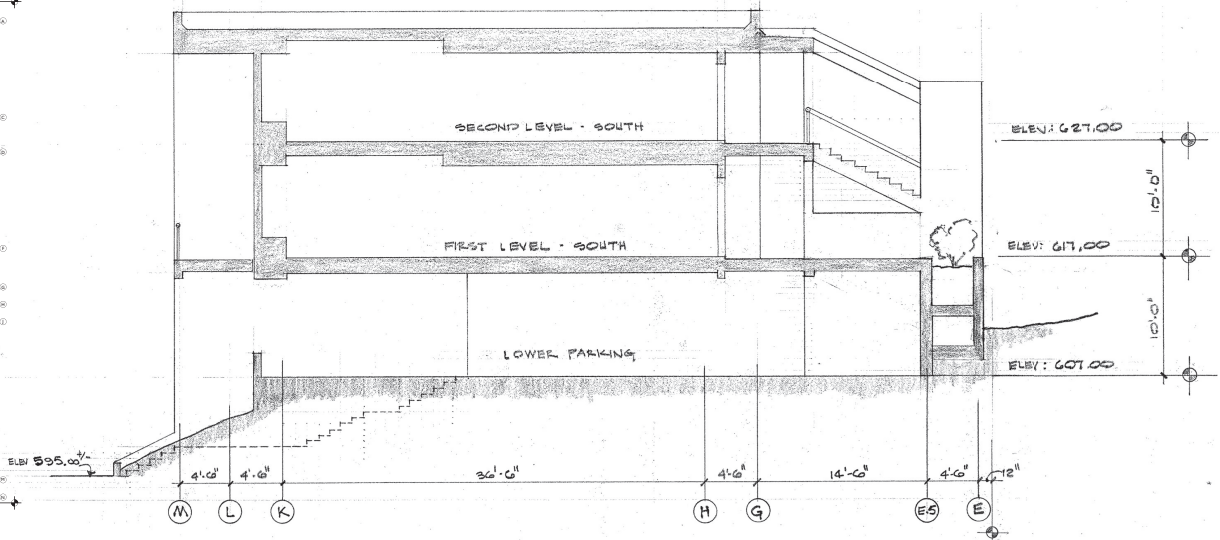
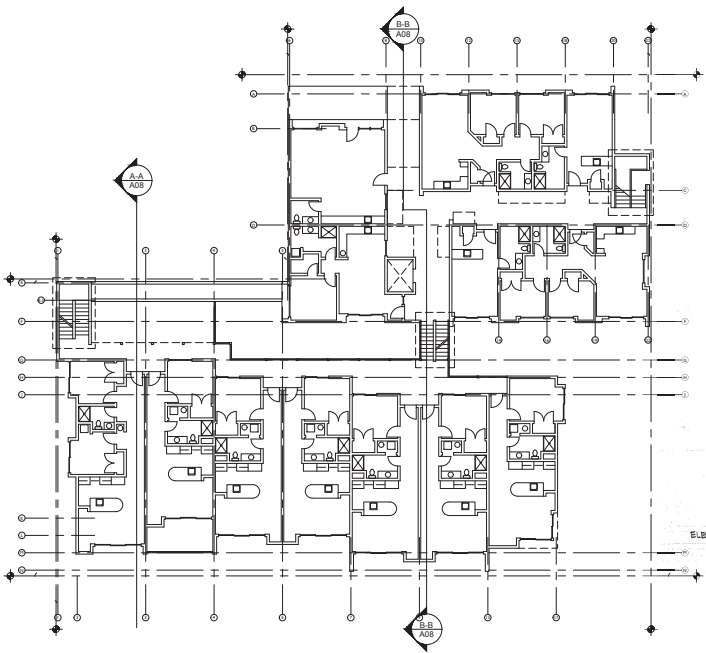
Swenson Say Faget
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swenson@ssf.com
206.769.3751

CallChi Design Group
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ccg@callchi.com
541.714.0444

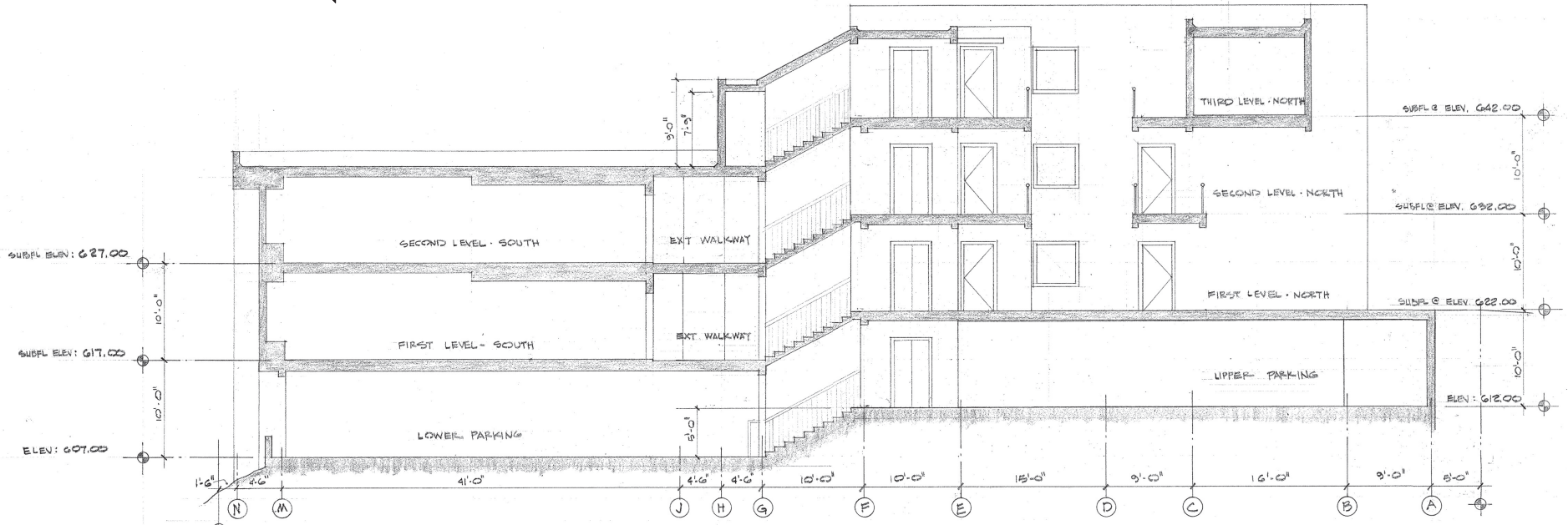
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
PERMITTING

07



CROSS SECTION A-A
Scale: 1/8" = 1'-0"



CROSS SECTION B-B



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303.331.1401

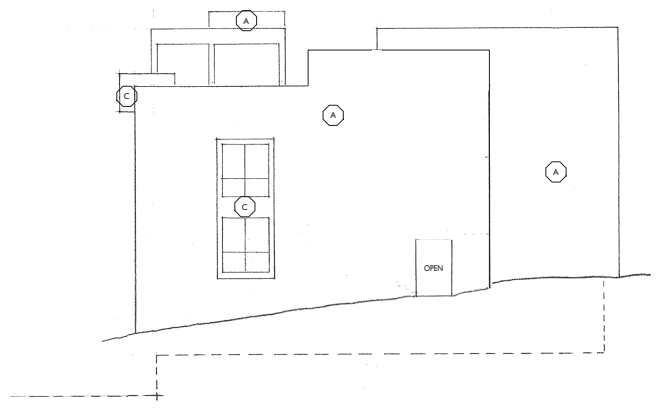
Swenson Say Fagot
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swenson@swenson-say.com
303.759.3751

CalChi Design Group
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ccg@calchi.com
54.71.0444

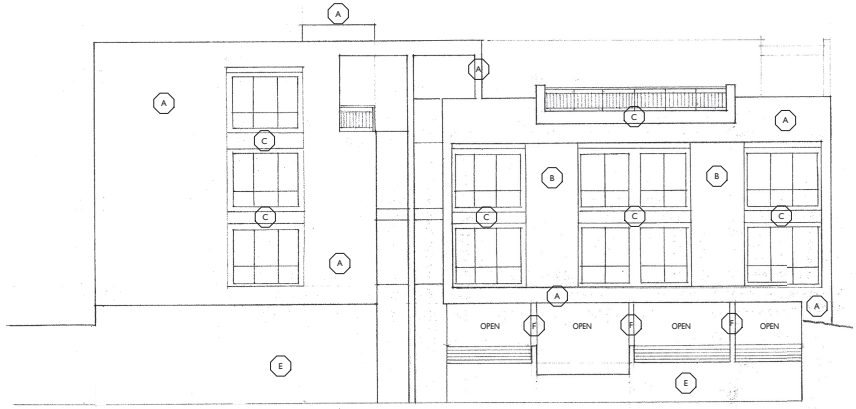
RIVERWATCH, LLC.
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ISSUED FOR:
PERMITTING

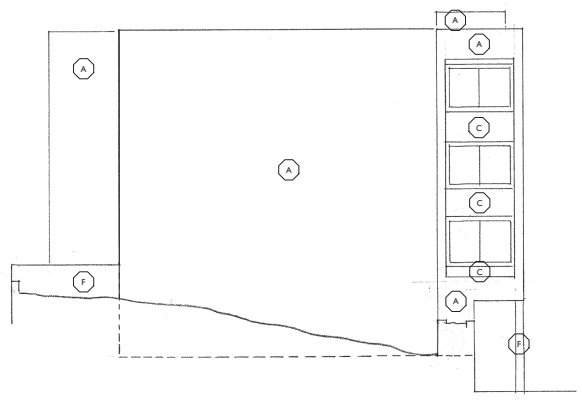
A
08



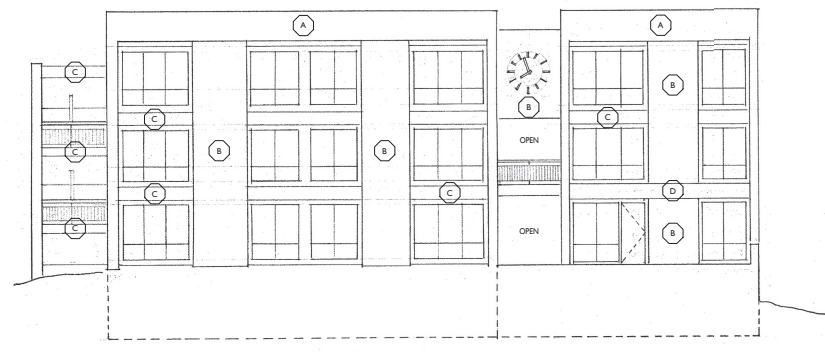
EAST ELEVATION - North Block
Scale: 1/8" = 1'-0"



SOUTH ELEVATION - North Block
Scale: 1/8" = 1'-0"



WEST ELEVATION - North Block
Scale: 1/8" = 1'-0"



NORTH ELEVATION - North Block
Scale: 1/8" = 1'-0"



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303.331.4241

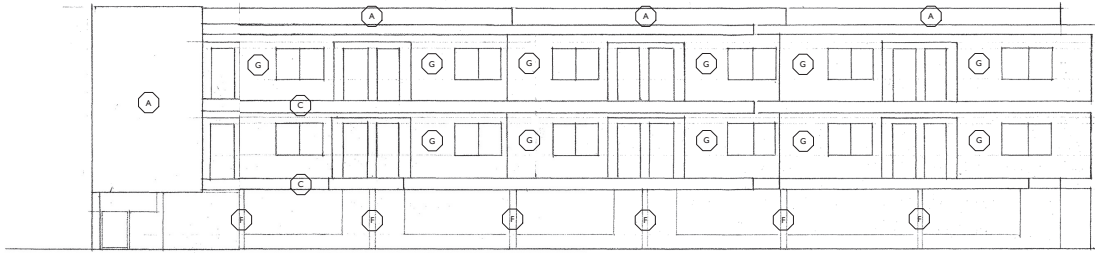
Swenson Say Faget
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ccg@calchi.com
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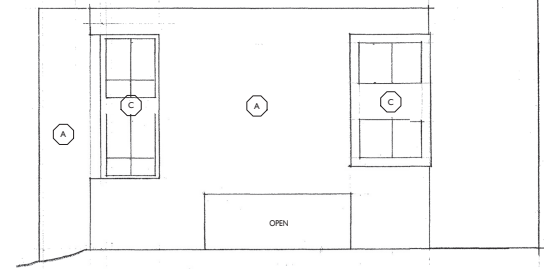
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
PERMITTING

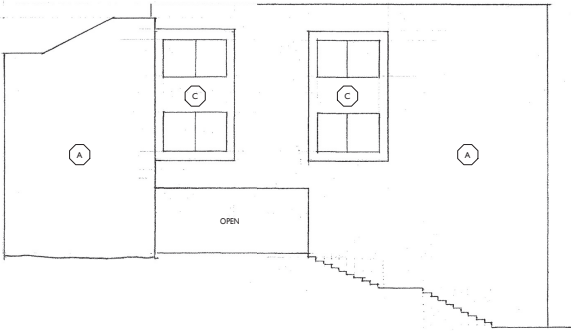
A
09



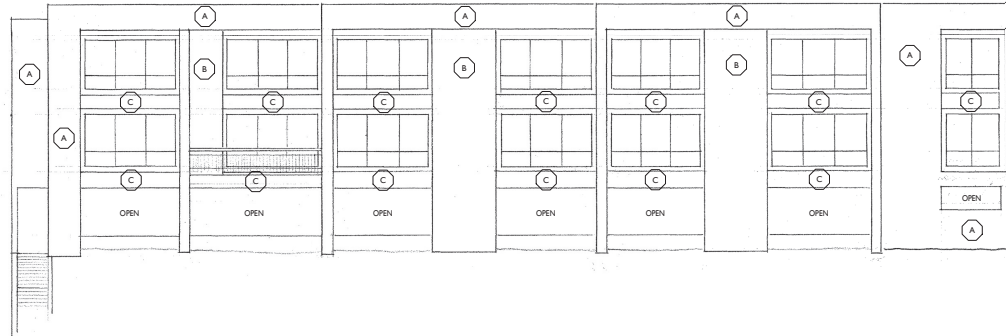
NORTH ELEVATION - South Block
Scale: 1/8" = 1'-0"



EAST ELEVATION - South Block
Scale: 1/8" = 1'-0"



WEST ELEVATION - South Block
Scale: 1/8" = 1'-0"



SOUTH ELEVATION - South Block
Scale: 1/8" = 1'-0"



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RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
PERMITTING

10

| WINDOW SCHEDULE | | | | | | | |
|-----------------|---------------|--------|---------------|---|-----------|-------------|--------------------------|
| ITEM | ROUGH OPENING | | HEADER HEIGHT | CONFIGURATION | NOTES | NUMBER REQ. | NOTES |
| | WIDTH | HEIGHT | | | | | |
| 100 | 108" | 80" | 86" | 3 FIXED-UP, 2 FIXED-DN, 1 PROJECTION-DN | TEMPER-DN | | |
| 200 | 72" | 80" | 86" | XO SLIDER-UP, 2 FIXED-DN | TEMPER-DN | | |
| 300 | 96" | 60" | 86" | XO SLIDER | EGRESS | | |
| 400 | 48" | 48" | 86" | FIXED | | 3 | AT I BDRM "A" LIGHT WELL |
| 500 | 144" | 80" | 86" | 3 FIXED-UP, 1 FIXED-DN, 2 PROJECTION-DN | TEMPER-DN | | |
| 600 | 96" | 80" | 86" | 2 FIXED-UP, 1 PROJECTION-DN, 1 FIXED-DN | TEMPER-DN | | |
| 700 | 72" | 80" | 86" | 2 FIXED-UP, 1 PROJECTION-DN, 1 FIXED-DN | TEMPER-DN | | |
| 800 | 96" | 60" | 86" | XO SLIDER | EGRESS | | |
| 900 | 72" | 48" | 86" | XO SLIDER | EGRESS | | |
| 1000 | 24" | 80" | 86" | FIXED | TEMPERED | 3 | AT I BDRM "A" ENTRY |

| DOOR SCHEDULE | | | | | | | | | |
|---------------|----------------------------|--|-------|--------|---------------|--------|--------------------------------|---------------------|--------|
| ITEM | USE | TYPE | SIZE | | ROUGH OPENING | | HARDWARE | WEATHER STRIPPING | NUMBER |
| | | | WIDTH | HEIGHT | WIDTH | HEIGHT | | | |
| A | UNIT ENTRY DOOR | EXTERIOR PREHUNG SOLID CORE WOOD - FLUSH PAINTED | 36" | 80" | 38" | 82" | LOCKSET, DEADBOLT, AND CLOSER | FULL | |
| B | CLOSET | INTERIOR PREHUNG SOLID CORE WOOD - FLUSH - PAINTED | 36" | 80" | 38" | 82" | DULLY PULLS AND BULLET LATCHES | NO | |
| C | BEDROOM | INTERIOR PREHUNG SOLID CORE WOOD - FLUSH - PAINTED | 34" | 80" | 36" | 82" | LATCHSET | NO | |
| D | BATHROOM | INTERIOR PREHUNG SOLID CORE WOOD - FLUSH - PAINTED | 30" | 80" | 32" | 82" | PRIVACY LOCKSET | NO | |
| E | CLOSET DOOR - PAIR | INTERIOR PREHUNG SOLID CORE WOOD - FLUSH - PAINTED | 60" | 80" | 62" | 82" | DULLY PULLS AND BULLET LATCHES | NO | |
| F | MISC. | INTERIOR PREHUNG SOLID CORE WOOD - FLUSH - PAINTED | 24" | 80" | 26" | 82" | DULLY PULLS AND BULLET LATCHES | NO | |
| G | MISC. | EXTERIOR PREHUNG SOLID CORE WOOD - FLUSH PAINTED | 30" | 80" | 32" | 82" | DULLY PULLS AND BULLET LATCHES | NO | |
| H | SLIDING GLASS DOOR | OYO EXTERIOR | 144" | 84" | 146" | 86" | TEMPERED | FULL | I |
| J | RETAIL ENTRY DOOR AND WALL | STOREFRONT GLASS SYSTEM | 108" | 80" | 110" | 82" | LOCKSET, DEADBOLT, AND CLOSER | FULL TEMPERED GLASS | I |



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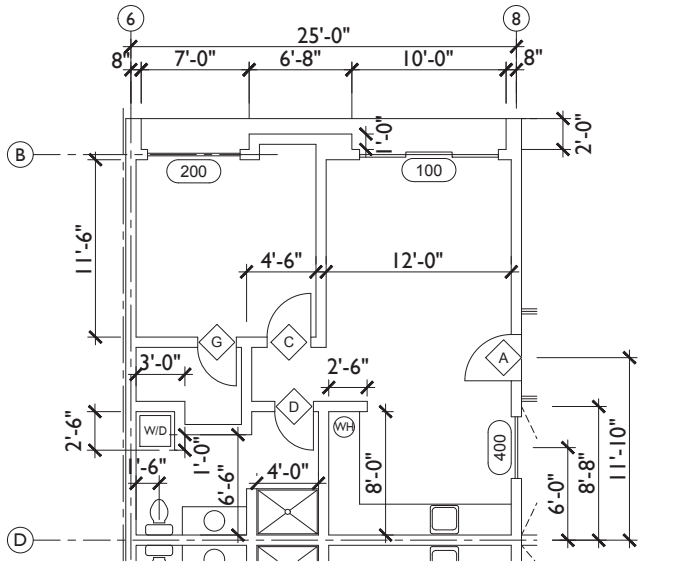
Swenson Say Faget
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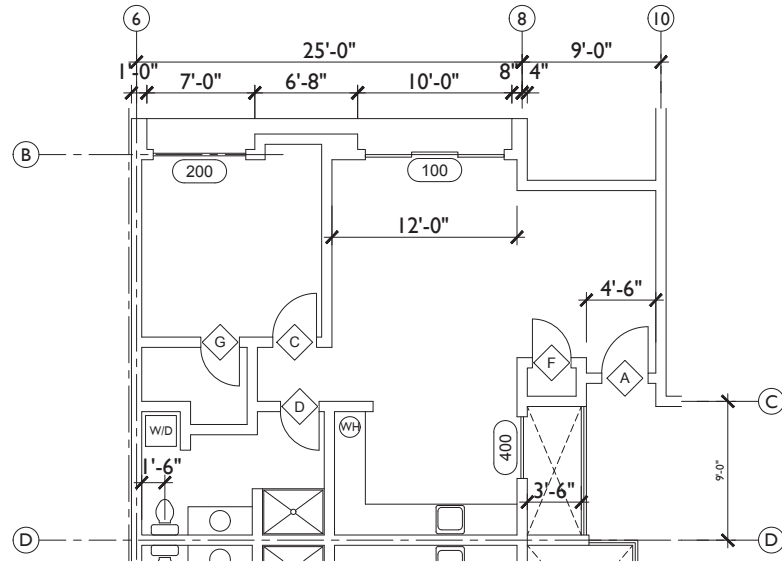
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
PERMITTING

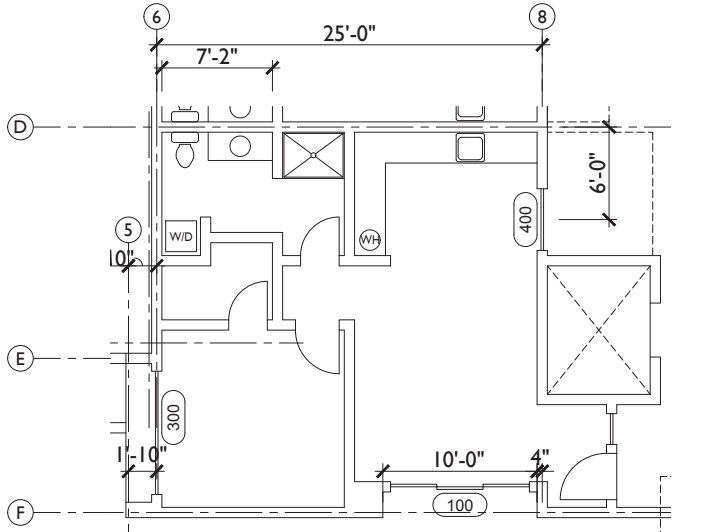




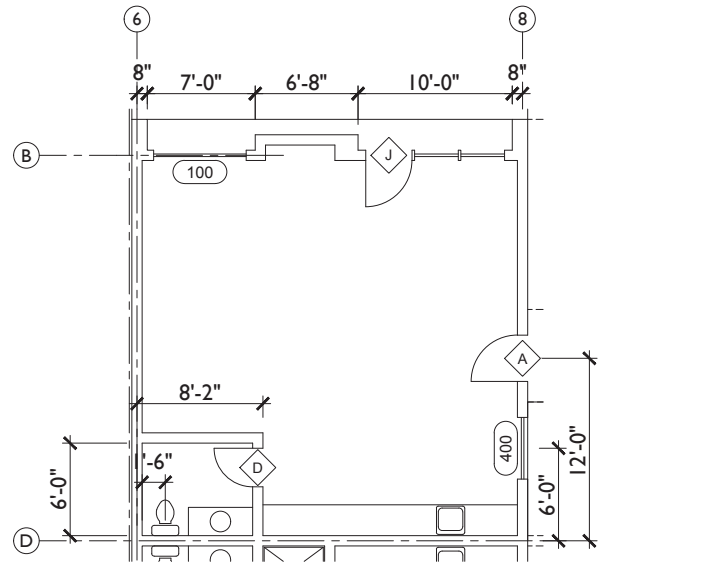
1 I BEDROOM - B (1B)
1/4" = 1'-0"



2 I BEDROOM - C (1C)
1/4" = 1'-0"



3 I BEDROOM - A (1A)
1/4" = 1'-0"



4 RETAIL (AT FIRST LEVEL ONLY)
1/4" = 1'-0"



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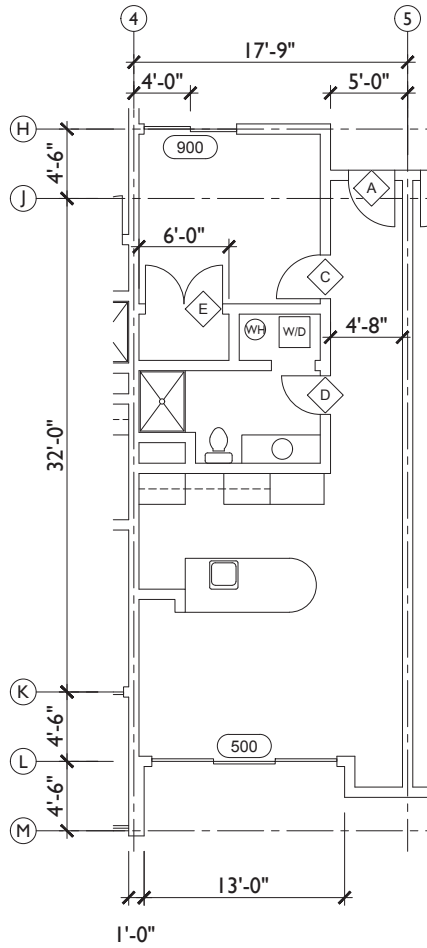
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541.714.0444

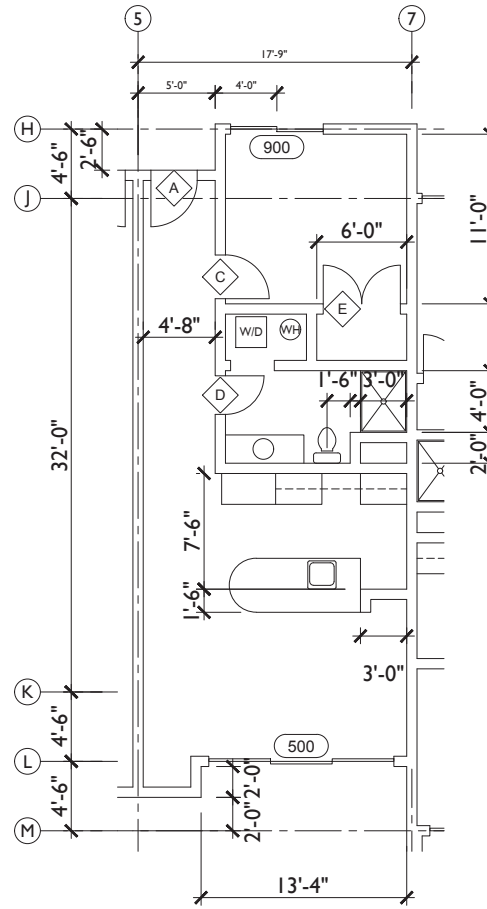
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
PERMITTING

12



***IE IS A MIRROR OF ID DIMENSIONALLY**



1 I BEDROOM - E (IE)
1/4" = 1'-0"

2 I BEDROOM - D (ID)
1/4" = 1'-0"



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203.331.2401

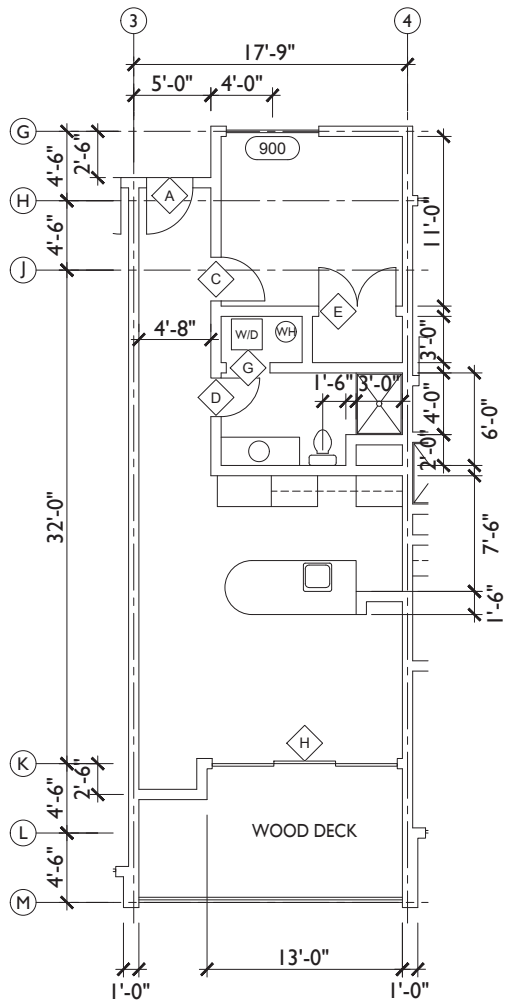
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swenson@swenson.com
203.939.3751

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ccg@calchi.com
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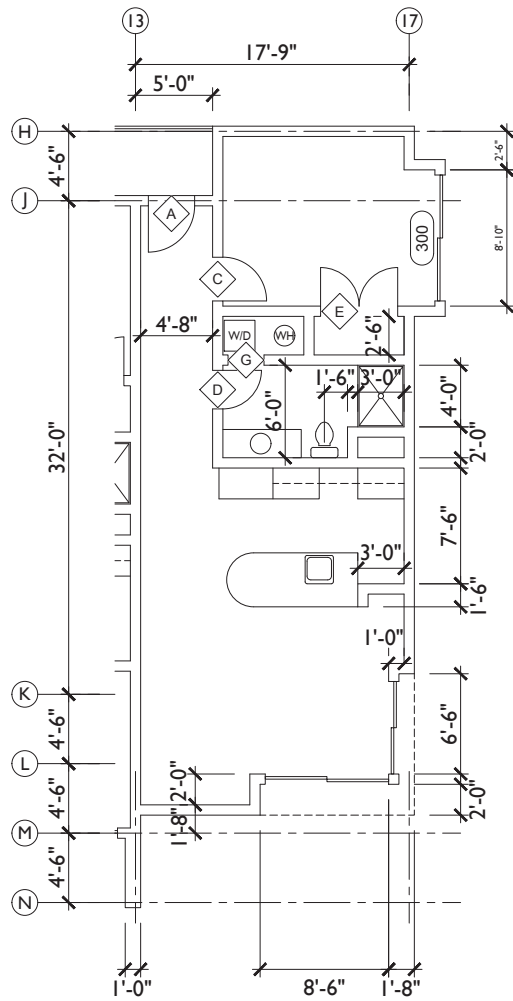
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR
PERMITTING

A
13



1 I BEDROOM - F (1F)
1/4" = 1'-0"



2 I BEDROOM - G (1G)
1/4" = 1'-0"



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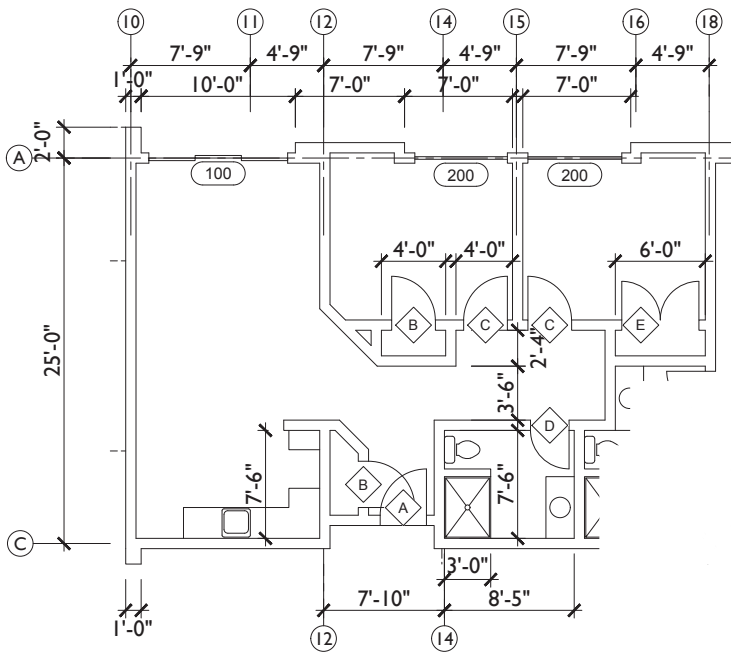
Swenson Say Faget
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swenson.say.faget@gmail.com
303.759.3751

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ccg@calchi.com
541.714.0444

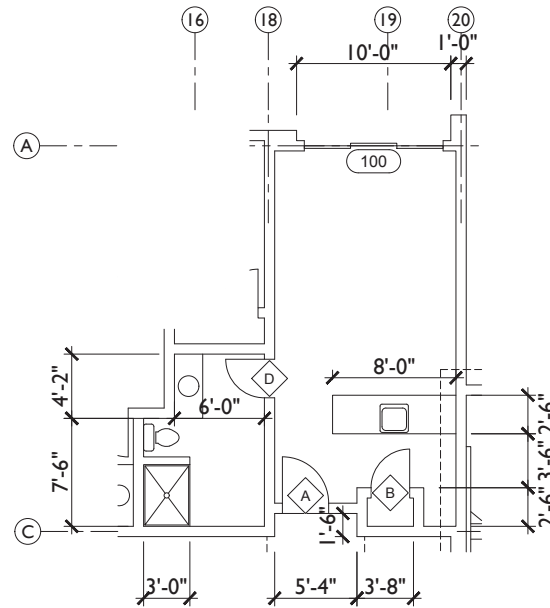
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
PERMITTING

A
14



1 2 BEDROOM - A (2A)
1/4" = 1'-0"



2 STUDIO - A (5A)
1/4" = 1'-0"



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303.331.2401

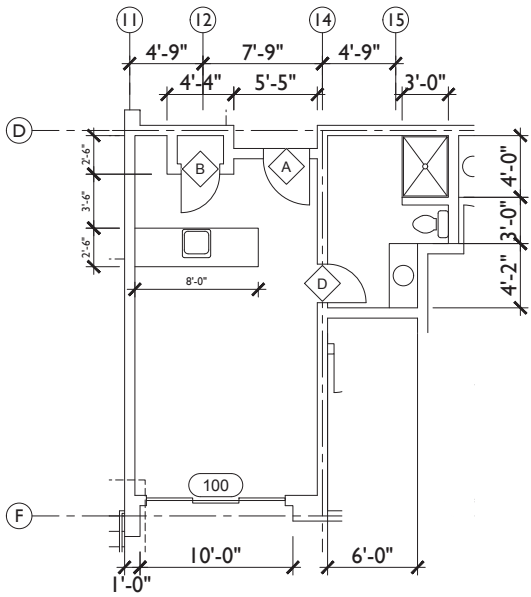
Swenson Say Faget
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541.714.0444

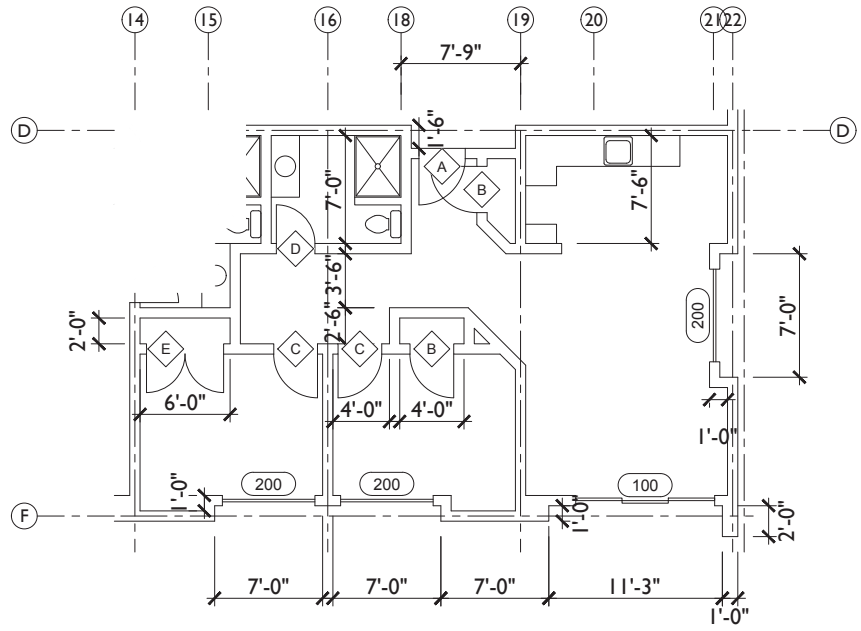
RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

ISSUED FOR:
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A
15



1 STUDIO - B (5B)
1/4" = 1'-0"



2 2 BEDROOM - B (2B)
1/4" = 1'-0"



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202.331.1241

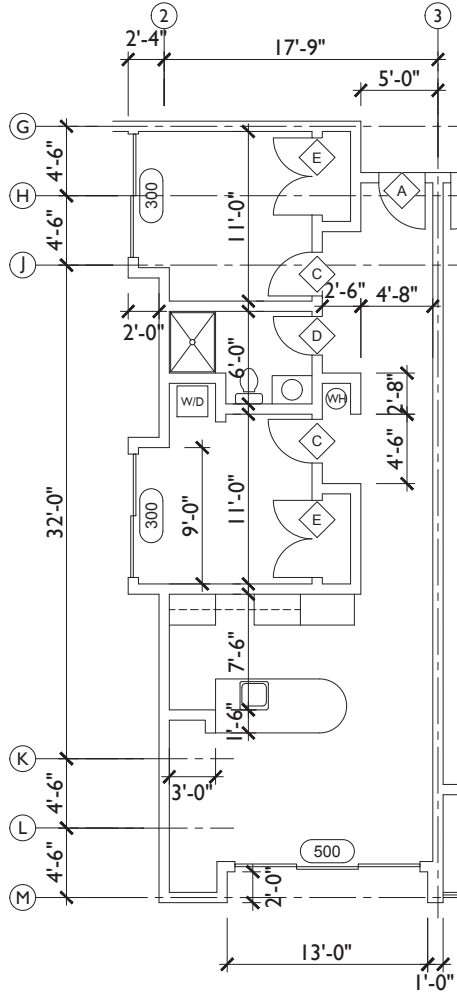
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RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

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16



1 2 BEDROOM - C (2C)
1/4" = 1'-0"



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303.331.2401

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54.71.6244

RIVERWATCH, LLC.
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

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PERMITTING

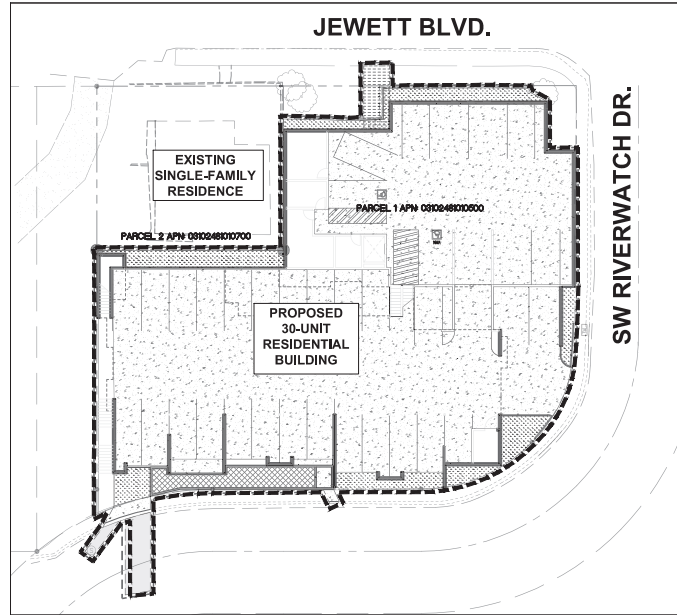
A
17

31

CIVIL SITE - CONSTRUCTION DOCUMENTS

RIVERWATCH, LLC

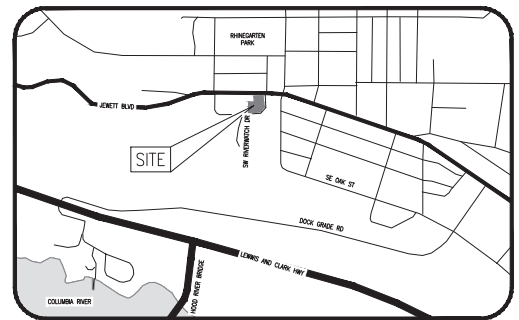
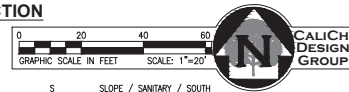
157 W JEWETT BLVD. | WHITE SALMON, WASHINGTON 98672



CIVIL SITE IMPROVEMENT PLAN / LIMITS OF CONSTRUCTION

ABBREVIATIONS

| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---------------------|-------------------------------------|------------------------------|--|---|---------------|----------------|------------------------|--------------|----------------------|--------------------|---------------------------|------------|----------------|--------------------------------|---------------|-----------|--------------------|---------------|--------------------------|--------------------------|-------------------------------------|---------------|-------------|----------|-------------|-------------------|-----------------------|---------------------|-------------|--------------------------------|-------------------|-------------------|-----------------|--------------|-----------|------------------|--------------------|---------------------|---------|------------------|---------------------------|-------|----------------|--------------|--------------------------------|-------------|-------------|---------------------|---------------|---------------------|---------------|----------|---------------|----------------|----------|---------------|-------------|------------|-------------|--------------|-----------|----------|----------|--------------------|--------------------|------------------------|-----------|---------------------|----------------|-------------|------------|-------------|------------------------------|------------------------------|--------------------------|-------------------------|---------------|------------------------|---------|--|----------------------------|------------------------|--------------------------|-------------------------------------|----------------|-----------------|----------------------------|------------------|--------------------|-------------------------------|-----------------------------|-----------|--------------|-------------------|-------------|-------------|-------------------------|----------------|----------------------------|---------------------|------------------|------------------|--------------------------------|-------------------|------------------------------|---------------------|-----------------|-------------|-------------------------|--------------------------|--------------|--------------|---------------------|-----------|--------|--------|--------|----------------|--|----------------|----------------|-----------------|
| AC ASPHALT CONCRETE | ADA AMERICANS WITH DISABILITIES ACT | APN ASSESSOR'S PARCEL NUMBER | APWA AMERICAN PUBLIC WORKS ASSOCIATION | BAAQMD BAY AREA AIR QUALITY MANAGEMENT DISTRICT | BLDG BUILDING | BLVD BOULEVARD | BFP BACKFLOW PREVENTER | BM BENCHMARK | BBB BASIS OF BEARING | BOP BOTTOM OF PIPE | BSM BIOTREATMENT SOIL MIX | C CONCRETE | CB CATCH BASIN | CCTV CLOSED-CIRCUIT TELEVISION | CL CENTERLINE | CLR CLEAR | COMM COMMUNICATION | CONC CONCRETE | CVLT COMMUNICATION VAULT | DCV DETECTOR CHECK VALVE | DDCA DOUBLE CHECK DETECTOR ASSEMBLY | DI DROP INLET | DN DIAMETER | DR DRIVE | DWG DRAWING | E ELECTRIC / EAST | ECAB ELECTRIC CABINET | EVLV ELECTRIC VAULT | EX EXISTING | FDC FIRE DEPARTMENT CONNECTION | FF FINISHED FLOOR | FG FINISHED GRADE | FH FIRE HYDRANT | FL FLOW LINE | FND FOUND | FDC FACE OF CURB | FP FIRE PROTECTION | FS FINISHED SURFACE | FT FEET | FW FRONT OF WALK | FWD FACE OF WALL CONCRETE | G GAS | GB GRADE BREAK | GV GAS VALVE | HDPD HIGH-DENSITY POLYETHYLENE | HWY HIGHWAY | HYD HYDRANT | IE INVERT ELEVATION | INVERT INVERT | IV IRRIGATION VALVE | JP JOINT POLE | L LENGTH | L/S LANDSCAPE | LF LINEAL FEET | LT LIGHT | LUM LUMINAIRE | MAX MAXIMUM | MH MANHOLE | MIN MINIMUM | MON MONUMENT | MTR METER | NG NORTH | NO NORTH | NRG NATURAL GROUND | NI NOT IN CONTRACT | N.L.C. NOT IN CONTRACT | NO NUMBER | N.T.S. NOT TO SCALE | O.C. ON CENTER | OH OVERHANG | P PAVEMENT | PB PULL BOX | PCC PORTLAND CEMENT CONCRETE | PGE PACIFIC GAS AND ELECTRIC | PVI POST INDICATOR VALVE | POC POINT OF CONNECTION | PP POWER POLE | PVC POLYVINYL CHLORIDE | RD ROAD | RPRA REDUCED PRESSURE PRINCIPLE ASSEMBLY | S SLOPE / SANITARY / SOUTH | SAW SANITARY SEWER PVC | SDMH STORM DRAIN MANHOLE | SDR35 STANDARD DIMENSIONAL RATIO 35 | SF SQUARE FEET | SL STREET LIGHT | SLPB STREET LIGHT PULL BOX | SP SPECIFIC PLAN | SPEC SPECIFICATION | SSCO SANITARY SEWER CLEAN OUT | SSMH SANITARY SEWER MANHOLE | ST STREET | STD STANDARD | STLT STREET LIGHT | SW SIDEWALK | T TELEPHONE | TBM TEMPORARY BENCHMARK | TC TOP OF CURB | TCD TRAFFIC CONTROL DEVICE | TEV TELEPHONE VAULT | TL TRAFFIC LIGHT | TOE TOP OF SLOPE | TOP TOP OF SLOPE / TOP OF PIPE | TS TRAFFIC SIGNAL | TSPB TRAFFIC SIGNAL PULL BOX | TMT TELEPHONE VAULT | TWP TOP OF WALL | TYP TYPICAL | UE UNDERGROUND ELECTRIC | UT UNDERGROUND TELEPHONE | UTIL UTILITY | VAR VARIABLE | VAT VACUUM AIR TUBE | VLT VAULT | W WEST | W WEST | W WITH | WM WATER METER | WSDOT WASHINGTON STATE DEPT. OF TRANSPORTATION | WTR WATER LINE | WV WATER VALVE | WLT WATER VAULT |
|---------------------|-------------------------------------|------------------------------|--|---|---------------|----------------|------------------------|--------------|----------------------|--------------------|---------------------------|------------|----------------|--------------------------------|---------------|-----------|--------------------|---------------|--------------------------|--------------------------|-------------------------------------|---------------|-------------|----------|-------------|-------------------|-----------------------|---------------------|-------------|--------------------------------|-------------------|-------------------|-----------------|--------------|-----------|------------------|--------------------|---------------------|---------|------------------|---------------------------|-------|----------------|--------------|--------------------------------|-------------|-------------|---------------------|---------------|---------------------|---------------|----------|---------------|----------------|----------|---------------|-------------|------------|-------------|--------------|-----------|----------|----------|--------------------|--------------------|------------------------|-----------|---------------------|----------------|-------------|------------|-------------|------------------------------|------------------------------|--------------------------|-------------------------|---------------|------------------------|---------|--|----------------------------|------------------------|--------------------------|-------------------------------------|----------------|-----------------|----------------------------|------------------|--------------------|-------------------------------|-----------------------------|-----------|--------------|-------------------|-------------|-------------|-------------------------|----------------|----------------------------|---------------------|------------------|------------------|--------------------------------|-------------------|------------------------------|---------------------|-----------------|-------------|-------------------------|--------------------------|--------------|--------------|---------------------|-----------|--------|--------|--------|----------------|--|----------------|----------------|-----------------|



VICINITY MAP
NOT TO SCALE

CIVIL SHEET INDEX

- CO.1 CIVIL TITLE SHEET
- CO.2 GENERAL NOTES SHEET
- CO.3 GENERAL NOTES SHEET
- C1.0 SITE, PAVING, AND HORIZONTAL CONTROL PLAN
- C2.0 PRECISE GRADING AND STORMWATER CONTROL PLAN
- C2.1 STORMWATER MANAGEMENT CALCULATIONS & BMP PROFILE
- C3.0 PRIVATE UTILITY PLAN
- C4.0 EROSION AND SEDIMENT CONTROL PLAN
- C5.0 STANDARD CONSTRUCTION DETAILS SHEET
- C5.1 STANDARD CONSTRUCTION DETAILS SHEET
- C5.2 STANDARD CONSTRUCTION DETAILS SHEET
- C5.3 STANDARD CONSTRUCTION DETAILS SHEET

SITE INFORMATION:

APR: 03102481010700 & 03102481010500
 ZONING: C - COMMERCIAL
 FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "C" PER FIRM PANEL NO. 5303050005A, DATED 03/18/1985. ZONE C IS DEFINED AS AREA OF MINIMAL FLOOD HAZARD.

SUMMARY:
 PARCEL ONE AREA = ±16,423 SF (±0.377 ACRES)
 PARCEL TWO AREA = ±3,180 SF (±0.073 ACRES)
 TOTAL DISTURBED AREA = ±16,167 SF (±0.371 ACRES)
 PROPOSED BUILDING FOOTPRINT AREA = ±13,809 SF

ON-SITE AREA SUMMARY:
 TOTAL DISTURBED ONSITE AREA = ±15,888 SF
 EXISTING IMPERVIOUS AREA = ± 0 SF
 EXISTING PERVIOUS AREA = ±15,888 SF
 PROPOSED IMPERVIOUS AREA = ±14,660 SF
 PROPOSED PERVIOUS AREA = ± 1,228 SF
 CHANGE IN IMPERVIOUS AREA = ±14,660 SF INCREASE

GEOTECHNICAL REPORT NOTE:

NO GEOTECHNICAL ANALYSIS OR REPORT WAS USED IN THE PREPARATION OF THESE PLANS.

LEGAL DESCRIPTION:

LOT 7, BLOCK A, LAUTERBACH'S ADDITION TO WHITE SALMON, ACCORDING TO THE PLAT THEREOF, RECORDED APRIL 9, 1908, IN BOOK 1, PAGE 50, AUDITOR'S FILE NO. 270048, KLICKITAT COUNTY PLAT RECORDS, EXCEPTING THEREFROM THAT PORTION CONVEYED TO CITY OF WHITE SALMON FOR RIVERWATCH DRIVE, CONVEYED BY DEED, RECORDED DECEMBER 8, 1994, IN BOOK 317, PAGE 081, AUDITOR'S FILE NO. 244597, KLICKITAT COUNTY DEED RECORDS, IN THE COUNTY OF KLICKITAT AND STATE OF WASHINGTON.

SURVEYOR'S NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY INFORMATION REQUESTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH THEY HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



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CITY OF WHITE SALMON CONSTRUCTION NOTES

WS-29 PROTECTION OF WORK AND PROPERTY
THE DEVELOPER SHALL EXERCISE DUE CARE TO PROTECT PROPERTY AND THE WORK ADDRESSED BY THIS AGREEMENT. THE DEVELOPER SHALL BE SOLELY RESPONSIBLE FOR ANY LOSS OR DAMAGE TO PROPERTY OR THE WORK PRIOR TO THE COMPLETION OF AND ACCEPTANCE OF THE WORK BY THE CITY.

WS-30 PUBLIC HAZARD OR INCONVENIENCE
IF THE PERFORMANCE OF THE WORK SHOULD RESULT IN HAZARD OR SUBSTANTIAL INCONVENIENCE TO THE PUBLIC, THE CITY MAY CORRECT THE SAME, IF IN THE OPINION OF THE CITY THE SAME SHOULD BE NECESSARY, AND THE DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF SUCH CORRECTIVE ACTION. THE DEVELOPER SHALL ALSO REIMBURSE THE CITY FOR THE EXPENSE INCURRED IN COMPLYING WITH ANY ORDER OF PUBLIC AUTHORITY LAWFULLY MADE WITH RESPECT TO THE WORK DURING THE PERFORMANCE OF THE WORK OR WITHIN THE TWO-YEAR GUARANTEE PERIOD AFTER ACCEPTANCE OF THE SAME.

WS-31 SAFETY
THE DEVELOPER SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK, AND FOR COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL SAFETY LAWS AND REGULATIONS. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE RIGHT OF THE CITY OR THE CITY'S ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE DEVELOPER'S PERFORMANCE OR INSPECTION OF THE WORK OR THE SITE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE DEVELOPER'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.

WS-32 SANITATION
NECESSARY SANITATION CONVENIENCE FOR THE USE OF WORKMEN ON THE JOB, PROPERLY SECLUDED FROM PUBLIC OBSERVATION, SHALL BE PROVIDED AND MAINTAINED DURING THE PERFORMANCE OF THE WORK AS REQUIRED BY THE APPROPRIATE AGENCY.

WS-33 CROSS-CONNECTION CONTROL
THE DEVELOPER SHALL COMPLY WITH ALL STATE, LOCAL AND CITY RULES AND REGULATIONS PROHIBITING CROSS-CONNECTIONS. THE DEVELOPER SHALL INSTALL AND MAINTAIN STATE APPROVED BACKFLOW PREVENTION DEVICES AS REQUIRED BY THE CITY IN ITS ABSOLUTE DISCRETION AS A CONDITION OF RECEIVING FINAL ACCEPTANCE OF THE EXTENSION IMPROVEMENTS AND UTILITIES FROM THE CITY. PRIOR TO ACCEPTANCE OF THE PROJECT, THE DEVELOPER SHALL PROVIDE THE CITY WITH A CERTIFIED FIELD COPY OF ALL PERMANENT BACKFLOW PREVENTION DEVICES.

WS-34 INSPECTION AND TESTS
ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE CITY. THE CITY SHALL AT ALL TIMES HAVE ACCESS TO THE WORK AREAS FOR INSPECTION OR PROGRESS, AND THE DEVELOPER SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND INSPECTION. THE DEVELOPER SHALL MAKE REASONABLE TESTS OF THE WORK AT THE DEVELOPER'S EXPENSE AT THE CITY'S REQUEST, WHENEVER WORK MUST BE SPECIALLY TESTED OR INSPECTED FOR COMPLIANCE WITH PUBLIC REGULATIONS AND WITH THE PLANS AND SPECIFICATIONS. THE DEVELOPER SHALL GIVE THE CITY REASONABLE NOTICE OF THE READINESS OF THE WORK FOR SUCH TEST OR INSPECTION. THE CITY SHALL HAVE ACCESS TO ANY OF ITS RESPONSIBILITIES UNDER THIS AGREEMENT, THE PRESENCE OR ABSENCE OF A CITY INSPECTOR ON ANY JOB WILL BE AT THE SOLE DISCRETION OF THE CITY, AND SUCH PRESENCE OR ABSENCE OF A CITY INSPECTOR SHALL NOT RELIEVE THE DEVELOPER OF ITS RESPONSIBILITY TO OBTAIN THE CONSTRUCTION RESULTS SPECIFIED IN THE AGREEMENT. THE CITY AND THE CITY'S ENGINEER DO NOT PURPORT TO BE A SAFETY EXPERTS, AND ARE NOT SO ENGAGED IN THAT CAPACITY WHENEVER PERFORMING INSPECTIONS AND TESTS PURSUANT TO THIS PROVISION. THE AUTHORITY OF THE CITY TO PERFORM INSPECTION AND TESTS SHALL NOT RELIEVE THE DEVELOPER OF ITS RESPONSIBILITY FOR SAFETY.

WS-35 TRAFFIC MAINTENANCE AND PROTECTION
ALL WORK SHALL BE PERFORMED WITH DUE REGARD FOR THE SAFETY AND CONVENIENCE OF THE PUBLIC AND SO THAT INTERFERENCE WITH AUTOMOTIVE AND PEDESTRIAN TRAFFIC IS MINIMIZED. FLAGGING PERSONNEL, BARRIAGES, SIGNS, AND TRAFFIC CONTROL SHALL BE FURNISHED AS REQUIRED BY THE APPROPRIATE AGENCY.

WS-37 ACCESS
TRENCHES ARE PROVIDED ACCORDING PRIVATE DRIVEWAYS AND ROADWAYS DURING THE PERIOD WHEN TRENCHES ARE OPEN TO AVOID INTERFERENCE WITH NORMAL TRAFFIC FLOW.

WS-38 REFERENCE POINTS AND INSTRUCTIONS
THE DEVELOPER SHALL PROVIDE ALL PROPERTY CORNERS AND STREET CENTRAL STAKES, AND SHALL PROVIDE REASONABLE AND NECESSARY OPPORTUNITIES AND FACILITIES FOR SETTING POINTS AND MAKING MEASUREMENTS DURING CONSTRUCTION STAGING. THE DEVELOPER SHALL NOT PROCEED WITH PROVIDING HAS BEEN MADE TO ESTABLISH SUCH POINTS AS MAY BE NECESSARY FOR THE WORK. THE WORK SHALL BE PERFORMED IN STRICT CONFORMITY WITH SUCH POINTS AND INSTRUCTIONS. THE DEVELOPER SHALL CAREFULLY PRESERVE ALL REFERENCE POINTS AND STAKES, AND, IN CASE OF DESTRUCTION, SHALL BE RESPONSIBLE FOR ANY RESULTING EXPENSE SUCH AS THE COST OF RESTAKING AND SHALL BE RESPONSIBLE FOR ANY ERRORS THAT MAY BE CAUSED BY THEIR ABSENCE OR DISTURBANCE.

WS-39 ALIGNMENT OF PIPES AND APPURTENANCES
THE DEVELOPER SHALL FURNISH SUFFICIENT HORIZONTAL CONTROL, INCLUDING LOT STAKES AND CONSTRUCTION CONTROL FOR LOCATING AND MAKING ALL APPURTENANCES, CORRECTNESS OF SUCH HORIZONTAL CONTROL IS THE SOLE RESPONSIBILITY OF THE DEVELOPER AND ANY MODIFICATION OF HORIZONTAL LOCATION OF ANY FACILITY SHALL BE AT THE DEVELOPER'S EXPENSE.

WS-40 CONFINEMENT OF DEVELOPERS OPERATIONS
THE DEVELOPER SHALL CONFINER CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY OF THE DEVELOPER AND THE LIMITS OF EASEMENTS AND CONSTRUCTION PERMITS OUTSIDE OF THE DEVELOPERS PROPERTY. ALL WORK ON EASEMENTS AND PERMIT AREAS OUTSIDE THE DEVELOPERS PROPERTY SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE EASEMENT OR PERMIT WITH WHICH PROVISIONS THE DEVELOPER SHALL FAMILIARIZE ITSELF. ANY DAMAGE TO PROPERTY OR PERSONS FROM ANY ENCROACHMENT BEYOND THESE LIMITS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.

WS-41 RESTORATION OF IMPROVEMENTS
CULVERTS, DRAINWAYS, ROADWAYS, PIPELINES, OR OTHER EXISTING IMPROVEMENTS LOCATED WITHIN EASEMENTS AND PUBLIC RIGHTS-OF-WAY WHICH ARE REMOVED OR DISTURBED IN THE COURSE OF THE WORK SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE EXPENSE OF THE DEVELOPER, IN CUTTING THROUGH ESTABLISHED LINKS. THE SOIL SHALL BE RESTORED BEFORE TRENCHING AND BACKFILLING TO THE SATISFACTION OF THE PROPERTY OWNER. PRIVATE IMPROVEMENTS AND LANDSCAPED AREAS SHALL BE RESTORED TO THEIR FORMER CONDITION AT THE EXPENSE OF THE DEVELOPER. A SIGNED RELEASE FROM THE AFFECTED PROPERTY OWNER WILL BE REQUIRED AS A MINIMUM REQUIREMENT. ALL RESTORATION SHALL BE CONFORMED TO THE CONDITION OF THE AREA PRIOR TO CONSTRUCTION. IN AREAS WHERE RESTORATION OF EXISTING IMPROVEMENTS IS NECESSARY AND TO PROVIDE RECORDS OF EXISTING IMPROVEMENTS, THE DEVELOPER SHALL PROVIDE PHOTOGRAPHS BEFORE AND AFTER CONSTRUCTION AS REQUIRED IN A FORMAT ACCEPTABLE TO THE CITY.

WS-42 EROSION CONTROL
EROSION AND SEDIMENT CONTROL THROUGHOUT THE PROJECT INCLUDING UPSTREAM AND DOWNSTREAM PROPERTIES SHALL BE THE RESPONSIBILITY OF THE DEVELOPER. THE DEVELOPER SHALL DETERMINE THE APPROPRIATE TEMPORARY EROSION AND SEDIMENTATION CONTROL NECESSARY FOR THE CONSTRUCTION TIME OF THE YEAR AND SHALL FURNISH AND INSTALL THE NECESSARY CONTROLS AS THE FIRST ORDER OF WORK. SUCH EROSION CONTROL SHALL BE FULLY MAINTAINED DURING THE COURSE OF CONSTRUCTION, MODIFYING THE CONTROL, WHEN NECESSARY, TEMPORARY EROSION AND SEDIMENTATION CONTROL SHALL CONSIST OF AND BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF ECOLOGY'S STORM MANAGEMENT FOR THE PUGET SOUND REGION TECHNICAL MANUAL FOR EROSION CONTROL. UPON FAILURE OF THE DEVELOPER TO PROVIDE IMMEDIATELY SUCH EROSION CONTROL, THE CITY SHALL BE AT LIBERTY, WITHOUT FURTHER NOTICE TO THE DEVELOPER, TO INSTALL AND REMOVE THE NECESSARY EROSION CONTROL. THE DEVELOPER SHALL REIMBURSE THE CITY FOR ANY COSTS INCURRED ON ACCOUNT THEREOF.

WS-43 TRAFFIC SAFETY SYSTEMS
THE DEVELOPER SHALL PROVIDE SAFETY SYSTEMS FOR TRENCH EXCAVATION THAT MEET THE REQUIREMENTS OF THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT, CHAPTER 49.17 RCW, AND ANY REGULATIONS PUBLISHED THEREUNDER, FOR ALL TRENCH EXCAVATION THAT WILL EXCEED A DEPTH OF 4 FEET.

WS-44 EXCAVATION AND BACKFILL
THESE SPECIFICATIONS REFER PARTICULARLY TO TRENCH EXCAVATION. HOWEVER, THE APPLICABLE PROVISIONS SHALL ALSO APPLY TO ALL EXCAVATION AND BACKFILL FOR MANHOLES, STRUCTURES AND OTHER SPECIAL APURTENANCES. ALL EXCAVATION PERFORMED SHALL BE CONSIDERED UNCLASSIFIED, BUT UNLIMITED SHALL CONSIST OF THE REMOVAL OF ALL MATERIAL ENCOUNTERED, INCLUDING, BUT NOT LIMITED TO CUTTING AND REMOVAL OF EXISTING SURFACING, TREE STUMPS, TREES, LOGS, ABANDONED REAL TIES, PILING, REPAIR, ROCK,

ETC. THE ROOT SYSTEMS OF ALL TREES WHICH ARE OUTSIDE OF THE EASEMENTS OR THE RIGHT-OF-WAY SHALL NOT BE CUT OR DISTURBED, BUT SHALL BE TUNNELED OR OTHERWISE PROTECTED BY THE DEVELOPER TO ENSURE THAT NO DAMAGE IS DONE. WHENEVER TRENCHING IS PERFORMED THROUGH PAVED AND CURBED AREAS, THE HARD SURFACE SHALL BE PROTECTED WITH SANS OR MECHANICAL CUTTERS IN ORDER TO MAINTAIN THE REMOVAL. THE PAVEMENT AND CONCRETE SO REMOVED SHALL BE LOADED AND HAILED TO WASTE. DURING EXCAVATION, INSTALLING OF PIPELINES AND STRUCTURES, AND THE PLACING OF BACKFILL, EXCAVATIONS SHALL BE KEPT FREE OF WATER. THE DEVELOPER SHALL FURNISH ALL EQUIPMENT NECESSARY TO DRAINER THE EXCAVATION AND SHALL DISPOSE OF THE WATER AS REQUIRED BY THE REGULATORY AGENCIES AND IN SUCH A MANNER AS NOT TO CAUSE A NUISANCE OR ANNOYANCE TO THE PUBLIC. THE DRAINAGE SYSTEM SHALL BE INSTALLED AND OPERATED BY THE DEVELOPER AT ALL TIMES. THE WATER LEVEL DURING THE EXCAVATION IS NOT REDUCED TO THE EXTENT THAT THE ADJACENT STRUCTURES OR PROPERTY ARE ENDANGERED OR DAMAGED. THE REMOVAL OF GROUND WATER TO STABILIZE THE SOIL SHALL BE PERFORMED IN SUCH A MANNER AS TO MAINTAIN THE UNDISTURBED STATE OF THE NATURAL FOUNDATION SOIL. PREVENT DISTURBANCE OF BACKFILL, AND PREVENT MOVEMENT OF STRUCTURES AND PIPELINES, WHEN THE UNDISTURBED CONDITION OF NATURAL SOILS IS NECESSARY FOR SUPPORT OF THE PLANNED CONSTRUCTION. BACKFILL MATERIALS SHALL BE EXTENDED BELOW THE STRUCTURE OR PIPELINE GRADES TO PERMIT THE PLACING OF FOUNDATION GRAVEL. THE WATER MAIN SHALL BE BEDDED TO A POINT 6 INCHES OVER THE CROWN OF THE PIPE BY HAND SHOVELING THE MATERIAL INTO PLACE AND WORKING IT UNDER AND AROUND THE PIPE AND COMPACTING IT WITH FOOT TAMPING OR OTHER SUITABLE MEANS TO PROVIDE PROPER SUPPORT TO THE PIPE IN ITS BACKFILLED CONDITION. EXCAVATED MATERIAL WHICH IS UNSUITABLE FOR BEDDING THE PIPE SHALL BE HAULED TO WASTE AND THE PIPE BEDDED WITH GRAVEL BACKFILL. FOR PIPE BEDDING AS INDICATED IN THE SPECIFICATIONS FOR GRAVEL MATERIALS, THE GRAVITY SEWER SHALL BE BEDDED TO A POINT 12 INCHES OVER THE CROWN OF THE PIPE BY HAND SHOVELING THE MATERIAL INTO PLACE AND WORKING IT UNDER AND AROUND THE PIPE AND COMPACTING IT WITH FOOT TAMPING OR OTHER SUITABLE MEANS TO PROVIDE PROPER SUPPORT TO THE PIPE IN ITS BACKFILLED CONDITION. THE PIPE SHALL BE BEDDED WITH GRAVEL BACKFILL FOR PIPE BEDDING (OR PEA GRAVEL) AS INDICATED IN THE SPECIFICATIONS FOR GRAVEL MATERIALS. FROM THE POINTS DESCRIBED ABOVE TO FINISHED GRADE, ALL BACKFILL MATERIALS SHALL BE COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MOISTURE PROCTOR DRY MAXIMUM DENSITY PER ASTM D1557. THE DEVELOPER SHALL PROVIDE THE CITY WITH LABORATORY TEST RESULTS INDICATING COMPACTNESS OF THE TRENCHES MEET THIS REQUIREMENT.

WS-46 CONTROLLED DENSITY FILL

CONTROLLED DENSITY FILL (CDF) SHALL BE A MIXTURE OF PORTLAND CEMENT, FLY ASH, AGGREGATES, WATER AND ADMIXTURES PROPORTIONED TO PROVIDE A NON-SEGREGATING, SELF-CONSOLIDATING, FREE-DRAINING AND EXCAVABLE MATERIAL WHICH WILL RESULT IN A HARDENED, STONE-SETTING FILL. CDF SHALL BE BATCHED AND MIXED IN ACCORDANCE WITH SECTION 6-02.3 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, & HIGHWAY CONSTRUCTION. THE FOLLOWING TABLE SHALL BE USED TO DETERMINE THE PROPORTIONS OF THE MATERIALS ARE AS FOLLOWS:

1. PORTLAND CEMENT AASHTO M85 OR WSDOT/79-01
 2. FLY ASH CLASS F
 3. AGGREGATES WSDOT/79-03.1(2)B
 4. WATER WSDOT/79-25
- THE PROPORTIONS OF THE MATERIALS SHALL BE AS FOLLOWS:
- 1. PORTLAND CEMENT SHALL BE USED IN THE FOLLOWING PROPORTIONS FOR 1 MIBC YARD. BATCH WEIGHTS MAY VARY DEPENDING ON SPECIFIC WEIGHTS OF AGGREGATES. MAX. GALLONS OF MIXING WATER PER CUBIC SO YARD LBS. OF CEMENT PER CUBIC YARD 50 LBS. OF FLY ASH PER CUBIC YARD 300 LBS. OF DRY AGGREGATE PER CUBIC YARD 1.5 CUM YARD. THE TOTAL WEIGHT OF THE MIXTURE SHALL NOT EXCEED 100 PSI MAXIMUM AT 28 DAYS CDF SHALL BE BATCHED TO PROVIDE A FLOWABLE, NON-SEGREGATING MIX WITH A SLUMP BETWEEN 6 AND 8 INCHES. CDF SHALL BE DISCHARGED FROM THE MIXER BY ANY REASONABLE MEANS INTO THE AREA TO BE FILLED. THE CDF SHALL BE BROUGHT UP UNIFORMLY TO THE ELEVATION SHOWN ON THE PLANS. CDF, SHALL NOT BE PLACED ON FROZEN GROUND, CDF PAVING, MIXING, AND PLACING MAY BE STARTED IF WEATHER CONDITIONS ARE FAVORABLE, WHEN THE TEMPERATURE IS AT 34 DEGREES F AND RISING. AT THE TIME OF PLACEMENT, CDF MUST HAVE A TEMPERATURE OF AT LEAST 40 DEGREES F. MIXING AND PLACING SHALL STOP WHEN THE TEMPERATURE IS 38 DEGREES F OR LESS AND FALLING. EACH FILLING STAGE SHALL BE AS CONTINUOUS AN OPERATION AS IS PRACTICABLE FOR FLOWABLE CDF. COMPACTION IS NOT NECESSARY FOR PLACEMENT. THE DEVELOPER MAY, AS AN OPTION, ADJUST THE WATER CONTENT ONLY TO OBTAIN A 0 TO 11 INCH MAXIMUM SLUMP MIXTURE WHICH IF USED SHALL BE COMPACTED IN LISTS NOT TO EXCEED 12 INCHES. COMPACTION SHALL BE ACCOMPLISHED BY USE OF A HAND VIBRATORY PLATE OR HOE-PACK. THE DEVELOPER SHALL HAVE A STEEL PLATE COVER PLACED AND ANCHORED OVER THE TRENCH UNTIL THE CITY DETERMINES THE MIXTURE IS SUFFICIENTLY CURED, SO THAT A PERMANENT PATCH CAN BE MADE.

WS-48 RESTORATION OF SURFACE IMPROVEMENTS
THE RESTORATION OF VARIOUS TYPES OF SURFACE IMPROVEMENTS SHALL BE AS DESCRIBED BELOW. THE DEVELOPER SHALL BE RESPONSIBLE FOR ALL REMOVAL AND REPAIRS AND SHALL BE RESPONSIBLE FOR THE PERMANENT RECORDS AS COMPLETED. THE DEVELOPER SHALL REPAIR OR REPLACE ALL AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION.

TEMPORARY SURFACE REPAIR
THE DEVELOPER SHALL PLACE A TEMPORARY SURFACE REPAIR IMMEDIATELY AFTER BACKFILL IN ALL STREETS AND DRIVEWAYS. THE MATERIAL SHALL BE MC-2 ASPHALTIC CONCRETE COMMONLY REFERRED TO AS "COLD MIX" WHICH SHALL BE THOROUGHLY COMPACTED AND BROUGHT TO A SMOOTH GRADE PRIOR TO PLACING THE MATERIAL.

ASPHALT CONCRETE PAVEMENT REPAIR
ALL PAVEMENT CUTS SHALL BE APPROVED BY THE CITY BEFORE REMOVAL OF PAVEMENT. ALL PAVEMENT CUTS SHALL BE CONTINUOUS AND SHALL BE MADE WITH A MACHINE SPECIALLY EQUIPPED FOR THIS PURPOSE. NO SKIP CUTTING WILL BE ALLOWED. MATERIALS SHALL CONFORM WITH SECTION 9.03 OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, & MUNICIPAL CONSTRUCTION OF THE STATE OF WASHINGTON. ASPHALT TREATED BASE SHALL BE USED AS SHOWN ON THE STANDARD DETAIL. ALL ASPHALT TREATED BASE SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 4-04.06. STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, & MUNICIPAL CONSTRUCTION OF THE STATE OF WASHINGTON. THE PENETRATION OF THE ASPHALT USED SHALL BE BETWEEN 85 AND 100, VISCOSITY GRADE ARHOOL, ASPHALT USED FOR PAVEMENT REPAIR SHALL BE ASPHALT CONCRETE PAVEMENT CLASS 8F AND SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 5-04, STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION OF THE STATE OF WASHINGTON. 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WATER SYSTEM INSTALLATION NOTES

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1. PRIOR TO ANY CONSTRUCTION ACTIVITY, THE DEVELOPER SHALL ARRANGE AND ATTEND A PRE CONSTRUCTION CONFERENCE WITH THE CITY, THE DEVELOPER, CONTRACTOR AND PROPOSED ON SITE SUPERVISORS SHALL ATTEND.
2. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST REVISION, INCLUDING ADDENDA AND UPDATES, OF THE CITY OF WHITE SALMON CONSTRUCTION STANDARD SPECIFICATIONS AND DETAILS. CONTRACTOR SHALL HAVE THE CITY OF WHITE SALMON STANDARDS ON THE JOBSITE ANY TIME CONSTRUCTION IS IN PROGRESS.
3. NO CITY INSPECTIONS WILL TAKE PLACE AND THE JOB WILL BE SHUT DOWN UNLESS AN APPROVED AND CITY SIGNED COPY OF THE PLANS IS ON THE JOB SITE AT ALL TIMES CONSTRUCTION IS IN PROGRESS.
4. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY DEVIATION FROM THE PLANS WILL REQUIRE APPROVAL FROM THE OWNER, ENGINEER, CITY AND APPROPRIATE PUBLIC AGENCIES.
5. NOTIFY THE CITY 72 HOURS (3 WORKING DAYS) PRIOR TO BEGINNING CONSTRUCTION AND FOR ANY RESTARTS OF WORK.
6. THE CITY SHALL BE NOTIFIED THREE WORKING DAYS PRIOR TO THE TIME THE DEVELOPER WOULD LIKE TO CONNECT TO EXISTING MAINS OR FOR INSTALLATION OF TAPPING TEES. THE CONNECTION SHALL BE DONE IN ACCORDANCE WITH CITY REQUIREMENTS. CONNECTIONS TO TAKE PLACE TUESDAYS THROUGH THURSDAYS ONLY. DEVELOPER SHALL NOT OPERATE ANY CITY VALVES; THESE WILL BE OPERATED BY CITY PERSONNEL ONLY.
7. FOR AID IN UTILITY LOCATION, CALL 811 A MINIMUM OF 48 HOURS (2 WORKING DAYS) PRIOR TO BEGINNING CONSTRUCTION. EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, SHALL BE LOCATED PRIOR TO CONSTRUCTION, SO AS TO AVOID DAMAGE OR DISTURBANCE. AND THE DEVELOPER SHALL ASSUME ALL RESPONSIBILITY AND COSTS ASSOCIATED THEREWITH TO PROTECT, MAINTAIN AND REPAIR, WHERE NECESSARY.
8. WATER LINE CONSTRUCTION WITHIN THE PROPOSED DEVELOPMENT SHALL NOT COMMENCE UNTIL THE STREET HAS BEEN BROUGHT TO SUB-GRADE, MEETING CITY APPROVAL.
9. WATER MAIN SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION, WITH 25 FOOT STAKES ON CURVES. LOT CORNERS STAKES SHALL ALSO BE IN PLACE PRIOR TO CONSTRUCTION.
10. PIPE SHALL BE C-900 PVC CONFORMING TO AWWA STANDARDS. WHERE SYSTEM PRESSURES EXCEED 150 PSI PIPE SHALL BE PRESSURE CLASS 350 DUCTILE IRON PIPE MEETING AWWA STANDARDS. ALL FITTINGS SHALL BE AWWA, CEMENT LINED, DUCTILE IRON, AND EITHER MECHANICAL JOINT (MJ) OR FLANGED (FL), AS INDICATED HEREIN. ALL PIPE TO BE PURCHASED AND INSTALLED AS A PART OF THE DEVELOPER'S WATER SYSTEM SHALL BE DELIVERED TO THE JOB SITE WITH WATER TIGHT WRAPPING OR PIPE PLUGS. PLUGS AND/OR WRAPPING SHALL REMAIN IN PLACE UNTIL THE PIPE IS INSTALLED IN THE TRENCH.
11. UNLESS OTHERWISE SPECIFIED SMALLER THAN 12 INCH AND SMALLER SHALL BE DUCTILE IRON, RESILIENT SEATED GATE VALVES MEETING AWWA STANDARDS. ACCEPTABLE VALVES ARE KENNEDY, MAH, MUELLER, CLOW OR APPROVED EQUAL. VALVES LARGER THAN 12 INCHES SHALL BE DUCTILE IRON BUTTERFLY VALVES. ACCEPTABLE VALVES ARE PRATT CROWHORN, DRESSER 450 OR APPROVED EQUAL.
12. ALL BOLTS ON WATER WORKS FITTINGS SHALL BE COATED WITH ARMIITE ANTI SEIZE COMPOUND NO. 609, OR APPROVED EQUAL, PRIOR TO INSTALLATION. ALL WATER WORKS FITTINGS AND BOLTED ASSEMBLIES SHALL BE COMPLETELY COVERED WITH MINIMUM 4 MIL. VESSELEN PLASTIC. THE ENDS OF THE PLASTIC SHALL BE TAPED TO SECURE THEM TO THE PIPE.
13. HYDRANTS SHALL BE KENNEDY K81, MAH 929 OR APPROVED EQUAL MEETING AWWA STANDARDS. HYDRANTS SHALL BE FURNISHED WITH THREADED OUTLETS MEETING FIRE DEPARTMENT/DISTRICT STANDARDS. BOTH THRUST BLOCKING AND EITHER MEGA LUG OR ROMA GRIP RESTRAINTS ARE REQUIRED ON EACH HYDRANT INSTALLATION. HYDRANT PUMPER PORTS SHALL HAVE 4 1/2" NST THREADS AND BE EQUIPPED WITH A 5 INCH STORZ ADAPTER. ALL HYDRANTS SHALL BE PAINTED WITH TWO COATS OF PRESERVATIVE PINKS "SAFETY YELLOW" OR APPROVED EQUAL.
14. PROVIDE THRUST BLOCKING AND/OR RESTRAINED JOINTS AT ALL FITTINGS, BENDS AND UP THRUST FITTINGS, IN ACCORDANCE WITH CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS.
15. ALL NEW CONNECTIONS TO THE EXISTING WATER SYSTEM SHALL BE IN STRICT CONFORMANCE WITH THE APPROPRIATE SUBSECTIONS OF THE SPECIFICATIONS OF THE CITY. NO MORE THAN ONE CONNECTION SHALL BE MADE BETWEEN THE NEW MAIN(S) AND THE EXISTING MAIN(S) UNTIL THE NEW PIPING HAS BEEN FLUSHED, DISINFECTED, PRESSURE TESTED AND RECEIVED SATISFACTORY BACTERIOLOGICAL TEST RESULT.
16. INDIVIDUAL WATER SERVICES TO THE PROPERTY LINE SHALL BE 1" DIAMETER MINIMUM SIZE AND BE INSTALLED WITH 3/8" MINIMUM COVER.
17. RESIDENTIAL FIRE SPRINKLER SYSTEMS SHALL HAVE A MINIMUM 1 INCH METER/SERVICE. BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED ON ALL RESIDENTIAL FIRE SPRINKLER SYSTEMS AND LOCATED IMMEDIATELY BEHIND THE WATER METER/SERVICE ON THE PROPERTY SIDE.
18. FIRE LINE SERVICES SHALL HAVE A DOUBLE CHECK DETECTOR BACKFLOW PREVENTION ASSEMBLY INSTALLED IN A UTILITY VAULT AT THE ROW/PROPERTY LINE WITH A 6 INCH PVC GRAVITY DRAIN TO STORM. FIRE LINE SERVICE SHALL TERMINATE, IN THE STRUCTURE TO BE SERVED, WITH THE CITY'S RISER DETAIL.
19. ALL COMMERCIAL, MULTI-FAMILY, INDUSTRIAL AND IRRIGATION SERVICES SHALL INCLUDE A JOH APPROVED BACKFLOW PREVENTION ASSEMBLY LOCATED IMMEDIATELY BEHIND AND ON THE PROPERTY SIDE OF THE WATER METER/SERVICE. ALTERNATE LOCATIONS MAY BE ACCEPTABLE UPON APPROVAL BY THE CITY. STRUCTURES INCLUDING FIRE SPRINKLER SYSTEMS SHALL HAVE AT LEAST ONE BACKFLOW PREVENTION ASSEMBLY PER EACH STRUCTURE, PROTECTING THE POTABLE WATER SYSTEM FROM THE FIRE SYSTEM. THE BACKFLOW PREVENTION ASSEMBLY SHALL BE LOCATED IN A FLOOD PROOF VAULT OR SERVICE BOX, DEPENDING ON SIZE, OUTSIDE THE STRUCTURE IN A LOCATION APPROVED BY THE CITY.
20. WHERE ROAD GRADES ARE ESTABLISHED, PROVIDE A MINIMUM OF 48 INCHES OF COVER OVER 12 INCH OR LARGER WATER MAINS, AND PROVIDE A MINIMUM OF 42 INCHES OF COVER OVER 8 INCH MAINS; OR ADDITIONAL DEPTH AS REQUIRED TO MEET OTHER UTILITIES.
21. WATER MAINS CONSTRUCTED WITHIN EASEMENTS OR PRIVATE ROADS SHALL BE INSTALLED WITH POLYETHYLENE ENCASEMENT (OR PIPE), RESTRAINED JOINTS AND WITH A 5" O" MINIMUM COVER. DURING BACKFILL OPERATIONS, FURNISH AND INSTALL 3 INCH WIDE METALLIC MARKER TAPE OVER THE WATER MAIN WITH 3 FEET OF COVER.
22. MINIMUM RADIUS FOR 12 INCH AND SMALLER PIPELINES CONSTRUCTED ON CURVES IS 258 FEET (4 DEGREES DEFLECTION PER JOINT).
23. COMPACTION: ALL TRENCH BACKFILLS, AND ROADWAY EMBANKMENT SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DRY MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557, EXCEPT THE TOP 6 INCHES IN PAVED AREAS, WHICH SHALL BE 100% CDF SHALL BE REQUIRED FOR ANY ROADWAY CROSSINGS.
24. CONSTRUCTION INSPECTION WILL BE DONE BY THE CITY AND/OR THEIR DESIGNATED ENGINEER. NO NEW FACILITIES WILL BE ACCEPTED BY THE CITY IF PROPER INSPECTIONS HAVE NOT BEEN COMPLETED.
25. THE WATER MAIN CONSTRUCTION PHASE WILL NOT BE CONSIDERED COMPLETE UNTIL THE INSTALLATION IS ACCEPTABLE TO THE CITY INCLUDING A SATISFACTORY HYDROSTATIC PRESSURE TEST, A SATISFACTORY DISINFECTON TEST, SATISFACTORY FLOW OF SERVICE LINES AND COMPLETION OF ALL ITEMS ON THE INSPECTOR'S PUNCH LIST.
26. WATER SERVICE IS AVAILABLE ONLY AFTER TRANSFER OF OWNERSHIP TO THE CITY AND PAYMENT OF ALL CURRENT APPLICABLE FEES.



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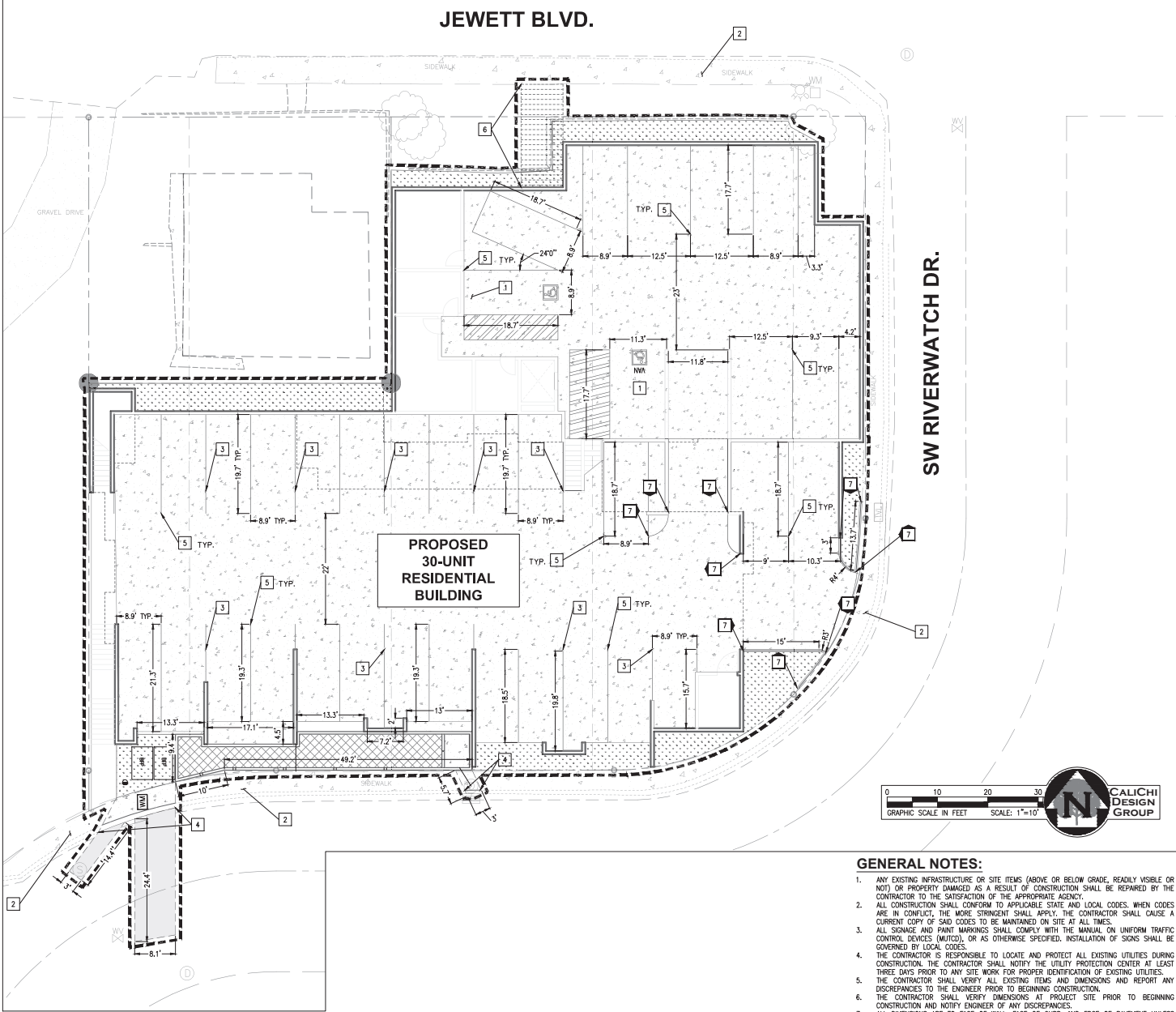
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157 W. LEWETT BLVD.
WHITE SALMON, WA 98672

PERMITTING

GENERAL NOTES
SHEET
C0.3

JEWETT BLVD.



**PROPOSED
30-UNIT
RESIDENTIAL
BUILDING**

SW RIVERWATCH DR.

| PROPOSED | | LEGEND | EXISTING |
|----------|---|---|----------|
| 9 | PROPERTY LINE | 1-FOOT CONTOUR | 9 |
| 10 | 5-FOOT CONTOUR | 5-FOOT CONTOUR | 10 |
| WTR | WATER LINE | FIRE PROTECTION WATER LINE | WTR |
| FP | SANITARY SEWER LINE | SANITARY SEWER LINE | FP |
| SS | STORM DRAIN LINE | STORM DRAIN LINE | SS |
| SD | OVERHEAD ELECTRIC | OVERHEAD ELECTRIC | OE |
| UE | UNDERGROUND ELECTRIC | UNDERGROUND ELECTRIC | UE |
| G | GAS LINE | GAS LINE | G |
| X | FENCE | FENCE | X |
| - - - | GRADE BREAK | GRADE BREAK | - - - |
| TREE | TREE | TREE | TREE |
| SIGN | SIGN | SIGN | SIGN |
| WM | FIRE HYDRANT | FIRE HYDRANT | WM |
| WV | WATER METER/VALVE/BACKFLOW PREVENTER | WATER METER/VALVE/BACKFLOW PREVENTER | WV |
| BP | SANITARY MANHOLE | SANITARY MANHOLE | BP |
| SC | SANITARY CLEANOUT | SANITARY CLEANOUT | SC |
| EB | ELECTRIC BOX/PEDESTAL | ELECTRIC BOX/PEDESTAL | EB |
| GV | GAS VALVE | GAS VALVE | GV |
| TE | TELECOMM BOX/PEDESTAL | TELECOMM BOX/PEDESTAL | TE |
| LP | LIGHT POLE | LIGHT POLE | LP |
| UP | POWER/UTILITY POLE | POWER/UTILITY POLE | UP |
| SM | STORM MANHOLE/NLET/CATCH BASIN | STORM MANHOLE/NLET/CATCH BASIN | SM |
| SDC | STORM DRAIN CLEANOUT | STORM DRAIN CLEANOUT | SDC |
| ALD | APPROXIMATE LIMIT OF DISTURBANCE | APPROXIMATE LIMIT OF DISTURBANCE | ALD |
| PCC | STANDARD-DUTY PCC PAVEMENT PER DETAIL 3 ON SHEET CS.0 | STANDARD-DUTY PCC PAVEMENT PER DETAIL 3 ON SHEET CS.0 | PCC |
| AC | PROPOSED STANDARD AC PAVEMENT PER DETAIL 4 ON SHEET CS.2 | PROPOSED STANDARD AC PAVEMENT PER DETAIL 4 ON SHEET CS.2 | AC |
| LS | PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS. | PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS. | LS |
| SS | PROPOSED STORMWATER SUBSURFACE INFILTRATION CHAMBER | PROPOSED STORMWATER SUBSURFACE INFILTRATION CHAMBER | SS |

SITE PLAN KEY NOTES

1. PROPOSED ACCESSIBLE PARKING STALL(S) - SEE DETAILS 5 ON SHEET CS.0.
2. EXISTING SIDEWALK AND CURB ADJACENT TO PROPOSED BUILDING TO REMAIN - PROTECT IN PLACE UNLESS NOTED OTHERWISE ON THESE PLANS.
3. PROPOSED BUILDING CURB - SEE ARCHITECTURAL PLANS.
4. PROPOSED 1' ROLLED CURB - MATCH EXISTING.
5. PROPOSED PAVEMENT MARKINGS PER MUTCD STANDARDS.
6. SECOND FLOOR BRIDGE TO TIE INTO JEWETT BLVD. SIDEWALK. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
7. PROPOSED 6" VERTICAL CURB PER DETAIL 1 ON SHEET CS.3

ENGINEER'S ADA NOTES:

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
2. RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
3. RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES.
4. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
5. TRUNCATED DOMES AS DETECTABLE WARNINGS ARE REQUIRED ON ALL WALKS THAT CROSS OR ADJACENT A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN WALKWAY AND VEHICULAR WAY.
6. ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PRIMARY OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND LATER FOUND TO BE NON-COMPLIANT WITH THE RD PROCESS IN ESTABLISHING THE APPROVAL OR DENIAL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
7. 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.

GENERAL NOTES:

1. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
2. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
3. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
4. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
5. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.



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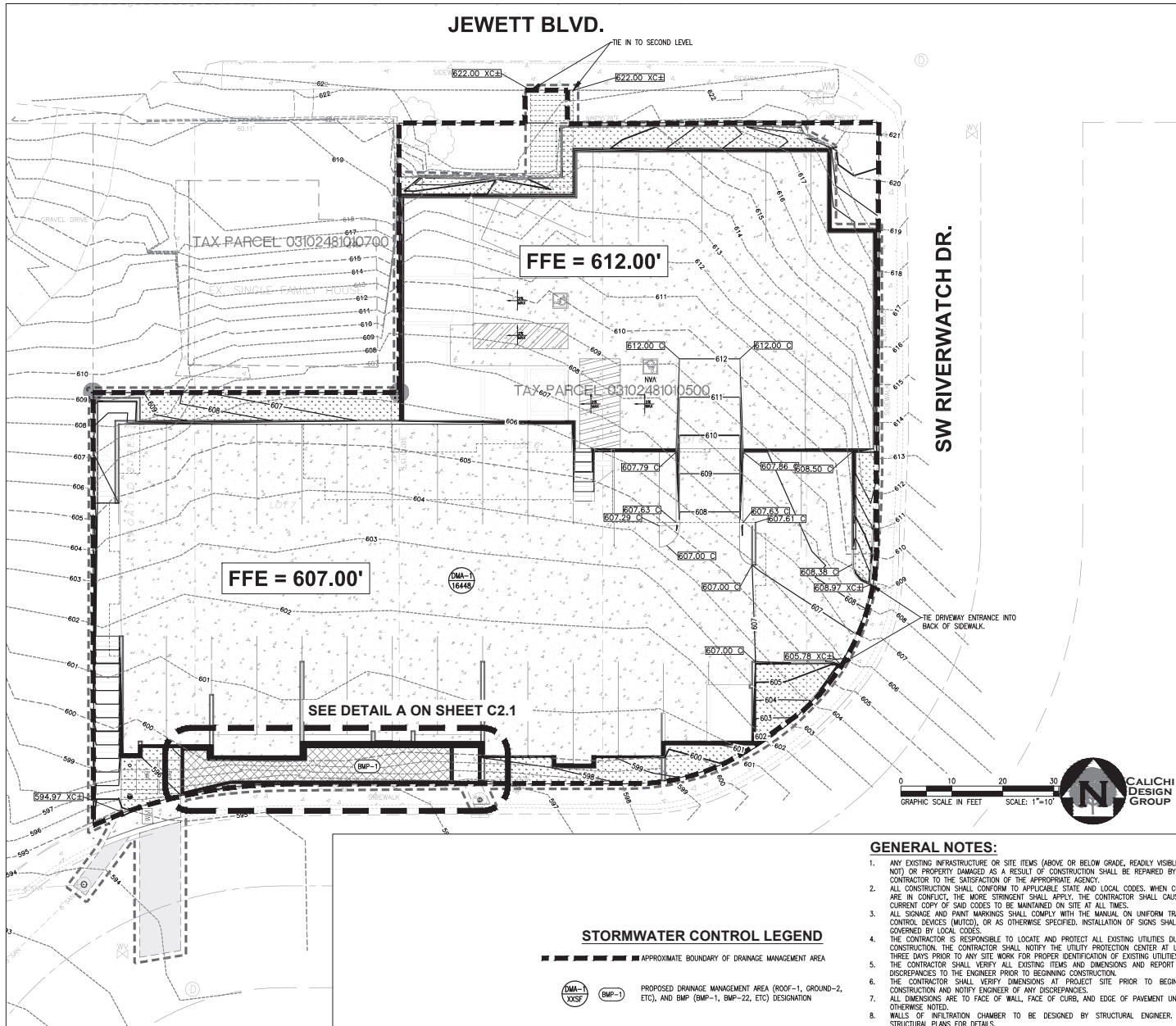
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RIVERWATCH, LLC
157 W JEWETT BLVD.
WHITE SALMON, WA 98672

PERMITTING

SITE, PAVING AND
HORIZONTAL
CONTROL PLAN

C1.0

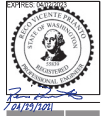


| PROPOSED | LEGEND | EXISTING |
|----------|--|----------|
| 9 | PROPERTY LINE | 9 |
| 10 | 1-FOOT CONTOUR | 10 |
| WTR | 5-FOOT CONTOUR | WTR |
| FP | WATER LINE | FP |
| SS | FIRE PROTECTION WATER LINE | SAN |
| SD | SANITARY SEWER LINE | SD |
| UE | STORM DRAIN LINE | OE |
| G | OVERHEAD ELECTRIC | UE |
| X | UNDERGROUND ELECTRIC | X |
| | GAS LINE | |
| | FENCE | |
| | GRADE BREAK | |
| | TREE | |
| | SIGN | |
| | FIRE HYDRANT | |
| WM | WATER METER/VALVE/BACKFLOW PREVENTER | WM |
| BP | SANITARY MANHOLE | BP |
| | SANITARY CLEANOUT | |
| | ELECTRIC BOX/PEDESTAL | |
| | GAS VALVE | |
| | TELECOMM BOX/PEDESTAL | |
| | LIGHT POLE | |
| | POWER/UTILITY POLE | |
| | STORM MANHOLE/INLET/CATCH BASIN | |
| | STORM DRAIN CLEANOUT | |
| | APPROXIMATE LIMIT OF DISTURBANCE | |
| | STANDARD-DUTY PCC PAVEMENT PER DETAIL 3 ON SHEET C5.0 | |
| | PROPOSED STANDARD AC PAVEMENT PER DETAIL 4 ON SHEET C5.2 | |
| | PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS | |
| | PROPOSED STORMWATER SUBSURFACE INFILTRATION CHAMBER | |

| SPOT GRADING LEGEND | |
|---------------------|---|
| 800.00 X=C | INDICATES ELEVATION TO MATCH EXISTING ITEM |
| 800.00 TC | INDICATES ELEVATION AT TOP OF CURB |
| 800.00 G | INDICATES ELEVATION AT FINISHED GROUND |
| 800.00 C | INDICATES ELEVATION AT TOP OF CONCRETE |
| 800.00 FL | INDICATES FLOWLINE ELEVATION OF PIPE, SWALE, OR GUTTER |
| 800.00 RM | INDICATES RIM ELEVATION OF UTILITY |
| 800.00 P | INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT |
| 800.00 CB=C | INDICATES CHAMBER BOTTOM IS EQUAL TO GROUND ELEVATION |
| 800.00 CB=C | INDICATES CHAMBER BOTTOM IS EQUAL TO CONCRETE ELEVATION |
| 800.00 CT | INDICATES ELEVATIONS AT CHAMBER TOP |
| 800.00 W | INDICATES ELEVATION AT TOP OF WEIR |
| 800.00 FF | INDICATES ELEVATION AT FLOOR FINISH |
| 1.5% | DRAINAGE ARROW AND PROPOSED SLOPE |

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 - ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL OBTAIN A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
 - ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
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 - THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 - WALLS OF INFILTRATION CHAMBERS TO BE DESIGNED BY STRUCTURAL ENGINEER. SEE STRUCTURAL PLANS FOR DETAILS.

- ENGINEER'S ADA NOTES:**
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 - 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.



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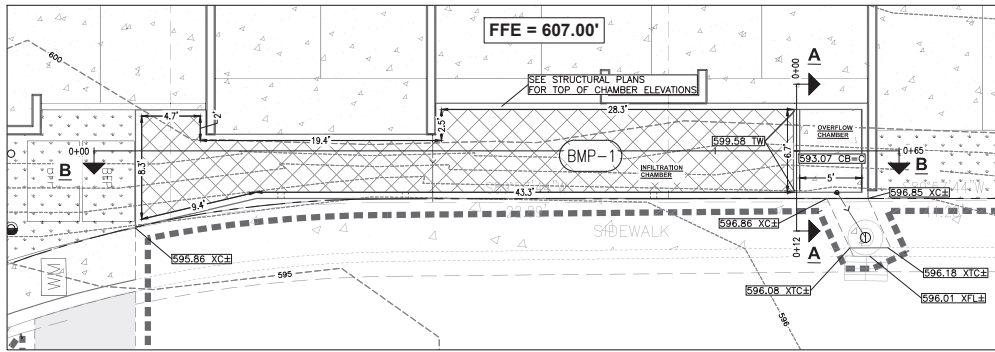
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RIVERWATCH, LLC
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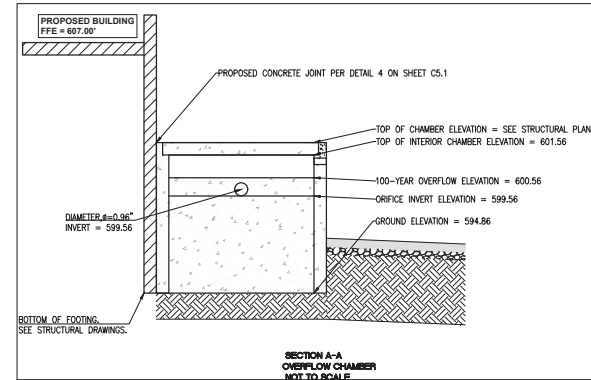
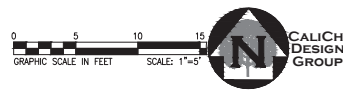
PERMITTING

PRECISE GRADING
AND STORM WATER
CONTROL PLAN

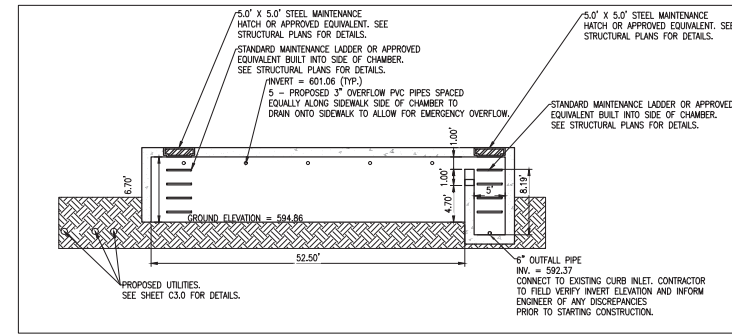
C2.0



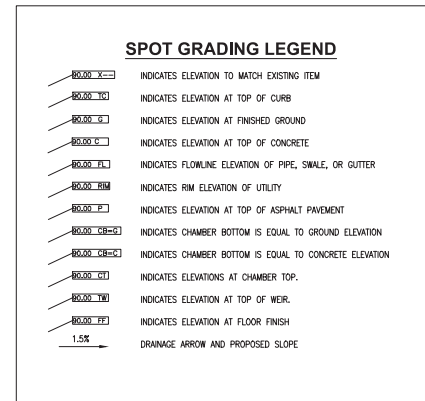
DETAIL A



SECTION A-A
OVERFLOW CHAMBER
NOT TO SCALE



SECTION B-B
NOT TO SCALE



White Salmon Subsurface Infiltration & Detection Design
25-Year 15-Minute
IC * 0.1 = Runoff Volume (cf)

| Proposed Conditions | | (ft) | (acres) | % Impervious |
|------------------------------|--------|-----------------|---------|--------------|
| Parcel Area | 16,423 | 0.38 | | |
| Impervious Cover | 14,352 | 0.33 | 87% | |
| Required Infiltration Volume | 1,435 | ft ³ | | |
| Delta Flow (cfs) | 0.33 | cfs | | |
| Detection Volume | | | | |

| | | | |
|---|---------|------------------|----------------------------|
| Area of Tank | 308 | ft ² | assuming 6" concrete walls |
| Infiltration Rate (in/hr) | 1.275 | in/hr | Per USDA Soil Report |
| Infiltration Rate (ft/min) | 0.00177 | ft/min | |
| Volume of runoff infiltrated per minute | 0.545 | cubic feet / min | |
| Volume of water infiltrated over storm duration | 8.181 | cubic feet | |

Total Retention Volume Required (Volume of Storm minus Volume of Infiltration) 1,427 cubic feet This is the volume below between soil at bottom of

| Deterion | | Orifice Equation = Cd*A*sqrt(2gh) | Orifice Diameter |
|---------------------------------|--------|-----------------------------------|------------------|
| Existing Flow (cfs) | 0.106 | | 0.68 ft |
| Proposed Flow (cfs) | 0.432 | | 0.96 in |
| Delta Flow (cfs) | 0.326 | | |
| Delta Volume (ft ³) | 293.03 | cubic feet | |

| | | | |
|--|-------|----|-------------------------|
| Total Volume Needed | 1,720 | ft | |
| Required depth to high water mark of chamber (ft) | 5.58 | ft | 1 to center of orifice |
| Distance from ground under chamber to orifice (Infiltration Storage Depth) | 4.63 | ft | Rounded up to 4.70 ft |
| Distance to top of overflow weir from orifice (Detention Storage Depth) | 0.55 | ft | Rounded up to 1.00 ft |
| Distance overflow inlet to top of chamber (freeboard) | 1.00 | ft | |
| Total Depth of Chamber | 6.58 | ft | New Total Depth = 6.70' |

EXISTING FLOW - RATIONAL METHOD

| | C | I25 | A(ac) | Q25 (cfs) | C | I100 | A(ac) | Q100 (cfs) |
|------|-----|-----|-------|-----------|-----|------|-------|------------|
| EX-1 | 0.2 | 1.4 | 0.21 | 0.059 | 0.2 | 1.5 | 0.21 | 0.063 |
| EX-2 | 0.2 | 1.4 | 0.17 | 0.048 | 0.2 | 1.5 | 0.17 | 0.051 |

PROPOSED FLOW - RATIONAL METHOD

| | C | I25 | A(ac) | Q25 (cfs) | C | I100 | A(ac) | Q100 (cfs) |
|-------|-------|-----|-------|-----------|-------|------|-------|------------|
| DMA-1 | 0.812 | 1.4 | 0.35 | 0.432 | 0.812 | 1.5 | 0.35 | 0.463 |



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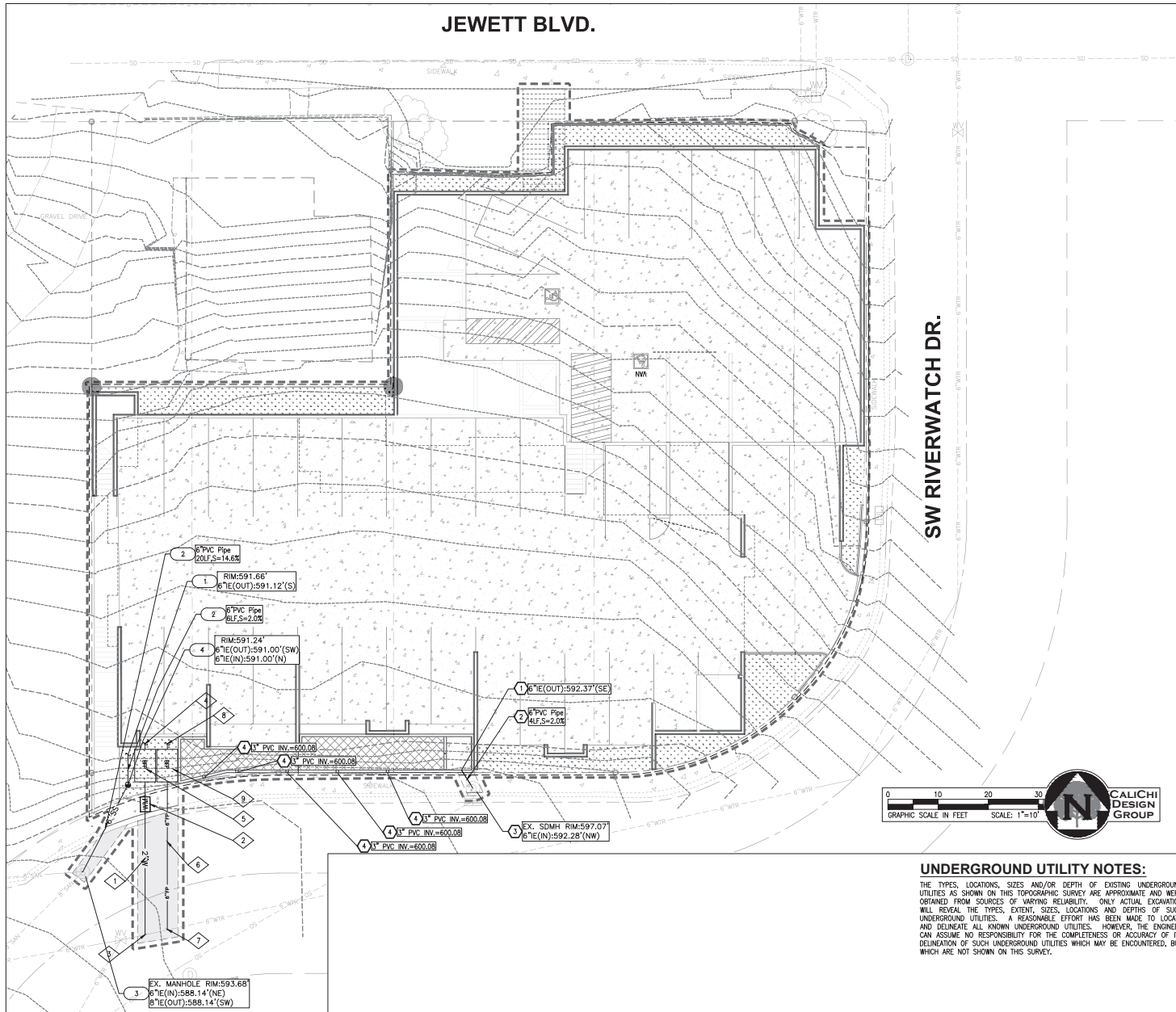
PERMITTING

STORMWATER
MANAGEMENT
CALCULATIONS &
BMP PROFILE

C2.1

JEWETT BLVD.

SW RIVERWATCH DR.



| PROPOSED | | LEGEND | EXISTING |
|----------|----|--|----------|
| 9 | — | PROPERTY LINE | 9 |
| 10 | — | 1-FOOT CONTOUR | 10 |
| WTR | — | 5-FOOT CONTOUR | WTR |
| FP | — | WATER LINE | FP |
| SS | — | FIRE PROTECTION WATER LINE | SAN |
| SD | — | SANITARY SEWER LINE | SD |
| UE | — | STORM DRAIN LINE | OE |
| G | — | OVERHEAD ELECTRIC | UE |
| X | — | UNDERGROUND ELECTRIC | X |
| | | GAS LINE | |
| | | FENCE | |
| | | GRADE BREAK | |
| | | TREE | |
| | | SIGN | |
| | | FIRE HYDRANT | |
| WM | WM | WATER METER/VALVE/BACKFLOW PREVENTER | WM |
| | | SANITARY MANHOLE | |
| | | SANITARY CLEANOUT | |
| | | ELECTRIC BOX/PEDESTAL | |
| | | GAS VALVE | |
| | | TELECOMM BOX/PEDESTAL | |
| | | LIGHT POLE | |
| | | POWER/UTILITY POLE | |
| | | STORM MANHOLE/INLET/CATCH BASIN | |
| | | STORM DRAIN CLEANOUT | |
| | | APPROXIMATE LIMIT OF DISTURBANCE | |
| | | STANDARD-DUTY PCC PAVEMENT PER DETAIL 3 ON SHEET C5.0 | |
| | | PROPOSED STANDARD AC PAVEMENT PER DETAIL 4 ON SHEET C5.2 | |
| | | PROPOSED LANDSCAPE AREA, SEE LANDSCAPE PLANS FOR DETAILS | |
| | | PROPOSED STORMWATER SUBSURFACE INFILTRATION CHAMBER | |

SANITARY SEWER KEY NOTES

- 1 PROPOSED POINT OF CONNECTION FOR SANITARY SEWER SERVICE. SEE PLUMBING PLANS FOR CONTINUATION. INVERT PER PLAN.
- 2 PROPOSED SANITARY SEWER LINE. PIPE SIZE, LENGTH AND SLOPE PER PLAN. SEE DETAIL 3 AND 4 ON SHEET C5.2.
- 3 CONNECT PROPOSED SANITARY SEWER SERVICE LINE TO EXISTING MANHOLE. RIM AND INVERTS PER PLAN.
- 4 PROPOSED SANITARY SEWER CLEANOUT. RIM AND INVERT PER PLAN. SEE DETAIL 7 ON SHEET C5.0.

WATER KEY NOTES

- 1 INSTALL PROPOSED DOMESTIC WATER SERVICE. SEE DETAIL 1 ON SHEET C5.2.
- 2 INSTALL PROPOSED WATER METER FOR DOMESTIC WATER SERVICE. SEE DETAIL 1 ON SHEET C5.2.
- 3 CONNECT PROPOSED DOMESTIC WATER SERVICE TO EXISTING MAIN IN STREET. SEE DETAIL 1 ON SHEET C5.2.
- 4 CONNECT PROPOSED DOMESTIC WATER SERVICE TO BUILDING. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
- 5 PROPOSED BACKFLOW PREVENTER FOR PROPOSED DOMESTIC WATER SERVICE. SEE DETAIL 5 ON SHEET C5.2.
- 6 INSTALL PROPOSED FIRE WATER SERVICE. SEE DETAIL 2 ON SHEET C5.2.
- 7 CONNECT PROPOSED FIRE WATER SERVICE TO EXISTING MAIN IN STREET. SEE DETAIL 2 ON SHEET C5.2.
- 8 CONNECT PROPOSED FIRE WATER SERVICE TO BUILDING. SEE ONSITE PLUMBING PLANS FOR CONTINUATION.
- 9 PROPOSED BACKFLOW PREVENTER FOR PROPOSED FIRE WATER SERVICE. SEE DETAIL 5 ON SHEET C5.2.

WATER NOTE:

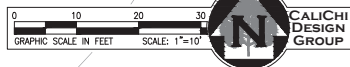
DOMESTIC AND FIRE SIZES OF SERVICES TO BE DETERMINED BY PLUMBING CONTRACTOR AND TO BE BASED ON DEMAND LOADS.

STORM DRAIN KEY NOTES

- 1 PROPOSED LOCATION FOR INFILTRATION CHAMBER. OUTFALL PIPE. CAST PIPE IN PLACE INTO SIDE OF CHAMBER. INVERT PER PLAN.
- 2 PROPOSED PVC. PIPE SIZE, LENGTH AND SLOPE PER PLAN. SEE DETAIL 4 ON SHEET C5.2.
- 3 CONNECT PROPOSED STORM DRAIN LINE TO EXISTING MANHOLE. RIM AND INVERTS PER PLAN. CONTRACTOR TO VERIFY EXISTING INVERT IN FIELD. IF DESIGN IS INFASIBLE PLEASE CONTACT THE ENGINEER OF RECORD.
- 4 PROPOSED 3" OVERFLOW WEEP HOLES TO DRAIN ONTO SIDEWALK TO ALLOW FOR EMERGENCY OVERFLOW.

UNDERGROUND UTILITY NOTES:

THE TYPES, LOCATIONS, SIZES AND/OR DEPTH OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.



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Swenson Say Faget
STRUCTURAL

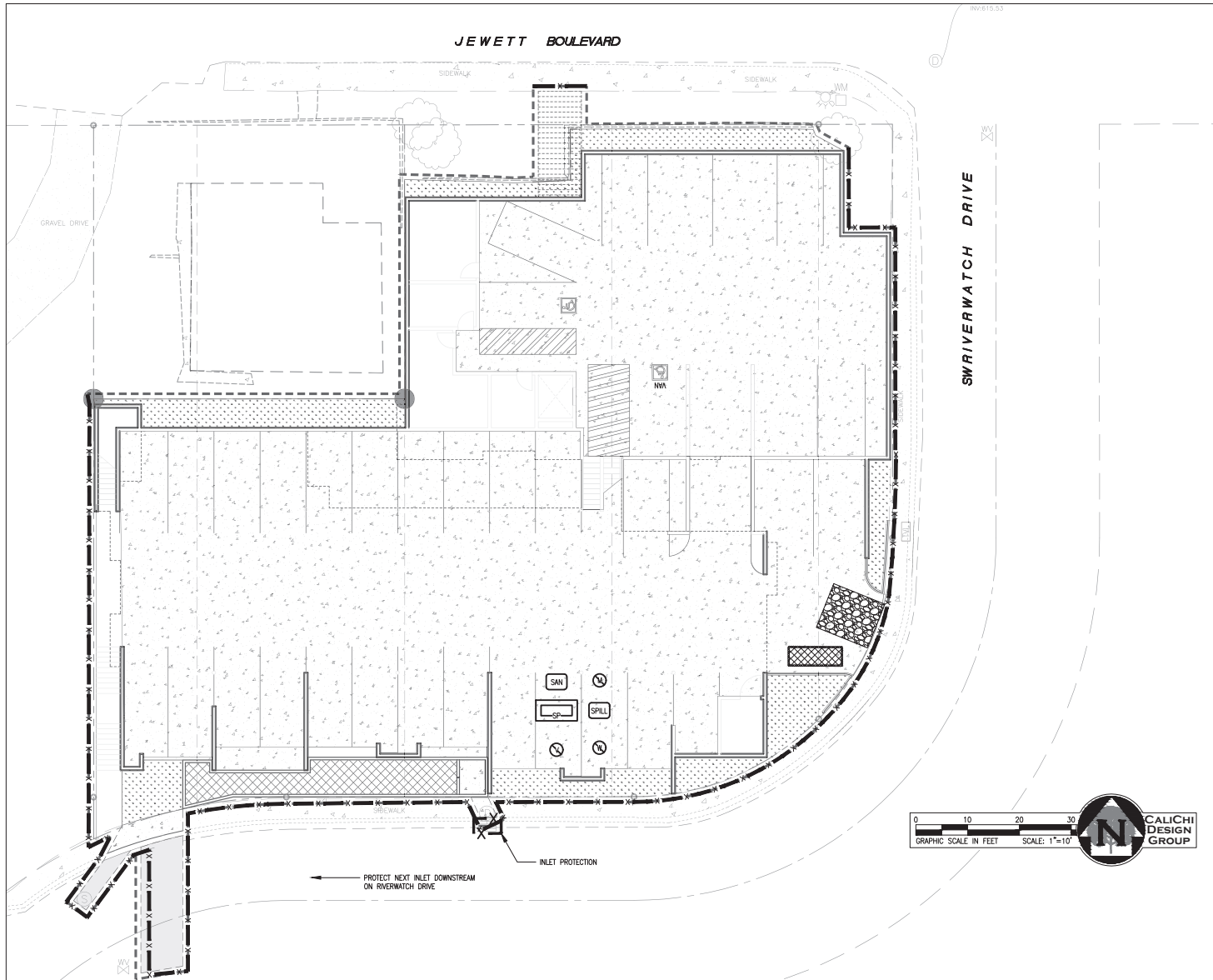
Calichi Design Group
CIVIL

RIVERWATCH, LLC
157 W. JEWETT BLVD.
WHITE SALMON, WA 98672

PERMITTING

PRIVATE UTILITY PLAN FOR UTILITY SERVICES CONNECTED TO PUBLIC MAINS

C3.0



| PROPOSED | LEGEND | EXISTING |
|----------|--|----------|
| 9 | PROPERTY LINE | 9 |
| 10 | 1-FOOT CONTOUR | 10 |
| WTR | 5-FOOT CONTOUR | WTR |
| FP | WATER LINE | FP |
| SS | FIRE PROTECTION WATER LINE | SAN |
| SD | SANITARY SEWER LINE | SD |
| UE | STORM DRAIN LINE | OE |
| G | OVERHEAD ELECTRIC | UE |
| X | UNDERGROUND ELECTRIC | G |
| | GAS LINE | X |
| | FENCE | |
| | GRADE BREAK | |
| | TREE | |
| | SIGN | |
| WM | FIRE HYDRANT | |
| WV | WATER METER/VALVE/BACKFLOW PREVENTER | |
| BFP | SANITARY MANHOLE | |
| | SANITARY CLEANOUT | |
| | ELECTRIC BOX/PEDESTAL | |
| | GAS VALVE | |
| | TELECOMM BOX/PEDESTAL | |
| | LIGHT POLE | |
| | POWER/UTILITY POLE | |
| | STORM MANHOLE/INLET/CATCH BASIN | |
| | STORM DRAIN CLEANOUT | |
| | APPROXIMATE LIMIT OF DISTURBANCE | |
| | STANDARD-DUTY PCC PAVEMENT PER DETAIL 3 ON SHEET C5.0 | |
| | PROPOSED STANDARD AC PAVEMENT PER DETAIL 4 ON SHEET C5.2 | |
| | PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLANS FOR DETAILS | |
| | PROPOSED STORMWATER SUBSURFACE INFILTRATION CHAMBER | |

EROSION CONTROL LEGEND

| | |
|--|--|
| | PROPOSED INLET PROTECTION - SEE DETAIL 2 ON SHEET C5.1. |
| | STRAW WATTLE. SEE DETAIL 1 ON SHEET C5.1. |
| | TEMPORARY CONCRETE WASHOUT FACILITY. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. SEE DETAIL 8 ON SHEET C5.0. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |
| | TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 3 ON SHEET C5.1. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |
| | TEMPORARY SANITARY FACILITIES. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |
| | STOCKPILE MANAGEMENT STAGING AREA. SEE DETAIL 3 ON SHEET C5.1. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |
| | VEHICLE AND EQUIPMENT CLEANING, FUELING, AND MAINTENANCE STAGING AREA. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |
| | MATERIAL DELIVERY AND STORAGE STAGING AREA. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |
| | SPILL PREVENTION MATERIALS STAGING AREA. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |
| | WASTE STORAGE AREA. CONTRACTOR TO LOCATE AS PROJECT CONSTRUCTION REQUIRES. |



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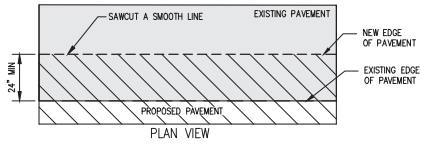
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WHITE SALMON, WA 98672

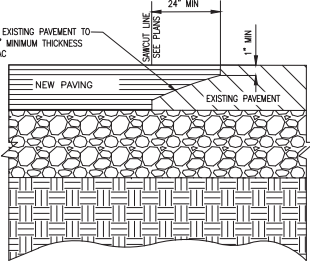
PERMITTING

EROSION AND SEDIMENT CONTROL PLAN

C4.0



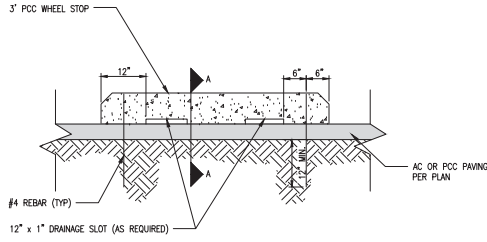
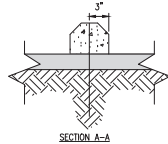
NOTE:
 1. IN PCC, EXTEND SAWCUT TO NEAREST SCORE JOINT OR CONTROL JOINT.
 2. IN AC, CONTACT SURFACES OF EXISTING PAVEMENT SHALL BE GIVEN A TACK COAT PER CALTRANS STANDARDS AND SPECIFICATIONS BEFORE NEW ASPHALT IS PLACED.



SECTION VIEW

SAWCUT DETAILS

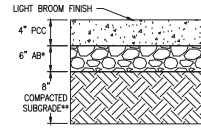
1



3' CONCRETE WHEEL STOP DETAIL

2

NOTES:
 1. USE MIN. THICKNESS OF MATERIALS LISTED BELOW, THICKNESS NOTED REPRESENTS THE MIN. COMPACTED THICKNESS.
 2. THE PORTLAND CEMENT CONCRETE (PCC) SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AND USING A LOW SLUMP CONCRETE UTILIZING PROPER CURING AND SHALL BE CONSTRUCTED PER ACI 330R-08.
 3. MAXIMUM EXPANSION JOINT SPACING SHALL BE 8- FEET ON CENTER EACH WAY AND MAXIMUM CONTROL JOINT SPACING SHALL BE PER PLAN OR LESS THAN 24 TIMES THE THICKNESS IN INCHES ON CENTER EACH WAY IN ACCORDANCE WITH ACI 224 RECOMMENDATIONS, SHALL BE 3/8" WIDE, FULL DEPTH, DOWELED OR TONGUE AND GROOVED TO PROVIDE LOAD TRANSFER, AND SHALL BE SEALED WITH A QUALITY SILICONE SEALER TO PREVENT WATER FROM ENTERING THE SUBGRADE PER CONCRETE JOINT DETAIL 4 ON SHEET THIS SHEET.
 4. THE BARS SHALL BE USED ON JOINTS ADJACENT TO UNSUPPORTED EDGES.

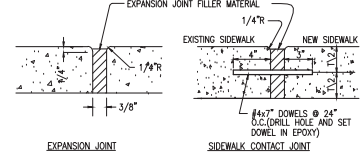


STANDARD PCC PAVEMENT SIDEWALKS AND AREAS NOT SUBJECT TO VEHICULAR LOADS

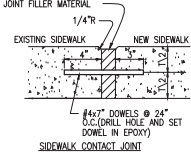
* CLASS II AGGREGATE BASE (AB) MATERIAL SHALL CONFORM TO WSDOT STANDARD SPECIFICATIONS ON AGGREGATE BASES, SHALL BE MOISTURE CONDITIONED TO OPTIMUM MOISTURE CONTENT AND COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY (BASED ON ASTM D1557, LATEST EDITION).
 ** PRIOR TO PAVEMENT MATERIAL OR FILL PLACEMENT** THE UPPER SUBGRADE SHALL BE SCARIFIED, MOISTURE CONDITIONED UNIFORMLY TO OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 95% OF MAXIMUM DRY DENSITY (BASED ON ASTM D1557, LATEST EDITION). CONTRACTOR SHALL PREPARE AND/OR REPLACE SOILS AS NECESSARY TO PROVIDE A STABLE SUBGRADE THAT IS FIRM AND NON-YIELDING UNDER THE WEIGHT OF THE COMPACTION EQUIPMENT.
 *** ON-SITE SOILS HAVING AN ORGANIC CONTENT OF LESS THAN 3% BY WEIGHT, FREE OF BUILDING OR CONSTRUCTION DEBRIS, AND WITH A PLASTICITY INDEX OF LESS THAN 25 CAN BE REUSED AS GENERAL (I.E., NON-SELECT) ENGINEERED FILL. IMPORT GENERAL SOIL FOR MASS GRADING GENERAL ENGINEERED FILL SHOULD BE AT LEAST OF COMPARABLE QUALITY AS THE EXISTING ON-SITE SOILS. IMPORT SELECT SOIL SHOULD BE NON-EXPANSIVE, HAVING A PLASTICITY INDEX OF 12 OR LESS, AN R-V VALUE GREATER THAN 40, AND CONTAIN SUFFICIENT FINES SO THE SOIL CAN BIND TOGETHER ON THE SIDE WALLS OF OPEN EXCAVATIONS SUCH AS FOR FOOTING CONSTRUCTION. ALL IMPORTED MATERIALS SHOULD BE FREE OF ENVIRONMENTAL CONTAMINANTS, ORGANIC MATERIALS AND DEBRIS, AND SHOULD NOT CONTAIN ROCKS OR LUMPS GREATER THAN THREE INCHES IN MAXIMUM SIZE.

PCC PAVEMENT DETAIL

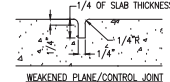
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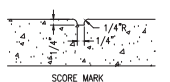
EXPANSION JOINT



SIDEWALK CONTACT JOINT



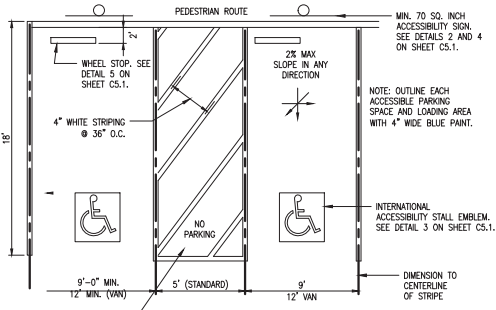
WEAKENED PLANE/CONTROL JOINT



SCORE MARK

PCC JOINTS DETAIL

4

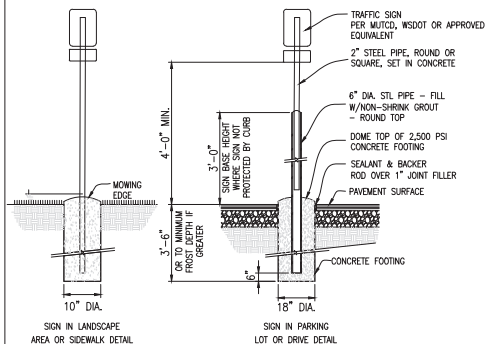


MIN. 70 SQ. INCH ACCESSIBILITY SIGN, SEE DETAILS 2 AND 4 ON SHEET C5.1.
 2% MAX SLOPE IN ANY DIRECTION
 NOTE: OUTLINE EACH ACCESSIBLE PARKING SPACE AND LOADING AREA WITH 4" WIDE BLUE PAINT.
 INTERNATIONAL ACCESSIBILITY STALL EMBLEM, SEE DETAIL 3 ON SHEET C5.1.
 DIMENSION TO CENTERLINE OF STRIPE
 WITHIN THE LOADING AND UNLOADING ACCESS AISLE PAINT THE WORDS "NO PARKING" IN MIN. 12" HIGH LETTERS.

NOTES:
 * SURFACE SLOPES OF ACCESSIBLE OFF-STREET PARKING STALLS SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 2 PERCENT (2%) IN ANY DIRECTION.
 * WHERE A SINGLE (NON-VAN) ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.
 * WHERE A VAN ACCESSIBLE PARKING SPACE IS PROVIDED, THE LOADING AND UNLOADING ACCESS AISLE SHALL BE 8'-0" WIDE MINIMUM, AND SHALL BE ON THE PASSENGER SIDE OF THE VEHICLE AS THE VEHICLE IS GOING FORWARD INTO THE PARKING SPACE.

ACCESSIBLE PARKING STALL DETAIL

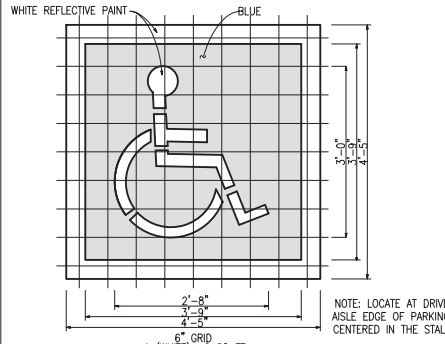
5



SIGN IN LANDSCAPE AREA OR SIDEWALK DETAIL

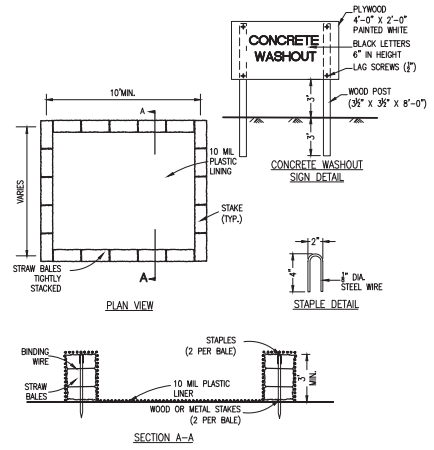
SIGN POST DETAIL

6



ACCESSIBLE PARKING SYMBOL DETAIL

7

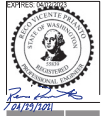


SECTION A-A

CONCRETE WASHOUT AREA DETAIL

8

NOTES:
 1. ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
 2. THE CONCRETE WASH-OUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY WASH-OUT FACILITY.



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Svenson Say Fagel
 STRUCTURAL

CallChi Design Group
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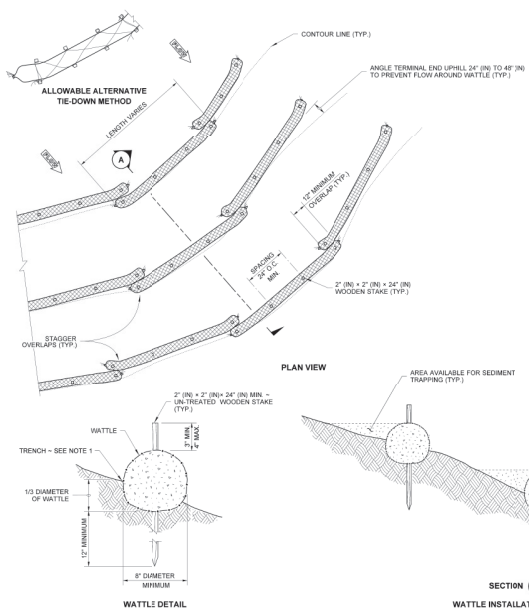
RIVERWATCH, LLC
 157 W. LEWETT BLVD.
 WHITE SALMON, WA 98672

PERMITTING

STANDARD CONSTRUCTION DETAILS SHEET

C5.0

DRAWN BY: FERN LIDDELL



| WATTLE SPACING TABLE | | | |
|-----------------------------|--------------|-----------------|--------------|
| TEMPORARY | | PERMANENT | |
| SLOPE | MAX. SPACING | SLOPE | MAX. SPACING |
| 8" - 10" OR 10' - 12" DIAM. | 6' - 0" | 10' - 12" DIAM. | |
| 1M - 1V | 10' - 0" | 2H - 1V | 8' - 0" |
| 2H - 1V | 10' - 0" | 3H - 1V | 10' - 0" |
| 3H - 1V | 10' - 0" | 4H - 1V | 10' - 0" |
| 4H - 1V | 20' - 0" | 4H - 1V | 10' - 0" |

- NOTES**
- Wattles shall be in accordance with **Standard Specification, Section 8-14.8(B)**. Install Wattles along contours. Installation shall be in accordance with **Standard Specification, Section 8-01.3(10)**.
 - Securely knot end and of Wattle. Overlap adjacent Wattle ends 12" (in) behind one another and securely tie together.
 - Compact excavated soil and trenches to prevent undercutting. Additional staking may be necessary to prevent undercutting.
 - Install Wattle perpendicular to flow along contours.
 - Wattles shall be inspected regularly, and immediately after a rainfall produces runoff, to ensure they remain thoroughly entrenched and in contact with the soil.
 - Perform maintenance in accordance with **Standard Specification, Section 8-01.3(16)**.
 - Refer to **Standard Specification, Section 601.3(16)** for removal.

STATE OF WASHINGTON
LANDSCAPE ARCHITECT

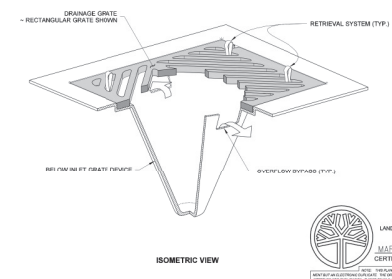
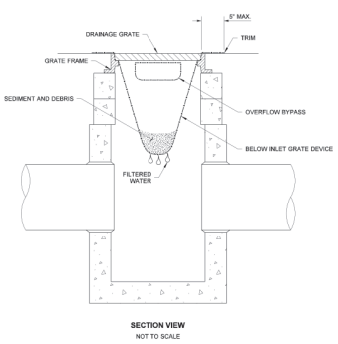
MARK W. MAJORS
REGISTERED LANDSCAPE ARCHITECT
LICENSE NO. 1422
EXPIRES 12/31/25

WATTLE INSTALLATION ON SLOPE
STANDARD PLAN I-30.30-02
SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION
DATE: 04/23/2019 11:42 AM

Washington State Department of Transportation

DRAWN BY: USA CRYSTAL



- NOTES**
- Size the Below Inlet Grate Device (BIGD) for the storm water structure it will service.
 - The BIGD shall have a built-in high-flow relief system (overflow bypass).
 - The retrieval system must allow removal of the BIGD without spilling the collected material.
 - Perform maintenance in accordance with **Standard Specification 8-01.3(15)**.

STATE OF WASHINGTON
REGISTERED LANDSCAPE ARCHITECT

MARK W. MAJORS
REGISTERED LANDSCAPE ARCHITECT
LICENSE NO. 1422
EXPIRES 12/31/25

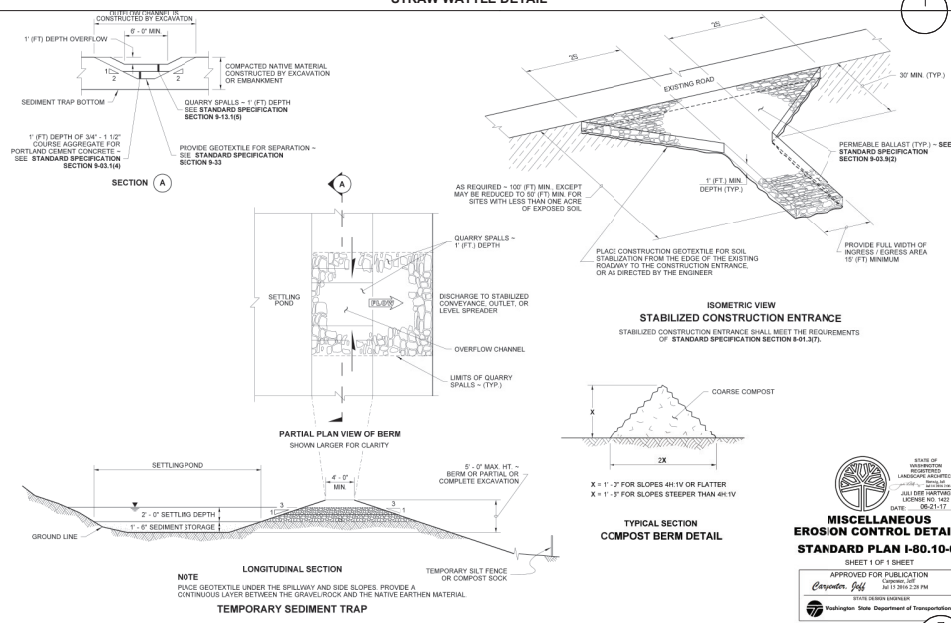
STORM DRAIN INLET PROTECTION
STANDARD PLAN I-40.20-00
SHEET 1 OF 1 SHEET

APPROVED FOR PUBLICATION
DATE: 09/20/07 10:56 AM

Pasco Bakoitch III
REGISTERED LANDSCAPE ARCHITECT
LICENSE NO. 1422
EXPIRES 12/31/25

Washington State Department of Transportation

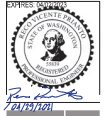
DRAWN BY: FERN LIDDELL



1

STABILIZED CONSTRUCTION ENTRANCE / EXIT DETAIL, TEMP. SEDIMENT TRAP & COMPOST BERM DETAIL

3



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Swenson Say Fagett STRUCTURAL

CalliChi Design Group CIVIL

RIVERWATCH, LLC 157 W. JEWETT BLVD. WHITE SALMON, WA 98672

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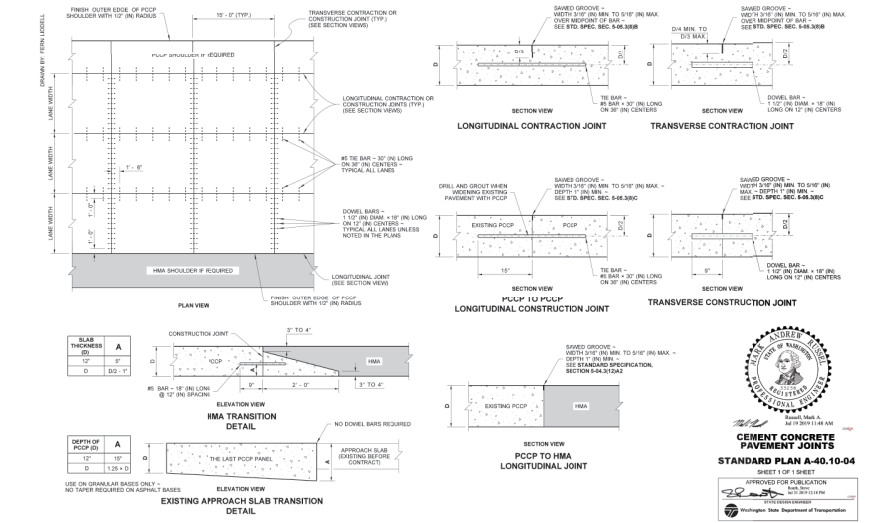
STANDARD CONSTRUCTION DETAILS SHEET

C5.1

41

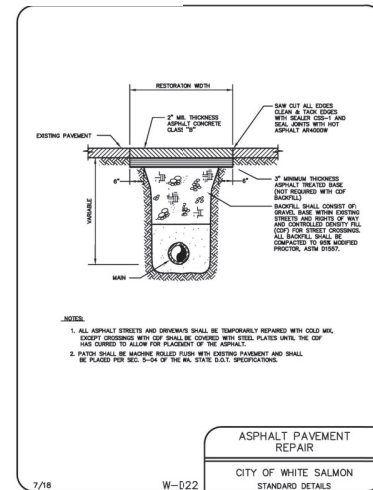
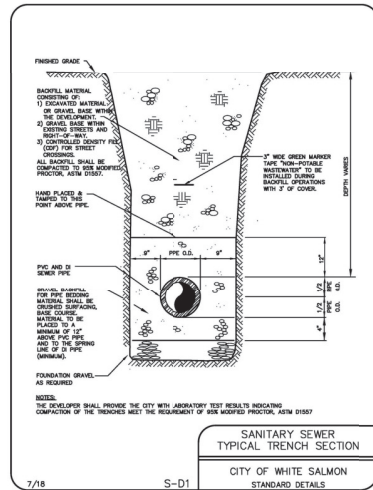
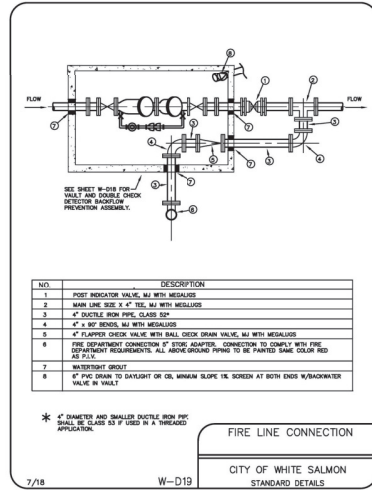
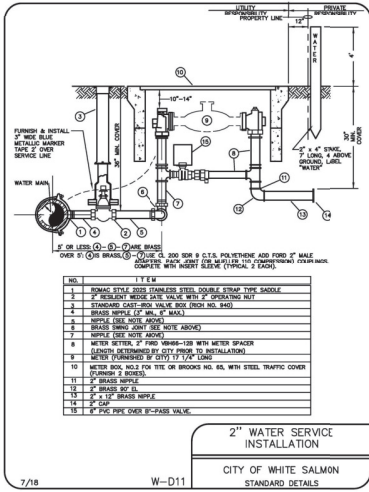
INLET PROTECTION DETAIL

2



CONCRETE JOINT DETAIL

4

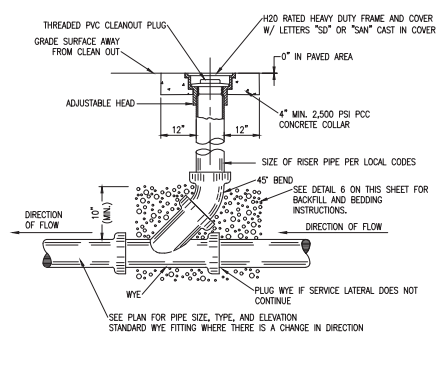
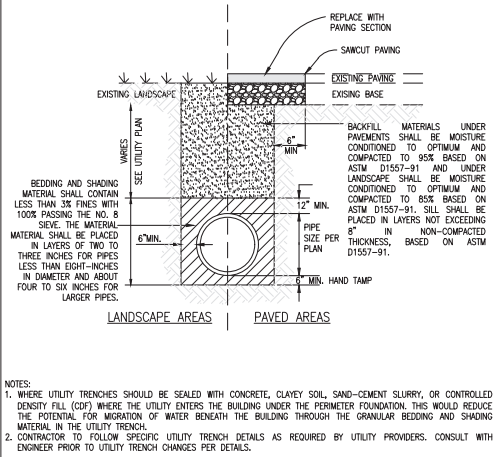
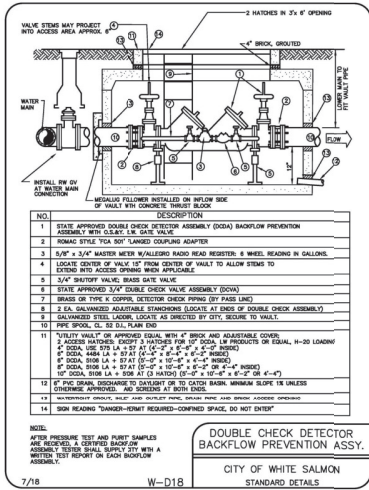


DOMESTIC WATER SERVICE DETAIL

FIRE LINE CONNECTION DETAIL

SANITARY SEWER TRENCH DETAIL

ASPHALT REPAIR DETAIL



II-30
Adopted September 5, 2018

BACKFLOW PREVENTER ASSEMBLY DETAIL

UTILITY TRENCH DETAIL

CLEAN OUT DETAIL



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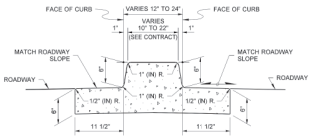
CalliChi Design Group
CIVIL

RIVERWATCH, LLC
157 W. JEWETT BLVD.
WHITE SALMON, WA 98672

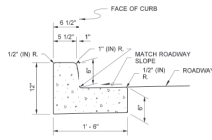
PERMITTING

STANDARD CONSTRUCTION DETAILS SHEET

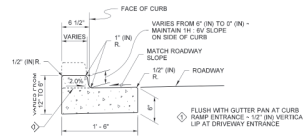
C5.2



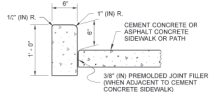
DUAL-FACED CEMENT CONCRETE TRAFFIC CURB AND GUTTER



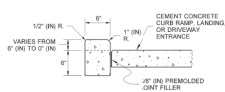
CEMENT CONCRETE TRAFFIC CURB AND GUTTER



DEPRESSED CURB AND GUTTER SECTION AT CURB RAMPS AND DRIVEWAY ENTRANCES

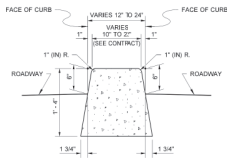


CEMENT CONCRETE PEDESTRIAN CURB

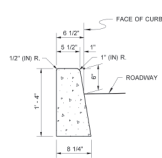


CEMENT CONCRETE PEDESTRIAN CURB AT CURB RAMPS, LANDINGS, AND DRIVEWAY ENTRANCES

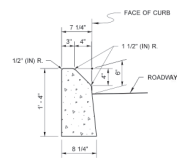
NOTE
 1. See Standard Plan F-30.10 for Curb Expansion and Contractor Joint spacing. See Standard Specification Sections 8.04 and 8.04 for additional requirements.



DUAL-FACED CEMENT CONCRETE TRAFFIC CURB



CEMENT CONCRETE TRAFFIC CURB



MOUNTABLE CEMENT CONCRETE TRAFFIC CURB



Michael S. Fleming
 Professional Engineer
CEMENT CONCRETE CURBS
STANDARD PLAN F-10.12-04
 SHEET 1 OF 1 SHEET
 APPROVED FOR PUBLICATION
 DATE: 2020/08/24
 BY: J.S. 27/02
 WASHINGTON STATE DEPARTMENT OF TRANSPORTATION

1

VERTICAL CURB DETAIL



DBH Studio
 ARCHITECTURAL

Swenson Say Fagel
 STRUCTURAL

CallChil Design Group
 CIVIL

RIVERWATCH, LLC
 157 W JEWETT BLVD.
 WHITE SALMON, WA 98672

PERMITTING

STANDARD CONSTRUCTION DETAILS SHEET

C5.3

File Attachments for Item:

3. Amendments to WSMC 5.02 Short-term Rental



CITY OF WHITE SALMON

| | | | |
|-------------------------------|--|------------------------|-------------------------------------|
| Meeting Date: | October 27, 2021 | Meeting Title: | Planning Commission |
| Submitting Department: | Planning Department | Presenter: | Brendan Conboy, City Planner |
| Agenda Item: | Short Term Rental (STR) Moratorium – Draft Text Amendments to WSMC 5.02 Short-Term Rental | Public Comment: | Yes |

Purpose and Policy Considerations

On July 21, 2021, the White Salmon City Council adopted [Ordinance 2021-07-1083](#), a Moratorium on New Short-term Rentals (STR) for a period of time not to exceed six months, unless extended for good cause pursuant to [RCW 35.63.200](#).

The ordinance requires that the Council hold a public hearing within 60 days of the of the moratorium taking effect. On September 1, 2021, the City Council held a public hearing and voted unanimously in favor of extending the moratorium until such time that regulations may be enacted. Council directed staff to begin refining the focus of proposed regulations with the Planning Commission ([Staff Report](#), [Video](#), [Minutes](#)). The intent of the moratorium is to respond to repeated and substantial complaint from members of the public citing the adverse impacts of unregulated STR uses across the community, broadly speaking. Council made key findings for the moratorium detailed in the ordinance.

Planning Commission: August 25, 2021

Staff brought the matter before the Planning Commission for a work session on August 25, 2021, to gather feedback to provide the Council prior to the public hearing on September 1, 2021 ([Video](#), [Staff Report](#)).

Planning Commission: September 22, 2021

Staff brought the matter before the Planning Commission for a second work session on September 22, 2021, to further refine outstanding issues the Planning Commission still sought consensus on. ([Video](#), [Staff Report](#))

Recommendation

Staff recommends that the Planning Commission discuss the proposed draft text amendments (Exhibit A) and provide direction to staff. Staff will then prepare any necessary reports and draft ordinances to bring back to the City Council at a public hearing.

Chapter 5.02 Short-Term Rentals

5.02.005 Findings, intent and purpose.

- A. In the adoption of these regulations, the city finds that the rental of dwelling units and lodging units for less than thirty days is an important contributor to the comprehensive plan's tourism goal. The city also finds that these short-term rentals are part of an emerging market that has the potential to be incompatible with surrounding residential uses, and exacerbates housing affordability.
- B. The regulations below are intended to create a registration of short-term rentals that will:
1. Better balance ~~Determine~~ the impact on the local economy;
 2. Reduce administrative burdens and barriers to entry;
 3. Ensure market fairness and taxation;
 4. Protect guests; and
 5. Mitigate ~~Avoid unchecked~~ neighborhood disruptions.
- C. This chapter provides an administrative framework for registering the annual operation of a short-term rental. A short-term rental permit is a limited permission to use property for short-term rental purposes. A permit may be modified or revoked if the standards of this chapter are not met.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.010 Definitions.

As used in this chapter, the following definitions shall apply unless the context clearly indicates or requires a different meaning:

- A. "Contact person." The owner or, if designated on the application for a permit, the management representative authorized to act for the owner. A contact person shall be available by telephone 24 hours of the day while a short-term rental is being rented and shall be in the local area.
- B. "Dwelling unit." One or more rooms occupied, designed or intended for occupancy as separate living quarters, and containing ~~four or more of~~ the following:
1. Refrigeration;
 2. Cooking facility (including cooking stove, hot plate, range hood, microwave, or similar appliance) or wiring or venting to support same;
 3. ~~Dishwashing machine;~~
 4. Sink intended for meal preparation (not including a wet bar);
 5. Garbage disposal;
 6. Toilet; and ~~or~~
 7. Shower or bathtub.

- C. "Local area." All areas in the Washington counties of Clark, Klickitat and Skamania and the Oregon counties of Hood River, Wasco and Multnomah.
- D. "Lodging unit." Bedrooms or sleeping facilities not meeting the criteria of a dwelling unit set forth in paragraph B, above.
- E. "Owner Occupied." The natural person or legal entity that owns and holds legal and/or equitable title to the property. Owner occupancy is demonstrated through providing a previous year's tax return and a copy of either a driver's license or voter registration card demonstrating that the unit is the primary residence of the owner.
- F. "Overlay." An additional layer of planning control applied to properties in a clearly defined geographic area. Overlays implement the City's Comprehensive Plan through neighborhood-specific policy objectives, supplementing the underlying base zoning.
- FG. "Remuneration." Compensation, money, rent or other bargained for consideration given in return for use, rent, or occupancy of a short-term rental.
- GH. "Short-term rental." A dwelling unit or lodging unit for which an owner receives or seeks remuneration for use or occupancy for a period of less than thirty consecutive days per rental period. Businesses with current transient accommodation licenses (e.g. hotels, motels and bed and breakfasts) under RCW Ch. 70.62 are specifically exempted from this Chapter 5.02.
- HJ. "Short-term rental permit" or "permit." The regulatory permit required by WSMC 5.02.15 and described in this chapter.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.15 Short-term rental

A. Permit Required. No owner or manager of property within the White Salmon city limits may advertise, offer, operate, rent, receive remuneration for, or otherwise make available or allow any other person to make available for occupancy a short-term rental without a short-term rental permit. Advertise or offer includes through any media, whether written, electronic, web-based, digital, mobile or otherwise.

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B. Violation. Any owner or manager of property within the White Salmon city limits who advertises, offers, operates, rents, receives remuneration for, or otherwise makes available or allows any other person to make available for occupancy a short-term rental that does not first obtain a short-term rental permit shall be subject to code enforcement as detailed in WSMC 5.02.050.

C. Permit Type by Location. Short-term rental is limited by location, quantity, and duration within the City of White Salmon by the delineated Downtown Commercial Short-Term Rental Overlay and the Walkable Residential Short-Term Rental Overlay. Within the defined overlays, short-term rental applications shall be handled administratively by the Planning Administrator or their designee. A copy of the boundaries of the two overlays are available at City Hall and on the City's website. Outside of the overlays short-term rental applications require approval of a Conditional Use Permit by the City Council. The following restrictions apply to short-term rental by location:

1. Downtown Commercial Short-Term Rental Overlay. Within the Downtown Commercial Short-Term Rental Overlay there is no limit on the number of short-term rentals an owner may operate, the number of days a unit may be rented, and no requirement for owner occupancy demonstrating primary residence of the unit. On-street parking may be used to satisfy parking requirements within this overlay. Short-term rental shall not be allowed within any ground floor unit with commercial street frontage. No more than 50% of residential units within any individual building may be actively short-term rented. The maximum number of units that may be short-term rented within the overlay shall not exceed 20% of all residential units within the overlay, to be administered by the Planning Administrator in accordance with WSMC 5.02.025.

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Accessory Dwelling Units are prohibited from being short-term rented (or Accessory Dwelling Units shall require a Conditional Use Permit and approval by City Council to be short-term rented).

2. Walkable Residential Short-Term Rental Overlay. Within the Walkable Residential Short-Term Rental Overlay short-term rental is limited to one short-term rental permit per owner-occupied primary residence, and a maximum of 90/180 days per year that the unit may be short-term rented. All parking must be provided on-site and demonstrated via a parking diagram. The maximum number of units that may be short-term rented within the overlay shall not exceed 10% of all residential units within the overlay, to be administered and regulated by the Planning Administrator in accordance with WSMC 5.02.025. Accessory Dwelling Units are prohibited from being short-term rented (or Accessory Dwelling Units shall require a Conditional Use Permit and approval by City Council to be short-term rented).

3. Conditional Review. Short-Term Rental outside of the overlays shall require a Conditional Use Permit application and approval by City Council. Short-term rental is limited to one short-term rental permit per owner-occupied primary residence, and a maximum of 90/180 days per year that the unit may be short-term rented. The maximum number of units that may be short-term rented within the overlay shall not exceed 5% of all residential units outside the overlay, to be administered and regulated by the Planning Administrator in accordance with WSMC 5.02.025. Accessory Dwelling Units are prohibited from being short-term rented (or Accessory Dwelling Units shall require a Conditional Use Permit and approval by City Council to be short-term rented).

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(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.020 Application and fee.

A. Application Required. An application for a short-term rental permit shall be completed and submitted to the city on a form provided by the city. The application shall be signed by the owner ~~or~~ and contact person if different than owner, and contain the following information:

1. Owner Information. Owner's name, telephone number, owner's mailing address. Areas outside of the Downtown Commercial Short-Term Rental Overlay require proof of owner occupancy of the unit to be short-term rented which demonstrates that the unit is the owner's primary residence. Owner occupancy and primary residency shall be demonstrated by supplying a copy of the first page of the owner's previous year tax return with financial information redacted, and a copy of either a driver's license or voter registration identification. ~~permanent residence address, telephone number, owner's mailing address, and the short-term rental address and telephone number.~~
2. Contact Person Information. ~~If the owner does not permanently reside in the local area or is not always available when the property is being rented, the~~ The owner shall make themselves available by telephone throughout the entire time-period the short-term rental unit is being rented, or provide the name, telephone number and email of a contact person from the local area to represent the owner regarding the use of the property and/or complaints related to the short-term rental as set forth in WSMC 5.02.040(C).
3. Tax Information. A statement of intent to collect and remit all taxes associated with the short-term rental. If the permit is being renewed, proof of collection and remittance of taxes associated with the short-term rental unit.
4. Inspection Access. A statement allowing the city reasonable access to the property for the purpose of reviewing the proposal for the health and safety requirements set forth in WSMC 5.02.040(D).
5. Right to Publish Contact Information. A statement allowing the city to make owner and contact person phone numbers publicly available at City Hall.

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- 6. Neighborhood Notice. A statement of intent to notify neighbors as required by WSMC 5.02.040(A).
 - 7. Good Neighbor Guidelines. A statement of intent to provide the city-provided Good Neighbor Guidelines to guests of the short-term rental.
 - 8. Parking Diagram. ~~A statement of intent~~The applicant shall submit a parking diagram to be provided to guests of the short-term rental with a diagram of demonstrating parking spaces that are available to or intended for use by the short-term rental.
 - 9. Liability Insurance. A statement of intent to provide liability insurance coverage as required by WSMC 5.02.040.G. If the permit is being renewed, proof of liability insurance is required.
 - 10. Such other information as the city administrator or designee deems reasonably necessary to administer this chapter.
- B. Application Fee. Applications under this section shall be accompanied by a nonrefundable fee payable to the city in an amount established and periodically adjusted by city council resolution.
 - C. Discretionary Fees. At the discretion of the city administrator or designee, the application fee may include the actual costs for labor, overhead, and expenses for outside consultant reviews and/or special inspections.
- (Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.025 Term of annual permit.

A short-term rental permit shall be issued for a period not to exceed one year, with its effective date running from the date the permit is issued to December 31 and may be renewed annually for a maximum of 5 consecutive years by the owner or contact person provided all applicable standards of this chapter are met. Following 5 consecutive years of operating a short-term rental, the permit shall be made available to the short-term rental permit lottery system to which the applicant may resubmit an application to rent the unit. Short-term rental permits shall be issued on a first come, first serve, basis until the maximum threshold of allowable units has been met in each location as defined in WSMC 5.02.015.C. At such time that the established thresholds are met the Planning Administrator shall maintain a list of short-term rental applications deemed eligible for a short-term rental permit with recipients chosen at random as permits become available. At such time that a lottery is instituted, asll active applications shall be notified of each available drawing as it becomes available.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

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5.02.030 Permitting and renewal procedures.

A short-term rental permit shall be obtained and/or renewed as required in this section. This permit is in addition to the city business license required under WSMC Ch. 5.04. The ability to operate a short-term rental in the city of White Salmon shall be discontinued in the event the owner fails to obtain or renew a permit to operate as provided in this chapter.

- A. Application and Renewal Process. A person engaging in operation of a short-term rental who has not yet obtained a permit, or who is required to renew an existing operating permit, shall do so as follows:
 - 1. Time for Application.
 - a. New Permits. For new short-term rental permits, it is the responsibility of the owner or contact person to apply for and receive a permit prior to operation of a short-term rental.
 - b. Existing Short-term rentals. A completed permit renewal application and renewal fee is due for all existing short-term rentals annually by December 31.

2. Notice. Prior to the December 31 annual due date, the city shall send notice of the need for a permit or expiration of a permit to the owner of any property for which an application is due as follows:

- a. For the first permit required for any short-term rental in the city, it is the owner's obligation and responsibility to apply for a permit.
- b. For permit renewal, notice will be sent to the mailing and email addresses of the owner and contact person as provided to the city on the application.

B. Permit Expiration. For renewals, upon expiration ~~of a thirty-day late period commencing~~ at the end of each calendar year, the ability to operate shall be conclusively presumed to be discontinued and the city will commence revocation of the permit pursuant to the procedures in WSMC 5.02.045. Following 5 consecutive years of permit operation the short-term rental permit shall be expired and subject to WSMC 5.02.025.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.035 Criteria for approval and renewal of a permit.

- A. New Permit. Upon receipt of a complete application for a new short-term rental permit and payment of all required fees and after completing all required operational requirements of section 5.02.040, below, the city administrator or designee or designee will issue a short-term rental permit.
- B. Permit Renewal. Upon receipt of a complete application for renewal of a short-term rental permit and payment of all required fees, the city will review the application and available information to determine compliance with the operational requirements of WSMC 5.02.040. If not met, the city administrator or designee or designee will not renew the permit and the property shall not be used as a short-term rental. Alternatively, the city administrator may issue the permit subject to reasonable special operational standards. Short term rental permits are limited to a maximum of five consecutive years of renewals as defined in WSMC 5.02.025.
- C. Owner's Role. The owner has the burden of proof to demonstrate compliance with each operational requirement and special standard placed on the short-term rental permit. Staff may verify evidence submitted and the applicant shall cooperate fully in any investigation.
- D. Appeals. A decision on a permit application or renewal may be appealed as provided in WSMC 5.02.055.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.040 Operational requirements.

- A. Notice to Neighbors. The owner or contact person shall provide a mailing or otherwise distribute by hand prior to ~~the initial permit commencing the use,~~ a flier to all property owners of record and/or occupants of properties adjacent to and abutting the property permitted as a short-term rental. The notice shall include the permit number and the telephone number of the owner and/or contact person. The purpose of this notice is so that neighboring property owners and residents can contact a responsible person to report and request resolution of problems associated with the operation of the short-term rental. If the permanent contact information changes during the permit period, the new information must be mailed or distributed again.

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B. On Premise Signage. Within 30 days of approval of a short-term rental permit, the owner shall place a sign on the premise of the short-term rental. The sign shall be located within 5' of the front property boundary, not in a right of way, and consist of either a ground sign that is free-standing, stationary, erected and supported securely from the ground, or a fence or wall mounted sign not to exceed two-square-feet (2 sq. ft.) in area. The sign shall contain the name of the short-term rental establishment, the short-term rental permit number, the name of the owner or representative and their twenty-four hour phone number, and the contact info for contacting the City and registering a complaint. All content shall be clearly legible in natural daylight conditions or by flashlight at night and shall be approved by the Planning Administrator prior to placing the sign on site.

C.B. Public Availability. In addition, the city will make a registry publicly accessible within which any person can obtain the owner and contact person's name and telephone number. If the permanent contact information changes during the permit period, the new information must be provided to the city.

D.E. Response to Complaints. The owner or contact person shall respond to neighborhood questions, concerns, or complaints in a reasonably timely manner depending on the circumstances.

1. Owner Responsibility. Reasonable initial inquiries or complaints related to the expectations set in the Good Neighbor Guidelines may first be made to the owner or contact person. However, it is not intended that the owner or contact person act as a peace officer or code enforcement officer of the city or put themselves in an at-risk situation. In such cases, the owner or contact person should contact the city to discuss resolution of the complaint.
2. Complaint Log. The owner or contact person should maintain a record of complaints and the actions taken in response to the complaint, if relevant, in a manner reasonable to document the interaction. If kept, this record can then be made available for city inspection upon request.
3. City Authority. If there is a failure to respond or a clearly inadequate response by the owner or contact person, a complaint may be submitted to the city on a form provided by the city, and the city will respond or investigate as needed. The city will first seek voluntary compliance or resolution, but if the city finds substantial evidence supports further action given the complaint(s), the city will follow the warning and revocation procedures set forth in WSMC 5.02.045.
4. Records. On request and in compliance with the public records law, the city shall provide the owner and/or contact person with the information in the complaint.
5. Grounds for Warning. ~~Repeated~~ failure of the owner or representative to timely and reasonably respond to a complaint(s) relayed by neighbors or city staff is considered grounds for a warning and potential revocation under WSMC 5.02.045. ~~Repeated~~ noise complaints regarding tenants may be grounds for a warning to the owner, if, in the reasonable judgment of the city administrator, the circumstances indicate the owner should be held responsible. Initiating a nuisance enforcement action under WSMC Ch. 8.70 may be grounds for a warning in the appropriate circumstances.
6. Administrative Rules. The city administrator may establish administrative rules to interpret, clarify, carry out, and enforce the provisions of this chapter. A copy of such administrative rules shall be on file and made available at City Hall.

D. Health and Safety. Every short-term rental permit shall be subject to inspection by the building official or designee at the city's discretion. The purpose of the inspection is to determine conformance with the Short-Term Rental Fire Safety Checklist (fire extinguishers, smoke alarms, carbon monoxide detectors, etc.). It is the owner's responsibility to assure that deficiencies identified in the checklist are addressed and that the short-term rental is and remains in substantial compliance with all applicable fire, building, and safety codes and other relevant laws, whether identified on the short-term rental fire safety checklist or not.

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- E. Taxation. The owner shall fully comply with all applicable city and state tax reporting and payment requirements, especially lodging taxes due to the city under WSMC 3.50 and retail sales and use taxes due under WSMC 3.04.
 - F. Mandatory Interior Postings. Important information related to the permitting and use of the short-term rental shall be displayed in a prominent location within the interior of the dwelling, either adjacent to the front door or in a highly visible rental binder. The information shall include:
 - 1. The short-term rental permit;
 - 2. Any special standards placed on the short-term rental permit;
 - 3. The property address;
 - 4. The name of the owner and contact person and a telephone number where the owner and contact person may be contacted;
 - 5. The parking diagram of the parking spaces available for use by the short-term rental. The parking diagram may include on-street parking areas, but on-street parking is not for the exclusive use of any home or short-term rental; and
 - 6. The city-provided Good Neighbor Guidelines. Additionally, the city encourages all owners to incorporate the Good Neighbor Guidelines into the rental contract.
 - G. Liability Insurance. The owner shall maintain liability insurance which expressly covers the property's use as a short-term rental.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.045 Revocation procedure.

- A. In addition to the penalties described in WSMC 5.02.050, the following provisions apply to violations of this chapter:
 - 1. Failure to renew a permit as set forth in WSMC 5.02.030 is grounds for revocation of the short-term rental permit.
 - 2. Failure to timely pay lodging or sales taxes required by WSMC 5.02.040.E or to otherwise meet the operational requirements of WSMC 5.02.040 is grounds for revocation of the permit.
 - 3. The discovery of material misstatements or providing of false information in the application or renewal process is grounds for revocation of the permit.
 - 4. Such other violations of this chapter of sufficient severity in the reasonable judgement of the city administrator, so as to provide reasonable grounds for revocation of the permit.
 - 5. Other violations of this chapter, including but not limited to city-initiated investigation/sustaining of complaints, shall be processed as follows:
 - a. For the first and second violations within a twelve-month period, the sanction shall be a warning notice.
 - b. If the same offense continues to occur or a third similar offense occurs at any time during a twelve-month period, the city may either issue a third warning, update the permit to include reasonable special operational standards, or revoke the permit.
- B. Notice of Decision/Appeal/Stay. If the short-term rental permit is updated or revoked as provided in this section, the city administrator or designee shall send written notice to the owner stating the basis for the decision. The notice shall provide a date that a short-term rental permit is to be revoked and

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shall be no earlier than thirty calendar days from the date of the notice. Provided, however, stays booked prior to the notice of permit revocation may be honored by the owner or manager unless the revocation was due in part to life, health or safety violations that pose a risk to the renters. The notice shall include information about the right to appeal the decision and the procedure for filing an appeal. The owner may appeal the city administrator's decision under the procedures set forth in WSMC 5.02.055. Upon receipt of an appeal, the city administrator or designee shall stay the update or revocation decision until the appeal has been finally determined by the city council.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.050 Violations—Penalties.

- A. In addition to the revocation procedures of WSMC 5.02.045, any person or owner who uses, or allows the use of, property in violation of this chapter is guilty of a class 1 civil infraction under RCW 7.80.120(1)(a) and is subject to fine ~~or two hundred fifty dollars per violation~~. Each day a dwelling is used in violation of this chapter shall be considered a separate violation. Furthermore, the use is subject to abatement as a nuisance under WSMC Ch. 8.07.
- B. The following conduct also constitutes a violation of this chapter subject to punishment as Class 1 Civil Infraction:
 - 1. Renting or representing a dwelling unit or lodging unit as available for occupancy or rent as a short-term rental where the owner does not hold a valid permit issued under this chapter, or making a short-term rental available for use, occupancy or rent without first obtaining a valid operating permit;
 - 2. Advertising or renting a short-term rental in a manner that does not comply with the standards of this chapter; and
 - 3. Failure to comply with the operational requirements of WSMC 5.02.040.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.055 Appeals.

- A. Appellant—Standing. Only the owner or contact person shall have standing to appeal a decision by the city to deny, revoke or attach special operational standards to a short-term rental permit.
- B. Authority to Decide Appeal. The city council shall be responsible for determining an appeal of a decision brought under WSMC 5.02.055.A.
- C. Time for Filing. An appellant is required to file a written notice of appeal including the basis for the appeal within fourteen calendar days of the permit determination being appealed. This requirement is jurisdictional and late filings shall not be allowed.
- D. Fee for Appeal. The city council may establish by resolution a fee for filing an appeal, and payment of the required fee shall be jurisdictional.
- E. Hearing. After receiving written notice of appeal, the city administrator or designee shall schedule a hearing on the appeal before the city council. At the hearing, the appellant shall have the opportunity to present evidence and arguments as may be relevant. The council may direct staff to draft findings of fact and interpretations of code or law to be considered at a later council meeting.
- F. Standard of review and decision. The council shall determine whether the city's decision was based on a preponderance of the evidence. A decision of the council shall be based on the evidence received, in writing and signed by the mayor, and issued no later than thirty calendar days after the close of the hearing.

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- G. Finality. The council's decision shall be final on the date of mailing the decision to the appellant. The council's decision is the final decision of the city and is appealable only under the Land Use Petition Act (LUPA), RCW Ch. 36.70C.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.060 Discontinuance of short-term rental occupancy.

- A. After Revocation. After a short-term rental permit has been revoked, the dwelling unit may not be used or occupied as a short-term rental unless a new permit is issued, and the owner of the property to which the permit applied and whose permit has been revoked shall not be eligible to reapply for a short-term rental permit for short-term rental on the same property for a period of twelve months from the date of revocation.
- B. After Expiration. If a short-term rental permit expires, the dwelling unit may not be used or occupied as a short-term rental. The owner of the property to which the permit applied and whose permit has expired shall be required to apply for and obtain a short-term rental permit before the property may be lawfully used or occupied as a short-term rental.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)

5.02.065 Remedies not exclusive.

The remedies provided in this chapter are in addition to, and not in lieu of, all other legal remedies, criminal and civil, which may be pursued by the city to address any violation of this code.

(Ord. No. 2019-12-1052, § 1, 12-4-2019)