



Plan & Architectural Review Meeting

Whitewater Municipal Building Community Room,
312 West Whitewater St., Whitewater, WI 53190
*In Person and Virtual

Monday, November 10, 2025 - 6:00 PM

Citizens are welcome (and encouraged) to join our webinar via computer, smart phone, or telephone. Citizen participation is welcome during topic discussion periods.

Plan and Architectural Review Commission
Nov 10, 2025, 6:00 – 8:00 PM (America/Chicago)

Please join my meeting from your computer, tablet or smartphone.
<https://meet.goto.com/642032253>

You can also dial in using your phone.
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Please note that although every effort will be made to provide for virtual participation, unforeseen technical difficulties may prevent this, in which case the meeting may still proceed as long as there is a quorum. Should you wish to make a comment in this situation, you are welcome to call this number: (262) 473-0108.

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

A committee member can choose to remove an item from the agenda or rearrange its order; however, introducing new items to the agenda is not allowed. Any proposed changes require a motion, a second, and approval from the Committee to be implemented. The agenda shall be approved at each meeting even if no changes are being made at that meeting.

HEARING OF CITIZEN COMMENTS

No formal Plan Commission action will be taken during this meeting although issues raised may become a part of a future agenda. Specific items listed on the agenda may not be discussed at this time; however, citizens are invited to speak to those specific issues at the time the Commission discusses that particular item.

CONSENT AGENDA

Items on the Consent Agenda will be approved together unless any commission member requests that an item be removed for individual consideration.

1. Approval of Minutes of October 13, 2025
2. Resignation of Lisa Dawsey-Smith.

PUBLIC HEARING FOR REVIEW AND POSSIBLE APPROVAL

3. Discussion and possible approval of a Conditional Use Permit for First Floor Residential Use, Certified Survey Map and Site Plan Review for Habitat for Humanity of Walworth County for Tax Parcel #: /TRA 00003.
4. Discussion and possible approval of a Conditional Use Permit for Whitewater Manufacturing located at 1108 E Bluff Road. Tax Parcel #'s /HAS 00068 and /HAS 00069A.

DISCUSSIONS AND CONSIDERATIONS

5. Discussion and possible recommendation to Common Council the Park and Recreation Open Space Plan 2026 to 2031.
6. Discussion and possible approval of the Site Plan for the CG Hickey Training Center to be located at 1220 Innovation Drive. Tax Parcel # /A4555000001.
7. Discussion and possible recommendation to Public Works Commission the granting of an easement for the Hamilton House Wheelchair Ramp.
8. Discussion and Possible Action regarding Appointment of a Plan and Architectural Review Commission representative for Comprehensive Plan Update Advisory Committee.
(Becker)

FUTURE AGENDA ITEMS

9.
 1. Childcare Zoning Ordinance
 2. Amending Sign Ordinance
 3. Creating Permit Expiration Ordinance
 4. Creating Demolition Ordinance
 5. Repeal of Section 20.04.100

NEXT MEETING DATE**ADJOURNMENT**

Anyone requiring special arrangements is asked to call the Office of the City Manager / City Clerk (262-473-0102) at least 72 hours prior to the meeting. Those wishing to weigh in on any of the above-mentioned agenda items but unable to attend the meeting are asked to send their comments to:
c/o Neighborhood Services Director

312 W. Whitewater Street
Whitewater, WI 53190
or Idostie@whitewater-wi.gov

A quorum of the Common Council might be present. This notice is given to inform the public that no formal action will be taken at this meeting by the Common Council.



Plan & Architectural Review Meeting

Whitewater Municipal Building Community Room,
312 West Whitewater St., Whitewater, WI 53190
*In Person and Virtual

Monday, October 13, 2025 - 6:00 PM

MINUTES

CALL TO ORDER

Meeting called to order at 6:01 p.m.

PRESENT

Chairman, Councilmember Neil Hicks
Board Member Marjorie Stoneman
Board Member Carol McCormick
Vice Chairman Lynn Binnie
Board Member Sherry Stanek

ABSENT

Board Member Bruce Parker
Board Member Tom Miller

STAFF

Mason Becker, Economic Development Director
Attorney Steven Chesebro
Llana Dostie, Neighborhood Services Administrative Assistant
Allison Schwark, Zoning Administrator

OATH OF OFFICE

City Clerk Boehm administrated the oath of office to Sherry Stanek as a new member of Plan Commission.

APPROVAL OF AGENDA

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Hicks made Motion to remove Items 6 and 7 from the agenda till the next meeting.

Binnie asked for a summary of changes that were made.

Zoning Administrator Schwark stated that she expanded her review of the comprehensive plan amendment and added more detail pertaining to the reason for the project meeting our comprehensive plan amendment requirements. No changes to the application or in what the applicant is requesting. The only change was in my memo adding in more detail to the bullet points in my memo.

Hicks asked if it was pages 96, 97 and 98.

Zoning Administrator Schwark stated the expansion was on pages 96 to 98.

Stanek asked how this would substantially change what we are discussing or is that just a technicality.

Hicks stated that multi-family is a hot topic in the community to begin with, I just want to make sure that the changes that were made on 96 through 98 would be out to the public.

Zoning Administrator Schwark stated that the initial packet that was distributed was published to the public, then on Saturday when I changed my memo, the agenda and packet were modified and distributed to the PARC and the public.

Binnie stated that the body can only make recommendations.

Economic Development Becker stated the requested information was at the bequest of City staff to provide further information. The recommendations did not change with the update to the memo.

Motion made by Chairman, Councilmember Hicks, Seconded by Board Member McCormick.

Voting Yea: Chairman, Councilmember Hicks

Voting Nay: Board Member Stoneman, Board Member McCormick, Vice Chairman Binnie, Board Member Stanek

Motion failed

Motion to Binnie to approve agenda with a 2nd from Stanek.

Voting Yea: Chairman, Councilmember Hicks, Board Member Stoneman, Board Member McCormick, Vice Chairman Binnie, Board Member Stanek

Voting Nay: None

HEARING OF CITIZEN COMMENTS

No formal Plan Commission action will be taken during this meeting although issues raised may become a part of a future agenda. Specific items listed on the agenda may not be discussed at this time; however, citizens are invited to speak to those specific issues at the time the Council discusses that particular item.

None

CONSENT AGENDA

Items on the Consent Agenda will be approved together unless any commission member requests that an item be removed for individual consideration.

1. Approval of September 8, 2025 Minutes.

Motion made by Vice Chairman Binnie, Seconded by Chairman, Councilmember Hicks.
Voting Yea: Chairman, Councilmember Hicks, Board Member Stoneman, Vice Chairman Binnie, Board Member Stanek
Voting Abstaining: Board Member McCormick

PUBLIC HEARING FOR REVIEW AND POSSIBLE APPROVAL

2. Discussion and possible approval of a Conditional Use Permit for Drive-Thru, Drive-Thru Service Order Board, 2nd Building Wall Sign and Site Plan Review for Dunkin Donuts located at 1185 W Main Street, Whitewater, WI 53190. Parcel #: /L00011.

Zoning Administrator Schwark stated Dunkin is not asking to to tear the building down. They need the conditional use for the drive-thru and overage on the signage. They will be refacing the pylon sign. There is already a drive thru lane. They are proposing to use the same area and layout. They are not making any building modification except for facade improvements to make it look like the standard Dunkin Donuts. The other renovation will be internal.

Stoneman asked if the pylon sign might be the free standing one outside.

Zoning Administrator Schwark confirmed that is the pylon sign.

Ryan Dirksen with the Koru Group stated the existing walk in box is going to be relocated by 10 feet and still enclosed.

McCormick asked if the if the spot next to the handicap spot was for curb side pick up.

Ryan Dirksen confirmed it is curb side pick up.

Binnie stated that his only concern that would be the same as the previous business, and that is the traffic backup related to the drive thru.

Economic Development Director Becker stated that we had a resident that was trying to speak, but we could not hear them.

Aubrey Thompson from 318 E North Street. I only have one comment about the north exit, it is very steep-would like it reggraded to make it smoother.

Motion to approve with planner's recommendations.

Motion made by Board Member Stanek, Seconded by Vice Chairman Binnie.
Voting Yea: Chairman, Councilmember Hicks, Board Member Stoneman, Board Member McCormick, Vice Chairman Binnie, Board Member Stanek

3. Discussion and possible approval of a Conditional Use Permit for Coperion Solutions, LLC. Tax Parcel #HAS 00054.

Zoning Administrator Schwark stated that the applicant is requesting a conditional use permit for continued use of Light Industrial and Manufacturing Use. This property has been used for Light Industrial and Manufacturing. Because of the change in ownership they need to update their conditional use permit.

Binnie stated that the application has checked off yes for hazardous and flammable materials. Have the required documents been provided.

Zoning Administrator Schwark stated they may have been provided but they will certainly need to be provided prior to the issuance of the conditional use permit.

Hicks asked if this was essentially a name and owner change only. Can we make it a condition that they supply the MSDS sheets.

Zoning Administrator Schwark confirmed that that is what this is.

Motion to approve conditional use permit with a condition that the MSDS be supplied to the Zoning Administrator prior to issuance of conditional use permit along with planner's recommendation and conditional use goes with the applicant.

Stoneman asked about issues with odors and noise. Is that the same issue as the other company.

Zoning Administrator Schwark stated she knows as much as the commission, the information provided in the application was vague.

Chad Lorensen is the Director of Operation. It is all the same.

Motion made by Chairman, Councilmember Hicks, Seconded by Board Member Stanek. Voting Yea: Chairman, Councilmember Hicks, Board Member Stoneman, Board Member McCormick, Vice Chairman Binnie, Board Member Stanek

4. Discussion and possible approval of a Conditional Use Permit for First Floor Residential located at 319 W James Street, Whitewater, WI 53190. Parcel #: /TR 00025.

Zoning Administrator Schwark stated the applicant is requesting first floor residential in the B-2 Central Business District. The owner just purchased the property. The new owner would like an art gallery and small gallery space; those are a permitted use. The residential apartment is what requires the conditional use. We currently have open code violations on the property that we will work with the applicant about deadlines.

McCormick asked about a kitchen.

Zoning Administrator Schwark stated they would have to meet state code.

Stanek asked if this is approved what the next steps would be.

David Stone stated that he hopes that we give a new owner time to make repairs.

Motion to approve conditional use permit with planner's conditions.

5. Discussion and possible approval of a Conditional Use Permit for First Floor Residential Use for Habitat for Humanity of Walworth County for Tax Parcel #: /TRA 00003.

ITEM REMOVED FROM AGENDA AFTER NOTICES SENT OUT

6. Discussion and possible recommendation to Common Council for change to the Comprehensive Plan Future Land Use Map for Tax Parcel #A444200001 from General Manufacturing District (M-1) to Multi-Family Residence District (R-3).

Zoning Administrator Schwark stated you have two different items in front of you. The first is the future map land change from M-1 to higher density residential. And the second

is a rezone request. The applicant is requesting that the map change from manufacturing to higher density residential. This map is located within our comprehensive plan; it contains recommendations where we can see the city going in the future.

The zoning map amendment would be going from M-1 Manufacturing District to R-3 Multi-Family Residence District. When you consider a comprehensive plan amendment you want to look at items 1-8 within my memo. You will notice that item numbers 6 and 7 are not applicable to this request. The proposal is for new construction. This site has remained vacant for multiple years under the current zoning and future land use. Studies were completed for this site for a railroad spur. And due to small lot size and unique shape it would limit the potential of a manufacturer to use this lot for a rail spur.

Stanek stated that the comprehensive plan was done in 2010 and they are usually reassessed every 10 years.

Zoning Administrator Schwark stated that the City is approaching the time frame that this would need to be updated.

McCormick stated that we recently approved a company to update the comprehensive plan.

Jeffrey Knight 405 Panther Court stated that this is currently the only industrial site controlled by the city. Other parcels that were proposed are not owned by the city. Bigger concern is that parcel is adjacent manufacturing and is next to railroad. When this project came up in the CDA there was a lot of public opposition.

Andrea Svec W7679 Schraeder Road there is a lot of concern about the apartments that are being proposed and built in the City. Why are we rushing a project that was denied in February. Doesn't know who will want to live there.

Aubrey Thompson 318 E North Street safety concerns with railroad and what are the manufacturing chemicals being used in the area.

Joyce Hutchinson 414 S Douglas Ct commercial land is more valuable. Go find businesses.

Justin Z from Vierbacher stated this lot does provide the transition between the manufacturing to single family.

Larry Kachel 457 S Buckingham Blvd let's not give up on job creation. We need jobs in the community. Jobs bring people, people don't bring jobs.

Bob Murry with Pre-3 stated when businesses look to relocate the first question they ask is where their employees will live. People can't afford housing that costs \$3,000 a month. There is a lot of industrial land available in Whitewater. There may be land that is zoned for Multi-family, but it doesn't mean the owners are willing to sell.

McCormick thinks that this should be tabled until the new comp plan is updated.

Stoneman asked about the railroad and why it is not a viable site for manufacturing.

Zoning Administrator Schwark stated the site has been vacant forever. It is partially due to size and configuration of the lot. Railroad Guy LLC did the evaluation for a rail spur. The rail spur would have to go through the middle of the property. You would have

to find a company small enough to fit on site with the spur and big enough to need a spur.

Binnie asked if the Railroad Guy analysis we are looking at is lot 10B that is referenced in the report.

Economic Development Director Becker stated that the study that Railroad Guy did looked at three sites, including this site. A total of two trains come through Whitewater a day. We looked at expanding the site but the land to the north and east is DNR designated wetlands. There is an issue that people need to be aware of when we are talking industrial growth. Yes there is a lot of industrial growth in the surrounding area. We have a power capacity issue in the City of Whitewater today. WE Energies is going to have to significantly building out their infrastructure to support larger industrial applications.

Binnie asked for confirmation that lot 10 B on the report is the lot we are talking about.

Economic Development Director Becker confirmed that it was.

Binnie stated as for the suggestion by Ms. McCormick as to the comp plan. From what I'm seeing here from what we were provided for a prospective timeline of completion, we are a year away from anticipated approval of such plan.

Economic Development Director confirmed that yes it would start in the next month or so and wrap up in the fourth quarter of 2026.

Stanek stated that this would be a good buffer between neighborhoods and light industry.

Zoning Administrator Schwark stated that for residents concerned that the city may potentially be moving too quickly, this is the first step in many that will need to be taken before a developer can break ground on this site. In terms of the comprehensive map amendment we did publish a 30 day Class 1 Public Notice. We also increased our buffer to 1,000 square feet, so any residents within that buffer received notice by mail. In addition to that, this is one of many approvals. From here you make recommendations to Council. Council has the authority to approve the land use change as well as the rezone. And from there the developer needs to apply for a Conditional Use Permit to construct the actual buildings they want to construct.

MOTION TO RECOMMEND TO COUNCIL THE COMP AMENDMENT WITH PLANNER'S RECOMMENDATIONS.

Motion made by Vice Chairman Binnie, Seconded by Board Member Stoneman.

Voting Yea: Board Member Stoneman, Vice Chairman Binnie, Board Member Stanek

Voting Nay: Chairman, Councilmember Hicks, Board Member McCormick

MOTION PASSED

7. Consideration to Approve and Recommend to Common Council a change in District Zoning Map to Rezone Parcel #A444200001 vacant land at end of E Main Street from M-1 (Manufacturing) to R-3 (Multi-Family Residence District).

Zoning Administrator Schwark stated that since there was a motion to recommend the change to the comprehensive plan use plan it would be in the commission's interest to recommend the rezone.

MOTION TO RECOMMEND TO COUNCIL THE REZONE WITH PLANNER'S RECOMMENDATIONS

Jeff Knight 405 Panther Court asked about why there was a change in the agenda.

Hicks stated that there were minor additions to the planner's report. There were no additions to the agenda and we were not required to actually post the 72 hour notice.

Motion made by Vice Chairman Binnie, Seconded by Board Member Stanek.

Voting Yea: Board Member Stoneman, Vice Chairman Binnie, Board Member Stanek

Voting Nay: Chairman, Councilmember Hicks, Board Member McCormick

MOTION PASSED

DISCUSSION/CONSIDERATION

8. Update regarding Amendment to Simultaneous Property Swap Agreement.

Economic Development Director Becker stated that staff wanted to provide an update on the Tanis Land Swap deal. The city gained control of the Wrap and Ship site and Tanis Properties gained control of a site in the tech park that they are building contractor shops on.

9. Update regarding Comprehensive Plan.

Economic Development Director Becker stated at the last common council meeting, the council did approve the recommendation of the selection of RDG Planning and Design. They are a firm with a 4 state presence in the Upper Midwest. We are working at finishing up the contract. Next month we should be able to move forward with initial planning for the very important comprehensive plan update.

Hicks asked if they would be coming to Plan Commission meeting to present.

Economic Development Director confirmed yes.

Stoneman hoping that we talk to the Spanish speaking residents. Include that we are a tree city and have wonderful birds.

FUTURE AGENDA ITEMS

None

NEXT MEETING DATE

November 10, 2025

ADJOURNMENT

Meeting adjourned at 7:33 p.m.

Motion made by Vice Chairman Binnie, Seconded by Board Member Stoneman.

Voting Yea: Chairman, Councilmember Hicks, Board Member Stoneman, Board Member McCormick,
Vice Chairman Binnie, Board Member Stanek



Outlook

Plan and architectural review commission

From Lisa Dawsey <ldawsey06@gmail.com>

Date Wed 10/22/2025 10:02 AM

To Llana Dostie <ldostie@whitewater-wi.gov>

You don't often get email from ldawsey06@gmail.com. [Learn why this is important](#)

Good day,

Due to my impending relocation please consider this my formal resignation from the PARC. It has been an honor to serve the community in this capacity.

Kind regards,

Lisa Marie D. Smith

MEMORANDUM

To: City of Whitewater Plan and Architectural Review Commission

From: Allison Schwark, Zoning Administrator

Date: November 11, 2025

Re: Conditional Use Permit, and Site Plan Review, and 4 Lot Certified Survey Map

Summary of Request	
Requested Approvals:	Conditional Use Permit (CUP) Site Plan Review Certified Survey Map
Location:	216 Main Street (/TRA 00003)
Current Land Use:	Vacant
Proposed Land Use:	Zero Lot Line Townhome Development (Residential)
Current Zoning:	B-2 Central Business District
Proposed Zoning:	N/A
Future Land Use, Comprehensive Plan	Central Business

Staff Review

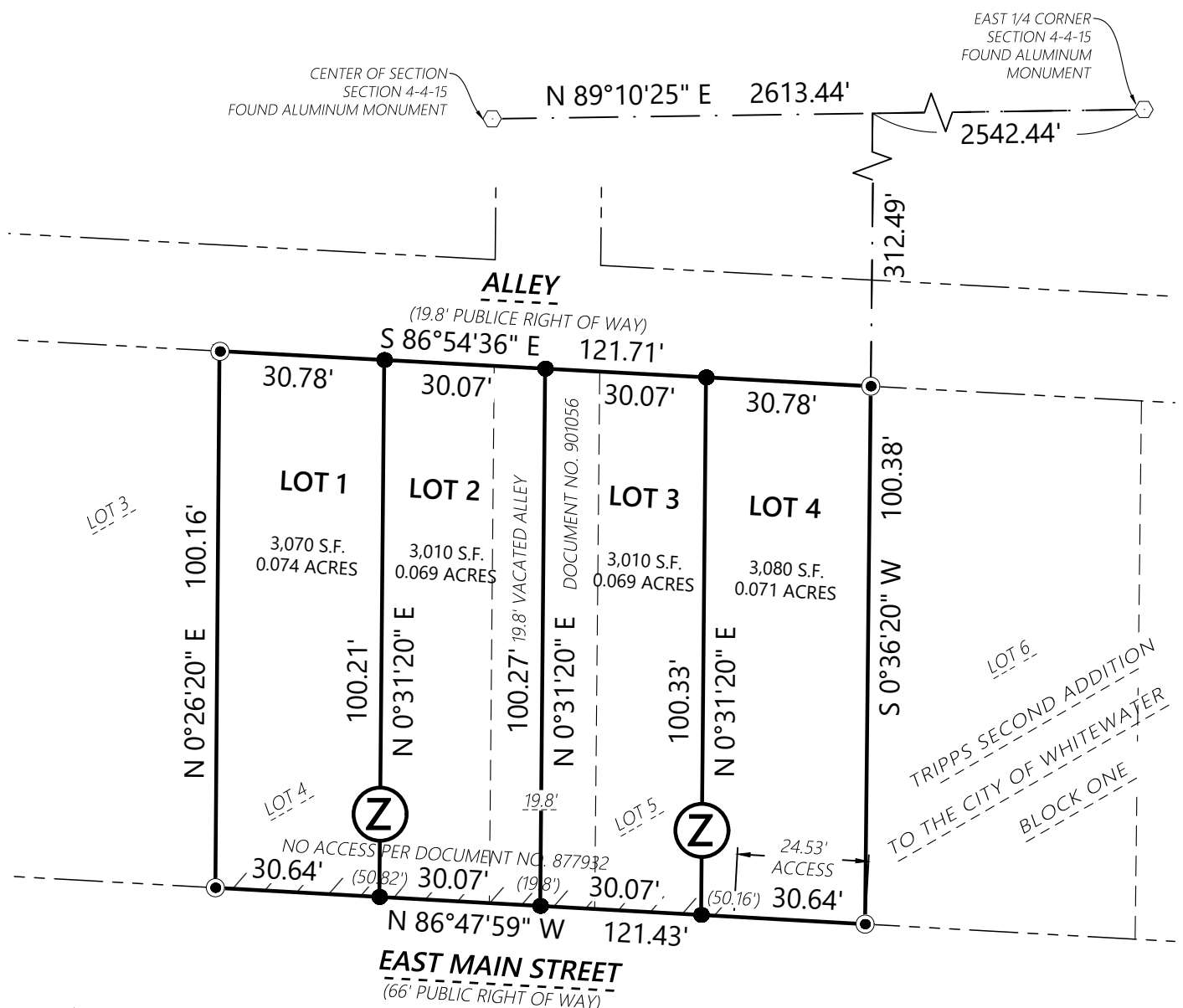
The applicant is requesting a conditional use permit for first floor residential use in the B-2 zoning district. Habitat for Humanity has partnered with the City of Whitewater to complete a residential project located at 216 Main Street. The parcel previously had a dilapidated building on the site, and in previous years had been used as a vehicle parking area. The building has since been razed, and old alleyway has been formally vacated, and the site is ready for new development. Habitat for Humanity has proposed 2, two story side by side townhomes with a zero lot lines. Each side of the townhome will be constructed and sold individually as affordable housing options for the City of Whitewater. Each unit will contain 3 bedrooms, 1.5 bathrooms, and a full basement. The B-2 district requires a conditional use permit for all residential uses on

the first floor. Within the B-2 district, there shall be no minimum required ordinance design and dimensional standards or setbacks. This is being done to allow the most flexibility in the reuse and redevelopment of downtown. Therefore, the proposed development complies with all requirements of the B-2 zoning district. The proposed townhome project will act as a good transition between the downtown commercial uses, and the residential properties nearby. The adjacent properties directly north and east are all residential homes. In addition to the conditional use permit and site plan review, the applicant has provided a 4 lot Certified Survey Map (CSM) for consideration. The proposed CSM shows that the alleyway has been formally and legally vacated, and one lot will be converted into four, in preparation for the zero lot line duplexes to be constructed. The proposed CSM complies with all requirements of the B-2 district, and zero lot line development is permitted within this zoning designation. The lot sizes are consistent with typically zoned B-2 parcels.

Planner's Recommendations

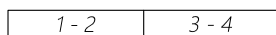
- 1) Staff recommend that Plan Commission **APPROVE** the Conditional Use Permit, Site Plan Review, and 4 Lot CSM for first floor residential and new construction for the parcel located at 216 Main Street, tax key /TRA 00003 with the following conditions:
 - a. All lighting shall comply with the City of Whitewater Ordinances.
 - b. All zoning and building permits for construction be properly obtained.
 - c. Landscaping shall be completed to the specifications of the site plan within 30 days after the completion of construction. Any deviation from the site plan shall require additional PARC approval.
 - d. Site plan shall not deviate from approved plans. Any deviation shall require additional PARC approval.
 - e. All residential development shall be subject to a park acquisition fee per dwelling unit and a park improvement fee per dwelling unit, payable before a building permit is issued. The fee will be recommended by the parks and recreation board and then approved by the common council. The fee will be on record at the city clerk's office. The amount of these fees may be reduced by any fee amount previously paid or credited at the time of subdivision, or by fifty percent if the new housing units are created as a result of the conversion or remodeling of a preexisting building. The park acquisition fee may also be reduced if sufficient land area was provided for park purposes at the time of subdivision, based on the calculations in Section 18.04.030(a)(1) of the Whitewater Municipal Code. The fee amounts shall be set by the city council.
 - f. Any other stipulations as indicated by the PARC.

OF LOTS 4 & 5 AND THE VACATED ALLEY BETWEEN SAID LOTS 4 & 5 IN BLOCK 1 OF TRIPP'S SECOND ADDITION TO THE CITY OF WHITEWATER, BEING IN PART OF THE NE 1/4 OF THE SW 1/4 & PART OF THE NW 1/4 OF THE SE 1/4 OF SECTION 4, T. 4 N., R. 15 E., OF THE 4TH P.M., CITY OF WHITEWATER, WALWORTH COUNTY, WISCONSIN



LOT PAIRING

THE FOLLOWING LOTS ARE TO BE COMBINED
IN PAIRS FOR 1 STRUCTURE PER TWO LOTS








Scale: 1" = 30'



DISTANCE UNITS BASED ON THE UNITED STATES SURVEY FOOT

BEARINGS BASED ON THE WISCONSIN COORDINATE REFERENCE
SYSTEM, WALWORTH ZONE. THE NORTH LINE OF THE
SOUTHEAST 1/4 BEARING NORTH 89° 10' 25" EAST

LEGEND

- | | |
|---|--|
|  | Iron Rebar Set
3/4" x 24"(1.5 Lbs./Ft.) |
|  | 3/4" Iron Rebar Found |
|  | Iron Pipe Found |
|  | Section Corner Monument Found |
|  | Zero Lot Line |
| (XXX.XX) | Record Information |

ORDER NO: 35726

FIELD CREW: JLK
DRAWN BY: JRT
SHEET 1 OF 3

FOR THE EXCLUSIVE USE OF:

Habitat for Humanity of Walworth County
PO Box 174
Lake Geneva, WI 53147

Batterman

engineers surveyors planners
BELOIT | ELKHORN | JANESVILLE
2857 S. Bartells Dr., Beloit, WI 53511
608.365.4464 | www.rhbatterman.com



CERTIFIED SURVEY MAP NO. _____

OF LOTS 4 & 5 AND THE VACATED ALLEY BETWEEN SAID LOTS 4 & 5 IN BLOCK 1 OF
TRIPP'S SECOND ADDITION TO THE CITY OF WHITEWATER, BEING IN PART OF THE NE 1/4
OF THE SW 1/4 & PART OF THE NW 1/4 OF THE SE 1/4 OF SECTION 4, T. 4 N., R. 15 E., OF
THE 4TH P.M., CITY OF WHITEWATER, WALWORTH COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE OF COMPLIANCE WITH STATUTE

State of Wisconsin } ss. I, Kristin J. Belongia, a Professional Land Surveyor, do hereby certify that I have
County of Walworth } surveyed and mapped Lots 4 and 5 and the discontinued alley between Lots 4 and 5 in
Block 1 of Tripp's Second Addition to the City of Whitewater, being part of the Northeast 1/4 of the Southwest 1/4
and part of the Southwest 1/4 of the Southeast 1/4 of Section 4, T. 4 N., R. 15 E., of the 4th P.M., City of Whitewater,
Walworth County, Wisconsin.

DESCRIBED AS FOLLOWS: Commencing at a found aluminum monument being the East 1/4 corner of aforesaid
Section 4 (T. 4 N., R. 15 E.); thence South 89°10'25" West, along the north line of the Southeast 1/4 of said Section 4, a
distance of 2,542.44 feet; thence South 00°36'20" West, a distance of 312.49 feet to a found 3/4" rebar at the
Northeast corner of Lot 5, Block 1 of Tripp's Second Addition and the Point of Beginning; thence continuing South
00°36'20" West a distance of 100.38 feet to a found 3/4" rebar at the Southeast corner of said Lot 5; thence North
86°47'59" West a distance of 121.43 feet to a found 3/4" rebar at the Southwest corner of Lot 4 of aforesaid Tripp's
Second Addition; thence North 00°26'20" East a distance of 100.16 feet to a found 3/4" rebar at the Northwest corner
of said Lot 4; thence South 86°54'36" East a distance of 121.71 feet to the Point of Beginning.

Containing 12,180 square feet 0.280 acres more or less.

Subject to any easements, agreements, covenants and restrictions, recorded or unrecorded.

That such map is a correct representation of all exterior boundaries of the land surveyed and the division of that land.
That I have made such survey, division and map by the direction of the Owner(s) of said land, and that I have
complied fully with the provisions of Section 236.34 of the Wisconsin Statutes in surveying, dividing and mapping the
same.

Given under my hand and seal this _____ day of _____, 2025 at Beloit, Wisconsin.

Last day of field work September 23, 2025

ORDER NO: 35726

FIELD CREW: JLK
DRAWN BY: JRT
SHEET 2 OF 3

FOR THE EXCLUSIVE USE OF:

Habitat for Humanity of Walworth County
PO Box 174
Lake Geneva, WI 53147

Batterman

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CERTIFIED SURVEY MAP NO. _____

OF LOTS 4 & 5 AND THE VACATED ALLEY BETWEEN SAID LOTS 4 & 5 IN BLOCK 1 OF TRIPP'S SECOND ADDITION TO THE CITY OF WHITEWATER, BEING IN PART OF THE NE 1/4 OF THE SW 1/4 & PART OF THE NW 1/4 OF THE SE 1/4 OF SECTION 4, T. 4 N., R. 15 E., OF THE 4TH P.M., CITY OF WHITEWATER, WALWORTH COUNTY, WISCONSIN

CORPORATE OWNERS CERTIFICATE

Habitat for Humanity of Walworth County, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as Owner of the land described in the foregoing description, does hereby certify that said corporation caused the land described on this map to be surveyed, divided, mapped and dedicated as represented on the map.

Habitat for Humanity of Walwowrth County does further certify that this map is required to be submitted to the following for approval: City of Whitewater.

IN WITNESS WHEREOF, Habitat for Humanity of Walworth County has caused these presents to be signed by

_____, its CEO, this _____ day of _____, 2025.

_____, CEO

State of Wisconsin } ss. Personally came before me, this _____ day of _____, 2025,
County of _____

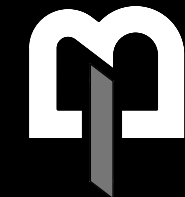
_____ of the above-named corporation, to me known to be the person(s) who executed the foregoing certificate, and to me known to be such CEO of said corporation and acknowledged that they executed the foregoing certificate as such officers as the deed of such corporation, by its authority.

Notary Public, _____ County, Wisconsin
My Commission Expires _____

CITY OF WHITEWATER APPROVAL CERTIFICATE

This Certified Survey Map, located in the City of Whitewater, is hereby approved by the City of Whitewater Plan and Architectural Review Commission, on this _____ day of _____, 2025.

By: _____
Heather Boehm, City Clerk



Batterman
engineers surveyors planners
BELOIT | ELKHORN | JANESVILLE
2857 S. Bartells Dr., Beloit, WI 53511
608.365.4464 | www.batterman.com

PLAT OF SURVEY AND BUILDING EXHIBIT

FOR THE EXCLUSIVE USE OF:
Habitat for Humanity for Walworth County
PO Box 174
Lake Geneva, WI 53147

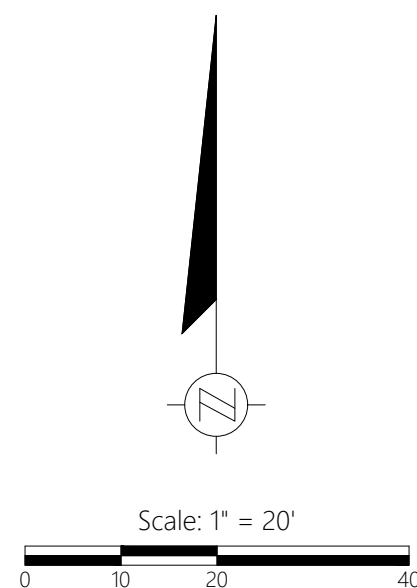
ORDER NO: 35726

FIELD CREW: JLK
DRAWN BY: JRT
SHEET 1 OF 1

File Name: 135700 - 3579935726 - Habitat for Humanity for Walworth County SURVEY\PHB DRAWING FILES

PLAT OF SURVEY AND BUILDING EXHIBIT

OF LOTS 4 & 5 AND THE VACATED ALLEY BETWEEN SAID LOTS 4 & 5 IN BLOCK ONE OF TRIPP'S SECOND ADDITION TO THE CITY OF WHITEWATER LYING AND BEING IN THE NE 1/4 OF THE SW 1/4 & NW 1/4 OF THE SE 1/4 OF SECTION 4, T. 4 N., R. 15 E., OF THE 4TH P.M., CITY OF WHITEWATER, WALWORTH COUNTY, WISCONSIN



DISTANCE UNITS BASED ON THE UNITED STATES SURVEY FOOT

BEARINGS BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, WALWORTH ZONE. THE NORTH LINE OF THE SOUTHEAST 1/4 BEARING NORTH 89° 10' 25" EAST.

VERTICAL DATUM BASED ON NAVD-88 (2012)
GEOID 18 WISCONSIN

LEGAL DESCRIPTION FOR DOC. NO. 1091685

LOTS 4 AND 5 AND THE DISCONTINUED ALLEY BETWEEN LOTS 4 & 5 IN BLOCK 1 OF TRIPP'S SECOND ADDITION TO THE CITY OF WHITEWATER, WALWORTH COUNTY, WISCONSIN. EXCEPT PARCEL 15 OF TRANSPORTATION PROJECT PLAT NO. 1407-075-4.01 RECORDED DECEMBER 30, 2013 AS DOCUMENT NO. 877927 AND EXCEPT PARCEL 11 OF TRANSPORTATION PROJECT PLAT NO. 1407-075-4.02 RECORDED DECEMBER 30, 2013 AS DOCUMENT NO. 877932.

LEGEND

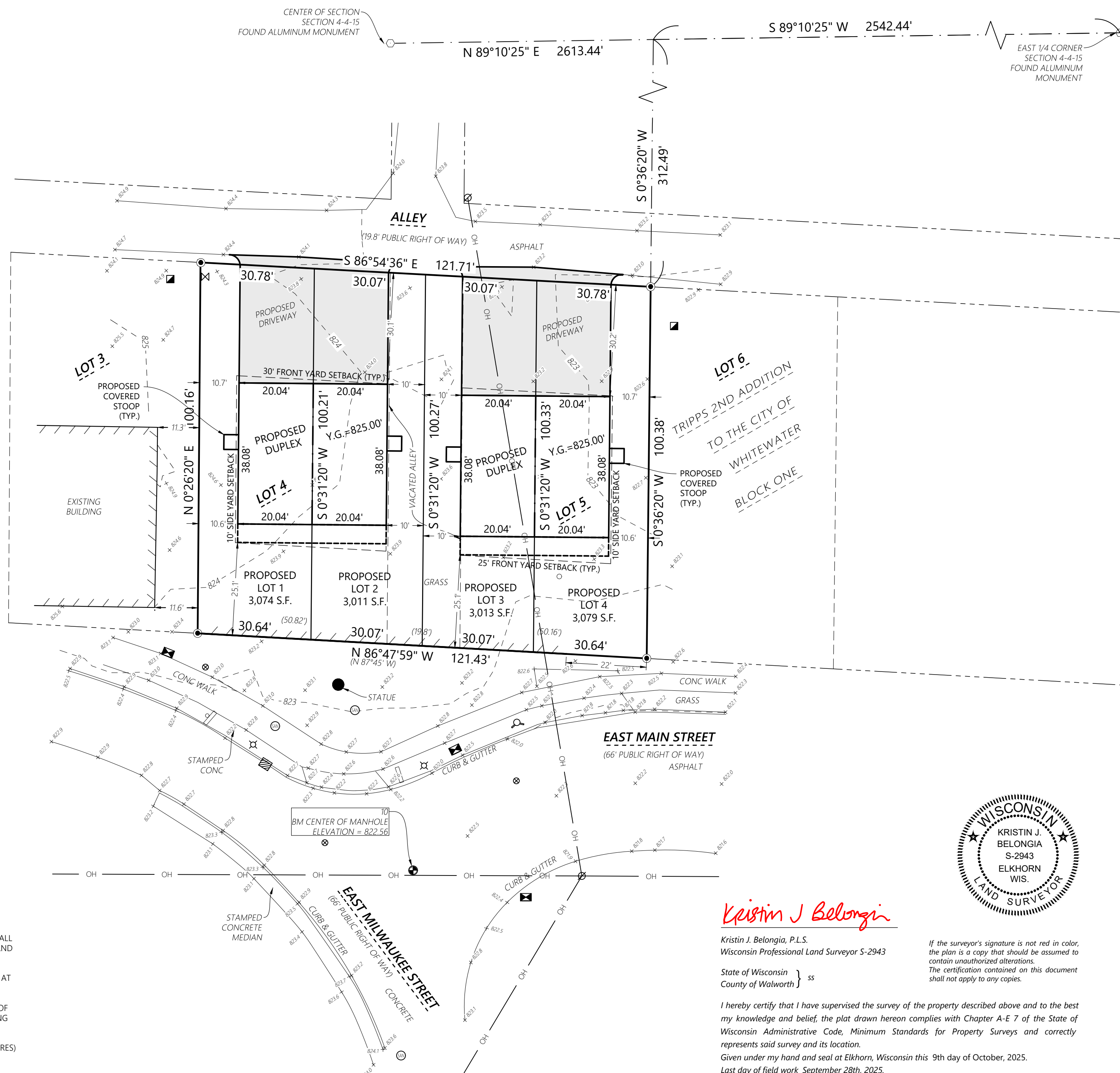
- Existing Boundary Line
- - - Existing Right-of-Way
- - - Existing Adjacent Property
- - - Existing Centerline
- - - Existing Section Line
- Existing Telephone Pedestal
- ⊠ Existing Utility Vault
- OH — Existing Overhead Power
- ⊙ Existing Utility Pole
- ⊙ Existing Light Pole
- ⊙ Existing Water Valve
- ⊙ Existing Fire Hydrant
- ⊙ Existing Sanitary Manhole
- ⊙ Existing Gas Valve
- ⊙ Existing Sign
- +33.4 Existing Spot Elevation

MONUMENT KEY

- 3/4" Iron Rebar Found
- ⊙ Benchmark
- (XXX.XX) Record Information

SURVEY NOTES

1. SURVEYED PROPERTY SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.
2. NO BUILDINGS EXIST ON SUBJECT PROPERTY AT THE TIME OF THIS SURVEY.
3. THIS SURVEY IS A RETRACEMENT OF A PLAT OF SURVEY PREPARED BY LAND-MARK SURVEYING DATED MAY 13, 2024.
4. SURVEYED LAND AREA = 12,180 S.F. (0.280 ACRES)



Kristin J. Belongia

Kristin J. Belongia, P.L.S.
Wisconsin Professional Land Surveyor S-2943

State of Wisconsin } ss
County of Walworth }

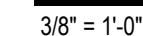
I hereby certify that I have supervised the survey of the property described above and to the best of my knowledge and belief, the plat drawn hereon complies with Chapter A-E 7 of the State of Wisconsin Administrative Code, Minimum Standards for Property Surveys and correctly represents said survey and its location.

Given under my hand and seal at Elkhorn, Wisconsin this 9th day of October, 2025.
Last day of field work September 28th, 2025.

If the surveyor's signature is not red in color, the plan is a copy that should be assumed to contain unauthorized alterations. The certification contained on this document shall not apply to any copies.

19

20





UNIT A 2ND FLOOR	761 SF
UNIT B 2ND FLOOR	761 SF

CUSTOMER APPROVAL

SIGNED: _____ DATE: _____
CUSTOMER SIGNATURE

CHECK BELOW IF APPLICABLE:
CERTIFIED SIGNED AND SEALED TRUSS DRAWINGS FOR
THE STATE OF _____ WILL BE REQUIRED FOR
PERMITTING PURPOSES PRIOR TO SHIPMENT OF HOME.

PLEASE SIGN
AND RETURN
THIS COPY TO
AMWOOD

FLOOR PLAN NOTES

GENERAL NOTATIONS:

BASE PLAN: CUSTOM

BY	CODE	DATE
MKH	WP	08/13/25

2nd Floor Plan

A-2.20

JOB NO. DH-2509

© 2019 AMWOOD. INC
8/13/2025 9:58:50

21

STAIR WALLS MATERIAL BY WINDSOR FIELD FRAMED BY OTHERS
NON-BEARING WALLS MATERIAL BY WINDSOR FIELD FRAMED BY OTHERS
PERIMETER WALLS MATERIAL BY WINDSOR FIELD FRAMED BY OTHERS
ALL OTHER WALLS BY OTHERS
DOORS BY OTHERS
TRIM BY OTHERS
CABINETS BY OTHERS

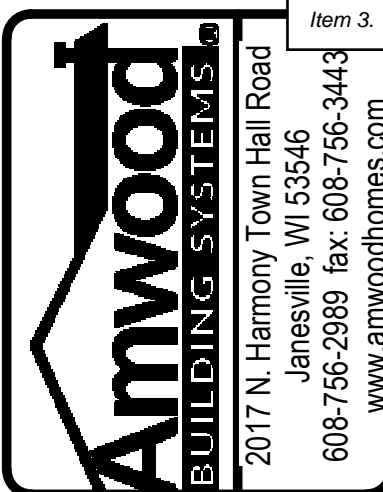
1. BASEMENT WINDOWS OTHER THAN NOTED, TO BE SIZED AND LOCATED BY BUILDER.
2. CONCRETE FOOTINGS AND SLABS SHALL BE REINFORCED IN ACCORDANCE WITH LOCAL, AND/OR STATE BUILDING CODES.
3. REGARDLESS OF DETAILS, BOTTOM OF FOOTINGS SHALL BE PLACED ON FIRM UNDISTURBED SOIL.

WE APPROVE THIS PLAN AS SHOWN, AND
UNDERSTAND THAT NO STRUCTURAL CHANGES
WILL BE MADE ONCE APPROVED.

SIGNED: _____ DATE: _____
CUSTOMER SIGNATURE

CHECK BELOW IF APPLICABLE:
CERTIFIED SIGNED AND SEALED TRUSS DRAWINGS FOR
THE STATE OF _____ WILL BE REQUIRED FOR
PERMITTING PURPOSES PRIOR TO SHIPMENT OF HOME.

PLEASE SIGN
AND RETURN
THIS COPY TO
AMWOOD



GENERAL NOTATIONS:

- Although every effort has been made in preparing these plans, and checking them for accuracy, the contractor must check all dimensions and details, and must be responsible for the same.
- This print and/or set is the property of Amwood Homes, Inc., and use of this print is prohibited without the written consent of Amwood Homes, Inc.
- Amwood Homes, Inc. and/or its dealer shall have construction lien rights for use of their blueprints, drawings, plans and/or specifications.

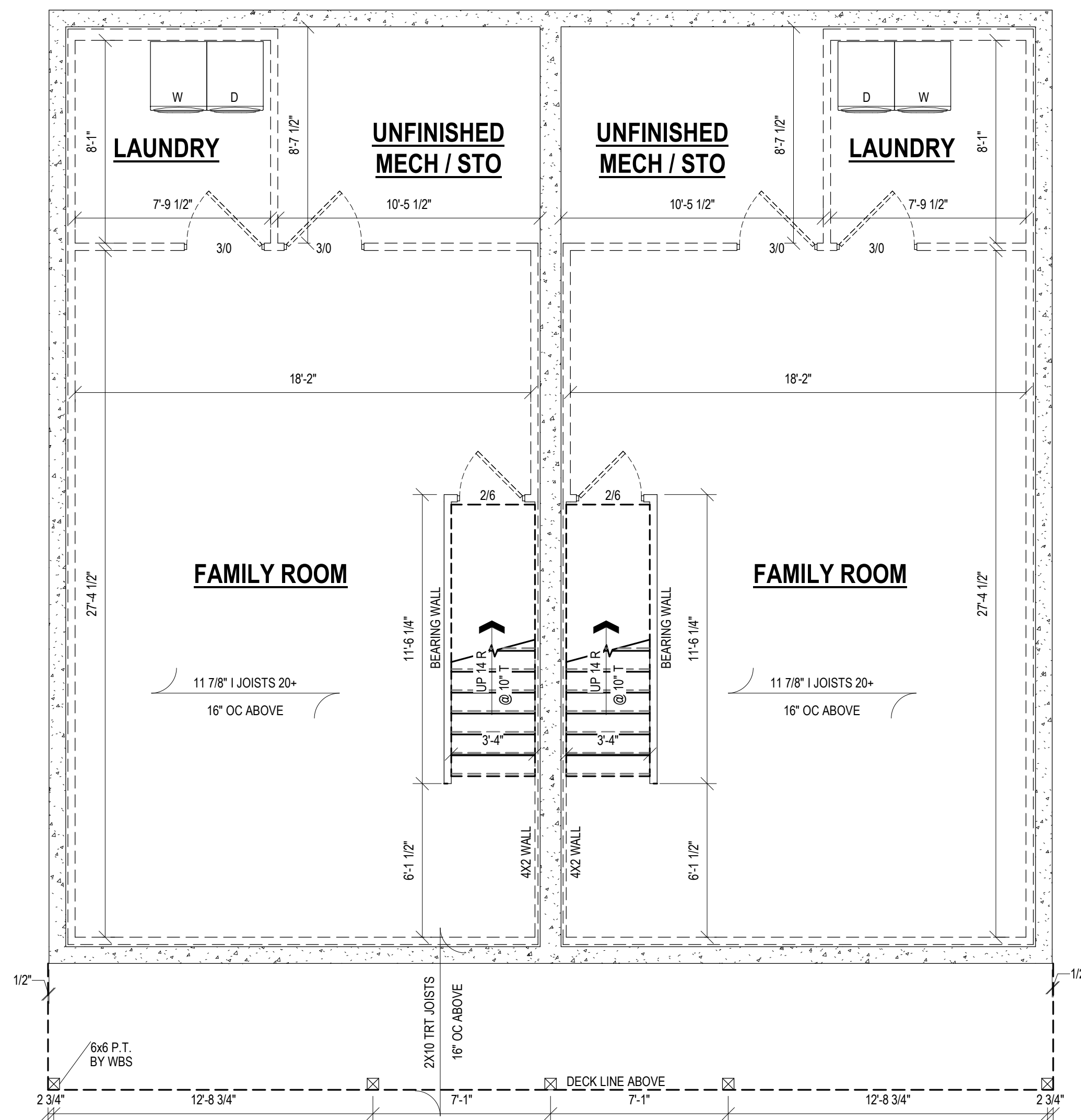
**TITLE: HABITAT
WALWORTH
WHITEWATER DUPLEX**

[illegible]

Basement Plan
A-2.00

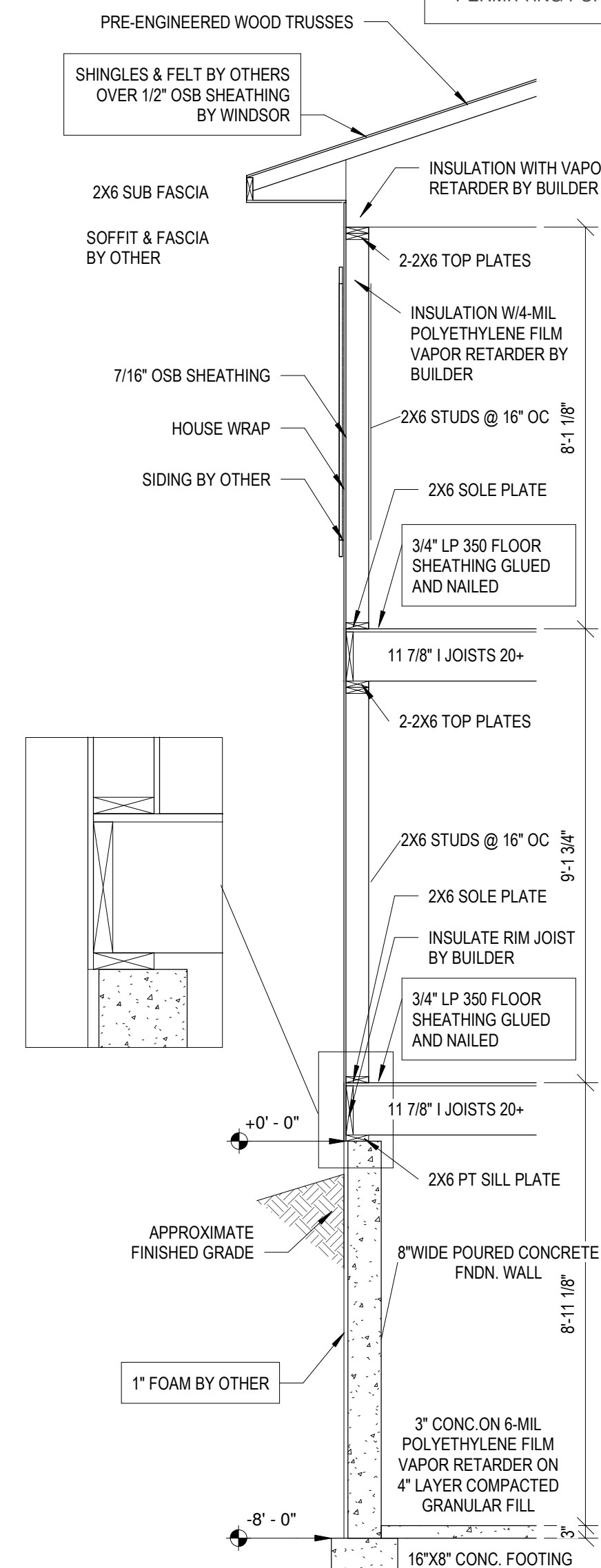
JOB NO. DH-2509

© 2019 AMWOOD. INC
8/13/2025 9:58:50


$$1/4'' = 1'-0''$$

UNIT A FINISHED BASEMENT	558 SF
UNIT B FINISHED BASEMENT	558 SF

$3/8" = 1'-0"$



NOTE: REGARDLESS OF DETAILS,
BOTTOM OF FOOTINGS SHALL BE
PLACED ON FIRM UNDISTURBED SOIL

NOTE: CONCRETE FOOTINGS AND
SLABS SHALL BE REINFORCED IN
ACCORDANCE WITH LOCAL AND / OR
STATE BUILDING CODES.

Print

Conditional Use Permit Application - Submission #1903

Date Submitted: 9/5/2025

City of Whitewater

312 W Whitewater Street
PO Box 178
Whitewater, WI 53190
262-473-0540
www.whitewater-wi.gov

Neighborhood Services

Conditional Use Permit Application

Conditional Use Application Checklist**Applicant**

1. Fill out Planning Request form, Conditional Use Application, Plan of Operation Form and Cost Recovery Certificate and Agreement. Twelve (12) copies 11 x 17, a digital copy of all submittal material:

- Application Forms
- Landscaping plan indicating location, type and size of materials (Please review Landscaping Guidelines)
- Stormwater and Erosion Control Applications (if necessary)
- Lighting (Photometric) Plan
- Add any other material you feel are pertinent

2. Application shall include the following Plan requirements:

- All plans shall be drawn to scale and show all sides of the proposed building.
- All plans will exhibit proposed/existing off-street parking stalls and driveway/loading docks.
- Building elevations must include the lot on which the structure is to be built and the street (s) adjacent to the lot.

3. Submit fee to City of Whitewater

City Building Inspector/Zoning Administrator

1. Review application for accuracy and all required information
2. Staff will review information for conformance to Ordinances
3. Engineer will review Stormwater and Erosion Control Plans
4. Landscaping Plan will be reviewed by Urban Forestry Commission
5. When application is complete and approved by all Staff it will then be forwarded to Neighborhood Services Administrative Assistant

Neighborhood Services Administrative Assistant

1. Conditional Use notice will be published in the local newspaper for two-week period with a one week waiting period for a total of three weeks prior to scheduled public hearing
2. Conditional Use notice will be mailed to property owners that abut the property and those that are within 300 feet minimum/and or further distance at the discretion of the zoning administrator from the property
3. Public Hearing for Conditional Use will be scheduled for the next Plan Commission meeting after notice has appeared in the newspaper for two weeks

Process

1. Plan Commission considers applicant's request and staff review is presented by Zoning Administrator, at the first initial appearance. If Plan Commission recommends changes and/or revisions, then the applicant must revise site plan, otherwise the is forwarded as is for the second appearance for approval/denial of the final site plan.

NOTE: Plan Commission normally meets the second Monday of each month at 6:00 p.m. If a public hearing is required, it will be scheduled at the beginning of the Plan Commission meeting.

Item 3.

Urban Forestry Commission usually meets the fourth Monday of each month at 5:00 p.m.

Taylor Zeinert, Economic Director
262-473-0148

tzeinert@whitewater-wi.gov

Llana Dostie, Neighborhood Services Administrative Assistant
262-473-0144

ldostie@whitewater-wi.gov

Allison Schwark, Municipal Code Enforcement
262-249-6701
mcodeenforcement@gmail.com

Site Plan Upload*

DH-2509 (2).pdf

Landscaping Plan Upload No fi...sen**Lighting Plan Upload** No fi...sen**MSDS Sheets** No fi...sen**Other Information** No fi...sen**PLANNING REQUEST****General Project Information****Project Tax Key #**

/TRA 00003

Project Address*

216 Main Street

Project Title (if any)

Habitat for Humanity Main Street

Applicant, Agent & Property Owner Information**Applicant's First Name***

John

Applicant's Last Name*

Dawson

Address*

N2440 Ara Glen, Suite 201

City*

Lake Geneva

State*

WI

Zip Code*

53147

Phone Number*

847 508 2916

Email Address*

John.Dawson@habitatwalworth.org

Agent Name

Same as applicant's

Agent Company**Address****City****State****Zip Code****Phone Number****Email Address****Owner First Name (if different from applicant)**

Habitat for Humanity Walworth County

Owner Last Name

Address

N2440 Ara Glen, Suite 201

City

Lake Geneva

State

WI

Zip Code

53147

Phone Number

262-949-052

Fax Number

none

Email Address

info@habitatwalworth.org

Planning Request (check all that apply)

- ☐ Site Plan and Architectural Review \$150.00 plus \$0.05 per sq. ft (Floor Area)
- ☐ Conditional Use Permit \$275.00
- ☐ Rezone/Land Use Amendment \$400.00
- ☐ Planned Unit Development \$500.00
- ☐ Preliminary Plat \$175.00
- ☐ Final Plat \$225.00
- ☐ Certified Survey Map \$200.00 plus \$10.00 per lot
- ☐ Project Concept Review \$150.00
- ☒ Joint Conditional Use & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Rezoning & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Site Plan & Conditional Use \$350.00 plus \$0.05 per sq. ft (Floor Area)
- ☐ Board of Zoning Appeals/Adjustment \$300.00

Translation Services**Will translation services be needed during the Plan Board meeting?***

- ☐ Yes
- ☒ No

If Yes, please specify the language required.**Conditional Use Permit Application****I, (We) the undersigned owner(s)/agent do hereby petition the Plan Commission to grant a Zoning Amendment.**

Address and legal description of the subject site*

216 Main Street - lots 4 and 5 Block 1 of Tripp's Second Addition

Tax Parcel #*

TR Aoooo3

Zoning District*

B2

**Requested Conditional Use***

To have first floor residential

Petitioner's interest in requested Conditional Use Permit*

Build 2 - 2 story duplexes for Habitat for Humanity Walworth County (HHWC) and sell at as affordable housing homeowner mortgage is roughly 2/3 of appraised cost

List type and number of structures, proposed operation or use of the structure(s) or site, number of employee, parking, etc.

2 building each with two - 2 story 3 bedroom, 1.5 baths, with basements roughed for a full bath and an Egress window for a future bedroom. 8' poured basements, panelized construction (framing only). HHWC is the general contractor. Mechanical by licensed professionals including roofs, soffit and fascia. Estimating up to 12 on site daily (employees, volunteers and subcontractors. Parking for construction vehicles and cars in rear alley. Material just in time to the site. One 30 yard dumpster on site. During foundation and framing the property will be fenced. Silk screens intalled

Property Owner Signature*

Mark Gardner

Owner's Agent Signature*

John j Dawson

Address*

N2440 Ara Glen, Suite 201

Address*

N2440 Ara Glen, Suite 201

Phone and Email*

262-949-0542 Mark.Gardner@habitatWalworth.org

Phone and Email*

847 508 2916 John.Dawson@habitatwalworth.org

Zoning #**Application Review by****Date****Date Filed****Dates Published****Date Notices Mailed****Plan Commission Recommendation****Date Decision Made****Plan of Operations****Property Information****Tenant Information****Property Tax Key #*****Previous Business Name*****Property Address*****Years in Operation*****Property Owner*****New Business Name***

Owner Mailing Address*

312 W Whitewater Street

Name of Operator*

NA

City, State and Zip Code*

Whitewater WI

Operator Mailing Address*

NA

Owner's Phone #*

262-473-0500

City, State and Zip Code*

NA

Owner's Email*

www.whitewater-wi.gov

Operator's Phoen # and Email *

NA

New Business Use/Operation Information

Description of Business use or Operations*

NA

Previous Use of Space*

1st floor residential 2nd floor business

Hours of Operations (Weekdays)*

NA

Hours of Operations (Weekends)*

NA

Total Area Space in Square Feet*

NA

Toilet Fixtures*

NA

Full Time Employees*

NA

of Part Time Employees*

NA

— Customer Seating*

- ☐ Yes
☒ No

Seating Capacity*

NA

Total Employee Hours Per Year
(include yourself if self-employed)*

NA

— Sprinkler System*

- ☐ Yes
☒ No

Hazardous/Flammable Chemicals used/stored*

- ☐ Yes (must attach MSDS Sheets)
☒ No

Specified Use of Property and Building(s)**Building A***

Duplex with 2 - 2 story 3 bedrooms 1.5 baths zero lot line homes

Building B

Duplex with 2 - 2 story 3 bedrooms 1.5 baths zero lot line homes

Building C

--- Will there be any problems resulting from this operation such as: (Check all that apply)*

- ☐ Odors
- ☐ Smoke
- ☐ Noise
- ☒ Light
- ☐ Vibrations
- ☐ None

Parking**Dimension of parking lot***

2 paved parking spots for each of the 4 homes 20'x 20" each

Number of Spaces Available*

8

--- Parking Lot Construction*

- ☒ Asphalt
- ☐ Concrete

--- Type of Screening*

- ☐ Fencing
- ☒ Plantings

--- Is employee parking included in "number of spaces available"?*

- ☐ Yes
- ☒ No

Signage(Separate Sign Permit Application Needed)

—Type (Check all that apply)*

- ☐ Freestanding
- ☐ Monument
- ☐ Projecting
- ☐ Awning/Canopy
- ☐ Electronic Message
- ☐ Pylon
- ☐ Arm/Post
- ☐ Window
- ☐ Mobile/Portable or Banner
- ☐ None
- ☐ Other

If other, what type

NA

Location of Signs*

NA

Entertainment

—Is there any type of music in this proposal?*

- ☐ Yes (Separate License from Clerk's Office Required)
- ☒ No

—Live *

- ☐ Yes
- ☒ No

When will this be offered to customers*

- ☐ Monday
- ☐ Tuesday
- ☐ Wednesday
- ☐ Thursday
- ☐ Friday
- ☐ Saturday
- ☐ Sunday
- ☒ None

What time(s) will this be offered

Item 3.

NA

Outdoor Lighting**Type***

single bulb exterior scone lights

Location*

Front porch and side stairs

Utilities**Will you be connected to City Water and Sewer***☒ Yes☐ No**Is there a private well on-site***☐ Yes☒ No**Types of Refuse Disposal***☒ Municipal☐ Private**Approval Date by the Department of Natural Resources of the well for proposed use**

NA

Approval Date by the County Health Department for existing septic system

NA

What types of sanitary facilities are to be installed for the proposed operation*

Normal City Garbage pickup

Surface Water Drainage Facilities (describe or include in site plan)*

Follow city water system drainage

Licenses/Permits



Is a highway access permit needed from the State, County or local Municipality*

☐ Yes

☒ No

Is a cigarette license required? (Separate license from Clerk's office)*

☐ Yes

☒ No

Is a liquor license required? (Separate license from Clerk's office)*

☐ Yes

☒ No

Did Wisconsin Department of Safety and Professional Services Division of Industry Services approve building plans*

☐ Yes

☒ No

— Permitted Property Use (Please check all that apply)*

- ☒ Single Family Dwelling
- ☐ Two Family Dwelling
- ☐ Modular Home
- ☐ Manufactured Home
- ☐ Second or greater wireless telecommunication facility
- ☐ Home occupations, professional home office for nonretail goods and services no customer access
- ☐ Multi-Family Dwellings
- ☐ Art, Music and School supply stores and galleries
- ☐ Antique, collectible and hobby craft stores
- ☐ Automotive and related parts store, without servicing
- ☐ Hotel and Motels
- ☐ Small appliance repair stores, computer or software sales and service
- ☐ Barbershops/Beauty Parlors
- ☐ Liquor stores without drive-thru facilities
- ☐ Resale Shops
- ☐ Professional and business offices
- ☐ Self-service laundries and dry-cleaning establishments
- ☐ Stationery stores, retail office supply stores
- ☐ Movie theaters
- ☐ Tourist homes and bed and breakfast
- ☐ Bakeries or candy stores with products for sale on premise only
- ☐ Appliance repair stores, including computer sales and service
- ☐ Caterers
- ☐ Post Offices
- ☐ Ice Cream and Cafes
- ☐ Toy stores
- ☐ Agricultural services
- ☐ Banks and other financial institutions without drive-thru facilities
- ☐ Camera and photographic supply stores
- ☐ Clothing, shoe stores and repair shops
- ☐ Clinics medical and dental
- ☐ Department Stores
- ☐ Drug Stores
- ☐ Florist Shops
- ☐ Food and Convenience stores without gasoline pumps
- ☐ Furniture stores
- ☐ Hardware stores
- ☐ Insurance agencies
- ☐ Jewelry stores
- ☐ Meat markets
- ☐ Paint, wallpaper, interior decorating and floor covering stores
- ☐ Restaurants without drive-thru facilities
- ☐ Sporting goods stores

- ☐ Variety stores
- ☐ Charitable or nonprofit institution or facilities
- ☐ Light assembly uses including electronics, pottery, printing, contractor shops (electrical, heating, plumbing and general contracting) provided there is no significant environmental emissions (odor or waste)
- ☐ Catalog and e-commerce sales outlets
- ☐ Day Spas
- ☐ Coffee Shops
- ☐ Gift Shops
- ☐ Public parking lots
- ☐ Tourist information and hospitality centers
- ☐ Dance Studio
- ☐ Lumberyards, building supply stores and green houses
- ☐ Manufacturing, fabrication, packing, packaging and assembly of products from furs, glass, leather, metals, paper, plaster, plastic, textiles, clay, woods and similar material
- ☐ Research facilities, development and testing laboratories, including testing facilities and equipment
- ☐ Retail sales and services linked to manufacturing and warehousing
- ☐ Production, or processing, cleaning, servicing, testing or remailer of materials, goods or products limited to the follow uses, products, components, or circumstances:
 - ☐ a) Electronic and electrical products instruments, such as transistors, semiconductors, small computers, scanners, monitors and compact communication devices
 - ☐ b) High technology products related to the fields of physics, oceanography, astrophysics, metallurgy, chemistry, biology or other scientific field offered for study by University of Whitewater
 - ☐ c) Laser technology, radiology, x-ray and ultra sound products, manufacturing and assembly
 - ☐ d) Medical and dental supplies
 - ☐ e) Optical, fiber optical and photographic products and equipment
 - ☐ f) Orthopedic and medial appliances such as artificial limbs, brace supports and stretchers
 - ☐ g) Products related to process design, process stimulation, computer hardware and software development, safety engineering
 - ☐ h) Scientific and precision instruments and components, including robotics
- ☐ Telecommunication centers (not including wireless telecommunications facilities)
- ☐ Private recreation facilities
- ☐ Freight terminals, trucking servicing and parking, warehousing and inside storage
- ☐ More than one principal structure on a lot when the additional building is a material and direct part of the primary business
- ☐ Pilot Plans and other facilities for testing manufacturing, processing or fabrication methods or for testing of products or materials
- ☐ College, Universities, Schools, Churches, Libraries, Government buildings



— Permitted Conditional Uses (Please check all that apply)

- ☒ Planned Residential Development
- ☐ First Wireless telecommunications facility located on alternative structure only
- ☒ Attached townhouse dwellings up to four units per building
- ☐ Public and semipublic uses
- ☐ Multifamily dwellings and attached dwellings, over four units (new construction only)
- ☐ Any building over forty feet
- ☐ Conversion of existing structures resulting in more dwelling units
- ☐ Dwelling units with occupancy of six or more unrelated persons
- ☐ All uses with a drive-in and drive-thru facilities
- ☐ Automobile repair and service
- ☐ Taverns and other places selling alcoholic beverages by the drink
- ☐ Daycare centers, adult, child and doggie
- ☐ Large Retail and Commercial Service Developments
- ☐ Motor Freight Transportation
- ☐ Light manufacturing and retail uses
- ☐ Home Occupations/Professional Home offices requiring customer access
- ☐ Bed and Breakfast establishments
- ☐ Conversion of existing single-family dwellings to two-family attached dwellings
- ☐ Professional business offices in a building where principal use is residential
- ☐ Fraternity or sorority houses and group lodging facilities
- ☐ Planned Development
- ☐ Conversion of existing units with less than five bedrooms to five or more bedrooms
- ☐ Entertainment establishments, including clubs but excluding adult entertainment
- ☐ Automobile and small engine vehicles sales and rental facilities
- ☐ Car washes
- ☐ Gasoline service stations, including incidental repair and service
- ☐ Funeral homes and crematory services
- ☐ Liquor or tobacco stores
- ☐ Wholesale trade of durable and nondurable goods
- ☐ Salvage Yards

Signatures

By signing below, I certify that the above information is true and accurate account of the information requested for my business site and its operation and use. Should an inspection be required, I agree to all the Inspector(s) reasonable access to the space to verify compliance with the Municipality's Ordinance. In addition, I fully understand that completion of this or its approval does not preclude me from complying with all applicable State Statues or Municipal Ordinances regarding my business and its lawful operations.

Applicant's Signature***Date***

John j Dawson

9/5/2025

Inspector/Zoning Signature

Date

Cost Recovery Certificate and Agreement

Pursuant to Ordinance 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code

The undersigned applicant hereby acknowledges and agrees to be bound by Ordinances 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code, providing for city recovery of all city costs and disbursements incurred directly or indirectly related to the Applicant's request. All costs incurred by the city in the consideration of any requests by the Applicant related to the Applicant's request shall be recoverable, including but not limited to, all professional and technical consultant services and fees retained by the city and rendered in review of any application, including the engineer, planner, attorney, or any other professional or expert hired by the village for purposes of review of the application or pre-submission request. The Applicant agrees to reimburse the City for all costs recoverable pursuant to the terms of the above numbered ordinance within the time period set forth by the City of Whitewater Municipal Code. At no time shall any cost recoverable fees be waived, except through the process of a written request by the Applicant and the Common Council, review and evaluation by the Common Council, and official action taken by the Common Council.

PROJECT INFORMATION**PROJECT NAME*****PROJECT LOCATION*****APPLICANT INFORMATION****NAME*****MAILING (BILLING) ADDRESS*****PHONE*****EMAIL ADDRESS*****ATTORNEY INFORMATION**

NAME

Ward Phillips

PHONE

262-949-7042

EMAIL ADDRESS

phillips@leeceandphillips.com

SIGNATURE OF APPLICANT*

John j Dawson

DATE*

9/5/2025

Note to Applicant: The City Engineer, Attorney and other City professionals and staff, if requested by the City to review your request, will be billed for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect from this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in 19.74.10 and 16.04.270 of the Municipal Code.

RATES

City Administration Hourly Rate Shall Not Exceed

Interim Director of Economic Development: Emily McFarland \$

Director of Public Works: Brad Marquardt \$72.33

Director of Finance: Rachelle Blich \$65.94

Clerk: Heather Boehm \$43.33

Deputy Clerk: Tiffany Albright \$29.20

NS Administrative Assistant Llana Dostie \$

Building Inspection Services

Building Inspector Commercial: Joe Mesler \$80.00

Building Inspector Residential: Jon Mesler \$80.00

City Attorney

Russell Law Offices, LLc

Attorney Timothy Brovold \$

City Engineer

Strand and Associates \$247.63

Primary Contact: Mark Fischer

City Planners and Zoning Administrator

Primary Contact: Allison Schwark \$49.00

**Building Inspector Date
Received**

Review by

**Zoning Administrator Date
Received**

Reviewed by

Occupancy Classification

**Occupancy Classification
Surrounding Units**

Zoning of Property

Use Permitted

- ☐ By Right
☐ By CUP
☐ PC Approval
 Required

Item 3.

Approval
☐ Approved
☐ Denied

Date

Approval
☐ Approved
☐ Denied

Date

Public Works Approval
☐ Approved
☐ Denied

Date

City Engineer Approval
☐ Approved
☐ Denied

Date

Police Department
☐ Approved
☐ Denied

Date

Fire Department Approval
☐ Approved
☐ Denied

Date

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PROJECT INFORMATION

PROJECT NAME Habitat for Humanity Main Street

PROJECT LOCATION 216 Main Street

APPLICANT INFORMATION

NAME John Dawson

MAILING (BILLING) ADDRESS N2440 Ara Glen, Suite 201

PHONE 847-508-2916


EMAIL ADDRESS john.dawson@habitatwalworth.org

ATTORNEY INFORMATION

NAME Ward Phillips

PHONE 262-949-7042

EMAIL ADDRESS phillips@leeceandphillips.com

SIGNATURE OF APPLICANT John J Dawson 

DATE 9/5/2025

Note to Applicant: The City Engineer, Attorney and other City professionals and staff, if requested by the City to review your request, will be billed for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect from this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in 19.74.10 and 16.04.270 of the Municipal Code.

RATES

City Administration Hourly Rate Shall Not Exceed

List type and number of structures, proposed operation or use of the structure(s) or site, number of employee, parking, etc.

2 building each with two - 2 story 3 bedroom, 1.5 baths, with basements roughed for a full bath and an Egress window for a future bedroom. 8' poured basements, panelized construction (framing only). HHWC is the general contractor. Mechanical by licensed professionals including roofs, soffit and fascia. Estimating up to 12 on site daily (employees, volunteers and subcontractors. Parking for construction vehicles and cars in rear alley. Material just in time to the site. One 30 yard dumpster on site. During foundation and framing the property will be fenced. Silk screens installed

Property Owner Signature

Mark Gardner

Owner's Agent Signature

John J Dawson

Address

N2440 Ara Glen, Suite 201

Address

N2440 Ara Glen, Suite 201

Phone and Email

262-949-0542 Mark.Gardner@habitatWalworth.org

Phone and Email

847 508 2916 John.Dawson@habitatwalworth.org

Plan of Operations

Property Information

Tenant Information

Property Tax Key #

TRA00003

Previous Business Name

NA

Property Address

216 Main Street

Years in Operation

NA

Property Owner

City of Whitewater

New Business Name

NA

Owner Mailing Address

312 W Whitewater Street

Name of Operator

NA

City, State and Zip Code

Whitewater WI

Operator Mailing Address

NA

Owner's Phone #

262-473-0500

City, State and Zip Code

NA

Owner's Email

www.whitewater-wi.gov

the proposed operation

Surface Water Drainage Follow city water system drainage
Facilities (describe or include
in site plan)

Licenses/Permits

X

Is a highway access permit No
needed from the State,
County or local Municipality

Is a cigarette license No
required? (Separate license
from Clerk's office)

Is a liquor license required? No
(Separate license from
Clerk's office)

Did Wisconsin Department of No
Safety and Professional
Services Division of Industry
Services approve building
plans

Permitted Property Use Single Family Dwelling
(Please check all that apply)

Field not completed.

Permitted Conditional Uses Planned Residential Development, Attached townhouse
(Please check all that apply) dwellings up to four units per building

Signatures

By signing below, I certify that the above information is true and accurate account of the information requested for my business site and its operation and use. Should an inspection be required, I agree to all the Inspector(s) reasonable access to the space to verify compliance with the Municipality's Ordinance. In addition, I fully understand that completion of this or its approval does not preclude me from complying with all applicable State Statues or Municipal Ordinances regarding my business and its lawful operations.

Applicant's Signature John J Dawson

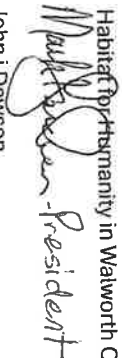
Date 9/5/2025



Cost Recovery Certificate and Agreement

Pursuant to Ordinance 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code

and cars in rear alley. Material just in time to the site. One 30 yard dumpster on site. During foundation and framing the property will be fenced. Silk screens intalled

Property Owner Signature	Habitat for Humanity in Walworth County, Inc. 
Owner's Agent Signature	John J Dawson
Address	N2440 Ara Glen, Suite 201
Address	N2440 Ara Glen, Suite 201
Phone and Email	262-949-0542 Mark.Gardner@habitatWalworth.org
Phone and Email	847 508 2916 John.Dawson@habitatwalworth.org
Plan of Operations	
Property Information	
Tenant Information	
Property Tax Key #	TRA00003
Previous Business Name	NA
Property Address	216 Main Street
Years in Operation	NA



NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 10th, day of November, 2025 at 6:00 p.m. to hold a public hearing for consideration for a Conditional Use Permit for First Floor Residential Use for Habitat for Humanity of Walworth County for Tax Parcel #: /TRA 00003

The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

Llana Dostie, Neighborhood Services Administrative Assistant

CITY OF WHITEWATER 'PUMP HOUSE'
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

FORT COMMUNITY CREDIT UNION
800 MADISON AVE
PO BOX 160
FT ATKINSON, WI 53538-3800

JOHN E BEERMAN IV
KATHLEEN B BEERMAN
215 E CLAY ST UT 35
WHITWEATER, WI 53190-9000

TANIS PROPERTIES LLC
PO BOX 538
WHITEWATER, WI 53190-9000

TANIS PROPERTIES LLC
PO BOX 538
WHITEWATER, WI 53190-9000

COMMUNITY DEVELOPMENT AUTHORITY
312 W WHITEWATER
WHITEWATER, WI 53190-9000

BRETT LAUNDERVILLE
136 N JEFFERSON ST
WHITEWATER, WI 53190-9000

COMMUNITY DEVELOPMENT AUTHORITY
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

WILFORD R LUDEMAN
304 E NORTH ST
WHITEWATER, WI 53190

JOSEPH RIEDL
816 W MILWAUKEE ST
JEFFERSON, WI 53549-4900

EZEQUIEL GALLEGOS
MARIA E GALLEGOS
318 E NORTH ST
WHITEWATER, WI 53190-9000

ROGER LUEBKE
224 E. NORTH ST
WHITEWATER, WI 53190

GREGORY GREENWOOD TRUST
N7380 COUNTY HWY P
WHITEWATER, WI 53190-9000

ARDIN E HAMMERSTAD SR
302 E MILWAUKEE ST
WHITEWATER, WI 53190

NORMAN S KINGSTON
TAMMY E KINGSTON
238 E MILWAUKEE ST
WHITEWATER, WI 53190

D&R PARTNERSHIP LLC
PO BOX 266
WHITEWATER, WI 53190

CITY OF WHITEWATER
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

RUTH WALTON RENTALS LLC
W3442 VANNOY DR
WHITEWATER, WI 53190

J VULTAGGIO LLC
W2862 STATE RD 59
WHITEWATER, WI 53190-9000

COMMUNITY DEVELOPMENT AUTHORITY
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

HEATHER L BLERSCH
228 E MAIN ST
WHITEWATER, WI 53190-9000

JLB REAL ESTATE LLC
841 E MILWAUKEE ST
WHITEWATER, WI 53190-9000

RICKY R SDANO
240 E MAIN ST
WHITEWATER, WI 53190

SHIRLEY M OLSEN TRUST
118 N CHERRY ST
WHITEWATER, WI 53190-9000

BRAD A SCHULTZ
MICHELLE L SCHULTZ
124 N CHERRY ST
WHITEWATER, WI 53190

BEVERLY J STONE
DAVID N STONE
PO BOX 291
WHITEWATER, WI 53190-9000

RUBEN ARANDA
135 JEFFERSON ST
WHITEWATER, WI 53190

JAMES S FERO
131 N JEFFERSON ST
WHITEWATER, WI 53190

STACY L ROPIAK
127 N JEFFERSON ST
WHITEWATER, WI 53190

SHIRLEY STONE HAPKA TRUST
115 N FRANKLIN ST
WHITEWATER, WI 53190-9000

RUSSELL WALTON FAMILY TRUST
KIMBERLY WALTON FAMILY TRUST
1005 W MAIN ST
STE C
WHITEWATER, WI 53190-9000

ANTONIO ARANDA
PO BOX 293
WHITEWATER, WI 53190

PHILIP A HARMON
CONSTANCE E HARMON
332 E MAIN ST
WHITEWATER, WI 53190

SANDRA THIES
715 TYRRELL AVE
DELAVAN, WI 53115-1500

CARL J GOTTGETREU
131 N CHERRY ST
WHITEWATER, WI 53190

JUAN DANIEL CAMACHO
405 WESTMINSTER DR
WAUKESHA, WI 53186-8600

CHICAGO MILWAUKEE ST PAUL RR
WHITEWATER, WI 53190

KD PROPERTIES WALWORTH LLC
W5648 PARK RD
ELKHORN, WI 53121-2100

JANICE M KOSHAREK
210 S GREEN ST
WHITEWATER, WI 53190

DAVID R WILLIAMS
220 N JEFFERSON ST
WHITEWATER, WI 53190-2200

RICARDO GOMEZ
CECILIA GOMEZ
944 W CONGER ST
WHITEWATER, WI 53190

GENARO GARCIA
DEILA M GARCIA
316 E MAIN ST
WHITEWATER, WI 53190

BOBBY L GARNER JR
122 N WAKELY ST
WHITEWATER, WI 53190

ANTHONY P HANSEN
CRYSTAL L HANSEN
137 N CHERRY ST
WHITEWATER, WI 53190

ROY GARLOCK
125 N CHERRY ST
WHITEWATER, WI 53190-9000

JUAN DANIEL CAMACHO
405 WESTMINSTER DR
WAUKESHA, WI 53186-8600

RICHARD H KRAUS JR TRUST
PAMELA T KRAUS TRUST
N8039 HWY 89
WHITEWATER, WI 53190

TERESA VERDUZCO
ROSA MARGARITA VERDUZCO
232 S WISCONSIN ST
WHITEWATER, WI 53190-9000

CITY OF WHITEWATER
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

LOREN J VANT
KAY I VANT
217 N JEFFERSON ST
WHITEWATER, WI 53190

ROBERT S CHENEY
KEVIN BLINDERT
6499 HWY 11
DELAVAN, WI 53115

JOSE RAMIREZ
324 E MAIN ST
WHITEWATER, WI 53190-9000

RICHARD K NATROP
BARBARA E NATROP
W1466 SOUTH SHORE DR
PALMYRA, WI 53156

M&F RENTALS LLC
555 E CLAY ST
WHITEWATER, WI 53190

HEPP HOLDINGS LLC
N8661 ISLAND CHURCH RD
WATERLOO, WI 53594-9400

EA INVESTMENTS INC
1127 PRAIRIE DR
STE 100
RACINE, WI 53406

TERRENCE L STRITZEL
PAMELA J STRITZEL
W5524 TRI COUNTY RD
WHITEWATER, WI 53190-9000

MARTA ARANDA
618 E NORTH ST
WHITEWATER, WI 53190-9000

TROY D HANSEN
1600 JAMES WAY
FORT ATKINSON, WI 53538-3800

CITY OF WHITEWATER
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

COMMUNITY DEVELOPMENT AUTHORITY
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

CITY OF WHITEWATER 'PUMP HOUSE'
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

MARK MYSZKEWICZ
KIMBERLY MYSZKEWICZ
911 W PECK ST
WHITEWATER, WI 53190-9000

CITY OF WHITEWATER
312 W WHITEWATER ST
WHITEWATER, WI 53190-9000

ROBERT SOTO
227 E MAIN ST
WHITEWATER, WI 53190-9000

AZ PLASTERING & DRYWALL LLC
130 N HAZEL ST
WHITEWATER, WI 53190-9000

LEISER RENTALS LLC
301-317 E MAIN ST
WHITEWATER, WI 53190-9000

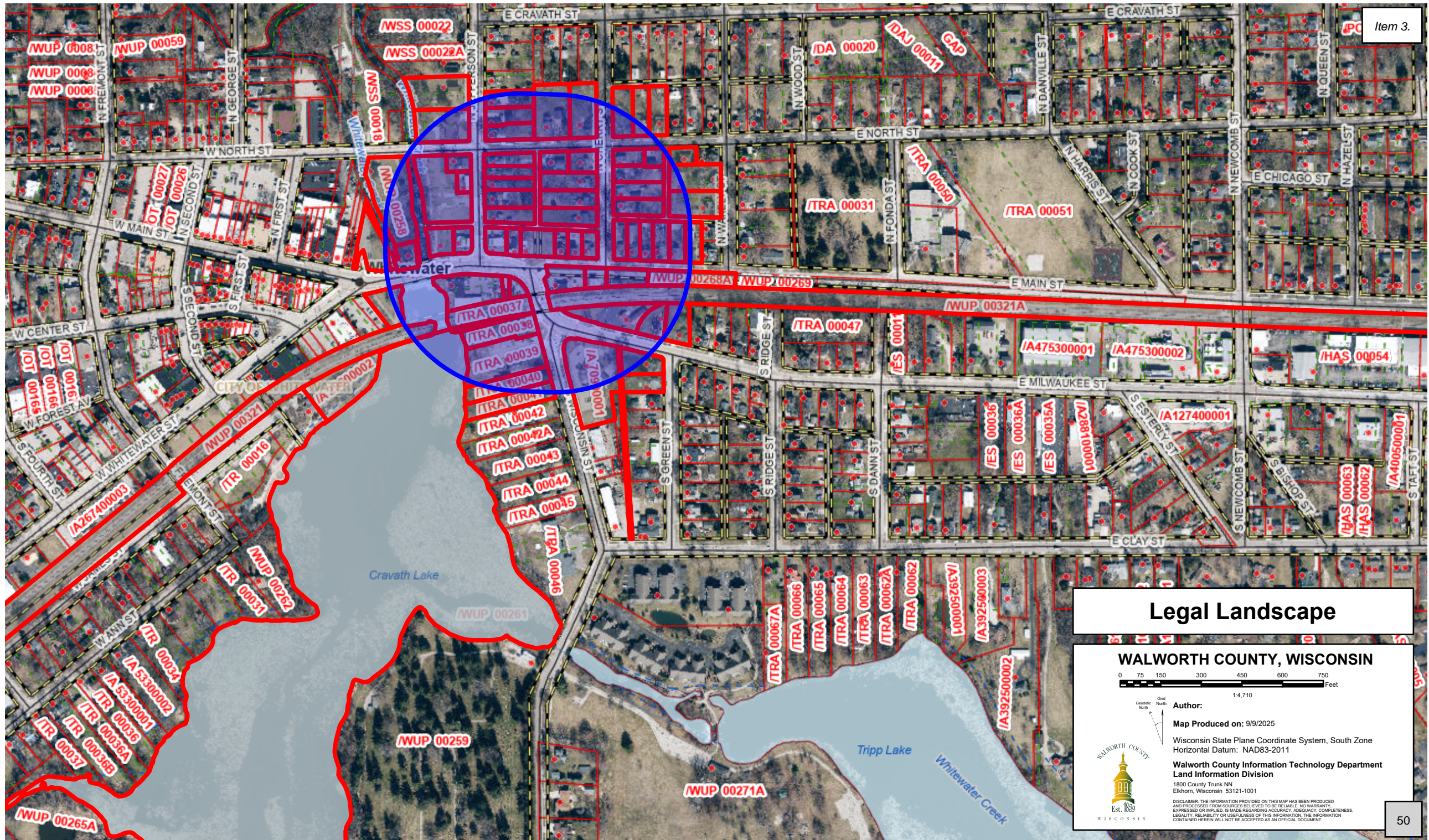
LEISER RENTALS LLC
301-317 E MAIN ST
WHITEWATER, WI 53190-9000

STATE OF WISCONSIN DEPT OF TRANSPC
PO BOX 7921
MADISON, WI 53707-2100

STATE OF WISCONSIN DEPT OF TRANSPC
PO BOX 7921
MADISON, WI 53707-2100

ETHAN GATZOW
207 N JEFFERSON ST
WHITEWATER, WI 53190-9000

BRUCE LYON
SHIRLEY B LYON
203 N JEFFERSON ST
WHITEWATER, WI 53190



Legal Landscape

WALWORTH COUNTY, WISCONSIN

0 75 150 300 450 600 750 Feet

1:4,710



Author:

Map Produced on: 9/9/2025

Wisconsin State Plane Coordinate System, South Zone
Horizontal Datum: NAD83-2011

Walworth County Information Technology Department
Land Information Division

1800 County Trunk NN
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESSED OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.



MEMORANDUM

To: City of Whitewater Plan and Architectural Review Commission

From: Allison Schwark, Zoning Administrator

Date: November 11, 2025

Re: Conditional Use Permit

Summary of Request	
Requested Approvals:	Conditional Use Permit (CUP)
Location:	1108 E Bluff Road (/HAS 00069A and /HAS 00068)
Current Land Use:	Light Industrial and Manufacturing
Proposed Land Use:	Continued Light Industrial and Manufacturing
Current Zoning:	B-3 Highway Commercial & Light Industrial
Proposed Zoning:	N/A
Future Land Use, Comprehensive Plan	Highway Commercial

Staff Review

The applicant is requesting a conditional use permit for continued light industrial and manufacturing use at 1108 E Bluff Road. The building has been used for light industrial and manufacturing for several years and was previously owned and operated as Whitewater Manufacturing. Recently the ownership was transferred, however the name remains the same. The building and company have continued operating as it has, and no significant changes have been made to the operations. It is required for the new company to come into compliance with the zoning ordinance and apply for a conditional use permit. There will be no hazardous materials or chemicals being stored on site.

Planner's Recommendations

- 1) Staff recommend that Plan Commission **APPROVE** the Conditional Use Permit for continued light industry and manufacturing for the parcel located at 1108 E Bluff Road, tax keys /HAS 00069A and /HAS 00068 with the following conditions:

- a. The Conditional Use approval shall run with the applicant and current owner, not the land. Any successor of the property shall be required to obtain a new CUP.
- b. Any stipulations as indicated by the PARC.

Print

Conditional Use Permit Application - Submission #1968

Date Submitted: 9/29/2025

City of Whitewater

312 W Whitewater Street
PO Box 178
Whitewater, WI 53190
262-473-0540
www.whitewater-wi.gov

Neighborhood Services

Conditional Use Permit Application

Conditional Use Application Checklist**Applicant**

1. Fill out Planning Request form, Conditional Use Application, Plan of Operation Form and Cost Recovery Certificate and Agreement. Twelve (12) copies 11 x 17, a digital copy of all submittal material:

- Application Forms
- Landscaping plan indicating location, type and size of materials (Please review Landscaping Guidelines)
- Stormwater and Erosion Control Applications (if necessary)
- Lighting (Photometric) Plan
- Add any other material you feel are pertinent

2. Application shall include the following Plan requirements:

- All plans shall be drawn to scale and show all sides of the proposed building.
- All plans will exhibit proposed/existing off-street parking stalls and driveway/loading docks.
- Building elevations must include the lot on which the structure is to be built and the street (s) adjacent to the lot.

3. Submit fee to City of Whitewater

City Building Inspector/Zoning Administrator

1. Review application for accuracy and all required information
2. Staff will review information for conformance to Ordinances
3. Engineer will review Stormwater and Erosion Control Plans
4. Landscaping Plan will be reviewed by Urban Forestry Commission
5. When application is complete and approved by all Staff it will then be forwarded to Neighborhood Services Administrative Assistant

Neighborhood Services Administrative Assistant

1. Conditional Use notice will be published in the local newspaper for two-week period with a one week waiting period for a total of three weeks prior to scheduled public hearing
2. Conditional Use notice will be mailed to property owners that abut the property and those that are within 300 feet minimum/and or further distance at the discretion of the zoning administrator from the property
3. Public Hearing for Conditional Use will be scheduled for the next Plan Commission meeting after notice has appeared in the newspaper for two weeks

Process

1. Plan Commission considers applicant's request and staff review is presented by Zoning Administrator, at the first initial appearance. If Plan Commission recommends changes and/or revisions, then the applicant must revise site plan, otherwise the is forwarded as is for the second appearance for approval/denial of the final site plan.

Urban Forestry Commission usually meets the fourth Monday of each month at 5:00 p.m.

Taylor Zeinert, Economic Director
262-473-0148
tzeinert@whitewater-wi.gov

Llana Dostie, Neighborhood Services Administrative Assistant
262-473-0144
ldostie@whitewater-wi.gov

Allison Schwark, Municipal Code Enforcement
262-249-6701
mcodeenforcement@gmail.com

Site Plan Upload* NA.docx	Landscaping Plan Upload <div>Choose File</div> No fi...sen	Lighting Plan Upload <div>Choose File</div> No fi...sen	MSDS Sheets <div>Choose File</div> No fi...sen
Other Information <div>Choose File</div> No fi...sen			

PLANNING REQUEST

General Project Information

Project Tax Key # /HAS 00068 and /HAS 00069A	Project Address* 1108 E Bluff Rd.
--	---

Project Title (if any)
WWG

Applicant, Agent & Property Owner Information

Applicant's First Name* Brian	Applicant's Last Name* Bussewitz
---	--

Address*
1108 E Bluff Rd.

City*

Whitewater

State*

WI

Zip Code*

53190

Item 4.

Phone Number*

2627807000

Email Address*

b.bussewitz@gmail.com

Agent Name

Agent Company

Address

City

State

Zip Code

Phone Number

Email Address

Owner First Name (if different from applicant)

Bill

Owner Last Name

Orne

Address

2525 S 162nd

City

New Berlin

State

WI

Zip Code

53190

Phone Number**Fax Number****Email Address****Planning Request (check all that apply)**

- ☐ Site Plan and Architectural Review \$150.00 plus \$0.05 per sq. ft (Floor Area)
- ☒ Conditional Use Permit \$275.00
- ☐ Rezone/Land Use Amendment \$400.00
- ☐ Planned Unit Development \$500.00
- ☐ Preliminary Plat \$175.00
- ☐ Final Plat \$225.00
- ☐ Certified Survey Map \$200.00 plus \$10.00 per lot
- ☐ Project Concept Review \$150.00
- ☐ Joint Conditional Use & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Rezoning & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Site Plan & Conditional Use \$350.00 plus \$0.05 per sq. ft (Floor Area)
- ☐ Board of Zoning Appeals/Adjustment \$300.00

Translation Services**Will translation services be needed during the Plan Board meeting?***

- ☐ Yes
- ☒ No

If Yes, please specify the language required.**Conditional Use Permit Application****I, (We) the undersigned owner(s)/agent do hereby petition the Plan Commission to grant a Zoning Amendment.**

Address and legal description of the subject site*

1108 E Bluff Rd Whitewater WI, 53190

Tax Parcel #*

HAS 00069A

Zoning District*

?

**Requested Conditional Use***

Whitewater Manufacturing Group, Inc.

Petitioner's interest in requested Conditional Use Permit*

Continue operations of Whitewater mfg.

List type and number of structures, proposed operation or use of the structure(s) or site, number of employee, parking, etc.

2 structures and 25-30 people

Property Owner Signature*

Bill Orne

Owner's Agent Signature*

NA

Address*

2525 S 162nd st.

Address*

NA

Phone and Email*

262-780-7000

Phone and Email*

NA

Zoning #

Application Review by

Date

Date Filed

Dates Published

Date Notices Mailed

Plan Commission Recommendation

Date Decision Made

Plan of Operations

Property Information

Property Tax Key #*

HAS 00069A

Tenant Information

Previous Business Name*

Whitewater Mfg.

Property Address*

1108 E Bluff Rd.

Years in Operation*

20 plus years

Property Owner*

Bill Orne

New Business Name*

Whitewater Manufacturing Group, Inc.

Owner Mailing Address*

2525 S 162nd

Name of Operator*

Bill Orne

City, State and Zip Code*

New Berlin, WI 53151

Operator Mailing Address*

2525 S 162nd

Owner's Phone #*

262-780-7000

City, State and Zip Code*

New Berlin, WI 53151

Owner's Email*

bill@wsmachine.com

Operator's Phoen # and Email *

bill@wsmachine.com and 262-780-7000

New Business Use/Operation Information

Description of Business use or Operations*

Machine Shop and Fabrication

Previous Use of Space*

Machine Shop and Fabrication

Hours of Operations (Weekdays)*

5am-10pm

Hours of Operations (Weekends)*

5am-3pm

Total Area Space in Square Feet*

55

Toilet Fixtures*

6

Full Time Employees*

25

of Part Time Employees*

2

Customer Seating*

- ☐ Yes
☒ No

Seating Capacity*

NA

Total Employee Hours Per Year
(include yourself if self-employed)*

NA

Sprinkler System*

- ☐ Yes
☒ No

Hazardous/Flammable Chemicals used/stored*

- ☐ Yes (must attach MSDS Sheets)
☒ No

Specified Use of Property and Building(s)

Building A*

Machine Shop and Fabrication

Building B

Storage

Building C**Will there be any problems resulting from this operation such as: (Check all that apply)***

- ☐ Odors
- ☐ Smoke
- ☐ Noise
- ☐ Light
- ☐ Vibrations
- ☒ None

Parking**Dimension of parking lot***

NA

Number of Spaces Available*

NA

Parking Lot Construction*

- ☒ Asphalt
- ☐ Concrete

Type of Screening*

- ☒ Fencing
- ☒ Plantings

Is employee parking included in "number of spaces available"?*

- ☒ Yes
- ☐ No

Signage(Separate Sign Permit Application Needed)

Type (Check all that apply)*

- ☒ Freestanding
- ☐ Monument
- ☐ Projecting
- ☐ Awning/Canopy
- ☐ Electronic Message
- ☐ Pylon
- ☐ Arm/Post
- ☐ Window
- ☐ Mobile/Portable or Banner
- ☐ None
- ☐ Other

If other, what type**Location of Signs***

Front of Building

Entertainment**Is there any type of music in this proposal?***

- ☐ Yes (Separate License from Clerk's Office Required)
- ☒ No

Live *

- ☐ Yes
- ☒ No

When will this be offered to customers*

- ☐ Monday
- ☐ Tuesday
- ☐ Wednesday
- ☐ Thursday
- ☐ Friday
- ☐ Saturday
- ☐ Sunday
- ☒ None

What time(s) will this be offered**Outdoor Lighting****Type***

Safety Light outside

Location*

Outside of building

Utilities**Will you be connected to City Water and Sewer***

- ☒ Yes
☐ No

Is there a private well on-site*

- ☐ Yes
☒ No

Types of Refuse Disposal*

- ☐ Municipal
☒ Private

Approval Date by the Department of Natural Resources of the well for proposed use**Approval Date by the County Health Department for existing septic system****What types of sanitary facilities are to be installed for the proposed operation***

NA

Surface Water Drainage Facilities (describe or include in site plan)*

NA

Licenses/Permits

☐

Is a highway access permit needed from the State, County or local Municipality*

☐ Yes

☒ No

Is a cigarette license required? (Separate license from Clerk's office)*

☐ Yes

☒ No

Is a liquor license required? (Separate license from Clerk's office)*

☐ Yes

☒ No

Did Wisconsin Department of Safety and Professional Services Division of Industry Services approve building plans*

☐ Yes

☒ No

Permitted Property Use (Please check all that apply)*

- ☐ Single Family Dwelling
- ☐ Two Family Dwelling
- ☐ Modular Home
- ☐ Manufactured Home
- ☐ Second or greater wireless telecommunication facility
- ☐ Home occupations, professional home office for nonretail goods and services no customer access
- ☐ Multi-Family Dwellings
- ☐ Art, Music and School supply stores and galleries
- ☐ Antique, collectible and hobby craft stores
- ☐ Automotive and related parts store, without servicing
- ☐ Hotel and Motels
- ☐ Small appliance repair stores, computer or software sales and service
- ☐ Barbershops/Beauty Parlors
- ☐ Liquor stores without drive-thru facilities
- ☐ Resale Shops
- ☐ Professional and business offices
- ☐ Self-service laundries and dry-cleaning establishments
- ☐ Stationery stores, retail office supply stores
- ☐ Movie theaters
- ☐ Tourist homes and bed and breakfast
- ☐ Bakeries or candy stores with products for sale on premise only
- ☐ Appliance repair stores, including computer sales and service
- ☐ Caterers
- ☐ Post Offices
- ☐ Ice Cream and Cafes
- ☐ Toy stores
- ☐ Agricultural services
- ☐ Banks and other financial institutions without drive-thru facilities
- ☐ Camera and photographic supply stores
- ☐ Clothing, shoe stores and repair shops
- ☐ Clinics medical and dental
- ☐ Department Stores
- ☐ Drug Stores
- ☐ Florist Shops
- ☐ Food and Convenience stores without gasoline pumps
- ☐ Furniture stores
- ☐ Hardware stores
- ☐ Insurance agencies
- ☐ Jewelry stores
- ☐ Meat markets
- ☐ Paint, wallpaper, interior decorating and floor covering stores
- ☐ Restaurants without drive-thru facilities
- ☐ Sporting goods stores

- ☐ Variety stores
- ☐ Charitable or nonprofit institution or facilities
- ☐ Light assembly uses including electronics, pottery, printing, contractor shops (electrical, heating, plumbing and general contracting) provided there is no significant environmental emissions (odor or waste)
- ☐ Catalog and e-commerce sales outlets
- ☐ Day Spas
- ☐ Coffee Shops
- ☐ Gift Shops
- ☐ Public parking lots
- ☐ Tourist information and hospitality centers
- ☐ Dance Studio
- ☐ Lumberyards, building supply stores and green houses
- ☒ Manufacturing, fabrication, packing, packaging and assembly of products from furs, glass, leather, metals, paper, plaster, plastic, textiles, clay, woods and similar material
- ☐ Research facilities, development and testing laboratories, including testing facilities and equipment
- ☐ Retail sales and services linked to manufacturing and warehousing
- ☐ Production, or processing, cleaning, servicing, testing or remailer of materials, goods or products limited to the follow uses, products, components, or circumstances:
- ☐ a) Electronic and electrical products instruments, such as transistors, semiconductors, small computers, scanners, monitors and compact communication devices
- ☐ b) High technology products related to the fields of physics, oceanography, astrophysics, metallurgy, chemistry, biology or other scientific field offered for study by University of Whitewater
- ☐ c) Laser technology, radiology, x-ray and ultra sound products, manufacturing and assembly
- ☐ d) Medical and dental supplies
- ☐ e) Optical, fiber optical and photographic products and equipment
- ☐ f) Orthopedic and medial appliances such as artificial limbs, brace supports and stretchers
- ☐ g) Products related to process design, process stimulation, computer hardware and software development, safety engineering
- ☐ h) Scientific and precision instruments and components, including robotics
- ☐ Telecommunication centers (not including wireless telecommunications facilities)
- ☐ Private recreation facilities
- ☐ Freight terminals, trucking servicing and parking, warehousing and inside storage
- ☐ More than one principal structure on a lot when the additional building is a material and direct part of the primary business
- ☐ Pilot Plans and other facilities for testing manufacturing, processing or fabrication methods or for testing of products or materials
- ☐ College, Universities, Schools, Churches, Libraries, Government buildings



Permitted Conditional Uses (Please check all that apply)

- ☐ Planned Residential Development
- ☐ First Wireless telecommunications facility located on alternative structure only
- ☐ Attached townhouse dwellings up to four units per building
- ☐ Public and semipublic uses
- ☐ Multifamily dwellings and attached dwellings, over four units (new construction only)
- ☐ Any building over forty feet
- ☐ Conversion of existing structures resulting in more dwelling units
- ☐ Dwelling units with occupancy of six or more unrelated persons
- ☐ All uses with a drive-in and drive-thru facilities
- ☐ Automobile repair and service
- ☐ Taverns and other places selling alcoholic beverages by the drink
- ☐ Daycare centers, adult, child and doggie
- ☐ Large Retail and Commercial Service Developments
- ☐ Motor Freight Transportation
- ☒ Light manufacturing and retail uses
- ☐ Home Occupations/Professional Home offices requiring customer access
- ☐ Bed and Breakfast establishments
- ☐ Conversion of existing single-family dwellings to two-family attached dwellings
- ☐ Professional business offices in a building where principal use is residential
- ☐ Fraternity or sorority houses and group lodging facilities
- ☐ Planned Development
- ☐ Conversion of existing units with less than five bedrooms to five or more bedrooms
- ☐ Entertainment establishments, including clubs but excluding adult entertainment
- ☐ Automobile and small engine vehicles sales and rental facilities
- ☐ Car washes
- ☐ Gasoline service stations, including incidental repair and service
- ☐ Funeral homes and crematory services
- ☐ Liquor or tobacco stores
- ☐ Wholesale trade of durable and nondurable goods
- ☐ Salvage Yards

Signatures

By signing below, I certify that the above information is true and accurate account of the information requested for my business site and its operation and use. Should an inspection be required, I agree to all the Inspector(s) reasonable access to the space to verify compliance with the Municipality's Ordinance. In addition, I fully understand that completion of this or its approval does not preclude me from complying with all applicable State Statues or Municipal Ordinances regarding my business and its lawful operations.

Applicant's Signature*

Brian Bussewitz

Date*

9/29/2025

Inspector/Zoning Signature**Date****Item 4.****Cost Recovery Certificate and Agreement**

Pursuant to Ordinance 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code

The undersigned applicant hereby acknowledges and agrees to be bound by Ordinances 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code, providing for city recovery of all city costs and disbursements incurred directly or indirectly related to the Applicant's request. All costs incurred by the city in the consideration of any requests by the Applicant related to the Applicant's request shall be recoverable, including but not limited to, all professional and technical consultant services and fees retained by the city and rendered in review of any application, including the engineer, planner, attorney, or any other professional or expert hired by the village for purposes of review of the application or pre-submission request. The Applicant agrees to reimburse the City for all costs recoverable pursuant to the terms of the above numbered ordinance within the time period set forth by the City of Whitewater Municipal Code. At no time shall any cost recoverable fees be waived, except through the process of a written request by the Applicant and the Common Council, review and evaluation by the Common Council, and official action taken by the Common Council.

PROJECT INFORMATION**PROJECT NAME***

WWG

PROJECT LOCATION*

1108 E Bluff RD

APPLICANT INFORMATION**NAME***

Brian Bussewitz

MAILING (BILLING) ADDRESS*

2525 S 162nd New Berlin, WI 53151

PHONE*

262-780-7000

EMAIL ADDRESS*

b.bussewitz@ws-machine.com

ATTORNEY INFORMATION

NAME

PHONE

EMAIL ADDRESS

SIGNATURE OF APPLICANT*

Brian Bussewitz

DATE*

9/29/2025

Note to Applicant: The City Engineer, Attorney and other City professionals and staff, if requested by the City to review your request, will be billed for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect from this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in 19.74.10 and 16.04.270 of the Municipal Code.

RATES

City Administration Hourly Rate Shall Not Exceed

Interim Director of Economic Development: Emily McFarland \$

Director of Public Works: Brad Marquardt \$72.33

Director of Finance: Rachelle Blitch \$65.94

Clerk: Heather Boehm \$43.33

Deputy Clerk: Tiffany Albright \$29.20

NS Administrative Assistant Llana Dostie \$

Building Inspection Services

Building Inspector Commercial: Joe Mesler \$80.00

Building Inspector Residential: Jon Mesler \$80.00

City Attorney

Russell Law Offices, LLc

Attorney Timothy Brovold \$

City Engineer

Strand and Associates \$247.63

Primary Contact: Mark Fischer

City Planners and Zoning Administrator

Primary Contact: Allison Schwark \$49.00

Building Inspector Date Received	Review by	Zoning Administrator Date Received	Reviewed by
<div></div>	<div></div>	<div></div>	<div></div>
Occupancy Classification	Occupancy Classification Surrounding Units	Zoning of Property	Use Permitted
<div></div>	<div></div>	<div></div>	<div><input type="checkbox"/> By Right <input type="checkbox"/> By CUP <input type="checkbox"/> PC Approval Required</div>

Item 4.

Approval

☐ Approved

☐ Denied

Date

Approval

☐ Approved

☐ Denied

Date

Public Works
Approval

☐ Approved

☐ Denied

Date

City Engineer
Approval

☐ Approved

☐ Denied

Date

Police Department

☐ Approved

☐ Denied

Date

Fire Department
Approval

☐ Approved

☐ Denied

Date



NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 10th, day of November, 2025 at 6:00 p.m. to hold a public hearing for consideration for a Conditional Use Permit for Light Manufacturing for Whitewater Manufacturing Group, Inc. located at 1108 E Bluff Road, Whitewater, WI 53190. Parcel #: /HAS 00068 and /HAS 00069A.

The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

Llana Dostie, Neighborhood Services Administrative Assistant

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W5524 TRI COUNTY RD
WHITEWATER, WI 53190-9000

STRITZEL RENTAL PROPERTIES LLC
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RENEA M GARDNER-ZUEHLKE
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SANDRA E BLAEDOW
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RONALD R DEEGAN
LAURIE DEEGAN
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CITY OF WHITEWATER 'PUMP HOUSE'
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WHITEWATER, WI 53190-9000

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DECKER PROPERTIES INC
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BROOKFIELD, WI 53005

CITY OF WHITEWATER
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MARGARITA CANO
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DELAVAN, WI 53115

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C/O TERRY AULT
N3108 390TH ST
MENOMONIE, WI 54751-5100

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C/O WILLIAM ORNE
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EAST TROY, WI 53120-2000

KNUDSON - EAST TROY LLC
2631 CORPORATE CIR
EAST TROY, WI 53120-2000



Parks and Recreation Open Space Plan 2026-2031

Acknowledgments

The *Whitewater Parks and Recreation Open Space Plan 2026-2031* reflects the commitment and collaboration of City of Whitewater staff, leadership, and the Parks and Recreation Board. Their guidance and expertise ensured that this plan represents the community's vision for its parks and open spaces.

City Staff

- John Weidl, City Manager
- Kevin Boehm, Director of Parks, Recreation and Facility Maintenance
- Brad Marquardt, Director of Public Works
- Brian Neumeister, Streets and Forestry Superintendent
- Mason Becker, Community Development Director

Parks and Recreation Board

- Steve Ryan, Chair
- Stephanie Hicks, Vice Chair
- Neil Hicks, Councilmember
- Mike Dowden, WWUSD Representative
- Mike Kilar
- Kathleen Fleming
- Dan Fuller
- Deb Weberpal

Common Council

- Michael Smith, District 1
- Orin Smith, District 2
- Steven Sahyun, District 3
- Brian Schanen, District 4, Pro Tem
- Neil Hicks, District 5
- Greg Majkrzak, At Large
- Patrick Singer, At Large, President

Special thanks go to all the Parks, Recreation, Facility Maintenance, and Streets staff whose day-to-day work keeps our parks and public spaces welcoming, safe, and accessible for all residents.

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1. Introduction

Parks, open spaces, and recreation facilities are part of what makes Whitewater a great place to live. From Cravath Lakefront Park’s community events and lakeside views, to the everyday activities at Starin Park and the trails that connect our neighborhoods, these public spaces strengthen health, community, and local identity. They provide safe places to gather, play, and enjoy nature, while protecting our lakes, woodlands, and natural areas for future generations.

As Whitewater grows and changes, planning ahead is essential. Shifts in population, new development, and aging infrastructure bring both opportunities and challenges. This plan ensures that our parks remain safe, welcoming, and high-quality spaces for all residents — children and families, students, older adults, and visitors alike.

The *Whitewater Parks and Recreation Open Space Plan 2026-2031* serves as a roadmap for maintaining, enhancing, and expanding the community’s parks, trails, natural areas, and recreational amenities. It identifies both immediate needs (2026–2031) and long-term goals (through 2036) to guide investments and decision-making. The plan focuses on equitable access, environmental stewardship, and sustainability, while also supporting broader community goals around health, inclusion, and climate resilience.

This plan was prepared in accordance with Wisconsin Department of Natural Resources (DNR) guidelines to maintain eligibility for critical funding programs such as the Land and Water Conservation Fund (LWCF) and the Wisconsin Stewardship Program. DNR certification requires that the plan be updated every five years to reflect changing community needs and priorities.

Finally, the plan is adopted as an element of the City of Whitewater Master Plan under Wisconsin Statutes §62.23. It builds upon earlier City of Whitewater Parks and Recreation Open Space Plans and integrates with related documents such as the Whitewater Bicycle and Pedestrian Plan and neighborhood development plans. A separate Strategic Plan will follow, providing site-specific recommendations and project-level details. Where inconsistencies arise, the recommendations of the 2026-2031 Parks and Recreation Open Space Plan shall take precedence.

2. The Vital Role of Parks and Recreation in the Community

In Whitewater, parks and recreation are not luxuries — they are fundamental to the quality of life. From everyday moments like children playing at Big Brick Park or neighbors meeting on the trails at Moraine View, to community traditions such as the Fourth of July celebration at Cravath Lakefront and concerts at the Frawley Family Amphitheater, these shared spaces shape the character of the city.

Parks and Public Health

Access to parks is directly tied to the health and wellness of Whitewater residents. Trails, playgrounds, athletic fields, and the Whitewater Aquatic & Fitness Center provide year-round opportunities for physical activity. These resources help reduce chronic health risks while also improving mental and social wellbeing. For older adults, walking loops, shaded seating, and accessible paths encourage mobility and community connection. For students and families, sports facilities, splash pads, and open spaces provide active outlets that support lifelong healthy habits.

Community, Identity, and Inclusion

Parks are also where community identity is built. They are the backdrop for weddings, festivals, youth sports, and volunteer events that bring residents together across generations. Starin Park hosts the Senior Center and Treyton's Field of Dreams, serving as a hub of intergenerational activity. Cravath Lakefront is home to markets, music, and multicultural celebrations that reflect Whitewater's diversity. UW–Whitewater students and long-term residents alike rely on parks for recreation and social life, creating common ground that unites the city.

Economic Value

A strong park system supports the local economy. Festivals, tournaments, and community events draw visitors who support small businesses, restaurants, and lodging. Families considering a move to Whitewater, or graduates choosing to stay, often point to parks, trails, and quality of life as deciding factors. Well-maintained parks enhance property values and make the community more attractive to employers, further strengthening Whitewater's long-term vitality.

Environmental Stewardship

Whitewater's parks and natural areas also serve as vital green infrastructure. Conservancy lands like the Whitewater Creek Nature Area and the Effigy Mounds Preserve protect cultural and ecological resources while offering opportunities for quiet reflection. Ray Trost Nature Preserve and other natural sites provide habitat for wildlife and space for environmental education. Trees, wetlands, and greenways reduce flooding, improve air and water quality, and increase resilience to climate change. Investments in tree planting, invasive species management, and shoreline restoration make parks an important part of the city's environmental strategy.

Equity and Accessibility

Above all, parks and recreation are public resources that serve everyone. Inclusive playgrounds, ADA-compliant facilities, affordable programs, and safe connections ensure that all residents — regardless of age, ability, or income — can benefit. Parks are places where barriers break down and where Whitewater's values of equity, inclusion, and community pride are lived out every day.

A Reflection of Whitewater's Values

Ultimately, the Whitewater park system reflects community values: health, equity, sustainability, and shared quality of life. By investing in and caring for these spaces, the City ensures that parks and recreation will remain at the heart of Whitewater for generations to come.

3. Background Information and Community Profile

Whitewater is both a small city and a regional hub, shaped by its unique mix of long-term residents, families, and a large student population. The city straddles Jefferson and Walworth Counties, covers roughly nine square miles, and is served by the Whitewater Unified School District (WUSD). This dual identity — a tight-knit community and a university town — influences housing, recreation, and transportation needs and directly shapes the role of the park system.

Since 1980, Whitewater has experienced modest but steady population change, influenced by both permanent residents and enrollment at the University of Wisconsin–Whitewater (UW–Whitewater). For planning purposes, this plan uses the U.S. Census Bureau’s 2020 decennial census count of 14,889 residents as the baseline population for the 2026–2031 planning period. Between 2020 and 2025, preliminary estimates indicate that Whitewater’s population grew to approximately 15,646 residents, reflecting an increase of about 757 people (5%). UW–Whitewater continues to be a major driver of demand for recreation and social spaces, with 2025–2026 enrollment projected at approximately 12,075 students, including the Rock County campus (University of Wisconsin–Whitewater, 2025).

3.1 Population Trends

Between the 2020 U.S. Census and 2025 population estimates, Whitewater’s population increased, rising from 14,889 residents in 2020 to approximately 15,646 residents in 2025. This growth represents an addition of about 757 residents, or a 5% increase citywide. The Jefferson County portion of the city grew modestly, while the Walworth County portion accounted for the majority of the increase (Wisconsin Department of Administration, 2025 Preliminary Municipal Population Estimates; U.S. Census Bureau, 2020 Census).

Population Change (2020–2025)

Whitewater Population: 2020 Census vs. 2025 Preliminary Estimates

Source / Geography	2020 Census	2025 Estimate	Numeric Change	Percent Change
Jefferson County portion	4,416	4,029	–387	–8.8%

Source / Geography	2020 Census	2025 Estimate	Numeric Change	Percent Change
Walworth County portion	10,473*	11,617	+1,144	+10.9%
Whitewater Total	14,889	15,646	+757	+5.1%

*Note: The Walworth County portion is derived by subtracting the Jefferson County population (4,416) from the Census total (14,889).

In practical terms, this means that Whitewater has slightly more residents today than five years ago — and its service population remains especially high when UW–Whitewater students are factored in.

3.2 Age Distribution

Whitewater remains younger than many surrounding communities due to the student population. In 2025, 88.7% of residents are age 18 or older, compared to 88.2% in 2020. At the same time, seniors (65+) are projected to grow steadily in number, while family-age residents remain relatively stable.

This unique age mix — a large student population alongside a growing senior population — creates diverse recreation needs. Students drive demand for trails, sports fields, and social gathering spaces, while older adults benefit from accessible paths, shaded seating, and low-impact recreation.

3.3 Implications for Parks Planning

Demographic trends carry important implications for the city's parks and recreation system:

- **Population growth and stable family-age households** mean the city must focus on reinvesting in existing assets, ensuring they remain modern, safe, and attractive while also accommodating gradual increases in demand, rather than relying solely on new growth to fund amenities.
- **Student influence** drives strong demand for active sports facilities, trails, multipurpose courts, and flexible spaces that support informal recreation and social connection.
- **The increasing Latino population** contributes to the city's cultural diversity and underscores the need for welcoming, family-orientated gathering spaces, bilingual communication, and inclusive programming.

- **Aging residents** require accessible parks with smooth walking loops, benches, shaded gathering areas, and universally designed facilities. Investments in ADA compliance will ensure parks serve residents of all ages and abilities.
- **Community identity** depends on parks that bring people together — from student intramurals and youth sports to senior activities and citywide festivals.

Together, these dynamics underscore the importance of a balanced system: one that maintains and modernizes existing parks, expands trail connectivity, and provides amenities that serve Whitewater’s full spectrum of residents — from students to seniors.

4. Planning Process

The development of the *Whitewater Parks and Recreation Open Space Plan 2026-2031* was a collaborative process designed to combine data, professional expertise, and the voices of residents. Each phase built upon the previous one, ensuring that the final plan reflects both technical needs and community priorities.

Phase 1: Project Initiation and Background Review

The planning process began with a thorough review of existing documents, including the 2008–2013 Parks and Recreation Open Space Plan, the 2015 Strategic Plan, neighborhood development plans, and the Whitewater Bicycle and Pedestrian Plan. This step established a baseline by updating demographics, land use patterns, growth indicators, and facility inventories. Reviewing past plans allowed the City to identify which recommendations had been implemented, which remained outstanding, and where new priorities were emerging.

Phase 2: Community Engagement

Public input played a central role in shaping the plan. In 2025, a citywide survey gathered responses from hundreds of residents, providing insight into how people use parks, what amenities they value most, and where they see gaps. A second survey is planned for the end of 2026 to broaden representation and measure progress as the plan is implemented.

Phase 3: Park Inventory, Site Assessments, and Mapping

Every park, open space, and facility was inventoried and assessed for size, classification, amenities, condition, and accessibility. This included documenting whether facilities met ADA standards, identifying where infrastructure such as restrooms or shelters were aging, and mapping service areas to show geographic equity. GIS-based mapping also highlighted gaps in access, particularly in developing neighborhoods, and opportunities for future trail connections.

Phase 4: Needs Assessment and Strategic Themes

Data from the inventory was synthesized to identify key needs. These included modernizing aging facilities, expanding trail connectivity, addressing equity and accessibility gaps, and increasing shade, natural restoration, and environmental

stewardship. Strategic themes emerged around maintenance, connectivity, inclusion, and resilience.

Phase 5: Goals, Recommendations, and Draft Plan

Building on these findings, City staff and the Parks and Recreation Board drafted the mission, vision, and core values for the plan. Goals were established around quality, equity, connectivity, stewardship, engagement, and sustainable funding. System-wide and site-specific recommendations were developed to guide future investment, ensuring that the plan not only sets priorities but also identifies strategies for implementation.

Phase 6: Review, Adoption, and Integration

The draft plan is being reviewed by the Parks and Recreation Board, Plan Commission, and the Common Council. Following adoption, it will be submitted to the Wisconsin Department of Natural Resources (DNR) for certification, maintaining the City's eligibility for Stewardship and LWCF grant programs. Once certified, the plan will be integrated into the City's Comprehensive Plan. A follow-up Parks and Recreation Strategic Plan will provide more detailed project phasing, cost estimates, and site-specific implementation steps.

5. Mission, Vision, and Values

Mission

Enhance quality of life in Whitewater by providing safe, inclusive, and inspiring parks, recreation programs, and open spaces for all.

Vision

Whitewater will be a community where parks and recreation are central to daily life — places where residents and students connect with nature, gather with friends and family, celebrate traditions, and build a healthier, more sustainable future.

Core Values

Our work is guided by values that reflect the spirit of Whitewater:

- **Inclusion and Accessibility** – Every park and program should be welcoming, safe, and usable for all ages and abilities.
- **Stewardship and Sustainability** – We protect and enhance the city’s natural, cultural, and financial resources for future generations.
- **Health and Wellbeing** – Parks and recreation support physical activity, mental health, and community resilience.
- **Community Pride and Connection** – Parks bring people together, strengthen neighborhoods, and build civic pride.
- **Innovation and Excellence** – We embrace creativity and continuous improvement to deliver high-quality services.
- **Environmental Responsibility** – Sustainable design and maintenance practices keep Whitewater’s parks resilient and inspiring.

6. Park and Recreation System Overview

The City of Whitewater manages a diverse system of parks, open spaces, and recreation facilities that provide opportunities for play, wellness, cultural expression, and environmental stewardship. To organize this system and evaluate future needs, the plan uses the National Recreation and Park Association (NRPA) classification system, adapted to Whitewater's context.

Park Classification and Standards

Two benchmarks guide system planning:

- **Gross Acreage Standard** – NRPA recommends 6.25 to 10.5 acres of developed parkland per 1,000 residents (not including conservancy lands). With more than approximately 160 acres of developed parkland, Whitewater exceeds this guideline.
- **Service Area Standard** – Each park type has a typical service radius. This ensures residents can reach a park within a short walk or bike ride, and helps identify gaps in access in growing or underserved neighborhoods.

Park Classifications

- **Mini Parks (up to 2.5 acres)**
 - **Service Area:** Within ¼ mile
 - **Population Served:** 0.25–0.5 acres per 1,000 residents
 - Small, walkable greenspaces designed to serve nearby residents.
- **Neighborhood Parks (2–10 acres)**
 - **Service Area:** ¼–½ mile
 - **Population Served:** 1–2 acres per 1,000 residents
 - Moderately sized parks serving surrounding residential areas, typically including playgrounds, courts, or open green space.
- **Community Parks (10+ acres)**
 - **Service Area:** 1.5 miles or more
 - **Population Served:** 5–8 acres per 1,000 residents
 - Large, multi-purpose parks that serve the entire community and often support regional visitors.

Park Type	Typical Size	Service Area	Population Served	Typical Features
Mini Park	Up to 2.5 acres	¼ mile radius	0.25–0.5 acres per 1,000 residents	Tot lots, benches, pocket greens
Neighborhood Park	2–10 acres	¼–½ mile radius	1–2 acres per 1,000 residents	Playgrounds, sport courts, picnic shelters, open lawns
Community Park	10+ acres	1.5+ mile radius	5–8 acres per 1,000 residents	Ballfields, aquatic facilities, event space, trails, parking

Recreation Area Classifications

- **Active Recreation Areas** – Facilities for structured, high-use activities such as athletic fields, playgrounds, courts, skateparks, splash pads, dog parks, and community gardens.
- **Passive Recreation Areas** – Open/natural areas designed for less-structured recreation like walking, picnicking, or nature viewing.
- **Special Use Areas** – Unique or civic facilities such as amphitheaters, plazas, or historic sites that provide cultural or interpretive value.
- **Conservancy Areas** – Permanently protected natural lands, often sensitive environments such as wetlands, floodplains, and wildlife corridors. These areas are not counted as developed parkland but are essential to habitat protection and ecological resilience.

Note on Whitewater Effigy Mounds Preserve

The Whitewater Effigy Mounds Preserve holds unique cultural and spiritual significance as a sacred Native American burial site. It is managed as both a Special Use and Conservancy Area, with an emphasis on preservation and education. The preserve, approximately 21.5 acres, is not included in the developed park acreage but remains one of the most meaningful sites in the park system.

7. Existing Parks and Open Spaces Inventory

The City of Whitewater manages 22 properties. Each listing includes the park name, classification, location, acreage, features, and notes.

Armory Gym & Community Building — *Special Use Area*

- **Location:** 146 W North St.
- **Acreage:** 0.9 acres
- **Features:** Gymnasium, summer camp space, dance studio, classroom space, community food pantry, kitchen space.
- **Notes:** Multifunctional public facility; polling location for Wards 1–7.

Big Brick Park — *Mini Park*

- **Location:** 611 W Center St.
- **Acreage:** 1.1 acres
- **Features:** Open green space, playground, basketball court, drinking water.
- **Notes:** Seasonal community ice rink and warming house.

Brewery Hill Park / Skatepark — *Neighborhood Park*

- **Location:** 116 W North St.
- **Acreage:** 7.3 acres
- **Features:** Open green space, drinking water, multipurpose trail, 8,000 sq. ft. skatepark, fishing access.
- **Notes:** Popular with teens and young adults.

Clay Street Nature Park — *Mini Park (Conservancy designation)*

- **Location:** 511 E Clay St.
- **Acreage:** 1.41 acres
- **Features:** Open green space, fishing access.
- **Notes:** Passive recreation elements; portions managed as natural preservation area.

Cravath Lakefront Park — *Community Park*

- **Location:** 341 S Fremont St.
- **Acreage:** 6.1 acres

- **Features:** Open-air picnic shelter, indoor rental (Cravath Lakefront Building), drinking water, restrooms, boat ramp, fishing, trails, ungroomed XC skiing, snowshoeing, amphitheater, open green space, lakeside views, trail connections.
- **Notes:** Central gathering space; home to Christmas at Cravath, Tuesday Market, Food Truck Festival, Concerts in the Park, Fourth of July, and other major events.

Flat Iron Park — *Mini Park*

- **Location:** 402 W Main St.
- **Acreage:** 0.7 acres
- **Features:** Birge Fountain.
- **Notes:** Summer “Savory Sounds” music series hosted by Whitewater Arts Alliance.

Main Street Shoppes Courtyard — *Mini Park*

- **Location:** 112 N 1st St.
- **Acreage:** 0.1 acres
- **Features:** Seating area with picnic tables.
- **Notes:** Small plaza-style site in the downtown district.

Meadowsweet Park — *Neighborhood Park*

- **Location:** 601 N Tratt St.
- **Acreage:** 4 acres
- **Features:** Open green space, detention area, sidewalks.
- **Notes:** Lightly developed site; no formal amenities.

Mill Race Park — *Mini Park*

- **Location:** 124 W Main St.
- **Acreage:** 0.6 acres
- **Features:** Lake access, fishing access.
- **Notes:** Small site with water access for passive recreation.

Minneiska Park — *Community Park*

- **Location:** Parkside Dr. & Tanner Way
- **Acreage:** 20 acres

- **Features:** Trails, playground equipment, open space.
- **Notes:** Serves surrounding residential areas with trail connections.

Moraine View Park — *Community Park*

- **Location:** 1201 Innovation Dr.
- **Acreage:** 45 acres
- **Features:** Multi-use trails, community gardens, soccer fields.
- **Notes:** Large, partly developed site with mixed recreational uses.

Optimist Turtle Mound Park — *Mini Park*

- **Location:** 1302 Turtle Mound Ln.
- **Acreage:** 1.0 acres
- **Features:** Playground, open-air picnic shelter, open green space.
- **Notes:** Used for both recreation and cultural purposes.

Ray Trost Nature Preserve — *Mini Park (Conservancy designation)*

- **Location:** 130 W Starin Rd.
- **Acreage:** 2.0 acres
- **Features:** Multi-use trails, seating, reflection garden.
- **Notes:** Dedicated in honor of former city naturalist; contemplative and educational value.

Skyway Park — *Neighborhood Park*

- **Location:** Tower Hill Pass (Park Crest Subdivision)
- **Acreage:** 4.0 acres
- **Features:** Playground, open green space.
- **Notes:** Serves adjacent residential neighborhood.

Starin Park — *Community Park*

- **Location:** 504 W Starin Rd.
- **Acreage:** 34.6 acres
- **Features:** Multi-use trails; community building; public restrooms; Senior Center; Arboretum; historic water tower; Treyton's Field of Dreams; open-air shelters; horseshoe pits; basketball courts; baseball diamonds; outdoor fitness equipment.

- **Notes:** One of the city's oldest and most-used parks; major intergenerational hub.

Trippe Lake Park — *Community Park*

- **Location:** 407 S Wisconsin St.
- **Acreage:** 24.2 acres
- **Features:** Picnic area, open-air picnic shelter, restrooms, playground, boat ramp, fishing, trails/hiking.
- **Notes:** Popular destination for nature access and passive recreation.

Walton East Gate Park — *Mini Park*

- **Location:** Jakes Way & Ash Ln.
- **Acreage:** 2.0 acres
- **Features:** Playground, open green space.
- **Notes:** Neighborhood green space.

Walton Oaks Park — *Mini Park*

- **Location:** 654 Stonefield Ln.
- **Acreage:** 2.6 acres
- **Features:** Open green space.
- **Notes:** Serves Walton Oaks subdivision.

Whitewater Aquatic & Fitness Center (WAFC) — *Special Use Area*

- **Location:** 580 S Elizabeth St.
- **Acreage:** Facility footprint within school campus
- **Features:** Indoor pool; leisure pool with slide, lazy river & water play; fitness center; locker rooms; concessions; fitness studio; meeting room; program space.
- **Notes:** Partnership facility with School District; provides year-round aquatic and fitness opportunities.

Whitewater Bark Park — *Special Use Area*

- **Location:** 546 N Jefferson St.
- **Acreage:** 3.64 acres
- **Features:** Fenced dog park, seating, shade structures.
- **Notes:** Heavily used; volunteer-supported amenity.

Whitewater Creek Nature Area — *Conservancy Area*

- **Location:** 685 N Fremont St.
- **Acreage:** ~60 acres
- **Features:** Woodlands and stream corridors; informal trail access; wildlife viewing.
- **Notes:** Conservancy land managed for habitat and passive use.

Whitewater Effigy Mounds Preserve — *Special Use/Conservancy Area*

- **Location:** 288 Indian Mound Pkwy
- **Acreage:** ~21.5 acres
- **Features:** Sacred Native American burial mounds; interpretive and natural setting.
- **Notes:** Managed with cultural and ecological sensitivity; not included in developed acreage totals.

Park / Facility	Classification	Acreage
Armory Gym & Community Building	Special Use Area	0.9
Big Brick Park	Mini Park	1.1
Brewery Hill Park / Skatepark	Neighborhood Park	7.3
Clay Street Nature Park	Mini Park (Conservancy)	1.41
Cravath Lakefront Park	Community Park	6.1
Flat Iron Park	Mini Park	0.7
Main Street Shoppes Courtyard	Mini Park	0.1
Meadowsweet Park	Neighborhood Park	4.0
Mill Race Park	Mini Park	0.6
Minneiska Park	Community Park	20.0
Moraine View Park	Community Park	45.0
Optimist Turtle Mound Park	Mini Park	1.0
Ray Trost Nature Preserve	Mini Park (Conservancy)	2.0
Skyway Park	Neighborhood Park	4.0
Starin Park	Community Park	34.6
Trippe Lake Park	Community Park	24.2
Walton East Gate Park	Mini Park	2.0
Walton Oaks Park	Mini Park	2.6

Park / Facility	Classification	Acreage
Whitewater Aquatic & Fitness Center (WAFC)	Special Use Area	N/A*
Whitewater Bark Park	Special Use Area	3.64
Whitewater Creek Nature Area	Conservancy Area	~60.0
Whitewater Effigy Mounds Preserve	Special Use / Conservancy Area	~21.5

Total Developed Acreage: 161.25 acres

Conservancy Lands (not counted as developed): 81.5 acres

Grand Total (All Managed Lands): 242.75 acres

* WAFC footprint lies within the School District campus and is not counted toward parkland acreage.

8. Needs Assessment

The needs assessment combines input from residents, data from surveys, site assessments, and professional evaluations of the park and recreation system. Together, these findings highlight what Whitewater values most, where the system performs well, and where improvements are needed to ensure equitable access, long-term sustainability, and high-quality experiences for all.

Community Engagement Themes

The 2025 Open Space Community Survey (427 responses) and the 2025 Recreation Programs Survey (135 responses) provided a comprehensive view of community needs. Respondents represented a range of age groups, with strong participation from households aged 35–54 and retirees. UW–Whitewater students were underrepresented, which is notable given their impact on local recreation.

Park access is strong, with 66.2 percent of residents reporting they can walk to a nearby park and 64.7 percent able to reach destinations by bicycle. Most residents visit parks weekly or monthly, with Starin Park, Cravath Lakefront Park, Trippe Lake Park, and the Whitewater Bark Park seeing the highest levels of frequent use.

Recreation program participation is also significant, with 61.5 percent of residents reporting attendance at a recreation program or event in the past three years. The most cited events were Concerts in the Park and Christmas at Cravath, with additional participation in youth sports, fitness programs, arts, and family events.

Priorities Identified by Residents

Maintenance and modernization are the top priority, with 74.6 percent of households identifying the need to keep parks clean, safe, and functional. Trails and connectivity were strongly supported, with 55.1 percent prioritizing hiking trails and 53.9 percent paved trails. Open-ended comments emphasized the importance of neighborhood trail connections, particularly east–west across the city. Accessibility and inclusion also emerged as key themes, with 28.2 percent identifying accessible parks as a top priority. Satisfaction ratings were lowest for restrooms and playgrounds, reflecting outdated equipment and ADA barriers. Environmental stewardship was another strong theme, with 44.9 percent requesting more shade and tree canopy, and 41.2 percent supporting restoration of natural areas. Residents highlighted invasive species control, habitat protection, and

shoreline improvements as important environmental strategies. Expanded amenities were requested by smaller but notable groups, including a splash pad (19.8 percent), pickleball courts (20.4 percent), and kayak or canoe launches (15.0 percent).

Programming and Events Needs

The Recreation Programs Survey identified demand for a wider and more diverse range of offerings. Residents prioritized music and arts (58 percent), nature and environmental education (49.5 percent), adult fitness (40.1 percent), multicultural events (34.2 percent), and senior activities (30.6 percent). Emerging interests included STEM and educational programs (41 percent), outdoor adventure (67 percent), performing arts (36 percent), and arts and crafts (44 percent). Desired events included seasonal celebrations (66 percent), community festivals (61 percent), arts and crafts fairs (58 percent), outdoor movies (45 percent), and cultural or heritage celebrations (39 percent).

These results suggest programming should not only expand but diversify, meeting resident interest in both traditional recreation (fitness, sports, nature) and new opportunities (STEM, cultural events, outdoor adventure).

Barriers to Participation

Barriers to participation vary between park access and program attendance. In the Recreation Survey, only 46.7 percent of residents said they were fully aware of program offerings, while 48.1 percent were only somewhat aware. In the Open Space Survey, 20.8 percent cited lack of awareness of events as a barrier to use. Scheduling conflicts were also significant, with 39 percent reporting that program times do not fit their schedules. Evenings and weekends were the most preferred times for participation.

Other barriers include program cost (20 percent), transportation (7 percent), and mobility limitations (6.6 percent). While most residents (90.9 percent) reported feeling safe in parks and trails, a small percentage (6.6 percent) cited safety concerns as a barrier.

Facility and Infrastructure Needs

Survey results and site assessments identified facility reinvestment as a core need. Restrooms and playgrounds received the lowest satisfaction ratings and require

modernization. Many playgrounds need replacement and inclusive design with accessible surfacing and routes. Trails remain incomplete, limiting connections between neighborhoods, schools, and parks. Natural areas require sustained investment in tree planting, invasive species management, and shoreline stabilization.

Climate and Resilience Needs

Residents expressed strong support for strategies that address climate resilience. Priorities include stormwater and flooding solutions such as dredging, shoreline stabilization, rain gardens, and bioswales; expanded tree canopy and shade structures at high-use sites to address heat; invasive species control and native plantings to support biodiversity; and sustainable operations through light-colored, heat-reducing pavements, water-wise landscaping, and transitioning to electric landscaping equipment where feasible.

Senior Recreation Needs

The Recreation Survey highlighted significant gaps in awareness and use of senior programming. Among respondents over age 55, 64 percent were unaware of the Senior Center. Barriers included limited awareness, lack of variety in programming, and scheduling conflicts. Expanded promotion, diversified program offerings, and partnerships with local organizations will be essential to meeting the recreation needs of older adults.

9. Recommendations and Strategies

The recommendations in this plan are designed to balance community priorities, address identified gaps, and ensure sustainable management of Whitewater's park and recreation system. They reflect the findings of the 2025 Community Surveys, site assessments, and best practices in parks and recreation planning.

Recommendations are presented in two categories: system-wide strategies and site-specific improvements.

System-Wide Recommendations

High Priority

- **Maintenance and modernization** – Residents ranked maintaining clean and functional facilities as their highest priority, with 74.6 percent identifying it as essential. This includes restrooms, shelters, signage, roofs, and other core infrastructure.
- **Accessibility and inclusion** – With 28.2 percent of residents identifying accessible parks as a top priority, upgrades are needed to ensure ADA compliance and universal design. Improvements include accessible restrooms, inclusive playgrounds, and safe trail access.
- **Connectivity and trails** – Hiking trails (55.1 percent) and paved trails (53.9 percent) were the most requested amenities. Expanded trail networks and safe walking/biking connections between neighborhoods, schools, and downtown should be prioritized.

Medium Priority

- **Shade and environmental enhancements** – 44.9 percent of households requested more shade trees and 41.2 percent supported natural area restoration. Tree planting, shade structures, shoreline stabilization, and invasive species management are central to this strategy.
- **Expanded amenities** – Smaller but notable groups supported the addition of splash pads (19.8 percent), pickleball courts (20.4 percent), kayak or canoe launches (15.0 percent), and multipurpose fields and courts.
- **Programming and events** – The Recreation Programs Survey identified strong demand for music and arts (58 percent), nature and environmental education (49.5 percent), adult fitness (40.1 percent), multicultural events (34.2 percent), and senior activities (30.6 percent). Emerging interests included STEM and educational programming (41 percent), outdoor

adventure (67 percent), performing arts (36 percent), and arts and crafts (44 percent). Events such as seasonal celebrations, community festivals, arts and crafts fairs, outdoor movies, and cultural or heritage events were also frequently requested.

- **Partnerships and funding** – Partnerships with UW–Whitewater, service clubs, businesses, and nonprofit organizations will be essential to expand capacity. Continued pursuit of grants, sponsorships, and other funding sources will support both capital and operational needs.
- **Marketing and communication** – While previously considered lower priority, both surveys demonstrated significant gaps in awareness. In the Recreation Programs Survey, only 46.7 percent of respondents said they were fully aware of program offerings, and 48.1 percent were only somewhat aware. Expanded communication through social media, email newsletters, signage, and community outreach are necessary.

Low Priority

- **Specialized amenities and promotions** – While less broadly supported, interest remains for niche amenities such as agility equipment at the Bark Park, expanded disc golf, and other specialized facilities. These should be considered opportunistically in partnership with community groups.

Site-Specific Recommendations

Armory Gym & Community Building

- Sealcoat parking lot.
- Refinish Gym floor.
- Install drop ceiling in Dance Studio.
- Better defined program space and utilization.
- Continue routine maintenance and community programming.

Big Brick Park

- Discontinue ice rink maintenance due to rising staff costs and low community usage.
- No major improvements recommended at this time. Continue routine maintenance.

Brewery Hill Park / Skatepark

- Repair skatepark features, possible relocation to Big Brick Park.
- Improve access to creek for increased fishability.

Clay Street Nature Park

- Replace pier.
- Remove nonnative shoreline trees.
- Add benches for passive recreation.
- Include in Lakes Management planning for invasive species and shoreline improvements.

Cravath Lakefront Park

- Repair sinking sidewalk bricks to improve accessibility.
- Address dam issues required by state regulations.
- Improve flower gardens.
- Install new sign structure for informational signage.
- Replace roof on Cravath Community Building.
- Replace roof on picnic shelter.
- Improve seating for concerts.
- Consider increased community event planning.
- Sealcoat parking lot.
- Installation of new fishing/kayak pier.
- Installation of new fountain.
- Include in Lakes Management planning for invasive species and shoreline improvements.

Flat Iron Park

- Installation of digital signage.
- Repair Birge Fountain.

Main Street Shoppes Courtyard

- No major improvements recommended at this time. Continue routine maintenance.

Meadowsweet Park

- No major improvements recommended at this time. Continue routine maintenance.

Mill Race Park

- No major improvements recommended at this time. Continue routine maintenance.

Minneiska Park

- Improve playground accessibility with paths, ramps, borders, and surfacing.
- Repair pathways and replace damaged benches.
- Replace pathway connection to Trippe Lake Park.
- Add disc golf and link to Trippe Park.
- Install soccer practice goals.
- Evaluate potential pickleball site.
- Long term installation of restroom facility.

Moraine View Park

- Construct restroom/concession building.
- Create maintenance management plan for facility.

Optimist Turtle Mound Park

- No major improvements recommended at this time. Continue routine maintenance.

Ray Trost Nature Preserve

- No major improvements recommended at this time. Continue ecological monitoring and stewardship. Continue routine maintenance.

Skyway Park

- No major improvements recommended at this time. Continue routine maintenance.

Starin Park

- Replace roofs on shelters and restrooms.
- Replace Senior Center restrooms.
- Install splash pad.
- Install new shelter.

- Replace playground equipment.
- Replace grills with larger picnic-size grills at both shelters.
- Ballfield complex improvements:
 - Install shade structures at bleachers.
 - Inspect and repair bleachers.
 - Repair or replace fencing.
 - Resurface diamonds, prioritizing FCCU field.
 - Improve turf in outfields.
 - Replace outfield screens.
 - Paint dugouts.
 - Inspect and repair/replace timbers on stairs west side of Southern Lakes Field.
 - Repair scoreboards, install protective screen on Treyton's Field of Dreams scoreboard.
 - Evaluate concrete pads.
 - Purchase aerifier.
 - Purchase infield rake.
- Maintain Arboretum with dedicated resources.
- Sealcoat parking lots and repaint lines.

Trippe Lake Park

- Replace outdated playground equipment.
- Address dam and shoreline issues as required by the state.
- Improve rain garden.
- Reconstruct retaining wall and hillside improvements.
- Replace walkway and railings on bridges.
- Repair or replace pathway behind condominiums.
- Remove/replace brick veneer from wall behind condominiums.
- Install parking lot at top of sledding hill.
- Replace roof on upper shelter.
- Repaint and stain upper shelter.
- Replace grills with larger picnic-size grills at both shelters.
- Repair and sealcoat existing parking lot.

Walton East Gate Park

- Improve playground accessibility and safety surfacing.
- Evaluate potential for a basketball court, pickleball court or splash pad.

Walton Oaks Park

- No major improvements recommended at this time. Continue routine maintenance.

Whitewater Aquatic & Fitness Center (WAFC)

- Major improvements anticipated, but to be addressed through upcoming capital campaign.
- This plan does not list individual projects to avoid duplication; recommendations will be integrated with campaign outcomes.

Whitewater Bark Park

- Install new drinking fountain.
- Add improved signage.
- Add benches.
- Plant additional shade trees.
- Installation of shade structures.
- Explore addition of agility equipment.

Whitewater Creek Nature Area

- Parking lot improvements.
- Invasive tree removal.
- Continue ecological monitoring and stewardship.

Whitewater Effigy Mounds Preserve

Management activities at the Effigy Mounds Preserve will continue to follow the guidelines established in the *Effigy Mounds Preserve Maintenance Plan (2011)*, including prescribed burns, native vegetation restoration, and invasive species control conducted in coordination with the Friends of the Mounds and the Parks and Recreation Department.

Lakes Management

Cravath Lake, Trippe Lake, and Clay Street Nature Park contain important water resources that provide recreation and community value but face ecological challenges requiring active management. A coordinated lakes management plan should be developed in partnership with the Wisconsin DNR, consultants, and

local stakeholders guided by SEWRPC's Lake Protection Plan (2011) and Aquatic Plant Management Plan (2025).

Cravath Lake

- Invasive species removal.
- Cattail removal and shoreline management.
- Long-term management strategy to be developed with partners.

Trippe Lake

- Invasive species removal.
- Cattail removal and shoreline management.
- Long-term management strategy to be developed with partners.

Clay Street Nature Park

- Invasive species removal.
- Shoreline and pond management.
- Long-term management strategy to be developed with partners.

System-Wide Pathway Maintenance

- Sealcoat and maintain multi-use pathways throughout the city to preserve surface condition, safety, and accessibility.

Veterans Park

- Develop a new dedicated Veterans Park to honor those who have served in the armed forces.
- Consolidate all existing veterans' monuments from throughout the community into this park, creating a single, unified location for remembrance.
- Include new memorial features such as monuments, flags, interpretive signage, and contemplative seating areas.
- Design the park to support community ceremonies and gatherings, while maintaining a quiet and respectful atmosphere for daily use.
- Integrate accessibility, shade, and landscaping consistent with other civic spaces in Whitewater.
- Establish ongoing partnerships with veterans' groups and community organizations to guide design, programming, and long-term stewardship.

Summary

Together, the system-wide and site-specific recommendations form a balanced roadmap for Whitewater’s parks and recreation system. They reflect what residents emphasized in the 2025 Community Surveys—maintenance, trails, accessibility, shade, programming diversity, and communication—while also addressing Board and staff observations of urgent facility needs. The next section, the Implementation Plan, translates these recommendations into phased actions, and responsibilities to guide the City of Whitewater in carrying out this plan over the next five years.

10. Implementation Plan

The Implementation Plan provides a framework for translating recommendations into action. It outlines priorities, timelines, funding opportunities, and responsibilities for carrying out improvements across Whitewater's parks and recreation system. While the plan emphasizes the next five years (2026–2031), it also considers longer-term strategies to guide investments through 2036.

Guiding Principles

The following principles inform implementation:

- **Maintain first, expand second.** Reinvestment in existing facilities will be prioritized before adding new amenities.
- **Leverage partnerships.** Collaboration with UW–Whitewater, community organizations, and regional agencies will extend capacity and resources.
- **Pursue grants and funding strategically.** Maintaining DNR certification ensures eligibility for Stewardship and LWCF grants, which should be paired with local funds, sponsorships, and donations.
- **Advance equity and inclusion.** Every project will be evaluated for its contribution to accessibility, safety, and welcoming design.
- **Plan for resilience.** Projects should integrate sustainable practices, from energy-efficient equipment to nature-based stormwater management.

Phasing and Prioritization

Projects are phased into three categories:

Immediate (2026–2027)

- ADA upgrades to playgrounds, restrooms, and surfacing at high-use parks.
- Roof replacements at Cravath Lakefront, Trippe Lake, and Starin Park facilities.
- Skatepark repairs at Brewery Hill Park.
- Installation of splash pad and picnic shelter at Starin Park.
- Moraine View concession stand and restroom construction.
- Dam compliance projects at Cravath and Trippe Lake.
- Communication improvements: updated website, program guide, and coordinated marketing.
- Expanded program offerings in music/arts, fitness, and nature education.

Mid-Term (2028–2030)

- Shade structures at Starin Park ballfields, Bark Park and other high-use play areas.
- New amenities: kayak/canoe launches at Trippe and Cravath, and multipurpose courts.
- Playground replacements at additional neighborhood parks.
- Expanded programming in STEM, multicultural events, and outdoor adventure.
- Senior Center renovation and program expansion.

Long-Term (2030–2035)

- Continued natural area restoration, invasive species management, and canopy expansion.
- Ongoing upgrades to shelters, signage, and restrooms as needed.
- Trail connections linking neighborhoods, schools, and downtown.
- Evaluation of emerging recreation trends and future amenities.

Funding and Partnerships

Implementation will require a blend of local investment and external funding. Key opportunities include:

- Wisconsin DNR Stewardship Program
- Land and Water Conservation Fund (LWCF)
- Wisconsin DOT Transportation Alternatives Program (for trails)
- Partnerships with UW–Whitewater, Whitewater Unified School District for facilities and program expansion
- Service clubs, businesses, and nonprofit sponsorships for targeted projects
- Volunteer and “friends of parks” groups to support stewardship and programming

Monitoring and Updates

Implementation will be tracked through annual reporting to the Parks and Recreation Board. Progress will be measured against the following benchmarks:

- Number of facility upgrades completed.
- Miles of trails added or improved.
- New amenities introduced.
- Program participation and satisfaction levels.

- Grant dollars leveraged.

The Implementation Plan is intended to be flexible, allowing projects to shift as funding, partnerships, and opportunities evolve. Regular updates and community input will ensure that the City of Whitewater remains responsive to changing needs and priorities.

11. Conclusion

The 2026-2031 Parks and Recreation Open Space Plan establishes a comprehensive framework for guiding the future of Whitewater's parks, open spaces, and recreation programs. Developed with significant input from residents and City staff, the plan reflects the community's shared values of health, inclusion, environmental stewardship, and civic pride.

Through a combination of system-wide strategies and site-specific improvements, the plan prioritizes reinvestment in existing facilities, expansion of trail connections, improved accessibility, and a broader range of recreation opportunities. Survey results clearly demonstrate that residents' value clean and well-maintained parks, safe and inclusive play spaces, and diverse programs that serve all ages and abilities.

Implementation of this plan will require collaboration, creativity, and sustained investment. Partnerships with UW–Whitewater, service clubs, nonprofit organizations, and regional agencies will expand the City's capacity. Continued pursuit of state and federal grants, along with innovative funding approaches, will be essential to leverage local resources.

This plan also positions Whitewater to remain eligible for Wisconsin Department of Natural Resources (DNR) funding programs, ensuring that the City can maximize external support for future projects. Annual monitoring and reporting will keep the plan responsive to changing community needs, and the next five-year update will build upon the accomplishments of this cycle.

Ultimately, the plan affirms that parks and recreation are essential to the identity, vitality, and resilience of Whitewater. By committing to the recommendations outlined here, the City can ensure that its parks, open spaces, and recreation programs continue to enrich daily life, foster community connections, and protect natural and cultural resources for generations to come.

Call to Action

The success of this plan depends on collective commitment. City leaders, partner organizations, and residents all have a role to play in sustaining Whitewater's parks and recreation system. By working together—through stewardship, volunteerism, advocacy, and investment—the community can transform the goals of this plan into tangible improvements that enhance daily life.

The creation of Veterans Park, which could consolidate all existing veterans' monuments into a unified, dedicated space, represents a legacy investment that reflects Whitewater's values of remembrance, honor, and community pride. The next chapter for Whitewater's parks begins with the choices we make today.

Appendix A. Public Engagement Summary

Community Survey

Two community surveys were conducted in 2025 to guide this plan:

- **Open Space Community Survey** – 427 responses, focused on park use, facilities, and priorities for investment.
- **Recreation Programs Survey** – 135 responses, focused on awareness, participation, barriers, and program/event preferences.

Key findings are integrated throughout Sections 7, 8, and 9 of this plan.

Open Space Community Survey (427 responses)

- **Access:** 66.2% of residents can walk to a nearby park; 64.7% can access by bicycle.
- **Most visited parks:** Starin Park (40.8%), Cravath Lakefront (33.0%), Trippe Lake (13.1%), and Whitewater Bark Park.
- **Priorities:** Maintenance (74.6%), infrastructure modernization (44.2%), shade/trees (44.9%), natural area restoration (41.2%), accessible parks (28.2%).
- **Amenities requested:** Hiking trails (55.1%), paved trails (53.9%), open space/natural areas (49.0%), playgrounds (48.8%). Smaller groups requested splash pad (19.8%), pickleball courts (20.4%), and kayak/canoe launches (15.0%).
- **Programming priorities:** Music and arts (58.0%), nature/environment (49.5%), adult fitness (40.1%), senior activities (30.6%), multicultural events (34.2%).
- **Barriers:** Not aware of programs/events (20.8%), lack of time (20.8%), mobility limitations (6.6%), safety concerns (6.6%), transportation (2.9%).
- **Safety:** 90.9% of residents reported feeling safe in parks and trails.

Recreation Programs Survey (135 responses)

- **Awareness:** Only 46.7% of respondents were fully aware of recreation programs; 48.1% were somewhat aware.
- **Participation:** 61.5% participated in a program/event in the last three years. Top events included Concerts in the Park and Christmas at Cravath.

- **Barriers:** Lack of awareness (45%), program times not fitting schedules (39%), cost (20%), no programs of interest (13%), transportation (7%).
- **Preferred times:** Weekday evenings (65%), Saturday mornings (46%), Saturday afternoons (41%), Sunday afternoons (39%).
- **Program interests:** Outdoor adventure (67%), sports/fitness (59%), arts and crafts (44%), STEM/educational programs (41%), performing arts (36%).
- **Event preferences:** Seasonal events (66%), community festivals (61%), arts and crafts fairs (58%), outdoor movies (45%), cultural/heritage celebrations (39%).
- **Senior programs:** 64% of respondents over 55 were unaware of the Senior Center, citing lack of awareness, variety, and scheduling as barriers.

Conclusion

The community surveys provided a clear and consistent picture of Whitewater's priorities. Maintenance, accessibility, trail connectivity, shade, and program diversity emerged as the most significant themes across all forms of engagement. These results directly shaped the needs assessment in Section 8 and informed the system-wide and site-specific recommendations in Section 9, ensuring that this plan is rooted in the expressed values and aspirations of the community.

Appendix B. Maps

A series of maps were developed to support the planning and analysis of the City of Whitewater Parks and Recreation Open Space Plan 2026–2031. These maps illustrate existing park and open-space conditions, walkability, and regional connectivity. Full-resolution versions are included in the digital appendix.

Map 1. Existing Parks and Open Spaces

Displays the distribution of community parks, neighborhood parks, mini-parks, special-use areas, and conservancy lands. Highlights geographic service gaps, including neighborhoods that currently lack a park within a short walking distance.

Map 2. NRPA 10-Minute Walk Access to Parks

This map illustrates the National Recreation and Park Association’s (NRPA) “10-Minute Walk” accessibility model, representing the distance most residents can comfortably walk—approximately ½ mile—to reach a park or recreation area.

The shaded areas show locations within Whitewater that fall inside a ½-mile walking radius of an existing park, open space, or recreation facility.

Areas outside the shaded zones identify neighborhoods and future development areas that lack a nearby park within a 10-minute walk.

This analysis helps the City evaluate geographic equity in park access and prioritize future park sites or trail connections to ensure that all residents—regardless of neighborhood—can reach a park safely and conveniently by foot or bicycle.

Map 3. Bicycle and Pedestrian Plan Reference Maps (2013)

The following maps are drawn from the City of Whitewater Bicycle & Pedestrian Plan, prepared by the Wisconsin Bike Fed (November 2013).

They are included here as legacy reference materials to illustrate the evolution of Whitewater’s bicycle and pedestrian network and to provide context for ongoing connectivity goals.

While several of the proposed facilities have since been constructed, modified, or reprioritized, these maps remain a valuable foundation for understanding long-term network vision.

Updated mapping will be produced in coordination with the forthcoming Parks and Recreation Strategic Plan.

Included Legacy Maps

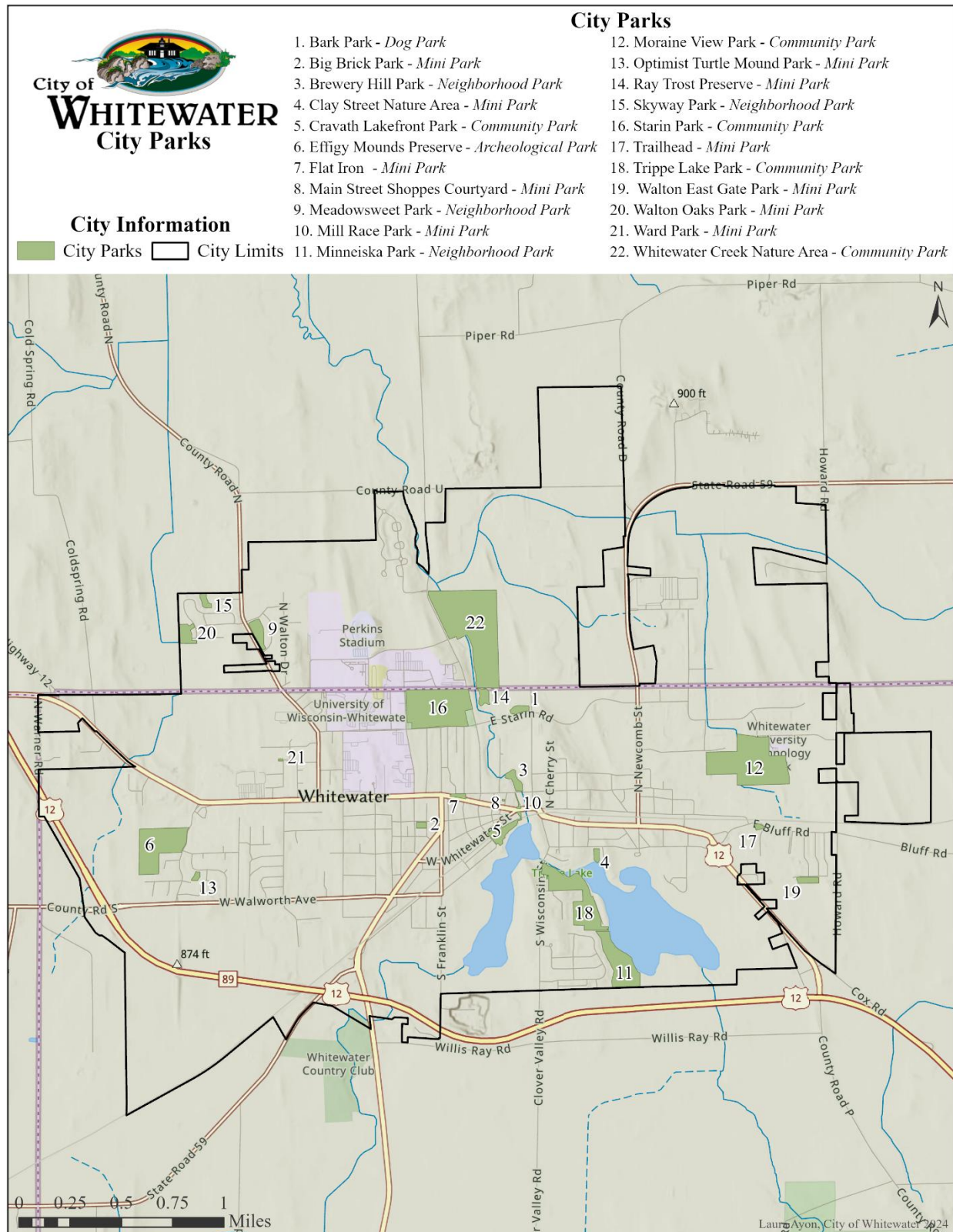
- **Map 3-1. Existing Conditions (2013)** – Baseline inventory of on-street and off-street bicycle facilities and shared-use paths.
- **Map 3-2. Opportunities and Constraints (2013)** – Identifies network gaps, barriers, and opportunities for improved bicycle and pedestrian connections.

- **Map 4-1. Recommended Bikeway Network (2013)** – Illustrates the recommended citywide bikeway and shared-use-path system.
- **Maps 7-1 through 7-4. Project Prioritization (2013)** – Depict short-, medium-, and long-term phases for bicycle and pedestrian infrastructure implementation.

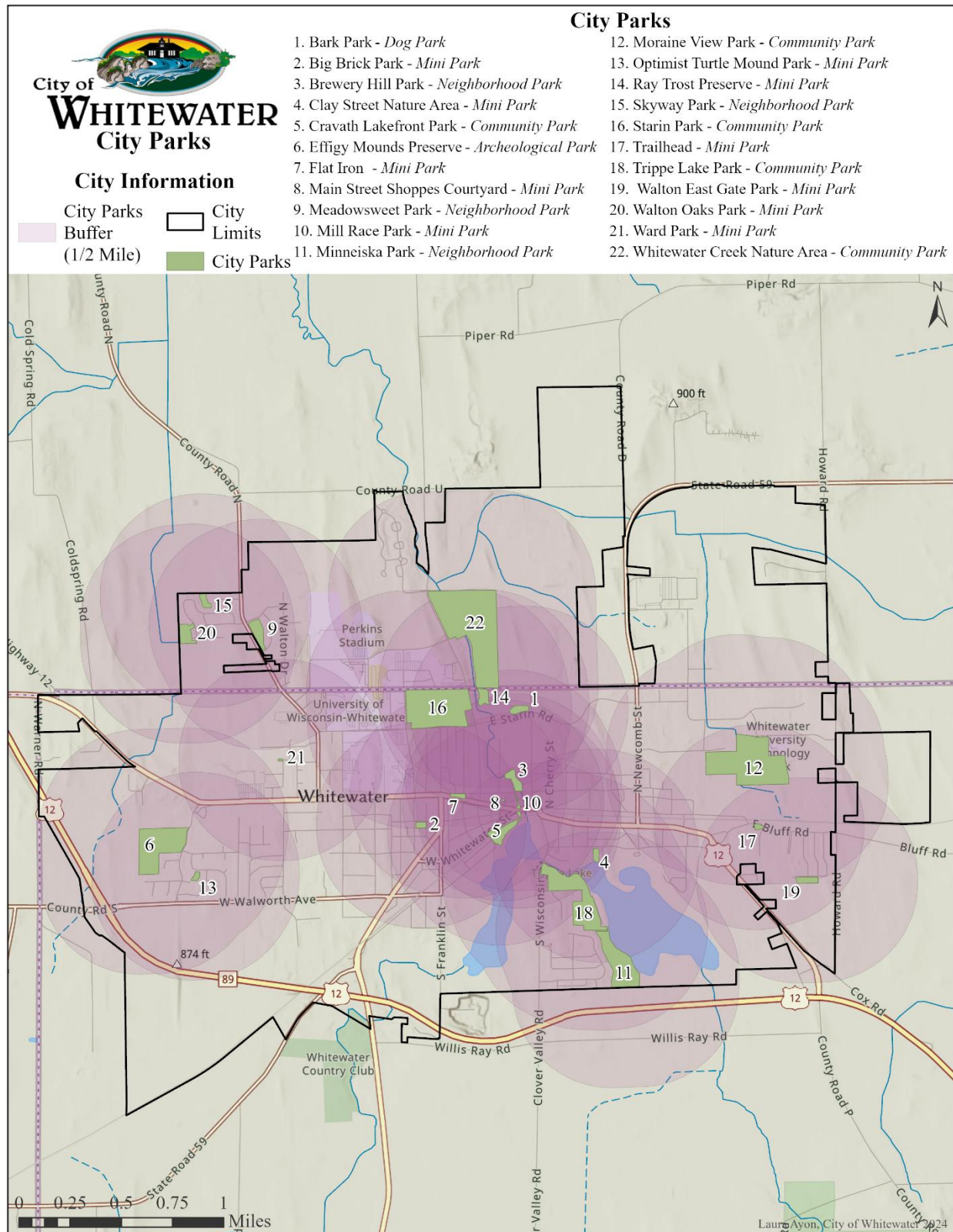
Source: City of Whitewater Bicycle & Pedestrian Plan 2013.

Note: These maps are retained for reference purposes only. They depict recommendations and project phasing from 2013 and may not reflect existing conditions or recently completed infrastructure.

Map 1: Existing Parks and Open Spaces



Map 2: NRPA 10-Minute Walk Access to Parks

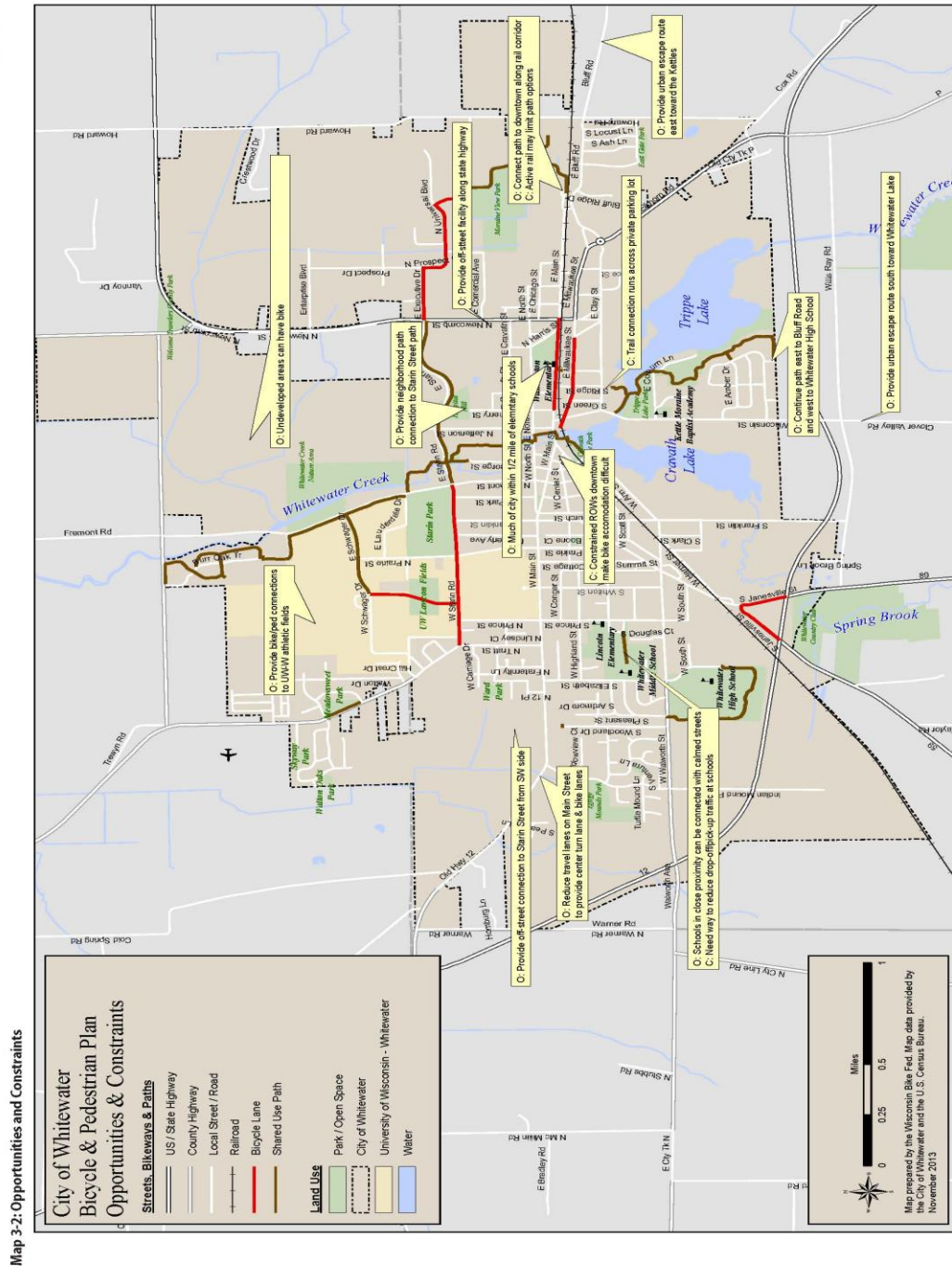


EXISTING CONDITIONS



Map 3-2. Opportunities and Constraints (2013)

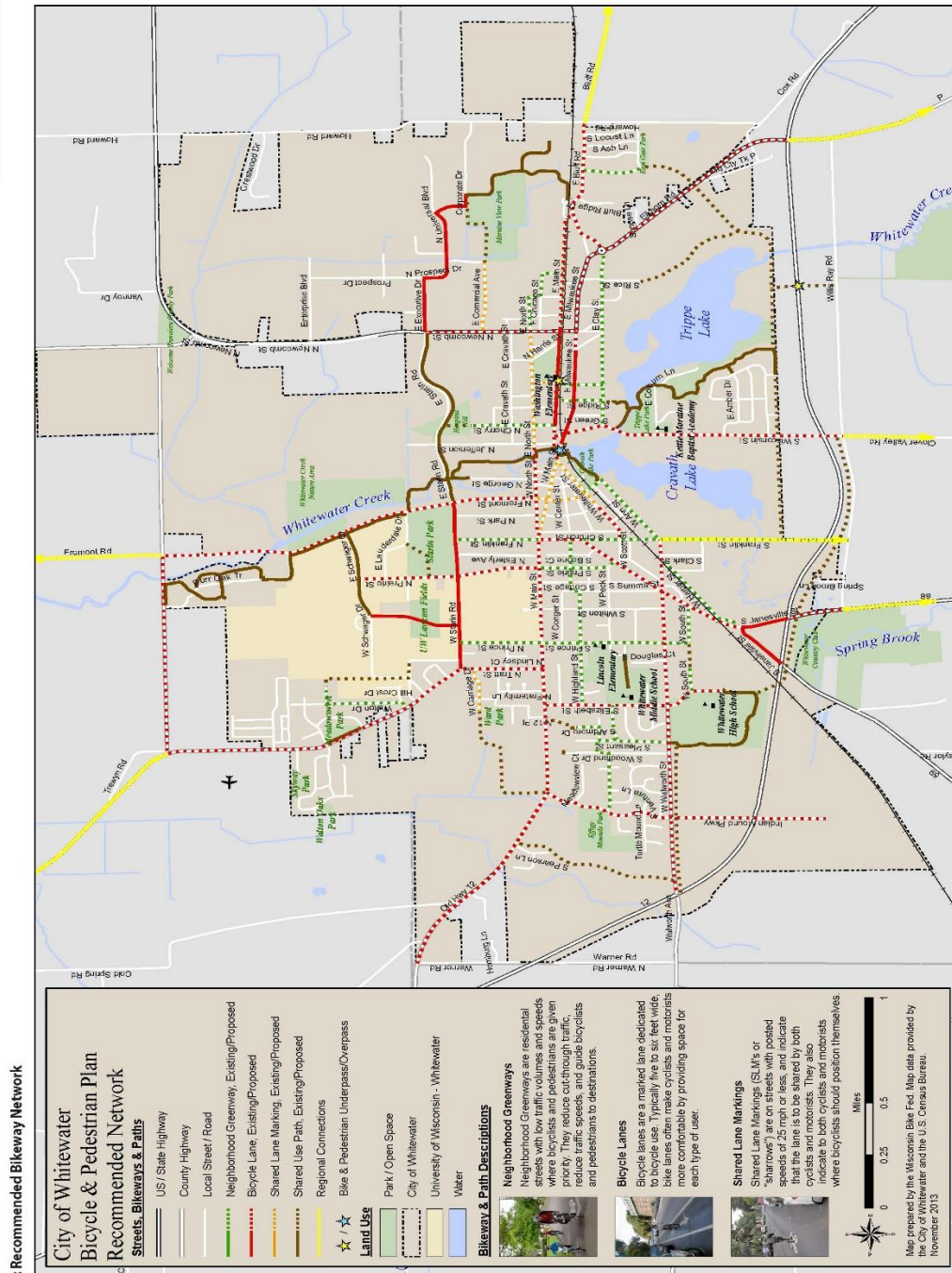
EXISTING CONDITIONS



CITY OF WHITEWATER | 23

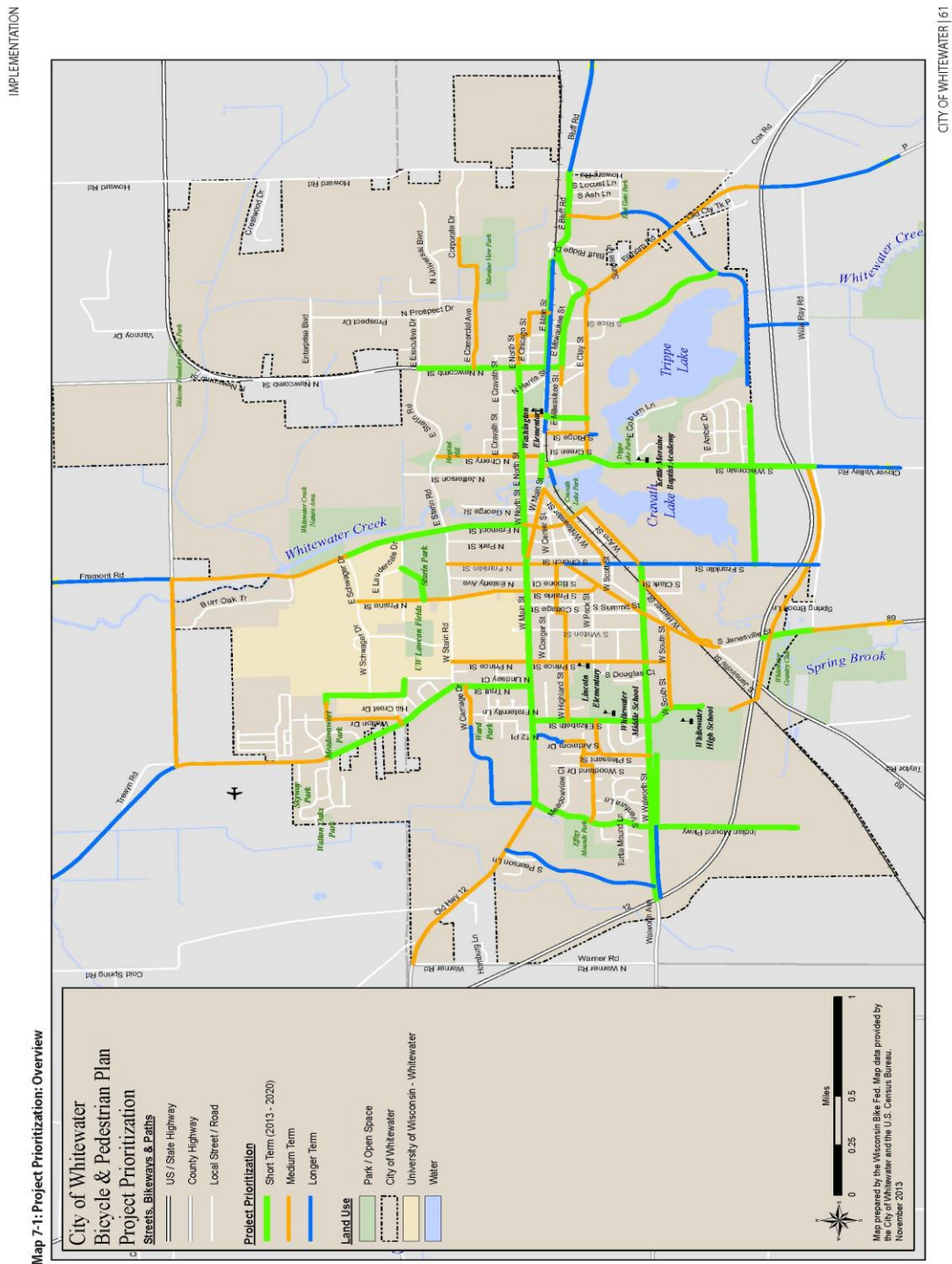
Map 4-1. Recommended Bikeway Network (2013)

RECOMMENDED BIKEWAY NETWORK

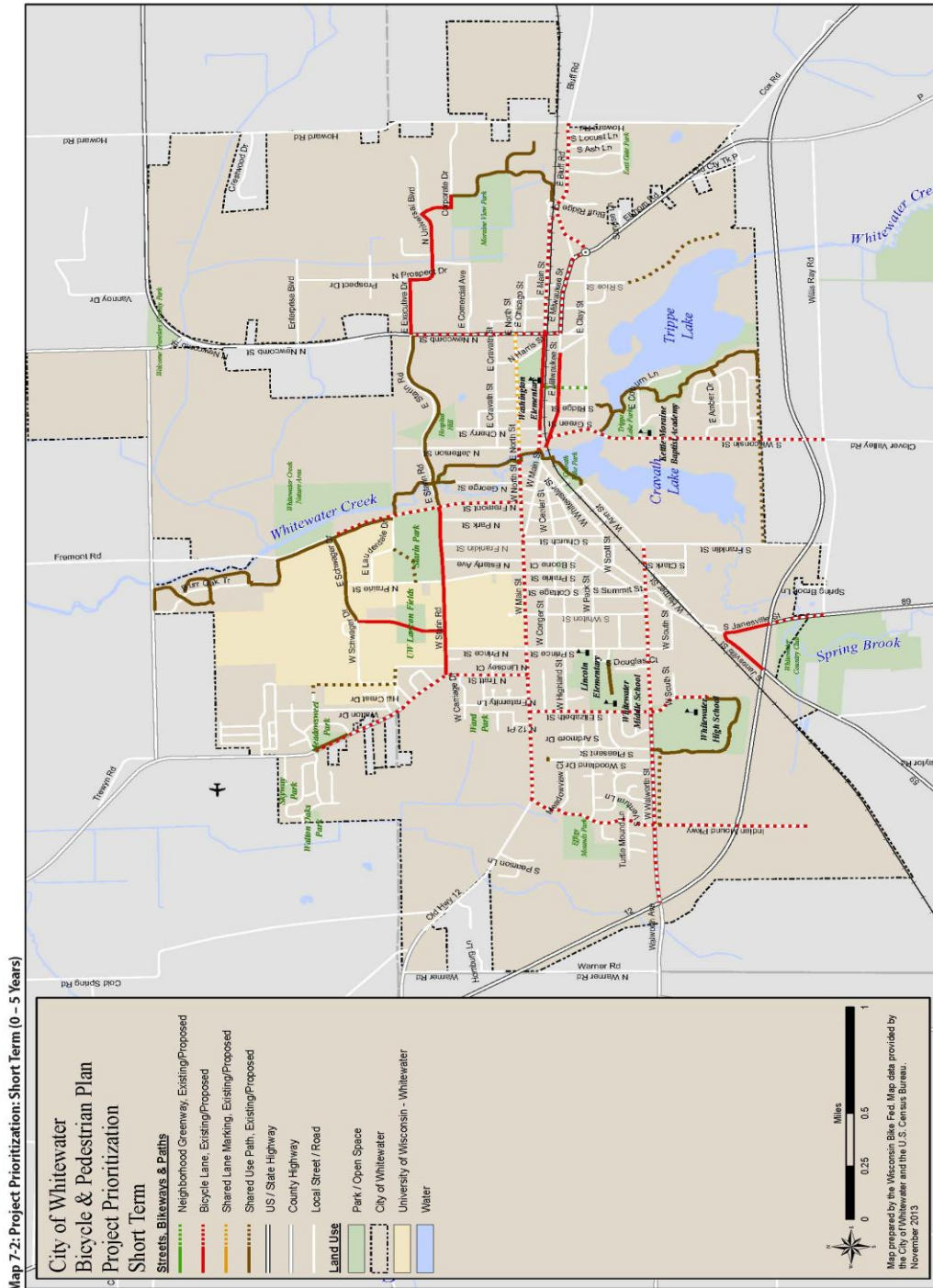


CITY OF WHITEWATER 37

Maps 7-1 through 7-4. Project Prioritization (2013)

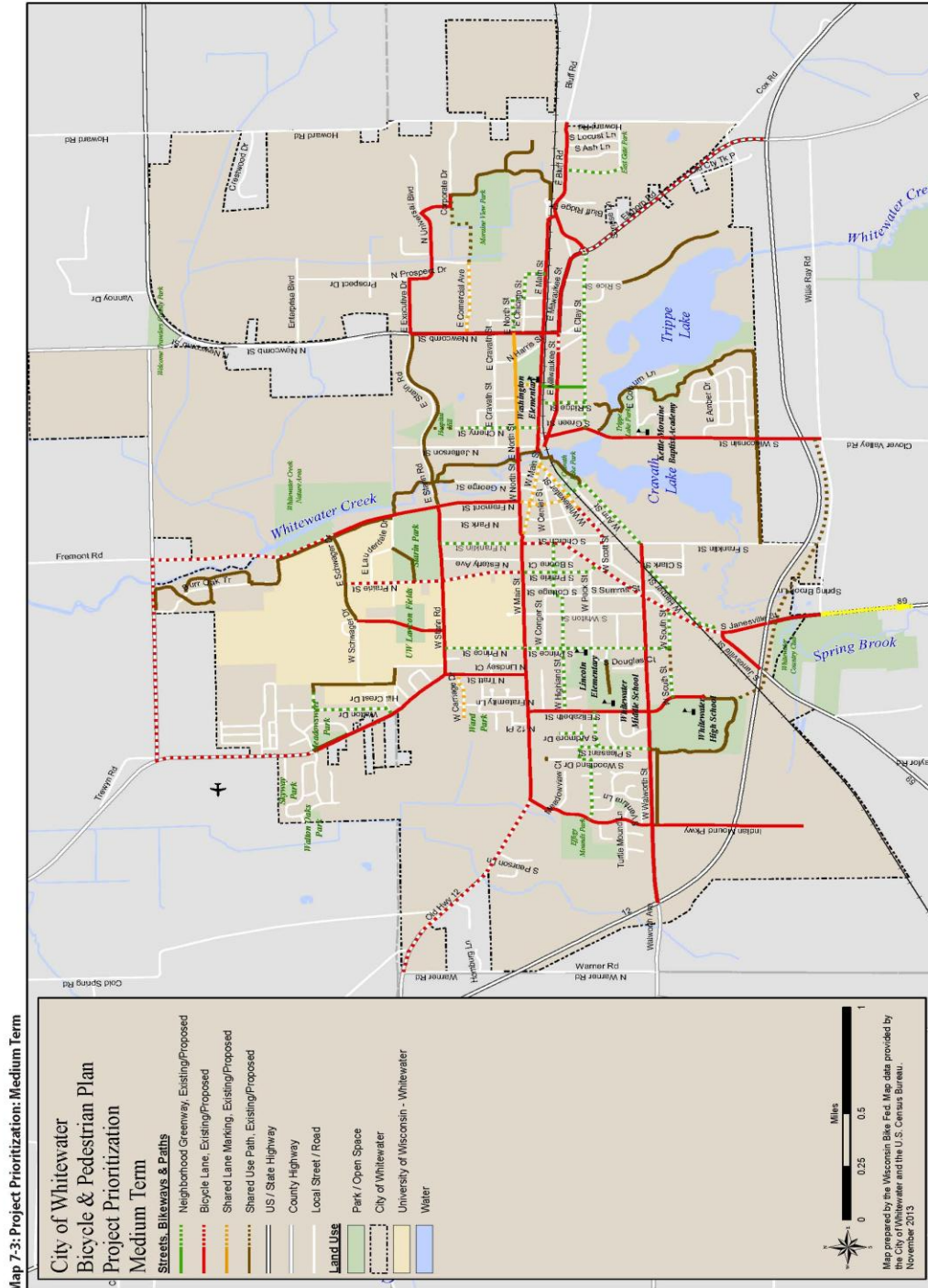


IMPLEMENTATION



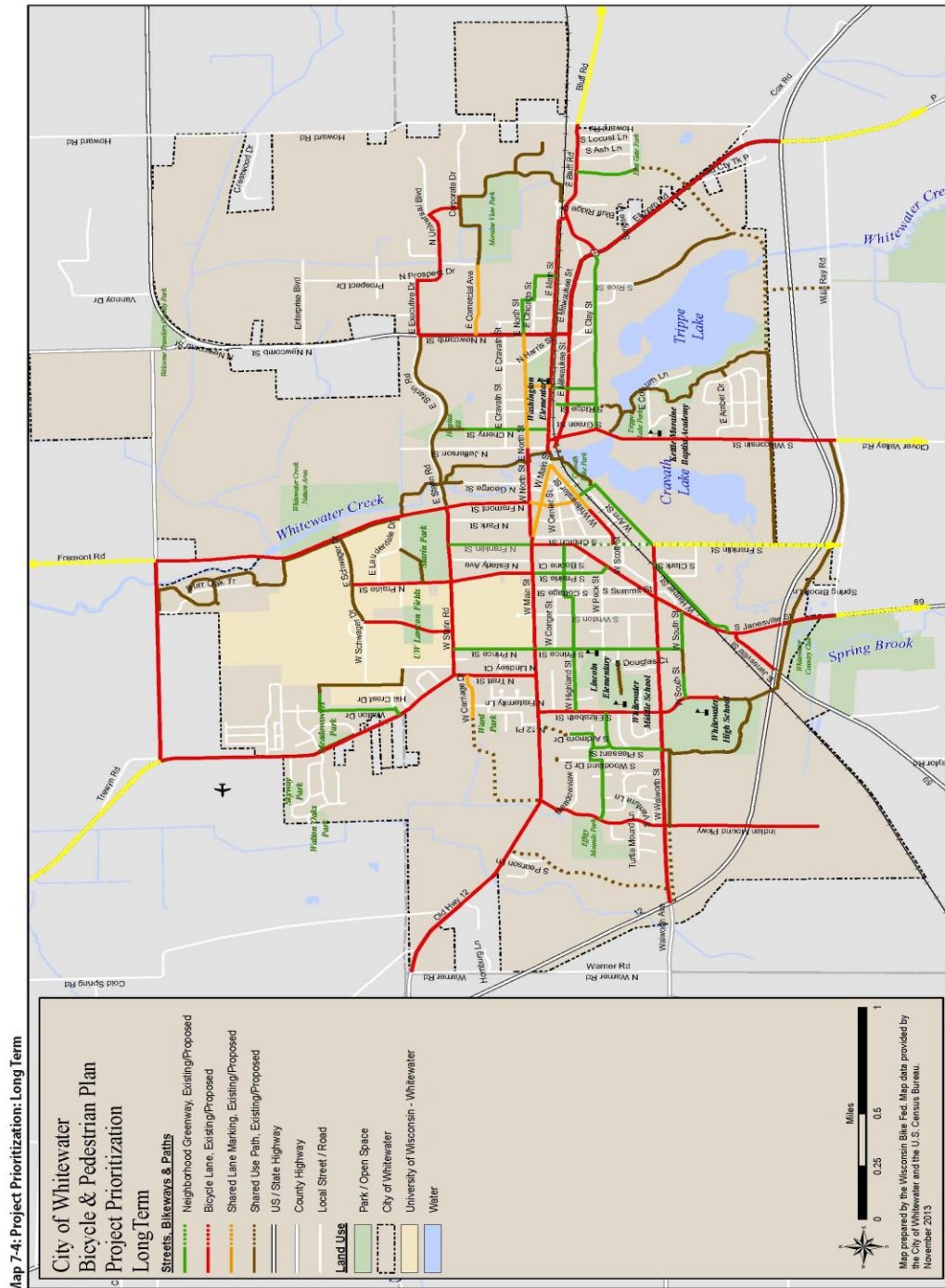
CITY OF WHITewater | 63

IMPLEMENTATION



CITY OF WHITEWATER | 65

IMPLEMENTATION



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Appendix C. Implementation Matrix

Purpose and Approach

The Implementation Matrix serves as a bridge between the policy framework of this Parks and Recreation Open Space Plan, 2026 – 2031 and the day-to-day work of delivering park improvements, programs, and maintenance.

Rather than a static table of cost estimates, the City of Whitewater will maintain a living Implementation Matrix as an internal working document. This allows staff and partners to track progress, update priorities, and adapt to new funding opportunities while maintaining consistency with the adopted plan.

Integration with the Strategic Plan

A detailed, project-level Implementation Matrix—including cost ranges, phasing, responsible parties, and potential funding sources—will be incorporated into the forthcoming Parks and Recreation Strategic Plan. That document will provide the depth needed for capital planning, grant applications, and coordination with the City’s annual Capital Improvement Program (CIP).

Annual Review and Updates

City staff will:

- Update the working matrix each year to reflect completed, in-progress, and upcoming projects.
- Present progress reports to the Parks and Recreation Board and Common Council as part of annual budget deliberations.
- Record changes in project timing, costs, or scope to ensure continued eligibility for Wisconsin DNR Stewardship and Land and Water Conservation Fund (LWCF) programs.

Summary Statement

The Implementation Matrix is therefore understood as a dynamic management tool, not a fixed appendix. It ensures that the recommendations of the Parks and Recreation Open Space Plan (2026 – 2031) remain actionable, measurable, and responsive to evolving community needs, fiscal conditions, and partnership opportunities.

Appendix D. Community Survey Reports

This appendix includes the full results of the two community surveys conducted in 2025 to guide the development of this plan. Together, the surveys reflect the perspectives of more than 550 residents and provide the foundation for the needs assessment and recommendations in Sections 8 and 9.

- **Appendix D-1: Open Space Community Survey Report (2025)**
427 responses focused on park use, facilities, and investment priorities.
- **Appendix D-2: Recreation Programs Survey Report (2025)**
135 responses focused on awareness, participation, barriers, and program/event preferences.

The complete PDF reports, including frequency tables, cross-tabulations, and open-ended comments, are included in the digital appendix.

Appendix E. References and Data Sources

The following sources provided the demographic, mapping, and technical background used in preparing the **City of Whitewater Parks and Recreation Open Space Plan 2026–2031**. These references ensure transparency and accuracy in the data, mapping, and analysis that informed the plan’s findings and recommendations.

Demographics and Population

- U.S. Census Bureau, *2020 Census of Population and Housing*
- Wisconsin Department of Administration, *Preliminary 2025 Population Estimates*

Parks and Recreation Data

- City of Whitewater, *Park and Facility Inventory (2024–2025)*
- Whitewater Unified School District, *Facility Use Agreements and Enrollment Data*
- UW–Whitewater, *Campus Recreation and Student Enrollment Reports*

Surveys

- City of Whitewater, *2025 Open Space Community Survey (427 responses)*
- City of Whitewater, *2025 Recreation Programs Survey (135 responses)*

Mapping and Environmental Data

Geospatial information and environmental layers used to prepare maps and spatial analyses for this plan were drawn from the following primary sources:

- **City of Whitewater GIS Department** – base maps, park boundaries, and community facilities.
- **Jefferson and Walworth County GIS Departments** – parcels, road networks, hydrology, and topography.
- **Wisconsin Department of Natural Resources (DNR)** – wetlands, floodplains, surface waters, and stewardship lands.
- **U.S. Census Bureau and Wisconsin Department of Administration** – municipal boundaries and population geography.
- **Natural Resources Conservation Service (NRCS)** – soils, land cover, and elevation data.

These datasets were integrated to produce the plan’s park inventory maps, service-area analysis, and the NRPA 10-Minute Walk access model, helping identify areas of strong coverage and neighborhoods that would benefit from improved park access.

Plans and Policy Documents

- City of Whitewater, *Parks and Recreation Open Space Plan (2008–2013)*
- City of Whitewater, *Parks and Recreation Strategic Plan (2015)*
- City of Whitewater, *Whitewater Bicycle and Pedestrian Plan (2013)* Used as a reference for existing and proposed bikeway routes shown in Appendix B (Legacy Mapping).
- City of Whitewater, *Effigy Mounds Preserve Maintenance Plan (2011)* – Guides long-term cultural and ecological stewardship of the Effigy Mounds Preserve, including prescribed burns, invasive species control, and native vegetation restoration activities. Referenced in Section 9 for site-specific management practices.
- Southeastern Wisconsin Regional Planning Commission (SEWRPC), *Aquatic Plant Management Plan for Cravath and Trippe Lakes*, Memorandum Report No. 275 (2025) – Prepared for the City of Whitewater in partnership with the Wisconsin DNR. Provides detailed survey data, management recommendations, and implementation strategies for aquatic vegetation, invasive species control, and cattail management in Cravath and Trippe Lakes, including prescribed burning, drawdown evaluation, and lake restoration measures.
- Southeastern Wisconsin Regional Planning Commission (SEWRPC), *Lake Protection Plan for Cravath and Trippe Lakes (2011)* – Provides early baseline data on water quality, watershed conditions, and aquatic-plant communities. Establishes initial recommendations for sediment reduction, shoreline restoration, and storm-water management, forming the foundation for subsequent SEWRPC and DNR lake-management efforts.

Closing Statement

This Parks and Recreation Open Space Plan represents the collective vision of the Whitewater community. By combining technical data, public engagement, and professional analysis, it provides a clear roadmap for the next decade of investment and stewardship. The appendices preserve the supporting data and engagement materials that guided this process, ensuring transparency and continuity for future updates. With this plan, the City of Whitewater reaffirms its commitment to maintaining and enhancing parks, open spaces, and recreation opportunities for all residents—now and in the years to come.

MEMORANDUM

To: City of Whitewater Plan and Architectural Review Commission

From: Allison Schwark, Zoning Administrator

Date: November 11, 2025

Re: Site Plan Review

Summary of Request	
Requested Approvals:	Site Plan Review
Location:	1220 Innovation Drive- Vacant lot on the corner of Innovation and Technology Drive (A455500001)
Current Land Use:	Vacant
Proposed Land Use:	Fire Department Training Facility
Current Zoning:	General Manufacturing District
Proposed Zoning:	N/A
Future Land Use, Comprehensive Plan:	Business/Industrial Park

Staff Review

The applicant is requesting a site plan review for a project on a vacant lot within the industrial park for the City of Whitewater's Fire Department Training Facility. The proposed facility would consist of three levels, all constructed of metal. Additionally the training center would be surrounded by a large asphalted area for fire trucks, and other training activities. The facility would be utilized by the City of Whitewater Fire Department for training, as well as to host other fire departments for training and events.



The current parcel is approximately 2.64 acres and would easily be able to accommodate the proposed structure, as well as additional paved training and parking areas and comply with all of the requirements of the M-1 zoning district. The stormwater and grading plans have both been reviewed and approved, and the civil plans have been reviewed by Brad Marquardt, and are acceptable.

Per the M-1 zoning regulations:

19.36.060 - Yard requirements.

Minimum yard requirements for the M-1 district are:

- A. Front, thirty feet;
- B. Side, fifteen feet, corner lots thirty feet;
- C. Rear, thirty feet, except the rear yard setback to any railroad right-of-way shall be at least fifteen feet under a conditional use;

The proposed project meets the minimum yard requirements.

19.36.070 - Lot coverage.

There is no maximum percentage lot coverage for buildings with the exception of the provisions needed for landscape, circulation, and other site planning considerations. Building size, coverage, and locations must still conform to the other regulations including stormwater management. Landscape and environmental features shall follow principles of sustainability and environmental quality and shall locate landscape elements in highly visible locations, especially

in the fronts of buildings, and should include canopy trees, understory and/or evergreen trees, and shrubs.

19.36.080 - Building height.

Maximum building height in the M-1 district is one hundred feet, with the exception that the maximum building height is three stories within one hundred feet of a residential use or a property zoned as a residential district.

The proposed construction meets the building height requirements.

Planner's Recommendations

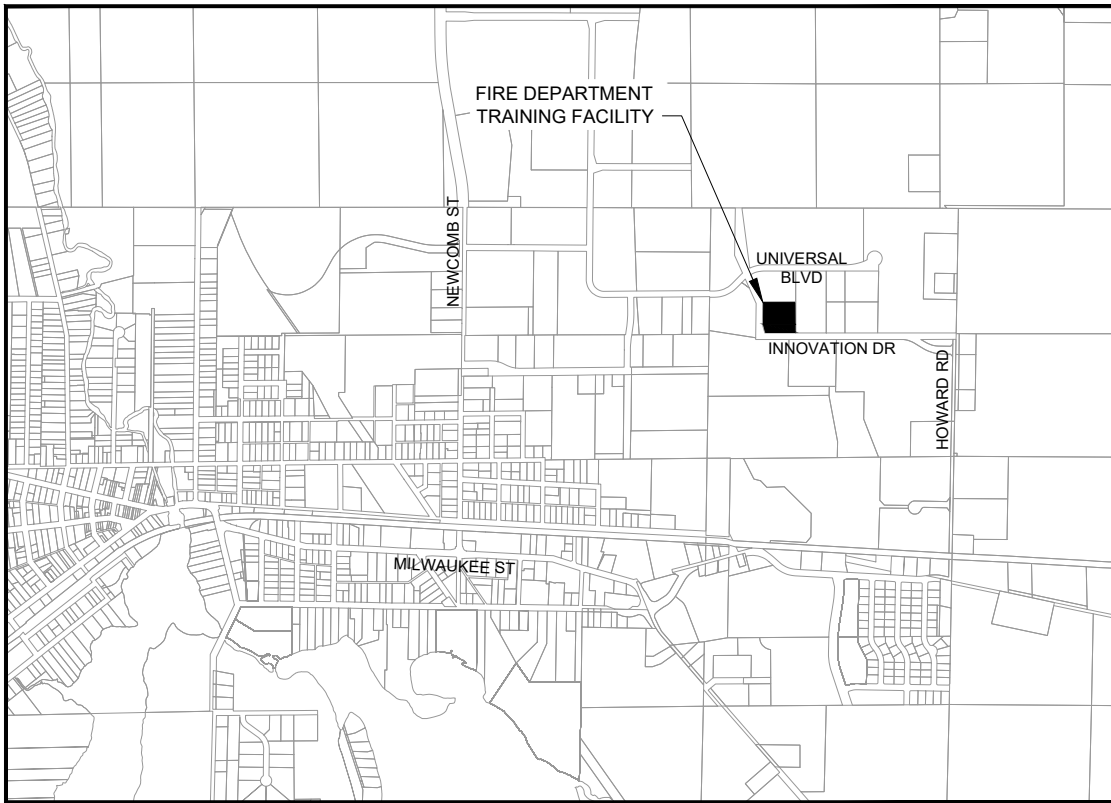
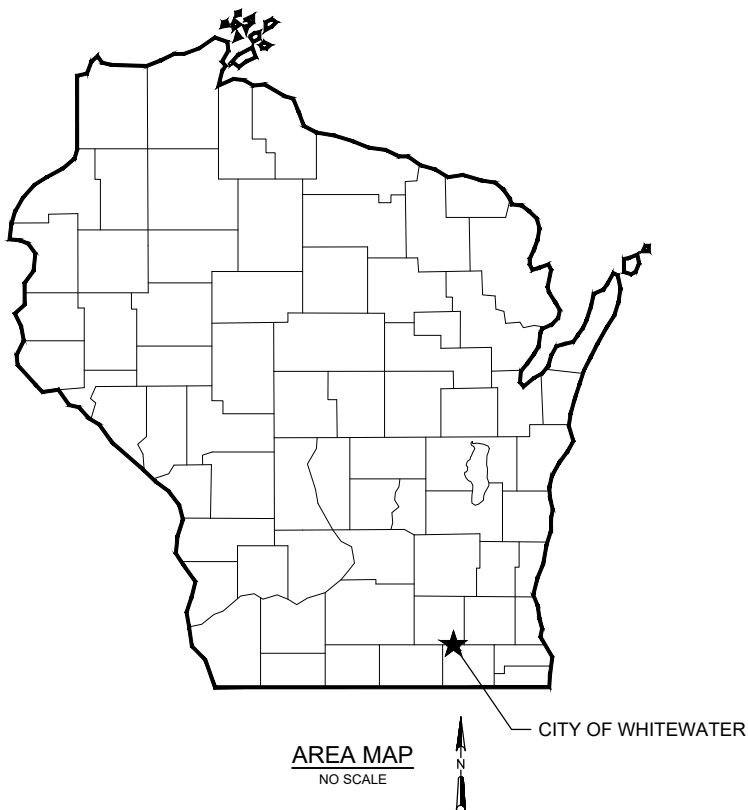
- 1) Staff recommend that Plan Commission **APPROVE** the Site Plan Review for new construction for the parcel located at 1220 Innovation Drive with the following conditions:
 - a. All lighting shall comply with the City of Whitewater Ordinances.
 - b. All zoning and building permits for construction be properly obtained.
 - c. Landscaping shall be completed to the specifications of the site plan within 30 days after the completion of construction. Any deviation from the site plan shall require additional PARC approval.
 - d. Site plan shall not deviate from approved plans. Any deviation shall require additional PARC approval.

FIRE DEPARTMENT TRAINING FACILITY

FOR THE

CITY OF WHITEWATER

WALWORTH COUNTY, WISCONSIN



PROJECT LOCATION MAP
NO SCALE

LIST OF DRAWINGS		
SHEET NO.	DRAWING NO.	DRAWING TITLE
<u>GENERAL</u>		
1	G0.01	TITLE SHEET, LOCATION MAP, AND DRAWING LIST
2	G0.02	PROJECT CONTACTS AND LEGEND
3	G0.03	EROSION CONTROL NOTES AND DETAILS
<u>DEMOLITION</u>		
4	CD1.01	DEMOLITION PLAN
<u>CIVIL/STRUCTURAL</u>		
5	CS1.01	SITE AND UTILITY PLAN
6	CS1.02	EROSION CONTROL, RESTORATION, AND GRADING PLAN
7	CS4.01	ENLARGED FOUNDATION PLAN AND DETAILS
8	CS5.01	DETAILS AND SCHEDULES - 1
9	CS5.02	DETAILS AND SCHEDULES - 2

Strand Associates, Inc.
910 West Wingra Drive
Madison, WI 53715
608-251-4843
www.strand.com

CONTRACT 5-2025

ISSUED FOR OWNER REVIEW, OCTOBER 21, 2025



PROJECT CONTACTS

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WE ENERGIES - ELECTRIC DIVISION

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(P) 262-806-9197

AT&T - FIBER/TELEPHONE



























MATTHEW VACHALIK
mv5616@att.com
(P) 262-707-6216

CHARTER SPECTRUM - CABLE TV/FIBER



















CODY THOMPSON
cody.thompson@charter.com

LEGEND

EXISTING

	EXISTING RIGHT OF WAY
	EXISTING PROPERTY LINE
	EXISTING GAS LINE
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING FIBER OPTIC LINE
	EXISTING FENCE
	CONTROL POINT
	EXISTING BENCHMARK
	SOIL BORING
	EXISTING DECIDUOUS/CONIFEROUS TREE
	EXISTING TREE STUMP
	EXISTING MANHOLE
	EXISTING INLET
	EXISTING CATCH BASIN
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING WATER MANHOLE
	EXISTING FIRE HYDRANT

PROPOSED

	PROPOSED GAS LINE
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	PROPOSED WATER MAIN W/ CASING
	PROPOSED STORM SEWER
	PROPOSED TELEPHONE LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	PROPOSED FIBER OPTIC LINE
	PROPOSED FENCE
	PROPOSED SILT FENCE
	PROPOSED SHEET PILING
	PROPOSED INLET PROTECTION
	PROPOSED END CAP
	PROPOSED WATER VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER MANHOLE
	PROPOSED INLET

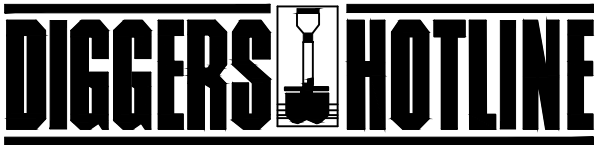
Item 6.

GENERAL
PROJECT CONTACTS AND LEGEND
FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER
WHITEWATER, WI

BENCHMARK TABLE				
BM NO.	DESCRIPTION	NORTHING	EASTING	ELEV.
BM 100	TOP OF NUT OF FIRE HYDRANT	426306.82	719273.48	826.82
BM 101	TOP OF NUT OF FIRE HYDANT	426298.63	718990.43	823.81
BM 102	TOP OF NUT OF FIRE HYDRANT	426619.23	718936.06	829.25

CONTROL AND BENCHMARK TABLE				
BM NO.	DESCRIPTION	NORTHING	EASTING	ELEV.
CP 5	MAG NAIL IN ASPHALT	426256.14	718909.07	819.25
CP 10	MAG NAIL IN ASPHALT	426681.58	718914.81	827.29

DIGGERS HOTLINE CONTACT

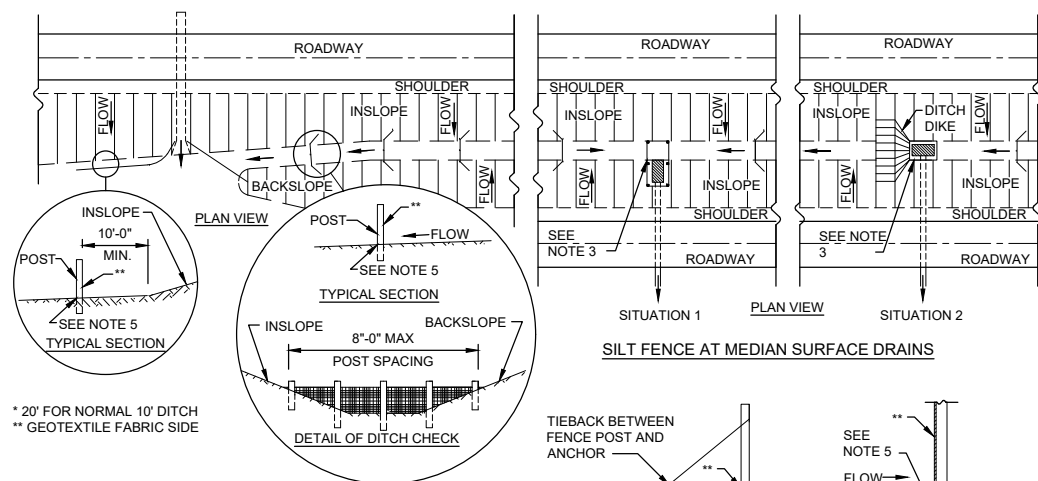


Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

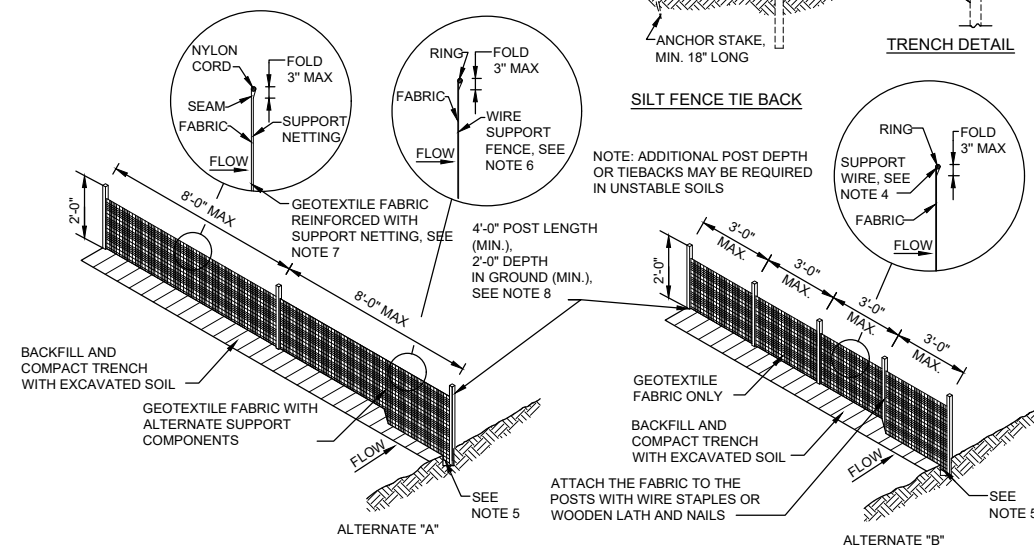
JOB NO.
1407.152
PROJECT MGR.
EJC



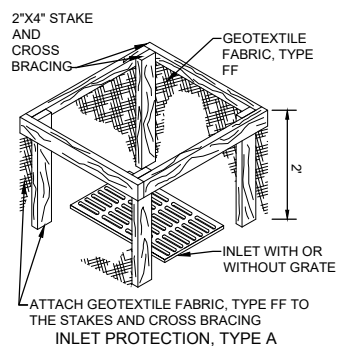
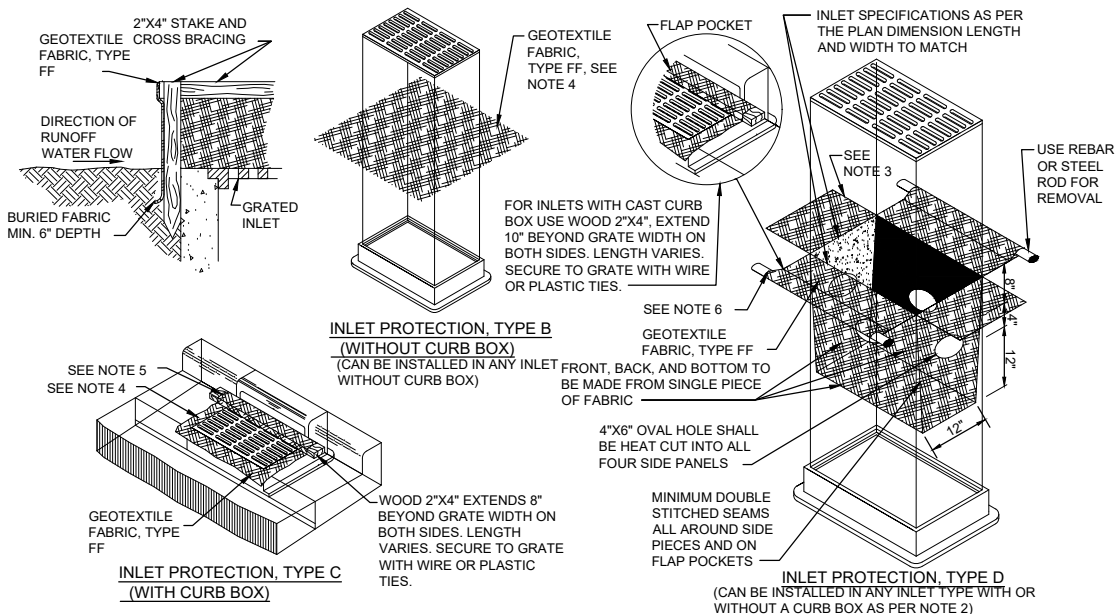
SHEET
2
134
G0.02

DATE:
10/21/2025REVISIONS
OWNER REVIEWNO.
AGENERAL
EROSION CONTROL NOTES AND DETAILS
FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER
WHITEWATER, WIJOB NO.
1407.152
PROJECT MGR.
EJCSA
STRAND
ASSOCIATES®SHEET
3
G0.03
135

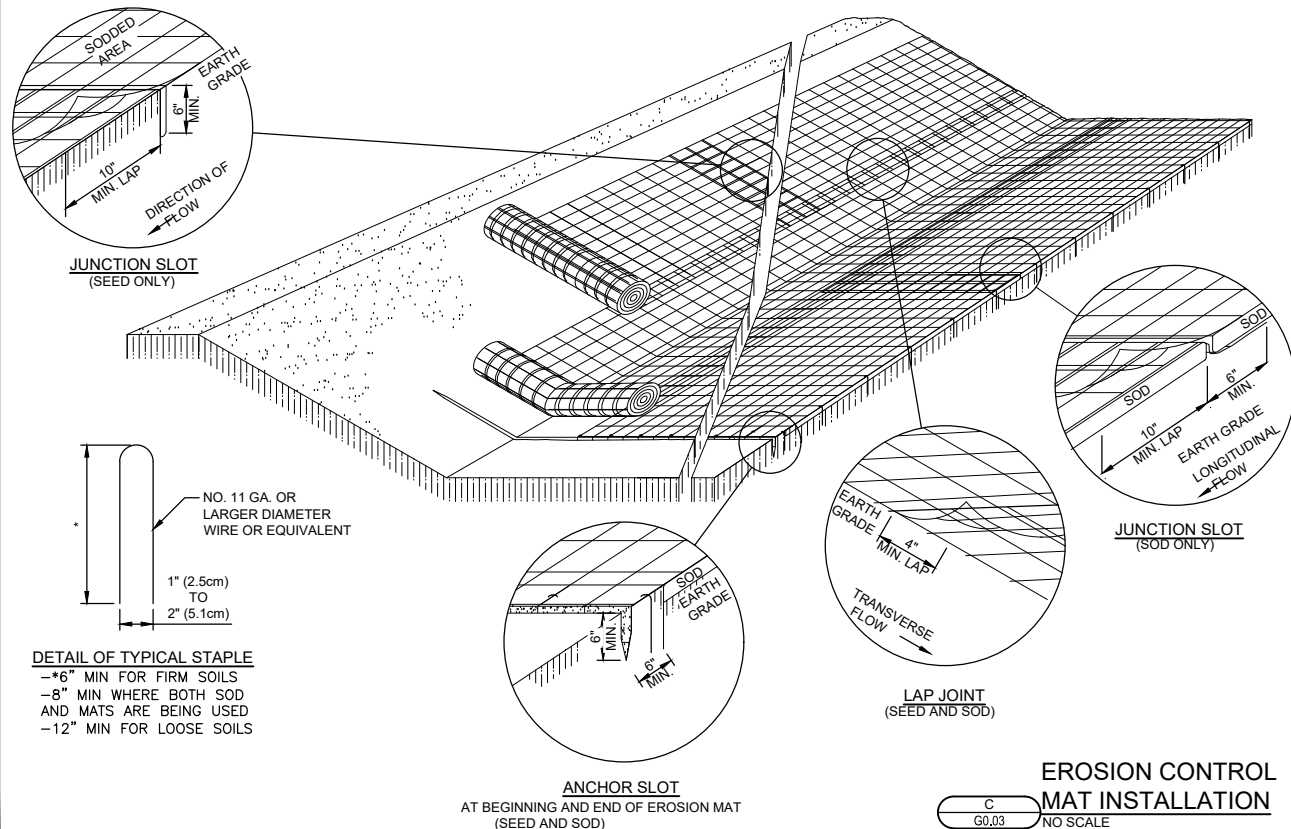
TYPICAL APPLICATIONS OF SILT FENCE



- NOTES:
1. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
 2. WHEN POSSIBLE THE SILT FENCE SHALL BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
 3. CROSS BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 4. MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
 5. EXCAVATE TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC; FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 6. WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C TO C.
 7. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 1/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
 8. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.2 LBS/LINEAR FOOT WITHOUT ANCHORS, OR ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIAMETER, OR 2 1/2"x3 1/2", EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1 1/8"x1 1/8" OAK OR HICKORY.
 9. ALTERNATES "A" AND "B" ARE EQUAL AND EITHER MAY BE USED.

A
G0.03
SILT FENCE
NO SCALEB
G0.03
INLET PROTECTION
TYPE A, B, C, AND D
NO SCALE

- NOTES:
1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET, ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.
 6. FOR TYPES B AND C, TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 7. FOR TYPE D, DO NOT INSTALL INLET PROTECTION TYPE D INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES, TO ACHIEVE THE 3" CLEARANCE.



EROSION MAT OVER SOD

1. ONLY JUTE FABRIC WILL BE PERMITTED OVER SOD.
2. FLOOD STAKES FOR SOD MAY BE OMITTED IF THE EXISTING SLOPE AND SOIL CONDITIONS SO PERMIT.
3. THE WIDTH OF EROSION MAT SHALL ALWAYS EQUAL THE SOD WIDTH.
4. SOD STRIPS MAY BE PLACED EITHER LONGITUDINALLY OR TRANSVERSELY TO THE FLOW LINE OF THE DITCH.

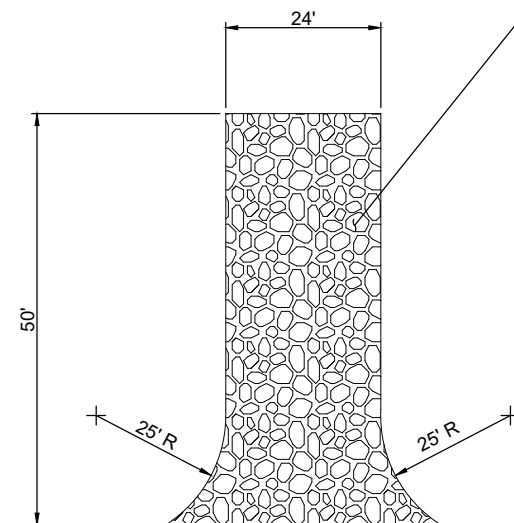
EROSION MAT OVER SEEDING

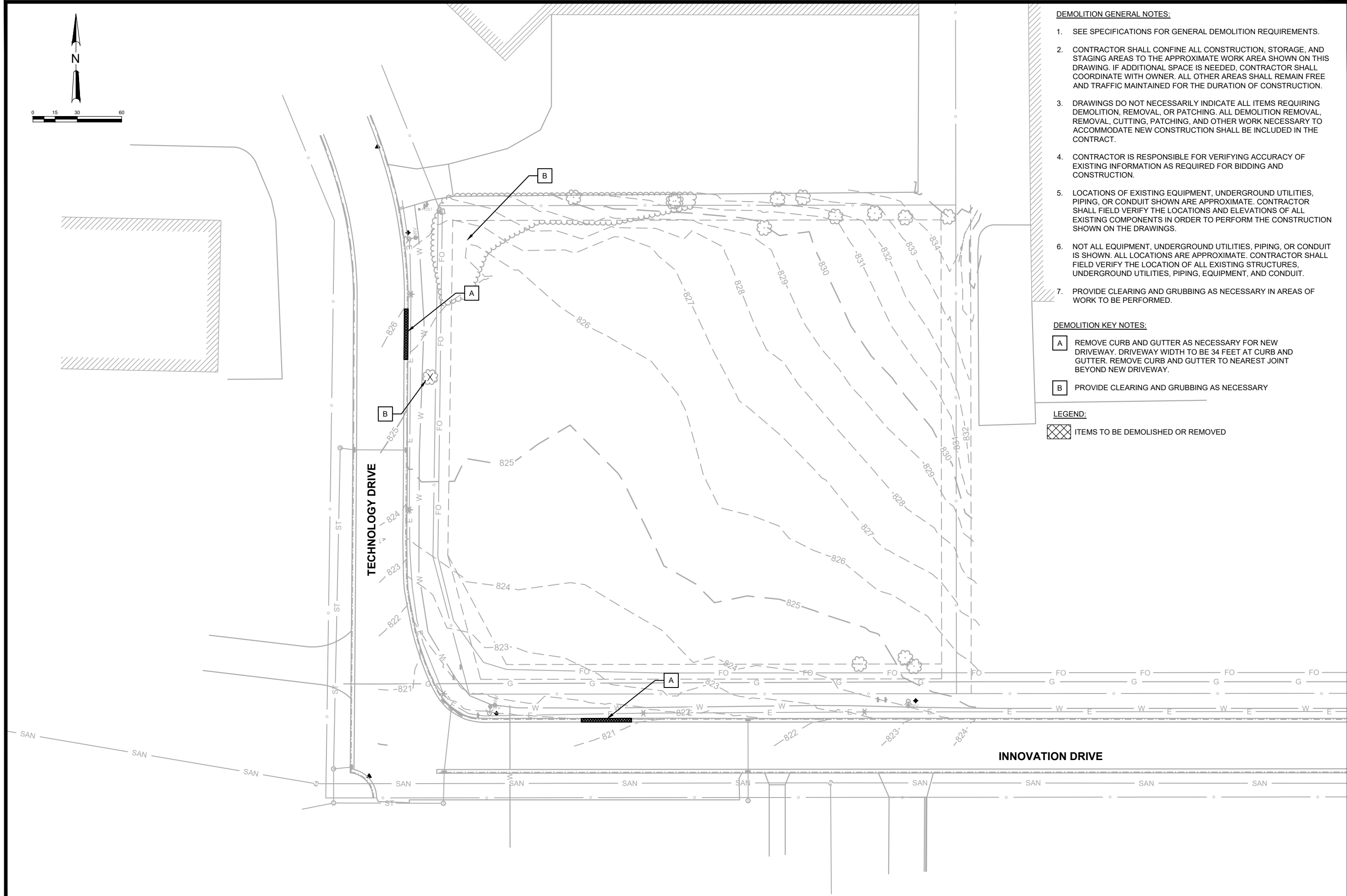
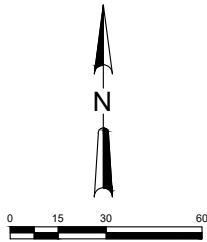
- JUNCTION OR ANCHOR SLOTS SHALL BE AT MINIMUM INTERVALS OF 100 FEET ON GRADES UP TO AND INCLUDING 3 PERCENT, AND 50 FEET ON GRADES EXCEEDING 3 PERCENT.

- NOTES:
1. DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
 2. VARIATIONS IN THE DIMENSIONS OR MATERIALS SHOWN HEREON SHALL BE PERMITTED IF THEY PROVIDE EQUIVALENT PROTECTION AND MATERIAL STRENGTH.
 3. LAP JOINTS SHALL NOT BE PLACED IN THE BOTTOM OF V-SHAPED DITCHES.
 4. JUNCTION SLOTS ON ADJACENT STRIPS OF MATTING SHALL BE STAGGERED A MINIMUM OF 4 FEET APART.
 5. EDGES OF THE EROSION MAT SHALL BE IMPRESSED IN THE SOIL.
 6. EROSION MAT SHALL BE MEASURED AND PAID FOR IN ACCORDANCE WITH THE SPECIFICATIONS.

D
G0.03
STONE TRACKING PAD FOR CONSTRUCTION ENTRANCE
NO SCALE

6" WISDOT GRADATION 2 COURSE AGGREGATE, UNDERLAIN WITH 6" WISDOT GRADATION 1 COURSE AGGREGATE, UNDERLAIN WITH GEOTEXTILE FABRIC.





- DEMOLITION GENERAL NOTES:**
1. SEE SPECIFICATIONS FOR GENERAL DEMOLITION REQUIREMENTS.
 2. CONTRACTOR SHALL CONFINE ALL CONSTRUCTION, STORAGE, AND STAGING AREAS TO THE APPROXIMATE WORK AREA SHOWN ON THIS DRAWING. IF ADDITIONAL SPACE IS NEEDED, CONTRACTOR SHALL COORDINATE WITH OWNER. ALL OTHER AREAS SHALL REMAIN FREE AND TRAFFIC MAINTAINED FOR THE DURATION OF CONSTRUCTION.
 3. DRAWINGS DO NOT NECESSARILY INDICATE ALL ITEMS REQUIRING DEMOLITION, REMOVAL, OR PATCHING. ALL DEMOLITION REMOVAL, REMOVAL, CUTTING, PATCHING, AND OTHER WORK NECESSARY TO ACCOMMODATE NEW CONSTRUCTION SHALL BE INCLUDED IN THE CONTRACT.
 4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF EXISTING INFORMATION AS REQUIRED FOR BIDDING AND CONSTRUCTION.
 5. LOCATIONS OF EXISTING EQUIPMENT, UNDERGROUND UTILITIES, PIPING, OR CONDUIT SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF ALL EXISTING COMPONENTS IN ORDER TO PERFORM THE CONSTRUCTION SHOWN ON THE DRAWINGS.
 6. NOT ALL EQUIPMENT, UNDERGROUND UTILITIES, PIPING, OR CONDUIT IS SHOWN. ALL LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, PIPING, EQUIPMENT, AND CONDUIT.
 7. PROVIDE CLEARING AND GRUBBING AS NECESSARY IN AREAS OF WORK TO BE PERFORMED.

- DEMOLITION KEY NOTES:**
- A** REMOVE CURB AND GUTTER AS NECESSARY FOR NEW DRIVEWAY. DRIVEWAY WIDTH TO BE 34 FEET AT CURB AND GUTTER. REMOVE CURB AND GUTTER TO NEAREST JOINT BEYOND NEW DRIVEWAY.
- B** PROVIDE CLEARING AND GRUBBING AS NECESSARY

LEGEND:

ITEMS TO BE DEMOLISHED OR REMOVED

Item 6.

DATE:	10/21/2025								
NO.	A								
REVISIONS	OWNER REVIEW								

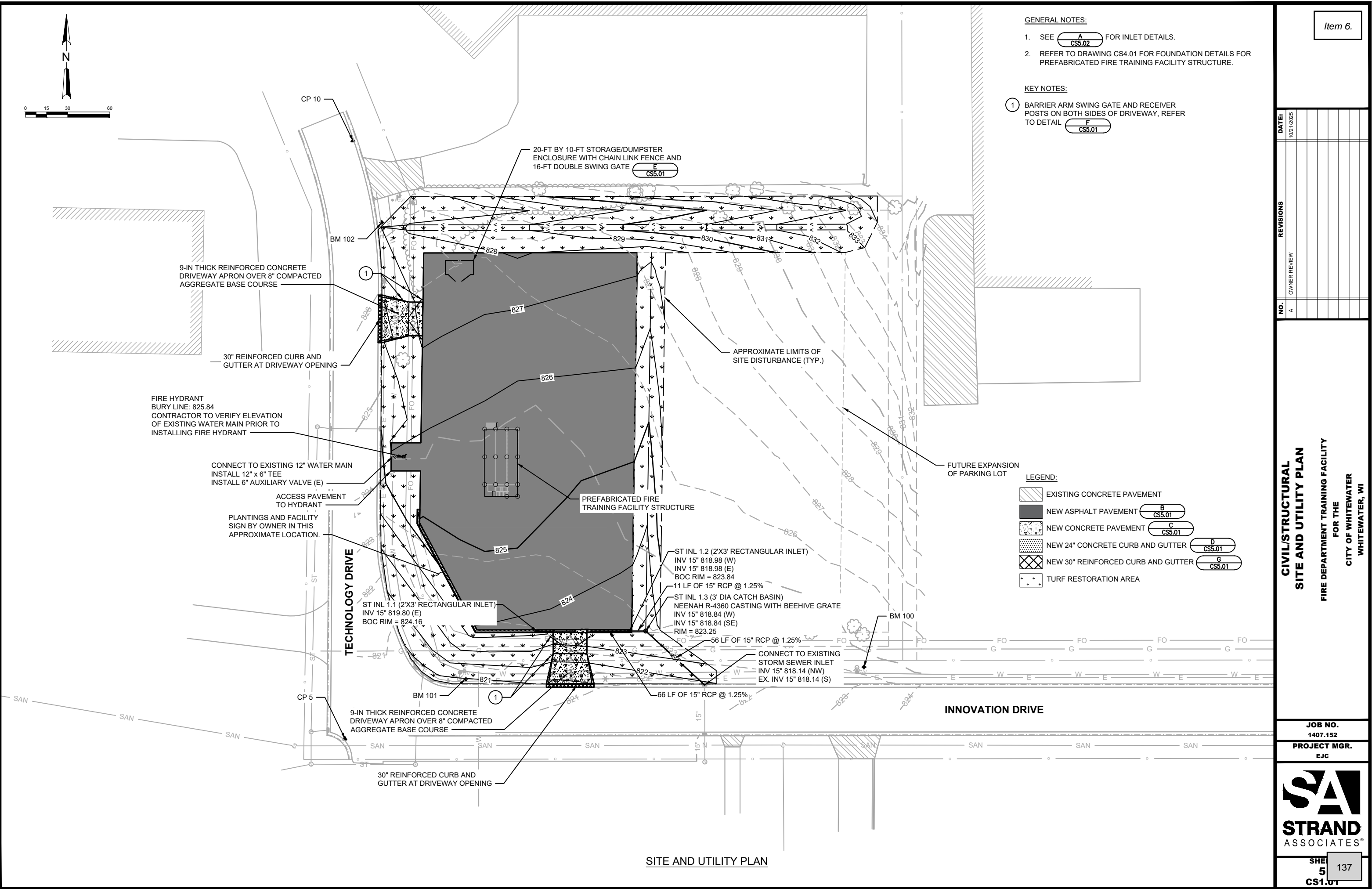
DEMOLITION PLAN
FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER
WHITEWATER, WI

JOB NO.
1407.152
PROJECT MGR.
EJC

STRAND
ASSOCIATES®

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CD1.01

136



Item 6.

CIVIL/STRUCTURAL
SITE AND UTILITY PLAN
FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER
WHITEWATER, WI

JOB NO.
1407.152
PROJECT MGR.
EJC



SHEET
5
CS1.01

137

GENERAL NOTES:

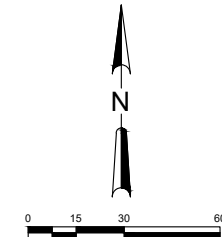
1. SEE **A** **CS5.02** FOR INLET DETAILS.
2. REFER TO DRAWING CS4.01 FOR FOUNDATION DETAILS FOR PREFABRICATED FIRE TRAINING FACILITY STRUCTURE.

KEY NOTES:

1. BARRIER ARM SWING GATE AND RECEIVER POSTS ON BOTH SIDES OF DRIVEWAY, REFER TO DETAIL **F** **CS5.01**

LEGEND:

- EXISTING CONCRETE PAVEMENT
- NEW ASPHALT PAVEMENT **B** **CS5.01**
- NEW CONCRETE PAVEMENT **C** **CS5.01**
- NEW 24" CONCRETE CURB AND GUTTER **D** **CS5.01**
- NEW 30" REINFORCED CURB AND GUTTER **G** **CS5.01**
- TURF RESTORATION AREA



SITE AND UTILITY PLAN

[illegible]

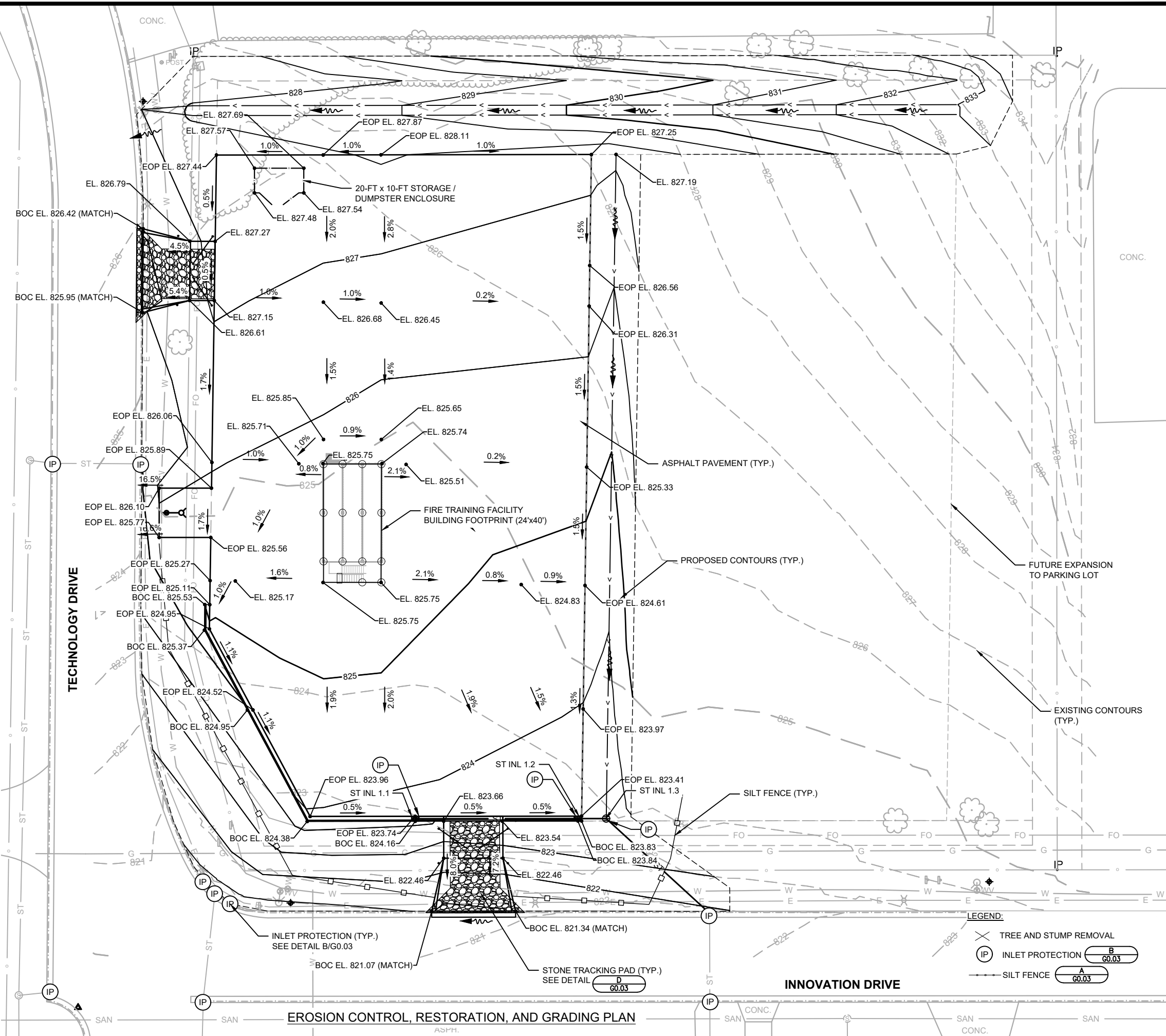
**CIVIL/STRUCTURAL
EROSION CONTROL, RESTORATION, AND GRADING PLAN**

**FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER
WHITEWATER, WI**

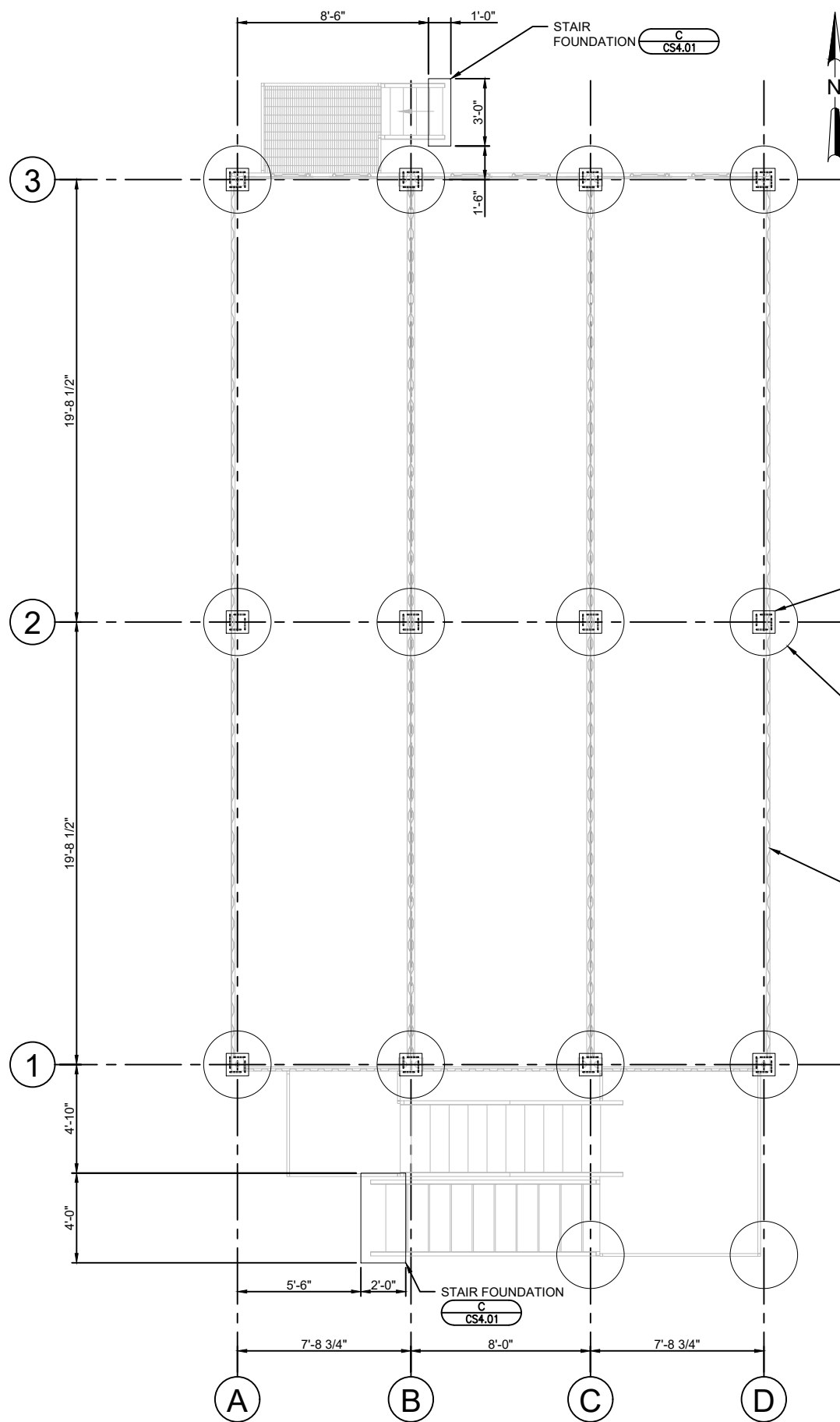
JOB NO.
1407.152
PROJECT MGR.
EJC



SHE 138
6
CS1.02



- GENERAL NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES AND CITY OF WHITEWATER STORMWATER AND EROSION CONTROL REQUIREMENTS.
 2. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION.
 3. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
 4. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS , OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE AREA MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING, AND/OR MULCHING.
 5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
 6. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.
 7. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH, OR A TRACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.



FOUNDATION PLAN
NO SCALE

BASE PLATE ANCHORAGE ASSEMBLY (PROVIDED BY PREFABRICATED STRUCTURE SUPPLIER, INSTALLED BY CONTRACTOR). INSTALL PER PREFABRICATED STRUCTURE SUPPLIER INSTRUCTIONS.

5" ASPHALT PAVEMENT

T/CAISSON
EL. 825.75

PREFABRICATED STRUCTURE WELDED TO BASE PLATE ANCHORAGE ASSEMBLY. INSTALLATION BY OTHERS.

T/PAVEMENT
EL. 825.75

12" DENSE GRADED BASE

SUBGRADE

T/ROCK
EL. 823.00 +/-

1'-3" EMBEDMENT

(12) #6 VERTICAL BARS, SPACED EVENLY AROUND PERIMETER OF PIER.

3'-0" DIA. CONCRETE CAISSON

#4@12" STIRRUPS (TYP.)

4'-0" MIN.

CONCRETE CAISSON DETAIL
NO SCALE

BASE PLATE ANCHORAGE ASSEMBLY (TYP. OF 12).

CONCRETE CAISSON FOUNDATION (TYP. OF 14).

PREFABRICATED STRUCTURE OUTLINE, PROVIDED AND INSTALLED BY OTHERS.

PREFABRICATED STRUCTURE STAIR STRINGER, MOUNTED TO STAIR FOUNDATION. INSTALLATION BY OTHERS.

5" ASPHALT PAVEMENT

T/FOUNDATION
EL. 825.75

T/PAVEMENT
EL. 825.75

12" DENSE GRADED BASE

SUBGRADE

T/ROCK
EL. 823.00 +/-

1'-3" EMBEDMENT

#4@12" (TYP.)

4'-0" MIN.

WIDTH, SEE PLAN

1'-0"x1'-0"x1/2" PLATE

REBAR LEGS WELDED TO PLATE (TYP.)

SECTION

PLAN

NOTES:

1. BASE PLATE ANCHORAGE ASSEMBLY TO BE PROVIDED BY PREFABRICATED BUILDING SUPPLIER. CONFIRM FINAL DIMENSIONS AND SIZES WITH SUPPLIER.

2. PLATES TO BE SET 1/8" ABOVE TOP OF CONCRETE. CONTRACTOR TO CONFIRM WITH PREFABRICATED BUILDING SUPPLIER.

BASE PLATE ANCHORAGE ASSEMBLY
NO SCALE

STAIR FOUNDATION
NO SCALE

GENERAL NOTES:

1. ROCK REMOVAL FOR STAIR FOUNDATIONS SHALL BE PAID BY THE CUBIC YARD UNDER BID ITEM ROCK EXCAVATION FOR STRUCTURES AND ROADS.
2. ROCK REMOVAL FOR CONCRETE CAISSONS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR FIRE TRAINING FACILITY CONCRETE CAISSON FOUNDATIONS.
3. FINAL LOCATION OF FOUNDATIONS FOR PREFABRICATED STRUCTURE AND STAIRS SHALL BE CONFIRMED BY SUPPLIER PRIOR TO CONSTRUCTION.

Item 6.

CIVIL/STRUCTURAL
ENLARGED FOUNDATION PLAN AND DETAILS

FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER,
WHITEWATER, WI

JOB NO.

1407.152

PROJECT MGR.

EJC

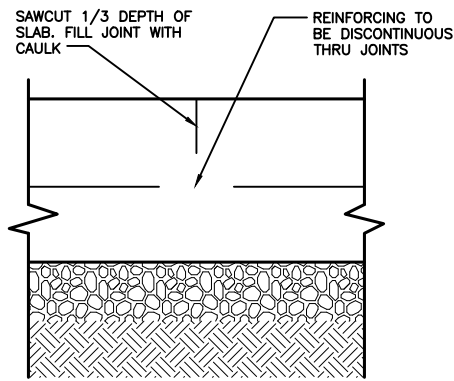
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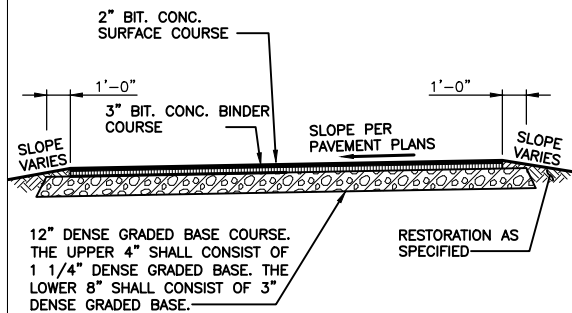
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139

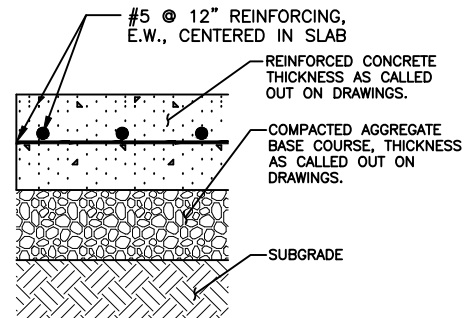
CS4.01



A SLAB ON GRADE CONTROL JOINT
CS5.01 NO SCALE

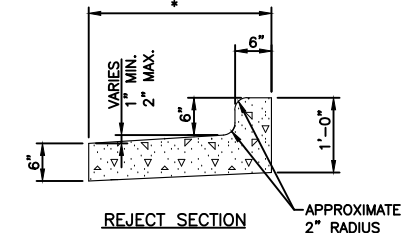
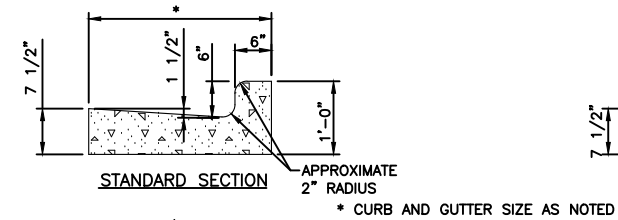


B ASPHALT PAVEMENT SECTION
CS5.01 NO SCALE

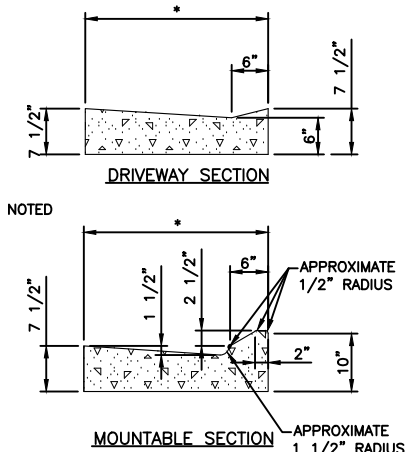


NOTES:
PROVIDE CONTROL JOINTS AT APPROXIMATELY 10 FT. ON CENTER PER

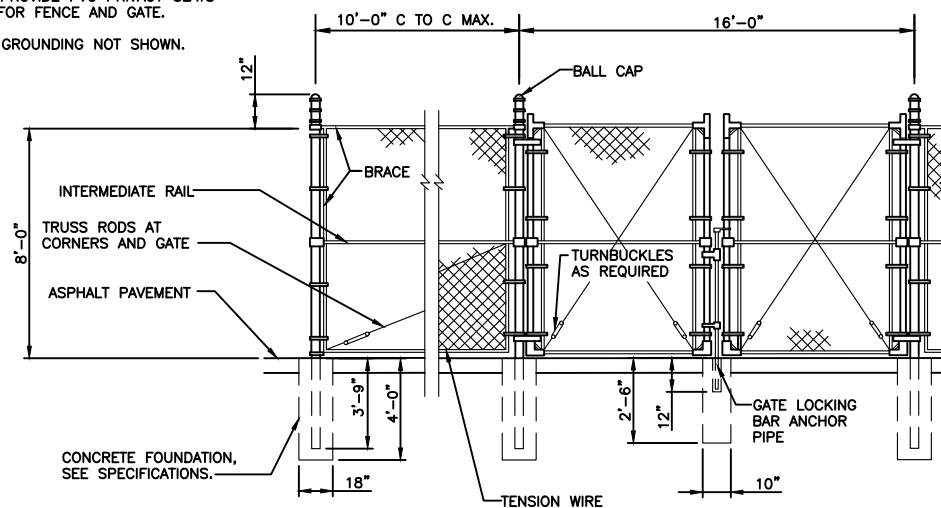
C CONCRETE APRON PAVEMENT
CS5.01 NO SCALE



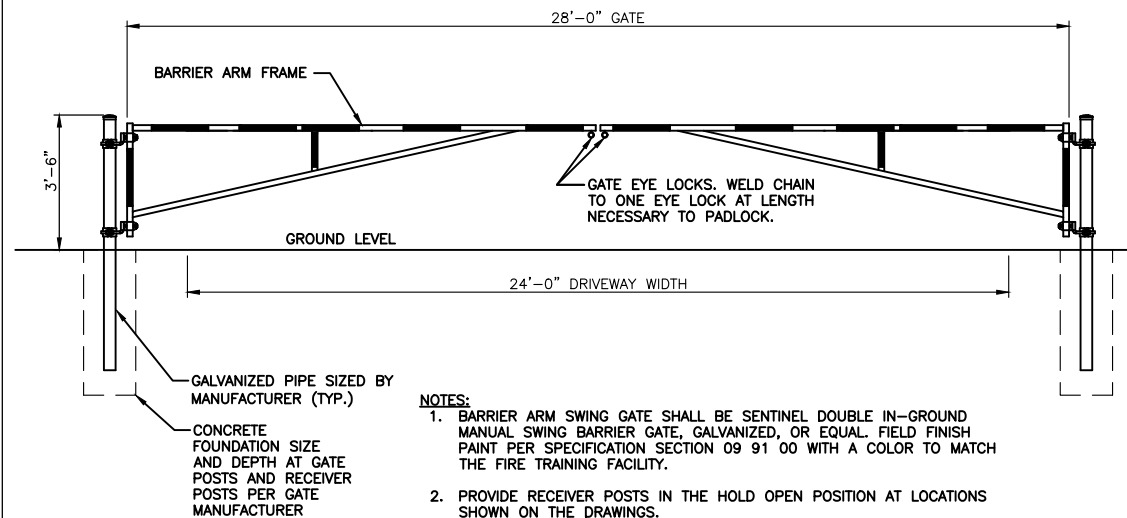
D CONCRETE CURB AND GUTTER
CS5.01 NO SCALE



NOTES:
1. PROVIDE PVC PRIVACY SLATS FOR FENCE AND GATE.
2. GROUNDING NOT SHOWN.

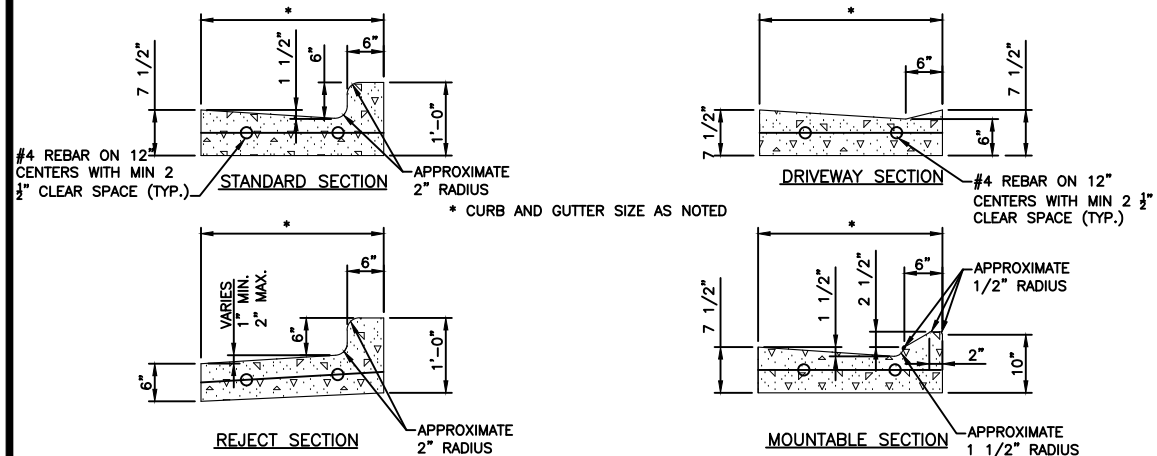


E CHAIN LINK FENCE AND SWING GATE
CS5.01 NO SCALE



NOTES:
1. BARRIER ARM SWING GATE SHALL BE SENTINEL DOUBLE IN-GROUND MANUAL SWING BARRIER GATE, GALVANIZED, OR EQUAL. FIELD FINISH PAINT PER SPECIFICATION SECTION 09 91 00 WITH A COLOR TO MATCH THE FIRE TRAINING FACILITY.
2. PROVIDE RECEIVER POSTS IN THE HOLD OPEN POSITION AT LOCATIONS SHOWN ON THE DRAWINGS.

F BARRIER ARM GATE
CS5.01 NO SCALE



G REINFORCED CONCRETE CURB AND GUTTER
CS5.01 NO SCALE

CIVIL/STRUCTURAL DETAILS AND SCHEDULES - 2

FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER
WHITEWATER, WI

JOB NO.

1407.152

PROJECT MGR.

EJC

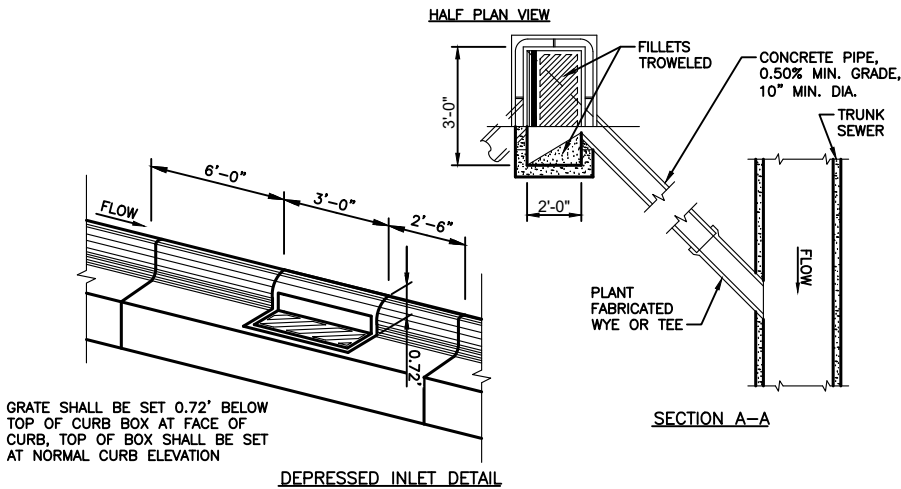
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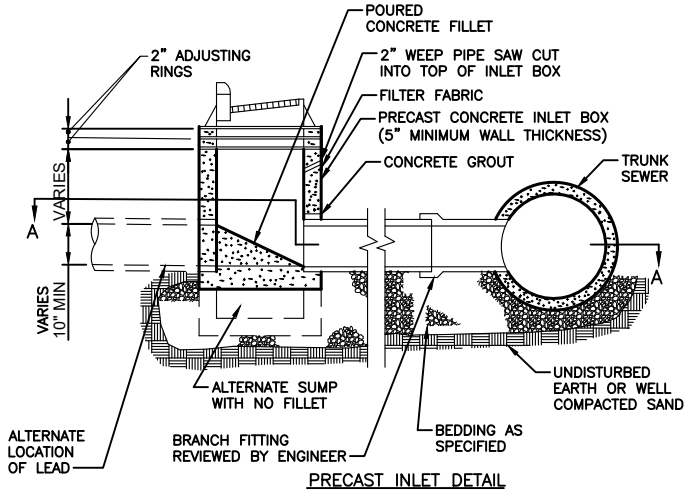
8

CS5.01

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- NOTES:**
1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
 2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK OR REINFORCED CONCRETE CULVERT PIPE, THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.
 4. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CONE WHEN SHOWN ON THE DRAWINGS AND SHALL BE DESIGNED FOR H-20 TRUCK LOADING.
 5. PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS SHALL CONFORM TO ASTM C-478. JOINTS BETWEEN MANHOLE SECTIONS SHALL BE SEALED WITH MORTAR, AND HANDLING HOLES SHALL BE FILLED WITH MORTAR, AND BOTH MADE WATER TIGHT.
 6. STEPS SHALL BE INSTALLED IN ALL MANHOLES.
 7. AT ALL BENDS IN SEWER, A SMOOTH RADIUS FLOW LINE SHALL BE PROVIDED IN MANHOLES. ALL CONCRETE FILLETS SHALL BE HAND troweled.
 8. INSIDE DIMENSIONS FOR MANHOLES: USE MINIMUM 4' DIAMETER FOR SEWER LESS THAN 18" IN DIAMETER; USE MINIMUM 5' DIAMETER FOR SEWER 18" THRU 24" IN DIAMETER; USE MINIMUM 6' DIAMETER OR MINIMUM 6' SQUARE FOR SEWER OVER 24" IN DIAMETER, UNLESS OTHERWISE SPECIFIED.
 9. ARRANGEMENT AND NUMBER OF INLETS AND DISCHARGE PIPES SHALL CONFORM TO THE NEEDS OF THE PERTINENT LOCATION.
 10. PROVIDE MINIMUM 2'-0" COVER FOR ALL INLET LEAD PIPE, UNLESS OTHERWISE SPECIFIED.
 11. ALL INLETS SHALL BE DEPRESSED AS SHOWN.
 12. INLET DEPTH AND GRADE OF INLET LEAD PIPE VARY ACCORDING TO DEPTH OF TRUNK SEWER. MINIMUM INLET DEPTH BELOW TOP OF CURB SHALL BE 4'-0".



A
CS5.02

STORM SEWER INLETS
NO SCALE

Item 6.

CIVIL/STRUCTURAL
DETAILS AND SCHEDULES - 2
FIRE DEPARTMENT TRAINING FACILITY
FOR THE
CITY OF WHITEWATER
WHITEWATER, WI

JOB NO.
1407.152
PROJECT MGR.
EJC

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9
CS5.01

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THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY(FINAL)
WHITEWATER F.D. - WHITEWATER, WI.



CONCEPTUAL VIEWS

UNIT SPECIFICATIONS

- 6 - 40' H.C. CONTAINERS
- 3 - 20' H.C. CONTAINERS
- 3 - ROOFTOP PLAYFORMS
- 1 - DUAL PITCH ATTIC SIM.
- 2 - CHOP-OUTS
- 1 - 4-LEVEL EXT. STAIRCASE
- 1 - 3-LEVEL INT. STAIRCASE
- 1 - 4-DOOR STANDRAD DOOR
- 1 - BASEMENT BAIL-OUT PROP
- 1 - REBAR WINDOW
- 1 - DENVER DRILL WINDOW PROP
- 1 - 3LVL STANDPIPE
- 4 - WALK THROUGH
- 2 - 14'X8' BURN ROOMS
- 3 - 8'X4' BURN APRON
- 24 - FLOOR DRAINS
- 3 - BURN DOORS
- 2 - VENTS
- 2 - BURN WINDOWS
- 2 - BURN CARTS
- 1 - 4-ZONE RTD SYSTEM
- 1 - 4-LEVEL INT. STAIRCASE
- 6 - 36X36 WINDOWS
- 10 - 36X80 DOORS
- 2 - SWING-AWAY BREACH WALLS
- 1 - DUAL PITCH ROOF
- 2 - CHOP-OUTS W/PIKE POLE CHOPS
- 1 - RECESSED BALCONY
- 1 - BULKHEAD DECK ACCESS
- 1 - RAPPEL ANCHOR
- TRAINING AREA = 4160 SQ.FT.



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TRAINING SYSTEMS.

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AMERICAN FIRE TRAINING SYSTEMS, INC.
12315 SOUTH NEW AVE., POB #39
LEMONT, ILLINOIS 60439
(630) 257-0112

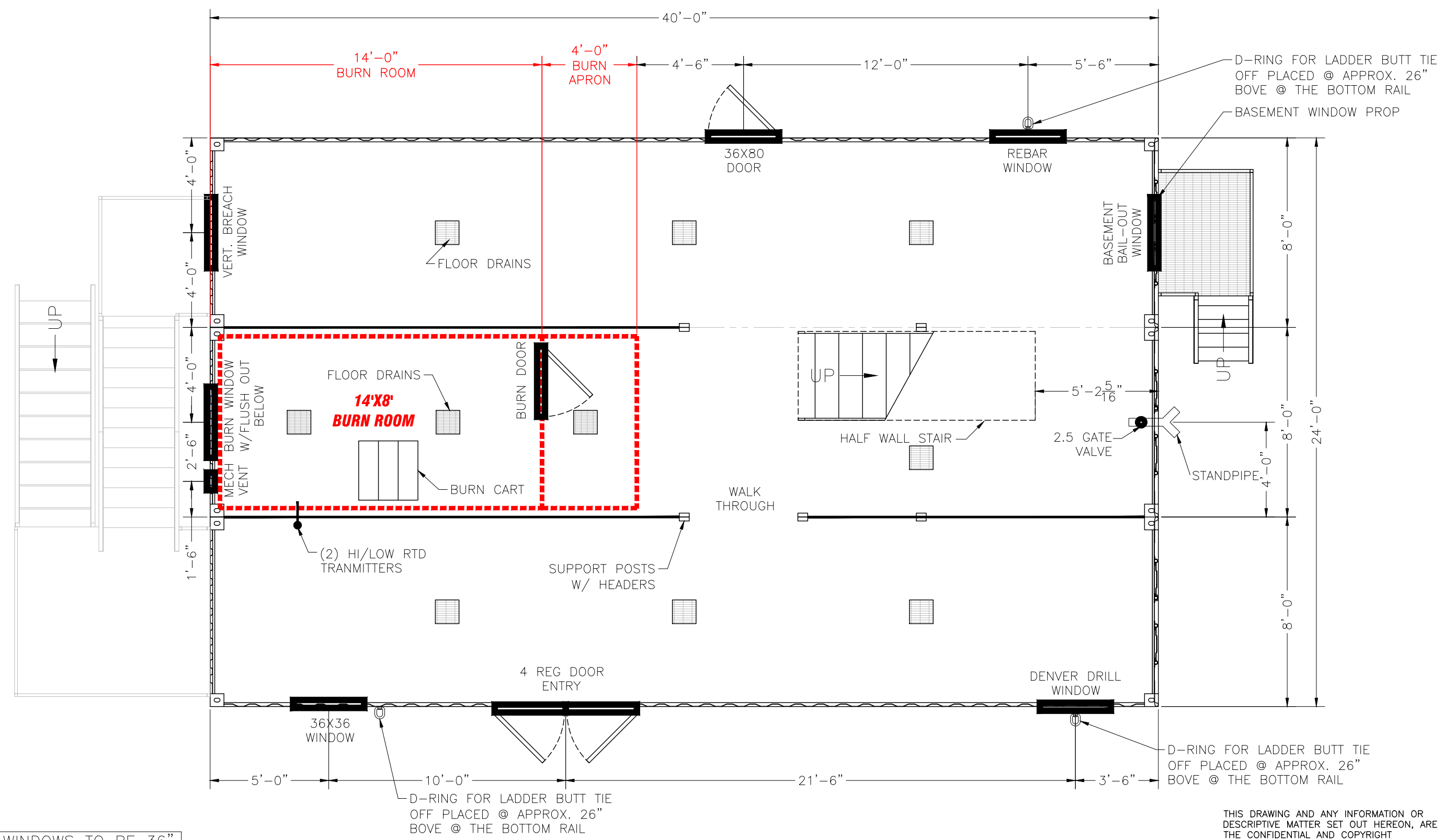


THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY
WHITEWATER F.D. - WHITEWATER, WI.

DRAWN BY: JTB
REV: —
DATE: 07-14-25
SCALE: —
P NO. J0081
DWG NO.

A00

142



FIRST FLOOR PLAN

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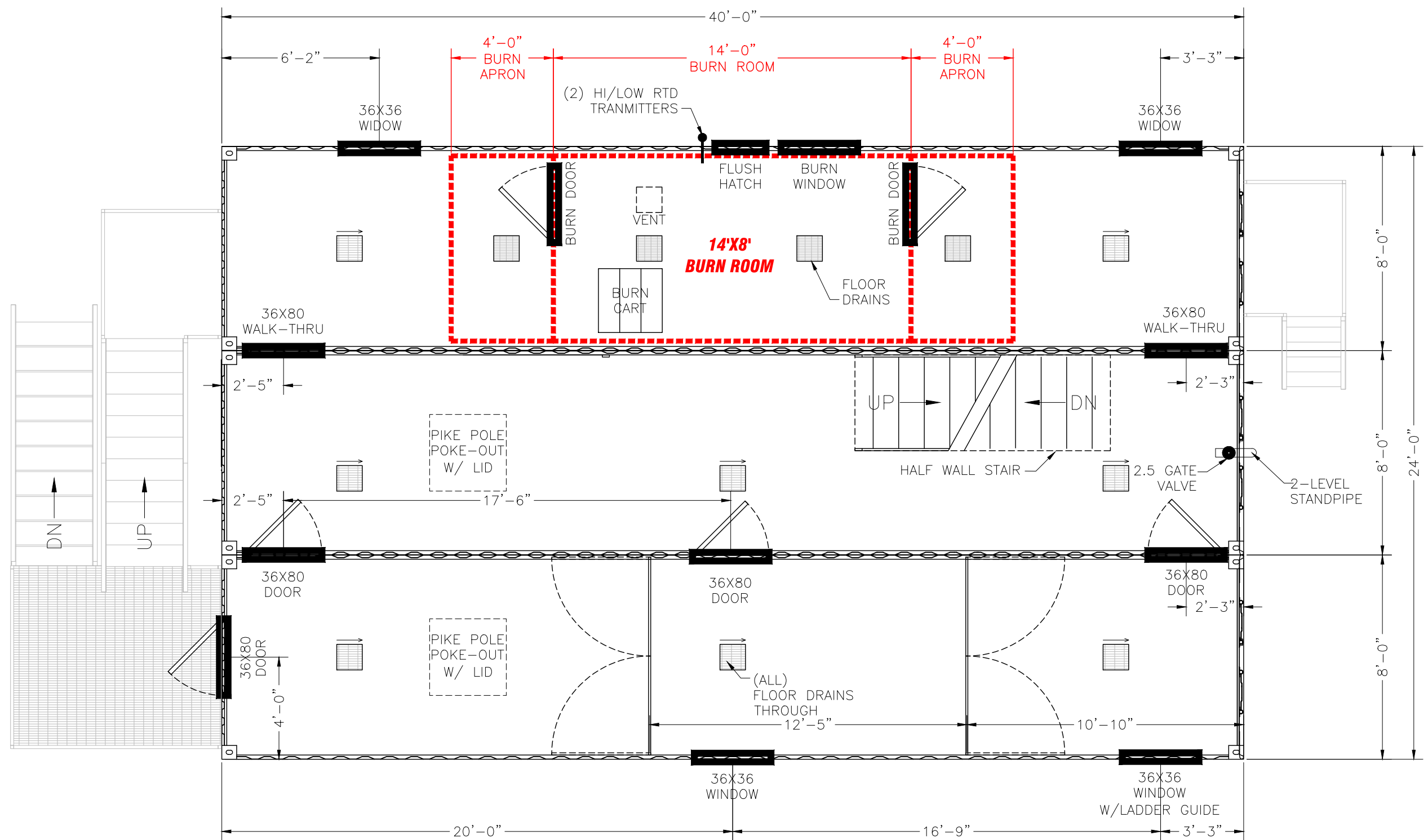
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THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY
WHITEWATER F.D. - WHITEWATER, WI.

DRAWN BY: JTB
REV: -
DATE: 07-14-25
SCALE: -
P NO. J0081
DWG NO.

A01



ALL WINDOWS TO BE 36" FROM FLOOR

SECOND FLOOR PLAN

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THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY
WHITEWATER F.D. - WHITEWATER, WI.

DRAWN BY: JTB

REV: -

DATE: 07-14-25

SCALE: -

P NO. J0081

DWG NO.

A02

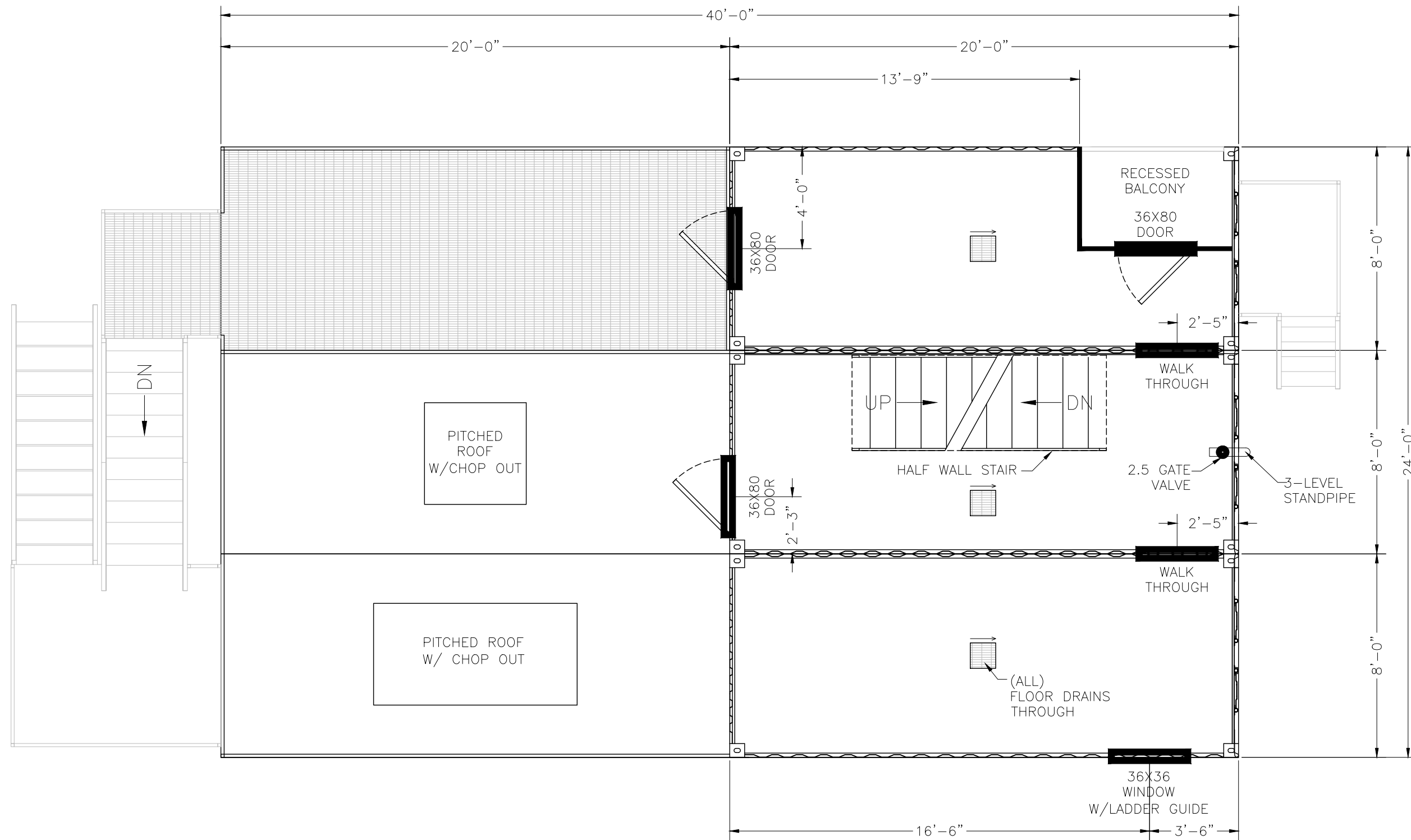
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THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY
WHITEWATER F.D. - WHITEWATER, WI.

DRAWN BY: JTB
REV: -
DATE: 07-14-25
SCALE: -
P NO. J0081
DWG NO.

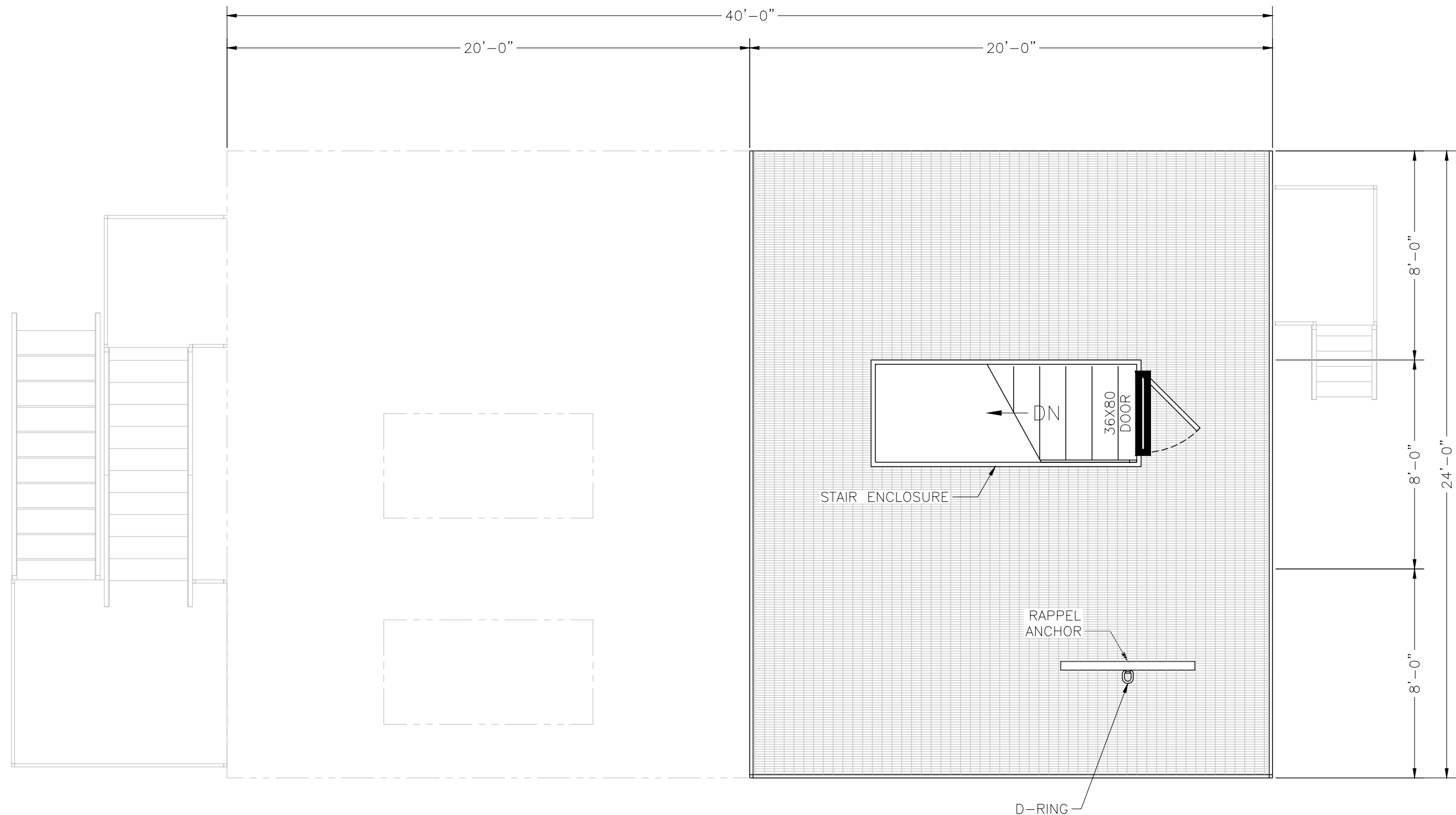
A03



ALL WINDOWS TO BE 36"
FROM FLOOR

THIRD FLOOR PLAN

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FOURTH FLOOR PLAN

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WHITEWATER F.D. - WHITEWATER, WI.**

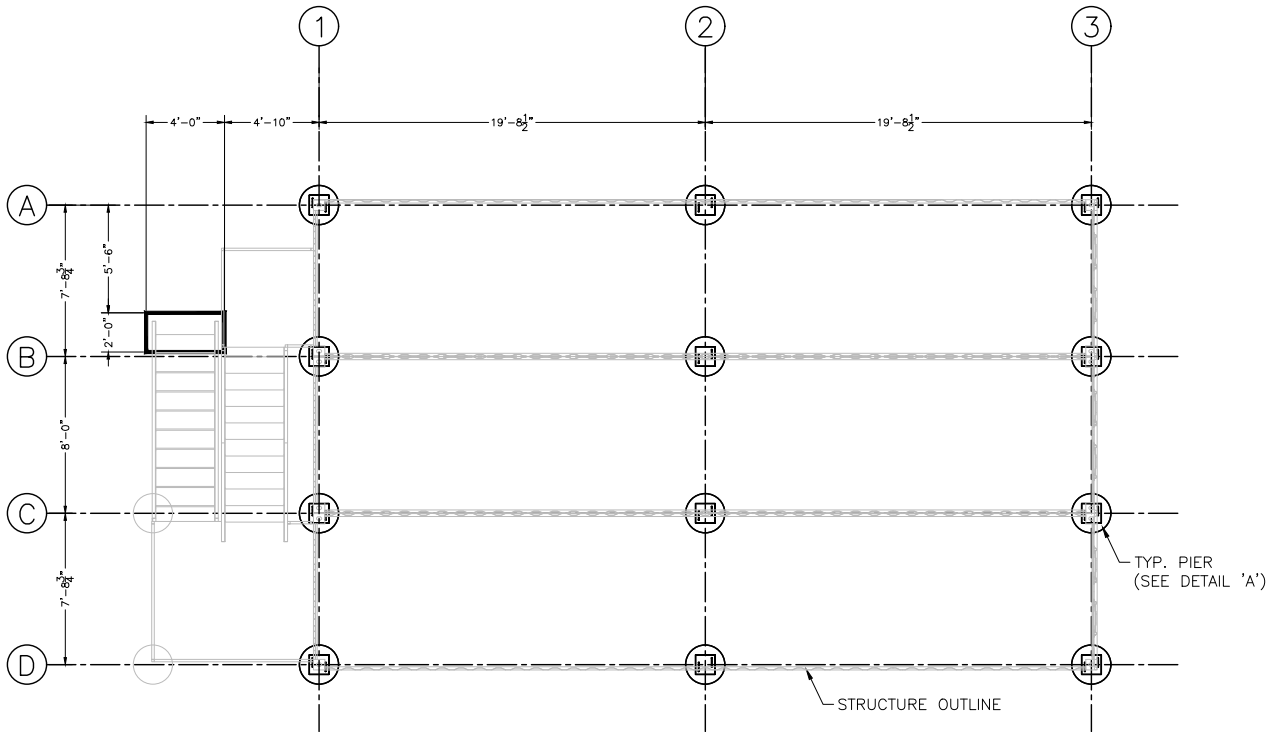
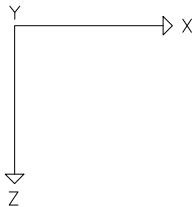
DRAWN BY: JTB
REV: —
DATE: 07-14-25
SCALE: —
P NO. J0081
DWG NO.

A03

FDN. MARK	DEAD LOAD			LIVE LOAD			WIND LOAD			SNOW LOAD			EARTHQUAKE		
	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)	Fx(kip)	Fy(kip)	Fz(kip)
A7	0.00	5.99	0.00	0.00	1.34	0.00	-0.79	-3.72	-0.93	0.00	0.70	0.00	-0.98	-3.13	-1.17
A8	0.00	7.16	0.00	0.00	17.81	0.00	0.43	-3.51	-0.96	0.00	0.81	0.00	0.01	-1.59	-0.99
B1	0.00	6.28	0.00	0.00	20.71	0.00	-1.31	-5.76	-1.07	0.00	1.14	0.00	-1.70	-4.70	-1.42
B3	0.00	10.21	0.00	0.00	33.52	0.00	-0.01	-8.14	-0.95	0.00	1.75	0.00	-1.63	-4.06	-1.22
B5	0.00	12.28	0.00	0.00	36.52	0.00	0.42	-7.64	-0.25	0.00	1.86	0.00	-1.27	-2.04	-1.25
C1	0.00	8.83	0.00	0.00	33.94	0.00	-1.77	-8.46	-0.05	0.00	2.00	0.00	-1.60	-3.96	-1.25
C3	0.00	13.77	0.00	0.00	54.29	0.00	0.02	-11.91	-0.01	0.00	2.92	0.00	-2.17	-2.61	-1.69
C5	0.00	12.33	0.00	0.00	42.11	0.00	0.99	-8.32	0.06	0.00	2.28	0.00	-1.38	-0.66	-1.33
D7	0.00	3.82	0.00	0.00	13.24	0.00	0.20	-2.61	+0.04	0.00	0.76	0.00	-0.65	-0.04	-1.19
D8	0.00	8.99	0.00	0.00	27.16	0.00	-0.15	-5.07	+0.26	0.00	1.60	0.00	-0.34	1.22	-1.87
E1	0.00	8.92	0.00	0.00	35.95	0.00	+1.81	-8.48	0.17	0.00	2.23	0.00	-1.47	-2.93	-1.41
E3	0.00	13.78	0.00	0.00	56.78	0.00	0.06	-12.06	0.20	0.00	3.39	0.00	-2.46	-1.46	-1.79
E5	0.00	12.37	0.00	0.00	43.98	0.00	0.96	-8.55	-0.19	0.00	2.64	0.00	-1.46	0.57	-1.42
F1	0.00	8.69	0.00	0.00	36.43	0.00	-1.36	-7.43	0.13	0.00	2.14	0.00	-1.30	-1.95	-1.31
F3	0.00	13.23	0.00	0.00	55.39	0.00	-0.28	-10.81	0.32	0.00	3.10	0.00	-2.03	-0.35	-1.70
F5	0.00	13.08	0.00	0.00	47.83	0.00	0.83	-8.92	0.28	0.00	2.97	0.00	-1.42	1.70	-1.61
G1	0.00	5.85	0.00	0.00	25.58	0.00	-1.28	-5.62	0.95	0.00	2.12	0.00	-0.69	0.00	-0.49
G3	0.00	9.14	0.00	0.00	47.34	0.00	-0.04	-7.34	1.00	0.00	5.13	0.00	-1.32	1.63	-1.00
G6	0.00	8.80	0.00	0.00	32.48	0.00	0.13	-5.82	0.90	0.00	2.71	0.00	-0.68	3.06	-1.15
G8	0.00	7.30	0.00	0.00	24.11	0.00	0.74	-4.30	0.98	0.00	1.90	0.00	-0.96	3.87	-1.64
H2	0.00	4.48	0.00	0.00	22.52	0.00	0.04	-3.84	-0.22	0.00	2.22	0.00	-1.28	0.16	-0.41
H4	0.00	4.66	0.00	0.00	22.38	0.00	0.33	-3.21	-0.21	0.00	2.31	0.00	-1.17	0.76	-0.39
I2	0.00	0.82	0.00	0.00	10.40	0.00	0.01	0.08	0.00	0.00	2.23	0.00	-0.06	-0.08	-0.01
I4	0.00	0.82	0.00	0.00	10.61	0.00	-0.01	0.22	0.00	0.00	2.28	0.00	-0.05	-0.04	-0.04

CLAYTON, MO FIRE DEPARTMENT TRAINING FACILITY UNFACTORED FOUNDATION LOAD CASES

NORTH = -X UPLIFT = -Y
SOUTH = +X
EAST = +Z
WEST = -Z

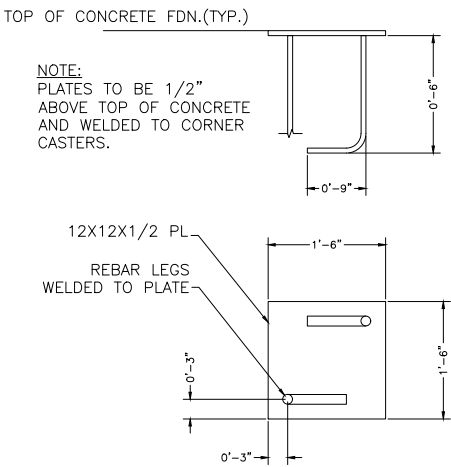


STEEL INSERT PLATE LAYOUT

TOP OF INSERT PLATE IS AT LOCAL ELEVATION 0.00'

STEEL INSERT PLATE LAYOUT ONLY. NO FOUNDATION DESIGN IS PROVIDED OR RECOMMENDED IN THIS LAYOUT, OR THE PROPOSAL PLAN SET.

RECOMMENDED PIER DESIGN ONLY. LOCAL SOIL AND CODE REQUIREMENTS MAY REQUIRE CHANGE IN DESIGN. SEE LOCAL CODE.

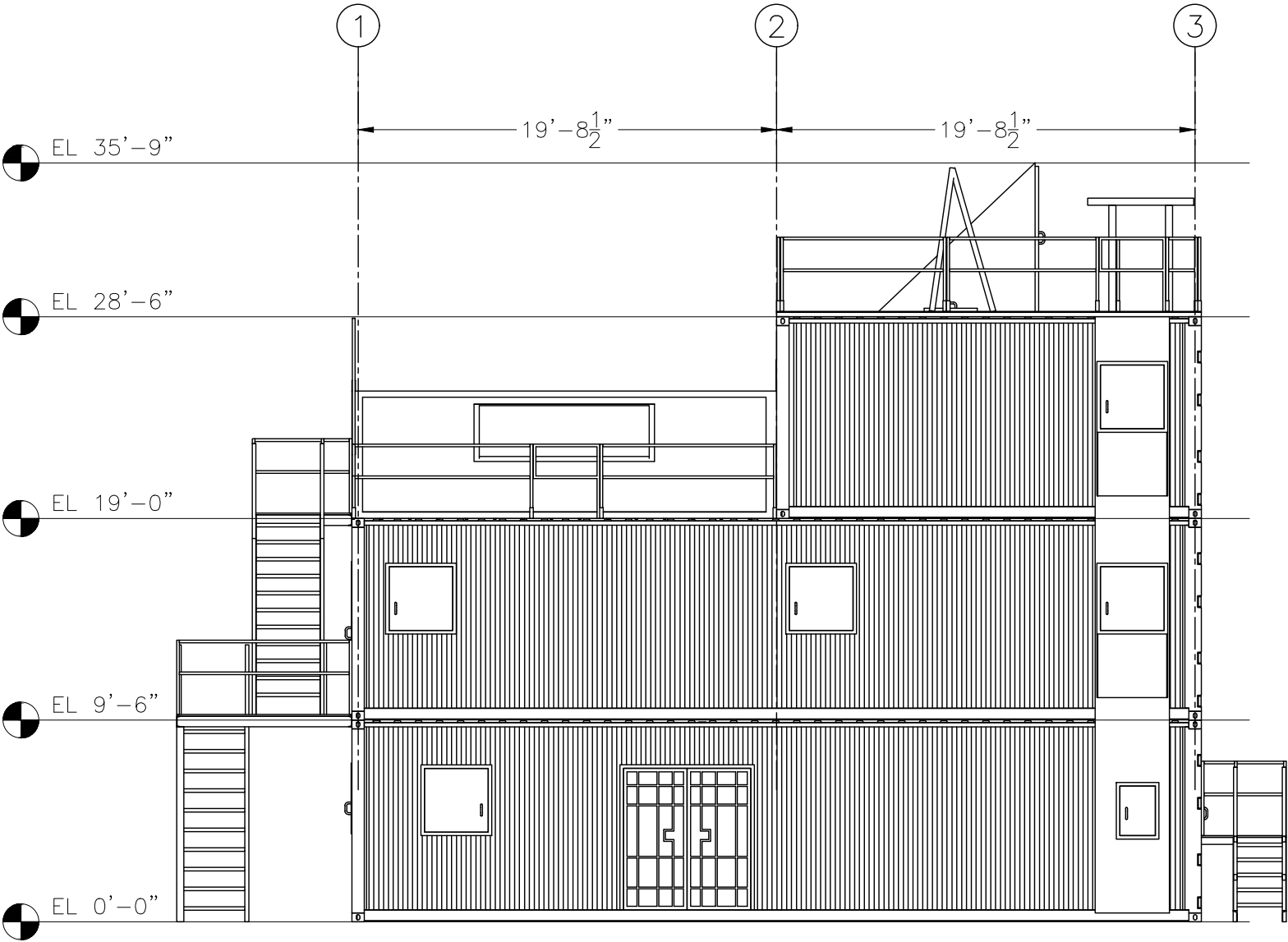


DETAIL "B"

Itemref	Quantity	Title/Name, designation, material, dimension etc			Article No./Reference	
Designed by	-	Checked by	-	Approved by - date	File name	Scale
					J0081	AS NOTED
AFTS				WHITEWATER, WI.		
				PIER LAYOUT		Sheet S02
				Edition	-	

ATTACHMENT NOTES	
1	REFER TO SHEET S01 FOR GENERAL STRUCTURAL NOTES
2	REFER TO SHEET S02 FOR FOUNDATION REQUIREMENTS
3	ISO CONTAINER
4	ISO CONTAINER BEYOND
5	SEE DETAIL 01 ON SHEET S07
6	SEE DETAIL 04 ON SHEET S07
7	SEE DETAIL 05 ON SHEET S07
8	SEE DETAIL 06 ON SHEET S07
9	SEE DETAIL 07 ON SHEET S07
12	SEE SHEET S08
13	SEE SHEET S9
14	SEE SHEET S10

RevNo	Revision note	Date	Signature	Checked
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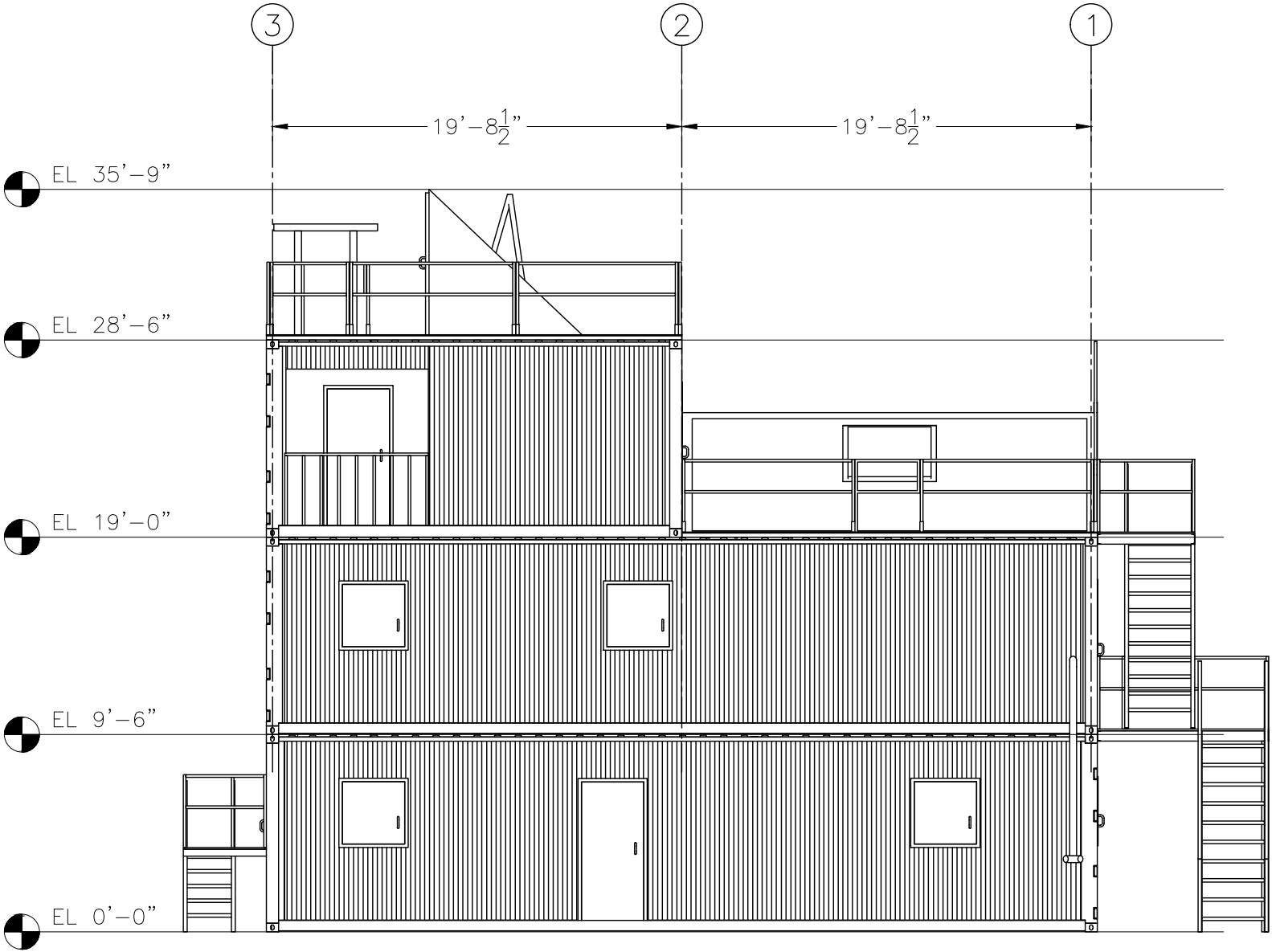


SOUTH ELEVATION VIEW

Itemref	Quantity	Title/Name, designation, material, dimension etc			Article No./Reference	
Designed by JTB	Checked by -	Approved by - date -	File name J0081	Date 07-14-25	Scale AS NOTED	
AFTS			WHITEWATER, WI.			
			ATTACHMENT LOCATIONS	Edition -	Sheet S03	

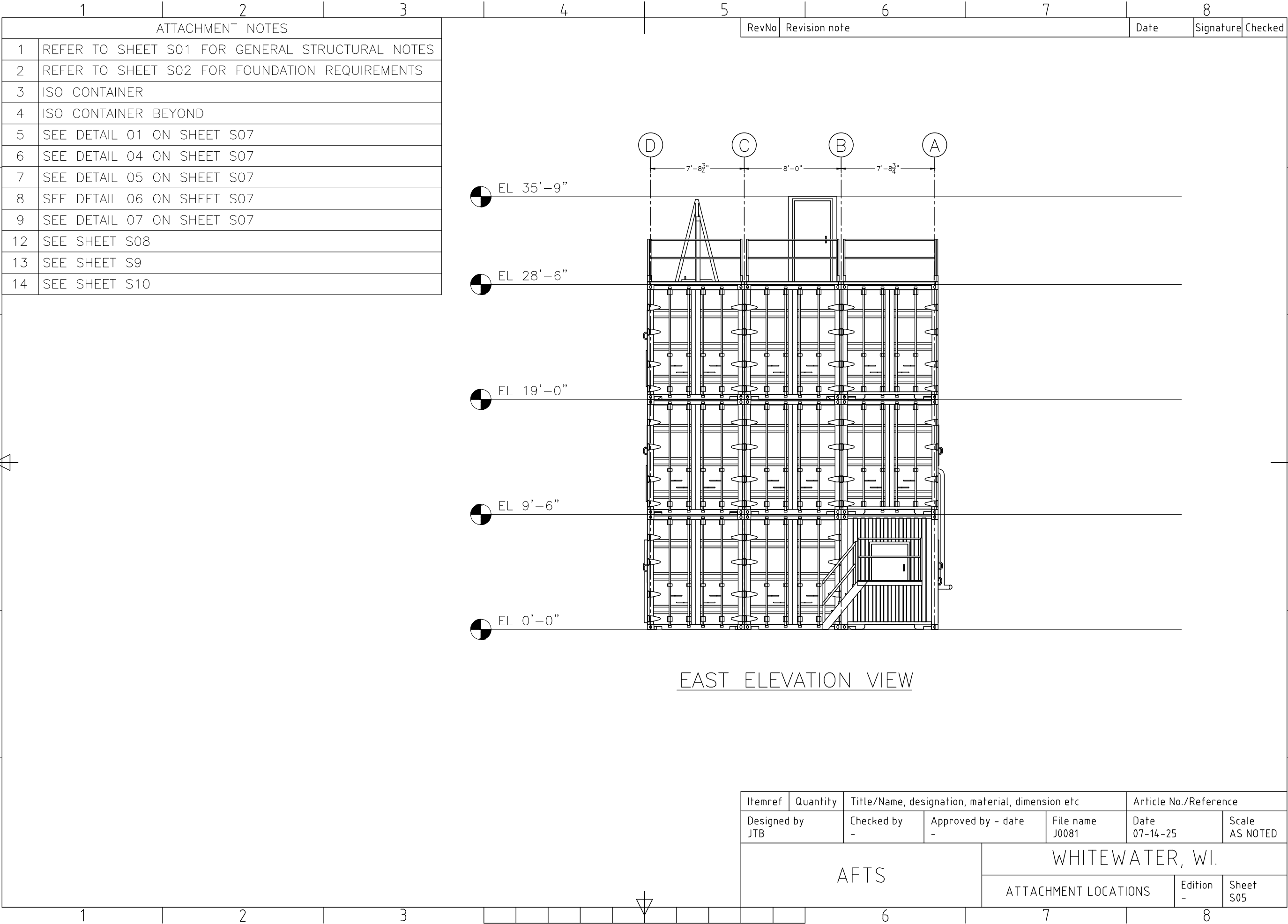
ATTACHMENT NOTES	
1	REFER TO SHEET S01 FOR GENERAL STRUCTURAL NOTES
2	REFER TO SHEET S02 FOR FOUNDATION REQUIREMENTS
3	ISO CONTAINER
4	ISO CONTAINER BEYOND
5	SEE DETAIL 01 ON SHEET S07
6	SEE DETAIL 04 ON SHEET S07
7	SEE DETAIL 05 ON SHEET S07
8	SEE DETAIL 06 ON SHEET S07
9	SEE DETAIL 07 ON SHEET S07
12	SEE SHEET S08
13	SEE SHEET S9
14	SEE SHEET S10

RevNo	Revision note	Date	Signature	Checked
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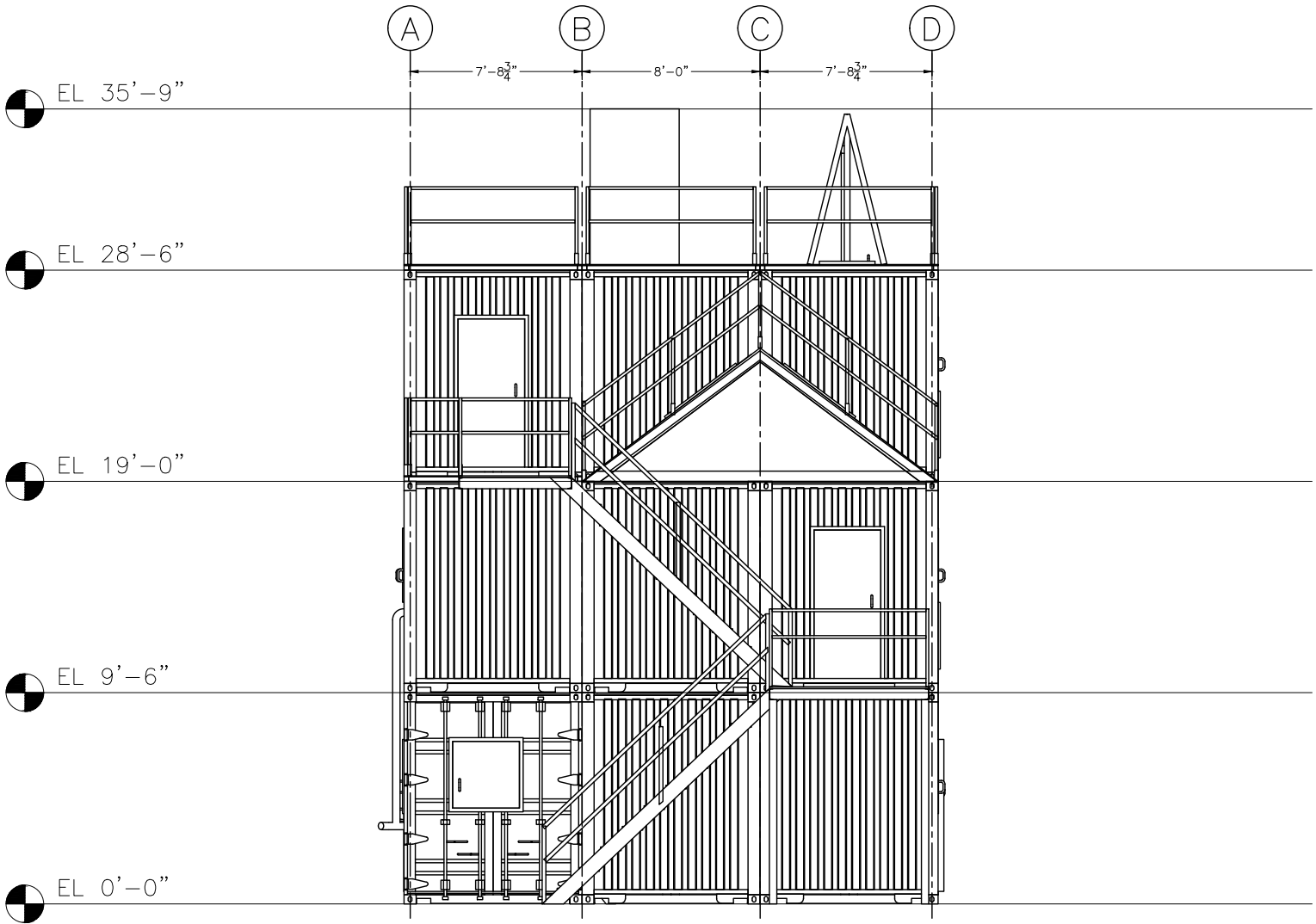
NORTH ELEVATION VIEW

Itemref	Quantity	Title/Name, designation, material, dimension etc			Article No./Reference	
Designed by JTB	Checked by -	Approved by - date -	File name J0081	Date 07-14-25	Scale AS NOTED	
AFTS			WHITEWATER			
			ATTACHMENT LOCATIONS	Edition -	Sheet S04	



ATTACHMENT NOTES	
1	REFER TO SHEET S01 FOR GENERAL STRUCTURAL NOTES
2	REFER TO SHEET S02 FOR FOUNDATION REQUIREMENTS
3	ISO CONTAINER
4	ISO CONTAINER BEYOND
5	SEE DETAIL 01 ON SHEET S07
6	SEE DETAIL 04 ON SHEET S07
7	SEE DETAIL 05 ON SHEET S07
8	SEE DETAIL 06 ON SHEET S07
9	SEE DETAIL 07 ON SHEET S07
12	SEE SHEET S08
13	SEE SHEET S9
14	SEE SHEET S10

RevNo	Revision note	Date	Signature	Checked
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WEST ELEVATION VIEW

Itemref	Quantity	Title/Name, designation, material, dimension etc			Article No./Reference	
Designed by JTB	Checked by -	Approved by - date -	File name J0081	Date 07-14-25	Scale AS NOTED	
AFTS			WHITEWATER, WI.			
			ATTACHMENT LOCATIONS	Edition -	Sheet S06	



Print

Site Plan Application - Submission #2012

Date Submitted: 10/22/2025

City of Whitewater

312 W Whitewater Street
PO Box 178
Whitewater, WI 53190
262-473-0540
www.whitewater-wi.gov

Neighborhood Services

Site Plan Application

Site Plan Application Checklist (Please read)**Applicant**

1. Fill out Planning Request Form and Plan of Operation Form. Digital copies of all submittal materials:
 - a. Application Forms
 - b. Landscaping plan indication location, type and size of materials (Please review Landscaping Guidelines)
 - c. Stormwater and Erosion Control Applications (Separate Forms)
 - d. Lighting Plan (Photometric) Plan
 - e. And any other materials you feel are pertinent
2. Application shall include the following Plan requirements:
 - a. All plans shall be drawn to scale and show all sides of the proposed building
 - b. All plans will exhibit property exterior building materials and colors to be used
 - c. All plans will exhibit proposed /existing off-street parking stalls and driveway/loading docks
 - d. Building elevations must include the lot on which the structure is to be built and the street(s) adjacent to the lot
3. Submit fee to the City of Whitewater

City Building Inspector/Zoning Administrator

1. Review application for accuracy and all required information
2. Staff will review information for conformance to Ordinances
3. Engineer will review Stormwater and Erosion Control Plans
4. Landscape Plan will be reviewed by Urban Forestry Commission
5. When application is complete and approved by Staff it will then be forwarded to Plan Commission

Process

1. Plan Commission considers applicant's request and staff review presented by Zoning Administrator, at the first initial

appearance. If Plan Commission recommends changes and/or revisions, then the applicant must revise site plan, otherwise the matter is forwarded as is for the second appearance for approval/denial of the final site plan.

NOTE: Plan Commission normally meets the second Monday of each month at 6:00 p.m. If a public hearing is required, it will be scheduled at the beginning of the Plan Commission meeting.

Urban Forestry Commission normally meets the fourth Monday of each month at 5:30 p.m.

Taylor Zeinert, Economic Director

262-473-0148

tzeinert@whitewater-wi.gov

Llana Dostie, Neighborhood Services Administrative Assistant

262-473-0144

ldostie@whitewater-wi.gov

Allison Schwark, Municipal Code Enforcement

262-249-6701

mcodeenforcement@gmail.com

Site Plan

Strand Site Plan.pdf

Landscaping Plan

CG Hickey Final with elevations.pdf

Lighting Plan

Paint Sample.docx

Other Information

DNR Permit.pdf

Planning Request

General Project Information

Project Tax Id

Project Address*

Project Title (if any):

Applicant, Agent & Property Owner Information

Applicant's Name*

Applicant's Company*

Address*

312 W Whitewater Street

City*

Whitewater

State*

WI

Zip Code*

53190

Phone Number*

262-473-0570

Email Address*

rdion@whitewater-wi.gov

Agent's Name**Agent's Company****Address****City****State****Zip Code****Phone Number****Fax Number****Email Address**

Owner's First Name (if Different from applicant)

Owner's Last Name

Item 6.

Address

City

State

Zip Code

Phone Number

Fax Number

Email Address

Planning Request (check all that apply)*

- ☒ Site Plan and Architectural Review \$150.00 plus \$0.05 per sq. ft (Floor Area)
- ☐ Conditional Use Permit \$275.00
- ☐ Rezone/Land Use Amendment \$400.00
- ☐ Planned Unit Development \$500.00
- ☐ Preliminary Plat \$175.00
- ☐ Final Plat \$225.00
- ☐ Certified Survey Map \$200.00 plus \$10.00 per lot
- ☐ Project Concept Review \$150.00
- ☐ Joint Conditional Use & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Rezoning & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Site Plan & Conditional Use \$300.00 plus \$0.05 per sq. ft. (Floor Area)
- ☐ Board of Zoning Appeals/Adjustment \$300.00

Will translation services be needed during the Plan Board meeting?*

- ☐ Yes
- ☒ No

If Yes, please specify the language required.**Plan of Operations**

Property Information**Tenant Information****Property Tax Key #**

/A455500001

Previous Business Name*

Vacant Land

Property Address

1220 Innovation Drive

Years in Operation*

N/A

Property Owner Name*

City of Whitewater Fire Department

New Business Name*

CG Hickey Training Center

Owner's Mailing Address*

312 W Whitewater Street

Name of Operator*

City of Whitewater Fire Department

City, State and Zip Code*

Whitewater, WI 53190

Operator's Mailing Address*

Same

Owner's Phone Number*

262-473-0570

Operator's City, State and Zip Code*

Same

Owner's Email*

rdion@whitewater-wi.gov

Operator's Phone and Email*

Same

New Business Use/Operation Information**Description of Business Use or Operations***

Fire Training Facility Building

Previous Use of Space*

Vacant

Hours of Operation (Weekdays)*

During Scheduled training

Hours of Operations (Weekends)*

During Scheduled Training

Total Area Space (SQF)*

4160

Toilet Fixtures*

0

of Full Time Employees*

0

of Part Time Employees Item 6.

0

Customer Seating*☐ Yes☒ No**Seating Capacity***

0

**Total Employee Hours Per Year
(including yourself if self-employed)***

0

Sprinkler System*☐ Yes☒ No**Hazardous/Flammable Chemicals Used/Stored***☐ Yes (Must attach MSDS Sheets)☒ No**Specified Use of Property and Building(s)****Building A***

Training Tower

Building B**Building C****Will there be any problems resulted form this operation such as: (Check all that apply)***☐ Odors☒ Smoke☒ Noise☒ Light☐ Vibrations☐ None**Parking****Dimension of parking lot***

See Strand Site plan

Number of Spaces available*

0

Item 6.

Parking lot construction*

- ☒ Asphalt
☐ Concrete

Type of Screening*

- ☐ Fencing
☒ Plantings

Is employee parking included in (number of spaces available"?*

- ☐ Yes
☒ No

Signage (Separate Sign Permit Application Needed)**Type (Check all that apply)***

- ☒ Free standing
☐ Monument
☐ Projecting
☐ Awning/Canopy
☐ Electronic Message
☐ Pylon
☐ Arm/Post
☐ Window
☐ Mobile/Portable or Banner
☐ None
☐ Other

If other describe**Location of Signs***

Corner for Property

Entertainment**Is there any type of music in this proposal? ***

- ☐ Yes (Separate License from Clerk's office Required)
☒ No

Live*

- ☐ Yes
☒ No

When will this be offered to customers*

- ☐ Monday
- ☐ Tuesday
- ☐ Wednesday
- ☐ Thursday
- ☐ Friday
- ☐ Saturday
- ☐ Sunday
- ☒ None

What time(s) will this be offered**Outdoor Lighting****Type***

None

Location*

None

Utilities**Will you be connected to City
(Check all that apply)***

- ☒ Water
- ☒ Sewer

Is there a private well on-site*

- ☐ Yes
- ☒ No

Types of Refuse Disposal*

- ☒ Municipal
- ☐ Private

Approval Date by the Department of Natural Resources for the well proposed use**Approval Date by the County Health Department for existing septic system****What types of sanitary facilities are to be installed for the proposed operation***

Municipal

Surface Water drainage facilities (describe or include in site plan)***Item 6.**

See Site Plan

Licenses/Permits**Is a highway access permit needed from the State, County or local Municipality?***☐ Yes☒ No**Is a cigarette license required? (Separate license from Clerk's Office Required)***☐ Yes☒ No**Is a liquor license required? (Separate license from Clerk's Office required)***☐ Yes☒ No**Did Wisconsin Department of Safety and Professional Services Division of Industry Services approve building plans***☐ Yes☒ No

Permitted Property Uses (Check all that apply)*

- ☐ Single Family Dwelling
- ☐ Two Family Dwelling
- ☐ Modular Home
- ☐ Manufactured Home
- ☐ Second or greater wireless telecommunication facility
- ☐ Multi-Family Dwellings
- ☐ Art, Music, and School supply stores and galleries
- ☐ Antique, collectible and hobby craft stores
- ☐ Automotive and related parts stores, without servicing
- ☐ Hotel and Motels
- ☐ Small appliance repair stores, computer or software sales and service
- ☐ Banks and other financial institutions without drive thru facilities
- ☐ Camera and photographic supply stores
- ☐ Caterers
- ☐ Clothing, shoe stores and repair shops
- ☐ Clinics medical and dental
- ☐ Department Stores
- ☐ Drug Stores
- ☐ Florist Shops
- ☐ Food and convenience stores without gasoline pumps
- ☐ Furniture stores
- ☐ Hardware stores
- ☐ Insurance agencies
- ☐ Barbershops/Beauty Parlors
- ☐ Liquor stores without drive-thru facilities
- ☐ Resale shops
- ☐ Professional and Business offices
- ☐ Self-service laundries and dry-cleaning establishments
- ☐ Stationary stores, retail office supply stores
- ☐ Movie theaters
- ☐ Tourist Homes and bed and breakfast
- ☐ Bakeries or candy stores with products for sale on premise only
- ☐ Appliance repair stores, including computer sales and service
- ☐ Coffee Shops
- ☐ Cultural arts centers and museums
- ☐ Post Offices
- ☐ Ice cream shops and cafes
- ☐ Toy stores
- ☐ Agricultural services
- ☐ Lumberyards, building supply stores and green houses
- ☐ Manufacturing, fabrication, packing, packaging and assembly of products from furs, glass, leather, metals, paper, plaster, plastic, textiles, clay, woods and similar material
- ☐ Research facilities, development and testing laboratories, including testing facilities and equipment

- ☐ Retail sales and services linked to manufacturing or warehousing
- ☐ Production, or processing, cleaning, servicing, testing or remailer or materials, goods, or products limited to the follow uses, products, components, or circumstances:
 - ☐ a. Electronic and electrical products instruments, such as transistors, semiconductors, small computers, scanners, monitors and compact communication devices
 - ☐ b. High technology products related to the fields of physics, oceanography, astrophysics, metallurgy, chemistry, biology or other scientific field offered for study by University of Whitewater
 - ☐ c. Laser technology, radiology, x-ray and ultrasound products, manufacturing and assembly
 - ☐ d. Medial and dental supplies
 - ☐ e. Optical, fiber optical and photographic products and equipment
 - ☐ f. Orthopedic and medical appliances such as artificial limbs, brace supports and stretchers
 - ☐ g. Products related to process design, process stimulation, computer hardware and software development, safety engineering
 - ☐ h. Scientific and precision instruments and components, including robotics
- ☐ Jewelry stores
- ☐ Meat markets
- ☐ Paint, wallpaper, interior decorating and floor covering stores
- ☐ Restaurants without drive-thru facilities
- ☐ Sporting goods store
- ☐ Variety stores
- ☐ Charitable or nonprofit institution and facilities
- ☐ Light assembly uses including electronics, pottery, printing, contractor shops (heating, electrical, plumbing and general contracting) provided that there are no significant environmental emissions (odor or waste)
- ☐ Catalog and e-commerce sales outlets
- ☐ Day spas
- ☐ Gift Shops
- ☐ Public Parking lots
- ☐ Tourist information and hospitality centers
- ☐ Dance studio
- ☒ College, Universities, Schools, Churches, Libraries, Government buildings
- ☐ Private recreation facilities
- ☐ Freight terminals, trucking servicing and parking, warehousing and inside storage
- ☐ More than one pricipal structure on a lot when the additional building is a material and direct part of the primary business
- ☐ Pilot plants and other facilities for testing manufacturing, processing or fabrication methods or for the testing of products or materials
- ☐ Telecommunication centers (not including wireless telecommunications facilities)

Permitted Conditional Uses (Check all that apply)*

- ☐ Planned Residential Development
- ☐ First Wireless telecommunications facility located on alternative structure only
- ☐ Attached townhouse dwellings up to four units per building
- ☐ Public and semi public uses
- ☐ Multifamily dwellings and attached dwellings, over four units (new construction only)
- ☒ Any building over forty feet
- ☐ Conversion of existing structures resulting in more dwelling units
- ☐ Dwelling units with occupancy of six or more unrelated persons
- ☐ Home Occupations/Professional Home offices requiring customer access
- ☐ Bead Breakfast establishments
- ☐ Conversion of existing single-family dwellings to two-family attached dwellings
- ☐ Profession business offices in a building where principal use is residential
- ☐ Fraternity or sorority houses and group lodging facilities
- ☐ Planned Development
- ☐ Conversion of existing units with less than five bedrooms to five or more bedrooms
- ☐ Entertainment establishments, including clubs but excluding adult entertainment
- ☐ All uses with drive-in and drive-thru facilities
- ☐ Automobile repair and service
- ☐ Taverns and other places selling alcoholic beverages by the drink
- ☐ daycare adult, child and doggie
- ☐ Large Retail and Commercial Service Developments
- ☐ Motor Freight Transportation
- ☐ Light Manufacturing and retail uses
- ☐ Automobile and small engine vehicles sales and rental facilities
- ☐ Car washes
- ☐ Gasoline service station, including incidental repair and service
- ☐ Funeral homes and crematory services
- ☐ Liquor or tobacco stores
- ☐ Wholesale trade of durable and non durable goods
- ☐ Salvage yards

Signatures

By signing below, I certify that the above information is true and accurate account of the information requested for my business site and its operation and use. Should an inspection be required, I agree to all the Inspector(s) reasonable access to the space to verify compliance with the Municipality's Ordinance. In addition, I fully understand that completion of this or its approval does not preclude me from complying with all applicable State Statutes or Municipal Ordinances regarding my business and its lawful operations.

Applicant's Signature***Date*****Inspector's Signature****Date**

Ryan Dion

10-22-2025

Cost Recovery Certificate and Agreement

Pursuant to Ordinance 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code

The undersigned applicant hereby acknowledges and agrees to be bound by Ordinances 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code, providing for city recovery of all city costs and disbursements incurred directly or indirectly related to the Applicant's request. All costs incurred by the city in the consideration of any requests by the Applicant related to the Applicant's request shall be recoverable, including but not limited to, all professional and technical consultant services and fees retained by the city and rendered in review of any application, including the engineer, planner, attorney, or any other professional or expert hired by the village for purposes of review of the application or pre-submission request. The Applicant agrees to reimburse the City for all costs recoverable pursuant to the terms of the above numbered ordinance within the time period set forth by the City of Whitewater Municipal Code. At no time shall any cost recoverable fees be waived, except through the process of a written request by the Applicant and the Common Council, review and evaluation by the Common Council, and official action taken by the Common Council.

PROJECT INFORMATION**PROJECT NAME***

CG Hickey Training Center

PROJECT LOCATION*

1220 Innovation Drive

APPLICANT INFORMATION**NAME***

Assistant Chief Dion

MAILING (BILLING) ADDRESS*

312 W Whitewater Street, Whitewater, WI 563190

PHONE*

262-473-0570

EMAIL ADDRESS*

rdion@whitewater-wi.gov

ATTORNEY INFORMATION**NAME**

PHONE**EMAIL ADDRESS**

Item 6.

--	--

Note to Applicant: The City Engineer, Attorney and other City professionals and staff, if requested by the City to review your request, will be billed for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect from this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in 19.74.10 and 16.04.270 of the Municipal Code

RATES

City Administration Hourly Rate Shall Not Exceed

Interim Director of Economic Development: Emily McFarland \$

Director of Public Works: Brad Marquardt \$72.33

Director of Finance: Rachelle Blitch \$65.94

Clerk: Heather Boehm \$43.33

Deputy Clerk: Tiffany Albright \$29.20

NS Administrative Assistant Llana Dostie \$

Building Inspection Services

Building Inspector Commercial: Joe Mesler \$80.00

Building Inspector Residential: Jon Mesler \$80.00

City Attorney

Russell Law Offices, LLC

Attorney Timothy Brovold \$

City Engineer

Strand and Associates \$247.63

Primary Contact: Mark Fischer

City Planners and Zoning Administrator

Primary Contact: Allison Schwark \$49.00

City Use only Below

**Building Inspector Date
Received****Review By****Zoning Administrator Date
Received****Review By**

Item 6.

Occupancy Classification**Occupancy Classification
Surrounding Units****Zoning of Property****Use Permitted**

- ☐ By Right
☐ By CUP
☐ PC Approval
Required

Approval

- ☐ Approved
☐ Denied

Date**Approval**

- ☐ Approved
☐ Denied

Date**Public Works
Approval**

- ☐ Approved
☐ Denied

Date**City Engineer
Approval**

- ☐ Approved
☐ Denied

Date**Police Department
Approval**

- ☐ Approved
☐ Denied

Date**Fire Department
Approval**

- ☐ Approved
☐ Denied

Date



October 14, 2025

Brad Marquardt
City of Whitewater
312 West Whitewater St
Whitewater WI 53190
Via email: bmarquardt@whitewater-wi.gov

SUBJECT: Coverage Under WPDES General Permit No. WI-S067831-06: Construction Site Storm Water Runoff
Permittee Name: City of Whitewater
Site Name: City of Whitewater Fire Department Training Facility
FIN: 101672

Dear Permittee:

The Wisconsin Department of Natural Resources received your Water Resources Application for Project Permits or Notice of Intent, on September 29, 2025, for the City of Whitewater Fire Department Training Facility site and has evaluated the information provided regarding storm water discharges from your construction site. We have determined that your construction site activities will be regulated under ch. 283, Wis. Stats., ch. NR 216, Wis. Adm. Code, and in accordance with Wisconsin Pollutant Discharge Elimination System (WPDES) General Permit No. WI-S067831-06, Construction Site Storm Water Runoff. All erosion control and storm water management activities undertaken at the site must be done in accordance with the terms and conditions of the general permit.

The **Start Date** of permit coverage for this site is October 14, 2025. The maximum period of permit coverage for this site is limited to 3 years from the **Start Date**. Therefore, permit coverage automatically expires and terminates 3 years from the Start Date and storm water discharges are no longer authorized unless another Notice of Intent and application fee to retain coverage under this permit or a reissued version of this permit is submitted to the Department 14 working days prior to expiration.

A copy of the general permit along with extensive storm water information including technical standards, forms, guidance and other documents is accessible on the Department's storm water program Internet site. To obtain a copy of the general permit, please download it and the associated documents listed below from the following Department Internet site:

<http://dnr.wi.gov/topic/stormwater/construction/forms.html>

- Construction Site Storm Water Runoff WPDES general permit No. WI-S067831-06
- Construction site inspection report form
- Notice of Termination form

If, for any reason, you are unable to access these documents over the Internet, please contact me and I will send them to you.

To ensure compliance with the general permit, please read it carefully and be sure you understand its contents. Please take special note of the following requirements (This is not a complete list of the terms and conditions of the general permit.):

1. The Construction Site Erosion Control Plan and Storm Water Management Plan that you completed prior to submitting your permit application must be implemented and maintained throughout construction. Failure to do so may result in enforcement action by the Department.

2. Construction dewatering discharges from an area subject to remedial action operations or from an area containing contamination that would be subject to remedial action operations are not eligible for coverage under this permit (section 1.1.2.3). Discharges may be eligible for coverage under the [Contaminated Groundwater from Remedial Action Operations General Permit \(WI-0046566-07-0\)](#).
3. The general permit requires that erosion and sediment controls be routinely inspected at least every 7 days, and within 24 hours after a rainfall event of 0.5 inches or greater. Weekly written reports of all inspections must be maintained. The reports must contain the following information:
 - a. Date, time, and exact place of inspection;
 - b. Name(s) of individual(s) performing inspection;
 - c. An assessment of the condition of erosion and sediment controls;
 - d. A description of any erosion and sediment control implementation and maintenance performed;
 - e. A description of the site's present phase of construction.
4. A **Certificate of Permit Coverage** must be posted in a conspicuous place on the construction site. The Certificate of Permit Coverage (WDNR Publication # WT-813) is enclosed for your use.
5. When construction activities have ceased and the site has undergone final stabilization, a Notice of Termination (NOT) of coverage under the general permit must be submitted to the Department.

It is important that you read and understand the terms and conditions of the general permit because they have the force of law and apply to you. Your project may lose its permit coverage if you do not comply with its terms and conditions. The Department may also withdraw your project from coverage under the general permit and require that you obtain an individual WPDES permit instead, based on the Department's own motion, upon the filing of a written petition by any person, or upon your request.

If you believe that you have a right to challenge this decision to grant permit coverage, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. For judicial review of a decision pursuant to ss. 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review must name the Department of Natural Resources as the respondent.

To request a contested case hearing pursuant to s. 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. All requests for contested case hearings must be made in accordance with s. NR 2.05(5), Wis. Adm. Code, and served on the Secretary in accordance with s. NR 2.03, Wis. Adm. Code. The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30-day period for filing a petition for judicial review.

Thank you for your cooperation with the Construction Site Storm Water Discharge Permit Program. If you have any questions concerning the contents of this letter or the general permit, please contact Makenna Boettcher at (414) 550-4185.

Sincerely,

Makenna Boettcher

Makenna Boettcher
Southeast Region
Storm Water Management Specialist

ENCLOSURE: Certificate of Permit Coverage



CERTIFICATE OF PERMIT COVERAGE

UNDER THE WPDES CONSTRUCTION SITE STORM WATER RUNOFF PERMIT Permit No. WI-S067831-06

Under s. NR 216.455(2), Wis. Adm. Code, landowners of construction sites with storm water discharges regulated by the Wisconsin Department of Natural Resources (WDNR) Storm Water Permit Program are required to post this certificate in a conspicuous place at the construction site. This certifies that the site has been granted WDNR storm water permit coverage. The landowner must implement and maintain erosion control practices to limit sediment-contaminated runoff to waters of the state in accordance with the permit.

EROSION CONTROL COMPLAINTS should be reported to the WDNR Tip Line at **1-800-TIP-WDNR (1-800-847-9367)**

Please provide the following information to the Tip Line:

WDNR Site No. (FIN): 101672

Site Name: City of Whitewater Fire Department Training Facility

Address/Location: 1220 Innovation Drive City of WHITEWATER

Additional Information:

Landowner: City of Whitewater

Landowner's Contact Person: Brad Marquardt

Contact Telephone Number: (262) 473-0139

Permit Start Date: October 14, 2025

By: Makenna Boettcher



PARC Agenda Item

Meeting Date:	November 10, 2025
Agenda Item:	Hamilton House Easement
Staff Contact (name, email, phone):	Brad Marquardt, bmarguardt@whitewater-wi.gov , 262-473-0139

BACKGROUND

(Enter the who, what when, where, why)

The Hamilton House, located at 328 W. Main Street, wants to install a handicap ramp along the west side of their building to provide ADA access. The current 48-inch-wide sidewalk abuts the property line. In order to install the 52-inch-wide handicap ramp, they need an easement from the city owned parcel to the west, Parcel /OT 00037. The permanent easement would be one foot, with a temporary easement also granted for construction.

PREVIOUS ACTIONS – COMMITTEE RECOMMENDATIONS

(Dates, committees, action taken)

N/A

FINANCIAL IMPACT

(If none, state N/A)

There is no financial impact in granting the easement.

STAFF RECOMMENDATION

Staff recommends a motion to approve granting an easement to 328 W. Main Street for the installation of a handicap ramp and forward to appropriate City committees for final approval and adoption.

ATTACHMENT(S) INCLUDED

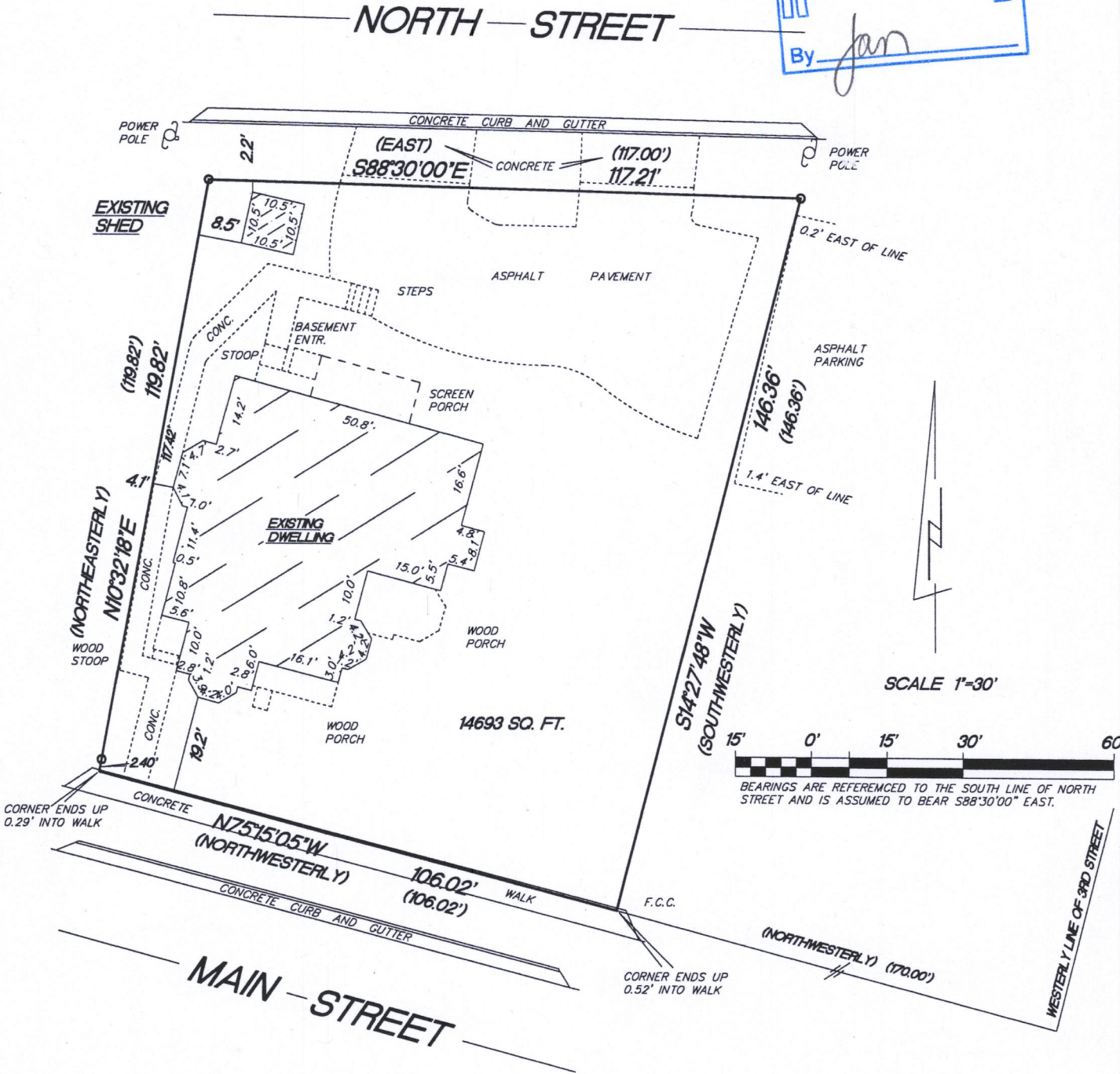
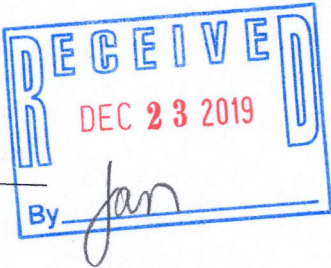
(If none, state N/A)

1. Hamilton House Ramp
2. Hamilton House Survey

PLAT OF SURVEY

A parcel of land being part of Lots 2 and 3 in Block 4, in the Original Plat of the Village (now City) of Whitewater, and described as follows, to-wit: Commencing at the Southeast corner of said Block 4; thence Northwesterly 170.00 feet along the North line of Main Street, to the place of beginning; thence continue Northwesterly 106.02 feet along said North line; thence Northeasterly 119.82 feet to the South line of North Street; thence East 117.00 feet along said South line; thence Southwesterly 146.36 feet, parallel to the Easterly line of said Block 4, to the North line of Main Street and the place of beginning, said parcel being part of the Southwest ¼ of Section 4, in Township 4 North, Range 15 East, in the City of Whitewater, County of Walworth, State of Wisconsin.

Surveyed for: Scott Urich
Survey address: 328 W. Main Street



- FOUND 1 1/4" O.D. IRON PIPE
- F.C.C. FOUND CHISELED CROSS
- () RECORDED AS DIMENSIONS

"I hereby certify that I have surveyed the above described property and that the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location of all visible structures and dimensions of all principal buildings thereon, boundary fences, apparent easements, roadways and encroachments if any"

"This survey is made for the use of the present owners of the property, and also those who purchase, mortgage or guarantee the title thereto within one year from date hereof."

KETTLE MORaine SURVEYING INC.
S75 W36245 Wilton Road
Eagle Wisconsin 53119
P.O. Box 357
(262) 594-3484
kettlemorainesurvey.com
Terrance E. Pisarek P.L.S.



THIS IS NOT AN ORIGINAL SURVEY UNLESS THE SEAL IS RED.

REV. 12/16/19 9/21/00	TEP/DW	TEP	00257
DATE	FIELD WORK BY	DRAWN BY	JOB NUMBER

10T-36

010-1073

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HAMILTON HOUSE

328 W MAINT ST. WHITEWATER, WI 53190

NOT FOR
CONSTRUCTION

- PRELIMINARY REVIEW SET
- ☐

FINAL REVIEW SET
- ☐

BID SET
- ☐

PERMIT SET
- ☐

CONSTRUCTION SET

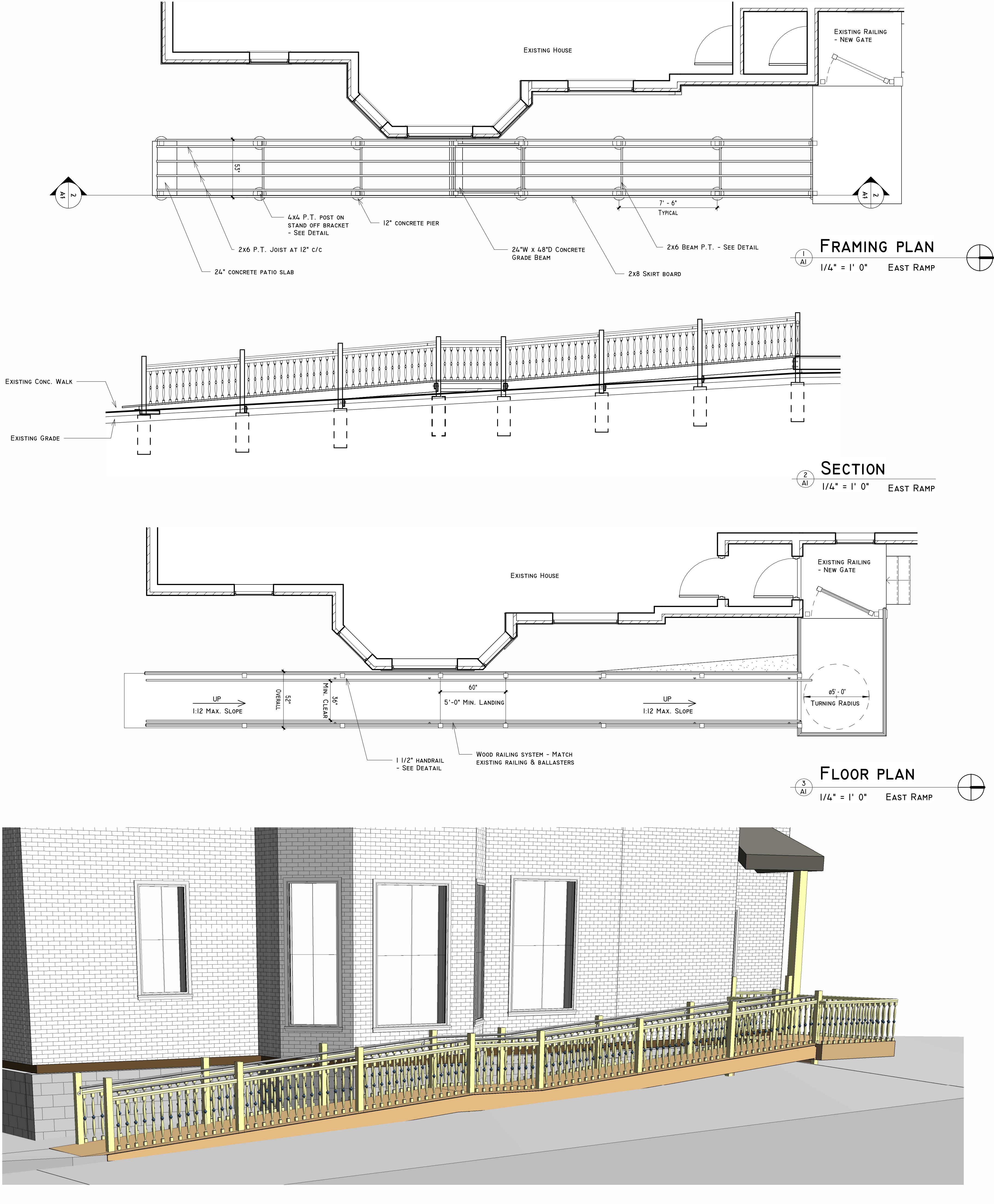
REVISION DATE

DATE

06/06/2025

A1

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HAMILTON HOUSE

328 W MAINT ST. WHITEWATER, WI 53190

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NOT FOR
CONSTRUCTION

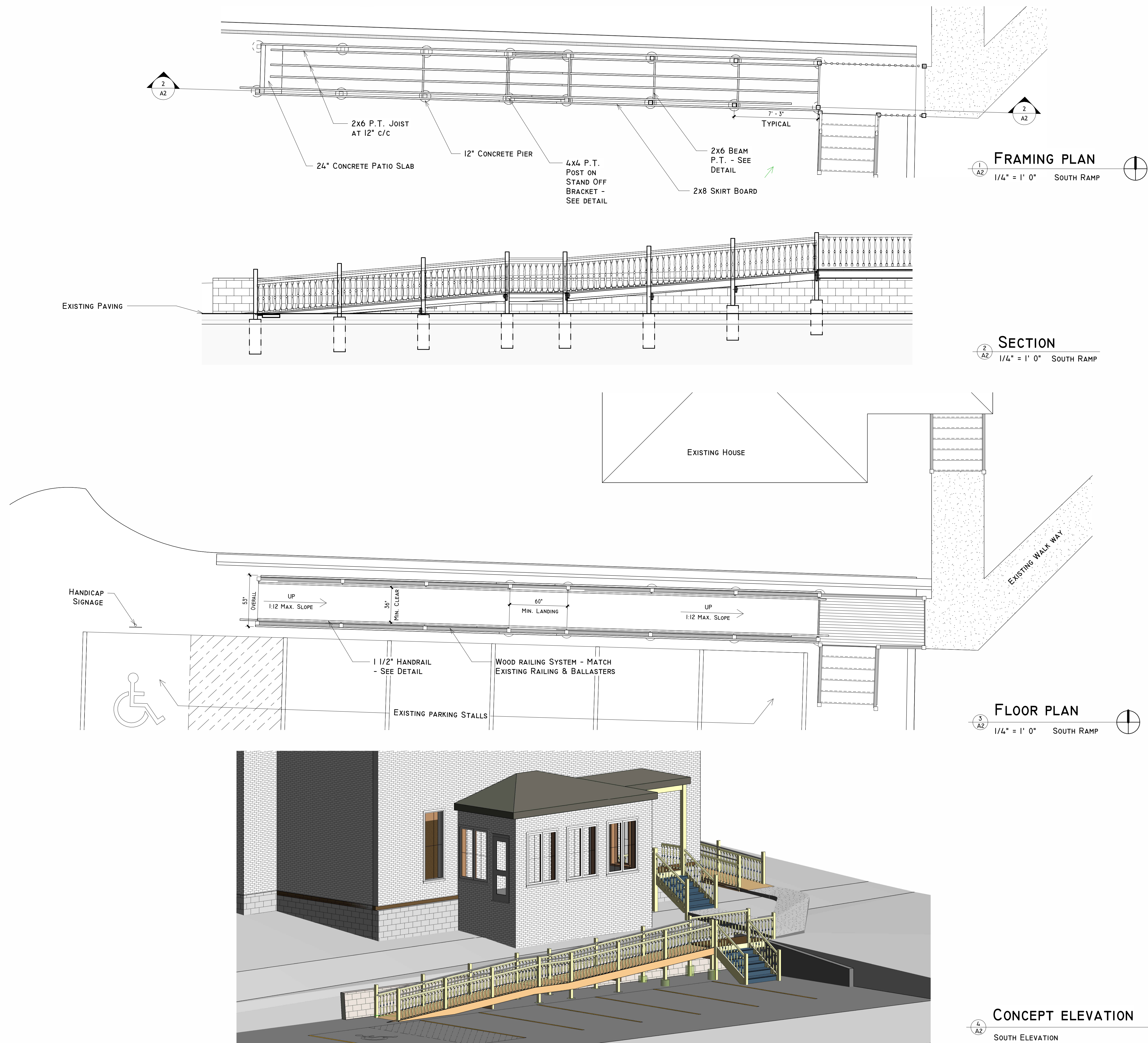
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☐ BID SET
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REVISION DATE

DATE _____

06/06/2025

A2 175



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HAMILTON HOUSE

328 W MAINT ST. WHITEWATER, WI 53190

NOT FOR
CONSTRUCTION

- ☒ PRELIMINARY REVIEW SET
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- ☐ PERMIT SET
- ☐ CONSTRUCTION SET

REVISION DATE

DATE

06/06/2025



9
A3

CONCEPT ELEVATION

SOUTH EAST ELEVATION



Plan & Architectural Review Commission Agenda Item

Meeting Date:	November 10, 2025
Agenda Item:	Appointment of PARC representative for Comprehensive Plan Update Advisory Committee
Staff Contact (name, email, phone):	Mason Becker, mbecker@whitewater-wi.gov , 262.473.0148

BACKGROUND

(Enter the who, what when, where, why)

The Common Council recently approved the selection of RDG Planning & Design to conduct the update to the city's Comprehensive Plan, which was last updated in 2017. Work on this critical project has already begun and will continue over the next 12 months.

A major goal of this project is to gather robust community input through public participation. As part of this process, RDG has recommended that the city create an Advisory Committee, made up of around 12 individuals representing different stakeholder groups within the City of Whitewater.

We are recommending that the PARC appoint one non-council member as a representative on the Advisory Committee. Aside from other community groups, we will also recommend that the CDA appoint one member, and that the Common Council appoint two members.

PREVIOUS ACTIONS – COMMITTEE RECOMMENDATIONS

(Dates, committees, action taken)

- The Common Council approved awarding the contract for the Comprehensive Plan Update to RDG Planning & Design on October 7, 2025, following recommendation by the Request for Proposal (RFP) review committee.
- The city's internal team had an initial meeting with RDG on October 27, 2025 to discuss initial timeline and process.

FINANCIAL IMPACT

(If none, state N/A)

There is no additional financial impact to this decision, as the contract with RDG has already been finalized and signed. There will be occasional additional meetings that the selected PARC member will need to attend as part of this process.

STAFF RECOMMENDATION

It is recommended that the Plan & Architectural Review Commission appoint one member as representatives on the Advisory Committee.

ATTACHMENT(S) INCLUDED

(If none, state N/A)

- Description of duties and roles provided by RDG Planning & Design

The following was provided by RDG Planning & Design regarding the role of the Comprehensive Plan Update Advisory Committee:

What is a Comprehensive Plan?

A Comprehensive Plan is a long-range guide that outlines the community's vision, goals, and strategies for growth and development over the next 10-20 years. It addresses key topics such as housing, transportation, land use, and community amenities.

What does the Advisory Committee do?

The Advisory Committee plays a vital role in the planning process. Members provide feedback and direction at key milestones, promote project activities within their networks, and attend committee meetings throughout the process. This group helps ensure the plan reflects the diverse needs and aspirations of Whitewater's residents, businesses, and organizations.

What to expect as a committee member:

- Participation in up to seven (7) meetings over the next year
 - Each meeting will be approximately 75 minutes long. Meetings may be in person or virtual.
- Opportunities to review and provide input on draft materials
- A chance to help guide the planning process and amplify community engagement opportunities

The City of Whitewater's current 2017 Comprehensive Plan can be found at:
<https://whitewater-wi.gov/462/Comprehensive-Plans-Studies>