



Urban Forestry Commission Meeting

Cravath Lakefront room 2nd floor 312 West
Whitewater Str, Whitewater, WI, 53190 *In Person
and Virtual

Monday, June 01, 2026 - 5:30 PM

Citizens are welcome (and encouraged) to join our webinar via computer, smart phone, or telephone.
Citizen participation is welcome during topic discussion periods.

<https://teams.microsoft.com/meet/25395804500895?p=PkA5z5ByJSpt2xARgP>

Please note that although every effort will be made to provide for virtual participation, unforeseen technical difficulties may prevent this, in which case the meeting may still proceed as long as there is a quorum. Should you wish to make a comment in this situation, you are welcome to call this number: (262) 473-0108.

AGENDA

CALL TO ORDER

ROLL CALL

APPROVAL OF AGENDA

A committee member can choose to remove an item from the agenda or rearrange its order; however, introducing new items to the agenda is not allowed. Any proposed changes require a motion, a second, and approval from the Committee to be implemented. The agenda shall be approved at each meeting even if no changes are being made at that meeting.

CONSENT AGENDA

Items on the Consent Agenda will be approved together unless any committee member requests that an item be removed for individual consideration.

1. Urban Forestry Commission meeting minutes from April 6, 2026

HEARING OF CITIZEN COMMENTS

No formal Committee action will be taken during this meeting although issues raised may become a part of a future agenda. Participants are allotted a three minute speaking period. Specific items listed on the agenda may not be discussed at this time; however, citizens are invited to speak to those specific issues at the time the Committee discusses that particular item.

To make a comment during this period, or during any agenda item: On a computer or handheld device, locate the controls on your computer to raise your hand. You may need to move your mouse to see these controls. On a traditional telephone, dial *6 to unmute your phone and dial *9 to raise your hand.

CONSIDERATIONS / DISCUSSIONS / REPORTS

2. Discussion and Possible Action on Summerset Marine's proposed landscape plan.
3. Discussion on Landscape Design Guidelines and Standards

- [4.](#) Discussion and Possible Action on Police Department Recommendation to Eliminate Ordinance 9.04.010 – Injury to Squirrels and Pets; Permission Required.

FUTURE AGENDA ITEMS

ADJOURNMENT

A quorum of the Common Council may be present. This notice is given to inform the public that no formal action will be taken at this meeting.

Anyone requiring special arrangements is asked to call the Office of the City Manager / City Clerk (262-473-0102) at least 72 hours prior to the meeting.



Urban Forestry Commission Meeting Item 1.

Cravath Lakefront room 2nd floor 312 West
Whitewater Str, Whitewater, WI, 53190 *In Person
and Virtual

Monday, April 06, 2026 - 5:30 PM

Citizens are welcome (and encouraged) to join our webinar via computer, smart phone, or telephone.
Citizen participation is welcome during topic discussion periods.

<https://teams.microsoft.com/meet/23760463515772?p=AiS7j2osuwM4RA3gkQ>

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AGENDA

CALL TO ORDER

Called to order by Chair Stanek at 5:30pm

ROLL CALL

Present: Marjorie Stoneman, Bill Chandler, Sherry Stanek, Josh Kapfer, Kerry Katovich

Absent: None

Staff: Andrew Beckman, Kevin Boehm

APPROVAL OF AGENDA

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Motion to approve agenda by Kapfer, seconded by Katovich. Aye: Stanek, Chandler, Stoneman, Kapfer, Katovich. Nays: None.

CONSENT AGENDA

Items on the Consent Agenda will be approved together unless any committee member requests that an item be removed for individual consideration.

1. Urban Forestry Commission meeting minutes from February 2, 2026.
2. Urban Forestry Commission meeting minutes from February 23, 2026.

Motioned to approve by Katovich, seconded by Kapfer. Aye: Chandler, Stoneman, Kapfer, Katovich, Stanek. Nays: None

HEARING OF CITIZEN COMMENTS

No formal Committee action will be taken during this meeting although issues raised may become a part of a future agenda. Participants are allotted a three minute speaking period. Specific items listed on the agenda may not be discussed at this time; however, citizens are invited to speak to those specific issues at the time the Committee discusses that particular item.

To make a comment during this period, or during any agenda item: On a computer or handheld device, locate the controls on your computer to raise your hand. You may need to move your mouse to see these controls. On a traditional telephone, dial *6 to unmute your phone and dial *9 to raise your hand.

None

CONSIDERATIONS / DISCUSSIONS / REPORTS

3. Discuss email responses and walking quorums.
Boehm gave an update and reminder about communication outside of called meetings.
4. Update from City Forester.
Beckman gave an update on work being performed.
5. Discussion and possible action on becoming a Bee City USA member.
Moted by Katovich to reject becoming a Bee City USA member due to lack of resources of the committee. Seconded by Chandler. Aye: Stoneman, Kapfer, Katovich, Stanek, Chandler. Nay: None
6. Discussion and possible action on becoming a Monarch City USA member.
Moted by Katovich to reject becoming a Monarch City USA member due to lack of resources of the committee. Seconded by Stanek. Aye: Kapfer, Katovich, Stanek, Chandler, Stoneman. Nay: None
7. Discussion, possible action and necessary planning for 2026 Tree Sale.
Moted by Stoneman, seconded by Chandler to cancel the 2026 Urban Forestry Commission Tree Sale. Ayes: Stanek, Chandler, Kapfer, Katovich, Stoneman. Nay: None.

FUTURE AGENDA ITEMS**ADJOURNMENT**

Meeting adjourned at 6:12

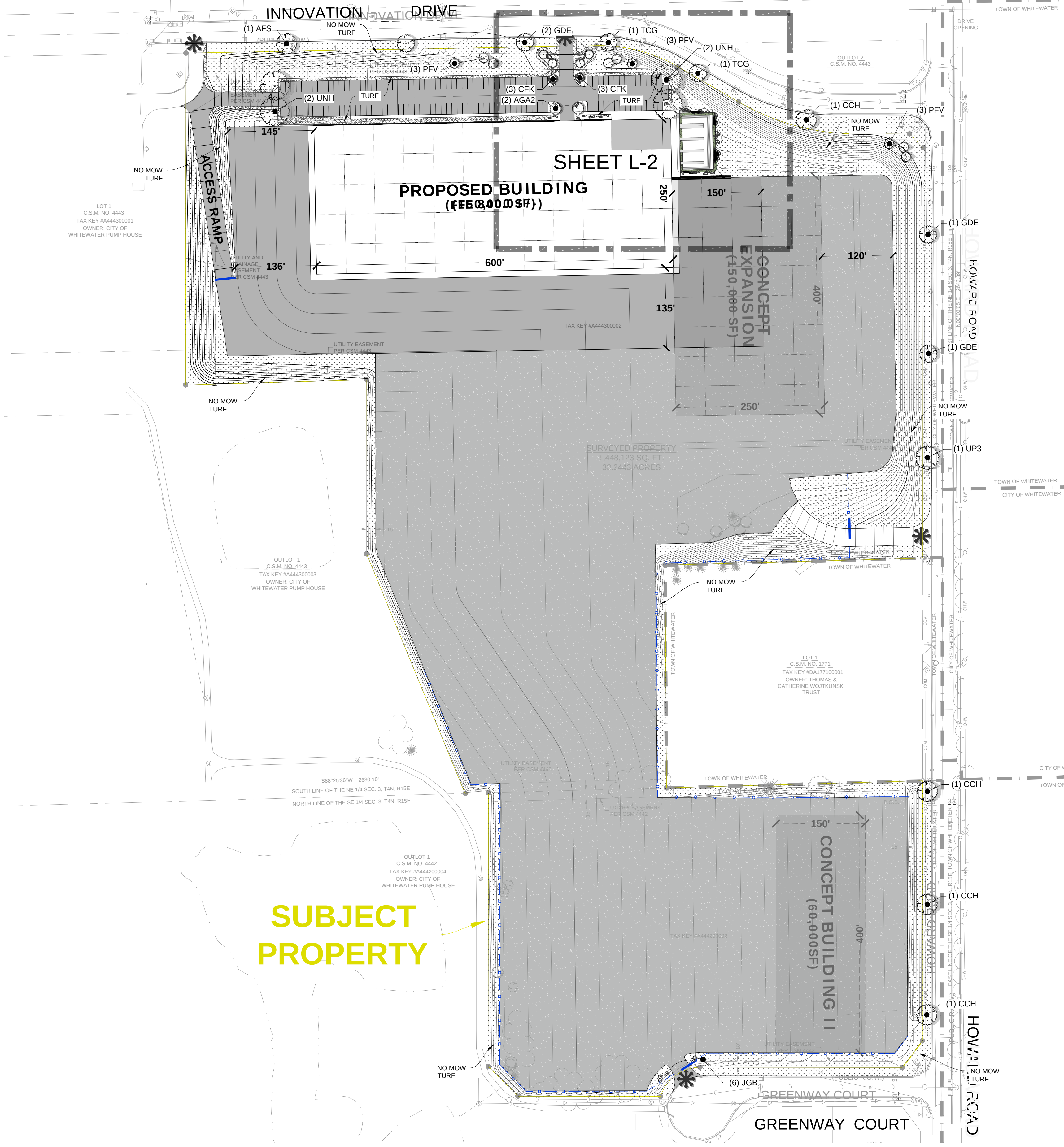
A quorum of the Common Council may be present. This notice is given to inform the public that no formal action will be taken at this meeting.

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City Manager / City Clerk (262-473-0102) at least 72 hours prior to the meeting.

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DESIGNED: D.J.B. DRAFTED: D.J.B. REVIEWED: J.S.U. 6/25/2024

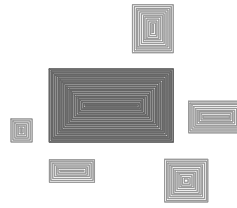


PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
LARGE DECIDUOUS TREE					
UNH	4	Ulmus americana 'New Harmony'	New Harmony Elm	2" Cal.	60' T x 60' W
SMALL DECIDUOUS TREE					
AGA2	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2" Cal.	20' T x 20' W
CFK	6	Carpinus caroliniana 'JN Strain'	Fire King Musclewood	1.5" Cal.	25' T x 20' W
STREET TREES					
AFS	1	Acer x freemanii 'Sienna'	Sienna Glen Maple	1.5" Cal.	50' T x 35' W
CCH	4	Celtis occidentalis 'Chicagoland'	Chicagoland Hackberry	1.5" Cal.	50' T x 40' W
GDE	4	Gymnocladus dioicus 'Espresso'	Espresso Kentucky Coffeetree	1.5" Cal.	50' T x 35' W
TCG	2	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	1.5" Cal.	45' T x 35' W
UP3	1	Ulmus x 'New Horizon'	New Horizon Elm	1.5" Cal.	55' T x 45' W
TALL EVERGREEN TREES					
JGB	6	Juniperus virginiana 'Glaucua'	Silver Eastern Red Cedar	5' Ht.	23" T x 8" W
PFV	9	Pinus flexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Limber Pine	5' Ht.	50' T x 25' W
SHRUBS					
CAF	34	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	2 gal.	3' T x 3' W
EVERGREEN SHRUB					
JT	12	Juniperus chinensis 'Trautman'	Trautman Juniper	4' Ht.	12" T x 4' W
JB2	21	Juniperus horizontalis 'Blue Forest'	Blue Forest Creeping Juniper	2' W	1' T x 4' W
ORNAMENTAL GRASSES					
CK	141	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	4' T x 2' W
CO2	52	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	1 gal.	2' T x 2' W
DP	146	Deschampsia cespitosa 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass	1 gal.	18" T x 18" W
DS2	80	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	1 gal.	3' T x 3' W
MI	27	Miscanthus sinensis 'Fire Dragon'	Fire Dragon Eulalia Grass	1 gal.	6' T x 4' W
PH	20	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	1 gal.	4' T x 3' W
PP	63	Panicum virgatum 'Prairie Sky'	Prairie Sky Switch Grass	1 gal.	4' T x 3' W
SL	271	Schizachyrium scoparium 'Chameleon'	Chameleon Little Bluestem	1 gal.	24" T x 20" W
SYMBOL QTY BOTANICAL NAME COMMON NAME REMARKS					
TURF					
	272,671 sf	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix		
	12,368 sf	Turf Seed	Drought Tolerant Fescue Blend		

REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	1	18" WIDE MAINTENANCE STRIP	843 sf
	2	3" DEEP ALPINE MEDIUM STONE	266 sf
		BEACH - TORPEDO SAND	
		6" DEPTH	



PINNACLE ENGINEERING GROUP

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(262) 754-8888
CHICAGO | MILWAUKEE | NATIONWIDE

SUMMERSET MARINE

WHITEWATER, WI

LANDSCAPE OVERVIEW &
TREE PLAN

REVISIONS

1	PLAN COMMISSION	05/04/26		

PEG JOB NO. 7103.00
ARA
PEG PM
PLAN DATE 05/04/26
SCALE 1"=100'

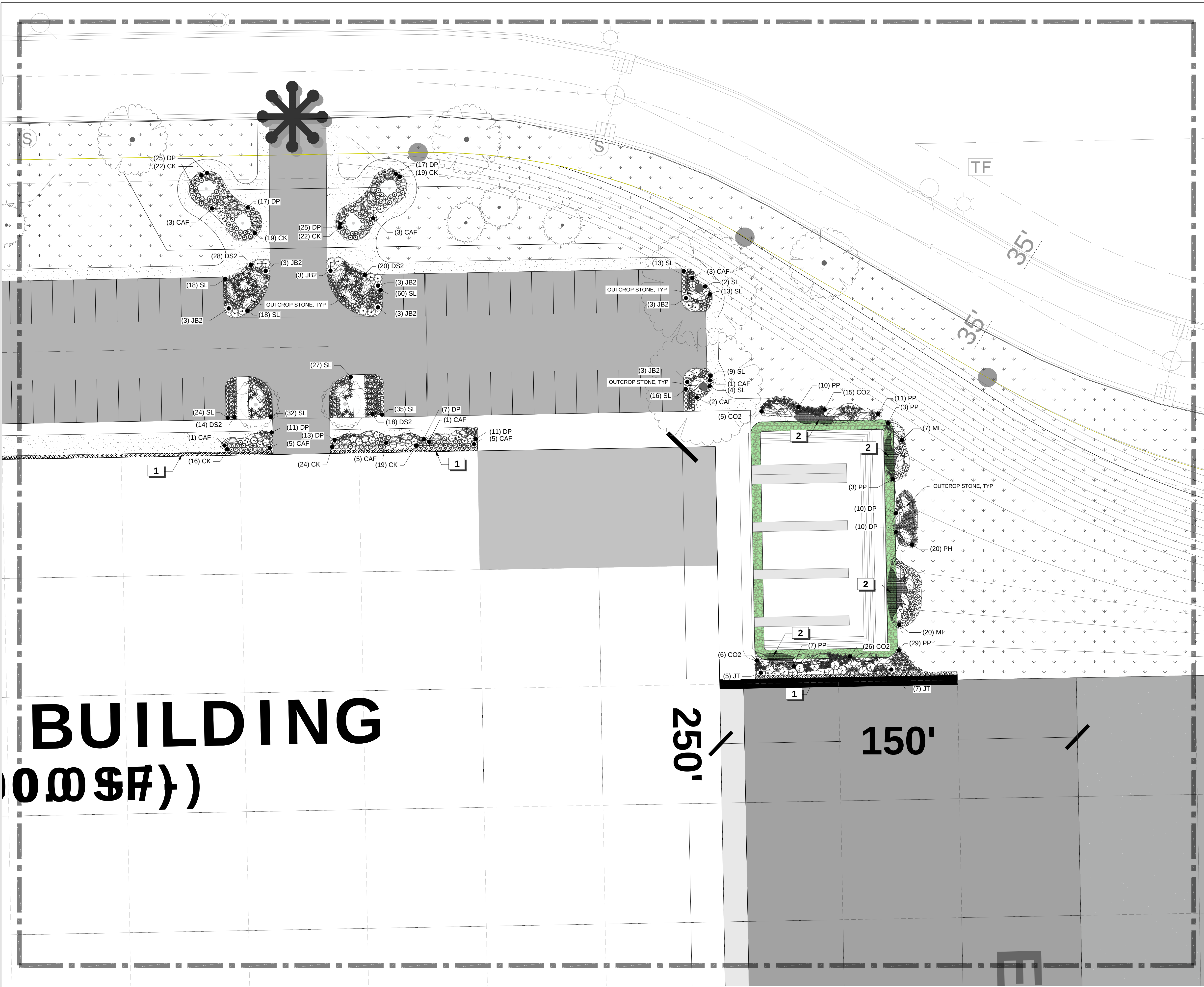
SHEET
L-1
OF
L-3



GRAPHICAL SCALE (FEET)
0 1" = 100' 200'

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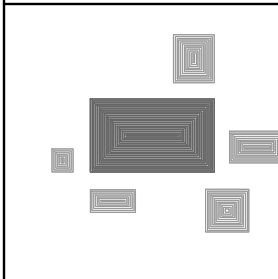
DESIGNED: D.J.B. DRAFTED: D.J.B. REVIEWED: J.S.U.



PLANT KEY			
CODE	BOTANICAL NAME	COMMON NAME	REMARKS
SHRUBS			
CAF	Cornus stolonifera 'Arctic Fire'	Arctic Fire Dogwood	3' T x 3' W
EVERGREEN SHRUB 20 PTS			
JT	Juniperus chinensis 'Trautman'	Trautman Juniper	12' T x 4' W
JB2	Juniperus horizontalis 'Blue Forest'	Blue Forest Creeping Juniper	1' T x 4' W
ORNAMENTAL GRASSES - 20PTS/20SF			
CK	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	4' T x 2' W
CO2	Calamagrostis x acutiflora 'Overdam'	Overdam Feather Reed Grass	2' T x 2' W
DP	Deschampsia cespitosa 'Pixie Fountain'	Pixie Fountain Tufted Hair Grass	18" T x 18" W
DS2	Deschampsia cespitosa 'Schottland'	Schottland Tufted Hair Grass	3' T x 3' W
MI	Miscanthus sinensis 'Fire Dragon'	Fire Dragon Eulalia Grass	6' T x 4' W
PH	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	4' T x 3' W
PP	Panicum virgatum 'Prairie Sky'	Prairie Sky Switch Grass	4' T x 3' W
SL	Schizachyrium scoparium 'Chameleon'	Chameleon Little Bluestem	24" T x 20" W
SYMBOL	BOTANICAL NAME	COMMON NAME	REMARKS
TURF			
	Turf Hydroseed Low Grow	Reinders No Mow/Low Grow Mix	
	Turf Seed	Drought Tolerant Fescue Blend	

REFERENCE NOTES SCHEDULE	
CODE	DESCRIPTION
1	18" WIDE MAINTENANCE STRIP 3" DEEP ALPINE MEDIUM STONE
2	BEACH - TORPEDO SAND 6" DEPTH

BUILDING
(00\$#))



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CHICAGO | MILWAUKEE | NATIONWIDE

SUMMERSET MARINE
WHITEWATER, WI

LANDSCAPE SHRUB &
PERENNIAL PLAN

REVISIONS	
1	PLAN COMMISSION 05/04/26

PEG JOB No. 7103.00

PEG PM ARA

PLAN DATE 05/04/26

SCALE 1"=20'

SHEET
L-2
OF
L-3

Item 2

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LANDSCAPE GENERAL NOTES & DETAILS

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GENERAL PLANTING NOTES

1.

THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.

2.

THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

3.

NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.

4.

ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.

5.

ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.

6.

ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.

7.

TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. MULTI-STEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.

8.

ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.

9.

BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.

10.

ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.

11.

ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.

12.

TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR CONFORMITY TO SPECIFICATION REQUIREMENTS AND APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.

13.

ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.

14.

ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.

15.

WHILE PLANTING TREES AND SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.

16.

THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.

17.

OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.

18.

ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.

19.

ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAN DEFINITION BETWEEN TURF AND PLANTING AREAS.

20.

ALL AREAS RECEIVING STONE MULCH TO RECEIVE METAL BED EDGING. CONTRACTOR TO PROVIDE STEEL EDGING SPECIFICATION FOR APPROVAL PRIOR TO INSTALLATION. METAL EDGING TO BE INSTALLED PER MANUFACTURERS RECOMMENDATION.

21.

AREAS THAT CALL FOR STONE MULCH SHALL RECEIVE LANDSCAPE FABRIC WITH 3" DEEP ALPINE STONE MULCH. REFER TO STONE MULCH DETAILS. CONTRACTOR TO PROVIDE LANDSCAPE FABRIC AND MULCH SPECIFICATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. LANDSCAPE FABRIC SHALL BE INSTALLED TO COVER THE ENTIRE AREA TO RECEIVE STONE MULCH WITH EACH SEAM OVERLAPPING A MINIMUM OF 6".

22.

ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.

23.

FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).

24.

THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEEDD AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.

25.

ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.

26.

ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER

CONDITION.

27.

ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.

28.

THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.

29.

TREES SHALL BE INSTALLED NO CLOSER THAN:

-10 FEET FROM ANY FIRE HYDRANT

- 7 FEET FROM STORM SEWER, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE

30.

THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS

31.

THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.

32.

THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.

33.

THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.

34.

PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.

35.

THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

1.

LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".

2.

THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)

3.

TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.

4.

SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)

5.

PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.

6.

DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.

7.

FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.

8.

ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.

9.

RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

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TREE PLANTING

1/4" = 1'-0"

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Landscaping Guidelines

The Plan and Architectural Review Commission reviews site and landscape plans for all new and expanded commercial, industrial, institutional, and multiple family housing projects. Landscaping beautifies the property and city, buffers uses and unattractive structures, increases property values, conserves energy, and helps clean the air and water. The Commission adopted the following guidelines to assist developers, builders, and property owners in meeting the expectations for landscaping. The use of the term “must” below reflects zoning ordinance requirements that are mandatory.

Required Components of a Landscape Plan

- A scale (e.g., 1 inch = 50 feet), a north arrow, a date, and an accurate representation of site conditions (e.g., property dimensions should be correct with all features drawn to scale).
- All areas to be left in green space and how they will be covered (e.g., grass, mulch, native vegetation).
- All trees over 4” caliper to be removed or portions of woods with such trees that are proposed for removal.
- All existing trees that are over 4 inches caliper or the edges of woods with such trees.
- All existing trees and other plantings proposed to remain on the site after construction, including proposed locations for barrier fencing or other ways to ensure their preservation.
- Locations, species, size at time of planting, and size at maturity for proposed landscape plants.
- Adjacent streets, existing and proposed buildings, parking lots, loading areas, dumpsters, existing or proposed grades, outdoor storage areas, and mechanical units and utilities in relation to proposed plantings.
- Name, address, and phone number of both the person who prepared the plan and the property owner.

For simple projects, the Landscape Plan may be included on a map that also shows other proposed site improvements, like proposed buildings, signs, lighting, utilities, and grading.

Treatment of Existing Vegetation

Pre-existing landforms, terrain, and vegetation should be preserved as much as practical. This may be achieved by minimizing building construction and site modifications in areas not essential to project development. High-quality, mature, and native trees and hedges should be retained where practical and should not be removed to facilitate commercial signage. Preservation of existing vegetation will reduce expectations for new landscaping, while major removal of existing vegetation may result in expectations for new landscaping greater than what these guidelines normally suggest. In general, where large, high quality trees are proposed for removal on a landscape plan, the equivalent diameter of new trees should also be included in the plan (e.g., one maple with a 12-inch diameter trunk removed = planting of four 3-inch diameter hardwood canopy trees). Similarly, mature trees identified for preservation in the approved Landscape Plan but subsequently lost should be replaced by new trees of similar total diameter.

Mature trees identified for preservation on a Landscape Plan should be protected during construction by not allowing grading or equipment or vehicle storage in these areas and by making all contractors aware of preservation requirements. During construction, barrier fencing should

generally be placed at the critical root zone (CRZ) of the tree, as defined as a radius equivalent to 1.5 feet for every inch in trunk diameter at breast height (DBH). For example, a tree with a trunk diameter of 12 inches has a critical root zone radius of 18 feet.

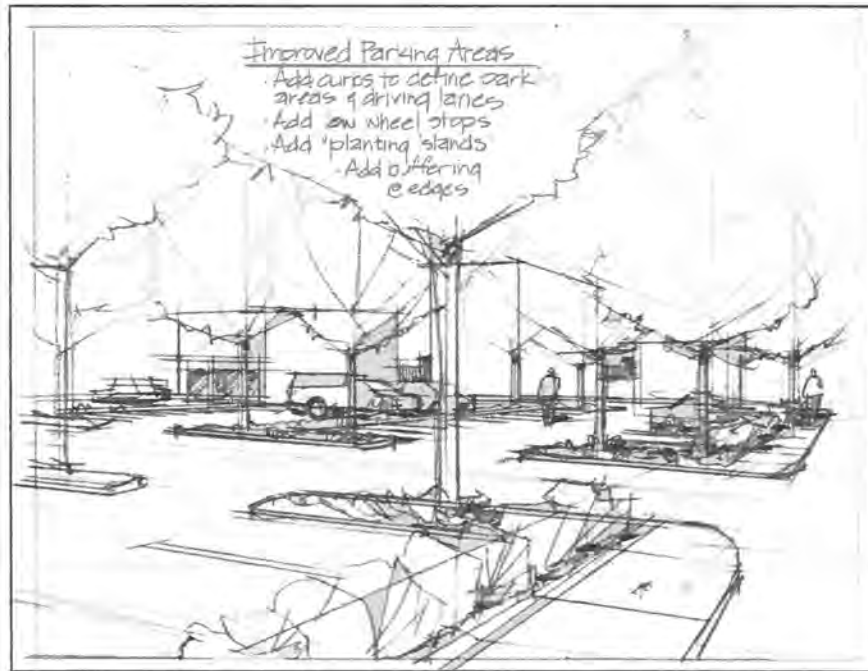
The Urban Forestry Management Plan available from the City's Parks, Recreation, and Forestry Department—contains additional preservation guidance (see particularly the City's Terrace Tree Protection guidelines).

Recommended Locations and Amount of New Landscaping

New landscape plantings should be provided on different parts of the site, as advised below:

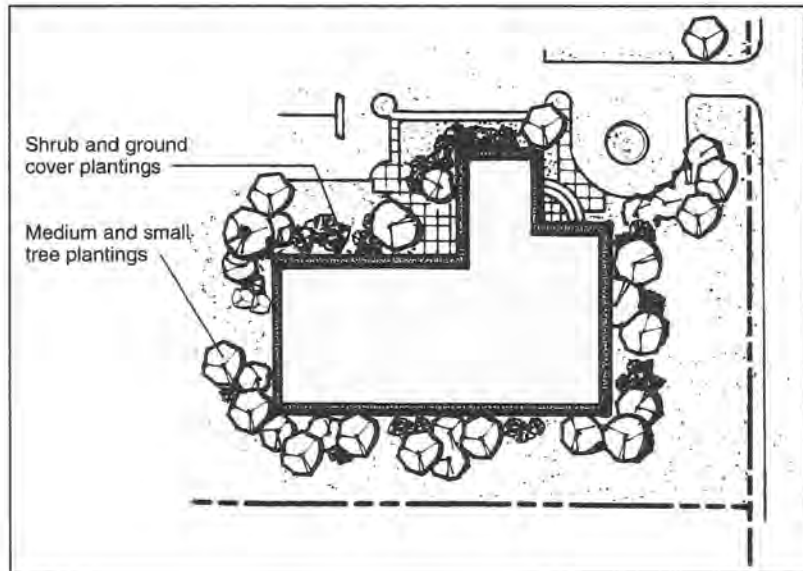
1. **Street Frontages.** One deciduous tree must be planted for each 35 feet along each side of a street right-of-way, except where a clustered or wider spacing is allowed by the City Forester or where traffic visibility, street lights, or utilities would be negatively affected. Street trees should be planted midway between the street curb and the sidewalk, or within 15 feet of the property line adjoining the street, but only if space is not available between the sidewalk and curb. Plantings may also be appropriate in any boulevard included in development plans. Street tree species should be approved by the City Forester prior to installation, and should be based generally upon the information provided in Figures 3 and 4 below.
2. **Paved Areas.** One large deciduous tree and 60 points of additional landscaping (see Figure 3: Appropriate Plant Species and Sizes) should be planted for each 1,500 square feet of paved area—which is about the same amount of space required for five parking spaces plus a driveway. Plants should be installed in landscaped islands within the paved area or within 15 feet of the edges of the paved area. Landscaped islands or peninsulas must be provided at the end of every parking row, and interior islands should be provided for every 20 parking spaces in non-industrial projects. Species selection for paved area plantings is particularly important to ensure salt and snow tolerance (see Figure 6), proper growth habit and branch height, avoidance of messy fruit or other litter from the tree, and maintenance of good visibility within parking lots.

Figure 1: Parking Lot Landscaping Example



3. **Building Foundations.** 160 points of landscaping (see Figure 3: Appropriate Plant Species and Sizes) should be planted for each 100 lineal feet of exterior building wall that is visible from public rights-of-way and adjoining sites. The graphic on the following page provides an example of building foundation landscaping. Plants required by this section should be installed within 20 feet of the building foundation and generally should not include large deciduous trees.
4. **Landscaped Bufferyards.** The City requires installation of a landscaped bufferyard:
 - In yards where a B-1, B-3, or M-1 zoning district abuts a residential use or zoning district,
 - Where off-street parking areas for five or more vehicles are within 15 feet of a lot line, except where the next door lot also contains parking within that same distance, and
 - Where lots in a new residential subdivision back onto a proposed major street.

Figure 2: Building Foundation Planting Example



The minimum width of a landscaped bufferyard is 10 feet (30 feet where subdivision lots back onto a major street), not including the area between the sidewalk and street curb. Bufferyards are generally required to be landscaped with two large deciduous trees, five small deciduous and/or evergreen trees, and twelve shrubs for every 100 feet of bufferyard length. The Plan Commission may instead approve substitute landscaping, a berm, an opaque fence or wall, or some combination. Fences or walls should generally not be used in street yards and must not be more than 6 feet tall in residential zoning districts and 10 feet tall in non-residential districts. A berm is mound of soil surfaced with a landscaped ground cover, generally 3 to 6 feet above the surrounding grade and preferably of an undulating or otherwise visually interesting layout.

5. **General Yard Areas.** In other parts of the site, 200 additional points of landscaping (see Suggested Plant Species and Sizes table) should be planted for each 5,000 square feet of total site area. Most general yard area landscaping should be located in street-facing yards. Except for approved natural areas, general yard areas should be seeded. Slopes should be a maximum of 3 vertical feet for every 1 horizontal foot. Where retaining walls are necessary, they should be designed to be less than 10 feet in height and constructed with stone or block, or terraced if the grade change is 10 feet or more.
6. **Screening.** Dumpsters, outside storage areas, loading docks, vending machines, and large or unsightly mechanical, utility, or telecommunication units should be enclosed by a fence, wall, and/or landscaping designed to provide a total visual screen from public rights-of-way and adjacent properties. Screening fences and walls surrounding outdoor storage areas should generally be between 6 and 8 feet tall, while fences and walls designed to screen other areas should generally be between 4 and 6 feet tall. Appropriate screening tree species are indicated in Figure 5. Future trimming of screen plantings in such a way that limits their capacity to provide a total visual screen is not permitted. The base of freestanding signs—monument and pylon signs—should also be landscaped. Low-level plantings should be selected in sign areas.

7. **Vision Triangles and Easements.** No parts of plantings within 10 feet of the ground level may extend over any public right-of-way. No new landscape plantings with a mature height over 2½ feet or with branches at maturity that will be less than 10 feet may be placed in vision triangles near street intersections (see Section 19.51.010 of zoning ordinance in order to measure extent of vision triangle). Planting in utility easements is at the risk of the property owner and may be subject to restrictions associated with the easement. Tree plantings should generally be at least 20 feet from street lights, 10 feet from hydrants, and 6 feet from gas and water valves.

Recommended Sizes and Species of New Landscaping

Figure 3 indicates the points that may be obtained for each plant within the five different categories of landscape plantings large deciduous tree, small deciduous tree, evergreen tree, shrub, and perennial planting bed. When added together, the points obtained from each plant depicted in a Landscape Plan may be used to determine whether the landscaping point guidelines above are being met. Figure 3 also provides a starting point for potential plant species selection within each of the five categories of plantings.

Figures 4, 5, and 6 include examples of appropriate tree and shrub species for different, unique applications. These include trees appropriate for placement under power lines (Figure 4), trees that are appropriate for screening (Figure 5), and plantings that are most tolerant of salt for use in and near parking lots for example (Figure 6).

Figure 7 includes species to minimize or avoid, for various reasons including overuse, susceptibility to disease, and invasive characteristics.

For more information in selecting plants, the following guides are available online at the UW–Extension (www.learningstore.uwex.edu): *Choosing the Right Landscape Plants: Factors to Consider* (A3864); *Deicing Salt Injury in the Landscape and Salt-Tolerant Landscape Plants* (A3869); *Guide to Selecting Landscape Plants for Wisconsin* (A2865). Also look for *Power Planting: How to Select and Plant Trees Near Power Lines*, available at: www.we-energies.com/forestry/treeplant_booklet.pdf.

Figure 3: Appropriate Plant Species and Sizes

Category of Plant	Expected Mature Height	Minimum Size at Time of Planting	Landscaping Points for Each Plant	Examples of Appropriate Species	
Large Deciduous Tree	Greater than 25 feet	2 inch trunk diameter as measured 4 1/2 feet up (1 1/2 inch for street trees)	150	Freeman maple Paperbark maple State Street Miyabe maple Ginkgo (male cultivars) Chanticleer pear Honeylocust (male cultivars) Chinkapin oak Baldcypress Lindens/basswood Elms (hybrids) Hackberry Hazelnut	<i>Acer x freemanii</i> <i>Acer griseum</i> <i>Acer miyabei</i> 'Morton' <i>Ginkgo biloba</i> <i>Pyrus calleryana</i> 'Chanticleer' <i>Gleditsia triacanthos</i> var. <i>inermis</i> <i>Quercus muehlenbergii</i> <i>Taxodium distichum</i> <i>Tilia</i> spp. <i>Ulmus</i> spp. <i>Celtis occidentalis</i> <i>Corylus</i> spp.
Small Deciduous Tree	25 feet or less	1 1/2 inch trunk diameter as measured 4 1/2 feet up, or 4 feet tall	60	Birch Serviceberry Hawthorn Eastern redbud Callery pear Flowering crabapples Japanese tree lilac Hornbeam (Muscledwood) Ironwood/Hophornbeam	<i>Betula</i> spp. <i>Amelanchior</i> <i>Crataegus viridis</i> <i>Cercis canadensis</i> <i>Pyrus calleryana</i> <i>Malus</i> spp. <i>Syringa reticulata</i> <i>Carpinus caroliniana</i> <i>Ostrya virginiana</i>
Evergreen Tree	Usually > 10 feet	4 feet tall	40	Serbian spruce Pine (except Austrian)	<i>Pinus</i> spp. (not <i>nigra</i>)
Shrub (deciduous or evergreen)	Usually less than 10 feet	2 feet in height or 2 gallon pot	20	Weigela Shrub rose Juniper Arborvitae Amelanchior Elderberry ninebark Viburnum Dogwood Cotoneaster Forsythia Potentilla Gro-low sumac Yew	<i>Sambucus canadensis</i> "aurea"
Perennial Planting	Varies	Varies	20 points for every 20 sq ft of	Coneflower Catmint	Columbine Aster

Category of Plant	Expected Mature Height	Minimum Size at Time of Planting	Landscaping Points for Each Plant	Examples of Appropriate Species	
Bed			bed	Black-eyed Susan Lily Daylily Hosta Catmint Ornamental grass Lady's mantle	Brunnera Liatris Cimicifuga Peony Pachysandra Sedum Astilbe

Figure 4: Trees Appropriate for Planting under Power Lines

Category of Plant	Expected Mature Height	Minimum Size at Time of Planting	Landscaping Points for Each Plant	Examples of Appropriate Species	
Small Deciduous Tree	25 feet or less	1½ inch trunk diameter or 4 feet tall	60	Flowering crabapple	<i>Malus</i> spp.
				Japanese tree lilac	<i>Syringa reticulata</i>

Figure 5: Trees Appropriate for Screening

Category of Plant	Expected Mature Height	Minimum Size at Time of Planting	Landscaping Points for Each Plant	Examples of Appropriate Species for Screening	
Evergreen Tree	Usually > 10 feet	4 feet tall	40	Firs	<i>Abies</i> spp.
				Eastern red cedar	<i>Juniperus virginiana</i>
				Spruces	<i>Picea</i> spp.
				Pines	<i>Pinus</i> spp.
				Douglas fir	<i>Pseudotsuga menziesii</i> var. <i>glauca</i>
				Arborvitae	<i>Thuja occidentalis</i>
				Eastern hemlock	<i>Tsuga canadensis</i>

Figure 6: Salt Tolerant Plants

Category of Plant	Expected Mature Height	Minimum Size at Time of Planting	Landscaping Points for Each Plant	Examples of Appropriate Species for Salt Sensitivity	
Large Deciduous Tree	Greater than 25 feet	2 inch trunk diameter (1½ inch for street trees)	150	maple	
				sweet gum	
Small Deciduous Tree	25 feet or less	1½ inch diameter or 4 feet tall	60	crabapple	
				crape myrtle	
				dogwood	
Evergreen	Usually	4 feet tall	40	American holly	

Category of Plant	Expected Mature Height	Minimum Size at Time of Planting	Landscaping Points for Each Plant	Examples of Appropriate Species for Salt Sensitivity
Tree	> 10 feet			yew
Shrub (deciduous or evergreen)	Usually less than 10 feet	2 feet in height or 2 gallon pot	20	azalea barberry boxwood forsythia rhododendron spirea

Figure 7: Plant Species to Use Sparingly or Avoid

Category of Plant	Species to Use Sparingly	Species To Avoid	Reason to Avoid	Good Alternative
Large Deciduous Tree	Maple	Any ash (fraxinus)	Emerald ash borer	
	Basswood/linden	Non-resistant elms	Dutch elm disease	Resistant elms
	Honeylocust	Boxelder	Spread quickly	
		Maples (Freeman/Autumn Blaze)	Over-planted	
		Maples, Norway	Over-planted, dense	
		Maples, red	Prefer acidic soil	
		Maples, sugar	Thrives only in certain conditions; picky	
		Bradford pears	Poorly branched, tend to break	Chanticleer pear
		White mulberry	Invasive, non-native	
Small Deciduous Tree		Buckthorns	Invasive, non-native	
		Autumn-olive	Invasive, non-native	
Evergreen Tree	Blue spruce White pine White spruce	Austrian pine	Over-planted	

Category of Plant	Species to Use Sparingly	Species To Avoid	Reason to Avoid	Good Alternative
Shrub (deciduous or evergreen)		Spirea japonica	Invasive (re-seed)	Ninebark 'nanus'
		Prunus x cistena (purple sandcherry)	Short-lived	Purple ninebarks
		Burning bush (euonymus)	Invasive, non-native	
		Honeysuckle	Invasive, non-native	
		Multiflora rose	Invasive, non-native	

Descriptions and Standards for Rain Gardens and Bioswales

Rain gardens and bioswales can serve both as landscaping and stormwater management features on a building site, where appropriately designed and sited.

A rain garden is a shallow, depressed garden that is designed and positioned on a site to capture stormwater runoff and allow for the infiltration of water back into the ground. Rain garden plants are carefully chosen for their ability to withstand moisture extremes and potentially high concentrations of nutrients and sediments that are often found in stormwater runoff. A well designed and maintained rain garden serves as an attractive component of an overall landscaping plan for a development site.

A bioswale is a linear, vegetative stormwater runoff conveyance system that is designed to store and infiltrate water from small storm events back into the ground and direct water from heavy rain events to appropriate storm sewer inlets or other management facilities. The flow of water being conveyed through a bioswale is slowed down, allowing for municipal storm systems to more effectively manage heavier rain events and help reduce the risk of flooding on or off-site. Water being infiltrated or conveyed via a bioswale is also filtered by the vegetation within it, generally improving both ground and surface water quality.

The installation of a rain garden or bioswale may contribute to the overall stormwater management plan for a development site and count toward meeting the City's landscaping guidelines in the same manner as that presented for "perennial planting bed" in Figure 3 above (20 points for every 20 sq. ft.), provided that:

1. Detailed plans are provided that show all proposed dimensions of the rain garden including length, width, depth, and slope of depression; location of the rain garden on the lot relative to hard-surfaced areas, downspouts, and site topography; characteristics of the soil underlying the rain garden or bioswale; description of planting media; the species, number, and size at time of installation of all vegetation proposed for the rain garden or bioswale; and information on any other materials (e.g., rocks) that will be used to line the raingarden or bioswale.

2. Installation is not proposed for areas where there is known soil contamination unless the rain garden is proposed to be constructed with an under-drain; where the characteristics of the soil would not allow for the proper infiltration of water into the ground; or where there are expected high levels of foot traffic.
3. The owner can demonstrate that the rain garden or bioswale will be properly maintained; kept free of trash, weeds debris, and dead or dying plants; any pipes associated with the garden will be inspected on an annual basis and kept free of debris; and by the beginning of every spring dead plant materials will be cut back or removed.
4. Bioswales and rain gardens must be generously (and appropriately) vegetated to qualify for landscaping points. Bioswales and rain gardens (or portions thereof) that are lined with turf and/or rocks but do not include other vegetation will not qualify for landscaping points.
5. To serve as a component of an overall stormwater management plan for a site, detailed plans, calculations, and specifications meeting the City's stormwater management ordinance are provided. Detailed plans should include the location and description of all other stormwater management facilities serving the site, particularly those to which any bioswale will be directed.

For further information on rain garden and bioswale design, see *Rain Gardens: A How-To Manual for Homeowners*, which is available from County UW-Extension offices, Cooperative Extension Publications, DNR Service Centers, and online at <http://clean-water.uwex.edu/pubs/pdf/home.rgmanual.pdf> and *Design Guidelines for Stormwater Bioretention Facilities*, which is available from the Communications Office of the State of Wisconsin Aquatic Sciences Center and online at <http://aqua.wisc.edu/publications/PDFs/stormwaterbioretention.pdf>.

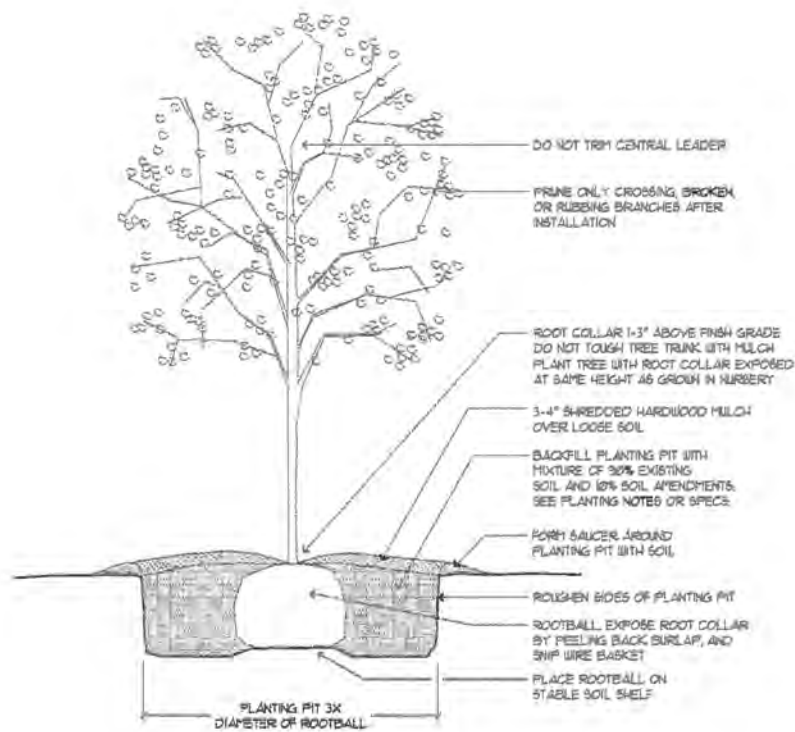
General Installation and Maintenance for Landscaping and Bufferyards

Landscaping must be installed using landscape contracting industry standards available from landscape designers and nurseries. These include proper soil conditioning, removing any packing materials including wire cages, burlap, and string, and the placement of the root collar at or slightly above grade. A 6-foot bark mulch radius around a tree is ideal, with the mulch no thicker than 4 inches in general and tapered to a depth of 1 inch at the base of the tree (the classic saucer shape). Rock mulch is discouraged around all planting areas. Figure 8 suggests proper planting and maintenance techniques for deciduous trees; techniques for evergreen trees and shrubs vary slightly, but the basic principles are similar.

All landscaping must be installed prior to building occupancy or operations, unless doing so would result in unsatisfactory plant survival. In this case, the City requires a site improvement deposit until landscaping is installed according to plan.

All required landscaping should be continually maintained in a live state to meet its original function (e.g., screen plants not overly pruned). Maintenance must include replacement of dead or dying plants, regardless of when the plant dies. Replacement should occur within the same year in which a plant dies or the next spring.

Figure 8: Deciduous Tree Planting Standard





LANDSCAPE DESIGN GUIDELINES AND STANDARDS

REVISED January 29, 2025



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Landscape Guidelines

The Plan and Architectural Review Commission reviews site and landscape plans for all new and expanded commercial, industrial, institutional, and multiple family housing projects. Landscaping beautifies the property and City, buffers land uses and unattractive structures, increases property values, conserves energy, and helps clean the air and water. The Commission adopted the following guidelines to assist developers, builders, and property owners in meeting the expectations for landscaping. The use of the term “must” below, reflects zoning ordinance requirements that are mandatory.

Required Components of a Landscape Plan

- A scale (e.g. 1 inch = 50 feet), a north arrow, a date, and an accurate representation of site conditions (e.g. property dimensions should be correct with all features drawn to scale).
- All areas to be left in green space and how they will be covered (e.g. grass, mulch, native vegetation).
- All trees over 4-inch caliper to be removed or portions of woods with such trees that are proposed for removal.
- All existing trees that are over 4-inch caliper or edges of woods with such trees.
- All existing trees and other plantings proposed to remain on site after construction, including proposed locations for barrier fencing or other ways to ensure their preservation.
- Location, species, size at time of planting, and size at maturity for proposed landscape plants.
- Adjacent streets, existing and proposed buildings, parking lots, loading areas, dumpsters, existing or proposed grades, outdoor storage areas, and mechanical units and utilities in relation to proposed plantings.
- Name, address, and phone number of both the person who prepared the plan and the property owner.

For simple projects, the Landscape Plan may be included on a map that also shows other proposed site improvements, like proposed buildings, signs, lighting, utilities, and grading.

Treatment of Existing Vegetation

Pre-existing landforms, terrain, and vegetation should be preserved as much as practical. This may be achieved by minimizing building construction and site modifications in areas not essential to project development. High quality, mature, and native trees and hedges should be retained where practical and should not be removed to facilitate commercial signage. Preservation of existing vegetation will reduce expectations for new landscaping, while major removal of existing vegetation may result in expectations for new landscaping greater than what guidelines normally suggest. In general, where large, high quality trees are proposed for removal on a landscape plan, the equivalent diameter of new trees should also be included in the plan (e.g. one maple with a 12-inch diameter trunk removed = planting of four 3-inch diameter hardwood canopy trees). Similarly, mature trees identified for preservation in the approved Landscape Plan but subsequently lost should be replaced by new trees of similar total diameter.

Mature trees identified for preservation on a Landscape Plan should be protected during construction by not allowing grading or equipment or vehicle storage in these areas and by making all contractors aware of the preservation requirements. During construction, barrier fencing should generally be placed at the Critical Root Zone (CRZ) of the tree, as defined as a radius equivalent to 1.5 feet for every inch in trunk Diameter at Breast Height (DBH). For example, a tree with a trunk diameter of 12 inches has a Critical Root Zone radius of 18 ft.

The Urban Forestry Management Plan available from the City's Parks, Recreation and Forestry Department contains additional preservation guidance (see particularly the City's Terrace Tree Protection Guideline).

Recommended Locations and Amount of New Landscaping

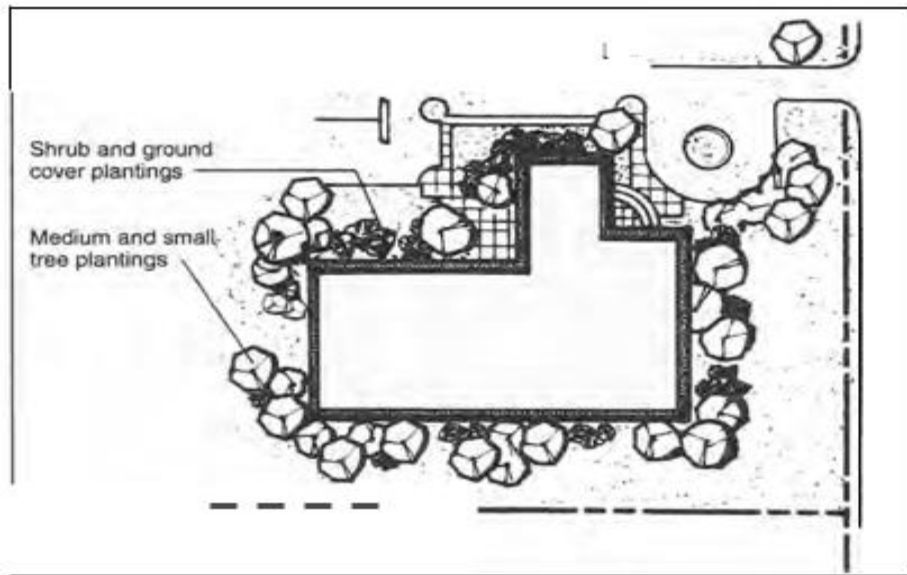
New Landscaping planting should be provided on different parts of the site, as advised below;

1. **Street Frontages.** One deciduous tree must be planted for each 35 feet along each side of a street right of way, except where a clustered or wider spacing is allowed by the City Forester where traffic visibility, street lights, or utilities would be negatively affected. Street trees should be planted midway between the sidewalk and curb, or within 15 feet of the property line adjoining the street, but only if space is not available between the sidewalk and curb. Plantings may also be appropriate in any boulevard included in development plans. Street tree species should be approved by City Forester prior to installation, and should be based generally upon the information provided in Figures 3 below.
2. **Paved Areas.** One large deciduous tree and 60 points of additional landscaping (see Figure 3. Appropriate Plant Species and Sizes) should be planted for each 1,500 square feet of paved area, which is about the same amount of space required for five parking spaces plus a driveway. Plants should be installed in landscaped islands within the paved area of within 15 feet of the edges of the paved area. Landscaped islands or peninsulas must be provided at the end of every parking row, and interior islands should be provided for every 20 parking spaces in non-industrial projects. Species selection for paved area plantings is particularly important to ensure salt and snow tolerance (see Figure 3), proper growth habit and branch height, avoidance of messy fruit or other litter from the tree, and maintenance of good visibility within parking lots.

Figure 1: Parking Lot Landscaping Example



3. **Building Foundations.** 160 points of landscaping (see Figure 3) should be planted for each 100 lineal feet of exterior building wall that is visible from public right of way and adjoining sites. The graphic on the following page provides an example of building landscaping. Plants required by this section should be installed within 20 feet of the building foundation and generally should not include large deciduous trees.
4. **Landscaped Buffer Yards.** The City requires installation of a landscape buffer yard;
 - In yards where a B-1, B-3. or M-1 zoning district abuts a residential use or zoning districts;
 - Where off-street parking areas for five or more vehicles are within 15 feet of lot line, except where the next-door lot also contains parking within that same distance, and;
 - Where lots in a new residential subdivision back onto a proposed major street.

Figure 2: Building Foundation Planting Example

The minimum width of a landscaped buffer yard is 10 feet (30 feet where subdivision lots back onto a major street), not including the area between the sidewalk and street curb. Buffer yards are generally required to be landscaped with two large deciduous trees, five small deciduous and/or evergreen trees, and twelve shrubs for every 100 feet of buffer yard length. The Plan Commission may instead approve substitute landscaping, a berm, an opaque fence or wall, or some combination. Fences or walls should generally not be used in street yards and must not be more than six feet tall in residential zoning districts and 10 ft tall in non-residential districts. A berm is a mound of soil surfaced with a landscape ground cover, generally three to six feet above the surrounding grade and preferably of an undulating or otherwise visually interesting layout.

5. **General Yard Areas.** In other parts of the site, 200 additional points of landscaping (see Figure 3) should be planted for each 5,000 square feet of total site area. Most general yard area landscaping should be located in street facing yards. Except for approved natural areas, general yard areas should be seeded. Slopes should be a maximum of three vertical feet for every one horizontal foot. Where retaining walls are necessary, they should be designed to be less than 10 feet in height and constructed with stone or block, or terraced if the grade change is 10 feet or more.

6. **Screening.**

Dumpsters, outside storage area, loading docks, vending machines, and large or unsightly mechanical utility, or telecommunication units should be enclosed by a fence, wall, and /or landscaping designed to provide a total visual screen from public right of way and adjacent properties. Screening fences and walls surrounding outdoor storage areas should generally be between six and eight feet tall, while fences and walls designed to screen other areas should generally be between four and six feet tall. Future trimming of screen planting that limits their capacity to provide a total visual screen is not permitted. The base of freestanding signs- monuments and pylon signs- should also be landscaped. Low level plantings should be selected in sign areas.

7. **Vision Triangles and Easements.** No parts of plantings within 10 feet of ground level may extend over any public right of way. No new landscape plantings with a mature height over two and one-half feet or with branches at maturity that will be less than 10 feet may be placed in vision triangles near street intersections (see Section 19.51.010 of zoning ordinance in order to measure extent of vision triangle). Planting in utility easements is at risk of the property owner and may be subject to restrictions associated with the easement. Tree plantings should generally be at least 20 feet from street lights, 10 feet from hydrants, and six feet from gas and water valves.

Recommended Sizes and Species of New Landscaping

Figure 3 indicates the points that may be obtained for each plant within the five different categories of landscape plantings; Large deciduous tree, small deciduous tree, evergreen tree, shrub and perennial planting bed. When added together, the points obtained from each plant depicted in a Landscape Plan may be used to determine whether the landscaping point guidelines above are being met. Figure 3 also provides a starting point for potential plant species selection within each of the five categories of plantings.

Figure 3 includes examples of appropriate tree and shrub species for different, unique applications. These include trees appropriate for placement under power lines. The following plants are a guide and not all inclusive; other trees and plantings may be approved by City Forester.

For more information in selecting plants:

<https://hort.extension.wisc.edu/article-topic/deciduous-selection/>

For more information on prohibited plantings:

<https://dnr.wisconsin.gov/topic/Invasives/RegulatedSpecies>

Figure 3
Approved Street Tree List

STREET NAME	BOTANICAL NAME	HEIGHT	WIDTH	POINTS
Aspen				
Quaking	Populus tremuloides	40-50	20-30	165
Buckeye				
Yellow	Aesculus Flava	60-75	30-50	150
Coffeetree				
Espresso Kentucky	Gymnocladus dioicus 'Espresso'	50	35	150
Kentucky	Gymnocladus dioicus	50-60	50-60	165
Cypress				
Bald	Taxodium distichum	50-70	20-30	150
Shawnee Brave Bald	Taxodium distichum 'Mickelson'	50	15-20	150
Elm				
Princeton	Ulmus americana 'Princeton'	60-80	40-60	150
Valley Forge	Ulmus americana 'Valley Forge'	80	60	150
Ginko				
Autumn Gold	Ginko biloba 'Autumn Gold'	40-50	25-30	150
Magyar	Ginko biloba 'Magyar'	40-50	20-25	150
Princeton Sentry	Ginko biloba 'Princeton Sentry'	40-50	15-20	150
Gum				
Black	Nyssa sylvatica	30-50	20-30	165
Hackberry	Celtis Occidentalis	40-60	40-60	165
Linden				
Boulevard American	Tilia americana 'Boulevard'	60	25	150
Sweet Street	Tilia americana 'Kromm'	50	25	150
Honey Locust	Gleditsia triacanthos	40-50	30-40	150
Maple				
Celebration	Acer x freemanii 'Celzam'	40-50	20-35	150
Sienna Glen	Acer x freemanii 'Sienna'	40-50	35-40	150
Sugar	Acer saccharum	50-75	50	165
Oak				
Burr	Quercus macrocarpa	70-80	75-90	165
Chinkapin	Quercus muehlenbergii	50-60	50-60	165
White Oak	Quercus alba	50-80	100	165
Red	Quercus rubra	60-75	60-75	165
Planetree				
Exclamation London	Platanus x acerifolia 'Morton Circle'	60	45	150

Minimum size at time of planting - 2-inch trunk

Diameter measure at 4ft. up

Approved Large Area Tree List

STREET NAME	BOTANICAL NAME	HEIGHT	WIDTH	POINTS
Aspen				
Quaking	Populus tremuloides	40-50	20-30	165
Basswood				
American	Tilia americana	75-130	23-35	165
Beech				
American	Fagus grandifolia	60-75	55-65	165
Birch				
Paper	Betula papyrifera	50	35	165
River	Betula nigra	40-70	40-60	165
Yellow	Betula alleghaniensis	40-60	40-50	165
Buckeye				
Yellow	Aesculus Flava	60-75	30-50	150
Butternut	Juglans cinerea	40-60	40-60	165
Coffeetree				
Kentucky	Gymnocladus dioicus	50-60	50-60	165
Cypress				
Bald	Taxodium distichum	50-70	20-30	150
Shawnee Brave Bald	Taxodium distichum 'Mickelson'	50	15-20	150
Elm				
Princeton	Ulmus americana 'Princeton'	60-80	40-60	150
Valley Forge	Ulmus americana 'Valley Forge'	80	60	150
Ginko				
Autumn Gold	Ginko biloba 'Autumn Gold'	40-50	25-30	150
Magyar	Ginko biloba 'Magyar'	40-50	20-25	150
Princeton Sentry	Ginko biloba 'Princeton Sentry'	40-50	15-20	150
Gum				
Black	Nyssa sylvatica	30-50	20-30	165
Moraine Sweet	Liquidambar styraciflua 'Moraine'	40-45	25-30	150
Hackberry	Celtis Occidentalis	40-60	40-60	165
Hickory				
Shagbark	Carya ovata	80	40	165
Katsura	Cercidiphyllum japonicum	40-60	20-35	150
Linden				
American Sentry	Tilia americana 'McKSentry'	50-60	20-25	150
Honey Locust	Gleditsia triacanthos	40-50	30-40	150
Maple				
Red	Acer rubrum	40-60	40-60	165
Sienna Glen	Acer x freemanii 'Sienna'	40-50	35-40	150

Sugar	Acer saccharum	50-75	50	165
Magnolia				
Cucumbertree	Magnolia acuminata	50-80	35-60	150
Oak				
Black	Quercus Velutina	50-60	50-60	165
Burr	Quercus macrocarpa	70-80	75-90	165
Chinkapin	Quercus muehlenbergii	50-60	50-60	165
White	Quercus alba	50-80	100	165
Red	Quercus rubra	60-75	60-75	165
Planetree				
Exclamation London	Platanus x acerifolia 'Morton Circle'	60	45	150
Redwood				
Dawn	Metasequoia glyptostroboides	75-100	15-25	150
Sycamore				
American	Platanus occidentalis	70-90	80	165
Tuliptree	Liriodendron tulipifera	70-80	35-45	150
Yellowwood	Cladrastis kentukea	30-50	40-50	165

Minimum size at time of planting
2-inch trunk diameter measures 4 ft. up

Approved Medium-Small Street Tree List

STREET NAME	BOTANICAL NAME	HEIGHT	WIDTH	POINTS
Buckeye				
Early Glow	Aesculus glabra 'J.N. Select'	35	35	60
Mystic Ruby	Aesculus x bushii 'Aaron#1'	30-35	15-20	60
Cockspur Hawthorn Thornless	Crataegus Crus-galli var. inermis	20-30	25-35	75
Crabapple				
Crab	Non-native			60
Prairie	Malus ioensis	15-20	15-20	75
Elm				
New Horizon	Ulmus 'New Horizon'	30-40	15-25	60
Ironwood	Ostrya virginiana	25	15	75
Lilac				
Ivory Silk Japanese	Syringa reticulata subsp. Reticulata	25	15	60
Maple				
Paper Barked	Acer griseum	20-30	20-30	60
State Street Miyabe's	Acer miyabei 'Morton'	50	40	60
Magnolia				
Royal Star	Magnolia stellata 'Royal Star'	10-15	10-15	60
Musclewood	Carpinus caroliniana	25-30	25-30	75
Red Bud, Eastern	Cercis canadensis	20-30	25-35	75
Serviceberry				
Allegheny	Amelanchier laevis	25	15	75
Apple	Amelanchier x grandiflora	25-30	25-30	75
Autumn Brilliance	Amelanchier x grandiflora 'Autumn Brilliance'	20-25	20-25	60

Minimum size at time of planting
1 1/2-inch trunk diameter measured at 4 ft. up

Approved Medium-Small Off-Street Tree List

STREET NAME	BOTANICAL NAME	HEIGHT	WIDTH	POINTS
Buckeye				
Early Glow	Aesculus glabra 'J.N. Select'	35	35	60
Mystic Ruby	Aesculus x bushii 'Aaron#1'	30-35	15-20	60
Crabapple				
Crab	Non-native			60
Prairie	Malus ioensis	15-20	15-20	75
Dogwood				
Golden Glory	Cornus mas 'Golden Glory'	15-25	15-25	60
Pagoda	Cornus alternifolia	15-25	15-25	75
Elm				
New Horizon	Ulmus 'New Horizon'	30-40	15-25	60
Ironwood	Ostrya virginiana	25	15	75
Lilac				
Ivory Silk Japanese	Syringa reticulata subsp. reticulata	25	15	60
Maple				
Paper Barked	Acer griseum	20-30	20-30	60
Striped	Acer pensylvanicum	20	15	60
Magnolia				
Royal Star	Magnolia stellata 'Royal Star'	10-15	10-15	60
Musclewood	Carpinus caroliniana	25-30	25-30	75
Red Bud, Eastern	Cercis canadensis	20-30	25-35	75
Serviceberry				
Allegheny	Amelanchier laevis	25	15	75
Apple	Amelanchier x grandiflora	25-30	25-30	75
Autumn Brilliance	Amelanchier x grandiflora 'Autumn Brilliance'	20-25	20-25	60
Seven Son Flower	Heptacodium miconioides	15-20	8-15	60

Minimum size at time of planting
1 1/2-inch trunk diameter measured 4 ft. up

Approved Native Conifer Tree List

COMMON NAME	BOTANICAL NAME	HEIGHT	WIDTH	POINTS
Balsam fir	Abies balsamea	40-60	15-25	55
Growth narrow, conical				
Eastern red cedar	Juniperus virginiana	30-40	8-20	55
Growth tree form				
Tamarack	Larix laricina	30-50	10-15	55
Growth conical, upright				
Northern white cedar	Thuja occidentalis	20-30	10-15	55
Growth tree form				
Canadian hemlock	Tsuga canadensis	20-45	15-25	55
Growth dense, conical				
Eastern white pine	Pinus strobus	50-80	20-40	55
Pyramidal in youth				
White spruce	Picea glauca	40-60	10-20	55
Broad, conical				
Jack pine	Pinus banksiana	35-50	20-30	55
Upright				
Black spruce	Picea mariana	20-50	20-30	55
Upright, narrow, conical				
Red pine	Pinus resinosa	50-80	20-25	55
Tree form				

All other Evergreens				40

Approved Landscape Plants

NATIVE - HERBACIOUS				
COMMON	LATIN	HEIGHT	BLOOM COLOR	POINTS
Lavender Hyssop	Agastache foeniculum	2-4'	Purple	
Nodding Onion	Allium cernuum	18"	Pink	
Sullivant's Milkweed (Prairie)	Asclepias sullivantii	3-5'	Pink	
Butterfly Milkweed	Asclepias tuberosa	2'	Orange	
New England Aster	Aster novae-angliae	5'	Purple/Pink	
Canada Milk Vetch	Astragalus canadensis	1-3'	Cream	
White Wild Indigo	Baptisia alba	4'	White	
Blue Wild Indigo	Baptisia australis	3-5'	Blue	
Cream False Indigo	Baptisia bracteata	1-2'	Cream	
Yellow Wild Indigo	Baptisia tinctoria	2-3'	Yellow	
Downy Wood Mint	Blephilia cilata	1-2'	Purple	
Pale Purple Coneflower	Echinacea pallida	3-5'	Purple	
Purple Coneflower	Echinacea purpurea	3-4'	Purple	
Rattlesnake Master	Eryngium yuccifolium	4'	White/Green	
Early Sunflower	Helianthus helianthoides	3-5'	Yellow	
Prairie Alumroot	Heuchera richardsonii	2'	Green	
Round Headed Bush Clover	Lespedeza capitata	4'	White	
Rough Blazing Star	Liatris aspera	2-5'	Purple	
Michigan Lilly	Lilium michiganense		Orange	
Wild Bergamot	Monarda fistulosa	2-4'	Lavender	
Eastern Prickly Pear Cactus	Opuntia humifosa	6"	Yellow	
Wild Quinine	Parthenium integrifolium	4'	White	
Smooth Penstemon	Penstemon digitalis	1-3'	White	
Large Flowered-Penstemon	Penstemon grandiflorus	1-3'	Lavender	
Compass Plant	Silphium laciniatum	8'	Yellow	
Rosin Weed	Silphium integrifolium	4-6'	Yellow	
Spiderwort	Tradescantia ohiensis	2-4'	Blue	
Hoary Vervain	Vergenea stricta	2-4'	Blue	
NATIVE - GRASSES/SEDGES				
River Oats/Northern Sea Oats	Chasmanthium latifolium	3-4'	Grass	
Little Blue Stem	Schizachyrium scoparium	2-3'	Grass	
Prairie Dropseed	Sporobolus heterolepis	2-3'	Grass	

Side Oats Gramma	Bouteloua curtipendula	1-3'	Grass	
NATIVE - SMALL SHRUBS				
White Snowberry	Symphoricarpos albus	3-5'	White	35
Black Chokeberry	aronia melanocarpa	3-6'	White	35
Juneberry	amelanchier alnifolia	4-15'	White	35
Running Serviceberry	Amelanchier stolonifera	3-5'	White	35
Northern Bush Honeysuckle	Diervilla lonicera	1-3'	Yellow	35
Pasture Rose	Rosa carolina	2'	Pink	35
New Jersey Tea	Ceanothus americanus	3'	White	35
Shrubby St. John's Wort	Hypericum prolificum	4'	Yellow	35
Sweet Fern	Comptonia peregrina	2-5'	Green/Bronzey Brown	
Lead Plant	Amorpha canescens	3'	Purple	35
Shrubby Cinquefoil (Potentilla)	Dasphora fruticosa	204'	Yellow	35
All other shrubs				20

Minimum size at time of planting
2 feet in height or 2-gallon pot

Descriptions and Standards for Rain Gardens and Bioswales

Rain gardens and bioswales can serve both as landscaping and stormwater management features on a building site, where appropriately designed and sited.

A rain garden is a shallow, depressed garden that is designed and positioned on a site to capture stormwater runoff and allow for the infiltration of water back into the ground. Rain garden plants are carefully chosen for their ability to withstand moisture extremes and potentially high concentrations of nutrients and sediments that are often found in stormwater runoff. A well designed and maintained rain garden serves as an attractive component of an overall landscaping plan for a development site.

A bioswale is a linear, vegetative stormwater runoff conveyance system that is designed to store and infiltrate water from small storm events back into the ground and direct water from heavy rain events to appropriate storm sewer inlets or other management facilities. The flow of water being conveyed through a bioswale is slowed down, allowing for municipal storm systems to more effectively manage heavier rain events and help reduce the risk of flooding on or off-site. Water being infiltrated or conveyed via a bioswale is also filtered by the vegetation within it, generally improving both ground and surface water quality.

The installation of a rain garden or bioswale may contribute to the overall stormwater management plan for a development site and count toward meeting the City's landscaping guidelines in the same manner as that presented for "perennial planting bed" in Figure 3 above (20 points for every 20 sq. ft.), provided that:

1. Detailed plans are provided that show all proposed dimensions of the rain garden including length, width, depth, and slope of depression; location of the rain garden on the lot relative to hard-surfaced areas, downspouts, and site topography; characteristics of the soil underlying the rain garden or bioswale; description of planting media; the species, number, and size at the time of installation of all vegetation proposed for the rain garden or bioswale; and information of any other materials, (e.g., rocks) that will be used to line the rain garden or bioswale.
2. Installation is not proposed for areas where there is known soil contamination unless the rain garden is proposed to be constructed with an under-drain; where the characteristics of the soil would not allow for the proper infiltration of water into the ground; or where there are expected high levels of foot traffic.
3. The owner can demonstrate that the rain garden or bioswale will be properly maintained; kept free of trash, weeds debris, and dead or dying plants; any pipes associated with the garden will be inspected on an annual basis and kept free of debris; and by the beginning of every spring dead plant materials will be cut back or removed.
4. Bioswales and rain gardens must be generously (and appropriately) vegetated to qualify for landscaping points. Bioswales and rain gardens (or portions thereof) that are lined with turf and/or rocks and do not include other vegetation will not qualify for landscaping points.

5. To serve as a component of an overall stormwater management plan for a site, detailed plans, calculations, and specifications meeting the City's stormwater management ordinance are provided. Detailed plans should include the location and description of all other stormwater management facilities serving the site, particularly those to which any bioswale will be directed.

For further information on rain garden and bioswale design:

<https://dnr.wisconsin.gov/sites/default/files/topic/Stormwater/RainGardenManualPrint.pdf>

General Installation and Maintenance for Landscaping and Buffer Yards

Landscaping must be installed using landscape contracting industry standards available from landscape designers and nurseries. These include proper soil conditioning, removing any packing materials including wire cages, burlap, and string, and the placement of the root collar at or slightly above grade. A six-foot bark mulch radius around a tree is ideal, with the mulch no thicker than four inches in general and tapered to a depth of one inch at the base of the tree (the classic saucer shape). Rock mulch is discouraged around all planting areas. Figure 4 shall be proper planting and maintenance techniques for deciduous trees; techniques for evergreen trees and shrubs vary slightly, but the basic principles are similar.

All landscaping must be installed prior to building occupancy or operations, unless doing so would result in unsatisfactory plant survival. In this case, the City requires a site improvement deposit until landscaping is installed according to the plan.

All required landscaping should be continually maintained in a live state to meet its original function (e.g., screen plants not overly pruned). Maintenance must include replacement of dead or dying plants, regardless of when the plant dies. Replacement should occur within the same year in which a plant dies or the next spring.

Tree Watering Guidelines

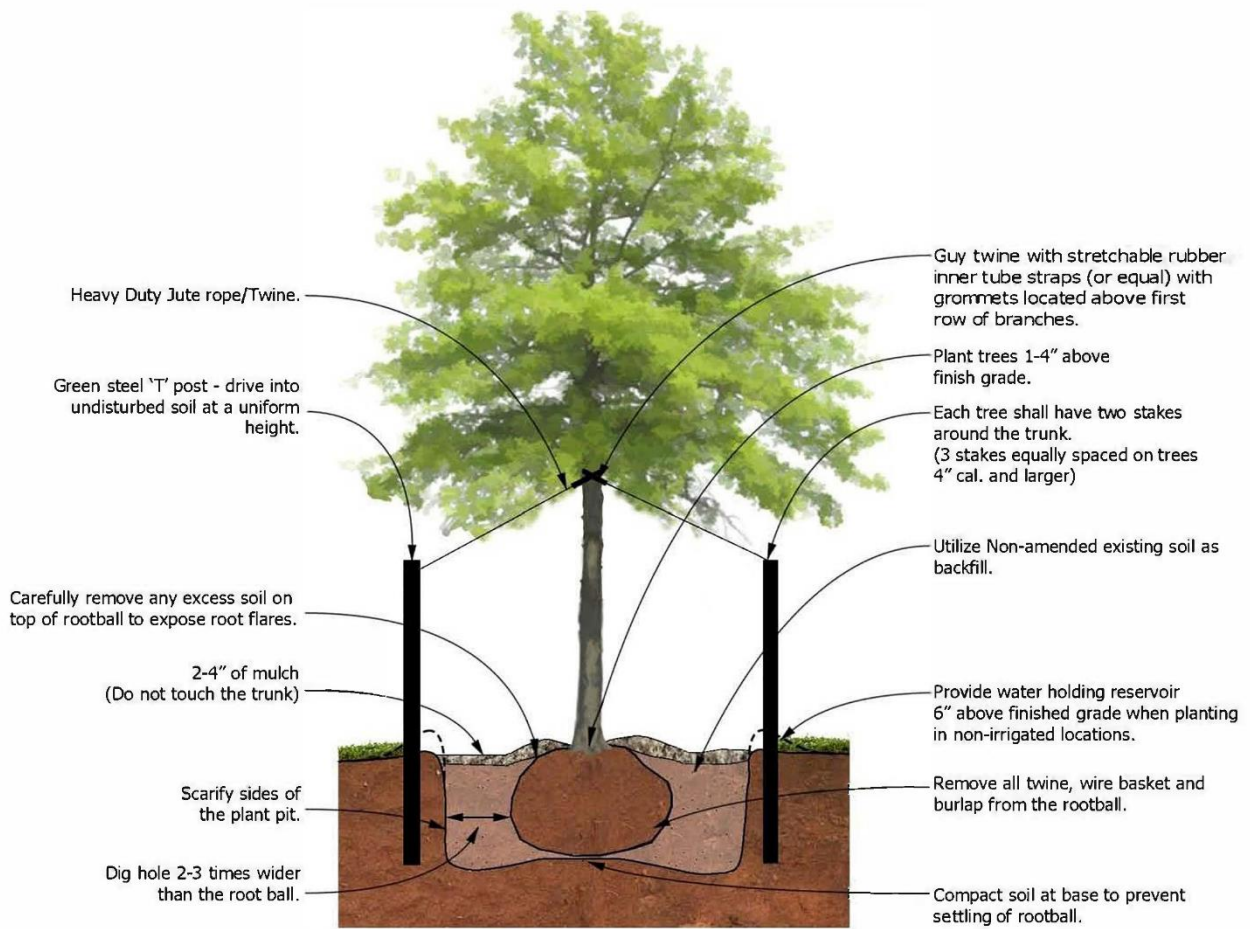
Watering your tree gradually and deeply will ensure that your tree thrives. Apply water slowly and evenly to the tree's root zone, saturating the soil to a depth of 12-18 inches. Use the guidelines below to help determine the specific watering needs of your tree.

Watering guidelines for young trees (0-5 years)



Tree Age	Frequency	Quantity	Drip* & Sprinkler*** Run Time
Three days after planted	Fill the watering basin 3 times, using a total of 15-20 gallons	15-20 gallons	Hand watering best at this stage
First three weeks after planting	Fill the watering basin once a week	5-10 gallons	Drip & Bubbler run time: Depends on flow rate
Two – Six months following planting	Fill the watering basin every week or every other week	10-15 gallons	Drip & Bubbler run time: Depends on flow rate
Remainder of first year	Water every other week in absence of soaking rain	10-15 gallons	Drip & Bubbler run time: Depends on flow rate
Year Two	Every two to four weeks when rain is scarce	15-20 gallons	Drip & Bubbler run time: Depends on flow rate
Year Three-Five	Once a month	20-30 gallons	Drip & Bubbler run time: Depends on flow rate

Figure 4: Deciduous Tree Planting Standard



SCORING LANDSCAPING PROPOSALS

IMPORTANT: ADDITIONAL DOCUMENT (INCLUDING MAP) NEEDED DETAILING PRE-DEVELOPMENT CONDITIONS, SOILS AND VEGETATION - POINTS ASSIGNED FOR MATURE TREES 4" CALIPER AND OVER AND NOTABLES)

REQUIRED FOR PLANS

Scale: North, Arrow, Date, Accurate Representation of Conditions

Inventory: Removed Tree over 4" caliper, and their associated woodlands, Existing Trees over 4" caliper

All trees and other plantings are to remain and must be protected in construction

Record: Large, high quality trees proposed for removal: Note: Equivalent diameter should be included in plan showing replacement of trees of similar quality and equivalent total diameter (4 x 4 diameter hardwood to replace 1 x 12 diameter hardwood either removed or lost in construction.

Green space: specify coverage - report mulch, etc.

Calculations may be completed by filling in the Orange Square below. All measurements in feet.

PAVED AREA				
Length	Width	Total Area	Required Points	NOTE: 1500 sq. ft. = 5 parking places plus driveway. Tree islands each end of 20 parking spaces (4 trees) same
1	98174	98174	3927	

FOUNDATION AREA				
Length	Width	Total Area	Required Points	160 points per 100 lineal feet for appropriate plantings within 20 feet of visible foundation (shrubs, groundcover, medium and small trees)
1	98174	98174	3927	

BUFFER				
Length	Width	Total Area	Required Points	160 points per 100 lineal feet for appropriate plantings within 20 feet of visible area (shrubs, groundcover, medium and small trees)
1	98174	98174	3927	

GENERAL YARDS				
Length	Width	Total Area	Required Points	
1	98174	98174	3927	

STREET Frontage & Total Trees Requirements				
	Street Frontage Length	Footage Per Length	Number of Trees per Street	Points Gained
Large Trees		35		0
Native Large Trees		45		0
Small Tree		35		0
Native Small Tree		45		0
POINTS PER PLANT Do not count the above Street Frontage Tree Requirements				

Type	Size	Point	Number	Total
Large Deciduous	Equal to or greater than 25 ft. 2" diameter @ chest	150		
Native	Equal to or greater than 25 ft. 2" diameter @ chest	165		
Small Deciduous	Less than 25 ft. 2" diameter @ chest	60		
Native	Less than 25 ft. 2" diameter @ chest	75		
Evergreen	10 to 4 feet tall	40		
Native	10 to 4 feet tall	55		
Shrub	2 foot or 2 gallons	20		
Native	2 foot or 2 gallons	35		
Perennial	20 points for 20 sq. ft.	20		
Native	20 points for 20 sq. ft.	35		
Note: Use with Whitewater Landscaping Guideline AND Nowak, M. Beyond the Bird Feeder, WSObirds.org		Number of Overall Points		

TOTAL REQUIRED	6167
-----------------------	-------------

TOTAL POINTS PER PROPOSED PLAN	
---------------------------------------	--

If the minimum number of points cannot be met, the applicant may have the option to donate the difference to the Whitewater Tree Fund. Each point that is not met will be the equivalent of \$50.00.	
--	--

Nuisance Wildlife Guidelines

General Guidelines and Definitions:

- **Landowner**: The owner or occupant of any land, and any member of his or her family, may hunt or trap without license and subject to all other restrictions except seasons, hunt or trap on their own property for coyotes, beavers, foxes, raccoons, woodchucks, rabbits, and squirrels year-round. However, hunting is not allowed during the 24-hour period immediately preceding the gun deer season and coyotes may not be hunted in that area of the State closed to Coyote hunting during the gun deer season. s. 29.337(1)

- **Landowner Assistant**: All persons assisting a landowner (acting as an agent of a landowner) in the removal of animals causing damage must possess: NR 12.10(3)(c)
- - a. Valid hunting license if shooting the animal or a valid trapping license if trapping the animal.
 - b. Written approval from the landowner.
 - c. Name, address and phone number of landowner.
 - d. Name, address and phone number of person removing wild animals.
 - e. Property location and removal activities.
 - f. Authorized time period of removal, species of animals authorized for removal
 - g. Signature of the landowner or lessee and date.

- **Animal Relocation**: Animals that have been live captured may not be relocated to DNR controlled lands. Persons must have permission from the landowner when relocating animals to private property. NR 12.10(1)(a)3., s. 169.04(2)(a)2.

- **Animal Carcass Care and Disposition**: Fur from fur bearing animals taken during the closed season may be retained by the trapper, landowner or agent and sold **only** if the harvest was authorized by a permit issued by the DNR and retention of the animal is authorized as a condition of the permit. Beaver, coyotes, foxes and raccoons retained by a landowner under s. 29.337, Stats. authority or an assistant trapping with written authorization (as described above) may retain and sell these species during the closed season. All other animals harvested during the closed season by agents of landowners cannot be retained and must be disposed of in a sanitary manner.

- **Trap Tagging Requirement**: Each trap used under a trapping license shall be tagged with a metal tag stamped with the name and address of the owner of the trap.

BEAVER DAMAGE CONTROL

- No permit is needed for landowner, lessee, or agent of landowner to hunt or trap beaver causing damage. NR 10.13(1)(a)1., 29.337(1)
- Landowners, lessee or agent of landowner (see definitions above) may remove a beaver dam. People who are an agent of the landowner must have written authorization by the landowner to remove the dam (see above requirements). NR 12.10(1)(b)(3)
- Only the landowner may set traps on a dam. This privilege cannot be transferred to an agent or employee. The exception to this is when the landowner is a corporation or municipality. In this situation an employee or elected official may set traps on a beaver dam. NR 10.13(1)(b)(5)
- A DNR permit is required to remove a beaver lodge, active or vacant. 29.885, 29.885(2)(b), 29.088(3), NR 10.13(2)(c)

Shooting Beaver

- Must comply with shooting hours (1/2 hour before sunrise to 20 minutes past sunset). NR 10.06(5)
- No artificial lights or shining are allowed. 29.314
- Must have a valid small game or sports license (landowner is exempt – see above). 29.024(1), 29.337(1)

Trapping Beaver

- May not trap with foot traps that have a jaw spread larger than 8 inches at any time and smaller than 5 ½ inches except during the open muskrat/mink season. NR 10.13(1)(b)9, 11
- Traps with teeth must be set underwater at all times. NR 10.13(1)(b)10
- May not trap with conibear type traps that have a jaw spread smaller than 6 ¾ by 6 ¾ inches except during the open muskrat/mink season. NR 10.13(1)(b) 11
- Snares must not exceed 5 feet in length and the diameter of the wire or cable may not exceed 1/8 inch. Each snare must have a relaxing mechanical lock and swivel. NR 10.13(1)(b) 13.b.
- Only residents may assist landowner/occupants and must have a trapping license except that nonresident landowners are exempt and may trap the listed species on there own property without a license. (see above) 29.337

MUSKRATS

- Landowners, occupants, and/or agents may without a permit trap or shoot muskrats that are causing damage to dikes, dams, shoreline or roadways. NR 12.10(1)(b)1(d)
- An agent of the landowner is also required to have a valid hunting/or trapping license when removing these animals (see above for agent requirements). NR 12.10(3)c, 29.024
- A landowner/occupant may solicit an agent to aid in the removal of muskrats when causing damage. NR 12.10(3)(c)

BATS

- Landowners, occupants, and/or agents may trap or shoot bats* that are causing damage. NR 10.04(3)
- Landowner/occupants are not required to have a hunting or trapping license to shoot or trap bats* on their own property. However, an agent of the landowner/occupant is required to have a valid hunting and/or trapping license when removing these animals (see above for agent requirements). NR 12.01(3)(c)
- A landowner/occupant may solicit an agent to aid in the removal of these animals when causing damage. NR 12.10(3)(c)

*The Indiana Bat (*Myotis sodalis*) is classified as an endangered species and is protected. No unauthorized person may shoot/trap this animal. NR 27.03

COYOTE, BEAVER, FOX, RACCOON, WOODCHUCK, RABBIT, SQUIRREL

- Landowners, occupants, and/or agents may trap or shoot these species when causing damage. s. 29.337(1)
- Landowners/occupants are not required to have a hunting or trapping license to shoot or trap these species on their own property, year-round. However, an agent of the landowner/occupant is required to have a valid hunting and/or trapping license when removing these animals (see above for agent requirements). 29.337, 29.024. NR 12.10(1)(b)1.c.
- A landowner/occupant may solicit an agent to aid in the removal of these animals when causing damage. NR 12.10(3)(c)

CROWS, COWBIRDS, GRACKLES, RED-WINGED BLACKBIRDS

- Neither state nor federal permit is required of any person to shoot or trap these birds when committing or about to commit damage upon agricultural crops, livestock, ornamental or shade trees or when constituting a health hazard. NR 12.05
- Landowners, occupants, and agents of a landowner are not required to have a hunting or trapping license for the removal of these birds when causing or about to cause damage.
- NOTE: Any person shooting or trapping the above-mentioned depredating birds shall permit at all reasonable times including during actual operations, any Federal or State agent/warden or other game law enforcement officer free and unrestricted access over the premises on which such operations have been or are being conducted; and shall furnish promptly to such officer whatever information he or she may require, concerning said operations. NR 12.05(2)(b)
- During the migratory bird, gun deer and crow seasons, migratory waterfowl and crow hunting hours apply only during the open season of the above-mentioned depredating birds. Hunting hours do not apply when removing these depredating birds during the closed seasons of migratory waterfowl and crow seasons unless there is an open gun deer season. NR 10.06
- Landowner/occupants may solicit an agent to aid in the removal of these animals when causing or about to cause damage. An agent is not required to have a hunting/trapping license; however, all other agent requirements apply (see above for agent requirements). NR 12.10(3)(c)

UNPROTECTED SPECIES

- Species included: Starling, English (House) Sparrow, coturnix quail, chukar partridge, opossum, skunk, weasel, and all other wild mammals not specifically mentioned in the hunting, trapping, and migratory game bird regulations. NR 10.04
- Landowners/occupants are not required to have a hunting or trapping license to shoot or trap these species, year-round, on their own property if these species are causing damage or nuisance. Agents of the land owner or occupant is required to have a valid hunting and/or trapping license when removing these animals. NR 10.04 Note, NR 12.10(1)(b) & (3)(c)
- Landowners/occupants may solicit an agent to aid in the removal of these animals (see above for agent requirements).
- Unprotected species, coyote, fox and raccoon may be hunted without hunting hour restrictions except:
 - a) During the bow bear and bow deer seasons when all hunting hours apply to all bow hunting. NR 10.06(8)(a)
 - b) During the regular gun deer season, when hunting hours apply to all bow and gun hunting. This restriction does not apply during the muzzleloader deer season. NR 10.06(8)(b)

SNAKES, REPTILES AND AMPHIBIANS

- Generally*, these three groups of animals are classified as unprotected species, however, there is a limit to the number of each species that may be taken or killed. NR 10.04, NR 16.12(3)(b), NR 19.275
- *Timber rattlesnakes, bullsnakes, black rat snakes and the racer snakes are protected and may not be killed, except that a timber rattlesnake may be killed in emergency situations involving an immediate threat to human life or domestic animals. It is requested that each person who kills a rattlesnake under this provision provide to the department no later than 48 hours after the kill, not to include Saturdays, Sundays and holidays, factual information related to the kill including the location, date of the kill and the name and address of the person who killed it. NR 10.02(9), NR 10.02(10)
- Landowners/occupants are required to have a fishing or small game approval to take or kill turtles and may only do so during the open season unless issued a nuisance or damage removal permit. Landowners/occupants are not required to have trapping or hunting license to trap and take or kill most snakes* or amphibians, year-round, on their own property. However, an agent of the landowner/occupant is required to have a small game, fishing and/or trapping license when removing these animals. 29.337, NR12.10(3)(c), NR 19.275(3)(a)
- No person may take frogs with the aid of a firearm or air gun. NR 19.26(2), NR 19.275(3)(b)
- Landowners may solicit an agent to aid in the removal of these animals (see above for agent requirements). NR 12.10(3)(c)

*Several species of snakes, reptiles and amphibians are classified as being threatened or endangered. Prior to removal, these animals must be properly identified. If an animal is classified as threatened or endangered, it is then protected as described by NR 27.03.



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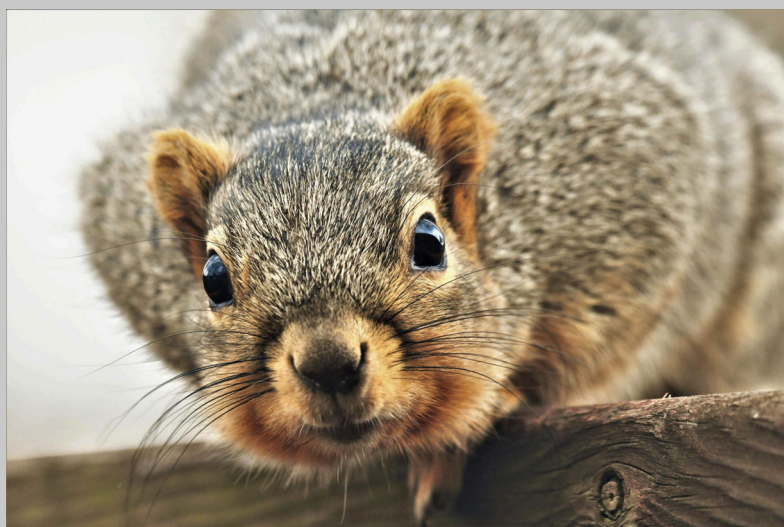
[News](#) > [Wisconsin News](#) > Squirrels now fair game for hunting in City of Green Bay... but only on your own property



Wisconsin News

Squirrels now fair game for hunting in City of Green Bay... but only on your own property

May 22, 2024



Bad news for squirrels in the City of Green Bay. An ordinance that kept the furry critters protected from being hunted has been changed and homeowners can now hunt them if they are being a nuisance.



But the city wants to quickly clear up some questions about the altered ordinance. They say that box traps and archery are acceptable ways to hunt the squirrels but firearms of any kind, including pellet guns, are illegal to shoot within the city limits.

The change in the ordinance came after The Wisconsin DNR said Green Bay's former law that protected squirrels, violated state law. Under the law, land owners can hunt select animals, including squirrels on their property without a license.

Green Bay's city attorney office says the new ordinance will take effect a few days after Tuesday's city council meeting once fully approved.

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HUNTING OR TRAPPING

The following animals may be trapped or hunted.

- Beaver
 1. Landowner may remove a beaver dam.
 2. Only landowner may set traps on dam. Landowner may not contract out this service to an Agent.
 3. DNR permit is needed to remove a beaver lodge, active or vacant.
- Coyote
- Fox
- Raccoon
- Muskrat
- Rabbit
- Squirrel
- Skunk
- Opossum
- Weasel
- Starling/Sparrow



BEWARE

Wild animals that appear to be “drunk”, stagger as they walk, or appear disoriented may be infected with rabies. They also can be infected with tularemia or raccoon roundworm. All of these diseases can be transmitted to humans and are extremely harmful.



Village of West Salem

175 South Leonard Street
West Salem, WI 54669

Phone: 786-1858
Fax: 786-1988
Website: westsalemwi.com

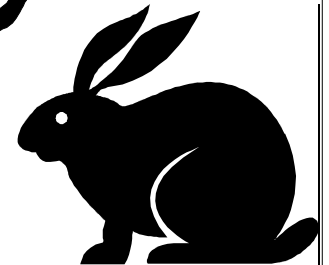
Police Department
Phone: 786-0407
Website: westsalempolice.org

Item 4.



VILLAGE OF
WEST SALEM

NUISANCE WILDLIFE GUIDELINES



DISCHARGING FIREARMS PROHIBITED IN VILLAGE

The Village of West Salem Ordinance 2.01(A) Discharging Firearms and Guns Prohibited, states that “no person shall fire or discharge any gun, cannon, rifle, pistol, air gun or firearms of any kind, or use a slingshot within Village limits without having first obtained written permission from the Chief of Police.”

However, it is realized that occasionally a wild animal may take up residence on someone’s property. It may be injured or may be causing damage, and become a real threat to the property owner’s safety.

If this occurs, residents of the Village have several options to deal with their “critter”.

STEPS A PROPERTY OWNER MAY TAKE

The following are options for the Village of West Salem property owner:

1. The landowner may trap the animal. If a wild animal is trapped, it can be relocated to private land only with landowner’s permission where it is to be released. The animal cannot be relocated to DNR controlled lands.
2. The landowner may shoot the animal, only with prior written permission from the West Salem Police Department.

The Department of Natural Resources does not require a hunting or trapping license in either case, but does require sanitary disposal of the carcass if it is shot. The fur, however, may be retained.

Item 4.

3. Call the West Salem Police Department, if the landowner does not care to trap or shoot the animal himself/herself. The Police Department is knowledgeable in dealing with these situations.
 4. The landowner may contract with a private company as “Agent” to deal with the animal. You can find listings in the Yellow Pages under “Pest Control Services” or the Police Department may have some suggestions in securing a reputable service. The contracted Agent would be required by the DNR to have a valid hunting/trapping license.
-

Chapter 9.04 - DOMESTIC ANIMALS

Item 4.

Sections:

9.04.010 - Injury to squirrels and pets—Permission required.

No person shall, within the limits of the city, harm or kill squirrels or pets at any time without first obtaining permission from the chief of police of the city. The humane nature of the method and duration of any trapping of squirrels shall be subject to the approval of the chief of police.

(Ord. 1251 §1, 1993; Ord. 527 §1, 1964: prior code §15.07).

9.04.020 - Humane care and treatment of domestic animals.

- (a) Any person, firm or organization having custody or control of any domestic animal shall be required to humanely house, feed, water and give veterinary care to such domestic animal.
- (b) Any person, firm or organization who violates the provisions of this section shall forfeit and pay to the city a penalty of ten dollars for the first offense and twenty-five dollars for each subsequent offense.

(Ord. 693 §1, 1971: prior code §15.08).

9.04.030 - Penalty for violations.

Any person who violates any provision of this chapter shall be subject to a penalty of not less than fifty dollars or not more than two hundred fifty dollars for the first offense, together with the costs of prosecution; and for second and subsequent offenses the sum of not less than seventy-five dollars or not more than two hundred fifty dollars, together with the costs of prosecution.

(Ord. 983 §37, 1982).

Some people who received this message don't often get email from trykowsd@uww.edu. [Learn why this is important](#)

This is a followup to my in-person comment to the City Council on April 21, 2026, when I tried to get my points across in 3 minutes, but was cut short when I missed the time allowance.

I live in the Whitewater city limits. My new next door neighbor, whom I hardly know yet, started trapping 13-line Ground Squirrels (sometimes called Gophers) in the spring/summer of 2025, and probably chipmunks, on her property using black plastic traps or bait boxes. I've also seen a black plastic animal poison device on her property close to mine, labeled from the Animal Damage Control and Removal company of Elkhorn. These are lethal traps from a hired legitimate pest control company, and last spring/summer I saw a man in her yard setting up some traps on her lawn.

Shortly after that, a gray squirrel got painfully caught in one of the small traps, pulled it out of the ground, dragged it to my property with its face caught in it, screaming in pain. I released the gray squirrel from the trap, and it headed up a tree. I returned the trap back to my neighbor's property. But the squirrel was injured and suffered a slow painful death. I found the squirrel's carcass on my property several days later. I'm still sickened by this. This new neighbor, of just over 1 year, seems rather unapproachable, and doesn't talk to me at all when we're working in our yards close-by, unless I say something first. Then she doesn't make eye contact with me when speaking, and has never initiated a conversation.

I know that 13-line ground squirrels and chipmunks aren't protected by the DNR, but they are welcome on my property, and contribute to aerating soil, keeping it healthy, and eating weed seeds, ants, grasshoppers, and other insects, even Box Elder bugs. They haven't done damage to my plants, but have helped keep my ground aerated, and their entrance holes at about 3" or less are barely visible, nor pose any problem in my gardens and lawn. The native rabbits and gray squirrels can and have caused more damage to my property than these little creatures that stay underground more than above ground.

Also, the local red fox and hawks, which are protected species, need these kinds of rodents as food sources. This year I haven't yet seen either of those species in my neighborhood, especially with the nearby housing complex development construction off Mounds Parkway, which borders my back yard. It now appears that my neighbor's traps have removed the ground squirrels that were also living underground with entrances to their holes on my property, because those tunnels and burrows reach long distances and cross property lines. The ground squirrels are welcome on my property, but now I see that they are mostly all gone, along with the chipmunks. The ground squirrels never caused any harm to my plantings.

I saw the City of Whitewater regulation about killing "squirrels" within the city limits, although it appears it doesn't apply specifically to 13-line ground squirrels, that are smaller and much less damaging than gray squirrels. But, if the lethal traps can injure other creatures, like gray squirrels, birds, etc. can something be done to prevent their use? Are these considered humane methods of trapping? In my opinion, NO. According to the Wisconsin DNR, landowners are permitted to manage ground squirrel and chipmunk species using both nonlethal and lethal techniques. But I think that only non-lethal and humane methods should be permitted in the city, regardless of the DNR's policy. The DNR does not mention many options for lethal and non-lethal removal or repellents, but does mention shooting. The DNR does support live trapping and removal. There are other options for deterring and repelling wildlife besides killing them off, especially when they aren't even a "nuisance" (whatever nuisance means).

Just because the DNR doesn't protect these species doesn't mean that they shouldn't and can't be protected. There are plenty of humane, non-lethal, **SAFE** deterrents that property owners can buy, as I do, to repel rodents and other wild animals from damaging landscapes and gardens, such as:

TOMCAT Animal Repellent, a ready-to-use Spray

VICTOR Mole & Gopher sonic Spike REPELLER, solar stake

REPELS-ALL Animal Repellent Granules

REPELS-ALL Animal Repellent Ready-to-Use Spray

The above are just a few examples, not as costly as hiring a licensed animal control company using lethal methods. They are "people and pet safe".

I think that lethal trapping, and bait and poisoning of any wildlife in the city is a serious offense to our environment as well as a danger to other native wildlife for which it was not intended, as I witnessed next door. Additionally, the consequences from using poisons and lethal traps can have collateral damage to other native species such as amphibians, birds, and other small mammals that explore it's bait. Just because the DNR permits lethal killing doesn't mean that it would be wrong for a municipality to protect its wildlife from pain, injury, and death. Our wildlife species are an important part of our environmental interactive ecosystem, which is supported by an abundance of wildlife like microbes, fungi, native birds, native caterpillars, butterflies, moths, bees, other pollinators, and right on up the food chain for amphibians, reptiles, foxes, ground squirrels, ducks, predator birds like hawks, rabbits, woodchucks, geese, deer, cranes, etc. and on up to humans, especially for the produce we depend on for food.

What good is it to have an Urban Forestry Commission to support the planting of urban trees, when the City lets residents kill the wildlife that the trees are planted to sustain? The little 13-stripe ground squirrels are now out of hibernation, as I see them out and about on my property and nearby on my neighbor's lawn. It means that this neighbor will be trapping them soon. I'm so distressed over this, as these creatures do no harm, and are part of the native food web, ecological biodiversity, soil health, and balance of nature, what little of it remains in Whitewater. All I see around me is destruction of wildlife habitat on this side of town, along with expanding farm fields, new businesses, and housing developments just putting in toxic lawn turf grass, with no native plantings for all of the habitat they destroyed during construction. The native trees planted by the City on the new terraces among swaths of new pavement and concrete are out of sync with the ground and soil needed by native wildlife, destroyed by housing developments that eradicated all of that. Wildlife also includes the microbes, fungi, and micro-flora native to healthy soils.

The paragraph below is all I could find on the city website for wild animal removal. I don't think that residents or any persons should need permission and approval from the Chief of Police for humane trapping and removal of wildlife. I think that the Chief of Police can and should help residents remove wildlife to a safe habitat. I think that the lethal rodent head-chopping traps are inhumane, and I think that INHUMANE KILLING should be forbidden under any circumstances, and should be reported to the Chief of Police. If the COMMON COUNCIL is considering changing this ordinance below to comply with the DNR, I'm against allowing all killing and injuring of native animal species, that includes the mammals that visit our yards. Instead, I think an ordinance should support the trap and release/remove method of controlling animal species within the city limits, which IS in compliance with the DNR. It is also humane.

9.04.010 - Injury to squirrels and pets—Permission required.

No person shall, within the limits of the city, harm or kill squirrels or pets at any time without first obtaining permission from the chief of police of the city. The humane nature of the method and duration of any trapping of squirrels shall be subject to the approval of the chief of police.

Sincerely,

Denay Trykowski

262-473-2300

248 Woodland Dr.

Whitewater, WI 53190



Council Agenda Item

Meeting Date:	04/21/2026
Agenda Item:	Squirrel Trapping
Staff Contact (name, email, phone):	Dan Meyer dmeyer@whitewater-wi.gov 262-473-1371

BACKGROUND

(Enter the who, what when, where, why)

The Whitewater Police Department received correspondence from a resident who is concerned about a neighbor trapping squirrels and chipmunks on their property. Current Whitewater ordinance 9.04.010 states the following:

“No person shall, within the limits of the city, harm or kill squirrels or pets at any time without first obtaining permission from the chief of police of the city. The humane nature of the method and duration of any trapping of squirrels shall be subject to the approval of the chief of police.”

In researching this topic, staff found an example of another municipality (City of Green Bay) that removed an ordinance in 2024 that restricted residents from hunting squirrels on their property. The reason for the change was that the Wisconsin DNR stated the ordinance contradicted state law which permits individuals to hunt and trap nuisance animals including squirrels on their property without a license.

No other examples of municipal ordinances limiting squirrel hunting and trapping on private property were found by staff. However, the Village of West Salem has an informational pamphlet that provides guidelines for residents that are consistent with DNR regulations. Local DNR representatives provided staff with nuisance wildlife guidelines which were included in the packet.

Given the outcome of the research, staff recommendation is to update the ordinance to follow DNR regulations. This could be accomplished by simply striking all of 9.04.010 as the protection of domestic animals (pets) is covered in 9.04.020.

PREVIOUS ACTIONS – COMMITTEE RECOMMENDATIONS

(Dates, committees, action taken)

N/A

FINANCIAL IMPACT

(If none, state N/A)

N/A

STAFF RECOMMENDATION

Recommend updating ordinance to follow DNR guidelines regarding squirrel trapping.

ATTACHMENT(S) INCLUDED

(If none, state N/A)

1. WW Ordinance 9.04.010
2. Article – City of Green Bay ordinance
3. Example pamphlet – Village of West Salem
4. WI DNR Nuisance Wildlife Guidelines