



# Plan & Architectural Review Meeting

Whitewater Municipal Building Community Room,  
312 West Whitewater St., Whitewater, WI 53190  
\*In Person and Virtual

**Monday, June 09, 2025 - 6:00 PM**

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Citizens are welcome (and encouraged) to join our webinar via computer, smart phone, or telephone. Citizen participation is welcome during topic discussion periods.

**Plan and Architectural Review Commission**  
Jun 9, 2025, 6:00 – 8:30 PM (America/Chicago)

**Please join my meeting from your computer, tablet or smartphone.**  
<https://meet.goto.com/678316285>

**You can also dial in using your phone.**  
Access Code: 678-316-285  
United States: +1 (571) 317-3112

**Get the app now and be ready when your first meeting starts:**  
<https://meet.goto.com/install>

Please note that although every effort will be made to provide for virtual participation, unforeseen technical difficulties may prevent this, in which case the meeting may still proceed as long as there is a quorum. Should you wish to make a comment in this situation, you are welcome to call this number: (262) 473-0108.

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## **AGENDA**

### **CALL TO ORDER AND ROLL CALL**

### **ROLL CALL**

### **APPROVAL OF AGENDA**

*A committee member can choose to remove an item from the agenda or rearrange its order; however, introducing new items to the agenda is not allowed. Any proposed changes require a motion, a second, and approval from the Committee to be implemented. The agenda shall be approved at each meeting even if no changes are being made at that meeting.*

### **HEARING OF CITIZEN COMMENTS**

*No formal Plan Commission action will be taken during this meeting although issues raised may become a part of a future agenda. Specific items listed on the agenda may not be discussed at this time; however, citizens are invited to speak to those specific issues at the time the Council discusses that particular item.*

### **CONSENT AGENDA**

*Items on the Consent Agenda will be approved together unless any commission member requests that an item be removed for individual consideration.*

1. Approval of May 12, 2025 Minutes.

#### **PUBLIC HEARING FOR REVIEW AND POSSIBLE APPROVAL**

2. Discussion and possible approval of a Conditional Use permit for more than one wall sign for Solstice Health located at 1208 E Bluff Road, Whitewater WI, 53190. Parcel #: /A323600001.
3. Discussion and possible approval of a Conditional Use Permit for Sale of Alcohol by the Drink located at 141 W Whitewater Street #B, Parcel Id # TR 00008 for Jessica Marks d/b/a Waypoint Bar and Games.

#### **DISCUSSION AND CONSIDERATIONS**

4. Discussion regarding Concept Plan for the Chief CG Hickey Fire Training Tower to be located at 1220 Innovation Drive. Parcel #: /A455500001.
5. Discussion and possible recommendation to Common Council the updated Landscaping Policy.
6. Discussion regarding Closed Session memo from City Clerk.

#### **UPDATES / REPORTS**

7. Update on Cedar Court Rezone.

#### **FUTURE AGENDA ITEMS**

8. -Childcare Zoning Changes-July  
-Rezone for all Whitewater Schools  
-Update on Royal Hounds-Q3

#### **NEXT MEETING DATE JULY 14, 2025**

#### **ADJOURNMENT**

**Anyone requiring special arrangements is asked to call the Office of the City Manager / City Clerk (262-473-0102) at least 72 hours prior to the meeting. Those wishing to weigh in on any of the above-mentioned agenda items but unable to attend the meeting are asked to send their comments to:**

c/o Neighborhood Services Director  
312 W. Whitewater Street  
Whitewater, WI 53190  
or Idostie@whitewater-wi.gov

*A quorum of the Common Council might be present. This notice is given to inform the public that no formal action will be taken at this meeting by the Common Council.*



## Plan & Architectural Review Meeting

Whitewater Municipal Building Community Room,  
312 West Whitewater St., Whitewater, WI 53190

\*In Person and Virtual

**Monday, May 12, 2025 - 6:00 PM**

### MINUTES

#### CALL TO ORDER AND ROLL CALL

Meeting called to order at 6:00 p.m.

#### PRESENT

Chairman, Councilmember Neil Hicks  
Vice Chairperson Tom Miller  
Board Member Marjorie Stoneman  
Board Member Carol McCormick  
Board Member Lynn Binnie  
Board Member Lisa Dawsey Smith

#### ABSENT

Board Member Bruce Parker

#### STAFF

Allison Schwark, Planner  
Llana Dostie, Neighborhood Services Administrative Assistant

#### APPROVAL OF AGENDA

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Motion made by Vice Chairperson Miller, Seconded by Board Member Stoneman.

Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member Stoneman, Board Member McCormick, Board Member Binnie, Board Member Dawsey Smith

#### HEARING OF CITIZEN COMMENTS

*No formal Plan Commission action will be taken during this meeting although issues raised may become a part of a future agenda. Specific items listed on the agenda may not be discussed at this time; however, citizens are invited to speak to those specific issues at the time the Council discusses that particular item.*

None.

**CONSENT AGENDA**

*Items on the Consent Agenda will be approved together unless any commission member requests that an item be removed for individual consideration.*

1. Approval of April 14, 2025 Minutes

Motion made by Board Member Binnie, Seconded by Board Member McCormick.

Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member Stoneman, Board Member McCormick, Board Member Binnie, Board Member Dawsey Smith

**UPDATES / REPORTS**

2. Discussion and possible approval of the Site Plan Review and Certified Survey Map for the expansion of Lavelle Industries located at 1215 Universal Blvd. Tax Parcel # /A455700001.

Planner Schwark stated the applicant Lavelle Industries is currently located at 1215 Universal Blvd. They are asking for a site plan review and a one lot certified survey map. They do have an existing structure and are currently operating out of that structure. They are requesting a 43,495 warehouse and dock extension with a 6,370 in fill area. The new warehouse addition will include one new ingress and egress off of Innovation Drive. They have a Universal Blvd address, however their parcel has two street sides as it stretches to Innovation Drive. They are proposing one new ingress and egress that will be used for the truck docking station. They want to combine all the parcels into one parcel. The parcel to the east is not in the existing CSM so they are requesting to combine all the parcels into one.

The truck docking station in the rear on Innovation Drive technically does not meet our ordinance requirements. That ingress and egress far exceeds the width requirements in our ordinance. However, staff did meet with Lavelle prior to them submitting this. Both myself and the Director of Public Works, Brad Marquardt would be agreeable to the width of 83.4 feet because it is necessary for semi traffic and it was the best location for their docking station. The ordinance does state that they are able to ask for lenience, but it has to be approved by Plan Commission.

The Certified Survey Map meets all requirements of our ordinance.

Jacob Rechler from Kapur and Associates stated the main concern that they have is there is a request to install 6 trees along the east edge or bottom of the south east edge of the property. Our main concern is that is located in an already existing drainage easement with a steep slope. We have concerns about planting trees there and blocking flow or not getting good germination from those trees due to the slope and they are not going to necessarily last in the long term.

Stoneman asked about the fill requirements. No record of what fill is under the site. If they are going to remove it or accept the risk.

Leslie Scherrer Pell with PSG stated that once they start excavating they will see what type of fill they find. And if they need to take further steps they will do so at that time.



Binnie asked about the the aesthetic. There seems to be a large berm on Innovation Drive that seems to have been put there to do some buffering for the Innovation Center. That large berm is going to be largely eliminated from the docking area.

Planner Schwark stated there are no buffer requirements due to this being M-1 and not next to residential.

McCormick mentioned about the trees on the redline from Andrew Beckman. Suggested to bring it back to Urban Forestry.

**Binnie moved approval of site plan and certified survey map for the expansion of Lavelle industries with planner's recommendations and subject to a discussion with Urban Forestry regarding the trees to the east.**

**All lighting shall comply with the City of Whitewater Ordinances.**

**All new or additional signage on site shall be approved by the zoning department, and a separate application will be required.**

**All zoning and building permits for construction be properly obtained.**

**No use shall be so conducted as to cause the harmful discharge of any waste materials into or upon the ground, into or within any sanitary or storm sewer system, into or within any water system or water, or into the atmosphere. All uses shall be conducted in such a manner so as to preclude any nuisance, hazard, or commonly recognized offensive conditions or characteristics, including creation or emission of dust, gas, smoke, noise, fumes, odors, vibrations, particulate matter, chemical compounds, electrical disturbance, humidity, heat, cold, glare, or night illumination.**

**Landscaping shall be completed to the specifications of the site plan within 30 days after the completion of construction. Any deviation from the site plan shall require additional PARC approval.**

**Knox box shall be installed on site for each building, and owner and occupants shall work with City of Whitewater Fire Department to ensure compliance with fire code.**

Motion made by Board Member Binnie, Seconded by Board Member Dawsey Smith.  
Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member Stoneman, Board Member McCormick, Board Member Binnie, Board Member Dawsey Smith

3. Discussion and possible approval of an Amendment to the Specific Implementation Plan for WES Homes & Condos, LLC and Teronomy Builders. Located on S Waters Edge Drive and Parkside Drive. Tax Parcel #'s /LC 00001 thru /LC 00018.

Planner Schwark stated the applicant is requesting a minor specific implementation plan (SIP) amendment. The majority of the plat has been mainly completed. They original plan had four 4-unit buildings and 1 two-unit building. Due to market conditions and the change in the market over the last several years, the developer would like to amend the SIP and construct eight 2 two family homes in the same location. There is already one duplex there that was constructed per the previous approval. They are looking to add the last units. The overall density is not changing. Their previous SIP was approved for 16

overall units. The only difference is instead of 16 units over four 4-unit buildings verses two-unit buildings. They feel that two unit buildings will be more desirable.

McCormick asked about the pricing plan on these units.

Paul Van Henkelum from Teronomy Builders is unsure at the time. They use market pricing. The plan was to do the 16 units at one time. And they are still empty lots. The plan was to do these units and then complete the rest. They did talk to the two owners of the units currently there and they did grant permission for modification of the condo documents.

**Motion by Binnie to approve amendment to the specific implementation plan with the planner's conditions.**

Motion made by Board Member Binnie, Seconded by Vice Chairperson Miller.

Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member Stoneman, Board Member McCormick, Board Member Binnie, Board Member Dawsey Smith

## **ELECTION OF CHAIRMAN**

Binnie nominated Neil Hicks with a second by Stoneman.

Motion made by Board Member Binnie, Seconded by Board Member Stoneman.

Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member Stoneman, Board Member McCormick, Board Member Binnie, Board Member Dawsey Smith

## **ELECTION OF CO-CHAIRMAN**

McCormick nominated Lynn Binnie seconded by Hicks.

Motion made by Board Member McCormick, Seconded by Chairman, Councilmember Hicks.

Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member Stoneman, Board Member McCormick, Board Member Dawsey Smith

Voting Abstaining: Board Member Binnie

## **ELECTION OF REPRESENTATIVE TO URBAN FORESTRY**

McCormick stated that she was stepping down and did not want to be nominated.

McCormick nominated Marjorie Stoneman seconded by Hicks.

Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member McCormick, Board Member Binnie, Board Member Dawsey Smith

Voting Abstaining: Board Member Stoneman

## **FUTURE AGENDA ITEMS**

-Tech Park Board meeting update

-Update on Rezone for Cedar Court

4. 4. -Family Childcare Homes (June)
  - Rezone for all Whitewater Schools
  - Landscaping Guidelines Policy (June)
  - Update on Royal Houses-Q3
  - Tech Board Park Meeting
  - Rezone Cedar Court

**NEXT MEETING DATE JUNE 9, 2025.**

### **ADJOURNMENT**

Adjourned 6:27 p.m.

Motion by Dawsey-Smith, Seconded by Board Member McCormick.

Voting Yea: Chairman, Councilmember Hicks, Vice Chairperson Miller, Board Member Stoneman, Board Member McCormick, Board Member Binnie, Board Member Dawsey Smith

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c/o Neighborhood Services Director  
312 W. Whitewater Street  
Whitewater, WI 53190  
or [ldostie@whitewater-wi.gov](mailto:ldostie@whitewater-wi.gov)

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## M E M O R A N D U M

To: City of Whitewater Plan and Architectural Review

Commission

From: Allison Schwark, Zoning

Administrator

Date: June 9, 2025

Re: Conditional Use Permit for signage

| Summary of Request                          |   |
|---|---|
| <b>Requested Approvals:</b>                 | Conditional Use Permit for All uses with second wall sign and pylon signage (for which the conditions shall, among other issues, maintain visual continuity and attractive pedestrian movement along the street fronts) |
| <b>Location:</b>                            | 1208 N Bluff Road (/A32360001)  |
| <b>Current Land Use:</b>                    | Solstice Health   |
| <b>Proposed Land Use:</b>                   | Solstice Health   |
| <b>Current Zoning:</b>                      | B-3 Highway Commercial & Light Industrial   |
| <b>Proposed Zoning:</b>                     | N/A   |
| <b>Future Land Use, Comprehensive Plan:</b> | Highway Commercial  |

### Site Plan Review

The applicant is requesting a Conditional Use Permit for the overage of wall signage located on the building at 1208 N Bluff Road. Signage includes:

1. 1, 48.9 square foot letter sign
2. 1, 23.66 square foot letter sign.

Please see enclosed in your packet precise measurements and the location of each sign as indicated on the site plan submitted by the applicant.

According to section 19.54.080 - Permanent business sign group, all businesses requesting more

than one wall sign require a Conditional Use Permit. Currently the applicant is requesting 2 wall signs.

### **Planner's Recommendations**

- 1) Staff recommends that Plan Commission **APPROVE** the Conditional Use Permit with the following conditions:
  - a) The project shall be developed in accordance with the approved site plan, architecture, and landscape plan. Any deviation from the approved plans shall require zoning administrator and/or Plan Commission approval.
  - b) Any conditions stipulated by the PARC.



PROPOSED EXTERIOR SIGNAGE

Whitewater, WI

Project # 5774 rev.02

Created 04.08.25



FLAT CUT-OUT LETTERS

1 - FCO LETTERS  
Material: 1/4" Aluminum  
Color: Paint Black, Satin Finish  
Installation: Stud Mount Flush

Item 2.

4'-4"



1 Proposed South Elevation



2 Sign Detail  
SQUARE FOOTAGE: 34.5" x 204" = 48.9 SF



FCO LETTER REINSTALL

1 - EXISTING LETTERS

Material: 1/4" FCO Aluminum Painted Black

Installation: Mount Flush to Wall as Shown, Reusing Existing Studs



1 Proposed South Elevation



2 Sign Detail  
SQUARE FOOTAGE: 24" x 142" = 23.66 SF





Bluff Rd

Proposed Dumpster &  
Temp Toilet Location

Alternate Dumpster &  
Temp Toilet Location

Edward Jones - Financial Advisor: Michael E...

1208 Bluff Rd

Bluff Rd

Bluff Rd

Image © 2025 Airbus

144 ft





### **NOTICE OF PUBLIC HEARING**

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 9<sup>th</sup>, day of June, 2025 at 6:00 p.m. to hold a public hearing for consideration for a Conditional Use permit for more than 1 wall sign for Solstice Health located at 1208 E Bluff Road, Whitewater, WI 53190. Parcel #:  
/A32360001.

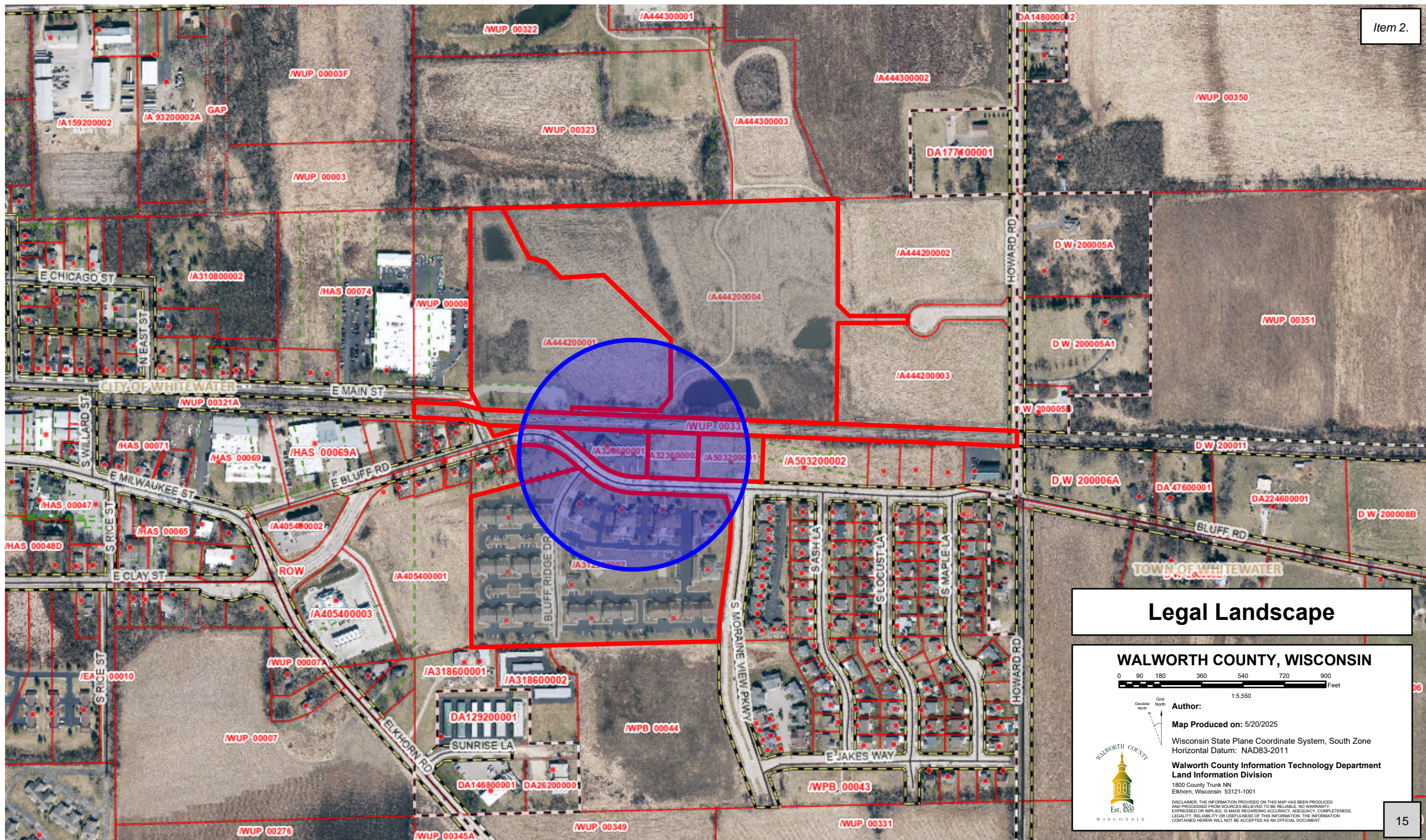
The proposal is on file in the office of the Zoning Administrator at 312 W. Whitewater Street.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

Llana Dostie, Neighborhood Services Administrative Assistant







BLUFF RIDGE APARTMENTS LLC  
DECKER PROPERTIES INC  
250 N SUNNY SLOPE ROAD STE 100  
BROOKFIELD WI 530005

CITY OF WHITEWATER PUMP HOUSE  
312 W WHITEWATER STREET  
WHITEWATER, WI 53190

ACG DEVELOPMENT #1 LLC  
GODDEN #17 LLC  
5000 S TOWNE DRIVE STE 100  
NEW BERLINE WI 53151

Item 2.

WHITEWATER ALPHA REAL ESTATE LLC  
811 ROBERT STREET  
FORT ATKINSON, WI 53538

CITY OF WHITEWATER  
312 W WHITEWATER STREET  
WHITEWATER, WI 53190

STATE OF WISCONSIN DEPT OF  
TRANSPORTATION  
PO BOX 7921  
MADISON WI 53707-7921

COMMUNITY DEVELOPMENT  
AUTHORITY  
PO BOX 688  
WHITEWATER WI 53190

**Print**

**Conditional Use Permit Application - Submission #1606**

**Date Submitted: 5/9/2025**

**City of Whitewater**

312 W Whitewater Street  
PO Box 178  
Whitewater, WI 53190  
262-473-0540  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)

**Neighborhood Services**

Conditional Use Permit Application

**Conditional Use Application Checklist****Applicant**

1. Fill out Planning Request form, Conditional Use Application, Plan of Operation Form and Cost Recovery Certificate and Agreement. Twelve (12) copies 11 x 17, a digital copy of all submittal material:

- Application Forms
- Landscaping plan indicating location, type and size of materials (Please review Landscaping Guidelines)
- Stormwater and Erosion Control Applications (if necessary)
- Lighting (Photometric) Plan
- Add any other material you feel are pertinent

2. Application shall include the following Plan requirements:

- All plans shall be drawn to scale and show all sides of the proposed building.
- All plans will exhibit proposed/existing off-street parking stalls and driveway/loading docks.
- Building elevations must include the lot on which the structure is to be built and the street (s) adjacent to the lot.

3. Submit fee to City of Whitewater

**City Building Inspector/Zoning Administrator**

1. Review application for accuracy and all required information
2. Staff will review information for conformance to Ordinances
3. Engineer will review Stormwater and Erosion Control Plans
4. Landscaping Plan will be reviewed by Urban Forestry Commission
5. When application is complete and approved by all Staff it will then be forwarded to Neighborhood Services Administrative Assistant

**Neighborhood Services Administrative Assistant**

1. Conditional Use notice will be published in the local newspaper for two-week period with a one week waiting period for a total of three weeks prior to scheduled public hearing
2. Conditional Use notice will be mailed to property owners that abut the property and those that are within 300 feet minimum/and or further distance at the discretion of the zoning administrator from the property
3. Public Hearing for Conditional Use will be scheduled for the next Plan Commission meeting after notice has appeared in the newspaper for two weeks

**Process**

1. Plan Commission considers applicant's request and staff review is presented by Zoning Administrator, at the first initial appearance. If Plan Commission recommends changes and/or revisions, then the applicant must revise site plan, otherwise the is forwarded as is for the second appearance for approval/denial of the final site plan.

**NOTE:** Plan Commission normally meets the second Monday or each month at 6:00 p.m. If a public hearing is required, it will be scheduled at the beginning of the Plan Commission meeting.

**Item 2.**

Urban Forestry Commission usually meets the fourth Monday of each month at 5:00 p.m.

Taylor Zeinert, Economic Director  
262-473-0148

[tzeinert@whitewater-wi.gov](mailto:tzeinert@whitewater-wi.gov)

Llana Dostie, Neighborhood Services Administrative Assistant  
262-473-0144

[ldostie@whitewater-wi.gov](mailto:ldostie@whitewater-wi.gov)

Allison Schwark, Municipal Code Enforcement  
262-249-6701  
[mcodeenforcement@gmail.com](mailto:mcodeenforcement@gmail.com)

**Site Plan Upload\***

Site - Whitewater.pdf

**Landscaping Plan Upload**

Choose File

No fi...sen

**Lighting Plan Upload**

Choose File

No fi...sen

**MSDS Sheets**

Choose File

No fi...sen

**Other Information**

5774\_Solstice-  
Health\_Whitewater-WI\_04-  
29-25.pdf

**PLANNING REQUEST****General Project Information****Project Tax Key #**

/A323600001

**Project Address\***

1208 Bluff Road

**Project Title (if any)**

5774\_Solstice Health\_Whitewater\_WI

**Applicant, Agent & Property Owner Information****Applicant's First Name\***

Vito

**Applicant's Last Name\***

Parente

**Address\***

12425 Suite 200 Knoll Rd

|              |               |                  |
|--------------|---------------|------------------|
| <b>City*</b> | <b>State*</b> | <b>Zip Code*</b> |
| Elm Grove    | WI            | 53122            |

**Phone Number\***

414-255-6179

**Email Address\***

vitop@elevatedidentity.com

|                   |                      |
|-------------------|----------------------|
| <b>Agent Name</b> | <b>Agent Company</b> |
| Vito Parente      | Elevated Identity    |

**Address**

12425 Suite 200 Knoll Rd

|             |              |                 |
|-------------|--------------|-----------------|
| <b>City</b> | <b>State</b> | <b>Zip Code</b> |
| Elm Grove   | WI           | 53545           |

**Phone Number**

414-255-6179

**Email Address**

vitop@elevatedidentity.com

|   |                        |
|---|------------------------|
| <b>Owner First Name (if different from applicant)</b> | <b>Owner Last Name</b> |
| Tim   | Murray                 |



**Address**

1370 Pabst Farm Circle Suite 340

**City**

Oconomowoc

**State**

WI

**Zip Code**

53066

**Phone Number**

667-213-6720

**Fax Number****Email Address**

tmurray@solsticewi.com

**Planning Request (check all that apply)**

- ☐ Site Plan and Architectural Review \$150.00 plus \$0.05 per sq. ft (Floor Area)
- ☒ Conditional Use Permit \$275.00
- ☐ Rezone/Land Use Amendment \$400.00
- ☐ Planned Unit Development \$500.00
- ☐ Preliminary Plat \$175.00
- ☐ Final Plat \$225.00
- ☐ Certified Survey Map \$200.00 plus \$10.00 per lot
- ☐ Project Concept Review \$150.00
- ☐ Joint Conditional Use & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Rezoning & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Site Plan & Conditional Use \$350.00 plus \$0.05 per sq. ft (Floor Area)
- ☐ Board of Zoning Appeals/Adjustment \$300.00

**Translation Services****Will translation services be needed during the Plan Board meeting?\***

- ☐ Yes
- ☒ No

**If Yes, please specify the language required.****Conditional Use Permit Application****I, (We) the undersigned owner(s)/agent do hereby petition the Plan Commission to grant a Zoning Amendment.**

**Address and legal description of the subject site\***

1208 Bluff Road

**Tax Parcel #\***

A323600001

**Zoning District\***

B-3

**Requested Conditional Use\***

Allow two non lit signs on building

**Petitioner's interest in requested Conditional Use Permit\***

Sign vendor manufacturing and installing sign for Solstice Health

**List type and number of structures, proposed operation or use of the structure(s) or site, number of employee, parking, etc.**

1 structure proposed, primary care medical services

**Property Owner Signature\***

Bride Puntillo-VAS Bluff Rd LLC

**Owner's Agent Signature\***

Vito Parente

**Address\***

S52W23080 Hunters Hollow, Waukesha, WI 53189

**Address\***

12425 Knoll Rd Suite 200 Elm Grove WI 53545

**Phone and Email\***

414.858.5211 bpuntillo@acgwi.com

**Phone and Email\***

414-255-6179 vitop@elevateidentity.com

**Zoning #**

Application Review by

Date

Date Filed

Dates Published

Date Notices Mailed

Plan Commission Recommendation

Date Decision Made

Plan of Operations

Property Information

Property Tax Key #\*

A323600001

Tenant Information

Previous Business Name\*

NA

Property Address\*

1208 E Bluff Rd Whitewater, WI 53190

Years in Operation\*

NA

Property Owner\*

VAS Bluff Rd LLC Bride Puntillo

New Business Name\*

Solstice Health

Owner Mailing Address\*

S52W23080 Hunters Hollow, Waukesha, WI

Name of Operator\*

Dr. Tim Murray

**City, State and Zip Code\***

Waukesha, WI 53189

**Operator Mailing Address\***

1370 Pabst Farms Circle

**Owner's Phone #\***

414.858.5211

**City, State and Zip Code\***

Oconomowoc, WI 53066

**Owner's Email\***

bpuntillo@acgwi.com

**Operator's Phoen # and Email \***

tmurray@solsticewi.com 667-213-6720

**New Business Use/Operation Information****Description of Business use or Operations\***

Primary Medical Services

**Previous Use of Space\***

Open

**Hours of Operations (Weekdays)\***

Mon-Wed, Fri 9 am to 5pm Thur 10 am to 6 pm

**Hours of Operations (Weekends)\***

NA

**Total Area Space in Square Feet\***

2340

**# Toilet Fixtures\***

1

**# Full Time Employees\***

2

**# of Part Time Employees\***

1

**Customer Seating\***☐ Yes☒ No**Seating Capacity\***

10

**Total Employee Hours Per Year  
(include yourself if self-employed)\***

9360

**Sprinkler System\***☐ Yes☒ No**Hazardous/Flammable Chemicals used/stored\***☐ Yes (must attach MSDS Sheets)☒ No**Specified Use of Property and Building(s)**

**Building A\***

Medical Services

**Building B****Building C****Will there be any problems resulting from this operation such as: (Check all that apply)\***

- ☐ Odors
- ☐ Smoke
- ☐ Noise
- ☐ Light
- ☐ Vibrations
- ☒ None

**Parking****Dimension of parking lot\***

340'w x 180'h

**Number of Spaces Available\***

30+

**Parking Lot Construction\***

- ☒ Asphalt
- ☒ Concrete

**Type of Screening\***

- ☐ Fencing
- ☒ Plantings

**Is employee parking included in "number of spaces available"?\***

- ☒ Yes
- ☐ No

**Signage(Separate Sign Permit Application Needed)**

**Type (Check all that apply)\***

- ☐ Freestanding
- ☐ Monument
- ☐ Projecting
- ☐ Awning/Canopy
- ☐ Electronic Message
- ☐ Pylon
- ☐ Arm/Post
- ☐ Window
- ☐ Mobile/Portable or Banner
- ☐ None
- ☒ Other

**If other, what type**

Two non lit wall signs

**Location of Signs\***

S faced on E side of building facing Bluff, East Facade on S side of building facing parking lot.

**Entertainment****Is there any type of music in this proposal?\***

- ☐ Yes (Separate License from Clerk's Office Required)
- ☒ No

**Live \***

- ☐ Yes
- ☒ No

**When will this be offered to customers\***

- ☐ Monday
- ☐ Tuesday
- ☐ Wednesday
- ☐ Thursday
- ☐ Friday
- ☐ Saturday
- ☐ Sunday
- ☒ None

**What time(s) will this be offered**

**Outdoor Lighting**

**Type\***

NA

**Location\***

NA

**Utilities**

**Will you be connected to City Water and Sewer\***

- ☒ Yes  
☐ No

**Is there a private well on-site\***

- ☐ Yes  
☒ No

**Types of Refuse Disposal\***

- ☒ Municipal  
☐ Private

**Approval Date by the Department of Natural Resources of the well for proposed use**

**Approval Date by the County Health Department for existing septic system**

**What types of sanitary facilities are to be installed for the proposed operation\***

NA

**Surface Water Drainage Facilities (describe or include in site plan)\***

NA

**Licenses/Permits**

☐

Item 2.

|   |  |   |  |
|---|--|---|--|
| <p><b>Is a highway access permit needed from the State, County or local Municipality*</b></p> <p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p> | <p><b>Is a cigarette license required? (Separate license from Clerk's office)*</b></p> <p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p> | <p><b>Is a liquor license required? (Separate license from Clerk's office)*</b></p> <p><input type="checkbox"/> Yes</p> <p><input checked="" type="checkbox"/> No</p> | <p><b>Did Wisconsin Department of Safety and Professional Services Division of Industry Services approve building plans*</b></p> <p><input checked="" type="checkbox"/> Yes</p> <p><input type="checkbox"/> No</p> |
|---|--|---|--|



**Permitted Property Use (Please check all that apply)\***

- ☐ Single Family Dwelling
- ☐ Two Family Dwelling
- ☐ Modular Home
- ☐ Manufactured Home
- ☐ Second or greater wireless telecommunication facility
- ☐ Home occupations, professional home office for nonretail goods and services no customer access
- ☐ Multi-Family Dwellings
- ☐ Art, Music and School supply stores and galleries
- ☐ Antique, collectible and hobby craft stores
- ☐ Automotive and related parts store, without servicing
- ☐ Hotel and Motels
- ☐ Small appliance repair stores, computer or software sales and service
- ☐ Barbershops/Beauty Parlors
- ☐ Liquor stores without drive-thru facilities
- ☐ Resale Shops
- ☐ Professional and business offices
- ☐ Self-service laundries and dry-cleaning establishments
- ☐ Stationery stores, retail office supply stores
- ☐ Movie theaters
- ☐ Tourist homes and bed and breakfast
- ☐ Bakeries or candy stores with products for sale on premise only
- ☐ Appliance repair stores, including computer sales and service
- ☐ Caterers
- ☐ Post Offices
- ☐ Ice Cream and Cafes
- ☐ Toy stores
- ☐ Agricultural services
- ☐ Banks and other financial institutions without drive-thru facilities
- ☐ Camera and photographic supply stores
- ☐ Clothing, shoe stores and repair shops
- ☒ Clinics medical and dental
- ☐ Department Stores
- ☐ Drug Stores
- ☐ Florist Shops
- ☐ Food and Convenience stores without gasoline pumps
- ☐ Furniture stores
- ☐ Hardware stores
- ☐ Insurance agencies
- ☐ Jewelry stores
- ☐ Meat markets
- ☐ Paint, wallpaper, interior decorating and floor covering stores
- ☐ Restaurants without drive-thru facilities
- ☐ Sporting goods stores

- ☐ Variety stores
- ☐ Charitable or nonprofit institution or facilities
- ☐ Light assembly uses including electronics, pottery, printing, contractor shops (electrical, heating, plumbing and general contracting) provided there is no significant environmental emissions (odor or waste)
- ☐ Catalog and e-commerce sales outlets
- ☐ Day Spas
- ☐ Coffee Shops
- ☐ Gift Shops
- ☐ Public parking lots
- ☐ Tourist information and hospitality centers
- ☐ Dance Studio
- ☐ Lumberyards, building supply stores and green houses
- ☐ Manufacturing, fabrication, packing, packaging and assembly of products from furs, glass, leather, metals, paper, plaster, plastic, textiles, clay, woods and similar material
- ☐ Research facilities, development and testing laboratories, including testing facilities and equipment
- ☐ Retail sales and services linked to manufacturing and warehousing
- ☐ Production, or processing, cleaning, servicing, testing or remailer of materials, goods or products limited to the follow uses, products, components, or circumstances:
  - ☐ a) Electronic and electrical products instruments, such as transistors, semiconductors, small computers, scanners, monitors and compact communication devices
  - ☐ b) High technology products related to the fields of physics, oceanography, astrophysics, metallurgy, chemistry, biology or other scientific field offered for study by University of Whitewater
  - ☐ c) Laser technology, radiology, x-ray and ultra sound products, manufacturing and assembly
  - ☐ d) Medical and dental supplies
  - ☐ e) Optical, fiber optical and photographic products and equipment
  - ☐ f) Orthopedic and medial appliances such as artificial limbs, brace supports and stretchers
  - ☐ g) Products related to process design, process stimulation, computer hardware and software development, safety engineering
  - ☐ h) Scientific and precision instruments and components, including robotics
- ☐ Telecommunication centers (not including wireless telecommunications facilities)
- ☐ Private recreation facilities
- ☐ Freight terminals, trucking servicing and parking, warehousing and inside storage
- ☐ More than one principal structure on a lot when the additional building is a material and direct part of the primary business
- ☐ Pilot Plans and other facilities for testing manufacturing, processing or fabrication methods or for testing of products or materials
- ☐ Colleges and universities



**Permitted Conditional Uses (Please check all that apply)**

- ☐ Planned Residential Development
- ☐ First Wireless telecommunications facility located on alternative structure only
- ☐ Attached townhouse dwellings up to four units per building
- ☐ Public and semipublic uses
- ☐ Multifamily dwellings and attached dwellings, over four units (new construction only)
- ☐ Any building over forty feet
- ☐ Conversion of existing structures resulting in more dwelling units
- ☐ Dwelling units with occupancy of six or more unrelated persons
- ☐ All uses with a drive-in and drive-thru facilities
- ☐ Automobile repair and service
- ☐ Taverns and other places selling alcoholic beverages by the drink
- ☐ Daycare centers, adult, child and doggie
- ☐ Large Retail and Commercial Service Developments
- ☐ Motor Freight Transportation
- ☐ Light manufacturing and retail uses
- ☐ Home Occupations/Professional Home offices requiring customer access
- ☐ Bed and Breakfast establishments
- ☐ Conversion of existing single-family dwellings to two-family attached dwellings
- ☒ Professional business offices in a building where principal use is residential
- ☐ Fraternity or sorority houses and group lodging facilities
- ☐ Planned Development
- ☐ Conversion of existing units with less than five bedrooms to five or more bedrooms
- ☐ Entertainment establishments, including clubs but excluding adult entertainment
- ☐ Automobile and small engine vehicles sales and rental facilities
- ☐ Car washes
- ☐ Gasoline service stations, including incidental repair and service
- ☐ Funeral homes and crematory services
- ☐ Liquor or tobacco stores
- ☐ Wholesale trade of durable and nondurable goods
- ☐ Salvage Yards

**Signatures**

By signing below, I certify that the above information is true and accurate account of the information requested for my business site and its operation and use. Should an inspection be required, I agree to all the Inspector(s) reasonable access to the space to verify compliance with the Municipality's Ordinance. In addition, I fully understand that completion of this or its approval does not preclude me from complying with all applicable State Statues or Municipal Ordinances regarding my business and its lawful operations.

**Applicant's Signature\*****Date\***

Vito Parente

5/9/2025

**Inspector/Zoning Signature****Date**

Item 2.

**Cost Recovery Certificate and Agreement**

Pursuant to Ordinance 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code

The undersigned applicant hereby acknowledges and agrees to be bound by Ordinances 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code, providing for city recovery of all city costs and disbursements incurred directly or indirectly related to the Applicant's request. All costs incurred by the city in the consideration of any requests by the Applicant related to the Applicant's request shall be recoverable, including but not limited to, all professional and technical consultant services and fees retained by the city and rendered in review of any application, including the engineer, planner, attorney, or any other professional or expert hired by the village for purposes of review of the application or pre-submission request. The Applicant agrees to reimburse the City for all costs recoverable pursuant to the terms of the above numbered ordinance within the time period set forth by the City of Whitewater Municipal Code. At no time shall any cost recoverable fees be waived, except through the process of a written request by the Applicant and the Common Council, review and evaluation by the Common Council, and official action taken by the Common Council.

**PROJECT INFORMATION****PROJECT NAME\***

5774\_Soltice Whitewater

**PROJECT LOCATION\***

1208 Bluff Rd Whitewater WI 53190

**APPLICANT INFORMATION****NAME\***

Vito Parente

**MAILING (BILLING) ADDRESS\***

12425 Knoll Rd Suite 200 Elm Grove 53122

**PHONE\***

414-255-6179

**EMAIL ADDRESS\***

vitop@elevatedidentity.com

**ATTORNEY INFORMATION**

NAME

PHONE

EMAIL ADDRESS

SIGNATURE OF APPLICANT\*

Vito Parente

DATE\*

5/9/2025

**Note to Applicant:** The City Engineer, Attorney and other City professionals and staff, if requested by the City to review your request, will be billed for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect from this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in 19.74.10 and 16.04.270 of the Municipal Code.

**RATES**

City Administration Hourly Rate Shall Not Exceed

Interim Director of Economic Development: Emily McFarland \$

Director of Public Works: Brad Marquardt \$72.33

Director of Finance: Rachelle Blitch \$65.94

Clerk: Heather Boehm \$43.33

Deputy Clerk: Tiffany Albright \$29.20

NS Administrative Assistant Llana Dostie \$

Building Inspection Services

Building Inspector Commercial: Joe Mesler \$80.00

Building Inspector Residential: Jon Mesler \$80.00

City Attorney

Russell Law Offices, LLc

Attorney Timothy Brovold \$

City Engineer

Strand and Associates \$247.63

Primary Contact: Mark Fischer

City Planners and Zoning Administrator

Primary Contact: Allison Schwark \$49.00

|   |   |   |  |
|---|---|---|--|
| <b>Building Inspector Date Received</b> | <b>Review by</b>                                  | <b>Zoning Administrator Date Received</b> | <b>Reviewed by</b>   |
| <div></div>                             | <div></div>                                       | <div></div>                               | <div></div>  |
| <b>Occupancy Classification</b>         | <b>Occupancy Classification Surrounding Units</b> | <b>Zoning of Property</b>                 | <b>Use Permitted</b>   |
| <div></div>                             | <div></div>                                       | <div></div>                               | <div><input type="checkbox"/> By Right<br/><input type="checkbox"/> By CUP<br/><input type="checkbox"/> PC Approval Required</div> |

Item 2.

Approval

☐ Approved

☐ Denied

Date

Approval

☐ Approved

☐ Denied

Date

Public Works  
Approval

☐ Approved

☐ Denied

Date

City Engineer  
Approval

☐ Approved

☐ Denied

Date

Police Department

☐ Approved

☐ Denied

Date

Fire Department  
Approval

☐ Approved

☐ Denied

Date

## M E M O R A N D U M

To: City of Whitewater Plan and Architectural Review

Commission

From: Allison Schwark, Zoning

Administrator

Date: June 9, 2025

Re: Conditional Use Permit

| Summary of Request                          |  |
|---|--|
| <b>Requested Approvals:</b>                 | Conditional Use Permit for entertainment establishments, and places selling alcoholic beverages. |
| <b>Location:</b>                            | 141 W Whitewater Street Unit B   |
| <b>Current Land Use:</b>                    | Retail Storefront  |
| <b>Proposed Land Use:</b>                   | Arcade and Lounge  |
| <b>Current Zoning:</b>                      | B-2  |
| <b>Proposed Zoning:</b>                     | N/A  |
| <b>Future Land Use, Comprehensive Plan:</b> | Central Business   |

### Staff Review:

The applicant is requesting a Conditional Use Permit for an arcade and lounge establishment at 141 W Whitewater Street. The proposed use would be constructed in an existing building that was previously used as retail space. The establishment would hold a Class B alcohol license. In February of 2024 a Conditional Use Permit was issued for this site, for the same use under a different name, Hawk's Arcade. They are now seeking to change the name of the establishment to Waypoint Bar and Games, with the same use.

Conditional uses in the B-2 district are subject to the following restrictions:

- 1.No outside storage, unless screened as to Section 19.57.140;
- 2.No environmental emission;



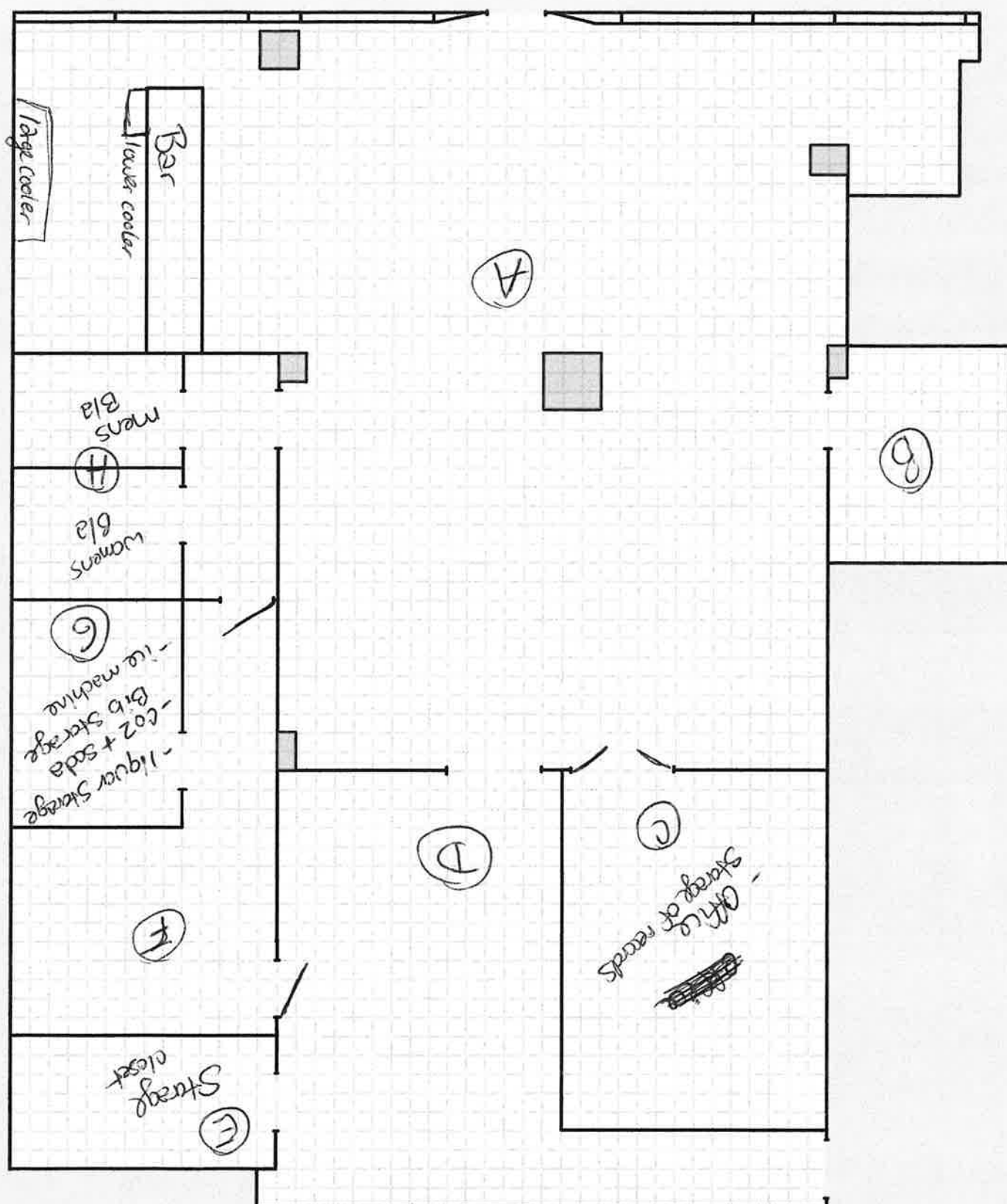
3. All truck delivery during weekdays;
4. All dumpster locations outdoors must be screened by a fence and landscaping;
5. All of the requirements of Chapter 19.51, traffic, parking and access, and Chapter 19.57, general performance standards, to be met.

### **Planner's Recommendations**

- 1) Staff recommends that Plan Commission **APPROVE** the Conditional Use Permit with the following conditions:
  - a) The project shall be developed in accordance with the approved site plan, architecture, and landscape plan. Any deviation from the approved plans shall require zoning administrator and/or Plan Commission approval.
  - b) The permit holder shall be responsible for the continued maintenance and/or replacement of all buildings, fencing, landscaping and other site improvements.
  - c) No outdoor storage
  - d) No truck deliveries on weekends
  - e) Dumpsters must be properly screened at all times.
  - f) All signage installed shall require proper permits.
  - g) Applicants shall work with the Whitewater Fire Department to confirm occupancy load, and place a knox box.
  - h) Any conditions stipulated by the PARC.

→ w. white water →

front



19. A: This is the largest space of the building including the bar area. drinks only served from bar. Arcade games and game store are ~~at~~ in this area. Patrons can walk around and enjoy entertainment. Some tables + chairs in this area as well. 1 small and large cooler behind bar for liquor + beer storage

B: A large closet. Depending on circumstances, this may be used for ~~arcade games~~ a personal work space or storage. no alcohol consumed or served here

C: Office with our documents + storage of records, safe, + personal computer. This room has a set of double doors and will be locked

D: This room is in the back of building. signage posted that no customers are allowed to use back entrance. This may be used as a personal room for parties or events.

E: Storage closet w/ locked door

F: personal work space + storage - locked door attached <sup>near Room D</sup>


G: liquor, beer, dry, + soda syrup storage. This room will contain an ice machine + CO2 tank for soda system as well - lock door attach (near bathroom side)

H: mens + womans separate bathrooms, no door from H + A



# HAWK TAILS ARCADE TENANT SPACE REMODEL

DLK ENTERPRISES



ANGUS-YOUNG  
ARCHITECTS/ENGINEERS  
Janesville | Madison

141B W WHITEWATER ST  
WHITEWATER, WI 53190

HAWK TAILS ARCADE  
TENANT SPACE REMODEL

AY PROJECT NUMBER: 76610

## SHEET INDEX:

- G001 COVER SHEET
- A001 FIRST FLOOR DEMOLITION PLAN
- A101 FIRST FLOOR PLAN

## REGULATORY DATA:

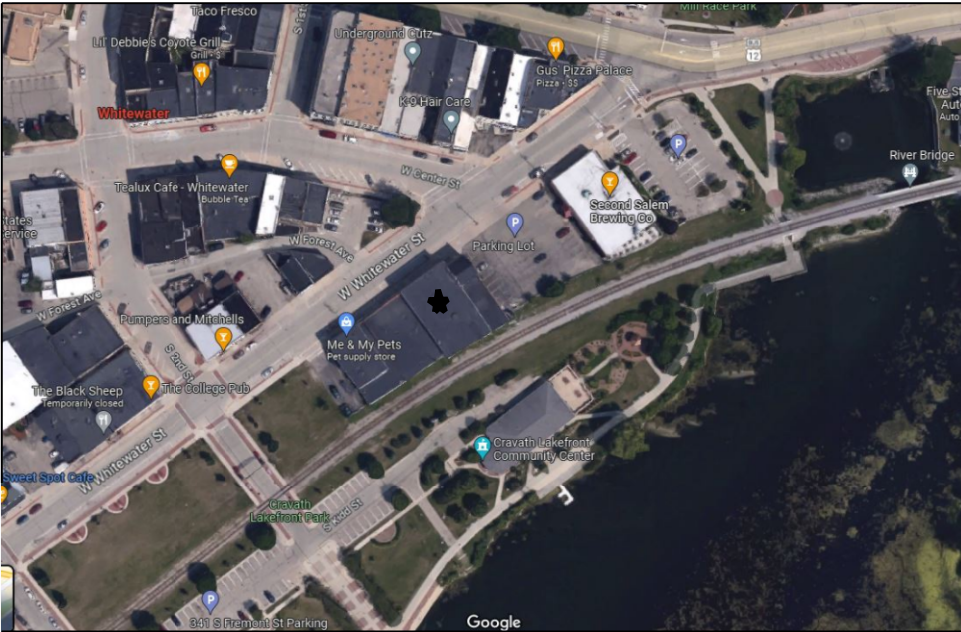
PROJECT ADDRESS  
141B WEST WHITEWATER STREET  
WHITEWATER, WISCONSIN 53190

BUILDING CODE  
WISCONSIN ENROLLED 2015 EIBC  
5B CONSTRUCTION - NON-SPRINKLED

USE AND OCCUPANCY CLASSIFICATION  
R-2, A-2  
SEPERATED USE  
MAXIMUM OCCUPANT LOAD = 80  
TOILET REQUIREMENTS (A2) - 1 PER 40 MALES/FEMALES

GENERAL BUILDING HEIGHT AND AREA  
MAX. AREA R-2= 7000 S.F. (8750 S.F. W/ ACCESS INCREASE)  
MAX. AREA ASSEMBLY = 6,000 S.F. (7,500 S.F. W/ ACCESS INCREASE)  
MAXIMUM STORIES R-2 = 2  
MAXIMUM STORIES ASSEMBLY= 1  
MAXIMUM HEIGHT = 40 FEET

## LOCATION MAP:



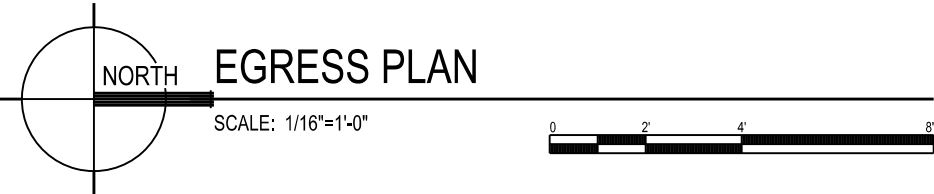
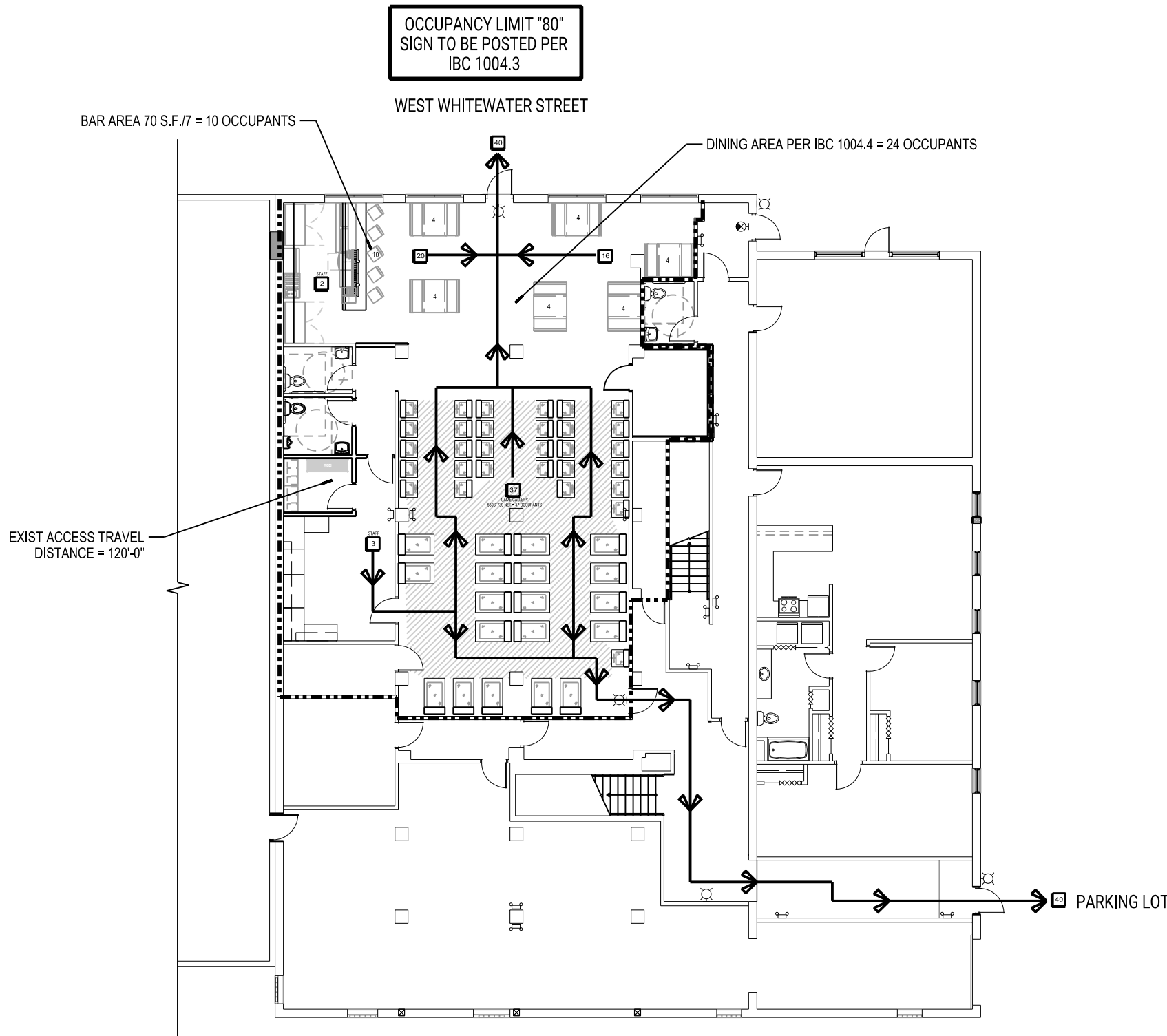
### ISSUANCES / REVISIONS

| NO: | DESCRIPTION:     | DATE:      |
|-----|------------------|------------|
| CD  | DSPS PLAN REVIEW | 05/08/2025 |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |
|     |                  |            |

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## PROJECT TEAM

OWNER:

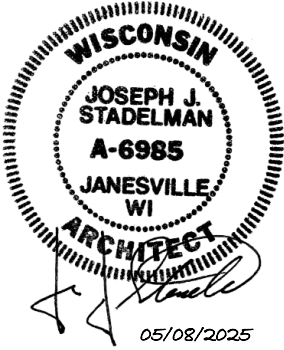
DLK ENTERPRISES  
144 NORTH TRATT STREET  
WHITEWATER, WI 53190

CONTACT: MIKE KACHEL  
EMAIL: leonk@idonet.com  
PHONE: (920) 397-0421

ARCHITECT:

ANGUS-YOUNG ASSOCIATES, INC.  
555 S. River St.  
Janesville, WI 53548

CONTACT: BRAD WERGINZ  
EMAIL: b.werginz@angusyoung.com  
PHONE: (608)756-2326



|    |    |    |    |    |    |
|----|----|----|----|----|----|
| 24 | 20 | 16 | 12 | 08 | 04 |
| 23 | 19 | 15 | 11 | 07 | 03 |
| 22 | 18 | 14 | 10 | 06 | 02 |
| 21 | 17 | 13 | 09 | 05 | 01 |

COVER SHEET

G001

DETAILS IN THIS SET ARE PLACED ON THE SHEETS AND NUMBERED WITH RESPECT TO THE GRID ABOVE. CONSEQUENTLY, DETAILS ON A GIVEN SHEET MAY OR MAY NOT BE NUMBERED CONSECUTIVELY.

SCALE: 1"=1'-0"

X:\76610\cad\76610sh\G001.dgn

PLOTTED BY: BradW

ORIGINAL SIZE: 24" x 36"



WISCONSIN  
DAIRY SUPPLY

# HAWK TAILS ARCADE TENANT SPACE REMODEL

141B W WHITEWATER  
STREET  
WHITEWATER, WI  
53190

[illegible]

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PROJECT NUMBER

76610

APPROVED BY

BTW

REVIEWED BY

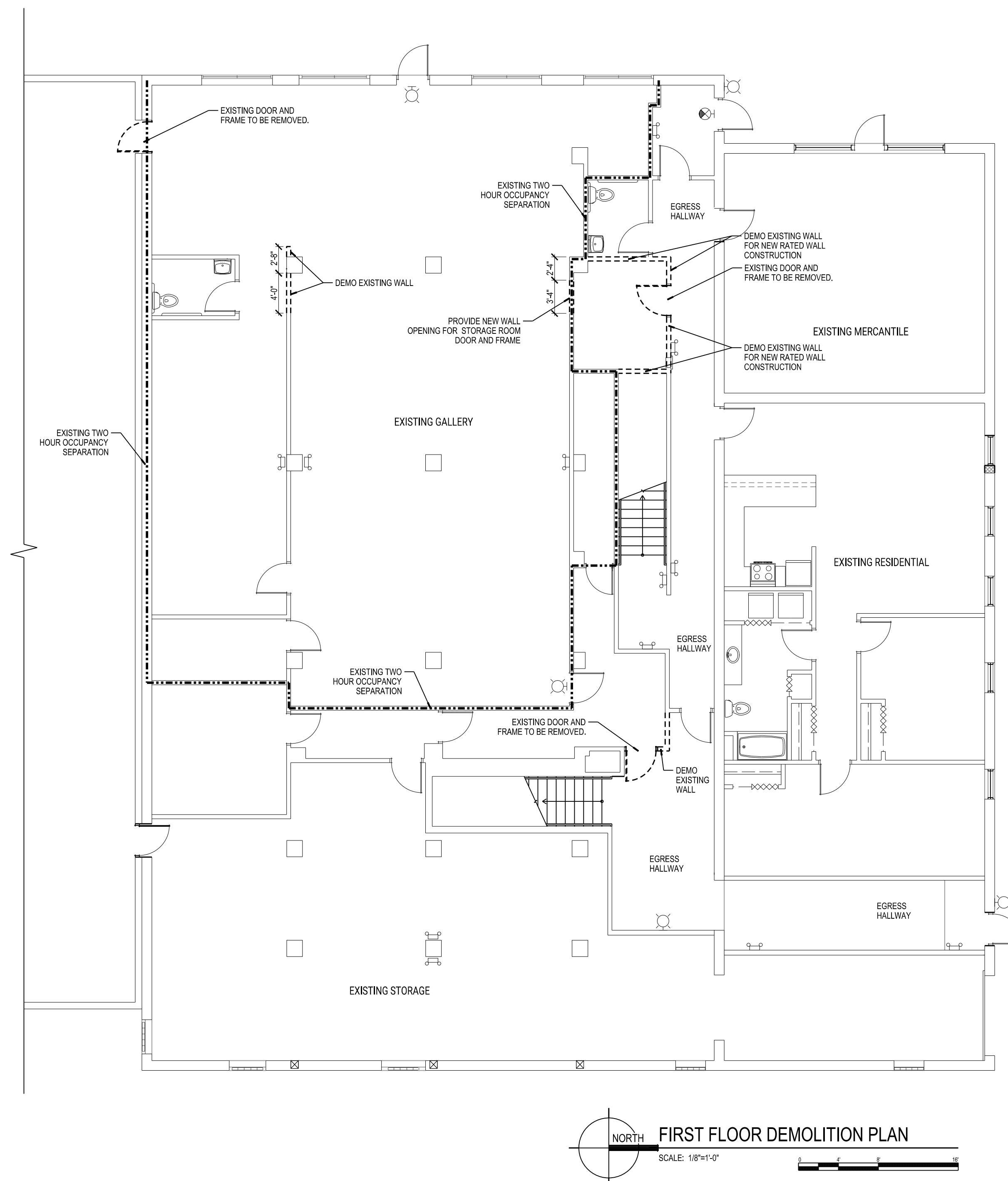
BTW

DRAWN BY

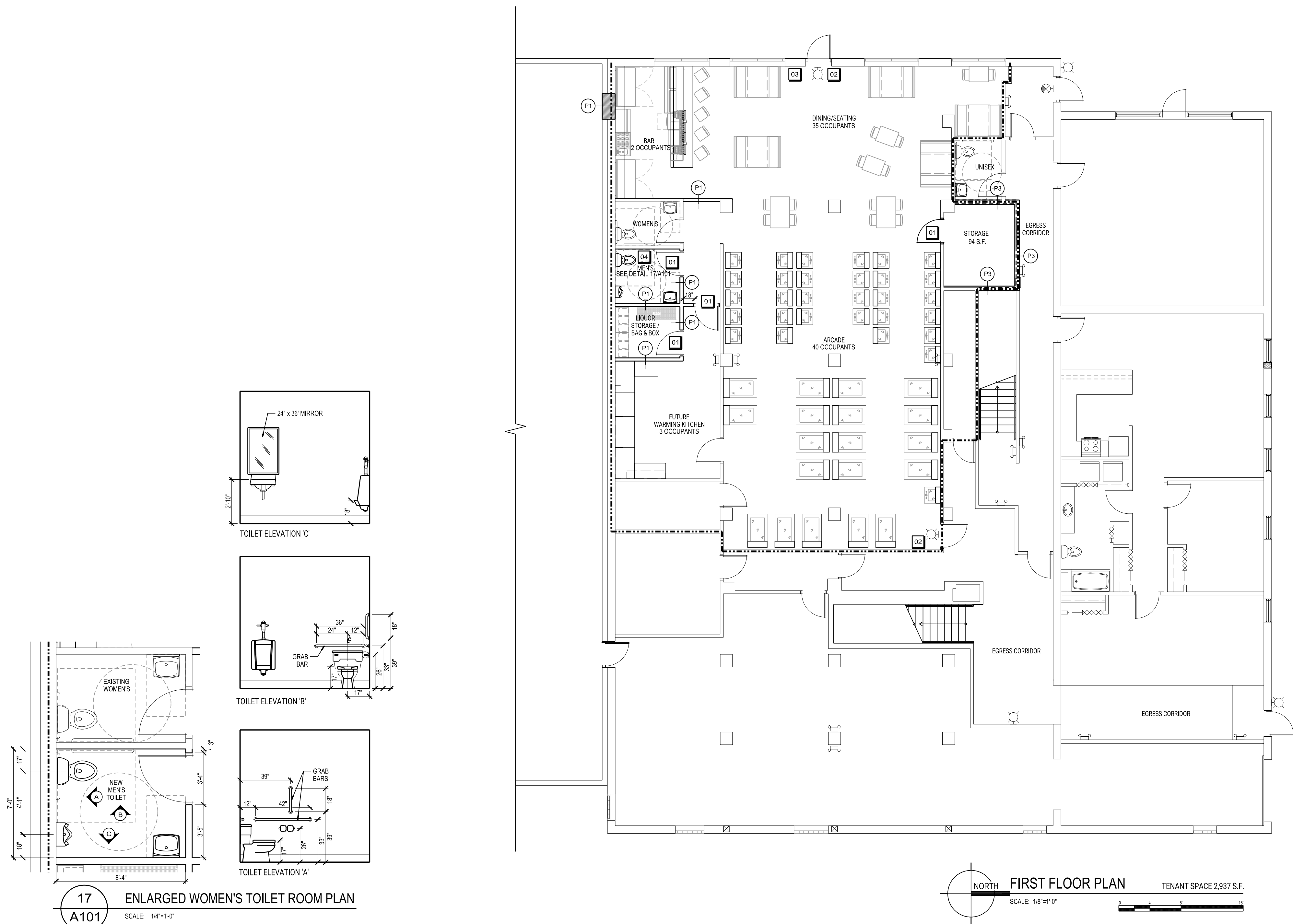
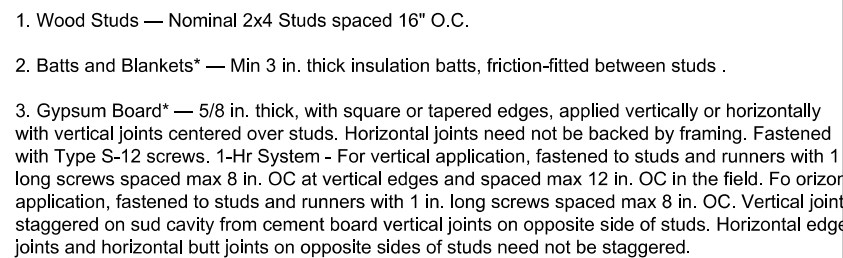
BTW

### FIRST FLOOR DEMOLITION PLAN

# A001









Neighborhood Services Department  
*Planning, Zoning, Code Enforcement, GIS  
 and Building Inspections*

[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
 Telephone: (262) 473-0540

## CONDITIONAL USE PERMIT


Plan Commission Meeting Date: February 12, 2024  
 Property Owner: DLK Enterprise  
 Applicant: DLK Enterprise, Inc d/b/a Hawk's Arcade and Lounge  
 Property ID Number: /TR 00008  
 Property Address: 141 W Whitewater Street Unit B  
 Whitewater, WI 53190

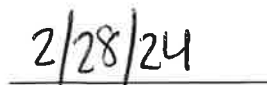
**REGARDING:** An approval for a conditional use permit (CUP) to allow for and Arcade and Lounge and Sale of Alcohol by the Drink.

Approved subject to the following conditions:

1. The applicant is responsible for planning, design, and implementation of the grading plan for the site. The City of Whitewater shall not be held responsible for any deficiency in the grading plan.
2. The project shall be developed in accordance with the approved site plan, architecture, and landscape plan. Any deviation from the approved plans shall require zoning administrator and/or Plan Commission approval.
3. The permit holder shall be responsible for the continued maintenance and/or replacement of all buildings, fencing, landscaping and other site improvements.
4. No outdoor storage
5. No truck deliveries on weekends
6. Dumpsters must be properly screened at all times.
7. All signage installed shall require proper permits

This permit was prepared by:

  
 Allison Schwark

  
 Date

**Print**

**Conditional Use Permit Application - Submission #1442**

**Date Submitted: 5/5/2025**

**City of Whitewater**

312 W Whitewater Street  
PO Box 178  
Whitewater, WI 53190  
262-473-0540  
www.whitewater-wi.gov

**Neighborhood Services**

Conditional Use Permit Application



**Conditional Use Application Checklist****Applicant**

1. Fill out Planning Request form, Conditional Use Application, Plan of Operation Form and Cost Recovery Certificate and Agreement. Twelve (12) copies 11 x 17, a digital copy of all submittal material:

- Application Forms
- Landscaping plan indicating location, type and size of materials (Please review Landscaping Guidelines)
- Stormwater and Erosion Control Applications (if necessary)
- Lighting (Photometric) Plan
- Add any other material you feel are pertinent

2. Application shall include the following Plan requirements:

- All plans shall be drawn to scale and show all sides of the proposed building.
- All plans will exhibit proposed/existing off-street parking stalls and driveway/loading docks.
- Building elevations must include the lot on which the structure is to be built and the street (s) adjacent to the lot.

3. Submit fee to City of Whitewater

**City Building Inspector/Zoning Administrator**

1. Review application for accuracy and all required information
2. Staff will review information for conformance to Ordinances
3. Engineer will review Stormwater and Erosion Control Plans
4. Landscaping Plan will be reviewed by Urban Forestry Commission
5. When application is complete and approved by all Staff it will then be forwarded to Neighborhood Services Administrative Assistant

**Neighborhood Services Administrative Assistant**

1. Conditional Use notice will be published in the local newspaper for two-week period with a one week waiting period for a total of three weeks prior to scheduled public hearing
2. Conditional Use notice will be mailed to property owners that abut the property and those that are within 300 feet minimum/and or further distance at the discretion of the zoning administrator from the property
3. Public Hearing for Conditional Use will be scheduled for the next Plan Commission meeting after notice has appeared in the newspaper for two weeks

**Process**

1. Plan Commission considers applicant's request and staff review is presented by Zoning Administrator, at the first initial appearance. If Plan Commission recommends changes and/or revisions, then the applicant must revise site plan, otherwise the is forwarded as is for the second appearance for approval/denial of the final site plan.

**NOTE:** Plan Commission normally meets the second Monday of each month at 6:00 p.m. If a public hearing is required, it will be scheduled at the beginning of the Plan Commission meeting.

Item 3.

Urban Forestry Commission usually meets the fourth Monday of each month at 5:00 p.m.

Taylor Zeinert, Economic Director  
262-473-0148

[tzeinert@whitewater-wi.gov](mailto:tzeinert@whitewater-wi.gov)

Llana Dostie, Neighborhood Services Administrative Assistant  
262-473-0144

[ldostie@whitewater-wi.gov](mailto:ldostie@whitewater-wi.gov)

Allison Schwark, Municipal Code Enforcement  
262-249-6701  
[mcodeenforcement@gmail.com](mailto:mcodeenforcement@gmail.com)

**Site Plan Upload\***

waypoint blueprint.png

**Landscaping Plan Upload** No file selected**Lighting Plan Upload** No file selected**MSDS Sheets** No file selected**Other Information** No file selected**PLANNING REQUEST****General Project Information****Project Tax Key #****Project Address\*****Project Title (if any)****Applicant, Agent & Property Owner Information****Applicant's First Name\*****Applicant's Last Name\*****Address\***

|               |        |           |
|---------------|--------|-----------|
| City*         | State* | Zip Code* |
| Fort Atkinson | WI     | 53538     |

Phone Number\*

920-728-0327

Email Address\*

jekabug@gmail.com

|            |               |
|------------|---------------|
| Agent Name | Agent Company |
| Jessica    | The Waypoint  |

Address

141b West Main St.

|            |       |          |
|------------|-------|----------|
| City       | State | Zip Code |
| Whitewater | WI    | 53190    |

Phone Number

920-728-0327

Email Address

jekabug@gmail.com

|  |                 |
|--|-----------------|
| Owner First Name (if different from applicant) | Owner Last Name |
|  |                 |

**Address****City****State****Zip Code****Phone Number****Fax Number****Email Address****Planning Request (check all that apply)**

- ☐ Site Plan and Architectural Review \$150.00 plus \$0.05 per sq. ft (Floor Area)
- ☒ Conditional Use Permit \$275.00
- ☐ Rezone/Land Use Amendment \$400.00
- ☐ Planned Unit Development \$500.00
- ☐ Preliminary Plat \$175.00
- ☐ Final Plat \$225.00
- ☐ Certified Survey Map \$200.00 plus \$10.00 per lot
- ☐ Project Concept Review \$150.00
- ☐ Joint Conditional Use & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Rezoning & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Site Plan & Conditional Use \$350.00 plus \$0.05 per sq. ft (Floor Area)
- ☐ Board of Zoning Appeals/Adjustment \$300.00

**Translation Services**

**Will translation services be needed during the Plan Board meeting?\***

- ☐ Yes
- ☒ No

**If Yes, please specify the language required.**

**Conditional Use Permit Application**

**I, (We) the undersigned owner(s)/agent do hereby petition the Plan Commission to grant a Zoning Amendment.**

**Address and legal description of the subject site\***

141B W Main St.

**Tax Parcel #\***

T4'R15

**Zoning District\***

B-2

**Requested Conditional Use\***

Open a Barcade with retail video games

**Petitioner's interest in requested Conditional Use Permit\***

Liquor license

**List type and number of structures, proposed operation or use of the structure(s) or site, number of employee, parking, etc.**

Bar/arcade/retail video game store.

**Property Owner Signature\***

Michael Kachel

**Owner's Agent Signature\***

Jessica Marks

**Address\***

Po Box 239 Whitewater, WI 53190

**Address\***

511 sherman ave west Fort Atkinson, WI 53538

**Phone and Email\***

262-473-3530 mikek.widairy@idcnet.com

**Phone and Email\***

920-728-0327 jekabug@gmail.com

**Zoning #**

Application Review by

Date

Date Filed

Dates Published

Date Notices Mailed

Plan Commission Recommendation

Date Decision Made

Plan of Operations

Property Information

Property Tax Key #\*

T4'R15

Tenant Information

Previous Business Name\*

n/a

Property Address\*

141b West Main St.

Years in Operation\*

n/a

Property Owner\*

Wisconsin Dairy supply Co.

New Business Name\*

The Waypoint

Owner Mailing Address\*

Po Box 239 Whitewater, WI 53190

Name of Operator\*

The Waypoint Bar and Games LLC

**City, State and Zip Code\***

Whitewater, WI 53190

**Operator Mailing Address\***

141B West Main St.

**Owner's Phone #\***

262-473-3530

**City, State and Zip Code\***

Whitewater, WI 53190

**Owner's Email\***

mikek.widairy@idcnet.com

**Operator's Phoen # and Email \***

920-728-0327 jekabug@gmail.com

**New Business Use/Operation Information****Description of Business use or Operations\***

Customer service

**Previous Use of Space\***

Meeper Technology

**Hours of Operations (Weekdays)\***

10-10

**Hours of Operations (Weekends)\***

10-10

**Total Area Space in Square Feet\***

1800

**# Toilet Fixtures\***

2

**# Full Time Employees\***

4

**# of Part Time Employees\***

0

**Customer Seating\***☒ Yes☐ No**Seating Capacity\***

15

**Total Employee Hours Per Year  
(include yourself if self-employed)\***

6,656

**Sprinkler System\***☐ Yes☒ No**Hazardous/Flammable Chemicals used/stored\***☐ Yes (must attach MSDS Sheets)☒ No**Specified Use of Property and Building(s)**

**Building A\***

Item 3.

commercial retail

**Building B****Building C****Will there be any problems resulting from this operation such as: (Check all that apply)\***

- ☐ Odors
- ☐ Smoke
- ☒ Noise
- ☐ Light
- ☐ Vibrations
- ☐ None

**Parking****Dimension of parking lot\***

n/a

**Number of Spaces Available\***

n/a

**Parking Lot Construction\***

- ☒ Asphalt
- ☒ Concrete

**Type of Screening\***

- ☐ Fencing
- ☒ Plantings

**Is employee parking included in "number of spaces available"?\***

- ☒ Yes
- ☐ No

**Signage(Separate Sign Permit Application Needed)**



**Type (Check all that apply)\***

- ☐ Freestanding
- ☐ Monument
- ☐ Projecting
- ☐ Awning/Canopy
- ☐ Electronic Message
- ☐ Pylon
- ☐ Arm/Post
- ☐ Window
- ☐ Mobile/Portable or Banner
- ☐ None
- ☒ Other

**If other, what type**

fascia sign

**Location of Signs\***

Above entrance door

**Entertainment****Is there any type of music in this proposal?\***

- ☐ Yes (Separate License from Clerk's Office Required)
- ☒ No

**Live \***

- ☐ Yes
- ☒ No

**When will this be offered to customers\***

- ☐ Monday
- ☐ Tuesday
- ☐ Wednesday
- ☐ Thursday
- ☐ Friday
- ☐ Saturday
- ☐ Sunday
- ☒ None

**What time(s) will this be offered****Outdoor Lighting****Type\***

2 Bell Lamps

**Location\***

Above entrance

**Utilities****Will you be connected to City Water and Sewer\***

- ☒ Yes  
☐ No

**Is there a private well on-site\***

- ☐ Yes  
☒ No

**Types of Refuse Disposal\***

- ☐ Municipal  
☒ Private

**Approval Date by the Department of Natural Resources of the well for proposed use****Approval Date by the County Health Department for existing septic system****What types of sanitary facilities are to be installed for the proposed operation\***

hand wash sinks, 2 compartment sink, dishwasher

**Surface Water Drainage Facilities (describe or include in site plan)\***

rain gutters, city road drains

**Licenses/Permits**

☒

Item 3.

**Is a highway access permit needed from the State, County or local Municipality\***

☐ Yes

☒ No

**Is a cigarette license required? (Separate license from Clerk's office)\***

☐ Yes

☒ No

**Is a liquor license required? (Separate license from Clerk's office)\***

☒ Yes

☐ No

**Did Wisconsin Department of Safety and Professional Services Division of Industry Services approve building plans\***

☒ Yes

☐ No

**Permitted Property Use (Please check all that apply)\***

- ☐ Single Family Dwelling
- ☐ Two Family Dwelling
- ☐ Modular Home
- ☐ Manufactured Home
- ☐ Second or greater wireless telecommunication facility
- ☐ Home occupations, professional home office for nonretail goods and services no customer access
- ☐ Multi-Family Dwellings
- ☐ Art, Music and School supply stores and galleries
- ☐ Antique, collectible and hobby craft stores
- ☐ Automotive and related parts store, without servicing
- ☐ Hotel and Motels
- ☐ Small appliance repair stores, computer or software sales and service
- ☐ Barbershops/Beauty Parlors
- ☐ Liquor stores without drive-thru facilities
- ☒ Resale Shops
- ☐ Professional and business offices
- ☐ Self-service laundries and dry-cleaning establishments
- ☐ Stationery stores, retail office supply stores
- ☐ Movie theaters
- ☐ Tourist homes and bed and breakfast
- ☐ Bakeries or candy stores with products for sale on premise only
- ☐ Appliance repair stores, including computer sales and service
- ☐ Caterers
- ☐ Post Offices
- ☐ Ice Cream and Cafes
- ☐ Toy stores
- ☐ Agricultural services
- ☐ Banks and other financial institutions without drive-thru facilities
- ☐ Camera and photographic supply stores
- ☐ Clothing, shoe stores and repair shops
- ☐ Clinics medical and dental
- ☐ Department Stores
- ☐ Drug Stores
- ☐ Florist Shops
- ☐ Food and Convenience stores without gasoline pumps
- ☐ Furniture stores
- ☐ Hardware stores
- ☐ Insurance agencies
- ☐ Jewelry stores
- ☐ Meat markets
- ☐ Paint, wallpaper, interior decorating and floor covering stores
- ☐ Restaurants without drive-thru facilities
- ☐ Sporting goods stores

- ☐ Variety stores
- ☐ Charitable or nonprofit institution or facilities
- ☐ Light assembly uses including electronics, pottery, printing, contractor shops (electrical, heating, plumbing and general contracting) provided there is no significant environmental emissions (odor or waste)
- ☐ Catalog and e-commerce sales outlets
- ☐ Day Spas
- ☐ Coffee Shops
- ☐ Gift Shops
- ☐ Public parking lots
- ☐ Tourist information and hospitality centers
- ☐ Dance Studio
- ☐ Lumberyards, building supply stores and green houses
- ☐ Manufacturing, fabrication, packing, packaging and assembly of products from furs, glass, leather, metals, paper, plaster, plastic, textiles, clay, woods and similar material
- ☐ Research facilities, development and testing laboratories, including testing facilities and equipment
- ☐ Retail sales and services linked to manufacturing and warehousing
- ☐ Production, or processing, cleaning, servicing, testing or remailer of materials, goods or products limited to the follow uses, products, components, or circumstances:
  - ☐ a) Electronic and electrical products instruments, such as transistors, semiconductors, small computers, scanners, monitors and compact communication devices
  - ☐ b) High technology products related to the fields of physics, oceanography, astrophysics, metallurgy, chemistry, biology or other scientific field offered for study by University of Whitewater
  - ☐ c) Laser technology, radiology, x-ray and ultra sound products, manufacturing and assembly
  - ☐ d) Medical and dental supplies
  - ☐ e) Optical, fiber optical and photographic products and equipment
  - ☐ f) Orthopedic and medial appliances such as artificial limbs, brace supports and stretchers
  - ☐ g) Products related to process design, process stimulation, computer hardware and software development, safety engineering
  - ☐ h) Scientific and precision instruments and components, including robotics
- ☐ Telecommunication centers (not including wireless telecommunications facilities)
- ☐ Private recreation facilities
- ☐ Freight terminals, trucking servicing and parking, warehousing and inside storage
- ☐ More than one principal structure on a lot when the additional building is a material and direct part of the primary business
- ☐ Pilot Plans and other facilities for testing manufacturing, processing or fabrication methods or for testing of products or materials
- ☐ Colleges and universities



**Permitted Conditional Uses (Please check all that apply)**

- ☐ Planned Residential Development
- ☐ First Wireless telecommunications facility located on alternative structure only
- ☐ Attached townhouse dwellings up to four units per building
- ☐ Public and semipublic uses
- ☐ Multifamily dwellings and attached dwellings, over four units (new construction only)
- ☐ Any building over forty feet
- ☐ Conversion of existing structures resulting in more dwelling units
- ☐ Dwelling units with occupancy of six or more unrelated persons
- ☐ All uses with a drive-in and drive-thru facilities
- ☐ Automobile repair and service
- ☒ Taverns and other places selling alcoholic beverages by the drink
- ☐ Daycare centers, adult, child and doggie
- ☐ Large Retail and Commercial Service Developments
- ☐ Motor Freight Transportation
- ☐ Light manufacturing and retail uses
- ☐ Home Occupations/Professional Home offices requiring customer access
- ☐ Bed and Breakfast establishments
- ☐ Conversion of existing single-family dwellings to two-family attached dwellings
- ☐ Professional business offices in a building where principal use is residential
- ☐ Fraternity or sorority houses and group lodging facilities
- ☐ Planned Development
- ☐ Conversion of existing units with less than five bedrooms to five or more bedrooms
- ☐ Entertainment establishments, including clubs but excluding adult entertainment
- ☐ Automobile and small engine vehicles sales and rental facilities
- ☐ Car washes
- ☐ Gasoline service stations, including incidental repair and service
- ☐ Funeral homes and crematory services
- ☐ Liquor or tobacco stores
- ☐ Wholesale trade of durable and nondurable goods
- ☐ Salvage Yards

**Signatures**

By signing below, I certify that the above information is true and accurate account of the information requested for my business site and its operation and use. Should an inspection be required, I agree to all the Inspector(s) reasonable access to the space to verify compliance with the Municipality's Ordinance. In addition, I fully understand that completion of this or its approval does not preclude me from complying with all applicable State Statues or Municipal Ordinances regarding my business and its lawful operations.

**Applicant's Signature\*****Date\***

Jessica Marks

5-5-2024



**Inspector/Zoning Signature****Date****Item 3.****Cost Recovery Certificate and Agreement**

Pursuant to Ordinance 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code

The undersigned applicant hereby acknowledges and agrees to be bound by Ordinances 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code, providing for city recovery of all city costs and disbursements incurred directly or indirectly related to the Applicant's request. All costs incurred by the city in the consideration of any requests by the Applicant related to the Applicant's request shall be recoverable, including but not limited to, all professional and technical consultant services and fees retained by the city and rendered in review of any application, including the engineer, planner, attorney, or any other professional or expert hired by the village for purposes of review of the application or pre-submission request. The Applicant agrees to reimburse the City for all costs recoverable pursuant to the terms of the above numbered ordinance within the time period set forth by the City of Whitewater Municipal Code. At no time shall any cost recoverable fees be waived, except through the process of a written request by the Applicant and the Common Council, review and evaluation by the Common Council, and official action taken by the Common Council.

**PROJECT INFORMATION****PROJECT NAME\***

The Waypoint Bar and Games

**PROJECT LOCATION\***

141B West Main Street

**APPLICANT INFORMATION****NAME\***

Jessica Marks

**MAILING (BILLING) ADDRESS\***

511 sherman ave west

**PHONE\***

920-728-0327

**EMAIL ADDRESS\***

jekabug@gmail.com

**ATTORNEY INFORMATION**

NAME

PHONE

EMAIL ADDRESS

SIGNATURE OF APPLICANT\*

Jessica Marks

DATE\*

5-5-2025

**Note to Applicant:** The City Engineer, Attorney and other City professionals and staff, if requested by the City to review your request, will be billed for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect from this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in 19.74.10 and 16.04.270 of the Municipal Code.

**RATES**

City Administration Hourly Rate Shall Not Exceed

Interim Director of Economic Development: Emily McFarland \$

Director of Public Works: Brad Marquardt \$72.33

Director of Finance: Rachelle Blitch \$65.94

Clerk: Heather Boehm \$43.33

Deputy Clerk: Tiffany Albright \$29.20

NS Administrative Assistant Llana Dostie \$

Building Inspection Services

Building Inspector Commercial: Joe Mesler \$80.00

Building Inspector Residential: Jon Mesler \$80.00

City Attorney

Russell Law Offices, LLc

Attorney Timothy Brovold \$

City Engineer

Strand and Associates \$247.63

Primary Contact: Mark Fischer

City Planners and Zoning Administrator

Primary Contact: Allison Schwark \$49.00

|   |   |   |  |
|---|---|---|--|
| <b>Building Inspector Date Received</b> | <b>Review by</b>                                  | <b>Zoning Administrator Date Received</b> | <b>Reviewed by</b>   |
| <div></div>                             | <div></div>                                       | <div></div>                               | <div></div>  |
| <b>Occupancy Classification</b>         | <b>Occupancy Classification Surrounding Units</b> | <b>Zoning of Property</b>                 | <b>Use Permitted</b>   |
| <div></div>                             | <div></div>                                       | <div></div>                               | <div><input type="checkbox"/> By Right<br/><input type="checkbox"/> By CUP<br/><input type="checkbox"/> PC Approval Required</div> |

Item 3.

Approval

☐ Approved

☐ Denied

Date

Approval

☐ Approved

☐ Denied

Date

Public Works  
Approval

☐ Approved

☐ Denied

Date

City Engineer  
Approval

☐ Approved

☐ Denied

Date

Police Department

☐ Approved

☐ Denied

Date

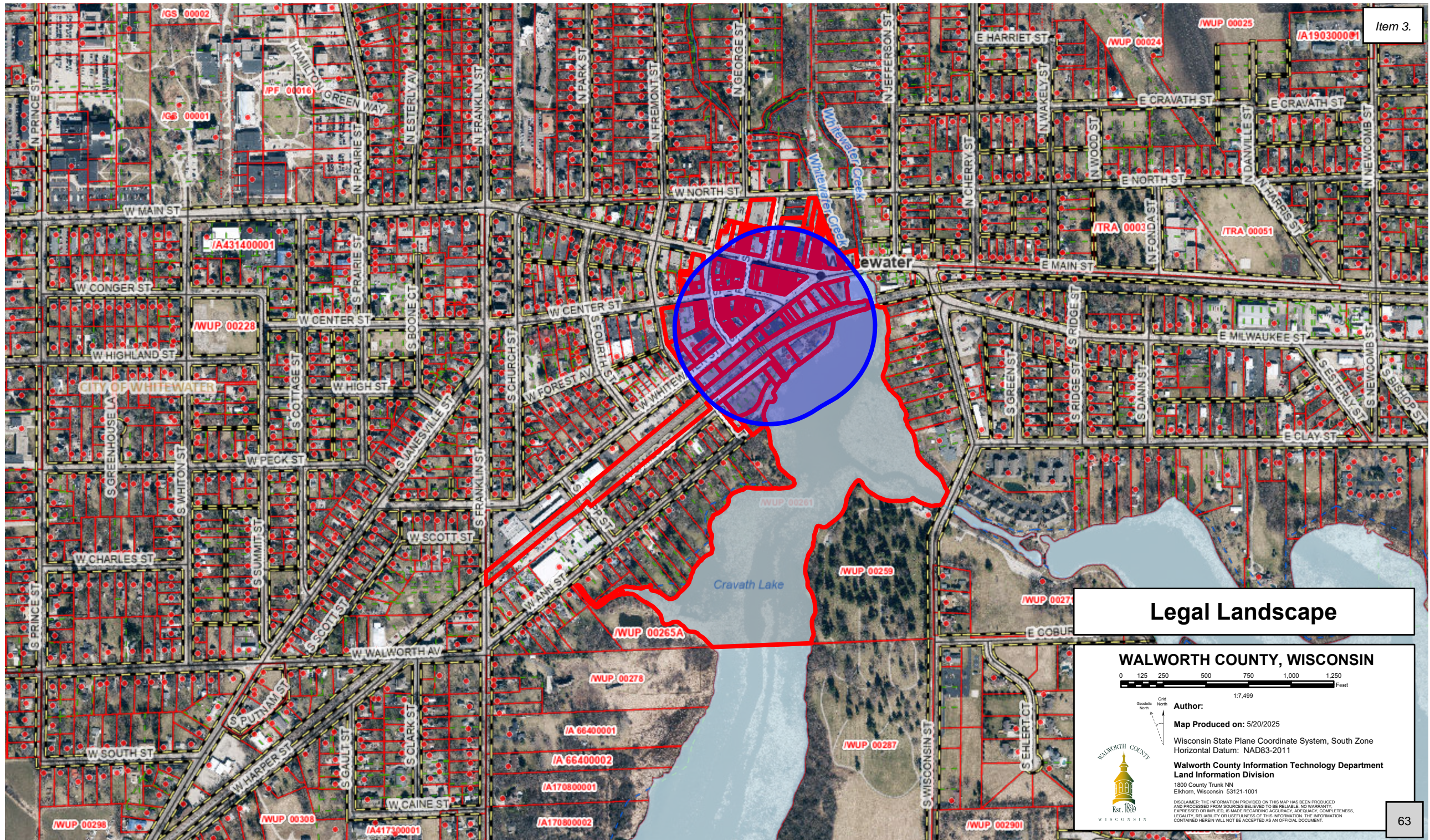
Fire Department  
Approval

☐ Approved

☐ Denied

Date





## Legal Landscape

### WALWORTH COUNTY, WISCONSIN

0 125 250 500 750 1,000 1,250 Feet

1:7,499



Author:

Map Produced on: 5/20/2025

Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD83-2011

**Walworth County Information Technology Department  
Land Information Division**

1800 County Trunk NN  
Elkhorn, Wisconsin 53121-1001

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CITY OF WHITEWATER PUMP HOUSE  
312 W WHITEWATER STREET  
WHITEWATER, WI 53190

R & B BRASS RAIL CORPORATION  
130 W MAIN STREET  
WHITEWATER, WI 53190

CBP PROPERTIES LLC  
417N FREMONT STREET  
WHITEWATER, WI 53190

SHABANI INVESTMENTS LLC  
11337 E COUNTY ROAD N  
WHITEWATER, WI 53190

KETTERHAGEN TRUST  
1631 PEARSON CT  
WHITEWATER, WI 53190

ILMI SHABANI TRUST  
ANIFE SHABANI TRUST  
11337 COUNTY ROAD N  
WHITEWATER, WI 53190

MIKNNA, LLC  
C/O AROPA DESIGNS  
144 W MAIN STREET  
WHITEWATER WI 53190

WOKES, LLC  
146 W MAIN STREET  
WHITEWATER, WI 53190

JOSE BARAJAS  
JUANA BARAJAS  
409 BUCKINGHAM BLVD  
WHITEWATER WI 53190

TAMMY APRAHAMIAN  
WHITEWATER RENTALS, LLC  
BOWERS HOUSE LLC  
STONEGATE MANAGEMENT LLC  
LAKE COUNTRY PARTNERSHIPS, LLC  
S107 W 30511 SANDY BEACH ROAD  
MUKWONAGO, WI 53149

DAVID SAALSAA  
184 W MAIN ST #3  
WHITEWATER, WI 53190

CITY OF WHITEWATER  
312 W WHITEWATER STREET  
WHITEWATER, WI 53190

FIRST CITIZENS STATE BANK  
207 W MAIN STREET  
WHITEWATER, WI 53190

STEPHEN FAIRCHILD  
126 W CENTER STREET  
WHITEWATER, WI 53190

DIANE TRAMPE  
138 W CENTER STREET  
WHITEWATER, WI 53190

FIRE STATION 1 LLC  
138 W CENTER STREET  
WHITEWATER, WI 53190

VAS 117 S SECOND LLC  
VAS 135 W CENTER LLC  
S52W23080 HUNTERS HOLLOW  
WAUKESHA, WI 53189-9755

JORGE ISLAS MARTINEZ  
565 S FRANKLIN STREET  
WHITEWATER, WI 53190

MEXSAL LLC  
565 S FRANKLIN STREET  
WHITEWATER, WI 53190

HBCK LLC  
2924 CANDLEWOOD DRIVE  
JANESVILLE WI 53546

DLK ENTERPRISES, INC  
PO BOX 239  
WHITEWATER, WI 53190

141 W MAIN STREET BUILDING LLC  
C/O BARBARA KRAMER  
1142 LAKE HERON DRIVE 2 B  
ANNAPOLIS MC 21403

RUSSELL WALTON FAMILY TRUST  
KIMBERLY WALTON FAMILY TRUST  
1005 W MAIN STREET  
WHITEWATER, WI 53190

AUREL BEZAT  
DANIELA BEZAT  
751 CAMBRIDGE DR  
JANESVILLE, WI 53548-1903

KD WILCOX INVESTMENTS LLC  
PO BOX 440  
WHITEWATER WI 53190

JLY 3 LLC  
PO BOX 111  
MAYVILLE, WI 53050

BULLDOG INVESTMENTS, LLC  
109 S FIRST STREET  
WHITEWATER, WI 53190

GKC RENTALS-WHTEWATER LLC  
W7723 HACKETT ROAD  
WHITEWATER, WI 53190

HANTROPP PROPERTIES, LLC  
GREGORY CONDOS  
158 W WHITEWATER STREET  
WHITEWATER, WI 53190

STEVE O'S LLC  
156 W WHITEWATER STREET  
WHITEWATER, WI 53190



RODRIGUEZ PROPERTIES II LLC  
N9707 N MCCORD ROAD  
WHITEWATER WI 53190

MIQIS LLC  
11137 E COUNTY ROAD N  
WHITEWATER WI 53190

MARIETTA RENTALS LLC  
123 W CENTER STREET  
WHITEWATER, WI 53190

WISCONSIN DAIRY SUPPLY CO TAX  
COMMISSIONER C.M.ST.P. & P RR CO  
PO BOX 239  
WHITEWATER WI 53190

XURI PROPERTIES LLC  
S95 W34735 JERICHO DRIVE  
EAGLE WI 53190

MILK ADVISORY BOARD LLC  
147 S PRINCE STREET  
WHITEWATER WI 53190

ASSOCIATED BACK CORPORATION  
LEASING-REASTATE, MS 8227  
433 MAIN STREET  
GREEN BAY WI 54301

UNITED STATES POSTAL SERVICE  
213 W CENTER STREET  
WHITEWATER, WI 53190

BUEHLER LAW OFFICE LLC  
266 LAKEVIEW DRIVE  
WHITEWATER WI 53190

ROBERT ARDELT TRUST  
835 WALWORTH AVENUE  
WHITEWATER WI 53190

CENTER STREET RENTALS LLC  
W9597 BREIDSAN DRIVE  
WHITEWATER WI 53190

CC PROPERTY DEVELOPMENT LLC  
111 W WHITEWATER STREET  
WHITEWATER WI 53190

COMMUNITY DEVELOPMENT  
AUTHORITY OF CITY OF WHITEWATER  
312 W WHITEWATER STREET  
WHITEWATER WI 53190

STATE OF WISCONSIN DEPT OF  
TRANSPORTATION  
PO BOX 7921  
MADISON WI 53707-7921

# MEMORANDUM

To: City of Whitewater Plan and Architectural Review Commission

From: Allison Schwark, Zoning Administrator

Date: June 9, 2025

Re: Concept Review

| Summary of Request                          |  |
|---|--|
| <b>Requested Approvals:</b>                 | Concept Review   |
| <b>Location:</b>                            | Vacant lot on the corner of Innovation and Technology Drive (A455500001) |
| <b>Current Land Use:</b>                    | Vacant   |
| <b>Proposed Land Use:</b>                   | Fire Department Training Facility  |
| <b>Current Zoning:</b>                      | General Manufacturing District   |
| <b>Proposed Zoning:</b>                     | N/A  |
| <b>Future Land Use, Comprehensive Plan:</b> | Business/Industrial Park   |

## Staff Review

The applicant is requesting a conceptual review of a future project on a vacant lot within the industrial park for the City of Whitewater's Fire Department Training Facility. The proposed facility would consist of three levels, all constructed of metal. The facility would be utilized by the City of Whitewater Fire Department for training, as well as to host other fire departments for training and events.

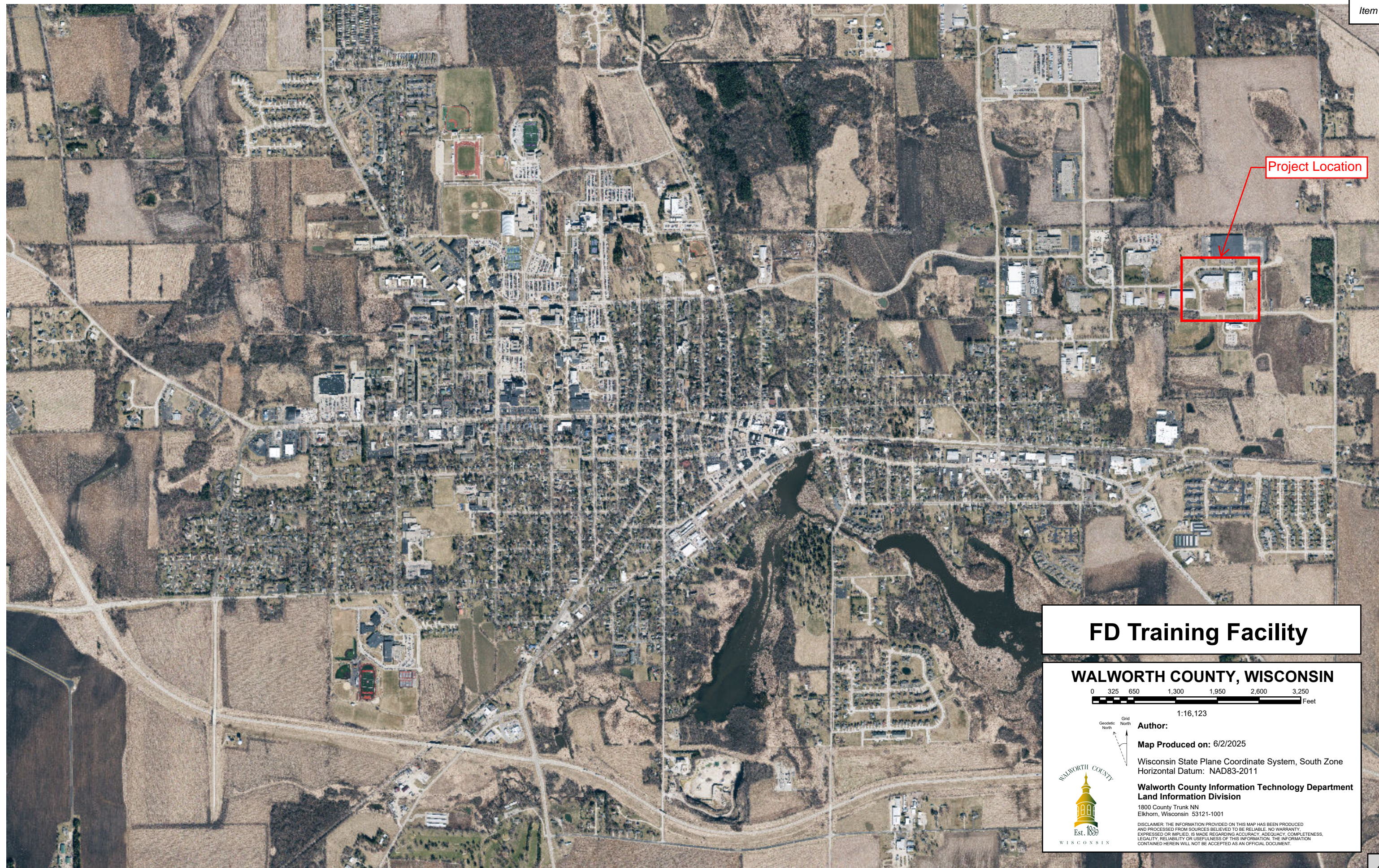


The proposed facility is currently in the conceptual phase of the design, and the Fire Department is seeking feedback on the proposed project. The provided plans are not finalized, and do not include final architectural drawings, stormwater plans, grading plans, or site plan. The current parcel is approximately 2.64 acres, and would easily be able to accommodate the proposed structure, as well as additional parking areas and comply with all of the requirements of the M-1 zoning district. At this time it is unknown where the structure would be placed upon the parcel, however this information will be provided during the detailed site plan review in a later phase.

### Planner's Recommendations

- 1) The proposal is presented as a conceptual review only, discussion about the proposed project is crucial, however, no formal action shall be taken on the project.



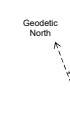


## FD Training Facility

**WALWORTH COUNTY, WISCONSIN**

0 325 650 1,300 1,950 2,600 3,250 Feet

1:16,123



**Author:**

**Map Produced on:** 6/2/2025

Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD83-2011

**Walworth County Information Technology Department  
Land Information Division**

1800 County Trunk NN  
Elkhorn, Wisconsin 53121-1001

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Project Location

## FD Training Facility

### WALWORTH COUNTY, WISCONSIN

0 40 80 160 240 320 400 Feet

1:2,015

Geodetic North  
Grid North

**Author:**

**Map Produced on:** 6/2/2025

Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD83-2011

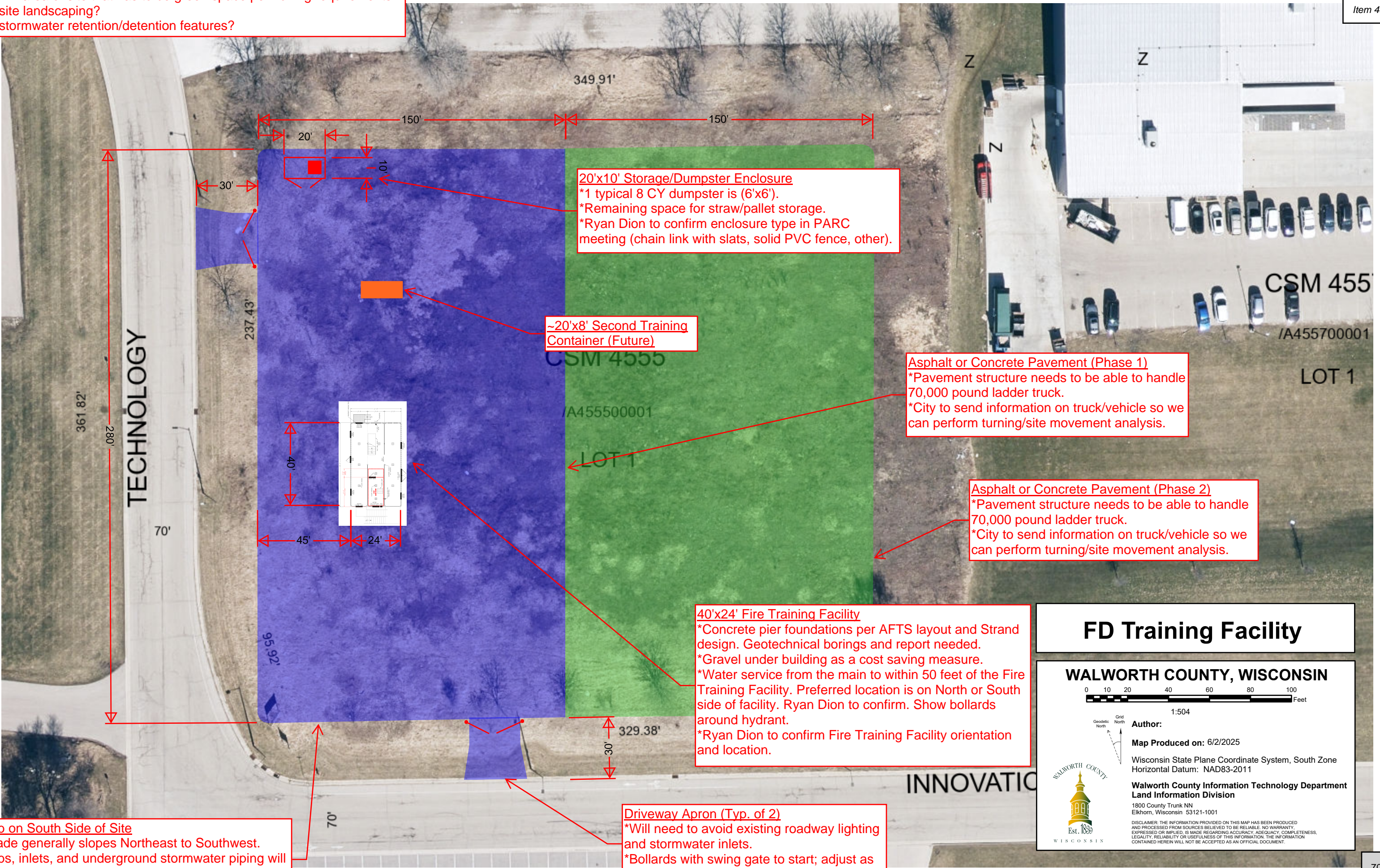
**Walworth County Information Technology Department  
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1800 County Trunk NN  
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Additional Questions/Topics:  
\*Confirm area of site that has to be green space per zoning requirements.  
\*Any site landscaping?  
\*Any stormwater retention/detention features?











6. MINIMUM REINF. "A" & "B" AROUND ANY AND ALL OPENINGS SHALL BE #4.

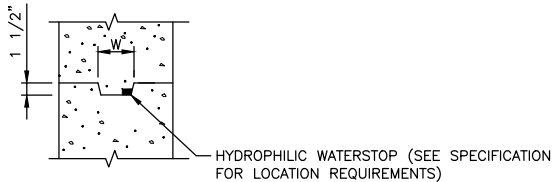
D REINFORCEMENT AT CONCRETE OPENINGS  
99-ASM5.01 NO SCALE

E DANGER SIGN  
99-ASM5.01 NO SCALE

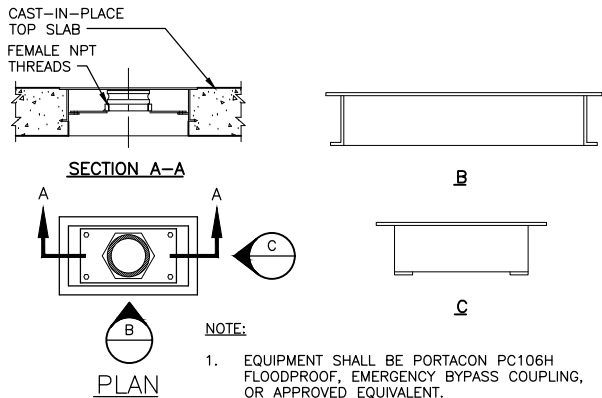
F GUARD POST  
99-ASM5.01 NO SCALE

NOTES:

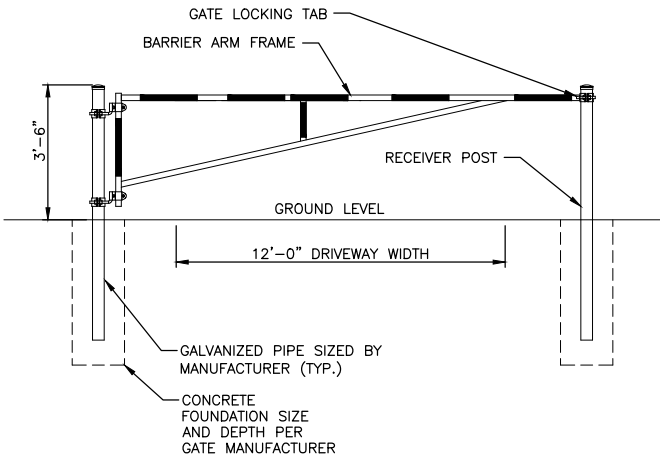
1. RUN REINF. CONTINUOUS THROUGH JOINT.
2. STOP KEYWAYS AND WATER STOPS IN VERTICAL JOINTS 6" BELOW EXPOSED TOP OF WALL.
3. W=5 1/2" FOR WALLS & SLABS 18" THICK OR MORE.
4. W=3 1/2" FOR WALLS & SLABS LESS THAN 18" THICK UNLESS NOTED OTHERWISE ON DRAWING.
5. DETAIL DEPICTS JOINT WITHIN WALLS OR SLABS. DETAIL ALSO APPLIES TO WALL/SLAB INTERSECTIONS.
6. APPLY BONDING AGENT TO JOINT AS SPECIFIED.



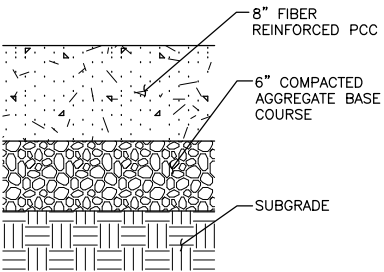
G CONSTRUCTION JOINT  
99-ASM5.01 NO SCALE



H BYPASS COUPLING SYSTEM  
99-ASM5.01 NO SCALE



J BARRIER ARM GATE  
99-ASM5.01 NO SCALE



K CONCRETE PAVEMENT  
99-ASM5.01 NO SCALE

NOTE:  
PROVIDE CONSTRUCTION AND CONTROL JOINTS AS SPECIFIED AND SHOWN ON THE DRAWINGS

DETAILS AND CONSTRUCTION  
ARCHITECTURAL/STRUCTURAL/MECHANICAL - DETAILS

VANDERLIP PUMPING STATION AND  
FORCE MAIN REPLACEMENT  
CITY OF WHITEWATER  
WALWORTH COUNTY, WISCONSIN

JOB NO.  
1407.111  
PROJECT MGR.  
ABC

SA  
STRAND  
ASSOCIATES®

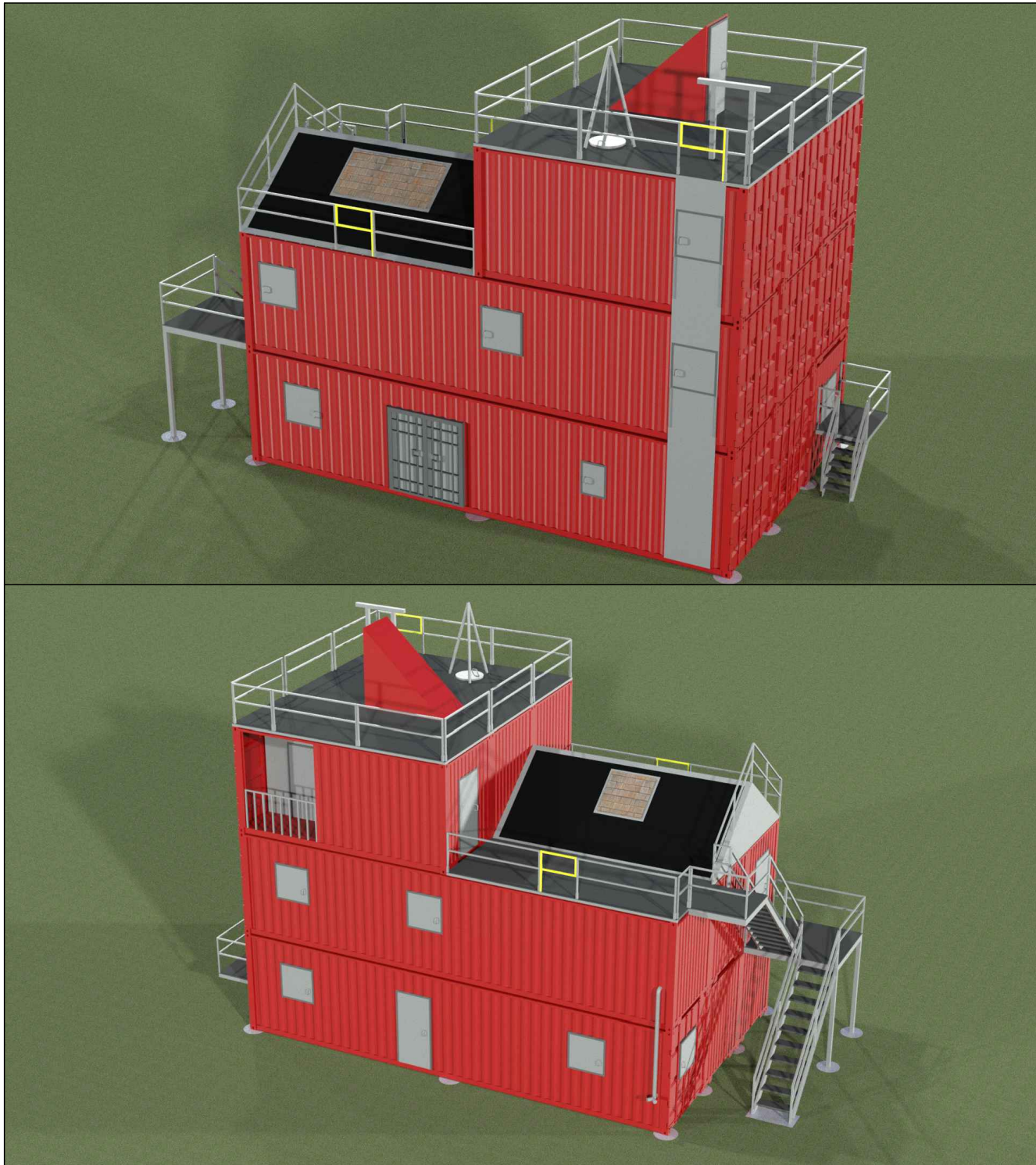
SHEET  
27  
99-ASM5.01

72



# THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY

## WHITEWATER F.D. - WHITEWATER, WI.



**CONCEPTUAL VIEWS**

**UNIT SPECIFICATIONS**

- 6 - 40' H.C. CONTAINERS
  - 3 - 20' H.C. CONTAINERS
  - 3 - ROOFTOP PLAYFORMS
  - 1 - DUAL PITCH ATTIC SIM.
  - 2 - CHOP-OUTS
  - 1 - 4-LEVEL EXT. STAIRCASE
  - 1 - 3-LEVEL INT. STAIRCASE
  - 1 - 4-DOOR STANDRAD DOOR
  - 1 - BASEMENT BAIL-OUT PROP
  - 1 - REBAR WINDOW
  - 1 - DENVER DRILL WINDOW PROP
  - 1 - 3LVL STANDPIPE
  - 3 - WALK THROUGHES
  - 2 - 14'X8' BURN ROOMS
  - 3 - 8'X4' BURN APRONS
  - 1 - 6'X4' BURN APRON
  - 7 - FLOOR DRAINS
  - 4 - BURN DOORS
  - 2 - VENTS
  - 2 - BURN WINDOWS
  - 2 - BURN CARTS
  - 1 - 4-ZONE RTD SYSTEM
  - 1 - 4-LEVEL INT. STAIRCASE
  - 7 - 36X36 WINDOWS
  - 9 - 36X80 DOORS
  - 2 - SWING-AWAY BREACH WALLS
  - 1 - DUAL PITCH ROOF
  - 2 - CHOP-OUTS W/PIKE POLE CHOPS
  - 1 - RECESSED BALCONY
  - 1 - BULKHEAD DECK ACCESS
  - 1 - RAPPEL ANCHOR
- TRAINING AREA = 4160 SQ.FT.



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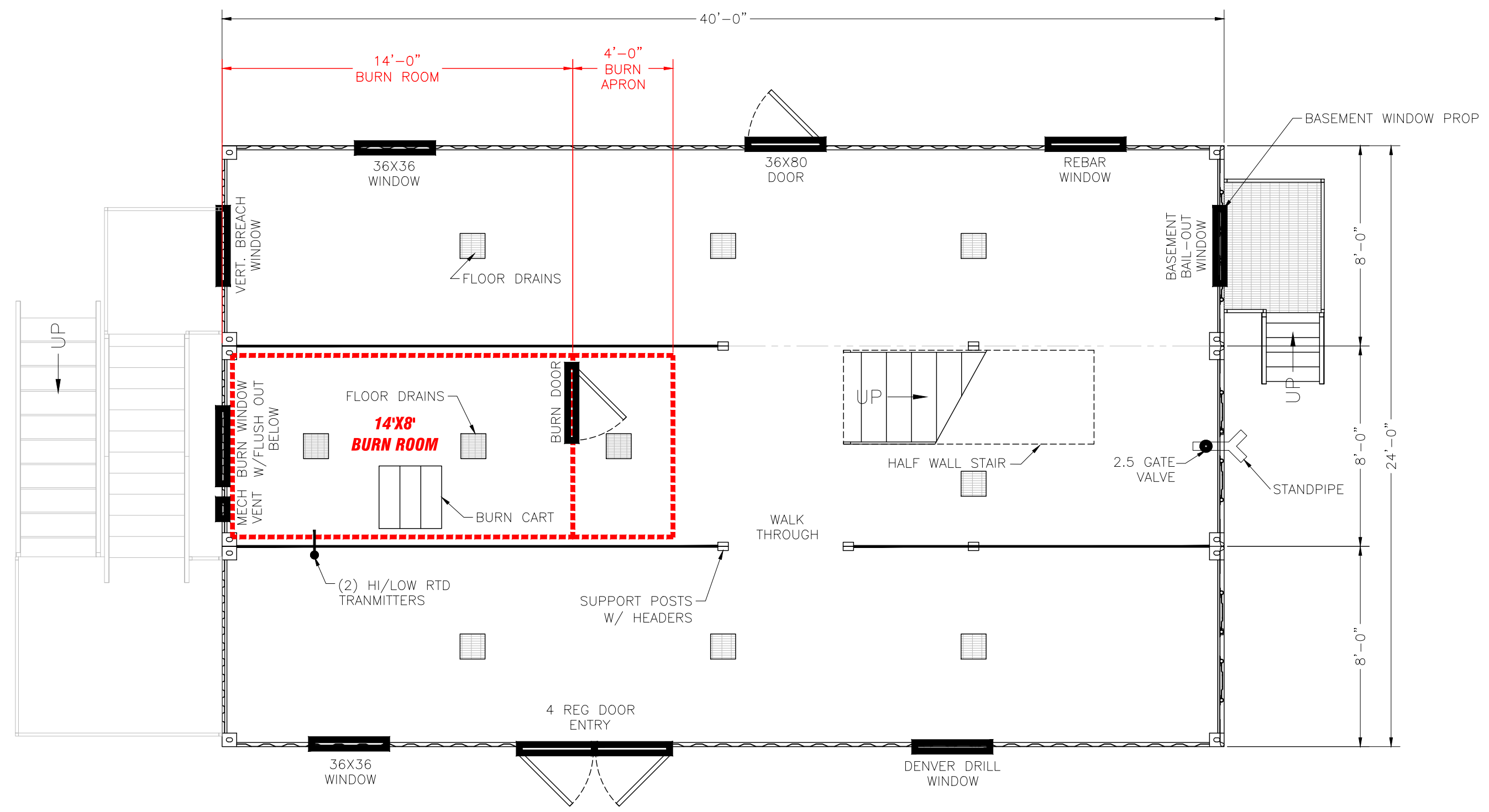
AMERICAN FIRE TRAINING SYSTEMS, INC.  
12315 SOUTH NEW AVE., POB #39  
LEMONT, ILLINOIS 60439  
(630) 257-0112



THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY  
WHITEWATER F.D. - WHITEWATER, WI.

DRAWN BY: JTB  
REV: —  
DATE: 01-24-25  
SCALE: —  
P NO. J0081  
DWG NO.

**A00**



ALL WINDOWS TO BE 36"  
FROM FLOOR

# FIRST FLOOR PLAN

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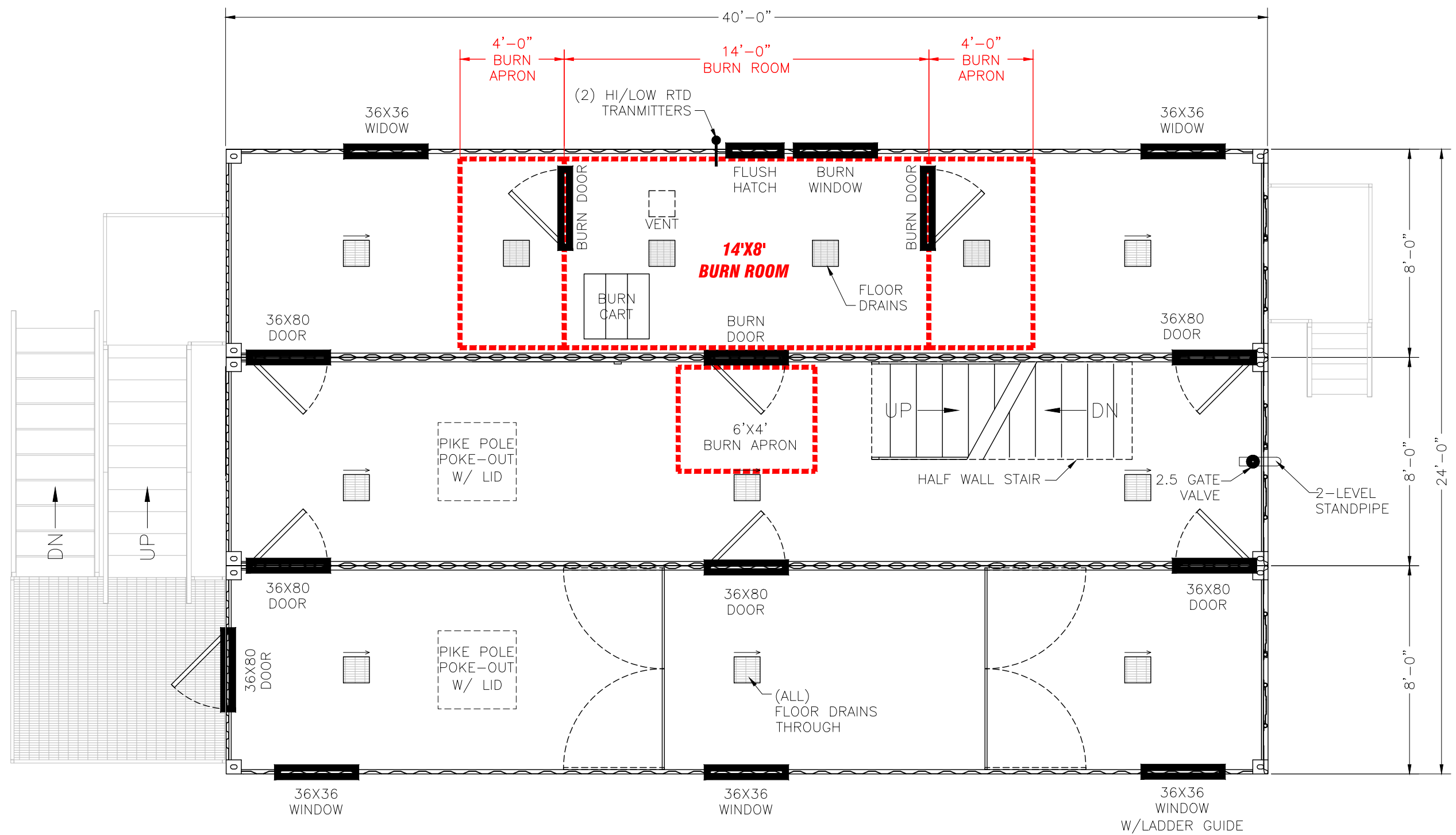
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DRAWN BY: JTB  
REV: -  
DATE: 01-24-25  
SCALE: -  
P NO. J0081  
DWG NO.

A01



ALL WINDOWS TO BE 36"  
FROM FLOOR

## SECOND FLOOR PLAN

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LEMONT, ILLINOIS 60439  
(630) 257-0112



THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY  
WHITEWATER F.D. - WHITEWATER, WI.

DRAWN BY: JTB  
REV: -  
DATE: 01-24-25  
SCALE: -  
P NO. J0081  
DWG NO.

A02



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(630) 257-0112



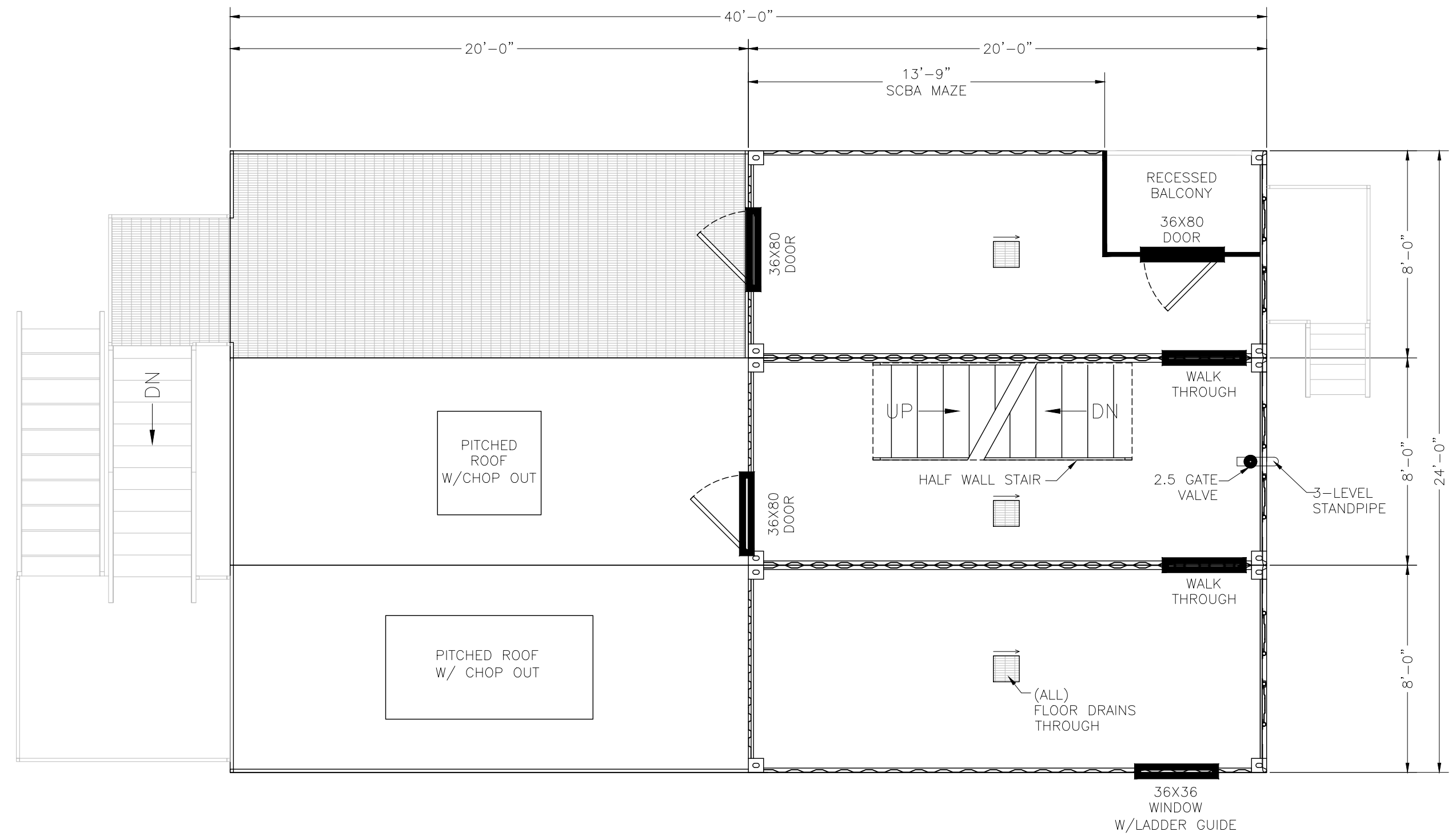
THE CHIEF C.G. HICKEY FIRE TRAINING FACILITY  
WHITEWATER F.D. - WHITEWATER, WI.

DRAWN BY: JTB  
REV: -  
DATE: 01-24-25  
SCALE: -  
P NO. J0081  
DWG NO.

A03

ALL WINDOWS TO BE 36"  
FROM FLOOR

### THIRD FLOOR PLAN



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A

B

C

D

E

F

A

B

C

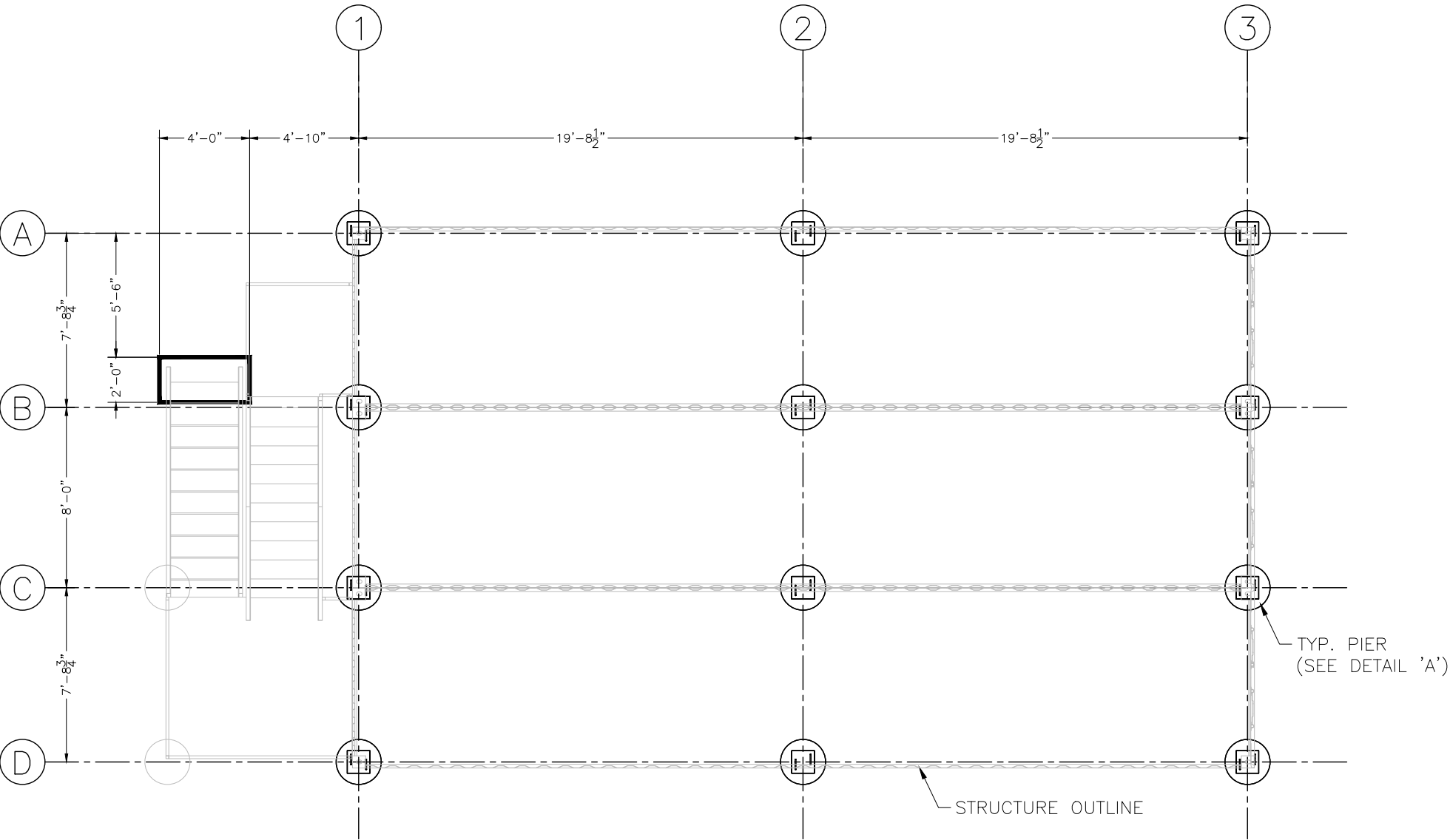
D

E

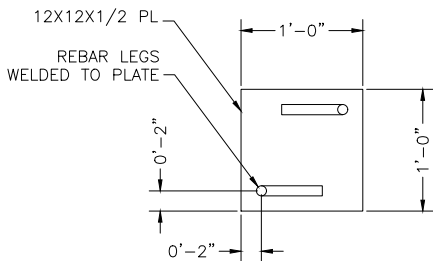
F

|       |               |      |           |         |
|-------|---------------|------|-----------|---------|
| RevNo | Revision note | Date | Signature | Checked |
|-------|---------------|------|-----------|---------|

Item 4.



NOTE:  
PLATES TO BE 1/8"  
ABOVE TOP OF CONCRETE  
AND WELDED TO CORNER  
CASTERS.



DETAIL "B"  
SCALE = 4X

RECOMMENDED PIER LAYOUT

RECOMMENDED PIER DESIGN ONLY. LOCAL SOIL  
AND CODE REQUIREMENTS MAY REQUIRE CHANGE  
IN DESIGN. SEE LOCAL CODE.

| Itemref     | Quantity   | Title/Name, designation, material, dimension etc |                 |          | Article No./Reference |       |
|-------------|------------|--|-----------------|----------|-----------------------|-------|
| Designed by | Checked by | Approved by - date                               | File name       | Date     | Scale                 |       |
| -           | -          | -  | J0081           | 01-24-25 | AS NOTED              |       |
| AFTS        |            |  | WHITEWATER, WI. |          |                       |       |
|             |            |  | PIER LAYOUT     |          | Edition               | Sheet |
|             |            |  |                 |          | -                     | S02   |



Task Order No. 25-07  
City of Whitewater, Wisconsin (OWNER)  
and Strand Associates, Inc.® (ENGINEER)  
Pursuant to Agreement for Technical Services dated December 30, 2020

### **Project Information**

Project Name: Fire Department Training Facility

Services Description: Preliminary design, final design, and bidding-related services for design of an approximate two-acre site consisting of foundations for a modular shipping container fire training facility, a storage/dumpster enclosure, water service from water main to a fire hydrant within 50 feet of the fire training facility, site grading, stormwater conveyance, finished surface (asphalt or concrete), and access aprons to the adjacent streets. It is understood that the development of this site may need to be completed in phases as funding becomes available.

### **Scope of Services**

ENGINEER will provide the following services to OWNER.

#### Preliminary Design Services

1. Attend a project kickoff meeting with OWNER to review the general layout and project details.
2. Request underground utility marking and perform topographic survey of the approximately two-acre project site.
3. Assist OWNER with procuring geotechnical services for soil borings and geotechnical report for the project. OWNER shall contract directly with the geotechnical firm.
4. Review State of Wisconsin's and OWNER's codes and standards applicable to the project.
5. Communicate with OWNER's fire training facility designer to obtain design loading for the foundations to be designed by ENGINEER. It is anticipated that vertical loads will be provided by the fire training facility designer and that lateral loads will be developed by ENGINEER.
6. Prepare and provide preliminary (approximately 50 percent completion) site and foundation drawings for OWNER's review based on the concept plan prepared and provided by OWNER.
7. Participate in one virtual meeting with OWNER to review the preliminary drawings. Prepare and provide meeting minutes and an action item list.
8. Revise preliminary drawings in accordance with comments received from OWNER, as appropriate.

City of Whitewater, Wisconsin  
Task Order No. 25-07  
Page 2  
March 25, 2025

9. Prepare a preliminary opinion of probable construction cost (OPCC).

#### Final Design Services

1. Prepare Bidding Documents using Engineers Joint Contract Documents Committee C-700 Standard General Conditions of the Construction Contract, 2018 edition, technical specifications, and engineering drawings in AutoCAD Civil 3D 2020 format.
  - a. Site, utility (water main and fire hydrant), and stormwater drawings and specifications with stormwater design in accordance with State of Wisconsin and OWNER's stormwater standards.
  - b. Structural foundation drawings and specifications.
  - c. Fire training facility information shall be provided by OWNER's fire training facility designer for inclusion in ENGINEER's Bidding Documents.
2. Prepare final OPCC.
3. Participate in one virtual meeting with OWNER to review the Bidding Documents and OPCC. Revise Bidding Documents in accordance with comments received from OWNER, as appropriate.
4. Submit final Bidding Documents sealed by a registered engineer to the State of Wisconsin Department of Safety and Professional Services, if needed, and to OWNER. ENGINEER's compensation includes an allowance of up to \$1,000 in building plan review fees. OWNER shall compensate ENGINEER for the actual plan review fees. OWNER's fire training facility designer shall seal its design documents.
5. Assist OWNER in preparing and submitting for stormwater and erosion control permits for construction of the project, including the anticipated Notice of Intent permit coverage and the City of Whitewater Stormwater and Erosion Control Permit.

#### Bidding Related Services

1. Distribute Bidding Documents electronically through QuestCDN, available at [www.strand.com](http://www.strand.com) and [www.questcdn.com](http://www.questcdn.com). Submit Advertisement to Bid to OWNER for publishing.
2. Prepare addenda and answer questions during bidding.
3. Conduct electronic bid opening through QuestCDN. Tabulate and analyze bid results and assist OWNER in the award of the Construction Contract.
4. Prepare two sets of Contract Documents for signature.

City of Whitewater, Wisconsin  
Task Order No. 25-07  
Page 3  
March 25, 2025

Service Elements Not Included

In addition to those listed in the associated Agreement for Technical Services, the following service elements are not included in this Task Order. If requested, they may be provided through an amendment to this Task Order or under a separate task order with OWNER.

1. Electrical; Communications; Fire Protection; Plumbing; Heating, Ventilation, and Air Conditioning (HVAC); and Architectural Services: Electrical, communications, fire protection, plumbing, HVAC, and architectural design services are not included in this Task Order.

Compensation

OWNER shall compensate ENGINEER for Services under this Task Order on an hourly rate basis plus expenses an estimated fee of \$44,500.

Schedule

Services will begin upon execution of this Task Order, which is anticipated the week of April 14, 2025. Services are scheduled for completion on October 31, 2025.

TASK ORDER AUTHORIZATION AND ACCEPTANCE:

ENGINEER:


OWNER:

STRAND ASSOCIATES, INC.®

CITY OF WHITEWATER, WISCONSIN

\_\_\_\_\_  
Joseph M. Bunker  
Corporate Secretary

Date

 5/19/25  
\_\_\_\_\_  
Ryan Dion  
Assistant Fire Chief

Date

**RESOLUTION No. 2025-R-02041**  
**A RESOLUTION APPROVING A PURCHASE, SALE, AND DEVELOPMENT**  
**AGREEMENT WITH THE WHITEWATER FIRE DEPARTMENT**

- A. The City of Whitewater ("City") currently owns certain real property located within the Business and Technology Park, with a Walworth County Parcel Number of A455500001 ("Property").
- B. The Whitewater Fire Department desires to acquire the Property to construct a new training facility for purposes of training its firefighters.
- C. The City is willing to convey the Property to the Fire Department subject to certain conditions contained in a purchase, sale, and development agreement included as Exhibit A, which is hereby incorporated to this resolution.

NOW, THEREFORE, BE IT RESOLVED, that the purchase, sale, and development agreement in Exhibit A is approved and the appropriate City officials are authorized to execute the agreement and any other necessary documents to complete the transaction.

Resolution introduced by Council Member Dawsey Smith, who moved its adoption.

Seconded by Council Member Smith\_\_\_\_\_.

AYES: Council President Singer, Councilmembers Majkrzak, Hicks, Dawsey Smith, Schanen, Smith, Brown

NOES: \_\_\_\_\_

ABSENT: \_\_\_\_\_

ADOPTED: February 5, 2025



  
 John Weidl, City Manager

  
 Heather Boehm, City Clerk

**Print**

**Site Plan Application - Submission #1702**

**Date Submitted: 5/27/2025**

**City of Whitewater**

312 W Whitewater Street  
PO Box 178  
Whitewater, WI 53190  
262-473-0540  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)

**Neighborhood Services**

**Site Plan Application**

**Site Plan Application Checklist (Please read)****Applicant**

1. Fill out Planning Request Form and Plan of Operation Form. Digital copies of all submittal materials:
  - a. Application Forms
  - b. Landscaping plan indication location, type and size of materials (Please review Landscaping Guidelines)
  - c. Stormwater and Erosion Control Applications (Separate Forms)
  - d. Lighting Plan (Photometric) Plan
  - e. And any other materials you feel are pertinent
2. Application shall include the following Plan requirements:
  - a. All plans shall be drawn to scale and show all sides of the proposed building
  - b. All plans will exhibit property exterior building materials and colors to be used
  - c. All plans will exhibit proposed /existing off-street parking stalls and driveway/loading docks
  - d. Building elevations must include the lot on which the structure is to be built and the street(s) adjacent to the lot

3. Submit fee to the City of Whitewater

**City Building Inspector/Zoning Administrator**

1. Review application for accuracy and all required information
2. Staff will review information for conformance to Ordinances
3. Engineer will review Stormwater and Erosion Control Plans
4. Landscape Plan will be reviewed by Urban Forestry Commission
5. When application is complete and approved by Staff it will then be forwarded to Plan Commission

**Process**

1. Plan Commission considers applicant's request and staff review presented by Zoning Administrator, at the first initial



appearance. If Plan Commission recommends changes and/or revisions, then the applicant must revise site plan, otherwise the matter is forwarded as is for the second appearance for approval/denial of the final site plan.

**NOTE:** Plan Commission normally meets the second Monday of each month at 6:00 p.m. If a public hearing is required, it will be scheduled at the beginning of the Plan Commission meeting.

Urban Forestry Commission normally meets the fourth Monday of each month at 5:30 p.m.

Taylor Zeinert, Economic Director

262-473-0148

[tzeinert@whitewater-wi.gov](mailto:tzeinert@whitewater-wi.gov)

Llana Dostie, Neighborhood Services Administrative Assistant

262-473-0144

[ldostie@whitewater-wi.gov](mailto:ldostie@whitewater-wi.gov)

Allison Schwark, Municipal Code Enforcement

262-249-6701

[mcodeenforcement@gmail.com](mailto:mcodeenforcement@gmail.com)

#### Site Plan

C.G. Hickey - 3-27-25 Whitewater WI.pdf

#### Landscaping Plan

Parcel Resolution.pdf

#### Lighting Plan

Choose File

No file chosen

#### Other Information

Signed Strand Task Order.pdf

#### Planning Request

#### General Project Information

##### Project Tax Id #

##### Project Address\*

##### Project Title (if any):

#### Applicant, Agent & Property Owner Information

##### Applicant's Name\*

##### Applicant's Company\*

Address\*

312 W Whitewater Street

City\*

Whitewater

State\*

WI

Zip Code\*

53190

Phone Number\*

262-473-0500

Email Address\*

rdion@whitewater-wi.gov

Agent's Name

Agent's Company

Address

City

State

Zip Code

Phone Number

Fax Number

Email Address

Owner's First Name (if Different from applicant)

Owner's Last Name

Item 4.

Address

City

State

Zip Code

Phone Number

Fax Number

Email Address

**Planning Request (check all that apply)\***

- ☐ Site Plan and Architectural Review \$150.00 plus \$0.05 per sq. ft (Floor Area)
- ☐ Conditional Use Permit \$275.00
- ☐ Rezone/Land Use Amendment \$400.00
- ☐ Planned Unit Development \$500.00
- ☐ Preliminary Plat \$175.00
- ☐ Final Plat \$225.00
- ☐ Certified Survey Map \$200.00 plus \$10.00 per lot
- ☒ Project Concept Review \$150.00
- ☐ Joint Conditional Use & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Rezoning & Certified Survey Map \$500.00 plus \$10.00 per lot
- ☐ Joint Site Plan & Conditional Use \$300.00 plus \$0.05 per sq. ft. (Floor Area)
- ☐ Board of Zoning Appeals/Adjustment \$300.00

**Will translation services be needed during the Plan Board meeting?\***

- ☐ Yes
- ☒ No

**If Yes, please specify the language required.****Plan of Operations**

**Property Information****Tenant Information****Property Tax Key #**

A455500001

**Previous Business Name\***

N/A

**Property Address****Years in Operation\***

N/A

**Property Owner Name\***

Whitewater Fire Department

**New Business Name\***

N/A

**Owner's Mailing Address\***

312 W Whitewater Avenue

**Name of Operator\***

N/A

**City, State and Zip Code\***

Whitewater, WI 53190

**Operator's Mailing Address\***

N/A

**Owner's Phone Number\***

262-473-0500

**Operator's City, State and Zip Code\***

n/a

**Owner's Email\***

rdion@whitewater-wi.gov

**Operator's Phone and Email\***

N/A

**New Business Use/Operation Information****Description of Business Use or Operations\***

Training Facility

**Previous Use of Space\***

Vacant Land

**Hours of Operation (Weekdays)\***

Unknown

**Hours of Operations (Weekends)\***

Unknown

**Total Area Space (SQF)\***

4160

**# Toilet Fixtures\***

N/A

**# of Full Time Employees\***

N/A

**# of Part Time Employees** Item 4.

N/A

**Customer Seating\***

- ☐ Yes  
☒ No

**Seating Capacity\***

N/A

**Total Employee Hours Per Year  
(including yourself if self-employed)\***

N/A

**Sprinkler System\***

- ☐ Yes  
☒ No

**Hazardous/Flammable Chemicals Used/Stored\***

- ☐ Yes (Must attach MSDS Sheets)  
☒ No

**Specified Use of Property and Building(s)****Building A\***

Training Tower

**Building B****Building C****Will there be any problems resulted form this operation such as: (Check all that apply)\***

- ☐ Odors  
☒ Smoke  
☒ Noise  
☒ Light  
☐ Vibrations  
☐ None

**Parking****Dimension of parking lot\***

Strand Working on Site

**Number of Spaces available\***

N/A

**Parking lot construction\***

- ☒ Asphalt  
☐ Concrete

**Type of Screening\***

- ☐ Fencing  
☒ Plantings

**Is employee parking included in (number of spaces available"?\***

- ☐ Yes  
☒ No

**Signage (Separate Sign Permit Application Needed)****Type (Check all that apply)\***

- ☐ Free standing  
☐ Monument  
☐ Projecting  
☐ Awning/Canopy  
☐ Electronic Message  
☐ Pylon  
☐ Arm/Post  
☐ Window  
☐ Mobile/Portable or Banner  
☒ None  
☐ Other

**If other describe****Location of Signs\***

N/A

**Entertainment****Is there any type of music in this proposal? \***

- ☐ Yes (Separate License from Clerk's office Required)  
☒ No

**Live\***

- ☐ Yes  
☒ No

**When will this be offered to customers\***

- ☐ Monday
- ☐ Tuesday
- ☐ Wednesday
- ☐ Thursday
- ☐ Friday
- ☐ Saturday
- ☐ Sunday
- ☒ None

**What time(s) will this be offered****Outdoor Lighting****Type\***

Unknown at this time

**Location\***

Unknown at this time

**Utilities****Will you be connected to City  
(Check all that apply)\***

- ☒ Water
- ☐ Sewer

**Is there a private well on-site\***

- ☐ Yes
- ☒ No

**Types of Refuse Disposal\***

- ☒ Municipal
- ☐ Private

**Approval Date by the Department of Natural Resources for the well proposed use****Approval Date by the County Health Department for existing septic system****What types of sanitary facilities are to be installed for the proposed operation\***

N/A



Surface Water drainage facilities (describe or include in site plan)\*

Item 4.

Stranding working on

Licenses/Permits

Is a highway access permit needed from the State, County or local Municipality?\*

- ☐ Yes
- ☒ No

Is a cigarette license required? (Separate license from Clerk's Office Required)\*

- ☐ Yes
- ☒ No

Is a liquor license required? (Separate license from Clerk's Office required)\*

- ☐ Yes
- ☒ No

Did Wisconsin Department of Safety and Professional Services Division of Industry Services approve building plans?\*

- ☐ Yes
- ☒ No

**Permitted Property Uses (Check all that apply)\***

- ☐ Single Family Dwelling
- ☐ Two Family Dwelling
- ☐ Modular Home
- ☐ Manufactured Home
- ☐ Second or greater wireless telecommunication facility
- ☐ Multi-Family Dwellings
- ☐ Art, Music, and School supply stores and galleries
- ☐ Antique, collectible and hobby craft stores
- ☐ Automotive and related parts stores, without servicing
- ☐ Hotel and Motels
- ☐ Small appliance repair stores, computer or software sales and service
- ☐ Banks and other financial institutions without drive thru facilities
- ☐ Camera and photographic supply stores
- ☐ Caterers
- ☐ Clothing, shoe stores and repair shops
- ☐ Clinics medical and dental
- ☐ Department Stores
- ☐ Drug Stores
- ☐ Florist Shops
- ☐ Food and convenience stores without gasoline pumps
- ☐ Furniture stores
- ☐ Hardware stores
- ☐ Insurance agencies
- ☐ Barbershops/Beauty Parlors
- ☐ Liquor stores without drive-thru facilities
- ☐ Resale shops
- ☐ Professional and Business offices
- ☐ Self-service laundries and dry-cleaning establishments
- ☐ Stationary stores, retail office supply stores
- ☐ Movie theaters
- ☐ Tourist Homes and bed and breakfast
- ☐ Bakeries or candy stores with products for sale on premise only
- ☐ Appliance repair stores, including computer sales and service
- ☐ Coffee Shops
- ☐ Cultural arts centers and museums
- ☐ Post Offices
- ☐ Ice cream shops and cafes
- ☐ Toy stores
- ☐ Agricultural services
- ☐ Lumberyards, building supply stores and green houses
- ☒ Manufacturing, fabrication, packing, packaging and assembly of products from furs, glass, leather, metals, paper, plaster, plastic, textiles, clay, woods and similar material
- ☒ Research facilities, development and testing laboratories, including testing facilities and equipment

- ☒ Retail sales and services linked to manufacturing or warehousing
- ☐ Production, or processing, cleaning, servicing, testing or remailer or materials, goods, or products limited to the follow uses, products, components, or circumstances:
  - ☐ a. Electronic and electrical products instruments, such as transistors, semiconductors, small computers, scanners, monitors and compact communication devices
  - ☐ b. High technology products related to the fields of physics, oceanography, astrophysics, metallurgy, chemistry, biology or other scientific field offered for study by University of Whitewater
  - ☐ c. Laser technology, radiology, x-ray and ultrasound products, manufacturing and assembly
  - ☐ d. Medial and dental supplies
  - ☐ e. Optical, fiber optical and photographic products and equipment
  - ☐ f. Orthopedic and medical appliances such as artificial limbs, brace supports and stretchers
  - ☐ g. Products related to process design, process stimulation, computer hardware and software development, safety engineering
  - ☐ h. Scientific and precision instruments and components, including robotics
- ☐ Jewelry stores
- ☐ Meat markets
- ☐ Paint, wallpaper, interior decorating and floor covering stores
- ☐ Restaurants without drive-thru facilities
- ☐ Sporting goods store
- ☐ Variety stores
- ☐ Charitable or nonprofit institution and facilities
- ☐ Light assembly uses including electronics, pottery, printing, contractor shops (heating, electrical, plumbing and general contracting ) provided that there are no significant environmental emissions (odor or waste)
- ☐ Catalog and e-commerce sales outlets
- ☐ Day spas
- ☐ Gift Shops
- ☐ Public Parking lots
- ☐ Tourist information and hospitality centers
- ☐ Dance studio
- ☐ College and Universities
- ☐ Private recreation facilities
- ☒ Freight terminals, trucking servicing and parking, warehousing and inside storage
- ☒ More than one pricipal structure on a lot when the additional building is a material and direct part of the primary business
- ☐ Pilot plants and other facilities for testing manufacturing, processing or fabrication methods or for the testing of products or materials
- ☐ Telecommunication centers (not including wireless telecommunications facilities)

**Permitted Conditional Uses (Check all that apply)\***

- ☐ Planned Residential Development
- ☒ First Wireless telecommunications facility located on alternative structure only
- ☐ Attached townhouse dwellings up to four units per building
- ☐ Public and semi public uses
- ☐ Multifamily dwellings and attached dwellings, over four units (new construction only)
- ☐ Any building over forty feet
- ☐ Conversion of existing structures resulting in more dwelling units
- ☐ Dwelling units with occupancy of six or more unrelated persons
- ☐ Home Occupations/Professional Home offices requiring customer access
- ☐ Bead Breakfast establishments
- ☐ Conversion of existing single-family dwellings to two-family attached dwellings
- ☐ Profession business offices in a building where principal use is residential
- ☐ Fraternity or sorority houses and group lodging facilities
- ☐ Planned Development
- ☐ Conversion of existing units with less than five bedrooms to five or more bedrooms
- ☐ Entertainment establishments, including clubs but excluding adult entertainment
- ☐ All uses with drive-in and drive-thru facilities
- ☐ Automobile repair and service
- ☐ Taverns and other places selling alcoholic beverages by the drink
- ☒ daycare adult, child and doggie
- ☐ Large Retail and Commercial Service Developments
- ☐ Motor Freight Transportation
- ☐ Light Manufacturing and retail uses
- ☐ Automobile and small engine vehicles sales and rental facilities
- ☐ Car washes
- ☐ Gasoline service station, including incidental repair and service
- ☐ Funeral homes and crematory services
- ☐ Liquor or tobacco stores
- ☐ Wholesale trade of durable and non durable goods
- ☒ Salvage yards

**Signatures**

By signing below, I certify that the above information is true and accurate account of the information requested for my business site and its operation and use. Should an inspection be required, I agree to all the Inspector(s) reasonable access to the space to verify compliance with the Municipality's Ordinance. In addition, I fully understand that completion of this or its approval does not preclude me from complying with all applicable State Statutes or Municipal Ordinances regarding my business and its lawful operations.

**Applicant's Signature\*****Date\*****Inspector's Signature****Date**

Ryan Dion

5-27-2025



**Cost Recovery Certificate and Agreement**

Pursuant to Ordinance 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code

The undersigned applicant hereby acknowledges and agrees to be bound by Ordinances 19.74.010 and 16.04.270 of the City of Whitewater Municipal Code, providing for city recovery of all city costs and disbursements incurred directly or indirectly related to the Applicant's request. All costs incurred by the city in the consideration of any requests by the Applicant related to the Applicant's request shall be recoverable, including but not limited to, all professional and technical consultant services and fees retained by the city and rendered in review of any application, including the engineer, planner, attorney, or any other professional or expert hired by the village for purposes of review of the application or pre-submission request. The Applicant agrees to reimburse the City for all costs recoverable pursuant to the terms of the above numbered ordinance within the time period set forth by the City of Whitewater Municipal Code. At no time shall any cost recoverable fees be waived, except through the process of a written request by the Applicant and the Common Council, review and evaluation by the Common Council, and official action taken by the Common Council.

**PROJECT INFORMATION****PROJECT NAME\***

Chief CG Hickey Fire Training Facility

**PROJECT LOCATION\***

1220 Innovation Drive

**APPLICANT INFORMATION****NAME\***

Ryan Dion

**MAILING (BILLING) ADDRESS\***

312 W Whitewater Avenue

**PHONE\***

262-473-0500

**EMAIL ADDRESS\***

rdion@whitewater-wi.gov

**ATTORNEY INFORMATION****NAME**

**PHONE****EMAIL ADDRESS**

Item 4.

**Note to Applicant: The City Engineer, Attorney and other City professionals and staff, if requested by the City to review your request, will be billed for their time at an hourly rate which is adjusted from time to time by agreement with the City. Please inquire as to the current hourly rate you can expect from this work. In addition to these rates, you will be asked to reimburse the City for those additional costs set forth in 19.74.10 and 16.04.270 of the Municipal Code**

**RATES**

City Administration Hourly Rate Shall Not Exceed

Interim Director of Economic Development: Emily McFarland \$

Director of Public Works: Brad Marquardt \$72.33

Director of Finance: Rachelle Blitch \$65.94

Clerk: Heather Boehm \$43.33

Deputy Clerk: Tiffany Albright \$29.20

NS Administrative Assistant Llana Dostie \$

Building Inspection Services

Building Inspector Commercial: Joe Mesler \$80.00

Building Inspector Residential: Jon Mesler \$80.00

City Attorney

Russell Law Offices, LLC

Attorney Timothy Brovold \$

City Engineer

Strand and Associates \$247.63

Primary Contact: Mark Fischer

City Planners and Zoning Administrator

Primary Contact: Allison Schwark \$49.00

**City Use only Below**

Building Inspector Date Received

Review By

Zoning Administrator Date Received

Review By

Occupancy Classification

Occupancy Classification Surrounding Units

Zoning of Property

Use Permitted

- ☐ By Right
- ☐ By CUP
- ☐ PC Approval Required

Approval

- ☐ Approved
- ☐ Denied

Date

Approval

- ☐ Approved
- ☐ Denied

Date

Public Works Approval

- ☐ Approved
- ☐ Denied

Date

City Engineer Approval

- ☐ Approved
- ☐ Denied

Date

Police Department Approval

- ☐ Approved
- ☐ Denied

Date

Fire Department Approval

- ☐ Approved
- ☐ Denied

Date



## Plan Commission Agenda Item

|                                     |   |
|-------------------------------------|---|
| Meeting Date:                       | June 9, 2025  |
| Agenda Item:                        | Landscaping Guidelines  |
| Staff Contact (name, email, phone): | Llana Dostie, <a href="mailto:ldostie@whitewater-wi.gov">ldostie@whitewater-wi.gov</a> 262-473-0144 |

### BACKGROUND

(Enter the who, what, when, where, why)

This commission along with Urban Forestry have been working at updating the Landscaping and Design policy was last updated in 2010. The reason for the update was approved species of plants had been changed and the key to determining points was no longer in the policy.

### PREVIOUS ACTIONS – COMMITTEE RECOMMENDATIONS

(Dates, committees, action taken)

Landscape Design policy was reviewed by this commission at the December 9, 2024 and sent back to Urban Forestry for update.

Landscape Design policy was returned to this commission at the April 14, 2025 meeting, but there were additional changes to be made.

### FINANCIAL IMPACT

(If none, state N/A)

N/A

### STAFF RECOMMENDATION

Staff recommends the policy be approved to send to council for approval.

### ATTACHMENT(S) INCLUDED

(If none, state N/A)





# LANDSCAPE DESIGN GUIDELINES AND STANDARDS

REVISED January 29, 2025



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## Landscape Guidelines

The Plan and Architectural Review Commission reviews site and landscape plans for all new and expanded commercial, industrial, institutional, and multiple family housing projects. Landscaping beautifies the property and City, buffers land uses and unattractive structures, increases property values, conserves energy, and helps clean the air and water. The Commission adopted the following guidelines to assist developers, builders, and property owners in meeting the expectations for landscaping. The use of the term “must” below, reflects zoning ordinance requirements that are mandatory.

### Required Components of a Landscape Plan

- A scale (e.g. 1 inch = 50 feet), a north arrow, a date, and an accurate representation of site conditions (e.g. property dimensions should be correct with all features drawn to scale).
- All areas to be left in green space and how they will be covered (e.g. grass, mulch, native vegetation).
- All trees over 4-inch caliper to be removed or portions of woods with such trees that are proposed for removal.
- All existing trees that are over 4-inch caliper or edges of woods with such trees.
- All existing trees and other plantings proposed to remain on site after construction, including proposed locations for barrier fencing or other ways to ensure their preservation.
- Location, species, size at time of planting, and size at maturity for proposed landscape plants.
- Adjacent streets, existing and proposed buildings, parking lots, loading areas, dumpsters, existing or proposed grades, outdoor storage areas, and mechanical units and utilities in relation to proposed plantings.
- Name, address, and phone number of both the person who prepared the plan and the property owner.

For simple projects, the Landscape Plan may be included on a map that also shows other proposed site improvements, like proposed buildings, signs, lighting, utilities, and grading.

### Treatment of Existing Vegetation

Pre-existing landforms, terrain, and vegetation should be preserved as much as practical. This may be achieved by minimizing building construction and site modifications in areas not essential to project development. High quality, mature, and native trees and hedges should be retained where practical and should not be removed to facilitate commercial signage. Preservation of existing vegetation will reduce expectations for new landscaping, while major removal of existing vegetation may result in expectations for new landscaping greater than what guidelines normally suggest. In general, where large, high quality trees are proposed for removal on a landscape plan, the equivalent diameter of new trees should also be included in the plan (e.g. one maple with a 12-inch diameter trunk removed = planting of four 3-inch diameter hardwood canopy trees). Similarly, mature trees identified for preservation in the approved Landscape Plan but subsequently lost should be replaced by new trees of similar total diameter.



Mature trees identified for preservation on a Landscape Plan should be protected during construction by not allowing grading or equipment or vehicle storage in these areas and by making all contractors aware of the preservation requirements. During construction, barrier fencing should generally be placed at the Critical Root Zone (CRZ) of the tree, as defined as a radius equivalent to 1.5 feet for every inch in trunk Diameter at Breast Height (DBH). For example, a tree with a trunk diameter of 12 inches has a Critical Root Zone radius of 18 ft.

The Urban Forestry Management Plan available from the City's Parks, Recreation and Forestry Department contains additional preservation guidance (see particularly the City's Terrace Tree Protection Guideline).

## Recommended Locations and Amount of New Landscaping

New Landscaping planting should be provided on different parts of the site, as advised below;

1. **Street Frontages.** One deciduous tree must be planted for each 35 feet along each side of a street right of way, except where a clustered or wider spacing is allowed by the City Forester where traffic visibility, street lights, or utilities would be negatively affected. Street trees should be planted midway between the sidewalk and curb, or within 15 feet of the property line adjoining the street, but only if space is not available between the sidewalk and curb. Plantings may also be appropriate in any boulevard included in development plans. Street tree species should be approved by City Forester prior to installation, and should be based generally upon the information provided in Figures 3 below.
2. **Paved Areas.** One large deciduous tree and 60 points of additional landscaping (see Figure 3. Appropriate Plant Species and Sizes) should be planted for each 1,500 square feet of paved area, which is about the same amount of space required for five parking spaces plus a driveway. Plants should be installed in landscaped islands within the paved area of within 15 feet of the edges of the paved area. Landscaped islands or peninsulas must be provided at the end of every parking row, and interior islands should be provided for every 20 parking spaces in non-industrial projects. Species selection for paved area plantings is particularly important to ensure salt and snow tolerance (see Figure 3), proper growth habit and branch height, avoidance of messy fruit or other litter from the tree, and maintenance of good visibility within parking lots.

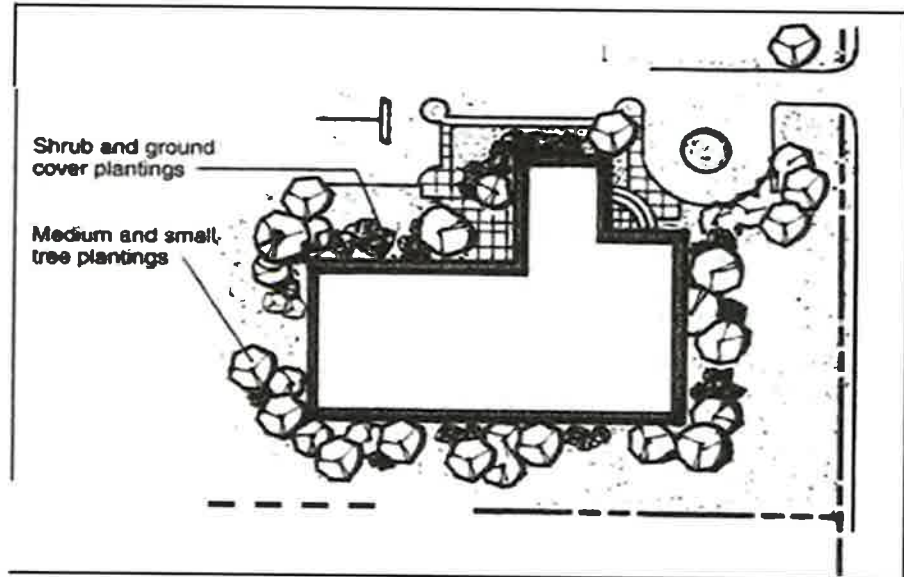


Figure 1: Parking Lot Landscaping Example



3. **Building Foundations.** 160 points of landscaping (see Figure 3) should be planted for each 100 lineal feet of exterior building wall that is visible from public right of way and adjoining sites. The graphic on the following page provides an example of building landscaping. Plants required by this section should be installed within 20 feet of the building foundation and generally should not include large deciduous trees.
4. **Landscaped Buffer Yards.** The City requires installation of a landscape buffer yard;
  - In yards where a B-1, B-3. or M-1 zoning district abuts a residential use or zoning districts;
  - Where off-street parking areas for five or more vehicles are within 15 feet of lot line, except where the next-door lot also contains parking within that same distance, and;
  - Where lots in a new residential subdivision back onto a proposed major street.

**Figure 2: Building Foundation Planting Example**



The minimum width of a landscaped buffer yard is 10 feet (30 feet where subdivision lots back onto a major street), not including the area between the sidewalk and street curb. Buffer yards are generally required to be landscaped with two large deciduous trees, five small deciduous and/or evergreen trees, and twelve shrubs for every 100 feet of buffer yard length. The Plan Commission may instead approve substitute landscaping, a berm, an opaque fence or wall, or some combination. Fences or walls should generally not be used in street yards and must not be more than six feet tall in residential zoning districts and 10 ft tall in non-residential districts. A berm is a mound of soil surfaced with a landscape ground cover, generally three to six feet above the surrounding grade and preferably of an undulating or otherwise visually interesting layout.

5. **General Yard Areas.** In other parts of the site, 200 additional points of landscaping (see Figure 3) should be planted for each 5,000 square feet of total site area. Most general yard area landscaping should be located in street facing yards. Except for approved natural areas, general yard areas should be seeded. Slopes should be a maximum of three vertical feet for every one horizontal foot. Where retaining walls are necessary, they should be designed to be less than 10 feet in height and constructed with stone or block, or terraced if the grade change is 10 feet or more.
6. **Screening.** Dumpsters, outside storage area, loading docks, vending machines, and large or unsightly mechanical utility, or telecommunication units should be enclosed by a fence, wall, and /or landscaping designed to provide a total visual screen from public right of way and adjacent properties. Screening fences and walls surrounding outdoor storage areas should generally be between six and eight feet tall, while fences and walls designed to screen other areas should generally be between four and six feet tall. Future trimming of screen planting that limits their capacity to provide a total visual screen is not permitted. The base of freestanding signs- monuments and pylon signs- should also be landscaped. Low level plantings should be selected in sign areas.

7. **Vision Triangles and Easements.** No parts of plantings within 10 feet of ground level may extend over any public right of way. No new landscape plantings with a mature height over two and one-half feet or with branches at maturity that will be less than 10 feet may be placed in vision triangles near street intersections (see Section 19.51.010 of zoning ordinance in order to measure extent of vision triangle). Planting in utility easements is at risk of the property owner and may be subject to restrictions associated with the easement. Tree plantings should generally be at least 20 feet from street lights, 10 feet from hydrants, and six feet from gas and water valves.

## Recommended Sizes and Species of New Landscaping

Figure 3 indicates the points that may be obtained for each plant within the five different categories of landscape planting: s. Llarge deciduous tree, small deciduous tree, evergreen tree, shrub and perennial planting bed. When added together, the points obtained from each plant depicted in a Landscape Plan may be used to determine whether the landscaping point guidelines above are being met. Figure 3 also provides a starting point for potential plant species selection within each of the five categories of plantings.

Figure 3 includes examples of appropriate tree and shrub species for different, unique applications. These include trees appropriate for placement under power lines. The following plants are a guide and not all inclusive; other trees and plantings may be approved by City Forester.

For more information in selecting plants:

<https://hort.extension.wisc.edu/article-topic/deciduous-selection/>

For more information on prohibited plantings:

<https://dnr.wisconsin.gov/topic/Invasives/RegulatedSpecies>

**Figure 3**  
**Approved Street Tree List**

| STREET NAME         | BOTANICAL NAME                        | HEIGHT | LENGTH | POINTS |
|---------------------|---------------------------------------|--------|--------|--------|
| <b>Aspen</b>        |                                       |        |        |        |
| Quaking             | Populus tremuloides                   | 40-50  | 20-30  | 165    |
| <b>Buckeye</b>      |                                       |        |        |        |
| Yellow              | Aesculus Flava                        | 60-75  | 30-50  | 150    |
| <b>Coffeetree</b>   |                                       |        |        |        |
| Espresso Kentucky   | Gymnocladus dioicus 'Espresso'        | 50     | 35     | 150    |
| Kentucky            | Gymnocladus dioicus                   | 50-60  | 50-60  | 165    |
| <b>Cypress</b>      |                                       |        |        |        |
| Bald                | Taxodium distichum                    | 50-70  | 20-30  | 150    |
| Shawnee Brave Bald  | Taxodium distichum 'Mickelson'        | 50     | 15-20  | 150    |
| <b>Elm</b>          |                                       |        |        |        |
| Princeton           | Ulmus americana 'Princeton'           | 60-80  | 40-60  | 150    |
| Valley Forge        | Ulmus americana 'Valley Forge'        | 80     | 60     | 150    |
| <b>Ginko</b>        |                                       |        |        |        |
| Autumn Gold         | Ginko biloba 'Autumn Gold'            | 40-50  | 25-30  | 150    |
| Magyar              | Ginko biloba 'Magyar'                 | 40-50  | 20-25  | 150    |
| Princeton Sentry    | Ginko biloba 'Princeton Sentry'       | 40-50  | 15-20  | 150    |
| <b>Gum</b>          |                                       |        |        |        |
| Black               | Nyssa sylvatica                       | 30-50  | 20-30  | 165    |
| <b>Hackberry</b>    | Celtis Occidentalis                   | 40-60  | 40-60  | 165    |
| <b>Linden</b>       |                                       |        |        |        |
| Boulevard American  | Tilia americana 'Boulevard'           | 60     | 25     | 150    |
| Sweet Street        | Tilia americana 'Kromm'               | 50     | 25     | 150    |
| <b>Honey Locust</b> | Gleditsia triacanthos                 | 40-50  | 30-40  | 150    |
| <b>Maple</b>        |                                       |        |        |        |
| Celebration         | Acer x freemanii 'Celzam'             | 40-50  | 20-35  | 150    |
| Sienna Glen         | Acer x freemanii 'Sienna'             | 40-50  | 35-40  | 150    |
| Sugar               | Acer saccharum                        | 50-75  | 50     | 165    |
| <b>Oak</b>          |                                       |        |        |        |
| Burr                | Quercus macrocarpa                    | 70-80  | 75-90  | 165    |
| Chinkapin           | Quercus muehlenbergii                 | 50-60  | 50-60  | 165    |
| White Oak           | Quercus alba                          | 50-80  | 100    | 165    |
| Red                 | Quercus rubra                         | 60-75  | 60-75  | 165    |
| <b>Planetree</b>    |                                       |        |        |        |
| Exclamation London  | Platanus x acerifolia 'Morton Circle' | 60     | 45     | 150    |

Minimum size at time of planting - 2-inch trunk



Diameter measure at 4ft. up

### Approved Large Area Tree List

| STREET NAME         | BOTANICAL NAME                    | HEIGHT | LENGTH | POINTS |
|---------------------|-----------------------------------|--------|--------|--------|
| <b>Aspen</b>        |                                   |        |        |        |
| Quaking             | Populus tremuloides               | 40-50  | 20-30  | 165    |
| <b>Basswood</b>     |                                   |        |        |        |
| American            | Tilia americana                   | 75-130 | 23-35  | 165    |
| <b>Beech</b>        |                                   |        |        |        |
| American            | Fagus grandifolia                 | 60-75  | 55-65  | 165    |
| <b>Birch</b>        |                                   |        |        |        |
| Paper               | Betula papyrifera                 | 50     | 35     | 165    |
| River               | Betula nigra                      | 40-70  | 40-60  | 165    |
| Yellow              | Betula alleghaniensis             | 40-60  | 40-50  | 165    |
| <b>Buckeye</b>      |                                   |        |        |        |
| Yellow              | Aesculus Flava                    | 60-75  | 30-50  | 150    |
| <b>Butternut</b>    | Juglans cinerea                   | 40-60  | 40-60  | 165    |
| <b>Coffeetree</b>   |                                   |        |        |        |
| Kentucky            | Gymnocladus dioicus               | 50-60  | 50-60  | 165    |
| <b>Cypress</b>      |                                   |        |        |        |
| Bald                | Taxodium distichum                | 50-70  | 20-30  | 150    |
| Shawnee Brave Bald  | Taxodium distichum 'Mickelson'    | 50     | 15-20  | 150    |
| <b>Elm</b>          |                                   |        |        |        |
| Princeton           | Ulmus americana 'Princeton'       | 60-80  | 40-60  | 150    |
| Valley Forge        | Ulmus americana 'Valley Forge'    | 80     | 60     | 150    |
| <b>Ginko</b>        |                                   |        |        |        |
| Autumn Gold         | Ginko biloba 'Autumn Gold'        | 40-50  | 25-30  | 150    |
| Magyar              | Ginko biloba 'Magyar'             | 40-50  | 20-25  | 150    |
| Princeton Sentry    | Ginko biloba 'Princeton Sentry'   | 40-50  | 15-20  | 150    |
| <b>Gum</b>          |                                   |        |        |        |
| Black               | Nyssa sylvatica                   | 30-50  | 20-30  | 165    |
| Moraine Sweet       | Liquidambar styraciflua 'Moraine' | 40-45  | 25-30  | 150    |
| <b>Hackberry</b>    | Celtis Occidentalis               | 40-60  | 40-60  | 165    |
| <b>Hickory</b>      |                                   |        |        |        |
| Shagbark            | Carya ovata                       | 80     | 40     | 165    |
| <b>Katsura</b>      | Cercidiphyllum japonicum          | 40-60  | 20-35  | 150    |
| <b>Linden</b>       |                                   |        |        |        |
| American Sentry     | Tilia americana 'McKSentry'       | 50-60  | 20-25  | 150    |
| <b>Honey Locust</b> | Gleditsia triacanthos             | 40-50  | 30-40  | 150    |
| <b>Maple</b>        |                                   |        |        |        |
| Red                 | Acer rubrum                       | 40-60  | 40-60  | 165    |
| Sienna Glen         | Acer x freemanii 'Sienna'         | 40-50  | 35-40  | 150    |

|                    |                                       |        |       |     |
|--------------------|---------------------------------------|--------|-------|-----|
| Sugar              | Acer saccharum                        | 50-75  | 50    | 165 |
| <b>Magnolia</b>    |                                       |        |       |     |
| Cucumbertree       | Magnolia acuminata                    | 50-80  | 35-60 | 150 |
| <b>Oak</b>         |                                       |        |       |     |
| Black              | Quercus Velutina                      | 50-60  | 50-60 | 165 |
| Burr               | Quercus macrocarpa                    | 70-80  | 75-90 | 165 |
| Chinkapin          | Quercus muehlenbergii                 | 50-60  | 50-60 | 165 |
| White              | Quercus alba                          | 50-80  | 100   | 165 |
| Red                | Quercus rubra                         | 60-75  | 60-75 | 165 |
| <b>Planetree</b>   |                                       |        |       |     |
| Exclamation London | Platanus x acerifolia 'Morton Circle' | 60     | 45    | 150 |
| <b>Redwood</b>     |                                       |        |       |     |
| Dawn               | Metasequoia glyptostroboides          | 75-100 | 15-25 | 150 |
| <b>Sycamore</b>    |                                       |        |       |     |
| American           | Platanus occidentalis                 | 70-90  | 80    | 165 |
| <b>Tuliptree</b>   | Liriodendron tulipifera               | 70-80  | 35-45 | 150 |
| <b>Yellowwood</b>  | Cladrastis kentuckia                  | 30-50  | 40-50 | 165 |

Minimum size at time of planting  
 2-inch trunk diameter measures 4 ft. up

### Approved Medium-Small Street Tree List

| STREET NAME                        | BOTANICAL NAME                                | HEIGHT | LENGTH | POINTS |
|------------------------------------|---|--------|--------|--------|
| <b>Buckeye</b>                     |   |        |        |        |
| Early Glow                         | Aesculus glabra 'J.N. Select'                 | 35     | 35     | 60     |
| Mystic Ruby                        | Aesculus x bushii 'Aaron#1'                   | 30-35  | 15-20  | 60     |
| <b>Cockspur Hawthorn Thornless</b> | Crataegus Crus-galli var. inermis             | 20-30  | 25-35  | 75     |
| <b>Crabapple</b>                   |   |        |        |        |
| Crab                               | Non-native                                    |        |        | 60     |
| Prairie                            | Malus ioensis                                 | 15-20  | 15-20  | 75     |
| <b>Elm</b>                         |   |        |        |        |
| New Horizon                        | Ulmus 'New Horizon'                           | 30-40  | 15-25  | 60     |
| <b>Ironwood</b>                    | Ostrya virginiana                             | 25     | 15     | 75     |
| <b>Lilac</b>                       |   |        |        |        |
| Ivory Silk Japanese                | Syringa reticulata subsp. Reticulata          | 25     | 15     | 60     |
| <b>Maple</b>                       |   |        |        |        |
| Paper Barked                       | Acer griseum                                  | 20-30  | 20-30  | 60     |
| State Street Miyabe's              | Acer miyabei 'Morton'                         | 50     | 40     | 60     |
| <b>Magnolia</b>                    |   |        |        |        |
| Royal Star                         | Magnolia stellata 'Royal Star'                | 10-15  | 10-15  | 60     |
| <b>Musclewood</b>                  | Carpinus caroliniana                          | 25-30  | 25-30  | 75     |
| <b>Red Bud, Eastern</b>            | Cercis canadensis                             | 20-30  | 25-35  | 75     |
| <b>Serviceberry</b>                |   |        |        |        |
| Allegheny                          | Amelanchier laevis                            | 25     | 15     | 75     |
| Apple                              | Amelanchier x grandiflora                     | 25-30  | 25-30  | 75     |
| Autumn Brilliance                  | Amelanchier x grandiflora 'Autumn Brilliance' | 20-25  | 20-25  | 60     |

Minimum size at time of planting

1 1/2-inch trunk diameter measured at 4 ft. up

### Approved Medium-Small Off-Street Tree List

| STREET NAME             | BOTANICAL NAME                                | HEIGHT | LENGTH | POINTS |
|-------------------------|---|--------|--------|--------|
| <b>Buckeye</b>          |   |        |        |        |
| Early Glow              | Aesculus glabra 'J.N. Select'                 | 35     | 35     | 60     |
| Mystic Ruby             | Aesculus x bushii 'Aaron#1'                   | 30-35  | 15-20  | 60     |
| <b>Crabapple</b>        |   |        |        |        |
| Crab                    | Non-native                                    |        |        | 60     |
| Prairie                 | Malus ioensis                                 | 15-20  | 15-20  | 75     |
| <b>Dogwood</b>          |   |        |        |        |
| Golden Glory            | Cornus mas 'Golden Glory'                     | 15-25  | 15-25  | 60     |
| Pagoda                  | Cornus alternifolia                           | 15-25  | 15-25  | 75     |
| <b>Elm</b>              |   |        |        |        |
| New Horizon             | Ulmus 'New Horizon'                           | 30-40  | 15-25  | 60     |
| <b>Ironwood</b>         | Ostrya virginiana                             | 25     | 15     | 75     |
| <b>Lilac</b>            |   |        |        |        |
| Ivory Silk<br>Japanese  | Syringa reticulata subsp. reticulata          | 25     | 15     | 60     |
| <b>Maple</b>            |   |        |        |        |
| Paper Barked            | Acer griseum                                  | 20-30  | 20-30  | 60     |
| Striped                 | Acer pensylvanicum                            | 20     | 15     | 60     |
| <b>Magnolia</b>         |   |        |        |        |
| Royal Star              | Magnolia stellata 'Royal Star'                | 10-15  | 10-15  | 60     |
| <b>Musclewood</b>       | Carpinus caroliniana                          | 25-30  | 25-30  | 75     |
| <b>Red Bud, Eastern</b> | Cercis canadensis                             | 20-30  | 25-35  | 75     |
| <b>Serviceberry</b>     |   |        |        |        |
| Allegheny               | Amelanchier laevis                            | 25     | 15     | 75     |
| Apple                   | Amelanchier x grandiflora                     | 25-30  | 25-30  | 75     |
| Autumn Brilliance       | Amelanchier x grandiflora 'Autumn Brilliance' | 20-25  | 20-25  | 60     |
| <b>Seven Son Flower</b> | Heptacodium miconioides                       | 15-20  | 8-15   | 60     |

Minimum size at time of planting

1 1/2-inch trunk diameter measured 4 ft. up



### Approved Native Conifer Tree List

| COMMON NAME              | BOTANICAL NAME       | HEIGHT | LENGTH | POINTS |
|--------------------------|----------------------|--------|--------|--------|
| Balsam fir               | Abies balsamea       | 40-60  | 15-25  | 55     |
| Growth narrow, conical   |                      |        |        |        |
| Eastern red cedar        | Juniperus virginiana | 30-40  | 8-20   | 55     |
| Growth tree form         |                      |        |        |        |
| Tamarack                 | Larix laricina       | 30-50  | 10-15  | 55     |
| Growth conical, upright  |                      |        |        |        |
| Northern white cedar     | Thuja occidentalis   | 20-30  | 10-15  | 55     |
| Growth tree form         |                      |        |        |        |
| Canadian hemlock         | Tsuga canadensis     | 20-45  | 15-25  | 55     |
| Growth dense, conical    |                      |        |        |        |
| Eastern white pine       | Pinus strobus        | 50-80  | 20-40  | 55     |
| Pyramidal in youth       |                      |        |        |        |
| White spruce             | Picea glauca         | 40-60  | 10-20  | 55     |
| Broad, conical           |                      |        |        |        |
| Jack pine                | Pinus banksiana      | 35-50  | 20-30  | 55     |
| Upright                  |                      |        |        |        |
| Black spruce             | Picea mariana        | 20-50  | 20-30  | 55     |
| Upright, narrow, conical |                      |        |        |        |
| Red pine                 | Pinus resinosa       | 50-80  | 20-25  | 55     |
| Tree form                |                      |        |        |        |

|                      |  |  |  |    |
|----------------------|--|--|--|----|
| All other Evergreens |  |  |  | 40 |
|----------------------|--|--|--|----|

### Approved Landscape Plants

| <b>NATIVE - HERBACIOUS</b>       |                          |               |                    |               |
|----------------------------------|--------------------------|---------------|--------------------|---------------|
| <b>COMMON</b>                    | <b>LATIN</b>             | <b>HEIGHT</b> | <b>BLOOM COLOR</b> | <b>POINTS</b> |
| Lavender Hyssop                  | Agastache foeniculum     | 2-4'          | Purple             |               |
| Nodding Onion                    | Allium cernuum           | 18"           | Pink               |               |
| Sullivant's Milkweed (Prairie)   | Asclepias sullivantii    | 3-5'          | Pink               |               |
| Butterfly Milkweed <sup>dk</sup> | Asclepias tuberosa       | 2'            | Orange             |               |
| New England Aster                | Aster novae-angliae      | 5'            | Purple/Pink        |               |
| Canada Milk Vetch                | Astragalus canadensis    | 1-3'          | Cream              |               |
| White Wild Indigo                | Baptisia alba            | 4'            | White              |               |
| Blue Wild Indigo                 | Baptisia australis       | 3-5'          | Blue               |               |
| Cream False Indigo               | Baptisia bracteata       | 1-2'          | Cream              |               |
| Yellow Wild Indigo               | Baptisia tinctoria       | 2-3'          | Yellow             |               |
| Downy Wood Mint                  | Blephilia cilata         | 1-2'          | Purple             |               |
| Pale Purple Coneflower           | Echinacea pallida        | 3-5'          | Purple             |               |
| Purple Coneflower                | Echinacea purpurea       | 3-4'          | Purple             |               |
| Rattlesnake Master               | Eryngium yuccifolium     | 4'            | White/Green        |               |
| Early Sunflower                  | Helianthus helianthoides | 3-5'          | Yellow             |               |
| Prairie Alumroot                 | Heuchera richardsonii    | 2'            | Green              |               |
| Round Headed Bush Clover         | Lespedeza capitata       | 4'            | White              |               |
| Rough Blazing Star               | Liatris aspera           | 2-5'          | Purple             |               |
| Michigan Lilly                   | Lilium michiganense      |               | Orange             |               |
| Wild Bergamot                    | Monarda fistulosa        | 2-4'          | Lavender           |               |
| Eastern Prickly Pear Cactus      | Opuntia humifosa         | 6"            | Yellow             |               |
| Wild Quinine                     | Parthenium integrifolium | 4'            | White              |               |
| Smooth Penstemon                 | Penstemon digitalis      | 1-3'          | White              |               |
| Large Flowered-Penstemon         | Penstemon grandiflorus   | 1-3'          | Lavender           |               |
| Compass Plant                    | Silphium laciniatum      | 8'            | Yellow             |               |
| Rosin Weed                       | Silphium integrifolium   | 4-6'          | Yellow             |               |
| Spiderwort                       | Tradescantia ohimensis   | 2-4'          | Blue               |               |
| Hoary Vervain                    | Vergenea stricta         | 2-4'          | Blue               |               |
| <b>NATIVE - GRASSES/SEDGES</b>   |                          |               |                    |               |
| River Oats/Northern Sea Oats     | Chasmanthium latifolium  | 3-4'          | Grass              |               |
| Little Blue Stem                 | Schizachyrium scoparium  | 2-3'          | Grass              |               |
| Prairie Dropseed                 | Sporobolus heterolepis   | 2-3'          | Grass              |               |

|                                 |                         |       |                        |    |
|---------------------------------|-------------------------|-------|------------------------|----|
| Side Oats Gramma                | Bouteloua curtipendula  | 1-3'  | Grass                  |    |
|                                 |                         |       |                        |    |
| <b>NATIVE - SMALL SHRUBS</b>    |                         |       |                        |    |
| White Snowberry                 | Symphoricarpos albus    | 3-5'  | White                  | 35 |
| Black Chokeberry                | aronia melanocarpa      | 3-6'  | White                  | 35 |
| Juneberry                       | amelanchier alnifolia   | 4-15' | White                  | 35 |
| Running Serviceberry            | Amelanchier stolonifera | 3-5'  | White                  | 35 |
| Northern Bush Honeysuckle       | Diervilla lonicera      | 1-3'  | Yellow                 | 35 |
| Pasture Rose                    | Rosa carolina           | 2'    | Pink                   | 35 |
| New Jersey Tea                  | Ceanothus americanus    | 3'    | White                  | 35 |
| Shrubby St. John's Wort         | Hypericum prolificum    | 4'    | Yellow                 | 35 |
| Sweet Fern                      | Comptonia peregrina     | 2-5'  | Green/Bronzey<br>Brown |    |
| Lead Plant                      | Amorpha canescens       | 3'    | Purple                 | 35 |
| Shrubby Cinquefoil (Potentilla) | Dasphora fruticosa      | 204'  | Yellow                 | 35 |
|                                 |                         |       |                        |    |
| All other shrubs                |                         |       |                        | 20 |

Minimum size at time of planting  
2 feet in height or 2-gallon pot

## Descriptions and Standards for Rain Gardens and Bioswales

Rain gardens and bioswales can serve both as landscaping and stormwater management features on a building site, where appropriately designed and sited.

A rain garden is a shallow, depressed garden that is designed and positioned on a site to capture stormwater runoff and allow for the infiltration of water back into the ground. Rain garden plants are carefully chosen for their ability to withstand moisture extremes and potentially high concentrations of nutrients and sediments that are often found in stormwater runoff. A well designed and maintained rain garden serves as an attractive component of an overall landscaping plan for a development site.

A bioswale is a linear, vegetative stormwater runoff conveyance system that is designed to store and infiltrate water from small storm events back into the ground and direct water from heavy rain events to appropriate storm sewer inlets or other management facilities. The flow of water being conveyed through a bioswale is slowed down, allowing for municipal storm systems to more effectively manage heavier rain events and help reduce the risk of flooding on or off-site. Water being infiltrated or conveyed via a bioswale is also filtered by the vegetation within it, generally improving both ground and surface water quality.

The installation of a rain garden or bioswale may contribute to the overall stormwater management plan for a development site and count toward meeting the City's landscaping guidelines in the same manner as that presented for "perennial planting bed" in Figure 3 above (20 points for every 20 sq. ft.), provided that:

1. Detailed plans are provided that show all proposed dimensions of the rain garden including length, width, depth, and slope of depression; location of the rain garden on the lot relative to hard-surfaced areas, downspouts, and site topography; characteristics of the soil underlying the rain garden or bioswale; description of planting media; the species, number, and size at the time of installation of all vegetation proposed for the rain garden or bioswale; and information of any other materials, (e.g., rocks) that will be used to line the rain garden or bioswale.
2. Installation is not proposed for areas where there is known soil contamination unless the rain garden is proposed to be constructed with an under-drain; where the characteristics of the soil would not allow for the proper infiltration of water into the ground; or where there are expected high levels of foot traffic.
3. The owner can demonstrate that the rain garden or bioswale will be properly maintained; kept free of trash, weeds debris, and dead or dying plants; any pipes associated with the garden will be inspected on an annual basis and kept free of debris; and by the beginning of every spring dead plant materials will be cut back or removed.
4. Bioswales and rain gardens must be generously (and appropriately) vegetated to qualify for landscaping points. Bioswales and rain gardens (or portions thereof) that are lined with turf and/or rocks and do not include other vegetation will not qualify for landscaping points.



5. To serve as a component of an overall stormwater management plan for a site, detailed plans, calculations, and specifications meeting the City's stormwater management ordinance are provided. Detailed plans should include the location and description of all other stormwater management facilities serving the site, particularly those to which any bioswale will be directed.

For further information on rain garden and bioswale design:

<https://dnr.wisconsin.gov/sites/default/files/topic/Stormwater/RainGardenManualPrint.pdf>

## General Installation and Maintenance for Landscaping and Buffer Yards

Landscaping must be installed using landscape contracting industry standards available from landscape designers and nurseries. These include proper soil conditioning, removing any packing materials including wire cages, burlap, and string, and the placement of the root collar at or slightly above grade. A six-foot bark mulch radius around a tree is ideal, with the mulch no thicker than four inches in general and tapered to a depth of one inch at the base of the tree (the classic saucer shape). Rock mulch is discouraged around all planting areas. Figure 4 shall be proper planting and maintenance techniques for deciduous trees; techniques for evergreen trees and shrubs vary slightly, but the basic principles are similar.

All landscaping must be installed prior to building occupancy or operations, unless doing so would result in unsatisfactory plant survival. In this case, the City requires a site improvement deposit until landscaping is installed according to the plan.

All required landscaping should be continually maintained in a live state to meet its original function (e.g., screen plants not overly pruned). Maintenance must include replacement of dead or dying plants, regardless of when the plant dies. Replacement should occur within the same year in which a plant dies or the next spring.

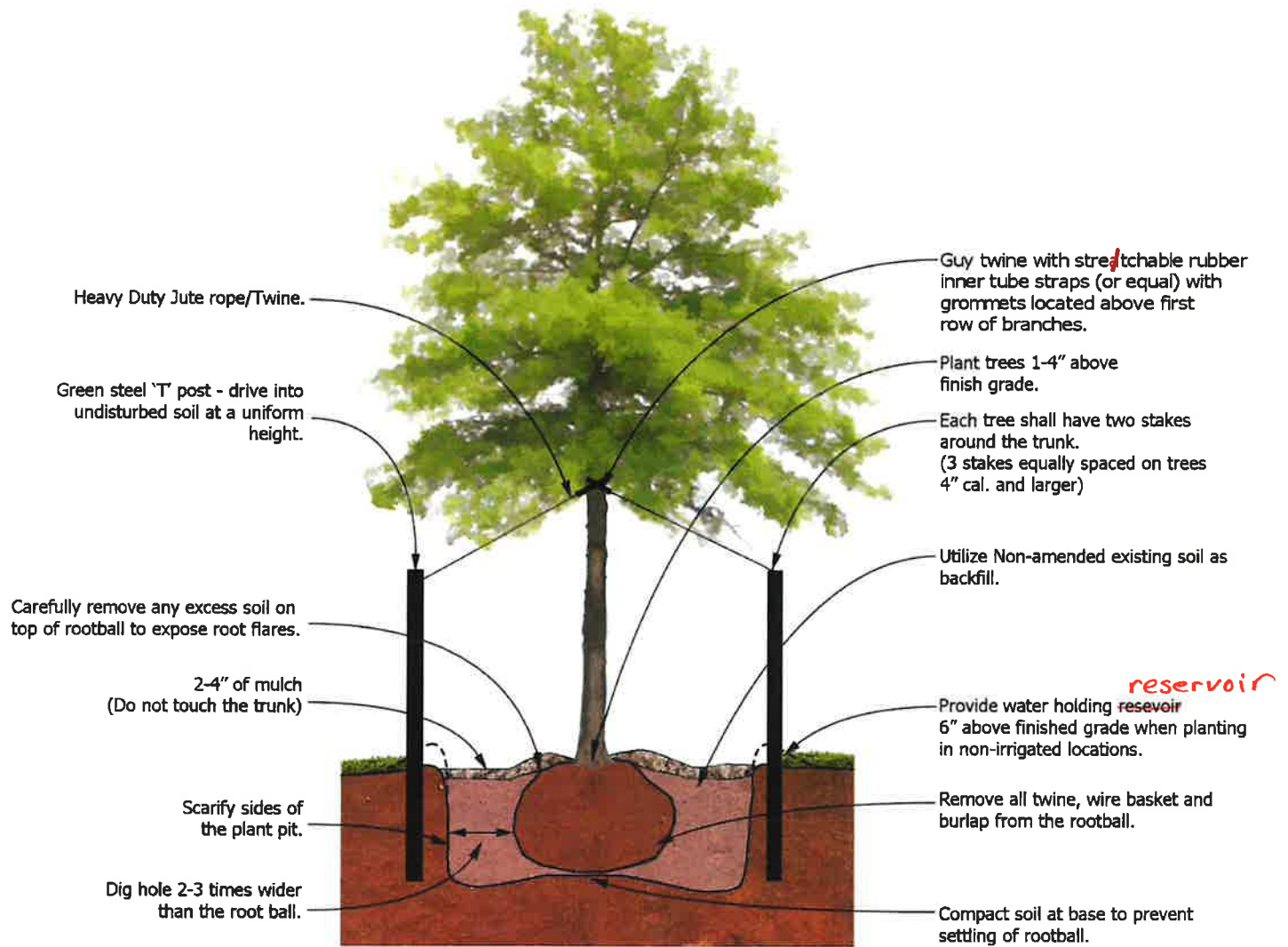
## Tree Watering Guidelines

**Watering your tree gradually and deeply will ensure that your tree thrives.** Apply water slowly and evenly to the tree's root zone, saturating the soil to a depth of 12-18 inches. Use the guidelines below to help determine the specific watering needs of your tree.

### Watering guidelines for young trees (0-5 years)

| Tree Age                            | Frequency   | Quantity      | Drip* & Sprinkler***<br>Run Time              |
|-------------------------------------|---|---------------|---|
| Three days after planted            | Fill the watering basin 3 times, using a total of 15-20 gallons | 15-20 gallons | Hand watering best at this stage              |
| First three weeks after planting    | Fill the watering basin once a week                             | 5-10 gallons  | Drip & Bubbler run time: Depends on flow rate |
| Two - Six months following planting | Fill the watering basin every week or every other week          | 10-15 gallons | Drip & Bubbler run time: Depends on flow rate |
| Remainder of first year             | Water every other week in absence of soaking rain               | 10-15 gallons | Drip & Bubbler run time: Depends on flow rate |
| Year Two                            | Every two to four weeks when rain is scarce                     | 15-20 gallons | Drip & Bubbler run time: Depends on flow rate |
| Year Three-Five                     | Once a month  | 20-30 gallons | Drip & Bubbler run time: Depends on flow rate |

# Figure 4: Deciduous Tree Planting Standard



### SCORING LANDSCAPING PROPOSALS

IMPORTANT: ADDITIONAL DOCUMENT (INCLUDING MAP) NEEDED DETAILING PRE-DEVELOPMENT CONDITIONS, SOILS AND VEGETATION - POINTS ASSIGNED FOR MATURE TREES 4" CALIPER AND OVER AND NOTABLES)

### REQUIRED FOR PLANS

Scale: North, Arrow, Date, Accurate Representation of Conditions

Inventory: Removed Tree over 4" caliper, and their associated woodlands, Existing Trees over 4" caliper

All trees and other plantings are to remain and must be protected in construction

Record: Large, high quality trees proposed for removal: Note: Equivalent diameter should be included in plan showing replacement of trees of similar quality and equivalent total diameter (4 x 4 diameter hardwood to replace 1 x 12 diameter hardwood either removed or lost in construction.

Green space: specify coverage - report mulch, etc.

Calculations may be completed by filling in the Orange Square below. All measurements in feet.

| PAVED AREA |       |            |                 |  |
|------------|-------|------------|-----------------|--|
| Length     | Width | Total Area | Required Points | NOTE: 1500 sq. ft. = 5 parking places plus driveway. Tree islands each end of 20 parking spaces (4 trees) same |
| 1          | 98174 | 98174      | 3927            |  |
|            |       |            |                 |  |
|            |       |            |                 |  |

| FOUNDATION AREA |       |            |                 |   |
|-----------------|-------|------------|-----------------|---|
| Length          | Width | Total Area | Required Points | 160 points per 100 lineal feet for appropriate plantings within 20 feet of visible foundation (shrubs, groundcover, medium and small trees) |
| 1               | 98174 | 98174      | 3927            |   |
|                 |       |            |                 |   |
|                 |       |            |                 |   |

| BUFFER |       |            |                 |   |
|--------|-------|------------|-----------------|---|
| Length | Width | Total Area | Required Points | 160 points per 100 lineal feet for appropriate plantings within 20 feet of visible area (shrubs, groundcover, medium and small trees) |
| 1      | 98174 | 98174      | 3927            |   |
|        |       |            |                 |   |
|        |       |            |                 |   |

| GENERAL YARDS |       |            |                 |  |
|---------------|-------|------------|-----------------|--|
| Length        | Width | Total Area | Required Points |  |
| 1             | 98174 | 98174      | 3927            |  |
|               |       |            |                 |  |
|               |       |            |                 |  |

| STREET Frontage & Total Trees Requirements                                |                        |                    |                            |               |
|---|------------------------|--------------------|----------------------------|---------------|
|   | Street Frontage Length | Footage Per Length | Number of Trees per Street | Points Gained |
| Large Trees   |                        | 35                 |                            | 0             |
| Native Large Trees  |                        | 45                 |                            | 0             |
| Small Tree  |                        | 35                 |                            | 0             |
| Native Small Tree   |                        | 45                 |                            | 0             |
| POINTS PER PLANT Do not count the above Street Frontage Tree Requirements |                        |                    |                            |               |

| Type  | Size  | Point | Number                   | Total |
|---|---|-------|--------------------------|-------|
| Large Deciduous   | Equal to or greater than 25 ft. 2" diameter @ chest | 150   |                          |       |
| Native  | Equal to or greater than 25 ft. 2" diameter @ chest | 165   |                          |       |
| Small Deciduous   | Less than 25 ft. 2" diameter @ chest                | 60    |                          |       |
| Native  | Less than 25 ft. 2" diameter @ chest                | 75    |                          |       |
| Evergreen   | 10 to 4 feet tall                                   | 40    |                          |       |
| Native  | 10 to 4 feet tall                                   | 55    |                          |       |
| Shrub   | 2 foot or 2 gallons                                 | 20    |                          |       |
| Native  | 2 foot or 2 gallons                                 | 35    |                          |       |
| Perennial   | 20 points for 20 sq. ft.                            | 20    |                          |       |
| Native  | 20 points for 20 sq. ft.                            | 35    |                          |       |
| Note: Use with Whitewater Landscaping Guideline <b>AND</b> Nowak, M. Beyond the Bird Feeder, WSObirds.org |   |       | Number of Overall Points |       |

|                       |             |
|-----------------------|-------------|
| <b>TOTAL REQUIRED</b> | <b>6167</b> |
|-----------------------|-------------|

|                                       |  |
|---------------------------------------|--|
| <b>TOTAL POINTS PER PROPOSED PLAN</b> |  |
|---------------------------------------|--|

If the ~~maximum-minimum~~ number of points can-not be met, the applicant may have the option to donate the difference to the Whitewater Tree Fund. Each point that is not met will be the equivalent of \$50.00.  
~~the applicant may have the option to donate the difference to the Whitewater Tree Fund. Each point under will be the equivalent of \$1.00.~~





# LANDSCAPE DESIGN GUIDELINES AND STANDARDS

REVISED January 29, 2025





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## Landscape Guidelines

The Plan and Architectural Review Commission reviews site and landscape plans for all new and expanded commercial, industrial, institutional, and multiple family housing projects. Landscaping beautifies the property and City, buffers land uses and unattractive structures, increases property values, conserves energy, and helps clean the air and water. The Commission adopted the following guidelines to assist developers, builders, and property owners in meeting the expectations for landscaping. The use of the term “must” below, reflects zoning ordinance requirements that are mandatory.

### Required Components of a Landscape Plan

- A scale (e.g. 1 inch = 50 feet), a north arrow, a date, and an accurate representation of site conditions (e.g. property dimensions should be correct with all features drawn to scale).
- All areas to be left in green space and how they will be covered (e.g. grass, mulch, native vegetation).
- All trees over 4-inch caliper to be removed or portions of woods with such trees that are proposed for removal.
- All existing trees that are over 4-inch caliper or edges of woods with such trees.
- All existing trees and other plantings proposed to remain on site after construction, including proposed locations for barrier fencing or other ways to ensure their preservation.
- Location, species, size at time of planting, and size at maturity for proposed landscape plants.
- Adjacent streets, existing and proposed buildings, parking lots, loading areas, dumpsters, existing or proposed grades, outdoor storage areas, and mechanical units and utilities in relation to proposed plantings.
- Name, address, and phone number of both the person who prepared the plan and the property owner.

For simple projects, the Landscape Plan may be included on a map that also shows other proposed site improvements, like proposed buildings, signs, lighting, utilities, and grading.

### Treatment of Existing Vegetation

Pre-existing landforms, terrain, and vegetation should be preserved as much as practical. This may be achieved by minimizing building construction and site modifications in areas not essential to project development. High quality, mature, and native trees and hedges should be retained where practical and should not be removed to facilitate commercial signage. Preservation of existing vegetation will reduce expectations for new landscaping, while major removal of existing vegetation may result in expectations for new landscaping greater than what guidelines normally suggest. In general, where large, high quality trees are proposed for removal on a landscape plan, the equivalent diameter of new trees should also be included in the plan (e.g. one maple with a 12-inch diameter trunk removed = planting of four 3-inch diameter hardwood canopy trees). Similarly, mature trees identified for preservation in the approved Landscape Plan but subsequently lost should be replaced by new trees of similar total diameter.

Mature trees identified for preservation on a Landscape Plan should be protected during construction by not allowing grading or equipment or vehicle storage in these areas and by making all contractors aware of the preservation requirements. During construction, barrier fencing should generally be placed at the Critical Root Zone (CRZ) of the tree, as defined as a radius equivalent to 1.5 feet for every inch in trunk Diameter at Breast Height (DBH). For example, a tree with a trunk diameter of 12 inches has a Critical Root Zone radius of 18 ft.

The Urban Forestry Management Plan available from the City's Parks, Recreation and Forestry Department contains additional preservation guidance (see particularly the City's Terrace Tree Protection Guideline).

## Recommended Locations and Amount of New Landscaping

New Landscaping planting should be provided on different parts of the site, as advised below;

1. **Street Frontages.** One deciduous tree must be planted for each 35 feet along each side of a street right of way, except where a clustered or wider spacing is allowed by the City Forester where traffic visibility, street lights, or utilities would be negatively affected. Street trees should be planted midway between the sidewalk and curb, or within 15 feet of the property line adjoining the street, but only if space is not available between the sidewalk and curb. Plantings may also be appropriate in any boulevard included in development plans. Street tree species should be approved by City Forester prior to installation, and should be based generally upon the information provided in Figures 3 below.
2. **Paved Areas.** One large deciduous tree and 60 points of additional landscaping (see Figure 3. Appropriate Plant Species and Sizes) should be planted for each 1,500 square feet of paved area, which is about the same amount of space required for five parking spaces plus a driveway. Plants should be installed in landscaped islands within the paved area of within 15 feet of the edges of the paved area. Landscaped islands or peninsulas must be provided at the end of every parking row, and interior islands should be provided for every 20 parking spaces in non-industrial projects. Species selection for paved area plantings is particularly important to ensure salt and snow tolerance (see Figure 3), proper growth habit and branch height, avoidance of messy fruit or other litter from the tree, and maintenance of good visibility within parking lots.



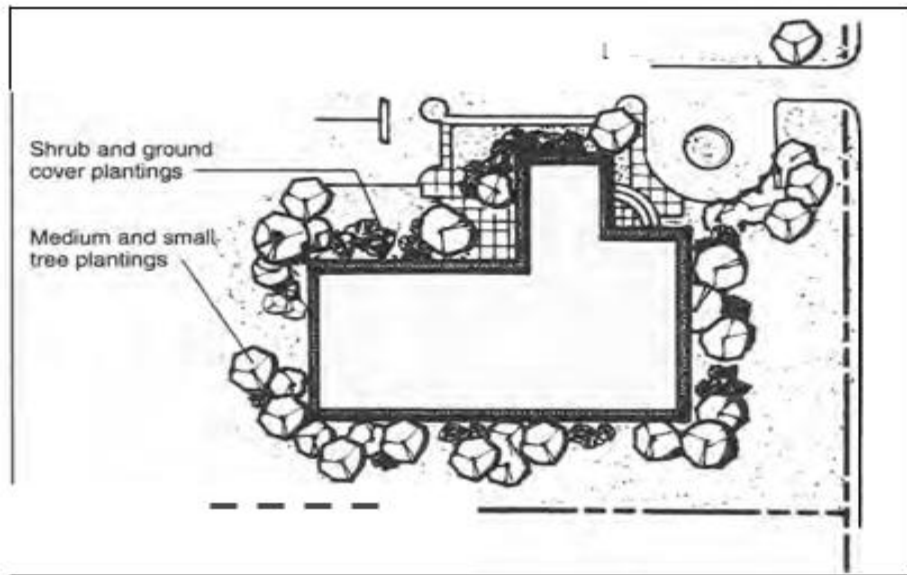
Figure 1: Parking Lot Landscaping Example



3. **Building Foundations.** 160 points of landscaping (see Figure 3) should be planted for each 100 lineal feet of exterior building wall that is visible from public right of way and adjoining sites. The graphic on the following page provides an example of building landscaping. Plants required by this section should be installed within 20 feet of the building foundation and generally should not include large deciduous trees.
4. **Landscaped Buffer Yards.** The City requires installation of a landscape buffer yard;
  - In yards where a B-1, B-3. or M-1 zoning district abuts a residential use or zoning districts;
  - Where off-street parking areas for five or more vehicles are within 15 feet of lot line, except where the next-door lot also contains parking within that same distance, and;
  - Where lots in a new residential subdivision back onto a proposed major street.



**Figure 2: Building Foundation Planting Example**



The minimum width of a landscaped buffer yard is 10 feet (30 feet where subdivision lots back onto a major street), not including the area between the sidewalk and street curb. Buffer yards are generally required to be landscaped with two large deciduous trees, five small deciduous and/or evergreen trees, and twelve shrubs for every 100 feet of buffer yard length. The Plan Commission may instead approve substitute landscaping, a berm, an opaque fence or wall, or some combination. Fences or walls should generally not be used in street yards and must not be more than six feet tall in residential zoning districts and 10 ft tall in non-residential districts. A berm is a mound of soil surfaced with a landscape ground cover, generally three to six feet above the surrounding grade and preferably of an undulating or otherwise visually interesting layout.

5. **General Yard Areas.** In other parts of the site, 200 additional points of landscaping (see Figure 3) should be planted for each 5,000 square feet of total site area. Most general yard area landscaping should be located in street facing yards. Except for approved natural areas, general yard areas should be seeded. Slopes should be a maximum of three vertical feet for every one horizontal foot. Where retaining walls are necessary, they should be designed to be less than 10 feet in height and constructed with stone or block, or terraced if the grade change is 10 feet or more.

6. **Screening.**

Dumpsters, outside storage area, loading docks, vending machines, and large or unsightly mechanical utility, or telecommunication units should be enclosed by a fence, wall, and /or landscaping designed to provide a total visual screen from public right of way and adjacent properties. Screening fences and walls surrounding outdoor storage areas should generally be between six and eight feet tall, while fences and walls designed to screen other areas should generally be between four and six feet tall. Future trimming of screen planting that limits their capacity to provide a total visual screen is not permitted. The base of freestanding signs- monuments and pylon signs- should also be landscaped. Low level plantings should be selected in sign areas.

7. **Vision Triangles and Easements.** No parts of plantings within 10 feet of ground level may extend over any public right of way. No new landscape plantings with a mature height over two and one-half feet or with branches at maturity that will be less than 10 feet may be placed in vision triangles near street intersections (see Section 19.51.010 of zoning ordinance in order to measure extent of vision triangle). Planting in utility easements is at risk of the property owner and may be subject to restrictions associated with the easement. Tree plantings should generally be at least 20 feet from street lights, 10 feet from hydrants, and six feet from gas and water valves.

## Recommended Sizes and Species of New Landscaping

Figure 3 indicates the points that may be obtained for each plant within the five different categories of landscape plantings; Large deciduous tree, small deciduous tree, evergreen tree, shrub and perennial planting bed. When added together, the points obtained from each plant depicted in a Landscape Plan may be used to determine whether the landscaping point guidelines above are being met. Figure 3 also provides a starting point for potential plant species selection within each of the five categories of plantings.

Figure 3 includes examples of appropriate tree and shrub species for different, unique applications. These include trees appropriate for placement under power lines. The following plants are a guide and not all inclusive; other trees and plantings may be approved by City Forester.

For more information in selecting plants:

<https://hort.extension.wisc.edu/article-topic/deciduous-selection/>

For more information on prohibited plantings:

<https://dnr.wisconsin.gov/topic/Invasives/RegulatedSpecies>

**Figure 3**  
**Approved Street Tree List**

| STREET NAME         | BOTANICAL NAME                        | HEIGHT | LENGTH | POINTS |
|---------------------|---------------------------------------|--------|--------|--------|
| <b>Aspen</b>        |                                       |        |        |        |
| Quaking             | Populus tremuloides                   | 40-50  | 20-30  | 165    |
| <b>Buckeye</b>      |                                       |        |        |        |
| Yellow              | Aesculus Flava                        | 60-75  | 30-50  | 150    |
| <b>Coffeetree</b>   |                                       |        |        |        |
| Espresso Kentucky   | Gymnocladus dioicus 'Espresso'        | 50     | 35     | 150    |
| Kentucky            | Gymnocladus dioicus                   | 50-60  | 50-60  | 165    |
| <b>Cypress</b>      |                                       |        |        |        |
| Bald                | Taxodium distichum                    | 50-70  | 20-30  | 150    |
| Shawnee Brave Bald  | Taxodium distichum 'Mickelson'        | 50     | 15-20  | 150    |
| <b>Elm</b>          |                                       |        |        |        |
| Princeton           | Ulmus americana 'Princeton'           | 60-80  | 40-60  | 150    |
| Valley Forge        | Ulmus americana 'Valley Forge'        | 80     | 60     | 150    |
| <b>Ginko</b>        |                                       |        |        |        |
| Autumn Gold         | Ginko biloba 'Autumn Gold'            | 40-50  | 25-30  | 150    |
| Magyar              | Ginko biloba 'Magyar'                 | 40-50  | 20-25  | 150    |
| Princeton Sentry    | Ginko biloba 'Princeton Sentry'       | 40-50  | 15-20  | 150    |
| <b>Gum</b>          |                                       |        |        |        |
| Black               | Nyssa sylvatica                       | 30-50  | 20-30  | 165    |
| <b>Hackberry</b>    | Celtis Occidentalis                   | 40-60  | 40-60  | 165    |
| <b>Linden</b>       |                                       |        |        |        |
| Boulevard American  | Tilia americana 'Boulevard'           | 60     | 25     | 150    |
| Sweet Street        | Tilia americana 'Kromm'               | 50     | 25     | 150    |
| <b>Honey Locust</b> | Gleditsia triacanthos                 | 40-50  | 30-40  | 150    |
| <b>Maple</b>        |                                       |        |        |        |
| Celebration         | Acer x freemanii 'Celzam'             | 40-50  | 20-35  | 150    |
| Sienna Glen         | Acer x freemanii 'Sienna'             | 40-50  | 35-40  | 150    |
| Sugar               | Acer saccharum                        | 50-75  | 50     | 165    |
| <b>Oak</b>          |                                       |        |        |        |
| Burr                | Quercus macrocarpa                    | 70-80  | 75-90  | 165    |
| Chinkapin           | Quercus muehlenbergii                 | 50-60  | 50-60  | 165    |
| White Oak           | Quercus alba                          | 50-80  | 100    | 165    |
| Red                 | Quercus rubra                         | 60-75  | 60-75  | 165    |
| <b>Planetree</b>    |                                       |        |        |        |
| Exclamation London  | Platanus x acerifolia 'Morton Circle' | 60     | 45     | 150    |

Minimum size at time of planting - 2-inch trunk

Diameter measure at 4ft. up

### Approved Large Area Tree List

| STREET NAME         | BOTANICAL NAME                    | HEIGHT | LENGTH | POINTS |
|---------------------|-----------------------------------|--------|--------|--------|
| <b>Aspen</b>        |                                   |        |        |        |
| Quaking             | Populus tremuloides               | 40-50  | 20-30  | 165    |
| <b>Basswood</b>     |                                   |        |        |        |
| American            | Tilia americana                   | 75-130 | 23-35  | 165    |
| <b>Beech</b>        |                                   |        |        |        |
| American            | Fagus grandifolia                 | 60-75  | 55-65  | 165    |
| <b>Birch</b>        |                                   |        |        |        |
| Paper               | Betula papyrifera                 | 50     | 35     | 165    |
| River               | Betula nigra                      | 40-70  | 40-60  | 165    |
| Yellow              | Betula alleghaniensis             | 40-60  | 40-50  | 165    |
| <b>Buckeye</b>      |                                   |        |        |        |
| Yellow              | Aesculus Flava                    | 60-75  | 30-50  | 150    |
| <b>Butternut</b>    | Juglans cinerea                   | 40-60  | 40-60  | 165    |
| <b>Coffeetree</b>   |                                   |        |        |        |
| Kentucky            | Gymnocladus dioicus               | 50-60  | 50-60  | 165    |
| <b>Cypress</b>      |                                   |        |        |        |
| Bald                | Taxodium distichum                | 50-70  | 20-30  | 150    |
| Shawnee Brave Bald  | Taxodium distichum 'Mickelson'    | 50     | 15-20  | 150    |
| <b>Elm</b>          |                                   |        |        |        |
| Princeton           | Ulmus americana 'Princeton'       | 60-80  | 40-60  | 150    |
| Valley Forge        | Ulmus americana 'Valley Forge'    | 80     | 60     | 150    |
| <b>Ginko</b>        |                                   |        |        |        |
| Autumn Gold         | Ginko biloba 'Autumn Gold'        | 40-50  | 25-30  | 150    |
| Magyar              | Ginko biloba 'Magyar'             | 40-50  | 20-25  | 150    |
| Princeton Sentry    | Ginko biloba 'Princeton Sentry'   | 40-50  | 15-20  | 150    |
| <b>Gum</b>          |                                   |        |        |        |
| Black               | Nyssa sylvatica                   | 30-50  | 20-30  | 165    |
| Moraine Sweet       | Liquidambar styraciflua 'Moraine' | 40-45  | 25-30  | 150    |
| <b>Hackberry</b>    | Celtis Occidentalis               | 40-60  | 40-60  | 165    |
| <b>Hickory</b>      |                                   |        |        |        |
| Shagbark            | Carya ovata                       | 80     | 40     | 165    |
| <b>Katsura</b>      | Cercidiphyllum japonicum          | 40-60  | 20-35  | 150    |
| <b>Linden</b>       |                                   |        |        |        |
| American Sentry     | Tilia americana 'McKSentry'       | 50-60  | 20-25  | 150    |
| <b>Honey Locust</b> | Gleditsia triacanthos             | 40-50  | 30-40  | 150    |
| <b>Maple</b>        |                                   |        |        |        |
| Red                 | Acer rubrum                       | 40-60  | 40-60  | 165    |
| Sienna Glen         | Acer x freemanii 'Sienna'         | 40-50  | 35-40  | 150    |



|                    |                                       |        |       |     |
|--------------------|---------------------------------------|--------|-------|-----|
| Sugar              | Acer saccharum                        | 50-75  | 50    | 165 |
| <b>Magnolia</b>    |                                       |        |       |     |
| Cucumbertree       | Magnolia acuminata                    | 50-80  | 35-60 | 150 |
| <b>Oak</b>         |                                       |        |       |     |
| Black              | Quercus Velutina                      | 50-60  | 50-60 | 165 |
| Burr               | Quercus macrocarpa                    | 70-80  | 75-90 | 165 |
| Chinkapin          | Quercus muehlenbergii                 | 50-60  | 50-60 | 165 |
| White              | Quercus alba                          | 50-80  | 100   | 165 |
| Red                | Quercus rubra                         | 60-75  | 60-75 | 165 |
| <b>Planetree</b>   |                                       |        |       |     |
| Exclamation London | Platanus x acerifolia 'Morton Circle' | 60     | 45    | 150 |
| <b>Redwood</b>     |                                       |        |       |     |
| Dawn               | Metasequoia glyptostroboides          | 75-100 | 15-25 | 150 |
| <b>Sycamore</b>    |                                       |        |       |     |
| American           | Platanus occidentalis                 | 70-90  | 80    | 165 |
| <b>Tuliptree</b>   | Liriodendron tulipifera               | 70-80  | 35-45 | 150 |
| <b>Yellowwood</b>  | Cladrastis kentuckia                  | 30-50  | 40-50 | 165 |

Minimum size at time of planting  
2-inch trunk diameter measures 4 ft. up

### Approved Medium-Small Street Tree List

| STREET NAME                            | BOTANICAL NAME                                | HEIGHT | LENGTH | POINTS |
|--|---|--------|--------|--------|
| <b>Buckeye</b>                         |   |        |        |        |
| Early Glow                             | Aesculus glabra 'J.N. Select'                 | 35     | 35     | 60     |
| Mystic Ruby                            | Aesculus x bushii 'Aaron#1'                   | 30-35  | 15-20  | 60     |
| <b>Cockspur Hawthorn<br/>Thornless</b> | Crataegus Crus-galli var. inermis             | 20-30  | 25-35  | 75     |
| <b>Crabapple</b>                       |   |        |        |        |
| Crab                                   | Non-native                                    |        |        | 60     |
| Prairie                                | Malus ioensis                                 | 15-20  | 15-20  | 75     |
| <b>Elm</b>                             |   |        |        |        |
| New Horizon                            | Ulmus 'New Horizon'                           | 30-40  | 15-25  | 60     |
| <b>Ironwood</b>                        | Ostrya virginiana                             | 25     | 15     | 75     |
| <b>Lilac</b>                           |   |        |        |        |
| Ivory Silk Japanese                    | Syringa reticulata subsp. Reticulata          | 25     | 15     | 60     |
| <b>Maple</b>                           |   |        |        |        |
| Paper Barked                           | Acer griseum                                  | 20-30  | 20-30  | 60     |
| State Street<br>Miyabe's               | Acer miyabei 'Morton'                         | 50     | 40     | 60     |
| <b>Magnolia</b>                        |   |        |        |        |
| Royal Star                             | Magnolia stellata 'Royal Star'                | 10-15  | 10-15  | 60     |
| <b>Musclewood</b>                      | Carpinus caroliniana                          | 25-30  | 25-30  | 75     |
| <b>Red Bud, Eastern</b>                | Cercis canadensis                             | 20-30  | 25-35  | 75     |
| <b>Serviceberry</b>                    |   |        |        |        |
| Allegheny                              | Amelanchier laevis                            | 25     | 15     | 75     |
| Apple                                  | Amelanchier x grandiflora                     | 25-30  | 25-30  | 75     |
| Autumn Brilliance                      | Amelanchier x grandiflora 'Autumn Brilliance' | 20-25  | 20-25  | 60     |

Minimum size at time of planting

1 1/2-inch trunk diameter measured at 4 ft. up

### Approved Medium-Small Off-Street Tree List

| STREET NAME             | BOTANICAL NAME                                | HEIGHT | LENGTH | POINTS |
|-------------------------|---|--------|--------|--------|
| <b>Buckeye</b>          |   |        |        |        |
| Early Glow              | Aesculus glabra 'J.N. Select'                 | 35     | 35     | 60     |
| Mystic Ruby             | Aesculus x bushii 'Aaron#1'                   | 30-35  | 15-20  | 60     |
| <b>Crabapple</b>        |   |        |        |        |
| Crab                    | Non-native                                    |        |        | 60     |
| Prairie                 | Malus ioensis                                 | 15-20  | 15-20  | 75     |
| <b>Dogwood</b>          |   |        |        |        |
| Golden Glory            | Cornus mas 'Golden Glory'                     | 15-25  | 15-25  | 60     |
| Pagoda                  | Cornus alternifolia                           | 15-25  | 15-25  | 75     |
| <b>Elm</b>              |   |        |        |        |
| New Horizon             | Ulmus 'New Horizon'                           | 30-40  | 15-25  | 60     |
| <b>Ironwood</b>         | Ostrya virginiana                             | 25     | 15     | 75     |
| <b>Lilac</b>            |   |        |        |        |
| Ivory Silk<br>Japanese  | Syringa reticulata subsp. reticulata          | 25     | 15     | 60     |
| <b>Maple</b>            |   |        |        |        |
| Paper Barked            | Acer griseum                                  | 20-30  | 20-30  | 60     |
| Striped                 | Acer pensylvanicum                            | 20     | 15     | 60     |
| <b>Magnolia</b>         |   |        |        |        |
| Royal Star              | Magnolia stellata 'Royal Star'                | 10-15  | 10-15  | 60     |
| <b>Musclewood</b>       | Carpinus caroliniana                          | 25-30  | 25-30  | 75     |
| <b>Red Bud, Eastern</b> | Cercis canadensis                             | 20-30  | 25-35  | 75     |
| <b>Serviceberry</b>     |   |        |        |        |
| Allegheny               | Amelanchier laevis                            | 25     | 15     | 75     |
| Apple                   | Amelanchier x grandiflora                     | 25-30  | 25-30  | 75     |
| Autumn Brilliance       | Amelanchier x grandiflora 'Autumn Brilliance' | 20-25  | 20-25  | 60     |
| <b>Seven Son Flower</b> | Heptacodium miconioides                       | 15-20  | 8-15   | 60     |

Minimum size at time of planting

1 1/2-inch trunk diameter measured 4 ft. up

### Approved Native Conifer Tree List

| COMMON NAME              | BOTANICAL NAME       | HEIGHT | LENGTH | POINTS |
|--------------------------|----------------------|--------|--------|--------|
| Balsam fir               | Abies balsamea       | 40-60  | 15-25  | 55     |
| Growth narrow, conical   |                      |        |        |        |
| Eastern red cedar        | Juniperus virginiana | 30-40  | 8-20   | 55     |
| Growth tree form         |                      |        |        |        |
| Tamarack                 | Larix laricina       | 30-50  | 10-15  | 55     |
| Growth conical, upright  |                      |        |        |        |
| Northern white cedar     | Thuja occidentalis   | 20-30  | 10-15  | 55     |
| Growth tree form         |                      |        |        |        |
| Canadian hemlock         | Tsuga canadensis     | 20-45  | 15-25  | 55     |
| Growth dense, conical    |                      |        |        |        |
| Eastern white pine       | Pinus strobus        | 50-80  | 20-40  | 55     |
| Pyramidal in youth       |                      |        |        |        |
| White spruce             | Picea glauca         | 40-60  | 10-20  | 55     |
| Broad, conical           |                      |        |        |        |
| Jack pine                | Pinus banksiana      | 35-50  | 20-30  | 55     |
| Upright                  |                      |        |        |        |
| Black spruce             | Picea mariana        | 20-50  | 20-30  | 55     |
| Upright, narrow, conical |                      |        |        |        |
| Red pine                 | Pinus resinosa       | 50-80  | 20-25  | 55     |
| Tree form                |                      |        |        |        |

|                      |  |  |  |    |
|----------------------|--|--|--|----|
|                      |  |  |  |    |
| All other Evergreens |  |  |  | 40 |

### Approved Landscape Plants

| <b>NATIVE - HERBACIOUS</b>     |                          |               |                    |               |
|--------------------------------|--------------------------|---------------|--------------------|---------------|
| <b>COMMON</b>                  | <b>LATIN</b>             | <b>HEIGHT</b> | <b>BLOOM COLOR</b> | <b>POINTS</b> |
| Lavender Hyssop                | Agastache foeniculum     | 2-4'          | Purple             |               |
| Nodding Onion                  | Allium cernuum           | 18"           | Pink               |               |
| Sullivant's Milkweed (Prairie) | Asclepias sullivantii    | 3-5'          | Pink               |               |
| Butterfly Milkweed             | Asclepias tuberosa       | 2'            | Orange             |               |
| New England Aster              | Aster novae-angliae      | 5'            | Purple/Pink        |               |
| Canada Milk Vetch              | Astragalus canadensis    | 1-3'          | Cream              |               |
| White Wild Indigo              | Baptisia alba            | 4'            | White              |               |
| Blue Wild Indigo               | Baptisia australis       | 3-5'          | Blue               |               |
| Cream False Indigo             | Baptisia bracteata       | 1-2'          | Cream              |               |
| Yellow Wild Indigo             | Baptisia tinctoria       | 2-3'          | Yellow             |               |
| Downy Wood Mint                | Blephilia cilata         | 1-2'          | Purple             |               |
| Pale Purple Coneflower         | Echinacea pallida        | 3-5'          | Purple             |               |
| Purple Coneflower              | Echinacea purpurea       | 3-4'          | Purple             |               |
| Rattlesnake Master             | Eryngium yuccifolium     | 4'            | White/Green        |               |
| Early Sunflower                | Helianthus helianthoides | 3-5'          | Yellow             |               |
| Prairie Alumroot               | Heuchera richardsonii    | 2'            | Green              |               |
| Round Headed Bush Clover       | Lespedeza capitata       | 4'            | White              |               |
| Rough Blazing Star             | Liatris aspera           | 2-5'          | Purple             |               |
| Michigan Lilly                 | Lilium michiganense      |               | Orange             |               |
| Wild Bergamot                  | Monarda fistulosa        | 2-4'          | Lavender           |               |
| Eastern Prickly Pear Cactus    | Opuntia humifosa         | 6"            | Yellow             |               |
| Wild Quinine                   | Parthenium integrifolium | 4'            | White              |               |
| Smooth Penstemon               | Penstemon digitalis      | 1-3'          | White              |               |
| Large Flowered-Penstemon       | Penstemon grandiflorus   | 1-3'          | Lavender           |               |
| Compass Plant                  | Silphium laciniatum      | 8'            | Yellow             |               |
| Rosin Weed                     | Silphium integrifolium   | 4-6'          | Yellow             |               |
| Spiderwort                     | Tradescantia ohiensis    | 2-4'          | Blue               |               |
| Hoary Vervain                  | Vergenea stricta         | 2-4'          | Blue               |               |
|                                |                          |               |                    |               |
| <b>NATIVE - GRASSES/SEDGES</b> |                          |               |                    |               |
| River Oats/Northern Sea Oats   | Chasmanthium latifolium  | 3-4'          | Grass              |               |
| Little Blue Stem               | Schizachyrium scoparium  | 2-3'          | Grass              |               |
| Prairie Dropseed               | Sporobolus heterolepis   | 2-3'          | Grass              |               |



|                                 |                         |       |                        |    |
|---------------------------------|-------------------------|-------|------------------------|----|
| Side Oats Gramma                | Bouteloua curtipendula  | 1-3'  | Grass                  |    |
|                                 |                         |       |                        |    |
| <b>NATIVE - SMALL SHRUBS</b>    |                         |       |                        |    |
| White Snowberry                 | Symphoricarpos albus    | 3-5'  | White                  | 35 |
| Black Chokeberry                | aronia melanocarpa      | 3-6'  | White                  | 35 |
| Juneberry                       | amelanchier alnifolia   | 4-15' | White                  | 35 |
| Running Serviceberry            | Amelanchier stolonifera | 3-5'  | White                  | 35 |
| Northern Bush Honeysuckle       | Diervilla lonicera      | 1-3'  | Yellow                 | 35 |
| Pasture Rose                    | Rosa carolina           | 2'    | Pink                   | 35 |
| New Jersey Tea                  | Ceanothus americanus    | 3'    | White                  | 35 |
| Shrubby St. John's Wort         | Hypericum prolificum    | 4'    | Yellow                 | 35 |
| Sweet Fern                      | Comptonia peregrina     | 2-5'  | Green/Bronzey<br>Brown |    |
| Lead Plant                      | Amorpha canescens       | 3'    | Purple                 | 35 |
| Shrubby Cinquefoil (Potentilla) | Dasphora fruticosa      | 204'  | Yellow                 | 35 |
|                                 |                         |       |                        |    |
| All other shrubs                |                         |       |                        | 20 |

Minimum size at time of planting  
2 feet in height or 2-gallon pot

## Descriptions and Standards for Rain Gardens and Bioswales

Rain gardens and bioswales can serve both as landscaping and stormwater management features on a building site, where appropriately designed and sited.

A rain garden is a shallow, depressed garden that is designed and positioned on a site to capture stormwater runoff and allow for the infiltration of water back into the ground. Rain garden plants are carefully chosen for their ability to withstand moisture extremes and potentially high concentrations of nutrients and sediments that are often found in stormwater runoff. A well designed and maintained rain garden serves as an attractive component of an overall landscaping plan for a development site.

A bioswale is a linear, vegetative stormwater runoff conveyance system that is designed to store and infiltrate water from small storm events back into the ground and direct water from heavy rain events to appropriate storm sewer inlets or other management facilities. The flow of water being conveyed through a bioswale is slowed down, allowing for municipal storm systems to more effectively manage heavier rain events and help reduce the risk of flooding on or off-site. Water being infiltrated or conveyed via a bioswale is also filtered by the vegetation within it, generally improving both ground and surface water quality.

The installation of a rain garden or bioswale may contribute to the overall stormwater management plan for a development site and count toward meeting the City's landscaping guidelines in the same manner as that presented for "perennial planting bed" in Figure 3 above (20 points for every 20 sq. ft.), provided that:

1. Detailed plans are provided that show all proposed dimensions of the rain garden including length, width, depth, and slope of depression; location of the rain garden on the lot relative to hard-surfaced areas, downspouts, and site topography; characteristics of the soil underlying the rain garden or bioswale; description of planting media; the species, number, and size at the time of installation of all vegetation proposed for the rain garden or bioswale; and information of any other materials, (e.g., rocks) that will be used to line the rain garden or bioswale.
2. Installation is not proposed for areas where there is known soil contamination unless the rain garden is proposed to be constructed with an under-drain; where the characteristics of the soil would not allow for the proper infiltration of water into the ground; or where there are expected high levels of foot traffic.
3. The owner can demonstrate that the rain garden or bioswale will be properly maintained; kept free of trash, weeds debris, and dead or dying plants; any pipes associated with the garden will be inspected on an annual basis and kept free of debris; and by the beginning of every spring dead plant materials will be cut back or removed.
4. Bioswales and rain gardens must be generously (and appropriately) vegetated to qualify for landscaping points. Bioswales and rain gardens (or portions thereof) that are lined with turf and/or rocks and do not include other vegetation will not qualify for landscaping points.

5. To serve as a component of an overall stormwater management plan for a site, detailed plans, calculations, and specifications meeting the City's stormwater management ordinance are provided. Detailed plans should include the location and description of all other stormwater management facilities serving the site, particularly those to which any bioswale will be directed.

For further information on rain garden and bioswale design:

<https://dnr.wisconsin.gov/sites/default/files/topic/Stormwater/RainGardenManualPrint.pdf>

## General Installation and Maintenance for Landscaping and Buffer Yards

Landscaping must be installed using landscape contracting industry standards available from landscape designers and nurseries. These include proper soil conditioning, removing any packing materials including wire cages, burlap, and string, and the placement of the root collar at or slightly above grade. A six-foot bark mulch radius around a tree is ideal, with the mulch no thicker than four inches in general and tapered to a depth of one inch at the base of the tree (the classic saucer shape). Rock mulch is discouraged around all planting areas. Figure 4 shall be proper planting and maintenance techniques for deciduous trees; techniques for evergreen trees and shrubs vary slightly, but the basic principles are similar.

All landscaping must be installed prior to building occupancy or operations, unless doing so would result in unsatisfactory plant survival. In this case, the City requires a site improvement deposit until landscaping is installed according to the plan.

All required landscaping should be continually maintained in a live state to meet its original function (e.g., screen plants not overly pruned). Maintenance must include replacement of dead or dying plants, regardless of when the plant dies. Replacement should occur within the same year in which a plant dies or the next spring.

## Tree Watering Guidelines

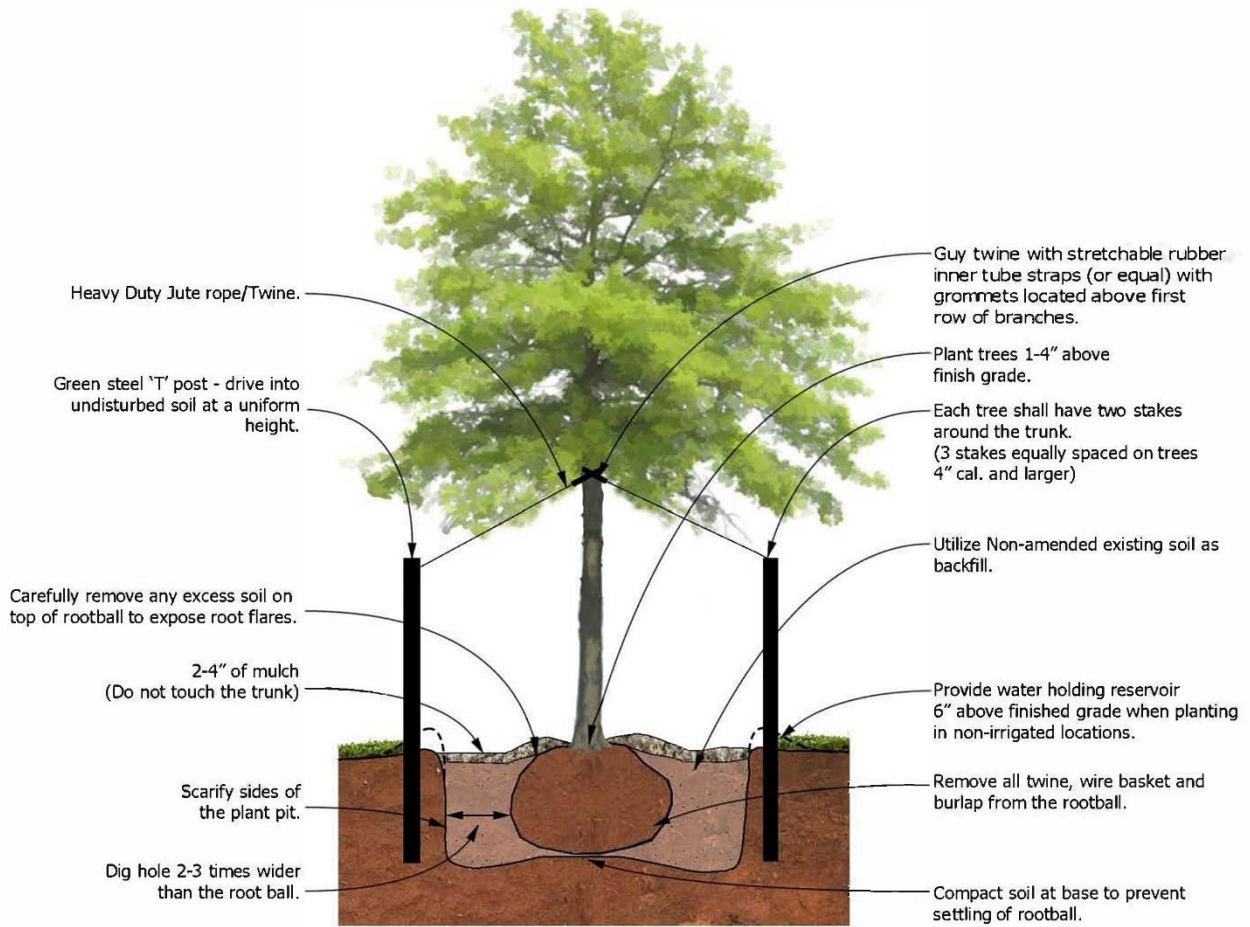
**Watering your tree gradually and deeply will ensure that your tree thrives.** Apply water slowly and evenly to the tree's root zone, saturating the soil to a depth of 12-18 inches. Use the guidelines below to help determine the specific watering needs of your tree.

### Watering guidelines for young trees (0-5 years)



| Tree Age                            | Frequency   | Quantity      | Drip* & Sprinkler***<br>Run Time                 |
|-------------------------------------|---|---------------|--|
| Three days after planted            | Fill the watering basin 3 times, using a total of 15-20 gallons | 15-20 gallons | Hand watering best at this stage                 |
| First three weeks after planting    | Fill the watering basin once a week                             | 5-10 gallons  | Drip & Bubbler run time:<br>Depends on flow rate |
| Two – Six months following planting | Fill the watering basin every week or every other week          | 10-15 gallons | Drip & Bubbler run time:<br>Depends on flow rate |
| Remainder of first year             | Water every other week in absence of soaking rain               | 10-15 gallons | Drip & Bubbler run time:<br>Depends on flow rate |
| Year Two                            | Every two to four weeks when rain is scarce                     | 15-20 gallons | Drip & Bubbler run time:<br>Depends on flow rate |
| Year Three-Five                     | Once a month  | 20-30 gallons | Drip & Bubbler run time:<br>Depends on flow rate |

Figure 4: Deciduous Tree Planting Standard





### SCORING LANDSCAPING PROPOSALS

IMPORTANT: ADDITIONAL DOCUMENT (INCLUDING MAP) NEEDED DETAILING PRE-DEVELOPMENT CONDITIONS, SOILS AND VEGETATION - POINTS ASSIGNED FOR MATURE TREES 4" CALIPER AND OVER AND NOTABLES)

### REQUIRED FOR PLANS

Scale: North, Arrow, Date, Accurate Representation of Conditions

Inventory: Removed Tree over 4" caliper, and their associated woodlands, Existing Trees over 4" caliper

All trees and other plantings are to remain and must be protected in construction

Record: Large, high quality trees proposed for removal: Note: Equivalent diameter should be included in plan showing replacement of trees of similar quality and equivalent total diameter (4 x 4 diameter hardwood to replace 1 x 12 diameter hardwood either removed or lost in construction.

Green space: specify coverage - report mulch, etc.

Calculations may be completed by filling in the Orange Square below. All measurements in feet.

| PAVED AREA |       |            |                 |  |
|------------|-------|------------|-----------------|--|
| Length     | Width | Total Area | Required Points | NOTE: 1500 sq. ft. = 5 parking places plus driveway. Tree islands each end of 20 parking spaces (4 trees) same |
| 1          | 98174 | 98174      | 3927            |  |
|            |       |            |                 |  |
|            |       |            |                 |  |

| FOUNDATION AREA |       |            |                 |   |
|-----------------|-------|------------|-----------------|---|
| Length          | Width | Total Area | Required Points | 160 points per 100 lineal feet for appropriate plantings within 20 feet of visible foundation (shrubs, groundcover, medium and small trees) |
| 1               | 98174 | 98174      | 3927            |   |
|                 |       |            |                 |   |
|                 |       |            |                 |   |

| BUFFER |       |            |                 |   |
|--------|-------|------------|-----------------|---|
| Length | Width | Total Area | Required Points | 160 points per 100 lineal feet for appropriate plantings within 20 feet of visible area (shrubs, groundcover, medium and small trees) |
| 1      | 98174 | 98174      | 3927            |   |
|        |       |            |                 |   |
|        |       |            |                 |   |

| GENERAL YARDS |       |            |                 |  |
|---------------|-------|------------|-----------------|--|
| Length        | Width | Total Area | Required Points |  |
| 1             | 98174 | 98174      | 3927            |  |
|               |       |            |                 |  |
|               |       |            |                 |  |

| STREET Frontage & Total Trees Requirements                                |                        |                    |                            |               |
|---|------------------------|--------------------|----------------------------|---------------|
|   | Street Frontage Length | Footage Per Length | Number of Trees per Street | Points Gained |
| Large Trees   |                        | 35                 |                            | 0             |
| Native Large Trees  |                        | 45                 |                            | 0             |
| Small Tree  |                        | 35                 |                            | 0             |
| Native Small Tree   |                        | 45                 |                            | 0             |
| POINTS PER PLANT Do not count the above Street Frontage Tree Requirements |                        |                    |                            |               |

| Type  | Size  | Point                    | Number | Total |
|---|---|--------------------------|--------|-------|
| Large Deciduous   | Equal to or greater than 25 ft. 2" diameter @ chest | 150                      |        |       |
| Native  | Equal to or greater than 25 ft. 2" diameter @ chest | 165                      |        |       |
| Small Deciduous   | Less than 25 ft. 2" diameter @ chest                | 60                       |        |       |
| Native  | Less than 25 ft. 2" diameter @ chest                | 75                       |        |       |
| Evergreen   | 10 to 4 feet tall                                   | 40                       |        |       |
| Native  | 10 to 4 feet tall                                   | 55                       |        |       |
| Shrub   | 2 foot or 2 gallons                                 | 20                       |        |       |
| Native  | 2 foot or 2 gallons                                 | 35                       |        |       |
| Perennial   | 20 points for 20 sq. ft.                            | 20                       |        |       |
| Native  | 20 points for 20 sq. ft.                            | 35                       |        |       |
| Note: Use with Whitewater Landscaping Guideline <b>AND</b> Nowak, M. Beyond the Bird Feeder, WSObirds.org |   | Number of Overall Points |        |       |
|   |   |                          |        |       |

|                       |             |
|-----------------------|-------------|
| <b>TOTAL REQUIRED</b> | <b>6167</b> |
|-----------------------|-------------|

|                                       |  |
|---------------------------------------|--|
| <b>TOTAL POINTS PER PROPOSED PLAN</b> |  |
|---------------------------------------|--|

|  |  |
|--|--|
| If the minimum number of points cannot be met, the applicant may have the option to donate the difference to the Whitewater Tree Fund. Each point that is not met will be the equivalent of \$50.00. |  |
|--|--|



[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: 262-473-0102

Office of the City Clerk  
312 W. Whitewater St.  
Whitewater, WI 53190

**To:** All Committee Chairs and Board Members  
**From:** Heather Boehm, City Clerk  
**Date:** May 28, 2025  
**Subject:** Procedures for Recording Minutes in Closed Session Meetings

This memo is to clarify the procedures regarding the recording of minutes during closed session meetings.

For **closed session meetings of governing bodies**, the **municipal clerk** should be present to record the minutes. The clerk's role is essential in ensuring accurate documentation and compliance with open meetings laws.

In the case of **committee closed sessions** where the municipal clerk is not present, the **committee or board chair** must appoint an individual to record the minutes of the closed session. This appointee should be someone who can maintain confidentiality and accurately reflect the proceedings.

All minutes from closed sessions must be maintained separately from open session minutes and handled with appropriate confidentiality in accordance with Wisconsin's Open Meetings Law.

If you have any questions regarding this procedure or require assistance in designating a recorder, please contact the City Manager, John Weidl or City Clerk, Heather Boehm.

Thank you for your attention to this matter.



## Plan Commission Agenda Item

|                                     |   |
|-------------------------------------|---|
| Meeting Date:                       | June 9, 2025  |
| Agenda Item:                        | Cedar Court Rezone  |
| Staff Contact (name, email, phone): | Llana Dostie, <a href="mailto:ldostie@whitewater-wi.gov">ldostie@whitewater-wi.gov</a> 262-473-0144 |

### BACKGROUND

(Enter the who, what, when, where, why)

This commission heard the rezone at the February 11, 2025 meeting for the vacant lots located on Wildwood and Cedar Court. At the last commission meeting on May 12, 2025, board member Lynn Binnie asked if this had gone to council for approval.

This mater was approved for rezone at the Common Council meeting on February 20, 2025 with second hearing waived.

### PREVIOUS ACTIONS – COMMITTEE RECOMMENDATIONS

(Dates, committees, action taken)

### FINANCIAL IMPACT

(If none, state N/A)

N/A

### STAFF RECOMMENDATION

N/A

### ATTACHMENT(S) INCLUDED

(If none, state N/A)