



# Plan & Architectural Review Meeting

Whitewater Municipal Building Community Room,  
312 West Whitewater St., Whitewater, WI 53190  
\*In Person and Virtual

**Monday, June 10, 2024 - 6:00 PM**

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**Citizens are welcome (and encouraged) to join our webinar via computer, smart phone, or telephone. Citizen participation is welcome during topic discussion periods.**

**Plan & Architectural Review Commission**  
Jun 10, 2024, 6:00 – 8:00 PM (America/Chicago)

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## **AGENDA**

### **CALL TO ORDER AND ROLL CALL**

#### **APPROVAL OF AGENDA**

*A commission member can choose to remove an item from the agenda or rearrange its order; however, introducing new items to the agenda is not allowed. Any proposed changes require a motion, a second, and approval from the commission to be implemented. the agenda shall be approved at reach meeting even if no changes are being made at that meeting.*

#### **APPROVAL OF MINUTES**

1. Approval of May 13, 2024 Minutes.

#### **HEARING OF CITIZEN COMMENTS**

*No formal Plan Commission action will be taken during this meeting although issues raised may become a part of a future agenda. Specific items listed on the agenda may not be discussed at this time; however, citizens are invited to speak to those specific issues at the time the Council discusses that particular item.*

**UPDATES / REPORTS**

- 2. Update on Bower's House.

**PUBLIC HEARING FOR REVIEW AND POSSIBLE APPROVAL**

- 3. **This item has been moved to the July 8, 2024 meeting at the request of the applicant.**  
Discussion and possible approval of a Conditional Use Permit for a New Wireless Telecommunication Facility and Free Standing Tower to be located at 1002 S Janesville Street Tax Parcel # /WUP 00341 for LCC Telecom Services.
- 4. Discussion and possible approval to change zoning of the Irvin L Young properties to reflect the correct zoning use.
- 5. Discussion and possible approval to change zoning of the Municipal Building properties to reflect the correct zoning use.
- 6. Discussion and possible approval of a Certified Survey Map(CSM) for Land Division creating two new lots for Tax Parcel # /CAH 00007 located at 1207 W Carriage Drive for Keystone Real Estate Investments, LLC.
- 7. Discussion and possible approval of a Conditional Use Permit for a New Wireless Telecommunication Facility and Free Standing Tower to be colocated on the Water Tower located at 797 Indian Mound Parkway Tax Parcel #/A277200001 for Verizon.
- 8. Discussion and possible approval of Conditional Use Permit to allow for the conversion of dwelling into a duplex for Tax Parcel # /WUP 00096 located at 452 W Main Street for BCN Rentals, LLC.

**FUTURE AGENDA ITEMS**

- 9. Discussion and possible referral to Common Council for Changes to 19.55.070(f)-July

**NEXT MEETING DATE JULY 8, 2024**

**ADJOURNMENT**

**Anyone requiring special arrangements is asked to call the Office of the City Manager / City Clerk (262-473-0102) at least 72 hours prior to the meeting. Those wishing to weigh in on any of the above-mentioned agenda items but unable to attend the meeting are asked to send their comments to:**  
 c/o Neighborhood Services  
 312 W. Whitewater Street  
 Whitewater, WI 53190  
 or ldostie@whitewater-wi.gov

*A quorum of the Common Council might be present. This notice is given to inform the public that no formal action will be taken at this meeting by the Common Council.*



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## MINUTES

### CALL TO ORDER AND ROLL CALL

Meeting was called to order by Chairman Miller at 6:00 p.m.

### PRESENT

Councilmember Neil Hicks  
Board Member Brian Schanen  
Chairperson Tom Miller  
Board member Carol McCormick  
Board Member Jeffery Weigel  
Board Member Michael Smith

### ABSENT

Board Member Bruce Parker  
Board Member John Beerman

### STAFF

Taylor Zeinert, Economic Development Director  
Allison Schwark, Planner  
Attorney Jonathan McDonnell  
Llana Dostie, Neighborhood Services Administrative Assistant

1. Approval of Minutes from April 8, 2024 Plan and Architectural Review Commission.  
Motion made by Councilmember Hicks, Seconded by Board member McCormick.

Voting Yea: Councilmember Hicks, Board Member Schanen, Chairperson Miller, Board member McCormick, Board Member Weigel, Board Member Smith

**HEARING OF CITIZEN COMMENTS**

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**ELECTIONS OF CHARIPERSON, VICE CHAIRPERSON AND REPRESENTATIVE TO THE URBAN FORESTRY COMMITTEE**

**Election of Chairperson**

Board Member McCormick nominated Tom Miller for Chair with a Second from Board Member Hicks. Board Member Smith nominated Neil Hicks with a second by Board Member Weigel.

On the motion for Tom Miller as chair.

Ayes: Miller, Schanen, McCormick

Nays: Smith, Weigel, Hicks

On the motion for Neil Hick as chair.

Ayes: Smith, Weigel, Schanen, Hicks, McCormick

**Election of Vice Chair.**

Board Member Schanen nominated Tom Miller with a second from Board Member Smith.

Ayes: Weigel, Schanen, Hicks, McCormick, Miller, Smith

**Election of Representative to Urban Forestry Commission.**



Board Member McCormick asked Board Member Weigel if he was an alternate. Staff member Dostie confirmed that he was an alternate. Attorney McDonnell confirmed that if he is an alternate he cannot service as a representative.

Board Member Hicks nominated Board Member Carol McCormick with a second from Board Member Schanen.

Ayes: Hicks, Miller, Smith, Weigel, Schanen

Abstain: McCormick

**SITE PLAN REVIEWS**

- 2. Site Plan review and possible approval of remodel for of the Fire Department Bunkhouse Tax Parcel #'s /OT 00156 and /OT 00159 for the City of Whitewater Fire Department located at 312 W Whitewater Street.

Planner Schwark gave a brief description on the project. Planner would like to have the property should be rezoned institutional and the multi parcels need to be combined. Board Member McCormick asked why the female bathroom only has one sink and one mirror while the men's bathroom has two. Whether this had to do with square footage or less females in the department. And if there rational regarding it. Planner Schwark stated she had no knowledge as to why. Economic Director Zeinert stated Strand was contracted to do the plans. Board Member Smith asked if it was a fair questions to ask the number of mean and the number of woman. Economic Director Zeinert stated that is something we can ask Chief Freeman but at this time she had no knowledge of that information personally. Planner Schwark stated that she was not asked to review the plans with the Fire Department and only was requested to review the plans for the Plan Commission. Economic Director Zeinert asked if there where any other concerns other than the sink ratio, zoning or planning. Board Member Schanen asked how long an approval is typically good for. Planner Schwark stated typically the project needs to get started within a year before it expires. From that they have until the building permit expires with the standard building permit being good for two years. All said in and done they could techincally have three years.

Motion made by Chairperson Miller, Seconded by Board Member Smith.

Voting Yea: Councilmember Hicks, Board Member Schanen, Chairperson Miller, Board member McCormick, Board Member Weigel, Board Member Smith

**DISCUSSION**

- 3. Discussion about where the Plan Commission would like to see Dog Daycare & Boarding Facilities be place with a conditional use in our zoning districts.

Planner Schwark explained that this is a discussion item we placed on the agenda it is a discussion that we have to have tonight because we now have to make a decision on a lower item. This is a discussion we wanted to bring to the Plan Commission to get feedback. This is something that we need to change or ordinance and adapt to new and up and coming businesses coming to Whitewater. This is an area that is kind of a grey

spot in our ordinance we currently don't have any areas to allow this type of business. Planner Schwark feels that this wasn't the City's intent to restrict this kind of business, however, when the code was written something like this wasn't included. In some of our zoning districts we do allow veterinary services and this is the closest that we get to a doggie day care, dog park or dog facility. Planner Schwark wanted to bring this to the Boards attention and ask for feedback about where in our city would be good location within our city zoning and land use to add this type of business in as a Conditional Use within the City. Chairman Hicks loves the idea of it. With communications that he has had with residents he feels that it is in a good location where it sited. He doesn't want to see it in a residential district or an industrial district which could harm to the dogs by scaring them or causing the to bark more because you have loud machinery or traffic. Chairman Hicks stated that he felt his dog would like it.

Board Member McCormick stated she owns a pet and likes the idea of a dog boarding facility in Whitewater that it is need. We did have a resident that was concerned about the noise. Concern about the railroad tracks making the dog barking worse. Board Member Smith shared he used to live in the area and can't see that the dogs barking would be any louder than the train. Planner Schwark stated that as we get into the scope of rewriting the code it sounds like a B-3 business district that the Plan Commission feels that this is a suitable for this type of business. She asked about an M-1 district. Economic Development Director Zeinert asked Planner Schwark to explain what an M-1 district is and Board Member Schanen asked also for a B-1 and B-3. Planner Schwark stated that an M-1 stated that this zoning will have your more industrial uses along with some lighter industrial uses. Examples manufacturing , freight terminals, research facilities and offices . B-3 zoning district that is highway commercial district is set up to accommodate your not nuisance industrial commercial that is highway oriented with higher land use. Examples would be private recreation facilities, mini warehouses Board Smith stated that it sounded that B-3 is more restrictive than M-1. Planner Schwark stated that with the M-1 and B-3 districts in relationship to Dog Daycare and Dog Boarding facilities that they would be similar since we would be added this as a conditional use permit. Both would require the applicant to come forward and apply for a conditional use permit that would have to be approved by the Plan Commission. Board member Smith stated from what he is hearing an M-1 would be louder than a B-3. He stated that it sound like a B-3 would be better and asked for more examples. Planner Schwark stated an general example is where the Dog Daycare that is proposed to locate is B-3. Board Member Schanen asked if downtown is zoned differently. Planner Schwark state he downtown district is a B-2 Central Business District and this is completely different from a B-3 district and Dog Daycares or Dog Boarding facilities would still not be allowed in those districts. Board Members Hicks asked about the minimum lot size in an M-1 is. Planner Schwark stated 20,000 square feet. Board Member Hicks asked about whether the set backs would be less than a B-1 and B-3. Planner Schwark stated that the sets backs would be front yard 30 ft, side yard 15ft and rear yard 30 ft. Compared to a B-3 where the front is 15 ft, side yard is 15 ft and the rear yard is 20 ft. Planner will bring it back as a draft for our code ordinance.

**PUBLIC HEARING FOR REVIEW AND POSSIBLE APPROVAL**

- 4. Discussion and possible approval of a Conditional Use Permit for sale of alcohol by the drink located at 210 W Whitewater St., Parcel # /OT 00144 for Daniel Rodriguez d/b/a as Lloyd's formally known as Blacksheep.

Board Member Smith asked why if there was an alcohol board why they needed to approve since he was new. Planner Schwark explained that it is because of the conditional use permit. Our code only allows for sales by taverns alcohol by the drink with a conditional use permit. So because we have ownership change and they want to continue to sell alcohol by the drink we need to approve a new conditional use permit.

Motion made by Board member McCormick, Seconded by Board Member Schanen.  
 Voting Yea: Councilmember Hicks, Board Member Schanen, Chairperson Miller, Board member McCormick, Board Member Weigel, Board Member Smith

- 5. Discussion and possible approval of a Conditional Use Permit for sale of alcohol by the drink located at 162 W Main St., Parcel # /OT 00014 for Teuta Ademi d/b/a as Fanatico's.

No discussion.

Motion made by Board member McCormick, Seconded by Chairperson Miller.  
 Voting Yea: Councilmember Hicks, Board Member Schanen, Chairperson Miller, Board member McCormick, Board Member Weigel, Board Member Smith

- 6. Discussion and possible approval of a Conditional Use Permit for a proposed Dog Daycare Facility located on vacant land on Bluff Road Tax Parcel # /A323600002 for Daniel and Jhienelly Kistle d/b/a The Royal Hounds of Whitewater.

Planner Schwark explained that they are here for a Conditional Use Permit and Site Plan review. This is located on vacant land in our B-3 Highway Commercial District. Planner Schwark stated that dogs would not be kept overnight for boarding. Applicant corrected that. There is an outdoor area and parking lot for 8 vehicles. As previously discussed this is not something that our current zoning allows for in the B-3 district but the most similar land use requiring a Conditional Use Permit would be a vet clinic use. So we are using that to accommodate this request. In review the site plan it does appear to be in compliance with all of the requirements of the B-3 zoning ti area. It meets the minimum lot area and the minimum lot width. The building also meets all set backs. Planner Schwark had the item as pending due to the discussion that needed to be had. Planner Schwark would like the board to ponder these three questions as they make a decision tonight. Is the B-3 an appropriate location that you feel is appropriate for this business operation? Does the site plan show an adequate screening and buffer zone for noise control? And if the use is compatible with the zoning designation how many animals should be kept onsite at a time and what are the appropriate hours of

operation? Applicants Daniel and Jhienelly Kistle 327 E Clay Street Unit 19. Daniel stated that they do intend to board dogs at nights. They would like to operate from 7 a.m. to 7 p.m. They put the parking lot on the north side because that is a time when the dogs are not their control and most likely to make noise and the building will serve as a buffer to the neighborhood to the south. As for the yard with a 6 foot privacy fence along with a wall of arborvitae to further act as a buffer. Also, barkly dogs are not allowed in since he can't have the dog agitating all the other dogs. He stated he has run a facility like this in Atlanta, GA behind luxury condos without complaint. Chairman Hicks stated that if the hours are 7 a.m. to 7 p.m. that the dogs would be boarded inside overnight. Applicant Daniel confirmed, yes they would inside their kennels. Board Member Smith asked about how many dogs. Applicant Daniel stated that there would be 40 total overnight at maximum capacity. He anticipates something more like 10 per average night. Board Member asked if he had room for 40 dogs and he stated it was engineered to do so. Board Member Schanen asked if that was assuming a mixture of sizes since 40 chihuahuas takes up less space than 40 greyhounds. Applicant Daniel stated that was correct that they would have space for 20 small and 20 large dogs. they will have 4 separate yards both indoors and out for large and small dogs separated. Board Member McCormick asked whether there would be someone there at all times. Applicant Daniel stated yes that in the begin he would be there until it takes off and there would be a minimum of 2 people onsite at all times. Chairman Hicks stated that he sees the dumpster with the chain link fence and asked about slats. Applicant Daniel confirmed that there would be slats. Board member Wiegel asked about how many staff he intended to have on hand. Applicant Daniel stated 2 once it is busier up to 4. And in the future 3 but there will always be a minimum of 2 onsite. Board Member Miller asked about vets and whether people would have to use their vets. Applicant Daniel stated that there would be strict vaccination records requirements and no sick dogs would be accepted. Board Member Schanen asked about the garage doors and the outside area and if it was going to be free access or would it be more of ok it's recess time, time to go outside. Applicant Daniel stated that on bad weather days they would keep them inside mostly. On fair weather days they would like them roam in and out. Board Member McCormick asked about their their statement on the application. Applicant Daniel confirmed that they do own a series of group homes and are expanding that. Chairman Hicks stated that I agrees with this and we don't want to turn and business away from the the city we are growing. This is a market that is needed. He understands that the parking lot to the north is probably the most uncontrolled time for the barking. And I would also trust that if there was a nuisance dog that it would be addressed before it causes a larger issue. As far as the Planners questions. Number 1 I believe that we should have Dog Daycare or boarding facilities in the B-3 zoning district. Taking into account what the owners mentioned the arborvitae and 6 foot solid cedar fence noise control is adequate to mitigate noise. As for number 3 when we talk about 24 hours and the dogs would only be allowed outside from 7 a.m. to 7 p.m. that should affect someone's time sleeping. I also assume that if we go 24 hours there would be a plaque with a phone number so that if there is an issue someone can have a phone number to have the matter addressed. Attorney McDonnell stated that both the site plan and the conditional use can be approved together. Board member Miller amended his motion to include both the site plan and Conditional Use Permit. Planner Schwark stated that a

couple of items to take into consideration that on the site plan it does look like the dogs enter and leave the outside area via garage door. There should be a condition within the conditional use that those garage doors should be closed after 8:00 pm. everyday or whatever time the board feels is appropriate, along with a maximum number of animals. The owner mentioned that there would be no more than 40 dogs and Planner Schwark recommends that be added to the conditional use permit as a condition that they will never exceed that amount. In addition to that if anyone is nervous about the noise or would like to reevaluate this project does after they are open we can always have them come back for a look back period after one year of business operation to ensure that we have not received any noise complaints if we feel that is going to be a problem. Amend motion to include the garage doors should be closed between 7:00 p.m. to 7:00 a.m. and the planner's comments. And amended motion to include a max number of dogs up to 40 dogs.

Motion made by Chairperson Miller, Seconded by Board Member Smith.

Voting Yea: Councilmember Hicks, Board Member Schanen, Chairperson Miller, Board member McCormick, Board Member Weigel, Board Member Smith

7. Discussion and possible approval of a Conditional Use Permit for a New Wireless Telecommunication Facility and Free Standing Tower to be located at 312 Elkhorn Road. Tax Parcel #'s /A919 00002 and /A91900003 for LCC Telecom Services.

Planner Schwark stated this currently a vacant lot on the corner. They are requesting a 195 foot self supporting tower in a 100 x 100 foot lease area. They are requesting a variance because they are not building a building or screen roof top. The current proposed tower doesn't meet our set back ordinance. All the property around the tower is proposed land use is for residential. Board Member Smith asked if the set back requirements only had to do with the tower falling. Planner Schwark stated that not only is it for the safety but it also has to do with cell towers having health affects on individuals if they are living too close them and aesthetic reasons and reduced property value. Chairman Hicks stated that this may be a case of code not catching up to new engineering. They are designed to fall on themselves and there is a letter from an engineer in the packet. Board Smith asked about the radio waves. Representative John Burchfield from LLC Telecom Services 10700 W Higgins Road, Suite 240, Rosemount IL 60018 along with Jake Remington from Husch Blackwell, LLP 511 N Broadway, Suite 1100, Milwaukee WI 53203 who can speak on the state statute and federal requirements. This is for At & t to fill in a gap in their coverage on the southeast end of town. As far of the health concerns, cell phone towers are non-ionizing radiation. They are like radio and TV and don't pose a cancer risk. Board Member McCormick stated that she noticed based on their study there were other potential places to put this. The place chosen had the best signal. John Burchfield stated that yes they chose this parcel for various reasons. The parcel is a small parcel with existing trees and there is other trees on another parcel. It is boarder on the other side by B-1, Kwik Trip and Dollar General. Board Member McCormick stated that when she first saw the plans she thought you got to be kidding this is my neighborhood. This is a gateway into the eastern portion of Whitewater and don't think that it is a very welcoming sign to see an 192 foot tower and I'm sure we will

be getting a lot of complaints from neighbors. This might diminish property values. John Burchfield stated that diminishing property values is speculative and we can have studies going both ways. As far as aesthetic the trees on the property should provide enough cover. Other landscape options can be discussed. The tower is currently set back from the road. We have a 100 x 100 foot lease area but currently the plan is to only build a 70 x 70 foot fence area. We have extra space to add in drainage landscaping. Board Member Smith asked if this was a purchased property John was unsure if this was contingent on approval but yes it is a purchase. Board Member Smith also asked if there were other opportunities further away of that intersection. John Burchfield stated no not to meet that coverage area objective. We have another tower we are looking at putting in the City but that is further west to cover the southwest portion part of town. Board Member Smith asked if they had a output measurement of radiation that is emitted from the tower. John Burchfield stated that the FCC regulates that and has set standards. Economic Director Zeinert asked Planner Schwark to explain what a variance is. The current code requires that the exterior surfacing of buildings that hold the equipment has to be an exterior wall and a roof building over the equipment. The applicant has stated that this is not their current standard and they would like a variance to veer away from that. With the variance they would move forward and have to be heard in front of the Board of Zoning Appeals. The Board of Zoning Appeals would than decide if they have a hardship in order to grant that variance. If they feel there is a hardship on this property and there is valid reason they for why they don't or shouldn't meet our code requirements the Board of Zoning Appeals would than go forward and grant that variance, however fi there is not a hardship and they have made the determination that they shouldn't be accepted they would deny the variance and the applicant would have to appear before the Plan Commission to show that they meet all our code requirements. Chairman Hicks had a question on the variance language for wireless telecommunication towers is that specific to the B-3 district or city wide. Planner Schwark stated that is city wide related to all zoning districts that allow telecommunication facilities as a conditional use permit. Board Member Wiegel asked outside of the better cell phone coverage what other benefits are there for the City. John Burchman state that the main benefit that he could point out other than commercial cell phone coverage. AT & T is contracted for First Net they won the bid for that. First Net is the first network nation wide solely dedicated to First Responders. So this is something that AT & T is installing on all towers that Tillman is doing for them. The main benefit is safety. The coverage would extend over the eastern side of the city including all of Tripp Lake. Board Member McCormick asked would it be possible to do it in a more rural location or near a business park which is not that far from the intersection. John Burchman stated if there is something that can be discussed about the type of tower or appearance of the tower to make this more palatable to some of those residents we can try to discuss that. As far as moving to another location these things are engineered fairly specifically as to where they can go. If they move 600 feet to the east they are not going to get the type of coverage they are looking for and will increase the need for more sites in the future. Board Member McCormick asked is this a major difference or minimal difference. John Burchman stated he is not an RF engineer so he has to give a generic answer. You may get signal outside but not in a vehicle or building. Board Member Smith asked about what the signal strength since when you talk

about 600 feet and double there is not a tower every 1200 feet. John Burchman stated it depends on the height of the tower. Cell phone towers he has seen can range from 40 feet above the ground to 400 feet above the ground. The taller you can get the towers up the more area you can cover. It also depends on traffic. So if you have more traffic on a tower at any given time the functional range of the towers is less. Chairman Hicks stated he had a few things. He stated that he does work with wireless quite a bit but doesn't work in the industry. As for the support structure itself they are an outdoor cabinet and work fine for him but knows that they won't work fine for everyone. However, if we do provide that variance there would be fencing to cover entirely he would expect that it is blocked from all view even the top. Secondly with the set backs with the engineer letter that it is a 1/3 fall which is 65 feet but looking set backs they are currently less than 65 feet. If we approve it I would like to see setbacks at 1/3 of tower height which is 65 feet preferable from your lease area but if that can't be done the lot lines. Also, to go into RF coverage if things got to be changed but there is land to the south east that has more rural area. We can change power levels to increase the coverage area. John Burchman stated that they could do opaque fence and landscaping as approval. As far as the set backs we can look at that, reengineer or modify that. Having the 50 foot set back is better in the back is better for front landscaping. Chairman Hicks recommend that they don't use arborvitae since no one waters it and they die. John Burchman stated that they had looked at matching the landscaping that was in the middle of the roundabout. Jake Remington stated on the set backs issue wouldn't require a variance because going back to 66.0404 (r) if there is an ordinance that requires set backs it can be no greater than any other commercial structures. However under 66.0414 (2)(g) if an applicant provides an engineering certification showing that the structure is designed to collapse within a smaller area than the setback than those set backs don't apply. Board Member Schanen asked about what type of coverage is being improved here is it 4G or 5G. Jake Remington and John Burchman both stated it is likely the latest which is 5G. Chairman Hicks stated that in defense of the project the City did move to all cellular devices to First Net this would benefit the City not just the people within the City. Planner Schwark stated there is a benefit to bringing another cellular tower into the City of Whitewater it will improve the overall service of the area and help in the community. However, I do think there is a better location other than the proposed location before the board tonight. This is a gateway into your city center and this is what you see when you come into the City of Whitewater. Is surrounded by valuable residential land that will probably soon be developed and I don't feel this use is compatible with your surrounding and adjacent land uses. I do feel it will diminish the property values in this area. Motion was made to deny the conditional use permit for wireless telecommunication facility. Board Member Smith I wish it was just a 1/4 mile south. Jake Remington asked if the location of the tower was inconsistent with the surround uses. Chairman Hicks stated that as you come in 12 there residential and yes Kwik Trip and Dollar General but there is residential down Clay Street and there open farm land. Board Member McCormick stated that Walton is developing in that area shortly. Jake Remington asked it is the look of tower or the height or just a cell phone tower in that location I'm just looking for clarity. He stated that if the board wanted to table it they could propose a lower height or different type of structure instead of self supporting. Board Member McCormick stated that it is not the height that is the

issue by the location. John Burchfield stated that yes if they move this significantly southwest they will lose coverage over the lake. There are a lot of issues moving a particular sight once we have got a location in mind. Board member McCormick stated that don't they get monetary reward. John Burchfield stated yes but some people do want it and some don't.

Motion made by Board Member Schanen, Seconded by Board member McCormick.  
Voting Yea: Board Member Schanen, Chairperson Miller, Board member McCormick, Board Member Weigel  
Voting Nay: Councilmember Hicks  
Voting Abstaining: Board Member Smith

**FUTURE AGENDA ITEMS**

Chairman Hicks asked about the rezone of the library. Planner Schwark stated that the rezoning application and even though we are the City of Whitewater we are going to follow all the appropriate steps. And it requires a Public Hearing so it will be back in June. Chairman Hicks also asked that we do the same for the Fire Department.

Board member requested that they get an update on the old White Elephant. Economic Director Zeinert stated the Bowers House and asked if they wanted an update from the contractor of what they are doing or have done. Board Member McCormick stated, yes.

Board Member Schanen asked if it is possible to combine the parcels for the fire department. Staff Member Dostie explained that is all of City Hall and we currently sit on 9 parcel numbers.

**NEXT MEETING DATE JUNE 10, 2024.**

**ADJOURNMENT**

Meeting was adjourned at 7:25 p.m.

Motion made by Board member McCormick, Seconded by Board Member Schanen.  
Voting Yea: Councilmember Hicks, Board Member Schanen, Chairperson Miller, Board member McCormick, Board Member Weigel, Board Member Smith

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c/o Neighborhood Services  
312 W. Whitewater Street  
Whitewater, WI 53190  
or ldostie@whitewater-wi.gov



**MEMORANDUM**

To: City of Whitewater Plan and Architectural Review

Commission

From: Allison Schwark, Zoning  
Administrator

Date: June 3, 2024

Re: Rezone

<b>Summary of Request</b>	
<b>Requested Approvals:</b>	Rezone
<b>Location:</b>	321 and 331 W Center Street
<b>Current Land Use:</b>	City of Whitewater Library
<b>Proposed Land Use:</b>	City of Whitewater Library
<b>Current Zoning:</b>	R-2 One and Two Family Residence District
<b>Proposed Zoning:</b>	I Institutional
<b>Future Land Use, Comprehensive Plan:</b>	Institutional

**Rezone Review**

The City of Whitewater seeks to rezone their City Library located at 321 and 331 W Center Street. The building and surrounding parking areas currently include tax keys: /OT 00196, and /OT 00197.

**Planner’s Recommendations**

- 1) Staff recommends that Plan Commission **APPROVE** the Rezone for all parcels as it meets all requirements of the zoning district and is consistent with the comprehensive plan and future land use plan.

Print

**Petition for change or amendment of zoning - Submission #885**

**Date Submitted: 4/22/2024**

City of Whitewater  
312 W. Whitewater Street  
P.O. Box 178  
Whitewater, WI 53190  
262-473-0540  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)

**City of Whitewater - petition for change or amendment of zoning**

Whenever the public necessity, convenience, general welfare or good zoning practice require, the City Council may, by Ordinance, change the district boundaries or amend, change or supplement the regulations established by the Zoning Ordinance.

A change or amendment may be initiated by the City Council, the Plan Commission, or by a Petition of one or more of the owners, lessees, or authorized agents of the property within the area proposed to be changed.

**Procedure**

File the Petition with the City Clerk. Filed on:

Class 2 Notices published in Official Newspaper on:

Must be filed on two separate dates

Notices of Public Hearing mailed to property owners on:

Plan Commission holds public hearing on:

It will hear comments of the petitioner and property owners. Comments may be made either in person or in writing.

At the conclusion of the public hearing, the Plan Commission makes a decision on the recommendation it will forward to the City Council.

City Council consideration of the Plan Commission's recommendation and final decision on adoption of the ordinance making the change:

Will occur at the council's next meeting following the Plan Commission, unless circumstances dictate otherwise.

The Ordinance is effective upon passage and publication as provided by law.

Please complete the following application:

If there is more than one applicant for an area to be rezoned, add additional pages with the signatures of the owners, indicate their address and the date of signature.

Refer to Chapter 19.69 of the City of Whitewater Code of Ordinances, entitled CHANGES AND AMENDMENTS, for more information on application and protests of changes.

Applicant identification/information

Name\*

Allison Schwark

Email Address\*

mcodeenforcement@gmail.com

Address\*

P.O. Box 178

City\*

Whitewater

State\*

WI

Zip Code\*

53190

Phone Number\*

262-249-6701

Fax Number

Property information

Address\*

431 W Center Street

City\*

Whitewater

State\*

WI

Zip Code\*

53190

Owner information, according to current property tax records on the date of the application (if different from applicant information)

Item 4.

**Name**

**Email Address**

City of Whitewater

**Address**

P.O. Box 178

**City**

**State**

**Zip Code**

Whitewater

WI

53190

**Phone Number**

**Fax Number**

262-249-6701

Agent or Representative assisting in the Application (Engineer, Architect, Attorney, etc.) if applicable

**Name**

**Email Address**

**Address**

**City**

**State**

**Zip Code**

**Phone Number**

**Fax Number**

Has either the applicant or the owner had any variances issued to them on any property?\*

No

If YES, please indicate the type of variance issued and indicate whether conditions have been complied with:

Existing and proposed uses

Current Zoning District or Ordinance to be Amended:\*

R2- One and Two Family

Proposed Zoning District or Ordinance:\*

I- Institutional

Zoning District in which Property is located:\*

R2

Section of City Zoning Ordinance that identifies the proposed land use in the Zoning District in which the property is located:

Plans to accompany application

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details. Computations and stress diagrams as the building official may require.

Plan Upload (if necessary)

Choose File No fi...sen

Plot plan

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

Plot Plan Upload (if necessary)

Choose File No fi...sen

Standards

The proposed amendment for future structure, addition, alteration or use will meet the minimum standards of this title for the district being proposed. Applicant's explanation:\*

N/A

Item 4.

The Proposed development will be consistent with the adopted city master plan. Applicant's explanation:\*

Yes

The proposed development will be compatible with and preserve the important natural features of the site. Applicant's explanation:\*

Yes

The proposed use will not create a nuisance for neighboring uses, or unduly reduce the values of an adjoining property. Applicant's explanation:\*

N/A

The proposed development will not create traffic circulation or parking problems. Applicant's explanation:\*

N/A

The mass, volume, architectural features, materials and/or setback of proposed structures, additions or alterations will appear to be compatible with existing buildings in the immediate area. Applicant's explanation:\*

N/A

Landmark structures on the National Register of Historic Places will be recognized as products of their own time. Alterations which have no historical basis will not be permitted. Applicant's explanation:\*

N/A

The proposed structure, addition or alteration will not substantially reduce the availability of sunlight or solar access on adjoining properties. Applicant's explanation:\*

N/A

Conditions

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to hold a public hearing and make a recommendation to the City Council for the proposed changes (Section 19.69).

Item 4.

Signature (typed name)\*

Date\*

Allison Schwark

4/22/24

Application fees - fee for amendment to zoning ordinance is \$200

Date application received by city:

Receipt number:

[Empty input field for date]

[Empty input field for receipt number]

Received by:

[Empty input field for received by]

To be completed by code enforcement/zoning office:

Date notice sent to owners of record of opposite & abutting properties:

Date set for public review before Plan & Architectural Review Board:

[Empty input field for date notice sent]

[Empty input field for date set for public review]

Action taken:

Public hearing

- Recommended by Plan & Architectural Review Commission
- Not recommended by Plan & Architectural Review Commission

Conditions placed upon permit by Plan & Architectural Review Commission:

[Empty input field for conditions]

Signature, Plan & Architectural Review Commission Chair

Date

[Empty input field for signature]

[Empty input field for date]

## Tips for Minimizing Development Review Costs - A Guide for Applicants

The City of Whitewater assigns its consultant costs associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals understand what they can do to manage and minimize the costs associated with review of their applications. The tips included in this guide will almost always result in a less costly and quicker review of an application.

### 1. Meet with Neighborhoods Services Department before submitting an application.

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Services Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Director. Before you make significant investments in your project, the Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

### 2. Submit a complete and thorough application

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

### 3. For more complex or technical types of projects, strongly consider working with an experienced professional to help prepare your plans

Experienced professional engineers, land planners, architects, surveyors and landscape architects should be quite familiar with standard development review processes and expectations. They are also generally capable of preparing high-quality plans that will ultimately require less time (i.e., less cost for you) for the City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, storm water management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

### 4. For simpler projects, submit thorough, legible, and accurate plans

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and planning consultant still need to ensure that your proposal meets all City requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building, and floor plans should:

-- Be drawn to a recognized scale and indicate what the scale is (e.g., 1 inch = 40 feet).

-- Include titles and dates on all submitted documents in case pieces of your application get separated.

-- Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.

-- Indicate what the property and improvements look like today versus what is being proposed for the future.

-- Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.



-- Indicate the colors and materials of all existing and proposed site/building improvements.

-- Including color photos with your application is one inexpensive and accurate way to show the current condition of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials, or other similar improvements.

#### 5. Submit your application well in advance of the Plan & Architectural Review Commission meeting

The City normally requires that a complete application be submitted four weeks in advance of the Commission meeting when it will be considered. For simple submittals not requiring a public hearing, this may be reduced to two weeks in advance. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's planning consultant and staff an opportunity to communicate with you about potential issues with your project or application and allow you time to efficiently address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

#### 6. For more complex projects, submit your project for conceptual review

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

-- Preliminary plans may be submitted to City staff and the planning consultant for a quick, informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;

-- You may request a sit-down meeting with the Neighborhood Services Director and/or Planning consultant to review and more thoroughly discuss your proposal; and/or you can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge its reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.

#### 7. Hold a neighborhood meeting for larger and potentially more controversial projects

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for the neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand others' perspectives on your proposals, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the City Neighborhood Services Director of your neighborhood meeting date, time, and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.

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## Typical City Planning Consultant Development Review Costs

The city often utilizes assistance from a planning consultant to analyze requests for land development approvals against city plans and ordinances and assist the City's Plan & Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the city's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Costs vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest.

### Type of development review being requested and planning consultant review cost range

#### Minor Site/Building Plan (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations)

- When land use is a permitted use in the zoning district, and for minor downtown building alterations - up to \$600
- When use also requires a conditional use permit, and for major downtown building alterations - \$700-\$1,500

#### Major Site/Building Plan (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building)

- When land use is a permitted use in the zoning district - \$700-\$2,000
- When land use also requires a conditional use permit - \$1,600-\$12,000

#### Conditional Use Permit with no Site Plan Review (e.g., home occupation, sale of liquor request, substitution of use in existing building)

- Up to \$600

#### Rezoning

- Standard (not PCD) zoning district - \$400-\$2,000
- Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time - \$2,100-\$12,000

#### Land Division

- Land Survey Map - up to \$300
- Subdivision Plat - \$1,500-\$3,000
- Plat (does not include any development agreement time) - \$50-\$1,500

#### Annexation

- Typically between \$200-\$400

Note on Potential Additional Review Costs

The City also retains a separate engineering consultant, who is typically involved in larger projects requiring storm water management plans, major utility work, or complex parking or road access plans. Engineering costs are not included above, but will also be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.

Cost Recovery Certificate and Agreement

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City’s review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals, and/or Common Council. In fact, most applications require some level of review by the City’s planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

Section A: Background Information - to be completed by the Applicant/Property Owner

Name\*

Email Address\*

Allison Schwark

mcodeenforcement@gmail.com

Address\*

P.O. Box 178

City\*

State\*

Zip Code\*

Whitewater

WI

53190

Phone Number\*

Fax Number

262-249-6701

Project information

Item 4.

Name/description of development

Address of Development Site\*

[Empty text box for Name/description of development]

431 W Center Street

Tax key numbers

/OT 00196, /OT 00197

Property owner information (if different from applicant)

Name

Email Address

[Empty text box for Name]

[Empty text box for Email Address]

Address

[Empty text box for Address]

City

State

Zip Code

[Empty text box for City]

[Empty text box for State]

[Empty text box for Zip Code]

Phone Number

Fax Number

[Empty text box for Phone Number]

[Empty text box for Fax Number]

Section B: Applicant/Property Owner Cost Obligations - To be completed by the City's Neighborhood Services Director

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner, and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all consultant costs incurred up until that time.

A. Application fee

B. Expected planning consultant review cost

C. Total cost expected of application (A+B)

D. 25% of total cost, due at time of application:

[Empty text box for A. Application fee]

[Empty text box for B. Expected planning consultant review cost]

[Empty text box for C. Total cost expected of application (A+B)]

[Empty text box for D. 25% of total cost, due at time of application:]

Project likely to incur additional engineering or other consultant review costs?

-- Select One --

Balance of costs

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

Section C: Agreement Execution - To be completed by the Applicant and Property Owner

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.

Signature of Applicant/Petitioner\*

Allison Schwark

Signature of Property Owner (if different)

Printed Name of Applicant/Petitioner

Printed Name of Property Owner

Date of Signature\*

4/22/24

Date of Signature



Neighborhood Services  
Department  
*Planning, Zoning, Code  
Enforcement, GIS  
and Building  
Inspections*  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: (262) 473-0540

---

NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 10<sup>th</sup> day of June at 6:00 p.m. to hold a public hearing for a change in zoning for the Irvin L Young Library located at 431 W Center Street, Tax Parcel Id #'s /OT00196 and /OT000197 from R2-One and Two Family Residential to I-Institutional.

The Proposal is on file in the Neighborhoods Services Office located at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

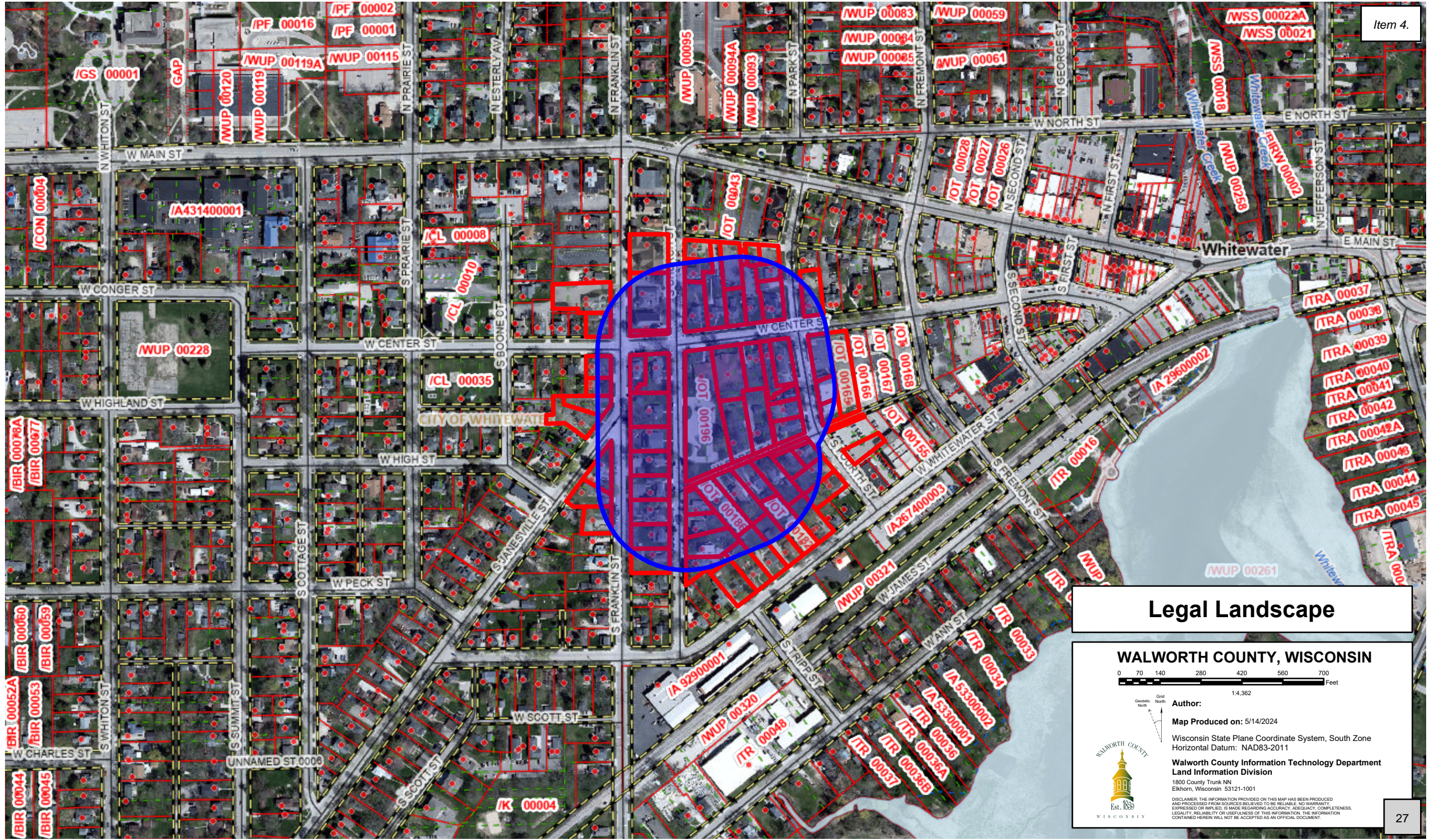
This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

Llana Dostie, Neighborhood Services Administrative Assistant

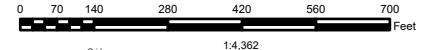


Item 4.



## Legal Landscape

WALWORTH COUNTY, WISCONSIN



1:4,362

Author:

Map Produced on: 5/14/2024

Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD83-2011

Walworth County Information Technology Department  
Land Information Division  
1800 County Trunk NN  
Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.





JVULTAGGIO LLC  
N9121 OLD HWY P  
WHITEWATER, WI 53190-9000

FIRST ENGLISH LUTHERAN CHURCH  
WHITEWATER  
401 W MAIN ST  
WHITEWATER, WI 53190-9000

STEPHEN L NASS  
N8330 JACKSON RD  
WHITEWATER, WI 53190

KACHEL 214 SOUTH JANESVILLE LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

KACHEL 218 SOUTH FRANKLIN LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

KACHEL 210 SOUTH FRANKLIN LLC  
PO BOX 239  
WHITEWATER, WI 53190

STILLWATER HOLDINGS LLC  
635 3RD ST  
BELOIT, WI 53511-1100

332 CENTER LLC  
C/O JAMES & LORI HECKENDORF  
1024 TARRANT DR  
FONTANA, WI 53125-2500

LAKE COUNTRY PARTNERSHIP LLC  
S107W30511 SANDY BEACH RD  
MUKWONAGO, WI 53149-4900

LADWIG & VOS INC  
140 LONGMEADOW DR  
BURLINGTON, WI 53105

BILHORN PROPERTIES III LLC  
282 NORTHSIDE DR  
MILTON, WI 53563-6300

BRIAN JON BUHROW  
424 W CENTER ST  
WHITEWATER, WI 53190

RLA PROPERTIES LLC  
895 E BRIAR RIDGE DR  
BROOKFIELD, WI 53045-5200

D&R PARTNERSHIP LLC  
PO BOX 266  
WHITEWATER, WI 53190

GREGORY J PORCARO  
SHARON A PORCARO  
430 W CENTER ST  
WHITEWATER, WI 53190-9000

DANIEL W RICHARDSON TRUST  
PATRICIA BLACKMER TRUST  
445 W CENTER ST  
WHITEWATER, WI 53190-9000

KENNETH R GRAY  
451 W CENTER ST  
WHITEWATER, WI 53190

SIMMONS RENTAL PROPERTIES LLC  
N26143 JOE COULEE RD  
BLAIR, WI 54616-1600

KACHEL LP 238 SOUTH CHURCH LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

KACHEL LP 248 SOUTH CHURCH LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

KACHEL LP 258 SOUTH CHURCH LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

KACHEL LP 264 SOUTH CHURCH LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

KACHEL LP 272 SOUTH CHURCH LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

CITY OF WHITEWATER  
312 W WHITEWATER ST  
WHITEWATER, WI 53190-9000

RIDGEPOINT CENTER LLC  
4305 N BROOKFIELD RD  
BROOKFIELD, WI 53045-4500

YOLANDA RAMIREZ  
620 S JANESVILLE ST  
WHITEWATER, WI 53190-9000

STEVEN GOUTCHER  
RITA GOUTCHER  
236 S FOURTH ST  
WHITEWATER, WI 53190-9000

SARAH STOLBERG  
411 W FOREST AVE  
WHITEWATER, WI 53190-9000

RUSSELL R WALTON  
1005 W MAIN ST  
STE C  
WHITEWATER, WI 53190

DENNIS M ERICKSON  
417 W FOREST ST  
WHITEWATER, WI 53190-9000



ARKI LLC  
W396 S3675 HARDSCRABBLE RD  
DOUSMAN, WI 53118-1800

MELISSA R MIRITZ  
N9330 KNUTESON DR  
WHITEWATER, WI 53190-5000

RUSSELL ROGERS  
MARY E ROGERS  
430 W WHITEWATER ST WHITEWATER,  
WI 53190

RILEY WALENTON  
433 W FOREST AVE  
WHITEWATER, WI 53190-9000

ALEJANDRO PEREZ  
JUANA PEREZ, ETAL  
436 W WHITEWATER ST  
WHITEWATER, WI 53190

JARROD KOLLWELTER TRUST  
W7522 BLUFF RD  
WHITEWATER, WI 53190-9000

KACHEL LP 253 SOUTH CHURCH LLC  
PO BOX 239  
WHITEWATER, WI 53190

261 S CHURCH ST LLC  
620 S WAYFARE TRL  
OCONOMOWOC, WI 53066-6600

RODRIGUEZ PROPERTIES LLC  
N9707 N MCCORD RD  
WHITEWATER, WI 53190

SCOTT ALLEN KREBS  
KIMBERLY ANN KREBS  
440 W WHITEWATER ST  
WHITEWATER, WI 53190

JOHN W MEDDAUGH  
452 W WHITEWATER ST  
WHITEWATER, WI 53190

WOODS PROPERTIES SOUTHEAST LLC  
271 S CHURCH ST  
WHITEWATER, WI 53190-9000

ALFREDO RAMIREZ  
424 W FOREST AVE  
WHITEWATER, WI 53190-9000

WR4217 LLC  
34560 SPRINGBANK RD  
OCONOMOWOC, WI 53066-6600

TIMOTHY T UNOLD  
BENITO R UNOLD  
682 N WALTON DR  
WHITEWATER, WI 53190-9000

FOURTH STREET PAD LLC  
4328 TANGLEWOOD DR  
JANESVILLE, WI 53546-4600

GENEVIEVE MURSCH  
220 S 4TH ST  
WHITEWATER, WI 53190-9000

JLCH PROPERTIES LLC  
C/O JAMES AND LORI HECKENDORF  
1024 TARRANT DR  
FONTANA, WI 53125-2500

CERANSKE PROPERTY MANAGEMENT  
LLC  
N9503 WOODWARD RD  
WHITEWATER, WI 53190-9000

DLK 152 SOUTH FRANKLIN LLC  
PO BOX 239  
WHITEWATER, WI 53190

KACHEL 200 SOUTH FRANKLIN LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

ST LUKES EPISCOPAL RECTORY  
146 S CHURCH ST  
WHITEWATER, WI 53190

PINNACLE ASSISTED LIVING SERVICES  
LLC  
ALLIED CARE LLC  
146 S CHURCH ST  
WHITEWATER, WI 53190-9000

**MEMORANDUM**

To: City of Whitewater Plan and Architectural Review

Commission

From: Allison Schwark, Zoning  
Administrator

Date: June 3, 2024

Re: Rezone

<b>Summary of Request</b>	
<b>Requested Approvals:</b>	Rezone
<b>Location:</b>	312 W Whitewater Street
<b>Current Land Use:</b>	City of Whitewater Municipal Building and Firehouse
<b>Proposed Land Use:</b>	City of Whitewater Municipal Building and Firehouse
<b>Current Zoning:</b>	B-2 Central Business District
<b>Proposed Zoning:</b>	I Institutional
<b>Future Land Use, Comprehensive Plan:</b>	Institutional

**Rezone Review**

The City of Whitewater seeks to rezone their municipal building and firehouse located at 312 W Whitewater Street. The building and surrounding parking areas currently include tax keys: /OT 00152, /OT 00153, /OT 00154, /OT 00155, /OT 00156, /OT 00159, /OT 00160, and /OT 00158.

**Planner’s Recommendations**

- 1) Staff recommends that Plan Commission **APPROVE** the Rezone for all parcels as it meets all requirements of the zoning district and is consistent with the comprehensive plan and future land use plan.

Print

**Petition for change or amendment of zoning - Submission #945**

**Date Submitted: 5/20/2024**

**City of Whitewater**

312 W. Whitewater Street  
P.O. Box 178  
Whitewater, WI 53190  
262-473-0540  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)

**City of Whitewater - petition for change or amendment of zoning**

Whenever the public necessity, convenience, general welfare or good zoning practice require, the City Council may, by Ordinance, change the district boundaries or amend, change or supplement the regulations established by the Zoning Ordinance.

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**Procedure**

**File the Petition with the City Clerk. Filed on:**

**Class 2 Notices published in Official Newspaper on:**

Must be filed on two separate dates

**Notices of Public Hearing mailed to property owners on:**

**Plan Commission holds public hearing on:**

It will hear comments of the petitioner and property owners. Comments may be made either in person or in writing.

At the conclusion of the public hearing, the Plan Commission makes a decision on the recommendation it will forward to the City Council.

City Council consideration of the Plan Commission's recommendation and final decision on adoption of the ordinance making the change:

Will occur at the council's next meeting following the Plan Commission, unless circumstances dictate otherwise.

The Ordinance is effective upon passage and publication as provided by law.

Please complete the following application:

If there is more than one applicant for an area to be rezoned, add additional pages with the signatures of the owners, indicate their address and the date of signature.

Refer to Chapter 19.69 of the City of Whitewater Code of Ordinances, entitled CHANGES AND AMENDMENTS, for more information on application and protests of changes.

Applicant identification/information

Name\*

Allison Schwark

Email Address\*

mcodeenforcement@gmail.com

Address\*

P.O. Box 178

City\*

Whitewater

State\*

WI

Zip Code\*

53190

Phone Number\*

262-249-6701

Fax Number

Property information

Address\*

312 W Whitewater Street

City\*

Whitewater

State\*

WI

Zip Code\*

53190

Owner information, according to current property tax records on the date of the application (if different from applicant information)

Item 5.

**Name**

**Email Address**

City of Whitewater

mcodeenforcement@gmail.com

**Address**

312 W Whitewater Street Tax Keys: /OT 00152, /OT 00153, /OT 00154, /OT 00155, /OT 00156, /OT 00159, /OT 00160, /OT 00158

**City**

**State**

**Zip Code**

Whitewater

WI

53190

**Phone Number**

**Fax Number**

262-249-6701

Agent or Representative assisting in the Application (Engineer, Architect, Attorney, etc.) if applicable

**Name**

**Email Address**

**Address**

**City**

**State**

**Zip Code**

**Phone Number**

**Fax Number**

Has either the applicant or the owner had any variances issued to them on any property?\*

No

If YES, please indicate the type of variance issued and indicate whether conditions have been complied with:

Existing and proposed uses

Current Zoning District or Ordinance to be Amended:\*

B-2

Proposed Zoning District or Ordinance:\*

Institutional

Zoning District in which Property is located:\*

B-2

Section of City Zoning Ordinance that identifies the proposed land use in the Zoning District in which the property is located:

Sec 19.48

Plans to accompany application

Applications for permits shall be accompanied by drawings of the proposed work, drawn to scale, showing, when necessary, floor plans, sections, elevations, structural details. Computations and stress diagrams as the building official may require.

Plan Upload (if necessary)

Choose File No fi...sen

Plot plan

When required by the building official, there shall be submitted a plot plan in a form and size designated by the building official for filing permanently with the permit record, drawn to scale, with all dimension figures, showing accurately the size and exact location of all proposed new construction and the relation to other existing or proposed buildings or structures on the same lot, and other buildings or structures on adjoining property within 15 feet of the property lines. In the case of demolition, the plot plan shall show the buildings or structures to be demolished and the buildings or structures on the same lot that are to remain.

Plot Plan Upload (if necessary)

Choose File No fi...sen

Standards

The proposed amendment for future structure, addition, alteration or use will meet the minimum standards of this title for the district being proposed. Applicant's explanation:\*

Yes

Item 5.

The Proposed development will be consistent with the adopted city master plan. Applicant's explanation:\*

Yes

The proposed development will be compatible with and preserve the important natural features of the site. Applicant's explanation:\*

Yes

The proposed use will not create a nuisance for neighboring uses, or unduly reduce the values of an adjoining property. Applicant's explanation:\*

Yes

The proposed development will not create traffic circulation or parking problems. Applicant's explanation:\*

Yes

The mass, volume, architectural features, materials and/or setback of proposed structures, additions or alterations will appear to be compatible with existing buildings in the immediate area. Applicant's explanation:\*

Yes

Landmark structures on the National Register of Historic Places will be recognized as products of their own time. Alterations which have no historical basis will not be permitted. Applicant's explanation:\*

N/A

The proposed structure, addition or alteration will not substantially reduce the availability of sunlight or solar access on adjoining properties. Applicant's explanation:\*

N/A

Conditions

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to hold a public hearing and make a recommendation to the City Council for the proposed changes (Section 19.69).

Item 5.

Signature (typed name)\*

Date\*

Allison Schwark

5/20/24

Application fees - fee for amendment to zoning ordinance is \$200

Date application received by city:

Receipt number:

[Empty input field for date]

[Empty input field for receipt number]

Received by:

[Empty input field for received by]

To be completed by code enforcement/zoning office:

Date notice sent to owners of record of opposite & abutting properties:

Date set for public review before Plan & Architectural Review Board:

[Empty input field for date notice sent]

[Empty input field for date set for public review]

Action taken:

Public hearing

- Recommended by Plan & Architectural Review Commission
- Not recommended by Plan & Architectural Review Commission

Conditions placed upon permit by Plan & Architectural Review Commission:

[Empty input field for conditions]

Signature, Plan & Architectural Review Commission Chair

Date

[Empty input field for signature]

[Empty input field for date]



## Tips for Minimizing Development Review Costs - A Guide for Applicants

The City of Whitewater assigns its consultant costs associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals understand what they can do to manage and minimize the costs associated with review of their applications. The tips included in this guide will almost always result in a less costly and quicker review of an application.

### 1. Meet with Neighborhoods Services Department before submitting an application.

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Services Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Director. Before you make significant investments in your project, the Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

### 2. Submit a complete and thorough application

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

### 3. For more complex or technical types of projects, strongly consider working with an experienced professional to help prepare your plans

Experienced professional engineers, land planners, architects, surveyors and landscape architects should be quite familiar with standard development review processes and expectations. They are also generally capable of preparing high-quality plans that will ultimately require less time (i.e., less cost for you) for the City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, storm water management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

### 4. For simpler projects, submit thorough, legible, and accurate plans

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and planning consultant still need to ensure that your proposal meets all City requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building, and floor plans should:

-- Be drawn to a recognized scale and indicate what the scale is (e.g., 1 inch = 40 feet).

-- Include titles and dates on all submitted documents in case pieces of your application get separated.

-- Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.

-- Indicate what the property and improvements look like today versus what is being proposed for the future.

-- Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.

-- Indicate the colors and materials of all existing and proposed site/building improvements.

-- Including color photos with your application is one inexpensive and accurate way to show the current condition of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials, or other similar improvements.

#### 5. Submit your application well in advance of the Plan & Architectural Review Commission meeting

The City normally requires that a complete application be submitted four weeks in advance of the Commission meeting when it will be considered. For simple submittals not requiring a public hearing, this may be reduced to two weeks in advance. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's planning consultant and staff an opportunity to communicate with you about potential issues with your project or application and allow you time to efficiently address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

#### 6. For more complex projects, submit your project for conceptual review

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

-- Preliminary plans may be submitted to City staff and the planning consultant for a quick, informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;

-- You may request a sit-down meeting with the Neighborhood Services Director and/or Planning consultant to review and more thoroughly discuss your proposal; and/or you can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge its reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.

#### 7. Hold a neighborhood meeting for larger and potentially more controversial projects

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for the neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand others' perspectives on your proposals, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the City Neighborhood Services Director of your neighborhood meeting date, time, and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.

---

## Typical City Planning Consultant Development Review Costs

The city often utilizes assistance from a planning consultant to analyze requests for land development approvals against city plans and ordinances and assist the City's Plan & Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the city's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Costs vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest.

### Type of development review being requested and planning consultant review cost range

#### Minor Site/Building Plan (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations)

- When land use is a permitted use in the zoning district, and for minor downtown building alterations - up to \$600
- When use also requires a conditional use permit, and for major downtown building alterations - \$700-\$1,500

#### Major Site/Building Plan (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building)

- When land use is a permitted use in the zoning district - \$700-\$2,000
- When land use also requires a conditional use permit - \$1,600-\$12,000

#### Conditional Use Permit with no Site Plan Review (e.g., home occupation, sale of liquor request, substitution of use in existing building)

- Up to \$600

#### Rezoning

- Standard (not PCD) zoning district - \$400-\$2,000
- Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time - \$2,100-\$12,000

#### Land Division

- Land Survey Map - up to \$300
- Subdivision Plat - \$1,500-\$3,000
- Plat (does not include any development agreement time) - \$50-\$1,500

#### Annexation

- Typically between \$200-\$400

### Note on Potential Additional Review Costs

The City also retains a separate engineering consultant, who is typically involved in larger projects requiring storm water management plans, major utility work, or complex parking or road access plans. Engineering costs are not included above, but will also be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.

### Cost Recovery Certificate and Agreement

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City’s review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals, and/or Common Council. In fact, most applications require some level of review by the City’s planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

### Section A: Background Information - to be completed by the Applicant/Property Owner

**Name\***

**Email Address\***

City of Whitewater

mcodeenforcement@gmail.com

**Address\***

312 W Whitewater Street

**City\***

**State\***

**Zip Code\***

Whitewater

WI

53190

**Phone Number\***

**Fax Number**

262-249-6701

### Project information

Item 5.

Name/description of development

Address of Development Site\*

Tax key numbers

Property owner information (if different from applicant)

Name

Email Address

Address

City

State

Zip Code

Phone Number

Fax Number

**Section B: Applicant/Property Owner Cost Obligations - To be completed by the City's Neighborhood Services Director**

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner, and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all consultant costs incurred up until that time.

A. Application fee

B. Expected planning consultant review cost

C. Total cost expected of application (A+B)

D. 25% of total cost, due at time of application:

Project likely to incur additional engineering or other consultant review costs?

-- Select One --

Balance of costs

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

Section C: Agreement Execution - To be completed by the Applicant and Property Owner

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.

Signature of Applicant/Petitioner\*

Allison Schwark

Signature of Property Owner (if different)

Printed Name of Applicant/Petitioner

Printed Name of Property Owner

Date of Signature\*

5/20/24

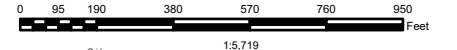
Date of Signature





# Legal Landscape

## WALWORTH COUNTY, WISCONSIN



**Author:**  
**Map Produced on:** 5/20/2024  
 Wisconsin State Plane Coordinate System, South Zone  
 Horizontal Datum: NAD83-2011



**Walworth County Information Technology Department  
 Land Information Division**  
 1800 County Trunk NN  
 Elkhorn, Wisconsin 53121-1001

DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESS OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.



CITY OF WHITEWATER  
312 W WHITEWATER ST  
WHITEWATER, WI 53190

XURI PROPERTIES LLC  
S95 W34735 JERRICHO DRIVE  
EAGLE WI 53119

WISCONSIN DAIRY SUPPLY CO  
TAX COMMISSIONER C.M.ST.P.& P.RR  
CO  
PO BOX 239  
WHITEWATER, WI 53190

ASSOCIATED BANK CORPERATION REAL  
ESTATE  
LEASING-REAL ESTATE, MS8227  
433 MAIN STREET  
GREEN BAY WI 54301

MILK ADVISORY BOARD LLC  
147 S PRINCE STREET  
WHITEWATER, WI 53190

COMMERICAL BANK FREMONT ST  
70 NORTH MAIN STREET  
FORT ATKINSON, WI 53538

RIDGEPOINT CENTER LLC  
4305 N BROOKFIELD RD  
BROOKFIELD WI 53045

BUEHLER LAW OFFICE LLC  
266 LAKEVIEW DR  
WHITEWATER WI 53190

ROBERT ARDELT  
835 W WALWORTH AVE  
WHITEWATER WI 53190

CENTER STREET RENTALS LLC  
W9597 BREIDSAN DRIVE  
WHITEWATER WI 53190

RODRIGUEZ PROPERTIES, LLC  
N9707 N MCCORD RD  
WHITEWATER WI 53538

HEPP HOLDINGS LLC  
N7185 COUNTY ROAD A  
JOHNSON CREEK WI 53038

YOLANDA RAMIREZ  
620 S JANESVILLE STREET  
WHITEWATER WI 53190

LADWIG & VOS INC  
140 LONGMEADOW DR  
BURLINGTON WI 53105

STEVEN GOUTCHER  
RITA GOUTCHER  
236 S FOURTH STREET  
WHITEWATER WI 53190

SARAH STOLBERG  
411 W FOREST AVE  
WHITEWATER WI 53190

ANDREW LINDNER  
412 W WHITEWATER STREET  
WHITEWATER, WI 53190

RUSSELL R WALTON  
1005 W MAIN STREET STE C  
WHITEWATER WI 53190

DENNIS M ERICKSON  
417 W FOREST STREET  
WHITEWATER WI 53190

ARKI LLC  
W396 S3675 HARDSCRABBLE RD  
DOUSMAN WI 53118

MELISS R MIRITZ  
N9330 KNUTESON DR  
WHITEWATER WI 53190

ALFREDO RAMIREZ  
424 W FOREST AVE  
WHITEWATER WI 53190

WR4217 LLC  
34560 SPRINGBANK RD  
OCONOMOWOC WI 53066

TIMOTHY T UNOLD  
BENITO R UNOLD  
682 N WALTON DR  
WHITEWATER WI 53190

FOURTH STREET PAD LLC  
4328 TANGLEWOOD DR  
JANESVILLE WI 53546

GENEVIEVE MURSCH  
220 S 4<sup>TH</sup> ST  
WHITEWATER WI 53190

JLCH PROPERTYS LLC  
C/O JAMES AND LORI HECKENDORF  
1024 TARRANT DR  
FONTANA WI 53125

DAUNE R SCHAUB  
2564 NORTH SHORE DR #3  
DELAVAN WI 53115-3811

M SCOTT GITTRICH  
333 W CENTER ST  
WHITEWATER WI 53190

RUSSELL DEVITT  
VICKI S DEVITT  
332 W WHITEWATER ST  
WHITEWATER WI 53190

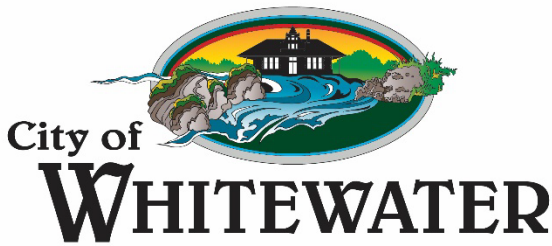


COMMUNITY DEVELOPMENT  
AUTHORITY OF CITY OF WHITEWATER  
402 W MAIN ST  
WHITEWATER WI 53190

STATE OF WISCONSIN DEPT OF  
TRANSPORTATION  
PO BOX 7921  
MADISION WI 53707-7921

HOME LUMBER CO INC  
499 WHITEWATER ST  
WHITEWATER WI 53190

*Item 5.*



Neighborhood Services  
Department  
*Planning, Zoning, Code  
Enforcement, GIS  
and Building  
Inspections*  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: (262) 473-0540

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NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 10<sup>th</sup> day of June at 6:00 p.m. to hold a public hearing for a change in zoning for the Municipal Building located at 312 W Whitewater Street, Tax Parcel Id #'s /OT 00152, /OT 00153; /OT 00154; /OT 00155; /OT 00156; /OT 00158; /OT 00159 and /OT 00160 from B-2 Downtown Commercial District to I-Institutional.

The Proposal is on file in the Neighborhoods Services Office located at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

Llana Dostie, Neighborhood Services Administrative Assistant

**MEMORANDUM**

To: City of Whitewater Plan and Architectural Review

Commission

From: Allison Schwark, Zoning  
Administrator

Date: June 3, 2024

Re: Certified Survey Map

<b>Summary of Request</b>	
<b>Requested Approvals:</b>	2 Lot Certified Survey Map
<b>Location:</b>	1207 W Carriage Drive
<b>Current Land Use:</b>	Multi-Family and Vacant Lot
<b>Proposed Land Use:</b>	Multi-Family and Vacant Lot
<b>Current Zoning:</b>	R-3 Multi Family Residence
<b>Proposed Zoning:</b>	N/A
<b>Future Land Use, Comprehensive Plan:</b>	Higher Density Residential

**CSM Review**

A Certified Survey Map (CSM) is being proposed to create two (2) lots (labeled 1 & 2 on the proposed CSM). According to the plat of survey, parcel 1 is 15,004 sq. ft and parcel 2 is 32,927 sq. ft.

The proposed “Lot 1” currently has a 4-unit residence located on it. Lot 1 must meet all requirements of the R-3 zoning district. The proposed CSM does not show setbacks to verify the building envelope (19.21.060, Yard requirements). Therefore, we cannot verify that the minimum lot coverage requirements are being meet, since dimensions of the existing multifamily building are not provided.

The minimum lot size for Lot 1 is dictated by the density (19.21.040 - Lot area). Per the property file, the residence is 4 units each with 2 bedrooms, making the minimum lot size of 15,000 sq. ft. Lot 1 shows 15,004 sq. ft on the proposed CSM, therefore meeting the minimum lot size.

The bulk of Lot 2 is located within the Shoreland Wetland District & Non-Shoreland Wetland District. As long as the property remains in the Shoreland Wetland District & Non-Shoreland Wetland District, any uses proposed for Lot 2 will need to be meet requirements of the overlay districts. At this time the property owner has no future plans for development of this lot, and the zoning department has been informed that the lot split is for the purchase and sale of the multifamily home on lot 1.

### **Carriage Drive, Public Street**

The Carriage Drive Road located north of the CSM appears to be currently a joint use access for the 4-unit residence and the residence at 1206 Carriage Drive. The road was platted at the same time as the Carriage Hills subdivision. On a plat of survey dated in 2005, the area is labeled as unimproved.

When reviewing the property on the north side of the road developed in 2004, it is labeled as a “Shared Drive” with a note stating that “gravel to be paved by the property owners or replaced by a public street by December 1, 2006.” The carriage drive is still gravel with no improvements. On the proposed CSM, it is labeled as private.

### **The Applicant should be aware that several issues may impact the ability to develop the proposed Lot 2:**

1. Lot 2 is located within the Shoreland Wetland District & Non-Shoreland Wetland District overlay zoning districts. Much of Lot 2 is a wetland area. Areas within the Shoreland Wetland District & Non-Shoreland Wetland District can only be used for the “permitted uses” provided under these overlay districts. If other uses (i.e. multi-family) are desired, an approved zoning map amendment will be necessary to remove the Shoreland Wetland District & Non-Shoreland Wetland District overlay zoning designations. Wetland areas that are not filled are expected to remain in the Shoreland Wetland District & NonShoreland Wetland District.
2. If any wetlands are to be filled, all Wisconsin DNR regulations must be followed.
3. In order to demonstrate that the maximum impervious surface requirements will be met for Lot 2, the applicant will need to submit a Stormwater Management Report to be reviewed and approved by the City Engineer. Note that stormwater management on this site may be negatively affected by the filling of the wetland.

### **Planner’s Recommendations**

- 1) Staff recommends that Plan Commission **APPROVE** the 2 Lot Certified Survey Map with the following conditions:
  - A. All requirements of the R-3 zoning district shall be met for both Lot 1 and Lot 2. Specifically, for Lot 1, the applicant shall provide setbacks and the area of the

existing multifamily building in order to demonstrate the requirements of the R-3 zoning district are met.

- B. The CSM shall be corrected to label Carriage Drive as a platted, public road. This is necessary to ensure that Lot 2 meets minimum street frontage requirements.
- C. Any other conditions stipulated by the PARC.

Print

### Application for Land Division - Submission #888

Date Submitted: 4/23/2024

#### City of Whitewater

Application for Land Division  
312 W Whitewater Street  
P.O. Box 178  
Whitewater WI 53190  
(262) 473-0540

#### Applicant and subject property information

In order for applications to be processed all information, drawings, application signatures and fees required shall be submitted at the time of application (please complete all items - attach additional pages as necessary, put N/A if not applicable).

#### Notice

The Plan Commission meetings are scheduled at 6:00 p.m. on the 2nd Monday of the month. All complete application materials must be submitted to the City by 4:00 p.m. four weeks prior to the meeting.

Please check the appropriate box below for the type of application being submitted:

<input type="radio"/> Annexation	<input type="radio"/> Amended plat	<input type="radio"/> Preliminary plat	<input checked="" type="radio"/> Certified Survey
<input type="radio"/> Concept plan	<input type="radio"/> Zoning	<input type="radio"/> Re-plat	

**Vacating**

- Plat
- Easement
- Building line

**Final plat, which also must include:**

- Storm water management plan
- Developer's agreement

**Jurisdiction**

- City limits
- Extra-territorial jurisdiction

**Total acres\***

1.1

**County\***

Walworth

**Current zoning\***

R-3

**Proposed zoning\***

R-3

**Tax parcel number(s) and acreage**

/CAH 00007

Location of property (including legal description):\*

1207 W. Carriage. LOT 7 CARRIAGE HILL SUBD. CITY OF WHITEWATER  
See CSM for proposed legal description.

Applicant's signature

I hereby Certify that the information supplied with this application is true and correct, and that the paper and electronic copies of the materials submitted are consistent with each other, to the best of my knowledge. In addition I have been given the Authority to sign on behalf of the other all parties involved in this Land Division Application.

Applicant's role\*

- Owner
- Developer
- Other

If applicant's role is "Other," please explain:

Signature\*

Matt Kuehl

Phone Number\*

262-473-7300

Fax Number\*

000-000-0000

Email Address\*

matt@keystoneres.net

Date

4/23/24

Property Owner Information

Please complete information-attach additional pages as necessary-put N/A if not applicable.

First Name

Matt

Last Name

Kuehl

Item 6.

**Address**

PO Box 1166

**City**

Lake Geneva

**State**

WI

**Zip Code**

53147

**Phone Number**

262-473-7300

**Fax Number**

**Email Address**

matt@keystoneres.net

If ownership is other than sole or community property, please name the partners, principals, beneficiaries, etc. respectively:

**Name**

**Position**

**Address**

**Name**

**Position**



Address

[Empty text box for address]

Name

[Empty text box for name]

Position

[Empty text box for position]

Address

[Empty text box for address]

Owner's agent/attorney (main contact person responsible for application)

Role\*

- Attorney
- Realtor
- Other

If "Other," please specify.

Owner/Manager of LLC

Name\*

Keystone Real Estate Investments, LLC

Email Address\*

matt@keystoneres.net

Address\*

PO Box 1166

City

Lake Geneva

State

WI

Zip Code

53147

Phone Number\*

262-473-7300

Fax Number\*

000-000-0000

Developer

Item 6.

**Name**

**Email Address**

**Address**

**City**

**State**

**Zip Code**

**Phone Number**

**Fax Number**

Developer's engineer

**Name**

**Email Address**

**Address**

**City**

**State**

**Zip Code**

**Phone Number**

**Fax Number**

Property description - complete either A or B.

A. Recorded subdivision information

Subdivision

See attached CSM

Lot

Block

Acres

County of record

Document number

Volume number (if applicable)

Page number (if applicable)

B. Property Description Information: (attach a metes and bounds description with a sketch, signed and sealed by a Registered Professional Land Surveyor)

Property address

Survey name

Acres

Abstract number

Deed(s) which conveyed the property to the present owner:

Document number

Acres

Volume number

Page number

Metes and bounds description

CSM Carriage Street.pdf

**Cost recovery certificate & agreement**

The city may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the city’s review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals, and/or Common Council. In fact, most applications require some level of review by the city’s planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application. The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The city may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The city may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the city as a special charge on the affected property.

**Signature of applicant/petitioner\***

**Signature of property owner (if different)**

Matt Kuehl

**Printed name of applicant/petitioner\***

**Printed name of property owner (if different)**

Matt Kuehl

**Date of signature\***

**Date of signature**

4/23/24

**FARRIS, HANSEN & ASSOC. INC.**

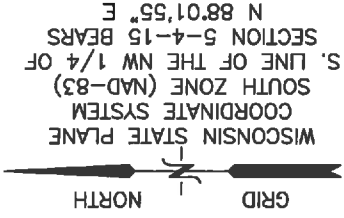
7 RIDGWAY COURT - P.O. BOX 437  
 ELKHORN, WISCONSIN 53121  
 PHONE (262) 723-2098  
 FAX (262) 723-5886

OWNER: WHITEWATER HOUSING SERVICES LLC  
 612 WELLS STREET, SUITE F  
 LAKE GENEVA, WI 53147

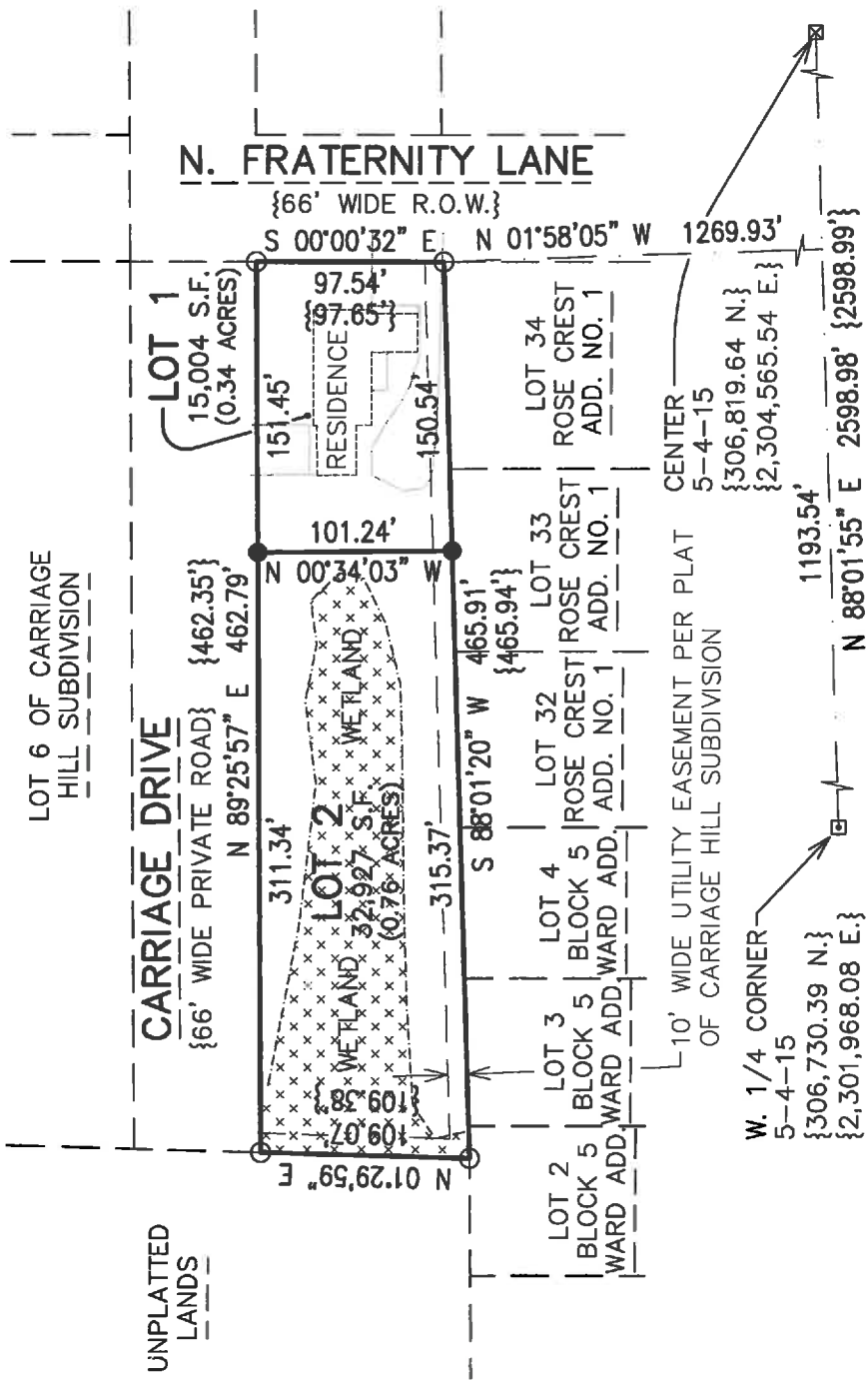
ZONING: R-3

SOILS: Na, Pa, & HeB

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**

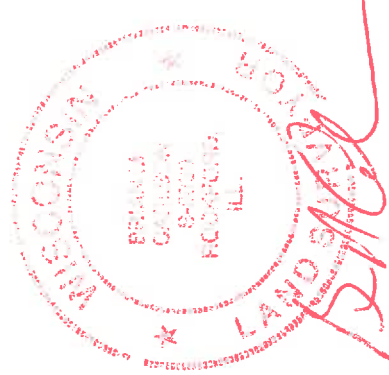


A REDIVISION OF LOT 7 OF CARRIAGE HILL SUBDIVISION  
 LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE  
 NORTHWEST 1/4 OF SECTION 5, TOWN 4 NORTH, RANGE 15  
 EAST, CITY OF WHITEWATER, WALWORTH COUNTY, WISCONSIN



**LEGEND**

- = FOUND IRON PIPE STAKE, 1 3/8" O.D.
- ◻ = FOUND CONCRETE COUNTY MONUMENT WITH BRASS CAP
- ⊠ = RECORD POSITION OF SECTION CORNER PER WITNESS MONUMENT TIES
- = SET IRON REBAR STAKE, 3/4" x 18" x 1.13 lbs/ft
- {XXX} = RECORDED AS



THIS INSTRUMENT DRAFTED  
 BY BRIAN M. CARLSON  
 PROJECT: 8803  
 DATE: 03/20/2020  
 SHEET 1 OF 2 SHEETS





**FARRIS, HANSEN & ASSOC. INC.**

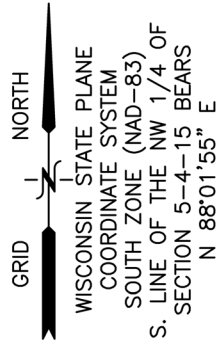
7 RIDGWAY COURT- P.O. BOX 437  
 ELKHORN, WISCONSIN 53121  
 PHONE (262) 723-2098  
 FAX (262) 723-5886

**OWNER: KEYSTONE REAL ESTATE INVESTMENTS, LLC**  
 PO BOX 1166  
 LAKE GENEVA, WI 53147

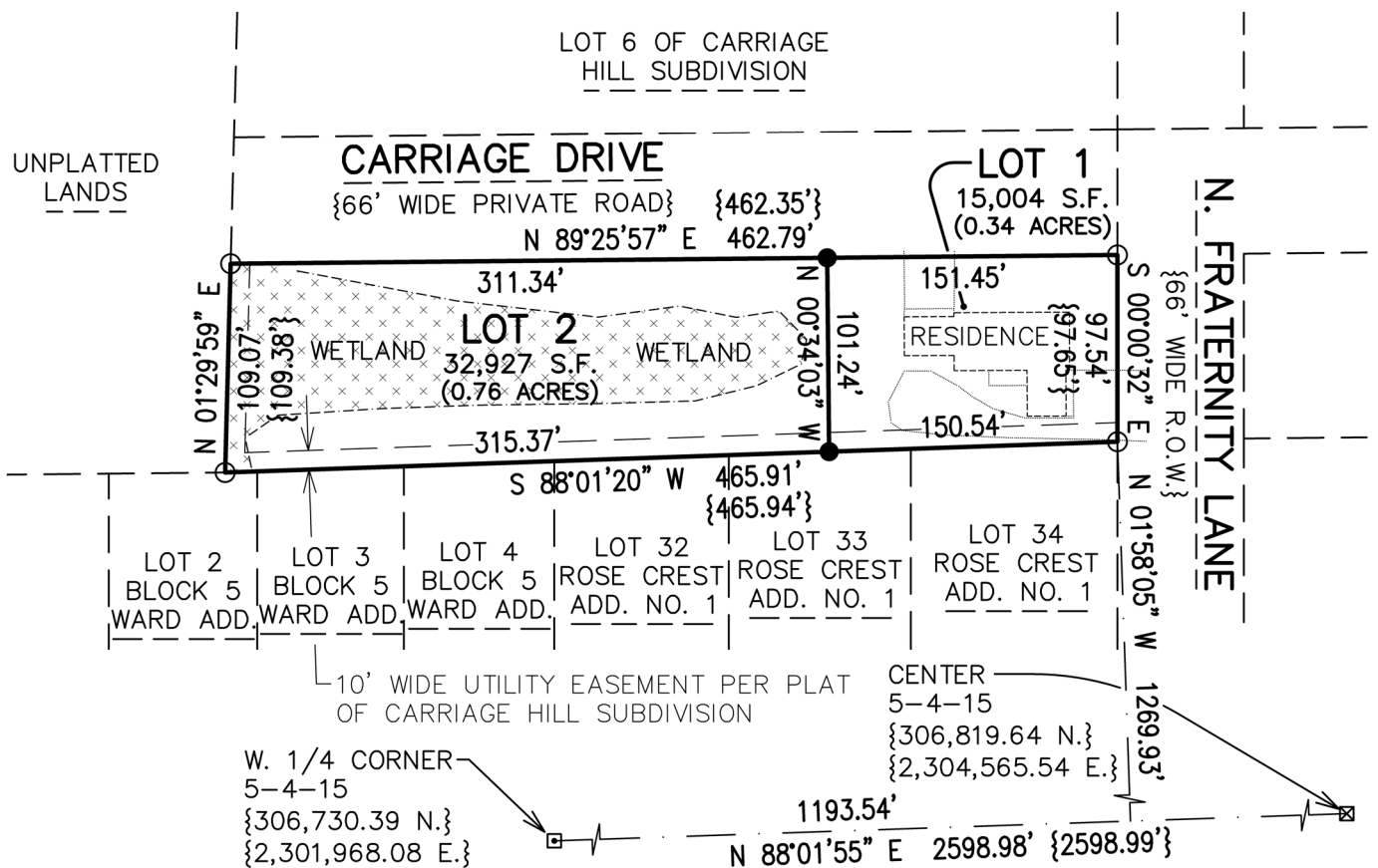
**ZONING: R-3**

**SOILS: Na, Pa, & HeB**

**CERTIFIED SURVEY MAP NO. \_\_\_\_\_**



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{XXX} = RECORDED AS

THIS INSTRUMENT DRAFTED  
 BY CHRISTOPHER A. HODGES

PROJECT: 8803  
 DATE: 03/20/2020 REV 04/22/2024  
 SHEET 1 OF 2 SHEETS









Neighborhood Services  
 Department  
*Planning, Zoning, Code  
 Enforcement, GIS  
 and Building  
 Inspections*  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
 Telephone: (262) 473-0540

NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 10<sup>th</sup> day of June at 6:00 p.m. to hold a public hearing for consideration of a Certified Survey Map(CSM) for Land Division creating two new lots for Tax Parcel #/CAH 00007 located at 1207 W Carriage Drive for Keystone Real Estate Investments, LLC.

The Site Plan Review Proposal is on file in the Neighborhoods Services Office located at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

Llana Dostie, Neighborhood Services Administrative Assistant

BIRCH TREE PROPERTIES LLC  
PO BOX 194  
MCFARLAND, WI 53558-5800

KEYSTONE REAL ESTATE INVESTMENTS  
LLC  
PO BOX 1166  
LAKE GENEVA, WI 53147-4700

TPW WHITEWATER LLC  
AG WHITEWATER LLC  
19000 W BLUEMOUND RD  
BROOKFIELD, WI 53045-4500

JTM RENTALS LLC  
214 S WOODLAND DR  
WHITEWATER, WI 53190-9000

LMK MEADOWVIEW APARTMENTS LLC  
2395 W WASHINGTON ST STE 201  
WEST BEND, WI 53095-9500

LSS HOUSING INC  
647 W VIRGINIA ST  
STE 300  
MILWAUKEE, WI 53204

1206 FLORENCE LLC  
1305 BLOOMINGFIELD DR  
WHITEWATER, WI 53190

DLK ENTERPRISES INC  
PO BOX 239  
WHITEWATER, WI 53190-9000

CHERYL J LOFTON  
3030 97TH ST  
STURTEVANT, WI 53177-2700

1150 W FLORENCE LLC  
N1190 COUNTY RD N  
WHITEWATER, WI 53190-9000

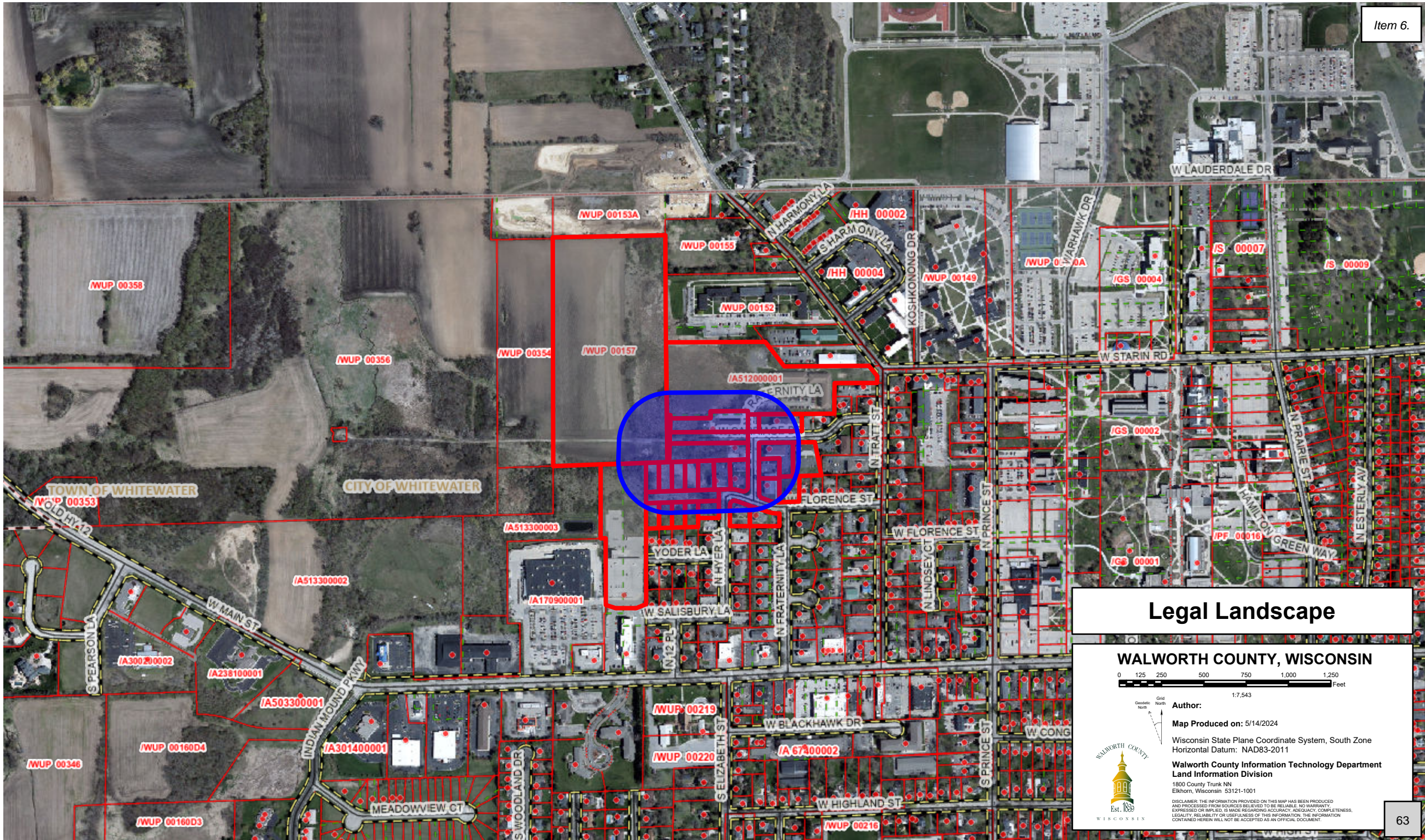
WWHP LLC  
2085 COUNTY RD D EAST  
SUITE A200  
ST PAUL, MN 55109-0900

CITY OF WHITEWATER  
312 W WHITEWATER ST  
WHITEWATER, WI 53190-9000

HAWKS LANDING LLC  
1264 HILLCREST LN  
FALLBROOK, CA 92028-28

TPW FOX MEADOWS LLC  
19000 W BLUEMOUND RD  
BROOKFIELD, WI 53045-4500





# Legal Landscape

## WALWORTH COUNTY, WISCONSIN



1:7,543



Author:  
Map Produced on: 5/14/2024

Wisconsin State Plane Coordinate System, South Zone  
Horizontal Datum: NAD83-2011

**Walworth County Information Technology Department  
Land Information Division**  
1800 County Trunk NN  
Elkhorn, Wisconsin 53121-1001



DISCLAIMER: THE INFORMATION PROVIDED ON THIS MAP HAS BEEN PRODUCED AND PROCESSED FROM SOURCES BELIEVED TO BE RELIABLE. NO WARRANTY, EXPRESSED OR IMPLIED, IS MADE REGARDING ACCURACY, ADEQUACY, COMPLETENESS, LEGALITY, RELIABILITY OR USEFULNESS OF THIS INFORMATION. THE INFORMATION CONTAINED HEREIN WILL NOT BE ACCEPTED AS AN OFFICIAL DOCUMENT.



**MEMORANDUM**

To: City of Whitewater Plan and Architectural Review

Commission

From: Allison Schwark, Zoning  
Administrator

Date: June 3, 2024

Re: Conditional Use Permit

<b>Summary of Request</b>	
<b>Requested Approvals:</b>	Conditional Use Permit for WIRELESS TELECOMMUNICATIONS FACILITIES
<b>Location:</b>	797 Indian Mound Parkway
<b>Current Land Use:</b>	City owned Water Tower
<b>Proposed Land Use:</b>	Same use with added Telecommunication facility
<b>Current Zoning:</b>	AT
<b>Proposed Zoning:</b>	N/A
<b>Future Land Use, Comprehensive Plan:</b>	N/A

**Site Plan Review**

The applicant is requesting a Conditional Use Permit for a Wireless Telecommunication Facility to be placed on top of the city water tower located at 797 Indian Mound Parkway. The city is agreeable to an agreement to allow the wireless telecommunication facility to be built and located on city owned property, and on the city’s operating water tower. The proposed wireless telecommunication facility shall not change the site in any other way, nor shall it impact the site, or the city negatively. The proposed plan meets all requirements of Section 19.55 of our zoning ordinance, which outlines requirements for the telecommunication facilities.

## Planner's Recommendations

- 1) Staff recommends that Plan Commission **APPROVE** the Conditional Use Permit with the following conditions:
  - a) The applicant is responsible for planning, design, and implementation of the grading plan for the site. The City of Whitewater shall not be held responsible for any deficiency in the grading plan.
  - b) The project shall be developed in accordance with the approved site plan, architecture, and landscape plan. Any deviation from the approved plans shall require zoning administrator and/or Plan Commission approval.
  - c) Any wireless telecommunications facility not continuously operating for a period of twelve months shall be considered abandoned and shall be removed (along with its wireless telecommunication support facilities) within ninety days of receiving an order to remove from the zoning administrator. The cost of removal and site restoration shall be borne entirely by the permit holder. In the event that the permit holder fails to remove the facility, the city may cash the required performance bond and remove the facility and all support facilities itself.
  - d) The permit holder shall be responsible for the continued maintenance and/or replacement of all buildings, fencing, landscaping and other site improvements.
  - e) The permit holder for all wireless telecommunications facilities granted conditional use permit approval after the effective date of this chapter shall file an annual report with the zoning administrator demonstrating continued compliance with approved plans, conditions of approval, the provisions of this chapter as they existed at the time of permit approval, and the standards of Sections 19.63.100 and 19.66.050. The petitioner shall also demonstrate that the term of any performance bond or liability insurance policy required under Section 19.55.050 shall remain in effect for at least two years from the date the annual report is submitted. Such report shall be filed within thirty days of the original month of conditional use permit approval.
  - f) Any equipment shall be located in a fully enclosed structure.
  - g) Any conditions stipulated by the PARC.



# 2025 NEW SITE DEVELOPMENT

**SITE NAME:** WHITEWATER SOUTH  
**SITE NUMBER:** 765538  
**STRUCTURE TYPE:** WATER TANK  
**FUZE PROJECT ID:** 15104581  
**MDG ID:** 5000916433

THESE PLANS ARE BASED ON RFDS LAST MODIFIED 03/19/2024, GENERAL CONTRACTOR TO VERIFY AND INCORPORATE MOST RECENT VERSION OF RFDS WITH VERIZON PRIOR TO CONSTRUCTION.

PREPARED FOR:  
  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

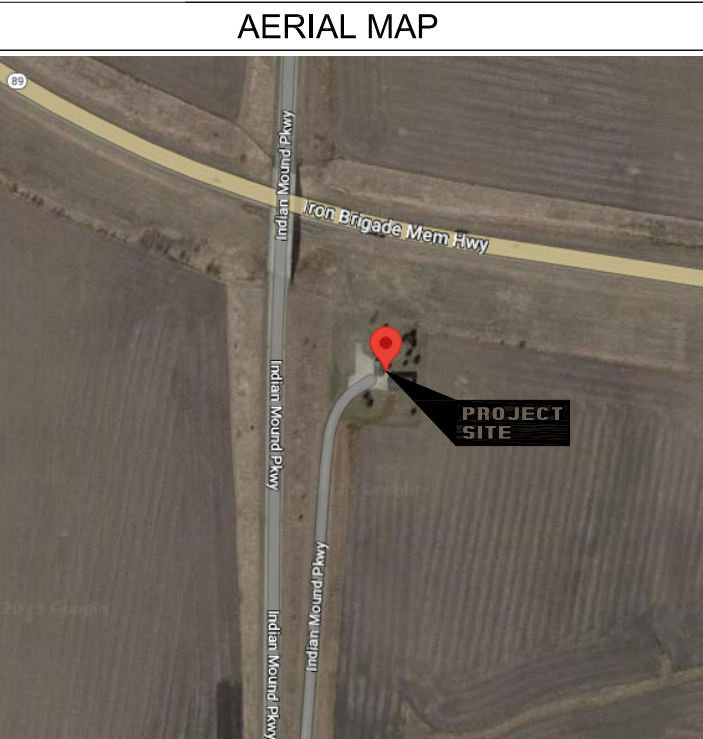
PROJECT INFORMATION	DRIVING DIRECTIONS
SITE NAME: WHITEWATER SOUTH SITE NUMBER: 765538 911 ADDRESS: 797 INDIAN MOUND PARKWAY WHITEWATER, WI 53190 LATITUDE: 42.821264' / 42° 49' 16.55" N LONGITUDE: -88.762231' / 88° 45' 44.03" W GROUND ELEVATION: 872.14' AMSL JURISDICTION: CITY OF WHITEWATER STRUCTURE TYPE: WATER TANK	FROM APPLETON INTERNATIONAL AIRPORT:  GET ON I-41/US-41 S IN MENASHA FROM COUNTY HWY CB/COUNTY RD CB AND W PROSPECT AVE/FOLLOW I-41/US-41 S TO WI-26 S/WI-26 TRUNK S/I-41 ALT IN OSHKOSH. TAKE EXIT 113 FROM I-41/US-41 S/GET ON US-151 S/WI-26 S IN WAUPUN/MERGE ONTO US-151 S/WI-26 S/FOLLOW CO RD A TO WI-26 S/WI-26 TRUNK S IN CLYMAN/FOLLOW WI-26 S/WI-26 TRUNK S AND US-12 E TO COUNTY HWY S IN WHITEWATER/DRIVE TO INDIAN MOUND PKWY IN WHITEWATER/ARRIVE ON SITE.

SCOPE OF WORK	CONTACTS
THE WIRELESS COMMUNICATIONS FACILITY IS NOT INTENDED FOR HUMAN OCCUPANCY  1. INSTALLATION OF (3) NEW KRE105281/1 PANEL ANTENNAS/RADIO 2. INSTALLATION OF (3) NEW AIR 6419 PANEL ANTENNAS/RADIO 3. INSTALLATION OF (6) NEW NHH-65C-R2B PANEL ANTENNAS 4. INSTALLATION OF (3) NEW HYBRID CABLES 5. INSTALLATION OF (3) NEW SURGE PROTECTORS 6. INSTALLATION OF (6) NEW REMOTE RADIO UNITS 7. INSTALLATION OF (3) NEW ALARM 8. INSTALLATION OF 11'-0"X4'-0" CONCRETE PAD WITH CABINETS 9. INSTALLATION OF NEW EXTERIOR DIESEL GENERATOR	<p><b>APPLICANT:</b>                      CHICAGO SMSA LIMITED PARTNERSHIP                      D/B/A VERIZON WIRELESS                      1701 GOLF ROAD                      TOWER 2, SUITE 400                      ROLLING MEADOWS, IL 60008                      CONTACT: OCTAVIO HERRERA                      EMAIL: Octavio.herrera.verizonwireless.com                      PHONE: 847-619-4142</p> <p><b>PROPERTY OWNER:</b>                      CITY OF WHITEWATER                      312 WHITEWATER STREET                      WHITEWATER, WI 53190                      CONTACT: BRAD MARQUARDT                      EMAIL: bmarquardt@whitewater-wi.gov                      PHONE: 262-473-0139</p>

APPLICABLE CODES & STANDARDS	ARCHITECT/ENGINEER:
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED WITH ANY LOCAL AMENDMENTS BY THE LOCAL GOVERNING AUTHORITIES:  <ul style="list-style-type: none"> <li>2015 WISCONSIN BUILDING CODE</li> <li>2017 WISCONSIN ELECTRICAL CODE</li> <li>2015 WISCONSIN FIRE CODE</li> <li>2015 WISCONSIN FUEL GAS CODE</li> <li>2015 WISCONSIN MECHANICAL CODE</li> <li>2015 WISCONSIN ENERGY CONSERVATION CODE</li> </ul> FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN.	MOUNTAIN LTD. ENGINEERING 515 N. STREET FLOOR 14 CHICAGO, IL 60654 CONTACT: LUIS MENDOZA PHONE: (949) 338-6143 EMAIL: luis.mendoza@mountainltd.com

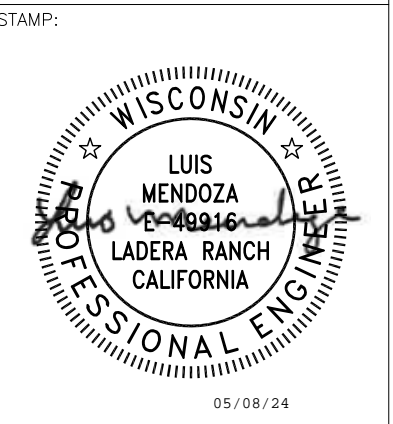
**FIBER COMPANY:**  
TO BE DETERMINED

**POWER COMPANY:**  
WE ENERGIES  
800-972-8856



SHEET INDEX		REVISION
SITE GENERAL ARRANGEMENT PLANS		
T1.0	TITLE SHEET	0
N1.0	GENERAL SPECIFICATIONS	0
N1.1	GENERAL SPECIFICATIONS	0
SITE SURVEY (BY OTHERS, PENDING)		
C1.0	SITE GRADING AND EROSION CONTROL PLAN	0
A0.0	OVERALL SITE PLAN	0
A1.0	PROPOSED COMPOUND PLAN	0
A1.1	ENLARGED EQUIPMENT PLAN	0
A2.0	TOWER ELEVATION	0
A2.1	PROPOSED ANTENNA PLAN	0
A2.2	ANTENNA MOUNT AND INSTALLATION DETAILS	0
A2.3	TOWER BELL SECTION & TOWER BELL HYBRID ROUTING	0
A3.0	RF SUMMARY	0
A3.1	RF SUMMARY	0
A3.2	ANTENNA PLUMBING DIAGRAM	0
A4.0	ANTENNA DETAILS	0
A4.1	EQUIPMENT DETAILS	0
A4.2	EQUIPMENT DETAILS	0
A4.3	ICE BRIDGE AND GPS DETAILS	0
A4.4	GROUND EQUIPMENT SPECIFICATIONS	0
A4.5	GROUND EQUIPMENT SPECIFICATIONS	0
A4.6	GROUND EQUIPMENT SPECIFICATIONS	0
A4.7	EQUIPMENT PAD ELEVATIONS	0
A4.8	EQUIPMENT PAD FOUNDATION DETAILS	0
A4.9	GENERATOR SPECIFICATIONS	0
A4.10	GENERATOR PAD FOUNDATION DETAILS	0
A4.11	FENCE DETAILS	0
A4.12	SIGNAGE DETAILS	0
A4.13	SITE DETAILS	0
E1.0	COMPOUND GROUNDING PLAN	0
E1.1	OVERALL UTILITY PLAN	0
E1.2	UTILITY PLAN	0
E1.3	UTILITY DETAILS	0
E2.0	GROUNDING DETAILS	0
E2.1	GROUNDING DETAILS	0
E2.2	GROUNDING DETAILS	0
E2.3	ELECTRICAL DETAILS	0
RFE REPORT - PENDING		

SITE NAME:  
**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY



DRAWN BY:	DP		
APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**TITLE SHEET**

SHEET NUMBER:  
**T1.0**



NOTE: DRAWING SCALES ARE FOR 11"x17" & 22"x34" SHEETS UNLESS OTHERWISE NOTED.

GENERAL

THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS ARE INTERRELATED WHEN PERFORMING THE WORK. EACH CONTRACTOR MUST REFER TO ALL DRAWINGS. COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

DIVISION 1: GENERAL REQUIREMENTS

SECTION 01700 – PROJECT CLOSEOUT

PART 1 – GENERAL

- 1. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. INCLUDE OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.
2. SUBMIT RECORD DRAWINGS, DAMAGE, OR SETTLEMENT SURVEY, PROPERTY SURVEY, AND SIMILAR FINAL RECORD INFORMATION.
3. COMPLETE FINAL CLEAN-UP REQUIREMENTS, INCLUDING TOUCH-UP PAINTING. TOUCH-UP AND OTHERWISE REPAIR AND RESTORED MARRED EXPOSED FINISHES.

PART 2 – FINAL CLEANING/PROJECT CLOSEOUT

- 1. COMPLETE THE FOLLOWING OPERATIONS BEFORE REQUESTING INSPECTION FOR CERTIFICATE OF COMPLETION:
A. CLEAN THE PROJECT SITE, YARD AND GROUNDS IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES, INCLUDING LANDSCAPE DEVELOPMENT, AREAS OF RUBBISH, WASTE MATERIALS, LITTER AND FOREIGN SUBSTANCES. SWEEP PAVED AREAS BROOM CLEAN. REMOVE PETRO-CHEMICAL SPILLS, STAINS AND OTHER FOREIGN DEPOSITS. RAKE GROUND THAT ARE NEITHER PLANTED NOR PAVED TO A SMOOTH, EVEN-TEXTURED SURFACE.
B. REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIAL FROM THE SITE.
C. REMOVE SNOW AND ICE TO PROVIDE SAFE ACCESS TO THE SITE AND EQUIPMENT BUILDING.
D. CLEAN EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES.
E. REMOVE DEBRIS FROM LIMITED ACCESS SPACES, INCLUDING ROOFS, EQUIPMENT BUILDING, MANHOLES AND SIMILAR SPACES.
F. REMOVE LABELS THAT ARE NOT PERMANENT LABELS.
G. TOUCH-UP AND OTHERWISE REPAIR AND RESTORE MARRED EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CAN NOT BE SATISFACTORILY BE REPAIRED OR RESTORED, OR THAT SHOW EVIDENCE OF REPAIR OR RESTORATION. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING ELECTRICAL NAME PLATES.
H. LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY.
I. DUST OFF ALL EQUIPMENT, INCLUDING BATTERY PACKS, WITHIN EQUIPMENT BUILDING.
J. GENERAL CONTRACTOR TO CLEAN AND APPLY STATIC-FREE WAX TO THE FLOORS ONCE FINAL SHELTER EQUIPMENT AND ACCESSORIES ARE COMPLETED.
2. REMOVE OF PROTECTION
REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF THE CONSTRUCTION PERIOD.

DIVISION 2: SITE WORK

SECTION 02200 – EARTHWORK AND DRAINAGE

PART 1 – GENERAL

- 1. WORK INCLUDED – SEE SITE PLAN
2. DESCRIPTIONS
ACCESS DRIVE WITH TURN-AROUND AREA, LEASE AREA, AND, IF APPLICABLE, UNDERGROUND UTILITY EASEMENTS ARE TO BE CONSTRUCTED TO PROVIDE A WELL-DRAINED, EASILY MAINTAINED, EVEN SURFACE FOR MATERIAL AND EQUIPMENT DELIVERIES AND MAINTENANCE PERSONNEL ACCESS.
3. QUALITY ASSURANCE
A. APPLY SOIL STERILIZER IN ACCORDANCE WITH MANUFACTURER’S RECOMMENDATIONS (AS NEEDED).
B. APPLY AND MAINTAIN GRASS SEED AS RECOMMENDED BY THE SEED PRODUCER (AS NEEDED).
C. PLACE AND MAINTAIN VEGETATION LANDSCAPING, IF INCLUDED WITHIN THE CONTRACT, AS RECOMMENDED BY NURSERY INDUSTRY STANDARDS.
4. SEQUENCING
A. CONFIRM SURVEY STAKES AND SET ELEVATIONS STAKES PRIOR TO ANY CONSTRUCTION.
B. COMPLETELY GRUB THE ACCESS DRIVE WITH TURN-AROUND, UNDERGROUND UTILITY EASEMENTS (IF APPLICABLE), AND LEASE AREA PRIOR TO FOUNDATION CONSTRUCTION, PLACEMENT OF BACKFILL AND SUB-BASE MATERIAL.
C. CONSTRUCT TEMPORARY CONSTRUCTION AREA ALONG ACCESS DRIVE.
D. BRING THE LEASE AREA AND ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION PRIOR TO INSTALLING FOUNDATION.
E. APPLY SOIL STERILIZER PRIOR TO PLACING BASE MATERIALS SUCH THAT THE STERILIZER ONLY COMES IN CONTACT WITH PROPOSED GRAVEL SURFACES.
F. GRADE, SEED, FERTILIZE, AND MULCH ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING UNDERGROUND UTILITY EASEMENTS) IMMEDIATELY AFTER BRINGING LEASE AND ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION. WATER TO ENSURE GROWTH.
G. REMOVE GRAVEL FROM TEMPORARY CONSTRUCTION ZONE TO AN AUTHORIZED AREA OR AS DIRECTED BY THE PROJECT MANAGER.
H. AFTER APPLICATIONS OF FINAL SURFACES, APPLY SOIL STERILIZER TO STONE SURFACES.
5. SUBMITTALS
A. BEFORE CONSTRUCTION
IF LANDSCAPING IS APPLICABLE TO THE CONTRACT, SUBMIT TWO (2) COPIES OF THE LANDSCAPE PLAN UNDER NURSERY LETTERHEAD. IF LANDSCAPE ALLOWANCE WAS INCLUDED IN THE CONTRACT, PROVIDE AN ITEMIZED LISTING OF PROPOSED COSTS ON NURSERY LETTERHEAD. REFER TO PLANS FOR LANDSCAPING REQUIREMENTS.
B. PLACE FILL OR STONE IN SIX (6) INCH MAXIMUM LIFTS, AND COMPACT BEFORE PLACING NEXT LIFT.
C. AFTER CONSTRUCTION
1. MANUFACTURER’S DESCRIPTION OF PRODUCT AND WARRANTY STATEMENT ON SOIL STERILIZED.
2. MANUFACTURER’S DESCRIPTION OF PRODUCT ON GRASS SEED AND FERTILIZER.
3. LANDSCAPING WARRANTY STATEMENT.
6. WARRANTY
A. IN ADDITION TO THE WARRANTY ON ALL CONSTRUCTION COVERED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPAIR ALL DAMAGE AND RESTORE AREA AS CLOSE TO ORIGINAL CONDITION AS POSSIBLE AT SITE AND SURROUNDINGS.
B. SOIL STERILIZATION APPLICATION TO GUARANTEE VEGETATION FREE ROAD AND SITE AREAS FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.
C. DISTURBED AREAS WILL REFLECT GROWTH OF NEW GRASS PRIOR TO FINAL INSPECTION.
D. LANDSCAPING, IF INCLUDED WITHIN THE SCOPE OF THE CONTRACT, WILL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL INSPECTION.

DIVISION 2: SITE WORK (CONTINUED)

SECTION 02200 – EARTHWORK AND DRAINAGE (CONTINUED)

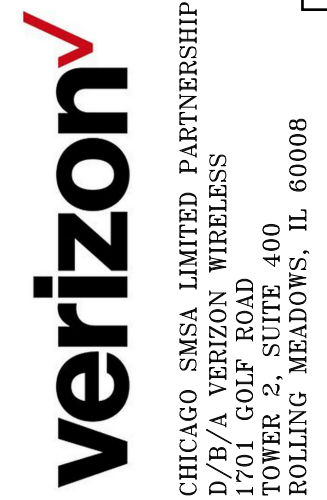
PART 2 – PRODUCTS

- 1. MATERIALS
A. SOIL STERILIZER SHALL BE AN EPA REGISTERED, PRE-EMERGENCE LIQUID:
TOTAL KILL PHASAR CORPORATION
PRODUCT 910 P.O. BOX 5123
EPA 10292-7 DEARBORN, MI 48128
313.563.8000
AMBUSH HERBICIDE FRAMAR INDUSTRIAL PRODUCTS
EPA REGISTERED 1435 MORRIS AVENUE
UNION, NJ 07083
800.526.4924
B. ROAD AND SITE MATERIALS SHALL CONFORM TO DOT SPECIFICATIONS (UNLESS OTHERWISE NOTE). ACCEPTABLE SELECT FILL SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF HIGHWAY AND TRANSPORTATION STANDARD SPECIFICATIONS.
C. SOIL STABILIZED FABRIC SHALL BE MIRAFI-500X.

PART 3 – EXECUTION

- 1. PREPARATION
A. CLEAR TREES, BRUSH AND DEBRIS FROM LEASE AREA, ACCESS DRIVE WITH TURN-AROUND, AND UNDERGROUND UTILITY EASEMENTS AS REQUIRED FOR CONSTRUCTION.
B. PRIOR TO OTHER EXCAVATION AND CONSTRUCTION, GRUB ORGANIC MATERIAL TO A MINIMUM OF SIX (6) INCHES BELOW GRADE.
C. UNLESS OTHERWISE INSTRUCTED BY LESSEE, TRANSPORT ALL REMOVED TREES, BRUSH AND DEBRIS FROM THE PROPERTY TO AN AUTHORIZED LANDFILL.
D. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS, ROLL THE SOIL.
E. WHERE UNSTABLE SOIL CONDITIONS ARE ENCOUNTERED, LINE THE AREA WITH A STABILIZED MAT PRIOR TO PLACEMENT OF FILL OR BASE MATERIAL.
F. PRIOR TO PLACEMENT OF FILL OR BASE MATERIALS. REMOVE SOFT SPOTS, PLACE SELECT FILL, AND COMPACT TO 95% MODIFIED PROCTOR.
2. INSTALLATION
A. GRADE OR FILL THE LEASE AREA AND ACCESS DRIVE WITH TURN-AROUND AS REQUIRED IN ORDER THAT UPON DISTRIBUTION OF SPOILS RESULTING FROM EXCAVATIONS, THE RESULTING GRADE WILL CORRESPOND WITH SAID SUB-BASE COURSE. ELEVATIONS ARE TO BE CALCULATED FROM BENCHMARK, FINISHED GRADES, OR INDICATED SLOPES.
B. CLEAR EXCESS SPOILS, IF ANY, FROM JOB SITE AND DO NOT SPREAD BEYOND THE LIMITS OF PROJECT AREA UNLESS AUTHORIZED BY PROJECT MANAGER AND AGREED TO BY LANDOWNER.
C. BRING THE ACCESS DRIVE WITH TURN-AROUND TO BASE COURSE ELEVATION TO FACILITATE CONSTRUCTION AND OBSERVATION DURING CONSTRUCTION OF THE SITE.
D. AVOID CREATING DEPRESSIONS WHERE WATER MAY POND.
E. THE CONTRACT SHALL INCLUDE GRADING, BANKING, AND DITCHING, UNLESS OTHERWISE NOTED.
F. WHEN IMPROVING AN EXISTING ACCESS DRIVE, GRADE THE EXISTING DRIVE TO REMOVE ANY ORGANIC MATTER AND SMOOTH THE SURFACE BEFORE PLACING FILL OR STONE.
G. THE TOP SURFACE COURSE SHALL EXTEND A MINIMUM OF ONE (1) FOOT BEYOND THE SITE FENCE, UNLESS OTHERWISE NOTED, AND SHALL COVER THE AREA AS INDICATED.
H. NO SLOPES ARE TO BE GREATER THAN 3:1.
I. APPLY RIP-RAP TO THE SIDES OF DITCHES AND DRAINAGE SWALES WHERE INDICATED ON THE DRAWINGS.
J. RIP-RAP ENTIRE DITCH FOR SIX (6) FEET IN ALL DIRECTIONS AT CULVERT OPENINGS (WHEN APPLICABLE)
K. APPLY SEED, FERTILIZER, AND STRAW COVER TO ALL OTHER DISTURBED AREAS, DITCHES, AND DRAINAGE SWALES, NOT OTHERWISE RIP-RAPPED.
L. UNDER NO CIRCUMSTANCES WILL DITCHES, SWALES, OR CULVERTS BE PLACED SO THAT THEY DIRECT WATER TOWARDS, OR PERMIT STANDING WATER IMMEDIATELY ADJACENT TO SHELTER OR EQUIPMENT. IF DESIGNS OR ELEVATIONS ARE IN CONFLICT WITH THIS, ADVISE CONSTRUCTION MANAGER IMMEDIATELY.

PREPARED FOR:



SITE NAME: WHITEWATER SOUTH
SITE NUMBER: 765538

SITE ADDRESS: 797 INDIAN MOUND PARKWAY WHITEWATER, WI 53190 WALWORTH COUNTY

STAMP:

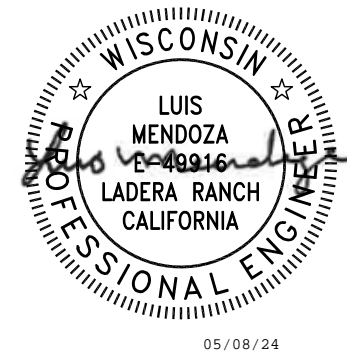


Table with columns: DRAWN BY, APPROVED BY, DATE DRAWN, REVISION (NO, DESCRIPTION, BY, DATE)

SHEET TITLE: GENERAL SPECIFICATIONS

SHEET NUMBER: N1.0



**DIVISION 2: SITE WORK (CONTINUED)**

SECTION 02200 – EARTHWORK AND DRAINAGE (CONTINUED)

PART 2 – PRODUCTS (CONTINUED)

2. INSTALLATION (CONTINUED)

M. IN DITCHES WITH SLOPES GREATER THAN 10%, MOUND DIVERSIONARY HEADWALLS IN THE DITCH AT AN ANGLE NO GREATER THAN 60° OFF THE DITCH LINE, RIP RAP THE UPSTREAM SIDE OF THE HEADWALL AS WELL AS DITCH FOR SIX (6) FEET ABOVE THE CULVERT ENTRANCE.

N. APPLY SEED AND FERTILIZER TO SURFACE CONDITIONS WHICH WILL ENCOURAGE ROOTING. RAKE AREAS TO BE SEEDED TO EVEN THE SURFACE AND LOOSEN THE SOIL.

O. SOW SEED IN TWO DIRECTIONS IN TWICE THE QUANTITY RECOMMENDED BY THE SEED PRODUCER.

P. ENSURE GROWTH OF SEEDED AND LANDSCAPED AREAS BY WATERING UP TO THE POINT OF RELEASE FROM THE CONTRACT. CONTINUE TO REWORK THE BARE AREAS UNTIL COMPLETE COVERAGE IS OBTAINED.

3. FIELD QUALITY CONTROL

COMPACT SOILS TO MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-1557. AREAS OF SETTLEMENT WILL BE EXCAVATED AND REFILLED AT CONTRACTOR'S EXPENSE. INDICATE PERCENTAGE OF COMPACTION ACHIEVED ON AS-BUILT DRAWINGS.

4. PROTECTION

A. PROTECT SEEDED AREAS FROM EROSION BY SPREADING STRAW TO A UNIFORM LOOSE DEPTH OF 1-2 INCHES, STAKE AND TIE DOWN AS REQUIRED. USE OF EROSION CONTROL MESH OR MULCH NET WILL BE AN ACCEPTABLE ALTERNATE.

B. ALL TREES PLACED IN CONJUNCTION WITH A LANDSCAPE CONTRACT WILL BE WRAPPED, TIED WITH HOSE PROTECTED WIRE, AND SECURED TO 2" x 2" x 4'-0" WOODEN STAKES EXTENDING TWO- FEET INTO GROUND ON FOUR SIDES OF THE TREE.

C. PROTECT ALL EXPOSED AREAS AGAINST WASHOUTS AND SOIL EROSION. ALL EROSION CONTROL METHODS SHALL CONFORM TO APPLICABLE BUILDING CODE REQUIREMENTS.

**DIVISION 16: UTILITY**

SECTION 16050 – BASIC UTILITY MATERIALS AND METHODS

1. CONTRACTOR SHALL REVIEW THE CONTRACT DOCUMENTS PRIOR TO ORDERING THE UTILITY EQUIPMENT AND STARTING THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ARCHITECT/ENGINEER LISTING ANY DISCREPANCIES OR CONFLICTING INFORMATION.

2. UTILITY PLANS, DETAILS AND DIAGRAMS ARE DIAGRAMMATIC ONLY. VERIFY EXACT LOCATIONS AND MOUNTING HEIGHTS OF UTILITY EQUIPMENT WITH OWNER PRIOR TO INSTALLATION.

3. EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, JUNCTION BOX, SWITCH BOX, ETC. THE TYPE OF TAGGING METHODS SHALL BE COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (O.S.H.A.).

4. ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN GOOD WORKING CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED "J" WHERE APPLICABLE. MATERIALS SHALL MEET WITH APPROVAL OF ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, NBFU AND "UL" LISTED.

5. ALL CONDUIT SHALL HAVE A PULL CORD.

6. PROVIDE PROJECT MANAGER WITH ONE SET OF COMPLETE UTILITY "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS, AND CIRCUITS.

PREPARED FOR:



SITE NAME:  
**WHITEWATER SOUTH**  
SITE NUMBER:  
**765538**  
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY

STAMP:



DRAWN BY:	DP		
APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
O	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**GENERAL SPECIFICATIONS**

SHEET NUMBER:  
**N1.1**

EROSION CONTROL CONSTRUCTION SEQUENCE:

1. THE CONTRACTOR SHALL DESIGNATE AN ESC COORDINATOR FOR THE SITE AND COMMUNICATE TO THE OWNER AND ENGINEER.
2. SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROVIDED, AND SHALL INCLUDE SILT FENCES AT DOWNSLOPE PERIMETERS OF THE DISTURBED AREA AND A STABILIZED CONSTRUCTION ENTRANCE, APPROXIMATELY TWELVE (12') FEET WIDE AND TWENTY (20') LONG, CONSISTING OF A SIX (6") INCH THICK STONE APRON (2" AGGREGATE - ASTM SIZE No. 2).
3. COMMENCE WITH TREE REMOVAL AND GRADING ACTIVITIES.
4. INSTALL ADDITIONAL EROSION CONTROL MEASURES AFTER GRADING BEGINS AS REQUIRED.
5. SEED ALL MULCH DENUDED AREAS WITH 7 DAYS AFTER ANY PHASE OF GRADING, ALSO COVER ALL EXPOSED AREA BEFORE MAJOR STORM EVENTS.
6. MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER AND/OR STAND OF GRASS IS ESTABLISHED.
7. REQUEST FINAL APPROVAL FROM OWNER.
8. REMOVE SOIL EROSION CONTROL MEASURES AND STABILIZE THE AREAS.

EROSION CONTROL AND DRAINAGE NOTES:

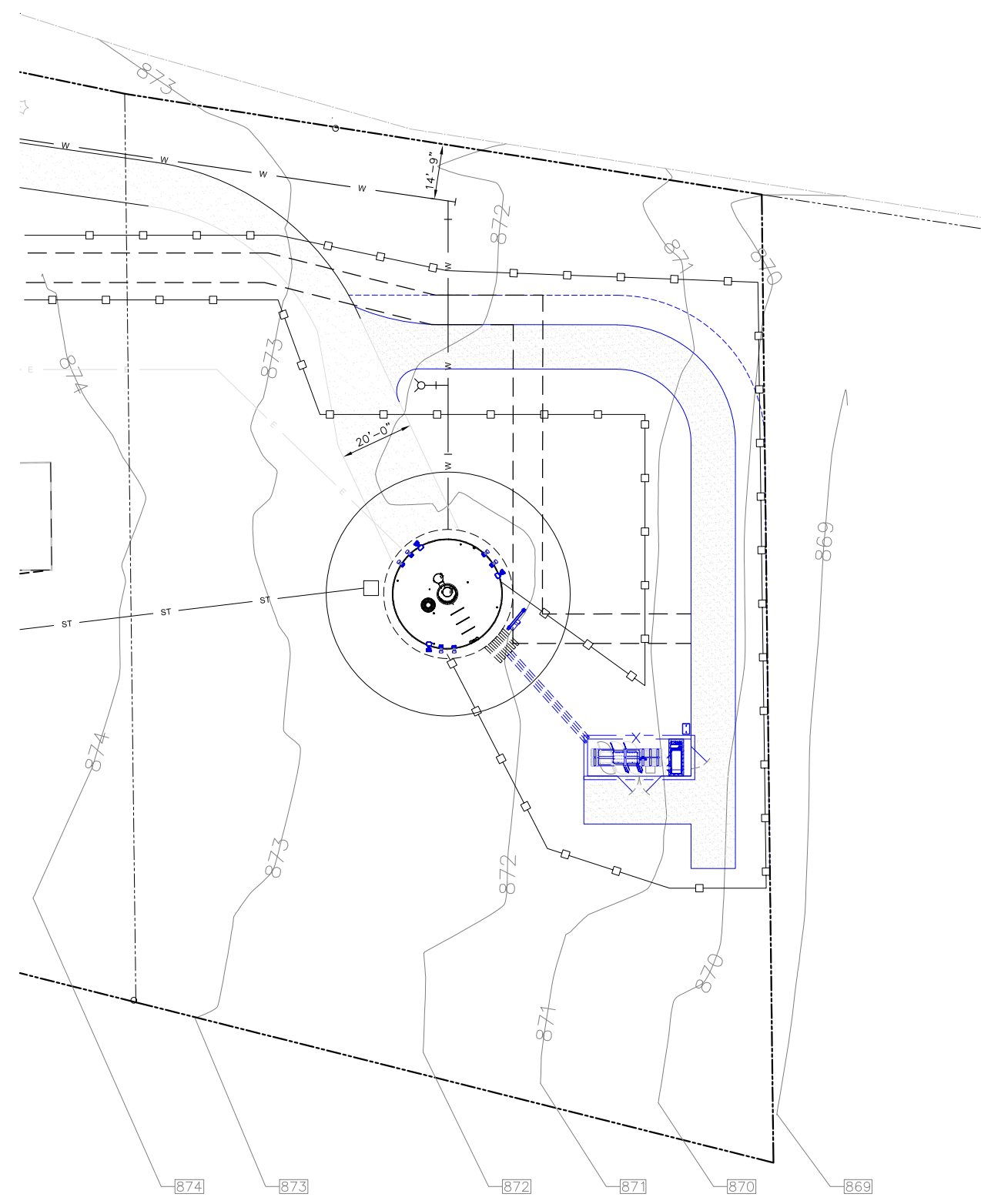
1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS FOR EROSION AND SEDIMENT CONTROL FOR THE AGENCY(IES) HAVING JURISDICTION OVER CLEARING AND GRADING OPERATIONS. AS A MINIMUM, ALL WORK SHALL COMPLY WITH THE LATEST PROVISIONS OF THE INTERNATIONAL BUILDING CODE. UTILIZE BEST MANAGEMENT PRACTICES (BMP) PRESCRIBED BY IBC TO PREVENT EROSION OF ON-SITE SOILS AND TRANSPORT OF THESE SOILS TO DOWNSTREAM PROPERTIES OR WATER BODIES. SPECIFIC BMP'S TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO, A TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE AT THE BASE OF FILL SLOPES AND AROUND STOCKPILE AREA, CHECK DAMS IN THE FLOW LINE OF SWALES AND DITCHES, AND TEMPORARY AND PERMANENT SEEDING.
2. CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION ACTIVITIES TO ENSURE THE PROTECTION OF ADJACENT PROPERTIES AND WATERWAYS. EXCEPT AS MAY BE REQUIRED TO INSTALL THE MEASURES, NO GRADING SHALL BE PERFORMED UNTIL THE TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE AND OTHER APPROPRIATE MEASURES ARE IN PLACE.
3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - A. SEVEN CALENDAR DAYS OF THE SURFACING OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
  - B. FOURTEEN DAYS OF ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
5. ALL EROSION CONTROL MEASURES WILL BE CHECKED PERIODICALLY, ESPECIALLY AFTER RAIN, AND ANY DEFICIENCIES NOTED SHALL BE PROMPTLY CORRECTED AND ANY DEFICIENCIES NOTED WILL BE CORRECTED. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION.

NOTES:

1. THIS GRADING PLAN WAS PREPARED PRIOR TO RECEIPT OF TOWER FOUNDATION DESIGN AND GEOTECHNICAL REPORT. PROPOSED GRADES, ELEVATIONS AND CORRESPONDING SOIL COVER MAY REQUIRE FINAL ADJUSTMENT ONCE THE ABOVE NOTED DOCUMENTS ARE AVAILABLE. RECOMMENDATIONS IN THIS GRADING PLAN SHOULD NOT SUPERCEDE ANY REQUIREMENTS SPECIFIED IN THE FOUNDATION DESIGN.
2. NO VEHICULAR TRAFFIC OR SOIL DISTURBANCE TO OCCUR BEYOND SILT FENCE, CONTRACTOR TO INSTALL SILT FENCE BARRIER PRIOR TO ALL CONSTRUCTION ACTIVITIES AND MAINTAIN SILT FENCE THROUGHOUT THE LIFE OF THE PROJECT,
3. CONTRACTOR RESPONSIBLE FOR ALL REPAIR/REMEDATION OF AREAS BEYOND SILT FENCE DUE TO CONSTRUCTION ACTIVITIES.



LEGEND	
<u>PROPOSED GROUND DRAINAGE</u>	
<u>FLOW DIRECTION ARROWS</u>	
←	DRAINAGE DIRECTION
← 0.00%	ARROW
←	GROUND SLOPE% WITH DIRECTION
↔	SUMMIT DRAINAGE DIRECTIONS
↔	EXISTING GROUND DRAINAGE FLOW DIRECTION
<u>PROPOSED SPOT GRADES</u>	
0.00	PROPOSED ELEVATION
<u>PROPOSED LINES</u>	
— X —	PROPOSED SILT FENCE
-----	PROPOSED GROUND RIDGE LINE
— 000 —	PROPOSED CONTOUR
-----000-----	EXISTING CONTOUR
-----	EXISTING PROPERTY LINE
▣ →	PROPOSED CULVERT & END SECTIONS



**1 SITE GRADING AND EROSION CONTROL PLAN**

TRUE NORTH

FULL SIZE PLOT SCALE: 1' = 20'  
 HALF SIZE PLOT SCALE: 1' = 40'

PREPARED FOR:

CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**

SITE NUMBER:  
**765538**

SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY

STAMP:



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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**SITE GRADING AND EROSION CONTROL PLAN**

SHEET NUMBER:  
**C1.0**

PREPARED FOR:

**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY

STAMP:

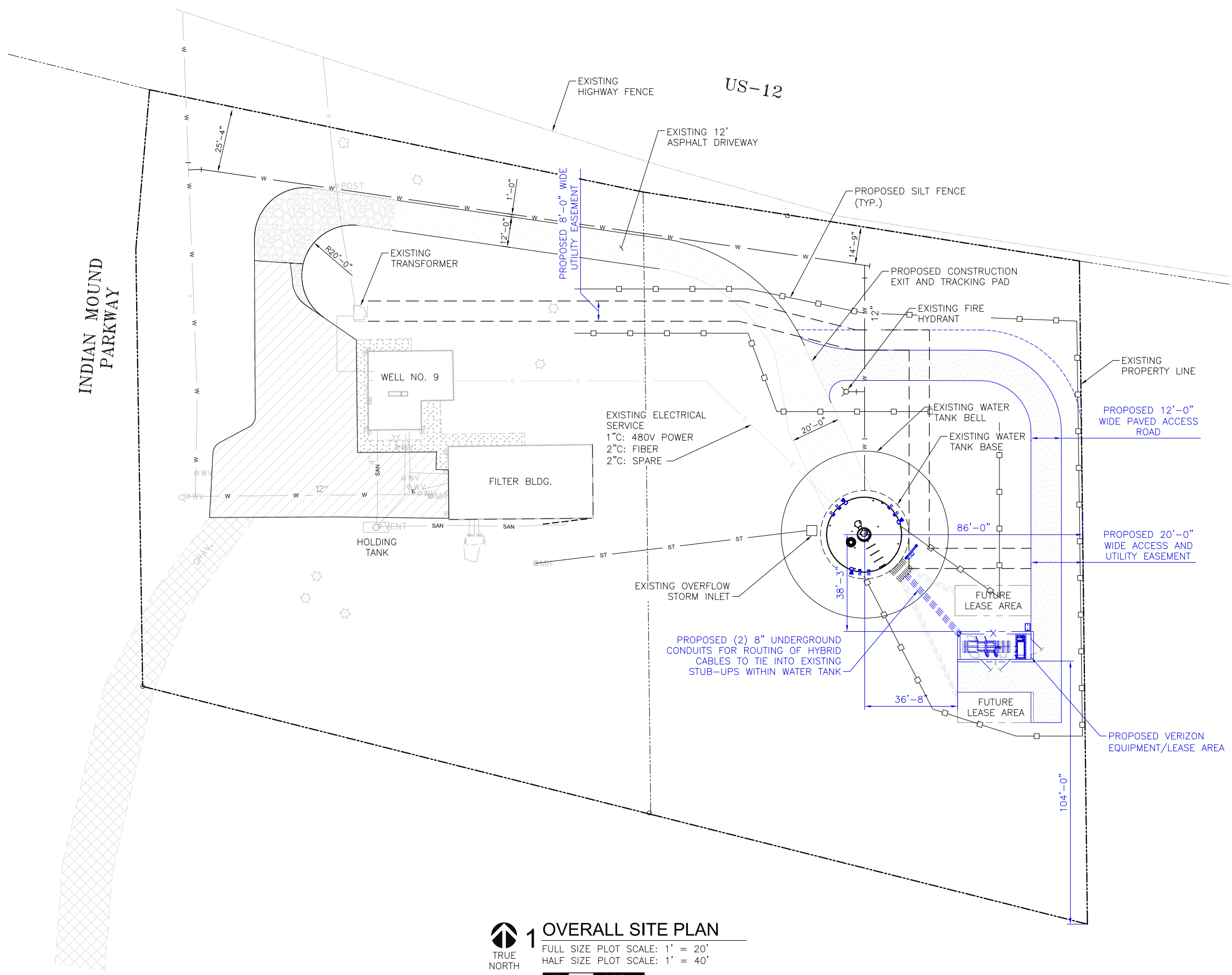
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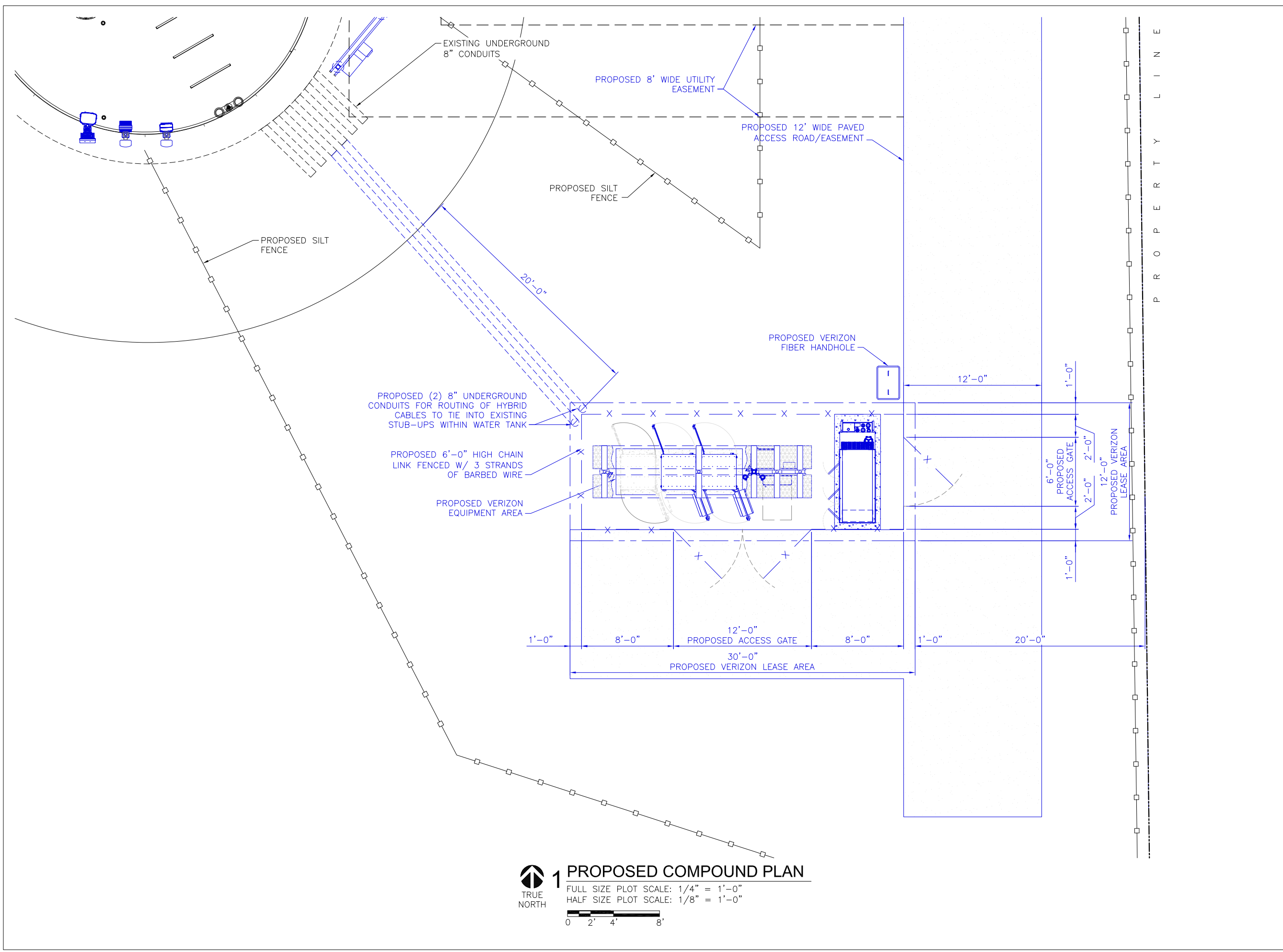
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0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**OVERALL SITE PLAN**

SHEET NUMBER:  
**A0.0**



**1 OVERALL SITE PLAN**  
 FULL SIZE PLOT SCALE: 1' = 20'  
 HALF SIZE PLOT SCALE: 1' = 40'



**1 PROPOSED COMPOUND PLAN**  
 FULL SIZE PLOT SCALE: 1/4" = 1'-0"  
 HALF SIZE PLOT SCALE: 1/8" = 1'-0"  
 TRUE NORTH  
 0 2' 4' 8'

PREPARED FOR:  
**verizon**  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITWATER, WI 53190  
 WALWORTH COUNTY

STAMP:  
  
 WISCONSIN  
 LUIS MENDOZA  
 E-48916  
 LADERA RANCH  
 CALIFORNIA  
 PROFESSIONAL ENGINEER  
 05/08/24

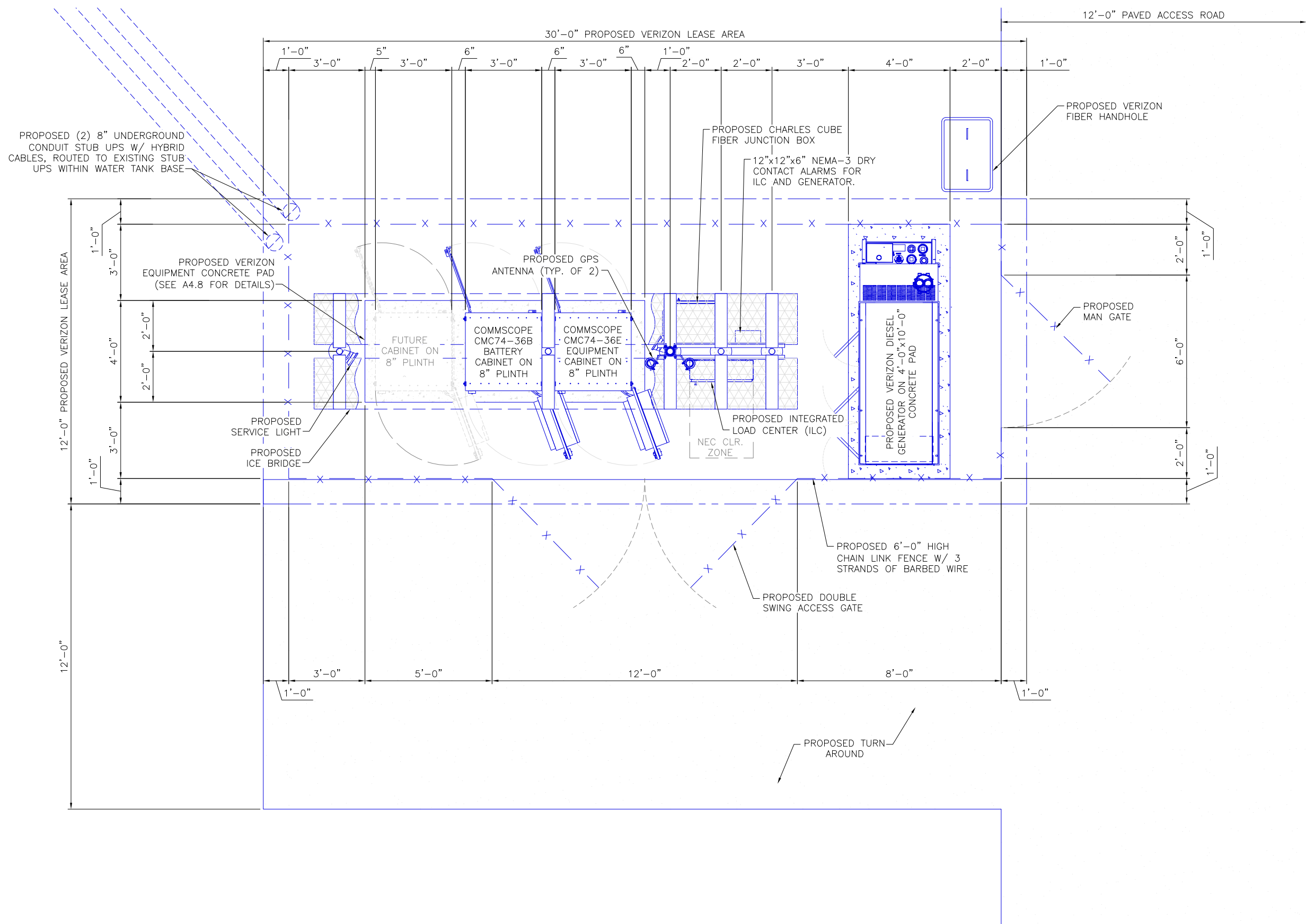


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SHEET TITLE:  
**PROPOSED COMPOUND PLAN**

SHEET NUMBER:  
**A1.0**





PREPARED FOR:

**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**

SITE NUMBER:  
**765538**

SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY

STAMP:

05/08/24



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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
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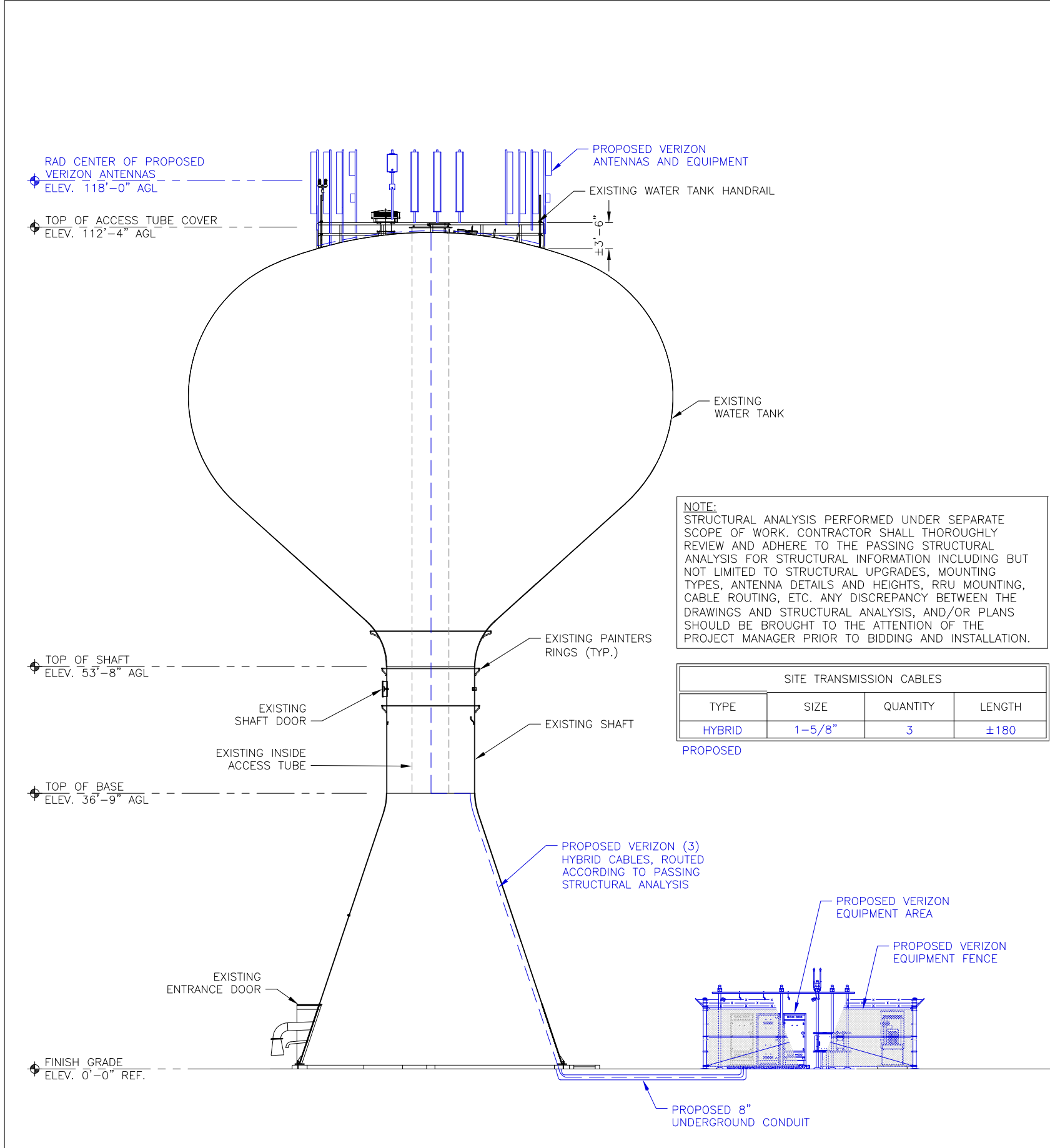
SHEET TITLE:  
**ENLARGED EQUIPMENT PLAN**

SHEET NUMBER:  
**A1.1**

**1 ENLARGED EQUIPMENT PLAN**

TRUE NORTH

FULL SIZE PLOT SCALE: 1/2" = 1'-0"  
 HALF SIZE PLOT SCALE: 1/4" = 1'-0"



**NOTE:**  
 STRUCTURAL ANALYSIS PERFORMED UNDER SEPARATE SCOPE OF WORK. CONTRACTOR SHALL THOROUGHLY REVIEW AND ADHERE TO THE PASSING STRUCTURAL ANALYSIS FOR STRUCTURAL INFORMATION INCLUDING BUT NOT LIMITED TO STRUCTURAL UPGRADES, MOUNTING TYPES, ANTENNA DETAILS AND HEIGHTS, RRU MOUNTING, CABLE ROUTING, ETC. ANY DISCREPANCY BETWEEN THE DRAWINGS AND STRUCTURAL ANALYSIS, AND/OR PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO BIDDING AND INSTALLATION.

SITE TRANSMISSION CABLES			
TYPE	SIZE	QUANTITY	LENGTH
HYBRID	1-5/8"	3	±180

**1 TOWER ELEVATION**  
 SCALE: N.T.S.



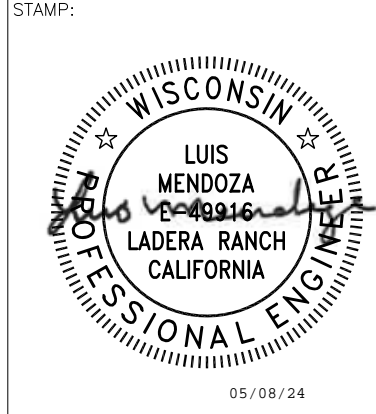
**2 EXISTING SITE ELEVATION**  
 SCALE: N.T.S.

PREPARED FOR:

**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

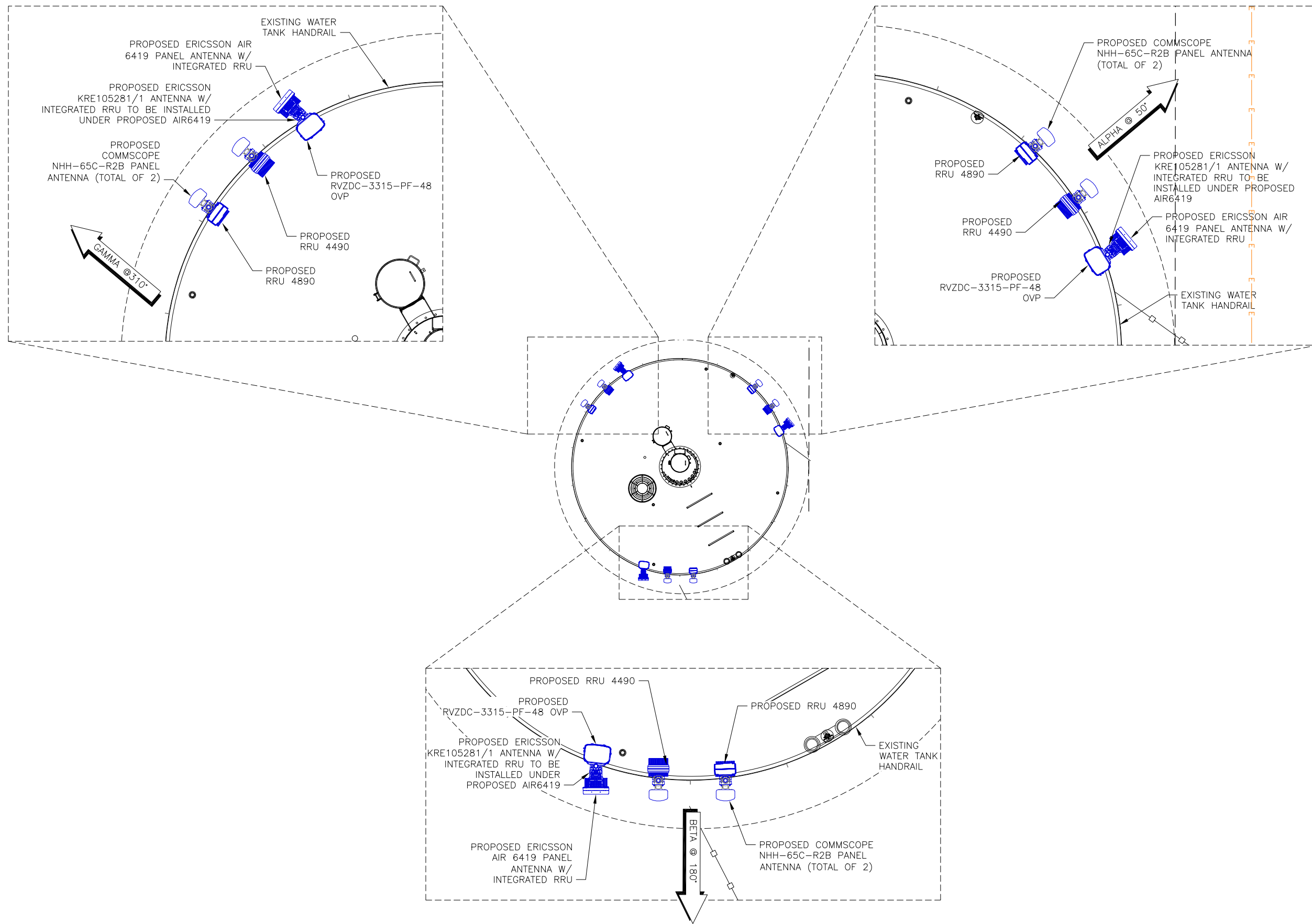
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**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY



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SHEET TITLE:  
**TOWER ELEVATION**

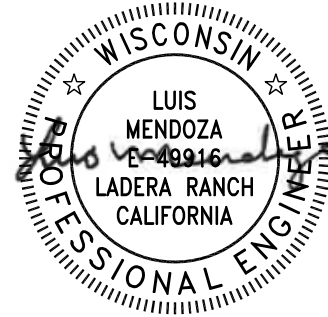
SHEET NUMBER:  
**A2.0**



**1 PROPOSED ANTENNA PLAN**  
 FULL SIZE PLOT SCALE: 3/8" = 1'-0"  
 HALF SIZE PLOT SCALE: 3/16" = 1'-0"  
 0 2' 4' 8'

PREPARED FOR:  
  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITWATER, WI 53190  
 WALWORTH COUNTY

STAMP:  
  
 05/08/24

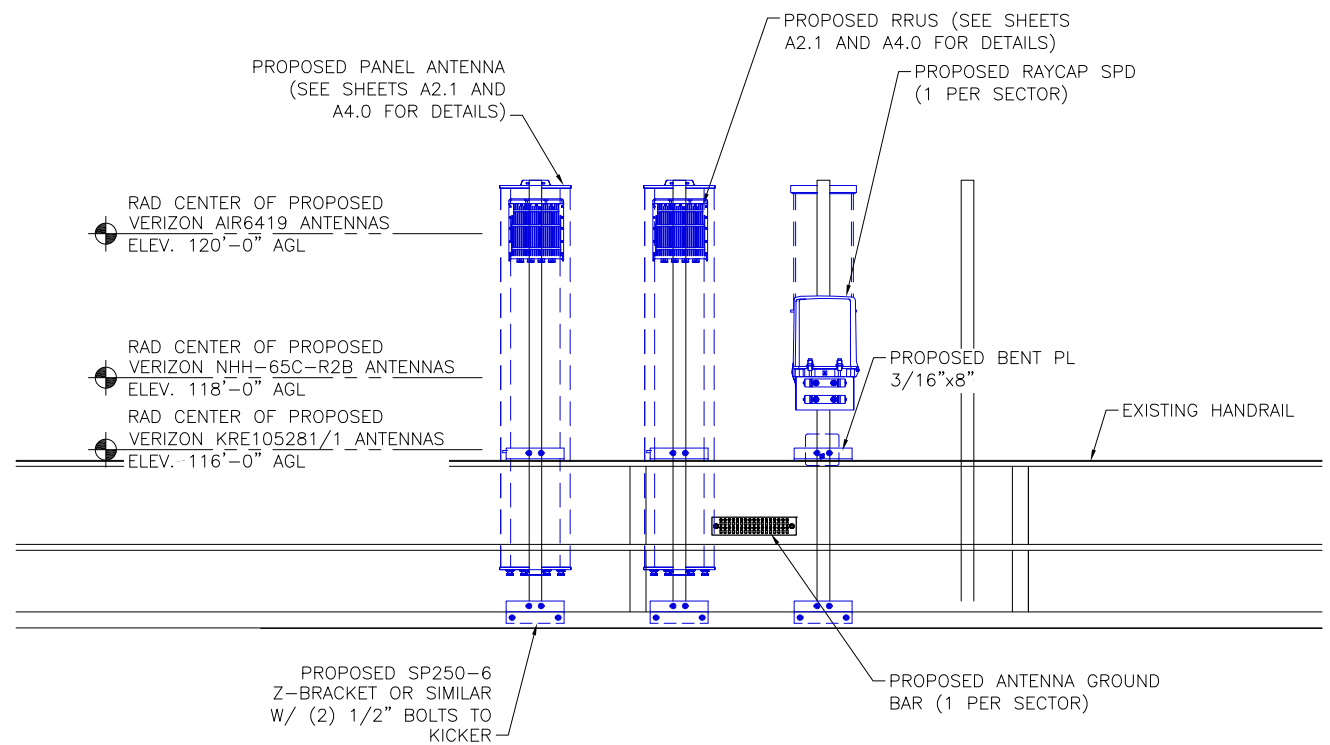


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SHEET TITLE:  
**PROPOSED ANTENNA PLAN**

SHEET NUMBER:  
**A2.1**





- NOTES:**
1. THIS DETAIL IS A GENERAL SCHEMATIC. SEE ANTENNA CONFIG. FOR ACTUAL TOWER ORIENTATION AND EQUIPMENT QUANTITIES.
  2. CONTRACTOR TO VERIFY EXISTING AIR TERMINAL EXTENDS 2' MIN. ABOVE ALL ANTENNAS AND EQUIPMENT; CONTRACTOR TO RAISE IF NECESSARY.
  3. CONTRACTOR TO INSTALL RAYCAP SPD AND REMOTE RADIO MOUNTS TO AVOID PEGS/SAFETY CLIMB AS NECESSARY.
  4. PER TIA STANDARDS: FALL PROTECTION ANCHORAGES SHALL BE AVAILABLE AT A MAXIMUM SPACING OF FOUR (4) FEET OVER THE HEIGHT NOT EQUIPPED WITH SAFETY CLIMB SYSTEM OR OVER THE LENGTH OF THE OBSTRUCTION TO THE CLIMBING FACILITY.

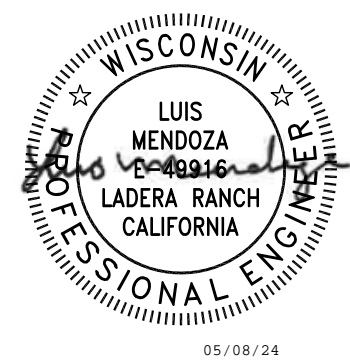
**1 ANTENNA AND EQUIPMENT MOUNTING**  
SCALE: N.T.S.

PREPARED FOR:

**verizon**  
CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
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797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
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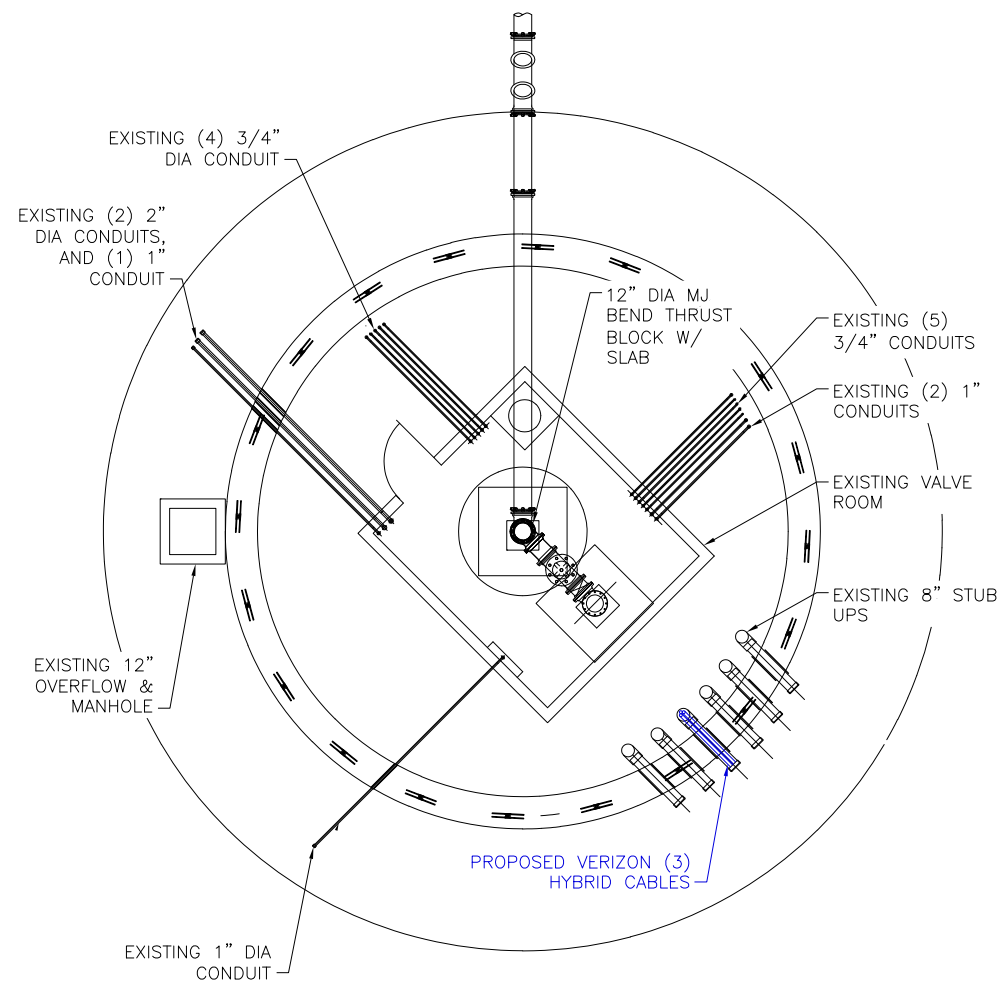
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SHEET TITLE:  
**ANTENNA AND EQUIPMENT MOUNTING**

SHEET NUMBER:  
**A2.2**



**1 TOWER BELL SECTION**  
SCALE: N.T.S.



**2 PROPOSED TOWER BELL HYBRID ROUTING**  
SCALE: N.T.S.

PREPARED FOR:

**verizon**  
CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITWATER SOUTH**  
SITE NUMBER:  
**765538**  
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITWATER, WI 53190  
WALWORTH COUNTY

STAMP:



DRAWN BY:	DP		
APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**TOWER BELL SECTION & TOWER BELL HYBRID ROUTING**

SHEET NUMBER:  
**A2.3**

**Antenna Summary**

Added														
700	1900	AWS	AWS3	CBRS	CBAND	Make	Atoll Model	Item Description	Centerline	Tip Height	Azimuth	Inst. Type	Quantity	Item ID
				LTE		ERICSSON	KRE105281/1	ANTENNA 6524, 4T4R MICRO DLRECTIONAL 340	116	116.3	50(19) 180(20) 310(21)	PHYSICAL	3	1900055217
				5G		Ericsson	AIR6419	AIR 6419 B77D Radio Unit	120	121.2	50(1) 180(2) 310(3)	PHYSICAL	3	1900483699
LTE	LTE	LTE	LTE			COMMSCOPE	NHH-65C-R2B	HEX PORT, AWS/PCS/700/850, 8 FT, 65 HBW,	118	122	50(1) 180(2) 310(3)	PHYSICAL	6	1900056293
Removed														
700	1900	AWS	AWS3	CBRS	CBAND	Make	Atoll Model	Item Description	Centerline	Tip Height	Azimuth	Inst. Type	Quantity	Item ID
No data available.														
Retained														
700	1900	AWS	AWS3	CBRS	CBAND	Make	Atoll Model	Item Description	Centerline	Tip Height	Azimuth	Inst. Type	Quantity	Item ID
No data available.														

Added: 12    Removed: 0    Retained: 0

**Equipment Summary**

Added															
Equipment Type	Location	700	1900	AWS	AWS3	CBRS	CBAND	Make	Atoll Model	Item Description	Cable Length	Cable Size	Install Type	Quantity	Item ID
RRU	Tower			LTE	LTE			ERICSSON INC	4890	DB Radio 4890HP B2+B66- Rem Radio Unit			PHYSICAL	3	1900483775
RRU	Tower						5G	Ericsson	AIR6419	AIR 6419 B77D Radio Unit			PHYSICAL	0	1900483699
RRU	Tower					LTE		ERICSSON INC	4408 B48 DC	RADIO 4408 B48 HW 1			PHYSICAL	3	1900068745
RRU	Tower	LTE						ERICSSON INC	4490	DB Radio 4490HP B5+B13- Rem Radio Unit			PHYSICAL	3	1900483084
Alarm	Tower							RAYCAPINC-001	3315-ALM-RS485	RETROFIT FOR THE 60VP DIST BOX			PHYSICAL	3	0000000019000700
Hybrid Cable	Tower							COMMSCOPE-001	HFT1206-24SV4-xxxG			1-5/8 inch	PHYSICAL	3	
OVP Box	Tower							RAYCAPINC-001	RVZDC-3315-PF-48	TOWER TOP AND BASE POWER PROTECTION FIBE			PHYSICAL	3	000000001900422
Removed															
Equipment Type	Location	700	1900	AWS	AWS3	CBRS	CBAND	Make	Atoll Model	Item Description	Cable Length	Cable Size	Install Type	Quantity	Item ID
No data available.															
Retained															
Equipment Type	Location	700	1900	AWS	AWS3	CBRS	CBAND	Make	Atoll Model	Item Description	Cable Length	Cable Size	Install Type	Quantity	Item ID
No data available.															

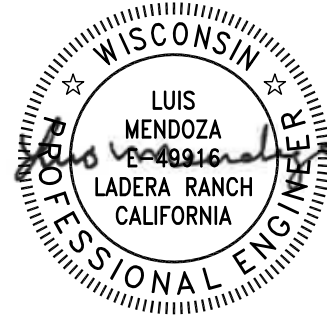
PREPARED FOR:



CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
SITE NUMBER:  
**765538**  
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY

STAMP:



05/08/24

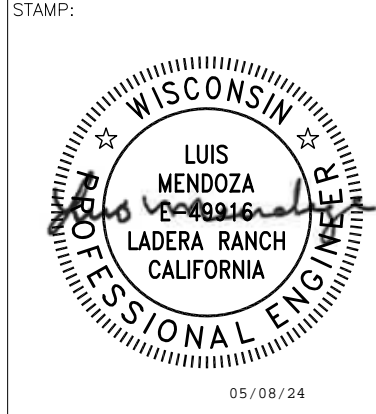


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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**RF SUMMARY**  
SHEET NUMBER:  
**A3.0**

PREPARED FOR:  
  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
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 SITE NUMBER:  
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 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY



DRAWN BY: DP  
 APPROVED BY: LM  
 DATE DRAWN: 04/30/24

REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**RF SUMMARY**

SHEET NUMBER:  
**A3.1**

Service Info

AWS1 LTE			
Sector	01	02	03
Azimuth	50	180	310
Cell / ENode B ID			
Antenna Model	NHH-65C-R2B	NHH-65C-R2B	NHH-65C-R2B
Antenna Make	COMMSCOPE	COMMSCOPE	COMMSCOPE
Antenna Centerline(Ft)	118	118	118
Mechanical Down-Tilt(Deg.)	0	0	0
Electrical Down-Tilt	0	0	0
Tip Height	122	122	122
Regulatory Power	377.19	377.19	377.19
DLEAFPCN	67086	67086	67086
Channel Bandwidth(MHz)	10	10	10
Total ERP (W)	2069.19	2069.19	2069.19
TMA Model			
RRU Make	Ericsson	Ericsson	Ericsson
RRU Model	4890	4890	4890
Number of Tx, Rx Lines	4.4	4.4	4.4
Position			
Transmitter Id	15896473	15896478	15896468
Source	ATOLL_API	ATOLL_API	ATOLL_API

CBRS 3.5 GHz			
Sector	19	20	19
Azimuth	50	50	50
Cell / ENode B ID			
Antenna Model	KRE105281/1	KRE105281/1	KRE105281/1
Antenna Make	ERICSSON	ERICSSON	ERICSSON
Antenna Centerline(Ft)	116	116	116
Mechanical Down-Tilt(Deg.)	0	0	0
Electrical Down-Tilt	0	0	0
Tip Height	9	9	9
Regulatory Power	116.3	116.3	116.3
DLEAFPCN	24.98	24.98	24.98
Channel Bandwidth(MHz)	55990	56090	55990
Total ERP (W)	10	10	10
TMA Model			
RRU Make	Ericsson	Ericsson	Ericsson
RRU Model	4408 B48 DC	4408 B48 DC	4408 B48 DC
Number of Tx, Rx Lines	4.4	4.4	4.4
Position			
Transmitter Id	15896845	15896854	15896863
Source	ATOLL_API	ATOLL_API	ATOLL_API

700 MHz LTE			
Sector	01	02	03
Azimuth	50	180	310
Cell / ENode B ID			
Antenna Model	NHH-65C-R2B	NHH-65C-R2B	NHH-65C-R2B
Antenna Make	COMMSCOPE	COMMSCOPE	COMMSCOPE
Antenna Centerline(Ft)	118	118	118
Mechanical Down-Tilt(Deg.)	0	0	0
Electrical Down-Tilt	0	0	0
Tip Height	122	122	122
Regulatory Power	149.82	149.82	149.82
DLEAFPCN	5230	5230	5230
Channel Bandwidth(MHz)	10	10	10
Total ERP (W)	1348.34	1348.34	1348.34
TMA Model			
RRU Make	Ericsson	Ericsson	Ericsson
RRU Model	4490	4490	4490
Number of Tx, Rx Lines	4.4	4.4	4.4
Position			
Transmitter Id	15896470	15896475	15896480
Source	ATOLL_API	ATOLL_API	ATOLL_API

1900 MHz LTE			
Sector	01	02	03
Azimuth	50	180	310
Cell / ENode B ID			
Antenna Model	NHH-65C-R2B	NHH-65C-R2B	NHH-65C-R2B
Antenna Make	COMMSCOPE	COMMSCOPE	COMMSCOPE
Antenna Centerline(Ft)	118	118	118
Mechanical Down-Tilt(Deg.)	0	0	0
Electrical Down-Tilt	0	0	0
Tip Height	122	122	122
Regulatory Power	251.46	251.46	251.46
DLEAFPCN	875	875	875
Channel Bandwidth(MHz)	15	15	15
Total ERP (W)	2069.19	2069.19	2069.19
TMA Model			
RRU Make	Ericsson	Ericsson	Ericsson
RRU Model	4890	4890	4890
Number of Tx, Rx Lines	4.4	4.4	4.4
Position			
Transmitter Id	15896471	15896476	15896481
Source	ATOLL_API	ATOLL_API	ATOLL_API

2100 MHz LTE			
Sector	01	02	03
Azimuth	50	180	310
Cell / ENode B ID			
Antenna Model	NHH-65C-R2B	NHH-65C-R2B	NHH-65C-R2B
Antenna Make	COMMSCOPE	COMMSCOPE	COMMSCOPE
Antenna Centerline(Ft)	118	118	118
Mechanical Down-Tilt(Deg.)	0	0	0
Electrical Down-Tilt	0	0	0
Tip Height	122	122	122
Regulatory Power	188.59	188.59	188.59
DLEAFPCN	2050	2050	2050
Channel Bandwidth(MHz)	20	20	20
Total ERP (W)	2069.19	2069.19	2069.19
TMA Model			
RRU Make	Ericsson	Ericsson	Ericsson
RRU Model	4890	4890	4890
Number of Tx, Rx Lines	4.4	4.4	4.4
Position			
Transmitter Id	15896472	15896477	15896482
Source	ATOLL_API	ATOLL_API	ATOLL_API

CBAND			
Sector	0001	0002	0003
Azimuth	50	180	310
Cell / ENode B ID			
Antenna Model	AIR6419	AIR6419	AIR6419
Antenna Make	Ericsson	Ericsson	Ericsson
Antenna Centerline(Ft)	120	120	120
Mechanical Down-Tilt(Deg.)	0	0	0
Electrical Down-Tilt	0	0	0
Tip Height	121.2	121.2	121.2
Regulatory Power	690.52	690.52	690.52
DLEAFPCN	650006_654652	650006_654652	650006_654652
Channel Bandwidth(MHz)	100.40	100.40	100.40
Total ERP (W)	27989.81	27989.81	27989.81
TMA Model			
RRU Make	Ericsson	Ericsson	Ericsson
RRU Model	AIR6419	AIR6419	AIR6419
Number of Tx, Rx Lines	2.2	2.2	2.2
Position			
Transmitter Id	15896474	15896479	15896469
Source	ATOLL_API	ATOLL_API	ATOLL_API

ERICSSON		
21	21	21
118	310	310
0		
9	KRE105281/1	KRE105281/1
116.3		
24.98	ERICSSON	ERICSSON
56090	118	118
0	0	0
34.26	9	9
	116.3	116.3
	24.98	24.98
	55990	55990
Ericsson	10	10
4408 B48 DC	34.26	34.26
4.4		
15896856	Ericsson	Ericsson
ATOLL_API	4408 B48 DC	4408 B48 DC
	4.4	4.4
	15896853	15896850
	ATOLL_API	ATOLL_API

700 MHz LTE		
Sector	01	02
Azimuth	50	180
Cell / ENode B ID		
Antenna Model	NHH-65C-R2B	NHH-65C-R2B
Antenna Make	COMMSCOPE	COMMSCOPE
Antenna Centerline(Ft)	118	118
Mechanical Down-Tilt(Deg.)	0	0
Electrical Down-Tilt	0	0
Tip Height	122	122
Regulatory Power	149.82	149.82
DLEAFPCN	5230	5230
Channel Bandwidth(MHz)	10	10
Total ERP (W)	1348.34	1348.34
TMA Model		
RRU Make	Ericsson	Ericsson
RRU Model	4490	4490
Number of Tx, Rx Lines	4.4	4.4
Position		
Transmitter Id	15896470	15896475
Source	ATOLL_API	ATOLL_API

1900 MHz LTE		
Sector	01	02
Azimuth	50	180
Cell / ENode B ID		
Antenna Model	NHH-65C-R2B	NHH-65C-R2B
Antenna Make	COMMSCOPE	COMMSCOPE
Antenna Centerline(Ft)	118	118
Mechanical Down-Tilt(Deg.)	0	0
Electrical Down-Tilt	0	0
Tip Height	122	122
Regulatory Power	251.46	251.46
DLEAFPCN	875	875
Channel Bandwidth(MHz)	15	15
Total ERP (W)	2069.19	2069.19
TMA Model		
RRU Make	Ericsson	Ericsson
RRU Model	4890	4890
Number of Tx, Rx Lines	4.4	4.4
Position		
Transmitter Id	15896471	15896476
Source	ATOLL_API	ATOLL_API

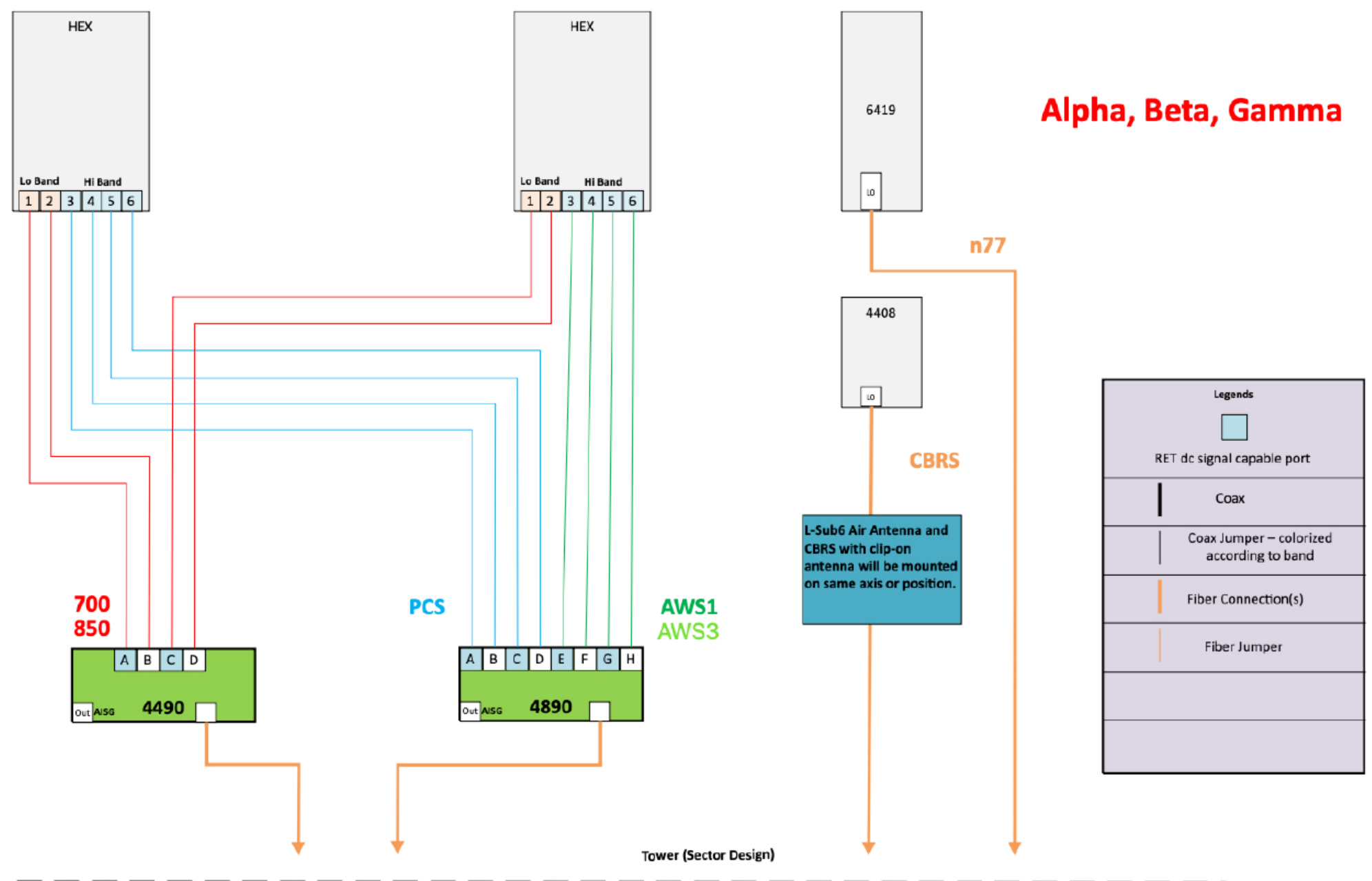
2100 MHz LTE		
Sector	01	02
Azimuth	50	180
Cell / ENode B ID		
Antenna Model	NHH-65C-R2B	NHH-65C-R2B
Antenna Make	COMMSCOPE	COMMSCOPE
Antenna Centerline(Ft)	118	118
Mechanical Down-Tilt(Deg.)	0	0
Electrical Down-Tilt	0	0
Tip Height	122	122
Regulatory Power	188.59	188.59
DLEAFPCN	2050	2050
Channel Bandwidth(MHz)	20	20
Total ERP (W)	2069.19	2069.19
TMA Model		
RRU Make	Ericsson	Ericsson
RRU Model	4890	4890
Number of Tx, Rx Lines	4.4	4.4
Position		
Transmitter Id	15896472	15896477
Source	ATOLL_API	ATOLL_API

CBAND		
Sector	0001	0002
Azimuth	50	180
Cell / ENode B ID		
Antenna Model	AIR6419	AIR6419
Antenna Make	Ericsson	Ericsson
Antenna Centerline(Ft)	120	120
Mechanical Down-Tilt(Deg.)	0	0
Electrical Down-Tilt	0	0
Tip Height	121.2	121.2
Regulatory Power	690.52	690.52
DLEAFPCN	650006_654652	650006_654652
Channel Bandwidth(MHz)	100.40	100.40
Total ERP (W)	27989.81	27989.81
TMA Model		
RRU Make	Ericsson	Ericsson
RRU Model	AIR6419	AIR6419
Number of Tx, Rx Lines	2.2	2.2
Position		
Transmitter Id	15896474	15896479
Source	ATOLL_API	ATOLL_API

Service Comments

NOTE:  
 1. RF DESIGN AND DETAILS ON THIS SHEET PROVIDED BY VERIZON AND ARE INCLUDED FOR CONVENIENCE ONLY. FINAL RF DESIGN TO BE VERIFIED WITH VERIZON PRIOR TO CONSTRUCTION. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

**1 SERVICE INFORMATION**  
 SCALE: N.T.S.



L-Sub6 Air Antenna and CBRS with clip-on antenna will be mounted on same axis or position.

**Notes:**

- Antenna view is from the back of the antennas
- Colors of connection are just for clarification
- Follow RET cabling standard for non-Smart Bias-T Ants
- Non-RF path elements like OVP/HTTA Box and Hybrid cables not shown
- Size of objects in drawing doesn't reflect equipment true dimension

**NOTE:**  
 1. RF DESIGN AND DETAILS ON THIS SHEET PROVIDED BY VERIZON AND ARE INCLUDED FOR CONVENIENCE ONLY. FINAL RF DESIGN TO BE VERIFIED WITH VERIZON PRIOR TO CONSTRUCTION. IF SIGNIFICANT CHANGES OR DISCREPANCIES ARE IDENTIFIED, CONTACT ENGINEER PRIOR TO INSTALLATION.

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 D/B/A VERIZON WIRELESS  
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A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**ANTENNA PLUMBING DIAGRAM**

SHEET NUMBER:  
**A3.2**



### NHH-65C-R2B



6-port sector antenna, 2x 698–896 and 4x 1695–2360 MHz, 65° HPBW, 2x RET. Both high bands share the same electrical tilt.

- Interleaved dipole technology providing for attractive, low wind load mechanical package
- Internal SBT on low and high band allow remote RET control from the radio over the RF Jumper cable
- Separate RS-485 RET input/output for low and high band
- One RET for low band and one RET for both high bands to ensure same tilt level for 4x Rx or 4x MIMO

#### General Specifications

<b>Antenna Type</b>	Sector
<b>Band</b>	Multiband
<b>Color</b>	Light gray
<b>Grounding Type</b>	RF connector body grounded to reflector and mounting bracket
<b>Performance Note</b>	Outdoor usage   Wind loading figures are validated by wind tunnel measurements described in white paper WP-112534-EN
<b>Radome Material</b>	Fiberglass, UV resistant
<b>Radiator Material</b>	Copper   Low loss circuit board
<b>Reflector Material</b>	Aluminum
<b>RF Connector Interface</b>	4.3-10 Female
<b>RF Connector Location</b>	Bottom
<b>RF Connector Quantity, high band</b>	4
<b>RF Connector Quantity, low band</b>	2
<b>RF Connector Quantity, total</b>	6

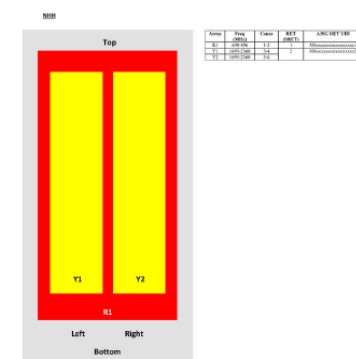
#### Remote Electrical Tilt (RET) Information

<b>RET Interface</b>	8-pin DIN Female   8-pin DIN Male
<b>RET Interface, quantity</b>	2 female   2 male
<b>Input Voltage</b>	10–30 Vdc
<b>Internal Bias Tee</b>	Port 1   Port 3
<b>Internal RET</b>	High band (1)   Low band (1)
<b>Power Consumption, idle state, maximum</b>	2 W
<b>Power Consumption, normal conditions, maximum</b>	13 W

### NHH-65C-R2B

<b>Protocol</b>	3GPP/LTE 2.0 (Single RET)
<b>Dimensions</b>	
<b>Width</b>	301 mm   11.85 in
<b>Depth</b>	180 mm   7.087 in
<b>Length</b>	2438 mm   95.984 in
<b>Net Weight, without mounting kit</b>	23.4 kg   51.988 lb

#### Array Layout



View from the front of the antenna (Notes of colored boxes are not true depictions of array size)

#### Electrical Specifications

<b>Impedance</b>	50 ohm
<b>Operating Frequency Band</b>	1695 – 2360 MHz   698 – 896 MHz

### NHH-65C-R2B

<b>Polarization</b>	±45°					
<b>Total Input Power, maximum</b>	900 W @ 50°10'					

#### Electrical Specifications

Frequency Band, MHz	698–806	806–896	1695–1880	1850–1990	1920–2200	2300–2360
<b>Gain, dBi</b>	16	16.1	17.3	17.7	18.3	18.2
<b>Beamwidth, Horizontal, degrees</b>	65	62	7.4	66	62	59
<b>Beamwidth, Vertical, degrees</b>	9	7.9	5.6	5.2	4.9	4.5
<b>Beam Tilt, degrees</b>	0–11	0–11	0–7	0–7	0–7	0–7
<b>USLS (First Lobe), dB</b>	21	18	19	20	22	18
<b>Front-to-Back Ratio at 180°, dB</b>	35	31	33	29	29	30
<b>Isolation, Cross Polarization, dB</b>	25	25	25	25	25	25
<b>Isolation, Inter-band, dB</b>	30	30	30	30	30	30
<b>VSWR   Return loss, dB</b>	1.51/14.0	1.51/14.0	1.51/14.0	1.51/14.0	1.51/14.0	1.51/14.0
<b>PIM, 3rd Order, 2 x 20 W, dBc</b>	-153	-153	-153	-153	-153	-153
<b>Input Power per Port, maximum, watts</b>	400	400	350	350	350	300

#### Electrical Specifications, BASTA

Frequency Band, MHz	698–806	806–896	1695–1880	1850–1990	1920–2200	2300–2360
<b>Gain by all Beam Tilts, average, dBi</b>	15.8	15.9	16.9	17.5	18	17.9
<b>Gain by all Beam Tilts Tolerance, dB</b>	±0.4	±0.4	±0.4	±0.3	±0.6	±0.4
<b>Gain by Beam Tilt, average, dBi</b>	0°/115.9 5°/115.9 11°/115.5	0°/115.8 5°/115.8 11°/115.7	0°/115.9 5°/115.9 11°/115.4	0°/117.4 4°/117.5 11°/117.4	0°/117.9 4°/118.0 11°/117.9	0°/117.8 4°/117.9 11°/117.8
<b>Beamwidth, Horizontal Tolerance, degrees</b>	±1.2	±1.6	±3.3	±3.4	±6	±3.1
<b>Beamwidth, Vertical Tolerance, degrees</b>	±0.6	±0.4	±0.3	±0.2	±0.2	±0.2
<b>USLS, beampeak to 20° above beampeak, dB</b>	15	14	17	16	17	15
<b>Front-to-Back Total Power at 180° ± 30°, dB</b>	25.6	23.8	28	25	25	24
<b>CPR at Boresight, dB</b>	18	25	20	25	20	17

### NHH-65C-R2B

<b>CPR at Sector, dB</b>	15	9	11	10	8	2
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#### Mechanical Specifications

<b>Effective Projective Area (EPA), frontal</b>	0.37 m²   3.983 ft²
<b>Effective Projective Area (EPA), lateral</b>	0.31 m²   3.337 ft²
<b>Wind Loading @ Velocity, frontal</b>	395.0 N @ 150 km/h (88.3 lbf @ 150 km/h)
<b>Wind Loading @ Velocity, lateral</b>	330.0 N @ 150 km/h (74.2 lbf @ 150 km/h)
<b>Wind Loading @ Velocity, maximum</b>	757.0 N @ 150 km/h (170.2 lbf @ 150 km/h)
<b>Wind Loading @ Velocity, rear</b>	398.0 N @ 150 km/h (89.5 lbf @ 150 km/h)
<b>Wind Speed, maximum</b>	241 km/h   149.75 mph

#### Packaging and Weights

<b>Width, packed</b>	380 mm   14.961 in
<b>Depth, packed</b>	295 mm   11.614 in
<b>Length, packed</b>	2571 mm   101.221 in
<b>Weight, gross</b>	35.9 kg   79.146 lb

#### Regulatory Compliance/Certifications

<b>Agency</b>	<b>Classification</b>
CHINA-ROHS	Above maximum concentration value
ISO 9001:2015	Designed, manufactured and/or distributed under this quality management system
ROHS	Compliant/Exempted

#### Included Products

BSAMNT-3	Wide Profile Antenna Downtilt Mounting Kit for 2.4 - 4.5 in (60 - 115 mm) OD round members. Kit contains one scissor top bracket set and one bottom bracket set.
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#### \* Footnotes

<b>Performance Note</b>	Severe environmental conditions may degrade optimum performance
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## 1 NHH-65C-R2B ANTENNA DETAIL

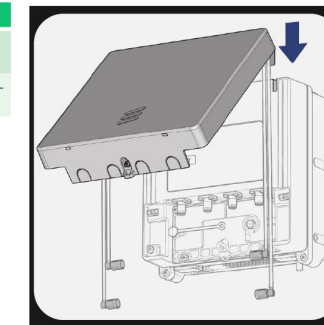
SCALE: N.T.S.

### Optional integrated antenna

Item	Description
KRE105280/1	Antenna 6523; 4T4R Micro directional 1710-2200 MHz (Radio 4402)
KRE105281/1	Antenna 6524; 4T4R Micro directional 3400-3800 MHz (Radio 4408)



• RF jumpers included and part of optional antenna product



### Radio specifics

- 4TX/4RX
- Tx Power 4x5W
- Operating Bands: B66A and B2/25
- IBW up to 90 MHz
- Up to 6 LTE carriers
- 2x 2.5/5/9.8/10.1Gbps CPRI
- AC or -48 VDC Support Units. (Single new rev compared to 2283, dual SUP support release TBD)
- Integrated (Antenna 6523) or external antenna
- RF Connector: NEX18
- 2 external alarm
- IP 65
- -40 to +55°C



Radio 4402

- 4TX/4RX
- Tx Power 4x5W
- Operating Bands: B48/ CBRS
- Up to 6 LTE carriers, IBW (up to 150 MHz ENH dependency)
- 2x 2.5/5/9.8/10.1Gbps CPRI
- AC or -48 VDC Support Units. (Single new version compared to 2288, dual SUP support release TBD)
- Integrated (Antenna 6524) or external antenna
- RF Connector: NEX18
- 2 external alarm
- IP 65
- -40 to +55°C



Radio 4408

DIMENSIONS (LxWxD): 9"x8"x5"  
WEIGHT: 20 LBS

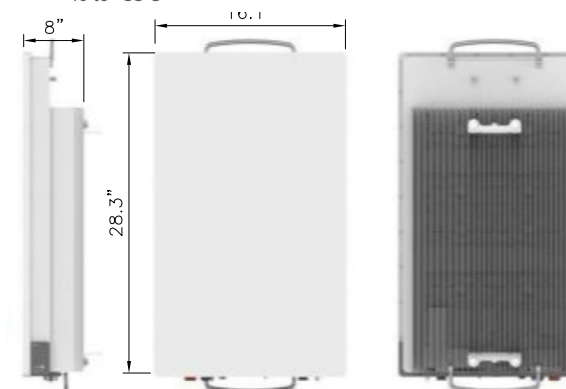
## 2 KRE105281/1 ANTENNA/RRU DETAIL

SCALE: N.T.S.

### AIR 6419 B77D/ C-Band

- Advanced Antenna System (AAS)
- 64TX/64RX with 192 AE, (3x1)x(4x8) x-pol
- Up to 320W, PSD 4W/MHz
- EIRP up to 79 dBm
- Up to 200 MHz IBW
- Max total carrier BW: 200MHz for NR
- Support number of layers: DL/UL 16/8
- 3 x 25 Gbps eCPRI
- -48 VDC (3-wire or 2-wire), Fuse Minimum 40 A, maximum 50 A
- Power consumption: TBD
- -40 to +55°C

AIR 6419 B77D/ C-Band	Height	Width	Depth	Weight
wo protruding items	28.3 in (717 mm)	16.1 in (408 mm)	8.0 in (202 mm)	71 lbs (32 Kg)
w protruding items	31.3 in (793 mm)	16.1 in (408 mm)	9.8 in (248 mm)	



## 3 AIR6419 ANTENNA DETAIL

SCALE: N.T.S.

PREPARED FOR:

**verizon**  
CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
SITE NUMBER:  
**765538**

SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY

STAMP:

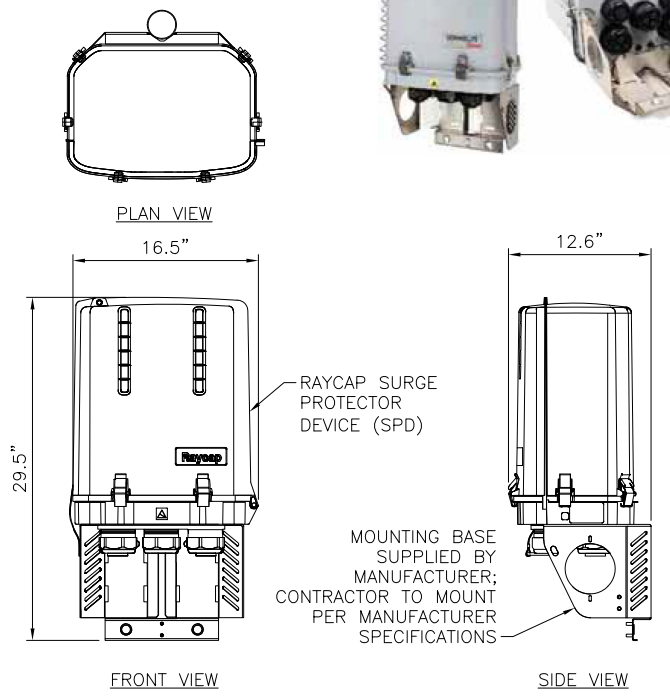


<b>DRAWN BY:</b>	DP		
<b>APPROVED BY:</b>	LM		
<b>DATE DRAWN:</b>	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
O	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**ANTENNA DETAILS**

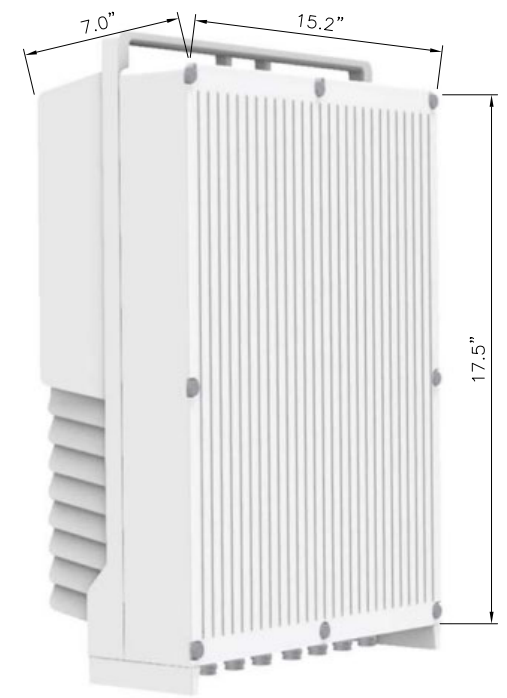
SHEET NUMBER:  
**A4.0**

MANUFACTURER: RAYCAP  
 MODEL: RVZDC-3315-PF-48  
 DIMENSIONS: 29.5"x16.5"x12.6" (HxWxD)  
 WEIGHT: 30 LBS



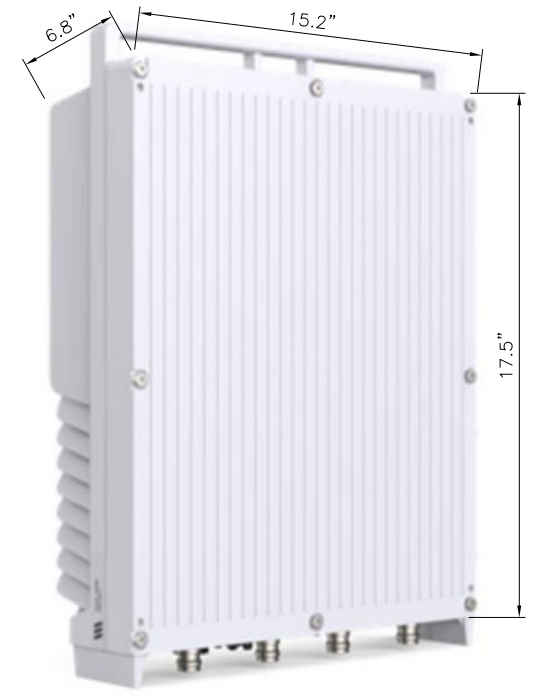
**1 RAYCAP SURGE PROTECTOR DEVICE (SPD)**  
 SCALE: N.T.S.

MANUFACTURER: ERICSSON  
 MODEL: RRU 4890  
 DIMENSIONS: 17.5"x15.2"x7.0" (HxWxD)  
 WEIGHT: 69.5 LBS



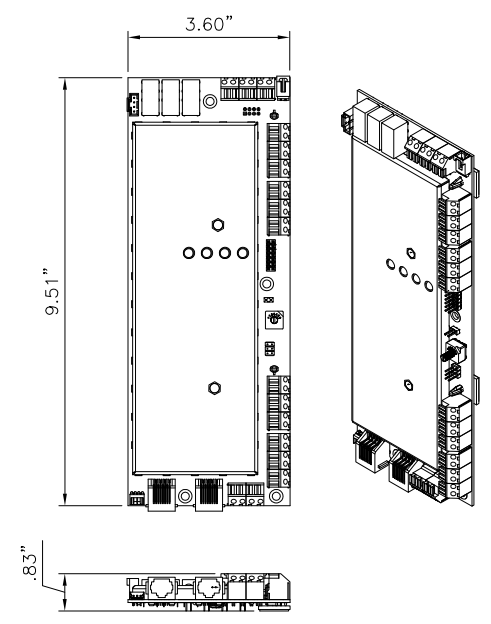
**2 REMOTE RADIO UNIT (RRU)**  
 SCALE: N.T.S.

MANUFACTURER: ERICSSON  
 MODEL: RRU 4490  
 DIMENSIONS: 17.5"x15.2"x6.8" (HxWxD)  
 WEIGHT: 68.4 LBS

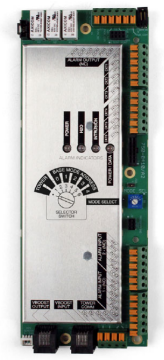


**3 REMOTE RADIO UNIT (RRU)**  
 SCALE: N.T.S.

MANUFACTURER: RAYCAP  
 MODEL: 3315-ALM-RS485  
 DIMENSIONS: 9.51" X 3.60" X .83" (HXWXD)  
 WEIGHT: 1.1 LBS (.50 KG)



**4 ALARM 3315-ALM-RS485**  
 SCALE: N.T.S.



PREPARED FOR:

CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY

STAMP:



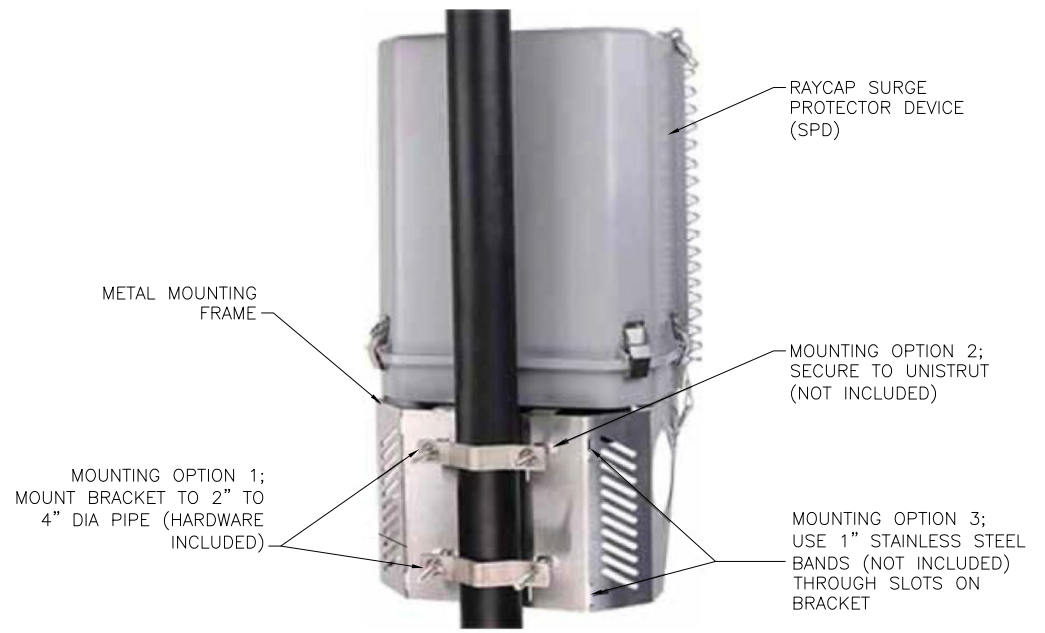
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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**EQUIPMENT DETAILS**

SHEET NUMBER:  
**A4.1**



MANUFACTURER: RAYCAP  
 MODEL: MOUNTING BRACKET  
 INCLUDED WITH RAYCAP SPD.



**1 RAYCAP SURGE PROTECTOR DEVICE (SPD) MOUNT**  
 SCALE: N.T.S.

MANUFACTURER: ERICSSON  
 MODEL: SXX 109 1973/2  
 WEIGHT: 3.75 LBS  
 BRACKET FOR ATTACHING TWO STANDARD OR HEAVY ERS UNITS WITH A HOLE PATTERN OF CC 30 MM AND/OR CC 80 MM., EITHER TO A POLE, WALL, ANGLE TOWER OR SQUARE TUBE.  
 BOLTS FOR ATTACHING TWO ERS UNITS ARE SUPPLIED IN THE PACKAGE.

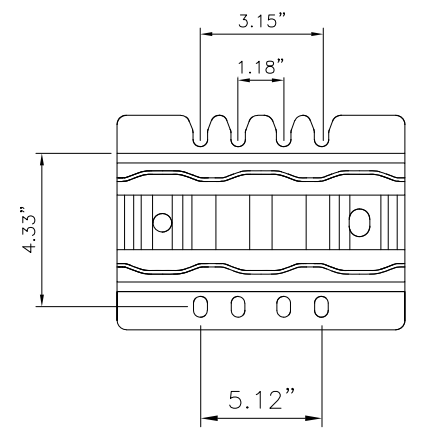


PLATE MOUNTING PATTERN

**2 DUAL ERS BRACKET**  
 SCALE: N.T.S.



DUAL RADIO ATTACHMENT

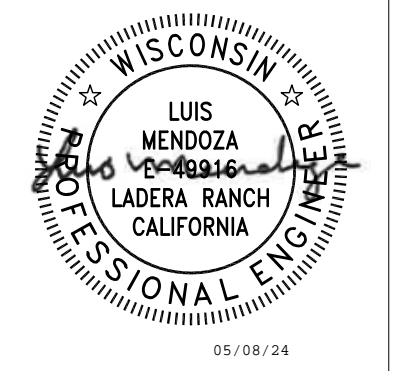


ISOMETRIC VIEW

PREPARED FOR:  
**verizon**  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

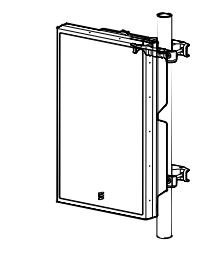
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**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY

STAMP:

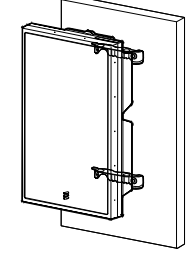


MANUFACTURER: ERICSSON  
 MODEL: SXX 109 2064/1 (SWIVEL ANGLE)  
 SXX 109 2065/1 (SWIVEL ANGLE AND TILT ANGLE)  
 WEIGHT: 9.7 LBS. (SWIVEL ANGLE)  
 13.0 LBS. (SWIVEL ANGLE AND TILT ANGLE)

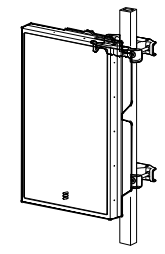
POLE	CIRCULAR	SQUARE	90° ANGLE
MIN. OUTER DIMENSION	3" DIA.	2" x 2"	2" x 2"
MAX. OUTER DIMENSION	4.5" DIA.	3.15" x 3.15"	3.15" x 3.15"



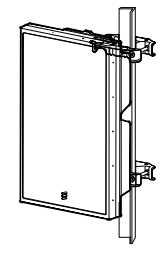
POLAR MOUNT (CIRCULAR)



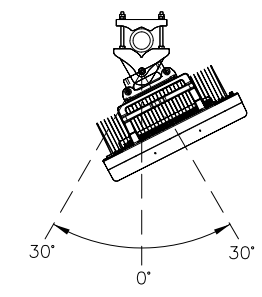
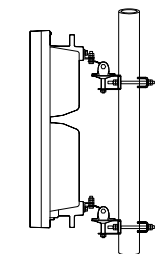
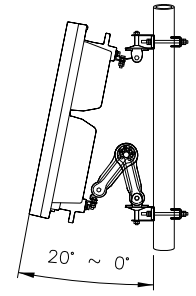
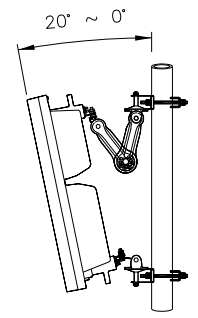
WALL MOUNT



POLAR MOUNT (SQUARE)



POLAR MOUNT (90° ANGLE)



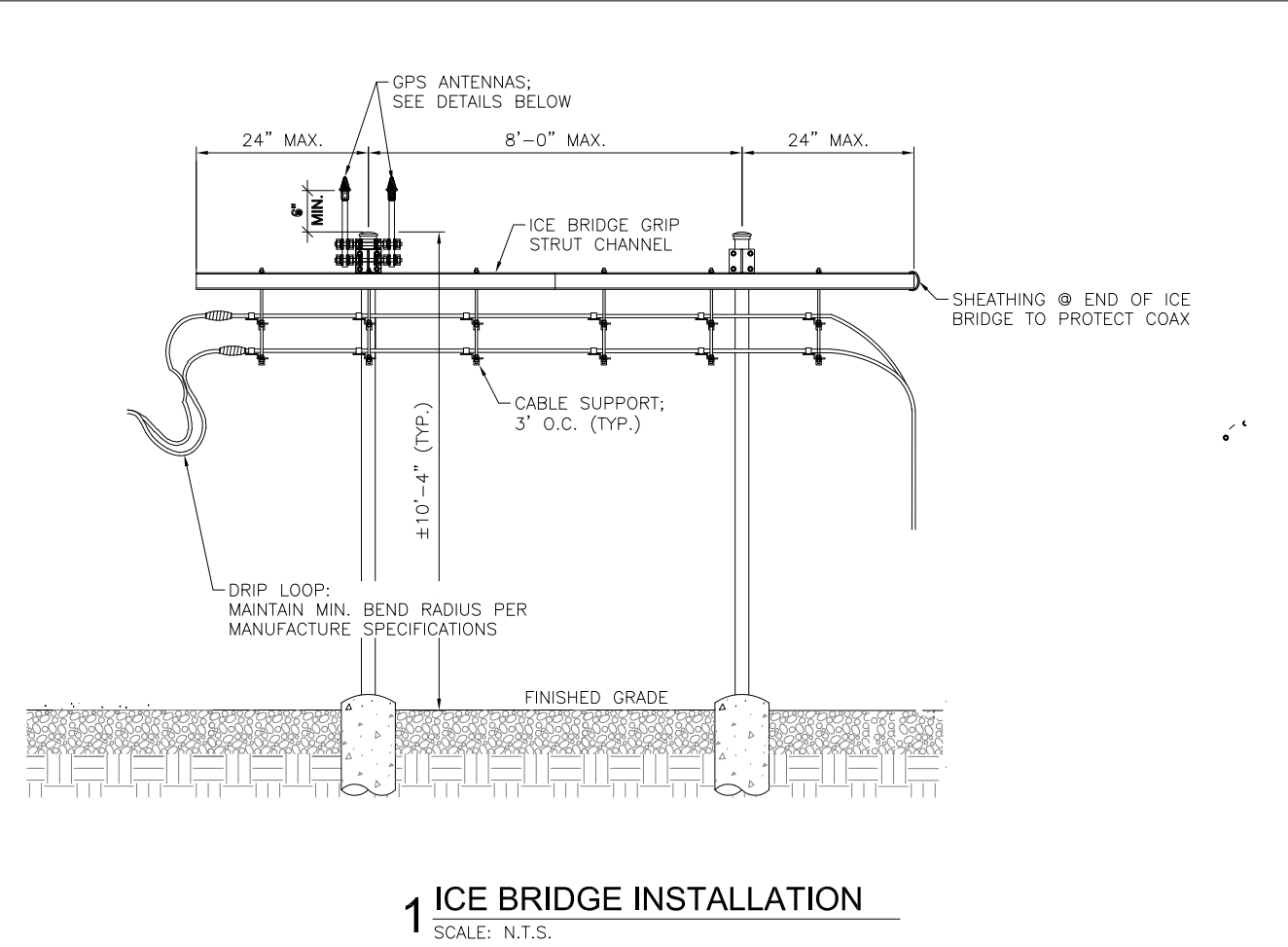
**3 ERICSSON SWIVEL MOUNT KIT**  
 SCALE: N.T.S.



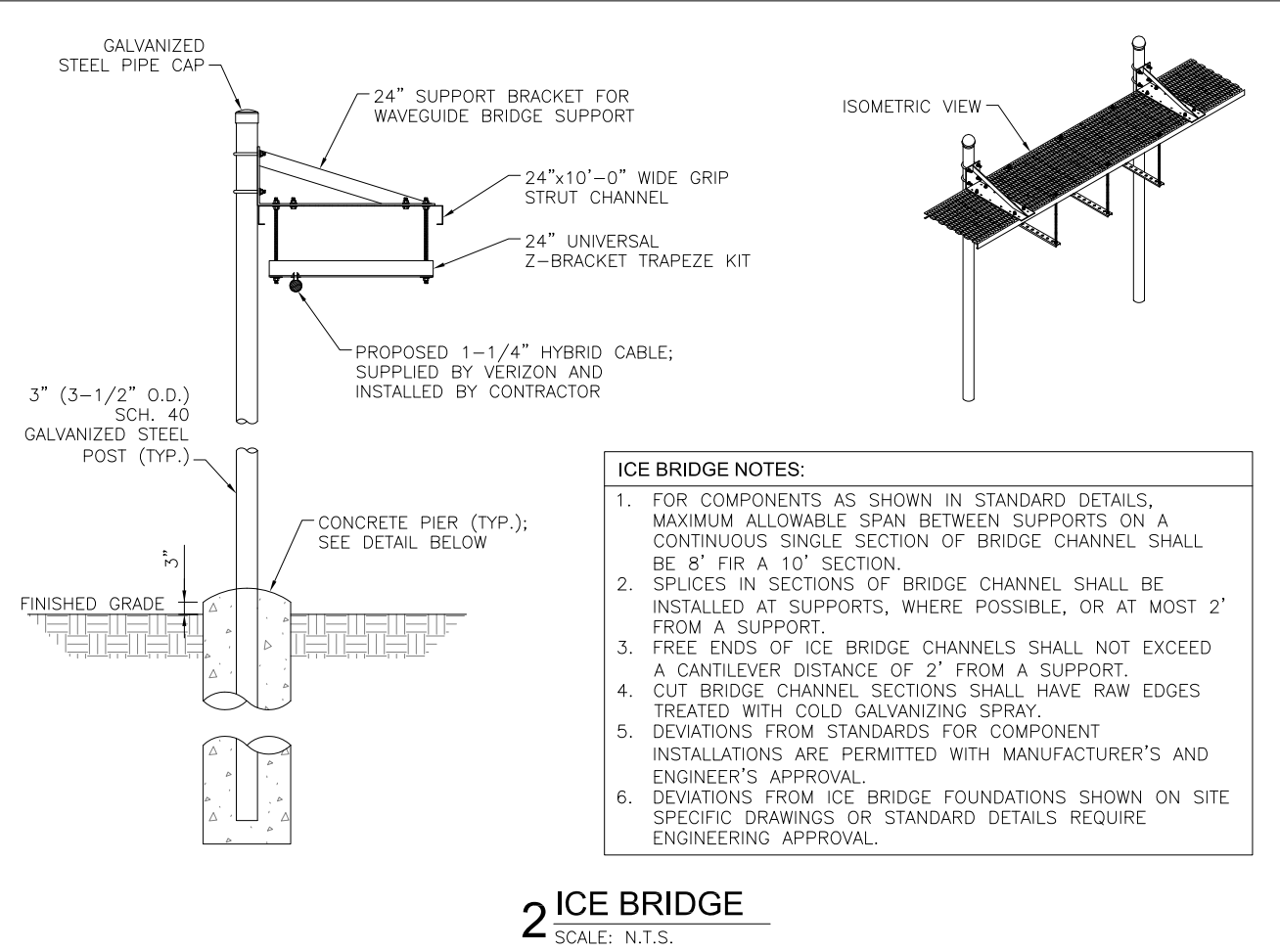
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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**EQUIPMENT DETAILS**

SHEET NUMBER:  
**A4.2**

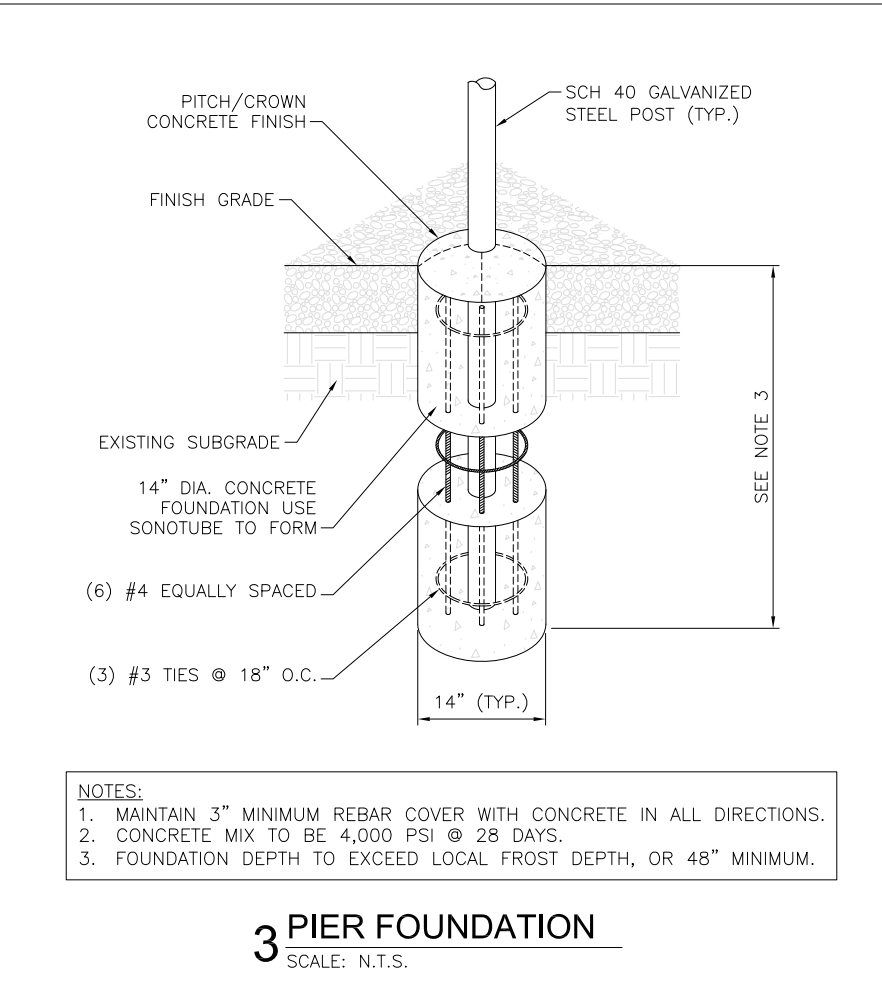


**1 ICE BRIDGE INSTALLATION**  
SCALE: N.T.S.



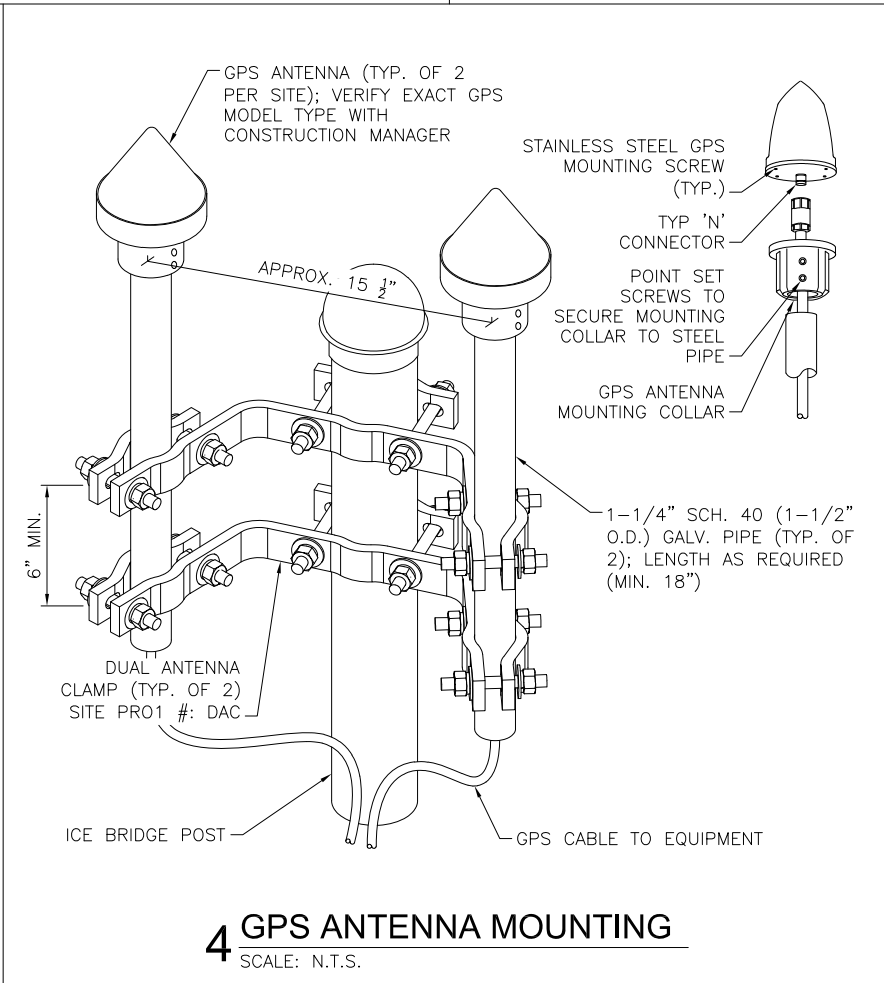
**2 ICE BRIDGE**  
SCALE: N.T.S.

- ICE BRIDGE NOTES:**
1. FOR COMPONENTS AS SHOWN IN STANDARD DETAILS, MAXIMUM ALLOWABLE SPAN BETWEEN SUPPORTS ON A CONTINUOUS SINGLE SECTION OF BRIDGE CHANNEL SHALL BE 8' FOR A 10' SECTION.
  2. SPLICES IN SECTIONS OF BRIDGE CHANNEL SHALL BE INSTALLED AT SUPPORTS, WHERE POSSIBLE, OR AT MOST 2' FROM A SUPPORT.
  3. FREE ENDS OF ICE BRIDGE CHANNELS SHALL NOT EXCEED A CANTILEVER DISTANCE OF 2' FROM A SUPPORT.
  4. CUT BRIDGE CHANNEL SECTIONS SHALL HAVE RAW EDGES TREATED WITH COLD GALVANIZING SPRAY.
  5. DEVIATIONS FROM STANDARDS FOR COMPONENT INSTALLATIONS ARE PERMITTED WITH MANUFACTURER'S AND ENGINEER'S APPROVAL.
  6. DEVIATIONS FROM ICE BRIDGE FOUNDATIONS SHOWN ON SITE SPECIFIC DRAWINGS OR STANDARD DETAILS REQUIRE ENGINEERING APPROVAL.

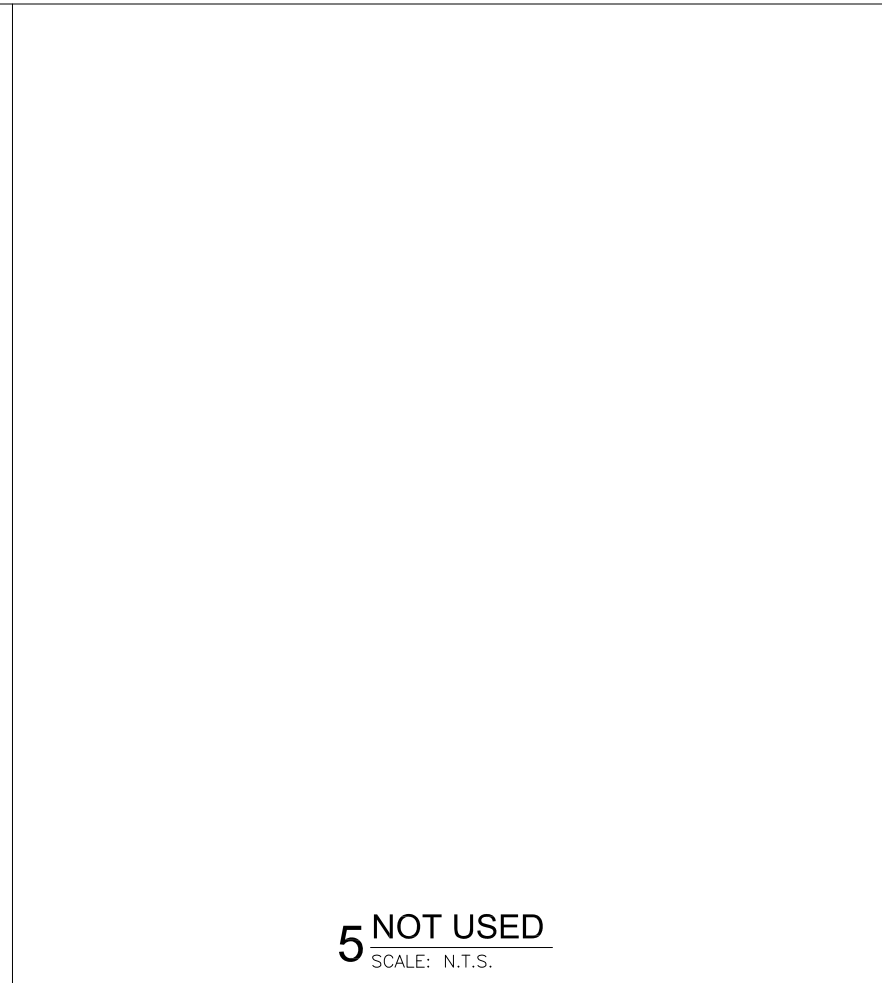


**3 PIER FOUNDATION**  
SCALE: N.T.S.

- NOTES:**
1. MAINTAIN 3" MINIMUM REBAR COVER WITH CONCRETE IN ALL DIRECTIONS.
  2. CONCRETE MIX TO BE 4,000 PSI @ 28 DAYS.
  3. FOUNDATION DEPTH TO EXCEED LOCAL FROST DEPTH, OR 48" MINIMUM.



**4 GPS ANTENNA MOUNTING**  
SCALE: N.T.S.



**5 NOT USED**  
SCALE: N.T.S.

PREPARED FOR:

CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**

SITE NUMBER:  
**765538**

SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY

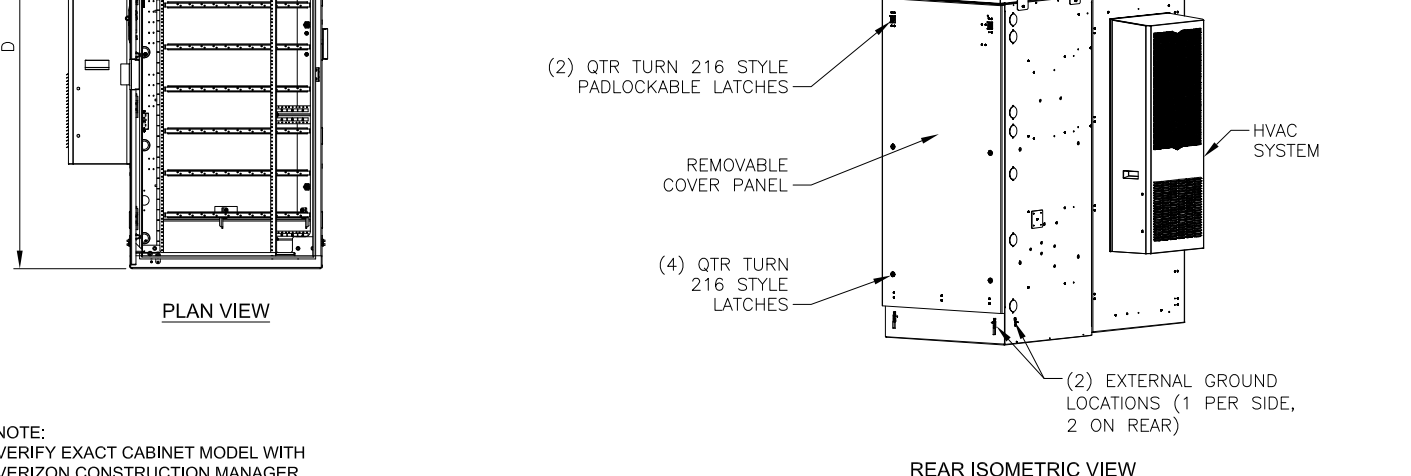
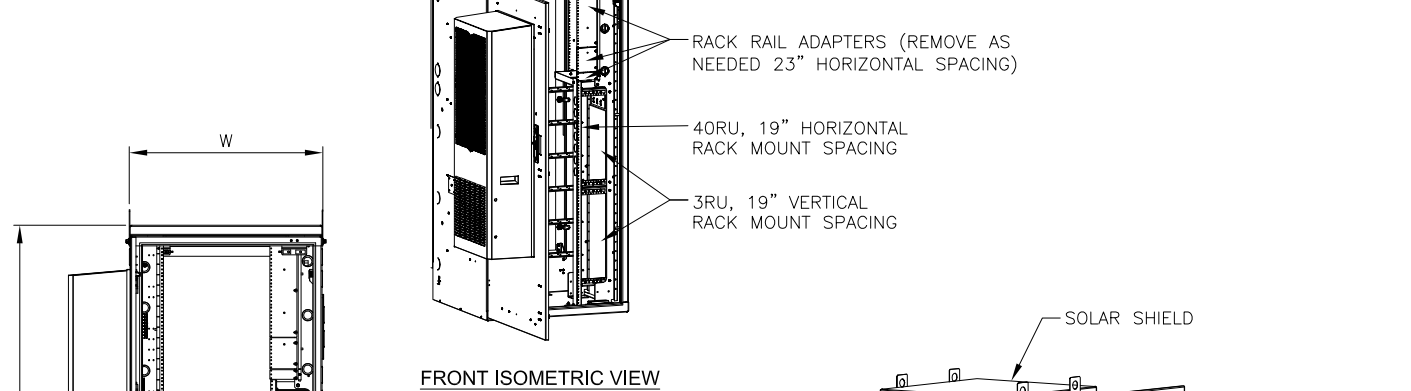
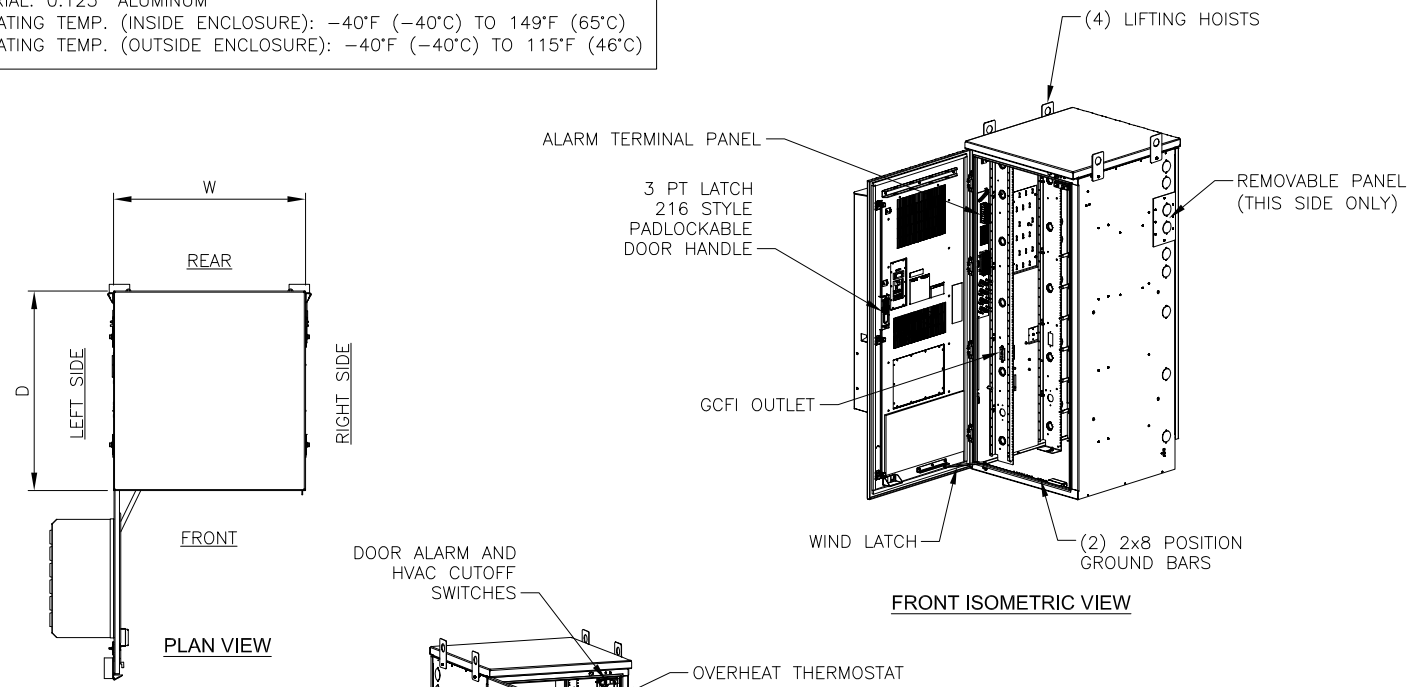
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DRAWN BY:	DP		
APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**ICE BRIDGE AND GPS DETAILS**

SHEET NUMBER:  
**A4.3**

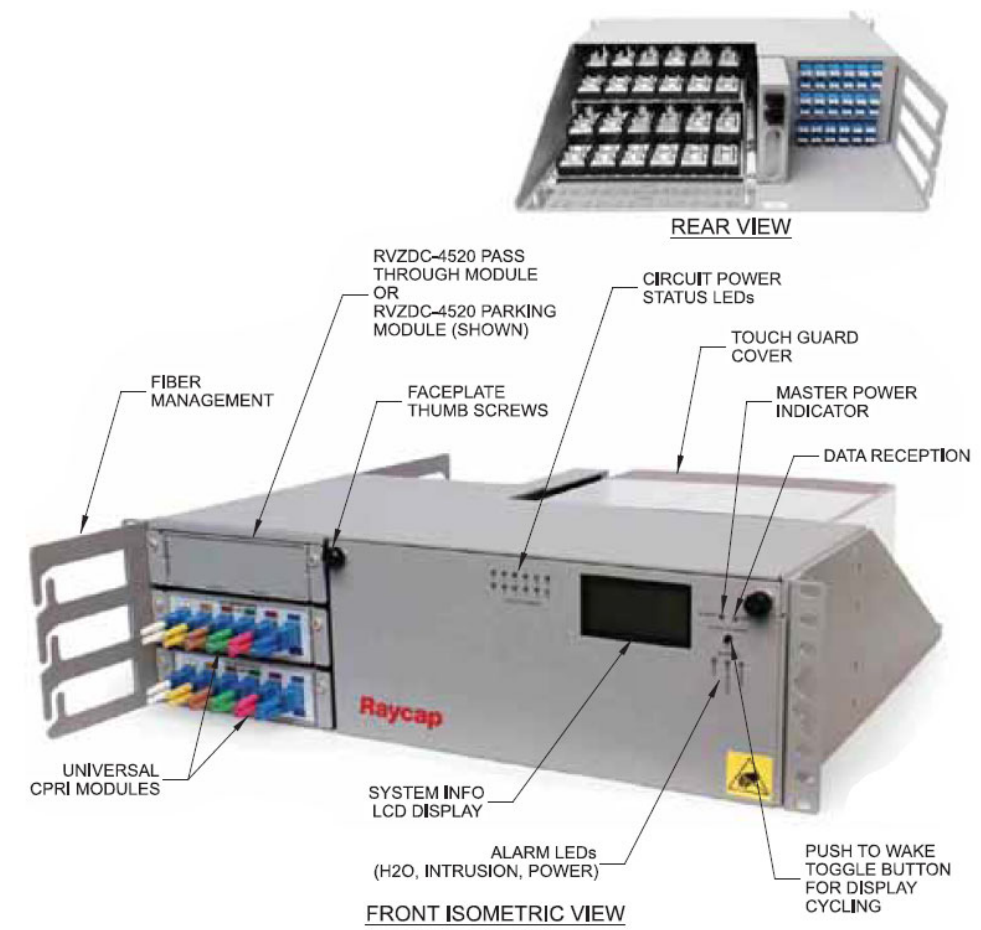
MANUFACTURER: CHARLES  
 MODEL: CUBE-PM639158N2  
 DIMENSIONS: 74"x32"x32" (HxWxD)  
 WEIGHT: 350 LBS (AS SHIPPED)  
 RACK SPACE: 62.25" (39 RU)  
 COLOR: OFF-WHITE  
 MATERIAL: 0.125" ALUMINUM  
 OPERATING TEMP. (INSIDE ENCLOSURE): -40°F (-40°C) TO 149°F (65°C)  
 OPERATING TEMP. (OUTSIDE ENCLOSURE): -40°F (-40°C) TO 115°F (46°C)



NOTE:  
 VERIFY EXACT CABINET MODEL WITH  
 VERIZON CONSTRUCTION MANAGER

**1 EQUIPMENT CABINET**  
 SCALE: N.T.S.

MANUFACTURER: RAYCAP  
 MODEL: RCMDC-4520-RM-48  
 DIMENSIONS: 5.18"x18.32"x15.80" (HxWxD)  
 WEIGHT: 22.10 LBS  
 RACK SPACE: 3 RU  
 RACK MOUNTED DISTRIBUTION SURGE PROTECTION  
 FOR (12) RRH DC CIRCUITS.



**2 RACK MOUNTED SURGE PROTECTION**  
 SCALE: N.T.S.

PREPARED FOR:

CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY

STAMP:

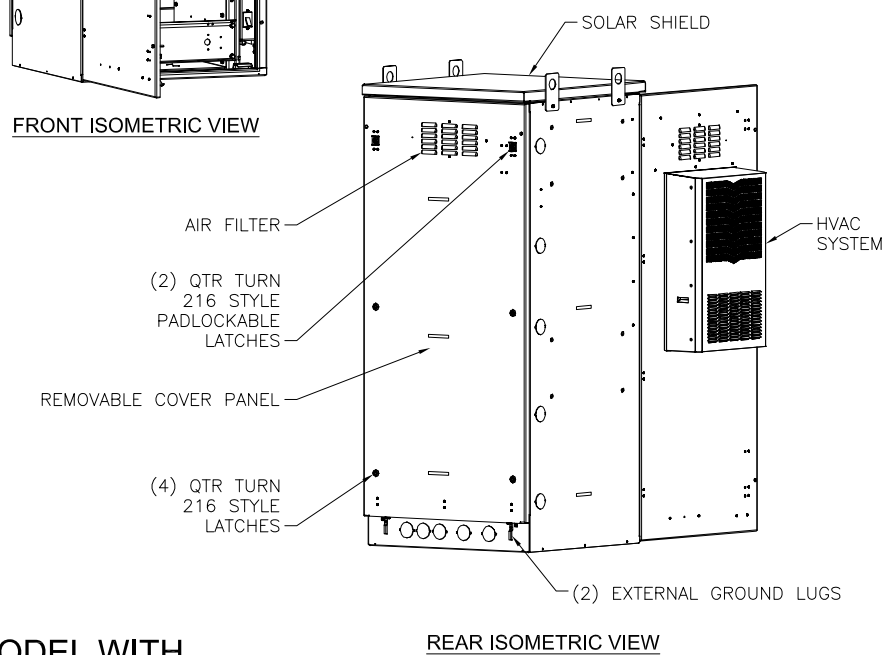
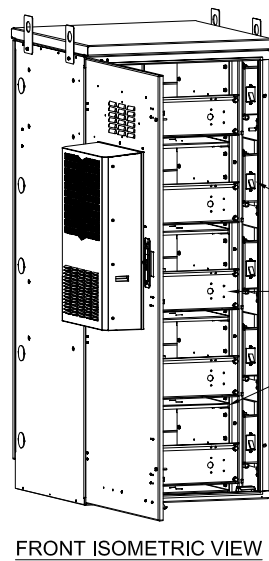
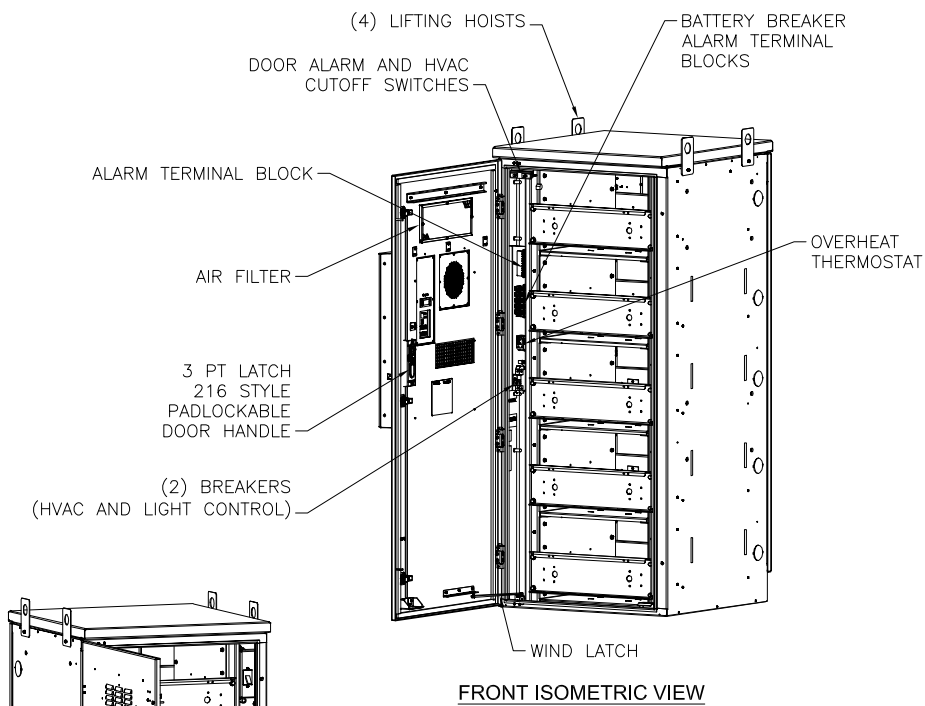
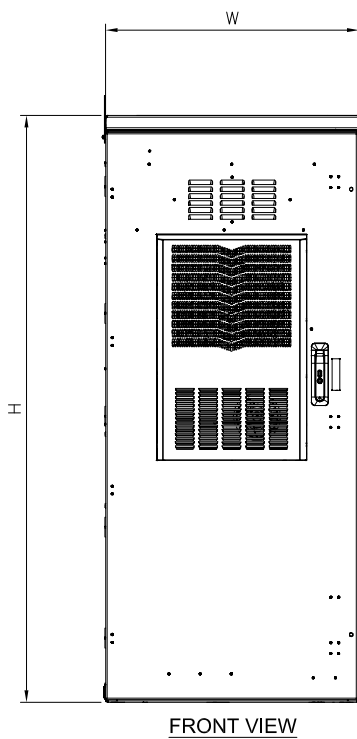
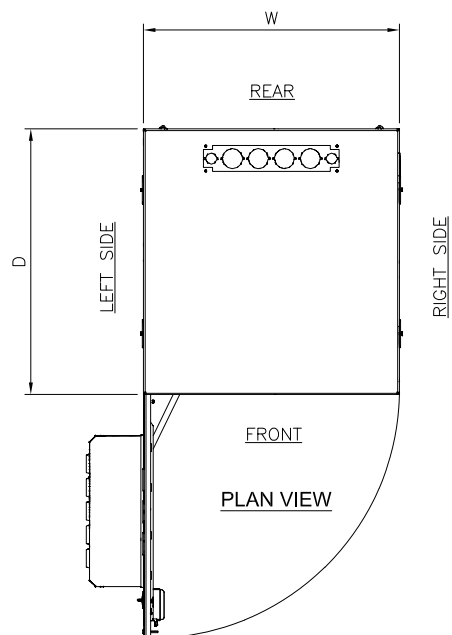
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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**GROUND EQUIPMENT SPECIFICATIONS**

SHEET NUMBER:  
**A4.4**

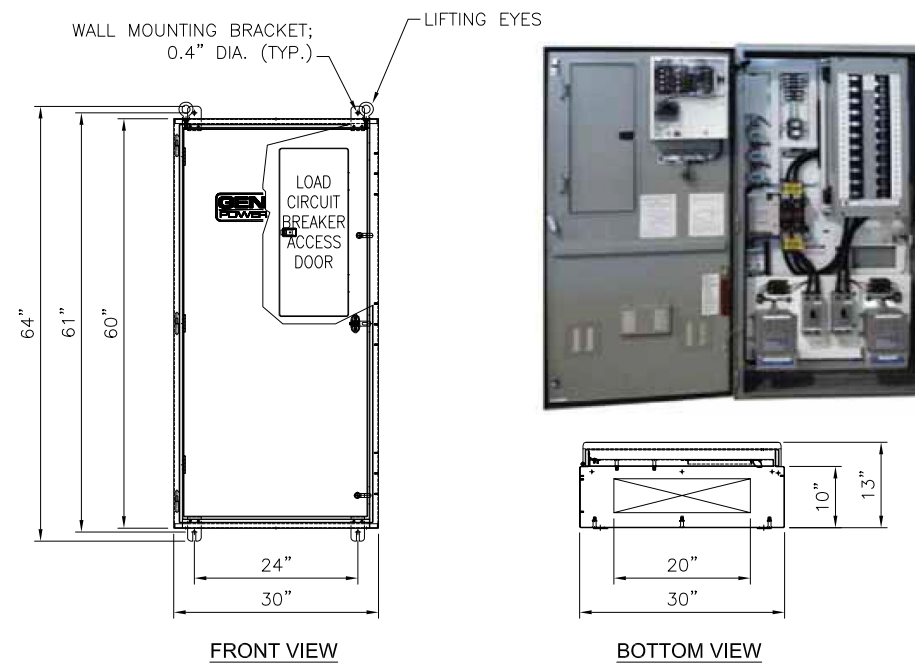


MANUFACTURER: CHARLES  
 MODEL: CUBE-BB48E2QVA  
 DIMENSIONS: 74"x32"x33" (HxWxD)  
 WEIGHT: 743 LBS (AS SHIPPED)  
 COLOR: OFF-WHITE  
 MATERIAL: 0.125" ALUMINUM



NOTE: VERIFY EXACT CABINET MODEL WITH VERIZON CONSTRUCTION MANAGER

**1 BATTERY CABINET**  
 SCALE: N.T.S.

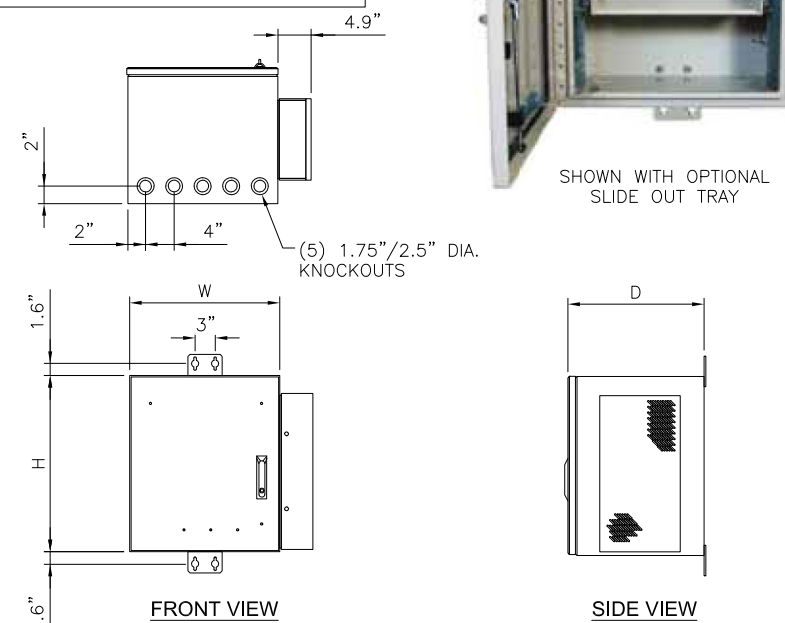


ILC RATED AMPS	VOLTAGE	PHASE	ENCLOSURE HEIGHT	ENCLOSURE WIDTH	ENCLOSURE DEPTH	WEIGHT
200	120/240	1	60"	30"	10"	350 LBS
200	120/240	3	60"	30"	10"	350 LBS

**2 INTEGRATED LOAD CENTER**  
 SCALE: N.T.S.

MANUFACTURER: CHARLES INDUSTRIES  
 MODEL: CUBE-RL1003  
 DIMENSIONS: 26.3"x22.1"x20.0" (HxWxD)  
 RACK SPACE: 14RU

ACCESSORIES:  
 POLE MOUNT KIT: 97-CABPMKIT  
 H-FRAME HARDWARE KIT: 97-001971-A  
 SLIDE OUT TRAY: 97-001990-A  
 10" PLINTH KIT: 97-002127-A



**3 FIBER ENCLOSURE**  
 SCALE: N.T.S.

PREPARED FOR:

**verizon**  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**

SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY

STAMP:

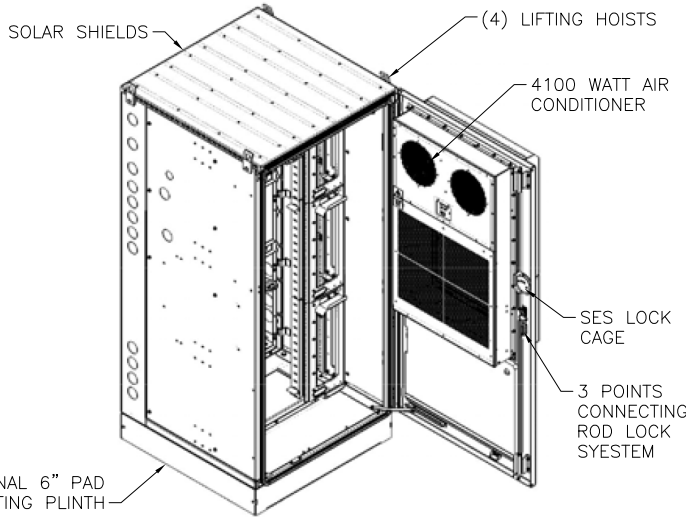
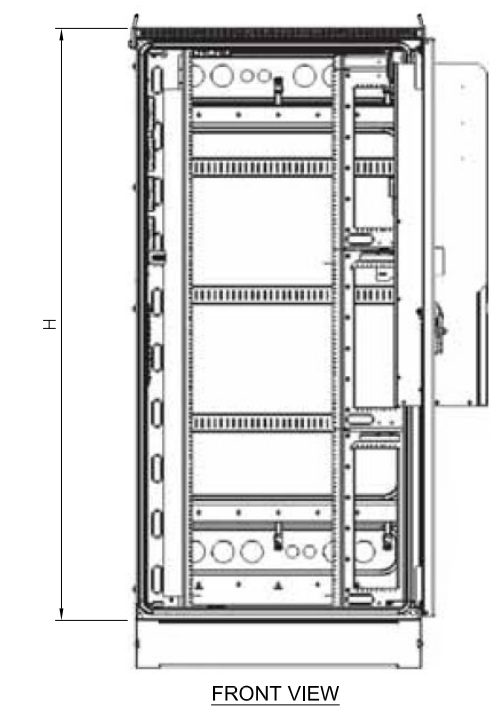
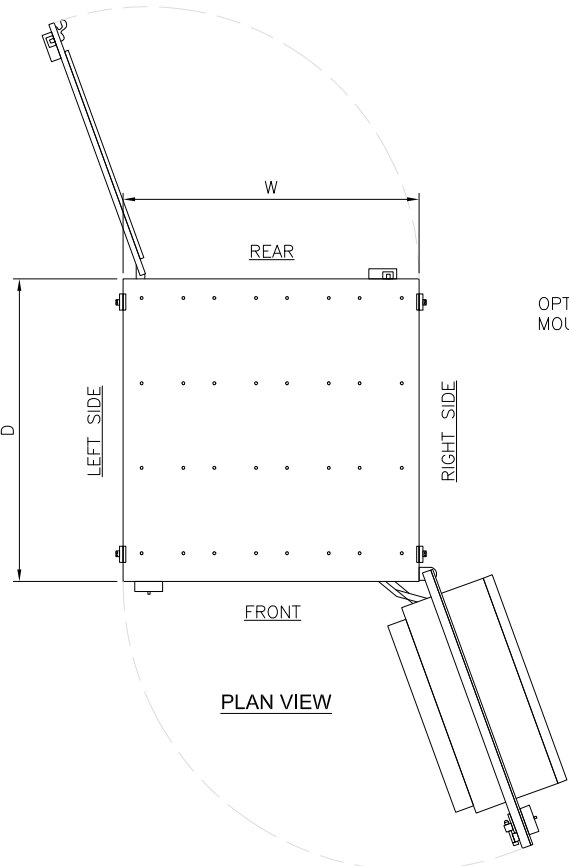


DRAWN BY:	DP		
APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
O	ISSUED FOR CONSTRUCTION	DD	05/08/24

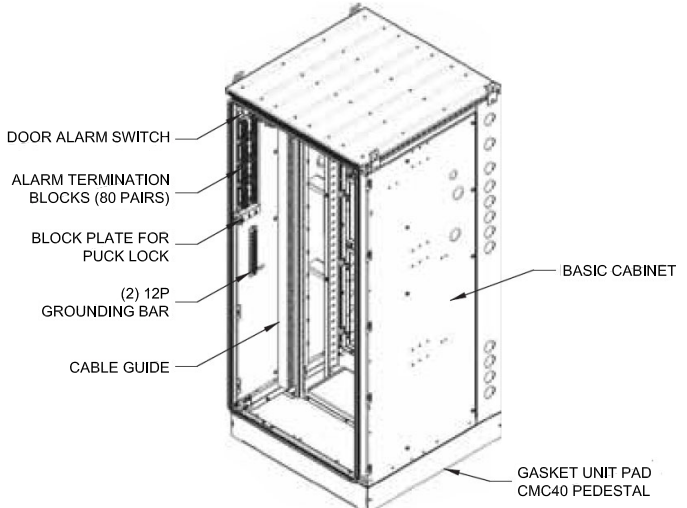
SHEET TITLE:  
**GROUND EQUIPMENT SPECIFICATIONS**

SHEET NUMBER:  
**A4.5**

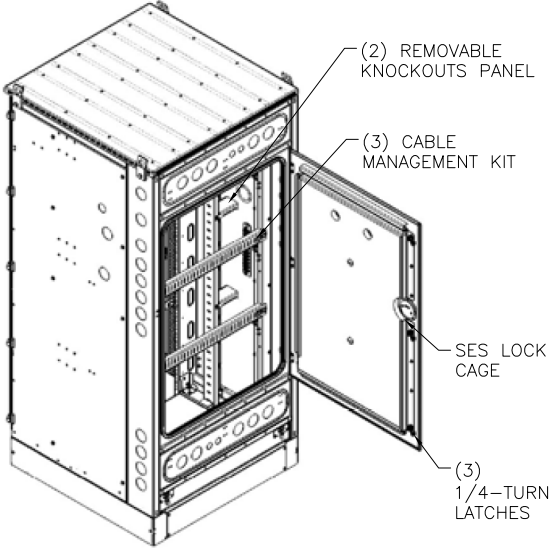
MANUFACTURER: COMMSCOPE  
 MODEL: CMC74-36E  
 DIMENSIONS: 74"x37"x36" (HxWxD)  
 WEIGHT: 701 LBS (AS SHIPPED)  
 COLOR: RAL7035 GRAY  
 MATERIAL: 2.5MM ALUMINUM  
 EQUIPMENT AND POWER CABINET WITH 4kW THERMOSIPHON



FRONT ISOMETRIC VIEW

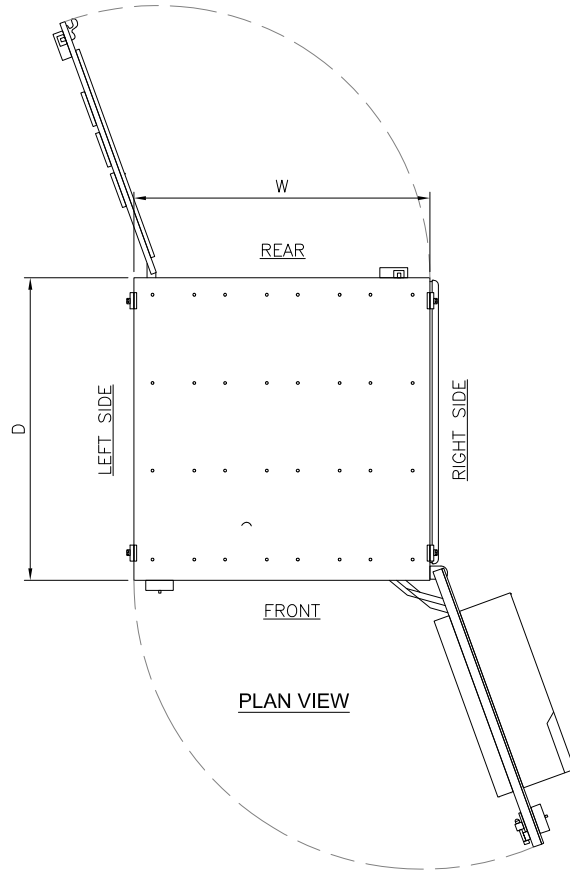


FRONT ISOMETRIC VIEW

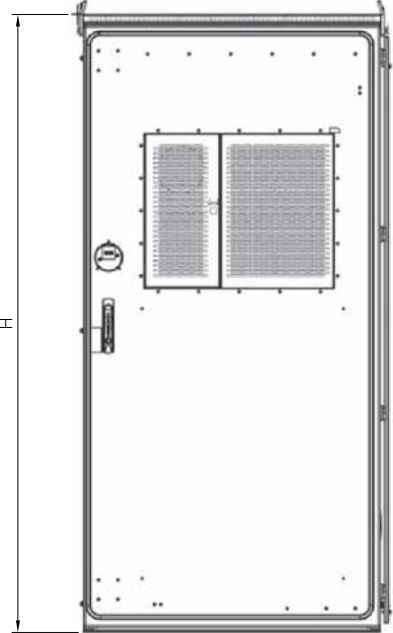


REAR ISOMETRIC VIEW

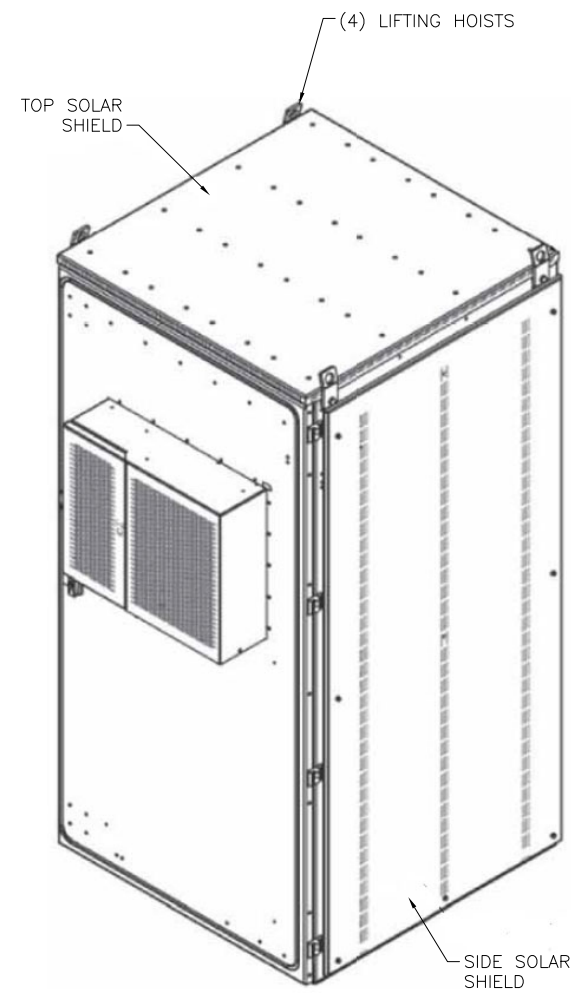
MANUFACTURER: COMMSCOPE  
 MODEL: CMC74-36B  
 DIMENSIONS: 74.9"x37.5"x36" (HxWxD) - FOOTPRINT



PLAN VIEW



FRONT VIEW



**1 EQUIPMENT CABINET**  
 SCALE: N.T.S.

NOTE:  
 VERIFY EXACT CABINET MODEL WITH  
 VERIZON CONSTRUCTION MANAGER

**2 BATTERY CABINET**  
 SCALE: N.T.S.

PREPARED FOR:

CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITWATER, WI 53190  
 WALWORTH COUNTY

STAMP:

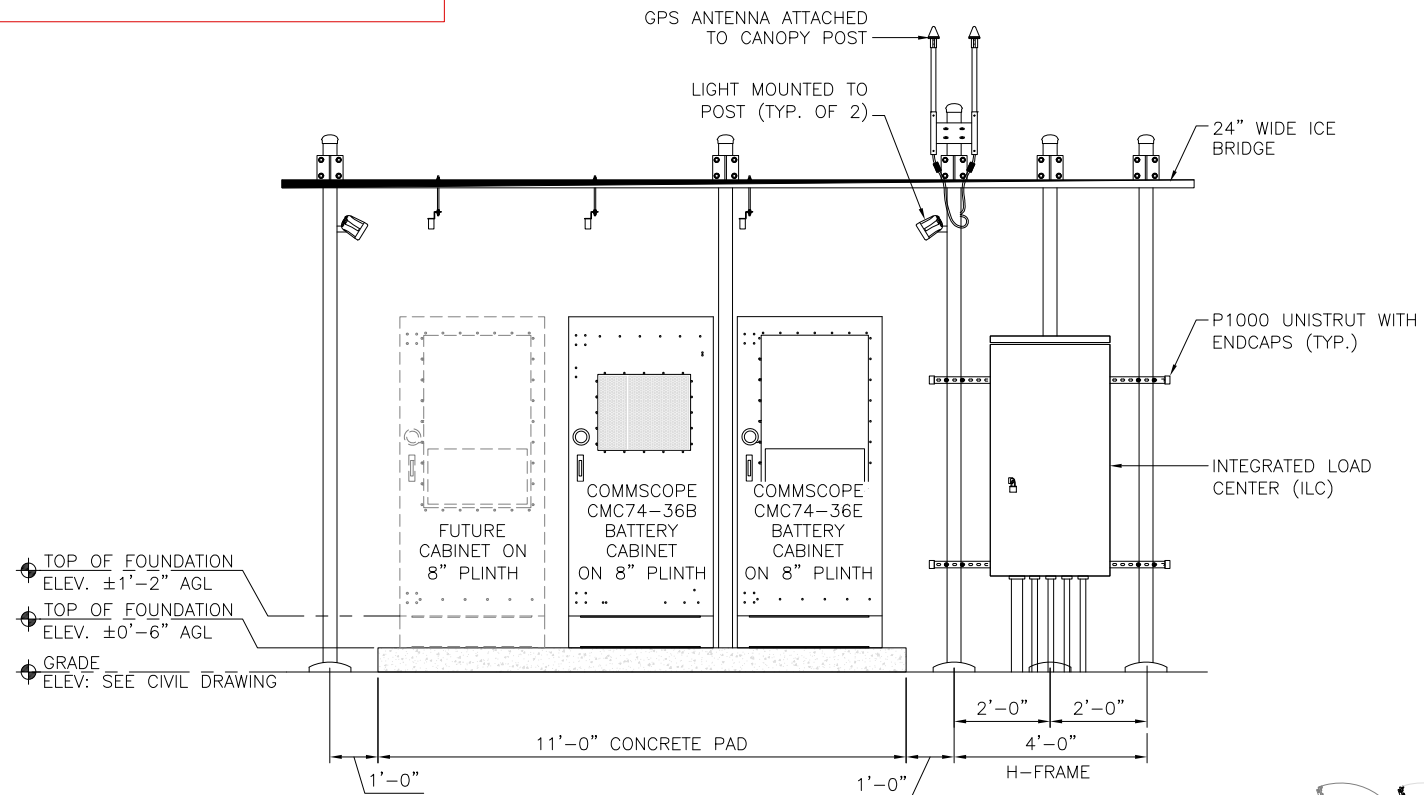


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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
O	ISSUED FOR CONSTRUCTION	DD	05/08/24

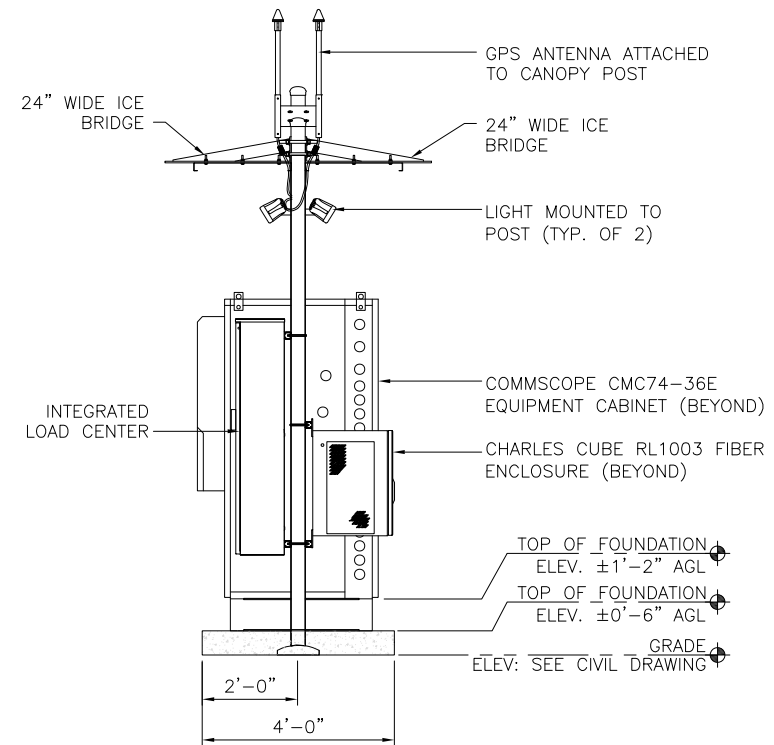
SHEET TITLE:  
**GROUND EQUIPMENT SPECIFICATIONS**

SHEET NUMBER:  
**A4.6**

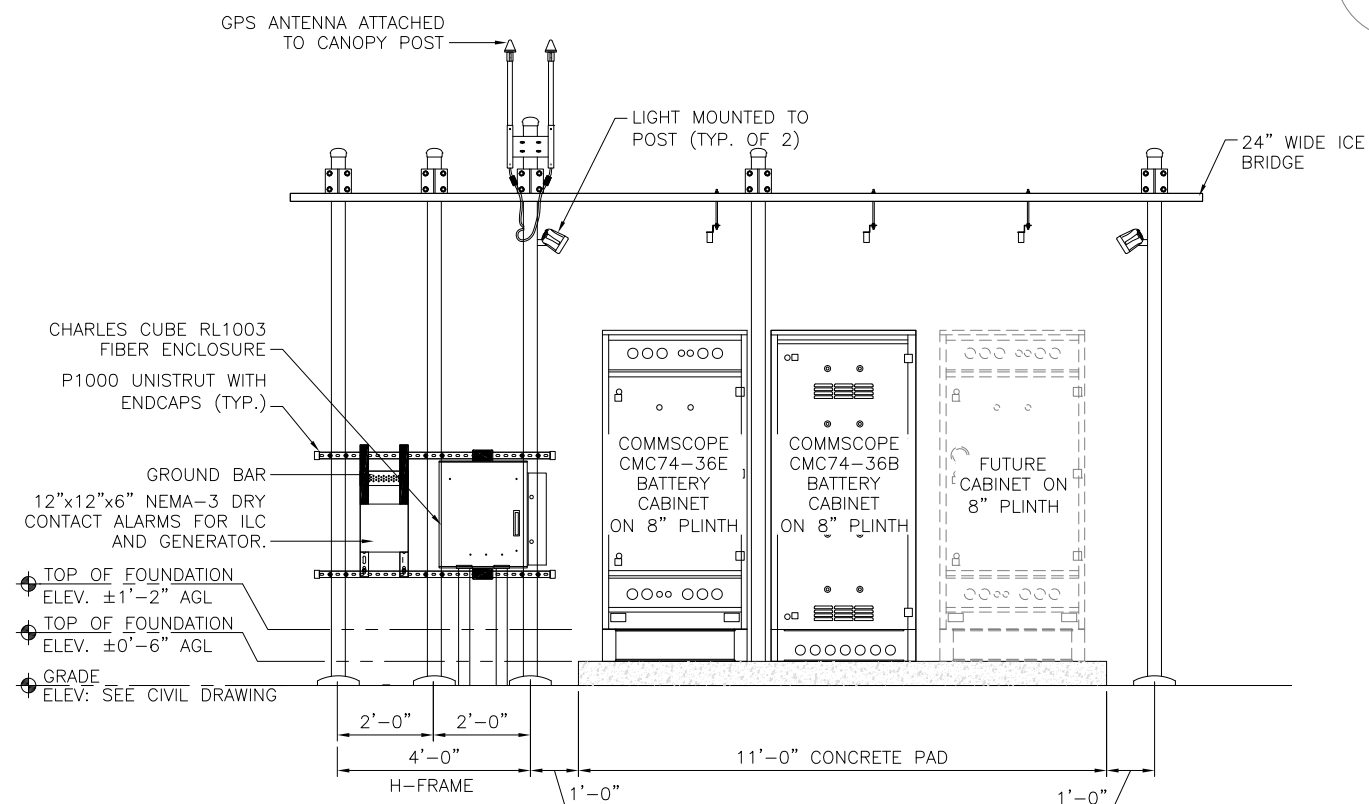
FOR REFERENCE ONLY



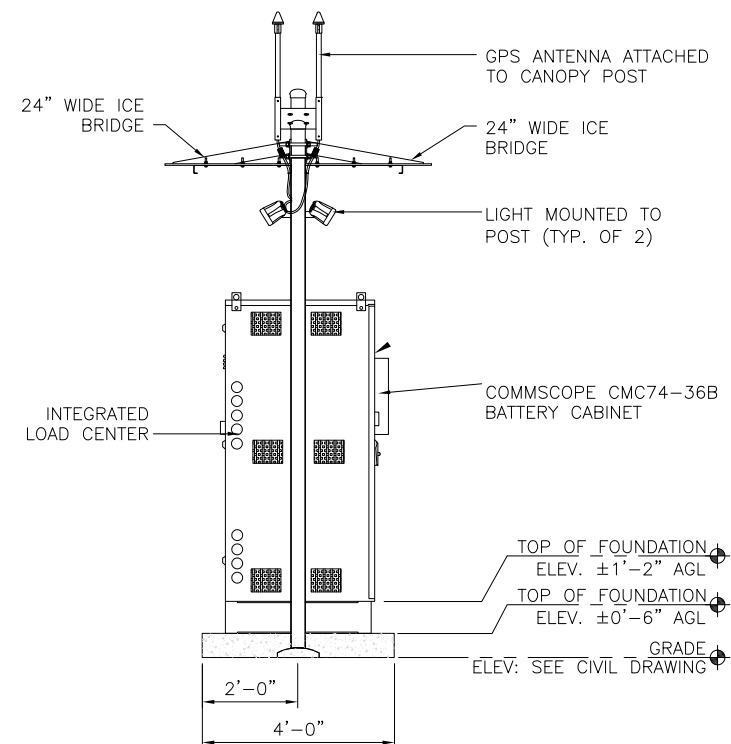
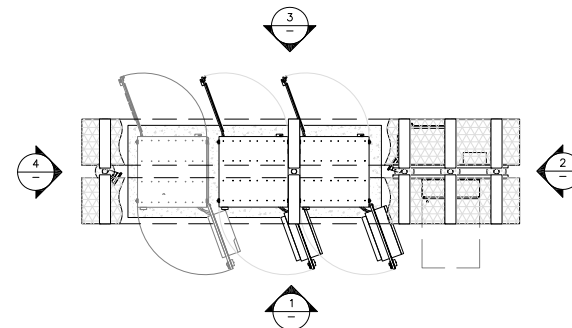
**1 FRONT ELEVATION**  
SCALE: N.T.S.



**2 RIGHT SIDE ELEVATION**  
SCALE: N.T.S.



**3 REAR SIDE ELEVATION**  
SCALE: N.T.S.



**4 LEFT SIDE ELEVATION**  
SCALE: N.T.S.

PREPARED FOR:



CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

Item 7.

SITE NAME:  
**WHITWATER SOUTH**  
SITE NUMBER:  
**765538**  
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITWATER, WI 53190  
WALWORTH COUNTY

STAMP:



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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:

**EQUIPMENT PAD ELEVATIONS**

SHEET NUMBER:

**A4.7**



PREPARED FOR:

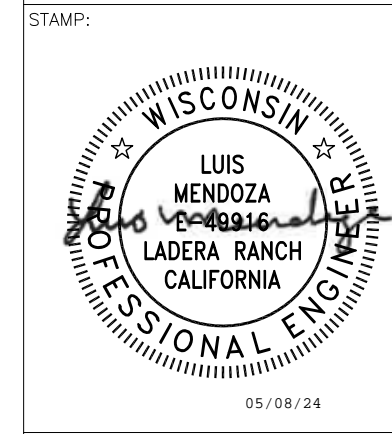
**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
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WHITEWATER, WI 53190  
WALWORTH COUNTY

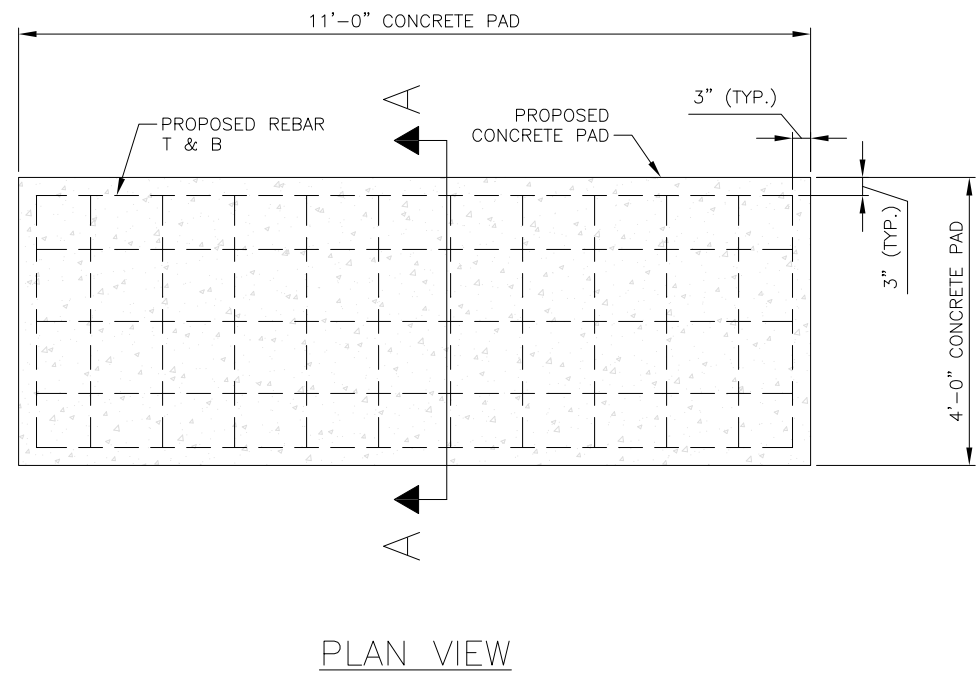


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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
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O	ISSUED FOR CONSTRUCTION	DD	05/08/24

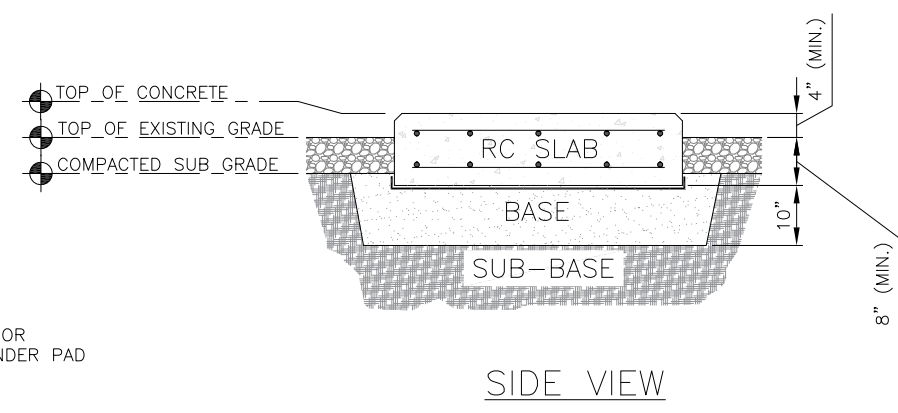
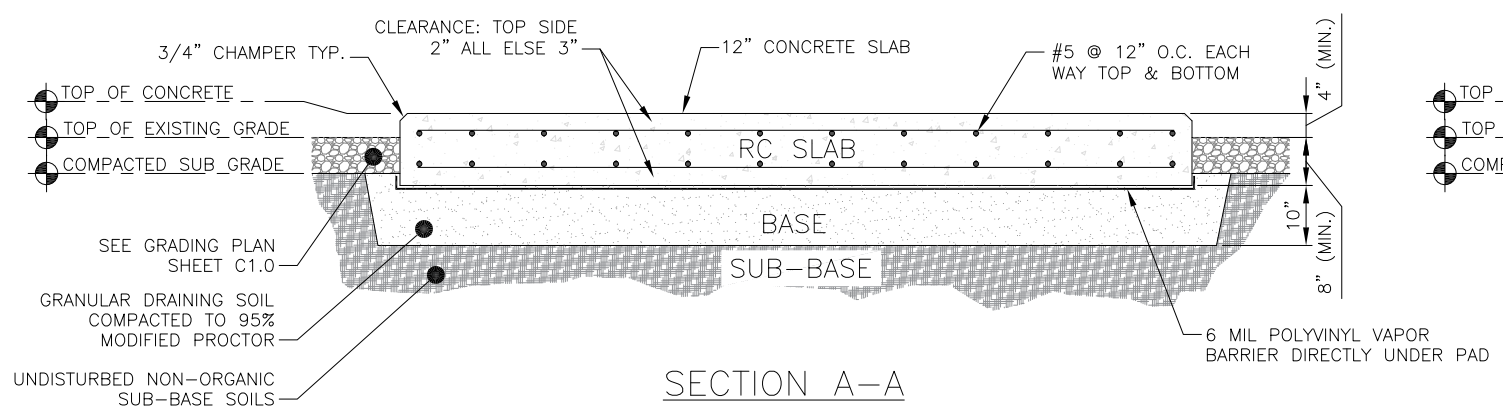
SHEET TITLE:  
**EQUIPMENT PAD DETAILS**

SHEET NUMBER:  
**A4.8**

- NOTE:
- ALL CONCRETE CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE AMERICAN CONCRETE INSTITUTE - ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE, AND ACI 301 INDUSTRY SPECIFICATION FOR STRUCTURAL CONCRETE.
  - ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI301, ACI318, ACI336, ASTM A184, ASTM A185, AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR COST-IN-PLACE CONCRETE.
  - MINIMUM ALLOWABLE CONCRETE COMPRESSIVE STRENGTH SHALL BE 4000 PSI AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH THE AMERICAN SOCIETY FOR TESTING AND MATERIALS METHODS STANDARDS ASTM C172, ASTM C31, AND ASTM C39 UNLESS NOTED OTHERWISE.
  - REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 KSI DEFORMED BAR UNLESS NOTED OTHERWISE. WELDING WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD.
  - REINFORCING STEEL SHALL BE ACCURATELY PLACED AND ADEQUATELY SECURED IN POSITION. LOCATION OF REINFORCEMENT SHALL BE AS INDICATED ON THE DRAWINGS. CONCRETE COVER SHALL BE AS SHOWN.
  - TOP OF FOUNDATION TO HAVE A "BRUSH FINISH".
  - EXPOSED FINISHED SURFACE IS NOT TO HOLD WATER.
  - ALL SURFACES ARE TO BE CLEANED OF ANY RESIDUAL CONCRETE FROM SPLASHING OR SPILLS.

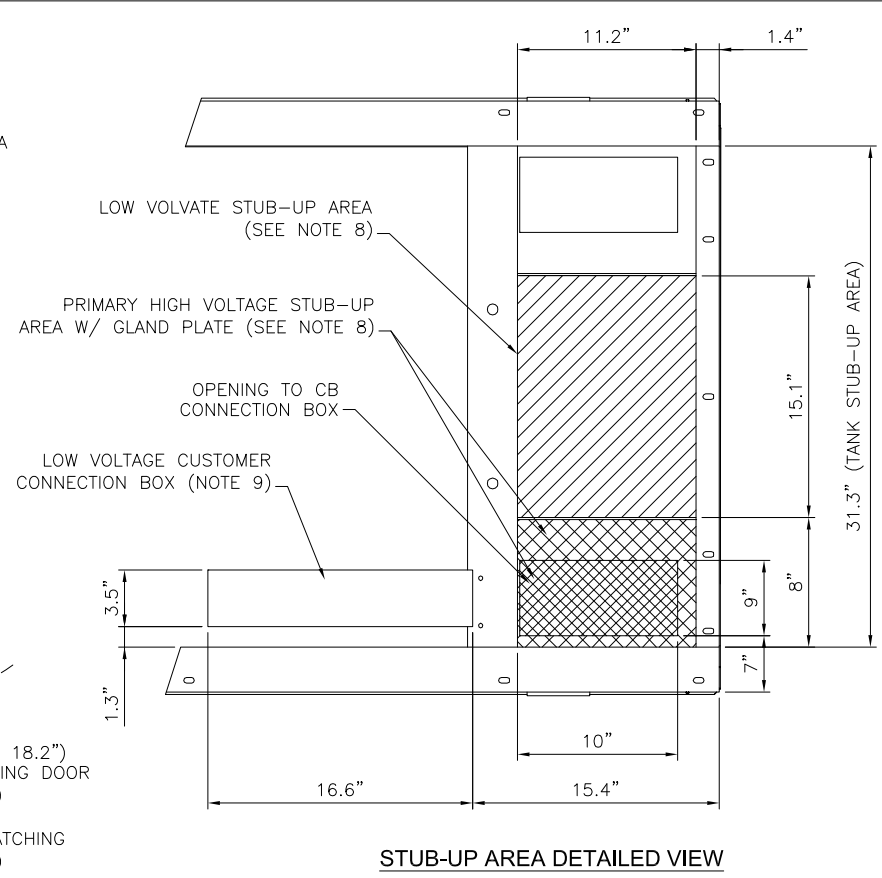
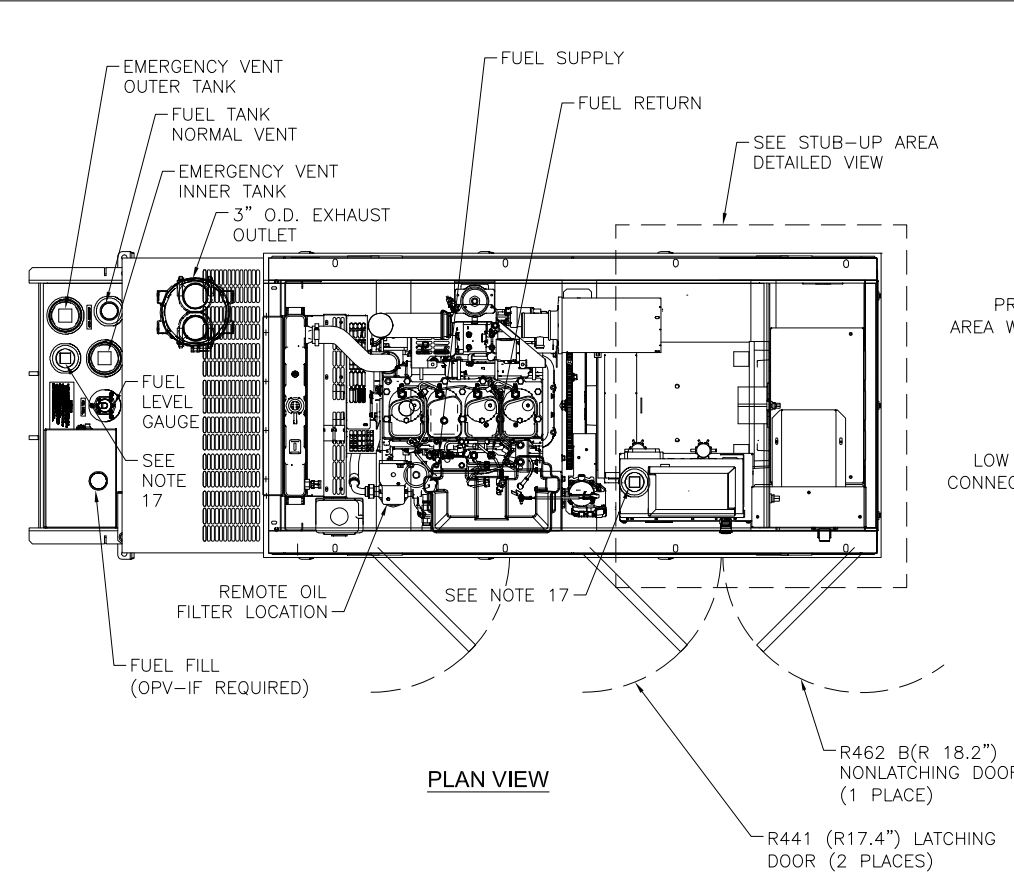


- NOTE:
- SLAB TO BE LEVEL ( $\pm$ ) 1/4"
  - FOUNDATION SHALL HAVE A MINIMUM 4" PROJECTION ABOVE GRADE.
  - CONCRETE STRENGTH SHALL BE A MINIMUM OF 4000 PSI @ 28DAYS
  - REPLACE OR IMPROVE THE EXISTING SOIL WITHIN THE BASE IF IT CONTAINS NON-GRANULAR, WET, ORGANIC, OR NON-COMPACTABLE MATERIALS BEFORE ATTEMPTING TO PROCEED TO COMPACTION.
  - THE EXISTING SUB-BASE SHALL BE FIELD REVIEWED TO QUALIFY AS UNDISTURBED & NON-ORGANIC STRATUM TO RESIST MINIMUM 500 PSF GRAVITY LOAD WITHOUT DIFFERENTIAL SETTLEMENT.
  - IF THE FIELD REVIEW OF THE LOCAL SOIL INDICATES FILL OR SUB-STANDARD SOIL MATERIAL WITHIN BASE OR SUB-BASE, THE CONTRACTOR SHALL EXTEND EXCAVATION TO A DEPTH WHERE THE NATURAL SOIL CAN BE REACHED. THEN WILL REPLACE THE EXISTING WITH WELL GRADED STRUCTURAL FILL TO BE COMPACTED AS INDICATED.
  - THE FOUNDATION CONSTRUCTION WORK SHALL BE COORDINATED AND APPROVED BY THE JURISDICTION & THE PROJECT OWNER AS APPLICABLE.
  - IN LIEU OF THE PROPER SOIL INVESTIGATION AND GEOTECHNICAL RECOMMENDATIONS THAT ARE FOLLOWED BY THE CONSTRUCTION, A NOMINAL DIFFERENTIAL SETTLEMENT MAY BE EXPECTED.



**1 EQUIPMENT PAD FOUNDATION**  
SCALE: N.T.S.

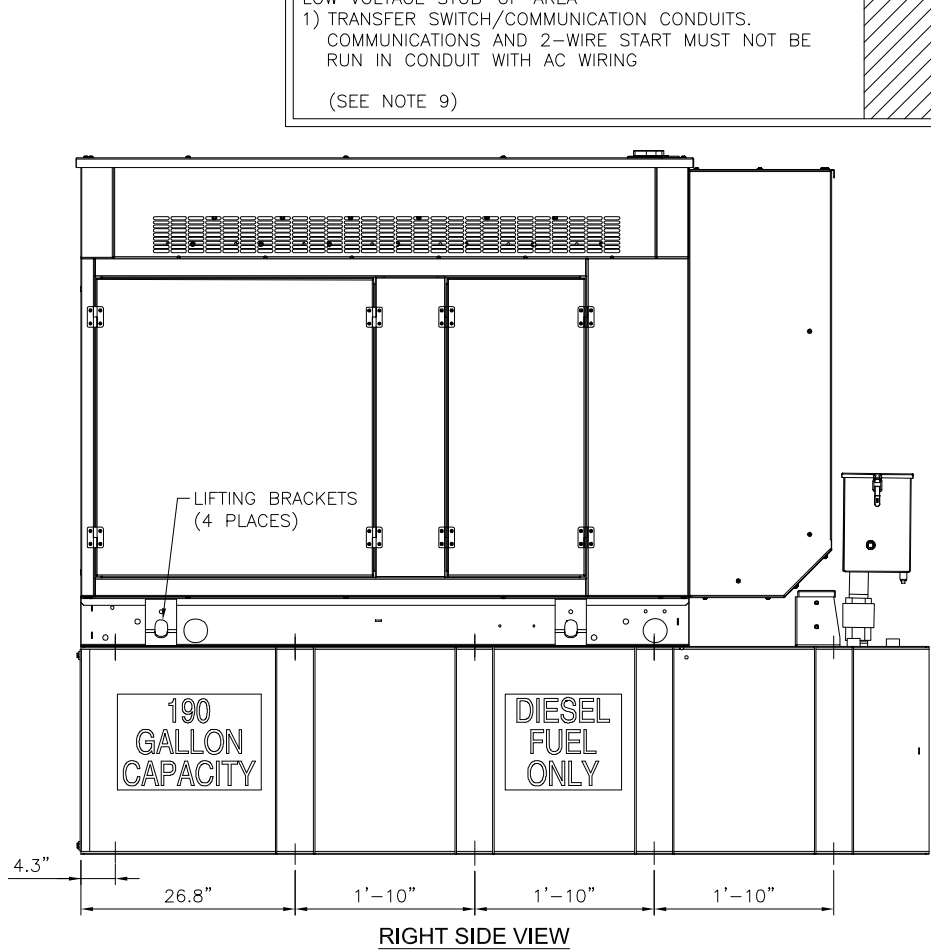
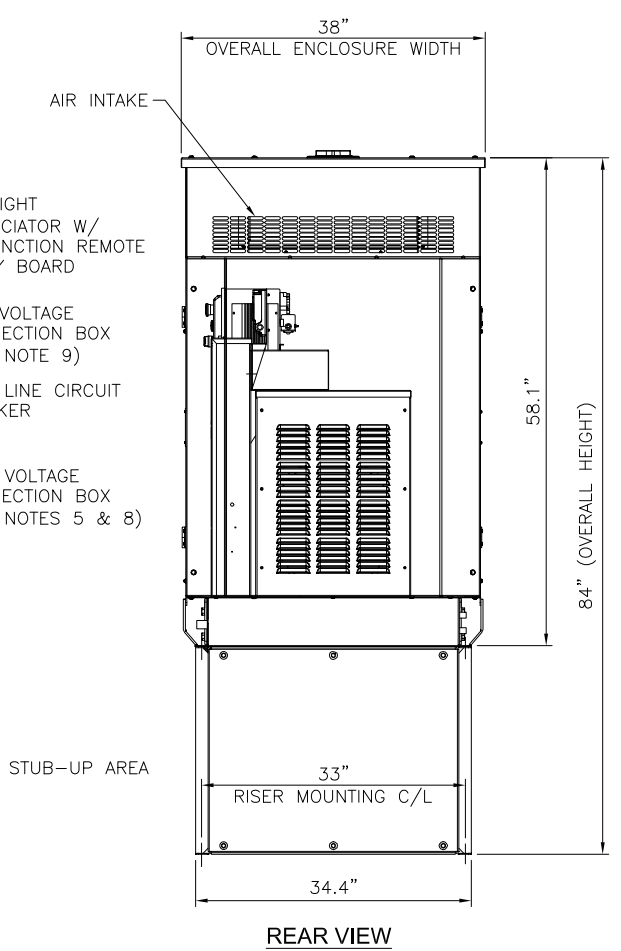
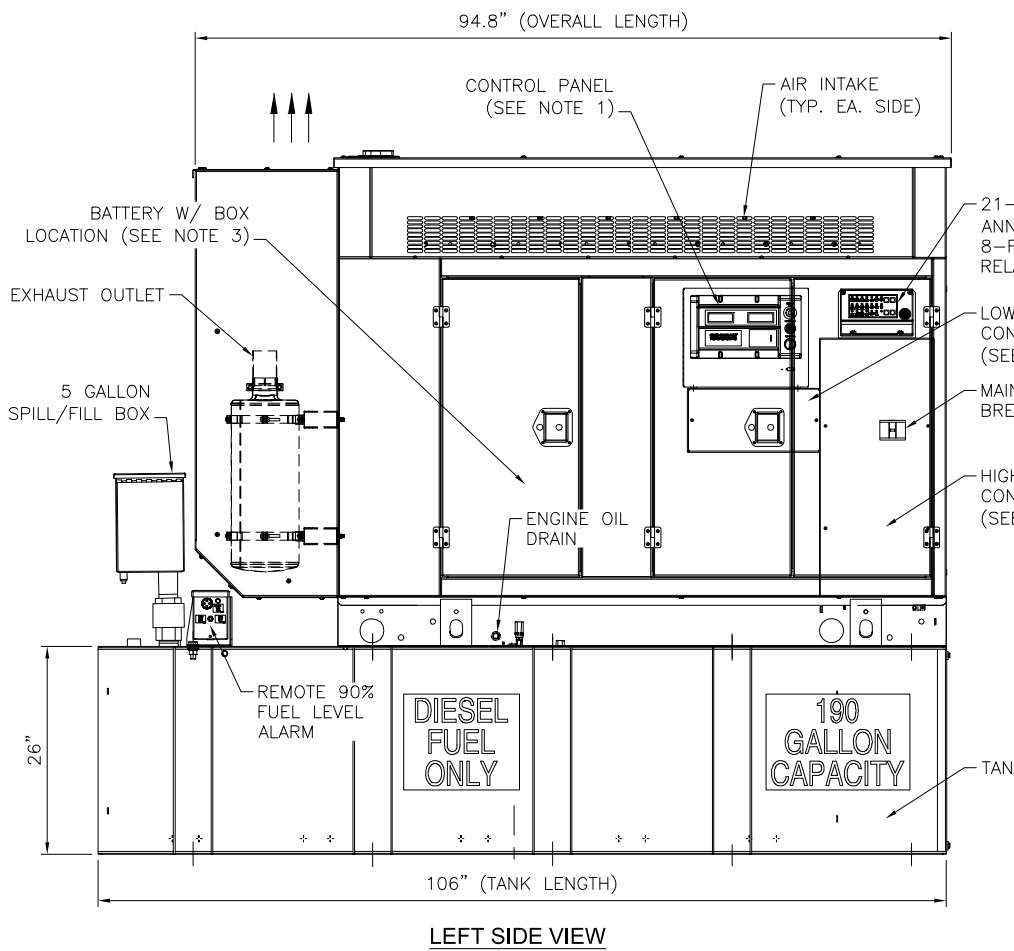




- NOTES:**
- CONTROL PANEL W/ BATTERY CHARGER. THREE PRONG CORD COMING OUT CONTROL PANEL IS FOR THE BATTERY CHARGER.
  - 1500W 120VAC ENGINE BLOCK HEATER WITH CORD.
  - 12 VOLT NEGATIVE GROUND SYSTEM.
  - OPTIONAL REMOTE EMERGENCY STOP SHIPPED LOOSE WITH GENERATOR.
  - GENERATOR MUST BE GROUNDED.
  - CENTER OF GRAVITY & WEIGHT MAY SHIFT SLIGHTLY DUE TO UNIT OPTIONS.
  - STUB-UP: BASE TANK REQUIRES ALL STUB-UPS TO BE IN THE REAR TANK STUB-UP AREA.
  - HIGH VOLTAGE STUB-UP AREA INCLUDES THE AC LOAD LEAD CONNECTION TO THE MAIN LINE CIRCUIT BREAKER (MLCB), THE NEUTRAL CONNECTION, AND AUXILIARY 120/240V CONNECTION.
  - CONNECTION POINTS FOR CONTROL WIRES. BOTTOM OF LOW VOLTAGE CUSTOMER CONNECTION BOX HAS KNOCKOUTS FOR 1/2" AND 3/4" CONDUIT FITTINGS.
  - MUST ALLOW FREE FLOW OF DISCHARGE AIR AND EXHAUST. SEE SPEC SHEET FOR MINIMUM AIR FLOW AND MAXIMUM RESTRICTION REQUIREMENTS.
  - MUST ALLOW FREE FLOW OF INTAKE AIR. SEE SPEC SHEET FOR MAXIMUM AIR FLOW AND MAXIMUM RESTRICTION REQUIREMENTS.
  - ENCLOSED SETS-GENERATOR SET MUST BE INSTALLED SUCH THAT DISCHARGE AIR IS NOT RECIRCULATED.
  - IT IS THE RESPONSIBILITY OF THE INSTALLATION TECHNICIAN TO ENSURE THAT THE GENERATOR INSTALLATION COMPLIES WITH APPLICABLE CODES, STANDARDS, AND REGULATION.
  - 190 GALLON USEABLE CAPACITY BASE TANK.
  - UNIT IS SHIPPER WITH FUEL SUPPLY AND RETURN LINES DISCONNECTED AND PLUGGED BETWEEN ENGINE AND FUEL TANK. THIS HAS BEEN DONE TO FACILITATE PRESSURE TESTING OF THE TANK IN THE FIELD. FOR INFORMATION REGARDING CONNECTING THE FUEL SUPPLY AND RETURN LINES PRIOR TO START UP, SEE THE FUEL TANK FIELD TESTING PROCEDURE (0E5082) SUPPLIED IN THE TANK LOOSE VENTS KIT, WHICH IS SHIPPED WITH THIS GENERATOR.
  - SEE DRAWINGS 0C3850 FOR DUCT REMOVAL. REMOVAL OF FRONT DUCT WILL PROVIDE ACCESS TO MUFFLER FOR SERVICING.
  - ADDITIONAL 2" FEMALE NPT PORTS-PLUGGED OR EQUIPPED WITH TOP-MOUNT SWITCHED DEPENDING ON UNIT OPTIONS.

RECOMMENDED ELECTRICAL STUB-UPS (SEE DETAILED VIEW & TOP VIEW)

DESCRIPTION	INSIDE BASE
HIGH VOLTAGE STUB-UP AREA 1) AC LOAD LEAD CONDUIT AREA. 2) 120/240 VAC FROM UTILITY FOR OPTIONAL LOADS SUCH AS GFCI OUTLET, BLOCK HEATER, BATTERY CHARGER, AND OTHER 120/240 VAC OPTIONS. (GLAND PLATE INCLUDED)	
LOW VOLTAGE STUB-UP AREA 1) TRANSFER SWITCH/COMMUNICATION CONDUITS. COMMUNICATIONS AND 2-WIRE START MUST NOT BE RUN IN CONDUIT WITH AC WIRING (SEE NOTE 9)	



**1 SD030 30KW 2.2L GENERAC DIESEL GENERATOR**  
SCALE: N.T.S.

WEIGHT DATA (INCLUDES WOODEN SHIPPING SKID):  
ENCLOSED GENERATOR WITH EMPTY FUEL TANK: 1511 KG (3331 LBS)

PREPARED FOR:

CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
SITE NUMBER:  
**765538**  
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY

STAMP:

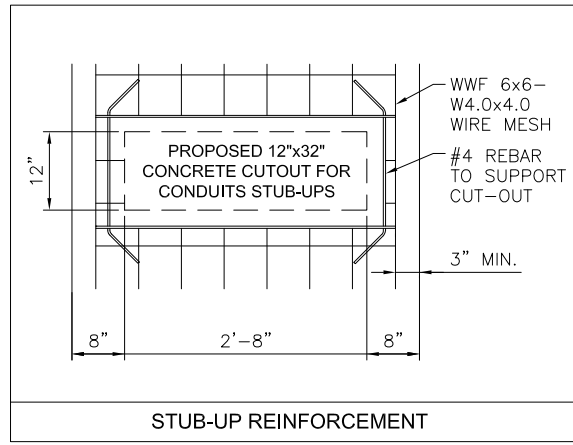
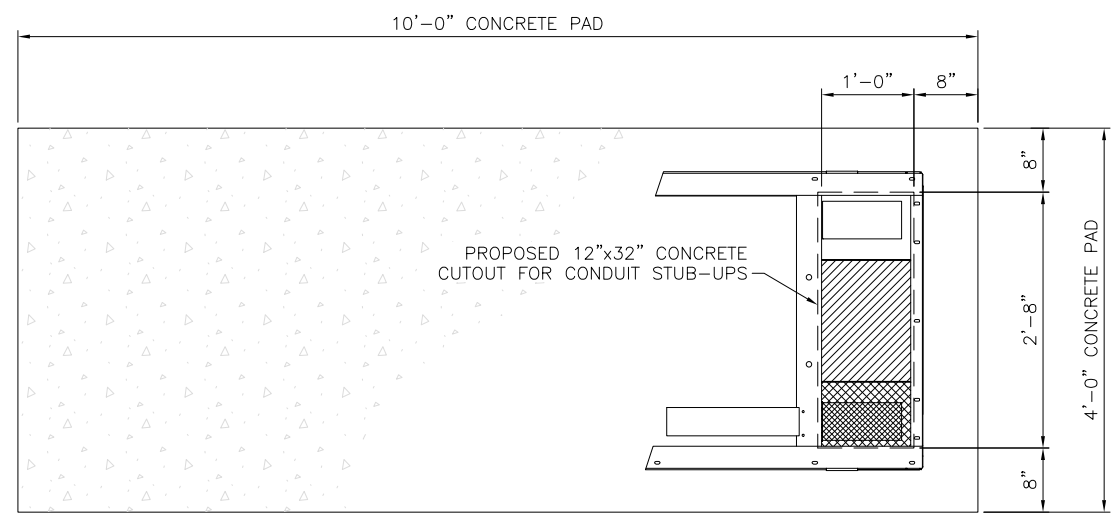
05/08/24



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APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**GENERATOR SPECIFICATIONS**

SHEET NUMBER:  
**A4.9**



NOTE:  
VERIFY EXACT CONDUIT STUB-UP LOCATIONS WITH GENSET PLANS

**1 GENERAC DIESEL GENERATOR FOUNDATION LAYOUT**  
SCALE: N.T.S.

**GENERATOR CLEARANCE NOTE:**

- MINIMUM OF 10' OF CLEARANCE FROM COMBUSTIBLE WALL
- MINIMUM OF 5' OF CLEARANCE FROM NON-COMBUSTIBLE WALL
- MINIMUM OF 20' OF CLEARANCE FROM AN OUTDOOR ELECTRICAL TRANSFORMER OR NORMAL POWER DISTRIBUTION EQUIPMENT

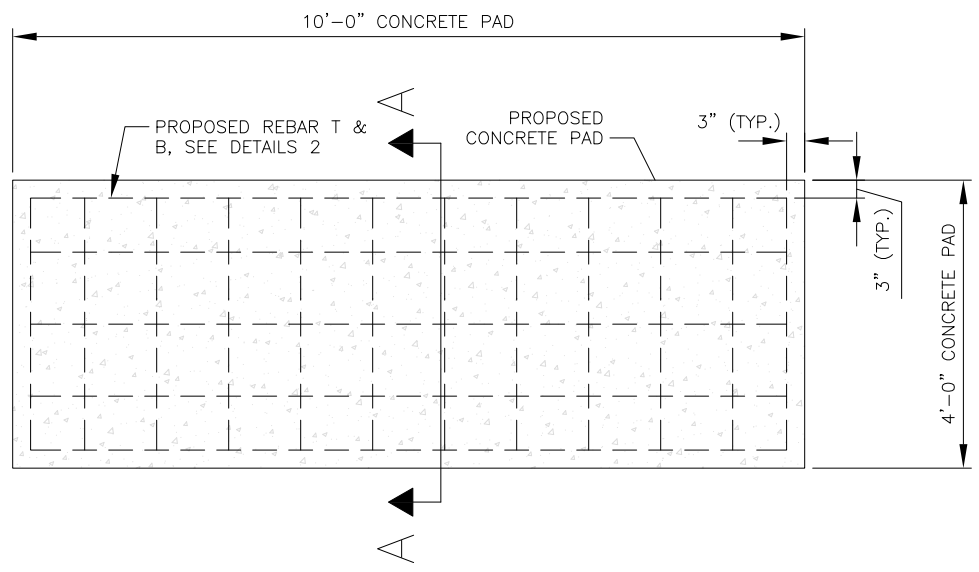
**NOTE:**

SEE GENERATOR MANUFACTURER'S DRAWING FOR PHYSICAL LOCATION OF FUEL LINES, CONTROL AND POWER INTERCONNECTIONS AND OTHER INTERFACES THAT ARE TO BE CAST INTO THE CONCRETE. THE PREFERRED METHOD IS TO BRING THE CONDUIT THROUGH THE CONCRETE PAD TO THE UNDERSIDE OF THE GENERATOR (MINIMIZES RODENT DAMAGE). FINISH CONNECTIONS WITH FLEXIBLE CONDUIT PER GENERATOR MANUFACTURER'S SPECIFICATIONS. RIGID CONDUITS SHALL BE SECURED TO THE EXISTING SLAB, THEN BURIED BETWEEN SLAB AND PLATFORM.

**NOTE:**

SLAB NOT SUITABLE AT SITES WITH ORGANIC SOIL, UNCOMPACTED FILL, EXPANSIVE SOIL, OR SOILS SUSCEPTIBLE TO FROST HEAVE.

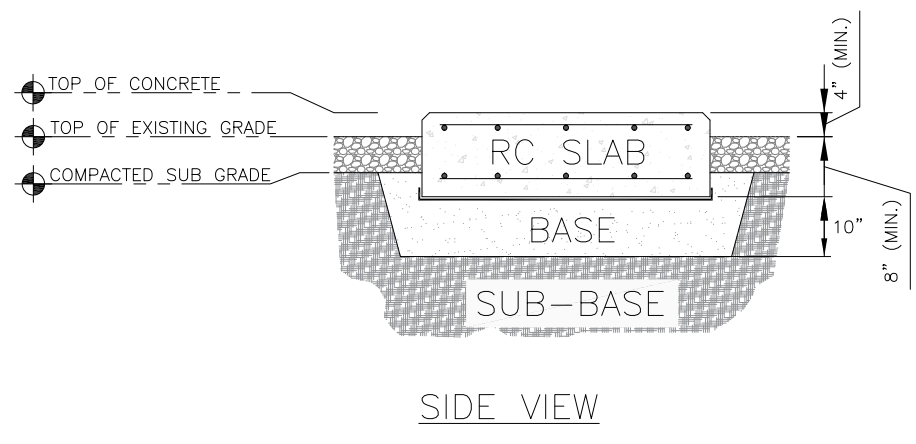
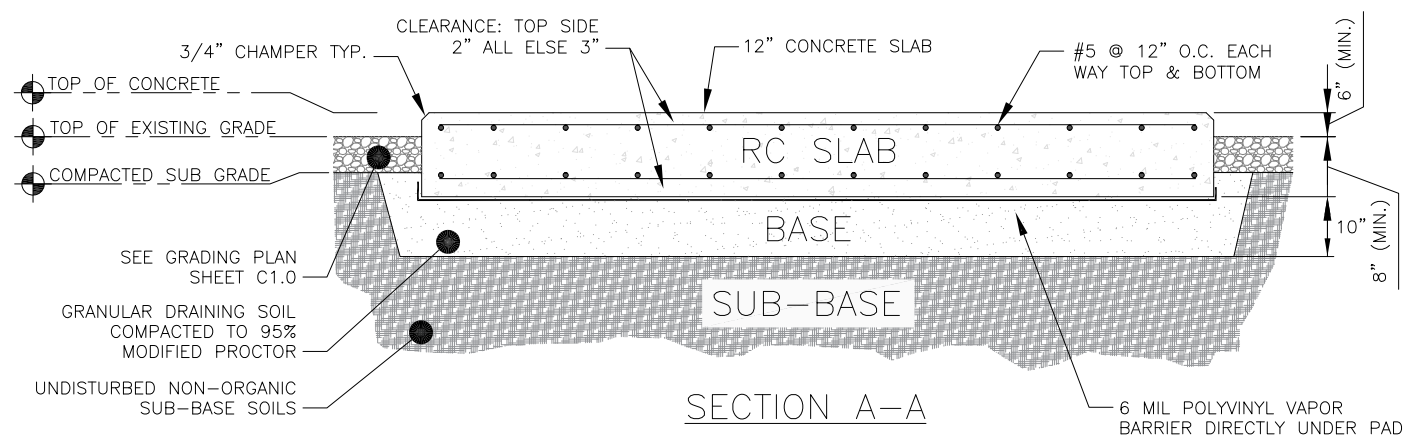
REMOVE ALL ORGANIC MATERIAL, SOFT AREA, AND POOR SOILS BENEATH CONCRETE PAD TO A DEPTH OF AT LEAST 4'-0" BELOW CONCRETE PAD.



**NOTE:**

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2. ALL CONCRETE WORK SHALL BE PERFORMED IN ACCORDANCE WITH ACI301, ACI318, ACI336, ASTM A184, ASTM A185, AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR COST-IN-PLACE CONCRETE.
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4. REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60 KSI DEFORMED BAR UNLESS NOTED OTHERWISE. WELDING WIRE FABRIC SHALL CONFORM TO ASTM A185 WELDED STEEL WIRE FABRIC. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD.
5. REINFORCING STEEL SHALL BE ACCURATELY PLACED AND ADEQUATELY SECURED IN POSITION. LOCATION OF REINFORCEMENT SHALL BE AS INDICATED ON THE DRAWINGS. CONCRETE COVER SHALL BE AS SHOWN.
6. TOP OF FOUNDATION TO HAVE A "BRUSH FINISH".
7. EXPOSED FINISHED SURFACE IS NOT TO HOLD WATER.
8. ALL SURFACES ARE TO BE CLEANED OF ANY RESIDUAL CONCRETE FROM SPLASHING OR SPILLS.
9. CONCRETE PAD FOR GENERATOR SHALL BE 12" THICK.
10. GENERATOR PAD CONCRETE SHALL BE POURED NEAT AGAINST TOTALLY CLEANED EXCAVATION & FORMED SURFACES WITH 6MIL POLYVINYL VAPOR BARRIER BASE.

PLAN VIEW



**2 GENERAC DIESEL GENERATOR FOUNDATION DETAIL**  
SCALE: N.T.S.

PREPARED FOR:

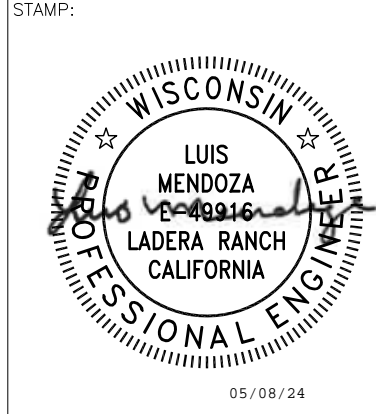
**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**

SITE NUMBER:  
**765538**

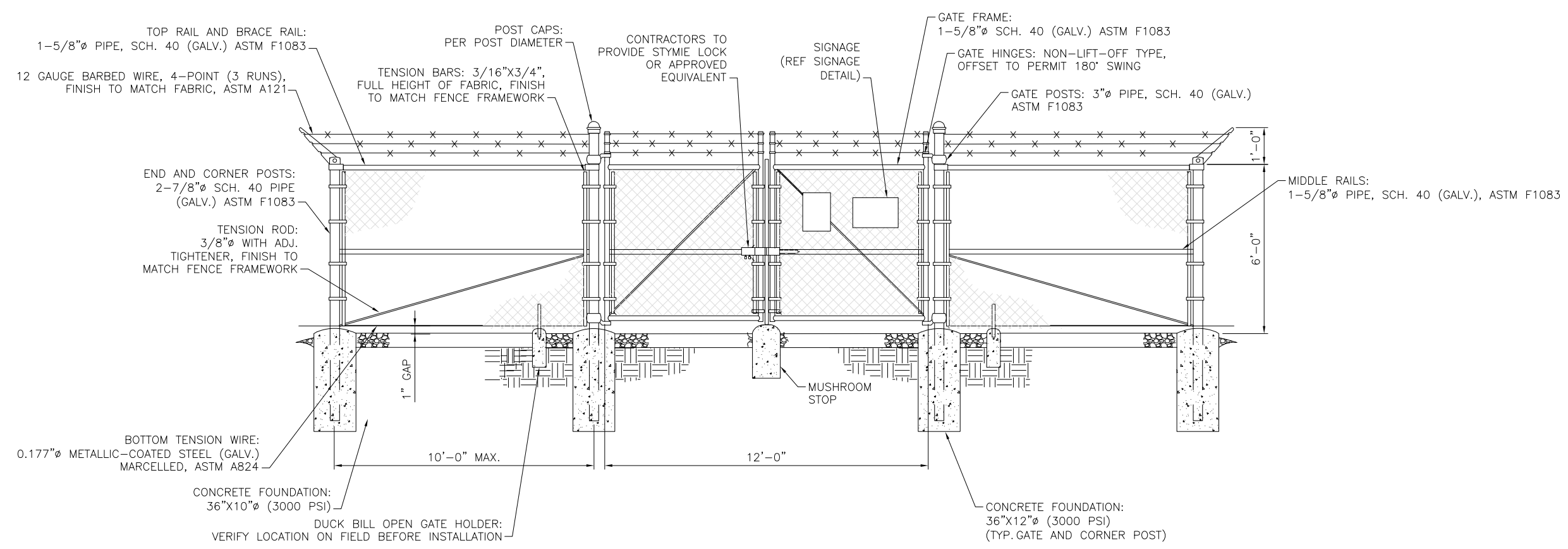
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY



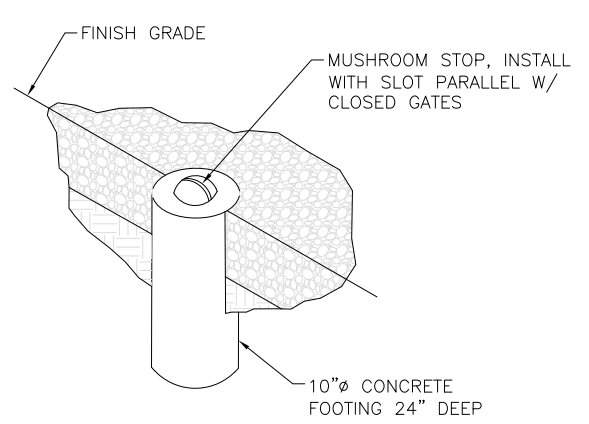
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NO	DESCRIPTION	BY	DATE
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SHEET TITLE:  
**GENERATOR PAD FOUNDATION DETAILS**

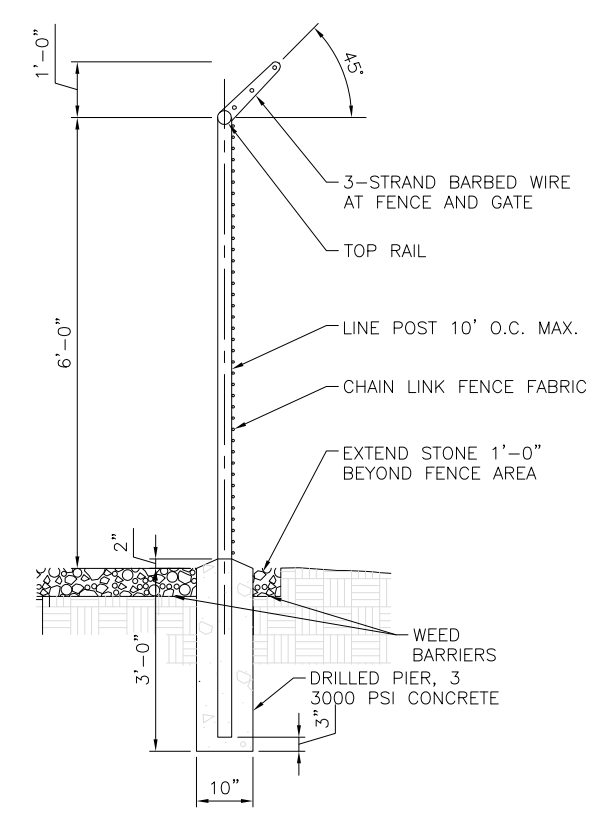
SHEET NUMBER:  
**A4.10**



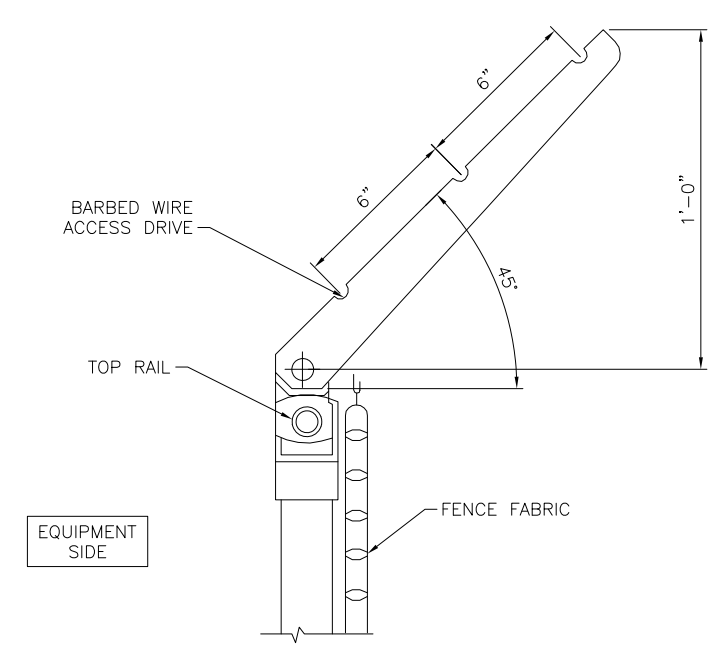
**1 TYP. FENCE ELEVATION**  
SCALE: N.T.S.



**2 MUSHROOM STOP**  
SCALE: N.T.S.



**3 TYP. FENCE SECTION**  
SCALE: N.T.S.



**4 TYP. BARBED WIRE DETAIL**  
SCALE: N.T.S.

- FENCE NOTES:**
1. USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
  2. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
  3. ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
  4. CORNERS AND GATES POSTS FOR CHAIN LINK FENCE SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
  5. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
  6. THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
  7. CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
  8. CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.

PREPARED FOR:

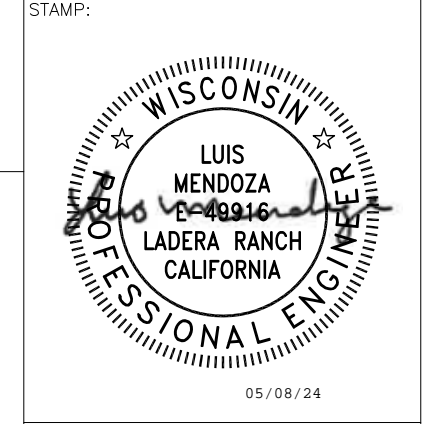
**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
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1701 GOLF ROAD  
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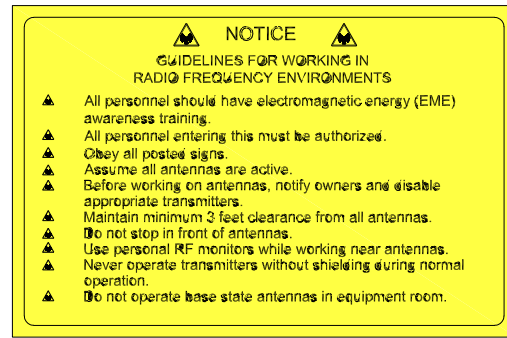


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SHEET TITLE:  
**FENCE DETAILS**

SHEET NUMBER:  
**A4.11**



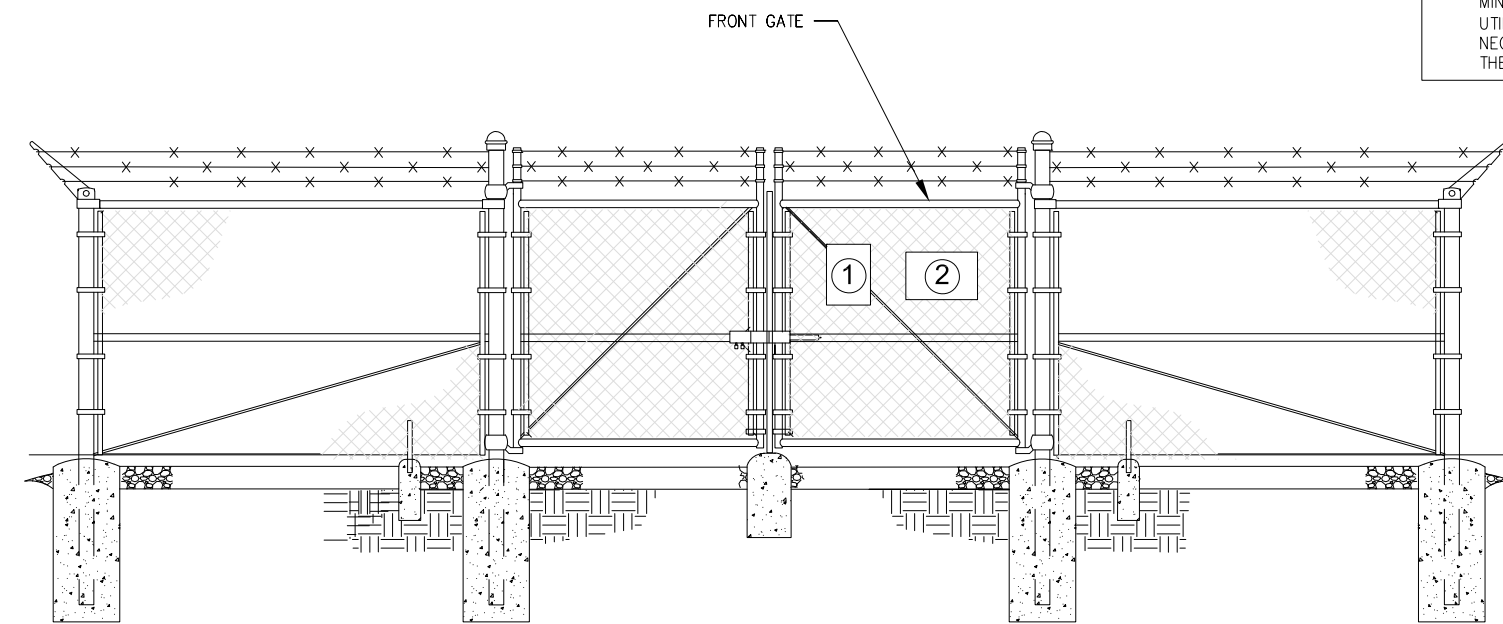


① RF GUIDELINES SIGN  
LOCATION ON:  
- ANTENNA ENCLOSURE ENTRANCE  
- EQUIPMENT ENCLOSURE GATE

② NOC INFORMATION SIGN  
LOCATION ON:  
- EQUIPMENT ENCLOSURE GATE

NOTE:  
PROVIDE ADHESIVE VINYL SIGNS IF LOCATION ALLOWS FOR IT  
METAL SIGN SPECIFICATIONS:  
UV RESISTANT FOR OUTDOOR USE  
ROUNDED CORNERS WITH PRE-DRILLED HOLES  
NO OFFICIAL EME REPORT HAS BEEN PROVIDED.  
SIGNAGE SHOWN IS APPROXIMATE. WILL VERIFY WHEN REPORT IS GIVEN.

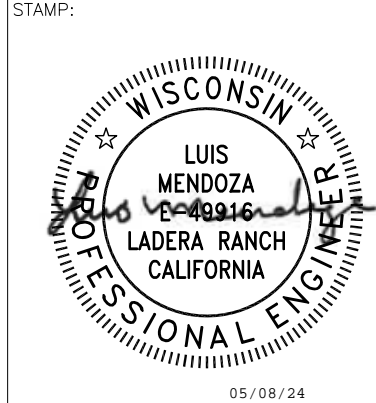
SIGNAGE NOTES:  
1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTEDS WITH LONG LASTING UV RESISTANT COATINGS.  
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OG 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METALS AS THE STRUCTURE TO AVOID GALVANIC CORROSION.



1 SITE SIGNAGE  
SCALE: N.T.S.

PREPARED FOR:  
**verizon**  
CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
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**WHITEWATER SOUTH**  
SITE NUMBER:  
**765538**  
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY



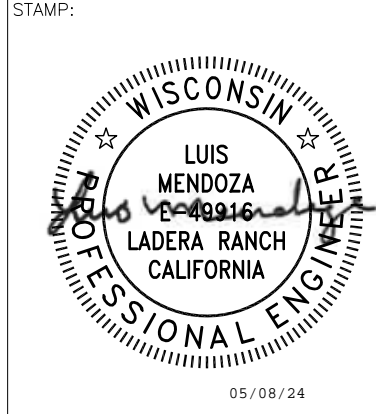
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NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**SIGNAGE DETAILS**

SHEET NUMBER:  
**A4.12**

PREPARED FOR:  
**verizon**  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

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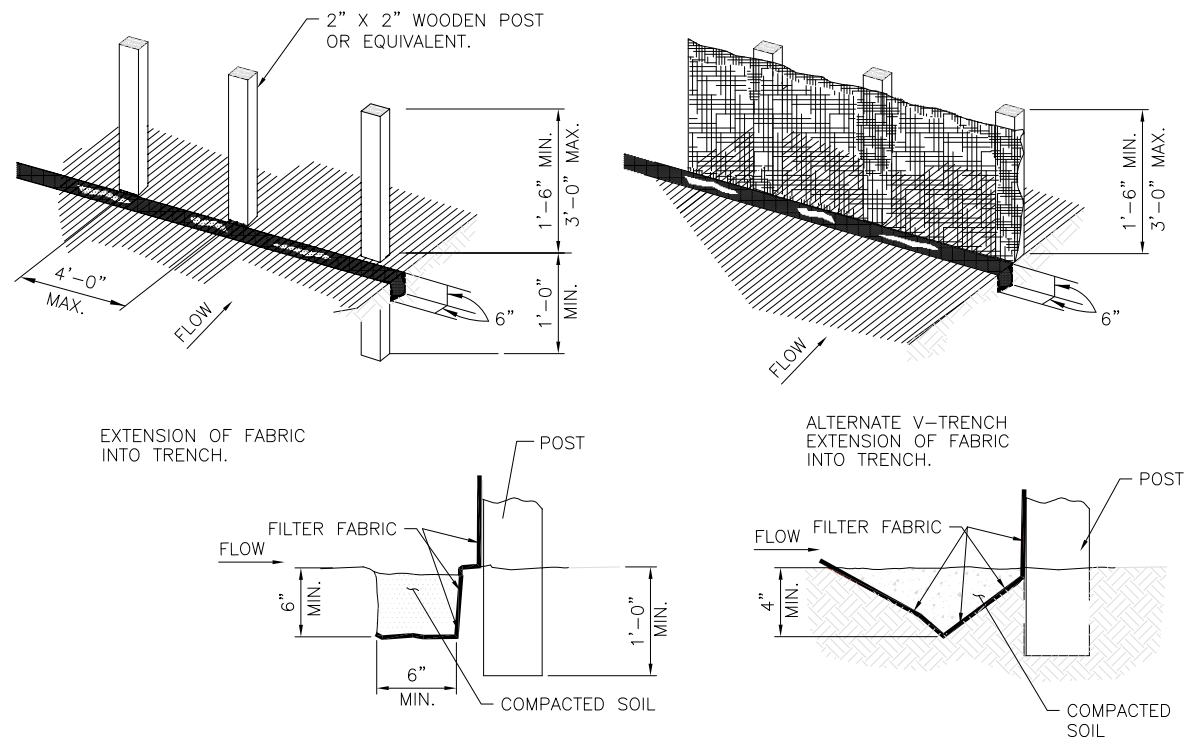


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SHEET TITLE:  
**SITE DETAILS**

SHEET NUMBER:  
**A4.13**

- GENERAL NOTES**
1. SET POSTS AT 4- FEET MAXIMUM SPACING. IF FACTORY PREASSEMBLED FENCE WITH SUPPORT NETTING IS USED, SPACING OF POST MAY BE INCREASED TO 8 FEET MAXIMUM.
  2. WHEN TWO SECTIONS OF FILTER FABRIC ADJOIN EACH OTHER, OVERLAP 6 INCHES AT THE POST, FOLD TOGETHER, AND ATTACH TO THE POSTS.
  3. REMOVE SEDIMENT DEPOSITS WHEN SILT DEPTH REACHES ONE-THIRD OF THE HEIGHT OF THE FENCE.



**1 SILT FENCE DETAIL**  
 SCALE: N.T.S.

**KEY NOTES:**

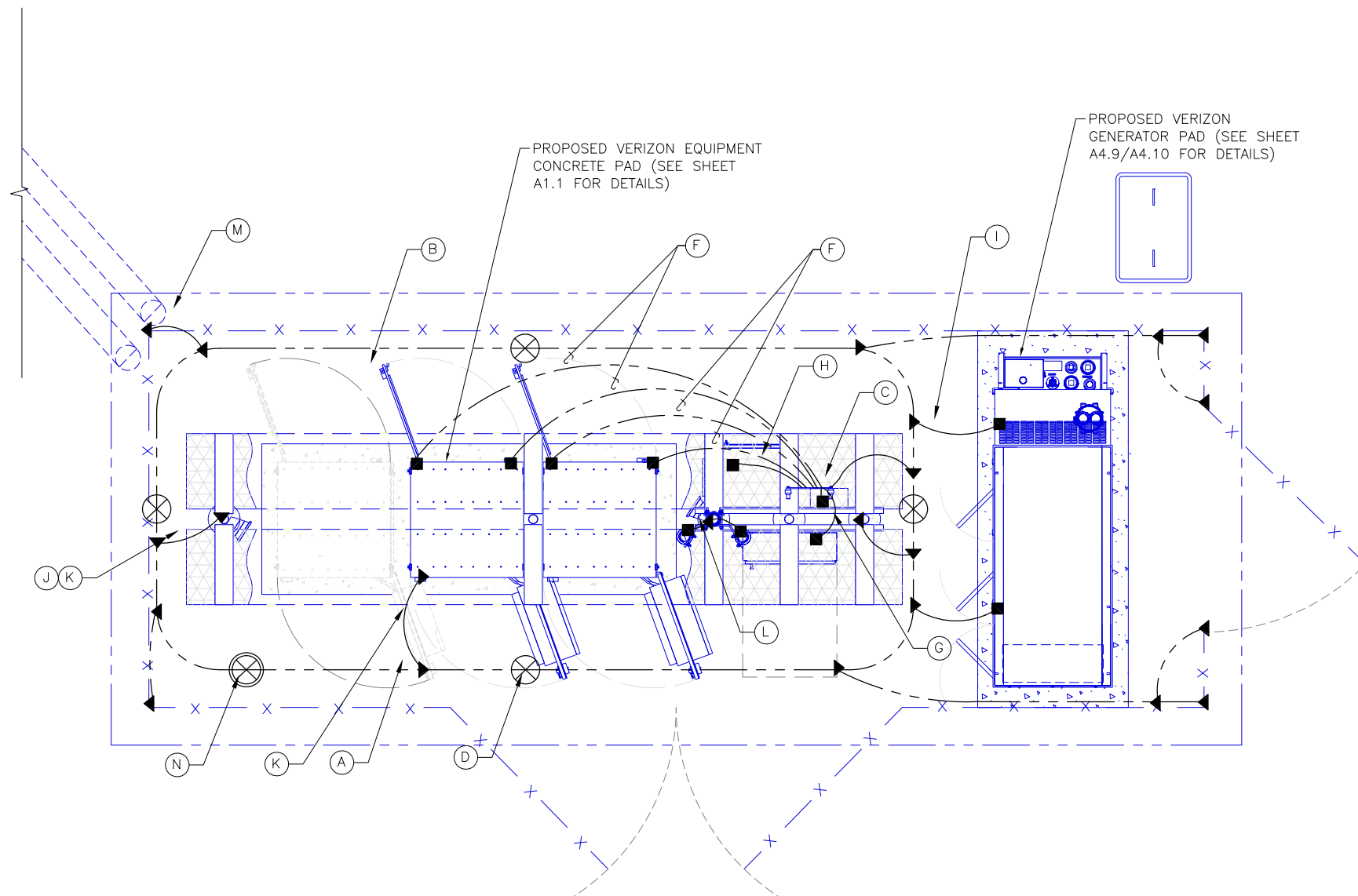
- (A) EQUIPMENT GROUND RING #2 AWG SOLID TINNED COPPER GROUND LEAD MIN. 4'-6" BURY OR 6" BELOW FROST WHICH EVER IS GREATER
- (B) MAINTAIN 2-FOOT CLEARANCE
- (C) MASTER GROUND BAR (MGB) MOUNTED VERTICALLY TO FIRST ICE BRIDGE POST ON INSULATORS
- (D) 5/8" DIAMETER x 10'-0" LONG COPPER CLAD GROUND ROD; SPACED AT 8' O.C.
- (E) BOND EQUIPMENT GROUND RING TO THE TOWER GROUND RING WITH (2) #2 SOLID BARE TINNED COPPER GROUND LEADS
- (F) EQUIPMENT CABINET GROUND; SEE SHEET E2.0 FOR DETAILS
- (G) INTEGRATED LOAD CENTER (ILC) GROUND; SEE SHEET E2.0 FOR DETAILS
- (H) FIBER ENCLOSURE GROUND; SEE SHEET E2.0 FOR DETAILS
- (I) GENERATOR GROUND; SEE SHEET E2.0 FOR DETAILS
- (J) ICE BRIDGE POST GROUND; SEE SHEET E2.0 FOR DETAILS
- (K) EQUIPMENT PAD REBAR GROUND; SEE SHEET E2.1 FOR DETAILS
- (L) GPS GROUND TO ICE BRIDGE POST; SEE SHEET E2.0 FOR DETAILS
- (M) GROUND FENCE POSTS WITHIN 6- FEET TO EQUIPMENT
- (N) INSPECTION WELL (TYP.); SEE SHEET E2.2 FOR DETAILS
- (O) EXISTING TOWER GROUND BAR

**NOTES:**

1. THE GROUNDING SHALL BE TESTED PRIOR TO FINAL BACKFILLING. DOCUMENTATION OF 5 OHM OR LESS RESISTANCE TO BE PROVIDED TO PROJECT MANAGER.
2. ALL NON-INSULATED GROUND LEADS EXTENDING ABOVE GROUND LEVEL SHALL BE ENCASED IN 3/4" PVC & SEALED WITH SILICONE. PVC SHALL BE MIN. 16" INTO EARTH & EXTEND MIN. 6" ABOVE GROUND.
3. INSTALL 18"x18" COPPER PLATES IN LIEU OF GROUND RODS WHEN INSTALLING OVER TOWER FOUNDATION OR WHERE DRIVING GROUND RODS IS NOT FEASIBLE.

**GROUNDING LEGEND:**

- ▲ EXOTHERMIC OR UL RATED IRREVERSIBLE CONNECTION
- MECHANICAL CONNECTION
- GROUND LEAD
- ⊗ INSPECTION WELL
- ⊗ 5/8" DIA. x 10'-0" LONG, STEEL CLAD W/ A PURE COPPER JACKET (10' MAX SEPARATION); TOP OF EACH GROUND ROD SHALL EXTEND NO MORE THAN 6" ABOVE BOTTOM OF TRENCH
- ⊗ 18"x18"x0.32" THK COPPER PLATE (10' MAX SEPARATION)



**1 COMPOUND GROUNDING PLAN**  
 FULL SIZE PLOT SCALE: 1/2" = 1'-0"  
 HALF SIZE PLOT SCALE: 1/4" = 1'-0"  
 TRUE NORTH

PREPARED FOR:

**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
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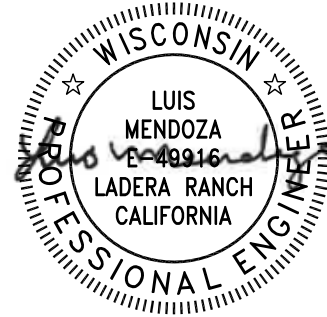
SHEET TITLE:  
**COMPOUND GROUNDING PLAN**

SHEET NUMBER:  
**E1.0**



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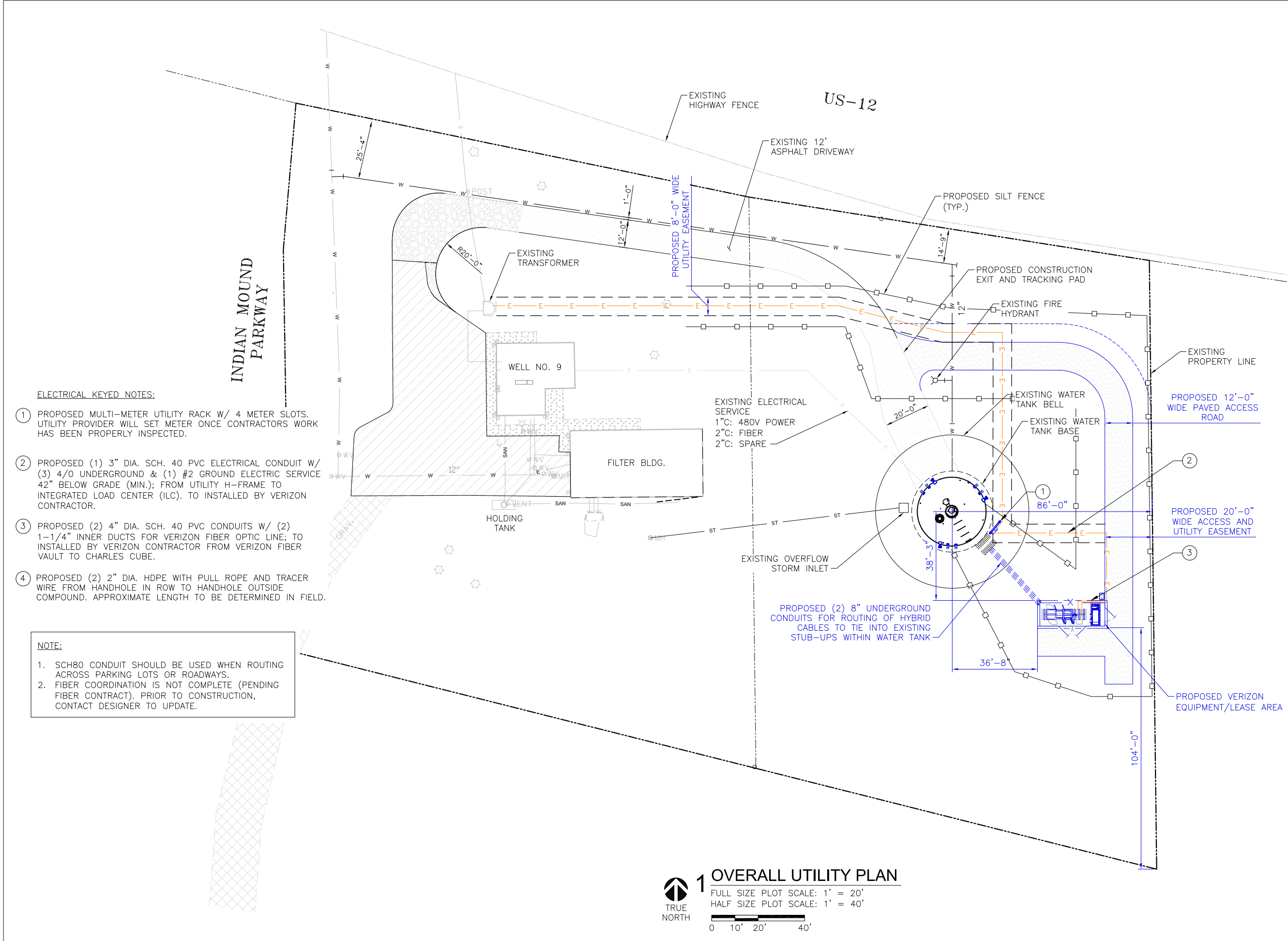
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SHEET TITLE:  
**OVERALL UTILITY PLAN**

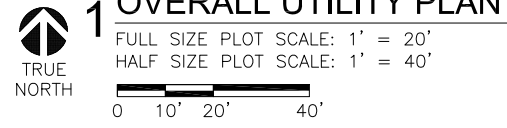
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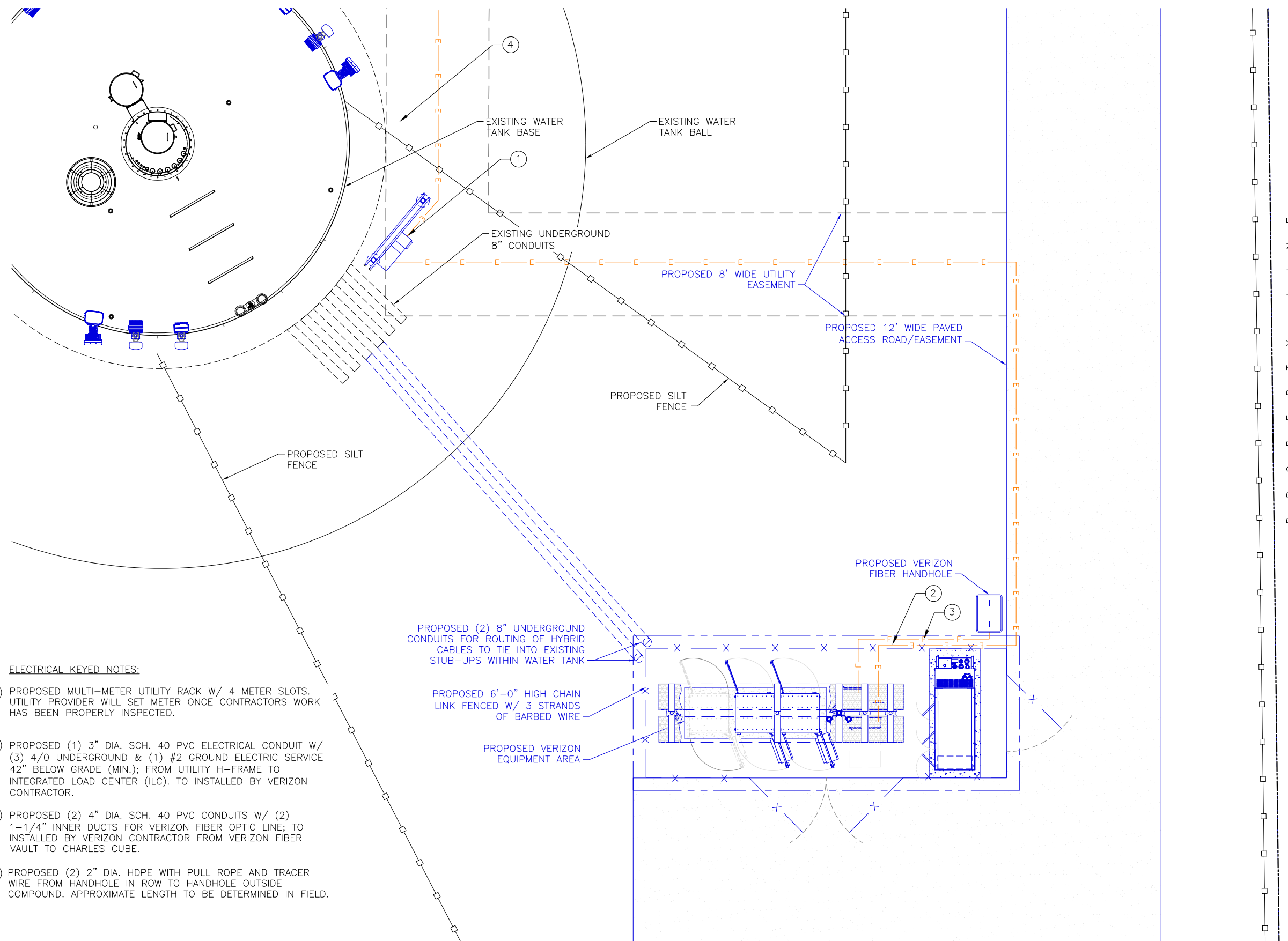


- ELECTRICAL KEYED NOTES:**
- PROPOSED MULTI-METER UTILITY RACK W/ 4 METER SLOTS. UTILITY PROVIDER WILL SET METER ONCE CONTRACTORS WORK HAS BEEN PROPERLY INSPECTED.
  - PROPOSED (1) 3" DIA. SCH. 40 PVC ELECTRICAL CONDUIT W/ (3) 4/0 UNDERGROUND & (1) #2 GROUND ELECTRIC SERVICE 42" BELOW GRADE (MIN.); FROM UTILITY H-FRAME TO INTEGRATED LOAD CENTER (ILC). TO INSTALLED BY VERIZON CONTRACTOR.
  - PROPOSED (2) 4" DIA. SCH. 40 PVC CONDUITS W/ (2) 1-1/4" INNER DUCTS FOR VERIZON FIBER OPTIC LINE; TO INSTALLED BY VERIZON CONTRACTOR FROM VERIZON FIBER VAULT TO CHARLES CUBE.
  - PROPOSED (2) 2" DIA. HDPE WITH PULL ROPE AND TRACER WIRE FROM HANDHOLE IN ROW TO HANDHOLE OUTSIDE COMPOUND. APPROXIMATE LENGTH TO BE DETERMINED IN FIELD.

**NOTE:**

- SCH80 CONDUIT SHOULD BE USED WHEN ROUTING ACROSS PARKING LOTS OR ROADWAYS.
- FIBER COORDINATION IS NOT COMPLETE (PENDING FIBER CONTRACT). PRIOR TO CONSTRUCTION, CONTACT DESIGNER TO UPDATE.

**1 OVERALL UTILITY PLAN**  
 FULL SIZE PLOT SCALE: 1' = 20'  
 HALF SIZE PLOT SCALE: 1' = 40'  




**ELECTRICAL KEYED NOTES:**

- ① PROPOSED MULTI-METER UTILITY RACK W/ 4 METER SLOTS. UTILITY PROVIDER WILL SET METER ONCE CONTRACTORS WORK HAS BEEN PROPERLY INSPECTED.
- ② PROPOSED (1) 3" DIA. SCH. 40 PVC ELECTRICAL CONDUIT W/ (3) 4/0 UNDERGROUND & (1) #2 GROUND ELECTRIC SERVICE 42" BELOW GRADE (MIN.); FROM UTILITY H-FRAME TO INTEGRATED LOAD CENTER (ILC). TO INSTALLED BY VERIZON CONTRACTOR.
- ③ PROPOSED (2) 4" DIA. SCH. 40 PVC CONDUITS W/ (2) 1-1/4" INNER DUCTS FOR VERIZON FIBER OPTIC LINE; TO INSTALLED BY VERIZON CONTRACTOR FROM VERIZON FIBER VAULT TO CHARLES CUBE.
- ④ PROPOSED (2) 2" DIA. HDPE WITH PULL ROPE AND TRACER WIRE FROM HANDHOLE IN ROW TO HANDHOLE OUTSIDE COMPOUND. APPROXIMATE LENGTH TO BE DETERMINED IN FIELD.

**NOTE:**  
1. SCH80 CONDUIT SHOULD BE USED WHEN ROUTING ACROSS PARKING LOTS OR ROADWAYS.

**1 UTILITY PLAN**  
FULL SIZE PLOT SCALE: 1/4" = 1'-0"  
HALF SIZE PLOT SCALE: 1/8" = 1'-0"  
0 2' 4' 8'

PROPERTY LINE

PREPARED FOR:

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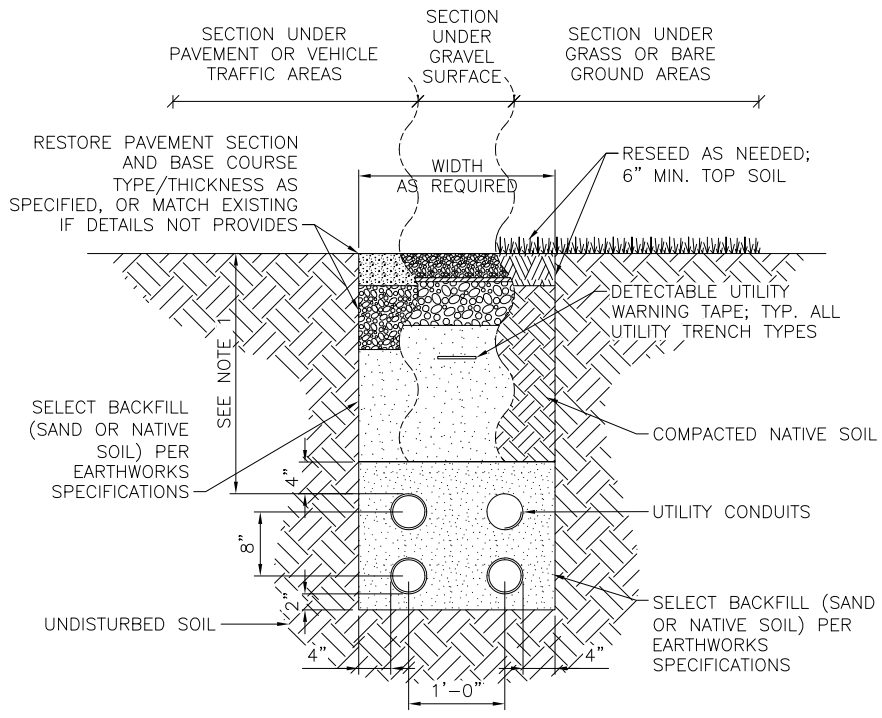
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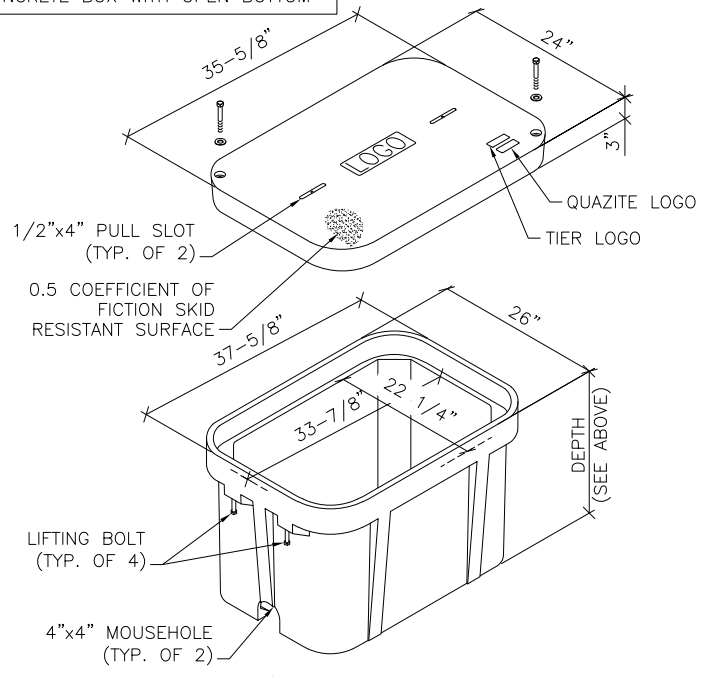


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SHEET TITLE:  
**UTILITY PLAN**  
SHEET NUMBER:  
**E1.2**



MANUFACTURER: QUAZITE  
 MODEL: PG2436BA36 (SPlice BOX)  
 PG2436BA24 (PULL BOX)  
 PG2436KK00 (COVER)  
 INSIDE DIMENSIONS:  
 24"x36"x36" (LxWxD) SPlice BOX  
 24"x36"x24" (LxWxD) PULL BOX  
 POLYMER CONCRETE BOX WITH OPEN BOTTOM



**WARNING TAPE & TRACE WIRE NOTES:**

1. WARNING TAPE TO BE INSTALLED ABOVE THE ELECTRICAL RUN FROM THE GENERATOR TO THE PLATFORM AND ABOVE THE FUEL LINE BETWEEN THE GENERATOR AND FUEL SOURCE.
2. WARNING TAPE SHALL BE RUN CONTINUOUSLY ALONG THE ENTIRE LENGTH AND INSTALLED 12 INCHES ABOVE THE TOP OF THE CONDUITS
3. TRACER WIRE SHALL RUN CONTINUOUSLY ALONG THE ENTIRE LENGTH OF THE BURIED GAS AND ELECTRIC CONDUITS.
4. TRACER WIRE SHALL BE SECURED TO THE CONDUIT AND MAINTAINED ABOVE THE CONDUIT CENTERLINE DURING TRENCH BACKFILLING.
5. TRACER WIRE TO EXTEND TO THE TOP OF PVC ABOVE CONCRETE ON BOTH ENDS - LOOP AND WRAP AROUND APPROPRIATE CONDUIT.
6. TRACER WIRE SHALL CONSIST OF 14GA. SOLID COPPER WIRE WITH A CORROSION PROTECTIVE COATING.
7. INSTALL TRACER WIRE WITH SPACER AND SECURE PER MNFG. RECOMMENDATIONS - AT A MIN. EVERY 10' AND AT ALL BENDS. - DO NOT WRAP BURIED CONDUIT WITH TRACER WIRE TO AVOID UNNECESSARY STRESS ON TRACER. - CONTRACTOR TO CHECK CONTINUITY OF TRACER WIRE BEFORE AND AFTER BURIAL AND DOCUMENT RESULTS. 12" ABOVE THE TOP OF THE CONDUITS.

NOTES:  
 1. UTILITY CONDUITS TO BE BURIED A MINIMUM DEPTH OF 42" BELOW GROUND LEVEL OR 6" BELOW THE FROST LINE.

**1 UTILITY TRENCH**  
 SCALE: N.T.S.

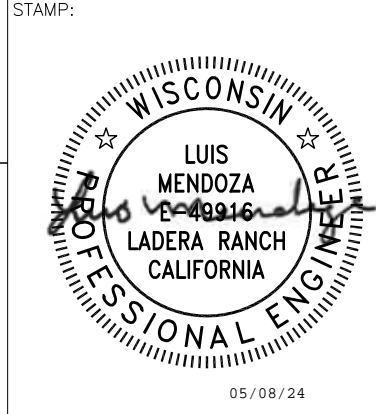
**2 NOT USED**  
 SCALE: N.T.S.

PREPARED FOR:

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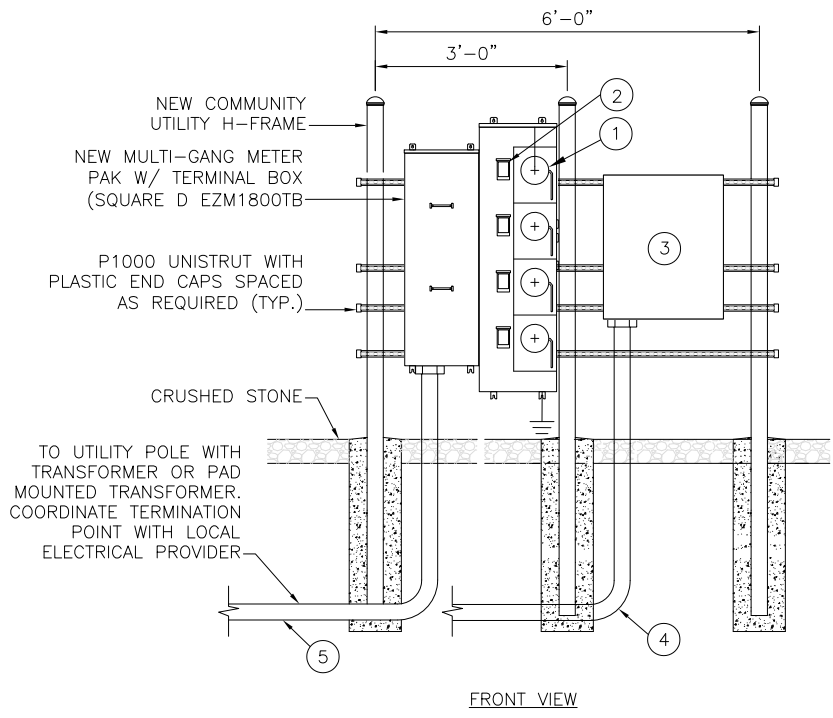
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SHEET TITLE:  
**UTILITY DETAILS**  
 SHEET NUMBER:  
**E1.3**

- KEYED NOTES:
- 1 (4) NEW 200A 1Ø3W 120/240V METER IN METER BASE, BY ELECTRIC SERVICE PROVIDER.
  - 2 (4) NEW SERVICE ENTRANCE RATED DISCONNECT, 200A, 1Ø3W 120/240V. INSTALL (4) 200A BREAKERS, ONE PER METER SLOT.
  - 3 NEW MAIN TELCO ENCLOSURE. INSTALL GROUND STRIP AND NEMA 5-20R GFCI.
  - 4 4" SCH 40 CONDUIT WITH (3) 1" CORRUGATED INNER DUCTS W/ PULL STRINGS FROM THE TELCO ENCLOSURE TO THE MEET ME POINT.
  - 5 VERIZON TO INSTALL (1) 3" SCH 40 (ELBOWS SCH 80) CONDUIT FROM THE VERIZON H-FRAME TO THE UTILITY POLE.



**3 MULTI-TENANT UTILITY H-FRAME DETAIL**  
 SCALE: N.T.S.

- NOTES:
1. CONFIGURATION OF SERVICE LATERAL SHOWN FOR REFERENCE. COORDINATE EXACT REQUIREMENTS WITH UTILITY PROVIDER.
  2. VERIFY ALL EXISTING UNDERGROUND UTILITIES BEFORE TRENCHING.
  3. ELECTRICAL CONTRACTOR SHALL CONTACT POWER CO. & TELE. CO. AND VERIFY EXACT ROUTING, SIZES AND CONDITIONS BEFORE TRENCHING.
  4. INSTALL ALL CONDUITS & EQUIPMENT AS SPECIFIED BY POWER CO. & TELE. CO.
  5. PROVIDE NYLON PULL STRINGS ON ALL EMPTY CONDUITS.
  6. ONLY CONDUITS DIRECTLY SERVING VERIZON EQUIPMENT SHALL BE ROUTED THROUGH VERIZON LEASE AREA
  7. ADD E911 ADDRESS TO THE METER BANK. THE LETTERING NEEDS TO BE A MINIMUM OF 2" TALL.
  8. LABEL EACH METER PER UTILITY COMPANY REQUIREMENTS.

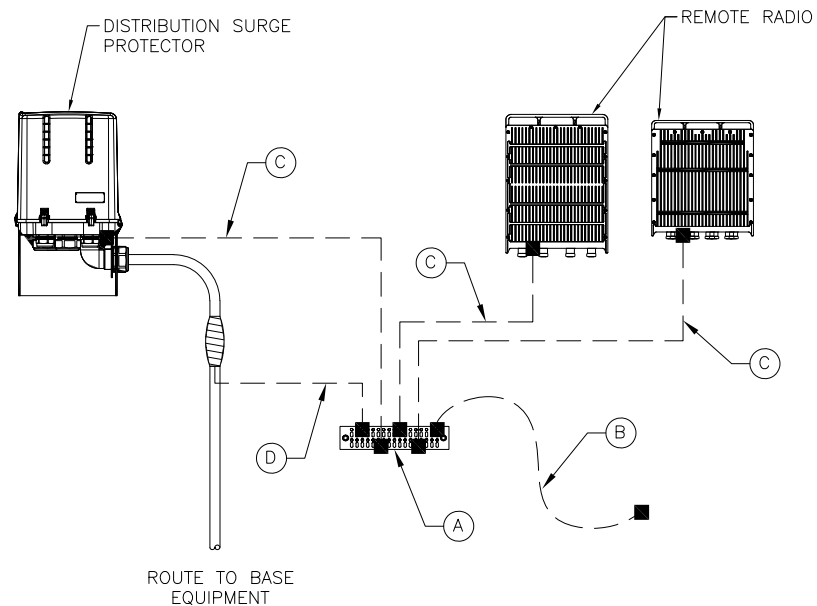


**KEY NOTES:**

- (A) 1/4"x4"x12" COLLECTOR GROUND BAR (CGB) FOR CONNECTIONS OF MULTIPLE GROUND KITS AT ONE LEVEL
- (B) CGB GROUND #2 AWG GREEN-INSULATED STRANDED COPPER LEAD WITH 2 HOLE LONG BARREL AND UL LISTED BONDING CLAMP TO LOWER STEEL AND/OR MOUNT STEEL
- (C) ANCILLARY EQUIPMENT GROUND KIT #2 AWG STRANDED INSULATED LEAD TO GROUND BAR WITH 2 HOLE LONG BARREL LUG (TYP.)
- (D) CABLE GROUND #2 AWG STRANDED INSULATED TO GROUND BAR WITH 2 HOLE LONG BARREL LUG (TYP.)
- (E) 1/4"x4"x20" MASTER GROUND BAR (MGB) MOUNTED VERTICALLY TO FIRST ICE BRIDGE POST ON INSULATORS
- (F) EQUIPMENT CABINET GROUND #2 AWG SOLID TINNED COPPER LEAD ENCASE IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE TO EQUIPMENT PAD GROUND RING (TYP. OF 2 PER CABINET)
- (G) INTEGRATED LOAD CENTER (ILC) GROUND #2 AWG SOLID TINNED COPPER LEASE ENCASED IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE TO EQUIPMENT PAD GROUND RING
- (H) FIBER ENCLOSURE GROUND #2 AWG SOLD TINNED COPPER LEAD ENCASE IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE TO EQUIPMENT PAD GROUND RING
- (I) GENERATOR GROUND #2 AWG SOLID TINNED COPPER LEAD ENCASE IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE TO EQUIPMENT PAD GROUND RING (TYP. OF 2)
- (J) CANOPY POST GROUND #2 AWG SOLID TINNED COPPER LEAD ENCASED IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE (TYP. OF 4)
- (K) CANOPY TO POST GROUND #2 AWG GREEN-INSULATED STRANDED COPPER LEAD WITH 2 HOLE LONG BARREL ON EACH END (TYP.);
- (L) EQUIPMENT PAD REBAR GROUND #2 AWG SOLID TINNED COPPER LEASE ENCASE IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE
- (M) CONDUIT GROUND #2 AWG SOLID TINNED COPPER LEAD
- (N) GPS GROUND TO ICE BRIDGE POST #2 AWG GREEN-INSULATED STRANDED COPPER LEAD
- (O) ICE BRIDGE POST GROUND #2 AWG SOLID TINNED COPPER LEAD ENCASED IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE (TYP.)
- (P) ICE BRIDGE SECTION GROUND #2 AWG GREEN-INSULATED STRANDED COPPER LEAD WITH 2 HOLE LONG BARREL ON EACH END (TYP.)
- (Q) ICE BRIDGE SECTION TO POST GROUND #2 AWG SOLID TINNED COPPER LEAD (TYP.); ORIENT LEAD WITH HIGH SIDE TOWARDS TOWER
- (R) 14"x4"x20" TOWER GROUND BAR (TGB) INSTALLED ON TOWER; FOR LATTICE TOWERS, MOUNT TGB DIAGONALLY AT 12" ABOVE ICE BRIDGE FOR EASIER HOOK-UP OF GROUNDING KIT LEADS
- (S) TGB GROUND #2 AWG SOLID TINNED COPPER LEAD ENCASED IN LIQUID-TIGHT FLEXIBLE NON-METALLIC CONDUIT TO 24" BELOW GRADE FROM TGB TO TOWER GROUND RING (TYP. OF 2)
- (T) TGB GROUND #2 AWG GREEN-INSULATED STRANDED COPPER LEAD WITH 2 HOLE LONG BARREL AND UL LISTED BONDING CLAMP TO FLAT METAL
- (U) SECURE GROUND LEADS TO TOWER WITH BAND STRAPS OR SNAP-IN HANGERS AT GENERAL CONTRACTOR'S DISCRETION. USE MULTIPLE LEVELS OF ATTACHMENT IF GROUND BAR IS ATTACHED HIGH ABOVE GRADE.

**GROUNDING LEGEND:**

- ▲ EXOTHERMIC OR UL RATED IRREVERSIBLE CONNECTION
- MECHANICAL CONNECTION
- GROUND LEAD



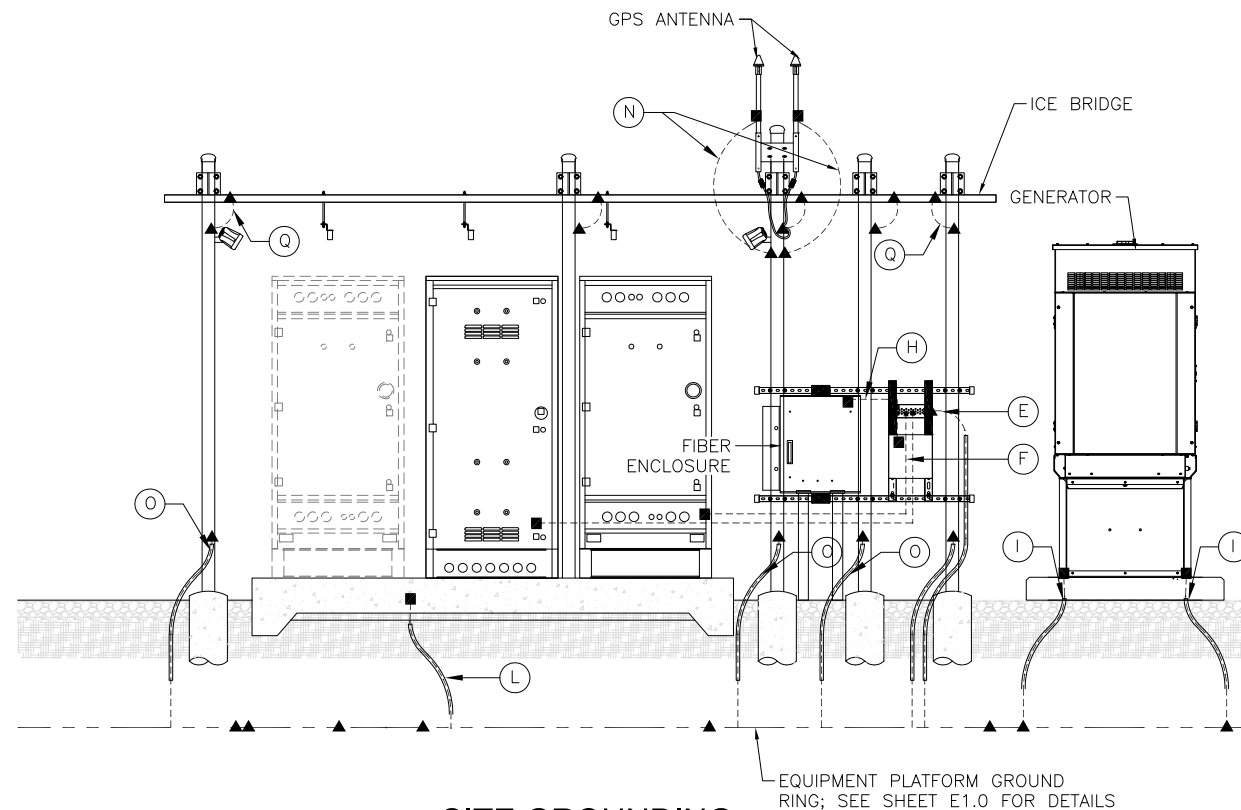
- NOTES:**
1. ALL CABLING AND/OR GROUNDING RUNS SHALL BE INSTALLED IN A NEAT AND ORDERLY FASHION.
  2. CONTRACTOR SHALL INSTALL PER LATEST EDITION OF THE N.E.C.
  3. SCHEMATIC DETAIL ONLY. REFER TO ANTENNA AND EQUIPMENT CONFIGURATION FOR EQUIPMENT QUANTITY AND LOCATION.
  4. ALL GROUND LEADS TO BE ROUTED IN A DOWNWARD FASHION.

**1 ANTENNA LEVEL GROUNDING**

SCALE: N.T.S.

**NOTES:**

1. ALL BELOW-GRADE CONNECTIONS AREA TO BE EXOTHERMICALLY WELDED A MINIMUM OF 48" BELOW GRADE.
2. ALL LEADS EXTENDING ABOVE GRADE TO BE ENCASE IN 3/4" CONDUIT AND EXTEND A MINIMUM OF 6" ABOVE FINISHED GRADE AND 24" BELOW FINISHED GRADE.
3. APPLY COLD GALVANIZATION TO ALL ABOVE-GROUND EXOTHERMICALLY WELDED CONNECTIONS.
4. APPLY ANTI OXIDANT COMPOUND TO ALL MECHANICAL CONNECTIONS.
5. UPPER AND LOWER TOWER GROUND BARDS TO BE BONDED DIRECTLY TO TOWER STEEL WITH #2 CONDUCTORS.
6. AIR TERMINAL TO EXTEND 2" ABOVE HIGHEST ANTENNA MIN. OR MAST PIPE MECHANICALLY FASTEN AIR TERMINAL TO MAST PIPE MAST PIPE TO BE MECHANICALLY CONNECTED TO TOWER STEEL.



**2 SITE GROUNDING**

SCALE: N.T.S.

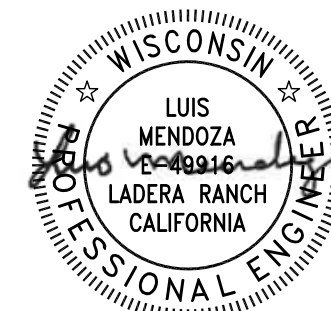
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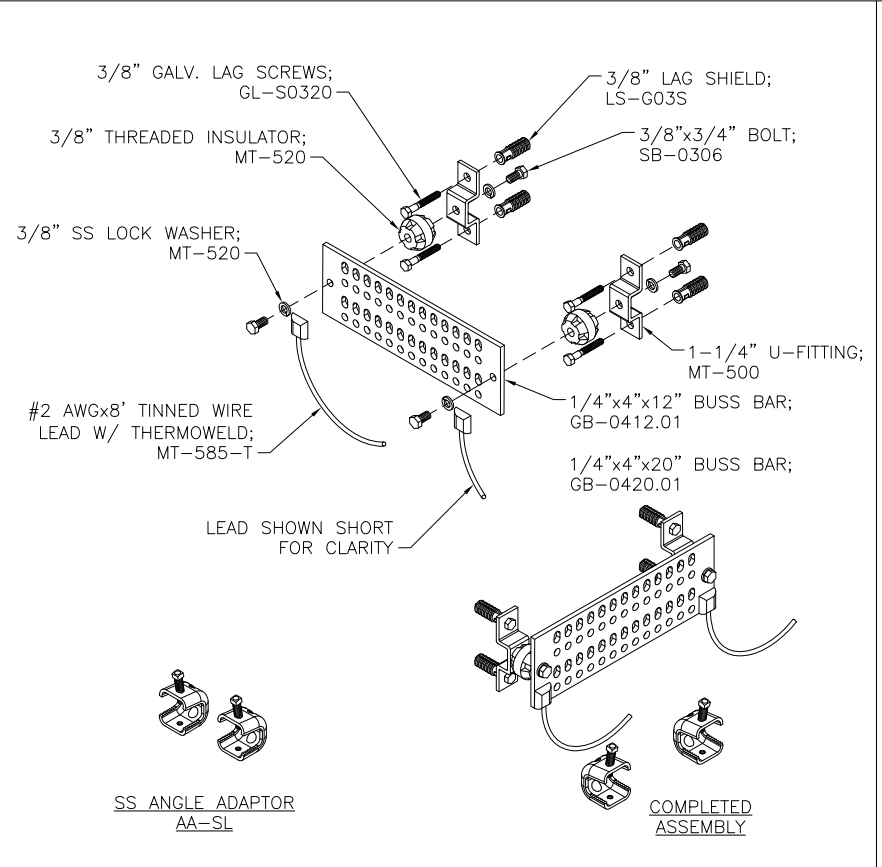
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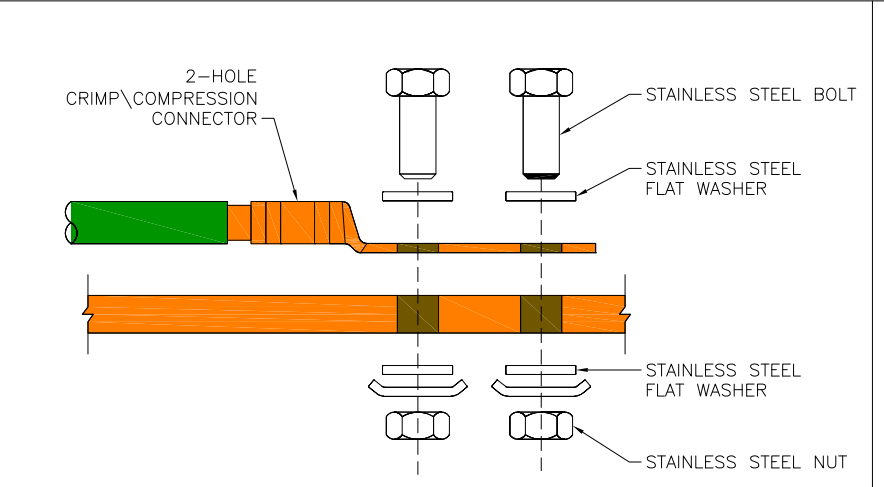
**GROUNDING DETAILS**

SHEET NUMBER:

**E2.0**

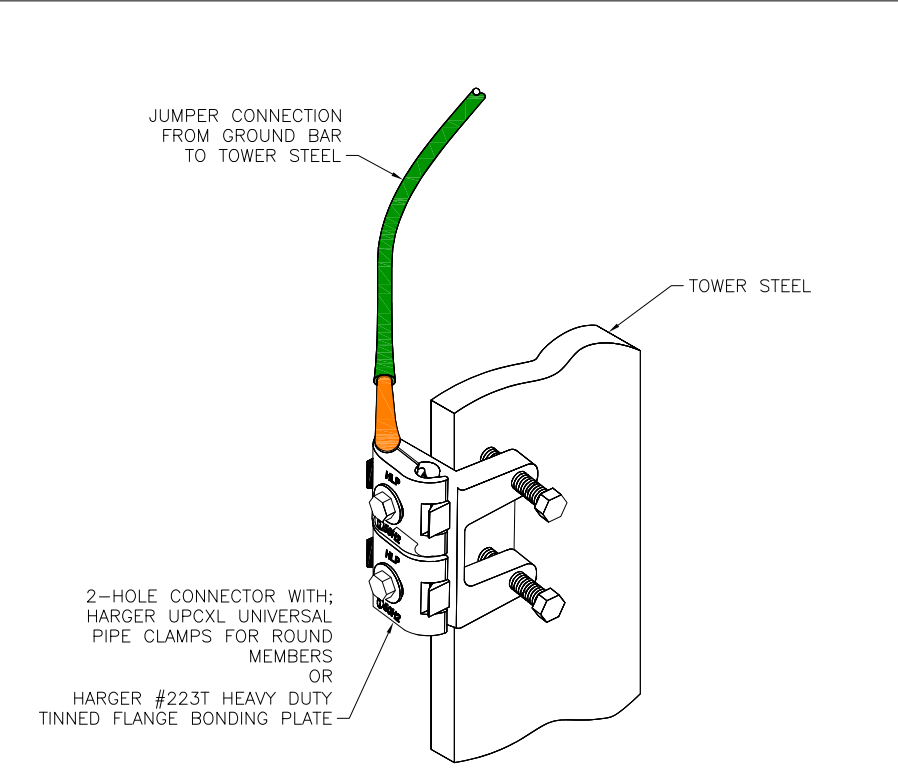


**1 GROUND AND BUSS BAR**  
 SCALE: N.T.S.



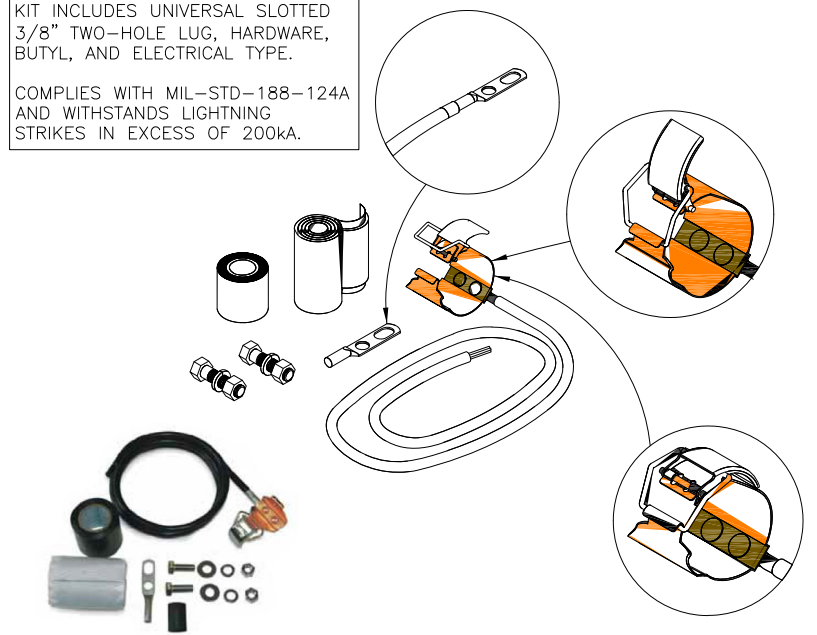
- NOTES:
1. ALL OUTDOOR HARDWARE (BOLTS, SCREWS, NUTS, WASHERS) SHALL BE 18-8 STAINLESS STEEL TYPE GRADE. INDOORS, GRADE 5 STEEL HARDWARE MAY BE USED.
  2. CHOOSE BOLT LENGTH TO ALLOW THE EXPOSURE OF AT LEAST TWO THREADS.
  3. BACK TO BACK LUG CONNECTIONS ARE AN ACCEPTABLE PRACTICE WHEN BONDED TO A GROUND BAR OR STEEL OBJECTS.
  4. AT CONNECTIONS MADE TO STEEL OR ANY OTHER DISSIMILAR METALS, A DRAGON TOOTH WASHER MEETING VZW PRACTICES SHALL BE USED BETWEEN THE CONNECTOR AND STEEL.
  5. IF NOT USING DRAGON TOOTH WASHERS, THOROUGHLY REMOVE A SECTION OF PAINT OR COATING APPROXIMATELY THE SAME SIZE AS CONNECTOR. REMOVE THE PAINT FROM SURFACE USING A DREMEL TYPE TOOL.
  6. USE AN APPROVED ANTI-OXIDATION COMPOUND ON ALL GROUNDING CONNECTIONS. A COPPER COSMOLINE GREASE BASED COMPOUND (NO OX-ID) SHALL BE USED ON ALL COPPER TO COPPER CONNECTIONS. A ZINC BASED (GREY COLORED) COMPOUND SHALL BE USED ON ALL COPPER TO STEEL CONNECTIONS.
  7. WHEN BONDING TO A METALLIC OBJECT WHERE ACCESS IS LIMITED TO ONLY ONE SURFACE, DRILLING & TAPPING OR SELF DRILLING SCREWS ARE THE PREFERRED AND ACCEPTABLE MEANS OF CONNECTIONS. SHEET METAL SCREWS SHALL NOT BE USED

**2 GROUNDING LUG**  
 SCALE: N.T.S.



**3 GROUND BAR CONNECTION TO TOWER STEEL**  
 SCALE: N.T.S.

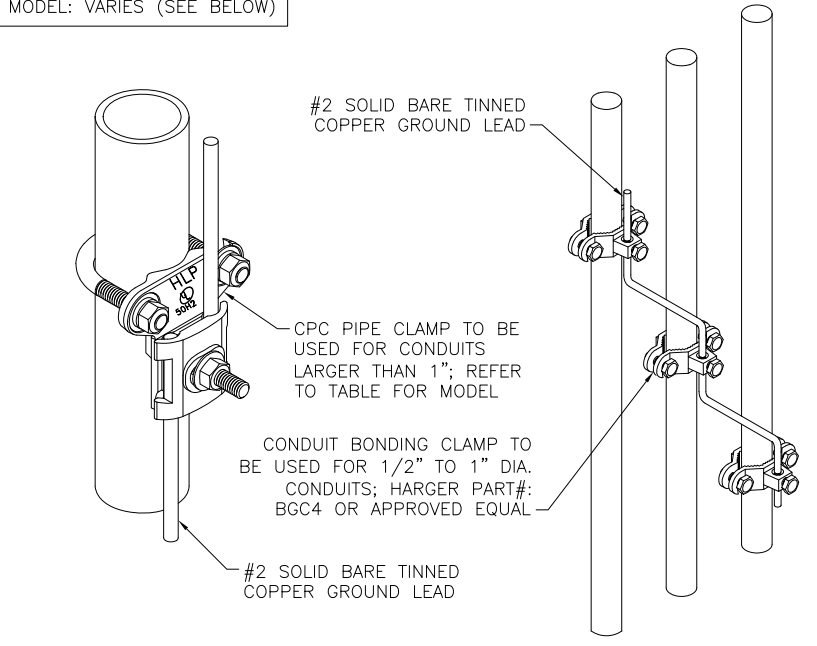
MANUFACTURER: SITE PR01  
 MODEL: VARIES (SEE BELOW)  
 KIT INCLUDES UNIVERSAL SLOTTED 3/8" TWO-HOLE LUG, HARDWARE, BUTYL, AND ELECTRICAL TYPE.  
 COMPLIES WITH MIL-STD-188-124A AND WITHSTANDS LIGHTNING STRIKES IN EXCESS OF 200kA.



PART#	CABLE SIZE & TYPE	LENGTH	LUG	WEIGHT
GK-C12	1/2" CORRUGATED	5'	UNATTACHED	1.50 LB.
GK-C78	7/8" CORRUGATED	5'	UNATTACHED	1.65 LB.
GK-C114	1-1/4" CORRUGATED	5'	UNATTACHED	1.70 LB.
GK-C158	1-5/8" CORRUGATED	5'	UNATTACHED	1.80 LB.
GK-C214	2-1/4" CORRUGATED	5'	UNATTACHED	1.50 LB.

**4 CLIP ON GROUND KIT**  
 SCALE: N.T.S.

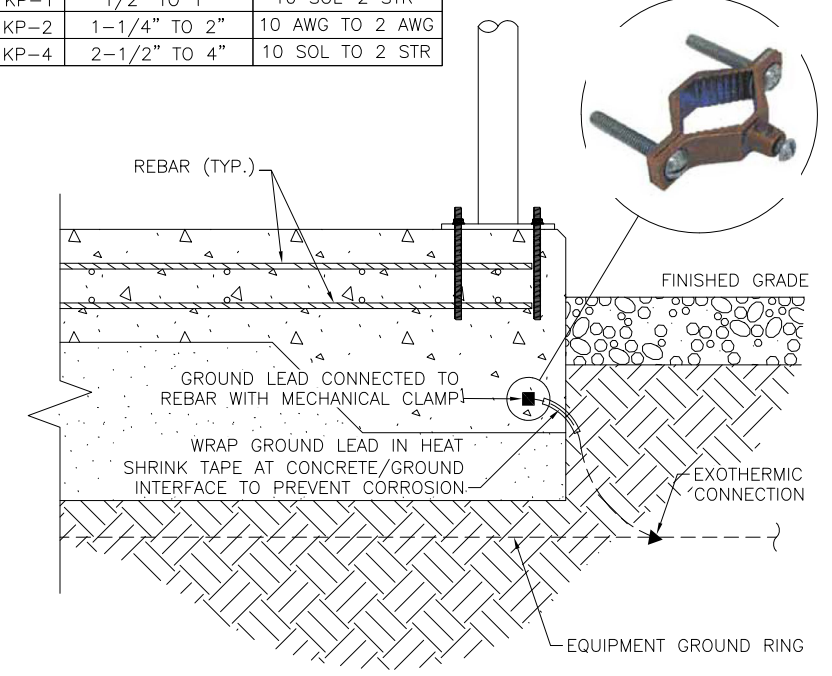
MANUFACTURER: HARGER  
 MODEL: VARIES (SEE BELOW)



PART#	NOMINAL PIPE SIZE RANGE	PIPE OUTSIDE DIAMETER
CPC1/1.25	1"-1.25"	0.9375"-1.7"
CPC1.5/2	1.5"-2"	1.25"-2.4"
CPC2.5/3	2.5"-3"	2.5"-3.5"
CPC3.5/4	3.5"-4"	3.375"-4.5"
CPC5/6	5"-6"	4.75"-6.63"

**5 CONDUIT GROUNDING**  
 SCALE: N.T.S.

SITE PRO 1 PIPE GROUND CLAMPS		
PART#	REBAR DIA. RANGE	WIRE RANGE
KP-1	1/2" TO 1"	10 SOL-2 STR
KP-2	1-1/4" TO 2"	10 AWG TO 2 AWG
KP-4	2-1/2" TO 4"	10 SOL TO 2 STR

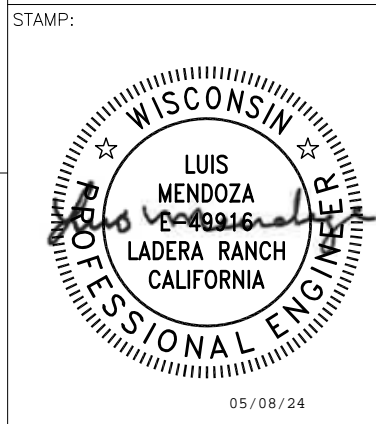


- NOTES:
1. FOUNDATION SHOWN INS TYPICAL. SEE TOWER FOUNDATION PLANS FOR REINFORCEMENT DETAILS.
  2. FOUNDATION GROUNDING PER NEC 250.52(3)(A). GROUNDING CONNECTIONS TO BE COVERED BY A MINIMUM OF 3" CONCRETE AND BE MADE TO A MIN. 20' CONTINUOUS REBAR, IF POSSIBLE.

**6 EQUIP. PAD FOUNDATION GROUNDING**  
 SCALE: N.T.S.

PREPARED FOR:  
**verizon**  
 CHICAGO SMSA LIMITED PARTNERSHIP  
 D/B/A VERIZON WIRELESS  
 1701 GOLF ROAD  
 TOWER 2, SUITE 400  
 ROLLING MEADOWS, IL 60008

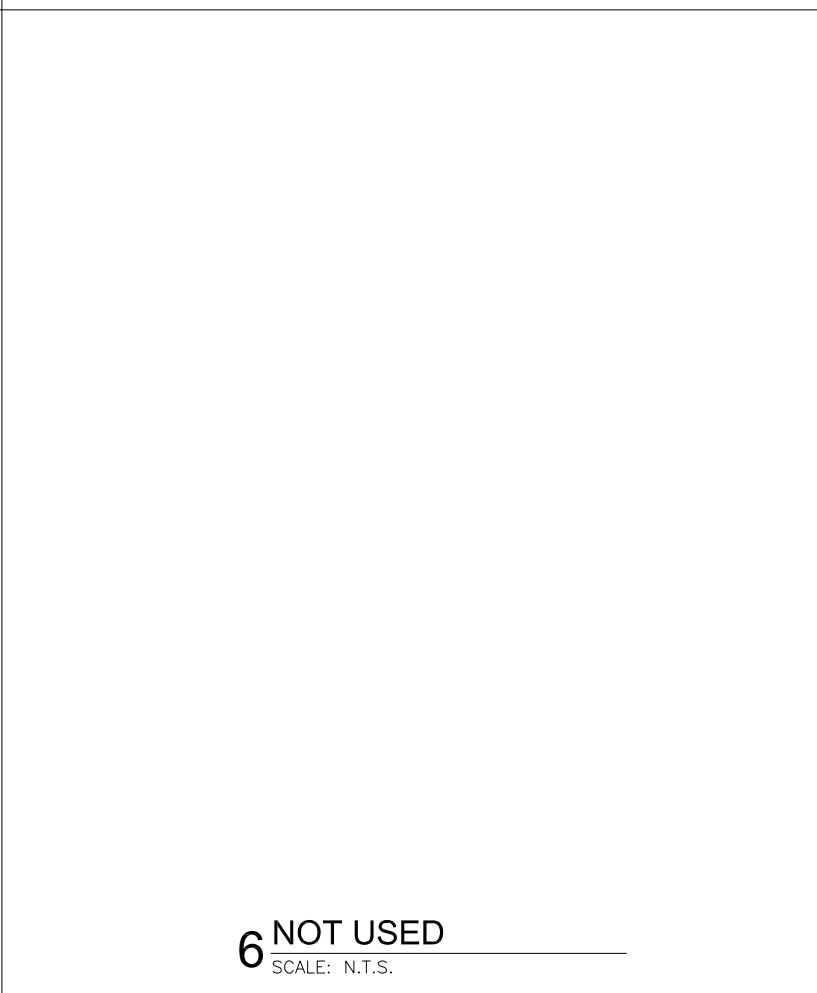
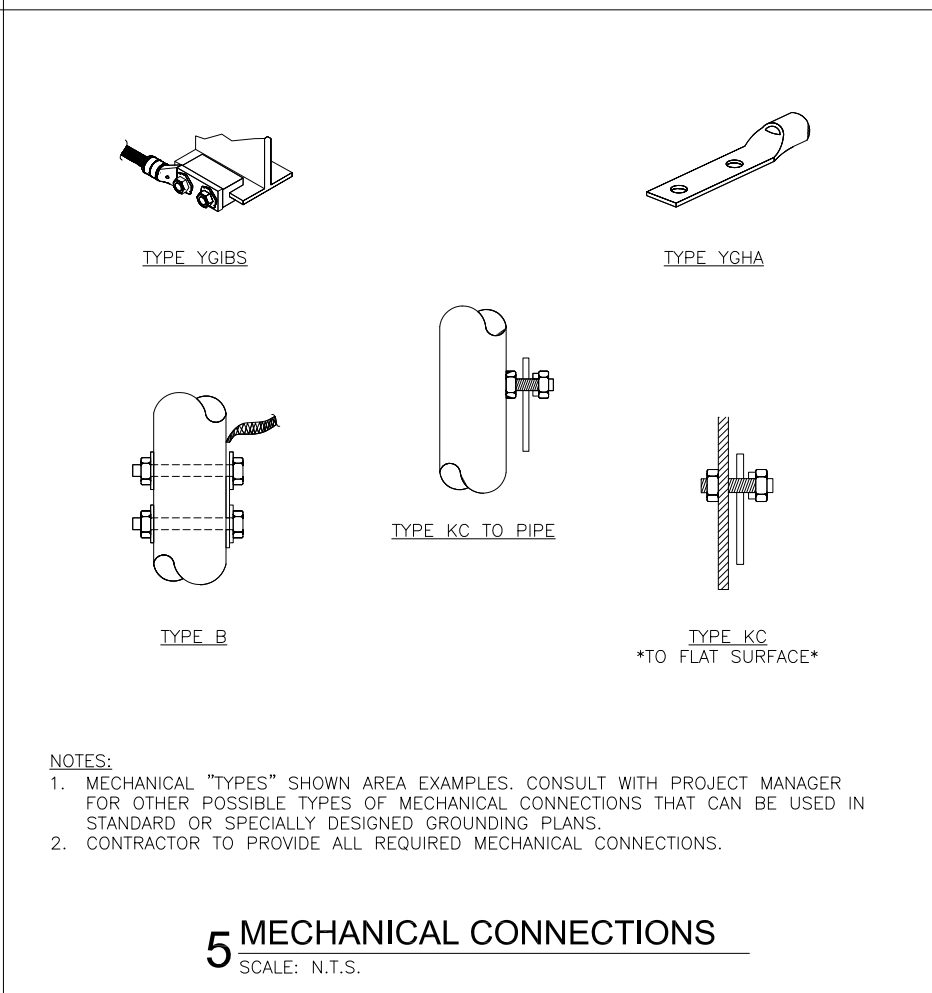
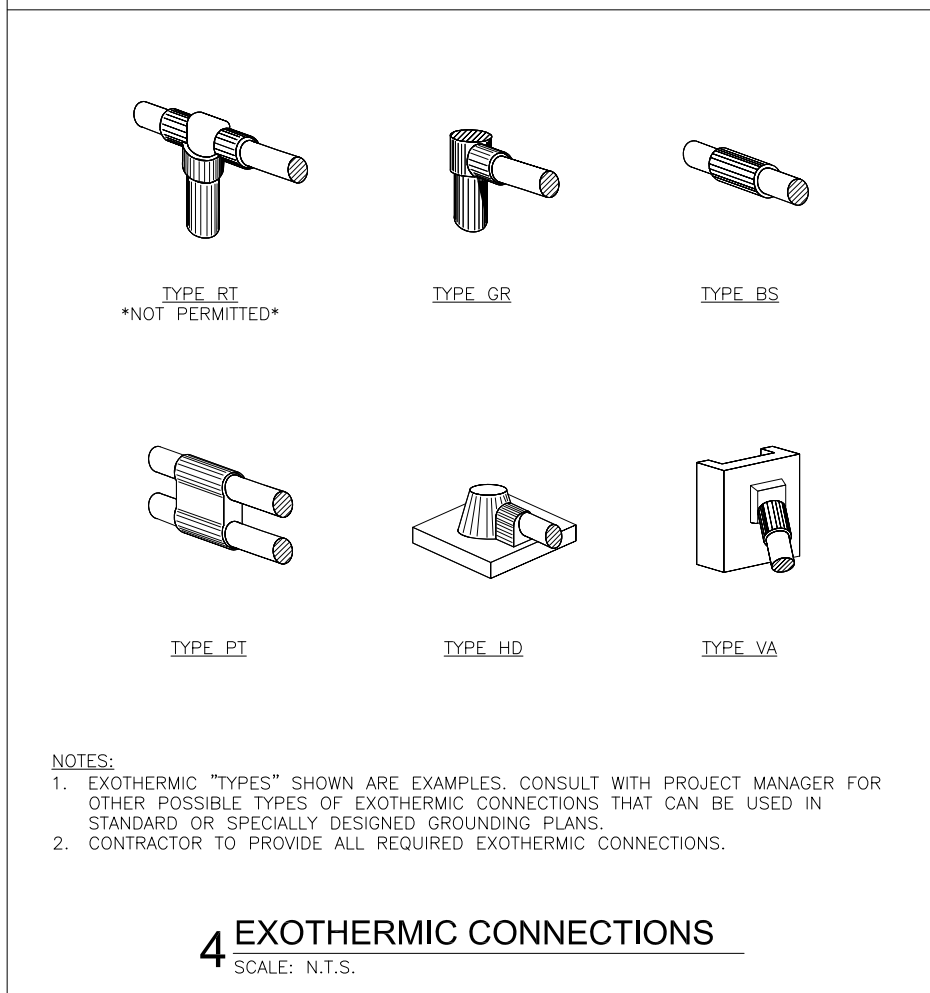
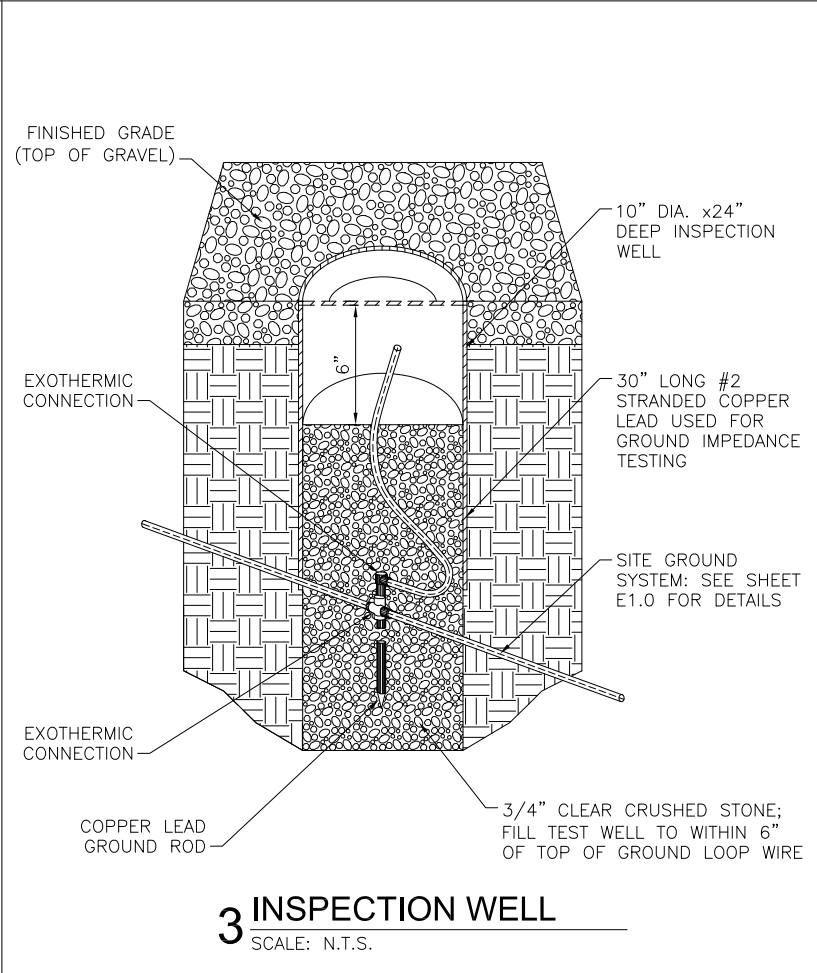
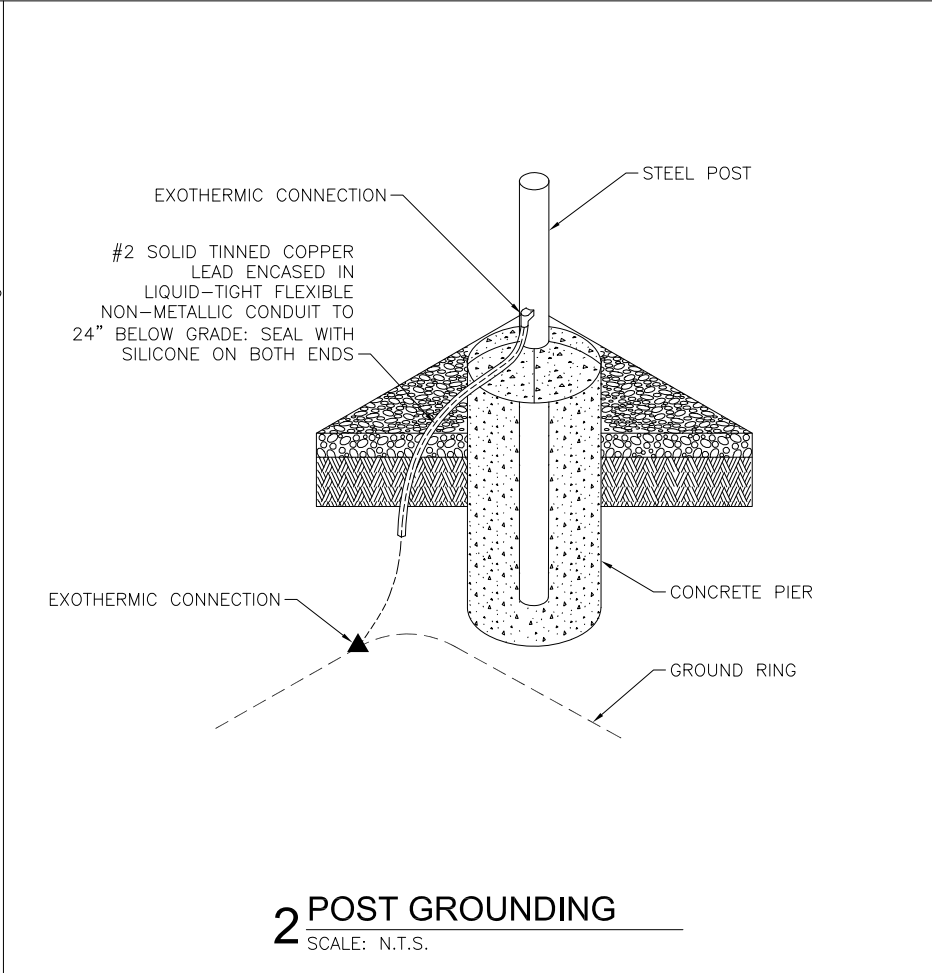
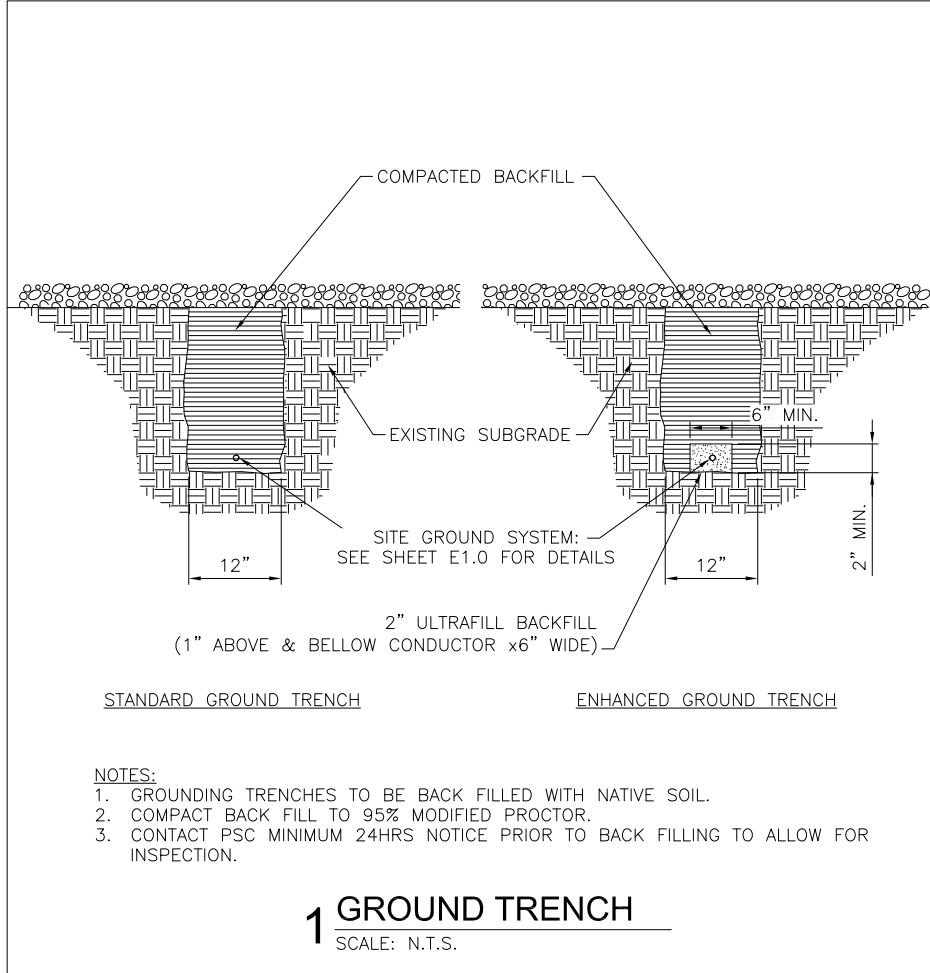
SITE NAME:  
**WHITEWATER SOUTH**  
 SITE NUMBER:  
**765538**  
 SITE ADDRESS:  
 797 INDIAN MOUND PARKWAY  
 WHITEWATER, WI 53190  
 WALWORTH COUNTY



DRAWN BY:	DP		
APPROVED BY:	LM		
DATE DRAWN:	04/30/24		
REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
O	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**GROUNDING DETAILS**  
 SHEET NUMBER:  
**E2.1**





PREPARED FOR:

**verizon**

CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**  
SITE NUMBER:  
**765538**  
SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY

STAMP:

05/08/24

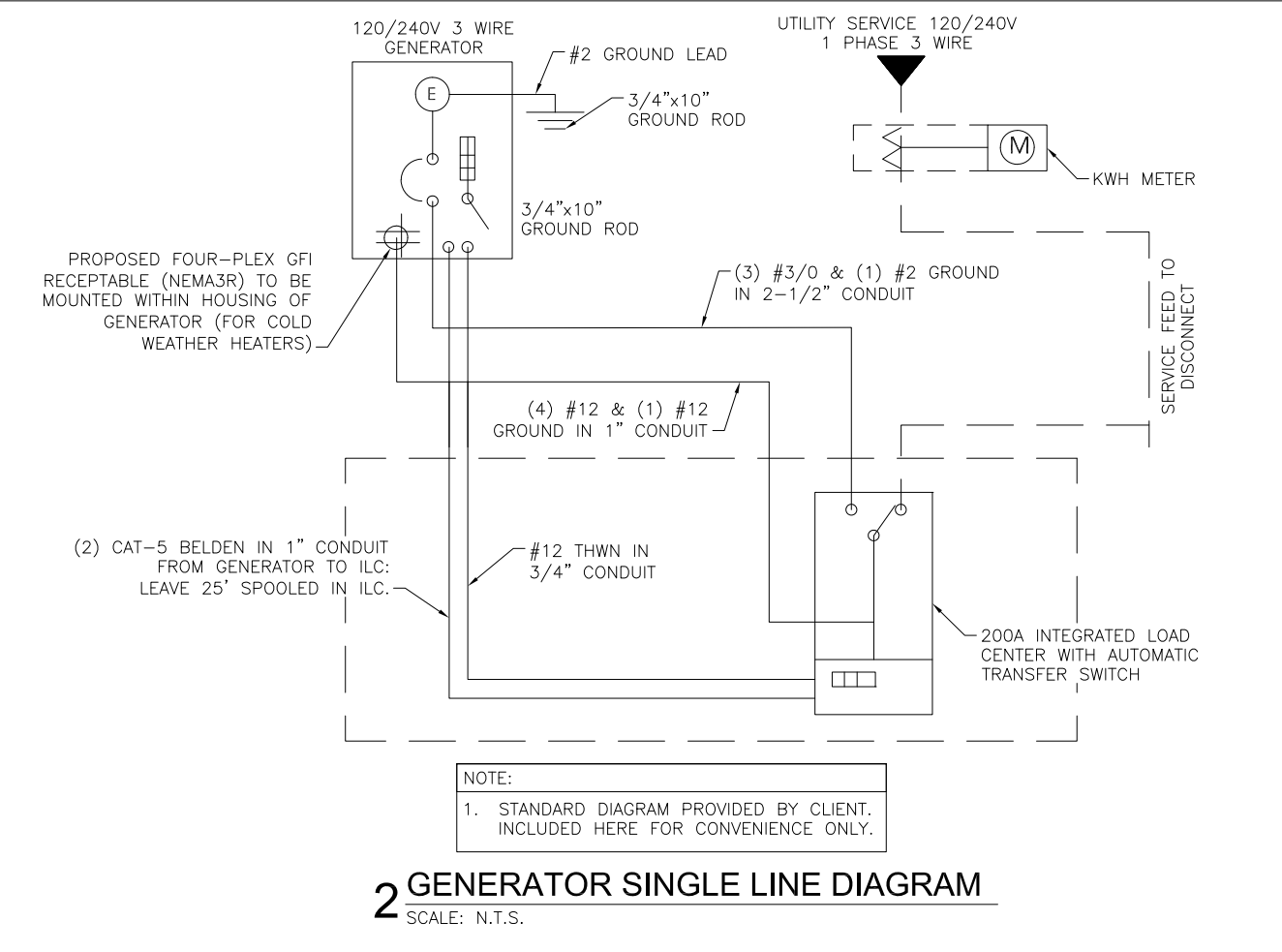
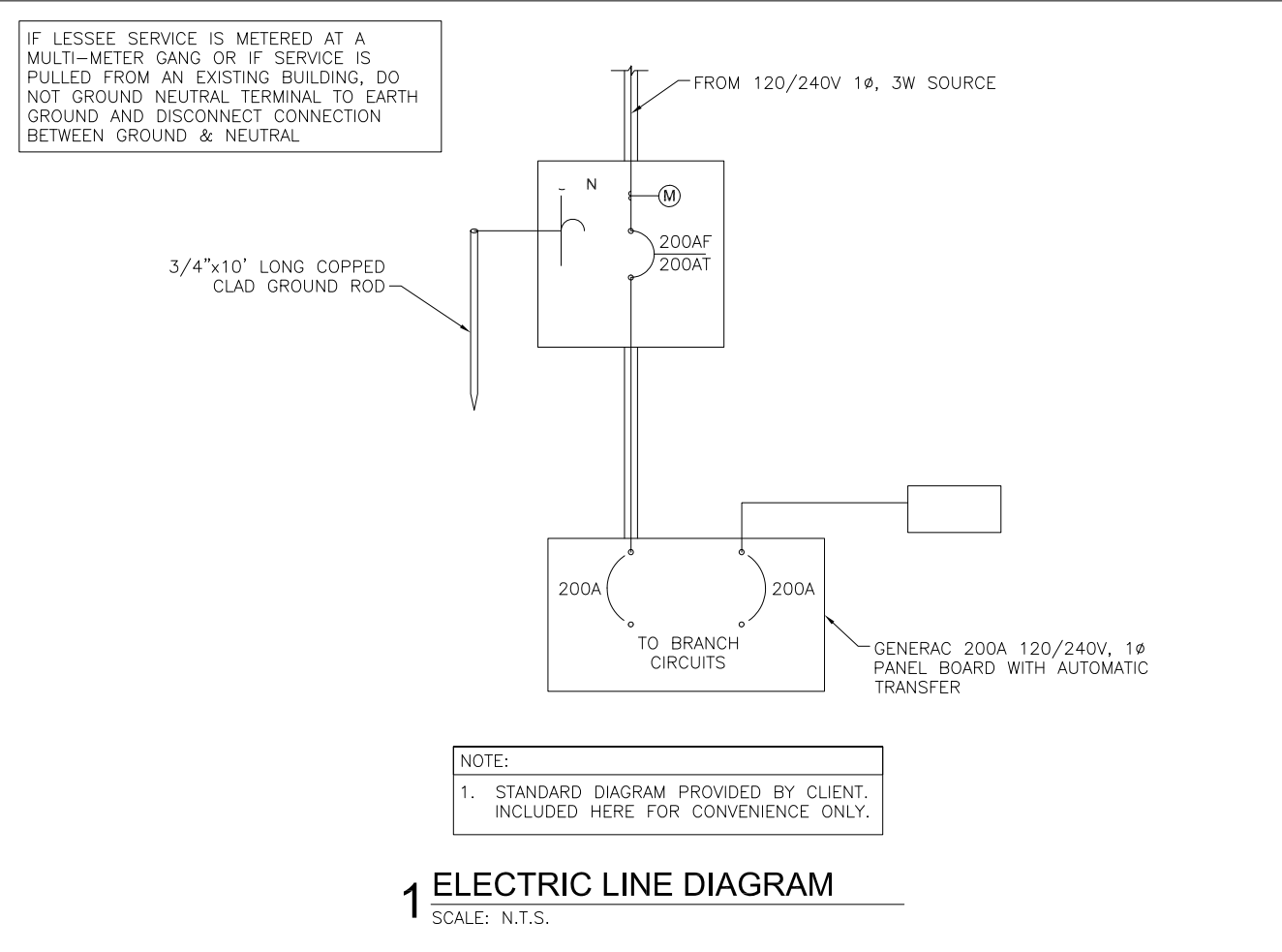
**MOUNTAIN, LTD. ENGINEERING**

DRAWN BY: DP  
APPROVED BY: LM  
DATE DRAWN: 04/30/24

REVISION			
NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**GROUNDING DETAILS**

SHEET NUMBER:  
**E2.2**



PREPARED FOR:

**verizon**

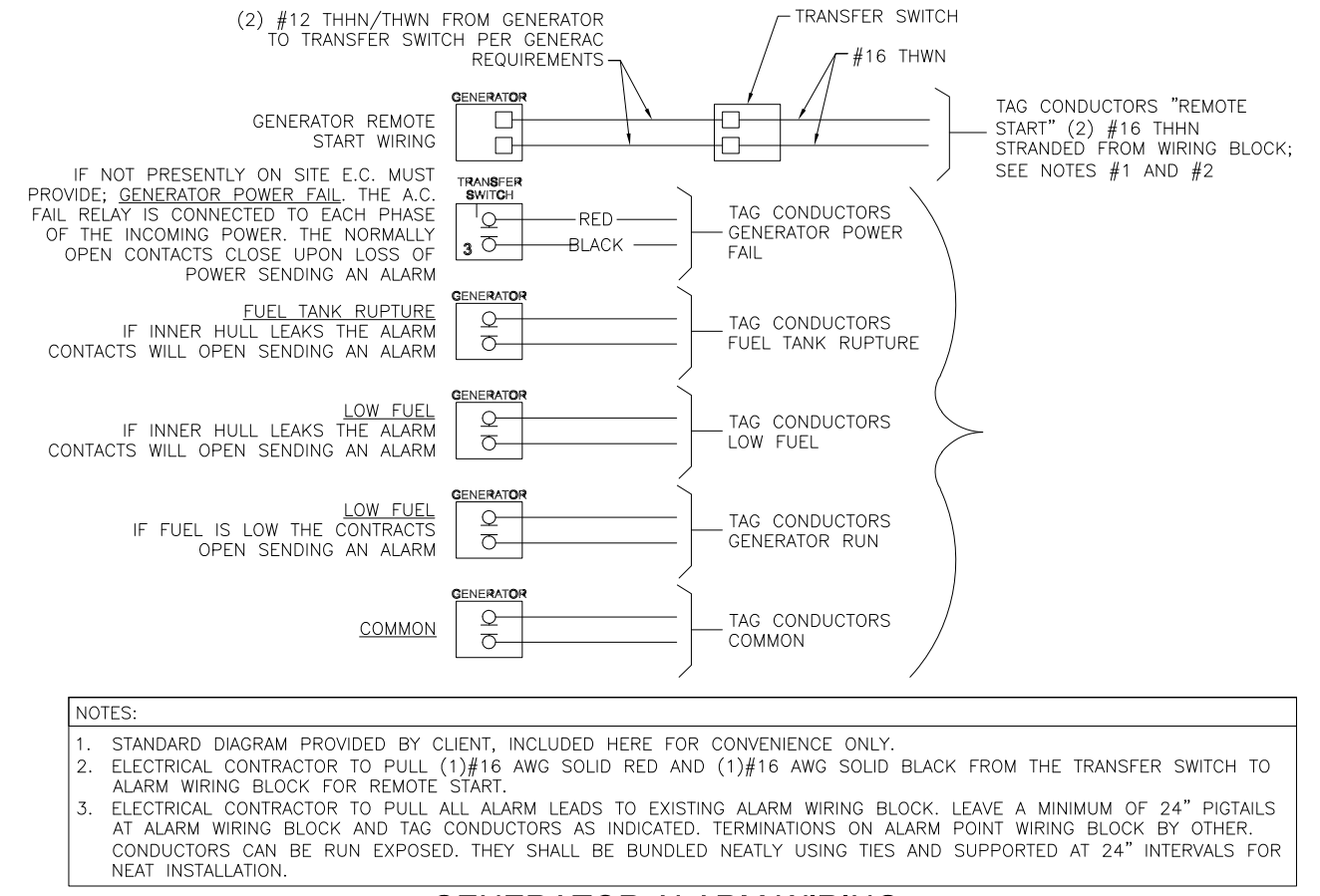
CHICAGO SMSA LIMITED PARTNERSHIP  
D/B/A VERIZON WIRELESS  
1701 GOLF ROAD  
TOWER 2, SUITE 400  
ROLLING MEADOWS, IL 60008

SITE NAME:  
**WHITEWATER SOUTH**

SITE NUMBER:  
**765538**

SITE ADDRESS:  
797 INDIAN MOUND PARKWAY  
WHITEWATER, WI 53190  
WALWORTH COUNTY

STAMP:



AC POWER PANEL No. 1 (PROPOSED)

120/240 V, 1-PH, 3W, 200A

LOCATION	PLATFORM	MOUNTING	SURFACE	ENCLOSURE:	NEMA 3RA
MAIN BREAKER RATING (A):				200	240
AVAILABLE FAULT CURRENT				7.6 kA	65 Ka
DESCRIPTION	VA	C/NC	BKR	POS. #	DESCRIPTION
RECTIFIER 1	1250		40/2	1 2500	RECTIFIER 5
				3 2500	
RECTIFIER 2	1250		40/2	5 2500	RECTIFIER 6
				7 2500	
RECTIFIER 3	1250		40/2	9 2500	RECTIFIER 7
				11 2500	
RECTIFIER 4	1250		40/2	13 2500	RECTIFIER 8
				15 2500	
LIGHTS	300		20/1	17 660	CHARLES GFCI
GENERATOR BATTERY	1000		20/1	19 1360	GENERATOR GFCI
BLANK				21 0	BLANK
BLANK				23 0	BLANK
PHASE TOTALS (VA):				10660	11360
CURRENT PER PHASE (A):				89	95
PANEL TOTAL (VA):				22020	

LEGEND: C=CONTINUOUS, NC = NON CONTINUOUS

AMPS/PHASE CANNOT EXCEED MCB RATING

NOTE:  
SURFACE MOUNTED NEMA 3R W/ DOOR  
22K AIC BREAKERS  
(CONTRACTOR SHALL VERIFY AIC RATINGS WITH LOCAL POWER CO.)

### 4 PANEL SCHEDULE

SCALE: N.T.S.

**MOUNTAIN, LTD. ENGINEERING**

DRAWN BY: DP

APPROVED BY: LM

DATE DRAWN: 04/30/24

NO	DESCRIPTION	BY	DATE
A	ISSUED FOR REVIEW	DP	05/06/24
0	ISSUED FOR CONSTRUCTION	DD	05/08/24

SHEET TITLE:  
**ELECTRICAL DETAILS**

SHEET NUMBER:  
**E2.3**

Print

### Conditional Use Permit Application - Submission #923

Date Submitted: 5/10/2024

#### City of Whitewater

312 W. Whitewater Street  
P.O. Box 178  
Whitewater, WI 53190  
262-473-0540  
www.whitewater-wi.gov

#### Conditional Use Permit Application

#### NOTICE:

The Plan Commission meetings are scheduled at 6:00 p.m. on the 2nd Monday of the month. All complete plans must be in by 4:00 p.m. four weeks prior to the meeting.

#### Address of Property\*

797 Indian Mound Parkway

#### City\*

Whitewater

#### State\*

WI

#### Zip Code\*

53190

#### Owner's First Name\*

City of Whitewater

#### Owner's Last Name\*

City of Whitewater

#### Applicant's First Name\*

Chad

#### Applicant's Last Name\*

Banks

#### Mailing Address\*

52 Farm View Drive, Suite 201

#### City\*

New Gloucester

#### State\*

ME

#### Zip Code\*

04260

Item 7.

**Phone Number\***

214.766.5683

**Fax Number**

**Email Address\***

cbanks@mountainltd.com

Existing and Proposed Uses:

Current Use of Property\*

Water Tank

Zoning District\*

Walworth County

Proposed Use:\*

Verizon Wireless New Cell site

Conditions

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to place conditions on approved conditional uses. "Conditions" such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, plantation, deed restrictions, highway access restrictions, increased yards or parking requirements may be affected. "Conditional Uses" may be subject to time limits or requirements for periodic review by staff.

APPLICATION REQUIRMENTS

THE FOLLOWING INFORMATION MUST BE SUBMITTED IN ORDER TO CONSIDER THE APPLICATION COMPLETE:

1. Statement of use, including type of business with number of employees by shift.
2. Scaled plot plan with north arrow, showing proposed site and all site dimensions.
3. All buildings and structures; location, height, materials and building elevations.
4. Lighting plan; including location, height, materials and building elevations.
5. Elevation drawings or illustrations indicating the architectural treatment of all proposed buildings and structures.
6. Off-street parking; locations, layout, dimensions, circulation, landscaped areas, total number of stalls, elevation, curb and gutter.
7. Access; pedestrian, vehicular, service. Points of ingress and egress.
8. Loading ; location, dimensions, number of spaces internal circulation.
9. Landscaping: including location, size and type of all proposed planting materials.
10. Floor plans: of all proposed buildings and structures, including square footage.
11. Signage: Location, height, dimensions, color, materials, lighting and copy area.
12. Grading/drainage plan of proposed site.
13. Waste disposal facilities; storage facilities for storage of trash and waste materials.
14. Outdoor storage, where permitted in the district; type, location, height of screening devices.

\*\*One (1) full size, Fifteen (15) 11.x17, and One (1) Electronic Copy (include color where possible) site plan copies, drawn to scale and dimensioned.

STANDARDS FOR REVIEW AND APPROVAL

The Plan and Architectural Commission shall use the following standards when reviewing applications for conditional uses. The applicant is required to fill out the following items and explain how the proposed conditional use will meet the standard for approval.

Standards

That the establishment, maintenance, or operation of the Conditional Use will not create a nuisance for neighboring uses or substantially reduce value of other property. Applicant's explanation:\*

New Verizon Cell site is next to City water Tank with no surrounding homes.

That utilites, access roads, parking, drainage, landscaping and other necessary site improvements are being provided. Applicant's explanation:\*

Will all be provided on CD's

That the conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted by this ordinance. Applicant's explanations: \*

yes



Item 7.

That the conditional use conforms to the purpose and intent of the City Master Plan. Applicant's explanation:\*

Will be provided on CD's

\*\* Refer to Chapter 19.66 of the City of Whitewater Municipal code, entitled CONDTIONAL USES, for more information.

Applicant's Signature\*

Date

Chad Banks

5/8/2024

Plot Plan Upload

Choose File No file chosen

Plan Upload

765538\_Whitewater  
South\_15104581\_Rev0 FCD\_05-08-  
2024.pdf

Lighting Plan Upload

Choose File No file chosen

Landscape Plan Upload

Choose File No file chosen

File Upload

Choose File No file chosen

File Upload

Choose File No file chosen

TO BE COMPLETED BY THE NEIGHBORHOOD SERVICES DEPARTMENT

1. Application was filed and the paid at least four weeks prior to the meeting. \$100.00 fee

Filed on:

[Empty text box]

Received by:

[Empty text box]

Receipt #

[Empty text box]

Application reviewed by staff members

[Empty text box]

3. Class 2 Notice published in Official Newspaper on

[Empty text box]

4. Notices of Public Hearing mailed to property owners on

[Empty text box]

Plan Commission holds the PUBIC HEARING on

[Empty text box]

Public Comments may also be submitted in person or in writing to City Staff.

At the conclusion of the Public Hearing, the Plan Commission will make a decision.

**ACTION TAKEN**

Conditional Use Permit: By the Plan and Architectural Review Commission

Granted

Not Granted

**CONDITIONS PLACED UPON PERMIT BY PLAN AND ARCHITECTURAL REVIEW COMMISSION:**

Signature of Plan Commission Chairperson

Date

mm/dd/yyyy

## Tips for Minimizing Development Review Costs-A Guide for Applicants

The City of Whitewater assigns its consultant cost associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes that we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals understand what they can do to manage and minimize the costs associated with review of their application. The tips included in this guide will almost always result in a less costly and quicker review of an application.

### MEET WITH NEIGHBORHOOD SERVICES DEPARTMENT BEFORE SUBMITTING AN APPLICATION

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Director. Before you make significant investments in your project, The Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

### SUBMIT A COMPLETE AND THOROUGH APPLICATION

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

### FOR MORE COMPLEX OR TECHNICAL TYPES OF PROJECTS, STRONGLY CONSIDER WORKING WITH AN EXPERIENCED PROFESSIONAL TO HELP PREPARE YOUR PLANS

Experienced professional engineers, land planners, architects, surveyors, and landscape architects should be quite familiar with standard developmental review processes and expectations. They are also generally capable of preparing high-quality plans that will ultimately require less time (i.e., less cost for you) for City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, stormwater management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

### FOR SIMPLER PROJECTS, SUBMIT THOROUGH, LEGIBLE, AND ACCURATE PLANS

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and planning consultant still need to ensure that your proposal meets all City requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building and floor plans should:

1. Be drawn to be recognized scale and indicate what the scale is (e.g. 1 inch=40 feet).
2. Include titles and dates on all submitted documents in case pieces of your application get separated.
3. Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.
4. Indicate what the property and improvements look like today versus what is being proposed for the future.
5. Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.
6. Indicate the colors and materials of all existing and proposed site/building improvements. Including color photos with your application is one inexpensive and accurate way to show the current conditions of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials or other similar improvements.

## SUBMIT YOUR APPLICATION WELL IN ADVANCE OF THE PLAN AND ARCHITECTURAL REVIEW COMMISSION MEETING

Item 7.

The city normally requires that a complete application be submitted four (4) weeks in advance of the Commission meeting when it will be considered. For simple submittals not requiring a public hearing, this may be reduced to two (2) weeks in advance. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's planning consultant and staff an opportunity to address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

### FOR MORE COMPLEX PROJECTS, SUBMIT YOUR PROJECT CONCEPTUAL REVIEW

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

1. Preliminary plans may be submitted to City staff and the planning consultant for a quick informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;
2. You may request a sit-down meeting with the Neighborhood Services Director and or Planning consultant to review and more thoroughly discuss your proposal; and/or
3. You can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge its reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.

### HOLD A NEIGHBORHOOD MEETING FOR LARGER AND POTENTIALLY MORE CONTROVERSIAL PROJECTS

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand other's perspectives on your proposal, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the City Neighborhood Services Director of your neighborhood meeting date, time and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.

---

## TYPICAL CITY PLANNING CONSULTANT DEVELOPMENT REVIEW COSTS

The City often utilizes assistance from a planning consultant to analyze requests for land development approvals against City plans and ordinances and assist the City's Plan and Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the City's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Cost vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest. The City has a guide called "Tips for Minimizing Your Development Review Costs" with Information on how the applicant can help control costs.

### Type of development review being requested and planning consultant review cost range

#### Minor Site/Building Plan (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations)

- When land use is a permitted use in the zoning district and for minor downtown building alterations-up to \$600
- When use also requires a conditional use permit, and for major downtown building alterations-\$700-\$1,500

#### Major Site/Building Plan (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building)

- When land use is a permitted use in the zoning district-\$700-\$2,000
- When land use also requires a conditional use permit- \$1,600-\$12,000

#### Conditional Use Permit with no Site plan Review (e.g., home occupation, sale of liquor request, substitution of use in existing building)

- Up to \$600

#### Rezoning

- Standard (not PCD) zoning district-\$700-\$2,000
- Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time-\$2,100-\$12,000

#### Land Division

- Land Survey Map-up to \$300
- Subdivision Plat- \$1,500-\$3,000
- Plat (does not include any development agreement time)-\$50-\$1,500

#### Annexation

- Typically between \$200-\$400



**\*\*Note:** The City also retains a separate engineering consultant, who is typically involved in larger projects requiring storm water management plans, major utility work, or complex parking or road access plans. engineering costs are not included above, but will be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.

**Cost Recovery Certificate and Agreement**

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City's review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals and/or Common Council. In fact most applications require some level of review by the City's planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

**SECTION A: BACKGROUND INFORMATION-to be completed by the Applicant/Property Owner**

**Applicant's First Name\***

Michael

**Last Name\***

Banks

**Applicant's Mailing Address**

52 Farm View Drive, Suite 201, New Gloucester, ME 04260

**City\***

New Gloucester

**State\***

Maine

**Zip Code\***

04260

**Applicant's Phone Number\***

214.766.5683

**Fax Number**

**Applicant's Email Address\***

cbanks@mountainltd.com

**Project Information**

Name/Description of Development\*

Verizon Wireless, WhiteWater South

Address of Development Site\*

797 Indian Mound Parkway

Property Owner Information (if different from applicant):

Property Owner's First Name

Last Name

City of Whitewater

City of Whitewater

Property Owner's Mailing Address

797 Indian Mound Parkway

City

State

Zip Code

Whitewater

WI

53190

SECTION B: APPLICANT/PROPERTY OWNER COST OBLIGATIONS. To be filled out by the Neighborhood Services Department

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of the application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all cost incurred up until that time.

A. Application fee

B. Expected planning consultant review cost

C. Total cost expected of application (A+B)

D. 25% of total cost due at time of application:

Project likely to incur additional engineering or other consultant review costs?

Yes

**Balance of costs**

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

**SECTION C: AGREEMENT EXECUTION -to be completed by the Applicant and Property Owner**

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.

**Signature of Applicant/Petitioner\***

**Date**

Chad Banks

5/8/2024

**Signature of Property Owner (if different)**

**Date**

mm/dd/yyyy



Neighborhood Services  
Department  
*Planning, Zoning, Code  
Enforcement, GIS  
and Building  
Inspections*  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: (262) 473-0540

---

NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 10<sup>th</sup> day of June at 6:00 p.m. to hold a public hearing for consideration of a Conditional Use Permit for a proposed Wireless Telecommunication Facility to be located on the water tower at 797 Indian Mound Parkway, Parcel ID #/A277200001 for Verizon.

The Site Plan Review Proposal is on file in the Neighborhoods Services Office located at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

Llana Dostie, Neighborhood Services Administrative Assistant

HOFFMANN LANDS LTD  
C/O TOM HOFFMANN  
8612 LIMA CENTER RD  
WHITEWATER, WI 53190

HOFFMANN LANDS LTD  
8612 LIMA CENTER RD  
WHITEWATER, WI 53190-9000

CITY OF WHITEWATER  
312 W WHITEWATER ST  
WHITEWATER, WI 53190-9000

*Item 7.*







**MEMORANDUM**

To: City of Whitewater Plan and Architectural Review

Commission

From: Allison Schwark, Zoning  
Administrator

Date: June 5, 2024

Re: Conditional Use Permit

<b>Summary of Request</b>	
<b>Requested Approvals:</b>	Conditional Use Permit for conversion of existing structure resulting in more dwelling units.
<b>Location:</b>	452 W Main Street- Lower Unit
<b>Current Land Use:</b>	Former Law Office
<b>Proposed Land Use:</b>	4 Bedroom Apartment
<b>Current Zoning:</b>	R-3 Multi-Family Residence District
<b>Proposed Zoning:</b>	N/A
<b>Future Land Use, Comprehensive Plan:</b>	Community Business

**Site Plan Review:**

The applicant is requesting a Conditional Use Permit for a ground level apartment to be built with four bedrooms, kitchen, living room, and one bathroom. Previously the ground floor of the building located at 452 W Main Street, was a law office, and the upstairs is an existing apartment unit. Each level has separate utilities, and there will be no reason for change. Title 19.20.030 allows conversions of existing buildings into dwelling units by conditional use.

The proposed site plan, and existing building meets all requirements of the R-3 zoning district including adequate parking.









**Park Fee Requirements:**

All residential development shall be subject to a park acquisition fee per dwelling unit and a park improvement fee per dwelling unit, payable before a building permit is issued. The fee will be recommended by the parks and recreation board and then approved by the common council.

### **Planner's Recommendations**

- 1) Staff recommends that Plan Commission **APPROVE** the Conditional Use Permit with the following conditions:
  - a) The applicant is responsible for planning, design, and implementation of the approved plan for the site. The City of Whitewater shall not be held responsible for any deficiency in the plan.
  - b) The project shall be developed in accordance with the approved site plan, architecture, and landscape plan. Any deviation from the approved plans shall require zoning administrator and/or Plan Commission approval.
  - c) The permit holder shall be responsible for the continued maintenance and/or replacement of all buildings, fencing, landscaping and other site improvements.
  - d) No outdoor storage shall be permitted.
  - e) The number of unrelated individuals shall never exceed 5 per dwelling unit.
  - f) The number of overnight parking shall not exceed 9 vehicles.
  - g) All vehicles shall be parked in designated paved parking areas.
  - h) The proposed dwelling unit may be subject to a park fee determined by the parks and recreation board, and approved at common council.
  - i) Any conditions stipulated by the PARC.

**LEGEND:**

-  NEW DOOR
-  EXISTING DOOR TO REMAIN
-  EXISTING DOOR TO BE REMOVED
-  NEW WALL
-  EXISTING WALL
-  EXISTING WALLS TO BE REMOVED
-  SMOKE ALARM -- HARD-WIRED WITH BATTERY BACK-UP, TYP. -- ALARMS TO BE INTERCONNECTED (HARD-WIRED OR WIRELESS) WITHIN EACH UNIT
-  CARBON MONOXIDE DETECTOR -- HARD-WIRED WITH BATTERY BACK-UP, TYP.

**LEGEND**

SCALE: N.T.S.  
2023/STEVE 452 W. MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023

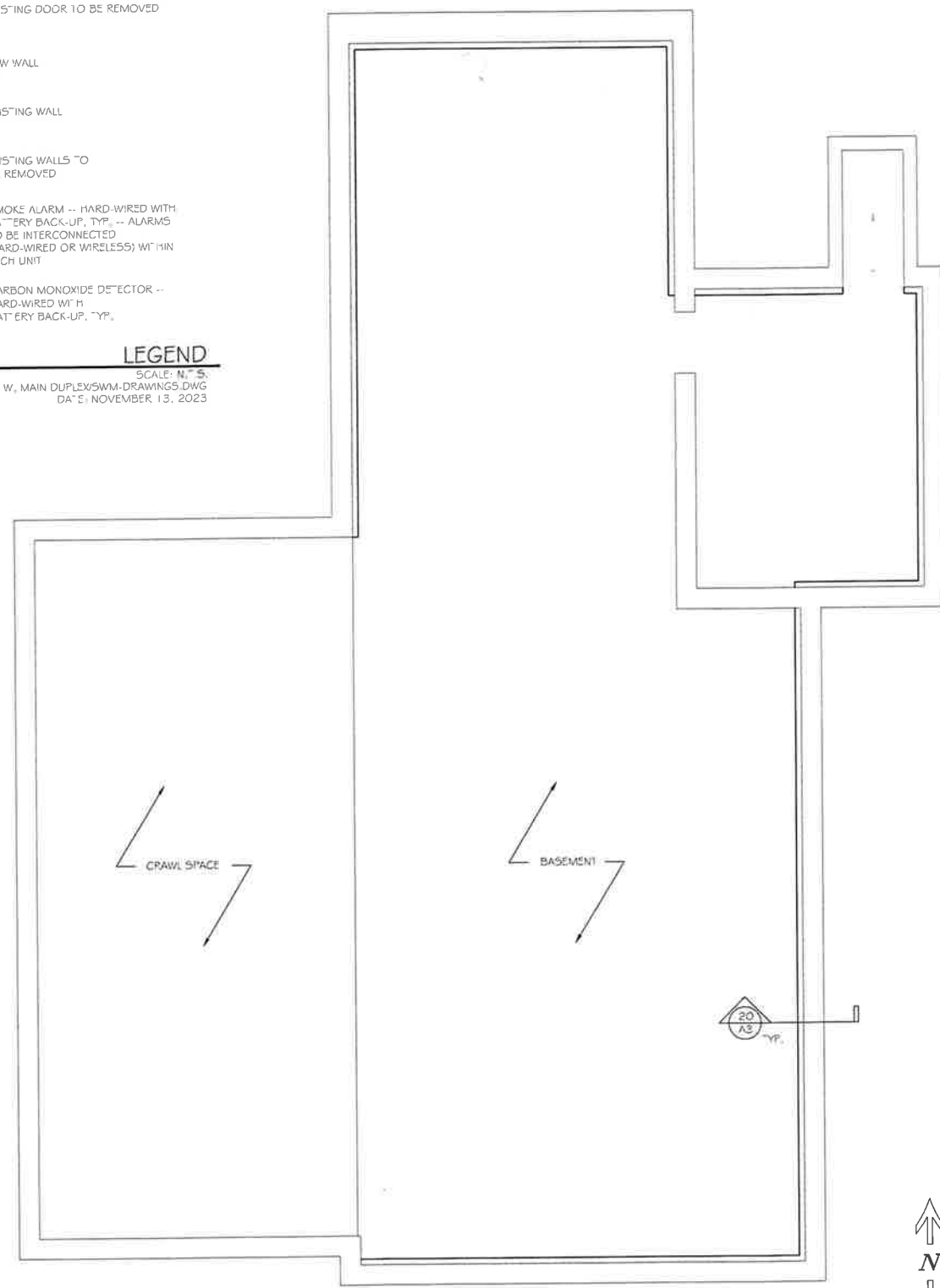
**PROJECT DESCRIPTION:**

CONVERT BUILDING FROM MIXED-USE OFFICE / APARTMENT TO A DUPLEX. HISTORICALLY, THE BUILDING HAS BEEN A SINGLE-FAMILY, A DUPLEX, A MIXED-USE, AND NOW TO BE CONVERTED BACK TO USE AS A DUPLEX. THE UPPER AND LOWER FLATS HAVE SEPARATE MECHANICALS, AND GOOD FIRE SEPARATION. THIS DRAWING SET INCLUDES MINOR REMODELING, AND UPGRADING THE FIRE SEPARATION AT THE (NOT USED) INTERIOR STAIR / UPPER LANDING AREA.

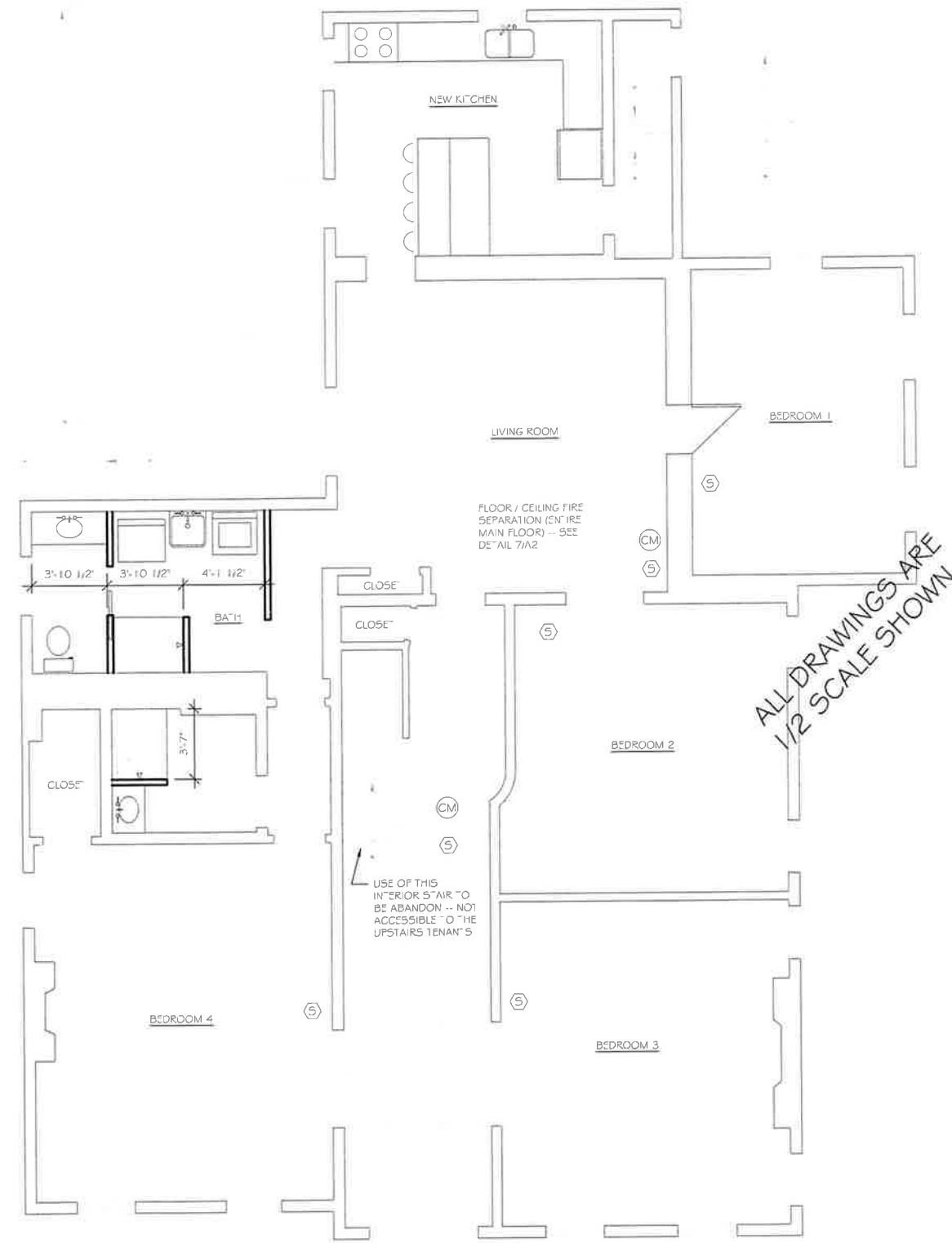
VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC., OF ANY DISCREPANCIES PRIOR TO START.

**DRAWING INDEX:**

- A-1 BASEMENT FLOOR PLAN, MAIN FLOOR PLAN, LEGEND
- A-2 UPPER FLOOR PLAN, FIRE SEPARATION DETAILS & NOTES, LIGHT & VENT SCHEDULE
- A-3 BASEMENT WALL SECTION



**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
2023/STEVE 452 W. MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023



**MAIN FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
2023/STEVE 452 W. MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023

ALL DRAWINGS ARE 1/2 SCALE SHOWN

STEVENS DUPLEX  
452 West Main Street  
Whitewater, WI 53190

DRAWING NAMES
MAIN FLOOR PLAN
BASEMENT FLOOR PLAN
LEGEND
DRAWING INDEX

REVISIONS

PROJECT DATA
DATE: 4/29/2024
DRAWN BY: CL
CHECKED BY: P.W.

SHEET NO.
A-1

**FLOOR / CEILING FIRE SEPARATION NOTES:**

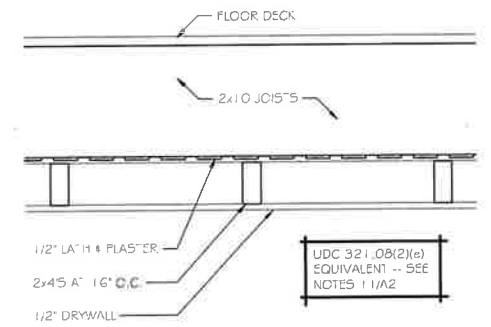
PER UDC 321.08(2)(e), THE FLOOR / CEILING SEPARATING THE TWO DWELLING UNITS WITHIN A DUPLEX IS REQUIRED TO BE A NOMINAL 1-HOUR FIRE RATED ASSEMBLY (FLOOR DECKING / 2x JOISTS / 5/8" TYPE 'X' DRYWALL).

THE EXISTING FLOOR / CEILING SEPARATING THE MAIN AND UPPER FLOOR SYSTEM MEETS EQUIVALENCY, THE INTERNATIONAL EXISTING BUILDING CODE (IEBC) RESOURCE A, TABLE 3.3 ITEMIZES VARIOUS ITEMS THAT MAY COMPRISE PART OF A FLOOR / CEILING SYSTEM IN AN EXISTING BUILDING. WITH THIS, WE TALLY THE CARIOUS ITEMS AND ADD THEIR FIRE RESISTANCE VALUES.

IN THE FOLLOWING CALCULATIONS, WE HAVE ONLY ASSIGNED FIRE RESISTANCE VALUES TO THE JOISTS, THE LATH AND PLASTER CEILING, AND THE ADDITIONAL DRYWALL CEILING THAT WAS LET IN SOMETIME IN THE BUILDING'S HISTORY.

IEBC RESOURCE A, TABLE 3.3 - "FLOOR CEILING ASSEMBLIES - WOOD JOISTS"

F/C - W-34 - 1/2" LATH AND PLASTER ON 2x10 WOOD JOISTS,	1/2 HR,
F/C - W-29 - EXPOSED WOOD JOISTS,	1/2" HR,
F/C - W-30 - 1/2" GYPSUM WALL BOARD,	1/2" HR,
TOTAL:	1-1/4 HR., OK

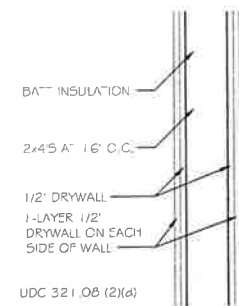


**EXISTING FLOOR / CEILING**

SCALE: 1 1/2" = 1'-0"  
2023/STEVE 452 W, MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023

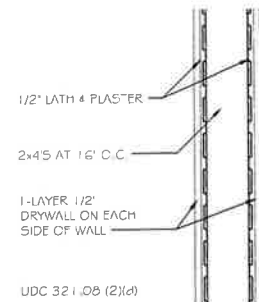
**FIRE SEPARATION NOTES**

SCALE: N.T.S.  
2023/STEVE 452 W, MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023



**DWELLING SEPARATION WALL AT TOP OF INTERIOR STAIR AT DOORWAY**

SCALE: 1 1/2" = 1'-0"  
2023/STEVE 452 W, MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023



**DWELLING SEPARATION WALL AT STAIRWELL**

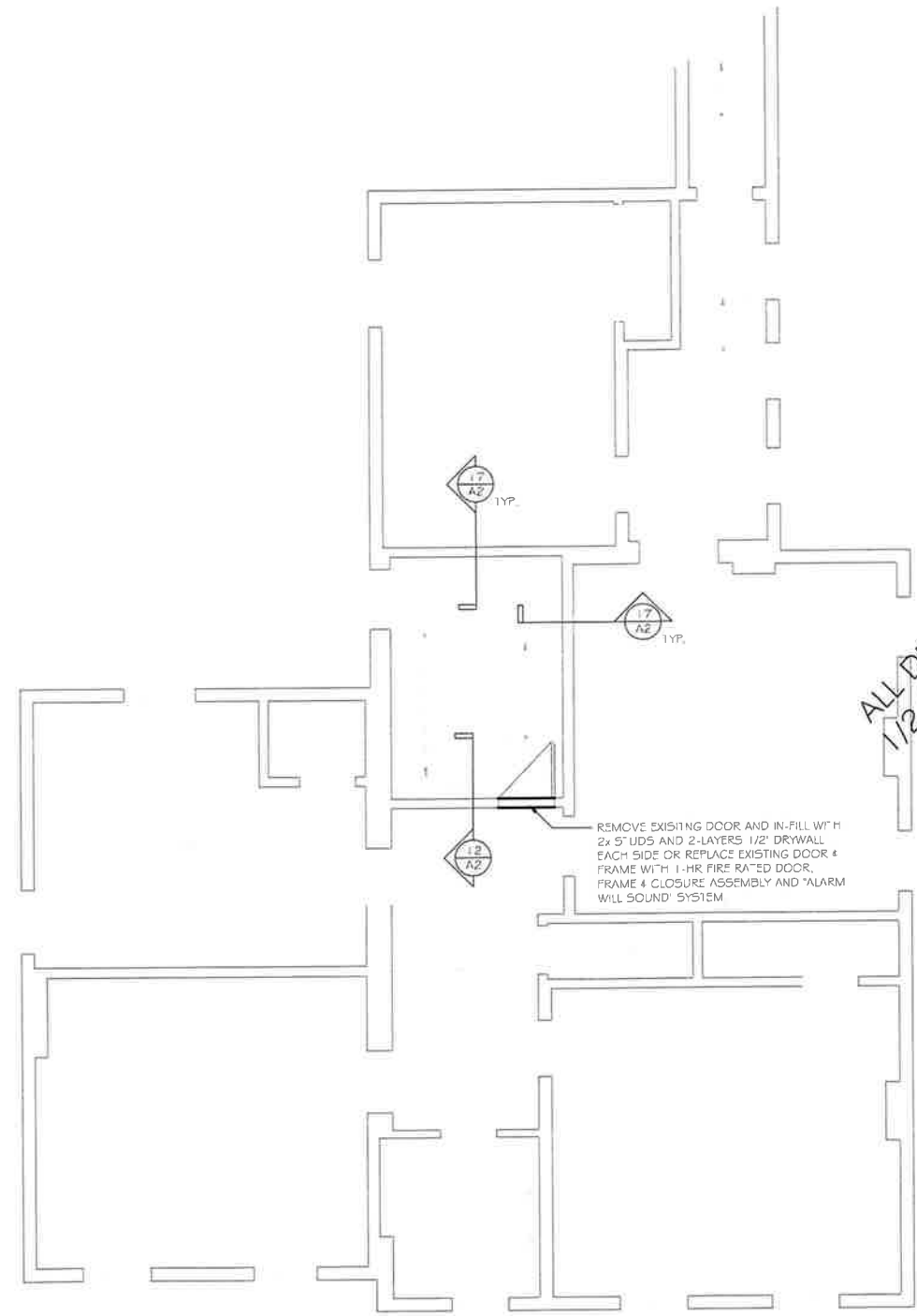
SCALE: 1 1/2" = 1'-0"  
2023/STEVE 452 W, MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023

LIGHT & VENTILATION SCHEDULE			
ROOM NAMES	ROOM AREA	NATURAL LIGHT AREA (8% MIN.)	VENTILATION AREA (3.5% MIN.)
MAIN FLOOR			
KITCHEN	94 S.F.	7.5 S.F.	3.3 S.F.
LIVING ROOM	241 S.F.	19.3 S.F.	8.4 S.F.
BEDROOM 1	166 S.F.	13.3 S.F.	5.8 S.F.
BEDROOM 2	204 S.F.	16.3 S.F.	7.1 S.F.
BEDROOM 3	238 S.F.	19.0 S.F.	8.3 S.F.
BEDROOM 4	270 S.F.	21.6 S.F.	9.5 S.F.
UPPER FLOOR			
KITCHEN	128 S.F.	10.2 S.F.	4.5 S.F.
SITTING ROOM	222 S.F.	17.8 S.F.	7.8 S.F.
BEDROOM 1	159 S.F.	12.7 S.F.	5.6 S.F.
BEDROOM 2	212 S.F.	17.0 S.F.	7.4 S.F.
BEDROOM 3	157 S.F.	12.6 S.F.	5.5 S.F.

BALANCED MECHANICAL VENTILATION MAY BE PROVIDED IN LIEU OF OPENABLE DOORS & WINDOWS PROVIDED THE SYSTEM IS CAPABLE OF PROVIDING AT LEAST ONE AIR EXCHANGE PER HOUR OF FRESH OUTSIDE AIR WHILE 10 ROOM IS OCCUPIED.

**LIGHT / VENT SCHEDULE**

SCALE: N.T.S.  
2023/STEVE 452 W, MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023



ALL DRAWINGS ARE 1/2 SCALE SHOWN

**UPPER FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
2023/STEVE 452 W, MAIN DUPLEX/SWM-DRAWINGS.DWG  
DATE: NOVEMBER 13, 2023

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

STEVERS DUPLEX  
452 West Main Street  
Whitewater, WI 53190

**DRAWING NAMES**

UPPER FLOOR PLAN  
WALL / CEILING DETAILS  
LIGHT / VENT SCHEDULE  
LEGEND

**REVISIONS**

**PROJECT DATA**

DATE: 4/29/2024  
DRAWN BY: CL  
CHECKED BY: P.W.

**SHEET NO.**

A-2

119

VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB AND NOTIFY THE DESIGN ALLIANCE ARCHITECTS, INC. OF ANY DISCREPANCIES PRIOR TO START.

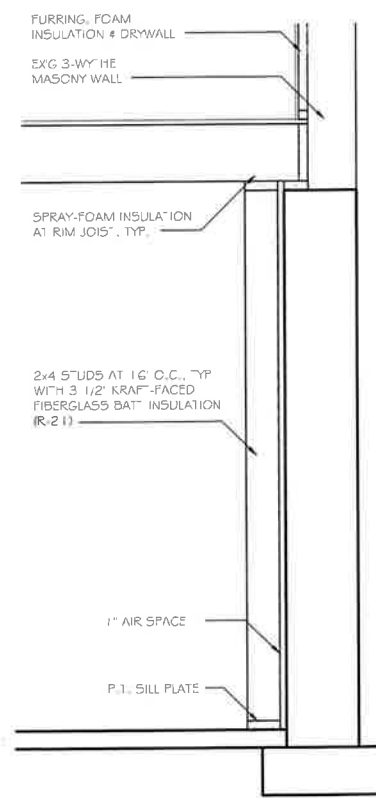
Item 8.

**Design Alliance Architects**  
 1003 Madison Avenue  
 Fort Atkinson, WI

1003 Madison Avenue  
 Fort Atkinson, WI

**STEVERS DUPLEX**  
 452 West Main Street  
 Whitewater, WI 53190

ALL DRAWINGS ARE  
 1/2 SCALE SHOWN



DRAWING NAMES

BASEMENT WALL SECTION

REVISIONS

PROJECT DATA

DATE: 4/29/2024  
 DRAWN BY: CL  
 CHECKED BY: P.W.

SHEET NO.

A-3

**BASEMENT WALL SECTION**  
 SCALE: 3/4" = 1'-0"  
 2023/STEVER 452 W. MAIN DUPLEX/5WM-DRAWINGS.DWG  
 DATE: NOVEMBER 13, 2023



Print

Conditional Use Permit Application - Submission #900

Date Submitted: 5/2/2024

City of Whitewater  
312 W. Whitewater Street  
P.O. Box 178  
Whitewater, WI 53190  
262-473-0540  
www.whitewater-wi.gov

Conditional Use Permit Application

NOTICE:

The Plan Commission meetings are scheduled at 6:00 p.m. on the 2nd Monday of the month. All complete plans must be in by 4:00 p.m. four weeks prior to the meeting.

Address of Property\*

452 W. Main St. Lower Unit

City\*

Whitewater

State\*

WI

Zip Code\*

53190

Owner's First Name\*

BCN Rentals LLC

Owner's Last Name\*

BCN Rentals LLC

Applicant's First Name\*

Matt

Applicant's Last Name\*

Stever

Mailing Address\*

W4912 Farm Village Lane

City\*

Elkhorn

State\*

WI

Zip Code\*

53121

**Phone Number\***

262-203-0016

**Fax Number**

**Email Address\***

cstever.1elk@gmail.com

Existing and Proposed Uses:

Current Use of Property\*

Former Law Office - Business

Zoning District\*

R-3 Multifamily Residence

Proposed Use:\*

Apartment

Conditions

The City of Whitewater Zoning Ordinance authorizes the Plan Commission to place conditions on approved conditional uses. "Conditions" such as landscaping, architectural design, type of construction, construction commencement and completion dates, sureties, lighting, fencing, plantation, deed restrictions, highway access restrictions, increased yards or parking requirements may be affected. "Conditional Uses" may be subject to time limits or requirements for periodic review by staff.

APPLICATION REQUIREMENTS

THE FOLLOWING INFORMATION MUST BE SUBMITTED IN ORDER TO CONSIDER THE APPLICATION COMPLETE:

1. Statement of use, including type of business with number of employees by shift.
2. Scaled plot plan with north arrow, showing proposed site and all site dimensions.
3. All buildings and structures; location, height, materials and building elevations.
4. Lighting plan; including location, height, materials and building elevations.
5. Elevation drawings or illustrations indicating the architectural treatment of all proposed buildings and structures.
6. Off-street parking; locations, layout, dimensions, circulation, landscaped areas, total number of stalls, elevation, curb and gutter.
7. Access; pedestrian, vehicular, service. Points of ingress and egress.
8. Loading ; location, dimensions, number of spaces internal circulation.
9. Landscaping: including location, size and type of all proposed planting materials.
10. Floor plans: of all proposed buildings and structures, including square footage.
11. Signage: Location, height, dimensions, color, materials, lighting and copy area.
12. Grading/draining plan of proposed site.
13. Waste disposal facilities; storage facilities for storage of trash and waste materials.
14. Outdoor storage, where permitted in the district; type, location, height of screening devices.

\*\*One (1) full size, Fifteen (15) 11.x17, and One (1) Electronic Copy (include color where possible) site plan copies, drawn to scale and dimensioned.

STANDARDS FOR REVIEW AND APPROVAL

The Plan and Architectural Commission shall use the following standards when reviewing applications for conditional uses. The applicant is required to fill out the following items and explain how the proposed conditional use will meet the standard for approval.

Standards

That the establishment, maintenance, or operation of the Conditional Use will not create a nuisance for neighboring uses or substantially reduce value of other property. Applicant's explanation:\*

Adds a kitchen and expands a bathroom for tenant use. No change to outside of property. Will decrease number of vehicles coming in and out of Franklin St. as it was a law office previously.

That utilities, access roads, parking, drainage, landscaping and other necessary site improvements are being provided. Applicant's explanation:\*

Property already has separated utilities for upper unit and lower unit. Separate water meter, electrical meter, gas meter. No change to access roads, parking, drainage, etc.

That the conditional use conforms to all applicable regulations of the district in which it is located, unless otherwise specifically exempted by this ordinance. Applicant's explanations: \*

The property is zoned for multifamily residence and separated as two units previously. This would just change the lower unit from a business use to a residential use.

That the conditional use conforms to the purpose and intent of the City Master Plan. Applicant's explanation:

It is zoned as multifamily residence. That is the intended purpose with a upper and lower apartment.

\*\* Refer to Chapter 19.66 of the City of Whitewater Municipal code, entitled CONDITIONAL USES, for more information.

Applicant's Signature\*

Date

Matt Stever

5/2/2024

Plot Plan Upload

Choose File No file chosen

Plan Upload

SWM-DRAWINGS 11x17 4-29-24.pdf

Lighting Plan Upload

Choose File No file chosen

Landscape Plan Upload

452 W Main Street.pdf

File Upload

SWM-Rescheck 4-29-24.pdf

File Upload

Choose File No file chosen

TO BE COMPLETED BY THE NEIGHBORHOOD SERVICES DEPARTMENT

1. Application was filed and the paid at least four weeks prior to the meeting. \$100.00 fee

Filed on:

Received by:

Receipt #

[Empty text box for Filed on]

[Empty text box for Received by]

[Empty text box for Receipt #]

Application reviewed by staff members

[Empty text box for Application reviewed by staff members]

3. Class 2 Notice published in Official Newspaper on

[Empty text box for Class 2 Notice published in Official Newspaper on]

4. Notices of Public Hearing mailed to property owners on

[Empty text box for Notices of Public Hearing mailed to property owners on]

Plan Commission holds the PUBIC HEARING on

[Empty text box for Plan Commission holds the PUBIC HEARING on]

Public Comments may also be submitted in person or in writing to City Staff.

At the conclusion of the Public Hearing, the Plan Commission will make a decision.

ACTION TAKEN

Conditional Use Permit: By the Plan and Architectural Review Commission

Granted

Not Granted

CONDITIONS PLACED UPON PERMIT BY PLAN AND ARCHITECTURAL REVIEW COMMISSION:

Signature of Plan Commission Chairperson

Date

mm/dd/yyyy



### Tips for Minimizing Development Review Costs-A Guide for Applicants

The City of Whitewater assigns its consultant cost associated with reviewing development proposals to the applicant requesting development approval. These costs can vary based on a number of factors. Many of these factors can at least be partially controlled by the applicant for development review. The City recognizes that we are in a time when the need to control costs is at the forefront of everyone's minds. The following guide is intended to assist applicants for City development approvals understand what they can do to manage and minimize the costs associated with review of their application. The tips included in this guide will almost always result in a less costly and quicker review of an application.

#### MEET WITH NEIGHBORHOOD SERVICES DEPARTMENT BEFORE SUBMITTING AN APPLICATION

If you are planning on submitting an application for development review, one of the first things you should do is have a discussion with the City's Neighborhood Department. This can be accomplished either by dropping by the Neighborhood Services Department counter at City Hall, or by making an appointment with the Neighborhood Services Director. Before you make significant investments in your project, The Department can help you understand the feasibility of your proposal, what City plans and ordinances will apply, what type of review process will be required, and how to prepare a complete application.

#### SUBMIT A COMPLETE AND THOROUGH APPLICATION

One of the most important things you can do to make your review process less costly to you is to submit a complete, thorough, and well-organized application in accordance with City ordinance requirements. The City has checklists to help you make sure your application is complete. To help you prepare an application that has the right level of detail and information, assume that the people reviewing the application have never seen your property before, have no prior understanding of what you are proposing, and don't necessarily understand the reasons for your request.

#### FOR MORE COMPLEX OR TECHNICAL TYPES OF PROJECTS, STRONGLY CONSIDER WORKING WITH AN EXPERIENCED PROFESSIONAL TO HELP PREPARE YOUR PLANS

Experienced professional engineers, land planners, architects, surveyors, and landscape architects should be quite familiar with standard developmental review processes and expectations. They are also generally capable of preparing high-quality plans that will ultimately require less time (i.e., less cost for you) for City's planning and engineering consultants to review, saving you money in the long run. Any project that includes significant site grading, stormwater management, or utility work; significant landscaping; or significant building remodeling or expansion generally requires professionals in the associated fields to help out.

#### FOR SIMPLER PROJECTS, SUBMIT THOROUGH, LEGIBLE, AND ACCURATE PLANS

For less complicated proposals, it is certainly acceptable to prepare plans yourself rather than paying to have them prepared by a professional. However, keep in mind that even though the project may be less complex, the City's staff and planning consultant still need to ensure that your proposal meets all City requirements. Therefore, such plans must be prepared with care. Regardless of the complexity, all site, building and floor plans should:

1. Be drawn to be recognized scale and indicate what the scale is (e.g. 1 inch=40 feet).
2. Include titles and dates on all submitted documents in case pieces of your application get separated.
3. Include clear and legible labels that identify streets, existing and proposed buildings, parking areas, and other site improvements.
4. Indicate what the property and improvements look like today versus what is being proposed for the future.
5. Accurately represent and label the dimensions of all lot lines, setbacks, pavement/parking areas, building heights, and any other pertinent project features.
6. Indicate the colors and materials of all existing and proposed site/building improvements. Including color photos with your application is one inexpensive and accurate way to show the current conditions of the site. Color catalog pages or paint chips can be included to show the appearance of proposed signs, light fixtures, fences, retaining walls, landscaping features, building materials or other similar improvements.

## SUBMIT YOUR APPLICATION WELL IN ADVANCE OF THE PLAN AND ARCHITECTURAL REVIEW COMMISSION MEETING

The city normally requires that a complete application be submitted four (4) weeks in advance of the Commission meeting when it will be considered. For simple submittals not requiring a public hearing, this may be reduced to two (2) weeks in advance. The further in advance you can submit your application, the better for you and everyone involved in reviewing the project. Additional review time may give the City's planning consultant and staff an opportunity to address those issues before the Plan and Architectural Review Commission meeting. Be sure to provide reliable contact information on your application form and be available to respond to such questions or requests in a timely manner.

### FOR MORE COMPLEX PROJECTS, SUBMIT YOUR PROJECT CONCEPTUAL REVIEW

A conceptual review can be accomplished in several ways depending on the nature of your project and your desired outcomes.

1. Preliminary plans may be submitted to City staff and the planning consultant for a quick informal review. This will allow you to gauge initial reactions to your proposal and help you identify key issues;
2. You may request a sit-down meeting with the Neighborhood Services Director and or Planning consultant to review and more thoroughly discuss your proposal; and/or
3. You can ask to be placed on a Plan and Architectural Review Commission meeting agenda to present and discuss preliminary plans with the Commission and gauge it's reaction before formally submitting your development review application.

Overall, conceptual reviews almost always save time, money, stress, and frustration in the long run for everyone involved. For this reason, the City will absorb up to \$200 in consultant review costs for conceptual review of each project.

### HOLD A NEIGHBORHOOD MEETING FOR LARGER AND POTENTIALLY MORE CONTROVERSIAL PROJECTS

If you believe your project falls into one or both of these two categories (City staff can help you decide), one way to help the formal development review process go more smoothly is to host a meeting for neighbors and any other interested members of the community. This would happen before any Plan and Architectural Review Commission meeting and often before you even submit a formal development review application.

A neighborhood meeting will give you an opportunity to describe your proposal, respond to questions and concerns, and generally address issues in an environment that is less formal and potentially less emotional than a Plan and Architectural Review Commission meeting. Neighborhood meetings can help you build support for your project, understand other's perspectives on your proposal, clarify misunderstandings, and modify the project and alleviate public concerns before the Plan and Architectural Review Commission meetings. Please notify the City Neighborhood Services Director of your neighborhood meeting date, time and place; make sure all neighbors are fully aware (City staff can provide you a mailing list at no charge); and document the outcomes of the meeting to include with your application.

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TYPICAL CITY PLANNING CONSULTANT DEVELOPMENT REVIEW COSTS

The City often utilizes assistance from a planning consultant to analyze requests for land development approvals against City plans and ordinances and assist the City's Plan and Architectural Review Commission and City Council on decision making. Because it is the applicant who is generating the need for the service, the City's policy is to assign most consultant costs associated with such review to the applicant, as opposed to asking general taxpayer to cover these costs.

The development review costs provided below represent the planning consultant's range of costs associated with each particular type of development review. This usually involves some initial analysis of the application well before the public meeting date, communication with the applicant at that time if there are key issues to resolve before the meeting, further analysis and preparation of a written report the week before the meeting, meeting attendance, and sometimes minor follow-up after the meeting. Cost vary depending on a wide range of factors, including the type of application, completeness and clarity of the development application, the size and complexity of the proposed development, the degree of cooperation from the applicant for further information, and the level of community interest. The City has a guide called "Tips for Minimizing Your Development Review Costs" with Information on how the applicant can help control costs.

Type of development review being requested and planning consultant review cost range

Minor Site/Building Plan (e.g., minor addition to building, parking lot expansion, small apartment, downtown building alterations)

- When land use is a permitted use in the zoning district and for minor downtown building alterations-up to \$600
- When use also requires a conditional use permit, and for major downtown building alterations-\$700-\$1,500

Major Site/Building Plan (e.g., new gas station/convenience store, new restaurant, supermarket, larger apartments, industrial building)

- When land use is a permitted use in the zoning district-\$700-\$2,000
- When land use also requires a conditional use permit- \$1,600-\$12,000

Conditional Use Permit with no Site plan Review (e.g., home occupation, sale of liquor request, substitution of use in existing building)

- Up to \$600

Rezoning

- Standard (not PCD) zoning district-\$700-\$2,000
- Planned Community Development zoning district, assuming complete GDP & SIP application submitted at same time-\$2,100-\$12,000

Land Division

- Land Survey Map-up to \$300
- Subdivision Plat- \$1,500-\$3,000
- Plat (does not include any development agreement time)-\$50-\$1,500

Annexation

- Typically between \$200-\$400

**\*\*Note:** The City also retains a separate engineering consultant, who is typically involved in larger projects requiring storm water management plans, major utility work, or complex parking or road access plans. engineering costs are not included above, but will be assigned to the development review applicant. The consultant planner and engineer closely coordinate their reviews to control costs.

**Cost Recovery Certificate and Agreement**

The City may retain the services of professional consultants (including planners, engineers, architects, attorneys, environmental specialists, and recreation specialists) to assist in the City's review of an application for development review coming before the Plan and Architectural Review Commission, Board of Zoning Appeals and/or Common Council. In fact most applications require some level of review by the City's planning consultant. City of Whitewater staff shall retain sole discretion in determining when and to what extent it is necessary to involve a professional consultant in the review of an application.

The submittal of an application or petition for development review by an applicant shall be construed as an agreement to pay for such professional review services associated with the application or petition. The City may apply the charges for these services to the applicant and/or property owner in accordance with this agreement. The City may delay acceptance of an application or petition (considering it incomplete), or may delay final action or approval of the associated proposal, until the applicant pays such fees or the specified percentage thereof. Development review fees that are assigned to the applicant, but that are not actually paid, may then be imposed by the City as a special charge on the affected property.

**SECTION A: BACKGROUND INFORMATION-to be completed by the Applicant/Property Owner**

**Applicant's First Name\***

Matt

**Last Name\***

Stever

**Applicant's Mailing Address**

W4912 Farm Village Lane

**City\***

Elkhorn

**State\***

WI

**Zip Code\***

53121

**Applicant's Phone Number\***

262-203-0016

**Fax Number**

**Applicant's Email Address\***

cstever.1elk@gmail.com

Project Information

Name/Description of Development\*

452 W. Main St. Kitchen and bathroom renovation

Address of Development Site\*

452 W. Main St. Lower unit Whitewater, WI 53190

Property Owner Information (if different from applicant):

Property Owner's First Name

Last Name

BCN Rentals LLC

BCN Rentals LLC

Property Owner's Mailing Address

W4912 Farm Village Lane

City

State

Zip Code

Elkhorn

WI

53121

SECTION B: APPLICANT/PROPERTY OWNER COST OBLIGATIONS. To be filled out by the Neighborhood Services Department

Under this agreement, the applicant shall be responsible for the costs indicated below. In the event the applicant fails to pay such costs, the responsibility shall pass to the property owner, if different. Costs may exceed those agreed to herein only by mutual agreement of the applicant, property owner and City. If and when the City believes that actual costs incurred will exceed those listed below, for reasons not anticipated at the time of the application or under the control of the City administration or consultants, the Neighborhood Services Director or his agent shall notify the applicant and property owner for their approval to exceed such initially agreed costs. If the applicant and property owner do not approve such additional costs, the City may, as permitted by law, consider the application withdrawn and/or suspend or terminate further review and consideration of the development application. In such case, the applicant and property owner shall be responsible for all cost incurred up until that time.

A. Application fee

[Empty input box for Application fee]

B. Expected planning consultant review cost

[Empty input box for Expected planning consultant review cost]

C. Total cost expected of application (A+B)

[Empty input box for Total cost expected of application (A+B)]

D. 25% of total cost due at time of application:

[Empty input box for 25% of total cost due at time of application]

Project likely to incur additional engineering or other consultant review costs?

-- Select One --



**Balance of costs**

The balance of the applicant's costs, not due at time of application, shall be payable upon applicant receipt of one or more itemized invoices from the City. If the application fee plus actual planning and engineering consultant review costs end up being less than the 25% charged to the applicant at the time of application, the City shall refund the difference to the applicant.

**SECTION C: AGREEMENT EXECUTION -to be completed by the Applicant and Property Owner**

The undersigned applicant and property owner agree to reimburse the City for all costs directly or indirectly associated with the consideration of the applicant's proposal as indicated in this agreement, with 25% of such costs payable at the time of application and the remainder of such costs payable upon receipt of one or more invoices from the City following the execution of development review services associated with the application.

Signature of Applicant/Petitioner\*

Date

Matt Stever

5/2/2024

Signature of Property Owner (if different)

Date

mm/dd/yyyy





Neighborhood Services  
Department  
*Planning, Zoning, Code  
Enforcement, GIS  
and Building  
Inspections*  
[www.whitewater-wi.gov](http://www.whitewater-wi.gov)  
Telephone: (262) 473-0540

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NOTICE OF PUBLIC HEARING

TO ALL INTERESTED PARTIES:

A meeting of the PLAN AND ARCHITECTURAL REVIEW COMMISSION of the City of Whitewater will be held at the Municipal Building, Community Room, located at 312 W. Whitewater Street on the 10<sup>th</sup> day of June at 6:00 p.m. to hold a public hearing for consideration of a Conditional Use Permit for conversion of dwelling into a duplex be located at 452 W Main Street, Tax Parcel # /WUP 00096 for BCN Rentals, LLC.

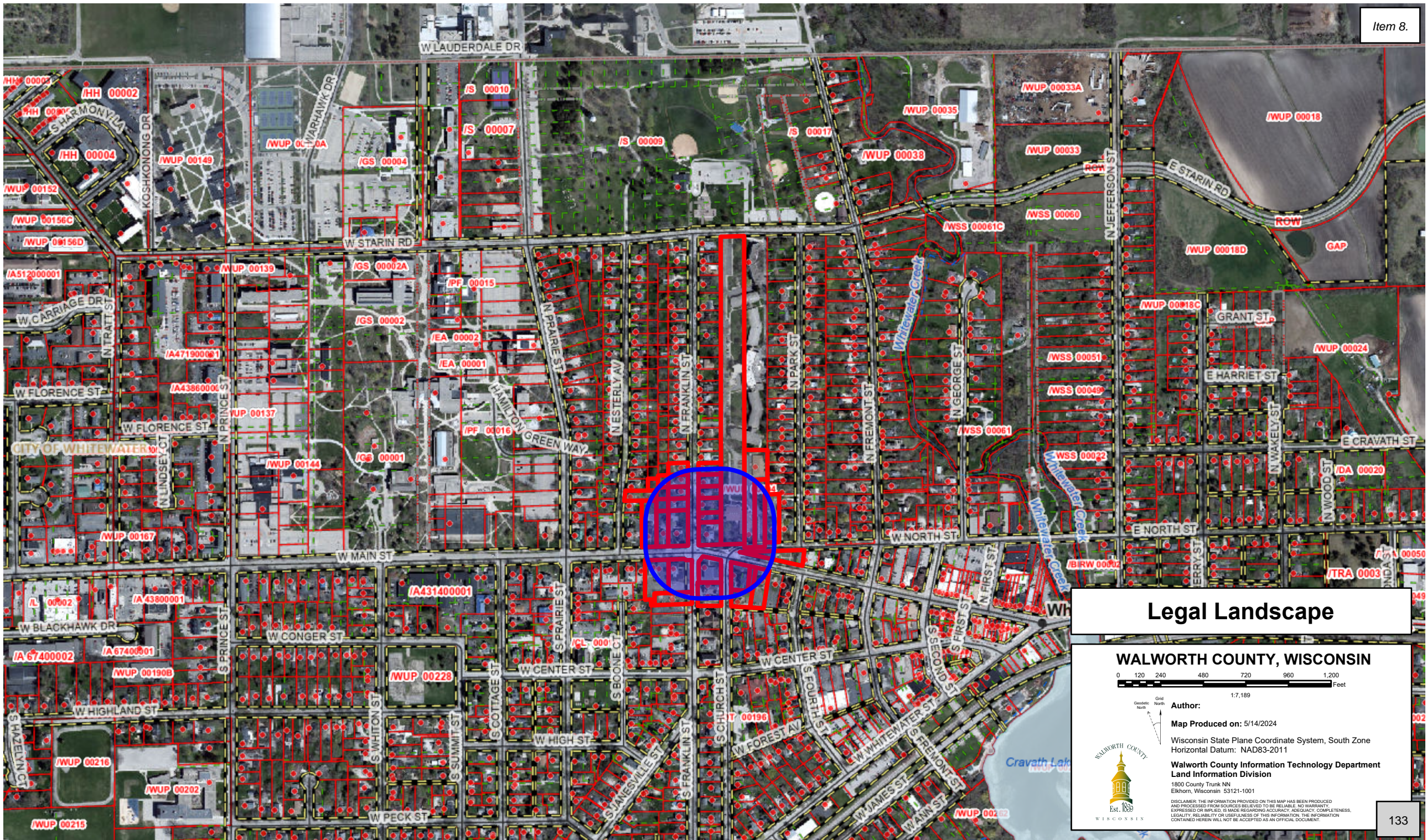
The Site Plan Review Proposal is on file in the Neighborhoods Services Office located at 312 W. Whitewater Street and is open to public inspection during office hours Monday through Friday, 8:00 a.m. to 4:30 p.m.

This meeting is open to the public. COMMENTS FOR, OR AGAINST THE PROPOSED PROJECT MAY BE SUBMITTED IN PERSON OR IN WRITING.

For information, call (262) 473-0540

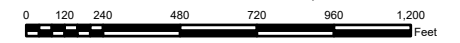
Llana Dostie, Neighborhood Services Administrative Assistant





# Legal Landscape

## WALWORTH COUNTY, WISCONSIN



Grid North



**Author:**  
 Map Produced on: 5/14/2024

Wisconsin State Plane Coordinate System, South Zone  
 Horizontal Datum: NAD83-2011



**Walworth County Information Technology Department  
 Land Information Division**  
 1800 County Trunk NN  
 Elkhorn, Wisconsin 53121-1001

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JAMES FISHER  
KAREN M FISHER  
125 N. FRANKLIN ST  
WHITEWATER, WI 53190

MICHAEL B JONELY  
JEANNE M JONELY  
131 N FRANKLIN ST  
WHITEWATER, WI 53190

THEODORE T STRADINGER  
137 N FRANKLIN ST  
WHITEWATER, WI 53190-9000

MYRON R PAYNTER TRUST  
NORBERTA A PAYNTER TRUST  
143 N FRANKLIN ST  
WHITEWATER, WI 53190

ELENA LEVY-NAVARRO  
124 N FRANKLIN ST  
WHITEWATER, WI 53190-9000

DENISE HOGLUND  
132 N FRANKLIN ST  
WHITEWATER, WI 53190-9000

ROBERT M SCHRAMM  
MARGARET T SCHRAMM  
138 N FRANKLIN ST  
WHITEWATER, WI 53190

MATTHEW E BAIER  
JENNIFER L KAINA  
144 N FRANKLIN ST  
WHITEWATER, WI 53190-9000

GRACE CRICKETTE  
PATRICK E TAYLOR JR  
129 N ESTERLY AVE  
WHITEWATER, WI 53190-9000

CITY OF WHITEWATER  
312 W WHITEWATER ST  
WHITEWATER, WI 53190-9000

FIRST ENGLISH LUTHERAN CHURCH  
401 W MAIN ST  
WHITEWATER, WI 53190

KACHEL LP 253 SOUTH CHURCH LLC  
PO BOX 239  
WHITEWATER, WI 53190-9000

LAMBDA IOTA ZETA HOUSE CORPORATION  
OF LAMBDA CHI ALPHA FRATERNITY  
C/O ROBERT HAZOD  
13525 W CRAWFORD DR  
NEW BERLIN, WI 53151-0700

FAIRHAVEN CORPORATION  
FAIRHAVEN FOUNDATION, INC  
435 STARIN RD  
WHITEWATER, WI 53190

BNC RENTALS LLC  
W4912 FARM VILLAGE LN  
ELKHORN, WI 53121-2100

KATHLEEN A BRADY  
115 N FRANKLIN ST  
WHITEWATER, WI 53190-9000

504 MAIN LLC  
TINCHER REALTY  
532 W MAIN ST  
WHITEWATER, WI 53190-9000

GLENN C HAYES  
CHRISTINE C HAYES  
135 N ESTERLY AVE  
WHITEWATER, WI 53190-9000

DENISE HOGLUND  
132 N FRANKLIN ST  
WHITEWATER, WI 53190-9000

ELENA LEVY-NAVARRO  
124 N FRANKLIN ST  
WHITEWATER, WI 53190-9000

SANGER MARSH HOUSE LLC  
522 W MAIN ST  
WHITEWATER, WI 53190

MERCY HOSPITAL OF JANESVILLE  
C/O VICE PRESIDENT OF FINANCE  
1000 MINERAL POINT AVE  
JANESVILLE, WI 53545-4500

LADWIG & VOS INC  
140 LONGMEADOW DR  
BURLINGTON, WI 53105

DLK FARM SERVICE INC  
PO BOX 239  
WHITEWATER, WI 53190

CHURCH  
C/O ST JOHN'S EVANGELICAL  
LUTHERAN CHURCH  
116 S CHURCH ST  
WHITEWATER, WI 53190-9000

FIRST EVANGELICAL LUTHERAN  
CHURCH  
401 W MAIN ST  
WHITEWATER, WI 53190-9000