



ZONING BOARD OF APPEALS MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN 48383
THURSDAY, MAY 28, 2026 – 6:30 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. CALL TO THE PUBLIC
6. APPROVAL OF MINUTES
 - A. April 23, 2026
7. OLD BUSINESS
8. NEW BUSINESS
 - A. [Applicant: John Green, Contractor](#)
[102 Lac Sainte Claire Dr](#)
[Saint Clair Shores, MI 48082](#)
[Location: 4160 Navarra Ct.](#)
[White Lake, MI 48386, identified as 12-07-177-015](#)
[Request: Variance requests from: Sec. 3.1.6 for a rear yard variance, and Sec 7.23 A, to enlarge a non-conforming structure.](#)
 - B. [Applicant: Andrew Hoppe](#)
[9020 Maplewood Dr](#)
[White Lake, MI 48386](#)
[Location: 9020 Maplewood Dr](#)
[White Lake, MI 4386; identified as 12-35-426-066](#)
[Request: Variance request from Section 3.1.6\(E\) for a primary building side yard setback variance.](#)
 - C. [Applicant: Charles L. Deere](#)
[625 Lake View Dr](#)
[White Lake, MI 48363](#)
[Location: 625 Lake View Dr](#)
[White Lake, MI 48363; identified as 12-26-457-007](#)
[Request: Variance request from Section 3.1.6\(E\) for a front yard setback variance for an accessory building.](#)
 - D. [Applicant: Scott David](#)
[8070 Rene Dr](#)
[White Lake, MI 48386](#)
[Location: 8070 Rene Dr](#)
[White Lake, MI 4386; identified as 12-24-426-015](#)
[Request: Variance from Section 5.7.B for an accessory building height request.](#)



- E. [Applicant: Michael Seling](#)
[9278 Pontiac Lake Rd](#)
[White Lake, MI 48386](#)
[Location:9278 Pontiac Lake Rd](#)
[White Lake, MI 4386; identified as 12-14-253-006](#)
[Request: Variance requests from Section 3.10 for a height setback variance to construct an attached deck on a lakefront property, and from Section 3.11\(Q\) for a variance from the watercourse setback requirement](#)

9. OTHER BUSINESS

10. NEXT MEETING DATE: June 25, 2026

11. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk’s office at (248) 698-3300 X-7 at least five days in advance of the meeting.** An attempt will be made to provide reasonable accommodations.

TO: Zoning Board of Appeals

FROM: David J. Waligora, AICP, Senior Planner

DATE: May 21, 2026

RE: **4160 Navarra Ct: Rear Yard, Side Yard, and 25-Foot Water Setback Variance Requests**

Agenda item: 8A

Appeal Date: April 23, 2026

Applicant: John Green
1072 Erskine Way
Waterford, MI 48328

Owners: Matthew Coleman and Kelli Fisher
4160 Navarra Ct
White Lake, MI 48383

Address: 4160 Navarra Ct
White Lake, MI 48383

Parcel #: 12-07-177-015

Location: West of Ormand Rd, north of
White Lake along the canals.

Zoning: R1-D, Single Family Residential

Attachments

1. Application
2. Land Survey and Construction Documents



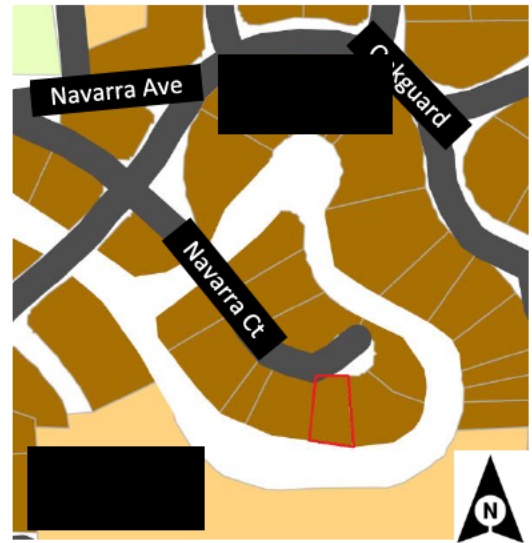
Property Description

The subject property is a 0.186-acre (8,102.16 sq. ft.) parcel (Parcel No. 12-07-177-015), approximately 57.79 feet in width by 130 feet in depth. The parcel is part of a 1927 plat and is located along the White Lake Canal system (*also known as the Oakvale Lagoon*).

The property is zoned R1-D (Single-Family Residential) and is surrounded by similarly zoned single-family residential properties to the east, west, and north. The property to the south is the White Lake Campground, which is zoned R1-C.

Applicant’s Proposal

The applicant is proposing to construct a 262 sq. ft. covered rear deck (roof/canopy addition) on the south side of the existing home, oriented toward the canal.



An at-grade, unenclosed deck is permitted to extend to the rear property line under Section 3.10. However, because the proposed deck includes a roof structure attached to the principal building, it is regulated as part of the principal structure and must meet applicable setback requirements. Staff notes the proposal requires variance relief from the required rear yard setback, side yard setback, and the 25-foot setback under Section 3.11.Q, which states that no building or structure shall be located closer than 25 feet to any regulated wetland, submerged land, watercourse, pond, stream, lake, or like body of water. Therefore, variances are required.

Existing Condition Dimensional Review

The property is currently developed with a two-story, single-family home (constructed in 1962), along with a detached two-car garage and a small accessory shed. The home is served by a private well and septic system. The parcel is legally nonconforming (substandard) with respect to lot size and width under the R1-D zoning requirements.

	Min Required	Current	Nonconforming Deficiency
Lot Area	12,000 ft ²	8,102.16 ft ²	3,898 ft ² (32.48%)
Lot Width	80 ft (min required)	57.79 ft	22.21 ft (27.76%)
Lot Length	150 ft (min required for min lot width)	130 ft	approximately 20 ft
Lot Coverage	25%	20.89%	
Front Yard Setback <i>Accessory Building</i>	30 ft	14.9 ft	-15.1 ft
Front Yard Setback <i>Primary Structure</i>	30 ft	66.76 ft	
Rear Yard Setback	30 ft	16.85 ft	-13.15 ft



4160 Navarra Ct
Google Maps



Realtor Photo from the Internet
on North-side of the house



Google Streetview from across the canal on
the White Lake Campground Property

Proposed Dimensional Review

	Min Required	Current	Proposed	Difference	Necessary Variance
Rear Yard Setback	30 ft	Approx 16.85 ft	2.7ft	-14.15 ft	27.3 ft
Side Yard Setback	10 ft	8.72 ft	8.72 ft	0	1.28 ft
Setback from Water Body	25 ft	Approx 16.85 ft	2.7 ft	-14.15 ft	22.3 ft

Conclusion

The applicant is requesting variances to

1. Allow a reduction of the required rear yard setback from 30 feet to approximately 2.7 feet to permit construction of a covered rear deck attached to the principal structure;
2. Allow a reduction of the required side yard setback by approximately 1.28 feet based on the location of the proposed roof line relative to the platted property boundary; and
3. Allow a reduction of the required 25-foot setback from a water body to approximately 2.7 feet.

The requested side yard variance is limited to the location of the existing structure and does not increase the degree of side yard encroachment but rather recognizes the placement of the home as it currently exists. While an at-grade deck may extend to the rear property line, the addition of a roof causes the structure to be regulated as part of the principal building and subject to applicable setback requirements.

The subject property is a legal nonconforming lot within a historic 1927 plat, with deficient lot area, width, and depth. The canal frontage serves as the primary orientation and amenity for the property, and development patterns in the area commonly prioritize canal-facing outdoor space rather than street frontage. The ordinance partially acknowledges this condition through Section 3.10 by permitting uncovered and unenclosed decks to extend into the rear yard and specifically for lakefront/water feature properties, extend up to the water's edge.

The proposed structure does not extend further toward the canal than what would otherwise be permitted by right as a deck but instead introduces a roof over that area. Staff notes a similar nonconforming awning previously existed on the site but was unpermitted.

Staff notes that the Zoning Ordinance contains provisions that appear to be internally inconsistent with respect to structures located near water. Section 3.10 permits certain decks and similar structures to extend to the water's edge for lakefront properties, while Section 3.11.Q requires that no building or structure be located within 25 feet of a regulated wetland, submerged land, watercourse, pond, stream, lake, or similar body of water. As a result, Section 3.10 may be interpreted as creating a limited exception for uncovered and unenclosed decks to the general 25-foot setback requirement. However, because the proposed structure includes a roof and is regulated as part of the principal structure, staff has evaluated the request as requiring variance relief from both standards.

Based on the information provided, the Zoning Board of Appeals may consider whether the request meets the standards of Section 7.37. In particular, the Board may evaluate whether the property's substandard size, historic platting, and canal-oriented development pattern create a practical difficulty; whether those conditions represent a unique situation relative to other properties in the zoning district; whether granting the requested relief would allow use of the property in a manner consistent with similarly situated canal-front properties; and whether the requested variances represent the minimum necessary to provide relief without creating adverse impacts on surrounding properties.

The Board should also note that the submitted survey identifies both "occupation lines" and "platted property lines." While occupation lines may reflect long-standing use or fencing patterns, the Zoning Ordinance requires setbacks to be measured from the recorded platted boundaries. As a result, a side yard variance is required even though measurements to the occupation line may appear compliant.

Zoning Board of Appeals Options:

Motion for Approval

I move to approve the variance request for the property located at **4160 Navarra Ct, Parcel No. 12-07-177-015**, from the R1-D District dimensional requirements to allow a reduction of the required rear yard setback from **30 feet to approximately 2.7 feet (a variance of 27.3 feet)**, to allow a reduction of the required side yard setback by approximately 1.28 feet, **which recognizes the location of the existing structure and does not increase the degree of side yard encroachment**, and to allow a reduction of the required **25-foot setback from a water body to approximately 2.7 feet (a variance of 22.3 feet)**, in order to permit construction of a covered rear deck attached to the principal structure, based on the findings that the request meets the standards of Section 7.37 (A through E), subject to the following conditions:

1. The covered at-grade deck shall be constructed in substantial compliance with the plans submitted.
2. No further encroachment beyond what is approved herein into the required rear yard, side yard, or water setbacks shall occur without additional Zoning Board of Appeals approval.
3. The structure shall remain unenclosed (for example, no 3-season room conversion), and any future enclosure of the covered at-grade deck will require additional review and approval from the ZBA.
4. All necessary permits shall be obtained prior to construction.

Motion for Denial

I move to deny the variance request for the property located at **4160 Navarra Ct, Parcel No. 12-07-177-015**, from the R1-D District dimensional requirements to allow a reduction of the required rear yard setback from **30 feet to approximately 2.7 feet (a variance of 27.3 feet)**, to allow a reduction of the required side yard setback by approximately **1.28 feet**, and to allow a reduction of the required **25-foot setback from a water body to approximately 2.7 feet (a variance of 22.3 feet)**, in order to permit construction of a covered rear deck attached to the principal structure, based on the findings that the request does not meet the standards of Section 7.37 (A through E), specifically:

1. The request does not sufficiently demonstrate a practical difficulty warranting the requested relief, as an at-grade deck is otherwise permitted by right to extend into the rear yard.
2. The circumstances do not sufficiently differ from other canal-front properties to warrant the requested relief.
3. The need for the variance is based on the applicant's preference to construct a roofed structure rather than a limitation inherent to the land.
4. Granting the variance would allow a significant encroachment into the required rear, side, and water setbacks and may confer a special privilege not enjoyed by other properties.
5. The request has not demonstrated that the variances are the minimum necessary.

WHITE LAKE TOWNSHIP

Item A.



RECEIVED

FEB 20 2026

ZONING BOARD OF APPEALS APPLICATION

BUILDING DEPARTMENT

APPLICANT INFORMATION

NAME: John Green Builder LLC [REDACTED]
ADDRESS: 1072 Erskine Way Waterford MI 48328
[REDACTED]
INTEREST IN PROPERTY: [] PROPERTY OWNER [X] BUILDER [] OTHER:

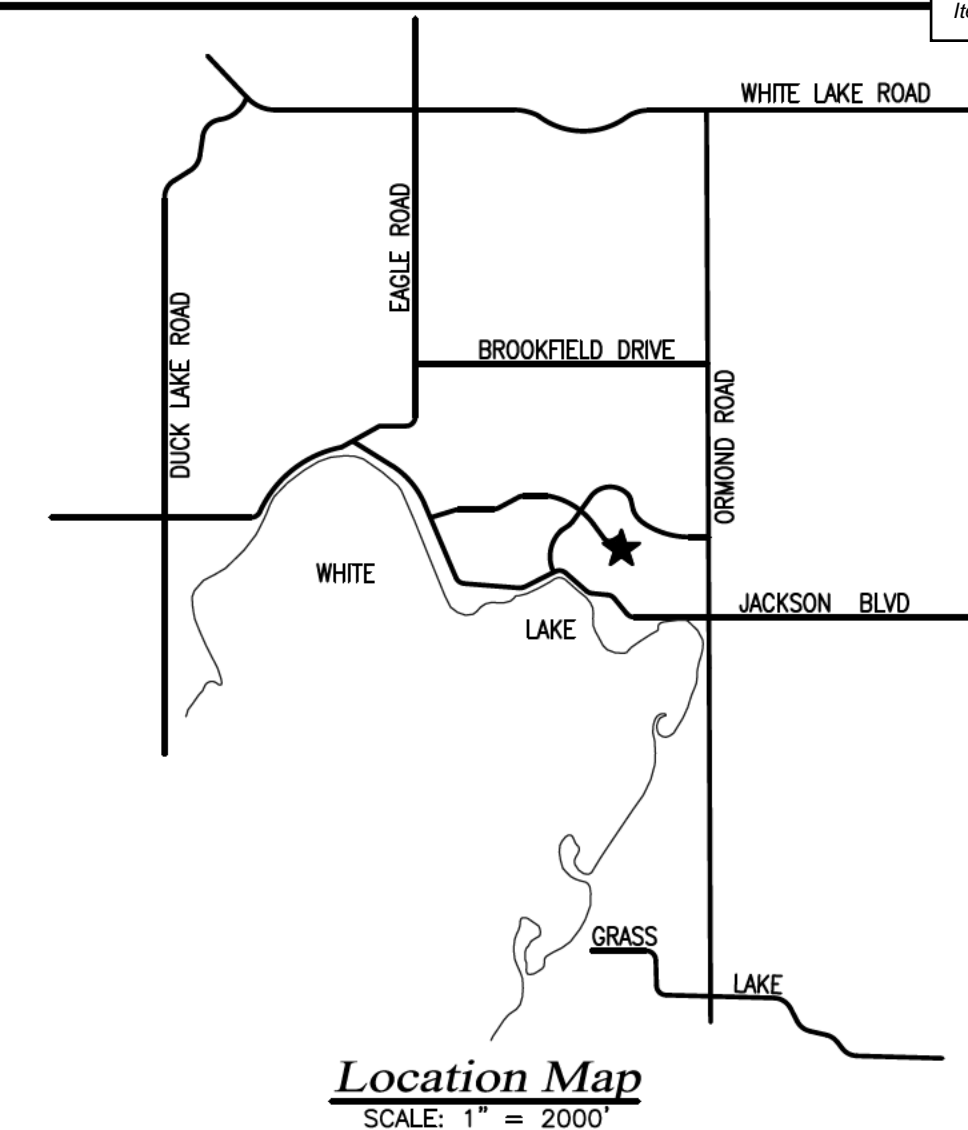
PROPERTY INFORMATION

ADDRESS: 4160 Nardara CT ZONING:
VALUE OF IMPROVEMENT: \$ 20,780 SEV OF EXISTING STRUCTURE: \$

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

Building NEW grade LEVEL DECK
Want to put Roof over NEW DECK

APPLICATION FEE: [] \$440 [] \$550
APPLICANT'S SIGNATURE: John Green DATE: 2/20/26



Navarra Court 40' wd.

LEGEND

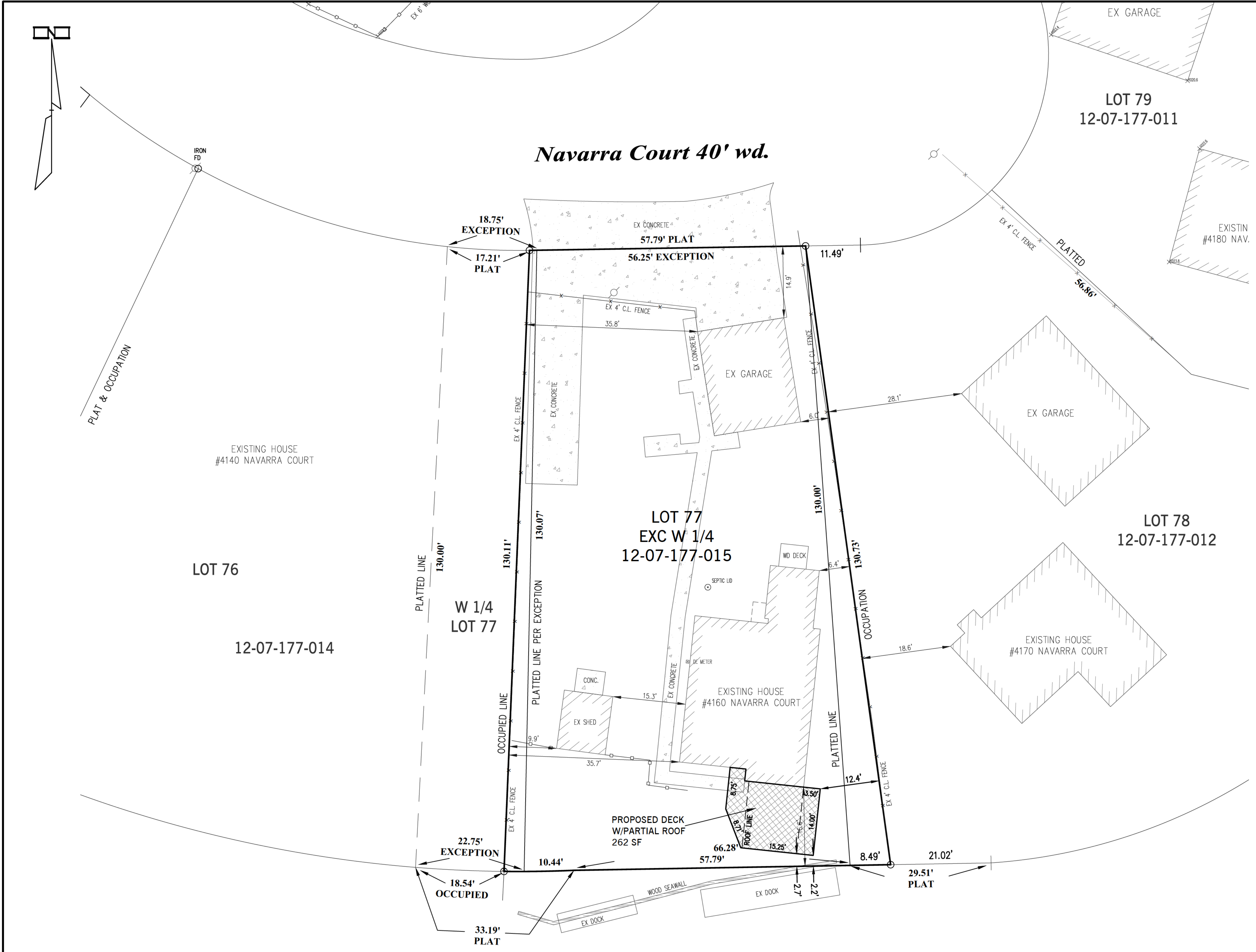
---	EXISTING	---	STORM SEWER
---	EXISTING	---	SANITARY SEWER
---	EXISTING	---	WATERMAIN
---	GAS	---	GAS MAIN
---	EXISTING	---	ELEC. TELE. CABLE
---	EXISTING	---	EXISTING OVERHEAD
---	WETLAND LIMITS	---	WETLAND LIMITS
---	25' NATURAL FEATURES SETBACK	---	25' NATURAL FEATURES SETBACK
---	STORM MANHOLE	---	STORM MANHOLE
---	CATCH BASIN	---	CATCH BASIN
---	INLET	---	INLET
---	REARYARD CATCH BASIN	---	REARYARD CATCH BASIN
---	END SECTION	---	END SECTION
---	SANITARY MANHOLE	---	SANITARY MANHOLE
---	GATE VALVE AND WELL	---	GATE VALVE AND WELL
---	HYDRANT	---	HYDRANT
---	CONTOURS	---	CONTOURS
---	POWER POLE	---	POWER POLE
---	LIGHT POLE	---	LIGHT POLE
---	GRADE	---	GRADE
---	SOIL BORING	---	SOIL BORING

- Notes:**
- ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING, WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS OF OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
 - ARCHITECT/BUILDER IS RESPONSIBLE FOR CONFIRMING BUILDING SETBACKS.
 - SEE BUILDER/CONTRACTOR FOR SPECIFIC DEMOLITION REMOVAL, RELOCATE, REUSE AND MAINTAIN INSTRUCTIONS.

**Property is Zoned R-1D
Single Family Residential**

SETBACKS:
FRONT - 30 FEET
SIDES - 10 FEET, TOTAL 20 FEET
REAR - 30 FEET

Parcel 12-07-177-015:
LOT 77 EXCEPTING W 1/4, "WHITE LAKE GROVE SUB" OF PART OF NW 1/4, SECTION 7, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 47 OF PLATS, PAGE 41, OAKLAND COUNTY RECORDS.



ADDRESS:
4160 NAVARRA COURT
WHITE LAKE, MICHIGAN 48383

BUILDER:
JOHN GREEN BUILDER LLC
1072 ERSKINE WAY
WATERFORD, MICHIGAN 48328
(248) 505-4357

THIS DRAWING IS THE PROPERTY OF KIEFT ENGINEERING, INC. AND MAY NOT BE USED, REPRODUCED OR PUBLISHED, IN PART OR IN WHOLE, WITHOUT EXPRESSED WRITTEN PERMISSION FROM KIEFT ENGINEERING, INC.



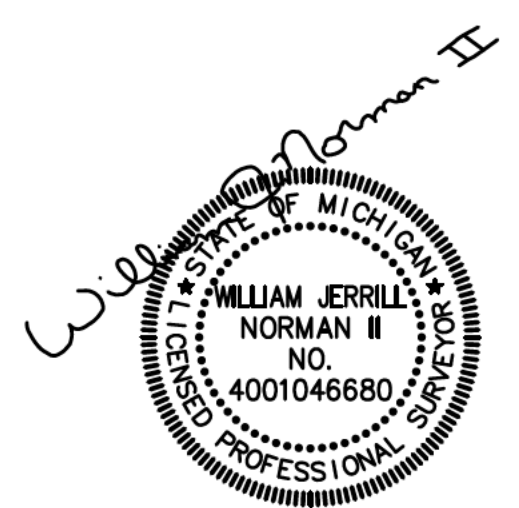
KIEFT ENGINEERING, INC.
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE	2-17-2026	CKD. BY	DATE
DRAWN	GF		
DESIGN	WJN		
SECTION	7	T- 3 -N- R- 8 -E-	



Proposed Deck Site Plan
PARCEL NO. 12-07-177-015
PART OF THE NW 1/4 OF SECTION 7, T3N, R8E,
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 10'
SHEET 1 OF 1
KE 2025.141



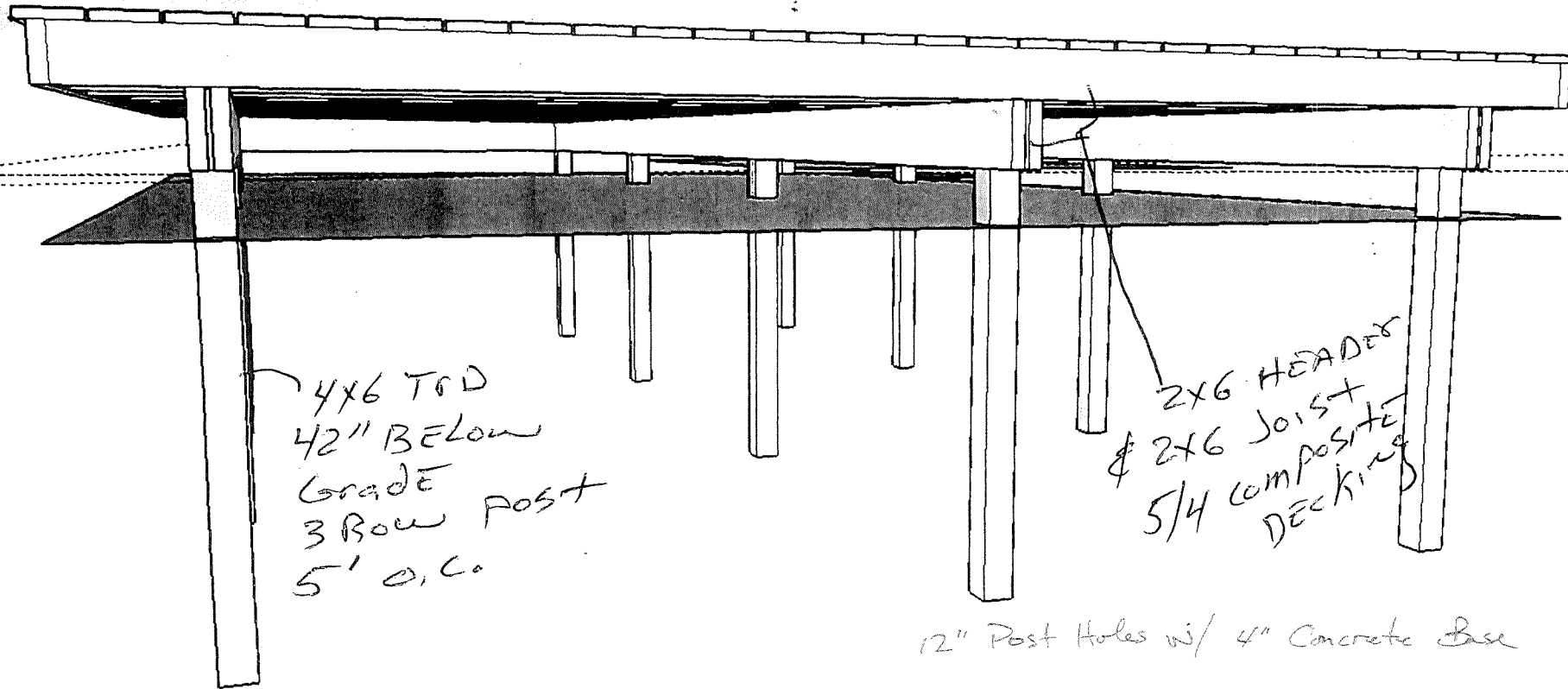
DATE	ISSUE
3-2-2026	ADDED ROOF LINE DIMENSION PER TWP REVIEW

APPLICANT

6/3/25

Approved Plans & Truss Layout must be on site for rough inspections.

SEE ADDITIONAL NOTES ON PLANS AND/OR PERMIT STIPULATIONS

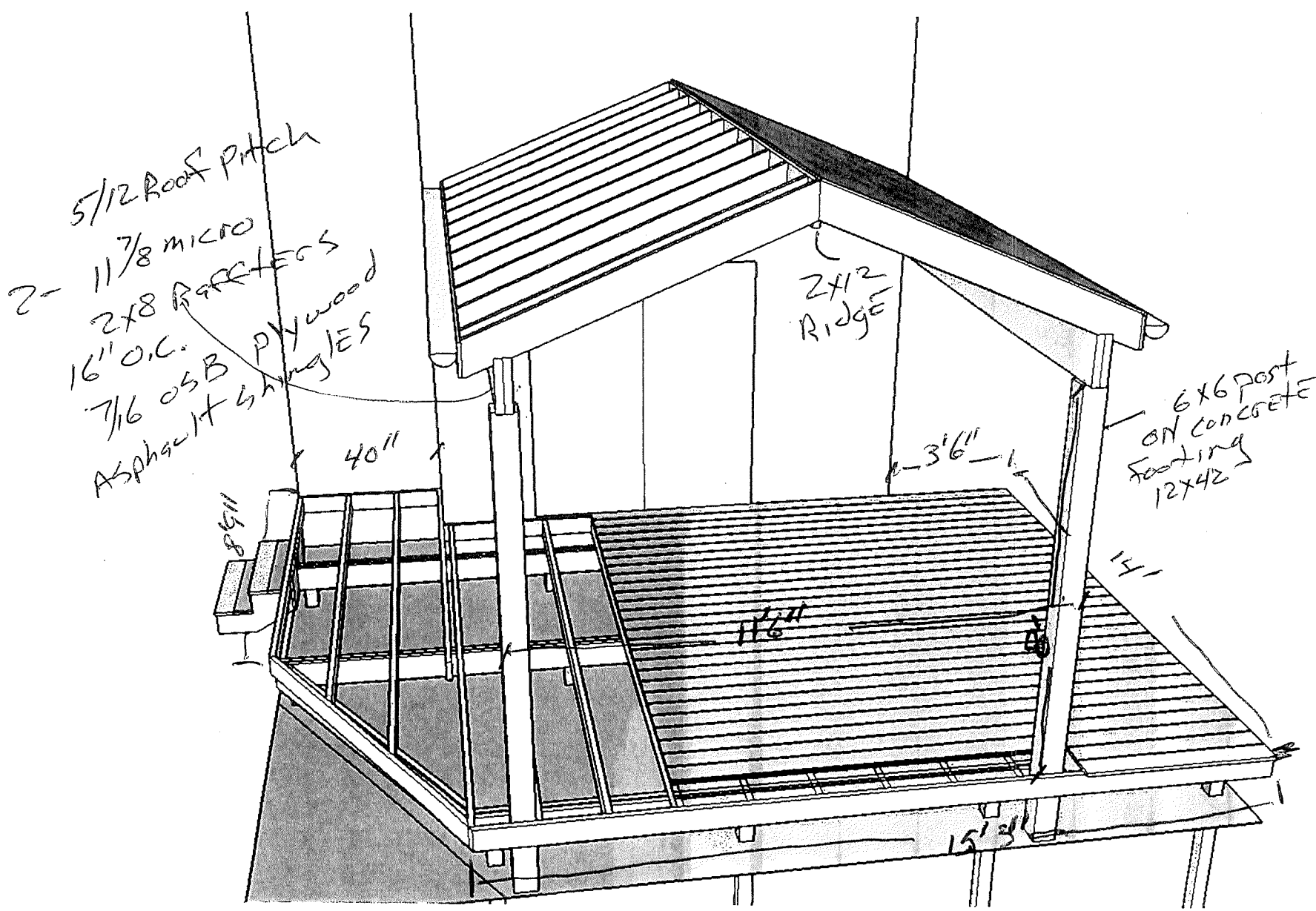


4x6 T&D
42" BELOW
GRADE
3 Row Post
5' o.c.

2x6 HEADER
& 2x6 JOIST
5/4 COMPOSITE
DECKING

12" Post Holes w/ 4" Concrete Base

* Roof Structure over Rear Deck Requires Variance



5/12 Roof Pitch
2- 1 1/8 MICRO
2x8 RAFTERS
16" O.C.
7/16 OSB
PLYWOOD
ASPHALT SHINGLES

2x12
RIDGE

6x6 POST
ON CONCRETE
FOOTING
12x42

8x4

40"

3'6"

11'6"

14'

15'3"

TO: Zoning Board of Appeals
FROM: David J. Waligora, AICP, Senior Planner
DATE: May 20, 2026
RE: 9020 Maplewood: Variance request for Side Yard Setback

Agenda item: 8B
Appeal Date: May 28, 2026
Applicant: Andrew/Connie Hoppe
9020 Maplewood Dr
Owner: Andrew/Connie Hoppe
9020 Maplewood Dr
Address: 9020 Maplewood Dr
Parcel #: 12-35-426-066
Location: SE corner of Round
Lake Rd and Cedar
Island Rd
Zoning: R1-D, Single Family
Residential



Attachments

- 1. Application
- 2. Land Survey and Construction Documents

Property Description

The subject property is located at 9020 Maplewood Drive and is identified as Parcel No. 12-35-426-066, legally described as Lots 28 through 31, inclusive, of Block 8, Needels Six Lakes Subdivision No. 1. The property is zoned R1-D (Single Family Residential) and consists of approximately four originally platted subdivision lots that have functioned as a single residential parcel for several decades.

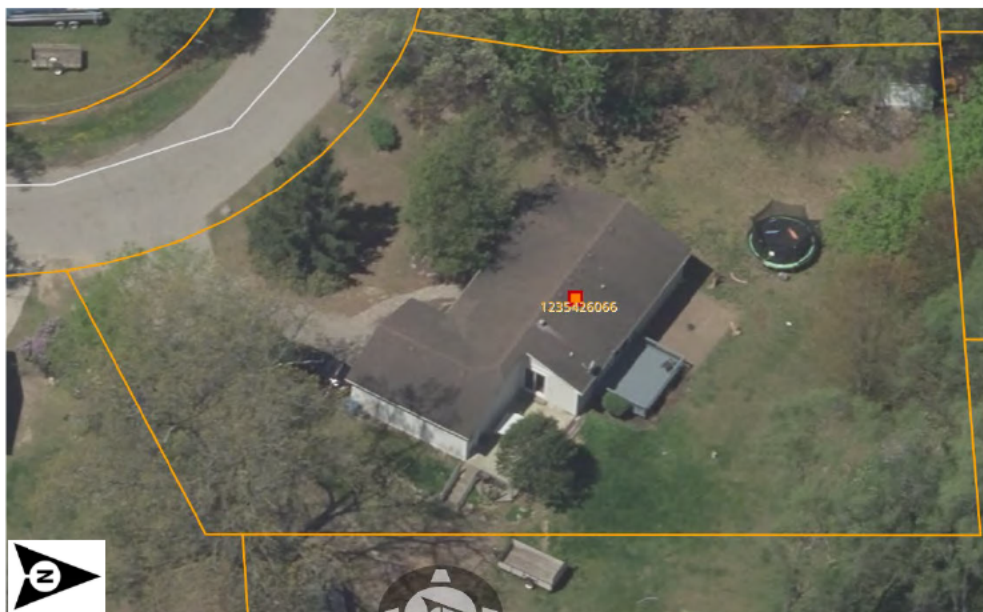
The parcel is developed with an existing single-family residence constructed in 1984, attached garage, driveway, deck, and associated residential site improvements. The property is served by a private well and onsite septic system. Historical aerial imagery indicates prior residential development existed toward the northern portion of the parcel before construction of the current residence.

The subject property is located along a curved roadway frontage, and the existing residence appears to have been sited in a manner oriented toward the street, consistent with common residential development patterns at the time of construction. The existing home is positioned relatively close to the eastern side property line despite the overall parcel exceeding current minimum district dimensional standards.

Staff notes the existing residence complies with applicable minimum setback requirements for principal structures in its current condition. The current variance request therefore relates to the proposed addition to the residence rather than an existing nonconforming setback condition. The surrounding area is characterized primarily by single-family residential development, including homes developed on older subdivision lots with varying lot configurations and established residential site patterns.

Applicant's Proposal

The applicant proposes to construct a one-story residential addition to the existing single-family home utilizing an existing concrete slab located adjacent to the eastern side of the residence. The addition is intended to provide additional living space within the existing residence. According to the applicant, alternative locations for expansion are constrained by the location of the private well behind the residence and septic field on the opposite side of the home. The proposed addition would result in an approximately 9.37-foot side yard setback, where a minimum 10-foot side setback is required, necessitating variance relief of approximately 0.63 feet (8 inches). The applicant further states the proposal would not negatively impact neighboring properties and indicates adjacent property owners support the request.



Site History

The subject property consists of Lots 28 through 31, inclusive, of Block 8, Needles Six Lakes Subdivision No. 1, representing approximately four originally platted subdivision lots that now function as a single residential parcel.

Historical aerial imagery indicates prior residential development existed toward the northern portion of the parcel before construction of the current residence in 1984. Although the precise reasons for the placement of the existing home are unknown, the residence was constructed relatively close to the eastern side property line and has maintained that orientation for several decades. Historical development patterns and prior site conditions associated with earlier residential development on the parcel may have influenced the location of the existing residence.



Staff further notes that historical aerial imagery suggests portions of the surrounding neighborhood developed differently than originally contemplated by the recorded subdivision plat, with access patterns and development arrangements evolving over time. The subject parcel appears to have functioned differently than its original four-lot subdivision configuration for several decades prior to construction of the current residence in 1984. These historical development patterns may have contributed to the present configuration of the parcel and placement of the current residence over time.



Zoning Analysis

The applicant requests approximately 0.63 feet (8 inches) of variance relief from the required 10-foot side yard setback, resulting in a proposed setback of approximately 9.37 feet.

Although alternative building designs or configurations may exist that reduce or eliminate the need for variance relief, staff notes the requested encroachment is limited in magnitude and the applicant identifies existing site constraints affecting expansion options. The Zoning Board of Appeals should consider whether alternative configurations would remain practical while achieving similar objectives and whether the requested relief represents the minimum variance necessary. Staff notes the existence of alternative configurations alone does not necessarily preclude variance relief but may be relevant to the Board's consideration of whether the request represents the minimum variance necessary.

Staff further finds the existing residence was constructed in 1984 relatively close to the eastern side property line and appears oriented toward the curved roadway frontage, consistent with common residential development patterns of the period. Historical aerial imagery indicates prior residential development existed elsewhere on the parcel before construction of the current residence. The placement of the residence, together with the location of the private well and septic field, appears to reduce flexibility for later expansion of the principal structure.

The requested relief is limited in magnitude and does not appear likely to materially alter neighborhood character or substantially impact adjacent properties.

Conclusion

Overall, the request involves an existing single-family residence constructed in 1984 on a parcel comprised of four underlying platted lots (Lots 28–31, Block 8, Needels Six Lakes Subdivision No. 1) that have functioned as a single residential property for several decades. Historical aerial imagery indicates prior residential development existed toward the northern portion of the parcel before construction of the current residence. The existing residence was constructed relatively close to the eastern side property line and, together with the curved roadway frontage and longstanding site configuration, appears to have reduced flexibility for later additions to the principal structure.

Staff further notes the subject property is located along a curved roadway frontage, and the existing residence appears to have been oriented toward the street, consistent with common residential development patterns of the period.

The applicant requests variance relief from the required 10-foot side yard setback to permit an approximately 9.37-foot setback, representing approximately 0.63 feet (8 inches) of relief. In reviewing the request, the Zoning Board of Appeals should consider the longstanding placement of the residence, the historical evolution of the parcel, the limited extent of the requested encroachment, and whether the proposal represents the minimum variance necessary while remaining consistent with the intent of the Ordinance and surrounding pattern of residential development. Staff further notes the requested relief is limited in magnitude and does not appear likely to materially alter neighborhood character or result in substantial adverse impacts on surrounding properties.

Zoning Board of Appeals Options:

Motion for Approval

I move to approve the variance request for Parcel No. 12-35-426-066, 9020 Maplewood Drive, to permit construction of a one-story residential addition with an approximately 9.37-foot side yard setback, where a minimum 10-foot side yard setback is required, representing variance relief of approximately 0.63 feet (8 inches).

This motion is based upon the following finding:

1. The Zoning Board of Appeals finds that the applicant has demonstrated compliance with the variance standards contained in Section 7.37 of the White Lake Township Zoning Ordinance, including that a practical difficulty exists related to the subject site, the practical difficulty results from unique circumstances applying to the property, the condition is not self-created, approval would provide substantial justice, and the requested variance represents the minimum variance necessary to grant relief.

Approval is further conditioned upon the following:

1. Approval shall be limited to the plans submitted and reviewed by the Zoning Board of Appeals.
2. The approved addition shall comply with all applicable Township permitting requirements.
3. Any future expansion beyond the approved plans shall require additional Township review and approvals as applicable.

Motion for Denial

I move to deny the variance request for Parcel No. 12-35-426-066, 9020 Maplewood Drive, to permit construction of a one-story residential addition with an approximately 9.37-foot side yard setback, where a minimum 10-foot side yard setback is required, representing variance relief of approximately 0.63 feet (8 inches).

This motion is based upon the following finding:

1. The Zoning Board of Appeals finds that the applicant has not demonstrated compliance with the variance standards contained in Section 7.37 of the White Lake Township Zoning Ordinance, including practical difficulty, unique circumstances, lack of self-created hardship, substantial justice, and/or that the requested variance represents the minimum variance necessary to grant relief.



WHITE LAKE TOWNSHIP

Item B.



ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION

NAME: Andrew Hoppe PHONE: [REDACTED]
 ADDRESS: 9020 Maplewood Dr. White Lake MI 49386
 EMAIL: [REDACTED]
 INTEREST IN PROPERTY: PROPERTY OWNER BUILDER OTHER: _____

PROPERTY INFORMATION

ADDRESS: 9020 Maplewood Dr. ZONING: _____
 VALUE OF IMPROVEMENT: \$ 60,000 SEV OF EXISTING STRUCTURE: \$ 288,400

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

Please see attached letter.

APPLICATION FEE: \$440 \$550
 APPLICANT'S SIGNATURE: Andrew S Hoppe DATE: 4-21-2026

WHITE LAKE TOWNSHIP
7525 HIGHLAND RD
WHITE LAKE, MI 48383-2938
United States
Phone : (248) 698-3300

Received From: DORIAN J HOME REMOLDING INC

Date: 04/21/2026 Time: 2:09:46 PM
Receipt: 0000230989
Cashier: CTRLISA

ZONING BOARD OF APPEALS

ITEM REFERENCE	AMOUNT
FEEZBA ZBA/ ZONING BOARD OF APPEALS	
ZBA/ ZONING BOARD OF APPEALS	\$440.00
TOTAL	\$440.00
CHECK 1348	\$440.00
Total Tendered:	\$440.00
Change:	\$0.00

4/21/2026

Andrew & Connie Hoppe
9020 Maplewood Dr.
White Lake, MI 48386

Zoning Board of Appeals:

We would like to remain residents in White Lake. We are expecting our 4th child in June and would like to continue to raise our family in this home. We would like to add an addition off the side of our house on an already existing concrete slab. We would like to build up on this existing slab in continuation with our house. However, with the unique placement of our house on this property/unique property lines we don't meet the requirements of the setback by 8 inches of the 10 feet (as required). We have looked into expanding onto different parts of the house; however, we have our well off the back of the house behind our deck and on the other side of the house is our septic field. This addition will not negatively impact any of our neighbors (including their views) or the property. We have already spoken with our neighbors and they support this addition.

Thank you for your consideration of this request.

Andrew & Connie Hoppe



ZONING BOARD OF APPEALS APPLICATION

NEXT ZBA MEETING: May 28th CUT OFF FOR NEXT MONTH'S AGENDA:

Please read these instructions and notes carefully before submitting the attached application.

Incomplete applications will not be accepted.

In addition to the application, you must submit the following required documents:

1. Proof of Ownership

If you are not the property owner of record, a copy of the land contract, option to purchase, purchase agreement, lease agreement, or letter of authorization from the property owner must be presented with the application to indicate the applicant's interest in the subject property. In addition, a letter of no objection from the property owner may be required by Township staff.

2. Plan or drawing – one copy

Attach one copy of the plot plan of the subject property drawn to scale. The plan must depict the shape and dimensions of the property, all existing and proposed structures, and building-to-building and building-to-property line relationships. Private utilities shall be called out.

3. Certified Survey – one copy.

4. Letter of denial from the Building Department

The Building Department must have reviewed and formally denied your application for a building permit before a Z.B.A. application can be considered for processing.

5. Fees

The fee is \$440.00 for residential land uses and \$550.00 for non-residential land uses.

All proposed additions must be staked and flagged. Failure to do so may cause your case to be tabled.

The attached application must be filled out, and all documents, plans, other necessary information, and the application fee, as required, must be submitted before the application will be considered complete and accepted for processing. The application will then be placed on the next available Zoning Board of Appeals (ZBA) agenda.

You will be notified of the date and time that your request will be considered by the ZBA. Please attend or have a representative attend if you cannot attend the scheduled meeting. All ZBA meetings are held at the Township Annex, 7527 Highland Road, White Lake, 48383, unless otherwise noted.

Notification is given by mail to all property owners of record within 300 feet of the subject property at least 15 days before the meeting.

Information relative to the powers and duties of the ZBA can be found in Article 7.36 of the White Lake Township Zoning Ordinance. To be granted a variance, an applicant must provide proof that a practical

difficulty exists and the practical difficulty must relate to a unique circumstance of the property that prevents the applicant from reasonably using the property for a permitted use. Furthermore, no variance shall be granted unless all of the criteria found in Article 7.37 of the Zoning Ordinance have been met.

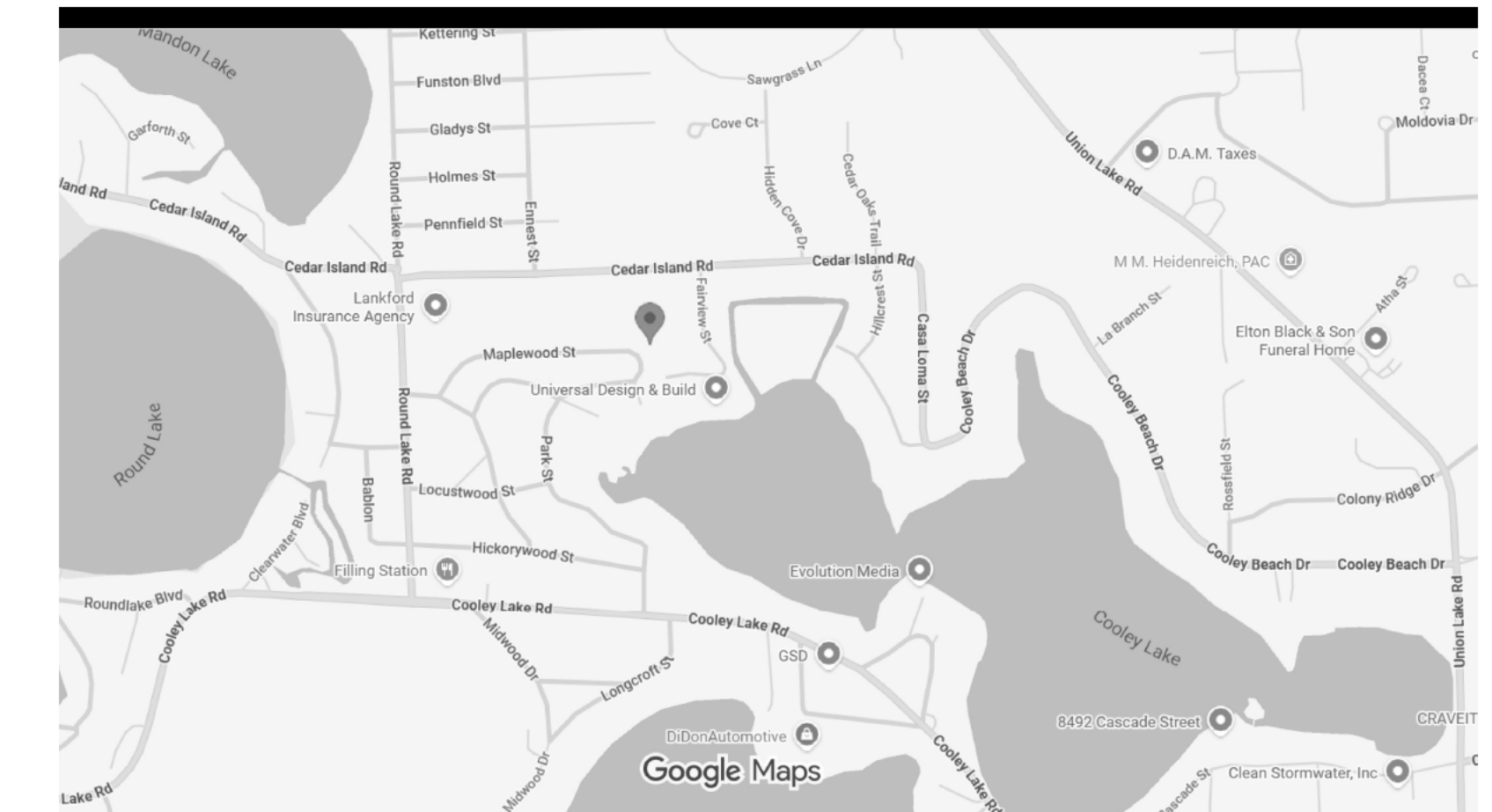
NOTE: ZONING BOARD OF APPEALS MEMBERS AND TOWNSHIP STAFF WILL LIKELY VISIT THE SITE BEFORE THE MEETING AS PART OF THEIR PREPARATION FOR EACH CASE.

ZBA application checklist:

- Completed, signed application
- Letter of authorization from the property owner
- One copy of the plan or drawing
- One copy of the certified survey
- Letter of denial from the Building Department
- Copy of building permit application
- Application fee

Any further questions or clarification regarding the ZBA instructions, application, or agenda placement can be directed to the Community Development Department at 248-698-3300 ext. 5.

location map



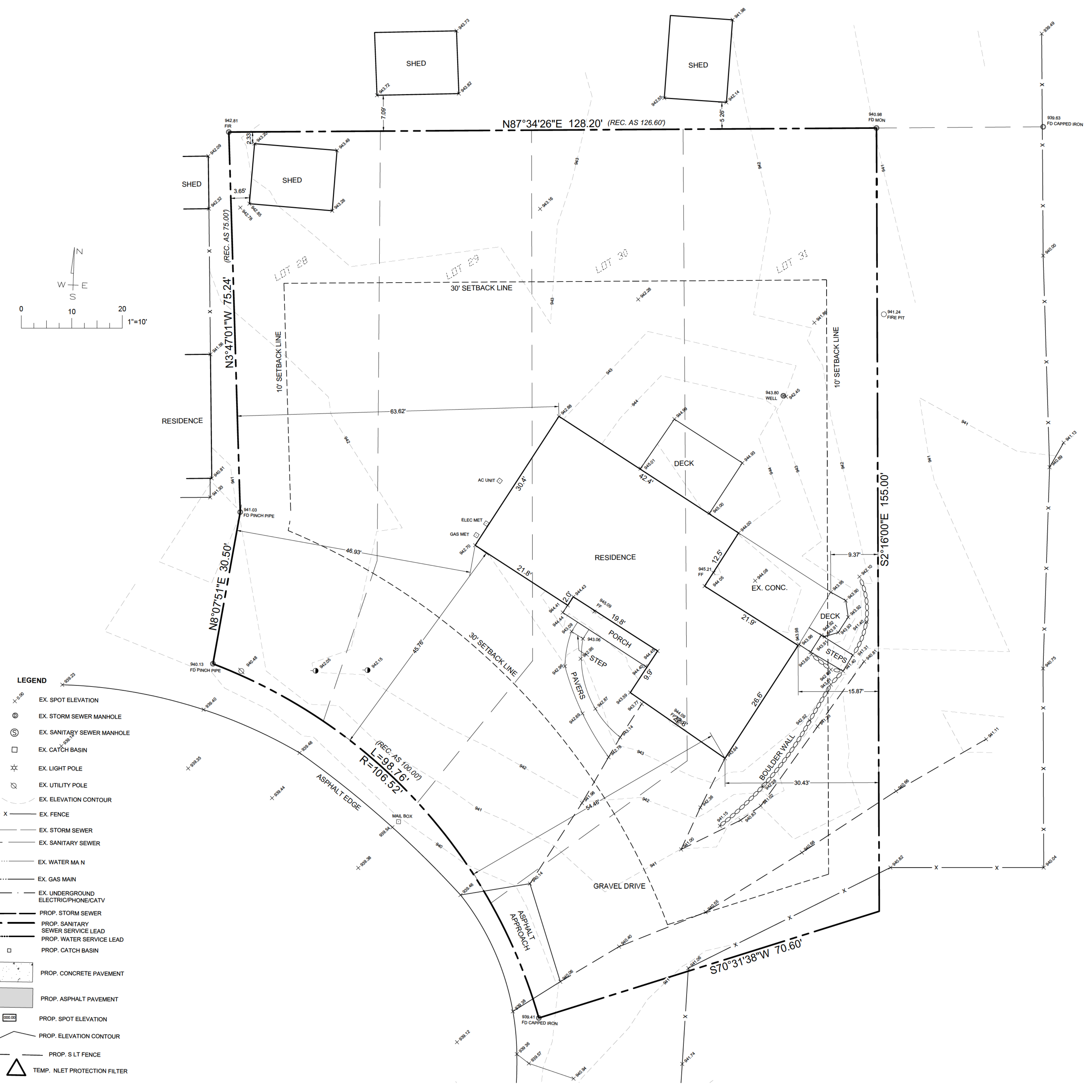
MICHIGAN LAND SURVEYING
CIVIL ENGINEERS & SURVEYORS
920 PENNY LAKE ROAD
WOLVERINE LAKE, MICHIGAN 48390
(248) 231-6887
m065e@yahoo.com

PROPOSED ADDITION
PLAN OF EXISTING CONDITIONS
WHITE LAKE TWP., MICHIGAN
9020 MAPLEWOOD

ANDREW AND CONNIE HOPPE
WHITE LAKE TWP., MICHIGAN
9020 MAPLEWOOD

DESIGN: --	REVISIONS:
DRAWN: mb	
CHECKED: mb	
FIELD CR: net	

SCALE:	26-013.DWG
1"=10'	
DATE:	04-19-2026
JOB NO.	26-013
SHEET	1



LEGAL DESCRIPTION

NEEDLES SIX LAKES SUB NUMBER ONE
LOTS 28 TO 31 INCL BLK 8

ZONING

PER ONLINE ZONING MAP, SITE IS
ZONED R1-D.

SETBACKS:

R1-D Single Family Residential District 3.1.6

E. DEVELOPMENT STANDARDS

Lot Size⁽¹⁾
Minimum lot area: 12,000 square feet
Minimum lot width: 80 feet

Maximum Lot Coverage⁽²⁾
25% for lots served by a private septic system
30% for lots served by public sanitary sewer

Setbacks⁽³⁾
Minimum front yard setback: 30 feet
Minimum rear yard setback: 30 feet
Minimum side yard setback: 10 feet one side
20 feet total of two sides

Building Height⁽⁴⁾
Maximum building height: 25 feet or 2 stories, whichever is less

NOTES
For additions to the above requirements, please refer to §3.11 Notes to District Standards: A, D, F, J, K, L, P, Q, R, S, T, V, W

(Amended by Ord. 58-24A, 6-18-2024)

SELECTED REFERENCES

3. Zoning Districts

- Fences §5.12
- Private Access Drive §5.16
- Pathway Standards §5.20
- Sidewalk Standards §5.21
- Pathway and Sidewalk Maintenance §5.22

4. Use Standards

- Special Land Uses §6.10 §6.11
- Site Plan Review §6.8
- Sewer/Water §6.9
- Community Impact §6.6

5. Site Standards

- Landscape and Screening §5.19
- Off-Street Parking §5.11
- Performance Standards §5.18
- Visibility §5.6

6. Development Procedures

- Condominium §6.1
- Traffic Impact §6.3
- Access Management §6.4

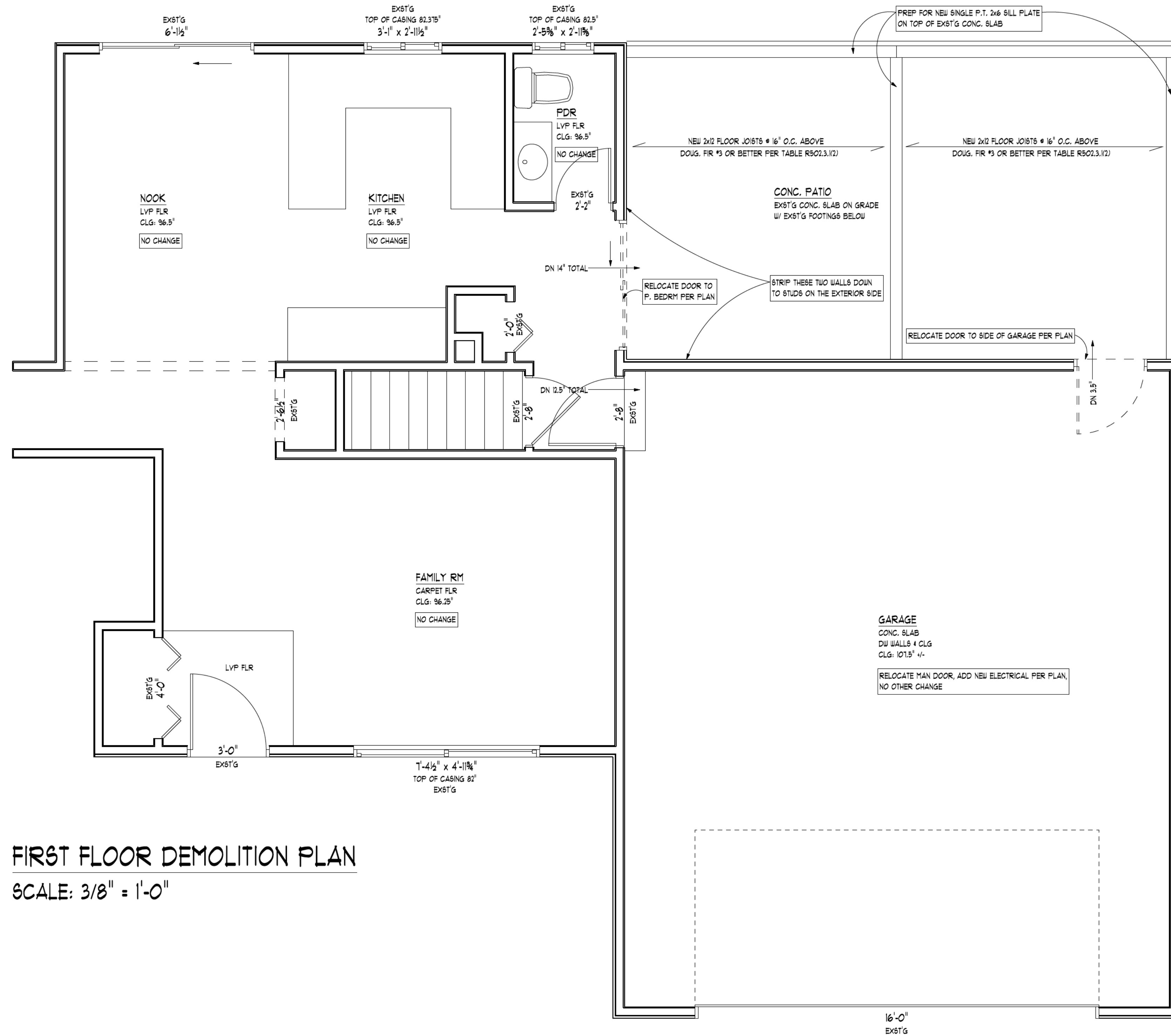
7. Other Ordinances

- Subdivision Regulations
- Land Division Ordinance
- Engineering Design Stnds. Ordinance

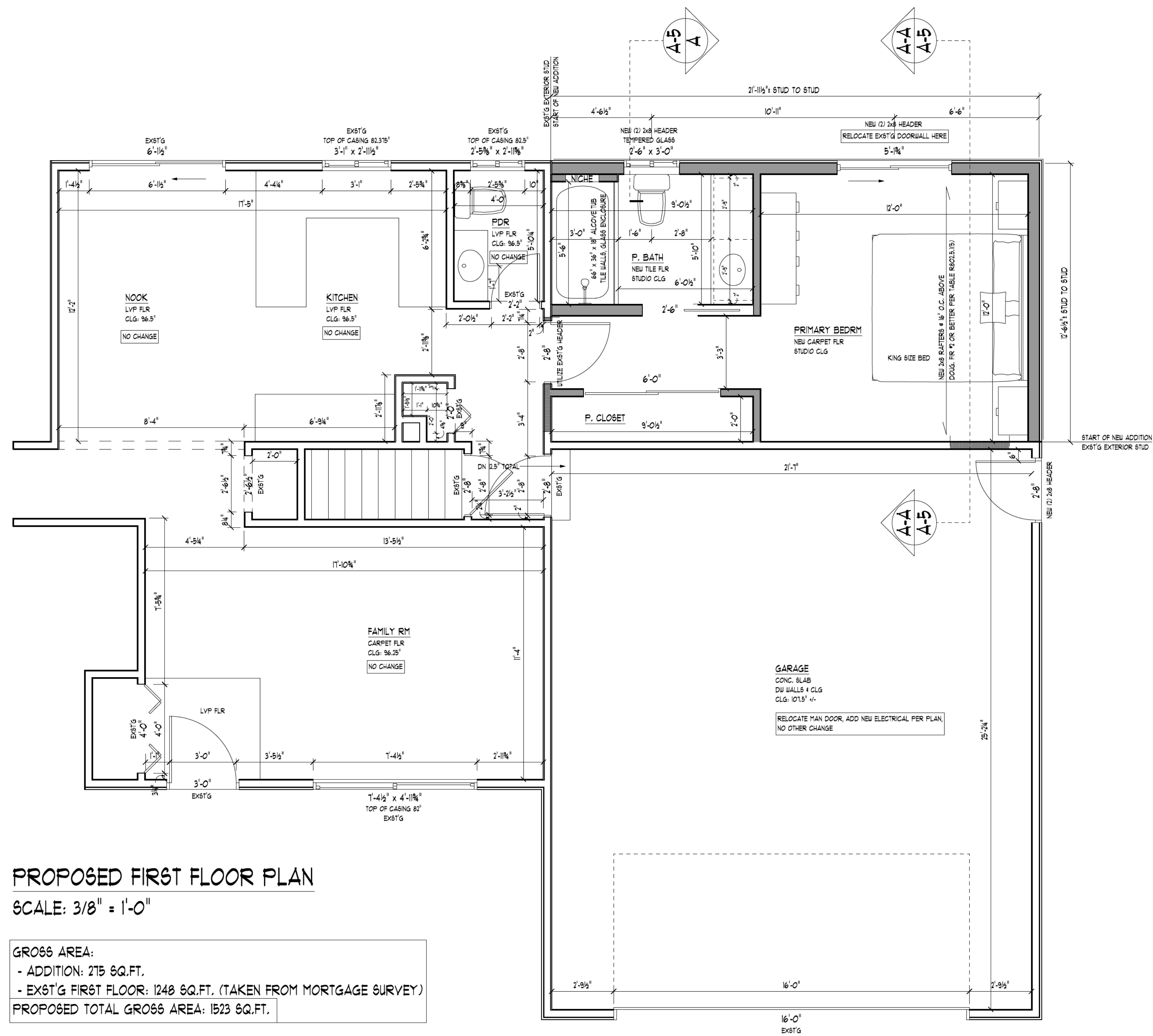
Updated Through 3/10/21 White Lake Township Zoning Ordinance clearzoning® 3-15



- LEGEND**
- EX. SPOT ELEVATION
 - EX. STORM SEWER MANHOLE
 - EX. SANITARY SEWER MANHOLE
 - EX. CATCH BASIN
 - EX. LIGHT POLE
 - EX. UTILITY POLE
 - EX. ELEVATION CONTOUR
 - EX. FENCE
 - EX. STORM SEWER
 - EX. SANITARY SEWER
 - EX. WATER MAIN
 - EX. GAS MAIN
 - EX. UNDERGROUND ELECTRIC/PHONE/CATV
 - PROP. STORM SEWER
 - PROP. SANITARY SEWER SERVICE LEAD
 - PROP. WATER SERVICE LEAD
 - PROP. CATCH BASIN
 - PROP. CONCRETE PAVEMENT
 - PROP. ASPHALT PAVEMENT
 - PROP. SPOT ELEVATION
 - PROP. ELEVATION CONTOUR
 - PROP. S LT FENCE
 - TEMP. NLET PROTECTION FILTER



FIRST FLOOR DEMOLITION PLAN
 SCALE: 3/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN
 SCALE: 3/8" = 1'-0"

GROSS AREA:
 - ADDITION: 275 SQ.FT.
 - EXST'G FIRST FLOOR: 1248 SQ.FT. (TAKEN FROM MORTGAGE SURVEY)
 PROPOSED TOTAL GROSS AREA: 1523 SQ.FT.

KTD
 Kimberly Tomas Designs
 www.kimberlytomadesigns.com
 3355 Union Lake Rd., Commerce, MI 48382
 Office: 248.225.2362

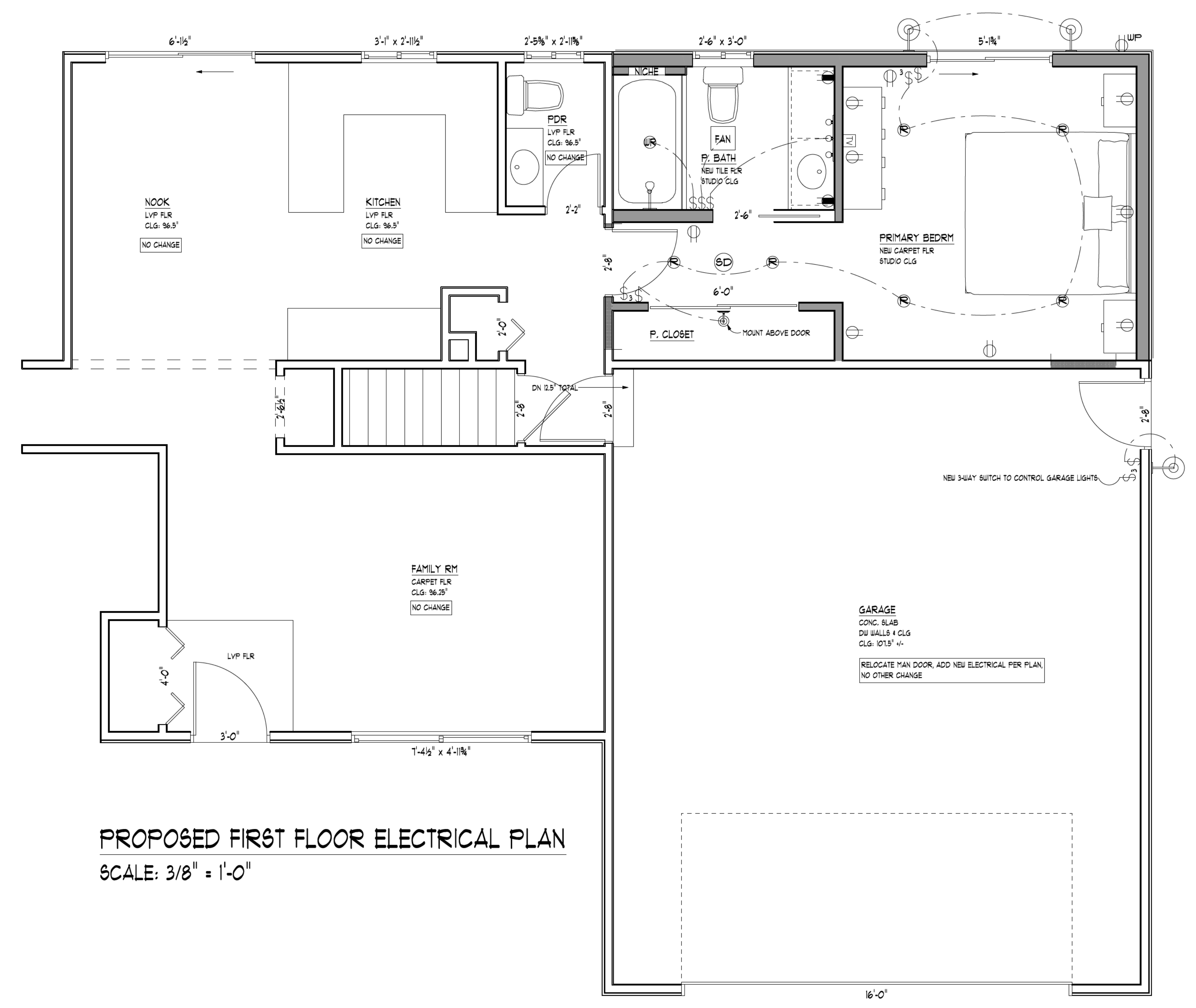
SECTION LETTER
 A
 PAGE NUMBER
 1

HOPPE RESIDENCE
 CONNIE & ANDREW
 9020 MAPLEWOOD ST
 WHITE LAKE, MI 48386

MARCH 18, 2026

REVISIONS
 DATE:
 --

Wednesday, March 18,
 10:40 AM



ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
3-way switch	3	⌘
Exhaust fan	1	FAN
Smoke Detector	1	SD
duplex receptacle	9	⊕
exterior light	3	⊕
ground fault receptacle	2	⊕
recessed	6	⊕
recessed-water	1	⊕
single pole switch	6	⌘
vanity bar light	1	⊕
vanity sconce	1	⊕
water proof duplex	1	⊕
cable tv outlet	1	TV

PROPOSED FIRST FLOOR ELECTRICAL PLAN
 SCALE: 3/8" = 1'-0"

KTD
Kimberly Tomas Designs
www.kimberlytomasdesigns.com
3355 Union Lake Rd., Commerce, MI 48382
Office: 248.225.2362

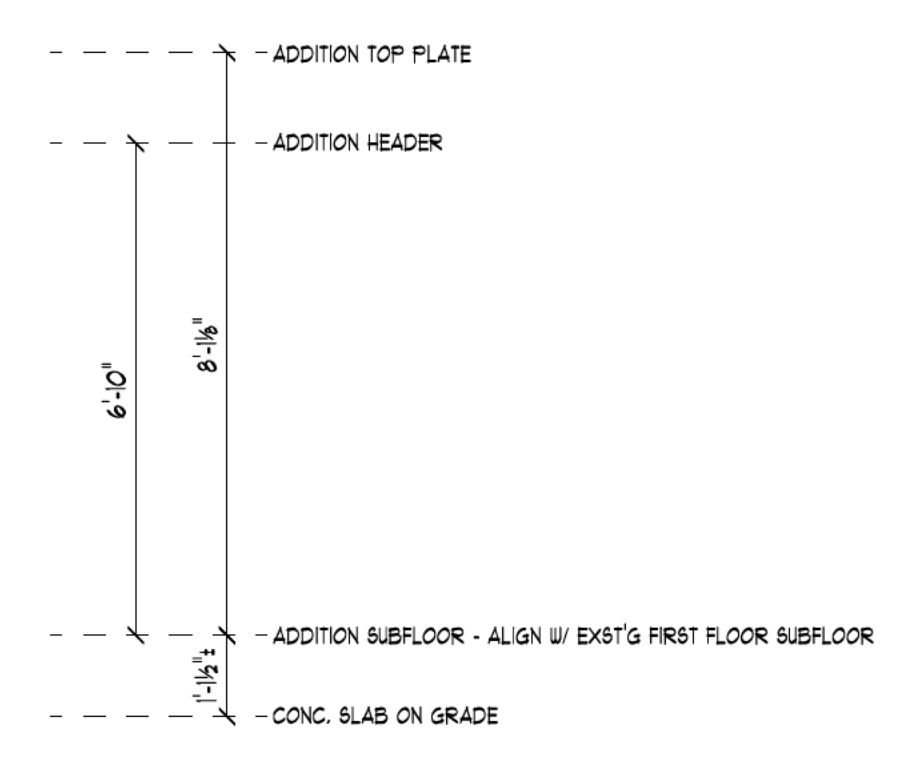
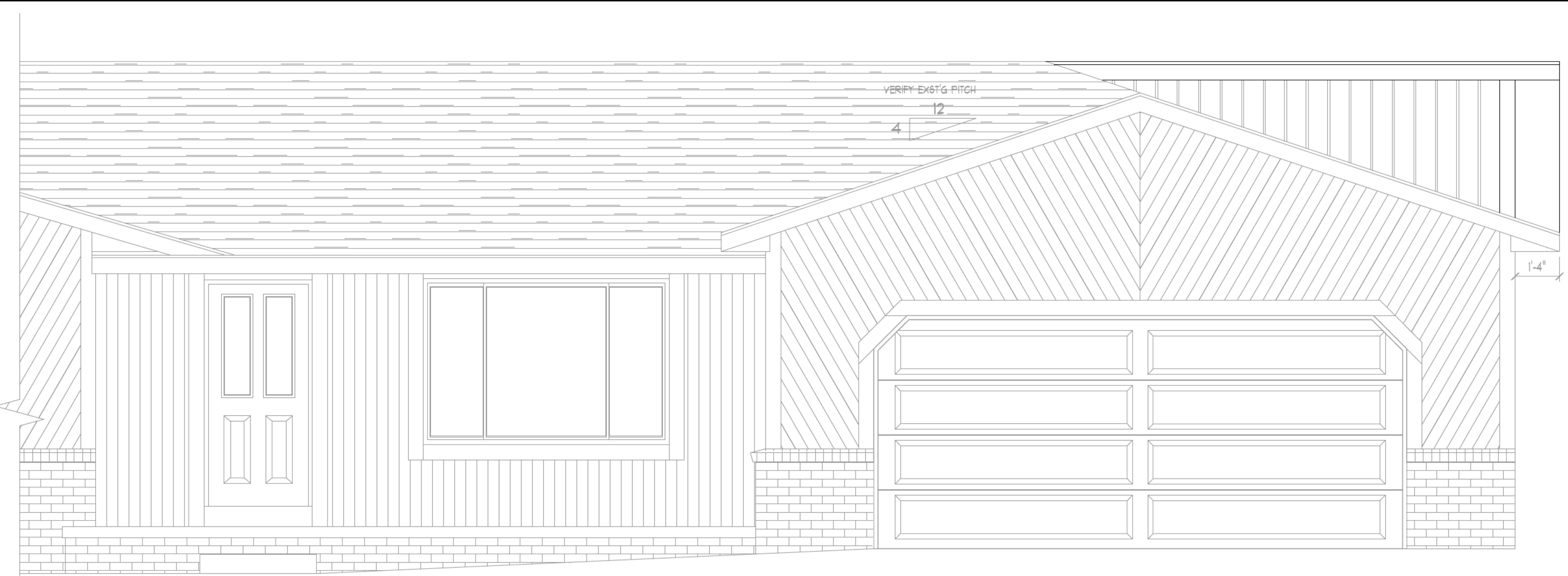
SECTION LETTER
PAGE NUMBER

HOPPE RESIDENCE
CONNIE & ANDREW
9020 MAPLEWOOD ST
WHITE LAKE, MI 48386

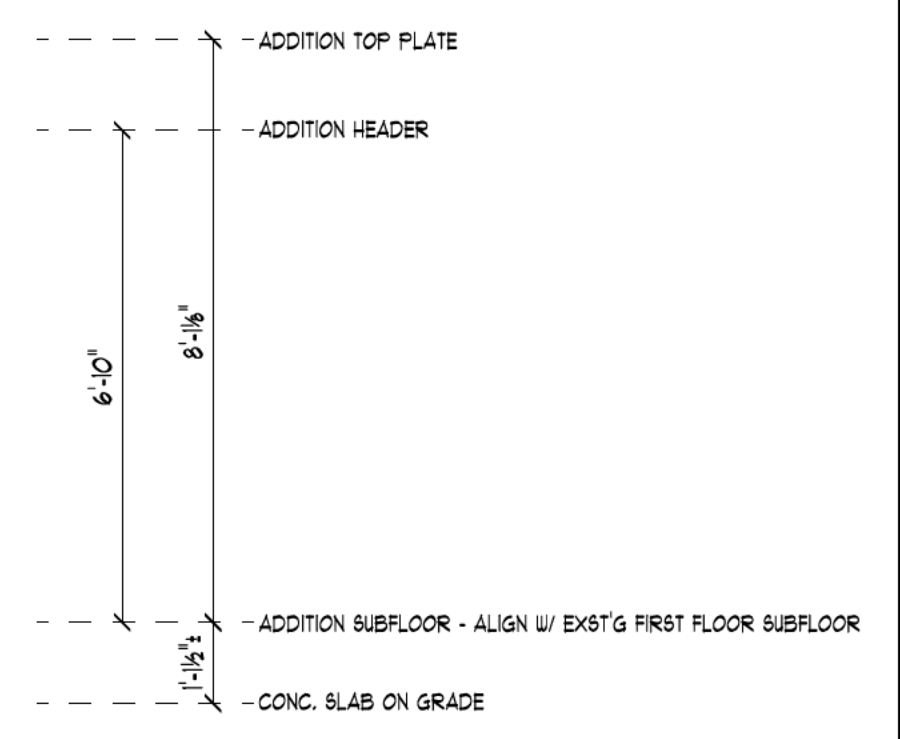
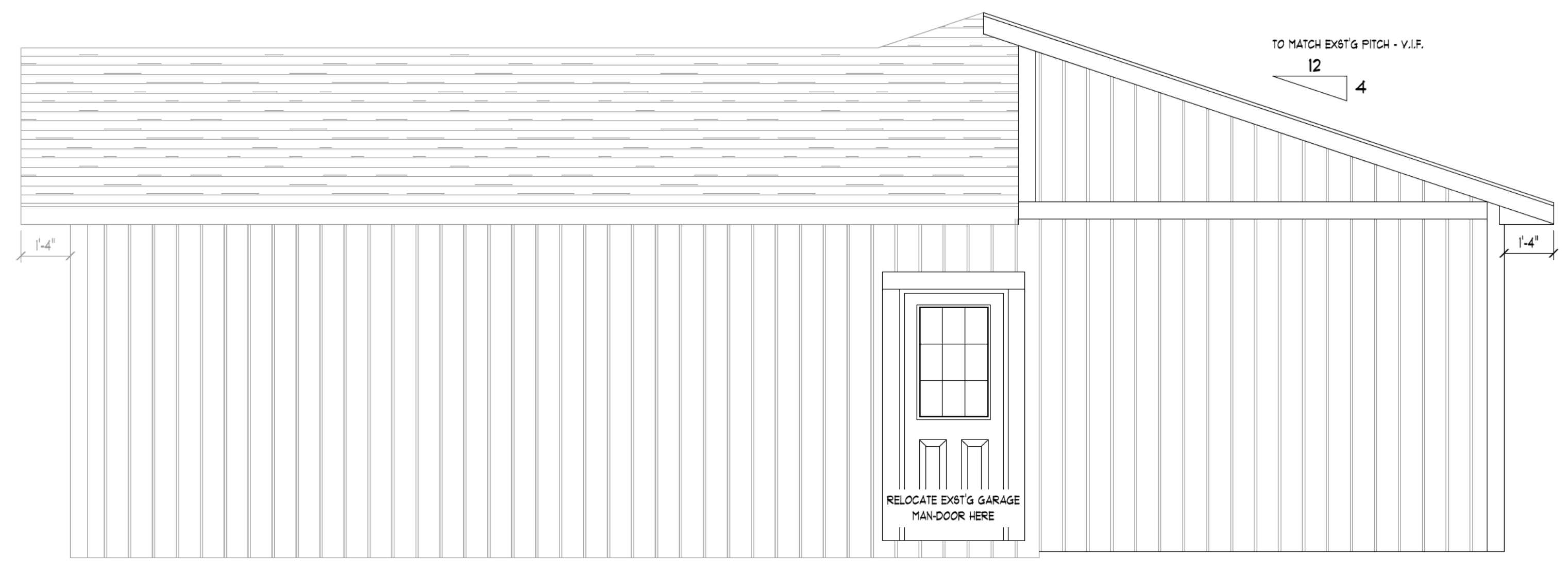
MARCH 18, 2026

REVISIONS
DATE: --

Wednesday, March 18,
10:41 AM



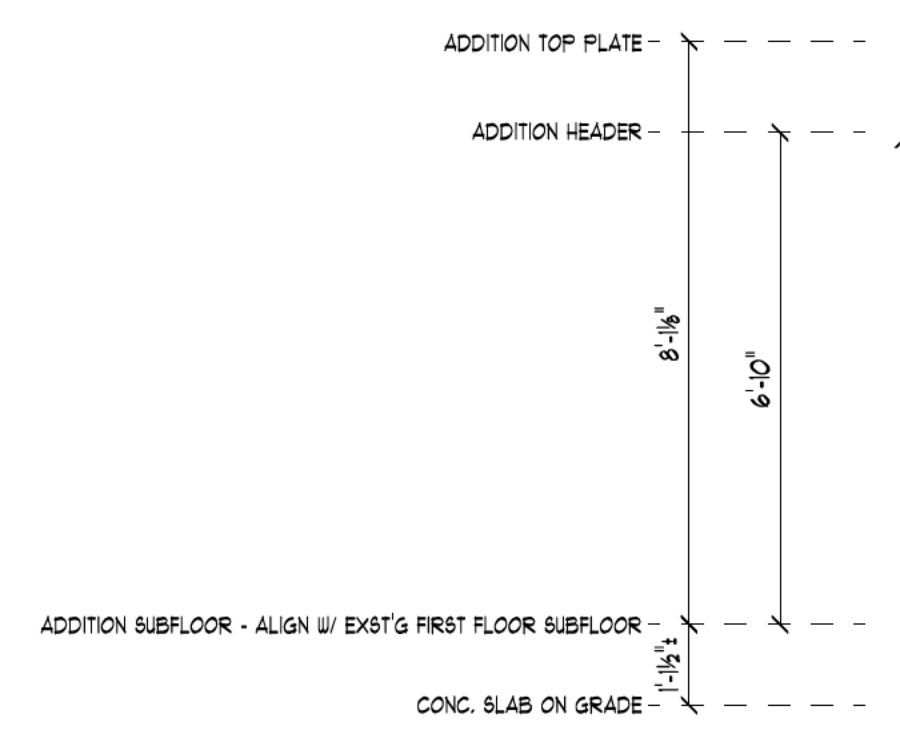
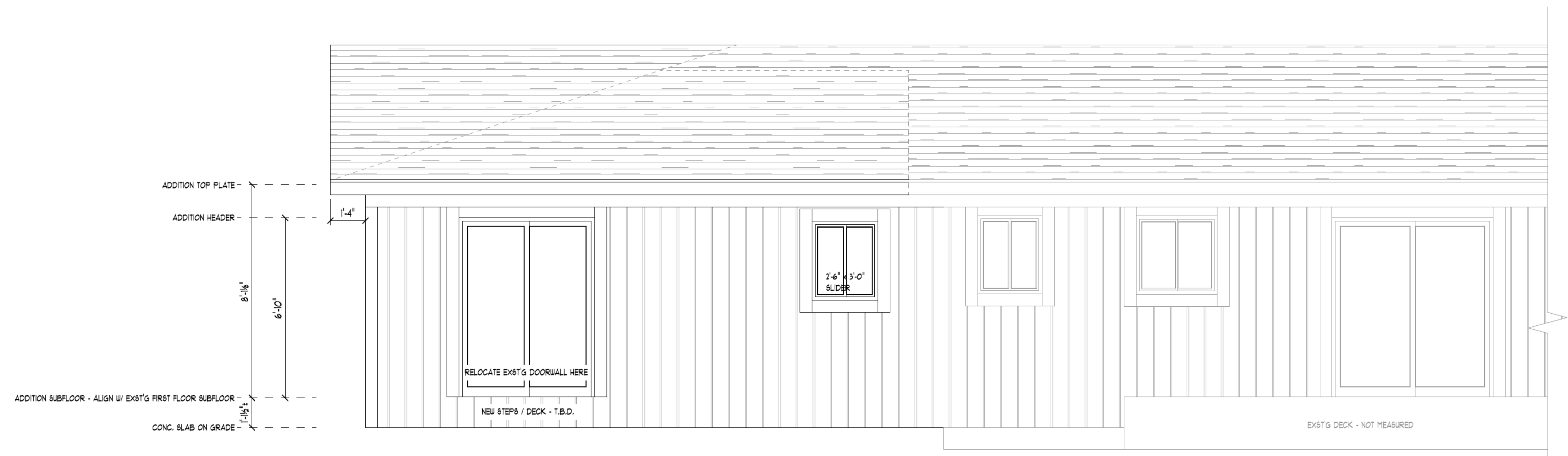
PROPOSED FRONT ELEVATION
SCALE: 3/8" = 1'-0"



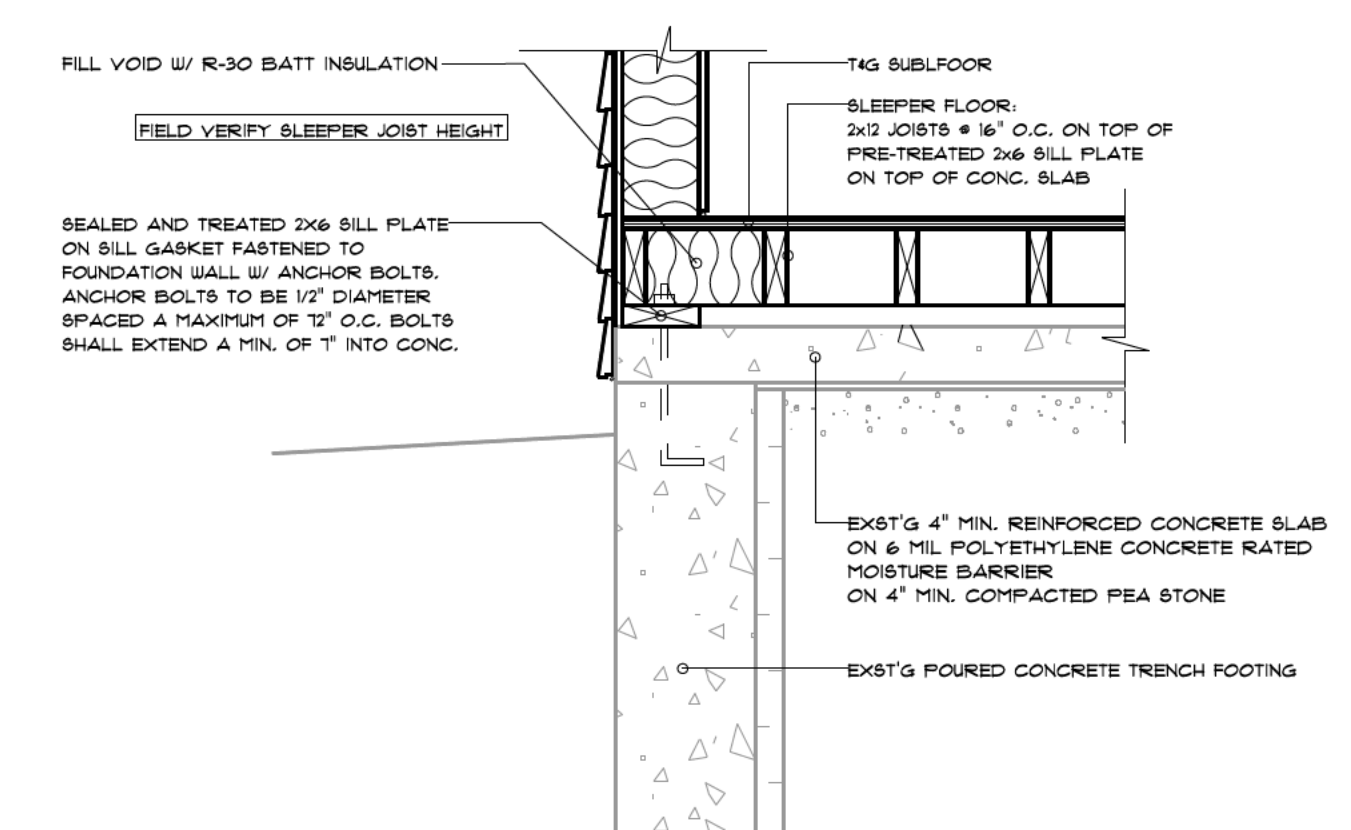
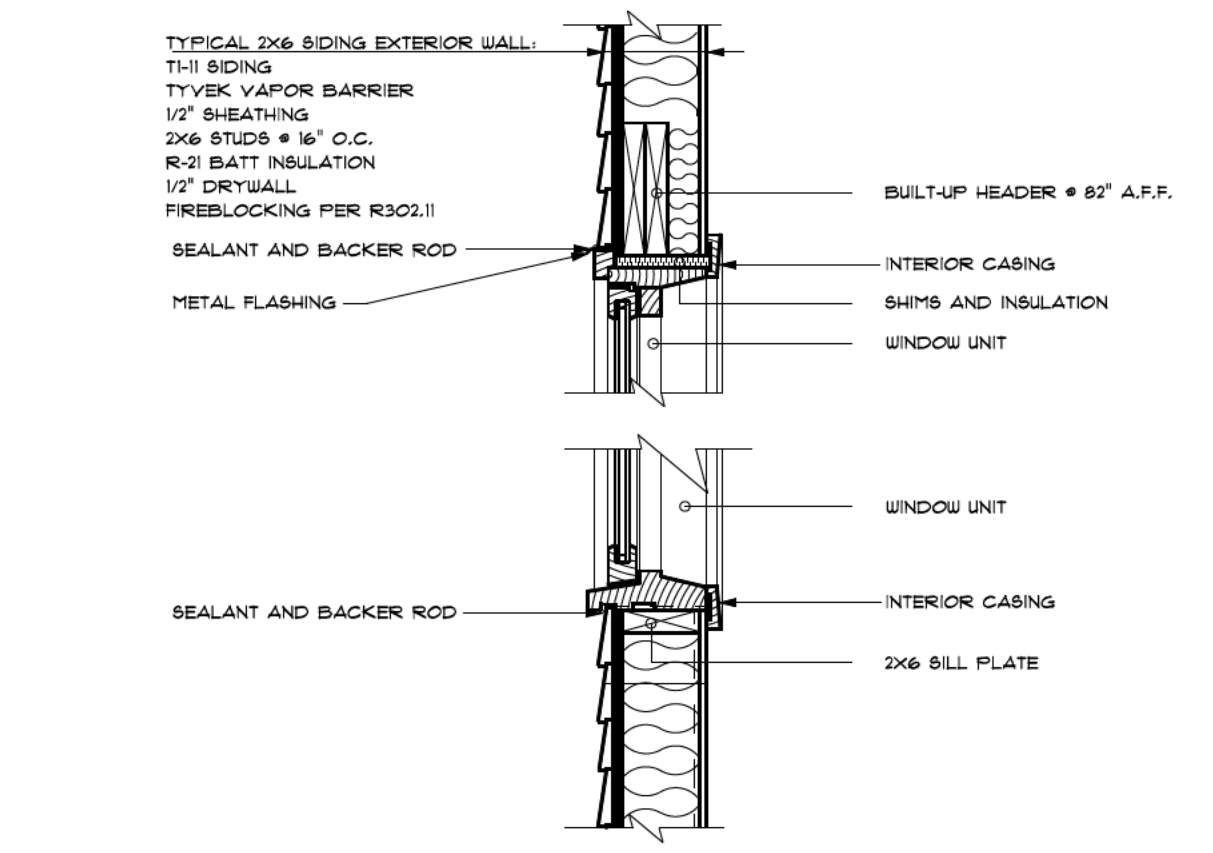
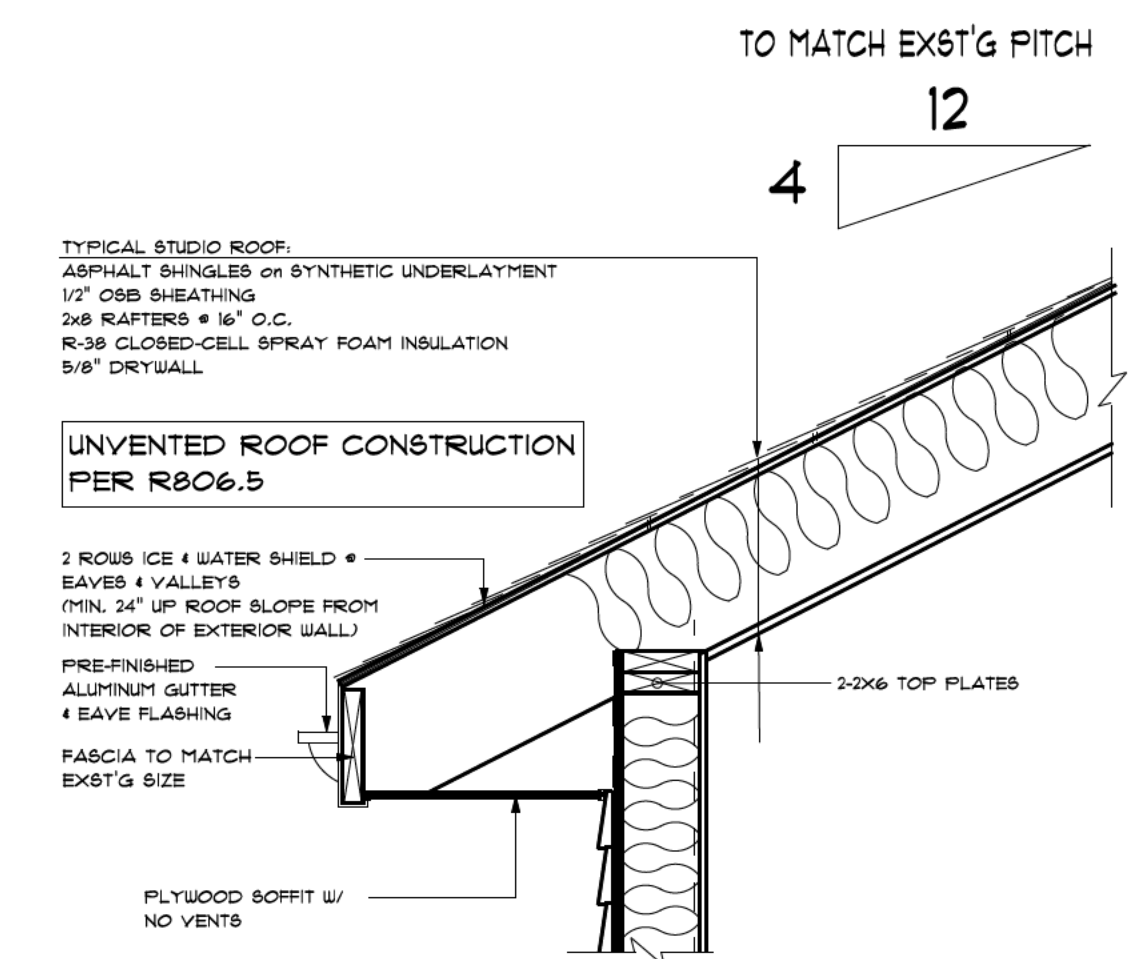
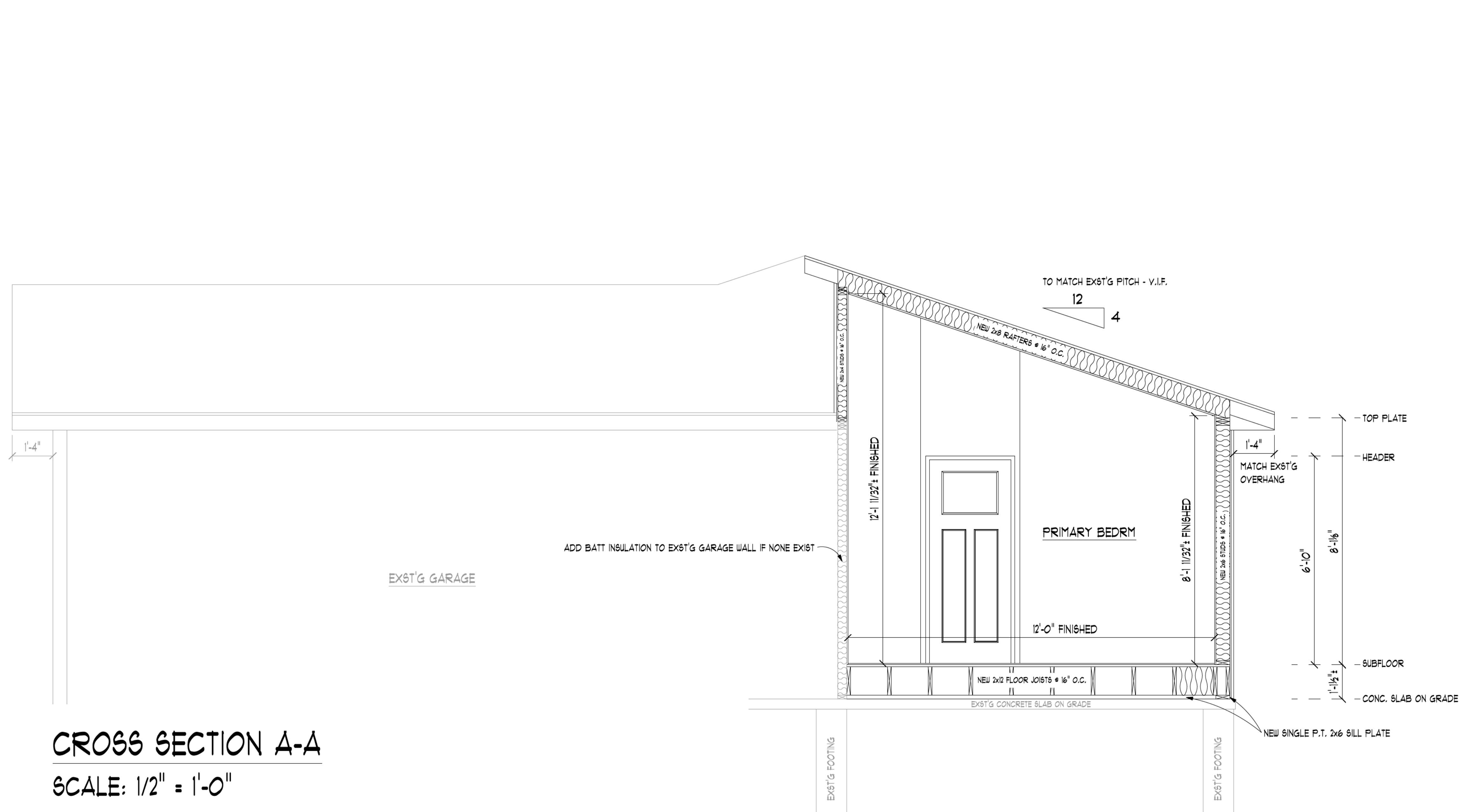
NEW T1-11 SIDING & ROUGH-SAWN 1x6 TRIM, PAINT TO MATCH EXST'G
NEW ASPHALT SHINGLES TO MATCH EXST'G

RELOCATE EXST'G GARAGE
MAN-DOOR HERE

PROPOSED RIGHT SIDE ELEVATION
SCALE: 3/8" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 3/8" = 1'-0"



CROSS SECTION A-A
 SCALE: 1/2" = 1'-0"

WALL SECTION A
 NOT TO SCALE

TO: Zoning Board of Appeals
FROM: David J. Waligora, AICP, Senior Planner
DATE: May 20, 2026
RE: 625 Lake View Drive: Variance request for Front Yard Setback

Agenda item: 8C
Appeal Date: May 28, 2026
Applicant: Charles Deeren
625 Lake View Drive
Owner: Charles Deeren
625 Lake View Drive
Address: 625 Lake View Drive
Parcel #: 12-26-457-007
Location: East of Half Acre Dr and Union Lake Rd
Zoning: R1-D, Single Family Residential

Attachments

- 1. Application
- 2. Land Survey and Construction Documents





Property Description

The subject property is located at **625 Lake View Drive, White Lake Township, Michigan**, and is identified as **Parcel No. 12-26-457-007**. The property is zoned **R1-D, Single Family Residential**, and contains an existing single-family dwelling with an attached garage.

The parcel is situated within an older platted residential subdivision characterized by irregular lot configurations, multiple roadway frontages, and development patterns distinct from more conventional R1-D subdivisions within the Township. The subject property contains frontage along **Lake View Drive, Echo Street, and Overlook Lane**, resulting in application of front yard setbacks along multiple lot lines.

The subject property contains substantial mature vegetation and established landscaping, which provide screening from adjacent rights-of-way and contribute to the existing neighborhood character.

Applicant’s Proposal

The applicant requests a variance from **Section 3.1.6** of the White Lake Township Zoning Ordinance to permit construction of a **25-foot by 25-foot detached garage** on the subject property located at **625 Lake View Drive (Parcel No. 12-26-457-007)**.

The proposed accessory structure would be located with an approximate setback of **14.5 feet** from the adjacent right-of-way where a **30-foot front yard setback** is required, resulting in a requested variance of approximately **15.5 feet**.

The applicant indicates the request is necessary due to the configuration of the property and limited available area for placement of an accessory structure while maintaining reasonable access and functionality.

The proposed garage would serve as a residential accessory structure associated with the existing single-family dwelling and would be located adjacent to **Overlook Lane**.

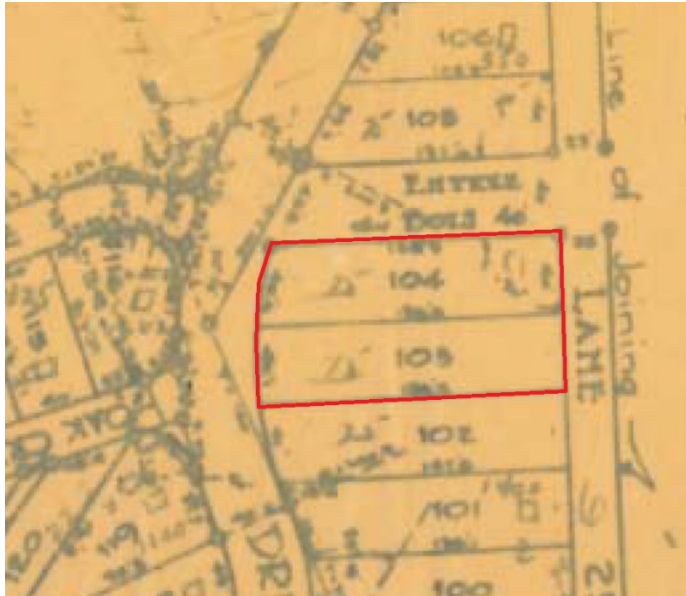
Site History

The subject property is legally described as **Lots 103 and 104 of Cedar Crest Subdivision No. 2**, originally **platted in 1923** as part of a lake community development along the eastern shore of **Cedar Island Lake**. Review of the original subdivision plat indicates a pattern of varying lot sizes, with comparatively larger lots located farther from the lake and smaller lots concentrated nearer the shoreline. This arrangement appears to have created a transition in residential lot intensity while maximizing the number of lake-oriented residential parcels.

The subject property consists of **two original platted lots**, which have since functioned as a single residential parcel. Despite the larger combined parcel area relative to some surrounding properties, the property remains affected by multiple roadway frontages and resulting application of front yard setbacks along its west, north, and east lot lines.

Historical aerial imagery indicates the surrounding subdivision has been utilized for residential purposes for several decades. Available imagery from approximately 1980 shows lower intensity residential development characterized by smaller homes, greater open space, and fewer detached accessory structures than exist today. Over time, the surrounding neighborhood has experienced continued residential reinvestment, including larger homes, detached accessory structures, expanded parking areas adjacent to the ROW, and additional residential improvements associated with long-term occupancy and evolving residential needs.

Existing development within the subdivision exhibits varied building orientation, multiple access relationships, and detached accessory structures associated with both principal and secondary roadway frontages. These patterns appear influenced by the original subdivision design and continue to shape the physical character of the surrounding neighborhood.



Available information further suggests **Overlook Lane**, while originally platted as a through street, subsequently functions as a dead-end, low-volume local access roadway, similar to a rear alley, serving a limited number of residential properties.

Zoning Analysis

The subject property is affected by Lake View Drive, Echo Street, and Overlook Lane, resulting in application of front yard setbacks along several lot lines. Although the property consists of two original platted lots, the cumulative effect of multiple roadway frontages reduces the available buildable area for accessory structures relative to more conventional interior residential lots.

Review of available aerial imagery, site conditions, and surrounding development patterns suggests the surrounding neighborhood exhibits a functional hierarchy of roadway use distinct from more conventional residential subdivisions. Existing conditions indicate Lake View Drive generally functions as the principal residential frontage within the area, while Overlook Lane appears to function primarily as a secondary access route serving rear detached structures and parking areas. Existing development patterns indicate detached accessory structures, garages, and vehicle access commonly occur adjacent to these secondary roadway frontages. The proposed detached garage therefore does not appear inconsistent with the established physical development pattern of the surrounding subdivision.

The subject property is located within an older lake-area subdivision characterized by multiple roadway frontages, varied building orientation, and established access patterns influenced by the original plat design. These existing site conditions contribute to the practical difficulty associated with application of current setback requirements.

The practical difficulty associated with the request appears attributable primarily to the physical characteristics of the property, including multiple roadway frontages, existing placement of the principal structure, and resulting reduction in available buildable area, rather than the personal circumstances of the applicant.

Additionally, substantial existing vegetation and mature landscaping on the subject property may reduce visibility of the proposed structure from adjacent rights-of-way and lessen impacts on neighborhood character. Based on available information, the requested relief does not appear likely to substantially impair visibility, roadway function, or the established physical character of the surrounding area. The Zoning Board of Appeals should further consider whether the requested variance represents the minimum relief necessary to reasonably accommodate the proposed accessory structure and whether the proposal remains consistent with the spirit and intent of the Zoning Ordinance, pursuant to the standards established under Section 7.37.

Conclusion

The requested variance appears primarily attributable to physical characteristics of the subject property, including frontage along multiple roadways, existing placement of the principal structure, and resulting reduction in available buildable area for accessory structures.

The surrounding neighborhood exhibits established development patterns characterized by varied building orientation, secondary access relationships, and detached accessory structures associated with multiple roadway frontages. Based on available information, the proposed detached garage does not appear inconsistent with the existing physical character of the surrounding area and may be further screened by existing mature vegetation.

The Zoning Board of Appeals must ultimately determine whether the applicant has demonstrated compliance with the standards of Section 7.37, including whether the requested variance represents the minimum relief necessary and whether approval would remain consistent with the spirit and intent of the Zoning Ordinance.

Zoning Board of Appeals Options:

Motion for Approval

I move to approve the variance request for **Parcel No. 12-26-457-007, 625 Lake View Drive**, to permit construction of a **25-foot by 25-foot detached garage** with an approximate setback of **14.5 feet from Overlook Lane**, where a **30-foot front yard setback** is required, representing variance relief of approximately **15.5 feet**.

This motion is based upon the following finding:

1. The Zoning Board of Appeals finds that the applicant has demonstrated compliance with the variance standards contained in **Section 7.37** of the White Lake Township Zoning Ordinance, including that a practical difficulty exists related to the subject site due to multiple roadway frontages and resulting reduction in available buildable area, the practical difficulty results from unique circumstances applying to the property and surrounding subdivision pattern, the condition is not self-created, approval would provide substantial justice, and the requested variance represents the minimum variance necessary to grant relief.

Approval is further conditioned upon the following:

1. Approval shall be limited to the plans, survey, and application materials submitted and reviewed by the Zoning Board of Appeals.
2. The approved detached garage shall comply with all applicable Township permitting requirements.
3. Any future expansion, relocation, or modification beyond the approved plans shall require additional Township review and approvals as applicable.

Motion for Denial

I move to deny the variance request for **Parcel No. 12-26-457-007, 625 Lake View Drive**, to permit construction of a **25-foot by 25-foot detached garage** with an approximate setback of **14.5 feet from Overlook Lane**, where a **30-foot front yard setback** is required, representing variance relief of approximately **15.5 feet**.

This motion is based upon the following finding:

1. The Zoning Board of Appeals finds that the applicant has not demonstrated compliance with the variance standards contained in **Section 7.37** of the White Lake Township Zoning Ordinance, including practical difficulty, unique circumstances, lack of self-created hardship, substantial justice, and/or that the requested variance represents the minimum variance necessary to grant relief.



ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION

NAME: Charles L. Deeren

ADDRESS: 625 Lakeview Drive White Lk 48386

INTEREST IN PROPERTY: PROPERTY OWNER BUILDER OTHER:

PROPERTY INFORMATION

ADDRESS: 625 Lakeview Drive ZONING:

VALUE OF IMPROVEMENT: \$ 20,000 SEV OF EXISTING STRUCTURE: \$

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

OW corner lot need approval to build 25' x 25' garage for home behind house after Deck. to overlook street 25 wide/Houses. in Area closer to road then I and built

APPLICATION FEE: \$440 \$550

APPLICANT'S SIGNATURE: Charles Deeren DATE: April 21 2026

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Steve Anderson
Andrea C. Voorheis
Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 23, 2026

Charles Deeren
625 Lake View Dr
White Lake, MI 48386

Re: Proposed Accessory Structure

Based on the submitted plans, the proposed building front yard setback does not satisfy the White Lake Township Clear Zoning Ordinance for R1D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum front yard setback of 30 ft.

This lot contains three front yards. All new structures are required to meet the front yard setback for each roadway. The proposed accessory structure would have a front yard setback from the south side road right of way of 14.5 ft., being deficient 15.5 ft.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the May 28th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than April 23rd at 4:30 PM. **Be advised, the ZBA will require a certified boundary and location survey.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

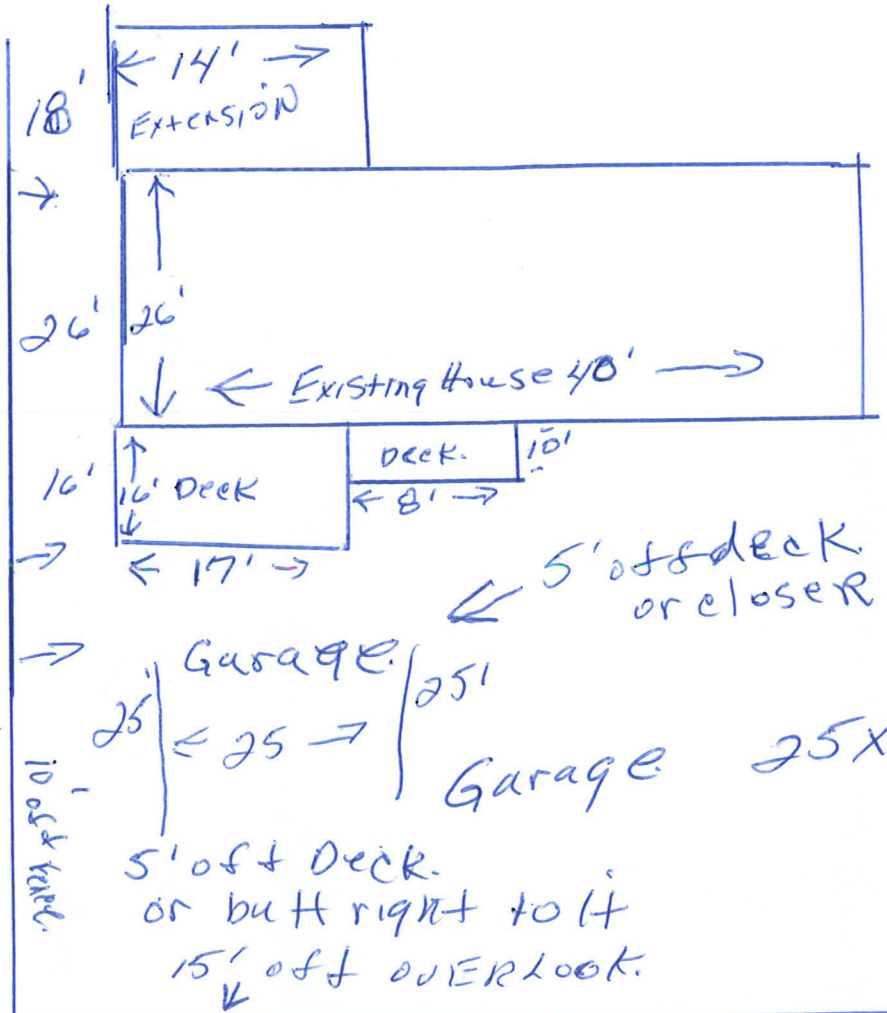
Nick Spencer, Building Official
White Lake Township

LakeVIEW DR

Entree du Bois 40'

Charles & DeERDEN
625 LakeVIEW DRIVE
White Lake Mich 48386

Total Length 44' side of house + Deck 16'



garage.
5' off
deck
or butt up
to deck
10' off + fence

CERTIFICATE OF SURVEY

Item C.

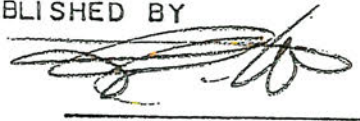
THOMAS M. SMITH
1290 Linville
Pontiac, MI. 48054

PHONE 674-4736

SURVEY FOR Joyce Deeren
ADDRESS 625 Lakeview Drive
Union Lake, Mi. 48085

DATE 3-9-88
JOB NO 88-39-1

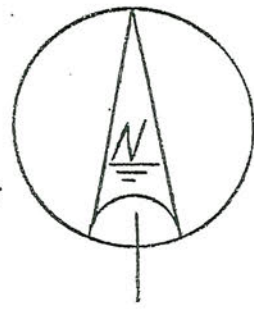
HEREBY CERTIFY THAT I SURVEYED AND MAPPED THE LAND DESCRIBED AND DELINEATED HEREON. I HAVE FULLY COMPLIED WITH THE REQUIREMENTS OF ACT 132 OF 1970. THE ERROR OF CLOSURE IS NO GREATER THAN 1 IN 5000 AND THE BEARINGS WERE ESTABLISHED BY



THOMAS M. SMITH
L.L.S. No. 31606

- LEGEND
- ⊕ IRON FOUND
 - ⊖ IRON SET
 - ⊙ MONUMENT FOUND
 - ⊔ RECORDED
 - ⊓ MEASURED
 - ⊗ FENCE
 - ⊙ P.K. Nail Set
 - .R. = Prorated Distance

Lots 103 & 104 of "Cedar Crest Subdivision No. 2" of Part of the S.E. 1/4 of Section 26, T3N, R8E, White Lake Township, Oakland County, Michigan as recorded in Liber 31, Pages 30 & 31 of Oakland County records.



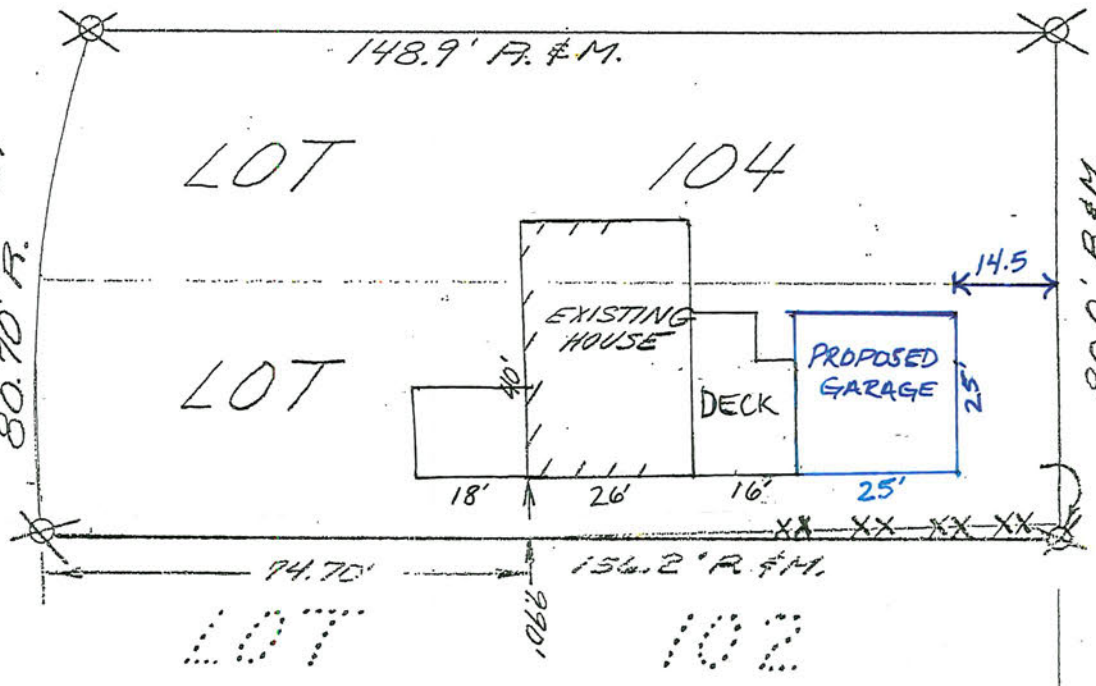
SCALE: 1" = 30'



LANE
25' WIDE

ENTREE du BOIS
40' WIDE

LAKE VIEW DR.
RADIUS-200.9'
80.70' R.



OVERLOOK
25' WIDE

TO: Zoning Board of Appeals

FROM: David J. Waligora, AICP, Senior Planner

DATE: May 21, 2026

RE: 8070 Rene Dr: Variance Request to Permit Increased Accessory Structure Height

Agenda item: 8D

Appeal Date: May 28, 2026

Applicant: Scott David
8070 Rene Dr

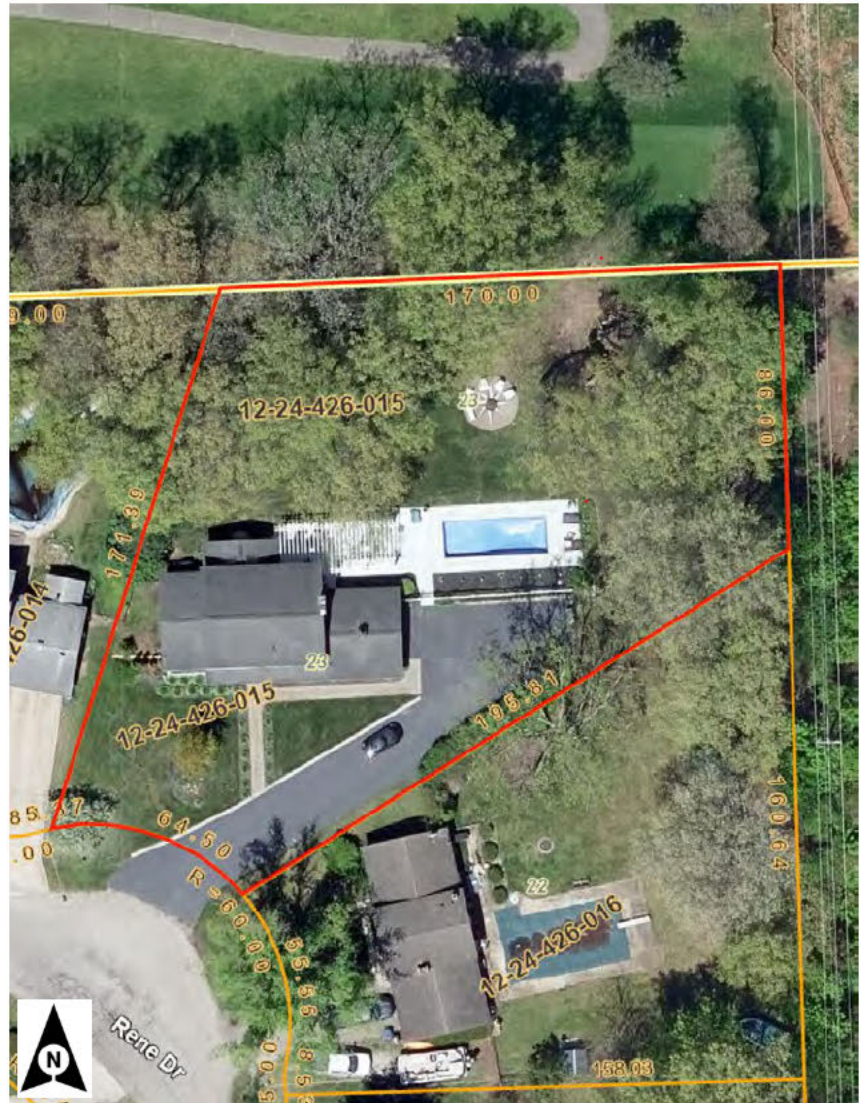
Owner: Scott David
8070 Rene Dr

Address: 8070 Rene

Parcel #: 12-24-426-015

Location: Directly adjacent to
the SE corner of the
White Lake Oaks
Golf Course

Zoning: R1-C, Single Family
Residential



Attachments

1. Application
2. Proposed Survey, Construction Documents, photographs

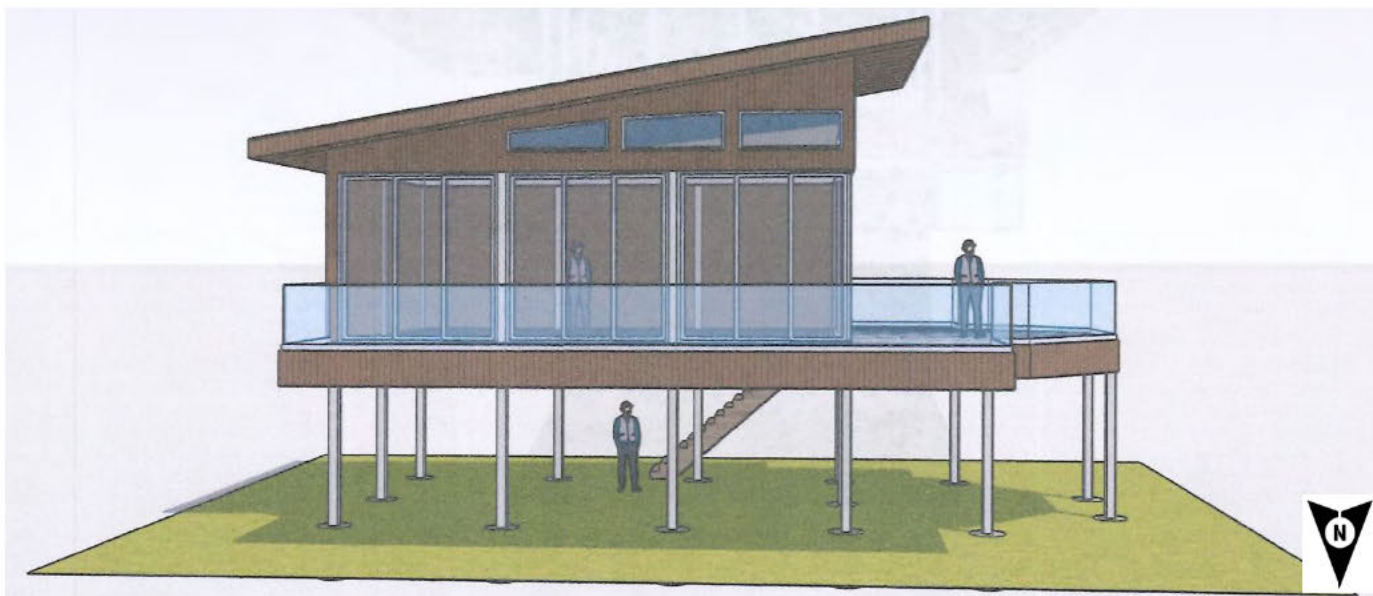
Property Description

The subject property is located at 8070 Rene Drive and is identified as Parcel No. 12-24-426-015, legally described as Lot 23, Hurondale Subdivision No. 2. The approximately 0.675-acre parcel (29,403 square feet) is zoned R1-C, Single Family Residential, and is improved with an existing single-family residence constructed in 1968. The parcel exceeds the minimum R1-C lot area requirement of 13,600 square feet by approximately 15,803 square feet, making the property more than twice the minimum lot area required in the district. The property is a corner lot with frontage on both Rene Drive and Williams Lake Road, containing approximately 64.5 feet of frontage and an average depth of approximately 183.6 feet.

Applicant's Proposal

The applicant is requesting variance relief from Section 5.7, Accessory Buildings or Structures in Residential Districts, to permit construction of an elevated detached accessory structure, described by the applicant as a "treehouse," with an approximate 24.4-foot midpoint roof height, where a maximum midpoint roof height of 18 feet is permitted, representing approximately 6.4 feet of variance relief. Based on submitted plans, the proposed structure consists of an elevated detached accessory building with an approximate roof area of 478 square feet, including an approximately 20-foot by 10-foot (200 square foot) enclosed interior area, as well as large wall-length windows, electrical service, attached deck areas, and structural steel reinforcement components.

During staff review, questions arose regarding application of the required front yard setback along Williams Lake Road. Staff discussed these issues with the applicant and offered an opportunity to postpone consideration of the request to allow for revised plans and re-noticing, if necessary. The applicant elected to proceed and indicated willingness to relocate the proposed structure, as necessary, to comply with all applicable setback requirements. Accordingly, staff's analysis is limited to the requested variance associated with accessory structure height.



Site History

The applicant provided photographs within the application materials indicating an existing elevated treehouse structure was previously located on the property and was subsequently damaged by a fallen tree. During discussions with staff, the applicant indicated that, in the 1980s or 1990s, he had a verbal conversation with the Township Building Official and was advised that a 200-square-foot structure would not require a building permit. Staff was unable to verify the occurrence or content of this conversation.

Based upon staff's interpretation of current and historical permitting requirements, the previously existing structure, as constructed, would likely have required building permits for multiple reasons, including but not limited to: the presence of an elevated deck, stairs, and electrical service. Further, staff notes that while accessory structures measuring less than 200 square feet may be exempt from permitting requirements under certain circumstances, a 200-square-foot accessory structure would require permitting, and the previously existing structure appears to have included additional features beyond those typically exempted from permit requirements.

Staff has not identified records confirming the issuance of permits for the previously existing structure. Accordingly, staff has not relied upon the existence of the prior structure as evidence of a legally established nonconforming structure or as a basis for continuation of a prior condition. Additionally, staff notes that reconstruction, repair, or replacement of a damaged elevated structure of this nature would require applicable permits and review under current Township regulations. Therefore, the current request has been evaluated as a new variance request associated with the proposed accessory structure rather than continuation of a previously existing condition.



Zoning Analysis

Section 5.7.C, Accessory Buildings or Structures in Residential Districts, states:

“Accessory building or structure walls in all residential districts, with the exception of Suburban Farm (SF) and Agricultural (AG), shall not exceed fourteen (14) feet in height and the building shall not exceed eighteen (18) feet in height.”

The Building Official determined the submitted plans indicate a proposed midpoint roof height of approximately 24.4 feet, exceeding the maximum permitted accessory structure height of 18 feet. The request therefore represents approximately 6.4 feet of variance relief.

Staff notes the proposed structure has been described by the applicant as a “treehouse”; however, submitted plans indicate the proposal includes features such as an approximately 20-foot by 10-foot enclosed interior area, large wall-length windows, electrical service, attached deck areas, and structural reinforcement components, which are not typically associated with a traditional treehouse. Further, the structure is not designed to be supported by or integrated into an existing tree.

Staff concurs with the Building Official’s interpretation that the proposed structure constitutes an accessory building or structure subject to the requirements of Section 5.7, Accessory Buildings or Structures in Residential Districts, and therefore must comply with all applicable zoning standards unless otherwise approved by the Zoning Board of Appeals.

Staff notes the practical difficulty standard contained within Section 7.37(A) may warrant additional consideration by the Zoning Board of Appeals, as the submitted materials do not clearly demonstrate how physical characteristics of the subject property necessitate the requested 6.4-foot height variance relief. Determination of compliance with Section 7.37(A), and all other variance standards, remains solely within the authority of the Zoning Board of Appeals.

Staff Interpretation – Accessory Structures with Attached Deck Areas

Additionally, Section 3.10, Attached Decks, Porches, and Patios in Residential Districts, regulates attached decks associated with principal residential structures but does not specifically address deck areas attached to detached accessory structures. Staff interprets attached deck areas associated with an accessory structure as constituting part of the accessory structure for purposes of setback compliance and dimensional review under Section 5.7. Accordingly, staff evaluated the proposal under the standards applicable to accessory structures rather than standards applicable to decks associated with principal dwellings.

As this interpretation is not expressly addressed within the Zoning Ordinance, **staff requests feedback from the Zoning Board of Appeals regarding whether this represents an appropriate interpretation for regulating accessory structures with attached deck areas under the current Ordinance.** Staff notes that future ordinance amendments may provide an opportunity to further clarify standards applicable to accessory structures with attached deck areas.

Conclusion

The applicant is requesting variance relief from Section 5.7 to permit an elevated detached accessory structure with an approximate 24.4-foot midpoint roof height, where a maximum height of 18 feet is permitted, representing approximately 6.4 feet of relief. Staff concurs with the interpretation that the proposed structure constitutes an accessory building or structure subject to Section 5.7. Staff further requests feedback regarding interpretation of attached deck areas associated with accessory structures. Determination of compliance with Section 7.37, including the practical difficulty standard contained within Section 7.37(A), remains solely within the authority of the Zoning Board of Appeals.

Zoning Board of Appeals Options:

Motion for Approval

I move to approve the variance request for Parcel No. 12-24-426-015, 8070 Rene Drive, to permit construction of an elevated detached accessory structure with an approximate 24.4-foot midpoint roof height, where a maximum height of 18 feet is permitted, representing approximately 6.4 feet of variance relief.

This motion is based upon the following findings:

1. The Zoning Board of Appeals finds that the applicant has demonstrated compliance with the variance standards contained within Section 7.37 of the White Lake Township Zoning Ordinance, including that a practical difficulty exists due to unique physical characteristics or circumstances associated with the subject property and that strict compliance with the Ordinance would render conformity unnecessarily burdensome.
2. The Zoning Board of Appeals finds the requested relief is not self-created, and approval of the variance would provide substantial justice while preserving the spirit and intent of the Ordinance.
3. The Zoning Board of Appeals finds the requested 6.4-foot height variance is the minimum necessary to permit reasonable use of the property and would not be materially detrimental to surrounding properties or the public interest.

This approval is subject to the following conditions:

- a. Approval is limited solely to the requested height variance and shall not be interpreted as approval of any noncompliance with applicable setback, permitting, or building code requirements.
- b. The proposed accessory structure shall otherwise comply with all applicable Township ordinances and permitting requirements.

Motion for Denial

I move to deny the variance request for Parcel No. 12-24-426-015, 8070 Rene Drive, to permit construction of an elevated detached accessory structure with an approximate 24.4-foot midpoint roof height, where a maximum height of 18 feet is permitted, representing approximately 6.4 feet of variance relief.

This motion is based upon the following findings:

1. The Zoning Board of Appeals finds the applicant has not demonstrated compliance with Section 7.37(A), Practical Difficulty, as the submitted materials do not clearly establish how physical characteristics of the subject property necessitate the requested 6.4-foot height variance relief, nor demonstrate that strict compliance with the Ordinance would unreasonably prevent reasonable use of the property or render conformity unnecessarily burdensome.
2. The Zoning Board of Appeals finds the applicant has not demonstrated compliance with Section 7.37(C), as the requested relief appears associated primarily with the design characteristics of the proposed structure rather than conditions inherent to the subject property.
3. The Zoning Board of Appeals finds the requested variance has not been demonstrated to represent the minimum relief necessary to permit reasonable use of the property, including whether alternative compliant designs or configurations may exist.
4. The Zoning Board of Appeals finds the applicant has not sufficiently demonstrated compliance with all required variance standards contained within Section 7.37, and therefore the requested variance does not satisfy the standards necessary for approval.



ZONING BOARD OF APPEALS APPLICATION

NEXT ZBA MEETING: May 28th CUT OFF FOR NEXT MONTH'S AGENDA:

Please read these instructions and notes carefully before submitting the attached application.

Incomplete applications will not be accepted.

In addition to the application, you must submit the following required documents:

1. Proof of Ownership
If you are not the property owner of record, a copy of the land contract, option to purchase, purchase agreement, lease agreement, or letter of authorization from the property owner must be presented with the application to indicate the applicant's interest in the subject property. In addition, a letter of no objection from the property owner may be required by Township staff.
2. Plan or drawing – one copy
Attach one copy of the plot plan of the subject property drawn to scale. The plan must depict the shape and dimensions of the property, all existing and proposed structures, and building-to-building and building-to-property line relationships. Private utilities shall be called out.
3. Certified Survey – one copy.
4. Letter of denial from the Building Department
The Building Department must have reviewed and formally denied your application for a building permit before a Z.B.A. application can be considered for processing.
5. Fees
The fee is \$440.00 for residential land uses and \$550.00 for non-residential land uses.

All proposed additions must be staked and flagged. Failure to do so may cause your case to be tabled.

The attached application must be filled out, and all documents, plans, other necessary information, and the application fee, as required, must be submitted before the application will be considered complete and accepted for processing. The application will then be placed on the next available Zoning Board of Appeals (ZBA) agenda.

You will be notified of the date and time that your request will be considered by the ZBA. Please attend or have a representative attend if you cannot attend the scheduled meeting. All ZBA meetings are held at the Township Annex, 7527 Highland Road, White Lake, 48383, unless otherwise noted.

Notification is given by mail to all property owners of record within 300 feet of the subject property at least 15 days before the meeting.

Information relative to the powers and duties of the ZBA can be found in Article 7.36 of the White Lake Township Zoning Ordinance. To be granted a variance, an applicant must provide proof that a practical

difficulty exists and the practical difficulty must relate to a unique circumstance of the property that prevents the applicant from reasonably using the property for a permitted use. Furthermore, no variance shall be granted unless all of the criteria found in Article 7.37 of the Zoning Ordinance have been met.

NOTE: ZONING BOARD OF APPEALS MEMBERS AND TOWNSHIP STAFF WILL LIKELY VISIT THE SITE BEFORE THE MEETING AS PART OF THEIR PREPARATION FOR EACH CASE.

ZBA application checklist:

- Completed, signed application
- Letter of authorization from the property owner
- One copy of the plan or drawing
- One copy of the certified survey
- Letter of denial from the Building Department
- Copy of building permit application
- Application fee

Any further questions or clarification regarding the ZBA instructions, application, or agenda placement can be directed to the Community Development Department at 248-698-3300 ext. 5.

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Steve Anderson
Andrea C. Voorheis
Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 24, 2026

Scott David
8070 Rene Dr
White Lake, MI 4886

Re: Proposed Accessory Structure

Based on the submitted plans, the proposed building height does not satisfy the White Lake Township Clear Zoning Ordinance for Accessory Structures.

Article 5.1 (C) of the White Lake Township Clear Zoning Ordinance: 18 ft maximum midpoint roof height

The West and East Elevations indicate the proposed structure midpoint roof height to be approximately 24.4 ft.

Approval of the structure would be subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the May 28th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than April 28th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township



ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION

NAME: Scott David - [REDACTED]

ADDRESS: 8070 Rene Dr White Lake MI 48386

EMAIL: [REDACTED]

INTEREST IN PROPERTY: PROPERTY OWNER BUILDER OTHER: _____

PROPERTY INFORMATION

ADDRESS: 8070 Rene Dr ZONING: _____

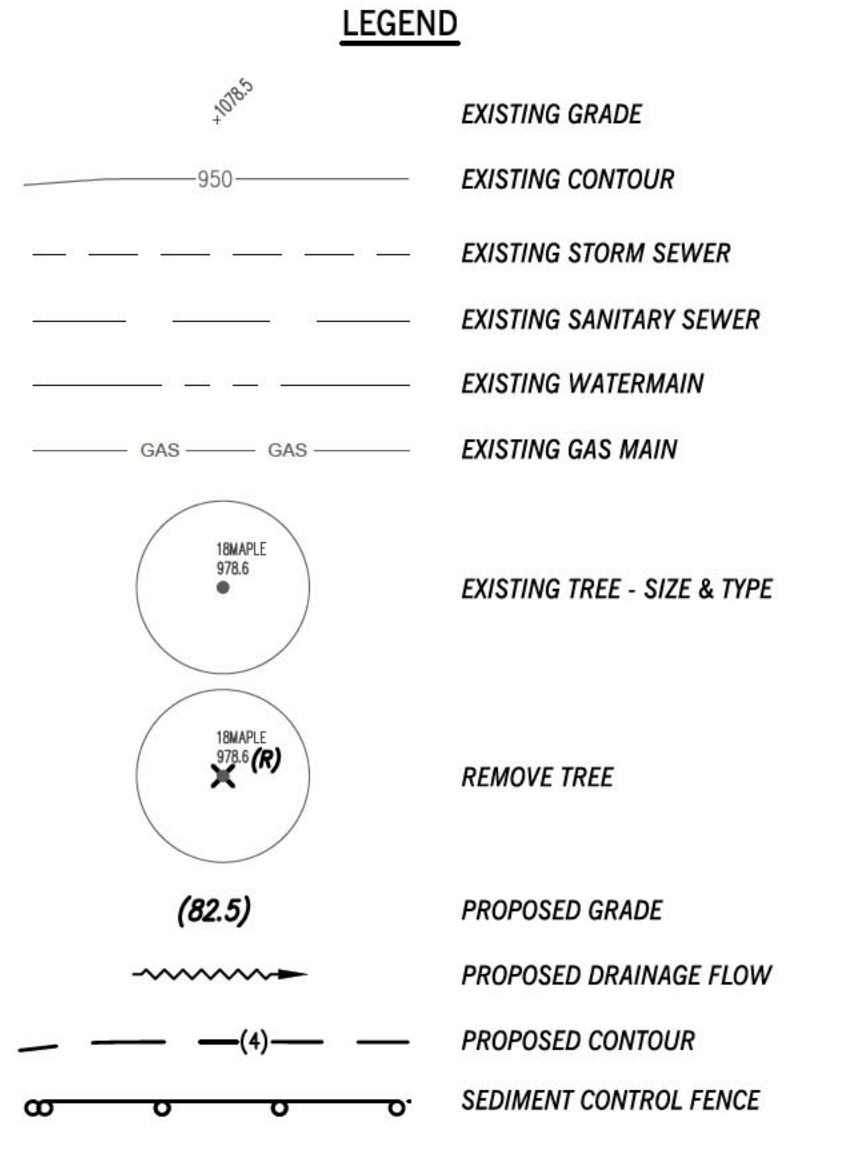
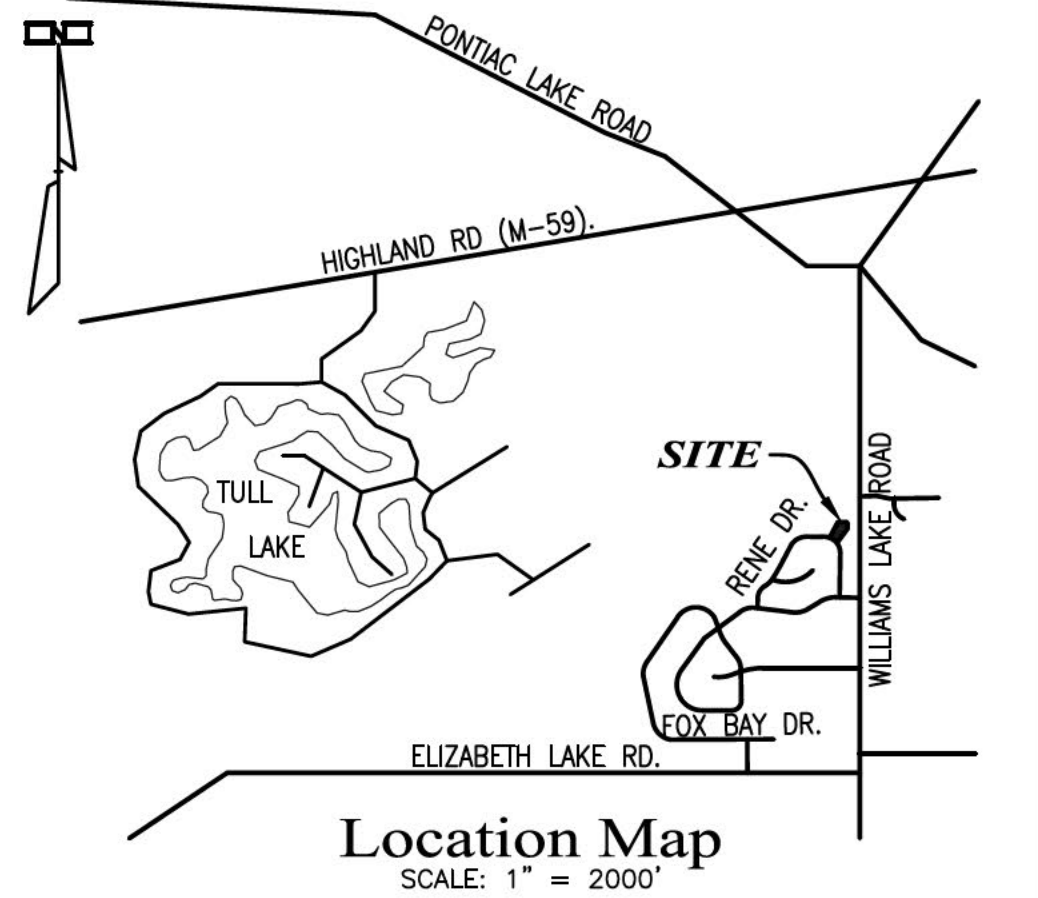
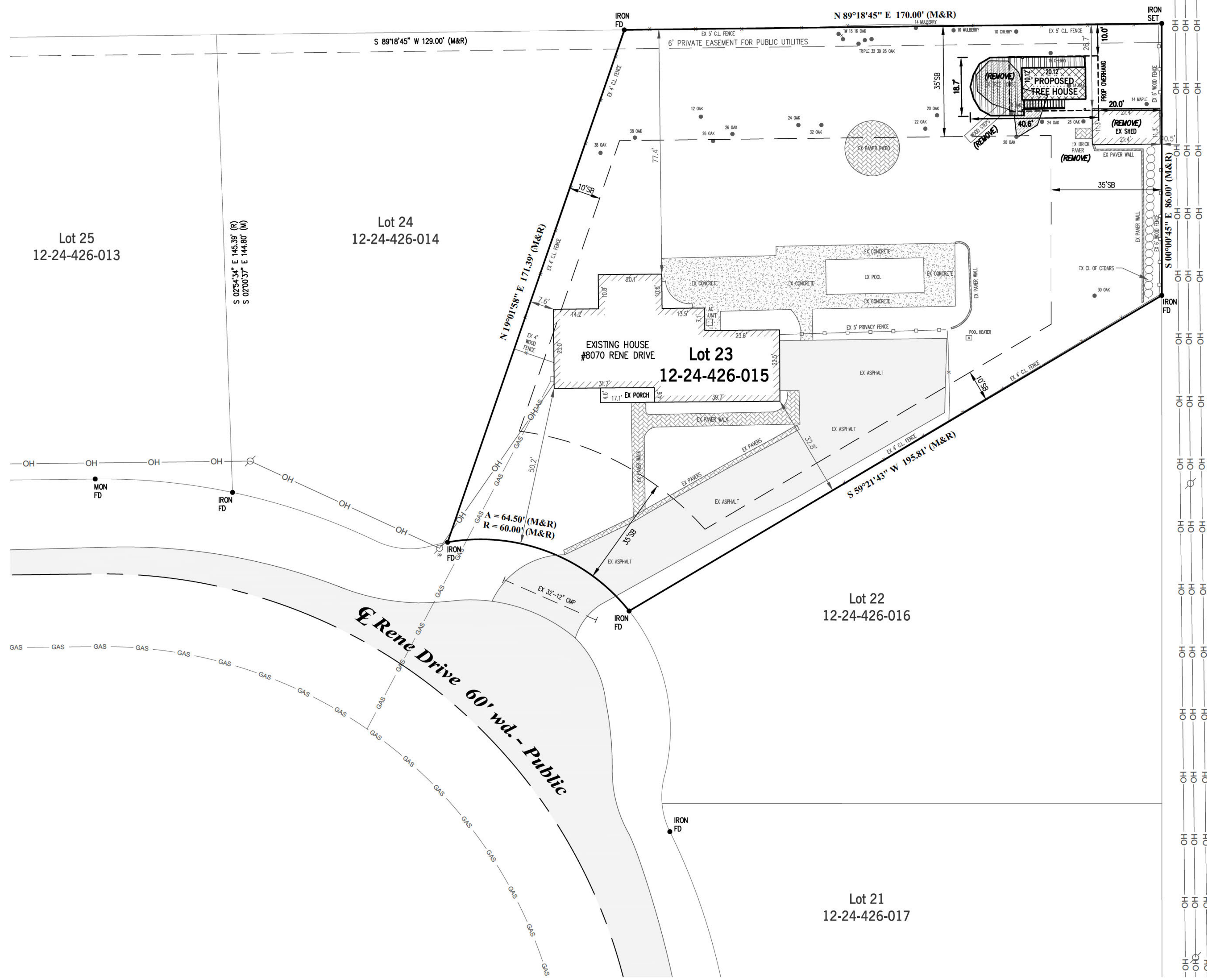
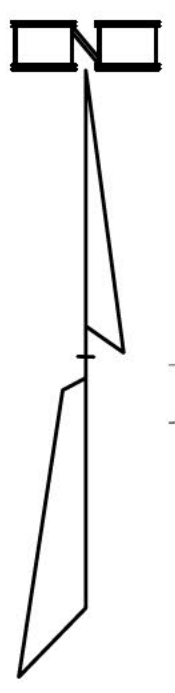
VALUE OF IMPROVEMENT: \$ 39000 SEV OF EXISTING STRUCTURE: \$ 0

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

Replace Tree House Structure.
Tree House Destroyed By Fallen Tree
Storm Damage.

APPLICATION FEE: \$440 \$550

APPLICANT'S SIGNATURE: Scott David DATE: 4/27/26



Plan Notes:
1. Drainage on this property cannot affect adjacent properties.
2. Maintain positive drainage on site and away from proposed structure.

Notes:
1. ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING, WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS OF OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
2. ARCHITECT/BUILDER IS RESPONSIBLE FOR CONFIRMING BUILDING SETBACKS.

Property is Zoned R1-3 Single Family Residential:
SETBACKS:
FRONT - 35 FEET
SIDES - 10 FEET EACH SIDE
REAR - 35 FEET
MAXIMUM HEIGHT OF STRUCTURES:
- 30 FEET OR 2 STORIES
MAXIMUM LOT COVERAGE:
- 25% ON SEPTIC, 30% ON SANITARY SEWER
ACCESSORY BUILDING:
- 5 FEET FROM REAR & SIDE LOT LINES TO ANY PORTION OF STRUCTURE, INCLUDING OVERHANGS OR GUTTERS
- 10 FEET FROM PRINCIPLE STRUCTURE

This is to certify that I, William J. Norman II, a Professional Land Surveyor, have this date made a survey of a parcel of land described as follows:
PARCEL 12-24-426-015
LOT 23, "HURON SUBDIVISION NO. 2", A PART OF THE SE 1/4 OF SECTION 24, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN LIBER 117 OF PLATS, PAGE 9, OAKLAND COUNTY RECORDS.



DATE	ISSUE
4-2-2025	REV. PROPOSED TREE HOUSE LOCATION PER CLIENT

PROPRIETOR:
SCOTT DAVID
8070 RENE DRIVE
WHITE LAKE, MI. 48346
(248) 431-7575

THIS DRAWING IS THE PROPERTY OF KIEFT ENGINEERING, INC. AND MAY NOT BE USED, REPRODUCED OR PUBLISHED, IN PART OR IN WHOLE, WITHOUT EXPRESSED WRITTEN PERMISSION FROM KIEFT ENGINEERING, INC.



KIEFT ENGINEERING, INC.
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE	CKD. BY	DATE
11-7-2025	TS/JM	



72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG (800) 482-7171 OR 811

SITE PLAN FOR TREE HOUSE
Parcel No. 12-24-426-015
PART OF THE SOUTHEAST 1/4 OF SECTION 24, T3N, R8E, WHITE LAKE TWP., OAKLAND COUNTY, MICHIGAN

SCALE 1" = 20'
SHEET 1 OF 1
KE 2025.042

Item D.

SCOTT DAVID'S TREEHOUSE

8070 RENE DR.
WHITE LAKE TWP., MI 48386

DRAWING INDEX

- A-101 COVER SHEET
- A-102 FLOOR PLAN
- A-201 ELEVATIONS
- SITE SITE PLAN

GENERAL CONSTRUCTION LEGEND	
EXTERIOR	EXTERIOR WALLS ARE POST FRAMED WITH SIPs IN BETWEEN POST WITH A 5/8" X 1/2" BOARD ON THE INTERIOR SIDE OF SIPs.
ARCHITECT	
DS ARCHITECTS, INC. ATTN: DEREK SILVERA 2650 DUKE HWY., SUITE 600 CLARKSTON, MI 48048 PHONE: 248-805-2050 FAX: 248-805-2050 CELL: 248-810-5541 EMAIL: DEREK@DSARCHITECTS.COM	
CONTRACTOR	
T.B.D.	
OWNER	
SCOTT DAVID 8070 RENE DR. WHITE LAKE TWP., MI 48056	
SQUARE FOOTAGE	
TREEHOUSE SQUARE FOOTAGE = 200 SF.	
CODE INFORMATION AND DESIGN LOADS	
BUILDING CODE: 2018 HIGHWAY RESIDENTIAL CODE	EDGE LOADS
FLOOR LOADS	DEAD LOAD: 20 PSF
LIVING AREA: DEAD LOAD: 20 PSF	SNOW LOAD: 20 PSF
LIVE LOAD: 40 PSF	WIND LOADS: 5 SECONDS GUST WIND SPEED 15 MPH EXPOSURE = D
DECK AREA: DEAD LOAD: 20 PSF	
LIVE LOAD: 40 PSF	

FOUNDATION NOTES

1. THE MINIMUM ALLOWABLE SOIL BEARING VALUE IS 2500 PSF FOR FOOTINGS.
2. THE MINIMUM FOOTING LINE DEPTH IS 42" DEPTH. VERIFY ALL LOCAL REQUIREMENTS.
3. BACKFILL SHALL BE COMPLETED WITH CLEAN FILL FREE OF DEBRIS, ORGANIC MATTER AND FROZEN GRAVEL.

CONCRETE NOTES

1. ALL CONCRETE SHALL BE DESIGNED AND TESTED AS OUTLINED IN THE ACI SPECIFICATIONS.
2. ALL FOOTING CONCRETE MIN. 4500 PSI COMP. STRENGTH AT 28 DAYS. 9" MAX. SLUMP, AGGREGATE - 1 1/2" MINUS, NOT LESS THAN 84".
3. MAINTAIN SUBGRADE AND FILL MOISTURE CONTENT UNTIL FOUNDATIONS ARE PLACED.
4. DO NOT PLACE FOOTINGS OR SLABS AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE.
5. MAINTAIN PROPER SITE DRAINAGE DURING CONSTRUCTION TO ENSURE SURFACE RUNOFF AWAY FROM STRUCTURES AND TO PREVENT PONDING IN SURFACE RUNOFF NEAR THE STRUCTURES.
6. MAINTAIN THE FOLLOWING CONCRETE COVERAGES FOR REINFORCING STEEL, UNLESS OTHERWISE NOTED:
 - a.1. CONCRETE CAST AGAINST EARTH: 3 INCHES
 - a.2. CONCRETE EXPOSED TO WEATHER: NO. 8 AND LARGER: 2 INCHES; NO. 5 AND SMALLER: 1 1/2 INCHES
 - a.3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND: SLABS AND WALLS: NO. 14 AND NO. 18: 1 1/2 INCHES; NO. 11 AND SMALLER: 3/4 INCHES
7. CONCRETE SHALL HAVE THE INDICATED VALUES MINIMUM FOOTINGS: 4500 PSI

LUMBER NOTES

1. LATERAL SUPPORT OF BEAMS IS REQUIRED AT BEARING LOCATIONS.
2. ALL FLOOR JOISTS AND ROOF TRUSSES SHALL ALIGN OVER WALL STUD.
3. SEE CONSTRUCTOR MANUFACTURER'S REQUIREMENTS FOR SIZE AND NUMBER OF FASTENERS.
4. ALL STUDS SHALL BE DOUGLAS FIR LARGEST OR BETTER.
5. ALL JOISTS HANGERS BY SIMPSON STRONG-TIE OR EQUAL.

STAIR / HANDRAIL NOTES

1. STAIRS: 6 1/4" MAX. RISE, 4" MIN. TREAD IN / 1" MIN. NOSING.
2. HANDRAIL: 2X4 HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 1/4" WITH A HANDRAIL CROSS SECTION DIMENSION OF 2 1/4".
3. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE INCLUDING THE TREAD NOSING, SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.

MISC. NOTES

1. PROVIDE THE FOLLOWING MINIMUM INSULATION R VALUES:
 - a.1. ROOF: R-50
 - a.2. WALLS: R-13
 - a.3. PENETRATION U-FACTORS: 0.02 OR LOWER
2. HOUSEWRAP TO BE USED AS EXTERIOR WIND BARRIER AND SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE RAFTER OR TRUSS TOP CHORD. ALL SEAMS MUST BE SEALED. ALL EXTERIOR WALL SHEATHING PENETRATIONS MUST BE SEALED.

ARCHITECTS
DS
INC.

7300 DIXIE HWY. #800
CLARKSTON, MI 48048
PHONE: 248.805.2050
FAX: 248.805.2050
WEB: DSARCHITECTS.COM

Seal

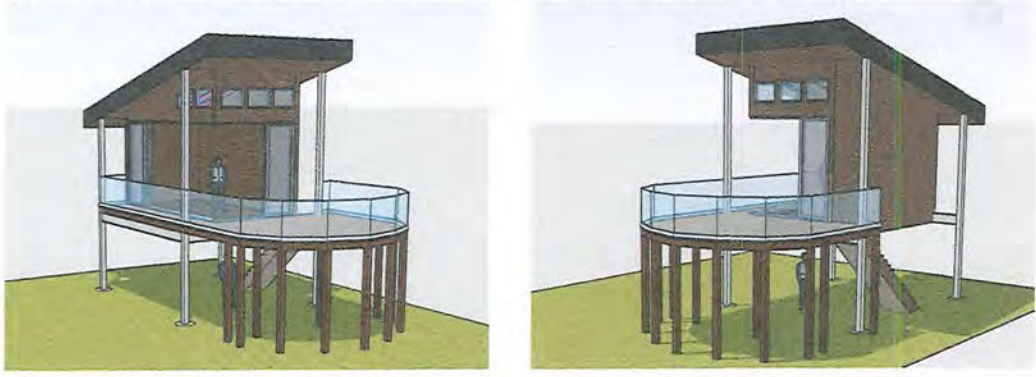


Derek Silvera

Project
SCOTT DAVID'S TREEHOUSE

8070 RENE DR.
WHITE LAKE TWP., MI 48056

SCOTT DAVID'S TREEHOUSE RENDERINGS



Drawing Title
COVER SHEET

Project Number
26-115

Drawn
KJM

Checked
DJS

Scale
N/A

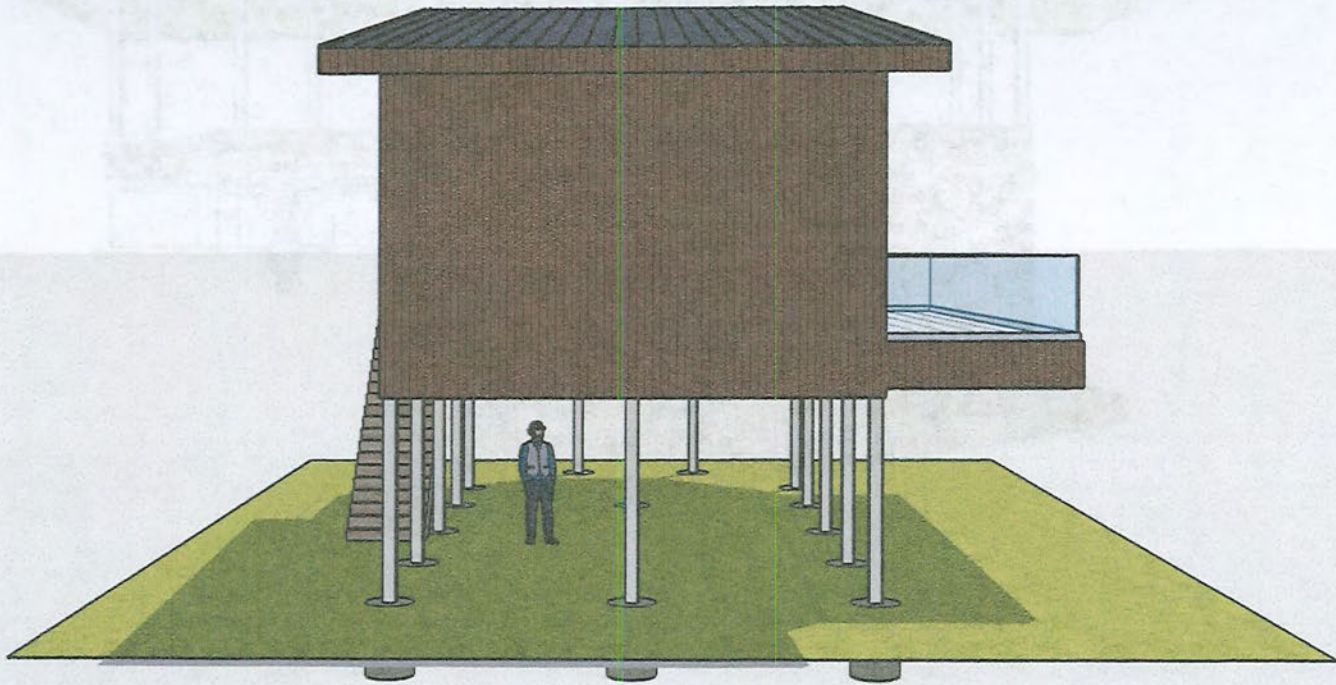
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DAVID TREEHOUSE - CDS

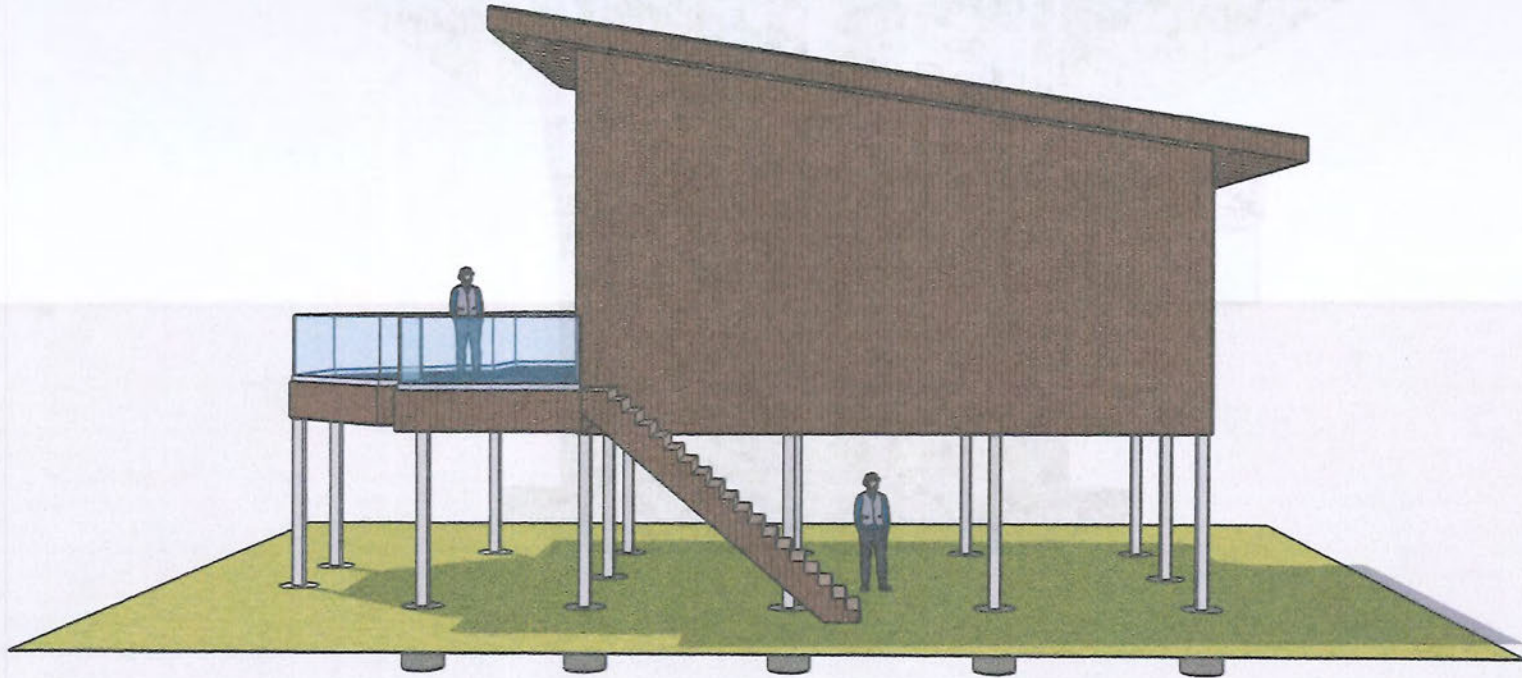
DATE
DWNER REVIEW 2-26-20 DJS

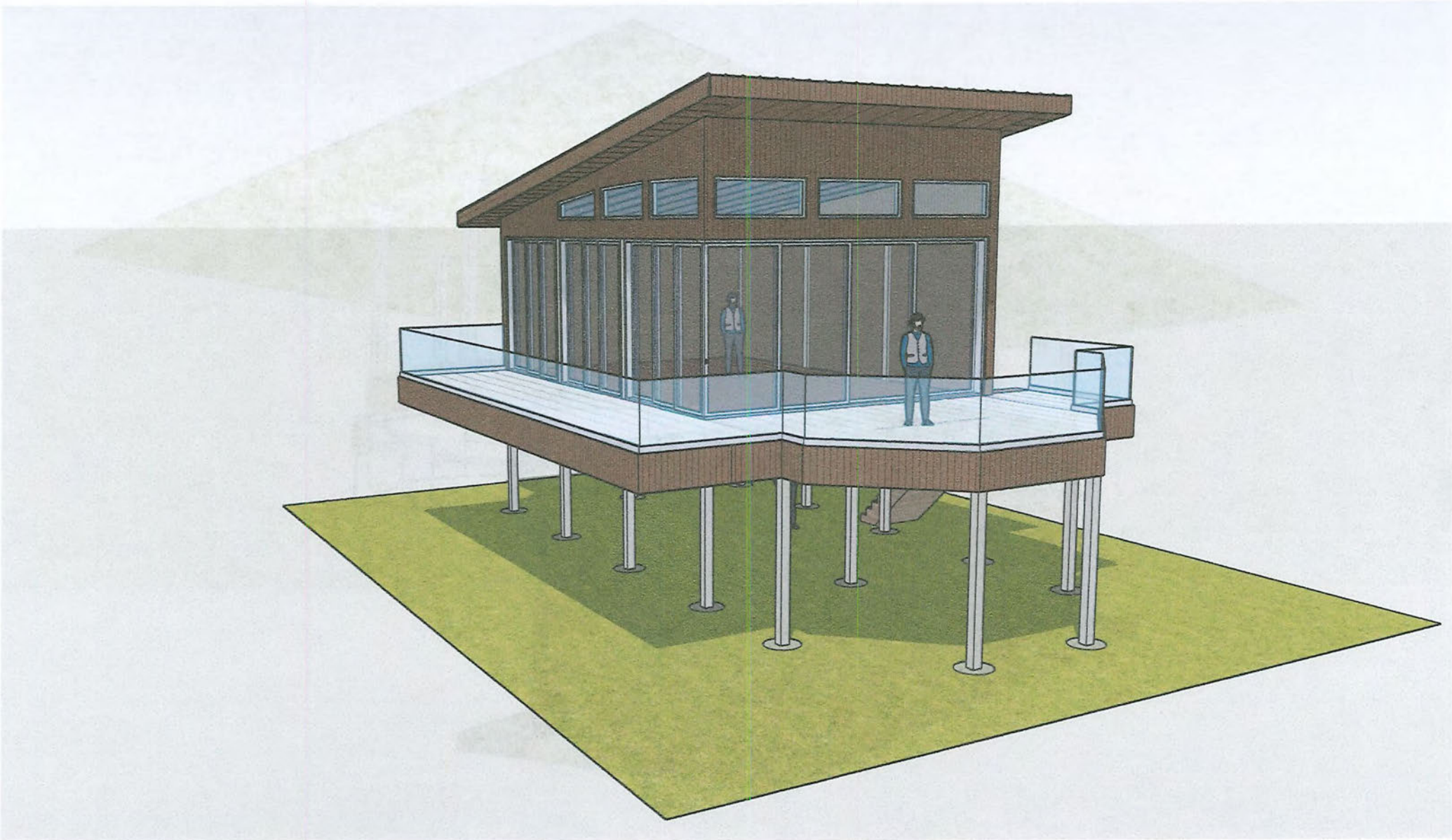
REMARK 3-30-20 GJS

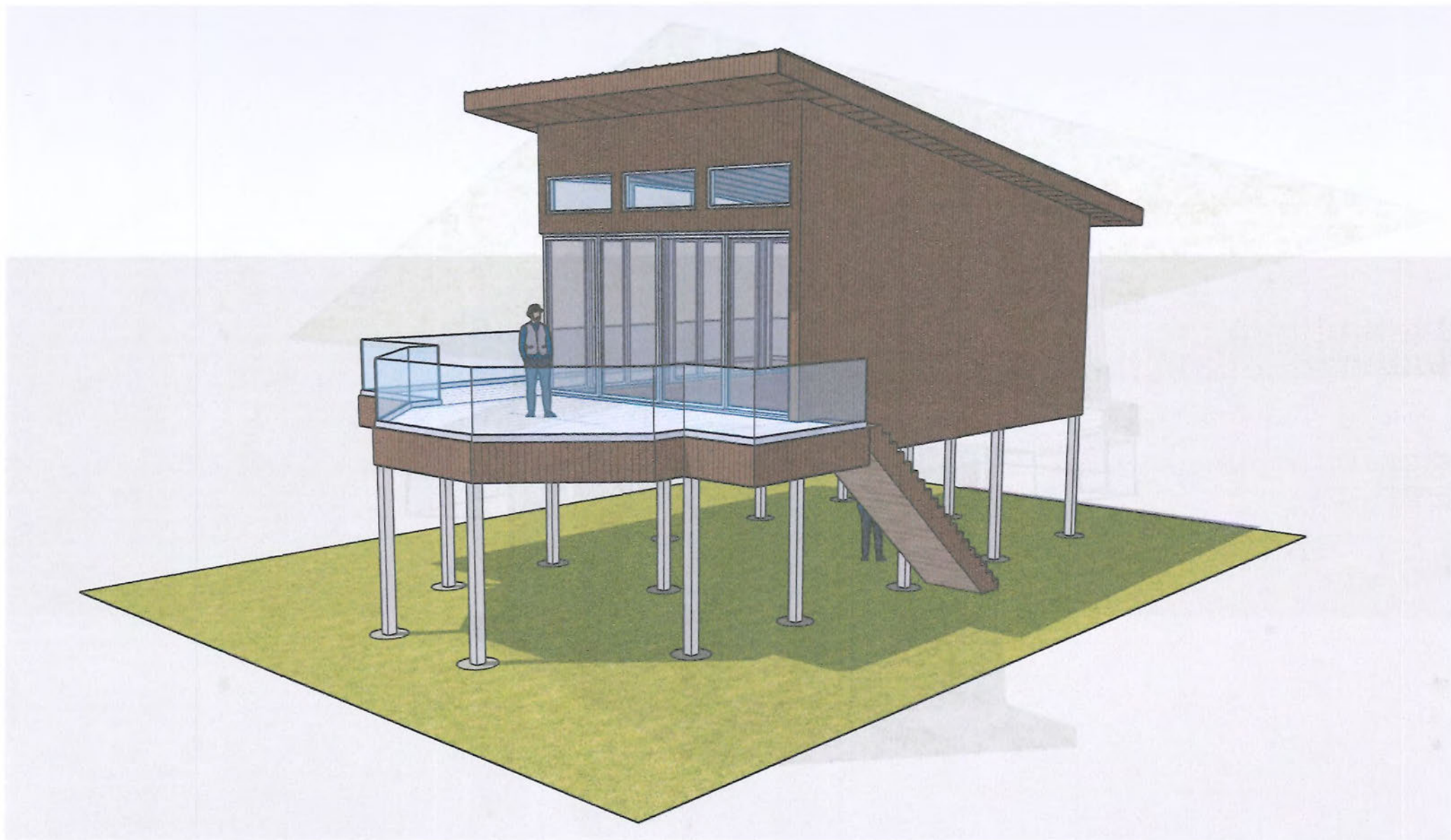
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A-101

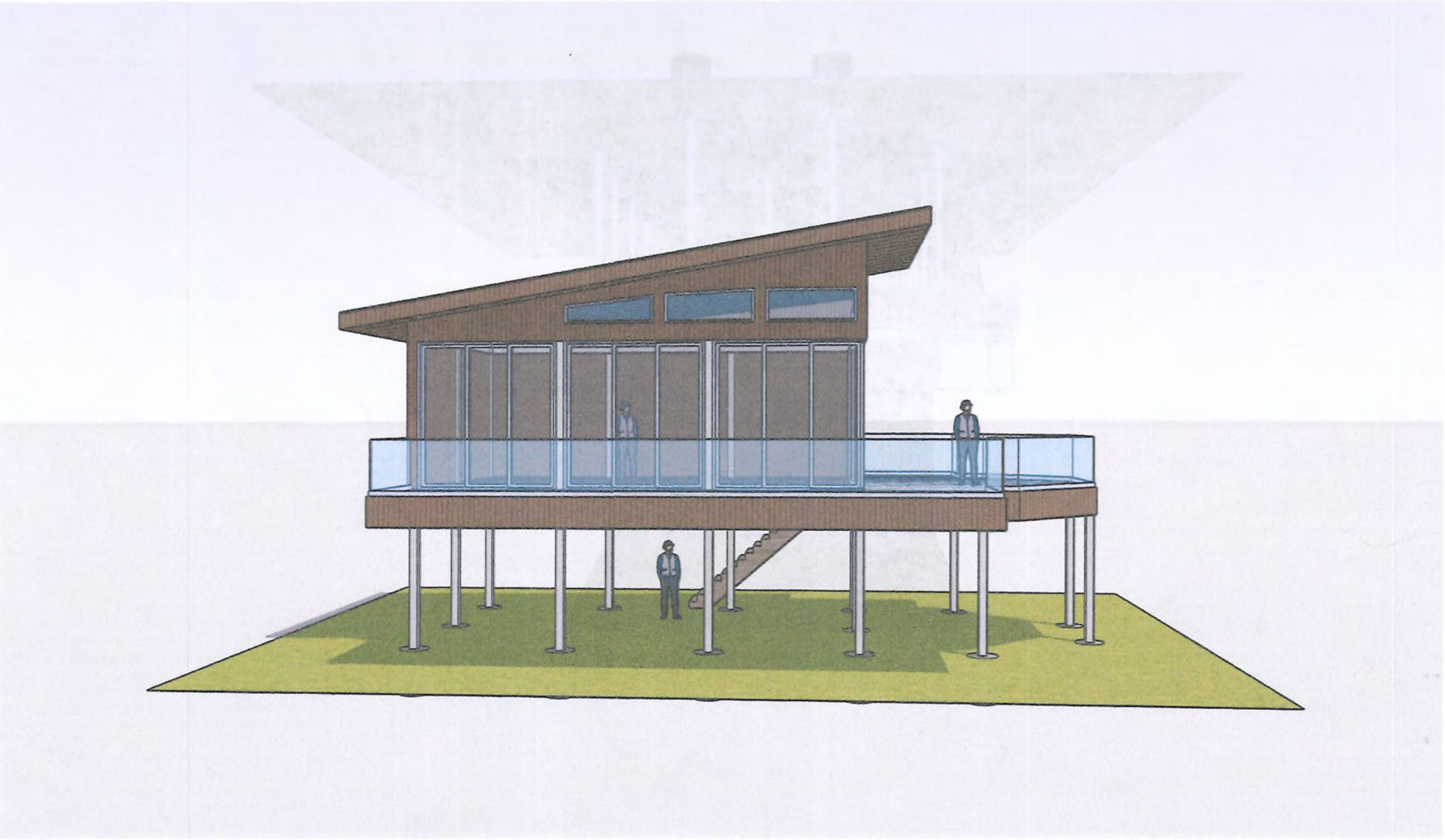
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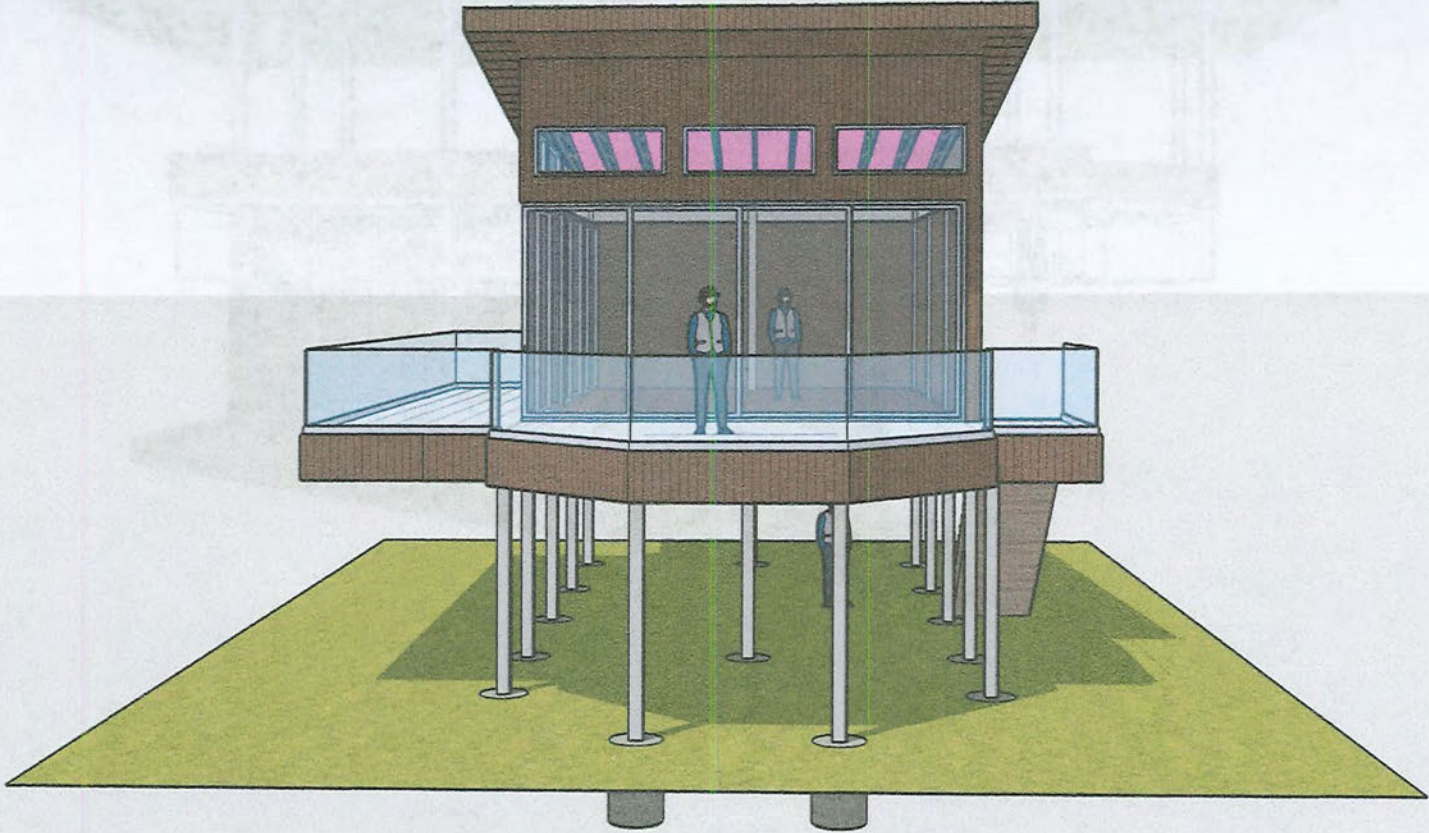
















WHITE LAKE TOWNSHIP
7525 HIGHLAND RD
WHITE LAKE, MI 48383-2938
United States
Phone : (248) 698-3300

Received From: SCOTT DAVID
Date: 04/27/2026 Time: 11:31:31 AM
Receipt: 0000231491
Cashier: CTRSAM

ZBA

ITEM REFERENCE	AMOUNT

FEEZBA ZBA/ ZONING BOARD OF APPEALS	
ZBA/ ZONING BOARD OF APPEALS	\$440.00

TOTAL	\$440.00
CHECK 5251	\$440.00
Total Tendered:	\$440.00
Change:	\$0.00

TO: Zoning Board of Appeals
FROM: David J. Waligora, AICP, Senior Planner
DATE: May 21, 2026
RE: 9278 Pontiac Lake Rd: Variance request for rear deck

Agenda item: 8E
Appeal Date: May 28, 2026
Applicant: Michael Seling
9278 Pontiac Lake Rd
White Lake, MI 48383
Owner: Michael Seling
9278 Pontiac Lake Rd
White Lake, MI 48383
Address: 9278 Pontiac Lake Rd
Parcel #: 12-14-253-006
Location: North side of Pontiac Lake Rd, East of Fisk Rd
Zoning: R1-D, Single Family Residential

Attachments

- 1. Application
- 2. Land Survey and Construction Documents



Property Description

The subject property is a 1.033-acre parcel (Parcel No. Y-12-14-253-006) located at 9278 Pontiac Lake Road within the R1-D (Single-Family Residential) zoning district. The property contains an existing approximately 3,198 square-foot single-family dwelling constructed in 2016 with a daylight basement and existing elevated rear porch area. Although the parcel contains approximately 1.033 gross acres, the effective buildable area is reduced by the Pontiac Lake Road right-of-way, shoreline conditions associated with Pontiac Lake, and the irregular narrowing lot geometry of the parcel to about .56 acres.

The lot depth is approximately ±116 feet at its widest point but narrows to approximately 48 feet in portions of the waterfront setback area. The property is generally surrounded by similarly zoned single-family residential lakefront properties to the east and west, and larger single family properties to the south.

Applicant's Proposal

The applicant is proposing to construct an elevated rear deck on the lakeside of the existing home oriented toward Pontiac Lake. The proposed deck would be located approximately five (5) feet from the shoreline and approximately four (4) feet above the sloping grade per the applicant's statement to staff. The proposed deck also includes structural accommodation for a future recessed hot tub area. The applicant indicated the proposal is intended to improve accessibility and functional (nostep) outdoor access to the deck.

Existing Condition Dimensional Review

The property is currently developed with a one-story home with a daylight basement and detached accessory building. It should be noted because of the orientation of the lot, the buildable area is extremely small.



	Min Required	Current	Nonconforming Deficiency
Lot Area	12,000 ft ²	24,407 ft ² net (estimated) / 43,690 ft ² gross	None
Lot Width	80 ft (min required)	323 ft	None
Lot Depth	150 ft (min required for min lot width)	116 ft	34 ft
Lot Coverage	25%	18.15% net (estimated)	None
Rear Yard Setback	30 ft	21.97 ft	-8.03 ft

Site History

The existing home appears to maintain nonconforming setback relationships relative to current shoreline and front yard setback standards, and potentially relative to side yard standards applicable to the detached accessory building. While the structures do not appear to fully comply with the applicable setback standards of the Zoning Ordinance, the applicant appears to have constructed the home in good faith reliance upon previously issued Township approvals and permits. As such, staff has considered the existing structures as an established nonconforming condition in its review of the proposed request.

It should also be noted that the front yard setback relationship is anticipated to become further nonconforming soon, as the property owner is expected to convey additional right-of-way to the Road Commission of Oakland County associated with the future paving and improvement of Pontiac Lake Road.

Zoning Analysis

Section 3.10 of the Zoning Ordinance permits certain unenclosed decks, porches, patios, and paved terraces to project into required rear yard setbacks and further states that, in the case of lakefront lots, such structures may extend up to the water's edge. However, Section 3.11.Q separately states that no building or structure shall be located closer than twenty-five (25) feet to any regulated wetland, submerged land, watercourse, pond, stream, lake, or similar body of water. As written, **staff recognizes that there appears to be a conflict between these two provisions, specifically regarding whether lakefront decks are intended to be permitted up to the water's edge or remain subject to the twenty-five (25) foot waterfront setback requirement.**

Based upon the overall structure of the Ordinance, staff interprets Section 3.10 as establishing a limited exception for qualifying unenclosed lakefront decks, while Section 3.11.Q continues to apply to nonqualifying deck structures and other buildings or structures near the shoreline., while Section 3.10 was intended to provide limited flexibility for unenclosed accessory deck and patio structures on lakefront lots. Staff further interprets the proposal as primarily requiring variance relief due to the deck height exceeding the limitations established under Section 3.10.B, which limits qualifying decks within setback areas to a maximum height of three (3) feet above grade.

Based upon the submitted plans and site conditions, the proposed deck is anticipated to be approximately four (4) feet above grade at its highest exposed shoreline point, representing an approximate one (1) foot deviation from the Ordinance standard. Staff notes that the existing home sits elevated above surrounding grade, likely due to both the sloping topography of the parcel and groundwater/high water table considerations commonly associated with lakefront properties, in order to accommodate a full basement, which is a common feature in residential construction throughout Michigan.

Ultimately, staff recognizes that the Zoning Board of Appeals retains the authority to establish formal interpretations of the Zoning Ordinance and determine the applicability of Section 3.11.Q relative to lakefront deck structures. Out of an abundance of caution and to ensure full public notice of all potentially applicable standards, the request was noticed as requiring variance relief from both the twenty-five (25) foot waterfront setback requirement under Section 3.11.Q and the deck height limitation contained within Section 3.10.B. However, if the Board agrees with staff's interpretation regarding the applicability of Section 3.11.Q to qualifying lakefront deck structures, only one variance is required.

Conclusion

Overall, the request involves an existing developed lakefront property containing an established nonconforming residential structure located on a parcel with sloping topography, irregular lot geometry, and a limited effective buildable area between Pontiac Lake and Pontiac Lake Road. The proposed deck would continue an existing pattern of lakeside outdoor living space associated with the home and would remain accessory to the principal residential use of the property.

As discussed above, staff notes that the review of this request is complicated somewhat by the interaction between Sections 3.10 and 3.11.Q of the Zoning Ordinance, specifically regarding the extent to which unenclosed lakefront deck structures are intended to be permitted within shoreline setback areas. Staff further notes that the proposed deck exceeds the maximum three (3) foot height limitation established under Section 3.10.B and therefore requires consideration by the Zoning Board of Appeals.

In reviewing the request, the Zoning Board of Appeals should consider the existing nonconforming placement of the home and porch, the physical characteristics and topography of the parcel, the degree of the proposed encroachment, the stated accessibility considerations presented by the applicant, and whether the proposal is consistent with the overall intent of the Ordinance and the surrounding pattern of lakefront development.

Zoning Board of Appeals Options:

Motion for Approval

I move to approve the variance request for Parcel No. Y-12-14-253-006, 9278 Pontiac Lake Road, to permit the construction of a rear deck which exceeds the maximum deck height permitted under Section 3.10.B of the Zoning Ordinance by approximately one (1) foot, allowing a deck height of approximately four (4) feet above grade where a maximum of approximately three (3) feet is permitted.

This motion is based upon the following finding:

1. The Zoning Board of Appeals finds that the applicant has demonstrated compliance with the variance standards contained in Section 7.37 of the White Lake Township Zoning Ordinance, including practical difficulty, unique circumstances, lack of self-created hardship, substantial justice, and the minimum variance necessary to grant relief.

Approval is further conditioned upon the following:

1. The deck shall remain uncovered and unenclosed and shall not be converted into habitable living area without additional Township approvals.
2. Approval is limited to the plans submitted with the application and reviewed by the Zoning Board of Appeals.
3. Approval is limited solely to the requested variance from Section 3.10.B and shall not be interpreted as granting relief from any other applicable ordinance requirements.

Motion for Denial

I move to deny the variance request for Parcel No. Y-12-14-253-006, 9278 Pontiac Lake Road, to permit the construction of a rear deck which exceeds the maximum deck height permitted under Section 3.10.B of the Zoning Ordinance by approximately one (1) foot, allowing a deck height of approximately four (4) feet above grade where a maximum of approximately three (3) feet is permitted.

This motion is based upon the following finding:

1. The Zoning Board of Appeals finds that the applicant has not sufficiently demonstrated compliance with one or more of the variance standards contained in Section 7.37 of the White Lake Township Zoning Ordinance necessary to justify granting the requested variance.

Additional Photos from the Assessing Department's Files



Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Steve Anderson
Andrea C. Voorheis
Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 23, 2026

Michael Seling
9278 Pontiac Lake Rd
White Lake, MI 48386

Re: Proposed Deck

Based on the submitted plans, the proposed deck does not satisfy the White Lake Township Clear Zoning Ordinance per Article 3.11 (Q)

Article 3.11 (Q) of the White Lake Township Clear Zoning Ordinance: No building or structure shall be located closer than 25 feet to any regulated wetland, submerged land, watercourse, pond, stream, lake, or like body of water. The setback shall be measured from the edge of the established wetland boundary as reviewed and approved by the Township.

The proposed structure would have a 6 ft setback from the water's edge where a minimum 25 ft setback is required. A grade level deck or deck no greater than 12 inches in height without railings is permitted to extend up to the water's edge. Being that the deck is proposed to be a maximum of 6 ft from grade, it would not meet this provision.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the May 28th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than April 23rd at 4:30 PM The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township



ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION

NAME: MICHAEL SELING PHONE: [REDACTED]

ADDRESS: 9278 PONTIAC LAKE RD

[REDACTED]

INTEREST IN PROPERTY: PROPERTY OWNER BUILDER OTHER: _____

PROPERTY INFORMATION

ADDRESS: 9278 PONTIAC LAKE RD ZONING: R1D

VALUE OF IMPROVEMENT: \$ 20,000 SEV OF EXISTING STRUCTURE: \$ 481,830

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

LAKE FRONT DECK TO ACCOMMODATE ELDERLY RESIDENT. DECK
LEVEL SET TO MAIN FLOOR LEVEL. WILL BE ABOVE 3' HEIGHT.
VARIANCE NEEDED FOR REAR LOT SET BACK.

APPLICATION FEE: \$440 \$550

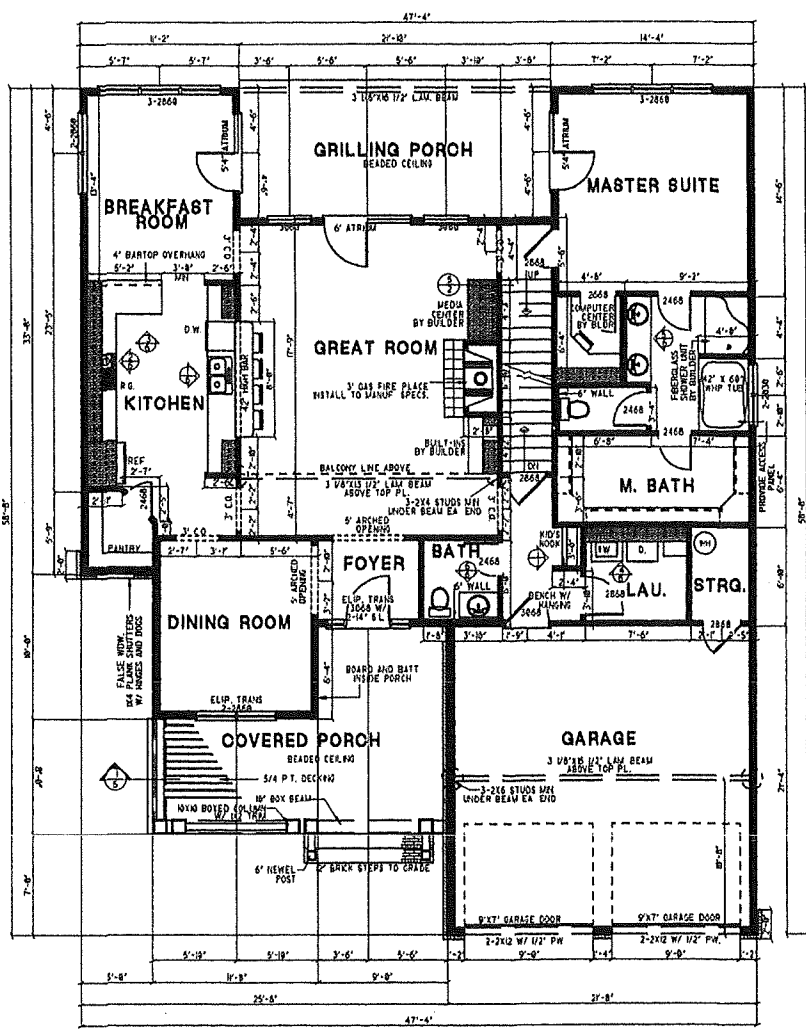
APPLICANT'S SIGNATURE: [Signature] DATE: 3-24-26

WHITE LAKE TOWNSHIP
7525 HIGHLAND RD
WHITE LAKE, MI 48383-2938
United States
Phone : (248) 698-3300

Received From: MICHAEL SELING
Date: 04/24/2026 Time: 9:41:53 AM
Receipt: 0000231278
Cashier: CTRSAM

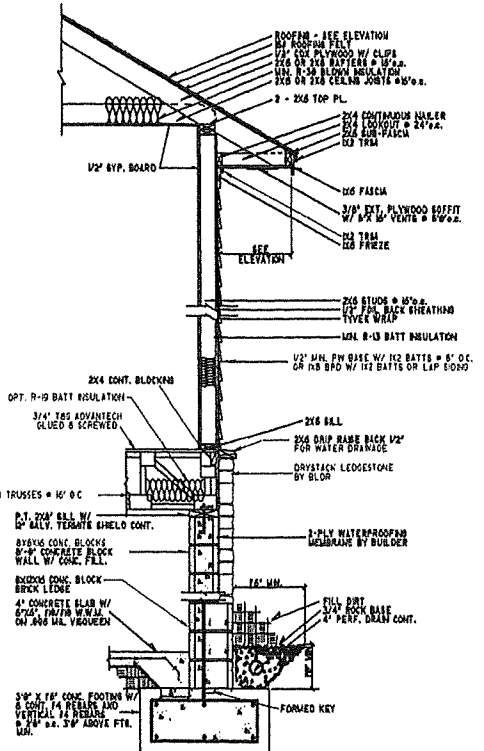
ZBA

ITEM REFERENCE	AMOUNT
<hr style="border-top: 1px dashed black;"/>	
FEEZBA ZBA/ ZONING BOARD OF APPEALS	
ZBA/ ZONING BOARD OF APPEALS	\$440.00
<hr style="border-top: 1px dashed black;"/>	
SUB-TOTAL	\$440.00
Total Tendered:	\$440.00
ORDER #: pi_3TPjzSGbuBoZkdHi0VUc5PVb	
CC Processing Fee	\$13.48
Credit Cards	
Grand Total:	\$453.48
Change:	\$0.00



FLOOR PLAN NOTES:

1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND raftERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, IE MOUNT AS LOW AS POSSIBLE.
5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
7. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
9. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5'7" HIGH, A MINIMUM NET CLEAR OPENABLE WIDTH OF 28" A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH GILL HEIGHT OF 42" FROM FLOOR.
10. ALL GLASS LOCATED WITHIN 10' OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHROOMS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
13. BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 99 CFM FAN RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 8 FEET OF A GAS FIRED APPLIANCE.
15. ALL WALLS AND CEILING IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS INTERNAL HEAT/COOLED PORTION OF RESIDENCE.
16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL DRAIN STOPS AT EACH FLOOR LEVEL, BY PACKING 6" X 18" MIN INSULATION BETWEEN 2X4 JOISTS.
17. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD WITH METAL CORNER REINFORCEMENT. LAIS FLOAT AND HAND, IT COLTS USE 5/8" GYPSUM BOARD ON CEILING WHEN SUPPORTED MEMBERS ARE 24" O.C. OR GREATER AND 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
18. ALL BATH AND TOILET AREA WALLS AND CEILING SHALL HAVE WATER RESISTANT GYPSUM BOARD.



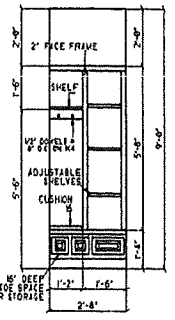
CONCRETE BLOCK WALL DETAIL

FLOOR PLAN SPECIFICATIONS

HEAT/COOLED MAIN FLOOR:	895 SQ. FT.
HEAT/COOLED UPPER FLOOR:	815 SQ. FT.
HEAT/COOLED TOTAL:	1710 SQ. FT.
GARAGE STORAGE:	410 SQ. FT.
POSSIBLE:	300 SQ. FT.
BOILER ROOM:	300 SQ. FT.

NOTE:

- 1- MAIN FLOOR CEILING TO BE 9' UNLESS NOTED
- 2- UPPER FLOOR CEILING TO BE 8' UNLESS NOTED
- 3- BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION
- 4- VERIFY ALL PLANS W/ LOCAL BUILDING CODES
- 5- HVAC & WH TO BE IN ATTIC UNLESS OTHERWISE NOTED.
- 6- PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES. REFERENCE IRC SECTION U248
- 7- ALL GLASS LOCATED WITHIN 10' OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHROOMS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED TO COMPLY WITH IRC SECTION R308.4.8



KID'S NOOK

NOTICE DUTY OF COOPERATION
 NELSON DESIGN GROUP, LLC or Michael E. Nelson assumes no liability for any harm, compensation, from this plan. Release of these plans constitutes further cooperation among the owner, the contractor, the designer, builder and manufacturer. Although the designer and his associates performed their services with due care and diligence, they cannot guarantee perfection. Compensation is provided and every settlement cannot be anticipated. Any recovery or distribution received by the use of these plans shall be reported to the designer. Failure to notify the designer of any errors, omissions and increase construction costs. A failure to cooperate by a third party in the design shall release the designer from responsibility for all consequences. Changes from the plans without the consent of the designer are prohibited and shall release the designer of responsibility for all consequences arising out of such changes. Only written changes by the Designer, Architect, Contractor, or Structural Engineer should be made to any portion of this design. Within 30 days of these drawings being prepared, contractor shall verify and be responsible for all clearances and conditions of the job. This verification shall be notified in writing to the Designer and contractor shall be responsible for any changes. Shop details must be submitted to this office for approval before proceeding with fabrication.

MAIN FLOOR PLAN / NOTES
NDG844-1R
 "Where Traditional Values and Family Come Together"



REVISIONS

4-27-05	
9-27-05	
1-12-07	
5-2-08	

Nelson Design Group, LLC
 ARCHITECTURAL PLANNING - INTERIORS



DATE: 01/24/08
 SCALE: 1/4" = 1'-0"
 DRAWN BY: NDG844
 1 OF 1