



ZONING BOARD OF APPEALS MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383
(FORMER WHITE LAKE LIBRARY)
THURSDAY, APRIL 28, 2022 – 7:00 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - A. Zoning Board of Appeals Regular Meeting of March 24, 2022
6. OLD BUSINESS
7. NEW BUSINESS
 - A. Applicant: Andrew Giles
672 N. Milford Road Suite 152
Highland, MI 48357
Location: **471 Hillwood Drive**
White Lake, MI 48383 identified as 12-21-452-015
Request: The applicant requests to construct an accessory building (garage), requiring a variance from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback.
 - B. Applicant: Andrew Bienkowski and Rachel Menard
2230 Wiggen Lane
White Lake, MI 48386
Location: **2230 Wiggen Lane**
White Lake, MI 48386 identified as 12-14-231-003
Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Side-Yard Setback, Rear-Yard Setback, and Maximum Lot Coverage.
A variance from Article 3.11.Q, Natural Features Setback is also required
 - C. Applicant: EROP, LLC (Jeff Justice)
3130 North Kandy Lane
Decatur, IL 62526
Location: **9345 Highland Road**
White Lake, MI 48386 identified as 12-23-202-006
Request: The applicant requests to construct an automobile wash establishment, requiring variances from Article 6.4.C.i, Minimum Driveway Spacing – Same Side of Road, Article 5.19.N.i.c, Dumpsters and Trash Storage Enclosures, Article 5.19.D, Required Minimum Screening and Landscaping, Article 5.9.F.iv, Prohibited Signs.
8. OTHER BUSINESS
9. NEXT MEETING DATE : May 26, 2022 Regular Meeting
10. ADJOURNMENT



Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS
REGULAR MEETING
MARCH 24, 2022**

CALL TO ORDER

Chairperson Spencer called the meeting to order at 7:00 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Clif Seiber
Michael Powell, Township Board Liaison
Debby Dehart, Planning Commission Liaison
Niklaus Schillack, Vice Chairperson
Jo Spencer, Chairperson

Others:

Justin Quagliata, Staff Planner
Hannah Micallef, Recording Secretary

6 members of the public present

APPROVAL OF AGENDA

MOVED by Member Schillack, SUPPORTED by Member Powell, to approve the agenda as presented. The motion CARRIED with a voice vote (5 yes votes).

APPROVAL OF MINUTES:

- a. Zoning Board of Appeals Regular Meeting of February 24, 2022

Member Powell said on page 9, the fourth paragraph down should read “increased” and not increases.

**MOVED by Member Seiber, SUPPORTED by Member Dehart to approve the Zoning Board of Appeals Regular Meeting Minutes of February 24th, 2022 as amended.
The motion CARRIED with a voice vote (5 yes votes).**

CONTINUING BUSINESS:

- A. Applicant: Rob Higgs
15486 Surrey
Livonia, MI 48154
Location: (1) 3811 Ormond Road
White Lake, MI 48383 identified as 12-07-329-013
(2) 12-07-329-035
Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.5.E,
R1-C Single Family Residential Front-Yard Setback, Rear-Yard Setback, Maximum Lot Coverage, and Minimum Lot Area.

Chairperson Spencer noted for the record that 13 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Dehart asked staff what was the square footage of the proposed house. Staff Planner Quagliata said the house details sheet and the plans were inconsistent and two different sizes were provided.

Member Schillack asked staff if lots 8 & 9 were combined. Staff Planner Quagliata confirmed, and said the plan showed all three lots as combined, but lot 7 was not yet combined.

Member Seiber asked staff if the unenclosed porch was not counted toward the front yard setback. Staff Planner Quagliata said a covered porch was counted towards the setback.

Robert Higgs, 15486 Surrey, Livonia, was present to speak on his case. He staked the property, as well as had a perc test done. He also received a notarized letter from the property owner's power of attorney.

Member Powell asked the applicant if he had acquired a septic field permit. Mr. Higgs said no. Member Powell suggested the applicant reduce their four bedrooms to three bedrooms and a den to better meet the requirements from the Oakland County Health Division.

Member Seiber stated the proposed location for the septic field was probably the best place for it due to lot configuration.

Member Powell said a front yard setback variance would allow the applicant to extend the roofline. The submitted plan measured the front setback from a step and not the roofline.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
 - Chairperson Spencer said the size of the house could be reduced to come into compliance with the zoning ordinance.
- B. Unique Situation
 - Member Dehart said the lot was nonconforming and steep.
- C. Not Self-Created
 - Member Powell said the lots had been in existence since they were platted.
- D. Substantial Justice
 - Member Schillack said it would be ridiculous for the house to be built narrower and it would not fit in with the surrounding neighbor's houses.
- E. Minimum Variance Necessary
 - Member Seiber said based on where the applicant's plan had the house positioned, it was the best location in regard to least impact on the surrounding neighbor's lake view.

Member Dehart MOVED to approve the variances requested by Rob Higgs from Article 3.1.5.E of the Zoning Ordinance for Parcel Number 12-07-329-013, identified as 3811 Ormond Road, and Parcel Number 12-07-329-035 in order to construct a new house that would encroach 21.9 feet into the required front yard setback. A 1,077 square foot variance from the required lot area is also granted from Article 3.1.5.E. This approval will have the following conditions:

- **A copy of the Power of Attorney shall be submitted to the Building Department.**
- **The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.**
- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **Prior to issuance of a building permit, a demolition permit shall be obtained from the Township to remove the existing buildings and structures from the subject parcels.**
- **No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Department.**
- **An as-built survey shall be required to verify the approved setbacks.**
- **The subject parcels shall be combined prior to issuance of a building permit.**
- **Revised plans shall be submitted to meet requirements of the Building Official.**

**Seiber SUPPORTED, and the motion CARRIED with a roll call vote (5 yes votes):
(Dehart/yes, Seiber/yes, Schillack/yes, Spencer/yes, Powell/yes)**

Member Powell stated the applicant did not request or need a rear yard setback variance, and the front yard setback variance was necessary to prevent obstruction of the lake view for the surrounding neighbors.

NEW BUSINESS

- A. Applicant: Ken & Tyler Strom
6040 Turnberry Drive
Commerce, MI 48382
Location: 1152 Clearwater Boulevard
White Lake, MI 48386 identified as 12-35-401-010
Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Side-Yard Setback, Maximum Lot Coverage, Minimum Lot Area, and Minimum Lot Width.

Chairperson Spencer noted for the record that 16 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Seiber asked staff if 30 percent lot coverage was ever granted by the Community Development Department. Staff Planner Quagliata said yes, if a building was able to meet all setback requirements and a lot was served by sanitary sewer.

Member Powell stated the survey showed the lot width as being narrower than what was presented on the staff report.

Member Dehart said there was standing water on the lot, and the lot to the south did as well. She wanted to know where water runoff would go if the house was built.

David Smith, 8615 Richardson, was present to speak on the case on behalf of the applicant. He said the lot was platted in the early 1900s and was hard to survey. The lot width was about 46 feet at a perpendicular angle. He tried to refrain from requesting front and rear yard setbacks, and a storm system would be proposed to drain water into the lake and away from the neighbor's properties.

Chairperson Spencer asked if the lots were combined and separated at one point. Mr. Smith said no, and the lots were purchased separately by the applicant. He added the lot was a typical lake lot, with mushy soils, and the house foundation on the subject lot would require helical piers.

Chairperson Spencer opened the public hearing at 7:48 P.M. Seeing no public comment, she closed the public hearing at 7:48 P.M.

Member Seiber said the applicant demonstrated a good effort by trying to get as compliant with the side yard setbacks as possible, since the width of the lot was narrow.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Dehart said the lot was platted years ago and was nonconforming.
- B. Unique Situation
 - Member Powell said the plat predated the zoning ordinance.
- C. Not Self-Created
 - Member Dehart said the applicant did not plat the lot.
- D. Substantial Justice
 - Member Powell said the lot was typical for the plat.
- E. Minimum Variance Necessary
 - Chairperson Spencer said the side yard setback variances were minimal.

Member Powell MOVED to approve the variances requested by Ken & Tyler Strom from Articles 3.1.6.E of the Zoning Ordinance for Parcel Number 12-35-401-010, identified as 1152 Clearwater Boulevard, in order to construct a new house that would encroach 1.6 feet into the north side lot line and 1.4 feet from the south side lot line and exceed the allowed lot coverage by 2.2%. A 34-foot variance from the required lot width and a 2,538 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**
- **No mechanical units, including HVAC system or generator, shall be placed closer than five (5) feet to any side yard lot line.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Department.**
- **An as-built survey shall be required to verify the approved setbacks and lot coverage.**
- **A storm sewer line shall be installed and downspouts attached on the house to carry storm water to the lake.**

SUPPORT by Member Dehart and the motion CARRIED with a roll call vote (5 yes votes): (Powell/yes, Dehart/yes, Spencer/yes, Schillack/yes, Seiber/yes).

- B. Applicant: Angela and Michael Runyan
661 Oxhill Court
White Lake, MI 48386
Location: 661 Oxhill Court
White Lake, MI 48386 identified as 12-23-177-008
Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct a second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.5.E, R1-C Single Family Residential Minimum Lot Area and Minimum Lot Width.
A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.

Chairperson Spencer noted for the record that 21 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Angela and Michael Runyan were present to speak on their case. They said they had outgrown the house, and instead of moving, they had chosen to add on to the existing house.

Chairperson Spencer asked the applicant if they considered moving the second story to meet setbacks. The applicant said they considered it, but it would eliminate living space and the proposed plan would be more aesthetically pleasing.

Member Powell said the applicant's design was practical and to shift the second story would cause for poles to be installed in the middle of the garage.

Member Seiber asked if a firewall was required between the garage and the living space. Member Powell said yes, but that would be a Building Department requirement.

Chairperson Spencer opened the public hearing at 8:10 P.M. Seeing no public comment, she closed the public hearing at 8:10 P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
- Member Dehart said the cul- de-sac caused the parcel to be nonconforming.
 - Member Powell said the placement of the house by the original builder was inappropriate.
- B. Unique Situation
- Member Schillack said the way the road was cut and the house was placed on the lot made for a unique situation.

C. Not Self-Created

- Member Schillack said the way the road was cut and the house was placed on the lot were not self-created by the applicant.

D. Substantial Justice

- Member Powell said none of the other surrounding houses would have an issue with a similar addition the existing house did due to its placement.

E. Minimum Variance Necessary

- The structural walls in the garage were needed to support the addition.

Member Schillack MOVED move to approve the variances requested by Angela and Michael Runyan from Article 3.1.5.E, Article 7.23.A, and Article 7.28.A of the Zoning Ordinance for Parcel Number 12- 23-177-008, identified as 661 Oxhill Court, in order to construct a second-story addition. Variances from Article 7.23.A are granted to allow: the addition to encroach 0.2 feet into the required setback from the west side lot line and 5.7 feet into the required front yard setback. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 156%. A 7.96-foot variance from the required lot width and a 3,367.6 square foot variance from the required lot area are also granted from Article 3.1.5.E. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department**

Dehart SUPPORTED and the motion **CARRIED** with a roll call vote (5 yes votes): (Schillack/yes, Dehart/yes, Seiber/yes, Spencer/yes, Powell/yes).

OTHER BUSINESS

A. Zoning Ordinance Discussion – Part 3

Staff Planner Quagliata said there would be a future special meeting for further conversation on the zoning ordinance.

ADJOURNMENT

MOVED by Member Seiber, **SUPPORTED** by Member Dehart to adjourn the meeting at 8:24 P.M. The motion **CARRIED** with a voice vote (5 yes votes).

NEXT MEETING DATE: April 28, 2022 Regular Meeting

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: April 28, 2022

Agenda item: 7a

Appeal Date: April 28, 2022

Applicant: Andrew Giles

Address: 672 N. Milford Road Suite 152
Highland, MI 48357

Zoning: R1-D Single Family Residential

Location: 471 Hillwood Drive
White Lake, MI 48383

Property Description

The approximately 0.549-acre (23,914.44 square feet) parcel identified as 471 Hillwood Drive is located on the west side of Hillwood Drive, south of Moorecroft Avenue, and zoned R1-D (Single Family Residential). The existing single-family house on the property (approximately 1,320 square feet in size) utilizes a private well for potable water and a private septic system for sanitation. The property, Lots 198 and 199 of Brendel Heights, contains 100 feet in width at the street line.

Applicant’s Proposal

Andrew Giles, the applicant, on behalf of property owners Benjamin Nelms and Amy Nelms, is proposing to construct a 21.67-foot by 25.16-foot accessory building (545.22 square foot detached garage).

Planner’s Report

The proposed accessory building (detached garage) would be located 14.82 feet from the front property line; therefore, the applicant is requesting to encroach 15.18 feet into the front yard setback (30 feet in the R1-D zoning district). Note the architectural plans do not scale to the building dimensions labeled.

The requested variance is listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.1.6.E	Front yard setback	30 feet	15.18 feet	14.82 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variance requested by Andrew Giles from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-21-452-015, identified as 471 Hillwood Drive, in order to construct an accessory building (detached garage) that would encroach 15.18 feet into the required front yard setback. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- Plans drawn to scale shall be submitted to meet requirements of the Building Official.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks.

Denial: I move to deny the variance requested by Andrew Giles for Parcel Number 12-21-452-015, identified as 471 Hillwood Drive, due to the following reason(s):

Table: I move to table the variance request of Andrew Giles for Parcel Number 12-21-452-015, identified as 471 Hillwood Drive, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated December 20, 2021.
2. Applicant's written statement dated January 16, 2022.
3. Survey prepared by Thomas M. Smith dated February 17, 2022.
4. Architectural plans prepared by Western Construction, Inc. dated 2010.
5. Letter of denial from the Building Official dated November 5, 2021.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
Zoning Board of Appeals
APPLICATION

Item A.

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Andrew Giles PHONE: 248 568 4318
ADDRESS: 672 N. Milford Rd Suite 152 Highland MI 48357
APPLICANT'S EMAIL ADDRESS: Andrew @ GilescontractingLLC.com
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 471 Hillwood PARCEL # 12-21-452-015
CURRENT ZONING: _____ PARCEL SIZE: 100 x 222

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Front Set Back
VALUE OF IMPROVEMENT: \$ 25K SEV OF EXISITING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)
See attached,

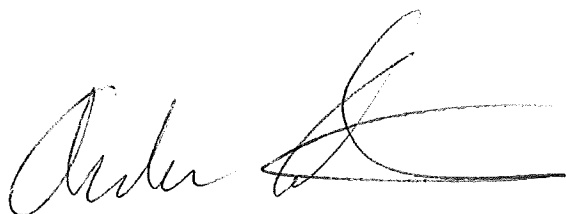
APPLICATION FEE: 385 (CALCULATED BY THE PLANNING DEPARTMENT)
APPLICANT'S SIGNATURE: [Signature] DATE: 12/30/21

January 16, 2022

To Whom It my concern:

We are requesting a front yard set back variance to build a garage on an existing footing and slab installed prior to purchasing the home.

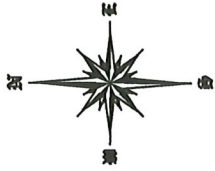
Due to the unique location and topography of this lake lot, prior owners installed a garage footing and slab in the only location on the property that would work. However, they never finished the framing part of the project. We are looking to build the garage on this existing footing and slab. This property can't reasonably be used in a manner which is consistent with the requirements of the zoning ordinance. This ordinance is denying the owner privileges enjoyed by neighboring properties. Because the garage was installed in the only location on the property prior to purchasing the home the variance request isn't created by the applicant. This variance would not in any way damage neighboring properties nor constitute an undesirable precedent. This variance request isn't because of personal or economic hardship but rather a unique physical situation of the property on this lake and street. This variance constitutes a minimum action necessary to permit reasonable use of the land. Therefore, due to the lake lot size, topography, existing garage footing and slab, we are requesting a variance in the front set back to be able to finish this project started by others to construction the walls and roof. Thanks for your time.

A handwritten signature in black ink, appearing to read "Arden" followed by a stylized surname.

CERTIFICATE OF SURVEY

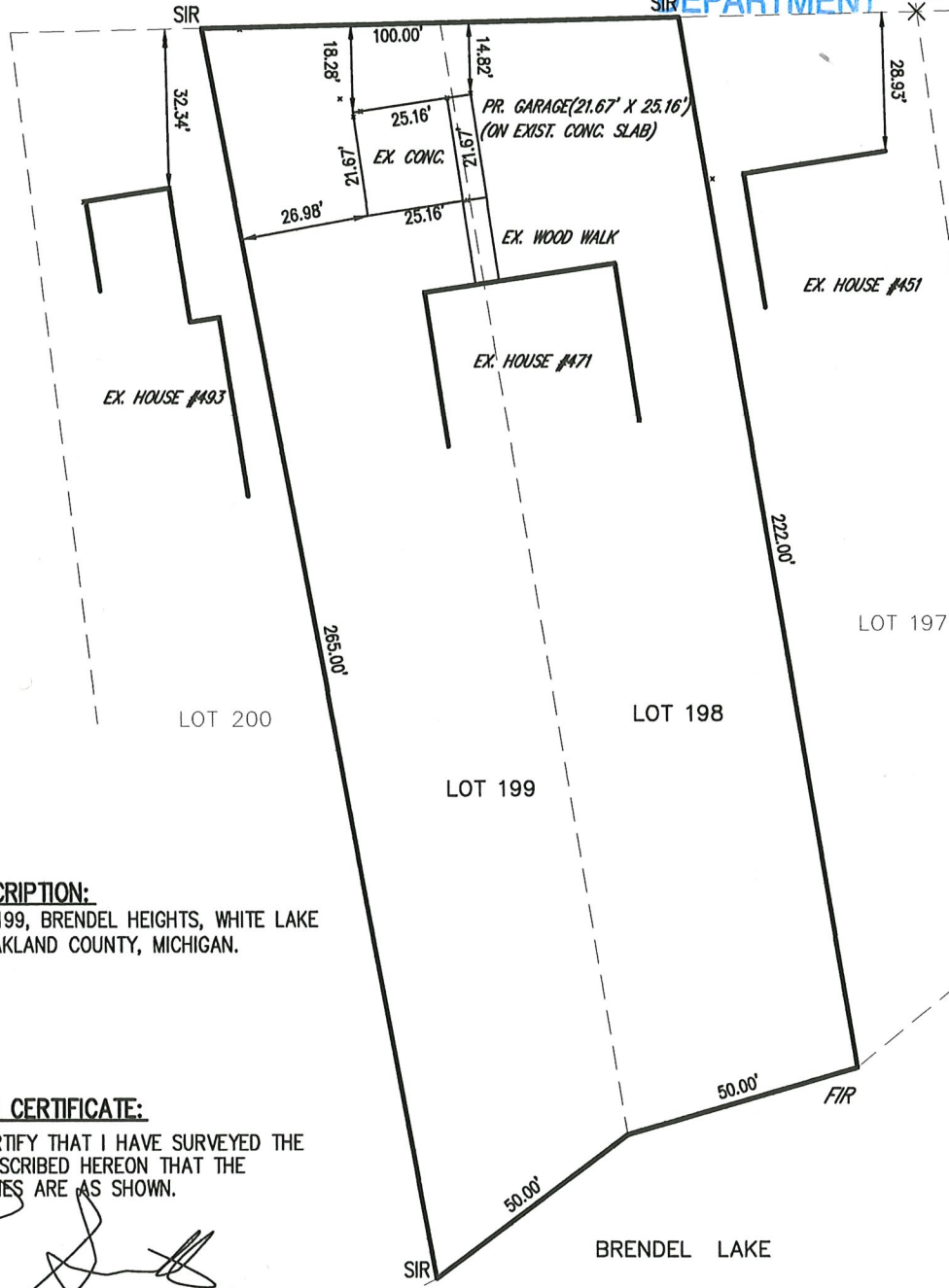
RECEIVED

MAR - 1 2022



HILLWOOD
(50 FT WD)

BUILDING
DEPARTMENT



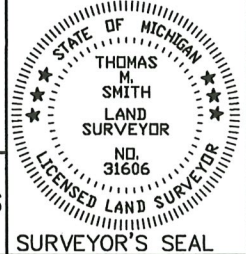
LEGAL DESCRIPTION:
 LOTS 198 & 199, BRENDEL HEIGHTS, WHITE LAKE
 TOWNSHIP, OAKLAND COUNTY, MICHIGAN.

SURVEYORS CERTIFICATE:
 I HEREBY CERTIFY THAT I HAVE SURVEYED THE
 PROPERTY DESCRIBED HEREON THAT THE
 PROPERTY LINES ARE AS SHOWN.

[Signature]
 THOMAS M. SMITH R.L.S. No. 31606

ISSUED FOR: _____ REV'D BY: _____ ISSUED FOR: _____ REV'D BY: _____

THOMAS M. SMITH P.S.
 PROFESSIONAL LAND SURVEYOR
 7559 OLDE STURBRIDGE TRAIL tsmith7559@yahoo.com
 CLARKSTON, MICHIGAN 48348 PHONE: (248) 625-3276



DRAWN BY TMS JOB No. 22-110

DESCRIPTION
 LOTS 198-199, BRENDEL HGHTS
 471 HILLWOOD

DATE 02-17-22 SHEET No. 1 SCALE 1"=30'

SURVEYOR'S SEAL

ALL FRAMING LUMBER TO BE HEM-FIR #2 & BETTER.

FOUNDATION

FLOATING MONOLITHIC SLAB - BROOM FINISH
4000# / 6 BAG MIX / 4% AIR-ENTRAINED
4" MIN THICK SLAB, 8" WIDE X 8" THICK PERIMETER
6X6 10 GA. WELDED WIRE MESH REINFORCED
2 @ 1/2" REBAR PERIMETER, SHARP BEND @ CORNERS
2" MIN COVERAGE ON ALL REINFORCEMENT
4" MIN COMPACTED GRANULAR FILL BASE
TOP OF SLAB 6" MIN ABOVE GRADE
1 COURSE 6" CONCRETE BLOCK
1/2" X 12" VERT REBAR @ 48" O/C GROUT SOLID

ANCHOR BOLTS:

1/2" X 16" RIGHT ANGLE - 7" EMBEDDED, 2" MIN EXPOSED
7" FROM OUTSIDE CORNERS - EACH WAY
11' 6" & 12' 6" FROM REAR CORNER - EACH SIDE
6' 0" MAX SPACING
GROUT CORES SOLID AT ANCHOR BOLT LOCATIONS

24" CONCRETE APRON - 1/2" EXPANSION JOINT - SLOPE AWAY @ 1/4"/FT

WALL FRAMING

8' 0" CEILING HEIGHT (SLAB TO TOP PLATE)
2" X 4" STUDS @ 16" O/C WITH 2" X 6" TREATED SOLE PLATES & SEAL
DOUBLE 2" X 4" TOP PLATES. STAGGER TOP PLATE SEAMS 48" MIN -
INTERLOCK AT CORNERS
12' 0" TREATED SOLE PLATES FROM BACK EDGE - BOTH SIDES

OVERHEAD DOOR ROUGH OPENING

16' 0" X 6' 11-1/4" (ADD 3" TO ROUGH OPENING WIDTH FOR MASONARY
OPENING)
2 @ 2" X 12" BUILT-UP HEADER WITH DOUBLE TRIMMERS @ EACH SIDE OF
ROUGH OPENING. DOOR TRIMMERS EXTEND TO SLAB AT MASONARY OPENINGS.

SERVICE DOOR ROUGH OPENINGS

38" X 82" (3' 0" SERVICE DOOR, FLUSH, STEEL, W/BRICKMOLD) (DOORCRAFT
#EL-1) (ADD 3" TO ROUGH OPENING WIDTH FOR MASONARY OPENING)
2 @ 2" X 6" BUILT UP HEADER WITH SINGLE TRIMMERS @ EACH SIDE OF ROUGH
OPENING. DOOR TRIMMERS EXTEND TO SLAB AT MASONARY OPENINGS.

WINDOW ROUGH OPENING

46-1/2" X 20-1/2" (ALUMINUM SLIDER, NO BRICKMOLD) (HAYFIELD #M260)
2 @ 2" X 6" BUILT-UP HEADER WITH SINGLE TRIMMERS AT EACH SIDE OF ROUGH
OPENING.

Item A.

ROOF FRAMING - ATTIC TRUSS

10:12 ATTIC TRUSS 24" O/C (12' 0" STORAGE WIDTH)
2" X 8" BOTTOM CHORD, 40 LBS/SQ FT LOADING - 3/4" T&G OSB FLOOR
2" X 4" CONTINUOUS HORIZ. STRONGBACKS AT EACH SIDE OF STORAGE AREA.
45° - 2" X 4" BRACES FROM GABLE TRUSS TO STRONGBACKS. (2 PER GABLE)

OVERHANG - 12"

1" X 2" LEDGER
2" X 4" LOOKOUTS (USE TRUSS TAIL CUT-OFFS)
3/8" CEDAR PLYWOOD SOFFIT
1" X 6" FASCIA WITH 1" X 2" DRIP EDGE

RAKE - FLUSH

1/2" SPACER
1" X 6" FASCIA WITH 1" X 2" DRIP EDGE

SHEATHING

OSB EXTENDS TO ROUGH OPENINGS
7/16" OSB WALL SHEATHING TO UNDERSIDE OF RAFTER TAILS AND TO
UNDERSIDE OF ROOF SHEATHING AT GABLES.
7/16" OSB ROOF SHEATHING W/ "H" CLIPS. EDGE OSB ROOF SHEATHING FLUSH
WITH RAFTER TAIL FACE

ROOFING

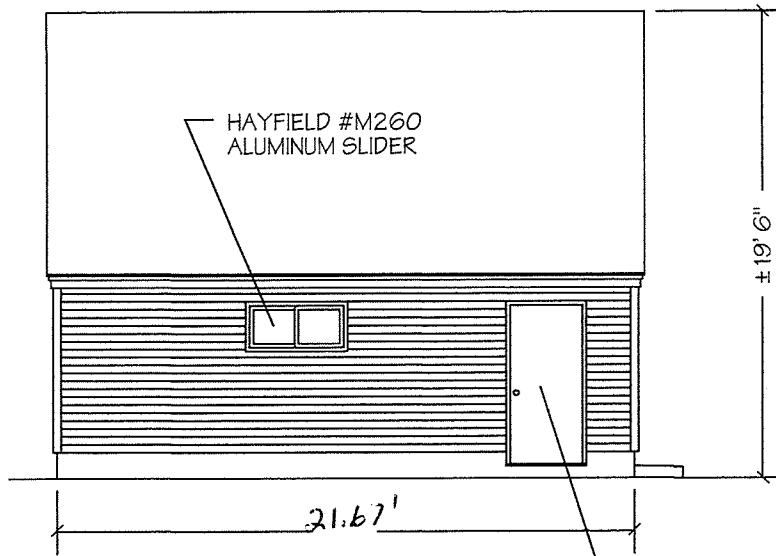
ICE & WATER SHIELD FROM ROOF EDGE TO 24" BEYOND PLATE LINE
15# FELT UNDERLAYMENT, SELF SEALING SHINGLES.
EXTEND SHINGLES 3/4" BEYOND FACE OF 1" X 2" DRIP EDGE

SIDING

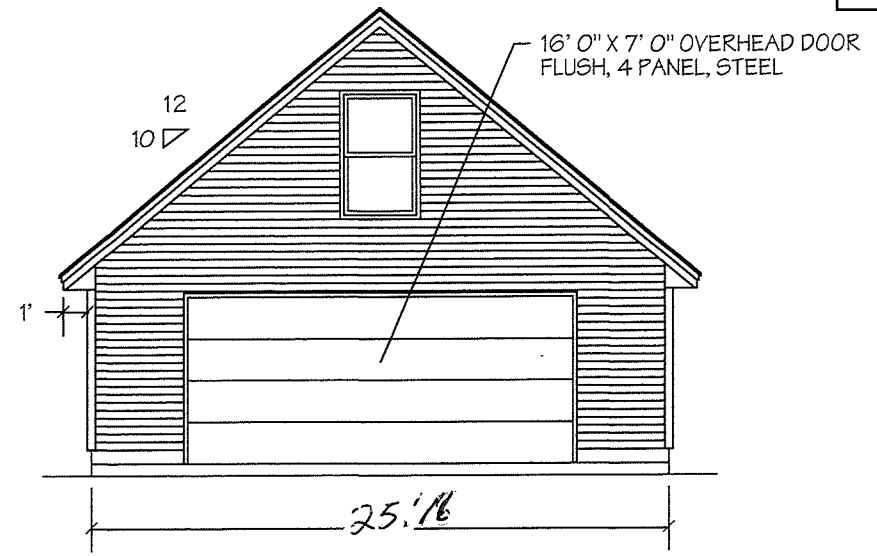
FINISH SIDING PER OWNER SELECTION
FLASH ALL EXTERIOR WALL OPENINGS

TRIM

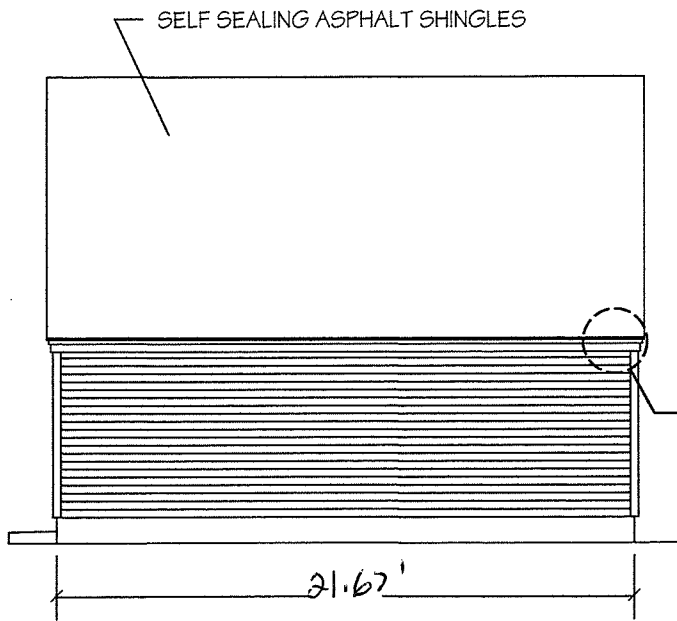
1" X 4" JAMB AT OVERHEAD DOOR
3/4" QUARTER ROUND COVE - OR - 1" X 2" COVE BOARD
BRICKMOLD APPLIED ON TOP OF WALL SHEATHING.



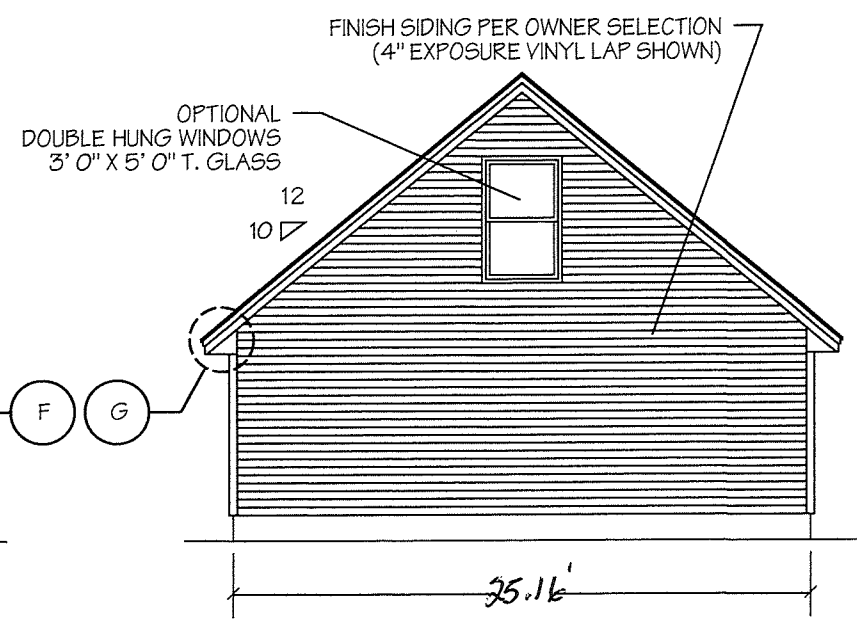
EAST



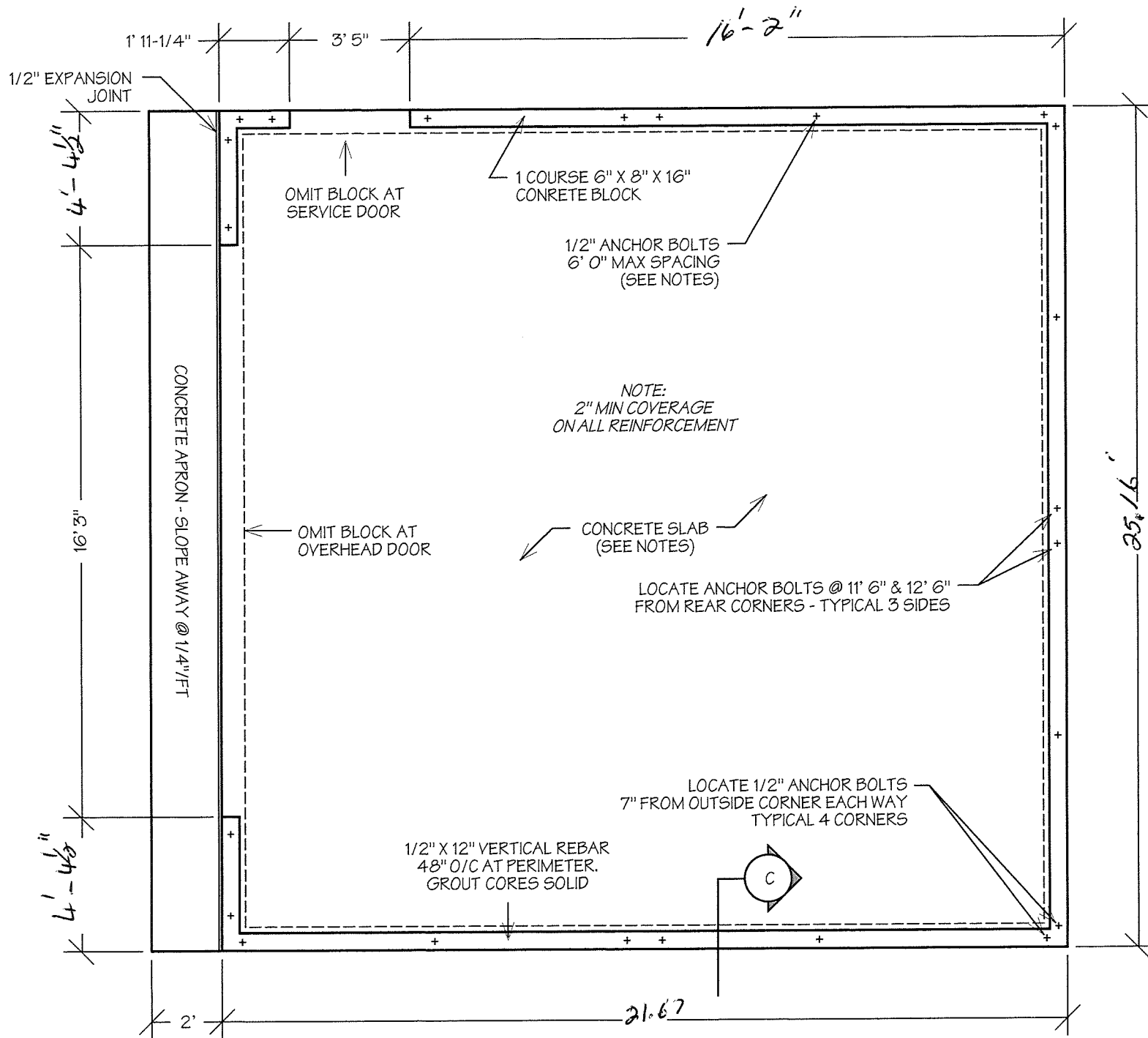
NORTH

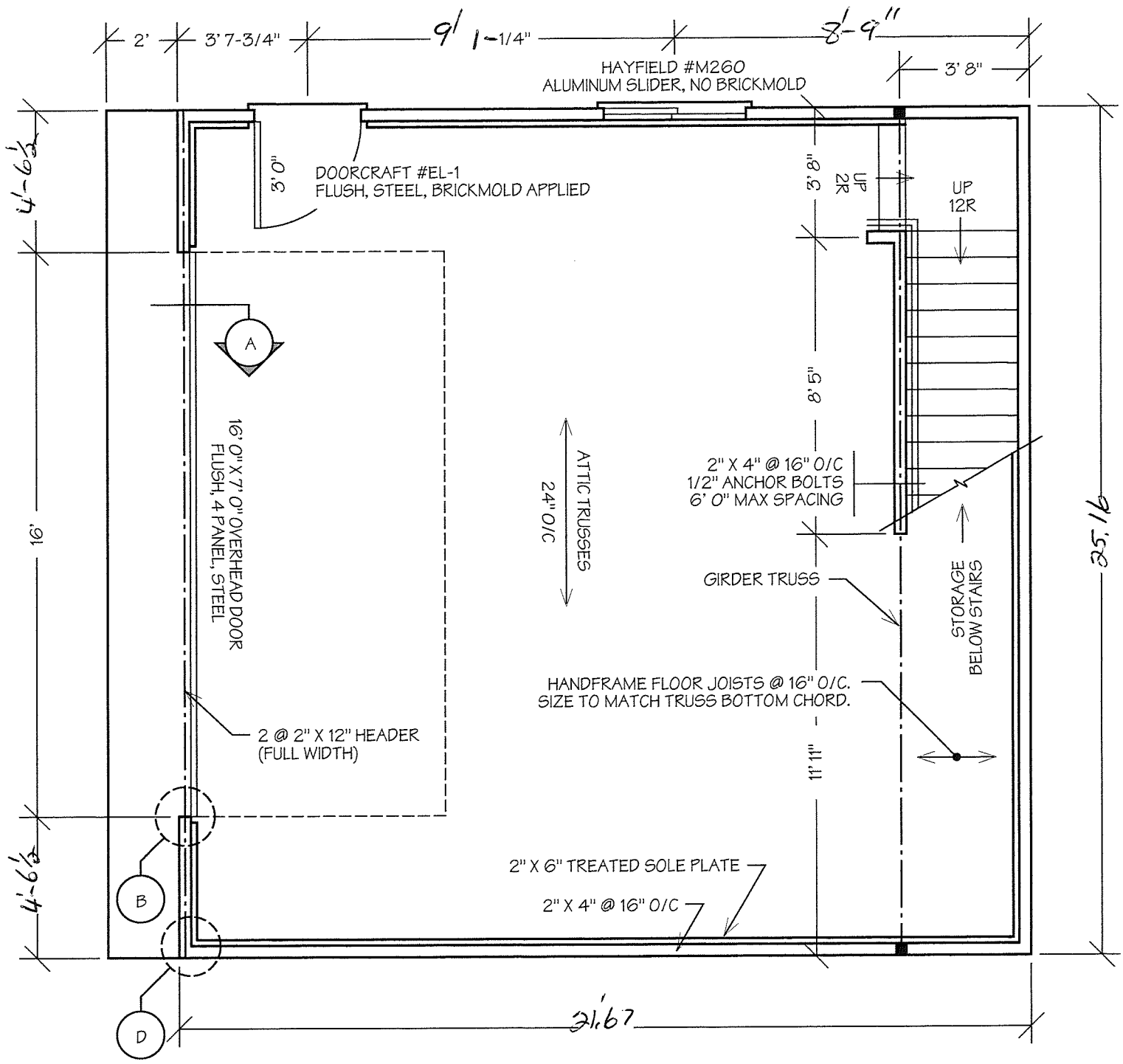


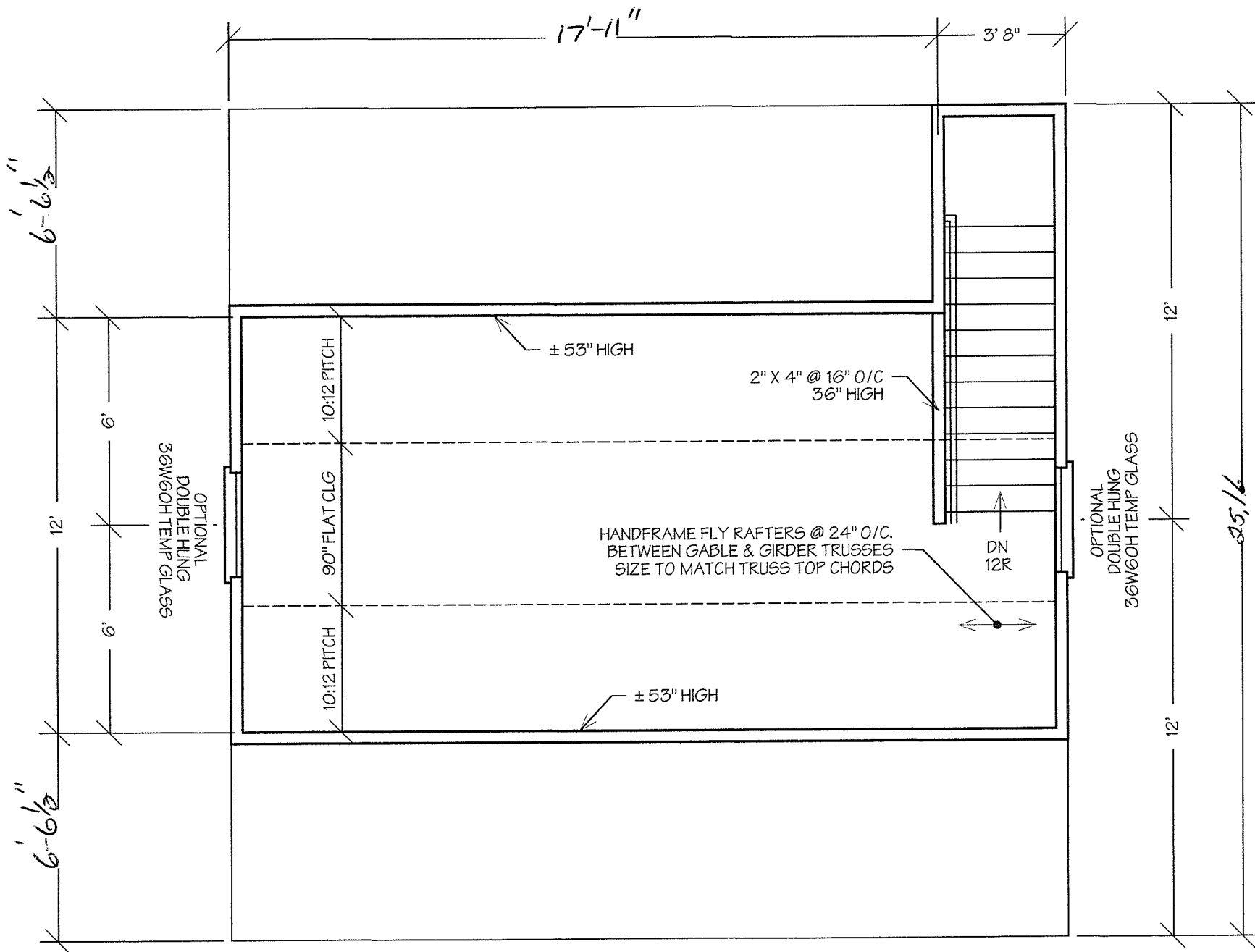
WEST

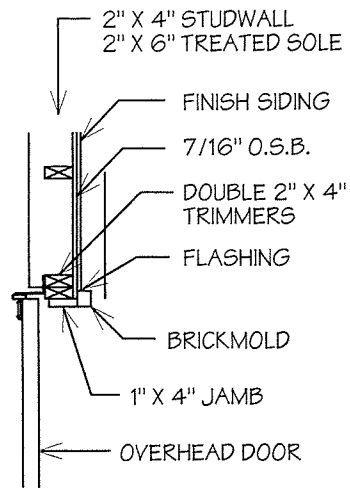


SOUTH

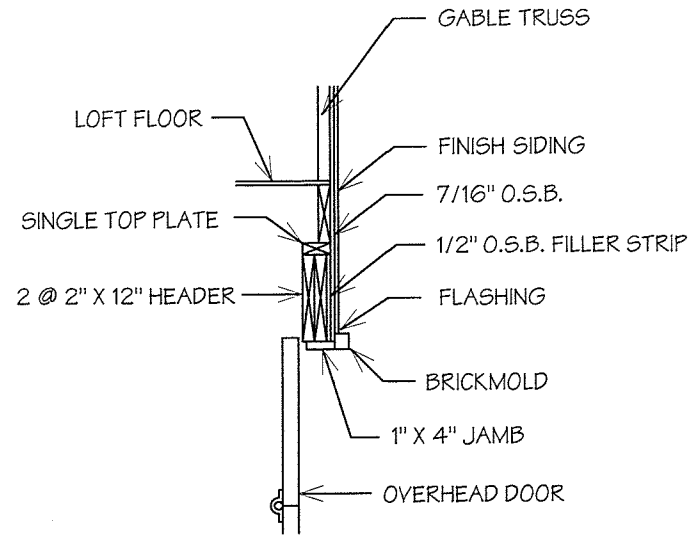




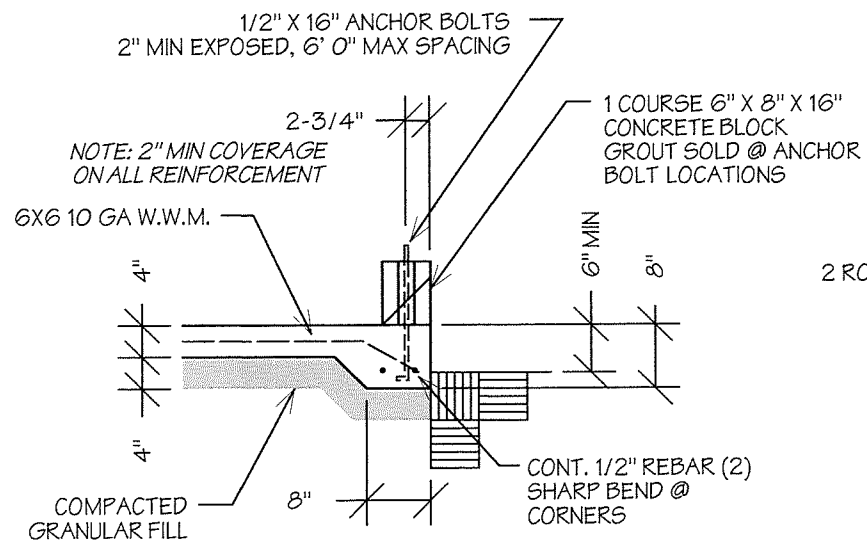




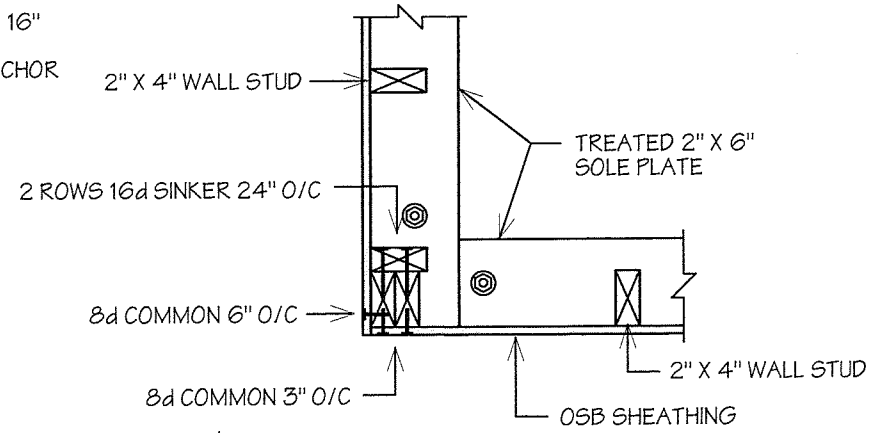
(A) SECTION THRU OHD JAMB
SCALE: 1/2" = 1' 0"



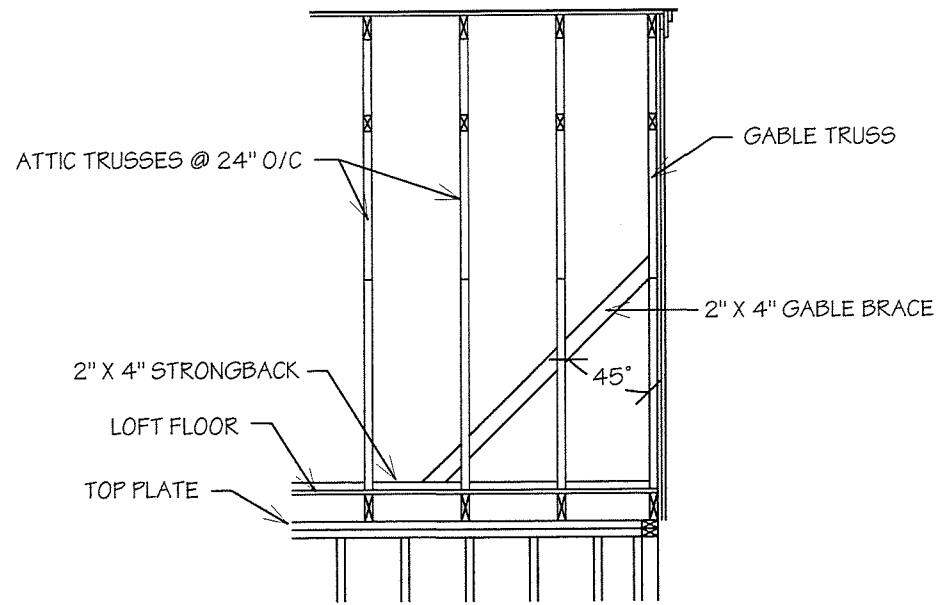
(B) SECTION THRU OHD HEADER
SCALE: 1/2" = 1' 0"



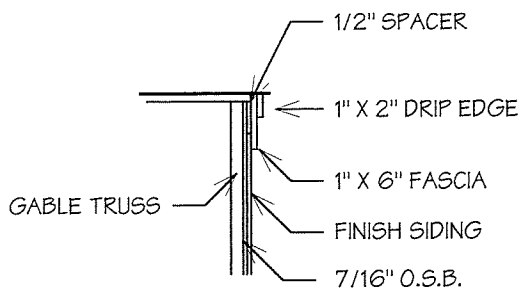
(C) SLAB EDGE DETAIL
SCALE: 1/2" = 1' 0"



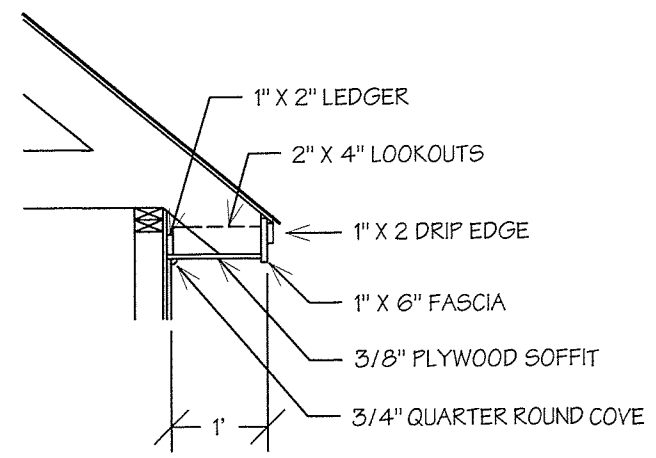
(D) CORNER FRAMING DETAIL
SCALE: 1" = 1' 0"



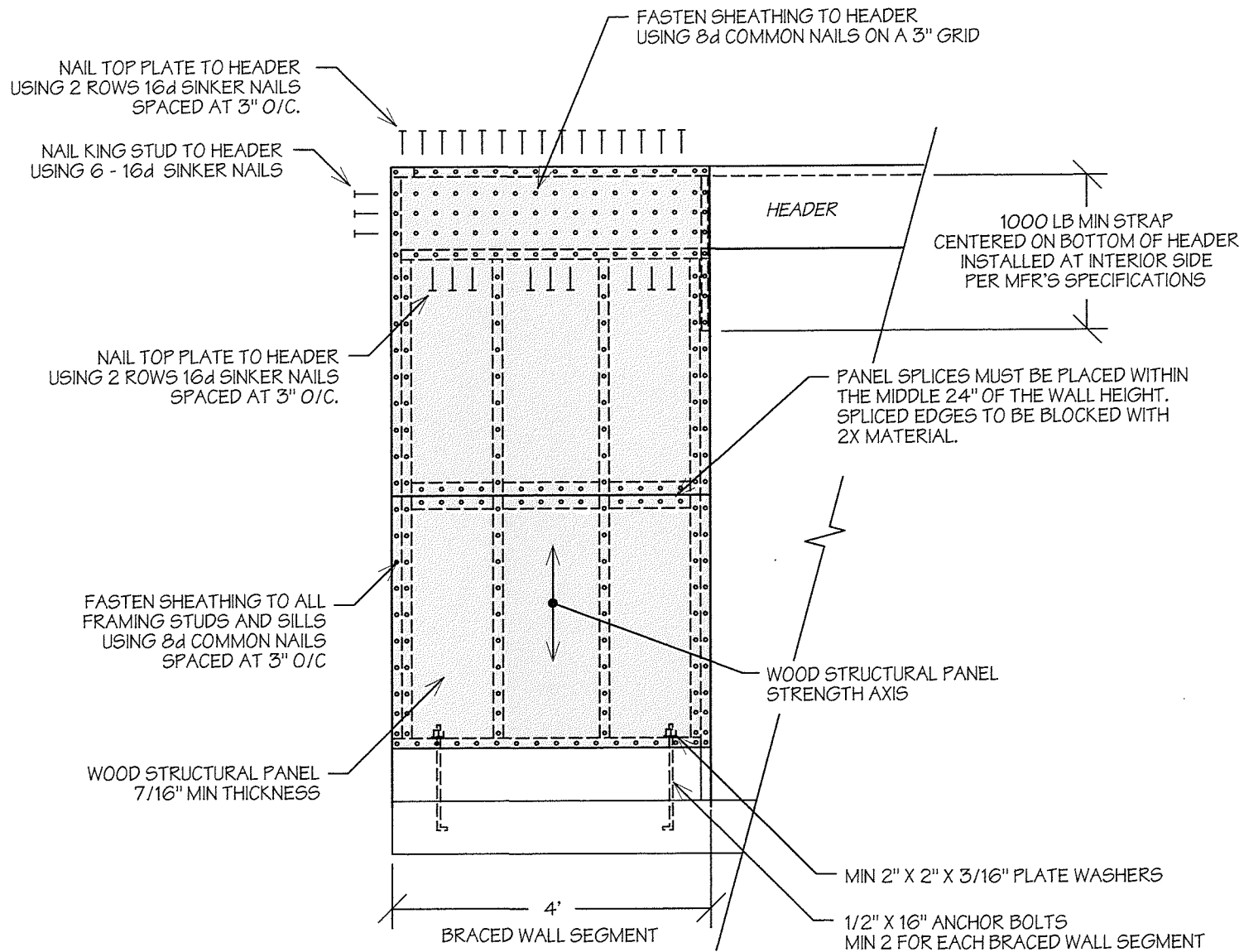
E GABLE BRACE DETAIL
SCALE: 1/4" = 1' 0"

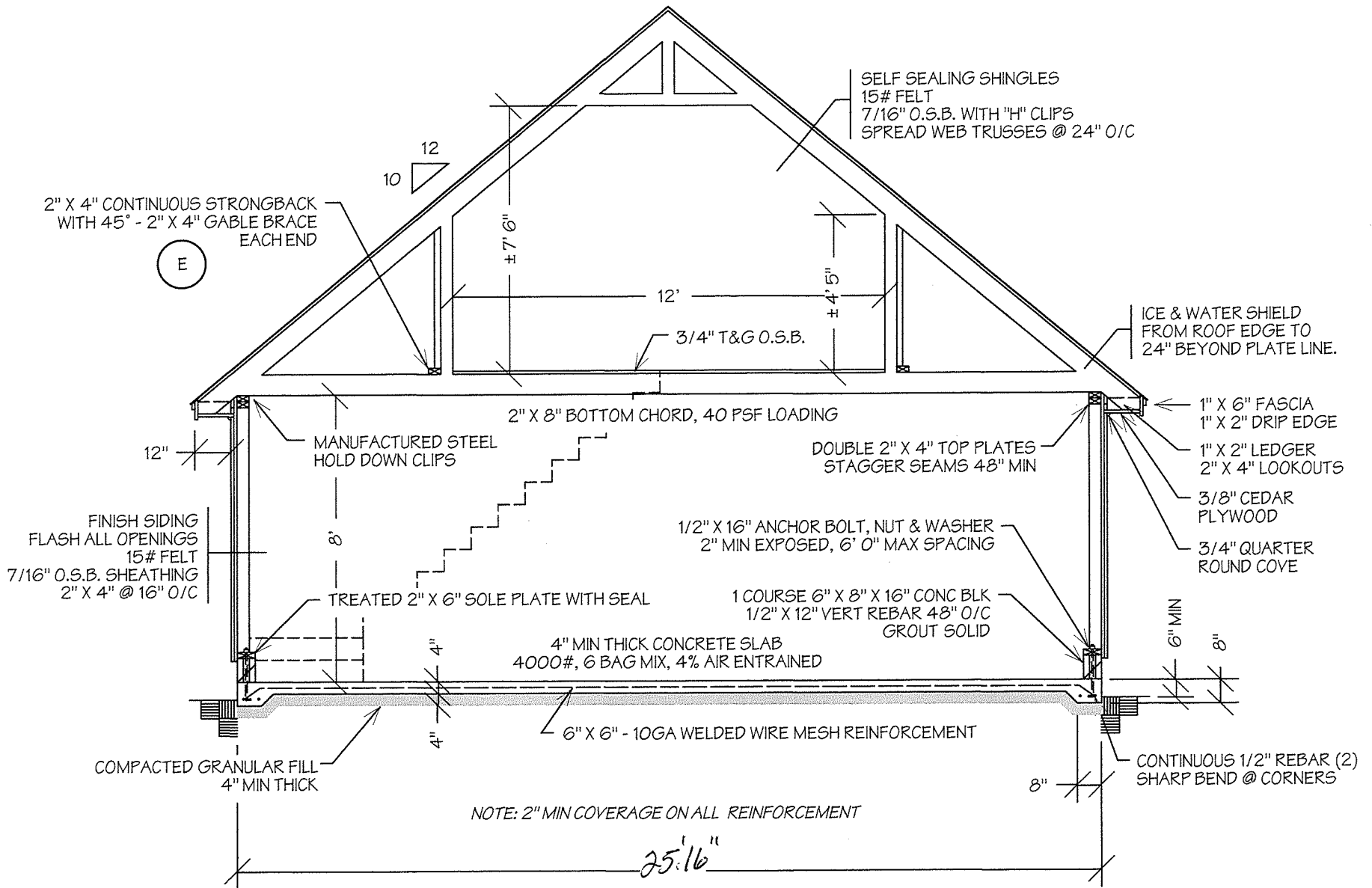


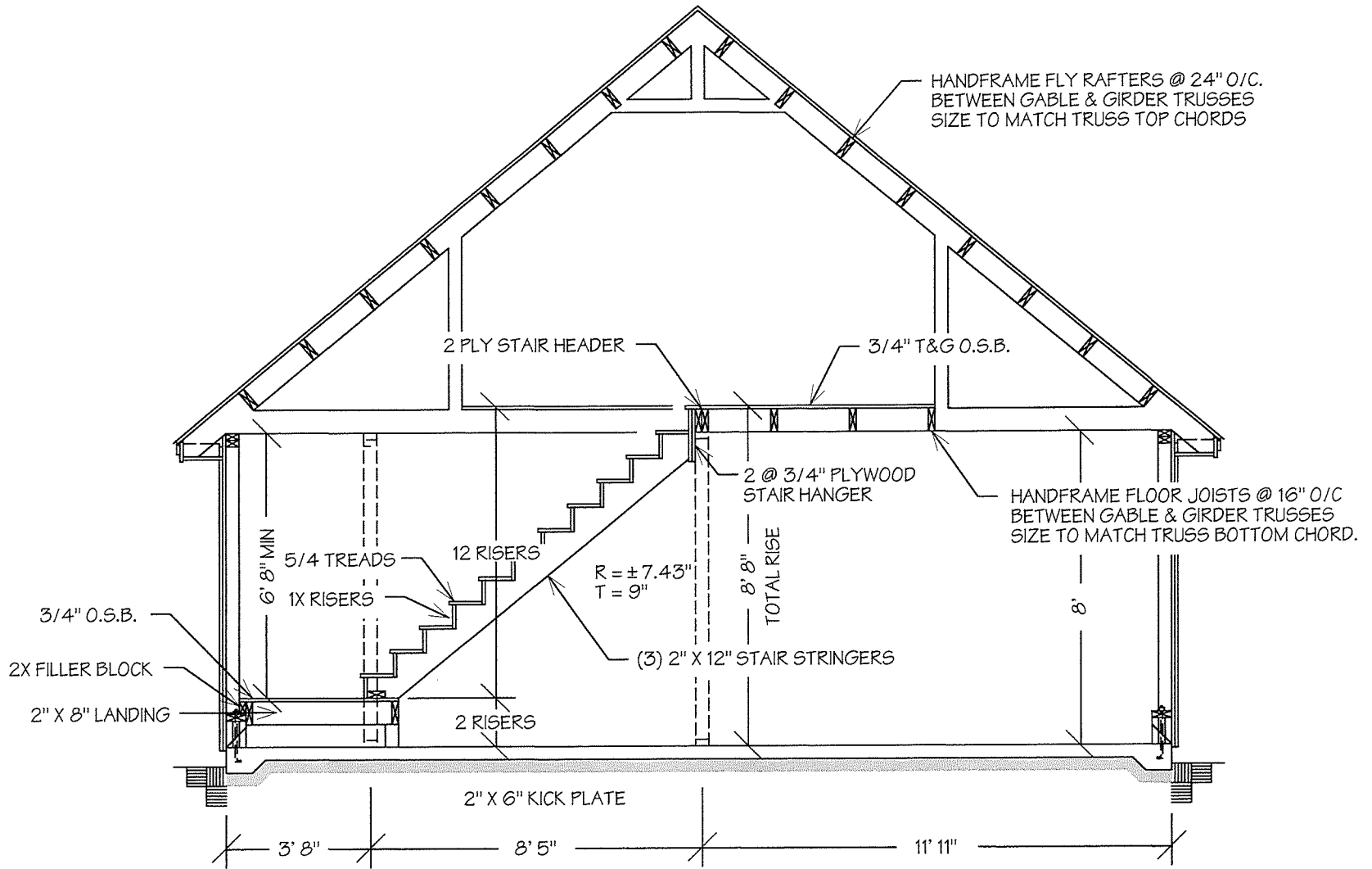
F GABLE RAKE DETAIL
SCALE: 1/2" = 1' 0"

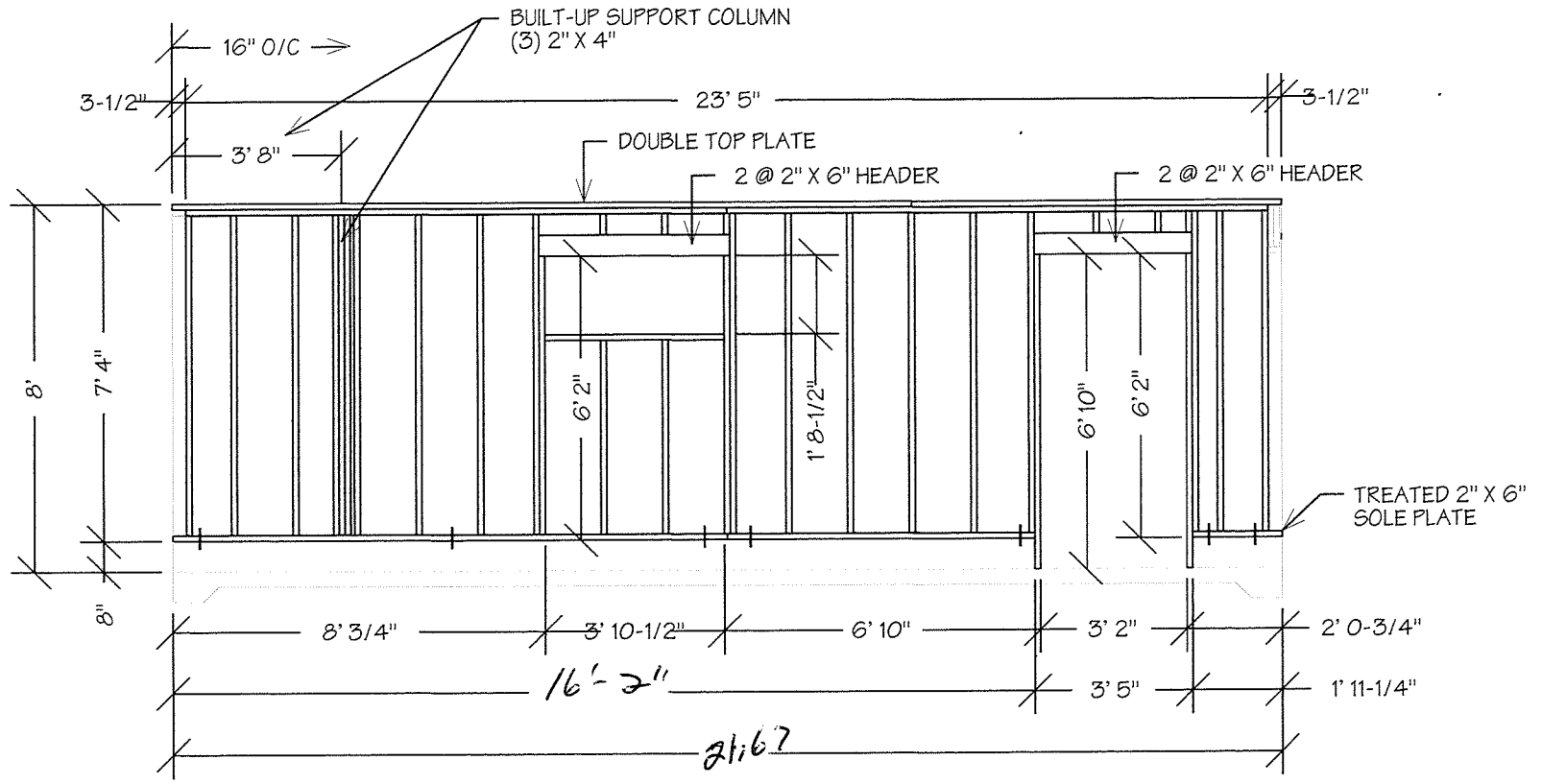


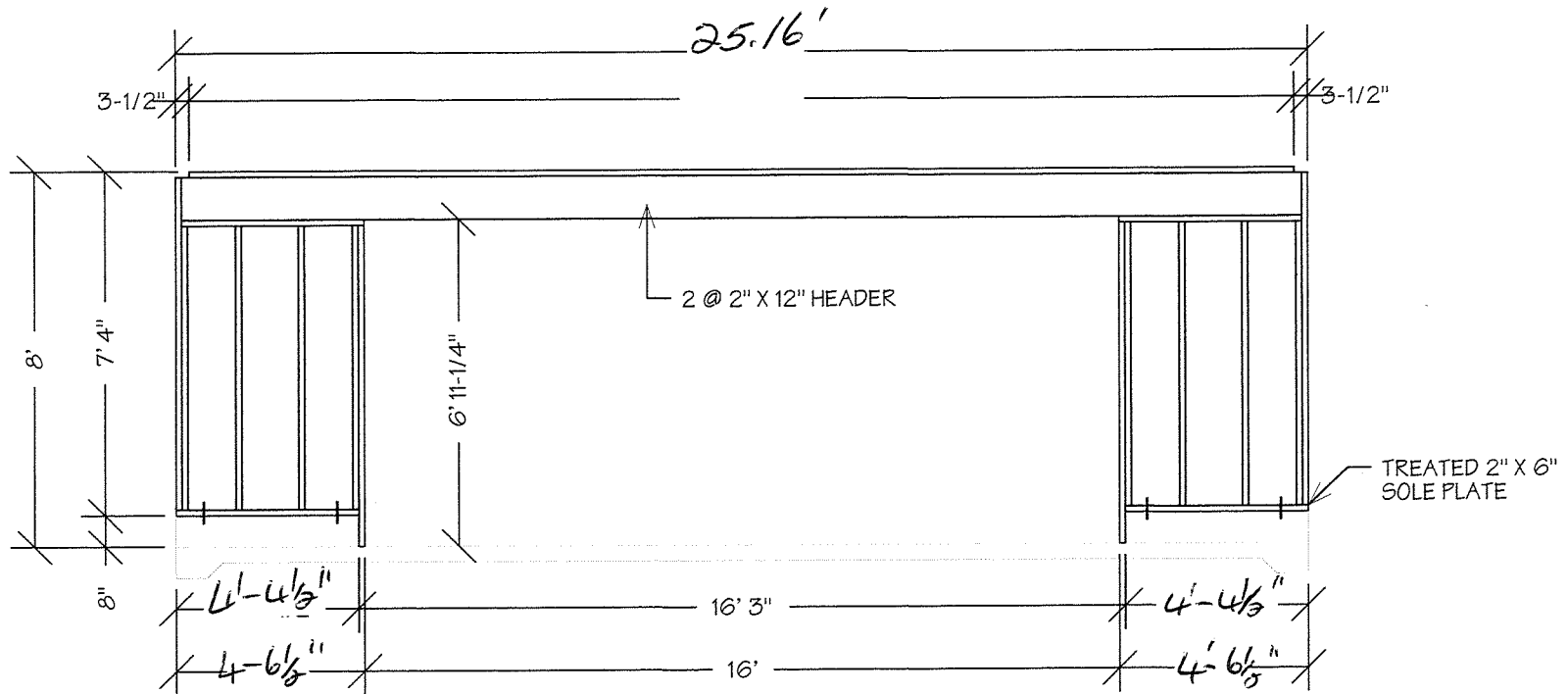
G OVERHANG DETAIL
SCALE: 1/2" = 1' 0"

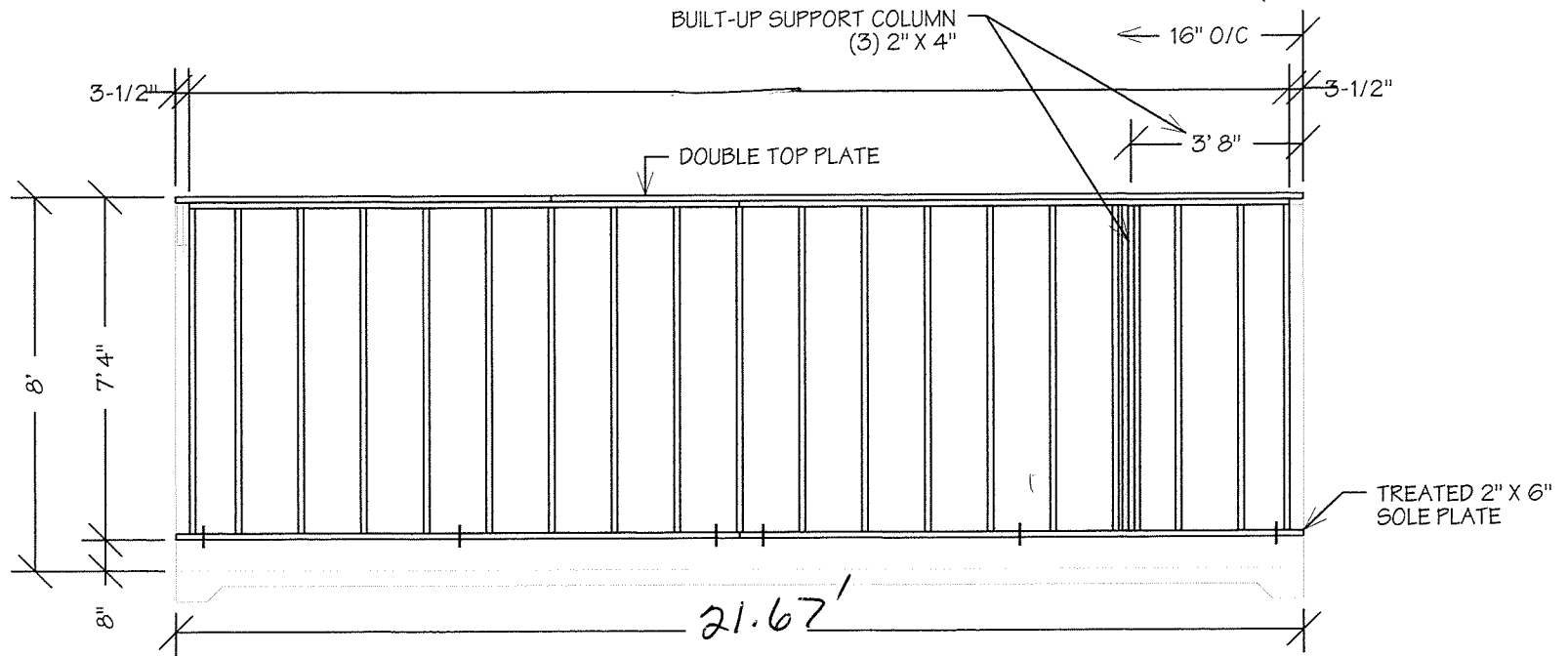


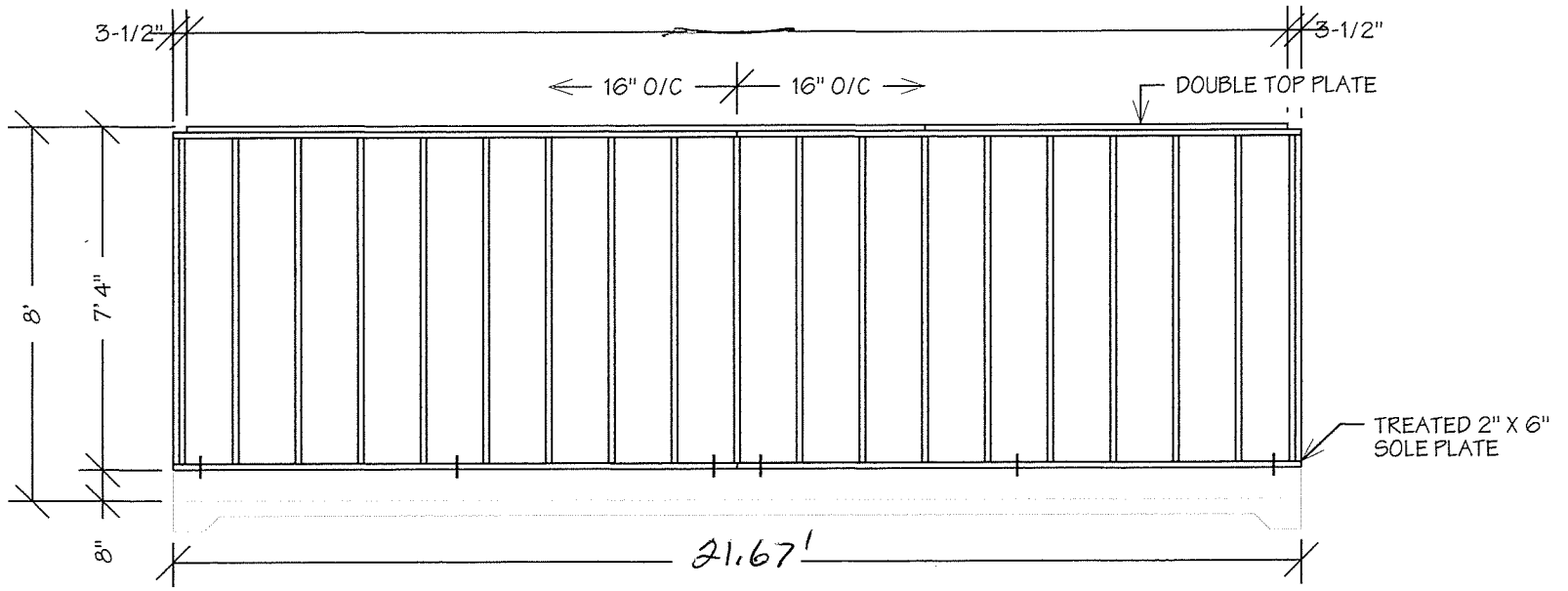












Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

November 5, 2021

Amy Nelms
471 Hillwood Rd
White Lake, MI 48383

RE: Proposed Accessory Structure

Based on the submitted plans, the proposed accessory structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum front yard setback of 30 ft

The proposed accessory structure would be non-conforming, projecting approximately 11 ft into the front yard setback.

Approval of the building plans would be subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the January 27th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than December 16th at 4:30 PM. **A certified boundary and location survey will be required by the ZBA.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,



Nick Spencer, Building Official
White Lake Township

CC Andy Giles

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: April 28, 2022

Agenda item: 7b

Appeal Date: April 28, 2022

Applicant: Andrew Bienkowski and Rachel Menard

Address: 2230 Wigen Lane
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Location: 2230 Wigen Lane
White Lake, MI 48386

Property Description

The approximately 0.18-acre (7,840 square feet) parcel identified as 2230 Wigen Lane is located on Pontiac Lake and zoned R1-D (Single Family Residential). The existing house on the property (approximately 1,852 square feet in size) utilizes a private well for potable water and the public sanitary sewer system for sanitation.

Applicant's Proposal

Andrew Bienkowski and Rachel Menard, the applicants, are proposing to demolish the existing house (including attached garage) and construct a new house.

Planner's Report

On September 23, 2004 the Zoning Board of Appeals (ZBA) approved variance requests to construct the two-car attached garage and 280 square foot living space addition. The following variances were previously granted:

- 2-foot variance from the south side yard setback
- 3-foot variance from the distance between neighbors
- 1.9% (or 168.8 square foot) variance to exceed the maximum lot coverage
- 30-foot variance from the required lot width
- 3,134 square foot variance from the required lot area

Based on the survey submitted with the current variance application, the property is 7,840 square feet in size (4,160 square feet deficient in area). There is a 1,026 square foot difference in the deficiency of area and 2004 variance granted for lot area (12,000 square feet required in the R1-D zoning district). Staff did not publish a lot area or lot width variance request as the property previously received variances from those requirements.

The existing building on the property is approximately 1,852 square feet in size (including the 24 foot by 24 foot (576 square feet) two-car attached garage). The garage and living space addition built in 2004 did not comply with the variances granted by the ZBA. The garage is 5.40 feet from the north side property line and 23.55 feet from the front property line (no variances were granted from those setbacks). The living space addition is 4.32 feet from the south side property line. Furthermore, the lot coverage variance granted was not accurate. According to the submitted plot plan, the existing lot coverage is 24.76%, which is 2.86% more coverage than granted in 2004; this could be attributed to a different lot area being considered in 2004.

Based on the submitted plans, the proposed two-story house with attached two-car garage is approximately 4,175 square feet in size (first floor: 1,670 square feet; second floor: 1,913 square feet; garage: 592 square feet). As proposed, the house would be located 6.27 feet from the north side lot line and 6.90 feet from the south side lot line, requiring variances from the 10-foot side yard setback. Additionally, the new house would be located 26 feet from the front property line; therefore, a 4-foot variance is being requested to encroach into the front yard setback. The proposed setback from Pontiac Lake is 22.14 feet, requiring variances from the 30-foot rear yard setback and 25-foot natural features setback. According to the submitted plot plan, the proposed lot coverage is 28.84% (2,262 square feet), which is 8.84% (694 square feet) beyond the 20% maximum lot coverage allowed (1,568 square feet).

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Andrew Bienkowski and Rachel Menard from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-14-231-003, identified as 2230 Wiggen Lane, in order to construct a new house with an attached two-car garage that would exceed the allowed lot coverage by 8.84 percent, encroach 4 feet into the required front yard setback, 3.73 feet into the required side yard setback from the north property line and 3.10 feet into the required side yard setback from the south property line, 7.86 feet into the required rear yard setback, and 2.86 feet into the required natural features setback. This approval will have the following conditions:

- The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.
- The Applicant shall obtain all necessary permits from the White Lake Township Building Department, including a demolition permit to remove the existing building.
- No mechanical units, including HVAC system or generator, shall be placed within any side yard setbacks.
- The roofline along the sides of the building shall be guttered and down-spouted.
- The gutter system shall direct stormwater away from neighboring properties.
- In no event shall projections of the roof overhangs and gutters be closer than five feet to side lot lines.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved setbacks and lot coverage.
- The nonconforming shed shall be removed from the property.

Denial: I move to deny the variances requested by Andrew Bienkowski and Rachel Menard for Parcel Number 12-14-231-003, identified as 2230 Wiggen Lane, due to the following reason(s):

Table: I move to table the variance requests of Andrew Bienkowski and Rachel Menard for Parcel Number 12-14-231-003, identified as 2230 Wiggen Lane, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated March 23, 2022.
2. Applicant's written statement.
3. Survey dated July 13, 2021.
4. Plot plan dated April 18, 2022.
5. Architectural plans dated January 24, 2022 (revision date April 21, 2022).
6. Letter of denial from the Building Official dated March 7, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE Zoning Board of Appeals APPLICATION

PAID
CASH CHECK#
MAR 28 2022
TREASURER
CHARTER TWP. OF WHITE LAKE

White Lake Township Planning Department, 7525 Highland Road, White Lake, MI 48383 248-698-3300 x163

APPLICANT'S NAME: Andrew Bienkowski, Rachel Menard PHONE: 248-732-9571

ADDRESS: 2230 Wigger Lane, White Lake, MI 48386

APPLICANT'S EMAIL ADDRESS: ajb634@gmail.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 2230 Wigger Lane PARCEL # 12-14-231-003

CURRENT ZONING: R1-D PARCEL SIZE: .018 acres

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Article 3.1.6 of the White Lake clear Z

VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISITING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ADDITIONALS SHEETS MAY BE ATTACHED)

APPLICATION FEE: \$385.00 (CALCULATED BY THE PLANNING DEPARTMENT)

APPLICANT'S SIGNATURE: Andrew Bienkowski DATE: 3-23-2022

Our intention is to demolish the existing structure on our property and completely rebuild a new beautiful home that will not only increase the current property value and associated tax assessment but to provide strength in support of property value overall to our Pontiac Lake, White Lake Township community.

Both the current parcel and structure are non-conforming, the parcel is 8,233 sq. feet and therefore is nonconforming due to a 3,767 square foot deficiency in lot area and a 50 foot deficiency in lot width at the front lot line which currently measures 30ft. Unlike other lots in our immediate area ours is similar in shape to a piece of pie, whereby the angles of the North and South sides are more severe leading to a narrow stretch across the front. The variances we are requesting in regards to the North and South sides do not run the entire length of the proposed new structure but instead are at the front of the structure where the lot is narrowest. As the parcel widens towards the East the structure is situated such that the number of feet from the parcel perimeter continually increases and moves within ordinance. The back side/water side of the property is curved similar to a half moon, as such the proposed structure's distance from the water varies but again given the curvature of the property surrounding a structure that itself is squared off and not curved this is inevitable. The parcel also fits into a cul de sac so in addition to the curvature of the back/water side or East most side of the parcel the West side or border on the cul de sac itself, the narrowest point, is also curved inward in a half moon shape.

In addition to the challenging size and shape of the parcel we are also working our plans taking into consideration the existing sewer lines and grinder pump at the forefront of our parcel.

Our original application did not meet the minimum guidelines as we understood them from the denial we received. We revisited our plans with our architect and have worked to propose a plan that brings us within those guidelines and in some cases is an improvement over even the existing structures' nonconformance.

- A variance of 4.73 of feet (closest exterior point would be 5.27 ft from parcel perimeter) at the front North point and of 3.94 feet (closest exterior point would be 5.59 ft from parcel perimeter) at the front South point.

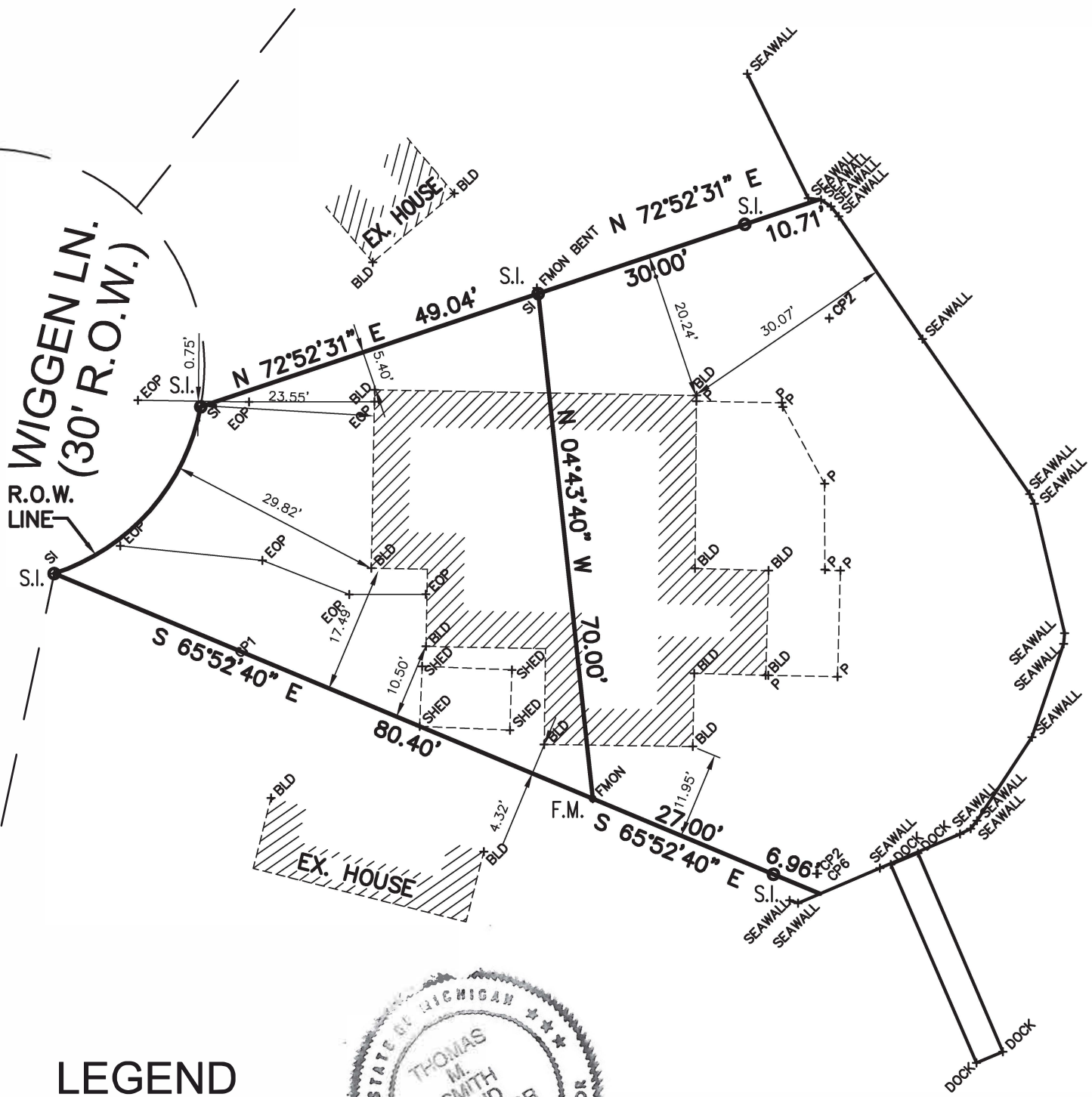
- A variance of 5 feet, at the narrowest point of the curved road edge of the parcel, this would leave a distance of 25 feet between the structure and road at the closest point.

- A variance of fewer than 5 ft. from the back/East facing structure to the water's edge/seawall dependent on the meeting point with the curvature of the parcel, ex. 4.07 ft, 0.84 ft, and 2.16 ft. Given this allowance the distances from the structure to seawall at each point of measurement would be 25.93 ft, 29.16 ft and 27.84 ft.







We hope the adjustments we have made will satisfy this board so we can move forward with our plans to improve the property.

Thank you

LOT 140 OF ENGLISH VILLAS SUBDIVISION



LEGEND

-  SECTION CORNER
-  F.P. FOUND PIPE
-  F.I. FOUND IRON
-  F.M. FOUND MONUMENT
-  F.P.K. FOUND P.K. NAIL
-  S.I. SET IRON



LD LAND DEVELOPMENT SERVICES of Michigan L.L.C.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN PART OF SECTIONS 11, 13 & 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, BEING FURTHER DESCRIBED AS FOLLOWS:

LOT 140 OF ENGLISH VILLAS SUBDIVISION.

CONTAINING 0.18 ACRES OF LAND SUBJECT TO ALL EASEMENTS OF RECORD

2230 Wiggen Ln., White Lake, Michigan

CLIENT: Andrew Bienkowski

DATED 7/13/2021 LOT NO. 140 SCALE 1" = 20'-0"

Civil, Construction Management & Surveying Services

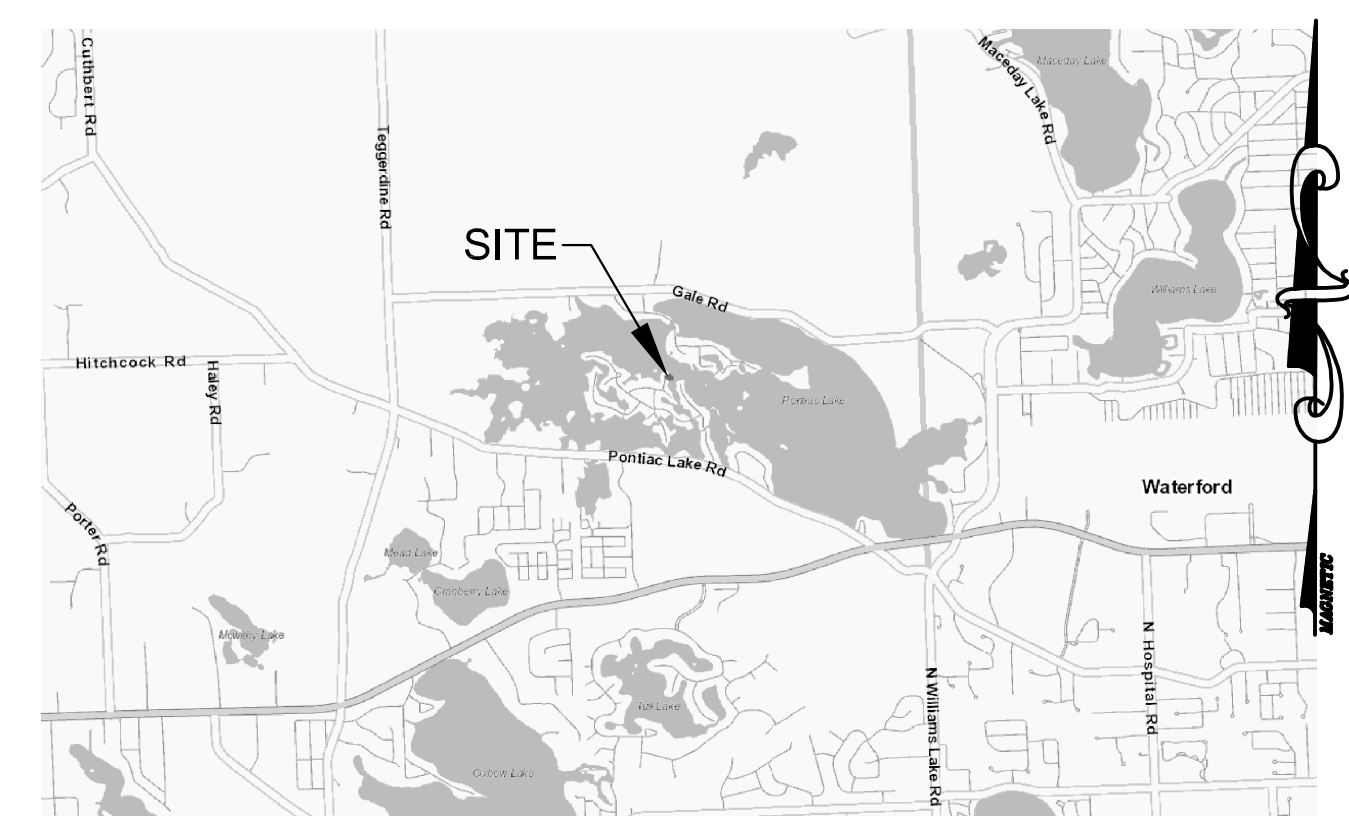
Land Development Services of Michigan LLC
48597 Hayes Rd
Shelby Twp, MI 48315
P: 586.854.7310
E: David@LDSoftMichigan.com



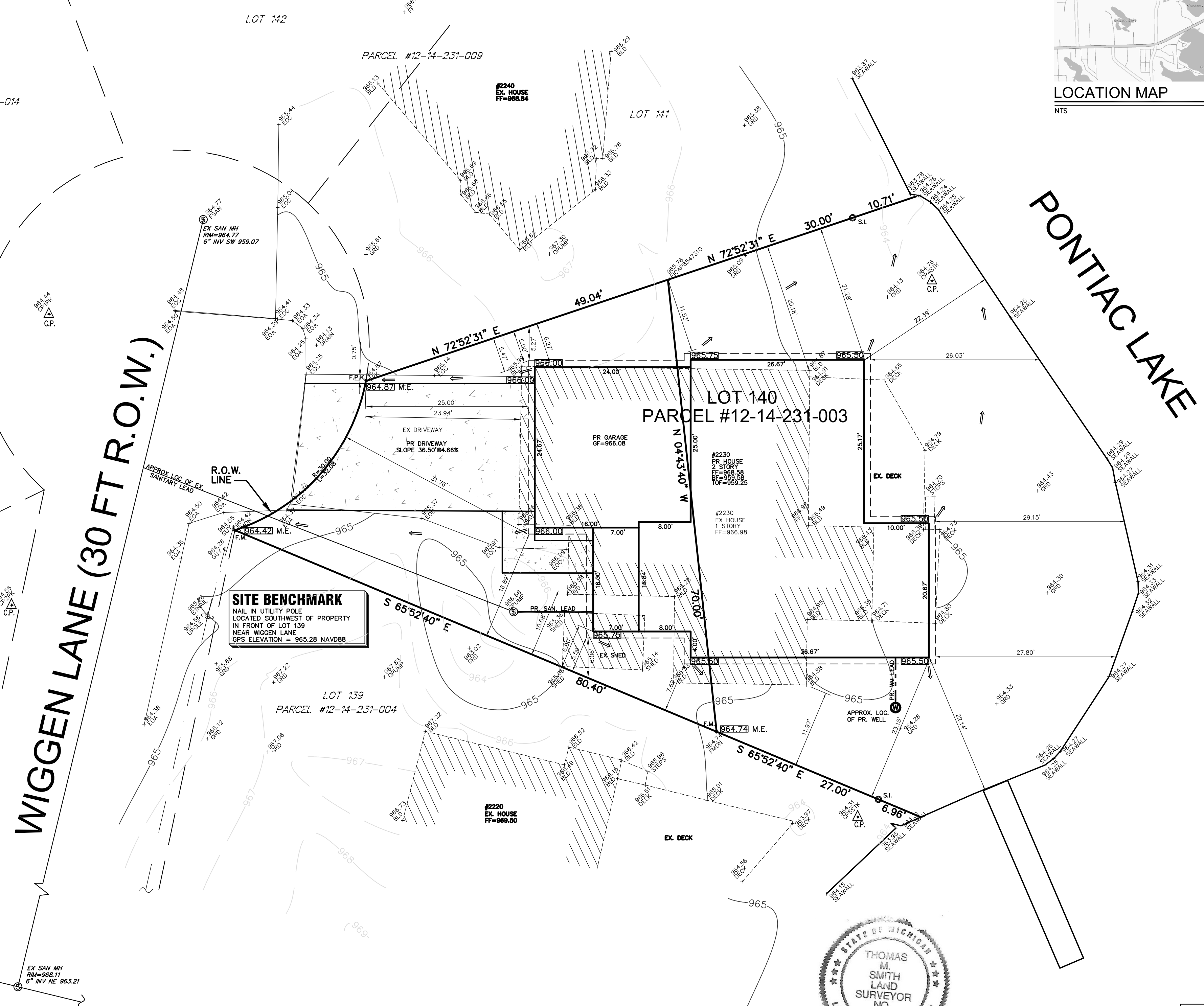
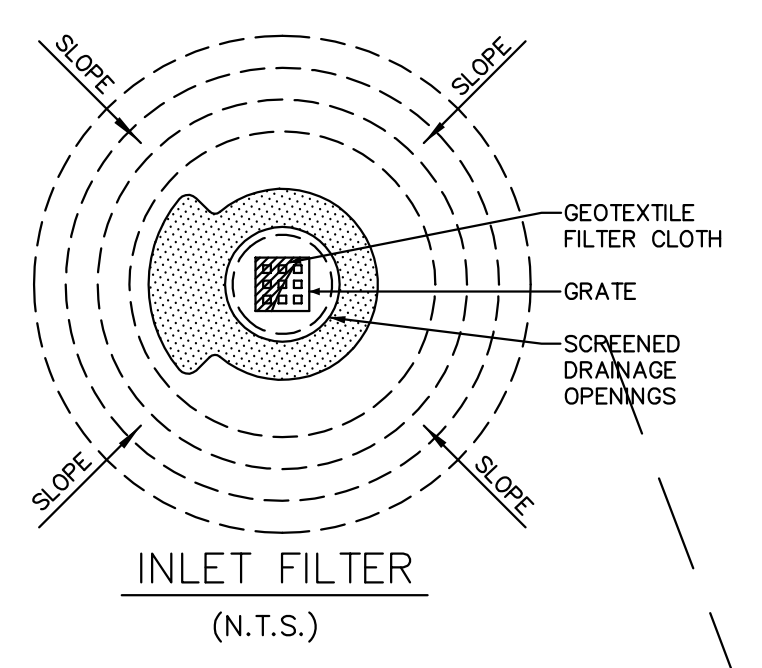
Table with 2 columns: Date, Description. Multiple empty rows for revisions.

PLOT PLAN

LOT 140 OF ENGLISH VILLAS SUBDIVISION SECTION 14, T3N, R8E, WHITE LAKE TOWNSHIP OAKLAND COUNTY, MICHIGAN PARCEL #12-14-231-003



LOCATION MAP NTS



PONTIAC LAKE

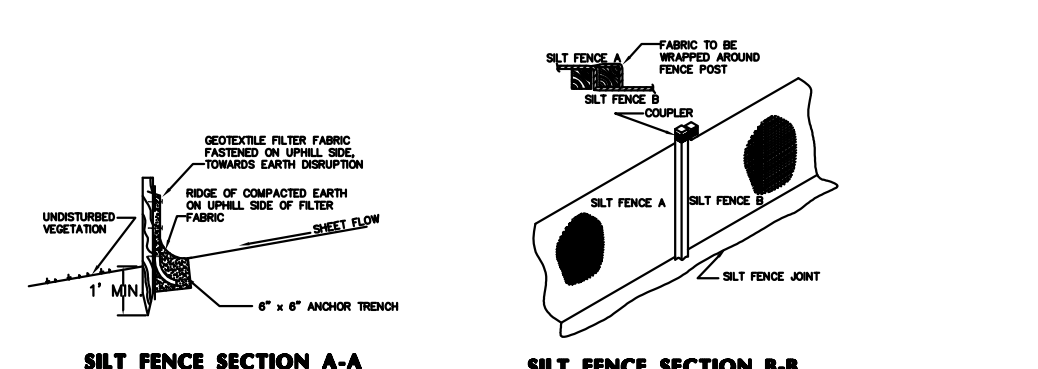
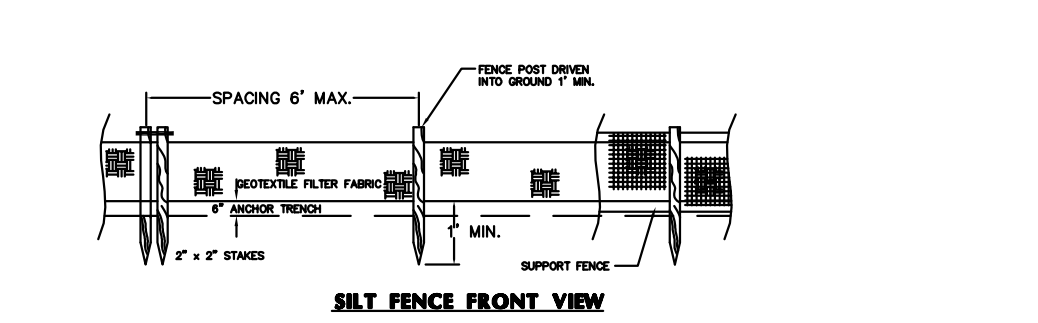
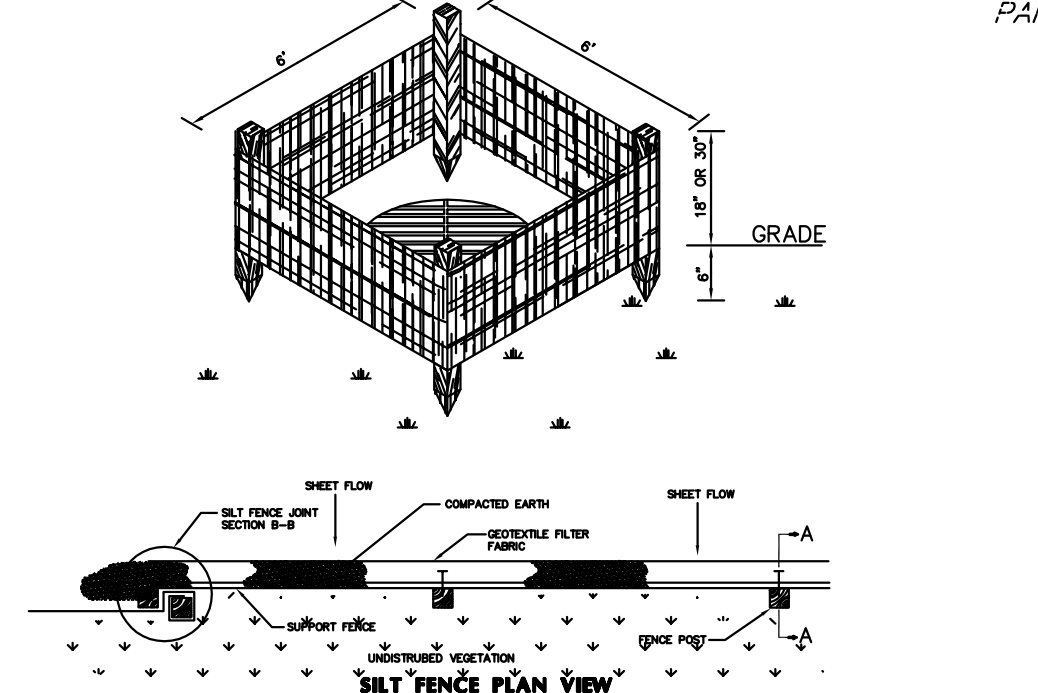
WIGGEN LANE (30 FT R.O.W.)

- 1. THIS PROJECT TO BE CONSTRUCTED IN COMPLIANCE WITH PART 517 OF ACT 457 OF 1994... 2. EROSION CONTROL MEASURES TO BE VERIFIED BY OWNER AND/OR BUILDER BEFORE CONSTRUCTION...

OWNER'S SIGNATURE DATE

EROSION CONTROL MEASURES & SEQUENCE OF CONSTRUCTION

- 1. INSTALL TEMPORARY SOIL EROSION CONTROL GEOTEXTILE FILTER CLOTH FENCE AS INDICATED ON PLAN AND AT ADDITIONAL AREAS AS NECESSARY. 2. MAINTAIN A 15 FT. BUFFER OF VEGETATION WHERE POSSIBLE AROUND PERIMETER OF SITE.



NOTE FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY HOUSE DIMENSIONS TO BE VERIFIED BY OWNER AND/OR BUILDER BEFORE CONSTRUCTION.

NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.

USER AGREES THAT PLAN IS SUBJECT TO STANDARD ASCE CONTRACT AND LIABILITY AND IS LIMITED TO FEE

NOTE: SILT FENCE LOCATION, INSTALLATION DETAILS AND TIMING SEQUENCE OF RE-ESTABLISHMENT OF PERMANENT VEGETATION REQUIRED PRIOR TO FINAL BUILDING INSPECTION

CONSTRUCTION SEQUENCE table with columns for months (JAN to DEC) and rows for construction steps (A to E).

LEGEND

Legend table listing symbols for existing and proposed features: GAS, SANITARY (SAN), STORM (STM), WATERMAIN (WM), OVERHEAD WIRE, UNDERGROUND CABLE, EX. DITCH OR SWALE CENTERLINE, EASEMENTS, RAILROAD, CHAIN LINK FENCE, WOOD FENCE, WIRE FENCE, GUARD RAIL, AMERITECH, WATER SHUT OFF, TELEPHONE RISER, TELEPHONE, SEWER CLEAN OUT, GAS METER, MANHOLE, CATCH BASIN, GATE VALVE IN WELL (G.V.W), FIRE HYDRANT, STORM MANHOLE (ST. MH), FENCE POST, UTILITY POLE, UTILITY POLE W/ LAMP EXTENSION, SIGNAL POLE, PUBLIC LIGHTING MH., ELECTRIC RISER OR METER, TELEPHONE, GUY WIRE, HIGH TENSION TOWER, FLAG POLE, GUARD/METAL POST, STEEL COLUMN, MAILBOX, SIGN, PARKING METER, BILLBOARD OR LARGE SIGN, BASKETBALL HOOP, VENT PIPE, FILLER CAP, C.P. TEST, MONITOR WELL, TOP OF CURB ELEVATION OR TOP OF PAVEMENT ELEVATION OR TOP OF WALK, CULVERT, CORRUGATED METAL PIPE, FINISH FLOOR ELEVATION, SECTION CORNER, FOUND IRON, FOUND MONUMENT, FOUND P.K. NAIL, SET IRON, MARKER POST, LIGHT POLE, TRAFFIC SIGNAL, D.E. MANHOLE, TELEPHONE MANHOLE, SPOT ELEVATION, SET P.K. NAIL, CHISELED "X", PROPOSED GRADE, FOUND PIPE, CONTROL POINT.

LEGAL DESCRIPTION OF RECORD

A PARCEL OF LAND LOCATED IN PART OF SECTIONS 11, 13 & 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, BEING FURTHER DESCRIBED AS FOLLOWS: LOT 140 OF ENGLISH VILLAS SUBDIVISION, CONTAINING 0.18 ACRES OF LAND SUBJECT TO ALL EASEMENTS OF RECORD

BENCHMARK

NAIL IN UTILITY POLE LOCATED SOUTHWEST OF PROPERTY IN FRONT OF LOT 139 NEAR WIGGEN LANE GPS ELEVATION = 965.28 NAVD88

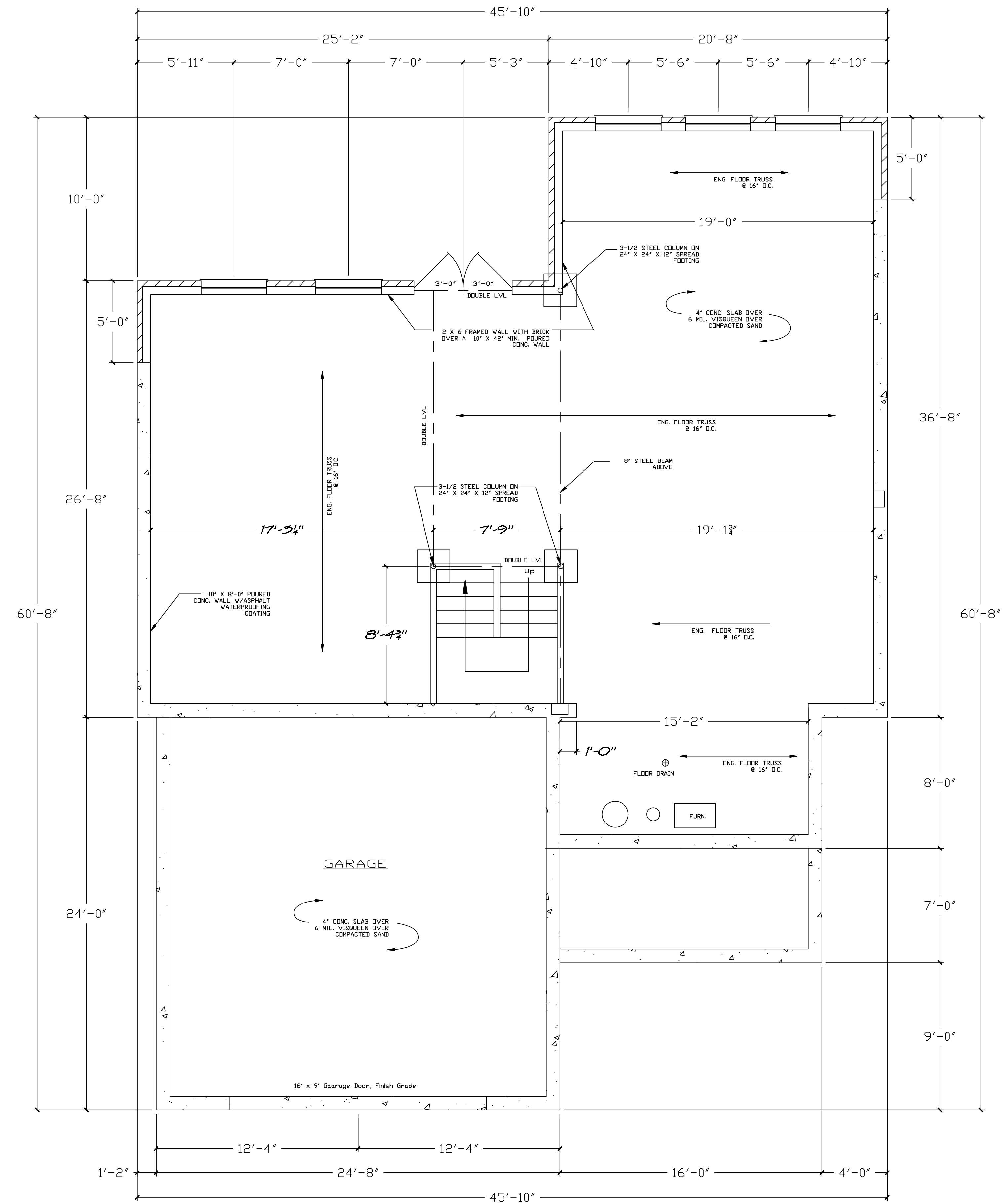


NOTE: IN NO WAY SHALL SURFACE RUNOFF BE DIRECTED SO AS TO ADVERSELY IMPACT ADJACENT PROPERTIES WITH A FLOODING CONDITION...

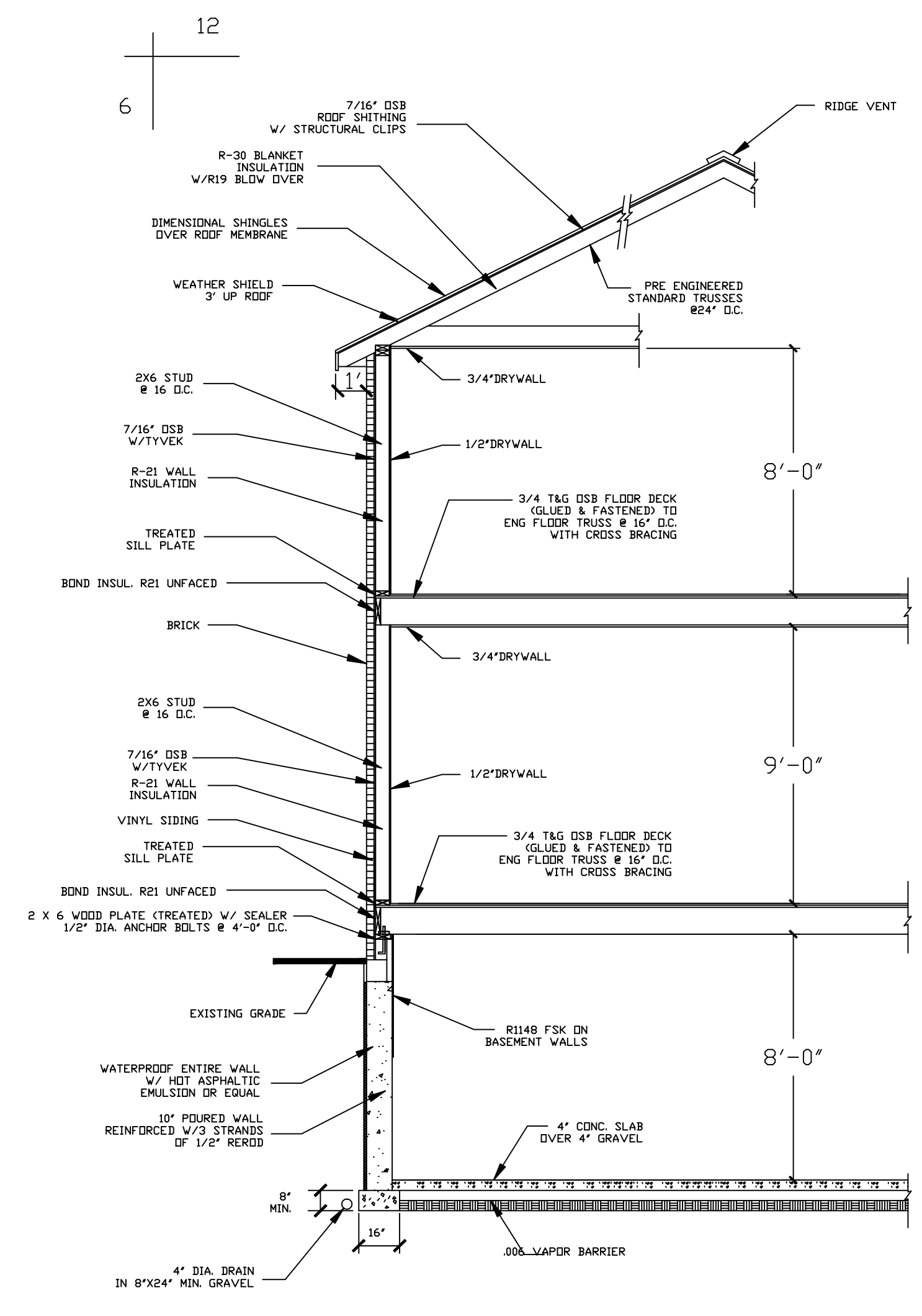
NOTE: ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED FROM UNAUTHORIZED ENTRY...

SOIL EROSION NOTES 1. INSTALL EROSION CONTROL 2. ALL SOIL EROSION MEASURES MUST BE IN PLACE PRIOR TO ANY EARTH MOVEMENT 3. COMPLETE ALL EARTH MOVEMENTS 4. RIGHT OF WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.

LOT COVERAGE table with columns EXISTING and PROPOSED, rows 24.76% / 28.84% and 1942 sq ft / 2262 sq ft.



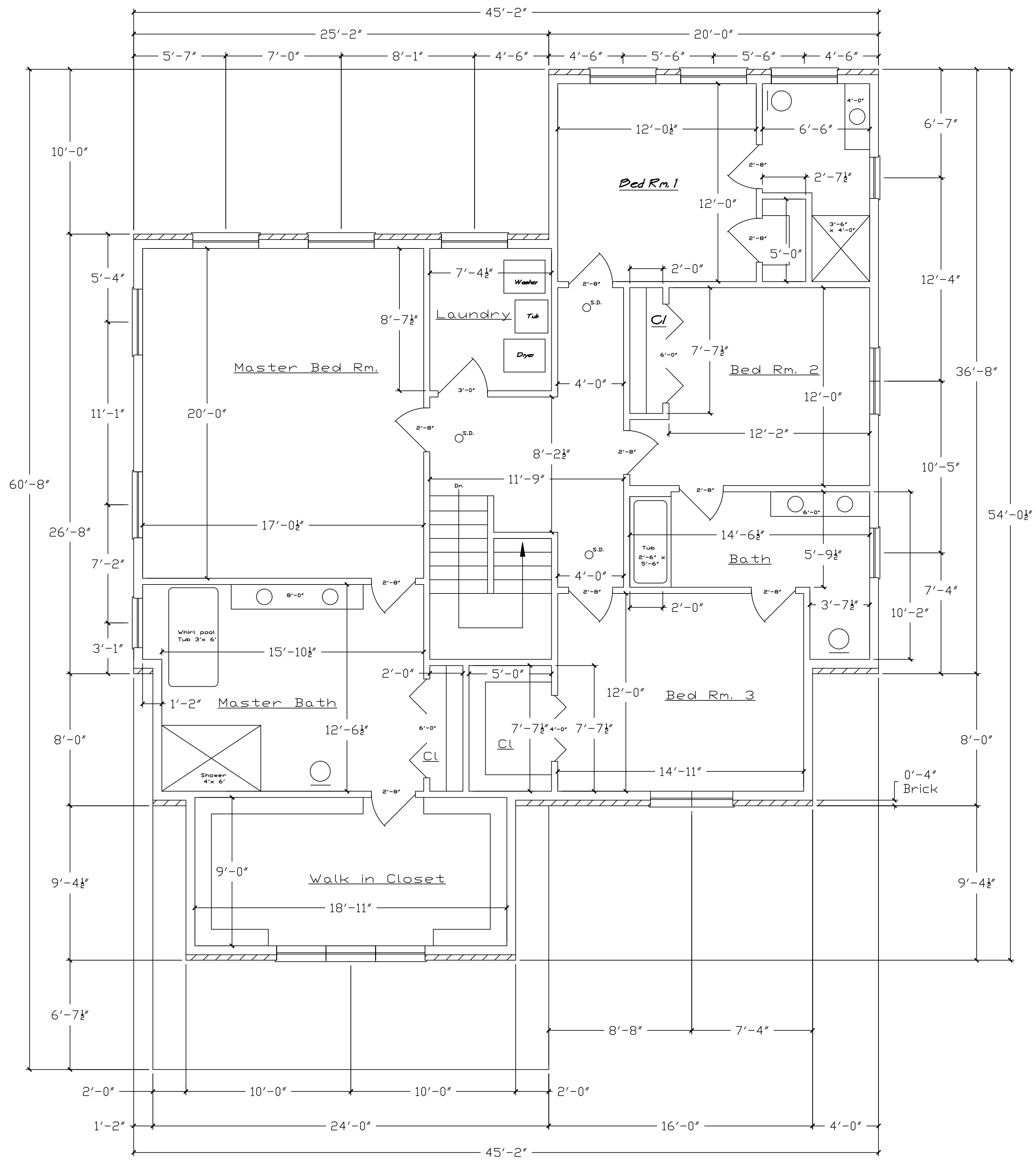
FOUNDATION PLAN
SCALE 1/4=1'



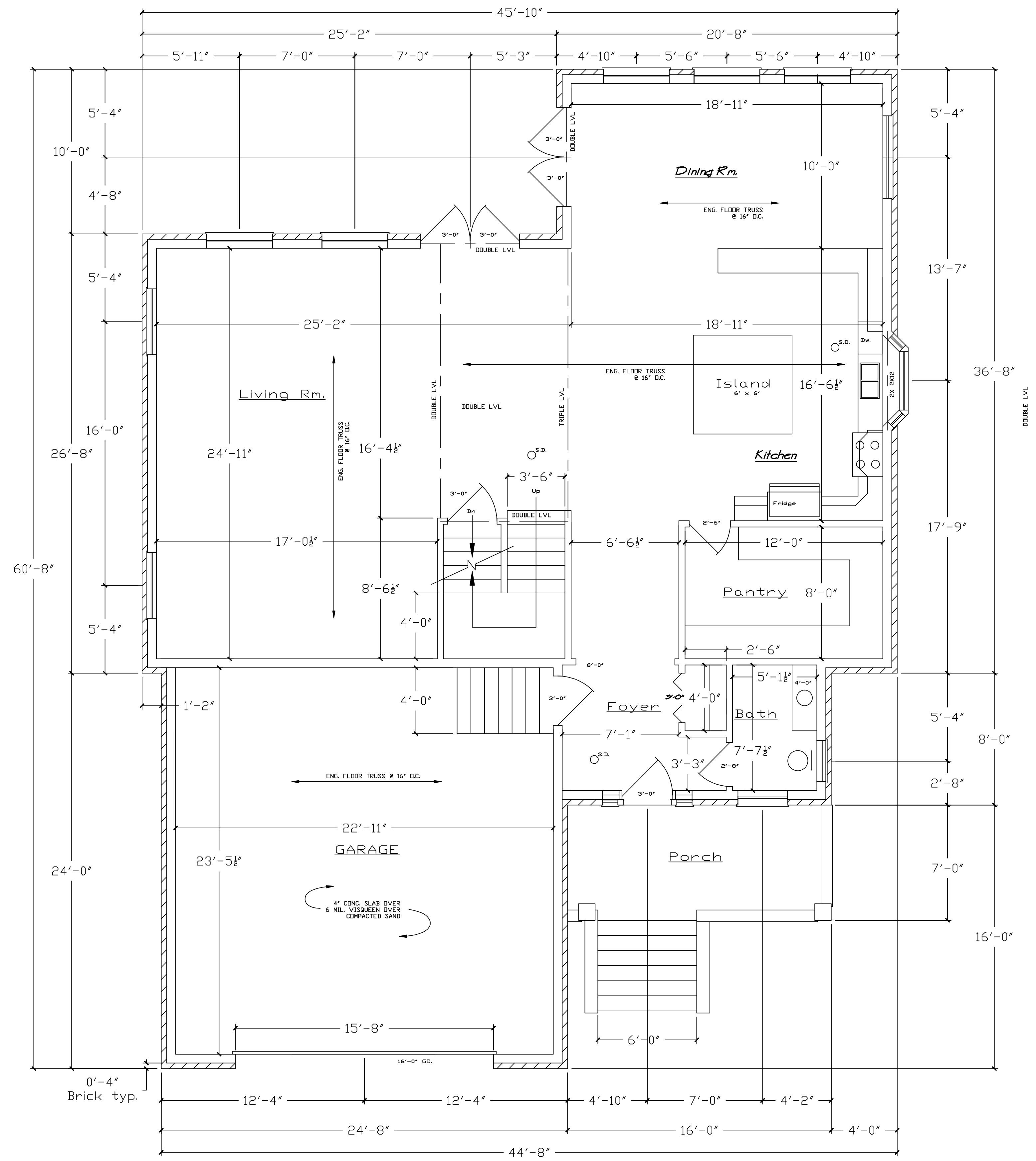
WALL SECTION
SCALE 1/4=1'

NOTE: ALL WORK TO MEET ALL STATE AND LOCAL CODES.
TRUSS PLAN TO BE PRESENT AT FINAL INSPECTION.
ALL BED RM. WINDOWS MEET EGRESS REQ.

HOME PLAN			
2230 Wiggen Lane WHITE LAKE, MI. 48386		Andrew Bienkowski	
DRG. DATE	UPDATE	SCALE	DWG. NO.
1-24-22	4-21-22	NOTED	1 OF 4



2nd Level Floor Plan 1,913.45 S.F. Living Space
SCALE 1/4=1'

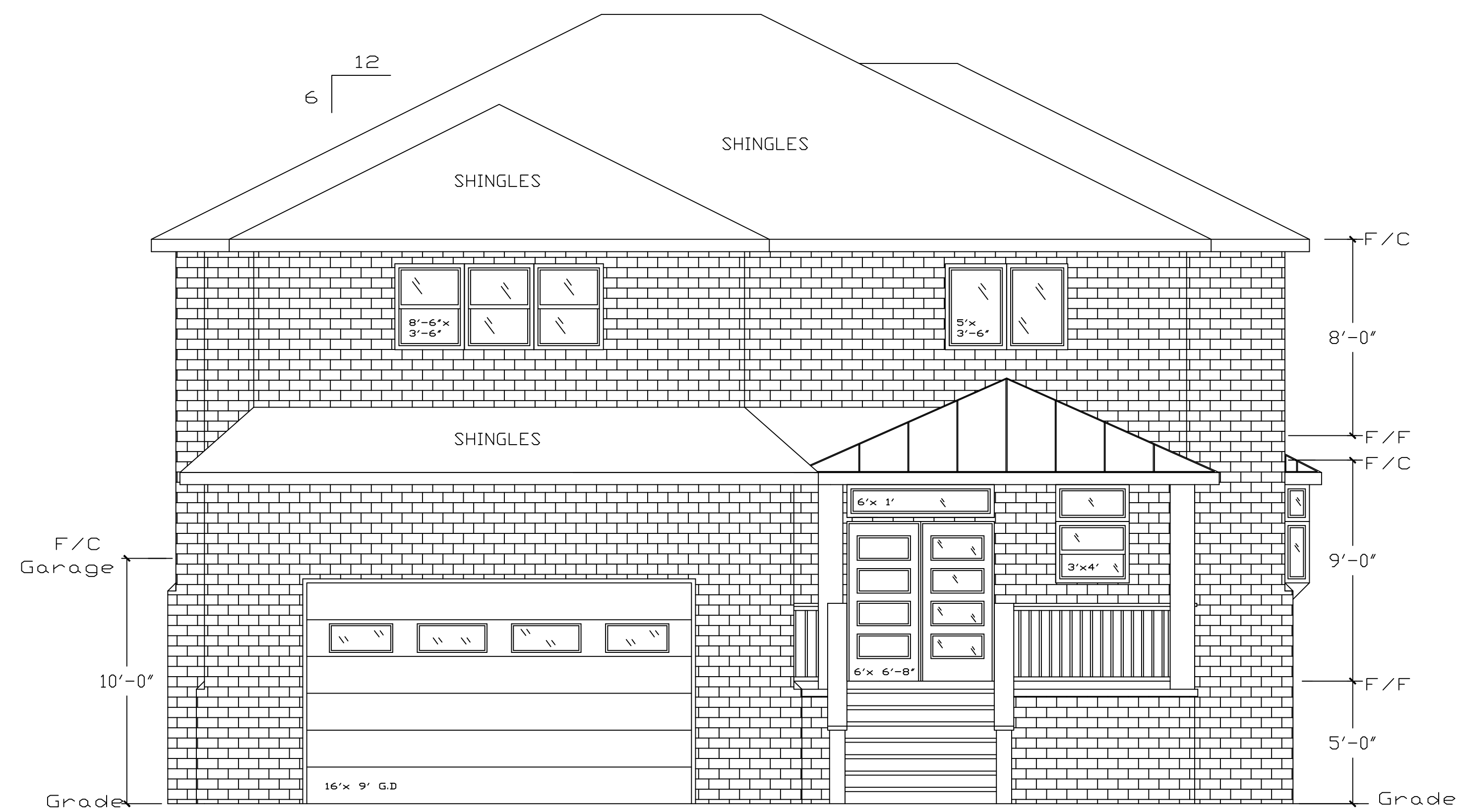


1st Level Floor Plan 1,541.94 S.F. Living Space
SCALE 1/4=1'

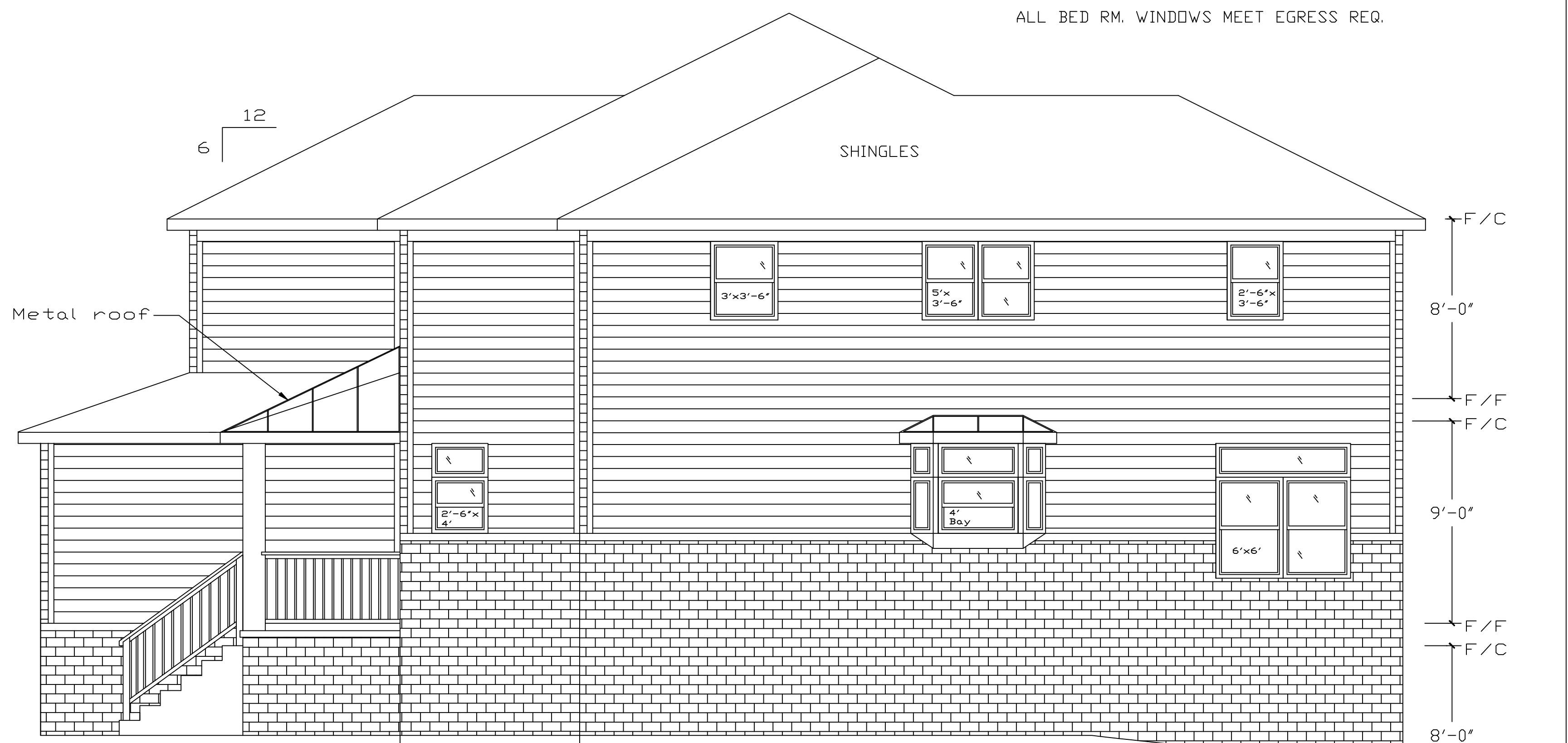
NOTE: ALL WORK TO MEET ALL STATE AND LOCAL CODES.
TRUSS PLAN TO BE PRESENT AT FINAL INSPECTION.
ALL BED RM. WINDOWS MEET EGRESS REQ.

HOME PLAN			
2230 Wiggen Lane WHITE LAKE, MI. 48386		Andrew Bienkowski	
DRG. DATE	UPDATE	SCALE	DRG. NO.
1-24-22	4-21-22	NOTED	2 OF 4

NOTE: ALL WORK TO MEET ALL STATE AND LOCAL CODES.
TRUSS PLAN TO BE PRESENT AT FINAL INSPECTION.
ALL BED RM. WINDOWS MEET EGRESS REQ.



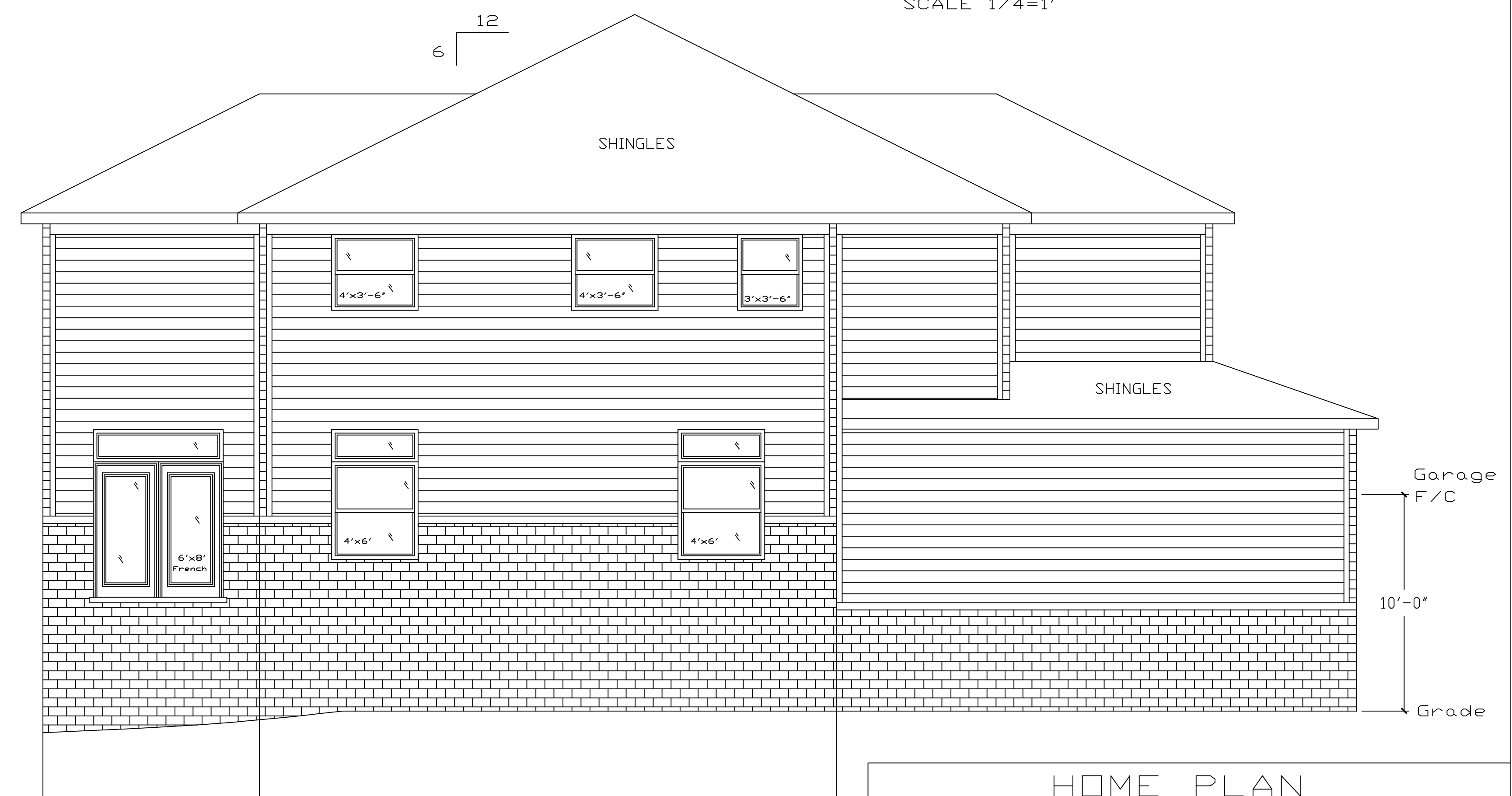
FRONT ELEVATION
SCALE 1/4=1'



RIGHT ELEVATION
SCALE 1/4=1'



REAR ELEVATION
SCALE 1/4=1'



LEFT ELEVATION
SCALE 1/4=1'

HOME PLAN			
2230 Wiggen Lane WHITE LAKE, MI. 48386		Andrew Bienkowski	
ORG. DATE	UPDATE	SCALE	DWG. NO.
1-24-22	-	NOTED	3 OF 4

Rik Kowall, Supervisor
 Anthony L. Noble, Clerk
 Mike Roman, Treasurer



Trustees
 Scott Ruggles
 Liz Fessler Smith
 Andrea C. Voorheis
 Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

March 7, 2022

Andrew Bienkowski
 2230 Wigen Ln
 White Lake, MI 48386

RE: Proposed 2nd Story Addition

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback of 10 ft each side and total of 20 ft, minimum front yard setback of 30 ft, minimum rear yard setback of 30 ft. minimum lot area of 12,000 sq ft, minimum lot width of 80 ft, and maximum lot coverage of 20%.

Article 3.11.Q of the White Lake Township Clear Zoning Ordinance: No building or structure shall be located closer than 25 feet to any regulated wetland, submerged land, watercourse, pond, stream, lake or like body of water.

The existing lot is legal non-conforming. The approximate 8,233 sq ft, 32 ft wide lot contains a residential structure which is planned to be demolished. The proposed new structure would have a 5.2 ft side yard setback on the north side and 5.5ft side yard setback on the south side for a total of 10.7 ft; a 21 ft front yard setback, and 24 ft rear yard setback from the water's edge. Furthermore, the proposed roof overhang is 1 ft. Article 5.3 states that in no instance shall any portion of the proposed structure project closer than 5 ft to either side yard lot line.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the April 28th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than March 24th at 4:30 PM. **A certified boundary and location survey will be required by the ZBA.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
 White Lake Township

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: April 28, 2022

Agenda item: 7c

Appeal Date: April 28, 2022

Applicant: EROP, LLC (Jeff Justice)

Address: 3130 N. Kandy Lane
Decatur, IL 62526

Zoning: GB (General Business)

Location: 9345 Highland Road
White Lake, MI 48386

Property Description

The approximately 4.85-acre parcel identified as 9345 Highland Road is located on the south side of Highland Road, west of Fisk Road, and zoned GB (General Business).

Applicant's Proposal

EROP LLC, the applicant, is proposing to construct an automobile wash establishment, and associated landscaping and parking, and install a prohibited sign.

Planner's Report

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1 & 2	Article 6.4.C.i	Minimum driveway spacing	455 feet (same side of road)	242 feet (east) 209 feet (west)	213 feet (east) 246 feet (west)
3	Article 5.19.N.i.c	Dumpsters and trash storage enclosures	0-foot projection	80.2 feet	80.2 feet
4 & 5	Article 5.19.D	Required minimum screening and landscaping	20-foot greenbelt with 1 tree and 8 shrubs per 30 linear feet	11 trees 28 shrubs	0 trees 62 shrubs
6	Article 5.9.F.iv	Prohibited Signs	Above-the-roof signs prohibited	1 sign above the roof line on the building parapet	1 sign above the roof line on the building parapet

The variances are being processed concurrently with the preliminary site plan and special land use requests. The staff report for the preliminary site plan and special land use (attached) should be referenced for a more complete overview of the project. At its April 21, 2022 meeting the Planning Commission recommended approval of the preliminary site plan to the Township Board, with conditions, including the applicant receiving approval from the Zoning Board of Appeals. The special land use was approved by the Planning Commission with the same conditions.

Variances #1 and #2: Driveways must have a minimum of 455 feet of spacing provided from other driveways along the same side of the street, measured centerline to centerline. The centerline of the proposed driveway would be located approximately 213 feet from the existing driveway (Art of Dance) to the east and approximately 246 feet from the existing driveway (formerly utilized by Brendel's Septic) to the west.

Variance #3: The proposed dumpster enclosure is located north of the building. The zoning ordinance prohibits trash enclosures within a required front yard setback and does not allow enclosures closer to the front lot line than the principal building. The proposed dumpster enclosure is located closer to Highland Road than the automobile wash building. An 80.2-foot variance is requested to allow the trash enclosure to project into the front yard.

Variations #4 and #5: Greenbelts are required between nonresidential parking areas adjacent to road rights-of-way and must be at least 20-feet-wide and improved with one large deciduous or evergreen tree and eight shrubs for every 30 linear feet, except they may be substituted in part with a masonry screen wall, 30 inches in height, at the discretion of the Planning Commission, in which case, a five-foot greenbelt adjacent to the screen wall must be provided. Eleven trees and 90 shrubs are required in the greenbelt, and 0 trees and 62 shrubs are proposed. Therefore, variances are requested to waive the installation of 11 trees and 28 shrubs.

Variance #6: A maximum of one wall sign is permitted for each principal building; the one permitted wall sign must be located flat against the building's front facade or parallel to the front facade on a canopy. Total area of a wall sign cannot exceed 10 percent of the front facade of the building. Exterior elevations show two wall signs on the building (both on the parapet tower (north side and west side)). The response letter provided to the first preliminary site plan and special land use review indicated the west wall sign is to be removed. Revised elevations would be provided if the project proceeds to final site plan. Wall signs cannot extend above the roofline of a building. A variance is requested to install a wall sign extending above the roofline of the building.

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by EROP LLC from Article 6.4.C.i, Article 5.19.N.i.c, Article 5.19.D, and Article 5.9.F.iv of the Zoning Ordinance for Parcel Number 12-23-202-006, identified as 9345 Highland Road, in order to allow construction of a driveway 242 feet from the driveway to the east and 209 feet from the driveway to the west, an 80.2-foot variance to allow the dumpster enclosure to project in front of the principal building, variances to waive the installation of 11 trees and 28 shrubs in the front (north) greenbelt, and a variance to allow one wall sign to be installed above the roofline of the building. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- The Applicant shall receive preliminary site plan approval from the Township Board and final site plan approval from the Planning Commission.
- The Highland Road site access drive shall align with the entering side of the divided drive across the street (east side of the Fisk Corners boulevard-style access drive).

- The wall sign on the parapet tower shall not exceed 12 square feet in size.
- No additional signage shall be permitted on the building or site.
- Any future modification to signage on the building or site, except for eliminating signage, shall require approval of the Zoning Board of Appeals.

Denial: I move to deny the variances requested by EROP LLC for Parcel Number 12-23-202-006, identified as 9345 Highland Road, due to the following reason(s):

Table: I move to table the variance requests of EROP LLC for Parcel Number 12-23-202-006, identified as 9345 Highland Road, to consider comments stated during this public hearing.

Attachments:

1. Staff report to the Planning Commission dated April 1, 2022.
2. Variance application dated April 5, 2022.
3. Applicant's written statement dated April 20, 2022.
4. Preliminary site plan prepared by Stonefield Engineering and Design (revision date March 16, 2022).
5. Floor plan and exterior elevations prepared by REB Architects.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O'Neil, AICP, Community Development Director
Justin Quagliata, Staff Planner

DATE: April 1, 2022

RE: Hypershine Auto Wash
Preliminary Site Plan and Special Land Use – Review #2

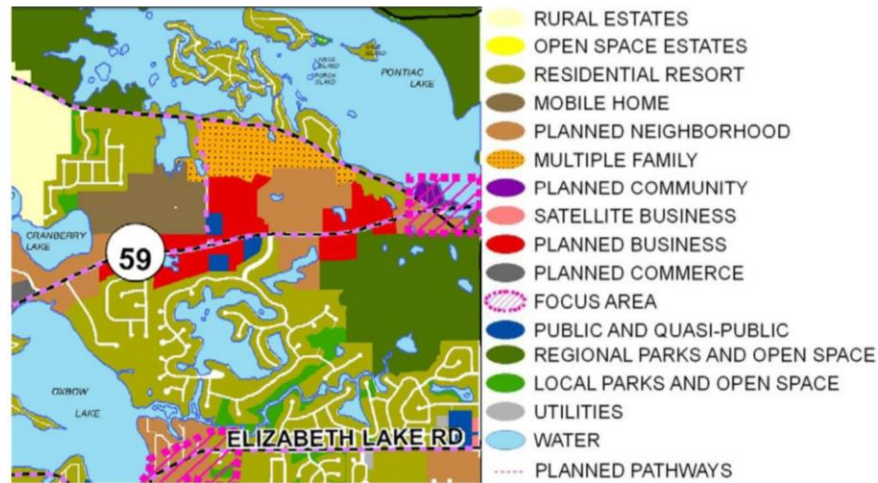
Staff reviewed the revised site plan prepared by Stonefield Engineering & Design (revision date March 16, 2022). The following comments from the first review dated February 18, 2022 are listed below. Responses to those comments are provided in **(red)**.

EROP, LLC has requested preliminary site plan and special land use approval to construct a 3,756 square foot automobile wash establishment at 9345 Highland Road (Parcel Number 12-23-202-006). The 4.85-acre subject site is zoned GB (General Business).

Master Plan

The Future Land Use Map from the Master Plan designates the subject site in the Planned Business category. All development in Planned Business is required to adhere to strict access management principles in order to minimize traffic conflict and maximize safety throughout the M-59 corridor. Connections to and segments of the Township's community-wide pathway system are required as an integral part of all Planned Business development.

FUTURE LAND USE MAP



Zoning

Automobile wash establishments are permitted with special land use approval in the GB zoning district. At its meeting on July 21, 2020 the Township Board approved rezoning the parcel from Local Business (LB) and R1-C (Single Family Residential) to GB (General Business), which requires a minimum lot area of one (1) acre and 200 feet of lot width. The subject site contains 338.2 feet of frontage along Highland Road and 4.85 acres of lot area.

Physical Features

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetland Map and the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map indicate neither wetlands nor floodplain are present on or near the site. Currently a vacant house and three accessory buildings are located on the property. **A demolition plan shall be provided at final site plan.** (Comment remains as a notation. This requirement was acknowledged by the applicant's engineer in the response letter provided to the first review).

Access

The site fronts on Highland Road, which along the property is a five-lane road (counting the center turn lane). The site plan notes the existing paved shoulder along Highland Road would remain. **The existing paved shoulder shall be removed and converted to greenbelt.** (Comment addressed. The existing paved shoulder is to be removed. An eight-foot-wide asphalt sidewalk one-foot off the property line has been proposed). The zoning ordinance requires a minimum eight-foot-wide sidewalk placed one-foot from the inside edge of the right-of-way along the Highland Road property frontage. Direct pedestrian access from the sidewalk to the building is also required. **The applicant is not proposing to install the required sidewalk as part of the project; therefore, a variance from the public sidewalk standards is required from the Zoning Board of Appeals.** (Comment addressed. A sidewalk is now proposed). Along the front (north side) of the building, a 10-foot-wide sidewalk is provided.

Driveways must have a minimum of 455 feet of spacing provided from other driveways along the same side of the street, measured centerline to centerline. The centerline of the proposed driveway would be located approximately 242 feet from the existing driveway (Art of Dance) to the east and approximately 220 feet from the existing driveway (vacant Brendel’s Septic property) to the west; **therefore, variances are required from the Zoning Board of Appeals. (Comment outstanding; however, the applicant intends to seek a variance from the Zoning Board of Appeals).** The proposed Highland Road driveway must be aligned with the existing driveway on the opposite side of the street or offset 350 feet, measured centerline to centerline. **The centerline of the proposed driveway shall exactly offset the west side of the existing boulevard driveway (Fisk Corners) on the north side of Highland Road, or a variance shall be required from the Zoning Board of Appeals. (Comment outstanding; however, the applicant intends to seek a variance from the Zoning Board of Appeals).** The minimum distance between a proposed driveway and the nearest intersection shall not be less than the minimum required driveway-to-driveway spacing. Also, a proposed driveway on the approach to an intersection shall not be opposite a dedicated left-turn lane for the intersection, or within 100 feet upstream of that lane. This provision may be waived by the Planning Commission if supported by a traffic impact study. The nearest street intersection (Fisk Road and Highland Road – to the east) is approximately 422 feet from the subject site. **As the driveway is not 455 feet from the intersection, a variance from the Zoning Board of Appeals is required, or a waiver is required by the Planning Commission if supported by a traffic impact study. (Comment addressed. The applicant’s engineer stated the proposed driveway is approximately 524 feet from the Fisk Road intersection (measured centerline to centerline). A variance/waiver is not required).**

To minimize turning conflicts, boulevard-style access drives (or local streets) shall generally not be approved opposite undivided access drives, or vice versa. If cause has been shown for a Planning Commission waiver of this requirement, interlocking entering left turns must be minimized by aligning the entering side of the divided drive with the undivided drive. **The proposed undivided two-way driveway is opposite a boulevard-style access drive (Fisk Corners). A waiver from the coordination of divided and undivided driveways is required. (Comment outstanding. The applicant is requesting a Planning Commission waiver from this requirement. If cause has been shown for a waiver of this requirement, interlocking entering left turns must be minimized by aligning the entering side of the divided drive with the undivided drive).**

Utilities

Municipal water and sanitary sewer are available to serve the site. The Township Engineering Consultant will perform an analysis of utilities, stormwater, and grading to ensure compliance with all applicable ordinances as well as the Township Engineering Design Standards.

Staff Analysis

Special land uses for automobile wash establishments are evaluated using the general standards for all special land uses listed in Article 6, Section 10 of the zoning ordinance and the following specific standards for automobile wash establishments found in Article 4, Section 11:

- A. *Buildings shall be set back sixty (60) feet from the existing or proposed right-of-way line. The proposed front yard setback is 135.2 feet.*
- B. *Entrance and exit drives shall be no less than one hundred (100) feet from any street intersection and at least two hundred (200) feet from any residential district. The nearest street intersection (Fisk Road and Highland Road – to the east) is approximately 422 feet from the subject site. The proposed driveway exceeds the minimum 200-foot setback from a residential zoning district.*
- C. *Waiting spaces shall be provided in an amount equal to seven (7) times the maximum automobile capacity within the building. No vehicle shall be permitted to wait or stand within a dedicated right-of-way. The site plan states there would be four car capacity within the building; therefore, 28 stacking spaces are required. 32 stacking spaces are shown on the plan.*
- D. *The site shall be drained so as to dispose of all surface water in such a way as to preclude drainage of water onto adjacent property or heavy tracking onto a public street. A combination of alternatives may be used, including, but not limited to, blowers, hand-drying, length of exit drive and general site design. The Community Development Department defers to the Director of Public Services and Township Engineering Consultant on the stormwater management plan for the site.*
- E. *The site plan shall detail the location of all proposed vacuum stations. These areas shall be located so as not to conflict with any required parking, drive, or automobile standing areas. Self-contained, covered waste receptacles shall be provided at each proposed vacuum station to provide convenient disposal of customer refuse. Vacuum stations (quantity: 26) are located north of the building (25 spaces – 13’ by 18’ in size); **however, waste receptacles for each vacuum station are not shown. Trash receptacles are required to be of commercial quality and complement the building design and style. (Comment partially addressed. The applicant’s engineer stated waste receptacles are mounted at each vacuum; this shall be noted on the site plan. Additionally, if this project proceeds to final site plan, a detail of the trash receptacles shall be provided at that time).** The zoning ordinance states no noise, as measured from a property line, exceeding 70 dB(A) from 6:00 a.m. to 9:00 p.m. or 65 dB(A) from 9:00 p.m. to 6:00 a.m. shall be emitted. **The applicant shall confirm if it was intentional to provide 26 vacuum stations served by 25 parking spaces.** (Comment addressed. The applicant’s engineer stated there are 26 vacuums for 25 spaces because vacuums are provided on each side of each vehicle space).*

Staff recommends reducing the number of vacuum stations by 50 percent. (Comment remains as a notation. The applicant’s engineer stated 25 vacuums are anticipated to be required for the customer volume. The Planning Commission should determine if the number of vacuums are acceptable or if the number of vacuums should be reduced).
Also, the applicant shall submit a predictive noise analysis to demonstrate noise levels for the site will not exceed the performance standards. (Comment remains as a notation. The applicant’s engineer stated the hours of operation are 8:00 a.m. to 8:00 p.m. and the site would comply with the performance standards. The Planning Commission should determine if a predictive noise analysis is required. In making its determination, the Planning Commission should consider the proposed use in relation to adjoining properties and uses).

F. *An outdoor lighting plan shall specify the type of fixtures to be used, light intensity, and method of shielding the fixtures so that light does not project onto adjoining properties or on any public or private street or right-of-way. Dropped fixtures shall not be allowed. The site plan shall include a photometric plan and catalog details for all proposed fixtures. Outdoor lights must meet the performance standards of Section 5.18.* Information on site lighting was provided and will be reviewed in detail during final site plan review. Following are initial comments on the lighting (photometric) plan:

- **Footcandles shall be measured at approximately six feet above grade. Revise accordingly, and the plan must contain a note confirming footcandles are measured at six feet above grade. (Comment addressed. Lighting calculations have been updated to reflect data at six-feet above grade).**
- **Complete catalog details (lighting fixture specification sheets) for all proposed fixtures shall be provided. Light fixture selections and colors are subject to review and approval by the Township. (Comment partially addressed. Partial lighting fixture specifications have been provided on Sheet C-10. Complete catalog details shall be submitted separately at final site plan).**
- **No wall-mounted decorative or architectural lighting shall be installed on the south (rear) facade of the building. (Comment addressed. The applicant’s engineer stated the south wall-packs would only turn on in emergency situations only). Up-lighting or outward shining lighting are also not permitted on the building. (Comment remains as a notation).**
- **The light pole detail indicating height (Sheet C-9) is inconsistent with the height labeled on the lighting plan. Revise accordingly to provide the total height, including the base, pole, and light fixture. (Comment outstanding. Total height shall be measured to the top of the fixture. Additionally, the light pole detail (Sheet C-10 of the revised plans) does not accurately represent the fixture to be utilized on the pole-mounted luminaries. For reference, the fixture is the assembly holding a lamp (bulb). Revise accordingly).**

- The Planning Commission may require special conditions for properties adjacent to residential uses and districts.

G. *A screen wall or obscuring fence shall be provided on those sides abutting a residential district, in accordance with the provisions of this Ordinance.* While the proposed building is located 427.7 feet from the residential zoning district to the south, **the required screening is not shown on the plan. If not provided, a variance shall be required from the Zoning Board of Appeals.** (Comment addressed. A six-foot-tall vinyl opaque fence has been proposed. If the project proceeds to final site plan, a fence detail shall be provided).

Development Standards

The site plan shows compliance with building and parking setback requirements. Proposed building height is 19'-4", which complies with the maximum building height allowed in the GB zoning district (35 feet or 2 stories, whichever is less). **The height of the parapet tower shall be dimensioned on the exterior elevations.** Based on a note on the site plan, it appears the maximum height of the parapet is 24 feet. (Comment outstanding. Sheet A-2 (exterior elevations) notes the parapet cap is 124'-3³/₄" tall. This appears to be an error, as the applicant's engineer stated the parapet tower height is 24'-3³/₄". Revise accordingly).

Building Architecture and Design

In accordance with the M-59 architectural character requirements, exterior building materials shall be composed primarily of high quality, durable, low maintenance material, such as masonry, stone, brick, glass, or equivalent materials. Buildings should be completed on all sides with acceptable materials. The proposed building materials for the project are a mix of brick veneer, and cultured stone veneer with a stone cap four feet up around the base of the building. Faux columns add architectural interest to the building, with an EFIS (exterior insulation finishing system) parapet tower at the west side of the building. Pre-fabricated decorative metal panels are located below the EFIS parapet on the south and west elevations. An aluminum parapet cap complimentary in color to the proposed building materials would be located on top of the walls around the building (with the exception of the parapet tower). Tinted mirrored windows are proposed on three elevations of the building (no windows on east side), with aluminum lattice canopies using aluminum kicker legs at each end to attach to the building. Aluminum clad fascia (stripe) is proposed on three elevations of the building (not proposed on the rear). **The fascia shall be removed from the building, or be the same color as the cap on top of the walls around the building. If the fascia (stripe) attracts attention to the building, a variance shall be required from the Zoning Board of Appeals.** (Comment partially addressed. The fascia is specified as 'sierra tan', the same color as the wall caps as to not attract attention to building. A note shall be added to the exterior elevations stating all cladding/fascia and wall caps shall be 'sierra tan' color).

A sample board of building materials to be displayed at the Planning Commission meeting and elevations in color are required by the zoning ordinance and must be submitted at final site plan. (Comment remains as a notation. This requirement was acknowledged by the applicant's engineer in the response letter provided to the first review).

Address identification characters are proposed on the east elevation of the building. A note on the plan states each character shall be a minimum of four inches high. **Six-inch-tall numbers visible from the street shall be required. The address location is subject to approval of the Township Fire Marshal.** (Comment remains as a notation. This requirement was acknowledged by the applicant's engineer in the response letter provided to the first review. Revised elevations are to be provided at final site plan).

The applicant shall provide an explanation in writing for the purpose of the second overhead door (north door) on the east elevation of the building. (Comment partially addressed. The applicant's engineer stated the second overhead door at the exit is to be utilized for chemical deliveries and maintenance access to mechanical equipment. Sheet A-1 (floor plan) shows equipment locations. Sheet A-1 shall be revised; it incorrectly identifies the east elevation of the building as the car wash entrance and the west elevation of the building as the car wash exit. Those labels (and directorial arrows) are reversed and shall be revised at the time of final site plan).

Parking

In addition to the required stacking spaces previously described, one parking space per each employee (working on the largest shift) must be provided. Four 'Employee Only' parking spaces are proposed at the northeast corner of the site. **The applicant shall verify the employee information provided with the parking data represents the number of employees working on the largest shift.** (Comment addressed. The response letter provided to the first review indicates four (4) employees would be the maximum number of employees on any shift).

The accessible parking stall detail on Sheet C-8 is inconsistent with the dimensions on the site plan, which shows a three-foot-wide access aisle west of the barrier-free space. In accordance with the zoning ordinance and Americans with Disabilities Act (ADA), the adjacent access aisle shall be eight-feet-wide. The plan shall be revised accordingly. (Comment addressed. ADA accessible space and standard detail has been revised to comply with ADA requirements. **The zoning ordinance also requires each individual parking space be delineated by dual stripes, two feet apart centered on the dividing lines and painted white. The plan (including the parking stall markings detail) shall be revised accordingly to indicate the required striping.** (Comment addressed. Parking stall striping and detail has been revised to provide dual striping).

The zoning ordinance requires one-way drives be a minimum of 20-feet-wide. The plan shall be revised accordingly, or a variance is required from the Zoning Board of Appeals. (Comment outstanding. A variance from this standard is required from the Zoning Board of Appeals. This variance request shall be added to the zoning relief table on Sheet C-1).

Off-Street Loading Requirements

The zoning ordinance requires one loading space for a development of this size. Such loading and unloading space must be an area 10 feet by 50 feet, with a 15-foot height clearance. **No loading space is proposed; therefore, a variance is required from the Zoning Board of Appeals.** (Comment partially addressed. A loading space is now proposed. The response letter provided to the first review indicates any loading/unloading would occur off-hours as to not conflict with customer traffic flow; a plan note stating such shall be provided on the final site plan).

Trash Receptacle Screening

The zoning ordinance requires dumpsters to be surrounded by a six-foot-tall to eight-foot-tall wall on three sides and an obscuring wood gate on a steel frame on the fourth side, located on a six-inch concrete pad extending 10 feet in front of the gate, with six-inch concrete-filled steel bollards to protect the rear wall and gates. **The bollards for the dumpster enclosure shown on Sheet C-8 shall be six-inch diameter instead of four-inch diameter, and bollards shall be provided six inches in front of (north) of each gate post.** (Comment addressed. Bollard detail has been revised from four-inch to six-inch bollards. Trash enclosure detail has been revised to show bollards six-inches from front gate posts). The proposed enclosure is located north of the building. The zoning ordinance prohibits trash enclosures within a required front yard setback, and does not allow enclosures closer to the front lot line than the principal building. The proposed dumpster enclosure is located closer to Highland Road than the automobile wash building, and does not meet the front yard setback. As proposed, **the following variances are required from the Zoning Board of Appeals: an 89-foot variance to project into the front yard, and a 10-foot variance to encroach into the front yard setback.** (Comment partially addressed. The trash enclosure detail was shifted south out of the front yard setback. However, the trash enclosure is projecting approximately 81.3 feet into the front yard (Sheet C-2 shall be revised to measure the projection to the northern extent of the trash enclosure). The applicant intends to seek a variance from the Zoning Board of Appeals).

At the time of trash pick-up, the location of the dumpster enclosure could cause conflict with traffic entering and exiting the site. Circulation must be considered when relocating the dumpster enclosure, or during consideration of a variance request to allow the dumpster location at the currently proposed location. (Comment remains as a notation. The response letter provided to the first review indicates all trash pickup would occur prior to 8:00 a.m. before the car wash opens).

An eight-foot-tall split-face block (8" CMU) screen wall is proposed around three sides of the dumpster enclosure, with steel doors on the north side of the structure. The zoning ordinance states dumpsters and trash storage enclosures shall be constructed of the same decorative masonry materials as the buildings to which they are accessory. Brickform concrete (simulated brick pattern) or stained, decorative CMU block are not permitted where the principal building contains masonry. Plain CMU block is also prohibited. **The dumpster enclosure shall match the same brick veneer as the facade of the building with a steel backed wood gate painted a complementary color to the brick veneer. The trash/recycle enclosure detail on Sheet C-8 shall be revised to show brick veneer on the outside walls of the concrete enclosure and indicate the color of the gate.** (Comment partially addressed. The gate as shown on the front elevation detail does not match the gate detail. Additionally, the gate detail states the cedar boards are to be stained "color as selected by owner." The color/stain of the gate is subject to review and approval by the Township. The gate shall be stained a color similar to 'sierra tan'. Revise accordingly).

Landscaping and Screening

Landscaping must comply with the provisions of the zoning ordinance and should be designed to preserve existing significant natural features and to buffer service areas, parking lots, and dumpsters. A mix of evergreen and deciduous plants and trees are preferred, along with seasonal accent plantings. A landscape plan is not required as part of the preliminary site plan, but was provided for consideration and will be reviewed in detail during final site plan review if the preliminary site plan is approved. Following are initial comments on the landscape plan:

- Interior Landscaping Requirements: for every new development requiring site plan review, except site condominiums as regulated in Article 6, Section 1, interior landscaping areas shall be provided, equal to at least 15 percent of the total lot area. These landscaped areas shall be grouped near all building entrances, building foundations, pedestrian walkways, and service areas, and may also be placed adjacent to fences, walls, or rights-of-way. These planting areas shall be so located as to breakup an otherwise continuous abutment of building facade with sidewalks and/or parking areas. All interior landscaping shall provide one large deciduous, small ornamental deciduous, or evergreen tree and five shrubs for every 300 square feet of required interior landscaping area.
- Parking Lot Landscaping: within every parking area containing 10 or more spaces, there shall be parking lot landscaping in accordance with this Subsection. These landscaping areas shall be located so as to better define parking spaces and drives. Landscaping on the perimeter of the parking lot does not satisfy the parking lot landscaping requirement. Island locations shall also be considered in a manner that will assist in controlling traffic movements. The requirements, for trees and islands, may be modified when it is found through careful coordination of parking lot landscaping with peripheral and building plantings an unnecessary duplication of plantings would be created. In addition, consideration shall be given to situations when an excess number of small islands would be created that would only serve to disrupt reasonable traffic patterns and maintenance activities. **Trees as previously described are not provided; therefore, a variance is required from the Zoning Board of Appeals.** (Comment addressed. Additional trees have been proposed).

- Transformer and Mechanical Equipment Screening: all ground mounted transformers, climate control, and similar equipment shall be screened from view from any street or adjacent property by a wall constructed of the same decorative exterior materials as the building and not less than the height of the equipment to be screened. As an alternative, the equipment may be screened by landscaping approved by the Planning Commission. All rooftop climate control equipment, transformer units, and similar equipment shall be screened. The materials used to screen the equipment shall be compatible in color and type with exterior finish materials of the building. All rooftop equipment shall conform to the maximum height regulations of this Ordinance. **The plans do not show proposed locations for mechanical units or provide the method of screening. The plans shall be revised accordingly to provide the location(s) and method of screening.** (Comment partially addressed. Electric transformer has been shown on the plans screened by evergreen shrubs. The proposed shrubs shall be replaced with arborvitae. Revise accordingly).
- Greenbelts are required between nonresidential parking areas adjacent to road rights-of-way and shall be at least 20-feet-wide and improved with one large deciduous or evergreen tree and eight shrubs for every 30 lineal feet, except they may be substituted in part with a masonry screen wall, 30 inches in height, at the discretion of the Planning Commission, in which case, a five-foot greenbelt adjacent to the screen wall must be provided. **Trees as previously described are not provided; therefore, a variance is required from the Zoning Board of Appeals.** (Comment outstanding. The applicant intends to seek a variance from the Zoning Board of Appeals. Their reason for requesting the variance is the front greenbelt is within a watermain easement. This variance request shall be added to the zoning relief table on Sheet C-1).
- **Arborvitae are not considered evergreen trees; they are considered shrubs. The Plant Schedule shall be revised accordingly.** (Comment addressed. The proposed arborvitae have been replaced with White Spruce trees, which staff supports as preferable in the proposed locations. As previously stated, arborvitae shall screen the transformer).
- **Trees identified for protection during construction and the means of protection shall be identified prior to final site plan. No construction shall occur until tree protection has been installed and approved by the Community Development Director.** (Comment remains as a notation. This requirement was acknowledged by the applicant's engineer in the response letter provided to the first review).
- Trees shall not be planted closer than four feet to a property line. **Add note to landscape plan at final site plan.** (Comment addressed. A note has been added to the landscape plan (Sheet C-7)).
- All required landscape areas in excess of 200 square feet shall be irrigated to assist in maintaining a healthy condition for all plantings and lawn areas. **An irrigation plan shall be provided at final site plan.** (Comment remains as a notation. This requirement was acknowledged by the applicant's engineer in the response letter provided to the first review).

- All required site irrigation systems shall include a rain sensor or similar measure to ensure irrigation does not occur during or shortly after precipitation events. All site plans shall note installation of required irrigation. **Add note to all plans. (Comment remains as a notation. This requirement was acknowledged by the applicant’s engineer in the response letter provided to the first review).**
- **Six-inch straight-faced (vertical) curb of concrete construction shall be used around landscape and parking areas. The standard Michigan Department of Transportation (MDOT) detail for six-inch straight-faced curb shall be provided on Sheet C-9 of the site plan. (Comment addressed. MDOT standard curb details have been added to Sheet C-9 of the plans).**
- **The zoning ordinance requires a land form buffer, buffer strip and obscuring fence, or screen wall between the subject site and the property to the west. No screening as previously described is proposed; therefore, a variance for the west screening is required from the Zoning Board of Appeals. (Comment addressed. A six-foot-tall vinyl fence has been proposed. If the project proceeds to final site plan, a fence detail shall be provided).**
- **Note 2 on the landscape plan mentions seed, and sod is required. (Comment addressed. Note 2 has been revised to indicate sod).**
- **Note 3 on the landscape plan mentions mulch. The zoning ordinance states the mulch product itself shall be at least doubled-shredded quality. (Comment addressed. Note 3 has been revised to specify double-shredded quality).**
- All required landscape areas in excess of 200 square feet must be irrigated to assist in maintaining a healthy condition for all landscape plantings and lawn areas. **An irrigation plan shall be required at final site plan. (Comment remains as a notation. This requirement was acknowledged by the applicant’s engineer in the response letter provided to the first review).**

Signs

The site plan does not show the location of a monument sign along Highland Road. Exterior elevations show two wall signs on the building (both on the parapet tower (north side and west side)). A maximum of one wall sign is permitted for each principal building; the one permitted wall sign must be located flat against the building's front facade or parallel to the front facade on a canopy. Total area of a wall sign cannot exceed 10 percent of the front facade of the building. **The wall sign on the west elevation shall be removed, or a variance is required from the Zoning Board of Appeals. (Comment remains as a notation. The response letter provided to the first review indicated the west wall sign is to be removed. Revised elevations are to be provided at final site plan).** Additionally, wall signs cannot extend above the roofline of a building. **A variance from the Zoning Board of Appeals is required to install a wall sign extending above the roofline of the building. (Comment outstanding; however, the applicant intends to seek a variance from the Zoning Board of Appeals).**

Planning Commission Options / Recommendation

The Planning Commission may recommend approval, approval with conditions, or denial of the preliminary site plan to the Township Board; action on the special land use is determined by the Planning Commission. **Staff recommends the plans be revised and resubmitted to address the items identified in this memorandum. A list of any requested variances shall also be provided. (Staff recommends the project is eligible for consideration by the Planning Commission. Any recommendation of approval of the preliminary site plan or approval of the special land use shall be conditioned on the applicant addressing all staff and consultant review comments and recommendations, and requesting and receiving the necessary variances from the Zoning Board of Appeals).**

Notes:

1. A notarized signature of the property owner shall be provided on the site plan application. Evidence, satisfactory to the Township Attorney, that the signatories on the application are authorized to execute on behalf of the property owner and applicant shall be a condition of any approvals.
 - a. Paragraph 5.h of the Operating Agreement of the LLC provides the Assistant Managers with authority to execute development documents related to a property only “Upon the Manager’s approval of a letter of intent or other document evidencing the approval of the acquisition of a parcel or parcels of real property (and such document being hereinafter referred to as an “LOI”) ...”
 - b. The LOI provided for the subject property is not signed by a Manager, but an Assistant Manager. Without the “Manager’s approval of the LOI,” the Assistant Managers are without authority to take any action related to the development of the subject property.
2. A date (including revision dates) shall be provided on the exterior elevations and floor plan. Said plans shall also be sealed by the Registered Architect who prepared the plans.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION

Item C.

Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: EROP, LLC (Jeff Justice) PHONE: 215-521-2348

ADDRESS: 3130 North Kandy Lane Decatur Illinois 62526

APPLICANT'S EMAIL ADDRESS: jeffj@hypershinecw.com

APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 9345 Highland Road PARCEL # 12 -23-202-006

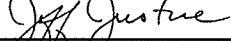
CURRENT ZONING: General Business PARCEL SIZE: 4.85 AC

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: FIVE (5) REQUIRED VARIANCES.
SEE ATTACHED VARIANCE REQUEST LETTER.

VALUE OF IMPROVEMENT: \$ 429,192.10 SEV OF EXISTING STRUCTURE: \$ UNKNOWN

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$440.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE:  DATE: 4/5/2022

Wednesday, April 20, 2022

Charter Township of White Lake
Zoning Board of Appeals
Community Development Department
7525 Highland Road
White Lake, MI 48383

**RE: Variance Requests
Proposed Car Wash
9345 Highland Road
White Lake, MI 48383
Parcel ID: 12-23-202-006**

To the Members of the Zoning Board of Appeals:

Attached is an application for several variances requested for the proposed car wash development at 9345 Highland Road. The following outlines the variances being requested and addresses the criteria required for variances to be granted:

**I & 2. § 6.4.C.i Requirement: Minimum center-to-center driveway spacing (same side of road): 455 FT
Proposed: 213 FT to eastern drive
246 FT to western drive**

- A. Practical difficulty: The subject site’s only frontage is 338 FT along Highland Road. The parcels to the East and West both have existing driveways in locations on Highland Road which prohibit any proposed development at the subject site to comply with the 455 FT spacing requirement in either direction regardless of where the driveway is proposed on site.
- B. Unique situation: The subject site is unique in the fact that there are adjacent existing driveway locations and no potential for cross access or access via a side street.
- C. Not self-created: The problem is not self-created.
- D. Substantial justice: The granting of this variance would provide access to the site which would otherwise be landlocked without any permitted curb cut on Highland Road.
- E. Minimum variance necessary: The proposed driveway location is aligned with that across Highland Road at the request of the Planning Department. With 213 FT spacing provided to the eastern existing drive and 246 FT spacing provided to the western existing drive this proposed driveway location results in the minimum variance request necessary.

3. § 5.19.N.c **Requirement: No enclosures shall be permitted within a required front yard or street-side yard setback, nor closer to the front lot line than the principal building.**

Proposed: Trash enclosure proposed 80.2 FT closer to the setback than the principal building.

- A. Practical difficulty: The subject site is required to have a 60 FT setback for all structures and is also bound by overhead wires and utility poles to the South. These difficulties dictate the building placement on site which requires the trash enclosure to be located in front of the building for pick-up access.
- B. Unique situation: The required 60 FT setback in conjunction with the overhead wires and utility poles limiting vertical clearance are unique to the subject site.
- C. Not self-created: The problem is not self-created.
- D. Substantial justice: The granting of this variance would allow for an accessible path for sanitation to access the refuse container for trash pickup.
- E. Minimum variance necessary: The trash enclosure is proposed adjacent to the required exit gate and is located outside of the required 60 FT front yard setback. There is no other alternative location on site that would provide a lesser variance request. Trash pick up will always occur off hours as to not disrupt any traffic patterns.

4. § 5.19.D **Requirement: 20 FT Right-of-way greenbelt with 1 tree and 8 shrubs per 30 linear feet. (11 trees, 90 shrubs).**

Proposed: 20 FT Right-of-way greenbelt, 0 trees, 62 shrubs.

- A. Practical difficulty: The subject site's has a 20' wide water main easement along the 338 FT frontage of the site along Highland Road. This easement prohibits any plantings.
- B. Unique situation: The subject site is unique in the fact that a 20' water main easement encompasses the entire required 20' greenbelt.
- C. Not self-created: The problem is not self-created.
- D. Substantial justice: The granting of this variance would allow the water main to be protected from any potential damages caused by plantings.
- E. Minimum variance necessary: The maximum number of shrubs were provided along the frontage without encroaching into the water main easement.

5. § 5.9.F.iv

Requirement: Above the roof signs prohibited.

Proposed: Sign above the roof line on the building parapet. (See provided architectural elevations).

- A. Practical difficulty: The subject site's has a 20' wide water main easement along the 338 FT frontage of the site along Highland Road. This easement prohibits any structures including signage for the proposed development. The development is also bound by utility poles and overhead wires to the South of the building preventing the development to be shifted South.
- B. Unique situation: The subject site is unique in the fact that the developable area is bound by a large utility easement to the North as well as overhead wires and utility poles to the South.
- C. Not self-created: The problem is not self-created.
- D. Substantial justice: The granting of this variance would allow customers and emergency services to easily identify the subject site from Highland Road.
- E. Minimum variance necessary: The applicant is proposing only one (1) sign on the building which is to front Highland Road and includes only the tenant name "White Water Express Car Wash" (See provided architectural elevations).

Thank you for your time and consideration.

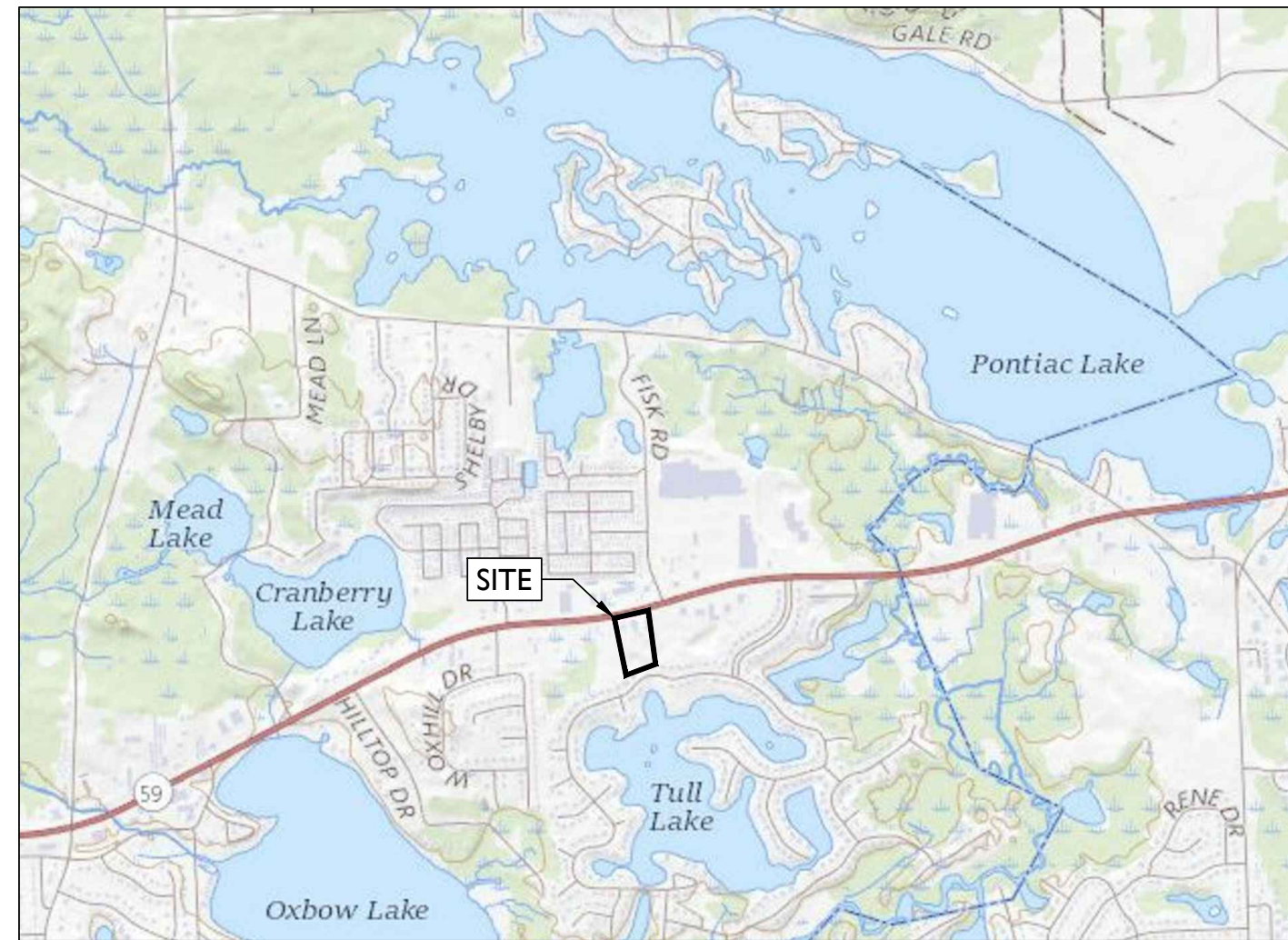
Best Regards,



J. Reid Cooksey
Stonefield Engineering and Design, LLC



Erin McMachen
Stonefield Engineering and Design, LLC



SOURCE: USGS NATIONAL MAPPER

LOCATION MAP

SCALE: 1" = 2,000'±

SITE DEVELOPMENT PLANS



HYPERSHINE

PROPOSED AUTO WASH

PARCEL ID: 12-23-202-006
9345 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

ZONING RELIEF TABLE			
RELIEF TYPE	CODE SECTION	REQUIRED	PROPOSED
VARIANCE	§ 6.4.C.i	MINIMUM CENTER-TO-CENTER DRIVEWAY SPACING (SAME SIDE OF ROAD): 455 FT	213 FT TO EAST EXISTING DRIVE
VARIANCE	§ 6.4.C.i	MINIMUM CENTER-TO-CENTER DRIVEWAY SPACING (SAME SIDE OF ROAD): 455 FT	246 FT TO WEST EXISTING DRIVE
WAIVER	§ 6.4.D.i	TO MINIMIZE TURNING CONFLICTS, BOULEVARD-STYLE ACCESS DRIVES (OR LOCAL STREETS) SHALL GENERALLY NOT BE APPROVED OPPOSITE UNDIVIDED ACCESS DRIVES, OR VICE VERSA	UNDIVIDED ACCESS DRIVE
VARIANCE	§ 5.19.N.c	NO ENCLOSURES SHALL BE PERMITTED WITHIN A REQUIRED FRONT YARD OR STREET-SIDE SIDE YARD SETBACK, NOR CLOSER TO THE FRONT LOT LINE THAN THE PRINCIPAL BUILDING.	80.2' PROJECTION INTO FRONT YARD
VARIANCE	§ 5.19.N.c	20 FT RIGHT-OF-WAY GREENBELT WITH 1 TREE AND 8 SHRUBS PER 30 LINEAR FEET. (REQUIRED: 11 TREES, 90 SHRUBS)	20' GREENBELT, 0 TREES, 62 SHRUBS
VARIANCE	§ 5.9.F.iv	PROHIBITED SIGNS: ABOVE THE ROOF SIGNS	ABOVE THE ROOF SIGN

APPLICANT

EROP, LLC
3130 NORTH KANDY LANE
DECATUR, ILLINOIS 62526
215-521-2348

ARCHITECT

REB ARCHITECTS, PLLC
WIND HAVEN DRIVE SUITE 101
NICHOLASVILLE, KENTUCKY 40356
859-523-1500

REVISION	DATE	ISSUE	BY	DESCRIPTION
2	03/16/2022	ISSUE	ECH	REVISED PER SITE PLAN REVIEW #1
1	01/05/2022	ISSUE	BAC/ECH	FOR PRELIMINARY SITE PLAN APPROVAL

NOT APPROVED FOR CONSTRUCTION

STONEFIELD engineering & design

Detroit, MI · New York, NY · Rutherford, NJ
Princeton, NJ · Tampa, FL · Boston, MA
www.stonefielddeng.com
607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115



SITE DEVELOPMENT PLANS HYPERSHINE PROPOSED AUTO WASH

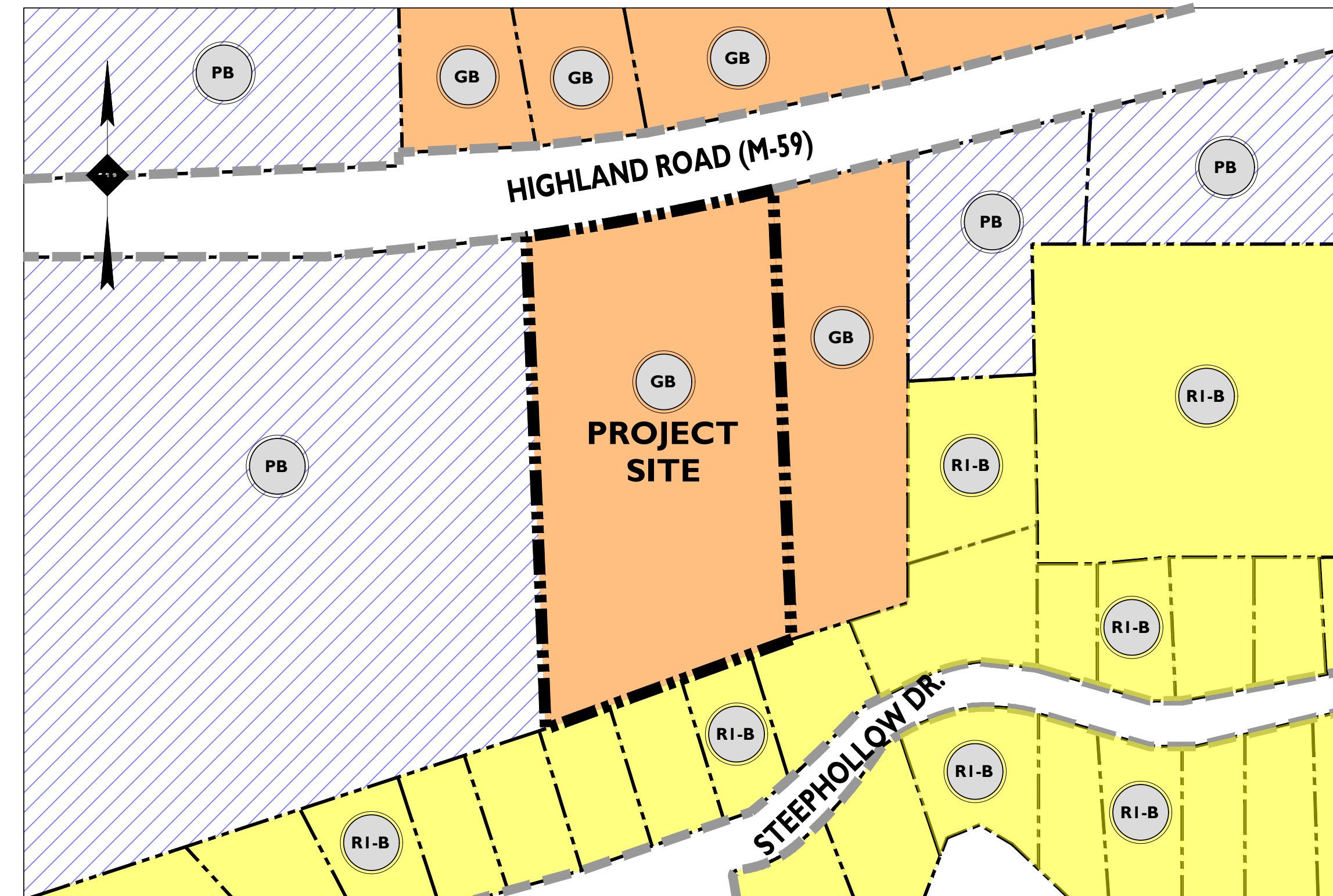
PARCEL ID: 12-23-202-006
9345 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN



SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 150'±

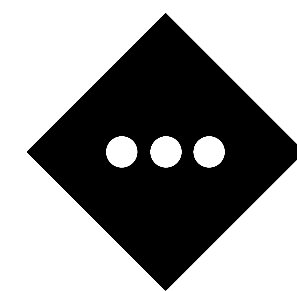


SOURCE: CITY OF WHITE LAKE ZONING MAP

ZONING MAP

SCALE: 1" = 150'±

PLANS PREPARED BY:



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Know what's below
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WHITE LAKE CHARTER TOWNSHIP ENGINEERING NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWNSHIP'S CURRENT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION, 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- CONTRACTOR SHALL CONTACT MISS DIG AT 800-482-7171, 72 HOURS IN ADVANCE OF CONSTRUCTION, FOR EXISTING UNDERGROUND UTILITY LOCATIONS.
- IN ORDER TO VERIFY COMPLIANCE WITH APPROVED PLANS, FULL-TIME CONSTRUCTION OBSERVATION WILL GENERALLY BE REQUIRED DURING ALL PHASES OF UNDERGROUND SITE CONSTRUCTION INCLUDING INSTALLATION OF SANITARY SEWER, STORM SEWERS, DRAINS, WATERMANS AND APPURTENANCES AS WELL AS PRIVATE STREET CURBING AND PAVING CONSTRUCTION. INTERMITTENT OBSERVATIONS WILL BE MADE FOR SITE GRADING, PARKING LOT CURBING AND PAVING, RETAINING WALL CONSTRUCTION AND OTHER SURFACE ACTIVITY.

PROPERTY DESCRIPTION:

THE LAND SITUATED IN THE TOWNSHIP OF WHITE LAKE, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

PART OF THE EAST 1/2 OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 23, TOWN 3 NORTH, RANGE 8 EAST, BEGINNING AT A POINT DISTANT NORTH 02 DEGREES 24 MINUTES 20 SECONDS EAST, 1731.78 FEET AND SOUTH 75 DEGREES 05 MINUTES 00 SECONDS WEST 249.56 FEET FROM THE SOUTH 1/8 CORNER OF THE NORTHEAST 1/4; THENCE SOUTH 75 DEGREES 05 MINUTES 00 SECONDS WEST, 351.83 FEET; THENCE NORTH 02 DEGREES 47 MINUTES 20 SECONDS EAST, 661.50 FEET; THENCE NORTHEASTERLY ALONG THE SOUTHERLY LINE OF HIGHLAND ROAD, ALONG A CURVE TO THE LEFT, RADIUS OF 3869.83 FEET, DISTANCE OF 338.35 FEET; THENCE SOUTH 02 DEGREES 43 MINUTES 15 SECONDS WEST, 605.50 FEET TO THE POINT OF BEGINNING.

PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - ALTA / NSPS LAND TITLE SURVEY PREPARED BY KEM-TEC & ASSOCIATES INC. DATED 01/20/2022
 - ARCHITECTURAL PLANS PREPARED BY REB ARCHITECTS DATED 02/01/2022
 - GEOTECHNICAL REPORT PREPARED BY MATERIALS TESTING CONSULTANTS DATED 01/28/2022
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO
 - LOCATION MAP OBTAINED FROM USGS NATIONAL MAPPING SYSTEM
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
SITE PLAN	C-2
GRADING PLAN	C-3
STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
LIGHTING PLAN	C-6
LANDSCAPING PLAN	C-7
CONSTRUCTION DETAILS	C-8 TO C-10
FIRE TRUCK TURNING EXHIBIT	C-11

ADDITIONAL SHEETS

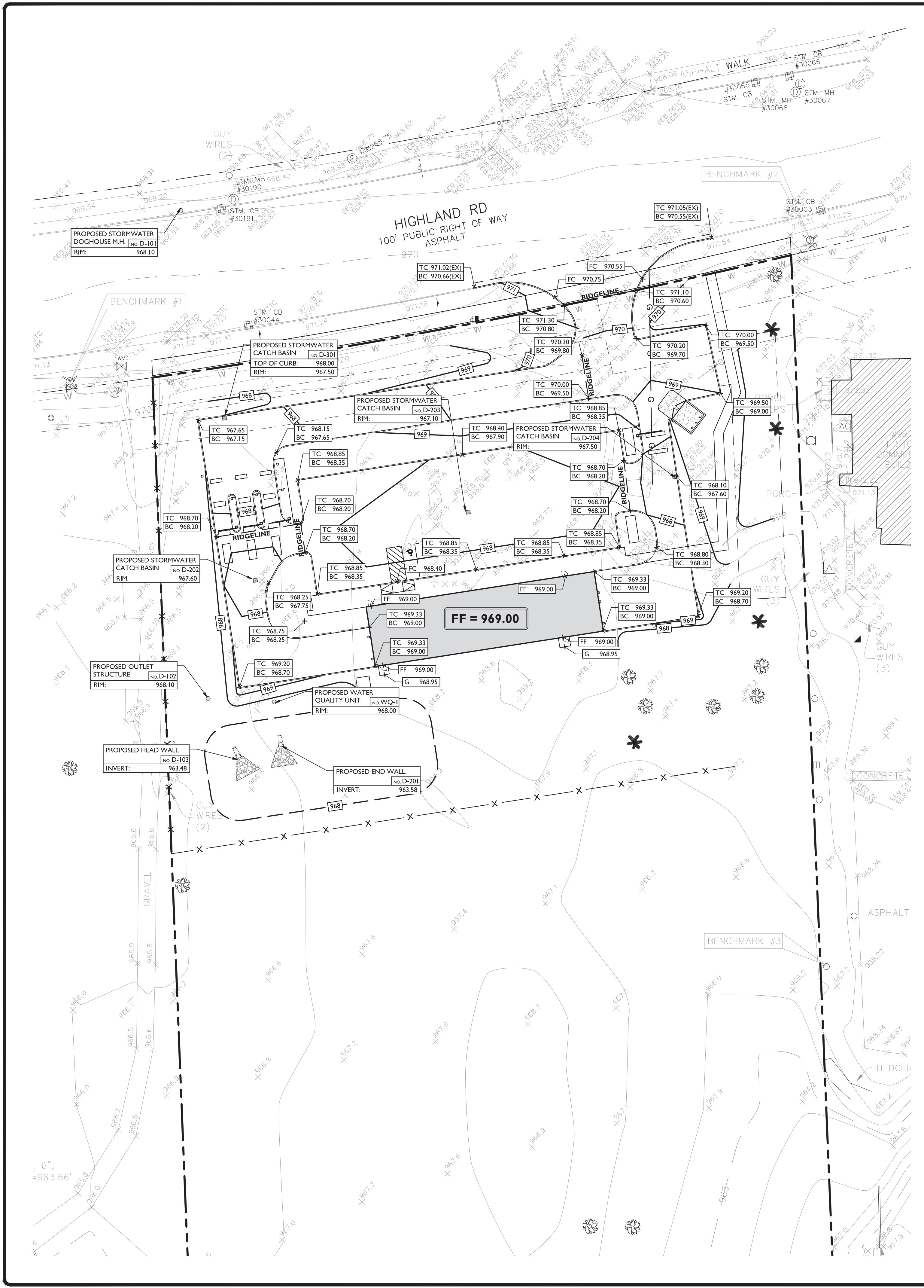
DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	1 OF 1
TANK DETAILS	1 OF 1

STONEFIELD engineering & design

SCALE: AS SHOWN PROJECT ID: DET-210462

TITLE: COVER SHEET

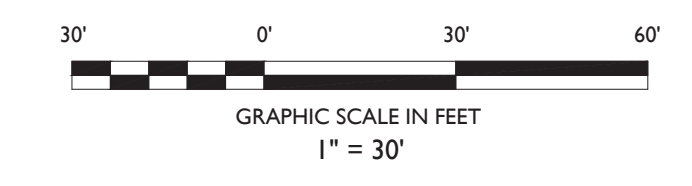
DRAWING: C-1



SYMBOL	DESCRIPTION
---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
-----	PROPOSED GRADING RIDGELINE
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X G 100.00	PROPOSED GRADE SPOT SHOT
X TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X FC 100.00	PROPOSED FLUSH CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF ¼ INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN ¼ INCHES AND ½ INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP ¼ INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN ¼ INCH.



REVISED PER SITE PLAN REVIEW #1	ECH	BY
03/16/2022		
01/03/2022	RAC/ECH	
2	1	ISSUE

NOT APPROVED FOR CONSTRUCTION

STONEFIELD
engineering & design

Detroit, MI • New York, NY • Rutherford, NJ
Princeton, NJ • Tampa, FL • Boston, MA
www.stonefielddesign.com

607 Shelby Suite 200, Detroit, MI 48226
Phone 248.247.1115

HYPERSHINE

PROPOSED AUTO WASH

PARCEL ID: 12-23-202-2006
9345 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN



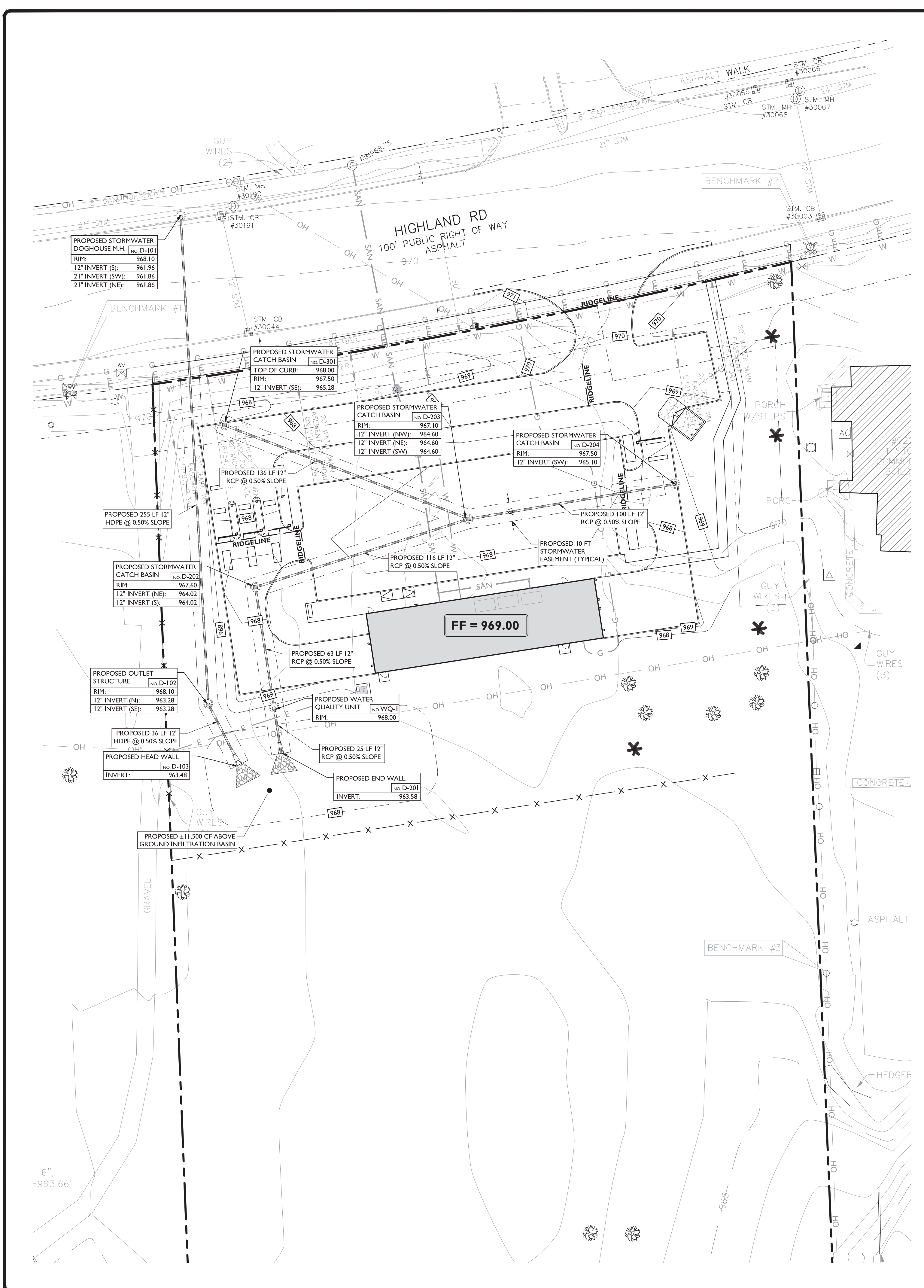
STONEFIELD
engineering & design

SCALE: 1" = 30' PROJECT ID: DET-210462

TITLE:
GRADING PLAN

DRAWING:
C-3

VERTICAL DATUM: MLLD (LOCAL MEAN SEA LEVEL) HIGH AND LOW WATER LAKE TOWNSHIP, MICHIGAN (M-59) ROADWAY



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	PROPOSED GRADING CONTOUR
---	PROPOSED GRADING RIDGELINE
---	PROPOSED STORMWATER STRUCTURES
---	PROPOSED STORMWATER PIPING
---	PROPOSED UNDERGROUND OUTLET STRUCTURE

REVISION	DATE	ISSUE	BY	DESCRIPTION
2	03/16/2022	ECH		REVISED PER SITE PLAN REVIEW #1
1	01/03/2022	RAC/ECH		FOR PRELIMINARY SITE PLAN APPROVAL

NOT APPROVED FOR CONSTRUCTION

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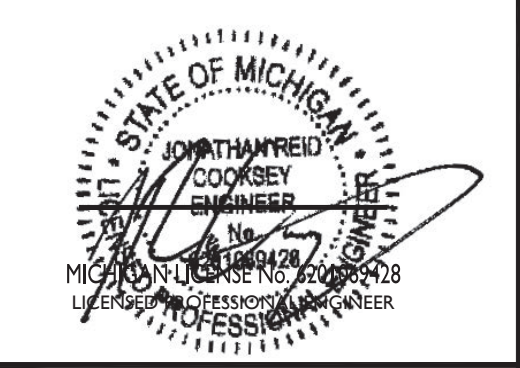
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 Princeton, NJ • Tampa, FL • Boston, MA
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607 Shelby Suite 200, Detroit, MI 48226
 Phone 248.247.1115

HYPERSHINE

PROPOSED AUTO WASH

PARCEL ID: 12-23-202-2006
 9345 HIGHLAND ROAD (M-59)
 WHITE LAKE TOWNSHIP
 OAKLAND COUNTY, MICHIGAN



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SCALE: 1" = 30' PROJECT ID: DET-210462

TITLE:
STORMWATER MANAGEMENT PLAN

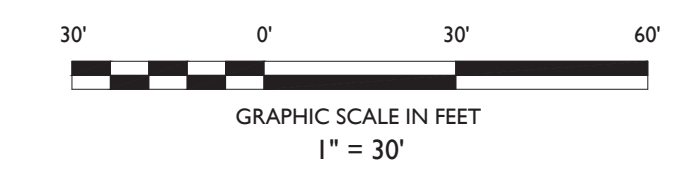
DRAWING:
C-4

MANHOLE SCHEDULE

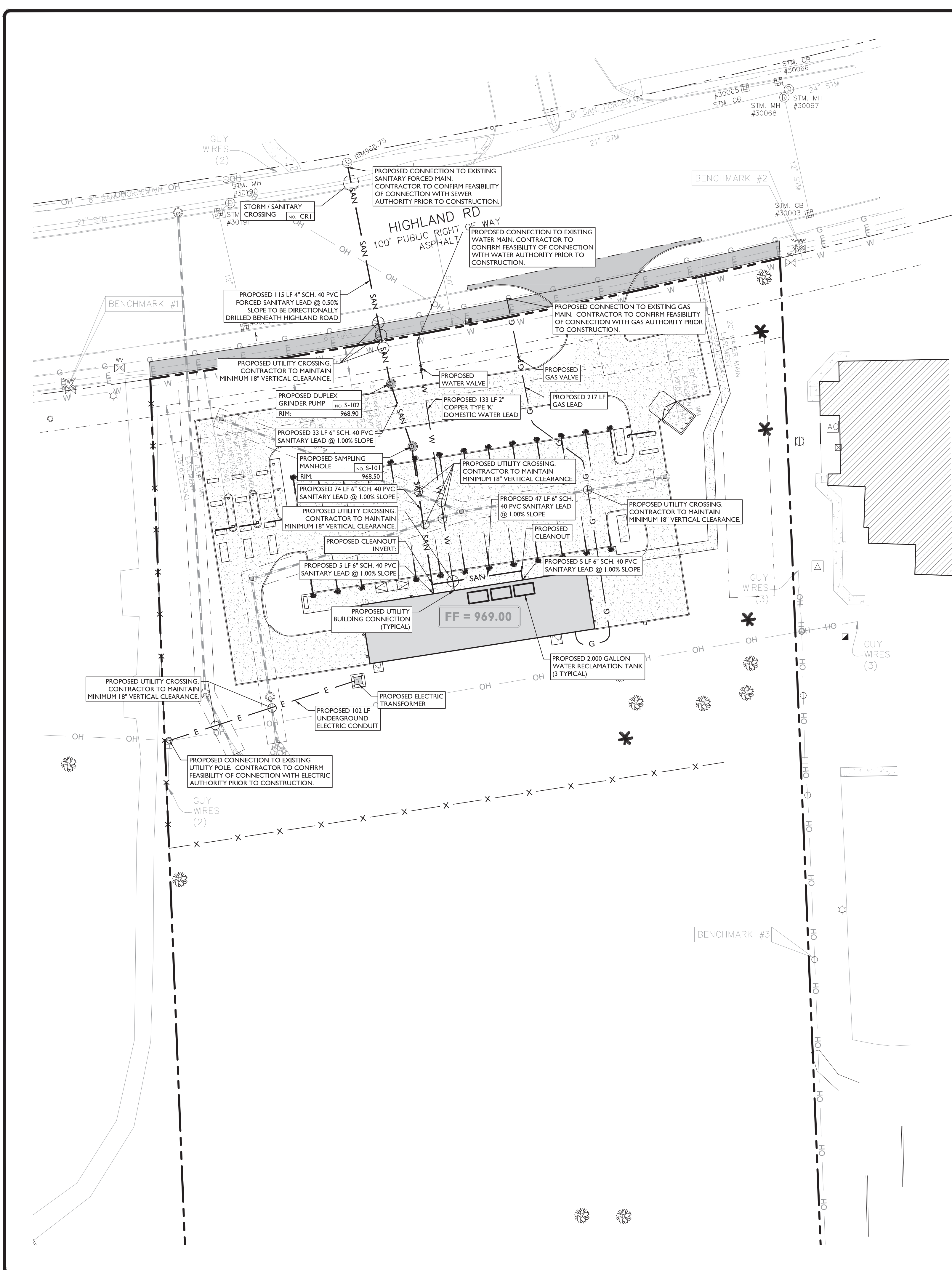
#	TYPE	RIM (FT)	SIZE (IN)	DIRECTION	INVERT (FT)
30003	CATCH BASIN	969.98	12	N	963.48
30044	CATCH BASIN	970.93	12	N	962.93
30065	CATCH BASIN	967.54	12	E	962.74
30066	CATCH BASIN	967.63	12	W	962.63
30067	STORM MANHOLE	967.78	12	SE	962.63
			12	NW	962.28
			24	E	959.38
			21	W	959.43
30068	STORM MANHOLE	967.89	12	S	962.39
			12	NE	962.29
30190	STORM MANHOLE	969.35	12	SW	961.53
			21	E	960.97
			21	W	960.90
30191	CATCH BASIN	968.78	12	NE	962.08
			12	S	962.28

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP GRADIENT.
 - THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

- EXCAVATION, SOIL PREPARATION, AND DEWATERING NOTES**
- THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO PREPARE SUBGRADE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL SHORING DESIGNER. THESE SHORING DESIGNS SHALL BE SUBMITTED TO STONEFIELD ENGINEERING & DESIGN, LLC AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR ANY DEWATERING DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.



V:\2021\1221\1221-202-2006\1221-202-2006-HIGHLAND RD AND WHITE LAKE TOWNSHIP-1221-202-2006-REVISED.DWG

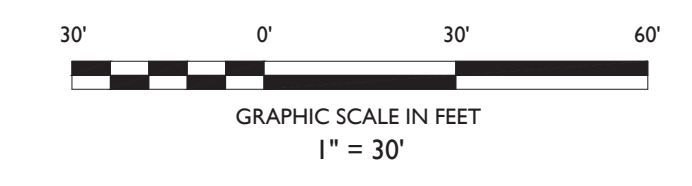


SYMBOL	DESCRIPTION
---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E	PROPOSED ELECTRIC CONDUITS
G	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊕	PROPOSED WATER TEE / BEND
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊞	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS



#	TYPE	RIM (FT)	SIZE (IN)	DIRECTION	INVERT (FT)
30003	CATCH BASIN	969.98	12	N	963.48
30044	CATCH BASIN	970.93	12	N	962.93
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			21	W	960.90
30191	CATCH BASIN	968.78	12	NE	962.08
			12	S	962.28

- MANHOLE SCHEDULE**
- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASUREMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



REVISION	DATE	BY	DESCRIPTION
2	03/16/2022	ECH	REVISED PER SITE PLAN REVIEW #1
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NOT APPROVED FOR CONSTRUCTION

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HYPERSHINE

PROPOSED AUTO WASH

PARCEL ID: 12-23-202-006
9345 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
MICHAEL J. COFFEY
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 93838

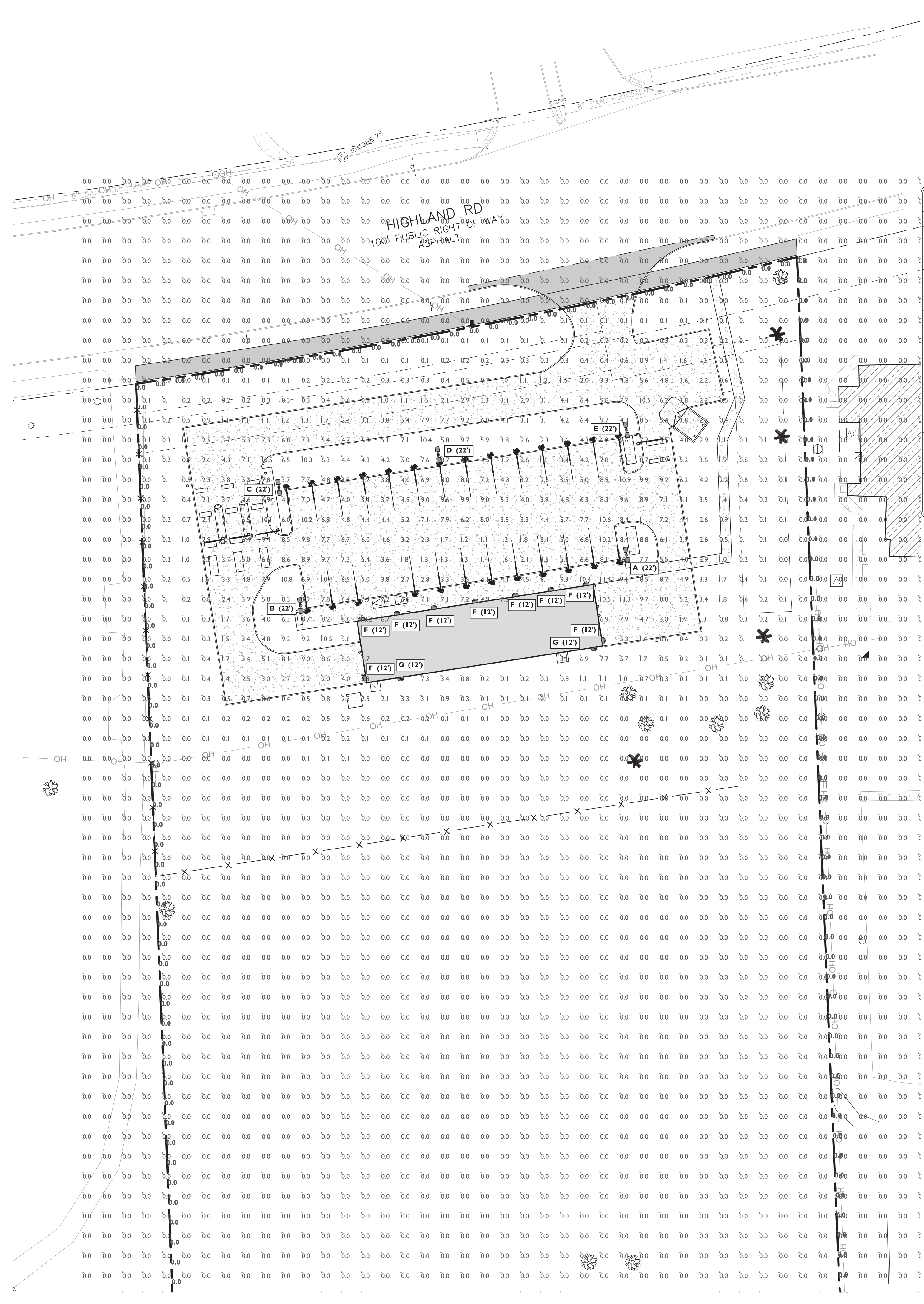
STONEFIELD
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SCALE: 1" = 30' PROJECT ID: DET-210462

TITLE:
UTILITY PLAN

DRAWING:
C-5

NOTES: 1. IDENTIFY ALL UTILITIES ALONG HIGHLAND ROAD, WHITE LAKE TOWNSHIP, MICHIGAN. PHOTOGRAPH UTILITIES.



PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	LIGHTING SPECIFICATION	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	MIRADA MEDIUM OUTDOOR LED AREA LIGHT W/ INTEGRAL LOUVER FULL CUTOFF SHIELD (2 @ 90°)	III	0.9	LSI LIGHTING	MRM-LED-18L-SIL-3-40-70CRI-ILIES
	B	1	MIRADA MEDIUM OUTDOOR LED AREA LIGHT W/ INTEGRAL LOUVER FULL CUTOFF SHIELD (2 @ 90°)	III	0.9	LSI LIGHTING	MRM-LED-18L-SIL-3-40-70CRI-ILIES
	C	1	MIRADA MEDIUM OUTDOOR LED AREA LIGHT W/ INTEGRAL LOUVER FULL CUTOFF SHIELD (2 @ 90°)	III	0.9	LSI LIGHTING	MRM-LED-18L-SIL-3-40-70CRI-ILIES
	D	1	MIRADA MEDIUM OUTDOOR LED AREA LIGHT W/ INTEGRAL LOUVER FULL CUTOFF SHIELD (2 @ 90°)	III	0.9	LSI LIGHTING	MRM-LED-18L-SIL-3-40-70CRI-ILIES
	E	1	MIRADA MEDIUM OUTDOOR LED AREA LIGHT W/ INTEGRAL LOUVER FULL CUTOFF SHIELD (2 @ 90°)	III	0.9	LSI LIGHTING	MRM-LED-18L-SIL-3-40-70CRI-ILIES
	F	9	MIRADA OUTDOOR LED WALLPACK	FT	0.9	LSI LIGHTING	XWM-FT-LED-03L-40IES
	G	2	MIRADA OUTDOOR LED WALLPACK (EMERGENCY FIXTURE ONLY)	II	0.9	LSI LIGHTING	XWM-2-LED-03L-40IES

SYMBOL	DESCRIPTION
A (XX)	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

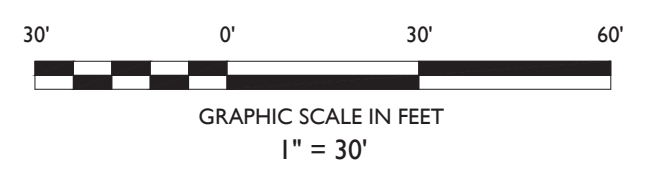
LIGHTING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.18.G	LIGHT FIXTURES SHALL BE FULL CUT OFF AT 90°	PROVIDED
§ 5.18.G.ii	MINIMUM PROPERTY LINE SETBACK: 5 FT	60.0 FT
§ 5.18.G.via	MAXIMUM FIXTURE HEIGHTS: WITHIN 25 FT OF PROPERTY LINE: 16 FT WITHIN 26-60 FT OF PROPERTY LINE: 20 FT WITHIN 61-100 FT OF PROPERTY LINE: 25 FT > 100 FT OFF PROPERTY LINE: 30 FT	N/A N/A 22 FT N/A
§ 5.18.G.iii	PERMITTED GLARE: ALL PROPERTY LINES: 0 FC	0.0 FC

LIGHTING STATISTICS			
DESCRIPTION	AVERAGE	MINIMUM	MAXIMUM
OVERALL PARCEL	0.56 FC	0.00 FC	15.3 FC
DEVELOPMENT AREA	2.91 FC	0.00 FC	15.3 FC
PROPERTY LINE	0.00 FC	0.00 FC	0.0 FC

(1) ALL CALCULATIONS MEASURED 6 FT ABOVE GRADE

SECURITY CAMERAS TO BE MOUNTED ON EACH POLE 10 FT ABOVE GRADE		
POLE LABEL	NUMBER OF CAMERAS	DIRECTION OF CAMERAS
A		
B		
C		
D		
E		

- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.30
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS.
 - THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.



REVISION	DATE	DESCRIPTION
2	03/16/2022	FOR PRELIMINARY SITE PLAN APPROVAL
1	01/03/2022	

NOT APPROVED FOR CONSTRUCTION

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Phone 248.247.1115

HYPERSHINE

PROPOSED AUTO WASH

PARCEL ID: 12-23-202-006
9145 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

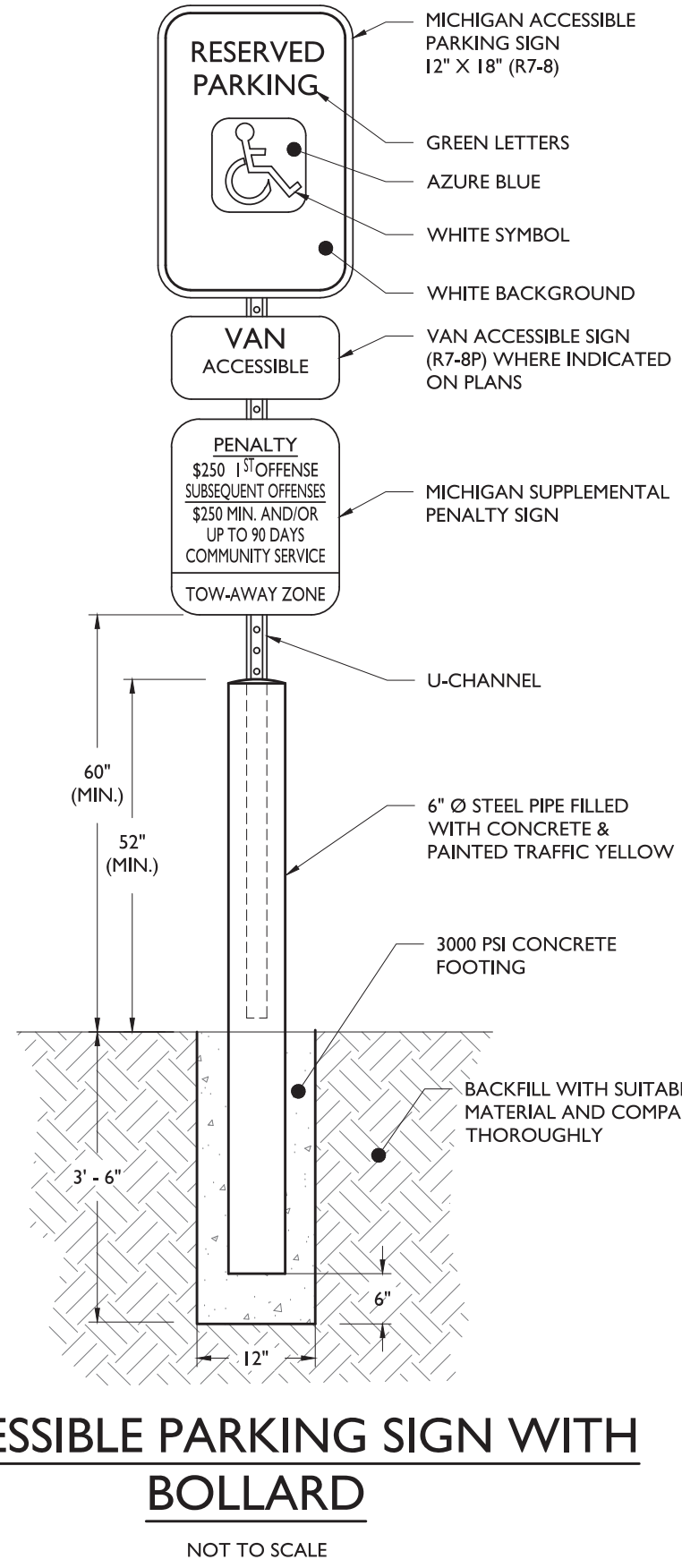


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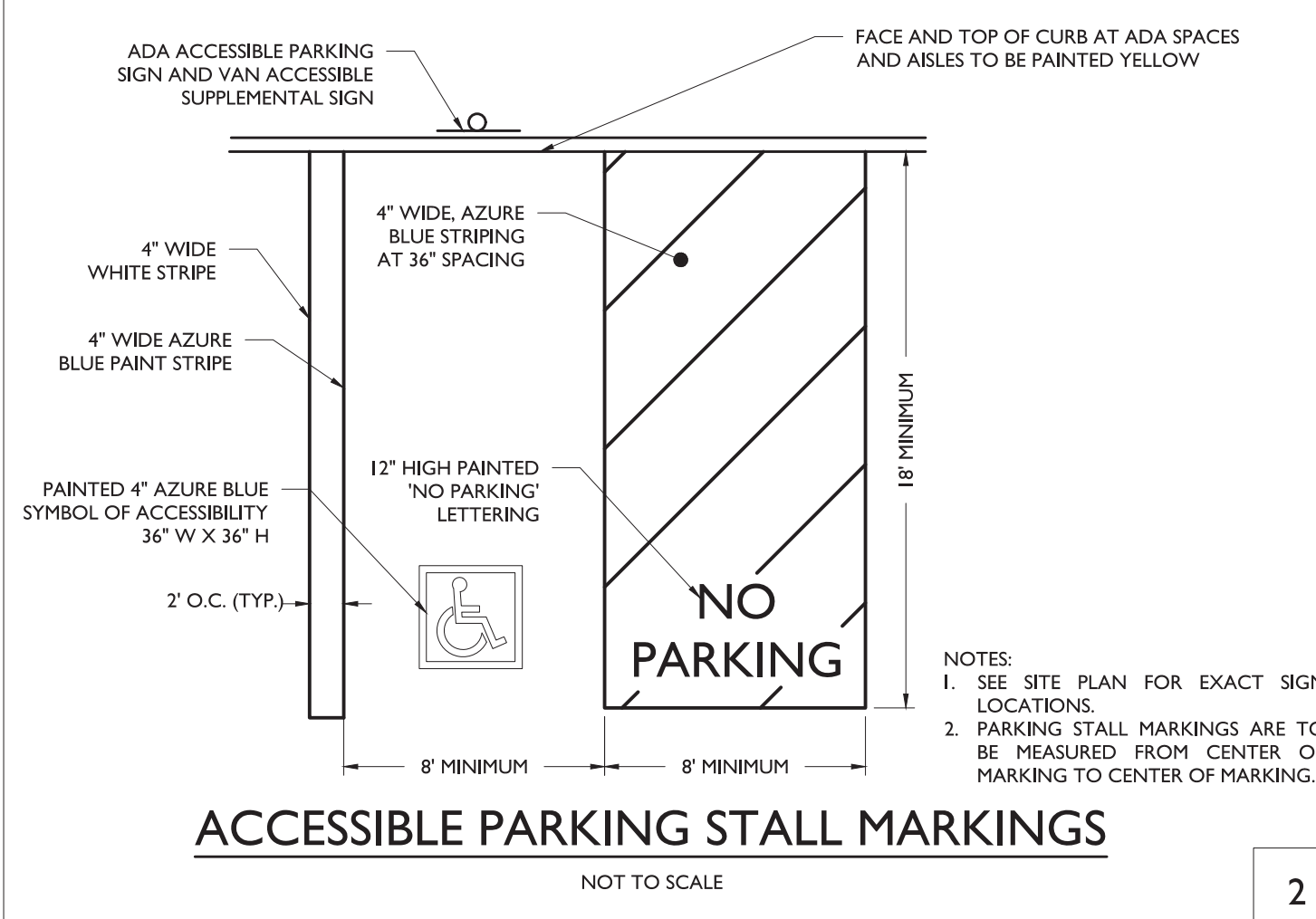
SCALE: 1" = 30' PROJECT ID: DET-210462

TITLE:
LIGHTING PLAN

DRAWING:
C-6

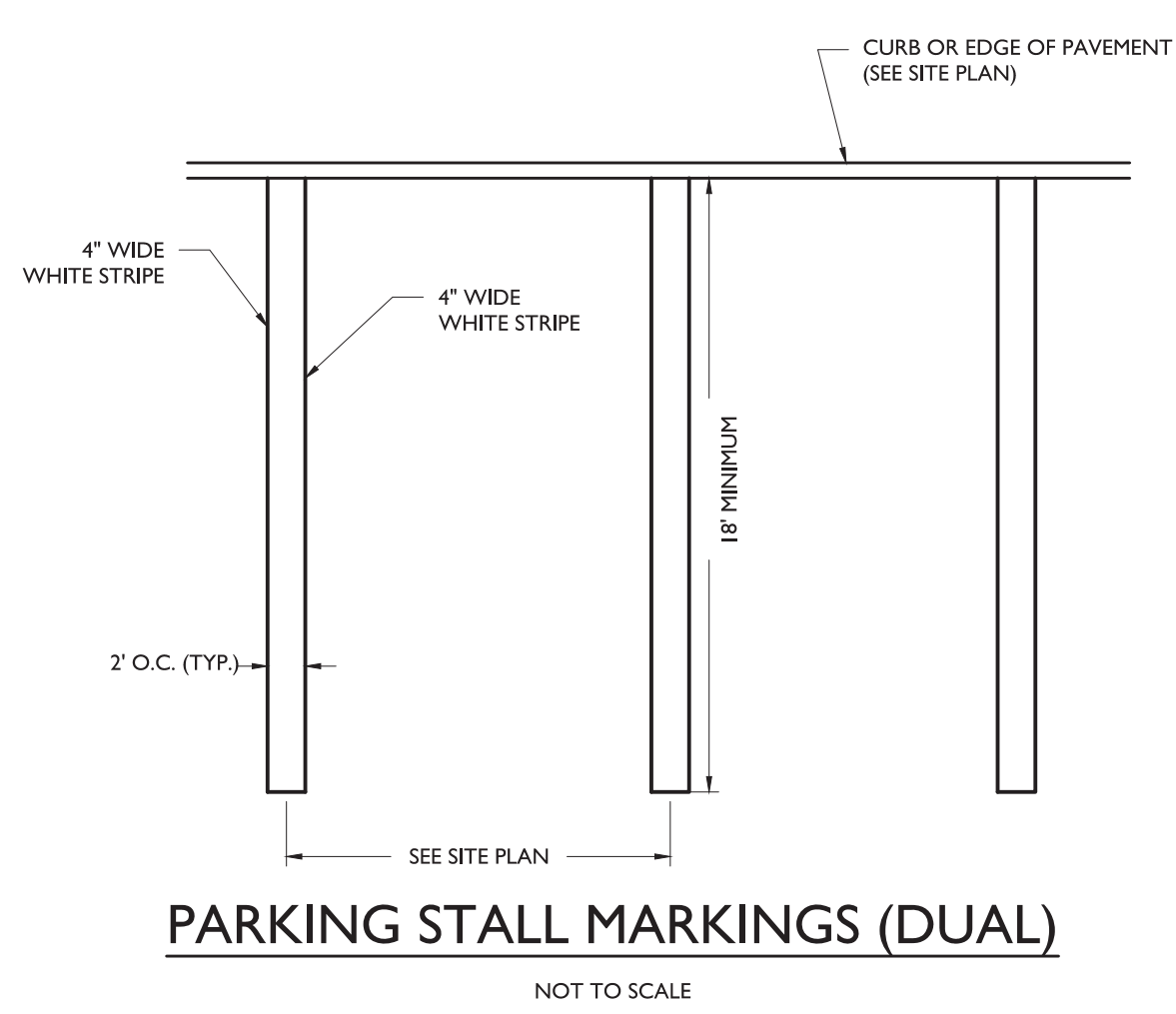


ACCESSIBLE PARKING SIGN WITH BOLLARD
NOT TO SCALE



ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

2

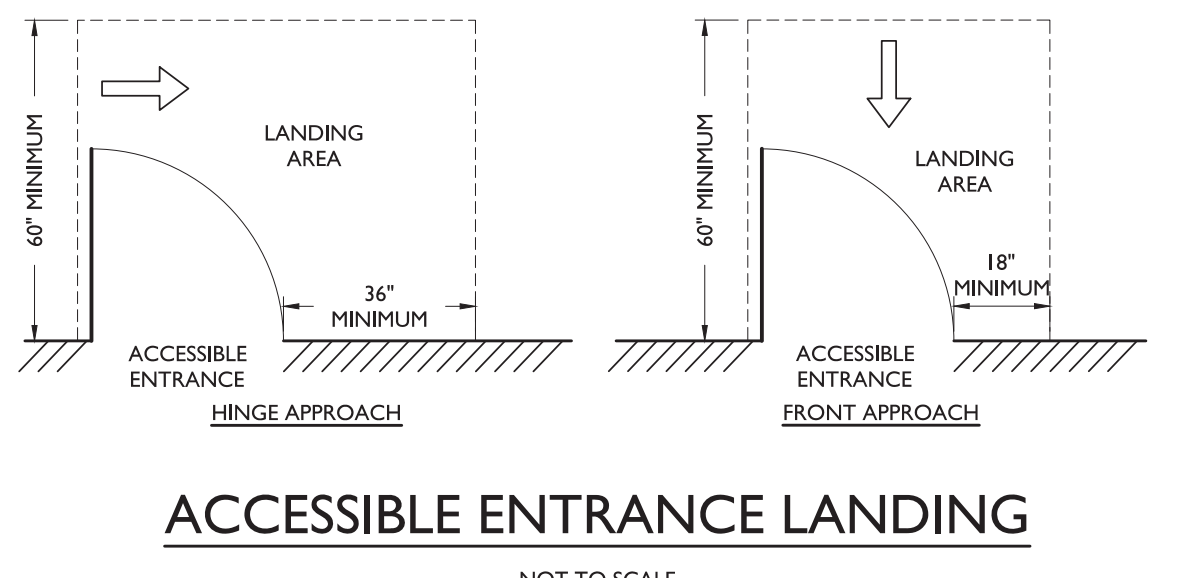


PARKING STALL MARKINGS (DUAL)
NOT TO SCALE

3

- PAVEMENT STRIPING & MARKINGS NOTES:**
1. ALL SIGNING AND STRIPING IN EXISTING CONDITION IN CONFLICT WITH THE PROPOSED DESIGN PLAN SHALL BE REMOVED.
 2. ALL PROPOSED SIGNING AND STRIPING SHALL CONFORM TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
 3. PAVEMENT STRIPING AND MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS.
 4. UNLESS OTHERWISE SPECIFIED, ALL STRIPING AND MARKINGS IN THE PUBLIC RIGHT-OF-WAY SHALL BE OF THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.
 5. UNLESS OTHERWISE SPECIFIED, ON SITE PARKING STALL STRIPING, FIRE LANE STRIPING AND DIRECTIONAL ARROWS SHALL BE EPOXY PAINT. ON SITE STOP BARS, "DO NOT ENTER" BARS, AND ASSOCIATED LETTERING SHALL BE THERMOPLASTIC PAINT OR PREFORMED THERMOPLASTIC MARKINGS.

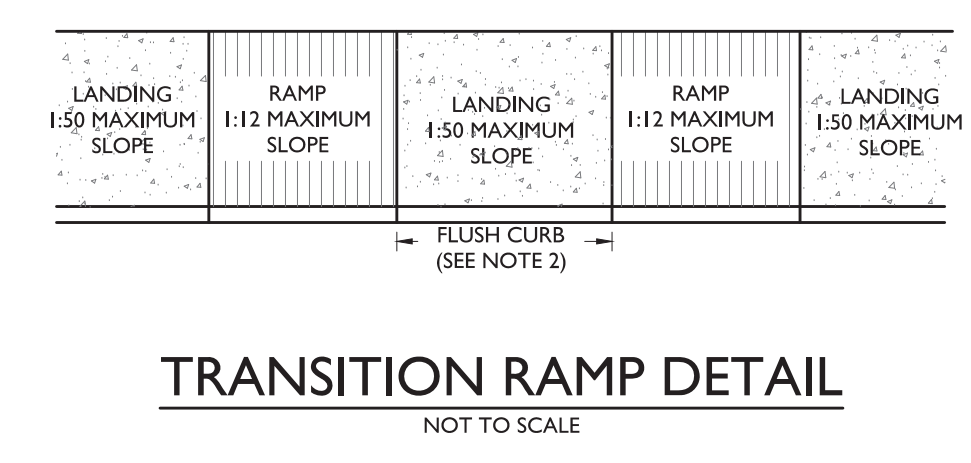
4



ACCESSIBLE ENTRANCE LANDING
NOT TO SCALE

- NOTES:**
1. MAXIMUM SLOPE ON LANDING SHALL BE 1:50 IN ALL DIRECTIONS
 2. DIMENSIONS SHOWN HERE ARE THE MINIMUM DIMENSIONS REQUIRED FOR AN ADA COMPLIANT LANDING AT THE ACCESSIBLE ENTRANCE. REFER TO SITE PLAN FOR SITE SPECIFIC DIMENSIONS THAT MAY SPECIFY A LARGER LANDING AREA.
 3. CONTRACTOR SHALL CONTACT THE ENGINEER BEFORE CONSTRUCTION IF THE ACCESSIBLE ENTRANCE ON SITE DOES NOT MATCH THE SCENARIO SHOWN ABOVE.

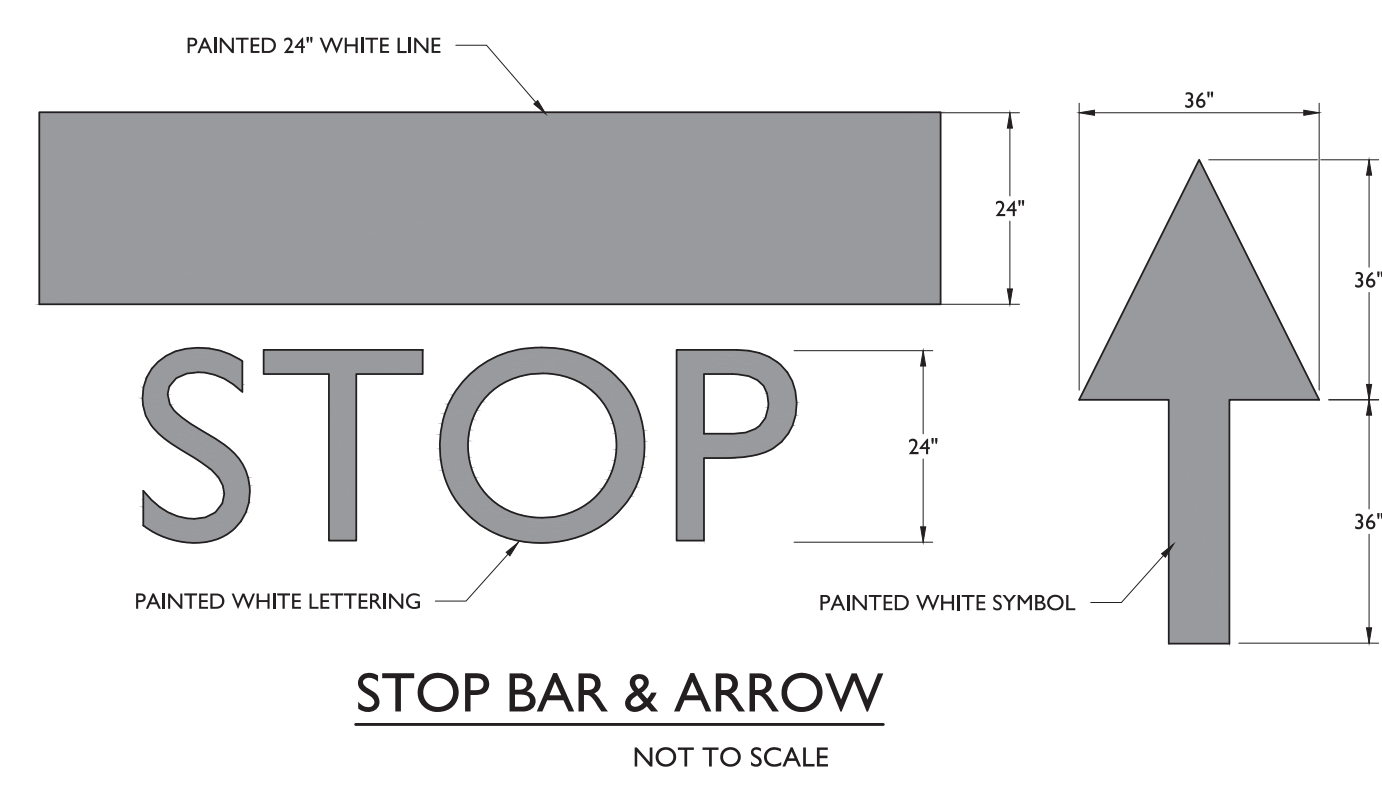
5



TRANSITION RAMP DETAIL
NOT TO SCALE

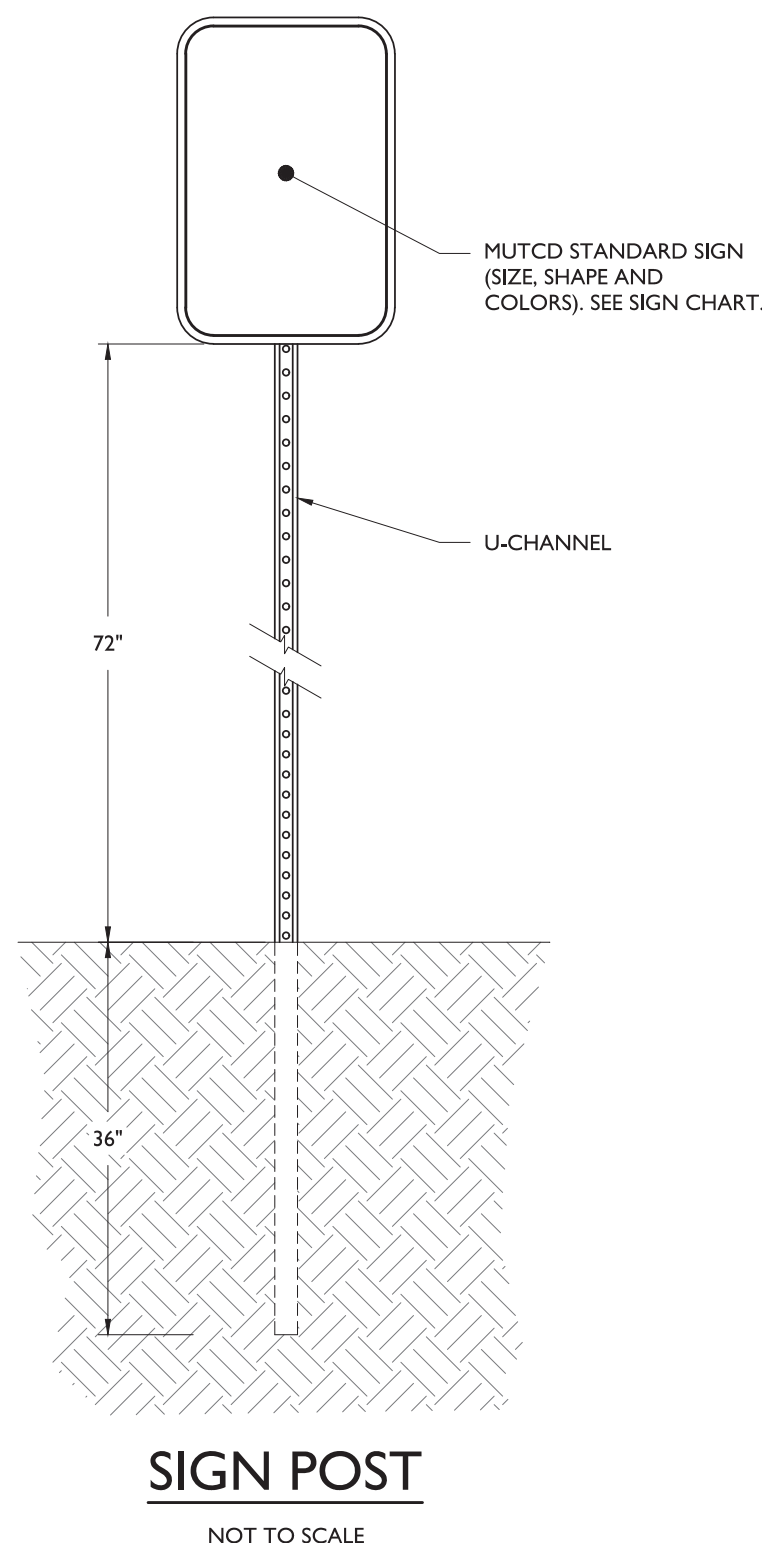
- NOTES:**
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
 2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
 3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.

6



STOP BAR & ARROW
NOT TO SCALE

7

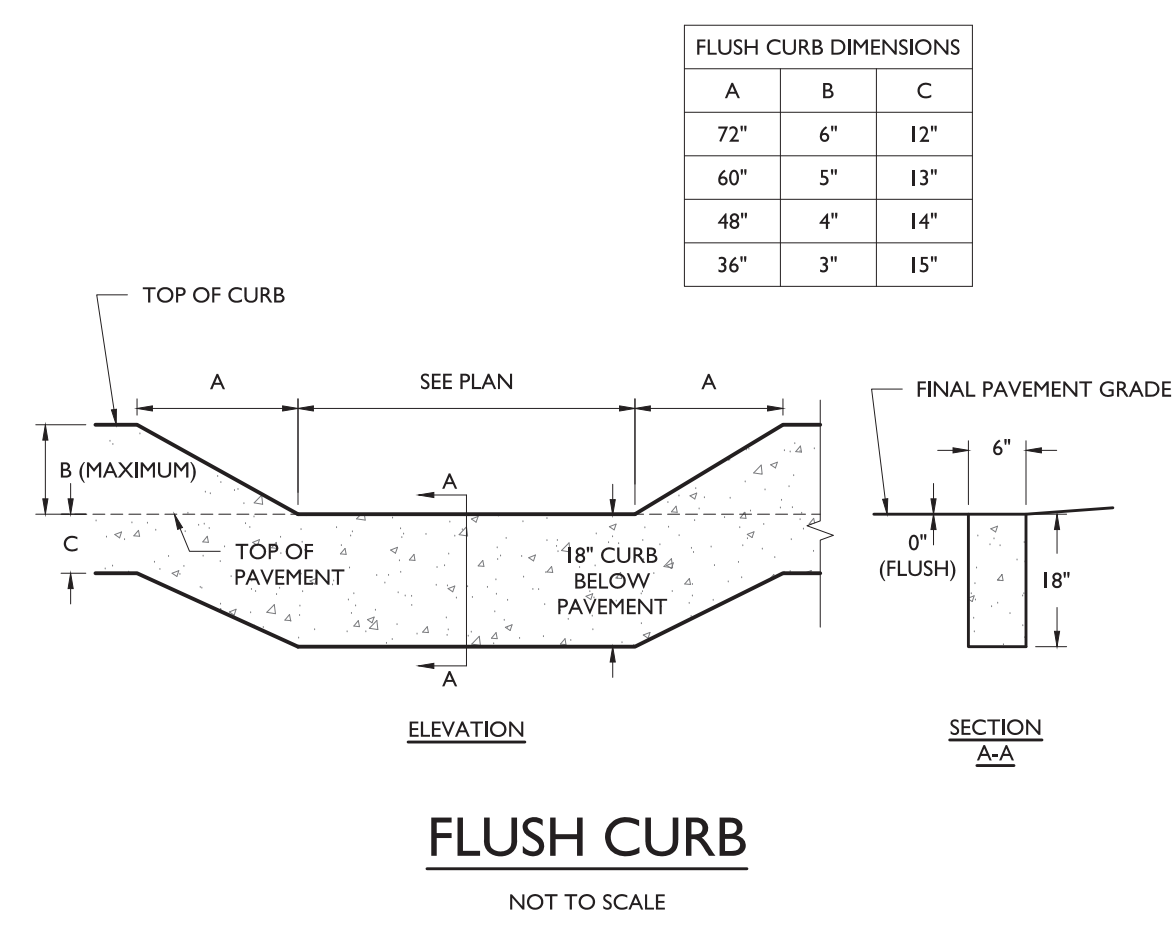


SIGN POST
NOT TO SCALE

M.U.T.C.D. NUMBER	TEXT	COLOR	LEGEND	BACKGROUND	SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
STOP SIGN (R1-1)	STOP	WHITE	RED	WHITE	36"x36"	GROUND
DO NOT ENTER (R5-1)	DO NOT ENTER	RED	WHITE	WHITE	30"x30"	GROUND

SIGN DATA TABLE
NOT TO SCALE

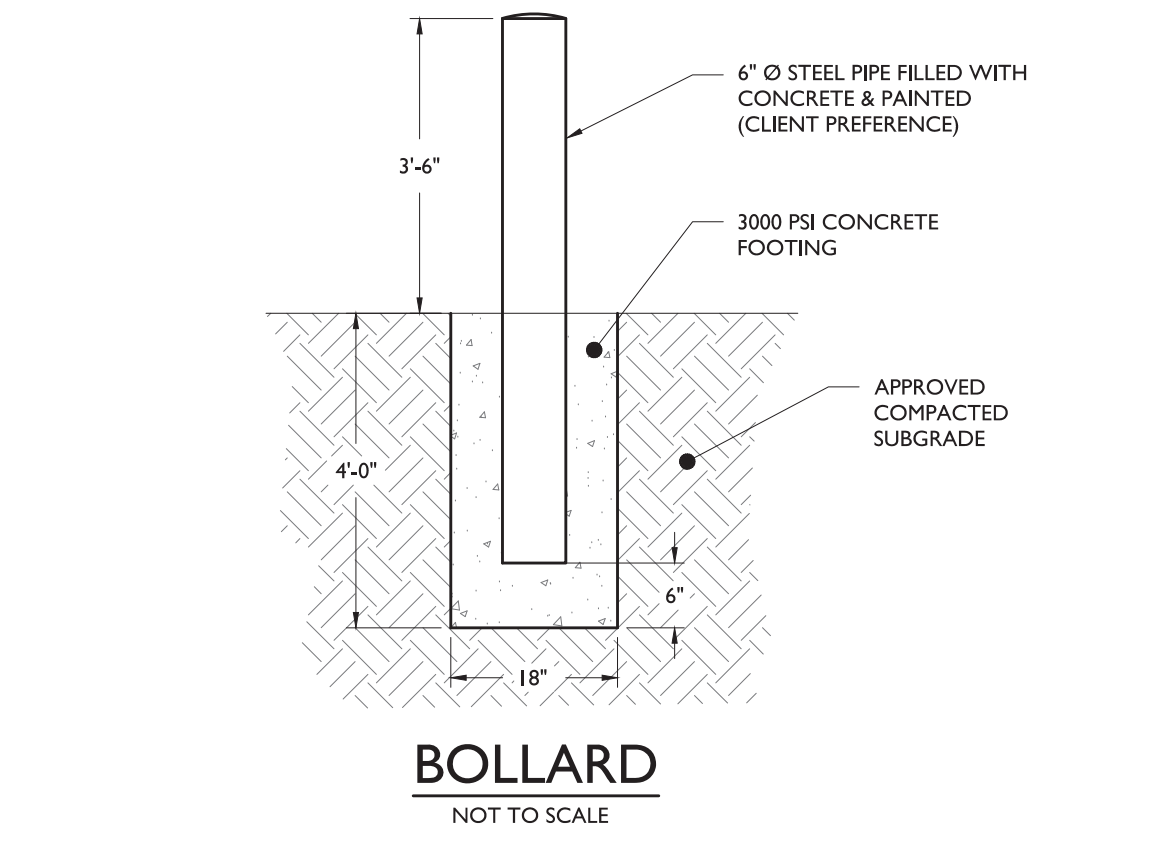
8



FLUSH CURB
NOT TO SCALE

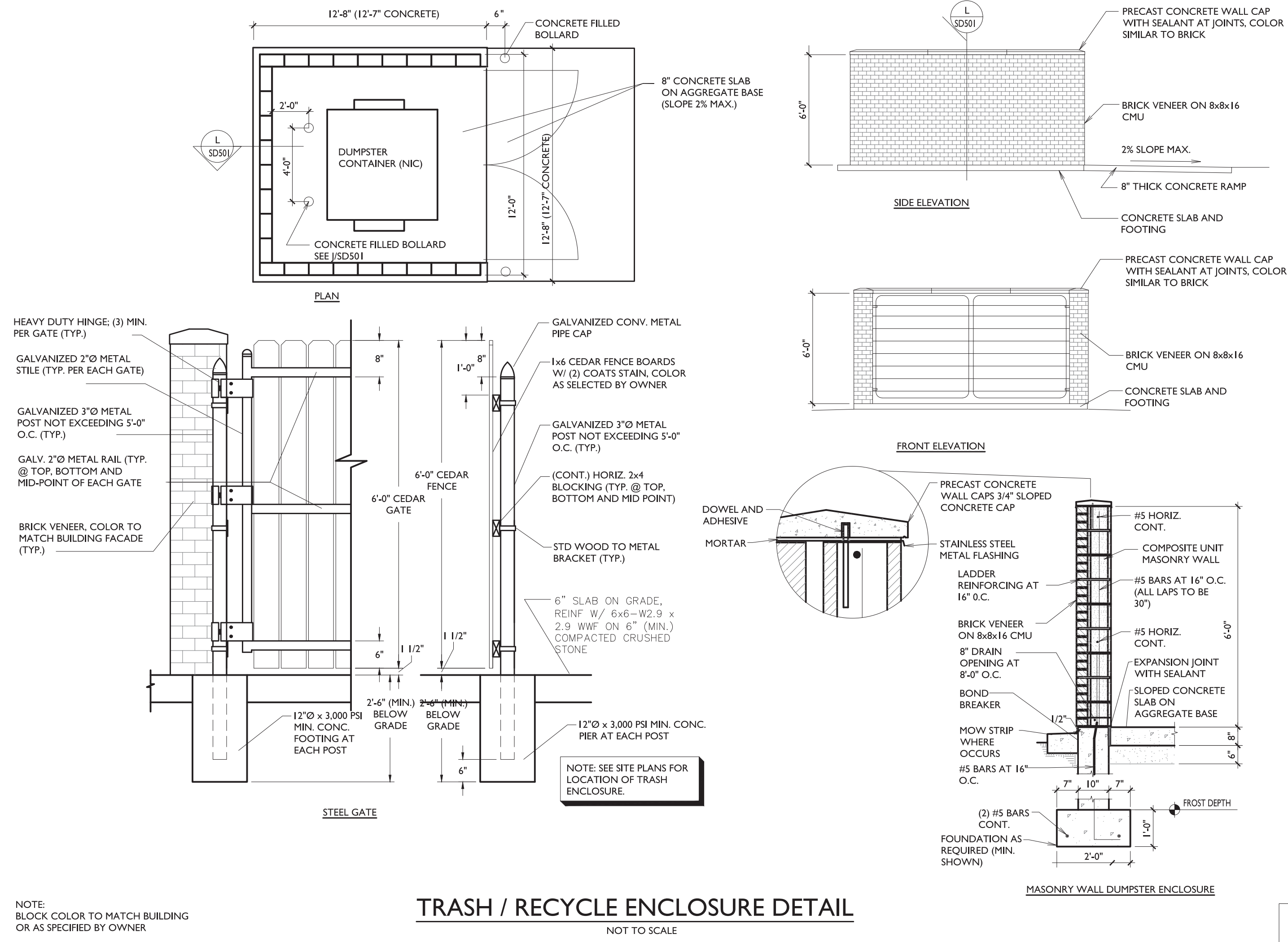
FLUSH CURB DIMENSIONS		
A	B	C
72"	6"	12"
60"	5"	13"
48"	4"	14"
36"	3"	15"

9



BOLLARD
NOT TO SCALE

10



TRASH / RECYCLE ENCLOSURE DETAIL
NOT TO SCALE

11

REVISION	DATE	BY	DESCRIPTION
2	03/16/2022	ECH	REVISED PER SITE PLAN REVIEW #1
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HYPERSHINE
PROPOSED AUTO WASH

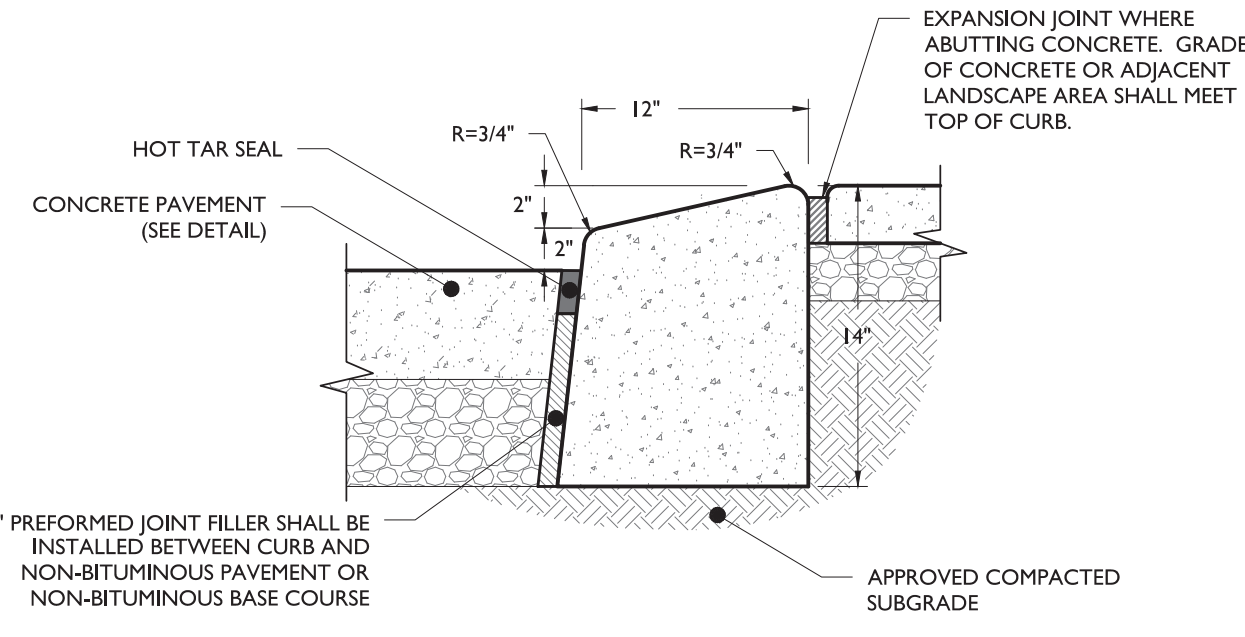
PARCEL ID: 12-23-202-006
9345 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
MICHIGAN PROFESSIONAL ENGINEERS
MICHAEL J. STONEFIELD
LICENSED PROFESSIONAL ENGINEER
No. 10559

STONEFIELD
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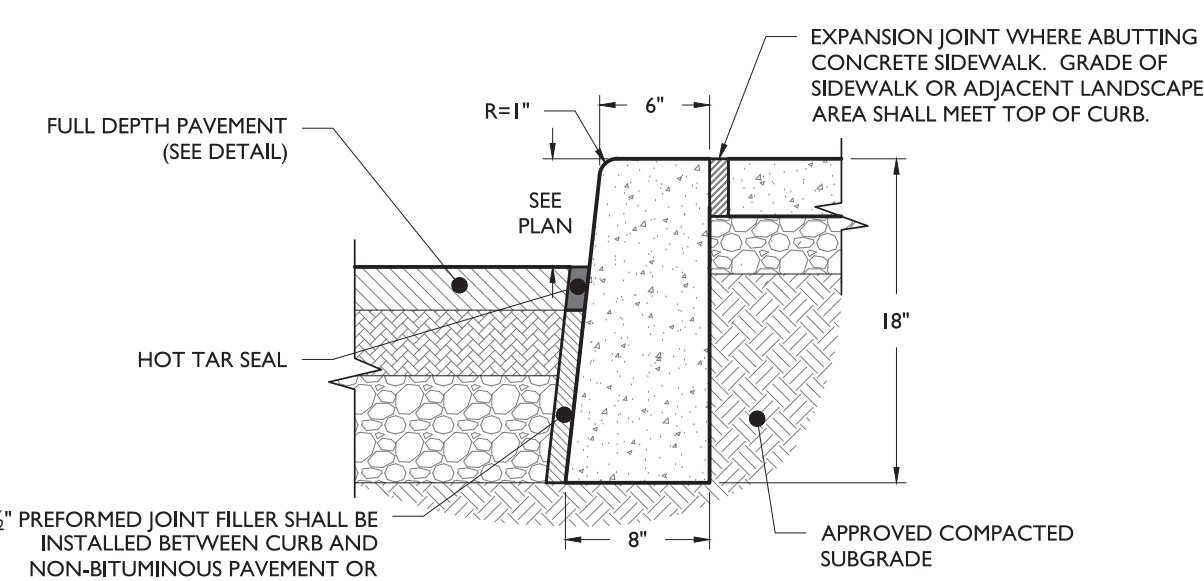
SCALE: AS SHOWN PROJECT ID: DET-21042
TITLE: CONSTRUCTION DETAILS
DRAWING: C-8

VERTICAL DOTTED LINE: BOUNDARY BETWEEN HIGHWAY AND ROAD. WHITE LAKE TOWNSHIP, MICHIGAN. PHOTO: 8/20/18. 10/18/18



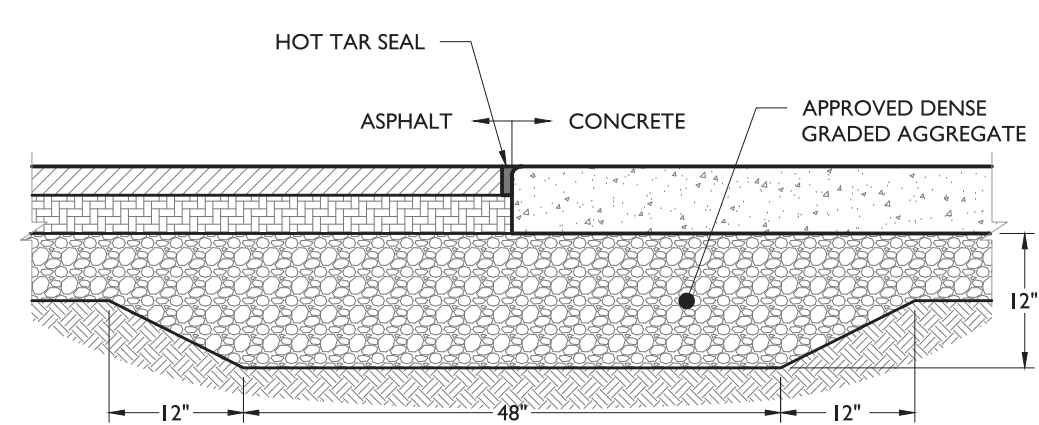
MOUNTABLE CONCRETE CURB
NOT TO SCALE

- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



CONCRETE CURB DETAIL (ON-SITE)
NOT TO SCALE

- NOTES:
- CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 - TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 - HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 - 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



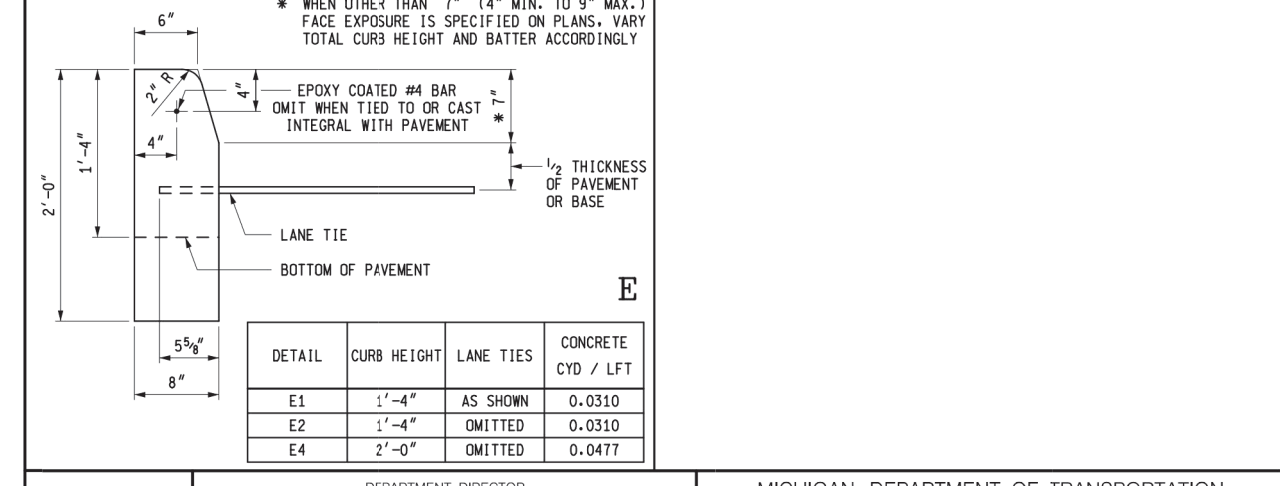
CONCRETE TO ASPHALT TRANSITION
NOT TO SCALE

DETAIL	T	LANE TIES	CONCRETE CTD / LFT	CONCRETE CTD / LFT
B1	9"	AS SHOWN	0.0900	(# 0.0851)
B2	9"	OMITTED	0.0900	(# 0.0851)
B3	10"	AS SHOWN	0.0941	(# 0.0894)

DETAIL	T	LANE TIES	CONCRETE CTD / LFT	CONCRETE CTD / LFT
D1	9"	AS SHOWN	0.0788	
D2	9"	OMITTED	0.0788	
D3	10"	AS SHOWN	0.0826	

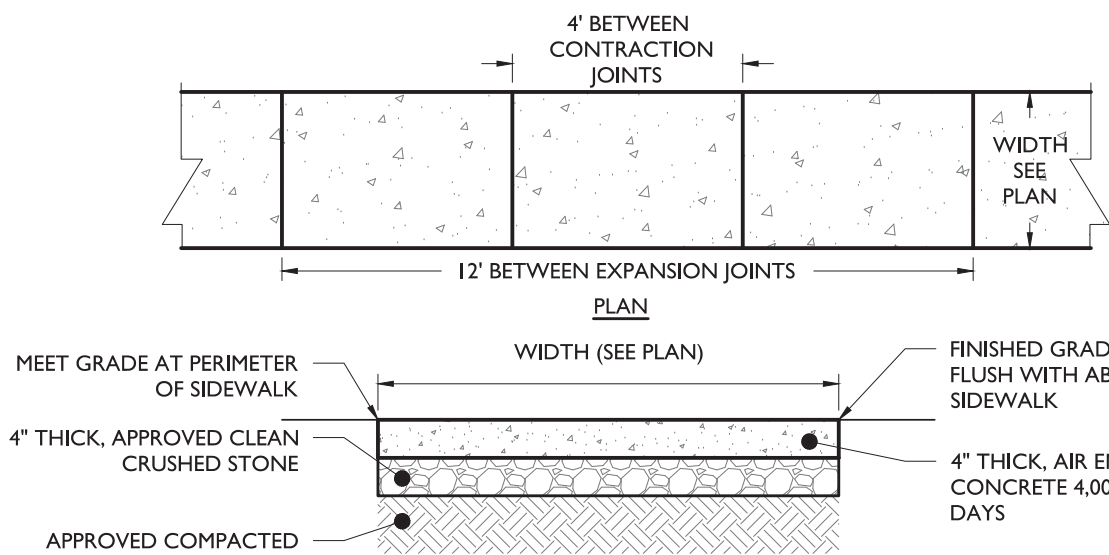
DETAIL	M	N	LANE TIES	CONCRETE CTD / LFT
C1	1'-6"	1/2"	AS SHOWN	0.0306
C2	1'-6"	1/2"	OMITTED	0.0306
C3	2'-0"	1/2"	AS SHOWN	0.0632
C4	2'-0"	1/2"	OMITTED	0.0632
C5	2'-6"	1/2"	AS SHOWN	0.0757
C6	2'-6"	1/2"	OMITTED	0.0757

DETAIL	M	N	LANE TIES	CONCRETE CTD / LFT
F1	1'-6"	1/2"	AS SHOWN	0.0306
F2	1'-6"	1/2"	OMITTED	0.0306
F3	2'-0"	1/2"	AS SHOWN	0.0632
F4	2'-0"	1/2"	OMITTED	0.0632
F5	2'-6"	1/2"	AS SHOWN	0.0757
F6	2'-6"	1/2"	OMITTED	0.0757



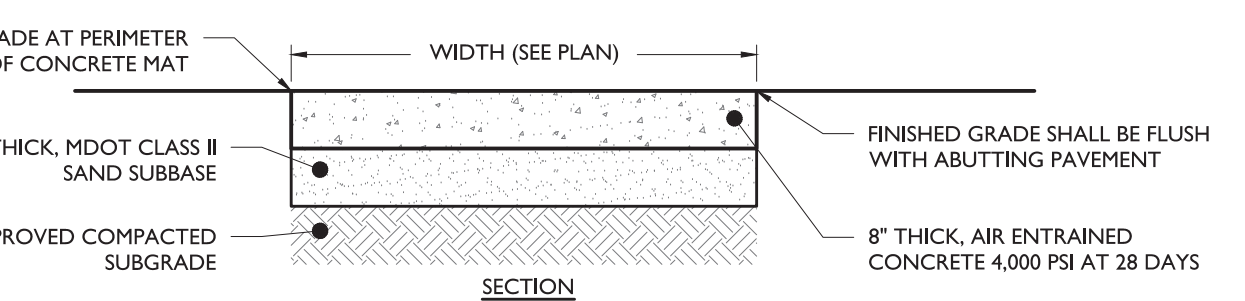
DETAIL	CURB HEIGHT	LANE TIES	CONCRETE CTD / LFT
E1	1'-4"	AS SHOWN	0.0350
E2	1'-4"	OMITTED	0.0350
E4	2'-0"	OMITTED	0.0417

MDOT CONCRETE CURB DETAILS (RIGHT-OF-WAY)
NOT TO SCALE



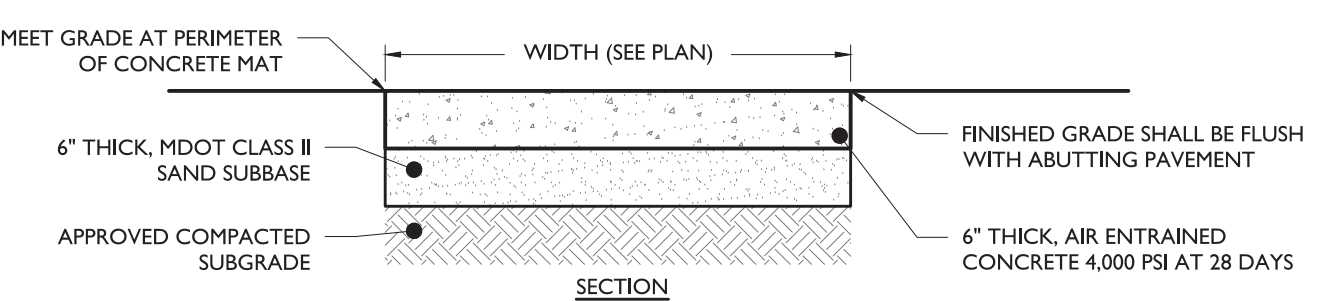
CONCRETE WALKWAY
NOT TO SCALE

- NOTES:
- MAXIMUM CROSS SLOPE SHALL BE 1/4" PER FOOT.
 - 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
 - 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
 - EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



CONCRETE PAVEMENT
NOT TO SCALE

- NOTES:
- 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 - 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
 - CONCRETE SHALL RECEIVE BROOM FINISH.
 - ALL EXPOSED CORNERS TO HAVE 12" CHAMFER.

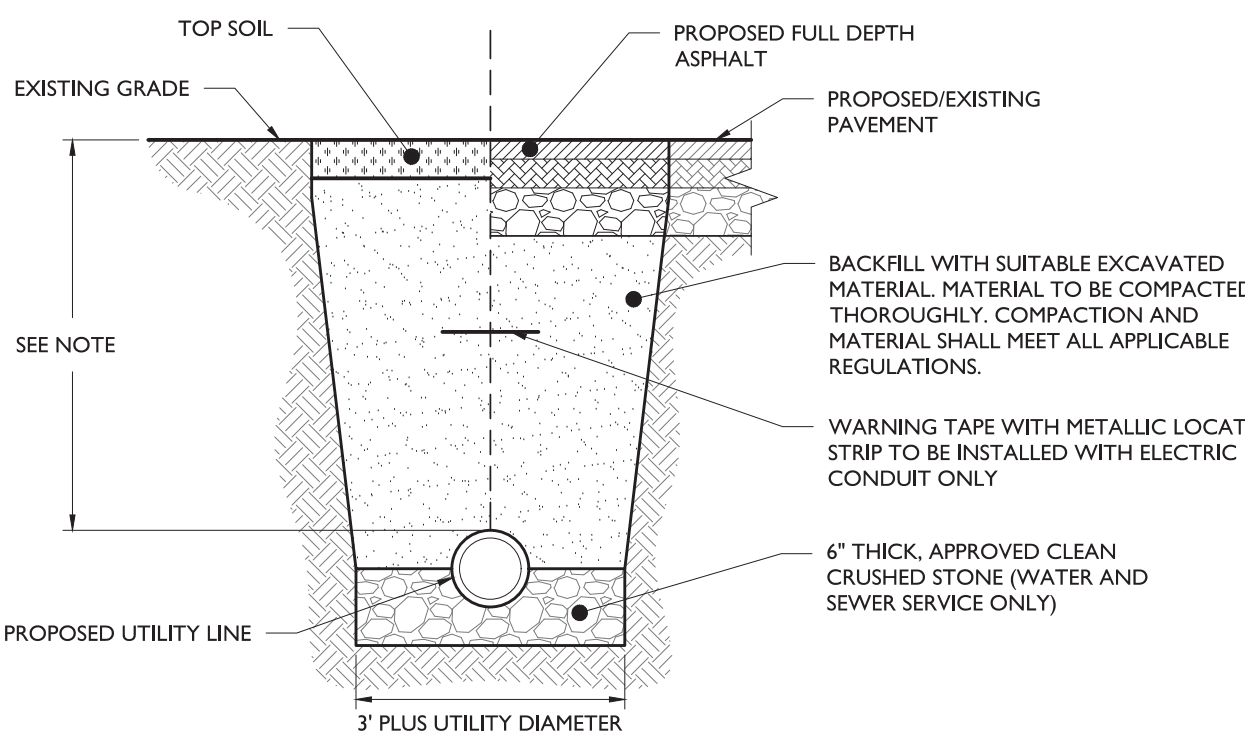


CONCRETE MAT
NOT TO SCALE

- NOTES:
- 1/2" EXPANSION JOINTS WITH WATER SEAL SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE. LONGITUDINAL REBAR TO BE CUT AT EXPANSION JOINTS.
 - 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT MID-POINT BETWEEN EXPANSION JOINTS OR 6' INTERVALS MAX.
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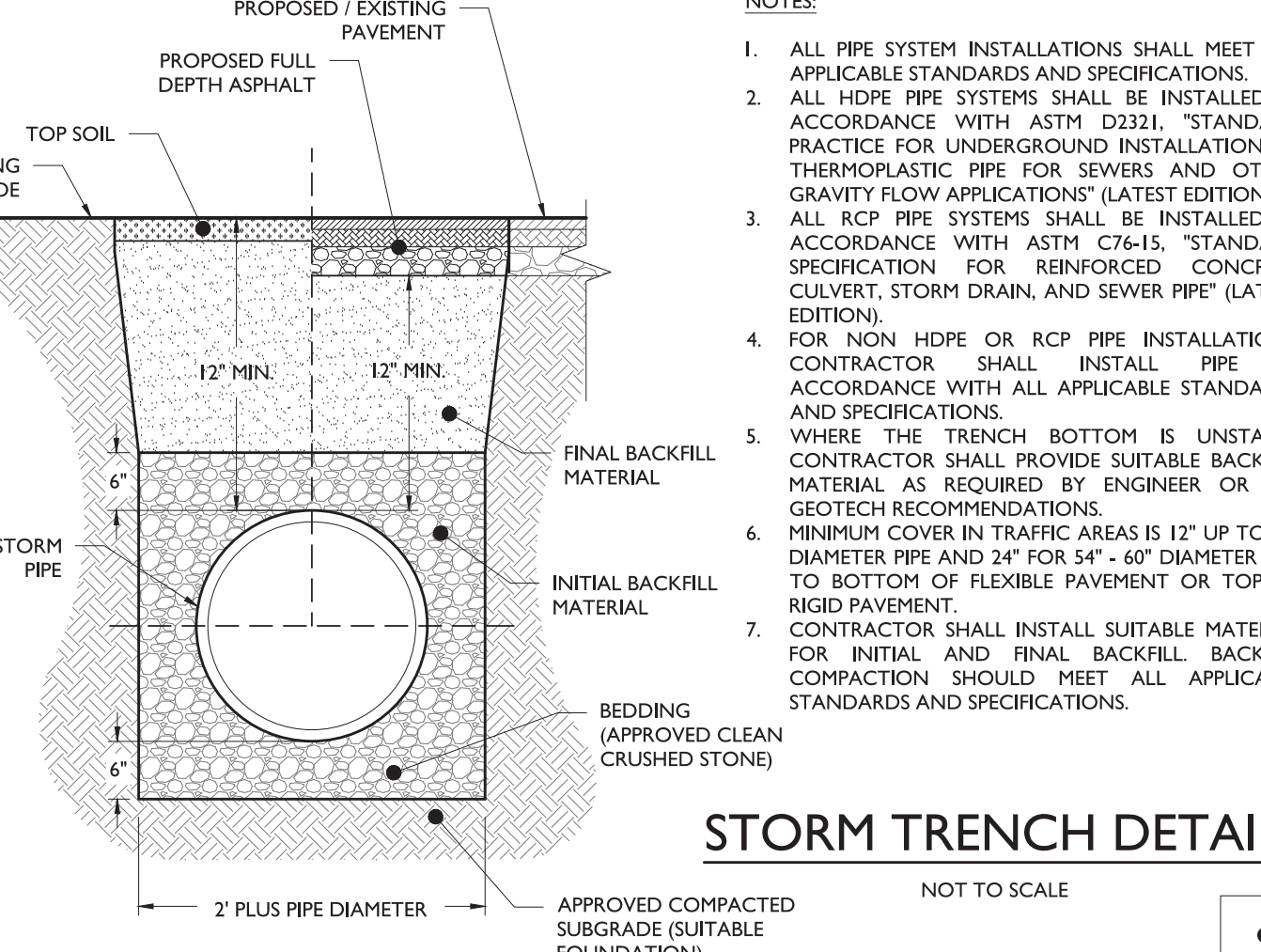
APPROVED BY: [Signature] DIRECTOR, BUREAU OF FIELD SERVICES
APPROVED BY: [Signature] DIRECTOR, BUREAU OF HIGHWAY DEVELOPMENT

MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLAN FOR
CONCRETE CURB AND CONCRETE CURB & GUTTER
2-6-2014 PLAN DATE R-30-G SHEET 1 OF 2



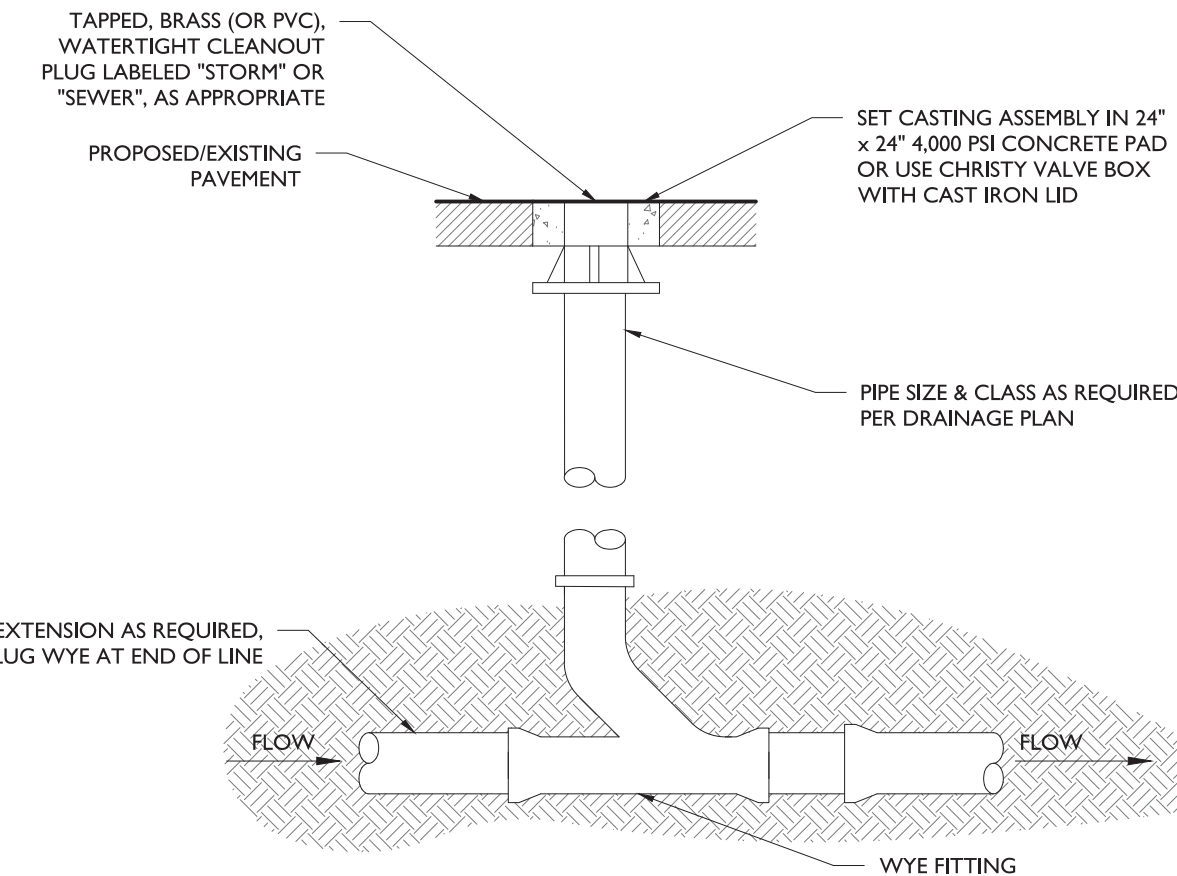
UTILITY TRENCH
NOT TO SCALE

- NOTE:
- MINIMUM PIPE COVER SHALL BE AS FOLLOWS:
- ELECTRIC SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - GAS SERVICE - PER APPLICABLE UTILITY AUTHORITY
 - SEWER SERVICE - 36" MINIMUM
 - WATER SERVICE - 48" MINIMUM



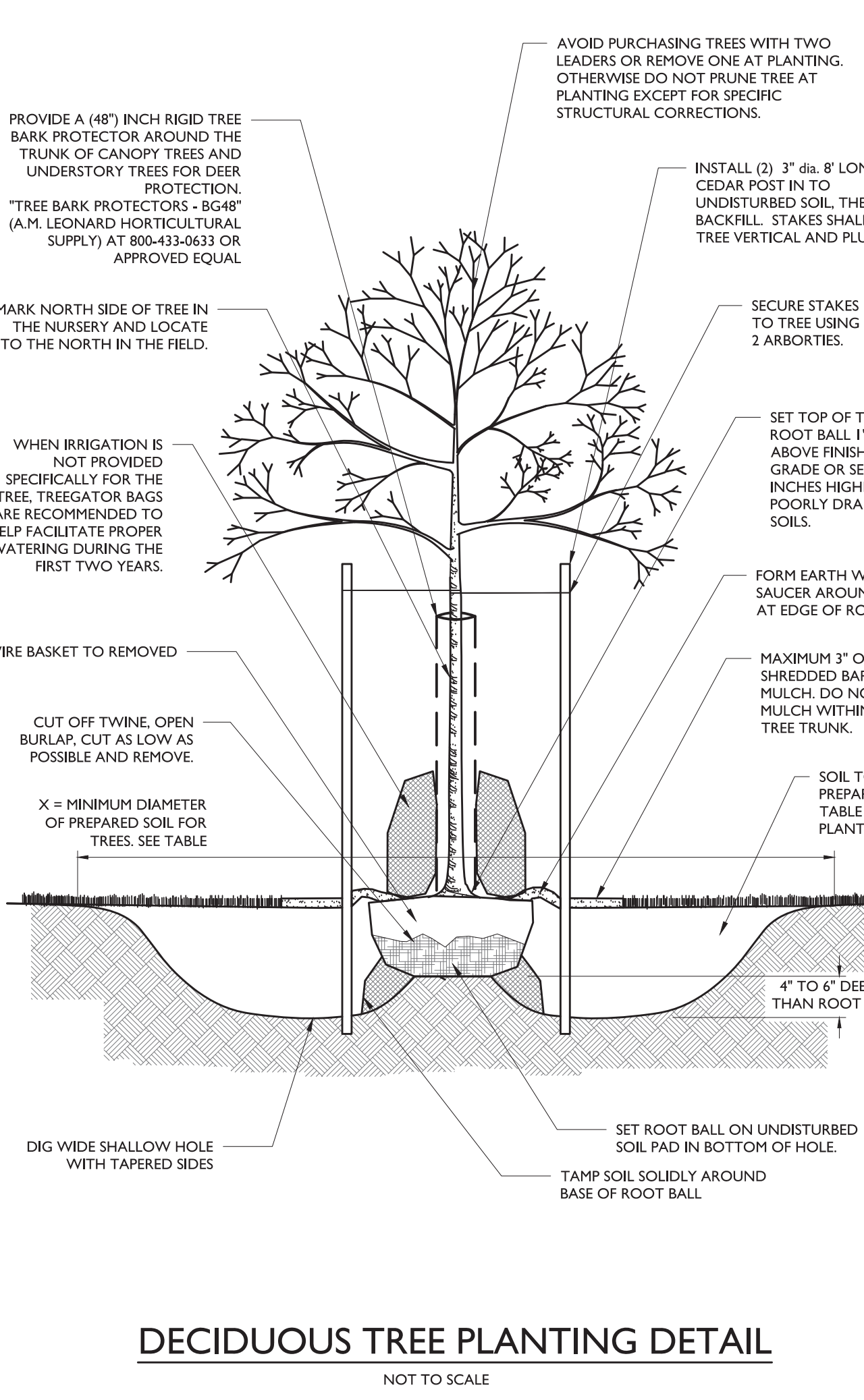
STORM TRENCH DETAIL
NOT TO SCALE

- NOTES:
- ALL PIPE SYSTEM INSTALLATIONS SHALL MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 - ALL HDPE PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS" (LATEST EDITION).
 - ALL RCP PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C76-15, "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE" (LATEST EDITION).
 - FOR NON HDPE OR RCP PIPE INSTALLATIONS, CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND SPECIFICATIONS.
 - WHERE THE TRENCH BOTTOM IS UNSTABLE, CONTRACTOR SHALL PROVIDE SUITABLE BACKFILL MATERIAL AS REQUIRED BY ENGINEER OR PER GEOTECH RECOMMENDATIONS.
 - MINIMUM COVER IN TRAFFIC AREAS IS 12" UP TO 48" DIAMETER PIPE AND 24" FOR 54" - 60" DIAMETER PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
 - CONTRACTOR SHALL INSTALL SUITABLE MATERIAL FOR INITIAL AND FINAL BACKFILL. BACKFILL COMPACTION SHOULD MEET ALL APPLICABLE STANDARDS AND SPECIFICATIONS.



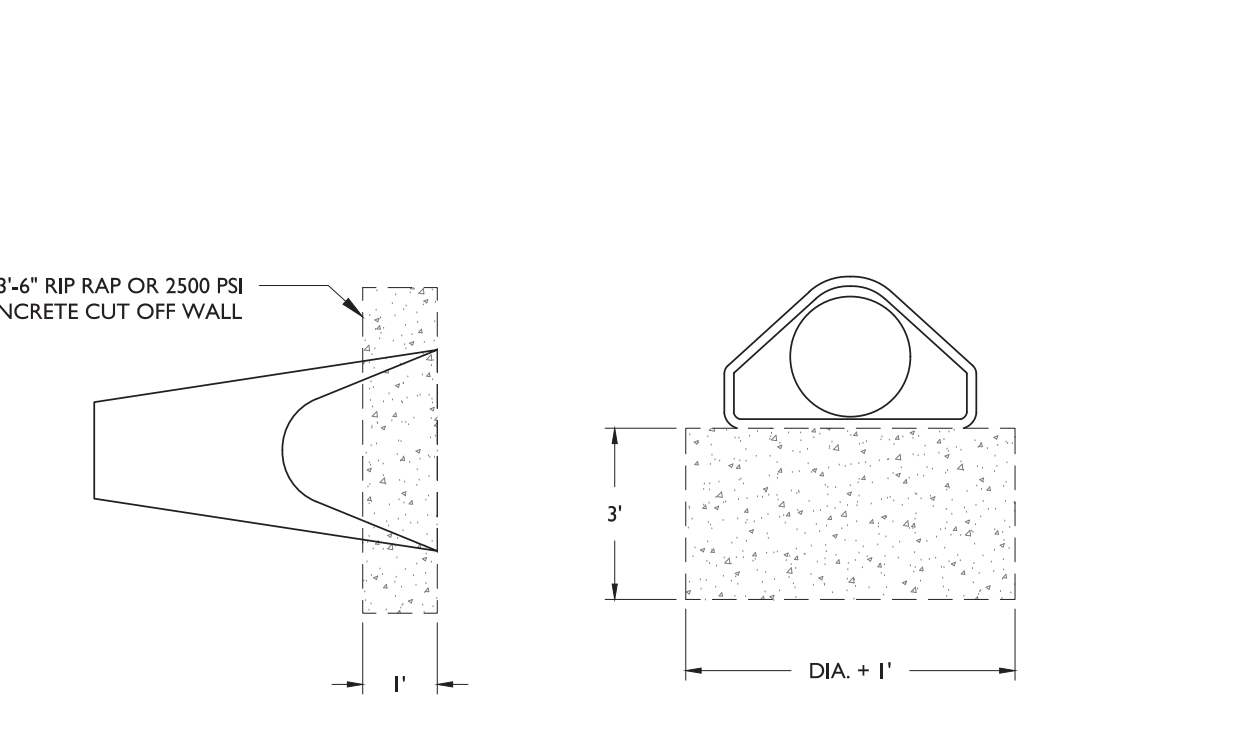
HARDSCAPE CLEAN-OUT
NOT TO SCALE

- NOTES:
- TAPPED BRASS (OR PVC), WATER TIGHT CLEAN-OUT PLUG LABELED "STORM" OR "SEWER", AS APPROPRIATE.
 - SET CASTING ASSEMBLY IN 24" x 24" 4000 PSI CONCRETE PAD OR USE CHRISTY VALVE BOX WITH CAST IRON LID.
 - PIPE SIZE & CLASS AS REQUIRED PER DRAINAGE PLAN.
 - EXTENSION AS REQUIRED, PLUG WYE AT END OF LINE.

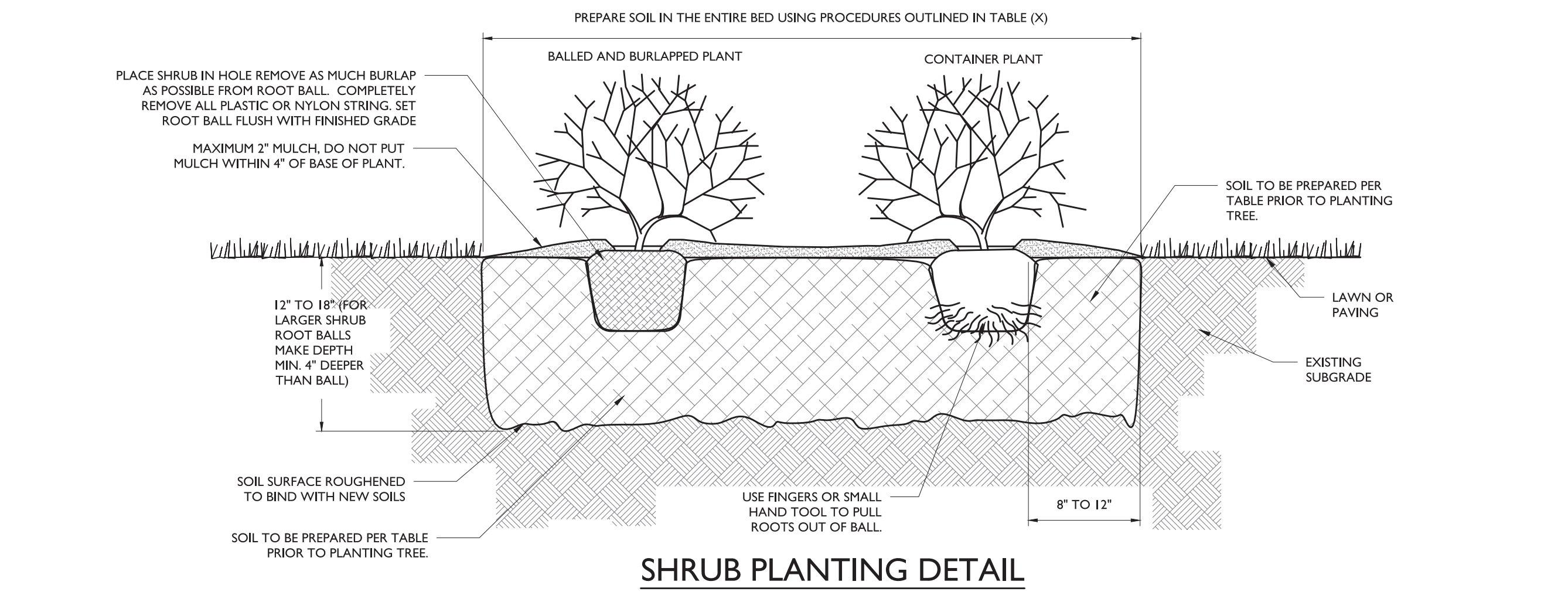


DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- PROVIDE A (48") INCH RIGID TREE BARK PROTECTOR AROUND THE TRUNK OF CANOPY TREES AND UNDERSTORY TREES FOR DEER PROTECTION. "TREE BARK PROTECTORS - 8648" (A.M. LEONARD HORTICULTURAL SUPPLY) AT 800-433-0633 OR APPROVED EQUAL.
- MARK NORTH SIDE OF TREE IN THE NURSERY AND LOCATE TO THE NORTH IN THE FIELD.
- WHEN IRRIGATION IS NOT PROVIDED SPECIFICALLY FOR THE TREE, TREECATOR BAGS ARE RECOMMENDED TO HELP FACILITATE PROPER WATERING DURING THE FIRST TWO YEARS.
- WIRE BASKET TO BE REMOVED.
- CUT OFF TWINE OPEN BURLAP, CUT AS LOW AS POSSIBLE AND REMOVE.
- X = MINIMUM DIAMETER OF PREPARED SOIL FOR TREES. SEE TABLE.
- DIG WIDE SHALLOW HOLE WITH TAPERED SIDES.
- SET ROOT BALL ON UNDISTURBED SOIL PAD IN BOTTOM OF HOLE.
- TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL.
- SOIL TO BE PREPARED PER TABLE PRIOR TO PLANTING TREE.
- 4" TO 6" DEEPER THAN ROOT BALL.
- FORM EARTH WATERING SAUCER AROUND TREE AT EDGE OF ROOT BALL.
- MAXIMUM 3" OF SHREDDED BARK MULCH. DO NOT PLACE MULCH WITHIN 6" OF TREE TRUNK.
- SECURE STAKES TO TREE USING 2 ABORTIES.
- INSTALL (2) 3" dia. 8' LONG CEDAR POST IN TO UNDISTURBED SOIL, THEN BACKFILL. STAKES SHALL KEEP TREE VERTICAL AND PLUMB.
- AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
- SET TOP OF TRUE ROOT BALL 1" TO 2" ABOVE FINISHED GRADE OR SEVERAL INCHES HIGHER IN POORLY DRAINING SOILS.



FLARED END SECTION DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

- PREPARE SOIL IN THE ENTIRE BED USING PROCEDURES OUTLINED IN TABLE (X)
- PLACE SHRUB IN HOLE REMOVE AS MUCH BURLAP AS POSSIBLE FROM ROOT BALL. COMPLETELY REMOVE ALL PLASTIC OR NYLON STRINGS. SET ROOT BALL FLUSH WITH FINISHED GRADE.
- MAXIMUM 2" MULCH. DO NOT PUT MULCH WITHIN 4" OF BASE OF PLANT.
- 12" TO 18" FOR LARGER SHRUB ROOT BALLS MAKE DEPTH MIN. 4" DEEPER THAN BALL.
- SOIL TO BE PREPARED PER TABLE PRIOR TO PLANTING TREE.
- LAWN OR PAVING.
- EXISTING SUBGRADE.
- SOIL SURFACE ROUGHENED TO BIND WITH NEW SOILS.
- USE FINGERS OR SMALL HAND TOOL TO PULL ROOTS OUT OF BALL.
- 8" TO 12"

REVISION	DATE	ISSUE	BY	DESCRIPTION
2	03/16/2022	ECH		REVISED PER SITE PLAN REVIEW #1 FOR PRELIMINARY SITE PLAN APPROVAL
1	01/03/2022	BAC/ECH		

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Phone 248.247.1115

HYPERSHINE

PROPOSED AUTO WASH

PARCEL ID: 12-23-202-006
9345 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN
JONATHAN W. COOPER
REGISTERED PROFESSIONAL ENGINEER
LICENSE NO. 68273

STONEFIELD
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SCALE: AS SHOWN PROJECT ID: DET-210462
TITLE: CONSTRUCTION DETAILS
DRAWING: C-9

V:\PROJECTS\1223202\1223202-006\1223202-006-HIGHLAND RD.WH.LAKE TOWNSHIP.MIC.DWG

Mirada Medium Outdoor LED Area Light

ORDERING GUIDE [Back to Quick Links](#)

TYPE: _____

TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CR1 ALSCS04 BRZ IL**

Luminaire Profile	Light Source	Lumen Package	Light Output	Distribution	Orientation*	Voltage	Driver
MRM - Mirada	LED	7L - 7,000 lms 14L - 14,000 lms 17L - 17,000 lms 19L - 19,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms 48L - 48,000 lms	SIL - Square	2 - Spot 2 3 - Type 3 SW - Type 5 Wide FT - Forward Throw FTM - Forward Throw Automotive AM - Automotive Manhandle	L - Optics rotated left 90° R - Optics rotated right 90°	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DM - 0-10V Dimming (0-10%)

Color Temp	Color Rendering	Finish	Options
50 - 5,000 CCT 65 - 6,500 CCT 80 - 8,000 CCT	70CRI - 70 CRI	BRZ - Bronze BLK - Black GPT - Graphite MSV - Metallic Silver WHT - White P/P - Platinum Plus SVG - Satin Verde Green	(Blank) - None H - Integral Housecode Shield† IL - Integral Lens (Legacy "Spot" Light Only)†

Accessory Ordering Information*

Controls Accessories	Order Number*	Mounting Accessories†	Order Number*
PC120 Photocell for use with CRFP option (120V)	122514	Universal Mounting Bracket	684616LR
PC120-277 Photocell for use with CRFP option (208V/240V/277V)	122515	Adjustable Slip Fitter (F - 2.38" Telex)	688130LR
Test Lock Photocell (240V) for use with CRFP†	122516	Enclosed Slip Fitter (F - 2.38" Telex)	682510LR
Test Lock Photocell (240V) for use with CRFP†	122518	Quick Mount Pole Bracket (Square Pole)	687010LR
ArtLink 5 Pin Test Lock Controller†	681409	Quick Mount Pole Bracket (4.5" Round Pole)	688010LR
ArtLink 7 Pin Test Lock Controller†	681410	T5 T6 Quick Mount Pole Bracket (Square Pole)	689010LR
PM0524 24V Pin-Mounted Occupancy Sensor (24V)	6628ACLR	T5 T6 Quick Mount Pole Bracket (4.5" Round Pole)	689010LR
Shunting Cap for use with CRFP	148329	Wall Mount Bracket	382130LR
		Wood Pole Bracket (6" Minimum Pole Diameter)	712176LR

Feeding Accessories*

Description	Order Number	Miscellaneous Accessories	Order Number
Single Feeding (120V)	FK130	IL - Integral Lens (Legacy "Spot" Light Only)†	69098
Single Feeding (120V)	FK227	IL - Integral Lens Side Shield†	741415
Double Feeding (208V/240V)	DK242	10" Linear Bird Spike Kit (2" Recommended per Luminaire)	736795
Double Feeding (240V)	DK489		
Double Feeding (277V)	DK947		

FOOTNOTES:

- Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.
- Not available with 5W distribution.
- Consult Factory for availability.
- Not available in HV.
- IMSBT is field configurable via the LSI app that can be downloaded from our smartphone's native app store.
- Control device or shunting cap must be ordered separately. See Accessory Ordering Information.
- Accessories are shipped separately and field installed.
- Factory installed CRFP option required. See Options.
- "CCT" denotes Finish. See Finish options.
- Only available with ALS/ALSC/ALSC/ALSC control options.
- Feeding must be located in hand hole of pole.
- Only available in 9L and 12L Lumen Packages. Consult factory for lead time and availability.
- IMSBT is field configurable via the LSI app that can be downloaded from our smartphone's native app store.

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949C-1048-A-960

Mirada Wall Sconce (XWM)

ORDERING GUIDE [Back to Quick Links](#)

TYPE: _____

TYPICAL ORDER EXAMPLE: **XWM 2 LED 03L 30 UE BRZ ALSC**

Luminaire Profile	Distribution	LED Technology	Lumen Package	Color Temperature	Voltage
XWM - Mirada Wall Sconce	2 - Type 2 3 - Type 3 FT - Type 4 Forward Throw	LED	0L - 0,000 lms 1L - 1,000 lms 2L - 2,000 lms 3L - 3,000 lms 4L - 4,000 lms 5L - 5,000 lms	AL - 4000K 40 - 4000K 50 - 5000K	UE - Universal Voltage (120-277V) HV - High Voltage (347-480V)

Finish	Controls (Choose One)	Options
BRZ - Bronze BLK - Black GPT - Graphite MSV - Metallic Silver WHT - White P/P - Platinum Plus SVG - Satin Verde Green	Wireless Controls ALSC - ArtLink Synapse Control System† ALSC01 - ArtLink Synapse Control System with 8-12' Motion Sensor† ALSC02 - ArtLink Synapse Control System with 12-20' Motion Sensor† ALSC03 - ArtLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)† ALSC04 - ArtLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)† Standalone Controls DM - 0-10V Dimming leads extended to housing exterior IMSBT1 - Integral Bluetooth™ Motion and Photo Sensor max 8-24' mounting height† IMSBT2 - Integral Bluetooth™ Motion and Photo Sensor max 25-40' mounting height† Button Type Photocells PC120 - 120V PC120-277 - 208 - 277V PC347 - 347V	BB - Battery Back-up† CWB - Cold Weather Battery Backup† XPM - Pole Mounting Bracket SP1 - 10kV Surge Protection TB - Terminal Block

Accessory Ordering Information*

Description	Order Number	Description	Order Number
XWM SW BLK - Surface Wiring Box (Available in black only)	356915BLK	DK - Double Fusing	DK209†
FK109 - Single Fusing	FK109†	DK - Double Fusing (240V)	DK249†
FK277 - Single Fusing	FK277†	DK - Double Fusing (480V)	DK489†
FK347 - Single Fusing	FK347†	10" Linear Bird Spike Kit (2" Recommended per Luminaire)	736795

FOOTNOTES:

- Consult Factory for availability.
- Not available in HV.
- Consult Factory for Site Layout.
- IMSBT is field configurable via the LSI app that can be downloaded from our smartphone's native app store.
- Fusing must be located in a hand hole for pole or in the junction box.
- Custom lumen and wattage packages available consult factory. Values are within industry standard tolerances but not DLC listed.

Luminaire Shown with IMSBT

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Mirada Wall Sconce (XWM)

ORDERING GUIDE [Back to Quick Links](#)

TYPE: _____

TYPICAL ORDER EXAMPLE: **XWM 2 LED 03L 30 UE BRZ ALSC**

Luminaire Profile	Distribution	LED Technology	Lumen Package	Color Temperature	Voltage
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Finish	Controls (Choose One)	Options
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Accessory Ordering Information*

Description	Order Number	Description	Order Number
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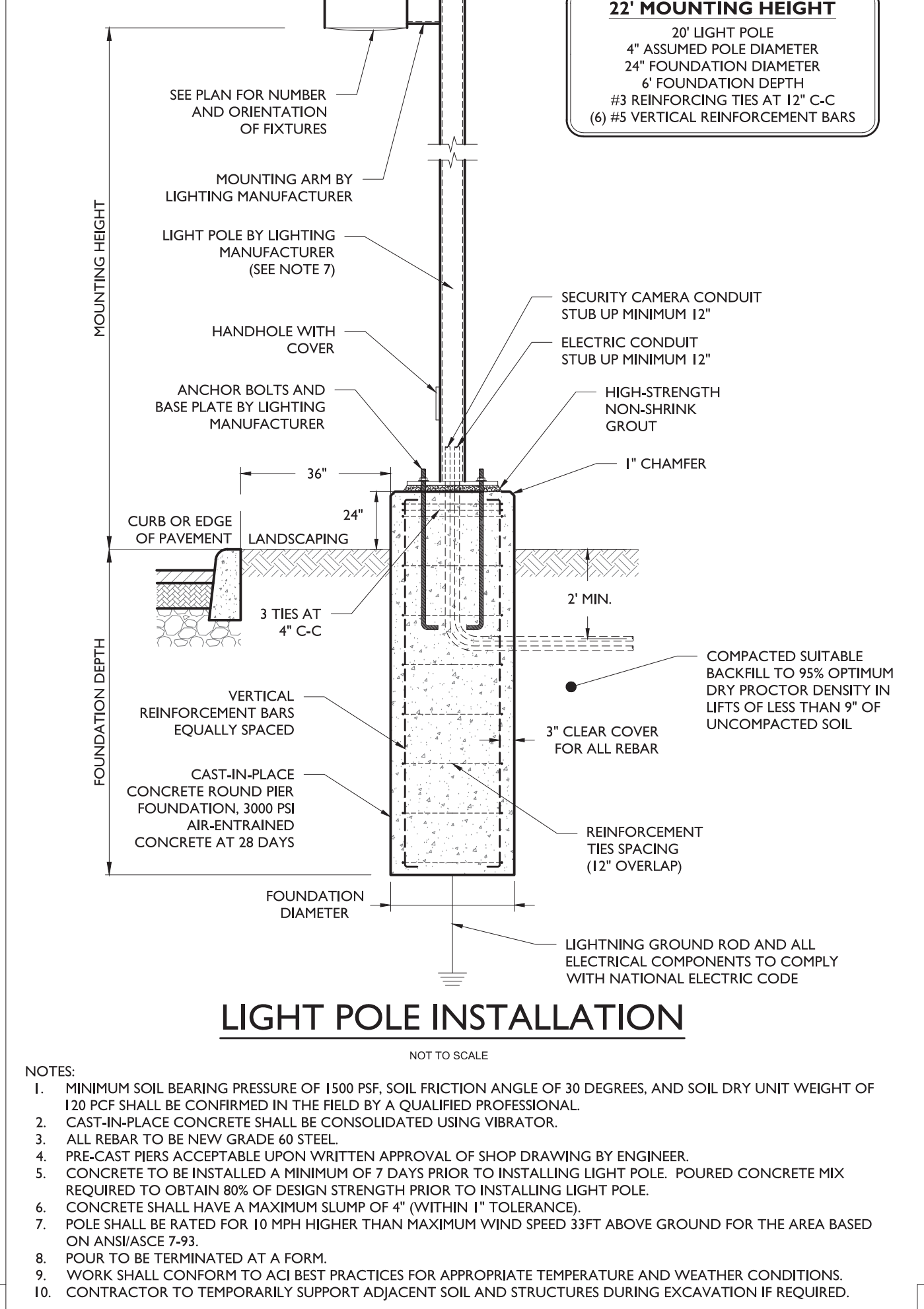
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Luminaire Shown with IMSBT

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SPECIFICATIONS FOR FIXTURES 'A' - 'E'

NOT TO SCALE

SPECIFICATIONS FOR FIXTURE 'F'

NOT TO SCALE

SPECIFICATIONS FOR FIXTURE 'G'

NOT TO SCALE

REVISED PER SITE PLAN REVIEW #1	FOR PRELIMINARY SITE PLAN APPROVAL	DESCRIPTION
2	03/16/2022	ECH
1	01/03/2021	RAC/ECH
		ISSUE
		DATE
		BY

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Phone 248.247.1115

HYPERSHINE

PROPOSED AUTO WASH

PARCEL ID: 12-23-202-006
9145 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN



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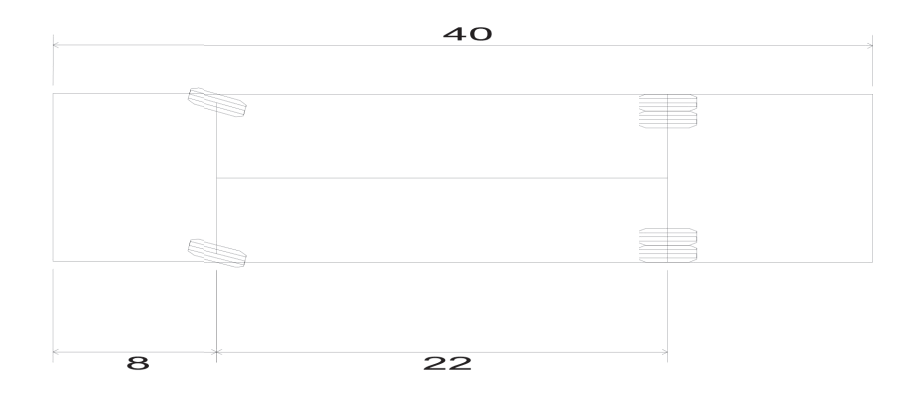
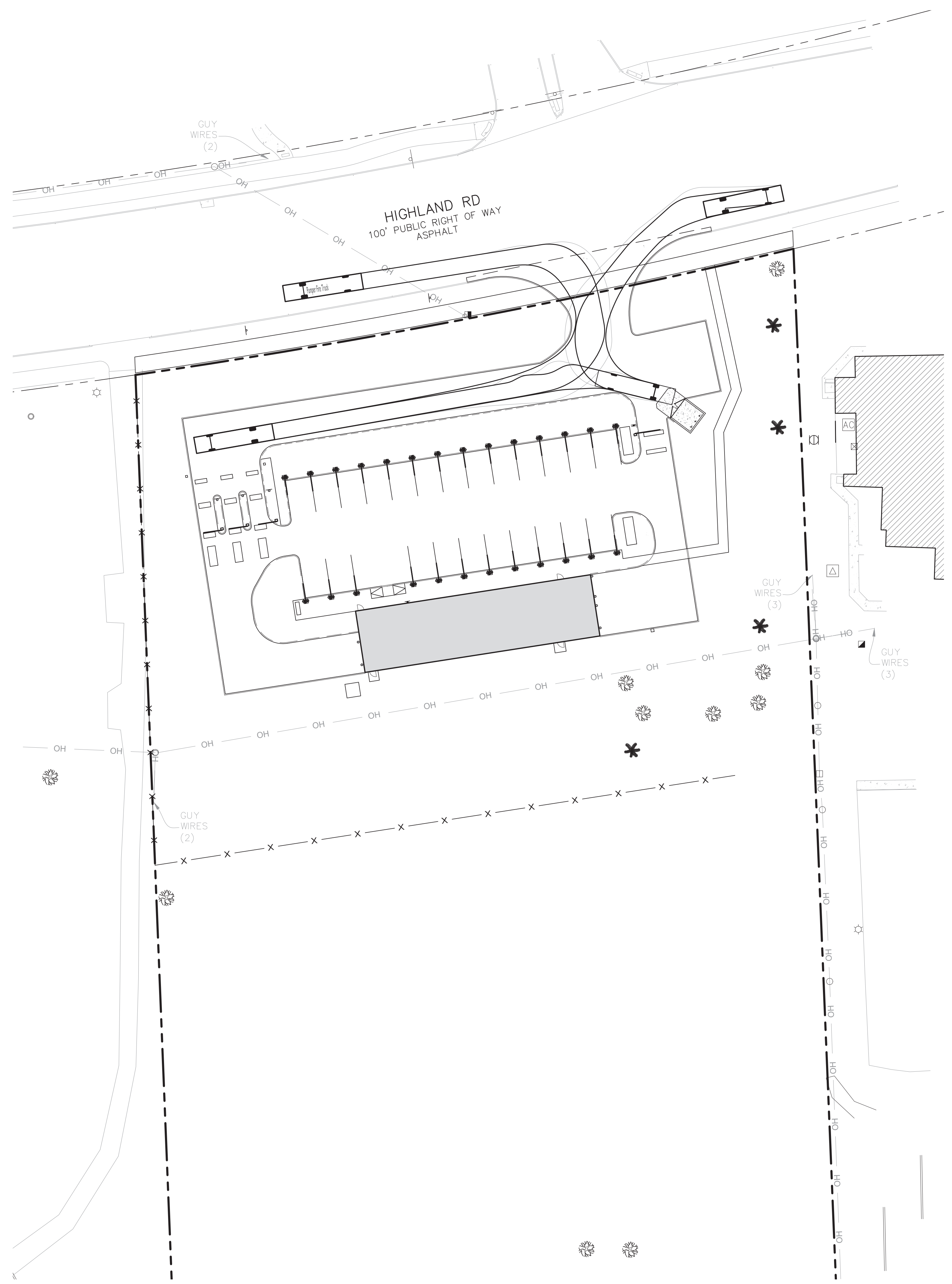
engineering & design

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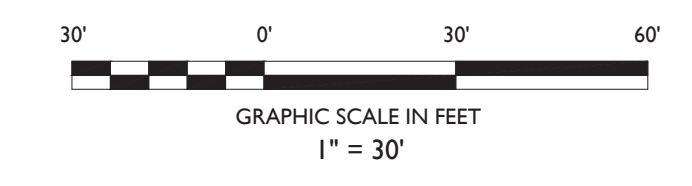
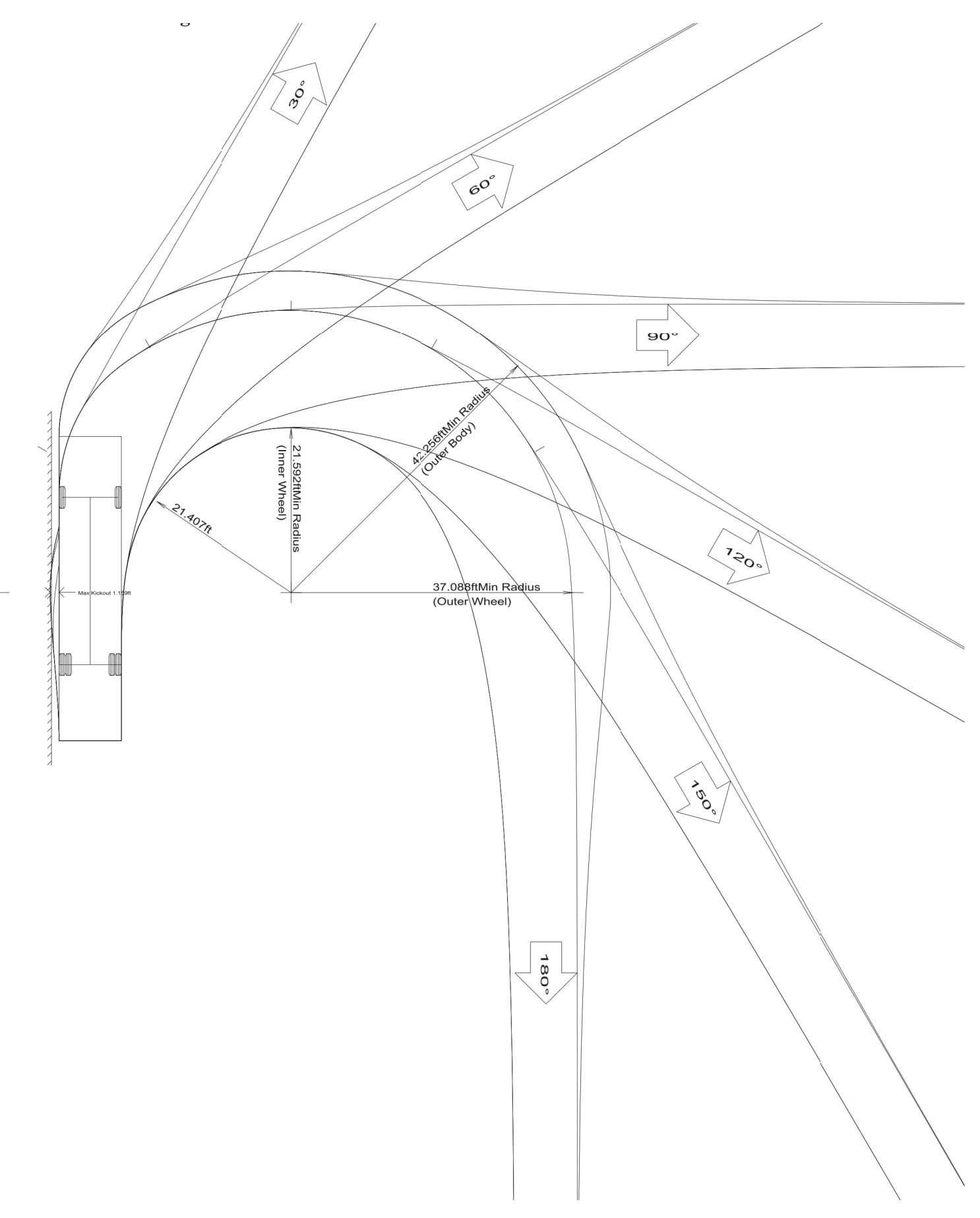
TITLE: CONSTRUCTION DETAILS

DRAWING: C-10

VERTICAL IDENTIFY LINE: BLDG, LCL, HGS, HIGHLAND ROAD, WHITE LAKE TOWNSHIP, MICIGAN PHOTOGRAPH, 08/16/21/20



Pumper Fire Truck
 Overall Length 40.000ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Max Wheel Angle 45.00°



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SITE DEVELOPMENT PLANS

HYPERSHINE
PROPOSED AUTO WASH

PARCEL ID: 12-23-202-006
9345 HIGHLAND ROAD (M-59)
WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

HYPERSHINE



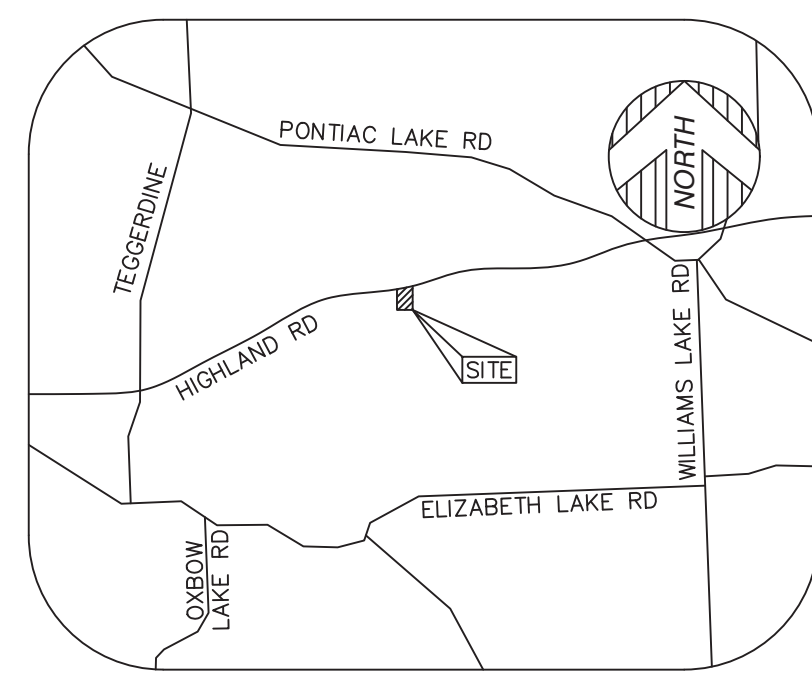
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SCALE: 1" = 30' PROJECT ID: DET-210462

TITLE:
**FIRE TRUCK TURNING
EXHIBIT**

DRAWING:
C-11

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VICINITY MAP
(NOT TO SCALE)

PARKING
NO MARKED PARKING ON SITE.

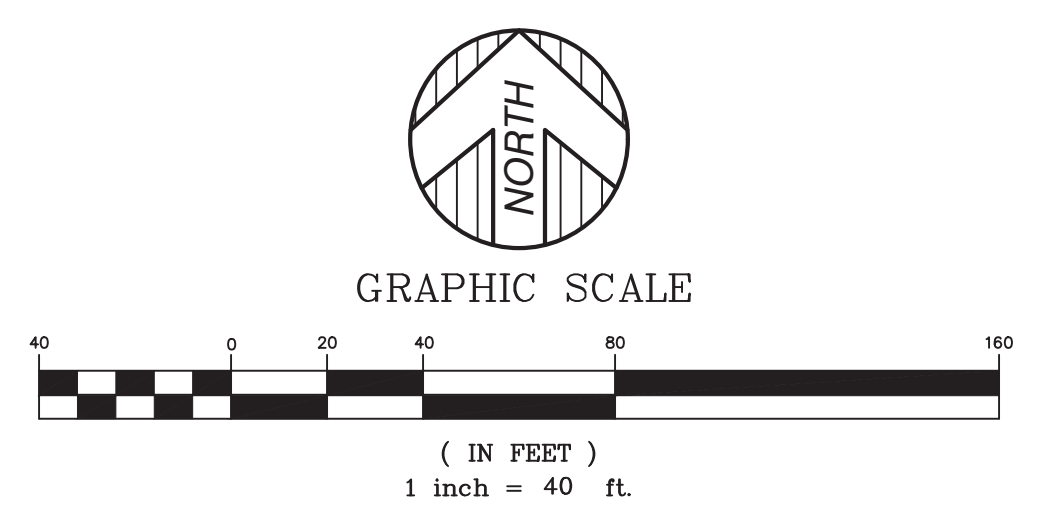
PARCEL AREA
211,476± SQUARE FEET = 4.854± ACRES

BASIS OF BEARING
SOUTH 75°05'00" WEST, BEING THE SOUTHERLY LINE OF SUBJECT PARCEL, AS DESCRIBED.

BENCHMARK
SITE BENCHMARK #1
ARROW ON FIRE HYDRANT, ±42' WEST OF NW PROPERTY CORNER.
ELEVATION = 973.53' (NAVD 88)
SITE BENCHMARK #2
ARROW ON FIRE HYDRANT, ±12' EAST OF NE PROPERTY CORNER.
ELEVATION = 972.98' (NAVD 88)
SITE BENCHMARK #3
MAG NAIL IN 3RD UTILITY POLE NORTH OF FENCE, E. OF E. LINE OF PROPERTY.
ELEVATION = 968.56' (NAVD 88)

LEGEND

●	SET 1/2" REBAR WITH CAP P.S. 47976
○	FOUND MONUMENT (AS NOTED)
⊙	FOUND SECTION CORNER (AS NOTED)
(R&M)	RECORD AND MEASURED DIMENSION
(R)	RECORD DIMENSION
(M)	MEASURED DIMENSION
0.00	GROUND ELEVATION
⊕	ELECTRIC METER
⊞	ELECTRIC PANEL
⊠	TRANSFORMER
○	UTILITY POLE
○	GAS LINE MARKER
○	GAS METER
⊞	TELEPHONE RISER
⊞	CABLE TV RISER
⊞	SANITARY MANHOLE
⊞	SQUARE CATCH BASIN
⊞	STORM DRAIN MANHOLE
⊞	FIRE HYDRANT
⊞	WATER VALVE
⊞	WELL
⊞	AIR CONDITIONING UNIT
⊞	LIGHTPOST/LAMP POST
⊞	SINGLE POST SIGN
⊞	DECIDUOUS TREE (AS NOTED)
⊞	CONIFEROUS TREE (AS NOTED)
---	PARCEL BOUNDARY LINE
---	PLATTED LOT LINE
---	ADJOINER PARCEL LINE
---	SECTION LINE
---	EASEMENT (AS NOTED)
---	BUILDING
---	CONCRETE CURB
---	RAISED CONCRETE
---	EDGE OF CONCRETE (CONC.)
---	EDGE OF ASPHALT (ASPH.)
---	EDGE OF GRAVEL
---	FENCE (AS NOTED)
---	TREE / BRUSH LINE (AS NOTED)
---	OVERHEAD UTILITY LINE
---	GAS LINE
---	SANITARY LINE
---	STORM LINE
---	WATER LINE
---	UNDERGROUND CABLE
---	COMMUNICATION LINE
---	UNDERGROUND PIPE (AS NOTED)
---	EDGE OF WATER (AS NOTED)
---	MINOR CONTOUR LINE
---	MAJOR CONTOUR LINE
---	BUILDING AREA
---	ASPHALT
---	CONCRETE



PROPERTY DESCRIPTION
LAND SITUATED IN THE TOWNSHIP OF WHITE LAKE, COUNTY OF OAKLAND AND STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 23 TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT, SAID POINT BEING DISTANT NORTH 02 DEGREES 24 MINUTES 30 SECONDS EAST, 1731.78 FEET, AND SOUTH 75 DEGREES 05 MINUTES WEST, 483.89 FEET, FROM THE SOUTHEAST CORNER OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE RUNNING SOUTH 75 DEGREES 05 MINUTES WEST, 217.5 FEET, TO A POINT; THENCE NORTH 02 DEGREES 47 MINUTES 20 SECONDS EAST, 661.50 FEET, TO A POINT ON THE SOUTHERLY LINE OF M-59 HIGHWAY; THENCE NORTHEASTERLY ALONG SAID HIGHWAY LINE AND ALONG THE ARC OF CURVE TO THE LEFT (RADIUS BEING 3869.83 FEET, AND CENTRAL ANGLE BEING 03 DEGREES 05 SECONDS) 208.35 FEET, TO A POINT; THENCE SOUTH 02 DEGREES 43 MINUTES 15 SECONDS WEST, 623.2 FEET, TO THE POINT OF BEGINNING.
AND
PART OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SECTION 23, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT, SAID POINT BEING DISTANT NORTH 02 DEGREES 24 MINUTES 30 SECONDS EAST, 1731.73 FEET, AND SOUTH 75 DEGREES 05 MINUTES WEST, 349.56 FEET, FROM THE SOUTHEAST CORNER OF THE WEST 1/2 OF THE NORTHEAST 1/4 OF SAID SECTION; THENCE RUNNING SOUTH 75 DEGREES 05 MINUTES WEST, 134.33 FEET TO A POINT; THENCE NORTH 02 DEGREES 43 MINUTES 15 SECONDS EAST, 623.2 FEET TO A POINT ON THE SOUTHERLY LINE OF M-59 HIGHWAY; THENCE NORTHEASTERLY ALONG SAID HIGHWAY LINE AND ALONG THE ARC OF A CURVE TO THE LEFT (RADIUS BEING 3869.83 FEET, AND CENTRAL ANGLE BEING 01 DEGREE 55 MINUTES 30 SECONDS) 130.00 FEET, TO A POINT; THENCE SOUTH 02 DEGREES 43 MINUTES 15 SECONDS WEST, 605.5 FEET, TO THE POINT OF BEGINNING.

TITLE REPORT NOTE
ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. GL2101033, DATED OCTOBER 04, 2021, AND RELIED UPON WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
10. RIGHT OF WAY IN FAVOR OF STATE OF MICHIGAN RECORDED ON MARCH 26, 1937 IN LIBER 53 OF MISCELLANEOUS RECORDS, PAGE 5. (AS SHOWN)
11. HIGHWAY EASEMENT RELEASE IN FAVOR OF STATE OF MICHIGAN RECORDED ON SEPTEMBER 16, 1976 IN LIBER 6754, PAGE 549. (AS SHOWN)
12. DECLARATION OF EASEMENT RECORDED ON APRIL 29, 1996 IN LIBER 16222, PAGE 297. (AS SHOWN)
13. EASEMENT FOR WATER MAIN IN FAVOR OF CHARTER TOWNSHIP OF WHITE LAKE RECORDED ON NOVEMBER 18, 1998 IN LIBER 19187, PAGE 341. (AS SHOWN)

SURVEYOR'S NOTE
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.

MANHOLE SCHEDULE

#	TYPE	RIM (FT)	SIZE (IN)	DIRECTION	INVERT (FT)
30003	CATCH BASIN	969.98	12	N	963.48
30044	CATCH BASIN	970.93	12	N	962.93
30065	CATCH BASIN	967.54	12	E	962.74
30066	CATCH BASIN	967.63	12	W	962.63
30067	STORM MANHOLE	967.78	12	SE	962.63
30068	STORM MANHOLE	967.89	12	SW	962.03
30190	STORM MANHOLE	969.35	12	S	962.39
30191	STORM MANHOLE	969.35	12	NE	962.29
30191	STORM MANHOLE	969.35	12	SW	961.53
30191	STORM MANHOLE	969.35	12	E	960.97
30191	STORM MANHOLE	969.35	12	W	962.90
30191	STORM MANHOLE	969.35	12	NE	962.08
30191	STORM MANHOLE	969.35	12	S	962.28

SURVEYOR'S CERTIFICATION
TO ERUP LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 4, 5, 7A, 8, 11A, AND 11B OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 12/20/21.
DATE OF PLAT OR MAP: 12/22/21

ANTHONY T. SYCKO, JR., P.S.
PROFESSIONAL SURVEYOR
MICHIGAN LICENSE NO. 47976
22556 GRATIOT AVE., EASTPOINTE, MI 48021
TSycko@kemttec-survey.com

12/22/21
12/22/21
DECEMBER 22, 2021
21-0795

1
1 OF 1 SHEETS

KEM-TEC
PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
A GROUP OF COMPANIES
Eastpointe, MI 48021
Detroit, MI 48226
Grand Blanc, MI 48030
(800) 285-7222 (313) 788-9977 (734) 954-0888 (888) 694-0001
www.kemttecgroupofcompanies.com

ALTA / NSPS LAND TITLE SURVEY
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN
9345 HIGHLAND RD, WHILE LAKE, MICHIGAN,
PART OF SECTION 23,
TOWN 3 NORTH, RANGE 8 EAST

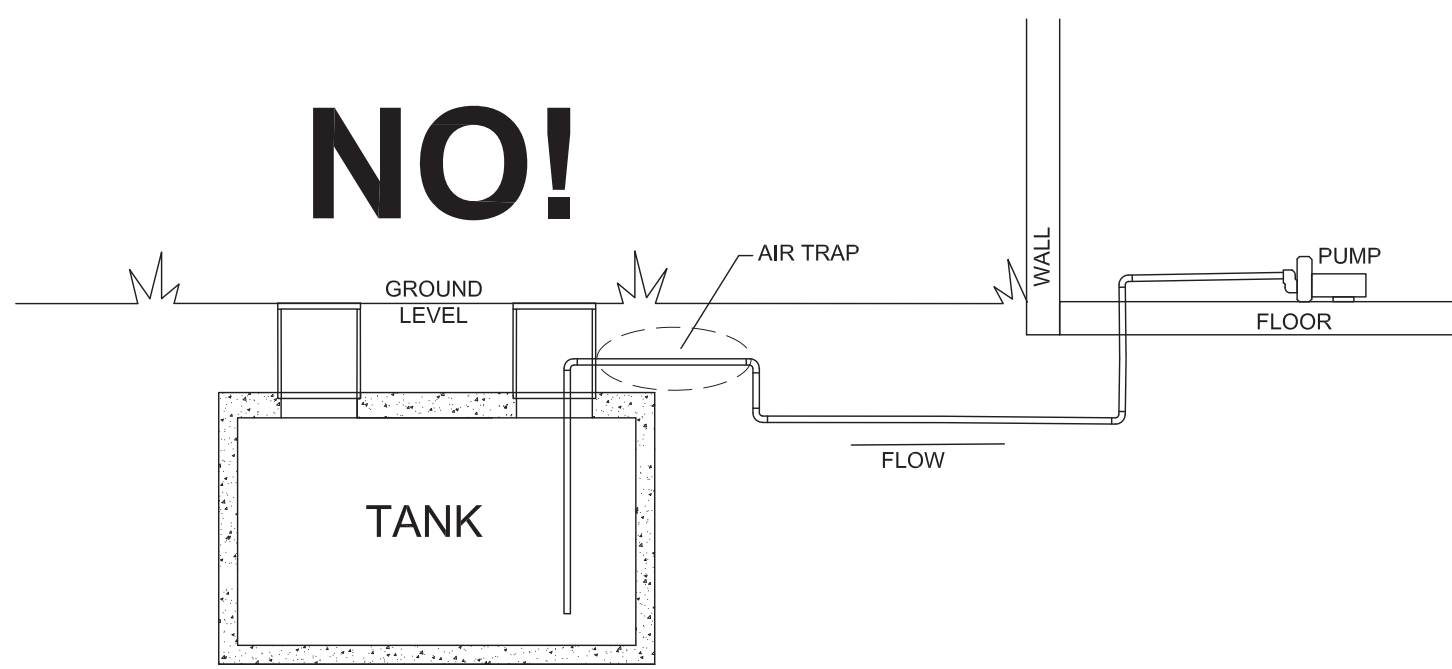
ITEM C.

PER NEW TITLE WORK DESCRIPTION

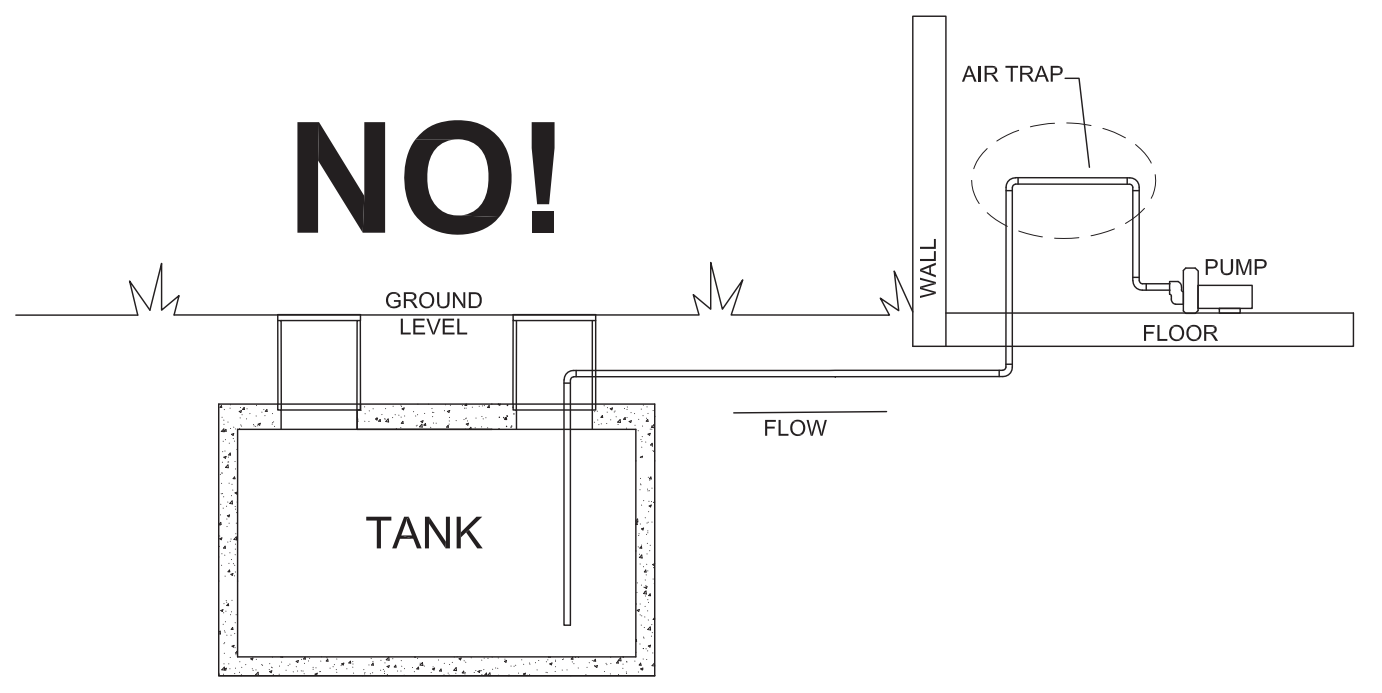
DATE BY

12/22/21 MRJ
12/22/21 AJS
DECEMBER 22, 2021
21-0795

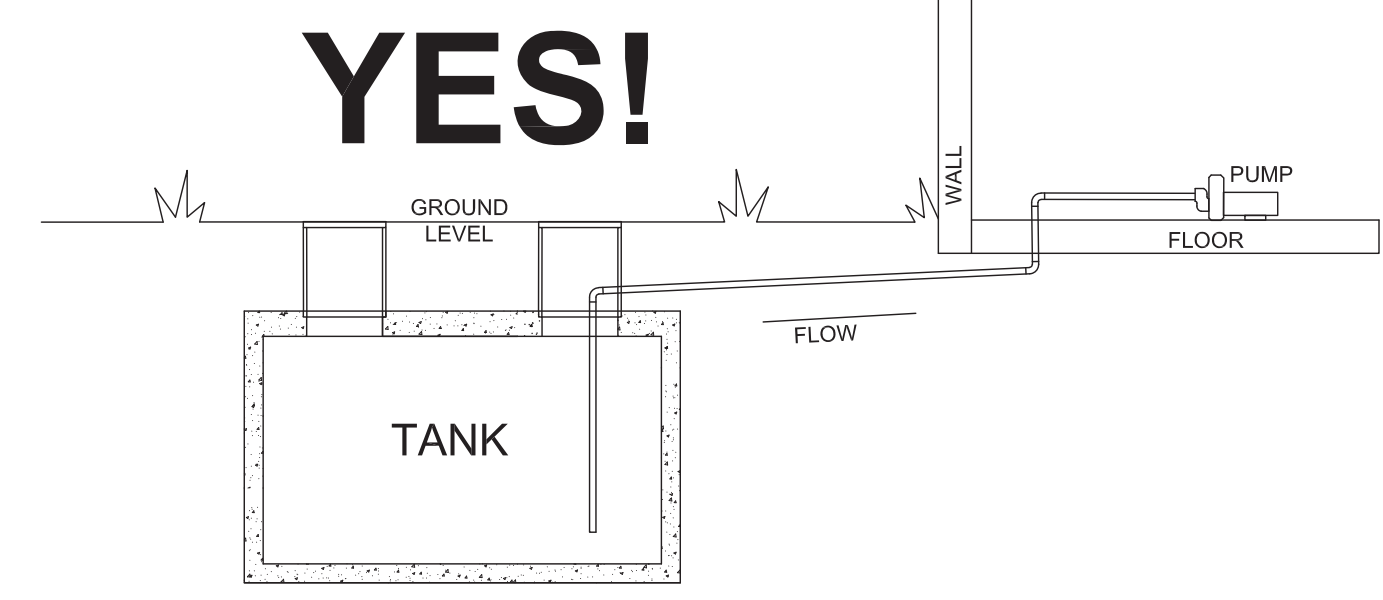
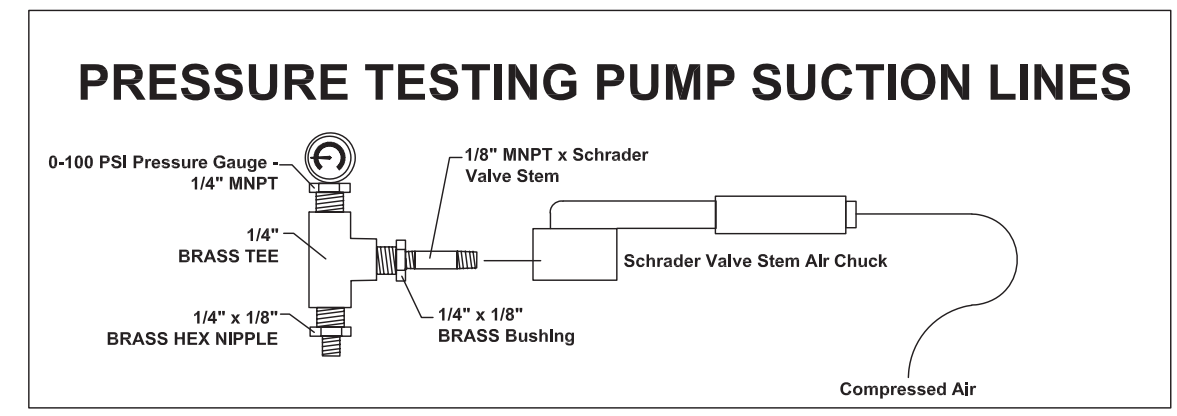
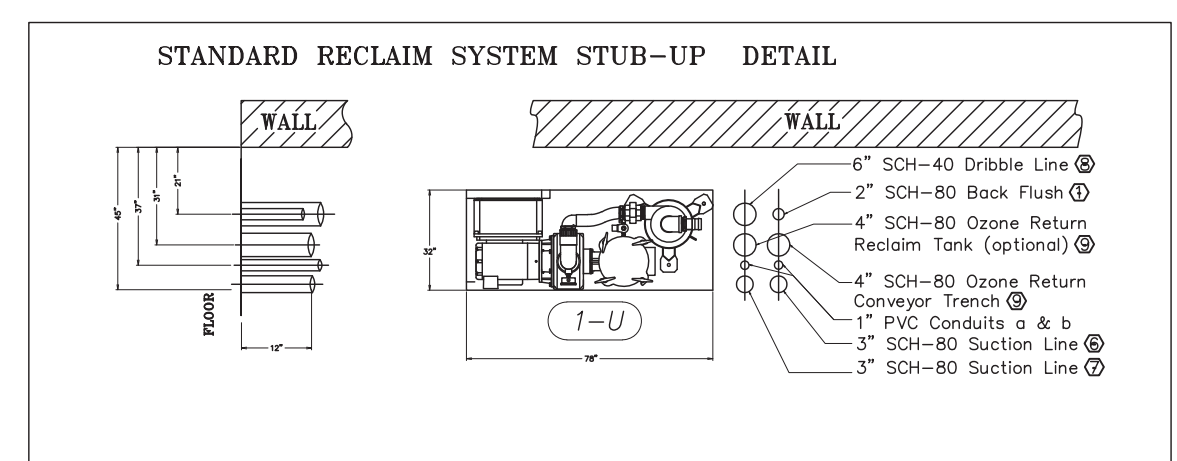
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1 OF 1 SHEETS



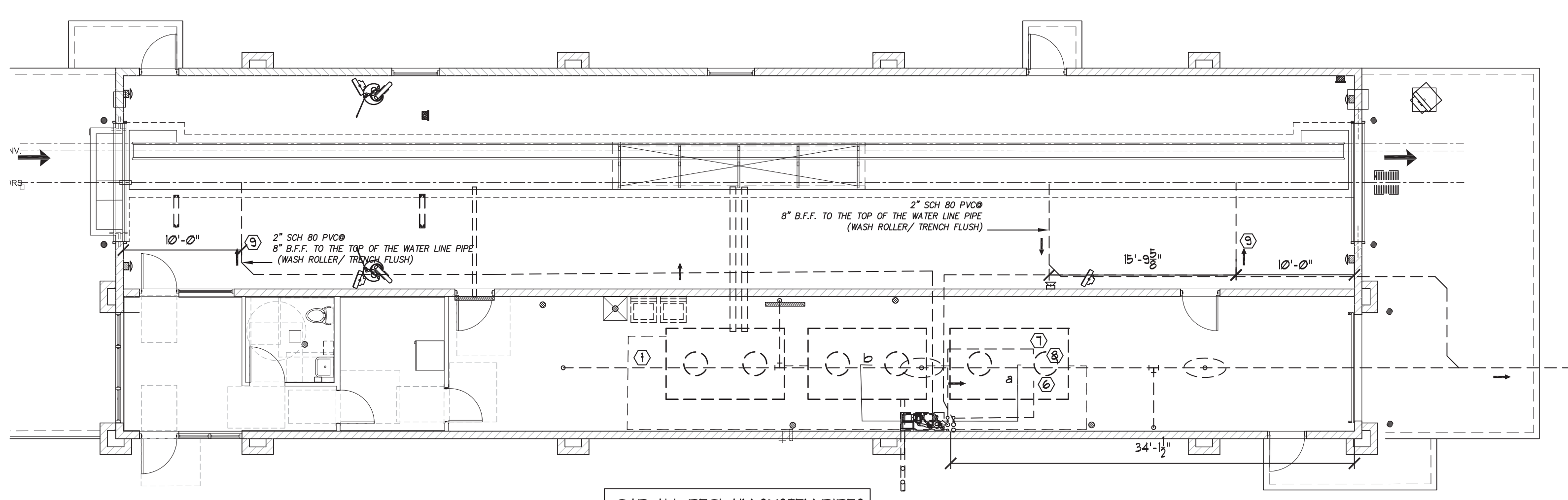
BELOW GROUND TANKS
ALL suction lines must NEVER slope down and then back up again (Air Trap).



BELOW GROUND TANKS
ALL suction lines must NEVER slope up and then back down again (Air Trap).

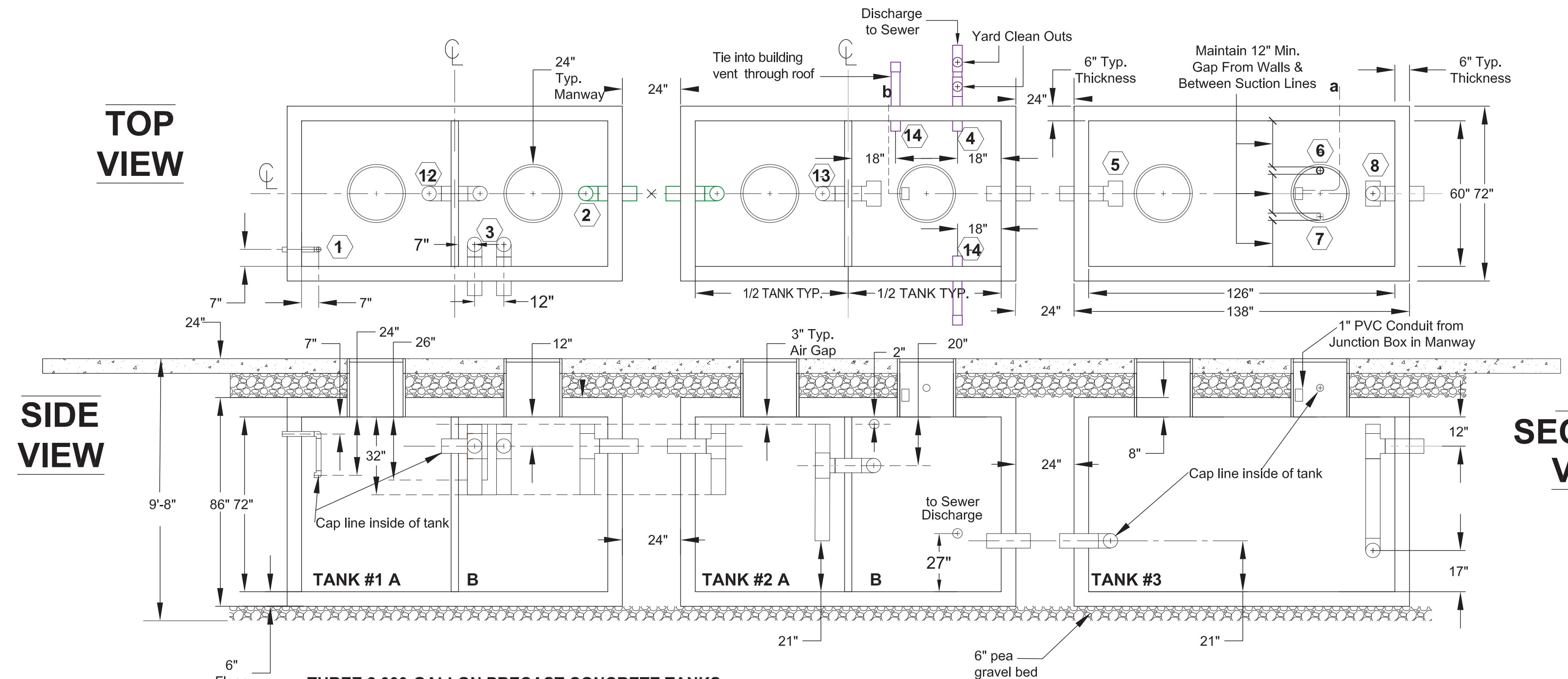


BELOW GROUND TANKS
ALL suction lines require a continuous upward slope to the Equipment Room.



RECLAIM SYSTEM PLAN
SCALE: 1/8" = 1'-0"

Three 2,000 Gallon Precast Concrete Tanks



THREE 2,000-GALLON PRECAST CONCRETE TANKS
138" Length x 72" Width x 86" Height

TANK #1 - 1A Underflow - 1B Primary Settlement
TANK #2 - Secondary Settlement w/ Baffle
TANK #3 - Future use

- PLUMBING LEGEND**
- 1 - 2" sch 80 PVC Pipe - Underflow Discharge - To TANK 1A
 - 2 - 6" sch 40 PVC Pipe - External Crossover - From TANK 1B to TANK 2A
 - 3 - Two 6" sch 40 PVC Pipes - Center Trench - To TANK 1B
 - 4 - 6" sch 40 PVC Pipe - Discharge to Sewer - From TANK 2B
 - 5 - 6" sch 40 PVC Pipe - External Crossover - From TANK 2B to TANK 3
 - 6 - 3" sch 80 PVC Pipe - Filter Pump Suction Line - From TANK 3
 - 7 - 3" sch 80 PVC Pipe - Optional Extra Suction Line - From TANK 3
 - 8 - 6" sch 40 PVC Pipe - AquaPrep Discharge - To TANK 3
 - 12 - 6" sch 40 PVC Pipe - Internal Crossover - From TANK 1A to TANK 1B
 - 13 - 6" sch 40 PVC Pipe - Internal Crossover - From TANK 2A to TANK 2B
 - 14 - 3" sch 40 PVC Pipe - Local Vent - from TANK 2B, Tie into building vent and exit through roof

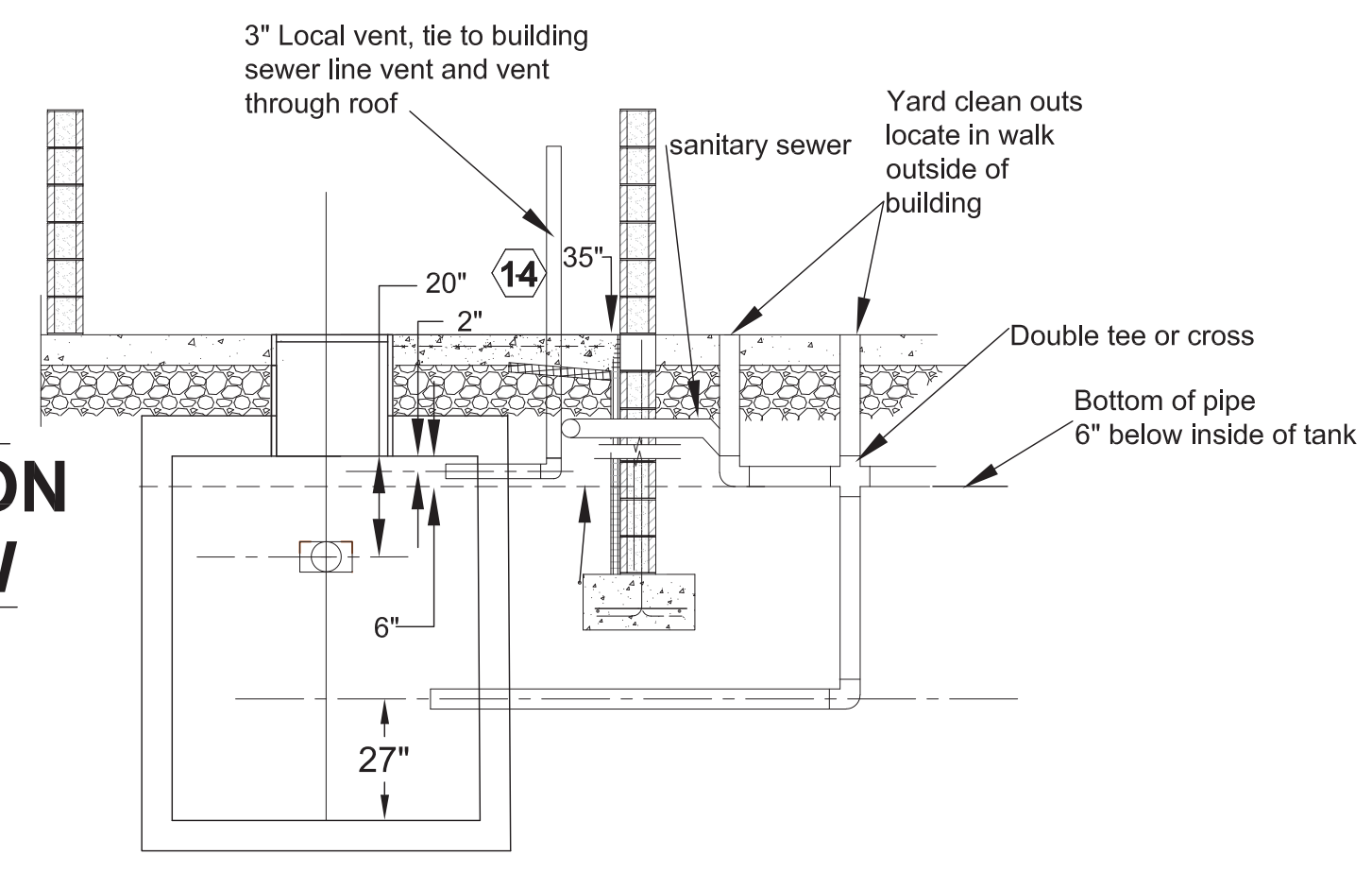
- ELECTRICAL LEGEND**
- a - 1" PVC Conduit - Low Water Protection Float Switch (FS-2) - TANK 3
 - b - 1" PVC Conduit - FOR FUTURE USE - TANK 2B

- NOTES:**
- All underground plumbing & tanks by other.
 - Actual tank dimensions may vary.
 - Plumbing should be placed as shown regardless of what tanks are used.
 - All pipes must be set below frost line.
 - Suction lines MUST be sch 80 PVC.
 - Do NOT install screens on foot valve.
 - All tank bottoms should be same elevation.
 - Consult engineer for elevations.

DRAWING NOT TO SCALE

(If Foot Valve is Raised, The Float Switch Also Needs to be Raised) Keep a 10" Distance Between Them!

BOTTOM OF TANK TOPS @ 32" B.F.F., TYP.



TANK #2 B
Section through end

Item C.

REB ARCHITECTS
103 WIND HAVEN DR, STE 101
NICHOLASVILLE KY 40356
859.523.1500

REVISION	DATE

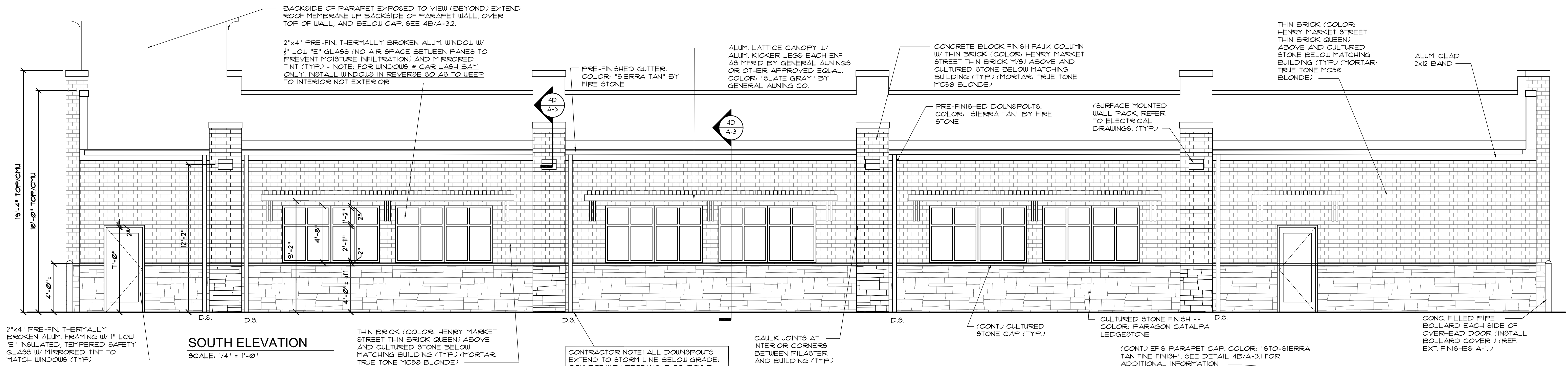
xx/xx/xx
Permit Set

PROJECT NUMBER

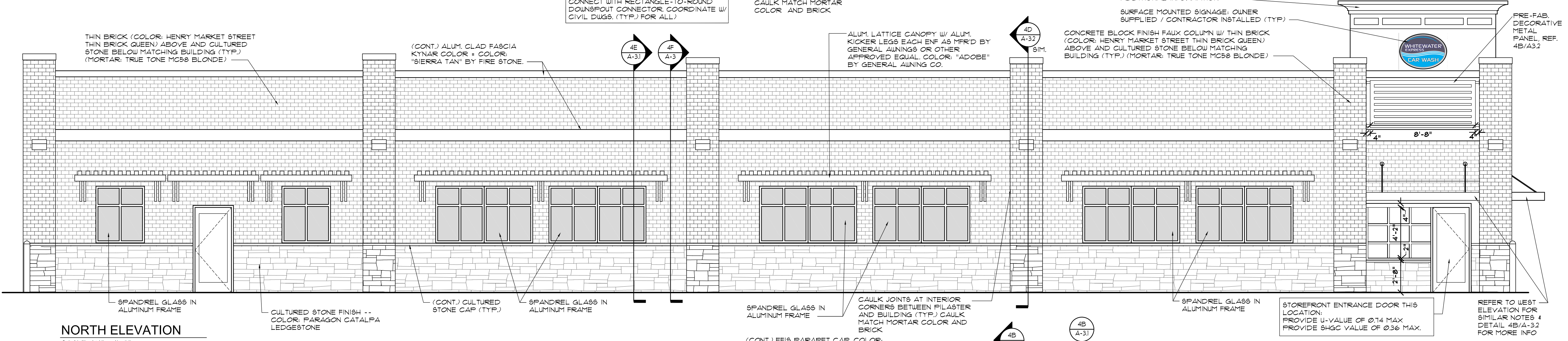
DRAWN BY: REB

Hypershine Carwash
2703 E. Grand River
East Lansing MI 48823

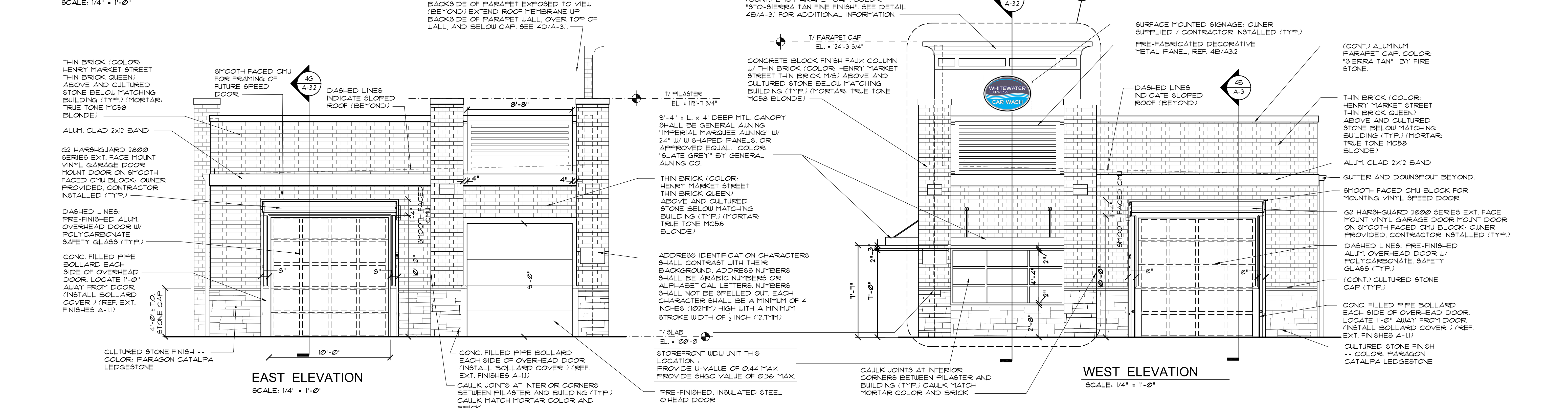
Tank details & Stub up locations future sys.



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

WEST ELEVATION
SCALE: 1/4" = 1'-0"

Not for Construction

103 WIND HAVEN DR, STE 101
NICHOLASVILLE KY 40356
859.523.1500

REVISION	DATE

xx/xx/xx
Permit Set

PROJECT NUMBER

DRAWN BY: REB

Hypershine Carwash
9345 Highland Road
White Lake MI 48386

Exterior Elevations