



ZONING BOARD OF APPEALS MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN 48383
THURSDAY, JULY 24, 2025 – 6:30 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
- A. [May 22, 2025](#)
6. CALL TO THE PUBLIC
7. NEW BUSINESS
 - A. [Applicant: Michael Gordon](#)
[4351 Delemere Court](#)
[Royal Oak, MI 48073](#)
[Location: 575 Washington Boulevard](#)
[White Lake, Michigan 48386 identified as 12-27-405-019](#)
[Request: The applicant requests to build outdoor covered deck structures, requiring variances from Section 3.1.5.E – Minimum Lot Width, Section 3.1.5.E – Minimum Side Yard Setback, Section 7.23 – Nonconforming Structures, and Section 7.27 – Nonconforming Lots of Record.](#)
 - B. [Applicant: Marlene Klimechi](#)
[17290 Garden Ridge Lane](#)
[Northville, MI 48168](#)
[Location: 8852 Charbane Avenue](#)
[White Lake, Michigan 48386 identified as 12-36-351-022](#)
[Request: The applicant proposes to construct an accessory building, requiring variances from Section 3.1.6.E – Minimum Lot Area, Section 3.1.6.E – Minimum Lot Width, 3.1.6.E – Minimum Front Yard Setback, Section 3.11.T – Notes to District Standards, and Section 7.27 – Nonconforming Lots of Record.](#)
 - C. [Applicant: Micah Swansey](#)
[417 Teggerdine Road](#)
[White Lake, MI 48386](#)
[Location: 417 Teggerdine Road](#)
[White Lake, MI 48386 identified as 12-22-326-022](#)
[Request: The applicant requests to construct an accessory building, requiring a variance from Section 3.11.K – Notes to District Standards.](#)



- D. Applicant: Kit Klekamp
9708 Mandon Road
White Lake, MI 48386
Location: **9708 Mandon Road**
White Lake, Michigan 48386 identified as 12-35-126-010
Request: The applicant seeks to enlarge his existing single-family home, requiring
variances from Section 3.1.6.E – Minimum Lot Width, Section 3.1.6.E – Minimum Lot
Area, Section 3.1.6.E – Minimum Side Yard Setback, Section 3.1.6.E – Minimum Front
Yard Setback, Section 7.23 – Nonconforming Structures, and Section 7.27 –
Nonconforming Lots of Record.
- E. Applicant: Brett Meyer
9507 Mandon Road
White Lake, MI 48386
Location: **9507 Mandon Road**
White Lake, MI 48386 identified as 12-35-129-037
Request: The applicant seeks to build a second-story addition onto an existing single-
family home, requiring variances from Section 3.1.6.E – Minimum Side Yard Setback,
Section 3.1.6.E – Minimum Front Yard Setback, and Section 7.23 – Nonconforming
Structures.

8. OLD BUSINESS

9. OTHER BUSINESS

10. NEXT MEETING DATE: August 28, 2025

11. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-7 at least five days in advance of the meeting.** An attempt will be made to provide reasonable accommodations.

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS
MAY 22, 2025**

CALL TO ORDER

Chairperson Spencer called the meeting to order at 6:30 P.M. She led the Pledge of Allegiance.

Roll was called:

ROLL CALL

Present:

Jo Spencer, Chairperson
Tony Madaffer
Steve Anderson, Township Board Liaison
Clif Seiber

Absent:

Debby Dehart, Planning Commission Liaison
Niklaus Schillack, Vice Chairperson

Also Present:

Andrew Littman, Staff Planner
Nick Spencer, Building Official
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

**MOTION by Member Anderson, seconded by Member Madaffer, to approve the agenda as presented.
The motion carried with a voice vote: (4 yes votes).**

CALL TO THE PUBLIC

None.

APPROVAL OF MINUTES

A. April 24, 2025

**MOTION by Member Seiber, seconded by Member Anderson, to approve the minutes as presented.
The motion carried with a voice vote: (4 yes votes).**

NEW BUSINESS

A. Applicant: Nick Moore
9141 Hutchins Road
White Lake, MI 48386
Location: **9141 Hutchins Road**
White Lake, Michigan 48386 identified as 12-35-226-033
Request: The applicant requests to increase the size of an existing accessory structure,

requiring a variance from Section 5.7 – Accessory Buildings or Structures in Residential Districts.

Chairperson Spencer noted for the record that 49 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Littman reviewed his report.

Nicholas Moore, 9141 Hutchins, was present to speak. He restores cars and has grown out of his existing garage. He wanted a bigger garage to store his vehicles and equipment.

Member Seiber asked Mr. Moore to confirm if his lot is 40' wide. Mr. Moore confirmed. Member Seiber asked Mr. Moore to explain the discrepancy between the width of the lot and the width of the garage. Mr. Moore stated it could have been an issue with the builder's sketch. Member Seiber stated the importance of an application including a professionally drawn plan, and due to the property, a certified boundary survey will need to be submitted.

The applicant was offered to table his case to provide a boundary survey. The ZBA further discussed the case.

Chairperson Spencer opened the public hearing at 6:52 P.M.

Brett Provins, 9130 Blondell, spoke in favor of the applicant's request. He stated the applicant has made improvements to the house and lot since purchasing it from family.

Mitchell Watkins, 9157 Blondell, spoke in favor of the applicant's request.

Chairperson Spencer closed the public hearing at 6:54 P.M.

The ZBA discussed the standards from Article 7, Section 37 of the Clear Zoning Ordinance:

- A. Practical Difficulty
 - Chairperson Spencer said the size of the lot is a practical difficulty.
- B. Unique Situation
 - Member Seiber stated that the narrowness of the lot, being 40' wide, made a unique situation
- C. Not Self-Created
 - Chairperson Spencer said there is a self-created hardship, as there is an existing building on the lot.
- D. Substantial Justice

- Chairperson Spencer said there would be substantial justice if the applicant received his request.

E. Minimum Variance Necessary

- Member Spencer said she did not believe the minimum variance to grant the applicant's request was met; she felt it was more of the maximum request.

MOTION by Member Seiber to approve the variances requested by Nick Moore from Section 3.1.6.E and Section 5.7.C of the Zoning Ordinance for Parcel Number 12-35-226-033, identified as 9141 Hutchins Road, in order to build an addition onto an existing garage. Variances from Section 3.1.6.E are granted to allow for construction on a lot that is 3,985 square feet less than the minimum lot area, and 40 feet less than the minimum lot width, required in the RI-D zoning district. Additionally, a variance from Section 5.7.C is granted to allow for the ground floor area of the proposed garage to be 1 94 percent of the ground floor area of the principal structure. This approval will have the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division
2. In no event shall the projection of any roof overhang, eave trough or any other projection be closer than five feet to the side lot lines
3. No mechanical units, including HVAC systems or generators, shall be placed closer than five feet to any side yard lot line
4. An as-built survey shall be provided to verify compliance with setbacks and lot coverage requirements.
5. The applicant shall provide a topographic and boundary survey for review and approval by the White Lake Township Building Division before issuance of the permit.

Member Anderson supported, and the motion carried with a roll call vote: (3 yes votes). (Seiber/yes, Madaffer/yes, Spencer/no, Anderson/yes).

- B. Applicant: Chase Middler
951 West Clarkston Road
Lake Orion, MI 48362
Location: **950 Lake Lane Drive**
White Lake, Michigan 48386 identified as 12-21-278-010
Request: The applicant proposes to construct a single-family home, requiring variances from Section 3.1.5.E – Minimum Lot Width, Section 3.1.5.E – Minimum Front Yard Setback, and Section 3.1.5.E – Minimum Rear Yard Setback.

Chairperson Spencer noted for the record that 14 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Littman reviewed his report.

Chase Middler, 951 West Clarkston Road, was present to speak on his request. He said the plan was drawn to maximize safety along Highland Road.

Member Seiber asked the applicant about the deck. Mr. Middler said the deck was added, but there isn't a deck in the revised plans. He added that the deck is not a game-changer.

Chairperson Spencer opened the public hearing at 7:15 P.M. Seeing none, she closed the public hearing at 7:15 P.M.

The ZBA discussed the standards from Article 7, Section 37 of the Clear Zoning Ordinance:

- A. Practical Difficulty
 - Member Seiber stated the corner lot creates an additional setback that constricts structure configuration and a driveway approach to Highland Road wouldn't be permitted by MDOT.
- B. Unique Situation
 - Chairperson Spencer said the corner lot made for a unique situation.
- C. Not Self-Created
 - The applicant did not plat the lot.
- D. Substantial Justice
 - Chairperson Spencer said the house will be consistent with the surrounding houses in the area.
- E. Minimum Variance Necessary
 - Member Spencer said she did believe the request was the minimum variance necessary.

MOTION by Member Seiber to approve the variances requested by Chase Middler from Section 3.1.5 and Section 7.27 of the Zoning Ordinance for Parcel Number 12-21-278-010, identified as 950 Lake Lane Drive, in order to build a new single-family home. A variance from Section 3.1.5 is granted to allow for construction on a lot that is 15.19 feet less than the minimum lot width required in the R1-C zoning district. Additionally, variances from Section 3.1.5 are granted to allow for the home to encroach 10 feet into the required front yard setback (from Lake Lane Drive) and 19.6 feet into the required rear yard setback. Lastly, a variance from Section 7.27 of the Zoning Ordinance is also granted to allow for development on a lot that does not meet the minimum Ordinance requirements for lot area and width. This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
2. No mechanical units, including a HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.
3. The proposed deck shall be setback at least five (5) feet from the east property line.
4. A foundation certificate shall be required prior to the backfill inspection by the Building Division
5. An as-built survey shall be required to verify the approved setbacks

Member Anderson supported, and the motion carried with a roll call vote: (4 yes votes)

(Anderson/yes, Spencer/yes, Madaffer/yes, Seiber/yes).

- C. Applicant: Michael Mocer, Inc.
25201 Alexa Drive
Commerce Township, MI 48390
Location: **2927 Ridge Road**
White Lake, Michigan 48383 identified as 12-18-101-018
Request: The applicant requests to construct a single-family home, requiring variances from Section 3.1.6.E – Minimum Lot Width, Section 3.1.6.E – Minimum Lot Area, Section 3.1.6.E – Minimum Side Yard Setback, Section 3.1.6.E – Minimum Front Yard Setback, Section 3.1.6.E – Maximum Lot Coverage, and Section 3.1.6.E – Maximum Building Height.

Chairperson Spencer noted for the record that 21 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Littman reviewed his report.

Member Seiber asked staff if a cantilever would be considered a projection into the side yard setback. Building Official Spencer said the ordinance does not consider it if the cantilever is greater than 8' from grade.

Mike Mocer, 25201 Alexa, stated that the cantilever is noted on the plan that the grade be lower than 8' clearance below the dining seat. He added that he did not factor the gutters into the side yard setback, and requested a dimension of 5' from the overhang to the property line.

Member Seiber asked the applicant if the boat house was remaining. Mr. Mocer confirmed.

Chairperson Spencer opened the public hearing at 7:32 P.M. Seeing none, she closed the public hearing at 7:33 P.M.

The ZBA discussed the standards from Article 7, Section 37 of the Clear Zoning Ordinance:

- A. Practical Difficulty
 - Member Seiber stated the lot width and area contributed to the practical difficulty
- B. Unique Situation
 - Chairperson Spencer said the lot posed a unique situation.
- C. Not Self-Created
 - The applicant did not plat the lot.
- D. Substantial Justice
 - Member Seiber said the applicant's proposal was similar to the surrounding houses.

E. Minimum Variance Necessary

- Member Spencer said she did believe the improved request was the minimum variance necessary.

MOTION by Member Anderson to approve the variances requested by Michael Mocer, Inc. from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-18-101-018, identified as 2927 Ridge Road, in order to build a new single-family home that would encroach 4 feet into the northern side yard setback and exceed the allowable building height by 2 feet. A 28-foot variance from the required lot width, 2,576-square-foot variance from the required lot size, and 4.7 percent variance from the maximum lot coverage are also granted from Article 3.1.6.E. This approval will have the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
2. In no event shall the projection of any roof overhang be closer than five feet to the side yard lot lines.
3. No mechanical units, including HVAC system or generator, shall be placed closer than five feet to any side yard lot line.
4. A foundation certificate shall be required prior to the backfill inspection by the Building Department. An as-built survey shall be required to verify the approved setbacks and lot coverage.

Member Madaffer supported, and the motion carried with a roll call vote: (4 yes votes) (Anderson/yes, Madaffer/yes, Spencer/yes, Seiber/yes).

- C. Applicant: Allied Signs, Inc.
33650 Giftos Drive
Clinton Township, MI 48035
Location: **Kroger**
10951 Highland Road
White Lake, MI 48386 identified as 12-22-301-004
Request: The applicant requests to add signage onto an existing non-residential building, requiring variances from Section 5.9.J.ii.a – Maximum Size of Wall Signs in a Non-Residential District, Section 5.9.J.ii.b – Maximum Number of Wall Signs in a Non-Residential District, and Section 7.23 – Nonconforming Structures.

Chairperson Spencer noted for the record that 19 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Littman reviewed his report.

Member Seiber asked staff if the amount of wall signs Kroger could potentially end up with will be non-conforming, and if the ZBA should approve them for the five signs. Staff Planner Littman said there is a total of five signs on the front (north) façade and one on the side (west) façade. The Murray Cheese's

sign will be removed. The Comerica and Starbucks signs will be renovated. The sign on the west elevation was revised and reduced in size.

Member Anderson thanked the applicant for his revisions to the signs and for removing the temporary banners

Bob Bionjourno, Allied Signs, was present to speak on behalf of Kroger. He said there will be six signs total: one on the west elevation and five on the north elevation.

Chairperson Spencer opened the public hearing at 7:49 P.M.

Mary Earley, 5929 Pine Ridge Court, said there are too many signs on the building, even with the requested variance.

Chairperson Spencer closed the public hearing at 7:50 P.M.

The ZBA discussed the standards from Article 7, Section 37 of the Clear Zoning Ordinance:

- A. Practical Difficulty
 - Member Seiber stated that there are two additional separate companies within the store presents a practical difficulty. He added that grocery pickup is a fairly recent concept that necessitates more signage.
- B. Unique Situation
 - Chairperson Spencer said the practical difficulty poses a unique situation
- C. Not Self-Created
 - Chairperson Spencer said this is due to the marketing plan of Kroger stores nationwide.
- D. Substantial Justice
 - Member Seiber said similar stores have the same signage requirements.
- E. Minimum Variance Necessary
 - Chairperson Spencer said the applicant reduced the proposed signs and removed the temporary and Murray Cheese signs.

MOTION by Member Seiber to approve the variances requested by Allied Signs from Article 5.9.J.H and Article 7.23 of the Zoning Ordinance for Parcel Number 12-22-301-014, identified as 10951 Highland Road, in order to replace an existing legally nonconforming wall sign with a new 229.5 square-foot wall sign reading "Kroger Marketplace" for a total of six signs. The approval is conditional on the applicant obtaining all necessary permits from the White Lake Township Building Division and the elimination of the Murray's Cheese sign.

Member Anderson supported, and the motion carried with a roll call vote: (4 yes votes). (Seiber/yes, Anderson/yes, Madaffer/yes, Spencer/yes).

- E. Applicant: PH Communities
8255 Cascade, STE. 110
Commerce Twp., MI 48382

Location: Elizabeth Trace Condos

South side of Elizabeth Lake Road, East of Union Lake Road identified as 12-26-204-038

Request: The applicant is seeking to complete an existing multi-family condominium development, requiring variances from Section 3.11.Q, Section 3.11.G, Section 3.11.U, Section 5.19.E – Interior Landscaping Requirements, and Section 5.21 – Public Sidewalk Standards.

Chairperson Spencer noted for the record that 94 owners within 300 feet were notified. 0 letters were received in favor, 1 letter was received in opposition (while it did not pertain to the ZBA), and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Littman reviewed his report.

Jim Eppink, 27 South Squirrel, was present to speak on behalf of the applicant. He stated the applicant is eager to finish the development. There are currently 19 residents who live in the existing neighborhood, and the residents have maintained the property well. The applicant is proposing units of the same depth, but they will be 2' wider to allow for bigger kitchens. The Planning Commission approved the plans subject to architectural enhancements. He said the practical difficulty is due to the existing utilities and infrastructure, and the ordinance at the time the existing units were constructed. The challenge is building new structures in an approved and constructed neighborhood. He added that the applicant eliminated a building in order to minimize variances.

Member Seiber stated he understood the need for the requested variances.

Member Anderson thanked Mr. Eppink for his willingness to work with the Township. He said he was happy to have PH Homes develop in the community.

Chairperson Spencer read a letter into the record.

Chairperson Spencer opened the public hearing at 8:18 P.M.

Mark Stoll, 170 Oakridge, spoke in opposition to the applicant's request. He expressed concern about drainage.

Paul Bastas, 40 Grandview, spoke in favor of the applicant's request.

Michael Prus, 42 Grandview Circle, spoke in favor of the applicant's request.

Mary Lehman, 109 Willard's Way, spoke in favor of the applicant's request. She expressed concern about encroachment into the wetland.

Chairperson Spencer closed the public hearing at 8:28 P.M.

Member Seiber stated the roadway was fixed, and there still will be a substantial amount of wetland buffer remaining. He added that the proposed units look similar to those that were approved in 2004, and he understood the separation of the buildings. He said the site will still have mature vegetation, and extending the sidewalk through the wetland is counterproductive. The sidewalk would connect to nothing, and could remain unconnected for a long time.

The ZBA discussed the standards from Article 7, Section 37 of the Clear Zoning Ordinance:

A. Practical Difficulty

- Member Seiber said the site has been partially built since 2004.

B. Unique Situation

- Member Seiber said the development and infrastructure is pre-existing.

C. Not Self-Created

- Member Seiber said this developer did not abandon the site in 2005.

D. Substantial Justice

- Member Anderson stated that this will increase the property value for existing orders.

E. Minimum Variance Necessary

- Member Seiber said the proposed plans are in close compliance with the original approved site plan.

MOTION by Member Seiber to approve the variances requested by PH Homes/Elizabeth Trace for parcel 12-26-204-038 from Section 3.1 I.Q of the Zoning Item E. Ordinance are granted to allow the porch of unit 47 to encroach 4 feet into the required setback from a wetland, the porch of unit 48 to encroach 4.9 feet into the required setback from a wetland, the porch of unit 49 to encroach 5.6 feet into the required setback from a wetland, and the porch of unit 50 to encroach 2.3 feet into the required setback from a wetland,. Variances from Section 3.11 ,G of the Zoning Ordinance are granted to allow there to be a 30.2-foot setback between units 4750 and existing units 10-14, a 36.1-foot setback between units 51-54 and units 5559, a 20.6-foot setback between units 60-63 and units 64-67, and a 35.4-foot setback between units 68-72 and existing units 42-46. Variances from Section 3.11.U of the Zoning Ordinance are granted to allow for the following reductions in the required minimum setback from the back of the sidewalk: 8.7 feet for the building with units 60-63; 22 feet for the building with units 64-67; and 15.6 feet for the building with units 68-72. A variance from Section 5.19.E of the Zoning Ordinance is granted to allow the Applicant to plant 132 fewer trees and 647 fewer shrubs than required to satisfy the interior landscaping ordinance standards. In lieu of requiring a path that is 1 - foot off the right-of-way line and runs along the entire Elizabeth Lake Road frontage, a variance from Section 5.21 of the Zoning Ordinance is granted to allow for a winding path that is 302 feet short of running the entire length of the Elizabeth Lake Road frontage.

Member Anderson supported, and the motion carried with a roll call vote: (4 yes votes). (Seiber/yes, Anderson/yes, Madaffer/yes, Spencer/yes).

OTHER BUSINESS

None.

NEXT MEETING DATE: June 26, 2025

ADJOURNMENT

MOTION by Member Anderson, seconded by Member Seiber, to adjourn at 8:39 P.M. The motion carried with a roll call vote: (4 yes votes)

DRAFT

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Sean O'Neil, Community Development Director 
DATE: July 17, 2025

Agenda item: 8A
Appeal Date: July 24, 2025
Applicant: Michael Gordon
Address: 4351 Delemere Court
Royal Oak, MI 48073
Location: 575 Washington Boulevard
White Lake, MI 48386
Zoning: R1-C Single Family Residential

Property Description

The approximately 0.39-acre (17,062 square-foot) parcel identified as Parcel Number 12-27-405-019 is located within the Cedar Isle Project subdivision and is zoned R1-C (Single Family Residential). The property currently has a single-family residence with an attached two-car garage located on it. Additionally, the property is served by a private septic and well (both will be located on the survey by the applicant ahead of the meeting). This lot has a width of 65.18 feet along its Washington Boulevard frontage.

Applicant's Proposal

The Applicant is proposing to add two covered decks onto the rear of the existing nonconforming structure where an existing deck now stands, which was installed by a previous owner. The new decks would have side yard setbacks of 5.75 feet on the north side and 8.75 feet on the south side. The applicant describes the new outdoor space as a right that is enjoyed by most of the adjacent owners, and he believes that it is a reasonable request in this case. He stated that centering the decks would impact the natural light into the house, while locating them where they are proposed would allow them to tie the decks into the existing roof structure, window, and door locations. Per the survey provided, the new decks will follow the existing side setbacks of the house.

Planner's Report

The existing lot is legally nonconforming. Per Section 3.1.5 of the Zoning Ordinance, the minimum lot width in the R1-C zoning district is 100 feet. In this case, the lot width is deficient by 34.82 feet. Section 3.1.5 also calls for 10 foot side yard setbacks, and the proposal is deficient on both side yards, however, the proposal is consistent with the existing side yard setbacks and is triggered, in this case, because the decks are covered. Additionally, Section 7.23 ordinance requires that a variance be obtained for enlarging an existing nonconformity and, once again, this is triggered only because the decks will be covered. Finally, Section 7.27 of the ordinance requires that a variance be obtained for any nonconforming lot where the required setbacks cannot be met, which is the case here, and was not created by the applicant.

The requested variances are listed in the following table:

Variance #	Ordinance Section	Subject	Standard	Requested Variance
1	Section 3.1.5	Minimum Side Yard Setback (North)	10 feet	4.25 feet
2	Section 3.1.5	Minimum Side Yard Setback (South)	10 feet	1.25 feet
3	Section 3.1.5	Minimum Lot Width	100 feet	34.82 feet
4	Section 7.23	Nonconforming Structures	Cannot be enlarged	Addition of two covered decks onto the lakefront side of the structure
5	Section 7.27	Nonconforming Lots of Record	Only developable if setbacks are met	Developable even if setback requirements are not met

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Michael Gordon from Section 3.1.5, 7.23, and Section 7.27 of the Zoning Ordinance for Parcel Number 12-27-405-019 identified as 575 Washington Boulevard, in order to build two new covered decks onto the rear of the structure. Variances from Section 3.1.5 are granted to allow for both construction on a lot that is 34.82 feet less than the minimum lot width required in the R1-C zoning district, and for both side yards which will result in variances of 4.25 feet and 1.25 feet respectively. Additionally, a variance from Section 7.23 is also granted to allow for the enlargement of a nonconforming structure. Finally, a variance from Section 7.27 of the Zoning Ordinance is also granted to allow for development on a lot that does not meet the minimum Ordinance requirements for lot width. This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division and the Oakland County Health Division.
2. No mechanical units, including a HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.

3. Per Section 5.3, all portions of the proposed structure (including the roof/soffits/gutters) shall be setback a minimum of five (5) feet from the north and south property lines.
4. A foundation certificate shall be required prior to vertical construction.
5. An as-built survey shall be required to verify the approved setbacks.

Denial: I move to deny the variances requested by Michael Gordon for Parcel Number 12-27-405-019, identified as 575 Washington Boulevard due to the following reason(s):

Postpone: I move to postpone the appeal of Michael Gordon *to a date certain or other triggering mechanism* for Parcel Number 12-27-405-019, identified as 575 Washington Boulevard to consider comments stated during this public hearing.

Attachments:

1. Variance application dated May 30, 2025.
2. Denial letter, from the Building Official, dated May 5, 2025
3. Applicant's explanatory letter, provided by their representative.
4. Survey showing proposed plan dated April 17, 2025, with revisions on June 11, 2025.
5. Covenant Deed proving ownership.
6. Letter from owner Mark Flynn, dated April 2, 2025 granting authority to Michael Gordon to act on his behalf for matter related to this property.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION
 Community Development Department, 7525 Highland Road,
 White Lake, Michigan, 48383
 (248) 698-3300 x5

APPLICANT'S NAME: MICHAEL J. GORDON PHONE: 248-318-2919
 ADDRESS: 4351 DELEMERE COURT ROYAL OAK, MI 48073
 APPLICANT'S EMAIL ADDRESS: michaeltg@mga-architects.net
 APPLICANT'S INTEREST IN PROPERTY: ☐ OWNER ☐ BUILDER ☒ OTHER: ARCHITECT

ADDRESS OF AFFECTED PROPERTY: 575 WASHINGTON BLVD PARCEL # 12-27-405-019
 CURRENT ZONING: R1-C PARCEL SIZE: 17,422 SQUARE FEET

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: REQUIRED SIDE YARD SETBACK
10'-0", 5.7 FT IS PROPOSED FOR THE NORTH SIDE YARD AND 8.7 SOUTH YARD MINIMUM 3.1.5.
 VALUE OF IMPROVEMENT: \$ 60,000 SEV OF EXISTING STRUCTURE: \$ 297,140

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: _____ (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE:  DATE: 30 May 2025

Rik Kowall, Supervisor
 Anthony L. Noble, Clerk
 Mike Roman, Treasurer



Trustees
 Scott Ruggles
 Steve Anderson
 Andrea C. Voorheis
 Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

May 5, 2025

Mark Flynn
 575 Washington Blvd
 White Lake, MI 48386

Re: Proposed Covered Deck Structures

Based on the submitted plans, the proposed covered deck structures do not satisfy the White Lake Township Clear Zoning Ordinance for R1-C zoning district.

Article 3.1.5 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback of 10 ft each side and total of 20 ft, and minimum lot width of 100 ft.

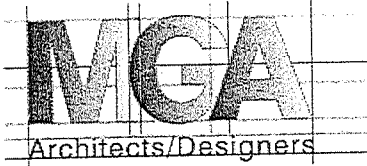
The existing lot and structure are legal non-conforming. The 65.18 ft wide lot contains a residential structure that does not meet the required side yard and front yard setbacks. The proposed reconstructed deck and roof additions will also have an approximate 5.7 ft north side yard setback and approximate 8.7 ft south side yard setback for a total side yard setback of approximately 14.4 ft.

Furthermore, **Article 5.3** states; in no instance shall any portion of the proposed structure, including overhangs and gutters, project closer than 5 ft to either side yard lot line. **The plot plan should clearly define whether the setback measurement is to the overhang or side wall.** No board, commission or department can grant approval to any structure, or portion of structure within the 5 ft side yard setback.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the June 26th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than May 22nd at 4:30 PM. ***Be advised, the certified boundary and location survey must show existing structures, proposed structures, setback dimensions, well and septic locations, and total lot coverage as required by the ZBA.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
 White Lake Township



May 13, 2025

White Lake Township
Zoning Board of Appeals
7525 Highland Rd.
White Lake, MI 48383-2900

Re: Flynn Residence at 575 Washington Blvd. Covered Deck Structures
White Lake Township, MI 48386
Architects Job No. 24242

Dear Board:

We are requesting variances to allow for the construction of two outdoor covered deck structures as noted in Nick Spencer's letter, dated 5 May 2025. The lot is an existing legal non-conforming lot of 65.18 feet where 100 feet is required.

Nick also noted that the decks are proposed to be reconstructed. The column supported decks will be rebuilt in the existing location as part of maintaining and repairing them. They predate the current owner and therefore are not a self-created need. The addition of a roof structure over these decks is the ask in this case.

A covered outdoor space is a right enjoyed by most of the adjoining owners and, we believe, is a reasonable request.

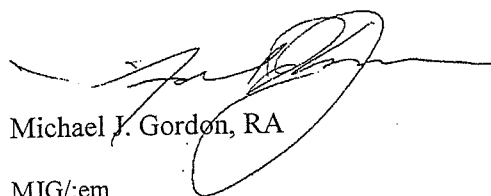
Keeping and reusing as much of the infrastructure of the existing decks is an efficient way to proceed and the position of the roof structures would tie well into the home and work with existing window and door locations.

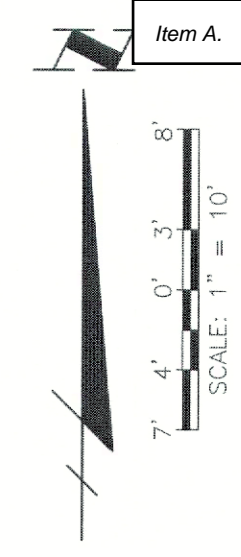
Moving the covered deck to the middle of the back of the home into a conforming position behind the main living space would impact the light into this space, especially in the off season when spending time outdoors is not desirable due to the weather.

We feel that this is not a self-created situation and granting the variance would do substantial justice to the homeowner. Further, the structures would not adversely impact the rights or negatively impact the property values of the adjoining property owners.

We hope you look favorably on this fairly modest request.

Sincerely,
MOISEEV/GORDON ASSOCIATES, INC.


Michael J. Gordon, RA
MJG/em



10

RECEIVED
APR 29 2025
BUILDING DEPARTMENT



LAND DESCRIPTION:

LOT 33, AND THE NORTHERLY 15 FEET OF LOT 34, "CEDAR ISLE PROJECT", AS RECORDED IN LIBER 58 OF PLATS, PAGE 16, OAKLAND COUNTY RECORDS.

ZONING R-1C
SINGLE FAMILY
RESIDENTIAL
(SETBACKS)
FRONT - 35'
SIDE - 10'
REAR - 35'

Surveying Michigan with pride

FIELD BOOK: _____ PAGE: _____

FIELD BOOK: * _____ PAGE: *

DRAWING FILE: 230301-10.dwg

DATA FILE: 220907P

DESC. FILE: 220907

GRANT J. WARD
REGISTERED LAND SURVEYOR
LICENSE NO. 22445

SITE PLAN	
"CEDAR ISLE PROJECT" SUBDIVISION, L58, P. 16, LOT No. 33 & PART OF 34, WHITE LAKE TOWNSHIP, T3N., R8E., OAKLAND COUNTY, SECTION 27, P.I. #12-27-405-019, 587 WASHINGTON BLVD., WHITE LAKE, MICHIGAN 48386	
For MARK R. FLYNN	
575 WASHINGTON BLVD.	
WHITE LAKE, MICHIGAN 48386	
infvnnity@gmail.com	

DATE
FEBRUARY 7, 2025
SHEET 1 OF 1
SCALE: 1" = 10'
JOB NO.: 23-0301

REGISTERED LAND SURVEYORS
655 BROADWAY - P.O. BOX 440
DAVISBURG, MICHIGAN 48317
PHONE: (248) 634-0700
EMAIL: GWS@TR.COM

OAKLAND COUNTY TREASURERS CERTIFICATE
This is to certify that there are no delinquent property taxes as of this date owed to our office on this property. No representation is made as to the status of any taxes, tax liens or titles owed to any other entities.

APR 30 2021

5.00

ANDREW E. MEISNER, County Treasurer
Sec. 135, Act 206, 1893 as amended

Item A.

116604
LIBER 56171 PAGE 75!
\$26.00 DEED - COUNTY
\$4.00 RECONUMENTATION
\$385.00 TRANSFER TAX COUNTY
05/03/2021 12:27:06 P.M. RECEIPT# 90905
PAID RECORDED - OAKLAND COUNTY
LISA BROWN, CLERK/REGISTER OF DEEDS

2020 NOT EXAMINED

COVENANT DEED

3

W. Timothy Flynn, Successor Trustee of the Nancy N. Flynn Family Trust No. One u/a/d August 15, 2001, also known as the Nancy N. Flynn Trust, dated August 15, 2001, as amended January 30, 2015 whose address is 5944 Darb Lake Drive, Bloomfield, Michigan, 48324 convey(s) to Mark R. Flynn, whose address is 34024 Oakland St., Farmington, Michigan, 48335, the following property located in the Township of White Lake, Oakland County, Michigan:

Lot 33, and the Northeasterly 15 feet of Lot 34, Cedar Isle Project, as recorded in Liber 58 of Plats, Page 16, Oakland County Records.

(575 Washington Blvd.)

for the full consideration of \$350,000.00, subject to easements and restrictions of record and liens for real estate taxes not yet due and payable.

Grantor covenants and agrees to defend the title to the property against all claims arising from acts or omissions of Grantor, but not otherwise.

Dated: March 26, 2021

Nancy N. Flynn Family Trust No. One u/a/d August 15, 2001, also known as the Nancy N. Flynn Trust, dated August 15, 2001, as amended January 30, 2015

W. Timothy Flynn
W. Timothy Flynn, Successor Trustee

Acknowledged before me in Washtenaw County, Michigan, on March 26, 2021 by W. Timothy Flynn, Successor Trustee of the Nancy N. Flynn Family Trust No. One u/a/d August 15, 2001, also known as the Nancy N. Flynn Trust, dated August 15, 2001, as amended January 30, 2015.

My commission expires:

Lori K. Russo
Notary Public, Washtenaw County, MI
My Commission Expires Dec. 8, 2025
Acting in Washtenaw County

Lori K. Russo
Notary Public
Washtenaw County, Michigan

This instrument drafted by:
Peggy E. Geiger P44285
2875 W. Liberty Rd.
Ann Arbor, MI 48103

When recorded return to, and send tax bills to:
Grantee

Recording Fee: \$30.00 plus \$5.00 Tax Certificate
Transfer Tax: \$385.00*
AB File No.: 89100
Tax Parcel: 12-27-405-010

April 2, 2025

To Whom It May Concern,

I have retained Micheal Gordon to assist me with a renovation at my home at 575 Washington Blvd., White Lake, MI 48386. Micheal Gordon is an architect with Moiseev Gordon Associates in Royal Oak Michigan. I have granted Mr. Gordon full authority to speak on my behalf relative to the renovation project at my home with the construction permitting authorities at White Lake Township and Oakland County.

Thank you, and kind regards.



Mark R. Flynn

248-202-5005

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Sean O'Neil, Community Development Director
DATE: July 15, 2025



Agenda item: 8B

Appeal Date: July 24, 2025

Applicant: Marlene Klimechi

Address: 17290 Garden Ridge Lane
Northville, MI 48168

Location: 8852 Charbane Avenue
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Property Description

The approximately 0.17-acre (7,490 square-foot) parcel identified as Parcel Number 12-36-351-022 is located within the Twin Shores subdivision and zoned R1-D (Single Family Residential). The property currently has a single-family residence, and a detached one-car garage located on it. Additionally, the property is served by a private septic and well (both are located on the survey). This lot has a width of 50 feet along its Charbane Avenue frontage.

Applicant's Proposal

The Applicant is proposing to demolish the existing nonconforming detached garage and build a new 22' x 22' side-entry, two-car, detached garage. The new garage would have a front yard setback of 5 feet and side yard setbacks of 21.5 feet (north side) and 5 feet (south side). The applicant describes her current one-car detached garage as both deteriorated and infested. Per the survey provided, this garage is also only 1.2 feet from the southerly side property line and is 5.6' from the front property line. While variances will be required in order to construct the proposed garage, it does remove a structure that is more nonconforming than what is proposed, and that is also in poor condition.

Planner's Report

The existing lot is legally nonconforming. Per Section 3.1.6 of the Zoning Ordinance, the minimum lot size and minimum lot width in the R1-D zoning district are 12,000 square feet and 80 feet, respectively. In this case, the minimum lot size requirement of 12,000 square feet is deficient by 4,510 square feet, and the lot width is deficient by 30 feet. Additionally, the proposed garage would be located 5 feet from the front lot line where a 30 foot setback is required. Section 3.11.T of the ordinance also requires side-entry garages to have a 25 foot setback from a side lot line. In this case, 21.6 feet are provided. Finally, Section 7.27 of the ordinance requires that a variance be obtained for any nonconforming lot where the required setbacks cannot be met, which is the case here. The applicant did not create this situation.

The requested variances are listed in the following table:

Variance #	Ordinance Section	Subject	Standard	Requested Variance
1	Section 3.1.6	Minimum Front Yard Setback	30 feet	25 feet
2	Section 3.11.T	Minimum Side Yard Setback for Side-Entry Garage	25 feet	3.4 feet
3	Section 3.1.6	Minimum Lot Width	80 feet	30 feet
4	Section 3.1.6	Minimum Lot Area	12,000	4,510
5	Section 7.27	Nonconforming Lots of Record	Only developable if setbacks are met	Developable even if setback requirements are not met

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Marlene Klimechi from Section 3.1.6, 3.11.T, and Section 7.27 of the Zoning Ordinance for Parcel Number 12-36-351-022 identified as 8852 Charbane Avenue, in order to build a new two-car, detached garage. Variances from Section 3.1.6 are granted to allow for both construction on a lot that is 30 feet less than the minimum lot width required, and 4,510 square feet less than the required minimum lot area in the R1-D zoning district. Additionally, a variance from Section 3.1.6 is granted to allow for the garage to encroach 25 feet into the required front yard setback (from Charbane Avenue). A 3.4 foot variance from Section 3.11.T is also granted, allowing an encroachment into the required side yard setback for side-entry garages. Lastly, a variance from Section 7.27 of the Zoning Ordinance is also granted to allow for development on a lot that does not meet the minimum Ordinance requirements for lot area and width. This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
2. No mechanical units, including a HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.

3. The proposed structure shall be setback at least five (5) feet from the south property line.
4. A foundation certificate shall be required prior to vertical construction.
5. An as-built survey shall be required to verify the approved setbacks.
6. Parking of vehicles/equipment, and storage of any kind, will not be permitted in the area between the new structure and Charbane Avenue.
7. All necessary permits from RCOC and the Oakland County Health Division will be obtained prior to the issuance of building permits.

Denial: I move to deny the variances requested by Marlene Klimechi for Parcel Number 12-36-351-022, identified as 8852 Charbane Avenue due to the following reason(s):

Postpone: I move to postpone the appeal of Marlene Klimechi *to a date certain or other triggering mechanism* for Parcel Number 12-36-351-022, identified as 8852 Charbane Avenue to consider comments stated during this public hearing.

Attachments:

1. Variance application dated May 7, 2025.
2. Applicant's explanatory letter, with pictures.
3. Survey showing proposed plan dated April 17, 2025, with revisions on June 11, 2025.
4. Warranty Deed proving ownership.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficulty results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION

Item B.

Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: MARLENE C KLIMECKI PHONE: (248) 933-7655

ADDRESS: 17290 Garden Ridge Lane, Northville 48168

APPLICANT'S EMAIL ADDRESS: MarleneKLIMECKI@gmail.com

APPLICANT'S INTEREST IN PROPERTY: ☒ OWNER ☐ BUILDER ☐ OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 2852 Charbone PARCEL # 12 - 36-351-022
R1-D

CURRENT ZONING: LI-LI(4) PARCEL SIZE: 50' X 50' X 149' X 187'

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Front Yard Set Back
SECT 3.1.6

VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISTING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: _____ (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE: Marlene C Klimecki DATE: 5-7-25

Charter Township of White Lake APPLICATION INSTRUCTIONS ZONING BOARD OF APPEALS

1. Please read these instructions carefully before submitting the attached application. **Fill out the entire application in detail.** If a portion is not applicable in your case, please mark "Not Applicable" or "N/A" on the application.
2. In addition to the attached application, you must submit the following:
 - a. **Proof of Ownership**
If you are not the property owner of record, a copy of the land contract, option to purchase, purchase agreement, lease agreement, or letter of authorization from the property owner must be presented with the application to indicate the applicant's interest in the subject property. In addition, a letter of no objection from the property owner may be required by Township staff.
 - b. **Plan or drawing – one copy**
Attach one copy of the plot plan of the subject property drawn to scale. The plan must depict the shape and dimension of the property, all existing and proposed structures and building-to-building and building to property line relationships.
 - c. **Certified Survey – one copy**
 - d. **Letter of denial from the Building Department**
The Building Department must have reviewed and formally denied your application for a building permit before a Z.B.A. application can be considered for processing.
3. The required filing fee is **\$440.00 for residential land uses** and **\$550.00 for non-residential land uses** and must be submitted with the application.
4. **All proposed additions must be staked and flagged.**
5. The attached application must be completely filled out and all documents, plans, other necessary information, and the application fee, as required, must be submitted before the application will be considered complete and accepted for processing. The application will then be placed on the next available Zoning Board of Appeals agenda.
6. You will be notified of the date and time that your request will be considered by the Zoning Board of Appeals (Z.B.A.). Please attend or have a representative attend if you cannot attend the scheduled meeting. All Z.B.A. meetings are held at the Township Annex, 7527 Highland Road, White Lake, Michigan.
7. Notification is given by mail to all property owners of record within 300 feet of the subject property at least 15 days prior to the meeting.
8. Information relative to the powers and duties of the Z.B.A. can be found in Article 7.36 of the White Lake Township Zoning Ordinance. To be granted a variance, an applicant must provide proof that a **practical difficulty** exists and the practical difficulty must relate to a unique circumstance of the property which prevents the applicant from reasonably using the property for a permitted use. Furthermore, no variance shall be granted unless all of the criteria found in Article 7.37 of the Zoning Ordinance have been met.

APPLICATION CHECKLIST:

- ☐ COMPLETED, SIGNED APPLICATION
- ☐ LETTER OF AUTHORIZATION FROM THE PROPERTY OWNER
- ☐ ONE COPY OF THE PLAN OR DRAWING (SEE ABOVE)
- ☐ ONE COPY OF THE CERTIFIED SURVEY (SEE ABOVE)
- ☐ LETTER OF DENIAL FROM BUILDING DEPARTMENT
- ☐ COPY OF BUILDING PERMIT APPLICATION
- ☐ APPLICATION FEE (see #3 above)

Please direct any questions to the White Lake Township Community Development Department at 248.698.3300 extension 5.

NOTE: ZONING BOARD OF APPEALS MEMBERS AND TOWNSHIP STAFF WILL LIKELY VISIT THE SITE PRIOR TO THE MEETING AS PART OF THEIR PREPARATION FOR EACH CASE.

May 6, 2025

TO: Zoning Board of Appeals

RE: Tear Down of Existing Garage and Replacement
8852 Charbane, White Lake, MI

When I had a private building inspection on the house and garage, the house only being 5 years old only had a few minor suggestions for improvements. The garage, however, being a log structure probably 80+ years old and not at all maintained has 3-4 layers of roof shingles on it, did not get the same good report.

The written estimate (attached) shows an estimate of \$3,997 for the garage roof (not including replacing any rotten roof boards AND a notation NOT responsible for structure of garage). I thought initially the garage could be saved but, after several people looking at it, the floor is sloped down on the approach, no longer working electrical, wood rot on all sides, open areas to animals and now infestation, it needs to be replaced (photos attached).

Since the house does not have a basement, I am dealing with limited storage for any type of yard tools and personal property. I also own two vehicles and after last week's storm, would like to have a garage to safely park them.

I have talked to the neighbors that have lived on the street a long time, and other than a few jokes about the garage, there would be no love lost to see it get replaced. Also the new garage would not block anyone's lake view.

I would possibly consider making it my year round home at some point in the future if this could be a possibility but without it, it would have to be seasonal use only. I have already made substantial investments, \$2,385 for the updated survey through FSE for the Zoning Board of Appeals, the new dock, a reverse osmosis system, all new furniture, and would like to continue to improve it to make it my home.

The existing garage is 22.5 x 13.4 and my proposed side entry that would mirror the garage next door but on a smaller scale, would be 22 x 20 (photo attached).

Thank you in advance for your time and consideration in this matter to make this improvement.

OLD WINDOW maybe ?

Item B.



Same Set BACK On Cement PAD House
NEXT

Item B.



TOTAL DETERIORATION FROM AGE + INFESTATION

Item B.



DEPTH IS THERE FOR SIDE ENTRY 9A99

LIKE HOUSE NEXT DOOR

Item B.



Side Entry Garage Next Door.

Item B.



Big Dip Going Into Garage.

Item B.



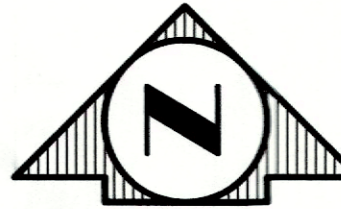
WOOD CANNOT BE SAVED

Item B.



PROPERTY DESCRIPTION PROVIDED:

LOT 13 OF TWIN SHORES AS RECORDED IN LIBER 25, PAGE 18
OAKLAND COUNTY PLAT RECORDS.
NOTE: NO LOT STAKE WAS PERFORMED. PROPERTY LINES SHOWN ARE
BASED ON FOUND CORNER EVIDENCE ONLY.



GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

LEGEND

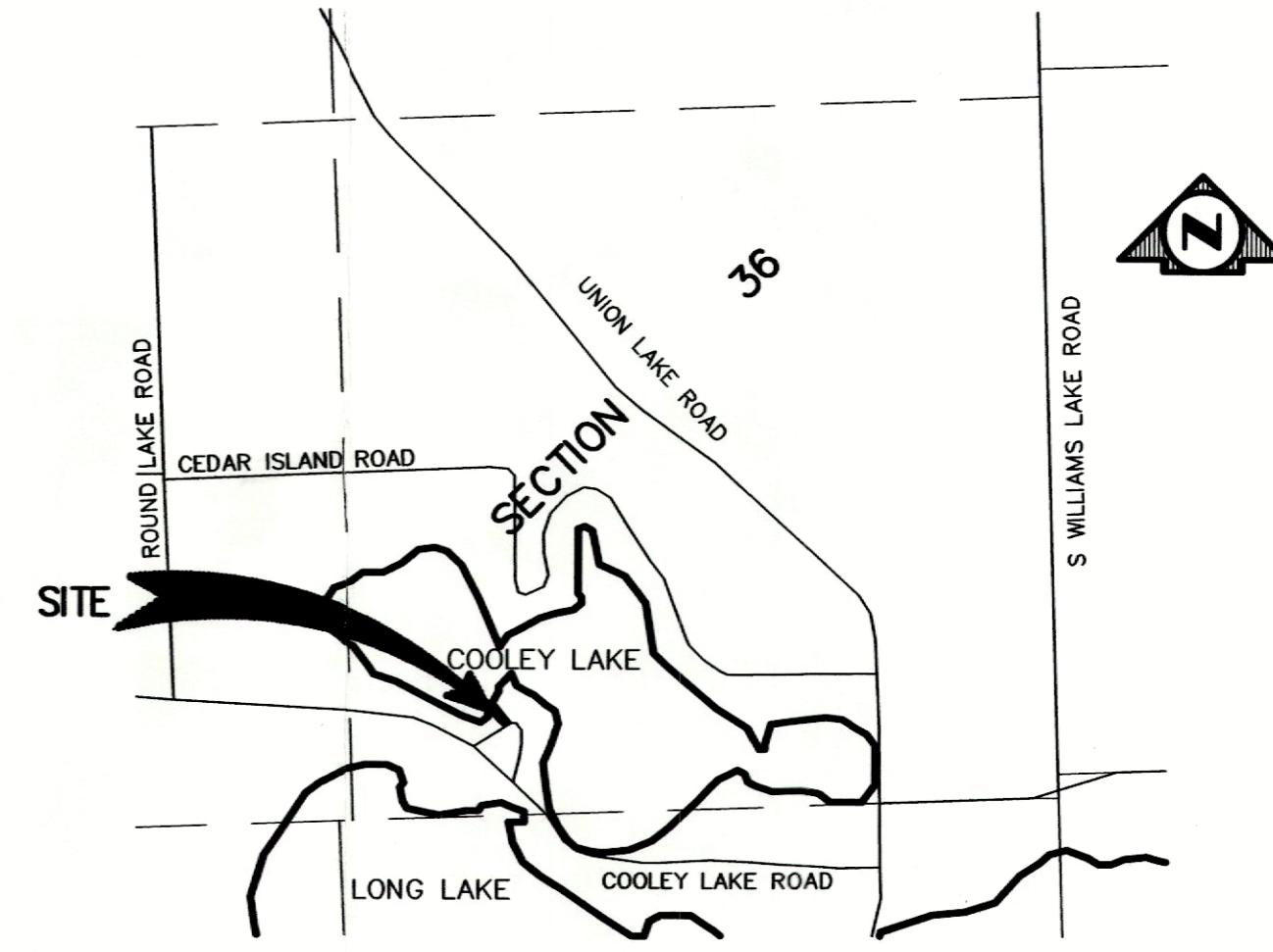
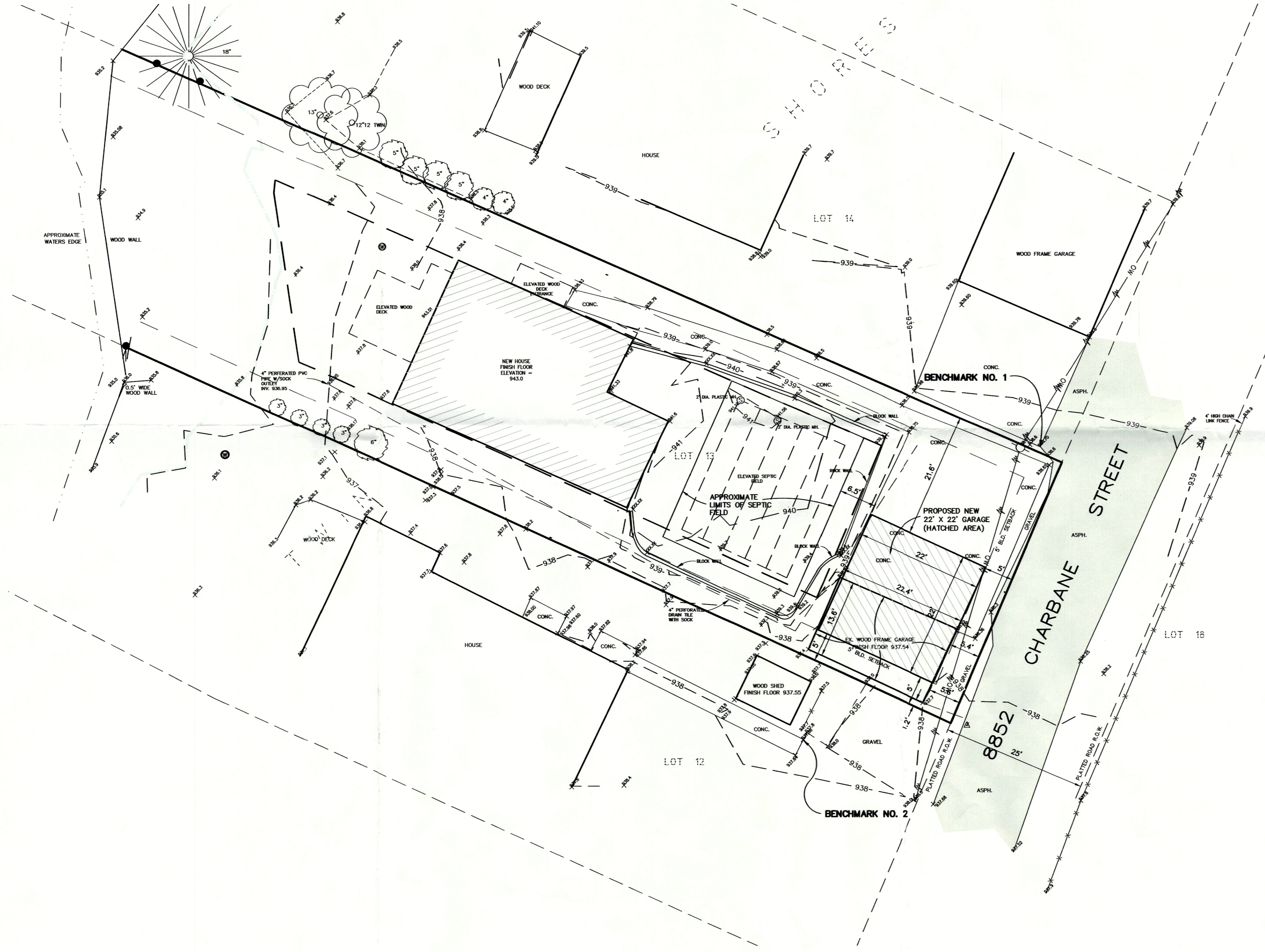
- FOUND IRON
- SET IRON
- FOUND MONUMENT
- SET MONUMENT
- STORM SEWER & MANHOLE
- SANITARY SEWER & MANHOLE
- WATERMAIN, HYDRANT, & GATE VALVE
- GAS MAIN & VALVE
- BURIED TELEPHONE & MANHOLE
- U.G.
- UNDER GROUND ELECTRIC & MANHOLE
- OVERHEAD ELECTRIC POLE & GUY WIRE
- CATCH BASIN (CURB & ROUND)
- CONTOUR LINE
- FENCE
- GUARD RAIL
- WELL
- LIGHT POLE
- METAL POLE
- SIGN
- STREET SIGN
- WALKWAY
- CONCRETE
- ASPHALT

BENCHMARKS

BM #1
SOUTHEAST CORNER OF NORTH NEIGHBOR'S CONCRETE
PARKING SLAB.
ELEV. = 938.67 N.G.V.D. 88

BM #2
NORTHEAST CORNER OF END OF CONCRETE SIDEWALK ON
SOUTH NEIGHBOR'S PROPERTY.
ELEV. = 937.86 N.G.V.D. 88

NOTE: WITH NEW GARAGE THE TOTAL BUILDING AREA WILL BE 1,579 S.F.



LOCATION MAP
NO SCALE



GARAGE SITE PLAN

Revisions
6-11-25 REVISED PER TWP PLANNER

GARAGE SITE PLAN

MARLENE KLIMECKI
RESIDENCE

SECTION 36, WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

F.S.E
Surveying & Engineering
Since 1957

5370 MILLER ROAD, SUITE 13 • SWARTZ CREEK, MI 48473
PHONE: (810) 230-1333 FAX: (810) 230-7844

Date :
4-17-25

Drawn by:
N.C.C.

Designed by:

Sheet No.
1 OF 1

Job No.
27063

RCV'D 11/21/2024

OAKLAND COUNTY TREASURERS CERTIFICATE

This is to certify that there are no delinquent property taxes as of this date owed to our office on this property. No representation is made as to the status of any taxes, tax liens or titles owed to any other entities.

11/21/2024

ROBERT WITTENBERG, County Treasurer
Sec. 135, Act 206, 1893 as amended NH
2023 Not Examined

5.00

133324 Liber 59825 Page 841 Item B.
11/25/2024 8:31:56 AM Receipt #006405500
\$26.00 Misc Recording
\$4.00 Remonumentation
\$5.00 Automation
\$4,149.50 Transfer Tax
PAID RECORDED - Oakland County, MI e-recorded
Lisa Brown, Clerk/Register of Deeds

STATE OF MICHIGAN
Oakland
11/26/2024
000405396



REAL ESTATE TRANSFER TAX
\$530.75 :00
\$3,618.75 :8T
1413868

WARRANTY DEED

File No.: MI-24-1748

Drafted by:

Peter Joelson, Title Solutions Agency, LLC, 41486 Wilcox Road Suite 2, Plymouth, MI 48170

When recorded return to:

Title Solutions Agency, LLC, 41486 Wilcox Road Suite 2 Plymouth, MI 48170

THE GRANTOR, Jim Stanecki, a single person

Whose address is: 8852 Charbane Ave. White Lake, MI 48386

Conveys and Warrants to Marlene C. Klimecki, a single Woman

Whose address is: 17290 Garden Ridge Lane Northville, MI 48168

Legal Description: Land Situated in Township of White Lake, County of Oakland, State of Michigan, known as:

Lot Number 12, TWIN SHORES, as shown in the recorded Plat Map thereof, as recorded in Liber 25 of Plats, Page 18, Oakland County Records.

Tax Parcel No.: 12-36-351-022

Commonly known as: 8852 Charbane Ave. White Lake, MI 48386

For the sum of **FOUR HUNDRED EIGHTY TWO THOUSAND FIVE HUNDRED AND 00/100 Dollars**
(\$482,500.00)

The Grantor grants to the Grantee the right to make (ALL) divisions under section 108 of the land division act, Act 288 of the Public Act of 1967.

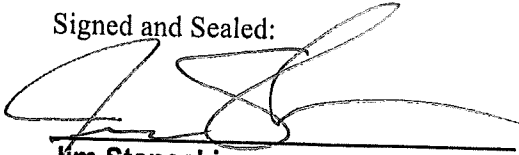
If the land being conveyed is unplatted, the following is deemed to be included: "This property may be located within the vicinity of farmland or farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act."

Subject to easements, reservations and restrictions of record.

Attached to and becoming part of the Warranty Deed, on this November 21, 2024, file # MI-24-1748, between Jim Stanecki, grantor(s) and Marlene C. Klimecki, grantee(s).

Dated: November 21, 2024

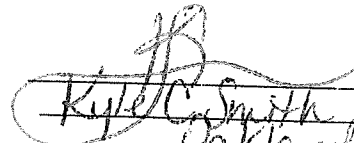
Signed and Sealed:


Jim Stanecki

STATE OF Michigan } ss
COUNTY OF Oakland }

On this **November 21, 2024**, before me personally appeared **Jim Stanecki, a single person** to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that he/she/they executed the same as his/her/their free act and deed.




_____, Notary Public
Oakland County, Michigan
My Commission Expires: 10.12.2030
Acting in: Oakland

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Sean O'Neil, Community Development Director
DATE: July 15, 2025



Agenda item: 8D

Appeal Date: July 24, 2025

Applicant: Micah Swansey

Address: 417 Teggerdine Road
White Lake, MI 48386

Location: 417 Teggerdine Road
White Lake, MI 48386

Zoning: R1-C Single Family Residential

Property Description

The approximately 0.37-acre (16,516 square-foot) parcel identified as Parcel Number 12-22-326-022 is located between Teggerdine Road and Teggerdine Trail, and is zoned R1-C (Single-Family Residential). The property, which is currently occupied by a single-family structure with an attached two-car garage, is served by a private septic and well. This property has a width of 100 feet along its Teggerdine Road frontage and a width of 132.5 feet along its Teggerdine Trail frontage.

Applicant's Proposal

The Applicant is proposing to build a new 30' x 40' pole barn (accessory structure) behind (west of) the primary structure, that would result in a front yard setback (from Teggerdine Trail) of 6.1 feet. According to the survey provided, Teggerdine Trail has a 93-foot-wide right-of-way that puts this parcel's front lot line approximately 24 feet from the traveled portion of Teggerdine Trail.

Planner's Report

The existing lot is irregular in its layout, due to the configuration that results in two front yards opposite one another, but is conforming in both lot size and width. Per Section 3.1.5 of the Zoning Ordinance, the minimum lot size and minimum lot width in the R1-C zoning district are 16,000 square feet and 100 feet, respectively. In this case, as was previously noted, the lot size is approximately 16,516 square feet and 100 feet in width.

The applicant has requested that the Teggerdine Trail front yard be designated as his rear yard, per Section 2.2 of the Zoning Ordinance. And while we do not object, as it pertains to his ability to locate this pole barn as close as 5 feet from a side lot line, we do feel that it is appropriate for a variance request to move forward for consideration of the setback from Teggerdine Trail, which as proposed would be 6.1 feet (approximately 30 feet from the traveled portion of the road). The applicant has also stated that the proposed location of this structure is being driven by the existing grades in this area of the parcel. Please note that this request was published as a variance to Section 3.11.K but could have also been approached as a variance to 3.1.5 as was referenced in the Building Official's denial letter.

The requested variances are listed in the following table:

Variance #	Ordinance Section	Subject	Standard	Requested Variance
1	Section 3.11.K	Minimum Front Yard Setback	35 feet	6.1 feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Micah Swansey from Section 3.11.K of the Zoning Ordinance for Parcel Number 12-22-326-022, identified as 417 Teggerdine Road, in order to build a new accessory structure. A variance from Section 3.11.K is granted to allow for construction of said structure that will encroach 28.9 feet into the required front yard setback (from Teggerdine Trail). This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
2. No mechanical units, including a HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.
3. The proposed structure shall be setback at least five (5) feet from the north property line.
4. A foundation certificate shall be required prior to vertical construction.
5. An as-built survey shall be required to verify the approved setbacks.
6. A driveway permit (for Teggerdine Trail) from RCOC must be obtained prior to the issuance of a building permit.

Denial: I move to deny the variances requested by Micah Swansey for Parcel Number 12-22-326-022, identified as 417 Teggerdine Road, due to the following reason(s):

Postpone: I move to postpone the appeal of Micah Swansey *to a date certain or other triggering mechanism* for Parcel Number 12-22-326-022, identified as 417 Teggerdine Road, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated June 25, 2025.
2. Applicant's explanatory letter.
3. Survey showing proposed plan dated June 25, 2025.
4. Aerial view of the property showing the approximate wellhead location and proposed structure's distance from the traveled portion of Teggerdine Trail.
5. Letter of denial from the Building Official dated June 20, 2025.
6. Building elevations and a floor plan.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A – E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

WHITE LAKE TOWNSHIP



ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION

NAME: Micah Swansey PHONE: 248-843-5409

ADDRESS: 417 Teggerdine Road, White Lake, MI 48386

EMAIL: mswansey@gmail.com

INTEREST IN PROPERTY: ☒ PROPERTY OWNER ☐ BUILDER ☐ OTHER: _____

PROPERTY INFORMATION

ADDRESS: 417 Teggerdine Road, White Lake, MI 48386 ZONING: R1-C

VALUE OF IMPROVEMENT: \$ 25,000 SEV OF EXISTING STRUCTURE: \$ 174,300

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

Please see attached Reasons for Support Request.

APPLICATION FEE: ☒ \$440 ☐ \$550

APPLICANT'S SIGNATURE:  DATE: 25-JUL-2025

Reasons to Support Request:

The current homeowners are requesting approval for the construction of a new accessory building located at 417 Teggerdine Road, White Lake, Michigan, 48386. A building permit was denied by the Township due to the property being bordered by road frontage on the east and west sides of the property; Teggerdine Road to the east and Teggerdine Trail to the west. The letter stated:

This lot contains two front yards. All new structures are required to meet the front yard setback for each roadway. The proposed accessory structure has a front yard setback from the west side road right of way of approximately 6.7 ft., being deficient approximately 28.3 ft.

The current front of the dwelling unit faces to the east with frontage along Teggerdine Road with Teggerdine Trail in the rear of the dwelling unit. Teggerdine Road is the deemed the front property line of the parcel.

Per the definitions section of the Clear Zoning Ordinance, Lot Lines are defined as:

LOT LINES. The property lines bounding the lot

1. Front Lot Line. A Front Lot Line, in the case of a lot abutting upon one public or private street means the line separating such lot from such street right-of-way. In the case of any other lot, the owner shall, for the purpose of this Ordinance, have the privilege of electing any street lot line, the front lot line, providing that such choice, in the opinion of the Director of the Community Development Department, will not be injurious to the existing, or the desirable future development of adjacent properties. In the case of a lake front property, for purpose of this Ordinance, that part of the lot adjoining the street shall be deemed the front lot line.

2. Rear Lot Line. A Rear Lot Line is ordinarily that lot line which is opposite and most distant from the front lot line of the lot (or the street lot line that the owner has elected to designate as the front lot line, in the case of a corner lot). In the case of an irregular, triangular, or gore-shaped lot for the purpose of determining depth of rear yard, a rear lot line shall be considered to be a line ten (10) feet in length entirely within the lot parallel to and at the maximum distance from, the front lot line of the lot. In cases where none of these definitions are applicable, the Director of the Community Development Department shall designate the rear lot line.

Supporting this request, I the property owner, elect to have the front lot line as Teggerdine Road, supported by the front of the dwelling unit facing this direction and the property being addressed on Teggerdine Road.

Per 5.7 of the Clear Zoning Ordinance enacted by White Lake Township the required setbacks for an accessory building are a minimum of five (5) feet from the side lot line and five (5) feet from the rear lot lines, and a minimum of ten (10) feet to any principal structure or building. These setbacks have been met by the proposed site plan.

These definitions would bring the proposed accessory building construction into compliance with the guidelines set forth in Section 5.7 and 3.1.5 of the Clear Zoning Ordinance.

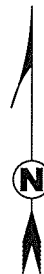
Further supporting this request, neighboring property (435 Teggerdine Road), with the same parcel and frontage conditions, have accessory buildings constructed less than thirty-five (35) feet from the property line along Teggerdine Trail.

A variance is requested defining the rear lot line as the line along Teggerdine Trail to the west, or for an accessory building being constructed less than 35 feet from the line along Teggerdine Trail.

SECTION 22, T3N, R8E, WHITE LAKE TOWNSHIP
OAKLAND COUNTY, MICHIGAN

(M & R) N83° 53'09"W 228.63'-

M & R) N6°06'51"E
(M & R) 50.00'



GRAPHIC SCALE

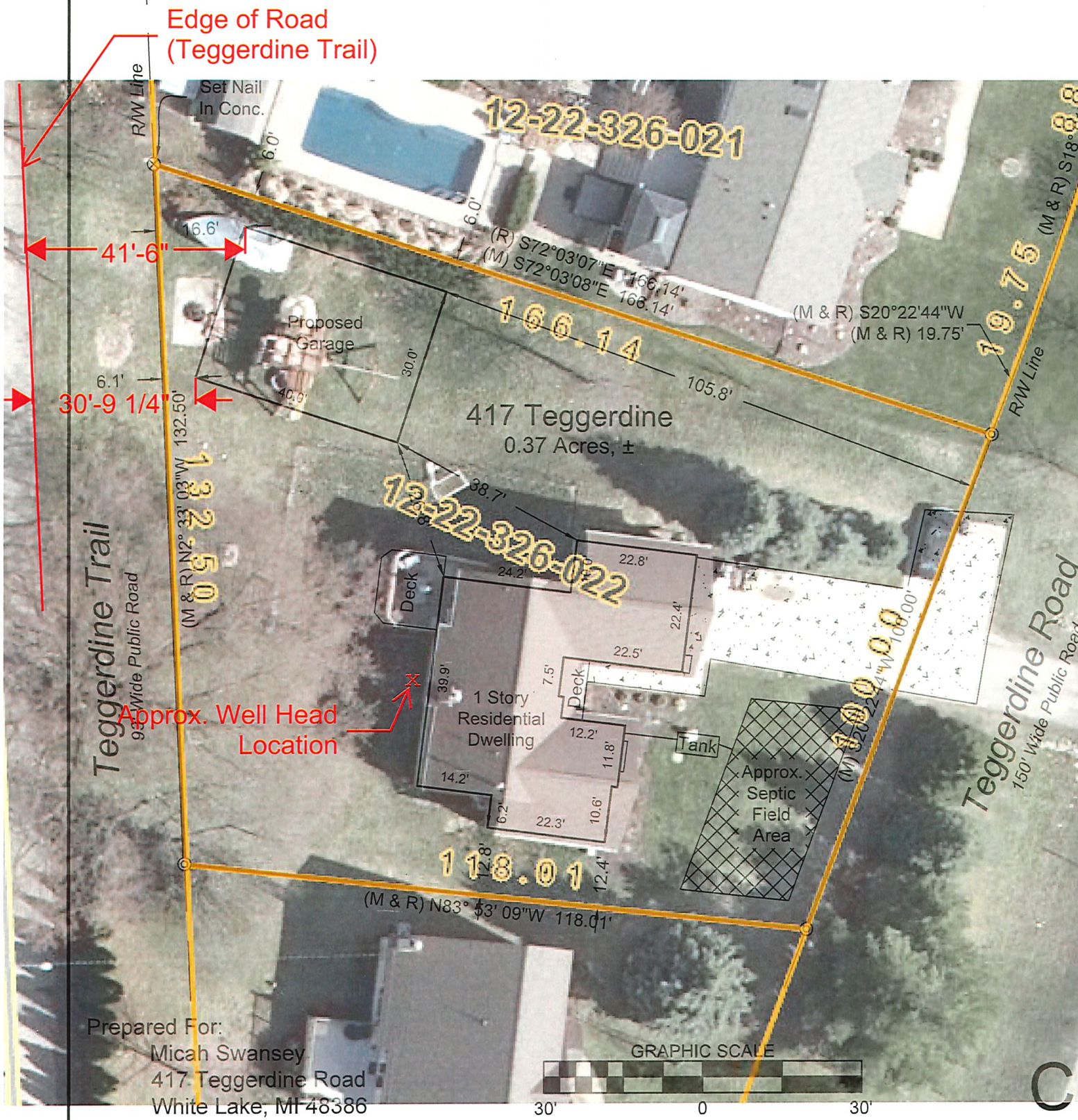
A horizontal scale bar with a central zero point. To the left of zero, there are three segments labeled 30'. To the right of zero, there are three segments labeled 30'. The segments are alternating black and white.

50

Land situated in the Charter Township of White Lake, County of Oakland, and State of Michigan, legally described to-wit:

Part of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 22, T3N, R8E, described as: Beginning at a point located S02°04'11"E, 320.10 feet and N83°53'09"W, 228.63 feet and S06°06'51"W, 50.00 feet and S18°01'17 seconds West, 88.10 feet and S20°22'44"W, 19.75 feet from the center of Section 22; thence S20°22'44"W, 100.00 feet; thence N83°53'09"W, 118.01 feet; thence N2°33'03"W, 132.50 feet; thence S72°03'07"E, 166.14 feet to the point of beginning. Said Parcel contains 0.38 acres, \pm .

Item C.



I, Terry R. Campbell, have surveyed the above mapped and described property and that the Relative Positional Precision of each corner is within the limits accepted by the professional practice of surveying.

LEGEND

- ⊙ FOUND CAPPED IRON
- SET CAPPED IRON
- FOUND IRON OR PIPE
- FOUND CONCRETE MONUMENT
- (R) RECORD (M) MEASURED

Terry R. Campbell
ORIGINAL
OF

Bearing Basis: Deed: Liber 56883, Page 109	
DATE: June 25, 2025	PAGE: Sheet 1 of 1
SCALE: 1" = 30'	REVISED:
DWG NO: S25D14CR	DRAWN BY: TRC
CLIENT: JOB Swansey: S245D14C	CHK:



Campbell Surveying
Engineering, Inc.

8437 Pineview Lake Drive
Linden, Michigan 48451

www.campbellse.com
(989) 390-1189

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Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Steve Anderson
Andrea C. Voorheis
Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

June 20, 2025

Micah Swansey
417 Teggerdine Rd
White Lake, MI 48386

Re: Proposed Accessory Structure

Based on the submitted plans, the proposed building front yard setback does not satisfy the White Lake Township Clear Zoning Ordinance for R1C zoning district.

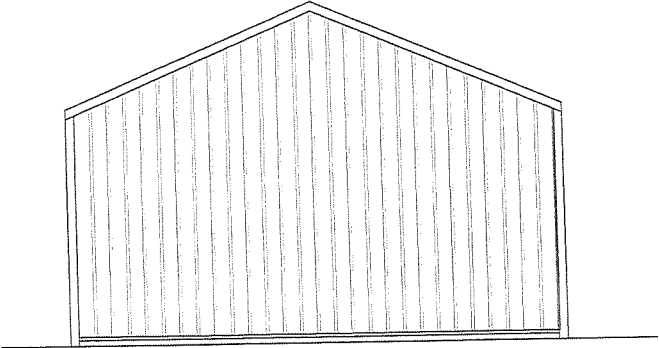
Article 3.1.5 of the White Lake Township Clear Zoning Ordinance: Requires a minimum front yard setback of 35 ft.

This lot contains two front yards. All new structures are required to meet the front yard setback for each roadway. The proposed accessory structure has a front yard setback from the west side road right of way of approximately 6.7 ft., being deficient approximately 28.3 ft.

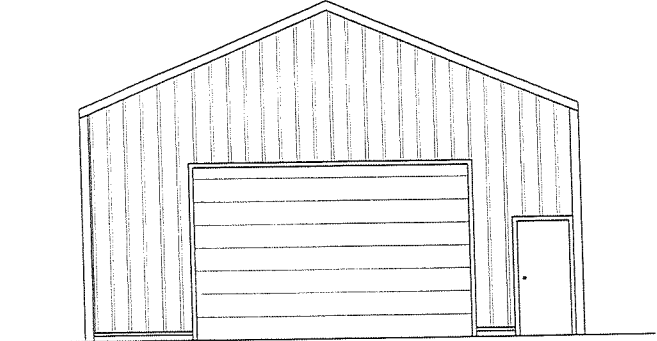
Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the July 24th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than June 26th at 4:30 PM. ***Be advised, the ZBA will require a certified boundary and location survey showing the proposed structure with dimensions.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

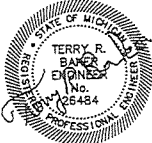


END ELEVATION



END ELEVATION

NOT TO SCALE

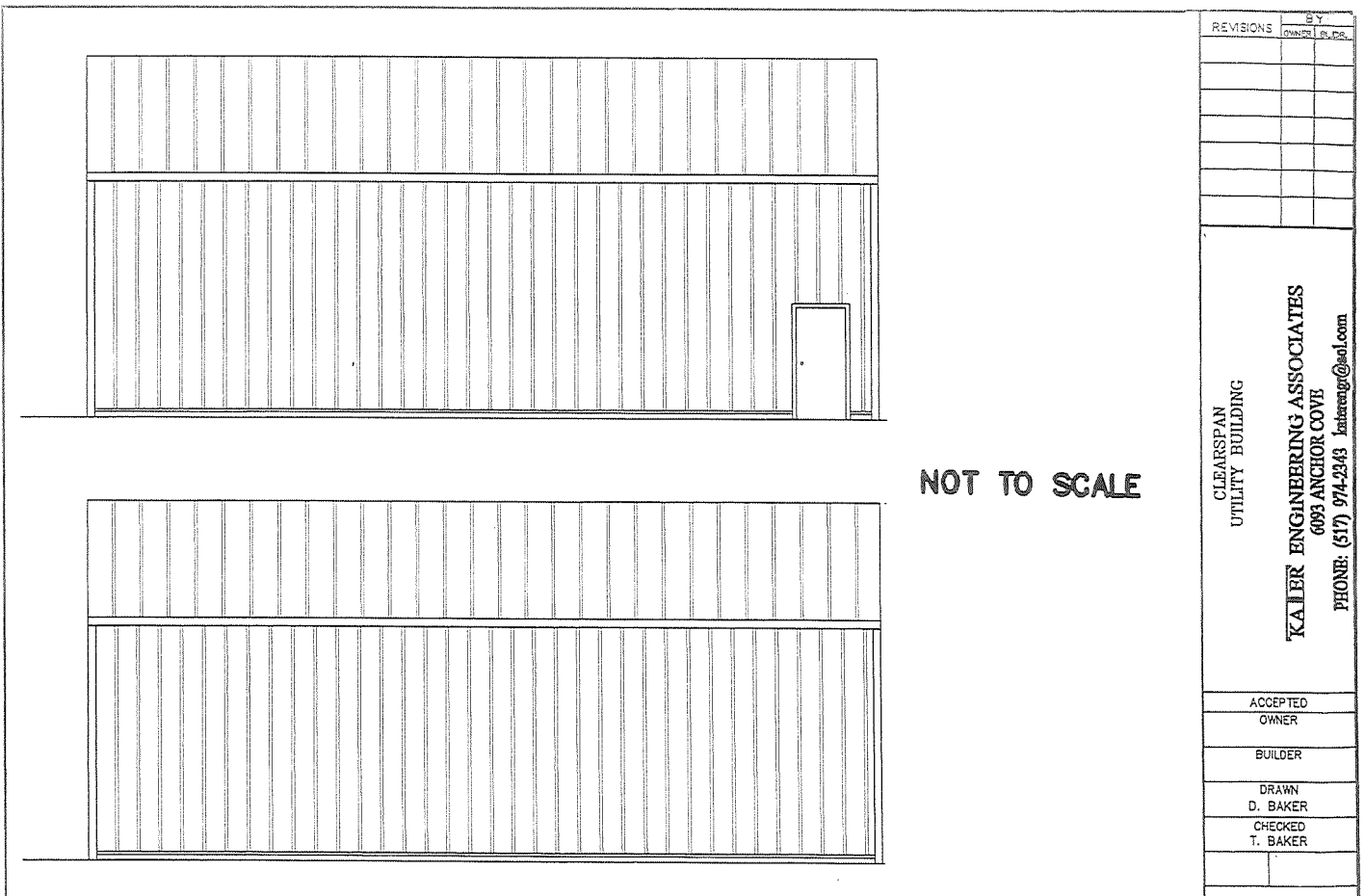


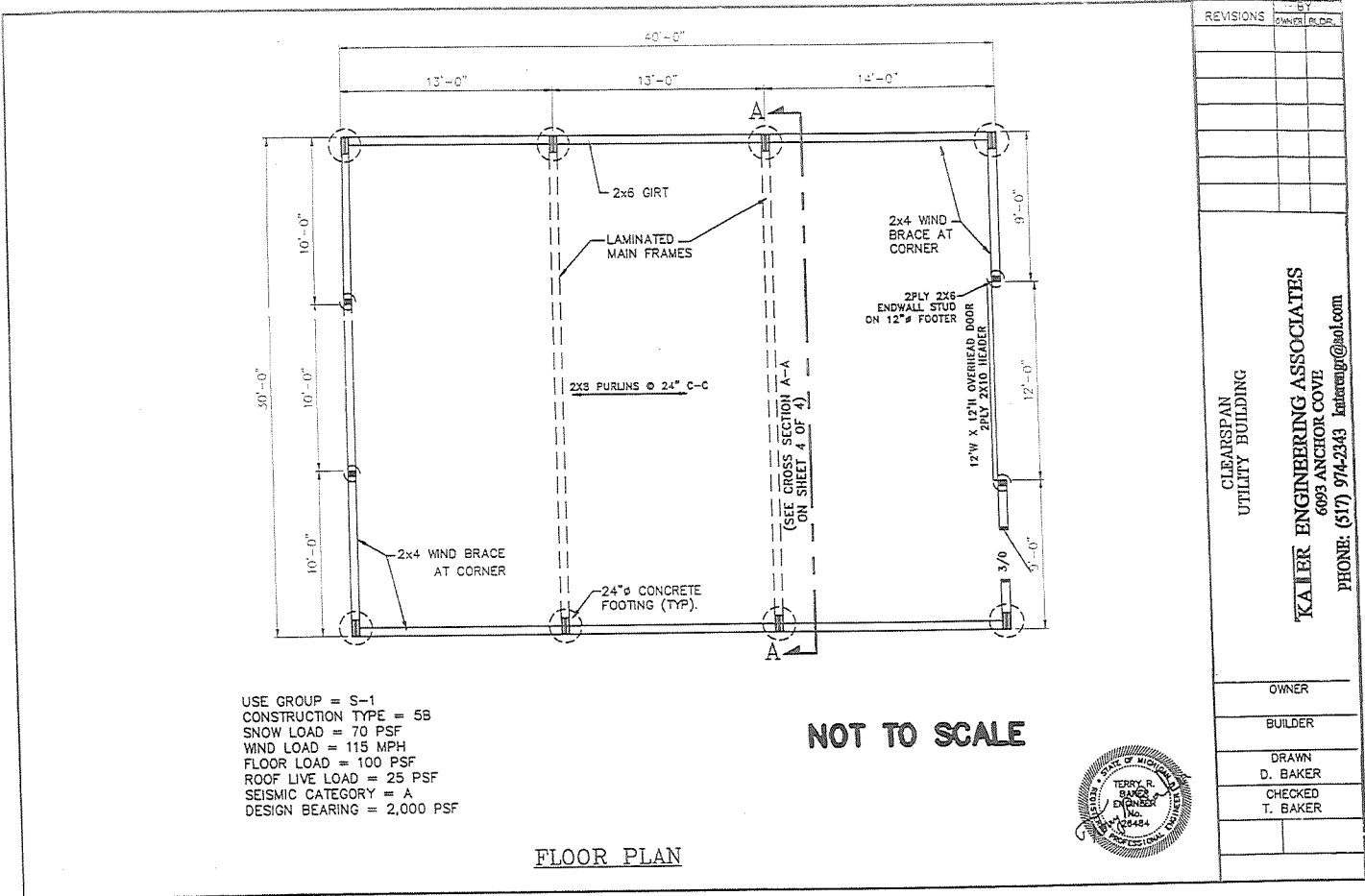
REVISIONS	BY	DATE

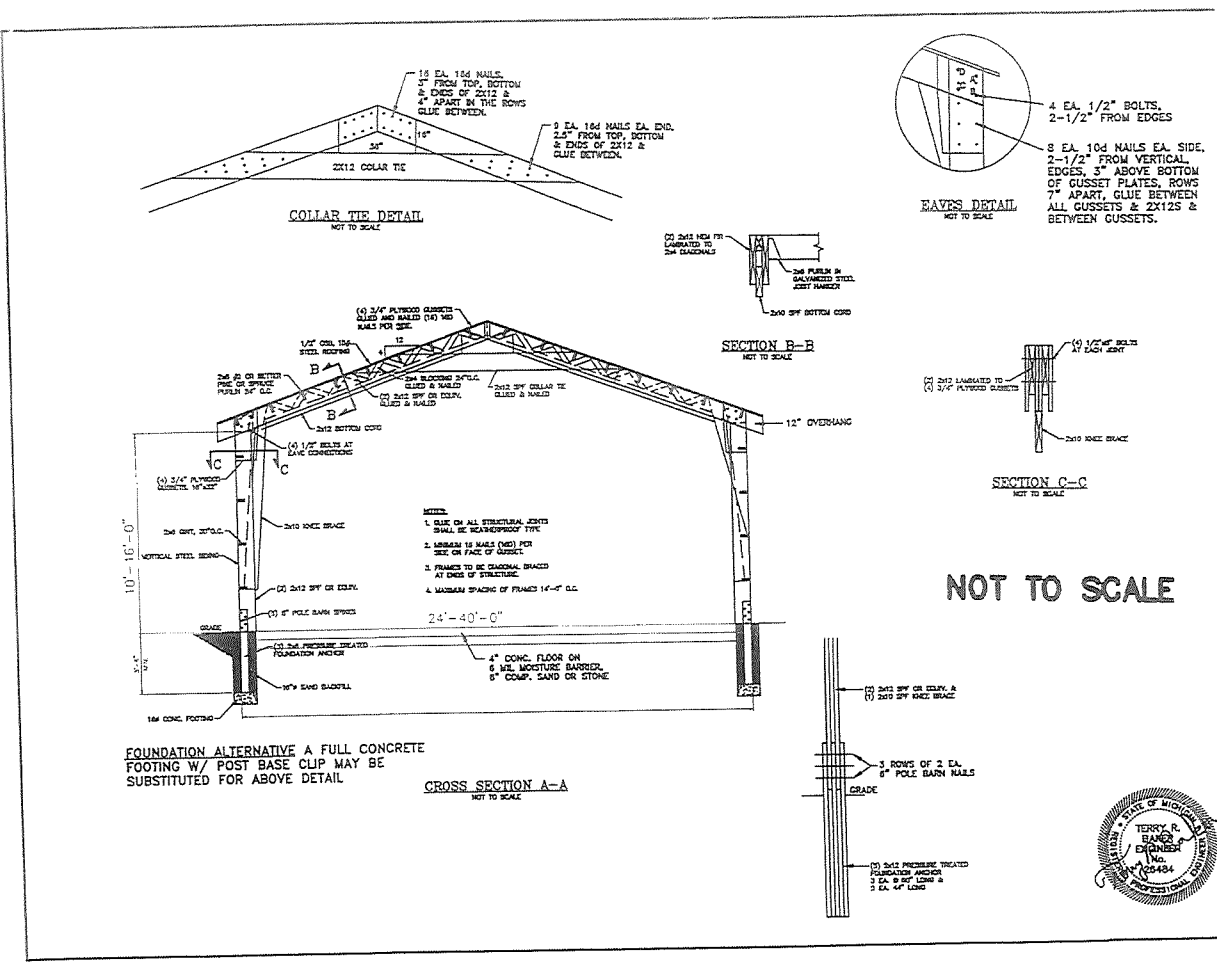
CLEARSPAN
UTILITY BUILDING

KAIER ENGINEERING ASSOCIATES
6093 ANCHOR COVE
PHONE: (517) 974-2343 Intereng@aol.com

ACCEPTED	OWNER
BUILDER	
DRAWN	D. BAKER
CHECKED	T. BAKER







REVISIONS	BY	
	DATE	BLD.
CLEARSPAN UTILITY BUILDING		
TALLER ENGINEERING ASSOCIATES 6093 ANCHOR COVE PHONE: (517) 974-2343 info@teaeng.com		
ACCEPTED		
OWNER		
BUILDER		
DRAWN D. BAKER		
CHECKED T. BAKER		

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Sean O'Neil, Community Development Director
DATE: July 17, 2025



Agenda item: 8C

Appeal Date: July 24, 2025

Applicant: Kit Klekamp

Address: 9708 Mandon Road
White Lake, MI 48486

Location: 9708 Mandon Road
White Lake, MI 48486

Zoning: R1-D Single Family Residential

Property Description

The approximately 0.50-acre (21,760 square-foot) parcel identified as Parcel Number 12-35-126-010 is located within the Cedar Lake Park subdivision and is zoned R1-D (Single Family Residential). The property currently has a single-family residence with a detached two-car garage located on it, as well as a small shed in the rear yard. Additionally, the property is served by a private septic and well (both locations provided by the applicant). This lot has a width of 45 feet along its 9708 Mandon Road frontage.

Applicant's Proposal

The Applicant is proposing to add both first and second story additions to the existing structures. The additions would connect the existing house and garage, on the main level, and would then add a second story along the entire length as well. The additions would have a front yard setback of 27.3 feet and an east side setback of 6.4 feet. The applicant describes that he is seeking variances for his proposed plan because, while he is maintaining the existing setbacks, he is limited in his ability to add onto the house due to the narrow lot size. He also stated that he has a family medical issue that is also factoring into his request.

Planner's Report

The existing lot is legally nonconforming. Per Section 3.1.6 of the Zoning Ordinance, the minimum lot width in the R1-D zoning district is 80 feet. In this case, the lot width is deficient by 35 feet. Please note that while the agenda and publication state that a variance is also needed for lot area, that is not actually the case here as the parcel is nearly double the minimum size required. Section 3.1.6 also calls for both a 30 foot front yard setback and a 10 foot side yard setback, and the proposal is deficient on both, resulting in setbacks of 27.3 feet and 6.4 respectively. Additionally, Section 7.23 ordinance requires that a variance be obtained for enlarging an existing nonconforming structure, which is the current request. Finally, Section 7.27 of the ordinance requires that a variance be obtained for any nonconforming lot where the required setbacks cannot be met, which is the case here, and that was not created by the applicant. It should be noted that, according to the survey provided, the proposed additions will indeed follow the existing front and side yard setbacks of the house and garage, and the proposed deck is not covered and does not require a variance.

The requested variances are listed in the following table:

Variance #	Ordinance Section	Subject	Standard	Requested Variance
1	Section 3.1.6	Minimum Front Yard Setback	30 feet	2.7 feet
2	Section 3.1.6	Minimum Side Yard Setback (East)	10 feet	3.6 feet
3	Section 3.1.6	Minimum Lot Width	80 feet	35 feet
4	Section 7.23	Nonconforming Structures	Cannot be enlarged	Addition of two covered decks onto the lakefront side of the structure
5	Section 7.27	Nonconforming Lots of Record	Only developable if setbacks are met	Developable even if setback requirements are not met

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Kit Klekamp from Section 3.1.6, 7.23, and Section 7.27 of the Zoning Ordinance for Parcel Number 12-35-126-010 identified as 9708 Mandon Road, in order to build both first and second story additions onto the existing structure. Variances from Section 3.1.6 are granted to allow for construction on a lot that is 35 feet less than the minimum lot width required in the R1-D zoning district, and for both front yard and (east) side yards which will result in variances of 2.7 feet and 3.6 feet respectively. Additionally, a variance from Section 7.23 is also granted to allow for the enlargement of a nonconforming structure. Finally, a variance from Section 7.27 of the Zoning Ordinance is also granted to allow for development on a lot that does not meet the minimum Ordinance requirements for lot width. This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division and the Oakland County Health Division.
2. No mechanical units, including a HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.

3. Per Section 5.3, all portions of the proposed structure (including the roof/soffits/gutters) shall be setback a minimum of five (5) feet from the property lines.
4. A foundation certificate shall be required prior to vertical construction.
5. An as-built survey shall be required to verify the approved setbacks.

Denial: I move to deny the variances requested by Kit Klekamp for Parcel Number 12-35-126-010, identified as 9708 Mandon Road due to the following reason(s):

Postpone: I move to postpone the appeal of Kit Klekamp *to a date certain or other triggering mechanism* for Parcel Number 12-35-126-010, identified as 9708 Mandon Road to consider comments stated during this public hearing.

Attachments:

1. Variance application dated May 30, 2025.
2. Applicant's explanatory letter.
3. Survey showing proposed plan dated June 12, 2024, with revisions on July 15, 2025.
4. Floor plans and elevations of the proposed additions.
5. Residential Property Profile from Oakland County Gateway proving ownership.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION

Community Development Department, 7525 Highland Road,
 White Lake, Michigan, 48383
 (248) 698-3300 x5

APPLICANT'S NAME: Kit Klekamp PHONE: 7346582214
 ADDRESS: 9708 Mandon Rd. White lake 48386
 APPLICANT'S EMAIL ADDRESS: HWOLVERINE1@hotmail.com
 APPLICANT'S INTEREST IN PROPERTY: ☒ OWNER ☐ BUILDER ☐ OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 9708 Mandon Rd PARCEL # 12 - 35126010
 CURRENT ZONING: Residential PARCEL SIZE: 0.52 acres

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: Please see attached letter
 VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISITING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$440.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)
 APPLICANT'S SIGNATURE: Kit Klekamp DATE: 5-30-25

PAID 128
☐ CASH CHECK#
MAY 30 2025
 TREASURER
 CHARTER TWP. OF WHITE LAKE

To the building board,

Hello, my name is Kit Klekamp and I'm the owner of the property at 9708 Mandon Rd White Lake, 48386. I'm applying for a variance due to the limited lot size my current home is sitting on, which is only 40ft wide. Due to this small size I cannot stay within the coded 10ft off set on the edges of the property line going east and west. My current home sits approximately 6.4ft from the edge of the boundary. The lot is very thin but quite long and in total is about 0.52 acres.

I've proposed to simply attach the existing house with the existing garage and put and extend the current upstairs to over that addition. I've also proposed to create a new living room and master bedroom off the back of the existing home as well. I will be sticking with the same dimensions width wise as the existing home, just adding on to it length wise.

It was requested that I add as much information and possible. One of the driving factors for the addition is that my Dad was diagnosed with stage 4 cancer and we do not know how long he has left. This new addition will help create a living space for my mother to move in with a "mother in law suite" that will be available for her if the need arises. I do not plan to sell the property at all either and look forward to living in the community.

9708 MANDON RD WHITE LAKE MI 48386-2949

4 beds / 2 full baths / 0 half baths / 1625 sq ft



Residential Property Profile

12-35-126-010

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s)	: KIT KLEKAMP
Postal Address	: 9708 MANDON RD WHITE LAKE MI 48386-2949

Location Information

Site Address	: 9708 MANDON RD WHITE LAKE MI 48386-2949		
PIN	: 12-35-126-010	Neighborhood Code	: 26L
Municipality	: Charter Township of White Lake		
School District	: 63290 WALLED LAKE CONS SCH DIST		
Class Code	: 401 Residential - Improved		

Property Description

T3N, R8E, SEC 35 CEDAR LAKE PARK LOT 10 & W 5 FT OF LOT 11

Most Recent Sale Since 1994

Date	: 04/25/2024		
Amount	: \$533,500	Liber	: 59343:065
Grantor	: BEHAN, BRIAN P	Grantee	: KLEKAMP, KIT

Next Most Recent Sale

Date	: 02/13/2015		
Amount	: \$279,000	Liber	: 47957:624
Grantor	: BUJNOWSKI, GEORGE	Grantee	: BEHAN, BRIAN P

Tax Information

Taxable Value	: \$215,080	State Equalized Value	: \$215,080
Current Assessed Value	: \$215,080	Capped Value	: \$173,650
Effective Date For Taxes	: 07/01/2025	Principal Residence Exemption Type	: N/A
Summer Principal Residence Exemption Percent	: 100%	Winter Principal Residence Exemption Percent	: 100%
2023 Taxes		2024 Taxes	
Summer	: \$3,088.43	Summer	: \$3,275.65
Winter	: \$2,142.17	Winter	: \$2,319.57
Village	:	Village	:

Lot Information

Description	: LEVEL	Area	: 0.519 ACRES
-------------	---------	------	---------------

9708 MANDON RD WHITE LAKE MI 48386-2949



4 beds / 2 full baths / 0 half baths / 1625 sq ft

Residential Property Profile

12-35-126-010

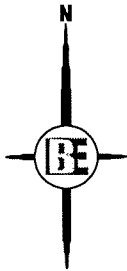
Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Primary Structure			
Structure	: TriLevel/Quad	Living Area	: 1625 SQ FT
Ground Floor	: 1066 SQ FT	Year Built	: 1978
Effective Year	: 1986	Remodel Year	: 0
Stories	: Bi-Level	Rooms	: 4
Bedrooms	: 4	Full Baths	: 2
Half Baths	: 0	Fireplaces	: 1
Ext Walls	: Alum., Vinyl	Basement	: YES - FULL
Garage	: SEPARATE - 2 car (624 SQ FT)	Heat	: Forced Air w/ Ducts
Fuel Type	: Gas	Central Air	: No

Basement Information			
Finish	: UNFINISHED	Area	: 0 SQ FT

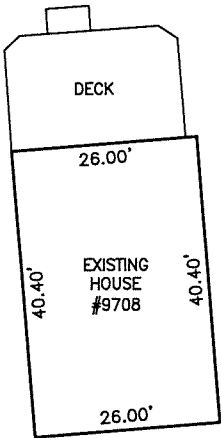
Porch Information		
Type	Area	
CCP (1 Story)	15 SQ FT	
Treated Wood	24 SQ FT	
Treated Wood	407 SQ FT	

BOUNDARY SURVEY



GENERAL SURVEY NOTES:

- 1. BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.
- 2. SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE UTILITY TO ACCURATELY LOCATE SUCH UTILITIES.
- 3. EASEMENTS OR RESTRICTIONS OF RECORD NOT DEPICTED ON THIS DRAWING MAY EXIST.

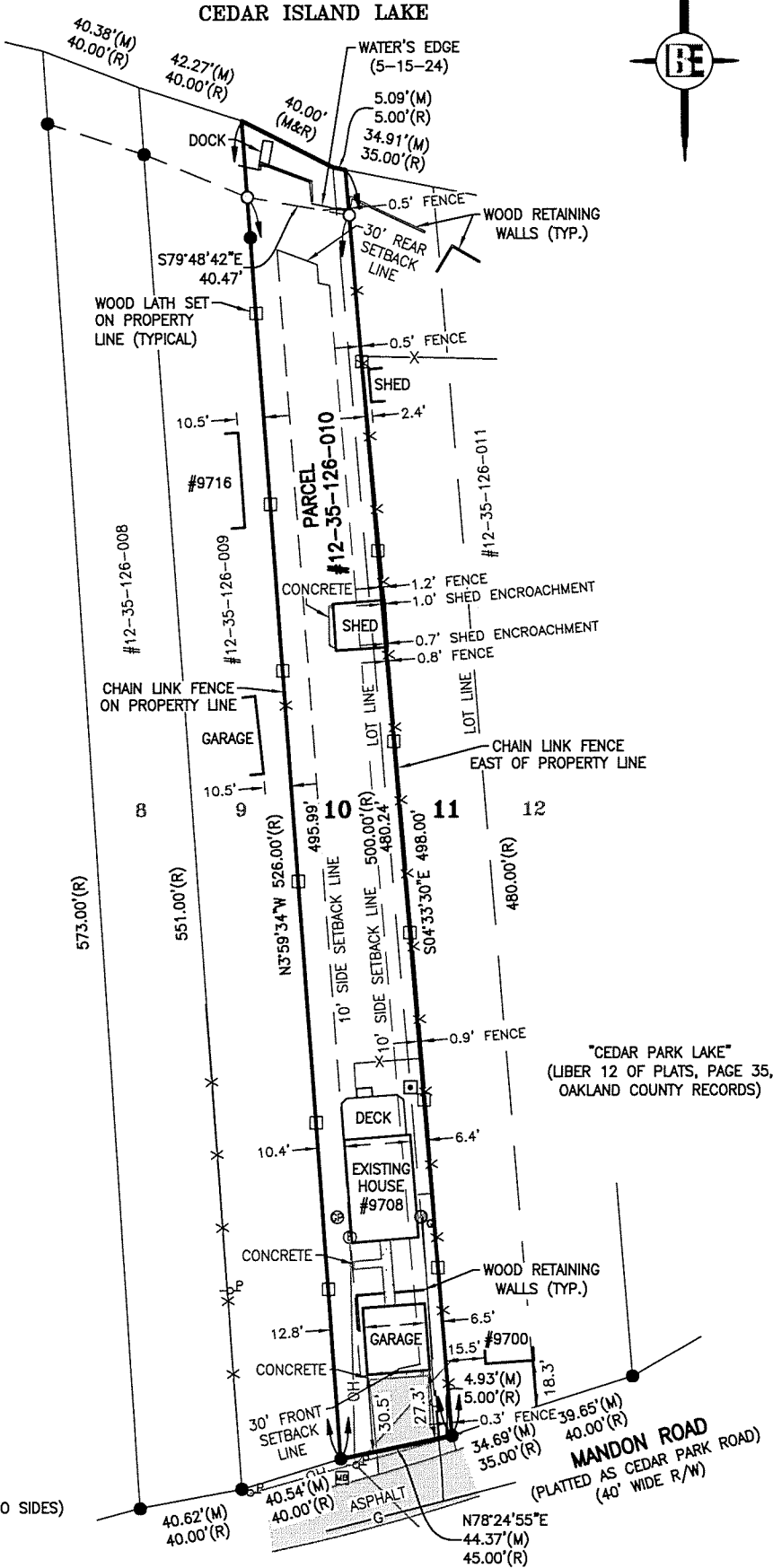


HOUSE DETAIL
SCALE: 1" = 20'

LEGEND

- P- POWER POLE
- ⊙ ELECTRICAL METER
- WELL
- ⊙ GRINDER PUMP
- ⊙ GAS METER
- MB MAILBOX
- G- GAS MAIN
- OH- OVERHEAD WIRES
- X- FENCE

CURRENT ZONING: R1-D (SINGLE FAMILY RESIDENTIAL)
MINIMUM SETBACK REQUIREMENTS:
FRONT = 30 FEET
SIDES = 10 FEET ONE SIDE (20 FEET TOTAL OF TWO SIDES)
REAR = 30 FEET
MINIMUM LOT AREA = 12,000 SQ.FT.±
MINIMUM LOT WIDTH = 80 FEET
MAXIMUM LOT COVERAGE = 20%
MAXIMUM BUILDING HT. = 25 FEET OR (2) STORIES



DESCRIPTION:

LOT 10 & WEST 5 FEET OF LOT 11, "CEDAR LAKE PARK", BEING PART OF THE NEX 1/4 OF SECTION 35, T3N-R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 12 OF PLATS, PAGE 35.

BEBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI 48843
517.546.4836 FAX 517.548.1670

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSESS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

STATE OF MICHIGAN
CHRISTOPHER S. FERGUS
License No. 4001047055
LICENSED PROFESSIONAL SURVEYOR

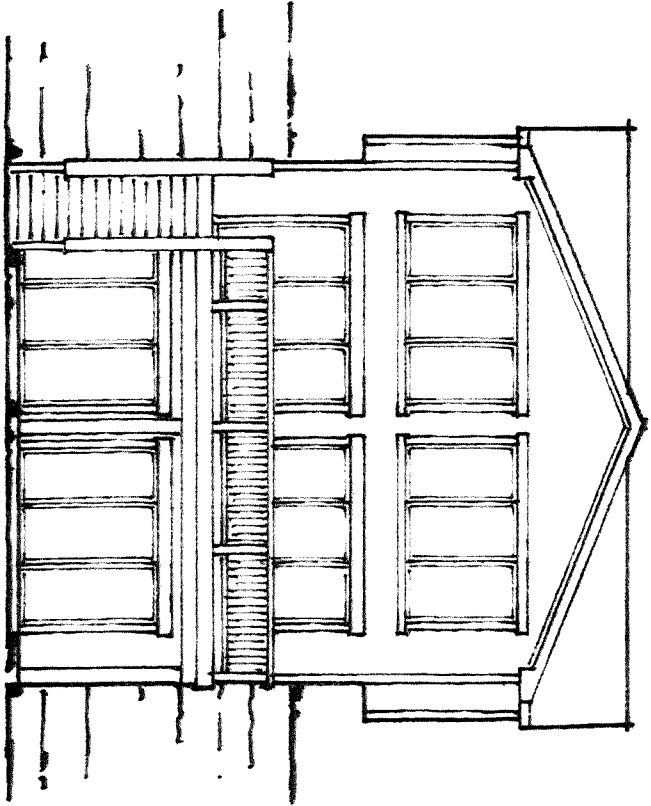
CLIENT:	50 0 25 50	LEGEND
KLEKAMP	SCALE: 1 INCH = 50 FEET	○ = STEEL ROD SET
JOB NO. 24-160	DATE 6-12-24 7-15-25	● = STEEL ROD/PIPE FD
SHEET 1 OF 1	FB 664 CREW TE/PB DR. WRW CHKD.	⊙ = MONUMENT FOUND
G:\24-160\SURVEY\DWG\24-160.dwg, 7/15/2025 2:58:50 PM, andy		-X- = FENCE
		(R) = RECORDED
		(M) = MEASURED

3 WORKING DAYS
BEFORE YOU
CALL MISS DIG
1-800-482-7171
FOR THE LOCATION OF UNDERGROUND FACILITIES

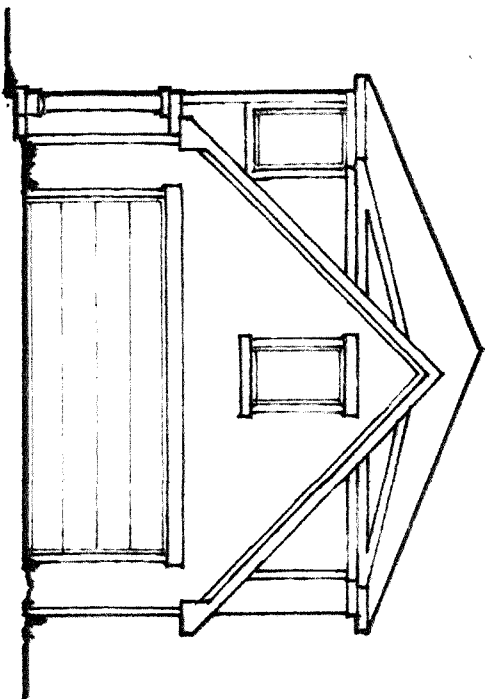


THE KLEKAMP RESIDEN
PROPOSED PLANS
5-30-2025
PHASE 1
VERSION 1
PHASE 2 APPROXIMATE 60 DAYS ONCE APPROVED

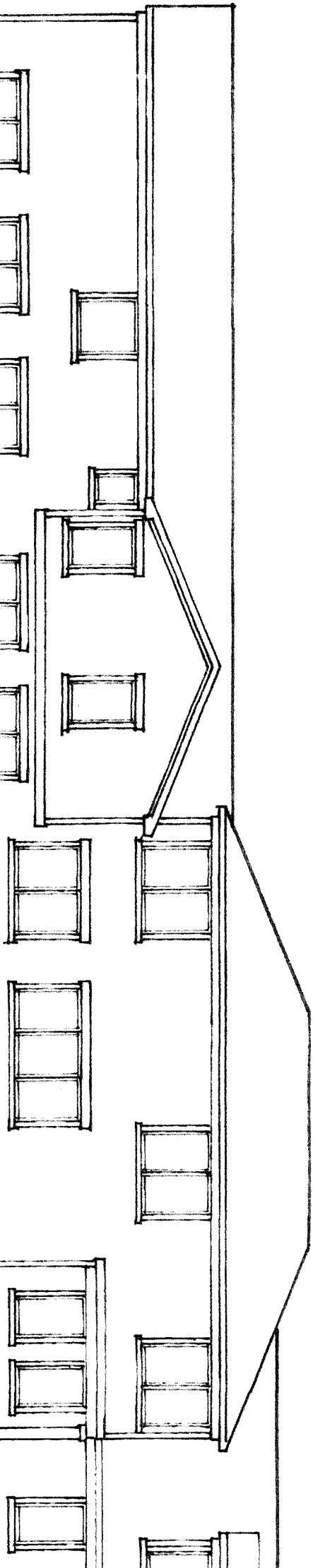




"LAKESIDE ELEVATION"



"STREETSIDE ELEVATION"



WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Sean O'Neil, Community Development Director
DATE: July 16, 2025

Agenda item: 8E

Appeal Date: July 24, 2025

Applicant: Brett Meyer

Address: 9507 Mandon Road
White Lake, MI 48386

Location: 9507 Mandon Road
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Property Description

The approximately 0.19-acre (8,266 square-foot) parcel, identified as Parcel Number 12-35-129-037, is located in the Cedar Lake Park subdivision and is zoned R1-D (Single-Family Residential). The property is currently occupied by a one-story, single-family structure, and a small shed. The house is served by a private septic and well. This property has a width of 80 feet along its Mandon Road frontage and a width of approximately 80 feet along its Mandon Lake frontage. It should be noted that, per the attached survey, a portion of the subject parcel, along the east property line, has a maintenance and ingress/egress easement over it, for the benefit of the neighbor at 9501 Mandon, which has significant encroachments. Additionally, the survey shows that the current location of the travelled portion of Mandon Road falls partially outside of the platted road location, which results in this structure being located further away from the road surface (approximately 35 feet).

Applicant's Proposal

The Applicant is proposing to build a second story addition onto the primary structure, that would not expand the existing building footprint, therefore causing no further encroachment into the existing setbacks, which are nonconforming on both the front yard and east side yard. The current front yard setback (from Mandon Road) of 14.4 feet would be maintained as would the current side yard setback (on the east side) of 9.6 feet. The plans are included for your review.

Planner's Report

The existing structure is nonconforming with regard to the front and (east) side yard setbacks, but the applicant is not proposing an addition to the footprint. Instead, he is adding a second story addition which will increase the cubic content of the structure, but not the existing deficiencies with regard to the setbacks.

The requested variances are listed in the following table:

Variance #	Ordinance Section	Subject	Standard	Requested Variance
1	Section 3.1.6	Minimum Front Yard Setback	30 feet	15.6 feet
2	Section 3.1.6	Minimum Side Yard Setback	10	0.4 feet
3	Section 7.23	Nonconforming Structures	Cannot be enlarged	Addition of second story over existing structure

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Brett Meyer from Section 7.23 of the Zoning Ordinance for Parcel Number 12-35-129-037, identified as 9507 Mandon Road in order to build a second story on an existing one-story, nonconforming structure. Variances from Section 3.1.6 are also granted to allow for construction of said addition that will have encroachments, which are existing, of 15.6 feet into the required front yard setback and 0.4 feet into the side yard setback. This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the Oakland County Health Division prior to the issuance of a building permit.
2. The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
3. No mechanical units, including a HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.

Denial: I move to deny the variances requested by Brett Meyer for Parcel Number 12-35-129-037, identified as 9507 Mandon Road, due to the following reason(s):

Postpone: I move to postpone the appeal of Brett Meyer *to a date certain or other triggering mechanism* for Parcel Number 12-35-129-037, identified as 9507 Mandon Road to consider comments stated during this public hearing.

Attachments:

1. Variance application dated June 25, 2025, which includes the applicant's reasons to support his request.
2. Survey showing the existing conditions dated July 8, 2024.
3. Letter of denial from the Building Official dated June 25, 2025.
4. Building elevations and a floor plan dated December 16, 2024.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

WHITE LAKE TOWNSHIP



ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION

NAME: Brett Meyer PHONE: (248) 444-6870
 ADDRESS: 9507 Mardon Rd. White Lake, MI 48386
 EMAIL: bmeyerfilms@gmail.com
 INTEREST IN PROPERTY: ☒ PROPERTY OWNER ☐ BUILDER ☐ OTHER: _____

PROPERTY INFORMATION

ADDRESS: 9507 Mardon Rd. White Lake, MI 48386 ZONING: R1-D
 VALUE OF IMPROVEMENT: \$ 140,000 SEV OF EXISTING STRUCTURE: \$ 144,420

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

Requesting 0.4 ft setback variance on E. side of home + 15.6 ft. variance on N. side of home to build 2nd story addition to existing home. P/c of article 31.6 I can't add onto my home for more space - to add value.
Practical difficulties include E. side adjacent home on my land, and all the homes in immediate area weren't built following appropriate property lines. My home + others also built too close to road. Many pre-existing other neighbors in immediate vicinity have homes within setbacks + several were granted ability to build forward + have done so.
Also, the location of my septic tank makes it so I can't build outward towards the west side of the property.

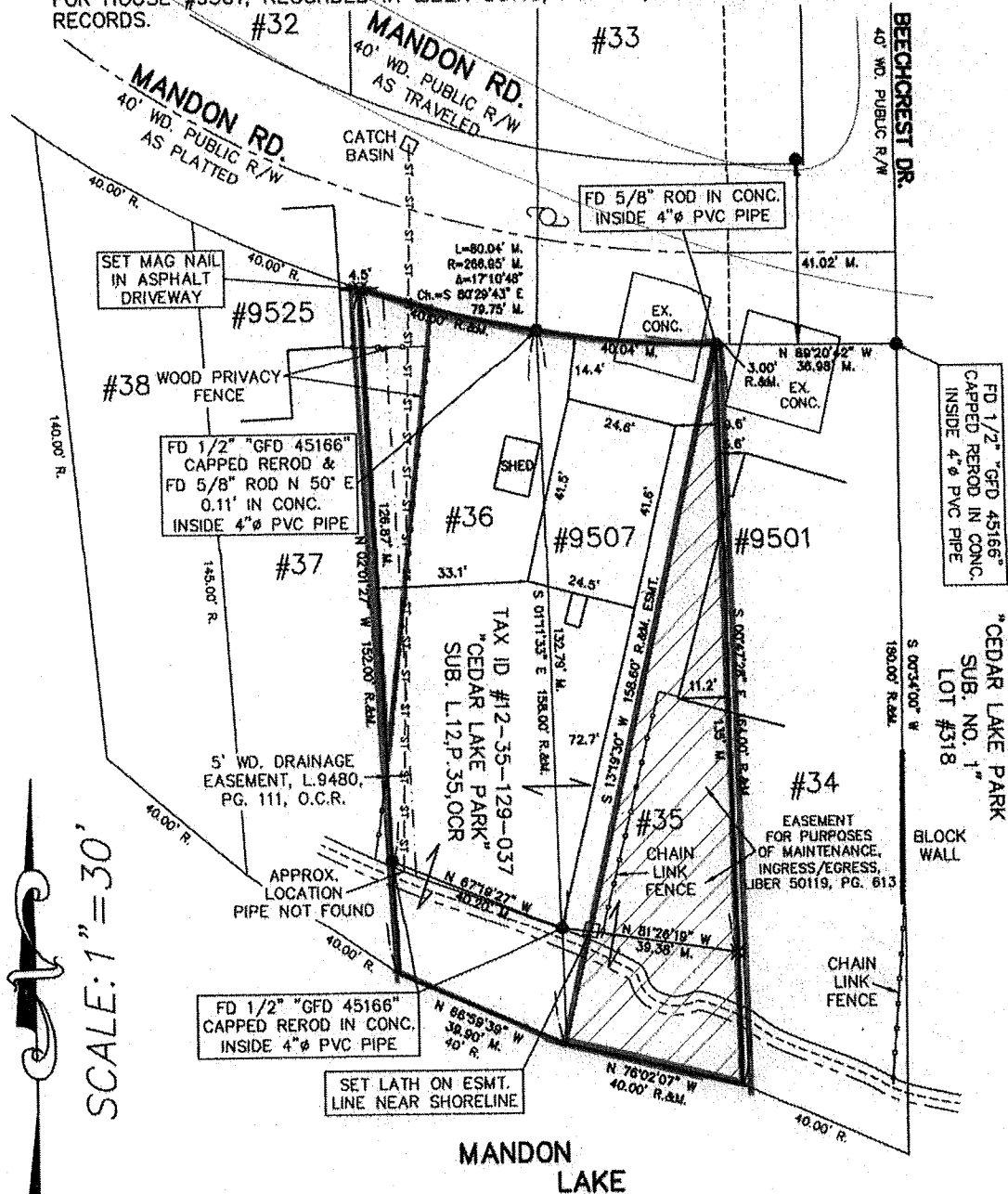
APPLICATION FEE: ☒ \$440 ☐ \$550

APPLICANT'S SIGNATURE: [Signature]

DATE: 6/25/25

BOUNDARY RETRACEMENT

LEGAL DESCRIPTION: LOTS #35 & 36 OF "CEDAR LAKE PARK", A SUBDIVISION OF E 1/2, NW 1/4, SEC. 35, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS, PAGE 35, OAKLAND COUNTY RECORDS, SUBJECT TO A STORM DRAINAGE EASEMENT OVER THE WEST 5' OF LOT #36 AND ALSO SUBJECT TO A MAINTENANCE, INGRESS/EGRESS EASEMENT FOR HOUSE #9501, RECORDED IN LIBER 50119, PG. 613, OAKLAND COUNTY RECORDS.



SCALE: 1"=30'

Copyright © B.F. THOMPSON, P.C.

BASIS OF BEARING: EAST LINE OF "CEDAR LAKE PARK" = S 00°34' W PER PLAT AND SURVEY BY GERALD DESLOOVER, PS #4001045166, JOB #13103, DATED 1-22-13

NTS= Not to Scale (R)=Recorded (M)=Measured (C)=Calculated ●=Found Iron ✕=Set Iron *--*=Fence

TAX I.D. # 12-35-129-037

CERTIFIED EXCLUSIVELY TO: MR. BRETT L. & JOSEPH E. MEYER

LOCATION: NW 1/4, SEC. 35, T.3N., R.6E., WHITE LAKE TWP., OAKLAND CO.

SCALE: 1"=30' DATE: 7-8-24 BY: NDT JOB# 24-4478 SH. 1 of 1

I hereby certify that I have surveyed the above described property and that the relative positional precision of the corners identified for this survey and shown on the map are within the limits accepted by the practice of professional surveying and that all the requirements for 1970 PA 132, MCL 54.213 have been met.

When recorded return to:
B.F. Thompson, P.C.

Brad F. Thompson, P.S. #4001023828

B.F. THOMPSON, P.C. Registered Professional Engineer & Land Surveyor
517/ 548-3142 1520 Gully Road, Howell, Michigan 48843

Email: bftthompsonpc@outlook.com



Rik Kowall, Supervisor
 Anthony L. Noble, Clerk
 Mike Roman, Treasurer



Trustees
 Scott Ruggles
 Steve Anderson
 Andrea C. Voorheis
 Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

June 25, 2025

Brett Meyer
 9507 Mandon Rd
 White Lake, MI 48386

Re: Proposed 2nd Story Addition

Based on the submitted plans, the proposed 2nd story addition does not satisfy the White Lake Township Clear Zoning Ordinance.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance for R1-D requires: Minimum side yard setback of 10 feet each side and minimum front yard setback of 30 ft

Article 7.23(A) of the White Lake Township Clear Zoning Ordinance: No such nonconforming structure may be enlarged or altered in a way which increases its nonconformity.

Based on the survey and plans submitted, the existing structures and lot are non-conforming, where the lot contains a portion of a residential structure from an adjacent property. Based on the *Boundary Retracement* survey, the existing residential structure has a 9.6 ft. side yard setback on the east side and a front yard setback of 14.4 ft. The proposed 2nd story addition would increase these non-conformities by adding living space within the required 10 ft. side yard setback and 30 ft front yard setback. It should be noted that while the *Reservation of Easement* from October of 2016 has been recorded with the County, the *Boundary Retracement* survey has not, and it appears the County does not recognize the adjusted boundary lines.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the July 24th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than June 26th at 4:30 PM. ***Be advised, the ZBA will require a certified boundary and location survey showing the proposed addition with dimensions as well as the location of the septic tank, septic field, and well.*** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
 White Lake Township

Home Addition

Location:
9507 Mandon Rd.
White Lake, MI 48386

Owner: Brett Meyer
Property class: Residential

DARY
Design
Studio

ARCHITECT
www.DARYStudio.com

3523 Meadow Grove TRL.
Ann Arbor, MI 48108
Ph: 734.369.4273
george@DARYstudio.com



6/4/2025

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GENERAL NOTES

- For any items not explicitly shown on plans, Contractor shall meet all applicable codes, laws, and regulations as directed by Building Official. Contact Designer if in doubt about any requirements. Contractor shall notify the Designer before proceeding if anything shown is identified (by Contractor, Owner, Building Official, etc.) as being not in conformance with an applicable requirement, or if any change to be in conformance will impose additional costs.
- Project Scope:** Home Addition
- Colors, finishes and materials to be selected by owner
- Perform demolition as shown and as required. Patch finishes where required by demolition.
- Verify all existing conditions in field. Notify Designer of discrepancies before proceeding with construction.
- Do not scale drawings.
- Construction Site Safety:* Site safety is the sole responsibility of the Contractor. Unless noted otherwise, dimensions are to face of finish or face of masonry.
- Contact MISS DIG, 1-800-482-7171, to have existing utilities located prior to performing any excavation on the site.
- It is the contractor's responsibility to provide adequate shoring and bracing during construction to account for all forces, including but not limited to: forces from gravity, earth, wind, and unbalanced forces due to construction sequence.
- Mechanical and electrical systems shall be design-build by their respective contractors. Contractors shall obtain sealed engineering drawings where required by municipality. Field verify all existing conditions, and modify and/or supplement as required by new plan.
- Work shall conform to all applicable codes and ordinances, including but not limited to: building, plumbing, electrical, and mechanical codes.
- Any errors, omissions, or conflicts found within these drawings shall be brought to the attention of the owner or their representative before proceeding with the work.
- Do not scale these drawings. written dimensions take precedence over measurements.
- Dimensions are taken from face of framing lumber, face of concrete/ masonry, center of column, and centerline of fixture, unless noted otherwise.
- All dimensions noted "verify in field (v.i.f.)" shall be measured by the contractor prior to construction. report any discrepancies to the owner or their representative.
- Details shown are typical. similar details apply in similar situations.
- In the case of discrepancies within descriptions of similar items, precedence shall be given to notes & drawings of greater detail.
- All required exits shall be operable from the inside, without the use of a key or any special knowledge.
- Any electrical, plumbing and/or hvac systems included in the work shall be installed on a design-build basis, and shall not significantly alter the structure or finishes.

CONSTRUCTION NOTES

- All construction shall be true, plumb, level, square, and in proper alignment.
- The general contractor shall maintain a current and complete set of drawings on the job site during all phases of construction. all subcontractors shall be provided with a set of drawings.
- The general contractor shall verify and assume responsibility for all dimensions and site conditions, as well as inspect the premises and take note of existing conditions prior to submitting prices. no claim shall be allowed for problems which could have been reasonably prevented by a thorough examination.
- Provide temporary support as necessary to ensure the structural integrity of the building under construction. the general contractor is responsible for all construction-related activities.
- Install fixtures, materials, and equipment according to manufacturers specifications. should those specs conflict with the drawings, immediately notify the owner or the owner's representative.
- Verify clearances for fixtures, vents, chases, etc. before ordering or installing related work items.
- Install smoke detectors and fire extinguishers in conformance to local fire Marshall requirements.
- All required exits shall be operable from the inside, without the use of a key or any special knowledge.
- Coordinate all work with existing conditions, including but not limited to: irrigation pipes, electrical conduits, water lines, gas lines, and drainage lines.
- The general contractor shall be responsible for regularly removing the waste materials of all subcontractors, and maintain strict control over job cleaning to prevent dust and rubbish from interfering with operations.
- Construction equipment noise shall be minimized during the construction phases by muffling and shielding impact tools whenever possible.

CODE SUMMARY

2021 Michigan Rehabilitation Code For Existing Buildings.
2021 Michigan Mechanical Code
2023 National Electrical Code (NEC)
2021 Michigan Plumbing Code

Snow load on ground: 30 LB/SF
Wind speed: 115 mph

SHEET INDEX

C-1 : Cover & Notes
A-1 : Floor Plans
A-2 : Roof, Framing & Elec. Plans
A-3 : Elevations
A-4 : Sections ,Details & Wall Section
A-5 : Deck & Stair Details

SCOPE OF WORK

- Modify Bathroom area in first floor.
- Add Stairs in Mechanical room.
- Add a Second Floor.
- Add 2nd Floor Porch & Stairs.

Home Addition
9507 Mandon Rd.
White Lake, MI 48386

PROJECT NUMBER:
640924

OWNER INFO:

Name: Brett Meyer
Phone NO: 000-0000-0000

Cover & Notes

REVISIONS:

NO	DATE
----	------

DRAWN BY: MA

Sheet No.:

C-1

DATE
12.16.2024



6/4/2025

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Home Addition
9507 Mandon Rd.
White Lake, MI 48386

PROJECT NUMBER:
640924

OWNER INFO:

Name: Brett Meyer
Phone NO: 000-0000-0000

Floor Plans

REVISIONS:

NO	DATE

DRAWN BY: MA

Sheet No.:

A-1



DATE
12.16.2024

ARCHITECTURAL LEGEND

NOTE: SEE PLANS FOR WALL THICKNESSES

	NEW EXTERIOR OR INTERIOR 2X6 STUD / SEE TYP. WALL SECTION, INSULATED W/ R-20 ON EXTERIOR WALL
	NEW INTERIOR WALL, WOOD STUDS (2x4 OR AS NOTED) @ 16" O.C. W/ 1/2" DRYWALL
	FOOTING
	2X4 STUDS @ 16" O.C. STRUCTURAL WALL
	CMU / FOUNDATION WALL
	DEMOLITION LINE
	EXISTING WALL TO REMAIN

Door Schedule

Mark	Width	Height
D-01	2' - 4"	6' - 8"
D-02	2' - 8"	6' - 8"
D-03	2' - 6"	6' - 8"
D-04	2' - 0"	6' - 8"
D-05	2' - 6"	6' - 8"
D-07	4' - 0"	6' - 8"
D-08	2' - 8"	6' - 8"
D-09	3' - 0"	6' - 8"

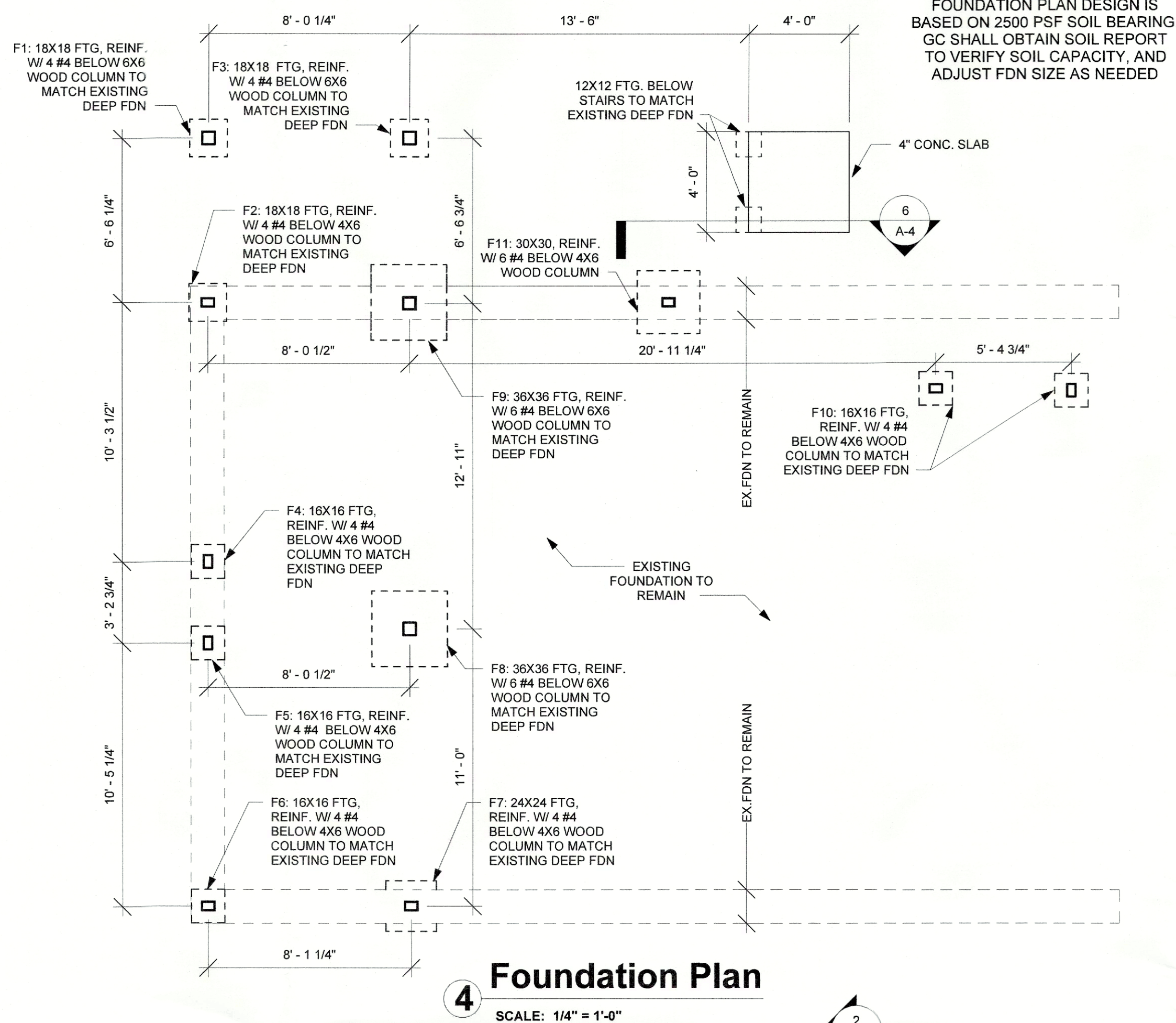
Window Schedule

Mark	Width	Height	Sill Height	Head Height
W-01	2' - 0"	4' - 0"	2' - 8"	6' - 8"
W-02	2' - 0"	3' - 0"	3' - 8"	6' - 8"
W-03	4' - 0"	5' - 0"	1' - 8"	6' - 8"
W-04	4' - 0"	5' - 0"	1' - 8"	6' - 8"
W-05	4' - 0"	5' - 0"	1' - 8"	6' - 8"
W-06	4' - 0"	5' - 0"	1' - 8"	6' - 8"
W-07	5' - 0"	5' - 0"	1' - 8"	6' - 8"
W-08	5' - 0"	5' - 0"	1' - 8"	6' - 8"
W-09	4' - 0"	5' - 0"	1' - 8"	6' - 8"
W-10	4' - 0"	5' - 0"	1' - 8"	6' - 8"
W-11	3' - 0"	5' - 0"	1' - 8"	6' - 8"
W-12	3' - 0"	5' - 0"	1' - 8"	6' - 8"
W-13	3' - 0"	5' - 0"	1' - 8"	6' - 8"

NOTE: ALL OPENINGS MUST BE CONFIRMED BY OWNER, EGRESS OPENINGS SHALL MEET THE CODE IF OWNER CHANGED THE STYLE.

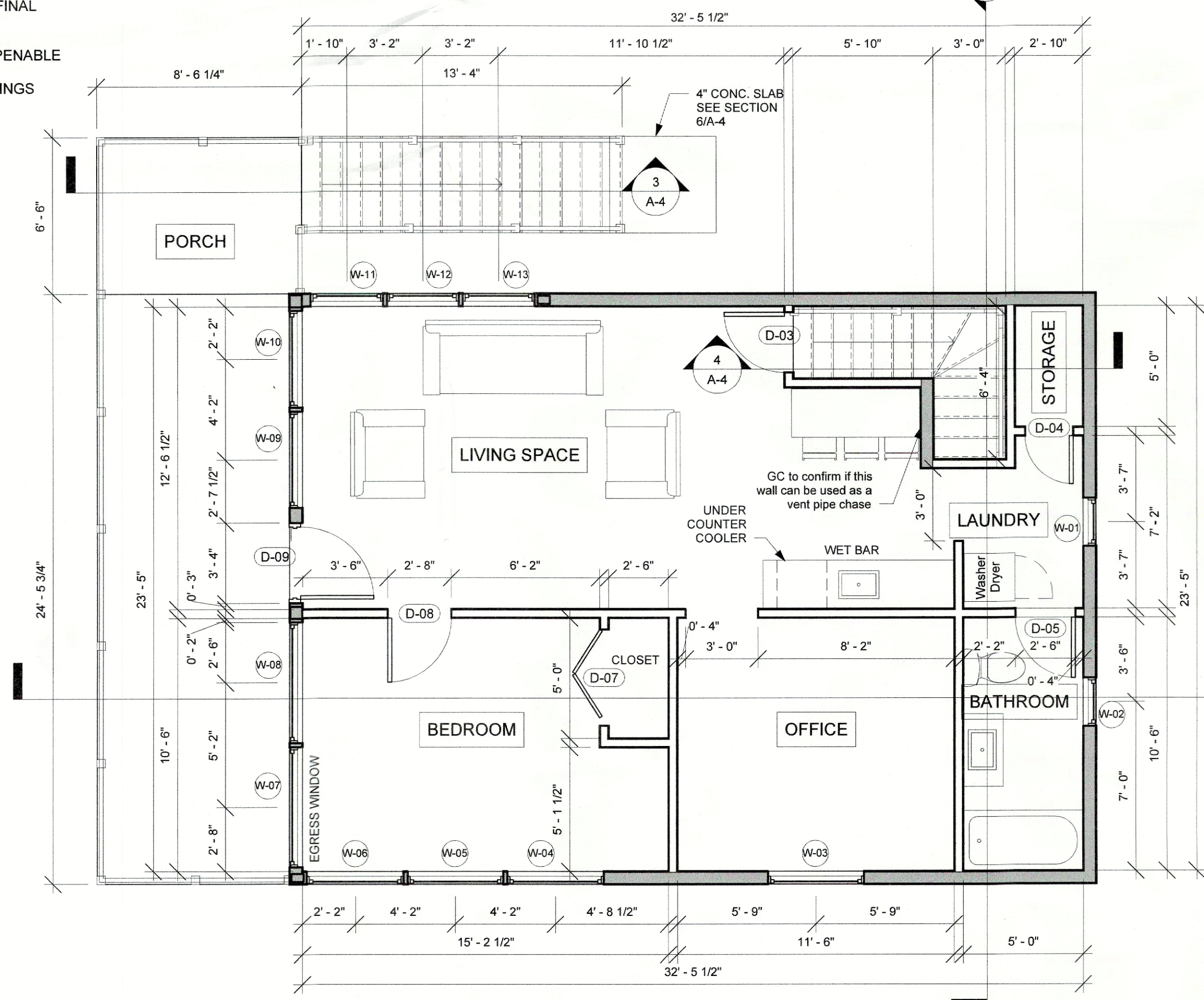
NOTE: OWNER TO PICK AND ADEQUATE WINDOW SIZE FOR THE ROUGH OPENING SIZE. GC TO CONFIRM FINAL OPENING SIZE.

NOTE: EGRESS OPENING SHALL BE 5.7 SF MIN OPENABLE AREA 20" MIN. W X 24" MIN. H SILL HEIGHT IS 44" MAX. A.F.F. EGRESS OPENINGS LOCATION AS NOTED ON THE PLAN



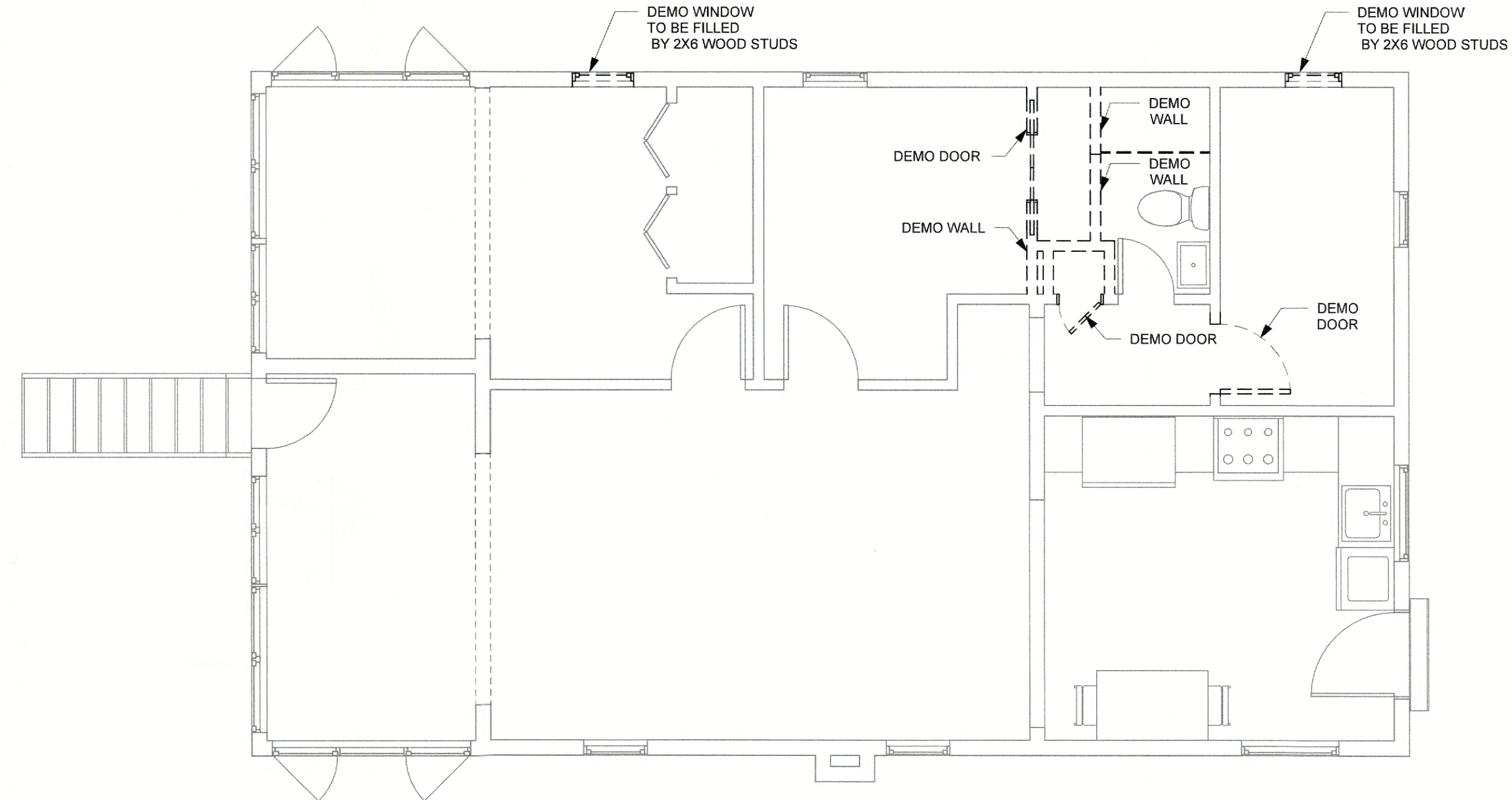
2 Second Floor Plan

SCALE: 1/4" = 1'-0"



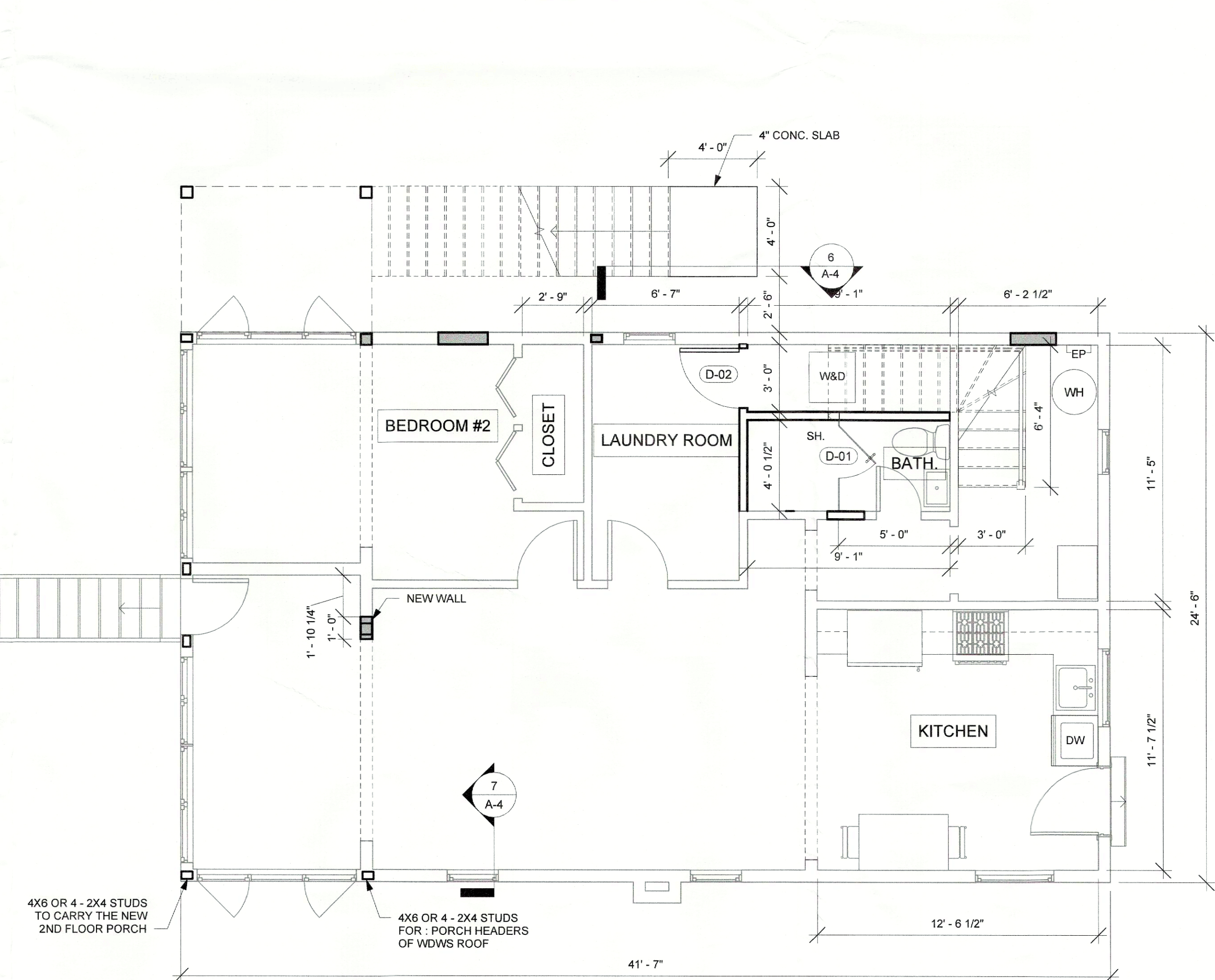
3 First Floor Demolition Plan

SCALE: 1/4" = 1'-0"



1 First Floor Plan

SCALE: 1/4" = 1'-0"





6/4/2025

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Home Addition
9507 Mandon Rd.
White Lake, MI 48386

PROJECT NUMBER:

640924

OWNER INFO:

Name: Brett Meyer

Phone NO: 000-0000-0000

Elevations

REVISIONS:

NO	DATE

DRAWN BY: MA

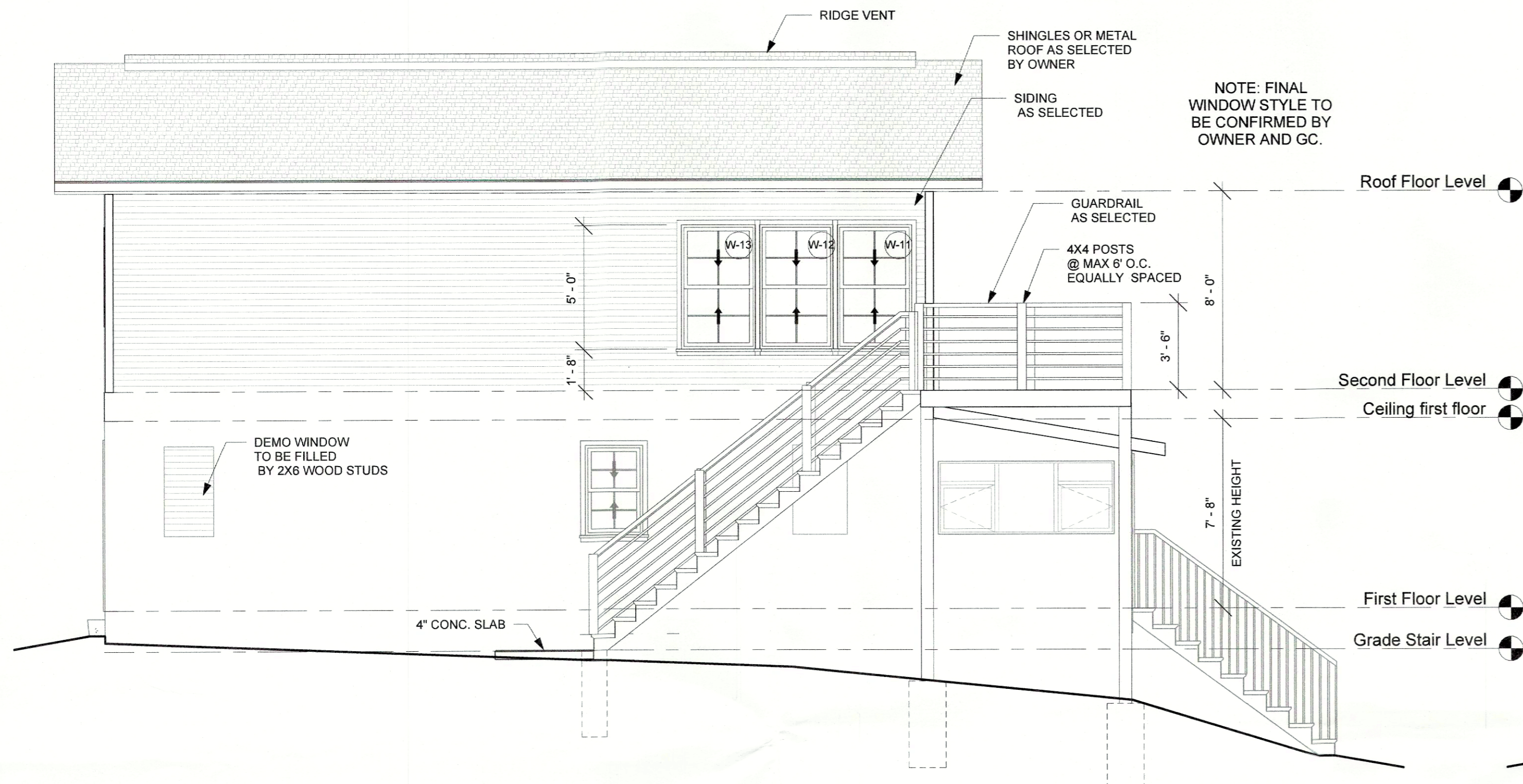
Sheet No.:

A-3



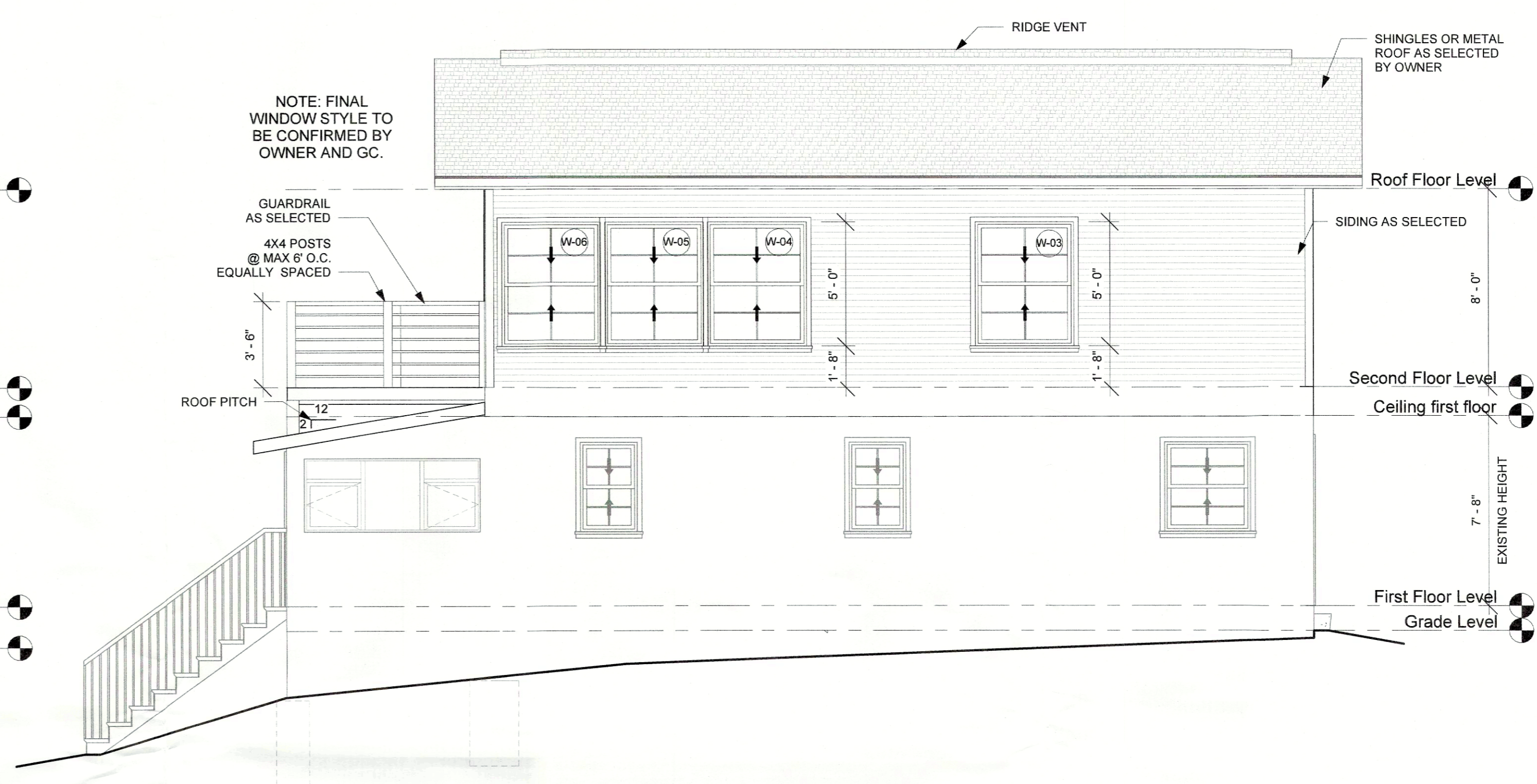
DATE

12.16.2024



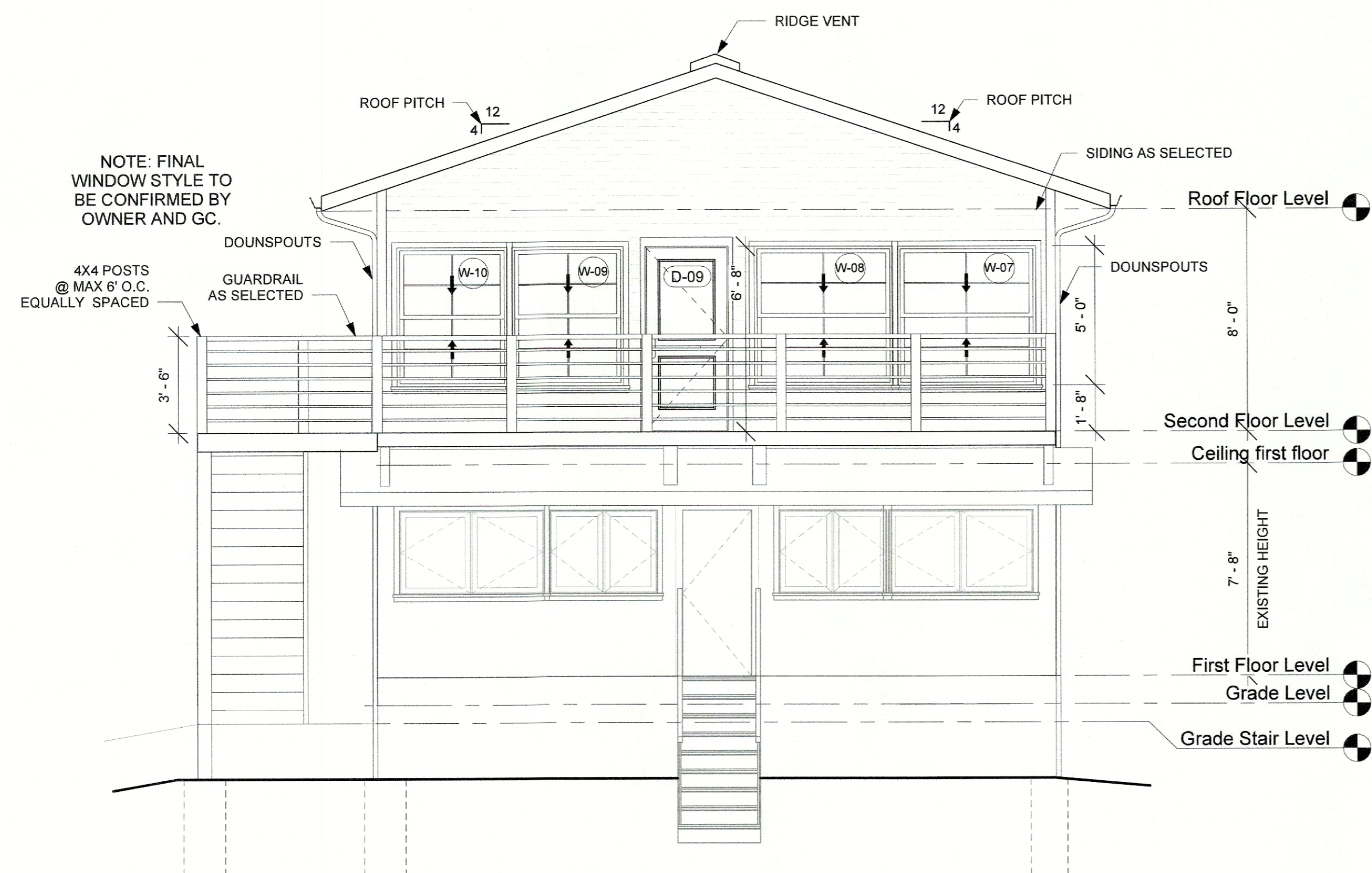
4 West Elevation

SCALE: 1/4" = 1'-0"



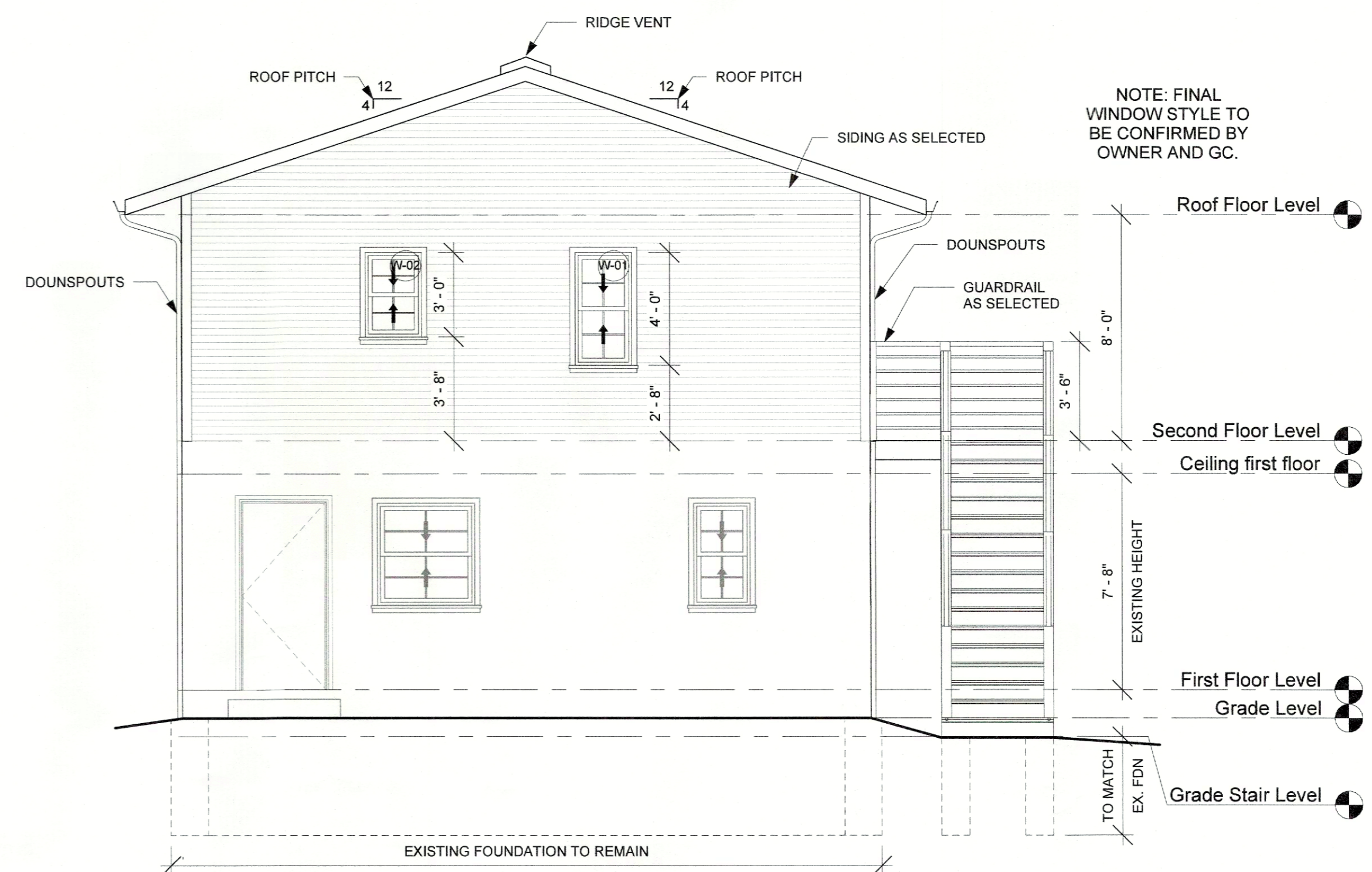
3 East Elevation

SCALE: 1/4" = 1'-0"



2 South Elevation

SCALE: 1/4" = 1'-0"



1 North Elevation

SCALE: 1/4" = 1'-0"



6/4/2025

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Home Addition
9507 Mandon Rd.
White Lake, MI 48386

PROJECT NUMBER:

640924

OWNER INFO:

Name: Brett Meyer

Phone NO: 000-0000-0000

Sections, Details & Wall Sec.

REVISIONS:

NO	DATE

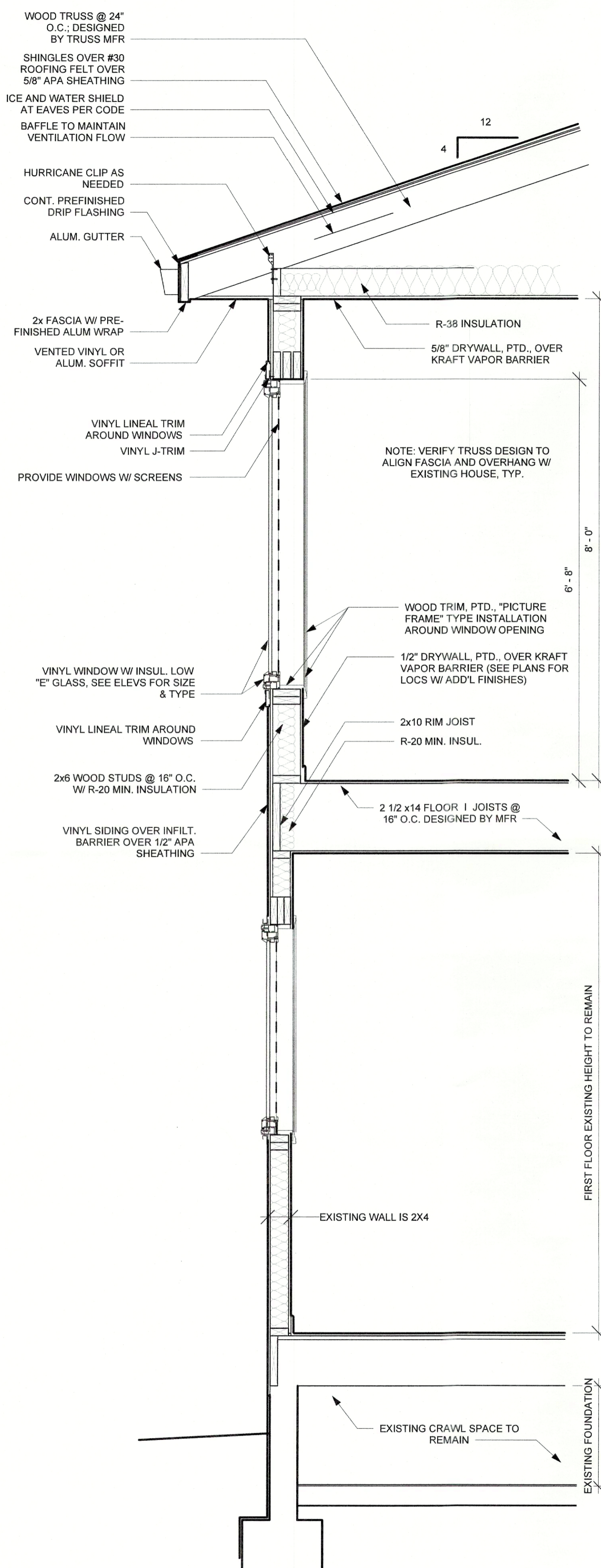
DRAWN BY: MA

Sheet No.:

A-4

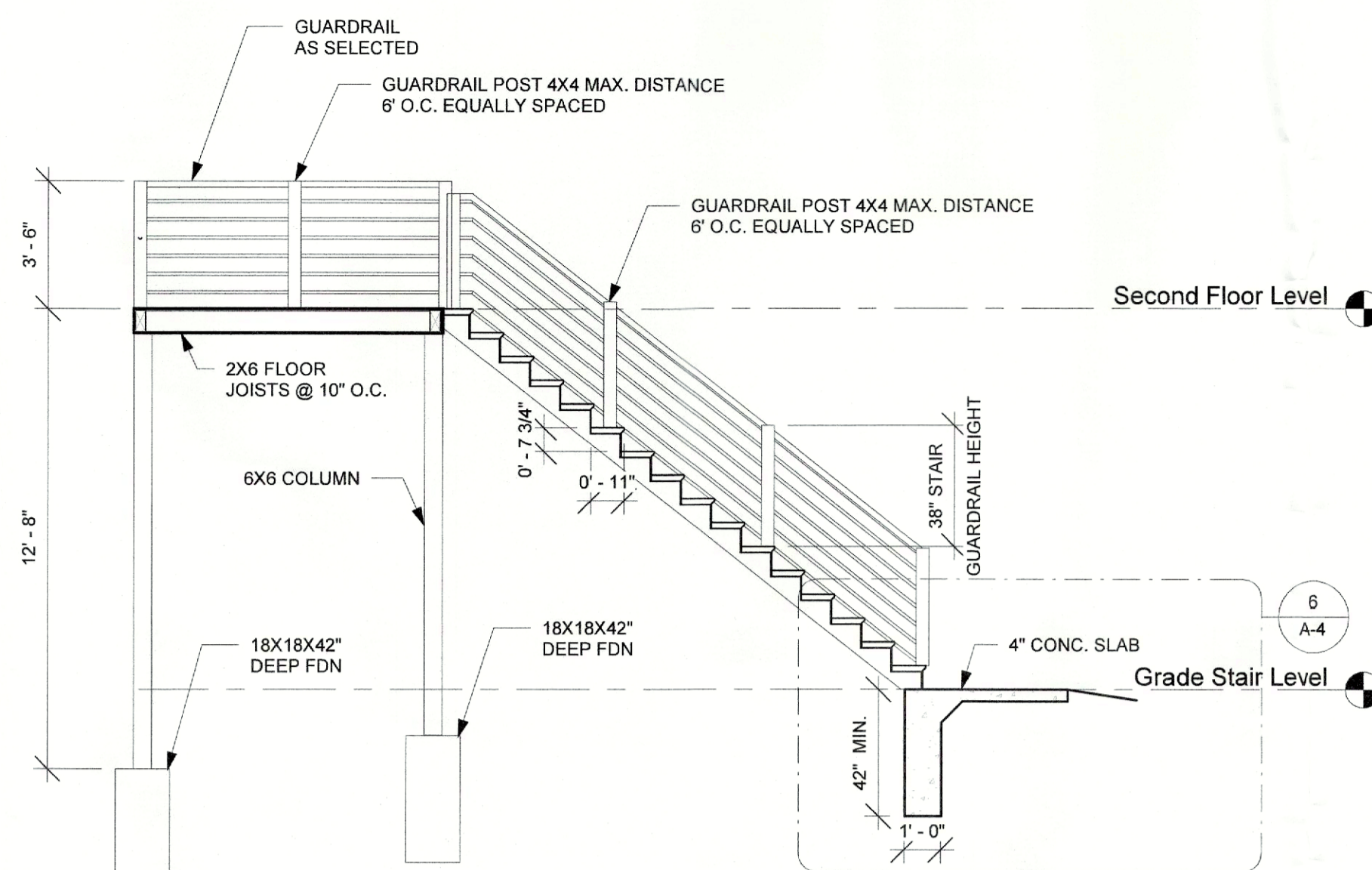
DATE

12.16.2024



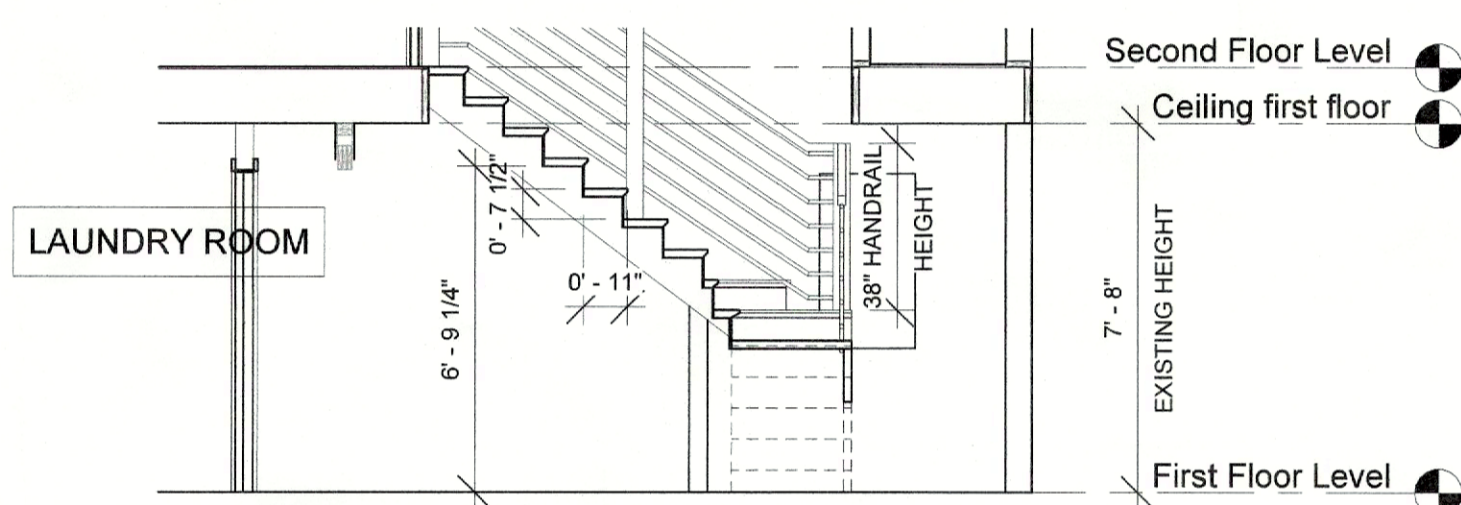
7 Wall Section

SCALE: 3/4" = 1'-0"



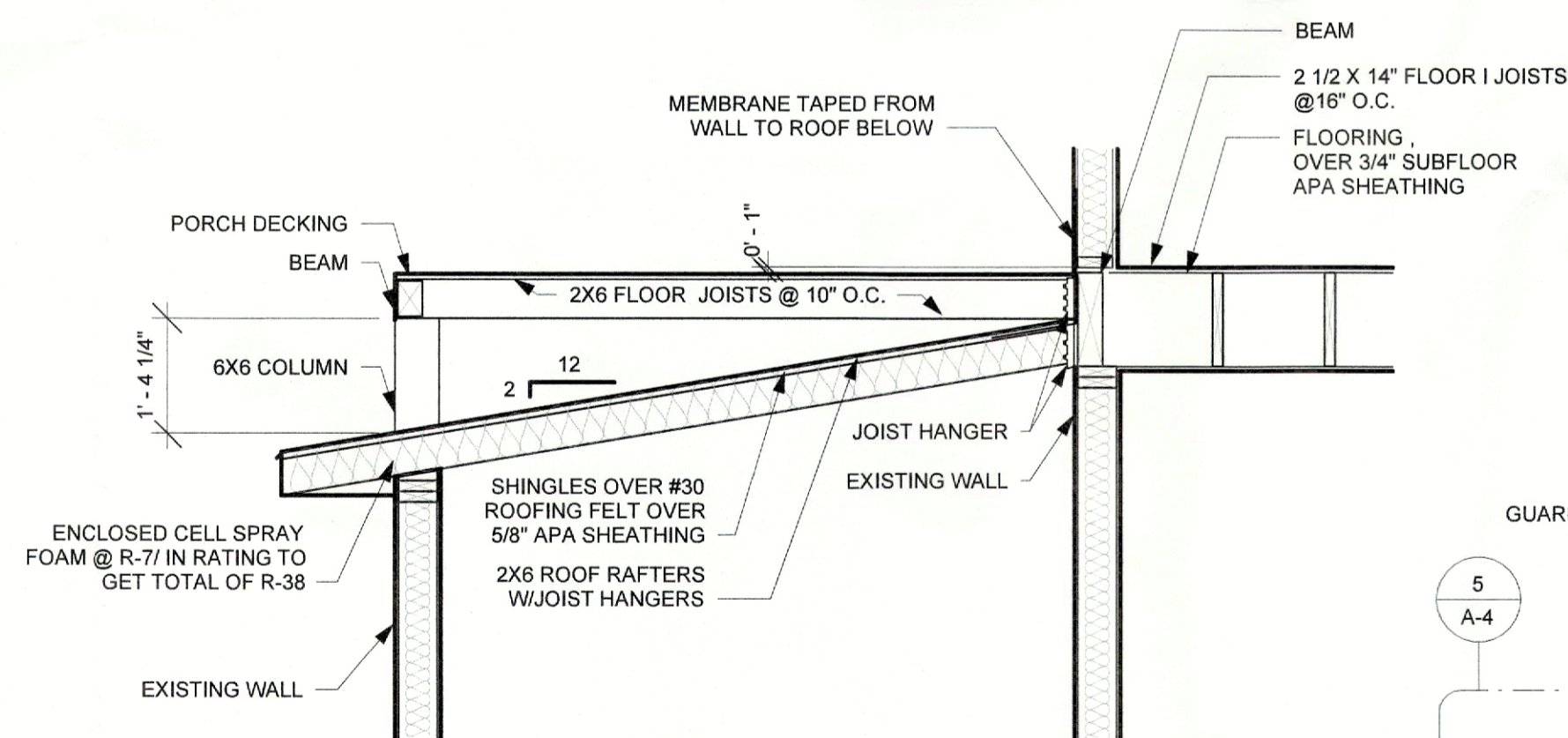
3 Section @ Porch Stairs

SCALE: 1/4" = 1'-0"



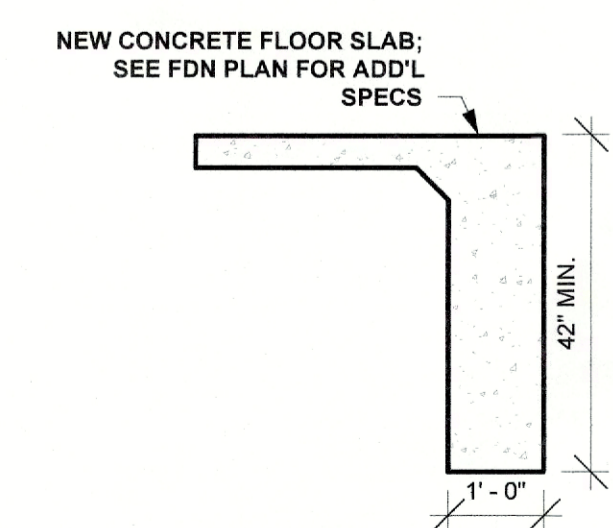
4 Section @ Stairs

SCALE: 1/4" = 1'-0"



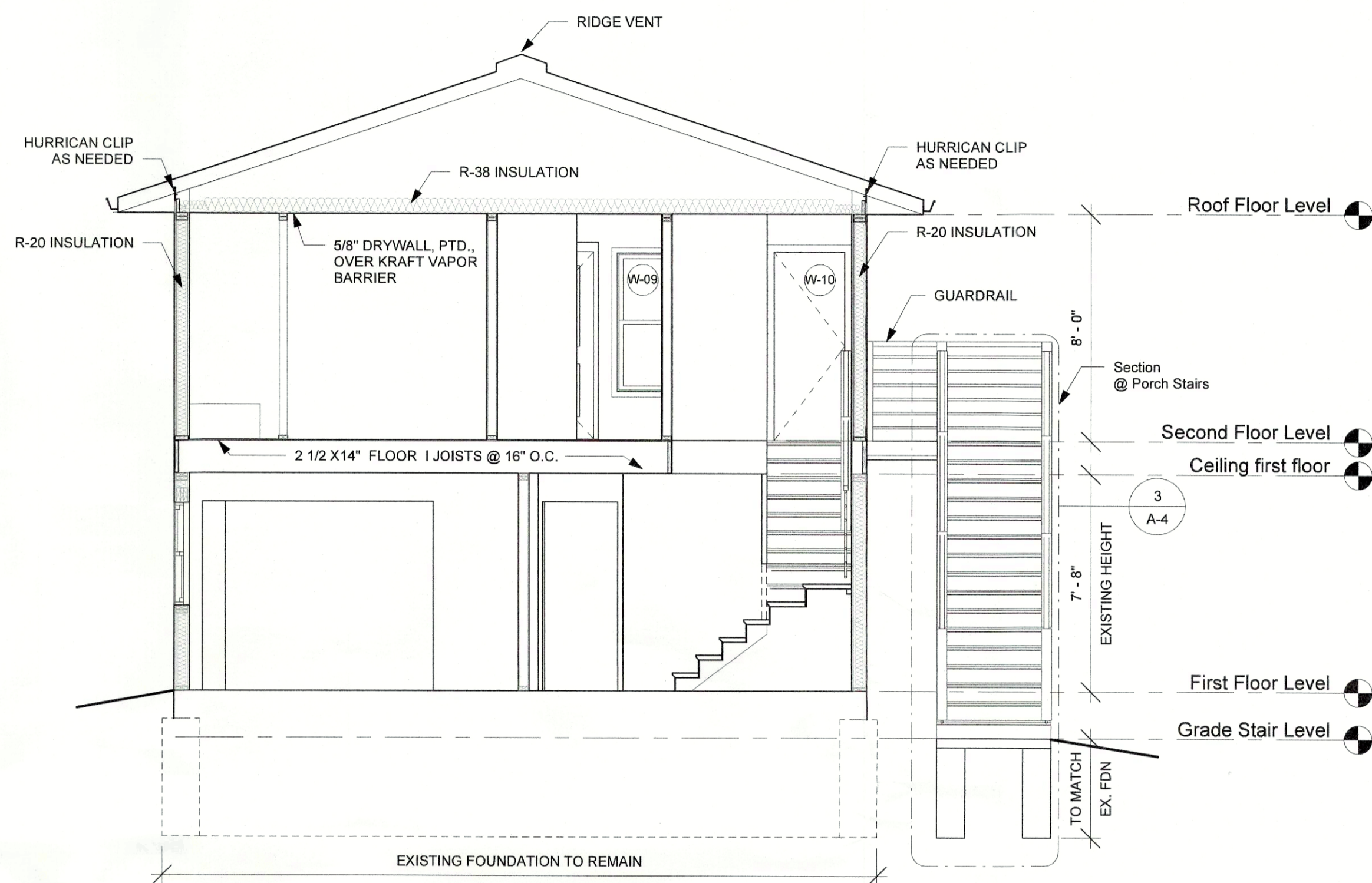
5 Porch Detail

SCALE: 1/2" = 1'-0"



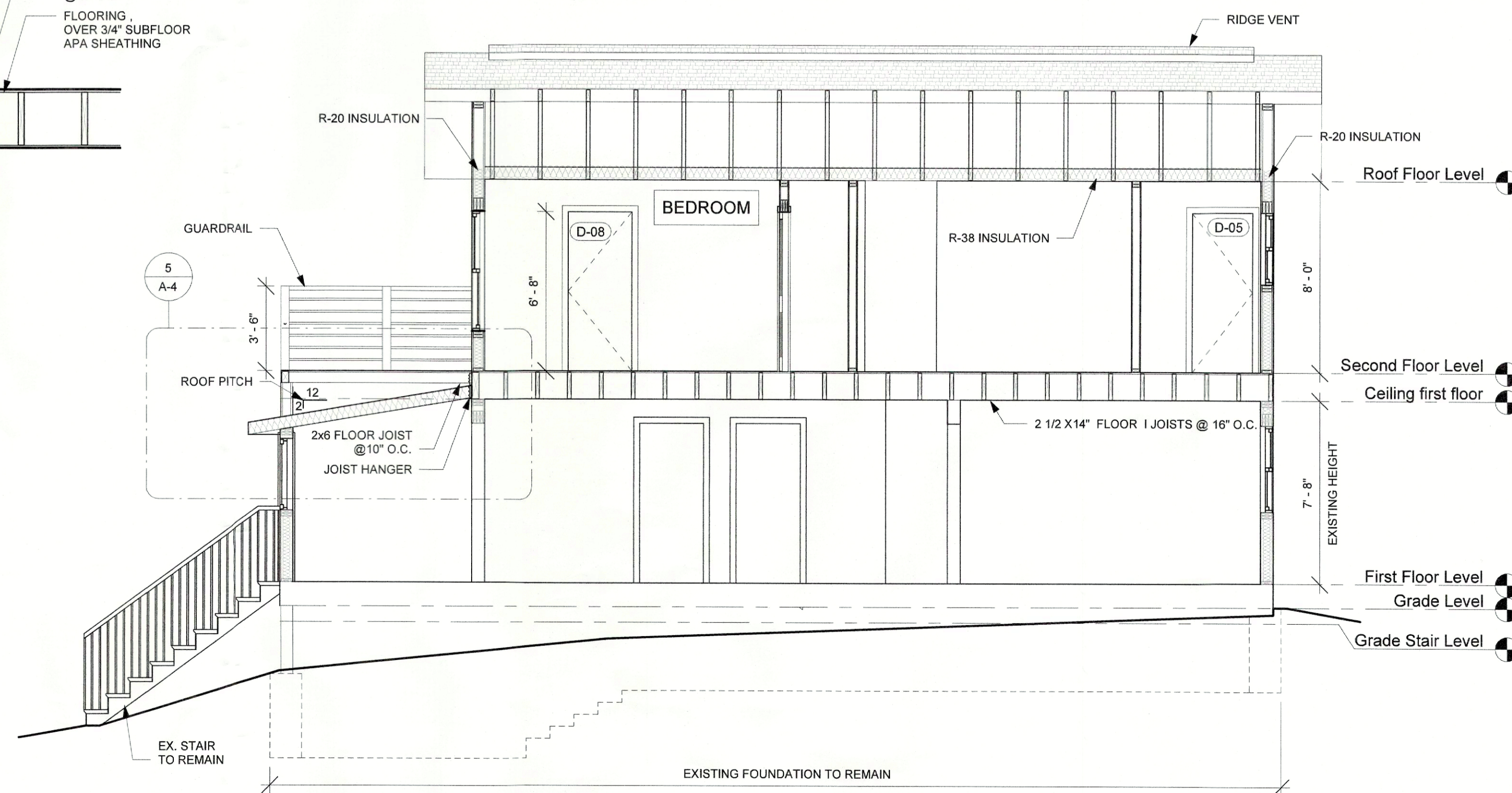
6 Porch Stair FDN Detail

SCALE: 1/2" = 1'-0"



2 Building Section 2

SCALE: 1/4" = 1'-0"



1 Building Section 1

SCALE: 1/4" = 1'-0"



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Home Addition
9507 Mandon Rd.
White Lake, MI 48386

PROJECT NUMBER:

640924

OWNER INFO:

Name: Brett Meyer

Phone NO: 000-0000-0000

Deck & Stairs Details

REVISIONS:

NO DATE

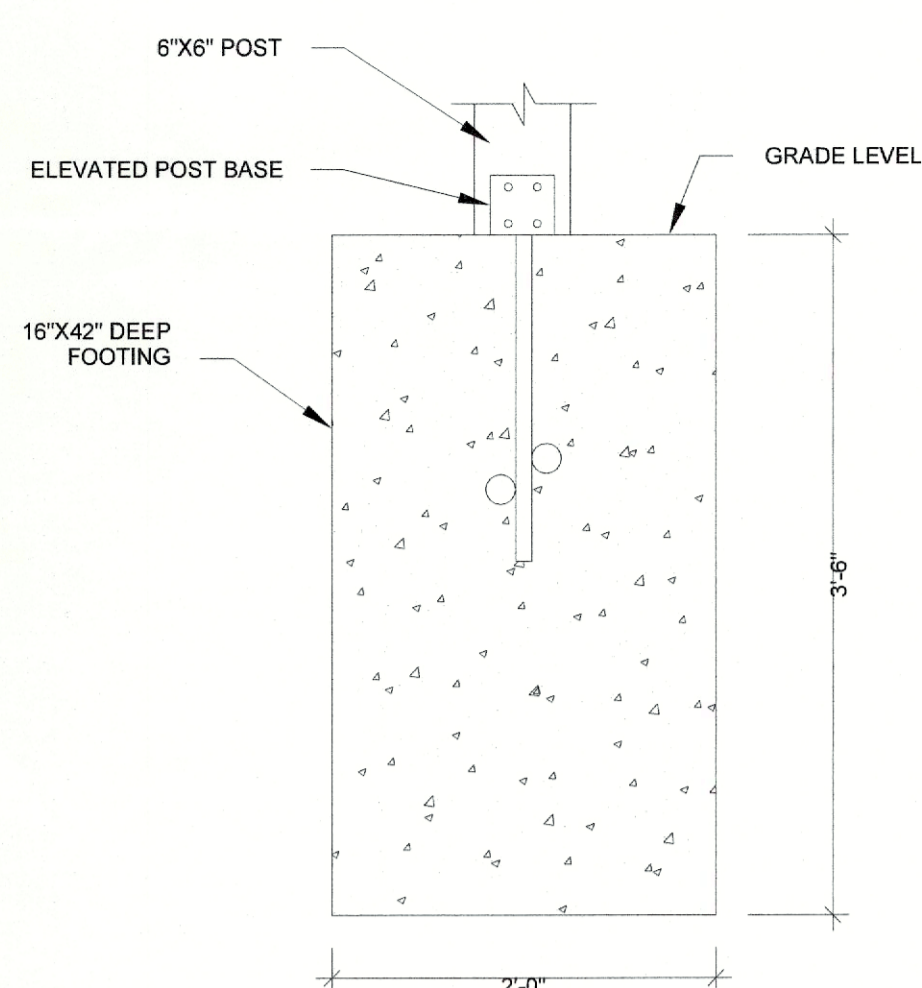
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Sheet No.:

A-5

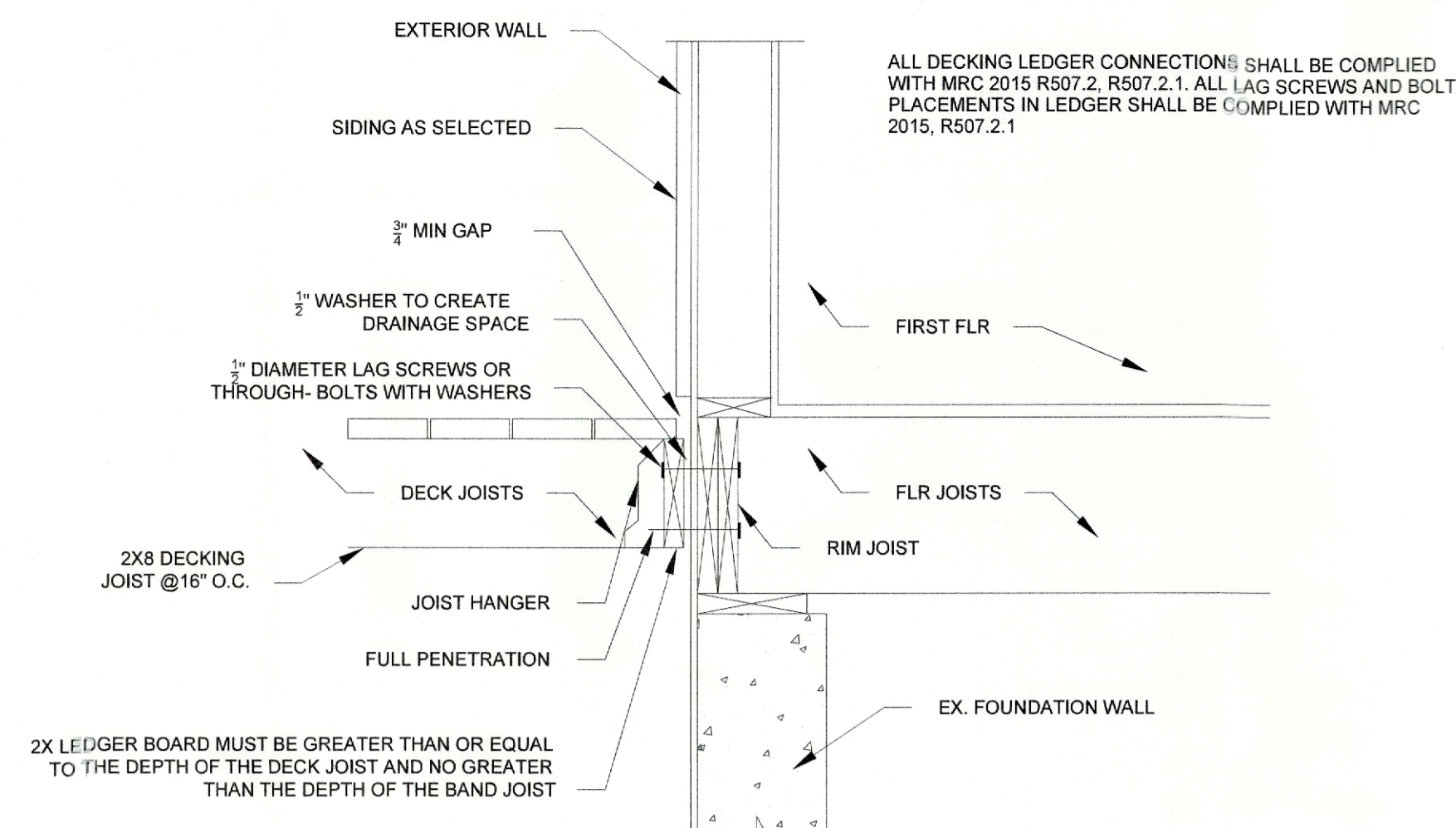
DATE

12.16.2024



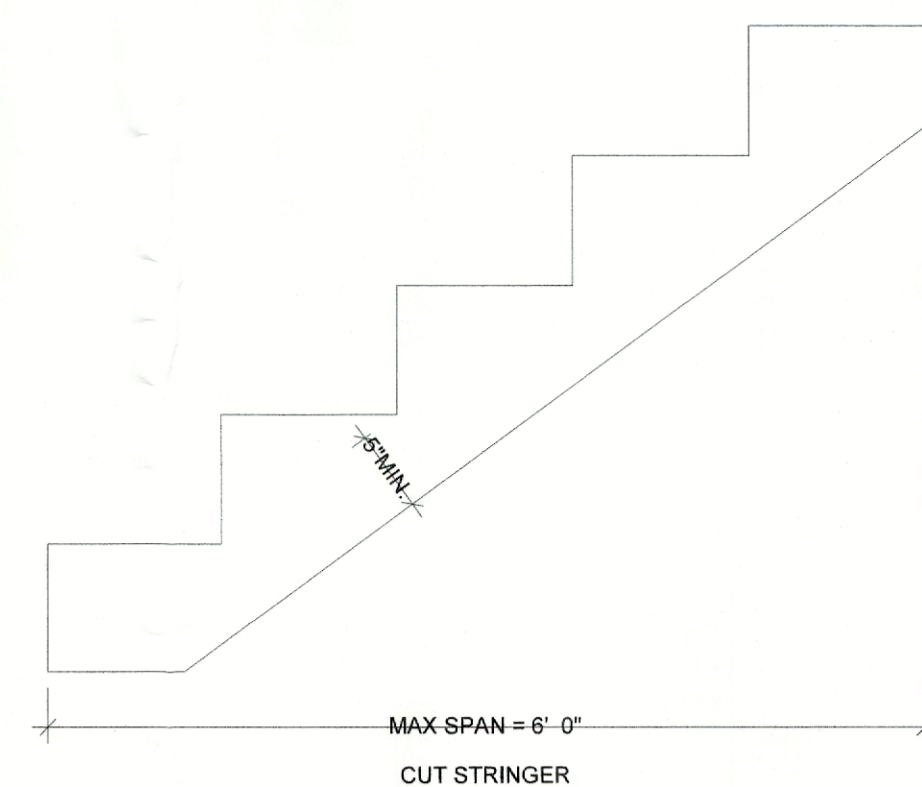
1 FOOTING DETAIL

SCALE:NTS



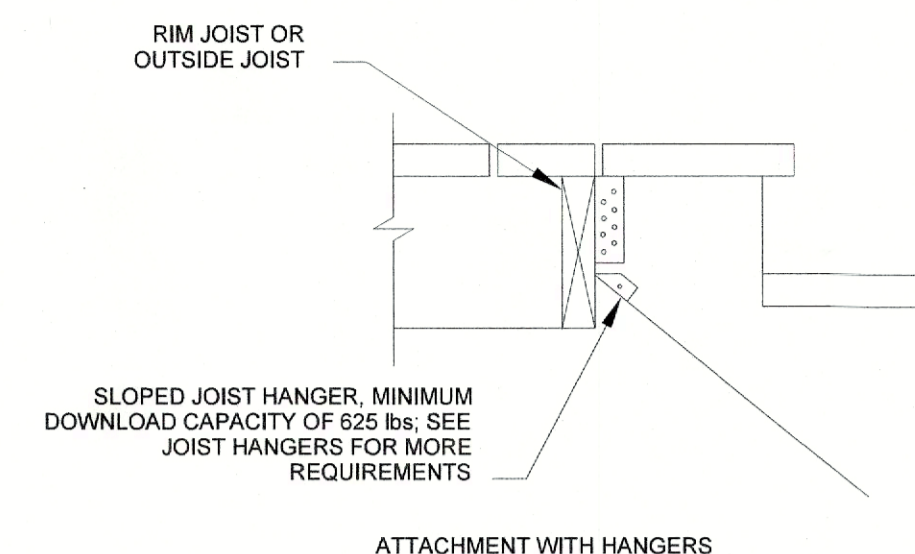
2 LEDGER BOARD TO BAND JOIST

SCALE:NTS



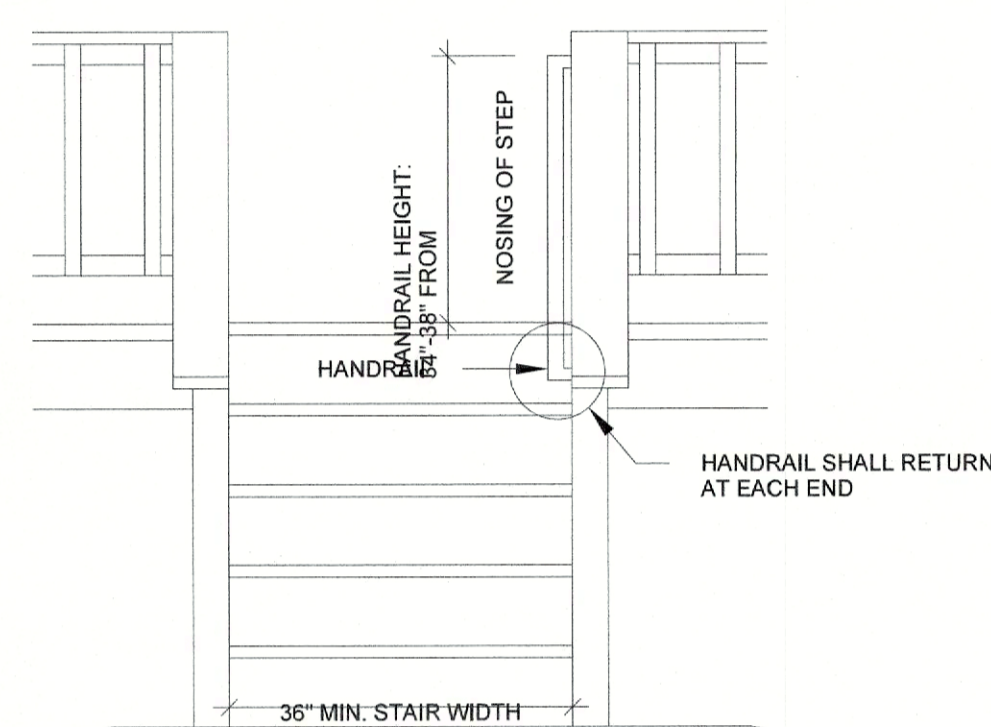
3 STAIR STRINGER REQUIREMENTS

SCALE:NTS



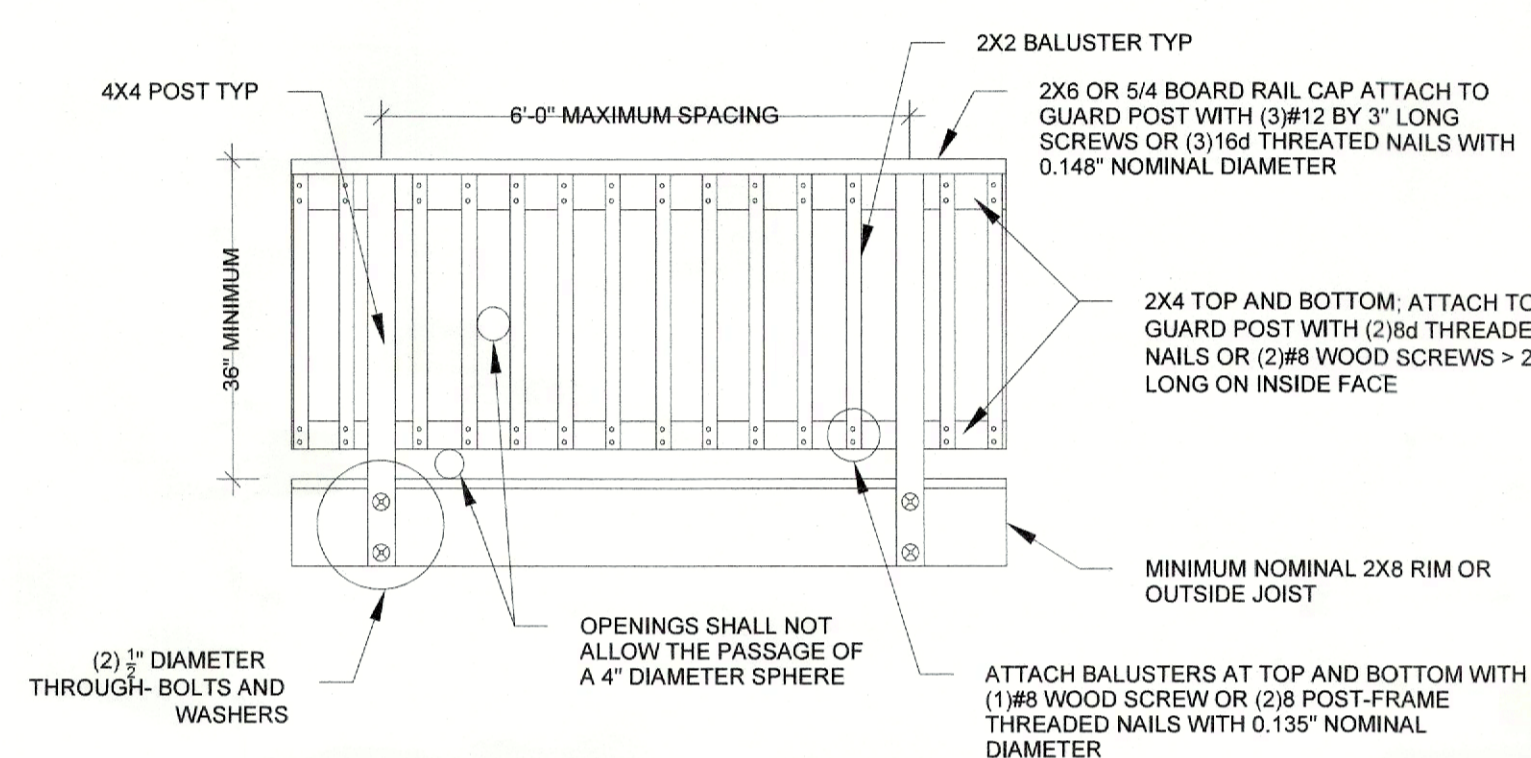
4 STAIR STRINGER ATTACHEMENT DETAIL

SCALE:NTS



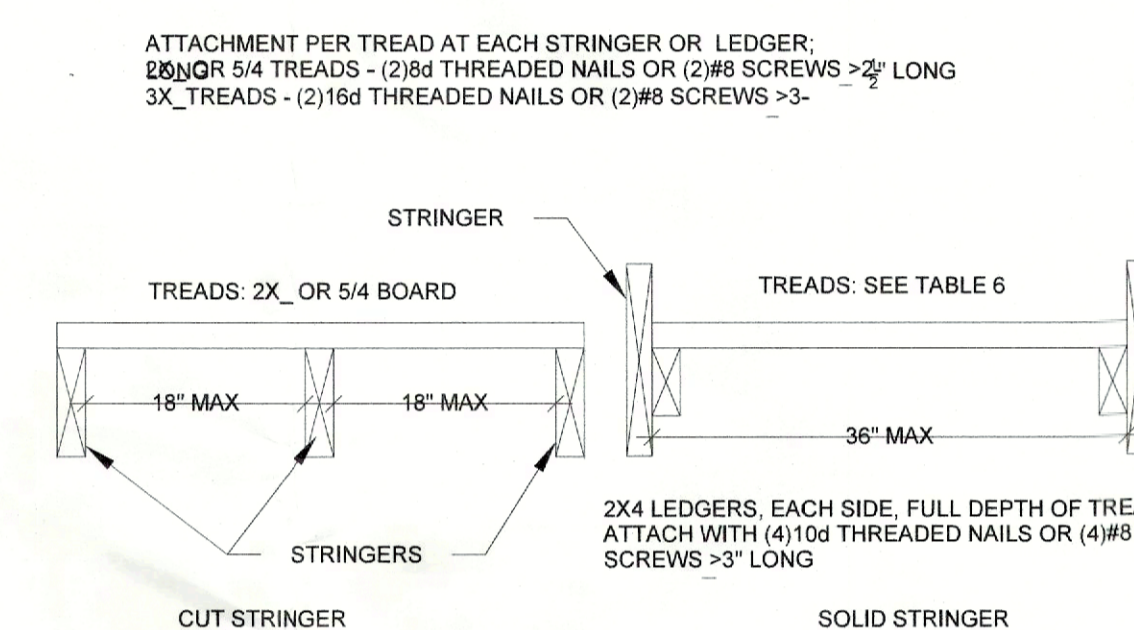
5 STAIRS TYP. DETAILS

SCALE:NTS



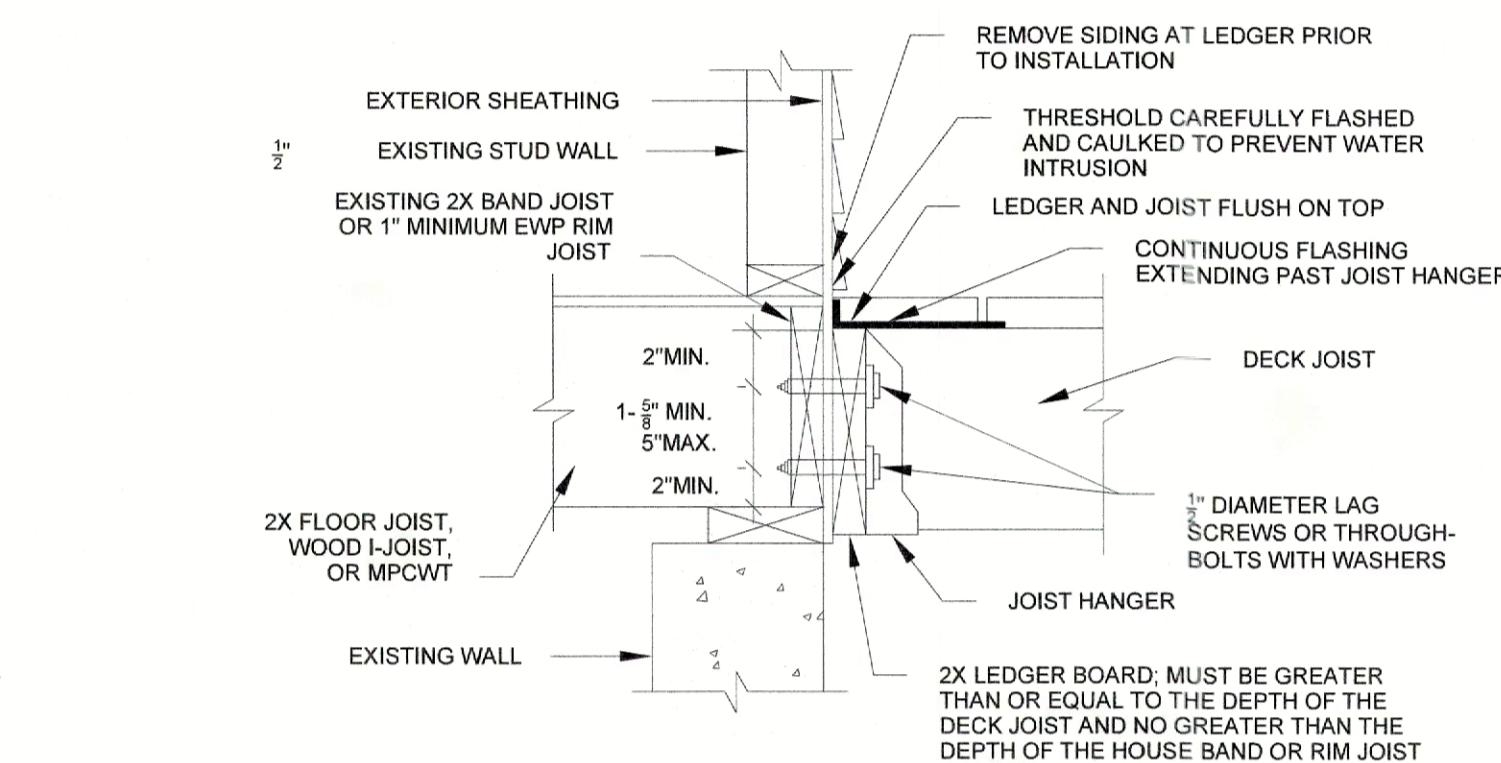
6 GUARD DETAIL

SCALE:NTS



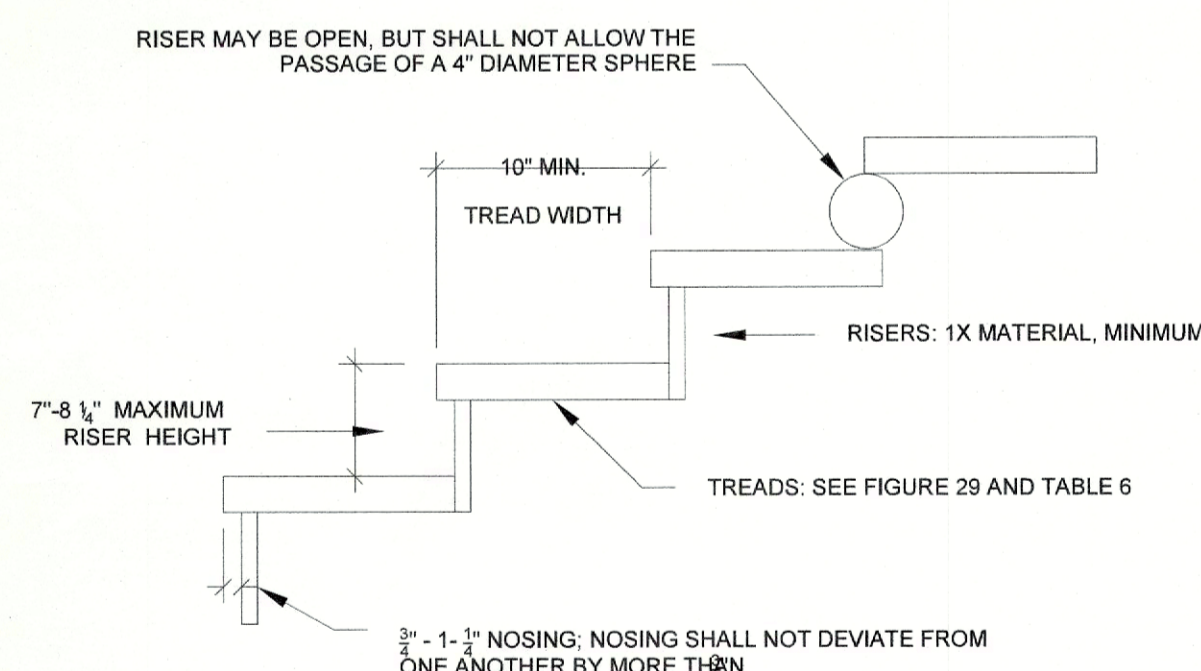
7 STRINGER SPACING

SCALE:NTS



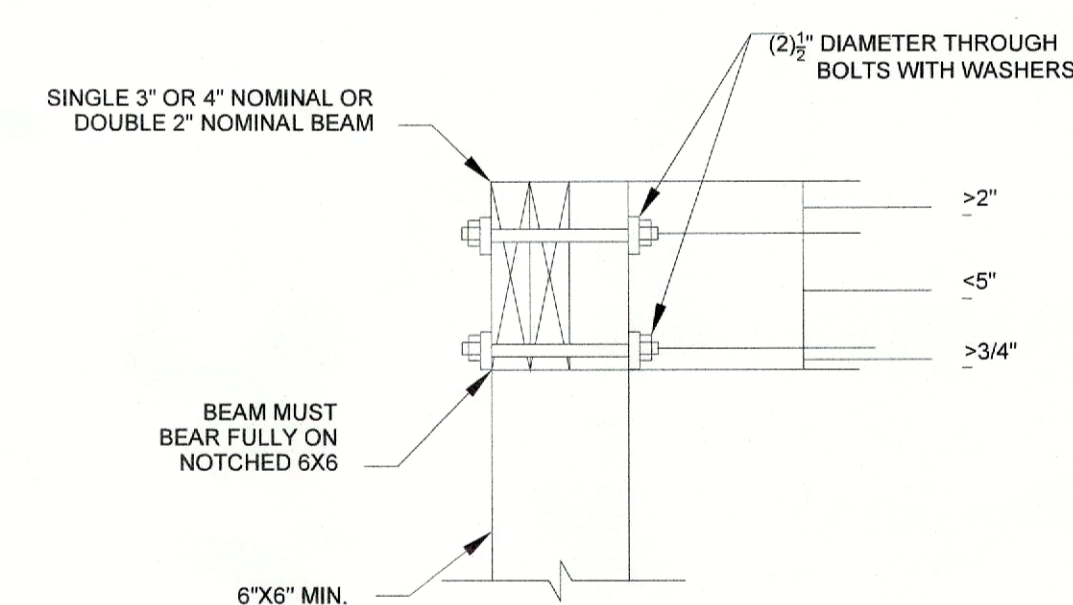
8 LEDGER TO HOUSE RIM JOIST/BLOCKS

SCALE:NTS



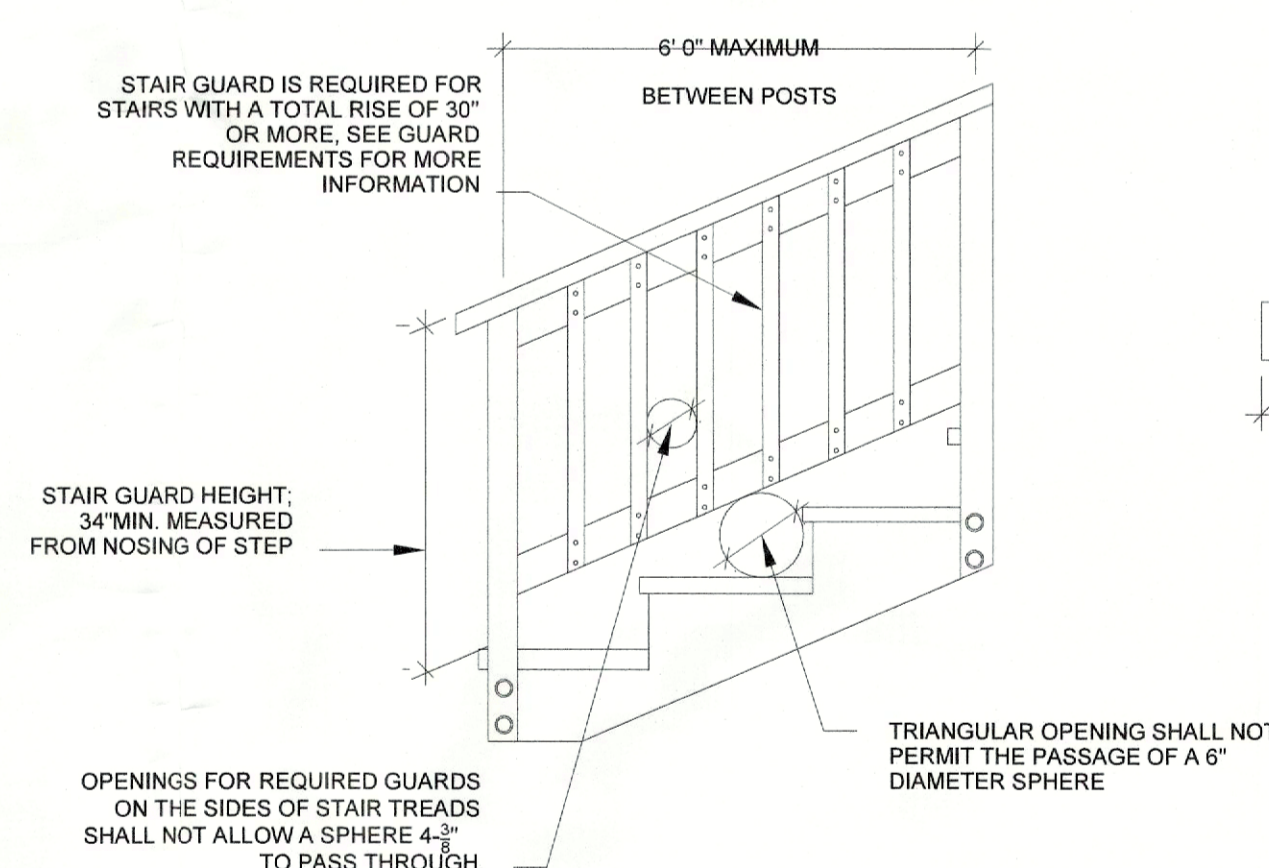
9 STAIR STRINGER

SCALE:NTS



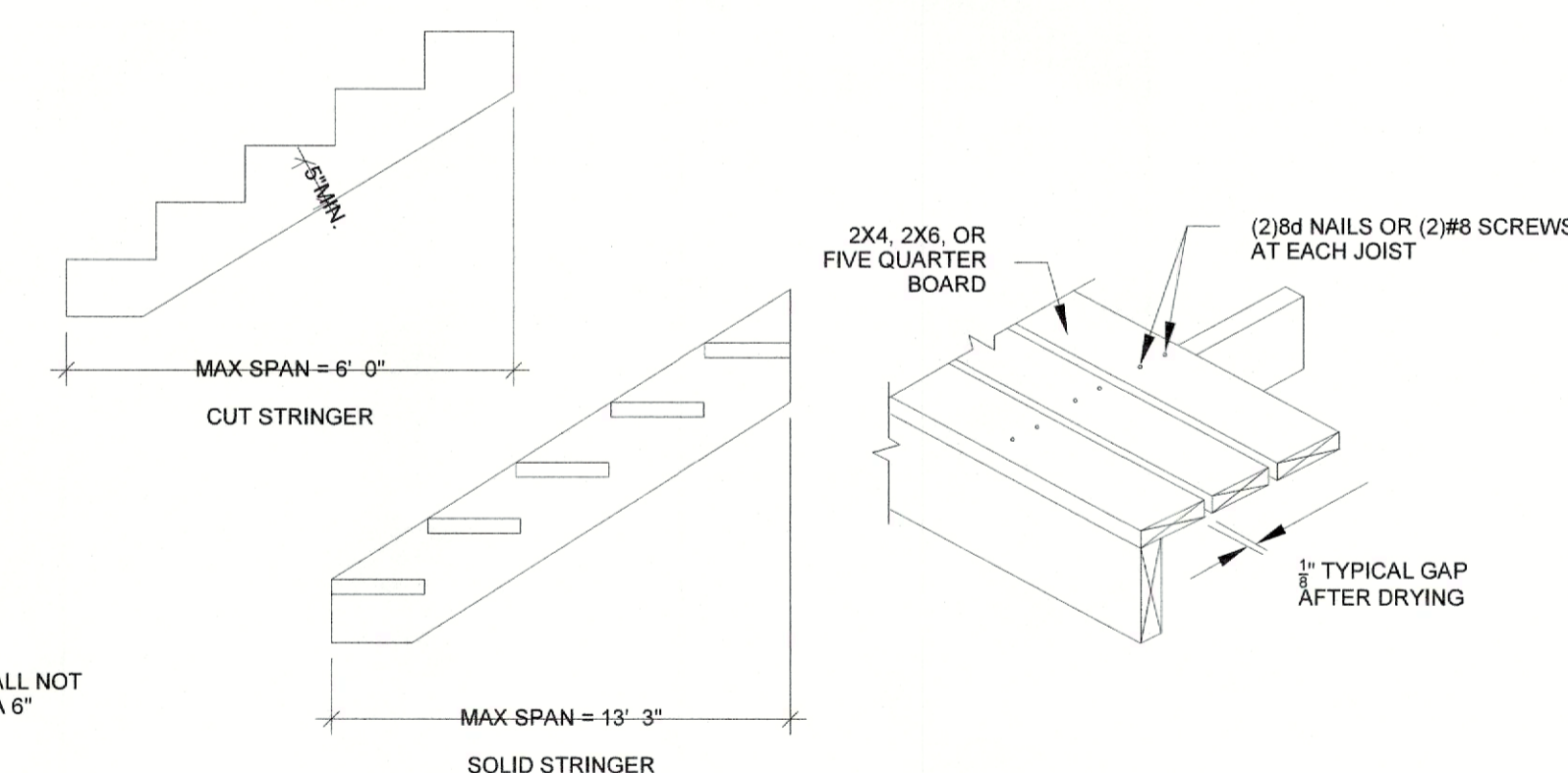
10 BEAM ATTACHMENT

SCALE:NTS



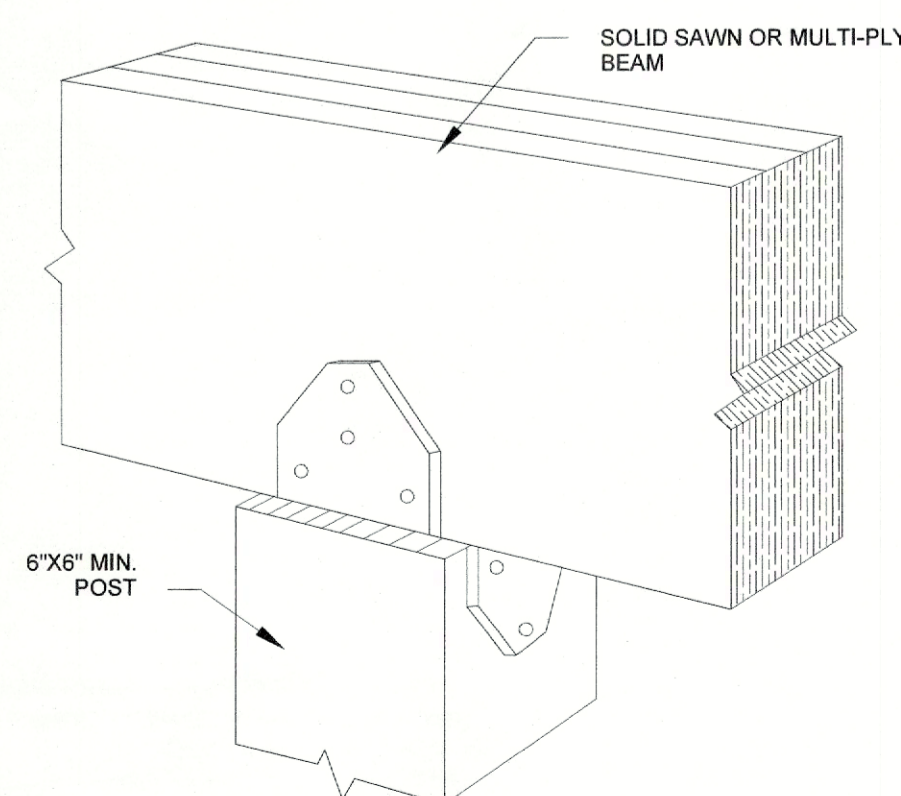
11 STAIR GUARD

SCALE:NTS



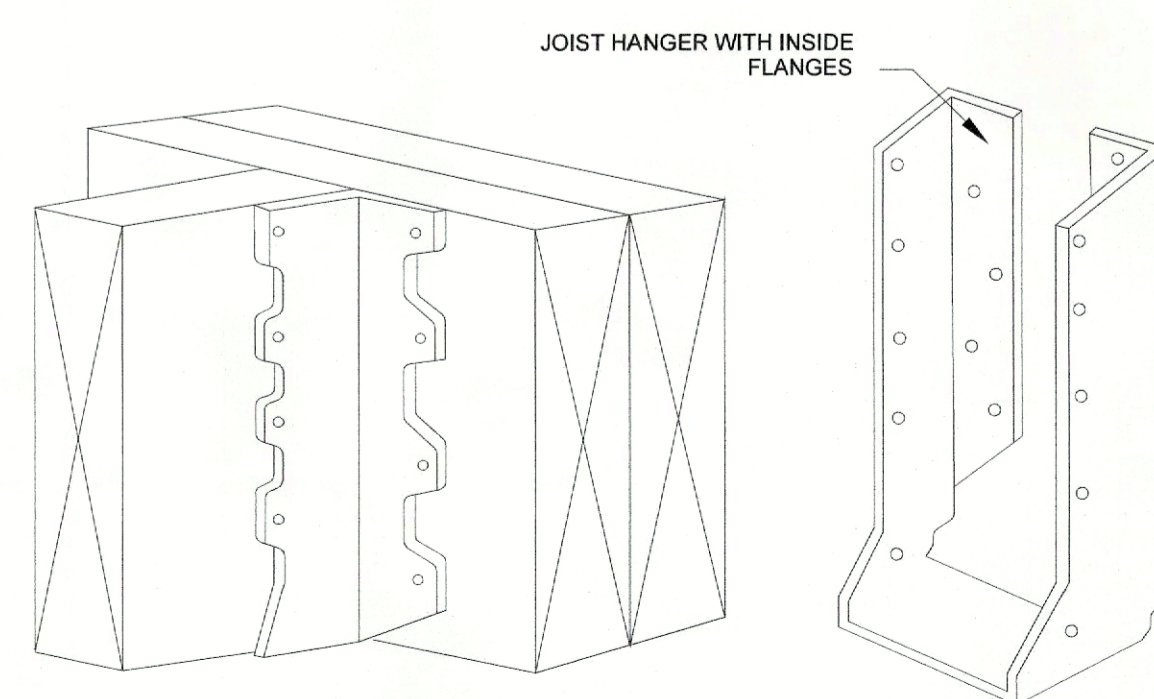
12 TREAD, RISER AND SLATS

SCALE:NTS



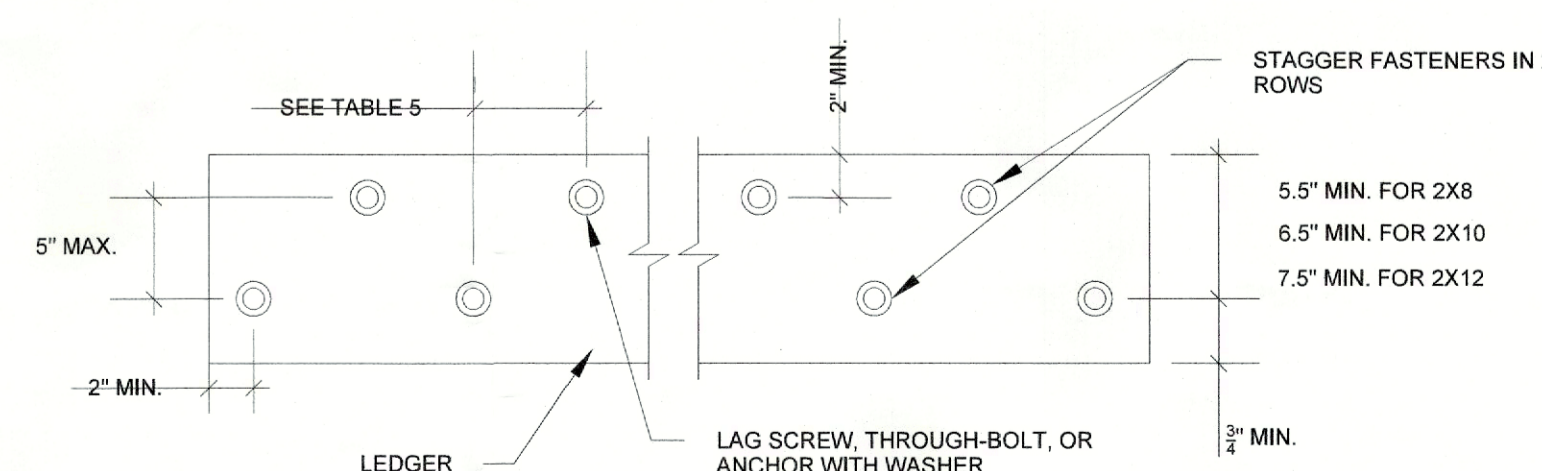
13 BEAM TO POST

SCALE:NTS



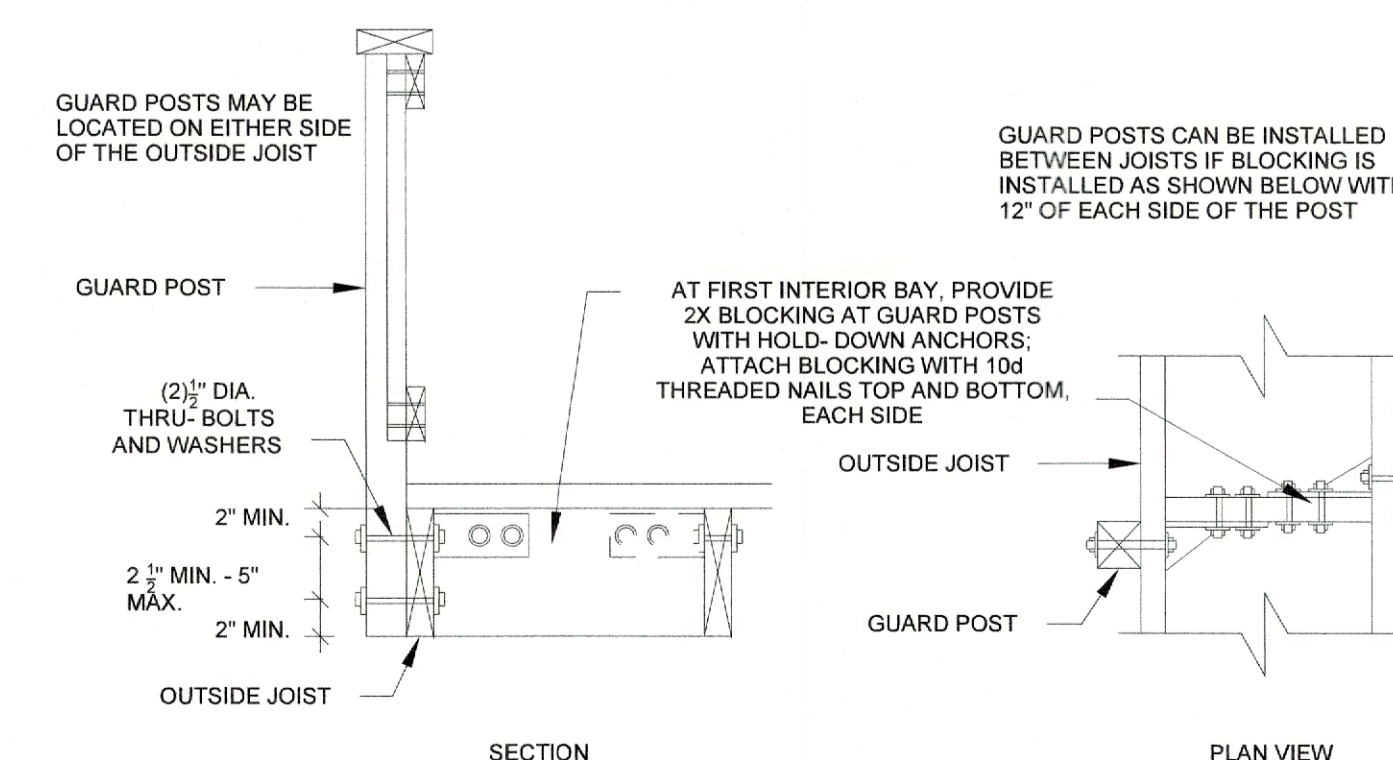
14 JOIST HANGER

SCALE:NTS



15 LEDGER ATTACHEMNT

SCALE:NTS



16 GUARD POST TO OUTSIDE JOIST DETAIL

SCALE:NTS