



ZONING BOARD OF APPEALS MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383
(FORMER WHITE LAKE LIBRARY)
THURSDAY, JUNE 23, 2022 – 7:00 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - A. Zoning Board of Appeals Regular Meeting of May 26, 2022
6. OLD BUSINESS
7. NEW BUSINESS
 - A. Applicant: Matthew Follis
64 Union Lake Road
White Lake, MI 48386
Location: **9179 Kettering Avenue**
White Lake, MI 48386 identified as 12-35-276-039
Request: The applicant requests to enlarge and alter a nonconforming structure (house) to construct an attached garage and second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area. A variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures is required due to both the value of improvements and the increase in cubic content.
 - B. Applicant: James Dainty
8560 Pontiac Lake Road
White Lake, MI 48386
Location: **8560 Pontiac Lake Road**
White Lake, MI 48386 identified as 12-13-328-004
Request: The applicant, under Article 7.36, Powers of Zoning Board of Appeals Concerning Administrative Review and Variances, is appealing an order of the Staff Planner to remove an unpermitted nonconforming structure installed on the property. The applicant also requests a variance from Article 3.1.6.E, R1-D Single Family Residential, to allow the structure to encroach into the front yard setback.
8. OTHER BUSINESS
9. NEXT MEETING DATE: July 28, 2022
10. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS
REGULAR MEETING
MAY 26, 2022**

CALL TO ORDER

Chairperson Spencer called the meeting to order at 7:00 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Clif Seiber
Kathleen Aseltyne
Debby Dehart, Planning Commission Liaison
Niklaus Schillack, Vice Chairperson
Jo Spencer, Chairperson

Others:

Justin Quagliata, Staff Planner
Nick Spencer, Building Official
Hannah Micallef, Recording Secretary

9 members of the public present

APPROVAL OF AGENDA

Member Schillack requested to move New Business 7a to New Business item 7c.

**MOVED by Member Schillack, SUPPORTED by Member Aseltyne, to approve the agenda as amended. The motion CARRIED with a roll call vote (5 yes votes):
(Schillack/yes, Aseltyne/yes, Dehart/yes, Seiber/yes, Spencer/yes).**

APPROVAL OF MINUTES:

- a. Zoning Board of Appeals Regular Meeting of April 28th, 2022

**MOVED by Member Dehart, SUPPORTED by Member Seiber to approve the Zoning Board of Appeals Regular Meeting Minutes of April 28th, 2022 as presented.
The motion CARRIED with a voice vote (5 yes votes).**

CONTINUING BUSINESS:

- A. Applicant: Andrew Bienkowski and Rachel Menard
2230 Wiggen Lane
White Lake, MI 48386
Location: **2230 Wiggen Lane**
White Lake, MI 48386 identified as 12-14-231-003
Request: The applicant requests to construct a single-family house, requiring variances from Article 3.1.6.E, R1-D Single Family Residential Front-Yard Setback, Side-Yard Setback, Rear-Yard Setback, and Maximum Lot Coverage. A variance from Article 3.11.Q, Natural Features Setback is also required.

Staff Planner Quagliata presented his staff report.

Member Schillack asked staff if a plot plan was required. Staff Planner Quagliata said yes, a plot plan was required, but a plot plan was not submitted with the building permit application.

Member Schillack asked staff how many stories the house had according to the ordinance. Staff Planner Quagliata said the house as proposed on the plan was three stories. The Building Official did not receive architectural or plot plans at the time of the application submittal.

Chairperson Spencer stated if another application were to come forward with insufficient data, she would table or deny the case immediately. She was opposed to staff having to piecemeal applications together. Member Schillack agreed, and said it was not fair for the neighbors who came to the meetings to have to come back again.

Rachel Menard and Andrew Bienkowski, applicants, were present to speak on their case. Ms. Menard stated she was unaware the elevations needed to be revised. She said the square footage of the house and the natural features setback variance were reduced. Mr. Bienkowski said he was made aware of the third-story issue last Friday, and was willing to remove the basement to comply with height requirements. He stated the plot plan was the same plot plan submitted before the April meeting.

Staff Planner Quagliata said the issue was the plot plan was not provided at submittal in March prior to the April meeting.

Member Aselyne asked the applicants what their practical difficulty was. Mr. Bienkowski said the practical difficulty was due to the pie-shaped lot.

Member Aselyne asked staff if a covered front porch was included in the lot calculation. Staff Planner Quagliata confirmed.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Seiber said the pie-shape lot was not deep, and the shore line was a fan shape. The configuration of the lot was a practical difficulty.
- B. Unique Situation
 - Member Dehart agreed with Member Seiber’s previous comments regarding the lot’s configuration.
- C. Not Self-Created
 - Chairperson Spencer said the applicants were self-creating a problem due to the size of the house.
- D. Substantial Justice
 - Chairperson Spencer said a house that met the ordinance could be built.
- E. Minimum Variance Necessary

Staff Planner Quagliata said if the applicants removed the basement, the issue of height would be eliminated. The variances in regards to the setbacks and lot coverage would remain. The plans would be verified to ensure the height was in compliance.

Member Seiber MOVED to approve the variances requested by Andrew Bienkowski and Rachel Menard from Article 3.1.6.E of the Zoning Ordinance for Parcel Number 12-14- 231-003, identified as 2230 Wiggen Lane, in order to construct a new house with an attached two-car garage that would exceed the allowed lot coverage by 8.25 percent, encroach 4 feet into the required front yard setback, 4 feet into the required side yard setback from the north lot line and 3.5 feet into the required side yard setback from the south lot line, and 5 feet into the required rear yard setback. This approval will have the following conditions:

- **The Applicant shall obtain all necessary approvals from the Oakland County Health Division prior to issuance of a building permit.**
- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department, including a demolition permit to remove the existing building.**
- **The building height shall be reduced to 25 feet to comply with the Zoning Ordinance.**
- **No mechanical units, including HVAC system or generator, shall be placed within any side yard setbacks.**
- **The roofline along the sides of the building shall be guttered and down-spouted.**
- **The gutter system shall direct stormwater away from neighboring properties.**
- **In no event shall projections of the roof overhangs and gutters be closer than five feet to side lot lines.**
- **A foundation certificate shall be required prior to the backfill inspection by the Building Department.**

- **An as-built survey shall be required to verify the approved setbacks and lot coverage.**
- **The nonconforming shed shall be removed from the property.**

Member Dehart SUPPORTED, and the motion CARRIED with a roll call vote: (5 yes votes): (Seiber/yes, Dehart/yes, Schillack/yes, Aseltyne/yes, Spencer/yes).

NEW BUSINESS:

- A. Applicant: M.J. Whelan Construction
620 Milford Road
Milford, MI 48381
Location: **10245 Lakeside Drive**
White Lake, MI 48386 identified as 12-22-477-005
Request: The applicant requests to enlarge and alter a non-conforming structure (house) to construct a second story addition, requiring variances from Article 7.23.A, Nonconforming Structures and Article 3.1.6.E, R1-D Single Family Residential Minimum Lot Area and Minimum Lot Width.

Chairperson Spencer noted for the record that 30 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report. He stated the variance from Article 7.28.A, Repairs and Maintenance to Nonconforming Structures, was not required.

Alex Gulley, 620 Milford Road, was present to speak on behalf of M.J. Whalen Construction. He stated the existing chimney would be removed to help reduce encroachment into the side yard setback. There was an effort made to reduce nonconformities while making a functional and aesthetically pleasing house.

Member Schillack thanked the applicant for reducing the nonconformity. He asked the applicant why the second floor could not be inset to meet the side yard setback. Mr. Gulley said the triple doorwall was for the homeowner to enjoy the lake view. If the dormers on the west and east were pushed in, the size of the doorwall would be decreased. The doorwall was to enhance the value of the house in addition to being an aesthetic feature.

Chairperson Spencer opened the public hearing at 7:43 P.M. Seeing no public comment, she closed the public hearing at 7:44 P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
 - Chairperson Spencer stated the lot was nonconforming.
- B. Unique Situation
 - Member Dehart reiterated Chairperson Spencer's comments regarding the nonconforming lot.
- C. Not Self-Created
 - Chairperson Spencer said the applicant did not create the lot.
 - Member Schillack said the applicant was careful and chose to go up instead of out with the addition.
- D. Substantial Justice
 - Member Schillack said the addition would be similar to surrounding houses.
- E. Minimum Variance Necessary
 - Member Schillack said the applicant was requesting the minimum variance.

Member Aseltyne MOVED to approve the variances requested by M.J. Whelan Construction from Article 3.1.6.E and Article 7.23.A of the Zoning Ordinance for Parcel Number 12-22-477-005, identified as 10245 Lakeside Drive, in order to construct a second-story addition. A variance from Article 7.23.A is granted to allow: the addition to encroach 1.3 feet into the required setback from the west side lot line. A 37.50-foot variance from the required lot width and a 1,110 square foot variance from the required lot area are also granted from Article 3.1.6.E. This approval will have the following conditions:

- **The Applicant shall obtain all necessary permits from the White Lake Township Building Department.**

Member Schillack SUPPORTED and the motion CARRIED with a roll call vote (5 yes votes): (Aseltyne/yes, Schillack/yes, Dehart/yes, Spencer/yes, Seiber/yes).

- B. Applicant: Juergen Drengk
26136 Keith Street
Dearborn Heights, MI 48127
Location: **2940 Ripple Way**
White Lake, MI 48383 identified as 12-31-401-004
Request: The applicant requests to construct an accessory building, requiring variances from Article 5.7.C, Accessory Buildings or Structures in Residential Districts Maximum Wall Height and Maximum Building Height.

Chairperson Spencer noted for the record that 26 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report. He stated the plans included in the packet reflecting building height were not drawn to scale.

Member Dehart asked staff if the height of the building could be reduced. Staff Planner Quagliata said the proposed wall height was 16 feet, and the proposed overhead door was 14 feet high.

Juergen Drengk, 26136 Keith Street, was present to speak on his case. He said he needed the 14-foot door for his RV. He needed 16-foot wall height for the roller tracks for the door to clear. He said he was going to use materials for the garage that would match the house.

Member Schillack asked the applicant if there was something about the lot that posed a practical difficulty. Mr. Drengk said he had only asked for a 1.5-to-2-foot variance.

Member Seiber asked the applicant if roof trusses were being used. Mr. Drengk confirmed. Member Seiber asked if scissor trusses could be used, or shifting the door toward the center of the building. Mr. Drengk said he was a car hobbyist and wanted access to the other doors, and that would not be feasible with scissor trusses. Member Seiber suggested rafters with collar ties as another alternative.

Chairperson Spencer opened the public hearing at 8:01 P.M. Seeing no public comment, she closed the public hearing at 8:01. P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

A. Practical Difficulty

- Member Seiber said the topography of the lot could lend itself to an accessory building that did not require variances, and he did not see a practical difficulty.
- Member Schillack said he did not see a practical difficulty related to the lot.

B. Unique Situation

- Chairperson Spencer said there was not a unique situation as there was no practical difficulty.

C. Not Self-Created

- Member Aseltyne said the request was self-created.

D. Substantial Justice

E. Minimum Variance Necessary

Chairperson Spencer said there was no practical difficulty.

Member Seiber MOVED to deny the variances requested by Juergen Drengk for Parcel Number 12-31-401-004, identified as 2940 Ripple Way, due to the following reason(s):

There was no practical difficulty demonstrated, and there were alternatives available to construct the accessory building that would provide the applicant the end result he desired and still remain in compliance with the ordinance.

Member Aseltyne SUPPORTED, and the motion CARRIED with a roll call vote (5 yes votes): (Seiber/yes, Aseltyne/yes, Dehart/yes, Spencer/yes, Schillack/yes)

- C. Applicant: Michelle Squires
9578 Buckingham Road White Lake, MI 48386
Location: **9578 Buckingham Road**
White Lake, MI 48386 identified as 12-14-201-014
Request: The applicant requests to allow a single-family house to exceed the maximum lot coverage, requiring a variance from Article 3.1.6.E, R1-D Single Family Residential Maximum Lot Coverage.

Chairperson Spencer noted for the record that 20 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Staff Planner Quagliata presented his staff report.

Member Schillack asked staff if a building permit was still open on the property. Staff Planner Quagliata confirmed.

Member Dehart asked staff how the lot coverage issue occurred. Staff Planner Quagliata said the application submitted in 2020 was not accompanied by a survey, and the information used for lot area at the time was from Oakland County property records. Based on the survey submitted with the current variance application, the parcel was 12,910 square feet in size; Oakland County information indicated the parcel was approximately 13,111 square feet in size. There was a lot area discrepancy of 201 square feet. Additionally, the drawing provided with the 2020 variance application indicated proposed lot coverage was 3,739.10 square feet; however, the survey submitted with the current variance application indicated 4,190 square feet of lot coverage (451 square feet of additional lot coverage than considered in 2020).

Member Seiber asked staff if construction on the house related to the permits was completed. Staff Planner Quagliata said yes, but the permits had not been finalized out.

Member Dehart asked staff how much square footage would need to be removed to bring the lot coverage into compliance with the approved variances. Staff Planner Quagliata said the two covered porches and the shed were 421 square feet. The total unapproved square footage was 451 square feet.

Michelle Squires, 9578 Buckingham, was present to speak on her case. She said the shed near the driveway was there previously. She said she understood the as-built survey had to be submitted before permits could be finalized. She stated she “rolled the dice” when the footings were poured in 2020. She had the house built off of the variances and was unaware of the difference in the lot coverage.

Chairperson Spencer opened the public hearing at 8:32 P.M.

Nick Oosting, 9568 Buckingham, spoke in opposition of the applicant’s request.

Chairperson Spencer closed the public hearing at 8:33 P.M.

The ZBA discussed the standards from Article 7, Section 37 from the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Seiber said the applicant followed the permits.
 - Chairperson Spencer said she did not see a practical difficulty related to the land.
- B. Unique Situation
 - Chairperson Spencer said the lot was one of the few conforming parcels.
 - Member Schillack said it was a double lot, and there was more room to build on this lot than others.
- C. Not Self-Created
 - Member Schillack said a survey was not presented when requested.
- D. Substantial Justice
 - Member Aselyne said a bad precedence would be set for the area.
- E. Minimum Variance Necessary
 - Chairperson Spencer said there was no practical difficulty.

Member Aselyne asked staff what repercussions of denial would be. Staff Planner Quagliata said results would be based on denial by the ZBA, which could include removal of square footage to reduce lot coverage.

Member Schillack MOVED to deny the post-construction variance requested by Michelle Squires for Parcel Number 12-14-201-014, identified as 9578 Buckingham Road, for the reasons stated at this hearing, including failure to meet the standards of Article 7, Section 37 of the Zoning Ordinance. The shed with overhang on the west side of the parcel, the shed on the east side of the parcel, the covered front porch, and covered/enclosed rear porch shall be demolished or otherwise removed from the property by July 25, 2022.

**Member Aselyne SUPPORTED, and the motion CARRIED with a roll call vote (3 yes votes):
(Schillack/yes, Aselyne/yes, Seiber/no, Dehart/no, Spencer/yes).**

OTHER BUSINESS

None.

ADJOURNMENT

MOVED by Member Aselyne, SUPPORTED by Member Dehart to adjourn the meeting at 8:50 P.M. The motion CARRIED with a voice vote (5 yes votes).

NEXT MEETING DATE: June 23, 2022 Regular Meeting

DRAFT

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS**

**REPORT OF THE
COMMUNITY DEVELOPMENT DEPARTMENT**

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: June 23, 2022

Agenda item: 7a

Appeal Date: June 23, 2022

Applicant: Matthew Follis

Address: 64 Union Lake Road
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Location: 9179 Kettering Avenue
White Lake, MI 48386

Property Description

The approximately 0.183-acre (7,985 square feet) parcel identified as 9179 Kettering Avenue is located on the south side of Kettering Avenue, east of Round Lake Road and zoned R1-D (Single Family Residential). The existing house on the property (approximately 1,148 square feet in size) utilizes a private well for potable water and a private septic system for sanitation.

Applicant's Proposal

Matthew Follis, the applicant, is proposing to construct single- and second-story additions on the house, as well as a two-car attached garage.

Planner's Report

The existing house was built in 1938 and is nonconforming to setbacks; the structure is located 0.60 feet from the west side lot line. A minimum 10-foot side yard setback is required in the R1-D zoning district. The parcel is also nonconforming due to a 4,015 square foot deficiency in lot area; in the R1-D zoning district the minimum lot size requirement is 12,000 square feet. The applicant is requesting a variance to address the area nonconformity.

Based on the building permit application, the house (with living space and attached two-car garage additions) would be approximately 2,834 square feet in size (first floor: 1,373 square feet; second floor: 843 square feet; garage: 618 square feet). The submitted proposed garage addition plan differs from the submitted plot plan for garage addition. The proposed plan for garage addition shows a 28-foot by 28-foot (784 square feet) first-floor addition (including garage) and the plot plan for garage addition shows a 30-foot by 28-foot (840 square feet) first-floor addition (including garage). Additionally, the scale on the proposed garage addition plan is incorrect; the plan does not scale at 1 inch = 30 feet, but rather 1 inch = 20 feet. Furthermore, the plot plan for garage addition does not scale to all of the building dimensions labeled. Also, the plot plan for garage addition shows a shed in the southwest corner of the property and the proposed garage addition plan does not; the latter plan notes the existing shed is 144 square feet. The plans show differing setbacks for the addition, however, compliance with setbacks is shown on both plans.

The submitted elevations, floor plans, and cross section are not drawn to scale. Based on the dimensions provided on the floor plan, the garage would be 645 square feet, the remaining first floor addition would be 195 square feet, and the second floor would be 864 square feet. The aforementioned square footages differ from the square footage of proposed construction listed on the building permit application; however, the sizes are relatively close. All plans submitted should be consistent among the set and consistent with the building permit application.

Based on the proposed garage addition plan, the proposed lot coverage is 26% (2,087 square feet), which is 6% (490 square feet) beyond the 20% maximum lot coverage allowed (1,597 square feet).

Article 7, Section 28 of the zoning ordinance states repairs and maintenance to nonconforming structures cannot exceed fifty percent (50%) of the State Equalized Valuation (SEV) in any period of twelve (12) consecutive months. Further, the ordinance does not allow the cubic content of nonconforming structures to be increased. Based on the SEV of the structure (\$24,510), the maximum extent of improvements cannot exceed \$12,255. The value of the proposed work listed on the variance application is \$23,000 and the value of improvement listed on the building permit application is \$25,000. A variance to exceed the allowed value of improvements by 204% is requested.

Based on the submitted plans and scope of the project staff believes the valuation of work is underestimated and would exceed \$25,000, therefore the requested variance for the value of improvements is inaccurate. For reference, the 2022 Building Valuation Data published by the International Code Council estimates cost of construction at \$150.87 per square foot for living areas and \$60.43 per square foot for private garages. Including the single- and second-story additions on the house as well as a two-car attached garage, an estimate for the value of improvement could range from \$180,000 - \$200,000 (\$35,000 - \$40,000 garage).

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 7.23.A	Nonconforming structure	No enlargement or alteration	Enlarge and alter nonconforming house	Increased nonconformities
2	Article 7.28.A	Nonconforming structure	50% SEV (\$12,255)	204%	\$12,745 over allowed improvements
3	Article 3.1.6.E	Minimum lot area	12,000 square feet	4,015 square feet	7,985 square feet

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Matthew Follis from Articles 3.1.6.E, 7.23.A, and 7.28.A of the Zoning Ordinance for Parcel Number 12-35-276-039, identified as 9179 Kettering Avenue, in order to construct an addition. A variance from Article 7.23.A is granted to allow: the addition to exceed the allowed lot coverage by 6%. A variance from Article 7.28.A is also granted to exceed the allowed value of improvements to a nonconforming structure by 204%. A 4,015 square foot variance from the required lot area is also granted from Article 3.1.6.E. This approval will have the following conditions:

- The Applicant shall obtain all necessary permits from the White Lake Township Building Department.
- No mechanical units, including HVAC system or generator, shall be placed within any side yard setbacks or the front yard.
- A foundation certificate shall be required prior to the backfill inspection by the Building Department.
- An as-built survey shall be required to verify the approved lot coverage.
- Revised plans drawn to scale shall be submitted to the satisfaction of the Building Official.

Denial: I move to deny the variances requested by Matthew Follis for Parcel Number 12-35-276-039, identified as 9179 Kettering Avenue, due to the following reason(s):

Table: I move to table the variance requests of Matthew Follis for Parcel Number 12-35-276-039, identified as 9179 Kettering Avenue, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated May 25, 2022.
2. Proposed garage addition plan dated May 24, 2022.
3. Plot plan dated February 11, 2022.
4. Elevations received by the Township on June 3, 2022.
5. Floor plans.
6. Cross section dated April 4, 2022.
7. Letter of denial from the Building Official dated April 18, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficulty results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
- i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION
Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: Matthew Follis PHONE: 5862756288
ADDRESS: 64 Union Lake Rd White Lake MI 48386
APPLICANT'S EMAIL ADDRESS: matt@moneyworkingsmarter.com
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 9179 Kettering Ave PARCEL # 12 - 35-276039
CURRENT ZONING: R1D PARCEL SIZE: 7985 sq ft

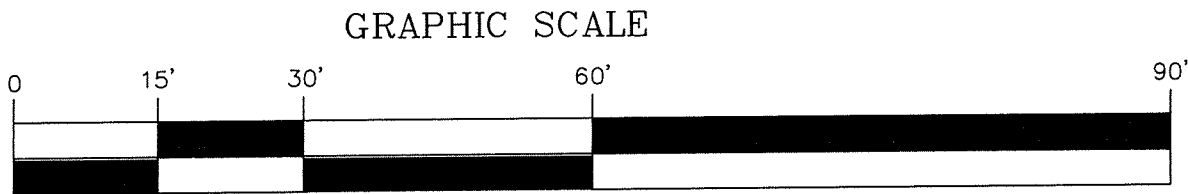
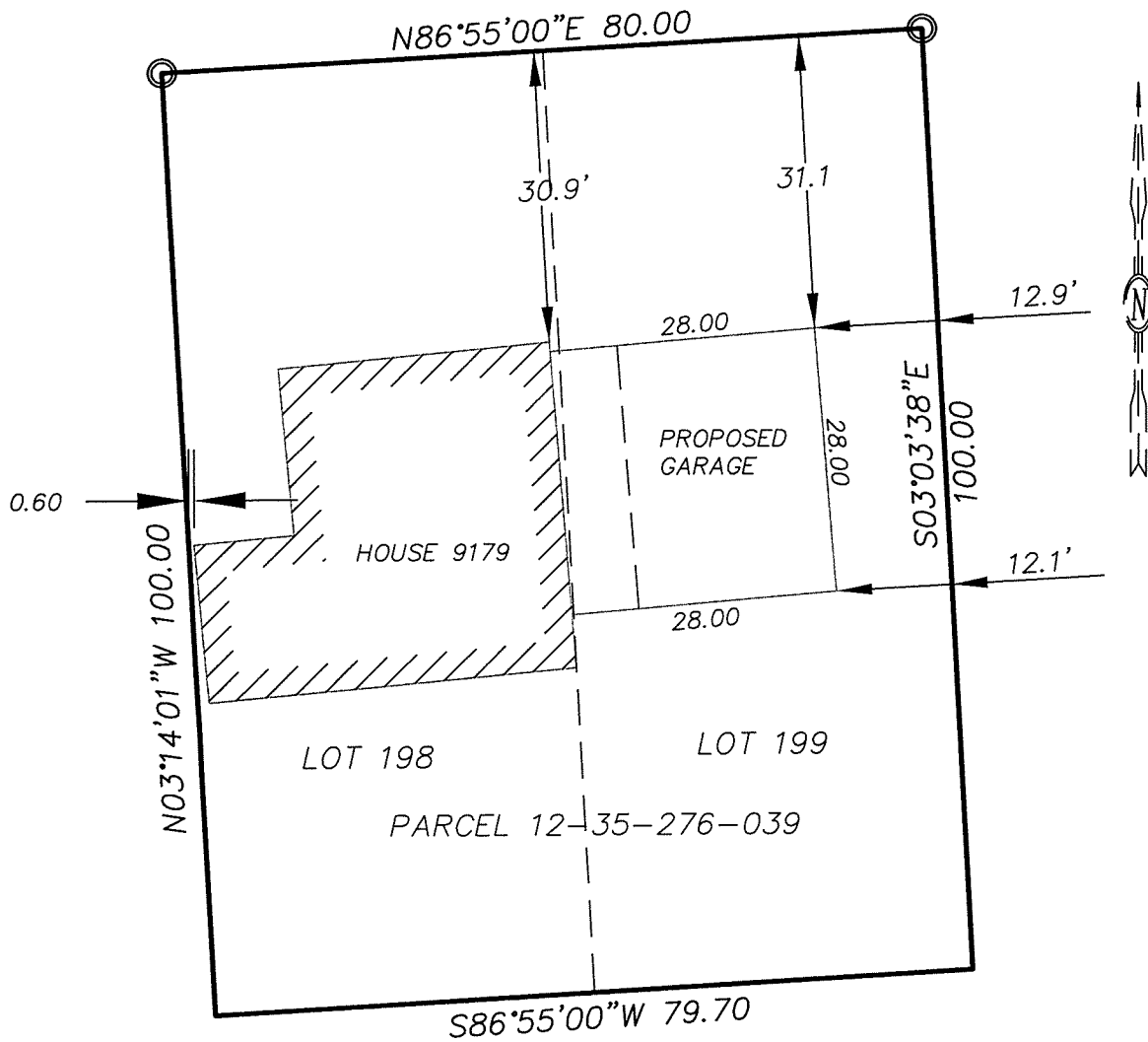
STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____
VALUE OF IMPROVEMENT: \$ 23,000 SEV OF EXISITING STRUCTURE: \$ 66590

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)
APPLICANT'S SIGNATURE: Matthew Follis DATE: 5-25-22

RECEIVED
MAY 25 2022
BUILDING DEPARTMENT

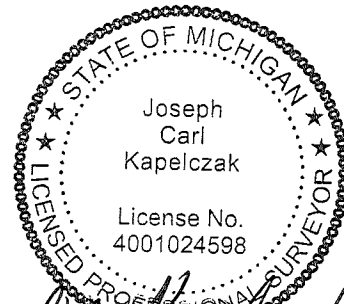
KETTERING AVE. 40' WD.



(IN FEET)
 1 inch = 30' ft.

EXISTING HOUSE 1159 SQ. FT.
 PROPOSED ADDITION 784 SQ. FT.
 EXISTING SHED 144 SQ. FT.
 TOTAL 2087 SQ. FT.
 LOTS 198 & 199 TOTAL 7985 SQ. FT. AS SURVEYED
 TOTAL BUILDING AREA 26% OF THE PARCEL

PROPERTY DESCRIPTION:
 T3N, R8E, SECTION 35 LOT 198 & 199 "MARJORIE VESTA
 PARK" SUBD. AS RECORDED IN LIBER 20, PAGE 7, OAKLAND
 COUNTY PLATS.



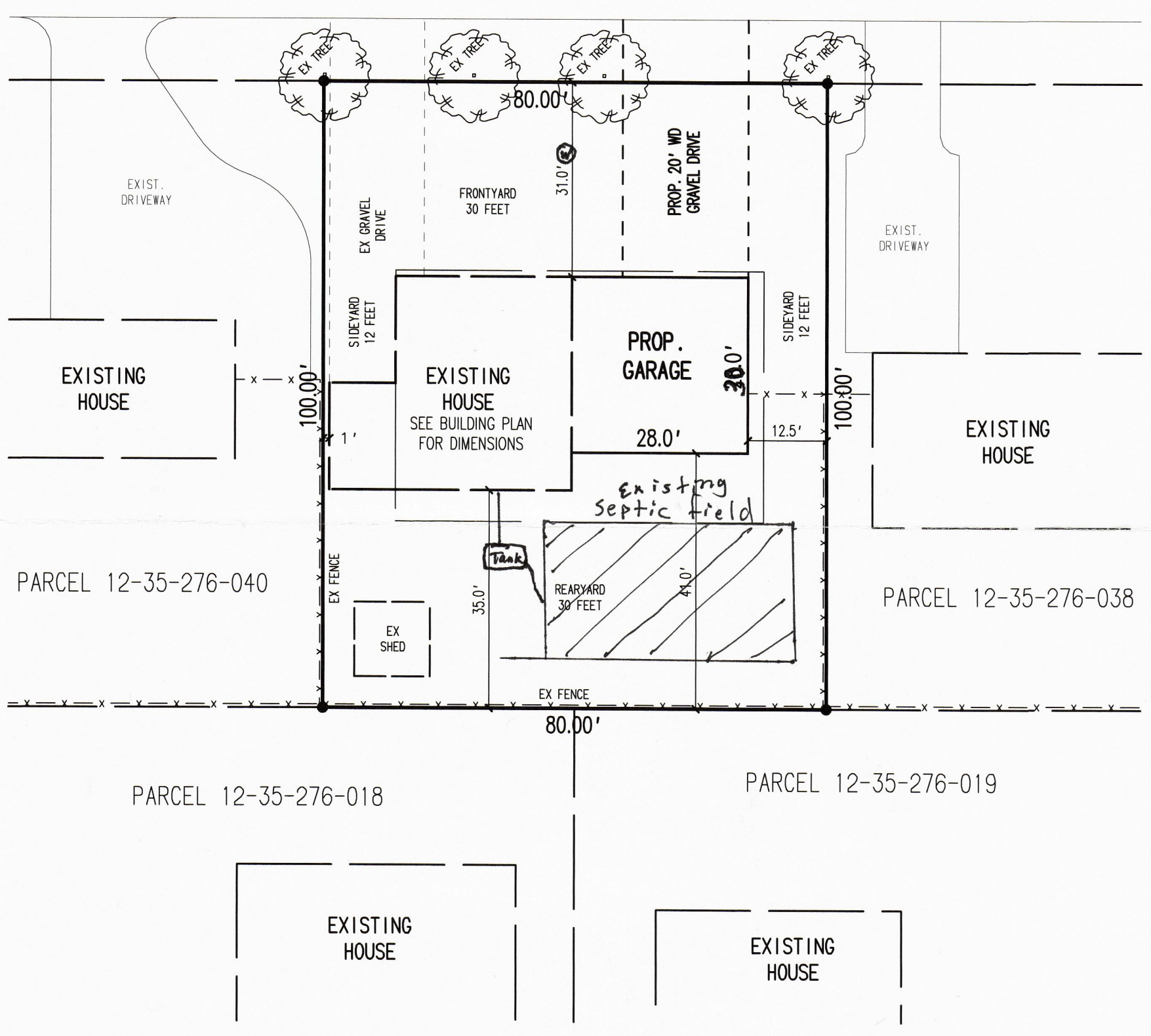
Joseph C. Kapelczak

<p>Scale: 1"=30' Date: 5/24/22 Job No.: 10999 Shet. No.: 1 OF 1</p>	<p>Matthew Follis 9179 Kettering Ave. White Lake, Mi. 48386</p>	<p>PROPOSED PLAN GARAGE ADDITION</p>	<p>TRI-COUNTY SURVEYING, INC. 8615 RICHARDSON RD COMMERCE TWP., MICHIGAN 48390 248-363-2550</p>
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PLOT PLAN FOR GARAGE ADDITION 9179 KETTERING AVENUE WHITE LAKE, MICHIGAN

KETTERING AVENUE (40' WD ROW)

EXIST. ~~GRAVEL~~ Asphalt



DESCRIPTION:

9179 KETTERING AVENUE, PARCEL 12-35-276-039
 A PART OF SECTION 35, T-3-N, R-8-E, WHITE LAKE TOWNSHIP
 OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED
 AS LOT 198 AND 199 OF MARJORIE VESTA PARK. CONTAINING 8,000 SF
 OR 0.18 ACRES

PROPRIETOR:
 MR. MATTHEW FOLLIS
 C/O JJ & L CONSTRUCTION LLC
 64 UNION LAKE ROAD
 WHITE LAKE, MI 48386
 PH (586) 275-6288

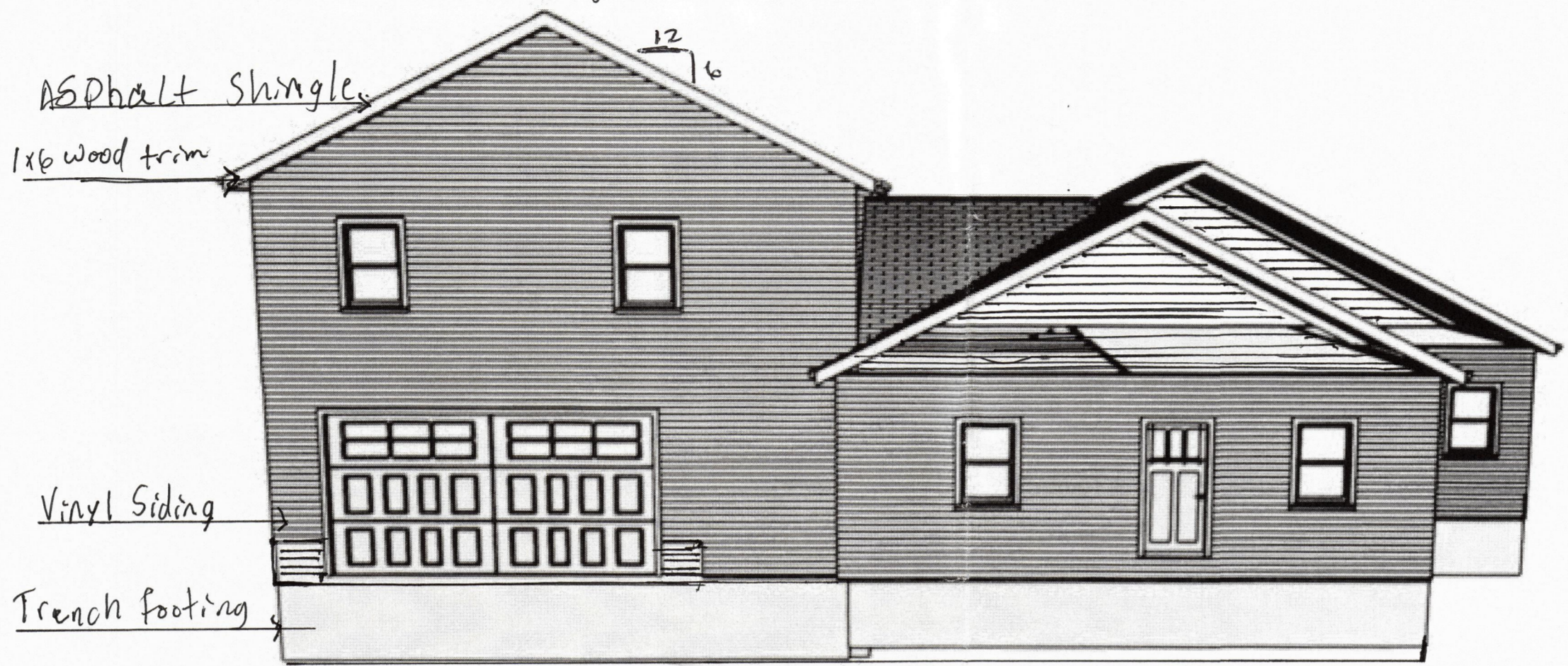
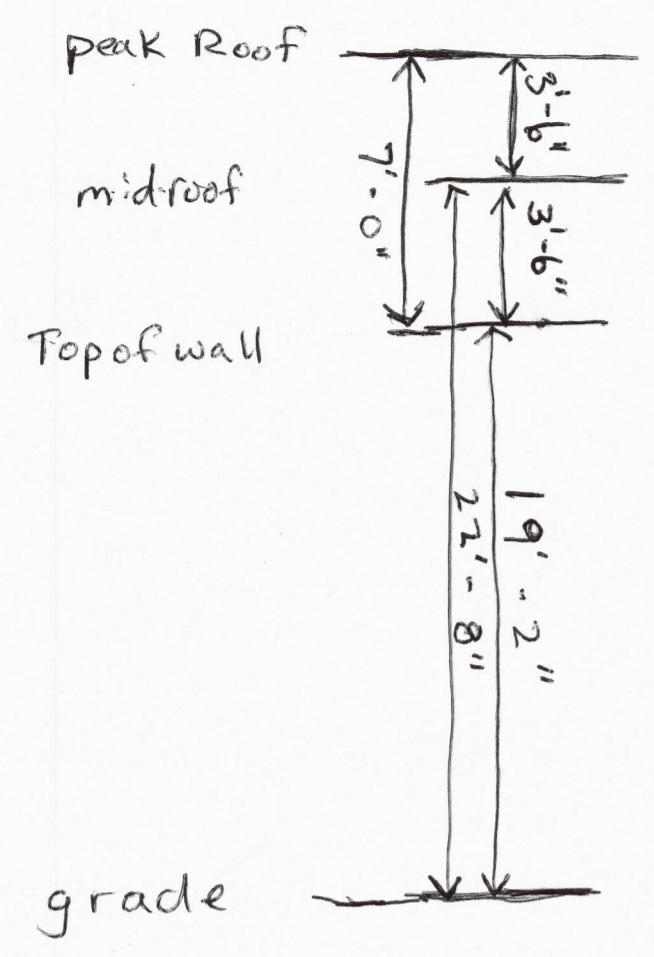
JJ & L CONSTRUCTION LLC
 64 UNION LAKE ROAD
 WHITE LAKE, MICHIGAN 48386
 PH (586) 275-6288

DRAWN BY	MF	SCALE	1" = 20'
CHECKED BY	MF	DATE	02-11-22
SHEET NO.	1 OF 1	JOB NO.	2256-01

9179 KETTERING AVE

NORTH ELEVATION

Garage addition



9179 KETTERING AVE

SOUTH ELEVATION

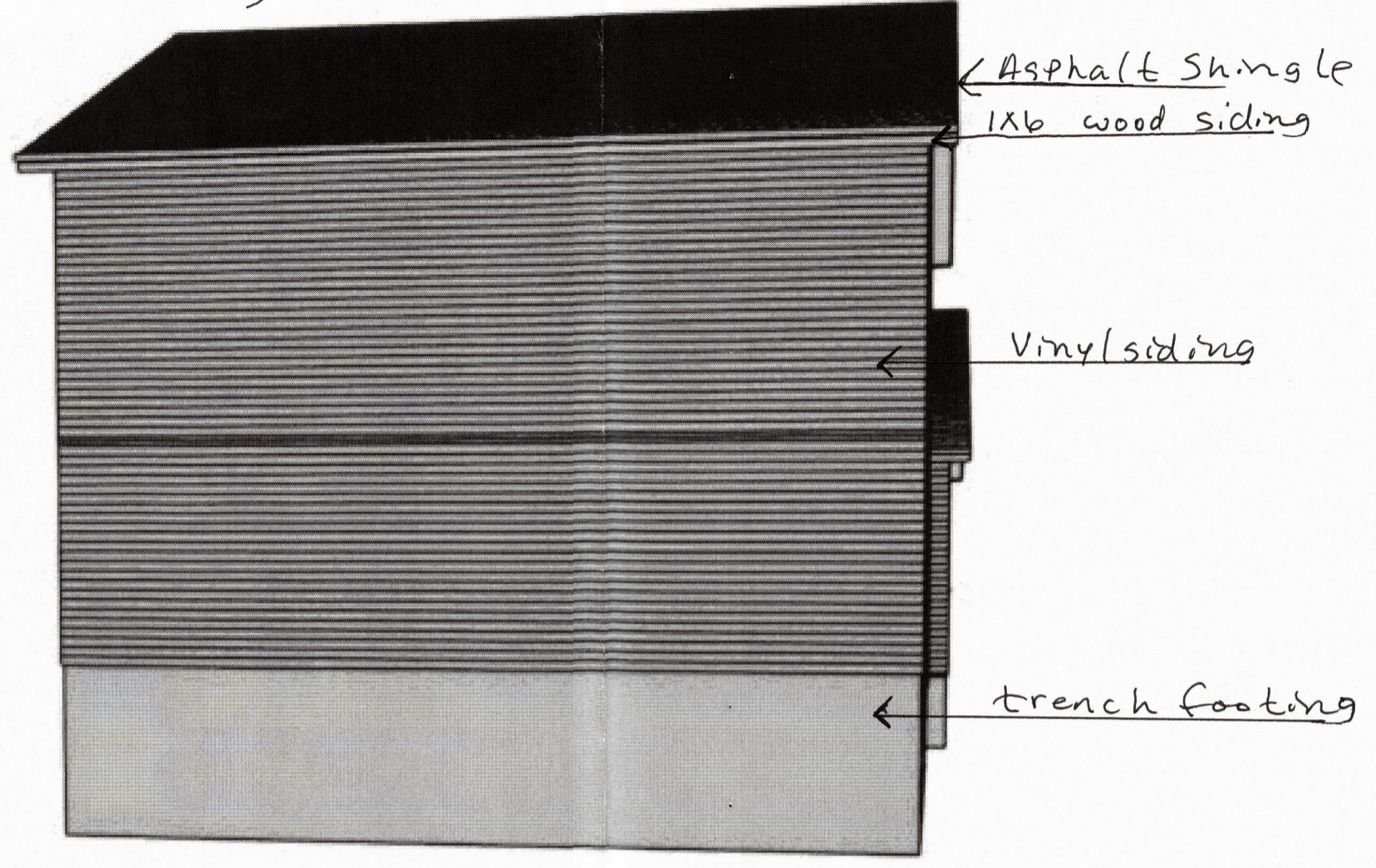
GARAGE Addition

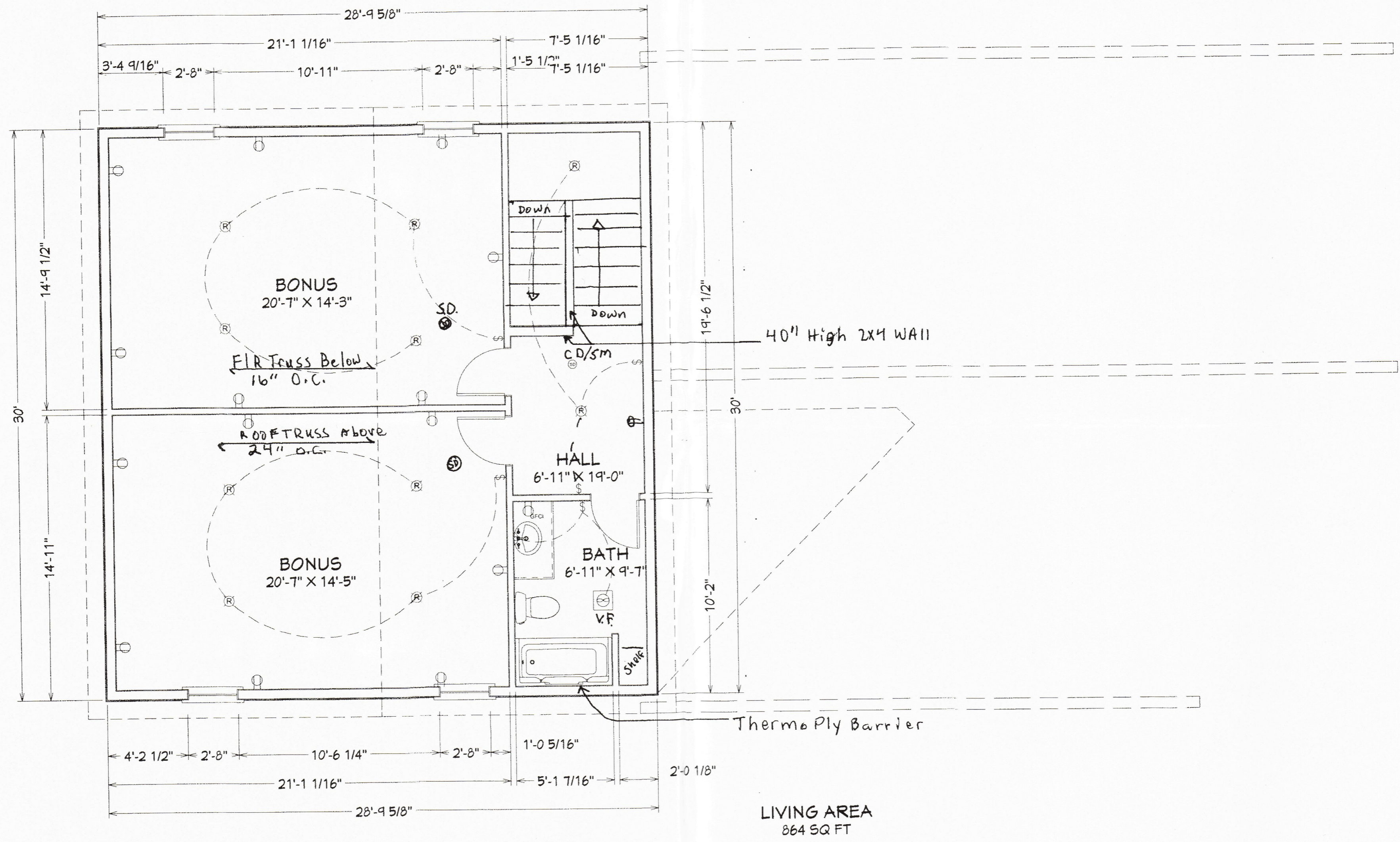


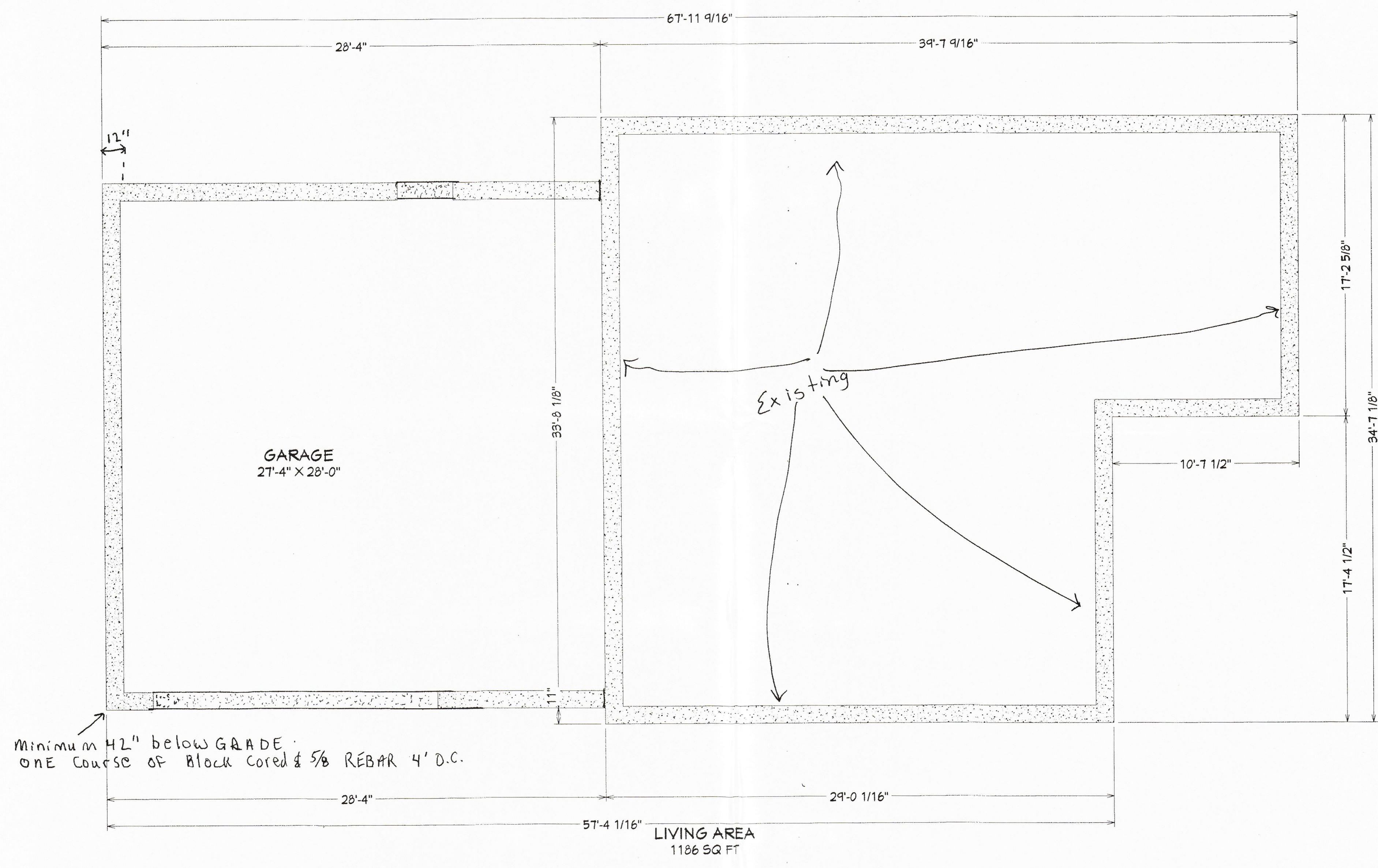
9179 KETTERING AVE

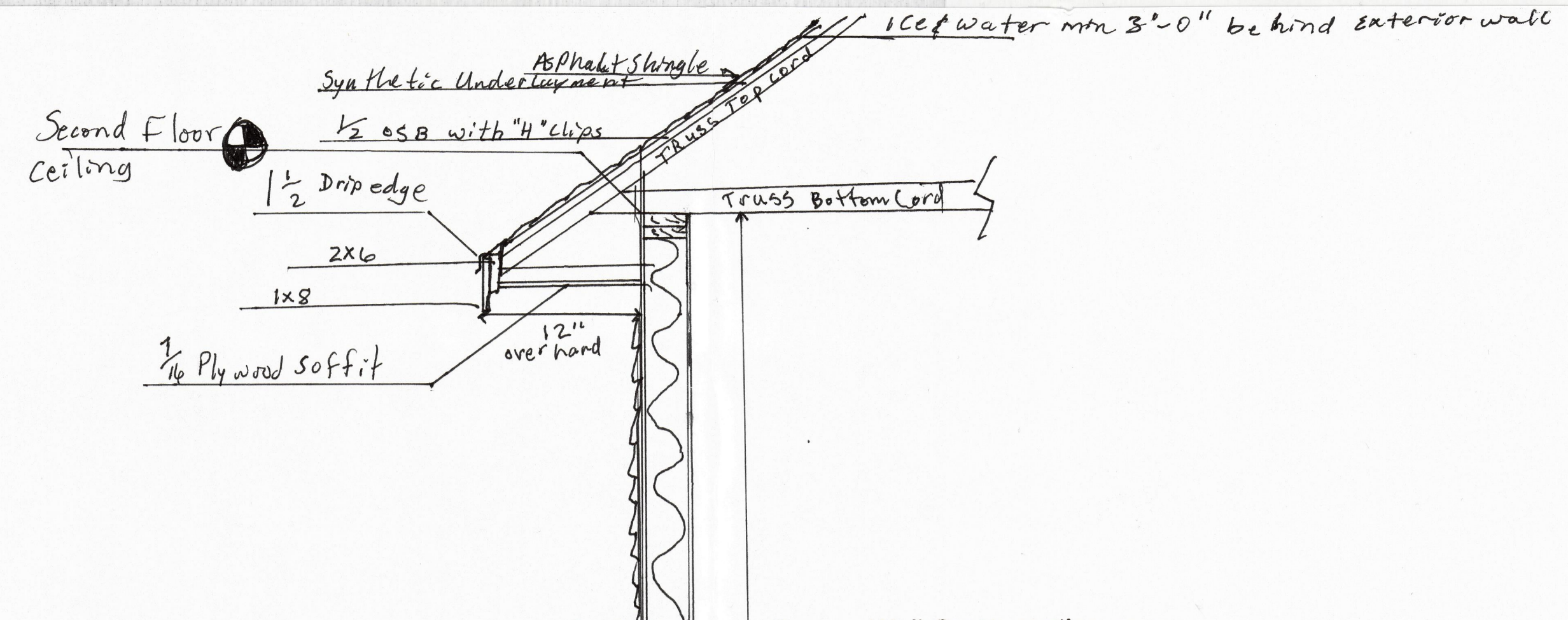
EAST ELEVATION

Garage Addition



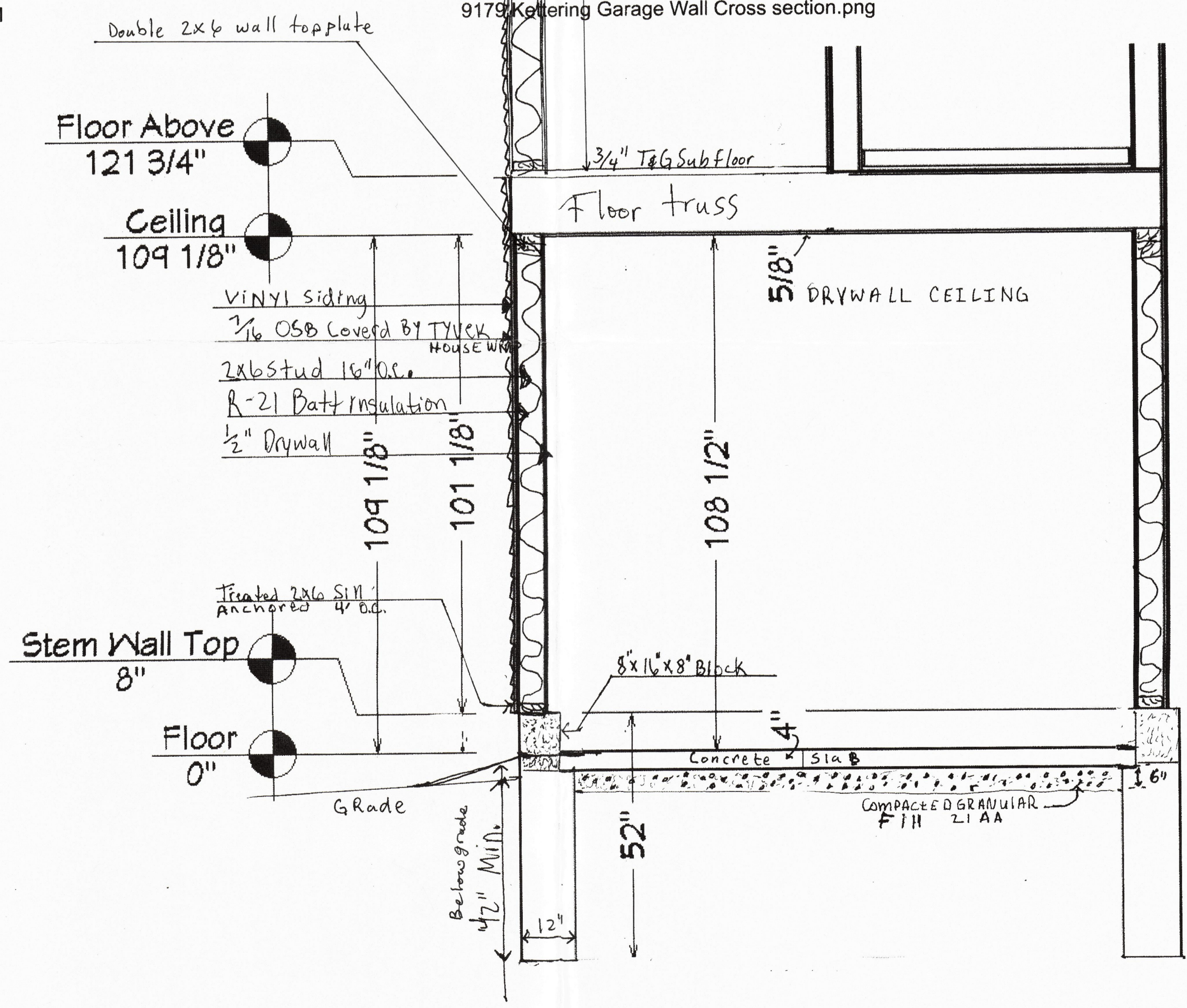






4/4/22, 12:48 PM

9179 Kettering Garage Wall Cross section.png



Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

April 18, 2022

Matthew Follis
9179 Kettering Ave
White Lake, MI 48386

RE: Proposed Garage Addition

Based on the submitted plans, the proposed residential structure does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a minimum side yard setback total of 20 ft, minimum lot area of 12,000 sq ft, and maximum lot coverage of 20%.

The existing lot and structure are legal non-conforming. The 8,000 sq ft, contains a residential structure with an approximate 1 ft side yard setback on the west side. The proposed new structure would have an approximate 12.5 ft side yard setback on the east side for a total estimated side yard setback of 13.5 ft. Furthermore, based on the submitted plan, the lot coverage would be approximately 26%.

Approval of the building permit would be subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the May 26th Zoning Board of Appeals (ZBA) meeting, application must be submitted to the White Lake Township Planning Department no later than April 28th at 4:30 PM. **A certified boundary and location survey will be required by the ZBA.** The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Justin Quagliata, Staff Planner
DATE: June 23, 2022

Agenda item: 7b

Appeal Date: June 23, 2022

Appellant: James Dainty

Address: 8560 Pontiac Lake Road
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Location: 8560 Pontiac Lake Road
White Lake, MI 48386

Property Description

The parcel identified as 8560 Pontiac Lake Road is located on Pontiac Lake and zoned R1-D (Single Family Residential), but the current use of the property includes boat storage and ancillary services.

Appellant's Proposal

James Dainty, the Appellant, has filed his application to the Zoning Board of Appeals (ZBA) under the following two bases: 1) appealing an order of a Township Official regarding a structure erected on the property in violation of the zoning ordinance because the use of the property and the structure are not permitted in the R1-D zoning district, and 2) if the appeal in Number 1, above, is granted, a variance to allow the structure to encroach within the front yard setback.

While not requested by the Appellant nor noticed for public hearing, if Appeal Number 1 is granted, an additional variance for the height of the structure would be required.

Planner's Report

The Township was made aware of unpermitted construction activity on the property. On May 11, 2022 the Building Official, after a site visit, sent the property owner a letter stating application for a building permit in pursuance of erecting the structure in question had not been made and received by the Township. The letter advised the Appellant the ongoing work required permits and inspections, and referenced the property's R1-D zoning and indicated commercial activity was not a permitted use on the property. A Stop Work Order was issued.

On May 13, 2022 staff was alerted of work continuing on the structure. The Building Official and Staff Planner visited the site and spoke with the property owner regarding the work taking place despite the issuance of a Stop Work Order. The Staff Planner informed the property owner the land use (boat storage and ancillary services) was not permitted in the R1-D zoning district. The property owner was informed the unpermitted, nonconforming structure must be removed within 30 days, no later than June 12, 2022. In response to the order to remove the structure, a ZBA application was filed by the Appellant.

The Appellant should be advised without applying for and receiving approval of Class A nonconforming designation for use of the property, enforcement action may commence regarding the use on the property with or without the structure.

Appeal Number 1

The written statement provided with the Appellant's application states the structure allows expanded capacity "(storage of more boats – plus the added ancillary services – hauling/winterizing/maintenance/shrink-wrapping/etc.)." A boat storage facility is not a permitted or special land use in the R1-D zoning district, nor has Appellant demonstrated its legal nonconforming status. Therefore, in accordance with Article 7, Section 25.F.vi of the zoning ordinance this nonconforming use shall not be permitted to continue. The newly erected structure was ordered removed.

Appeal Number 2 (if applicable)

The structure appears to be located within the front yard setback, which is 30 feet in the R1-D zoning district. In addition to the Appellant appealing the order to remove the structure, a variance was requested to allow the structure to encroach within the front yard setback. A survey was not provided to demonstrate the setback.

*Appeal Number 3 (if applicable; **provided for informational purposes only/not requested or noticed for a public hearing**)*

Based on information submitted by the Appellant, the structure erected on the property is a 27-foot-tall boat storage rack. Article 5, Section 7.C of the zoning ordinance limits accessory building or structure walls in all residential districts to 14 feet in height and building height to 18 feet.

The Appellant provided a written statement with the application. None of the reasons listed in the letter are valid for granting an appeal or variance. Additionally, the zoning ordinance prohibits the ZBA from considering personal circumstances, economic hardship, and optimum profit potential. In making its decision, all of the standards found in Article 7, Section 37 of the zoning ordinance (attached as page 5 to this report) must be satisfied in order to grant a variance. The Community Development Department recommends the ZBA affirm the order of the Staff Planner and deny the appeal.

In its determination of the appeal, the decision shall be made by a concurring vote of a majority of the members of the Zoning Board of Appeals. The Zoning Board of Appeals may take any of the following actions:

1. Affirm the decision of the Staff Planner with or without modification.
2. Reverse the decision of the Staff Planner and state its reason therefor.
3. Modify the decision of the Staff Planner.
4. Postpone the request.

Zoning Board of Appeals Options:

Affirm: I move to affirm the order of the Staff Planner to require removal of the unpermitted, nonconforming structure and deny the appeal by James Dainty for Parcel Number 12-13-328-004, identified as 8560 Pontiac Lake Road, for the reasons stated at this hearing, including:

-
-
-

The Appellant shall remove the unpermitted, nonconforming structure from the property by August 22, 2022.

Reverse: I move to reverse the order of the Staff Planner and approve Appeal Number 1 and Appeal Number 2 by James Dainty for Parcel Number 12-13-328-004, identified as 8560 Pontiac Lake Road, for the reasons stated at this hearing, including:

-
-
-

Postpone: I move to postpone the appeal of James Dainty to a date certain or other triggering mechanism for Parcel Number 12-14-328-004, identified as 8560 Pontiac Lake Road, to consider comments stated during this hearing.

Attachments:

1. Application dated May 27, 2022, as amended on June 16, 2022.
2. Appellant’s written statement.
3. Plans submitted by Appellant.
4. Letter from Building Official dated May 11, 2022.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficult results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION

Item B.

Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: James Dainty PHONE: (248) 666-1029
ADDRESS: 8560 Pontiac Lake Rd, White Lake, MI 48386
APPLICANT'S EMAIL ADDRESS: jrdainty@yahoo.com
APPLICANT'S INTEREST IN PROPERTY: OWNER BUILDER OTHER: _____

ADDRESS OF AFFECTED PROPERTY: 8560 Pontiac Lake Rd PARCEL # 12 - 13-388-004
CURRENT ZONING: R2-D NP PARCEL SIZE: 6+ ACRES

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: 7.36 & 3.1.6.E *NP*
VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISTING STRUCTURE: \$ 211,360.00

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$385.00 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)
APPLICANT'S SIGNATURE: [Signature] DATE: 5/27/2022

ZBA Application – Supportive Document
Parcel: 12-13-328-004 AKA: 8560 Pontiac Lake Rd.

A brief summary of reasons to support our request (a fuller version will be communicated during our meeting):

This property has been a boat yard/marina for decades, displaying year-round large percentage visuals of commercial activities directly relating to the marine industry, regardless of whatever zoning has been placed upon it. The property would not have been sold by the previous owner, nor purchased by the current owner, for the amount it did sell for, if not for the commercial/revenue generating aspect that it has had and continues to have. As a business owner, husband, father, and son, I have a fiduciary responsibility to my family to leverage all aspects of the business to maximize revenue potential. This project directly falls in line with everything that has been done on this property for years and years. It is 100% within the scope of all former and current activities, it simply allows us to expand capacity (storage of more boats – plus the added ancillary services – hauling/winterizing/maintenance/shrink-wrapping/etc.). I am an only child, my father is in his mid-60s and the only way for him to be able to enjoy his remaining years (physically and financially), is for me to take over the operations of the business. I'm only able to take on this, and meet the needs of my own family, if our capacity is expanded...thus this request, one that I humbly ask you to consider and approve.



James R. Dainty Jr.

LAST RESORT MARINA

**8560 PONTIAC Rd.
WHITE LAKE, MI 48386
OAKLAND COUNTY**

BUILDING CODE NOTES:

1. APPLICABLE BUILDING CODE: 2015 MICHIGAN BUILDING CODE
2. TYPE OF CONSTRUCTION: IIB
3. DESIGN LOAD CONSIDERATIONS:
WIND LOAD:
BUILDING RISK CATEGORY = II
ULTIMATE WIND SPEED (V_{ult}) = 115 MPH
NOMINAL WIND SPEED (V_{nsd}) = 89 MPH
WIND EXPOSURE = C
4. MAXIMUM ALLOWABLE DEFLECTION IS PER SECTION 1604 AND ASCE 7-10 DESIGN STANDARDS.
5. BOAT LOAD CAPACITIES PER PLAN VIEW
MAXIMUM UNSUPPORTED SPAN ON BOAT RACK COLUMNS 14'-0".
6. ALL BOATS SHOULD BE REMOVED DURING A HIGH WIND ADVISORY.

GENERAL INFORMATION

1. STRUCTURAL PRIMER COLOR: GALVANIZED
2. ALL STRUCTURAL BUILT-UP SECTIONS ARE MADE OF
BAR STOCK: ASTM A529-55
WEB STOCK: ASTM A1011-50
3. ALL FACTORY MILL MEMBERS ARE MADE OF ASTM A992-572.
4. ALL COLD-FORMED STRUCTURAL MEMBERS ARE MADE OF ASTM A653-55.
5. FABRICATION OF ALL STRUCTURAL MEMBERS ARE COMPLETED ON THE PREMISES OF GOLDEN GIANT, INC. GOLDEN GIANT IS A CERTIFIED FACILITY PER MBMA/IAS (AC472) GUIDELINES.

A-325 BOLT TIGHTENING SPECIFICATIONS

PRIMARY FRAME BOLTED CONNECTIONS USING ASTM A-325 HIGH STRENGTH BOLTS SHALL BE TIGHTENED BY "SNUG TIGHT"

RCSC DEFINES THE SNUG-TIGHTENED CONDITION AS "THE TIGHTNESS THAT IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRONWORKER USING AN ORDINARY SPUD WRENCH TO BEING THE PLIES INTO FIRM CONTACT."

SPECIAL INSPECTIONS OF HIGH STRENGTH BOLTS WILL BE DONE BY LARRY HALLADA OF GOLDEN GIANT, INC. AND SHALL BE APPROVED BY THE ENGINEER. A REPORT WILL BE AVAILABLE UPON COMPLETION OF PROJECT.

INDEX OF SHEETS

- S1 COVER SHEET, PLAN VIEW
- S2 FRAMING
- S2.1 CONNECTION DETAILS
- B1 ANCHOR PLAN, DETAILS, REACTIONS
- DT1 CONSTRUCTION DETAILS

GENERAL DESIGN NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE OF DRAWINGS. ITEMS WITHOUT DIMENSIONS SHALL NOT BE MEASURED ACCORDING TO SCALE FOR CONSTRUCTION.

EARTHQUAKE DESIGN DATA

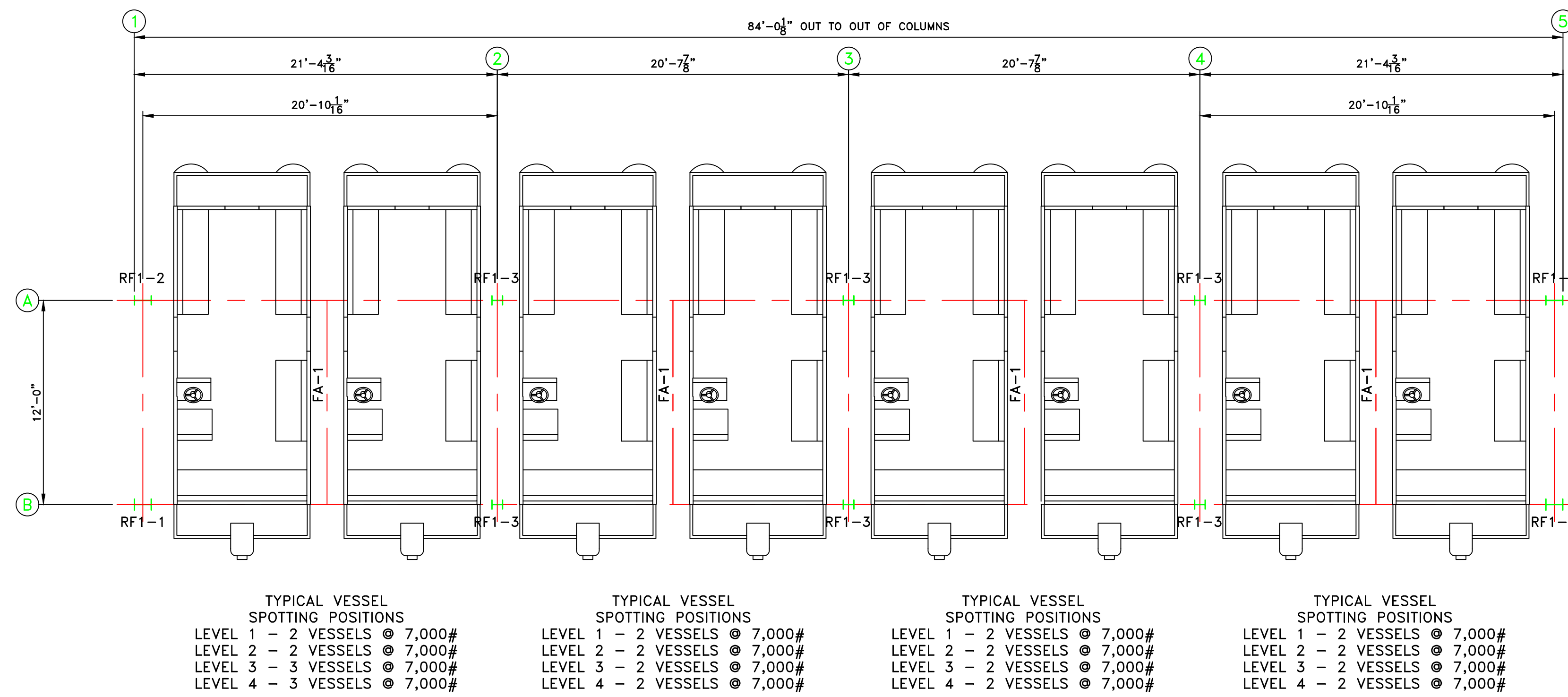
1. SEISMIC USE GROUP: II
SEISMIC IMPORTANCE FACTOR = 1.00
2. DESIGN SPECTRAL RESPONSE ACCELERATION:
SDS = 0.090
SD1 = 0.072
3. SEISMIC SITE CLASSIFICATION: D, SEISMIC DESIGN CATEGORY: B
4. BASE SHEAR: 3.0% OF THE WEIGHT OF STRUCTURE (C_s = 0.030)
5. BASIC SEISMIC FORCE RESISTING SYSTEM: ORDINARY STEEL FRAME (R = 3)
6. ANALYSIS PROCEDURE: SIMPLIFIED PROCEDURE

CONSTRUCTION AND CONTRACTOR NOTES

1. GENERAL CONTRACTOR SHALL REVIEW PLANS AND SPECIFICATIONS WITH GOLDEN GIANT PERSONNEL PRIOR TO START OF CONSTRUCTION. DURING CONSTRUCTION PHASE ANY TECHNICAL CONCERNS REGARDING THE PRE-ENGINEERED BUILDING SHALL BE DIRECTED TO THE ENGINEERING DEPARTMENT OF GOLDEN GIANT, INC.
2. THE CONTRACTOR SHALL VERIFY CORRECTNESS OF PRE-LOCATED ANCHOR BOLT LOCATIONS. SHOULD DISCREPANCIES BE ENCOUNTERED THE ENGINEER SHALL BE CONTACTED AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLARIFYING WITH GOLDEN GIANT, INC. ANY DISCREPANCIES ENCOUNTERED DURING THE CONSTRUCTION PHASE.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADEQUATELY BRACE THE BUILDING AND BUILDING COMPONENTS DURING CONSTRUCTION. ALL BOLTED CONNECTIONS SHALL BE FULLY TIGHTENED DAILY. PRIMARY FRAME BOLTED CONNECTIONS USING HIGH STRENGTH BOLTS SHALL BE TIGHTENED IN ACCORDANCE WITH THE INSTRUCTIONS ON THIS PAGE.
5. BUILDING SHALL BE CONSTRUCTED USING GOOD CONSTRUCTION PRACTICES AND IN ACCORDANCE WITH GOLDEN GIANT'S APPROVED CONSTRUCTION DETAILS CONTAINED IN THESE PLANS. TRIM ITEMS TO BE INSTALLED STRAIGHT AND NEAT WITH CAULKING APPLIED AS NECESSARY TO ENSURE A WEATHER TIGHT BUILDING.
6. MATERIALS THAT WILL BE SUPPLIED BY GOLDEN GIANT, INC. ARE LISTED IN PURCHASE AGREEMENT. ALL OTHER MATERIALS WILL BE SUPPLIED BY OWNER OR GENERAL CONTRACTOR.

GOLDEN GIANT DESIGN CRITERIA

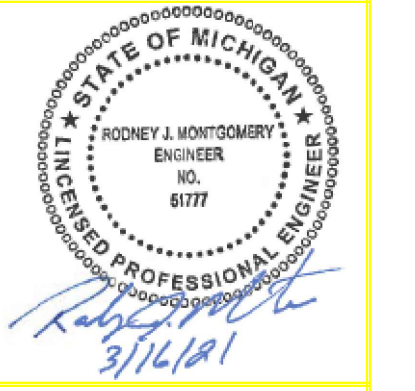
1. SOFTWARE CREATED BY METAL BUILDING SOFTWARE, (MBS) TECHNOLOGIES, INC.
2. AMERICAN INSTITUTE OF STEEL CONSTRUCTION MANUAL 2010, SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS.
3. AMERICAN IRON AND STEEL INSTITUTE MANUAL, 2012 NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORM STEEL STRUCTURAL MEMBERS.
4. HOLLOW STRUCTURAL SECTIONS DESIGN PER HSS-2000 SPEC.
5. FABRICATION OF ALL STRUCTURAL MEMBERS ARE COMPLETED ON THE PREMISES OF GOLDEN GIANT, INC. GOLDEN GIANT IS A CERTIFIED FACILITY PER MBMA/IAS (AC472) GUIDELINES.



RACK PLAN VIEW
SCALE: 1/8" = 1'0"
NORTH

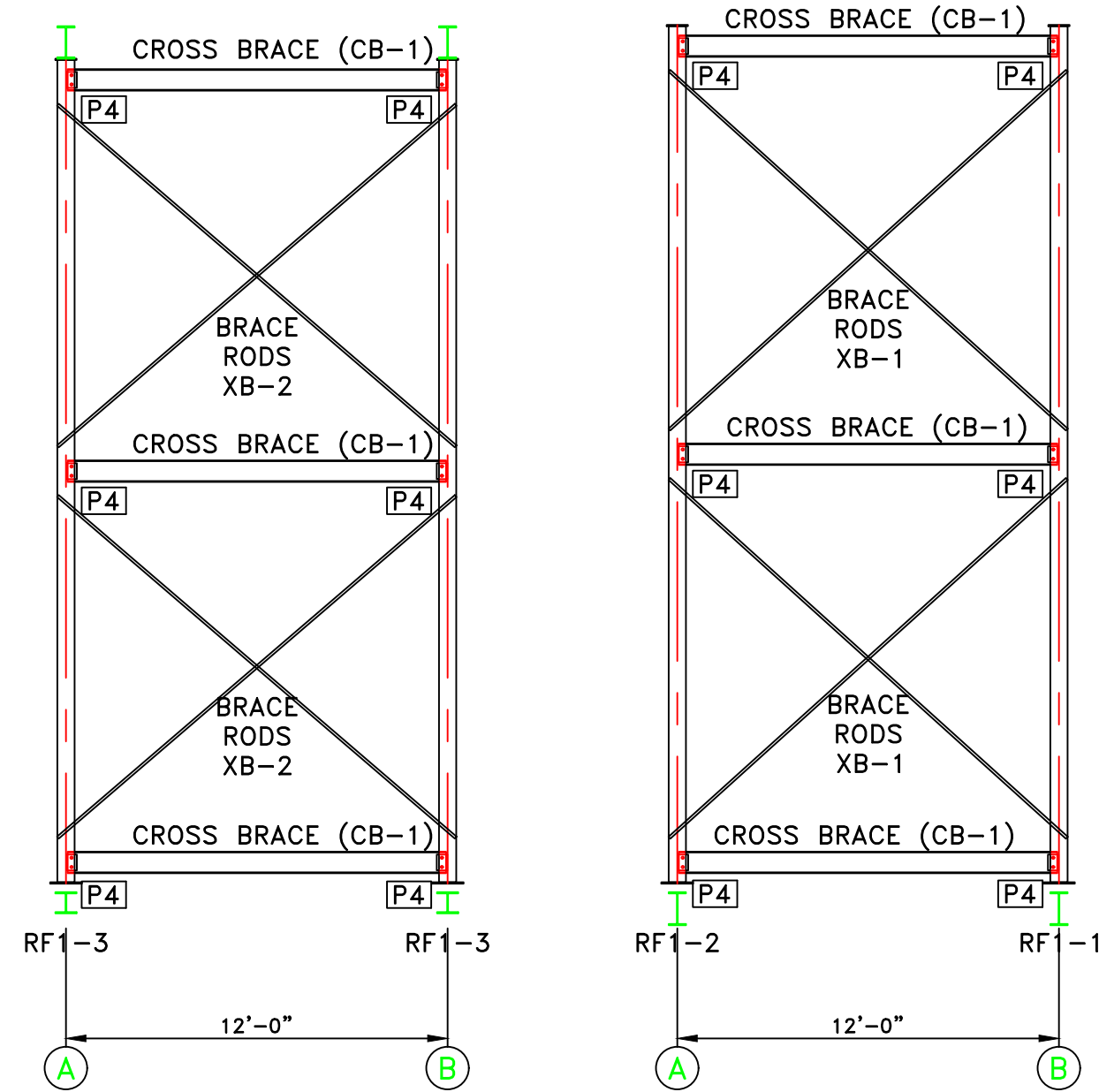
LAST RESORT MARINA
8560 PONTIAC LAKE Rd.
WHITE LAKE, MICHIGAN 48386
OAKLAND COUNTY

DATE	BY	DESCRIPTION



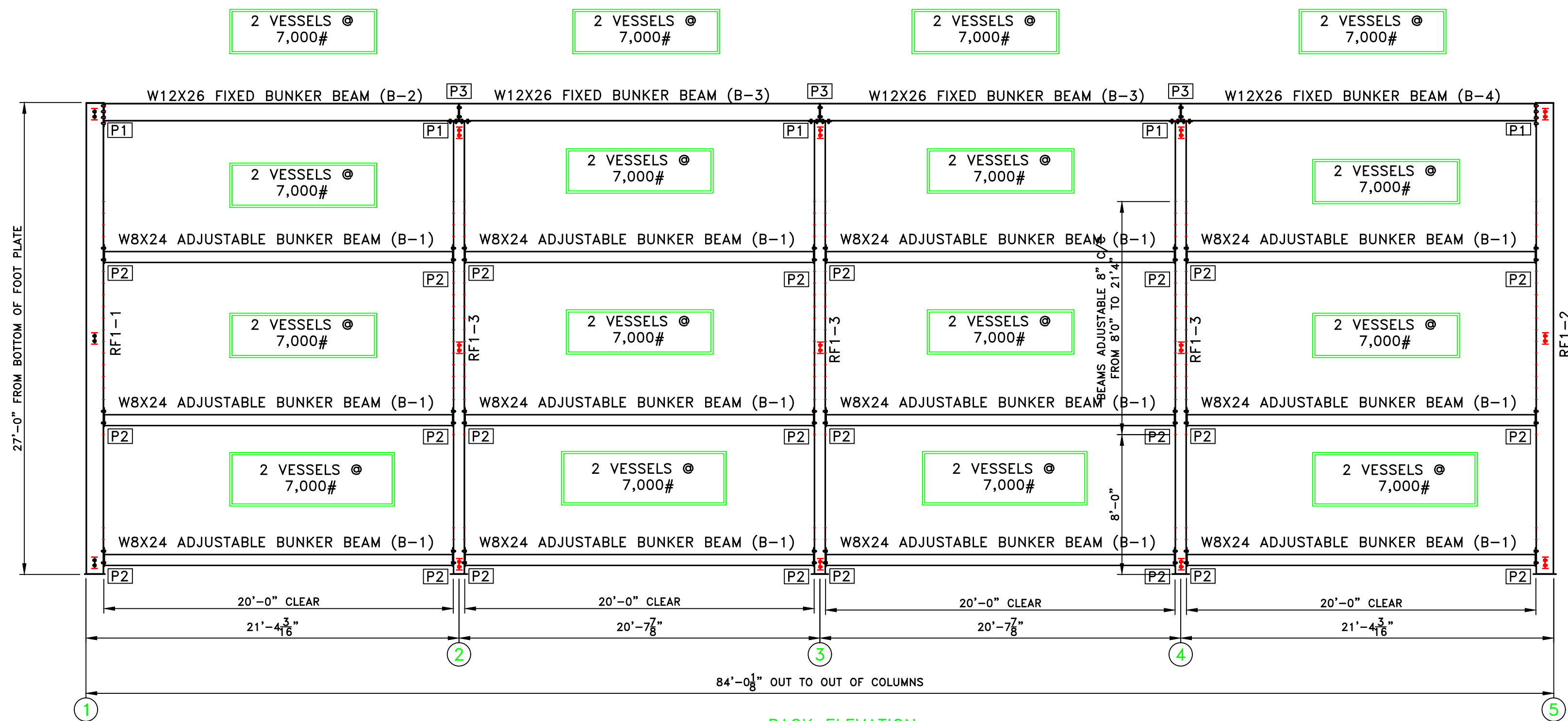
GOLDEN GIANT
BUILDING SYSTEMS
13900 S. Vision Drive
Kenton, OH 43326
www.goldengiant.com
office: 419-674-4038
office: 800-828-1209
fax: 419-673-1384

DATE: 2/22/21
DRAWN BY: AARON BUKOKER
CK'D BY: DATE CK'D
JOB NO. 4012M
SHEET S1



RACK FRAMING PLAN
FRAME LINES 2,3,4
SCALE: 3/8" = 1'0"

RACK FRAMING PLAN
FRAME LINE 1
SCALE: 3/8" = 1'0"

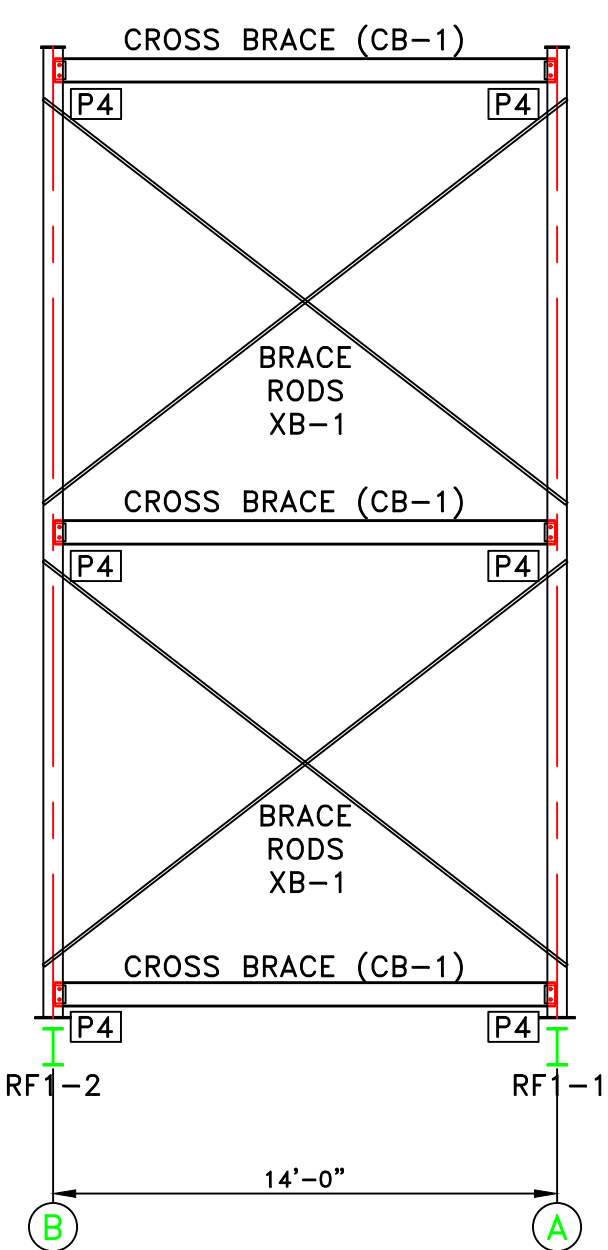


RACK ELEVATION
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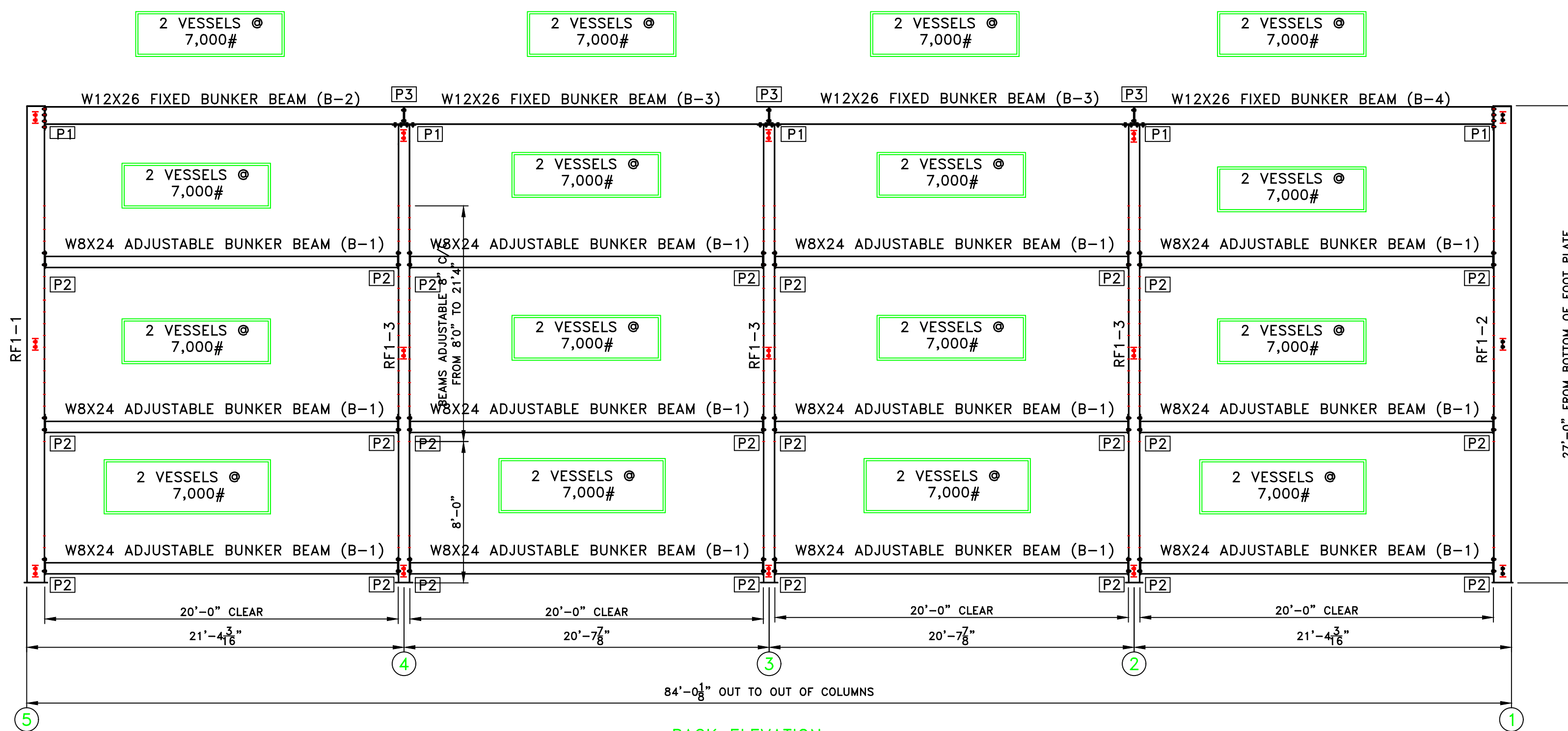
MEMBER SIZE TABLE		
MARK	MEMBER	LENGTH
RF1-1	W12X26	27'-0"
RF1-2	W12X26	27'-0"
RF1-3	W8X24	25'-11 1/4"
B-1	W8X24	20'-0"
B-2	W12X26	20'-3 15/16"
B-3	W12X26	20'-7 7/8"
B-4	W12X26	20'-3 15/16"

BOLT TABLE				
ID	QUAN	TYPE	DIA	LENGTH
P1	8	A325	3/4"	2"
P2	4	A325	3/4"	2"
P3	4	A325	3/4"	2 1/4"
P4	2	A325	3/4"	1 3/4"

MEMBER TABLE FRAME LINE 1,2,3,4,5		
MARK	PART	LENGTH
CB-1	W8X15	11'-10 11/16"
XB-1	RDB	16'-10"
XB-2	RDB	16'-6"



RACK FRAMING PLAN
FRAME LINE 5
SCALE: 3/8" = 1'0"

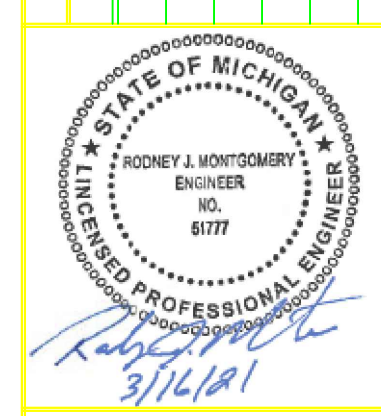


RACK ELEVATION
FRAME LINE "A"
SCALE: 3/8" = 1'0"

LAST RESORT MARINA
 8560 PONTIAC LAKE RD.
 WHITE LAKE, MICHIGAN 48386
 OAKLAND COUNTY

REVISIONS

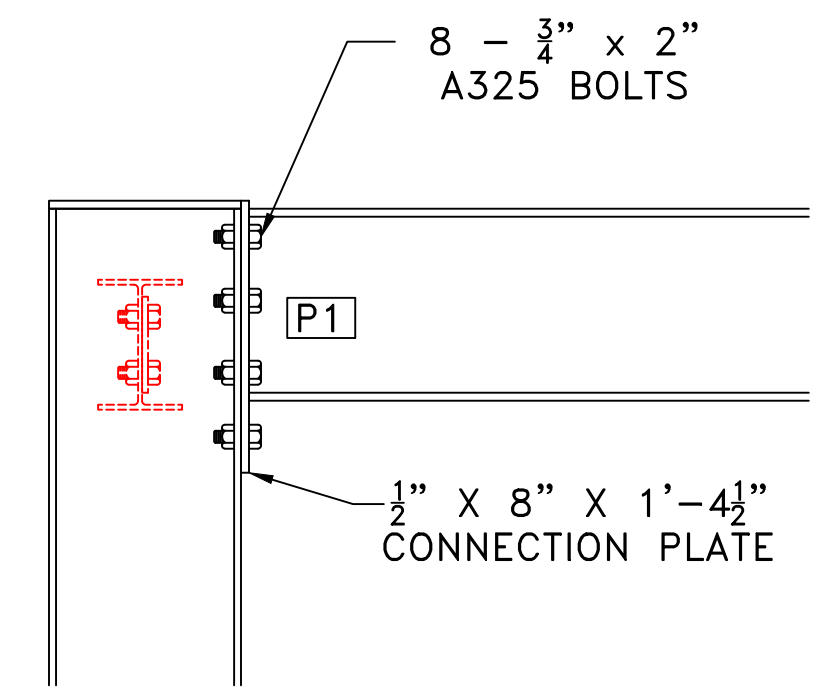
DATE	BY	DESCRIPTION



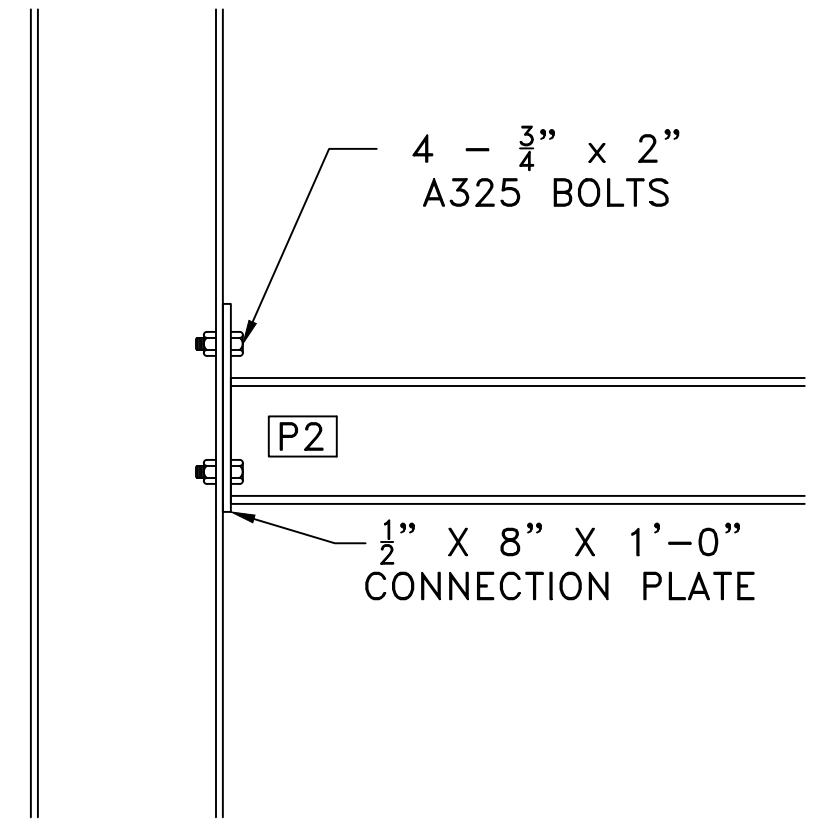
OLDEN BUILDING SYSTEMS
Spanning the Gap
 13300 S. Vision Drive
 Kenton, OH 43326
 P.O. Box 389
 office: 419-674-4038
 office: 800-828-1209
 fax: 419-673-1384
 www.oldenint.com

DATE: 2/16/21
 DRAWN BY: AARON BUKER
 CK'D BY: DATE CK'D:
 JOB NO: 4012M
 SHEET: S2

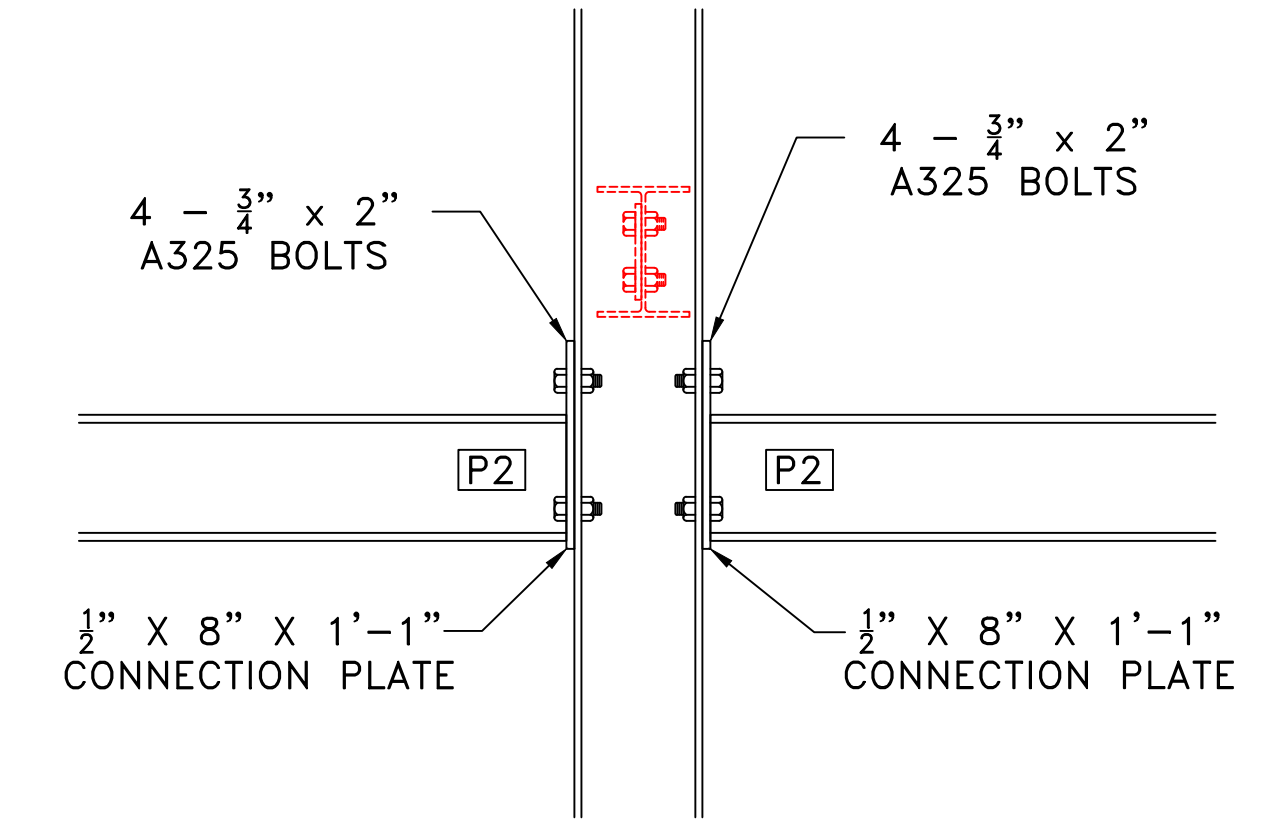
LAST RESORT MARINA
8560 PONTIAC LAKE Rd.
WHITE LAKE, MICHIGAN 48386
OAKLAND COUNTY



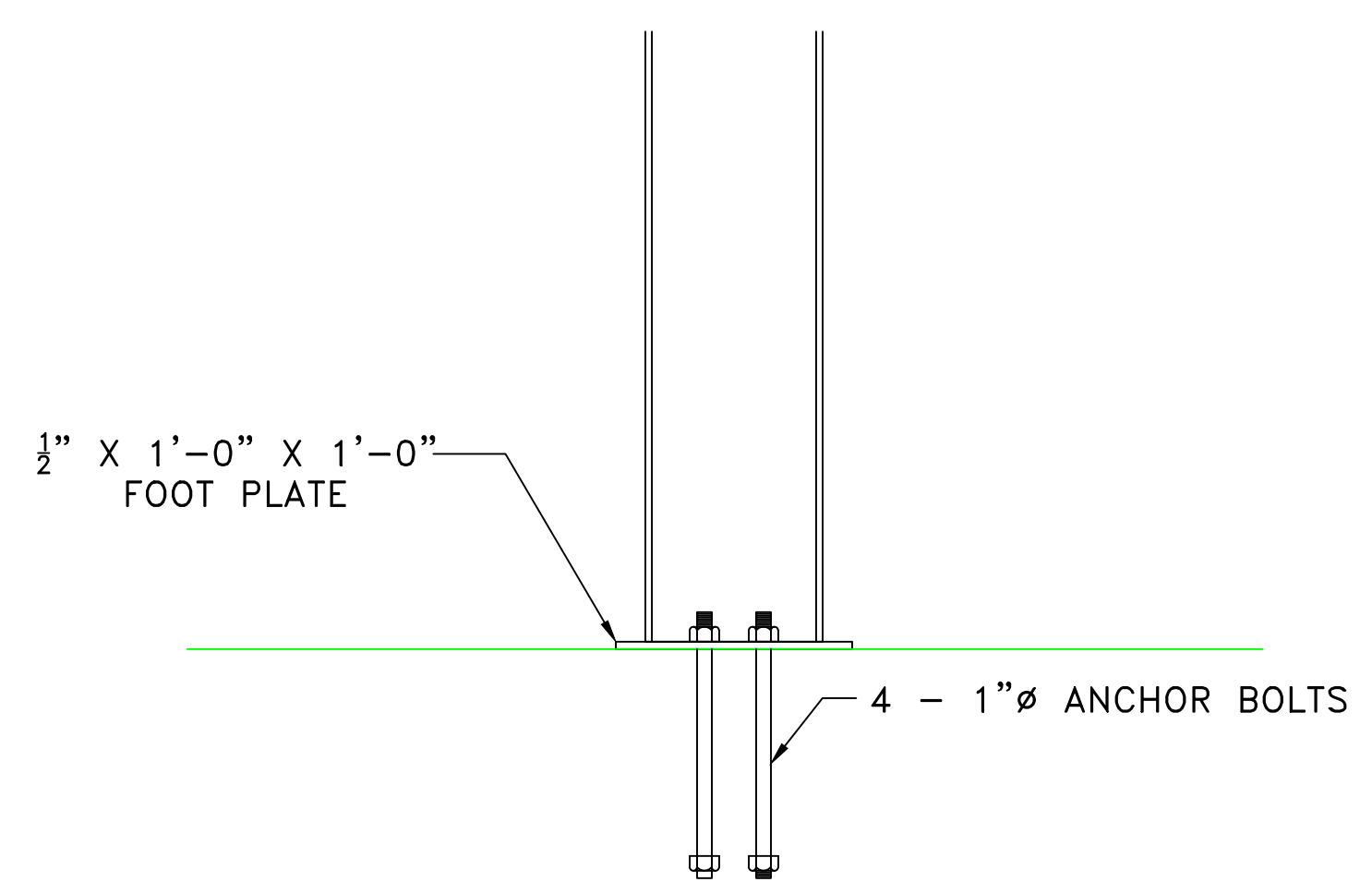
TOP OUTSIDE BUNKER BEAM CONNECTION



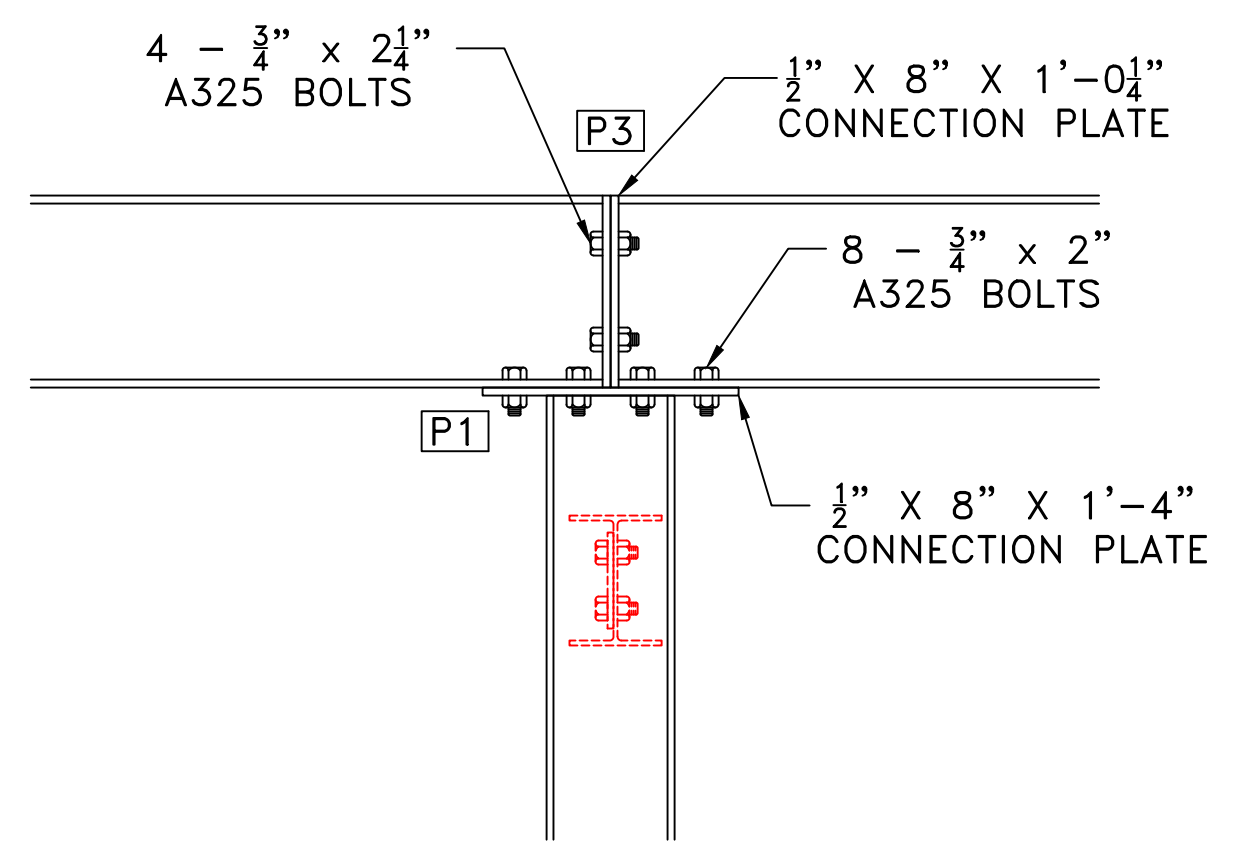
INTERMEDIATE OUTSIDE BUNKER BEAM CONNECTION



INTERMEDIATE INTERIOR BUNKER BEAM CONNECTION



BASE PLATE CONNECTION



INTERMEDIATE TOP BUNKER BEAM CONNECTION

R E V I S I O N S

DATE	BY	DESCRIPTION

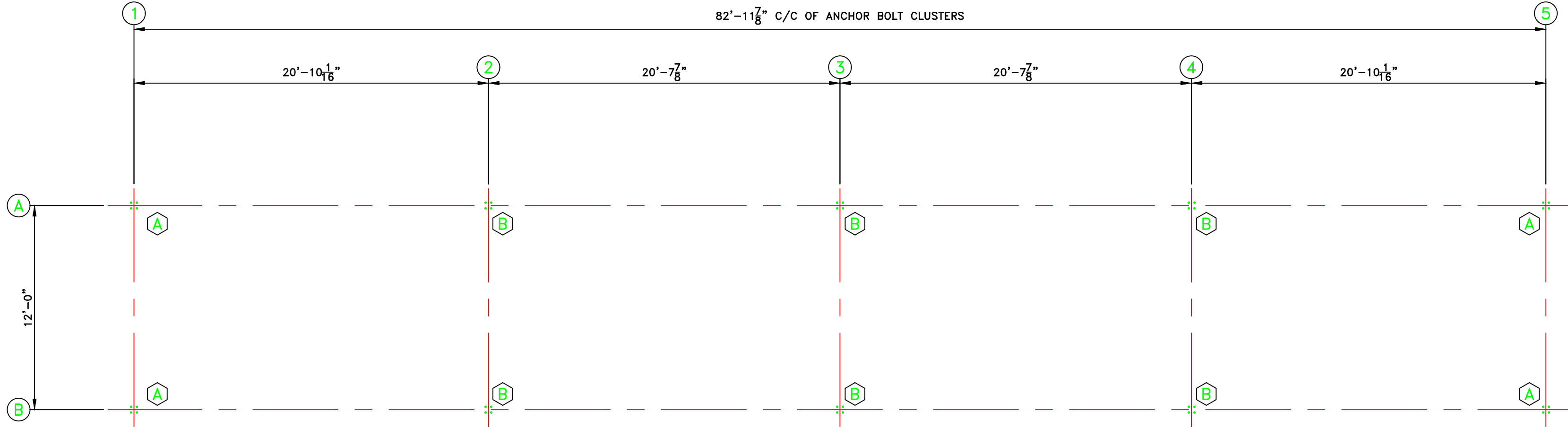


GOLDEN BUILDING SYSTEMS
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 13300 S. Vision Drive
 Kenton, OH 43326
 www.goldenbms.com

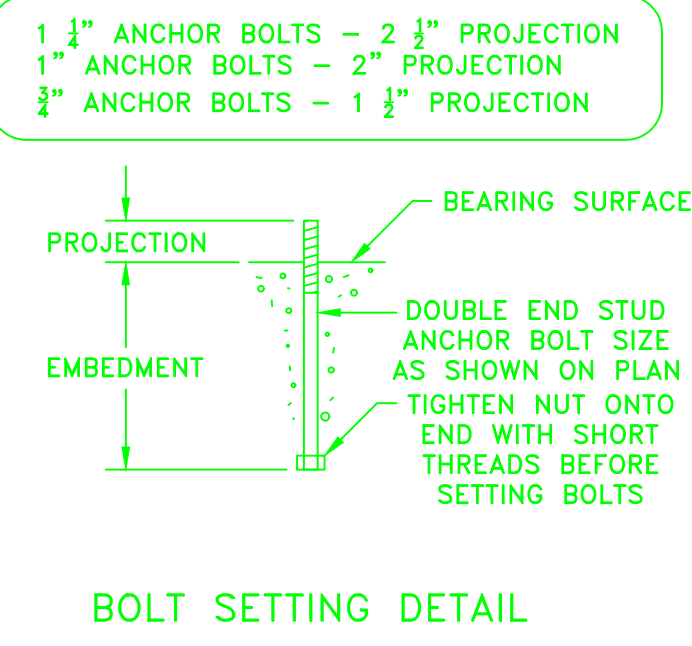
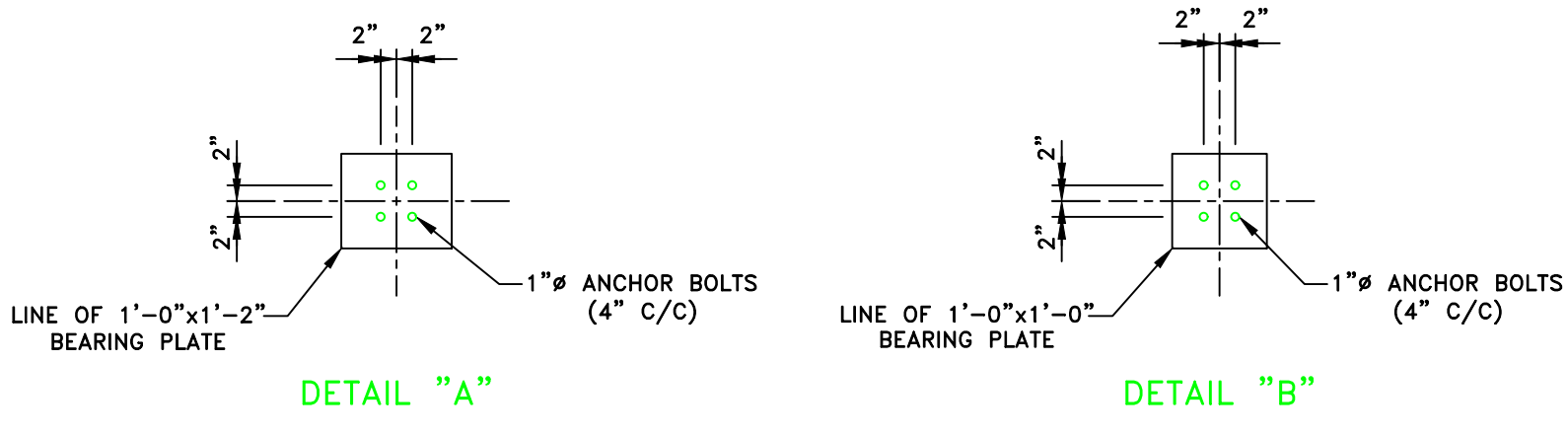
office: 419-674-4038
 office: 800-828-1209
 fax: 419-673-1384

DATE:	2/22/21
DRAWN BY:	AARON BUROKER
CK'D BY:	
DATE CK'D:	
JOB NO.	4012M
SHEET	

S2.1



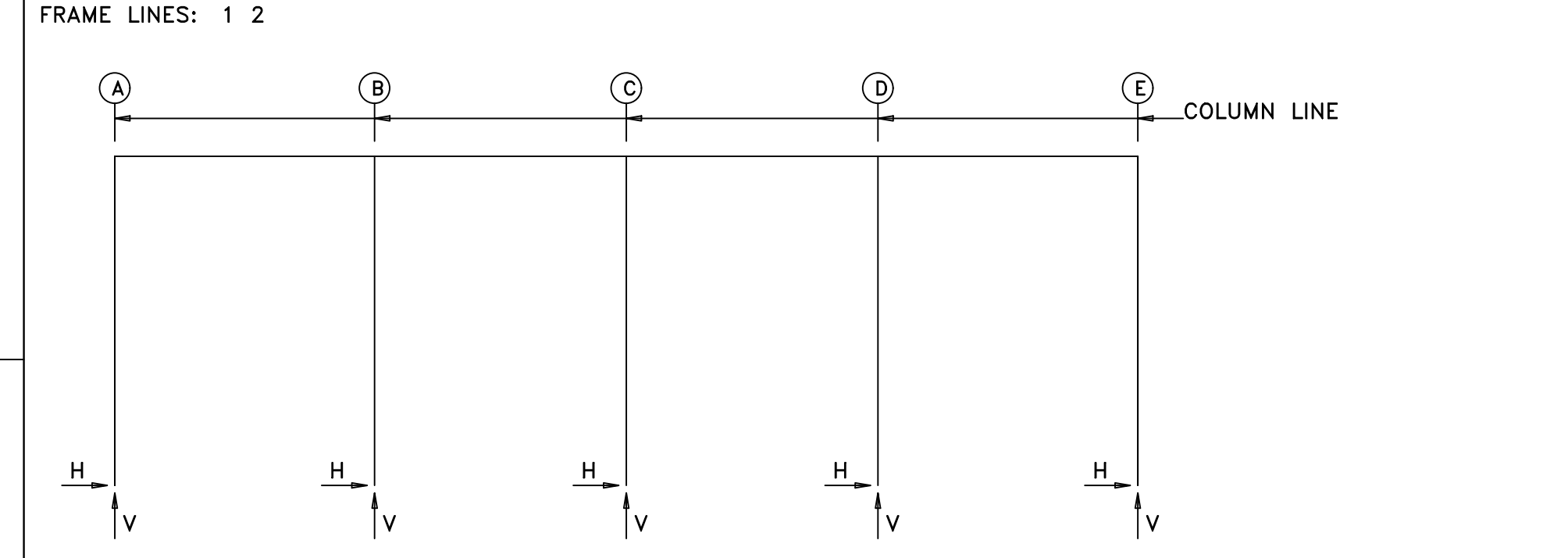
ANCHOR BOLT PLAN
SCALE: 3/8" = 1'0"
NORTH



ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Wind_Press Horz Vert	Wind_Suct Horz Vert	Seis_Long Horz Vert
1	A	0.1	-4.8 -10.2	0.0 10.2	-0.2 -0.3
1	B	0.1	-8.9 0.0	9.5 0.0	0.0 0.0
1	C	0.1	-8.8 0.0	9.3 0.0	0.0 0.0
1	D	0.1	-8.9 0.0	9.5 0.0	0.0 0.0
1	E	0.1	-4.8 -10.2	0.0 10.2	-0.2 -0.3
2	E	0.1	-4.8 -10.2	0.0 10.2	-0.2 -0.3
2	D	0.1	-8.9 0.0	9.5 0.0	0.0 0.0
2	C	0.1	-8.8 0.0	9.3 0.0	0.0 0.0
2	B	0.1	-8.9 0.0	9.5 0.0	0.0 0.0
2	A	0.1	-4.8 -10.2	0.0 10.2	-0.2 -0.3

- GENERAL NOTES
- FOUNDATION DESIGN AND CONSTRUCTION ARE NOT THE RESPONSIBILITY OF GOLDEN GIANT BUILDING SYSTEMS.
 - THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATION.
 - ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF +/- 1/8" IN BOTH ELEVATION AND LOCATION.
 - COLUMN BASE PLATES ARE DESIGNED NOT TO EXCEED A BEARING PRESSURE OF 1125 POUNDS PER SQUARE INCH.
 - ANCHOR BOLTS PROVIDED BY OTHERS THAN GOLDEN GIANT BUILDING SYSTEMS



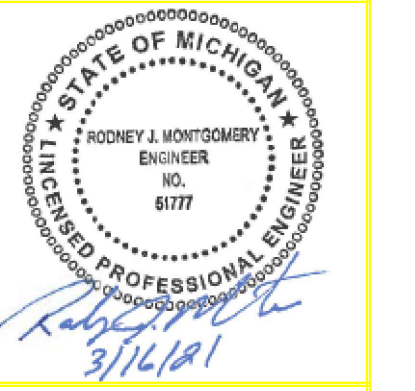
RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead Horiz	Dead Vert	Floor Horiz	Floor Vert	Snow Horiz	Snow Vert	Wind_Left1 Horiz	Wind_Left1 Vert	Wind_Right1 Horiz	Wind_Right1 Vert	Wind_Left2 Horiz	Wind_Left2 Vert
1	A	0.0	1.4	0.0	17.1	0.1	1.0	-1.3	-5.2	3.0	-1.0	-4.4	0.4
1	E	0.0	1.4	-0.1	17.8	-0.1	1.0	-3.0	-1.0	1.3	-5.2	0.2	3.2
1	B	0.0	2.3	0.0	39.7	0.0	2.3	-0.5	-6.5	0.5	-5.6	-0.5	2.4
1	C	0.0	2.1	0.0	37.6	0.0	2.0	-0.5	-5.4	0.5	-5.4	-0.5	2.6
1	D	0.0	2.3	0.0	36.4	0.0	2.3	-0.5	-5.6	0.5	-6.5	-0.6	0.6
1	A	-0.2	3.2	3.2	-15.7	0.2	-9.2	-0.1	-0.1	0.1	0.1	0.0	-0.3
1	E	4.4	0.4	-3.2	-15.7	-0.2	-9.2	-0.1	0.1	0.1	-0.1	0.0	-0.3
1	B	0.6	0.6	0.0	-29.7	0.0	-18.3	0.0	0.1	0.0	-0.1	0.0	-0.6
1	C	0.5	2.6	0.0	-30.2	0.0	-18.4	0.0	0.0	0.0	0.0	0.0	-0.6
1	D	0.5	2.4	0.0	-29.7	0.0	-18.3	0.0	-0.1	0.0	0.1	0.0	-0.6
1	A	0.1	1.9	0.0	0.5	0.0	0.0	0.0	0.5	0.0	0.0	0.0	0.0
1	E	-0.1	1.9	0.0	0.0	0.0	0.5	0.0	0.0	0.0	0.0	0.0	0.5
1	B	0.0	4.5	0.0	0.6	0.0	0.0	1.2	0.0	0.0	0.5	0.0	-0.1
1	C	0.0	4.0	0.0	-0.1	0.0	-0.1	0.0	0.5	0.0	1.2	0.0	0.5
1	D	0.0	4.5	0.0	0.0	0.0	0.6	0.0	-0.1	0.0	0.5	0.0	1.2
2	A	0.0	1.4	0.0	17.1	0.1	1.0	-1.3	-5.2	3.0	-1.0	-4.4	0.4
2	E	0.0	1.4	-0.1	17.8	-0.1	1.0	-3.0	-1.0	1.3	-5.2	0.2	3.2
2	B	0.0	2.3	0.0	39.7	0.0	2.3	-0.5	-6.5	0.5	-5.6	-0.5	2.4
2	C	0.0	2.1	0.0	37.6	0.0	2.0	-0.5	-5.4	0.5	-5.4	-0.5	2.6
2	D	0.0	2.3	0.0	36.4	0.0	2.3	-0.5	-5.6	0.5	-6.5	-0.6	0.6
2	A	-0.2	3.2	3.2	-15.7	0.2	-9.2	-0.1	-0.1	0.1	0.1	0.0	-0.3
2	E	4.4	0.4	-3.2	-15.7	-0.2	-9.2	-0.1	0.1	0.1	-0.1	0.0	-0.3
2	B	0.6	0.6	0.0	-29.7	0.0	-18.3	0.0	0.1	0.0	-0.1	0.0	-0.6
2	C	0.5	2.6	0.0	-30.2	0.0	-18.4	0.0	0.0	0.0	0.0	0.0	-0.6
2	D	0.5	2.4	0.0	-29.7	0.0	-18.3	0.0	-0.1	0.0	0.1	0.0	-0.6
2	A	0.1	1.9	0.0	0.5	0.0	0.0	0.0	0.5	0.0	0.0	0.0	0.0
2	E	-0.1	1.9	0.0	0.0	0.0	0.5	0.0	0.0	0.0	0.0	0.0	0.5
2	B	0.0	4.5	0.0	0.6	0.0	0.0	1.2	0.0	0.0	0.5	0.0	-0.1
2	C	0.0	4.0	0.0	-0.1	0.0	-0.1	0.0	0.5	0.0	1.2	0.0	0.5
2	D	0.0	4.5	0.0	0.0	0.0	0.6	0.0	-0.1	0.0	0.5	0.0	1.2

LAST RESORT MARINA
8560 PONTIAC LAKE Rd.
WHITE LAKE, MICHIGAN 48386
OAKLAND COUNTY

REVISIONS

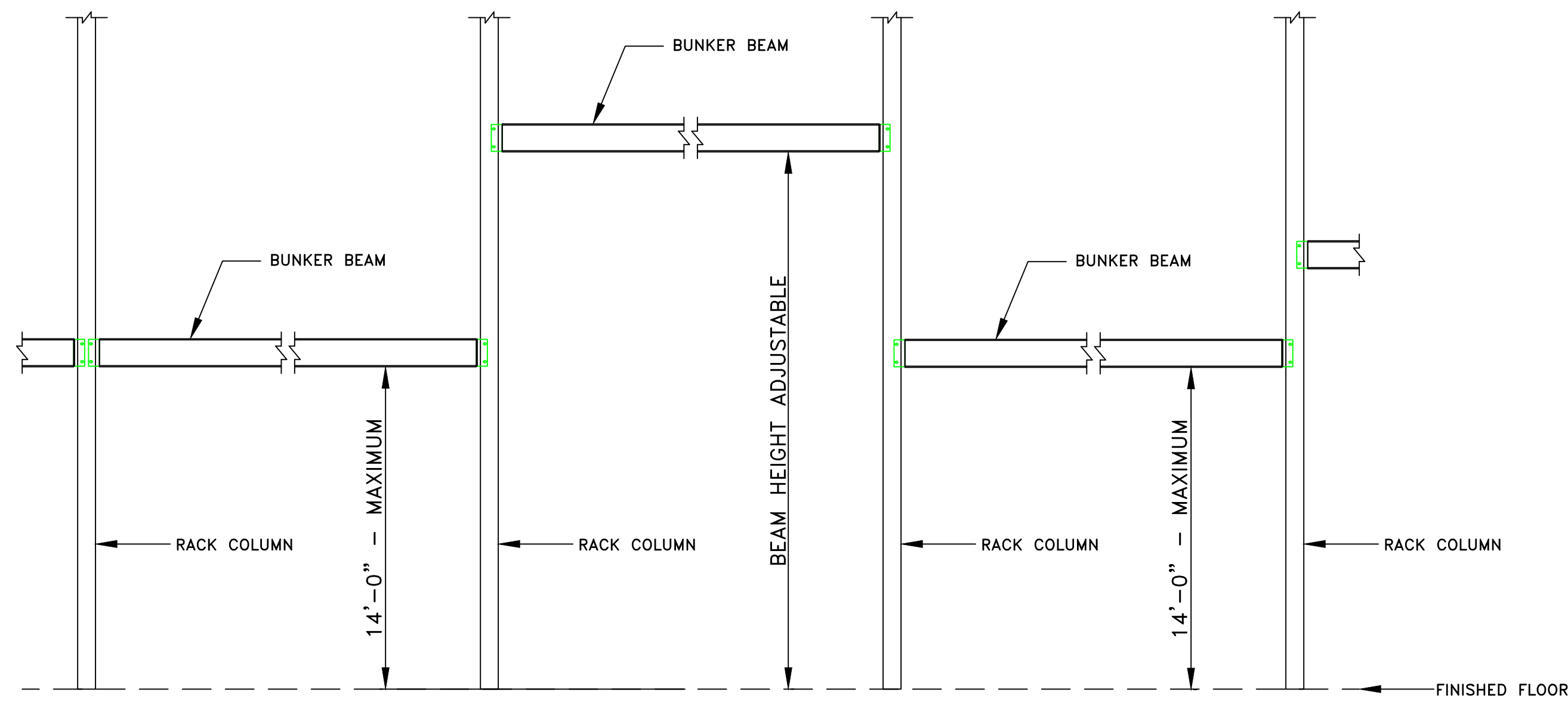
DATE	BY	DESCRIPTION



GOLDEN GIANT BUILDING SYSTEMS
13900 S. Vision Drive
Kenton, OH 43326
www.goldengiant.com
office: 419-674-4038
office: 800-828-1209
office: 419-673-1384
fax: 419-673-1384

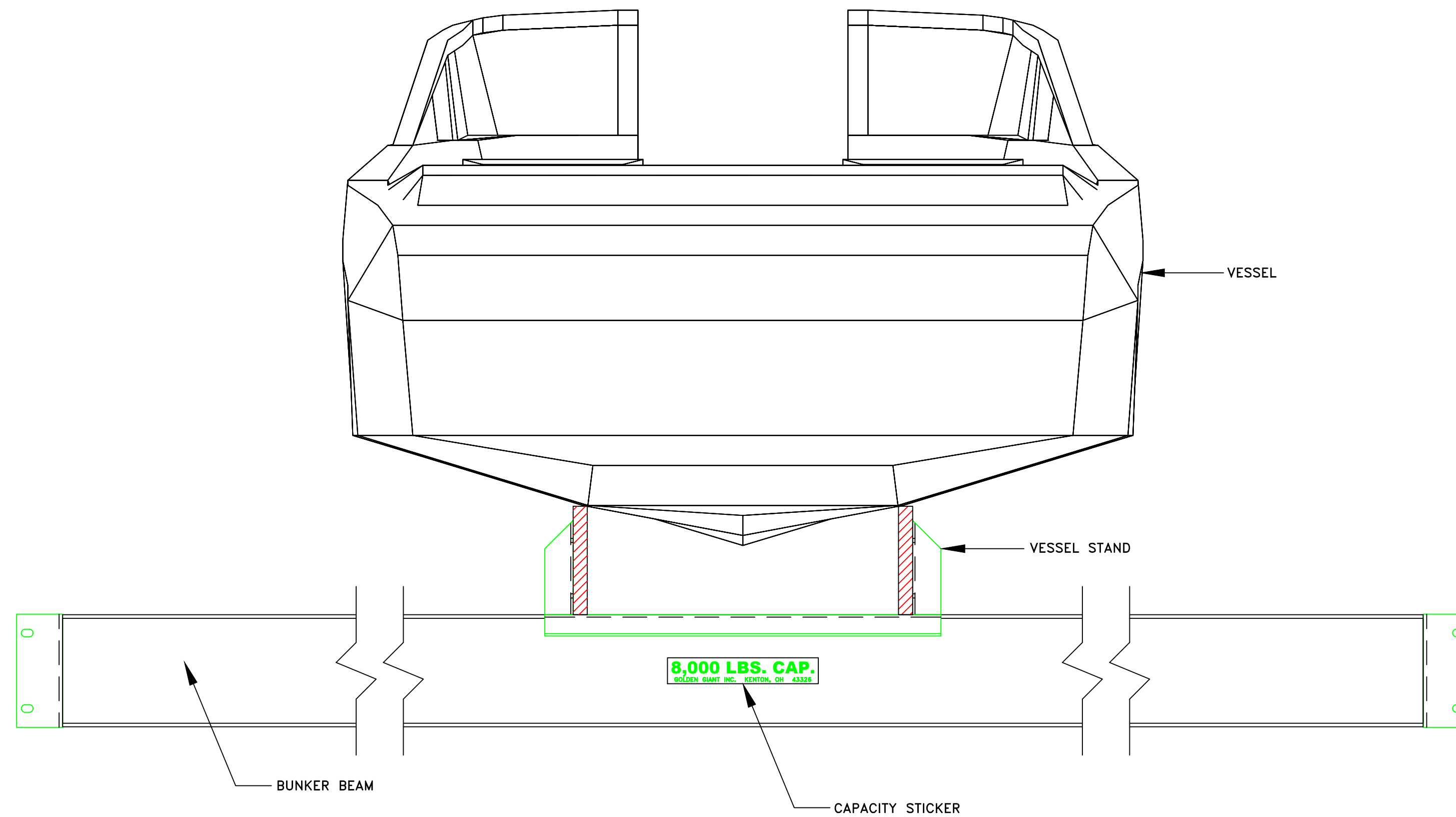
DATE: 2/20/21
DRAWN BY: AARON BUROKER
CK'D BY: DATE CK'D: .
JOB NO.: 4012M
SHEET: B1

ALL RACK COLUMNS DESIGNED FOR 16'-0" - MAX. UNSUPPORTED SPAN. ALL COLUMNS MUST BE SUPPORTED FROM AT LEAST ONE SIDE AS SHOWN BELOW. THIS ALLOWS THE CENTER BUNKER BEAM TO BE ADJUSTABLE ABOVE 16'-0" - MAX.

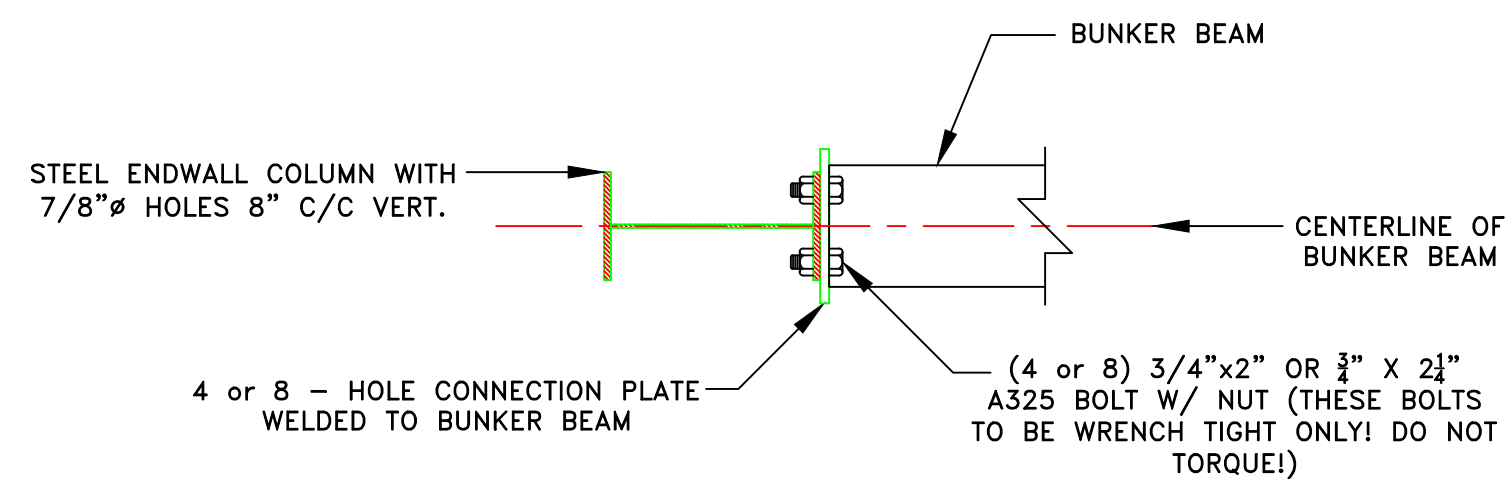


UNSUPPORTED SPAN DETAIL
(SEE RACK LAYOUT FOR 14'-0"-MAX.)

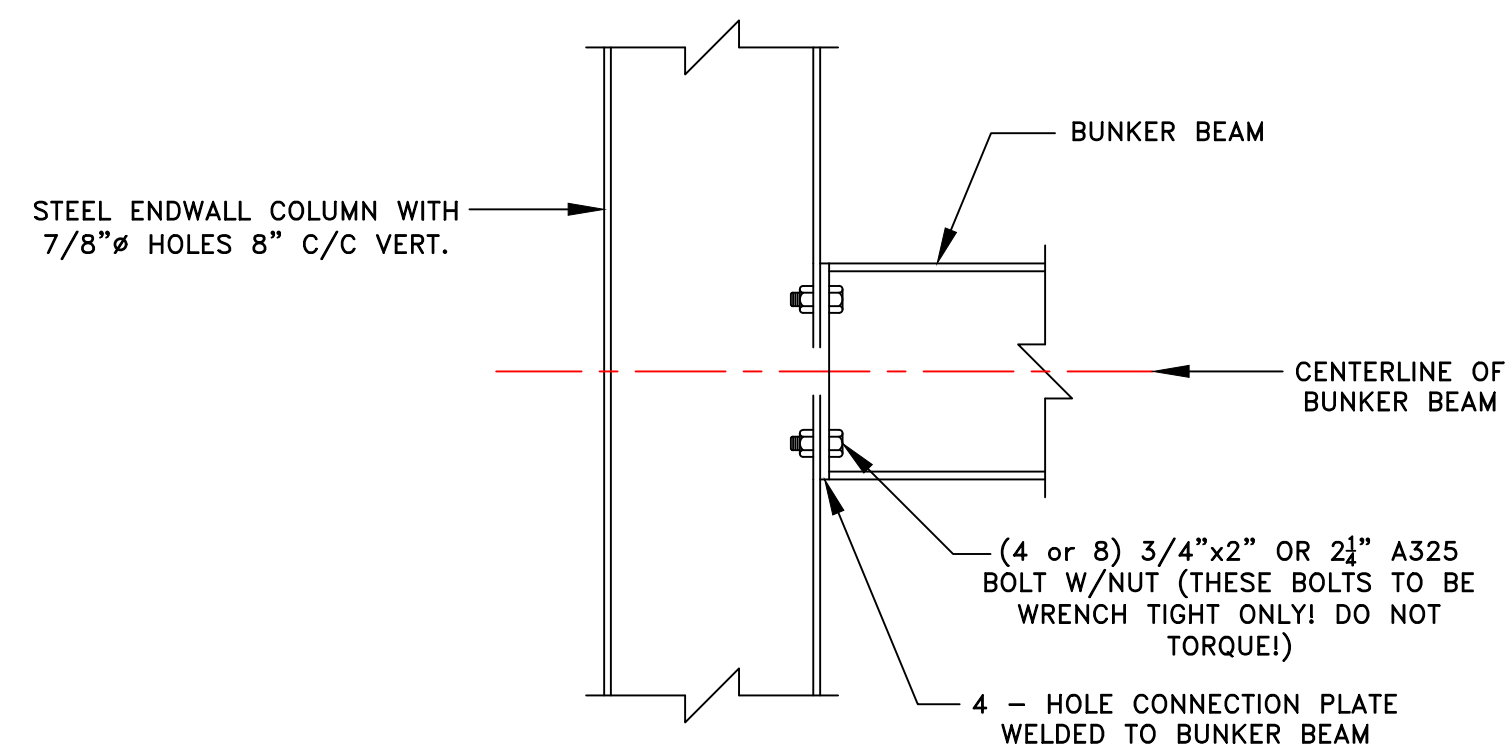
ALL CAPACITY STICKERS SHOULD BE INSTALLED PRIOR TO BUNKER BEAM INSTALLATION. ALL STICKERS SHOULD BE PLACED BENEATH EACH VESSEL AS SHOWN. ALL STICKER LOCATIONS CAN BE FOUND ON THE FLOOR PLAN OR THE RACK VIEW PLAN. STICKERS PLACED ON ISLE BEAM ONLY!



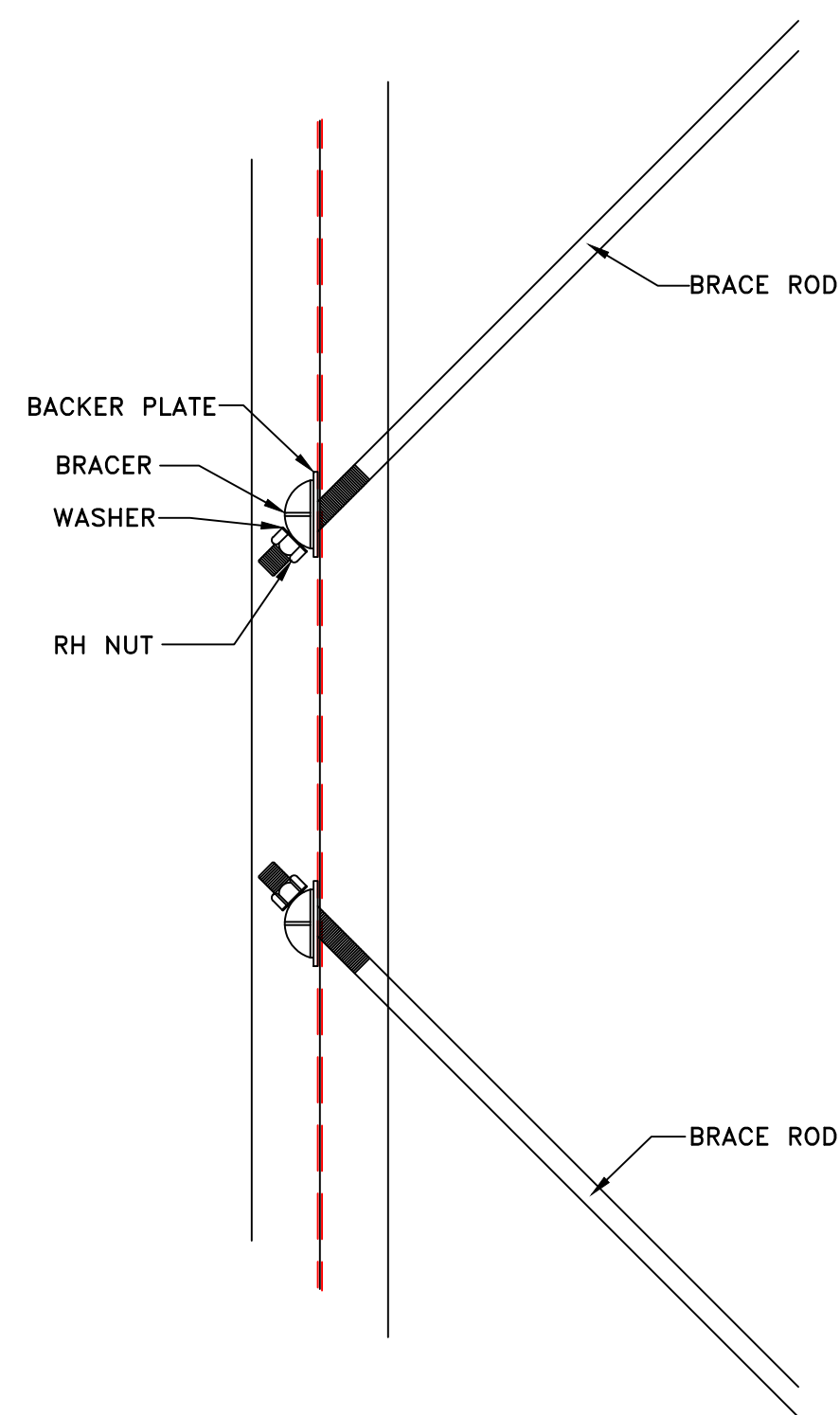
PERMANENT CAPACITY STICKER DETAIL



BUNKER BEAM TO
ENDWALL COLUMN (TOP)

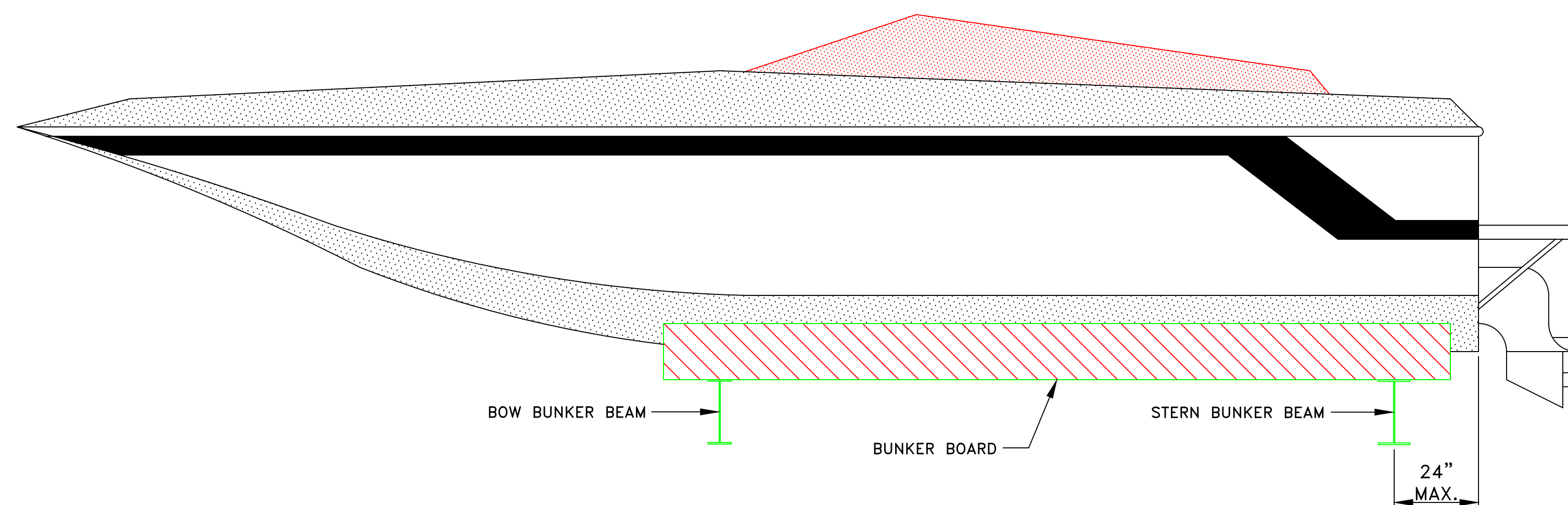


BUNKER BEAM TO
ENDWALL COLUMN (SIDE)



COLUMN BRACING DETAIL

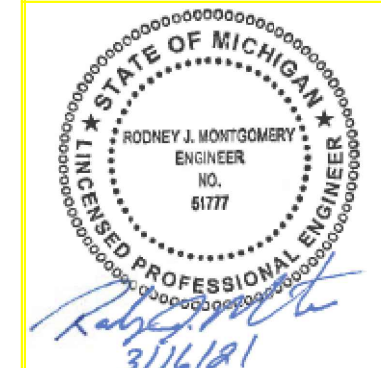
PROPER POSITION HAS STERN OF VESSEL NO MORE THAN 24" FROM THE CENTERLINE OF THE BUNKER BEAM.



VESSEL POSITION DETAIL

REVISIONS

DATE	BY	DESCRIPTION



GOLDEN BUILDING SYSTEMS
Spanning The Gap
 13900 S. Vision Drive
 Kenton, OH 43326
 P.O. Box 389
 www.goldenb.com

IANT SYSTEMS
 office: 419-674-4038
 office: 800-828-1209
 fax: 419-673-1384

DATE: 2/22/21
 DRAWN BY: AARON BUROKER
 CK'D BY: DATE CK'D
 JOB NO. 4012M
 SHEET DT1

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Item B.
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

May 11, 2022

JRD Sr Rents, LLC
James Dainty, Sr
8560 Pontiac Lake Rd
White Lake, MI 48386

RE: Work Without Permit at 8560 Pontiac Lake Rd, White Lake

Please be advised that the work being completed on the property at 8560 Pontiac Lake Rd requires permits and inspections. As of this date we have not received the necessary paperwork, and no permits have been approved for the Accessory Structure being erected.

Submit applicable plans and permit applications to the Building and Planning Department within the next 14 days. A STOP WORK ORDER has been issued on this property, and all activity related to this project is to cease until plans have been submitted, approved and the proper permits are in place. Applications can be found online at www.whitelaketwp.com or at the township office.

It should further be noted that this property is zoned R1-D, a district designated to single family dwellings. Commercial activity is not a permitted use on this property

If you have any questions call the White Lake Township Community Development at (248)698-3300.

Sincerely,

Nick Spencer, Building Official
White Lake Township