

Trustees Scott Ruggles Liz Fessler Smith Andrea C Voorheis Michael Powell

# PLANNING COMMISSION MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN, 48383 (FORMER WHITE LAKE LIBRARY)
THURSDAY, JUNE 16, 2022 – 7:00 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

# **AGENDA**

- 1. CALL TO ORDER
- 2. ROLL CALL
- 3. PLEDGE OF ALLEGIANCE
- 4. APPROVAL OF AGENDA
- 5. APPROVAL OF MINUTES
  - A. Minutes of May 19, 2022
- 6. CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)
- 7. PUBLIC HEARING
  - A. Elizabeth Lake Retail

Location: Property described as parcel number 12-21-426-005, located on the southwest corner of Elizabeth Lake Road and Highland Road (M-59), consisting of approximately 53.41 acres. Requests:

- 1) Preliminary site plan approval
- 2) Rezoning request the applicant would like to rezone approximately 8.61 acres of the northeast portion of the parcel from AG (Agricultural) to PB (Planned Business) or any other appropriate zoning district.

Applicant: Nazir Jawich 40500 Ann Arbor #105 LL Plymouth, MI 48170

# 8. CONTINUING BUSINESS

# A. White Lake Hill LLC

Property described as parcel number 12-20-101-003 (1085 Hill Road), located on the north side of Highland Road, west of Hill Road, consisting of approximately 68.96 acres. Property described as parcel number 12-20-126-006, located north of Highland Road, east of Hill Road, consisting of approximately 41.06 acres.

Request:

# 1) Preliminary site plan approval

Applicant: White Lake Hill, LLC 31550 Northwestern Highway Farmington Hills, MI 48334



# 9. **NEW BUSINESS**

# A. Taco Bell

Property described as parcel number 12-20-276-036, located at the northeast corner of Highland Road (M-59) and Bogie Lake Road, consisting of approximately 1.07 acres, currently zoned (PB) Planned Business District.

Requests:

- 1) Final site plan approval
- 2) Planned business development agreement approval

Applicant: Great Lakes Taco, LLC 8487 Retreat Drive Grand Blanc, Michigan, 48439

- 10. OTHER BUSINESS
- 11. PLANNING CONSULTANT'S REPORT
- 12. DIRECTOR'S REPORT
- 13. COMMUNICATIONS
- 14. NEXT MEETING DATE: July 7, 2022 & July 21, 2022
- 15. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Item A.

Charter Township of White Lake Planning Commission Regular Meeting Minutes of May 19, 2022

# WHITE LAKE TOWNSHIP PLANNING COMMISSION

Township Annex, 7527 Highland Road White Lake, MI 48383 May 19, 2022 @ 7:00 PM

## **CALL TO ORDER**

**Commissioner Anderson** called the meeting to order at 7:00 PM and led the Pledge of Allegiance. Roll was called.

# **ROLL CALL**

Debby Dehart Scott Ruggles Mark Fine Steve Anderson Merrie Carlock Pete Meagher Matt Slicker T. Joseph Seward

Absent: Robert Seeley

Also Present: Sean O'Neil, Community Development Director

Justin Quagliata, Staff Planner

Mike Leuffgen, DLZ

Lisa Kane, Recording Secretary

Visitors: 14 members of the public were present

# APPROVAL OF AGENDA

Director O'Neil asked to amend the agenda, adding 8B. Elizabeth Lake Retail Conceptual Discussion.

Commissioner Dehart moved to approve the amended agenda of the May 19, 2022 Planning Commission Meeting.

Commissioner Fine supported and the MOTION CARRIED with a voice vote: 8 yes votes.

# **APPROVAL OF MINUTES**

- a. Regular meeting minutes of May 5, 2022
- b. Correction of minutes as noted by Commissioner Seward of a typographical error.

Commissioner Fine moved to approve the amended Minutes of May 5, 2022. Commissioner Seward supported and the MOTION CARRIED with a voice vote: 8 yes votes.

Item A.

Charter Township of White Lake Planning Commission Regular Meeting Minutes of May 19, 2022

# CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

**John Hunt** of 871 Oxhill Drive had concerns about snow removal at the proposed Black Rock site and made suggestions on how to accommodate snow removal in the parking lot.

# **PUBLIC HEARING**

#### A. 1392 S. Williams Lake

Property described as parcel number 12-36-476-002 (1392 S. Williams Lake Road) located on the west side of Williams Lake Road, north of Cooley Lake Road and contains approximately 386.60 feet of frontage on Williams Lake Road. Consisting of approximately 2.50 acres.

Request: Applicant requests to rezone the parcel from AG (Agricultural) to RM-1 (Attached Single-Family).

Applicant: Justin Jundy 1392 S. Williams Lake Road White Lake, MI 48386

Applicant Present: Justin Jundy of 1392 S. Williams Lake Rd, Azher Matty and Andrew Markell of J & D Architectural Engineering

**Director O'Neil** stated the rezoning request was consistent with the Master Plan. This property could be served by public utilities would have no access to Whetherstone's roads, storm sewer, or other utilities. The concept drawing, which was not reviewed for compliance with the zoning ordinance and not under consideration by the Planning Commission, indicated the only road access being on Williams Lake Road. DLZ did not have any objections to the rezoning traffic study submitted. Staff recommends approval of the rezoning.

Commissioner Slicker asked staff if Stony Court met the standards for a dead-end road.

**Director O'Neil** explained Stoney Court was compliant 19 years ago and was considered an extended driveway. There was an ongoing issue of traffic cutting through Whetherstone and adding another access point to Williams Lake Road would have a negative impact.

Commissioner Dehart asked staff about RM-1 zoning density and if units had to be owner-occupied.

**Director O'Neil** stated the density for RM-1 was 6 to 8 units per acre and any development of this site would be expected to present 6 to 8 units per acre.

Mr. Matty presented the conceptual drawing and discussed the rezoning traffic study.

**Mr. Jundy** stated they would like to bring more families to the area.

**Commissioner Carlock** stated natural vegetation was preferred over new, young trees.

**Mr. Matty** stated they intend on having an arborist visit the site and give recommendations.

**Commissioner Slicker** confirmed the Commission was only considering the rezoning request at this time and inquired about the conceptual drawing.

Charter Township of White Lake
Planning Commission Regular Meeting

Minutes of May 19, 2022

**Commissioner Anderson** opened the public hearing at 7:26 p.m.

**Bruce Scarcella** of 8052 Stony Court inquired about the density proposed and the zoning of his neighborhood.

**Director O'Neil** answered the resident and encouraged him to contact the Community Development Department for more information regarding the zoning of his neighborhood.

**Joellen Bennett** of 1357 Waverly Drive inquired about the utilities available to this development and if this would be accessible through her neighborhood.

Commissioner Anderson explained those matters were not considered during a rezoning request.

**Director O'Neil** explained a new development would not be allowed to access any utilities or roads without the consent of Whetherstone.

**Christine Grimes** of 1373 Waverly Drive was concerned about traffic and asked when the traffic study was completed.

Mr. Quagliata stated the rezoning traffic study utilized traffic count information from July 2021 and December 2021.

Michael Bennett of 1357 Waverly Drive was also concerned about traffic.

**Corey Fowler** of 8624 Newport co-owns a unit on Waverly Drive and was concerned about the animals in the nearby wooded area.

Marilyn Waltz of 1365 S. Williams Lake Road (Waterford) had concerns about the increase of traffic.

**Commissioner Anderson** closed the public hearing at 7:39 p.m.

**Commissioner Anderson** asked the applicants to take the feedback from the public hearing into consideration when preparing their site plan.

Commissioner Seward moved to recommend approval to the Township Board of the rezoning from AG (Agricultural) to RM-1 (Attached Single Family), for parcel number 12-36-476-002. Commissioner Fine supported, and the MOTION CARRIED with a roll call vote (8 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seward/yes, Slicker/yes, Ruggles/yes)

Page 4 of 8

Charter Township of White Lake Planning Commission Regular Meeting Minutes of May 19, 2022

## B. VCA

Property described as parcel number 12-21-276-023 (7755 Highland Road) located on the north side of Highland Road, west of Elizabeth Lake Road. Consisting of approximately 1.27 acres.

Request: 1) Amended final site plan

2) Special land use to establish and operate a veterinary clinic

Applicant: VCA Animal Hospitals, Inc 12401 West Olympic Blvd Los Angeles, CA 90064

Applicant Present: Rebecca Wilson of 5434 Mancelona Dr., Grand Blanc

**Director O'Neil** introduced the request and explained how the zoning ordinance was previously amended to allow for the special land use of a veterinary clinic in the LB (Local Business) zoning district. The applicant requested an amendment to the final site plan for the outdoor pet areas. The site was already on municipal water and sewer. Staff recommended approval of the special land use and the amended final site plan, and suggested to include hours of operation as a condition of the special land use approval.

**Commissioner Seward** asked staff if the neighboring business, Auto Zone, operated 24 hours a day.

**Director O'Neil** stated it did not.

Commissioner Carlock asked staff about the other tenants in the building.

**Director O'Neil** explained there would be a second tenant occupying one unit and an unoccupied unit in between the veterinary clinic and the carry out restaurant on the opposing end of the building.

**Commissioner Slicker** inquired about the turf used in the outdoor pet areas and cleaning of the areas.

**Ms. Wilson** stated the VCA needed two exterior areas for walking dogs, one for those who had communicable illnesses and a separate area for dogs that had a medical procedure. The artificial turf would be cleaned every day. The facility would not offer grooming, or boarding besides surgical stays. No afterhours emergency services would be offered; the VCA referred patients to 24-hour veterinary hospitals in the area. Ms. Wilson stated the requested hours of operation were Monday through Friday from 9 a.m. to 7 p.m. and Saturday from 9 a.m. to 1 p.m. The clinic was closed Sundays.

**Commissioner Anderson** opened the public hearing at 8:00 p.m.

No members of the audience spoke during the public hearing.

**Commissioner Anderson** closed public hearing at 8:02 p.m.

Commissioner Meagher moved to approve the amendment of the final site plan subject to all staff and consultants' review comments being addressed, for Parcel Number 12-21-276-023 (7755 Highland Road).

Commissioner Dehart supported, and the MOTION CARRIED with a roll call vote (8 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seward/yes, Slicker/yes, Ruggles/yes)

Page 5 of 8

Charter Township of White Lake Planning Commission Regular Meeting Minutes of May 19, 2022

Commissioner Meagher moved to approve the Special Land Use subject to the stipulated hours of operation to establish and operate a veterinary clinic, for Parcel Number 12-21-276-023 (7755 Highland Road).

Commissioner Dehart supported, and the MOTION CARRIED with a roll call vote (8 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seward/yes, Slicker/yes, Ruggles/yes)

## **CONTINUING BUSINESS**

# A. Comfort Care White Lake

Property described as parcel number 12-36-176-002, located on the west side of Union Lake Road, between Hutchins Road and Cooley Lake Road, consisting of approximately 8.7 acres.

Request: i) Rezoning (from (LB) Local Business to Planned Development (PD)

ii) Preliminary site plan approval

Applicant: Comfort Care, LLC 4180 Tittabawassee Road Saginaw, MI 48604

Applicant Present: Doug Boehm, Owner & Executive Director of Comfort Care

John Costa, Architect and Rudy Quaderer, Site Engineer

**Mr. Quagliata** stated the size of the building and density were reduced from the previous plan. The secondary access to Union Lake Road had been removed; an emergency/secondary access through the West Valley site (if the project was constructed) was proposed. Staff recommended posting 'No Parking' signs and designating the secondary access as a fire lane. A public benefit of \$20,000 to the Parks and Recreation fund was offered by the applicant. Five waivers (deviations from the zoning ordinance) were requested. The facade of the building had been changed with improved quality of materials used. A screen wall had been added to provide screening at the rear property line. Staff recommended approval subject to all comments being addressed and the Commission discussing the community benefit with the applicant.

Commissioner Meagher asked staff what the difference was between a waiver and a variance.

**Director O'Neil** explained Planned Development zoning allowed for deviations from the zoning ordinance through the development agreement.

**Commissioner Ruggles** asked staff about the proposed public benefit.

**Mr. Quagliata** referenced the waivers requested and stated a community benefit must be for the use and enjoyment of the public-at-large.

Commissioner Fine had concerns about the amount of greenbelt landscaping.

**Commissioner Dehart** asked staff about the number of waivers requested and if there were any comparable developments that could help them determine the public benefit.

**Mr. Quagliata** answered five waivers were requested.

Charter Township of White Lake Planning Commission Regular Meeting Minutes of May 19, 2022

The Commission discussed the proposed public benefit.

**Commissioner Slicker** noted the plan indicated a retaining wall and stated that could increase the adjacent homeowner's potential for drainage issues.

**Mr. Quagliata** stated screening of the neighbor's property had been increased compared to the previous plan and screen wall details would need to be clarified on the final site plan.

**Mr. Leuffgen** noted the plans had not changed significantly from an engineering standpoint and this project's feasibility remained entirely dependent on the West Valley project being redesigned and constructed.

Mr. Boehm stated he spoke with the resident of 900 Union Lake Road regarding the retaining wall.

Mr. Quaderer reviewed the landscaping on the plan.

The Commission reviewed the renderings provided by the applicant, and deliberated the waivers requested and required setbacks.

Commissioner Dehart inquired about the size of the Comfort Care Clarkston facility.

**Commissioner Meagher** asked Commissioner Dehart her opinion about how the Zoning Board of Appeals would respond if the Board had to hear this case.

The Commission discussed the proposed public benefit.

**Mr. Boehm** stated he had discussed the public benefit with his team and increased the proposed amount from \$5,000 to \$20,000.

Commissioner Meagher moved to recommend approval to the Township Board the rezoning of Parcel Number 12-36-176-002 from LB (Local Business) to PD (Planned Development), subject to the applicant obtaining preliminary site plan approval from the Township Board. Commissioner Fine supported, and the MOTION CARRIED with a roll call vote (8 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seward/yes, Slicker/yes, Ruggles/yes)

Commissioner Meagher moved to recommend approval to the Township Board approval of the preliminary site plan for Parcel Number 12-36-176-002, subject to the applicant addressing all of the staff and consultant comments and recommendations, West Valley being redesigned and constructed, no parking signs being placed in the secondary access drive, landscaping meeting all zoning ordinance requirements, and an increased public benefit commensurate with the waivers requested.

Commissioner Fine supported, and the MOTION CARRIED with a roll call vote (7 yes votes): (Anderson/yes, Dehart/yes, Carlock/yes, Fine/yes, Meagher/yes, Seward/no, Slicker/yes, Ruggles/yes)

Item A.

Charter Township of White Lake Planning Commission Regular Meeting Minutes of May 19, 2022

# B. Elizabeth Lake Retail Conceptual Discussion

**Commissioner Ruggles** recused himself from the case and left the meeting.

**Commissioner Anderson** explained the applicant had fifteen minutes to present and for the Commission to discuss the matter.

**Director O'Neil** provided an update on the project.

**Joe Maynard** of Washtenaw Engineering presented the project. The applicant was seeking Planning Commission input on the residential aspect of the project and indicated a wetland permit had been applied for through EGLE.

Nazir Jawich explained the history of the project and the concerns about the future demand of mixed use.

Discussion by the Commission regarding appropriate zoning and the residential component of the project.

# **NEW BUSINESS**

None.

## OTHER BUSINESS

None.

#### LIAISON'S REPORT

**Commissioner Dehart**: On behalf of the Zoning Board of Appeals thanked the Planning Commission for its input on a project brought before them.

**Commissioner Carlock:** Ms. Carlock was not able to attend the last Parks and Recreation Committee meeting and asked Mr. Quagliata to provide an update. Mr. Quagliata stated the National Parks Service required a biological assessment for the Stanley Park grant application. The 5-Year Parks & Recreation Master Plan would be updated this year. A community event was planned for June 25, 2022 – a family fun day at Hawley Park from 3 p.m. to 9 p.m.

# **DIRECTOR'S REPORT**

The Capital Improvements Plan (CIP) update would begin in June. The draft would be presented to the Planning Commission in August followed by a public hearing in September. Ultimately the CIP would be presented to the Township Board for approval.

Implementation of Corridor Improvement Authority was upcoming.

The contract with River Caddis expired and the Township was reconsidering its options.

Item A.

Charter Township of White Lake Planning Commission Regular Meeting Minutes of May 19, 2022

# **COMMUNICATIONS**

No meeting on June 2, 2022.

**NEXT MEETING DATES:** June 16, 2022

# **ADJOURNMENT**

Commissioner Fine moved to adjourn the meeting at 9:21 PM
Commissioner Carlock supported and the MOTION CARRIED with a voice vote: 7 yes votes

# **Director's Report**

Project Name: Elizabeth Lake Retail

Description: Rezoning Request & Preliminary Site Plan Approval

Date on Agenda this packet pertains to: June 16<sup>th</sup>, 2022

□Public Hearing	□Special Land Use
□Initial Submittal	⊠Rezoning
⊠Revised Plans	□Other:
⊠Preliminary Approval	
□Final Approval	

Contact	Consultants &	Approval	Denial	Approved w/Conditions	Comments
	Departments				
DLZ	Engineering			$\boxtimes$	See letter dated
	Consultant				06/07/2022
Justin	Staff Planner			$\boxtimes$	See letter dated
Quagliata					06/09/2022
John Holland	WLT Fire			$\boxtimes$	See letter dated
	Chief				06/06/2022
Dave Heiber	WLT				See memo dated
	Assessor				06/07/2022

June 7, 2022

Sean O' Neil Community Development Department Charter Township of White Lake 7525 Highland Road White Lake, Michigan 48383

White Lake Plaza- Preliminary Site Plan Review - 8th Review RE:

Ref: DLZ No. 2145-7233-05 Design Professional: Washtenaw Engineering

Edward Alshaib, Architect

Dear Mr. O' Neil,

Our office has performed a Preliminary Site Plan review for the above-mentioned revised plan dated March 30, 2022. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

# **General Site Information**

This site is located on the south side of M-59 at the southwest corner of Elizabeth Lake Road. Total site acreage is 8.61 acres.

# **Site Improvement Information:**

- Construction of five (5) retail and restaurant space buildings totaling 29,040 square feet (Phase I).
- Two (2) proposed future (Phase II) apartment buildings consisting of 44 units, with associated garages. Total square footage not specified.
- Associated paved and curbed parking and maneuvering aisles. Eighteen (18) ADA accessible parking spaces and associated loading spaces are also proposed.
- Eight (8) foot wide concrete sidewalk is proposed along both M-59 and Elizabeth Lake Road frontages.
- Site to be serviced by watermain and sanitary sewer, including a pump station for sanitary sewer.



White Lake Plaza
PSP Review.08
June 7, 2022
Page 2 of 9

Storm water runoff is proposed to be pretreated and detained in two (2) proposed hydraulically
connected detention basins with discharge to the adjacent existing wetlands near the south end of
the property.

Note that comments from our March 18, 2022 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard typeface.

# The following items should be noted with respect to Planning Commission review:

a) The exact limits of the wetlands should be shown. We are unclear as to whether a wetlands delineation has been performed. In addition, all natural water features on the site should be shown on the plan. Comment outstanding. Plan does not indicate whether a wetlands delineation has been performed. If it has, a note on plan indicating date of delineation and person(s) who performed delineation will suffice. Plans indicate that the wetland delineation was taken from another plan set related to offsite improvements and is outdated. A new wetland delineation shall be performed to demonstrate the current limits of the existing wetland. Plans propose the detention basins and access road to be constructed within the wetland buffer. We defer to the Township Building Department if this is allowable per the ordinance requirements. Comment partially addressed. A new wetland delineation dated June 16, 2021 has been included as part of this submittal. Proposed detention basins and access road are now shown to be located outside the wetland buffer. We note that all plan sheets should be updated to reflect the new wetland delineation; see wetland note on plan sheet SP-2. Comment outstanding. The new site layout proposes the access road entrance off Elizabeth Lake Road and the stub from the access road off M-59 as encroaching into the 25' wetland buffer. In addition, it appears that approximately 2.5' of fill will be required in the area of the access road off Elizabeth Lake Road based on existing grades. Clarify how this area will be graded down to wetlands while maintaining a slope within Township Ordinance requirements. We defer to the Township with respect as to whether the road encroachments into the wetland buffer shall be permitted. Comment outstanding. Please clarify complete extent of existing wetland limits including along Brendal Drain along the west side of the site. Plan Sheet SP-2 indicates wetland boundary along the west property line, if this is the case a 25 foot buffer must be indicated also. The access road entrances off Elizabeth Lake Road and stub from access road off of M-59 encroach into the 25' wetland buffer. Grading for the area of the access road off Elizabeth Lake Road has not been clarified to maintain a slope within Township Ordinance requirements. We defer to the Township with respect as to whether the road encroachments into the wetland buffer shall be permitted. Comment partially addressed. The wetland delineation survey requires clarification, a note on plan sheet SP-2 references



White Lake Plaza
PSP Review.08
June 7, 2022
Page 3 of 9

an expired wetland delineation. Please provide documentation supporting the new delineation has been completed by an individual meeting the requirement of "wetland specialist/ecologist" per Township Ordinance requirements. The revised plans clarify the approximate centerline of drain and the limits of the edge of water; Township Ordinance requirements indicate that a minimum 25-foot setback shall be provided from the edge of a drain or stream. This also needs to be further clarified with OCWRC and EGLE to see if additional setback requirements will further limit allowable construction area. As the retaining wall is currently shown approximately 5 feet off of the waters edge the plans will need to be revised to provide the minimum 25-foot setback or greater depending on WRC or EGLE requirements. Please also demonstrate on the plan set how access to the drain will be achieved for maintenance.

Wetland delineation shall be verified by EGLE if required as regulated wetland locations may affect site layout. The expired wetland delineation survey note has been removed. The design engineer intends to make a request to EGLE for wetland boundary verification. Any motion for approval shall be subject to EGLE concurrence on the wetland limits as this has the potential to significantly impact site layout.

Note that the detention basins are shown on the plans and appear to be outside of the 25-foot wetland buffer, however what is not shown is that significant grading activities will be required within the southern wetland setback to construct the detention pond which is not allowable by Township ordinance. The access road entrances off M-59 and Elizabeth Lake Road no longer appear to encroach into any wetland buffer. This portion of the comment is no longer applicable. The Township will allow grading within the wetland setback but the actual detention basin itself cannot be in the buffer. At the time of Final Engineering Plan submittal, a buffer restoration plan and timeline shall be required. In addition, the applicant may be required to post with the Township a bond amount to ensure restoration work in the wetland buffer is completed in a timely manner. We defer to the Township with respect to this item. Also, additional requirements may be required by EGLE.

b) It should be verified by the owner/ applicant that an access easement for the proposed southern and western drives from Elizabeth Lake Road and M-59 all the way to the southwest property line (reference Preliminary Site Plan Sheet SP-2) shall be granted. This will enable access to the property to the southwest for future development. The design engineer has stated in previous correspondence that the property owner will provide an access easement for the proposed access roads from Elizabeth Lake Road and M-59 all the way to the southwest property line. DLZ recommends further clarification be provided regarding how this future extension could work with any existing drain,



White Lake Plaza
PSP Review.08
June 7, 2022
Page 4 of 9

wetland, or buffers in this vicinity. Comment remains as a notation. A 40' wide access easement is now shown for the access road off M-59 to the western property line; an easement is not required off Elizabeth Lake Road as a drive that would provide direct access to the property to the west is no longer proposed at this point of access. The design engineer states with regard to future extension of the road to the west the following in their review response letter: "Access easement has been provided to cross the drain at a perpendicular angle with height difference of roadway at 958 and drain top of bank at 951.46. This will leave plenty of access road to have a culvert installed and still cross over when needed. No impacts to wetland would be needed."

- c) White Lake Township Fire Department has deferred further comment to this office regarding turning radius for fire apparatus. The plan sheet SP-4 shows a fire truck "dropped" onto the plan in several areas. This does not sufficiently demonstrate space required for the turning movements. This is typically accomplished with AutoTURN software to show the required path of travel for a 40-foot-long vehicle to navigate the site. Please update the plans to show the path of travel required for a 40-foot vehicle to navigate the site. We also note there are outstanding items on the Fire Department review regarding fire hydrant coverage and placement. Turning movements for fire apparatus have been provided on the plan set. Note that the traffic sign near the drive thru exit of Building C will need to be relocated as it will be damaged by the movements. New layout shows turning movements and radii for a fire truck. Clarification will be required regarding the proposed drive slope on the Highland Road approach to demonstrate the angle of approach will not cause clearance issues with fire apparatus. DLZ continues to defer comment to the Fire Department regarding fire hydrant coverage as the on-site hydrant proposed may be difficult to access in proposed location. Comment remains as a notation. An updated turning radius has now been provided to clearly show all turning movements for a fire truck. Hydrant locations have also been updated and we continue to defer to the Township Fire Department with respect to hydrant coverage.
- d) Please also refer to the 7-7-2021 DLZ letter regarding the Traffic Impact Assessment Review but note that the TIA was based on a previous layout for the proposed development. A revised TIS Review is in process and will be provided under separate cover. A new TIS is in process and shall be submitted by Rowe Engineers.
- e) The development appears to be proposed as a phased development as it is noted that the apartments are to be built in the future. The phasing of the project should be clarified; we defer to the Township regarding the phasing. Comment remains as a notation. A note has been added to the plans to mark future apartments as Phase 2.
- f) There are a couple of parking spaces which do not meet the minimum required width of 9' per Township Zoning Ordinance 5.11.Q. In addition, there is a space proposed as 18' in width. Is the intent for this to be two (2) 9' wide spaces? Please reference red lined plan for locations. Comment



# INNOVATIVE IDEAS EXCEPTIONAL DESIGN UNMATCHED CLIENT SERVICE

White Lake Plaza
PSP Review.08
June 7, 2022
Page 5 of 9

addressed. Parking spaces are properly spaced as 9' wide spaces. Comment outstanding. Although this comment was previously addressed, it appears that there is now one (1) parking space adjacent to Building E on Sheet SP-2 that is shown as 8' wide; this space shall be adjusted to the 9' minimum required width. Comment addressed. Space width has been revised to 9' minimum required width.

- g) Buildings D and E sidewalks scale to less than 7' in width. 7' width is required per Zoning Ordinance 5.11.Q. xv. Comment addressed. Sidewalks have 7' width. Comment outstanding. Although this comment was previously addressed, it appears that the sidewalk proposed on the west side of the easternmost apartment building measures to 6.5' width. A minimum 7' width is required. Comment addressed. Sidewalk width has been adjusted.
- h) There is a potential that the drive thru traffic in the areas adjacent to the proposed loading zones/dumpster enclosures may become hindered due to truck traffic within the loading/dumpster areas. In addition, there is also the potential for conflict with the designated multiple uses in these areas i.e., supply truck blocking garbage truck from accessing dumpster should both trucks be on site at the same time. Comment remains as notation. We defer to the Township as to whether this shall be acceptable.
- i) Is the sidewalk shown along M-59 to the west of the property proposed or existing? If proposed, it appears to be off site. A grading and sidewalk easement will be required if not in ROW. Comment partially addressed. Plans should be revised to show existing sidewalk west of site and show connection with proposed walk. Comment remains. Details of connection to existing walk will be required to be shown on the FSP/FEP.
- j) How will existing grades in the areas adjacent to proposed catch basins in the westernmost drive be met if proposed grades of the catch basins are approximately 4' to 5' higher than the existing adjacent grades? Note that proposed grading will need to comply with Township Engineering Standards in terms of slope requirements. Comment remains outstanding. Catch basins remain 4' to 5' higher than existing adjacent grades. Grading will need to be reviewed and plan to be revised as necessary. There are also concerns with the grading of the access road entrance from M-59.
  - Comment remains as a notation. A retaining wall is now shown along the western drive off M-59. The design engineer will need to provide at time of FSP/FEP submittal a structural analysis and report showing that the proposed retaining wall shall support the horizontal stresses from the proposed drive.
- k) There is a concern with the proximity of the proposed water main and storm sewer relative to the existing county drain. Soil quality/stability, insufficient cover, and grading may be concerns. These utilities may require relocation away the influence of the drain. Please investigate and revise plan as necessary. Comment partially addressed. Proposed water and stormwater main shifted to avoid proximity to existing drain. Grading is still a concern, specifically along the west side of the site. There does not appear to be enough room to grade out to meet existing grade within the site limits. Will a



INNOVATIVE IDEAS

EXCEPTIONAL DESIGN

UNMATCHED CLIENT SERVICE

White Lake Plaza
PSP Review.08
June 7, 2022
Page 6 of 9

retaining wall be utilized in this area? Please investigate and revise plan as necessary. Comment addressed at this level of review. The watermain has been relocated further east and a retaining wall has now been added along the drive off M-59. See comments a) and j) above for further comment on this item.

- I) Preliminary basin sizing calculations will be required in order to demonstrate that there are sufficient capacities in the basins to detain 2-100 year storm events. Calculations should reflect full buildout/development of site including future phases. Preliminary basin contours should also be shown. Comment addressed. Preliminary basin sizing calculations and contours shown on site plan. As referenced in item a) above, the detention basins are shown on the plans and appear to be outside of the 25-foot wetland buffer, however what is not shown is that significant grading activities will be required within the southern wetland setback to construct the detention pond which is not allowable by Township ordinance. The detention basin configuration will need to change in order to not require grading within the wetland setback. Refer to item a) for comment response.
- m) Enlarged detail of the NE corner shown on Sheet SP-6 does not match layout on other plan sheets for this location. Comment outstanding. Since plan has been redesigned by a new engineer, the detail does not match the new layout. Please revise. Comment addressed. Enlarged detail appears to match plan sheets.
- n) Please refer to marked up plan sheets for additional comments and clarifications that may be required. Comment outstanding. Please refer to the marked up plans as there are a few remaining items which will need to be addressed. Comment addressed. Items have been revised.
- o) A Drain easement may be required by Oakland County for the Brendal Drain which runs in close proximity to the western property line for this project. Please provide verification from the County with respect to the jurisdiction and easement requirements relative to the Drain. This may impact the buildable limits along the west property line. Comment remains. Design engineer has noted that they will submit plans to the County for drain review. The County requirements may significantly impact the proposed site layout relative to the proposed access drive and retaining wall. Any recommendations for approval shall be subject to County Drain Commission approval.
- p) The plans currently indicate a 6' tall retaining wall will be provided in the vicinity of a possible future connection with the property to the west. It would not be wise to stub the proposed future extension watermain all the way to the retaining wall, but future plans will need to provide a watermain easement for future connection of the watermain to the west. Comment addressed. A watermain easement is now shown to the west property line at western access drive stub.
- q) The proposed setback from Building A to the western driveway back of curb is approximately 6 feet; does this meet Township requirements? Comment outstanding. Building A has now been shifted to 7' off B/C. We defer to the Township as to whether this meets Township requirements.



White Lake Plaza
PSP Review.08
June 7, 2022
Page 7 of 9

- r) The corner of the dumpster enclosure between Buildings D & E appears to slightly intrude into the paving for the drive through. DLZ recommends this be revised for some additional clear space.

  Comment addressed. Corner of enclosure has been moved out of drive through.
- s) Sheet SP-6 shows a Decorative Metal Fence with Brick Columns. The columns are shown as 42" deep below ground surface. We note that columns cannot be placed directly over existing or proposed watermain, sanitary sewer, or storm sewer.

The following comments can be addressed at the time of Final Site Plan/ Final Engineering Plan submittal.

Please note that these comments do not impact the Preliminary Site Plan layout or engineering feasibility.

These comments have been provided to the applicant's engineer at this time as a courtesy as the plan moves forward to FSP and FEP review.

# FSP/FEP Comments (for future submittal)-

## **Paving and Grading**

- 1. <u>Sheet SP-3</u>-Specify sidewalk widths on this sheet. 8' width required along M-59 and 6' width required along Elizabeth Road. Comment addressed. Sidewalk along Elizabeth Lake Road is proposed as 8' wide. Comment outstanding. Although comment was previously marked as addressed, the dimensions of both sidewalks have now changed: 1) Elizabeth Lake Road- 10' wide 2) M-59-Approximately 11' wide. Both dimensions were based on scale presented on current plan. Please clarify. Comment addressed.
- 2. Drive thru between Building D and E requires centerline radii dimension. Comment outstanding. Although engineer response letter indicates this dimension has been placed on plan, it is missing. Please add. Comment addressed.

## Watermain

1. Verify that sizing of the 8" watermain will be sufficient to service any future development on property to the west and southwest of this property. **Comment outstanding.** 

# Sanitary Sewer

 ALL proposed restaurant facilities shall have individual 1000 gallon grease interceptors followed by a sampling MH. Please show all locations on plan. Comment partially addressed; each food service



INNOVATIVE IDEAS

EXCEPTIONAL DESIGN

UNMATCHED CLIENT SERVICE

White Lake Plaza
PSP Review.08
June 7, 2022
Page 8 of 9

facility should have its own grease interceptor; it appears one is missing. Grease interceptors and sampling MH shown on plans, however plans only show 100 gallon grease traps instead of 1000 gallon grease traps. Revise to show 1000 gallon grease traps instead of 100 gallon grease traps. Comment partially addressed. 1000 gallon grease interceptors have now been provided; however, a monitoring MH shall be provided downstream of the grease interceptor for Building B. Comment addressed.

# Stormwater Management

- Please note White Lake Township will require a standardized Storm Sewer and Detention Basin Maintenance Agreement be in place prior to pre-construction meeting. Comment remains as a notation.
- 2. A County Drain easement may be required by Oakland County for the Brendal Drain which runs in close proximity to the western property line for this project. Please provide verification from the County with respect to the jurisdiction and easement requirements relative to the Drain. Comment remains as a notation.
- 3. Catch basins 5,4, and the catch basin to the east of 4 appear to be taking in a large amount of sheet flow for this site. Verify that inlet capacities can accommodate proposed storm flows without surcharging these CB structures. Comment remains as a notation. Design engineer states in their review response letter: "Surcharge calculations will be fully completed at Final Engineering but based on standard areas for inlets at max spacing of 150' project should be adequately sized. if calculations show surcharging basins could be upgraded to double inlets in same locations."
- 4. Township requires a 12' access easement for detention basins. Comment remains as a notation.

# Recommendation

The majority of engineering issues have been addressed and the site demonstrates feasibility. We have deferred a few comments to the Township Planning Department or Planning Commission and note that submittal of a revised traffic impact study (TIS) is underway. A recommendation for approval could be considered subject to Planning Department concurrence, and approval from EGLE and Oakland County Drain Commission regarding the west property line and drain/wetland impacts, and the TIS showing no significant impact on level of service.



White Lake Plaza
PSP Review.08
June 7, 2022
Page 9 of 9

The comments listed under 'FSP/FEP Comments' can be addressed at the time of Final Site Plan/ Final Engineering Plan submittal.

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E. Department Manager

M Levy

Victoria Loemker, P.E. Senior Engineer

**Enclosures: None** 

Cc: Justin Quagliata, Community Development, via email

Hannah Micallef, Community Development, *via email* Aaron Potter, DPS Director, White Lake Township, *via email* John Holland, Fire Chief, White Lake Township, *via email* 

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# WHITE LAKE TOWNSHIP PLANNING COMMISSION

# REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Planning Commission

FROM: Sean O'Neil, AICP, Community Development Director

Justin Quagliata, Staff Planner

**DATE:** June 9, 2022

RE: Elizabeth Lake Retail

Rezoning and Preliminary Site Plan - Review #9

Nazir Jawich has requested rezoning to PB (Planned Business) and preliminary site plan approval to construct a commercial/retail center on the northeast portion (7.917-acres, exclusive of right-of-way) of Parcel Number 12-21-426-005, located at the southwest corner Elizabeth Lake Road and Highland Road. Currently the site is zoned AG (Agricultural). The Applicant is proposing to construct five single-story buildings totaling 29,040 square feet in size. Three drive-thru windows are proposed (westerly unit of Building B, Building C (single-tenant building), and northerly unit of Building E).

At the south side of the development area, the plan shows two "Future Apartment Building Phase 2." A note on the plan indicates 44 potential units. At the May 19, 2022 Planning Commission meeting, the Applicant asked the Commissioners for feedback regarding if there was continued desire to include residential units as part of this project, given approximately 65 acres to the west were recently rezoned to RM-2 (Multiple Family). Based on the feedback, there was consensus residential units should not be included on the site plan. Additionally, there was discussion regarding whether PD (Planned Development) or PB zoning was more appropriate for the property. There was agreement PB zoning would be more appropriate for the site than PD zoning. PB is a nonresidential zoning district and dwelling units are prohibited. If the project proceeds to final site plan, the apartment buildings and associated infrastructure (dumpsters, parking, etc.) shall be removed from the plan.

The minimum lot size requirement in the PB zoning district is 10 acres. The Township Board, after receiving a recommendation from the Planning Commission, may permit a smaller parcel than otherwise required in the PB district if the proposed project has unique characteristics and benefits, or the parcel has unique characteristics significantly impacting development. At its meeting on March 18, 2021 the Planning Commission recommended waiving the minimum lot size requirement, and at its meeting on April 20, 2021 the Township Board approved the waiver request.

To qualify for PB zoning, a public benefit(s) must be provided to offset the impact(s) of development on the Township. Community benefits are intended to be for the use and enjoyment of the public-at-large and must be commensurate with the waivers requested for the project. While not shown on the plans, the only public benefit proposed is the extension of off-site pathway/sidewalk south on Elizabeth Lake Road to the White Lake Library. Plans for the off-site pathway/sidewalk extension shall be provided at final site plan.

# Rezoning

For Planned Business developments, rezoning and preliminary site plan requests are processed concurrently. Review of the rezoning request should focus on whether the proposed PB zoning is appropriate for the site. According to the zoning ordinance, the PB District is primarily a commercial district intended to permit, with Township approval, private and/or public development in a coordinated and cohesive arrangement. It is intended the PB District be located along major thoroughfares, such as Highland Road (M-59), as opposed to locations in residential neighborhood areas where conflicts of land uses may arise more easily. Development standards in the PB district must result in a project superior to one constructed under standard zoning requirements. Therefore, any PB site plan must be substantially consistent with the Master Plan, desirable principles of land use planning, zoning ordinance standards, and other applicable development requirements.

# Master Plan

The Future Land Use Map from the Master Plan designates the subject site in the Planned Community category, which is characterized by a mix of uses including higher residential densities and a variety of housing product types as well as a core area with retail, dining, entertainment, governmental, recreational, institutional, office, and personal service establishments. Residential elements of a Planned Community may take the form of a freestanding neighborhood, or may be permitted on the upper floors of nonresidential development in the community core area. Multi-use/story buildings are expected to have two or three stories, however open space must be provided. Connections to and segments of the Township community-wide pathway system are required as an integral part of all developments.

The Master Plan includes the following guidelines for physical form in the Lakes Town Center Focus Area:

- Higher density residential, often in the form of upper floors in mixed use retail or office development.
- Unifying visual development features, such as: special pedestrian pavements, light fixtures, landscaping, way-finding sign systems, highest quality architecture, timeless design that avoids "theme" concepts, and the like.
- Unique and attractive roadway features that also promote pedestrian safety, such as: landscaped boulevards, special crossing features, refuge areas in the center of wide crossings, mast-arm signals incorporating lighting and signage systems, and on-street parking.
- Terminated Vistas that provide attractive locations for civic anchors, such as major retailers or institutional, civic, museum, or religious uses.
- Terminated Vistas also can be used to: screen less attractive elements, such as parking lots; and draw residents and visitors toward a destination, thereby encouraging pedestrians to walk and enjoy all that Lakes Town Center has to offer.
- Parking should be provided both on-street, to enhance the appearance of convenience and improve safety for pedestrians, and in convenient but thoughtfully-screened parking lots or parking structures that include landscaping for beauty and to provide shade, thereby reducing the "heat island" effect.
- Compact development allows buildings to be concentrated into a form that is more walkable.
- Sidewalk, alleys, and mid-block connections all contribute to a walkable area that is easy to navigate.

## **FUTURE LAND USE MAP**



# **Zoning**

The subject site is located in the AG (Agricultural) zoning district, which requires a minimum of 300 feet of lot width and five acres of lot area. The requested PB zoning district does not have a minimum lot width requirement. The following table illustrates the lot width and lot area standards for the existing AG and proposed PB zoning districts:

ZONING DISTRICT	LOT WIDTH	LOT AREA
AG	300 feet	5 acres
PB	No minimum; Determined by Planning Commission	10 acres (waiver granted)

# Physical Features

There appear to be EGLE (Michigan Department of Environment, Great Lakes, and Energy) regulated wetlands on the site. However, a wetland delineation was not provided. A delineation prepared by a wetland specialist/ecologist has repeatedly been requested by staff, and the Applicant has not provided such. EGLE has regulatory authority regarding the wetland boundary location(s) and jurisdictional status of wetlands on this site. Prior to final site plan, wetland boundary verification shall be completed by EGLE. Note the proposed layout may require revision in response to the EGLE review. Based on the submitted plans, the Applicant proposes to encroach within the Natural Features Setback in several places. No building or structure can be located closer than 25 feet to any regulated wetland, submerged land, watercourse, pond, stream, lake or like body of water. The setback shall be measured from the edge of the established wetland boundary as reviewed and approved by the Township. Grading activities should also not occur in the Natural Features Setback as the intent is to, as much as possible, leave said area in its natural state. If grading is permitted to occur in the Natural Features Setback, the area must be restored to its natural, undisturbed state. A Natural Features Setback restoration plan is required and must be submitted at final site plan.

The following must be conditions of any approval:

- Prior to any construction or grading on the site, the Applicant shall install silt fencing at the upland edge of Natural Features Setbacks / limits of grading. The silt fencing shall be removed after construction once the area is stabilized and vegetation has been established.
- Wetland limits shall be clearly identified with permanent markers. The size, number, location, and language on the markers shall be subject to the approval of the Community Development Director.

Staff suggests the Planning Commission consider rejecting the waiver request to encroach into the Natural Features Setback and requiring the plans be revised to eliminate encroachment.

#### Access

The site fronts on Highland Road and Elizabeth Lake Road. Along the property Highland Road is a five-lane road (two lanes each direction and a center turn lane) and Elizabeth Lake Road is a four-lane road (three lanes going north (two left-turn lanes to westbound Highland Road and one right-turn lane to eastbound Highland Road) and one lane going south).

The zoning ordinance requires a minimum six-foot-wide sidewalk placed one-foot from the inside edge of the right-of-way along the Elizabeth Lake Road property frontage, and a minimum eight-foot-wide sidewalk along the Highland Road property frontage. The existing paved shoulder along Highland Road shall be removed and converted to greenbelt. The plan shows eight-foot-wide sidewalks along both the Elizabeth Lake Road and Highland Road property frontages. Most of the sidewalk along Highland Road and all of the sidewalk along Elizabeth Lake Road are proposed outside of the right-of-way; the sidewalk must be relocated inside the road right-of-way or an easement be provided. Right-of-way/easement widths for public walkways when not adjacent to or a part of street rights-of-way must be at least 15 feet and dedicated to the use of the public.

The development would be accessed from a driveway on Highland Road and Elizabeth Lake Road. The Highland Road driveway would require waivers from zoning ordinance access management standards (the driveway location is subject to change pending EGLE review and Planning Commission action regarding encroachment into the Natural Features Setback).

DLZ reviewed the submitted traffic impact study (TIS) and stated there is missing information which has the potential to change the results of level of service (LOS) calculations at both site driveways. Additionally, DLZ raised concerns with the layout of the site, recommended turn lanes or tapers were not included on the plan, and a number of other issues. A revised TIS shall be submitted for review by the Township Engineering Consultant and staff. The Planning Commission should not make recommendations to the Township Board on the rezoning or preliminary site plan until a revised TIS is submitted and reviewed.

# Utilities

The project would be served by both the municipal water and sanitary sewer systems. The Township Engineering Consultant will perform an analysis of stormwater, location and capacity of utilities, and grading to ensure compliance with all applicable ordinances as well as the Township Engineering Design Standards.

# Staff Analysis - Rezoning

Review of the rezoning request should focus on whether the proposed PB zoning is appropriate for the site. In considering any petition for an amendment to the zoning map, the Planning Commission and Township Board must consider the following criteria from Article 7, Section 13 of the zoning ordinance in making its findings, recommendations, and decision:

- A. Consistency with the goals, policies and future land use map of the White Lake Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area. The Future Land Use Map from the Master Plan designates the subject site in the Planned Community category, and it is located within the Lakes Town Center Focus Area. The proposed PB zoning allows for the proposed uses, with the exception of the apartments shown on the plan.
- **B.** Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district. If the property is rezoned to PB, the project would not directly or indirectly have a substantial adverse impact on the natural resources of the Township. As proposed on the preliminary site plan, development of the site may result in adverse impacts on wetlands in the vicinity.
- C. Evidence the applicant cannot receive a reasonable return on investment through developing the property with one (1) of the uses permitted under the current zoning. No such evidence has been submitted.
- **D.** The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values. The majority of the permitted uses in the PB district are compatible with the surrounding uses and the nature of the uses anticipated in the Township Master Plan. Only the Township Assessor may provide comment on property values.
- E. The capacity of Township utilities and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township. The site is in an area intended to be serviced by public water and sanitary sewer. The Community Development Department defers to the Director of Public Services and Township Engineering Consultant on this matter.
- F. The capability of the street system to safely and efficiently accommodate the expected traffic generated by uses permitted in the requested zoning district. As previously described, a revised TIS shall be provided.

- **G.** The apparent demand for the types of uses permitted in the requested zoning district in relation to the amount of land in the township currently zoned and available to accommodate the demand. Evidence of the demand in the Township for additional retail has not been submitted. Based on resident feedback over the years, there is demand for additional restaurants. The location is appropriate for the proposed uses.
- H. The boundaries of the requested rezoning district are reasonable in relationship to its surroundings, and construction on the site will be able to meet the dimensional regulations for the zoning district listed in the Schedule of Regulations. Based on the submitted preliminary site plan, development of the site would require waivers from zoning requirements. A list of all requested waivers shall be provided by the Applicant.
- I. The requested zoning district is considered to be more appropriate from the township's perspective than another zoning district. The PB zoning district provides flexibility in development standards, which may be appropriate for this site. The uses allowed in the PB district are appropriate for the site and the proposed uses are permitted uses in the PB district, with the exception of the apartments shown on the plan.
- J. If the request is for a specific use, is rezoning the land more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use? Rezoning would be the most appropriate way to allow for the proposed use. Amending the AG (Agricultural) zoning district to allow commercial/drive-thru restaurants/retail would not be advised.
- **K.** The requested rezoning will not create an isolated and unplanned spot zone. Planned Business developments by nature stand on their own. However, the uses allowed within the PB zoning district should be consistent with the use of land surrounding it. The proposed development is consistent with the surrounding land uses.
- L. The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided. A request to rezone the site to PB was tabled by the Planning Commission in 2021. While the requested zoning district remains the same, the preliminary site plan has been revised since the initial application.
- **M.** An offer of conditions submitted as part of a conditional rezoning request shall bear a reasonable and rational relationship to the property for which rezoning is requested. This standard is not applicable.
- N. Other factors deemed appropriate by the Planning Commission and Township Board. For PB requests, a public benefit must be provided by the project. A public benefit(s) must offset the impact(s) of development on the community. As previously stated, only one public benefit is proposed, and an estimated value (construction) of such has not been provided. Any public benefit(s) shall be commensurate with the waivers requested for the project. The Planning Commission and Township Board could also consider other factors which may be relevant to the rezoning request.

# **Staff Analysis – Preliminary Site Plan**

When reviewing the preliminary site plan, the Planning Commission should consider if the project meets the design standards for Planned Business developments found in Article 6, Section 7 (C) and (D) of the zoning ordinance, the appropriateness of the requested waivers, and the site standards and development procedures for a PB development as outlined in Articles 5 and 6, respectively, of the zoning ordinance.

The Planned Business development review process is summarized by the following steps:

- 1. Preliminary Site Plan: During this review, the site layout and uses are established, the amount of open space is determined, and other project details are decided upon. The Planning Commission holds a public hearing on the rezoning, reviews the PB proposal, and makes a recommendation to the Township Board. The Township Board takes final action, approving or denying the preliminary site plan. The rezoning request is reviewed concurrently with the preliminary site plan and is decided by the Township Board.
- 2. Final Site Plan: At this time building materials and colors, landscaping, and outdoor lighting are finalized and all conditions of preliminary site plan approval must be satisfied. The Planning Commission reviews and takes action to approve or deny the final site plan, and also reviews the proposed Development Agreement and makes a recommendation to the Township Board.
- 3. Development Agreement: Upon recommendation by the Planning Commission, the Township Board takes final action on the Development Agreement.

The development standards for the PB district require 50-foot front yard setbacks; side yard and rear yard setbacks are determined by the Planning Commission (no minimum side yard or rear yard requirements). The maximum building height allowed is 35 feet or two stories, whichever is less. Article 4, Section 17 provides additional standards for drive-in or drive-thru window service, including a front yard setback of 60 feet. Additionally, entrance and exit drives must be at least 100 feet from any street intersection and 200 feet from any residential district (waiver required – site driveways (which would serve drive-thru uses) would not be located 200 feet from a residential district). The following waivers for building setbacks are required:

- North: 40-foot waiver 10-foot proposed front yard setback
- East: 33.5-foot waiver 16.5-foot proposed front yard setback

# Building Architecture and Design

Generally, exterior building materials should be comprised primarily of high quality, durable, low maintenance material, such as masonry, stone, brick, glass, or equivalent materials. Buildings should be completed on all sides with acceptable materials. The proposed building materials for the project are a mix of brown and charcoal brick (veneer), with an EFIS (exterior insulation finishing system) cornice. Fabric and steel awnings/canopies are also proposed. Building materials will be reviewed in detail at final site plan.

Outdoor patios are located on the site. <u>Details for the items to be located on the patio and details for the patio surfacing shall be provided at final site plan. An ornamental paving treatment should be required by the <u>Planning Commission</u>. The treatment should be something either decorative or something to provide aesthetic quality to the patio. Potential options for ornamental paving treatments include, but are not limited to, CMU pavers; brick; stone; or stamped, stained, and sealed concrete. Accessory items such as railings, benches, trash receptacles, outdoor seating (such as tables and chairs), or sidewalk planters located in the vicinity of sidewalks and/or outdoor seating areas are required to be of commercial quality and complement the building design and style. **These details shall be provided at final site plan.**</u>

# Landscaping and Screening

Landscaping must generally comply with the provisions of the zoning ordinance and should be designed to preserve existing significant natural features and to buffer service areas, parking lots, and dumpsters. A mix of evergreen and deciduous plants and trees are preferred, along with seasonal accent plantings. A landscape plan will be provided and reviewed in detail during final site plan if the preliminary site plan is approved.

# Trash Receptacle Screening

The zoning ordinance requires dumpsters to be surrounded by a six-foot-tall wall on three sides and an obscuring wood gate on a steel frame on the fourth side, located on a six-inch concrete pad extending 10 feet in front of the gate, with six-inch concrete-filled steel bollards to protect the rear wall and gates. Furthermore, the zoning ordinance states dumpsters and trash storage enclosures shall be constructed of the same decorative masonry materials as the buildings to which they are accessory. Brickform concrete (simulated brick pattern) or stained, decorative CMU block are not permitted where the principal building contains masonry. Plain CMU block is also prohibited. A dumpster enclosure detail was provided on Sheet SP-6.

# **Parking**

The zoning ordinance requires each individual parking space be delineated by dual stripes, two feet apart centered on the dividing lines and painted white. The site plan shall be revised to indicate the required striping.

# Off-Street Loading Requirements

The zoning ordinance requires two loading spaces for a development of this size. Such loading and unloading space must be an area 10 feet by 50 feet, with a 15-foot height clearance. Three loading/unloading spaces are proposed, each 22 feet by 50 feet in size.

Signs

The zoning ordinance requires the area, quantity, location, and dimensions of all signs to be provided with the preliminary site plan. The site plan does not show the location of a monument sign. While signage details were not provided, staff can administratively review and approve signage. Any/all signage would be required to comply with the zoning ordinance.

# Outdoor Lighting

Site lighting is required to comply with the zoning ordinance. Information on site lighting will be provided and reviewed in detail during final site plan.

# **Planning Commission Options / Recommendation**

The Planning Commission may recommend approval or denial of the rezoning request, or it may recommend a different zoning designation than proposed by the applicant to the Township Board. The Planning Commission may recommend approval, approval with conditions, or denial of the preliminary site plan to the Township Board. Staff recommends tabling both the applications for rezoning and preliminary site plan so the Applicant can address the items identified in this memorandum.



# Fire Department

# Charter Township of White Lake

7420 Highland Road, White Lake, MI 48383 Tel 248-698-3993

# Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 06/06/22

Project: Elizabeth Lake Retail

File #: N/A

Date on Plans: 02/21/22

The Fire Department has the following comments with regard to the revised preliminary site plan submitted for the project known as Elizabeth Lake Retail:

## 1. Site Access:

- a. Sheet SP 5 shows the turning Performance Analysis.

  Utilizing a templet, the applicant shall submit a turn radius profile (based on a 40' truck) that demonstrates apparatus movement throughout the site, including the approach and departure points from Highland Rd. and Elizabeth Lake Rd. **Addressed**
- Future apartments (courtesy comment):
   Aerial fire apparatus:
  - Where required. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, approved aerial fire apparatus access roads shall be provided. The highest roof surface shall be determined by measurement to the eave of a pitched roof, the intersection of the roof to the exterior wall, or the top of parapet walls, whichever is greater.
  - II. **Width.** Unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
  - III. Proximity to Building. at least one of the required access routes meeting this condition shall be located within a minimum of 15 feet, and a maximum of 30 feet from the building, and shall be positioned parallel to one entire side of the building. It is preferred that the proposed, future Apt. buildings are identified on the submittals as "Conceptual".

# 2. Fire Hydrants.

- a. The hydrants shall be positioned throughout the site as to provide adequate building coverage with a spacing not to exceed 300'. Additional hydrants may be required as changes are proposed to the property.
- 3. A-2 Use Group (Courtesy Comment):
  - a. Fire areas exceeding 5000 square feet, or having an occupant load of 100 or more will require an automatic sprinkler system. The Fire Department Connection (FDC) for each of these areas will be determined at a later time

John Holland
Fire Chief
Charter Township of White Lake
(248)698-3993
<a href="mailto:iholland@whitelaketwp.com">iholland@whitelaketwp.com</a>

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.

From: David Hieber
To: Hannah Micallef

Subject: RE: Elizabeth Lake Retail PSP #9 due 6/7

Date: Tuesday, June 7, 2022 11:39:19 AM

No concerns from assessing.

Thanks Dave

From: Hannah Micallef < HMicallef@whitelaketwp.com>

Sent: Tuesday, June 7, 2022 10:44 AM

**To:** Michael Leuffgen <mleuffgen@dlz.com>; Victoria Loemker, P.E. <vloemker@dlz.com>; Justin Quagliata <JustinQ@whitelaketwp.com>; David Hieber <dhieber@whitelaketwp.com>; Aaron Potter <APotter@whitelaketwp.com>

**Cc:** Sean O'Neil < SONeil@whitelaketwp.com> **Subject:** RE: Elizabeth Lake Retail PSP #9 due 6/7

Hi all,

Just a friendly reminder, your reviews are due back today.

Thank you,

Hannah Micallef
Executive Secretary
Community Development Department
White Lake Charter Township
7525 Highland Road
White Lake, MI 48383

Ph: 248-698-3300 x163 Fx: 248-698-3995

www.whitelaketwp.com



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From: Hannah Micallef

# PROPOSED RESTAURANTS & RETAILS PLAZA

LOCATION:

(12-21-426-005) HIGHLAND RD. WHITE LAKE, MI 48386

SHEET No.	SHEET TITLE			
SHEET NO.				
	(COVER SHEET)			
SP-1	EXISTING SITE PLAN/TOPO SURVEY			
SP-2	PROPOSED SITE PLAN			
SP-3	PROPOSED GRADING PLAN			
SP-4	PROPOSED UTILITY PLAN			
SP-5	FIRE TRUCK CIRCULATION			
SP-6	SITE PLAN DETAILS			
SP-7	MASTER SIGN PLAN			
SP-8	M-DOT DETAILS			
A-1	BUILDING "A" - PROP. FLOOR PLAN			
A-2	BUILDING "B" - PROP. FLOOR PLAN			
A-3	BUILDING "D" - PROP. FLOOR PLAN			
A-4	BUILDING "E" — PROP. FLOOR PLAN			
A-5	BUILDING "C" — PROP. FLOOR PLAN, ELEVATIONS			
A-6	BUILDING "A" — PROP. ELEVATIONS			
A-7	BUILDING "B" — PROP. ELEVATIONS			
A-8	BUILDING "D, E" - PROP. ELEVATIONS			

LEGAL DESCRIPTION: (PARCEL C) 12-21-426-005

Land situated in the Township of White Lake, County of Oakland, State of Michigan.

Part of the East ½ of the Southeast ¼ of section 21, Town 3 North, Range 8 East, Township of White Lake, Oakland County, MI, described as beginning at a point distance South 89 degrees 25 minutes 19 seconds West 332.92 feet from the East 1/4 corner, section 21, Town 3 North, Range 8 East down the centerline of Highland Road, (M-59) to the intersection of Highland Road (100 Feet wide) and Elizabeth Lake Road (66 Feet Wide); thence down the centerline of Elizabeth Lake Road, (66 feet wide) South 00 degrees 25 feet 22 seconds East, 549.70 feet to a point; thence South 69 degrees 50 minutes 10 seconds West 404.63 feet to a point, also known as the centerline of the Creek; also known as Brendel Lake Creek; Thence North 43 degrees 16 minutes 04 seconds West 299.25 feet, Rad. = 1,681.04; Chd. = 298.86 feet; Thence continuing on centerline of the Creek, also known as Brendel Lake Creek; North 54 degrees 53 seconds 29 minutes West, 30 feet to a point, thence N. 19 degrees 57 minutes 07 seconds West 148 Feet; thence North 11 degrees 17 minutes 59 seconds East 241 feet; thence North 00 degrees 32 minutes 16 seconds West 85 feet to the centerline of Highland Road, (M59 100 feet wide); thence South 89 degrees 25 minutes 19 seconds East 609.27 feet back to the point of beginning; except the portion of 50 feet on Highland Road (100 feet wide) and that portion of 33 feet on Elizabeth Lake Road (66 feet wide) for road and public utilities, containing 8.61 acres more or less.







VIEW FROM PARKING TO THE MAIN ENTRANCE, N.T.S.



VIEW FROM HIGHLAND RD, , N.T.S.



AERIAL VIEW FROM GOOGLE MAPS

**GOVERNING CODE:** 

**USE GROUP:** M (MERCANTILE) & A-2 (ASSEMBLY GROUP)

**BUILDING AREA:** 

ZONING

**LOT COVERAGE** 

(HIGHLAND RD) (ELIZABETH LAKE RD) 16.5 FT. 25'

**REQUIRED PARKING SPACES FOR 3 RESTAURANTS:** 1650 SQ.FT ON BLDG B, 4000 SQ/FT ON BLDG C AND 1950 ON

(1650+4000+1950= 7600); 7600/75= 102 PARKING SPACES

REQUIRED PARKING SPACES FOR RETAILS:

1 SPACE/200 SQ. FT. OF GROSS FLOOR AREA: (5625+8795+2880+4140 = 21440). 21440/200= 108 PARKING SPACES DRIVE THROUGH NEEDS 8 STACKING EACH.

**REQUIRED PARKING SPACES APARTMENT UNITS:** PARKING REQUIRED FOR APARTMENT 2 PER DWELLING UNIT PLUS 1/4 FOR EACH FOR GUESTS. PROPOSING 44 UNITS, WE SHOULD HAVE 2.25 \* 44=99 SPACES

REQUIRED PARKING SPACES REQUIRED: 309 SPACES 102 + 108 + 99 = 309

PROVIDED PARKING SPACES REQUIRED: 313 SPACES

(3) LOADING UNLOADING AREAS ARE PROVIDED

# **CODES CURRENTLY IN EFFECT**

- 2015 MICHIGAN MECHANICAL CODE MMC 2015
- 2015 MICHIGAN PLUMBING CODE, MPC 2015
- 8. ELECTRICAL CODE RULES
- AMENDED, AND THE 2009 ICC/ANSI A117.1 STANDARD AS REFERENCED FROM CHAPTER 11 OF THE 2015 MICHIGAN BUILDING CODE.

MICHIGAN BUILDING CODE 2015 AND

CHARTER TOWNSHIP OF WHITE LAKE, MI ZONING ORDINANCE

PROPOSED USE: **RETAILS & RESTAURANTS PLAZA** 

AREA OF THE PROPERTY: 344,865 SQ. FT. = 7.917 ACRES (EXCLUDING R.O.W.) 29,040 SF

AG (AGRICULTURAL)

REQUIRED = 30% MAX. PROPOSED = 8.53%

# SETBACK REQUIREMENTS

PROPOSED:

REAR:

# **PARKING SPACES REQUIREMENTS (ARTICLE 5.11)**

1 SPACE/75 SQ. FT. OF GROSS FLOOR AREA:

5625 SQ.FT ON BLDG A, 8795 SQ.FT ON BLDG B. 2880 SQ.FT. ON BLDG D, AND 3520 SQ.FT ON BLDG E

**INCLUDING 18 HANDICAPPED SPACES** 

# LOADING UNLOADING SPACES

- 2015 MICHIGAN BUILDING CODE, MBC 2015
- 2017 NATIONAL ELECTRICAL CODE, 2017 CONSTRUCTION CODE PART
- ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW. P.A. 1966 AS

6445 WINONA ALLEN PARK, MI 48101 PH:(313) 282-3453 EALSHAIB@GMAIL.COM

EDWARD ALSHAIB,

ARCHITECT:

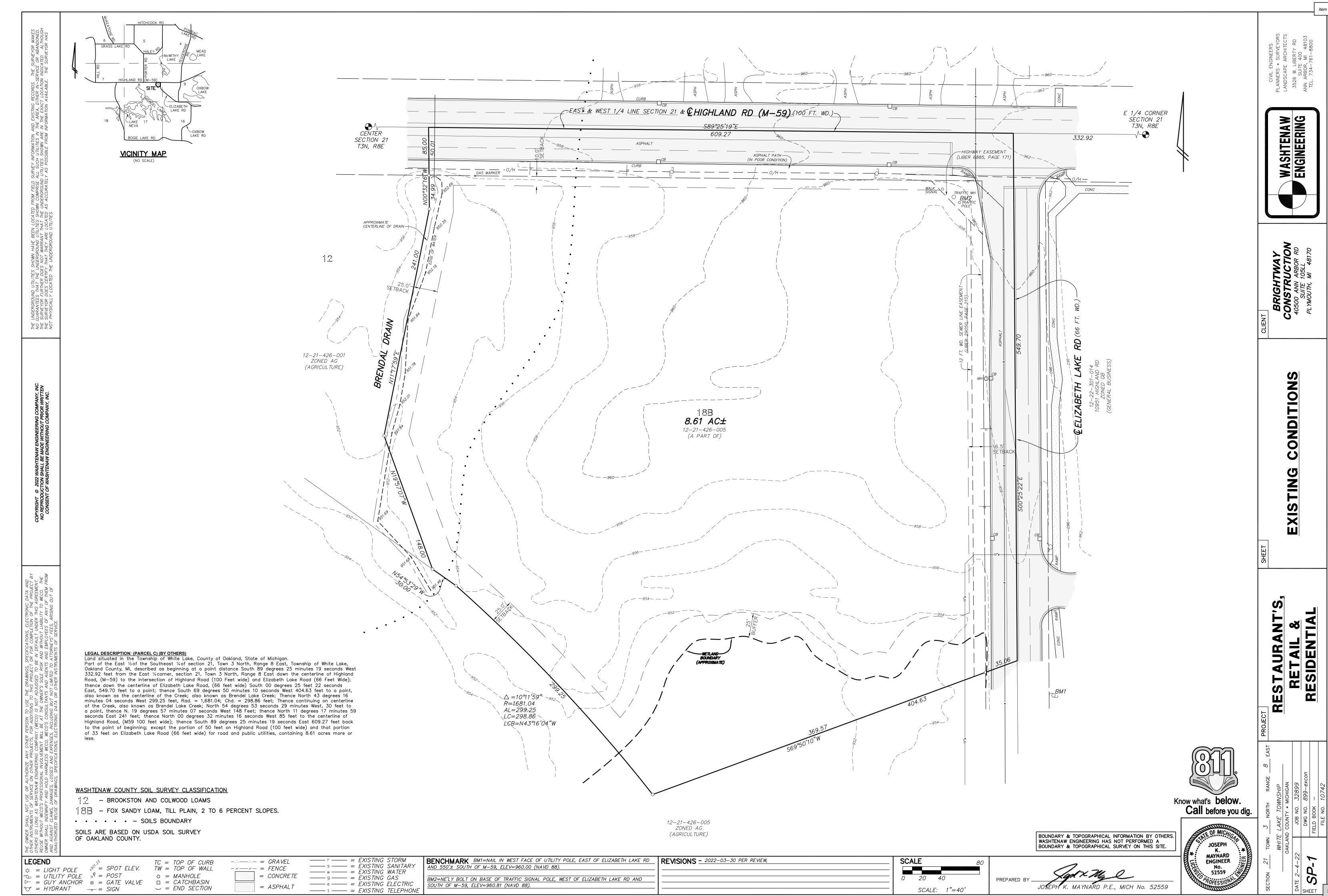
**REVISION NO.:** 

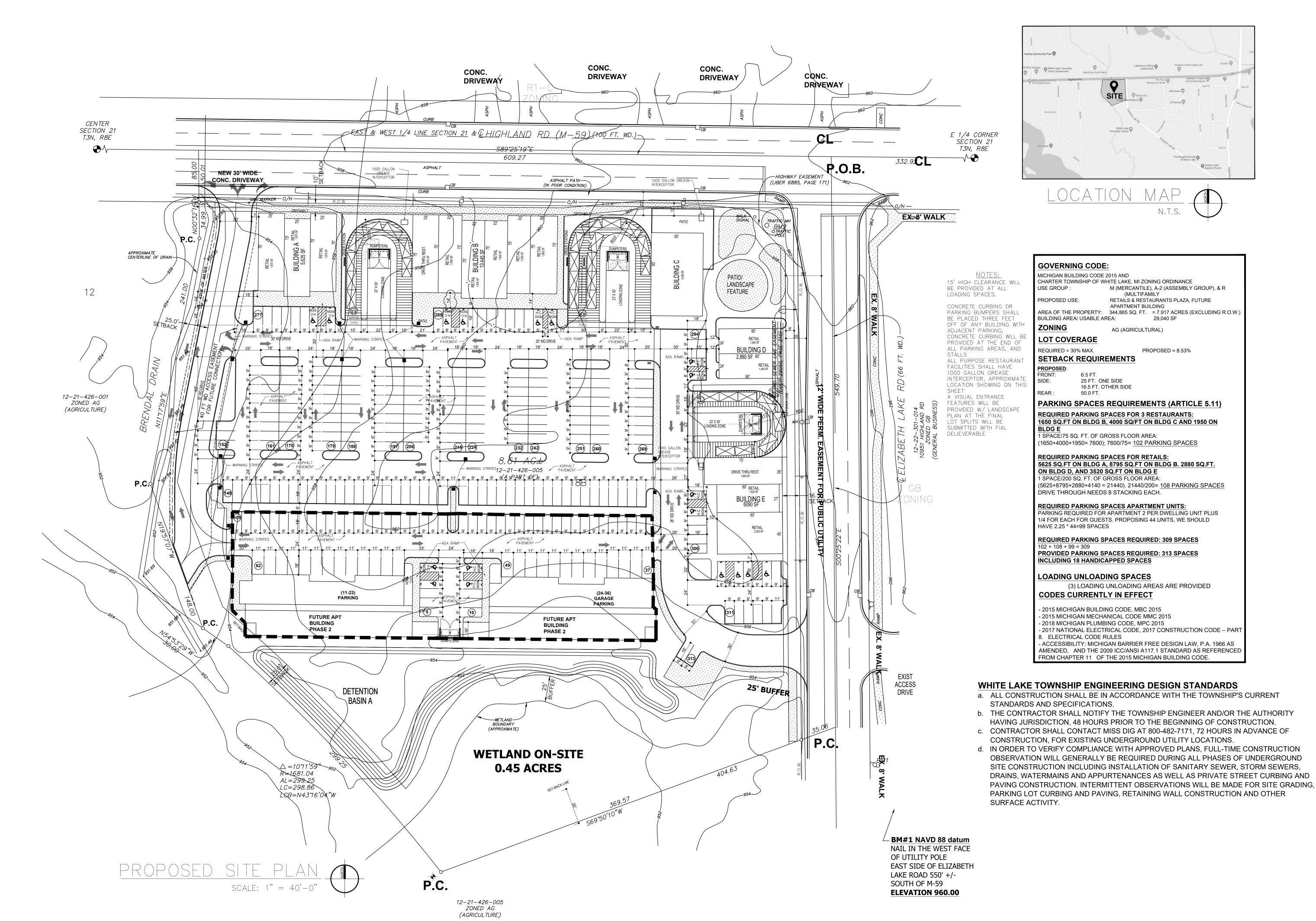
REV. DATE: REVISION NO.: REV. DATE:

**DATE:** 09/29/2021

**SCALE:** AS NOTED

SHEET NO.:





ARCHITECT: EDWARD ALSHAIB,

6445 WINONA ALLEN PARK, MI 48101 PH:(313) 282-3453 EALSHAIB@GMAIL.COM



ADDRESS: (21-426-004) HIGHLAND F CLIENT'S NAME: NAZIR J 

PROPOS AND RE

**REVISION NO.:** 

REV. DATE: **REVISION NO.:** 

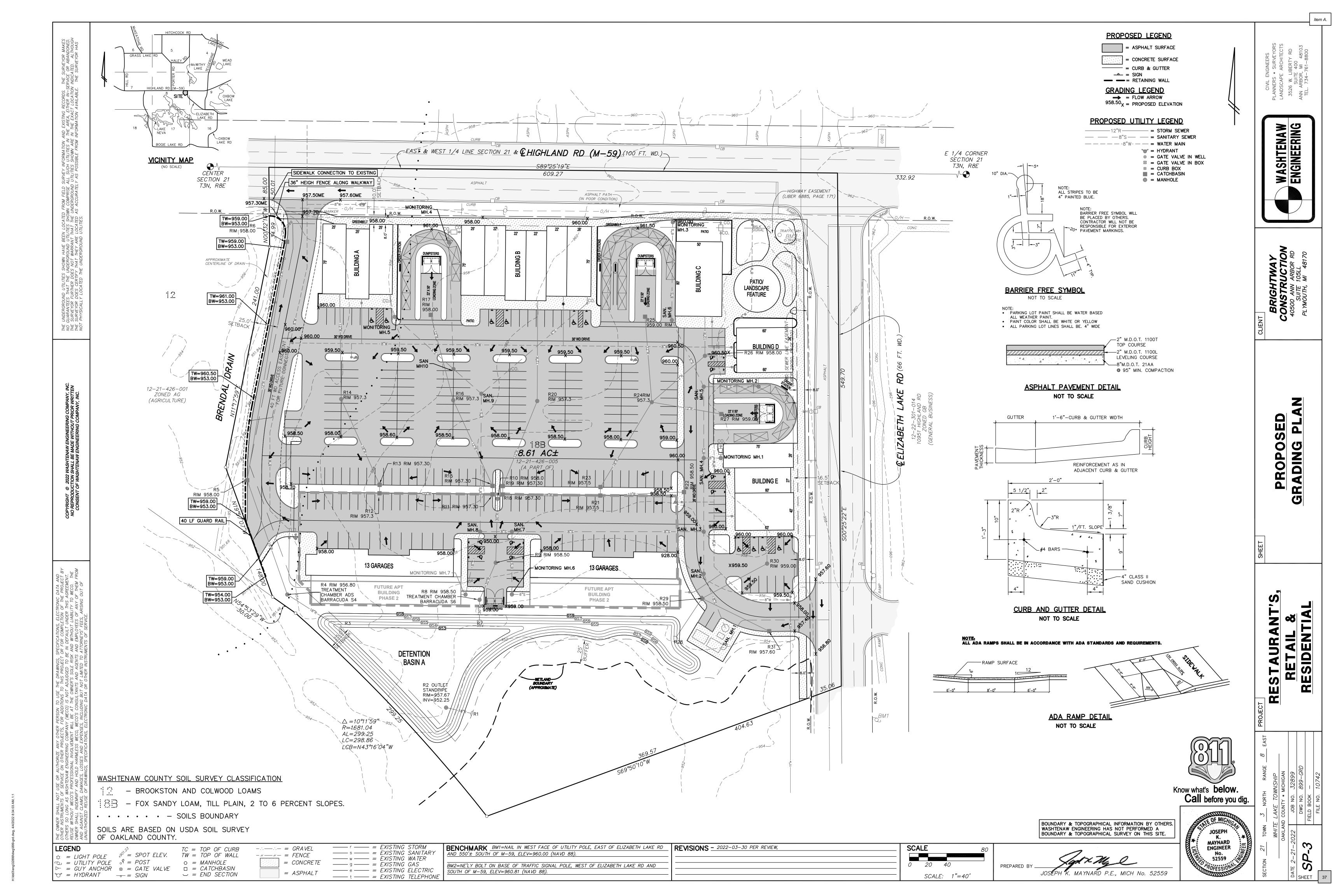
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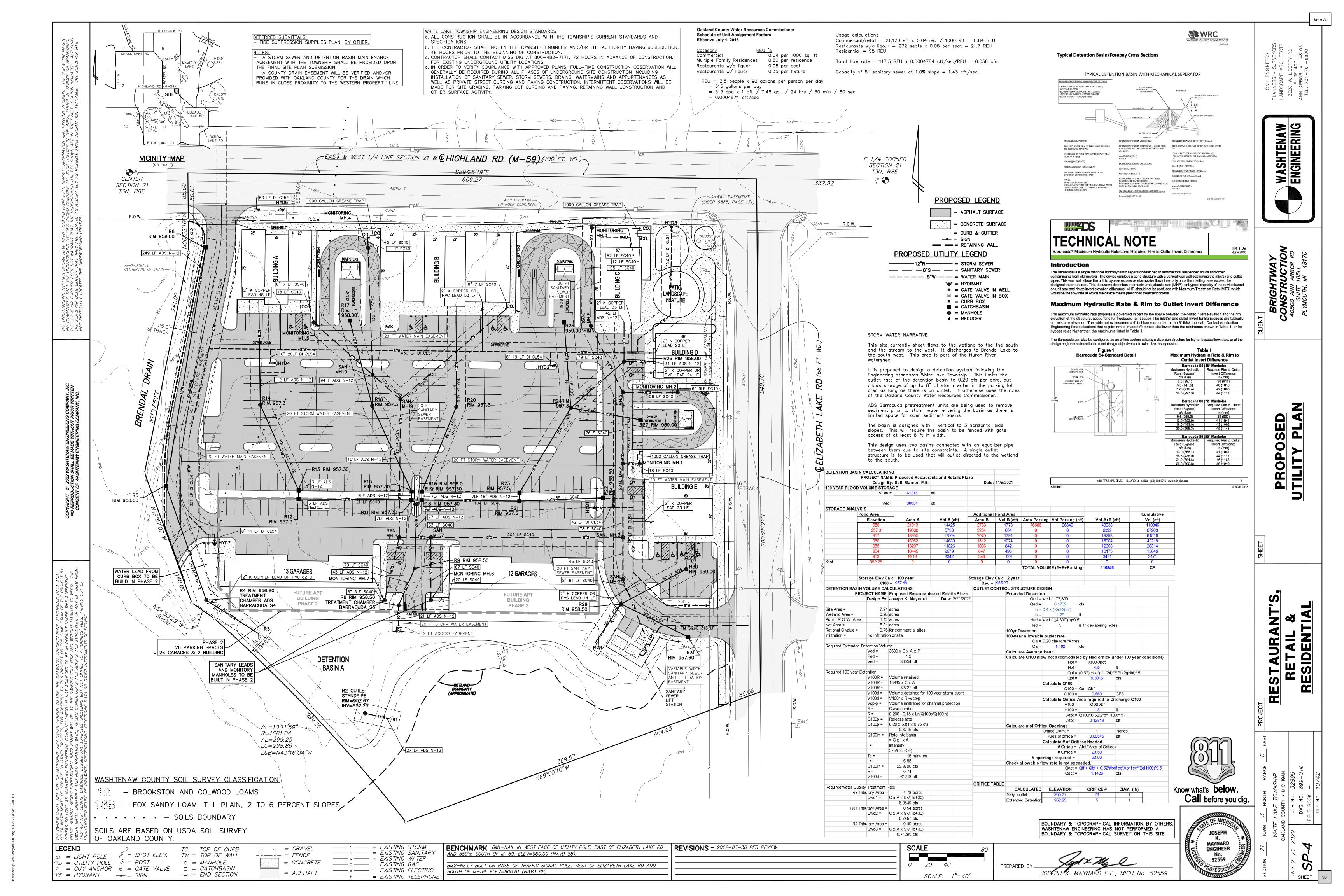
**DATE:** 09/29/2021

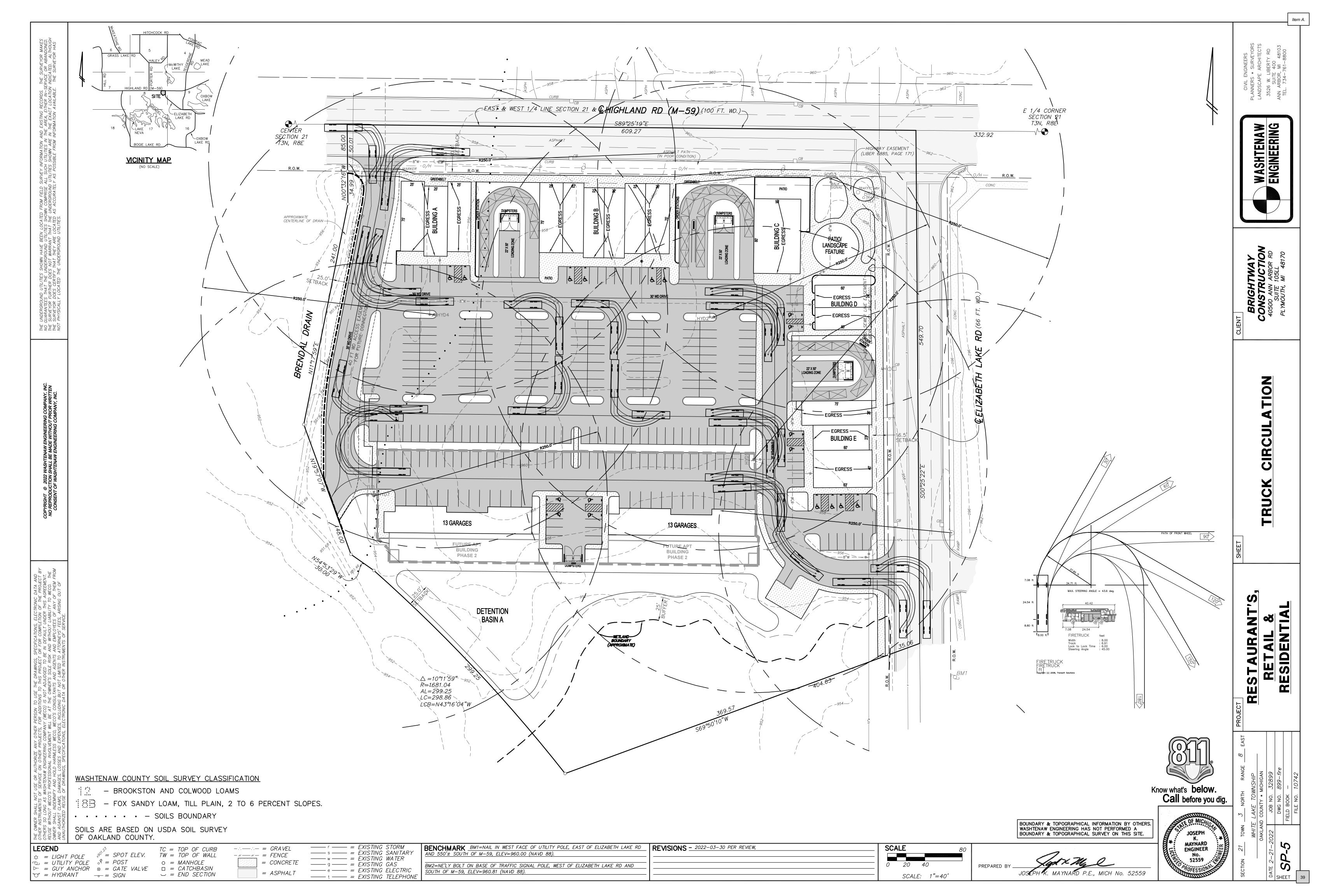
JOB#:

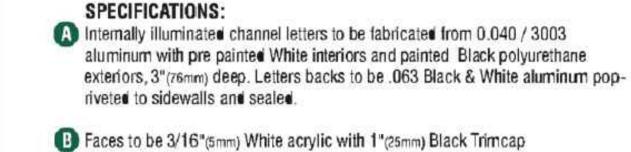
**SCALE:** AS NOTED

SHEET NO.:





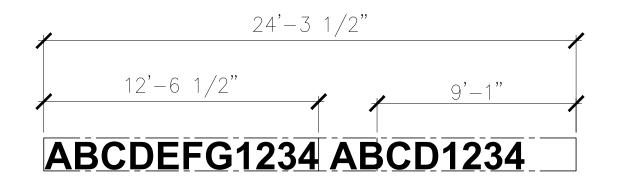


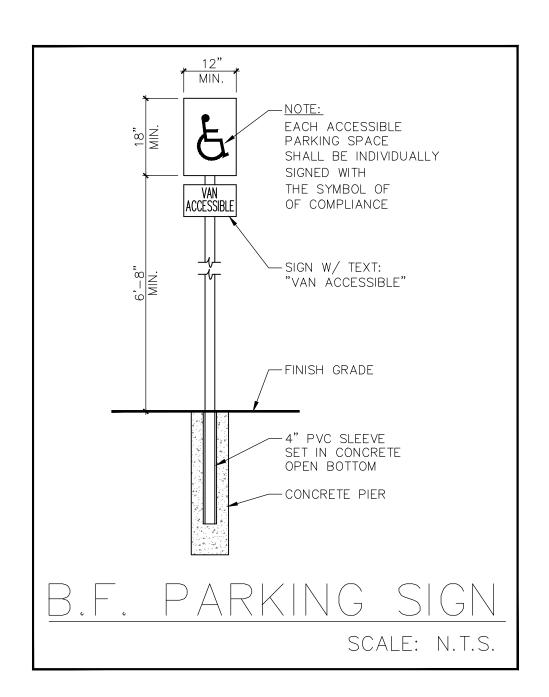


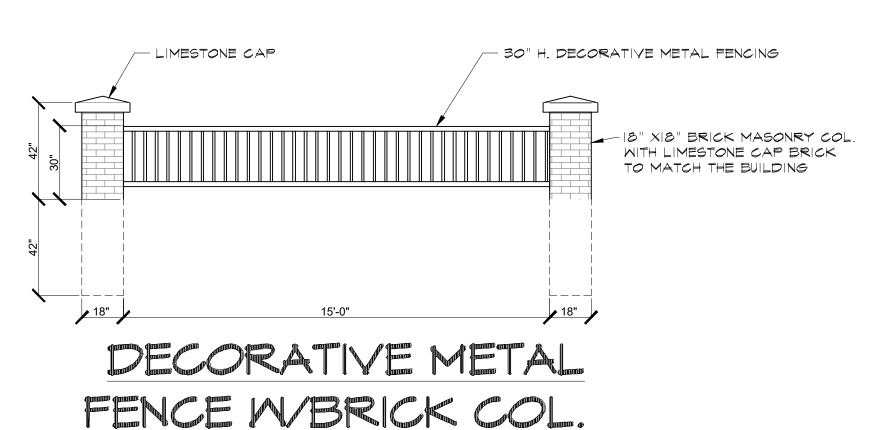
- retainer eaging. Letter face vinyl is 1st surface 3M 3630-76 Holly Green vinyl with scratch borders.
- Internally illuminate letters with Lumificient White LED's attached to inside of letter backs. Power with 120v Lumificient power supplies. Power to be located behind wall.
- Tasten letters flush to wall with required fasteners.

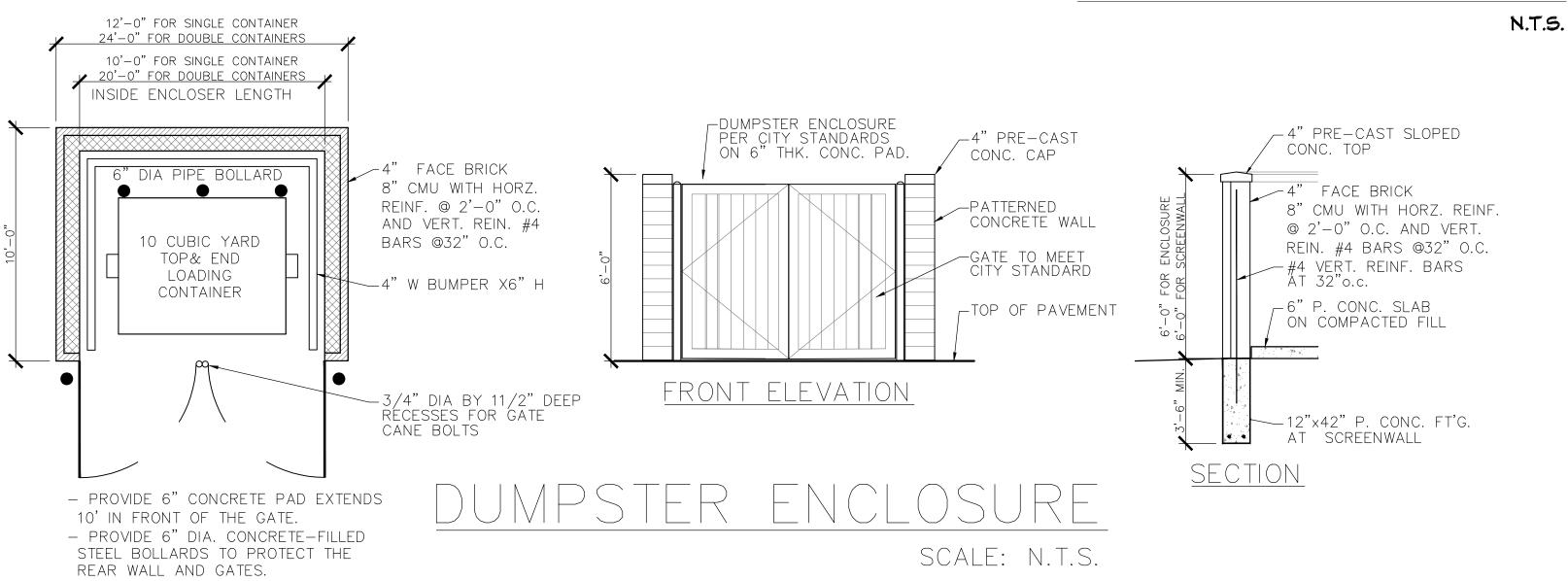
FLOOR PLAN

ILLUMINATED WORDMARK SIGNAGE, FLUSH MOUNTED

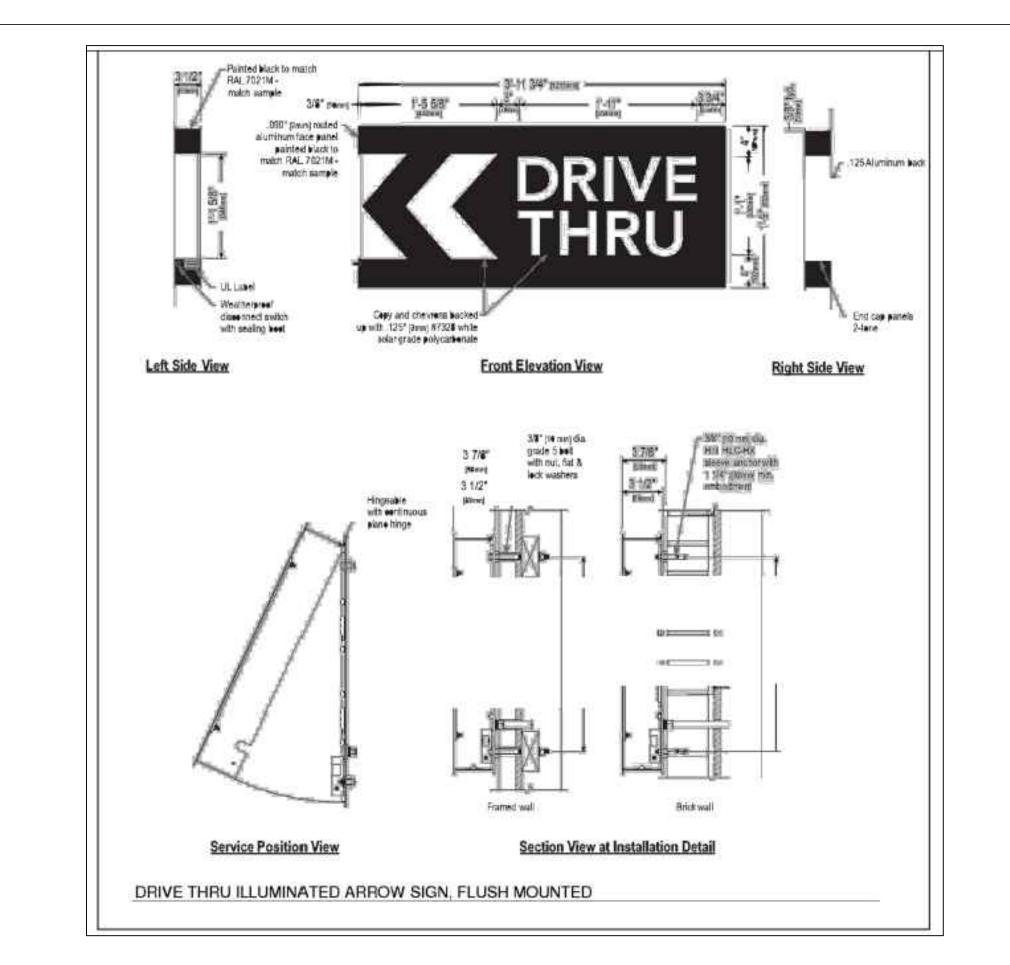


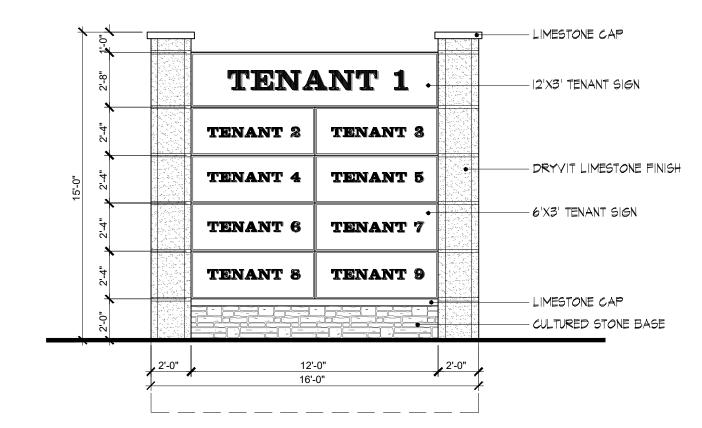






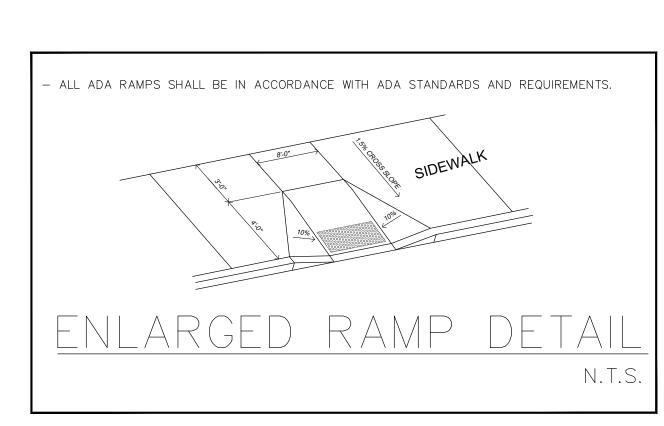
SCALE: N.T.S.

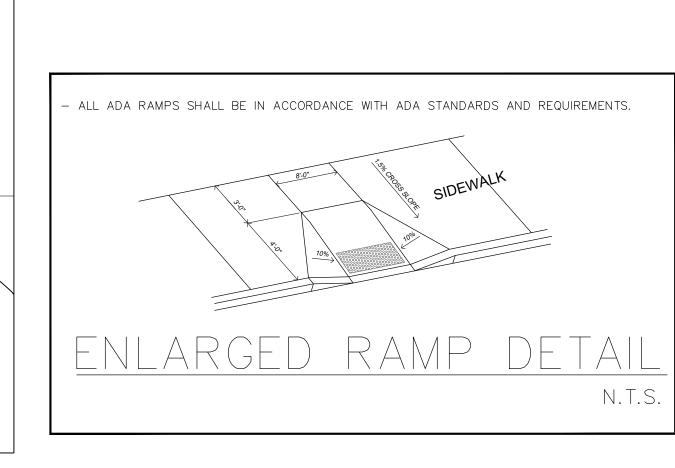




# FROFOSED MULTITENANT MONUMENT SIGNS

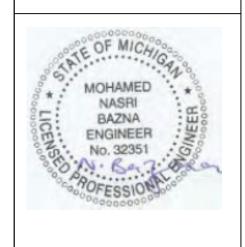
SCALE: 3/16" = 1'-0"





ARCHITECT: EDWARD ALSHAIB, 6445 WINONA

ALLEN PARK, MI 48101 PH:(313) 282-3453 EALSHAIB@GMAIL.COM



**REVISION NO.:** REV. DATE:

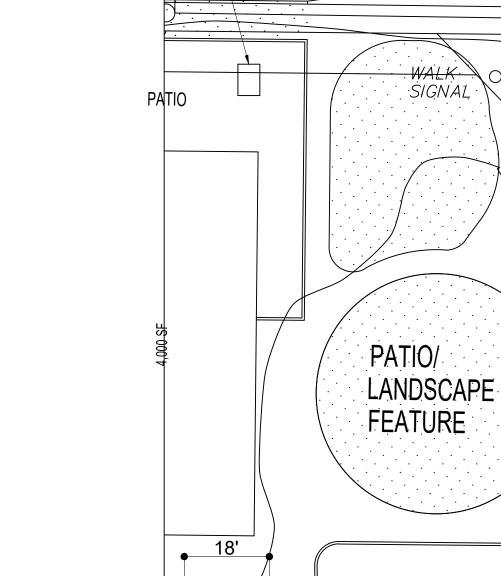
**REVISION NO.:** REV. DATE:

**DATE:** 09/29/2021

JOB#:

**SCALE:** AS NOTED

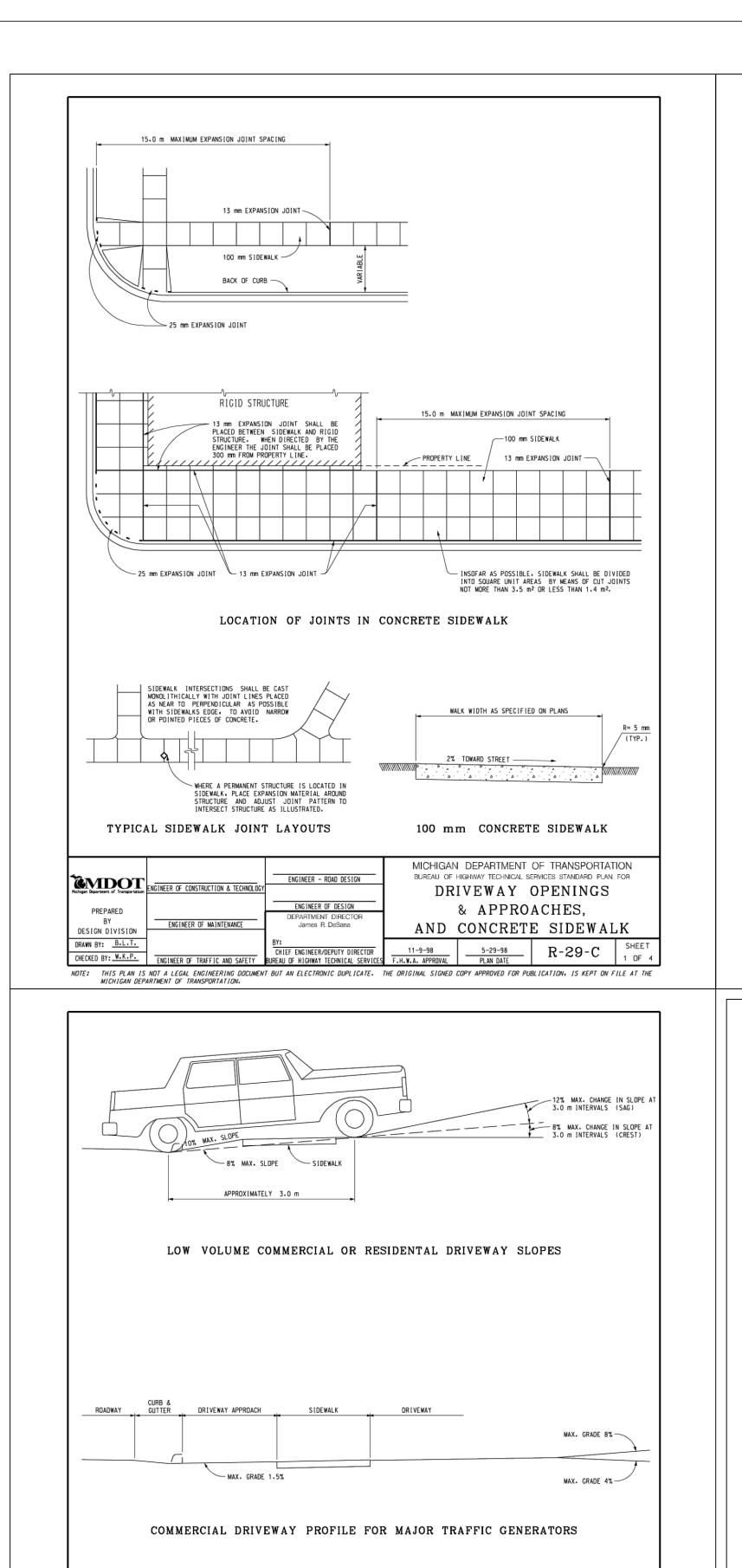
SHEET NO.: SP-6



NORTH-EAST CORNER

TRAFFIC MH

BMX OTRAPFIC POLE



FOR DRIVEWAY DESIGN REFER ALSO TO "ADMINISTRATIVE RULES REGULATING DRIVEWAYS. BANNERS. AND PARADES ON OR OVER HIGHWAYS" AND GEOMETRIC DESIGN G-680-SERIES. COMMERCIAL DRIVEWAYS.

SIDEWALK TRANSVERSE SLOPE MAY VARY FROM 0% TO 4% TO MEET THE SIDE CONDITIONS. WHEN TRANSVERSE SLOPE IS LESS THAN 2% LONGITUDINAL DRAINAGE MUST BE PROVIDED.

WHEN SETTING GRADES FOR COMMERCIAL DRIVES. THE TYPES OF VEHICLES USING THE DRIVE SHOULD BE CONSIDERED.

MICHIGAN DEPARTMENT OF TRANSPORTATION

BUREAU OF HIGHWAY TECHNICAL SERVICES STANDARD PLAN FOR

DRIVEWAY OPENINGS

& APPROACHES,

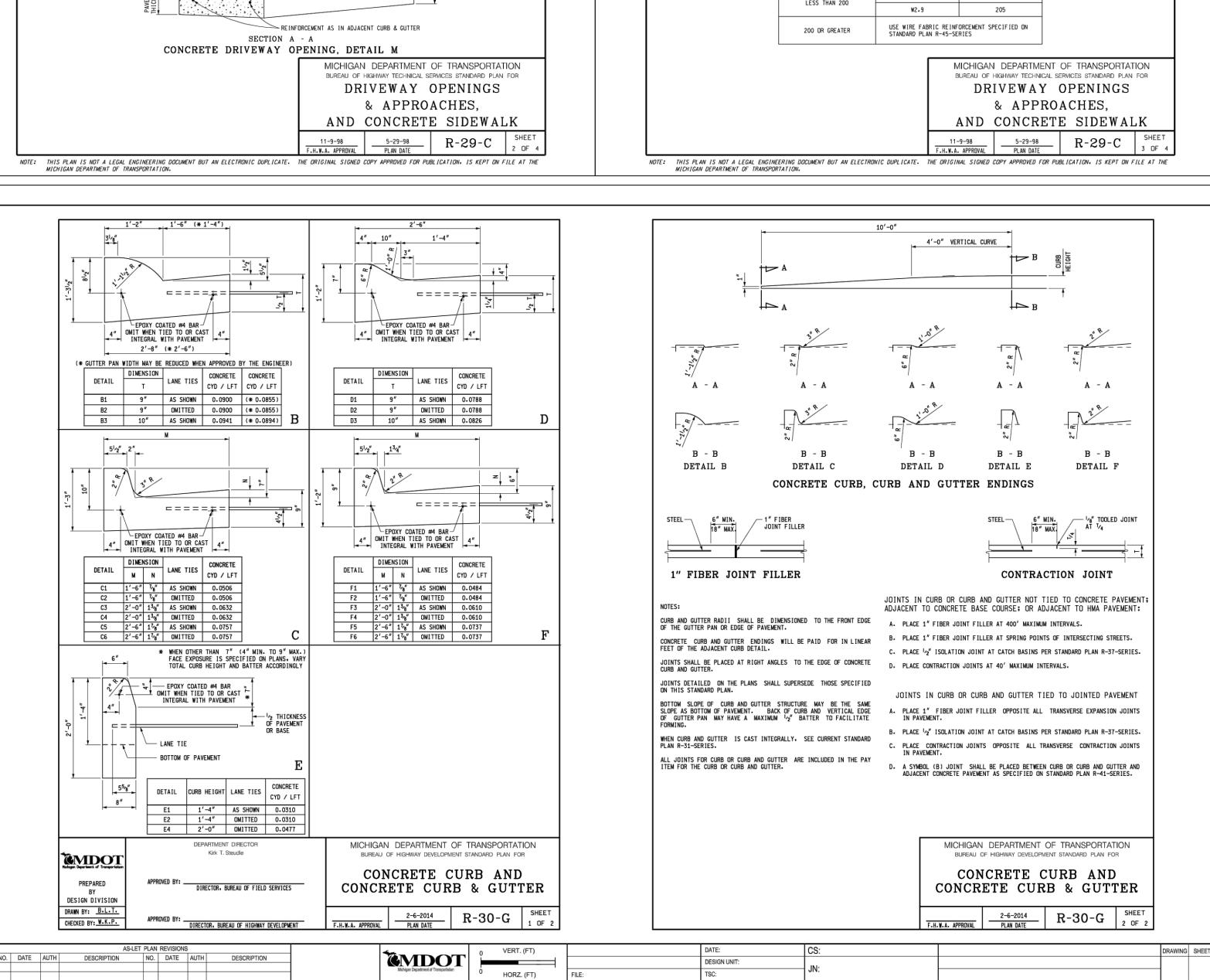
AND CONCRETE SIDEWALK

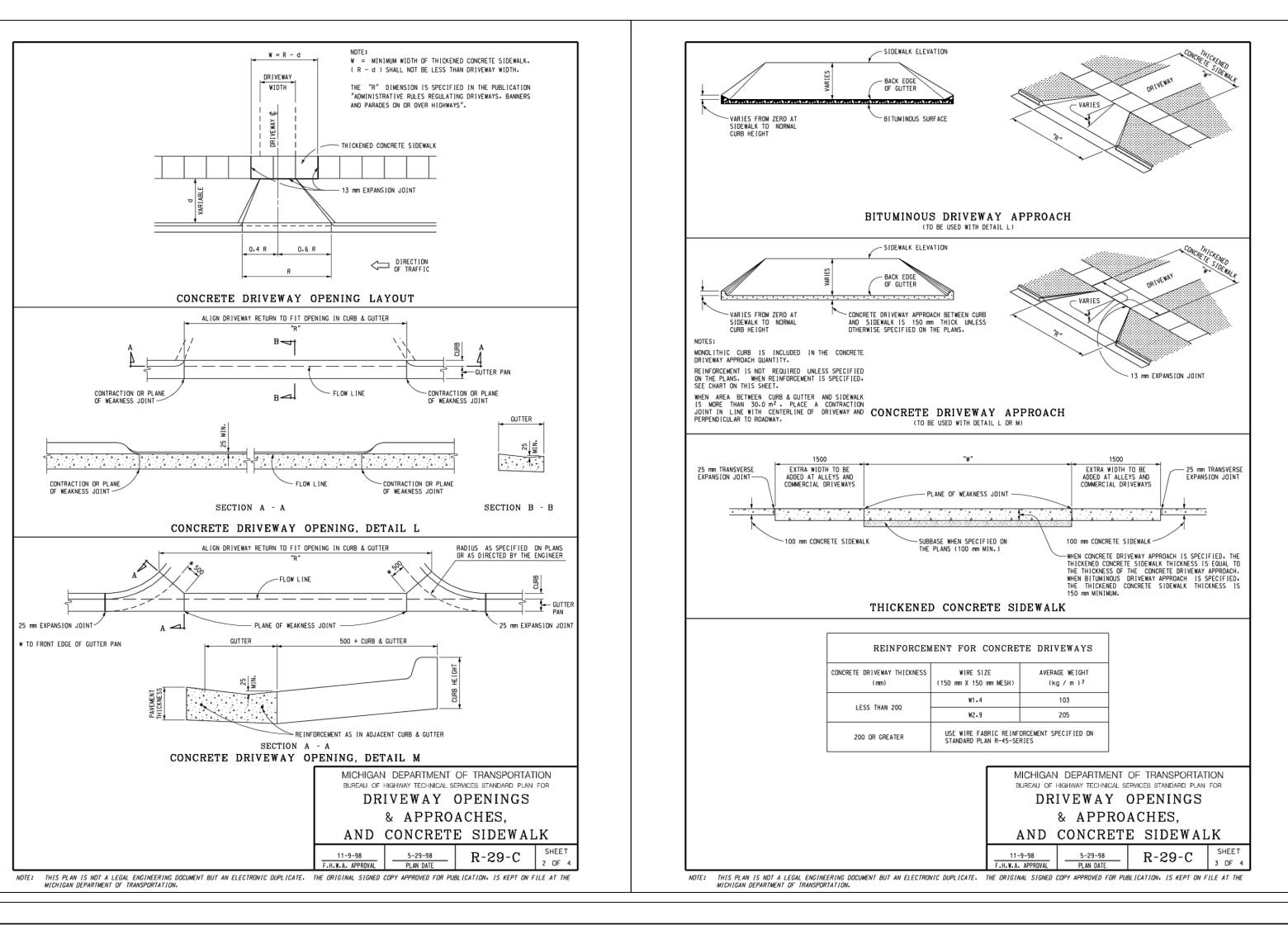
NOTE: THIS PLAN IS NOT A LEGAL ENGINEERING DOCUMENT BUT AN ELECTRONIC DUPLICATE. THE ORIGINAL SIGNED COPY APPROVED FOR PUBLICATION. IS KEPT ON FILE AT THE MICHIGAN DEPARTMENT OF TRANSPORTATION.

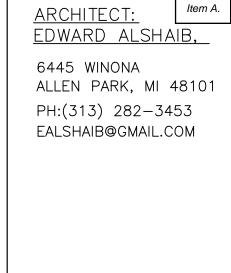
R-29-C

ALL DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS OTHERWISE NOTED-

FOR CURB AND GUTTER DETAILS. SEE STANDARD PLAN R-30-SERIES.







OF MICH MOHAMED NASRI BAZNA ENGINEER No. 32351

TA 0

**REVISION NO.:** REV. DATE: **REVISION NO.:** REV. DATE:

**DATE:** 09/29/2021

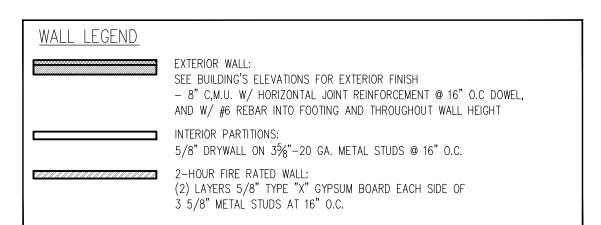
**SCALE:** AS NOTED

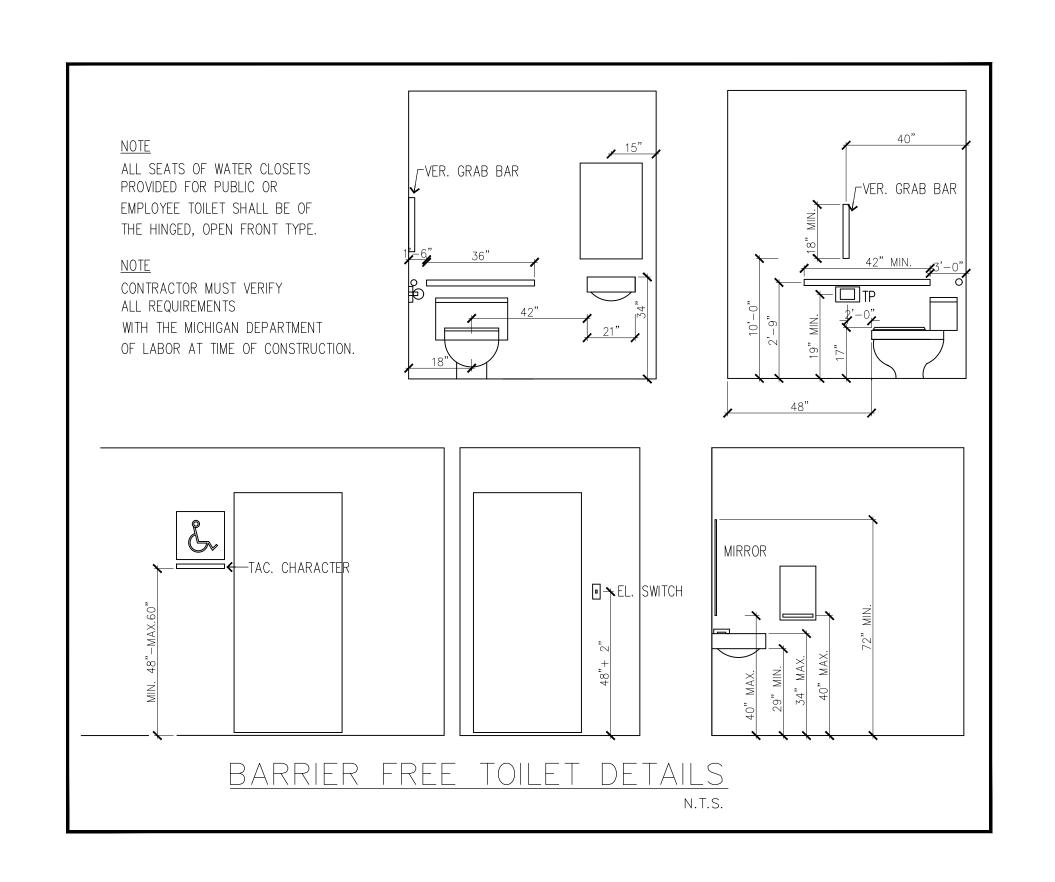
DOOR SCHEDULE					
DOOR NO.	DIMENSIONS	DESCRIPTION	FRAME		
D1 3'-0" X 7'-0" X 1 ¾"		DEVICE, PRIVACY LOCK & KICK PLATE. MARBLE THRESH	METAL FRAME		
D2		SOLID CORE WOOD-STAINED OAK VENEER DOOR W/ KEY LOCK AND SELF CLOSING DEVICE	METAL FRAME		
D3		1" TEMPERED INSULATED GLASS DOOR W/ KEY LOCK AND SELF CLOSING DEVICE	METAL FRAME		
D4 3'-0" X 7'-0" X 1 ¾"		HOLLOW METAL DOOR W/ SELF CLOSING DEVICE, PANIC BAR & DEAD BOLT LOCK	METAL FRAME		
NOTES:					

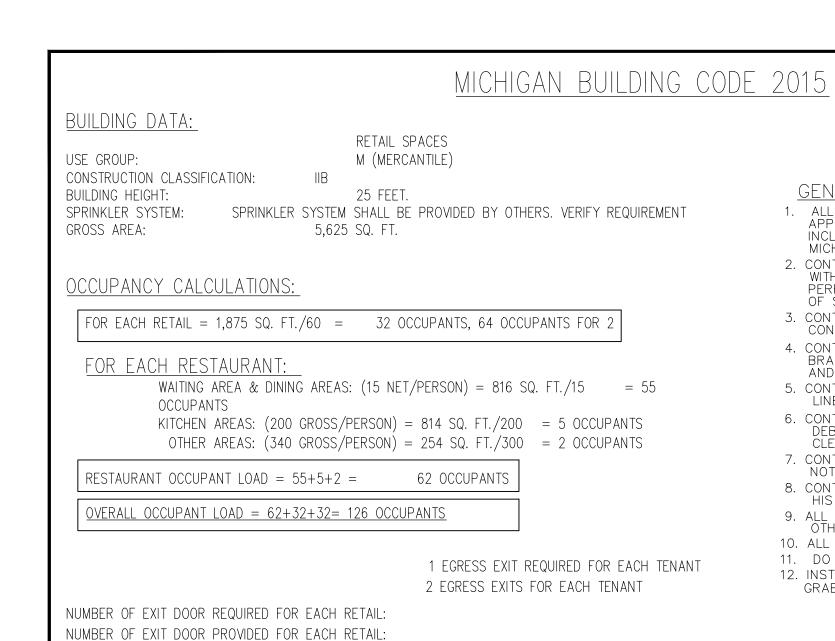
- ALL HARDWARE SETS TO BE SELECTED BY OWNER.

- ALL LOCKS SHALL BE READILY OPENED FROM INSIDE W/O THE USE OF A KEY. - ALL MEANS OF EGRESS DOORS ARE READILY OPENABLE FROM INSIDE, AND MADE WITHOUT THE USE OF A KEY, SPECIAL

KNOWLEDGE, OR SPECIAL EFFORT.







75' (WITH SPRINKLER SYSTEM)

LESS THAN 52 FEET

MAX. TRAVEL DISTANCE FOR EACH RETAIL:

CODES CURRENTLY IN EFFECT

ELECTRICAL CODE RULES

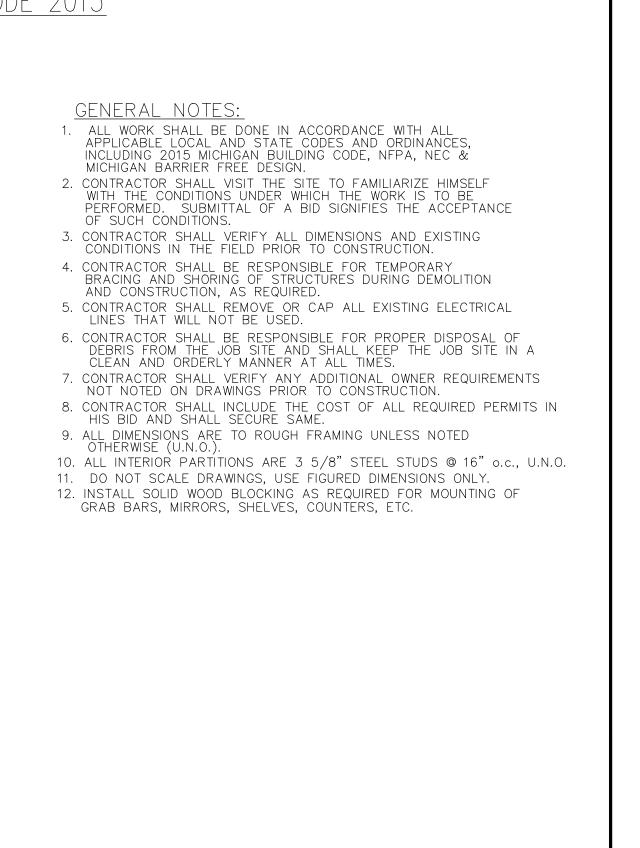
- 2015 MICHIGAN BUILDING CODE, MBC 2015 - 2015 MICHIGAN MECHANICAL CODE MMC 2015 - 2018 MICHIGAN PLUMBING CODE, MPC 2015

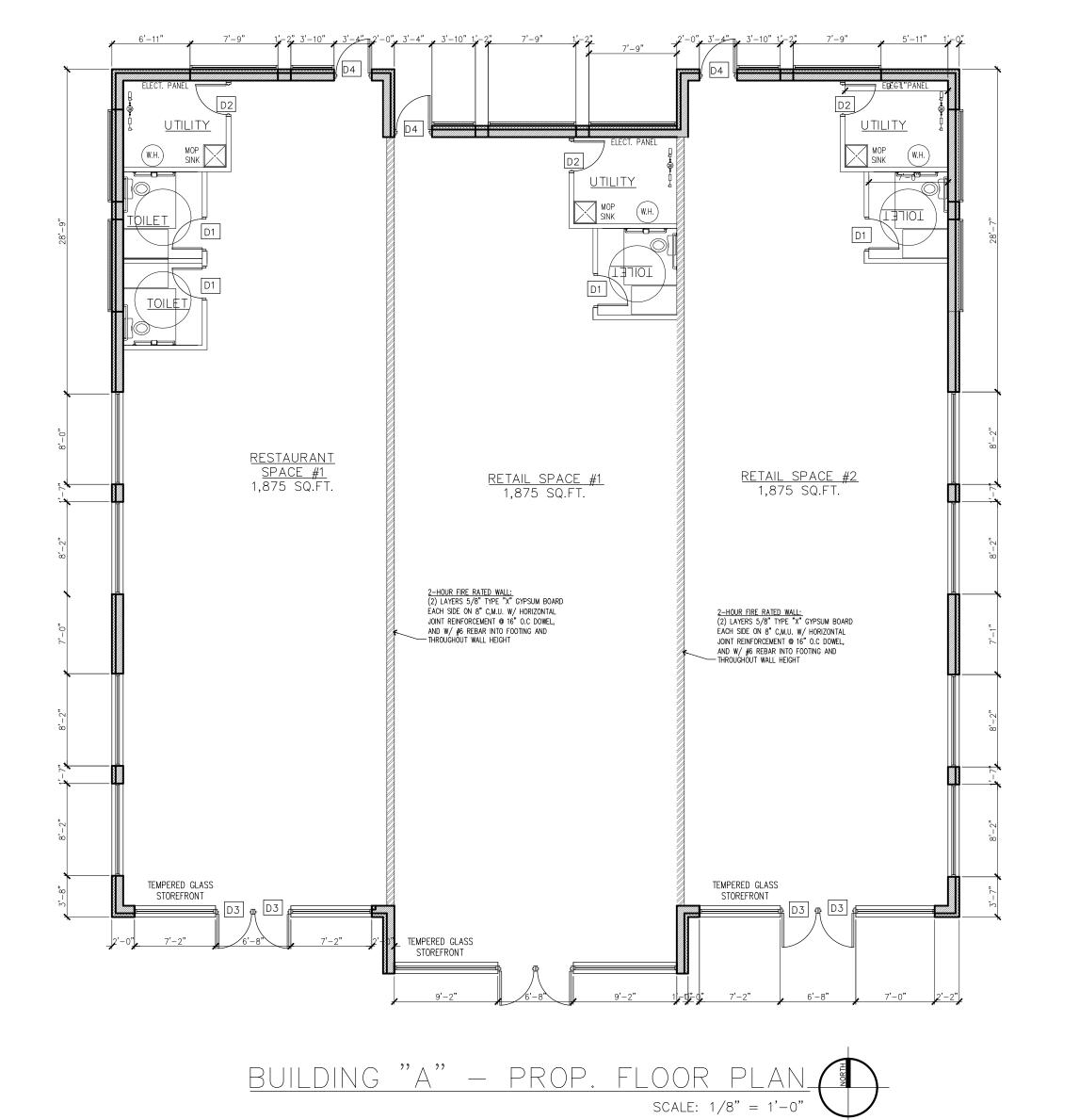
AND THE 2009 ICC/ANSI A117.1 STANDARD

MAX TRAVEL DISTANCE PROVIDED FOR EACH RETAIL:

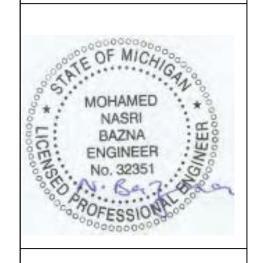
- 2017 NATIONAL ELECTRICAL CODE, 2017 CONSTRUCTION CODE - PART 8.

- ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW, P.A. 1966 AS AMENDED





ARCHITECT: EDWARD ALSHAIB, 6445 WINONA ALLEN PARK, MI 48101 PH:(313) 282-3453 EALSHAIB@GMAIL.COM



BUILDING , FLOOR PL/

SED FETAIL

ADDRESS: (21-426-004) HIGHLAND F CLIENT'S NAME: NAZIR J PROJECT:
PROPOS
AND RET **REVISION NO.:** REV. DATE: **REVISION NO.:** 

REV. DATE:

**DATE:** 09/29/2021

JOB#:

**SCALE:** AS NOTED

SHEET NO.:

### MICHIGAN BUILDING CODE 2015

BUILDING DATA:

USE GROUP:

RETAIL SPACES & RESTAURANT.
M (MERCANTILE) & A-2 (ASSEMBLY)

CONSTRUCTION CLASSIFICATION:

BUILDING HEIGHT: 25 FEET.

SPRINKLER SYSTEM: SPRINKLER SYSTEM SHALL BE PROVIDED BY OTHERS. VERIFY REQUIREMENT GROSS AREA: 2,280 SQ. FT. (RESTAURANT)+ 6,200 SQ. FT. (RETAILS)= 8,480 SQ. FT.

### OCCUPANCY CALCULATIONS:

FOR EACH RESTAURANT SPACE:

WAITING AREA & DINING AREAS: (15 NET/PERSON) = 816 SQ. FT./15 = 55 OCCUPANTS

KITCHEN AREAS: (200 GROSS/PERSON) = 814 SQ. FT./200 = 5 OCCUPANTS

OTHER AREAS: (340 GROSS/PERSON) = 254 SQ. FT./300 = 2 OCCUPANTS

RESTAURANT OCCUPANT LOAD = 55+5+2 = 62 OCCUPANTS

### FOR RETAILS SPACES:

- FOR TENANT #1 = 1,650 SQ. FT./60 = 28 OCCUPANTS

- FOR TENANT #2 = 1,650 SQ. FT./60 = 28 OCCUPANTS

- FOR TENANT #3 = 1,650 SQ. FT./60 = 28 OCCUPANTS

- FOR TENANT #4 = 1,650 SQ. FT/60 = 28 OCCUPANTS

- FOR TENANT #5 = 1950 SQ. FT/60 = 33 OCCUPANTS

RETAIL TOTAL OCCUPANT LOAD = 145 OCCUPANTS

TOTAL OCCUPANT LOAD = 145+62 = 207 OCCUPANTS

NUMBER OF EXIT DOOR REQUIRED FOR EACH RETAIL:

1 EGRESS EXIT REQUIRED FOR EACH TENANT
2 EGRESS EXITS FOR EACH TENANT

MAX. TRAVEL DISTANCE FOR EACH RETAIL: 75' (WITH SPRINKLER SYSTEM)

MAX TRAVEL DISTANCE PROVIDED FOR EACH RETAIL: LESS THAN 47 FEET

CODES CURRENTLY IN EFFECT

- 2015 MICHIGAN BUILDING CODE, MBC 2015

- 2015 MICHIGAN MECHANICAL CODE MMC 2015

2018 MICHIGAN PLUMBING CODE, MPC 2015
2017 NATIONAL ELECTRICAL CODE, 2017 CONSTRUCTION CODE - PART 8.

ELECTRICAL CODE RULES

- ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW, P.A. 1966 AS AMENDED

AND THE 2009 ICC/ANSI A117.1 STANDARD

#### CENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES, INCLUDING 2015 MICHIGAN BUILDING CODE, NFPA, NEC & MICHIGAN BARRIER FREE DESIGN.

2. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. SUBMITTAL OF A BID SIGNIFIES THE ACCEPTANCE OF SUCH CONDITIONS.

3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.

4. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING AND SHORING OF STRUCTURES DURING DEMOLITION AND CONSTRUCTION, AS REQUIRED.

5. CONTRACTOR SHALL REMOVE OR CAP ALL EXISTING ELECTRICAL LINES THAT WILL NOT BE USED.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS FROM THE JOB SITE AND SHALL KEEP THE JOB SITE IN A CLEAN AND ORDERLY MANNER AT ALL TIMES.

7. CONTRACTOR SHALL VERIFY ANY ADDITIONAL OWNER REQUIREMENTS NOT NOTED ON DRAWINGS PRIOR TO CONSTRUCTION.

8. CONTRACTOR SHALL INCLUDE THE COST OF ALL REQUIRED PERMITS IN HIS BID AND SHALL SECURE SAME.

9. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE (U.N.O.).10. ALL INTERIOR PARTITIONS ARE 3 5/8" STEEL STUDS @ 16" o.c., U.N.O.

11. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.

12. INSTALL SOLID WOOD BLOCKING AS REQUIRED FOR MOUNTING OF GRAB BARS, MIRRORS, SHELVES, COUNTERS, ETC.

DOOR SCHEDULE DOOR NO. | DIMENSIONS DESCRIPTION IFRAME SOLID CORE WOOD-STAINED OAK VENEER DOOR W/ SELF CLOSING METAL FRAME DEVICE, PRIVACY LOCK & KICK PLATE. MARBLE THRESH 3'-0" X 7'-0" X 1 34" | SOLID CORE WOOD-STAINED OAK VENEER DOOR W/ KEY LOCK D2 METAL FRAME AND SELF CLOSING DEVICE 1" TEMPERED INSULATED GLASS DOOR W/ KEY LOCK AND SELF METAL FRAME 3'-0" X 7'-0" X 1 ¾" CLOSING DEVICE D4 , HOLLOW METAL DOOR W/ SELF CLOSING DEVICE, PANIC BAR & METAL FRAME 3'-0" X 7'-0" X 1 ¾ DEAD BOLT LOCK

NOTES:

- ALL HARDWARE SETS TO BE SELECTED BY OWNER.

ALL LOCKS SHALL BE READILY OPENED FROM INSIDE W/O THE USE OF A KEY.
 ALL MEANS OF EGRESS DOORS ARE READILY OPENABLE FROM INSIDE, AND MADE WITHOUT THE USE OF A KEY, SPECIAL

KNOWLEDGE, OR SPECIAL EFFORT.

WALL LEGEND

EXTERIOR WALL:

SEE BUILDING'S ELEVATIONS FOR EXTERIOR FINISH

- 8" C,M.U. W/ HORIZONTAL JOINT REINFORCEMENT @ 16" O.C DOWEL,

AND W/ #6 REBAR INTO FOOTING AND THROUGHOUT WALL HEIGHT

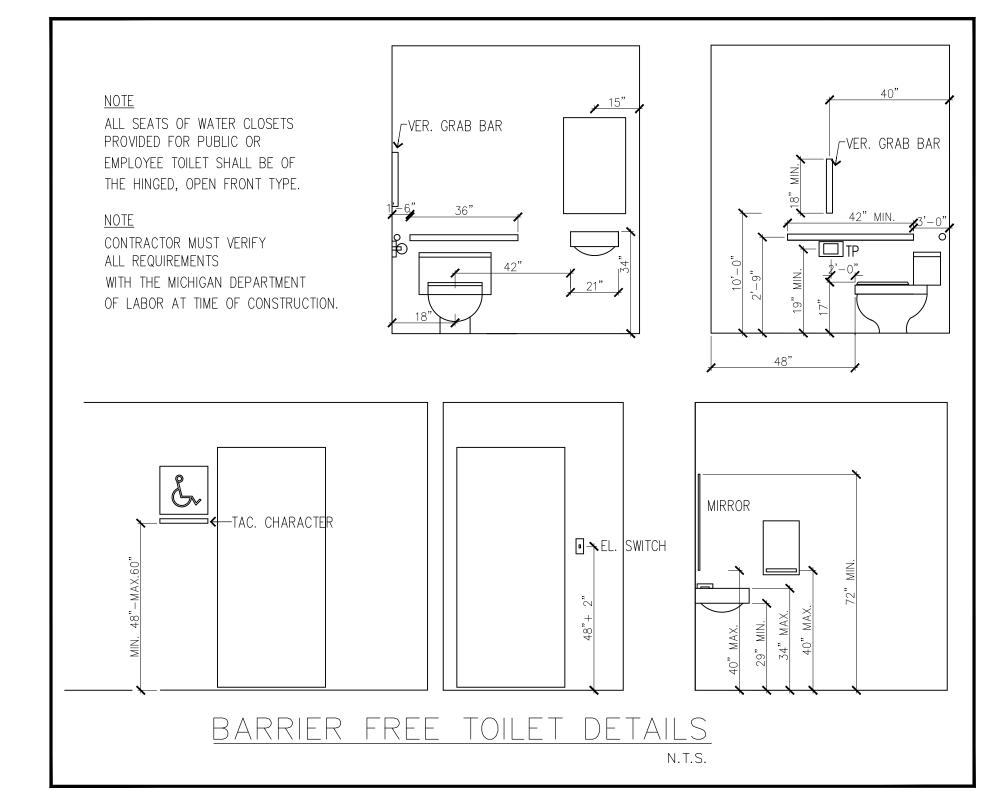
INTERIOR PARTITIONS:

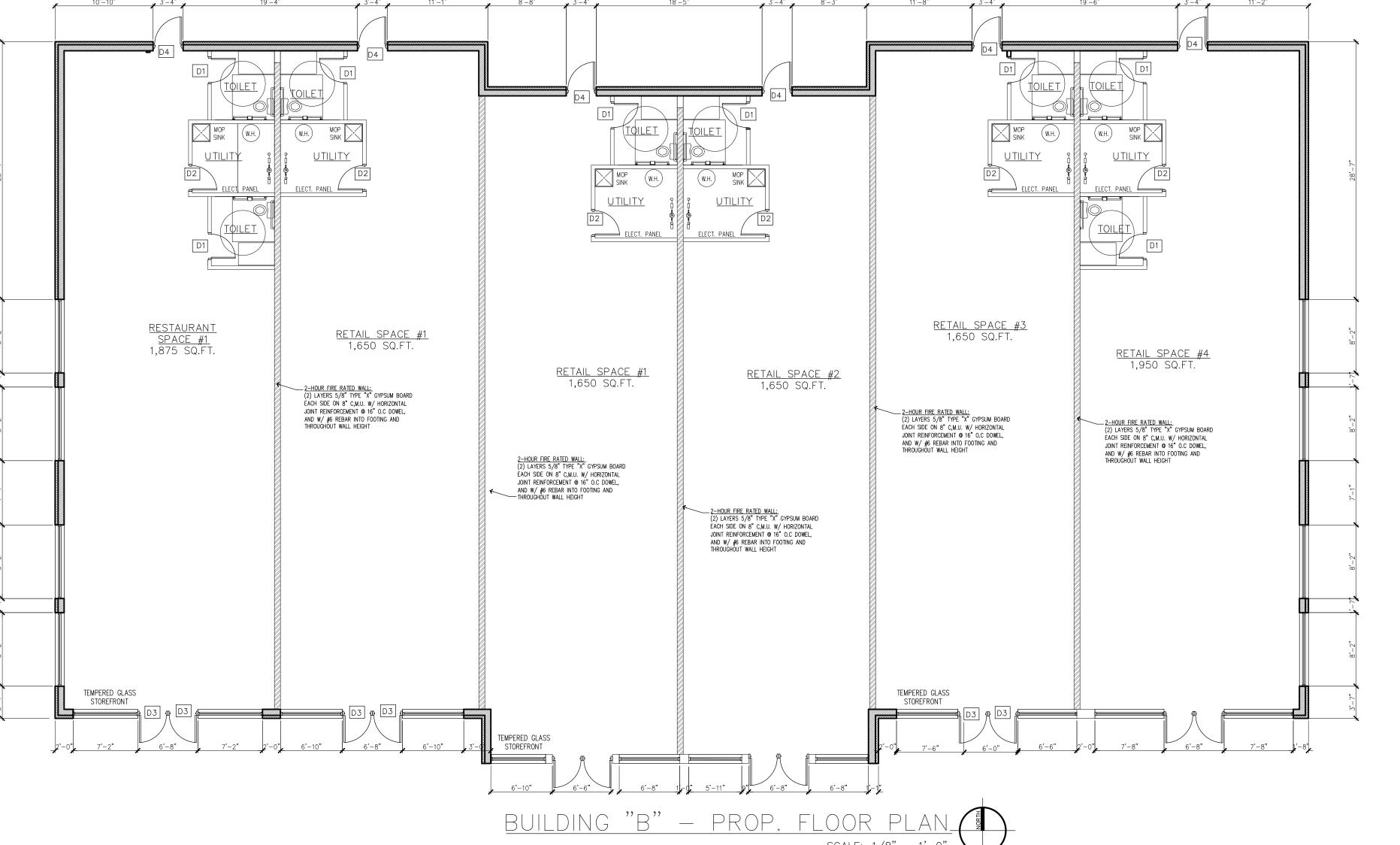
5/8" DRYWALL ON 35%"-20 GA. METAL STUDS @ 16" O.C.

2-HOUR FIRE RATED WALL:

(2) LAYERS 5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF

3 5/8" METAL STUDS AT 16" O.C.





ARCHITECT:

EDWARD ALSHAIB,

6445 WINONA
ALLEN PARK, ML 48101

6445 WINONA
ALLEN PARK, MI 48101
PH:(313) 282-3453
EALSHAIB@GMAIL.COM



BUILDING B FLOOR PLAN

SED RESTAURANTS TAILS PLAZA

REVISION NO.:

REV. DATE:

REV. DATE:

DATE: 09/29/2021

JOB #:

SHEET NO.:

**SCALE:** AS NOTED

~**NO.:** A-2

DEAD BOLT LOCK - ALL HARDWARE SETS TO BE SELECTED BY OWNER. - ALL LOCKS SHALL BE READILY OPENED FROM INSIDE W/O THE USE OF A KEY. - ALL MEANS OF EGRESS DOORS ARE READILY OPENABLE FROM INSIDE, AND MADE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT.

WALL LEGEND

EXTERIOR WALL:

SEE BUILDING'S ELEVATIONS FOR EXTERIOR FINISH

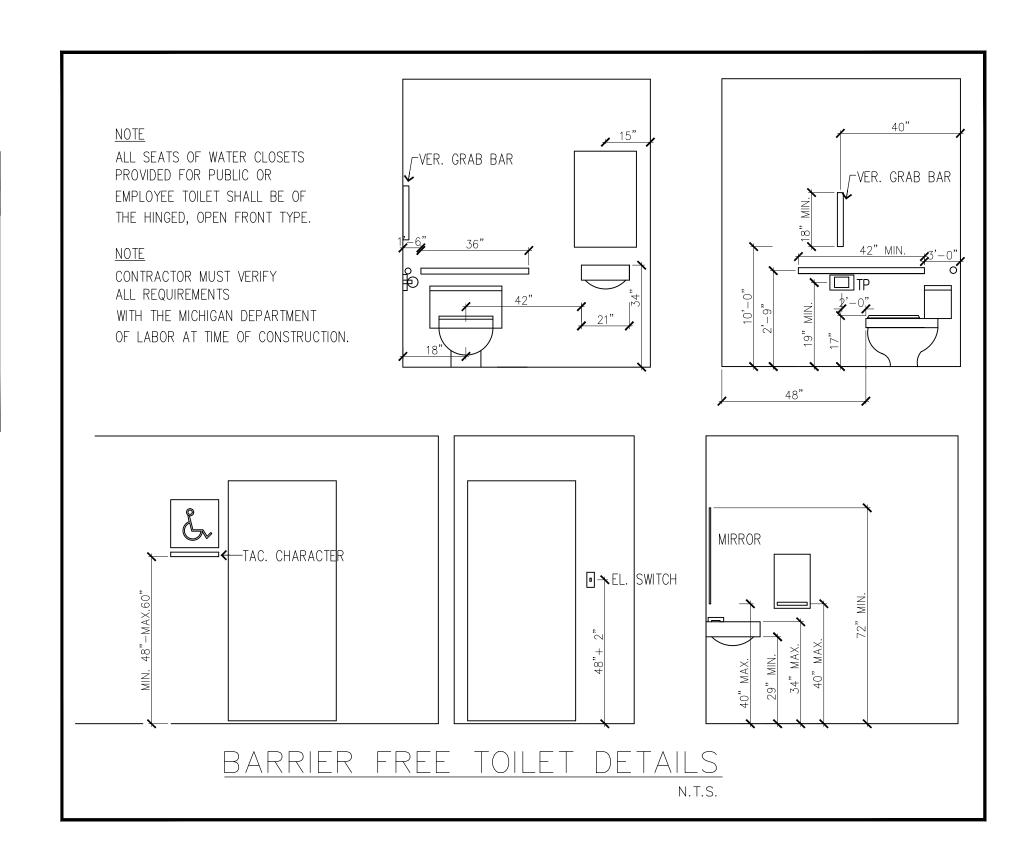
- 8" C,M.U. W/ HORIZONTAL JOINT REINFORCEMENT @ 16" O.C DOWEL, AND W/ #6 REBAR INTO FOOTING AND THROUGHOUT WALL HEIGHT

INTERIOR PARTITIONS:

5/8" DRYWALL ON  $3\frac{5}{8}$ "-20 GA. METAL STUDS @ 16" O.C.

2-HOUR FIRE RATED WALL: (2) LAYERS 5/8" TYPE "X" GYPSUM BOARD EACH SIDE OF

3 5/8" METAL STUDS AT 16" O.C.



### MICHIGAN BUILDING CODE 2015

BUILDING DATA:

RETAIL SPACES

25 FEET.

CONSTRUCTION CLASSIFICATION: IIB

M (MERCANTILE)

BUILDING HEIGHT: SPRINKLER SYSTEM:

SPRINKLER SYSTEM SHALL BE PROVIDED BY OTHERS. VERIFY REQUIREMENT GROSS AREA: 8,400 SQ. FT.

OCCUPANCY CALCULATIONS:

FOR EACH RETAIL = 1,440 SQ. FT./60 = 24 OCCUPANTS

TOTAL OCCUPANT LOAD = 24X2 = 48 OCCUPANTS

NUMBER OF EXIT DOOR REQUIRED FOR EACH RETAIL: 1 EGRESS EXIT REQUIRED FOR EACH TENANT NUMBER OF EXIT DOOR PROVIDED FOR EACH RETAIL: 2 EGRESS EXITS FOR EACH TENANT

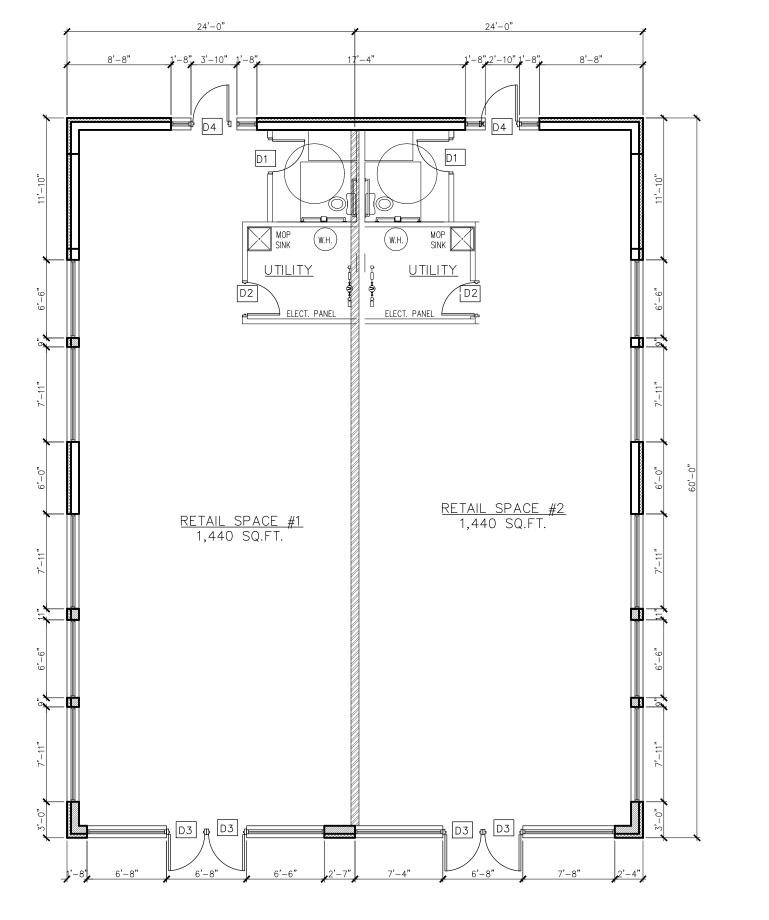
75' (WITH SPRINKLER SYSTEM) MAX. TRAVEL DISTANCE FOR EACH RETAIL: MAX TRAVEL DISTANCE PROVIDED FOR EACH RETAIL: LESS THAN 52 FEET

CODES CURRENTLY IN EFFECT

- 2015 MICHIGAN BUILDING CODE, MBC 2015
- 2015 MICHIGAN MECHANICAL CODE MMC 2015 - 2018 MICHIGAN PLUMBING CODE, MPC 2015
- 2017 NATIONAL ELECTRICAL CODE, 2017 CONSTRUCTION CODE PART 8.
- ELECTRICAL CODE RULES - ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW, P.A. 1966 AS AMENDED
- AND THE 2009 ICC/ANSI A117.1 STANDARD

GENERAL NOTES:

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES, INCLUDING 2015 MICHIGAN BUILDING CODE, NFPA, NEC &
- MICHIGAN BARRIER FREE DESIGN.
- 2. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. SUBMITTAL OF A BID SIGNIFIES THE ACCEPTANCE OF SUCH CONDITIONS.
- 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING AND SHORING OF STRUCTURES DURING DEMOLITION AND CONSTRUCTION, AS REQUIRED.
- 5. CONTRACTOR SHALL REMOVE OR CAP ALL EXISTING ELECTRICAL LINES THAT WILL NOT BE USED.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS FROM THE JOB SITE AND SHALL KEEP THE JOB SITE IN A CLEAN AND ORDERLY MANNER AT ALL TIMES.
- 7. CONTRACTOR SHALL VERIFY ANY ADDITIONAL OWNER REQUIREMENTS NOT NOTED ON DRAWINGS PRIOR TO CONSTRUCTION.
- 8. CONTRACTOR SHALL INCLUDE THE COST OF ALL REQUIRED PERMITS IN HIS BID AND SHALL SECURE SAME.
- 9. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE (U.N.O.).
- 10. ALL INTERIOR PARTITIONS ARE 3 5/8" STEEL STUDS @ 16" o.c., U.N.O.
- 11. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY.
- 12. INSTALL SOLID WOOD BLOCKING AS REQUIRED FOR MOUNTING OF GRAB BARS, MIRRORS, SHELVES, COUNTERS, ETC.





Item A. ARCHITECT: EDWARD ALSHAIB, 6445 WINONA ALLEN PARK, MI 48101

PH:(313) 282-3453 EALSHAIB@GMAIL.COM



BUILDING FLOOR PL

SED I

PROJECT:
PROPOS
AND RET ADDRESS (21-426-00 CLIENT'S I **REVISION NO.:** REV. DATE: **REVISION NO.:** REV. DATE: **DATE:** 09/29/2021 JOB#:

SHEET NO.:

**SCALE:** AS NOTED

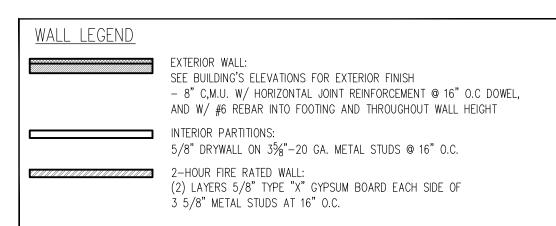
_						
	DOOR SCHEDULE					
	DOOR NO.	DIMENSIONS	DESCRIPTION	FRAME		
	D1	3'-0" X 7'-0" X 1 ¾"	SOLID CORE WOOD-STAINED OAK VENEER DOOR W/ SELF CLOSING DEVICE, PRIVACY LOCK & KICK PLATE. MARBLE THRESH	METAL FRAME		
	D2	3'-0" X 7'-0" X 1 ¾"	SOLID CORE WOOD-STAINED OAK VENEER DOOR W/ KEY LOCK AND SELF CLOSING DEVICE	METAL FRAME		
	D3	3'-0" X 7'-0" X 1 ¾"	1" TEMPERED INSULATED GLASS DOOR W/ KEY LOCK AND SELF CLOSING DEVICE	METAL FRAME		
	D4	3'-0" X 7'-0" X 1 ¾"	HOLLOW METAL DOOR W/ SELF CLOSING DEVICE, PANIC BAR & DEAD BOLT LOCK	METAL FRAME		
	NOTES.					

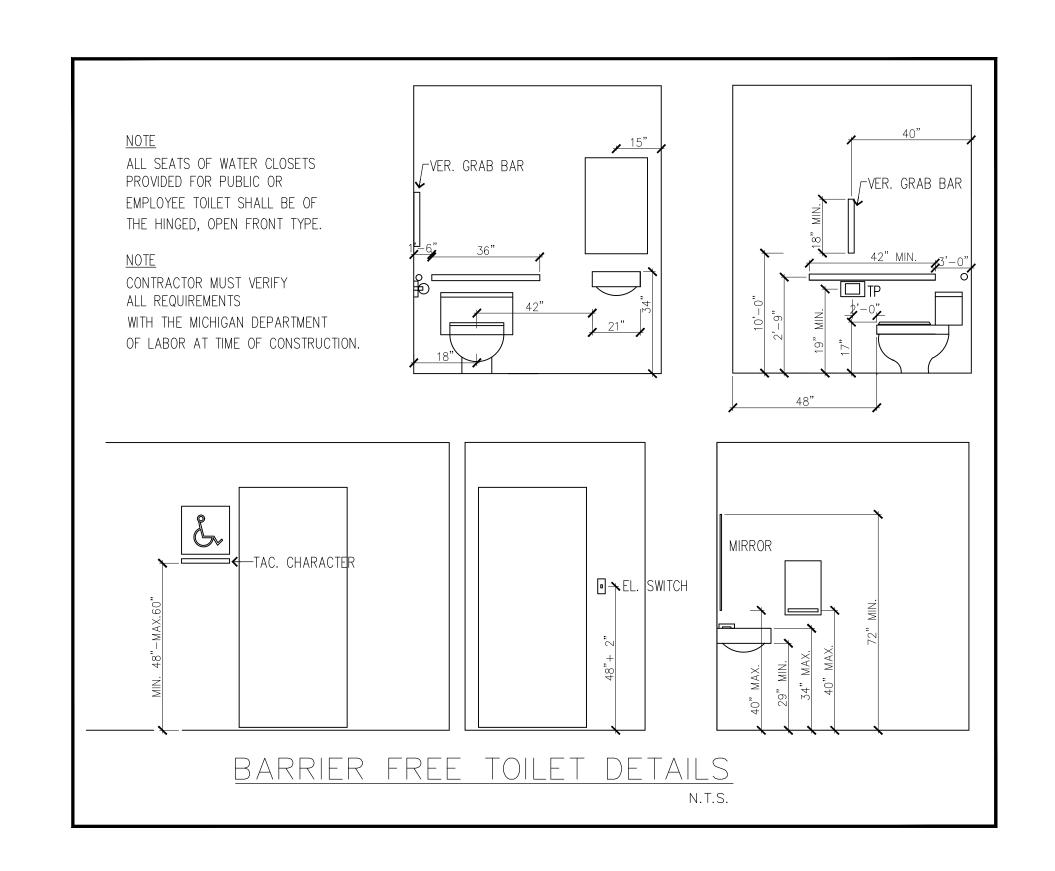
NOTES:

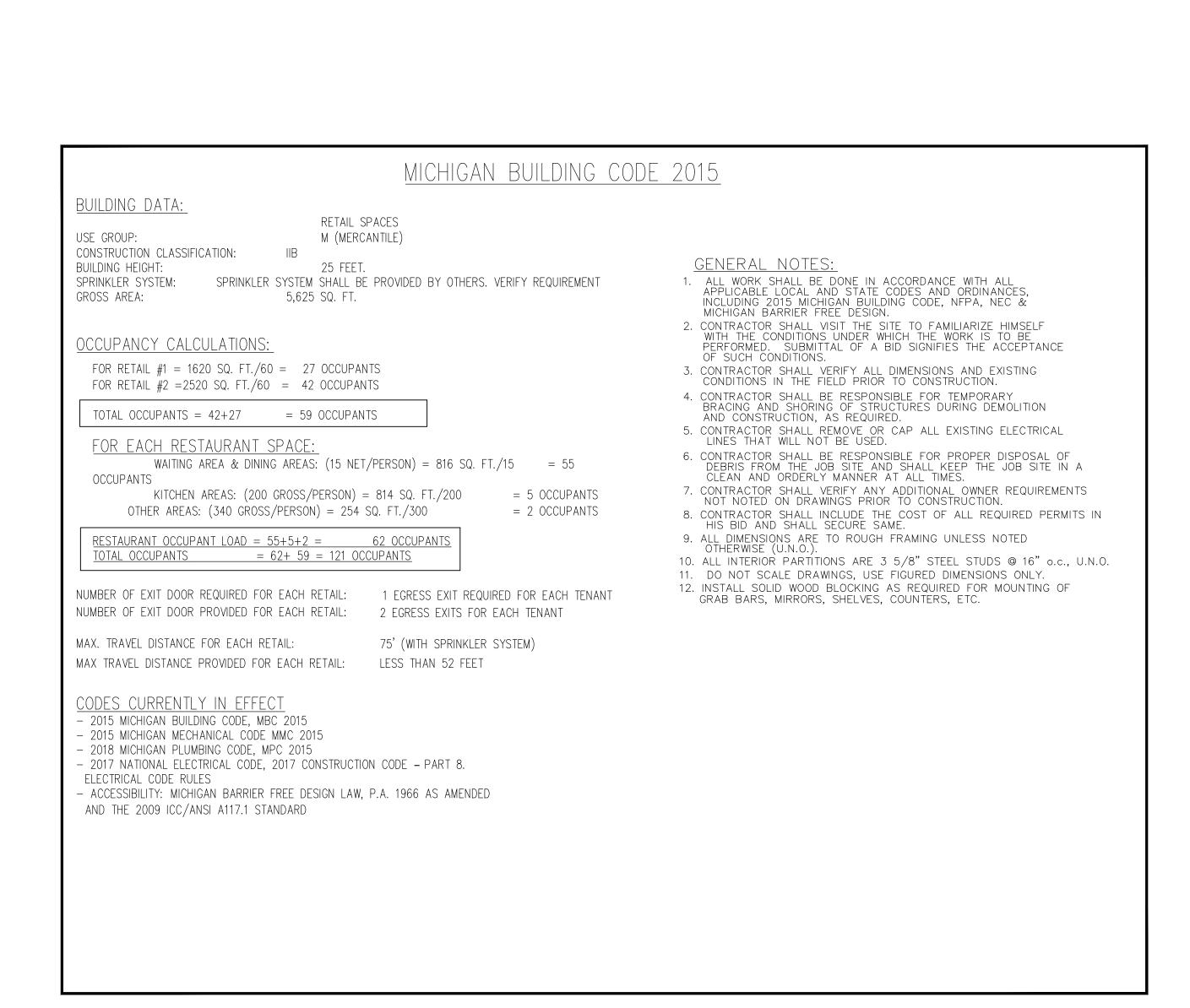
- ALL HARDWARE SETS TO BE SELECTED BY OWNER.

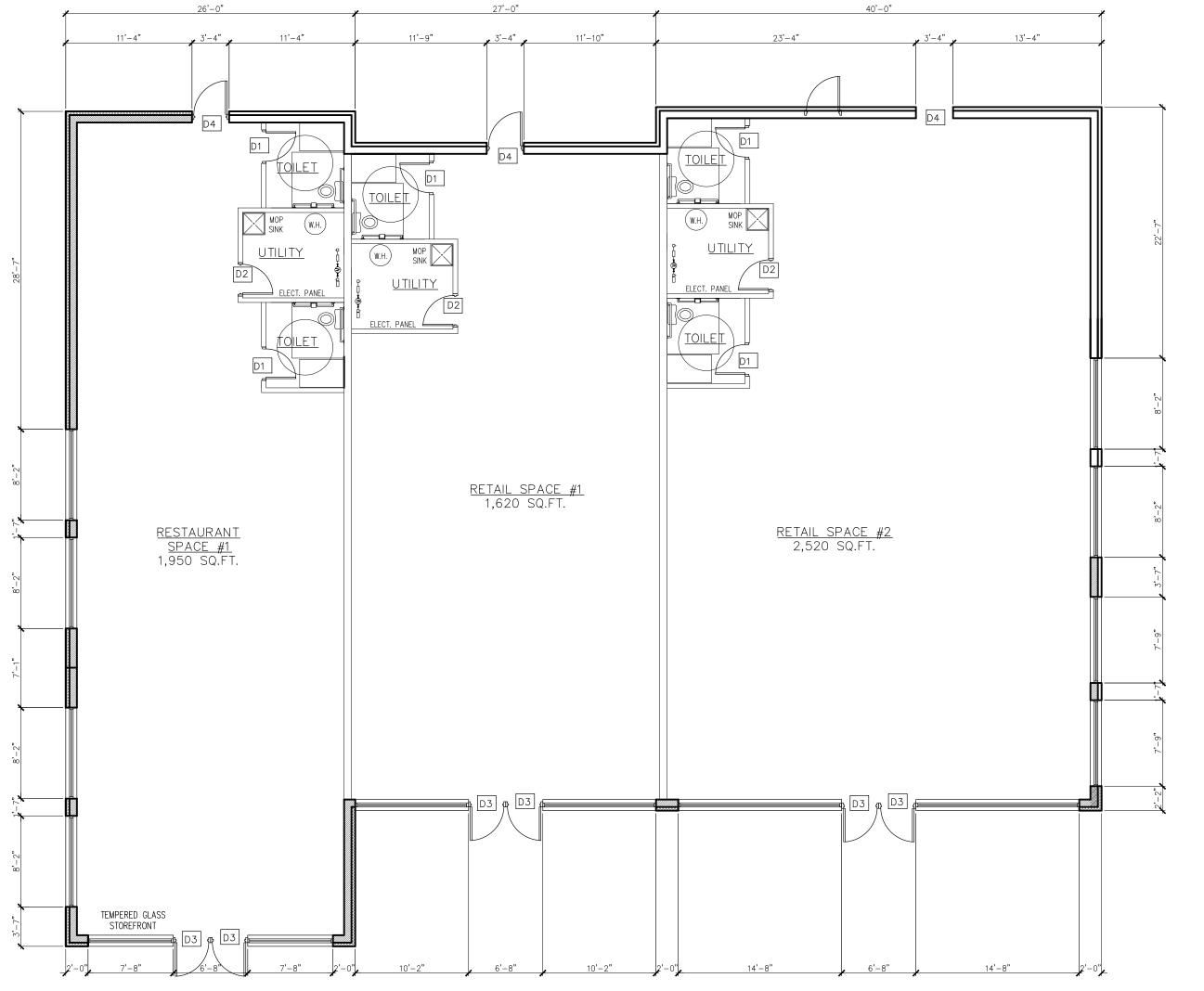
- ALL LOCKS SHALL BE READILY OPENED FROM INSIDE W/O THE USE OF A KEY. - ALL MEANS OF EGRESS DOORS ARE READILY OPENABLÉ FROM INSIDE, AND MADE WITHOUT THE USE OF A KEY, SPECIAL

KNOWLEDGE, OR SPECIAL EFFORT.





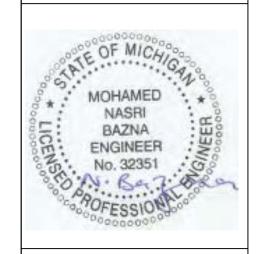




SCALE: 1/8" = 1'-0"

<u>Building "e" - prop. floor plan</u> -

ARCHITECT: EDWARD ALSHAIB, 6445 WINONA ALLEN PARK, MI 48101 PH:(313) 282-3453 EALSHAIB@GMAIL.COM



BUILDING FLOOR PL

ADDRESS: (21-426-004) HIGHLAND F CLIENT'S NAME: NAZIR J SED I PROJECT:
PROPOS
AND RET

**REVISION NO.:** REV. DATE: **REVISION NO.:** 

REV. DATE: **DATE:** 09/29/2021

JOB#:

**SCALE:** AS NOTED

SHEET NO.:

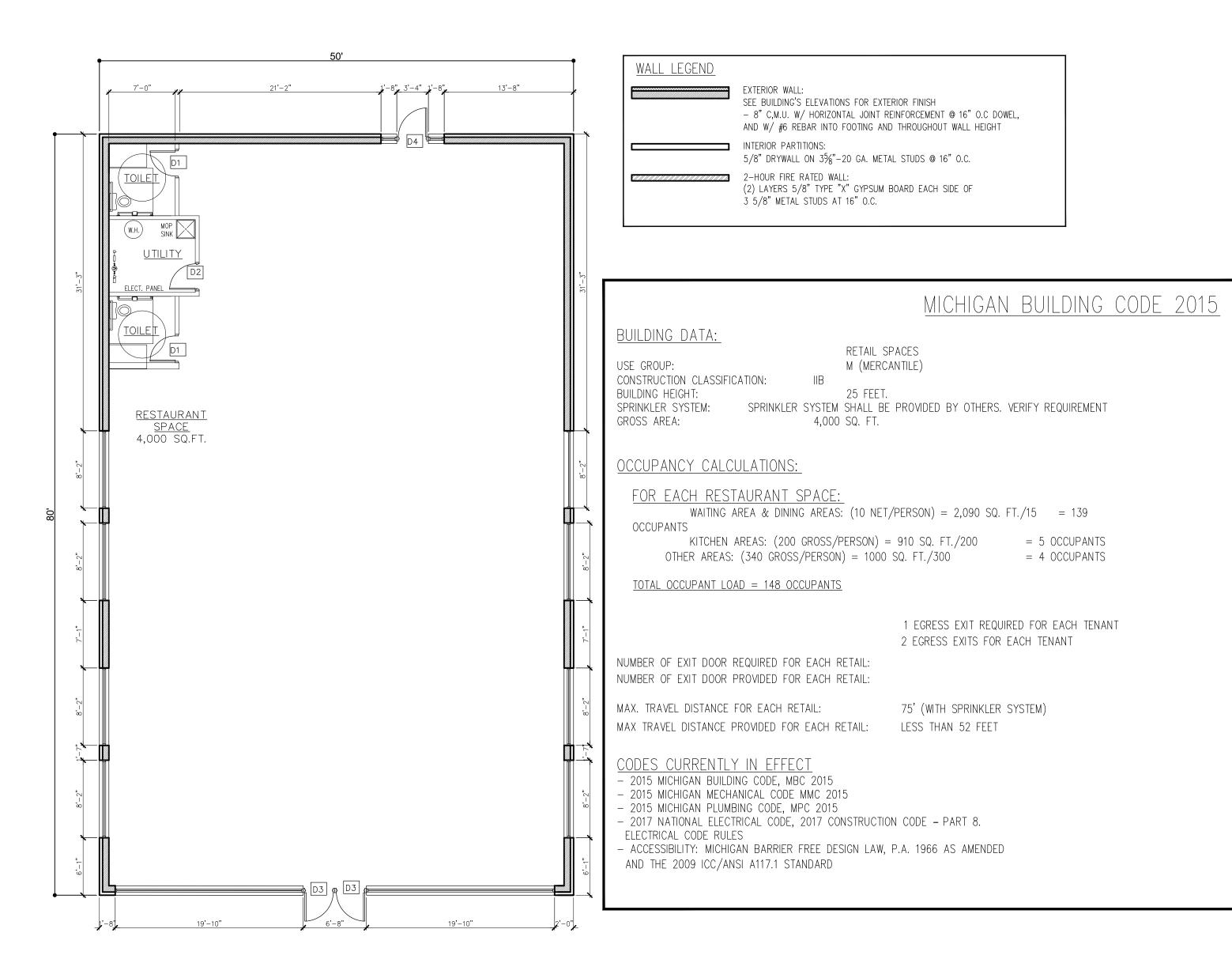
### GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES, INCLUDING 2015 MICHIGAN BUILDING CODE, NFPA, NEC &
- MICHIGAN BARRIER FREE DESIGN. 2. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. SUBMITTAL OF A BID SIGNIFIES THE ACCEPTANCE OF SUCH CONDITIONS.
- 3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- 4. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY BRACING AND SHORING OF STRUCTURES DURING DEMOLITION AND CONSTRUCTION, AS REQUIRED.
- 5. CONTRACTOR SHALL REMOVE OR CAP ALL EXISTING ELECTRICAL LINES THAT WILL NOT BE USED.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF DEBRIS FROM THE JOB SITE AND SHALL KEEP THE JOB SITE IN A CLEAN AND ORDERLY MANNER AT ALL TIMES.
- 7. CONTRACTOR SHALL VERIFY ANY ADDITIONAL OWNER REQUIREMENTS NOT NOTED ON DRAWINGS PRIOR TO CONSTRUCTION.
- 8. CONTRACTOR SHALL INCLUDE THE COST OF ALL REQUIRED PERMITS IN HIS BID AND SHALL SECURE SAME.

  9. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE (U.N.O.). 10. ALL INTERIOR PARTITIONS ARE 3 5/8" STEEL STUDS @ 16" o.c., U.N.O.
- 11. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. 12. INSTALL SOLID WOOD BLOCKING AS REQUIRED FOR MOUNTING OF GRAB BARS, MIRRORS, SHELVES, COUNTERS, ETC.

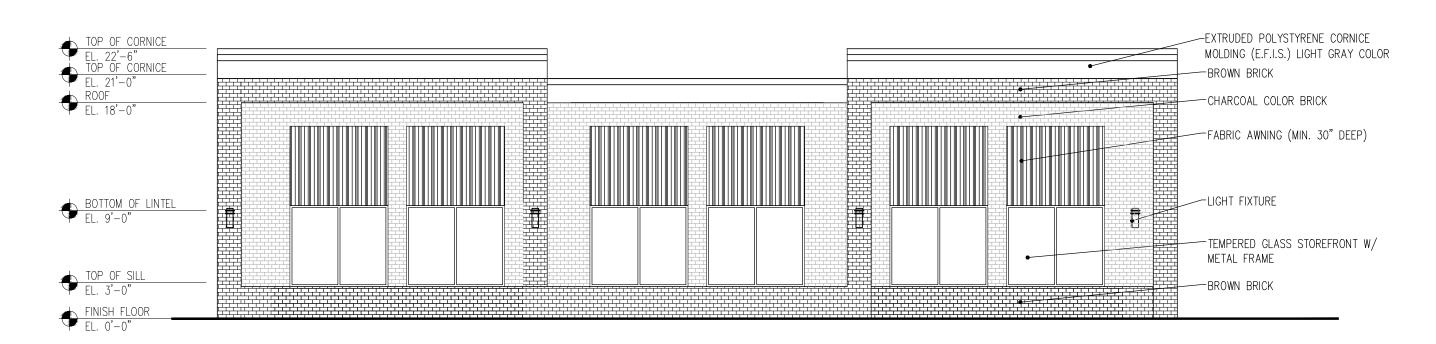


### MATERIAL SAMPLE



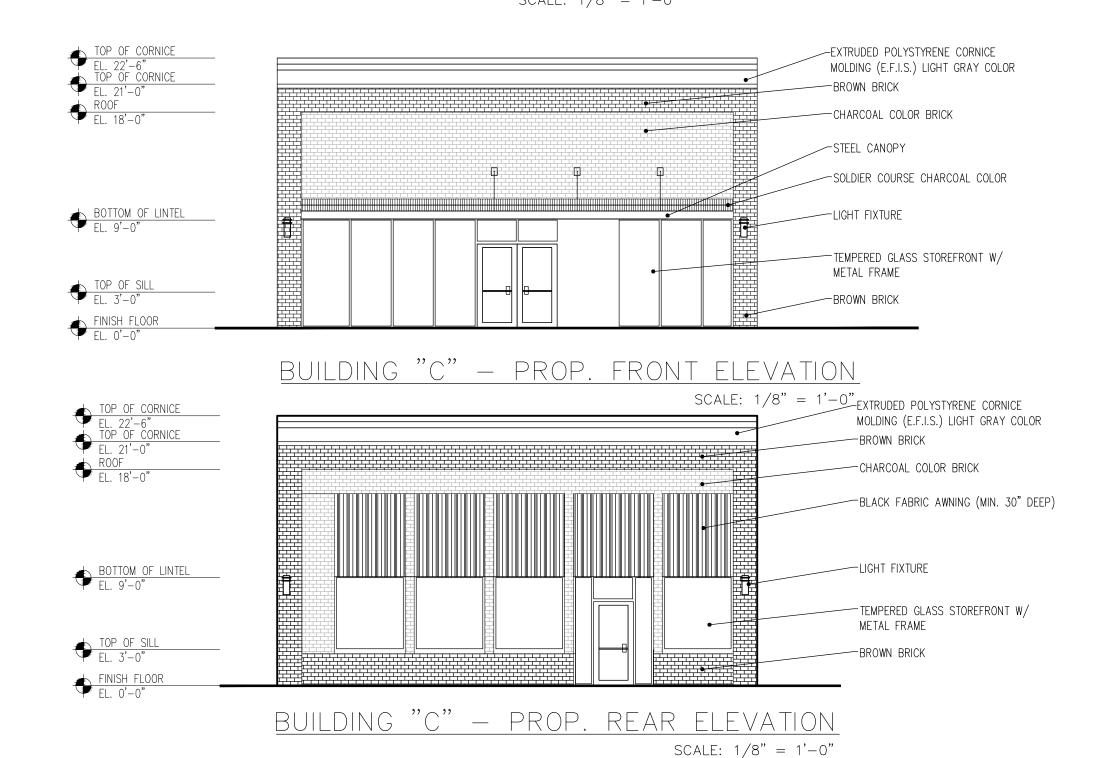
<u>Building "C" — Prop. Floor Plan</u>

### ALL FINALIZED COLORS WILL BE NOTED, AND MATERIAL SAMPLES WILL BE PROVIDED FOR PLANNING COMMISSION REVIEW AT THE TIME OF FINAL SITE PLAN.





# BUILDING "C" - PROP. RIGHT ELEVATION



<u>DOOR SCHEDULE</u>					
DOOR NO.	NO. DIMENSIONS DESCRIPTION FRAME				
D1	3'-0" X 7'-0" X 1 ¾"	SOLID CORE WOOD-STAINED OAK VENEER DOOR W/ SELF CLOSING DEVICE, PRIVACY LOCK & KICK PLATE. MARBLE THRESH	METAL FRAME		
D2	3'-0" X 7'-0" X 1 ¾"	SOLID CORE WOOD-STAINED OAK VENEER DOOR W/ KEY LOCK AND SELF CLOSING DEVICE	METAL FRAME		
D3	3'-0" X 7'-0" X 1 ¾"	CLOSING DEVICE	METAL FRAME		
D4	3'-0" X 7'-0" X 1 ¾"	HOLLOW METAL DOOR W/ SELF CLOSING DEVICE, PANIC BAR & DEAD BOLT LOCK	METAL FRAME		
NOTES:  - ALL HARDWARE SETS TO BE SELECTED BY OWNER.  - ALL LOCKS SHALL BE READILY OPENED FROM INSIDE W/O THE USE OF A KEY.  - ALL MEANS OF EGRESS DOORS ARE READILY OPENABLE FROM INSIDE, AND MADE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT.					

Item A. ARCHITECT: EDWARD ALSHAIB, 6445 WINONA ALLEN PARK, MI 48101

> PH:(313) 282-3453 EALSHAIB@GMAIL.COM

SE OF MICH MOHAMED NASRI

BUILDING C FLOOR PLAN, ELEVATION

**REVISION NO.:** REV. DATE: **REVISION NO.:** REV. DATE: **DATE:** 09/29/2021 JOB#: **SCALE:** AS NOTED

SHEET NO.:

MOHAMED
NASRI
BAZNA
ENGINEER
No. 32351

BUILDING A ELEVATIONS

RESTAURANTS LS PLAZA ADDRESS: (21-426-004) HIGHLAND RD. WHITE LAKE, M CLIENT'S NAME: NAZIR JAWICH

REVISION NO.: REV. DATE:

REVISION NO.:

REV. DATE:

**DATE:** 09/29/2021

JOB#:

**SCALE:** AS NOTED

SHEET NO.:

A-6



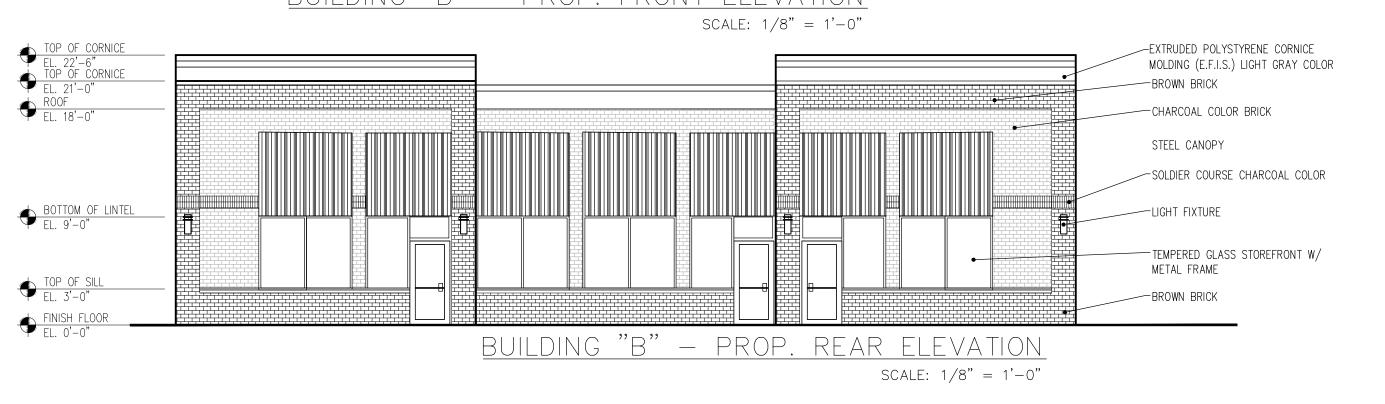
EXTRUDED POLYSTYRENE CORNICE
MOLDING (E.F.I.S.) LIGHT GRAY COLOR -FABRIC AWNING (MIN. 30" DEEP) TEMPERED GLASS STOREFRONT W/ METAL FRAME OR FAKE GLASS TOP OF SILL EL. 3'-0" -BROWN BRICKS BUILDING "B" — PROP. LEFT ELEVATION

SCALE: 1/8" = 1'-0"

NOTE:
ALL FINALIZED COLORS WILL BE NOTED, AND MATERIAL SAMPLES WILL BE PROVIDED FOR PLANNING COMMISSION REVIEW AT THE TIME OF FINAL SITE PLAN.







MOHAMED NASRI BAZNA ENGINEER No. 32351

Item A.

ARCHITECT: Item A

BUILDING B ELEVATIONS

PROJECT:
PROPOSED RESTAURANTS
AND RETAILS PLAZA
ADDRESS:
(21-426-004) HIGHLAND RD. WHITE LAKE, MI 48386
CLIENT'S NAME: NAZIR JAWICH

REVISION NO.: REV. DATE:

REVISION NO.:

REV. DATE:

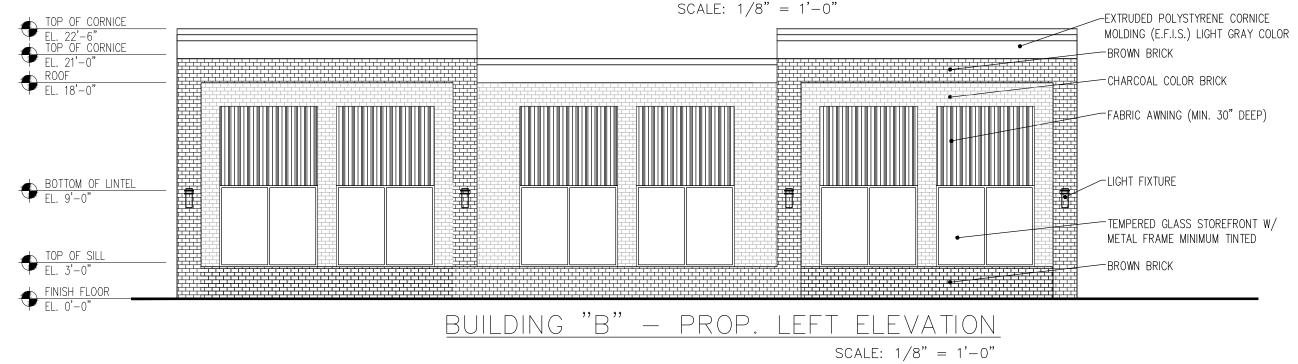
**DATE:** 09/29/2021

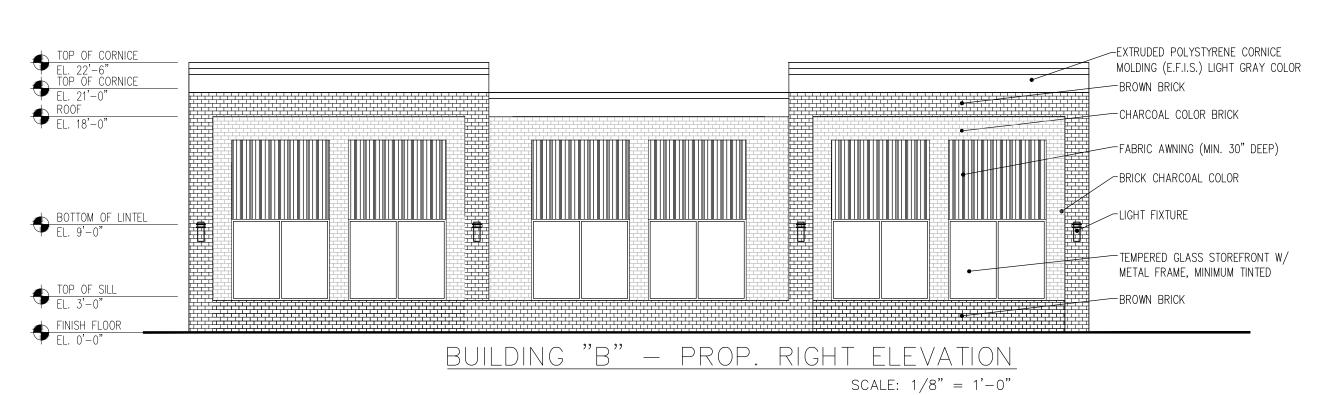
JOB#:

SCALE: AS NOTED

SHEET NO.: A-7

EXTRUDED POLYSTYRENE CORNICE
MOLDING (E.F.I.S.) LIGHT GRAY COLOR TOP OF CORNICE
EL. 22'-6"
TOP OF CORNICE
EL. 21'-0"
ROOF
EL. 18'-0" -BROWN BRICK -CHARCOAL COLOR BRICK -STEEL CANOPY -SOLDIER COURSE CHARCOAL COLOR BOTTOM OF LINTEL
EL. 9'-0" TEMPERED GLASS STOREFRONT W/ METAL FRAME TOP OF SILL EL. 3'-0" -BROWN BRICK <u>Building "B" - Prop. Front Elevation</u> SCALE: 1/8" = 1'-0"







MATERIAL SAMPLE



<u>Building "b" - prop. rear elevation</u> SCALE: 1/8" = 1'-0"

NOTE:
ALL FINALIZED COLORS WILL BE NOTED, AND MATERIAL SAMPLES WILL BE PROVIDED FOR PLANNING COMMISSION REVIEW AT THE TIME OF FINAL SITE PLAN.

MOHAMED NASRI BAZNA ENGINEER No. 32351

Ш  $\approx$ BUILDING D ELEVATIONS

PROJECT:
PROPOSED RESTAURANT
AND RETAILS PLAZA
ADDRESS:
(21-426-004) HIGHLAND RD. WHITE LAKE, MI
CLIENT'S NAME: NAZIR JAWICH

REVISION NO.: REV. DATE:

REVISION NO.:

REV. DATE:

**DATE:** 09/29/2021

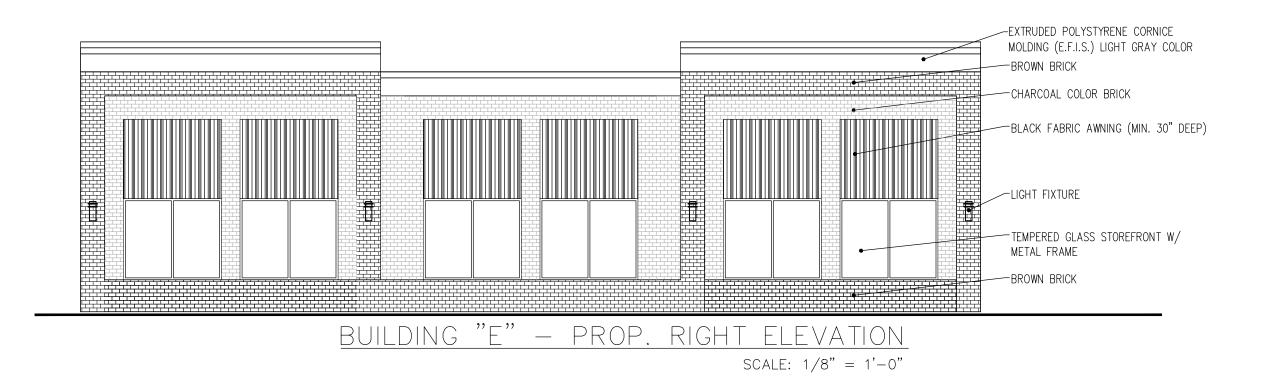
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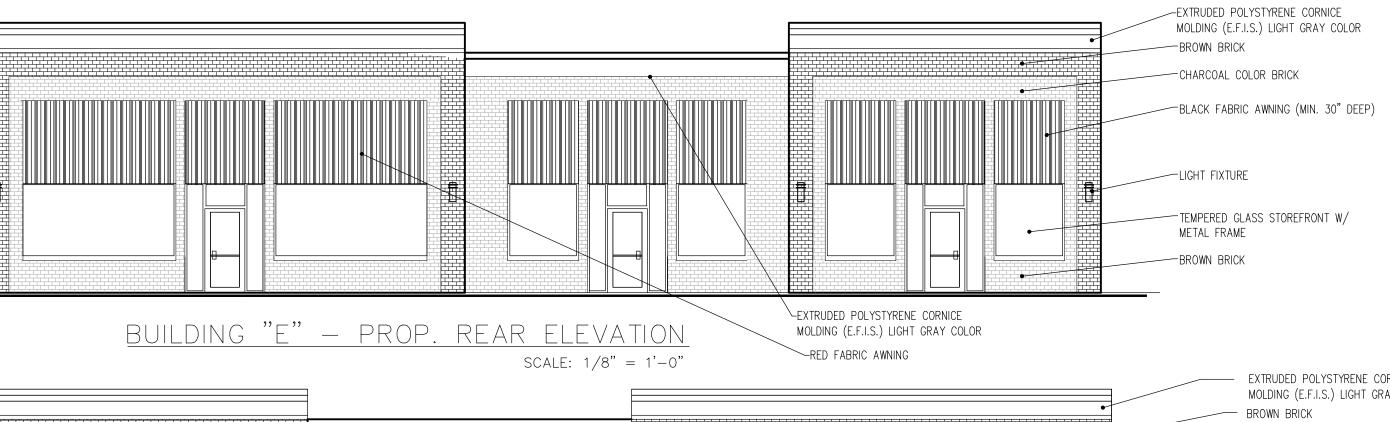
**SCALE:** AS NOTED

SHEET NO.: A-8

MATERIAL SAMPLE EXTRUDED POLYSTYRENE CORNICE MOLDING (E.F.I.S.) LIGHT GRAY COLOR -CHARCOAL COLOR BRICK BLACK FABRIC AWNING ( MIN. 30" DEEP) -LIGHT FIXTURE TEMPERED GLASS STOREFRONT W/ METAL FRAME -BROWN BRICK

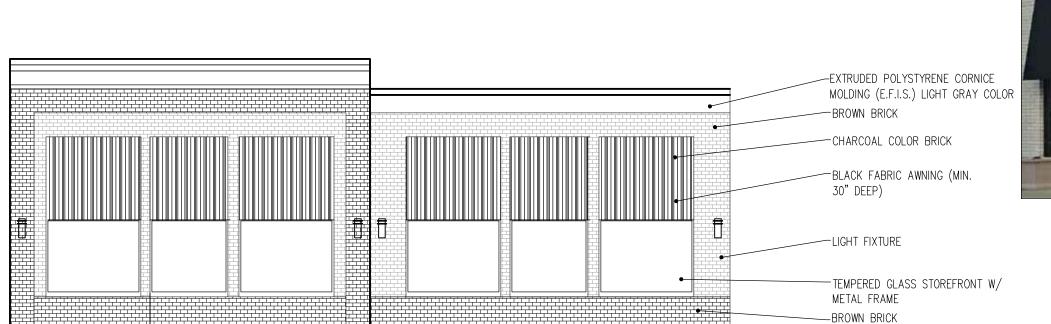
BUILDING "E" - PROP. LEFT ELEVATION SCALE: 1/8" = 1'-0"







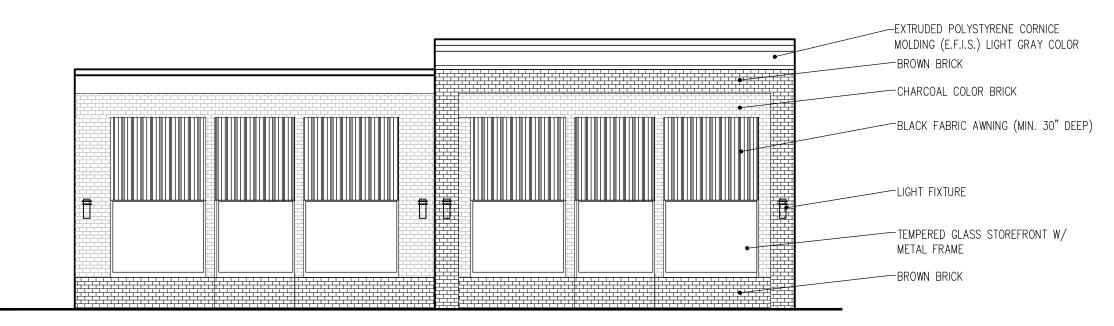
<u>Building "e" - prop. front elevation</u> SCALE: 1/8" = 1'-0"



ALL FINALIZED COLORS WILL BE NOTED, AND MATERIAL SAMPLES WILL BE PROVIDED

FOR PLANNING COMMISSION REVIEW AT THE TIME OF FINAL SITE PLAN.

<u>Building "d" - prop. Left elevation</u> SCALE: 1/8" = 1'-0"



BUILDING "D" — PROP. RIGHT ELEVATION

SCALE: 1/8" = 1'-0"





<u>Building "d" — prop. front elevation</u> SCALE: 1/8" = 1'-0"

#### **Director's Report**

Project Name: Avalon (White Lake Hill, LLC)

Description: Preliminary site plan approval

Date on Agenda this packet pertains to: June 9<sup>th</sup>, 2022

□Public Hearing	$\square$ Special Land Use
□Initial Submittal	□Rezoning
⊠Revised Plans	□Other:
⊠Preliminary Approval	
□Final Approval	

Contact	Consultants &	Approval	Denial	Approved w/Conditions	Other	Comments
	Departments					
Sean	Community			$\boxtimes$		Subject to all staff and consultant
O'Neil	Development					review comments being addressed.
	Director					_
DLZ	Engineering			$\boxtimes$		See letter dated
	Consultant					05/25/2022
Justin	Staff Planner			$\boxtimes$		See letter dated
Quagliata						05/25/2022
John	WLT Fire			$\boxtimes$		See letter dated
Holland	Chief					05/24/22

May 25, 2022

Sean O' Neil Community Development Department Charter Township of White Lake 7525 Highland Road White Lake, Michigan 48383

The Avalon-f.k.a. White Lake Hill-Preliminary Site Plan Review – 4th Review RE:

Ref: DLZ No. 2145-7233-21 Design Professional: **PEA Group** 

Dear Mr. O' Neil,

Our office has performed the above mentioned Preliminary Site Plan review for the revised plan dated May 16, 2022. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

#### **General Site Information**

This site is located on the north side of M-59 and east of Ormond Road. The property is located on both sides of Hill Road: across from former Brooks Elementary School and West of Meijers. Total site acreage is approximately 110.02 acres.

#### **Site Improvement Information:**

- Construction of a Planned Development consisting of 81 (previously 87) single family condominium homes on the east side of Hill Road.
- Proposed paved and public road for the single family condominium homes with one point of access off Hill Road.
- Construction of a Planned Development consisting of 406? 393? [see comment o)] multi-family units for lease on the west side of Hill Road. Associated clubhouse and pool as part of multi-family development.

4494 Elizabeth Lake Rd, Waterford, MI 48328 | OFFICE 248.681.7800 | ONLINE WWW.DLZ.COM



WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 2 of 9

- For multi- family units: associated paved and curbed parking including ADA accessible parking spaces
  and maneuvering aisles for clubhouse and pool. Internal streets and drives are also proposed with a
  point of access off M-59 and a second point of access off Hill Road.
- Site to be serviced by watermain and sanitary sewer.
- Storm water runoff is proposed to be detained as follows: 1) Detention Pond at the northwest corner of Hill Road and M-59- to discharge to existing storm sewer just south. 2) Two detention ponds on the west side of Hill Road and located centrally in the multi-family portion- to discharge to existing culvert under Hill Road. 3) Detention ponds located on the southernmost portion of the single family phase- to discharge to existing watercourse located between the two ponds. 4) Detention pond located on the eastern portion of the single family phase- to discharge to the existing wetlands to the southwest.

We offer the following comments:

Note that comments from our April 13, 2022 review letter are in *italics*. Responses to those comments are in **bold**. New comments are in standard typeface.

#### The following items should be noted with respect to Planning Commission review:

- a) We note that the number of single family lots has been reduced from 87 to 81 and that the multi-family has been reduced from 406 units to 393 units. These reductions in the number of lots and units will likely not impact utility layout or design. We note that the plan sheets included as part of this submittal did not show the proposed watermain, sanitary sewer, or storm sewer; we assume that the layouts proposed on the previous Preliminary Site Plan dated April 4, 2022 are to remain the same.
- b) Pond 2 located in the single family section of the development (see plan Sheet P-5.1) proposes discharge to the adjacent wetlands to the west. Clarify where drainage from this wetland shall be routed as it appears from existing topography that there is no outlet from this wetland. In addition, a portion of this wetland is located off site; an off-site drainage easement would be required. Additional topographical survey information will be required for the property to the south of the wetlands in order to clarify the drainage path. The design engineer has noted that the discharge from the proposed pond (now labeled as Pond 5) will discharge at an agricultural rate and follow its natural off site drainage course. The difference in pre and post development area discharging from proposed Pond 5 to the existing wetlands is an increase of 0.2 acres. We can consider this item



WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 3 of 9

### complete for this level of review, however the capacity for the receiving wetland to accommodate the increased runoff volume will need to be demonstrated at the time of Final Site Plan.

- c) The multifamily exiting drive onto M-59 shows a width of 16 feet. Township Zoning Ordinance 5.11Q.v. requires a width of 20' for one way drives and a minimum width of 24' for two way drives. Dimensions have been clarified; DLZ defers further comment regarding compliance to Township Planning Department.
- d) We defer to the Township as to whether 6 foot wide sidewalk is required on both sides of Hill Road. None is proposed at this time. Township Zoning Ordinance 5.21 requires a minimum of 6 foot width for sidewalks along major roadways. Comment outstanding. We continue to defer to the Township with regard to this item. Note that an 8' wide path has now been added along a portion of the west side only of the Hill Road frontage and that two road crossings of the path have been proposed near the Hill Road entrances in order to connect the multi-family to the single-family units. The locations for the path crossings should be reviewed for proper pavement markings and pedestrian crossing signage. Comment addressed at this level of review. Per the design engineer, this item was discussed at a Township Zoom meeting on March 25, 2022. It was determined that an 8' wide path will be added along the western side of Hill Road from M-59 to the single family entrance. Paths are also now shown along the frontage for Units 81-84 and 85-87 only as the adjacent areas pose an issue with regulated wetlands and stream encroachment. The developer agreed at the meeting to make a contribution to the White Lake Sidewalk Fund to supplement pathway areas not installed along Hill Road.

We note that portions of the proposed sidewalk along the western side of Hill Road are proposed outside the future ROW. This sidewalk locations shall be either adjusted to inside the future ROW or an easement shall be provided. In addition, our comment with respect to the proper pavement markings and pedestrian crossing signage for Hill Road crossing will need to be addressed at the time of FSP/FEP submittal.

e) The following single family lots present conflicts with either the proposed house, required grading, or the potential deck/patio encroaching into the wetlands setback:1,27,28,40,61, and 88. Impacts to the wetlands buffer will need to be removed. Comment outstanding. The wetlands setback/buffer for all wetlands was not shown on the initial Preliminary Site Plan submittal dated December 8, 2021. There are now units in the single family portion of this development as well as other areas of the development where grading is proposed in the wetlands setback/buffer which is not allowable. The following single family units will require revision with respect to grading in the wetlands setback: 1-7,20,27,28,39,40,52-54,61,75,76,84,85, and 88. In addition, the proposed retaining wall adjacent



WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 4 of 9

grading to the northwest of multi-family Unit 19 will also require adjustment with respect to grading in the wetlands buffer. Since the units listed border EGLE regulated wetlands, our office concurs with the recommendation by Barr Engineering, Inc Wetland Delineation Report (dated February 9, 2022) recommending that Barr's wetland boundary determination and jurisdictional opinion be reviewed by EGLE prior to undertaking any activity near or within any identified wetlands; the proposed layout as submitted may require revision, in response to EGLE's review, to unit/ lot layout in the single family phase, thus impacting the preliminary site layout. Comment addressed. Per a meeting with the Township on March 25, 2022, it was agreed that grading within the 25' wetland setback would be acceptable. A wetland restoration plan shall be required at the time of FSP/FEP submittal. Plan shall include a timeline for restoration of the wetland buffers. Note that the developer shall also be required to comply with all EGLE requirements with respect to grading and regulated wetlands. A note shall be provided on the FSP/FEP with regard to the wetland buffer restoration.

- f) All public roads are required to be built to RCOC standards. Comment remains as a notation.
- g) Specify the proposed width of the shared access driveways for Lots 81-84 and 85-88 of the single family portion. These drives shall be built to private access drive standards of White Lake as specified in the Zoning Ordinance Section 5.16. Section C. ii. requires two points of access for such drives to an adjacent public or private road. Section D. ii. requires that access driveways shall be able to accommodate emergency vehicles. Comment partially addressed. Two points of access for each of the drives are now proposed, however, Ordinance 5.16 C.i. requires a 30' wide easement width for an access drive; 25' is proposed for Lots 81-84 and 85-88. In addition, Zoning Ordinance Section 5.16 C. iii. regarding setbacks shall be met (Unit 85 is not in compliance). Also specify on plan that the 20' drive widths proposed are measured as 20' from the edge of the gutter line per Ordinance 5.16 C. v. Please also provide fire truck turning radius for these private access drives. Comment addressed. Fire truck movements have been provided and show that while tight the trucks will be able to traverse the drives.
- h) Clarify if there is an existing drainage easement on the property south of the single family Detention Ponds 1 and 3. An easement will be required for discharge of drainage off site. In addition, the design engineer will be required to demonstrate that there will be no downstream impacts from the proposed development in terms of stormwater discharge flows. Engineer will need to demonstrate that adequate downstream capacity exists to handle post development flow. Comment remains as a notation and can be further clarified at the time of FSP. Design engineer has stated in their February 15, 2022 review response letter: "There is not an easement in place. There is an existing stream which provides the historical drainage route through the said parcel to a box culvert under M-59. Since the development will have a 100-year detention basin and will discharge stormwater at an agricultural rate, the downstream ditch should have adequate capacity. A detailed



WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 5 of 9

### engineering analysis will be provided to the township and MDOT during the construction plan phase."

- i) End sections for the three detention basins proposed on the single family portion will be required to be located outside the wetland setback. Comment partially addressed. Our office finds the basin outlet locations acceptable and that the outlet pipes for Basins 4 and 5 shall be constructed within the wetlands setback and the land restored to its natural preconstruction condition. Note that location of the basin end sections shall be subject to review and approval by EGLE. EGLE may require revision of the end section locations. Our office recommends the Township require a wetland setback restoration plan and that the developer be required to post a bond amount to guarantee proper and timely completion of restoration of the wetland buffer setbacks in these two areas should EGLE approve the end section locations. Comment addressed for this level of review. The design engineer notes a wetland setback restoration plan shall be provided at the time of FSP/FEP submittal. A note shall be provided on the FSP/FEP regarding wetland setback restoration.
- j) Extend the sanitary sewer to the north property line along Hill Road. Comment remains. Applicant indicated that the topography near the northern property restricts construction of the sanitary sewer at this location and would require a construction easement from the adjacent property owner. Township Ordinance requires extension to the limits of the property line and the sanitary sewer master plan indicates that gravity sanity sewer is ultimately proposed north of this location. We defer to the Township if a variance can be granted on this requirement or if completion of this item will be a condition of approval. Comment addressed. Discussion with the Township concluded that the sewer shall not be extended to the north property line and that an easement for future sanitary sewer extension shall be provided. In addition, the developer shall be required to deposit a monetary fee or escrow with the Township as assurance to supplement the future sewer extension.
- k) With nearly 60 feet of elevation change, the designer should ensure that sufficient pressure exists at the higher elevations for a bathroom on the 2<sup>nd</sup> story. The water may have to come from Pressure District 4 to service units with higher elevations as it appears that there will be insufficient pressure on the northern portions of the proposed development. To interconnect between the pressure districts, at least one PRV may be required. We suggest that the Township request escrow funds with regard to this item such that DLZ can model the water system to determine any deficiencies that may exist regarding water pressures and/or capacities. Our office has performed modeling of the proposed water system, see attached water model results; In all scenarios the area at the northeast corner of Aurora Circle experienced the lowest resulting pressure. There is a need for a handful of homes in this vicinity to have individual booster pumps to ensure adequate pressure given the various scenarios. It can also not be understated that the proposed design places an incredibly high criticality



WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 6 of 9

rating on the existing 16" watermain along M59. This is the only supply proposed to serve the nearly 500 residential units. If something were to happen to this watermain there is no second source or storage to feed this area temporarily. DLZ recommends a second water supply be installed to provide redundancy to the proposed distribution system. Please note that in order to stay within the same pressure district the source would need to be from south of the existing Pressure Reducing Valves that exist on either side of the existing Meijer store. Comment addressed at this level of review. As a condition of the Township engineer's recommendation for Preliminary Site Plan approval, the developer acknowledges the critical issue of not having a redundant source of water supply for the proposed development. The design engineer has stated that a second supply connection is being researched.

- I) Sanitary sewage from this development is tributary to the existing Meijer sanitary sewer pump station located at the Northeast corner of Highland Road and Bogie Lake Road; an analysis will need to be provided that indicates there is sufficient capacity within the existing pump station, or if upgrades will be necessary to support the additional discharges. Comment addressed and remains as a notation. Design engineer states in their review response letter dated February 15, 2022: "Since an 18" sewer has been stubbed to the Hill Road/M-59 intersection, it is our understanding that the pump station and forcemain were designed for future development along Hill Road and Ormond Roads. A detailed analysis will be conducted during the construction plan phase."
- m) Proposed future decks or patios for Lots 12,15,82, and 83 of the single family portion of the development appear to encroach into the proposed storm sewer easement. Please revise. Comment outstanding. A 12' wide deck or patio would only allow for 5' of easement on one side of the storm sewer relative to Units 82 and 83; 6' minimum is required. In addition, Units 9-12 would have a similar issue. Unit 80- the deck or patio could only be placed on the NE area of the rear of the house. Units 85 and 86 would not have enough space for a deck or patio without storm sewer easement encroachment. This comment remains outstanding. Since the lot numbering and count has changed and no utility information has been included with the current submittal, we are unable to review requested changes or provide comment.
- n) Parcel Area Table on Sheet P-2.0 of plans appears to be missing parcel data for Units 82,83,84,86, and 87. Please update. Comment addressed.
- o) The number of multifamily units of 393 in the 'Multi-Family Site Data Table' on Sheet P-2.0 does not match the total shown (72+334=406) in the same table under subsection "Minimum Lot Size.'

WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 7 of 9

The following comments can be addressed on the Final Site Plan/Final Engineering Plan:

#### Final Site Plan/Final Engineering Plan Comments-

#### General

- 1. Plan shall contain notes per White Lake Township Engineering Design Standards Section A. 8. a.-d.
- 2. Provide at least two permanent benchmarks on NAVD 88 datum. Benchmarks are required at least every 1,200 feet.
- 3. Provide soil boring reports that were prepared by CTI and McDowell.
- 4. The topographical survey shows existing overhead electrical lines on the parcel west of Hill Road. Clarify as to whether these lines shall remain or be relocated and as to whether an easement for the lines exists. In the event the lines are to be relocated, the easements (if existing) will need to be vacated.
- 5. A landscape plan showing all proposed trees relative to proposed storm sewer, sanitary sewer, and watermain shall be submitted. Note that 10' horizontal separation is required between proposed utilities noted and proposed trees.

#### Paving/Grading

- 1. ADA accessible ramps will be required on sidewalk adjacent to ADA parking spaces. Ramp slopes shall meet ADA requirements.
- 2. Structural wall calculations, that have been signed and sealed by a Registered Structural Engineer, verifying the wall integrity and the ability to support lateral and vertical stresses will need to be provided for retaining walls over 30" tall.
- 3. Retaining walls >30" in height shall require a decorative fence or railing at the top that is a minimum of 36" in height.
- 4. Wetland buffers shall be clearly shown on all grading sheets.
- 5. Sheets 3.1-3.4 have Hill Road mislabeled as Highland Road. Please revise.

#### **Watermain**

- 1. We defer to the Fire Department regarding items related to fire suppression and hydrant coverage.
- 2. Show 20' wide easements for all watermain on plan.
- 3. Additional gate wells will be required to meet isolation requirements.
- 4. Radii of watermain appears to be too small at Units 40-41. Bends may be necessary.



WLT-White Lake Hill- PSP Review.04

May 25, 2022

Page 8 of 9

5. There appears to be less than 10 feet of separation barrel to barrel between the storm sewer and watermain proposed in front of multifamily Unit 38. Please revise.

#### Sanitary Sewer

- 1. A manhole will need to be added along Hill Road southeast of multifamily Unit 28. There is 720 feet between manholes.
- 2. There appears to be less than 10 feet of horizontal separation to storm sewer in front of multifamily Unit 57. Please revise so minimum separation is achieved.
- 3. Modify sanitary sewer connection note on Sheet P-4.1 to read:" Connect proposed 10" and 18" sanitary to existing 18" sanitary stub."

#### Stormwater Management

- 1. We recommend that the proposed ditch end section tie into the MH southwest (adjacent to multifamily Detention Pond 3) be moved such that the end section ties into a separate manhole due south of the end section. This would eliminate the potential for four pipe connections into the same MH. See Sheet 4.2.
- 2. Show 12' easements for storm sewer on plan.
- 3. A minimum of 12" diameter sewer is required for storm sewer carrying surface drainage. Reference Sheet 4.4; proposed sewer for Lots 55-80 and 28-36 will need to be changed from 8" to 12".
- 4. Storm sewer shall be located no closer than a 10' horizontally from proposed buildings/structures. Reference Building #28 multi-family.

#### Recommendation

Most of our previous comments have been addressed; the need for a redundant water source is a significant outstanding item that needs to be acknowledged by the applicant as a condition of PSP approval should the Planning Commission desire to make that motion. The storm sewer easement deck encroachments mentioned in Item m) above should be discussed as they may pose problems as units are built out. DLZ is confident the remaining items can be further clarified on the Final Site Plan submittals without significant modification to the site layout.



WLT-White Lake Hill- PSP Review.04 May 25, 2022 Page 9 of 9

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E. Department Manager

Victoria Loemker, P.E. Senior Engineer

Cc:

Justin Quagliata, Community Development, via email Hannah Micallef, Community Development, via email Aaron Potter, DPS Director, White Lake Township, via email John Holland, Fire Chief, White Lake Township, via email Jason Hanifen, Fire Marshal, White Lake Township, via email

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## WHITE LAKE TOWNSHIP PLANNING COMMISSION

### REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Planning Commission

FROM: Sean O'Neil, AICP, Community Development Director

Justin Quagliata, Staff Planner

DATE: May 25, 2022

RE: The Avalon

Rezoning and Preliminary Site Plan – Review #4

Staff reviewed the revised preliminary site plan (PSP) prepared by PEA Group (revision date May 16, 2022). The previous staff report for the rezoning and PSP (attached) should be referenced for a more complete overview of the project. At its April 21, 2022 meeting the Planning Commission recommended approval of rezoning both parcels to Planned Development (PD) and recommended denial of the PSP. In an effort to address concerns of the Planning Commission, a number of changes were made to the PSP, including:

- Reduction of 13 multiple-family (apartment) units, from 406 to 393
  - Multiple-family density reduced from 6.3 units per acre to 6.1 units per acre
- Reduction of 6 single-family units, from 87 to 81
  - o Single-family density reduced from 2.8 units per acre to 2.6 units per acre
- Increased multiple-family setback from north property line, from 50 feet to 120 feet
- Eliminated sign setback waiver request at the corner of Hill Road and Highland Road
- Eliminated Highland Road driveway width waiver request
- Eliminated parking stall striping waiver request
- Eliminated dumpster pad waiver request

Overall, there would 393 apartment units for rent among 57 buildings (Building 39 is not located on the PSP; revise building numbers accordingly) consisting of 17, twelve-unit buildings; 17, six-unit buildings (21 on the prior PSP); 4, five-unit buildings (5 on the prior PSP); 10, four-unit buildings (6 on the prior PSP); and 9, three-unit buildings. An updated number of two-bedroom units and three-bedroom units shall be provided on Sheet P-2.0. In the multiple-family portion of the development, the 12-plex buildings would be two-stories in height and all other building types would consist of ranch-style dwellings. The 81 site condominiums would consist of one- and two-story units. All of the single-family and multiple-family units would have an attached two-car garage. Some single-family products have an optional two-and-a-half car garage and/or three-car garage. There are no side-entry garages on either the single-family or the multiple-family units.

#### On Sheet P-2.0, the following shall be updated in the Multi-Family Site Data Table:

- Proposed Use: incorrect dwelling units per acre provided.
- Building Footprint Area: was not updated from prior PSP.
- Minimum Lot Size: number of units and minimum lot size not updated from prior PSP.
- Building Lot Coverage: was not updated from prior PSP.
- Setback Requirements (proposed only): was not updated from prior PSP.
- Parking Calculations: was not updated from prior PSP.
- Open Space: was not updated from prior PSP.

#### On Sheet P-2.0, the following shall be updated in the Single-Family Site Data Table:

- <u>Maximum Building Lot Coverage: incorrect standard listed (correct standard is 20%)</u> and proposed maximum lot coverage was not updated from prior PSP.
- Proposed Setbacks: the prior PSP noted a 45-foot rear yard setback prescribed for Units 8-13. If proposed, the data table shall note differing setbacks for certain units.
- Open Space: was not updated from prior PSP.

#### Parallel Plan

For any residential project, a parallel plan demonstrating the layout and density of residential uses that would be possible without use of the PD District is required. A parallel plan must meet all standards for lot area, lot width, and setbacks; roadway improvements; open space; and contain an area which conceptually would provide sufficient area for stormwater detention. Lots in the parallel plan must provide sufficient building envelope size without impacting regulated wetlands.

The applicant provided a parallel plan showing the parcel on the east side of Hill Road developed under R1-D (Single-Family Residential) zoning. According to the plan, 96 units could be developed on "lots" 80 feet wide and 12,000 square feet in area (the minimum lot size standards for R1-D zoning). With 96 units on 32.51 net acres (net acreage for parallel plan purposes only), the parallel plan yields a single-family density of 2.9 dwelling units per acre.

On the west side of Hill Road, the parallel plan shows the parcel developed under RM-2 (Multiple-Family) zoning. As indicated on the plan, 600 units (apartments) could be developed among 49 twelve-unit buildings and 2 six-unit buildings. For the multiple-family portion of the development, the parallel plan shows buildings on the site at the maximum lot coverage (20%), and the minimum amount of recreation space is provided (1.49 acres). Note areas of recreation space are not identified on the plan; it appears areas likely comprising recreation space include the pocket park, clubhouse facility, and park commons noted on the plan. With 600 units on 63.94 net acres (net acreage for parallel plan purposes only), the parallel plan yields a multiple-family density of 9.4 dwelling units per acre.

#### Waivers

Generally, in a PD the standard requirements for lot size, yards, frontage, setbacks, building height, and type and size of dwelling unit are waived, provided the purpose and intent of the zoning ordinance are incorporated into the overall development plan. For PDs the zoning ordinance is intended to provide flexibility for the Planning Commission and Township Board to set appropriate standards during site plan review. Where modifications of zoning ordinance standards are requested, the Developer must provide a table which clearly compares each requested modification to the zoning ordinance standard to be modified. Unless variations are specifically requested and approved by the Planning Commission, the final site plan must comply with the appropriate standards of the Township. Based on the revised PSP, the Developer is requesting the following waivers for the Avalon PD:

#### Recreation Space

Multiple-family developments are required to provide recreation space for the use of the residents therein. A formula is applied whereby 5,000 square feet for the first unit plus an additional 100 square feet for each additional unit determines such space required for recreation. For a 406-unit multiple-family development, 45,500 square feet of recreation space is required. The submitted open space plan shall be revised to note the correct recreation space requirement (10,700 square feet is incorrectly listed as required). 18,623 square feet of recreation space (clubhouse, pool, and dog park) is proposed in the multiple-family portion of the development; therefore, a waiver of 26,877 square feet is required for the amount of recreation space. It appears a recreation space waiver is still required – an updated calculation shall be provided on the PSP.

#### Lot Area

The existing R1-A zoning district requires parcels have a minimum lot area of one acre. In the R1-D (Single-Family Residential) zoning district, the densest district in the Township, parcels are required to have a minimum lot area of 12,000 square feet. For the single-family portion of the project, the PD has "lots" ranging from 7,431.38 square feet to 17,750.68 square feet in size. The average "lot" size is 9,118.05 square feet. Staff suggests the Planning Commission consider requiring minimum lot area of at least 8,000 square feet. Based on the revised PSP, "lots" range from 8,039 square feet (607.62 square foot increase) to 17,205 square feet (545.68 square foot decrease) in size. The average "lot" is 9,337 square feet (218.95 square foot increase) in size.

#### Lot Frontage/Width

Lot width is the straight-line distance between parallel side lot lines, measured at the front setback line. Where side lot lines are not parallel, the width is measured at the front setback line parallel to the street or tangent to the curve of the street. The existing R1-A zoning district requires parcels have a minimum of 150 feet of lot frontage. In the R1-D zoning district, parcels are required to have a minimum lot width of 80 feet. Lots on a cul-de-sac or curvilinear street must have a minimum of 65 feet of frontage and comply with the lot width requirement at the minimum front setback line. Additionally, corner lots in condominium subdivisions must be at least 20 feet wider than the minimum width required by the zoning ordinance. For the single-family portion of the project, the PD has "lots" ranging from 62 feet of lot width (including "lots" on a cul-de-sac or curvilinear street) to 107 feet (now 105 feet). The average "lot" width is 68 feet. Staff suggests the Planning Commission consider requiring minimum lot width of at least 70 feet. Based on the revised PSP, the minimum lot width and average lot width remain unchanged from the prior plan. Maximum lot width, with 70 feet suggested as the requirement for the PD.

#### Setbacks and Lot Coverage

The yard setbacks and lot coverage for the existing R1-A zoning district, R1-D zoning district, PD zoning district, and the proposed PD (single-family) are summarized in the table below.

	R1-A zoning	R1-D zoning	PD zoning	Proposed PD
Front yard setback	35 feet	30 feet	40 feet	25 feet
Side yard setback	25 feet	10 feet	25 feet	10 feet
Rear yard setback	40 feet	30 feet	TBD	35 feet**
Max. lot coverage	20%*	20%*	TBD	35%***

<sup>\*</sup>A maximum 30% lot coverage may be approved administratively by the Community Development Director or his designee on existing lots of record where the lot has sanitary sewer service and the proposed building complies with all setback requirements.

<sup>\*\*</sup>A 45-foot rear yard setback is prescribed for Units 8-13. <u>As noted on page 2 of this report,</u> clarification is required on the revised PSP.

<sup>\*\*\*</sup> As noted on page 2 of this report, clarification is required on the revised PSP.

Buildings within a multiple-family development must have a minimum setback of 25 feet from the back of sidewalk or 25 feet from back of curb (if no sidewalk is present). A five-foot waiver is requested to allow a 20-foot front setback. **Waiver remains requested.** 

The Planning Commission may consider the proposed setbacks and lot coverage and determine whether they are appropriate or whether additional setbacks or less lot coverage should be established. The submitted plan notes no deck or patio would encroach into any setback.

#### Decks, Porches, and Patios

The zoning ordinance states "In no instance shall a deck, porch, patio or paved terrace be located in any recorded easement..." As noted in the DLZ review letter dated April 13, 2022 decks and patios attached to several single-family units would likely encroach into the proposed storm Staff is concerned about deck/patio encroachment into the storm sewer easement. Maintenance activities within the easement could potentially damage decks/patios in the vicinity. While the storm system is private and must be maintained by the condo association (after assignment by the Developer), if the association fails to maintain the storm sewer and the Township exercises its right to maintain/repair/replace the system (as would be outlined in the development agreement and master deed) correcting resulting damage to private decks/patios should not be the responsibility of the Township. Hold harmless language, subject to approval by the Township Attorney, would need to be incorporated into the development agreement and master deed if a waiver was granted to allow deck/patio encroachment into the storm sewer There is an alternative to not install decks/patios on the rear of units where encroachment into the storm sewer easement would occur. The decks/patios on the units in question could potentially be relocated to the sides of units and/or reduced in size. As noted in the DLZ review letter dated May 25, 2022, since the unit count and numbering has changed and no utility information was included with the current submittal staff and consultants are unable to review requested changes or provide comment.

Separate from the waiver request, the note under the typical lot layout on Sheets P-2.3 and P-2.4 of the site plan shall be revised to add the word "within" following the word "encroaching." Also, the words "wetland buffer" shall be replaced with the words "natural features." **Comment outstanding.** 

Additionally, the Developer shall clarify its correspondence to the Township dated April 4, 2022. In said communication, the Developer requested a waiver to allow decks/patios to encroach within the Natural Features Setback on Units 1, 4, 9, 27, and 40. Such a request for waiver is inconsistent with the submitted preliminary site plans. Comment outstanding; however, it does not appear a waiver for the aforementioned units to encroach into the Natural Features Setback is required.

#### Driveway Access

For boulevard-style driveways, the minimum required entering road width is 20 feet and the minimum required exiting road width is 22 feet. The Hill Road boulevard access to the multiple-family portion of the development (both entering and exiting drives) appear to be 19 feet in width (the PSP measures the drive width to the back of curb; road measurement surface is taken between the edges of the gutter pan) and is noncompliant. Waivers (1 foot for entrance; 3 feet for exit) are needed to allow a reduction of the required road surface width.

#### Street Layouts and Blocks

The maximum length of cul-de-sac streets and maximum length of blocks within condominium subdivisions cannot exceed 1,500 feet. The Developer is seeking a 930-foot waiver to allow maximum block length of 2,430 feet. Topography, steep grades, and natural features on the site were the stated reasons for the requested waiver. The Fire Department has reviewed the length of the streets and blocks and is satisfied with accommodations for emergency access.

#### Street Continuation

The zoning ordinance requires the street layout in condominium subdivisions provide for continuation of streets to adjoining residential developments or the proper projections of streets (a stub) to adjoining property which could be developed in the future. Currently there is no street stub proposed to the property to the north. The applicant stated there is a 26-foot grade difference from the north property line to the proposed road. Topographic conditions seem to justify a waiver from this requirement.

#### Sidewalks

The zoning ordinance requires a minimum six-foot-wide sidewalk placed one-foot from the inside edge of the right-of-way along both the east and west Hill Road property frontages, which the applicant is required to install as part of the project. The submitted site plan shows an eight-foot concrete sidewalk along the west side of the Hill Road property frontage from Highland Road to the south side of the single-family access (across the street). Portions of this sidewalk are proposed outside of the future right-of-way; the sidewalk must be relocated inside the road right-of-way or an easement be provided. Right-of-way/easement widths for public walkways when not adjacent to or a part of street rights-of-way must be at least 15 feet and dedicated to the use of the public. Sidewalks on the east side of Hill Road are proposed along the frontage of Units 81-84 (now Units 75-78) and Units 85-87 (now Units 79-81). There are regulated wetlands and a stream along the remaining portion of Hill Road north of Units 81-84 (now Units 75-78); therefore, the Developer is requesting a waiver to not install sidewalks in this location. However, the Developer offered to make a contribution to the Township Sidewalk Fund to supplement the pathway areas not installed along Hill Road. The amount of the proposed donation must be provided and accepted by the Township.

Signs

The zoning ordinance requires the area, quantity, location, and dimensions of all signs to be provided with the preliminary site plan. One monument sign, not more than 30 square feet in area, may be maintained at or adjacent to the principal entrance to a residential development. One additional sign may be permitted if the residential development has access to two thoroughfares or the development has more than one boulevard street entrance from an existing arterial or it has at least 250 dwellings. The signs may not exceed a height of six feet. The multiple-family portion of the development would contain more than 250 units, so a second development entry sign is permitted by right.

A waiver is requested to install a third sign (determined to be the sign at the corner of Highland Road and Hill Road). For the multiple-family portion of the development, the other monument signs are proposed adjacent to (Highland Road) and within (Hill Road) the boulevard entrances. One monument sign is proposed within the boulevard entrance to the single-family portion of the development.

While signage details were not provided, staff can administratively review and approve the sign design. The monument signs would be required to comply with residential district sign regulations, including not more than 30 square feet in area and six feet in height.

#### Comments to be addressed from previous review

- The apartments would have access to a 6,658 square foot clubhouse consisting of a business center, fitness center, and leasing office. A patio (covered and uncovered) at the rear of the clubhouse is adjacent to a swimming pool. The conceptual clubhouse renderings state the building would be 5,132 square feet in size. Clarify the size of the clubhouse and revise the plans for consistency.
- The open space plan does not clearly indicate if stormwater management areas are counted as open space. Clarification must be provided.
- Parking calculations (for multiple-family dwellings) on Sheet P-2.0 shall be revised; the number of bedrooms, guest parking required, and total parking required are incorrect.
- Phasing, if any, shall be indicated on the plans.
- A trash enclosure detail shall be provided on Sheet P-7.0 showing the finished face on the outside walls of the enclosure and indicate the color of the gate.
- An updated list of all requested waivers shall be provided by the Developer. Furthermore, PD modifications 2, 4, and 5 shall be removed from the table on Sheet P-2.0.

#### **Planning Commission Options / Recommendation**

The Planning Commission may recommend approval or denial of the rezoning request, or it may recommend a different zoning designation than proposed by the applicant to the Township Board. The Planning Commission may recommend approval, approval with conditions, or denial of the preliminary site plan to the Township Board. The proposed rezoning and planned development are both compatible with the Master Plan and with surrounding land uses. Staff recommends approval of the rezoning, and approval of the preliminary site plan subject to the items identified in this report being addressed prior to final site plan.

The following notations summarize the preliminary site plan review:

- Recommendation of approval is in accordance with the preliminary site plans prepared by PEA Group (revision date-April 4, 2022 May 16, 2022), subject to revisions as required. The utility, grading, and storm drainage plans for the site are subject to the approval of the Township Engineering Consultant and shall be completed in accordance with the Township Engineering Design Standards.
- Recommendation of approval is in accordance with the preliminary ranch unit building
  elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated
  March 29, 2022, subject to revisions as required and with the preliminary 12-plex elevations
  and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018,
  subject to revisions as required.

#### **Attachments:**

- 1. Avalon staff report dated April 13, 2022.
- 2. Revised preliminary site plan prepared by PEA Group (revision date May 16, 2022).
- 3. Preliminary ranch unit building elevations and floor plans prepared by Alexander V. Bogaerts & Associates, P.C. dated March 29, 2022.
- 4. Preliminary 12-plex elevations and floor plans prepared by Burmann Associates Inc. dated June 27, 2018 and July 17, 2018.

# Fire Department Charter Township of White Lake



#### Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 05/24/22

Project: The Avalon

File #: N/A

Date on Plans:

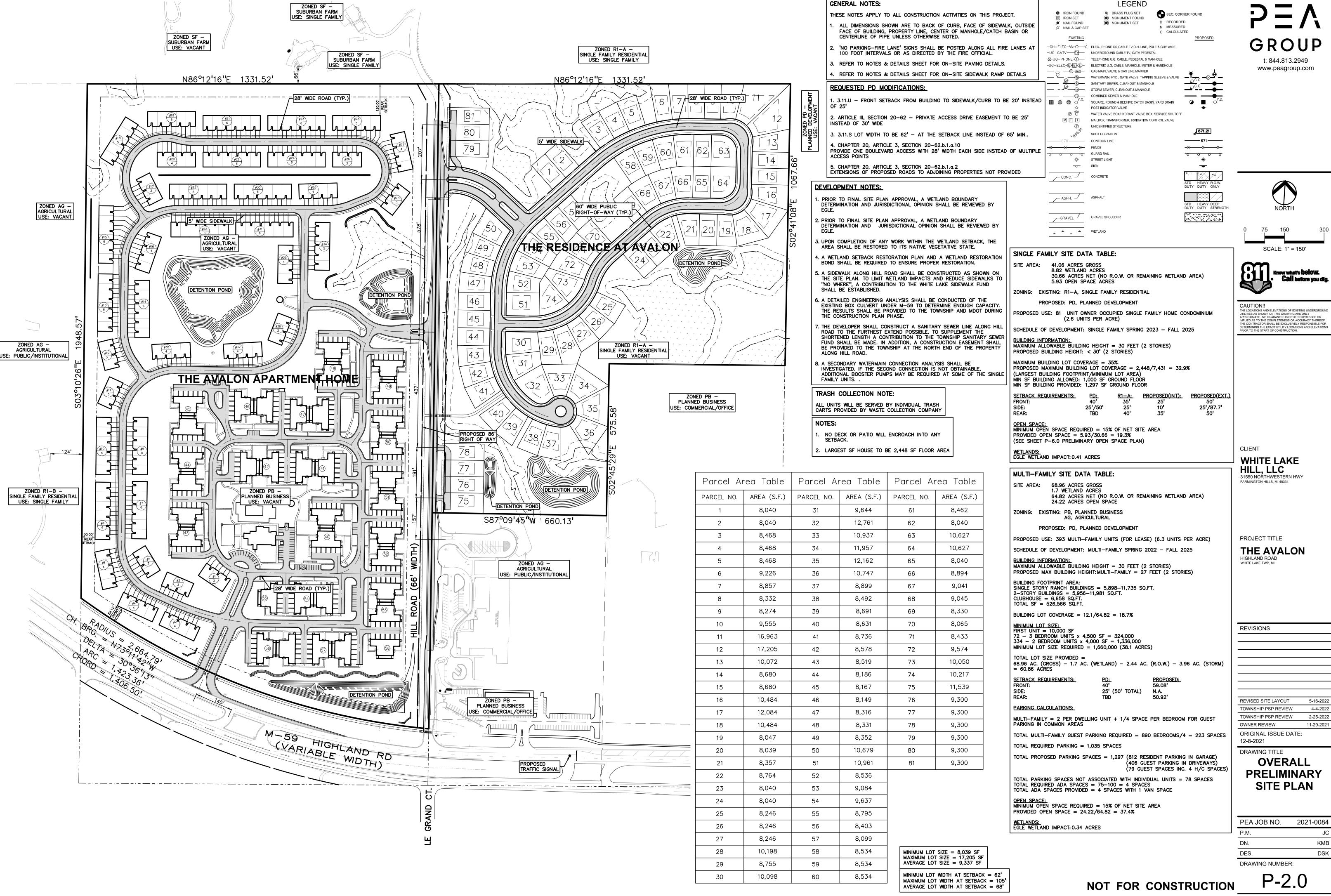
The Fire Department has the following comments with regards to the Revised site plan for the project known as The Avalon:

- 1. Multifamily phase.
- a. The spacing between hydrants shall not exceed 300 feet. Comment addressed
- b. The hydrants shall be arranged to provide adequate coverage for all buildings including #56 and #57 (additional hydrant to be added to this area). **Comment addressed**
- c. Include a turn radius profile for units # 49-58. Comment addressed
- d. The layout/configuration of the proposed street names assigned to this project are too closely grouped creating potential confusion to responders. **Pending (Street names are subject to Fire department approval)** Avoid the following:
  - Name changes at jogs and curves.
  - Duplicate names.
  - Names that could be mispronounced or are difficult to pronounce.
  - Names that are spelled or pronounced close to an existing street/road name.

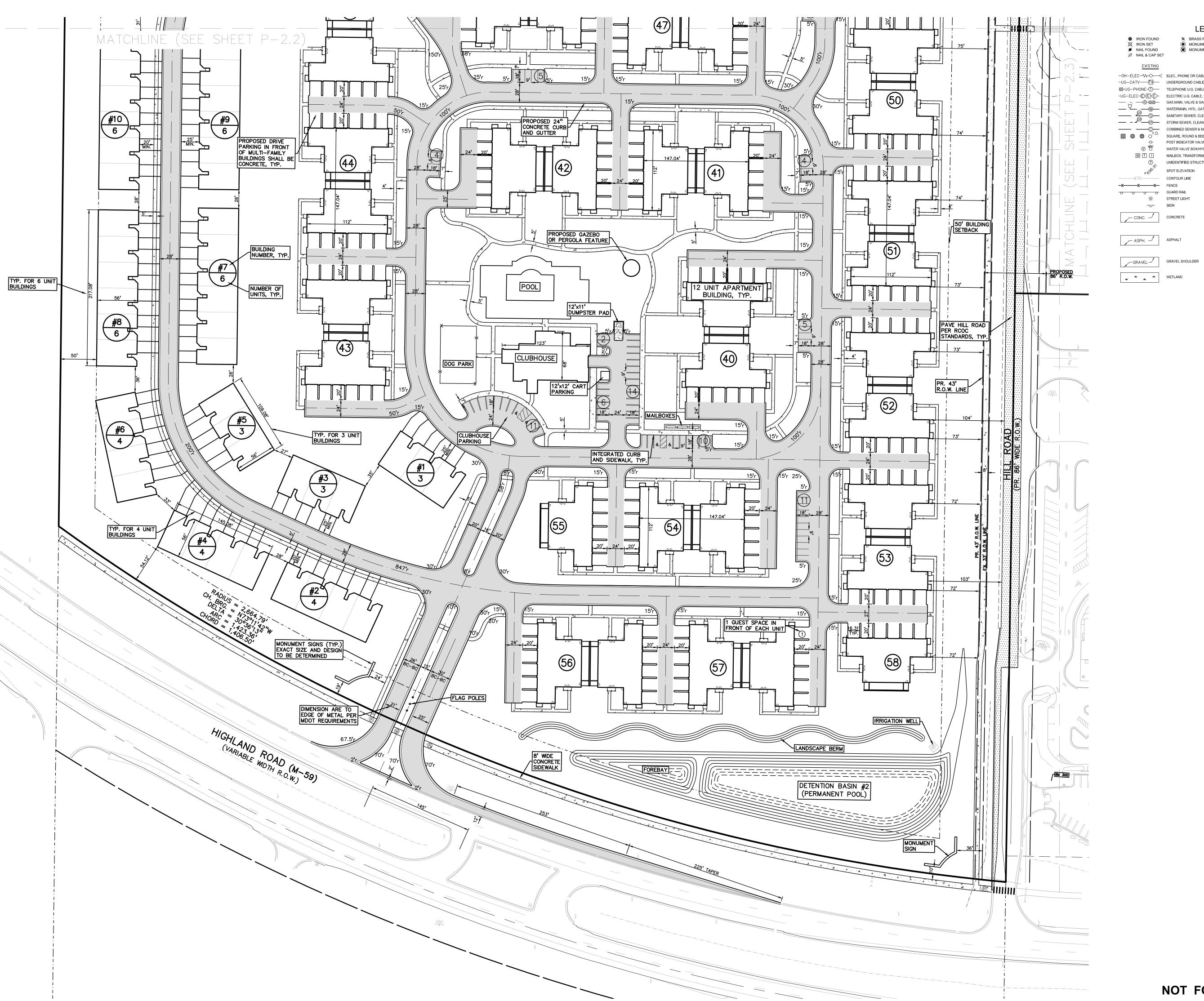
Reference the Township map for guidance.

John Holland Fire Chief Charter Township of White Lake (248)698-3993 jholland@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.



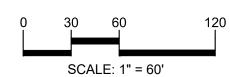
AVERAGE LOT WIDTH AT SETBACK = 68'



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Item A. GROUP t: 844.813.2949 www.peagroup.com

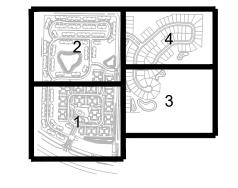






CAUTION!! THE LOCATIONS!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT WHITE LAKE HILL, LLC 31550 NORTHWESTERN HWY

FARMINGTON HILLS, MI 48334

PROJECT TITLE THE AVALON
HIGHLAND ROAD
WHITE LAKE TWP, MI

REVISIONS

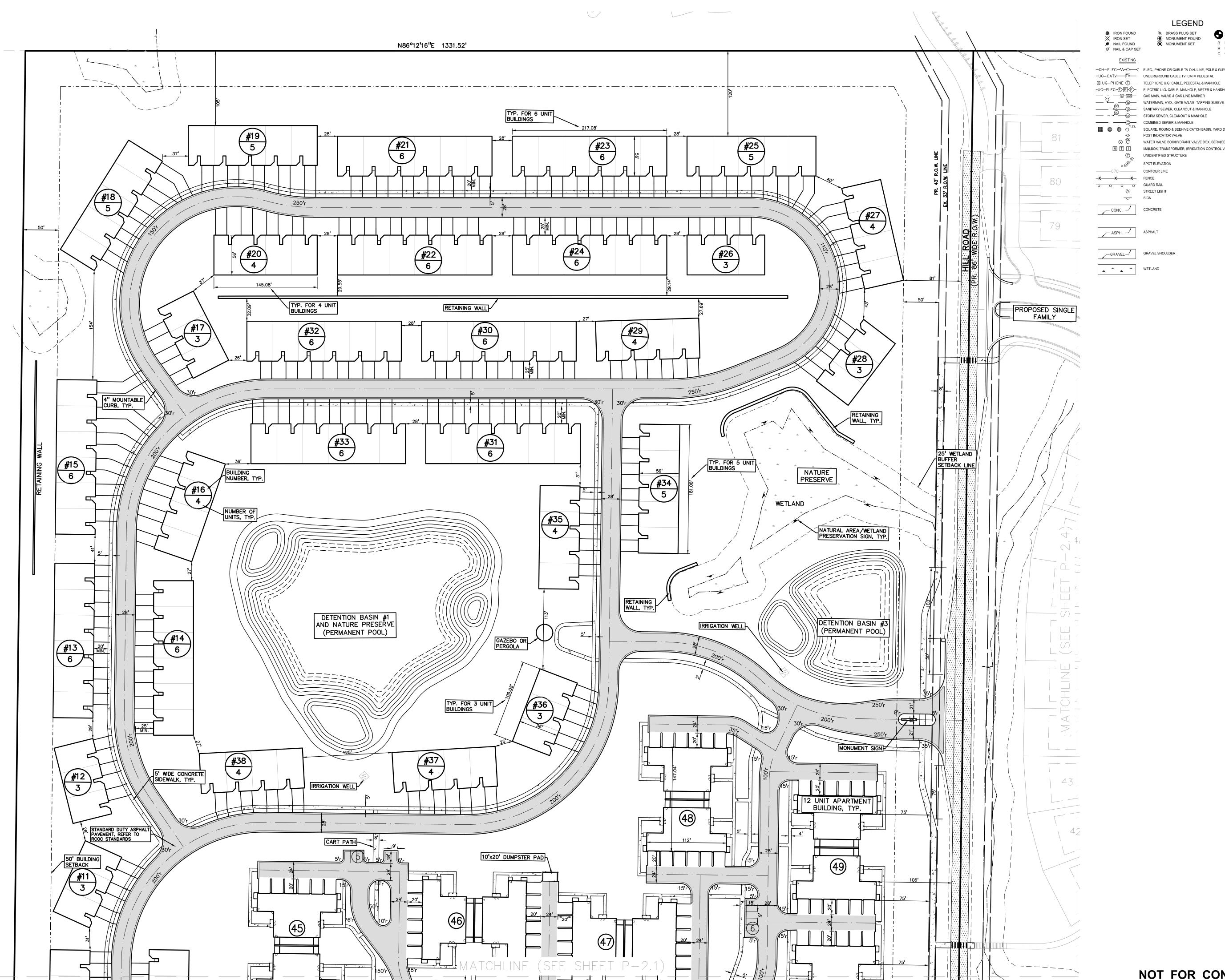
TOWNSHIP PSP REVIEW 2-25-2022 OWNER REVIEW 11-29-2021 ORIGINAL ISSUE DATE:

12-8-2021

REVISED SITE LAYOUT TOWNSHIP PSP REVIEW

DRAWING TITLE **PRELIMINARY** SITE PLAN - 1

PEA JOB NO. 2021-0084 KMB DES. DSK DRAWING NUMBER:



LEGEND

MONUMENT FOUND MONUMENT SET Ø NAIL & CAP SET

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WATERMAIN, HYD., GATE VALVE, TAPPING SLEEVE & VALVE

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S SANITARY SEWER, CLEANOUT & MANHOLE — - STORM SEWER, CLEANOUT & MANHOLE COMBINED SEWER & MANHOLE SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN POST INDICATOR VALVE WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF M T I MAILBOX, TRANSFORMER, IRRIGATION CONTROL VALVE

UNIDENTIFIED STRUCTURE SPOT ELEVATION \_\_\_\_\_670 \_\_\_\_\_ CONTOUR LINE **-X---X-** FENCE ☆ STREET LIGHT

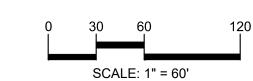
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ntr ntr ntr MELTAND

GROUP

t: 844.813.2949

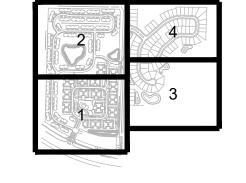
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CAUTION!! THE LOCATIONS!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT WHITE LAKE HILL, LLC 31550 NORTHWESTERN HWY FARMINGTON HILLS, MI 48334

PROJECT TITLE THE AVALON
HIGHLAND ROAD
WHITE LAKE TWP, MI

REVISIONS

REVISED SITE LAYOUT TOWNSHIP PSP REVIEW TOWNSHIP PSP REVIEW 2-25-2022 OWNER REVIEW

ORIGINAL ISSUE DATE: 12-8-2021

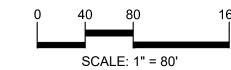
**PRELIMINARY** SITE PLAN - 2

PEA JOB NO. 2021-0084 DRAWING NUMBER:

NOT FOR CONSTRUCTION

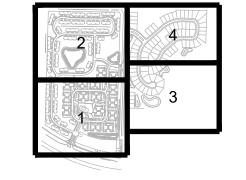








THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

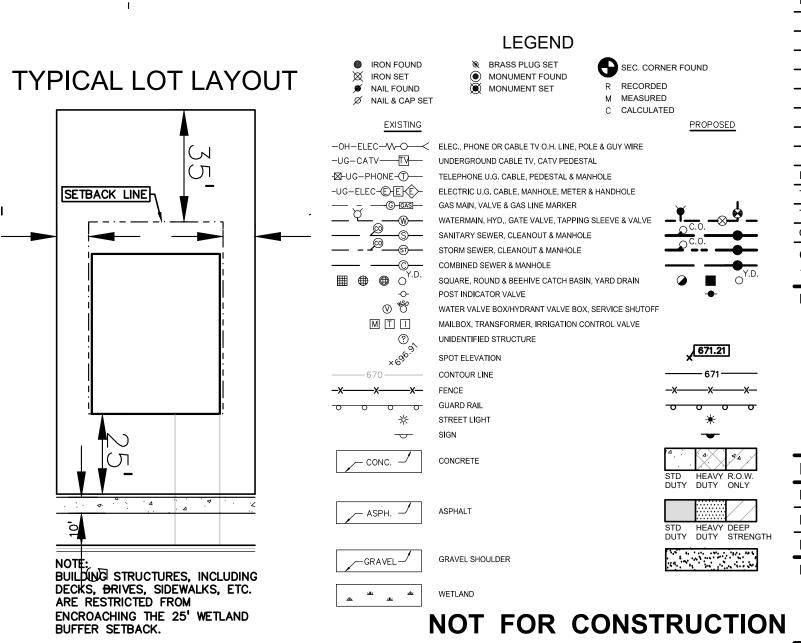


CLIENT

WHITE LAKE HILL, LLC 31550 NORTHWESTERN HWY FARMINGTON HILLS, MI 48334

PROJECT TITLE

THE AVALON
HIGHLAND ROAD
WHITE LAKE TWP, MI



N86°12'16"E 1331.52'

78.63'

56.42

45

\_12<del>2.03</del>'

150.00°

67.00**'** 

66.99'

95.00'

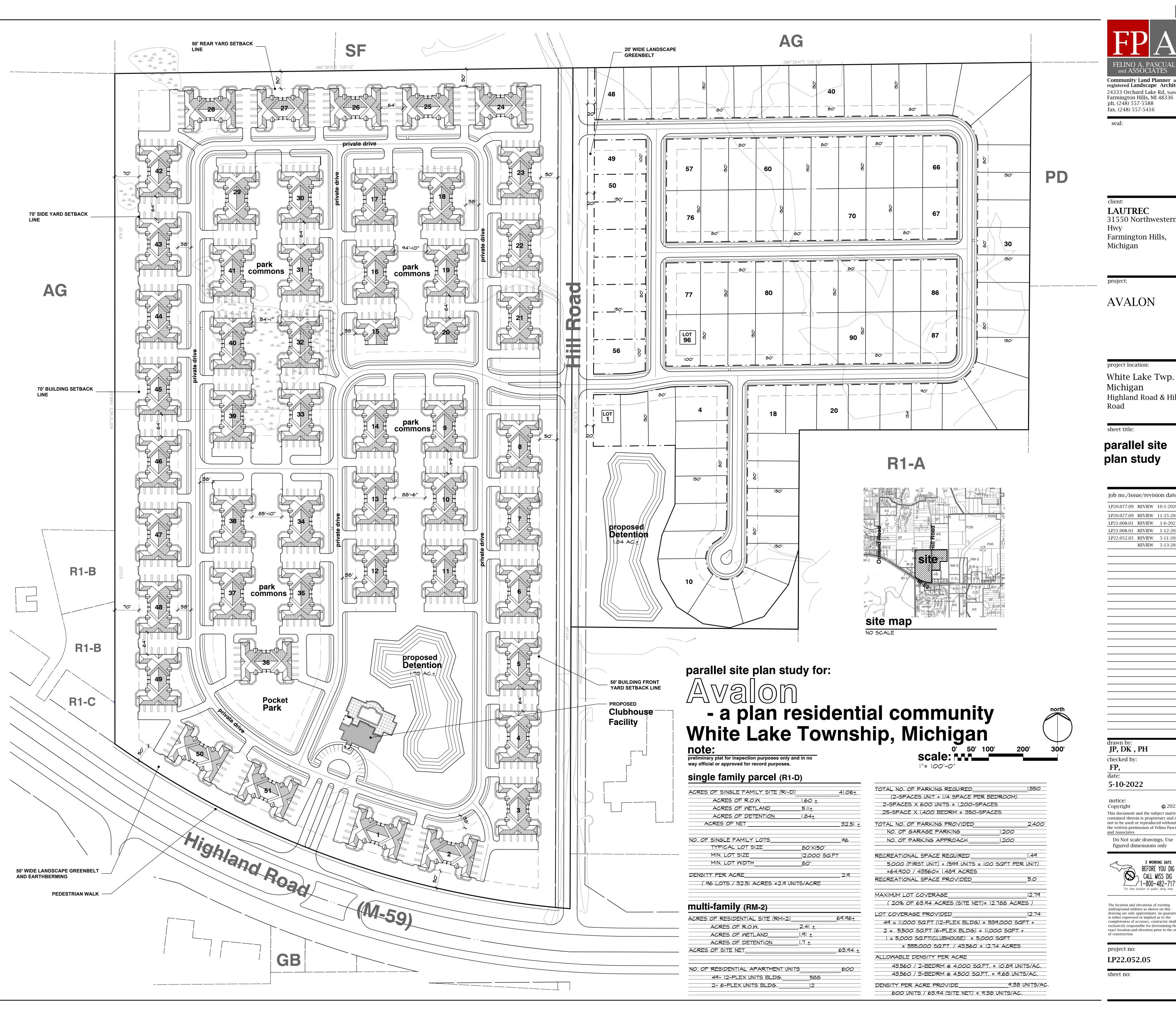
REVISIONS

REVISED SITE LAYOUT

TOWNSHIP PSP REVIEW 4-4-2022 TOWNSHIP PSP REVIEW 2-25-2022 OWNER REVIEW 11-29-2021 ORIGINAL ISSUE DATE: 12-8-2021

DRAWING TITLE **PRELIMINARY** SITE PLAN - 4

	PEA JOB NO.	2021-0084	
	P.M.	JC	
	DN.	KMB	
Ή	DES.	DSK	
	DRAWING NUMBER	R:	



FELINO A. PASCUAI and ASSOCIATES Community Land Planner and registered Landscape Architect

24333 Orchard Lake Rd, Suite G Farmington Hills, MI 48336

31550 Northwestern

Highland Road & Hill

# parallel site

job no./issue/revision date LP20.077.09 REVIEW 10-1-2020 LP21.008.01 REVIEW 1-12-202

figured dimensions only

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG 1-800-482-7171

The location and elevations of existing underground utilities as shown on this drawing are only approximate. no guarantee is either expressed or implied as to the completeness of accuracy. contractor shall be

#### WHITE LAKE HILL, LLC

#### dba

#### The Avalon

Please see below for the summary of changes in waivers and modifications.

#### **Summary of plan changes and improvements**

- Decreased multi-family lots from 406 to 393
- Decreased single-family lots from 87 to 81
- Increased setback to a minimum of 100' to the north property line and buildings adjacent
  northerly neighbor are setback to 120' on the multi-family portion. The majority of the
  area within the setback will be kept in its natural state
- The minimum lot square footage has been increased to **8040** square feet.
- No patios, structures, or decks will encroach on a storm sewer easement or within the wetland setbacks.
- Developer will incorporate EV charging stations with the multi-family portion of the development

#### **Director's Report**

Project Name: Taco Bell (Bogie Lake Road & Highland Road)

Description: Final site plan and PBD approval

Date on Agenda this packet pertains to: June 16<sup>th</sup>, 2022

□Public Hearing	$\square$ Special Land Use
⊠Initial Submittal	□Rezoning
☐Revised Plans	⊠Other: PBD
□ Preliminary Approval	
⊠Final Approval	

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Community Development Director					Based on comments from staff and consultants
DLZ	Engineering Consultant					See letter dated 06/2/2022
Justin Quagliata	Staff Planner					See letter dated 06/2/2022
Jason Hanifen	WLT Fire Marshal	$\boxtimes$				See letter dated 06/2/22
Lisa Hamameh	Township Attorney				$\boxtimes$	See letter dated 06/3/2022

June 2, 2022

Sean O' Neil, Director Community Development Department Charter Township of White Lake 7525 Highland Road White Lake, Michigan 48383

Taco Bell- Meijer Out Lot - Final Site Plan and Final Engineering Plan - 4th Review and Cross Access RE: Easement - 3rd Review

DLZ# 2145-7233-16

Dear Mr. O' Neil,

Our office has reviewed the above-mentioned revised plans and documents prepared by Kem-Tech with plans dated May 3, 2022. The plans were reviewed for conformance with the Township Engineering Design Standards. We offer the following comments for your consideration:

Preliminary Site Plan review letter dated October 15, 2021 comments:

Note that current responses to the below Preliminary Site Plan comments are in **bold**.

#### Stormwater Management

1. Please clarify if stormwater treatment will be accomplished within the existing Meijer detention system or if pre-treatment will be required prior to stormwater leaving the site. Comment remains, applicant provided sheet (03) Stormwater Plan Markup but does not clarify stormwater treatment. The plan provided references sedimentation forebay volumes, however the contours and piping configuration shown do not support the pond having this forebay. If this is the case, some sort of treatment will need to be provided at the subject property in the form of a mechanical separator sized to remove 80% minimum TSS. Comment outstanding, per White Lake DPS Director Aaron Potter's 5/17/2022 email; "If pre-treatment was not built into the Meijer system then this will need pretreatment addressed". The onsite Meijer development has stormwater pre-treatment in the form

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WLT- Taco Bell- Meijer Out Lot- FSP/FEP Review.04 and Cross Access Easement Review.03 June 2, 2022

Page 2 of 8

of a sediment forebay on the west side of the Meijer parking lot. The plans for the retention basin east of Bogie Lake Road do not show any form of pretreatment; Township engineering design standards require pretreatment of stormwater prior to release to a detention or retention basin therefore pretreatment will need to be provided at the site prior to release to the existing storm system.

#### **FSP/FEP Comments-**

Note that comments from our April 27, 2022 review letter are in *italics*. Responses to those items are in **bold**. New comments are in standard typeface.

#### General

- 1. Provide new parcel number of 12-20-276-036 (per WLT Board of Review) on plan. Comment partially addressed. The new parcel number is now shown on the survey sheet; however, the updated parcel number has not been updated on subsequent plan sheets, including sheets done by architect. Comment partially addressed. All sheets excepting L+A Architects Sheets A0.5 and A0.6 have been updated. Please have architect update these two sheets with the correct parcel ID number.
  - Comment addressed. All sheets have been updated.
- 2. Kem-Tec plan does not show outdoor dining/seating area; architectural site plans do. Comment addressed. A note regarding the outdoor dining/seating area has been added to Sheet C 3.0.
- 3. Kem-Tec plan and architectural site plans have differing building dimensions. Comment addressed. Building dimensions have been removed from KemTec Sheet C 3.0.
- 4. Kem-Tec plan measures dumpster enclosure dimensions to the outside edge of the structure; while architectural site plans label dimensions to outside edge of structure, the dimensions scale to the inside edge of the enclosure. Comment addressed. Trash enclosure dimensions have been removed from Sheet C 3.0.

#### **Grading/Paving**

- 1. Revise note on Sheet 3.0 (Site Layout and Paving Plan) from "<u>Pr</u>. Concrete sidewalk to remain and be repaired in kind" to" <u>Ex</u>. Sidewalk...." Comment addressed.
- 2. Kem-Tec plan shows parking stall striping per the zoning ordinance; the architectural site plans do not. Comment addressed. Architectural sheets have now been updated.



WLT- Taco Bell- Meijer Out Lot- FSP/FEP Review.04 and Cross Access Easement Review.03 June 2, 2022 Page 3 of 8

#### Watermain

1. Remove reference to Plymouth Township under 'Utility Notes' Item 10 on Sheet C5.0. Comment addressed. Note has been revised.

#### Stormwater Management

- 1. The applicant will need to provide information detailing whether this site falls under the Meijer Storm Water Management Facilities Easement, Maintenance Agreement and Lien document or if a new agreement will be required for this development. Likely a new agreement will be required and supporting exhibits will need to be provided. Comment outstanding. Per the design engineer's response dated March 1, 2022, the Storm Water Management, Maintenance Agreement, and Lien document was included with the current submittal. This agreement was not received by our office, nor was it listed as a part of the transmittal to the Township by L&A Architects, Inc. Please provide for review and comment. An executed Nonexclusive Storm Water Discharge Agreement dated February 17, 2022 between Meijer and Taco Bell has been received. We consider this comment satisfactorily addressed.
- 2. Show easements for proposed storm sewer on Sheet C5.0. Comment outstanding. The design engineer response letter refers this item to the Meijer Storm Water Agreement of which we did not receive. In addition, the easements for the proposed Taco Bell storm sewer shall be shown on the Utility Plan (Sheet C5.0). Comment partially addressed. The easements for the proposed storm sewer will need to be shown on the plan. Although the design engineer has stated in their response letter that Meijer will not require any additional storm maintenance easements within the Taco Bell Development site, storm easements are required for the proposed storm sewer on the Taco Bell site per White Lake Township requirements. Comment addressed. 10' wide easements are now shown on utility plan.
- 3. It appears that the existing as builted SW storm invert for Structure 39A (20073) is at 976.30 which is approximately 1' higher than the proposed N. invert of 975.36 meaning the CB must fill up an additional foot before it discharges to the existing storm sewer. Additionally, the Taco Bell plan and profile shows the SW invert proposed at 974.94. please clarify and revise as necessary. Comment addressed; design engineer has indicated that the As-Built plans for the Meijer site are incorrect and the actual invert of the existing 12" pipe is 974.94 as shown on the proposed plan and profile views of the plan set.



WLT- Taco Bell- Meijer Out Lot- FSP/FEP Review.04 and Cross Access Easement Review.03 June 2, 2022 Page 4 of 8

#### Landscape Plan – Sheet L1

1. Show watermain, sanitary sewer, and storm sewer on landscaping plan. Trees are not permitted over or within 10' of utilities or within drainage swales. Comment partially addressed. Watermain, sanitary sewer and storm sewer are now shown on the landscape plan; however, the Ginkgo trees proposed near the west side of the property are approximately 5' horizontally separated from the storm sewer and 4.5' from the sanitary sewer. To our knowledge, Gingko tree roots can spread at least 5' and the trees can grow to be quite large. A minimum of 10' horizontal separation is required between the trees and the underground utilities. In addition, the proposed Ginkgo tree just to the west of the sidewalk connection from M-59 to the Taco Bell is also too close to the storm sewer and will need to be relocated. Plantings are shown within the existing sanitary sewer lift station easement; does the easement language allow these plantings? If so, OCWRC may need to review the proposed landscape plan to ensure the plans will not interfere with station access, operation, and maintenance. Applicant indicates they cannot move the Maple trees along the drive thru area any further away from the storm sewer as they are tight on the site where to place landscaping. The issue of plantings within the lift station easement has not been addressed. Please submit plans to OCWRC for comment and approval. Applicant indicates that landscape plan has been submitted to OCWRC for review and approval. Please refer to email Comments and plan Markups from Kevin Schulz at OCWRC for required revisions (attached).

#### **PD Agreement**

1. A draft PD Agreement was included as part of this submittal; we have no comments with respect to engineering related items within the agreement. A revised PBD Agreement has been provided as part of this submittal. Comments have been provided under separate cover.

#### Cross Access Easement 2<sup>nd</sup> Review

We have completed our review of the following easement documents:

- Exhibit A- Parcel A- ID 12-20-276-036- Access Easement Sketch and Metes and Bounds Legal Description dated May 18, 2022.
- Exhibit B- Parcel B- ID 12-20-276-020- Access Easement Sketch and Metes and Bounds Legal Description dated May 18, 2022.
- Exhibit C- Unit 1 of Alpine Commercial Center Condominium- ID 12-20-276-023- Access Easement Sketch and Metes and Bounds Legal Description dated May 18, 2022.



WLT- Taco Bell- Meijer Out Lot- FSP/FEP Review.04 and Cross Access Easement Review.03 June 2, 2022 Page 5 of 8

#### We offer the following comments:

Note that comments from our April 27, 2022 review (Note that review on December 13, 2021 was only for McDonalds Cross Access Easement) are in *italics*. Responses to those comments are in **bold**. New comments are in standard typeface.

#### McDonalds Cross Access Easement Comments

- 1. Surveyor seal AND signature shall be provided on Sheet 1 of the document. Comment outstanding. All Exhibits shall be sealed and signed by a PS. Comment remains outstanding. The first page of each exhibit (A, B, and C) shall be signed and sealed by a PS.
- 2. The Access Easement and Burden Parcel point of commencements are from two different corners. This prevents the Access Easement from being overlaid onto the Burden Parcel without additional information. DLZ recommends writing all descriptions from the same point of commencement. Comment outstanding. This comment now applies to all Exhibits (A-C). Comment addressed. All easements (Exhibits A-C) now commence at the same section corner.
- 3. All calls along and to parcel lines should be called out in the descriptions with qualifying language. Comment addressed.
- 4. The access easement does not close by 0.1' feet which is minor but should be corrected since the recommendation would be for the Access Easement to be revised and commence at the same point as the Burden Parcel. Comment outstanding. Please reference Comment 2. Comment addressed. Per the design engineer, the access easement has been revised so it now closes.

#### Comments for All Three (3) Exhibits

- 5. Exhibit A, Parcel A- Parcel ID number shall be updated to 12-20-276-036. Comment addressed.
- 6. Exhibit A, Parcel A- The easement IS aligning with the proposed drive; however, the back of curb does not fall within the easement. See clip below (easement shows as purple). Comment addressed.
- 7. In all the access easement descriptions, it shall be specified which section they are commencing at. Currently the descriptions just reference 'commencing at the center of section.' Comment addressed.



WLT- Taco Bell- Meijer Out Lot- FSP/FEP Review.04 and Cross Access Easement Review.03 June 2, 2022 Page 6 of 8

 Exhibit B, Parcel B- While easement does close, it still starts at a different section corner not shown on the exhibit and therefore cannot be aligned properly to Exhibit A. This was mentioned previously.
 Section corner beginning point satisfied. However, the call that runs along the east line of Parcel B doesn't actually touch the line by 0.4'. See below sketch.



9. Exhibit C, Parcel C-Access easement does not align/abut to access easement in Exhibit B by .3741. See blown up sketch below. Comment addressed.



WLT- Taco Bell- Meijer Out Lot- FSP/FEP Review.04 and Cross Access Easement Review.03 June 2, 2022 Page 7 of 8

#### **Required Permits and Approvals**

The following permits and approvals will be required

- 1. Permit from the Road Commission for all work within the Bogie Lake Road Right-Of-Way.
- 2. Permit from MDOT for work within the M-59/Highland Road Right-of-Way.
- 3. SESC permit from OCWRC.
- 4. Sanitary Sewer Permit from OCWRC for work on and connection to the existing Sanitary Sewer system.
- 5. Executed Stormwater Maintenance Agreement, or modification to existing Meijer agreement adding these storm sewer improvements.
- 6. A cross access agreement will be required among Taco Bell, McDonalds, and Klark Koby (owner of parcel east of McDonalds) for use of the access drive off M-59. In addition, this agreement would need to include language regarding shared maintenance (amongst the three parties for use of the M-59 entrance). Per the draft PD Agreement and a response letter by the design architect, the developer is working with the two adjacent property owners to obtain a three party cross access easement agreement.
- 7. The Nonexclusive Access Easement at the rear of the property will need to be amended to reflect the new location of the proposed access aisle. The Cross Access Easement descriptions have been received as part of this submittal and are currently under review. Comments regarding the exhibits only have been provided as a part of this review letter. The design engineer notes "The nonexclusive access easement was an existing easement as shown on the survey- the proposed new access easement as shown on page 1 and 2 should replace the easement recorded in L. 41482, P.635."

#### Recommendation

A few key items remain outstanding regarding stormwater pretreatment, landscaping near the pump station, and easement revisions. DLZ recommends approval subject to the successful resolution of these outstanding items. <u>Please provide a detailed response letter addressing the above comments.</u>



WLT- Taco Bell- Meijer Out Lot- FSP/FEP Review.04 and Cross Access Easement Review.03 June 2, 2022 Page 8 of 8

Please contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E. Department Manager Victoria Loemker, P.E. Senior Engineer

Attachment: OCWRC Landscape Comments and Markup

Cc: Justin Quagliata, Community Development, via email

Hannah Micallef, Community Development, via email
Aaron Potter, DPS Director, White Lake Township, via email
Nick Spencer, Building Official, White Lake Township via email
John Holland, Fire Chief, White Lake Township, via email
Jason Hanifen, Fire Marshal, White Lake Township, via email

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#### Michael Leuffgen

From: Schulz, Kevin T <schulzk@oakgov.com>
Sent: Tuesday, May 17, 2022 2:31 PM

**To:** Davis, Mark; Warren, Karen L; Greg Ezzo

**Cc:** WRC Plan Review; Seymour, Lynne; Sandahl, M. Drew; Nigro, Gary; Aaron Potter;

Michael Leuffgen; Paul Modi; glautzenheiser@laarchitectsinc.com

Subject: RE: White Lake Township Taco Bell - Landscape at Sanitary Lift Station

**Attachments:** scan\_schulzk\_2022-05-17-13-37-40.pdf

**EXTERNAL:** Message origin is from an external network. Use proper judgment and caution when opening attachments, clicking links, or responding to this email.

#### All -

Please see attached scan and comments below regarding proposed landscape:

- 1. The juniper trees are 6' 8' spread when mature, center of trees need to be minimum of 10 feet from edge of concrete vault structures.
- 2. No plants between the wet well and valve vault, these will obstruct maintenance equipment.
- 3. Gingko trees are NOT desired near the lift station. The fruit drop in the fall presents a cleanup burden. The fruit will also cause odor complaints from people believing the smell is from the lift station.
- 4. Irrigation system must not wet the control cabinet or concrete vault tops. Wet surfaces are safety hazard for the electrical components and for maintenance personnel working over the wet well & valve vault chambers.

I don't object to plantings between the road and the station for camouflage purposes, but the plantings cannot be a hindrance to maintenance operations.

Regards,

#### **Kevin Schulz**

Supervisor II - Pump Maintenance Unit





4860 Pontiac Lake Road Waterford MI 48328 schulzk@oakgov.com O: 248-618-9690

From: Davis, Mark <davisma@oakgov.com>

**Sent:** 17 May, 2022 12:11

To: Warren, Karen L <warrenk@oakgov.com>; Schulz, Kevin T <schulzk@oakgov.com>; Greg Ezzo

<GEzzo@smengineers.us>

**Cc:** WRC Plan Review <wrcplanreview@oakgov.com>; Seymour, Lynne <seymourl@oakgov.com>; Sandahl, M. Drew <sandahlm@oakgov.com>; Nigro, Gary <nigrog@oakgov.com>; Aaron Potter <apotter@whitelaketwp.com>; Michael Leuffgen <mleuffgen@dlz.com>; Paul Modi <pmodi@smengineers.us>; glautzenheiser@laarchitectsinc.com

Subject: FW: White Lake Township Taco Bell - Landscape at Sanitary Lift Station

#### Karen/Kevin,

Please see request below to review & approve landscaping at White Lake Meijer PS, for a new Taco Bell site. See attachment.

Greg,
Does the Taco Bell site have sanitary pretreatment device(s) and a 4' diameter Monitoring Manhole proposed on the Service Line?



Thanks

Mark W. Davis

Item A.

Senior Engineering Systems Coordinator Oakland County Water Resources Commissioners Office 248-452-2172 (p) 248-858-1066 (f) 248-897-2748 (cell)

From: WRC Plan Review < wrcplanreview@oakgov.com >

**Sent:** Tuesday, May 17, 2022 10:21 AM **To:** Davis, Mark < davisma@oakgov.com>

Subject: FW: White Lake Township Taco Bell - Landscape at Sanitary Lift Station

Hey Mark,

Please see the email below. I would guess this would go to pump maintenance to look at since it's a lift station that they operate and landscaping is being proposed around it? Or, they could just include this sheet in the plan set. They did submit plans under 0147-2022 for the sanitary involvement, but this just appears to be a landscaping plan.

#### **Dan Butkus**

Engineering Technician, Plan Review & Permitting Unit



One Public Works Drive Waterford MI 48327 <u>butkusdf@oakgov.com</u>

O: 248-858-2089 M: 248-897-2744

From: Greg Ezzo < <u>GEzzo@smengineers.us</u>> Sent: Tuesday, May 17, 2022 10:14 AM

To: WRC Plan Review < wrcplanreview@oakgov.com>

Cc: Paul Modi <pmodi@smengineers.us>; Greg Lautzenheiser <glautzenheiser@laarchitectsinc.com>

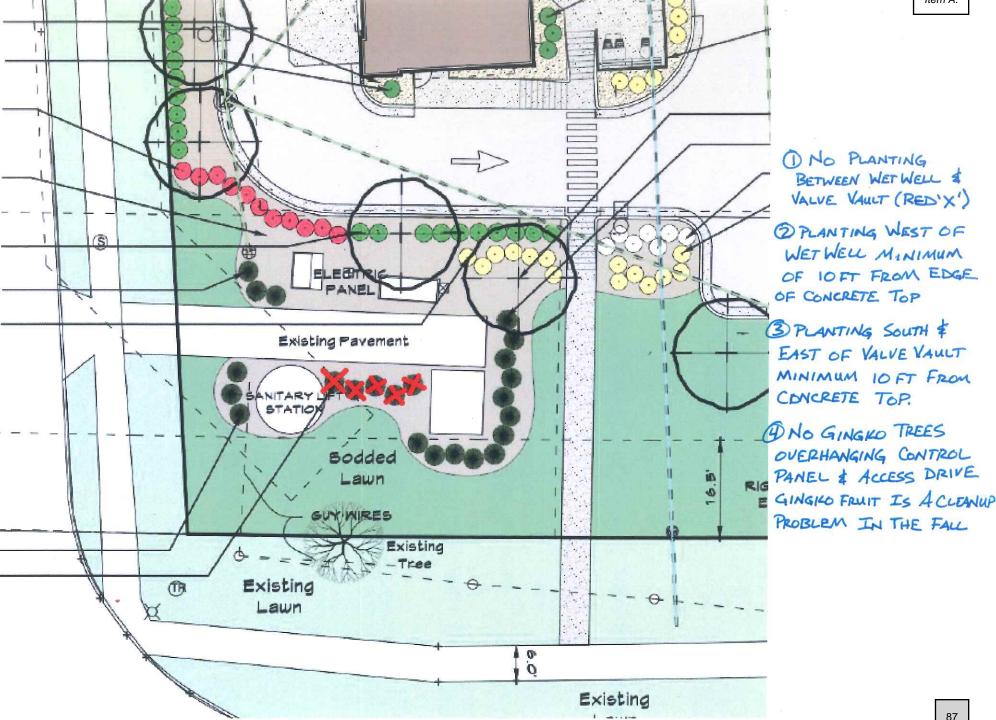
Subject: White Lake Township Taco Bell - Landscape at Sanitary Lift Station

**CAUTION:** This message is from a sender outside of the Oakland County organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

#### Morning,

We were told by the township to have the landscaping plan reviewed by the county since we are doing some planting near the lift station at the intersection of Bogie Lake Road and Highland Road. Do you know who we should submit this drawing to? We are already submitting for our sanitary and soil erosion, so not sure if it will be addressed in those reviews as well.





June 2, 2022

Sean O' Neil Community Development Department Charter Township of White Lake 7525 Highland Road White Lake, Michigan 48383

RE: Taco Bell- Meijer Outlot – PBD Review #2

DLZ# 2145-7233-16

Dear Mr. O' Neil,

We have completed our review of the above document for the above-mentioned project and offer the following comments:

Note that comments from our May 12, 2022 review are in italics. Responses to those comments are in bold. New comments are in standard typeface.

#### Comments

- 1. Article III, Section 3.1 shall include reference to the three required and executed Cross Access Easements. Comment outstanding. Design engineer notes that the owner is in discussion with the Township and neighboring properties to resolve the Cross Access Easement Agreement. Language with respect to this item will need to be included in the PDA document section as noted in our original comment above.
- 2. Comments from our Final Site Plan, Final Engineering Plan, and Cross Access Easement review in our letter dated April 27, 2022 shall be addressed. Once approved, the FSP is to be used as Exhibit B to this PBDA document once approved. Comment outstanding. Please reference our most recent review letter dated June 2, 2022.
- 3. Exhibit A (PBD Property Description) has not been attached to the PBD document. This exhibit will need to be reviewed by our office. Comment addressed.

WLT- Taco Bell Meijer Outlot- PBD Review – Review.02

June 2, 2022

Page 2 of 2

#### **Recommendation**

We do not recommend approval or acceptance of the document at this time. The above comments will be required to be addressed and the revised document submitted for our review.

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E. Department Manager

Victoria Loemker, P.E. Senior Engineer

Cc: Justin Quagliata, Community Development, *via email*Hannah Micallef, Community Development, *via email*Aaron Potter, DPS Director, White Lake Township, *via email* 

X:\Projects\2021\2145\723316 WLT Taco Bell Meij\Project Acceptance and Closeout\PBD Review.02\PBD Review.02.docx

Rik Kowall, Supervisor Anthony L. Noble, Clerk Mike Roman, Treasurer



Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

#### WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

June 2, 2022

L&A Architects, Inc. 441 S. Livernois, Suite 265 Rochester Hills, MI 48307

ATTN: Greg Lautzenheiser

**RE:** Taco Bell

Final Site Plan – Review #4

Planned Business Development Agreement – Review #5

Dear Mr. Lautzenheiser:

Per your request and by request of the Developer, this letter contains a list of final site plan (FSP) comments and planned business development (PBD) agreement comments:

#### **FSP**

- Symbol 1 (field brick veneer) and Symbol 5 (accent #2 brick veneer) are identified as the same color within the Exterior Finish Schedule on Sheet A4.0. Revise accordingly.
- Both the field brick veneer and accent #2 brick veneer are colors not supported by staff. The Planning Commission previously informed the Applicant the building materials and color scheme should, generally, be similar to the Taco Bell at 8100 Cooley Lake Road. At said location, the two brick veneer colors are "Almond" and "Pewter." Aesthetically, both of the proposed golden brick veneer colors are not compatible with or complimentary to the architectural character of surrounding buildings in the area. Staff recommends rejection of both of the proposed golden brick veneer colors.
- In the Applicant's response to the last FSP review, it was stated window coverage (percentage) is indicated as "storefront area" on Sheets A4.0 and A4.1. The words "storefront area" shall be replaced with the words "window coverage" on the aforementioned exterior elevations.
- The Westgate floodlights (Fixture H1) shall not be installed and shall be removed from the photometric plan (Sheet A0.7).
- For the LSI Industries, Inc. luminaries, the lumens listed in the Fixture Schedule on the photometric plan (Sheet A0.7) do not match the lumens from the lighting fixture specification sheets. Revise the Fixture Schedule to be consistent with the catalog details.

Taco Bell
Final Site Plan – Review #4
Planned Business Development Agreement – Review #5
Page 2

- For the LSI Industries, Inc. luminaries, the submitted catalog details indicate the fixture finish is to be selected by the architect. Light fixture selections and colors are subject to review and approval by the Township. The fixture finish shall be Bronze. Revise accordingly.
- For the Lithonia Lighting Fixture E2, the submitted catalog details indicate the fixture finish is to be selected by the architect. Light fixture selections and colors are subject to review and approval by the Township. The fixture finish shall be Dark Bronze or Black. Revise accordingly.
- Separate catalog details shall be provided for the Lithonia Lighting Fixture E2E.
- The light pole detail on Sheet A0.7 shall be revised. As stated in previous correspondence, the light pole detail shall indicate the total height including the base, pole, and light fixture (measured to the top of the fixture or pole, whichever is greater). In the Applicant's response to the last FSP review, it was stated the pole height was indicated on the detail. Contrary to said statement, the pole height was not indicated on the detail. Furthermore, the total height indicated (16 feet) is incorrect. The Fixture Schedule on the photometric plan and a note added to the aluminum square pole specification sheet by the Applicant indicated the poles would be 13.5 feet in height. On the Pole Selection Chart on the specification sheet, there is not an option for a 13.5-foot-tall pole. Additionally, the fixtures on the pole-mounted luminaires would be 7.6-inches in height from the point where the fixture meets the pole to the sky-side of the fixture.
- The trash enclosure detail (Sheet G2.0) shall be revised to indicate which brick veneer (multiple proposed) would cover the exterior face of the dumpster/trash storage enclosure. Staff recommends utilizing accent #1 brick veneer to cover the exterior face of the dumpster/trash storage enclosure.
- The Applicant shall clarify the purpose of the 200-gallon outdoor grease container within the dumpster/trash storage enclosure. DLZ informed staff such grease containers are typically used for disposal of fryer grease and get emptied by a waste collection company when full. Per the Engineering Design Standards and sanitary sewers ordinance, all leads to commercial or institutional food service operations shall have a 1,000-gallon grease interceptor (proposed see Sheet C5.0). Two, 96-gallon compost bins are also proposed within the dumpster/trash storage enclosure. Staff is concerned the outdoor grease container and compost bins could become a nuisance if not maintained. Also, a spill could occur during transfer of fats, oils, and grease (FOG) from inside the building to the outdoor storage container. If not necessary for the operation of the restaurant, consideration should be given to eliminating said bins and container; this would allow the dumpster/trash storage enclosure to be reduced in size.
  - The Applicant shall consult the Director of Public Services on all matters related to FOG. Additionally, the Applicant shall be advised the sanitary sewers ordinance states animal or vegetable grease stored by businesses outside of their buildings must be kept in a self-contained, sealed, leak-proof grease container which is approved by the Township. The container and the area in and around the container must be kept clean, and the name and address of the business must be clearly identified on the outside of the container. Any person or business found disposing of FOG in the Township sewer system and/or not properly maintaining their grease container(s) shall be guilty of a misdemeanor and shall be responsible for the costs incurred by the Township in cleaning-up and disposing of the grease.
- Sign permit applications shall be submitted prior to installation of all proposed signs, including the drive-thru menu board. Signs permits are subject to approval by the Community Development Director or his designee.

Taco Bell
Final Site Plan – Review #4
Planned Business Development Agreement – Review #5
Page 3

#### PBD Agreement

- Item 2.2, Page 3: The word "commit" shall be replaced with the word "contribute" in the last sentence.
- Item 2.2, Page 3: The words "for public benefit on the Property" shall be added following the word "improvement" in the last sentence.
- As stated in previous correspondence, Exhibit B must be the PBD Plan. Currently, Exhibit B is a "Description of Site Plan and Related Plans and Specifications."
- As stated in previous correspondence, Page 7 of the Agreement shall be revised so the document when recorded is "Returned to" the Township.
  - Recording of the original executed Agreement shall be completed by the Township and all recording fees shall be paid by the Developer.

#### Other Comments

- All comments of the Township Engineering Consultant shall be addressed.
- All comments of the Township Attorney shall be addressed.
- All site plan review submittals, following the initial Preliminary Site Plan review, shall include a response letter detailing the changes made to the plan since the previous submittal.

Based on the items identified in this letter, the FSP and PBD Agreement are eligible for consideration by the Planning Commission. Staff recommends approval of both the FSP and PBD Agreement, subject to all outstanding items being addressed by revising and resubmitting the necessary documents/plans for administrative backcheck/review prior to the scheduling of a pre-construction meeting for the project. If you have any questions regarding this matter, please contact me at (248) 698-3300 ext. 177 or by email at justing@whitelaketwp.com.

Sincerely,

Justin Quagliata Staff Planner

Justin Quagliata

cc: Sean O'Neil, AICP, Community Development Director

Hannah Micallef, Community Development Aaron Potter, Director of Public Services

Michael Leuffgen, DLZ

Victoria Loemker, DLZ

Lisa Hamameh, Township Attorney

Louis Dortch, Dortch Enterprises

Bob Grabowski, Dortch Enterprises

George F. Rizik II, Rizik & Rizik

#### Fire Department Charter Township of White Lake



### Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 06/02/2022

Project: Taco Bell (Meijer Outlet)

File #: Not shown

Date on Plans: 5/03/2022

The Fire Department has the following comments with regards to the 5<sup>th</sup> review of preliminary site plans for the project known as Taco Bell.

1. This Plans as submitted has satisfied the requirements of the Fire Department.

Jason Hanifen Fire Marshal Charter Township of White Lake (248)698-3993 jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.

LISA J. HAMAMEH Ihamameh@rsjalaw.com

27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331
P 248.489.4100 | F 248.489.1726
rsialaw.com



June 3, 2022

via email: soneil@whitelaketwp.com Sean O'Neil Community Development Director White Lake Township 7525 Highland Road White Lake, Michigan 48383

RE: 5th Review of Planned Development Agreement

**Taco Bell - Meijer Outlot** 

Dear Sean:

You asked that we review the proposed Planned Business Development Agreement for Taco Bell – Meijer Outlot ("Agreement") submitted by Great Lakes Taco, LLC ("Developer"), received by transmittal dated May 18, 2022. We defer to the Township Staff Planner and Engineer reviews of the Exhibits. We offer the following general comments regarding the Agreement:

- As stated in previous correspondence, the Township should confirm that all of the conditions
  of approval are listed in Agreement, including the requirement of cross access easements,
  utility easements, stormwater easements, bills of sale, if applicable, and attachment of any
  review letters of staff and consultants that approval is conditioned on.
- 2. As stated in previous correspondence, the Township should consider whether painting the lift station should be permitted as provided in Paragraph 2.2. Additionally, while Developer revised the language regarding the \$5,000 contribution, it does not clarify the purpose of the contribution (e.g. is the Developer required to install a sidewalk improvement, for which the contribution is intended). The Developer should follow-up with staff regarding the purpose of the contribution and which fund it is intended for (Parks or Pathway).
- 3. As stated in correspondence by the Staff Planner, the PBD Plan must be attached as Exhibit B, as provided in Paragraph 1.4.
- 4. In light of the removal of former Paragraph 5.13 captioned "Force Majeure," reference to that section in Paragraph 5.6 should be removed.

Please let us know if you have any questions or would like to discuss this matter further.

Very truly yours,

ROSATI SCHULTZ JOPPJCH

& AMTSBUECHLER PC

Lisa 1 Hamameh

cc: Mike Leuffgen

# Great Lakes Taco, LLC Construction Plans

6305 Highland Road, White Lake Twp., MI

# APPLICANT

DORTCH ENTERPRISES, LLC 8467 RETREAT DR. GRAND BLANC, MI 48439 PHONE:

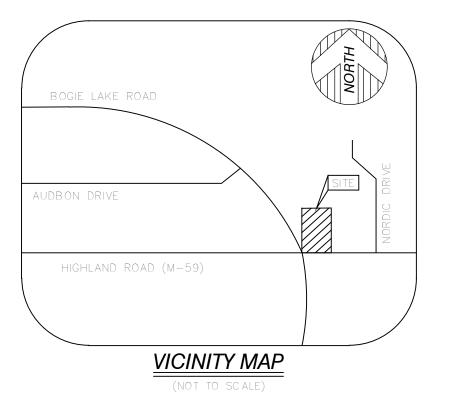
(810)-771-4500

# **LEGEND** LIGHTPOST/LAMP POST SANITARY MANHOLE FLAGPOLE SET X-CUT FOUND MONUMENT (AS NOTE GROUND ELEVATION UTILITY POLE GAS MANHOLE GAS VALVE LIGHT POLE WITH STREET LAMP TELEPHONE MANHOLE TRAFFIC SIGNAL STORM DRAIN MANHOLE FIRE HYDRANT FIRE DEPARTMENT CONNECTION WATER VALVE SINGLE POST SIGN DECIDUOUS TREE (AS NOTED) CONIFEROUS TREE (AS NOTED) SQUARE CATCH BASIN SANITARY LINE PROPOSED CATCH BASIN PROPOSED MANHOLE PROPOSED FIRE HYDRANT PROPOSED WATER VALVE PROPOSED SANITARY LINE —— NA2 —— NA2 —— PROPOSED STORM WATER LINE PROPOSED WATER LINE

# ARCHITECT

L + A ARCHITECTS INC. 441 S. LIVERNOIS ROAD, SUITE 265 ROCHESTER HILLS, MI 48307

PHONE: (248)-524-4700



# DRAWING INDEX

C1.0	COVER SHEET
1	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE LAYOUT & PAVING PLAN
C3.1	FIRE TRUCK ACCESS PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	PROFILE PLAN
C7.0	SOIL EROSION & SEDIMENTATION CONTROL PLA
C8.0	SITE DETAILS

WHITE LAKE TOWNSHIP SANITARY SEWER STANDARD DETAILS WHITE LAKE TOWNSHIP STORM SEWER STANDARD DETAILS WHITE LAKE TOWNSHIP WATER MAIN STANDARD DETAILS

OAKLAND COUNTY SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

# CIVIL ENGINEER

KEM-TEC & ASSOCIATES 22556 GRATIOT AVENUE EASTPOINTE, MI 48021

CONTACT: GREG EZZO PHONE: (810)-712-8849

## PARCEL AREA

FLOOD NOTE

SUBJECT PARCEL DOES NOT LIE

WITHIN A FLOOD PLAIN

## SITE BENCHMARKS

TURN ARROW ON HYDRANT, FIRST HYDRANT ALONG WEST SIDE OF BOGIE LAKE ROAD NORTH OF HIGHLAND ROAD.

ELEVATION = 982.44' (NAVD 88)

TURN ARROW ON HYDRANT, FIRST HYDRANT ALONG NORTH SIDE OF HIGHLAND ROAD EAST OF BOGIE LAKE ROAD.

ELEVATION = 985.56' (NAVD 88)

## PROPERTY DESCRIPTION

OF MICHIGAN IS DESCRIBED AS FOLLOWS: A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET: THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 56.37.58 FFFT CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS FAST 118 86 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET: THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.





PROFESSIONAL ENGINEERING SURVEYING & ENVIRONMENT SERVICES

A GROUP OF COMPANIES
SERVICES
SERVICES
Ann Arbor Grand Blanc
(734) 994.0888 (888) 694.0001

Item A.

COVER SHEET
FOR: GREAT LAKES TACO, LLC.

ENGINEERING REWEW
ENGINEERING REWEW
SITE PLAN APPROVAL
SPA RESUBMISSION
ENGINEERING SUBMISSION
SPA SUBMISSION

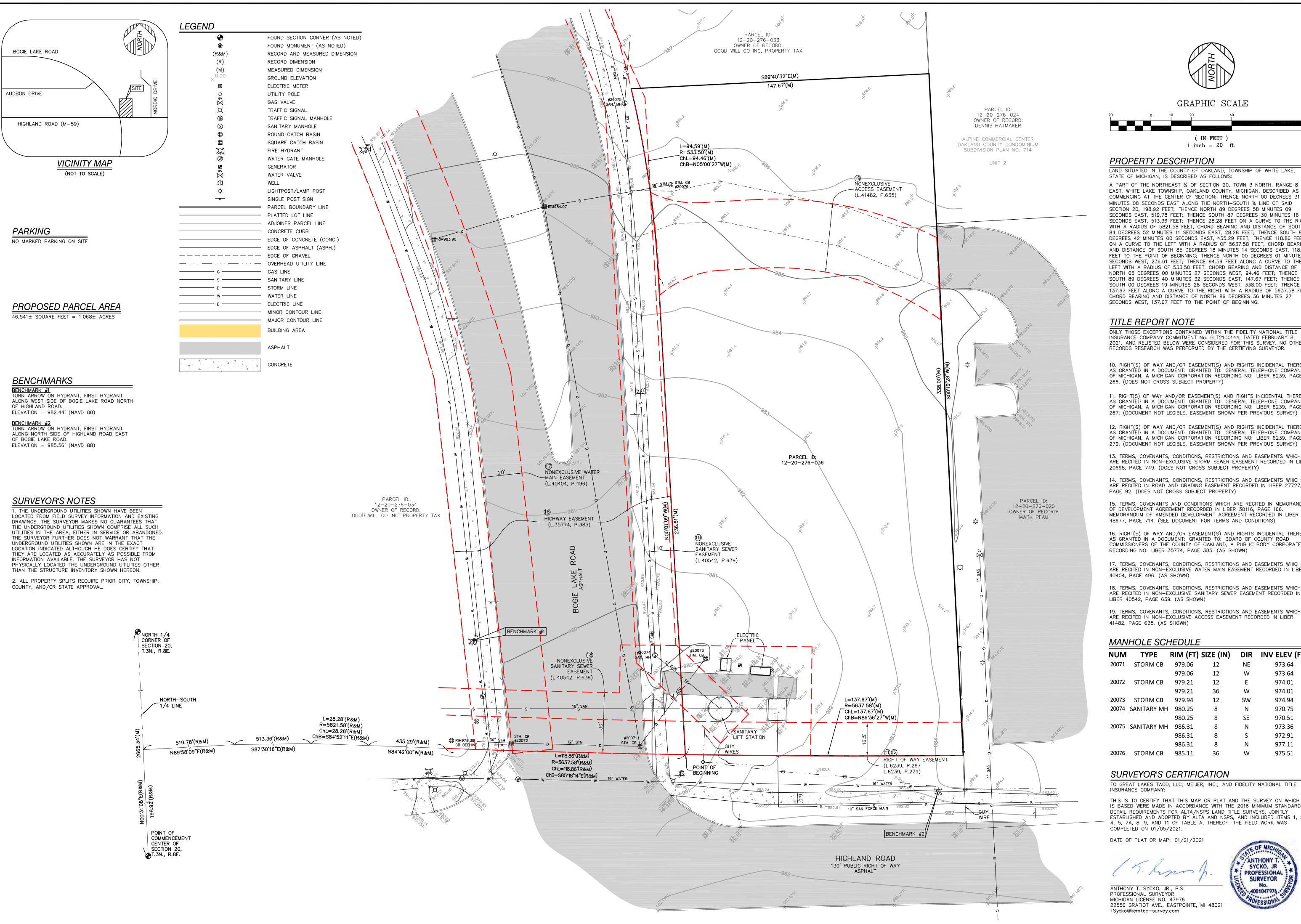
02.28.2022 GAE
02.01.2022 GAE
11.01.2021 GAE
08.02.2021 GAE

GAE 05/03/2022

MAY 03, 2022

SALE:

C1.0



S E

ENTE KE.

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE,

A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27

ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT No. GLT2100144, DATED FEBRUARY 8, 2021, AND RELISTED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.

10. RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: GENERAL TELEPHONE COMPANY OF MICHIGAN, A MICHIGAN CORPORATION RECORDING NO: LIBER 6239, PAGE

11. RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: GENERAL TELEPHONE COMPANY OF MICHIGAN, A MICHIGAN CORPORATION RECORDING NO: LIBER 6239, PAGE

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13. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE STORM SEWER EASEMENT RECORDED IN LIBER 20698, PAGE 749. (DOES NOT CROSS SUBJECT PROPERTY)

14. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN ROAD AND GRADING EASEMENT RECORDED IN LIBER 27727,

15. TERMS, COVENANTS AND CONDITIONS WHICH ARE RECITED IN MEMORANDUM OF DEVELOPMENT AGREEMENT RECORDED IN LIBER 30116, PAGE 166. MEMORANDUM OF AMENDED DEVELOPMENT AGREEMENT RECORDED IN LIBER

48677, PAGE 714. (SEE DOCUMENT FOR TERMS AND CONDITIONS) 16. RIGHT(S) OF WAY AND/OR EASEMENT(S) AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: BOARD OF COUNTY ROAD

COMMISSIONERS OF THE COUNTY OF OAKLAND, A PUBLIC BODY CORPORATE RECORDING NO: LIBER 35774, PAGE 385. (AS SHOWN)

17. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE WATER MAIN EASEMENT RECORDED IN LIBER

18. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE SANITARY SEWER EASEMENT RECORDED IN

19. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS WHICH ARE RECITED IN NON-EXCLUSIVE ACCESS EASEMENT RECORDED IN LIBER

NUM	TYPE	RIM (FT)	SIZE (IN)	DIR	INV ELEV (FT)
20071	STORM CB	979.06	12	NE	973.64
		979.06	12	W	973.64
20072	STORM CB	979.21	12	Ε	974.01
		979.21	36	W	974.01
20073	STORM CB	979.94	12	SW	974.94
20074	SANITARY MH	980.25	8	Ν	970.75
		980.25	8	SE	970.51
20075	SANITARY MH	986.31	8	Ν	973.36
		986.31	8	S	972.91
		986.31	8	Ν	977.11
20076	STORM CB	985.11	36	W	975.51

## SURVEYOR'S CERTIFICATION

TO GREAT LAKES TACO, LLC; MEIJER, INC.; AND FIDELITY NATIONAL TITLE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDED ITEMS 1, 2, 4, 5, 7A, 8, 9, AND 11 OF TABLE A, THEREOF. THE FIELD WORK WAS





JDM MRJ ATS CMC CMC

1 OF 1 SHEETS\_



DEMOLITION PLAN

C2.0



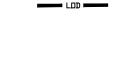
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- 1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
- 2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
- 3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
- 4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR
- 5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES CONCRETE SIDEWALKS, BRICK AND CURBED AREAS, ASPHALT, TRESS, ETC.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
- 7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
- 8. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT
- 9. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER,
- 10. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE WHITE LAKE TOWNSHIP ENGINEER AND /OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 11.ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED/DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY KEM-TEC IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN
- 12. THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD, NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

# **DEMOLITION LEGEND**

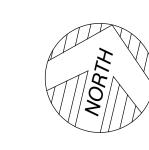
CONCRETE PAVEMENT REMOVAL

LIMITS OF DISTURBANCE

PROPERTY LINE







**DEMOLITION PLAN** SCALE: 1"= 20'

ROCCO DATTILO

ENGINEER

- EX. CONCRETE SIDEWALK TO BE REMOVED — ALL EXISTING FEATURES WITHIN THE — LIMIT OF DISTURBANCE SHALL REMAIN UNLESS OTHERWISE NOTED PARCEL ID: 12-20-276-036 OWNER OF RECORD: GREAT LAKES TACO LLC, PARCEL ID: 12-20-276-034 OWNER OF RECORD: PARCEL ID: 12-20-276-020 OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX MARK PFAU L=137.67'(M) R=5637.58'(M) ChL=137.67'(M) 435.29'(R&M) L=118.86'(R&M) R=5637.58'(R&M) ChL=118.86'(R&M) ChB=S85°18'14"E(R&M)

12-20-2/6-033 OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

S89°40'32"E(M)

EX. GRAVEL TO BE REMOVED.

BENCHMARK #2/

HIGHLAND ROAD 130' PUBLIC RIGHT OF WAY ASPHALT PR. LIMIT OF

DISTURBANCE (1.06 AC)

PARCEL ID:

12-20-276-024

OWNER OF RECORD: DENNIS HATMAKER

LIMIT OF EX. CONCRETE

CONCRETE CURB TO BE REMOVED.

LIMIT OF EX. CONCRETE -SIDEWALK TO BE SAWCUT

- LIMIT OF EX. CONCRETE

SIDEWALK TO BE SAWCUT

EX. CONCRETE SIDEWALK

ChL = 94.46'(M)

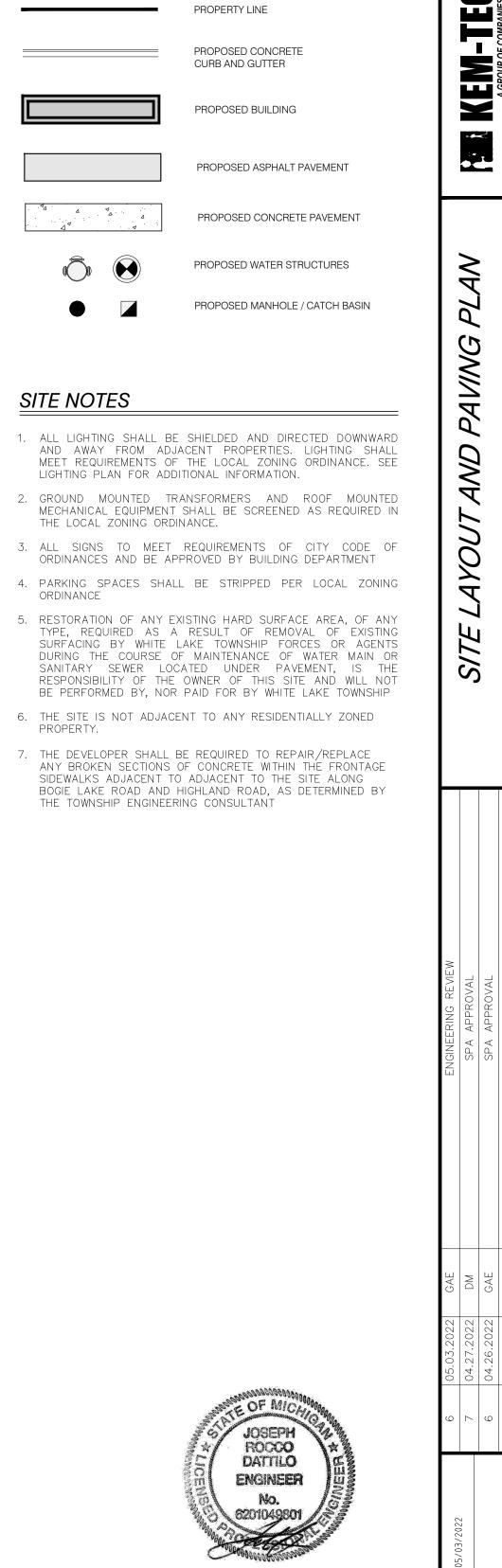
- LIMIT OF EX. CONCRETÉ CURB TO BE SAWCUT

ChB=N05°00'27"W(M)

TO BE REMOVED



C3.0



SITE LEGEND

SITE LAYOUT AND PAVING PLAN

SCALE: 1"= 20'

L=137.67'(M) R=5637.58'(M) ChB=N86°36'27"W(M)

12-20-276-033 OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

9.0' PR. DIRECTIONAL

ARROW (TYP.)

PARCEL ID:

12-20-276-03

OWNER OF RECORDY GREAT LAKES TACO PROPERTY TA

PR. ADA RAMP (TYP.)

POINT OF

L=94.59'(M)

ChB=N05°00'27"W(M)

#thL=94.46'(M)

S89°40'32"E(M)

DUTY ASPHALT

HEIGHT CLEARANCE BAR

PR. TRASH ENCLOSURE (REFER TO ARCHITECTURAL/

PR. ADA RAMP

- PR. INTEGRAL

- PR. CONCRETE

SIDEWALK (TYP.)

— PR. ADA RAMP (TYP.)

PARKING SIGN - PR. OUTDOOR DINING AREA. - PR. ADA RAMP (TYP.)

PR. PEDESTRIAN STRIPED CROSSWALK

PR. CONCRETE -CURB AND GUTTER

- PR. VALVE (TYP.)

BENCHMARK #2

CURB AND WALK

(REPARCHITECTURAL PLAN)

PARCEL ID: 12-20-276-024

OWNER OF RECORD: DENNIS HATMAKER

LIMIT OF PR. CONCRETE

**CURB AND GUTTER** 

LIMIT OF PR. CONCRETE

CURB AND GUTTER

PR. LIGHT POLE (TYP.)

PR. DUAL STRIPING FOR PARKING AS

SHOWN ON DETAIL SHEET C8.0. (TYP.)

PARCEL ID: 12-20-276-020 OWNER OF RECORD:

MARK PFAU

\_\_ LIMIT OF PR. SIDEWALK

LIMIT OF PR. CONCRETE —

**CURB AND GUTTER** 

TRANSITION. CONTRACTOR TO

PROVIDE FLUSH TRANSITION.

PR. CONCRETE SIDEWALK THROUGH -

CONCRETE DRIVEWAY THICKNESS.

DRIVE ACCESS APPROACH. SHALL MATCH

PR. CONCRETE DRIVE -

ACCESS APPROACH

PR. ADA RAMP —

LIMIT OF PR. CONCRETE -

CURB AND GUTTER

(REF ARCHITECTURAL PLAN)

PR. CATCH BASIN (TYP.) —

LIMIT OF PR. -

PR. MENU AND ORDER BOARD AND (REFER TO ARCHITECTURAL PLANS)

PR. TRANSFORMER -

FROM SANITARY

CONNECTION.

PR. CONCRETE SIDEWALK

EX. CONCRETE SIDEWALK TO REMAIN ----

L=118.86'(R&M) R=5637.58'(R&M)

ChL=118.86'(R&M) ChB=S85°18'14"E(R&M)

PR. CONCRETE PAVEMENT -

PR. BYPASS LANE -

#20071 STM. CB

AND BE REPAIRED AS REQUIRED.

PARCEL ID: 12-20-276-034

OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

> 435.29'(R&M) N84°42′00"W(R&M)

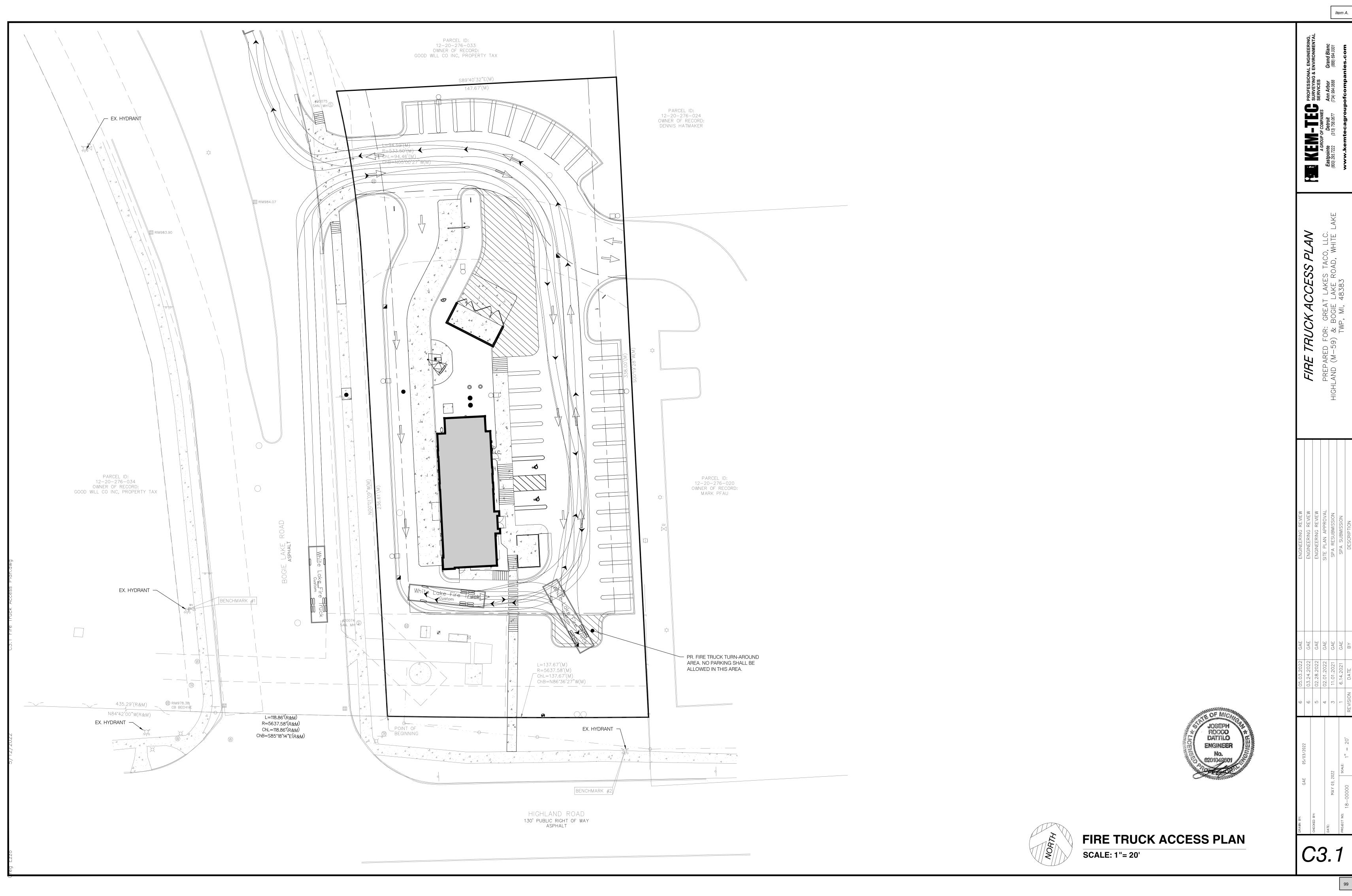
PR. DRIVE THRU

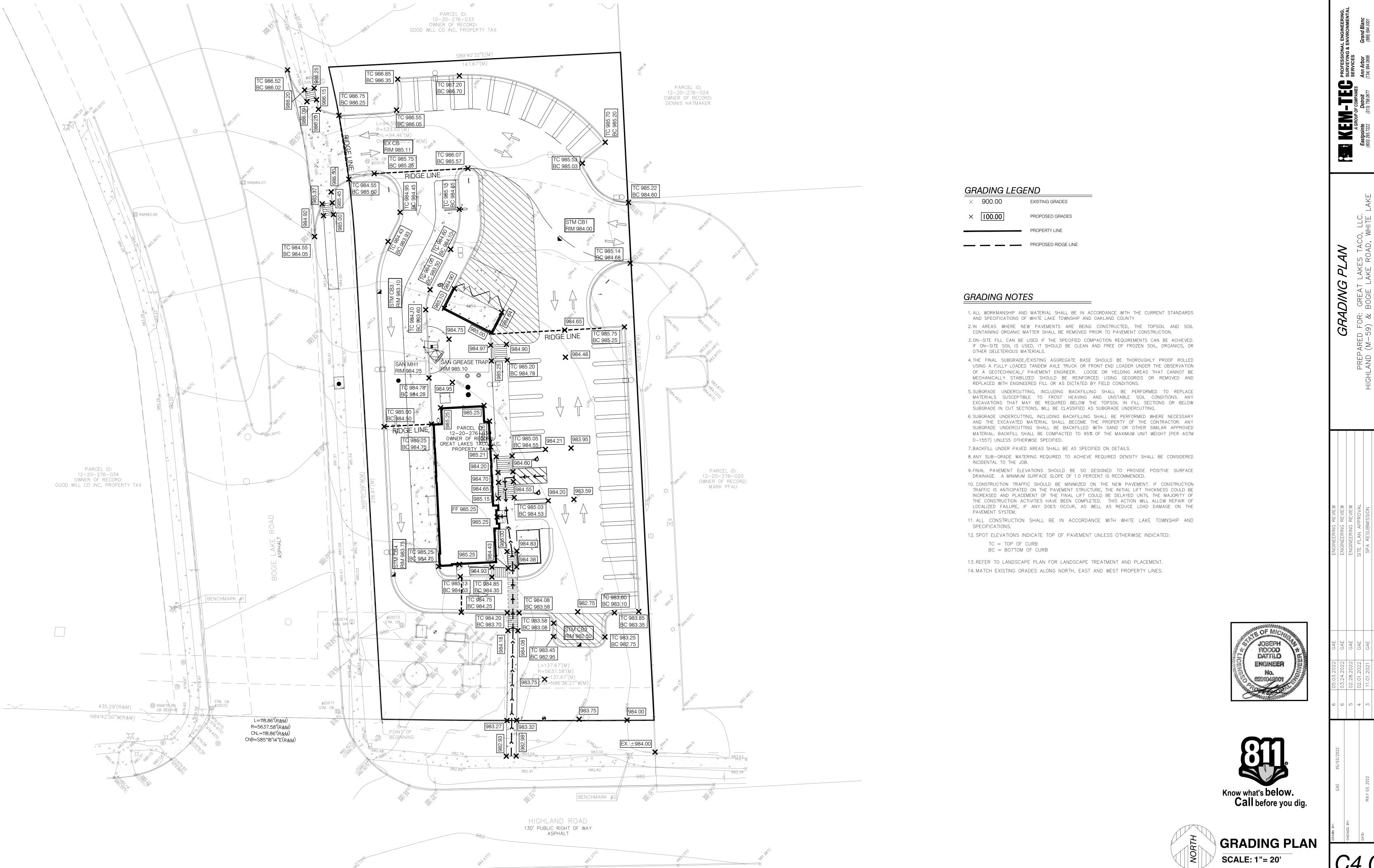
MENU BOARD

PR. CONCRETE / ASPHALT PAVEMENT

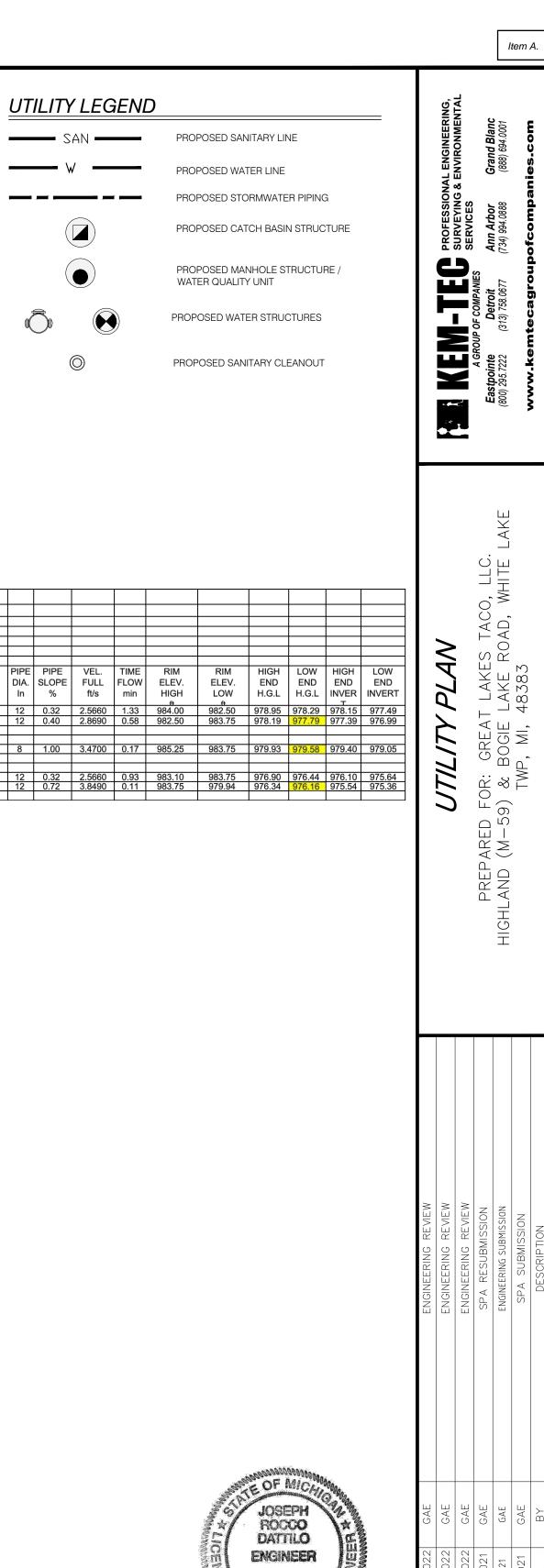


- PR. SIDEWALK





Item A.



## **UTILITY NOTES**

PARCEL ID:

12-20-276-024 OWNER OF RECORD: DENNIS HATMAKER

12-20-276-020

OWNER OF RECORD:

MARK PFAU

12-20-276-033 OWNER OF RECORD:

GOOD WILL CO INC, PROPERTY TAX

RVM=984.00 IN<del>V 12"</del> S∓978.15

– PR. 90° BEND (2 TYP.)

- PR. 10' WIDE

RIM=982.50 INV 12" N=977.49 INV 12" NW=977.39

BENCHMARK #2

HIGHLAND ROAD

130' PUBLIC RIGHT OF WAY

ASPHALT

► EX. HYDRANT

STORM EASEMENT.

- PR. CLEANOUT RIM = 985.00INV 6" S/W/E =979.03

> 4 LF 6" SCH 40 PVC @1.00%

> > — 6 LF 6" SCH 40 PVC @1.00% PR. CLEANOUT

- 16 LF 6" SCH 40<sub>1</sub> PVC @1.00%

\_\_\_ 4 LF 6" SCH 40

12-20-盆径03 OWNER OF\_RECOR

GREAT LAKE TACO

- 26 LF 12" RCP CL IV @0.72%

EX CB 20073

RIM=979.94

NV 12" N=975.36

INV 12" SW=974.94

PR. 1.5" CONNECTION VIA. CURB STOP —

TO EX. WATER MAIN IN STOP BOX

35 LF 8" SCH 40 PVC @1.00%

L=94.59'(M)

R=533.50'(M)ChL = 94.46'(M)ChB=N05°00'27"W(M)

PR. 1,000 GAL GREASE TRAP

PR. CONNECTION TO EX. INLET39A OF STORMWATER SYSTEM FOR MEIJER DEVELOPMENT THAT ALREADY

ACCOUNTS FOR THE SITES STORMWATER STORAGE A\$ DA42 AT 1.17 ACRES AND RUNOFF COEFFICIENT AT 0.75

(REFER TO STORM DISTRICT MAP SHEET C306 OF THE

L=118.86'(R&M) R=5637.58'(R&M) ChL=118.86'(R&M) ChB=S85°18'14"E(R&M)

MEIJER DEVELOPMENT-PLANS)

BENCHMARK #

PARCEL ID:

12-20-276-034

OWNER OF RECORD:

GOOD WILL CO INC, PROPERTY TAX

EX. HYDRANT —

435.29'(R&M)

N84°42'00"W(R&M)

RIM\_985.15

INV 6" N =979.07

INV 6" S = 979.21

- 1. ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF WHITE LAKE TOWNSHIP A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED BY WHITE LAKE TOWNSHIP AND HELD PRIOR TO THE START OF CONSTRUCTION.
- 2.CONTRACTOR MUST CONTACT MISS DIG (811) AT LEAST THREE WORKING DAYS PRIOR TO THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION
- 3.ALL WATER MAIN EASEMENTS SHALL BE PROVIDED PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM.
- 4. WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF 6 FEET BELOW FINISHED GRADES, INCLUDING OPEN DRAINAGE COURSES.
- 5.ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS, SHALL BE BACKFILLED WITH COMPACTED CLASS II SAND TO GRADE (95% MAXIMUM UNIT DENSITY).
- 6.WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN SIX (6) INCH COMPACTED LAYERS TO 7. WHERE WATER MAINS DIP UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE
- CONSTRUCTED WITH  $11-1/4^{\circ}$  VERTICAL BENDS,  $22\frac{1}{2}^{\circ}$  OR  $45^{\circ}$  BENDS MUST BE RODDED AND PROPERLY
- 8.ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE IN ACCORDANCE WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS. WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
- 9.CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES, AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 1 (2'-0" BETWEEN GATE WELL WELL AND CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATE WELL OPENING.
- 10. ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE WHITE LAKE TOWNSHIP PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE OAKLAND COUNY COUNTY DRAIN COMMISSIONER OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY, DIVISION OF DRINKING WATER AND RADIOLOGICAL PROTECTION.
- 11. ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM, AS INDICATED PLANS AND SPECIFICATIONS, IS APPROVED BY WHITE LAKE TOWNSHIP DEPARTMENT OF PUBLIC SERVICES.
- 12. THE STORMWATER DISCHARGE FOR THE OUTLET DEVELOPMENT IS OUTLETING INTO INTO EX CB20073. THIS SYSTEM TAKES THE DRAINAGE TO THE EXISTING RETENTION POND (SEE MEIJER DEVELOPMENT PLAN SHEET C303B). THIS POND IS SELF CONTAINED AS SHOWN ON THE EXISTING DRAWINGS AND DOES NOT OUTLET INTO ANY DRAIN OWNED BY WHITE LAKE TOWNSHIP OR OAKLAND COUNTY. THEREFORE ADDITIONAL WATER TREATMENT FOR THE OUTLET DEVELOPMENT ONLY WILL NOT BE PROVIDED.

# **UTILITY QUANTITIES**

12" RCP CL IV STORM PIPE	474 LF
8" sch 40 PVC ROOF LEAD	35 LF
1.5" TYPE K COPPER PIPE	192 LF
6" SCH 40 PVC SAN. PIPE	95 LF
1,000 GAL GREASE TRAP	1
SANITARY MANHOLE	2
CATCH BASIN	4
CLEANOUT STRUCTURE	2
CURB STOP	1
90° BEND	1

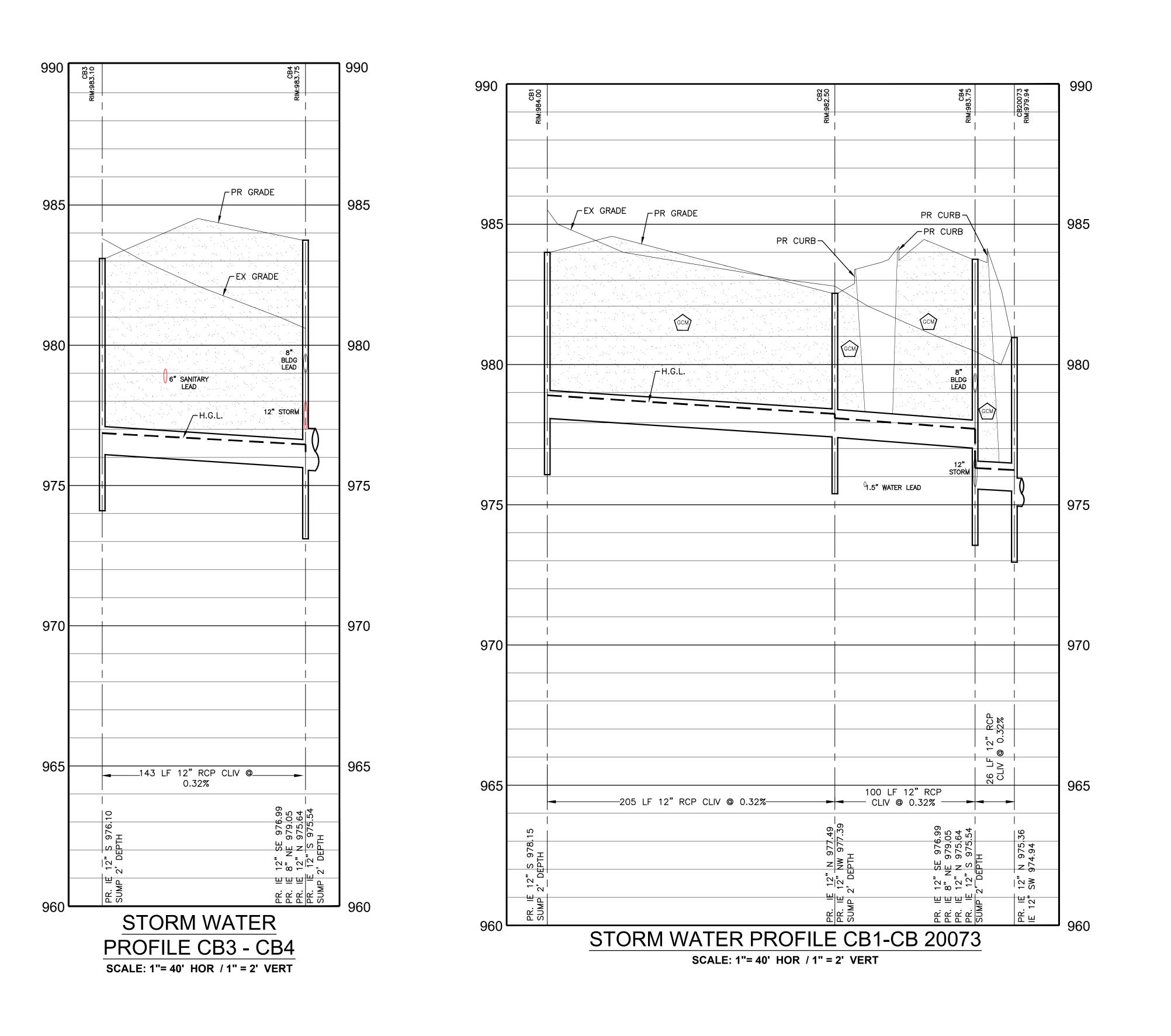
# UTILITY CROSSING SCHEDULE

UC GRADE 983.50 ± TOP OF 12" STORM 678.30 12" STORM INVERT 977.30 BOTTOM OF 1.5" WATER 975.80 (WATERMAIN DIPPED WITH MIN. CLEARANCE 1.5 FT, DIPPING/DEFLECTING OF THE WATERMAIN SHALL FOLLOW APPLICABLE AGENCY STANDARDS)

UC 6" SAN INVERT 978.61 TOP OF 12" STORM 976.96 12" STORM INVERT 975.96 TOTAL CLEARANCE OF 1.65 FT







JOSEPH ROCCO X
DATTILO ENGINEER
No.
6201049801

FROFESSIONAL ENGINEE
SURVEYING & ENVIRONN
SERVICES
A GROUP OF COMPANIES
Eastpointe Detroit Ann Arbor Grand Bla
(800) 295.722 (313) 758.0677 (734) 994.0888 (888) 694.00

Item A.

PROFILES

PREPARED FOR: GREAT LAKES TACO, LLC.

AND (M-59) & BOGIE LAKE ROAD, WHITE LAP

TWP, MI, 48383

ENGINEERING REVIEW
ENGINEERING REVIEW
ENGINEERING REVIEW
SITE PLAN APPROVAL
SPA RESUBMISSION
ENGINEERING SUBMISSION
DESCRIPTION

6 03.24.2022 GAE
5 02.28.2022 GAE
4 02.01.2022 GAE
3 11.01.2021 GAE
2 08.02.2021 GAE
BEVISION DATE BY

GAE 05/03/2022

D BY:

MAY 03, 2022

NO:

18-00000

SCALE:

1" = 20'

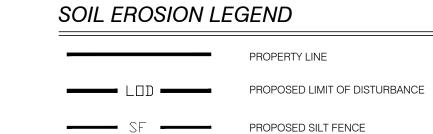
C6.0

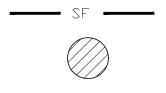


Item A.

KENTED S S A GROUP OF COMPANIES

C7.0





## SOIL EROSION & SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

PROPOSED INLET FILTER

CONSTRUCTION SEQUENCE	NOV 2021	DEC	JAN	FEB
TEMPORARY EROSION CONTROL MEASURES				
STRIP & STOCKPILE TOPSOIL / ROUGH GRAD	E 💻			
STORM SEWER				
FOUNDATION / BLDG. CONSTRUCTION				
SANITARY SEWER & WATER MAIN				
INSTALL ALL OTHER UTILITIES			_	
SITE CONSTRUCTION & PAVEMENT				
PERMANENT EROSION CONTROL MEASURES			_	-
FINISH GRADING			_	

DISTURBED AREA =1.06± ACRES

## SOIL TYPE INFORMATION

_	MAP UNIT SYMBOL	MAP UNIT NAME
	50B	UDIPSAMMENTS, UNDULATING

## MAINTENANCE OF EROSION CONTROL DEVICES

- 1. FILTERS MUST BE CLEANED PERIODICALLY SO THEY DON'T CLOGGED.
- 2. FILTER FENCING WHICH SAGS, FALLS OVER OR IS NOT STAKED IN, SHOULD BE PROMPTLY
- 3. SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.
- 4. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED.
- MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MULCH IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE MULCH IN PLACE.

# REPAIRED OR REPLACED.

- NEWLY SEEDED AREAS NEED TO BE INSPECTED FREQUENTLY FOR THE FIRST FEW MONTHS TO ENSURE THE GRASS IS GROWING. IF THE SEEDED AREA IS DAMAGED DUE TO RUNOFF, ADDITIONAL STORMWATER MEASURES MAY BE NEEDED.



PARCEL ID: 12-20-276-024 OWNER OF RECORD: DENNIS HATMAKER

INLET FILTERS (5 TYP.)

PR. LIMIT OF DISTURBANCE (1.07 AC)

— PR. SILT FENCE

PARCEL ID: 12-20-276-020 OWNER OF RECORD:

BENCHMARK #2/

HIGHLAND ROAD 130' PUBLIC RIGHT OF WAY ASPHALT

PR. CONSTRUCTION

BENCHMARK #1

L=118.86'(R&M) R=5637.58'(R&M) ChL=118.86'(R&M) ChB=S85°18'14"E(R&M)

PARCEL ID: 12-20-276-034 OWNER OF RECORD:

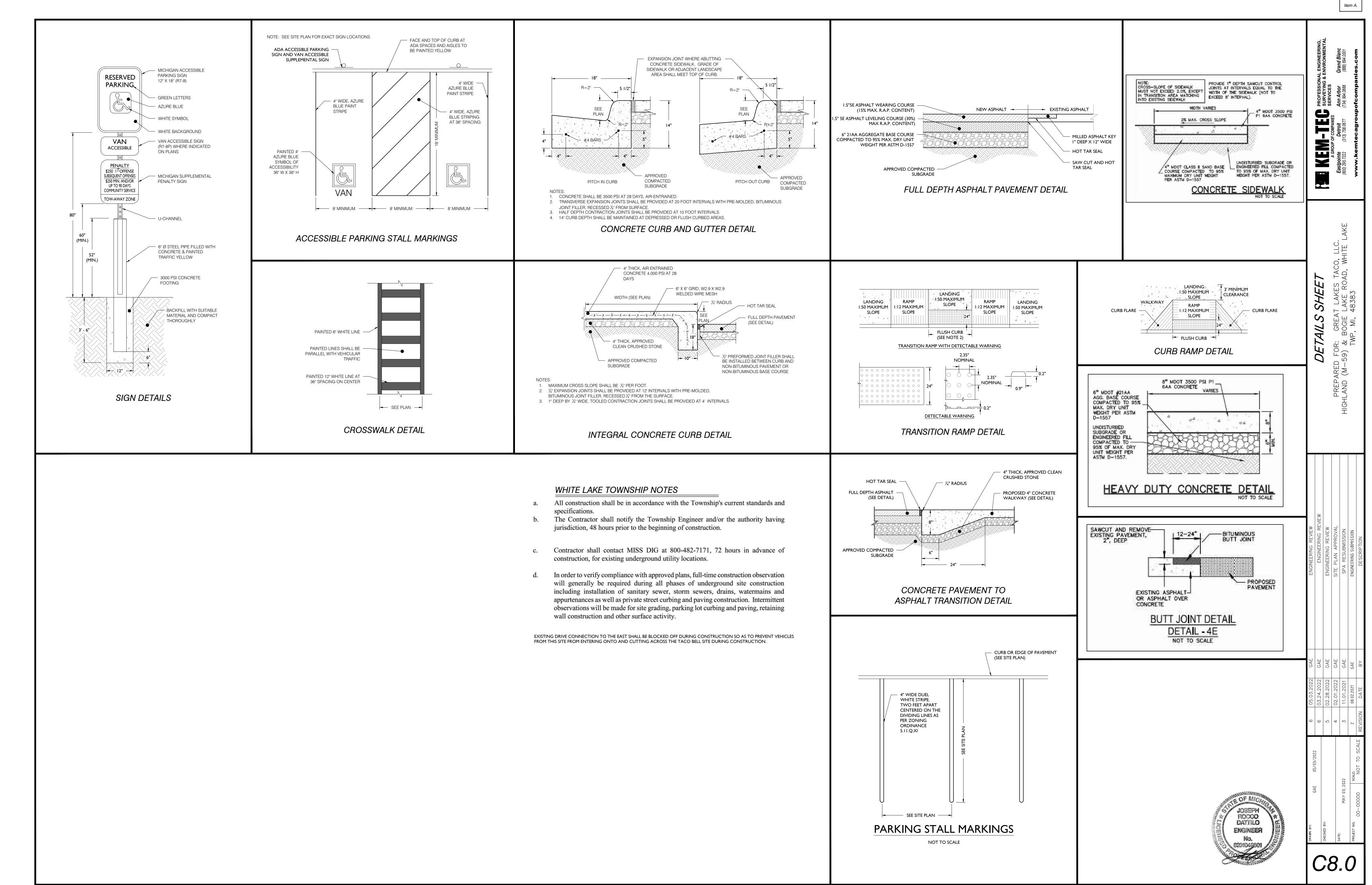
GOOD WILL CO INC, PROPERTY TAX

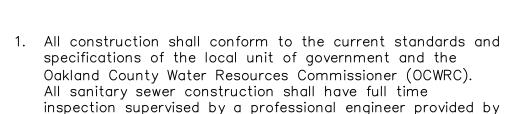
435.29'(R&M)

TC 984.55 BC 984.05







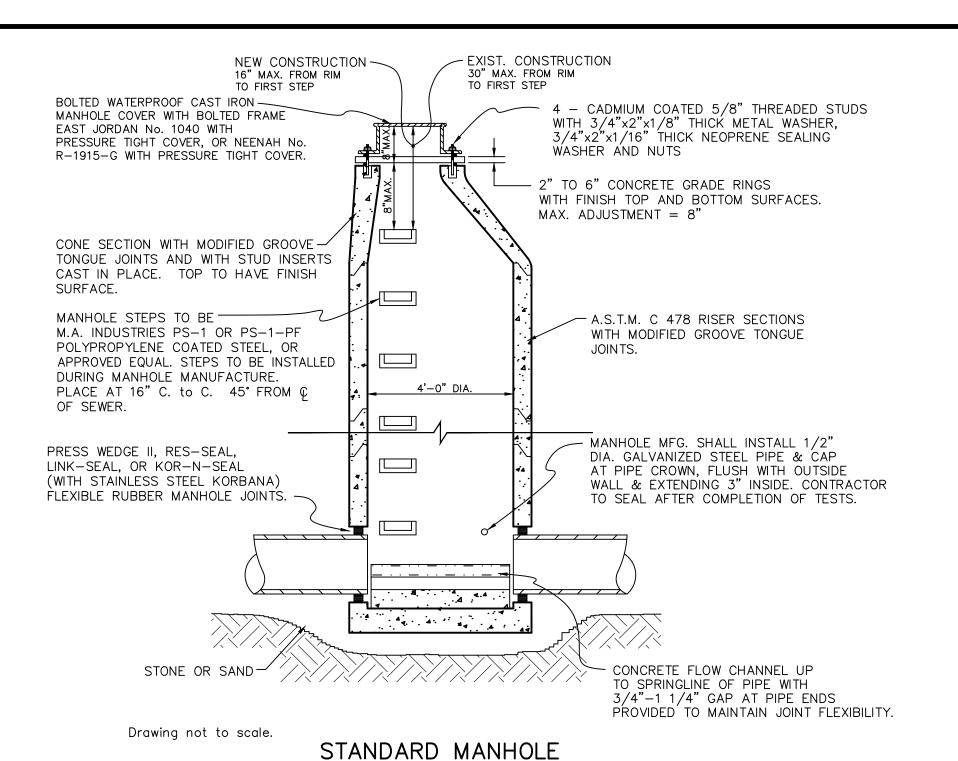


or caused to be provided by the local unit of government.

SANITARY SEWER CONSTRUCTION NOTES

#### 2. At all connections to Oakland County Water Resources Commissioner's sewers or extensions, and before start of construction, the Contractor must obtain a Sewer Inspection Permit issued by the OCWRC. Gravity sewer permit charges are \$250.00 for each connection plus \$25.00 for each manhole constructed. Pressure sewer permit charges are \$250.00 per 2460 L.F. of force main with a minimum permit fee of \$250.00. Failure to pass any test segment will result in an additional charge to the Contractor for each retest, in accordance with the above price schedule. The Contractor shall also have posted with the OCWRC a \$5,000.00 surety bond and \$500.00 cash deposit. The Contractor shall notify the local unit of government and the OCWRC (248-858-1110) 24 hours prior to the beginning of any construction. Final acceptance tests must be witnessed by County personnel and must be scheduled by Municipality or It's consultant in advance with 24 hour notice at 248-858-1110.

- 3. No sewer installation shall have an infiltration or exfiltration exceeding 100 gallons per inch diameter per mile of pipe in a 24 hour period, and no single run of sewer between manholes shall exceed 100 gallons per inch diameter per mile. Air tests in lieu of infiltration tests shall be as specified in the OCWRC "Acceptance Tests", dated September, 1972. Only pipe and pipe joints approved by the Oakland County Water Resources Commissioner may be used for sanitary sewer construction.
- 4. Located in the first manhole upstream from the point of all connections to an existing OCWRC sewer, or extension thereto, a temporary 12—inch deep sump shall be provided in the first manhole above the connection which will be filled in after such successful completion of any acceptance test up to the standard fillet provided for the flow channel. A watertight bulkhead shall be provided on the downstream of the sump manhole.
- 5. All building leads and risers shall be 6-inch S.D.R. 23.5 ABS OR PVC pipe with chemically fused joints, or an approved equal pipe and joint. Sewer pipe wye shall contain factory installed premium joint material of an approved type compatible with that of the building lead pipe used. Building leads to be furnished with removable air tight and water—tight stoppers.
- 6. All rigid sewer pipe shall be installed in Class "B" bedding or better. All flexible, semi-flexible or composite sewer pipe shall be installed in conformance to the Oakland County Water Resources Commissioner specifications.
- 7. All new manholes shall have Oakland County Water Resources Commissioner approved flexible, water—tight seals where pipes pass through walls. Manholes shall be of precast sections with modified groove tongue and rubber gasket type joints. Precast manhole cone sections shall be Oakland County Water Resources Commissioner approved modified eccentric cone type. All manholes shall be provided with bolted, water-tight covers.
- 8. At all connections to manholes on Oakland County Water Resources Commissioner's sewers or extensions thereto drop connections will be required when the difference in invert elevations exceeds 18-inches. Outside drop connections only will be approved.
- 9. Taps to existing manholes shall be made by coring. The Contractor shall place a KOR-N-SEAL boot (or OCWRC approved equal) after coring is completed. Blind drilling will not be permitted in lieu of coring.
- 10. New manholes constructed directly on Oakland County Water Resources Commissioner's sewers shall be provided with covers reading "Oakland County — Sanitary" in raised letters. New manholes built over an existing sanitary sewer shall have monolithic poured bottoms.
- 11. No ground water, storm water, construction water, downspout drainage or weep tile drainage shall be allowed to enter any sanitary sewer installation.
- 12. Prior to excavation, the Contractor shall telephone MISS DIG (647-7344) for the location of underground pipeline and cable facilities, and shall also notify representatives of other utilities located in the vicinity of the work.
- 13. 18" minimum vertical separation and 10' minimum horizontal separation must be maintained between sanitary sewer and water main.
- 14. Manhole frame and cover shall be as follows: East Jordan heavy manhole cover, base flange type #1040 or Neenah Foundry heavy duty #R-1642 manhole frame. Solid lid cover shall be non-rocking and marked "WHITE LAKE TOWNSHIP SEWER DEPARTMENT.'



ON 8" THROUGH 24" DIAMETER SEWERS

30" MAX. FROM RIM

4 - CADMIUM COATED 5/8" THREADED STUDS

WITH 3/4"x2"x1/8" THICK METAL WASHER, 3/4"x2"x1/16" THICK NEOPRENE SEALING

WITH FINISH TOP AND BOTTOM SURFACES.

- A.S.T.M. C 478 RISER SECTIONS

WITH MODIFIED GROOVE TONGUE

MANHOLE MFG. SHALL INSTALL 1/2"

DIA. GALVANIZED STEEL PIPE & CAP

AT PIPE CROWN, FLUSH WITH OUTSIDE

TO SEAL AFTER COMPLETION OF TESTS.

WALL & EXTENDING 3" INSIDE. CONTRACTOR

BRICK COURSE PERMITTED

FOR CLOSURE OF OPENING

POURED IN PLACE

3500 PSI CONCRETE

WASHER AND NUTS

MAX. ADJUSTMENT = 8"

JOINTS.

12" MINIMUM TO

UNDISTURBED EARTH

·\*········

2" TO 6" CONCRETE GRADE RINGS

TO FIRST STEP

**NEW CONSTRUCTION** —

16" MAX. FROM RIM

BOLTED WATERPROOF CAST IRON -

EAST JORDAN No. 1040 WITH

MANHOLE STEPS TO BE -

SURFACE.

OF SEWER.

**ENCASEMENT 12"** 

MANHOLE COVER WITH BOLTED FRAME

PRESSURE TIGHT COVER, OR NEENAH No.

R-1915-G WITH PRESSURE TIGHT COVER.

CONE SECTION WITH MODIFIED GROOVE -

CAST IN PLACE. TOP TO HAVE FINISH

M.A. INDUSTRIES PS-1 OR PS-1-PF

POLYPROPYLENE COATED STEEL, OR

PLACE AT 16" C. to C. 45° FROM C

DURING MANHOLE MANUFACTURE.

PRE-CAST BOTTOM SECTION WITH

PIPE OPENINGS, ENCASED IN AND

POURED CONCRETE. MINIMUM

BOTTOM HALF OF PIPE

TO REMAIN IN PLACE

AS FLOW CHANNEL

STANDARD FLEXIBLE

MANHOLE JOINT

SUPPORTED BY 3500 P.S.I. FIELD-

TONGUE JOINTS AND WITH STUD INSERTS

APPROVED EQUAL. STEPS TO BE INSTALLED

Drawing not to scale.

SUMP MANHOLE FOR TESTING, CLEANING, AND DEWATERING

Drawing not to scale.

MANHOLE

JOINTS <

3/4"- 1 1/4" GAP TO BE PROVIDED

TO MAINTAIN JOINT FLEXIBILITY

FORM SMOOTH AND UNIFORM

CHANNELS IN CONCRETE FILL

CONCRETE FILL IN SUMP

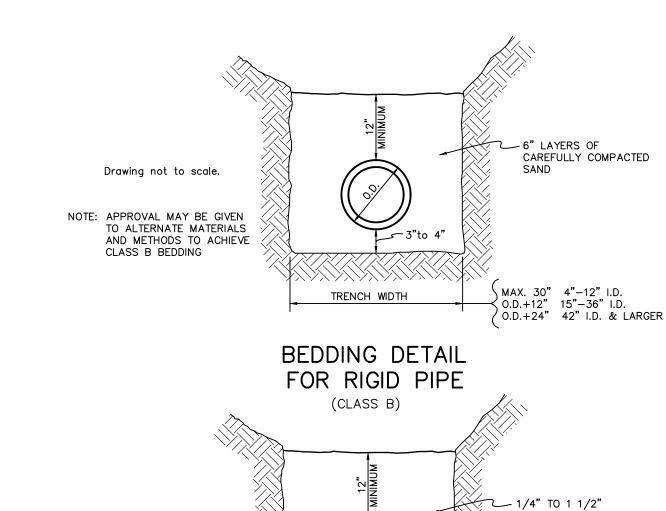
AFTER COMPLETION OF

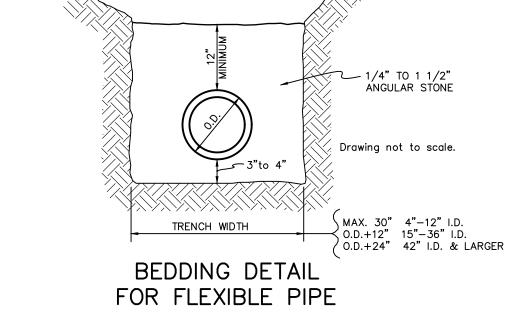
ACCEPTANCE TESTS

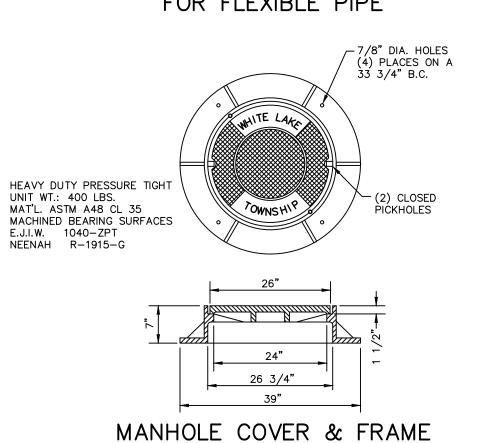
SEE STANDARD MANHOLE

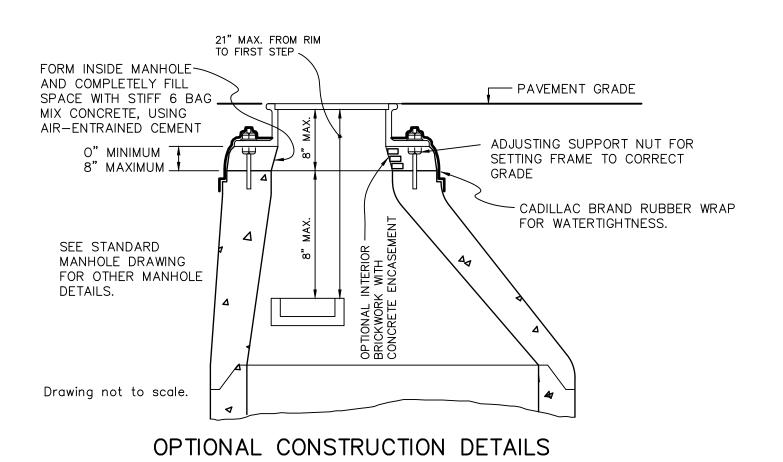
DRAWING FOR OTHER

MANHOLE DETAILS









SKETCH OF MINIMUM MANHOLE REQUIREMENTS

ON MANHOLES CONSTRUCTED OVER EXISTING SEWERS

PIPE BARREL SUPPORT FOR SEWER

Drawing not to scale.

DESIGN: OA CHECKED: -

FIRST ISSUE

UPDATED TITLE BLOCK

UPDATED NOTES

CONE SECTION WITH MODIFIED

TOP TO HAVE FINISH SURFACE

TRANSITION SECTION MUST BE FIRST-

PVC, SCHEDULE 40 PLASTIC — DROP PIPE. LOCATION SHALL NOT

INTERFERE WITH MANHOLE STEPS,

MINIMUM TWO DURAN INC. RELINER STAINLESS STEEL ADJUSTABLE CLAMPING -

BRACKETS ATTACHED TO MANHOLE WALL

WITH TWO (EACH) 3/8" STAINLESS STEEL WEDGE ANCHORS, STAINLESS STEEL

WASHERS AND NUTS. MAXIMUM SPACING

PVC OR ABS PLASTIC DROP PIPE SHALL -

THAN PIPE ENTERING MANHOLE. LOCÁTION

1/4" TO 1-1/2" ANGULAR GRADED STONE OR CAREFULLY-

AND UNIFORMLY TAMPED SAND

6" ABOVE GRADE ↑

MARK ORANGE STAKE.

WITH BLACK MARKS

AT 1' INTERVALS TO

INDICATE DEPTH TO

LOT/UNIT NUMBER

REMOVABLE WATERTIGHT

BY PIPE AND JOINT

MANUFACTURER.

AND AIRTIGHT STOPPER AS

RECOMMENDED OR SUPPLIED

PLACE RISER AGAINST -

UNDISTURBED GROUND

TO AVOID SETTLEMENT

1/4" TO 1 1/2" ANGULAR GRADED STONE

PLACED AGAINST UNDISTURBED GROUND

FOR SUPPORT OF WYE PIPE AND RISER.

8" BRICK BULKHEAD SHALL

OF THE CASING PIPE AFTER

BE PLACED AT EACH END

SAND HAS BEEN PLACED.

THE CONTRACTOR SHALL

CEMENT BETWEEN SEWER

SKIDS PLACED AT 1/2 -5

DIAMETER OF PIPE

09/11/97

04/30/13

02/17/15

BLOW SAND OR SAND

PIPE AND CASING

WHERE POSSIBLE.

BACKFILL WITH CARE

INVERT. MARK

ON STAKE.

BE ONE PIPE SIZE SMALLER (6" MIN.)

SHALL BE FLUSH WITH MANHOLE WALL

IN MAXIMUM 6" LAYERS.

AND NOT INTERFERE WITH MANHOLE

OR STEPS AND CONE SECTION

SHALL BE REPOSITIONED.

BETWEEN BRACKETS 10'

SECTION BELOW CONE.

TONGUE AND GROOVE JOINTS AND -

/==

\_\_\_\_\_5'-0" DIA. MIN.

INTERIOR DROP CONNECTION

2"x2" PRESSURE TREATED

~10' MINIMUM AT

PROPERTY LINE FOR

BASEMENT SERVICE

- MINIMUM 1/8"

FALL PER FOOT

√6" RISER

HOUSE/BUILDING LEAD DETAIL

4" MINIMUM CLEARANCE TO

OUTSIDE DIAMETER OF BELL

45° BEND

-LOCATION STAKE

MAXIMUM>

PLACED IN BACKFILL

WITH STUD INSERTS CAST IN PLACE.

MARK ADDENDUM/CHANGE ORDER DATE MARK ADDENDUM/CHANGE ORDER DATE MARK ADDENDUM/CHANGE ORDER DATE OCWRC COMMENTS 11/06/15

GROOVES CUT

FOR STRAPS

ALTERNATE TO DROP BOWL

(ON 5' DIA. OR LARGER MANHOLES ONLY) POLYVINYL

CHLORIDE (PVC) SEWER PIPE TEE (ASTM D-3034) OR

ACRILONITRILE-BUTADIENE-STYRENE (ABS) SEWER PIPE TEE

SECURE IN PLACE WITH 2 #8X1" SHEET METAL SCREWS AT

DURAN INC. RELINER INSIDE DROP BOWL ATTACHED TO

MANHOLE WALL WITH 4 3/8" STAINLESS STEEL WEDGE

BETWEEN DROP BOWL AND MANHOLE

WALL, PLACE (PRESS SEAL GASKET

TROWELABLE BUTYL, BK-0069-1).

BE MADE BY CORING WITH THE

TAPS TO EXISTING MANHOLES SHALL

-CONTRACTOR USING A KOR-N-SEAL

DRILL WILL ONLY BE PERMITTED IN

LIEU OF CORING WITH PRIOR WRC

BELOW TRANSITION SECTION.

-STONE OR CÁREFULLY AND

MAXIMUM 6" LAYERS.

UNDISTURBED GROUND

ALL HOUSE LEAD PIPE

MATERIAL AND JOINT

BACKFILL WITH STANDARD

FLEXIBLE PIPE BEDDING TO

TEE NOT

ALLOWED

Drawing not to scale.

UNLESS OTHERWISE SPECIFIED,

MINIMUM WALL THICKNESS 0.250.

BE TIGHTLY STRAPPED TO 4"x4"

CASING SIZES

ARRIER PIPE DIA. MIN. CASING PIPE DIA.

MINIMUM CASING PIPE SHALL

BE ASTM-C76 CLASS V OR

ASTM-A-139 GRADE B

SANITARY SEWER SHALL

CREOSOTED TIMBERS

A MAXIMUM 1:1 SLOPE

TO BE OCDPW APPROVED

UNIFORMLY TAMPED SAND IN

BOOT (OR APPROVED EQUAL). BLIND

ATTACH DROP BOWL TO DROP PIPE

USING FERNCO FLEXIBLE COUPLING

1/4" TO 1-1/2" ANGULAR GRADED

WITH STAINLESS STEEL STRAPS.

45° ABS OR PVC PLASTIC BEND,

SOLVENT WELDED TO DROP PIPE.

POINT FORM SMOOTH UNIFORM

CHANNEL IN CONCRETE FILL.

APPROVAL. ALL TAPS MUST BE MADE TEMPORARY SUMP BULKHEAD-

CO., EASY STIK ALL WEATHER

ANCHORS, STAINLESS STEEL WASHERS AND NUTS.

(ASTM D-2680) WITH REMOVABLE PIPE CAP, SLIP-ON FIT.

Johnson&Anderson

Waterford, Michigan 48328 Muskegon, Michigan 49441 tel (248) 681-7800 fax (248) 681-2660

2291 Water Street, Suite 6 Port Huron, Michigan 48060 tel (231) 780-3100 fax (231) 780-3115 tel (810) 987-7820 fax (810) 987-789 White Lake Township 7525 Highland Road (M-59) White Lake, Michigan 48383 248-698-3300



SANITARY SEWER STANDARD DETAILS

OB NO. DATE ISSUED 09/11/97

HORZ. AS NOTED

VERT. -

# SHEET NO.

SO-2 DETENTION BASIN OUTLET FILTER (CMP) (SEE OCDC STANDARD DETAILS FOR SEDIMENT BASIN OR FOREBAY OUTLET STRUCTURE)

MARK ADDENDUM/CHANGE ORDER DATE | MARK ADDENDUM/CHANGE ORDER DATE | MARK ADDENDUM/CHANGE ORDER DATE 08/16/95 REVISE 10-03-02 FIRST ISSUE UPDATED TITLE BLOCK 12-17-03 04/30/13 ADD SO-1 06-17-96 REVISE Waterford, Michigan 48328

Drawing not to scale.

PARALLEL W/CURB

(OPTIONAL)

STRUCTURES

DRAINAGE STRUCTURE LAYOUT

-CONCRETE BACKFILL FULL

UNDISTURBED GROUND

BASIN

DRAWN: CAD DESIGN: OA

CHECKED: -

NEW BAR GRATE

Johnson&Anderson 4494 Elizabeth Lake Road Muskegon, Michigan 49441

4"--- GRANULAR CLASS I

DETAIL

STANDARD LEACHING BASIN

Port Huron, Michigan 48060 tel (248) 681-7800 fax (248) 681-2660 tel (231) 780-3100 fax (231) 780-3115 tel (810) 987-7820 fax (810) 987-7895

SUBGRADE -

1000 GALLON LEACHING/SETTLING BASIN

White Lake Township 7525 Highland Road (M-59) White Lake, Michigan 48383 248-698-3300

SUBGRADE TYPE USE:

SAND/GRAVEL

20 M.H. BLOCK FOR CLAY

8 M.H. BLOCK FOR GRAVEL OR

16 M.H. BLOCK FOR SILTY/SANDY CLAYS

STORM SEWER STANDARD DETAILS

CONCRETE BASE-

PROFILE VIEW

JOB NO. DATE ISSUED 08/16/95 SHEET NO.

HORZ. AS NOTED

THE OUTLET HOLES MUST BE PLACED AT THE BOTTOM

SO-2 FILTER MAY BE OMITTED IF PLACED WITHIN FOREBAY

SCALE:

OF THE BASIN AND THEIR CAPACITY MUST BE SUCH THAT A PERIOD OF AT LEAST 48 HOURS WILL BE

REQUIRED TO OUTLET A 1-YEAR STORM VOLUME.

Item A.

04/30/13

UPDATED TITLE BLOCK

ADD NOTE 19

07/06/99

REVISE HYD. & THRUSTING 05/18/98

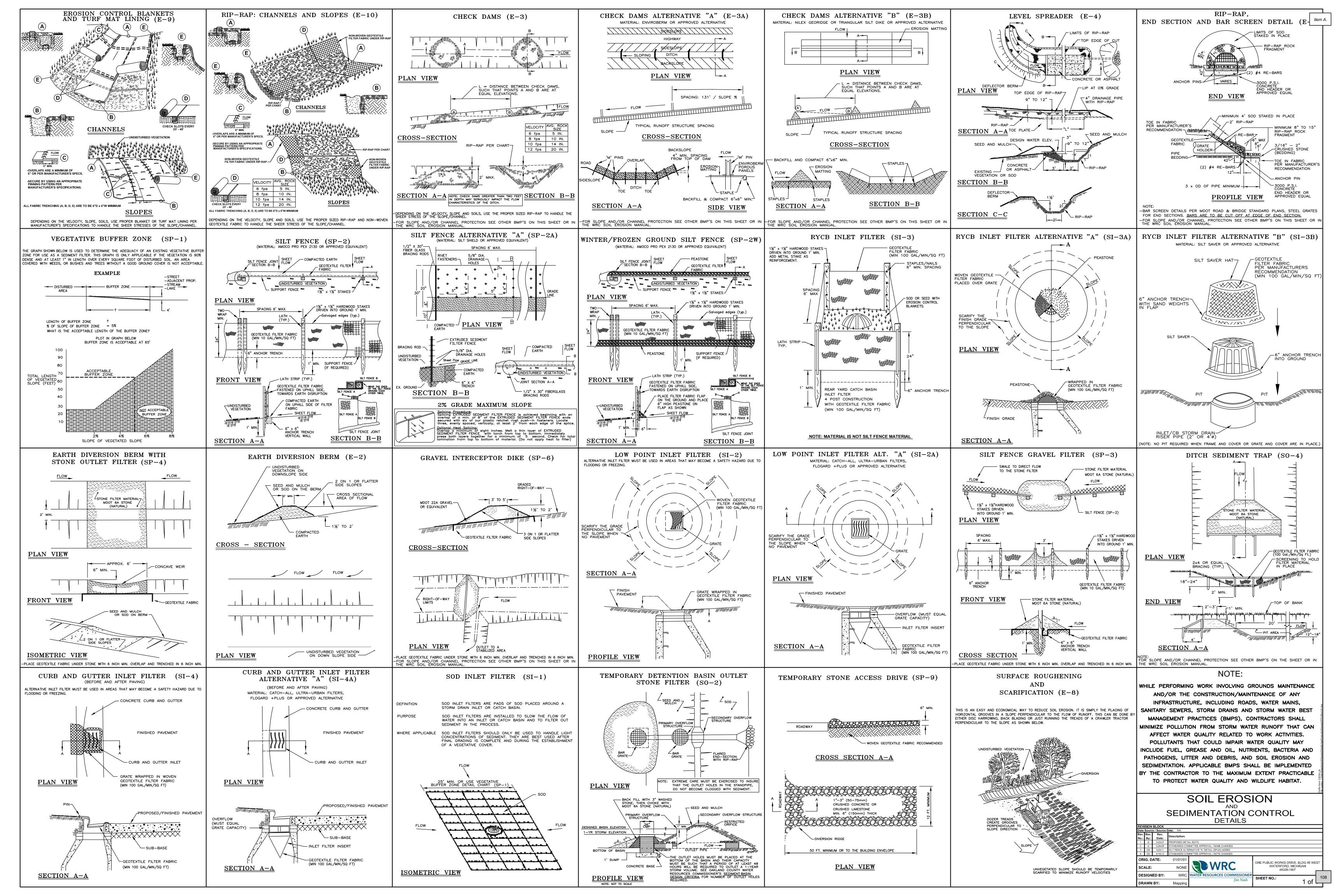
ADD BLOWOFF

Waterford, Michigan 48328 Muskegon, Michigan 49441

Port Huron, Michigan 48060 tel (248) 681-7800 fax (248) 681-2660 tel (231) 780-3100 fax (231) 780-3115 tel (810) 987-7820 fax (810) 987-7895 White Lake, Michigan 48383 248-698-3300

STANDARD DETAILS

SHEET NO.



# FROFESSIGN SURVEYING SURVEYING SURVICES A GROUP OF COMPANIES Eastpointe Detroit Ann Arbor (800) 295.7222 (313) 758.0677 (734) 994.0888

ARED FOR: GREAT LAKES TACO, LLC. (M-59) & BOGIE LAKE ROAD, WHITE L

ERING REVIEW
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AN APPROVAL
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SUBMISSION

.2022 GAE

.2022 GAE

.2021 GAE

.2021 GAE

.2020 GAE

.2020 GAE

GAE 05/03/2022

MAY 03, 2022

| scale:

C1.0

# Great Lakes Taco, LLC Construction Plans

6305 Highland Road, White Lake Twp., MI

# **APPLICANT**

DORTCH ENTERPRISES, LLC 8467 RETREAT DR. GRAND BLANC, MI 48439 PHONE:

(810)-771-4500

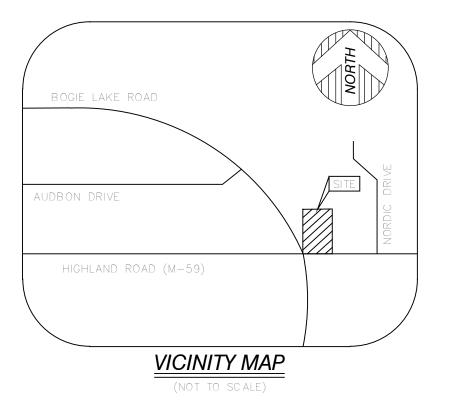
LEGEND	
	LIGHTDOCT (LAMD DOCT
ф (S)	LIGHTPOST/LAMP POST  SANITARY MANHOLE
•	FLAGPOLE
×	SET X-CUT
•	FOUND MONUMENT (AS NOTED)
0.00	
×	GROUND ELEVATION
©	ELECTRIC MANHOLE
	ELECTRIC METER
	TRANSFORMER
0	UTILITY POLE
©	GAS MANHOLE
□ GV	GAS METER
GV ⋉	GAS VALVE
<b>←</b>	LIGHT POLE WITH STREET LAMP
$\square$	PUBLIC LIGHTING MANHOLE
$\bigcirc$	TELEPHONE MANHOLE
×	TRAFFIC SIGNAL
$\bigcirc$	STORM DRAIN MANHOLE
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION
₩v	WATER VALVE
<del></del>	SINGLE POST SIGN
	DECIDUOUS TREE (AS NOTED)
*	CONIFEROUS TREE (AS NOTED)
⊗	CLEANOUT
<b>=</b>	SQUARE CATCH BASIN
	SANITARY LINE
	STORM LINE
	WATER LINE GAS LINE
w w	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED FIRE HYDRANT
	FROF USED FIRE TITURANT
	PROPOSED WATER VALVE
—— SAN —— SAN ———	PROPOSED SANITARY LINE
	PROPOSED STORM WATER LINE
— w — w — w — w —	PROPOSED WATER LINE

PROPOSED SLIT FENCE

\_\_\_\_\_ SF \_\_\_\_ SF \_\_\_\_

# ARCHITECT

L + A ARCHITECTS INC.
441 S. LIVERNOIS ROAD, SUITE 265
ROCHESTER HILLS, MI 48307
PHONE: (248)-524-4700



# DRAWING INDEX

C1.0	COVER SHEET
1	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE LAYOUT & PAVING PLAN
C3.1	FIRE TRUCK ACCESS PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	PROFILE PLAN
C7.0	SOIL EROSION & SEDIMENTATION CONTROL PLAN
C8.0	SITE DETAILS

WHITE LAKE TOWNSHIP SANITARY SEWER STANDARD DETAILS WHITE LAKE TOWNSHIP STORM SEWER STANDARD DETAILS WHITE LAKE TOWNSHIP WATER MAIN STANDARD DETAILS

OAKLAND COUNTY SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

# CIVIL ENGINEER

KEM-TEC & ASSOCIATES 22556 GRATIOT AVENUE EASTPOINTE, MI 48021

CONTACT: GREG EZZO PHONE: (810)-712-8849

# PARCEL AREA

FLOOD NOTE
SUBJECT PARCEL DOES NOT LIE

#### SITE BENCHMARKS

WITHIN A FLOOD PLAIN

TURN ARROW ON HYDRANT, FIRST HYDRANT
ALONG WEST SIDE OF BOGIE LAKE ROAD NORTH
OF HIGHLAND ROAD.
ELEVATION = 982.44' (NAVD 88)

BENCHMARK #2
TURN ARROW ON HYDRANT, FIRST HYDRANT

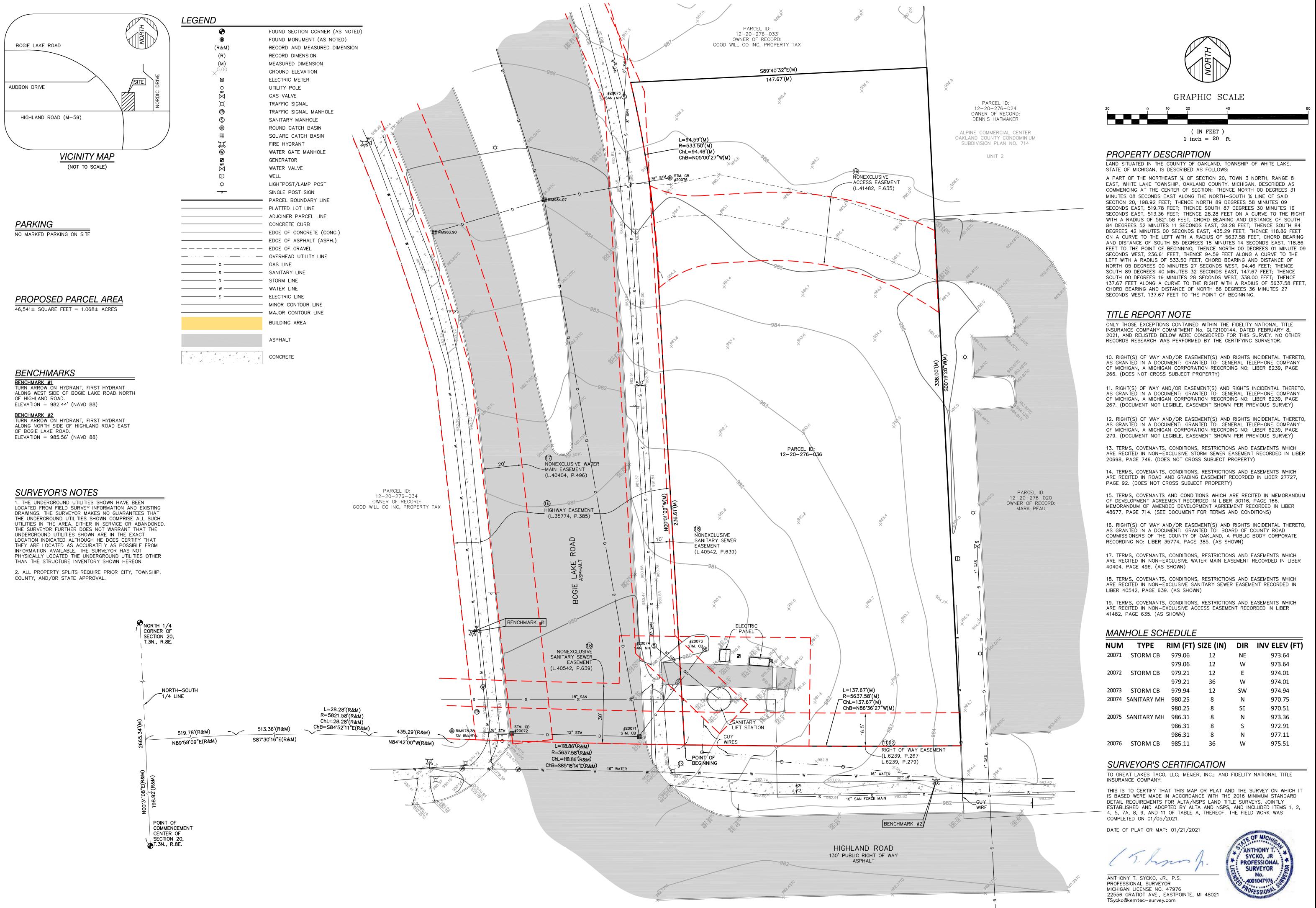
ALONG NORTH SIDE OF HIGHLAND ROAD EAST OF BOGIE LAKE ROAD.
ELEVATION = 985.56' (NAVD 88)

### PROPERTY DESCRIPTION

A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH OO DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECONDS EAST, 519.78 FEET: THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET: THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 56.37.58 FFFT CHORD BEARING SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.







PROFESSIONAL ENGINEERING
SURVEYING & ENVIRONMENT
SERVICES

Detroit Ann Arbor Grand Blanc
13) 758.0677 (734) 994.0888 (888) 694.0001

SCABROUPOFCOMPANIES.COM

A GROUP OF CO

Eastpointe Det

(800) 26,7222

ND TITLE SURVEY
DORTCH ENTERPRISES
WHITE LAKE, MICHIGAN,
SECTION 20,

PREPARED FOR: DOF 6305 HIGHLAND, WHIT PART OF SE

JDM

MRJ

ATS

ADD SIDEWALK WIDTHS

MRJ

CMC

BY

REVISED PARCEL ID OF SUBJECT PROPERTY

PER REVIEW COMMENTS

ADD SIDEWALK WIDTHS

REVISED PER REVIEW COMMENTS

ADD TITLE WORK

DESCRIPTION

PROJECT NO; 20-03619 ATS 01/21/2021 4

PROJECT NO; 20-03619 SCALE: 1" = 20' REVISION

1

1 OF 1 SHEETS

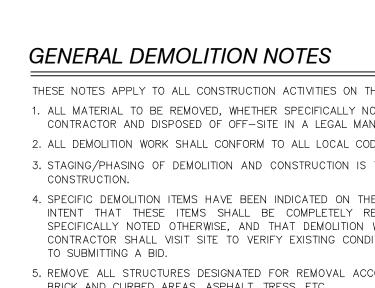


DEMOLITION PLAN

**DEMOLITION PLAN** SCALE: 1"= 20'

ROCCO DATTILO

ENGINEER



12-20-2/6-033 OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

S89°40'32"E(M)

EX. GRAVEL TO BE REMOVED.

— ALL EXISTING FEATURES WITHIN THE —

LIMIT OF DISTURBANCE SHALL REMAIN UNLESS OTHERWISE NOTED

L=137.67'(M) R=5637.58'(M) ChL=137.67'(M)

HIGHLAND ROAD 130' PUBLIC RIGHT OF WAY ASPHALT

BENCHMARK #2/

PARCEL ID:

12-20-276-036 OWNER OF RECORD: GREAT LAKES TACO LLC, PR. LIMIT OF

DISTURBANCE (1.06 AC)

PARCEL ID:

12-20-276-024

OWNER OF RECORD: DENNIS HATMAKER

PARCEL ID: 12-20-276-020 OWNER OF RECORD:

MARK PFAU

LIMIT OF EX. CONCRETE

CONCRETE CURB TO BE REMOVED.

LIMIT OF EX. CONCRETE -SIDEWALK TO BE SAWCUT

L=118.86'(R&M) R=5637.58'(R&M)

ChL=118.86'(R&M) ChB=S85°18'14"E(R&M)

PARCEL ID: 12-20-276-034 OWNER OF RECORD:

GOOD WILL CO INC, PROPERTY TAX

435.29'(R&M)

- LIMIT OF EX. CONCRETE

SIDEWALK TO BE SAWCUT

EX. CONCRETE SIDEWALK

ChL = 94.46'(M)

- LIMIT OF EX. CONCRETÉ CURB TO BE SAWCUT

> - EX. CONCRETE SIDEWALK TO BE REMOVED

ChB=N05°00'27"W(M)

TO BE REMOVED

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:

- 1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
- 2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
- 3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO
- 4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR
- 5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES CONCRETE SIDEWALKS, BRICK AND CURBED AREAS, ASPHALT, TRESS, ETC.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
- 7. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) LATEST EDITION.
- 8. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT
- 9. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER,
- 10. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE WHITE LAKE TOWNSHIP ENGINEER AND /OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 11.ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED/DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY KEM-TEC IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN
- 12. THE LOCATION OF ALL UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE BASED ON RECORDS PROVIDED BY THE UTILITY OWNERS AND VISIBLE EVIDENCE OBTAINED IN THE FIELD, NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED TO THE COMPLETENESS OR ACCURACY THEREOF.

# **DEMOLITION LEGEND**

CONCRETE PAVEMENT REMOVAL PROPERTY LINE

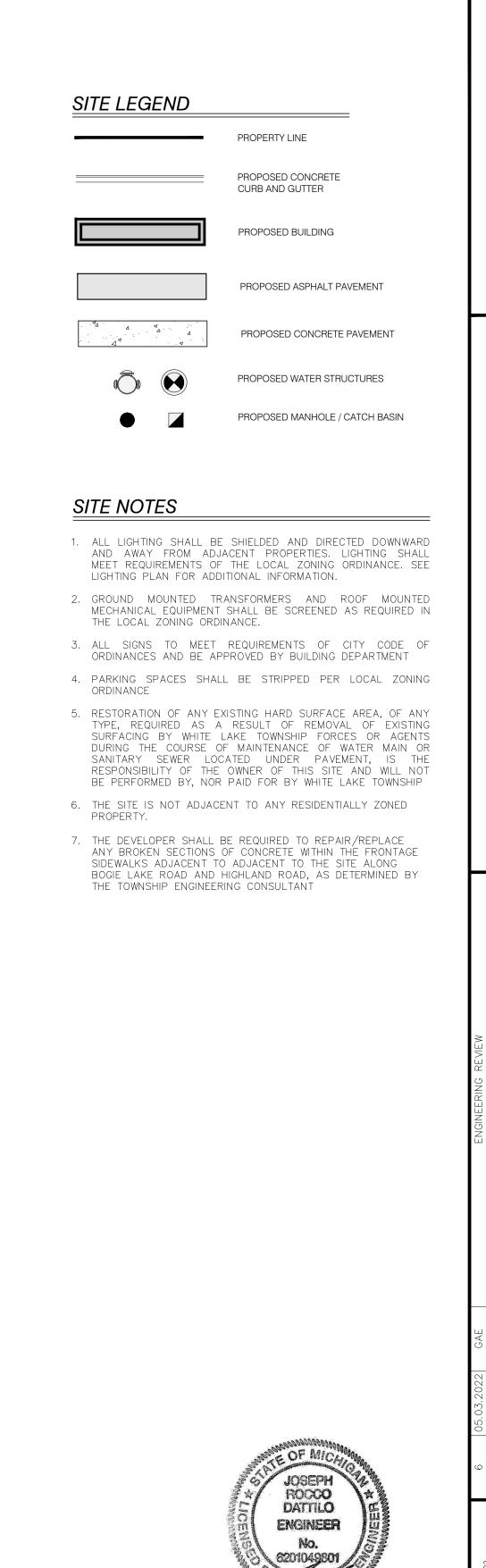
LIMITS OF DISTURBANCE





C2.0

C3.0







L=137.67'(M) R=5637.58'(M) ChB=N86°36'27"W(M)

- PR. SIDEWALK

12-20-276-033 OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

9.0' PR. DIRECTIONAL

ARROW (TYP.)

PARCEL ID:

12-20-276-03

OWNER OF RECORDY GREAT LAKES TACO PROPERTY TA

PR. ADA RAMP (TYP.)

POINT OF

L=94.59'(M)

ChB=N05°00'27"W(M)

#thL=94.46'(M)

S89°40'32"E(M)

DUTY ASPHALT

HEIGHT CLEARANCE BAR

PR. TRASH ENCLOSURE (REFER TO ARCHITECTURAL/

PR. ADA RAMP

- PR. INTEGRAL

- PR. CONCRETE

SIDEWALK (TYP.)

— PR. ADA RAMP (TYP.)

PARKING SIGN - PR. OUTDOOR DINING AREA. - PR. ADA RAMP (TYP.)

PR. PEDESTRIAN STRIPED CROSSWALK

PR. CONCRETE -CURB AND GUTTER

- PR. VALVE (TYP.)

BENCHMARK #2

CURB AND WALK

(REPARCHITECTURAL PLAN)

PARCEL ID: 12-20-276-024

OWNER OF RECORD: DENNIS HATMAKER

LIMIT OF PR. CONCRETE

**CURB AND GUTTER** 

LIMIT OF PR. CONCRETE

CURB AND GUTTER

PR. LIGHT POLE (TYP.)

PR. DUAL STRIPING FOR PARKING AS

SHOWN ON DETAIL SHEET C8.0. (TYP.)

PARCEL ID: 12-20-276-020 OWNER OF RECORD:

MARK PFAU

\_\_ LIMIT OF PR. SIDEWALK

LIMIT OF PR. CONCRETE —

**CURB AND GUTTER** 

TRANSITION. CONTRACTOR TO

PROVIDE FLUSH TRANSITION.

PR. CONCRETE\SIDEWALK THROUGH -

CONCRETE DRIVEWAY THICKNESS.

DRIVE ACCESS APPROACH. SHALL MATCH

PR. CONCRETE DRIVE -

ACCESS APPROACH

PR. ADA RAMP —

LIMIT OF PR. CONCRETE -

CURB AND GUTTER

(REF ARCHITECTURAL PLAN)

PR. CATCH BASIN (TYP.) —

LIMIT OF PR. -

PR. MENU AND ORDER BOARD AND (REFER TO ARCHITECTURAL PLANS)

PR. TRANSFORMER -

FROM SANITARY

CONNECTION.

PR. CONCRETE SIDEWALK

EX. CONCRETE SIDEWALK TO REMAIN ----

L=118.86'(R&M) R=5637.58'(R&M)

ChL=118.86'(R&M) ChB=S85°18'14"E(R&M)

PR. CONCRETE PAVEMENT -

PR. BYPASS LANE -

#20071 STM. CB

AND BE REPAIRED AS REQUIRED.

PARCEL ID: 12-20-276-034

OWNER OF RECORD: GOOD WILL CO INC, PROPERTY TAX

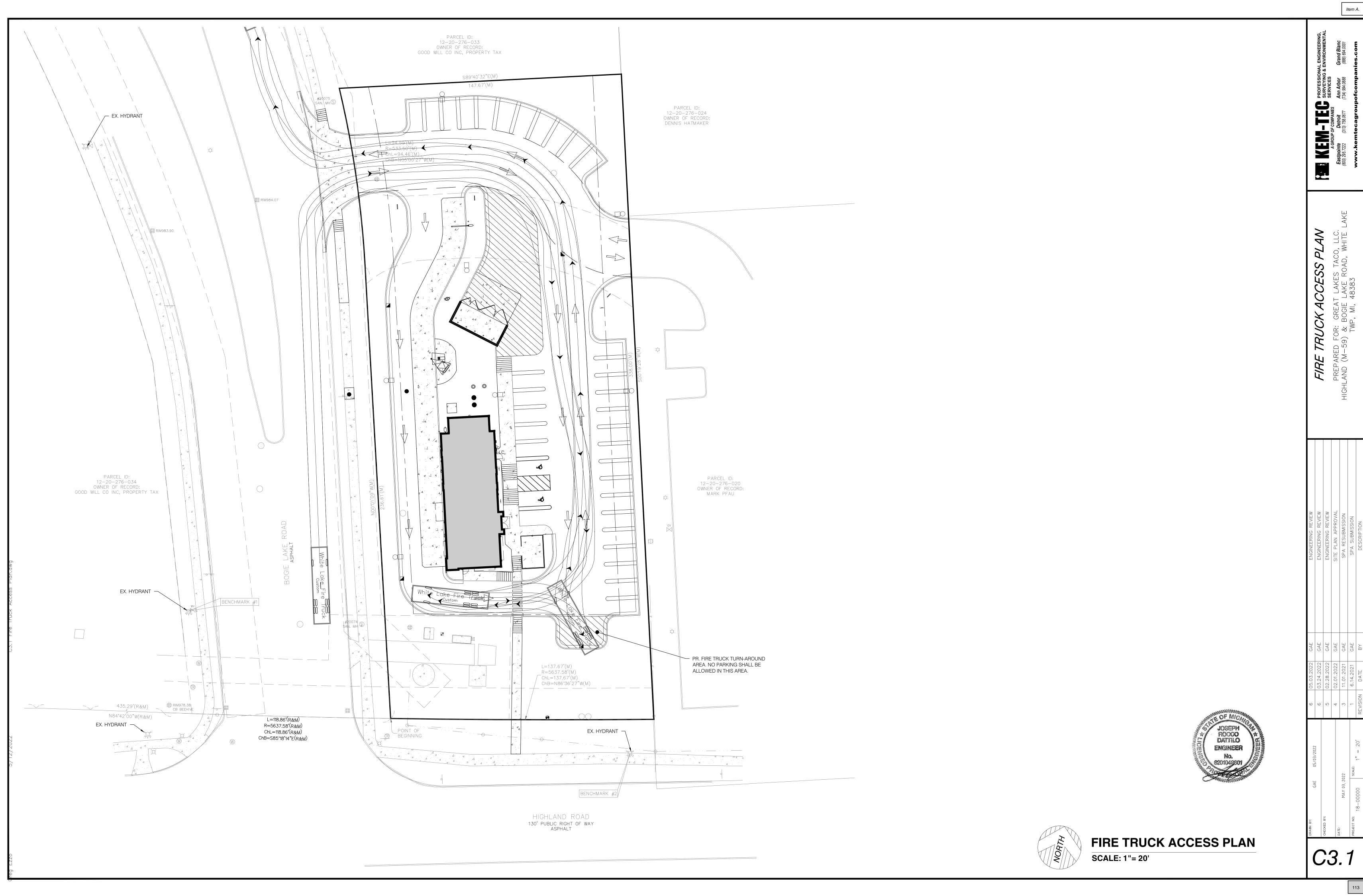
> 435.29'(R&M) N84°42′00"W(R&M)

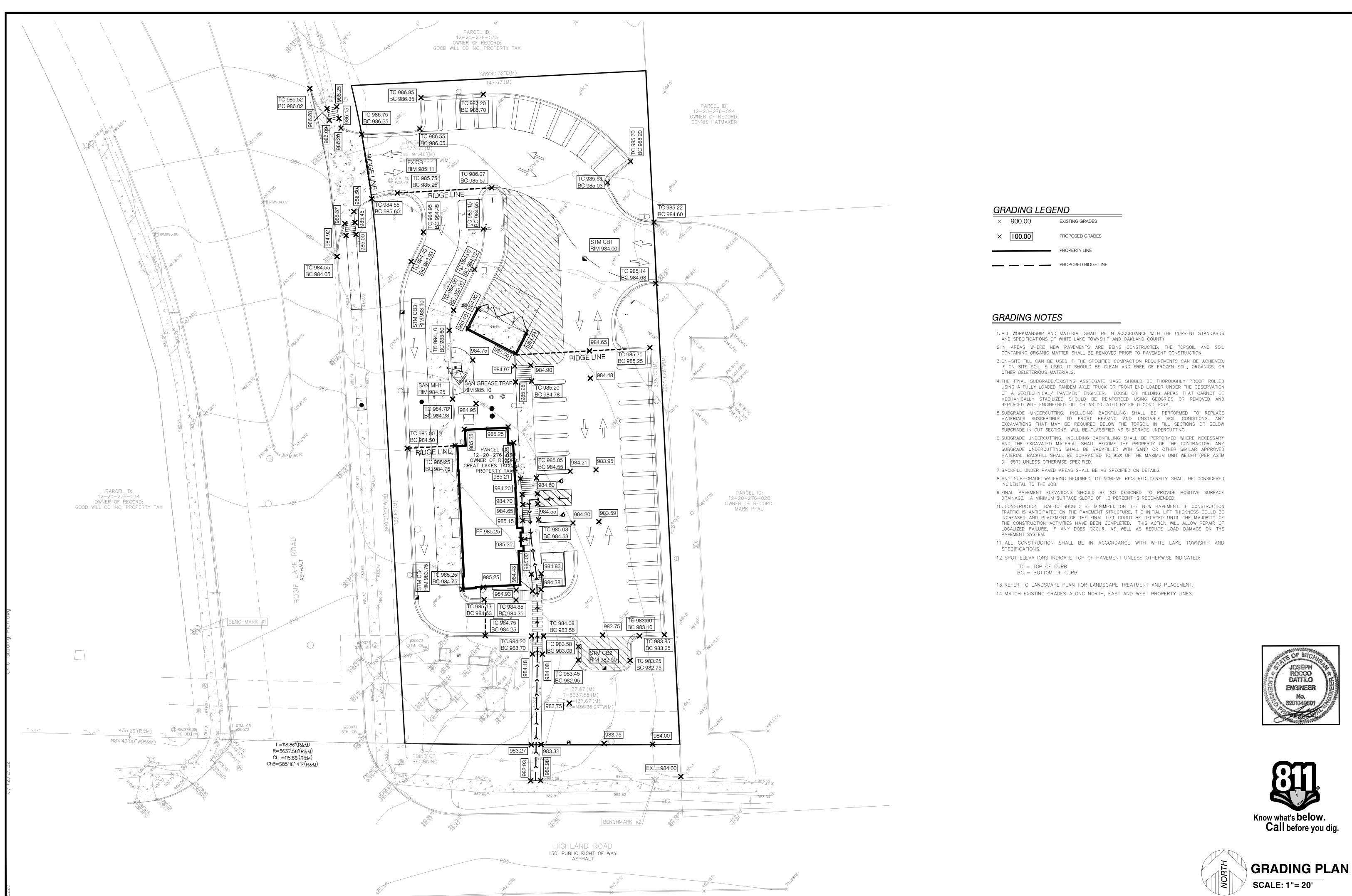
PR. DRIVE THRU

MENU BOARD

PR. CONCRETE / ASPHALT PAVEMENT

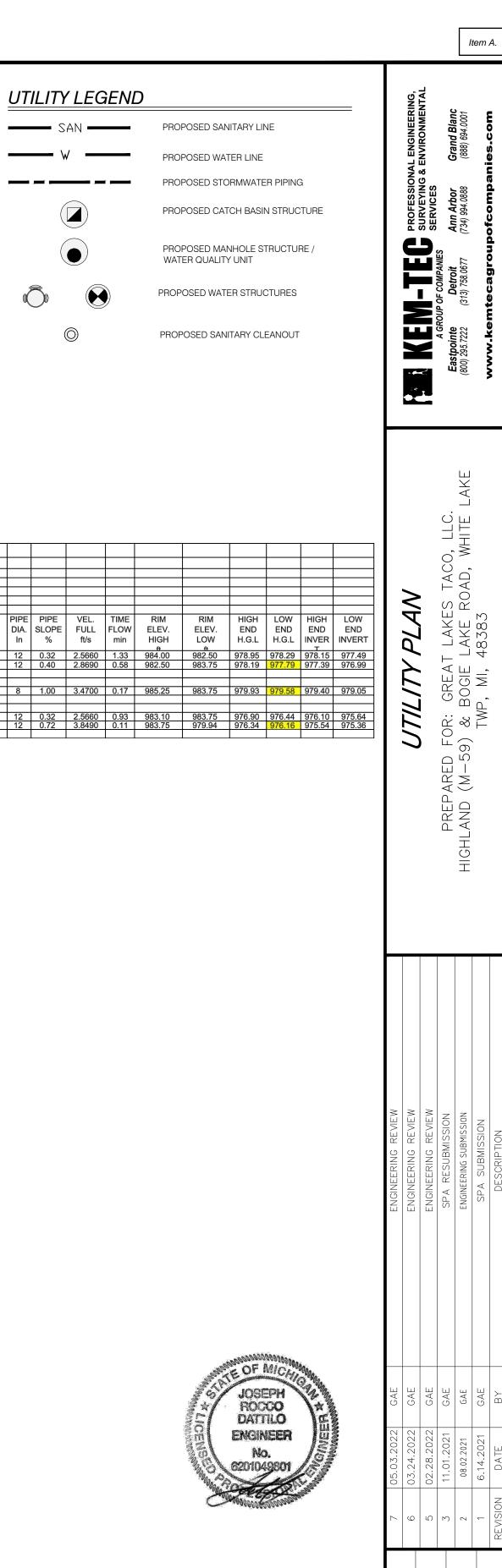




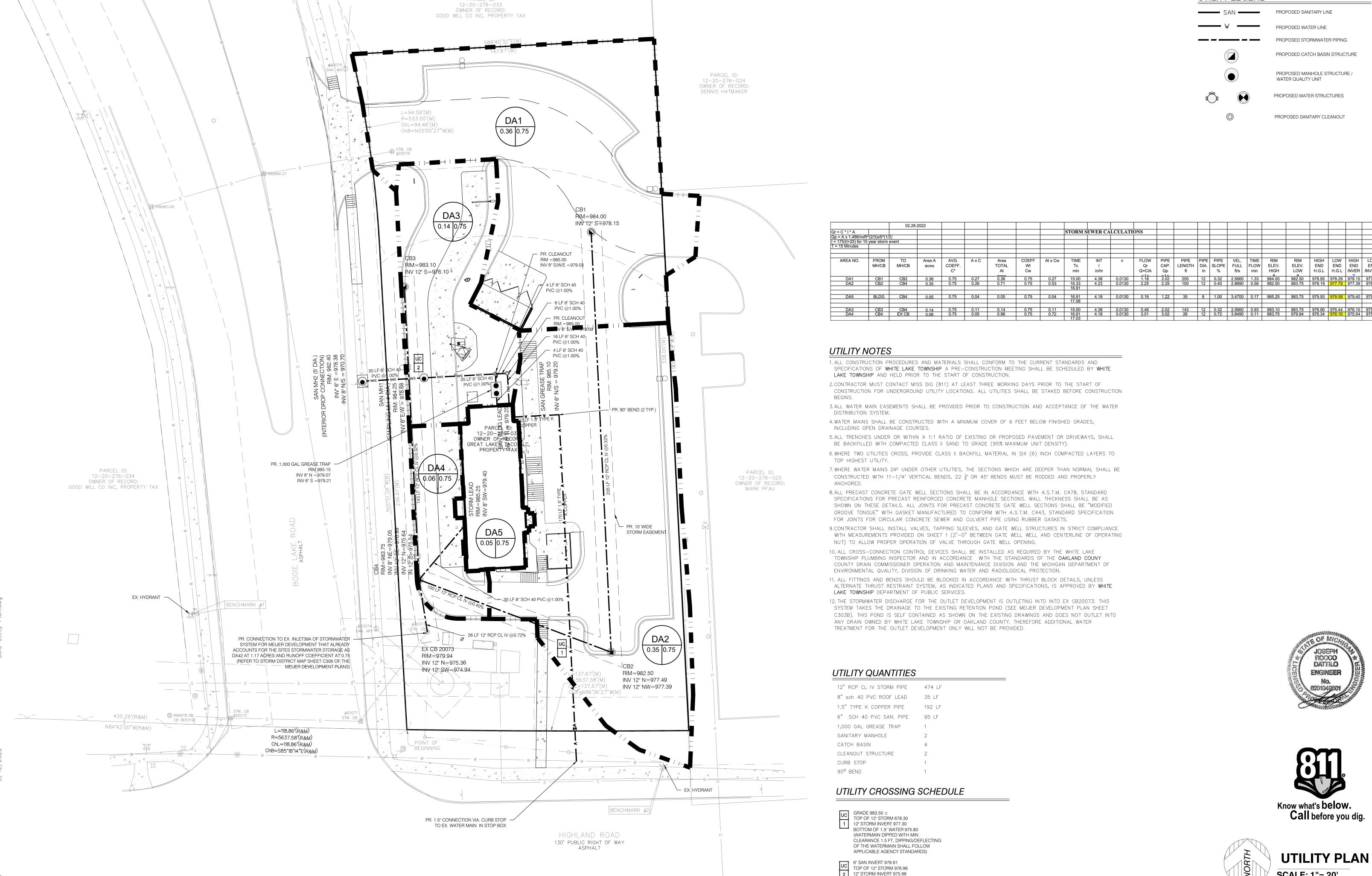


Item A.

GRADING PLAN







TOTAL CLEARANCE OF 1.65 FT

C5.0

PR GRADE 985 \_EX GRADE PR GRADE PR CURB-\ 985 PR CURB~ \_EX GRADE GCM 8" BLDG LEAD 6" SANITARY LEAD 12" STORM 975 <sup>0</sup>1.5" WATER LEAD 970 970 970 \_\_\_143 LF 12" RCP CLIV @\_\_\_ 0.32% 965 965 100 LF 12" RCP — CLIV @ 0.32% — —205 LF 12" RCP CLIV @ 0.32%— 960 STORM WATER STORM WATER PROFILE CB1-CB 20073 PROFILE CB3 - CB4 SCALE: 1"= 40' HOR / 1" = 2' VERT SCALE: 1"= 40' HOR / 1" = 2' VERT

JOSEPH ROCCO
DATTILO
ENGINEER
No.
6201049801

WIN BY: GAE 05/03/2022

C6.0

Item A.

PROFESSIONAL ENGINE
SURVEYING & ENVIRON
SERVICES
A GROUP OF COMPANIES
Eastpointe Detroit Ann Arbor Grand BI



Item A.

KENTED S S A GROUP OF COMPANIES

C7.0



PROPOSED LIMIT OF DISTURBANCE PROPOSED SILT FENCE

## SOIL EROSION & SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

PROPOSED INLET FILTER

CONSTRUCTION SEQUENCE	NOV 2021	DEC	JAN	FEB
TEMPORARY EROSION CONTROL MEASURES	2021			
STRIP & STOCKPILE TOPSOIL / ROUGH GRAD	E 💻			
STORM SEWER				
FOUNDATION / BLDG. CONSTRUCTION				
SANITARY SEWER & WATER MAIN				
INSTALL ALL OTHER UTILITIES			_	
SITE CONSTRUCTION & PAVEMENT				
PERMANENT EROSION CONTROL MEASURES			_	
FINISH GRADING			_	

DISTURBED AREA =1.06± ACRES

## SOIL TYPE INFORMATION

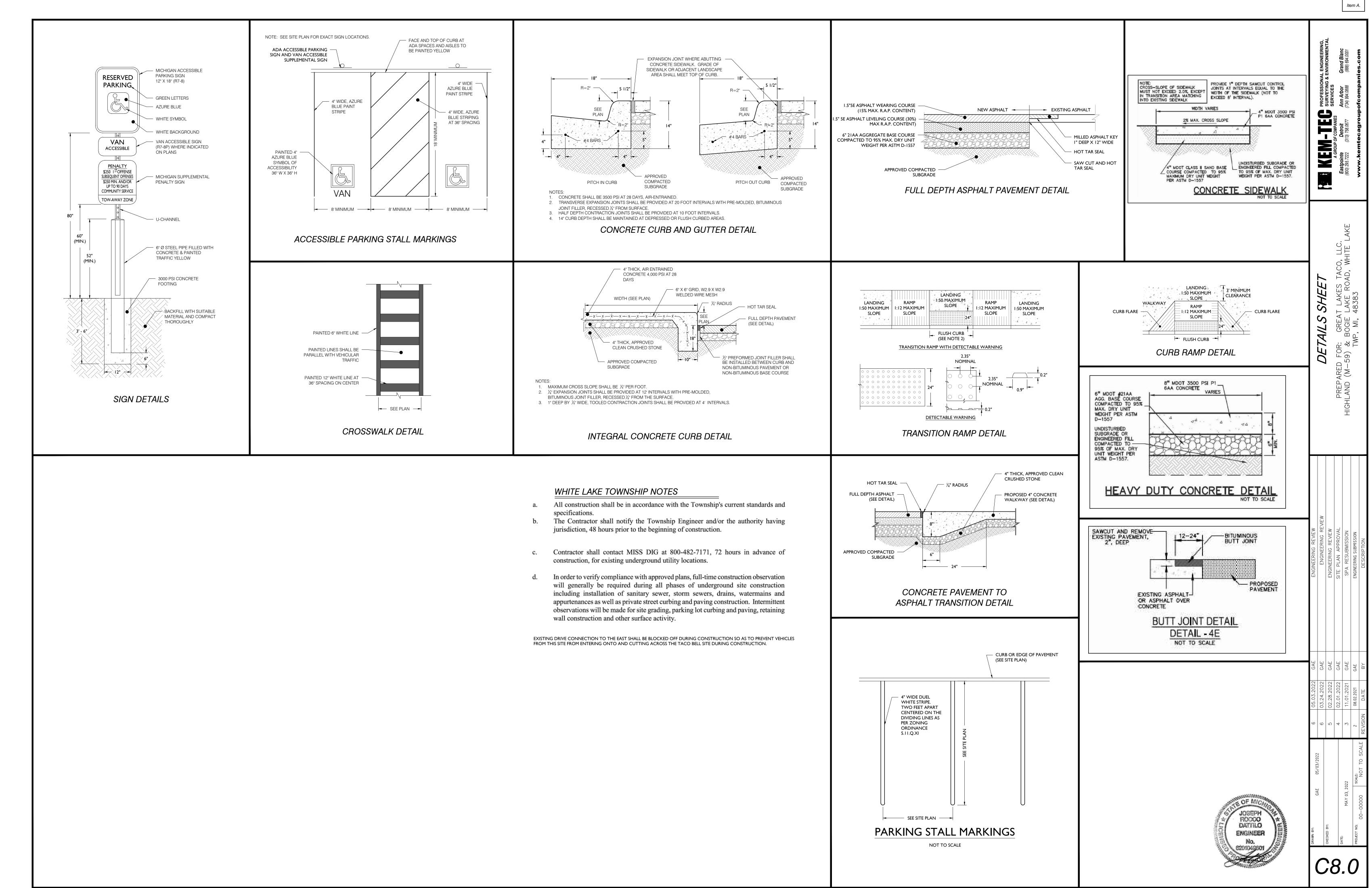
MAP UNIT SYMBOL	MAP UNIT NAME
50B	UDIPSAMMENTS, UNDULATING

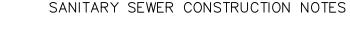
## MAINTENANCE OF EROSION CONTROL DEVICES

- 1. FILTERS MUST BE CLEANED PERIODICALLY SO THEY DON'T CLOGGED.
- 2. FILTER FENCING WHICH SAGS, FALLS OVER OR IS NOT STAKED IN, SHOULD BE PROMPTLY REPAIRED OR REPLACED.
- 3. SILT FENCES SHOULD BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND SEVERAL TIMES DURING PROLONGED RAINFALLS.
- 4. IF THE FENCE IS SAGGING OR THE SOIL HAS REACHED ONE HALF THE HEIGHT OF THE FABRIC, THE SOIL BEHIND THE FABRIC MUST BE REMOVED.
- MULCHED AREAS SHOULD BE CHECKED FOLLOWING EACH RAIN TO ENSURE THE MULCH IS STAYING IN PLACE. ADDITIONAL TACKING MATERIALS OR NETTING MAY NEED TO BE APPLIED TO HOLD THE MULCH IN PLACE.
- NEWLY SEEDED AREAS NEED TO BE INSPECTED FREQUENTLY FOR THE FIRST FEW MONTHS TO ENSURE THE GRASS IS GROWING. IF THE SEEDED AREA IS DAMAGED DUE TO RUNOFF, ADDITIONAL STORMWATER MEASURES MAY BE NEEDED.

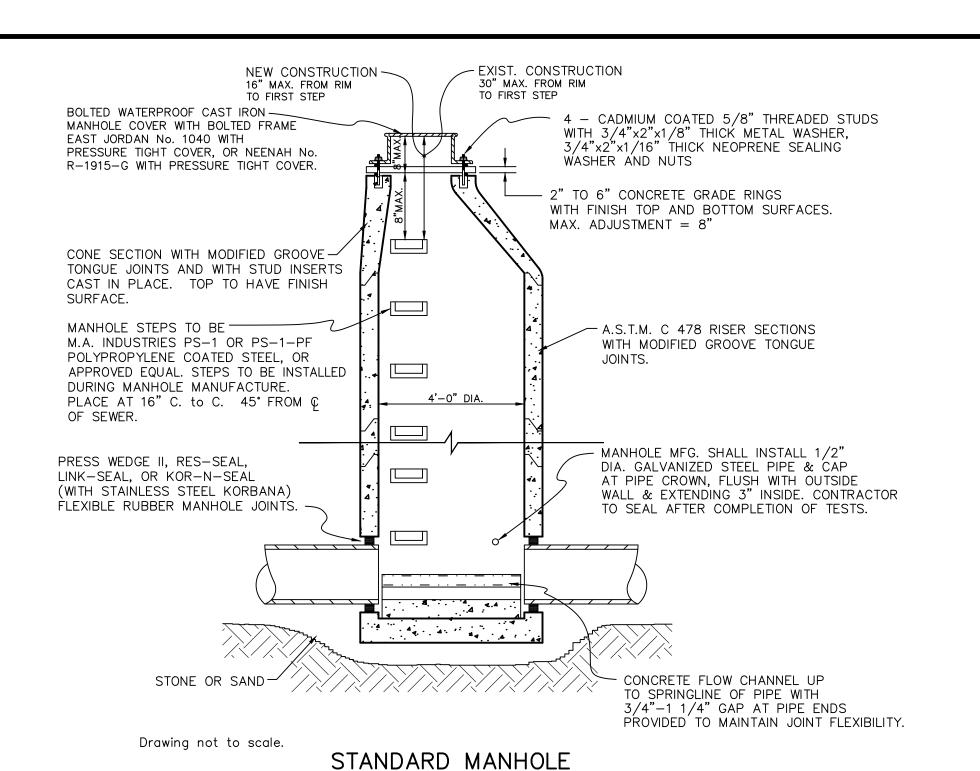








- 1. All construction shall conform to the current standards and specifications of the local unit of government and the Oakland County Water Resources Commissioner (OCWRC). All sanitary sewer construction shall have full time inspection supervised by a professional engineer provided by or caused to be provided by the local unit of government.
- 2. At all connections to Oakland County Water Resources Commissioner's sewers or extensions, and before start of construction, the Contractor must obtain a Sewer Inspection Permit issued by the OCWRC. Gravity sewer permit charges are \$250.00 for each connection plus \$25.00 for each manhole constructed. Pressure sewer permit charges are \$250.00 per 2460 L.F. of force main with a minimum permit fee of \$250.00. Failure to pass any test segment will result in an additional charge to the Contractor for each retest, in accordance with the above price schedule. The Contractor shall also have posted with the OCWRC a \$5,000.00 surety bond and \$500.00 cash deposit. The Contractor shall notify the local unit of government and the OCWRC (248-858-1110) 24 hours prior to the beginning of any construction. Final acceptance tests must be witnessed by County personnel and must be scheduled by Municipality or It's consultant in advance with 24 hour notice at 248-858-1110.
- 3. No sewer installation shall have an infiltration or exfiltration exceeding 100 gallons per inch diameter per mile of pipe in a 24 hour period, and no single run of sewer between manholes shall exceed 100 gallons per inch diameter per mile. Air tests in lieu of infiltration tests shall be as specified in the OCWRC "Acceptance Tests", dated September, 1972. Only pipe and pipe joints approved by the Oakland County Water Resources Commissioner may be used for sanitary sewer construction.
- 4. Located in the first manhole upstream from the point of all connections to an existing OCWRC sewer, or extension thereto, a temporary 12—inch deep sump shall be provided in the first manhole above the connection which will be filled in after such successful completion of any acceptance test up to the standard fillet provided for the flow channel. A watertight bulkhead shall be provided on the downstream of the sump manhole.
- 5. All building leads and risers shall be 6-inch S.D.R. 23.5 ABS OR PVC pipe with chemically fused joints, or an approved equal pipe and joint. Sewer pipe wye shall contain factory installed premium joint material of an approved type compatible with that of the building lead pipe used. Building leads to be furnished with removable air tight and water—tight stoppers.
- 6. All rigid sewer pipe shall be installed in Class "B" bedding or better. All flexible, semi-flexible or composite sewer pipe shall be installed in conformance to the Oakland County Water Resources Commissioner specifications.
- 7. All new manholes shall have Oakland County Water Resources Commissioner approved flexible, water—tight seals where pipes pass through walls. Manholes shall be of precast sections with modified groove tongue and rubber gasket type joints. Precast manhole cone sections shall be Oakland County Water Resources Commissioner approved modified eccentric cone type. All manholes shall be provided with bolted, water-tight covers.
- 8. At all connections to manholes on Oakland County Water Resources Commissioner's sewers or extensions thereto drop connections will be required when the difference in invert elevations exceeds 18-inches. Outside drop connections only will be approved.
- 9. Taps to existing manholes shall be made by coring. The Contractor shall place a KOR-N-SEAL boot (or OCWRC approved equal) after coring is completed. Blind drilling will not be permitted in lieu of coring.
- 10. New manholes constructed directly on Oakland County Water Resources Commissioner's sewers shall be provided with covers reading "Oakland County — Sanitary" in raised letters. New manholes built over an existing sanitary sewer shall have monolithic poured bottoms.
- 11. No ground water, storm water, construction water, downspout drainage or weep tile drainage shall be allowed to enter any sanitary sewer installation.
- 12. Prior to excavation, the Contractor shall telephone MISS DIG (647-7344) for the location of underground pipeline and cable facilities, and shall also notify representatives of other utilities located in the vicinity of the work.
- 13. 18" minimum vertical separation and 10' minimum horizontal separation must be maintained between sanitary sewer and water main.
- 14. Manhole frame and cover shall be as follows: East Jordan heavy manhole cover, base flange type #1040 or Neenah Foundry heavy duty #R-1642 manhole frame. Solid lid cover shall be non-rocking and marked "WHITE LAKE TOWNSHIP SEWER DEPARTMENT.'



ON 8" THROUGH 24" DIAMETER SEWERS

30" MAX. FROM RIM

4 - CADMIUM COATED 5/8" THREADED STUDS

WITH 3/4"x2"x1/8" THICK METAL WASHER, 3/4"x2"x1/16" THICK NEOPRENE SEALING

WITH FINISH TOP AND BOTTOM SURFACES.

- A.S.T.M. C 478 RISER SECTIONS

WITH MODIFIED GROOVE TONGUE

MANHOLE MFG. SHALL INSTALL 1/2"

DIA. GALVANIZED STEEL PIPE & CAP

AT PIPE CROWN, FLUSH WITH OUTSIDE

TO SEAL AFTER COMPLETION OF TESTS.

WALL & EXTENDING 3" INSIDE. CONTRACTOR

BRICK COURSE PERMITTED

FOR CLOSURE OF OPENING

POURED IN PLACE

3500 PSI CONCRETE

WASHER AND NUTS

MAX. ADJUSTMENT = 8"

JOINTS.

12" MINIMUM TO

UNDISTURBED EARTH

·\*········

2" TO 6" CONCRETE GRADE RINGS

TO FIRST STEP

**NEW CONSTRUCTION** —

21" MAX. FROM RIM TO FIRST STEP \

16" MAX. FROM RIM

BOLTED WATERPROOF CAST IRON -

EAST JORDAN No. 1040 WITH

MANHOLE STEPS TO BE -

SURFACE.

OF SEWER.

**ENCASEMENT 12"** 

MANHOLE COVER WITH BOLTED FRAME

PRESSURE TIGHT COVER, OR NEENAH No.

R-1915-G WITH PRESSURE TIGHT COVER.

CONE SECTION WITH MODIFIED GROOVE -

CAST IN PLACE. TOP TO HAVE FINISH

M.A. INDUSTRIES PS-1 OR PS-1-PF

POLYPROPYLENE COATED STEEL, OR

PLACE AT 16" C. to C. 45° FROM C

DURING MANHOLE MANUFACTURE.

PRE-CAST BOTTOM SECTION WITH

PIPE OPENINGS, ENCASED IN AND

POURED CONCRETE. MINIMUM

BOTTOM HALF OF PIPE

TO REMAIN IN PLACE

AS FLOW CHANNEL

FORM INSIDE MANHOLE-

STANDARD FLEXIBLE

MANHOLE JOINT

SUPPORTED BY 3500 P.S.I. FIELD-

TONGUE JOINTS AND WITH STUD INSERTS

APPROVED EQUAL. STEPS TO BE INSTALLED

Drawing not to scale.

SUMP MANHOLE FOR TESTING, CLEANING, AND DEWATERING

Drawing not to scale.

MANHOLE

JOINTS <

3/4"- 1 1/4" GAP TO BE PROVIDED

TO MAINTAIN JOINT FLEXIBILITY

FORM SMOOTH AND UNIFORM

CHANNELS IN CONCRETE FILL

CONCRETE FILL IN SUMP

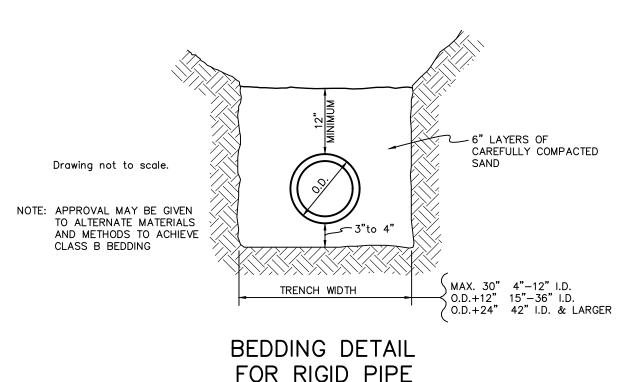
AFTER COMPLETION OF

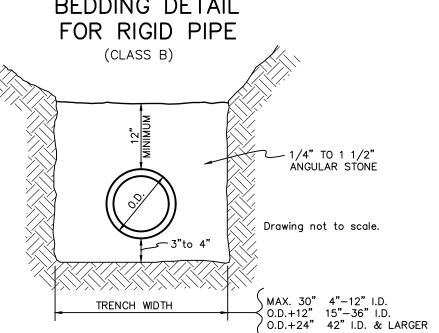
ACCEPTANCE TESTS

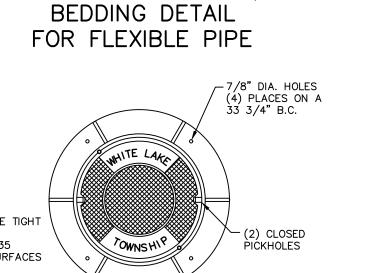
SEE STANDARD MANHOLE

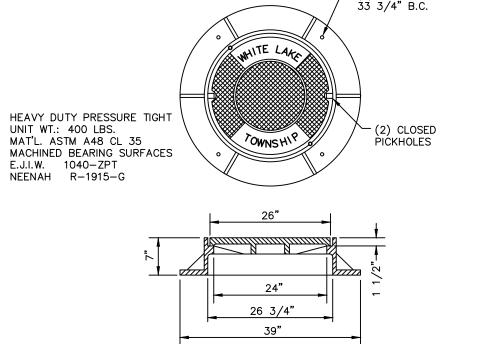
DRAWING FOR OTHER

MANHOLE DETAILS









MANHOLE COVER & FRAME

AND COMPLETELY FILL PAVEMENT GRADE SPACE WITH STIFF 6 BAG MIX CONCRETE, USING AIR-ENTRAINED CEMENT ADJUSTING SUPPORT NUT FOR O" MINIMUM -SETTING FRAME TO CORRECT 8" MAXIMUM . CADILLAC BRAND RUBBER WRAP FOR WATERTIGHTNESS. SEE STANDARD MANHOLE DRAWING FOR OTHER MANHOLE DETAILS. Drawing not to scale.

SKETCH OF MINIMUM MANHOLE REQUIREMENTS

ON MANHOLES CONSTRUCTED OVER EXISTING SEWERS

OPTIONAL CONSTRUCTION DETAILS

PIPE BARREL SUPPORT FOR SEWER

MARK ADDENDUM/CHANGE ORDER DATE MARK ADDENDUM/CHANGE ORDER DATE MARK ADDENDUM/CHANGE ORDER DATE

OCWRC COMMENTS

SKIDS PLACED AT 1/2 -5

DIAMETER OF PIPE

09/11/97

04/30/13

02/17/15

ALTERNATE TO DROP BOWL

(ON 5' DIA. OR LARGER MANHOLES ONLY) POLYVINYL

CHLORIDE (PVC) SEWER PIPE TEE (ASTM D-3034) OR

ACRILONITRILE-BUTADIENE-STYRENE (ABS) SEWER PIPE TEE

SECURE IN PLACE WITH 2 #8X1" SHEET METAL SCREWS AT

DURAN INC. RELINER INSIDE DROP BOWL ATTACHED TO

MANHOLE WALL WITH 4 3/8" STAINLESS STEEL WEDGE

BETWEEN DROP BOWL AND MANHOLE

WALL, PLACE (PRESS SEAL GASKET

TROWELABLE BUTYL, BK-0069-1).

BE MADE BY CORING WITH THE

TAPS TO EXISTING MANHOLES SHALL

-CONTRACTOR USING A KOR-N-SEAL

DRILL WILL ONLY BE PERMITTED IN

LIEU OF CORING WITH PRIOR WRC

BELOW TRANSITION SECTION.

-STONE OR CÁREFULLY AND

MAXIMUM 6" LAYERS.

UNDISTURBED GROUND

ALL HOUSE LEAD PIPE

MATERIAL AND JOINT

BACKFILL WITH STANDARD

FLEXIBLE PIPE BEDDING TO

TEE NOT

ALLOWED

Drawing not to scale.

UNLESS OTHERWISE SPECIFIED,

MINIMUM WALL THICKNESS 0.250.

BE TIGHTLY STRAPPED TO 4"x4"

CASING SIZES

ARRIER PIPE DIA. MIN. CASING PIPE DIA.

MINIMUM CASING PIPE SHALL

BE ASTM-C76 CLASS V OR

ASTM-A-139 GRADE B

SANITARY SEWER SHALL

CREOSOTED TIMBERS

GROOVES CUT

FOR STRAPS

A MAXIMUM 1:1 SLOPE

TO BE OCDPW APPROVED

UNIFORMLY TAMPED SAND IN

BOOT (OR APPROVED EQUAL). BLIND

ATTACH DROP BOWL TO DROP PIPE

USING FERNCO FLEXIBLE COUPLING

1/4" TO 1-1/2" ANGULAR GRADED

WITH STAINLESS STEEL STRAPS.

45° ABS OR PVC PLASTIC BEND,

SOLVENT WELDED TO DROP PIPE.

POINT FORM SMOOTH UNIFORM

CHANNEL IN CONCRETE FILL.

APPROVAL. ALL TAPS MUST BE MADE TEMPORARY SUMP BULKHEAD-

CO., EASY STIK ALL WEATHER

ANCHORS, STAINLESS STEEL WASHERS AND NUTS.

(ASTM D-2680) WITH REMOVABLE PIPE CAP, SLIP-ON FIT.

DESIGN: OA CHECKED: -

FIRST ISSUE

UPDATED TITLE BLOCK

UPDATED NOTES

CONE SECTION WITH MODIFIED

TOP TO HAVE FINISH SURFACE

TRANSITION SECTION MUST BE FIRST-

PVC, SCHEDULE 40 PLASTIC — DROP PIPE. LOCATION SHALL NOT

INTERFERE WITH MANHOLE STEPS,

MINIMUM TWO DURAN INC. RELINER STAINLESS STEEL ADJUSTABLE CLAMPING -

BRACKETS ATTACHED TO MANHOLE WALL

WITH TWO (EACH) 3/8" STAINLESS STEEL WEDGE ANCHORS, STAINLESS STEEL

WASHERS AND NUTS. MAXIMUM SPACING

PVC OR ABS PLASTIC DROP PIPE SHALL -

THAN PIPE ENTERING MANHOLE. LOCÁTION

1/4" TO 1-1/2" ANGULAR GRADED STONE OR CAREFULLY-

AND UNIFORMLY TAMPED SAND

6" ABOVE GRADE ↑

MARK ORANGE STAKE.

WITH BLACK MARKS

AT 1' INTERVALS TO

INDICATE DEPTH TO

LOT/UNIT NUMBER

REMOVABLE WATERTIGHT

BY PIPE AND JOINT

MANUFACTURER.

AND AIRTIGHT STOPPER AS

RECOMMENDED OR SUPPLIED

PLACE RISER AGAINST -

UNDISTURBED GROUND

TO AVOID SETTLEMENT

1/4" TO 1 1/2" ANGULAR GRADED STONE

PLACED AGAINST UNDISTURBED GROUND

FOR SUPPORT OF WYE PIPE AND RISER.

8" BRICK BULKHEAD SHALL

OF THE CASING PIPE AFTER

BE PLACED AT EACH END

SAND HAS BEEN PLACED.

THE CONTRACTOR SHALL

CEMENT BETWEEN SEWER

BLOW SAND OR SAND

PIPE AND CASING

WHERE POSSIBLE.

BACKFILL WITH CARE

INVERT. MARK

ON STAKE.

BE ONE PIPE SIZE SMALLER (6" MIN.)

SHALL BE FLUSH WITH MANHOLE WALL

IN MAXIMUM 6" LAYERS.

AND NOT INTERFERE WITH MANHOLE

OR STEPS AND CONE SECTION

SHALL BE REPOSITIONED.

BETWEEN BRACKETS 10'

SECTION BELOW CONE.

TONGUE AND GROOVE JOINTS AND -

/==

\_\_\_\_\_5'-0" DIA. MIN.

INTERIOR DROP CONNECTION

2"x2" PRESSURE TREATED

~10' MINIMUM AT

PROPERTY LINE FOR

BASEMENT SERVICE

- MINIMUM 1/8"

FALL PER FOOT

√6" RISER

HOUSE/BUILDING LEAD DETAIL

4" MINIMUM CLEARANCE TO

OUTSIDE DIAMETER OF BELL

Drawing not to scale.

11/06/15

45° BEND

-LOCATION STAKE

MAXIMUM>

PLACED IN BACKFILL

WITH STUD INSERTS CAST IN PLACE.

Waterford, Michigan 48328 tel (248) 681-7800 fax (248) 681-2660

2291 Water Street, Suite 6 Port Huron, Michigan 48060 tel (231) 780-3100 fax (231) 780-3115 tel (810) 987-7820 fax (810) 987-789 White Lake Township 7525 Highland Road (M-59) White Lake, Michigan 48383 248-698-3300



SANITARY SEWER STANDARD DETAILS HORZ. AS NOTED OB NO. DATE ISSUED 09/11/97 SHEET NO.

VERT. -

Johnson&Anderson

Muskegon, Michigan 49441

SCALE: HORZ. AS NOTED

20 M.H. BLOCK FOR CLAY

SAND/GRAVEL

8 M.H. BLOCK FOR GRAVEL OR

16 M.H. BLOCK FOR SILTY/SANDY CLAYS

MARK ADDENDUM/CHANGE ORDER DATE | MARK ADDENDUM/CHANGE ORDER DATE | MARK ADDENDUM/CHANGE ORDER DATE 08/16/95 REVISE 10-03-02 FIRST ISSUE UPDATED TITLE BLOCK 12-17-03 04/30/13 ADD SO-1 06-17-96 REVISE NEW BAR GRATE

BASIN

DRAWN: CAD DESIGN: OA

CHECKED: -

-CONCRETE BACKFILL FULL

DRAINAGE STRUCTURE LAYOUT

UNDISTURBED GROUND

Drawing not to scale.

Johnson&Anderson 4494 Elizabeth Lake Road Waterford, Michigan 48328 Muskegon, Michigan 49441

DETAIL

STANDARD LEACHING BASIN

PARALLEL W/CURB

(OPTIONAL)

Port Huron, Michigan 48060 tel (248) 681-7800 fax (248) 681-2660 tel (231) 780-3100 fax (231) 780-3115 tel (810) 987-7820 fax (810) 987-7895

SUBGRADE -

1000 GALLON LEACHING/SETTLING BASIN

White Lake Township 7525 Highland Road (M-59) White Lake, Michigan 48383 248-698-3300



STORM SEWER STANDARD DETAILS

PROFILE VIEW

JOB NO. DATE ISSUED 08/16/95 SHEET NO.

THE OUTLET HOLES MUST BE PLACED AT THE BOTTOM

SO-2 FILTER MAY BE OMITTED IF PLACED WITHIN FOREBAY

OF THE BASIN AND THEIR CAPACITY MUST BE SUCH THAT A PERIOD OF AT LEAST 48 HOURS WILL BE

REQUIRED TO OUTLET A 1-YEAR STORM VOLUME.

SO-2 DETENTION BASIN OUTLET FILTER (CMP) (SEE OCDC STANDARD DETAILS FOR SEDIMENT BASIN OR FOREBAY OUTLET STRUCTURE)

Item A.

04/30/13

UPDATED TITLE BLOCK

ADD NOTE 19

07/06/99

REVISE HYD. & THRUSTING 05/18/98

ADD BLOWOFF

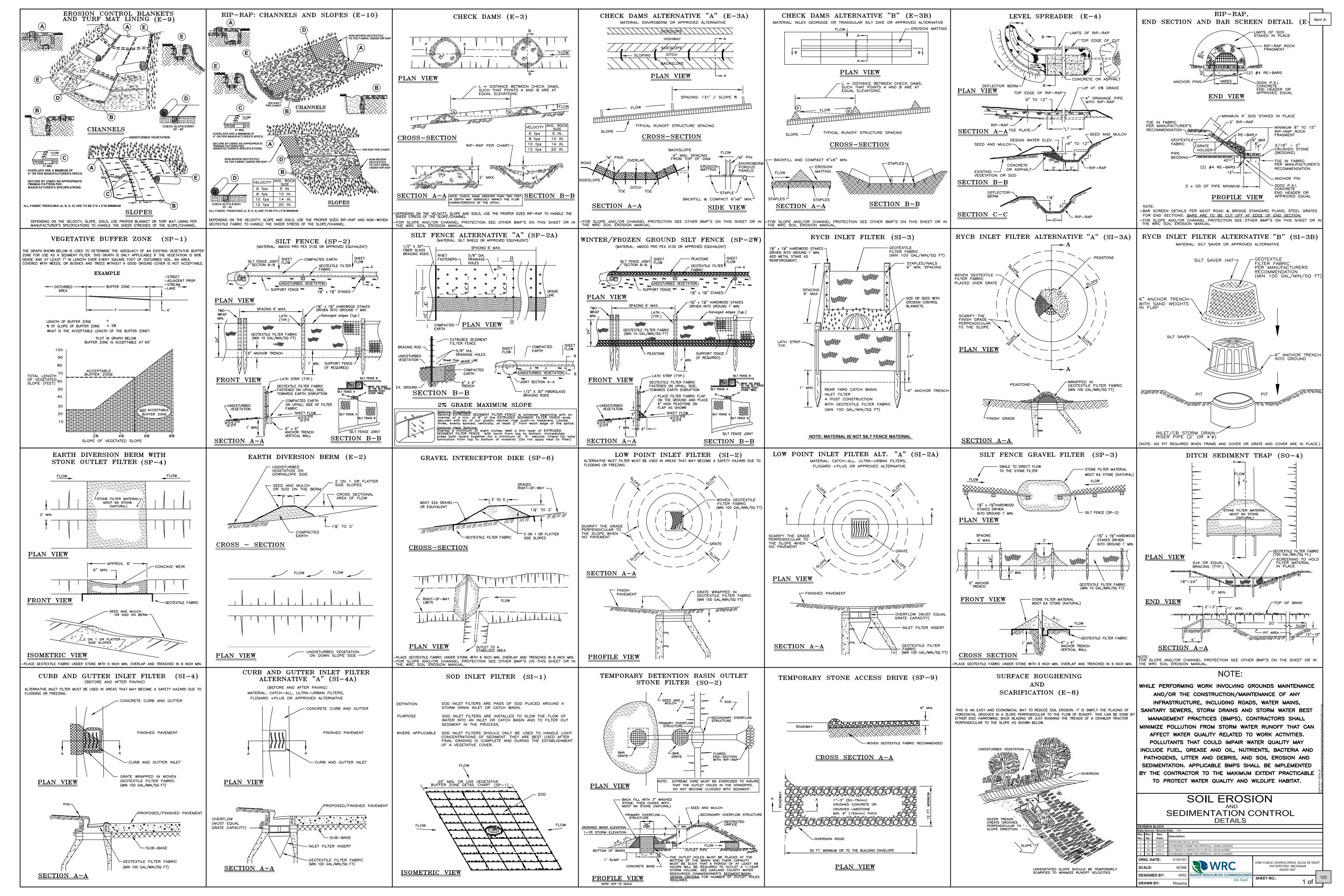
Muskegon, Michigan 49441

Port Huron, Michigan 48060 tel (248) 681-7800 fax (248) 681-2660 tel (231) 780-3100 fax (231) 780-3115 tel (810) 987-7820 fax (810) 987-7895 White Lake, Michigan 48383 248-698-3300



# STANDARD DETAILS

SHEET NO.



Shredded Bark Mulch (typ.)

3 Blue Point Juniper (4'ht.)

4(5.19D)(7\_of 37 reg.)

(5 of 37 rea.)

10 Hicks Yew (30" ht.)(5.19D)

7 Yellow Carpet Rose (30" spd.)

#### Interior Landscape Requirements

or Screen Wall.

Required: All interior landscaping shall provide 1 large deciduous tree, small ornamental tree, or evergreen tree and 5 shrubs for every 300 sq. ft, of required interior landscaping area. (46,549 sq. ft. x 15% = 6987 sq. ft.)

Due to the non exclusive utility and access easements, overhead power lines, electrical panels and sanitary lift station the site does not allow space for the interior landscaping per ordinance. However, the landscape plan does provide 15,716 sq. ft. of landscaping, 39 Trees and 291 Shrubs through careful coordinantion of parking lot landscaping, peripheral landscaping and building landscaping.

## <u>Irrigation Requirements</u>

All lawn and shrub bed areas in excess of 200 sq. ft. shall be watered by an automatic irrigation system to assist in maintaining a healthy condition for all landscape plantings and lawn areas. The irrigation system shall be designed and installed by the Landscape Contractor and include a rain sensor. Shrub areas shall be irrigated with drip irrigation.

### Plant List

Common Name	l abia blassa	<ul> <li>Production of the production of the</li></ul>	
	Latin Name	Planted Size	Section
Redpointe Maple	Acer rubrum 'Frank Jr.'	21/2" cal.	5.19D&G
Ginkgo Tree	Ginkgo biloba	21/2" cal.	5.19 D & G
Boulevard American Linden	Tilia americana 'Boulevard'	21/2" cal.	5.19 D
Armstrong Gold Maple	Acer rubrum 'Armstrong Gold'	21/2" cal.	5.19D
Serbian Spruce	Picea omorika	7' Ht.	5.19 D
Little Devil Ninebark	Physocarpus opulifolius "Little Devil"	30" ht.	5.19D&N
Little Henry Itea	Itea virginica 'Sprich'	30" ht.	5.19D
Hick's Yew	Taxus 'Hicksii	30" ht.	5.19D
Spilled Mine Meigela	Meigela florida 'Bokraspiwi'	30" spd.	5.19D&G
Yellow Carpet Rose	Rosa 'Yellow Flower Carpet'	30" spd.	5.19 6
Gem Box inkberry Holly	llex glabra 'Gem Box'	30" ht.	5.19 6
Blue Point Juniper	Juniperus chinensis 'Blue Point'	4' ht.	
_	Ginkgo Tree  Boulevard American Linden  Armstrong Gold Maple  Serbian Spruce  Little Devil Ninebark  Little Henry Itea  Hick's Yew  Spilled Wine Weigela  Yellow Carpet Rose  Gem Box Inkberry Holly	Ginkgo Tree  Ginkgo biloba  Boulevard American Linden  Armstrong Gold Maple  Serbian Spruce  Picea omorika  Physocarpus opulifolius "Little Devil"  Little Henry Itea  Hick's Yew  Spilled Mine Meigela  Sem Box Inkberry Holly  Find americana 'Boulevard'  Acer rubrum 'Armstrong Gold'  Picea omorika  Physocarpus opulifolius "Little Devil"  Itea virginica 'Sprich'  Taxus 'Hicksii  Meigela florida 'Bokraspiwi'  Rosa 'Yellow Flower Carpet'  Ilex glabra 'Gem Box'	Ginkgo Tree  Ginkgo biloba  2 1/2" cal.  Boulevard American Linden  Armstrong Gold Maple  Acer rubrum 'Armstrong Gold'  Serbian Spruce  Picea omorika  7' Ht.  Little Devil Ninebark  Little Henry Itea  Hick's Yew  Taxus 'Hicksii  Spilled Mine Meigela  Yellow Carpet Rose  Ginkgo biloba  2 1/2" cal.  3 0" ht.  Spriban Spruce  Physocarpus opulifolius "Little Devil"  3 0" ht.  3 0" ht.  Spilled Mine Meigela  Meigela florida 'Sprich'  3 0" spd.  Yellow Carpet Rose  Rosa 'Yellow Flower Carpet'  3 0" spd.  Gem Box Inkberry Holly  Ilex glabra 'Gem Box'  3 0" ht.

(11 of 90 req.) NONEXCLUSIVE SANITARY SEWER 2 Ginkgo Tree (21/2" cal.)(5.19D)(2 of 5 req.) \_EASEMENT Lawn RIGHT OF WAY EASEMENT 3 Blue Point Juniper (4' ht.) -Tree 5 Blue Point Juniper (4' ht.) Existing Existing \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ \_ Existing - GUY WIRE

HIGHLAND ROAD

Existing Pavement

(scale: 1"=20')



· 7 Little Henry Itea (30" ht.)(5.19D)(7 of 37 req.)

7 Yellow Carpet Rose (30" spd.)(5.19D)(7 of 37 req.)

7 Little Henry Itea (24-30" ht.)(5.19D)(7 of 37 req.)

1 Redpointe Maple (21/2" cal.)(5.19D)(1 of 5 req.)

1 1 Little Devil Ninebark (30" ht.)(5019D)

1. All landscaping shall be installed by a qualified Landscape Contractor. Plant sizes specified on the landscape plan shall be the size planted. Plants smaller then specified will be rejected. Substitutions of any kind must be approved by the Landscape Architect.

All plantings shall be mulched with 3" double shredded premium hardwood bark mulch. Frees in lawn areas shall receive a 6' diameter bark ring 3" deep.. 3. The landscape contractor shall remove any twine that is wrapped around the trunk of a tree or shrub as well as the top third of any burlap. Remove excess soil on the top of the root ball to expose the root flare or first layer of roots prior to planting. Use a wire cutter to make 3-5 cuts in the wire basket to allow roots to grow through. 4. When planting trees in the lawn area or on the berm the existing soil within a 10 foot

diameter shall be loosened by tilling or similar and amended with composted manure or peat at a depth of 6-12". 5. Planting areas shall be edged with a mechanical bed edger to define a border for the

shedded bark mulch unless noted otherwise.

Parking Islands shall be back filled with at least 12" of topsoil. Amend the topsoil

with composted manure and mix into the topsoil at a depth of 6-12". Any aggregate or stone from the construction of the parking lot shall be removed prior to backfill. 7. Lawn areas shall recieve at least 4" of topsoil and sod. Check with specifications for topsoil availability or contact project manager. Topsoil for lawns shall be appropriate for growing and sustaining a healthy lawn.

8. All lawn and shrub bed areas in excess of 200 sq. ft. shall be watered by an automatic irrigation system. The irrigation system shall be designed and installed by the Landscape Contractor and include a rain sensor. Shrub areas shall be irrigated with drip irrigation. 9. Maintenance of the landscape shall be provided for by the owner and include fertilizing of lawn and plant material, yearly pruning, top dressing of mulch areas every other year and provide 1" of water per week during the growing season.

10. All required plantings shall be guaranteed for a period of 2 years and those which are diseased or dead must be replaced in conformance with the approved landscape plan. 11. Plant materials shall be chosen and installed in accordance with standards recommended by the County Cooperative Extension Service or American Nursery Association.

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Joyce E. Neise PLA, ASLA

 $\overline{e}$ 

**SOCIETY OF** 

LANDSCAPE ARCHITECTS PROJECT NUMBER:

010322 DRAWN BY:

Joyce E. Weise PLA, ASLA

DRAWING DATE: 012822 ISSUED FOR:

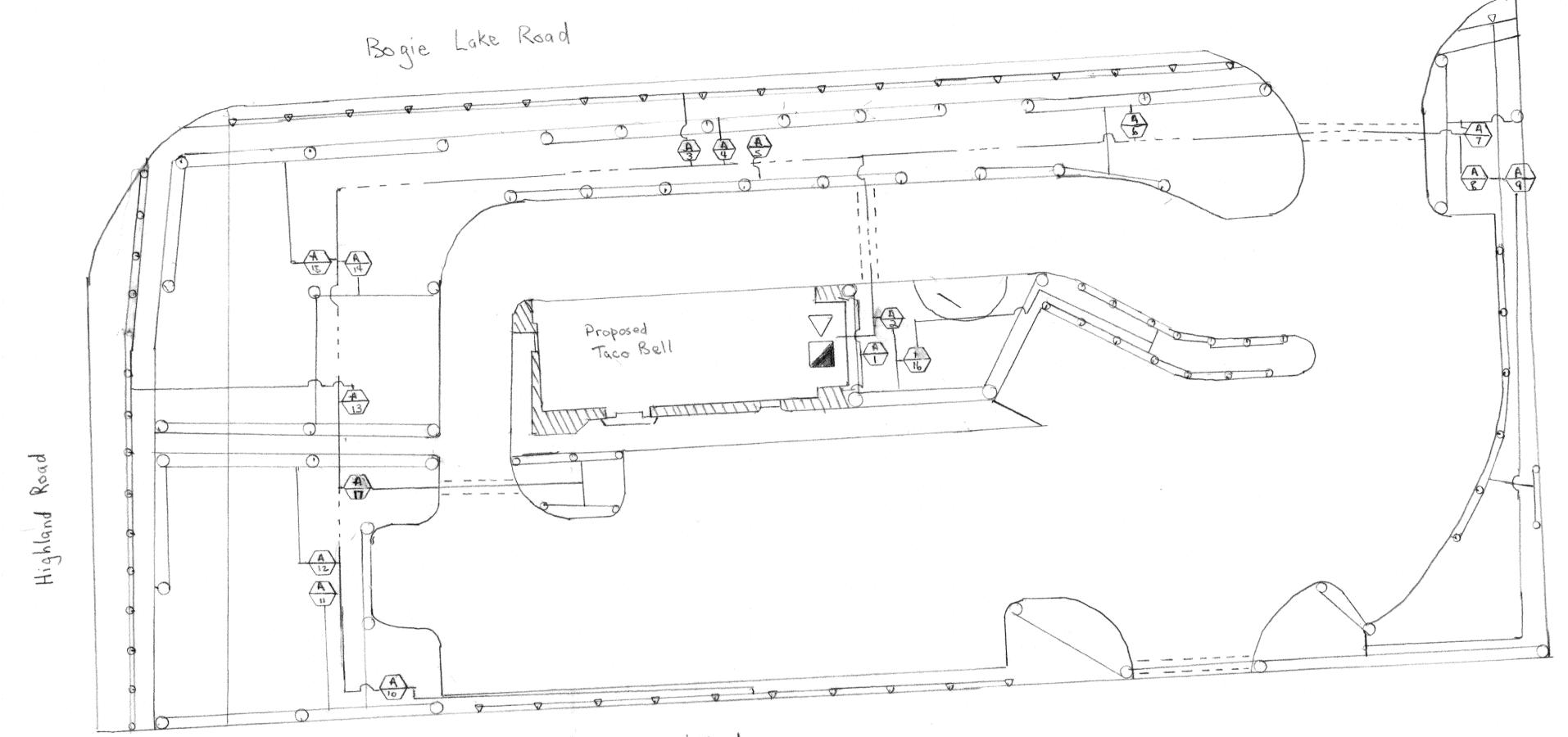
02/01/22 Site Plan Approval 03/01/22 Final Site Plan Approva 03/28/22

SCALE

SHEET NUMBER

1"=20





I" Tap W/Febro Vacuum Breaker Rainbird Controller w/rain sensor

Value number w/program

- Rainbird 5000 retor
- Rainbird 1800 spray w/sst Nozzle

  Rainbird 1800 spray w/sst Nozzle

  Orip irrigation

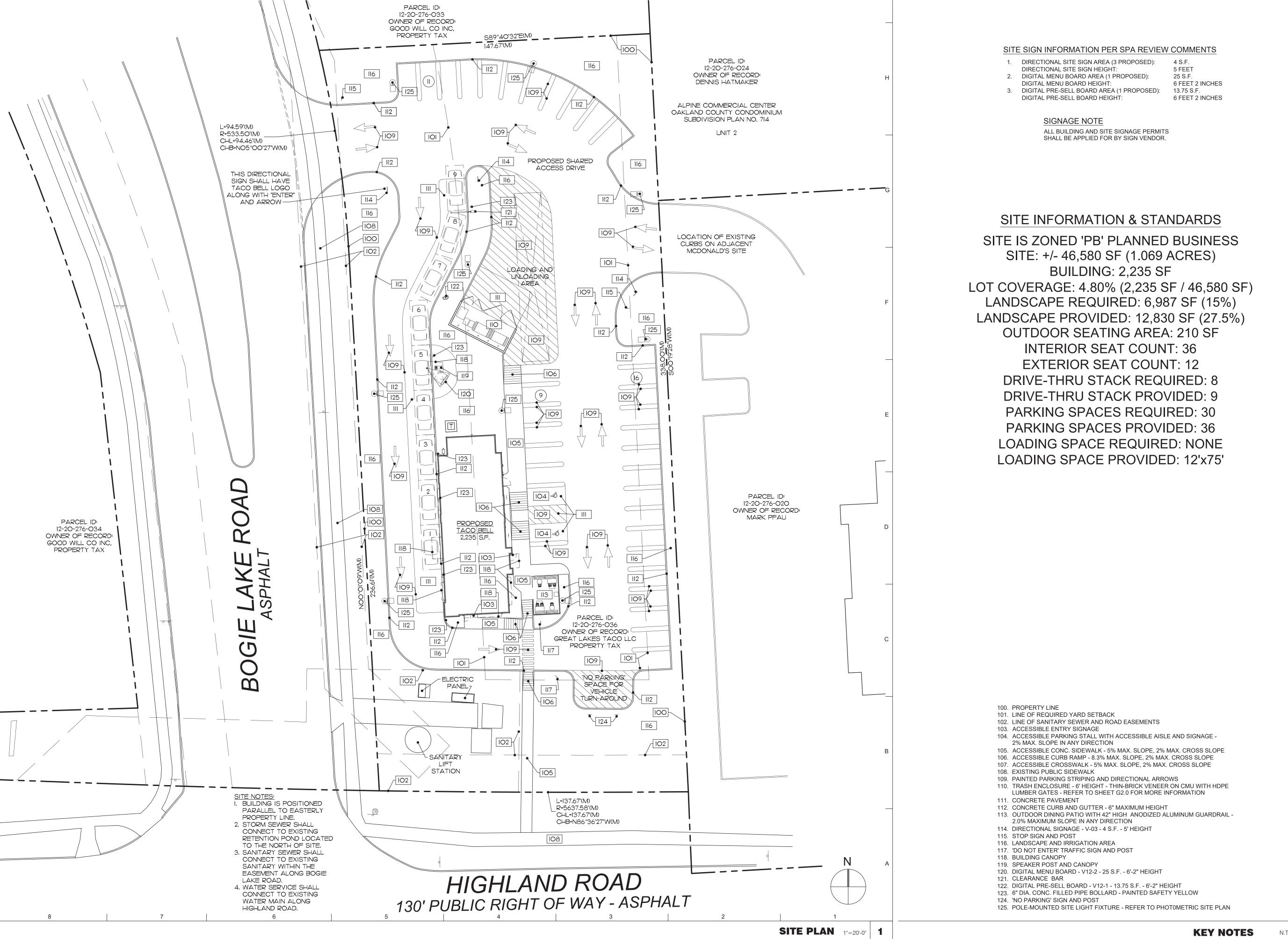
  1.25" mainline

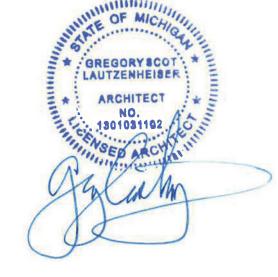
1" poly feed line ===3" PVC, sleeve

Irrigation Plan
SCALE: 1"- 22 APPROVED BY: DRAWN BY REVISED

Taco Bell, White Lake

DRAWING NUMBER







INC. A.I.A 441 S. LIVERNOIS ROAD SUITE 265

ROCHESTER HILLS, MI 48307 (248) 524-4700 (248) 524-9746

DDO IECT # 20022

PROJECT # 20023					
	DATE	REMARKS			
	2/1/2022	Site Plan Approval			
	4/13/2022	Site Plan Approval			
	5/11/2022	Site Plan Approval			

CONTRACT DATE: BUILDING TYPE: END. MED40

PLAN VERSION: MARCH 2020 BRAND DESIGNER:

SITE NUMBER:

STORE NUMBER: PA/PM:

DRAWN BY.: JOB NO.:

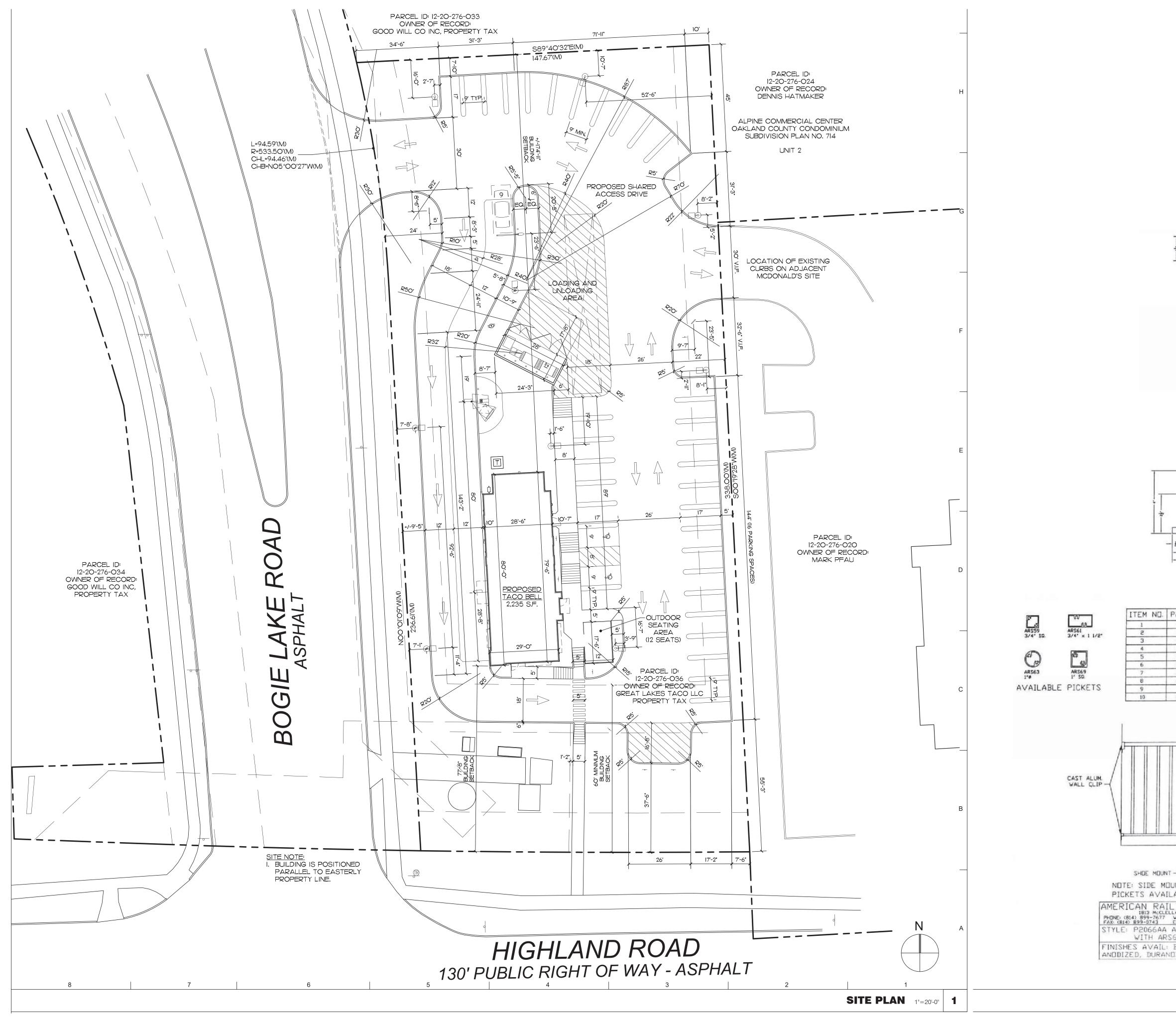
> TACO, L.L.C. 6305 Highland Road (M-59) White Lake Twp., Michigan 48383

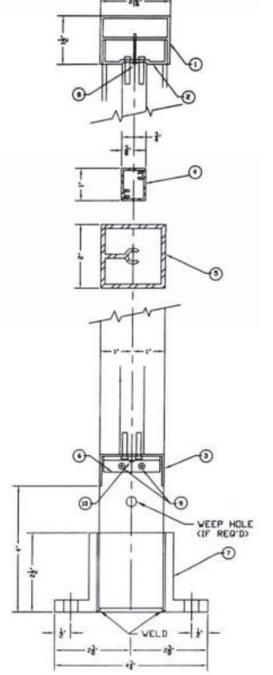
**GREAT LAKES** 

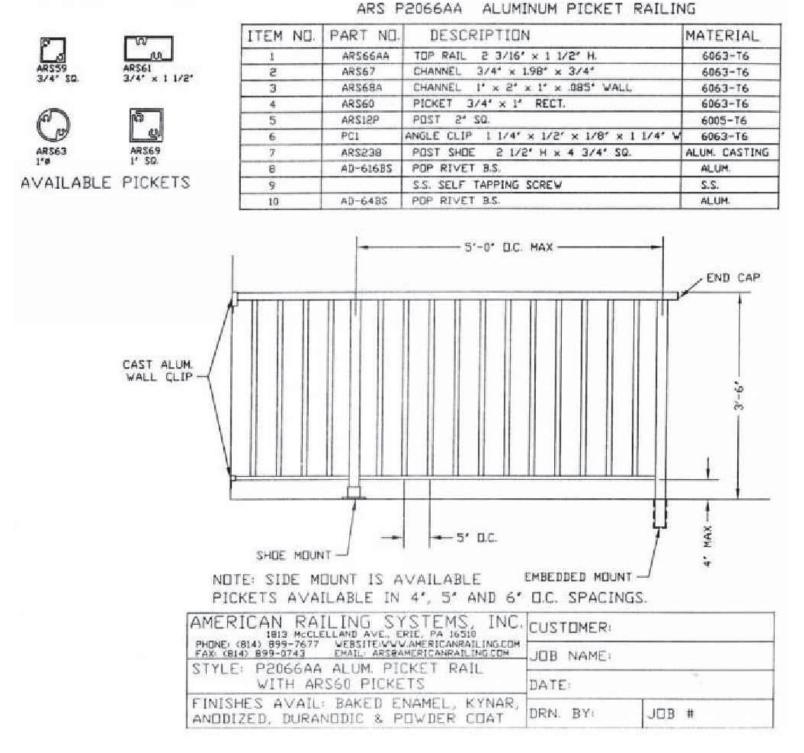


**ENDEAVOR 2.0** SITE PLAN

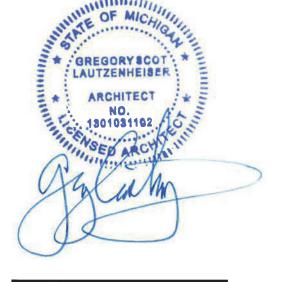
N.T.S.







**PATIO RAIL INFORMATION** 





ARCHITECTS
INC. A.I.A

441 S. LIVERNOIS ROAD
SUITE 265
ROCHESTER HILLS, MI 48307

PHONE FAX (248) 524-4700 (248) 524-9746 PROJECT # 20023

PROJECT # 20023						
DATE	REMARKS					
2/1/2022	Site Plan Approval					
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5/11/2022	Site Plan Approval					

CONTRACT DATE:

BUILDING TYPE: END. MED40

PLAN VERSION: MARCH 2020

SITE NUMBER: STORE NUMBER:

BRAND DESIGNER:

PA/PM: DRAWN BY.:

JOB NO.:

GREAT LAKES TACO, L.L.C. 6305 Highland Road (M-59) White Lake Twp., Michigan 48383



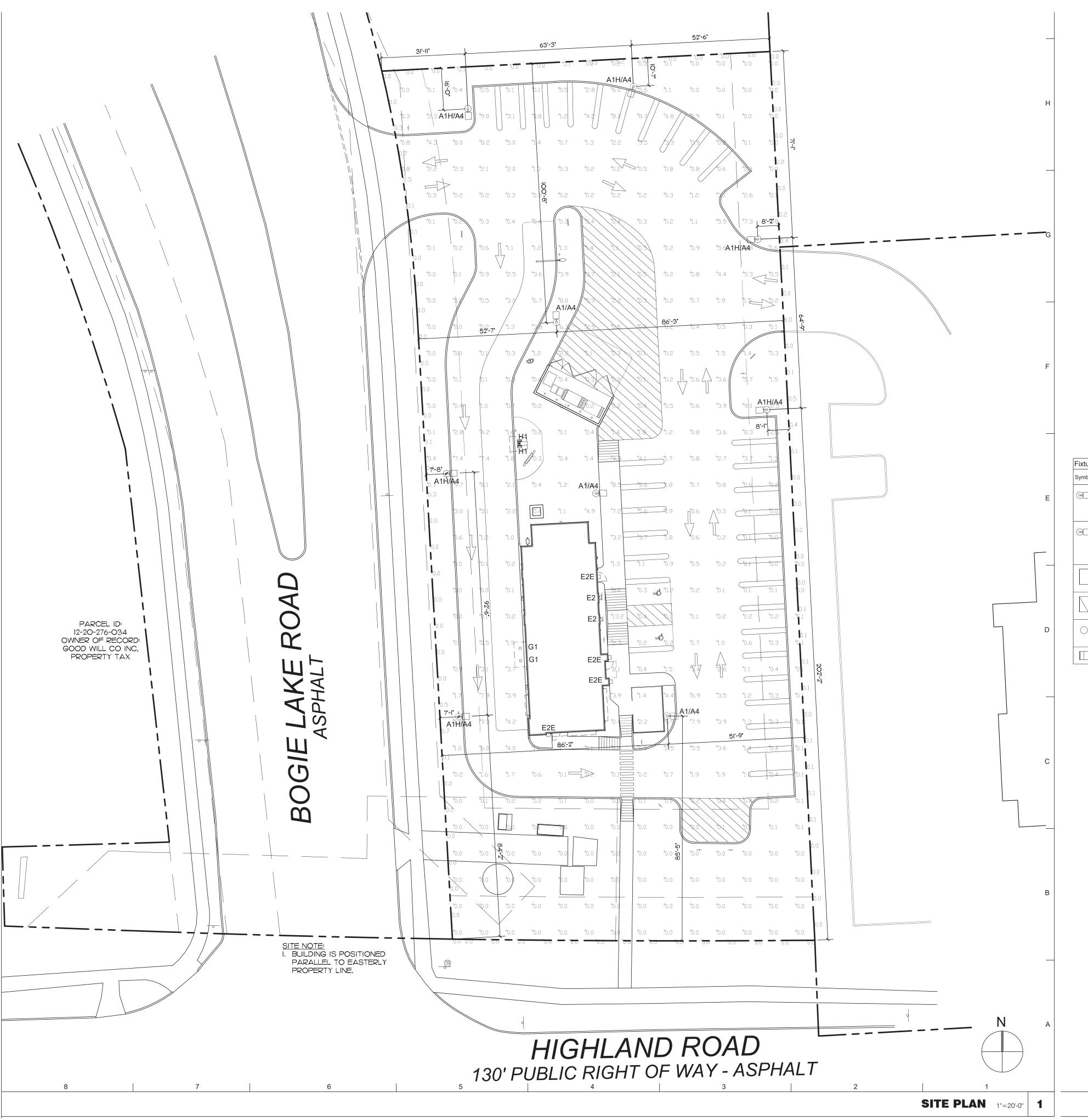
ENDEAVOR 2.0

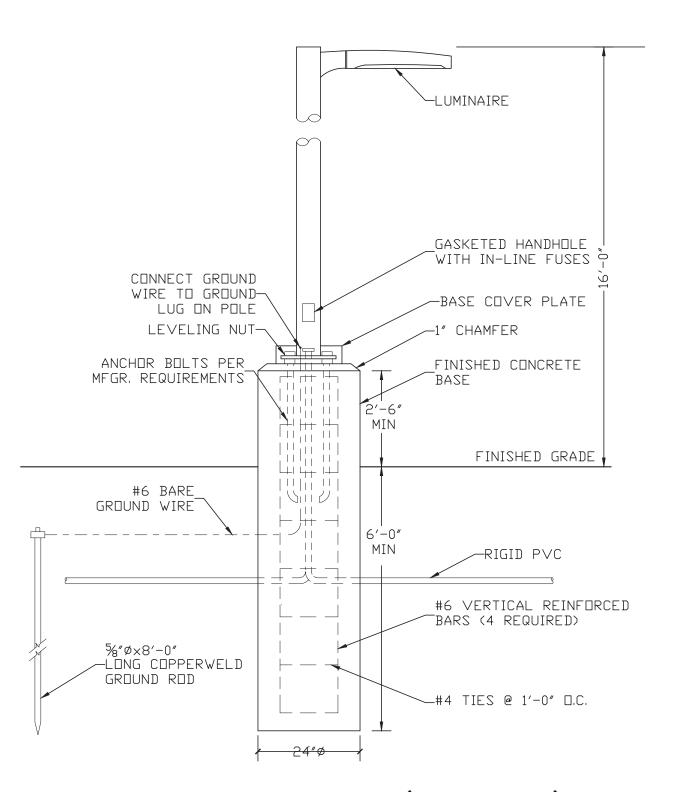
DIMENSIONAL

SITE PLAN

A0.6

N.T.S.





# CONCRETE BASE DETAIL (A1 & A1H)

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	LLF	Wattage
9	A1/A4	3	,	MRM-LED-09L-SIL-FT-40- 70CRI FIXTURE, 4SQB3-A125-13'-6"-BRZ POLE	LED POLE MOUNTED FIXTURE, FORWARD THROW, UNV VOLTAGE, 0-10V DIMMING, 4000CCT, 70CRI, MOUNTED TO 13'-6" ALUMINUM POLE AND 2'-6" CONCRETE BASE. TOP OF THE MOUNTED LIGHT FIXTURE AND POLE AT 16'-0"AFG.	LED, 62W, 4000K	1	9860	0.85	62
	A1H/A4	6		MRM-LED-09L-SIL-FT-40- 70CRI-IH FIXTURE, 4SQB3-A125-13'-6"-BRZ POLE	LED POLE MOUNTED FIXTURE WITH HOUSE SIDE SHIELD, FORWARD THROW, UNV VOLTAGE, 0-10V DIMMING, 4000CCT, 70CRI, MOUNTED TO 13'-6" ALUMINUM POLE AND 2'-6" CONCRETE BASE. TOP OF THE MOUNTED LIGHT FIXTURE AND POLE IS AT 16'-0"AFG.	LED, 62W, 4000K	1	7081	0.85	62
	E2	2		WDGE1 LED P1 40K 80CRI VF MVOLT DWG DDBXD	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC. TOP OF MOUNTED FIXTURE IS AT 12'-0"AFG. (SECURITY LIGHTING FOR ADJACENT WALKWAY)	LED, 10W, 4000K	1	1227	0.9	10.0002
	E2E	4		WDGE1 LED P1 40K 80CRI VF MVOLT E4WH DWG DDBD MVOLT E4WH DWG DDBD	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC. TOP OF MOUNTED FIXTURE IS AT 9'-1"AFG.	LED, 10W, 4000K	1	1227	0.9	10.0002
$\bigcirc$	G1	2	LIGHTOLIER	FD6R4CCT	6" DIAMETER RECESSED LED FLAT DOWN LIGHT, DIFFUSED LENS, WET LISTED, FIXTURE RECESSED MOUNTED AT 9'-0"AFG	LED, 13W, 4000K	1	900	0.9	13
	H1	2	WESTGATE MFG	LFX-XS-15W-40K-KN-BRZ	LED 90 DEGREE ADJUSTABLE FLOOD LIGHT, FIXTURE MOUNTED AT 7'-3"AFG.	LED, 15W, 4000K	1	1863	0.9	14.76

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
WEST DRIVEWAY	+	1.8 fc	9.7 fc	0.0 fc	N/A	N/A
BUILDING	+	2.8 fc	32.6 fc	0.0 fc	N/A	N/A
EAST DRIVEWAY	+	1.7 fc	8.4 fc	0.1 fc	84.0:1	17.0:1
EAST PARKING LOT	+	1.6 fc	8.8 fc	0.0 fc	N/A	N/A
NORTH PARKING LOT	+	2.0 fc	9.9 fc	0.2 fc	49.5:1	10.0:1
PROPERTY LINE	+	0.1 fc	0.7 fc	0.0 fc	N/A	N/A
SITE	+	1.4 fc	13.2 fc	0.0 fc	N/A	N/A

Luminaire Locations										
		Location			Aim					
No.	Label	Х	Υ	Z	МН	Orientation	Tilt	Х	Υ	z
11	A1/A4	240.34	1.57	15.70	15.70	176.74	0.00	240.41	0.40	0.00
12	A1/A4	324.92	28.43	15.70	15.70	176.74	0.00	324.98	27.26	0.00
13	A1/A4	390.17	43.20	15.70	15.70	86.97	0.00	391.35	43.26	0.00
1	A1H/A4	470.96	77.21	15.70	15.70	267.71	0.00	469.78	77.17	0.00
2	A1H/A4	421.42	-32.93	15.70	15.70	357.11	0.00	421.37	-31.76	0.00
3	A1H/A4	356.66	-36.28	15.70	15.70	357.11	0.00	356.60	-35.10	0.00
5	A1H/A4	240.00	80.66	15.70	15.70	176.74	0.00	240.07	79.49	0.00
8	A1H/A4	479.44	14.41	15.70	15.70	285.11	0.00	478.31	14.72	0.00
9	A1H/A4	332.38	85.31	15.70	15.70	176.74	0.00	332.45	84.14	0.00
1	E2E	233.74	46.68	8.50	8.50	267.12	0.00	233.61	46.68	0.00
2	E2E	293.18	28.03	8.50	8.50	177.14	0.00	293.18	27.90	0.00
3	E2E	253.26	23.47	8.50	8.50	177.14	0.00	253.27	23.34	0.00
4	E2E	262.54	23.94	8.50	8.50	177.14	0.00	262.55	23.80	0.00
6	E2	285.08	27.47	11.40	11.40	176.78	0.00	285.08	27.34	0.00
7	E2	277.04	27.06	11.40	11.40	176.78	0.00	277.05	26.93	0.00
1	G1	261.76	57.17	9.00	9.00	359.80	0.00	261.76	57.17	0.00
2	G1	265.95	57.42	9.00	9.00	359.80	0.00	265.95	57.42	0.00
1	H1	342.29	57.70	7.30	7.30	267.45	157.61	341.56	57.66	10.40

1. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT 6'-0" ABOVE FINISH GRADE TO FACE OF FIXTURE. REFER TO LUMINAIRE LOCATIONS SCHEDULE FOR FIXTURE FACE MOUNTING

2 H1 345.69 57.85 7.30 7.30 86.99 156.83 346.48 57.89 10.40

2. SEE FIXTURE SCHEDULE FOR OVERALL MOUNTING HEIGHT OF FIXTURES.

3. SEE FIXTURE SCHEDULE FOR LIGHT LOSS FACTOR.

THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERNG SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINARE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

SITE LIGHTING NOTES

N.T.S.





ARCHITECTS INC. A.I.A 441 S. LIVERNOIS ROAD SUITE 265 ROCHESTER HILLS, MI 48307

PHONE (248) 524-4700 (248) 524-9746

PROJECT # 20023 DATE REMARKS

2/1/2022 Site Plan Approval 4/13/2022 Site Plan Approval 5/11/2022 Site Plan Approval CONTRACT DATE:

BUILDING TYPE: END. MED40 MARCH 2020 PLAN VERSION: BRAND DESIGNER:

SITE NUMBER:

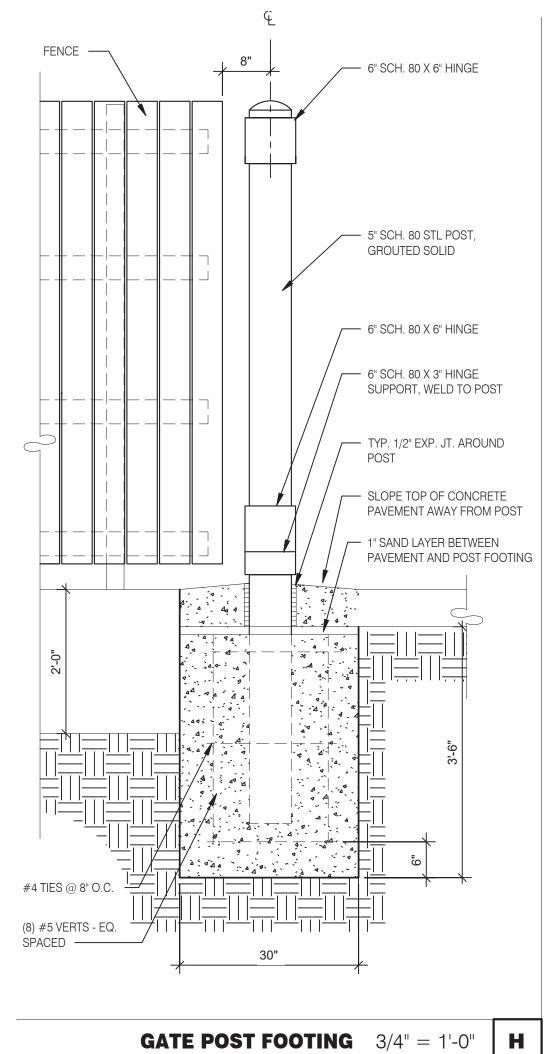
STORE NUMBER: PA/PM: DRAWN BY.:

JOB NO.:

**GREAT LAKES** TACO, L.L.C. 6305 Highland Road (M-59) White Lake Twp., Michigan 48383



**ENDEAVOR 2.0 PHOTOMETRIC** SITE PLAN



GATE HARDWARE: ALL HARDWARE AND ACCESSORIES SHALL BE HEAVY

GATE STOP: MUSHROOM TYPE OR FLUSH PLATE WITH ANCHORS SET IN

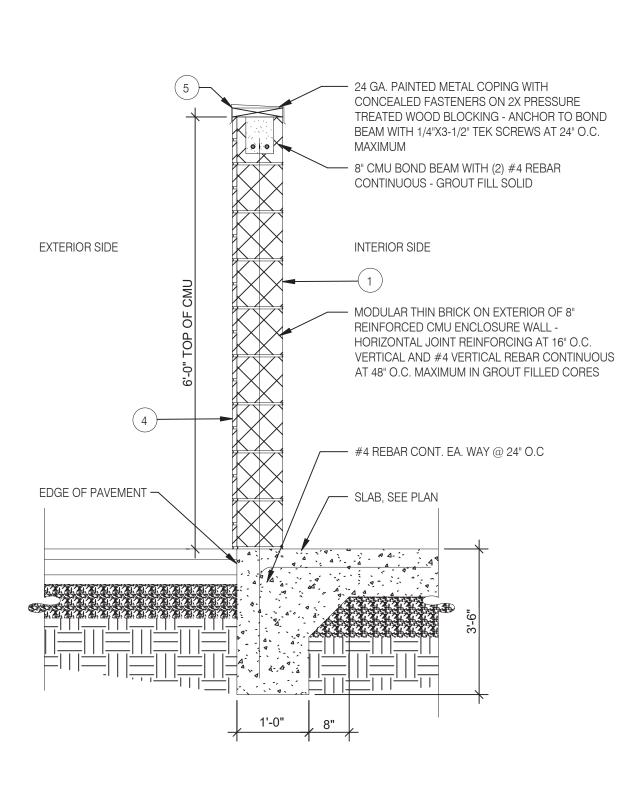
CONCRETE TO ENGAGE THE CENTER DROP ROD OR PLUNGER BAR.

GATE NOTES: (4) EQUAL WIDE x 6-0" HIGH MTL. GATES, TYPE 'B' 1 1/2" DECKING, 22GA. W/ T.S. 1 X1 1875 BAR CROSS BRACING WELD AND

GRIND SMOOTH ALL CONNECTIONS, TYP. PRIME AND PAINT ALL STEEL

**ENCLOSURE NOTES** 

COMPONENTS.



		FENCE SECTION	3/4" = 1'-0" <b>F</b>
SYMBOL	AREA	MANUFACTURER	COLOR
1	GATE FRAME AND EXPOSED CMU COLOR	SHERWIN WILLIAMS	SW 7055 ENDURING BRONZE
2	PIPE BOLLARDS	SHERWIN WILLIAMS	CAUTION YELLOW
3	HDPE LUMBER	MAX. R	LIGHT BROWN TEXTURE
4	3 9/16" X 7 5/8" MODULAR THIN BRICK	INTERSTATE BRICK COMPANY	70% PEWTER / 30% PLATINUM RANDOM MIX INSTALL
5	PAINTED METAL COPING		CYBERSPACE (SW7076) KYNAR 500 COATING

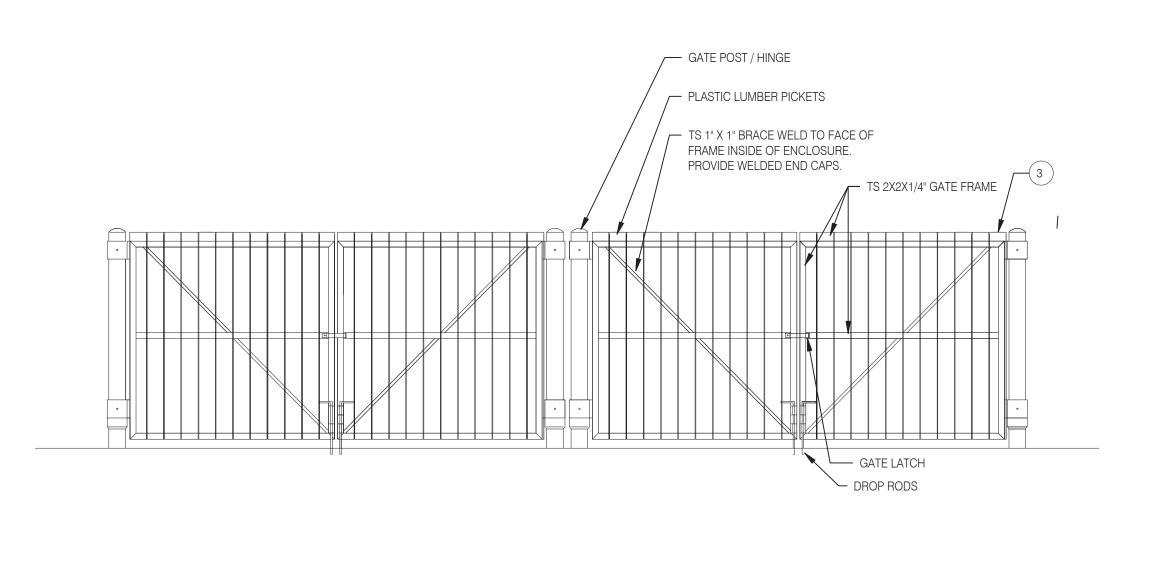
**SCHEDULE** 

FRONT ELEVATION

N.T.S.

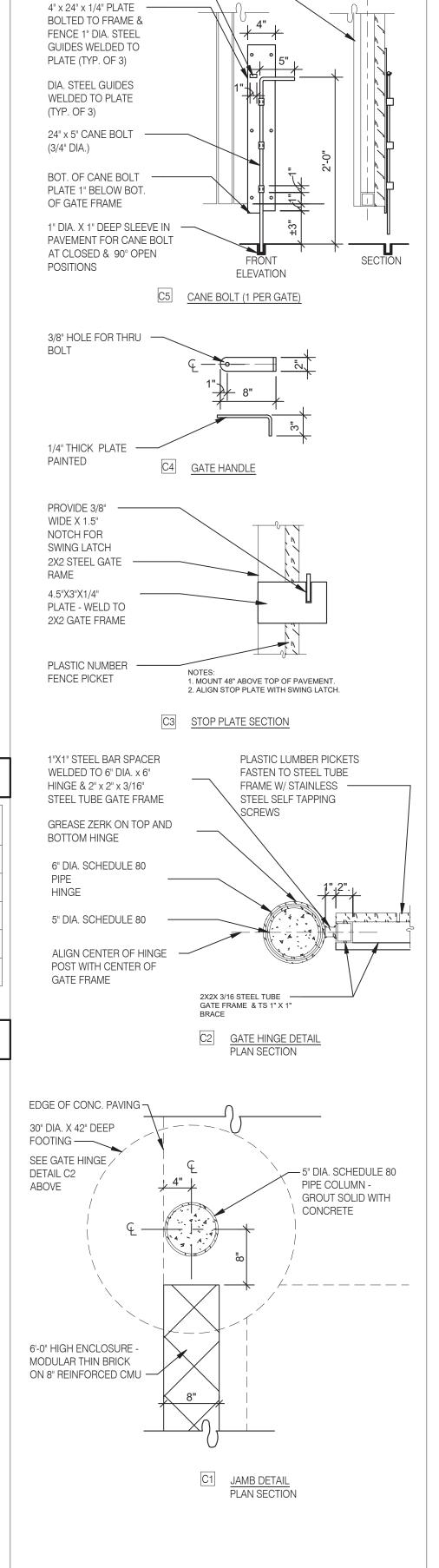
D

N.T.S.



G

N.T.S.



**GATE DETAILS** 

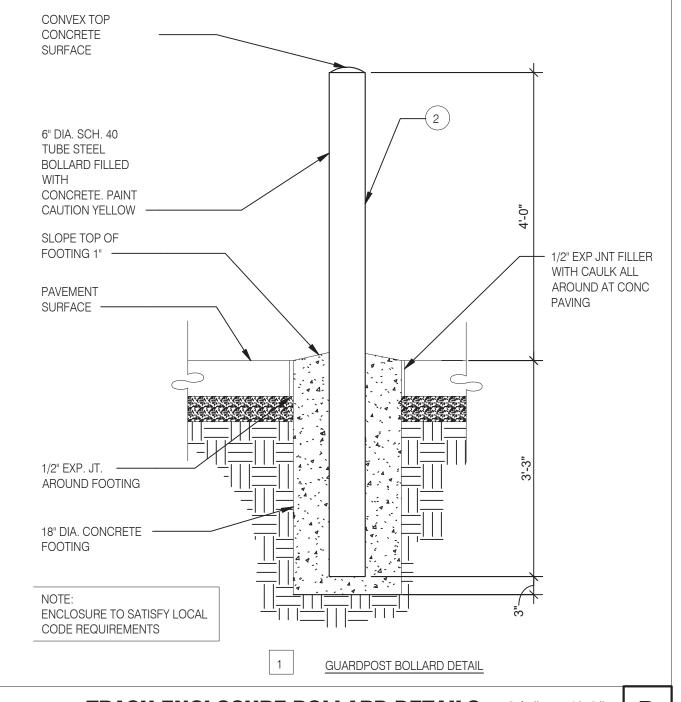
C

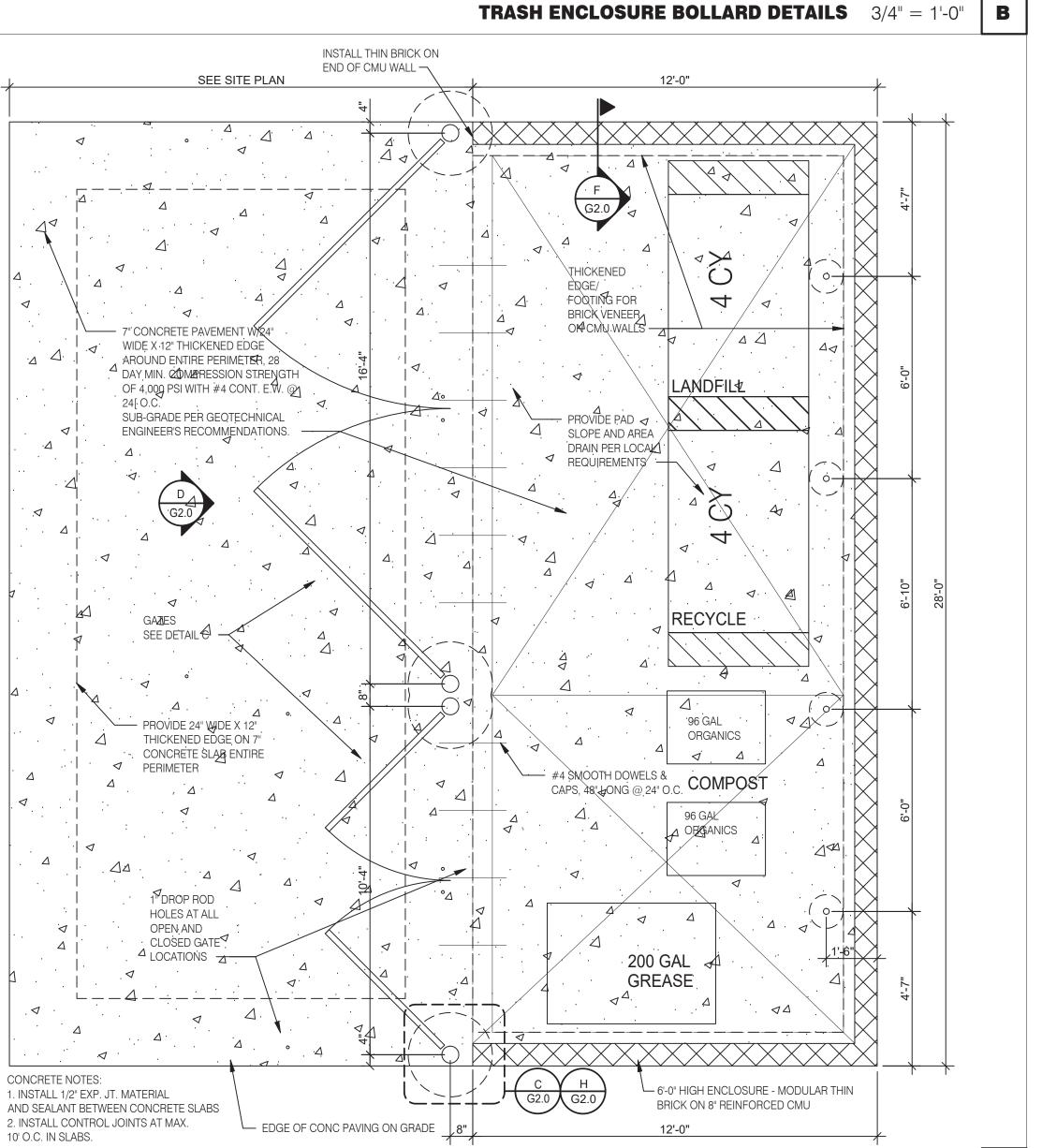
N.T.S.

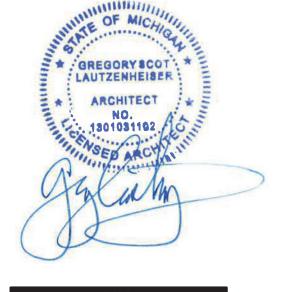
TS 1" X 1" -----

CANE BOLT ——

BRACE









ARCHITECTS INC. A.I.A

SUITE 265
ROCHESTER HILLS, MI 48307
PHONE FAX
(248) 524-4700 (248) 524-9746

PROJECT # 20023

DATE	REMARKS
2/1/2022	Site Plan Approval
4/13/2022	Site Plan Approval
5/11/2022	Site Plan Approval

CONTRACT DATE:
BUILDING TYPE:
PLAN VERSION:

PLAN VERSION: BRAND DESIGNER:

SITE NUMBER: STORE NUMBER:

PA/PM: DRAWN BY.:

JOB NO.:

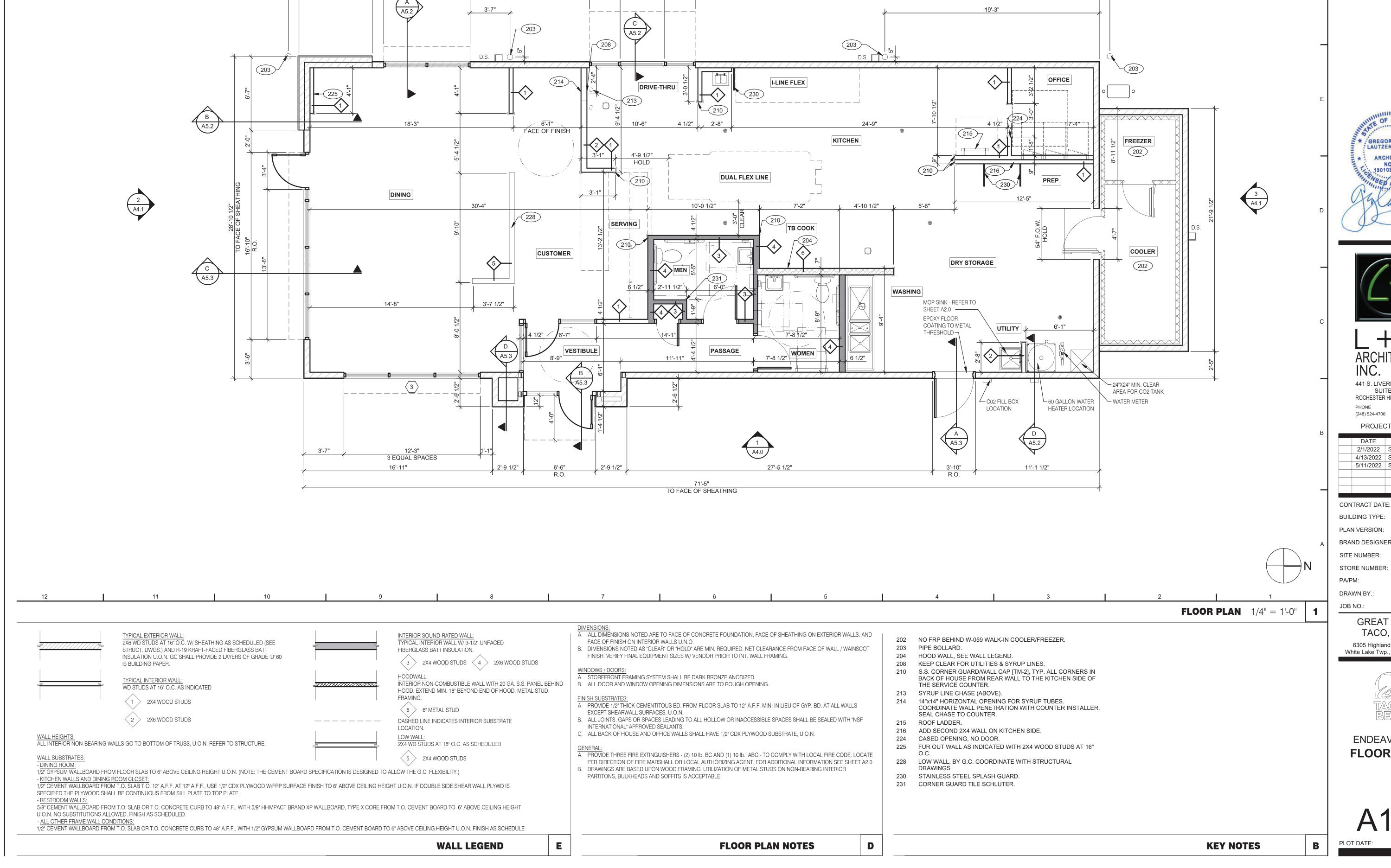
GREAT LAKES TACO, L.L.C. 6305 Highland Road (M-59) White Lake Twp., Michigan 48383



TRASH
ENCLOSURE
DETAILS

G2.0

**TRASH LAYOUT** 3/8" = 1'-0"



36'-3 1/2"

7'-9" 2 EQUAL SPACES





441 S. LIVERNOIS ROAD

SUITE 265 ROCHESTER HILLS, MI 48307

(248) 524-4700 (248) 524-9746

PROJECT # 20023 DATE REMARKS

2/1/2022 | Site Plan Approval 4/13/2022 Site Plan Approval 5/11/2022 Site Plan Approval

BUILDING TYPE:

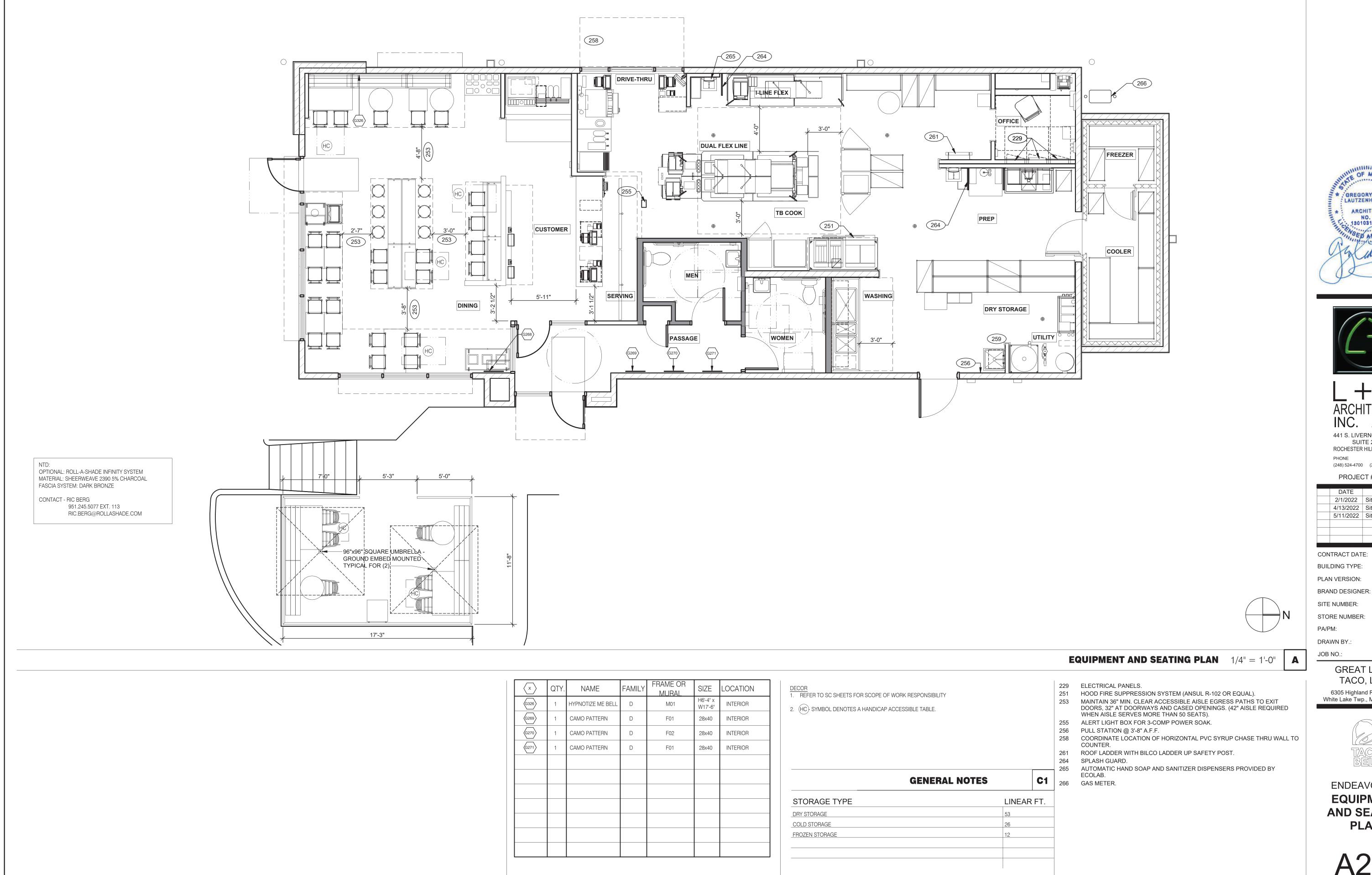
BRAND DESIGNER:

SITE NUMBER:

**GREAT LAKES** TACO, L.L.C. 6305 Highland Road (M-59) White Lake Twp., Michigan 48383



**ENDEAVOR 2.0 FLOOR PLAN** 



**ARTWORK SCHEDULE** 

D

**SHELVING QUANTITIES** 

E

**NOT USED** 





441 S. LIVERNOIS ROAD SUITE 265 ROCHESTER HILLS, MI 48307

(248) 524-4700 (248) 524-9746

PROJECT # 20023					
DATE	REMARKS				
2/1/2022	Site Plan Approval				
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CONTRACT DATE: BUILDING TYPE:

PLAN VERSION:

SITE NUMBER:

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> **GREAT LAKES** TACO, L.L.C. 6305 Highland Road (M-59) White Lake Twp., Michigan 48383

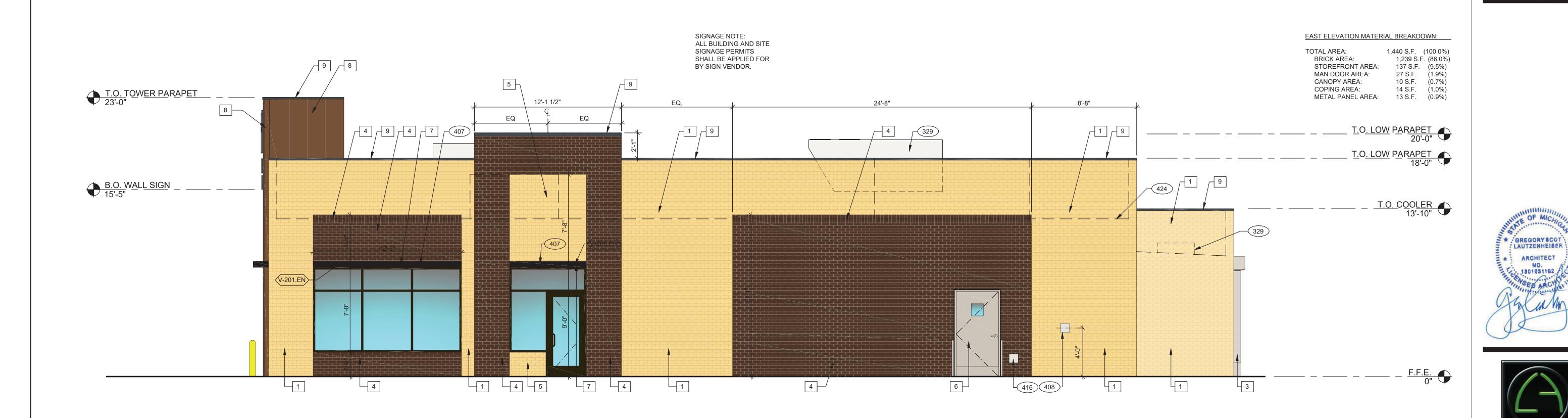


**ENDEAVOR 2.0 EQUIPMENT** AND SEATING **PLAN** 

XXX

**KEY NOTES** 

C2



**EAST ELEVATION** 1/4" = 1'-0" **1** 

PAINTING
APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.

FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.

**PAINT NOTES** 

A-100 EXTERIOR LATEX SATIN.

PROJECT # 20023 DATE REMARKS 2/1/2022 Site Plan Approval 4/13/2022 Site Plan Approval 5/11/2022 Site Plan Approval

ARCHITECTS INC. A.I.A

441 S. LIVERNOIS ROAD SUITE 265 ROCHESTER HILLS, MI 48307

(248) 524-4700 (248) 524-9746

CONTRACT DATE: BUILDING TYPE: PLAN VERSION:

BRAND DESIGNER:

SITE NUMBER:

STORE NUMBER: PA/PM:

DRAWN BY.: JOB NO.:

> **GREAT LAKES** TACO, L.L.C. 6305 Highland Road (M-59)

White Lake Twp., Michigan 48383

**ENDEAVOR 2.0 EXTERIOR ELEVATIONS** 

TYPE MARK QTY ITEM DESCRIPTION 2 14" WHITE CHANNEL LETTERS VERTICAL V-09.14W V-04.42 2 42" SWINGING BELL PURPLE LOGO FACE LIT SIDE ENTRY V-200.EN 1 SIDE ENTRY AWNING 6' 1" L X 4' 0" D BLACK DRIVE THRU 1 DT AWNING (OVER DT) 9' 0" L X 4' 0" D BLACK A4.1 V-101.DT EYEBROW AWNINGS V-202.EN 1 FRONT EYEBROW (WINDOW) 16' 7" L X 6" H X 1' 4" D BLACK 1 DT EYEBROW (WINDOW) 7' 8" L X 6" H X 1' 4" D BLACK V-203.EN A4.1 V-201.EN 1 SIDE ENTRY EYEBROW (WINDOW) 12' L 6" H X 1' 4" D BLACK

**NOT USED** 

MISCELLANEOUS

A. STOREFRONT FRAMING SYSTEM SHALL BE DARK BRONZE ANODIZED.

SEALERS (REFER TO SPECS) A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.

B. SEALANT AT ALL WINDOW AND DOOR FRAMES AND JAMB. DO NOT SEAL SILL @ WINDOWS. C. APPLY NEOPRENE GASKET (CONT.) BETWEEN BUILDING AND CANOPY.

A. REQUIRED CLEAR OPENING WIDTH TO ENSURE COORDINATION WITH STANDARD SIGNAGE/BUILDING ELEMENTS DIMENSIONS.

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT

APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

			l

**GENERAL NOTES** 

C

YMBOL	ITEM / MATERIAL	MANUFACTURER	MATERIAL SPEC	COLOR	CONTACT INFORMATION
1	FIELD BRICK VENEER	ENDICOTT BRICK COMPANY	2 1/4" X 7 5/8" MODULAR THIN BRICK SYSTEM	GOLDEN BUFF- WITH STANDARD GRAY MORTAR	
2	SCUPPERS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
3	DOWN SPOUTS	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
4	ACCENT #1 BRICK VENEER	ENDICOTT BRICK COMPANY	2 1/4" X 7 5/8" MODULAR THIN BRICK SYSTEM	EXECUTIVE IRONSPOT - WITH STANDARD GRAY MORTAR	
5	ACCENT #2 BRICK VENEER	ENDICOTT BRICK COMPANY	2 1/4" X 7 5/8" MODULAR THIN BRICK SYSTEM	GOLDEN BUFF- WITH STANDARD GRAY MORTAR	
6	HOLLOW METAL DOOR	-	-	WORLDLY GRAY (SW7043), SEMI-GLOSS	
7	AWNINGS	SIGNAGE VENDOR	-	BLACK BY THE SIGNAGE VENDOR	
8	CORNER TOWER	WESTERN STATE	T-GROOVE 24 GAUGE PAINTED 18" PANEL	WEATHERED RUSTIC	
9	METAL PARAPET CAP	-	24 GAUGE GALVANIZED	CYBERSPACE (SW7076) KYNAR 500 COATING	

**SIGNAGE** 

E

424 LINE OF ROOF BEYOND.

TO GRADING & SITE PLAN.

316 METAL PARAPET CAP. 329 MECHANICAL UNIT.

411 CONCRETE CURB.

501 BUILDING ADDRESS NUMBER - OPAQUE APPLIQUE ON OUTSIDE

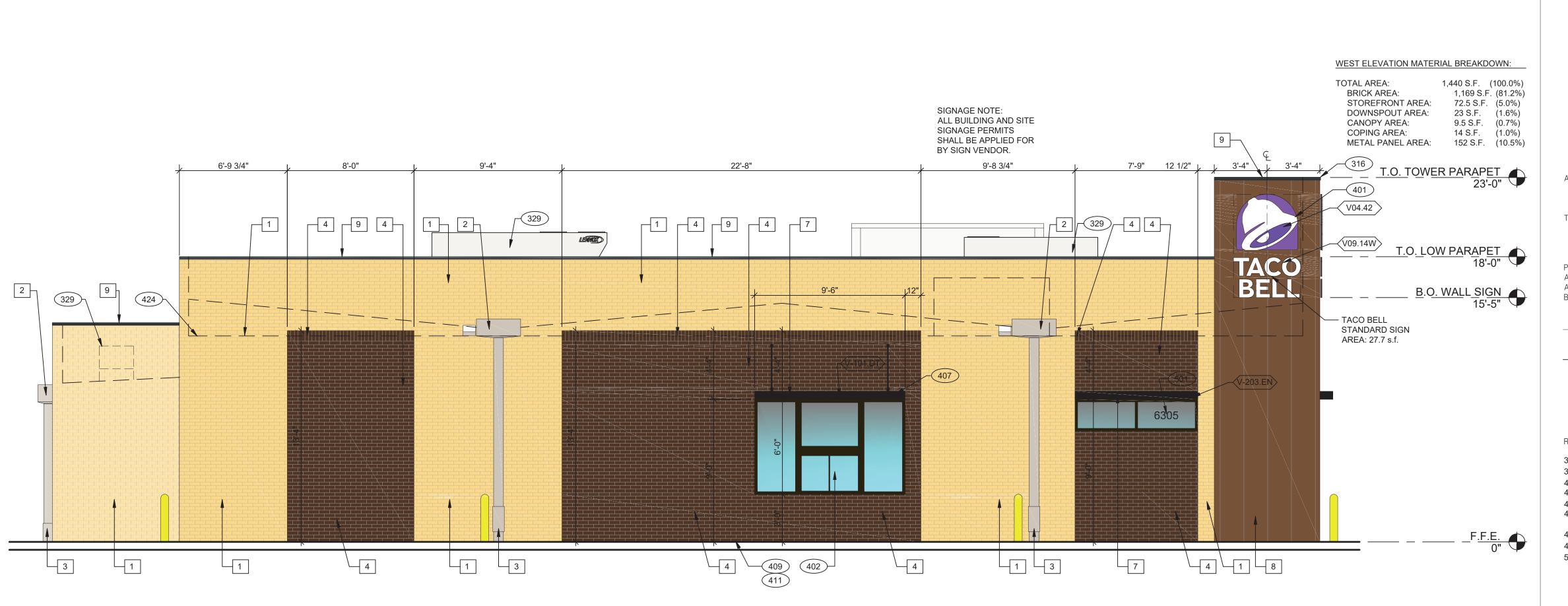
401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL. 402 DRIVE THRU WINDOW. REFER TO SHEET A1.0.

407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL.

OF GLAZING WHITE COLOR - ARIAL TYPEFACE 6" HEIGHT.

ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER

D **EXTERIOR FINISH SCHEDULE KEY NOTES** 



**SOUTH ELEVATION** 1/4" = 1'-0"

ALLOWED EXTERIOR WALL SIGN AREA: SOUTH ELEVATION WALL AREA: 10% OF SOUTH ELEVATION AREA:

10% OF SOUTH ELEVATION AREA 556 SQUARE FEET 55.6 SQUARE FEET

TOTAL AREA FOR PROPOSED WALL SIGNS: 55.4 SQUARE FEET PROP. SOUTH ELEVATION WALL SIGN AREA: 27.7 SQUARE FEET PROP. WEST ELEVATION WALL SIGN AREA: 27.7 SQUARE FEET

PER THE PLANNING COMMISSION'S PRELIMINARY REVIEW - ONE (1) SIGN SHALL BE ALLOWED ON SOUTH ELEVATION (HIGHLAND ROAD FRONTAGE) AND ONE (1) SHALL BE ALLOWED ON WEST ELEVATION (BOGIE LAKE ROAD FRONTAGE) - WITH BOTH SIGNS BEING OF THE SAME SIZE.

#### SIGN CALCULATION

REFER TO SHEET A4.0 FOR FINISH SCHEDULE

316 METAL PARAPET CAP.

329 MECHANICAL UNIT. 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL.

402 DRIVE THRU WINDOW. REFER TO SHEET A1.0. 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL. 409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR.

REFER TO GRADING & SITE PLAN.

411 CONCRETE CURB. 424 LINE OF ROOF BEYOND.

501 BUILDING ADDRESS NUMBER - OPAQUE APPLIQUE ON OUTSIDE OF GLAZING WHITE COLOR - ARIAL TYPEFACE 6" HEIGHT.

**NORTH ELEVATION** 1/4" = 1'-0"

# **KEY NOTES**



4 1

**WEST ELEVATION** 1/4" = 1'-0" **1** 

T.O. COOLER 13'-10"

NOTE: REFERENCE TO SHEET A4.0 FOR COLOR LEGEND

**ELEVATIONS** 

**ENDEAVOR 2.0 EXTERIOR** 





INC. A.I.A

441 S. LIVERNOIS ROAD SUITE 265 ROCHESTER HILLS, MI 48307

(248) 524-4700 (248) 524-9746

PROJECT # 20023

DATE REMARKS 2/1/2022 | Site Plan Approval

4/13/2022 Site Plan Approval

5/11/2022 Site Plan Approval

PHONE

CONTRACT DATE:

BUILDING TYPE:

PLAN VERSION:

SITE NUMBER:

PA/PM:

DRAWN BY.:

JOB NO.:

STORE NUMBER:

**GREAT LAKES** TACO, L.L.C.

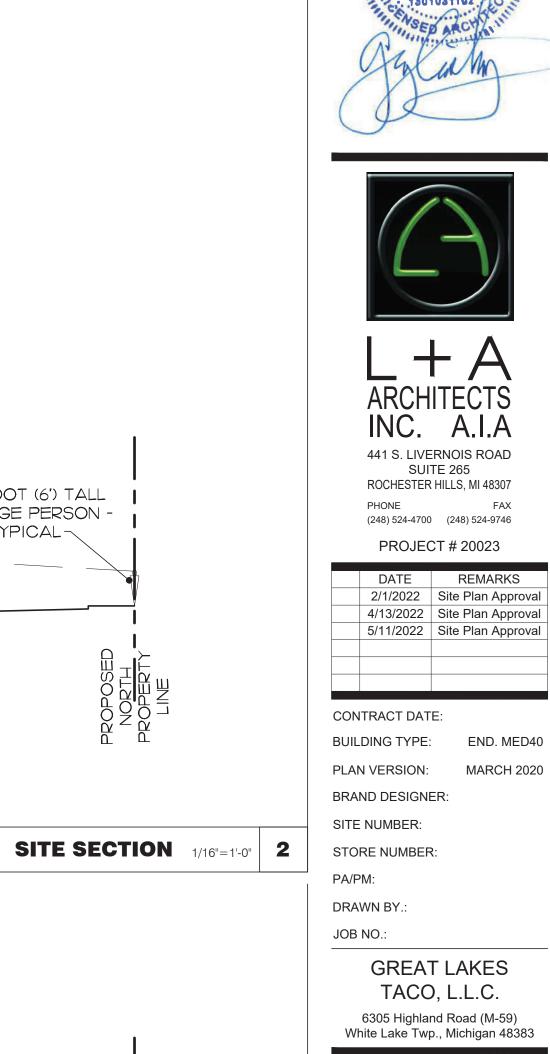
6305 Highland Road (M-59) White Lake Twp., Michigan 48383

BRAND DESIGNER:

# . GREGORY SCOT : LAUTZENHEISER

ARCHITECT

1301031102



SIX FOOT (6') TALL AVERAGE PERSON -TYPICAL

SIX FOOT (6') TALL AVERAGE PERSON -TYPICAL \

- AVERAGE PERSON'S LINE OF VISION -TYPICAL

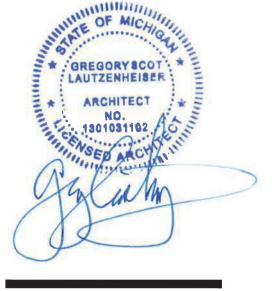
AVERAGE PERSON'S LINE OF VISION -TYPICAL

BOGIE LAKE ROAD

OUTLINE OF PROP.
TACO BELL WITH
ROOF MOUNTED
EQUIPMENT

HIGHLAND ROAD (M-59)

OUTLINE OF PROPOSED TACO BELL WITH ROOF MOUNTED EQUIPMENT





(248) 524-4700 (248) 524-9746

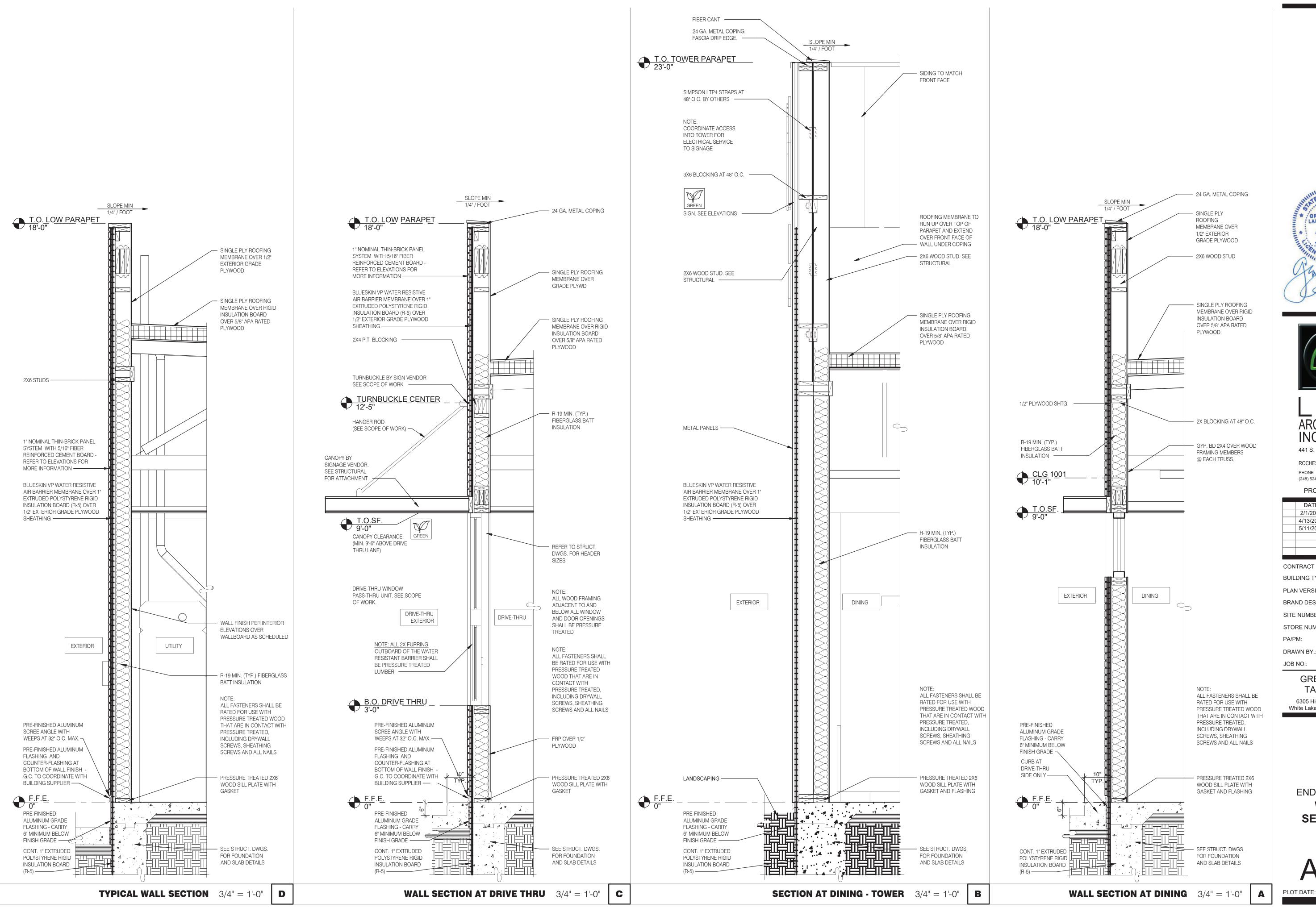
DATE	REMARKS
2/1/2022	Site Plan Approval
4/13/2022	Site Plan Approval
5/11/2022	Site Plan Approval

TACO, L.L.C. 6305 Highland Road (M-59) White Lake Twp., Michigan 48383

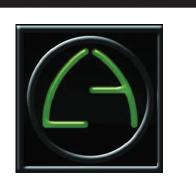


**ENDEAVOR 2.0** SITE AND **BUILDING SECTIONS** 

SITE SECTION 1/16"=1'-0" 1







# ARCHITECTS INC. A.I.A 441 S. LIVERNOIS ROAD SUITE 265

ROCHESTER HILLS, MI 48307

(248) 524-4700 (248) 524-9746

PROJECT # 20023						
	DATE	REMARKS				
	2/1/2022	Site Plan Approval				
	4/13/2022					
	5/11/2022					

CONTRACT DATE: BUILDING TYPE:

PLAN VERSION:

BRAND DESIGNER: SITE NUMBER:

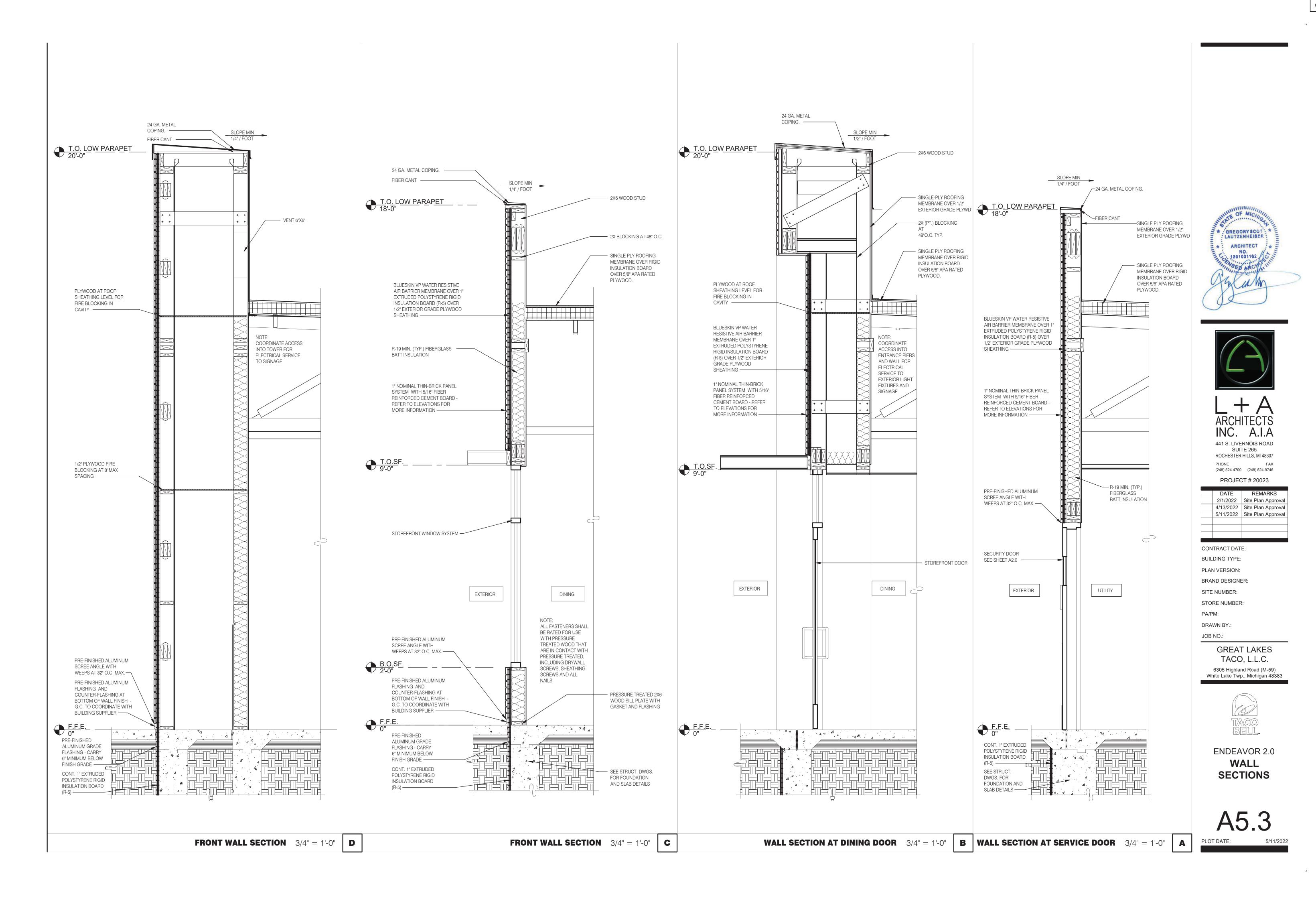
STORE NUMBER:

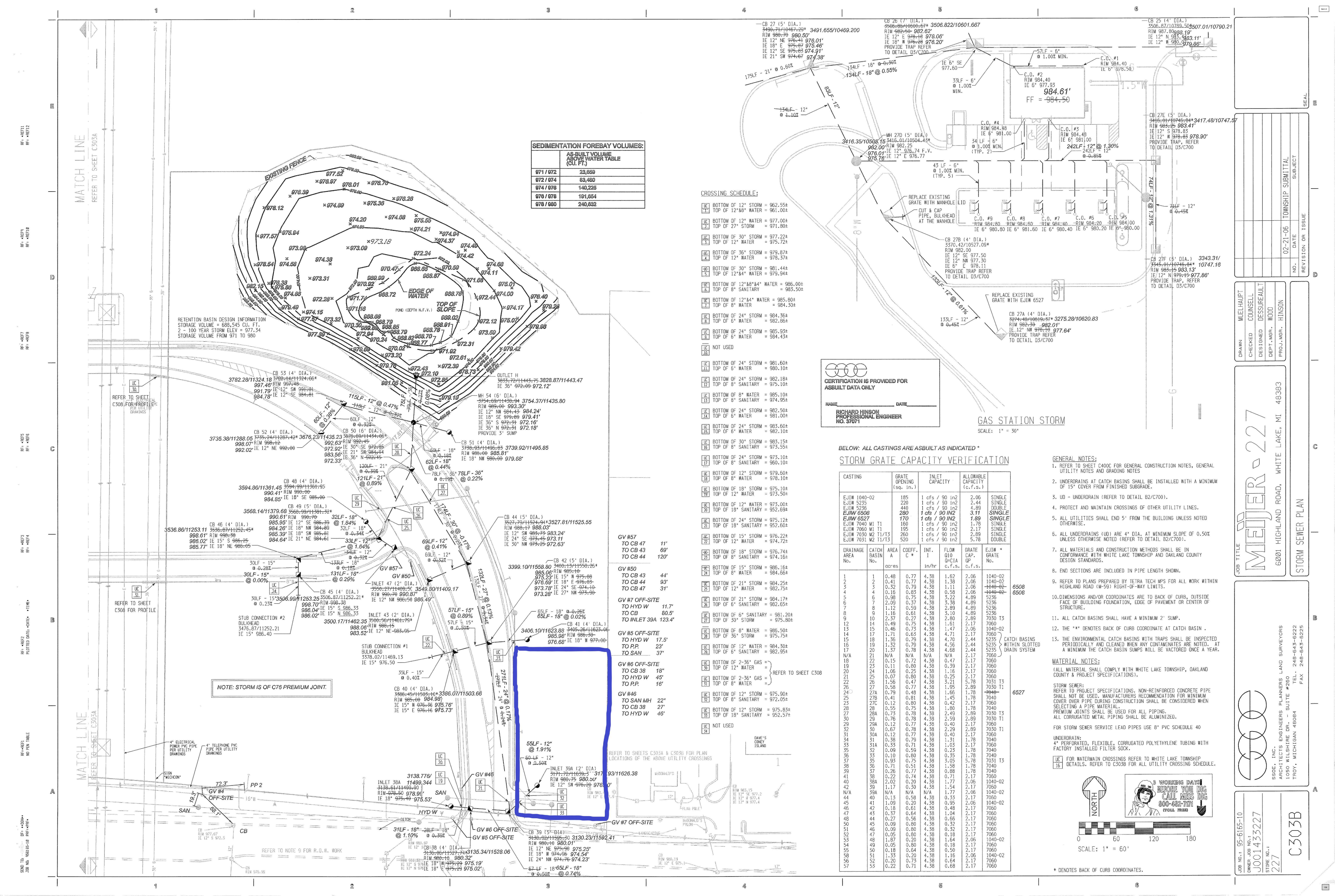
**GREAT LAKES** TACO, L.L.C.

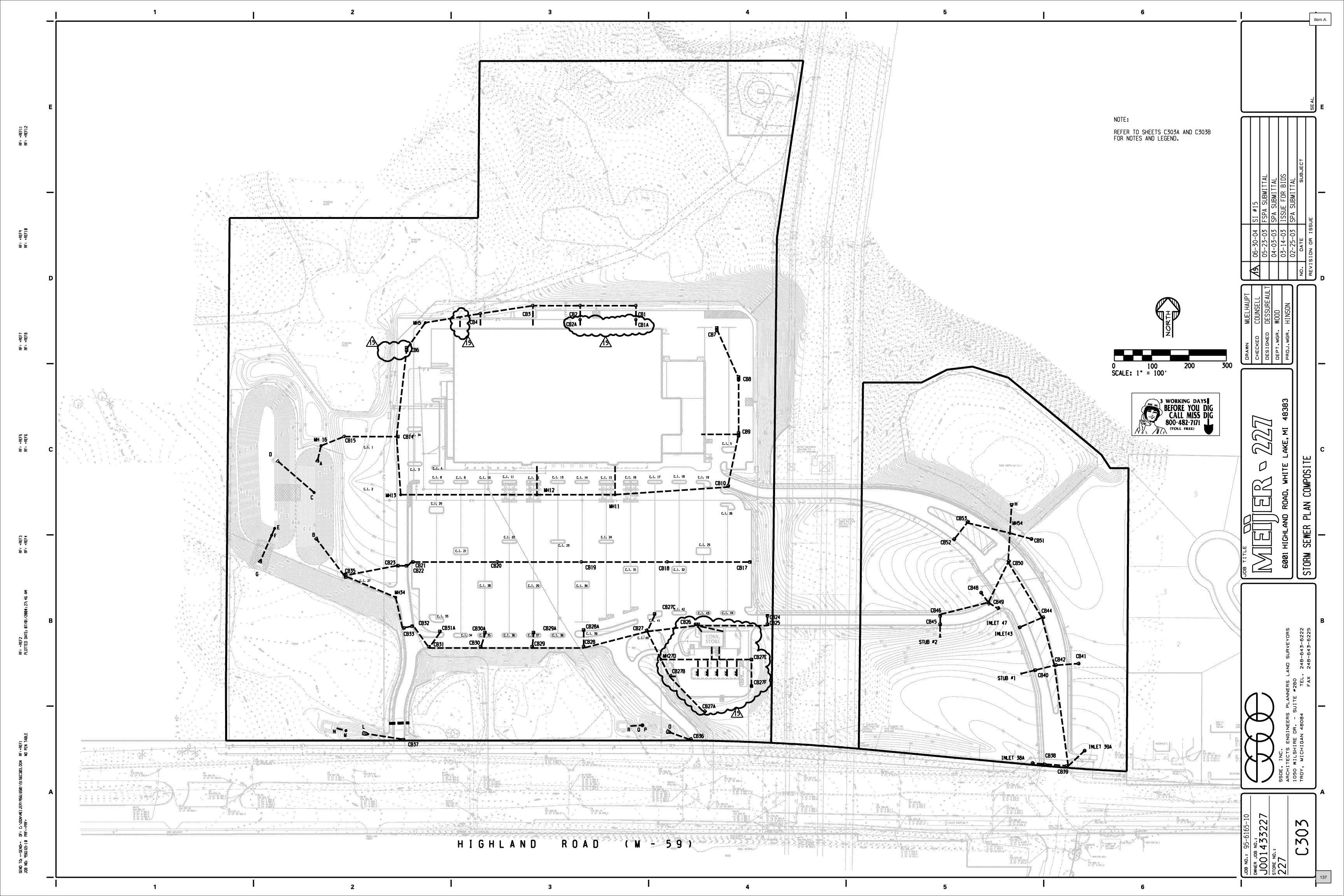
6305 Highland Road (M-59) White Lake Twp., Michigan 48383

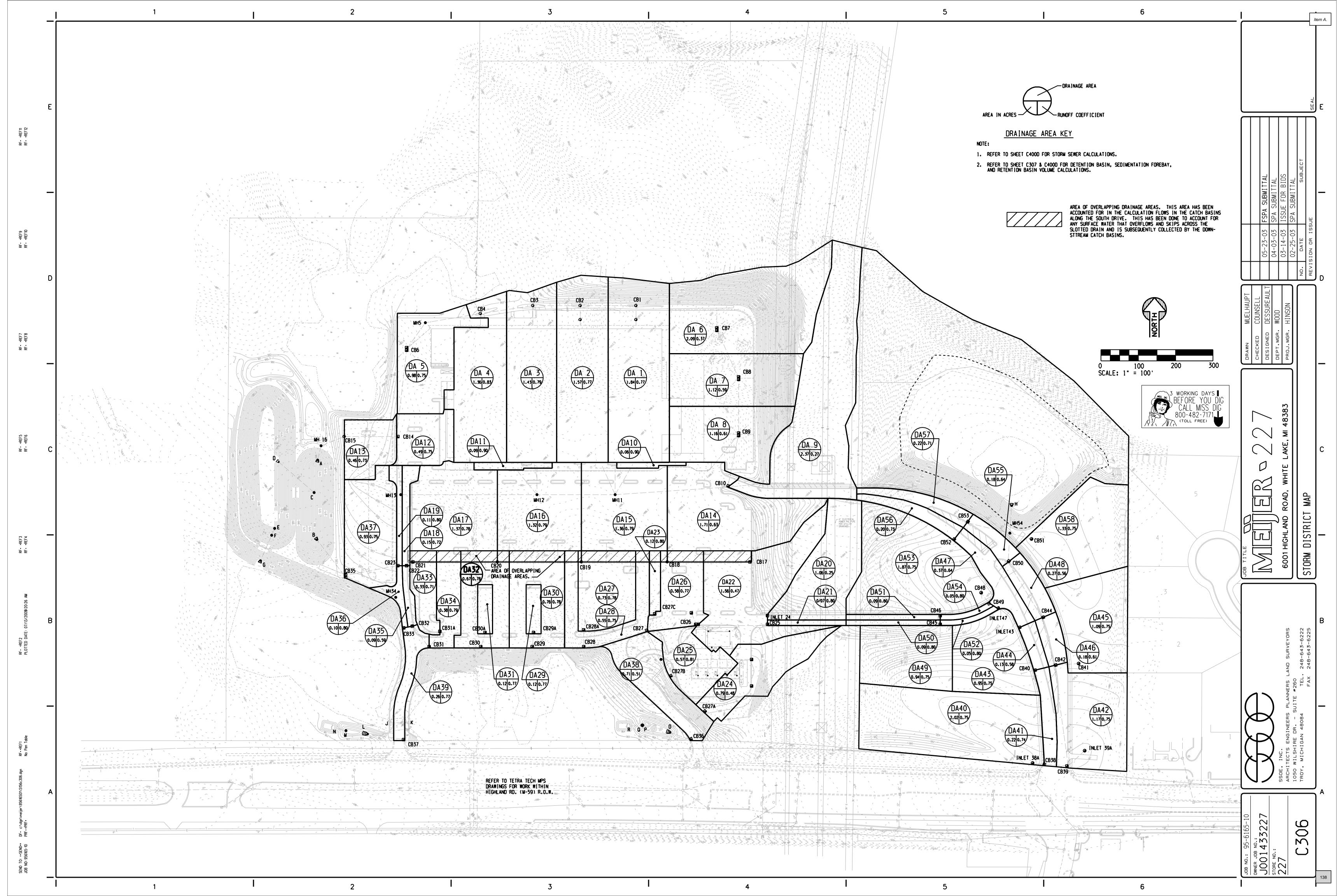


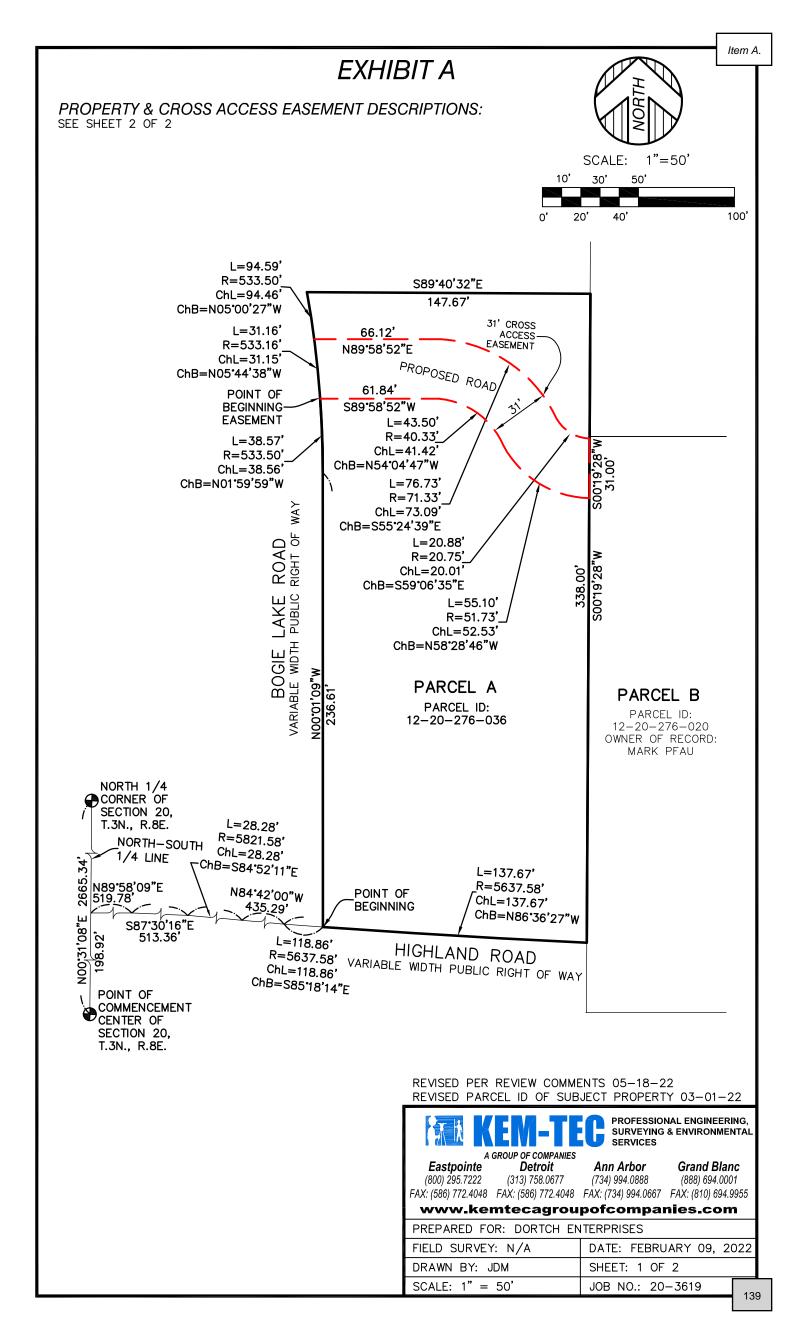
**ENDEAVOR 2.0** WALL **SECTIONS** 











#### EXHIBIT A

#### PROPERTY DESCRIPTION PARCEL A:

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST ¼ OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH—SOUTH ¼ LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

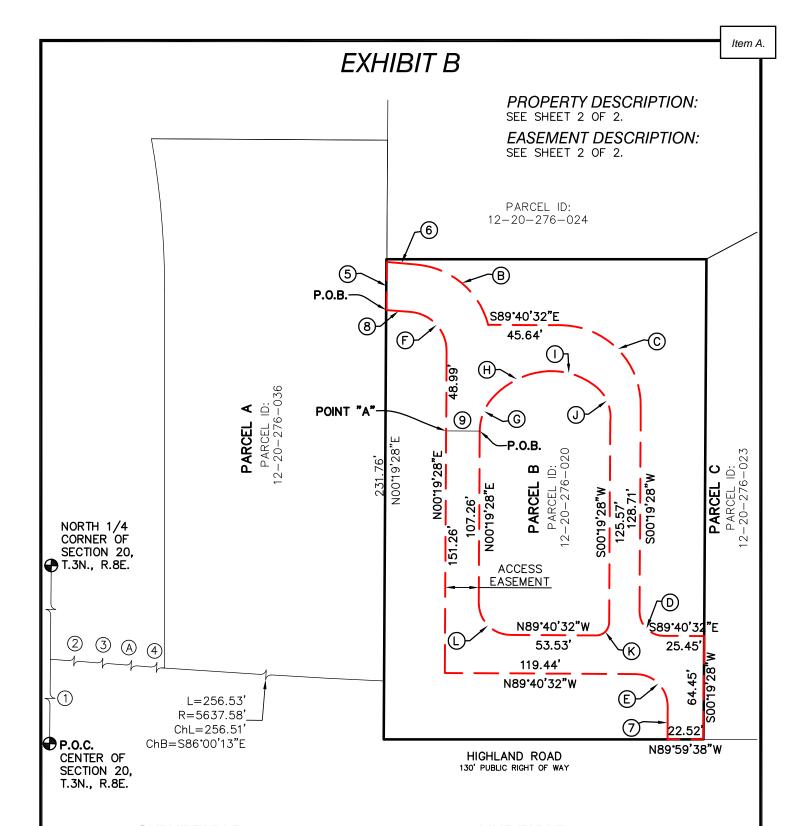
#### CROSS ACCESS EASEMENT DESCRIPTION:

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION 20; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST ALONG THE WEST LINE OF PARCEL A, 236.61 FEET; THENCE 38.57 FEET ALONG A CURVE TO THE LEFT ALONG THE WEST LINE OF PARCEL A, WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 01 DEGREES 59 MINUTES 59 SECONDS WEST, 38.56 FEET TO THE POINT OF BEGINNING OF A 31' CROSS ACCESS EASEMENT; THENCE 31.16 FEET ALONG A CURVE TO THE LEFT ALONG THE WEST LINE OF PARCEL A, WITH A RADIUS OF 533.16 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 44 MINUTES 38 SECONDS WEST, 31.15 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 52 SECONDS EAST, 66.12 FEET; THENCE 76.73 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 71.33 FEET, CHORD BEARING AND DISTANCE OF SOUTH 55 DEGREES 24 MINUTES 39 SECONDS EAST, 73.09 FEET; THENCE 20.88 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 20.75 FEET, CHORD BEARING AND DISTANCE OF SOUTH 59 DEGREES 06 MINUTES 35 SECONDS EAST, 20.01 FEET TO A POINT ON THE EAST LINE OF PARCEL A; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST ALONG THE EAST LINE OF PARCEL A, 31.00 FEET; THENCE 55.10 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 51.73 FEET, CHORD BEARING AND DISTANCE OF NORTH 58 DEGREES 28 MINUTES 46 SECONDS WEST, 52.53 FEET; THENCE 43.50 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 40.33 FEET, CHORD BEARING AND DISTANCE OF NORTH 54 DEGREES 04 MINUTES 47 SECONDS WEST, 41.42 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 52 SECONDS WEST, 61.84 FEET TO A POINT ON THE WEST LINE OF PARCEL A, SAID POINT ALSO BEING THE POINT OF BEGINNING.

> REVISED PER REVIEW COMMENTS 05-18-22 REVISED PARCEL ID OF SUBJECT PROPERTY 03-01-22





#### **CURVE TABLE**

	<b>LENGTH</b>	<b>RADIUS</b>	<u>ChL</u>	<u>ChB</u>
Α	28.28'	5821.58'	28.28'	S84°52'11"E
В	62.65'	50.33'	58.68'	S50°06'47"E
С	78.54'	50.00'	70.71'	S44°40'32"E
D	23.56'	15.00'	21.21'	S44°40'32"E
E	31.42'	20.00'	28.28'	N44°40'32"W
F	37.61'	24.45'	34.01'	N41°43'24"W
G	25.60'	31.52'	24.91'	N23°35'40"E
Н	32.97'	51.67'	32.41'	N63°46'15"E
- 1	33.60'	44.49'	32.80'	S75°54'05"E
J	26.98'	24.63'	25.65'	S24°40'35"E
K	12.57'	8.00'	11.31'	S45°19'28"W
L	31.42'	20.00'	28.28'	N44°40'32"W

# SCALE: 1"=60' 0' 20' 60'

#### LINE TABLE

	<b>BEARING</b>	DISTANCE
1	N00°31'08"E	198.92'
2	N89°58'09"E	519.78'
3	S87°30'16"E	513.36'
4	S84°42'00"E	435.29'
5	N00°19'28"E	30.07'
6	S85°00'24"E	18.32'
7	N00°19'28"E	20.68'
8	N86°13'46"W	14.88'
9	S89°40'32"E	21.00'

REVISED PER REVIEW COMMENTS 05-18-22 REVISED PARCEL ID OF SUBJECT PROPERTY 03-01-22



141

#### EXHIBIT B

#### PROPERTY DESCRIPTION PARCEL ID: 12-20-276-020

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST ½ OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH—SOUTH ½ LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 86 DEGREES 36 MINUTES 27 SECONDS EAST, 137.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST 36.41 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 19 MINUTES 28 SECONDS EAST 300.00 FEET; THENCE WEST 200 FEET TO THE POINT OF BEGINNING.

ALSO DESCRIBED AS:

A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT DISTANT WEST 310.00 FEET AND NORTH 00 DEGREES 40 MINUTES 00 SECONDS EAST 80.00 FEET AND WEST 374.48 FEET FROM EAST 1/4 CORNER; THENCE WEST 200.00 FEET ALONG NORTH LINE OF M-59 HWY.; THENCE NORTH 00 DEGREES 19 MINUTES 28 SECONDS EAST 300.00 FEET; THENCE EAST 200.00 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST 300.00 FEET TO THE POINT OF BEGINNING.

#### ACCESS EASEMENT DESCRIPTION:

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST ¼ OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION 20, THENCE NORTH 100 DEGREES 31 MINUTES 08 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 256.53 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 563.75 SE FEET, CHORD BEARING AND DISTANCE OF SOUTH 86 DEGREES 00 MINUTES 13 SECONDS EAST, 256.51 FEET TO A POINT ON THE WEST LINE OF PARCEL B; THENCE NORTH 00 DEGREES 90 MINUTES 28 SECONDS EAST, 256.51 FEET TO A POINT ON THE WEST LINE OF PARCEL B; THENCE NORTH 00 DEGREES 91 MINUTES 28 SECONDS EAST ALONG THE WEST LINE OF PARCEL B; 217.67 FET TO THE POINT OF BEGINNING OF A VARIABLE WIDTH ACCESS EASEMENT; THENCE CONTINUING NORTH 00 DEGREES 19 MINUTES 28 SECONDS EAST ALONG THE WEST LINE OF PARCEL B; 30.70 FEET; THENCE SOUTH 89 DEGREES 00 MINUTES 32 SECONDS EAST, 45.64 FEET; THENCE 50.45 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 50.03 FEET; CHORD BEARING AND DISTANCE OF SOUTH 40 DEGREES 40 MINUTES 32 SECONDS EAST, 70.71 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 32 SECONDS WEST, 128.71 FEET; THENCE 23.56 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 15.00 FEET; CHORD BEARING AND DISTANCE OF SOUTH 44 DEGREES 40 MINUTES 32 SECONDS EAST, 21.21 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 32 SECONDS WEST, 128.71 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 32 SECONDS WEST, 128.71 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 32 SECONDS WEST, 128.67 FEET TO A POINT ON THE LEFT WITH A RADIUS OF 15.00 FEET; CHORD BEARING AND DISTANCE OF SOUTH 44 DEGREES 40 MINUTES 32 SECONDS WEST, 128.52 FEET; THENCE NORTH 00 DEGREES 19 MINUTES 32

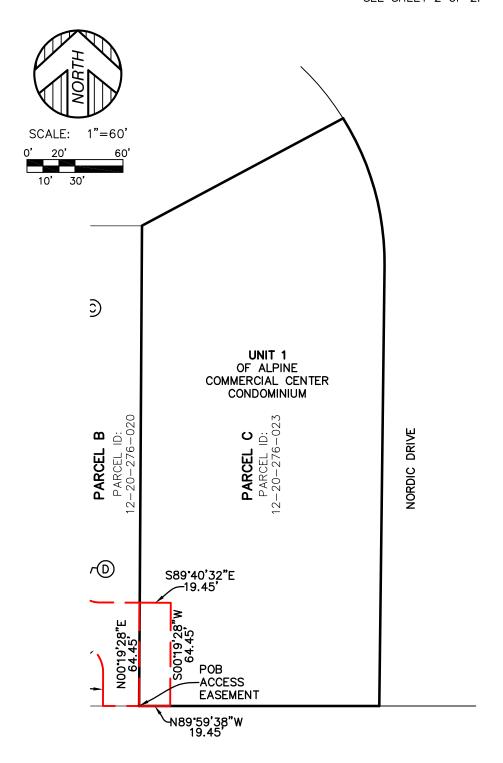
REVISED PER REVIEW COMMENTS 05-18-22
REVISED PARCEL ID OF SUBJECT PROPERTY 03-01-22



#### **EXHIBIT C**

PROPERTY DESCRIPTION: SEE SHEET 2 OF 2.

EASEMENT DESCRIPTION: SEE SHEET 2 OF 2.



#### LINE TABLE

#### **CURVE TABLE**

	<b>BEARING</b>	<b>DISTANCE</b>		<u>LENGTH</u>	<b>RADIUS</b>	<u>ChL</u>	<u>ChB</u>
1	N00°31'08"E	198.92'	Α	28.28'	5821.58'	28.28'	S84°52'11"E
2	N89°58'09"E	519.78'					
3	S87°30'16"E	513.36'					
4	S84°42'00"E	435.29'					

REVISED PER REVIEW COMMENTS 05-18-22



#### EXHIBIT C

#### PROPERTY DESCRIPTION PARCEL ID: 12-20-276-023

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST ¼ OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS UNIT 1 OF ALPINE COMMERCIAL CENTER CONDOMINIUM.

#### ACCESS EASEMENT DESCRIPTION:

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST  $\frac{1}{4}$  OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION 20; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 256.53 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 86 DEGREES 00 MINUTES 13 SECONDS EAST, 256.51 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST 36.43 FEET; THENCE SOUTH 89 DEGREES 59 MINUTES 38 SECONDS EAST 199.92 FEET TO A POINT ON THE WEST LINE OF PARCEL C, SAID POINT ALSO BEING THE POINT OF BEGINNING OF AN ACCESS EASEMENT; THENCE NORTH 00 DEGREES 19 MINUTES 28 SECONDS EAST ALONG THE WEST LINE OF PARCEL C, 64.56 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST 19.45 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST 64.45 FEET TO A POINT ON THE SOUTH LINE OF PARCEL C; THENCE NORTH 89 DEGREES 59 MINUTES 38 SECONDS WEST ALONG THE SOUTH LINE OF PARCEL C, 19.45 FEET TO THE POINT OF BEGINNING.

REVISED PER REVIEW COMMENTS 05-18-22



### NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

THIS STORM WATER DISCHARGE AGREEMENT ("Agreement") is made this day of day of 2022, by and between MEIJER, INC., a Michigan corporation, of 2929 Walker Avenue N.W., Grand Rapids, Michigan 49544, Attention: Real Estate Department, hereinafter referred to as "Meijer," and GREAT LAKES TACO LLC, a Michigan limited liability company, whose address is 8487 Retreat Drive, Grand Blanc, Michigan 48439, hereinafter referred to as "Developer." Meijer and Developer are together hereinafter referred to as the "Parties."

### RECITALS

- A. Pursuant to a certain Real Estate Option Contract executed by and between the Parties (with Meijer as Seller and Developer as Buyer), Developer is or is about to become the fee simple owner of a certain parcel of land located in the Township of White Lake, Oakland County, Michigan. Said parcel of land is located on Highland Road (M-59), and is hereinafter referred to as the "Developer Parcel." The Developer Parcel contains approximately 1.068 acres of land and is legally described on the attached **Exhibit A**.
- B. Meijer or an affiliated entity is the fee simple owner of a certain parcel of land located in the Township of White Lake, Oakland County, Michigan, which parcel of land is hereinafter referred to as the "Meijer Parcel." The Meijer Parcel contains approximately 67 acres of land and is located on the north side of Highland Road (M-59) west of Bogie Lake Road in White Lake Township. The Meijer Parcel is legally described on the attached **Exhibit B**.
- C. The Meijer Parcel and the Developer Parcel adjoin one another. The Developer Parcel is bordered on its western and northern boundary lines by the Meijer Parcel.
- D. Meijer has previously constructed a storm water system consisting of catch basins, storm water lines and related facilities, and a detention pond to provide drainage and detention of storm water generated on the Meijer Parcel, hereinafter referred to as the "Storm Water System." Developer has requested that it be permitted to discharge storm water from the Developer Parcel into the Storm Water System.
- E. Meijer has agreed to grant Developer certain storm water discharge rights for the purpose of permitting the discharge of storm water from the Developer Parcel into the Storm Water System at the point approximately located on **Exhibit C** attached hereto (hereinafter the "Discharge Point") in accordance with the terms of this Agreement.

F. This easement is exempt from real estate transfer taxes pursuant to MCLA §207.505(a), and §207.526 (a), being a transfer where the value of the consideration is less than \$100.

**NOW, THEREFORE**, in consideration of the foregoing Recitals, the execution of this Agreement by the Parties hereto, the mutual covenants and agreements contained herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the parties hereto, it is agreed as follows:

- 1. <u>Grant of Discharge Rights</u>. Subject to Developer obtaining all necessary governmental approvals for such discharge into the Storm Water System, Meijer hereby grants to Developer (for the benefit of the Developer Parcel) the right to discharge storm water (free of debris or hazardous or regulated substances) from the Developer Parcel into the Storm Water System, as it may be configured from time to time, at the Discharge Point, at a rate not to exceed the predevelopment rate of flow for the Developer Parcel.
- 2. <u>Encumbrances</u>. The rights granted to Developer are made subject to all covenants, conditions, restrictions, encumbrances, and easements of record. Developer acknowledges that Meijer may grant other easements and encumbrances over and across the area of the Storm Water System that do not interfere with Developer's discharge rights herein granted.
- 3. <u>Reservation of Rights</u>. Meijer hereby reserves for itself, its successors and assigns, the right to use the area of the Storm Water System for any purpose which does not limit Developer's discharge rights herein granted.
- 4. Review of Plans. Developer shall not commence discharge of storm water into the Storm Water System until such time as Meijer is provided with, and has the opportunity to review, all engineering drawings, plans, specifications and other information as Meijer may reasonably require, including storm calculations, a site grading plan and evidence of approval of such discharge/drainage from the applicable governmental authorities. Meijer shall not unreasonably delay or withhold its approval of such plans, drawings and specifications. Provided, however, any modification to the terms of this Agreement, including but not limited to the maximum rate of flow stated in Paragraph 1 may not be amended by a plan approval and may only be modified by an amendment to this Agreement.

Developer acknowledges that Meijer shall not have an obligation to review such submittal and shall not be liable in damages or otherwise for any reason, including any mistake in judgment, negligence or nonfeasance, arising out of or in connection with the approval or disapproval or failure to approve or disapprove or failure to review any proposal submitted pursuant to this Agreement. No approval shall be considered an approval of the plans, drawings and/or specifications from an engineering perspective or a determination that they meet building, environmental or engineering design standards, are in compliance with applicable covenants or governmental requirements, or that any improvements contemplated therein have been built in accordance with such plans, drawings and/or specifications.

in good order, appearance and repair in full compliance with all applicable laws and regulations and in such a manner to minimize any interference with the Developer Parcel. Notwithstanding the foregoing, Developer shall be responsible maintaining the Discharge Points in good order, appearance and repair in full compliance with all applicable laws and regulations and for the construction of any improvements /modifications to the Storm Water System required by the applicable governmental authorities arising out of the development of the Developer Parcel, subject to Meijer's review and approval of all plans and specifications associated with such work. Any such construction shall be completed by Developer in connection with its development of the Developer Parcel. Such construction (including the preparation of plans and calculations) shall be performed at the sole cost and expense of Developer, and Meijer shall not be obligated to pay for any of such work.

Meijer and Developer agree that to the extent that any party must enter upon the property of any other party in order to perform any right or obligation hereunder, the owner of such property hereby grants the party a license to enter and perform such right or obligation.

- 6. Payment of Annual Maintenance Fee by Fee Owner of Developer Parcel. In exchange for Meijer's agreement to maintain the Storm Water System as provided herein, Developer agrees to pay Meijer a maintenance fee (the "Maintenance Fee"), by January 15 of each year to cover costs for the calendar year in which the Maintenance Fee is paid. The obligation to pay the Maintenance Fee shall be a covenant that runs with the Developer Parcel. The 2022 calendar year Maintenance Fee shall be One Thousand Five Hundred Dollars (\$1,500.00) and shall be prorated and paid upon execution of this Agreement. The Maintenance Fee shall be increased by fifteen percent (15%) every five (5) years. In addition, with respect to any modification or upgrade to the Storm Water System required by the applicable governmental authorities (other than upgrades or modifications specified in Paragraph 4(a) above), Developer agrees to reimburse Meijer five percent (5%) of all documented costs associated with such upgrade/modification. Payment shall be made to the order of Meijer. Failure to provide payment to Meijer within ten (10) days after receipt of written notice from Meijer of Developer's failure to pay shall be deemed a material breach of this Agreement.
- (a) If Developer fails to pay Meijer the Maintenance Fee within the specified time period, (a) Developer shall be responsible for interest on such amount computed at the rate of the smaller of (i) eight (8%) percent per annum and (ii) the highest interest rate allowed by law, calculated monthly, from the date of any such claim by Meijer to the date of payment; (b) Meijer shall be entitled to pursue whatever remedies it may have in law or equity; and (c) Meijer shall have the right to file a lien against the Developer Parcel in the amount of the claim. Any such lien shall be considered to be akin to a mortgage lien and Meijer may foreclose upon it in the same manner as a mortgage lien. In no event shall any lien filed under this paragraph be superior to any lien of any construction mortgage utilized to facilitate the initial development of the Developer Parcel from its current status as a vacant parcel and recorded in the real property records for the Developer Parcel prior to the date Developer has completed such initial development. The provisions and requirements of the Michigan Construction Lien Act shall not apply to this lien.

- Developer's Insurance Requirements. At all times during the term of this Agreement, Developer shall purchase and maintain the following insurance coverages: (i) Commercial General Liability including premises/operations, independent contractors, broad form property damage, personal/advertising injury, blanket contractual liability, fire and explosion legal liability, explosion/collapse/and underground hazard coverage, and products/completed operations coverage in an amount not less than Three Million Dollars (\$3,000,000) per occurrence; such policy shall be an occurrence policy and not a claims-made policy. Meijer, Inc., Meijer Stores Limited Partnership and their affiliated entities must be named as an additional insured on an endorsement acceptable to Meijer, at no cost to Meijer. The additional insured endorsement shall extend coverage to the contractual liability and completed operations coverage. A copy of the additional insured endorsement is required. Developer acknowledges that Meijer may elect to increase the required coverage amount not more than once every ten years in order to continue coverage amounts consistent with Meijer's standards at such time. (ii) Automobile Liability including contractual liability coverage for all owned, hired and non-owned vehicles with a combined single limit not less than One Million Dollars single limit. (iii) Workers' Compensation coverage for its employees or contractors with statutory limits; such policy shall include an Alternate Employer endorsement. (iv) Employers' Liability coverage with limits of Five Hundred Thousand Dollars (\$500,000.00). Evidence of all insurance required shall be promptly sent to the Risk Management Department, P.O. Box 3280, Grand Rapids, Michigan 49501-3280. Insurance policies shall afford primary coverage and contain a provision that the coverages afforded shall not be modified or canceled until at least ten (10) days prior written notice has been given to the Meijer Risk Management Department. All required insurance policies shall be underwritten by an insurance carrier with an A.M. Best rating of an A- or better. Compliance by Developer with the requirements in this Paragraph 7 (Developer's Insurance Requirements) as to carrying insurance and furnishing proof thereof to Meijer shall not relieve Developer of its indemnity obligations under Paragraph 9 (Indemnification). Indemnity obligations in this Agreement shall not be negated or reduced by virtue of any insurance carrier's (i) denial of insurance coverage for the occurrence or event which is the subject matter of the claim; or (ii) refusal to defend any named insured. Failure to comply with all insurance requirements shall be deemed a material breach of this Agreement. However, failure to provide evidence of existing insurance shall constitute a material breach only if Developer fails to provide such evidence within ten (10) days after written notice from Meijer that Developer has failed to provide the evidence of existing insurance.
- 8. <u>Insurance Requirements for Developer's Contractors and Subcontractors.</u>
  Prior to commencing any work on the Meijer Parcel, Developer shall cause its contractor(s) and subcontractor(s) to procure and keep in effect, during the course of their work in, on or about the Meijer's Parcel, the following insurance coverages:
- (a) Commercial General Liability including premises/operations, independent contractors, broad form property damage, personal/advertising injury, blanket contractual liability, fire and explosion legal liability, explosion/collapse/and underground hazard coverage, and products/completed operations coverage in an amount not less than Three Million Dollars (\$3,000,000) per occurrence; such policy shall be an occurrence policy and not a claims-made policy. Meijer, Inc., Meijer Stores Limited Partnership, and their affiliated entities must be named as an additional insured on an endorsement acceptable to Meijer, at no cost to Meijer. The additional insured endorsement shall extend coverage to the contractual liability and completed operations

coverage. A copy of the additional insured endorsement is required. Developer acknowledges that Meijer may elect to increase the required coverage amount not more than once every ten years in order to continue coverage amounts consistent with Meijer's standards at such time.

- (b) Automobile Liability including contractual liability coverage for all owned, hired and non-owned vehicles with a combined single limit not less than One Million Dollars single limit.
- (c) Workers' Compensation coverage for its employees or contractors with statutory limits; such policy shall include an Alternate Employer endorsement.
- (d) Employer's Liability coverage with limits of Five Hundred Thousand Dollars (\$500,000).

Evidence of all insurance required shall be promptly sent to the Risk Management Department, P.O. Box 3280, Grand Rapids, MI 49501-3280. Insurance policies shall afford primary coverage and contain a provision that coverages afforded shall not be modified or canceled until at least ten (10) days prior written notice has been given to the Meijer Risk Management Department; All required insurance policies shall be underwritten by an insurance carrier with an A.M. Best rating of an A- or better.

Notwithstanding anything to the contrary in the foregoing, Meijer shall not be responsible for verifying compliance by any contractor and/or subcontractor with the foregoing insurance requirements. Rather, it shall be Developer's sole responsibility to monitor compliance by any of its contractors and/or subcontractors with the foregoing insurance requirements. However, failure to provide evidence of existing insurance shall constitute a material breach only if Developer fails to provide such evidence within ten (10) days after written notice from Meijer that Developer has failed to provide the evidence of existing insurance.

Meijer, its direct and indirect parent, subsidiaries and affiliated entities and their respective officers, directors, shareholders, agents and employees (hereafter collectively "Related Parties"), from and against any and all liability or claim thereof (including but not limited to reasonable actual attorney fees and costs) whether for injury to persons, including death, or damage to property, which may be imposed upon, incurred by or asserted against Meijer or its Related Parties: (i) allegedly or actually arising in connection with or as a direct or indirect result of any activity by Developer, its employees, agents, contractors, subcontractors, lessees, invitees, or licensees in, on, or about Meijer Parcel including use of the Storm Water System; (ii) arising out of any default by Developer under this Agreement; or (iii) arising out of any negligent act or omission to act by Developer, its agents, employees, contractors or subcontractors. The foregoing indemnity from Developer shall to the extent permitted by law include claims alleging or involving joint or comparative negligence, but shall not extend to liability directly resulting only from the sole negligence of Meijer or its Related Parties. Developer agrees to give Meijer the right to approve or select counsel for defending Meijer against any and all claims, liability and damages covered by this indemnity provision.

- 10. <u>Covenants Running with the Land</u>. The rights herein granted and the agreements herein contained shall be rights and covenants running with the land and shall inure to the benefit of, and be binding upon, the Parties hereto and their respective successors and assigns.
- 11. <u>Notices</u>. Notices permitted or required hereunder shall be in writing and shall be delivered or sent by certified mail or overnight delivery by a reputable national carrier to the addresses provided below, (except however, insurance certificates are to be mailed as provided in Paragraphs 7 and 8 above) provided that any party may change such address by written notice to the other party:

If to Developer

Great Lakes Taco LLC

8487 Retreat Drive

Grand Blanc, Michigan 48439 Attention: Louis C. Dortch, Jr.

With a copy to:

George F. Rizik, II

Rizik & Rizik

9400 South Saginaw Street, Suite E Grand Blanc, Michigan 48439

If to Meijer

Meijer

Real Estate Department

2929 Walker NW

Grand Rapids, Michigan 49544

with a copy to:

Meijer

Legal Department 2929 Walker NW

Grand Rapids, Michigan 49544

- 12. <u>Governing Laws</u>. This Agreement shall be construed in accordance with the laws of the State of Michigan and any applicable federal laws and regulations.
- shall be implied from any omission by any other party to take any action in respect of such default. No express waiver of any default shall affect any default or cover any period of time other than the default and period of time specified in such express waiver. One or more waivers of any default in the performance of any term, provision or covenant contained in this Agreement shall not be deemed to be a waiver of any subsequent default in the performance of the same term, provision or covenant or any other term, provision or covenant contained in this Agreement. The rights and remedies given to any party to this Agreement shall be deemed to be cumulative and no one of such rights and remedies shall be exclusive of any of the others, or of any other right or remedy at law or in equity which any such party might otherwise have by virtue of a default under this Agreement, and the exercise of one such right or remedy by any such party shall not impair such party's standing to exercise any other right or remedy.

- 14. <u>Exhibits</u>. All exhibits referred to herein and attached hereto shall be deemed part of this Agreement.
- shall, to any extent, be invalid or unenforceable, the remainder of this Agreement (or the application of such term, provision or condition to persons or circumstances other than those in respect of which it is invalid or unenforceable) shall not be affected thereby, and each term, provision or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law provided that such deletions can be made without materially changing the basic agreement between the parties. If such deletions cannot be made without materially changing the basic agreement between the parties, then the parties agree to amend, or to permit the court to amend, this Agreement to accomplish essentially the same transaction without said illegal, invalid or unenforceable provisions.
- 16. <u>Not a Public Dedication</u>. Nothing herein contained shall be deemed to be a gift or dedication of any portion of the Meijer Parcel to the general public or for the general public or for any public purpose whatsoever, it being the intentions of the parties hereto that this Agreement be strictly limited to and for the purposes herein expressed.
- 17. <u>Attorney's Fees</u>. If litigation arises out of or in connection with this Agreement, the prevailing party shall be entitled to recover its attorney's fees
- 18. <u>Counterparts</u>. This Agreement may be executed by the Parties on any number of separate counterparts and all such counterparts so executed constitute one agreement binding on the Parties, notwithstanding that all Parties are not signatories to the same counterpart.

[The remainder of this page was intentionally left blank.]

IN WITNESS WHEREOF, the parties have executed this Nonexclusive Storm Water Discharge Agreement as of the day and year first above written.

		MEIJER, INC.		7	
		By: Michael Flicking			
		Its: Vice President-Res	al Estate	;	
			Legal	am	
STATE OF MICHIGAN	)		Bus.	M	
COUNTY OF KENT	) ss.		Bus.	Ka	
	ice President-R	Real Estate of Meijer, Inc., a Michigan State of Michigan, County of My commission expires:  Acting in the County of Kent.		ration, for a	
		LARAE B STEIGENGA NOTARY PUBLIC - STATE OF MICHIGAN COUNTY OF OTTAWA My Commission Expires February 17, 202 Acting in Kent County, Mi	-		

(Signatures continue on following page)

### **GREAT LAKES TACO LLC**

By: Printed Name: Laws Charles

Its:

STATE OF Michigan ) ss.
COUNTY OF Genesel )

The foregoing instrument was acknowledged before me this 14 day of February, 2022, by Love Corton Je, the CEO of Great Lakes Taco LLC, a Michigan limited liability company, for and on behalf said limited liability company.

ANGELA KULZA
NOTARY PUBLIC, STATE OF MI
COUNTY OF GENESEE
MY COMMISSION EXPIRES May 22, 2022
ACTING IN COUNTY OF SENESEE

Notary Public

State of Michigan County of General.

My commission expires: May 27, 2022

Acting in the County of General.

DRAFTED BY AND WHEN RECORDED RETURN TO: Aaron Morrissey, Atty. 2929 Walker Avenue, N.W. Grand Rapids, MI 49544 (616) 791-3002

# EXHIBIT A TO NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

Legal Description of Developer Parcel

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

Part of Tax Parcel Number: 12-20-276-036 (formerly part of 12-20-276-033)

# EXHIBIT B TO NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

Legal Description of the Meijer Parcel

A PART OF THE NORTH 1/2 OF SECTION 20, T3N-R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE INTERSECTION OF THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20 WITH THE NORTHERLY RIGHT-OF-WAY LINE OF HIGHLAND ROAD (M-59) WHICH IS N00°31'08"E, 198.92 FEET FROM THE CENTER OF SAID SECTION 20; THENCE FROM SAID POINT OF BEGINNING S89°58'09"W ALONG SAID RIGHT-OF-WAY LINE, 662.41 FEET; THENCE N00°10'23"W, 164.03 FEET; THENCE N00°26'47"E, 1235.97 FEET; THENCE S89°58'09"E, 665.95 FEET TO SAID NORTH-SOUTH 1/4 LINE OF SECTION 20; THENCE N00°31'08"E ALONG SAID LINE, 420.30 FEET; THENCE N89°55'00"E, 867.22 FEET; THENCE S08°28'00"W ALONG THE WESTERLY LINE OF A DETROIT EDISON PARCEL, 480.02 FEET; THENCE CONTINUING ALONG SAID WESTERLY LINE S00°39'06"W, 1353.01 FEET TO SAID NORTHERLY RIGHT-OF-WAY LINE OF HIGHLAND ROAD: THENCE ALONG SAID RIGHT-OF-WAY LINE ON A CURVE TO THE LEFT WITH A RADIUS OF 5821.58 FEET, A CENTRAL ANGLE OF 02°44'10" AND A LONG CHORD BEARING AND DISTANCE OF N88°39'46"W, 277.97 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE S89°58'09'W, 519.78 FEET TO THE POINT OF BEGINNING; CONTAINING 55.1685 GROSS AND NET ACRES.

### **EXCEPTING THEREFROM THE FOLLOWING PARCEL:**

A part of the Northeast ¼ of Section 20, T3N-R8E, White Lake Township, Oakland County, Michigan, described as beginning at a point which is N00°31'08"E along the North-South ¼ line of said Section 20, 198.92 feet and N89°58'09"E along the northerly right-of-way line of Highland Road (M-59), 519.78 feet and continuing along said right-of-way line along a curve to the right with a radius of 5821.58 feet, a central angle of 02°44'10" and a long chord bearing and distance of S88°39'46"E, 277.97 feet and N00°39'06"E along the westerly line of Detroit Edison Parcel, 1353.01 feet and N08°28'00"E along said westerly line, 277.77 feet from the center of said Section 20; thence from said Point of Beginning S89°55'06"W, 172.18 feet; thence N00°04'59"W, 200.00 feet; thence N89°55'00"E, 202.25 feet; thence S08°28'00"W, along said westerly line, 202.25 feet to the Point of Beginning; containing 0.860 gross and net acre.

### **TOGETHER WITH:**

Commencing at the Center Post of Section 20, T3N, R8E, White Lake Township, Oakland County, Michigan; said point being S89°59'45"W 2635.27 feet from the East 1/4 corner of said Section 20; thence N00°31'08"E 198.92 feet along the North-South 1/4 line of said Section 20; thence N89°58'09"E 519.78 feet along the Northerly right-of-way line of M-59 (Highland Road, variable width); thence 513.36 feet along the arc of a 5821.58 foot radius circular curve to the right, chord bearing S87°30'16"E 513.20 feet along the Northerly right-of-way line of said M-59 for a **PLACE OF BEGINNING**; thence N00°39'06"E 981.32 feet; thence N90°00'00"E 156.11 feet (recorded as 156.53 feet); thence N63°45'10"E 76.30 feet; thence N83°08'44"E 68.91 feet; thence S73°02'19"E

100.53 feet; thence S50°34'37"E 136.92 feet; thence S50°09'11"E 120.23 feet (recorded as 120.32 feet); thence S50°21'46"E 66.40 feet; thence S32°53'46"E 42.85 feet; thence N90°00'00"E 49.43 feet (recorded as 49.01 feet); thence S00°19'28"W 812.21 feet; thence 256.53 feet along the arc of a 5637.58 foot radius circular curve to the right, chord bearing N86°00'13"W 256.51 feet along the Northerly right-of-way line of said M-59; thence N84°42'00"W 51.36 feet along the Northerly right-of-way line of said M-59; thence N01°30'56"E 30.03 feet; thence S88°29'04"E 63.50 feet; thence N03°10'30"W 150.32 feet; thence 234.17 feet along the arc of a 966.50 foot radius circular curve to the left, chord bearing N19°25'09"W 233.59 feet; thence S60°22'37"W 36.86 feet; thence 120.47 feet along the arc of a 233.00 foot radius circular curve to the right, chord bearing S75°11'17"W 119.13 feet; thence S90°00'00"W 15.98 feet; thence S01°30'56"W 332.20 feet; thence N84°42'00"W 189.40 feet along the Northerly right-of-way line of said M-59; thence 28.38 feet (recorded as 28.28 feet) along the arc of a 5821.58 foot radius circular curve to the left, chord bearing N84°52'11"W 28.38 feet (recorded as N84°50'21" 28.28 feet) along the Northerly right-of-way line of said M-59 to the Place of Beginning, containing 14.017 acres of land, more or less, being subject to easements, conditions, restrictions and exceptions of record, if any.

### **EXCEPTING THEREFROM:**

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

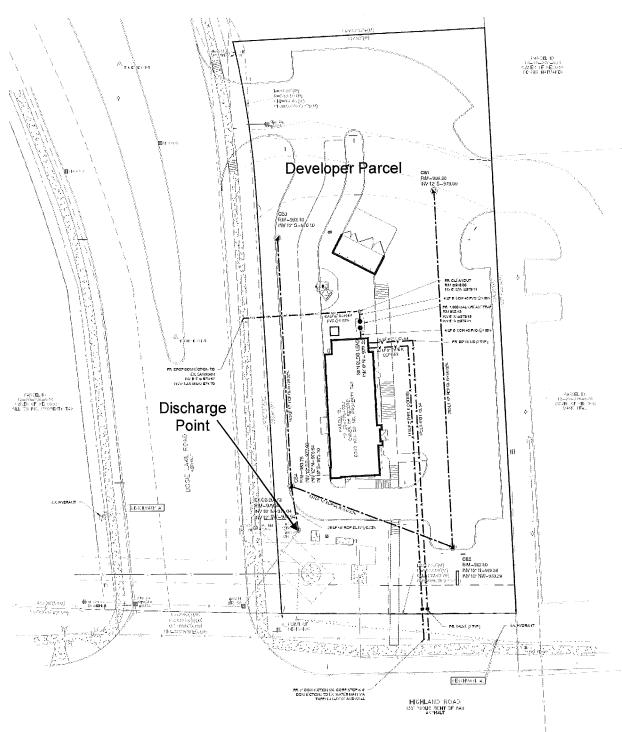
A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET: THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

Tax Parcel No.: Y-12-20-251-019 and Y-12-20-276-035 (formerly part of 12-20-276-033)

Property Address: 6001 Highland Road, White Lake, Michigan 48383

# EXHIBIT C TO NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

Illustration of the Discharge Point



Nonexclusive Storm Water Discharge Agreement #227 – White Lake Twp., Oakland Co., MI Meijer, Inc. / Great Lakes Taco LLC



Catalog #:	MRMLED-9L-SIL-FT-UNV-DIM-40-70C	RI Projec	t: Great Lakes	Taco Bell -	White Lak	Δ
						Item A.

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

### Mirada Medium (MRM)

### Outdoor LED Area Light













Type: A1

OVERVIEW							
Lumen Package	7,000 - 42,000						
Wattage Range	53 - 390						
Efficacy Range (LPW)	93 - 148						
Weight lbs(kg)	30 (13.6)						

### **QUICK LINKS**

Ordering Guide Performance Photometrics Dimensions

### **FEATURES & SPECIFICATIONS**

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip\* polyester powder coat finishing process.
   The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

### **Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- · Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

#### Electrical

- High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%</li>
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L lumen package rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

### Controls

- Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 9 for more details).
   Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details.

### Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

### Warranty

• LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598. IP66 rated optical chamber.
- 3G rated for ANSI C136.31 high vibration applicationsapplicationsare qualified.

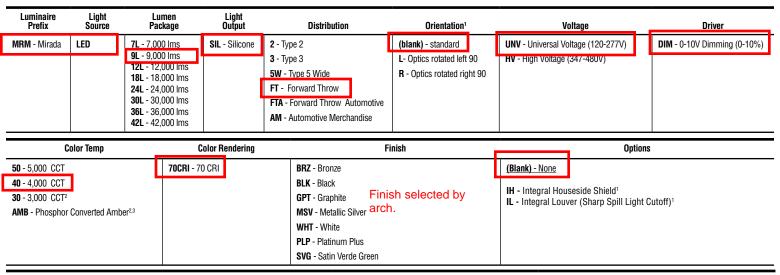
Specifications and dimensions subject to change without notice.





**ORDERING GUIDE Back to Quick Links** 

#### MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ TYPICAL ORDER EXAMPLE:



### Controls (Choose One)

(Blank) - None

### Wireless Controls System

ALSC - AirLink Synapse Control System 4

ALSCH - AirLink Synapse Control System Host / Satelite 4,5

ALSCS01 - AirLink Synapse Control System with 8-12' Motion Sensor 4

ALSCHS01 - AirLink Synapse Control System Host / Satelite with 8-12' Motion Sensor 4.5

ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor<sup>4</sup>

ALSCHS02 - AirLink Synapse Control System Host / Satelite with 12-20' Motion Sensor 4,5

ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor 4

ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)4 ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)4

ALSCHS04 - AirLink Synapse Control System Host / Satelite with 20-40' Motion Sensor 4,5

### Stand-Alone Controls

EXT - 0-10v Dimming leads extended to housing exterior

CR7P - 7 Pin Control Receptacle ANSI C136.41

IMSBT1- Integral Bluetooth™ Motion and Photocell Sensor

max 8-24' mounting height 4, 6

IMSBT2- Integral Bluetooth Motion and Photocell Sensor

max 25-40' mounting height 4,6

**Button Type Photocells** PCI120 - 120V

**PCI208-277** - 208 -277V

PCI347 - 347V

#### (Lutron Limelight Controls

LLC - LimeLight Integral Wireless Radio Control by Lutron4 LLCS1 - Limelight Integral Wireless Radio Control and PIR Motion/

Type: \_\_

Daylight Sensor by Lutron 8-15' mt height4

LLCS2 – Limelight Integral Wireless Radio Control and PIR Motion/ Daylight Sensor by Lutron 16-30' mt height4

LLCS3 – Limelight Integral Wireless Radio Control and PIR Motion/

Daylight Sensor by Lutron 31-40' mt height4

### Accessory Ordering Information<sup>8</sup>

Controls Accessories		Mounting Accessories				
Description	Order Number <sup>10</sup>	Description	Order Number <sup>10</sup>			
Twist Lock Photocell (120V) for use with CR7P	122514	Universal Mounting Bracket	684616CLR			
Twist Lock Photocell (208-277) for use with CR7P	122515	Adjustable Slip Fitter (2" - 2 3/8" Tenon)	688138CLR			
Twist Lock Photocell (347V) for use with CR7P	122516	Horizontal Slip Fitter (2" - 2 3/8" Tenon)	652761CLR			
Twist Lock Photocell (480V) for use with CR7P	1225180	Quick Mount Pole Bracket (Square Pole)	687073CLR			
AirLink 5 Pin Twist Lock Controller	661409	Quick Mount Pole Bracket (4-5" Round Pole)	689903CLR			
AirLink 5 Pin Twist Lock Controller	661410	15 Tilt Quick Mount Pole Bracket (Square Pole)	688003CLR			
Pole-Mounted Occupancy Sensor (24V)	663284CLR	15 Tilt Quick Mount Pole Bracket (4-5" Round Pole)	689905CLR			
Shorting Cap for use with CR7P	149328	Wall Mount Bracket	382132CLR			
		Integral Louver/Shield	690981			
		Internal Houseside Shield	743415			

Fusing Accessories <sup>12</sup>	
Description	Order Number
Single Fusing (120V)	FK120
Single Fusing (277V)	FK277
Double Fusing (480V)	DFK480
Double Fusing (347V)	DFK347

### FOOTNOTES:

1 - Not available on "Type 5W" distribution.

2 - Consult Factory for availability.

3 - Only available in 9L and 12L Lumen Packages

4 - Not available in HV.

5 - Consult Factory for Site Layout

6 - IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store

7 - Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

8 - Accessories are shipped separately and field installed. 9 - Factory installed CR7P option required. See Options.

10 - "CLR" denotes finish. See Finish options

11 - Not available in UNV

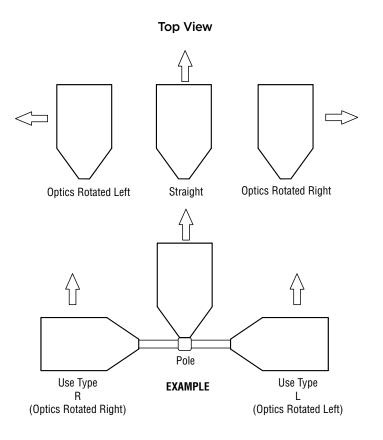
12 - Fusing must be located in hand hole of pole.

159 Page 2/10 R SPEC.1045.A.0620



### **OPTICS ROTATION**

### **ACCESSORIES/OPTIONS**



### Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

### **Luminaire Shown with** Integral Louver (IL)

**Luminaire Shown with IMSBT Option** 





### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

### Luminaire Shown with PCR 7P





Back to Quick Links

Type: \_\_\_

				3000K CCT			4000K CCT			5000K CCT		Wattage
umen Package	Distribution	CRI	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	
	2		6711	127	B2-U0-G1	7208	137	B2-U0-G2	7596	144	B2-U0-G2	
	3		6889	130	B1-U0-G2	7400	140	B1-U0-G2	7798	148	B1-U0-G2	
_	5W		6557	124	B3-U0-G1	7043	133	B3-U0-G2	7422	141	B3-U0-G2	
7L	FT	70	6701	127	B1-U0-G2	7197	136	B1-U0-G2	7584	144	B2-U0-G2	53
	FTA		6799	129	B2-U0-G1	7303	138	B2-U0-G1	7696	146	B2-U0-G1	
	AM		7225	136	B1-U0-G1	7922	149	B2-U0-G1	8239	155	B2-U0-G1	
	2		8576	125	B2-U0-G2	9396	137	B2-U0-G2	9784	143	B2-U0-G2	
	3		8804	129	B1-U0-G2	9646	141	B2-U0-G2	10044	147	B2-U0-G2	
	5W		8380	122	B3-U0-G2	9181	134	B3-U0-G2	9560	140	B3-U0-G2	
9L	FT	70	8563	125	B2-U0-G2	9382	137	B2-U0-G2	9769	143	B2-U0-G2	68
	FTA	T	8689	127	B2-U0-G2	9520	139	B2-U0-G2	9913	145	B2-U0-G2	
	AM		9432	137	B2-U0-G1	10342	150	B2-U0-G2	10755	156	B2-U0-G2	
2		11461	122	B2-U0-G2	12556	134	B3-U0-G2	13075	139	B3-U0-G2		
12L 3 5W FT	3		11766	125	B2-U0-G2	12890	137	B2-U0-G2	13423	143	B2-U0-G2	
	5W		11199	119	B4-U0-G2	12269	131	B4-U0-G2	12775	136	B4-U0-G2	
	70	11444	122	B2-U0-G2	12538	133	B2-U0-G3	13055	139	B2-U0-G3	93	
	FTA		11612	124	B2-U0-G2	12722	135	B2-U0-G2	13247	141	B2-U0-G2	
	AM		12582	134	B2-U0-G2	13796	147	B2-U0-G2	14348	153	B2-U0-G2	
	2		17168	115	B3-U0-G3	18809	126	B3-U0-G3	19586	131	B3-U0-G3	
	3		17625	118	B2-U0-G3	19310	129	B3-U0-G3	20107	134	B3-U0-G3	
	5W		16776	112	B4-U0-G2	18379	123	B4-U0-G2	19138	128	B5-U0-G3	
18L	FT	70	17143	115	B3-U0-G3	18781	126	B3-U0-G4	19557	131	B3-U0-G4	149
	FTA		17395	116	B3-U0-G3	19058	127	B3-U0-G3	19844	133	B3-U0-G3	
	AM		18863	127	B3-U0-G2	20683	149	B3-U0-G2	21511	149	B3-U0-G2	
	2		22701	121	B4-U0-G3	24276	130	B4-U0-G3	24784	133	B4-U0-G3	
	3		23636	126	B3-U0-G4	25275	135	B3-U0-G4	25804	138	B3-U0-G4	
	5W		22432	120	B5-U0-G3	23988	128	B5-U0-G3	24490	131	B5-U0-G3	
24L	FT	70	23496	126	B3-U0-G4	25126	134	B3-U0-G4	25652	137	B3-U0-G4	189
	FTA		23371	125	B3-U0-G3	24992	134	B3-U0-G3	25515	136	B3-U0-G3	
	AM		24522	131	B3-U0-G3	26227	140	B3-U0-G3	26751	143	B3-U0-G3	
	2		28900	117	B4-U0-G3	30905	125	B4-U0-G3	31551	128	B4-U0-G3	
	3		30089	122	B3-U0-G4	32176	130	B3-U0-G4	32850	133	B3-U0-G4	
201	5W	70	28557	116	B5-U0-G3	30538	124	B5-U0-G4	3117	126	B5-U0-G4	0.40
30L	FT	70	29912	121	B3-U0-G4	31987	130	B3-U0-G4	32656	132	B3-U0-G5	249
	FTA		29752	120	B4-U0-G3	31816	129	B4-U0-G3	32482	132	B4-U0-G3	
	AM		31061	126	B3-U0-G3	33221	134	B3-U0-G3	33885	137	B3-U0-G3	
	2		35025	111	B4-U0-G3	37454	118	B4-U0-G3	38238	121	B4-U0-G4	
	3		36466	115	B3-U0-G5	38996	123	B3-U0-G5	39812	126	B3-U0-G5	
201	5W	70	34609	109	B5-U0-G4	37010	117	B5-U0-G4	37785	119	B5-U0-G4	040
36L	FT	70	36251	114	B3-U0-G5	38766	122	B4-U0-G5	39557	125	B4-U0-G5	_
	FTA		36058	114	B4-U0-G4	38559	122	B4-U0-G4	39366	124	B4-U0-G3	
	AM		37429	118	B3-U0-G3	40030	126	B3-U0-G3	40831	129	B3-U0-G3	



### **PERFORMANCE (CONT.)**

Delivered Lumens*	Delivered Lumens*											
Lumen Package Distribution			3000K CCT		4000K CCT		5000K CCT					
	CRI	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Wattage	
2 3	2		3994	103	B5-U0-G4	42768	110	B5-U0-G4	43663	112	B5-U0-G4	
		41640	107	B4-U0-G5	44528	114	B4-U0-G5	45460	117	B4-U0-G5		
401	5W	70	39520	101	B5-U0-G4	42261	108	B5-U0-G4	43145	111	B5-U0-G4	393
FT FTA AM	FT	70	41395	106	B4-U0-G5	44266	114	B4-U0-G5	45192	116	B4-U0-G5	393
	FTA		41174	106	B4-U0-G4	44030	113	B4-U0-G4	44951	115	B4-U0-G4	
	AM		43021	109	B3-U0-G3	46012	117	B4-U0-G3	46932	119	B4-U0-G3	

ELECTRICA	ELECTRICAL DATA (AMPS)*									
Lumens	Watts	120V	208V	240V	277V	347V	480V			
7L	53	0.4A	0.3A	0.2A	0.2A	0.2A	0.1A			
9L	69	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A			
12L	94	0.8A	0.5A	0.4A	0.3A	0.3A	0.2A			
18L	150	1.2A	0.7A	0.6A	0.5A	0.4A	0.3A			
24L	187	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A			
30L	247	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A			
36L	317	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A			
42L	390	3.2A	1.9A	1.6A	1.4A	1.1A	0.8A			

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*									
Lumens	Watts	120V	208V	240V	277V	347V	480V		
9L	74.3	0.6A	0.4A	0.3A	0.3A	0.2A	0.2A		
12L	102.9	0.9A	0.5A	0.4A	0.4A	0.3A	0.2A		

<sup>\*</sup>Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

LUMINA	LUMINAIRE EPA CHART - MRM									
Tilt 0	Degree	0°	30°	45⁰	Tilt I	Degree	0°	30°	45°	
-	Single	0.5	1.5	1.9		T90°	1.0	2.5	2.8	
	D180°	1.0	1.5	1.9	**	TN120°	1.0	3.3	3.9	
₹	D90°	0.8	1.9	2.3		Q90°	1.0	2.5	2.8	

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (7-18L)								
Ambient Intial <sup>2</sup> 25h <sup>2</sup> 50hr <sup>2</sup> 75hr <sup>2</sup> 100hr <sup>2</sup>								
0-50 C	100%	96%	92%	88%	84%			

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (24-42L)								
Ambient         Intial <sup>2</sup> 25h <sup>2</sup> 50hr <sup>2</sup> 75hr <sup>2</sup> 100hr <sup>2</sup>								
0-40 C	100%	100%	97%	94%	92%			

- 1. Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

DELIVERED LUMENS*					
Lumen Distribution		Phosphor Converted Amber (Peak 610mm)			W-U
Package	Distribution	Delivered Lumens	Efficacy	BUG Rating	Wattage
	2	5848	80	B2-U0-G2	
	2 - IL	3644	50	B0-U0-G1	
	3	6018	82	B1-U0-G2	
	3 - IL	4468	61	B0-U0-G2	
9L	5W	5471	74	B3-U0-G1	74
	FT	5801	79	B1-U0-G2	
	FT - IL	3649	50	B0-U0-G1	
	FTA	5924	81	B1-U0-G1	
	FTA - IL	4243	58	B1-U0-G1	
	2	7530	74	B2-U0-G2	
	2 - IL	4692	46	B0-U0-G1	
	3	7749	76	B1-U0-G2	
12L	3 - IL	5753	57	B0-U0-G2	
	5W	7045	69	B3-U0-G2	102
	FT	7470	73	B2-U0-G2	
	FT - IL	4699	46	B0-U0-G2	
	FTA	7628	75	B2-U0-G2	
	FTA-IL	5464	54	B1-U0-G1	

<sup>\*</sup>LEDs are frequently updated therefore values are nominal.



PHOTOMETRICS Back to Quick Links

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <a href="http://www.lsi-industries.com/products/led-lighting-solutions.aspx">http://www.lsi-industries.com/products/led-lighting-solutions.aspx</a> for detailed photometric data.

### MRM-LED-30L-SIL-2-40-70CRI

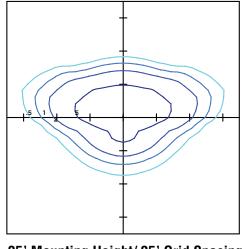
### **LUMINAIRE DATA**

Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	30,905
Watts	247
Efficacy	125
IES Type	Type II - Short
BUG Rating	B4-U0-G3

### **Zonal Lumen Summary**

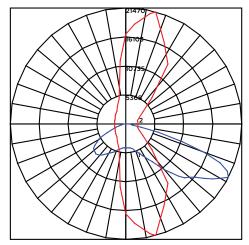
-		
Zone	Lumens	%Luminaire
Low (0-30)°	4392	14%
Medium (30-60)°	18894	61%
High (60-80)°	7359	24%
Very High (80-90)°	260	1%
Uplight (90-180)°	0	0%
Total Flux	30905	100%

### ISO FOOTCANDLE





### **POLAR CURVE**



### MRM-LED-30L-SIL-3-40-70CRI

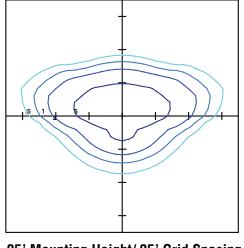
### **LUMINAIRE DATA**

Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,176
Watts	247
Efficacy	130
IES Type	Type III - Short
BUG Rating	B3-U0-G4

### **Zonal Lumen Summary**

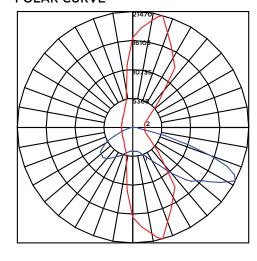
Zone	Lumens	%Luminaire
Low (0-30)°	2970	9%
Medium (30-60)°	16127	50%
High (60-80)°	12779	40%
Very High (80-90)°	301	1%
Uplight (90-180)°	0	0%
Total Flux	32176	100%

### ISO FOOTCANDLE





### POLAR CURVE





### **PHOTOMETRICS (CONT)**

### MRM-LED-30L-SIL-FT-40-70CRI

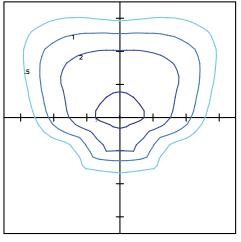
### **LUMINAIRE DATA**

Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,987
Watts	247
Efficacy	130
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

### **Zonal Lumen Summary**

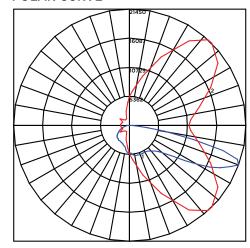
Zone	Lumens	%Luminaire
Low (0-30)°	4126	13%
Medium (30-60)°	13479	42%
High (60-80)°	13768	43%
Very High (80-90)°	614	2%
Uplight (90-180)°	0	0%
Total Flux	31987	100%

### ISO FOOTCANDLE





### **POLAR CURVE**



### MRM-LED-30L-SIL-5W-40-70CRI

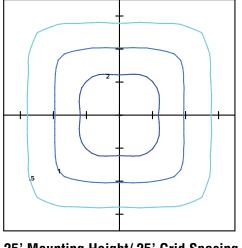
### **LUMINAIRE DATA**

Type 5W Distribution		
Description	4000 Kelvin, 70 CRI	
Delivered Lumens	30,538	
Watts	247	
Efficacy	124	
IES Type	Type VS - Short	
BUG Rating	B5-U0-G4	

### **Zonal Lumen Summary**

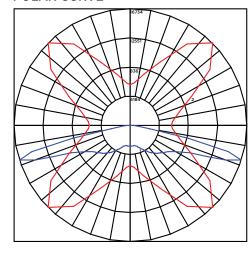
Zone	Lumens	%Luminaire
Low (0-30)°	2862	9%
Medium (30-60)°	12032	39%
High (60-80)°	15328	50%
Very High (80-90)°	315	1%
Uplight (90-180)°	0	0%
Total Flux	30538	100%

### ISO FOOTCANDLE





### **POLAR CURVE**





### PHOTOMETRICS (CONT)

### MRM-LED-30L-SIL-FTA-40-70CRI

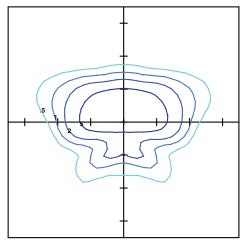
### **LUMINAIRE DATA**

Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,816
Watts	247
Efficacy	129
IES Type	Type II - Short
BUG Rating	B4-U0-G3

### **Zonal Lumen Summary**

Lumens	%Luminaire	
6758	21%	
18845	59%	
5872	18%	
341	1%	
0	0%	
31816	100%	
	6758 18845 5872 341	

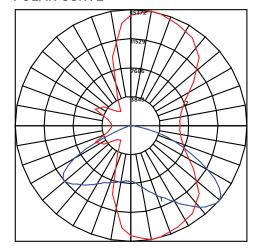
### ISO FOOTCANDLE





### **POLAR CURVE**

**POLAR CURVE** 



### MRM-LED-30L-SIL-AM-40-70CRI

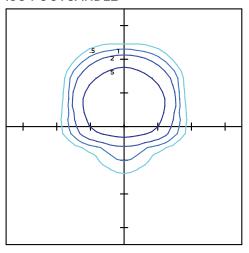
### **LUMINAIRE DATA**

Type AM Distribution		
Description	4000 Kelvin, 70 CRI	
Delivered Lumens	33,221	
Watts	247	
Efficacy	134	
IES Type	Type III - Very Short	
BUG Rating	B3-U0-G3	

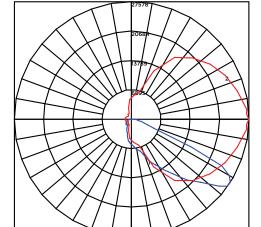
### **Zonal Lumen Summary**

Zone	Lumens	%Luminaire
Low (0-30)°	5550	17%
Medium (30-60)°	21354	64%
High (60-80)°	5881	18%
Very High (80-90)°	435	1%
Uplight (90-180)°	0	0%
Total Flux	33221	100%

### ISO FOOTCANDLE



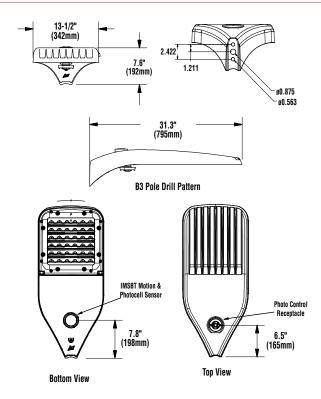






PRODUCT DIMENSIONS

Back to Quick Links



### CONTROLS

### AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf

### AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

https://www.lsicorp.com/product/airlink-blue/





### **POLES & BRACKETS**

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our oven baked DuraGrip Protection System. Also available with our DuraGrip+ Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

https://www.lsicorp.com/products/poles-brackets/



### **BKA UMB CLR**

The 3G rated UMB allows for seamless integration of LSI luminaires onto existing/retrofit or new construction poles. The UMB was designed for square or round (tapered or straight) poles with two mounting hole spacings between 3.5" – 5".



### **BKS PQM15 CLR**

The Pole Quick Mount Bracket allows for preset 15° uptilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.





Type: \_



Square Pole 14'-39'

Pole 10'-30'

Tapered Pole 20'-39'

### **BKA ASF CLR**

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a onto a 2" iron pipe , 2 3/8 OD tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



### BKS PQMH CLR

The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's B3 or B5 standard pole bolt patterns.



Catalog #	: MRMLED-9L-SIL-FT-UNV-DIM-40-70C	RI F	Project:	Great Lakes	Taco Bell -	White Lake	2
outurog "		·					
	_				_ ^4		Item A.

Prepared By: Date:

### Mirada Medium (MRM)

### Outdoor LED Area Light















Type: A1

OVER	VIEW
Lumen Package	7,000 - 42,000
Wattage Range	53 - 390
Efficacy Range (LPW)	93 - 148
Weight lbs(kg)	30 (13.6)

### **QUICK LINKS**

**Ordering Guide** 

**Performance** 

**Photometrics** 

**Dimensions** 

### **FEATURES & SPECIFICATIONS**

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath
- · Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip\* polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- · Shipping weight: 30 lbs in carton.

### **Optical System**

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- · Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- · Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- · Zero upliaht.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- · Integral louver (IL) and house-side shield (IH) options available for improved backlight control without sacrificing street side performance. See page 3 for more details.

#### Electrical

- · High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 5)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L lumen package rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- · High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- · Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

### Controls

- · Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 9 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
- LSI's AirLink™ wireless control system options reduce energy and maintenance costs while optimizing light quality 24/7. (see page 9 for more details.

### Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment
- Included terminal block accepts up to 12 ga.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products. (See drawing on page 9)

### Warranty

• LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- · Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598. IP66 rated optical chamber.
- 3G rated for ANSI C136.31 high vibration applicationsapplicationsare qualified.

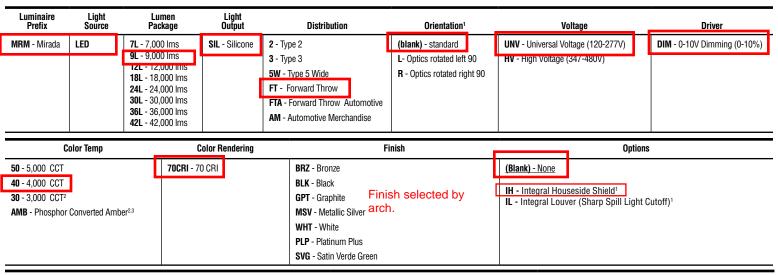
Specifications and dimensions subject to change without notice.





**ORDERING GUIDE Back to Quick Links** 

#### MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ TYPICAL ORDER EXAMPLE:



### Controls (Choose One)

(Blank) - None

### Wireless Controls System

ALSC - AirLink Synapse Control System 4

ALSCH - AirLink Synapse Control System Host / Satelite 4,5

ALSCS01 - AirLink Synapse Control System with 8-12' Motion Sensor 4

ALSCHS01 - AirLink Synapse Control System Host / Satelite with 8-12' Motion Sensor 4.5

ALSCS02 - AirLink Synapse Control System with 12-20' Motion Sensor<sup>4</sup>

ALSCHS02 - AirLink Synapse Control System Host / Satelite with 12-20' Motion Sensor 4,5

ALSCS04 - AirLink Synapse Control System with 20-40' Motion Sensor 4

ALSCHS04 - AirLink Synapse Control System Host / Satelite with 20-40' Motion Sensor 4,5

ALBCS2 - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)4

ALBCS1 - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)4

### Stand-Alone Controls

EXT - 0-10v Dimming leads extended to housing exterior

CR7P - 7 Pin Control Receptacle ANSI C136.41

IMSBT1- Integral Bluetooth™ Motion and Photocell Sensor

max 8-24' mounting height 4, 6

IMSBT2- Integral Bluetooth Motion and Photocell Sensor

max 25-40' mounting height 4,6

**Button Type Photocells** 

PCI120 - 120V **PCI208-277** - 208 -277V

PCI347 - 347V

### (Lutron Limelight Controls

LLC - LimeLight Integral Wireless Radio Control by Lutron4 LLCS1 - Limelight Integral Wireless Radio Control and PIR Motion/

Type: \_\_

Daylight Sensor by Lutron 8-15' mt height4

LLCS2 – Limelight Integral Wireless Radio Control and PIR Motion/

Daylight Sensor by Lutron 16-30' mt height4 LLCS3 – Limelight Integral Wireless Radio Control and PIR Motion/

Daylight Sensor by Lutron 31-40' mt height4

### Accessory Ordering Information<sup>8</sup>

Controls Accessories		Mounting Accessories				
Description	Order Number <sup>10</sup>	Description	Order Number <sup>10</sup>			
Twist Lock Photocell (120V) for use with CR7P	122514	Universal Mounting Bracket	684616CLR			
Twist Lock Photocell (208-277) for use with CR7P	122515	Adjustable Slip Fitter (2" - 2 3/8" Tenon)	688138CLR			
Twist Lock Photocell (347V) for use with CR7P	122516	Horizontal Slip Fitter (2" - 2 3/8" Tenon)	652761CLR			
Twist Lock Photocell (480V) for use with CR7P	1225180	Quick Mount Pole Bracket (Square Pole)	687073CLR			
AirLink 5 Pin Twist Lock Controller	661409	Quick Mount Pole Bracket (4-5" Round Pole)	689903CLR			
AirLink 5 Pin Twist Lock Controller	661410	15 Tilt Quick Mount Pole Bracket (Square Pole)	688003CLR			
Pole-Mounted Occupancy Sensor (24V)	663284CLR	15 Tilt Quick Mount Pole Bracket (4-5" Round Pole)	689905CLR			
Shorting Cap for use with CR7P	149328	Wall Mount Bracket	382132CLR			
		Integral Louver/Shield	690981			
		Internal Houseside Shield	743415			

Fusing Accessories <sup>12</sup>						
Description	Order Number					
Single Fusing (120V)	FK120					
Single Fusing (277V)	FK277					
Double Fusing (480V)	DFK480					
Double Fusing (347V)	DFK347					

### FOOTNOTES:

- 1 Not available on "Type 5W" distribution.
- 2 Consult Factory for availability.
- 3 Only available in 9L and 12L Lumen Packages
- 4 Not available in HV.
- 5 Consult Factory for Site Layout
- 6 IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store
- 7 Control device or shorting cap must be ordered separately. See Accessory Ordering Information.
- 8 Accessories are shipped separately and field installed.
- 9 Factory installed CR7P option required. See Options. 10 "CLR" denotes finish. See Finish options.
- 11 Not available in UNV
- 12 Fusing must be located in hand hole of pole.





### **OPTICS ROTATION**

Use Type

(Optics Rotated Right)

### **ACCESSORIES/OPTIONS**

# **Top View** Optics Rotated Right Optics Rotated Left Straight Pole

**EXAMPLE** 

### Integral Louver (IL) and House-Side Shield (IH)

Accessory louver and shield available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (L) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate with the optical distribution.

### **Luminaire Shown with** Integral Louver (IL)

**Luminaire Shown with IMSBT Option** 





### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

### Luminaire Shown with PCR 7P



Use Type

(Optics Rotated Left)



ack to Quick Links

Type: \_\_\_

				3000K CCT			4000K CCT	4000K CCT		5000K CCT		
umen Package	Distribution	CRI	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Wattage
	2		6711	127	B2-U0-G1	7208	137	B2-U0-G2	7596	144	B2-U0-G2	
	3		6889	130	B1-U0-G2	7400	140	B1-U0-G2	7798	148	B1-U0-G2	
_	5W		6557	124	B3-U0-G1	7043	133	B3-U0-G2	7422	141	B3-U0-G2	
7L	FT	70	6701	127	B1-U0-G2	7197	136	B1-U0-G2	7584	144	B2-U0-G2	53
	FTA		6799	129	B2-U0-G1	7303	138	B2-U0-G1	7696	146	B2-U0-G1	
	AM		7225	136	B1-U0-G1	7922	149	B2-U0-G1	8239	155	B2-U0-G1	
	2		8576	125	B2-U0-G2	9396	137	B2-U0-G2	9784	143	B2-U0-G2	
	3		8804	129	B1-U0-G2	9646	141	B2-U0-G2	10044	147	B2-U0-G2	
0.1	5W		B3-U0-G2	00								
9L	FT	70	8563	125	B2-U0-G2	9382	137	B2-U0-G2	9769	143	B2-U0-G2	68
	FTA		8689	127	B2-U0-G2	9520	139	B2-U0-G2	9913	145	B2-U0-G2	
	AM		9432	137	B2-U0-G1	10342	150	B2-U0-G2	10755	156	B2-U0-G2	
	2		11461	122	B2-U0-G2	12556	134	B3-U0-G2	13075	139	B3-U0-G2	
	3		11766	125	B2-U0-G2	12890	137	B2-U0-G2	13423	143	B2-U0-G2	
12L	5W	70	11199	119	B4-U0-G2	12269	131	B4-U0-G2	12775	136	B4-U0-G2	00
	FT	70	11444	122	B2-U0-G2	12538	133	B2-U0-G3	13055	139	B2-U0-G3	93
	FTA		11612	124	B2-U0-G2	12722	135	B2-U0-G2	13247	141	B2-U0-G2	
	AM		12582	134	B2-U0-G2	13796	147	B2-U0-G2	14348	153	B2-U0-G2	
	2		17168	115	B3-U0-G3	18809	126	B3-U0-G3	19586	131	B3-U0-G3	
_	3		17625	118	B2-U0-G3	19310	129	B3-U0-G3	20107	134	B3-U0-G3	
401	5W	70	16776	112	B4-U0-G2	18379	123	B4-U0-G2	19138	128	B5-U0-G3	140
18L	FT	70	17143	115	B3-U0-G3	18781	126	B3-U0-G4	19557	131	B3-U0-G4	149
	FTA		17395	116	B3-U0-G3	19058	127	B3-U0-G3	19844	133	B3-U0-G3	
	AM		18863	127	B3-U0-G2	20683	149	B3-U0-G2	21511	149	B3-U0-G2	
	2		22701	121	B4-U0-G3	24276	130	B4-U0-G3	24784	133	B4-U0-G3	
	3		23636	126	B3-U0-G4	25275	135	B3-U0-G4	25804	138	B3-U0-G4	
0.41	5W	70	22432	120	B5-U0-G3	23988	128	B5-U0-G3	24490	131	B5-U0-G3	100
24L	FT	70	23496	126	B3-U0-G4	25126	134	B3-U0-G4	25652	137	B3-U0-G4	189
	FTA		23371	125	B3-U0-G3	24992	134	B3-U0-G3	25515	136	B3-U0-G3	
	AM		24522	131	B3-U0-G3	26227	140	B3-U0-G3	26751	143	B3-U0-G3	
	2		28900	117	B4-U0-G3	30905	125	B4-U0-G3	31551	128	B4-U0-G3	
	3		30089	122	B3-U0-G4	32176	130	B3-U0-G4	32850	133	B3-U0-G4	
201	5W	70	28557	116	B5-U0-G3	30538	124	B5-U0-G4	3117	126	B5-U0-G4	240
30L	FT	70	29912	121	B3-U0-G4	31987	130	B3-U0-G4	32656	132	B3-U0-G5	249
	FTA		29752	120	B4-U0-G3	31816	129	B4-U0-G3	32482	132	B4-U0-G3	
	AM		31061	126	B3-U0-G3	33221	134	B3-U0-G3	33885	137	B3-U0-G3	
	2		35025	111	B4-U0-G3	37454	118	B4-U0-G3	38238	121	B4-U0-G4	
	3		36466	115	B3-U0-G5	38996	123	B3-U0-G5	39812	126	B3-U0-G5	
261	5W	70	34609	109	B5-U0-G4	37010	117	B5-U0-G4	37785	119	B5-U0-G4	210
36L	FT	70	36251	114	B3-U0-G5	38766	122	B4-U0-G5	39557	125	B4-U0-G5	318
	FTA		36058	114	B4-U0-G4	38559	122	B4-U0-G4	39366	124	B4-U0-G3	
	AM		37429	118	B3-U0-G3	40030	126	B3-U0-G3	40831	129	B3-U0-G3	



### **PERFORMANCE (CONT.)**

Delivered Lumens*												
			3000K CCT		4000K CCT		5000K CCT					
Lumen Package	Distribution	CRI	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Delivered Lumens	Efficacy	BUG Rating	Wattage
	2		3994	103	B5-U0-G4	42768	110	B5-U0-G4	43663	112	B5-U0-G4	
	3		41640	107	B4-U0-G5	44528	114	B4-U0-G5	45460	117	B4-U0-G5	
42L	5W		39520	101	B5-U0-G4	42261	108	B5-U0-G4	43145	111	B5-U0-G4	202
4ZL	FT	70	41395	106	B4-U0-G5	44266	114	B4-U0-G5	45192	116	B4-U0-G5	-
	FTA		41174	106	B4-U0-G4	44030	113	B4-U0-G4	44951	115	B4-U0-G4	
	AM		43021	109	B3-U0-G3	46012	117	B4-U0-G3	46932	119	B4-U0-G3	

ELECTRICA	ELECTRICAL DATA (AMPS)*									
Lumens	Watts	120V	208V	240V	277V	347V	480V			
7L	53	0.4A	0.3A	0.2A	0.2A	0.2A	0.1A			
9L	69	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A			
12L	94	0.8A	0.5A	0.4A	0.3A	0.3A	0.2A			
18L	150	1.2A	0.7A	0.6A	0.5A	0.4A	0.3A			
24L	187	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A			
30L	247	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A			
36L	317	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A			
42L	390	3.2A	1.9A	1.6A	1.4A	1.1A	0.8A			

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*									
Lumens	Watts	120V	208V	240V	277V	347V	480V		
9L	74.3	0.6A	0.4A	0.3A	0.3A	0.2A	0.2A		
12L	102.9	0.9A	0.5A	0.4A	0.4A	0.3A	0.2A		

<sup>\*</sup>Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

LUMINAIRE EPA CHART - MRM									
Tilt I	Degree	0°	30°	45⁰	Tilt [	Degree	O°	30°	45°
-	Single	0.5	1.5	1.9		T90°	1.0	2.5	2.8
	D180°	1.0	1.5	1.9		TN120°	1.0	3.3	3.9
Ŧ.	D90°	0.8	1.9	2.3		Q90°	1.0	2.5	2.8

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (7-18L)								
Ambient	Intial <sup>2</sup>	25h²	50hr <sup>2</sup>	75hr²	100hr²			
0-50 C	100%	96%	92%	88%	84%			

RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (24-42L)								
Ambient	100hr²							
0-40 C	100%	100%	97%	94%	92%			

- 1. Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- 3. In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

DELIVERED LUMENS*					
Lumen	Distribution	Phosphor Converted Amber (Peak 610mm)			Wattana
Package	DISTRIBUTION	Delivered Lumens	Efficacy	BUG Rating	Wattage
	2	5848	80	B2-U0-G2	
	2 - IL	3644	50	B0-U0-G1	
	3	6018	82	B1-U0-G2	
	3 - IL	4468	61	B0-U0-G2	
9L	5W	5471	74	B3-U0-G1	74
	FT	5801	79	B1-U0-G2	
	FT - IL	3649	50	B0-U0-G1	
	FTA	5924	81	B1-U0-G1	
	FTA - IL	4243	58	B1-U0-G1	
	2	7530	74	B2-U0-G2	
12L	2 - IL	4692	46	B0-U0-G1	
	3	7749	76	B1-U0-G2	
	3 - IL	5753	57	B0-U0-G2	
	5W	7045	69	B3-U0-G2	102
	FT	7470	73	B2-U0-G2	
	FT - IL	4699	46	B0-U0-G2	
	FTA	7628	75	B2-U0-G2	
	FTA-IL	5464	54	B1-U0-G1	

<sup>\*</sup>LEDs are frequently updated therefore values are nominal.



PHOTOMETRICS Back to Quick Links

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

See <a href="http://www.lsi-industries.com/products/led-lighting-solutions.aspx">http://www.lsi-industries.com/products/led-lighting-solutions.aspx</a> for detailed photometric data.

### MRM-LED-30L-SIL-2-40-70CRI

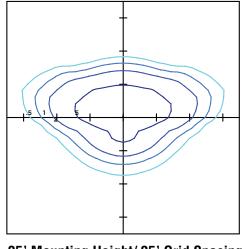
### **LUMINAIRE DATA**

Type 2 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	30,905
Watts	247
Efficacy	125
IES Type	Type II - Short
BUG Rating	B4-U0-G3

### **Zonal Lumen Summary**

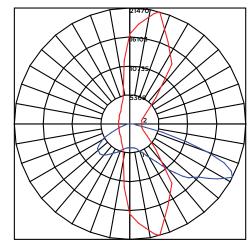
Lumens	%Luminaire	
4392	14%	
18894	61%	
7359	24%	
260	1%	
0	0%	
30905	100%	
	4392 18894 7359 260	

### ISO FOOTCANDLE





### **POLAR CURVE**



### MRM-LED-30L-SIL-3-40-70CRI

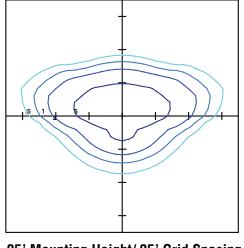
### **LUMINAIRE DATA**

Type 3 Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	32,176
Watts	247
Efficacy	130
IES Type	Type III - Short
BUG Rating	B3-U0-G4

### **Zonal Lumen Summary**

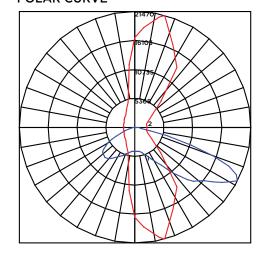
Zone	Lumens	%Luminaire
Low (0-30)°	2970	9%
Medium (30-60)°	16127	50%
High (60-80)°	12779	40%
Very High (80-90)°	301	1%
Uplight (90-180)°	0	0%
Total Flux	32176	100%

### ISO FOOTCANDLE





### **POLAR CURVE**





### PHOTOMETRICS (CONT)

### MRM-LED-30L-SIL-FT-40-70CRI

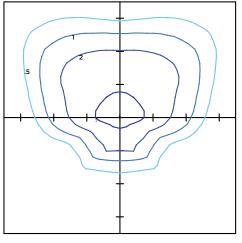
### **LUMINAIRE DATA**

Type FT Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,987
Watts	247
Efficacy	130
IES Type	Type IV - Short
BUG Rating	B3-U0-G4

### **Zonal Lumen Summary**

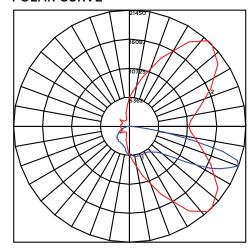
Zone	Lumens	%Luminaire
Low (0-30)°	4126	13%
Medium (30-60)°	13479	42%
High (60-80)°	13768	43%
Very High (80-90)°	614	2%
Uplight (90-180)°	0	0%
Total Flux	31987	100%

### ISO FOOTCANDLE





### **POLAR CURVE**



### MRM-LED-30L-SIL-5W-40-70CRI

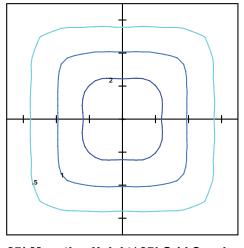
### **LUMINAIRE DATA**

Type 5W Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	30,538
Watts	247
Efficacy	124
IES Type	Type VS - Short
BUG Rating	B5-U0-G4

### **Zonal Lumen Summary**

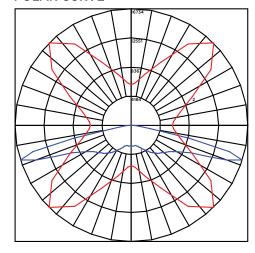
Zone	Lumens	%Luminaire
Low (0-30)°	2862	9%
Medium (30-60)°	12032	39%
High (60-80)°	15328	50%
Very High (80-90)°	315	1%
Uplight (90-180)°	0	0%
Total Flux	30538	100%

### ISO FOOTCANDLE





### **POLAR CURVE**







### **PHOTOMETRICS (CONT)**

### MRM-LED-30L-SIL-FTA-40-70CRI

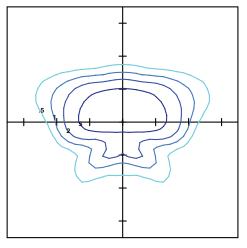
### **LUMINAIRE DATA**

Type FTA Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	31,816
Watts	247
Efficacy	129
IES Type	Type II - Short
BUG Rating	B4-U0-G3

### **Zonal Lumen Summary**

Zone	Lumens	%Luminaire
Low (0-30)°	6758	21%
Medium (30-60)°	18845	59%
High (60-80)°	5872	18%
Very High (80-90)°	341	1%
Uplight (90-180)°	0	0%
Total Flux	31816	100%

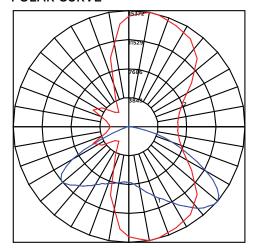
### ISO FOOTCANDLE





### **POLAR CURVE**

**POLAR CURVE** 



### MRM-LED-30L-SIL-AM-40-70CRI

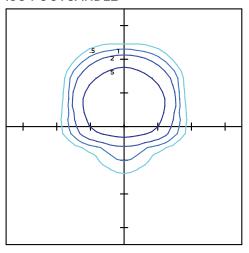
### **LUMINAIRE DATA**

Type AM Distribution	
Description	4000 Kelvin, 70 CRI
Delivered Lumens	33,221
Watts	247
Efficacy	134
IES Type	Type III - Very Short
BUG Rating	B3-U0-G3

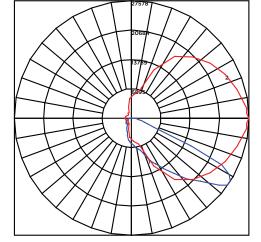
### **Zonal Lumen Summary**

Zone	Lumens	%Luminaire		
Low (0-30)°	5550	17%		
Medium (30-60)°	21354	64%		
High (60-80)°	5881	18%		
Very High (80-90)°	435	1%		
Uplight (90-180)°	0	0%		
Total Flux	33221	100%		

### ISO FOOTCANDLE





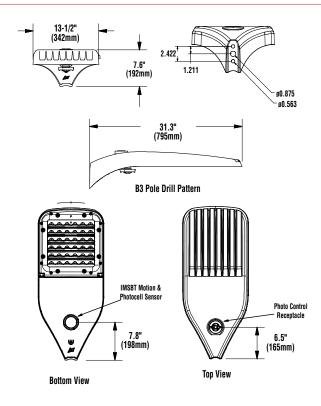




PRODUCT DIMENSIONS

Back to Quick Links

Type: \_



### CONTROLS

### AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf

### AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

https://www.lsicorp.com/product/airlink-blue/





### **POLES & BRACKETS**

LSI offers a full line of poles and mounting accessories to complete your lighting assembly. Aluminum and steel in both square and round shafts. In addition, LSI offers round tapered, fluted and hinge based poles. Designed and engineered for durability and protected with our oven baked DuraGrip Protection System. Also available with our DuraGrip+ Protection system for unmatched corrosion resistance and an extended warranty. American made in our Ohio facility with industry leading lead times.

Click the link below to learn more details about poles & brackets.

https://www.lsicorp.com/products/poles-brackets/



### **BKA UMB CLR**

The 3G rated UMB allows for seamless integration of LSI luminaires onto existing/retrofit or new construction poles. The UMB was designed for square or round (tapered or straight) poles with two mounting hole spacings between 3.5" – 5".



### **BKS PQM15 CLR**

The Pole Quick Mount Bracket allows for preset 15° uptilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.





Type: \_



nd Tapered e Pole D' 20'-39'

#### **BKA ASF CLR**

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a onto a 2" iron pipe , 2 3/8 OD tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



### BKS PQMH CLR

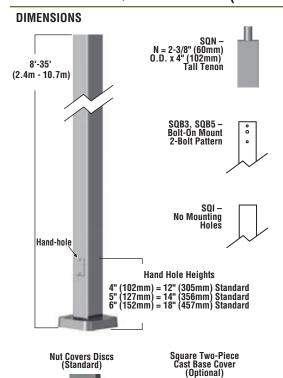
The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's B3 or B5 standard pole bolt patterns.

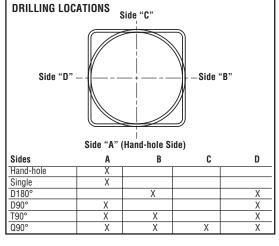


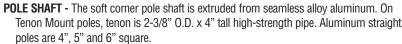




### **ALUMINUM SQUARE POLES (SOFT CORNER)**







**HAND-HOLE** - On 4" square poles, standard hand hole is 2" x 4" located 12" up from bottom of base plate. On 5" square poles, standard hand hole is 2" x 4" located 14" up from bottom of base plate. On 6" square poles, standard hand hole is 2-5/8" x 5" located 18" up from bottom of base plate. Hand hole gasket is provided. Optional festoon for GFI receptacle (with or without GFI Kit supplied) is available. Minimum height for location of festoon is 18" above standard hand hole.

**BASE** - Pole base is cast from 356 alloy aluminum. Completed assembly is heat-treated to a T6 temper. Tamper-resistant aluminum nut cover discs are included with anchor base.

**BASE COVERS** - Tamper-resistant aluminum nut cover discs are included with anchor base. Optional two-piece square cast base covers available. Must be ordered separately.

**ANCHOR BOLTS** - Set of four anchor bolts conform to ASTM F1554 Grade 55. Each bolt is provided with two hex nuts and two flat washers. Bolts have an "L" bend on one end and are galvanized a minimum of 12" on the threaded end.

**GROUND LUG** - Ground lug is standard.

**GROUND FAULT CIRCUIT INTERRUPTER** - Ground fault circuit interrupter kit is optional. Pole Preparation (festoon) with GFI Kit must be ordered. Specify location in feet above base of pole and side orientation. Minimum height for location of festoon is 18" above standard hand hole.

**FINISHES** - Baked-on polyester-powder finish provides one year limited warranty.

### DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed map).
- Confirm pole EPA equal to or exceeding value from note above
- Confirm total luminaire/bracket weight does not exceed maximum weight shown in chart below
- Consult factory for special wind load requirements

POLE SELE	LE SELECTION CHART: 4" (102mm), 5" (127					7mm) and 6" (152mm) aluminum square poles				
Height			Outside Dimensions		Max Weight (lbs) <sup>1</sup>	Bolt Circle	Structure Weight (Ibs) <sup>2</sup>			
8' (2.4m)	24.3	18.2	14.0	10.9	4" (102mm)	0.125	350	G	24	
10' (3.0m)	18.9	13.9	10.5	8.0	4" (102mm)	0.125	260	G	28	
12' (3.7m)	14.7	10.6	7.7	5.7	4" (102mm)	0.125	260	G	33	
14' (4.3m)	11.9	8.3	5.8	4.1	4" (102mm)	0.125	200	G	37	
15' (4.6m)	8.3	5.7	3.8	2.6	4" (102mm)	0.125	200	G	39	
16' (4.9m)	7.3	4.8	3.1	1.9	4" (102mm)	0.125	200	G	42	
16' (4.9m)	12.3	8.6	6.1	4.3	4" (102mm)	0.188	200	G	59	
18' (5.5m)	5.9	3.6	2.1	N/A	4" (102mm)	0.125	100	G	46	
18' (5.5m)	10.1	6.8	4.6	3.0	4" (102mm)	0.188	150	G	66	
18' (5.5m)	18.0	12.7	9.0	6.4	5" (127mm)	0.188	260	Н	85	
20' (6.1m)	4.1	2.1	N/A	N/A	4" (102mm)	0.125	150	G	51	
20' (6.1m)	8.1	5.2	3.1	1.7	4" (102mm)	0.188	150	G	73	
20' (6.1m)	15.4	10.5	7.1	4.7	5" (127mm)	0.188	150	Н	93	
20' (6.1m)	24.8	17.4	12.3	8.7	6" (152mm)	0.188	150	- 1	114	
20' (6.1m)	33.8	24.3	17.8	13.2	6" (152mm)	0.250	260	- 1	148	
25' (7.6m)	9.5	5.6	3.0	1.0	5" (127mm)	0.188	100	Н	115	
25' (7.6m)	15.8	10.1	6.1	3.3	6" (152mm)	0.188	260	ı	139	
25' (7.6m)	23.3	15.8	10.7	7.0	6" (152mm)	0.250	260	ı	182	
30' (9.1m)	14.2	8.6	4.8	2.0	6" (152mm)	0.250	260	ı	216	
32' (9.8m)	12.2	6.9	3.2	N/A	6" (152mm)	0.250	150	ı	229	
35' (10.7m)	9.1	4.2	N/A	N/A	6" (152mm)	0.250	100	I	250	

EPA based on commercial criteria. For applications in Canada and areas using code requirements other than commercial criteria, consult factory. Designs are limited to top-mounted and side-mount luminaires. Variations from sizes above are available, consult factory. Satisfactory performance of poles is dependent upon the pole being properly attached to a supporting foundation of adequate design.

Refer to EPA information on next page. Maximum luminaire/bracket weight is shown on the above chart.

- 1- Maximum weight of fixtures/brackets to be mounted to pole.
- 2- Structure weight is a nominal value which includes the pole shaft and base plate.



ARRA

Funding Compliant

Project Name \_\_\_\_\_\_ Fixture Type \_\_\_\_\_\_\_

Catalog #

10/22/1

LSI INDUSTRIES INC.

### **ALUMINUM SQUARE POLES (SOFT CORNER)**

### POLE ORDERING INFORMATION

A188 25 S **5SQB5** BRZ TYPICAL ORDER EXAMPLE:

Pole Series	Material	Height <sup>2</sup>	Mounting Configuration <sup>4</sup>	_	Pole Finish	Options
Bolt-On Mount - See selection guide for patterns and fixture matches.  4SQB3 - 3" Reduced Drilling Pattern  5SQB3 - 3" Reduced Drilling Pattern  4SQB5 - 5" Traditional Drilling Pattern  5SQB5 - 5" Traditional Drilling Pattern  6SQB5 - 5" Traditional Drilling Pattern  Tenon Mount - See selection guide for tenon and fixture/bracket matches.  4SQN  5SQN	A125125 Aluminum A188188 Aluminum A250250 Aluminum	10'	S - Single/Parallel D180° - Double D90° - Double T90° - Triple Q90° - Quad  N – Tenon Mount		BRZ – Bronze BLK – Black WHT – White SVG - Satin Verde MSV - Metallic Silv	FP - Festoon Outlet Provision Less GFI Kit <sup>5</sup> FPG - Festoon Outlet Provision With GFI Kit <sup>5</sup> LAB - Less Anchor Bolts
Internal Slip-fitter <sup>1</sup> No mounting holes or pole caps - Use with BKA 4ISF, BKA 5ISF, BKA X4ISF & BKA X5ISF 4SQI 5SQI	Consult Pole Sele Chart on opposite		*			

#### FOOTNOTES:

- $1 See\ Area\ Lighting\ Brackets Bolt-on\ and\ XAS3/XAMU\ Area\ Lighting\ Brackets\ pages\ for\ Internal\ Slip-fitter\ brackets.$   $2 Pole\ heights\ will\ have\ +/-\ 2"\ tolerance.$
- 3 Pole includes factory installed vibration damper.

ACCESSORY ORDERING INFORMATION	(Accessories are field installed)			
Description	Order Number			
4DABC - 4" Square Cast 2-Piece Base Cover	505605CLR			
5DABC - 5" Square Cast 2-Piece Base Cover	505606CLR			
6DABC - 6" Square Cast 2-Piece Base Cover	505608CLR			

- 4 TN120° mounting configuration not available.
- 5 Specify location in feet above base of pole and side orientation. Minimum height is 18" up from standard hand hole.

	4" (102mm) Square 9-15/16" (252mm) Square Base Plate	5" (127mm) Square 11-9/16" (294mm) Square Base Plate	6" (152mm) Square 12-3/4" (324mm) Square Base Plate		
	9" (229mm) Dia. Bolt Circle +/- 1/2" (13mm) G	11" (279mm) Dia. Bolt Circle +/- 1/2" (13mm) H	12-1/2" (318mm) Dia. Bolt Circle +/- 7/16" (11mm)		
Bolt Circle	9" +/- 1/2"	11" +/- 1/2"	12-1/2" +/- 7/16"		
	(229mm +/- 13mm)	(279mm +/- 13mm)	(318mm +/- 11mm)		
Anchor Bolt	3/4" dia. x 17" x 3" hook	3/4" dia. x 17" x 3" hook	1" dia. x 36" x 4" hook		
Size	(19mm x 432mm x 76 mm)	(19mm x 432mm x 76 mm)	(25mm x 914mm x 102mm)		
Anchor Bolt	3-1/8"	3-1/4"	4"		
Projection	(79mm)	(83mm)	(102mm)		
Base Plate	9-15/16" sq. x 3/8" thk.	11-9/16" sq. x 1/2" thk.	12-3/4" sq. x 9/16" thk.		
Dimensions	(252mm x 10mm)	(294mm x 13mm)	(324mm x 14mm)		

### **EPA INFORMATION**

All poles are guaranteed to meet the EPA requirements listed. Pole manufacturer is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located.

CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. Pole manufacturer cannot accept responsibility for harm or damage caused in these situations.

NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: poles designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPAs are for locations 100 miles away from hurricane ocean lines. Consult LSI for other areas. Note: Hurricane ocean lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Canada, and areas using code requirements other than commercial criteria, consult factory.

**Project Name** 

Fixture Type

LSI INDUSTRIES INC.



### WDGE1 LED

Architectural Wall Sconce





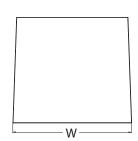


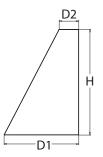




### **Specifications**

Depth (D1): 5.5" Depth (D2): 1.5" Height: 8" Width: 9" Weight: 9 lbs (without options)





### Catalog Number WDGE1LED-P1-40K-80CRI-VF

Item A.

Notes

Туре E2

### Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

### **WDGE LED Family Overview**

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)						
Lummaire				P1	P2	P3	P4	P5	P6	
WDGE1 LED	4W	-		1,200	2,000					
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000		
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000			
WDGE4 LED			Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000	

### **Ordering Information**

### **EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD**

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting		
WDGE1 LED	P1 P2	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K¹ 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 <sup>2</sup>	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>5</sup> Shipped separately AWS 3/8inch Architectural wall spacer		
						PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.		

Options		Finish			
E4WH <sup>3</sup>	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD	Dark bronze	DDBTXD	Textured dark bronze
PE <sup>4</sup>	Photocell, Button Type	DBLXD	Black	DBLBXD	Textured black
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD	Natural aluminum	DNATXD	Textured natural aluminum
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD	White	DWHGXD	Textured white
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD	Sandstone	DSSTXD	Textured sandstone
BAA	Buy America(n) Act Compliant	Finisl	h selected by		
		arch	•	I.	

### Accessories

COMMERCIAL OUTDOOR

WDGFAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish) WDGE1PBBW DDBXD U WDGE1 surface-mounted back box (specify finish)

### NOTES

- 1 50K not available in 90CRI.
- 347V not available with E4WH, DS or PE.
- E4WH not available with PE or DS.
- 4 PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



Performance Data

Item A.

### **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance System 27K (2700K, 80 CRI)				30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)								
Package	je Watts Dist. Type		Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U	G	Lumens	LPW	В	U		Lumens	LPW	В		G
P1	1014/	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
rı	10W	VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
D2	1514	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
P2	15W	VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

### **Electrical Load**

Performance	System Watts			Current (A)		
Package	System watts	120V	208V	240V	277V	347V
D1	10W	0.082	0.049	0.043	0.038	
P1	13W					0.046
na na	15W	0.132	0.081	0.072	0.064	
P2	18W					0.056

### **Lumen Multiplier for 90CRI**

ССТ	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

### Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
E4VVП	VW	647

### **Lumen Ambient Temperature (LAT) Multipliers**

Use these factors to determine relative lumen output for average ambient temperatures from 0-40  $^{\circ}C$  (32-104  $^{\circ}F).$ 

Amb	Ambient								
0°C	32°F	1.03							
10°C	50°F	1.02							
20°C	68°F	1.01							
25°C	77°F	1.00							
30°C	86°F	0.99							
40°C	104°F	0.98							

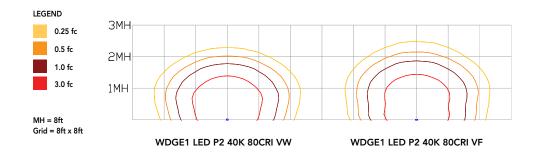
### **Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

COMMERCIAL OUTDOOR



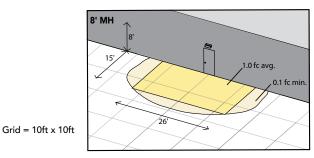
### **Emergency Egress Options**

### **Emergency Battery Backup**

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC - section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

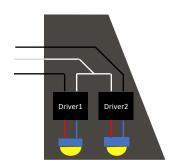


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

### **Dual Switching (DS) Option**

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC - section 700.16, NFPA 101 Life Safety Code Section 7.9







E4WH - 4W Emergency Battery Backup

D - 55'

H = 8"

W = 9"



AWS - 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"

### **FEATURES & SPECIFICATIONS**

### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### **ELECTRICAL**

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

COMMERCIAL OUTDOOR

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

### BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to <a href="https://www.acuitybrands.com/buy-american">www.acuitybrands.com/buy-american</a> for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





# WDGE1 LED

Architectural Wall Sconce





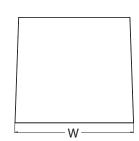


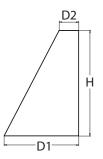




### **Specifications**

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs





### Catalog Number WDGE1LED-P1-40K-80CRI-VF

Item A.

Notes

Type E2

Hit the Tab key or mouse over the page to see all interactive elements

### Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

### **WDGE LED Family Overview**

Luminaire	Standard EM 0°C	Cold EM, -20°C	Concor			Lumens			
Luillinaire	Standard EM, 0°C	Cold EWI, -20 C	Sensor	P1	P2	P3	P4	P5	P6
WDGE1 LED	4W	-		1,200	2,000				
WDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	
WDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000		
WDGE4 LED			Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

### **Ordering Information**

### **EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD**

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P1 P2	27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K¹ 5000K	80CRI 90CRI	VF Visual comfort forward throw VW Visual comfort wide	MVOLT 347 <sup>2</sup>	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) <sup>5</sup> Shipped separately AWS 3/8inch Architectural wall spacer
						PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.

Options		Finish			
E4WH <sup>3</sup>	Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD	Dark bronze	DDBTXD	Textured dark bronze
PE <sup>4</sup>	Photocell, Button Type	DBLXD	Black	DBLBXD	Textured black
DS	Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD	Natural aluminum	DNATXD	Textured natural aluminum
DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD	White	DWHGXD	Textured white
BCE	Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD	Sandstone	DSSTXD	Textured sandstone
BAA	Buy America(n) Act Compliant	Finisl	h selected by		
		arch	•	i.	

### Accessories

COMMERCIAL OUTDOOR

WDGEAWS DDBXD WDGE 3/8inch Architectural Wall Spacer (specify finish)
WDGE1PBBW DDBXD U WDGE1 surface-mounted back box (specify finish)

### NOTES

- 1 50K not available in 90CRI.
- 2 347V not available with E4WH, DS or PE.
- 3 E4WH not available with PE or DS.
- 4 PE not available with DS.
- Not qualified for DLC. Not available with E4WH.



Performance Data

Item A.

### **Lumen Output**

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance System Die Torre 27K (2700K, 80 CRI)				30	30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)							
Package	Watts	Dist. Type	Lumens	LPW	В	U	G	Lumens	LPW	В	U		Lumens	LPW	В	U	G	Lumens	LPW		U		Lumens	LPW	В		G
D1	1014/	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
P1	10W	VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
na	1514/	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
P2	15W	VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

### **Electrical Load**

Performance	System Watts			Current (A)		
Package	System watts	120V	208V	240V	277V	347V
D1	10W	0.082	0.049	0.043	0.038	
P1	13W					0.046
na na	15W	0.132	0.081	0.072	0.064	
P2	18W					0.056

### **Lumen Multiplier for 90CRI**

ССТ	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

### Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens	
F4\4/11	VF	646	
E4WH	VW	647	

### **Lumen Ambient Temperature (LAT) Multipliers**

Use these factors to determine relative lumen output for average ambient temperatures from 0-40  $^{\circ}C$  (32-104  $^{\circ}F).$ 

Ambient		Lumen Multiplier	
0°C	32°F	1.03	
10°C	50°F	1.02	
20°C	68°F	1.01	
25°C	77°F	1.00	
30°C	86°F	0.99	
40°C	104°F	0.98	

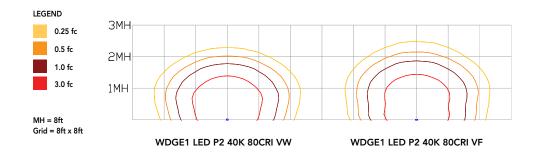
### **Projected LED Lumen Maintenance**

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91

COMMERCIAL OUTDOOR



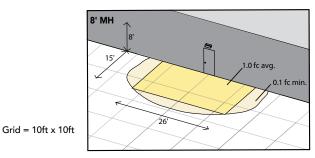
### **Emergency Egress Options**

### **Emergency Battery Backup**

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC - section 700.16, NFPA 101 Life Safety Code Section 7.9

The example below shows illuminance of 1 fc average and 0.1 fc minimum in emergency mode with E4WH and VF distribution.

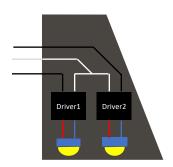


WDGE1 LED xx 40K 80CRI VF MVOLT E4WH

### **Dual Switching (DS) Option**

The dual switching option offers operational redundancy that certain codes require. With this option the luminaire comes integrated with two drivers and two light engines. These work completely independent to each other so that a failure of any individual component does not cause the whole luminaire to go dark. This option is typically used with a back generator or inverter providing emergency power.

Applicable codes: NFPA 70/NEC - section 700.16, NFPA 101 Life Safety Code Section 7.9





186



E4WH - 4W Emergency Battery Backup

D = 5.5'

H = 8"

W = 9"



AWS - 3/8inch Architectural Wall Spacer

D = 0.38"

H = 4.4"

W = 7.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"

H = 8"

W = 9"

### **FEATURES & SPECIFICATIONS**

### INTENDED USE

Common architectural look, with clean rectilinear shape, of the WDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

### CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

### FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

### OPTICS

Well crafted reflector optics allow the light engine to be recessed within the luminaire, providing visual comfort, superior distribution, uniformity, and spacing in wall-mount applications. The WDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

### **ELECTRICAL**

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

### INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

### LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at <a href="https://www.designlights.org/QPL">www.designlights.org/QPL</a> to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

### BUY AMERICAN

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT. Please refer to <a href="https://www.acuitybrands.com/buy-american">www.acuitybrands.com/buy-american</a> for additional information.

### WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at:

www.acuitybrands.com/support/warranty/terms-and-conditions

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



### LIGHTOLIER

by (s) ignify

### **Downlighting**

Flat Downlight Select

4" and 6" round



**Lightolier LED Flat Downlight Select** provides an easy and quick downlight solution without the traditional frame and reflector. Perfect for installation in low plenum and existing shallow space ceilings. The CCT selector feature makes it easy to choose CCT at the time of installation.

Project: Location:	
Cat.No: FD61 Type: G1	R4CCT4OOOK
Lamps:	Qty:
Notes:	

Fixture	example: FD4R4CCT		
Family FD	Size	сст	
<b>FD</b> Flat Downlight	<b>4R</b> 4-inch Round	4CCT	2700 K
	<b>6R</b> 6-inch Round		4000K

Accessories		example: FD4NCP
Family Model		
FD		
FD Flat Downlight 4NC		4" NC Plate
	6NCP	6" NC Plate
	10EC	10 ft Extension Cable
	4TBK	4" Black Trim facia
	6ТВК	6" Black Trim facia
	4TBN	4" Brushed Nickel Trim facia
	6ТВN	6" Brushed Nickel Trim facia

### **Features**

- **1. Flange:** aluminum alloy, powder coating in white (RAL9003)
- **2. Lens:** Diffuser is used for smooth and diffused light pattern.
- 3. Junction Box: steel, 4-1/8"x3-1/2"x1-2/9" (105mm\*88mm\*31mm). Clip attached on the side of the J-box to connect with fixture or new construction plate to meet NEC (National Electric Code). J-box also has key holes on the side for mounting on joist (see page 2).
- **4. Connector:** locking power connection is used to connect J-box and fixture. Standard length of the connection is 11-4/5"(300mm).
- **5. Ceiling cutout:** installation template on adhesive backed label is not provided. **4" round:** 4 1/3" (110mm) diameter.
  - **6" round:** 6 <sup>2</sup>/<sub>9</sub>" (158mm) diameter.
- **6. Gasket:** foam gasket supplied with fixture.

### **Electrical**

Electronic power supply:

RoHS compliant.\*

isolated driver, Grounding Class 2 Power Unit.

Remote power supply can only accommodate one LED module and cannot be shared with other LED module.

Fixture can be through wired.

**Dimming:** Compatible for ELV/TRIAC (120V) dimmers.

Philips SR150LED120 TRIAC (100-1%)

Leviton IPI06 TRIAC (100%-1%)

Leviton 6615P ELV (100%-5%)

Lutron DVELV-300P ELV(100%-1%)

Lutron NLV1000 TRIAC (100-1%)

Lutron PD-6WCL Wireless (100-1%)

### Labels

cULus listed (UL 1598) for wet locations (covered ceiling only). IC rated for direct contact with thermal insulation.

AirSeal for minimal air leakage.

ENERGY STAR® certified.

Title 24 compliant (JA8).

### Warranty

**Lifetime:** Expected lifetime 50,000 hours and backed by a 5-year warranty (visit signify.com/warranties for details).

		Lumen output	Input voltage	Input freq	Max. input current	Max. input power	Max. THD	Power factor	CRI
4	" Round	700lm	120V	60Hz	0.10A	11W	15%	0.9	90
6	" Round	900lm	120V	60Hz	0.125A	13.5W	15%	0.9	90

<sup>\*</sup> Restrictions on Hazardous Substances (RoHS) is a European directive (2002/95/EC) designed to limit the content of 6 substances [lead, mercury, cadmium, hexavalent chromium, polybrominated biphenyls (PBB), and polybrominated diphenyl ethers (PBDE)] in electrical and electronic products. For products used in North America compliance to RoHS is voluntary and self-certified.











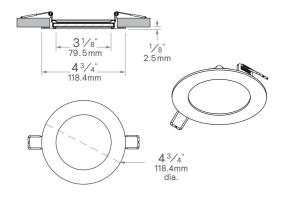
# Flat Downlight Select LED



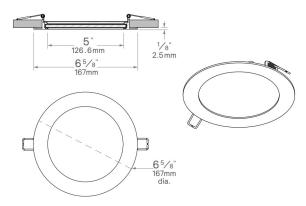
### 4" and 6" aperture recessed downlight

### **Dimensions:**

### Flat Downlight 4"

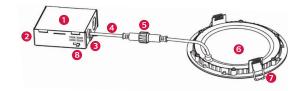


### Flat Downlight 6"

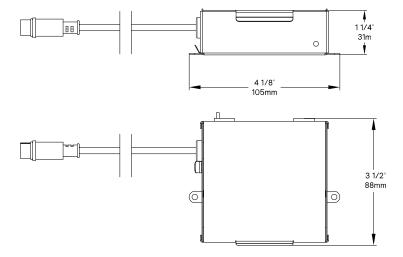


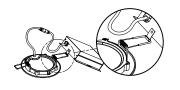
### **Components**

- 1. Electrical Box with knockouts
- 2. Mounting keyhole
- 3. Remodel NEC\* clip
- 4.11.8"(0.3m)cord
- 5. Locking power connector
- 6. Integrated LED Luminaire
- 7. Spring clip for easy mounting
- 8. CCT selector
- \*NEC = National Electric Code



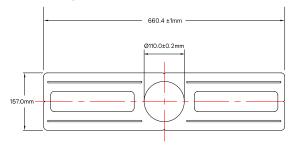
### Junction box



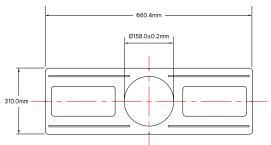


Remodeler applications: attach junction box clip to installation spring to assure NEC compliance.

### 4-inch NC plate



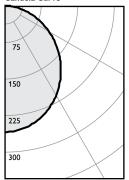
### 6-inch NC plate



## Flat Downlight Select LED

### 4" and 6" aperture recessed downlight

### FDL 4" Round 700lm 90 2700K, 3000K, 4000K & 5000K 120V



#### Fixture: FD4R4CCT

Output lumens:	700 lms
Input watts:	11 W
CRI:	90 CRI
CCT1:	2700K
	3000K
	4000K
	5000K
Spacing Crit.:	1.2

#### Zonal summary

Zone	Lumens	%Luminaire
0-30	198	28.3%
0-40	320	45.7%
0-60	555	79.3%
0-90	700	100.0%

Angle	Mean CP	Lumens
0	259	
5	258	24
10	254	
15	246	69
20	237	
25	225	104
30	212	
35	196	123
40	179	
45	161	125
50	143	
55	124	111
60	104	
65	84	83
70	65	
75	46	49
80	28	
85	11	12

#### Single unit data

	Initial center beam foot-candles	
5'	10	6.0'
6'	7	7.2'
7'	5	8.4'
8'	4	9.6'
9'	3	10.8'

\* Beam diameter is where foot-candles drop to 50% of maximum.

### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq. ft.
5'	28.0	0.49
6'	19.0	0.32
7'	13.0	0.23
8'	11.0	0.19
9'	9.0	0.15

38' x 38' x 10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

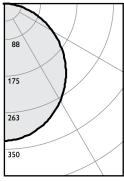
Efficacy: 63.6 lm/w Report<sup>2</sup>: 9290022700

#### Coefficients of utilization

Ceiling		80	)%		70	%	50	1%	30	)%	0%
Wall	70	50	30	10	50	10	50	10	50	10	0
RCR	Zon	al cav	ity m	ethoc	l – Eff	ective	e floo	r refl	ectan	ce = 2	20%
0	119	119	119	119	116	116	111	111	106	106	100
0 1	109	104	99	95	101	94	97	91	93	88	83
± 2	99	90	83	77	88	76	85	75	81	73	69
≃് ദ	90	79	71	64	77	63	74	62	72	61	58
.≧ 4	82	70	61	54	69	54	66	53	64	52	49
æ 5	75	62	53	47	61	46	59	46	57	45	43
Room Cavity Ratio 8 ∠ 9 ⊆ 7 € 6 -	70	56	47	41	55	40	53	40	52	40	37
5 7	65	51	42	36	50	36	48	35	47	35	33
දි 8	60	46	38	32	46	32	44	32	43	31	29
9	56	43	34	29	42	29	41	28	40	28	26
10	53	39	31	26	39	26	38	26	37	26	24

### FDL 6" Round 700lm 90 2700K, 3000K, 4000K & 5000K 120V

#### Candela Curve



### Fixture: FD6R4CCT

Output lumens:	900 lms
Input watts:	13 W
CRI:	90 CRI
CCT1:	2700K
	3000K
	4000K
	5000K

Spacing Crit.:

### Zonal summary

Zone	Lumens	%Luminaire
0-30	251	27.9%
0-40	408	45.3%
0-60	712	79.1%
0-90	900	100.0%

Angle	Mean CF	Lumer
0	330	
5	327	28
10	321	
15	313	80
20	301	
25	287	122
30	270	
35	251	147
40	230	
45	208	121
50	185	
55	160	68
60	135	
65	110	40
70	85	
75	60	23
80	36	
85	9	6
90	l ∩	1

#### Single unit data

	Initial center beam foot-candles	
5'	13	6.0'
6'	9	7.2'
7'	7	8.4'
8'	5	9.6'
9'	4	10.8'

\* Beam diameter is where foot-candles drop to 50% of maximum.

### Multiple unit data - RCR 2

Spacing on center	Initial center beam foot-candles	Watts per sq. ft.
5'	36.0	0.58
6'	24.0	0.38
7'	17.0	0.27
8'	14.0	0.23
9'	11.0	0.18

38' x 38' x 10' Room, Workplane 2.5' above floor, 80/50/20% Reflectances

**Efficacy: 69.2 lm/w** Report<sup>2</sup>: 9290022706

### Coefficients of utilization

Ceiling		80	)%		70	%	50	)%	30	)%	0%
Wall	70	50	30	10	50	10	50	10	50	10	0
RCR	Zon	al cav	ity m	ethoc	- Eff	ective	e floo	r refl	ectan	ice = 2	20%
0	119	119	119	119	116	116	111	111	106	106	100
0 1	109	104	99	95	101	94	97	91	93	88	83
± <u>ĕ</u> 2	99	90	83	77	88	76	85	75	81	73	69
Room Cavity Ratio 8 ∠ 9 ⊆ † E C .	90	79	71	64	77	63	74	62	72	61	58
.≩ 4	82	70	61	54	69	54	66	53	64	52	49
<u>₹</u> 5	75	62	53	47	61	46	59	46	57	45	43
<sub>2</sub> 6	70	56	47	41	55	40	53	40	52	40	37
5 7	65	51	42	36	50	36	48	35	47	35	33
윤 8	60	46	38	32	46	32	44	32	43	31	29
9	56	43	34	29	42	29	41	28	40	28	26
10	53	39	31	26	39	26	38	26	37	26	24

2. Tested using absolute photometry as specified in LM79: IESNA Approved Method for the Electrical and Photometric Measurements of Solid-State Lighting Products.



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<sup>1.</sup> Correlated Color Temperature within specs as defined in ANSI\_NEMA\_ANSLG C78.377-2008: Specifications for the Chromaticity of Solid State Lighting Products.

## LFX-XS SERIES Outdoor Lighting



LFX-XS-15W-30K-KN LFX-XS-15W-40K-KN LFX-XS-15W-50K-KN

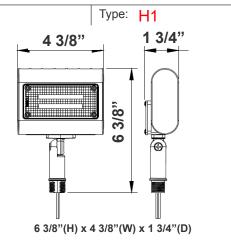


Ideal for general site lighting, alleys, loading docks, doorway, pathway, and parking areas.

### **Customer Name:**

Project Name:

Note:



### eatures

- DLC Premium & LED High-Lumen Flood lights
- Solid State Lighting Technology for Long Life
- No Maintenance Needed and High-Efficiency
- 70,000 Hours Rated Life
- 7-Year Warranty
- Optic Lens Type: III

## **Technical Specifications**

### **Electrical:**

Voltage: 120~277V AC/50~60 Hz

Wattage: 15W Power Factor: >0.9 Efficacy: 130 LPW

### **Mechanical:**

- Die-cast Aluminum Housing with Powder Coat Finish (Dark Bronze and White Finish)
- LED: Lumileds Luxeon 2835 High Flux LED
- Solid State Lighting technology for long life, no Maintenance needed and High-Efficiency
- High Conductive Aluminum LED Board
- 90° Adjustable 1/2" Knuckle Mount
- IP Rating: IP65
- Operating Temperature: -40°F to 104°F
- Suitable for Wet Locations

### **Lighting:**

- Dimming: 0~10V Dimmable
- Optic Lens Type: III
- Cord type: 13" #18 AWG stranded wires
- Total Lumens: 1950
- Color Temperature: 3000K/ 4000K/ 5000K
- Color Rendering Index: ≥ 82
- Beam Angle: 120°X 90°

### **Applications:**

- Ideal for general site lighting, alleys, loading docks, doorway, pathway and parking areas.
- Replace existing HID flood lights/ wall packs

### Other Models:

- 30W | 3880LM | LFX-SM-10-30W-30K-KN
- 50W | 6320LM | LFX-MD-15-50W-30K-KN
- 30W | 3880LM | LFX-SM-10-30W-40K-KN 30W | 3880LM | LFX-SM-10-30W-50K-KN
- 50W | 6320LM | LFX-MD-15-50W-40K-KN • 50W | 6320LM | LFX-MD-15-50W-50K-KN







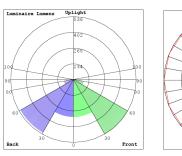


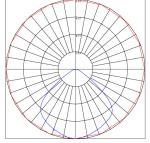




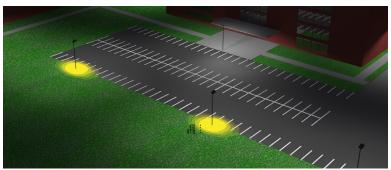


### Photometrics: LFX-XS-15W-KN





BUG Rating: B1-U0-G0



Area 30'x 45' Mounting Height: 20

### **Other Views:**







Front View



Back View

### Performance Table: LFX-XS-15W-KN

MODEL NO.	Wattage	Voltage	Lumens	Color Temp.	BUG Rating	LPW
LFX-XS-15W-30K-KN	15W	120~277V	1950	3000K	B1-U0-G0	130
LFX-XS-15W-40K-KN	15W	120~277V	1950	4000K	B1-U0-G0	130
LFX-XS-15W-50K-KN	15W	120~277V	1950	5000K	B1-U0-G0	130

## Sample Ordering

Model	Size	Wattage	Color Temp. Mount
LFX	- XS	<b>–</b> 15W	- KN
			30K = 3000K
			40K = 4000K 50K = 5000K

### **Accessories Options**

Blank = No Option For Accessories

WRC-3-BRZ =Weatherproof cover with three(3) 1/2" hubs

### **ACCESSORIES AND MOUNTING OPTIONS**



WRC-3-BRZ Weatherproof cover with Three (3) 1/2" hubs





Mounts to landscape post or any 1/2" hub



Fully adjustable 1/2" threaded knuckle for aiming versatility

### Color Options: Custom Color Available



### **Example:**

1. LFX-SM-15W-50K-KN

2. LFX-SM-15W-50K-KN WRC-3-BRZ

(For LFX 15W 5000K fixture 120V-277V)

(For LFX 15W 5000K fixture 120V-277V) (Weatherproof cover with three(3) 1/2" hubs)





Zone: 4 Height: 40' Spread: 12' Shape: Narrow, tightly fastigiate Foliage: Medium green Fall Color: Golden to orange

Selected from an evaluation of hundreds of seed-lings of 'Armstrong', this cultivar improves greatly on the parent, with brighter foliage color, greater foliage density and compact, less leggy growth habit. Improved columnar form recommends it for narrow street planting sites.

# **Armstrong Gold® Maple**

Acer rubrum 'JFS-KW78' PP 25301





P.O. Box 189 • Boring OR 97009 503-663-4128 • Fax 503-663-2121 Toll-Free 1-800-825-8202 www.jfschmidt.com



34018 BEACON LIVONIA, MICHIGAN 48150

(O) 734-522-3800

(F) 734-458-1988

Email: estimating@ghpastorbids.com

Project	Taco Bell New Construction	
Address	M-59 & Bogie Lake Road	
	White Lake, MI	
Bidding GC:	George H. Pastor & Sons	

CSI	SITE WORK
02000	GENERAL SITE WORK
02070	DEMOLITION
02110	LAND CLEARING
02000	CONSTRUCTION ENTRANCE
02000	LAYOUT
03300	TRASH ENCLOSURE
2800	FENCING / SCREENING
2000	EROSION CONTROL
2000	MONUMENT SIGN BASE
2000	OTHER SITE WORK
2000	OTHER SITE WORK
2200	EXCAVATION AND GRADING
02200	STRIP
02200	CUT
2200	FILL
2000	PREP GRADE
2200	FINE GRADE
2200	COMPACT
2200	GRADE / COMPACT
3300	CURBS AND GUTTERS
3300	24" CIP
3300	MOUNTABLE CURB
3300	30" DOT
2500	PAVING AND SURFACING
2500	ASPHALT / CONCRETE - STD DUTY
2500	ASPHALT / CONCRETE - HEAVY DUTY
2500	SUB BASE
2500	BASE
2500	SEAL / STRIPE
2500	H/C SIGNS
2500	WHEEL STOPS
2500	MISC. REPAIRS
3300	CONCRETE ON SITE
3300	CONCRETE WALKS
3300	APPROACHES
3300	DT LANE
3300	LIGHT POLE / SIGN BASE
3300	LIGHT FOLE / SIGN DASE
6000	SITE ELECTRICAL
6000	PRIMARY
6000	SECONDARY
6000	TELEPHONE CONDUIT
6000	FIXTURE / POLE MATERIAL

Quantity	Uni	Unit \$	Total	Comments
-	t			
	LS		\$0.00	
	LS		\$0.00	
1	LS	\$4,500.00	\$4,500.00	
1	LS	\$5,500.00	\$5,500.00	
1	LS	\$22,500.00	\$22,500.00	
	LF		\$0.00	
1	LF	\$7,500.00	\$7,500,00	
	LS		\$0.00	
	LS		\$0.00	
	LS		\$0.00	
			\$40,000.00	
Quantity	Uni	Unit \$	Total	Comments
Quantity	CY			
	CY		\$0.00	
	CY		\$0.00	
	SY		\$0.00	
	.01		\$0.00	
	Uni			
Quantity	t	Linit \$	Total	Comments
1354	LF	\$19.00	\$25,726.00	
	LF		\$0.00	
	LF	<u>L</u>	\$0.00	
			\$25,726.00	
Quantity	Uni t	Unit \$	Total	Comments
	SY		\$0.00	
1	SY	\$92,900.00	\$92,900.00	
	SY		\$0.00	
	SY		\$0.00	
	LS		\$0.00	
	EA		\$0.00	
	EA		\$0.00	
	LS		\$0.00	
			\$92,900.00	
Quantity	Uni t	Unit \$	Total	Comments
1750	SF	\$6.00	\$10,500.00	
	SF		\$0.00	
3288	SF	\$8.50	\$27,948.00	
10	EA	\$850,00	\$8,500.00	
			\$46,948.00	
Quantity	Uni t	Unit \$	Total	Comments
	LF		\$0.00	
	LF		\$0,00	
	LF		\$0.00	
	LS		\$0.00	

16000	FIXTURE / POLE LABOR		LS		\$0.00	
					\$0.00	
	SITE PLUMBING	Quantity	Uni t	Unit \$	Total	Comments
02600	DOMESTIC WATER SERVICE	190	LF	\$65.00	\$12,350.00	
02600	GAS SERVICE		LF		\$0.00	
02600	SANITARY PIPING	110	LF	\$55.00	\$6,050.00	
02600	OUTDOOR GREASE TRAP	1	LS	\$16,500.00	\$16,500.00	
02700	SEPTIC SYSTEM		LS		\$0.00	
02700	UNDER DRAIN		LF		\$0.00	
02700	ROOF TIE-IN		LF		\$0.00	
02700	STORM SEWER PIPE	450	LF	\$65.00	\$29,250.00	
02700	STORM SEWER BASIN / JUNCTION BOX	4 :	EA	\$2,500.00	\$10,000.00	
					\$74,150.00	
02900	LANDSCAPING	Quantity	Uni t	Unit \$	Total	Comments
02900	LANDSCAPING - IRRIGATION SLEEVES		LS		\$0.00	
02900	LANDSCAPING - SPRINKLERS MATERIAL		LS		\$0.00	
02900	LANDSCAPING - SPRINKLERS LABOR		LS		\$0.00	
02900	LANDSCAPING - MATERIAL		LS		\$0.00	
02900	LANDSCAPING - LABOR		LS		\$0.00	
02900	RETAINING WALL		LS		\$0.00	
		-			\$0.00	
	OFF-SITE IMPROVEMENTS	Quantity	Uni	Unit \$	Total	Comments
02600	SANITARY SEWER EXTENSION		LF		\$0,00	
02600	SANITARY SEWER TAP		LS		\$0.00	
02600	WATER SYSTEM EXTENSION		LF		\$0.00	
02600	WATER SYSTEM TAP		LS		\$0.00	
02600	FIRE HYDRANT / TAP / VAULT		LS		\$0,00	
02700	STORM SEWER EXTENSION		LF		\$0.00	
16000	ELECTRIC SERVICE EXTENSION		LF		\$0.00	
02600	GAS EXTENSION		LF		\$0.00	
03300	CONCRETE WALKS - OFF-SITE		LF		\$0.00	
02500	PAVING - DOT IMPROVEMENTS		SF		\$0.00	
02500	SIDE/REAR ROADS - OFF-SITE		LS		\$0,00	
02500	STREET CURB WORK - OFF-SITE		LF		\$0,00	
02500	OTHER OFF-SITE		LS		\$0,00	
					\$0.00	
01000	GENERAL CONDITIONS - SITE WORK	Quantity	Uni 1	Unit \$	Total	Comments
01000	OTHER GC - SITE WORK		LS		\$0.00	NIC
01200	SUPERVISION		LS		\$0,00	
01000	OVERHEAD & PROFIT - SITE WORK		LS		\$0.00	V
		-			\$0.00	

CSI	BUILDING CONSTRUCTION
	GENERAL CONSTRUCTION
02100	DEMOLITION
03300	FOOTINGS/ FOUNDATION
02200	BUILDING FILL/BUILDING EXCAVATION
03300	CONCRETE SLAB
07100	INSULATION
07200	E.I.F.S. / STUCCO
04000	MASONRY
04000	MASONRY PROVIDE LABOR
04000	MASONRY MATERIAL
	STEEL
05100	STRUCTURAL STEEL
06100	TRUSS-JOISTS
06100	HAND RAILS

Quantity	Uni t	Unit \$	Total	Comments
	SF		\$0.00	
	LS		\$0,00	
	CY		\$0.00	
	SF		\$0.00	
	LS		\$0,00	
	SF		\$0.00	
			\$0.00	
Quantity	Uni	Unit \$	Total	Comments
	SF		\$0.00	
	LS		\$0.00	
			\$0.00	
Quantity	Uni t	Unit \$	Total	Comments
	LS		\$0.00	
	LS		\$0.00	
	LS		\$0.00	

06100	ROOF LADDER		LS		\$0.00	
			Tra-ell		\$0.00	
06000	CARPENTRY	Quantity	Uni	Unit \$	Total	Comments
06100	ROUGH CARPENTRY - LABOR		HRS		\$0.00	
06100	ROUGH CARPENTRY - MATERIALS		LS		\$0.00	
06100	TRUSSES		LS		\$0.00	
08000	DOORS, FRAMES AND HARDWARE LABOR		LS		\$0.00	
08000	DOORS, FRAMES AND HARDWARE		LS		\$0,00	
06600	F.R.P. PANELS - LABOR		LS		\$0.00	
06600	F.R.P. PANELS - MATERIALS		SF		\$0.00	
06200	FINISH CARPENTRY - LABOR		HRS		\$0.00	
06200	FINISH CARPENTRY - MATERIALS		LS		\$0,00	
05500	KITCHEN STAINLESS STEEL LABOR		LS		\$0.00	
05500	KITCHEN STAINLESS STEEL		SF		\$0.00	
-			Uni		\$0.00	
07000	ROOFING	Quantity	t	Unit S	Total	Comments
07510	FLAT ROOFING LABOR		LS		\$0.00	
07510	FLAT ROOFING		SF		\$0.00	
07501	STANDING SEAM METAL LABOR		LS		\$0.00	
07501	STANDING SEAM METAL		SF		\$0.00	
07700	GUTTERS AND DOWNSPOUTS LABOR		LS		\$0.00	
07700	GUTTERS AND DOWNSPOUTS		LS		\$0.00	
					\$0.00	
08800	STOREFRONT WINDOWS AND DOORS	Quantity	Uni	Unit \$	Total	Comments
08800	EXTERIOR WINDOWS AND DOOR LABOR		SF		\$0.00	
08800	EXTERIOR WINDOWS AND DOOR MATERIAL		LS		\$0.00	
					\$0.00	
09200	DRYWALL	Quantity	Uni	Unit \$	Total	Comments
09200	DRYWALL LABOR		SF		\$0.00	
09200	DRYWALL MATERIAL		LS		\$0.00	
					\$0.00	
09500	ACOUSTIC CEILINGS	Quantity	Uni	Unit \$	Total	Comments
09500	ACOUSTIC CEILINGS LABOR		SF		\$0.00	
09500	ACOUSTIC CEILINGS MATERIAL		LS		\$0.00	
					\$0.00	
09900	PAINTING AND VINYL	Quantity	Uni	Unit \$	Total	Comments
09900	VINYL WALL COVERING - LABOR		HRS		\$0.00	
9900	VINYL WALL COVERING - MATERIALS		LS		\$0.00	
9900	MURAL INSTALLATION		HRS		\$0.00	
9900	INTERIOR PAINTING LABOR		HRS		\$0.00	
9900	INTERIOR PAINTING		LS		\$0.00	
9900	EXTERIOR PAINTING LAOR		HRS		\$0.00	
9900	EXTERIOR PAINTING		LS		\$0.00	
					\$0.00	
9300	CERAMIC AND QUARRY TILE	Quantity	Uni	Unit \$	Total	Comments
9300	KITCHEN FLOOR TILE - LABOR		SF		\$0.00	
09300	KITCHEN FLOOR TILE - MATERIALS		SF		\$0.00	
9300	DINING RM / FLOOR TILE - LABOR		SF		\$0.00	
9300	DINING RM FLOOR TILE - MATERIALS		SF		\$0.00	
9300	RESTROOM WALL TILE - LABOR		SF		\$0.00	
9300	RESTROOM WALL TILE - MATERIALS		SF		\$0.00	
15000	MECHANICAI	Quantity	Uni	Unit \$	\$0.00 Total	Comments
5300	MECHANICAL SPRINKLEDS LABOR	Quantity	LS	Ont 3	\$0.00	Commence
15300	SPRINKLERS LABOR SPRINKLERS MATERIAL		LS		\$0.00	
5700	H.V.A.C DUCT WORK LABOR		LS		\$0.00	
5700	H.V.A.C DUCT WORK LABOR H.V.A.C DUCT WORK MATERIAL		LS		\$0.00	
5700	H.V.A.C EQUIPMENT LABOR		HRS		\$0.00	
5000	EXHAUST SYSTEM/HOOD LABOR		LS		\$0.00	
15000	MILITOUR GESTENBILOOD LABOR		TIO.		30,00	

15000	EVITATION SYSTEMATION MATERIAL		TO		60.00	
15000	EXHAUST SYSTEM/HOOD MATERIAL HOOD FIRE SUPPRESSION LABOR		LS LS		\$0.00	
15000	HOOD FIRE SUPPRESSION MATERIAL		LS		\$0.00	
15700	HVAC - UNITS & CONTROLS LABOR	_	TON	0	\$0.00	
15700	HVAC -UNITS & CONTROLS LABOR  HVAC -UNITS & CONTROLS MATERIAL		LS	3	\$0.00	
15700	WALK-IN BOX ASSEMBLY AND STARTUP		LS			
15/00	WALK-IN BOX ASSEMBLY AND STARTUP		L <sub>2</sub>	1	\$0.00	<b>+</b>
		-	Link		\$0.00	
15500	PLUMBING	Quantity	Uni	Unit \$	Total	Comments
15500	PLUMBING FINISH BATHROOM- LABOR		HRS	3	\$0.00	
15500	PLUMBING FINISH BATHROOM - MATERIAL		LS		\$0.00	
15500	PLUMBING KITCHEN EQUIPMENT LABOR		HRS	8	\$0.00	
15500	PLUMBING KITCHEN EQUIPMENT MATERIAL		LS		\$0.00	
15500	PLUMBING ROUGH LABOR		HRS	3	\$0.00	
15500	PLUMBING ROUGH MATERIAL		LS		\$0,00	
		)		*	\$0,00	
16000	ELECTRICAL	Quantity	Uni	Unit \$	Total	Comments
		Quantity	tme			
16000	ELECTRICAL FINISH- LABOR		HRS		\$0.00	
16000	ELECTRICAL FINISH-MATERIAL		LS		\$0.00	
16000	ELECTRICAL KTCH EQUIPMENT LABOR		HRS	1	\$0.00	
16000 16000	ELECTRICAL POLICH LABOR		LS		\$0.00	
	ELECTRICAL ROUGH MATERIAL	-	HRS		\$0.00	
16000	ELECTRICAL ROUGH MATERIAL		LS		\$0.00	-
			Uni		\$0.00	
01000	GENERAL CONDITIONS	Quantity	t	Unit \$		Total
01200	SUPERVISION (incmeals- lodging- phone)		WK		\$0.00	
01000	DUMPSTERS		EA		\$0.00	
01500	TEMPORARY UTILITIES		WK		\$0.00	
01000	JOB JOHNNY		WK		\$0.00	
01000	JOB OFFICE / STORAGE		WK		\$0.00	
01000	EQUIPMENT RENTAL		LS		\$0.00	
01000	GENERAL LABOR		LS		\$0,00	
01000	BUILDERS RISK		LS		\$0.00	
01000	BLUEPRINTS		LS		\$0.00	
01000	FINAL CLEANUP		LS		\$0.00	
01000	SECURITY GUARD / FENCE		LS		\$0.00	
01000	GC MISC. (attach breakdown sheet)		LS		\$0.00	
					\$0.00	
01000	NEW IMAGE ELEMENTS - INTERIOR	Quantity	Uni t	Unit \$	Total	Comments
01000	INSTALL CHAIR RAIL MOULDING LABOR		LF		\$0.00	
01000	INSTALL CHAIR RAIL MOULDING MATERIAL		LF		\$0.00	
01000	INSTALL WAINSCOT MATERIAL LABOR		SF		\$0.00	
01000	INSTALL WAINSCOT MATERIAL MATERIAL		LF		\$0.00	
01000	INSTALL WINDOW SILLS LABOR		LF		\$0.00	
01000	INSTALL WINDOW SILLS MATERIAL		LF		\$0.00	
01000	INSTALL DECORATIVE WALL TILE LABOR		SF		\$0.00	
01000	INSTALL DECORATIVE WALL TILE MATERIAL		LS		\$0.00	
01000	PENDANT LIGHTS - LABOR		EA		\$0,00	
01000	PENDANT LIGHTS - MATERIAL		EA		\$0.00	
01000	'P. LAM' INTERIOR DOORS LABOR	-	LS		\$0.00	
01000	P. LAM' INTERIOR DOORS MATERIAL		LS		\$0.00	
01000	RESTROOM PARTITIONS LABOR	-	LS		\$0.00	
01000	RESTROOM PARTITIONS MATERIAL DINING POOM CELLING ELEMENT		LS		\$0.00	
01000 01000	DINING ROOM CEILING ELEMENT SERVICE COUNTER LABOR		LS		\$0.00 \$0.00	
01000	SERVICE COUNTER LABOR SERVICE COUNTER MATERIAL		LS		\$0.00	
41440	SERVICE COUNTER WATERIAL		டல		\$0.00	
01000	NEW IMAGE ELEMENTS - EXTERIOR	Quantity	Uni	Unit \$	Total	Comments
01000	AWNINGS		LS		\$0.00	
01000	ACCENT TILE D/T		LS		\$0.00	
					\$0.00	
01000	REGIONAL REQUIREMENTS	Quantity	Uni	Unit \$	Total	Comments
			(			

01000	VESTIBULE (provide breakdown sheet)		LS		\$0.00	
01000	INCREASE PARAPET HEIGHT		LS		\$0.00	
01000	INCREASE BATHROOM SIZE		LS		\$0.00	
01000	WINTER CONDITIONS		LS		\$0.00	
					\$0.00	
01000	PLAYGROUND	Quantity	Uni	Unit S	Total	Comments
01000	SAFETY SURFACING	f f	LS		\$0.00	
01000	VINYL WALL COVERING (L&M)		LS		\$0.00	
01000	GLAZING		LS		\$0.00	
01000	CARPENTRY		LS		\$0.00	
01000	SHELL		LS		\$0.00	
01000	SHELL - blue material		LS		\$0.00	
01000	FINISHES (shtrock, tile, ceiling)		LS		\$0.00	
01000	ROOFING - FLAT		LS		\$0.00	_
01000	ROOFING - STANDING SEAM METAL		LS		\$0.00	
01000	HVAC		LS		\$0.00	
01000	ELECTRICAL		LS		\$0.00	
					\$0.00	
01000	OTHER GC-CONSTRUCTION	Quantity	Uni	Unit \$	Total	Comments
01000	GARAGE DOOR SUPPLY AND INSTAL		LS		\$0.00	
01000	INSTALL DÉCOR		LS		\$0.00	
01000	INSTALL KITCHEN EQUIPMENT		LS		\$0.00	
01000	STORM SHUTTERS		LS		\$0.00	
01000	OTHER GC -		LS		\$0.00	
01000	Overhead		LS		\$0.00	
					\$0.00	
01000	OVERHEAD & PROFIT - CONSTRUCTION	Quantity	Uni	Unit S	Total	Comments
01000	OVERHEAD & PROFIT (excludes HVAC)		LS		\$0.00	
	·				\$0.00	
BLDG CONSTR TOTAL					\$0.00	

### TOTAL PROJECT BID COST:

SITE WORK TOTAL BLDG CONSTR TOTAL \$279,724.00 \$0.00

TOTAL SITE & BLDG BL \$279,724.00

ALTERNATES	Quantity U	I Unit a	Total	Comments
1	L	3	\$0,00	
2	L	3	\$0.00	
3	L:	3	\$0.00	
4	L	3	\$0.00	
5	L	3	\$0.00	
6	L	S	\$0.00	
7	L	3	\$0.00	
8	L:	3	\$0,00	
9	L	3	\$0.00	
10	L	3	\$0.00	
11	L	3	\$0.00	
12	Ls	3	\$0.00	
13	LS	3	\$0.00	
14	Ls	3	\$0.00	
15	LS		\$0.00	
16	LS	3	\$0.00	
17	LS	3	\$0.00	
18	LS		\$0.00	
19	LS	3	\$0.00	
20	LS	3	\$0.00	

Item A.

\$0.00

### NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

THIS STORM WATER DISCHARGE AGREEMENT ("Agreement") is made this day of day of 2022, by and between MEIJER, INC., a Michigan corporation, of 2929 Walker Avenue N.W., Grand Rapids, Michigan 49544, Attention: Real Estate Department, hereinafter referred to as "Meijer," and GREAT LAKES TACO LLC, a Michigan limited liability company, whose address is 8487 Retreat Drive, Grand Blanc, Michigan 48439, hereinafter referred to as "Developer." Meijer and Developer are together hereinafter referred to as the "Parties."

### RECITALS

- A. Pursuant to a certain Real Estate Option Contract executed by and between the Parties (with Meijer as Seller and Developer as Buyer), Developer is or is about to become the fee simple owner of a certain parcel of land located in the Township of White Lake, Oakland County, Michigan. Said parcel of land is located on Highland Road (M-59), and is hereinafter referred to as the "Developer Parcel." The Developer Parcel contains approximately 1.068 acres of land and is legally described on the attached **Exhibit A**.
- B. Meijer or an affiliated entity is the fee simple owner of a certain parcel of land located in the Township of White Lake, Oakland County, Michigan, which parcel of land is hereinafter referred to as the "Meijer Parcel." The Meijer Parcel contains approximately 67 acres of land and is located on the north side of Highland Road (M-59) west of Bogie Lake Road in White Lake Township. The Meijer Parcel is legally described on the attached **Exhibit B**.
- C. The Meijer Parcel and the Developer Parcel adjoin one another. The Developer Parcel is bordered on its western and northern boundary lines by the Meijer Parcel.
- D. Meijer has previously constructed a storm water system consisting of catch basins, storm water lines and related facilities, and a detention pond to provide drainage and detention of storm water generated on the Meijer Parcel, hereinafter referred to as the "Storm Water System." Developer has requested that it be permitted to discharge storm water from the Developer Parcel into the Storm Water System.
- E. Meijer has agreed to grant Developer certain storm water discharge rights for the purpose of permitting the discharge of storm water from the Developer Parcel into the Storm Water System at the point approximately located on **Exhibit C** attached hereto (hereinafter the "Discharge Point") in accordance with the terms of this Agreement.

F. This easement is exempt from real estate transfer taxes pursuant to MCLA §207.505(a), and §207.526 (a), being a transfer where the value of the consideration is less than \$100.

**NOW, THEREFORE**, in consideration of the foregoing Recitals, the execution of this Agreement by the Parties hereto, the mutual covenants and agreements contained herein, and for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged by the parties hereto, it is agreed as follows:

- 1. <u>Grant of Discharge Rights</u>. Subject to Developer obtaining all necessary governmental approvals for such discharge into the Storm Water System, Meijer hereby grants to Developer (for the benefit of the Developer Parcel) the right to discharge storm water (free of debris or hazardous or regulated substances) from the Developer Parcel into the Storm Water System, as it may be configured from time to time, at the Discharge Point, at a rate not to exceed the predevelopment rate of flow for the Developer Parcel.
- 2. <u>Encumbrances</u>. The rights granted to Developer are made subject to all covenants, conditions, restrictions, encumbrances, and easements of record. Developer acknowledges that Meijer may grant other easements and encumbrances over and across the area of the Storm Water System that do not interfere with Developer's discharge rights herein granted.
- 3. <u>Reservation of Rights</u>. Meijer hereby reserves for itself, its successors and assigns, the right to use the area of the Storm Water System for any purpose which does not limit Developer's discharge rights herein granted.
- 4. Review of Plans. Developer shall not commence discharge of storm water into the Storm Water System until such time as Meijer is provided with, and has the opportunity to review, all engineering drawings, plans, specifications and other information as Meijer may reasonably require, including storm calculations, a site grading plan and evidence of approval of such discharge/drainage from the applicable governmental authorities. Meijer shall not unreasonably delay or withhold its approval of such plans, drawings and specifications. Provided, however, any modification to the terms of this Agreement, including but not limited to the maximum rate of flow stated in Paragraph 1 may not be amended by a plan approval and may only be modified by an amendment to this Agreement.

Developer acknowledges that Meijer shall not have an obligation to review such submittal and shall not be liable in damages or otherwise for any reason, including any mistake in judgment, negligence or nonfeasance, arising out of or in connection with the approval or disapproval or failure to approve or disapprove or failure to review any proposal submitted pursuant to this Agreement. No approval shall be considered an approval of the plans, drawings and/or specifications from an engineering perspective or a determination that they meet building, environmental or engineering design standards, are in compliance with applicable covenants or governmental requirements, or that any improvements contemplated therein have been built in accordance with such plans, drawings and/or specifications.

5. <u>Maintenance</u>; <u>Manner of Work</u>. Meijer shall maintain the Storm Water System in good order, appearance and repair in full compliance with all applicable laws and regulations and in such a manner to minimize any interference with the Developer Parcel. Notwithstanding the foregoing, Developer shall be responsible maintaining the Discharge Points in good order, appearance and repair in full compliance with all applicable laws and regulations and for the construction of any improvements /modifications to the Storm Water System required by the applicable governmental authorities arising out of the development of the Developer Parcel, subject to Meijer's review and approval of all plans and specifications associated with such work. Any such construction shall be completed by Developer in connection with its development of the Developer Parcel. Such construction (including the preparation of plans and calculations) shall be performed at the sole cost and expense of Developer, and Meijer shall not be obligated to pay for any of such work.

Meijer and Developer agree that to the extent that any party must enter upon the property of any other party in order to perform any right or obligation hereunder, the owner of such property hereby grants the party a license to enter and perform such right or obligation.

- 6. Payment of Annual Maintenance Fee by Fee Owner of Developer Parcel. In exchange for Meijer's agreement to maintain the Storm Water System as provided herein, Developer agrees to pay Meijer a maintenance fee (the "Maintenance Fee"), by January 15 of each year to cover costs for the calendar year in which the Maintenance Fee is paid. The obligation to pay the Maintenance Fee shall be a covenant that runs with the Developer Parcel. The 2022 calendar year Maintenance Fee shall be One Thousand Five Hundred Dollars (\$1,500.00) and shall be prorated and paid upon execution of this Agreement. The Maintenance Fee shall be increased by fifteen percent (15%) every five (5) years. In addition, with respect to any modification or upgrade to the Storm Water System required by the applicable governmental authorities (other than upgrades or modifications specified in Paragraph 4(a) above), Developer agrees to reimburse Meijer five percent (5%) of all documented costs associated with such upgrade/modification. Payment shall be made to the order of Meijer. Failure to provide payment to Meijer within ten (10) days after receipt of written notice from Meijer of Developer's failure to pay shall be deemed a material breach of this Agreement.
- (a) If Developer fails to pay Meijer the Maintenance Fee within the specified time period, (a) Developer shall be responsible for interest on such amount computed at the rate of the smaller of (i) eight (8%) percent per annum and (ii) the highest interest rate allowed by law, calculated monthly, from the date of any such claim by Meijer to the date of payment; (b) Meijer shall be entitled to pursue whatever remedies it may have in law or equity; and (c) Meijer shall have the right to file a lien against the Developer Parcel in the amount of the claim. Any such lien shall be considered to be akin to a mortgage lien and Meijer may foreclose upon it in the same manner as a mortgage lien. In no event shall any lien filed under this paragraph be superior to any lien of any construction mortgage utilized to facilitate the initial development of the Developer Parcel from its current status as a vacant parcel and recorded in the real property records for the Developer Parcel prior to the date Developer has completed such initial development. The provisions and requirements of the Michigan Construction Lien Act shall not apply to this lien.

- Developer's Insurance Requirements. At all times during the term of this Agreement, Developer shall purchase and maintain the following insurance coverages: (i) Commercial General Liability including premises/operations, independent contractors, broad form property damage, personal/advertising injury, blanket contractual liability, fire and explosion legal liability, explosion/collapse/and underground hazard coverage, and products/completed operations coverage in an amount not less than Three Million Dollars (\$3,000,000) per occurrence; such policy shall be an occurrence policy and not a claims-made policy. Meijer, Inc., Meijer Stores Limited Partnership and their affiliated entities must be named as an additional insured on an endorsement acceptable to Meijer, at no cost to Meijer. The additional insured endorsement shall extend coverage to the contractual liability and completed operations coverage. A copy of the additional insured endorsement is required. Developer acknowledges that Meijer may elect to increase the required coverage amount not more than once every ten years in order to continue coverage amounts consistent with Meijer's standards at such time. (ii) Automobile Liability including contractual liability coverage for all owned, hired and non-owned vehicles with a combined single limit not less than One Million Dollars single limit. (iii) Workers' Compensation coverage for its employees or contractors with statutory limits; such policy shall include an Alternate Employer endorsement. (iv) Employers' Liability coverage with limits of Five Hundred Thousand Dollars (\$500,000.00). Evidence of all insurance required shall be promptly sent to the Risk Management Department, P.O. Box 3280, Grand Rapids, Michigan 49501-3280. Insurance policies shall afford primary coverage and contain a provision that the coverages afforded shall not be modified or canceled until at least ten (10) days prior written notice has been given to the Meijer Risk Management Department. All required insurance policies shall be underwritten by an insurance carrier with an A.M. Best rating of an A- or better. Compliance by Developer with the requirements in this Paragraph 7 (Developer's Insurance Requirements) as to carrying insurance and furnishing proof thereof to Meijer shall not relieve Developer of its indemnity obligations under Paragraph 9 (Indemnification). Indemnity obligations in this Agreement shall not be negated or reduced by virtue of any insurance carrier's (i) denial of insurance coverage for the occurrence or event which is the subject matter of the claim; or (ii) refusal to defend any named insured. Failure to comply with all insurance requirements shall be deemed a material breach of this Agreement. However, failure to provide evidence of existing insurance shall constitute a material breach only if Developer fails to provide such evidence within ten (10) days after written notice from Meijer that Developer has failed to provide the evidence of existing insurance.
- 8. <u>Insurance Requirements for Developer's Contractors and Subcontractors.</u>
  Prior to commencing any work on the Meijer Parcel, Developer shall cause its contractor(s) and subcontractor(s) to procure and keep in effect, during the course of their work in, on or about the Meijer's Parcel, the following insurance coverages:
- (a) Commercial General Liability including premises/operations, independent contractors, broad form property damage, personal/advertising injury, blanket contractual liability, fire and explosion legal liability, explosion/collapse/and underground hazard coverage, and products/completed operations coverage in an amount not less than Three Million Dollars (\$3,000,000) per occurrence; such policy shall be an occurrence policy and not a claims-made policy. Meijer, Inc., Meijer Stores Limited Partnership, and their affiliated entities must be named as an additional insured on an endorsement acceptable to Meijer, at no cost to Meijer. The additional insured endorsement shall extend coverage to the contractual liability and completed operations

coverage. A copy of the additional insured endorsement is required. Developer acknowledges that Meijer may elect to increase the required coverage amount not more than once every ten years in order to continue coverage amounts consistent with Meijer's standards at such time.

- (b) Automobile Liability including contractual liability coverage for all owned, hired and non-owned vehicles with a combined single limit not less than One Million Dollars single limit.
- (c) Workers' Compensation coverage for its employees or contractors with statutory limits; such policy shall include an Alternate Employer endorsement.
- (d) Employer's Liability coverage with limits of Five Hundred Thousand Dollars (\$500,000).

Evidence of all insurance required shall be promptly sent to the Risk Management Department, P.O. Box 3280, Grand Rapids, MI 49501-3280. Insurance policies shall afford primary coverage and contain a provision that coverages afforded shall not be modified or canceled until at least ten (10) days prior written notice has been given to the Meijer Risk Management Department; All required insurance policies shall be underwritten by an insurance carrier with an A.M. Best rating of an A- or better.

Notwithstanding anything to the contrary in the foregoing, Meijer shall not be responsible for verifying compliance by any contractor and/or subcontractor with the foregoing insurance requirements. Rather, it shall be Developer's sole responsibility to monitor compliance by any of its contractors and/or subcontractors with the foregoing insurance requirements. However, failure to provide evidence of existing insurance shall constitute a material breach only if Developer fails to provide such evidence within ten (10) days after written notice from Meijer that Developer has failed to provide the evidence of existing insurance.

Meijer, its direct and indirect parent, subsidiaries and affiliated entities and their respective officers, directors, shareholders, agents and employees (hereafter collectively "Related Parties"), from and against any and all liability or claim thereof (including but not limited to reasonable actual attorney fees and costs) whether for injury to persons, including death, or damage to property, which may be imposed upon, incurred by or asserted against Meijer or its Related Parties: (i) allegedly or actually arising in connection with or as a direct or indirect result of any activity by Developer, its employees, agents, contractors, subcontractors, lessees, invitees, or licensees in, on, or about Meijer Parcel including use of the Storm Water System; (ii) arising out of any default by Developer under this Agreement; or (iii) arising out of any negligent act or omission to act by Developer, its agents, employees, contractors or subcontractors. The foregoing indemnity from Developer shall to the extent permitted by law include claims alleging or involving joint or comparative negligence, but shall not extend to liability directly resulting only from the sole negligence of Meijer or its Related Parties. Developer agrees to give Meijer the right to approve or select counsel for defending Meijer against any and all claims, liability and damages covered by this indemnity provision.

- 10. <u>Covenants Running with the Land</u>. The rights herein granted and the agreements herein contained shall be rights and covenants running with the land and shall inure to the benefit of, and be binding upon, the Parties hereto and their respective successors and assigns.
- 11. <u>Notices</u>. Notices permitted or required hereunder shall be in writing and shall be delivered or sent by certified mail or overnight delivery by a reputable national carrier to the addresses provided below, (except however, insurance certificates are to be mailed as provided in Paragraphs 7 and 8 above) provided that any party may change such address by written notice to the other party:

If to Developer

Great Lakes Taco LLC

8487 Retreat Drive

Grand Blanc, Michigan 48439 Attention: Louis C. Dortch, Jr.

With a copy to:

George F. Rizik, II

Rizik & Rizik

9400 South Saginaw Street, Suite E Grand Blanc, Michigan 48439

If to Meijer

Meijer

Real Estate Department

2929 Walker NW

Grand Rapids, Michigan 49544

with a copy to:

Meijer

Legal Department 2929 Walker NW

Grand Rapids, Michigan 49544

- 12. <u>Governing Laws</u>. This Agreement shall be construed in accordance with the laws of the State of Michigan and any applicable federal laws and regulations.
- shall be implied from any omission by any other party to take any action in respect of such default. No express waiver of any default shall affect any default or cover any period of time other than the default and period of time specified in such express waiver. One or more waivers of any default in the performance of any term, provision or covenant contained in this Agreement shall not be deemed to be a waiver of any subsequent default in the performance of the same term, provision or covenant or any other term, provision or covenant contained in this Agreement. The rights and remedies given to any party to this Agreement shall be deemed to be cumulative and no one of such rights and remedies shall be exclusive of any of the others, or of any other right or remedy at law or in equity which any such party might otherwise have by virtue of a default under this Agreement, and the exercise of one such right or remedy by any such party shall not impair such party's standing to exercise any other right or remedy.

- 14. <u>Exhibits</u>. All exhibits referred to herein and attached hereto shall be deemed part of this Agreement.
- shall, to any extent, be invalid or unenforceable, the remainder of this Agreement (or the application of such term, provision or condition to persons or circumstances other than those in respect of which it is invalid or unenforceable) shall not be affected thereby, and each term, provision or condition of this Agreement shall be valid and enforceable to the fullest extent permitted by law provided that such deletions can be made without materially changing the basic agreement between the parties. If such deletions cannot be made without materially changing the basic agreement between the parties, then the parties agree to amend, or to permit the court to amend, this Agreement to accomplish essentially the same transaction without said illegal, invalid or unenforceable provisions.
- 16. <u>Not a Public Dedication</u>. Nothing herein contained shall be deemed to be a gift or dedication of any portion of the Meijer Parcel to the general public or for the general public or for any public purpose whatsoever, it being the intentions of the parties hereto that this Agreement be strictly limited to and for the purposes herein expressed.
- 17. <u>Attorney's Fees</u>. If litigation arises out of or in connection with this Agreement, the prevailing party shall be entitled to recover its attorney's fees
- 18. <u>Counterparts</u>. This Agreement may be executed by the Parties on any number of separate counterparts and all such counterparts so executed constitute one agreement binding on the Parties, notwithstanding that all Parties are not signatories to the same counterpart.

[The remainder of this page was intentionally left blank.]

IN WITNESS WHEREOF, the parties have executed this Nonexclusive Storm Water Discharge Agreement as of the day and year first above written.

		MEIJER, INC	·.		2	
		By: Michael F Its: Vice President		Estate		
			1	Legal _	am	
STATE OF MICHIGAN	)			Bus	M	
COUNTY OF KENT	) ss.			Bus	Ka	
The foregoing inst Michael Flickinger, the V on behalf of said corporat	ice President-R	state of Michigan, County My commission expires:	Michigan of Office 2-15	f February P	ration, for	2, by and
		Acting in the County of Ko	ent.			
		LARAE B STEIGENG NOTARY PUBLIC - STATE OF COUNTY OF OTTAM My Commission Expires Febru Acting in Kent County,	MICHIGAN VA Bry 17, 2023			

(Signatures continue on following page)

### GREAT LAKES TACO LLC

By: Printed Name: Laws a Dutchen
Its:

STATE OF Michigan ) ss. COUNTY OF Genesal )

The foregoing instrument was acknowledged before me this 14 day of February, 2022, by Love Corton Je, the CEO of Great Lakes Taco LLC, a Michigan limited liability company, for and on behalf said limited liability company.

ANGELA KULZA
NOTARY PUBLIC, STATE OF MI
COUNTY OF GENESEE
MY COMMISSION EXPIRES May 22, 2022
ACTING IN COUNTY OF SENESEE

Notary Public

State of Michigan County of General.

My commission expires: May 27, 2022

Acting in the County of General.

DRAFTED BY AND WHEN RECORDED RETURN TO: Aaron Morrissey, Atty. 2929 Walker Avenue, N.W. Grand Rapids, MI 49544 (616) 791-3002

# EXHIBIT A TO NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

Legal Description of Developer Parcel

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

Part of Tax Parcel Number: 12-20-276-036 (formerly part of 12-20-276-033)

# EXHIBIT B TO NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

Legal Description of the Meijer Parcel

A PART OF THE NORTH 1/2 OF SECTION 20, T3N-R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE INTERSECTION OF THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20 WITH THE NORTHERLY RIGHT-OF-WAY LINE OF HIGHLAND ROAD (M-59) WHICH IS N00°31'08"E, 198.92 FEET FROM THE CENTER OF SAID SECTION 20; THENCE FROM SAID POINT OF BEGINNING S89°58'09"W ALONG SAID RIGHT-OF-WAY LINE, 662.41 FEET; THENCE N00°10'23"W, 164.03 FEET; THENCE N00°26'47"E, 1235.97 FEET; THENCE S89°58'09"E, 665.95 FEET TO SAID NORTH-SOUTH 1/4 LINE OF SECTION 20; THENCE N00°31'08"E ALONG SAID LINE, 420.30 FEET; THENCE N89°55'00"E, 867.22 FEET; THENCE S08°28'00"W ALONG THE WESTERLY LINE OF A DETROIT EDISON PARCEL, 480.02 FEET; THENCE CONTINUING ALONG SAID WESTERLY LINE S00°39'06"W, 1353.01 FEET TO SAID NORTHERLY RIGHT-OF-WAY LINE OF HIGHLAND ROAD: THENCE ALONG SAID RIGHT-OF-WAY LINE ON A CURVE TO THE LEFT WITH A RADIUS OF 5821.58 FEET, A CENTRAL ANGLE OF 02°44'10" AND A LONG CHORD BEARING AND DISTANCE OF N88°39'46"W, 277.97 FEET; THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE S89°58'09'W, 519.78 FEET TO THE POINT OF BEGINNING; CONTAINING 55.1685 GROSS AND NET ACRES.

### **EXCEPTING THEREFROM THE FOLLOWING PARCEL:**

A part of the Northeast ¼ of Section 20, T3N-R8E, White Lake Township, Oakland County, Michigan, described as beginning at a point which is N00°31'08"E along the North-South ¼ line of said Section 20, 198.92 feet and N89°58'09"E along the northerly right-of-way line of Highland Road (M-59), 519.78 feet and continuing along said right-of-way line along a curve to the right with a radius of 5821.58 feet, a central angle of 02°44'10" and a long chord bearing and distance of S88°39'46"E, 277.97 feet and N00°39'06"E along the westerly line of Detroit Edison Parcel, 1353.01 feet and N08°28'00"E along said westerly line, 277.77 feet from the center of said Section 20; thence from said Point of Beginning S89°55'06"W, 172.18 feet; thence N00°04'59"W, 200.00 feet; thence N89°55'00"E, 202.25 feet; thence S08°28'00"W, along said westerly line, 202.25 feet to the Point of Beginning; containing 0.860 gross and net acre.

### **TOGETHER WITH:**

Commencing at the Center Post of Section 20, T3N, R8E, White Lake Township, Oakland County, Michigan; said point being S89°59'45"W 2635.27 feet from the East 1/4 corner of said Section 20; thence N00°31'08"E 198.92 feet along the North-South 1/4 line of said Section 20; thence N89°58'09"E 519.78 feet along the Northerly right-of-way line of M-59 (Highland Road, variable width); thence 513.36 feet along the arc of a 5821.58 foot radius circular curve to the right, chord bearing S87°30'16"E 513.20 feet along the Northerly right-of-way line of said M-59 for a **PLACE OF BEGINNING**; thence N00°39'06"E 981.32 feet; thence N90°00'00"E 156.11 feet (recorded as 156.53 feet); thence N63°45'10"E 76.30 feet; thence N83°08'44"E 68.91 feet; thence S73°02'19"E

100.53 feet; thence S50°34'37"E 136.92 feet; thence S50°09'11"E 120.23 feet (recorded as 120.32 feet); thence S50°21'46"E 66.40 feet; thence S32°53'46"E 42.85 feet; thence N90°00'00"E 49.43 feet (recorded as 49.01 feet); thence S00°19'28"W 812.21 feet; thence 256.53 feet along the arc of a 5637.58 foot radius circular curve to the right, chord bearing N86°00'13"W 256.51 feet along the Northerly right-of-way line of said M-59; thence N84°42'00"W 51.36 feet along the Northerly right-of-way line of said M-59; thence N01°30'56"E 30.03 feet; thence S88°29'04"E 63.50 feet; thence N03°10'30"W 150.32 feet; thence 234.17 feet along the arc of a 966.50 foot radius circular curve to the left, chord bearing N19°25'09"W 233.59 feet; thence S60°22'37"W 36.86 feet; thence 120.47 feet along the arc of a 233.00 foot radius circular curve to the right, chord bearing S75°11'17"W 119.13 feet; thence S90°00'00"W 15.98 feet; thence S01°30'56"W 332.20 feet; thence N84°42'00"W 189.40 feet along the Northerly right-of-way line of said M-59; thence 28.38 feet (recorded as 28.28 feet) along the arc of a 5821.58 foot radius circular curve to the left, chord bearing N84°52'11"W 28.38 feet (recorded as N84°50'21" 28.28 feet) along the Northerly right-of-way line of said M-59 to the Place of Beginning, containing 14.017 acres of land, more or less, being subject to easements, conditions, restrictions and exceptions of record, if any.

### **EXCEPTING THEREFROM:**

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

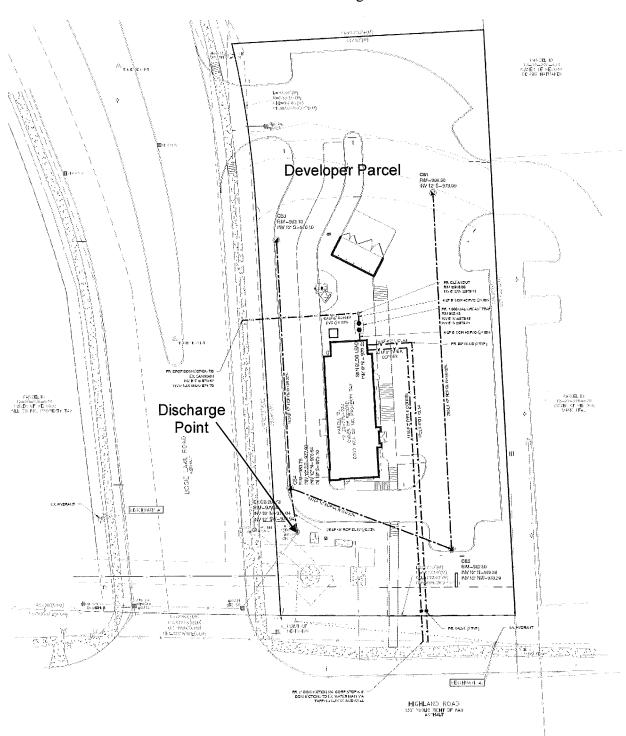
A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET: THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

Tax Parcel No.: Y-12-20-251-019 and Y-12-20-276-035 (formerly part of 12-20-276-033)

Property Address: 6001 Highland Road, White Lake, Michigan 48383

# EXHIBIT C TO NONEXCLUSIVE STORM WATER DISCHARGE AGREEMENT

Illustration of the Discharge Point



Nonexclusive Storm Water Discharge Agreement #227 – White Lake Twp., Oakland Co., MI Meijer, Inc. / Great Lakes Taco LLC

### PLANNED BUSINESS DEVELOPMENT AGREEMENT

This Planned Business Development Agreement ("Agreement") is made this day of May, 2022 ("Effectiv Date"), by Great Lakes Taco LLC, a Michigan limited liability company (herein "Developer" and "Owner" whose address is 8487 Retreat Dr., Grand Blanc, MI 48439, and the Charter Township of White Lake, a Michiga municipal corporation ("Township"), whose address is 7525 Highland Road, White Lake, MI 48383.
Recitals

- A. Developer owns real estate situated in the Township, more particularly described on Exhibit A (the "Property").
- B. Developer has applied to the Township to establish the Property as a Planned Business development ("PBD"), pursuant to provisions of the Township Zoning Ordinance.
- C. The Property is zoned Planned Business District.

recording the this Agreement

- D. Section 6.7.B of the Township Zoning Ordinance provides for the execution of a development agreement between the Developer and the Township.
- E. On January 6, 2022, the Planning Commission recommended approval of the Preliminary Site Plan, subject to conditions, after holding a public hearing.
- F. On January 18, 2022, the Township Board approved the Preliminary Site Plan for the Development, subject to addressing all comments and recommendations of staff, consultants, Planning Commission and the Community Development Department Director.
- G. On \_\_\_\_\_\_ the Planning Commission approved the Final Site Plan ("PBD Plans")
   H. On \_\_\_\_\_ the Township Board determined the Development qualifies for PBD Development in accordance with the Township Zoning Ordinance, Section 6.7, and approved the entry, execution and
- I. By entering into this Agreement, the parties desire to set forth their respective obligations with respect to the PBD and the conditions under which the Township has granted final PBD approval. The Township is willing to establish the property as a PBD and Developer is willing to develop and maintain the PBD, subject to the terms and conditions of this Agreement.

	Page I of I5	
Developer's	· ·	Township's
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NOW, THEREFORE, Developer and Township hereby declare that the Property is and shall be held, transferred, sold, conveyed and occupied, subject to any covenants, conditions, easements, restrictions, grants, and reservations set forth herein; all of which covenants, conditions, easements, restrictions, grants and reservations are for the benefit of and shall run with and bind the Property and all parties having any right, title or interest in any or all portion of the Property, or any improvements therein, as well as their heirs, successors, personal representatives, and assigns.

### **ARTICLE I**

### **DEFINITIONS**

- 1.1 "Developer" shall mean Great Lakes Taco, LLC, a Michigan limited liability company, and its successors and assigns.
- 1.2 "Owner" shall mean the holder or holders of record fee simple title to any portion of the Property. The term "Owner" shall include any grantee or lessee to all or any portion of the Property. If more than one person owns fee simple title to any portion of the Property, then the interest of all such persons, collectively, shall be that of one "Owner".
- 1.3 "Person" shall mean any individual, partnership, corporation, limited liability company, trust, or any other form of business or governmental entity.
- I.4 "PBD Plan" shall mean the final PBD site plan and related plans and specifications approved by and on file with the Township, attached as Exhibit B.
- 1.5 "PBD Conditions" shall mean the conditions established and required by the Township Board in connection with its approval of the PBD Plan and rezoning, as listed on Exhibit C.

### **ARTICLE II**

### ESTABLISHMENT OF PBD AND PBD PLANS

- 2.2 Statement of Planning Objectives to be Achieved by the Development. Developer has purchased the Property from Meijer Inc., in order to design, build, and operate a single-building, state of the art, franchised Taco Bell® restaurant with parking, on-site service and consumption and drive-through service window(s)/station(s). The development will serve the local community and passing traffic along Highland Road. The building and all improvements will be developed, constructed, operated and maintained in accordance with all township ordinances and regulations, and shall incorporate brick elements as well as required Taco Bell® branding in order to create a desirable aesthetic. Developer will build and use an easement drive on the north side of their property to accommodate traffic between McDonalds and Bogie Lake Road. This easement will

	e 2 of 15
Developer's	Township's
Initials	Initials

also accommodate traffic from Nordic Drive and the Koby property to the east of McDonalds. This drive is currently being used by motorists but is a rutted two lane dirt drive, the new, paved drive will benefit all parties. Developer will also beautify the existing lift station at the corner of Bogie Lake Road and Highland Road using landscaping and will also paint the structure if allowed by ordinance. Developer is working and will continue to work with the owners of the two parcels to the east to obtain a three-party cross access easement agreement. The northerly access will be constructed with the initial development, regardless of the status of the three-party cross access easement agreement. Developer will commit \$5,000.00 to the White Lake Township pathway fund in lieu of the provision of an improvement.

- 2.3 Development Schedule. The proposed approximate development schedule for the development of Property is attached as Exhibit D, which may be modified by Developer as necessary or appropriate, with the Township's consent.
- 2.4 Statement of Developer's Intentions Regarding Future Sale or Lease. The Developer intends to be an owner-operator on the Property; but also intends to sell or transfer the Property to a third party Person in the future. Developer may also transfer the Property to an affiliate of Developer for leasing to the Developer or another Person, subject to the terms of this Agreement. Nothing in this Agreement shall preclude, prohibit or restrict any sale, transfer, conveyance or mortgage of the Property to any Person.
- 2.5 Adherence to Ordinances. Except as otherwise provided herein, Developer and Owner shall adhere to the Ordinances of the Township. To the extent that developing the property in accordance with the PBD Plan will deviate from the Township Zoning Ordinance or any other ordinance, resolution, rule or regulation of the Township, currently in effect or which may be adopted in the future, the Township shall be deemed to have granted, and hereby grants, all such deviations.
- 2.6 Traffic Impact Study. The Traffic Impact Study requirement for this project has been waived by the Township.
- 2.7 Community Impact Statement. The Community Impact Study requirement for this project has been waived by the Township.
- 2.8 Performance Criteria. Developer and Owner affirmatively submit that the proposed uses on the Property shall not exceed the performance criteria found in the Zoning Ordinance in the standards listed in Article 5, Section 18 of the Ordinance.
- 2.9 Waivers. Developer has requested certain deviations or waivers from provisions of the Ordinance, which shall be deemed as granted by the Township upon execution of this Agreement. Those deviations and waivers are set forth in Exhibit E, which is made a part of this Agreement.

Township's

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### **ARTICLE III**

### CONDITIONS, PERMITS AND STIPULATIONS

- 3.1 Permits and Authorizations. All state, county and federal permits required for completion of the project shall be approved prior to the scheduling of a pre-construction meeting with Developer and the Township staff and consultants. The following permits and approvals are required:
- 3.1.1 Permit from the Oakland County Road Commission for all work within the Bogie Lake Road Right-Of-Way;
- 3.1.2 Permit from the MDOT for work within the M-59/Highland Road Right-Of-Way;
- 3.1.3 SESC permit from the OCWRC;
- 3.1.4 Sanitary Sewer Permit from the OCWRC for work on and connection to the existing sanitary sewer;
- 3.1.5 Executed Stormwater Maintenance Agreement, or modification to the existing Meijer agreement adding these storm sewer improvements;
- 3.1.6 Building Permit from the White Lake Twp. Building Department; and
- 3.1.7 Health Department Permit from the Oakland County Health Department
- 3.2 Improvements and Alterations. Developer shall not engage in any improvements or alterations on the Property, including, without limitation, site grading work or installation of utilities, until completion of the pre-construction meeting.
- 3.3 Conditions. The conditions attached by the Township Board for approval of the PBD Plan, as listed on Exhibit C attached hereto, are incorporated into the Township's PBD approval. Any violation of these conditions shall be considered a breach of this Agreement.

### **ARTICLE IV**

### **ACTION BY THE TOWNSHIP**

4.1 Maintenance of Property. In the event Developer or Owner fail at any time to maintain the Property in a first class condition, using commercially reasonable standards consistent with the approved site plan and this Agreement, the Township may serve written notice upon Owner setting forth the manner in which Developer or Owner have failed to maintain the Property, and such notice shall include a demand that deficiencies be cured within a stated reasonable time period no less than sixty (60) days, and shall set forth the date, time and place of a hearing before the Township Board for the purpose of allowing Owner to be heard as to why the Township should not proceed to perform the maintenance which has not been undertaken. In that hearing, the time for curing such deficiencies and the hearing itself may be extended. If, following the hearing, the Township Board shall determine that the deficiency has not been cured within the time specified at the hearing, then upon five (5) days written notice to Owner, the Township shall thereupon have the power and authority, but not the obligation, to enter upon the Property or cause its agents or contractors to enter upon

the Property to cure such deficiency as reasonably found by the Township to be appropriate and/or necessary, in a manner so as to reasonably minimize any interference with the business operations on the Property and the cost and expense of such curative action, including the cost of notices by the Township and reasonable legal, planning, and engineering fees and costs incurred by the Township, shall be paid by the Owner. Such amount shall constitute a lien on the Property and the Township may require such costs and expenses to be paid prior to the commencement of work. If such costs and expenses have not been paid within sixty (60) days of a billing to the Owner, all unpaid amounts may be a) placed on a delinquent tax roll of the Township as to the Property and shall accrue interest and penalties and shall be collected as and shall be deemed delinquent real property taxes according to the laws made and provided for the collection of delinquent real property taxes in the discretion of the Township; or b) assessed against the Owner and collected as a special assessment on the next annual Township tax roll; or c) collected by use of the applicable provisions of Michigan law providing for foreclosure by advertisement, the Owner having specifically granted the Township the required power of sale to do so; or d) collected by suit against the Owner. If suit is initiated, the Owner shall pay all the Township's legal fees and costs. The selection of remedy shall be at the sole option of the Township, and election of one remedy shall not waive the use of any other remedy.

- 4.2 Other. The Developer shall be required to repair/replace any broken sections of concrete within the frontage sidewalks adjacent to the site along Bogie Lake Road and Highland Road, as determined by the Township Engineering Consultant,
- 4.3 Breach. Any breach of this Agreement, the PBD Plan, or any other document governing the development shall constitute a nuisance per se which shall be abated. The parties therefore agree that, in the event of a breach of this Agreement by Owner or Developer, the Township, in addition to any other relief to which it may be entitled at law or in equity, shall be entitled under this Agreement to an order of a court of competent jurisdiction providing for relief in the form of injunctive relief or specific performance requiring abatement of the nuisance per se.

#### **ARTICLE V**

#### **MISCELLANEOUS**

- 5.1 Binding Effect. This Agreement shall be binding upon and inure to the benefit of the parties, their heirs, successors and assigns. The rights and obligations contained in this Agreement shall run with the property.
- 5.2 Authority. This Agreement has been duly authorized by all necessary action of the Developer, the Owner and the Township. By execution of this Agreement, the parties each warrant that they have the authority to execute this Agreement and bind the Property and the respective entities to its terms and conditions.
- 5.3 Amendment. This Agreement shall only be amended pursuant to an instrument executed by the Township, Owner and Developer, or their successor in title. No consent to the amendment of this Agreement shall be required from any other person, including mortgagees.

	Page 5 of 15	
Developer's	<b>G</b>	Township's
Initials		Initials

- 5.4 Validity. Invalidation of any of the provisions contained in this Agreement, or of the application thereof to any person by judgment or court order shall in no way affect any of the other provisions herein or the application thereof to any other person. The same shall remain in full force and affect.
- 5.5 Partnership. None of the terms or provisions of this Agreement shall be deemed to create a partnership or joint venture between Developer and the Township.
- 5.6 Time. Time is of essence to this Agreement, subject to the provisions of this Agreement captioned "Force Majeure."
- 5.7 Waiver. Failure of either party to insist upon strict performance of any of the terms, conditions or covenants hereof shall not be deemed to be a waiver of any rights or remedies that such party may have hereunder, at law or in equity, and shall not be deemed a waiver of any subsequent breach or default under this Agreement. No waiver by either party of any default under this Agreement shall be effective or binding unless made in writing and no such waiver shall be implied from any omission by the party to take an action with respect to the default. No express written waiver of any default shall affect any other default or cover any other period of time, and one or more written waivers of any default shall not be deemed to be a waiver of any subsequent default in performance of the same or any other term or provision contained in this Agreement.
- 5.8 The Township ZBA shall have no jurisdiction over the Property or the application of the Agreement.
- 5.9 This Agreement shall be governed by the laws of the State of Michigan and in the event of any litigation related to the Agreement or the PBD, venue shall be in and to the exclusive jurisdiction of the courts in Michigan, including the Federal District Court for the Eastern District of Michigan.
- 5.10 Violations. Violations of the provisions of this Agreement shall be deemed to be violations of the Township Zoning Ordinance and shall entitle the Township to all the rights and remedies provided by the Zoning Ordinance or any other applicable law for such violation.
- 5.11 Notice. This PBD Agreement shall be recorded by the Township at the Office of the Oakland County Register of Deeds.
- 5.12 Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all such counterparts shall constitute one and the same instrument.
- 5.13 At the time of execution of this Agreement, the Developer will not have yet obtained engineering approvals for the Development. Additional conditions may be imposed in connection with engineering approvals, provided that no such conditions be inconsistent with the PBD Plan or this Agreement and shall not change or eliminate any development right authorized thereby. Those conditions shall be incorporated into and made part of this Agreement automatically upon issuance of said conditions.

Item	Λ
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Recording of the original executed Agreement shall be completed by the Township and all recording fees shall be paid by the Developer.

• • •
The undersigned have executed this Agreement effective as of the day and year first written above.
DEVELOPER:
Great Lakes Taco LLC, a Michigan limited liability company
By: Louis C. Dortch Jr., its manager
STATE OF MICHIGAN )
) SS COUNTY OF GENESEE )
The foregoing PBD Agreement was acknowledged before me on, 2022, by Louis C. Dortch Jr., the manager of Great Lakes Taco LLC, a Michigan limited liability company, on behalf of said limited liability company
Prepared by and when recorded return to: George F. Rizik, II (P30595) Rizik & Rizik 9400 S. Saginaw St., Suite E Grand Blanc, MI 48439 Telephone: 810-953-6000

Page 7 of 15 Township's Developer's Initials Initials

#### TOWNSHIP:

### CHARTER TOWNSHIP OF WHITE LAKE a Michigan municipal corporation

		wall, Its: Supervi y L. Noble, Its: C		
	Anthon	y L. Noble, Its: C	Lierk	
STATE OF MICHIGAN COUNTY OF OAKLAND	)			
COUNTY OF OAKLAND	)			
The foregoing PBD Agreeme Rik Kowall, Supervisor and a municipal corporation, on beh	Anthony L. Noble, nalf of said municipa	Clerk of the C I corporation.	harter Township of White L	, 2022, 8 _ake, a Michigar
		Acting in	, Notary Public , County, Michigan County, Michigan on expires:	-

Page 8 of 15

Township's Initials

EXHIBIT A
(PBD PROPERTY DESCRIPTION)
EXHIBIT B
(THE PBD PLAN)
EXHIBIT C
(TOWNSHIP SPECIAL CONDITIONS)
EXHIBIT D
(DEVELOPMENT SCHEDULE)
EXHIBIT E
(APPROVED FINAL PBD DEVIATIONS AND WAIVERS)

### EXHIBIT A (PBD PROPERTY DESCRIPTION)

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST 1/4 OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST. 94.46 FEET: THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338.00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

Page 10 of 15

## EXHIBIT B (THE PBD PLAN)

#### DESCRIPTION OF SITE PLAN AND RELATED PLANS AND SPECIFICATIONS

C1.0	COVER SHEET
I	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C3.0	SITE LAYOUT & PAVING PLAN
C3.1	FIRE TRUCK ACCESS PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C6.0	PROFILE PLAN
C7.0	SOIL EROSION & SEDIMENTATION CONTROL PLAN
C8.0	SITE DETAILS
WHIT	E LAKE TOWNSHIP SANITARY SEWER STANDARD DETAILS
WHIT	E LAKE TOWNSHIP STORM SEWER STANDARD DETAILS
WHIT	E LAKE TOWNSHIP WATER MAIN STANDARD DETAILS
OAKL	AND COUNTY SOIL EROSION AND SEDIMENTATION CONTROL DETAILS
L-I	LANDSCAPE PLAN
	IRRIGATION PLAN
A0.5	SITE PLAN
A0.6	DIMENSIONAL SITE PLAN
A0.7	PHOTOMETRIC SITE PLAN
G2.0	TRASH ENCLOSURE DETAILS
AI.0	FLOOR PLAN
A2.0	EQUIPMENT AND SEATING PLAN
A4.0	EXTERIOR ELEVATIONS (in color)
A4.1	EXTERIOR ELEVATIONS (in color)
A4.2	SITE AND BUILDING SECTIONS
A5.2	WALL SECTIONS
A5.3	WALL SECTIONS

### EXHIBIT C (TOWNSHIP SPECIAL CONDITIONS)

The Developer shall be required to repair/replace any broken sections of concrete within the frontage sidewalks adjacent to the site along Bogie Lake Road and Highland Road, as determined by the Township Engineering Consultant.

### EXHIBIT D (DEVELOPMENT SCHEDULE)

The development schedule will be as follows:

Upon all reviews and approvals obtained, including the required permits, construction will begin. The construction duration from ground break to opening is anticipated to be ninety (90) days.

### EXHIBIT E (APPROVED FINAL PBD DEVIATIONS AND WAIVERS)

 Landscaping Requirement – Section 5.19 D Required Screening and/or Landscaping: Zoning of Adjacent Parcel

Applicable requirement: North: 10-foot greenbelt, 5 deciduous/evergreen trees and 39 shrubs Proposed: North 7'10" greenbelt, 5 trees, 39 shrubs

Due to site restraints, we are requesting a waiver from the 10' greenbelt to a 7'-10" greenbelt.

2. Landscaping Requirement – Section 5.19 D Required Screening and/or Landscaping: Zoning of Adjacent Parcel

Applicable requirement: East: Land Form Buffer (A-2), or Buffer Strip (B) & Obscuring Fence (D), or Screen Wall (C)

Proposed: East: Applicant has not provided landscaping/screening that satisfies either of the requirements.

Greenbelt "E" is proposed. We are requesting a waiver from the screening requirements.

 Landscaping Requirement – Section 5.19 D Required Screening and/or Landscaping: Zoning of Adjacent Parcel

Applicable requirement – West: 20-foot greenbelt, 10 deciduous/evergreen trees and 80 shrubs.

Proposed: West: 9'5" greenbelt, 10 trees, 80 shrubs

Due to site restraints, we are requesting a waiver from the 20' greenbelt to a 9'-5" greenbelt.

- 4. Signs: Section 5.9 of the Zoning Ordinance regulates signs. The applicant is proposing a 27.7 square feet wall sign on both the south and west elevation. The ordinance allows the secondary sign to be half the size of the primary sign. We are requesting a 5% waiver so both the south and west wall signs could be 10% of the south building elevation.
- 5. Architectural Character Requirements Section 6.8.E.iv: Due to the interior layout of the kitchen equipment etc., the 30% window requirement is unable to be met at the west building elevation. We are requesting a waiver from that requirement accordingly.
- 6. The Ordinance requires a 60 feet setback from the west property line. We are requesting a waiver of this requirement from 60 feet setback to 34'-3" setback.
- 7. The Ordinance prohibits placement of the dumpster in the required front yard/street-side setback. We are requesting a waiver of this requirement.
- 8. The Ordinance requires that trees shall not be planted closer than four feet from the property line. Developer has stated that because of limited space between the property line and the curb, trees cannot be placed more than four feet from the property line. We are requesting waiver of that requirement.

	Page 14 of 15	
Developer's	<b>G</b>	Township's
Initials		Initials

9. Seven trees are required to be placed in the parking lot. Only three trees are provided in the parking lot as shown on the landscape plan. We are requesting waiver of the requirement for seven trees in the parking lot.

PBD Agreement 051822

OAKLAND COUNTY TREASURERS CERTIFICATE
This is to certify that there are no delinquent properly
taxes as of this date owed to our office on this properly.
No representation is made as to the stalus of any taxes,
tax liens or titles owed to any other entities.

MB

5.00

FEB 2 4 2022

ROBERT WITTENBERG, County Treasurer Sec. 135. Act 206, 1893 as amended 334116 Liber 67527 Page 499 UCC #
2/28/2022 11:25:59 AM Receipt #000265158
\$26.00Misc Recording
\$4.00 Remonumentation
\$5.00 Automation
\$0.0 Transfer Tax
PAID RECORDED — Oakland County, Mi
Lisa Brown, Clerk/Register of Daeds

#### **COVENANT DEED**

MEIJER, INC., a Michigan corporation, whose address is 2929 Walker Avenue, N.W., Grand Rapids, Michigan 49544 ("Grantor"), for good and valuable consideration (Real Estate Transfer Tax Affidavit filed),

CONVEYS unto GREAT LAKES TACO LLC, a Michigan limited liability company, whose address is 8487 Retreat Drive, Grand Blanc, Michigan 48439 ("Grantee"), the following real property situated in the Township of White Lake, Oakland County, Michigan, described as:

SEE ATTACHED EXHIBIT A (the "Property").

**SUBJECT TO:** (a) Terms, covenants, conditions and restrictions as specified in the Declaration of Restrictions executed by Grantor and Grantee, which Declaration is dated the same date as this Covenant Deed and recorded simultaneously with this Covenant Deed; (b) easements and restrictions of record; (c) a perpetual easement herein reserved by Grantor for the benefit of Grantor's adjacent property for the use, operation, maintenance, inspection, replacement, and repair of all existing utility lines, drainage, and improvements currently located on, onto and/or under the surface of the Property or within ten (10) feet of the boundary of the Property (together, the "Improvements"). Grantee acknowledges that no improvements shall be constructed over such Improvements without the prior written consent of Grantor, provided, however, Grantee may use the easement areas for landscaping, driveways, parking lots, curbing and curb cuts that do not interfere with Grantor's retained easement. Grantee shall have the right to change the location of the Improvements on the Property, provided such relocations do not result in the interruption or diminishment of utility service or drainage and further provided Grantee obtains Grantor's prior written consent for any such relocation, which consent shall not be unreasonably withheld, conditioned or delayed, and Grantee shall assume any and all obligations to restore the easement areas (and the Grantee improvements therein) following the disturbance of the Property resulting from Grantor's use, operation, maintenance, inspection, replacement and repair of the Existing Improvements; (d) any existing drainage from adjacent parcels and roadways currently draining onto and/or across the Property; (e) all zoning and land use ordinances; and (f) any general real property taxes and assessments not yet due and payable, with covenant to defend title to the Property against all persons and demands claiming by, through or under the Grantor and no other persons and claims/demands whatsoever.

The Grantor grants to Grantee the right to make zero (0) divisions under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967, as amended.

1

2022 FEB 18 PM 12: 45

BECISTER OF DEEDS OVER AND COURTY RECEIVED

AFTER RECORDING

OKLB



This Property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Dated as of this 17 day of February, 2022.

MEIJER, INC.

a Michigan corporation

By:

Michael Flickinger

Its:

Vice President-Real Estate

STATE OF MICHIGAN

) ss.

COUNTY OF KENT

The foregoing instrument was acknowledged before me this 15th day of February, 2022, by Michael Flickinger, the Vice President-Real Estate of Meijer, Inc., a Michigan corporation, for and on behalf of said corporation.

State of Michigan, County of Ottowa

My Commission expires: 2 - 1

Acting in the County of: Kent

LARAE B STEIGENGA

NOTARY PUBLIC - STATE OF MICHIGAN COUNTY OF OTTAWA

My Commission Expires February 17, 2023 Acting in Kent County, MI

WHEN RECORDED RETURN	SEND TAX BILLS TO:	DRAFTED BY:
TO:		
Great Lakes Taco LLC	Great Lakes Taco LLC	Aaron Morrissey, Esq.
Attn: Louis C. Dortch, Jr.	Attn: Louis C. Dortch, Jr.	Meijer, Inc.
8487 Retreat Drive	8487 Retreat Drive	2929 Walker Ave., N.W.
Grand Blanc, MI 48439	Grand Blanc, MI 48439	Grand Rapids, MI 49544
Tax Parcel No. Y-12-20-276-036		

# EXHIBIT A TO COVENANT DEED

LAND SITUATED IN THE COUNTY OF OAKLAND, TOWNSHIP OF WHITE LAKE, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

A PART OF THE NORTHEAST ¼ OF SECTION 20, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE CENTER OF SECTION; THENCE NORTH 00 DEGREES 31 MINUTES 08 SECONDS EAST ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 20, 198,92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 09 SECONDS EAST, 519.78 FEET; THENCE SOUTH 87 DEGREES 30 MINUTES 16 SECONDS EAST, 513.36 FEET; THENCE 28.28 FEET ON A CURVE TO THE RIGHT WITH A RADIUS OF 5821.58 FEET. CHORD BEARING AND DISTANCE OF SOUTH 84 DEGREES 52 MINUTES 11 SECONDS EAST, 28.28 FEET; THENCE SOUTH 84 DEGREES 42 MINUTES 00 SECONDS EAST, 435.29 FEET; THENCE 118.86 FEET ON A CURVE TO THE LEFT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF SOUTH 85 DEGREES 18 MINUTES 14 SECONDS EAST, 118.86 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 01 MINUTE 09 SECONDS WEST, 236.61 FEET; THENCE 94.59 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 533.50 FEET, CHORD BEARING AND DISTANCE OF NORTH 05 DEGREES 00 MINUTES 27 SECONDS WEST, 94.46 FEET; THENCE SOUTH 89 DEGREES 40 MINUTES 32 SECONDS EAST, 147.67 FEET; THENCE SOUTH 00 DEGREES 19 MINUTES 28 SECONDS WEST, 338,00 FEET; THENCE 137.67 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 5637.58 FEET, CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 36 MINUTES 27 SECONDS WEST, 137.67 FEET TO THE POINT OF BEGINNING.

Tax Parcel Number Y-12-20-276-036 (formerly part of 12-20-276-033)

### RESOLUTION ADOPTED BY MEMBERS OF GREAT LAKES TACO, LLC, a Michigan limited liability company

The following are resolutions of GREAT LAKES TACO, LLC, a Michigan limited liability company ("Company") unanimously adopted and binding on the Company pursuant to its operating agreement, and effective on May 17, 2022.

The undersigned, constituting all members of Company, have approved the following:

Resolution Authorizing Execution of any documents in connection with the construction of a Taco Bell
Restaurant in White Lake Township

#### **Recitals**

- 1. There has been presented to the members of Company various documents in connection with the construction of a Taco Bell Restaurant in White Lake Township
- 2. The members of Company find it to be in the best interest of the Company to execute these documents.

Therefore, the Company resolves as follows:

The Company is authorized to enter any necessary documents in connection with the construction of a Taco Bell Restaurant in White Lake Township

Louis C. Dortch Jr., the agent for the Company, is authorized and empowered, for and on behalf of the Company, to execute, acknowledge, and deliver any necessary documents in connection with the construction of a Taco Bell Restaurant in White Lake Township

Louis C. Dortch Jr., the agent for the Company is authorized and empowered for and on behalf of the Company to do any and all acts and things and execute any and all additional instruments, papers, or documents that may be or become necessary, desirable, or appropriate to carry out, put into effect, and make operative any portion or portions of these resolutions.

ATTEST: