



TOWNSHIP BOARD MEETING
LOCATION: 7527 HIGHLAND ROAD, WHITE LAKE - ANNEX BOARD ROOM
TUESDAY, FEBRUARY 17, 2026 – 6:30 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **APPROVAL OF AGENDA**
5. **PUBLIC COMMENT**
6. **CONSENT AGENDA**
 - A. [REVENUE AND EXPENSES](#)
 - B. [CHECK DISBURSEMENTS](#)
 - C. [DEPARTMENT REPORT - POLICE](#)
 - D. [DEPARTMENT REPORT - FIRE](#)
 - E. [DEPARTMENT REPORT - COMMUNITY DEVELOPMENT](#)
 - F. DEPARTMENT REPORT – TREASURER
7. **MINUTES**
 - A. [APPROVAL OF MINUTES - SPECIAL BOARD MEETING, JANUARY 15, 2026](#)
 - B. [APPROVAL OF MINUTES - REGULAR BOARD MEETING, JANUARY 20, 2026](#)
8. **OLD BUSINESS**
 - A. [CONSIDERATION OF PRELIMINARY SITE PLAN APPROVAL - EDENDALE](#)
 - B. [FIRST READING; EDENDALE REZONING REQUEST](#)
 - C. [CONSIDERATION OF PRELIMINARY SITE PLAN APPROVAL - JAX KAR WASH](#)
9. **NEW BUSINESS**
 - A. [FOIA APPEAL - JOSHUA HUNTER](#)
 - B. [RESOLUTION #26-003; TO APPROVE P25 SIMULCAST SYSTEM INTERLOCAL AGREEMENT BETWEEN THE COUNTY OF OAKLAND AND THE TOWNSHIP OF WHITE LAKE](#)
 - C. REQUEST TO APPROVE OAKLAND COUNTY TRI-PARTY AGREEMENT - 2026 GRAVEL HAUL PROGRAM
 - D. [RESOLUTION #26-004; TO APPROVE MORATORIUM ON THE ISSUANCE OF APPROVALS OR PERMITS FOR DATA PROCESSING CENTERS](#)
 - E. [RESOLUTION #26-002; GOOSE NEST/EGG DESTRUCTION - LAKEWOOD VILLAGE](#)
10. **FYI - CIVIC CENTER UPDATE**
11. **TRUSTEE COMMENTS**



12. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-7 at least five days in advance of the meeting.** An attempt will be made to provide reasonable accommodations.

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 101 GENERAL FUND						
Account Category: Revenues						
Department: 000						
101-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	711,692.00	711,692.00	0.00
101-000-402.000	CURRENT PROPERTY TAX	0.00	0.00	1,494,758.00	1,494,758.00	0.00
101-000-403.001	SPECIAL ASSMT STREET LIGHTS	0.00	0.00	17,200.00	17,200.00	0.00
101-000-405.000	TRAILER PARK TAX	836.50	836.50	7,500.00	6,663.50	11.15
101-000-412.000	DELINQUENT PROPERTY TAX	144.99	144.99	35,000.00	34,855.01	0.41
101-000-441.000	INTERGOVERNMENTAL REVENUES	0.00	0.00	19,000.00	19,000.00	0.00
101-000-445.000	PENALTIES	0.00	0.00	1,000.00	1,000.00	0.00
101-000-458.000	OTHER PERMITS	550.00	550.00	0.00	(550.00)	100.00
101-000-459.000	SOLICITOR PERMIT	0.00	0.00	500.00	500.00	0.00
101-000-531.000	OTHER GRANTS	0.00	0.00	6,000.00	6,000.00	0.00
101-000-575.001	METRO ACT REVENUE	0.00	0.00	26,000.00	26,000.00	0.00
101-000-576.000	STATE SHARED REV-CONSTITUTIONA	0.00	0.00	3,400,000.00	3,400,000.00	0.00
101-000-590.000	CASH BONDS CONTRIBUTIONS	0.00	0.00	600,000.00	600,000.00	0.00
101-000-590.001	GRINDERS-CONTRIBUTIONS	0.00	0.00	300,000.00	300,000.00	0.00
101-000-608.000	ZONING BOARD OF APPEALS	880.00	880.00	9,000.00	8,120.00	9.78
101-000-609.000	PLANNING COMMISSION FEES	0.00	0.00	5,000.00	5,000.00	0.00
101-000-622.000	RE-ZONING APPLICATION FEES	440.00	440.00	2,500.00	2,060.00	17.60
101-000-622.002	PLANNING DEPARTMENT REVIEWS	0.00	0.00	3,500.00	3,500.00	0.00
101-000-622.003	LANDSCAPING INSPECTION FEES	0.00	0.00	1,000.00	1,000.00	0.00
101-000-622.004	PUNCH LIST ADMIN FEES	0.00	0.00	3,500.00	3,500.00	0.00
101-000-622.005	FINAL BACK CHECK FEES	0.00	0.00	500.00	500.00	0.00
101-000-623.000	N S F FEE	25.00	25.00	200.00	175.00	12.50
101-000-625.000	SPECIAL MEETING FEES	0.00	0.00	500.00	500.00	0.00
101-000-627.000	DUPLICATING & PHOTOSTAT	6.00	6.00	300.00	294.00	2.00
101-000-643.000	CEMETERY LOTS	0.00	0.00	10,000.00	10,000.00	0.00
101-000-650.000	OTHER MAPS, CODES, ETC	0.00	0.00	50.00	50.00	0.00
101-000-651.000	SENIOR ACTIVITIES	1,551.00	1,551.00	22,000.00	20,449.00	7.05
101-000-652.001	SENIOR CENTER REVENUE	0.00	0.00	4,000.00	4,000.00	0.00
101-000-654.000	OC ENHANCED REVENUE	0.00	0.00	10,000.00	10,000.00	0.00
101-000-656.000	ORDINANCE FINES	40.00	40.00	0.00	(40.00)	100.00
101-000-664.000	INTEREST INCOME	53,278.83	53,278.83	50,000.00	(3,278.83)	106.56
101-000-664.001	INTEREST - TRUST AND AGENCY	0.00	0.00	2,000.00	2,000.00	0.00
101-000-667.001	RENT COMMUNITY HALL	75.00	75.00	2,000.00	1,925.00	3.75
101-000-667.005	RENT-ORMOND RD TOWER	1,330.46	1,330.46	16,000.00	14,669.54	8.32
101-000-678.000	MISCELLANEOUS	0.00	0.00	12,000.00	12,000.00	0.00
101-000-695.000	OTHER SUNDRY	0.00	0.00	2,000.00	2,000.00	0.00
101-000-695.001	OTHER CABLE TV	4,686.89	4,686.89	480,000.00	475,313.11	0.98
101-000-695.003	ADMIN FEES - GARBAGE FUND	0.00	0.00	135,408.00	135,408.00	0.00
101-000-695.004	ADMIN FEES - TRUST & AGENCY	0.00	0.00	22,000.00	22,000.00	0.00
101-000-695.005	ADMIN FEES	0.00	0.00	4,000.00	4,000.00	0.00
101-000-695.007	ADMIN FEE SPECIAL ASSESSMENTS	0.00	0.00	5,000.00	5,000.00	0.00
101-000-695.010	PROPERTY TAX ADMIN FEE	0.00	0.00	588,817.00	588,817.00	0.00
Total Dept 000		63,844.67	63,844.67	8,009,925.00	7,946,080.33	0.80
Revenues		63,844.67	63,844.67	8,009,925.00	7,946,080.33	0.80
Account Category: Expenditures						
Department: 000						
101-000-934.000	CASH BONDS DEDUCTIONS	0.00	0.00	600,000.00	600,000.00	

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 000						
101-000-934.001	GRINDERS-DEDUCTIONS	0.00	0.00	300,000.00	300,000.00	0.00
Total Dept 000		0.00	0.00	900,000.00	900,000.00	0.00
Department: 101 TRUSTEE'S						
101-101-703.000	SALARIES TRUSTEES	4,853.36	4,853.36	58,245.00	53,391.64	8.33
101-101-710.000	FEES & PER DIEM	265.00	265.00	15,000.00	14,735.00	1.77
101-101-715.000	SOCIAL SECURITY	0.00	0.00	4,456.00	4,456.00	0.00
101-101-717.000	GROUP LIFE INSURANCE	54.96	54.96	500.00	445.04	10.99
101-101-719.000	WORKERS' COMP INSURANCE	0.00	0.00	100.00	100.00	0.00
101-101-801.000	PROFESSIONAL FEES - ACTUARIAL	0.00	0.00	16,000.00	16,000.00	0.00
101-101-801.001	PROFESSIONAL FEES	0.00	0.00	10,000.00	10,000.00	0.00
101-101-807.000	AUDIT FEES	0.00	0.00	60,000.00	60,000.00	0.00
101-101-860.000	CONFERENCES & MILEAGE	800.00	800.00	5,500.00	4,700.00	14.55
101-101-958.000	MEMBERSHIPS & DUES	0.00	0.00	22,000.00	22,000.00	0.00
101-101-962.000	MISCELLANEOUS	0.00	0.00	10,000.00	10,000.00	0.00
Total Dept 101 - TRUSTEE'S		5,973.32	5,973.32	201,801.00	195,827.68	2.96
Department: 171 SUPERVISOR'S DEPARTMENT						
101-171-703.000	SALARIES SUPERVISOR	9,043.50	9,043.50	117,566.00	108,522.50	7.69
101-171-704.000	SALARIES, DEPUTY SUPERVISOR	6,937.47	6,937.47	94,934.00	87,996.53	7.31
101-171-706.000	SALARIES CLERICAL	5,059.96	5,059.96	63,147.00	58,087.04	8.01
101-171-708.000	SALARIES HR WAGES	6,339.45	6,339.45	77,464.00	71,124.55	8.18
101-171-709.000	OVERTIME	182.57	182.57	5,000.00	4,817.43	3.65
101-171-715.000	SOCIAL SECURITY	0.00	0.00	27,400.00	27,400.00	0.00
101-171-716.000	HOSP & OPTICAL INSURANCE	9,129.52	9,129.52	90,770.00	81,640.48	10.06
101-171-717.000	GROUP LIFE INSURANCE	62.80	62.80	440.00	377.20	14.27
101-171-718.000	PENSION	0.00	0.00	198,350.00	198,350.00	0.00
101-171-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	5,725.00	5,725.00	0.00
101-171-718.002	457-EMPLOYER PORTION	101.20	101.20	2,815.00	2,713.80	3.60
101-171-719.000	WORKERS COMP INSURANCE	0.00	0.00	700.00	700.00	0.00
101-171-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	810.00	810.00	0.00
101-171-724.000	DENTAL INSURANCE	654.12	654.12	3,900.00	3,245.88	16.77
101-171-853.000	CELLULAR PHONE	0.00	0.00	800.00	800.00	0.00
101-171-864.000	CONFERENCES & MEETINGS	400.00	400.00	1,600.00	1,200.00	25.00
101-171-931.000	HR SERVICES ALLOCATION	0.00	0.00	(109,890.00)	(109,890.00)	0.00
101-171-957.000	SUBSCRIPTIONS	0.00	0.00	100.00	100.00	0.00
101-171-958.000	MEMBERSHIPS & DUES	0.00	0.00	600.00	600.00	0.00
101-171-959.000	COMMUNITY COMMUNICATIONS	0.00	0.00	20,000.00	20,000.00	0.00
101-171-960.000	TRAINING	0.00	0.00	300.00	300.00	0.00
101-171-960.001	TRAINING-HR	0.00	0.00	2,000.00	2,000.00	0.00
101-171-962.000	MISCELLANEOUS	0.00	0.00	800.00	800.00	0.00
Total Dept 171 - SUPERVISOR'S DEPARTMENT		37,910.59	37,910.59	605,331.00	567,420.41	6.26
Department: 191 ELECTIONS CONTROL						
101-191-706.000	PART TIME ELECTIONS	0.00	0.00	15,000.00	15,000.00	0.00
101-191-709.001	OVERTIME ELECTIONS	0.00	0.00	30,000.00	30,000.00	0.00
101-191-710.000	FEES & PER DIEM	0.00	0.00	86,000.00	86,000.00	0.00
101-191-715.000	SOCIAL SECURITY	0.00	0.00	3,443.00	3,443.00	0.00
101-191-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	2,400.00	2,400.00	0.00

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 191 ELECTIONS CONTROL						
101-191-730.000	POSTAGE-ELECTIONS	0.00	0.00	20,000.00	20,000.00	0.00
101-191-740.000	OPERATING SUPPLIES	0.00	0.00	30,000.00	30,000.00	0.00
101-191-860.000	MILEAGE	0.00	0.00	100.00	100.00	0.00
101-191-903.000	LEGAL NOTICES	0.00	0.00	3,000.00	3,000.00	0.00
101-191-934.000	EQUIPMENT MAINTENANCE	0.00	0.00	20,000.00	20,000.00	0.00
101-191-962.000	MISCELLANEOUS	0.00	0.00	1,000.00	1,000.00	0.00
101-191-977.000	EQUIPMENT ACQUISITIONS	0.00	0.00	150,000.00	150,000.00	0.00
Total Dept 191 - ELECTIONS CONTROL		0.00	0.00	360,943.00	360,943.00	0.00
Department: 192 ACCOUNTING DEPARTMENT						
101-192-701.000	SALARIES FINANCE DIRECTOR	16,372.80	16,372.80	113,519.00	97,146.20	14.42
101-192-702.000	SALARIES ASST FINANCE DIRECTOR	6,892.66	6,892.66	93,740.00	86,847.34	7.35
101-192-709.000	OVERTIME	0.00	0.00	1,500.00	1,500.00	0.00
101-192-715.000	SOCIAL SECURITY	0.00	0.00	16,100.00	16,100.00	0.00
101-192-716.000	HOSP & OPTICAL INSURANCE	2,986.47	2,986.47	38,982.00	35,995.53	7.66
101-192-717.000	GROUP LIFE INSURANCE	39.25	39.25	220.00	180.75	17.84
101-192-718.000	PENSION	0.00	0.00	20,500.00	20,500.00	0.00
101-192-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	1,200.00	1,200.00	0.00
101-192-718.002	457-EMPLOYER PORTION	152.82	152.82	2,270.00	2,117.18	6.73
101-192-719.000	WORKERS COMP INSURANCE	0.00	0.00	620.00	620.00	0.00
101-192-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	540.00	540.00	0.00
101-192-724.000	DENTAL INSURANCE	185.00	185.00	1,400.00	1,215.00	13.21
101-192-957.000	SUBSCRIPTIONS	0.00	0.00	149.00	149.00	0.00
101-192-958.000	MEMBERSHIPS & DUES	0.00	0.00	750.00	750.00	0.00
101-192-960.000	TRAINING	0.00	0.00	500.00	500.00	0.00
101-192-962.000	MISCELLANEOUS	0.00	0.00	200.00	200.00	0.00
Total Dept 192 - ACCOUNTING DEPARTMENT		26,629.00	26,629.00	292,190.00	265,561.00	9.11
Department: 209 ASSESSING DEPARTMENT						
101-209-706.001	SALARIES ASSESSOR	8,486.10	8,486.10	110,320.00	101,833.90	7.69
101-209-706.002	SALARIES PROPERTY APPRAISER	11,175.45	11,175.45	146,730.00	135,554.55	7.62
101-209-706.003	SALARIES CLERICAL	4,687.96	4,687.96	61,430.00	56,742.04	7.63
101-209-707.000	SALARIES PART TIME	0.00	0.00	30,000.00	30,000.00	0.00
101-209-709.000	OVERTIME	0.00	0.00	1,500.00	1,500.00	0.00
101-209-715.000	SOCIAL SECURITY	0.00	0.00	26,800.00	26,800.00	0.00
101-209-716.000	HOSP & OPTICAL INSURANCE	7,510.58	7,510.58	104,415.00	96,904.42	7.19
101-209-717.000	GROUP LIFE INSURANCE	62.80	62.80	430.00	367.20	14.60
101-209-718.000	PENSION	763.75	763.75	66,300.00	65,536.25	1.15
101-209-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	3,600.00	3,600.00	0.00
101-209-718.002	457-EMPLOYER PORTION	317.28	317.28	4,200.00	3,882.72	7.55
101-209-719.000	WORKERS COMP INSURANCE	0.00	0.00	1,700.00	1,700.00	0.00
101-209-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	1,350.00	1,350.00	0.00
101-209-724.000	DENTAL INSURANCE	726.96	726.96	6,400.00	5,673.04	11.36
101-209-801.000	PROFESSIONAL SERVICES	0.00	0.00	25,000.00	25,000.00	0.00
101-209-818.000	SOFTWARE SUPPORT FEES	0.00	0.00	4,500.00	4,500.00	0.00
101-209-820.000	LEGAL FEES	0.00	0.00	10,000.00	10,000.00	0.00
101-209-864.000	CONFERENCES & MEETINGS	0.00	0.00	3,200.00	3,200.00	0.00
101-209-903.000	LEGAL NOTICES	0.00	0.00	1,500.00	1,500.00	0.00
101-209-957.000	SUBSCRIPTIONS	0.00	0.00	200.00	200.00	0.00

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Section 6, Item A.

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Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 209 ASSESSING DEPARTMENT						
101-209-958.000	MEMBERSHIPS & DUES	0.00	0.00	1,500.00	1,500.00	0.00
101-209-960.000	TRAINING	50.00	50.00	3,500.00	3,450.00	1.43
101-209-962.000	MISCELLANEOUS	0.00	0.00	2,000.00	2,000.00	0.00
Total Dept 209 - ASSESSING DEPARTMENT		33,780.88	33,780.88	616,575.00	582,794.12	5.48
Department: 210 LEGAL						
101-210-826.000	LEGAL FEES	0.00	0.00	90,000.00	90,000.00	0.00
101-210-826.001	TAX TRIBUNAL REFUNDS	0.00	0.00	2,000.00	2,000.00	0.00
101-210-826.002	LEGAL FEES-ORDINANCE	0.00	0.00	12,000.00	12,000.00	0.00
Total Dept 210 - LEGAL		0.00	0.00	104,000.00	104,000.00	0.00
Department: 215 CLERK'S DEPARTMENT						
101-215-703.000	SALARIES CLERK	8,591.40	8,591.40	111,688.00	103,096.60	7.69
101-215-704.000	SALARIES DEPUTY CLERK	7,302.60	7,302.60	94,934.00	87,631.40	7.69
101-215-706.001	SALARIES CLERICAL	10,061.25	10,061.25	130,795.00	120,733.75	7.69
101-215-709.000	OVERTIME	839.80	839.80	5,000.00	4,160.20	16.80
101-215-715.000	SOCIAL SECURITY	0.00	0.00	26,200.00	26,200.00	0.00
101-215-716.000	HOSP & OPTICAL INSURANCE	4,587.90	4,587.90	60,800.00	56,212.10	7.55
101-215-717.000	GROUP LIFE INSURANCE	62.80	62.80	440.00	377.20	14.27
101-215-718.000	PENSION	0.00	0.00	185,320.00	185,320.00	0.00
101-215-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	9,635.00	9,635.00	0.00
101-215-718.002	457-EMPLOYER PORTION	201.22	201.22	2,650.00	2,448.78	7.59
101-215-719.000	WORKERS COMP INSURANCE	0.00	0.00	725.00	725.00	0.00
101-215-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	810.00	810.00	0.00
101-215-724.000	DENTAL INSURANCE	693.76	693.76	4,600.00	3,906.24	15.08
101-215-853.000	CELLULAR PHONE	0.00	0.00	1,100.00	1,100.00	0.00
101-215-860.000	MILEAGE	0.00	0.00	400.00	400.00	0.00
101-215-864.000	CONFERENCES & MEETINGS	400.00	400.00	10,000.00	9,600.00	4.00
101-215-903.000	LEGAL NOTICES	0.00	0.00	12,000.00	12,000.00	0.00
101-215-957.000	SUBSCRIPTIONS	0.00	0.00	300.00	300.00	0.00
101-215-958.000	MEMBERSHIPS & DUES	105.00	105.00	550.00	445.00	19.09
101-215-960.000	TRAINING	90.00	90.00	4,000.00	3,910.00	2.25
101-215-962.000	MISCELLANEOUS	0.00	0.00	700.00	700.00	0.00
Total Dept 215 - CLERK'S DEPARTMENT		32,935.73	32,935.73	662,647.00	629,711.27	4.97
Department: 247 BOARD OF REVIEW						
101-247-710.000	FEES & PER DIEM	0.00	0.00	2,700.00	2,700.00	0.00
101-247-864.000	CONFERENCES & MEETINGS	150.00	150.00	150.00	0.00	100.00
101-247-903.000	LEGAL PUBLICATIONS	0.00	0.00	750.00	750.00	0.00
Total Dept 247 - BOARD OF REVIEW		150.00	150.00	3,600.00	3,450.00	4.17
Department: 248 POSTAGE CONTROL						
101-248-730.000	POSTAGE	7,224.02	7,224.02	30,000.00	22,775.98	24.08
101-248-934.000	EQUIPMENT MAINTENANCE-POSTAGE METER	0.00	0.00	2,500.00	2,500.00	0.00
101-248-946.000	POSTAGE METER RENTAL	0.00	0.00	1,000.00	1,000.00	0.00
Total Dept 248 - POSTAGE CONTROL		7,224.02	7,224.02	33,500.00	26,275.98	21.56
Department: 249 OFFICE SUPPLIES						
101-249-727.000	OFFICE SUPPLIES	2,116.44	2,116.44	48,000.00	45,883.56	4.41

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 249 OFFICE SUPPLIES						
Total Dept 249 - OFFICE SUPPLIES		2,116.44	2,116.44	48,000.00	45,883.56	4.41
Department: 253 TREASURER'S DEPARTMENT						
101-253-703.000	SALARIES TREASURER	8,591.40	8,591.40	111,688.00	103,096.60	7.69
101-253-704.000	SALARIES DEPUTY TREASURER	7,302.60	7,302.60	94,934.00	87,631.40	7.69
101-253-706.001	SALARIES CLERICAL FT	10,199.55	10,199.55	129,692.00	119,492.45	7.86
101-253-709.000	OVERTIME	0.00	0.00	500.00	500.00	0.00
101-253-715.000	SOCIAL SECURITY	0.00	0.00	25,800.00	25,800.00	0.00
101-253-716.000	HOSP & OPTICAL INSURANCE	8,602.84	8,602.84	127,950.00	119,347.16	6.72
101-253-717.000	GROUP LIFE INSURANCE	62.80	62.80	440.00	377.20	14.27
101-253-718.000	PENSION	0.00	0.00	202,210.00	202,210.00	0.00
101-253-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	5,725.00	5,725.00	0.00
101-253-718.002	457-EMPLOYER PORTION	203.98	203.98	1,220.00	1,016.02	16.72
101-253-719.000	WORKERS COMP INSURANCE	0.00	0.00	700.00	700.00	0.00
101-253-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	810.00	810.00	0.00
101-253-724.000	DENTAL INSURANCE	693.76	693.76	5,000.00	4,306.24	13.88
101-253-818.000	QC SOFTWARE SUPPORT FEES	0.00	0.00	2,500.00	2,500.00	0.00
101-253-860.000	MILEAGE	0.00	0.00	400.00	400.00	0.00
101-253-864.000	CONFERENCES & MEETINGS	799.00	799.00	2,500.00	1,701.00	31.96
101-253-958.000	MEMBERSHIPS & DUES	0.00	0.00	600.00	600.00	0.00
101-253-962.000	MISCELLANEOUS	0.00	0.00	1,000.00	1,000.00	0.00
Total Dept 253 - TREASURER'S DEPARTMENT		36,455.93	36,455.93	713,669.00	677,213.07	5.11
Department: 265 TOWNSHIP HALL AND GROUNDS						
101-265-706.000	SALARIES MAINTENANCE	4,933.06	4,933.06	64,129.00	59,195.94	7.69
101-265-708.000	PART TIME MAINTENANCE	1,805.00	1,805.00	40,000.00	38,195.00	4.51
101-265-709.000	OVERTIME	3,009.16	3,009.16	8,000.00	4,990.84	37.61
101-265-715.000	SOCIAL SECURITY	0.00	0.00	8,580.00	8,580.00	0.00
101-265-716.000	HOSP & OPTICAL INSURANCE	1,977.19	1,977.19	27,105.00	25,127.81	7.29
101-265-717.000	GROUP LIFE INSURANCE	15.70	15.70	110.00	94.30	14.27
101-265-718.000	PENSION	0.00	0.00	16,000.00	16,000.00	0.00
101-265-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	1,200.00	1,200.00	0.00
101-265-718.002	457-EMPLOYER PORTION	98.66	98.66	1,300.00	1,201.34	7.59
101-265-719.000	WORKERS COMP INSURANCE	0.00	0.00	4,000.00	4,000.00	0.00
101-265-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	600.00	600.00	0.00
101-265-724.000	DENTAL INSURANCE	135.12	135.12	900.00	764.88	15.01
101-265-853.000	TELEPHONE	1,482.51	1,482.51	14,500.00	13,017.49	10.22
101-265-863.000	VEHICLE MAINTENANCE	209.99	209.99	10,000.00	9,790.01	2.10
101-265-867.000	GASOLINE	0.00	0.00	14,000.00	14,000.00	0.00
101-265-910.000	INSURANCE	0.00	0.00	72,600.00	72,600.00	0.00
101-265-921.001	ELECTRIC TWP HALL	3,765.01	3,765.01	37,000.00	33,234.99	10.18
101-265-922.000	UTILITIES-TWP HALL	0.00	0.00	7,600.00	7,600.00	0.00
101-265-923.000	HEAT TWP HALL	1,099.91	1,099.91	7,600.00	6,500.09	14.47
101-265-931.001	BLDG MAINTENANCE & SUPPLIES	3,661.29	3,661.29	65,000.00	61,338.71	5.63
101-265-931.002	GROUPS MAINTENANCE	8,210.00	8,210.00	80,000.00	71,790.00	10.26
101-265-931.003	BLDG EQUIP MAINTENANCE	427.00	427.00	12,000.00	11,573.00	3.56
101-265-933.000	GROUPS EQUIP MAINTENANCE	768.76	768.76	2,500.00	1,731.24	30.75
101-265-934.000	OFFICE EQUIP MAINTENANCE	0.00	0.00	500.00	500.00	0.00
101-265-940.000	TOWNSHIP RECORD RETENTION COSTS	235.86	235.86	3,000.00	2,764.14	7.86

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GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 265 TOWNSHIP HALL AND GROUNDS						
101-265-971.000	TECHNOLOGY EQUIPMENT	3,788.82	3,788.82	110,000.00	106,211.18	3.44
101-265-974.000	IMPROVEMENTS & BETTERMENTS	0.00	0.00	165,000.00	165,000.00	0.00
101-265-977.000	EQUIPMENT ACQUISITIONS	0.00	0.00	125,000.00	125,000.00	0.00
Total Dept 265 - TOWNSHIP HALL AND GROUNDS		35,623.04	35,623.04	898,224.00	862,600.96	3.97
Department: 269 OTHER TOWNSHIP PROPERTIES						
101-269-910.001	INSURANCE COMM HALL	0.00	0.00	1,000.00	1,000.00	0.00
101-269-910.004	INSURANCE FISK	0.00	0.00	2,500.00	2,500.00	0.00
101-269-910.008	INSURANCE-ANNEX	0.00	0.00	7,000.00	7,000.00	0.00
101-269-921.001	ELECTRIC COMM HALL	63.04	63.04	1,000.00	936.96	6.30
101-269-921.004	ELECTRIC FISK	169.82	169.82	2,000.00	1,830.18	8.49
101-269-921.006	M59/BOGIE PROP STREET LIGHT	139.11	139.11	2,000.00	1,860.89	6.96
101-269-921.011	ELECTRIC-TWP ANNEX	1,261.62	1,261.62	12,000.00	10,738.38	10.51
101-269-921.012	10895 ELIZABETH LK-STREET LIGHT	145.45	145.45	2,000.00	1,854.55	7.27
101-269-922.004	UTILITIES FISK	0.00	0.00	2,000.00	2,000.00	0.00
101-269-922.010	UTILITIES-TWP ANNEX	0.00	0.00	1,200.00	1,200.00	0.00
101-269-923.001	HEAT COMM HALL	268.44	268.44	2,000.00	1,731.56	13.42
101-269-923.004	HEAT FISK	421.85	421.85	1,800.00	1,378.15	23.44
101-269-923.011	GAS-TWP ANNEX	1,038.09	1,038.09	7,000.00	5,961.91	14.83
101-269-931.001	BLDG MAINT COMM HALL	0.00	0.00	2,000.00	2,000.00	0.00
101-269-931.004	BLDG EQUIPMENT MAINT COMM HALL	0.00	0.00	500.00	500.00	0.00
101-269-931.007	BLDG MAINT FISK	166.80	166.80	3,000.00	2,833.20	5.56
101-269-931.008	EQUIP MAINT FISK	0.00	0.00	1,500.00	1,500.00	0.00
101-269-931.013	BUILDING MAINTENANCE-TWP ANNEX	62.35	62.35	9,000.00	8,937.65	0.69
101-269-932.000	ANNEX GROUND MAINTENANCE	0.00	0.00	500.00	500.00	0.00
101-269-962.000	MISCELLANEOUS	0.00	0.00	500.00	500.00	0.00
Total Dept 269 - OTHER TOWNSHIP PROPERTIES		3,736.57	3,736.57	60,500.00	56,763.43	6.18
Department: 276 CEMETERY CONTROL						
101-276-910.000	INSURANCE	0.00	0.00	200.00	200.00	0.00
101-276-921.000	ELECTRIC OXBOW	18.40	18.40	500.00	481.60	3.68
101-276-921.001	ELECTRIC WHITE LAKE	0.00	0.00	500.00	500.00	0.00
101-276-932.000	CEMETERY MAINT	4,300.00	4,300.00	30,000.00	25,700.00	14.33
101-276-962.000	MISCELLANEOUS	140.00	140.00	500.00	360.00	28.00
101-276-974.000	LAND IMPROVEMENTS	0.00	0.00	2,500.00	2,500.00	0.00
Total Dept 276 - CEMETERY CONTROL		4,458.40	4,458.40	34,200.00	29,741.60	13.04
Department: 285 CONSERVATION CONTROL						
101-285-801.000	ENVIRONMENTAL PROFESSIONAL SERVICES	0.00	0.00	12,000.00	12,000.00	0.00
Total Dept 285 - CONSERVATION CONTROL		0.00	0.00	12,000.00	12,000.00	0.00
Department: 299 UNALLOCATED MISCELLANEOUS						
101-299-956.000	UNALLOCATED MISCELLANEOUS	(873.62)	(873.62)	20,000.00	20,873.62	(4.37)
Total Dept 299 - UNALLOCATED MISCELLANEOUS		(873.62)	(873.62)	20,000.00	20,873.62	4.37
Department: 372 ORDINANCE DEPARTMENT						
101-372-706.001	SALARIES ORDINANCE OFFICER	5,288.56	5,288.56	69,930.00	64,641.44	7.56
101-372-709.000	OVERTIME	0.00	0.00	1,200.00	1,200.00	0.00
101-372-715.000	SOCIAL SECURITY	0.00	0.00	5,400.00	5,400.00	0.00
101-372-716.000	HOSP & OPTICAL INSURANCE	93.40	93.40	3,180.00	3,086.60	

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

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GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 372 ORDINANCE DEPARTMENT						
101-372-717.000	GROUP LIFE INSURANCE	15.70	15.70	110.00	94.30	14.27
101-372-718.000	PENSION	0.00	0.00	22,750.00	22,750.00	0.00
101-372-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	1,200.00	1,200.00	0.00
101-372-718.002	457-EMPLOYER PORTION	105.78	105.78	1,400.00	1,294.22	7.56
101-372-719.000	WORKERS COMP INSURANCE	0.00	0.00	400.00	400.00	0.00
101-372-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	270.00	270.00	0.00
101-372-724.000	DENTAL INSURANCE	135.12	135.12	900.00	764.88	15.01
101-372-744.000	UNIFORMS	0.00	0.00	300.00	300.00	0.00
101-372-757.000	OPERATING SUPPLIES	0.00	0.00	250.00	250.00	0.00
101-372-853.000	CELLULAR PHONE	0.00	0.00	700.00	700.00	0.00
101-372-863.000	VEHICLE MAINTENANCE	0.00	0.00	2,000.00	2,000.00	0.00
101-372-864.000	CONFERENCE & MEETINGS	0.00	0.00	750.00	750.00	0.00
101-372-867.000	GASOLINE	0.00	0.00	1,500.00	1,500.00	0.00
101-372-910.000	INSURANCE	0.00	0.00	1,350.00	1,350.00	0.00
101-372-955.000	ORDINANCE ENFORCEMENTS COSTS	0.00	0.00	7,750.00	7,750.00	0.00
101-372-958.000	MEMBERSHIPS & DUES	0.00	0.00	350.00	350.00	0.00
101-372-960.000	TRAINING	0.00	0.00	850.00	850.00	0.00
101-372-962.000	MISCELLANEOUS	0.00	0.00	300.00	300.00	0.00
101-372-963.000	DANGEROUS BLDG DEMOLITIONS	0.00	0.00	10,000.00	10,000.00	0.00
Total Dept 372 - ORDINANCE DEPARTMENT		5,638.56	5,638.56	132,840.00	127,201.44	4.24
Department: 402 PLANNING DEPARTMENT CONTROL						
101-402-706.001	COMMUNITY DEVELOPMENT DIRECTOR	9,087.90	9,087.90	123,612.00	114,524.10	7.35
101-402-706.002	SALARIES CLERICAL	4,911.16	4,911.16	64,328.00	59,416.84	7.63
101-402-707.000	SALARIES STAFF PLANNER	7,060.20	7,060.20	82,590.00	75,529.80	8.55
101-402-709.000	OVERTIME	0.00	0.00	4,000.00	4,000.00	0.00
101-402-710.000	PLANNING/ZBA BOARD FEES	0.00	0.00	12,000.00	12,000.00	0.00
101-402-715.000	SOCIAL SECURITY	0.00	0.00	21,850.00	21,850.00	0.00
101-402-716.000	HOSP & OPTICAL INSURANCE	2,599.55	2,599.55	66,810.00	64,210.45	3.89
101-402-717.000	GROUP LIFE INSURANCE	31.40	31.40	330.00	298.60	9.52
101-402-718.000	PENSION	0.00	0.00	31,100.00	31,100.00	0.00
101-402-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	2,400.00	2,400.00	0.00
101-402-718.002	457-EMPLOYER PORTION	252.82	252.82	3,000.00	2,747.18	8.43
101-402-719.000	WORKERS COMP INSURANCE	0.00	0.00	1,320.00	1,320.00	0.00
101-402-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	810.00	810.00	0.00
101-402-724.000	DENTAL INSURANCE	484.64	484.64	4,100.00	3,615.36	11.82
101-402-729.000	PRINTING	0.00	0.00	1,500.00	1,500.00	0.00
101-402-757.000	OPERATING SUPPLIES	0.00	0.00	600.00	600.00	0.00
101-402-801.000	PROFESSIONAL FEES	0.00	0.00	43,000.00	43,000.00	0.00
101-402-853.000	CELLULAR PHONE	0.00	0.00	1,250.00	1,250.00	0.00
101-402-864.000	CONFERENCES & MEETINGS	0.00	0.00	3,800.00	3,800.00	0.00
101-402-903.000	LEGAL NOTICES	0.00	0.00	6,000.00	6,000.00	0.00
101-402-910.000	INSURANCE	0.00	0.00	6,000.00	6,000.00	0.00
101-402-957.000	SUBSCRIPTIONS	0.00	0.00	700.00	700.00	0.00
101-402-958.000	MEMBERSHIPS & DUES	0.00	0.00	2,500.00	2,500.00	0.00
101-402-960.000	TRAINING	0.00	0.00	4,100.00	4,100.00	0.00
101-402-962.000	MISCELLANEOUS	0.00	0.00	500.00	500.00	0.00
Total Dept 402 - PLANNING DEPARTMENT CONTROL		24,427.67	24,427.67	488,200.00	463,772.33	5.00

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GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Availa Balance 01/31/2026	% Bdg Used
Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 446 HIGHWAY AND STREET MAINTENANCE						
101-446-930.000	TRAFFIC SIGNAL MAINTENANCE	0.00	0.00	1,000.00	1,000.00	0.00
Total Dept 446 - HIGHWAY AND STREET MAINTENANCE		0.00	0.00	1,000.00	1,000.00	0.00
Department: 448 STREET LIGHTING						
101-448-926.000	STREET LIGHTING	0.00	0.00	59,000.00	59,000.00	0.00
Total Dept 448 - STREET LIGHTING		0.00	0.00	59,000.00	59,000.00	0.00
Department: 451 ROAD CONTRUCTION						
101-451-970.000	ROAD CONSTRUCTION/TRI PARTY	0.00	0.00	335,000.00	335,000.00	0.00
Total Dept 451 - ROAD CONTRUCTION		0.00	0.00	335,000.00	335,000.00	0.00
Department: 757 COMMUNITY CENTER CONTROL						
101-757-703.000	SALARIES SENIOR DIRECTOR	6,242.26	6,242.26	81,149.00	74,906.74	7.69
101-757-704.000	SALARIES PROGRAM DEVELOPER	5,169.46	5,169.46	67,203.00	62,033.54	7.69
101-757-707.000	PART-TIME CLERICAL	1,540.00	1,540.00	28,000.00	26,460.00	5.50
101-757-707.001	PT SALARIES/GRANT	0.00	0.00	500.00	500.00	0.00
101-757-715.000	SOCIAL SECURITY	0.00	0.00	13,530.00	13,530.00	0.00
101-757-716.000	HOSP & OPTICAL INSURANCE	2,870.42	2,870.42	38,720.00	35,849.58	7.41
101-757-717.000	GROUP LIFE INSURANCE	31.40	31.40	220.00	188.60	14.27
101-757-718.000	PENSION	0.00	0.00	15,300.00	15,300.00	0.00
101-757-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	1,200.00	1,200.00	0.00
101-757-719.000	WORKERS COMP INSURANCE	0.00	0.00	500.00	500.00	0.00
101-757-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	810.00	810.00	0.00
101-757-724.000	DENTAL INSURANCE	209.12	209.12	1,400.00	1,190.88	14.94
101-757-751.000	SENIOR ACTIVITIES	1,974.21	1,974.21	40,000.00	38,025.79	4.94
101-757-757.000	OPERATING SUPPLIES	0.00	0.00	2,400.00	2,400.00	0.00
101-757-853.000	TELEPHONE	119.80	119.80	3,000.00	2,880.20	3.99
101-757-860.000	MILEAGE	0.00	0.00	2,000.00	2,000.00	0.00
101-757-864.000	CONFERENCES & MEETINGS	0.00	0.00	500.00	500.00	0.00
101-757-910.000	INSURANCE	0.00	0.00	3,500.00	3,500.00	0.00
101-757-921.000	ELECTRIC	592.42	592.42	6,200.00	5,607.58	9.56
101-757-922.000	UTILITIES	0.00	0.00	3,000.00	3,000.00	0.00
101-757-923.000	HEAT	348.65	348.65	2,600.00	2,251.35	13.41
101-757-931.000	BUILDING MAINTENANCE	900.61	900.61	15,000.00	14,099.39	6.00
101-757-957.000	SUBSCRIPTIONS	0.00	0.00	150.00	150.00	0.00
101-757-958.000	MEMBERSHIPS & DUES	0.00	0.00	150.00	150.00	0.00
101-757-962.000	MISCELLANEOUS	0.00	0.00	2,200.00	2,200.00	0.00
101-757-976.000	ADD & IMPROVEMENTS	0.00	0.00	8,000.00	8,000.00	0.00
Total Dept 757 - COMMUNITY CENTER CONTROL		19,998.35	19,998.35	337,232.00	317,233.65	5.93
Department: 863 PAYROLL SERVICE CONTROL						
101-863-730.000	RETIREE HEALTH INSURANCE	14,180.70	14,180.70	110,000.00	95,819.30	12.89
101-863-730.003	OPEB FUNDING	0.00	0.00	135,000.00	135,000.00	0.00
101-863-801.000	PAYROLL SERVICE	0.00	0.00	30,000.00	30,000.00	0.00
Total Dept 863 - PAYROLL SERVICE CONTROL		14,180.70	14,180.70	275,000.00	260,819.30	5.16
Department: 906 CAPEX DEBT SERVICE						
101-906-991.000	PRINCIPAL-CAPITAL LEASE	0.00	0.00	9,000.00	9,000.00	0.00
101-906-995.000	INTEREST-CAPITAL LEASE	0.00	0.00	1,600.00	1,600.00	0.00

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GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdgt Used
Fund: 101 GENERAL FUND						
Account Category: Expenditures						
Department: 906 CAPEX DEBT SERVICE						
	Total Dept 906 - CAPEX DEBT SERVICE	0.00	0.00	10,600.00	10,600.00	0.00
Department: 965 TRANSFER TO						
	101-965-999.003 TRANSFER TO IMPROV REVOLVING	0.00	0.00	803,873.00	803,873.00	0.00
	Total Dept 965 - TRANSFER TO	0.00	0.00	803,873.00	803,873.00	0.00
	Expenditures	290,365.58	290,365.58	8,009,925.00	7,719,559.42	3.63
Fund 101 - GENERAL FUND:						
	TOTAL REVENUES	63,844.67	63,844.67	8,009,925.00	7,946,080.33	0.80
	TOTAL EXPENDITURES	290,365.58	290,365.58	8,009,925.00	7,719,559.42	3.63
	NET OF REVENUES & EXPENDITURES:	(226,520.91)	(226,520.91)	0.00	226,520.91	
	BEG. FUND BALANCE		8,229,421.61	8,229,421.61		
	NET OF REVENUES/EXPENDITURES - 2025		(430,773.40)	(430,773.40)		
	END FUND BALANCE		7,572,127.30	7,798,648.21		

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 206 FIRE						
Account Category: Revenues						
Department: 000						
206-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	447,775.00	447,775.00	0.00
206-000-402.000	TAX COLLECTIONS	0.00	0.00	4,801,226.00	4,801,226.00	0.00
206-000-607.000	PERMIT AND INSPECTION FEES	0.00	0.00	2,000.00	2,000.00	0.00
206-000-622.000	RENTAL REGISTRATION FEE	0.00	0.00	500.00	500.00	0.00
206-000-626.000	COST RECOVERY REVENUE	1,282.52	1,282.52	50,000.00	48,717.48	2.57
206-000-630.000	AMBULANCE TRANSPORTATION REVENUE	26,344.43	26,344.43	200,000.00	173,655.57	13.17
206-000-665.000	INTEREST	0.00	0.00	50,000.00	50,000.00	0.00
206-000-695.000	MISC REVENUE	120.00	120.00	5,000.00	4,880.00	2.40
Total Dept 000		27,746.95	27,746.95	5,556,501.00	5,528,754.05	0.50
Department: 336 FIRE						
206-336-977.002	USE OF FUND BALANCE	0.00	0.00	601,755.00	601,755.00	0.00
Total Dept 336 - FIRE		0.00	0.00	601,755.00	601,755.00	0.00
Revenues		27,746.95	27,746.95	6,158,256.00	6,130,509.05	0.45
Account Category: Expenditures						
Department: 220 POLICE/FIRE CIVIL SERVICE						
206-220-710.000	FEES & PER DIEM	0.00	0.00	1,000.00	1,000.00	0.00
206-220-727.000	SUPPLIES	0.00	0.00	1,000.00	1,000.00	0.00
206-220-826.000	LEGAL FEES	0.00	0.00	500.00	500.00	0.00
Total Dept 220 - POLICE/FIRE CIVIL SERVICE		0.00	0.00	2,500.00	2,500.00	0.00
Department: 336 FIRE						
206-336-705.000	SALARIES CHIEF	9,039.52	9,039.52	119,176.00	110,136.48	7.59
206-336-705.001	SALARIES CAPTAIN	25,773.33	25,773.33	329,890.00	304,116.67	7.81
206-336-706.001	SALARIES FIRE SERGEANT	43,486.98	43,486.98	565,350.00	521,863.02	7.69
206-336-706.003	SALARIES CLERICAL	5,288.40	5,288.40	68,750.00	63,461.60	7.69
206-336-706.005	SALARIES FIREFIGHTERS	75,312.62	75,312.62	1,000,700.00	925,387.38	7.53
206-336-706.007	FIRE MARSHAL	8,567.77	8,567.77	109,235.00	100,667.23	7.84
206-336-709.000	OVERTIME	23,991.24	23,991.24	160,000.00	136,008.76	14.99
206-336-710.000	PART TIME STAFF	7,519.45	7,519.45	70,000.00	62,480.55	10.74
206-336-715.000	SOCIAL SECURITY	0.00	0.00	208,155.00	208,155.00	0.00
206-336-716.000	HOSP & OPTICAL INSURANCE	40,871.48	40,871.48	528,000.00	487,128.52	7.74
206-336-716.002	RETIREE HEALTH CARE PREMIUMS	10,725.80	10,725.80	128,500.00	117,774.20	8.35
206-336-717.000	GROUP LIFE INSURANCE	392.50	392.50	2,800.00	2,407.50	14.02
206-336-718.000	PENSION	157.95	157.95	768,500.00	768,342.05	0.02
206-336-718.002	HEALTH CARE SAVINGS PLAN	0.00	0.00	45,500.00	45,500.00	0.00
206-336-718.003	OPEB FUNDING	0.00	0.00	150,000.00	150,000.00	0.00
206-336-718.004	457 - EMPLOYER PORTION	1,861.92	1,861.92	25,000.00	23,138.08	7.45
206-336-719.000	WORKERS COMP INSURANCE	0.00	0.00	96,000.00	96,000.00	0.00
206-336-720.000	HOLIDAY/PERSONAL PAY	0.00	0.00	297,000.00	297,000.00	0.00
206-336-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	6,700.00	6,700.00	0.00
206-336-724.000	DENTAL INSURANCE	4,027.44	4,027.44	27,600.00	23,572.56	14.59
206-336-727.000	OFFICE SUPPLIES	807.57	807.57	6,000.00	5,192.43	13.46
206-336-730.000	POSTAGE, SHIPPING	0.00	0.00	150.00	150.00	0.00
206-336-744.000	UNIFORMS	(75.85)	(75.85)	25,000.00	25,075.85	(0.30)
206-336-744.002	FOOD ALLOWANCE	0.00	0.00	20,000.00	20,000.00	0.00
206-336-757.000	OPERATING SUPPLIES	10,462.11	10,462.11	60,000.00	49,537.89	17.44

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 206 FIRE						
Account Category: Expenditures						
Department: 336 FIRE						
206-336-758.000	OXYGEN & AIR	0.00	0.00	3,000.00	3,000.00	0.00
206-336-767.000	MEDICAL SUPPLIES	15.86	15.86	40,000.00	39,984.14	0.04
206-336-801.000	CONSULTANT/PROFESSIONAL SERVICES	0.00	0.00	1,000.00	1,000.00	0.00
206-336-801.001	HR SERVICES	0.00	0.00	28,145.00	28,145.00	0.00
206-336-807.000	AUDIT FEES	0.00	0.00	8,500.00	8,500.00	0.00
206-336-826.000	LEGAL FEES	0.00	0.00	16,000.00	16,000.00	0.00
206-336-826.002	TAX TRIBUNAL REFUNDS	0.00	0.00	2,000.00	2,000.00	0.00
206-336-835.000	MEDICAL SERVICES	0.00	0.00	5,000.00	5,000.00	0.00
206-336-851.000	RADIO MAINTENANCE	0.00	0.00	2,000.00	2,000.00	0.00
206-336-853.000	CELL PHONES	0.00	0.00	4,000.00	4,000.00	0.00
206-336-853.001	TELEPHONE STATION 1	119.80	119.80	2,000.00	1,880.20	5.99
206-336-853.002	TELEPHONE STATION 2	69.90	69.90	1,200.00	1,130.10	5.83
206-336-853.003	TELEPHONE STATION 3	69.90	69.90	1,200.00	1,130.10	5.83
206-336-863.001	VEHICLE MAINTENANCE	1,145.66	1,145.66	65,000.00	63,854.34	1.76
206-336-863.002	TIRES	632.68	632.68	8,000.00	7,367.32	7.91
206-336-864.000	CONFERENCES & MEETINGS	0.00	0.00	14,000.00	14,000.00	0.00
206-336-867.000	GASOLINE	0.00	0.00	36,000.00	36,000.00	0.00
206-336-903.000	LEGAL NOTICES	0.00	0.00	200.00	200.00	0.00
206-336-910.000	INSURANCE	0.00	0.00	65,000.00	65,000.00	0.00
206-336-921.001	ELECTRIC STATION 1	1,424.40	1,424.40	15,750.00	14,325.60	9.04
206-336-921.002	ELECTRIC STATION 2	431.92	431.92	5,500.00	5,068.08	7.85
206-336-921.003	ELECTRIC STATION 3	282.40	282.40	5,500.00	5,217.60	5.13
206-336-922.001	UTILITIES - STATION 1	0.00	0.00	1,400.00	1,400.00	0.00
206-336-923.001	HEAT STATION 1	937.56	937.56	6,500.00	5,562.44	14.42
206-336-923.002	HEAT STATION 2	441.66	441.66	2,800.00	2,358.34	15.77
206-336-923.003	HEAT STATION 3	488.59	488.59	2,800.00	2,311.41	17.45
206-336-931.001	MAINTENANCE STATION 1	682.80	682.80	20,000.00	19,317.20	3.41
206-336-931.002	MAINTENANCE STATION 2	461.87	461.87	17,000.00	16,538.13	2.72
206-336-931.003	MAINTENANCE STATION 3	334.55	334.55	17,000.00	16,665.45	1.97
206-336-933.000	EQUIPMENT MAINTENANCE	0.00	0.00	22,000.00	22,000.00	0.00
206-336-957.000	SUBSCRIPTIONS	0.00	0.00	10,000.00	10,000.00	0.00
206-336-958.000	MEMBERSHIPS & DUES	0.00	0.00	8,500.00	8,500.00	0.00
206-336-960.000	TRAINING	84.74	84.74	35,000.00	34,915.26	0.24
206-336-962.000	MISCELLANEOUS	0.00	0.00	14,000.00	14,000.00	0.00
206-336-976.000	TRANSFER TO OTHER FUNDS	0.00	0.00	250,000.00	250,000.00	0.00
206-336-977.000	EQUIPMENT ACQUISITIONS 04M	28,042.45	28,042.45	260,000.00	231,957.55	10.79
206-336-977.001	SUPPLY ACQUISITIONS 04M	2,491.66	2,491.66	60,000.00	57,508.34	4.15
206-336-991.000	PRINCIPAL-AMBULANCE LOAN	35,429.58	35,429.58	243,545.00	208,115.42	14.55
206-336-992.000	INTEREST AMBULANCE LOAN	9,795.74	9,795.74	38,210.00	28,414.26	25.64
Total Dept 336 - FIRE		351,593.95	351,593.95	6,155,756.00	5,804,162.05	5.71
Expenditures		351,593.95	351,593.95	6,158,256.00	5,806,662.05	5.71
Fund 206 - FIRE:						
TOTAL REVENUES		27,746.95	27,746.95	6,158,256.00	6,130,509.05	0.45
TOTAL EXPENDITURES		351,593.95	351,593.95	6,158,256.00	5,806,662.05	5.71
NET OF REVENUES & EXPENDITURES:		(323,847.00)	(323,847.00)	0.00	323,847.00	

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Availa Balance 01/31/2026	% Bdgt Used
Fund: 206 FIRE						
	BEG. FUND BALANCE		6,187,762.27	6,187,762.27		
	NET OF REVENUES/EXPENDITURES - 2025		(314,857.49)	(314,857.49)		
	END FUND BALANCE		5,549,057.78	5,872,904.78		

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 207 POLICE						
Account Category: Revenues						
Department: 000						
207-000-393.000	DESIGNATED FUND BALANCE	0.00	0.00	1,097,155.00	1,097,155.00	0.00
207-000-402.000	TAX COLLECTIONS	0.00	0.00	7,751,853.00	7,751,853.00	0.00
207-000-530.000	FEDERAL GRANTS	1,472.50	1,472.50	0.00	(1,472.50)	100.00
207-000-530.001	GRANTS - OTHER	667.18	667.18	0.00	(667.18)	100.00
207-000-546.000	CRIMINAL JUSTICE TRNG 302 FUNDS	0.00	0.00	4,400.00	4,400.00	0.00
207-000-577.000	LIQUOR LICENSES	0.00	0.00	11,000.00	11,000.00	0.00
207-000-601.000	LIAISON OFFICER REIMBURSEMENT	62,842.56	62,842.56	50,000.00	(12,842.56)	125.69
207-000-607.000	SEX OFFENDERS REGISTRY FEE	150.00	150.00	1,500.00	1,350.00	10.00
207-000-608.000	PRELIMINARY BREATH TEST REV	280.00	280.00	0.00	(280.00)	100.00
207-000-608.001	WARRANT PROCESSING FEES	90.00	90.00	1,000.00	910.00	9.00
207-000-608.002	IMPOUND FEES	800.00	800.00	4,000.00	3,200.00	20.00
207-000-627.000	DUPLICATING & PHOTOSTAT	353.31	353.31	4,000.00	3,646.69	8.83
207-000-656.000	ORDINANCE FINES & COSTS	13,365.00	13,365.00	120,000.00	106,635.00	11.14
207-000-665.000	INTEREST	0.00	0.00	50,000.00	50,000.00	0.00
207-000-673.000	SALE OF FIXED ASSETS	0.00	0.00	10,000.00	10,000.00	0.00
207-000-684.000	CROSSING GUARDS REIMBURSEMENT	0.00	0.00	5,000.00	5,000.00	0.00
207-000-695.000	MISCELLANEOUS REVENUE	5,097.79	5,097.79	0.00	(5,097.79)	100.00
Total Dept 000		85,118.34	85,118.34	9,109,908.00	9,024,789.66	0.93
Revenues		85,118.34	85,118.34	9,109,908.00	9,024,789.66	0.93
Account Category: Expenditures						
Department: 220 POLICE/FIRE CIVIL SERVICE						
207-220-710.000	FEES & PER DIEM-CIVIL SVC	0.00	0.00	1,000.00	1,000.00	0.00
207-220-727.000	SUPPLIES-CIVIL SVC	0.00	0.00	1,000.00	1,000.00	0.00
207-220-903.000	LEGAL NOTICES-CIVIL SVC	0.00	0.00	1,000.00	1,000.00	0.00
Total Dept 220 - POLICE/FIRE CIVIL SERVICE		0.00	0.00	3,000.00	3,000.00	0.00
Department: 301 POLICE						
207-301-705.000	SALARIES CHIEF	9,346.40	9,346.40	121,503.00	112,156.60	7.69
207-301-706.001	SALARIES LIEUTENANTS	35,797.65	35,797.65	361,485.00	325,687.35	9.90
207-301-706.002	SALARIES SERGEANTS	29,520.37	29,520.37	446,235.00	416,714.63	6.62
207-301-706.003	SALARIES POLICE OFFICERS	156,505.31	156,505.31	2,102,525.00	1,946,019.69	7.44
207-301-706.004	SALARIES DISPATCHERS	32,732.87	32,732.87	380,065.00	347,332.13	8.61
207-301-706.005	SALARIES CLERICAL	13,843.66	13,843.66	180,820.00	166,976.34	7.66
207-301-706.006	SALARIES CADET	1,800.00	1,800.00	46,800.00	45,000.00	3.85
207-301-709.001	OVERTIME	6,167.24	6,167.24	180,000.00	173,832.76	3.43
207-301-709.002	COURT TIME	0.00	0.00	40,000.00	40,000.00	0.00
207-301-709.003	SHIFT PREMIUM	0.00	0.00	40,000.00	40,000.00	0.00
207-301-715.000	SOCIAL SECURITY	0.00	0.00	306,500.00	306,500.00	0.00
207-301-716.000	HOSP & OPTICAL INSURANCE	68,922.97	68,922.97	951,300.00	882,377.03	7.25
207-301-716.001	RETIREE HOSP & OPTICAL INSURANCE	37,629.00	37,629.00	445,000.00	407,371.00	8.46
207-301-717.000	GROUP LIFE INSURANCE	612.30	612.30	4,520.00	3,907.70	13.55
207-301-718.000	PENSION	0.00	0.00	1,165,325.00	1,165,325.00	0.00
207-301-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	92,000.00	92,000.00	0.00
207-301-718.002	457-EMPLOYER PORTION	4,923.80	4,923.80	65,000.00	60,076.20	7.58
207-301-718.003	OPEB FUNDING	0.00	0.00	250,000.00	250,000.00	0.00
207-301-719.000	WORKERS COMP INSURANCE	6,998.00	6,998.00	68,000.00	61,002.00	10.29
207-301-720.000	HOLIDAY PAY	0.00	0.00	155,650.00	155,650.00	0.00

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Availa Balance 01/31/2026	% Bdg Used
Fund: 207 POLICE						
Account Category: Expenditures						
Department: 301 POLICE						
207-301-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	11,620.00	11,620.00	0.00
207-301-724.000	DENTAL INSURANCE	7,373.92	7,373.92	49,000.00	41,626.08	15.05
207-301-727.000	OFFICE SUPPLIES	341.42	341.42	15,000.00	14,658.58	2.28
207-301-730.000	POSTAGE	0.00	0.00	1,000.00	1,000.00	0.00
207-301-741.000	FIRE ARMS, TRNG & RANGE SUPPLIES	0.00	0.00	10,000.00	10,000.00	0.00
207-301-744.000	UNIFORMS	0.00	0.00	12,000.00	12,000.00	0.00
207-301-744.004	UNIFORM ALLOWANCE PAYOUT	0.00	0.00	36,400.00	36,400.00	0.00
207-301-757.000	OPERATING SUPPLIES	418.46	418.46	15,000.00	14,581.54	2.79
207-301-801.001	HR SERVICES	0.00	0.00	39,400.00	39,400.00	0.00
207-301-805.000	SEX OFFENDERS REGISTRY FEE	0.00	0.00	1,000.00	1,000.00	0.00
207-301-807.000	AUDIT FEES	0.00	0.00	8,500.00	8,500.00	0.00
207-301-818.000	COMPUTER SERVICES	1,284.29	1,284.29	40,000.00	38,715.71	3.21
207-301-826.000	LEGAL FEES-PROSECUTIONS	0.00	0.00	102,000.00	102,000.00	0.00
207-301-826.001	TAX TRIBUNAL REFUNDS	0.00	0.00	2,500.00	2,500.00	0.00
207-301-826.002	LEGAL FEES - LABOR RELATED	0.00	0.00	20,000.00	20,000.00	0.00
207-301-851.000	EQUIPMENT REPAIRS	0.00	0.00	3,000.00	3,000.00	0.00
207-301-853.000	TELEPHONE	834.56	834.56	15,000.00	14,165.44	5.56
207-301-860.000	MILEAGE	0.00	0.00	1,000.00	1,000.00	0.00
207-301-861.000	WITNESS FEES	0.00	0.00	1,000.00	1,000.00	0.00
207-301-863.001	VEHICLE MAINTENANCE	2,589.43	2,589.43	50,000.00	47,410.57	5.18
207-301-863.002	TIRES	0.00	0.00	7,000.00	7,000.00	0.00
207-301-864.000	CONFERENCES	0.00	0.00	7,000.00	7,000.00	0.00
207-301-867.000	GASOLINE	0.00	0.00	90,000.00	90,000.00	0.00
207-301-903.000	LEGAL NOTICES	0.00	0.00	500.00	500.00	0.00
207-301-910.000	INSURANCE	0.00	0.00	150,000.00	150,000.00	0.00
207-301-931.001	BLDG MAINTENANCE & SUPPLIES	174.17	174.17	20,000.00	19,825.83	0.87
207-301-933.000	EQUIP LEASE/ MAINT CONTRACTS	22,616.92	22,616.92	125,000.00	102,383.08	18.09
207-301-934.000	OFFICE EQUIP MAINTENANCE	0.00	0.00	5,000.00	5,000.00	0.00
207-301-958.000	MEMBERSHIPS & DUES	475.00	475.00	2,000.00	1,525.00	23.75
207-301-960.000	TRAINING	325.00	325.00	20,000.00	19,675.00	1.63
207-301-960.001	CRIMINAL JUSTICE TRNG 302 FUNDS	0.00	0.00	5,000.00	5,000.00	0.00
207-301-960.002	SNC (STATE 911) TRAINING FUNDS	82.83	82.83	5,400.00	5,317.17	1.53
207-301-960.003	TUITION REIMBURSEMENT	0.00	0.00	15,000.00	15,000.00	0.00
207-301-960.004	STATE CPE TRAINING	650.00	650.00	0.00	(650.00)	100.00
207-301-961.000	CERT EXPENDITURES	0.00	0.00	2,000.00	2,000.00	0.00
207-301-961.001	EXPLORER EXPENDITURES	0.00	0.00	2,000.00	2,000.00	0.00
207-301-962.001	MISCELLANEOUS	0.00	0.00	8,000.00	8,000.00	0.00
207-301-962.003	EVIDENCE COLLECTION	0.00	0.00	5,000.00	5,000.00	0.00
207-301-976.000	TRANSFER TO OTHER FUNDS	0.00	0.00	365,000.00	365,000.00	0.00
207-301-977.000	EQUIPMENT ACQUISITIONS	204,634.86	204,634.86	400,000.00	195,365.14	51.16
207-301-977.003	ACCREDITATION, SOFTWARE, MTCE	0.00	0.00	15,000.00	15,000.00	0.00
Total Dept 301 - POLICE		646,600.43	646,600.43	9,085,048.00	8,438,447.57	7.12
Department: 316 CROSSING GUARD CONTROL						
207-316-707.000	SALARIES PT - CROSSING GUARDS	1,403.00	1,403.00	19,200.00	17,797.00	7.31
207-316-715.000	SOCIAL SECURITY-CROSSING GUARDS	0.00	0.00	1,500.00	1,500.00	0.00
207-316-719.000	WORKERS COMP -CROSSING GUARDS	0.00	0.00	580.00	580.00	0.00
207-316-722.000	UNEMPLOYMENT INSUR CROSSING GUARDS	0.00	0.00	580.00	580.00	0.00

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Availa Balance 01/31/2026	% Bdgt Used
Fund: 207 POLICE						
Account Category: Expenditures						
Department: 316 CROSSING GUARD CONTROL						
	Total Dept 316 - CROSSING GUARD CONTROL	1,403.00	1,403.00	21,860.00	20,457.00	6.42
	Expenditures	648,003.43	648,003.43	9,109,908.00	8,461,904.57	7.11
Fund 207 - POLICE:						
	TOTAL REVENUES	85,118.34	85,118.34	9,109,908.00	9,024,789.66	0.93
	TOTAL EXPENDITURES	648,003.43	648,003.43	9,109,908.00	8,461,904.57	7.11
	NET OF REVENUES & EXPENDITURES:	(562,885.09)	(562,885.09)	0.00	562,885.09	
	BEG. FUND BALANCE		5,428,952.54	5,428,952.54		
	NET OF REVENUES/EXPENDITURES - 2025		602,600.27	602,600.27		
	END FUND BALANCE		5,468,667.72	6,031,552.81		

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 208 PARKS AND RECREATION FUND						
Account Category: Revenues						
Department: 000						
208-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	(85,894.00)	(85,894.00)	0.00
208-000-402.000	PARKS AND RECREATION TAX COLLECTIONS	0.00	0.00	500,269.00	500,269.00	0.00
208-000-652.000	FIELD RENTAL	0.00	0.00	3,500.00	3,500.00	0.00
208-000-665.000	INTEREST	8,590.86	8,590.86	5,000.00	(3,590.86)	171.82
208-000-675.000	SPECIAL EVENTS DONATIONS	0.00	0.00	500.00	500.00	0.00
208-000-695.000	MISCELLANEOUS REVENUE	1,000.00	1,000.00	1,000.00	0.00	100.00
Total Dept 000		9,590.86	9,590.86	424,375.00	414,784.14	2.26
Revenues		9,590.86	9,590.86	424,375.00	414,784.14	2.26
Account Category: Expenditures						
Department: 000						
208-000-710.000	FEE'S AND PER DIEM	0.00	0.00	2,500.00	2,500.00	0.00
208-000-715.000	SOC SEC & MEDICARE TAX	0.00	0.00	250.00	250.00	0.00
208-000-720.000	EVENT EXPENSES	0.00	0.00	9,000.00	9,000.00	0.00
208-000-722.000	MI UNEMPLOYMENT TAX	0.00	0.00	50.00	50.00	0.00
208-000-729.000	PRINTING	49.00	49.00	0.00	(49.00)	100.00
208-000-801.000	PROFESSIONAL SERVICES	0.00	0.00	20,000.00	20,000.00	0.00
208-000-826.000	TAX TRIBUNAL REFUNDS	0.00	0.00	150.00	150.00	0.00
208-000-903.000	LEGAL PUBLICATIONS	0.00	0.00	300.00	300.00	0.00
208-000-910.000	INSURANCE	0.00	0.00	5,400.00	5,400.00	0.00
208-000-921.000	ELECTRIC JUDY HAWLEY PARK	20.62	20.62	900.00	879.38	2.29
208-000-921.001	ELECTRIC - VETTER PARK	75.02	75.02	900.00	824.98	8.34
208-000-921.002	STANLEY PARK ELECTRIC	0.00	0.00	900.00	900.00	0.00
208-000-922.000	UTILITIES- PARKS	300.00	300.00	4,000.00	3,700.00	7.50
208-000-931.001	GROUNDS MAINTENANCE	0.00	0.00	43,000.00	43,000.00	0.00
208-000-932.000	PARK EQUIPMENT	0.00	0.00	5,000.00	5,000.00	0.00
208-000-958.000	MEMBERSHIPS AND DUES	0.00	0.00	500.00	500.00	0.00
208-000-962.000	MISCELLANEOUS	0.00	0.00	1,500.00	1,500.00	0.00
208-000-972.000	PATHWAY PROJECTS	0.00	0.00	25,000.00	25,000.00	0.00
208-000-973.000	BLOOMER PARK IMPROVEMENTS	0.00	0.00	10,000.00	10,000.00	0.00
208-000-973.001	STANLEY PARK IMPROVEMENTS	11,683.74	11,683.74	10,000.00	(1,683.74)	116.84
208-000-974.000	PARK IMPROVEMENTS	0.00	0.00	50,000.00	50,000.00	0.00
208-000-991.000	BOND PRINCIPAL	0.00	0.00	125,000.00	125,000.00	0.00
208-000-992.000	BOND INTEREST	0.00	0.00	110,025.00	110,025.00	0.00
Total Dept 000		12,128.38	12,128.38	424,375.00	412,246.62	2.86
Expenditures		12,128.38	12,128.38	424,375.00	412,246.62	2.86
Fund 208 - PARKS AND RECREATION FUND:						
TOTAL REVENUES		9,590.86	9,590.86	424,375.00	414,784.14	2.26
TOTAL EXPENDITURES		12,128.38	12,128.38	424,375.00	412,246.62	2.86
NET OF REVENUES & EXPENDITURES:		(2,537.52)	(2,537.52)	0.00	2,537.52	
BEG. FUND BALANCE			3,920,528.21	3,920,528.21		
NET OF REVENUES/EXPENDITURES - 2025			(1,086,154.47)	(1,086,154.47)		
END FUND BALANCE			2,831,836.22	2,834,373.74		

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 249 BUILDING DEPARTMENT FUND						
Account Category: Revenues						
Department: 000						
249-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	310,055.00	310,055.00	0.00
249-000-452.000	CONTRACTORS GENERAL LICENSES	285.00	285.00	4,000.00	3,715.00	7.13
249-000-453.000	ELECTRICAL LICENSES	255.00	255.00	2,200.00	1,945.00	11.59
249-000-454.000	HEATING LICENSES	210.00	210.00	1,500.00	1,290.00	14.00
249-000-455.000	PLUMBING LICENSES	90.00	90.00	1,500.00	1,410.00	6.00
249-000-477.000	BUILDING PERMITS	14,986.60	14,986.60	360,000.00	345,013.40	4.16
249-000-478.000	ELECTRICAL PERMITS	6,222.00	6,222.00	80,000.00	73,778.00	7.78
249-000-479.000	HEATING PERMITS	10,825.00	10,825.00	100,000.00	89,175.00	10.83
249-000-480.000	PLUMBING PERMITS	2,777.00	2,777.00	42,000.00	39,223.00	6.61
249-000-482.000	PLOT PLAN REVIEWS	0.00	0.00	10,000.00	10,000.00	0.00
249-000-484.000	BUILDING PLAN REVIEWS	0.00	0.00	15,000.00	15,000.00	0.00
249-000-484.001	FIRE SAFETY REVIEWS	400.00	400.00	3,000.00	2,600.00	13.33
249-000-622.000	RENTAL REGISTRATION FEE	0.00	0.00	12,000.00	12,000.00	0.00
249-000-665.000	INTEREST	0.00	0.00	10,000.00	10,000.00	0.00
249-000-695.000	MISCELLANEOUS REVENUE	350.00	350.00	25,000.00	24,650.00	1.40
Total Dept 000		36,400.60	36,400.60	976,255.00	939,854.40	3.73
Revenues		36,400.60	36,400.60	976,255.00	939,854.40	3.73
Account Category: Expenditures						
Department: 000						
249-000-706.001	SALARIES BLDG OFFICIAL	7,978.05	7,978.05	103,715.00	95,736.95	7.69
249-000-706.002	SALARIES CLERICAL	15,050.36	15,050.36	202,250.00	187,199.64	7.44
249-000-706.003	CONTRACT BLDG INSPECTORS	2,914.50	2,914.50	65,000.00	62,085.50	4.48
249-000-706.004	SALARIES PART TIME	55.00	55.00	0.00	(55.00)	100.00
249-000-706.005	BUILDING INSPECTOR	0.00	0.00	70,000.00	70,000.00	0.00
249-000-707.000	ELECTRICAL INSPECTOR	1,941.90	1,941.90	50,000.00	48,058.10	3.88
249-000-707.001	PLUMBING/MECHANICAL INSPECTOR	4,586.10	4,586.10	75,000.00	70,413.90	6.11
249-000-709.000	OVERTIME	264.42	264.42	2,000.00	1,735.58	13.22
249-000-715.000	SOCIAL SECURITY	0.00	0.00	28,950.00	28,950.00	0.00
249-000-716.000	HOSP & OPTICAL INSURANCE	6,934.14	6,934.14	148,475.00	141,540.86	4.67
249-000-716.001	RETIREE MEDICAL	835.26	835.26	8,800.00	7,964.74	9.49
249-000-717.000	GROUP LIFE INSURANCE	47.10	47.10	550.00	502.90	8.56
249-000-718.000	PENSION	0.00	0.00	44,300.00	44,300.00	0.00
249-000-718.001	HEALTH CARE SAVINGS PROGRAM	0.00	0.00	6,000.00	6,000.00	0.00
249-000-718.002	OPEB FUNDING	0.00	0.00	50,000.00	50,000.00	0.00
249-000-718.003	457-EMPLOYER PORTION	265.32	265.32	7,550.00	7,284.68	3.51
249-000-719.000	WORKERS COMP INSURANCE	0.00	0.00	2,800.00	2,800.00	0.00
249-000-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	950.00	950.00	0.00
249-000-724.000	DENTAL INSURANCE	619.76	619.76	5,900.00	5,280.24	10.50
249-000-727.000	OFFICE SUPPLIES	70.74	70.74	2,000.00	1,929.26	3.54
249-000-730.000	POSTAGE	0.00	0.00	750.00	750.00	0.00
249-000-757.000	OPERATING SUPPLIES	65.00	65.00	1,300.00	1,235.00	5.00
249-000-801.000	PROFESSIONAL FEES	750.00	750.00	30,000.00	29,250.00	2.50
249-000-801.001	HR SERVICES	0.00	0.00	2,815.00	2,815.00	0.00
249-000-801.002	RENTAL INSPECTIONS	240.00	240.00	6,000.00	5,760.00	4.00
249-000-807.000	AUDIT FEES	0.00	0.00	4,500.00	4,500.00	0.00
249-000-853.000	CELLULAR PHONE	69.90	69.90	3,300.00	3,230.10	2.12
249-000-863.000	VEHICLE MAINTENANCE	0.00	0.00	750.00	750.00	0.00

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Availa Balance 01/31/2026	% Bdgt Used
Fund: 249 BUILDING DEPARTMENT FUND						
Account Category: Expenditures						
Department: 000						
249-000-864.000	CONFERENCES & MEETINGS	0.00	0.00	2,000.00	2,000.00	0.00
249-000-867.000	GASOLINE	0.00	0.00	1,300.00	1,300.00	0.00
249-000-910.000	INSURANCE	0.00	0.00	5,700.00	5,700.00	0.00
249-000-957.000	SUBSCRIPTIONS	0.00	0.00	500.00	500.00	0.00
249-000-958.000	MEMBERSHIPS & DUES	0.00	0.00	900.00	900.00	0.00
249-000-960.000	TRAINING	0.00	0.00	2,000.00	2,000.00	0.00
249-000-962.000	MISCELLANEOUS	0.00	0.00	700.00	700.00	0.00
249-000-971.000	TECHNOLOGY EQUIPMENT	720.93	720.93	25,000.00	24,279.07	2.88
249-000-976.000	TRANSFER TO IMPROV REV	0.00	0.00	4,500.00	4,500.00	0.00
249-000-977.000	EQUIPMENT ACQUISITIONS	0.00	0.00	10,000.00	10,000.00	0.00
Total Dept 000		43,408.48	43,408.48	976,255.00	932,846.52	4.45
Expenditures		43,408.48	43,408.48	976,255.00	932,846.52	4.45
Fund 249 - BUILDING DEPARTMENT FUND:						
TOTAL REVENUES		36,400.60	36,400.60	976,255.00	939,854.40	3.73
TOTAL EXPENDITURES		43,408.48	43,408.48	976,255.00	932,846.52	4.45
NET OF REVENUES & EXPENDITURES:		(7,007.88)	(7,007.88)	0.00	7,007.88	
BEG. FUND BALANCE			1,480,007.86	1,480,007.86		
NET OF REVENUES/EXPENDITURES - 2025			19,895.52	19,895.52		
END FUND BALANCE			1,492,895.50	1,499,903.38		

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdg't Used
Fund: 591 WATER						
Account Category: Revenues						
Department: 000						
591-000-393.000	FUND BALANCE - DESIGNATED	0.00	0.00	9,787.00	9,787.00	0.00
591-000-445.000	PENALTIES	0.00	0.00	11,953.00	11,953.00	0.00
591-000-530.000	GRANT REVENUE	0.00	0.00	5,823.00	5,823.00	0.00
591-000-626.000	METERS	938.36	938.36	32,952.00	32,013.64	2.85
591-000-627.000	METER INSTALLATIONS	75.00	75.00	5,383.00	5,308.00	1.39
591-000-642.000	WATER	(1,310.80)	(1,310.80)	1,331,052.00	1,332,362.80	(0.10)
591-000-650.000	MISC SERVICE CHARGES	75.00	75.00	7,355.00	7,280.00	1.02
591-000-650.001	SPRINKLER SYSTEM	0.00	0.00	13,555.00	13,555.00	0.00
591-000-665.000	INTEREST EARNED	838.98	838.98	10,000.00	9,161.02	8.39
591-000-665.004	INTEREST - CAPITAL FUND	10,084.74	10,084.74	10,000.00	(84.74)	100.85
591-000-665.011	INTEREST INCOME M59 EAST (7)	41.58	41.58	1,469.00	1,427.42	2.83
591-000-665.014	INTEREST INCOME NORDIC DRIVE WAT MAI	0.00	0.00	900.00	900.00	0.00
591-000-665.015	INTEREST INCOME SIGNED AGREEMENTS	4.42	4.42	2,006.00	2,001.58	0.22
591-000-673.000	SALE OF FIXED ASSETS	0.00	0.00	5,371.00	5,371.00	0.00
591-000-674.001	CONNECTION FEES	4,550.00	4,550.00	163,641.00	159,091.00	2.78
591-000-674.004	WATERMAIN RECOVERY COSTS	0.00	0.00	424,771.00	424,771.00	0.00
591-000-674.010	NEW RESIDENTIAL CONST WATER USE FEE	104.00	104.00	6,997.00	6,893.00	1.49
591-000-695.000	MISCELLANEOUS INCOME	723.00	723.00	18,208.00	17,485.00	3.97
591-000-699.000	SEWER ADMIN FEES	0.00	0.00	172,500.00	172,500.00	0.00
591-000-699.001	GEN TWP SERVICE FEES	0.00	0.00	58,179.00	58,179.00	0.00
591-000-699.002	TRANSFER FROM IMPROV REV	0.00	0.00	5,972.00	5,972.00	0.00
Total Dept 000		16,124.28	16,124.28	2,297,874.00	2,281,749.72	0.70
Revenues		16,124.28	16,124.28	2,297,874.00	2,281,749.72	0.70
Account Category: Expenditures						
Department: 000						
591-000-703.000	DPS DIRECTOR	8,632.95	8,632.95	118,135.00	109,502.05	7.31
591-000-706.000	WAGES CLERICAL	10,145.86	10,145.86	131,896.00	121,750.14	7.69
591-000-707.000	WAGES MAINTENANCE	13,064.22	13,064.22	171,800.00	158,735.78	7.60
591-000-707.001	WAGES PART TIME	0.00	0.00	20,000.00	20,000.00	0.00
591-000-707.002	WEEKEND ON CALL WATER OPERATOR	0.00	0.00	4,000.00	4,000.00	0.00
591-000-709.000	WAGES OVERTIME	1,904.00	1,904.00	15,000.00	13,096.00	12.69
591-000-715.000	SOCIAL SECURITY	0.00	0.00	39,500.00	39,500.00	0.00
591-000-716.000	HOSP & OPTICAL INSURANCE	0.00	0.00	161,260.00	161,260.00	0.00
591-000-717.000	GROUP LIFE INSURANCE	0.00	0.00	755.00	755.00	0.00
591-000-718.000	PENSION	0.00	0.00	73,650.00	73,650.00	0.00
591-000-718.001	HEALTH CARE SAVINGS PLAN	0.00	0.00	8,400.00	8,400.00	0.00
591-000-718.002	457-EMPLOYER PORTION	0.00	0.00	2,270.00	2,270.00	0.00
591-000-719.000	WORKERS COMP INSURANCE	0.00	0.00	10,000.00	10,000.00	0.00
591-000-720.000	OTHER POST RETIREMENT BENEFITS	0.00	0.00	70,000.00	70,000.00	0.00
591-000-722.000	UNEMPLOYMENT INSURANCE	0.00	0.00	2,160.00	2,160.00	0.00
591-000-724.000	DENTAL INSURANCE	0.00	0.00	6,500.00	6,500.00	0.00
591-000-727.000	OFFICE SUPPLIES	147.18	147.18	6,000.00	5,852.82	2.45
591-000-730.000	POSTAGE	0.00	0.00	7,000.00	7,000.00	0.00
591-000-740.000	OPERATING SUPPLIES	0.00	0.00	8,000.00	8,000.00	0.00
591-000-744.000	SAFETY GEAR AND CLOTHING	380.66	380.66	11,025.00	10,644.34	3.45
591-000-745.000	SYSTEM CHEMICALS	0.00	0.00	65,000.00	65,000.00	0.00
591-000-748.000	TESTING WATER SYSTEMS	0.00	0.00	16,800.00	16,800.00	0.00

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Availa Balance 01/31/2026	% Bdgt Used
Fund: 591 WATER						
Account Category: Expenditures						
Department: 000						
591-000-750.000	OPERATING SUPPLIES METERS	0.00	0.00	44,100.00	44,100.00	0.00
591-000-750.001	OPERATING SUPP METER TRANSMITT	0.00	0.00	21,000.00	21,000.00	0.00
591-000-755.000	OPERATING SUPPLIES TOOLS	98.28	98.28	6,000.00	5,901.72	1.64
591-000-801.000	FINANCIAL CONSULT FEES	0.00	0.00	5,775.00	5,775.00	0.00
591-000-801.001	HR SERVICES	0.00	0.00	6,570.00	6,570.00	0.00
591-000-802.000	ENG & ARCH FEES	0.00	0.00	52,500.00	52,500.00	0.00
591-000-803.000	IRON FILTRATION EXPENSES	0.00	0.00	38,928.00	38,928.00	0.00
591-000-807.000	ACCOUNTING & AUDITING	0.00	0.00	7,000.00	7,000.00	0.00
591-000-818.000	CONTRACTED SERVICES	1,219.00	1,219.00	60,000.00	58,781.00	2.03
591-000-826.000	ATTORNEY FEES	0.00	0.00	6,000.00	6,000.00	0.00
591-000-853.000	TELEPHONE/CELL PHONE SERVICES	0.00	0.00	7,350.00	7,350.00	0.00
591-000-863.000	REPAIRS & MAINT VEHICLES	0.00	0.00	9,000.00	9,000.00	0.00
591-000-867.000	GASOLINE/FUEL	0.00	0.00	12,000.00	12,000.00	0.00
591-000-903.000	LEGAL NOTICES	0.00	0.00	1,050.00	1,050.00	0.00
591-000-911.000	GENERAL LIAB INSURANCE	0.00	0.00	40,000.00	40,000.00	0.00
591-000-921.000	ELECTRICITY TOWER	50.29	50.29	1,050.00	999.71	4.79
591-000-921.001	ELECTRICITY TL	1,233.43	1,233.43	16,800.00	15,566.57	7.34
591-000-921.002	ELECTRICITY HILLVIEW	1,620.33	1,620.33	11,550.00	9,929.67	14.03
591-000-921.004	ELECTRICITY VILLAGE ACRES	1,704.45	1,704.45	63,000.00	61,295.55	2.71
591-000-921.006	ELECTRICITY GRASS LAKE	0.00	0.00	54,600.00	54,600.00	0.00
591-000-921.007	ELECTRICITY TOWER #2	202.41	202.41	2,100.00	1,897.59	9.64
591-000-921.008	ELECTRICITY-HURONDALE	588.83	588.83	3,675.00	3,086.17	16.02
591-000-921.010	ELECTRICITY 933 WILLIAMS	27.74	27.74	420.00	392.26	6.60
591-000-923.001	GAS TWIN LAKES	0.00	0.00	1,155.00	1,155.00	0.00
591-000-923.002	GAS HILLVIEW	0.00	0.00	1,050.00	1,050.00	0.00
591-000-923.004	GAS GRASS LAKE	0.00	0.00	1,680.00	1,680.00	0.00
591-000-923.005	GAS VILLAGE ACRES-SATELITE RD	0.00	0.00	6,090.00	6,090.00	0.00
591-000-931.000	REPAIR & MAINT BLDG & EQUIP	796.47	796.47	50,000.00	49,203.53	1.59
591-000-931.001	GROUND MAINTENANCE	0.00	0.00	10,500.00	10,500.00	0.00
591-000-934.000	REPAIR & MAINT WATER SYSTEM	2,199.44	2,199.44	47,250.00	45,050.56	4.65
591-000-934.001	REPAIR & MAINT TOWER 1	0.00	0.00	8,400.00	8,400.00	0.00
591-000-934.002	REPAIR & MAINT TOWER 2	0.00	0.00	8,400.00	8,400.00	0.00
591-000-958.000	DUES & MISC	0.00	0.00	8,000.00	8,000.00	0.00
591-000-960.000	EDUCATION & TRAINING	0.00	0.00	5,250.00	5,250.00	0.00
591-000-962.000	MISCELLANEOUS	0.00	0.00	5,000.00	5,000.00	0.00
591-000-968.000	DEPRECIATION WATER SYSTEM	0.00	0.00	440,000.00	440,000.00	0.00
591-000-969.000	DEPRECIATION & AMORTIZATION	0.00	0.00	40,000.00	40,000.00	0.00
591-000-976.000	BOND INTEREST-DWRF	0.00	0.00	8,000.00	8,000.00	0.00
591-000-976.001	TRANSFER TO OTHER FUNDS	0.00	0.00	15,541.00	15,541.00	0.00
591-000-976.005	BOND INTEREST NORDIC DR MAIN	0.00	0.00	120.00	120.00	0.00
591-000-976.006	2022 DWRF BOND INTEREST	0.00	0.00	126,000.00	126,000.00	0.00
591-000-977.000	VEHICLES	0.00	0.00	75,000.00	75,000.00	0.00
591-000-995.000	MISC SERVICE CHARGES	216.80	216.80	0.00	(216.80)	100.00
591-000-995.001	WELL HEAD PROTECTION PROGRAM	0.00	0.00	19,769.00	19,769.00	0.00
591-000-995.002	INTEREST COPIER LEASE	0.00	0.00	1,050.00	1,050.00	0.00
Total Dept 000		44,232.34	44,232.34	2,297,874.00	2,253,641.66	1.92
Expenditures		44,232.34	44,232.34	2,297,874.00	2,253,641.66	1.92

REVENUE AND EXPENDITURE REPORT FOR WHITE LAKE TOWNSHIP

Balance As of 01/31/2026

Section 6, Item A.

GL Number	Description	Activity For 01/31/2026	YTD Balance 01/31/2026	2026 Amended Budget	Available Balance 01/31/2026	% Bdgt Used
Fund: 591 WATER						
Fund 591 - WATER:						
	TOTAL REVENUES	16,124.28	16,124.28	2,297,874.00	2,281,749.72	0.70
	TOTAL EXPENDITURES	44,232.34	44,232.34	2,297,874.00	2,253,641.66	1.92
	NET OF REVENUES & EXPENDITURES:	(28,108.06)	(28,108.06)	0.00	28,108.06	
	BEG. FUND BALANCE		16,085,592.09	16,085,592.09		
	NET OF REVENUES/EXPENDITURES - 2025		647,635.48	647,635.48		
	END FUND BALANCE		16,705,119.51	16,733,227.57		
Report Totals:						
	TOTAL REVENUES - ALL FUNDS	238,825.70	238,825.70	26,976,593.00	26,737,767.30	0.89
	TOTAL EXPENDITURES - ALL FUNDS	1,389,732.16	1,389,732.16	26,976,593.00	25,586,860.84	5.15
	NET OF REVENUES & EXPENDITURES:	(1,150,906.46)	(1,150,906.46)	0.00	1,150,906.46	

CHECK DISBURSEMENT REPORT FOR WHITE LAKE TOWNSHIP
CHECK DATE 01/01/2026 - 01/31/2026

Section 6, Item B.

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
01/14/2026	GEN	1230149(E)*	MERS	DEC MERS CONTRIBUTION	080.718	000	4,533.26
				DEC MERS CONTRIBUTION	718.000	171	15,059.57
				DEC MERS CONTRIBUTION	718.000	192	2,384.77
				DEC MERS CONTRIBUTION	718.000	209	4,029.93
				DEC MERS CONTRIBUTION	718.000	215	13,714.34
				DEC MERS CONTRIBUTION	718.000	253	15,242.28
				DEC MERS CONTRIBUTION	718.000	265	1,655.24
				DEC MERS CONTRIBUTION	718.000	372	1,675.19
				DEC MERS CONTRIBUTION	718.000	402	2,227.86
				DEC MERS CONTRIBUTION	718.000	757	1,295.67
				DEC MERS CONTRIBUTION	231.001	000	18,519.77
Check GEN 1230149(E) Total for Fund 101 GENERAL FUND							80,337.88
01/02/2026	FLEX	3014	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	30.00
01/05/2026	FLEX	3015	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	185.41
01/06/2026	FLEX	3016	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	35.78
01/07/2026	FLEX	3017	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	75.80
01/09/2026	FLEX	3019	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	198.16
01/12/2026	FLEX	3020	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	408.89
01/14/2026	FLEX	3021	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	10.00
01/15/2026	FLEX	3022	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	31.26
01/16/2026	FLEX	3023	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	30.00
01/21/2026	FLEX	3024	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	315.81
01/22/2026	FLEX	3025	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	110.00
01/26/2026	FLEX	3026	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	42.40
01/27/2026	FLEX	3027	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	85.35
01/28/2026	FLEX	3028	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	46.23
01/29/2026	FLEX	3029	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	110.00
01/30/2026	FLEX	3030	FLEXIBLE SPENDING ACCT	FLEXIBLE SPENDING ACCOUNT	282.000	000	115.28
01/02/2026	GEN	98201	DAVID WALIGORA	FAILED DIRECT DEPOSIT	036.000	000	2,490.66
01/08/2026	GEN	98204	ADVANCED MARKETING PARTNERS INC.	TAX BILLS 2025	727.000	249	2,190.88
01/08/2026	GEN	98206*#	AMAZON	SCISSORS/1099 FORMS	727.000	249	32.95
				STAPLER	727.000	249	52.76
				PENS	727.000	249	53.28
				DUSTERS, CABLES, CALENDARS, BACKPACK, SNOW BRUSH	727.000	249	674.59
				EARBUDS	727.000	249	28.97
Check GEN 98206 Total for Fund 101 GENERAL FUND							842.55
01/08/2026	GEN	98209*#	AUTOZONE	OIL FILTER & MOTOR OIL FOR DUBLIN GENERATOR	931.001	265	33.62
01/08/2026	GEN	98210*#	BCBS OF MICHIGAN	01/01/26-01/31/26 MEDICARE ADV PLAN	730.000	863	5,846.82

CHECK DISBURSEMENT REPORT FOR WHITE LAKE TOWNSHIP
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Section 6, Item B.

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
				01/01/26-01/31/26 MEDICARE ADV PLAN	080.716	000	835.26
			Check GEN 98210 Total for Fund 101 GENERAL FUND				6,682.08
01/08/2026	GEN	98212	BREEN'S LANDSCAPE & SUPPLY CENTER	ROCK SALT	931.002	265	480.00
				ROCK SALT	931.002	265	480.00
				ROCK SALT	931.002	265	320.00
				ROCK SALT	931.002	265	360.00
				ROCK SALT	931.002	265	120.00
				(13) BAGS SALT	931.002	265	156.00
			Check GEN 98212 Total for Fund 101 GENERAL FUND				1,916.00
01/08/2026	GEN	98214	COMCAST	01/01/26-01/31/26 DUBLIN MONTHLY CHARGES	751.000	757	450.13
01/08/2026	GEN	98217*#	CONSUMERS ENERGY	11/22/25-12/19/25 TWP MONTHLY CHARGES	923.000	265	886.28
				11/22/25-12/18/25 COMM HALL MONTHLY CHARGES	923.001	269	207.35
				11/21/25-12/18/25 FISK FARM MONTHLY CHARGES	923.004	269	327.12
				11/23/25-12/22/25 DUBLIN MONTHLY CHARGES	923.000	757	309.32
				11/22/25-12/19/25 ANNEX MONTHLY CHARGES	923.011	269	667.94
			Check GEN 98217 Total for Fund 101 GENERAL FUND				2,398.01
01/08/2026	GEN	98218	COSTCO MEMBERSHIP	GEN TWP MEMBERSHIP RENEWAL	931.001	265	65.00
01/08/2026	GEN	98221*#	DTE ENERGY	11/20/25-12/18/25 DUBLIN MONTHLY CHARGES	921.000	757	503.40
01/08/2026	GEN	98222	DLZ MICHIGAN, INC.	ELECTIONS, MAPPING SERVICES THRU 11/7/25	740.000	191	3,000.00
01/08/2026	GEN	98226*#	EQUITABLE FINANCIAL LIFE INS COMP	JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	080.717	000	54.95
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	101	27.48
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	171	31.40
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	192	15.70
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	209	31.40
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	215	31.40
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	253	23.55
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	265	7.85
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	372	7.85
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	402	15.70
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	757	15.70
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	080.716	000	250.79
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	171	169.39
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	192	94.18
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	209	156.89
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	215	164.48
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	253	131.10
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	265	33.11
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	372	35.70
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	402	86.60
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	757	74.11
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	232.002	000	725.09
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	080.724	000	451.44
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	171	360.84
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	192	74.00
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	209	363.48
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	215	346.88
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	253	300.00

CHECK DISBURSEMENT REPORT FOR WHITE LAKE TOWNSHIP
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Section 6, Item B.

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	265	67.56
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	372	67.56
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	402	242.32
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	757	104.56
							4,572.94
				Check GEN 98226 Total for Fund 101 GENERAL FUND			
01/08/2026	GEN	98231	HART INTERCIVIC	LICENSE AND SUPPORT RENEWAL	934.000	191	658.00
01/08/2026	GEN	98233*#	JOHN HANCOCK-70482-00-5	DECEMBER CONTRIBUTIONS	231.001	000	661.71
				DECEMBER CONTRIBUTIONS	231.001	000	617.94
				DECEMBER CONTRIBUTIONS	080.718	000	1,191.04
				DECEMBER CONTRIBUTIONS	718.000	209	1,112.27
							3,582.96
				Check GEN 98233 Total for Fund 101 GENERAL FUND			
01/08/2026	GEN	98234	KCI	POSTAGE-2026 ASSESSMENT NOTICES	730.000	248	7,199.02
01/08/2026	GEN	98237	MI ASSOC OF MUNICIPAL CLERKS	MAMC LEVEL 2 MIPMC/NOBLE, A	960.000	215	90.00
01/08/2026	GEN	98240*#	METRO DETROIT INTEGRATED SYSTEMS	50% DEPOSIT FOR CCTV CABLING AT NEW BUILDING (CHANGE ORDE	971.000	265	771.38
01/08/2026	GEN	98242*	MUTUAL OF OMAHA	JANUARY PREMIUMS	232.002	000	256.84
01/08/2026	GEN	98243*#	NET EXPRESS VOIP	JANUARY SERVICES	853.000	265	811.38
				JANUARY SERVICES	080.853	000	39.89
				JANUARY SERVICES	853.000	757	59.90
				JANUARY SERVICES	971.000	265	150.00
				JANUARY SERVICES	080.962	000	150.00
				FAXBRIDGE UPDATE AND INSTALL	853.000	265	0.00
				FAXBRIDGE UPDATE AND INSTALL	080.853	000	0.00
				FAXBRIDGE UPDATE AND INSTALL	853.000	757	0.00
				FAXBRIDGE UPDATE AND INSTALL	971.000	265	947.42
				FAXBRIDGE UPDATE AND INSTALL	080.962	000	0.00
							2,158.59
				Check GEN 98243 Total for Fund 101 GENERAL FUND			
01/08/2026	GEN	98246	OAKLAND COUNTY CLERKS ASSOC.	2026 MEMBERSHIP RENEWAL	958.000	215	105.00
01/08/2026	GEN	98247#	OAKLAND COUNTY LEGAL NEWS	REGULAR BOARD MEETING 12/16/25	903.000	215	121.00
				PC, ZBA, P/R MEETING NOTICES	903.000	402	259.00
				ZBA MEETING 01/20/26	903.000	402	175.00
							555.00
				Check GEN 98247 Total for Fund 101 GENERAL FUND			
01/08/2026	GEN	98248	OOMA AR CHANNEL	JANUARY CHARGES	931.013	269	62.35
01/08/2026	GEN	98250	PRINTING SYSTEMS INC	VOTER INFO CARDS	740.000	191	2,585.63
				QVF VOTER CARD, MASTER CARDS, POSTCARDS	740.000	191	389.63
							2,975.26
				Check GEN 98250 Total for Fund 101 GENERAL FUND			
01/08/2026	GEN	98251	SAFeway SHREDDING	GEN, SHREDDING	727.000	249	84.95
				PD, SHREDDING	727.000	249	64.95
							149.90
				Check GEN 98251 Total for Fund 101 GENERAL FUND			
01/08/2026	GEN	98252*#	SHIFMAN FOURNIER, PLC	DECEMBER MONTHLY CHARGES	826.000	210	214.50
01/08/2026	GEN	98258	UNITED PARCEL SERVICE	MONTHLY CHARGES	730.000	248	25.00
01/08/2026	GEN	98259	U.S. BANK EQUIPMENT FINANCE	DUBLIN MONTHLY CHARGES	931.000	757	338.73

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Section 6, Item B.

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 101 GENERAL FUND							
01/08/2026	GEN	98260*#	U.S. BANK EQUIPMENT FINANCE	12/20/25-01/20/26 MONTHLY CHARGES	971.000	265	1,054.25
				12/20/25-01/20/26 MONTHLY CHARGES	971.000	265	54.64
				12/20/25-01/20/26 MONTHLY CHARGES	971.000	265	693.66
			Check GEN 98260 Total for Fund 101 GENERAL FUND				1,802.55
01/08/2026	GEN	98263*#	WEX BANK	DECEMBER 2025 GAS CHARGES	080.867	000	653.55
				DECEMBER 2025 GAS CHARGES	867.000	265	780.81
				DECEMBER 2025 GAS CHARGES	867.000	372	65.71
			Check GEN 98263 Total for Fund 101 GENERAL FUND				1,500.07
01/08/2026	GEN	98271*#	EQUITABLE FINANCIAL LIFE INS COMP	AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	962.000	192	144.33
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	101	(3.93)
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	080.717	000	(7.85)
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	080.716	000	(31.21)
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	209	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	215	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	253	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	265	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	372	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	402	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	757	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	232.002	000	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	080.716	000	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	171	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	192	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	209	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	215	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	253	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	265	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	372	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	402	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	757	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	080.724	000	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	171	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	192	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	209	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	215	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	253	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	265	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	372	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	402	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	757	0.00
			Check GEN 98271 Total for Fund 101 GENERAL FUND				101.34
01/08/2026	GEN	98272	ANDREA E MOON	SELF DEFENSE CLASS	751.000	757	200.00
01/15/2026	GEN	98274	1ST HEATING & COOLING CO	GAS SMELL/CO LEAK	931.000	757	469.00
01/15/2026	GEN	98275	ABC PRINTING	WHITT, ROMAN-BUSINESS CARDS	727.000	249	126.00
01/15/2026	GEN	98276*#	ALERUS FINANCIAL	01/14/26 MERS 457 CONTRIBUTIONS	231.001	000	2,862.83
				01/14/26 MERS 457 CONTRIBUTIONS	080.720	000	40.65
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	171	50.60

CHECK DISBURSEMENT REPORT FOR WHITE LAKE TOWNSHIP

CHECK DATE 01/01/2026 - 01/31/2026

Section 6, Item B.

Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount	
Fund: 101 GENERAL FUND								
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	209	158.64	
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	215	41.27	
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	402	70.60	
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	265	49.33	
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	372	52.89	
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	192	76.41	
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	253	101.99	
							3,505.21	
			Check GEN 98276 Total for Fund 101 GENERAL FUND					
01/15/2026	GEN	98277*#	ALERUS FINANICAL	HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	192	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	080.962	000	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	171	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	080.962	000	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	372	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	215	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	080.962	000	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	265	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	253	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	757	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	080.962	000	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	402	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	402	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	171	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	209	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	253	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	209	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	080.962	000	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	080.962	000	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	215	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	209	100.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	253	372.22	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	171	372.22	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	215	437.92	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	215	372.22	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	72.95	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	300.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	375.36	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	319.05	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	319.05	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	319.05	
							5,360.04	
			Check GEN 98277 Total for Fund 101 GENERAL FUND					
01/15/2026	GEN	98283*#	BLUE CARE NETWORK	02/01/26-02/28/26 HMO PREMIUMS	716.000	192	1,137.88	
				02/01/26-02/28/26 HMO PREMIUMS	716.000	215	2,275.75	
				02/01/26-02/28/26 HMO PREMIUMS	716.000	171	1,365.45	
							4,779.08	
			Check GEN 98283 Total for Fund 101 GENERAL FUND					
01/15/2026	GEN	98285*#	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 GENERAL TWP	716.000	192	1,574.12	
				02/01/26-02/28/26 GENERAL TWP	716.000	209	7,083.60	
				02/01/26-02/28/26 GENERAL TWP	716.000	215	1,888.97	
				02/01/26-02/28/26 GENERAL TWP	716.000	253	8,185.49	
				02/01/26-02/28/26 GENERAL TWP	716.000	265	1,888.97	

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Fund: 101 GENERAL FUND								
				02/01/26-02/28/26 GENERAL TWP	716.000	372	0.00	
				02/01/26-02/28/26 GENERAL TWP	716.000	402	2,361.20	
				02/01/26-02/28/26 GENERAL TWP	716.000	757	2,676.03	
				02/01/26-02/28/26 GENERAL TWP	080.716	000	8,185.49	
				02/01/26-02/28/26 GENERAL TWP	716.000	171	5,037.23	
			Check GEN 98285 Total for Fund 101 GENERAL FUND					38,881.10
01/15/2026	GEN	98287*#	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 GENERAL RETIREES	730.000	863	2,361.18	
01/15/2026	GEN	98293	BREEN'S LANDSCAPE & SUPPLY CENTER	ROCK SALT	931.002	265	150.00	
01/15/2026	GEN	98294	BROWNING SURVEILLANCE COMPANY	INSTALL WOFTWARE ON MAIN SERVER/AXIS CAMERA	931.013	269	200.00	
01/15/2026	GEN	98295	BS&A SOFTWARE	FINAL IMPLEMENTATION COSTS	974.000	265	24,513.34	
01/15/2026	GEN	98296	CARLISLE WORTMAN ASSOCIATES INC	PC MEETING 12/4/25	801.000	402	875.00	
01/15/2026	GEN	98297	CHRISTINE ATKINSON	01/08/26 26 BOARD OF REVIEW CLASS	864.000	247	75.00	
01/15/2026	GEN	98298#	CINTAS	UNIFORM CHARGES	080.962	000	53.85	
				UNIFORM CHARGES	931.001	265	17.96	
				UNIFORM CHARGES	080.962	000	53.85	
				UNIFORM CHARGES	931.001	265	17.96	
				UNIFORM CHARGES	080.962	000	53.85	
				UNIFORM CHARGES	931.001	265	17.96	
				UNIFORM CHARGES	080.962	000	53.85	
				UNIFORM CHARGES	931.001	265	17.96	
				UNIFORM CHARGES	080.962	000	53.85	
				UNIFORM CHARGES	931.001	265	17.96	
			Check GEN 98298 Total for Fund 101 GENERAL FUND					359.05
01/15/2026	GEN	98299*#	COMCAST	01/22/26-02/21/26 TWP MONTHLY CH ARGES	971.000	265	143.52	
				01/22/26-02/21/26 TWP MONTHLY CH ARGES	080.962	000	68.33	
			Check GEN 98299 Total for Fund 101 GENERAL FUND					211.85
01/15/2026	GEN	98302	CORRIGAN RECORD STORAGE	MONTHLY CHARGES	940.000	265	235.86	
01/15/2026	GEN	98304	DAYDREAMERS BRICK AND LANDSCAPE SU	BULK SALT	931.002	265	540.00	
				BULK SALT	931.002	265	360.00	
				BULK SALT	931.002	265	600.00	
			Check GEN 98304 Total for Fund 101 GENERAL FUND					1,500.00
01/15/2026	GEN	98305	DTE ENERGY	12/01/25-12/31/25 MONTHLY CHARGES	926.000	448	4,823.20	
01/15/2026	GEN	98309	ISOLVED INC.	FBA ADMIN 12/01/25-12/31/25	956.000	299	178.50	
01/15/2026	GEN	98310	JULIA KELLER	01/08/26 26 BOARD OF REVIEW CLASS	864.000	247	75.00	
01/15/2026	GEN	98312	LIVINGSTON COUNTY ASSESSORS ASSOCI	HIEBER/GROSSI, ESTATE PLANNING BASICS	960.000	209	50.00	
01/15/2026	GEN	98314*#	MEADOWS AUTOMOTIVE WHITE LAKE	2020 GRAND CHER, MISSED FEES	863.000	265	5.46	
				22 JEEP CHER OIL CHANGE, FILTER, INSPECT, ROTATE	863.000	265	93.12	
			Check GEN 98314 Total for Fund 101 GENERAL FUND					98.58
01/15/2026	GEN	98316	OAKLAND COMMERCIAL CLEANING	JANUARY CLEANING	931.001	265	3,300.00	
01/15/2026	GEN	98318*#	OAKLAND COUNTY	INVOICE ADJUSTMENT	956.000	299	(39.00)	

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Fund: 101 GENERAL FUND								
01/15/2026	GEN	98320	OAKLAND COUNTY	DECEMBER CHARGEBACKS	956.000	299	3,056.40	
01/15/2026	GEN	98321	PAPERIMAGE	WHITT, BASS, DEGNAN, WALIGORA APPAREL	956.000	299	247.23	
01/15/2026	GEN	98323	RAQUEL WALKER	RETURN PLYON SIGN DEPOSIT	283.001	000	1,250.00	
01/15/2026	GEN	98326*#	SMART BUSINESS SOURCE	PAPER	727.000	249	283.00	
				PAPER	080.727	000	106.13	
			Check GEN 98326 Total for Fund 101 GENERAL FUND					389.13
01/15/2026	GEN	98331*#	VERIZON WIRELESS	12/02/25-01/01/26 MONTHLY CHARGES	853.000	171	37.51	
				12/02/25-01/01/26 MONTHLY CHARGES	853.000	215	76.24	
				12/02/25-01/01/26 MONTHLY CHARGES	853.000	265	38.12	
				12/02/25-01/01/26 MONTHLY CHARGES	853.000	372	38.12	
				12/02/25-01/01/26 MONTHLY CHARGES	853.000	402	75.63	
				12/02/25-01/01/26 MONTHLY CHARGES	080.853	000	227.20	
			Check GEN 98331 Total for Fund 101 GENERAL FUND					492.82
01/15/2026	GEN	98332*#	WHITE LAKE TOWNSHIP	10/01/25-01/20/26 TWP CHARGES	922.000	265	165.70	
				10/01/25-01/20/26 FISK CHARGES	922.004	269	63.11	
				10/01/25-01/20/26 ANNEX CHARGES	922.010	269	63.11	
			Check GEN 98332 Total for Fund 101 GENERAL FUND					291.92
01/15/2026	GEN	98333	WILLIAMS, WILLIAMS, RATTNER & PLUN SERVICES THRU 12/31/25		826.000	210	2,492.77	
01/15/2026	GEN	98334	ANYONE CAN PAINT LLC	INSTRUCTOR'S FEE	751.000	757	160.00	
01/15/2026	GEN	98335#	DTE ENERGY	12/11/25-01/09/26 ANNEX	921.011	269	1,261.62	
				12/11/25-01/09/26 CIVIC CTR LIGHTING	921.012	269	145.45	
				12/11/25-01/09/26 M59/BOGIE STREET LIGHT	921.006	269	139.11	
				12/11/25-01/09/26 OXBOW CEMETERY	921.000	276	18.40	
				12/11/25-01/09/26 FISK FARM	921.004	269	141.41	
				12/11/25-01/09/26 TOWNSHIP HALL	921.001	265	3,765.01	
			Check GEN 98335 Total for Fund 101 GENERAL FUND					5,471.00
01/15/2026	GEN	98336	JEANNE EAGEN	INSTRUCTOR FEES	751.000	757	90.00	
01/15/2026	GEN	98337	LEISURE UNLIMITED LLC	INSTRUCTOR'S FEE	751.000	757	83.00	
01/15/2026	GEN	98338	MARLENE TURNER	INSTRUCTOR'S FEE	751.000	757	40.00	
01/15/2026	GEN	98339	NICOLE GRUBBS	INSTRUCTOR'S FEE	751.000	757	195.00	
01/15/2026	GEN	98340	WHITE LAKE TOWNSHIP	10/01/25-01/02/26 DUBLIN CHARGES	922.000	757	157.73	
01/22/2026	GEN	98342	ASSOCIATION OF PUBLIC TREASURERS	26 ANNUAL CONF - PATTON	864.000	253	399.00	
01/22/2026	GEN	98344	AUTOZONE	WINDHLD FLUID, WIPERS	863.000	265	72.87	
01/22/2026	GEN	98346*#	BCBS OF MICHIGAN	02/01/26-2/28/26 MEDICARE ADV PLAN	730.000	863	5,846.82	
				02/01/26-2/28/26 MEDICARE ADV PLAN	080.716	000	835.26	
			Check GEN 98346 Total for Fund 101 GENERAL FUND					6,682.08
01/22/2026	GEN	98348	BREEN'S LANDSCAPE & SUPPLY CENTER	ROCK SALT	931.002	265	630.00	
				ROCK SALT	931.002	265	525.00	
				ROCK SALT	931.002	265	525.00	
			Check GEN 98348 Total for Fund 101 GENERAL FUND					1,680.00

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Fund: 101 GENERAL FUND								
01/22/2026	GEN	98351*#	DARWEL ENTERPRISES LLC	TWP, MONTHLY CHARGES	931.001	265	201.45	
01/22/2026	GEN	98352	DAYDREAMERS BRICK AND LANDSCAPE SU BULK SALT		931.002	265	630.00	
01/22/2026	GEN	98353*#	EQUITABLE FINANCIAL LIFE INS COMP	FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	080.717	000	47.10	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	101	27.48	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	171	31.40	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	192	23.55	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	209	31.40	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	215	31.40	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	253	39.25	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	265	7.85	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	372	7.85	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	402	15.70	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	757	15.70	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	080.716	000	220.60	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	171	169.39	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	192	140.50	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	209	156.89	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	215	164.48	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	253	199.10	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	265	33.11	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	372	35.70	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	402	86.60	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	757	74.11	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	232.002	000	725.09	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	080.724	000	383.88	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	171	360.84	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	192	111.00	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	209	363.48	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	215	346.88	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	253	383.88	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	265	67.56	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	372	67.56	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	402	242.32	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	757	104.56	
			Check GEN 98353 Total for Fund 101 GENERAL FUND					4,716.21
01/22/2026	GEN	98357	JANELLE DRIVER	DRIVER, REFUND RENT	667.001	000	200.00	
01/22/2026	GEN	98359	MERGE LIVE	REGULAR TWP BOARD MEETING 01/20/26	710.000	101	265.00	
01/22/2026	GEN	98360#	MICHIGAN TOWNSHIPS ASSOCIATION	VOORHEIS, ANDERSON, KOWALL-MTA CONF	860.000	101	800.00	
				VOORHEIS, ANDERSON, KOWALL-MTA CONF	864.000	171	400.00	
				ROMAN, MTA CONF	864.000	253	400.00	
				NOBLE, MTA CONF	864.000	215	400.00	
			Check GEN 98360 Total for Fund 101 GENERAL FUND					2,000.00
01/22/2026	GEN	98363	OAKLAND COUNTY ROAD COMMISSION	SIGNAL MAINTENANCE	930.000	446	10.04	
				SIGNAL MAINTENANCE	930.000	446	5.02	
			Check GEN 98363 Total for Fund 101 GENERAL FUND					15.06
01/22/2026	GEN	98365	ORKIN	TWP, MONTHLY CHARGES	931.001	265	11.84	

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Fund: 101 GENERAL FUND							
01/22/2026	GEN	98366	PAPERIMAGE	SHIPPING/PAPERIMAGE	956.000	299	26.60
01/22/2026	GEN	98368*#	ROSATI, SCHULTZ, JOPPICH	TAX TRIBUAL CASES GEN, DECEMBER CHARGES	820.000 826.000	209 210	48.00 4,898.00
		Check GEN 98368	Total for Fund 101 GENERAL FUND				4,946.00
01/22/2026	GEN	98372	SUMMIT FIRE PROTECTION	SECURITY BADGE/SECURITY REPAIRS	931.003	265	427.00
01/22/2026	GEN	98373*#	ULLIANCE, INC	QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN UFIRST LIFE ADVISOR EMP ASSISTANCE PROGRAM FD31/PD43	716.000 716.000 716.000 716.000 716.000 716.000 716.000 716.000 716.000 716.000 716.000 716.000 716.000	192 209 215 265 372 402 757 253 000 171 171	25.65 34.20 34.20 8.55 8.55 25.65 25.65 34.20 51.30 34.20 2,300.14
		Check GEN 98373	Total for Fund 101 GENERAL FUND				2,582.29
01/22/2026	GEN	98375	WASH ME LLC	MONTHLY WASHES	863.000	265	44.00
01/22/2026	GEN	98376*#	WATER DEPOT	TWP, MONTHLY CHARGES	931.001	265	148.00
01/29/2026	GEN	98379*#	ABC PRINTING	ENVELOPES NOTICE STICKERS (300) ABSENSE REPORT, PAY VOUCHERS	727.000 962.000 727.000	249 276 249	551.00 140.00 738.00
		Check GEN 98379	Total for Fund 101 GENERAL FUND				1,429.00
01/29/2026	GEN	98380*#	ALERUS FINANCIAL	01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS 01/28/26 MERS 457 CONTRIBUTIONS	231.001 080.720 718.002 718.002 718.002 718.002 718.002 718.002 718.002 718.002 718.002 718.002	000 000 171 209 215 402 265 372 192 253	4,223.10 40.65 50.60 158.64 41.27 70.60 49.33 52.89 76.41 101.99
		Check GEN 98380	Total for Fund 101 GENERAL FUND				4,865.48
01/29/2026	GEN	98382	BREEN'S LANDSCAPE & SUPPLY CENTER	ROCK SALT ROCK SALT ROCK SALT	931.002 931.002 931.002	265 265 265	300.00 750.00 500.00
		Check GEN 98382	Total for Fund 101 GENERAL FUND				1,550.00
01/29/2026	GEN	98383	COMCAST	01/18/26-02/17/26 FISK MONTHLY CHARGES	931.007	269	166.80
01/29/2026	GEN	98384	COMCAST	02/01/26-02/28/26 DUBLIN MONTHLY CHARGES	751.000	757	450.08
01/29/2026	GEN	98385*#	CONSUMERS ENERGY	7525 HIGHLAND RD 01/15/26-01/22/26 7527 HIGHLAND RD 01/15/26-01/22/26 685 UNION LK 01/15/26-01/22/26 9180 HIGHLAND RD 01/15/26-01/22/26	923.000 923.011 923.000 923.004	265 269 757 269	1,099.91 1,038.09 348.65 421.85

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Fund: 101 GENERAL FUND							
				Vision Insurance Premiums 2026-02-01	716.000	253	7.07
				Vision Insurance Premiums 2026-02-01	716.000	253	7.07
				Vision Insurance Premiums 2026-02-01	716.000	253	13.45
				Vision Insurance Premiums 2026-02-01	716.000	253	19.75
				Vision Insurance Premiums 2026-02-01	716.000	253	19.75
				Vision Insurance Premiums 2026-02-01	716.000	215	19.75
				Vision Insurance Premiums 2026-02-01	716.000	215	7.07
				Vision Insurance Premiums 2026-02-01	716.000	215	19.75
				Vision Insurance Premiums 2026-02-01	716.000	215	13.45
				Vision Insurance Premiums 2026-02-01	716.000	209	19.75
				Vision Insurance Premiums 2026-02-01	716.000	209	19.75
				Vision Insurance Premiums 2026-02-01	716.000	209	19.75
				Vision Insurance Premiums 2026-02-01	716.000	192	7.07
				Vision Insurance Premiums 2026-02-01	716.000	192	7.07
				Vision Insurance Premiums 2026-02-01	716.000	192	7.07
				Vision Insurance Premiums 2026-02-01	716.000	192	7.07
				Vision Insurance Premiums 2026-02-01	716.000	171	7.07
				Vision Insurance Premiums 2026-02-01	716.000	171	13.45
				Vision Insurance Premiums 2026-02-01	716.000	171	13.45
				Vision Insurance Premiums 2026-02-01	716.000	171	19.75
				Vision Insurance Premiums 2026-02-01	080.716	000	7.07
				Vision Insurance Premiums 2026-02-01	080.716	000	7.07
				Vision Insurance Premiums 2026-02-01	080.716	000	13.45
				Vision Insurance Premiums 2026-02-01	080.716	000	19.75
				Vision Insurance Premiums 2026-02-01	080.716	000	7.07
				Vision Insurance Premiums 2026-02-01	080.716	000	7.07
				Vision Insurance Premiums 2026-02-01	080.716	000	19.75
				Check GEN 98413 Total for Fund 101 GENERAL FUND			1,169.20
				Total For Fund: 101			280,532.38
Fund: 206 FIRE							
01/14/2026	GEN	1230149(E)*	MERS	DEC MERS CONTRIBUTION	718.000	336	46,292.38
				DEC MERS CONTRIBUTION	231.001	000	14,861.00
				Check GEN 1230149(E) Total for Fund 206 FIRE			61,153.38
01/08/2026	GEN	98205	ALLIED FIRE SALES & SERVICE LLC	SENSIT HXG-2D, HOSE	757.000	336	873.84
01/08/2026	GEN	98206*#	AMAZON	WALL CALENDARS	727.000	336	52.05
				DIVIDERS, BINDERS	727.000	336	42.80
				Check GEN 98206 Total for Fund 206 FIRE			94.85
01/08/2026	GEN	98209*#	AUTOZONE	OIL	863.001	336	12.86
01/08/2026	GEN	98210*#	BCBS OF MICHIGAN	01/01/26-01/31/26 MEDICARE ADV PLAN	716.002	336	2,088.15
01/08/2026	GEN	98211	BOUND TREE MEDICAL LLC.	BARB REPLACEMENT	767.000	336	39.64
				MEDICAL SUPPLIES	767.000	336	348.00
				CREDIT RETURN	767.000	336	(359.04)
				Check GEN 98211 Total for Fund 206 FIRE			28.60
01/08/2026	GEN	98215	COMCAST	01/06/26-02/05/26 STA #2 MONTHLY CHARGES	931.002	336	420.92

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Fund: 206 FIRE								
01/08/2026	GEN	98216	COMCAST	12/24/25-01/23/26 STA #1 MONTHLY CHARGES	931.001	336	320.95	
01/08/2026	GEN	98217*#	CONSUMERS ENERGY	11/23/25-12/19/25 STA #3 MONTHLY CHARGES	923.003	336	366.45	
				11/22/25-12/18/25 STA 1 MONTHLY CHARGES	923.001	336	754.75	
				11/23/25-12/19/25 STA #3 MONTHLY CHARGES	923.003	336	378.76	
		Check GEN 98217 Total for Fund 206 FIRE						1,499.96
01/08/2026	GEN	98221*#	DTE ENERGY	11/18/25-12/18/25 STA #1 TRAILER MONTHLY CHARGES	921.001	336	298.13	
01/08/2026	GEN	98223	DOMINICK TRANCHIDA	REIM-TRANCHIDA, EMT LICENSE RENEWAL	757.000	336	144.00	
01/08/2026	GEN	98224	DICKINSON WRIGHT PLLC	BOND SERVICES (AMBULANCES)	977.000	336	9,500.00	
01/08/2026	GEN	98225	EMERGENCY VEHICLES PLUS	TANKER REPAIRS	863.001	336	827.81	
				E-1 REPAIRS TO EXHAUST FILTER	863.001	336	535.60	
		Check GEN 98225 Total for Fund 206 FIRE						1,363.41
01/08/2026	GEN	98226*#	EQUITABLE FINANCIAL LIFE INS COMP	JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	336	196.25	
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	336	1,025.61	
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	232.002	000	288.12	
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	336	2,013.72	
		Check GEN 98226 Total for Fund 206 FIRE						3,523.70
01/08/2026	GEN	98227	FIRST CHOICE COFFEE SERVICES	STA #1 & STA #2, WATER PURIFIER FILTERS	931.002	336	40.95	
				STA #1 & STA #2, WATER PURIFIER FILTERS	931.001	336	40.95	
				STA #3 WATER PURIFIER FILTERS	931.003	336	40.95	
		Check GEN 98227 Total for Fund 206 FIRE						122.85
01/08/2026	GEN	98229	FLINT WELDING SUPPLY COMPANY	OXYGEN AND AIR	758.000	336	47.00	
01/08/2026	GEN	98232*#	HOME DEPOT CREDIT SERVICES	11/23/25-12/11/25 MONTHLYL CHARGES	863.001	336	58.90	
				11/23/25-12/11/25 MONTHLYL CHARGES	863.001	336	91.54	
				11/23/25-12/11/25 MONTHLYL CHARGES	863.001	336	31.67	
				11/23/25-12/11/25 MONTHLYL CHARGES	931.001	336	95.74	
				11/23/25-12/11/25 MONTHLYL CHARGES	863.001	336	8.72	
		Check GEN 98232 Total for Fund 206 FIRE						286.57
01/08/2026	GEN	98233*#	JOHN HANCOCK-70482-00-5	DECEMBER CONTRIBUTIONS	718.000	336	69.69	
01/08/2026	GEN	98236	MACQUEEN EMERGENCY	ANNUAL PREVENTATIVE MAINT	933.000	336	1,935.00	
01/08/2026	GEN	98240*#	METRO DETROIT INTEGRATED SYSTEMS	CCTV CABLING, PAGING SYSTEM WITH 15 CEILING SPEAKERS, 17	977.000	336	12,875.85	
01/08/2026	GEN	98242*	MUTUAL OF OMAHA	JANUARY PREMIUMS	232.002	000	304.51	
01/08/2026	GEN	98243*#	NET EXPRESS VOIP	JANUARY SERVICES	853.001	336	59.90	
				JANUARY SERVICES	853.002	336	34.95	
				JANUARY SERVICES	853.003	336	34.95	
				JANUARY SERVICES	757.000	336	150.00	
				FAXBRIDGE UPDATE AND INSTALL	853.001	336	0.00	
				FAXBRIDGE UPDATE AND INSTALL	853.002	336	0.00	
				FAXBRIDGE UPDATE AND INSTALL	853.003	336	0.00	
				FAXBRIDGE UPDATE AND INSTALL	757.000	336	0.00	
		Check GEN 98243 Total for Fund 206 FIRE						279.80
01/08/2026	GEN	98249	PARAMOUNT SIGNS & GRAPHIX LLC	LANDRY, SHIRTS	744.000	336	95.00	

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Fund: 206 FIRE							
01/08/2026	GEN	98252*#	SHIFMAN FOURNIER, PLC	DECEMBER MONTHLY CHARGES	826.000	336	478.50
01/08/2026	GEN	98254	STATE OF MICHIGAN	QUALITY ASSURANCE ASSESSMENT 10/01/25-12/31/25	757.000	336	58.75
01/08/2026	GEN	98256	TRACTOR SUPPLY CO.	SELF DRILL 50PK, SALT PELLETS, PROPANE	931.001	336	50.56
				SELF DRILL 50PK, SALT PELLETS, PROPANE	931.002	336	50.56
				SELF DRILL 50PK, SALT PELLETS, PROPANE	931.003	336	50.54
			Check GEN 98256 Total for Fund 206 FIRE				151.66
01/08/2026	GEN	98257	TREVOR TSCHUDIN	REIM-TSCHUDIN EMT LICENSE RENWAL	757.000	336	144.00
01/08/2026	GEN	98260*#	U.S. BANK EQUIPMENT FINANCE	12/20/25-01/20/26 MONTHLY CHARGES	727.000	336	69.57
01/08/2026	GEN	98262	VIZOCOM ICT LLC	BLUE DIAMOND GLOVES	767.000	336	324.00
01/08/2026	GEN	98263*#	WEX BANK	DECEMBER 2025 GAS CHARGES	867.000	336	3,358.33
01/08/2026	GEN	98264	ZOLL MEDICAL CORPORATION	RESQPOD ITD 10 (6)	767.000	336	870.24
01/08/2026	GEN	98271*#	EQUITABLE FINANCIAL LIFE INS COMP	AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	336	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	232.002	000	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	336	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	336	0.00
			Check GEN 98271 Total for Fund 206 FIRE				0.00
01/15/2026	GEN	98276*#	ALERUS FINANCIAL	01/14/26 MERS 457 CONTRIBUTIONS	231.001	000	4,748.48
				01/14/26 MERS 457 CONTRIBUTIONS	718.004	336	786.35
			Check GEN 98276 Total for Fund 206 FIRE				5,534.83
01/15/2026	GEN	98277*#	ALERUS FINANCIAL	HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	284.97
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	366.98
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	374.29
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	326.13
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	359.90
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	366.98
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	296.34
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	326.62
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	236.83
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	266.32
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	296.34
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	248.88
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	284.97
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	266.32
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	329.77
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	232.61
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	349.82
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.002	336	460.74
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	244.26
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	228.27
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	299.85
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	199.38
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	244.26
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	213.33
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	254.01
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	282.66

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Fund: 206 FIRE								
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	203.00	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	279.96	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	228.27	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	254.01	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	314.55	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	308.49	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	279.54	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	544.92	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	320.82	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	314.55	
			Check GEN 98277 Total for Fund 206 FIRE					10,688.94
01/15/2026	GEN	98278	AMAZON	LUDWIG, WIRE CUTTERS, KNIFE, KLEIN TOOLS	744.000	336	66.16	
				LUDWIG, WIRE CUTTERS, KNIFE, KLEIN TOOLS	727.000	336	23.94	
			Check GEN 98278 Total for Fund 206 FIRE					90.10
01/15/2026	GEN	98279	ANDREW SITLER	SITLER, REIMBURSE FOR LUNCH	960.000	336	15.29	
				SITLER, REIMBURSE FOR MEALS	960.000	336	18.76	
			Check GEN 98279 Total for Fund 206 FIRE					34.05
01/15/2026	GEN	98281	APPLIED INNOVATION	STA #1 MONTHLY CHARGES	727.000	336	55.02	
01/15/2026	GEN	98282	AUTOZONE	BATTERY/GENERATOR	863.001	336	182.99	
01/15/2026	GEN	98283*#	BLUE CARE NETWORK	02/01/26-02/28/26 HMO PREMIUMS	716.000	336	7,851.34	
01/15/2026	GEN	98284	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 FIRE ACTIVE	716.000	336	24,241.66	
01/15/2026	GEN	98285*#	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 GENERAL TWP	716.000	336	4,722.40	
01/15/2026	GEN	98286	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 FIRE RETIREE	716.002	336	6,453.97	
01/15/2026	GEN	98292	BOUND TREE MEDICAL LLC.	MEDICAL SUPPLIES	767.000	336	867.82	
01/15/2026	GEN	98299*#	COMCAST	01/22/26-02/21/26 TWP MONTHLY CHARGES	757.000	336	218.71	
01/15/2026	GEN	98300	COMCAST	01/15/26-02/14/26 STA #3 MONTHLY CHARGES	931.003	336	293.60	
01/15/2026	GEN	98301	COREY VOS	VOS, REIMBURSE FOR LUNCH	960.000	336	19.08	
				VOS, REIMBURSE FOR MEALS	960.000	336	31.61	
			Check GEN 98301 Total for Fund 206 FIRE					50.69
01/15/2026	GEN	98306	DTE ENERGY	12/10/25-01/08/26 FD STA2	921.002	336	431.92	
01/15/2026	GEN	98307	FLINT WELDING SUPPLY COMPANY	OXYGEN AND AIR	758.000	336	175.50	
01/15/2026	GEN	98318*#	OAKLAND COUNTY	OCT-DEC 2025 FRMS WEB SERVICE	958.000	336	1,267.50	
01/15/2026	GEN	98327	SPRINGFIELD URGENT CARE PLLC	LANGMAN, PHYSICAL, SWANSON PHYSICAL	835.000	336	705.00	
01/15/2026	GEN	98331*#	VERIZON WIRELESS	12/02/25-01/01/26 MONTHLY CHARGES	853.000	336	148.31	
01/15/2026	GEN	98332*#	WHITE LAKE TOWNSHIP	10/01/25-01/20/26 CHARGES	922.001	336	139.40	
01/22/2026	GEN	98341*#	AMAZON	DECORATIONS, UNIFORM ITEMS	863.001	336	95.36	
				DECORATIONS, UNIFORM ITEMS	744.000	336	260.36	
			Check GEN 98341 Total for Fund 206 FIRE					355.72
01/22/2026	GEN	98346*#	BCBS OF MICHIGAN	02/01/26-2/28/26 MEDICARE ADV PLAN	716.002	336	2,000.00	

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Fund: 206 FIRE							
01/22/2026	GEN	98347	BOUND TREE MEDICAL LLC.	MEDICAL SUPPLIES	767.000	336	15.86
01/22/2026	GEN	98349*#	BRILLIANT SYSTEMS LLC	NETWORK DESIGN AND COMM CONSULTING	977.000	336	2,290.75
01/22/2026	GEN	98353*#	EQUITABLE FINANCIAL LIFE INS COMP	FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	336	196.25
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	336	1,025.61
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	232.002	000	288.12
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	336	2,013.72
			Check GEN 98353 Total for Fund 206 FIRE				3,523.70
01/22/2026	GEN	98356	HURON VALLEY STATE BANK	AMBULANCE PAYMENT	991.000	336	15,524.20
				AMBULANCE PAYMENT	992.000	336	2,832.02
				AMBULANCE PAYMENT	991.000	336	3,373.31
				AMBULANCE PAYMENT	992.000	336	883.13
			Check GEN 98356 Total for Fund 206 FIRE				22,612.66
01/22/2026	GEN	98367	PHOENIX SAFETY OUTFITTERS	SWANSON, LANGMAN, TOEW RENTALS	977.001	336	450.00
01/22/2026	GEN	98368*#	ROSATI, SCHULTZ, JOPPICH	FD. MONTHLY CHARGES	826.000	336	15.50
01/22/2026	GEN	98373*#	ULLIANCE, INC	UFIRST LIFE ADVISOR EMP ASSISTANCE PROGRAM FD31/PD43	716.000	336	1,658.19
01/22/2026	GEN	98374	WAREHOUSE TIRE	TIRES RED EXP	863.002	336	632.68
01/29/2026	GEN	98379*#	ABC PRINTING	ABSENSE REPORT, PAY VOUCHERS	727.000	336	738.00
01/29/2026	GEN	98380*#	ALERUS FINANCIAL	01/28/26 MERS 457 CONTRIBUTIONS	231.001	000	4,319.00
				01/28/26 MERS 457 CONTRIBUTIONS	718.004	336	782.01
			Check GEN 98380 Total for Fund 206 FIRE				5,101.01
01/29/2026	GEN	98385*#	CONSUMERS ENERGY	860 ROUND LK 01/15/26-01/22/26	923.002	336	441.66
				7420 HIGHLAND RD 01/15/26-01/22/26	923.001	336	937.56
				4870 ORMOND RD 12/20/25-01/23/26 MONTHLY CHARGES	923.003	336	488.59
			Check GEN 98385 Total for Fund 206 FIRE				1,867.81
01/29/2026	GEN	98390*#	DTE ENERGY	7420 HIGHLAND 12/19/25-01/20/26	921.001	336	456.04
				7440 HIGHLAND 12/19/25-01/21/26	921.001	336	937.31
				4870 ORMOND 12/19/25-01/21/26	921.003	336	282.40
				7422 HIGHLAND 12/19/25-01/21/26	921.001	336	31.05
			Check GEN 98390 Total for Fund 206 FIRE				1,706.80
01/29/2026	GEN	98392	GALLS, LLC	SMITH, A PANTS	744.000	336	61.99
01/29/2026	GEN	98393	HURON VALLEY STATE BANK	LOAN DUE ON 2-11-25	991.000	336	15,576.83
				LOAN DUE ON 2-11-25	992.000	336	2,779.39
				LOAN DUE ON 2-11-26	991.000	336	871.71
				LOAN DUE ON 2-11-26	992.000	336	3,384.73
			Check GEN 98393 Total for Fund 206 FIRE				22,612.66
01/29/2026	GEN	98397*#	NET EXPRESS VOIP	02/01/26-02/28/26 MONTHLY CHARGES	853.001	336	59.90
				02/01/26-02/28/26 MONTHLY CHARGES	853.002	336	34.95
				02/01/26-02/28/26 MONTHLY CHARGES	853.003	336	34.95
				02/01/26-02/28/26 MONTHLY CHARGES	757.000	336	150.00
			Check GEN 98397 Total for Fund 206 FIRE				279.80
01/29/2026	GEN	98398	PHOENIX SAFETY OUTFITTERS	FIRE GLOVES AND HOODS	977.001	336	1,656.66
				STRUCTURAL FIRE BOOTS LANGMAN	977.001	336	3

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Fund: 206 FIRE							
				Vision Insurance Premiums 2026-02-01	716.002	336	7.07
				Vision Insurance Premiums 2026-02-01	716.002	336	13.45
				Vision Insurance Premiums 2026-02-01	716.002	336	7.07
				Vision Insurance Premiums 2026-02-01	716.002	336	13.45
				Vision Insurance Premiums 2026-02-01	716.000	336	7.07
				Vision Insurance Premiums 2026-02-01	716.000	336	7.07
				Vision Insurance Premiums 2026-02-01	716.000	336	13.45
				Vision Insurance Premiums 2026-02-01	716.000	336	13.45
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	7.07
				Vision Insurance Premiums 2026-02-01	716.000	336	13.45
				Vision Insurance Premiums 2026-02-01	716.000	336	7.07
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	7.07
				Vision Insurance Premiums 2026-02-01	716.000	336	13.45
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	7.07
				Vision Insurance Premiums 2026-02-01	716.000	336	13.45
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Vision Insurance Premiums 2026-02-01	716.000	336	19.75
				Check GEN 98413 Total for Fund 206 FIRE			884.40
Total For Fund: 206							269,399.03
Fund: 207 POLICE							
01/14/2026	GEN	1230149(E)*	MERS	DEC MERS CONTRIBUTION	718.000	301	52,015.04
				DEC MERS CONTRIBUTION	718.000	301	28,917.18
				DEC MERS CONTRIBUTION	231.001	000	19,400.70
				Check GEN 1230149(E) Total for Fund 207 POLICE			100,332.92
01/08/2026	GEN	98202	1ST HEATING & COOLING CO	PD FURNACE REPAIRS	931.001	301	210.37
01/08/2026	GEN	98203	ABC PRINTING	PERSONAL PROPERTY FORMS	757.000	301	326.00
01/08/2026	GEN	98206*#	AMAZON	THUMB DRIVE	727.000	301	61.96
				FLASHDRIVES	727.000	301	27.98
				Check GEN 98206 Total for Fund 207 POLICE			89.94
01/08/2026	GEN	98207	ARMOREX	PD, CLOROX WIPES, TOILET TISSUE	931.001	301	298.26
01/08/2026	GEN	98208	AUTO-TECH COLLISION CENTER INC.	REPAIRS TO VEHICLE	863.001	301	7,168.48
01/08/2026	GEN	98210*#	BCBS OF MICHIGAN	01/01/26-01/31/26 MEDICARE ADV PLAN	716.001	301	6,682.08
01/08/2026	GEN	98213	BROWNING SURVEILLANCE COMPANY	INSTALL CAMERA AND SOFTWARE	934.000	301	1,517.58
01/08/2026	GEN	98219	DARWEL ENTERPRISES LLC	PD, MONTHLY CHARGES	931.001	301	119.92

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Fund: 207 POLICE							
01/08/2026	GEN	98220	DENISE AMBER LEE FOUNDATION	(2) A VICTIM'S PLEA-KAZOO	960.002	301	500.00
01/08/2026	GEN	98226*#	EQUITABLE FINANCIAL LIFE INS COMP	JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	301	306.15
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	301	1,592.22
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	232.002	000	612.84
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	301	3,781.32
			Check GEN 98226 Total for Fund 207 POLICE				6,292.53
01/08/2026	GEN	98230	FLOCK SAFETY	FLOCK SAFETY LPR, FKA FALCON	977.000	301	20,000.00
01/08/2026	GEN	98235	MACP	ACCREDITED AGENCY CALEA FEE	977.003	301	1,000.00
01/08/2026	GEN	98238	MCDONALD'S	PRISONER MEALS	962.001	301	52.00
01/08/2026	GEN	98239	MEADOWS AUTOMOTIVE WHITE LAKE	21-5 OIL CHANGE, FILTER, INSPECT	863.001	301	93.39
01/08/2026	GEN	98240*#	METRO DETROIT INTEGRATED SYSTEMS	CCTV CABLING, PAGING SYSTEM WITH 15 CEILING SPEAKERS, 17	977.000	301	1,603.41
				CCTV CABLING, PAGING SYSTEM WITH 15 CEILING SPEAKERS, 17	977.000	301	10,254.86
			Check GEN 98240 Total for Fund 207 POLICE				11,858.27
01/08/2026	GEN	98241	STATE OF MICHIGAN (FEDERAL ID #38-	ENDING REGISTRATION DATE 12/31/25	805.000	301	90.00
01/08/2026	GEN	98242*	MUTUAL OF OMAHA	JANUARY PREMIUMS	232.002	000	302.63
01/08/2026	GEN	98243*#	NET EXPRESS VOIP	JANUARY SERVICES	853.000	301	144.75
				JANUARY SERVICES	757.000	301	150.00
				FAXBRIDGE UPDATE AND INSTALL	853.000	301	710.58
				FAXBRIDGE UPDATE AND INSTALL	757.000	301	0.00
			Check GEN 98243 Total for Fund 207 POLICE				1,005.33
01/08/2026	GEN	98244	OAKLAND COUNTY	RADIO COM PARTS	863.001	301	178.80
				RADIO COM PARTS	863.001	301	420.60
			Check GEN 98244 Total for Fund 207 POLICE				599.40
01/08/2026	GEN	98245	OAKLAND COMMUNITY COLLEGE	STOGDILL, RIGHT OF BANG	960.002	301	225.00
01/08/2026	GEN	98253	STAR EMS	BLOOD DRAW-FELUEF, ADAM	962.003	301	100.00
01/08/2026	GEN	98255	TRANSUNION RISK AND ALTERNATIVE DA	DECEMBER MONTHLY CHARGES	962.001	301	125.00
01/08/2026	GEN	98261	VC3 INC	ADV EMAIL SECURITY BUNDLE	818.000	301	161.25
				DOMAIN INTERGRATED MULIT-FACTOR AUTHENTICATION (45)	818.000	301	135.00
			Check GEN 98261 Total for Fund 207 POLICE				296.25
01/08/2026	GEN	98263*#	WEX BANK	DECEMBER 2025 GAS CHARGES	867.000	301	5,092.93
01/08/2026	GEN	98271*#	EQUITABLE FINANCIAL LIFE INS COMP	AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	301	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	232.002	000	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	301	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	301	0.00
			Check GEN 98271 Total for Fund 207 POLICE				0.00
01/15/2026	GEN	98276*#	ALERUS FINANCIAL	01/14/26 MERS 457 CONTRIBUTIONS	231.001	000	2,994.76
				01/14/26 MERS 457 CONTRIBUTIONS	718.002	301	2,334.27
			Check GEN 98276 Total for Fund 207 POLICE				5,329.03
01/15/2026	GEN	98277*#	ALERUS FINANCIAL	H CSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				H CSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	100.00

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Fund: 207 POLICE							
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	302.19
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	282.93
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	410.20
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	240.34
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	240.34
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	240.34
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	277.02
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	443.00
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	312.61
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	222.32
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	255.82
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	280.78
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	302.19
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	208.31
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	211.89
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	301	356.68
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	259.02
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	178.55
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	259.02
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	190.56
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	240.67
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	181.62
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	267.95
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	379.71
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	237.45
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	206.01
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	206.01

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Fund: 207 POLICE								
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	351.60	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	242.51	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	206.01	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	219.27	
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	232.005	000	305.73	
			Check GEN 98277 Total for Fund 207 POLICE					17,892.39
01/15/2026	GEN	98283*#	BLUE CARE NETWORK	02/01/26-02/28/26 HMO PREMIUMS	716.000	301	1,934.39	
01/15/2026	GEN	98285*#	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 GENERAL TWP	716.000	301	4,722.40	
01/15/2026	GEN	98287*#	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 GENERAL RETIREES	716.000	301	2,361.20	
01/15/2026	GEN	98288	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 COMMAND ACTIVE	716.000	301	13,694.97	
01/15/2026	GEN	98289	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 COMMAND RETIREE	716.001	301	6,139.12	
01/15/2026	GEN	98290	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 POLICE ACTIVE	716.000	301	43,446.07	
01/15/2026	GEN	98291	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 PATROL RETIREE	716.001	301	17,787.72	
01/15/2026	GEN	98299*#	COMCAST	01/22/26-02/21/26 TWP MONTHLY CH ARGES	757.000	301	118.46	
01/15/2026	GEN	98314*#	MEADOWS AUTOMOTIVE WHITE LAKE	21-5, BAL DUE	863.001	301	41.94	
				2022 DURANGO #136749 OIL CHGE	863.001	301	93.39	
				2022 DURANGO #136747 OIL CHGE	863.001	301	93.39	
				2024 DURANGO #245202 OIL CHAGE	863.001	301	93.39	
				2022 DURANGO #136747 GENERAL MTCE	863.001	301	98.64	
			Check GEN 98314 Total for Fund 207 POLICE					420.75
01/15/2026	GEN	98315	MICHELLE PAYNE	PAYNE, REIMBURSE FOR MEALS	960.002	301	39.13	
01/15/2026	GEN	98317	OAKLAND COMMUNITY COLLEGE	BOHEZ, TERRY ADV POLICE TRNG	960.000	301	800.00	
01/15/2026	GEN	98322	PRIORITY ONE EMERGENCY	21-1 #721381 REPLACE UNITY SPOTLIGHT	863.001	301	215.48	
				21-7 #558808 REPLACE UNITY SPOTLIGHT HANDLE	863.001	301	53.23	
				21-5 #558809 REPLACE UNITY SPOTLIGHT HANDLE	863.001	301	53.23	
			Check GEN 98322 Total for Fund 207 POLICE					321.94
01/15/2026	GEN	98324	RICOH USA INC.	PD, MONTHLY CHARGES	933.000	301	150.87	
01/15/2026	GEN	98325	ROSATI, SCHULTZ, JOPPICH	DECEMBER PROSECUTIONS	826.000	301	8,333.33	
01/15/2026	GEN	98326*#	SMART BUSINESS SOURCE	PAPER	727.000	301	247.63	
01/15/2026	GEN	98328	STAR EMS	THOMAS, B BLOOD ALCOHOL DRAW	962.003	301	100.00	
01/15/2026	GEN	98329	STATE OF MICHIGAN (FEDERAL ID #38-	SAUNDERS, WOMEN IN LAW ENFORCEMENT	960.000	301	325.00	
01/15/2026	GEN	98330	VC3 INC	2025 CO TERM ANNUAL BILLING	818.000	301	8,074.00	
				JANUARY PROOFPOINT MONTHLY BILLING	818.000	301	161.25	
				JANUARY MICROSOFT OFC 365	818.000	301	1,020.00	
			Check GEN 98330 Total for Fund 207 POLICE					9,255.25
01/22/2026	GEN	98341*#	AMAZON	MOUSE, POST ITS	727.000	301	38.05	

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Fund: 207 POLICE							
				PD, RECEIPT BOOKS	727.000	301	55.74
				RETURNS	727.000	301	(47.96)
			Check GEN 98341 Total for Fund 207 POLICE				45.83
01/22/2026	GEN	98343	AT&T MOBILITY	JANUARY CHARGES	853.000	301	545.06
01/22/2026	GEN	98345	AXON ENTERPRISE, INC.	FLEET 2 STANDARD - YEAR 2	933.000	301	19,274.26
01/22/2026	GEN	98346*#	BCBS OF MICHIGAN	02/01/26-2/28/26 MEDICARE ADV PLAN	716.001	301	6,682.08
01/22/2026	GEN	98349*#	BRILLIANT SYSTEMS LLC	NETWORK DESIGN AND COMM CONSULTING	977.000	301	0.00
01/22/2026	GEN	98350	CASPER CORPORATION	PD, RACKS, LOCKERS, SHELVING	977.000	301	146,141.44
				PD, LOCKERS	977.000	301	13,671.88
			Check GEN 98350 Total for Fund 207 POLICE				159,813.32
01/22/2026	GEN	98351*#	DARWEL ENTERPRISES LLC	PD, MONTHLY CHARGES	931.001	301	119.92
01/22/2026	GEN	98353*#	EQUITABLE FINANCIAL LIFE INS COMP	FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	301	306.15
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	301	1,592.22
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	232.002	000	612.84
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	301	3,750.76
			Check GEN 98353 Total for Fund 207 POLICE				6,261.97
01/22/2026	GEN	98355	KOLLEEN HENDIN	HENDIN, REIMBURSE FOR MEALS	960.002	301	43.70
01/22/2026	GEN	98358	MEADOWS AUTOMOTIVE WHITE LAKE	2018 FORD F150 REPLACE STARTER	863.001	301	1,987.32
01/22/2026	GEN	98361	MOTOROLA SOLUTIONS INC	YEARLY RENEWAL	933.000	301	3,060.00
01/22/2026	GEN	98362	OAKLAND COUNTY	CLEMIS OCT-DEC USAGE FEES	933.000	301	7,631.50
01/22/2026	GEN	98364	ON DUTY GEAR LLC	(1) AE-RAZORITRAVLAPD VEST	977.000	301	1,105.00
01/22/2026	GEN	98369	SE MICH ASSOC OF CHIEFS OF POLICE	2026 MEMBERSHIP RENEWAL	958.000	301	75.00
01/22/2026	GEN	98370	STAR EMS	BLOOD DRAW-HORTON, J	962.003	301	100.00
01/22/2026	GEN	98371	STATE OF MICHIGAN	DEMARAY WOMEN IN LAW ENFORCEMENT	960.004	301	325.00
01/22/2026	GEN	98376*#	WATER DEPOT	PD, MONTHLY CHARGES	931.001	301	54.25
01/22/2026	GEN	98377	RICOH	PD, MONTHLY CHARGES	933.000	301	131.79
01/29/2026	GEN	98380*#	ALERUS FINANCIAL	01/28/26 MERS 457 CONTRIBUTIONS	231.001	000	2,976.93
				01/28/26 MERS 457 CONTRIBUTIONS	718.002	301	2,334.27
			Check GEN 98380 Total for Fund 207 POLICE				5,311.20
01/29/2026	GEN	98396	NATIONAL TRANSPORTATION SAFETY	2026 MEMBERSHIP DUES	958.000	301	400.00
01/29/2026	GEN	98397*#	NET EXPRESS VOIP	02/01/26-02/28/26 MONTHLY CHARGES	853.000	301	144.75
				02/01/26-02/28/26 MONTHLY CHARGES	757.000	301	150.00
			Check GEN 98397 Total for Fund 207 POLICE				294.75
01/29/2026	GEN	98401	STATE OF MICHIGAN	SNOW-WOMEN IN LAW ENFORCEMENT	960.004	301	325.00
01/29/2026	GEN	98405	VC3 INC	MERCHANT SERVICES	818.000	301	103.04
01/29/2026	GEN	98413*#	FIDELITY SECURITY LIFE INS/EYEMED	VISION INSURANCE PREMIUMS JANAURY 2025	716.000	301	13.45
				VISION INSURANCE PREMIUMS JANAURY 2025	716.000	301	(7.07)

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Fund: 208 PARKS AND RECREATION FUND							
01/22/2026	GEN	98341*#	AMAZON	DECORATIONS, UNIFORM ITEMS	720.000	000	314.73
01/21/2026	GEN	98378	CORTIS BROTHERS TRUCKING &	STANLEY PARK IMPROVEMENTS	973.001	000	94,165.24
01/29/2026	GEN	98407	DTE ENERGY	12/11/25-01/09/26 HAWLEY PARK	921.000	000	20.62
				12/11/25-01/09/26 VETTER PARK	921.001	000	75.02
Check GEN 98407 Total for Fund 208 PARKS AND RECREATION FUND							95.64
Total For Fund: 208							109,955.62
Fund: 226 RUBBISH FUND							
01/08/2026	GEN	98270	PRIORITY WASTE LLC	01/01/26-01/31/26 CURBSDE SERVICES	801.000	528	208,874.90
Total For Fund: 226							208,874.90
Fund: 249 BUILDING DEPARTMENT FUND							
01/14/2026	GEN	1230149(E)*	MERS	DEC MERS CONTRIBUTION	718.000	000	3,067.87
				DEC MERS CONTRIBUTION	231.001	000	954.78
Check GEN 1230149(E) Total for Fund 249 BUILDING DEPARTMENT FUND							4,022.65
01/08/2026	GEN	98210*#	BCBS OF MICHIGAN	01/01/26-01/31/26 MEDICARE ADV PLAN	716.001	000	417.63
01/08/2026	GEN	98226*#	EQUITABLE FINANCIAL LIFE INS COMP	JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	000	23.55
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	000	118.55
				JAN 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	000	309.88
Check GEN 98226 Total for Fund 249 BUILDING DEPARTMENT FUND							451.98
01/08/2026	GEN	98228	FIRE SAVVY CONSULTANTS	SPRINKLER REVIEW BURLINGTON	801.000	000	1,000.00
				FIRE ALARM SYSTEM PLAN REVIEW	801.000	000	900.00
Check GEN 98228 Total for Fund 249 BUILDING DEPARTMENT FUND							1,900.00
01/08/2026	GEN	98242*	MUTUAL OF OMAHA	JANUARY PREMIUMS	232.008	000	264.00
01/08/2026	GEN	98243*#	NET EXPRESS VOIP	JANUARY SERVICES	853.000	000	34.95
				JANUARY SERVICES	971.000	000	150.00
				FAXBRIDGE UPDATE AND INSTALL	853.000	000	0.00
				FAXBRIDGE UPDATE AND INSTALL	971.000	000	0.00
Check GEN 98243 Total for Fund 249 BUILDING DEPARTMENT FUND							184.95
01/08/2026	GEN	98260*#	U.S. BANK EQUIPMENT FINANCE	12/20/25-01/20/26 MONTHLY CHARGES	971.000	000	327.55
01/08/2026	GEN	98263*#	WEX BANK	DECEMBER 2025 GAS CHARGES	867.000	000	130.79
01/08/2026	GEN	98271*#	EQUITABLE FINANCIAL LIFE INS COMP	AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	717.000	000	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	716.000	000	0.00
				AMT DUE FROM REVISED OCT INV FOR LIFE, ST/LT DISABILITY,	724.000	000	0.00
Check GEN 98271 Total for Fund 249 BUILDING DEPARTMENT FUND							0.00
01/15/2026	GEN	98276*#	ALERUS FINANCIAL	01/14/26 MERS 457 CONTRIBUTIONS	231.001	000	450.00
				01/14/26 MERS 457 CONTRIBUTIONS	718.003	000	52.88
Check GEN 98276 Total for Fund 249 BUILDING DEPARTMENT FUND							502.88
01/15/2026	GEN	98277*#	ALERUS FINANCIAL	HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	000	100.00
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	000	100.00
				HCSP EMPLOYER, EMPLOYEE AND VOLUNTARY CONTRIBUTIONS	718.001	000	100.00
Check GEN 98277 Total for Fund 249 BUILDING DEPARTMENT FUND							300.00

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Fund: 249 BUILDING DEPARTMENT FUND								
01/15/2026	GEN	98280	ANTHONY SORGE INSPECTIONS, LLC	12/29/25-12/30/25 BUILDING INSPECTIONS	706.003	000	920.00	
				01/02/26-01/06/26 BUILDING INSPECTIONS	706.003	000	1,360.00	
		Check GEN 98280 Total for Fund 249 BUILDING DEPARTMENT FUND						2,280.00
01/15/2026	GEN	98285*#	BLUE CROSS BLUE SHIELD OF MICHIGAN	02/01/26-02/28/26 GENERAL TWP	716.000	000	6,611.37	
01/15/2026	GEN	98299*#	COMCAST	01/22/26-02/21/26 TWP MONTHLY CH ARGES	971.000	000	93.38	
01/15/2026	GEN	98303	DAVID HILLS	12/29/25-12/30/25 BUILDING INSPECTIONS	706.003	000	320.00	
				01/06/26 BUILDING INSPECTIONS	706.003	000	75.00	
				01/06/26 BUILDING INSPECTIONS	801.002	000	200.00	
		Check GEN 98303 Total for Fund 249 BUILDING DEPARTMENT FUND						595.00
01/15/2026	GEN	98308	INSPECTION SERVICES BY SAH	12/30/25 MECHANICAL INSPECTIONS	707.001	000	954.90	
				01/06/26-01/08/26 MECHANICAL INSPECTIONS	707.001	000	1,674.90	
		Check GEN 98308 Total for Fund 249 BUILDING DEPARTMENT FUND						2,629.80
01/15/2026	GEN	98311	KYLE PATTON	REFUND BULDING PERMIT	477.000	000	167.40	
01/15/2026	GEN	98313	MARK CARLSON	12/30/25 ELECTRICAL INSPECTIONS	707.000	000	198.00	
				01/06/26-01/08/26 ELECTRICAL INSPECTIONS	707.000	000	900.00	
		Check GEN 98313 Total for Fund 249 BUILDING DEPARTMENT FUND						1,098.00
01/15/2026	GEN	98326*#	SMART BUSINESS SOURCE	PAPER	727.000	000	70.74	
01/15/2026	GEN	98331*#	VERIZON WIRELESS	12/02/25-01/01/26 MONTHLY CHARGES	853.000	000	76.49	
01/22/2026	GEN	98346*#	BCBS OF MICHIGAN	02/01/26-2/28/26 MEDICARE ADV PLAN	716.001	000	417.63	
01/22/2026	GEN	98353*#	EQUITABLE FINANCIAL LIFE INS COMP	FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	717.000	000	23.55	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	716.000	000	118.55	
				FEB 2026 LIFE, ST/LT DISABILITY, VOLUNTEER LIFE	724.000	000	309.88	
		Check GEN 98353 Total for Fund 249 BUILDING DEPARTMENT FUND						451.98
01/22/2026	GEN	98354	FIRE SAVVY CONSULTANTS	PLAN REVIEW DAVE & AMYS	801.000	000	400.00	
01/22/2026	GEN	98373*#	ULLIANCE, INC	QUARTERLY LIFE ADVISOR EMP ASST PLAN (36) GEN	716.000	000	25.65	
01/29/2026	GEN	98379*#	ABC PRINTING	BUSINESS CARDS FILIPIAK, K	757.000	000	65.00	
01/29/2026	GEN	98380*#	ALERUS FINANCIAL	01/28/26 MERS 457 CONTRIBUTIONS	231.001	000	450.00	
				01/28/26 MERS 457 CONTRIBUTIONS	718.003	000	52.88	
		Check GEN 98380 Total for Fund 249 BUILDING DEPARTMENT FUND						502.88
01/29/2026	GEN	98381	ANTHONY SORGE INSPECTIONS, LLC	01/10/26-01/23/26 BUILDING INSPECTIONS	706.003	000	440.00	
01/29/2026	GEN	98387	DAVID HILLS	01/10/26-01/23/26 BULDING INSPECTIONS	706.003	000	1,039.50	
				01/10/26-01/23/26 BULDING INSPECTIONS	801.002	000	40.00	
				01/10/26-01/23/26 BULDING INSPECTIONS	706.004	000	55.00	
		Check GEN 98387 Total for Fund 249 BUILDING DEPARTMENT FUND						1,134.50
01/29/2026	GEN	98389	DLZ MICHIGAN, INC.	897 PRESERVE LANE PLOT PLAN REVIEW	801.000	000	250.00	
				891 PRESERVE LANE PLOT PLAN REVIEW	801.000	000	250.00	
				825 PRESERVE LANE PLOT PLAN REVIEW	801.000	000	250.00	
		Check GEN 98389 Total for Fund 249 BUILDING DEPARTMENT FUND						750.00
01/29/2026	GEN	98391	FOUNDATION SYSTEMS OF MI	1900 MEAD PERMIT CANCELLATION	477.000	000	145.80	

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Check Date	Bank Account	Check #	Payee	Description	Account	Dept	Amount
Fund: 249 BUILDING DEPARTMENT FUND							
01/29/2026	GEN	98394	INSPECTION SERVICES BY SAH	01/10/26-01/23/26 MECHANICAL INSPECTIONS	707.001	000	2,911.20
01/29/2026	GEN	98395	MARK CARLSON	01/10/26-01/23/26 ELECTRICAL INSPECTIONS	707.000	000	1,041.90
01/29/2026	GEN	98397*#	NET EXPRESS VOIP	02/01/26-02/28/26 MONTHLY CHARGES	853.000	000	34.95
				02/01/26-02/28/26 MONTHLY CHARGES	971.000	000	150.00
			Check GEN 98397 Total for Fund 249 BUILDING DEPARTMENT FUND				184.95
01/29/2026	GEN	98413*#	FIDELITY SECURITY LIFE INS/EYEMED	VISION INSURANCE PREMIUMS JANAURY 2025	716.000	000	7.07
				VISION INSURANCE PREMIUMS JANAURY 2025	716.000	000	13.45
				VISION INSURANCE PREMIUMS JANAURY 2025	716.000	000	19.75
				VISION INSURANCE PREMIUMS JANAURY 2025	716.000	000	19.75
				Vision Insurance Premiums 2026-02-01	716.000	000	7.07
				Vision Insurance Premiums 2026-02-01	716.000	000	13.45
				Vision Insurance Premiums 2026-02-01	716.000	000	19.75
				Vision Insurance Premiums 2026-02-01	716.000	000	19.75
			Check GEN 98413 Total for Fund 249 BUILDING DEPARTMENT FUND				120.04
Total For Fund: 249							30,716.14
Fund: 590 SEWER FUND							
01/08/2026	SEWFD	4225	DLZ MICHIGAN, INC.	CWSRF SEWER LINING	158.000	000	742.50
				ROUND LAKE SANITARY EXTENSION	158.001	000	5,170.00
			Check SEWFD 4225 Total for Fund 590 SEWER FUND				5,912.50
01/15/2026	SEWFD	4226	COMMERCE TOWNSHIP	DECEMBER 2025 CONNECTIONS	969.000	000	14,688.00
01/22/2026	SEWFD	4227	ROSATI, SCHULTZ, JOPPICH	SEWER-MONTHLY CHARGES	801.000	000	1,472.50
01/29/2026	SEWFD	4228	SUPERIOR EXCAVATING, INC	ROUND LAKE ROAD SANITARY SEWER PROJECT	158.001	000	330,749.63
Total For Fund: 590							352,822.63
Fund: 591 WATER							
01/08/2026	WAT	8727	AQUATEST	BACTERIA TESTING	748.000	000	196.00
01/08/2026	WAT	8728	CONSUMERS ENERGY	11/21/25-12/18/25 9164 STEEPHOLLOW	923.001	000	286.10
				11/21/25-12/18/25 6260 GRASS LK RD	923.004	000	434.56
				11/22/25-12/19/25 8935 SATELITE	923.005	000	110.49
				11/23/25-12/22/25 8208 FOX BAY	923.002	000	68.78
			Check WAT 8728 Total for Fund 591 WATER				899.93
01/08/2026	WAT	8729	DTE ENERGY	11/15/25-12/17/25 6260 GRASS LAKE	921.006	000	3,603.58
01/08/2026	WAT	8730	EAGLE GRAPHICS & DESIGN	VINYL SPOT WRAP	863.000	000	650.00
01/08/2026	WAT	8731	HYDROCORP	DECEMBER INSP AND REPORTING	818.000	000	277.68
01/08/2026	WAT	8732	USA BLUEBOOK	LIFTLING SLING	755.000	000	307.90
				HACH OXYGEN HR	748.000	000	417.96
			Check WAT 8732 Total for Fund 591 WATER				725.86
01/15/2026	WAT	8733	ABC PRINTING	4QTR WATER BILLS	818.000	000	299.00
01/15/2026	WAT	8734	APPLIED INNOVATION	DPS, MONTHLY CHARGES	727.000	000	147.18
01/15/2026	WAT	8735	AQUATEST	COLIFORM BACTERIA TESTS	748.000	000	168.00

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Fund: 591 WATER								
01/15/2026	WAT	8736	ULINE SHIPPING SUPPLY	TYVEK COVERALL W/HOOD	744.000	000	250.23	
01/22/2026	WAT	8737	CEC CONTROLS	SUPPORT AND MAINT CONTRACT APPRD 9/16/25	818.000	000	920.00	
01/22/2026	WAT	8738	DRAGON UNDERGROUND LLC	MONTHLY SERVICES	818.000	000	473.00	
01/22/2026	WAT	8739	DTE ENERGY	993 N WILLIAMS 12/10/25-01/08/26	921.010	000	27.74	
				6055 HIGHLAND RD 12/11/25-01/09/26	921.007	000	202.41	
				145 HURONDALE 12/11/25-01/09/26	921.008	000	588.83	
				8935 SATELITE DR 12/11/25-01/09/26	921.004	000	1,704.45	
				8208 FOX BAY 12/11/25-01/09/26	921.002	000	1,620.33	
				9164 STEEPHOLLOW 12/11/25-01/09/26	921.001	000	465.54	
				8906 HURON BLUFFS 12/11/25-01/09/26	921.001	000	767.89	
				360 WOODSEGE 12/11/25-01/09/26	921.000	000	50.29	
			Check WAT 8739 Total for Fund 591 WATER					5,427.48
01/22/2026	WAT	8740	MUNICIPAL EMERGENCY SERVICES	FILTER	744.000	000	67.50	
01/22/2026	WAT	8741	SEILER INSTRUMENT & MFG. CO. INC.	CONDUCTIVE CLIPS	755.000	000	98.28	
01/22/2026	WAT	8742	WHITE LAKE TOWNSHIP	REIMBURSE FOR DEC SERVICES	214.101	000	75,629.36	
01/29/2026	WAT	8743	CORE & MAIN	K81A UPPER BARREL, NOZZLE	934.000	000	1,605.98	
01/29/2026	WAT	8744	USA BLUEBOOK	HYDRANT COLLISION REPAIR KIT	934.000	000	593.46	
				CL2 REPLACEMENT GASKET KIT	744.000	000	313.16	
				INJECTION VALVES, TUBING	931.000	000	796.47	
			Check WAT 8744 Total for Fund 591 WATER					1,703.09
Total For Fund: 591							93,142.15	
Fund: 701 TRUST & AGENCY								
01/08/2026	TNA	16056	DLZ MICHIGAN, INC.	1326 BLUE RIDGE PARKWAY SEWER DESIGN	284.006	000	650.00	
				CRANBERRY LK WATER CONNECTION	286.478	000	427.50	
			Check TNA 16056 Total for Fund 701 TRUST & AGENCY				1,077.50	
01/08/2026	TNA	16057	PROGRESSIVE AE	ROUND LK-SERVICES THRU 12/26/25	250.006	000	3,375.00	
01/08/2026	TNA	16058	SOLBERG KNOWLES & ASSOCIATES	8587/8615 PONTIAC LK GRINDER STATION	284.006	000	17,184.80	
01/08/2026	TNA	16059	WHITE LAKE TOWNSHIP	TRANSFER DEPOSIT TO P/R-BENCH PURCHASE	284.000	000	1,000.00	
01/15/2026	TNA	16060	CARLISLE WORTMAN ASSOCIATES INC	ADMIN SETUP	286.486	000	45.00	
				SITE PLAN REVIEW	286.362	000	375.00	
				NOTES PREP FOR PC MEETING	286.455	000	250.00	
				REVIEW OF APPLICATION	286.482	000	937.50	
			Check TNA 16060 Total for Fund 701 TRUST & AGENCY				1,607.50	
01/15/2026	TNA	16061	EDWARD NABOZNY	MEADOW LK-REIMBURSE FOR DIESEL FUEL	250.012	000	149.03	
01/15/2026	TNA	16062	O.C.W.R.C.	DECEMBER SEWER INSPECTIONS	287.005	000	600.00	
01/22/2026	TNA	16063	DTE ENERGY	12/11/25-01/09/26 LAKE ONA	250.010	000	18.25	
				12/11/25-01/09/26 LAKE ONA	250.010	000	79.25	
				12/11/25-01/09/26 LAKE ONA	250.010	000	9.75	
				12/11/25-01/09/26 LAKE ONA	250.010	000	18.25	
			Check TNA 16063 Total for Fund 701 TRUST & AGENCY				125.50	

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Fund: 701 TRUST & AGENCY							
01/22/2026	TNA	16064	DTE ENERGY	12/11/25-01/09/26 GRASS LAKE	250.005	000	18.25
01/22/2026	TNA	16065	DTE ENERGY	1287 GROVE PT 12/12/25-01/12/26 ROUND LK	250.006	000	18.25
01/22/2026	TNA	16066	JANELLE DRIVER	DRIVER, RETURN SECURITY DEPOSIT	283.000	000	200.00
01/22/2026	TNA	16067	ROSATI, SCHULTZ, JOPPICH	PUD AGREEMENT	286.455	000	1,035.00
01/26/2026	TNA	16068	48TH DISTRICT COURT	BOND-LAMARUS DAJAUN GHEE	287.002	000	3,000.00
01/26/2026	TNA	16069	50TH DISTRICT COURT	BOND-LAMARUS DAJAUN GHEE	287.002	000	298.00
01/26/2026	TNA	16070	52-3RD DISTRICT COURT	BOND-LAMARUS DAJAUN GHEE	287.002	000	1,605.00
01/26/2026	TNA	16071	52-3RD DISTRICT COURT	BOND-LAMARUS DAJAUN GHEE	287.002	000	500.00
01/26/2026	TNA	16072	52-3RD DISTRICT COURT	BOND-LAMARUS DAJAUN GHEE	287.002	000	365.00
01/29/2026	TNA	16073	CARLISLE WORTMAN ASSOCIATES INC	AVALON, FSP REVIEW	286.455	000	625.00
				JAX CAR WASH PSP	286.485	000	312.50
				TRACTOR SUPPLY SLU REVIEW	286.362	000	562.50
				EDENDALE CROSSING PSP, PUD	286.482	000	935.00
			Check TNA 16073 Total for Fund 701 TRUST & AGENCY				2,435.00
01/29/2026	TNA	16074	DLZ MICHIGAN, INC.	ALL WASHED UP PSP REVIEW	286.486	000	1,117.50
				CULVERS PSP REVIEW	286.473	000	258.75
				WHITE LK HILL PRELIM SITE PLAN REVIEW	286.455	000	3,322.50
				WEST VALLEY SERVICES THRU 01/09/26	286.410	000	3,884.00
			Check TNA 16074 Total for Fund 701 TRUST & AGENCY				8,582.75
01/29/2026	TNA	16075	OAKLAND COUNTY	1306 BLUE RIDGE PARKWAY GRINDER PUMP EASEMENT	284.006	000	30.00
01/29/2026	TNA	16076	DTE ENERGY	MANDON LAKE MONTHLY CHARGES	250.013	000	37.66
			Total For Fund: 701				43,244.24
Fund: 703 CURRENT TAX							
01/14/2026	TAX	6923	CORELOGIC TAX SERVICES	2025 Win Tax Refund Y -12-04-376-007	385.005	000	253.89
				2025 Win Tax Refund Y -12-15-401-008	385.005	000	2,202.95
				2025 Win Tax Refund Y -12-22-227-006	385.005	000	830.39
				2025 Win Tax Refund Y -12-23-178-035	385.005	000	253.89
				2025 Win Tax Refund Y -12-24-352-007	385.005	000	1,107.83
				2025 Win Tax Refund Y -12-25-279-005	385.005	000	2,350.57
				2025 Win Tax Refund Y -12-26-479-031	385.005	000	1,083.12
				2025 Win Tax Refund Y -12-35-279-039	385.005	000	1,136.69
				2025 Win Tax Refund Y -12-36-427-010	385.005	000	1,988.65
				2025 Win Tax Refund Y -12-07-129-065	385.005	000	1,402.48
				2025 Win Tax Refund Y -12-32-254-002	385.005	000	2,334.51
			Check TAX 6923 Total for Fund 703 CURRENT TAX				14,944.97
01/14/2026	TAX	6924	LERETA, LLC	2025 Win Tax Refund Y -12-18-126-035	385.005	000	512.97
				2025 Win Tax Refund Y -12-18-126-036	385.005	000	512.97
			Check TAX 6924 Total for Fund 703 CURRENT TAX				1,025.94
01/14/2026	TAX	6925	PHILIP CRAIG LIPANSKI	2025 Sum Tax Refund Y -12-32-176-023	385.005	000	4,701.50
				2025 Win Tax Refund Y -12-32-176-023	385.005	000	4,797.80
			Check TAX 6925 Total for Fund 703 CURRENT TAX				9,499.30

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Fund: 703 CURRENT TAX							
01/14/2026	TAX	6926	RAYETTA POLASEK	2025 Sum Tax Refund Y -12-36-326-010	385.005	000	974.90
01/14/2026	TAX	6927	TODD ANGEVINE		384.000	000	147.95
Total For Fund: 703							26,593.06
Fund: 806 CONSTRUCTION FUND							
01/08/2026	CONST	9194	CONSUMERS ENERGY	11/22/25-12/22/25 PUBLIC SAFETY CHARGES	973.007	900	21.00
01/08/2026	CONST	9195	DLZ MICHIGAN, INC.	CIVIC CTR UTILITY INSPECTION	973.006	900	1,155.00
				CIVIC CTR UTILITY INSPECTION	973.007	900	1,155.00
Check CONST 9195 Total for Fund 806 CONSTRUCTION FUND							2,310.00
01/08/2026	CONST	9196	MCCARTHY & SMITH INC. -	NEW TOWNSHIP HALL	973.006	900	1,297,924.36
01/08/2026	CONST	9197	NBS COMMERCIAL INTERIORS	DESIGN SERVICES NOV, DEC	973.006	900	467.50
01/08/2026	CONST	9198	MCCARTHY & SMITH INC. -	CIVIC CENTER FACILITIES CONSTRUCTION MGT	973.007	900	1,352,060.67
				CIVIC CENTER FACILITIES CONSTRUCTION MGT	973.006	900	0.00
				CIVIC CENTER FACILITIES CONSTRUCTION MGT	973.007	900	0.00
				CIVIC CENTER FACILITIES CONSTRUCTION MGT	973.006	900	760,323.00
Check CONST 9198 Total for Fund 806 CONSTRUCTION FUND							2,112,383.67
01/21/2026	CONST	9199	MCCARTHY & SMITH INC. -	CIVIC CENTER FACILITIES - UTILITIES AND SITEWORK - 12/31/	973.007	900	19,498.44
				CIVIC CENTER FACILITIES - UTILITIES AND SITEWORK - 12/31/	973.006	900	19,498.43
Check CONST 9199 Total for Fund 806 CONSTRUCTION FUND							38,996.87
01/22/2026	CONST	9200	BECKETT & RAEDER	PROFESSIONAL SERVICES THRU 12/01/25 CIVIC CT	973.006	900	2,617.50
Total For Fund: 806							3,454,720.90
Report Total:							5,383,348.76

'*'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE FUND

'#'-INDICATES CHECK DISTRIBUTED TO MORE THAN ONE DEPARTMENT

WHITE LAKE TOWNSHIP POLICE DEPARTMENT

JANUARY 2026

DETECTIVE BUREAU SUMMARY						
	Jan-26	Jan-25	% CHG.	YTD 26	YTD 25	% CHG
ARRESTS	0	0	0.0%	0	0	0.0%
WARRANTS ISSUED	17	18	-5.6%	17	18	-5.6%
JUVENILE PETITIONS	1	5	-80.0%	1	5	-80.0%
COURT CASES	0	2	-100.0%	0	2	-100.0%
PRISONERS ARRAIGNED	9	8	12.5%	9	8	12.5%
CASES ASSIGNED	41	54	-24.1%	41	54	-24.1%
CASES CLOSED BY ARREST	52	44	18.2%	52	44	18.2%
CASES CLOSED OTHER	22	32	-31.3%	22	32	-31.3%
UNIFORM DIVISION SUMMARY						
	Jan-26	Jan-25	% CHG.	YTD 26	YTD 25	% CHG
ARRESTS	81	84	-3.6%	81	84	-3.6%
TRAFFIC WARNINGS	249	300	-17.0%	249	300	-17.0%
TICKETS ISSUED	360	310	16.1%	360	310	16.1%
ACCIDENT - PROPERTY DAMAGE	59	39	51.3%	59	39	51.3%
ACCIDENT - PERSONAL INJURY	10	4	150.0%	10	4	150.0%
ACCIDENT - FATAL	0	0	0.0%	0	0	0.0%
ACCIDENT - PRIVATE PROPERTY	17	12	41.7%	17	12	41.7%
CALLS FOR SERVICE	2,007	2,114	-5.1%	2,007	2,114	-5.1%
DISPATCH RUNS	723	692	4.5%	723	692	4.5%


 Daniel T. Keller, Chief of Police

Monthly Summary of Offenses

All Offenses that were Attempted or Completed

CLASS	Description	Jan-26	Jan-25	YTD 2026	YTD 2025	YTD % CHG	ARRESTS			
							ADULT		JUV	
							Jan-26	YTD	Jan-26	YTD
100	Murder / Manslaughter	0	0	0	0	0.0%	0	0	0	0
200	Forcible Sexual Offenses	0	0	0	0	0.0%	0	0	0	0
300	Robbery	0	0	0	0	0.0%	0	0	0	0
400	Assault Offenses	7	3	7	3	133.3%	4	4	1	1
500	Burglary / Home Invasion	0	0	0	0	0.0%	0	0	0	0
600	Larceny Violations	2	4	2	4	-50.0%	0	0	0	0
700	Motor Vehicle Theft	0	0	0	0	0.0%	0	0	0	0
800	Arson	0	0	0	0	0.0%	0	0	0	0
900	Kidnapping / Abduction	0	0	0	0	0.0%	0	0	0	0
GROUP A TOTALS		9	7	9	7	28.6%	4	4	1	1



Fire Department
Charter Township of White Lake

February 2026 Monthly Board Report

Incident Response Breakdown			Activity Summary		
	Jan 26	Jan 25		Jan 26	Jan 25
Medical/Rescue	228	216	Hospital Transports by the Fire Dept.	59	12
Hostile Fires (Structure, Vehicle, Brush, and Other)	4	5	59 transported to Huron Valley 6 Trinity Oakland 5 Henry Ford West Bloomfield 3 Corewell Royal Oak		
Hazardous Conditions	30	4	Public Service Events/Standbys	0	4
Public Service/Other	25	38	Home Fire Safety Inspections(s)	3	0
Uncategorized	0	0	Child seat inspection(s)	1	0
Mutual Aid					
Given	4	1			
	3 Highland 1 Milford				
Received	0	1			
Total Calls for Service:					
	287	263			
YTD Total Run Volume:					
	287	287			

ADMIN:

- 1) The State EMS office has issued our Bennett Bill ALS extension. Thank you to everyone at the County Medical control for their help as well as all of the hard work FF/Medic Bastionell put into the effort.
- 2) We now have a total of fourteen (14) cadets.
- 3) We have interviewed three (3) more staff for part-time positions (including the above) We will be holding off on hiring any more until June. This will give us time to work with



Fire Department

Charter Township of White Lake

- 4) the current group as well as continue to refine our program in time for a June hiring. June will put us on track to have them onboard in time for fall academies.
- 5) The deputy fire chief interviews occurred on February 4th.
- 6) We have begun working on the annual capital asset records with Finance for the audit.
- 7) We are working through the Federal database switchover. This is causing some data reporting issues for many departments.

APPARATUS MAINTENANCE:

- 1) Engine 1: Ladder Rack was working intermittently. Fluid was found to be slightly low. It seems to be working fine currently.
- 2) Engine 1: Ball joint repairs will be scheduled once Engine 2 receives its EMS license from the state of Michigan.

FIRE PREVENTION:

- 1) Annual Life Safety inspections completed: 4
- 2) Re-inspections conducted: 1
- 3) Plan reviews completed: 3
- 4) Fire Suppression Inspections: 2
- 5) Home safety inspections completed: 3
- 6) Events in January:
 - a) January 22 – St. Patrick’s School Cub Scouts – Fire Safety education & station tour.

OPERATIONS:

MAJOR INCIDENTS:

- 1) Several (4) fires were responded to last month.

TRAINING:

- 1) We have four (4) members who successfully passed their Fire Instructor written and practical exam. They are now in the probationary phase where they will be evaluated on their skills over the next several weeks. This is necessary before the state will finalize their certification.
- 2) Four (4) firefighters are in the midst of their Paramedic program
- 3) In-house training for the month included personnel focused heavily on EMS training subjects of Excited Delirium/Restraints, and mandated Bloodborne Pathogens and Exposure Prevention.
- 4) In-house fire topics included "Big Box" incidents, commercial sprinkler systems, and respiratory protection.



Fire Department

Charter Township of White Lake

- 5) Cadets and part-time firefighters were trained on BLS recertification, report writing, and radio training.
- 6) Three (3) new cadets will be going to the Northeast Oakland Fire Academy.
- 7) One (1) member is enrolled in their Fire Officer 2 class.

KUDOS:

- 1) Thank you again to everyone involved in our ALS extension with the state. The County Medical Control Authority was a big help. FF/Medic Bastionell played a key role with his hard work on the paperwork and data reporting requirements the state required.
- 2) Congratulations to Cadets Tranchida and Tschudin for passing their EMT national certifying exams and getting their State of Michigan EMT license. They are now working on their Firefighter I and II academy.

J. David Feichtner
Fire Chief

Trustees

Scott Ruggles
Steve Anderson
Andrea C. Voorheis
Liz Fessler Smith

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

Community Development Department Report

February 2026

Dear Township Board Members,

During the month of January, the department continued its work on several projects. The Civic Center site work is still idle. Hopefully the weather breaks sooner than expected so that the site work and paving can continue. The Public Safety Building now has temporary heat, and Township Hall is still a few weeks away from that point. The few remaining Stanley Park Phase I improvements are planned to begin in April and then finish up by May, ahead of the June grant deadline. The first \$450,000 of the \$500,000 grant for Phase I has been approved for reimbursement and the remaining \$50,000 will be paid out when the remaining work is completed.

There are many active projects in the approval process. The Lasting Impressions project (White Lake Rd. & Coastal Pkwy) slowly continues work on their Final Site Plan. The old Calvary Lutheran church site (M-59 & Sunnybeach Blvd), referred to now as 9101 Highland, appeared before the Planning Commission and was granted revised Special Land Use approval for an additional outdoor eating area, and their Final Site Plan was approved. Final engineering plans are now under review. A residential project called Edendale Crossing (Bogie Lake Rd & Cedar Island Rd.) was considered by the Planning Commission on February 4th and will be on your February agenda for consideration. Tractor Supply is seeking approval for an addition within the garden center (east of the building) and that project is under review. Vertical Bridge is requesting approval for a new cellular tower on Eric Drive (North of Cooley Lake Rd. & East of Ford Rd.) on a site that is approximately 5 acres in size. At the applicant's request, this project was postponed until one of the March Planning Commission meetings, in order to provide further analysis. Finally, Jax Car Wash (Meijer out lot at the Northwest corner of M-59 & Bogie Lake Rd.) received a recommendation for Preliminary Site Plan approval at the December 4th Planning Commission meeting and was tabled by the Board on December 16th pending modifications to the proposed driveway location. Those changes were made and they will be on your February agenda for consideration.

As for approved projects, construction continues at the Preserve at Hidden Lake, Trailside Meadow, Eagles Landing, Elizabeth Trace, and West Valley. The Oakland Harvesters (White Lake Rd & Coastal Pkwy) project continues their site work and (per the owner) has begun construction on their building foundation as well. The Gateway Crossing (SW corner of M-59 & Bogie Lake Rd) and Ginko Storage (White Lake Rd. & Coastal Pkwy) projects held their preconstruction meeting and are moving ahead with site work.

Please find included in this report the permit and inspection activity report for building. If you have any questions or require any additional information from the Community Development Department, please contact us.

Respectfully,

Sean O'Neil

MEMORANDUM

To: White Lake Township Board
From: David Waligora, Senior Planner
Date: February 9, 2026
Subject: January 2026 Parks & Recreation Update

I am excited to be serving White Lake Township in my new role as Senior Planner. Over the past month, I have focused on familiarizing myself with the community and our park system, meeting staff, and beginning to evaluate current operations and identify future opportunities.

Parks and Recreation is currently reviewing bids for portable restroom facilities to support park operations in 2026. Additionally, they will review a quote with Stine Turf and Snow for fertilization applications in all park properties. By prepaying for services now, the Township will realize approximately 5 percent cost savings.

As we move into the warmer months, my goal is to visit every Township park and conduct detailed walk-through inspections. Through this process, I plan to develop a comprehensive inventory of park amenities and assets and complete an honest assessment of their condition and remaining useful life. This will help us better understand our maintenance and replacement responsibilities over the next two to ten years, and help ensure our parks remain safe, functional, and enjoyable for residents.

Presently I am in conversation with a youth baseball league to rent out Hidden Pines three days a week between late April and early July. They have tentatively agreed to stripping and dragging the field. We are excited to work to bring youth sports programming back into our park system!

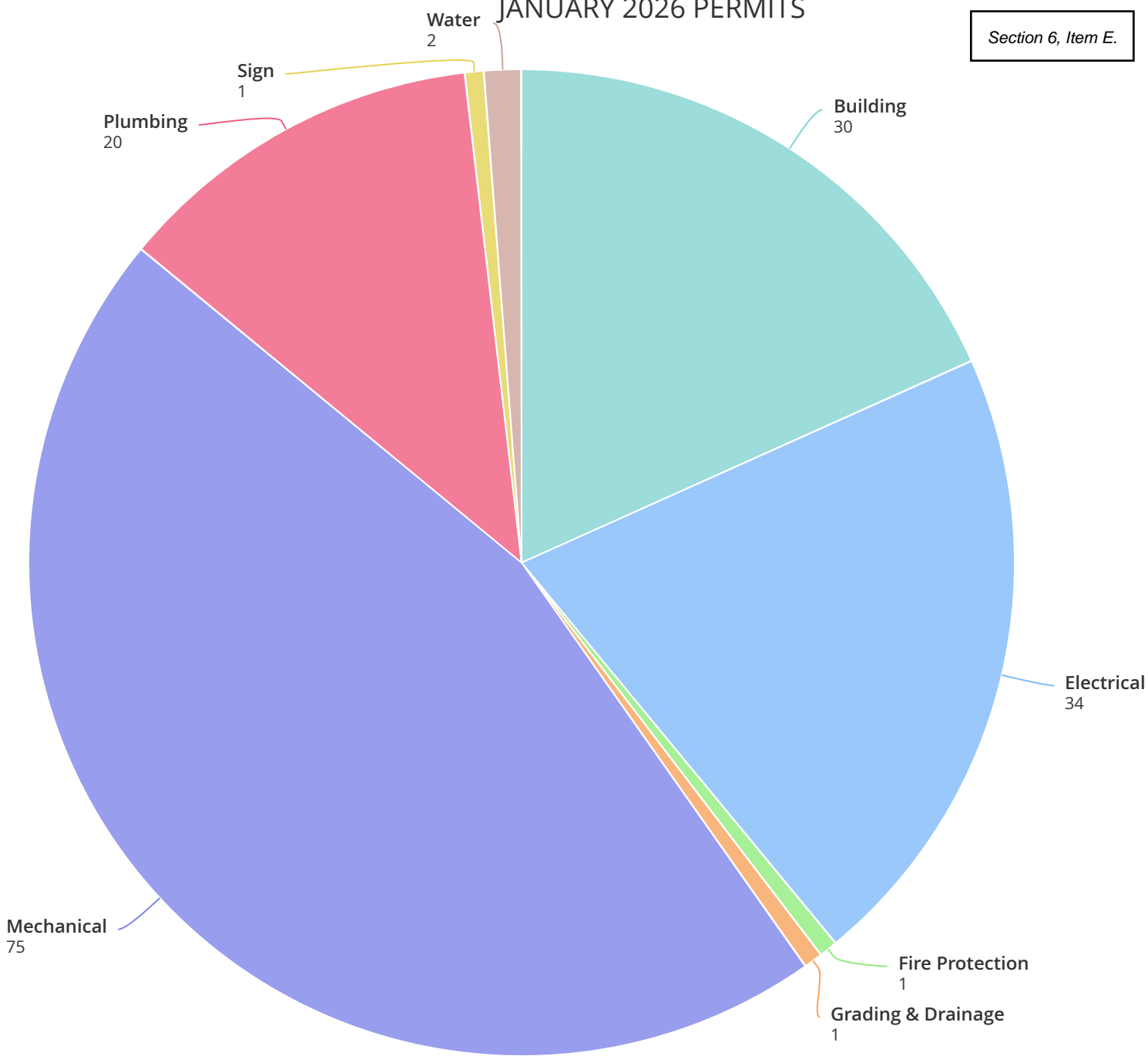
Thank you again for the opportunity to serve White Lake Township. I look forward to continuing to support the Township Board, staff, and residents as we work to strengthen and maintain our parks system.

Respectfully submitted,

David Waligora
Senior Planner
White Lake Township

JANUARY 2026 PERMITS

Section 6, Item E.



PERMIT TYPE NAME TABLE VIEW

- Building
- Electrical
- Fire Protection
- Grading & Drainage
- Mechanical
- Plumbing
- Sign
- Water

CHARTER TOWNSHIP OF WHITE LAKE
DRAFT Minutes of the Special Board of Trustees Meeting
January 15, 2026

CALL TO ORDER

Supervisor Kowall called the meeting to order at 5:00 P.M. He led the Pledge of Allegiance.

ROLL CALL

Clerk Noble called the Roll:

Present:

Rik Kowall, Supervisor
Mike Roman, Treasurer
Anthony L. Noble, Clerk
Scott Ruggles, Trustee
Steve Anderson, Trustee
Andrea Voorheis, Trustee
Liz Smith, Trustee (late arrival at 5:28 P.M.)

Also Present:

Sean O’Neil, Community Development Director
Daniel T. Keller, Chief of Police
Jason Hanifen, Fire Marshal
David Waligora, Senior Planner
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was **MOVED** by Supervisor Kowall, seconded by Clerk Noble to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).

PUBLIC COMMENT

None.

NEW BUSINESS

- A. DISCUSSION REGARDING CHANGE ORDER FOR DEPARTMENT COUNTERTOP MATERIAL IN NEW TOWNSHIP BUILDING AND MILLWORK FOR BOARD ROOM

Supervisor Kowall stated there are costs associated with each department’s service counters at Township Hall. There is an option of using a more expensive solid surface product that will have a longevity of the lifetime of the building, or a laminate product that will be less costly, but may need to be replaced after a decade or so.

Trustee Anderson said he has experience in interior design products and stated that laminate has come a long way.

Trustee Ruggles and Clerk Noble stated they are in favor of laminate.

Treasurer Roman said many visitors to his counter do not place heavy items on it and was in favor of the laminate product.

Trish Pergament, Deputy Supervisor, stated that while a solid surface counter could be more expensive, it will not need to be replaced.

Director O'Neil said if a decision is made on the countertop product selection tonight, it can be processed with the next change order.

Trustee Voorheis agreed with the Board and said laminate will be a good option

It was MOVED by Supervisor Kowall and seconded by Clerk Noble to decline the change to solid surface service countertops and approve the dais as submitted for the new Township Hall. The motion carried with a voice vote: (6 yes votes).

B. REQUEST TO APPROVE A NOT TO EXCEED AMOUNT FOR OWNER PROVIDED ITEMS FOR CIVIC CENTER BUILDINGS

Supervisor Kowall said an equipment list was compiled of items for the Civic Center buildings. The Board discussed the different items and the costs associated with installation and delivery.

Chief Keller added that the dispatch center was built larger than needed to assist with other smaller municipalities. The Police Department would take on dispatch services for other communities as a form of revenue for the Department. The centers and installation for them was included in the equipment list.

It was MOVED by Treasurer Roman, seconded by Supervisor Kowall to approve costs for Owner furniture, Security and Technology costs Township wide, not to exceed Two million and twenty-five thousand dollars. The motion carried with a roll call vote: (7 yes votes). (Smith/yes, Anderson/yes, Voorheis/yes, Roman/yes, Ruggles/yes, Kowall/yes, Noble/yes)

ADJOURNMENT

It was MOVED by Trustee Anderson, seconded by Supervisor Kowall to adjourn at 5:31 P.M. The motion carried with a voice vote: (7 yes votes).

Rik Kowall, Supervisor
Charter Township of White Lake

Anthony L. Noble, Clerk, MiPMC
Charter Township of White Lake

**CHARTER TOWNSHIP OF WHITE LAKE
DRAFT Minutes of the Regular Board of Trustees Meeting
January 20, 2026**

CALL TO ORDER

Supervisor Kowall called the meeting to order at 6:30 P.M. He led the Pledge of Allegiance.

ROLL CALL

Clerk Noble called the Roll:

Present:

Rik Kowall, Supervisor
Mike Roman, Treasurer
Anthony L. Noble, Clerk
Scott Ruggles, Trustee
Steve Anderson, Trustee
Andrea Voorheis, Trustee
Liz Smith, Trustee (Late Arrival at 6:37 P.M.)

Absent:

None

Also Present:

Sean O’Neil, Community Development Director
Daniel T. Keller, Chief of Police
J. David Feitchner, Fire Chief
Lisa Hamameh, Township Attorney

APPROVAL OF AGENDA

It was **MOVED** by Clerk Noble, seconded by Trustee Anderson to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).

PUBLIC COMMENT

None

CONSENT AGENDA

- A. REVENUE AND EXPENSES
- B. CHECK DISBURSEMENTS
- C. LIST OF BILLS
- D. DEPARTMENT REPORT - POLICE
- E. DEPARTMENT REPORT - FIRE
- F. DEPARTMENT REPORT - COMMUNITY DEVELOPMENT
- G. DEPARTMENT REPORT - TREASURER
- H. ELECTION CONSOLIDATION UPDATE

It was **MOVED** by Clerk Noble, seconded by Trustee Anderson to approve the consent agenda as presented. The motion carried with a voice vote: (6 yes votes).

MINUTES

A. APPROVAL OF MINUTES - REGULAR BOARD MEETING, DECEMBER 16, 2025

It was MOVED by Trustee Voorheis, seconded by Clerk Noble to approve the minutes of December 16, 2025. The motion carried with a voice vote: (6 yes votes).

Clerk Noble noted that Trustee Smith would be late to tonight’s meeting.

NEW BUSINESS

A. CONCEPTUAL PRESENTATION – PONTIAC LAKE DEVELOPMENT

Director O’Neil introduced Greg Fisher to give a presentation on the Lakefront Boardwalk project. He stated this a 3.4-acre parcel on the westside of the peninsula at Pontiac Lake Road and M59.

Greg Fisher and staff presented their mixed- use waterfront development to include a restaurant, upscale condominiums, a boardwalk and a marina. It will be operated year-round. He estimates the project cost to be between 7.5 and 9 million dollars.

The Board initiated a question and answer and provided feedback on the presentation and suggested connecting with the Homeowner’s Association.

Director O’Neil spoke about the potential challenges for temporary use permitting going forward.

B. CONSIDERATION OF PRELIMINARY SITE PLAN APPROVAL – EDENDALE

Director O’Neil briefly reviewed the applicant’s request with the Board and added this is a two-prong request seeking preliminary site plan approval and rezoning. He stated this project previously went to the Planning Commission where the site plan was denied. Revisions were made and the matter was again denied by the Planning Commission. The applicant requested to come to the Board for review.

Trustee Anderson asked for clarification of the number of units.

Director O’Neil said that currently there are 109 units shown. He added that there are some unknowns depending on the Road Commission. He explained in more detail the R1D district rezoning and offered that he did not know if any variances would be needed.

Supervisor Kowall asked about the difference in 109 units compared to 120 units.

Director O’Neil stated he felt that the amendment of the number of units should be directed to the applicant and their design team.

Supervisor Kowall suggested more creativity to lessen the impact along Cedar Island Road. He also recognized the fact that it is a considerable expense for the applicant to bring the sewer line 5,280 feet.

James Eppink addressed the board. He is representing the applicant, PH Homes. He thanked Director O'Neil and Trustee Ruggles for all their help. He stated they have been working with the Planning Commission for over a year now. He stated much consideration has been given to the community, the Zoning Ordinance and the Township's Master Plan. He summed up a description of the existing property and stated that it is off Bogie Lake Road and close to the High School and the Middle School. It is designed to help school system and will be a continuous feeder to the school system with obtainable type housing.

Mr. Eppink spoke at length on the lot size and housing density, and open space as it relates to the Master Plan's objective of affordable housing to attract new residents as well as the retention of those residents. He stated that earlier plans had about 188 homes on it. He stated PH Homes agrees based on the studies that attached homes may not be right for this market and they have submitted numerous revisions that have scaled back. First down to 145, then 125 and now to 120 with almost ten acres of open space that includes a four-acre park, a playground, a pavilion and a walking trail. The parallel plan of 109 homes does not require any open space. He spoke to the community benefits including a one-million-dollar investment to extend the sanitary sewer 5,100 feet to their project and then extend it additionally to the north which will activate sanitary sewer opportunities going forward. He also spoke of the road improvement far beyond what would be required with the Road Commission.

Mr. Eppink requested the Board consider the applicant's site plan. He believes it to be very much in line with the master plan and would be a terrific addition to White Lake Township.

Trustee Anderson asked Trustee Ruggles if the Planning Commission ever provided a hard number of homes they wanted to see on the Site Plan. Trustee Ruggles stated no. He believes the Commissioners as a whole thought it was too dense. And there were questions on the public Benefits.

Treasurer Roman asked about the benefits of the sidewalks on the main roads and the sewer extension.

Trustee Ruggles stated no, everyone on the Planning Commission agreed it was a public benefit.

Clerk Noble stated it is a public benefit.

Treasurer Roman stated there has never been a bigger public benefit.

Director O'Neil stated the Planning Commission did recognize that the School District failed to bring sanitary sewers across their frontage, but they also felt that the sewer was self-serving as the sewer unlocks the development potential of the site.

Treasurer Roman stated there are hundreds of homes that currently can't get sewer and by bringing this line north, it would allow for that option. He believes that must be made clear to the Commission.

Director O'Neil replied that it is the job of the Developer to sell the public benefits to the Planning Commission.

Trustee Anderson asked Treasurer Roman how this development would affect our tax base.

Treasurer Roman answered approximately \$250,000.00 in the first year after all homes were developed.

Director O'Neil stated that according to the community impact statement the amount across all taxing jurisdictions would be \$950,000.00.

Trustee Noble confirmed that if R1D, the developer would not have to do the berms and connect the sidewalks to the school campus. He stated that the sidewalks are a public safety concern and therefore would be a community benefit.

Director O'Neil stated on that issue everyone agreed it would be a public benefit for the sidewalk system but even if they were to do R1D with 109 lots, the developer would have to bring the sewer.

Trustee Ruggles agreed and added the paving of Cedar Island Road as a benefit.

Trustee Smith asked the applicant if they will continue with the sidewalk system if the Board goes with R1D. The applicant answered that they would have to take everything into consideration and reevaluate pro-forma of a less attractive product.

Trustee Smith stated she thinks the density is too much. She recommends 60.

Trustee Voorheis said her first thought when she saw this was for mobile homes. She stated she would like to see 2-acre parcels and around 72 homes.

Craig Piasecki asked Trustee Voorheis if she has been through the Preserve of Hidden Development and if so, did it look like manufactured homes. She replied she has and it stated it does not. Mr. Piasecki offered that the look of these homes will be equally nice or better.

Clerk Noble stated he thought it would be easier to work with a planned development (PD) than an R1D.

Director O'Neil stated the PD is always the most flexible.

Trustee Smith asked if less than 109 can be required with the PD. Director O'Neil stated the Board can approve any amount, but no applicant would have to accept it.

Kurt Thompson, 3096 Havenwood Dr., stated is the president of Brentwood HOA and disagrees that the sewers are a public benefit. He spoke in opposition to the development.

Mary Early, 5925 Pine Ridge Court, spoke in opposition to the development.

Gene Kula, 1203 Cedar Meadows Dr., spoke in opposition to the development.

Jean Shiloff, 2115 Reidsview Dr., suggested a smaller number of homes along Cedar Island to blend with existing housing.

Kathy McCarthy, 1819 Mayfair Dr., spoke in opposition to the development.

Treasurer Roman thanked all the residents who came out to speak. He appreciates the passion although he does disagree. He supports the development because the applicant did what was asked in the Master Plan. He added that the Master Plan is developed with public input and this falls within the density of the Master Plan at 3 units per acre. He acknowledged that with a sewer challenge coming from the south end of the school the development requires more density. He supports the landscape mitigation that has three-foot berms set back at twenty feet in addition to the trees. This will help hide some of the density. He acknowledged the public benefit of the sewer, sidewalks for walkability and greenspace.

Treasurer Roman added that he finds the current process and layers of red tape for developers frustrating. He reminded that regardless of the Boards decision, the ultimate decision lies with the Planning Commission. He sees that as potentially a problem as the Township could be subject to litigation on a matter that the Board does not have final say.

Clerk Noble stated it is a mathematical problem for developers and that this Board does not have the final say.

Trustee Ruggles stated a lot of time and effort has been put into this project. He stated he may not agree with everyone, but he respects the opinions and appreciated the comments from Treasurer Roman.

Trustee Smith added she is not comfortable with the density and would like to see the least number of homes possible. She acknowledged appreciation for the presentation.

The Board discussed with Attorney Hamameh suggestions on parameters for sending this back to the Planning Commission to reconsideration.

Supervisor Kowall stated the reality is that the sewer coming up Bogie Lake is a public benefit like it or not. It would make residents with failed septic eligible to participate in the Township's emergency financial plan to connect to sewers. He reminded that White Lake is a ground water community. He said the problem is trying to find the balance.

Trustee Ruggles suggested several changes of the site plan including removal of approximately five lots.

Attorney Hamameh again counseled the Board on moving forward procedurally.

Mr. Eppink asked for conditional preliminary site plan approval.

Trustee Anderson reminded that the final approval is with the Planning Commission and that the Board can not approve such a request.

Director O'Neil stated approving a conditional preliminary site plan is not a great option and could be a disaster if the Planning Commission is not involved.

Mr. Eppink agreed and stated he hadn't thought of that. He stated he is just looking for as much direction as possible.

Trustee Smith stated the Board gave a lot of feedback.

It was MOVED by Trustee Ruggles, seconded by Treasure Roman, to remand the Edendale Preliminary Site Plan Approval back to the Planning Commission for reconsideration with the recommendation from the Township Board to remove a minimum of five lots including lot 17, lot 18, and three lots along Cedar Lake Road. The motion carried with a roll call vote: (5 yes votes) (Kowall/yes, Roman/yes, Noble/yes, Ruggles/yes, Smith/no, Anderson/yes, Voorheis/no).

C. FIRST READING; EDENDALE REZONING REQUEST

It was MOVED by Supervisor Kowall, seconded by Trustee Anderson, to postpone the First Reading; Edendale Rezoning Request indefinitely, to accompany the Planning Commission and the motion made on item B. The motion carried with a voice vote: (7 yes votes).

D. REQUEST TO CREATE PART-TIME FIRE INSPECTOR POSITION

Chief Feichtner presented his request to create a part-time Fire Inspector job position. He stated this position would relieve the large gap in our service delivery.

Trustee Ruggles asked how many current residential rental inspections are currently pending?

He deferred to the Supervisor for a number. Supervisor Kowall stated there has been a significant setback due to staffing, but he estimates several hundred.

Trustee Ruggles asked who from the Fire Department currently does inspections now. Chief Feichtner answered nobody on staff currently does them. Trustee Ruggles clarified if Fire Department staff do these inspections now. Chief Feichtner said not always. He then clarified that the Fire Marshal does participate in the rental ordinance inspections.

Trustee Ruggles stated he is not in favor of single-family residences being included in the rental ordinance. He stated the Board doesn't know the status of the rental ordinance because the Board has never been updated about it.

Trustee Smith stated she wasn't for this ordinance when it was created. At the time she had staffing question and agrees that the Board has never been updated. She suggested revisiting the ordinance and then making a manpower determination.

Chief Feichtner stated there is plenty of work for this position just on the Fire side of the inspections. He is trying to maximize the position by working alongside the Building Department to assist with the Rental Ordinance.

Trustee Ruggles suggested the new Deputy Chief do the inspections. He questioned how all these things were done in the past and now we need to add all these administrative positions. He is against these positions and would have voted against adding a deputy chief position.

Treasurer Roman agrees with removing the single-family rentals being in the rental ordinance.

Supervisor Kowall argued for keeping single family rentals in the ordinance. He stated these properties are a business and this does not impede property rights. He agreed that updates should be forthcoming and requested the Community Development Director submit a report to the Board monthly.

Chief Feichtner responding to Supervisor Kowall stated the position has gone through Human Resources and the labor attorney. He stated the wage is at the top end of the part time on call rate. He stated the position will have to meet that fire certification as well as the additional inspections certifications.

Trustee Voorheis stated there is a rumor of the person already picked to be hired for this position. She asked if these job qualifications were manufactured to have his qualifications in there.

Chief Feichtner stated the position was modeled from a previous department.

Clerk Noble questioned if we can afford the position. He stated he is also opposed to the single-family rental being in the ordinance. Supervisor Kowall interrupted and stated taking it away would be a disservice.

Trustee Smith suggested postponing and then revisiting the ordinance.

Treasurer Roman stated if the single-family homes are removed from the ordinance the Township is no longer responsible for solving people's problems.

It was MOVED by Trustee Smith, seconded by Trustee Ruggles, to postpone the part-time Fire Inspector position. The motion carried with a roll call vote: (4 yes votes) (Kowall/no, Roman/yes, Noble/yes, Ruggles/yes, Smith/yes, Anderson/no, Voorheis/no).

E. RESOLUTION #26-001; CHARITABLE GAMING LICENSE – NEW WAVE ANGLER INITIATIVE

Nick Marsh, Vice President of New Wave Angler, a nonprofit initiative, presented a request for his community driven program aimed at expanding youth access to outdoor recreation and conservation education. He is requesting local approval for a Charitable Gaming License to be issued by the State.

It was MOVED by Trustee Ruggles, seconded by Clerk Noble, to approve Resolution #26-001, Charitable Gaming License – New Wave Angler Initiative. The motion carried with a voice vote: (7 yes votes).

F. REQUEST TO APPROVE INVOCATION POLICY

Trustee Anderson presented the request to approve invocation policy. He stated it was drafted by the Township Attorney after taking into the Boards concerns.

Mary Early, 5925 Pine Ridge Court, spoke in opposition to an Invocation from the Board.

Chris Todd, Pastor of Oxbow Lake Baptist Church, he spoke in favor of an Invocation.

Trustee Anderson read an email from Pastor Paul of Grace Church offering to participate. He read a second email from Pastor Garcia of Auburn Hills.

Trustee Smith asked about tweaking the Policy. Attorney Hamameh responded that the Board can modify however the Board desires. Trustee Smith suggested changing #9 to allow standing or sitting. Referring to #2 h., she also suggests all invites go out on Township letterhead.

Clerk Noble asked for clarification of 2 a. and asked who the designee is. The Supervisor responded that he determines that.

Trustee Anderson offered his services.

Trustee Smith stated it should come from the Supervisor's office. They have an Executive Secretary.

Treasurer Roman suggested the time should be 1 minute instead of 3 minutes.

Clerk Noble again asked for clarification. Attorney Hamameh responded that as written the Supervisor does get to choose the designee.

It was MOVED by Trustee Anderson, seconded by Supervisor Kowall to approve the Invocation Policy as written and approved by the Township Attorney, which will be administered by the Supervisor's Office. The approved policy will take effect at the next Board meeting on 02/17/2026, with corrections to 9 and 2 h as stated by Trustee Smith. The motion carried with a roll call vote: (7 yes votes) (Kowall/yes, Roman/yes, Noble/yes, Smith/yes, Anderson/yes, Voorheis/yes).

Attorney Hamameh clarified that the process will begin in February not the actual invocation.

FYI - CIVIC CENTER UPDATE

Supervisor Kowall stated the Public Safety Building is going well. A lot of the masonry is up and mechanical in place. Anticipation dates for Public Safety are July 4th and the latter part of summer for Township Hall.

Pontiac Lake Road is on schedule. There is a Public Meeting coming in February.

TRUSTEE COMMENTS

Trustee Voorheis advised to stay warm.

Trustee Anderson thanked the residents and the Pastors for their support. He stated ZBA will have two cases for review. He thanked the Chief of Police for assigning a supervisor to attend a HOA meeting. He said the DFCU ribbon cutting will be on the 28th.

Clerk Noble congratulated Finance Director Elaine Homeister on her retirement.

Treasurer Roman thanked everyone for attending. He recognized yesterday as MLK day.

Trustee Smith stated she attended the ribbon cutting at Lakeland High School. She also thanked Elaine. She updated the interior progress for the new Township Building. She cautioned all to stay safe in this cold weather.

Trustee Ruggles stated he will do his best to take all the comments back to the next Planning Commission meeting.

Supervisor Kowall also commented on the extreme cold. He thanked Elaine also. He thanked Trustee Anderson for his work on the Invocation Policy.

ADJOURNMENT

It was MOVED by Clerk Noble, seconded by Trustee Anderson to adjourn at 9:39 P.M. The motion carried with a voice vote: (7 yes votes).

Rik Kowall, Supervisor
Charter Township of White Lake

Anthony L. Noble, Clerk, MiPMC
Charter Township of White Lake

DRAFT

WHITE LAKE TOWNSHIP
COMMUNITY DEVELOPMENT DEPARTMENT

DATE: February 6, 2026
TO: Rik Kowall, Supervisor
Township Board of Trustees
FROM: Sean O’Neil, Community Development Director
SUBJECT: Edendale – Preliminary Site Plan



The Edendale preliminary site plan, that you considered on January 20, 2026, was remanded back to the Planning Commission on February 5, 2026, with a recommendation for reconsideration at a reduced density (taking the total lot count from 120 down to 115). The Planning Commission voted to reconsider their recommendation for denial and then, after accepting comments from the applicant and the public, voted to recommend denial again, by a 3-2 vote. Their recommendation now moves back to the Township Board for consideration on February 17, 2026.

Please find attached the applicant’s revised layout (showing 115 lots), and a brief summary of what those changes yield in the way of density, open space, setbacks from Bogie Lake Road, and lot sizes along Cedar Island Road, which reflects the specific changes that the Board previously instructed the applicant to make. I have also attached the DRAFT Township Board meeting minutes from January 20, 2026, as well as the DRAFT Planning Commission meeting minutes from February 5, 2026. Please let me know if you have any questions or require any additional information.

Thank you.

WHITE LAKE TOWNSHIP
COMMUNITY DEVELOPMENT DEPARTMENT

DATE: January 29, 2026
TO: Merrie Carlock, Chair
Planning Commission
FROM: Sean O'Neil, Community Development Director
SUBJECT: Edendale – Preliminary Site Plan



The Edendale preliminary site plan, that you considered on January 15, 2026, was sent to the Township Board for their consideration on January 20, 2026, with a recommendation for denial. During that meeting, the Township Board voted to remove five (5) of the proposed lots (taking the total count from 120 down to 115) and then referred the matter back to the Planning Commission for reconsideration. Therefore, the February 5, 2026 Planning Commission agenda will again show a request from Edendale to reconsider their request for preliminary site plan approval. Trustee Ruggles and I will give a further explanation of the Board's discussion and action, as well as answer any questions you may have.

Please find attached the applicant's revised layout (showing 115 lots), and a brief summary of what those changes yield in the way of density, open space, setbacks from Bogie Lake Road, and lots sizes along Cedar Island Road, which reflects the specific changes that the Board instructed them to make. I have also attached the DRAFT Township Board meeting minutes from January 20, 2026. Please let me know if you have any questions or require any additional information.

Thank you.

Sean O'Neil

From: Jim Eppink <jim@jeppink.com>
Sent: Tuesday, January 27, 2026 10:57 AM
To: Sean O'Neil; craigp@myphhome.com
Cc: Hannah Kennedy-Galley
Subject: Edendale Crossing Updated Site Plan
Attachments: Edendale Crossing - Updated Site Plan 115 Residences 1-25-2026.pdf

Good morning, Sean :

Please see the attached updated Edendale Crossing site plan (dated 1-25-26). The plan accomplishes the directives of the Twp Board and adds the path extension to Cedar Island that you and I discussed. A summary of the updates is below and was added to the site plan as well. The lots at Cedar Island are now 77' wide, the density is down to 3.19, and the community open space is over 28%.

We'll deliver several printed copies to your office today and will be prepared to discuss with the Planning Commission on the 5th. In the meantime, Sean, please call with any thoughts or questions.

Thanks, I appreciate it - Jim

Edendale Crossing – Site Plan Update summary:		
Updated site plan in response to the Board of Trustees direction and January 20 th motion		
	Previous Site Plan	Updated Site Plan
Total residences	120	115
Units per acre	3.3	3.19
Open space	9.77 acres	10.2 acres
Percentage of open space	27%	28.4%
Removal of 2 homes at Bogie Lake	-	Yes
Distance from Bogie Lake Rd.	73'	135'
Removal of 3 homes at Cedar Island	-	Yes
Lot width at Cedar Island Rd.	62'	77'
Path & Connection to Cedar Island	Did not have	Extended to Cedar Island

J EPPINK PARTNERS, INC.

27 South Squirrel Road
 Suite 104
 Auburn Hills, MI 48326
 248-922-0789 - O
 248-917-8646 - M



J EPPINK PARTNERS, INC
Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
Suite 104
Auburn Hills, MI 48326
248.922.0789

The ideas and design concepts expressed herein and the graphically displayed arrangement of their components represented by this drawing have been developed for the exclusive use of the specified project and are the sole property of J EPPINK PARTNERS, INC. Any conveyance or disclosure of the ideas or design concepts or use of any graphically displayed arrangements of their components shall be at the discretion of and only through the expressed written consent of J EPPINK PARTNERS, INC.
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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Preliminary Site Plan Summary

Issues / Revisions:
Site Plan Update 12-15-25
Updated Site Plan 12-18-25
Updated Site Plan 01-25-26

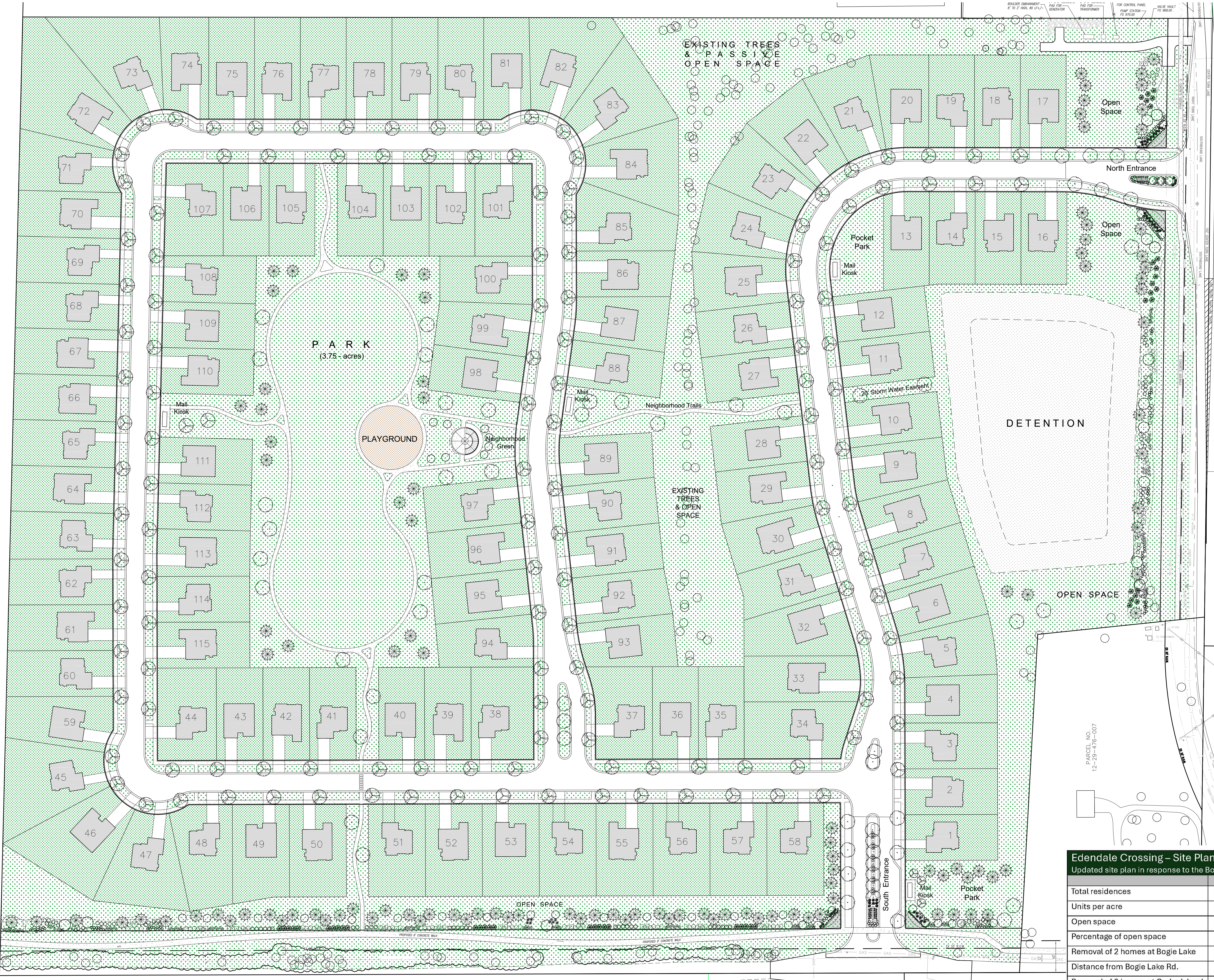
Drawn by:
Checked by:
JTE

Date:
December 18, 2025

Scale:
Scale: 1" = 60'

Not for Construction

Sheet
PSP-1.5



BOGIE LAKE ROAD

CEDAR ISLAND ROAD

Community Walking Path. Exact Location to be Determined in Field During Construction

SITE DATA

Parcel Size : 45.47 acres Gross
Parcel Size : 36.02 acres Net

Current Zoning : AG + R1-A
Proposed Zoning : PD (Planned Dev.)

Master Plan Use : Neighborhood Res.
Permits: small lot single-family, duplex, & multi family, (R1D / RM1 / RM2)

Proposed Density : 115 Residences
3.13 DU / NET AC
(Total Site area less road easements, detention, & utility easements
45.47 ac - 9.45 ac = 36.02 ac / 115 = 3.13)

Proposed Open Space : 10.21 acres
28.4% Open Space

Roads: 60' ROW (28' back of curb)

Edendale Crossing – Site Plan Update summary:
Updated site plan in response to the Board of Trustees direction and January 20th motion

	Previous Site Plan	Updated Site Plan
Total residences	120	115
Units per acre	3.3	3.19
Open space	9.77 acres	10.2 acres
Percentage of open space	27%	28.4%
Removal of 2 homes at Bogie Lake	-	Yes
Distance from Bogie Lake Rd.	73'	135'
Removal of 3 homes at Cedar Island	-	Yes
Lot width at Cedar Island Rd.	62'	77'
Path & Connection to Cedar Island	Did not have	Extended to Cedar Island

CHARTER TOWNSHIP OF WHITE LAKE
DRAFT Minutes of the Regular Board of Trustees Meeting
January 20, 2026

CALL TO ORDER

Supervisor Kowall called the meeting to order at 6:30 P.M. He led the Pledge of Allegiance.

ROLL CALL

Clerk Noble called the Roll:

Present:

Rik Kowall, Supervisor
Mike Roman, Treasurer
Anthony L. Noble, Clerk
Scott Ruggles, Trustee
Steve Anderson, Trustee
Andrea Voorheis, Trustee
Liz Smith, Trustee (Late Arrival at 6:37 P.M.)

Absent:

None

Also Present:

Sean O’Neil, Community Development Director
Daniel T. Keller, Chief of Police
J. David Feitchner, Fire Chief
Lisa Hamameh, Township Attorney

APPROVAL OF AGENDA

It was **MOVED** by Clerk Noble, seconded by Trustee Anderson to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).

PUBLIC COMMENT

None

CONSENT AGENDA

- A. REVENUE AND EXPENSES
- B. CHECK DISBURSEMENTS
- C. LIST OF BILLS
- D. DEPARTMENT REPORT - POLICE
- E. DEPARTMENT REPORT - FIRE
- F. DEPARTMENT REPORT - COMMUNITY DEVELOPMENT
- G. DEPARTMENT REPORT - TREASURER
- H. ELECTION CONSOLIDATION UPDATE

It was **MOVED** by Clerk Noble, seconded by Trustee Anderson to approve the consent agenda as presented. The motion carried with a voice vote: (6 yes votes).

MINUTES

A. APPROVAL OF MINUTES - REGULAR BOARD MEETING, DECEMBER 16, 2025

It was **MOVED** by Trustee Voorheis, seconded by Clerk Noble to approve the minutes of December 16, 2025. The motion carried with a voice vote: (6 yes votes).

Clerk Noble noted that Trustee Smith would be late to tonight’s meeting.

NEW BUSINESS

A. CONCEPTUAL PRESENTATION – PONTIAC LAKE DEVELOPMENT

Director O’Neil introduced Greg Fisher to give a presentation on the Lakefront Boardwalk project. He stated this a 3.4-acre parcel on the westside of the peninsula at Pontiac Lake Road and M59.

Greg Fisher and staff presented their mixed- use waterfront development to include a restaurant, upscale condominiums, a boardwalk and a marina. It will be operated year-round. He estimates the project cost to be between 7.5 and 9 million dollars.

The Board initiated a question and answer and provided feedback on the presentation and suggested connecting with the Homeowner’s Association.

Director O’Neil spoke about the potential challenges for temporary use permitting going forward.

B. CONSIDERATION OF PRELIMINARY SITE PLAN APPROVAL – EDENDALE

Director O’Neil briefly reviewed the applicant’s request with the Board and added this is a two-prong request seeking preliminary site plan approval and rezoning. He stated this project previously went to the Planning Commission where the site plan was denied. Revisions were made and the matter was again denied by the Planning Commission. The applicant requested to come to the Board for review.

Trustee Anderson asked for clarification of the number of units.

Director O’Neil said that currently there are 109 units shown. He added that there are some unknowns depending on the Road Commission. He explained in more detail the R1D district rezoning and offered that he did not know if any variances would be needed.

Supervisor Kowall asked about the difference in 109 units compared to 120 units.

Director O’Neil stated he felt that the amendment of the number of units should be directed to the applicant and their design team.

Supervisor Kowall suggested more creativity to lessen the impact along Cedar Island Road. He also recognized the fact that it is a considerable expense for the applicant to bring the sewer line 5,280 feet.

James Eppink addressed the board. He is representing the applicant, PH Homes. He thanked Director O'Neil and Trustee Ruggles for all their help. He stated they have been working with the Planning Commission for over a year now. He stated much consideration has been given to the community, the Zoning Ordinance and the Township's Master Plan. He summed up a description of the existing property and stated that it is off Bogie Lake Road and close to the High School and the Middle School. It is designed to help school system and will be a continuous feeder to the school system with obtainable type housing.

Mr. Eppink spoke at length on the lot size and housing density, and open space as it relates to the Master Plan's objective of affordable housing to attract new residents as well as the retention of those residents. He stated that earlier plans had about 188 homes on it. He stated PH Homes agrees based on the studies that attached homes may not be right for this market and they have submitted numerous revisions that have scaled back. First down to 145, then 125 and now to 120 with almost ten acres of open space that includes a four-acre park, a playground, a pavilion and a walking trail. The parallel plan of 109 homes does not require any open space. He spoke to the community benefits including a one-million-dollar investment to extend the sanitary sewer 5,100 feet to their project and then extend it additionally to the north which will activate sanitary sewer opportunities going forward. He also spoke of the road improvement far beyond what would be required with the Road Commission.

Mr. Eppink requested the Board consider the applicant's site plan. He believes it to be very much in line with the master plan and would be a terrific addition to White Lake Township.

Trustee Anderson asked Trustee Ruggles if the Planning Commission ever provided a hard number of homes they wanted to see on the Site Plan. Trustee Ruggles stated no. He believes the Commissioners as a whole thought it was too dense. And there were questions on the public Benefits.

Treasurer Roman asked about the benefits of the sidewalks on the main roads and the sewer extension.

Trustee Ruggles stated no, everyone on the Planning Commission agreed it was a public benefit.

Clerk Noble stated it is a public benefit.

Treasurer Roman stated there has never been a bigger public benefit.

Director O'Neil stated the Planning Commission did recognize that the School District failed to bring sanitary sewers across their frontage, but they also felt that the sewer was self-serving as the sewer unlocks the development potential of the site.

Treasurer Roman stated there are hundreds of homes that currently can't get sewer and by bringing this line north, it would allow for that option. He believes that must be made clear to the Commission.

Director O'Neil replied that it is the job of the Developer to sell the public benefits to the Planning Commission.

Trustee Anderson asked Treasurer Roman how this development would affect our tax base.

Treasurer Roman answered approximately \$250,000.00 in the first year after all homes were developed.

Director O'Neil stated that according to the community impact statement the amount across all taxing jurisdictions would be \$950,000.00.

Trustee Noble confirmed that if R1D, the developer would not have to do the berms and connect the sidewalks to the school campus. He stated that the sidewalks are a public safety concern and therefore would be a community benefit.

Director O'Neil stated on that issue everyone agreed it would be a public benefit for the sidewalk system but even if they were to do R1D with 109 lots, the developer would have to bring the sewer.

Trustee Ruggles agreed and added the paving of Cedar Island Road as a benefit.

Trustee Smith asked the applicant if they will continue with the sidewalk system if the Board goes with R1D. The applicant answered that they would have to take everything into consideration and reevaluate pro-forma of a less attractive product.

Trustee Smith stated she thinks the density is too much. She recommends 60.

Trustee Voorheis said her first thought when she saw this was for mobile homes. She stated she would like to see 2-acre parcels and around 72 homes.

Craig Piasecki asked Trustee Voorheis if she has been through the Preserve of Hidden Development and if so, did it look like manufactured homes. She replied she has and it stated it does not. Mr. Piasecki offered that the look of these homes will be equally nice or better.

Clerk Noble stated he thought it would be easier to work with a planned development (PD) than an R1D.

Director O'Neil stated the PD is always the most flexible.

Trustee Smith asked if less than 109 can be required with the PD. Director O'Neil stated the Board can approve any amount, but no applicant would have to accept it.

Kurt Thompson, 3096 Havenwood Dr., stated is the president of Brentwood HOA and disagrees that the sewers are a public benefit. He spoke in opposition to the development.

Mary Early, 5925 Pine Ridge Court, spoke in opposition to the development.

Gene Kula, 1203 Cedar Meadows Dr., spoke in opposition to the development.

Jean Shiloff, 2115 Reidsview Dr., suggested a smaller number of homes along Cedar Island to blend with existing housing.

Kathy McCarthy, 1819 Mayfair Dr., spoke in opposition to the development.

Treasurer Roman thanked all the residents who came out to speak. He appreciates the passion although he does disagree. He supports the development because the applicant did what was asked in the Master Plan. He added that the Master Plan is developed with public input and this falls within the density of the Master Plan at 3 units per acre. He acknowledged that with a sewer challenge coming from the south end of the school the development requires more density. He supports the landscape mitigation that has three-foot berms set back at twenty feet in addition to the trees. This will help hide some of the density. He acknowledged the public benefit of the sewer, sidewalks for walkability and greenspace.

Treasurer Roman added that he finds the current process and layers of red tape for developers frustrating. He reminded that regardless of the Boards decision, the ultimate decision lies with the Planning Commission. He sees that as potentially a problem as the Township could be subject to litigation on a matter that the Board does not have final say.

Clerk Noble stated it is a mathematical problem for developers and that this Board does not have the final say.

Trustee Ruggles stated a lot of time and effort has been put into this project. He stated he may not agree with everyone, but he respects the opinions and appreciated the comments from Treasurer Roman.

Trustee Smith added she is not comfortable with the density and would like to see the least number of homes possible. She acknowledged appreciation for the presentation.

The Board discussed with Attorney Hamameh suggestions on parameters for sending this back to the Planning Commission to reconsideration.

Supervisor Kowall stated the reality is that the sewer coming up Bogie Lake is a public benefit like it or not. It would make residents with failed septic systems eligible to participate in the Township's emergency financial plan to connect to sewers. He reminded that White Lake is a ground water community. He said the problem is trying to find the balance.

Trustee Ruggles suggested several changes of the site plan including removal of approximately five lots.

Attorney Hamameh again counseled the Board on moving forward procedurally.

Mr. Eppink asked for conditional preliminary site plan approval.

Trustee Anderson reminded that the final approval is with the Planning Commission and that the Board can not approve such a request.

Director O'Neil stated approving a conditional preliminary site plan is not a great option and could be a disaster if the Planning Commission is not involved.

Mr. Eppink agreed and stated he hadn't thought of that. He stated he is just looking for as much direction as possible.

Trustee Smith stated the Board gave a lot of feedback.

It was MOVED by Trustee Ruggles, seconded by Treasure Roman, to remand the Edendale Preliminary Site Plan Approval back to the Planning Commission for reconsideration with the recommendation from the Township Board to remove a minimum of five lots including lot 17, lot 18, and three lots along Cedar Lake Road. The motion carried with a roll call vote: (5 yes votes) (Kowall/yes, Roman/yes, Noble/yes, Ruggles/yes, Smith/no, Anderson/yes, Voorheis/no).

C. FIRST READING; EDENDALE REZONING REQUEST

It was MOVED by Supervisor Kowall, seconded by Trustee Anderson, to postpone the First Reading; Edendale Rezoning Request indefinitely, to accompany the Planning Commission and the motion made on item B. The motion carried with a voice vote: (7 yes votes).

D. REQUEST TO CREATE PART-TIME FIRE INSPECTOR POSITION

Chief Feichtner presented his request to create a part-time Fire Inspector job position. He stated this position would relieve the large gap in our service delivery.

Trustee Ruggles asked how many current residential rental inspections are currently pending?

He deferred to the Supervisor for a number. Supervisor Kowall stated there has been a significant setback due to staffing, but he estimates several hundred.

Trustee Ruggles asked who from the Fire Department currently does inspections now. Chief Feichtner answered nobody on staff currently does them. Trustee Ruggles clarified if Fire Department staff do these inspections now. Chief Feichtner said not always. He then clarified that the Fire Marshal does participate in the rental ordinance inspections.

Trustee Ruggles stated he is not in favor of single-family residences being included in the rental ordinance. He stated the Board doesn't know the status of the rental ordinance because the Board has never been updated about it.

Trustee Smith stated she wasn't for this ordinance when it was created. At the time she had staffing question and agrees that the Board has never been updated. She suggested revisiting the ordinance and then making a manpower determination.

Chief Feichtner stated there is plenty of work for this position just on the Fire side of the inspections. He is trying to maximize the position by working alongside the Building Department to assist with the Rental Ordinance.

Trustee Ruggles suggested the new Deputy Chief do the inspections. He questioned how all these things were done in the past and now we need to add all these administrative positions. He is against these positions and would have voted against adding a deputy chief position.

Treasurer Roman agrees with removing the single-family rentals being in the rental ordinance.

Supervisor Kowall argued for keeping single family rentals in the ordinance. He stated these properties are a business and this does not impede property rights. He agreed that updates should be forthcoming and requested the Community Development Director submit a report to the Board monthly.

Chief Feichtner responding to Supervisor Kowall stated the position has gone through Human Resources and the labor attorney. He stated the wage is at the top end of the part time on call rate. He stated the position will have to meet that fire certification as well as the additional inspections certifications.

Trustee Voorheis stated there is a rumor of the person already picked to be hired for this position. She asked if these job qualifications were manufactured to have his qualifications in there.

Chief Feichtner stated the position was modeled from a previous department.

Clerk Noble questioned if we can afford the position. He stated he is also opposed to the single-family rental being in the ordinance. Supervisor Kowall interrupted and stated taking it away would be a disservice.

Trustee Smith suggested postponing and then revisiting the ordinance.

Treasurer Roman stated if the single-family homes are removed from the ordinance the Township is no longer responsible for solving people's problems.

It was MOVED by Trustee Smith, seconded by Trustee Ruggles, to postpone the part-time Fire Inspector position. The motion carried with a roll call vote: (4 yes votes) (Kowall/no, Roman/yes, Noble/yes, Ruggles/yes, Smith/yes, Anderson/no, Voorheis/no).

E. RESOLUTION #26-001; CHARITABLE GAMING LICENSE – NEW WAVE ANGLER INITIATIVE

Nick Marsh, Vice President of New Wave Angler, a nonprofit initiative, presented a request for his community driven program aimed at expanding youth access to outdoor recreation and conservation education. He is requesting local approval for a Charitable Gaming License to be issued by the State.

It was MOVED by Trustee Ruggles, seconded by Clerk Noble, to approve Resolution #26-001, Charitable Gaming License – New Wave Angler Initiative. The motion carried with a voice vote: (7 yes votes).

F. REQUEST TO APPROVE INVOCATION POLICY

Trustee Anderson presented the request to approve invocation policy. He stated it was drafted by the Township Attorney after taking into the Boards concerns.

Mary Early, 5925 Pine Ridge Court, spoke in opposition to an Invocation from the Board.

Charter Township of White Lake
 Regular Board Meeting
 UNAPPROVED Minutes of January 20, 2026

Page 8 of 9

Chris Todd, Pastor of Oxbow Lake Baptist Church, he spoke in favor of an Invocation.

Trustee Anderson read an email from Pastor Paul of Grace Church offering to participate. He read a second email from Pastor Garcia of Auburn Hills.

Trustee Smith asked about tweaking the Policy. Attorney Hamameh responded that the Board can modify however the Board desires. Trustee Smith suggested changing #9 to allow standing or sitting. Referring to #2 h., she also suggests all invites go out on Township letterhead.

Clerk Noble asked for clarification of 2 a. and asked who the designee is. The Supervisor responded that he determines that.

Trustee Anderson offered his services.

Trustee Smith stated it should come from the Supervisor's office. They have an Executive Secretary.

Treasurer Roman suggested the time should be 1 minute instead of 3 minutes.

Clerk Noble again asked for clarification. Attorney Hamameh responded that as written the Supervisor does get to choose the designee.

It was MOVED by Trustee Anderson, seconded by Supervisor Kowall to approve the Invocation Policy as written and approved by the Township Attorney, which will be administered by the Supervisor's Office. The approved policy will take effect at the next Board meeting on 02/17/2026, with corrections to 9 and 2 h as stated by Trustee Smith. The motion carried with a roll call vote: (7 yes votes) (Kowall/yes, Roman/yes, Noble/yes, Smith/yes, Anderson/yes, Voorheis/yes).

Attorney Hamameh clarified that the process will begin in February not the actual invocation.

FYI - CIVIC CENTER UPDATE

Supervisor Kowall stated the Public Safety Building is going well. A lot of the masonry is up and mechanical in place. Anticipation dates for Public Safety are July 4th and the latter part of summer for Township Hall.

Pontiac Lake Road is on schedule. There is a Public Meeting coming in February.

TRUSTEE COMMENTS

Trustee Voorheis advised to stay warm.

Trustee Anderson thanked the residents and the Pastors for their support. He stated ZBA will have two cases for review. He thanked the Chief of Police for assigning a supervisor to attend a HOA meeting. He said the DFCU ribbon cutting will be on the 28th.

Clerk Noble congratulated Finance Director Elaine Homeister on her retirement.

Treasurer Roman thanked everyone for attending. He recognized yesterday as MLK day.

Trustee Smith stated she attended the ribbon cutting at Lakeland High School. She also thanked Elaine. She updated the interior progress for the new Township Building. She cautioned all to stay safe in this cold weather.

Trustee Ruggles stated he will do his best to take all the comments back to the next Planning Commission meeting.

Supervisor Kowall also commented on the extreme cold. He thanked Elaine also. He thanked Trustee Anderson for his work on the Invocation Policy.

ADJOURNMENT

It was MOVED by Clerk Noble, seconded by Trustee Anderson to adjourn at 9:39 P.M. The motion carried with a voice vote: (7 yes votes).

Rik Kowall, Supervisor
Charter Township of White Lake

Anthony L. Noble, Clerk, MiPMC
Charter Township of White Lake

DRAFT

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
FEBRUARY 5, 2026**

CALL TO ORDER

Chairperson Carlock called the meeting to order at 6:30 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

- Mona Sevic
- Scott Ruggles, Township Board Liaison
- T. Joseph Seward
- Debby Dehart
- Merrie Carlock, Chairperson

Absent:

- Pete Meagher
- Robert Seeley, Vice Chair

Others:

- Sean O’Neil, Community Development Director
- David Waligora, Senior Planner
- Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was MOVED by Commissioner Seward, seconded by Commissioner Sevic to approve the agenda as presented. The motion carried with a voice vote: (5 yes votes).

APPROVAL OF MINUTES

- A. January 15, 2026

It was MOVED by Seward, seconded by Sevic to approve the minutes of January 15, 2026, as corrected. The motion carried with a voice vote: (5 yes votes)

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

None.

CONTINUING BUSINESS

None.

NEW BUSINESS

- A. **Edendale Crossing**
located on the northwest corner of Bogie Lake Road and Cedar Island Road. Identified as parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total)
Consisting of approximately 45.7 acres. Currently zoned R1-A (Single Family

Residential) and AG (Agricultural).

Requests:

1) Reconsideration of preliminary site plan approval recommendation

Applicant: PH Communities, LLC

It was MOVED by Commissioner Seward, seconded by Commissioner Sevic to reconsider the denial of the preliminary site plan of Edendale Crossing. The motion carried with a voice vote: (5 yes votes).

Director O'Neil shared the revisions to the preliminary site plan; the plan was presented at the January 2026 Township Board meeting. Setbacks, reducing lots on Cedar Island Road, and the internal park pathway was configured and was now proposed to extend all the way through Cedar Island Road. The percentage of open space was improved, and the density per acre was Reduced marginally.

Commissioner Ruggles stated there were some Board members who wanted to see a reduction in lots, and the current proposed plan was a compromise. He added that there were varying opinions from the Board regarding the sewer extension being considered a community benefit.

Jim Eppink, on behalf of PH Homes, was present to answer questions. He stated that the Master Plan depicts a real issue of the housing market is not looking for larger lot homes. Housing products within the Township are not keeping up with the demand of diverse homebuyers. He reiterated that the sewer is a public benefit in the sense that it provides an environmental benefit to the Township.

Deborah Falzon, 1909 Reidsview Drive, asked how the sewer benefits the community outside of the development. She had concerns about the square footage and base prices of the houses.

Annette LaBaron, Senator Runestad's representative, was present to speak on behalf of the Senator. She read a statement from the Senator into the record, sharing his concerns regarding the project.

Brian Hughes, 2083 Sandlewood Drive, wanted to know if there will be road improvements to the Cedar Island and Bogie Lake Road intersection.

Deanna Mason- Pena, 1861 Carla Hills Drive, had questions about the dimensions of the driveways to the house, as well as fencing and shed standards. She had concerns about the traffic congestion in the area.

Gene Kula, 1203 Cedar Meadows Drive, shared concerns about the proposed plan and its compatibility with the surrounding character, specifically regarding land use and density.

Tim Rice, 1377 Scottwood Court, shared concerns about sheds, traffic congestion, and the lack of compatibility with the existing surrounding developments.

Mike Morcelli, 2229 Mayfair Drive, stated he bought his house for White Lake's character. He shared concerns about increased traffic load.

Rob Paciotti, 6289 Caya Way, stated he has a petition with 180 signatures opposed to the project. He reiterated the development is out of character and place.

Mr. Eppink reiterated that the sewer will be extended from the southern portion of the property up to the school campus. RCOC has completed a traffic study for the development and had determined the proposed plans were more than satisfactory traffic wise. Mr. Eppink said the infrastructure will be improved beyond the development's needs. Fences and sheds will most than likely be prohibited. He mentioned the pathway extension from the development to the school campus.

Commissioner Seward stated he did not consider sewer being a public benefit. He stated he was troubled by the lack of water utility extension provided.

**It was MOVED by Commissioner Seward, seconded by Commissioner Sevic, to recommend the Township Board deny the preliminary site plan for Edendale Crossing concerns regarding traffic, sewer not being a public benefit, lack of water extension, and density. The motion carried with a roll call vote: (3 yes votes).
(Sevic/yes, Ruggles/no, Seward/yes, Carlock/no, Dehart/yes)**

OTHER BUSINESS

None.

LIAISON'S REPORT

Commissioner Ruggles said the Township Board met last month; Edendale was discussed as well as a development concept for the Pontiac Lake Gateway District.

Commissioner Dehart said the ZBA met last month; two cases were heard and approved.

DIRECTOR'S REPORT

Director O'Neil gave a summary of the current projects ongoing in the Township.

COMMUNICATIONS

None.

NEXT MEETING DATE: February 19, 2026

ADJOURNMENT

It was MOVED by Commissioner Carlock, seconded by Commissioner Sevic, to adjourn at 8:03 P.M. The motion carried with a voice vote: (5 yes votes).

**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

DATE: January 12, 2026

TO: Rik Kowall, Supervisor
Township Board of Trustees

FROM: Sean O'Neil, AICP
Community Development Director

**SUBJECT: Edendale Crossing
Preliminary site plan approval
Rezoning request approval**
Property described as parcel numbers 12-29-476-016 through 12-29-476-024, located northwest corner of Bogie Lake Road and Cedar Island Road, consisting of approximately 45.47 acres.

The above requests were considered by the Planning Commission at its regular meeting of December 4, 2025, at which time the **Planning Commission recommended denial of the preliminary site plan and approval of the rezoning request contingent on site plan approval**. The reconsideration of the revised preliminary site plan will be considered by the Planning Commission at its regular meeting of January 15, 2026. Please find enclosed the following related documents:

- ❑ Draft minutes from the January 15th, 2026, Planning Commission meeting (will be sent under separate cover).
- ❑ Draft minutes from the December 4th, 2025, Planning Commission meeting.
- ❑ Review letters prepared by the Township Engineering Consultant, Mike Leuffgen, dated January 8, 2026.
- ❑ Review letters prepared by the Township Planning Consultant, Matteo Passalacqua, dated January 7, 2026.
- ❑ Review letters prepared by White Lake Township Fire Marshal, Jason Hanifen, dated January 7, 2026.
- ❑ Revised preliminary site plan, elevations, and floor plans submitted by the applicant.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
DECEMBER 4, 2025**

CALL TO ORDER

Chairperson Carlock called the meeting to order at 6:30 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Pete Meagher
Scott Ruggles, Township Board Liaison
T. Joseph Seward
Debby Dehart
Merrie Carlock, Chairperson

Absent:

Mona Sevic
Robert Seeley, Vice Chair

Others:

Sean O’Neil, Community Development Director
Matteo Passalacqua, Carlisle Wortman
Kristin Kolb, Township Attorney
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was MOVED by Member Seward, seconded by Member Dehart to approve the agenda as presented. The motion carried with a voice vote: (5 yes votes).

APPROVAL OF MINUTES

A. September 18, 2025

It was MOVED by Member Meagher, seconded by Member Seward to approve the minutes as presented. The motion carried with a voice vote: (5 yes votes).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

A. Edendale Crossing

Property Northwest corner of Bogie Lake Road and Cedar Island Road. Identified as parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total) Consisting of approximately 45.7 acres. Currently zoned R1-A (Single Family Residential) and AG (Agricultural).

Requests:

- 1) Preliminary site plan approval recommendation**

2) Rezoning approval recommendation (R1-A & AG to PD (Planned Development)).

Applicant: PH Communities, LLC

Director O’Neil briefly reviewed the process for tonight’s request regarding how it is processed by the Township. The Public Hearing is for the rezoning, which runs concurrently with the site plan approval process.

Mr. Passalacqua reviewed his letter.

Mr. Leuffgen reviewed the highlights of interest from his review letter.

Member Meagher asked Mr. Leuffgen about the extension of the water main on the western side of the property. Mr. Leuffgen said it is due to the ordinance’s to be able to provide water connection for future use.

Jim Eppink, J Eppink Partners, spoke on behalf of the applicant. There are nine adjacent lots that would be combined into one parcel. He added that the Master Plan for the sites is designated as Neighborhood Residential. Preservation of trees and natural features are a point of concern. The sanitary sewer will be extended more than a mile from the southeast corner of the site. There will be a sidewalk pathway that will connect the development to the school complex. He added that multifamily would not be supported on the site, therefore all the lots will be single family products. He said the RCOC required a left-hand turn lane into the entrance of Bogie Lake, and to be extended north and south so the entire stretch of Bogie Lake Road becomes safer. Cedar Island will be paved past the project’s entrance.

Meagher stated the absence of a greenbelt on the west boundary does not help screen the IT Corridor. Mr. Eppink stated that the ITC Corridor is 240’ wide, and the homes that are adjacent to it would most likely not be buffered, even with dense plantings. Those lots will be extended with better landscaping.

Member Seward asked Mr. Eppink why the driveway is not going to be aligned with Mayfield Dr. Mr. Eppink said it was due to the water main loop, and the costs of the improvements to Cedar Island, the sewer, and the sidewalk extension. It would not make sense financially. The RCOC also may be installing a round-about at Cedar Island Road and Bogie Lake Road in the future.

Member Seward asked Mr. Eppink why the water isn’t extended to the western edge of the site. Mr. Eppink said the sites to the west are newer and operating well.

Member Seward asked Mr. Eppink why the lots are not acre lots along Bogie Lake Road. Mr. Eppink said other than two lots on Bogie Lake Road, the majority on the frontage are 240’ from the road and heavily landscaped.

Chairperson Carlock asked Director O’Neil if there required amount of park space in a Planned Development. Director O’Neil said around 20%.

Chairperson Carlock asked Mr. Eppink if the park would be maintained by the HOA. Mr. Eppink confirmed.

Chairperson Carlock opened the public hearing at 7:55 P.M.

Rob Paociotti, 6289 Caya Way, opposed the density proposed at the applicant's request. He also presented a petition with over 100 signatures opposing the project.

Gene Kula, 1203 Cedar Meadows Dr, opposed the applicant's request, stating it was not in line with the Master Plan's use for the area.

Alan Cartwright, 1225 Elliot Court North, shared concerns about traffic safety in the area. He added the left-hand turn lane does not suffice the issue of cars turning onto Cedar Island. He stated the utility and sidewalk extensions are not a community benefit and would be required anyway for development with the same proposed density.

Mary Earley, 5925 Pine Ridge Court, stated her opposition to the project, and stated the plan design was bad. The developers' need for money does not override the Township's character of being a great place to live. She stated issues with parking, the number of waivers requested, lighting, and the density.

Tony Madaffer, 1293 Bogie Lake Road, stated he is a proponent of White Lake growing, but he took issue with the layout. It is too dense and reminiscent of a trailer park. He has lived here for 35 years, and the traffic will be troublesome.

Steve Woodard, 953 Schyler, said he was a participant in giving community feedback for the project. He was expecting bigger acreage lots. He reiterated the trailer park look to the plan, and the proposed density is too large. He stated his opposition to the current layout of the project.

Sheri Meador, 2032 Carleton Court, moved to White Lake from Canton. She stated White Lake has a small town that feels less traffic. She stated White Lake will grow, but there are too many homes in the development, and the traffic is already problematic. She had no issue with houses going on the site, just in a less dense capacity. She added that the schools are packed as is with very large class sizes.

Clark Koby, 3133 N Mistwood Court, said his sub has bigger acreage lots that create a lot of space in between homes. The plan needs improvement before it is approved.

Chairperson Carlock closed the public hearing at 8:16 P.M.

Mr. Eppink stated the community did a wonderful job on its Master Plan, and that property was specifically targeted in the plan. Multiple family was suggested in the plan, but the applicant felt it wasn't appropriate. The plan proposes 16 units over what would be allowed for R1-D zoning. He added he is working with the school district closely. He reiterated that the plan was consistent with the Master Plan.

Member Meagher stated that the audience was clear about their issue with the density of the project.

Member Dehart stated she had issues with the proposed Planned Development zoning as the Planning Commission rezoned several of the included lots to R1-A not long ago.

Member Ruggles said that during the Master Plan process, he brought this area of the Township to the Planning Commission's attention. The property will not remain farmland forever, but the intention was

to develop the property as a mixed-use area with an attention to keeping a lot of green space in the area.

Member Seward stated the plan does not meet the intent of the Master Plan or the ordinance. He was not opposed to the Planned Development rezoning.

It was MOVED by Member Meagher, seconded by Member Seward, regarding Edendale Crossing, identified as parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total) to recommend the Township Board approve the rezoning request to Planned Development, subject to all staff and consultants' comments being addressed and a recommendation for preliminary plan approval to the Township Board. The motion carried with a roll call vote: (4 yes votes) (Meagher/yes, Ruggles/yes, Carlock/yes, Dehart/no, Seward/yes).

It was MOVED by Member Meagher, seconded by Member Seward, regarding Edendale Crossing, identified as parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total), to recommend the Township Board deny the preliminary site plan. The motion carried with a roll call vote: (5 yes votes) (Meagher/yes, Dehart/yes, Carlock/yes, Seward/yes, Ruggles/yes).

B. Jax Car Wash

Property located on the northwest corner of Bogie Lake Road and Highland Road (M-59). Identified as parcel ID 12-20-276-034. Consisting of approximately 1.88 acres. Currently zoned PB (Planned Business).

Requests:

- 1) Preliminary site plan approval recommendation**
- 2) Planned business approval**

Applicant: BMW KAR WASH, LLC

Mr. Passalacqua reviewed his letter.

Mr. Leuffgen highlighted his review letter for the Planning Commission.

Member Ruggles asked Director O'Neil how many car washes are at the intersection of Bogie Lake Road and Highland Road. Director O'Neil said two, but he was unsure if one was still in business. The proposed car wash would make three.

Member Dehart shared concerns about the proposed entrance to the site. The traffic north of Highland Road to get to the Taco Bell in the area is unsafe.

Todd Gesund, owner of Jax Car Wash, was present to speak. He explained the amenities the car wash would provide. There would be three lanes with pay stations, interior restrooms for customers, hand towel drying, and an interior mat drying room.

Jim Butler, PEA Group, said the plan was reviewed by RCOC and there would be a right in, right out porkchop at Bogie Lake Road.

Chairperson Carlock opened the public hearing at 9:10 P.M.

Steve Woodard, 953 Schuyler, stated his concerns with the driveway, and traffic stacking issues. He suggested flipping the circulation of the site for additional traffic safety. He wanted more information about the water reclamation.

Clark Koby, owner of Wash Me Car Wash, said he keeps his prices low and his customers appreciate it. He stated his concern wasn't about the driveway itself, but the entrance of off Bogie Lake Road needed to change. The intersection is dangerous, and stacking cars will add to the issue.

Chairperson Carlock closed the public hearing at 9:15 P.M.

Mr. Butler said flipping the site would require issues with circulation meeting the ordinance setbacks. The site is topographically challenging as well. He suggested making the porkchop deliberate by design. He said there is an internal reclamation system for the water that will reclaim up to 35 – 45% of the water that will be reused.

**It was MOVED by Member Meagher, seconded by Member Ruggles, regarding Jax Car Wash, identified as parcel ID 12-20-276-034, to recommend the Township Board approve the preliminary site plan, subject to all staff and consultant review comments being addressed and for the Township Board to consider safety issues about the development's ingress/egress from Bogie Lake Road. The motion carried with a roll call vote: (4 yes votes).
(Ruggles/yes, Seward/yes, Carlock/yes, Dehart/no, Meagher/yes).**

CONTINUING BUSINESS

None.

NEW BUSINESS

A. The Avalon

Properties located on the northwest corner of Highland Road (M-59) and Hill Road Identified as parcel IDs 12-20-101-003 & 12-20-126-006. Consisting of an approximate combined 110.02 acres. Currently zoned PD (Planned Development)

Requests:

- 1) **Final site plan approval**
- 2) **Planned development agreement approval recommendation**

Applicant: White Lake Hill, LLC

Mr. Passalacqua reviewed his letter.

Mr. Leuffgen reviewed his letter. He added further engineering plans will need to be submitted by the applicant and reviewed before a pre-construction meeting can be held.

Member Ruggles asked how many phases there will be. Director O'Neil said it is being approved as one phase, but with several construction phases within in.

Director O'Neil said the PDA was drafted by the Township Attorney, and it expedites the review process for the agreement. He explained that the deviations are summarized as a narrative in the draft document.

Mark Ksassb, 31550 Northwestern Highway, was present on behalf of the project. He presented color renderings of the housing products. He added the intent is to start infrastructure construction in Spring 2026. The Community Benefit will be a dog park dedicated to the Township. He added the buffer on the northern, western, and eastern portions of the site was increased to 50'.

Jim Gailbraith, 31550 Northwestern Highway, stated there is a sister site he and Mr. Kassab developed in Commerce Township that has done very well. There will be more of the ranch style products on this site.

**It was MOVED by Member Meagher, seconded by Member Dehart, regarding The Avalon, identified as parcel IDs 12-20-101-003 & 12-20-126-006, to approve the final site plan, subject to all staff and consultant comments being addressed and the Township Board's approval of the PDA. The motion carried with a roll call vote: (4 yes votes)
(Meagher/yes, Dehart/yes, Carlock/yes, Seward/no, Ruggles/yes)**

**It was MOVED by Member Meagher, seconded by Member Ruggles, regarding the Avalon, as parcel IDs 12-20-101-003 & 12-20-126-006, to recommend the Township Board approve the Planned Development agreement, subject to all staff and consultant comments being addressed and approval of the document by the Township attorney. The motion carried with a roll call vote: (4 yes votes).
(Meagher/yes, Dehart/yes, Carlock/yes, Seward/yes, Ruggles/yes).**

OTHER BUSINESS

- A. Approval of 2026 Meeting Dates

It was MOVED by Member Meagher, seconded by Member Seward, to approve the 2026 Planning Commission meeting dates with the omissions of January 1, 2026, and July 2, 2026, dates. The motion carried with a voice vote: (5 yes votes)

LIAISON'S REPORT

Member Ruggles said the Township Board met last month and approved the 2026 Township budget. The Board also approved the sale of the used tanker truck. The Township Tree Lighting festival will be tomorrow, December 5 at Fisk Farm, starting at 6 P.M.

COMMUNICATIONS

Director O'Neil stated that there are a few remaining items from the Phase One construction at Stanley Park that will need to be bonded for. Awards for Stanley Park Phase Two MNTRF will be announced later this month. The new Senior Planner, David Waligora, will be starting at the Township next month.

NEXT MEETING DATE: January 15, 2026

WHITE LAKE TOWNSHIP
PLANNING COMMISSION
DECEMBER 4, 2025

Section 8, Item A.

ADJOURNMENT

It was MOVED by Commissioner Seward, seconded by Commissioner Meagher to adjourn at 10:15 P.M. The motion carried with a voice vote: (5 yes votes).



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January 8, 2026

Sean O’ Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Edendale Crossing- Preliminary Site Plan Review – 4th Review

Ref: DLZ No. 2545-7861-07 Design Professional: Kieft Engineering, Inc.

Dear Mr. O’ Neil,

Our office has performed a Preliminary Site Plan review for the above-mentioned revised plan dated December 18, 2025. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

General Site Information

This 45.47-acre site is located on the north side of Cedar Island Road and west of Bogie Lake Road.

Site Improvement Information:

- Construction of a ~~123~~ ~~125~~ **120** unit site condominium with private roads. The development is to be phased as follows: Phase I- 63 units; Phase II-57-units.
- Two entrances: One off Bogie Lake Road and one off Cedar Island Road.
- Extension of proposed sidewalk along Cedar Island Road with off site connection to the Huron Valley Schools property to the southeast.
- Water and sanitary sewer service.
- Storm water management facilities.

The following items should be noted with respect to Planning Commission review:

We note that comments from our November 20, 2025 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font. We note that no engineering response letter was received with this submittal.



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WLT-Edendale Crossing- PSP Review.04

January 8, 2026

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Preliminary Site Plan Comments

General

1. *Plan by J. Eppink Partners, Inc. dated September 19, 2025- Sheet PSP-1- Site Data- Table- Parcel size is incorrect. Correct acreage is 45.47. This is also incorrect in the same table in the Proposed Density calculations as well as the Existing AG& R1-A Zoning Parallel Plan(Sheet PSP-2). **Comment addressed. Acreage error has been corrected.***
2. *Sheet 19-Cedar Island & White Lake Middle School Sidewalk Plan- Remove 'Proposed Pedestrian School Crossing' note to the west of Carla Hills Drive as this was where the safety path was previously proposed. **Comment outstanding.***
3. *Sheet 3- The number of lots for each phase has not been updated to correspond with the reduction in total units from 125 to 120. Please update.*

Paving/Grading

1. *The plan shows a proposed extension of an 8' wide path along the Cedar Island Road frontage. Please note the proposed sidewalk does not extend the entirety of the property width to the east and instead crosses Cedar Island Road and heads further east across Carla Hills Drive then onto Huron Valley Schools property where it terminates at the drive lane of the Middle School. This will require approval/easements from HVS and we question the safety of terminating the sidewalk at a drive lane. Comment addressed at this level of review. Per the design engineer, connection of the path to White Lake Middle School shall be coordinated with Huron Valley Schools. The FEP shall show final location of sidewalk connection to the school. We note that the current submittal shows connection to the White Lake Middle School parking lot. Please see our above comment regarding safety concerns of terminating the sidewalk at a drive lane. **Per Item 5a of the 'Resubmission of updated Site Plan letter' from J Eppink Partners, Inc. and dated December 18, 2025, a final connection point for the proposed sidewalk has not yet been determined with Huron Valley Schools; however, the Community Impact Statement, also prepared by J Eppink Partners, Inc. and dated December 18, 2025 states on Page 4 that the proposed sidewalk shall connect to the existing school parking lot(White Lake Middle School) and on Page 9 states the sidewalk shall connect to Lakeland Elementary School Property which is located south of White Lake Middle School. In addition, Sheets 3,5,9,16, and 19 of the Preliminary Site Plan note/show connection of the proposed sidewalk to the White Lake Middle School parking lot. All correspondence and plan sheets shall be updated for consistency regarding the proposed sidewalk connection on the HVS property. We***



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also note that our previous comment regarding the safety of connecting the sidewalk into a traffic circulation lane in a parking lot remains.

2. *Is the intent to dedicate right of way along the Bogie Lake Road and Cedar Island Road frontages or to provide easements for the proposed sidewalk/path along these frontages? Comment addressed. ROW to equal 60' width shall be dedicated for both road frontages. **We note that offsite easements will be required from ~~Carla Hills~~ and Huron Valley Schools for the proposed 8' wide concrete walk.** Comment is now outstanding due to the following requested clarification and change in sidewalk layout: The proposed 8' wide path along Cedar Island Road has now been shifted in its entirety to the north side of the road. The Existing Conditions Plan- Overall (Sheet 2) shows 43' existing ROW along Cedar Island Road in front of Parcel 12-29-476-007 while the Overall Site Plan and Notes (Sheet 3) shows the existing ROW in this area as 33'. Please clarify. The right of way along Parcel -007 will determine whether a sidewalk easement will need to be granted by this property owner. Additionally, please revise '8' Wide Safety Path Connection to Huron Valley School Parking Lot' reference notes on Sheets 3 and 5 from Sheet 17 to Sheet 19. **Comment addressed. ROW width has now been corrected to 43' on the 'Overall Site Plan & Notes' (Sheet 3), so it now appears that an easement for the proposed path would not be required from Parcel -007. In addition, sheet references have been updated.***
3. *Preliminary grading of the site has been proposed and demonstrates general drainage patterns. A more detailed grading review will be provided at the time of Final Engineering Plan submittal/review. **Comment remains as a notation.***
4. *Provide plan indicating standard length fire truck access and turning radii so as to demonstrate adequate fire truck accessibility to and within the site. Comment addressed. Per design engineer, roads are per RCOC standards and support/provide adequate fire truck access. We note that there are a couple fire truck turning movements shown on the Cedar Island Entrance Plan (Sheet 9); movements show a standard (40' long) fire truck traversing the curb on Edendale Lane. **The current plan revisions include slight modification to the configuration of the small island on Edendale Lane in front of proposed unit #3. Please include a turning radius for a fire truck to navigate around this island and note that since there are proposed tree plantings within this island that a fire truck will not be able to traverse over the center of the island. Please also reference Sheet 9 where the Fire truck movements on this sheet still show truck traversing curb after turning left onto Mollygrace Lane. It appears this could just be shifted slightly north to keep the movement within the paved area.***
5. *Sheet 4- the previous submittal showed proposed contours in the area north of units 19-24. The current submittal does not show grading in this area, however the proposed grades seem to indicate that additional grading will be necessary with cuts of up to 10 feet. Please clarify as this will impact the disturbance area and the number of existing trees that can remain.*



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6. Sheets 5 and 9- Entrance dimensions of Edendale Lane at Cedar Island Road do not correspond to 21' B/B and 16' (island width) when measured per provided scale. Please revise.

Watermain

1. *We defer to the Township Fire Department regarding hydrant coverage. **Comment remains as a notation.***
2. *The Township requires two or more sources of water supply in any watermain extensions over 600 LF. This plan shows internal looping of watermain as well as stubbing into the right of way on Cedar Island Rd. However, there is no secondary source of supply. There would be potential for all ~~123~~ ~~125~~ **120** homes to be out of water or have disruption of water quality during routine maintenance like valve exercising or hydrant flushing. The developer will need to provide a second connection point and sufficient valving so that approximately 20 homes maximum are out of water at any given time during routine maintenance or emergencies. Comment addressed. A secondary watermain connection has now been provided; a 12" watermain is now proposed along Cedar Island Road with stub shown adjacent to the southeast corner of Unit ~~47~~ ~~50~~ **63**. **Comment remains as a notation.***
3. *Township Ordinance requires extension of utilities across property frontages; currently the plan proposes one stub out to the Cedar Island Road Right-of-Way at the Edendale Lane approach. We defer to the Township as to whether the watermain shall be required to be extended across the Cedar Island Road frontage and stubbed to the western property line. Please note that future expansion of the water system will be impacted by lack of access to watermain along Cedar Island Road. Please also note there are known contaminants related to the Huron Valley School site that may make the expansion of the Township water system desirable for nearby residents. **Comment remains. Currently the proposed 12" diameter watermain along Cedar Island Road does not extend to the western property line and ends just south of Unit 63.***

Sanitary Sewer

1. *The plan proposes gravity sanitary sewer onsite which will flow to a proposed sanitary sewer pump station. This pump station will need to be designed to OCWRC standards. It should be noted that the plan also includes a significant amount of offsite sanitary sewer forcemain to connect to the existing system near the south end of the Huron Valley school campus along Bogie Road. This forcemain has been sized in accordance with the master plan for future flows from the north. **Comment remains as a notation.***
2. *We defer to the Township regarding the requirement to extend sanitary sewer along the Cedar Island Road frontage with a stub at the western property line. Per Township Ordinance, utilities are required to be extended along property road frontages. **Comment remains.***
3. *Off-site easements shall be required for installation and future maintenance along parts of the proposed forcemain which fall outside of the Bogie Lake Road Right-of-Way. **Comment remains as a***



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notation. Per the design engineer, this is in process with Huron Valley Schools. In addition, it appears that an easement shall also be required from Parcel 12-29-476-007.

Stormwater Management

1. *Sheet 8- It appears the discharge from the detention pond will flow across Parcel #12-28-303-001 which may require a storm drainage easement unless the storm sewer can be extended to a point there is no conflict. Comment addressed. A ditch that will route where the drainage to Thompson Lake goes is now proposed within the existing road ROW. **Comments remains as a notation.***
2. *Sheet 8- The proposed storm sewer layout along Bogie Lake Road will need to be clarified at the time of Final Site Plan/Final Engineering Plan to work with existing stormwater features, site drainage, and utility poles etc. **Comment remains as a notation.***
3. *There are several comments/questions we have regarding the Detention Basin Calculations and Details Sheet 16. We have attached a red lined copy of the sheet for the design engineer's use. **Comment partially addressed, but sufficient for this level of review. Please provide the T_t numbers in the 100 Year Basin Calculations. See attached plan sheet for a few remaining questions that can be answered with the FSP/FEP submittals.***

Recommendation

The majority of our above comments have been addressed, and we feel comfortable with most items being addressed at the time of Final Site Plan (FSP), and Final Engineering Plan (FEP) reviews. Remaining items to be clarified relate to the termination of the sidewalk on the adjacent school property and the site grading which could reduce the number of trees that can remain. Additionally, there is the question of sanitary sewer and watermain utility extensions to the western property line. Currently the plan does not meet this Ordinance requirement; we defer a decision on this item to the Township Board.



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Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

Encl: Detention Basin Calculations and Details Red Lined Plan Sheet

Cc: Hannah Kennedy-Galley, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
Nick Spencer, Building Official, White Lake Township, *via email*
Jason Hanifen, Fire Marshall, White Lake Township, *via email*
David Waligora, Community Development *via email*
Matteo Passalacqua, Carlisle Wortman, *via email*

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100 YEAR DETENTION BASIN CALCULATION (I.E. WITH OUTLET)

Table with columns for parameters like TOTAL CONTRIBUTING AREA, HYDROLOGIC SOIL GROUP, RUNOFF COEFFICIENT, LENGTH, % SLOPE, SHEET, SWALE, DITCH, PIPES, TR, TC, I100, CHANNEL PROTECTION VOLUME CONTROL, SOILS INFILTRATION RATE, EXTENDED DETENTION, WATER QUALITY, MECHANICAL SEPARATOR, DETENTION & FLOOD CONTROL, SEDIMENT FOREBAY, 100-YEAR STORAGE VOLUME, WAS VOLUME CONTROL, 48 HOURS FOR RATE CONTROL, ORIFICE FORMULA, FOREBAY, DETENTION BASIN, 100-YEAR ALLOWABLE OUTLET.

Provide these numbers.

483,419 CF

138.00 IN/HR

262,898 CF

"C" CALCULATION

TOTAL SITE AREA = 45.47 ACRES
PAVEMENT AREAS:
ROADS: = 157,000 SF
SIDEWALKS: = 78,923 SF
FUTURE DRIVEWAYS: SAY (800 SF) x (125 DRIVES) = 100,000 SF
TOTAL PAVEMENT AREA = 335,923 SF = 7.72 ACRES @ C = 0.95
ROOF AREAS:
ASSUME (2,800 SF) x (125 HOMES) = 350,000 SF = 8.04 ACRES @ C = 0.95
DETENTION BASIN AREA: 2.00 ACRES @ C = 1.00 (AVERAGE)
GREENBELT AREAS: 27.68 ACRES @ C = 0.20

C = (7.72 ACRES x 0.95) + (8.04 ACRES x 0.95) + (27.71 ACRES x 0.20) + (2.00 ACRES x 1.00) / 45.47 AC = 0.495 = 0.50

VOLUME PROVIDED:

A1 = @ 961.00 = 55,000 SF
A2 = @ 965.00 = 84,200 SF
V = H(A1 + A2 + sqrt(A1 x A2)) / 3 = 276,334 CF, OK

DETENTION BASIN

EXISTING WATER ELEVATION = NONE
100 YEAR DESIGN HIGH WATER ELEVATION = 965.00
1' FREEBOARD ELEVATION = 966.00
STORAGE REQUIRED = 260,820 CF
STORAGE PROVIDED = 276,334 CF
SO-2 STANDPIPE RIM = 963.50
OVERFLOW MANHOLE RIM = 965.00
LOWEST EMERGENCY OVERFLOW CATCH BASIN ON N. SIDE IN ENTRY ROAD (OFF BOGIE LAKE ROAD) = 966.75
BOTTOM = 960.00

APPROXIMATE DETENTION BASIN 10 YEAR OUTFLOW CALCULATION

Q = ACi; A = 45.47 ACRES; C = 0.50; I = 175; T = 30 MINUTES+.
NOTE: ESTIMATED TIME BASED ON THE LONGEST STORM SEWER RUN = 2,400 LF
THUS, 2,400 LF + 3 FPS (ASSUMED) = 800 SECONDS = 13.33 MINUTES
USE 10 MINUTES TO BE CONSERVATIVE.
20 MINUTES (INITIAL Tc) + 10 MINUTES = 30 MINUTES

Northwest Area Storm Run-off Calculation Comparison

"EXISTING CONDITIONS"
PRESENTLY 4.80 ACRES FLOWS OFF-SITE TO THE NORTHWEST.
EXISTING C = 0.30
FOR A 10 YEAR STORM Q10 = ACi
A = 4.80 ACRES
C = 0.30
I = 175; T = 20 MINUTES; I = 175 / 20+25 = 3.89

Q10 = (4.80)(0.30)(3.89) = 5.60 CFS EXISTING
PROPOSED "C" CALCULATION
(13 HOMES)(REAR ROOF=1,600 SF) = 20,800 SF = 0.48 ACRES @ C = 0.95
REMAINING 2.52 ACRES @ C = 0.30
"C" = (0.48 ACRES x 0.95) + (2.52 ACRES x 0.30) / 3.00 AC = 0.41 0.37

A = 3.00 ACRES
C = 0.41
I = 3.89
Q10 = (3.00)(0.41)(3.89) = 4.79 CFS PROPOSED
THUS, THERE IS LESS PROPOSED STORM WATER RUN-OFF THAT WILL BE FLOWING TO THE LEACH BASIN IN THE NORTHWEST AREA THEN THE EXISTING STORM WATER RUN-OFF FOR A TEN YEAR STORM.

Storm Water Facilities Maintenance Plan

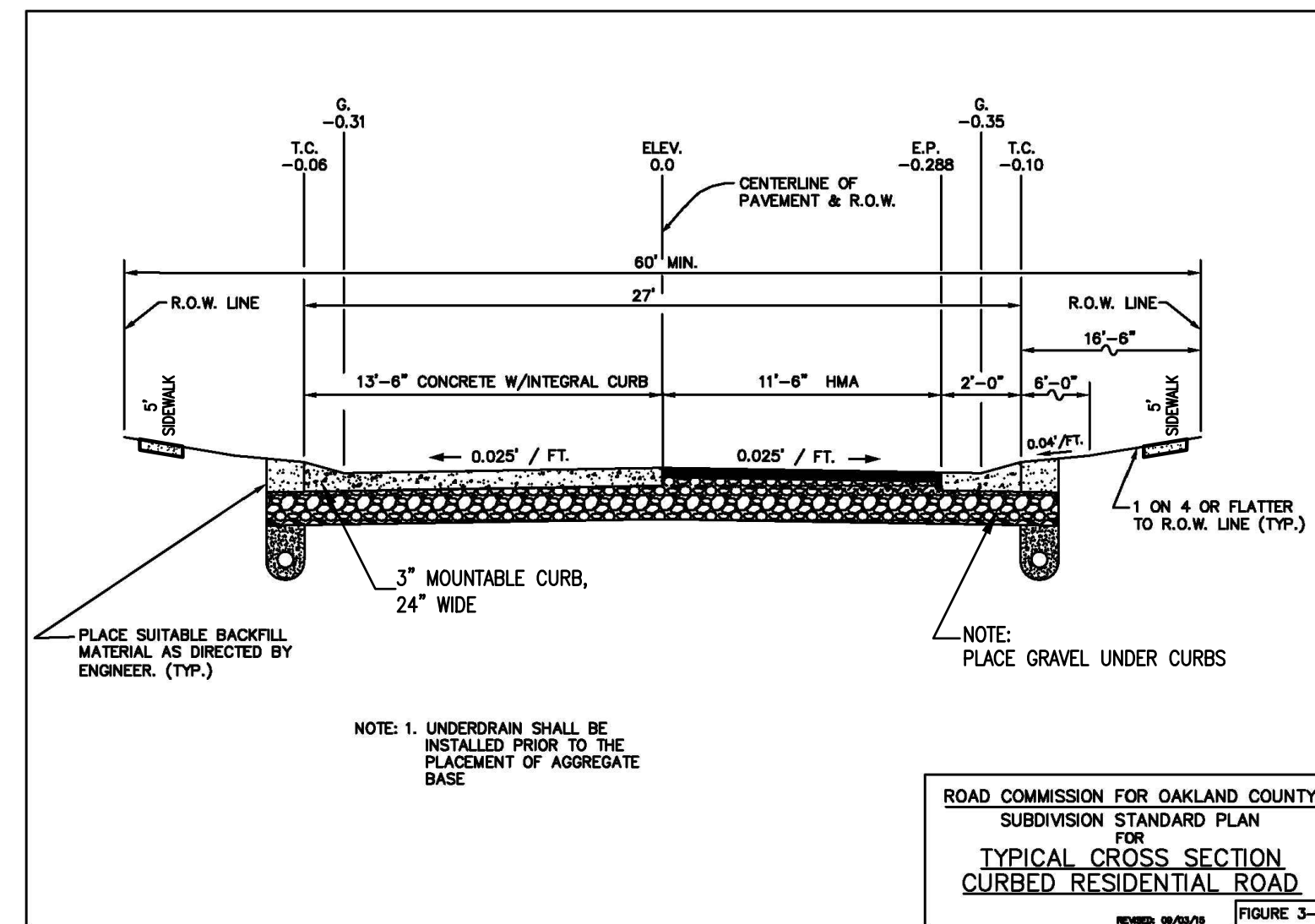
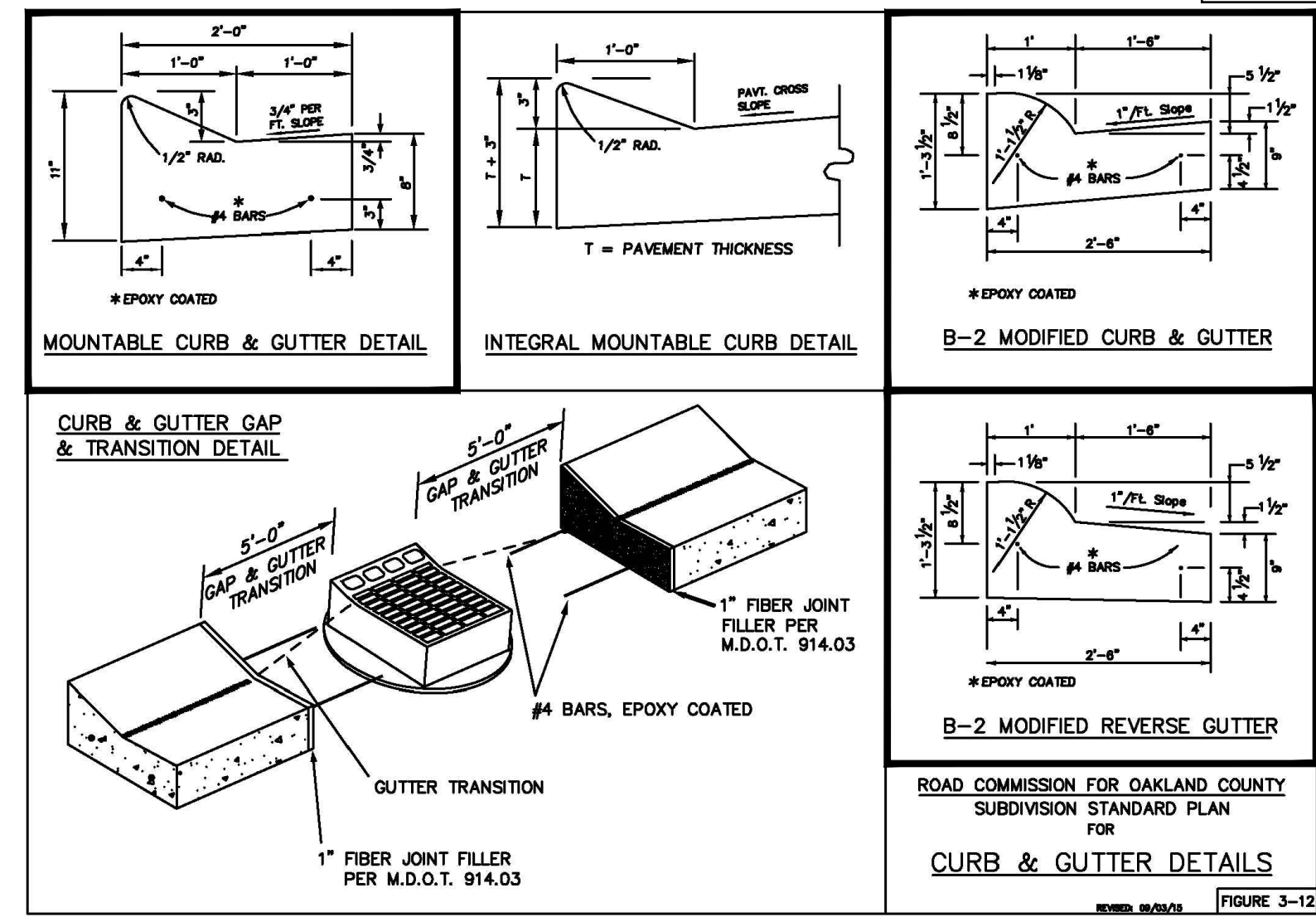
The "Edendale Crossing" Homeowners Association shall be responsible for the maintenance of all the storm water facilities. (Note: The developer is responsible until the HOA exists).

These facilities include the following:

- Detention Basin
• Pretreatment Structure Manholes
• Manholes, Rear Yard Catch Basins, Leach Basins, End Sections & connecting pipe work
• Rear yard swales (within easements)

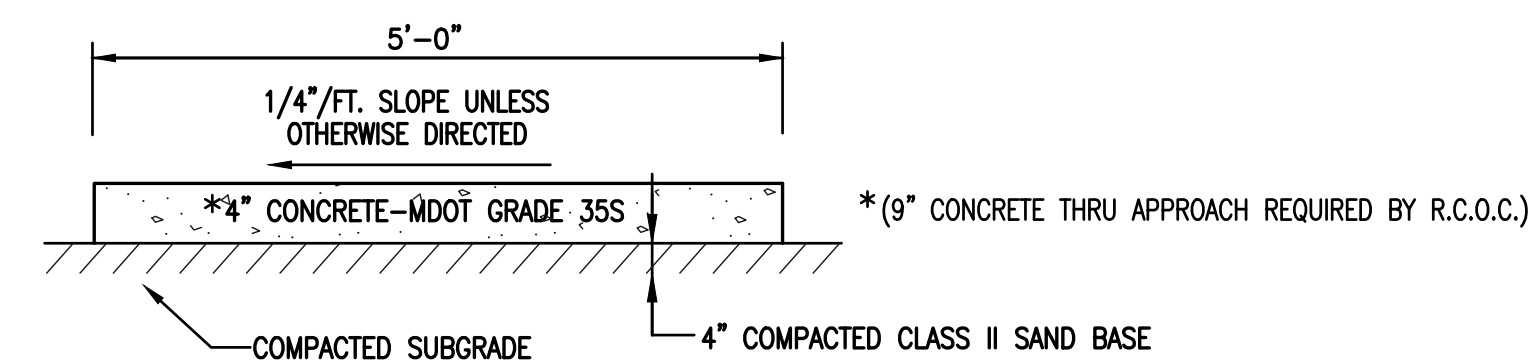
The HOA shall hire a qualified contractor to do the following Maintenance Schedule (including report kept on record):

- 1. The (2) Pretreatment Structures shall be inspected by a qualified contractor on a semi-annual basis (twice/year) and necessary action taken to clean out the structures in accordance with the manufacturers guidelines.
2. The Detention Basin shall be inspected on any annual basis by a qualified contractor and/or civil engineer to insure it is functioning as designed.
3. The storm structures & swales shall be inspected on a bi-annual basis (every two years). This is an "above ground" visual inspection to determine if any structures are "failing", (i.e. ground has sank around structure, etc.).

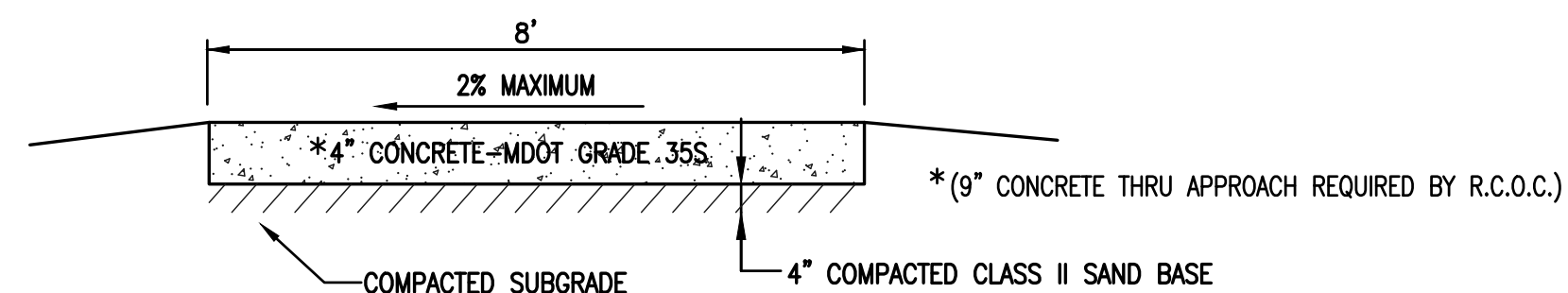


TYPICAL ROAD SECTION "A-A"

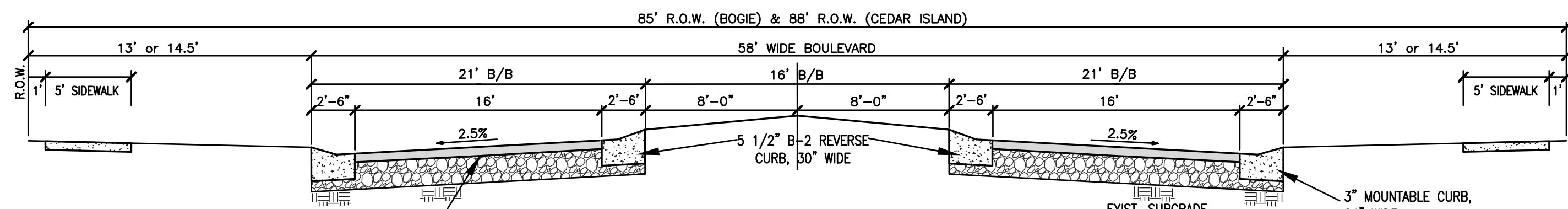
(SEE R.O.C. DETAIL SHEET 22 OF 25)



5' WD. 4" THICK CONCRETE SIDEWALK (ONSITE & BOGIE LAKE ROAD)

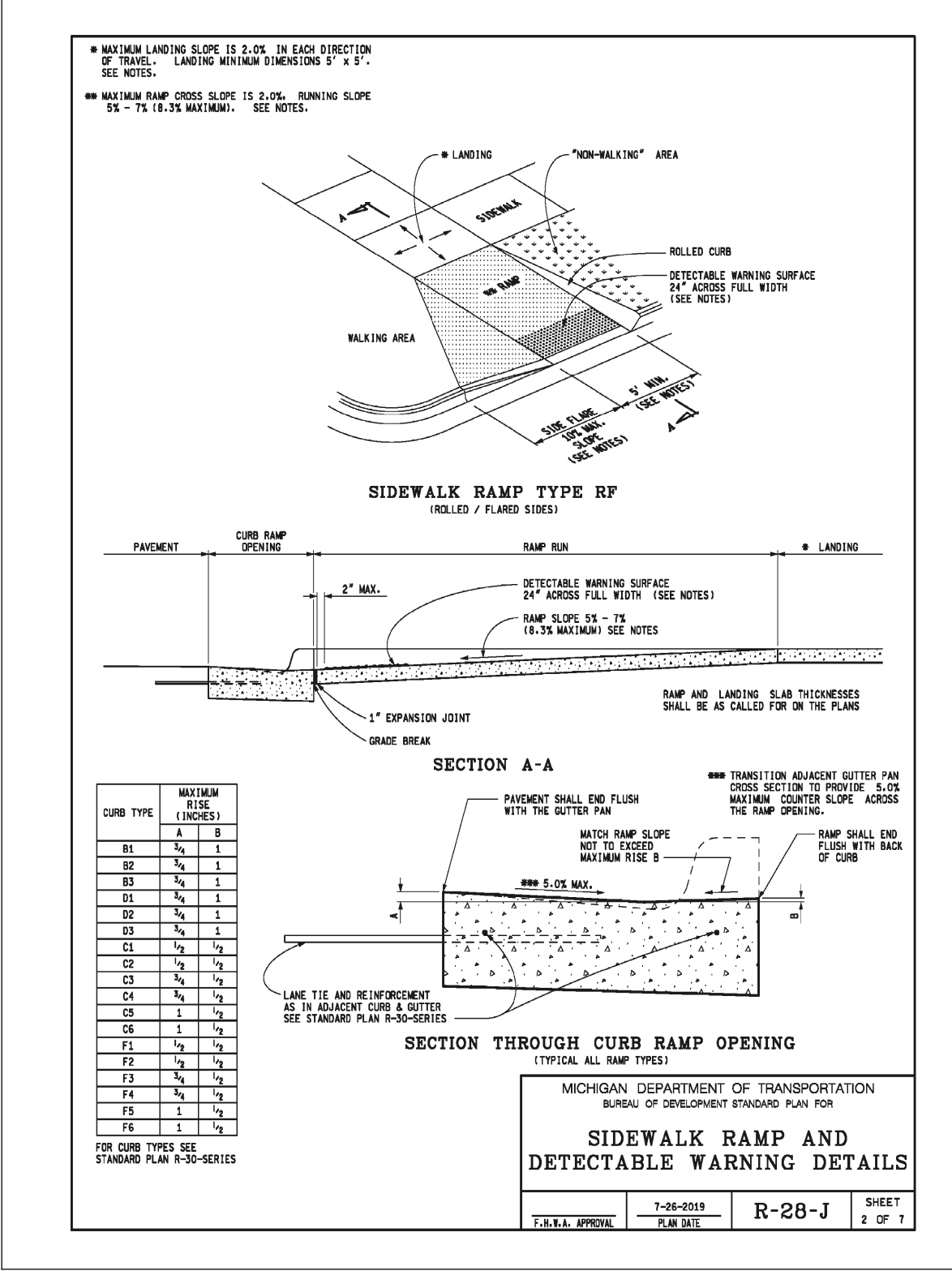


8' WD. 4" THICK CONCRETE SIDEWALK CEDAR ISLAND ROAD R.O.W.



BOULEVARD ROAD SECTION "B-B"

NOTE: 4.5" ASPHALT
1 1/2" HMA 5E
3" HMA 3E
RS-1H OR SS-1H @ 0.10/GAL/SYD BETWEEN LIFTS OVER
10"-21AA AGGREGATE, R.O.C. MODIFIED (6.5" UNDER CURBS)



TOTAL SITE
RESIDENTIAL UNITS = 123 REU/UNIT = 123 REU'S

OVERALL SANITARY DESIGN

"AVERAGE FLOW"
123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS
332.1 PERSONS x 100 GPCD = 33,210 GPD = 0.03321 MGD
x 1.55 (conversion)
Q = 0.0515 CFS

"PEAK FLOW"
123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS/1000 = 0.3321 = P
Q = 100 x (18 + sqrt(P)) / (4 + sqrt(P)) = 405.93 GPCD
332 PERSONS x 405.93 GPCD = 134,769 GPD = 0.13477 MGD
x 1.55 (conversion)
Q = REQUIRED = 0.2089 CFS

NOTE: AN 8" TRUSS PIPE @ 0.40% CAN CARRY 0.765 CFS @ 2.19 FPS.
A 10" TRUSS PIPE @ 0.30% CAN CARRY 1.194 CFS @ 2.19 FPS.



9/19/2025 9:10 AM PH: Home - Bogie & Cedar Island CAD: Edendale Crossing.dwg, 16 Calcs, 9/10/2025 4:02:43 PM

Table with columns for DATE, ISSUE, and PER DLZ (6-26-2025).

PROPRIETOR: PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

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PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
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PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

Table with columns for DATE, CKD. BY, DATE, DESIGN, DESIGN, SECTION.



Detention Basin Calculations & Details
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

Table with columns for SCALE, SHEET, and KE 2025.010.



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

January 7, 2026

**Preliminary Site Plan / Site Condominium / Planned Development Review
for
White Lake Charter Township, Michigan**

PROJECT SUMMARY

Applicant:	PH Communities LLC
Project Name:	Edendale Crossing
Plan Date:	July 2, 2025
First Revision:	September 19, 2025
Second Revision:	November 12, 2025
Third Revision:	December 18, 2025
Location:	Northwest corner of Bogie Lake Road and Cedar Island Road Parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total)
Action Requested:	Preliminary Site Plan / Site Condominium / Planned Development Approval

PROJECT NARRATIVE

On December 4th, 2025, the Planning Commission held a public hearing to review the Edendale Crossing planned unit development preliminary site plan. After consultant reviews, the public hearing was opened. Residents from the community expressed concerns regarding traffic, density of housing, and the development’s contrast in character to the surrounding area. After closing the public hearing, The Planning Commission acknowledged that the area is zoned residential and that there was a general expectation that it would be developed into housing but also expressed concerns with the project’s proposed density and layout. Commissioners agreed that the PD district was an appropriate mechanism to develop the site but that the site plan was not aligned with the character of the neighborhood. After deliberation, the Planning Commission voted unanimously to recommend denial of the preliminary site plan to the Township Board.

On December 19th, 2025, the applicant submitted a third revision of the preliminary site plan. The primary modifications to the plan are recorded throughout our updated review but also listed below:

- Reduction in single family unit count from 125 to 120.
- Increase of open space from 24% to 27%.
- Density reduction to 3.3 units per net acre from 3.4 units per net acre.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Senior Associate*
Richard K. Carlisle, *Past President/Senior Principal*

- Homes near the north entrance have been moved 70 feet back from the Bogie Lake ROW from the original 40 foot buffer.
- Homes near the south entrance have been moved 45 feet back from the Cedar Island ROW from the original 30 foot buffer. See notes in the Area, Width, Height, Setbacks portion of this review.
- Open space and passive recreation areas have been redesigned. Open space is no longer proposed along the western and northern borders of the development. The central open space has increased in size and now includes a playground and larger walking path. A small pocket park has been included in the northeast corner of the site near units 12 and 13.
- Mollygrace Lane has been eliminated.

The increase in setbacks from Bogie Lake and Cedar Island Roads, as well as the increase in open space and recreation areas better align with the site’s Master Plan subarea designation.

The applicant is requesting preliminary site plan approval as well as site condominium and planned development approval to construct a 120-unit site condominium using the Planned Development (PD) zoning option. The largest parcel included in the project is 34.76 acres and zoned AG, Agricultural (Five acre minimum lots). The eight remaining parcels are zoned R1-A, Single Family (One acre minimum lots). A rezoning application was submitted concurrently with the site plan. Review of rezoning criteria is provided in this report. Approval of the plan will require the condition that the lots be combined into one parcel. The resulting parcel would be 45.47 acres. This review will be conducted with the assumption the lot combination has been approved.

The PD District is intended to provide for the location and various types of planned land use on large parcels held in common ownership. Single family detached housing is allowed under the district uses. The PD district is intended to result in a unique, planned development that includes such techniques as open space preservation.

For PD developments, the Planning Commission holds a public hearing and recommends approval, conditional approval, or denial of the site plan to the Township Board. The Township Board then reviews the application and grants approval if the Board determines that the plan satisfies all requirements for preliminary plan approval. Development agreements are required for review prior to final site plan review by the Planning Commission. The Planning Commission approves or denies the final site plan and recommends approval or denial of the development agreement to the Township Board. The Township Board has final authority over the approval of the development agreement.

A Community Impact Statement (CIS) is required and provided in the application.

Items to be Address: Approval of the plan will require the condition that the lots be combined into one parcel.

SITE DESCRIPTION

Lot Area:	45.47 gross acres / 36 net acres
Frontage:	Approx. 809.9 feet along Bogie Lake / Approx. 1,375 feet along Cedar Island Road
Address:	Bogie Road Lot TBD / 5805 – 6605 Cedar Island Road
Current Use:	Vacant

Aerial image of the site



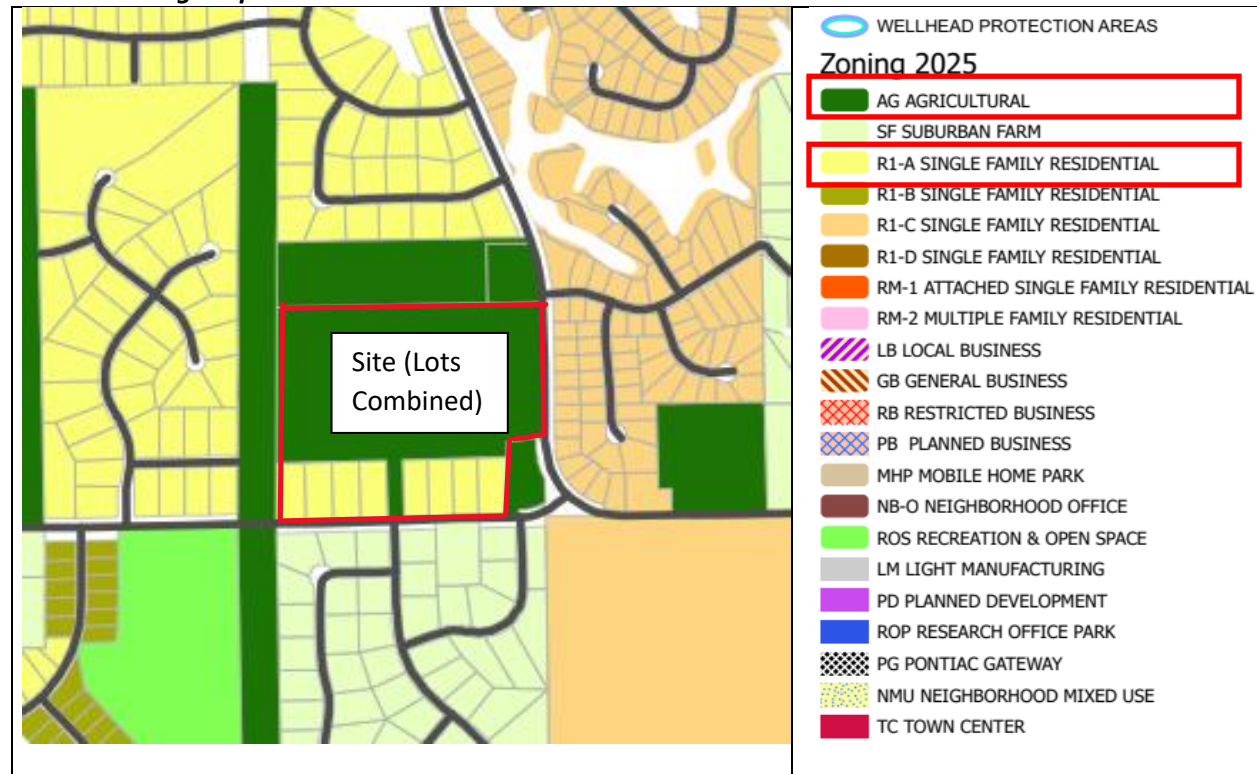
Source: NearMap July 2025

	North	East	South	West
Surrounding Zoning	AG, Agricultural	R1-C, Single Family Residential	Suburban Farm	AG, Agricultural
Surrounding Land Uses	Single Family Home / Landscaping Yard	Single Family Homes	Single Family Homes	Electrical Utility Lines

Future Land-Use Map	Neighborhood Residential	Neighborhood Residential	Agricultural / Rural Residential	Agricultural / Rural Residential
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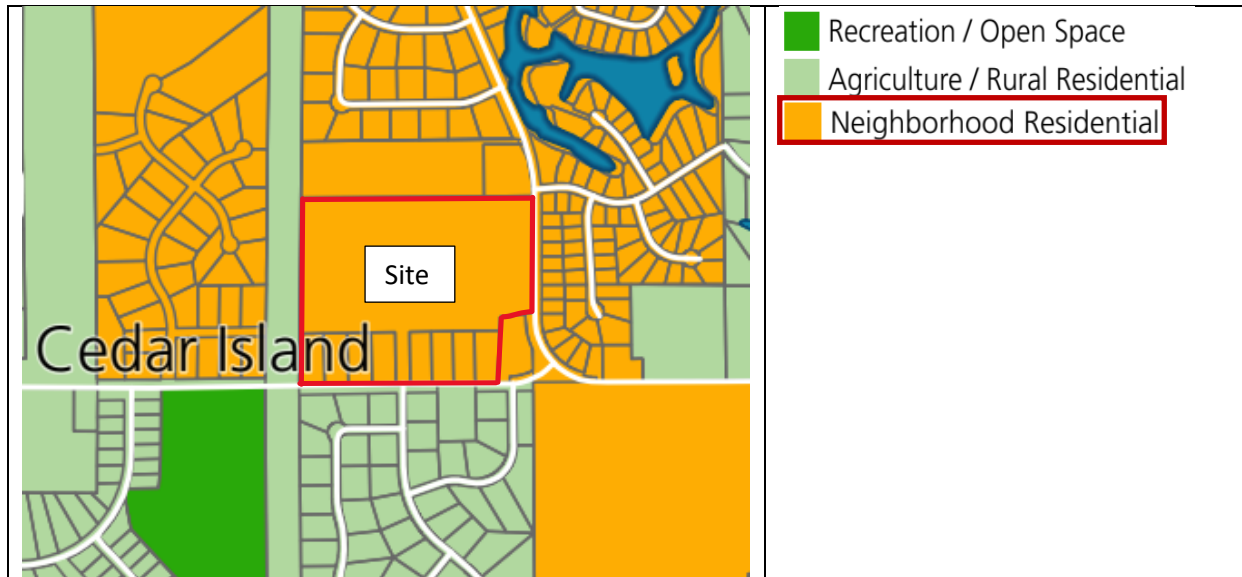
Current Zoning	<p>AG Agricultural / R1-A Single Family Residential</p> <p><i>AG: The Agricultural District is established as a district in which the principal use of land is for farming, dairying, forestry operations and other agricultural activities. The intent of this article is to protect land needed for agricultural pursuits from encroachment by untimely and unplanned residential, commercial or industrial development.</i></p> <p><i>R1-A: The Single-Family Residential Districts are established as districts in which the principal use of land is for single family dwellings, located in neighborhoods that include open space and that preserve sensitive natural environmental features.</i></p>
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Current Zoning Map



Future Land Use	<p>Neighborhood Residential</p> <p><i>Description: "Maintains existing neighborhoods and provides for denser residential development in places where there is infrastructure to support the density and ensuring density is within the context of the surrounding neighborhood."</i></p> <p><i>Example of Uses: "Small-lot single family, duplexes, multi-family, parks, convalescent or nursing homes"</i></p>
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Future Land Use Map



The zoning and Master Plan compatibility of the development is assessed in the Planned Development and Community Impact Statement portions of this review.

Item to be Addressed: Addressed in other portions of this review.

PLANNED DEVELOPMENT

Standards for PD projects are outlined in Section 6.7 of the zoning ordinance. This portion of the report will review those standards to identify any potential issues with the proposed development.

Sheet 3 of the site plan indicates the project will be implemented in two phases. Phase 1 will focus on portions of the site adjacent to Bogie Lake and Cedar Island Roads. Phase 2 fill out the northwestern portion of the site. Sheet 3 outlines the previous unit count for phasing and should be updated.

If the proposed development will be constructed in phases, only those phases that will be complete within two years shall be granted final approval by the Planning Commission. If deemed necessary for the protection of adjacent land uses, and/or proper development, the Township may condition approval upon a particular order of development when a phased approach is to be utilized in a planned development project. A schedule for the proposed phases is required.

Design Standards

Only single family residential is proposed within the site thus negating the requirement for buffer areas between uses.

Pedestrian pathways are provided along the Bogie Lake and Cedar Island roads as well as along both sides of internal streets. Several paths are proposed weaving between and behind units. The CIS states that walking trails adjacent to homes are desirable and considered a premium feature for buyers. About 20%

of the proposed homes would be adjacent to proposed trails.

The majority of passive recreation open space is provided behind units in the northwest portion of the site. Other open spaces are small parks, the detention area, and existing wooded areas through the central portion of the site.

Façade renderings and basic floor plans for housing units are shown on Sheet A-1. All models range between 2,100 sqft to 2,700 sqft and offer four bedrooms and two and a half baths. Two car attached garages are provided on all models. Brick and vinyl siding are the predominant exterior materials. The proportions of brick and siding proposed on the façade of the units is complementary, however it is recommended that the brick be included in similar proportions on the side/rear elevations as well.

Access to the site and utility assessments will be evaluated later in this report.

Compatibility to Master Plan

As noted earlier in this report, the proposed project area is designated as Neighborhood Residential on the 2024 Master Plan Future Land Use map. While this designation calls for dense development (2 to 8 units per acre), it also cites a need to ensure such density is in context with surrounding neighborhoods. Nearby developments do provide single family housing however lots range from approximately 15,000 square feet to 50,000 square feet in size. Density for this designation is outlined as two to eight units per acre. Corresponding zones are R1-C, R1-D, RM-1, RM-2, and PD.

The Housing section of the Master Plan does indicate that the Township needs new housing as existing stock ages. Reference is made to the need for “missing middle” housing which promotes a wide array of housing types (mostly attached single-family products).

The Goals and Objectives portion of the Master Plan offers insight on the future vision residents have for the Township. Top goals identified by residents related to preserving the community’s natural features, small town rural character, and providing multi-modal transportation. The site does not contain any major natural features however the plan does call for the retention of some of the site’s existing vegetation. The density proposed does not fit a small-town character and is more akin to denser suburbs. Few alternate transit options exist in the Township, however the site’s proximity to education facilities to the south offers an opportunity for bike and pedestrian connections that would allow non-vehicular access to nearby schools. The project does propose connecting the site to the Huron Valley School site as part of a community benefit.

The Action Plan portion of the Master Plan provides guidance on how to achieve the Township’s goals. The provision of new housing in the Township is a key topic in this section. Reference is made to providing more housing to meet demand, provide entry level/affordable housing to attract new residents, and support for aging-in-place and existing housing stock. The proposed development does offer additional new dwelling units to address demand and promote resident growth. The CIS references the taxable value of the homes being approximately \$250,000. This would indicate the total value of the homes would be around the \$500,000 amount. The CIS cites that smaller lots are more affordable and easier to maintain for busy families and retirees.

The proposed development offers more housing in a community and region that is currently experiencing

shortages. This both aides and challenges the community’s goals for additional housing in that the strong market is keeping existing and new unit values high. The density of the development does not match its surroundings however does meet some characteristics and needs outlined in the Master Plan. The Master Plan is clear in the goals of preserving natural features and providing adequate infrastructure to protect them. The site plan provides tree surveys including an inventory of existing trees and how many are to remain. However, the table indicating the total number of trees onsite is not clear. A table should be added to the site plan clearly stating how many trees are onsite and how many are to remain.

The proposed utility lines along Bogie Lake Road do align with the Master Plan’s community facilities goal of expanding water/sewer infrastructure throughout the Township. If this system will have additional capacity, this could be considered a public benefit for existing residents or future developments to utilize.

The area for the proposed development is identified in the Master Plan as one of three redevelopment sites. The primary considerations for this site in the plan are:

- The Development of single-family detached and attached dwellings with adequate area reserved for outdoor recreation for both active and passive activities.
- Setbacks from Bogie Lake Road would allow for a landscape zone with street trees and a shared pathway.
- The setback line for residential single-family homes would be 35 feet from the ROW.
- Access points on Bogie Lake Road and Cedar Island Road would serve an internalized street network, in order to reduce traffic.
- Residential densities along Bogie Lake Road would be one dwelling per acre. Internal residential development could be higher if developed adjacent to the recreation open space.

The current plan proposes high density through unit count and proposed lot standards as well as offers active and passive recreation. Lots are setback from Bogie Lake Road by no less than 70 feet. Single lot front yard setbacks are proposed to be 25 feet from the ROW.

The CIS provides the following information relating to compliance with the Master Plan:

“Edendale Crossing specifically meets the stated goals in the Master Plan including (1) the preservation of existing trees, woodlots, and natural features, (2) the creation of open space for active and passive recreation, (3) pedestrian connections to schools and off-site connections, (4) provides large setbacks, water features, and landscape at Bogie Lake Road to preserve the rural character, (5) the creation of new housing opportunities in the Township, and (6) the extension and improvement of community services such as utilities and road improvements.”

Additional information is provided in the CIS on pages 2 through 4 regarding the site plan and its relevance to the Master Plan, rural character, road frontage, and community benefits.

Neighborhood Residential on the future eland use map does call for denser residential development. The surrounding neighborhood does not directly reflect the level of density proposed. Water infrastructure does not currently exist in the area but is proposed to be extended by the applicant. The proposed extension of the sewer to the site is supported by the Sanitary Sewer Master Plan.

When referring to density, R1-C, R1-D, RM-1, RM-2, and PD are corresponding zoning districts for the

“Neighborhood Residential” future land use designation. The range of 2 to 8 units per acre is provided in the Cedar Island Road and Bogie Lake Road sub-area plan. The project does retain a traditional neighborhood design and lot size which allows for some natural area preservation and open space.

Community benefits are listed as:

Road Improvements that will benefit increase safety and ease turning movements for existing residents, Thompson Lane, and school bound traffic through the widening of the road to provide a consistent center turn lane as suggested by RCOC.

CWA Comment: These improvements would likely be required under a permitted by right R1-D development, however unlikely for an R1-A or AG permitted by right development.

The 1-mile extension of the Sanitary force main that delivers on the goals of the Master Plan through the expansion of infrastructure and enabling connection to existing residents along the route as well as future expansion north along Bogie Lake Road.

CWA Comment: This investment does align with the Sanitary Sewer Master Plan. This investment would also be necessary for a permitted by right dense residential development however the ability to serve future development or existing sites could be a community benefit.

Preservation of Natural Features including the preservation of existing regulated trees, hedge rows, and significant non-regulated trees and vegetation. This provides open space within the neighborhood, but more importantly maintains regional green corridors and tree canopy for animal habitat, bird migration, and general greening of White Lake Township.

CWA Comment: A permitted by right single family home residential development does not require open space or natural preservation.

Pavement extension of Cedar Island Road so that Cedar Island will now be paved from Bogie Lake Road to west of the proposed Edendale entrance.

CWA Comment: The paving of Cedar Island Road from the development entrance to Bogie Lake Road will improve and encourage the use of the south development entrance given most vehicles will be headed to Bogie Lake Road.

Sidewalk Connections to Lakeland Schools. Installation of sidewalks along the entire Bogie Lake Road and Cedar Island Road frontages including the extension of those sidewalks to the Bogie Lake / Cedar Island intersection and further south onto the school property to the existing parking lot for connection into the school campus that will allow greater walkability within the township and safe access to school for White Lake Township students.

CWA Comment: Sidewalks are required for all new developments and redevelopments in the Township. The pedestrian connection to the nearby school complex is not required and does offer non-motorized access to a facility residents will likely utilize. The implementation of the pathway will need to be coordinated with the school district and should be reoriented to not terminate into a parking lot. Pathways within the development not adjacent to roads are not required in

permitted by right projects.

Pages 8 and 9 outline the applicant’s specific elements of the PD proposal.

The Planning Commission will need to consider the site’s proposed layout, density, recreation space, pathway connections, and natural features protection and how they align with the Master Plan.

Land Use

Single family detached housing is the only use identified for the site which is permissible in the PD district.

Dimensional and Density Standards

Sheet PSP-2 provides two parallel plans. One plan depicts the site developed under the current zoning (R1-A and AG). The other shows the site developed under the R1-D zoning which is the most comparable to the level of density proposed in the preliminary plan. Under current zoning, the site could be developed into 12 lots, each with a single family home. The site developed under R1-D would allow for 109 lots, each with a single family home. Per the lack of regulated wetlands, major natural features, and no requirement for open space in permitted by right R1-D and Condominium developments, the proposed development footprints of the two parallel plans are valid.

Per the Master Plan Future Land Use designation, the R1-D zoning district is the relevant zoning designation to compare deviations to. Density and dimensional deviations are provided in the Area, Width, Height, Setbacks portion of this review. For reference, proposed density is 3.3 units per net acre while providing 27% open space. Density under R1-D would be 3 units per net acre with no requirement for open space.

Items to be Addressed:

- 1) *A schedule for the proposed phases is required. Sheet 3 outlines the previous unit count for phasing and should be updated.*
- 2) *The proportions of brick and siding proposed on the façade of the units is complementary, however it is recommended that the brick also be included in a similar proportion on the side and rear elevations.*
- 3) *A table should be added to the site plan clearly stating how many trees are onsite and how many are to remain.*
- 4) *The implementation of the pathway to the school complex will need to be coordinated with the school district and should be reoriented to not terminate into a parking lot.*
- 5) *A draft development agreement will be required during final site plan review.*
- 6) *The Planning Commission will need to consider the site’s proposed layout, density, recreation space, pathway connections, and natural features protection and how they align with the Master Plan and proposed community benefits.*

COMMUNITY IMPACT STATEMENT

Section 3.1.10 and 6.6 of the zoning ordinance outline the need for a Community Impact Statement (CIS) for Planned Developments and the like. A CIS for the proposed development dated December 18, 2025 has been included in the application and reviewed below.

Information is provided by the applicant as to the rationale for proposing only single family detached units in the project.

General

The CIS provides relevant information about the development regarding overall size, density, site amenities and woodland preservation. 120 single family homes are proposed resulting in a 2.6 unit per gross acre, 3.3 net acre density. Lots are smaller than permitted under the densest single family home zone (R1-D). Reference is made to the Master Plan and the redevelopment site referenced for the development area. This information is reviewed in the PD section of this report.

Community Facilities and Services

The applicant states the site is anticipated to add approximately 324 new residents and have a low impact on police and fire services. Increased calls to police are estimated to be six to eight per year with an additional 20 to 25 calls to fire/emergency services per year.

The project is proposing to extend an existing sanitary force main up Bogie Lake Road to the site as well as the installation of a pump station. We defer to Township Engineering on the specifications of this improvement however we note that it may only be considered a public benefit if there is additional capacity for neighboring uses or future development to utilize.

Primary axle loaded truck traffic is anticipated during construction but not upon completion. The statement indicates trucks will likely use M-59, a quarter mile to the north, to access and exit the community.

No other significant impacts or needs are anticipated for community services or facilities. One item for consideration is the anticipated traffic upon completion. Oakland County Road Commission (RCOC) has been consulted prior to preliminary site plan review and has provided unofficial conceptual acceptance of the proposed intersections and improvements at the Bogie Lake and Cedar Island Road entrances.

Economics

The site is anticipated to generate approximately 216 temporary jobs (construction) and no permanent jobs as a function of the development itself. Statistics are provided that state the construction investment and occupancy of the homes could support over 290 full time jobs. It is estimated that the proposed development will contribute roughly \$950,000 per year to White Lake Township and local schools from annual property taxes.

Environment

The site has gentle slopes and existing mature tree clusters. No wetlands or waterbodies are present. The CIS states that no major environmental impacts are expected per water, sewer, and stormwater infrastructure. Information is given on the impact the development will have on the site or its surrounding area. As noted in this review, a specific tree count for trees to be removed and to remain should be provided along with the existing tree surveys in the site plan.

Noise

Noise is anticipated during construction. After completion, noises common with residential developments are to be expected. The CIS states existing and proposed landscaping will assist in mitigating noises.

Traffic

A traffic impact study dated September 28, 2025 was provided in the application and is reviewed in detail in the Access and Circulation portion of this report. The TIS was based on the development’s original layout and housing count of 125 units. The CIS states the traffic impact to Bogie Lake and Cedar Island roads would be minimal. Morning trips would increase by approx. 82 and evening trips would increase by approx. 111. The project does incorporate traffic improvements such as the paving of Cedar Island road from Bogie Lake Road to the developments access point, and the addition of a left hand turn lane and right hand taper lanes. The Road Commission of Oakland County approval of the access to Bogie Lake and Cedar Island Roads will be required.

Mapping

The overhead image provided in the CIS imprints the development into an existing satellite image.

Items to be Addressed: *All items to be addressed are noted throughout this review.*

REZONING

A rezoning to PD requires a site plan showing the specific use and layout of a proposed project. The applicant may request deviations from similar use standards, and the community may negotiate on and off site community benefits. Once approved, the site plan is the only permitted use of the land.

Section 7.13 of the White Lake Township Zoning Ordinance outlines the criteria the Planning Commission and Township Board are to utilize when assessing any petition for an amendment to the Official Zoning Map. Below is a review of the materials provided by the applicant as they relate to the proposed rezoning.

- 1) *Consistency with the goals, policies and future land use map of the White Lake Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.*

Applicant Response: Edendale Crossing is consistent with the goals and objectives of the White Lake Township Master Plan and its Future Land Use Map. The site is identified as a residential

Development Opportunity Zone and envisions a residential neighborhood with a density between 2 – 8 dwelling units per acre. We are offering single-family homes with 3.3 residences per net acre density.

CWA Comment: Provided in the PD review portion of this report.

- 2) *Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.*

Applicant Response: The site is currently undeveloped with a former agricultural use. There are no wetlands or significant natural features on site other than existing trees and vegetation areas, most of which will remain. A stormwater detention basin will be located along Bogie Lake Road to provide a setback and landscape buffer to the road.

CWA Comment: Provided in the Natural Resources review portion of this report.

- 3) *Evidence the applicant cannot receive a reasonable return on investment through developing the property with one (1) of the uses permitted under the current zoning.*

Applicant Response: Rezoning AG land is required to develop residential neighborhoods consistent with the Master Plan and Future Land Use Plan. Using the PD option allows creative design techniques that preserve natural features and create open space, while the proposed 120 residences enable the costly extension of the sanitary force main to the northern end of the site.

CWA Comment: Agriculture and R1-A would not allow for a subdivision of this magnitude to be built. While the ROI on developing the site as zoned would not be comparable to 120 single family homes, other residential zones may offer more comparable ROI.

- 4) *The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.*

Applicant Response: The Master Plan has designated this area to be a “more dense neighborhood residential area.” Edendale Crossing provides a high-quality neighborhood, compatible with nearby single-family neighborhoods. Neighborhoods immediate adjacent are buffered by an ITC corridor to the west and a commercial nursery and cell phone tower to the north, thereby providing separation from existing uses.

CWA Comment: Provided in the PD, Natural Resources, Area-Width-Height-Setbacks, Access and Circulation, and other portions of this review.

- 5) *The capacity of Township utilities and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.*

Applicant Response: Edendale Crossing will not strain or place undue hardship on Township services, which are discussed in future sections of this report. Additionally, this project will extend the sanitary force main one mile, expanding the availability of sanitary sewer to the north.

CWA Comment: Provided in the Essential Services and Utilities portion of this review.

- 6) *The capability of the street system to safely and efficiently accommodate the expected traffic generated by uses permitted in the requested zoning district.*

Applicant Response: A detailed traffic Impact Study was completed by Fleis & Vandenbrink and has been submitted to the Twp for review. The TIS recommends center left hand turn and right-hand taper improvements which will enable the streets to operate at their same Level of Service or an improved Level of Service at AM, PM, and School PM peak periods. The Carlisle Wortman report considered moving the proposed Cedar Island entrance to the west to align with Mayfair Drive, however we do not feel that is warranted because although there is not a posted speed limit on Cedar Island Road (a dirt road), it is approaching the Bogie Lake Road intersection and is within a school zone, and therefore traffic moves at a slower rate of speed. Maintaining the entrance as proposed enables the applicant to extend pavement to the entrance seven hundred' west of Bogie Lake Road.

Additionally, the Road Commission of Oakland County (RCOC) has reviewed the plans and has provided design and location feedback that they will require. Those elements include the creation of a center turn lane on Bogie Lake that begins south of the proposed entrance and extends north of Tompson Lane as a means of providing safer travel for existing residents on Bogie Lake and the High School. Additional improvements have been added to the attached plans per the RCOC.

CWA Comment: Provided in the Access and Circulation portion of this review.

- 7) *The apparent demand for the types of uses permitted in the requested zoning district in relation to the amount of land in the township currently zoned and available to accommodate the demand.*

Applicant Response: There is a strong demand for housing in the Township and surrounding areas. The Master Plan has identified this and calls for denser housing developments. PH Homes has built many homes in White Lake Township over the last several decades and estimates a 2.5% - 5% growth in the demand for new and replacement homes in the Township over the next several years.

CWA Comment: There is strong demand for housing in the Township and region. The Master Plan designation of this area as redevelopment site indicates the anticipation of denser housing in this area of the community.

- 8) *The boundaries of the requested rezoning district are reasonable in relationship to its surroundings, and construction on the site will be able to meet the dimensional regulations for the zoning district listed in the Schedule of Regulations.*

Applicant Response: The use of the PD district is reasonable for the site to achieve the goals of the Master Plan. The proposed site plan provides all exterior boundary dimensional standards.

CWA Comment: The use of the PD district is reasonable for the site to achieve the goals of the Master Plan.

- 9) *The requested zoning district is considered to be more appropriate from the township's perspective than another zoning district.*

Applicant Response: The rezoning of the property is consistent with the uses promoted in the Master Plan and the proposed density is less than half of the density envisioned within the Master Plan.

CWA Comment: As noted in this review, the proposed density is higher than any permitted by right single family zoning district in the Township. Unless community benefits are provided and accepted by the Planning Commission and Township Board, R1-D may be a feasible district to pursue development under.

- 10) *If the request is for a specific use, is rezoning the land more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use?*

Applicant Response: Yes, the PD is consistent with the Zoning Ordinance and Master Plan.

CWA Comment: A text amendment to permitted and special uses is not more appropriate.

- 11) *The requested rezoning will not create an isolated and unplanned spot zone.*

Applicant Response: No, this will not create spot zoning. The area is predominantly single-family residential, and this will add to the fabric and character of White Lake Township.

CWA Comment: No PD zoning is nearby the site however single family residential uses are prominent in the area.

- 12) *The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.*

Applicant Response: Yes, a previous version of the plan was submitted for preliminary site plan recommendation to the Planning Commission. The Planning Commission voted positively to change the zoning to PD but voted not to recommend the previous plan for preliminary site plan approval. This application is seeking reconsideration of that motion based on the significant modifications made to the plan and submitted here.

CWA Comment: The Planning Commission recommended denial to the Township Board December 4th, 2025. The applicant is seeking reconsideration per elective modifications made to the plan.

- 13) *An offer of conditions submitted as part of a conditional rezoning request shall bear a reasonable and rational relationship to the property for which rezoning is requested.*

Applicant Response: This is not proposed as a Conditional Rezoning application.

CWA Comment: As noted in this review, rezoning to a PD requires a site plan showing the specific use and layout of a proposed project. The applicant may request deviations from similar use

standards and the community may negotiate community benefits. Once approved, the site plan is the only permitted use of the land.

14) *Other factors deemed appropriate by the Planning Commission and Township Board.*

Applicant Response: Not provided.

CWA Comment: Provided in this review.

Items to be addressed: *Items to be addressed regarding rezoning are covered throughout this review.*

NATURAL RESOURCES

Topography: Sheet 2 shows the existing site topography. The site has a gentle slope going east to west for two thirds of the site then sloping back down at the western end of the lot. Proposed grading will retain a slight rolling hill effect with steeper sloping near the detention basin, and northern portion of the site.

We defer to Township Engineering for any concerns with the proposed grading plans as well as any issues cited regarding stormwater management and natural environment protection.

Wetlands: Sheet 3 states no wetlands are onsite. EGLE wetland mapper confirms no wetlands are present on the lots.

Woodland: Mature woodlands cover the majority of the sites northeast and southeast corners. The center and western half of the site is relatively clear. The site plan states that a portion of the woodlands in the northeastern portion of the site and the area between units lining Edendale Lane and Mollygrace Lane will remain as open space/existing trees. While no count of trees to be removed was provided, 86 quality trees are to remain. It appears a large portion of existing trees will be removed for the proposed development.

The Community Impact Statement indicates that 27% open space will be maintained with a significant preservation of existing trees and natural features. Information on how existing trees will be protected during grading and construction is provided on Sheet L-4.

Soils: Soil survey maps indicate that spinks loamy sand, fix sandy loam, and ormas loamy sand soils are present.

Water: Site does not contain any natural water bodies. Sheet 3 states the site is not within any floodplain. Thompson Lake is approximately 430 feet northeast.

General Notes: The use of a PD district does allow for the consideration of requiring the preservation of natural features as a benefit to the development and community.



Source: Google Maps 2025

Items to be Addressed: Any cited concerns from Township Engineering.

AREA, WIDTH, HEIGHT, SETBACKS

Lot calculations and setbacks are provided on Sheet 3. Comparison tables between the proposed standards and R1-D standards is provided in the CIS. Standard bulk and lot regulations for the PD zoning district are set forth in Section 3.1.10. and Section 3.11. Notes on Sheet 3 provide proposed lot and setback information as well as one typical lot and development envelope layout.

Planned Development District Standards

Planned Development	R1-D Parallel Plan	Proposed PD	Deviation
Building Setbacks			
Front	30 feet	25 feet	5 foot reduction
Side	10 feet	10 feet	None
Rear	30 feet	30 feet	None
Wetland	N/A	N/A	N/A

Unit Lot Standards			
Minimum Lot Area	12,000 sqft	7,750 sqft (minimum), 8,651 sqft (average)	Approx. 3,349 - 4,250 sqft reduction
Minimum Lot Width	80 feet	62 feet	18 feet reduction
Maximum Lot Coverage	30%	33.5%	3.5% increase
Depth to Width	Approx. 2 to 1	Approx. 2 to 1	None
Planned Development	Required	Proposed	Deviation
Development Setbacks			
Front	40 feet	70 feet from Bogie Lake Road ROW (See notes below)	None
		45 feet from Cedar Island ROW (See notes below)	None
Side	25 feet each side	N/A	N/A
Rear	Determined by PC	0 feet at West Lot Line / 0 feet and 50 feet at North Lot Line	Determined by PC
Wetland	N/A	N/A	N/A
Density			
	Determined by Net Acreage / 3 units per acre	3.3 units per acre	.30 more units per acre
Lot Standards			
Minimum Lot Area	10 acres	45.47 gross acres	Yes
Minimum Lot Width	TBD	809.9 feet	TBD
Maximum Lot Coverage	TBD	TBD	TBD
Depth to Width	4 to 1	Less than 1 to 1	Yes
Building Height			
	30 feet or 2 stories	30 feet or 2 stories	None
Floor Area			
Two Story	1,500 sqft w/ 900 sqft first floor	Approx. 2,100 sqft to 2,700 sqft w/ 1,100 first floor	None

Setbacks are shown to be 0 feet and 50 feet along the north property line and 0 feet along the west property line from individual unit boundaries.

We do note that only two units' boundaries are 70 and 73.5 feet from Bogie Lake Road right of way. The majority of units along Cedar Island Road are setback 45 feet from the ROW, however units 49, 50, and 51 rear lot line encroach this setback.

Items to be Addressed: *Planning Commission to determine if requested district and development standard deviations are acceptable.*

ACCESS & CIRCULATION

Vehicle Access & Circulation

The site is accessed via a boulevard entrance off Bogie Lake Road and another off Cedar Island Road. 60 foot right-of-way streets are proposed throughout the development. Section 6.4 outlines standards for access management. Public roads in the Township are either the jurisdiction on Michigan Department of Transportation (MDOT) or Road Commission of Oakland County (RCOC). The Planning Commission may waive standards for access per Section 6.4.F however permits will be required from RCOC for the proposed access points. Below is a review of the proposed access points per the standards of the zoning ordinance.

Edendale Lane / Bogie Lake Intersection

A 45 mph speed limit requires that the proposed access drive should be 350 feet from driveways on the same side or opposite side of the road. This standard is not met in relation to the distance from the Thompson Lane / Bogie Lake Road intersection. A waiver is required from the Planning Commission per Section 6.4.F. RCOC approval shall also be required for the proposed access drive.

Edendale Lane / Cedar Island Intersection

Cedar Island is a dirt road. The site plan shows pavement being extended west to the proposed access drive intersection. The speed limit is unposted, and the area is somewhat rural so a 55 mph limit is assumed. This requires that the proposed access drive should be 455 feet from driveways on the same side or opposite side of the road. The distance between the proposed drive at Cedar Island Road and Carla Hills drive is 273 feet.

Per Sheet 3, it appears there is an opportunity that the Cedar Island boulevard access and Mayfair Drive could be aligned. This modification would likely put the access point in conformance with distance from existing drive regulations and put the intersection further from Bogie Lake Road. The CIS states the applicant does not feel this is warranted because the area along Cedar Island Road in question is a school zone and therefore traffic moves at a slower rate of speed. If this modification is not made, the proposed drive at Cedar Island will need a waiver from the Planning Commission per Section 6.4.F. RCOC approval will be required for the proposed access drive.

Dimensions for the boulevard access points are provided on Sheet 16. Per the design requirements outlined in table 6.4.C.X, the entrance drive width is sufficient however the exit drive is not wide enough and requires a waiver from the Planning Commission.

Traffic Study

The determination of need form submitted in the application provides guidance on the type of traffic study needed for certain developments. The form indicates that the site is expected to generate 750+ driveway trips per day. This warrants the submission of a Traffic Impact Study (TIS). A TIS dated September 28th, 2025 has been provided by FLEIS&VANDENBRINK.

The study was conducted during the school year and accounts for peak travel times for school activity. The Bogie Lake Road / Cedar Island Road intersection currently operates at grades “E, C, and D” for eastbound traffic and at grades “A and B” for northbound traffic. The development is expected to generate 1,258 average daily trips. Future operations estimate that the grades of service for the northbound traffic will remain “A and B” however the eastbound traffic grades will drop to “E, D, and F”.

The study concludes with a recommendation that exclusive left turn lanes and right turn lanes be incorporated into the Cedar Island approach to the Bogie Lake Road intersection. These improvements have not been incorporated into the project design. The project does propose adding a center turn lane to Bogie Lake Road from the south end of the Edendale Lane entrance north past the Thompson Lane intersection. Acceleration and deceleration lanes have also been added to Bogie Lake Road at the Edendale Lane entrance. These improvements are in response to preliminary notes provided by RCOC.

Per their preliminary review, RCOC has indicated that the location of the proposed development entrances in relation to existing intersections is acceptable.

Non-Motorized Access and Circulation

Sections 5.20 and 5.21 provide requirements for site sidewalks and pathways. Eight foot wide concrete paths are shown along Clear Island and Bogie Lake Roads. The pathways are predominantly outside of the ROW’s which will require the granting of easements to the Township. On Sheet 17, the developer has provided a safety path extension from the Edendale Lane / Cedar Island Road intersection to the Huron Valley School campus to the east. This would improve non-motorized connectivity and potentially reduce the amount of vehicle traffic during drop off / pickup times.

Internal sidewalks are shown along all streets as well as cross development pedestrian pathways. These sidewalks are required to be five feet wide as shown on Sheet 16.

Public Transit

No public transit is accessible near the site.

White Lake Township is served by the Western Oakland Transportation Authority which provides scheduled transportation for Township residents with specific needs.

Items to be Addressed:

- 1) *Township Engineering concerns.*
- 2) *Township Public Safety concerns.*
- 3) *The Road Commission of Oakland County approval of the access to Bogie Lake and Cedar Island Roads will be required.*
- 4) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Bogie Lake Road intersection and Thompson Lane / Bogie Lake Road intersection.*
- 5) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Cedar Island Road intersection and Carla Hills Drive / Cedar Island Road intersection.*

- 6) *Planning Commission will need to consider a waiver to allow the boulevard exit drives to be 21 feet wide instead of 22 feet wide.*
- 7) *Pathways are predominantly outside of the ROW's which will require the granting of easements to the Township.*

PARKING & LOADING

Section 5.11 outlines requirements for off-street parking. Sheet 3 states parking is provided via two garage spaces as well as driveway space for each unit. This meets the ordinance standards.

There are no loading zone requirements for single family developments.

Items to be Addressed: None

ESSENTIAL SERVICES & UTILITIES

The site is not currently served by water or sewer. To address density, the project proposes bringing a force main sanitary line up from south of the Lakeland High School site. This will require a pump station proposed in the northeast corner of the development near unit 18. A water main connection is proposed from existing water lines along Bogie Lake Road. We defer to Township Engineering on the feasibility and capacity of the design of the system.

No circulation plan was provided for emergency vehicles. Notes on Sheet 3 provide information regarding fire lanes and hydrant placement. We defer to Township Public Safety to determine the feasibility of site design and hydrant placement.

Items to be Addressed:

- 1) *Any cited concerns of Township Engineering.*
- 2) *Any cited concerns of Township Public Safety.*

LANDSCAPING & SCREENING

The applicant has provided a landscape plan on Sheets L-1, L-2, and L-3. Landscaping plans are required at final site plan review.

Section 5.19.D provides requirements for screening along property lines as it relates to adjacent districts and is reviewed below.

Greenbelts

Property Line	Required	Provided	Compliant
North (AG)	Landscaping, Berms, Obscuring Fencing, and/or Screen Wall 53 deciduous trees, 53 evergreen trees, 424 shrubs	31 existing trees, 15 deciduous trees, 9 evergreen trees, and surrounding brush vegetation.	No / Waiver Requested
East (ROW)	Greenbelt 23 trees and 184 shrubs	29 trees and 228 shrubs	Yes
South (ROW)	Greenbelt 44 trees and 352 shrubs	78 trees, 28 existing trees, 300 shrubs, and existing brush vegetation	No / Waiver Requested
West (AG / ITC Corridor)	Landscaping, Berms, Obscuring Fencing, and/or Screen Wall 43 deciduous Trees, 43 evergreen trees, 344 shrubs	No new plantings / No major existing vegetation	No / Waiver Requested

The landscaping plan states the installation of required screening along the North and South property lines would disturb the existing trees and is not recommended. No landscaping is provided along the west property line per the ITC Corridor. However, west of the ITC lines is a R1-A zoned residential development of which the ITC lines will not obscure view from.

The landscaping plan states that existing vegetation along the property’s north and south lot lines will serve as site screening. Additional screening in the way of new landscaping has been included along the western ends of the north and south lot lines to enhance visual shielding from existing neighboring uses. An aerial of the site is provided below for reference.



Source: Google Maps 2025

Interior Landscaping

Interior landscaping is not required for condominium developments.

Residential Entrance Landscaping

Standards for residential development entryways is outlined in Section 5.19.F. The Bogie Lake entrance Meets plant count requirements. Landscaping is present along the first 150 feet of the entrance roadway however plant counts are not provided to determine if the standard has been met.

The Cedar Island entrance fulfills all plant count requirements however two trees required for the drive island have been moved to the curbside due to size constraints. Landscaping is present along the first 150 feet of the entrance roadway however plant counts are not provided to determine if the standard has been met.

Minimum Plant Size and Species

The proposed plantings and species meet the requirements of Section 5.19.H.

Mechanical Equipment Screening

Per the proposal to bring water and sewer in to service the site, a pump station, transformer, and generator are proposed at the sites northeast corner. There is no new landscaping proposed to screen this equipment however per Section 5.19.N.ii.a, the equipment must be screened.

Items to be Addressed:

- 1) Landscaping requirement calculations for the development entryways should be added to the site plan.
- 2) Planning Commission to consider waiving requested greenbelt landscaping deviations along the West, North, and South property lines.
- 3) Landscaped screening must be provided for the water/sewer equipment proposed in the northeast corner of the site per Section 5.19.N.ii.a

PERFORMANCE STANDARDS

No issues are anticipated regarding performance standards outlined in Section 5.18. Sheet 3 indicates that no street lighting is proposed and that individual dwelling unit lighting will be provided. The Township has the ability to require lighting where it deems it is necessary for safety and security.

Lighting requirements are reviewed during final site plan review.

Items to be Addressed: None

SIGNAGE

Sheet L-4 provides specifications for monument signage proposed at the Bogie Lake Road and Cedar Island Road entrances. Stone veneer is the predominant finish for the sign. Signs are administratively reviewed by the Township.

Items to be Addressed: None.

ARCHITECTURE & LAYOUT

Site layout and unit architecture is discussed in other portions of this review.

Items to be Addressed: Addressed in other portions of this review.

CONDOMINIUM DOCUMENTS

Draft master deeds are required for final site plan review. Section 6.1.F outlines regulations for condominium development designs. Standards relevant to zoning and site design are reviewed below. We defer to Township Engineering for items referring to utility layout and capacity.

Streets

Sheet 3 states that all internal roads are to be private. A separate application to the Township requesting the roads be private must be provided. Street designs are compliant however we defer to Township Engineering regarding technical aspects of the proposed streets.

Blocks

Blocks, streets, and pedestrian designs conform to requirements.

Easements

As noted earlier in this report, easements will be needed for portions of the pathways along Bogie Lake and Cedar Island Roads. No public facilities are offered within the development. We defer to Township Engineering regarding the proposed water/sewer utilities along Bogie Lake Road and the necessary easements to ensure the Township has access.

Condominium Lots

As noted earlier in this review, the proposed density for the site is 3.3 units per acre utilizing approximately 62 foot wide, 8,651 square foot lots (average size lot). Section 6.1.F.iv states that condominium lots shall be appropriate for the location and the type of development contemplated. Lots of these sizes and proportions are not permitted in the Township under conventional single-family zoning districts. This consideration is discussed more in depth in the Planned Development portion of this review.

Corner lots are to be 20 feet wider than a standard lot. The development proposes to offer approximately 15 to 22 foot wider corner lots. Condominium layout requirements state front-to-front lot orientation shall be utilized where possible. The proposed layout accomplishes this standard along most streets. However, there are several corner lots throughout the development which given the reduced lot size and setbacks, could put the side and rear walls of adjacent homes 40 feet from each other. Decks, patios, and backyard utilization should be contemplated when considering the request for corner lot setbacks and lot sizes.

Public Dedications

The site is not offering any public amenities such as parks or schools.

Trees and Natural Features

As noted in the Natural Features and Landscaping portions of this review, the development is proposing to persevere existing trees along the eastern half of the north and south property line as well as down the middle of the development between dwelling units. Removal of remaining trees must be justified to the Planning Commission. The PD zoning allows the Township flexibility to require additional preservation and necessary protection for trees to remain during construction as this could be considered a public benefit.

Condominium Documents

A draft master deed shall be provided during final site plan review

Items to be Addressed:

- 1) *Concerns cited by Township Engineering.*
- 2) *Concerns cited by Township Counsel.*
- 3) *A private road application is required.*
- 4) *Planning Commission to consider waiving the requirement that corner lots be 20 feet wider than a standard lot. The development is proposing to offer approximately 15 to 22 foot wide corner lots.*
- 5) *A draft master deed will be required during final site plan review.*

SUMMARY

The Planned Development preliminary site plan is substantially complete and should be placed on a Planning Commission agenda. A public hearing is required for the review of all PD projects.

Below are potential conditions for items that should be addressed in the final site plan, and waivers/modifications/determinations the Planning Commission and Township Board will need to consider.

Waivers / Modifications / Determinations

- 1) *The Planning Commission will need to consider the site’s proposed layout, density, recreation space, pathway connections, and natural features protection and how they align with the Master Plan and proposed community benefits.*
- 2) *Planning Commission to determine if requested district and development standard deviations are acceptable.*
- 3) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Bogie Lake Road intersection and Thompson Lane / Bogie Lake Road intersection.*
- 4) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Cedar Island Road intersection and Carla Hills Drive / Cedar Island Road intersection.*
- 5) *Planning Commission will need to consider a waiver to allow the boulevard exit drives to be 21 feet wide instead of 22 feet wide.*
- 6) *Planning Commission to consider waiving requested greenbelt landscaping deviations along the West, North, and South property lines.*
- 7) *Planning Commission to consider waiving the requirement that corner lots be 20 feet wider than a standard lot. The development is proposing to offer approximately 15 to 22 foot wide corner lots.*

Potential Conditions

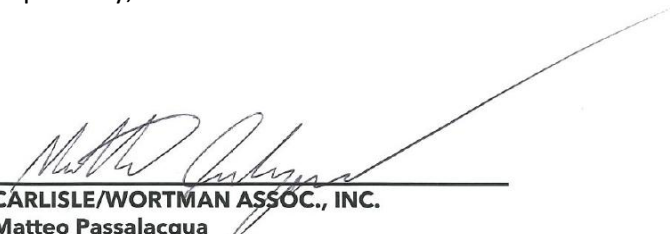
- 1) *Any cited concerns from Township Engineering.*
- 2) *Any cited concerns from Township Public Safety.*
- 3) *Any cited concerns from Township Counsel.*

- 4) *A schedule for the proposed phases is required. Sheet 3 outlines the previous unit count for phasing and should be updated.*
- 5) *A table should be added to the site plan clearly stating how many trees are onsite and how many are to remain.*
- 6) *The implementation of the pathway to the school complex will need to be coordinated with the school district and should be reoriented to not terminate into a parking lot.*
- 7) *The Road Commission of Oakland County approval of the access to Bogie Lake and Cedar Island Roads will be required.*
- 8) *The proportions of brick and siding proposed on the façade of the units is complementary, however it is recommended that the brick also be included in a similar proportion on the side and rear elevations. This may be addressed at final site plan review.*
- 9) *Landscaped screening must be provided for the water/sewer equipment proposed in the northeast corner of the site per Section 5.19.N.ii.a.*
- 10) *Landscaping requirement calculations for the development entryways should be added to the site plan.*

Items to be addressed at Final Site Plan Review

- 1) *Final approval of the plan will require the condition that the lots be combined into one parcel.*
- 2) *A draft development agreement will be required during final site plan review.*
- 3) *Pathways are predominantly outside of the ROW's which will require the granting of easements to the Township.*
- 4) *A draft master deed will be required during final site plan review.*
- 5) *A private road application is required.*

Respectfully,



CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner



Fire Department
Charter Township of White Lake

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 01-07-2026

Project: Edendale Crossing

Job #: 2025.010

Date on Plans: 12-18-2025

The Fire Department has the following comments with regards to the 4th review of preliminary site plans for the project known as Edendale Crossing

1. The access drive and parking lot shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities.
2. The required turning radius shall accommodate the largest Fire Department apparatus (40') and provide a turn radius profile throughout entire plan showing apparatus movement on future plans.
3. The angle of approach/Departure to and from White Lake roads shall not exceed 8 degrees.
4. Where fire hydrants or fire department connections are subject to impact by a motor vehicle, guard posts or other approved means shall comply with section 312.
5. All fire lanes shall be conspicuously posted with uniform "NO PARKING FIRE LANE" signs as prescribed by the fire code official. The location and spacing of the signs, mounted or erected, shall be as directed by the fire code official.

Jason Hanifen
Fire Marshal
Charter Township of White Lake
(248)698-3993
jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2021 Edition and Referenced NFPA Standards.

SITE PLAN

"Edendale Crossing"

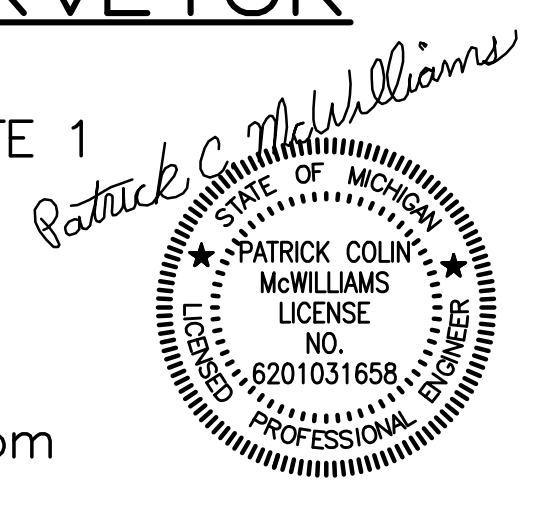
SITE CONDOMINIUM

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E,
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN,

NOTE:
THE CONDOMINIUM ASSOCIATION WILL BE RESPONSIBLE
FOR MAINTAINING THE STORM SEWER SYSTEM

ENGINEER & SURVEYOR

KIEFT ENGINEERING, INC.
5852 SOUTH MAIN STREET, STE 1
CLARKSTON, MICHIGAN 48346
Phone (248) 625-5251
Fax # (248) 625-7110
Attn: Patrick McWilliams
Email: pmcwilliams@kieferteng.com



LANDSCAPE ARCHITECT

J EPPINK PARTNERS, INC.
27 SOUTH SQUIRREL RD. - STE 104
AUBURN HILLS, MICHIGAN 48326
Phone (248) 922-0789
Attn: Jim Eppink
Email: jim@jeppink.com

PROPERTY DESCRIPTION

PARCELS 12-29-476-016 thru 12-29-476-024:
PROPOSED PARCEL COMBINATION DESCRIPTION:
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT POINT ON THE SOUTH LINE OF SAID SECTION 29, SAID LINE ALSO BEING THE CENTERLINE OF CEDAR ISLAND ROAD, VARIABLE WIDTH, LOCATED S 89°50'00" W 244.18 FEET ALONG SAID SOUTH LINE FROM THE SOUTHEAST CORNER OF SECTION 29, T3N, R8E; THENCE CONTINUING ALONG SAID SOUTH LINE S 89°50'00" W 1379.73 FEET; THENCE N 01°23'00" E 1297.00 FEET; THENCE S 89°55'52" E 1609.36 FEET TO THE EAST LINE OF SAID SECTION 29, SAID EAST LINE ALSO BEING THE CENTERLINE OF BOGIE LAKE ROAD, VARIABLE WIDTH; THENCE ALONG SAID EAST LINE S 00°44'40" W 809.90 FEET; THENCE S 84°04'15" W 226.85 FEET; THENCE S 03°06'02" W 458.08 FEET TO SAID SOUTH LINE OF SECTION 29 AND TO THE POINT OF BEGINNING. CONTAINING 45.47 ACRES. SUBJECT TO RIGHTS-OF-WAY FOR CEDAR ISLAND AND BOGIE LAKE ROADS. ALSO SUBJECT TO ANY OTHER RIGHTS-OF-WAYS, RESTRICTIONS AND EASEMENTS OF RECORD.

NOTES:

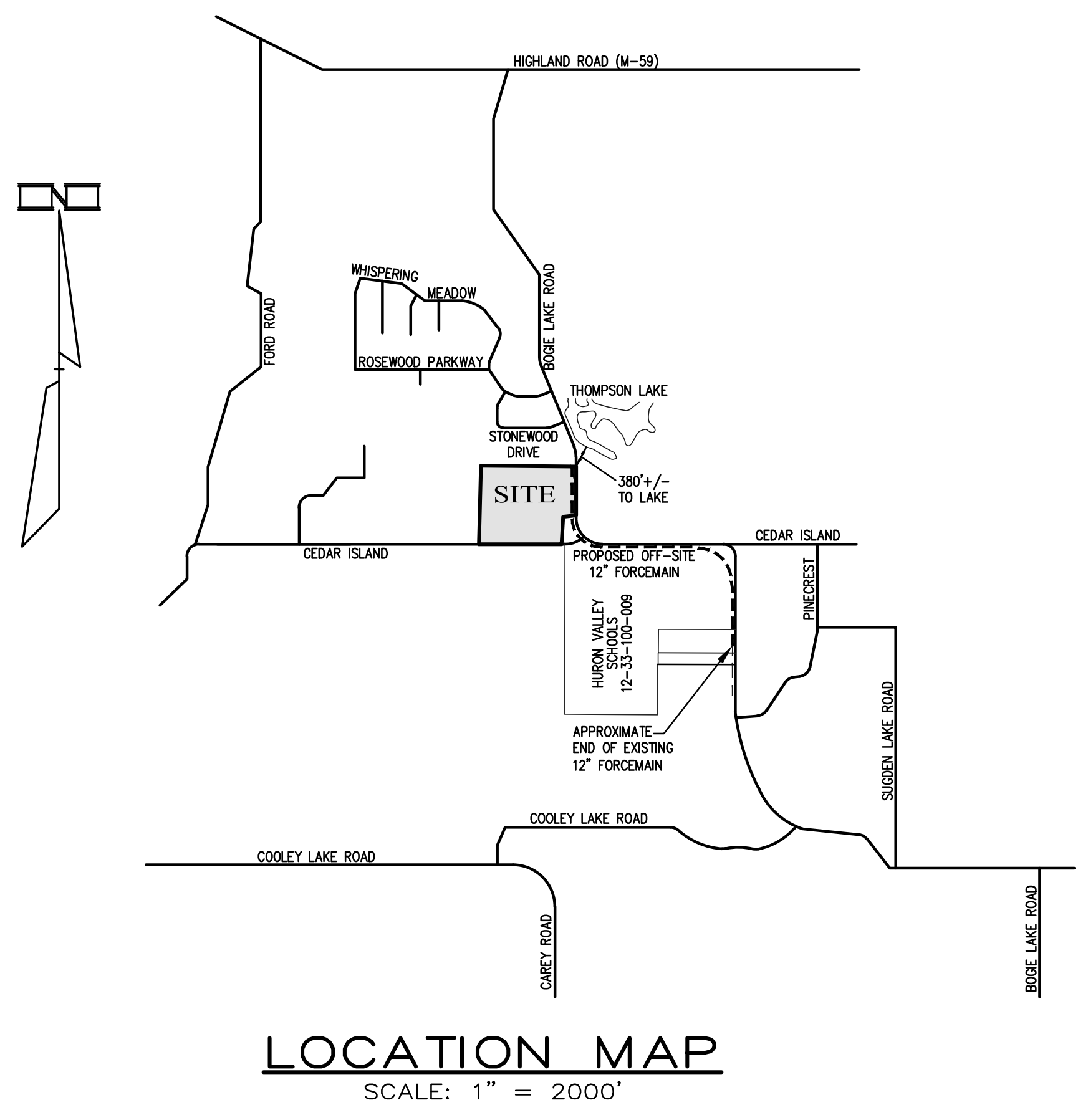
- "THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT".
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SOIL EROSION CONTROLS.

PROPRIETOR/BUILDER

PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
Phone (248) 242-6838
Contact: Craig Piasecki
Email: craigp@myphhome.com

SHEET INDEX

- PSP-1 PRELIMINARY SITE PLAN SUMMARY
- PSP-2 PARALLEL PLAN & ANALYSIS
 - 1) COVER SHEET
 - 2) EXISTING CONDITIONS PLAN - OVERALL
 - 3) OVERALL SITE PLAN & NOTES
 - 4) SITE PLAN - NORTHEAST
 - 5) SITE PLAN - SOUTHEAST
 - 6) SITE PLAN - SOUTHWEST
 - 7) SITE PLAN - NORTHWEST
 - 8) BOGIE LAKE ROAD ENTRANCE PLAN
 - 9) CEDAR ISLAND ENTRANCE PLAN
 - 10) OFF-SITE STORM SEWER OUTLET PLAN & PRETREATMENT STRUCTURES
 - 11) OFF-SITE SANITARY FORCEMAIN PLAN - OVERALL
 - 12) OFF-SITE SANITARY FORCEMAIN PLAN - SOUTH CONNECTION
 - 13) OFF-SITE SANITARY FORCEMAIN PLAN
 - 14) OFF-SITE SANITARY FORCEMAIN PLAN
 - 15) OFF-SITE SANITARY FORCEMAIN PLAN
 - 16) OFF-SITE SANITARY FORCEMAIN PLAN
 - 17) OFF-SITE SANITARY FORCEMAIN PLAN - NORTH PUMP STATION & TREE CHART
 - 18) DETENTION BASIN CALCULATIONS & DETAILS
 - 19) CEDAR ISLAND ROAD & WHITE LAKE MIDDLE SCHOOL SIDEWALK PLAN
- L-1 COMMON AREA LANDSCAPE PLAN
- L-2 LANDSCAPE PLAN - ENTRANCE & SCREENING
- L-3 LANDSCAPE PLAN - ENTRANCE & SCREENING
- L-4 LANDSCAPE DETAILS & PLANT LIST
- A-1 PRELIMINARY ARCHITECTURE



REVISION INDEX

REV. #	DESCRIPTION	DATE	SHEET NUMBERS																		
			1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
1	PER DLZ (8-26-2025)	9-19-2025	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
2	PER RCOC MTG (10-27-2025) PER DLZ (10-15-25)	10-29-2025	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
3	PER CLIENT/PLANNER (11-7-2025)	11-12-2025	X		X	X	X	X	X	X								X	X		
4	PER P.C. MEETING (12-4-25), & CLIENT (12-12-2025)	12-18-2025	X		X	X	X	X	X	X								X	X		

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J EPPINK PARTNERS, INC
Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
Suite 104
Auburn Hills, MI 48326
248.922.0789

The ideas and design concepts expressed herein and the graphically displayed arrangement of their components represented by this drawing have been developed for the exclusive use of the specified project and are the sole property of J EPPINK PARTNERS, INC. Any conveyance or disclosure of the ideas or design concepts or use of any graphically displayed arrangements of their components shall be at the discretion of and only through the expressed written consent of J EPPINK PARTNERS, INC.
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Project:
Edendale Crossing

Bogie Lake Road
White Lake Township, MI

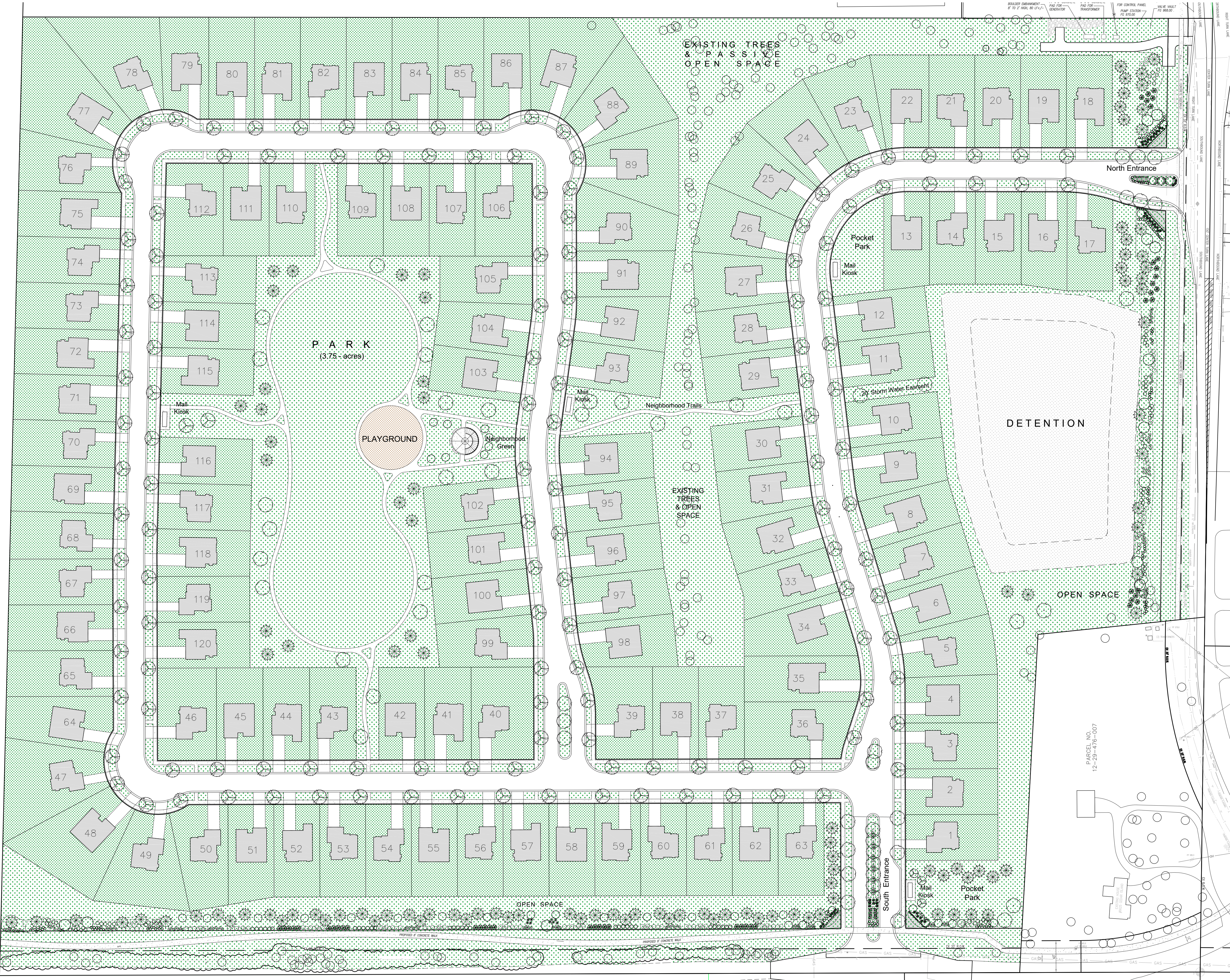
Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Preliminary Site Plan Summary

Issues / Revisions:
Site Plan Update 12-15-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked by:
JTE
Date:
December 18, 2025
Scale:
Scale: 1" = 60'

Not for Construction
Sheet
PSP-1



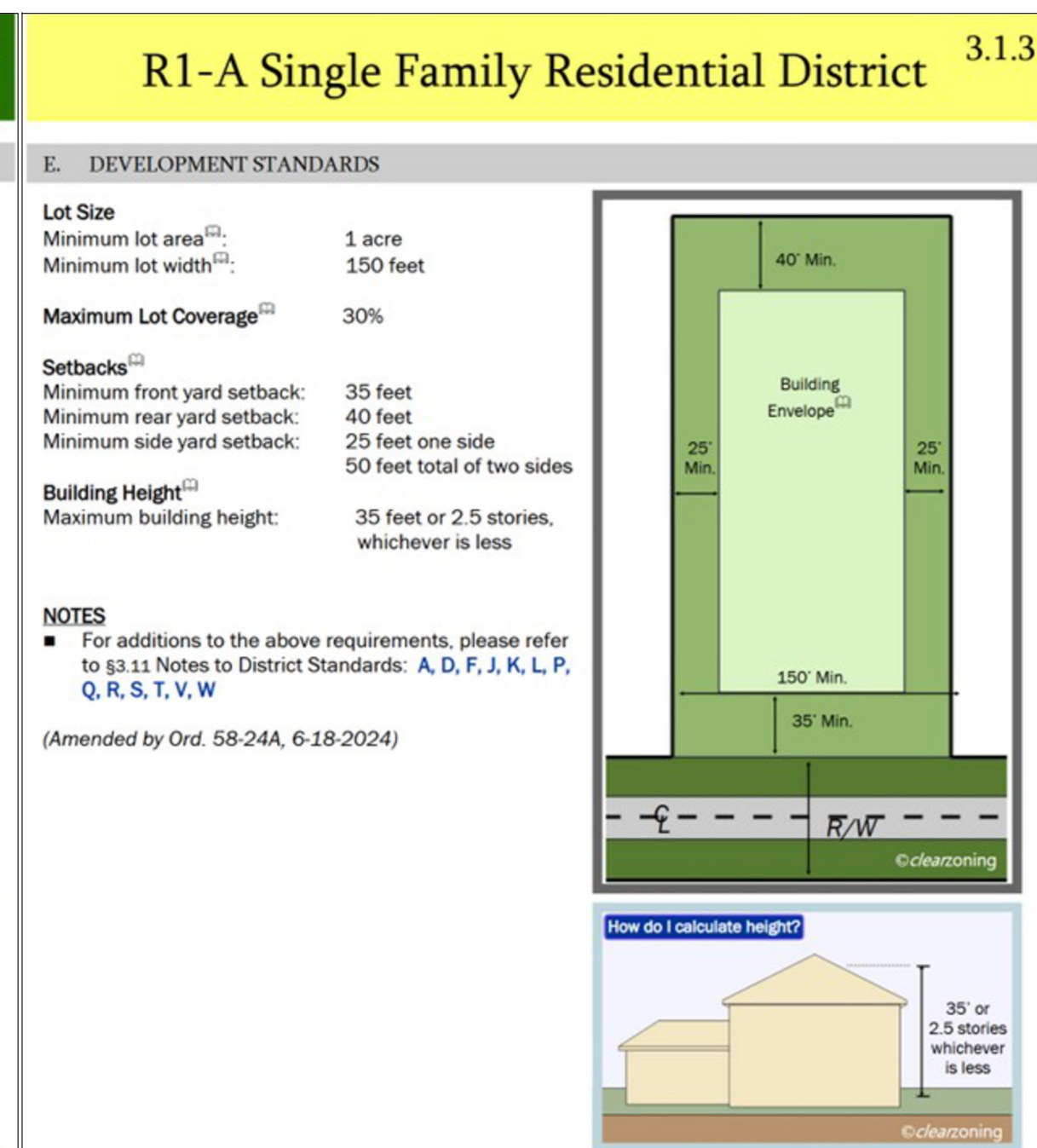
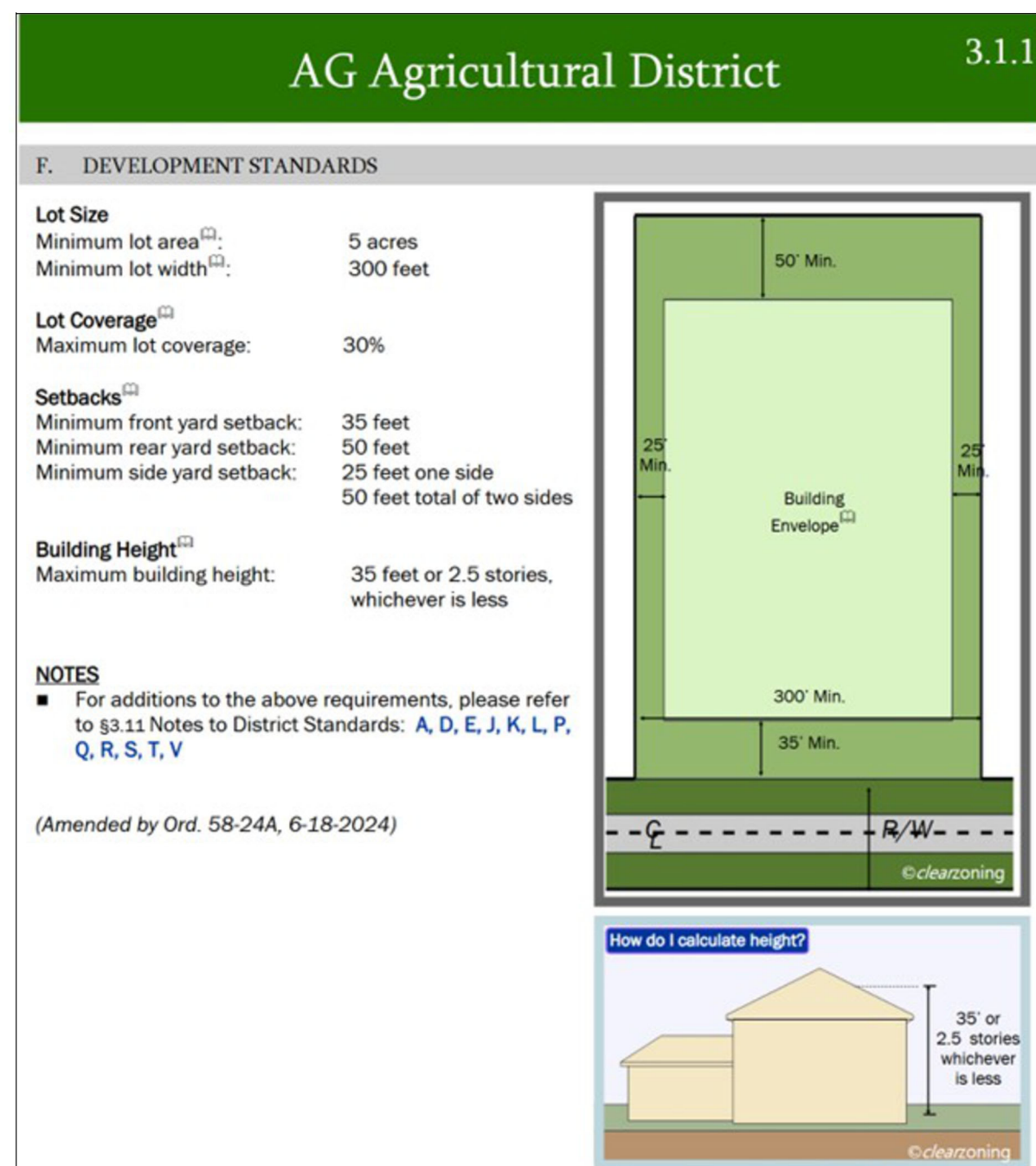
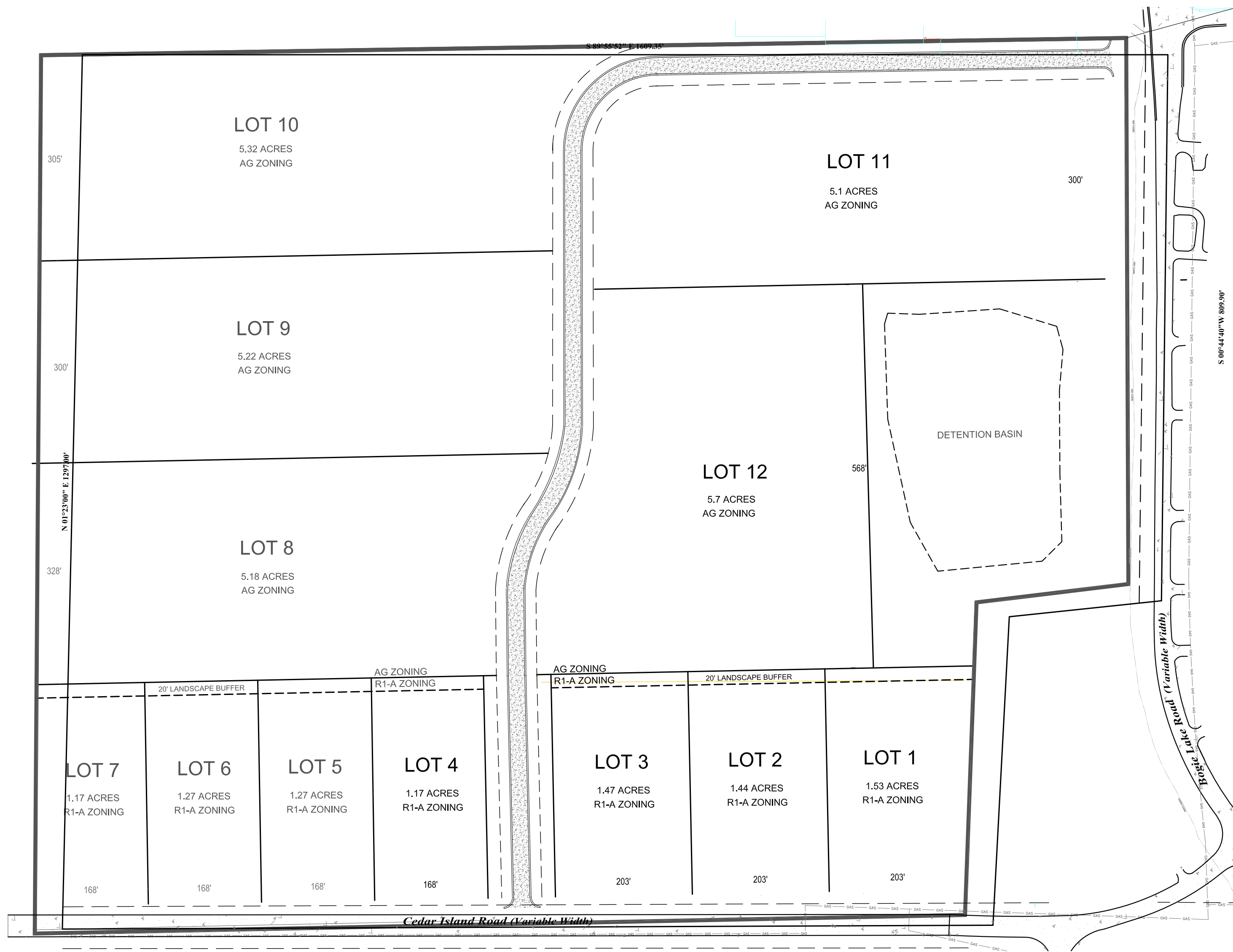
BOGIE LAKE ROAD

CEDAR ISLAND ROAD

SITE DATA	
Parcel Size :	45.47 acres Gross
Parcel Size :	36.02 acres Net
Current Zoning :	AG + R1-A
Proposed Zoning :	PD (Planned Dev.)
Master Plan Use :	Neighborhood Res. Permits: small lot single-family, duplex, & multi family (R1D / RM1 / RM2)
Proposed Density :	120 Residences 3.3 DU / NET AC (Total Site area less road easements, detention, & utility easements 45.47 ac - 9.45 ac = 36.02 ac / 120 = 3.3)
Proposed Open Space :	9.77 acres 27% Open Space
Roads :	60' ROW (28' back of curb)

Community Walking Path. Exact Location to be Determined in Field During Construction

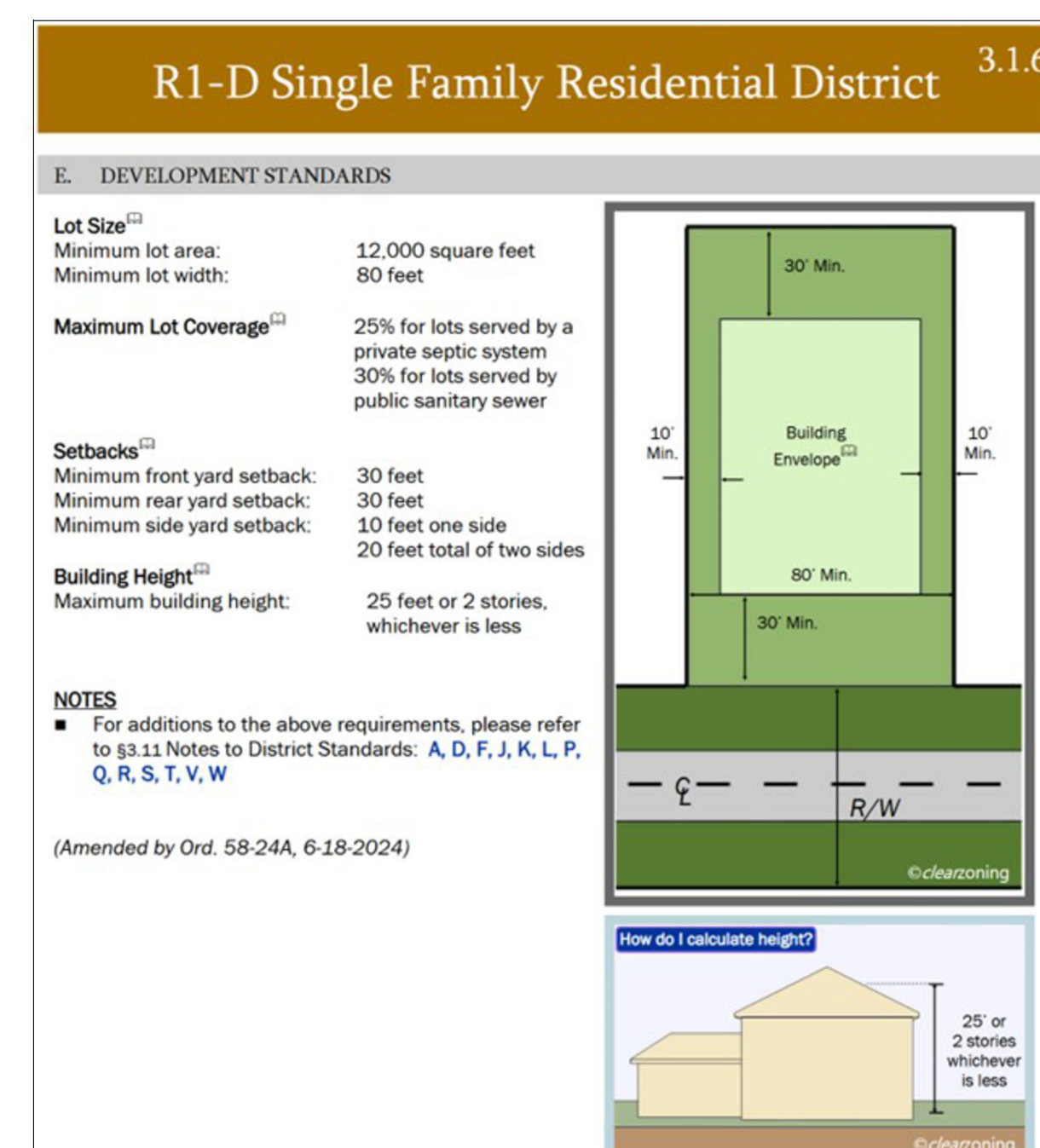




EXISTING AG & R1-A ZONING : PARALLEL PLAN

34.79 acres = AG, Agricultural (allows 5-acre lots)
10.71 acres = R1-A, Single Family (allows 1-acre lots)

A conceptual site plan (parallel plan) using AG and R1-A zoning standards permits 12 residential lots



R1-D ZONING : PARALLEL PLAN

45.47 acres = R1-D Zoning (as indicated by the White Lake Twp Master Plan)

A conceptual site plan (parallel plan) using R1-D zoning standards permits 109 residential lots assuming private septic systems per lot

A conceptual site plan (parallel plan) using a combination of R1-C, R1-D, RM, & RM2 zoning standards would permit a substantially greater number of residential dwellings than depicted here. These alternate zoning districts, envisioned within the Master Plan as appropriate for this location, would permit more density than the R1-D zoning classification.

R1-D ZONING : PARALLEL PLAN

The White Lake Township Master Plan identifies the subject site, located at Bogie Lake Road and Cedar Island Road as one of three "Development Opportunities" within the Township.

The Township's Future Land Use Plan designates the subject site as "Neighborhood Residential" which is defined as:

A district that "maintains existing neighborhoods and provides for denser residential development in places where there is infrastructure to support the density and ensuring density is within the context of the surrounding neighborhood"

Example of Uses include "Small-lot single-family, duplexes, multi-family, parks, and convalescent or nursing homes".

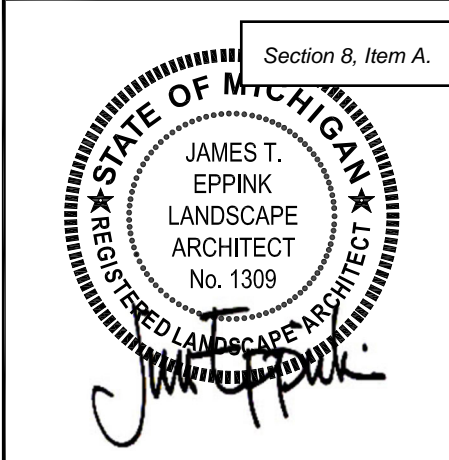
The Neighborhood Residential designation within the Master Plan calls for:

- "Dense Development"
- A permitted density of two - eight (2 - 8) units per acre
- Indicates R1-C, R1-D, RM, RM-2, and PD are appropriate zoning classifications for this area

The Community Goals within the Master Plan call for:

- Preservation of natural features
- Provide for adequate infrastructure expansion
- Enhance pedestrian circulation and connection to nearby schools
- Provide new housing types to meet demand within the Township
- Provide passive or active recreation

R1-D development standards provide approximately 109 dwelling units based on the parallel plan. However, developing the property under the permitted PD process enables PH Homes to incorporate additional important features and community benefits including the extension of the sanitary sewer force main to the northern boundary of the property, preserving natural woodlots and hedgerows within the site, maintaining more than 20% neighborhood open space and trails, creating pedestrian pathways and connections to the nearby schools, and establishing a single-family neighborhood that has only 15% more homes than would be permitted under straight R1-D zoning. (16 additional homes or 125 homes vs 109 homes).



J EPPINK PARTNERS, INC
Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
Suite 104
Auburn Hills, MI 48326
248.922.0789

The ideas and design concepts expressed herein and the graphically displayed arrangement of their components represented by this drawing have been developed for the exclusive use of the specified project and are the sole property of J EPPINK PARTNERS, INC. Any conveyance or disclosure of the ideas or design concepts or use of any graphically displayed arrangements of their components shall be at the discretion of and only through the expressed written consent of J EPPINK PARTNERS, INC.
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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

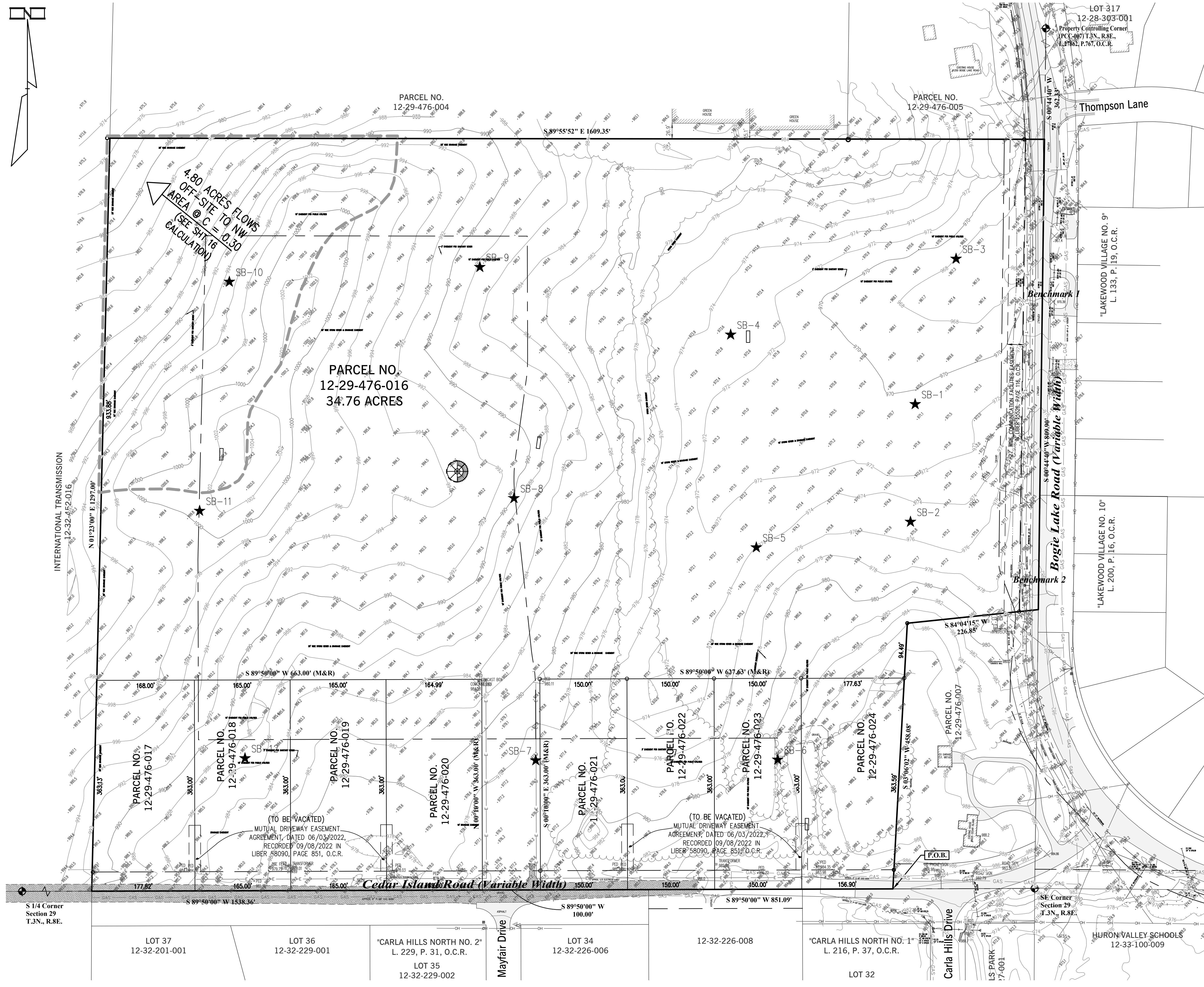
Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Parallel Plan & Analysis

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked by:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet:
PSP-2 136



LEGEND

	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	GAS MAIN
	UNDERGROUND ELECTRIC
	STORM MANHOLE
	CATCH BASIN
	INLET
	REARYARD CATCH BASIN
	END SECTION
	SANITARY MANHOLE
	GATE VALVE AND WELL
	HYDRANT
	EXISTING CONTOURS
	OVERHEAD TELE. ELEC. CATV
	POWER POLE
	LIGHT POLE
	GRADE
	SOIL BORING
	EXISTING ASPHALT
	EXISTING CONCRETE
	REMOVE TREE
	DEMOLITION LIMITS

- Benchmarks:**
- BM-1**
ARROW OF EXISTING HYDRANT LOCATED 306'+/- SOUTH OF THOMPSON ROAD ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 971.63 (NAVD 88)
 - BM-2**
ARROW OF EXISTING HYDRANT LOCATED 450'+/- NORTH OF CEDAR ISLAND ROAD ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 983.26 (NAVD 88)
 - BM-3**
MAG NAIL IN NORTH FACE OF POWER POLE LOCATED 50'+/- EAST OF THE NORTH ENTRANCE OF LAKELAND H.S. ON THE SOUTH SIDE OF BOGIE LAKE ROAD. ELEVATION = 981.05 (NAVD 88)
 - BM-4**
ARROW OF EXISTING HYDRANT LOCATED 165'+/- EAST OF THE MIDDLE ENTRANCE OF LAKELAND H.S. ON THE SOUTH SIDE OF BOGIE LAKE ROAD. ELEVATION = 968.44 (NAVD 88)
 - BM-5**
ARROW OF EXISTING HYDRANT LOCATED 80'+/- SOUTH OF FOX N HOUNDS DRIVE ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 973.23 (NAVD 88)
 - BM-6**
RR SPIKE IN EAST FACE OF POWER POLE LOCATED 15'+/- SOUTH OF THE SOUTH ENTRANCE OF LAKELAND H.S. ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 974.42 (NAVD 88)

PARCELS 12-29-476-016 thru 12-29-476-024:
 PROPOSED PARCEL COMBINATION DESCRIPTION:
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT POINT ON THE SOUTH LINE OF SAID SECTION 29, SAID LINE ALSO BEING THE CENTERLINE OF CEDAR ISLAND ROAD, VARIABLE WIDTH, LOCATED S 89°50'00" W 244.18 FEET ALONG SAID SOUTH LINE FROM THE SOUTHEAST CORNER OF SECTION 29, T3N, R8E; THENCE CONTINUING ALONG SAID SOUTH LINE S 89°50'00" W 1379.73 FEET; THENCE N 01°23'00" E 1297.00 FEET; THENCE S 89°55'52" E 1609.36 FEET TO THE EAST LINE OF SAID SECTION 29, SAID EAST LINE ALSO BEING THE CENTERLINE OF BOGIE LAKE ROAD, VARIABLE WIDTH; THENCE ALONG SAID EAST LINE S 00°44'40" W 809.90 FEET; THENCE S 84°04'15" W 226.85 FEET; THENCE S 03°06'02" W 458.08 FEET TO SAID SOUTH LINE OF SECTION 29 AND TO THE POINT OF BEGINNING, CONTAINING 45.47 ACRES. SUBJECT TO RIGHTS-OF-WAY FOR CEDAR ISLAND AND BOGIE LAKE ROADS. ALSO SUBJECT TO ANY OTHER RIGHTS-OF-WAYS, RESTRICTIONS AND EASEMENTS OF RECORD.



DATE	ISSUE
9-18-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
 PH COMMUNITIES, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48342
 (248) 242-6838

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KIEFT ENGINEERING, INC.
 PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
 5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
 PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE	7-2-2025	CKD. BY	DATE
DRAWN	GF		
DESIGN	PCM		
SECTION	29	T-3-N-R-8-E	

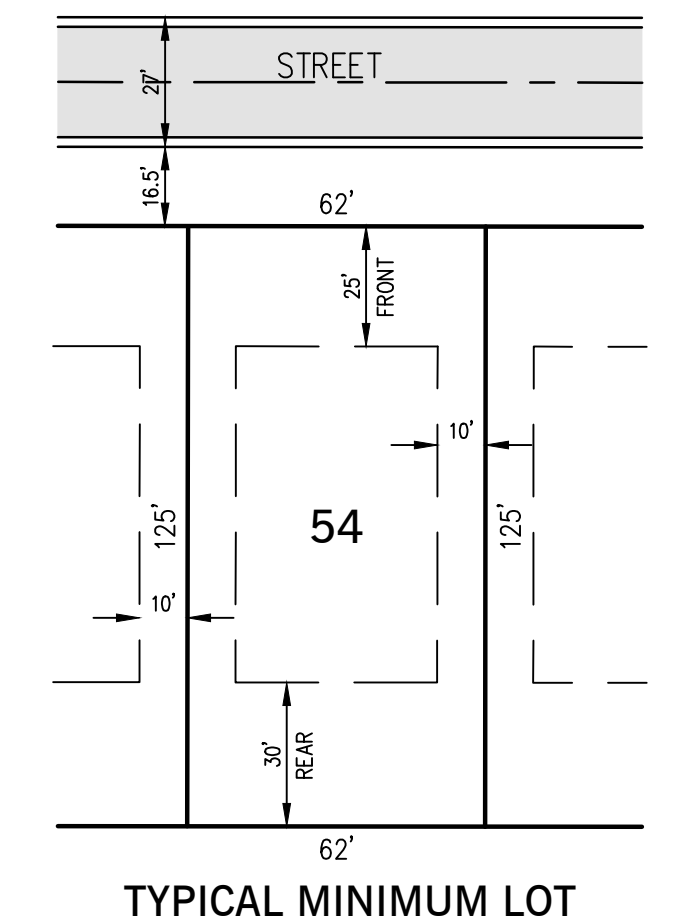


Existing Conditions Plan - Overall
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE	1" = 80'
SHEET	2 OF 19
KE	2025.01

GENERAL NOTES

- PROPERTY SIDWELL NUMBERS: 12-29-476-016 THRU 12-29-476-024; SITE AREA = 45.47 ACRES
- ZONING: EXISTING - AG (AGRICULTURAL) PROPOSED - PD (PLANNED DEVELOPMENT)
- PROPOSED USE: SINGLE FAMILY RESIDENTIAL (SITE CONDOMINIUM)
- MINIMUM UNIT SIZE PROPOSED: 7,750 SF, WIDTH 62 FEET, AVERAGE UNIT SIZE 8,651 SF.
- PROPOSED SETBACK REQUIREMENTS:
TOTAL UNITS PROPOSED - 120
FRONT SETBACK - 25 FT
REAR SETBACKS - 30 FT
SIDE YARD SETBACKS - 10 FT (EACH SIDE), 22 FT BETWEEN HOMES.
ALL UNITS HAVE AT LEAST 62 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK
STREETS ARE 60 FOOT WIDE RIGHT-OF-WAY W/23' WIDE ASPHALT WITH 24" MOUNTABLE CONCRETE CURB AND GUTTER (27' WIDE TOTAL) (4,862 LF TOTAL ROAD LENGTH). THE DEVELOPER INTENDS ALL ROADS TO BE PRIVATE.
- SEWAGE DISPOSAL: TO BE CONNECTED TO ON-SITE PROPOSED PUMP STATION OUT-LETTING TO MUNICIPAL SANITARY FORCEMAIN SYSTEM (5,066 LF) TO BE CONSTRUCTED ALONG BOGIE LAKE ROAD.
- WATER SUPPLY: AN 8" WATERMAIN IS PROPOSED TO BE CONNECTED TO THE EXISTING 12" MUNICIPAL WATERMAIN ALONG BOGIE LAKE ROAD.
- PUBLIC UTILITIES (GAS, ELECTRIC, TELEPHONE & CABLE) SHALL BE INSTALLED UNDERGROUND.
- NO BRUSH OR GRASS CLIPPINGS WILL BE STORED OR DISPOSED OF INTO THE COMMON/PARK AREAS OR DETENTION BASIN.
- ALL YARD WASTE TO BE REMOVED FROM SITE.
- PUBLIC SIDEWALKS ARE PROPOSED AS PER EXISTING ORDINANCE REQUIREMENTS.
- INDIVIDUAL PLOT PLANS AND GRADING SHALL BE PREPARED BY A LICENSED ENGINEER OR SURVEYOR.
- PROPOSED SITE GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE WHERE OFF-SITE GRADING RIGHTS DO NOT EXIST.
- ALL DISTURBED AREAS SHALL BE RE-VEGETATED.
- DETENTION BASIN SIDE SLOPES SHALL BE LEFT 1 ON 6.
- REAR AND SIDE-YARD DRAINAGE EASEMENTS WILL BE SHOWN ON THE GRADING PLAN.
- ALL FINAL ROAD GRADES WILL COMPLY WITH ROAD COMMISSION FOR OAKLAND COUNTY STANDARDS.
- TYPICAL UNIT COVERAGE: AVERAGE HOUSE FOOTPRINT = 2,400 SF, AVERAGE DRIVEWAY = 500 SF; TOTAL UNIT COVERAGE = 2,900 SF
TYPICAL UNIT COVERAGE (%) = 2,900 SF/8,651 SF = 33.5% (OR LESS).
- REQUIRED PERMITS/APPROVALS:
-WHITE LAKE TOWNSHIP - ENGINEERING PLANS APPROVAL
-O.C.W.R.C. - SOIL EROSION PERMIT
-O.C.W.R.C. - WATERMAIN APPROVAL
-O.C.W.R.C. - SANITARY SEWER APPROVAL
-M.D.E.O. - WATERMAIN PERMIT
-M.D.E.O. - SANITARY SEWER PERMIT
-M.D.E.O. - NPDES NOTICE OF COVERAGE PERMIT
-M.D.E.O. - WETLANDS STORM DISCHARGE PERMIT TO OFF-SITE LAKE
-R.C.O.C. - APPROACH & UNDERGROUND PERMITS
- THERE ARE NO WETLANDS ON THIS SITE.
- EACH HOME SHALL HAVE A 2 CAR GARAGE AND DRIVEWAYS WHICH WILL ACCOMMODATE THE REQUIRED OFF-STREET PARKING.
- OFF-SITE IMPROVEMENTS SHALL BECOME PUBLIC.
- ALL SIDEWALKS MUST COMPLY WITH ADA STANDARDS.
- NO STREET LIGHTING IS PROPOSED. EXTERIOR LIGHTS SHALL BE INSTALLED ON INDIVIDUAL HOMES.
- TRASH PICKUP FOR THE HOMES WILL BE CURBSIDE.
- PARKING IS NOT ALLOWED ON ANY OF THE BOULEVARD ROAD SECTIONS. PARKING IS ALLOWED ON ONE SIDE ONLY (OPPOSITE THE FIRE HYDRANTS/WATERMAIN)
- FIRE LANES PROVIDED ALONG BOTH ROADS (27' WIDE).
- INDIVIDUAL HOME ADDRESSES SHALL BE 6' MINIMUM.
- STORM SEWER & STORM WATER MANAGEMENT SYSTEM SHALL BE OWNED, OPERATED & MAINTAINED REGULARLY BY THE CONDOMINIUM ASSOCIATION.
- SINCE ALL PROPOSED HOMES WILL BE SINGLE FAMILY DETACHED HOUSING, THERE COULD BE MANY DIFFERENT TYPES & STYLES OF HOMES. REQUIREMENTS SUCH AS BUILDING MATERIALS & SIZING WILL BE PROVIDED WITHIN FUTURE CONDOMINIUM DOCUMENT.
- THIS DEVELOPMENT IS PROPOSED TO BE RECORDED AS A CONDOMINIUM UNDER THE CURRENT RULES OF THE MICHIGAN CONDOMINIUM ACT.
- LANDSCAPE PLAN PREPARED BY J. EPPINK PARTNERS, INC.
- TWO PROJECT SIGNS WILL BE PROVIDED. SIGN DETAILS WILL BE SUBMITTED BY OTHERS.
- THIS PROJECT DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN.
- THERE WILL BE A 10 FT WIDE PRIVATE EASEMENT FOR PUBLIC UTILITIES GRANTED TO THE UTILITY COMPANIES. THERE WILL BE A 20 FT WIDE EASEMENT FOR SANITARY SEWER GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN. THERE WILL BE A 20 FT WIDE EASEMENT FOR STORM SEWER CENTERED ON THE UTILITY AS SHOWN. THERE WILL BE A 20 FT WIDE EASEMENT FOR WATERMAIN GRANTED TO WHITE LAKE TOWNSHIP.



EXISTING		LEGEND		PROPOSED	
---	STORM SEWER	---	STORM SEWER	---	STORM SEWER
---	SANITARY SEWER	---	SANITARY SEWER	---	SANITARY SEWER
---	WATERMAIN	---	WATERMAIN	---	WATERMAIN
---	GAS MAIN	---	GAS MAIN	---	GAS MAIN
---	ELEC. TELE. CABLE	---	ELEC. TELE. CABLE	---	ELEC. TELE. CABLE
---	OVERHEAD WIRES	---	OVERHEAD WIRES	---	OVERHEAD WIRES
---	STORM MANHOLE	---	STORM MANHOLE	---	STORM MANHOLE
---	CATCH BASIN	---	CATCH BASIN	---	CATCH BASIN
---	INLET	---	INLET	---	INLET
---	REARYARD CATCH BASIN	---	REARYARD CATCH BASIN	---	REARYARD CATCH BASIN
---	END SECTION	---	END SECTION	---	END SECTION
---	SANITARY MANHOLE	---	SANITARY MANHOLE	---	SANITARY MANHOLE
---	GATE VALVE AND WELL	---	GATE VALVE AND WELL	---	GATE VALVE AND WELL
---	HYDRANT	---	HYDRANT	---	HYDRANT
---	CONTOURS	---	CONTOURS	---	CONTOURS
---	MATCH ELEVATION	---	MATCH ELEVATION	---	MATCH ELEVATION
---	TOP OF CURB	---	TOP OF CURB	---	TOP OF CURB
---	TOP OF SIDEWALK	---	TOP OF SIDEWALK	---	TOP OF SIDEWALK
---	TOP OF PAVEMENT	---	TOP OF PAVEMENT	---	TOP OF PAVEMENT
---	TOP OF CONCRETE	---	TOP OF CONCRETE	---	TOP OF CONCRETE
---	TOP OF WALL	---	TOP OF WALL	---	TOP OF WALL
---	BOTTOM OF WALL	---	BOTTOM OF WALL	---	BOTTOM OF WALL
---	DITCH	---	DITCH	---	DITCH
---	TREE PRESERVATION	---	TREE PRESERVATION	---	TREE PRESERVATION



DATE	ISSUE
9-18-2025	PER D1Z (8-26-2025)
10-29-2025	PH COMMUNITIES, LLC
11-12-2025	REVISED PER CLIENT/PLANNER-62 WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

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PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE	CKD. BY	DATE
7-2-2025		

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG
CALL MISS DIG
(800) 482-7171
OR 811

Overall Site Plan & Notes
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 80'
SHEET 3 OF 19
KE 2025.01

PARCEL NO.
12-29-476-004

PARCEL NO.
12-29-476-005



Section 8, Item A.
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(3 working days)
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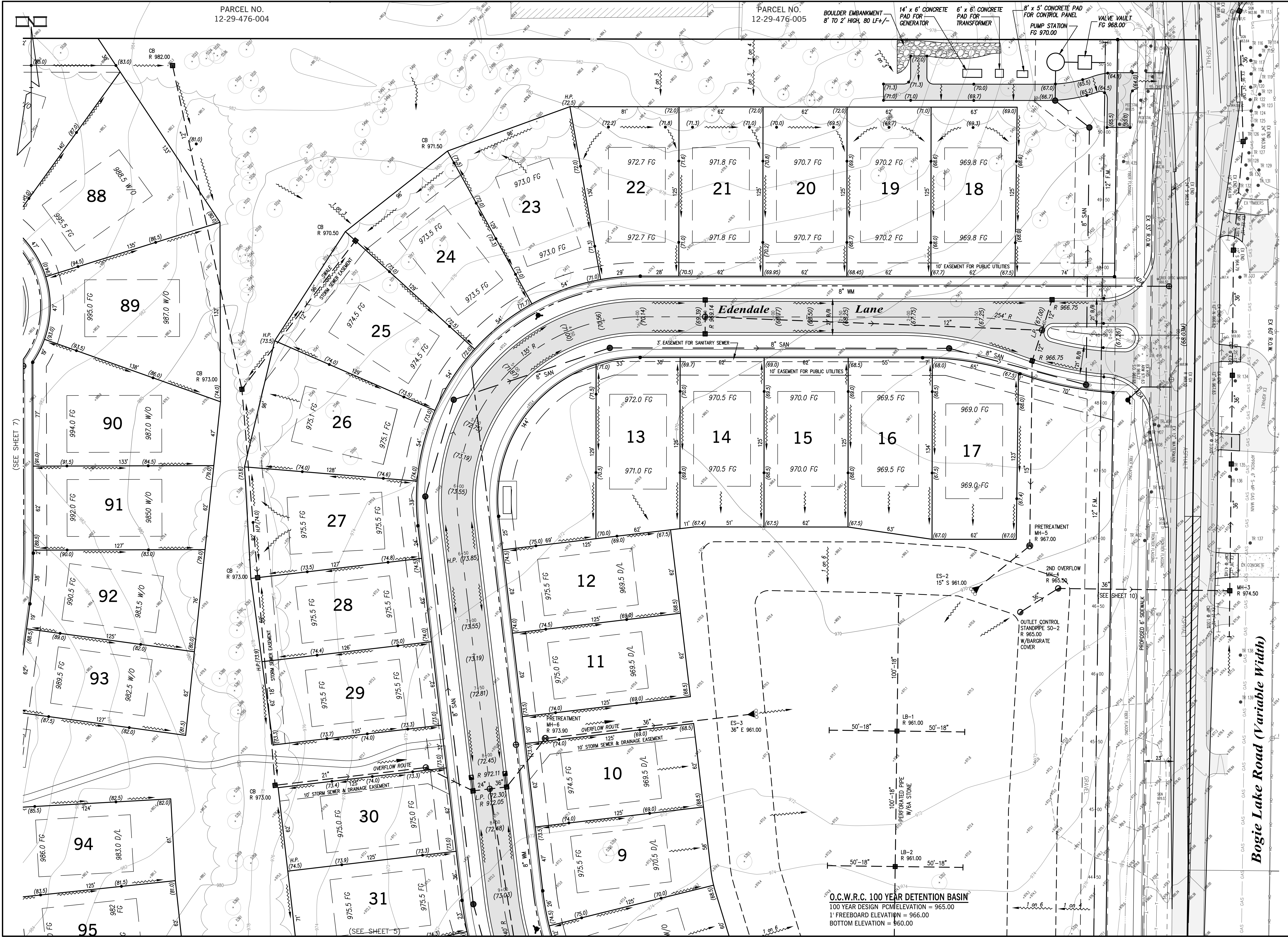
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DESIGN: PCM
SECTION: 29

PROPRIETOR:
PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

"Edendale Crossing" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T35N, R9E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

KIEFT ENGINEERING, INC.
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE: (248) 625-5251
FAX: (248) 625-7110

SCALE 1" = 30'
SHEET 4 OF 19
KE 2025.01



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Section 8, Item A

72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG (800) 462-7171 OR 811

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DATE: 7-2-2025
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 DESIGN: PCM
 SECTION: 29

PROPRIETOR:
 PH COMMUNITIES, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48382
 (248) 242-6838

"Edendale Crossing" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T35N, R9E
 WHITE LAKE TOWNSHIP, OKLAHOMA COUNTY, MICHIGAN

KIEFT ENGINEERING, INC.
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 PHONE: (248) 625-5251 FAX: (248) 625-7110
 www.kiefteng.com

KIEFT ENGINEERING

PATRICK COLM McWILLIAMS
 LICENSE NO. 6201031658
 PROFESSIONAL ENGINEER

SCALE 1" = 30'

SHEET 5 OF 19

KE 2025.01



INTERNATIONAL TRANSMISSION
12-32-452-016

6/20/2025 10:10 PM - Bogie & Cedar Island/CAD/Efendale Crossing.dwg, 6 Site SW, 12/18/2025 1:27:37 PM

Section 8, Item A.
72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
(800) 462-7171
OR 811

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DATE: 7-2-2025
DRAWN: GF
DESIGN: PCM
SECTION: 29

PROPRIETOR:
PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

DATE: 7-2-2025
DRAWN: GF
DESIGN: PCM
SECTION: 29

Site/Grading Plan - Southwest "EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T35N, R9E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

KIEFT ENGINEERING, INC.
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
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KIEFT ENGINEERING

STATE OF MICHIGAN
★ PATRICK COLIN McWILLIAMS
LICENSE NO. 6201031658
PROFESSIONAL ENGINEER

SCALE: 1" = 30'
SHEET 6 OF 19
KE 2025.01

PARCEL NO.
12-29-476-004

Section 8, Item A.
72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
REPRODUCED OR PUBLISHED, IN PART OR
IN WHOLE, WITHOUT EXPRESSED WRITTEN
PERMISSION FROM KIEFT ENGINEERING, INC.
DATE: 01-11-2025
DRAWN: GF
DATE: 7-2-2025
CKD BY: T-3-N-8-E
SECTION 29

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PROPRIETOR:
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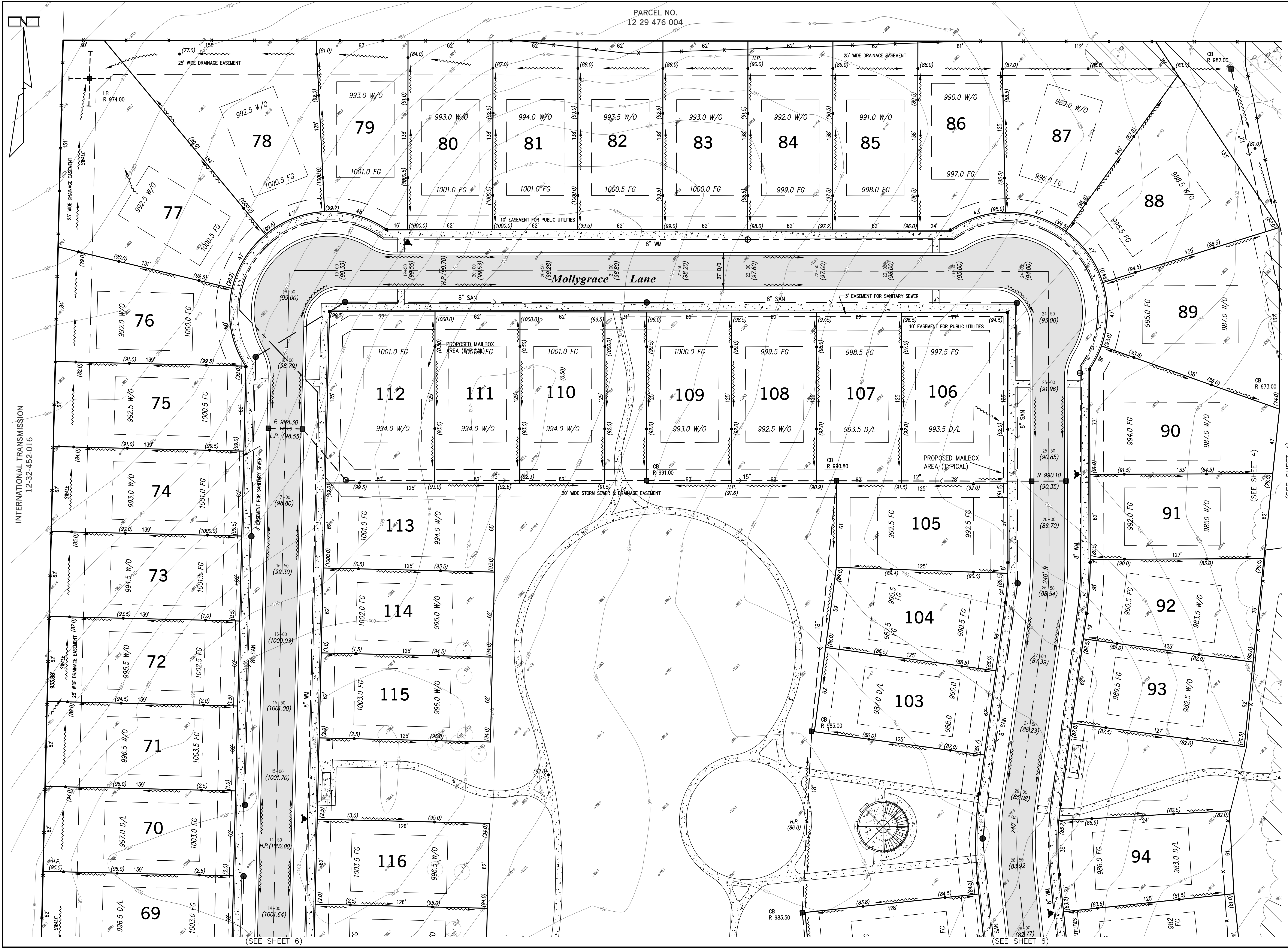
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T35N, R9E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

KIEFT ENGINEERING, INC.
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5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE: (248) 625-5251
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FAX: (248) 625-7110

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STATE OF MICHIGAN
PATRICK COLIN
MILLIAMS
LICENSE
NO.
6201031658
PROFESSIONAL ENGINEER

SCALE 1" = 30'
SHEET 7 OF 19
KE 2025.01



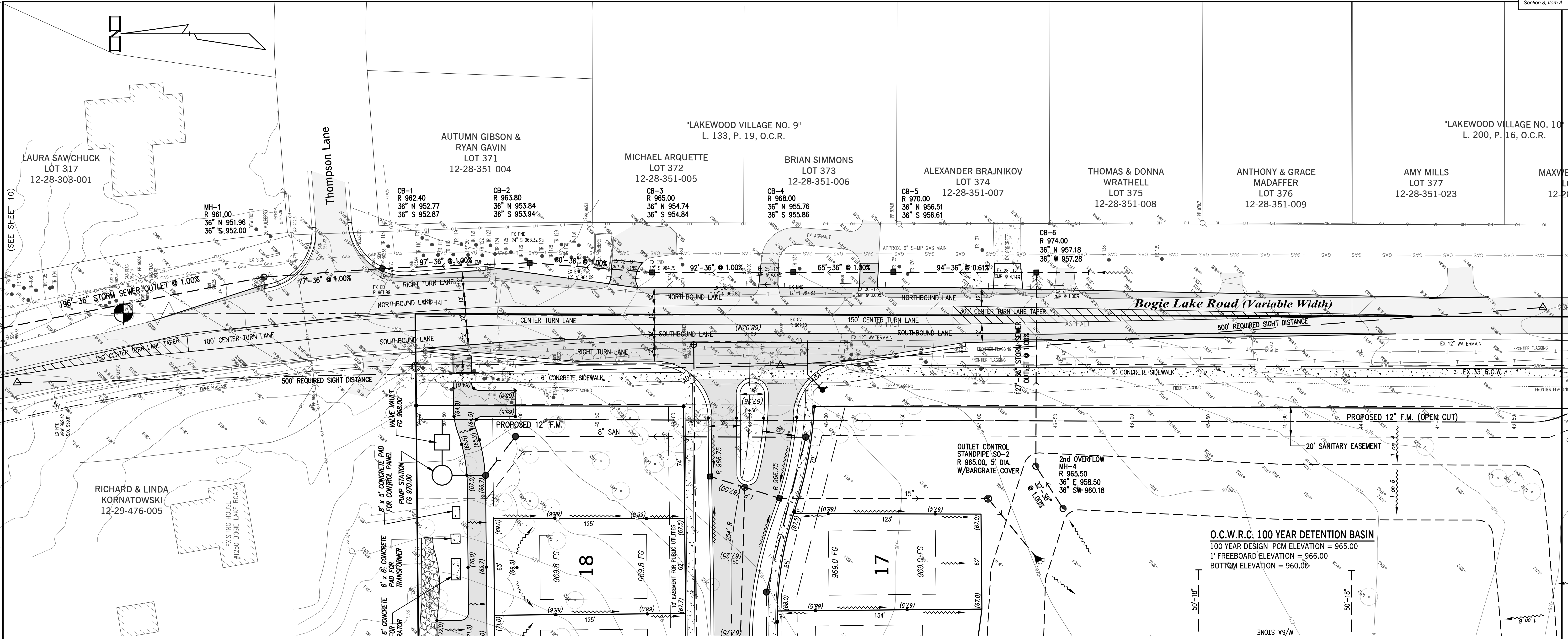
INTERNATIONAL TRANSMISSION
12-32-452-016

G:\2025\010 PH Homes - Bogie & Cedar Island\CADD\Edendale Crossing.dwg 7:58:10 AM 12/18/2025 12:25:32 PM

(SEE SHEET 6)

(SEE SHEET 6)

(SEE SHEET 4)



ES-1 36" N 950.00

LAURA SAWCHUCK LOT 317 12-28-303-001

MH-1 R 961.00 36" N 951.96 36" S 952.00

THOMPSON LANE

AUTUMN GIBSON & RYAN GAVIN LOT 371 12-28-351-004

CB-1 R 962.40 36" N 952.77 36" S 952.87

CB-2 R 963.80 36" N 953.84 36" S 953.94

"LAKEWOOD VILLAGE NO. 9" L. 133, P. 19, O.C.R.

MICHAEL ARQUETTE LOT 372 12-28-351-005

CB-3 R 965.00 36" N 954.74 36" S 954.84

BRIAN SIMMONS LOT 373 12-28-351-006

CB-4 R 968.00 36" N 955.76 36" S 955.86

ALEXANDER BRAJNIKOV LOT 374 12-28-351-007

CB-5 R 970.00 36" N 956.51 36" S 956.61

THOMAS & DONNA WRATHELL LOT 375 12-28-351-008

CB-6 R 974.00 36" N 957.18 36" W 957.28

ANTHONY & GRACE MADAFFER LOT 376 12-28-351-009

AMY MILLS LOT 377 12-28-351-023

MAXWELL LOT 378 12-28-351-023

Bogie Lake Road (Variable Width)

150' CENTER TURN LANE TAPER

100' CENTER TURN LANE

500' REQUIRED SIGHT DISTANCE

NORTHBOUND LANE

CENTER TURN LANE

SOUTHBOUND LANE

RIGHT TURN LANE

6" CONCRETE SIDEWALK

PROPOSED 12" F.M.

8" SAN

VALVE VAULT FOR CONTROL PANEL PUMP STATION FC 970.00

8' x 5' CONCRETE PAD FOR TRANSFORMER

6' x 6' CONCRETE PAD FOR MOTOR

10' EASEMENT FOR PUBLIC UTILITIES

OUTLET CONTROL STANDPIPE SO-2 R 965.00, 5' DIA. W/BARGRADE COVER

2nd OVERFLOW MH-4 R 965.50 36" E 958.50 36" SW 960.18

PROPOSED 12" F.M. (OPEN CUT)

20' SANITARY EASEMENT

O.C.W.R.C. 100 YEAR DETENTION BASIN

100 YEAR DESIGN PCM ELEVATION = 965.00

1' FREEBOARD ELEVATION = 966.00

BOTTOM ELEVATION = 960.00

50'-18"

50'-18"

W/6A STONE

DATE	ISSUE
10-28-2025	PER R.O.C. MEETING (10-27-2025) & D.L.Z. (10-15-2025)
11-12-2025	REVISED PER CLIENT/PLANNER-62' WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
 PH COMMUNITIES, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48382
 (248) 242-6838

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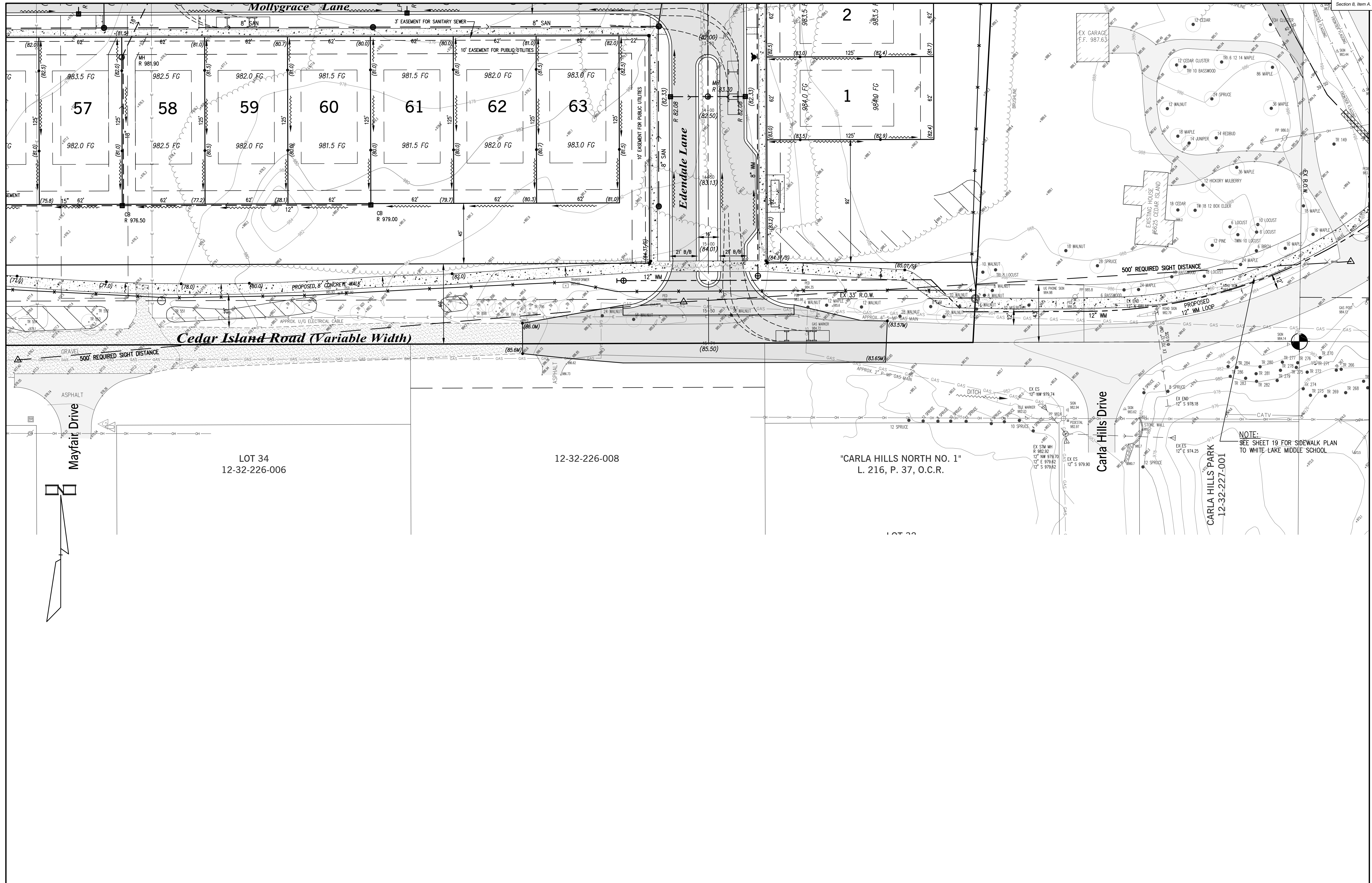
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DATE	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	



Bogie Lake Road Entrance Plan
 "EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
 SHEET 8 OF 19
 KE 2025.01



DATE	ISSUE
10-29-2025	PER P.C. MEETING (11-27-2025) & D/LZ (10-15-2025)
11-12-2025	REVISED PER CLIENT/PLANNER-62' WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
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DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	

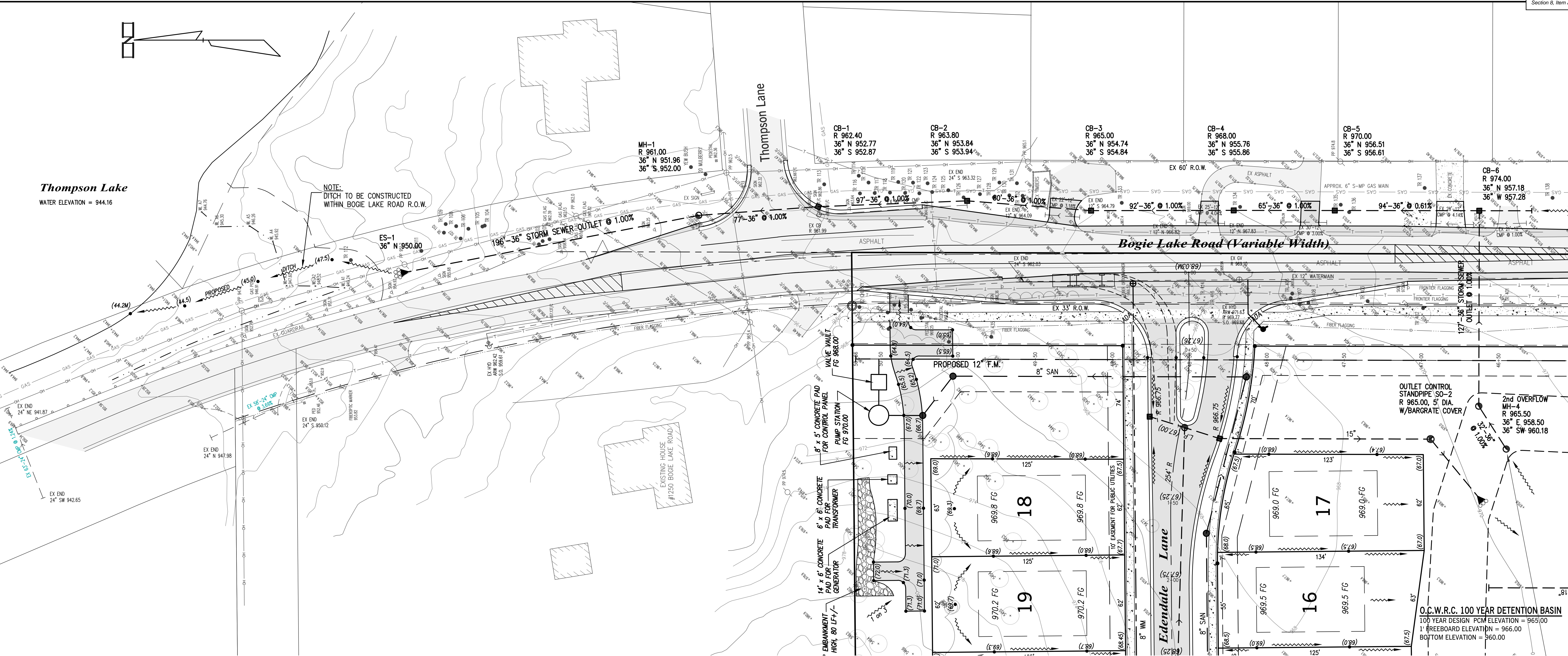


Cedar Island Entrance Plan
 "EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 9 OF 19
KE 2025.01

Thompson Lake
WATER ELEVATION = 944.16

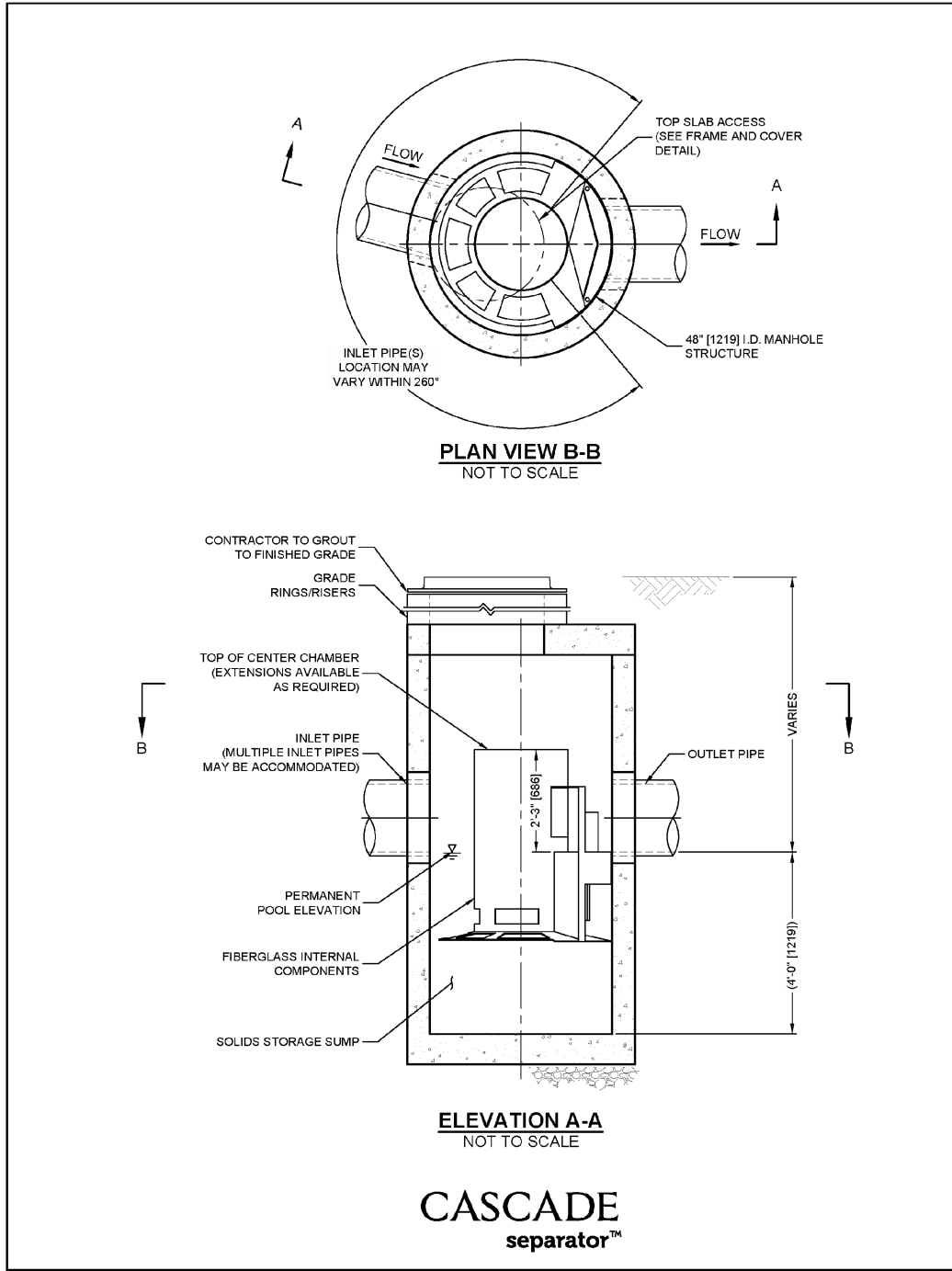
NOTE:
DITCH TO BE CONSTRUCTED
WITHIN BOGIE LAKE ROAD R.O.W.



OUTLET CONTROL STANDPIPE SO-2
R 965.00, 5' DIA.
W/BARGRATE COVER

2nd OVERFLOW
MH-4
R 965.50
36" E 958.50
36" SW 960.18

O.C.W.R.C. 100 YEAR DETENTION BASIN
100 YEAR DESIGN P.C.M ELEVATION = 965.00
1' REEBOARD ELEVATION = 966.00
BOTTOM ELEVATION = 960.00



CASCADe SEPARATOR DESIGN NOTES

THE STANDARD 2:1 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRADED INLET ONLY (NO INLET PIPE)
GRADED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY FLOW RATE (GPD)	PEAK FLOW RATE (GPD)	RETURN PERIOD OF PEAK FLOW (HR)

GENERAL NOTES

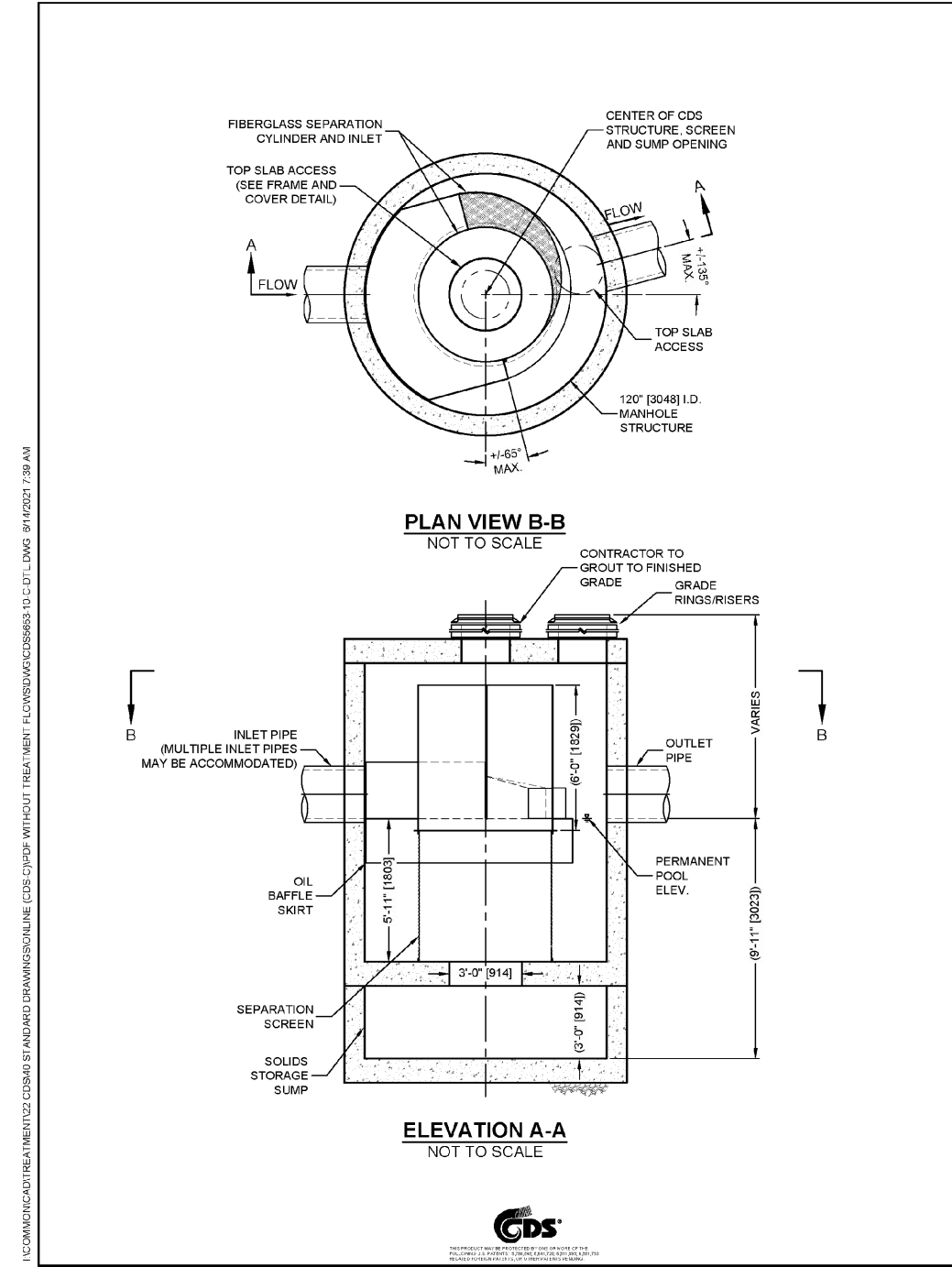
- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DESIGNING WITHIN THE DESIGNING AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE.
- CASCADe SEPARATOR FOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADe SEPARATOR STRUCTURE SHALL MEET ALL APPLICABLE DESIGN CRITERIA, ASSUMING EARTH COVER OF 2'-2" (10') AND GROUNDWATER ELEVATION 1.0' BELOW THE OUTLET PIPE INVERT ELEVATION. NUMBER OF RECORDS TO CORROBORATE ACTUAL GROUNDWATER ELEVATION DATA SHALL MEET ALL APPLICABLE DESIGN CRITERIA AND BE CAST WITH THE CONTROL LOG.
- CASCADe SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C446 AND ASHRAE LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS (MM).

INSTALLATION NOTES

- FOR THE BEST RESULTS, DEPTH AND/OR ANTI-FLOUTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADe SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE DEPTH CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE THAT WATER TIGHT HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW THE INVERTS ARE GROUTED.

CONTECH ENGINEERED SOLUTIONS LLC
www.contech-engineered.com
1101 PARKWAY EAST, SUITE 100, CLARKSTON, MI 48346
920.333.1122 110.546.2000 110.546.2077

CS-4 CASCADe SEPARATOR STANDARD DETAIL



CDS5653-10-C DESIGN NOTES

CDS5653-10-C STANDARD CONFIGURATION IS SHOWN.
FOR UNDER PROJECTS, PLEASE CONTACT YOUR LOCAL CONTECH REPRESENTATIVE FOR APPROVED CONFIGURATIONS.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	WATER QUALITY FLOW RATE (GPD OR L/S)	PEAK FLOW RATE (GPD OR L/S)	RETURN PERIOD OF PEAK FLOW (HR)	COVER HEIGHT (FT OR M)

GENERAL NOTES

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DESIGNING WITHIN THE DESIGNING AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE.
- CDS5653-10-C STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CDS5653-10-C STRUCTURE SHALL MEET ALL APPLICABLE DESIGN CRITERIA, ASSUMING EARTH COVER OF 2'-2" (10') AND GROUNDWATER ELEVATION 1.0' BELOW THE OUTLET PIPE INVERT ELEVATION. NUMBER OF RECORDS TO CORROBORATE ACTUAL GROUNDWATER ELEVATION DATA SHALL MEET ALL APPLICABLE DESIGN CRITERIA AND BE CAST WITH THE CONTROL LOG.
- IF REQUIRED, PRE-CAST CONCRETE SHALL BE PLACED ON SHELLS AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEARING.
- CDS5653-10-C STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C446 AND ASHRAE LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES

- FOR THE BEST RESULTS, DEPTH AND/OR ANTI-FLOUTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE DEPTH CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE THAT WATER TIGHT HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW THE INVERTS ARE GROUTED.

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920.333.1122 110.546.2000 110.546.2077

CDS5653-10-C ONLINE CDS STANDARD DETAIL

LEGEND

EXISTING	PROPOSED
--- SANITARY SEWER	--- SANITARY SEWER
--- WATERMAIN	--- WATERMAIN
--- GAS MAIN	--- GAS MAIN
--- ELEC. TELE. CABLE	--- ELEC. TELE. CABLE
--- STORM MANHOLE	--- STORM MANHOLE
--- CATCH BASIN	--- CATCH BASIN
--- INLET	--- INLET
--- REARYARD CATCH BASIN	--- REARYARD CATCH BASIN
--- END SECTION	--- END SECTION
--- SANITARY MANHOLE	--- SANITARY MANHOLE
--- GATE VALVE AND WELL	--- GATE VALVE AND WELL
--- HYDRANT	--- HYDRANT
--- CONTOURS	--- CONTOURS
--- MATCH ELEVATION	--- MATCH ELEVATION
--- TOP OF CURB	--- TOP OF CURB
--- TOP OF SIDEWALK	--- TOP OF SIDEWALK
--- TOP OF PAVEMENT	--- TOP OF PAVEMENT
--- TOP OF CONCRETE	--- TOP OF CONCRETE
--- TOP OF WALL	--- TOP OF WALL
--- BOTTOM OF WALL	--- BOTTOM OF WALL
--- DITCH	--- DITCH

OUTLET CONTROL STANDPIPE SO-2
RIM 965.00, 5' DIA. W/BARGRATE COVER
100 YEAR OUTLET HOLES = (10) 1" DIA. @ 963.50
V₅₀ ELEVATION = 963.50
Q₅₀ OUTLET HOLES = (22) 1" DIA. @ I.E. 961.00
36" NE OUTLET PIPE = 960.50 (10 YEAR FLOW)
2' SUMP BOTTOM = 958.50

CONTECH ENGINEERED SOLUTIONS LLC
www.contech-engineered.com
1101 PARKWAY EAST, SUITE 100, CLARKSTON, MI 48346
920.333.1122 110.546.2000 110.546.2077

DATE	ISSUE
9-18-2025	PER DLZ (8-28-2025)
10-29-2025	PER BOCC MEETING (10-27-2025) & DLZ (10-15-2025)
11-12-2025	REVISED PER CLIENT/PLANNER-62 W/D UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
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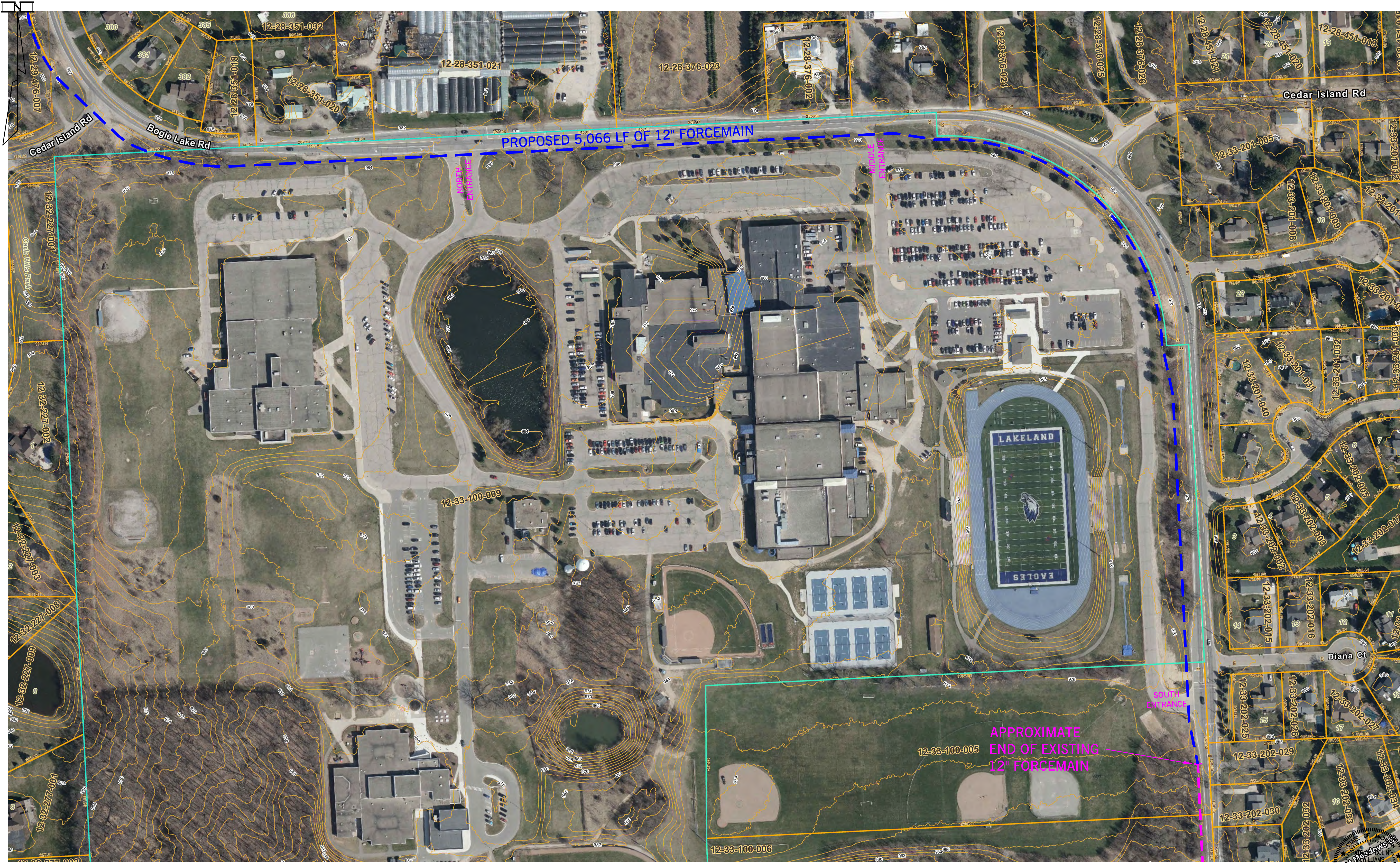
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DRAWN GF			
DESIGN PCM			
SECTION 29	T-3-N-R-8-E		



Off-Site Storm Sewer Outlet Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 10 OF 19
KE 2025.01





G:\2025\10 PH Homes - Bogie & Cedar Island\CAD\Edendale Crossing.dwg, 11 PM, 12/19/2025 1:28:32 PM

DATE	ISSUE
9-19-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

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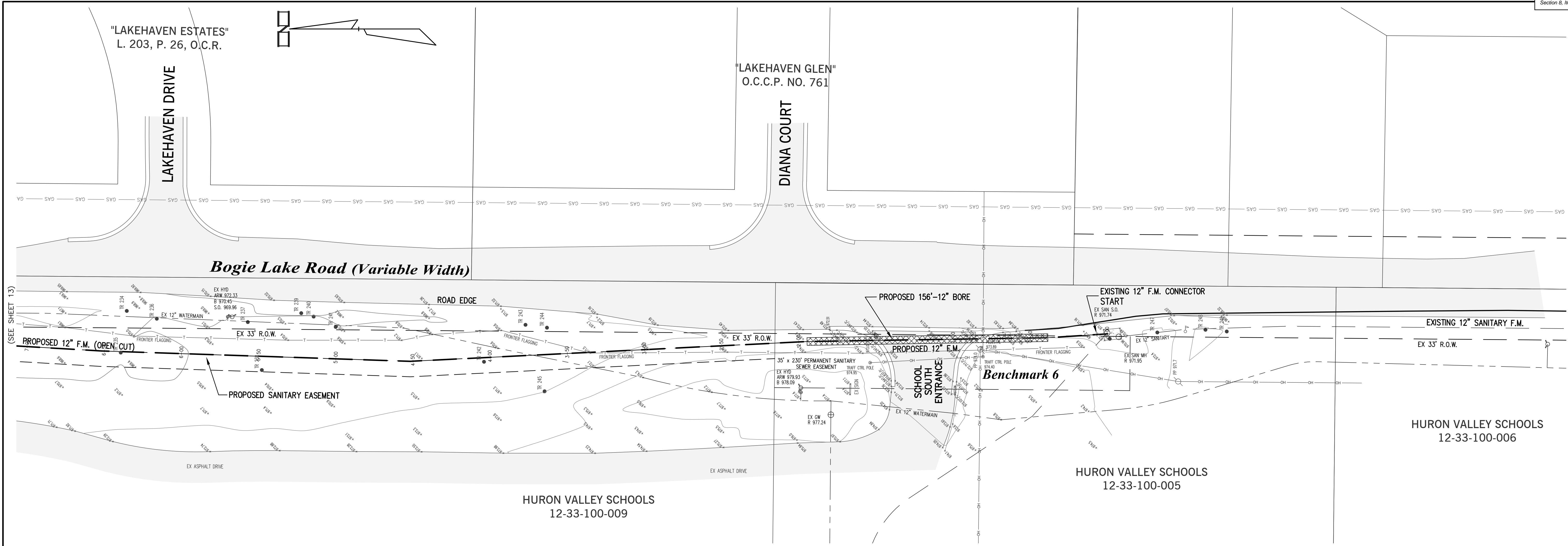
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DATE 7-2-2025	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T- 3 -N- R- 8 -E	



Off-Site Sanitary Forceman Plan - Overall
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'
SHEET 11 OF 19
KE 2025.01



(SEE SHEET 13)

"LAKEHAVEN ESTATES"
L. 203, P. 26, O.C.R.

"LAKEHAVEN GLEN"
O.C.C.P. NO. 761

LAKEHAVEN DRIVE

DIANA COURT

Bogie Lake Road (Variable Width)

ROAD EDGE

PROPOSED 12" F.M. (OPEN CUT)

PROPOSED SANITARY EASEMENT

PROPOSED 156"-12" BORE

PROPOSED 12" F.M.

EXISTING 12" F.M. CONNECTOR
START

EXISTING 12" SANITARY F.M.

SCHOOL SOUTH ENTRANCE

Benchmark 6

HURON VALLEY SCHOOLS
12-33-100-006

HURON VALLEY SCHOOLS
12-33-100-009

HURON VALLEY SCHOOLS
12-33-100-005

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DATE	ISSUE
9-18-2025	PER DLZ (8-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

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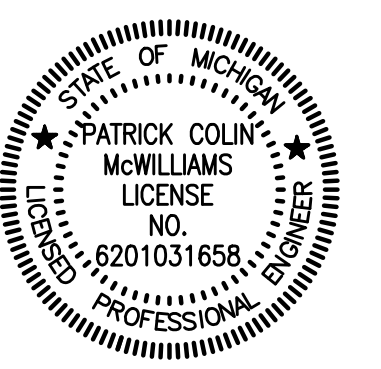
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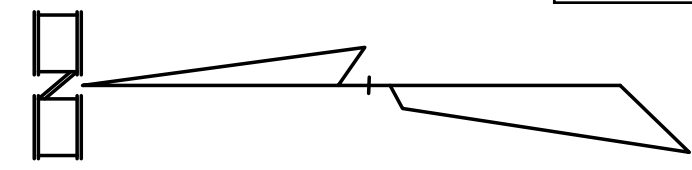
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DRAWN GF		
DESIGN PCM		
SECTION 29	T- 3 -N- R- 8 -E	



Off-Site Sanitary Forcemain Plan - South Connection
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 12 OF 19
KE 2025.01





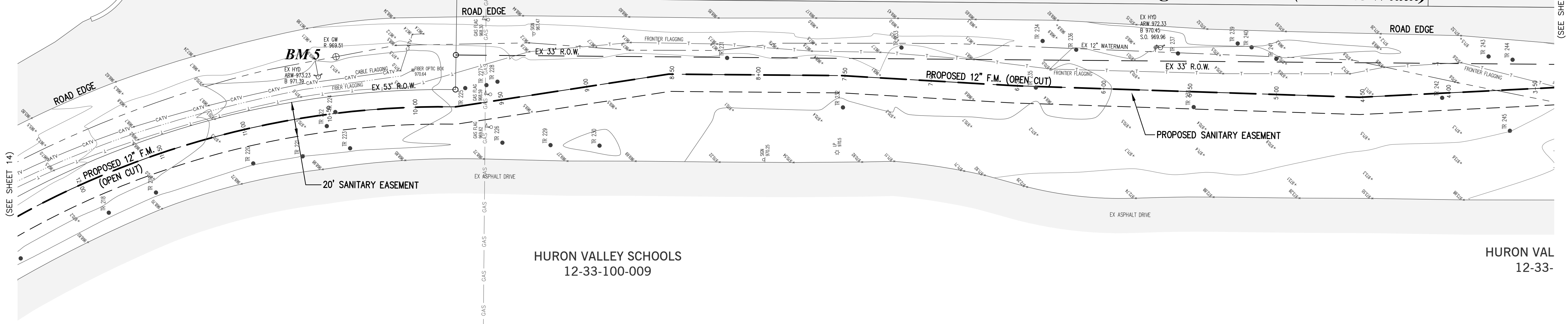
"FOX N' HOUNDS ESTATES"
L. 140, P. 7, O.C.R.

"LAKEHAVEN ESTATES"
L. 203, P. 26, O.C.R.

FOX N HOUNDS DRIVE

LAKEHAVEN DRIVE

Bogie Lake Road (Variable Width)



HURON VALLEY SCHOOLS
12-33-100-009

HURON VAL
12-33-

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DATE	ISSUE
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10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

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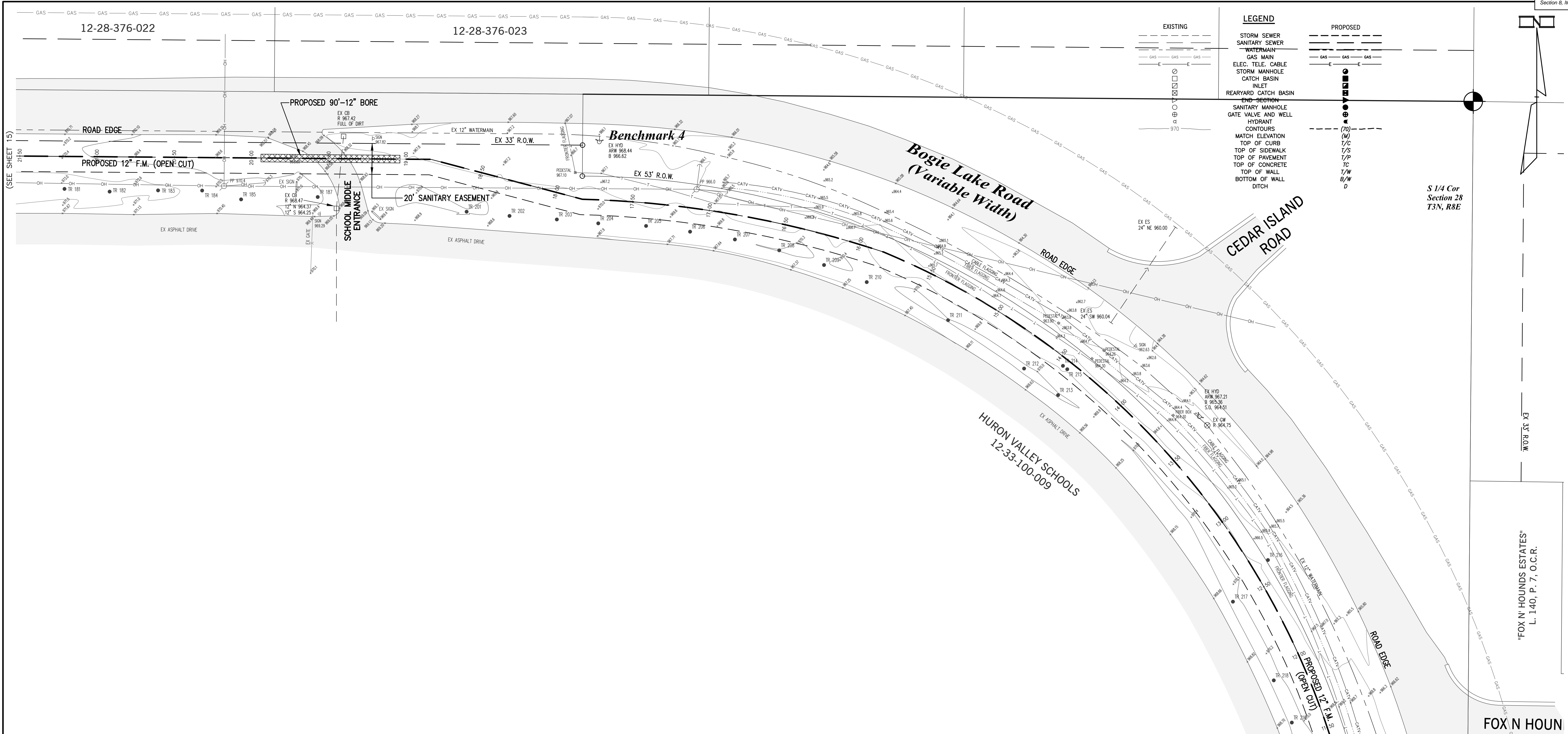
DATE 7-2-2025	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T- 3 -N. R- 8 -E.	



Off-Site Sanitary Forcemain Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN



SCALE 1" = 30'
SHEET 13 OF 19
KE 2025.01



EXISTING	LEGEND	PROPOSED
---	STORM SEWER	---
---	SANITARY SEWER	---
---	WATERMAIN	---
---	GAS MAIN	---
---	ELEC. TELE. CABLE	---
---	STORM MANHOLE	---
---	CATCH BASIN	---
---	INLET	---
---	REARYARD CATCH BASIN	---
---	END-SECTION	---
---	SANITARY MANHOLE	---
---	GATE VALVE AND WELL	---
---	HYDRANT	---
---	CONTOURS	---
---	MATCH ELEVATION	---
---	TOP OF CURB	---
---	TOP OF SIDEWALK	---
---	TOP OF PAVEMENT	---
---	TOP OF CONCRETE	---
---	TOP OF WALL	---
---	BOTTOM OF WALL	---
---	DITCH	---

S 1/4 Cor Section 28 T3N, R8E

"FOX N HOUNDS ESTATES" L. 140, P. 7, O.C.R.

FOX N HOUND

(SEE SHEET 13)

C:\2025\10 PH Homes - Bogie & Cedar Island\CADD\Edendale Crossing.dwg, 14 PM, 12/18/2025 1:25:02 PM

DATE	ISSUE
9-18-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
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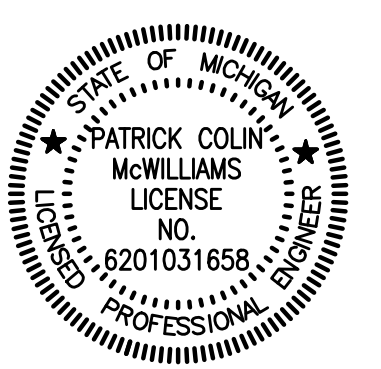
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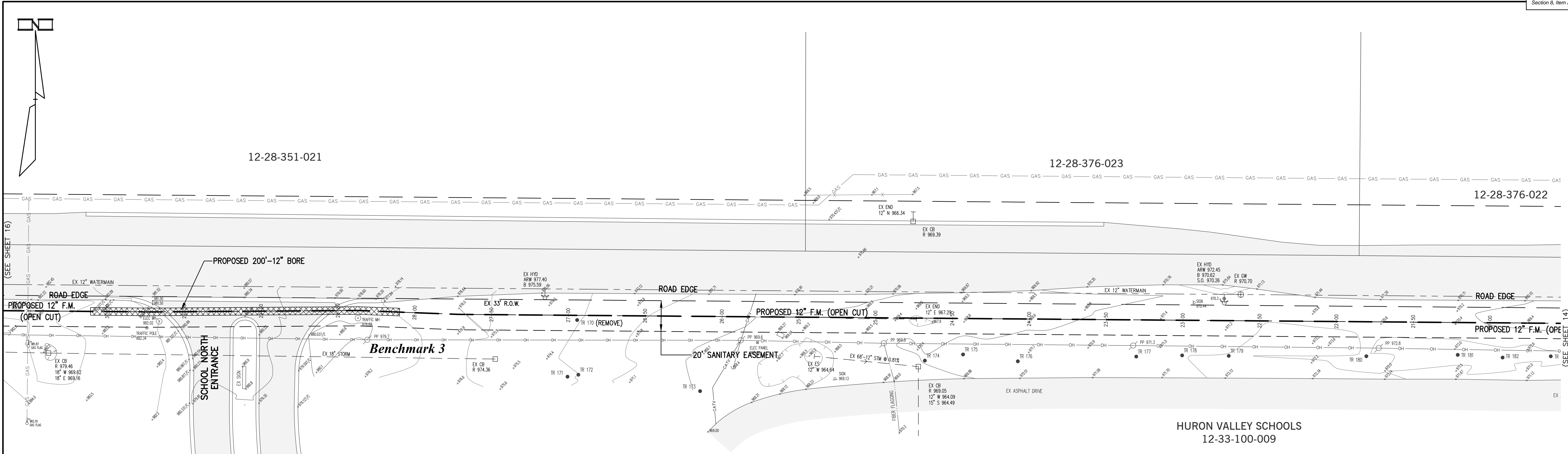
DATE	CKD. BY	DATE
7-2-2025		



Off-Site Sanitary Forceman Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE	1" = 30'
SHEET	14 OF 19
KE	2025.01





HURON VALLEY SCHOOLS
12-33-100-009

C:\2025\010 PH Homes - Bogie & Cedar Island\CADD\Edendale Crossing.dwg, 15 PM, 12/18/2025 1:25:12 PM

DATE	ISSUE
9-18-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

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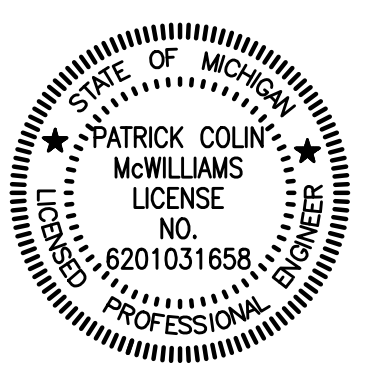
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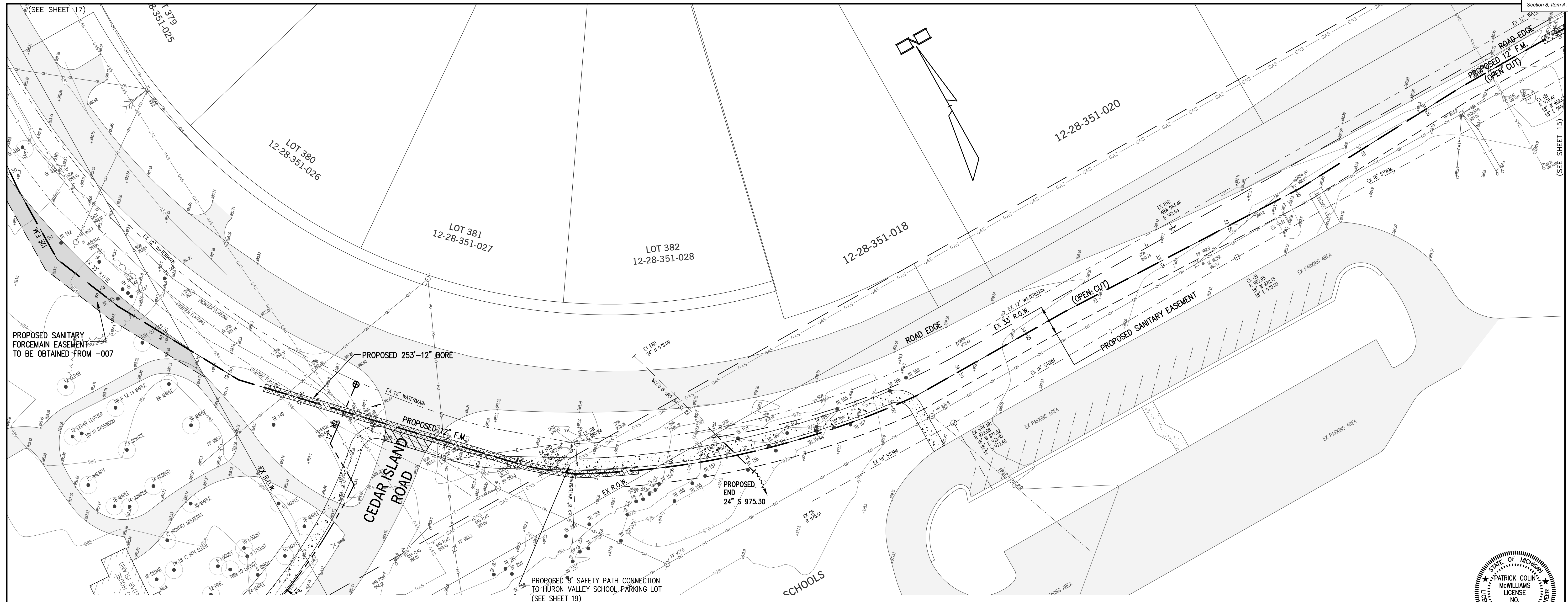
DATE	CKD. BY	DATE
7-2-2025	GF	
	PCM	



Off-Site Sanitary Force Main Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 15 OF 19
KE 2025.01





Section 8, Item A.



DATE	ISSUE
9-18-2025	PER DLZ (8-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
 PH COMMUNITIES, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48382
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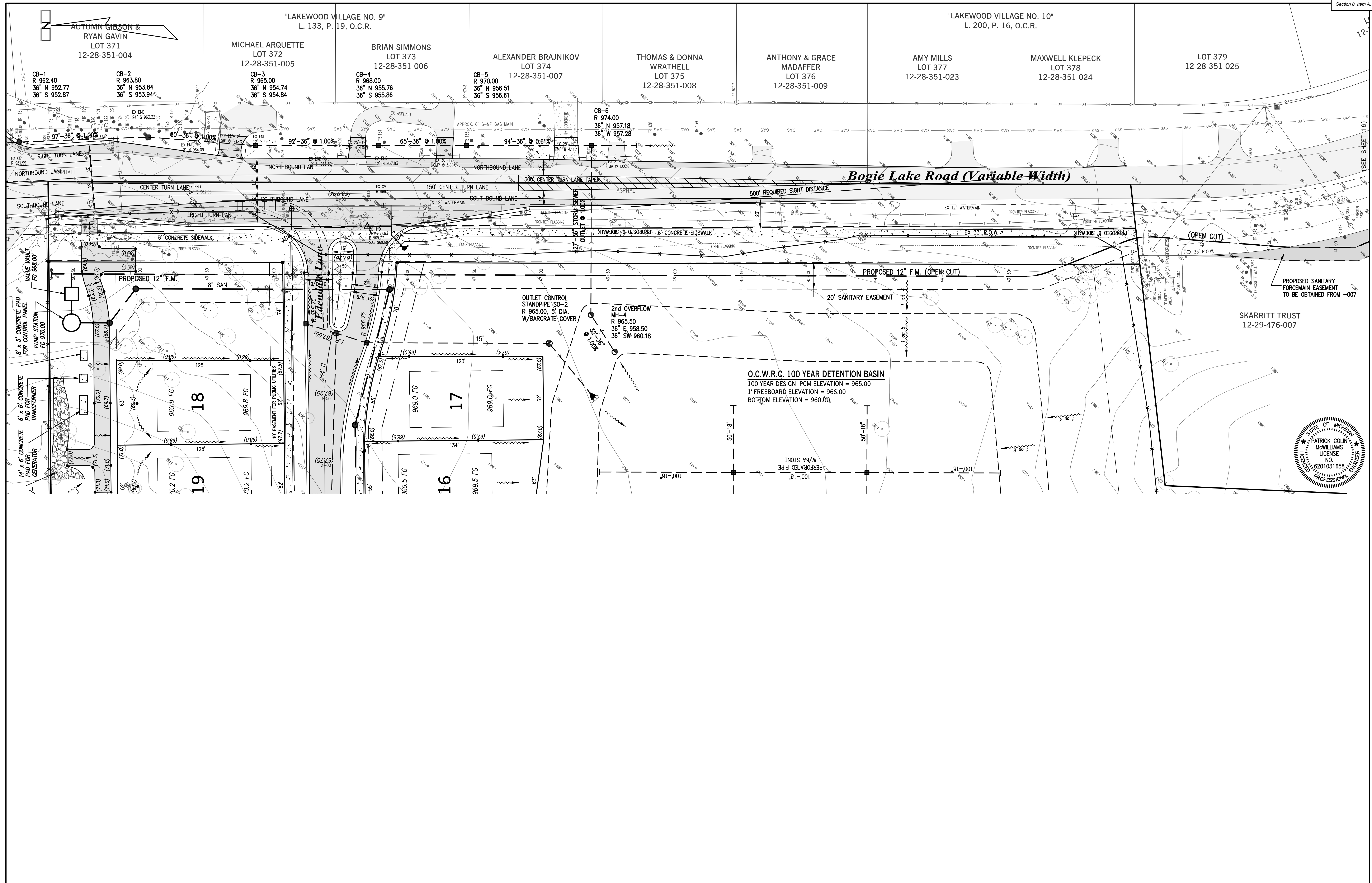
DATE	CKD. BY	DATE
7-2-2025		



Off-Site Sanitary Forceman Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
 SHEET 16 OF 19
 KE 2025.01

G:\2025\10 PH Homes - Bogie & Cedar Island\CADD\Edendale Crossing.dwg, 16 PM, 12/18/2025 1:29:23 PM



C:\2025\10 PH Homes - Bogie & Cedar Island\CADD\Edendale Crossing.dwg, T7 FM, 12/18/2025 1:29:29 PM

DATE	ISSUE
9-18-2025	PER DLZ (8-28-2025)
10-29-2025	PER ROOM MEETING (10-27-2025) & DLZ (10-15-2025)
11-12-2025	REVISED PER CLIENT/PLANNER-62 W/D UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
 PH COMMUNITIES, LLC
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DATE	CKD. BY	DATE
7-2-2025		
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	



Off-Site Sanitary Force Main Plan - North Pump Station & Tree Chart
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
 SHEET 17 OF 19
KE 2025.01

100 YEAR DETENTION BASIN CALCULATION (I.E. WITH OUTLET)

Table with columns for parameters like TOTAL CONTRIBUTING AREA, HYDROLOGIC SOIL GROUP, RUNOFF COEFFICIENT, and calculations for detention volume and flow.

"C" CALCULATION

TOTAL SITE AREA = 45.47 ACRES
PAVEMENT AREAS:
ROADS: = 157,000 SF
SIDEWALKS: = 78,923 SF
FUTURE DRIVEWAYS: SAY (800 SF) x (125 DRIVES) = 100,000 SF
TOTAL PAVEMENT AREA = 335,923 SF = 7.72 ACRES @ C = 0.95
ROOF AREAS:
ASSUME (2,800 SF) x (125 HOMES) = 350,000 SF = 8.04 ACRES @ C = 0.95
DETENTION BASIN AREA: 2.00 ACRES @ C = 1.00 (AVERAGE)
GREENBELT AREAS: 27.68 ACRES @ C = 0.20
"C" = (7.72 ACRES x 0.95) + (8.04 ACRES x 0.95) + (27.71 ACRES x 0.20) + (2.00 ACRES x 1.00) = 0.495 = 0.50

VOLUME PROVIDED:
A1 = @ 961.00 = 55,000 SF
A2 = @ 965.00 = 84,200 SF
V = H(A1 + A2 + sqrt(A1 x A2)) / 3 = 276,334 CF, OK

DETENTION BASIN

EXISTING WATER ELEVATION = NONE
100 YEAR DESIGN HIGH WATER ELEVATION = 965.00
1' FREEBOARD ELEVATION = 966.00
STORAGE REQUIRED = 260,820 CF
STORAGE PROVIDED = 276,334 CF
SO-2 STANDPIPE RIM = 963.50
OVERFLOW MANHOLE RIM = 965.00
LOWEST EMERGENCY OVERFLOW CATCH BASIN ON N. SIDE IN ENTRY ROAD (OFF BOGIE LAKE ROAD) = 966.75
BOTTOM = 960.00

APPROXIMATE DETENTION BASIN 10 YEAR OUTFLOW CALCULATION

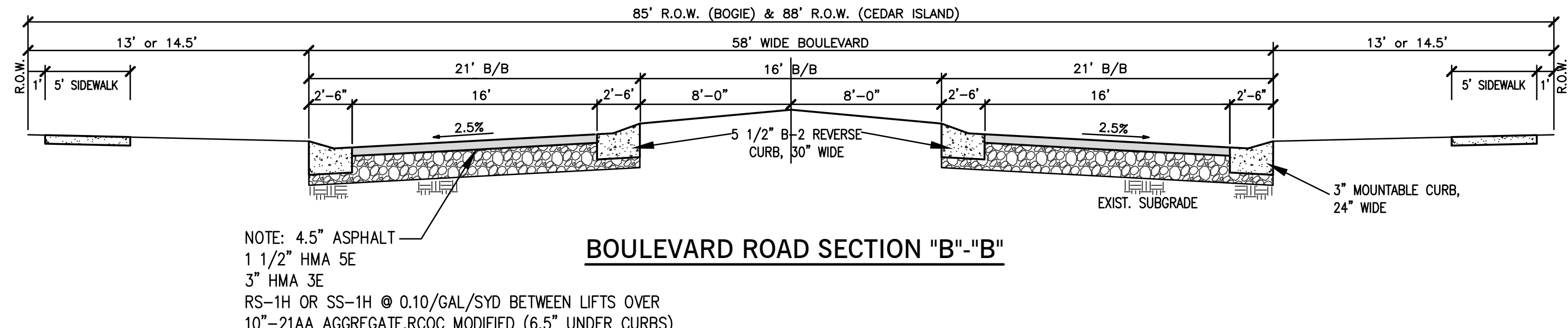
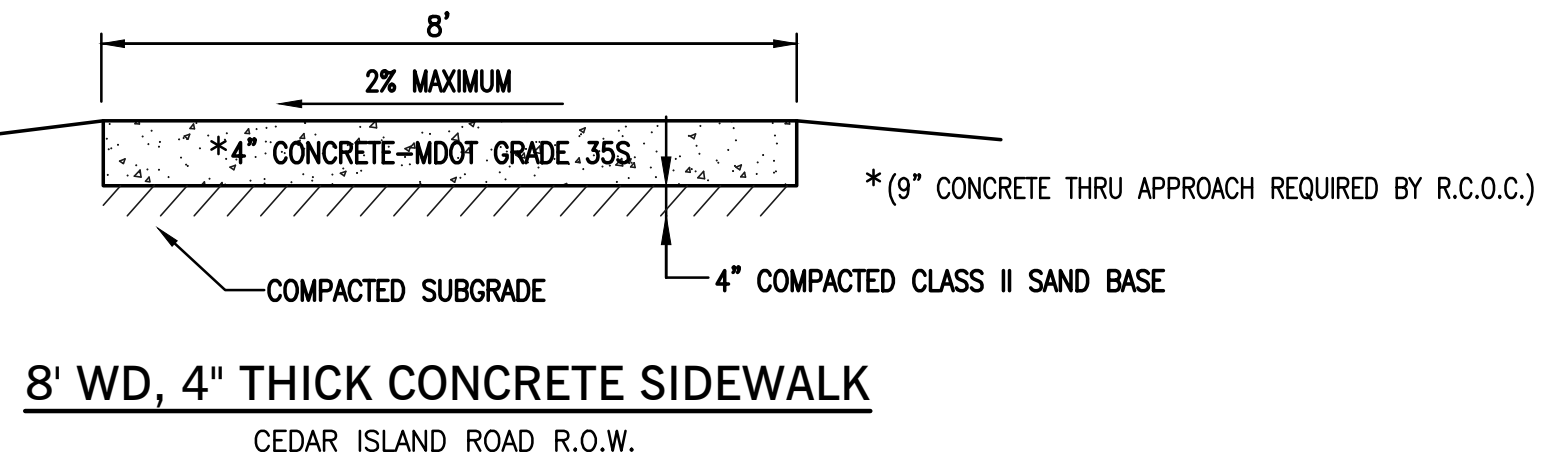
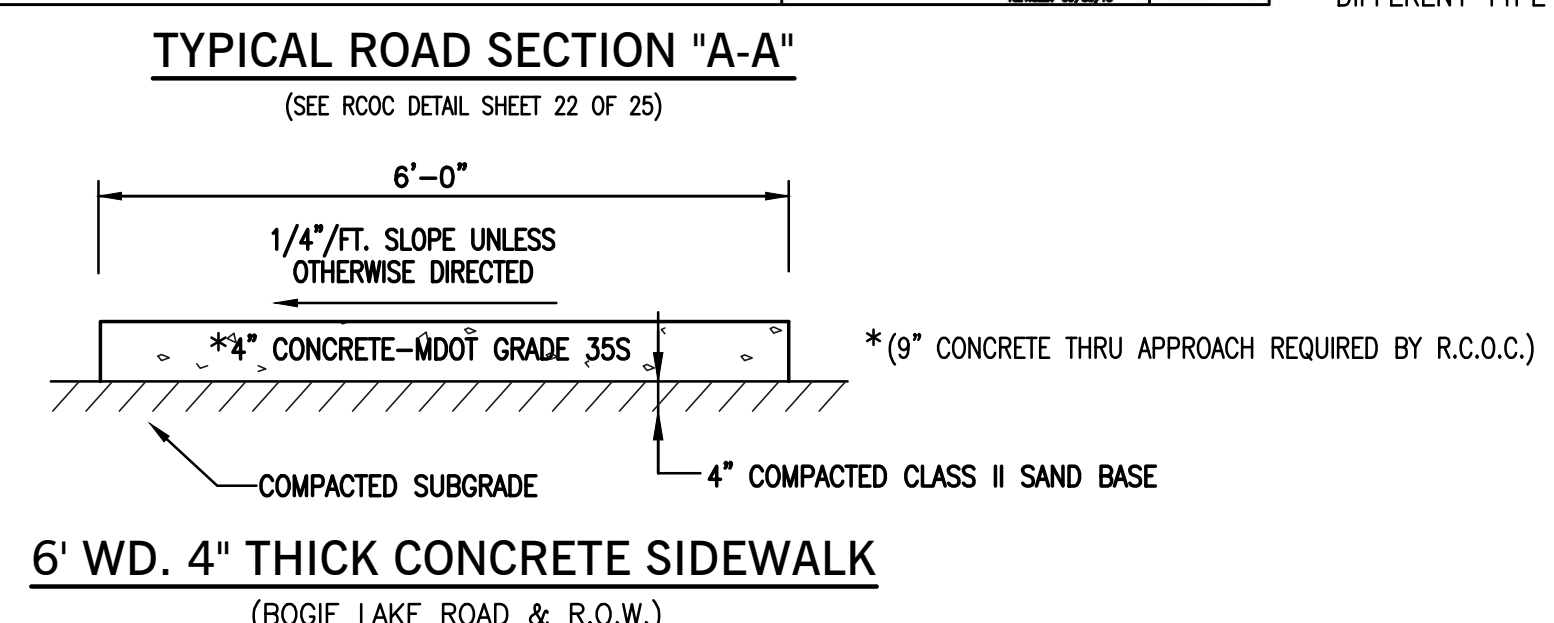
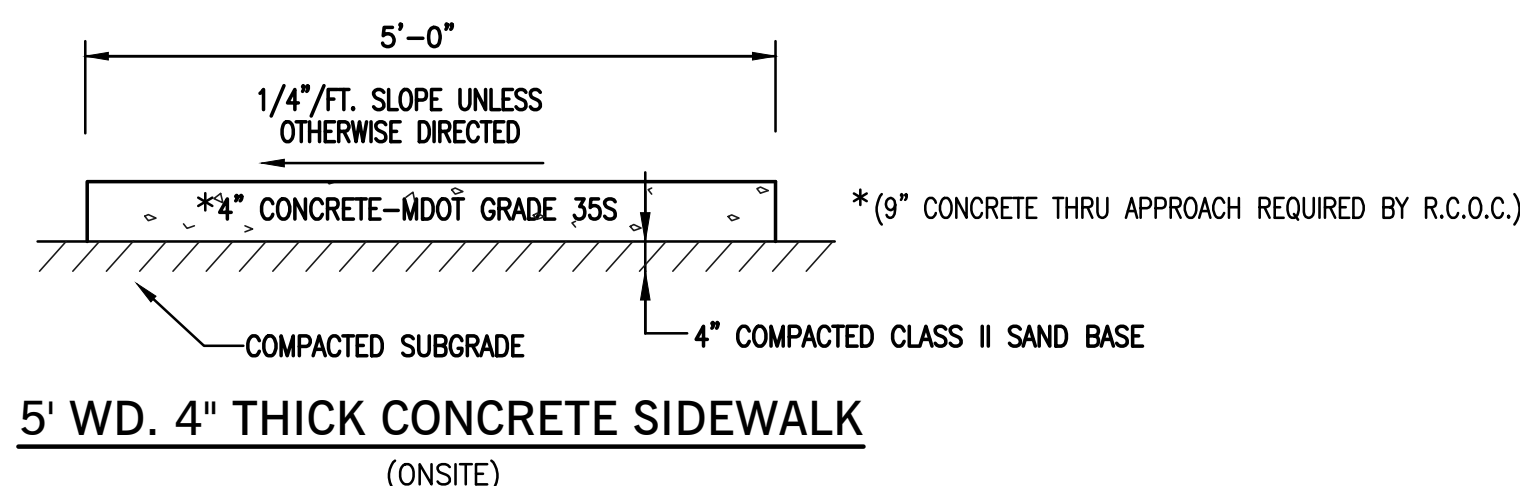
Q = ACi; A = 45.47 ACRES; C = 0.50; I = 175; T = 30 MINUTES +/-
NOTE: ESTIMATED TIME BASED ON THE LONGEST STORM SEWER RUN = 2,400 LF
THUS, 2,400 LF ÷ 3 FPS (ASSUMED) = 800 SECONDS = 13.33 MINUTES
USE 10 MINUTES TO BE CONSERVATIVE.
20 MINUTES (INITIAL Tc) + 10 MINUTES = 30 MINUTES
USE 36" OUTLET PIPE @ 1.00%; Q = 66.60 CFS; V = 9.42 FPS

Northwest Area Storm Run-off Calculation Comparison

"EXISTING CONDITIONS"
PRESENTLY 4.80 ACRES FLOWS OFF-SITE TO THE NORTHWEST.
EXISTING C = 0.30
FOR A 10 YEAR STORM Q10 = ACi
A = 4.80 ACRES
C = 0.30
I = 175; T = 20 MINUTES; I = 175 = 3.89
T+25
Q10 = (4.80)(0.30)(3.89) = 5.60 CFS EXISTING

PROPOSED "C" CALCULATION
(13 HOMES)(REAR ROOF=1,600 SF) = 20,800 SF = 0.48 ACRES @ C = 0.95
REMAINING 2.52 ACRES @ C = 0.30
"C" = (0.48 ACRES x 0.95) + (2.52 ACRES x 0.30) = 0.41
A = 3.00 ACRES
C = 0.41
I = 3.89
Q10 = (3.00)(0.41)(3.89) = 4.79 CFS PROPOSED

THUS, THERE IS LESS PROPOSED STORM WATER RUN-OFF THAT WILL BE FLOWING TO THE LEACH BASIN IN THE NORTHWEST AREA THEN THE EXISTING STORM WATER RUN-OFF FOR A TEN YEAR STORM.

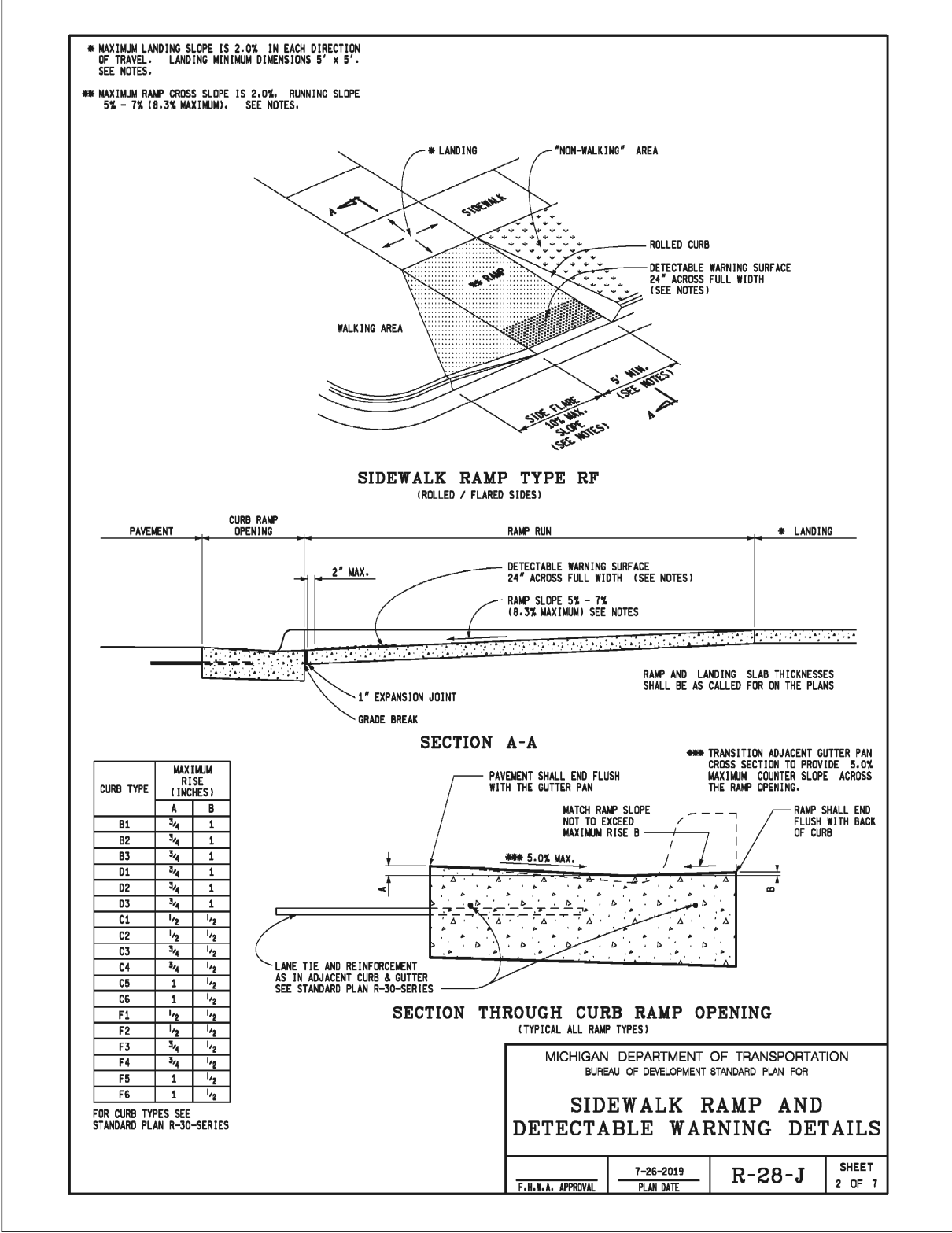
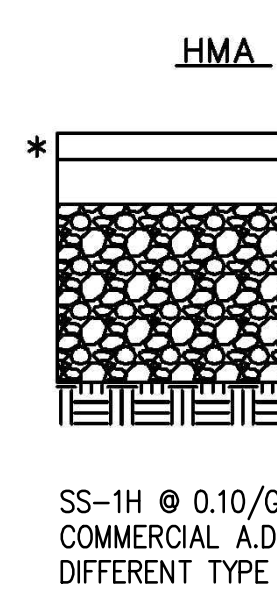
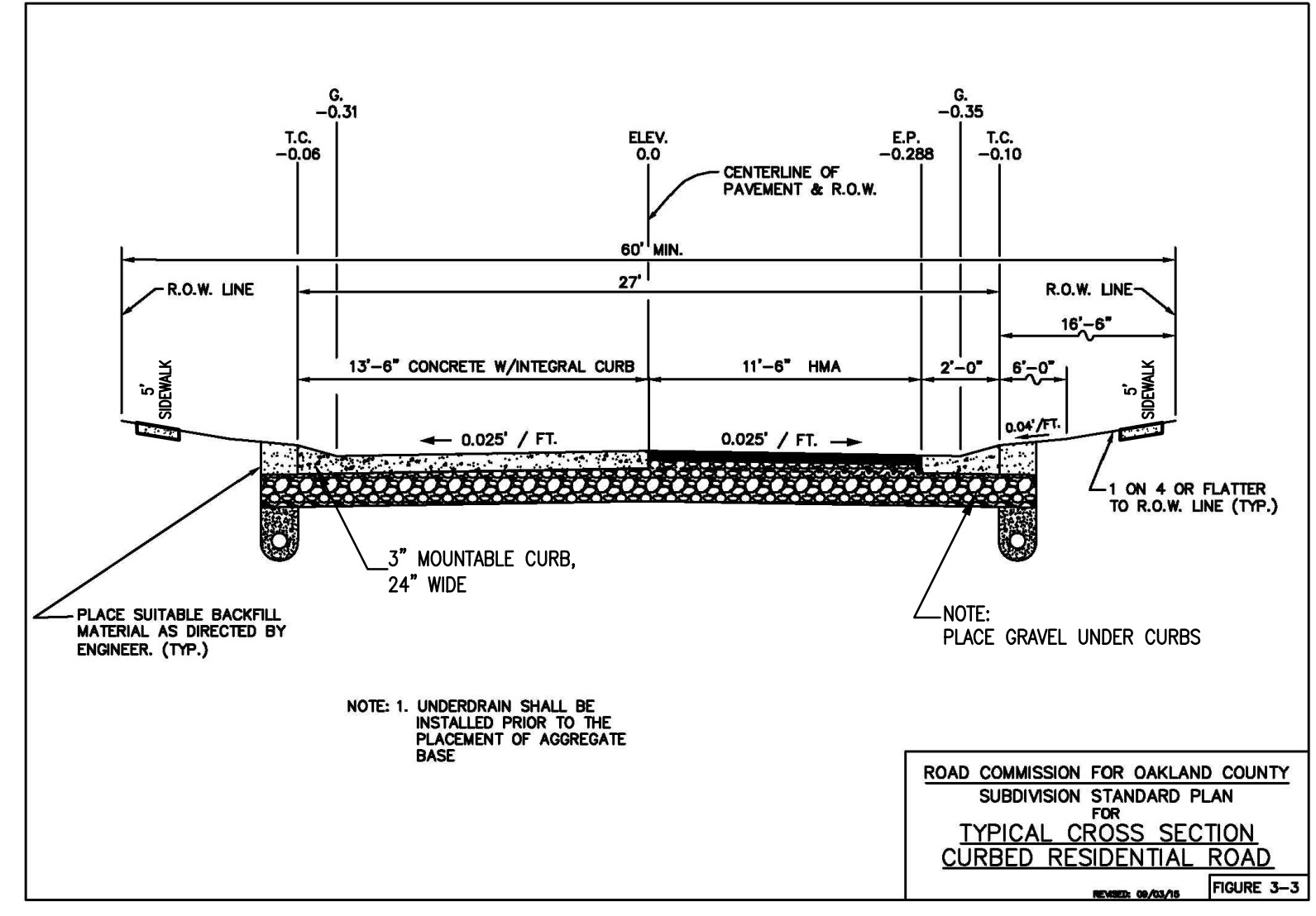
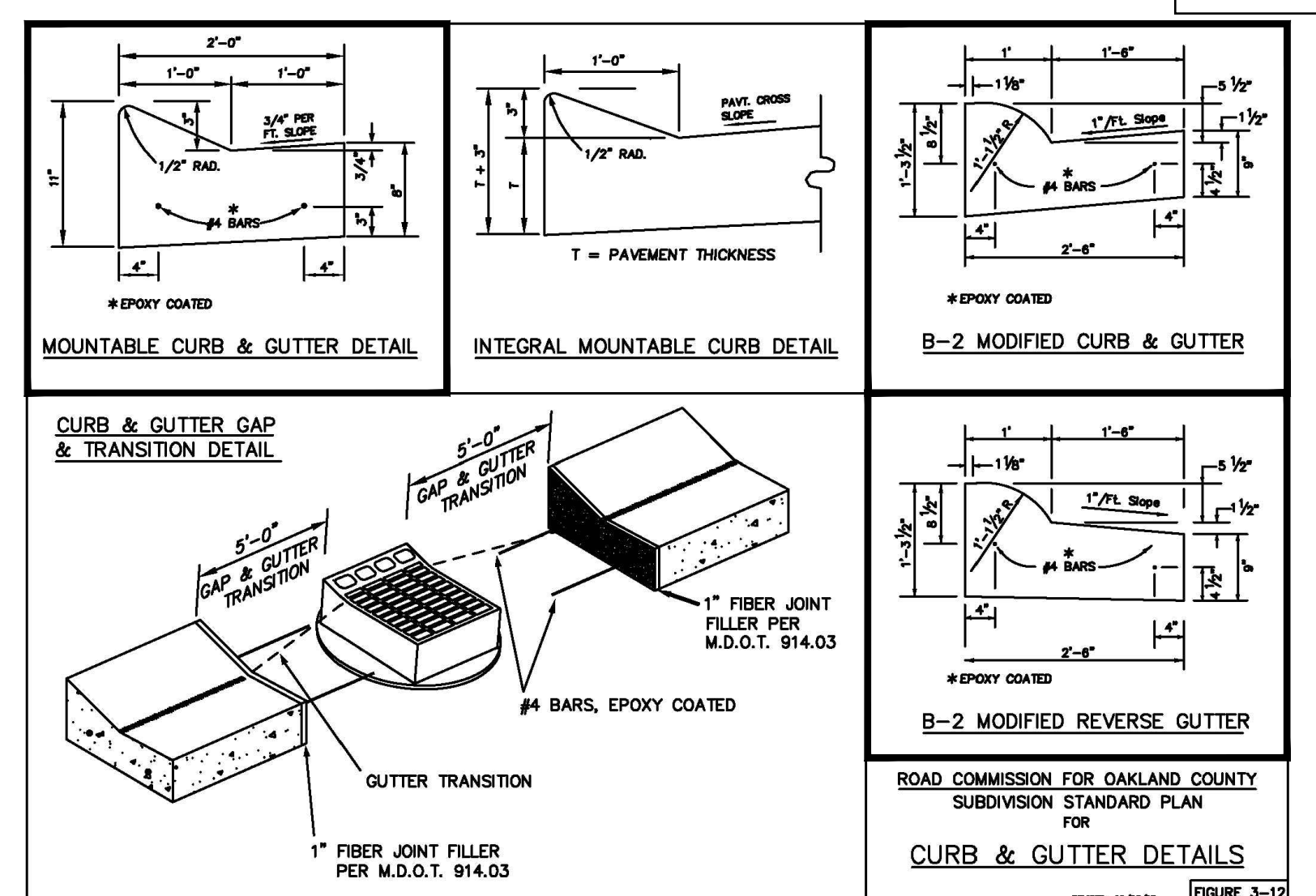


Storm Water Facilities Maintenance Plan
The "Edendale Crossing" Homeowners Association shall be responsible for the maintenance of all the storm water facilities. (Note: The developer is responsible until the HOA exists).

- These facilities include the following:
• Detention Basin
• Pretreatment Structure Manholes
• Manholes, Rear Yard Catch Basins, Leach Basins, End Sections & connecting pipe work
• Rear yard swales (within easements)

The HOA shall hire a qualified contractor to do the following Maintenance Schedule (including report kept on record):

- 1. The (2) Pretreatment Structures shall be inspected by a qualified contractor on a semi-annual basis (twice/year) and necessary action taken to clean out the structures in accordance with the manufacturers guidelines.
2. The Detention Basin shall be inspected on any annual basis by a qualified contractor and/or civil engineer to insure it is functioning as designed.
3. The storm structures & swales shall be inspected on a bi-annual basis (every two years). This is an "above ground" visual inspection to determine if any structures are "failing", (i.e. ground has sank around structure, etc.).



TOTAL SITE
RESIDENTIAL UNITS = 123 REU/UNIT = 123 REU'S

OVERALL SANITARY DESIGN
"AVERAGE FLOW"
123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS
332.1 PERSONS x 100 GPCD = 33,210 GPD = 0.03321 MGD
x 1.55 (conversion)
Q = 0.0515 CFS

"PEAK FLOW"
123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS/1000 = 0.3321 = P
Q = 100 x (18 + sqrt(P))/(4 + sqrt(P)) = 405.93 GPCD
332 PERSONS x 405.93 GPCD = 134,769 GPD = 0.13477 MGD
x 1.55 (conversion)
Q = REQUIRED = 0.2089 CFS

NOTE: AN 8" TRUSS PIPE @ 0.40% CAN CARRY 0.765 CFS @ 2.19 FPS.
A 10" TRUSS PIPE @ 0.30% CAN CARRY 1.194 CFS @ 2.19 FPS.



DATE 9-18-2025 PER DLT (6-26-2025)
10-29-2025 PER RCOO MEETING (10-27-2025) & DLT (10-15-2025)
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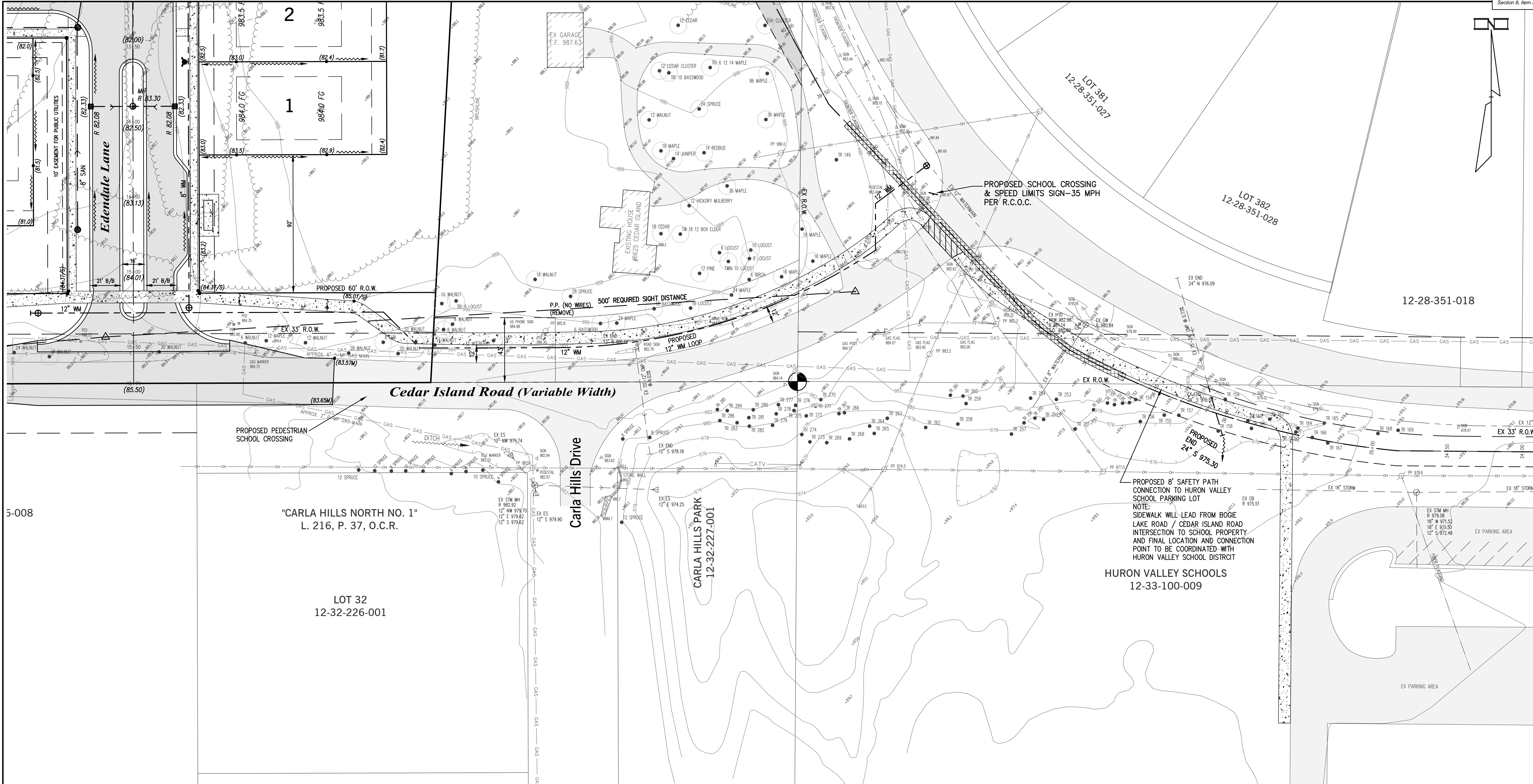
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Table with columns: DATE, DRAWN GF, DESIGN PCM, SECTION 29, CKD. BY, DATE, T-3-N, R-8-E.



72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG (800) 482-7171 OR 811
Detention Basin Calculations & Details
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE N/A
SHEET 18 OF 19
KE 2025.01



5-008

"CARLA HILLS NORTH NO. 1"
L. 216, P. 37, O.C.R.

LOT 32
12-32-226-001

Carla Hills Drive

CARLA HILLS PARK
12-32-227-001

HURON VALLEY SCHOOLS
12-33-100-009

PROPOSED 8' SAFETY PATH
CONNECTION TO HURON VALLEY
SCHOOL PARKING LOT
NOTE:
SIDEWALK WILL LEAD FROM BOGIE
LAKE ROAD / CEDAR ISLAND ROAD
INTERSECTION TO SCHOOL PROPERTY
AND FINAL LOCATION AND CONNECTION
POINT TO BE COORDINATED WITH
HURON VALLEY SCHOOL DISTRICT

PROPOSED SCHOOL CROSSING
& SPEED LIMITS SIGN-35 MPH
PER R.C.O.C.

500' REQUIRED SIGHT DISTANCE
P.P. (NO WIRES)
(REMOVE)

PROPOSED 60' R.O.W.
(85.07'S)

PROPOSED 12' WM LOOP

Cedar Island Road (Variable Width)

PROPOSED PEDESTRIAN
SCHOOL CROSSING

PROPOSED
END 24' S 975.30

DATE	ISSUE
9-18-2025	PER DLZ (8-26-2025)
10-29-2025	PER R.O.C. MEETING (10-27-2025) & DLZ (10-15-2025)
11-17-2025	REVISED PER CLIENT/PLANNER-62' WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
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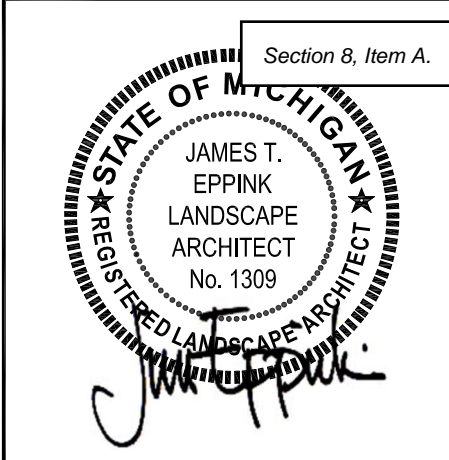
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DATE	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	



Cedar Island & White Lake Middle School Sidewalk Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 19 OF 19
KE 2025.01



J EPPINK PARTNERS, INC
Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
Suite 104
Auburn Hills, MI 48326
248.922.0789

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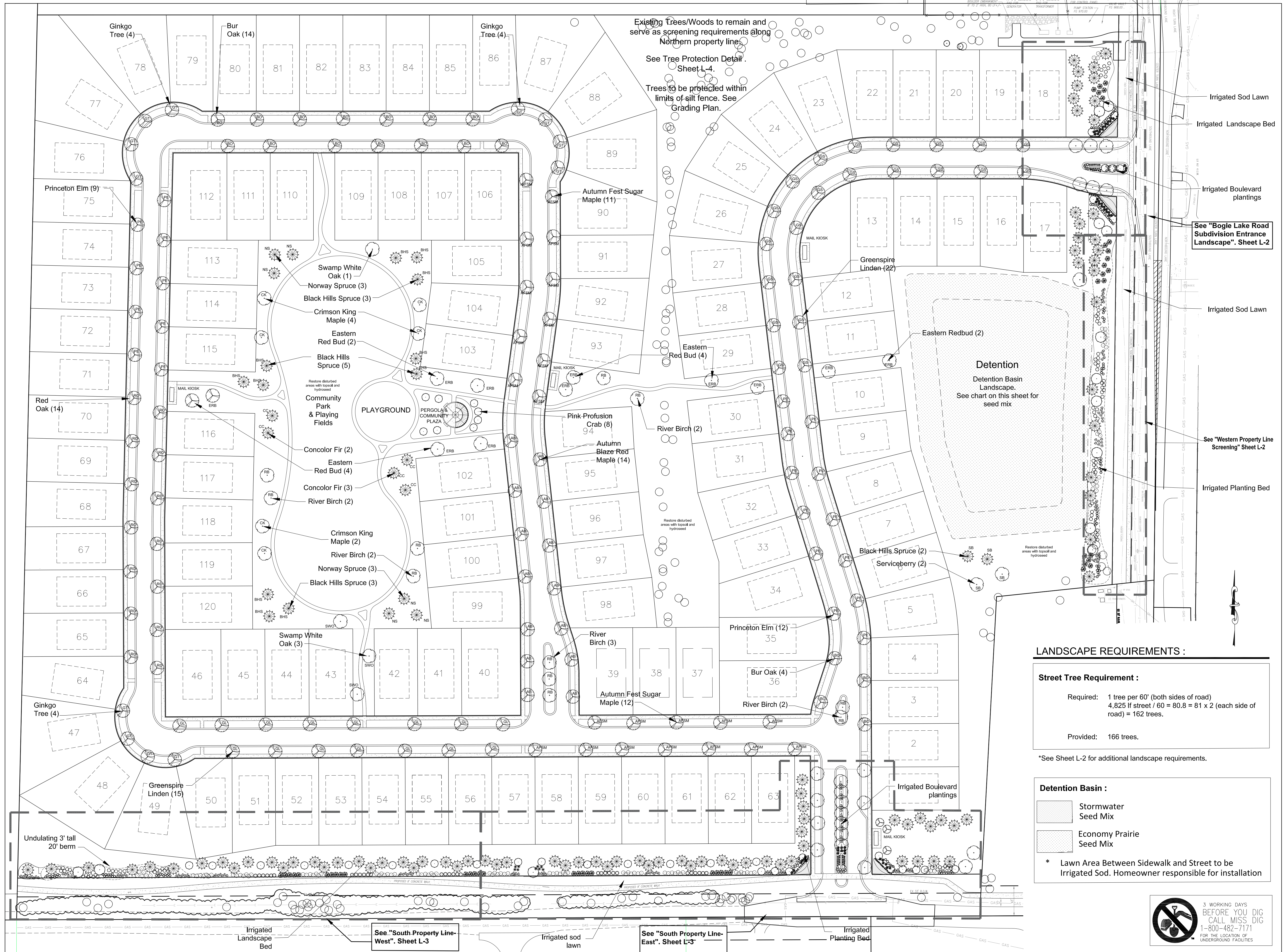
Project:
Edendale Crossing
Bogle Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Common Area Landscape Plan
Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked by:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet
L-1



Existing Trees/Woods to remain and serve as screening requirements along Northern property lines.
See Tree Protection Detail - Sheet L-4.
Trees to be protected within limits of silt fence. See Grading Plan.

See "Bogle Lake Road Subdivision Entrance Landscape". Sheet L-2

See "Western Property Line Screening" Sheet L-2

LANDSCAPE REQUIREMENTS :

Street Tree Requirement :

Required: 1 tree per 60' (both sides of road)
4,825 lf street / 60 = 80.8 = 81 x 2 (each side of road) = 162 trees.
Provided: 166 trees.

*See Sheet L-2 for additional landscape requirements.

Detention Basin :

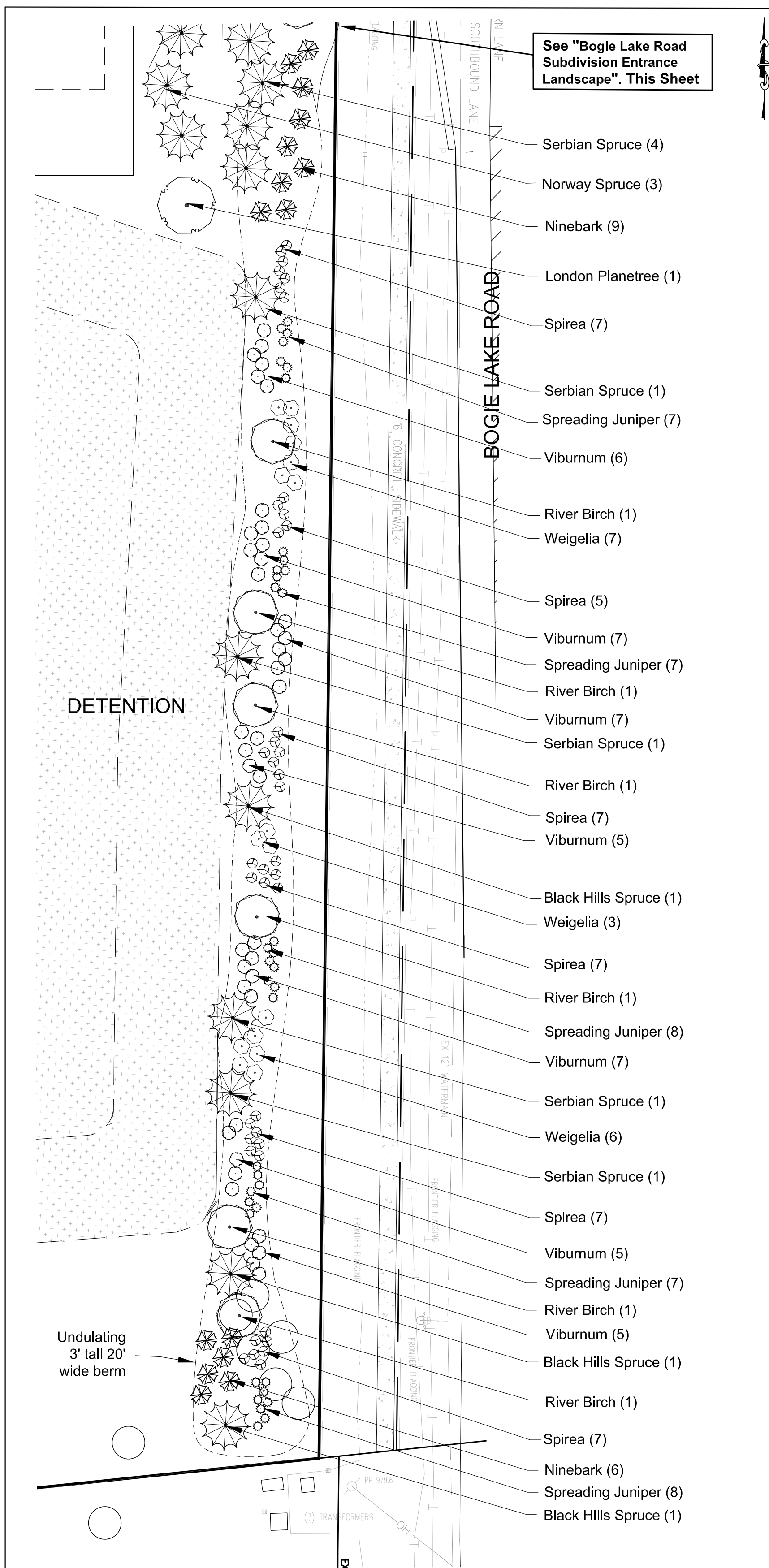
- Stormwater Seed Mix
- Economy Prairie Seed Mix

* Lawn Area Between Sidewalk and Street to be Irrigated Sod. Homeowner responsible for installation



See "South Property Line-West". Sheet L-3

See "South Property Line-East". Sheet L-3



See "Bogie Lake Road Subdivision Entrance Landscape". This Sheet



Tree Tables- Trees To Save

North Property Line Trees to Keep- Count Towards Required Buffer Trees

31 Quality trees to remain (highlighted)

Tree Number	Size	Type	Count for Req.
5485	6,6	Boxelder	
5489	6,6	Boxelder	
5490	8	Black Mulberry	x
5491	15,12	Pin Oak	x
5492	9	Black Cherry	x
5493	10	Pin Oak	x
5494	8	Pin Oak	x
5495	10	Pin Oak	x
5496	8,6,5	Black Cherry	x
5518	10	Poplar	
5519	9	Black Cherry	x
5520	8	Black Cherry	x
5521	9,4	Boxelder	
5522	9	Black Cherry	x
5523	13	Poplar	
5524	10,3,2	Black Mulberry	x
5525	18,18,12	Black Cherry	x
5526	10	Pin Oak	x
5527	24	Black Cherry	x
5528	9	Black Cherry	x
5529	27,27,22	Black Cherry	x
5530	17,6	American Elm	x
5531	12	Black Cherry	x
5532	18	Pin Oak	x
5533	8	Aspen	x
5534	9	Aspen	x
5535	10	Aspen	x
5536	10	Aspen	x
5537	12,12	Black Cherry	x
5538	8,8	Black Cherry	x
5539	15	Black Cherry	x
5540	20	Black Cherry	x
5541	9	Black Cherry	x
5542	13	Black Cherry	x
5543	8	American Elm	x
5544	24,20,16,12	Black Cherry	x

South Property Line Trees to Keep- Count Towards Required Frontage Trees

28 Quality trees to remain (highlighted)

Tree Number	Size	Type	Count for Req.
551	14	Hickory	x
552	34	Oak	x
553	30	Oak	x
554	48	Oak	x
555	20	Walnut	x
556	10	Cherry	x
557	30,18	Oak	x
558	18	Cherry	x
559	16	Hickory	x
560	32	Oak	x
561	32	Oak	x
562	10	Cherry	x
563	30	Walnut	x
564	18,16	Cherry	x
565	14	Boxelder	
566	10	Elm	x
567	10	Cherry	x
568	12	Oak	x
569	18	Cherry	x
570	10	Cherry	x
571	8	Cherry	x
572	10	Pin Oak	x
573	9	Pin Oak	x
574	22,10,10	Black Cherry	x
575	8	Boxelder	
576	9	Black Cherry	x
577	9	Black Cherry	x
578	9	Boxelder	
579	10	Black Cherry	x
580	18	Black Cherry	x
581	12,12	Black Cherry	x
582	10	Black Cherry	x
583	8	Pin Oak	x
584	18	Black Cherry	x
585	12,12,8	Black Cherry	x
586	10	Black Cherry	x
587	19	Black Cherry	x

Central Forest Area
27 Quality trees to remain (do not count towards a specific landscape requirement)

Tree Number	Size	Type
588	30	Pin Oak
589	12,12,5	Black Cherry
590	16,14,12	Black Cherry
591	15,13	Black Cherry
592	18	Pin Oak
593	18	Black Cherry
594	18,8	Black Cherry
595	9	Black Cherry
596	12	Pin Oak
597	11,9	Pin Oak
598	8	Boxelder
599	10	Black Cherry
600	22	Black Oak
601	9	Pin Oak
602	10	Pin Oak
603	9	Pin Oak
604	22,10,10	Black Cherry
605	8	Boxelder
606	9	Black Cherry
607	9	Boxelder
608	18	Black Cherry
609	12,12,8	Black Cherry
610	10	Black Cherry
611	19	Black Cherry

EXISTING TREES TO REMAIN :

86 Regulated trees to remain on site.

Additional smaller, non-regulated trees, buffers, and natural vegetative growth and shrubby areas to remain on site adjacent to the Cedar Island Frontage as well as within the central natural preservation areas of the neighborhood. The preservation areas are intended to be a community benefit for the preservation of woodland canopy, natural buffering along Cedar Island Road, and the continuous natural habitat for wildlife.

Residential Entranceway Landscape Requirement :

Area of Coverage: First 150' of Entrance Drive
Requirement: 1 tree and 3 shrubs per each 300sf of area

Bogie Lake Road Entrance :

North Side of Bogie Lake Road :

Area: 1,265 sf
1,265 \ 300 = 4.2 = 4
Trees: 4 x 1 = 4
4 Trees Required
4 Trees Provided
Shrubs: 5 x 3 = 15
15 Shrubs Required
15 Shrubs Provided within entrance planting area.

South Side of Bogie Lake Road :

Area: 824 sf
824 \ 300 = 2.7 = 3
Trees: 3 x 1 = 3
3 Trees Required
4 Trees Provided
Shrubs: 3 x 3 = 9
9 Shrubs Required
9 Shrubs Provided within entrance planting area.

Bogie Lake Road Entrance Island:

Area: 947 sf
947 \ 300 = 3
Trees: 3 x 1 = 3
3 Trees Required
3 Trees Provided
Shrubs: 12 Shrubs Required
15 Shrubs Provided

Cedar Island Road Entrance :

East Side of Cedar Island Road :

Area: 1,736 sf
1,736 \ 300 = 5.7 = 6
Trees: 6 x 1 = 6
6 Trees Required
6 Trees Provided
Shrubs: 6 x 3 = 18
18 Shrubs Required
18 Shrubs Provided

West Side of Cedar Island Road :

Area: 2,082 sf
2,082 \ 300 = 6.9 = 7
Trees: 7 x 1 = 7
7 Trees Required
10 Trees Provided
Shrubs: 7 x 3 = 21
21 Shrubs Required
21 Shrubs Provided

Cedar Island Road Entrance Island:

Area: 2,172 sf
2,172 \ 300 = 7.2 = 8
Trees: 8 x 1 = 8
8 Trees Required
7 Trees Provided
Shrubs: 4 x 3 = 12
12 Shrubs Required
35 Shrubs Provided

*Remaining 1 required trees to be planted along the sides of the road due to spacing constraints in boulevard

Screening Requirement between uses :

North Property Line :

Requirement: Land Form Buffer (A-2): 3' berm with min. 2' wide crown and max. 3:1 slope. 20' wide. 1 large deciduous tree, 1 large evergreen tree and 8 shrubs per 30'.

Eastern portion: 832 LF : 832 / 30 - 27.7 = 28
Required: 28 Deciduous, 28 Evergreen, and 224 Shrubs on 3' berm
Provided: 31 Existing trees and surrounding brushy vegetation to remain and serve as required screening. Berming would disturb the existing vegetation and is not recommended **See Tree Tables Below

Western portion: 742 LF : 742 / 30 - 24.7 = 25
Required: 25 Deciduous, 25 Evergreen, and 200 Shrubs on 3' berm
Provided: 15 Deciduous and 9 Evergreen Adjacent use is a cell tower lot. Applicant seeks a waiver for remaining plants.

South Property Line :

Requirement: Greenbelt (E): 20' wide. 1 large deciduous or evergreen tree and 8 shrubs per 30'.

Required: 1,311 LF / 30 = 43.7 = 44
44 Trees and 352 Shrubs
Provided: 78 New Trees and 300 Shrubs
40' wide greenbelt provided

28 Existing trees and surrounding brushy vegetation to remain and serve as part of the required screening. Berming in these locations would disturb the existing vegetation and is not recommended. **See Tree Tables Below

East Property Line :

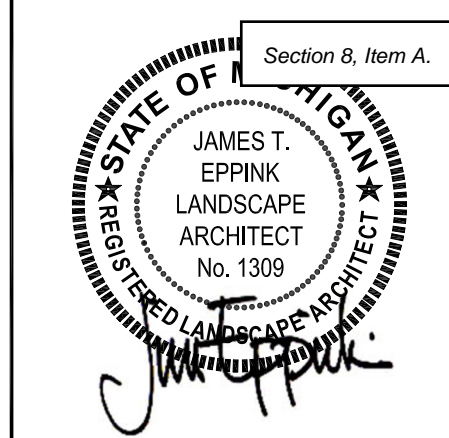
Requirement: Greenbelt (E): 20' wide. 1 large deciduous or evergreen tree and 8 shrubs per 30'.

Required: 685 lf / 30 = 22.8 = 23
23 Trees, 184 Shrubs

Provided: 20' wide greenbelt.
29 large evergreen/deciduous trees, 228 shrubs. on 3' tall 20' wide berm

West Property Line :

Requirement: No buffering is required adjacent to residentially zoned property



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Traditional Town Planning
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Auburn Hills, MI 48326
248.922.0789

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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Landscape Plan-Entrance & Screening Areas

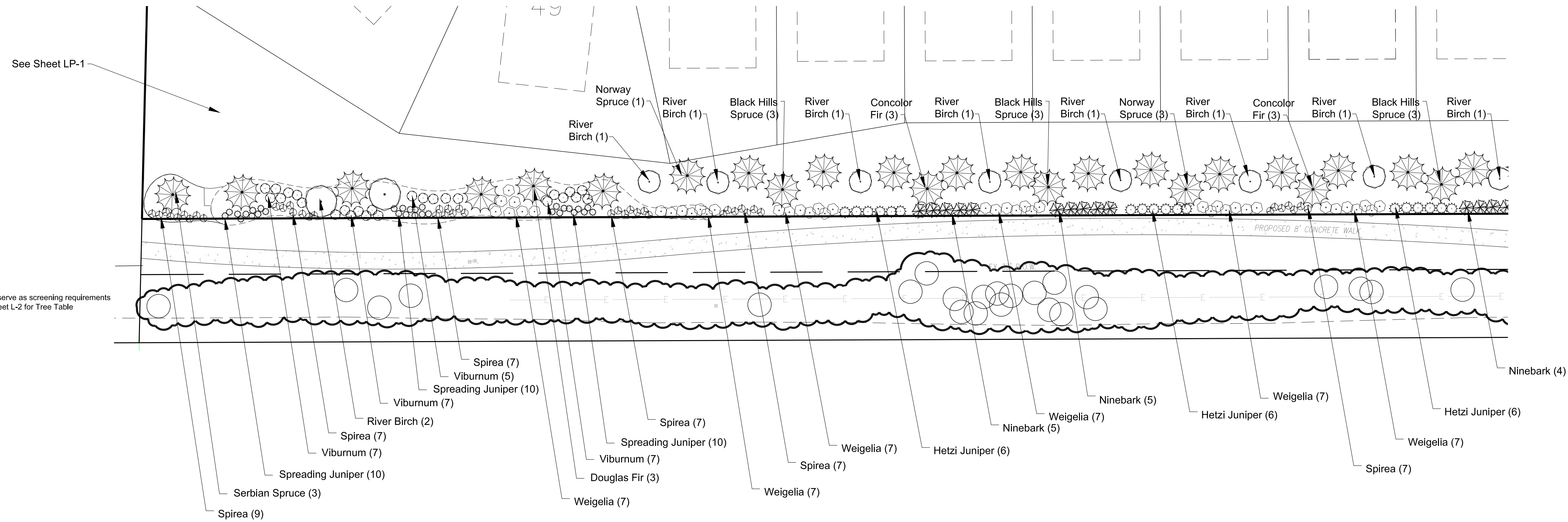
Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked By:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet
L-2

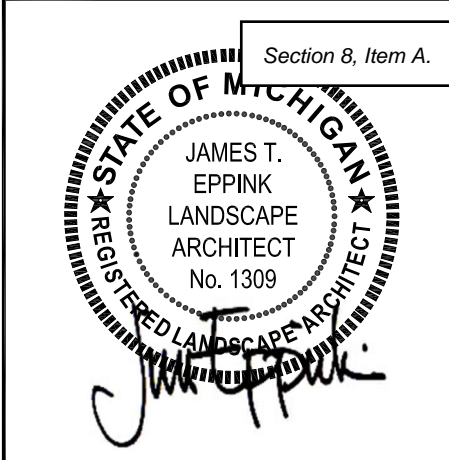
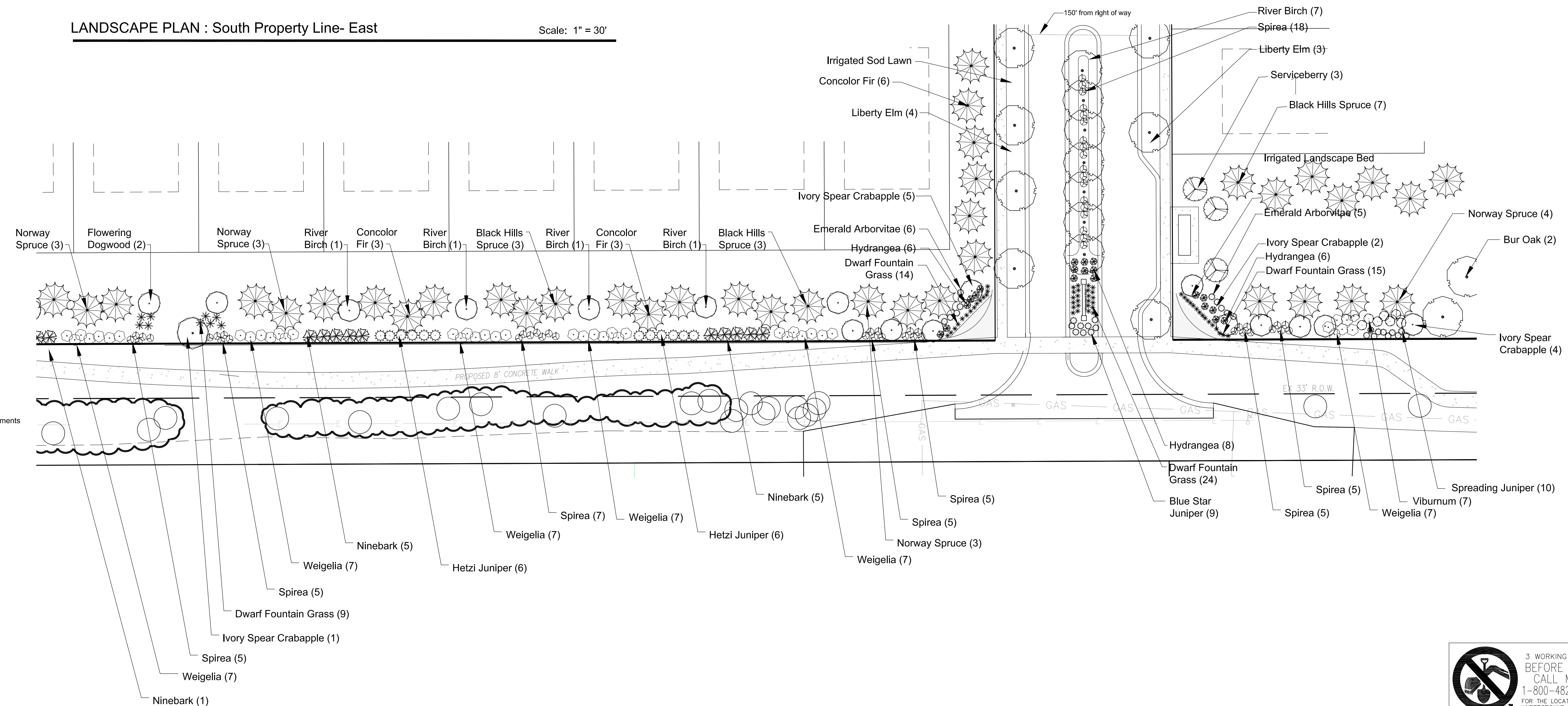
LANDSCAPE PLAN : South Property Line- West

Scale: 1" = 30'



LANDSCAPE PLAN : South Property Line- East

Scale: 1" = 30'



J EPPINK PARTNERS, INC
Urban Design Studio

Landscape Architecture
Traditional Town Planning

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Project:
Edendale Crossing

Bogle Lake Road
White Lake Township, MI

Owner:
PH Homes

8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Landscape Plan-Entrance & Screening Areas

Issues / Revisions

Per Twp Review	09-19-25
Per Twp Review	11-12-25
Updated Site Plan	12-18-25

Drawn by:
LZ

Checked By:
JTE

Date:
December 18, 2025

Scale:
As Noted

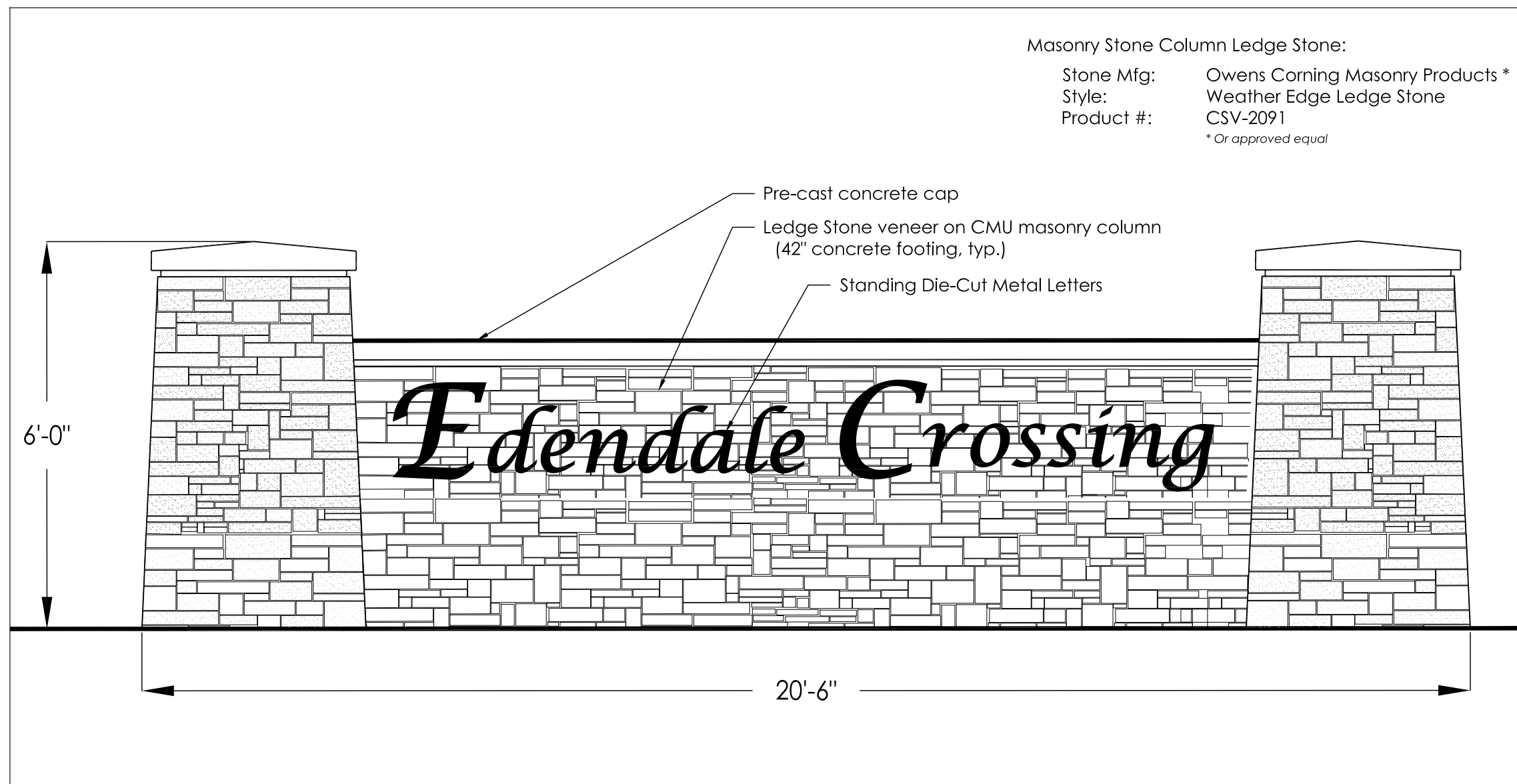
Not for Construction

Sheet:
L-3



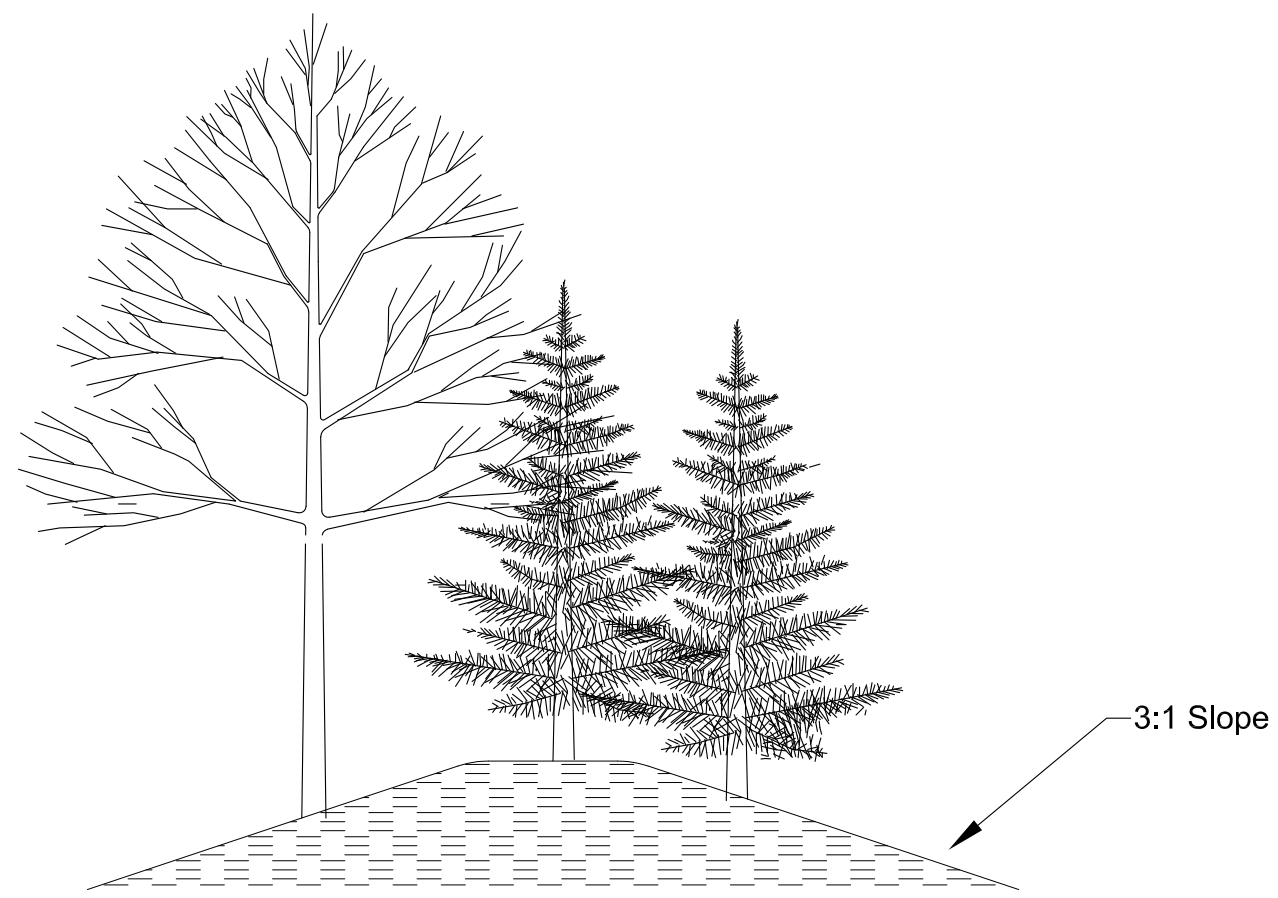
ENTRANCE MONUMENT SIGN (BOGIE LAKE ROAD & CEDAR ISLAND ROAD):

SCALE: 1" = 2'



LANDSCAPE PLAN : Berm Cross Section

Scale: Not to Scale



PLANTING LIST :

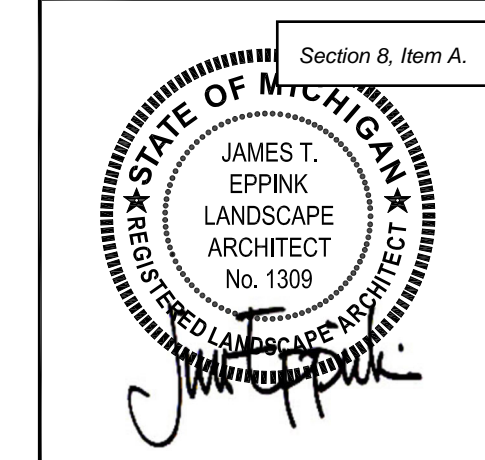
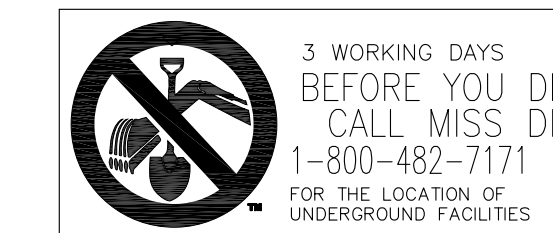
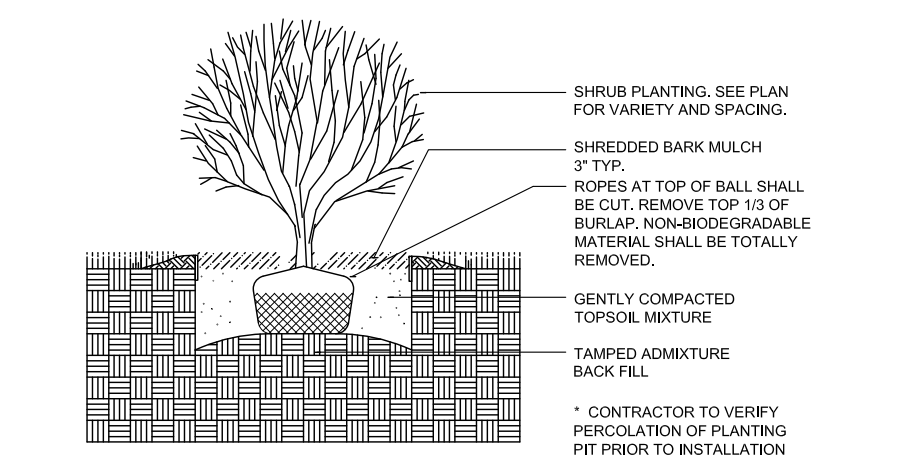
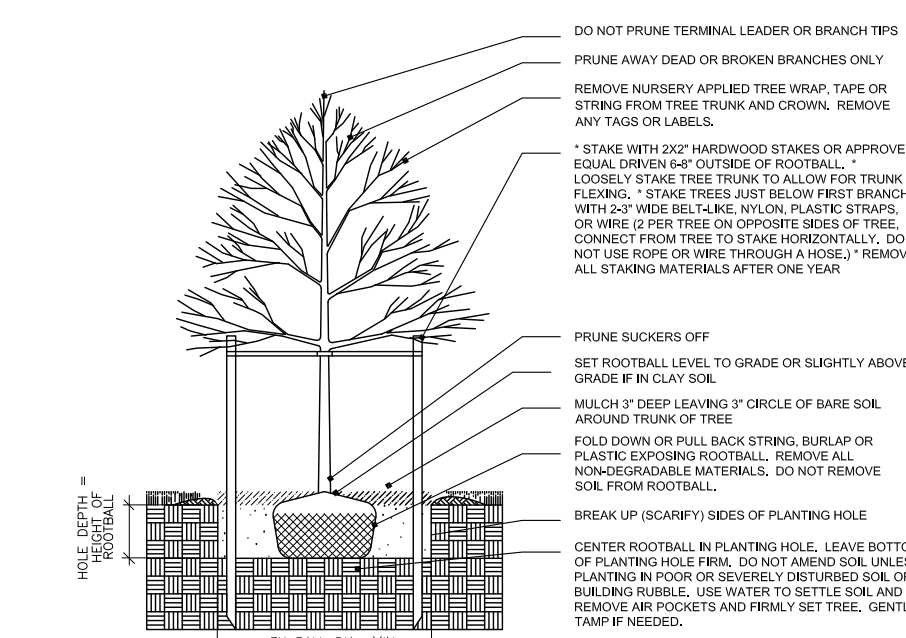
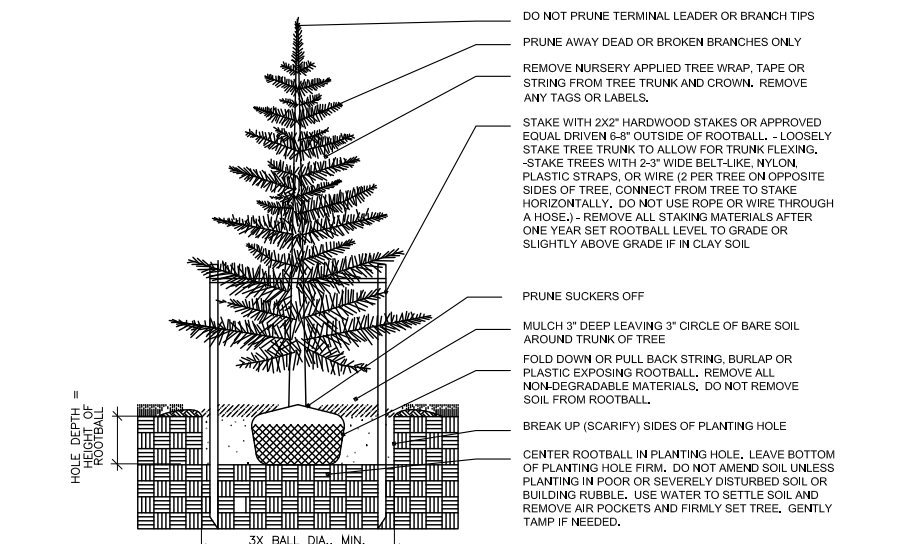
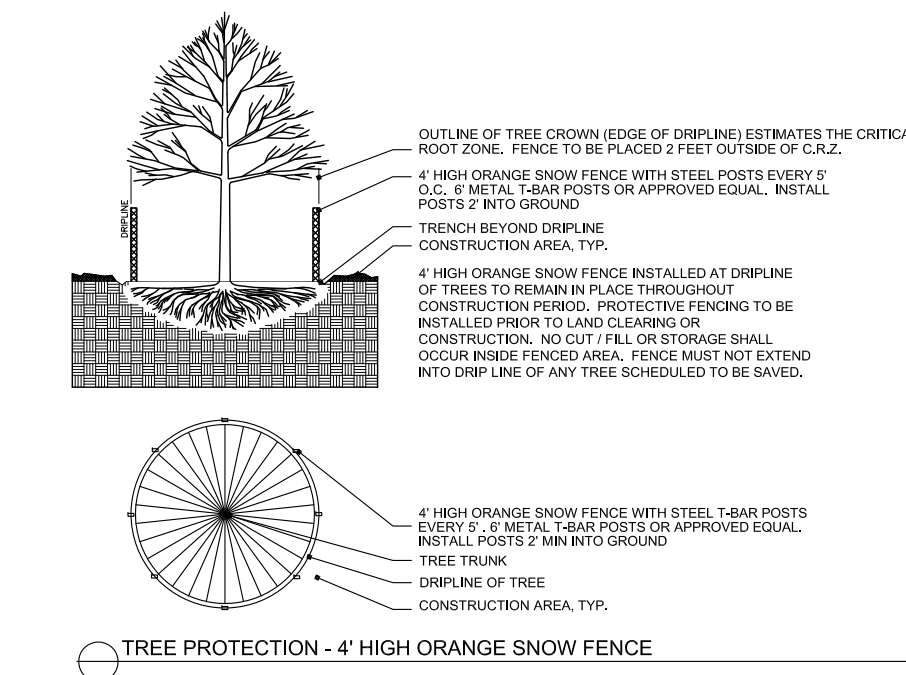
Quant	Description	Size/Root
23	Abies Concolor Concolor Fir	7' / B&B
6	Acer platanoides 'Crimson King' Crimson King Maple	2.5" / B&B
14	Acer Rubrum Red Maple 'Autumn Blaze'	2.2" / B&B
22	Acer saccharum 'JFS-KW8" Autumn Fest Maple	2.2" / B&B
5	Amalanchier arborea Serviceberry	7' / B&B
42	Betula nigra River Birch	7' / B&B
12	Cercis canadensis 'Forest Pansy' Forest Pansy Redbud	2" / B&B
2	Cornus florida Flowering dogwood	2" / B&B
18	Ginkgo biloba Ginkgo	2.5" / B&B
0	Malus 'Pink Profusion' Pink Profusion Crabapple	2" / B&B
19	Malus 'Ivory Spear' Ivory Spear Crabapple	2" / B&B
1	Platanus x acerifolia London Plane Tree	2.5" / B&B
38	Picea glauca densata Black Hills Spruce	7' / B&B
3	Pseudotsuga mensiesii Douglas Fir	7' / B&B
18	Picea omorika Serbian Spruce	7' / B&B
32	Picea abies Norway Spruce	7' / B&B
36	Tilia cordata Greenspire Linden	2.5" / B&B
12	Ulmus americana 'Princeton' Princeton Elm	2.5" / B&B
16	Ulmus americana 'American Liberty' Liberty Elm	2.5" / B&B
20	Quercus macrocarpa Bur Oak	2.5" / B&B
14	Quercus rubra Red Oak	2.5" / B&B
4	Quercus bicolor Swamp White Oak	2.5" / B&B

Shrubs		
58	Hydrangea paniculata 'Little Quickfire' Little Quickfire Hydrangea	#5 / Container
41	Phisocarpus opulifolius 'Diablo' Diablo Ninebark	#5 / Container
87	Weigelia florida 'Bokraspiwi' Spilled Wine Weigla	#2 / Container
21	Weigelia florida 'Alexandra' Wine and Roses Weiglea	#3 / Container
44	Thuja occidentalis Emerald Arborvitae	#5 / Container
150	Spiraea x bumalda Anthony Waterer Spirea	#2 / Container
77	Juniperus horizontalis Blue Rug Juniper	#3 / Container
30	Juniperus Hetzi Col. Hetzi Juniper	#5 / Container
80	Viburnum dentatum 'Ralph Senior' Autumn Jazz Viburnum	#2 / Container
14	Juniperus squamata 'Blue Star' Blue Star Juniper	#3 / Container
Perennials		
124	Pennisetum alopecuroides 'Hameln' Dwarf Fountain Grass	#2 / Container

PLANTING NOTES :

- Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities or structures.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall immediately be brought to the attention of the Owner's Representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's Representative. Failure to make such discrepancies known will result in contractor's responsibility and liability for any changes and associated costs.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish construction installation operations.
- Contractor shall provide and maintain positive surface drainage.
- Contractor shall be responsible for any existing materials that are damaged during construction.
- See Plant & Material List and Planting Details for planting requirements, materials and execution.
- All trees shall have a clay loam or clay root ball. Trees with sand root balls will not be accepted.
- All tree varieties and substitutions, or deviations to the landscape plan must be approved prior to installation. Any plant material delivered to site not previously approved may be rejected and are the sole responsibility of the contractor.
- The contractor shall "water in" and fertilize all plants immediately after planting.
- Contractor shall install 3" depth Shredded Hardwood Mulch in all shrub and tree planting beds. Peat Moss is to be installed in all perennial flower area. Such beds shall have no shredded mulch, top.
- The contractor shall guarantee and maintain all trees, shrubs, ground cover and other plant materials for two years from the date of installation, including labor and removal and disposal of dead material.
- All plant material shall be grade 1 northern nursery grown from a local source. All trees and plant material shall meet the current standards of the American Society of Nurseryman.
- Contractor shall adhere to all soil erosion prevention methods as directed by the Municipal Ordinance including maintaining silt fencing and ensuring that soil, silt and other debris is prevented from leaving site or entering area drains, sewer inlets, creeks or natural areas.
- Contractor shall protect existing irrigation system throughout construction, and shall modify the existing irrigation system as needed to ensure that all lawn and landscape areas within the project area receive irrigation coverage, and that the system operates correctly and efficiently. Contractor shall also install a rain detection and shut-off sensor onto the system.
- Trees shall not be installed closer than 4' from a property line.
- Contractor shall ensure that a 25' clear vision zone is maintained at each intersection as depicted, and must ensure that no limbs or obstructions exist between the grade and 8' above the grade within this zone.

PLANTING DETAILS :



J Eppink PARTNERS, INC
Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
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248.922.0789

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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Landscape Details & Plant List

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked by:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet:
L-4



The Stratford 4 Bedrooms



Elevation 'A'



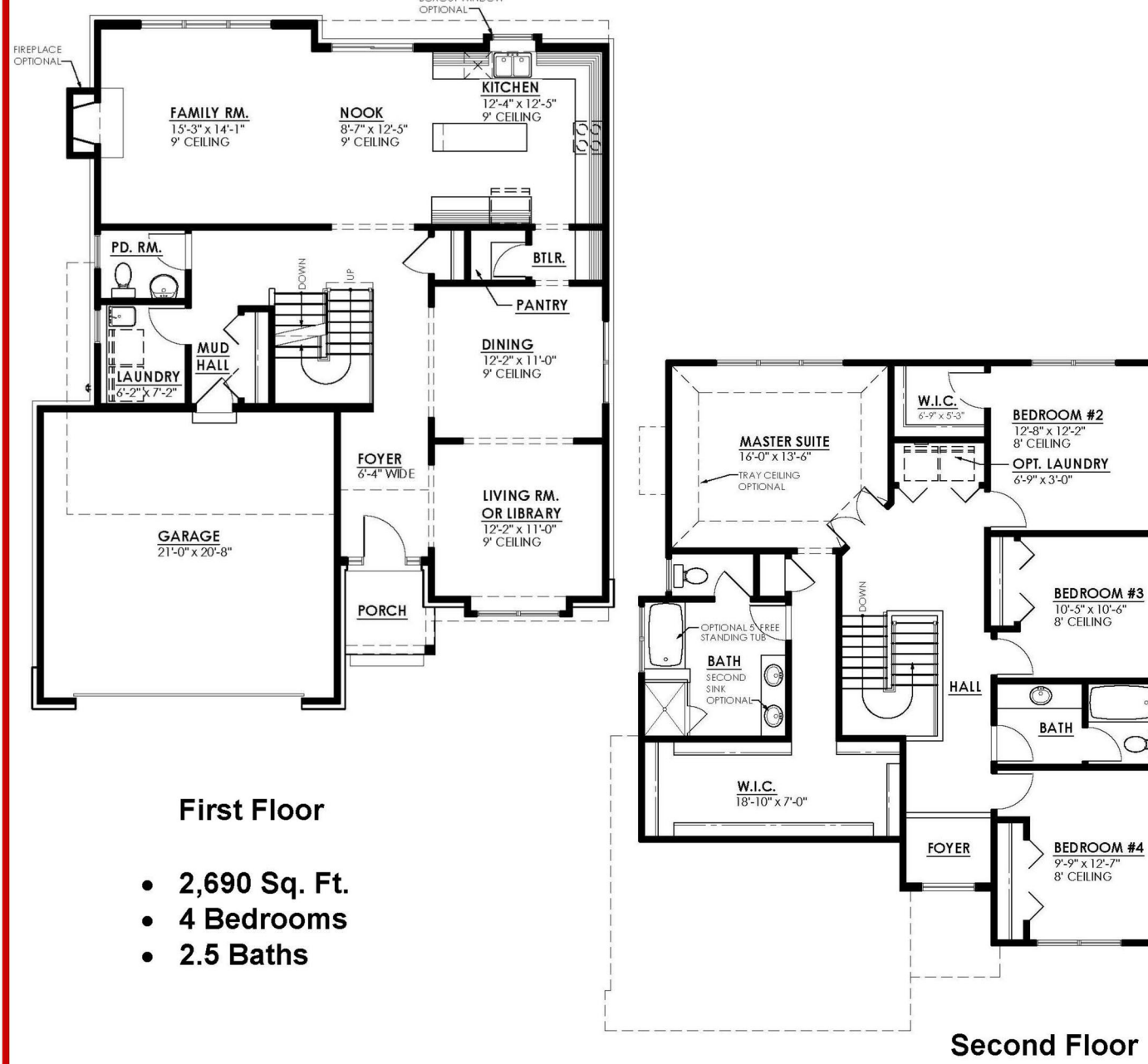
Elevation 'B'



Elevation 'C'



The Stratford 4 Bedrooms



First Floor

- 2,690 Sq. Ft.
- 4 Bedrooms
- 2.5 Baths

Second Floor

www.mypphome.com
Laura 248.390.7792

The floor plans and elevations are an artist's depiction and are meant as a guide. Renderings do not accurately depict the legal description of the property, boundaries, or dimensions. We cannot provide any guarantees that the actual elevation will not differ from the artist's depiction. The builder reserves the right to make changes in prices, materials, or specifications without notice or obligation. August 6, 2021



The Manchester 4 Bedrooms



Elevation 'A'



Elevation 'B'



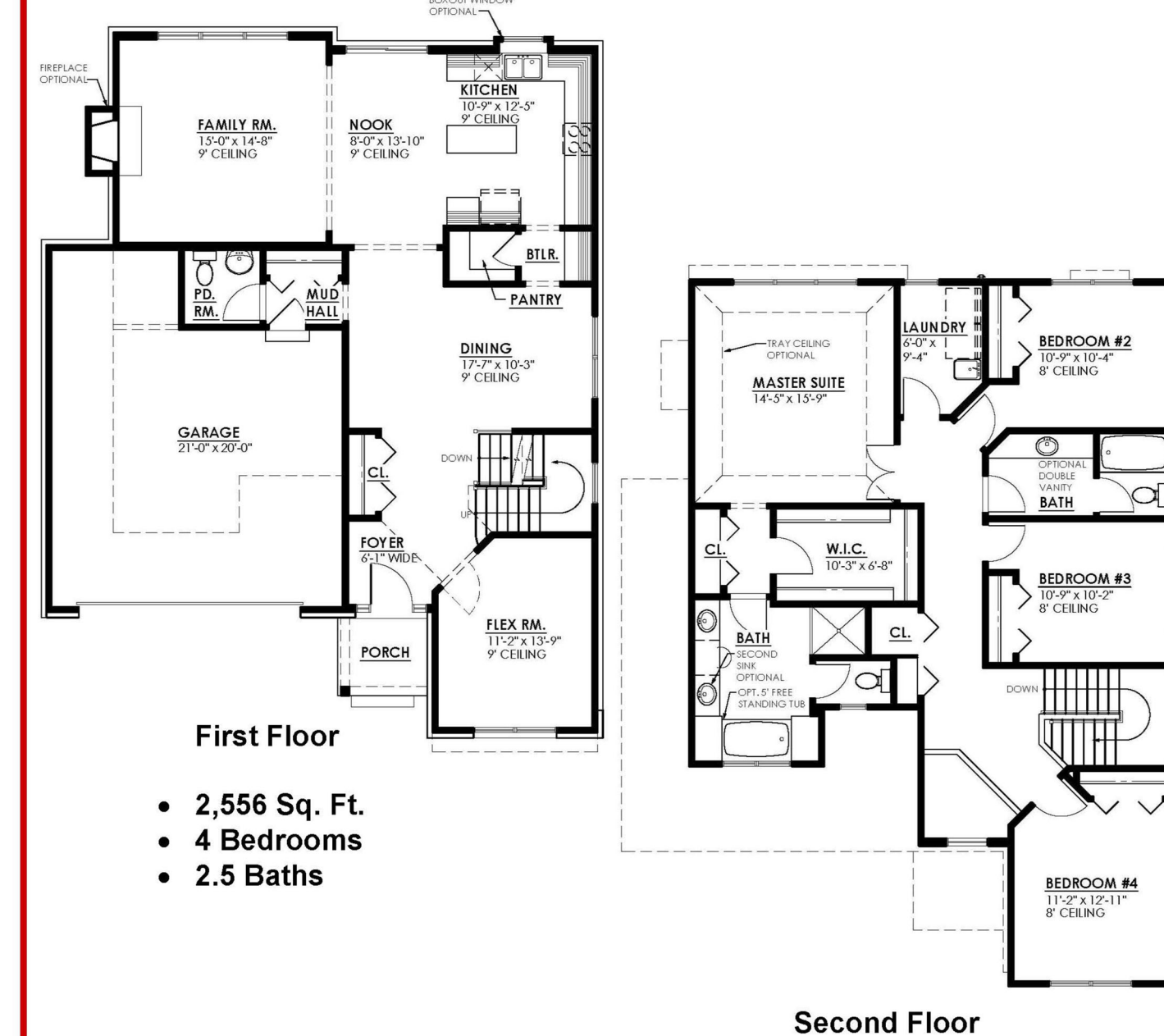
Elevation 'C'

www.mypphome.com
Laura 248.390.7792

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The Manchester 4 Bedrooms



First Floor

- 2,556 Sq. Ft.
- 4 Bedrooms
- 2.5 Baths

Second Floor

www.mypphome.com
Laura 248.390.7792

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Single Family Home: "The Stratford" Four Bedroom. 2,690 SF. 2.5 Bathrooms. Three+ elevation options

Single Family Home: "The Manchester" Four Bedroom. 2,556 SF. 2.5 Bathrooms. Three+ elevation options

Architectural Materials and Design Standards:

Exterior Color packages for Single Family Homes

Package 1	Package 2
Siding: Fieldstone Flint	Siding: Heritage Linen
Brick: Port Huron	Brick: North Hampton
Shingles: Rustic Black	Shingles: Natural Timber
Shutters: Black	Shutters: Musket Brown
Package 3	Package 4
Siding: Rich Mocha	Siding: Lakeshore Grey
Brick: Meadow	Brick: Mulberry
Shingles: Thunderstorm Grey	Shingles: Virginia Slate
Shutters: Musket Brown	Shutters: Black
Package 5	Package 6
Siding: Desert Cactus	Siding: Blue Slate
Brick: Bessemer Grey	Brick: Petoskey
Shingles: Weathered wood	Shingles: Aged Wood
Shutters: Tuxedo Grey	Shutters: Tuxedo Grey

***Trim to be either White OR match siding color, Garage doors will match trim.

Exterior Materials list for Edendale Crossing

Single Family Homes

Siding: Napco or Spiegel Grove Vinyl siding STYLE:D4.5
 COLORS: Fieldstone Flint, Heritage Linen, Rich Mocha, Lakeshore Grey, Desert Cactus

Shingle: Tamko 30 year Dimensional Shingle
 COLOR: Rustic Black, Natural Timber, Thunderstorm Grey, Virginia Slate, Aged Wood, Weathered Wood

Front Door: 2 Panel Fiberglass Door with 12" sidelights
 Garage Door: Embossed panel steel sectional garage door.
 COLOR: White or Match Trim

Brick: Triangle Brick or Forterra Brick Queen Size
 COLOR: Port Huron, North Hampton, Meadow, Mulberry, Bessemer Grey, Petoskey

Windows: Jeldwen Single hung Vinyl



The Rathmore 4 Bedrooms



Elevation 'A'



Elevation 'B'



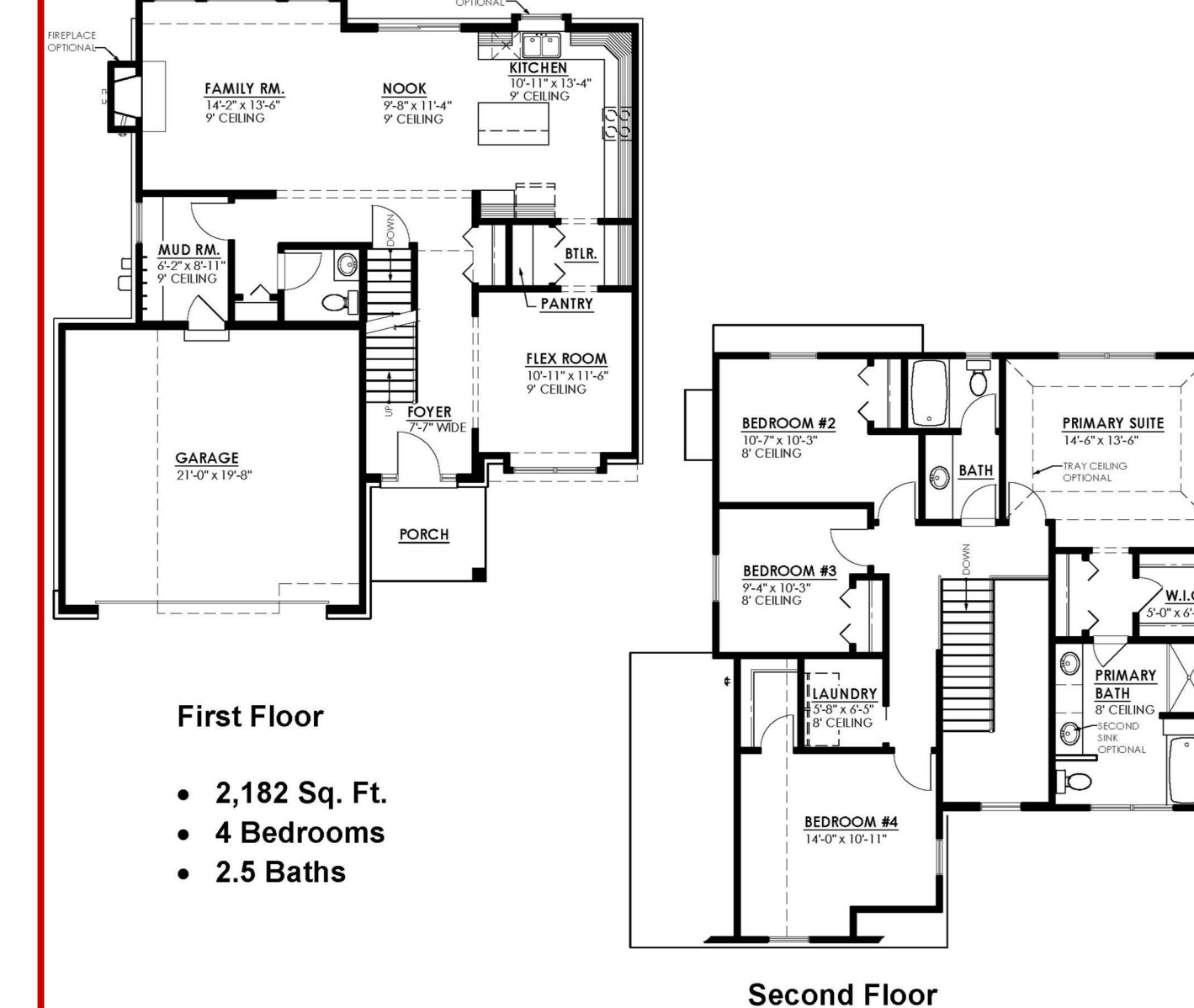
Elevation 'C'

www.mypphome.com
Laura 248.390.7792

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The Rathmore 4 Bedrooms



First Floor

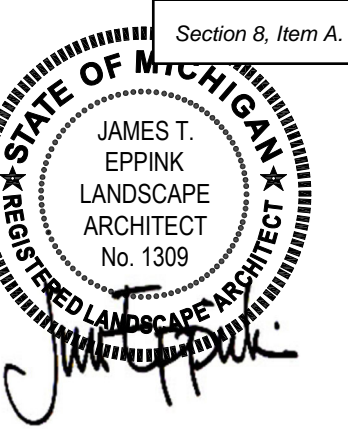
- 2,182 Sq. Ft.
- 4 Bedrooms
- 2.5 Baths

Second Floor

www.mypphome.com
Laura 248.390.7792

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Single Family Home: "The Rathmore" Four Bedroom. 2,182 SF. 2.5 Bathrooms. Three+ elevation options



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248.922.0789

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Edendale Crossing

Bogie Lake Road
White Lake Township, MI

PH Homes

8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Preliminary Architecture

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25

Drawn by: LZ
Checked by: JTE

Date: September 19, 2025

Scale: As Noted

Not for Construction

Sheet: A-1

Edendale Crossing

A Proposed Residential Neighborhood
White Lake Township, Michigan

Project Applicant / Developer:

PH Communities, LLC

8255 Cascade Ave, Suite 110
Commerce Twp, MI 48382
248-242-6838
Attn: Craig Piasecki
craigp@myphhome.com

Development Team Consultants:

Civil Engineer & Surveyor:

Kieft Engineering, Inc.

Patrick McWilliams
5852 South Main Street, Ste 1
Clarkston, MI 48346
248-625-5251
pmcwilliams@kiefteng.com

**Planning & Landscape
Architecture:**

J Eppink Partners, Inc.

Jim Eppink
27 S. Squirrel Rd, Ste 104
Auburn Hills, MI 48326
248-922-0789
jim@jeppink.com

Site Data:

Parcel Size:

45.47 - acres

Location:

Northwest corner Bogie Lake
Road & Cedar Island Road,
within Section 29 of White Lake
Township, MI

Existing Zoning:

AG – Agricultural &
R1-A – Single-Family
Residential

Proposed Zoning:

PD – Planned Development
Residential Single Family
Site Condominium

Proposed Uses:

120 Single Family Homes

Community Impact Statement

Edendale Crossing is a proposed single-family residential community to be located on west side of Bogie Lake Road, north of Cedar Island Road, in Section 29 of White Lake Township, Michigan. The 45.47-acre site is a combination of nine adjacent parcels. PH Homes proposes to rezone the parcels from AG & R1-A to PD (Planned Development). The details of the proposed development are depicted within the attached site plan submission documents.

The new neighborhood will feature **120 new single-family homes** that will front a series of private roads and open space areas. The neighborhood will have entrances onto both Bogie Lake Road and Cedar Island Road and be connected internally with sidewalks and walking trails. Key features of the neighborhood include the preservation of a mature tree-row that runs north and south at the center of the property, the **preservation of more than 27% open space** with active recreational opportunities, as well as an extension of the sidewalk system beyond the neighborhood and leading to the nearby Lakewood Elementary School and Lakeland High School at Bogie Lake Road.

As a condition of the Planned Development site plan process, the nine existing parcels will be combined into one parcel, and the Edendale Crossing neighborhood will be constructed as two phases (see the “Site Plan” sheet 3)

Considerations:

- Attached Multi-Family Alternatives:** PH Homes explored incorporating attached multi-family homes into the development, however after hearing from area residents, members of the Planning Commission, discussions with multiple real estate professionals, analysis of the White Lake Township housing market, it was determined that neither for-sale or for-lease multi-family residential would do well, or be supported at this site. Real estate professionals and analysis of the market confirmed that this area of the Township is best suited for single-family residential homes. White Lake Township, and surrounding areas are experiencing high demand for new, attainably priced, for-sale, single-family homes, and we believe the homes at Edendale Crossing will be successful and help to meet that demand.
- Lot Size:** PH Homes has increased its proposed lot size from 60’ wide to 62’ wide, now matching lot sizes approved at the Trailside Meadow development. The Edendale Crossing lots are larger than the Trailside lots (62’x125’ vs 62’x120’) and the Edendale front yard is larger (25’ vs 20’) than Trailside. Edendale’s side yard setback of 10’ + 10’ and rear yard setback of 30’ match the R1-D standard as well those approved at Trailside Meadow.

3. **Master Plan Analysis:** PH Homes has further reviewed the objectives and standards of the White Lake Township and believe that Edendale Crossing delivers on the goals, objectives, and standards set forth in the recently updated Master Plan. The Master Plan identify this location as one of three “Key Development Opportunities” within the Township.
- a. **Proposed Land Use:** The Master Plan identifies this, and most of the surrounding areas in this portion of the Township as “Neighborhood Residential” on its Future Land Use map. “Neighborhood Residential envisions infill development that maintains existing neighborhoods and provides for denser residential in places where there is infrastructure to support the density that is ‘within the context’ of surrounding neighborhoods.
 - b. **Supporting Infrastructure:** Edendale Crossing proposes to extend the Sanitary Sewer force main nearly a mile from the south, meeting the goals of the Master Plan towards the expansion of utility infrastructure throughout the community. The extension of the sanitary sewer will be funded by PH Homes, and in addition to serving the homes within Edendale Crossing, **it becomes a community benefit because it will be available to serve existing homes along Bogie Lake Road as well as future development to the north.** Additionally, Edendale will improve Bogie Lake Road and a section of Cedar Island Road including widening, paving, and adding crosswalks and sidewalks, **as directed by the Road Commission of Oakland County.**
 - c. **Proposed Density:** The Master Plan specifically calls for a density between 2-8 dwelling units per acre at this location. The Master Plan goes on to identify R1-D as a zoning classification which may be consider as a starting point for this location. R1-D allows 3-units per acre and a parallel plan included in the submission demonstrates that the site can support 109 R1-D lots, however, the R1-D plan would not be required to provide any open space, natural feature preservation, or other neighborhood or community amenities. **Edendale Crossing proposes a density of 3.3 homes per acre by adding only 11 additional homes more than the parallel plan (120 total homes proposed), and provides more than 27% open space,** natural vegetation preservation, trails, and walks. These community features are specifically called out in the Master Plan goals and objectives as desired attributes in the Township and needed in this area.
 - d. **“Within the Context.”** The Master Plan states that proposed development should be “within the context” of surrounding existing development. The Master Plan does not define “*within the context*” to be “exactly like” surrounding development, but within the context or generally similar to. Edendale Crossing is certainly within the context of surrounding development and within the plans outlined in the Master Plan. The Master Plan, in its analysis identified not only this property this property, but most of the surrounding neighborhoods, as Neighborhood Residential. It also designated that Neighborhood Residential could appropriately have a density of between 2-8 units per acre, and in fact R1-D zoning should be a comparative zoning classification for this location. Edendale Crossing proposes, **only 11 more single-family homes than R1-D zoning would provide and only 3.3 units per acre, which is on the very low end of the anticipated 2-8 units per acre permitted within Neighborhood Residential Zoning.** The Master Plan therefore deemed that single-family homes, within the prescribed 2–8-unit density range, and certainly at the low end of that range, are “within the context” of surrounding residential as envisioned within the newly adopted Master Plan.
 - e. **Meeting Additional Goals of the Master Plan – Single Family Housing:** The Master Plan identifies that there is great demand for housing within White Lake Township. It specifically noted that, although there is a long-term goal of providing greater housing diversity, the Master Plan acknowledges that most respondents are not seeking diverse housing typologies. In fact, the Master Plan identified that only 6% of White Lake Township residents indicated that they would seek multi-family housing in the future, whereas more than 80% of the respondents indicated that they would

seek single-family housing options. This comports with PH Homes' market analysis and that of local real estate advisors that single-family housing is in demand and appropriate for this site.

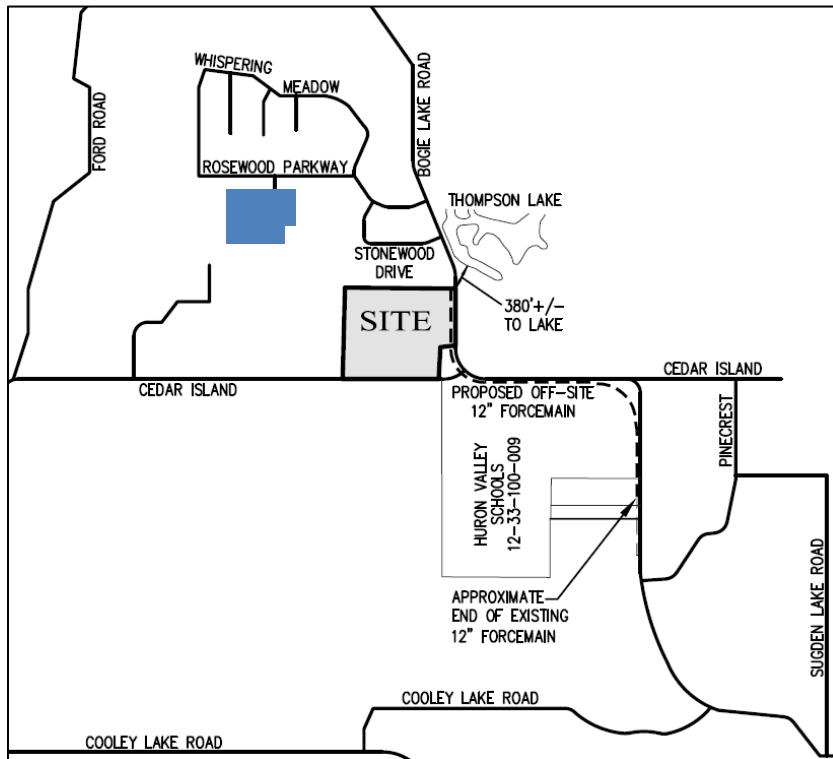
- f. **Meeting Additional Goals of the Master Plan – Maintain Small Town Character:** Edendale Crossing promotes “small town character” through the development of appropriately sized home sites with an emphasis on preservation of natural vegetation and open space as well as walkability within the neighborhood and to nearby destinations like the schools.
4. **Rural Frontage at the exterior Roads.** Edendale Crossing is designed to maintain maximum rural character and buffering along its exterior roads. **The two homes at either side of the Bogie Lake entrance far exceed the required setback of 40'. Each home will be more than 80' from the Bogie Lake right-of-way (70'+ from the lot line). Significant landscape plantings are proposed adjacent to each home and along the entire Bogie Lake Frontage.** The balance of the homes along Bogie Lake are more than 285' setback from the road and are buffered by the detention basin and dense landscape planting along Bogie Lake, thereby maintaining a green and buffered frontage. **The homes backing to Cedar Island have been shifted further north than in the previous plan. The rear lot line is now 45' from the right-of-way and the rear of the homes will be more than 105' to the edge of the road.** More than two dozen additional evergreens and deciduous trees have been added to the Cedar Island landscape buffering and existing trees and vegetation that will remain, maintaining the natural, green Cedar Island appearance.
 5. **Bogie Lake and Cedar Island Road:** The Road Commission of Oakland County (RCOC) has completed a preliminary review and provided directional feedback to PH Homes. Kieft Engineering has incorporated that feedback into the submitted plans. They include:
 - a. Adding a continuous center turn lane into Bogie Lake Road beginning south of our entrance and continuing north of the existing Thompson Lane entrance. This combination of lane widening and addition of a continuous center turn provide safe turning movements from our proposed entrance as well as into Thompson Lane and existing homes and individual driveways along Bogie Lake.
 - b. Adding acell and decell lanes at our Bogie Lake Road entrance
 - c. RCOC validated that proposed location of the Cedar Island entrance stating that it was appropriately positioned between the two roads on the south side of Cedar Island. They further validated our planned paving of Cedar Island to our entrance.
 - d. RCOC directed us to relocate our proposed sidewalk extension to the schools and have the crosswalk crossing at the intersection of Bogie Lake and Cedar Island rather than our earlier location mid-block on Cedar Island.
 - e. RCOC reviewed and validated our proposed curb-cut locations in relationship to adjacent curb-cuts, opposing road, the posted speed limits, and view distances at Bogie Lake and Cedar Island.
 6. **Community Benefits:** PH Homes is proud of the Community Benefits Edendale Crossing will bring to its future residents and to the entire White Lake Township community. They include:
 - a. **Road Improvements** that will benefit increase safety and ease turning movements for existing residents, Thompson Lane, and school bound traffic through the widening of the road to provide a consistent center turn lane as suggested by RCOC.
 - b. **The 1-mile extension of the Sanitary force main** that delivers on the goals of the Master Plan through the expansion of infrastructure and enabling connection to existing residents along the route as well as future expansion north along Bogie Lake Road.
 - c. **Preservation of Natural Features** including the preservation of existing regulated trees, hedge rows, and significant non-regulated trees and vegetation. This provides open space within the

neighborhood, but more importantly maintains regional green corridors and tree canopy for animal habitat, bird migration, and general greening of White Lake Township.

- d. **Pavement extension of Cedar Island Road** so that Cedar Island will now be paved from Bogie Lake Road to west of the proposed Edendale entrance.
- e. **Sidewalk Connections to Lakeland Schools.** Installation of sidewalks along the entire Bogie Lake Road and Cedar Island Road frontages including the extension of those sidewalks to the Bogie Lake / Cedar Island intersection and further south onto the school property to the existing parking lot for connection into the school campus that will allow greater walkability within the township and safe access to school for White Lake Township students.

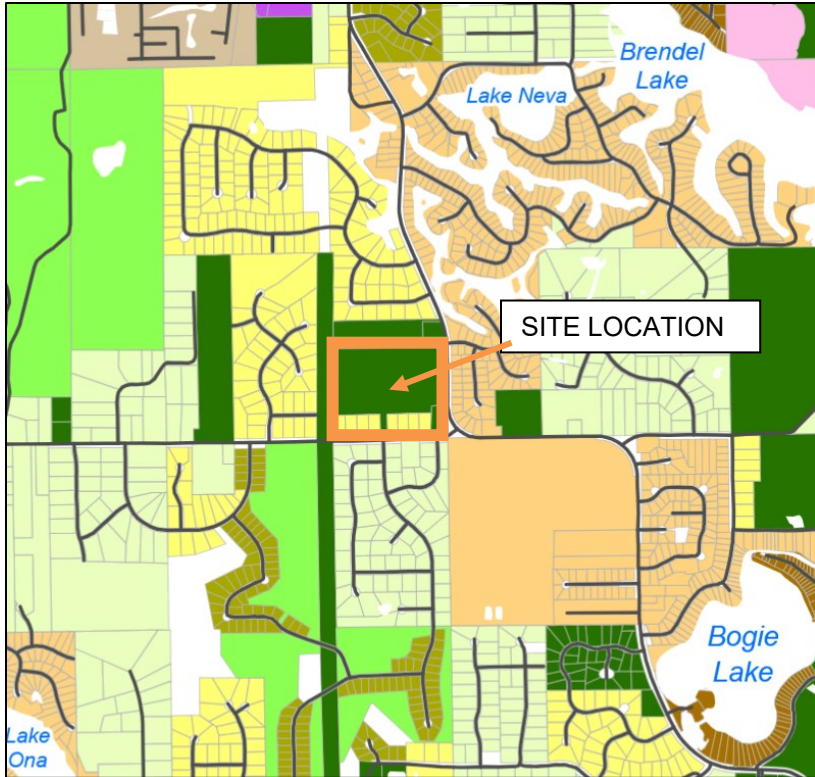
Community Impact Statement and project information:

In accordance with Section 6.6 of the White Lake Township Zoning Ordinance, we are providing the following information related to how Edendale Crossing will integrate with public utilities, public services, traffic, the economy, environmental conditions, and adjacent land uses. Additional information is provided related to the Planned Development process and compliance with the Township’s Zoning Ordinance and Master Plan.



Location Map:

Edendale Crossing is located west of Bogie Lake Road and north of Cedar Island Road in Section 29 of White Lake Township. Lakeland Elementary School and Lakeland High School are located to the immediate southeast.



White Lake Township Zoning Map:

Edendale Crossing is zoned R1-A & AG. The northern 34.76 acres are currently zoned AG, Agricultural. Eight Individual southern parcels fronting Cedar Island Road, totaling 10.71 acres, are currently zoned R1-A single-family. As part of the Planned Development process, the applicant will combine the nine parcels into a single parcel.



White Lake Township Master Plan & Future Land Use Map:

The Edendale Crossing site is identified as a “Key Development Opportunity” within White Lake Twp Master Plan. The Master Plan specifically calls for the Edendale Crossing property to be a Redevelopment Site focused on “Neighborhood Residential” which “provides a denser residential development” and may include uses such as “small-lot single-family homes, duplexes, or multi-family homes...”

Planned Development Process:

The Township Master Plan states that parcels, such as this, that are identified as “Neighborhood Residential” areas, should be developed using R1-C, R1-D, RM-1, RM-2, or Planned Development (PD) standards to “*maintain existing neighborhoods and provide for denser residential development in places where there is infrastructure to support the density and ensuring density is within the context of the surrounding neighborhoods*”. The Township Zoning Ordinance allows the Planned Development process to be used within the above noted zoning districts. PH Homes is requesting PD approval for this site and has provided supporting detail within the accompanying Site Plan submission documents and reports.

Compatibility with the White Lake Township Master Plan:

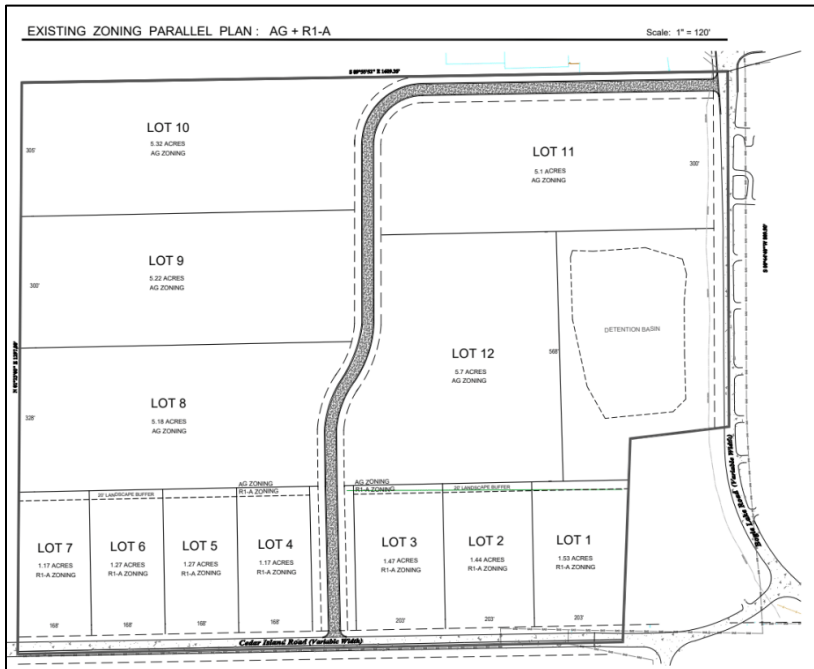
Edendale Crossing is consistent with the goals and objectives of the White Lake Township Master Plan and Future Land Use Map which identifies this location as a Development Opportunity Zone and specifically calls for the Cedar Island Road & Bogie Lake Road property to be a Redevelopment Site focused on Traditional Single-Family residential homes with areas reserved for active and passive activities.

The Master Plan identifies the housing shortage in White Lake Township and specifically the demand for moderately priced homes. With the understanding that large lots inherently result in higher priced new homes because of the proportionally longer lot width and therefore higher cost of road and utility improvements for large lot homes, the Master Plan specifically calls for more dense developments in this area with permitted densities ranging from 2 – 8 units per acre. Edendale Crossing proposes only **3.3 homes per acre** which is on the low side of the permitted density in the Neighborhood Residential district. The village sized lots (**62' x 125' minimum**) are reminiscent of small-town mid-Michigan and provide less maintenance and upkeep for busy families and retired seniors in the community.

Edendale Crossing specifically meets the stated goals in the Master Plan including (1) the preservation of existing trees, woodlots, and natural features, (2) the creation of open space for active and passive recreation, (3) pedestrian connections to schools and off-site connections, (4) provides large setbacks, water features, and landscape at Bogie Lake Road to preserve the rural character, (5) the creation of new housing opportunities in the Township, and (6) the extension and improvement of community services such as utilities and road improvements.

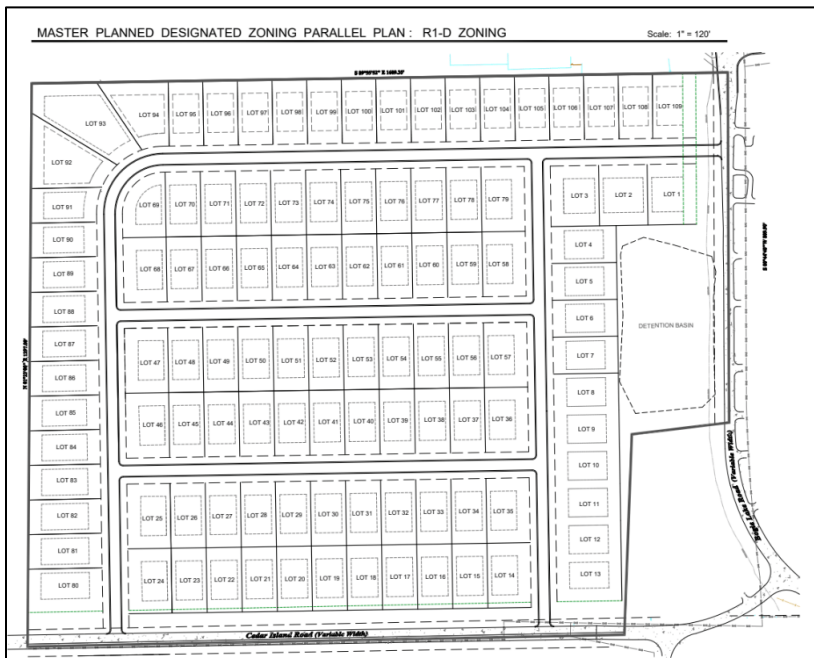
Parallel Plans:

Two parallel plans are included in the site plan documents.



AG + R1-A Parallel Plan:

The first Parallel Plan assumes development under the existing AG and R1-A zoning and achieves twelve total units that meet the applicable zoning standards.

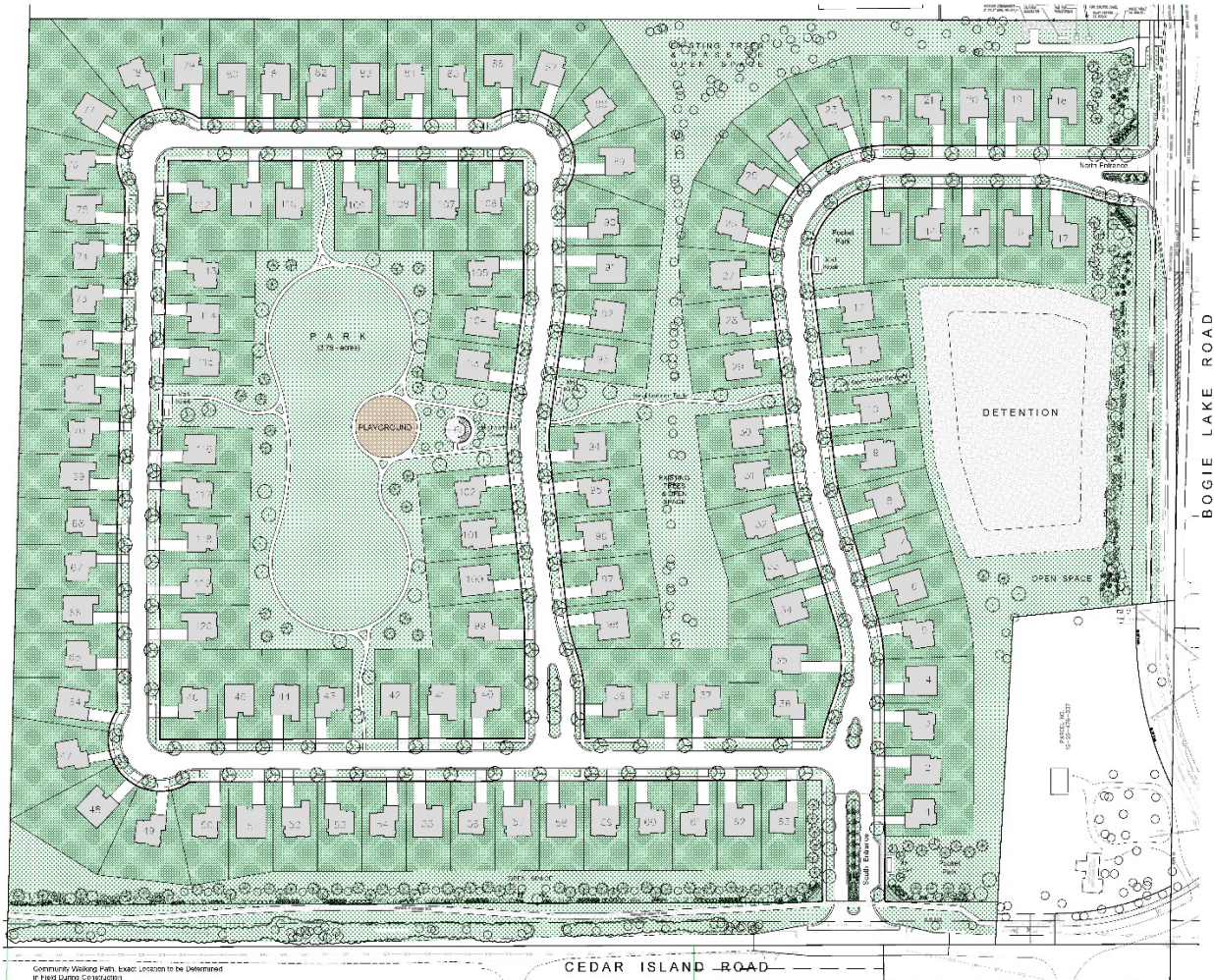


R1-D Parallel Plan:

The second Parallel Plan assumes development under R1-D zoning, which is identified as a preferred zoning standard for the Neighborhood Residential classification in the Master Plan. The R1-D parallel plan achieves 109 total units that meet the R1-D zoning standards, but it does not preserve natural features, provide open space or off-site amenities such as pedestrian connections to the schools, nor does it extend the sanitary force main from the south, as would be permitted in straight R1-D zoning.

The proposed Edendale Crossing PD site plan proposes 11 additional home sites (120 total residences) than the R1-D parallel plan, and preserves natural features throughout the site, provides greater than 27% open space, expands the pedestrian systems and connections to the schools, and extends the sanitary force main nearly a mile from south of the high school. The Edendale Crossing PD site plan, while similar in density and residential use to the R1-D parallel plan, is far superior to the R1-D plan because of its additional neighborhood features and amenities, extension of the sanitary sewer, Cedar Island road improvement, connections to the pedestrian systems, and ability to provide village size lots and therefore more moderately priced homes.

Edendale Crossing – description of the proposed neighborhood:



PH Homes proposes to develop 120 single-family residences within the 45.47-acre Edendale Crossing neighborhood, equaling 3.3 residences per net-acre density. The neighborhood will maintain 27% open space within the neighborhood, a significant preservation of existing trees and natural features on site, beautiful residential architecture, and construction materials, and have connected sidewalks and trails throughout.

Specific elements of the PD Site Plan include:

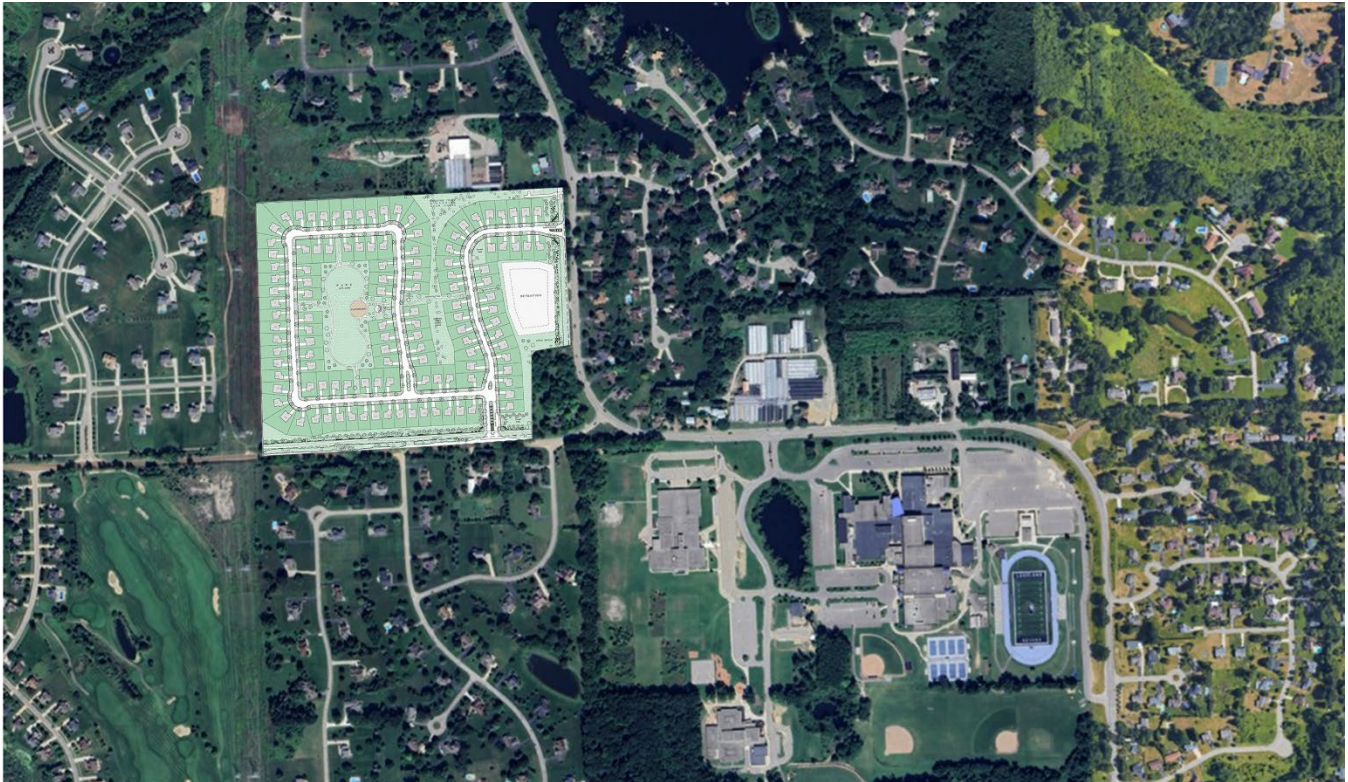
- Phasing: The neighborhood will be developed as a two-phase project
- Roads: 28' wide private roads will be constructed within a 60' wide private road easement
- Architecture: Renderings, floor plans, and high-end building materials are included. Homes sizes will range from approximately 2,180 sf – 2,690 sf. Homes will have 2-car garages and will park a minimum of two cars on the driveway.
- Walks: Sidewalks will be located on both sides of the roads and walking trails will connect the open spaces. Real estate data shows that walking trails adjacent to homes are desirable and considered a premium feature for buyers. Twenty percent of the proposed homes within the neighborhood will be adjacent to rear or side yard trails (80% will not have adjacent trails)

- **Connection:** The sidewalk system is proposed to cross Cedar Island Road, implementing ‘Safe Routes to School’ standards and connect to Lakeland Elementary School property.
- **Open Space:** Edendale Crossing will preserve 27% open space throughout the neighborhood which will include the creation of a 3.75-acre neighborhood park, the preservation of natural trees and habitat within the middle portion of the site as well as along Bogie Lake & Cedar Island Road. Passive and active recreational opportunities are available within the playground, community gathering area, playing fields, walking trails, neighborhood parks, and open play areas.
- **Utilities:** The neighborhood will be served by water from the existing 12” watermain at Bogie Lake
- **Road.** PH Homes proposes extending the Sanitary Force Main line 5,066’ north along Bogie Lake Road from its current termination point south of the high school to the northeast corner of the Edendale site. Sufficient capacity exists within the system to enable further extension to go north if needed in the future.
- **Improvements:** PH Homes proposes to improve and pave approximately 700 lin.ft. of Cedar Island Road from Bogie Lake Road to the proposed neighborhood entrance. Additionally new 8’ wide safety paths will be extended the length of Cedar Island Road and Bogie Lake Rd

Planned Development District Standards:

Planned Development	R1-D Parallel Plan	Proposed PD	Deviation
Building Setbacks			
Front	30’	25’	5’
Side	10’ + 10’	10’ + 10’	0
Rear	30’	30’	0
Wetland	N/A	N/A	N/A
Unit Lot Standards			
Min Lot Area	12,000 sf	7,500 sf	4,500 sf
Min Lot Width	80’	62’	18’
Min Lot Coverage	30%	38%	8%
Depth to Width	2 : 1	2: 1	0
Development Setbacks			
Front	40’	45’ min.	N/A
Side	25’ + 25’	0’	-25’
Rear	Determined	Determined	N/A
Wetland	N/A	N/A	N/A
Lot Standards			
Min Lot Area	10 acres	45.47 acres	0
Min Lot Width	TBD	809.9’	TBD
Min Lot Coverage	TBD	TBD	TBD
Depth to Width	4 : 1	1 : 1	0
Building Height			
	30’ of 2 stories	30’ or 2 stories	0
Floor Area			
Two Story	1,500 sf w/ 900 sf first floor	2,180 sf w/ 1,100 sf first floor	0

Edendale Crossing Area Setting Plan:



Rezoning Criteria:

1. **Consistency with the Township's Master Plan:**
 - a. As discussed above, Edendale Crossing is consistent with the goals and objectives of the White Lake Township Master Plan and its Future Land Use Map. The site is identified as a residential Development Opportunity Zone and envisions a residential neighborhood with a density between 2 – 8 dwelling units per acre. We are offering single-family homes with **3.3 residences per net acre density**.
2. **Consistency with the site's physical, geographical, and hydrological features of the site:**
 - a. The site is currently undeveloped with a former agricultural use. There are no wetlands or significant natural features on site other than existing trees and vegetation areas, most of which will remain. A stormwater detention basin will be located along Bogie Lake Road to provide a setback and landscape buffer to the road.
3. **Evidence the applicant cannot make a reasonable return on investment through the development under existing zoning:**
 - a. Rezoning AG land is required to develop residential neighborhoods consistent with the Master Plan and Future Land Use Plan. Using the PD option allows creative design techniques that preserve natural features and create open space, while the **proposed 120 residences** enable the costly extension of the sanitary force main to the northern end of the site.

4. **Compatibility of the proposed use with surrounding uses and zoning districts:**
 - a. The Master Plan has designated this area to be a “more dense neighborhood residential area.” Edendale Crossing provides a high-quality neighborhood, compatible with nearby single-family neighborhoods. Neighborhoods immediate adjacent are buffered by an ITC corridor to the west and a commercial nursery and cell phone tower to the north, thereby providing separation from existing uses.

5. **Capacity of Twp utilities and services sufficient to accomidate the proposed uses:**
 - a. Edendale Crossing will not strain or place undue hardship on Township services, which are discussed in future sections of this report. Additionally, this project will extend the sanitary force main one mile, expanding the availability of sanitary sewer to the north.

6. **Capability of the street system to safely and efficiently accomidate the expected traffic:**
 - a. A detailed traffic Impact Study was completed by Fleis & Vandenbrink and has been submitted to the Twp for review. **Additionally, the Road Commission of Oakland County (RCOC) has reviewed the plans and has provided design and location feedback that they will require. Those elements include the creation of a center turn lane on Bogie Lake that begins south of the proposed entrance and extends north of Tompson Lane as a means of providing safer travel for existing residents on Bogie Lake and the High School. Additional improvements have been added to the attached plans per the RCOC.**

7. **Apparent demand form proposed single-family homes:**
 - a. There is a strong demand for housing in the Township and surrounding areas. The Master Plan has identified this and calls for denser housing developments. PH Homes has built many homes in White Lake Township over the last several decades and estimates a 2.5% - 5% growth in the demand for new and replacement homes in the Township over the next several years.

8. **The boundaries of the rezoning parcel are reasonable and can accomidate dimensional regulations:**
 - a. The use of the PD distrct is reasonable for the site to achieve the goals of the Master Plan. The proposed site plan provides all exterior boundary dimensional standards.

9. **The requested zoning district is more appropriate from the Township's perspective:**
 - a. The rezoning of the property is consistent with the uses promoted in the Master Plan and the proposed density is less than half of the density envisioned within the Master Plan.

10. **Is the rezoning to PD more appropriate than other zoning options:**
 - a. Yes, the PD is consistent with the Zoning Ordinance and Master Plan.

11. **Will the rezoning create an isolated spot zone:**
 - a. No, this will not create spot zoning. The area is predominantly single-family residential, and this will add to the fabric and character of White Lake Township.

12. **Has project been previously submitted within the past year?**
 - a. **Yes, a previous version of the plan was submitted for preliminary site plan recommendation to the Planning Commission. The Planning Commission voted positively to change the zoning to PD but voted not to recommend the previous plan for preliminary site plan approval. This application is**

seeking reconsideration of that motion based on the significant modifications made to the plan and submitted here.

13. ***This is not proposed as a Conditional Rezoning application.***

Impact on Adjacent Uses:

Edendale Crossing is adjacent to similar existing residential land uses including SF (Suburban Farm) to the south, R1-A (Single Family) to the west, and R1-C (Single Family) to the east. The proposed Edendale Crossing homes are compatible with all adjacent land uses and neighborhoods and will fit well into the community. Edendale Crossing will be compliant with all Township ordinances standards beginning with the construction phase and then well after the homes are complete. Edendale Crossing will not exceed the Township's regulated noise levels, nor will it generate any smoke, dust, or other irritants beyond a typical residential neighborhood.

Community Facilities and Services:

Estimated demand for Police, Fire, and Public Safety Services:

The 120 new homes within Edendale Crossing will add approximately 324 residents (average of 2.7 residents per home) or less than 1% to the Township's current population of more than 32,000 people. This small number of new residents in the Township will add a proportionately small additional demand to the Police and Fire services. In 2024, the White Lake Township Police and Fire Departments reported 24,767 and 3,345 calls for service, respectively, which are the total number of calls Township-wide, and include other calls such as traffic stops, beyond the calls only to residential homes. Based on Township statistics, it can be assumed that Edendale Crossing may add 6-8 additional police calls per year and up to an additional 20-25 fire / emergency calls per year.

Estimated Number of Sewer and Water Taps:

Edendale Crossing proposes a 5,066' extension of the existing 12" Sanitary force main, which currently terminates at the southern end of the Lakeland High School property, north along Bogie Lake Road to the northern boundary of the applicant property. On-site sewage disposal will be routed to an on-site proposed pump station out letting to the extended municipal force main at the northeastern corner of the applicant property. A new 8" watermain is proposed to be connected to the existing 12" municipal watermain along Bogie Lake Road. See Kieft Engineering Sheet 9 of 16 for details.

Estimated Number of Axle Loading of Truck Trips daily over proposed route through Township:

Loading fatigue from the pavement from truckloads to and from the site during the proposed construction should not be a concern along the primary traffic route. Bogie Lake Road is a well-maintained collector road with the site located just one and one quarter miles south of M-59, ensuring that trucks will not have to travel onto local streets or through existing neighborhoods to access the site.

Description of other significant impacts or needs related to community facilities:

There are no additional significant impacts on community facilities. Edendale Crossing is designed to meet all technical standards of White Lake Township and associated county and state standards. Roads will be built to county standards, including sidewalks throughout the neighborhood as well as walks and trails along Bogie Lake

Road and Cedar Island Road. The proposed roads within Edendale Crossing are proposed to be private. All public utilities (Gas, Electric, Telephone, & Cable) will be installed underground. Stormwater is designed to conform with all applicable requirements of the OCWRC 100-year standards and will be managed on-site through a network of improvements including storm sewer, rain gardens, and a detention basin which will outlet to the existing northern exit point at a controlled rate not to exceed the current outflow.

Economics:

Anticipated number of construction and permanent jobs:

According to the National Association of Home Builders study titled *The Economic Impact of Home Building in a Typical Local Area, Income, Jobs, and Taxes Generated* dated April 2015, the anticipated number of construction jobs associated with the proposed 120-home development will be approximately 216 (the number of local construction jobs supported per construction of 100-single family homes in a typical local area is 176 according to the NAHB). Although there will be no permanent on-site jobs post construction, the development of new residential homes stimulates job growth across a wide range of industries and contributes significantly to the economic well-being of a community. A 2020 study by the National Association of Home Builders found that for every \$1,000,000 in construction capital investments supports eleven full-time jobs, and that the construction of one hundred single-family homes generates as many as 290 full-time jobs.

Anticipated tax revenues to the Township and School District:

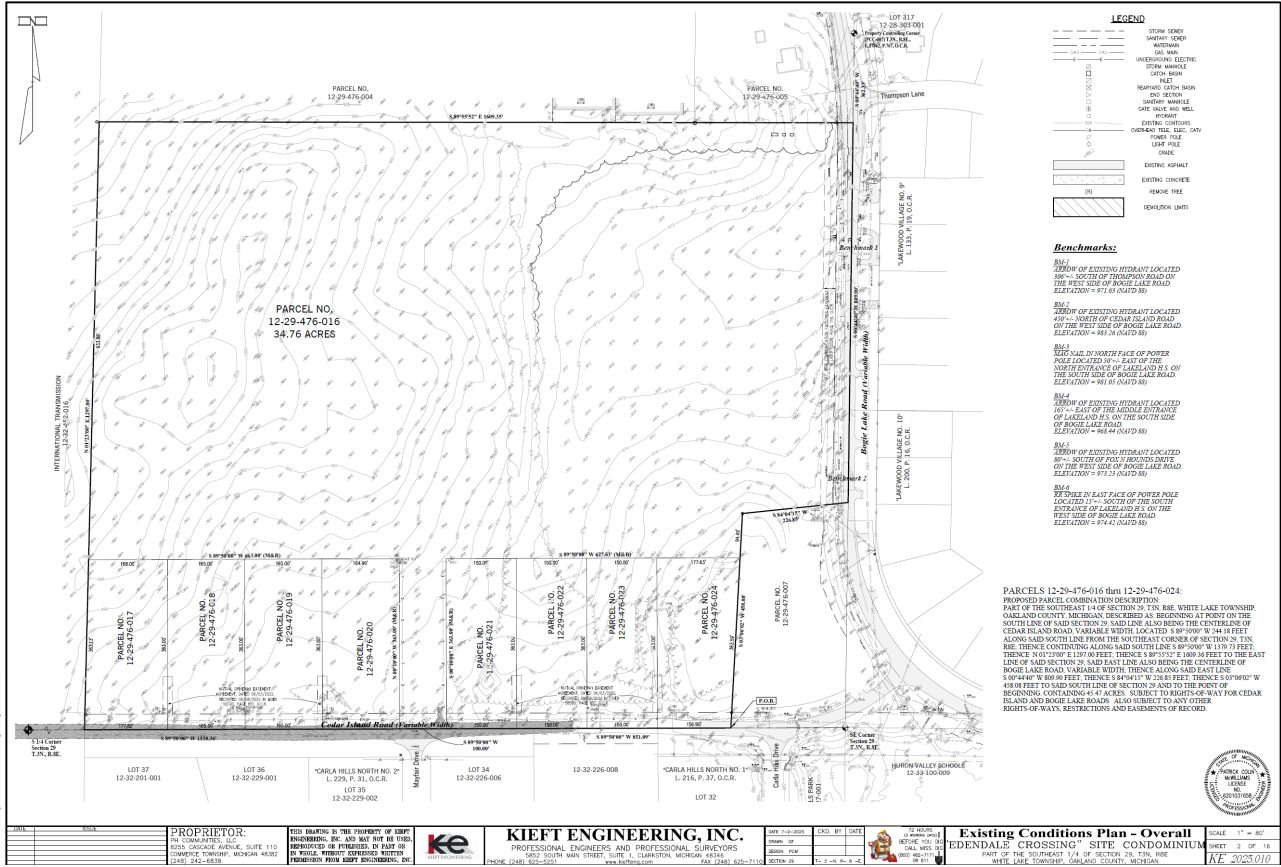
Property assessments are estimated at 50% of the property's Market Value. However, property owners pay taxes based on the property's taxable value. Taxable value is the lesser of the Assessed Value (SEV) or the prior year's taxable value minus losses, increased by the lesser of 5% or the Consumer Price Index, plus additions. ownership.

The published 2025 White Lake Township principal residence millage rate is 31.6857. If the typical taxable value of an Edendale Crossing home is \$250,000, the anticipated total property tax associated with the average home in this development would be \$7,921. The anticipated total tax revenue for the proposed **120-home neighborhood would be approximately \$950,520 annually.**

Environment:

Existing Natural Features:

The boundary and topographic survey shown below and included in the site plan submission documents, identify the existing conditions of the site. The Edendale Crossing site gently slopes from the southwest to the northeast. There are no wetlands, streams, or waterways on site and the existing trees, primarily located within a vegetative hedgerow that runs north and south in the center of the site, will remain as an open natural feature within the proposed neighborhood. Existing tree inventory data and locations of larger trees and vegetative masses are identified on the topographical survey, and the landscape plans identify all existing trees and vegetative areas that will remain. Additional existing vegetative buffering along the southern boundary (Cedar Island Road) will remain within general common area space as depicted in the Site Plan. Areas of the site and individual tree tag numbers of trees that will remain are indicated on the Civil Engineering and Landscape plans.



No Hazardous Materials or Pollution:

Edendale Crossing is proposed to be a residential neighborhood. There will be no manufacturing or storage of any hazardous materials or pollutants on site. Existing groundwater quality and existing levels will not be impacted because the homes will be serviced by public water and will not have individual ground wells that would draw from the groundwater. As stated above, stormwater will be managed on-site through a network of improvements including storm sewers, rain gardens, and a detention basin which will outlet to the existing northern exit point at a controlled rate not to exceed the current outflow.

Noise:

Minimal low-level construction noise may be occasionally noticed during the construction period, however the proposed single family home neighborhood, similar in use to the existing adjacent residential neighborhoods, is not expected to generate any discernible level of noise once constructed. The existing hedgerow of trees, existing vegetation, proposed tree plantings, and open space throughout the neighborhood will help to mitigate any noise that may exist from time to time.

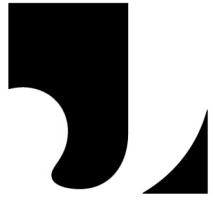
Traffic:

The 120 new Edendale Crossing homes will have access onto Bogie Lake Road and Cedar Island Road from its internal network of streets. A detailed traffic Impact Study was completed by Fleis & Vandenbrink and has been submitted to the Twp for review. The traffic study completed traffic counts during school days to ensure that it captured residential, transient, and school traffic typical to existing conditions of the area.

Fleis & Vandenbrink completed an analysis of projected traffic that will be generated by the 120 proposed homes and found that the neighborhood traffic would have minimal impact on Bogie Lake or Cedar Island Roads. Projections of morning peak traffic activity may add up to 82 additional morning trips, and evening peak hour traffic activity may add up to 111 additional evening trips. Edendale Crossing proposes specific improvement and mitigation features including the paving of Cedar Island from Bogie Lake to the proposed entrance of the neighborhood at Cedar Island, as well as center left hand turn and right-hand taper improvements which will enable the existing roads to operate at their same Level of Service or an improved Level of Service at AM, PM, and School PM peak periods.

Community Impact Statement prepared by:

J Eppink Partners, Inc
Land Planning & Urban Design Studio
27 South Squirrel Road – Suite 104
Auburn Hills, MI 48326
248-922-0789



**J EPPINK
PARTNERS INC**
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27 S. Squirrel – Ste 104
Auburn Hills, MI 48326
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December 18, 2025

Mr. Sean O'Neil
Community Development Director
White Lake Township
7525 Highland Road
White Lake Township, Michigan 48383

**RE: Edendale Crossing
Request for Reconsideration
Updated Site Plan Design & Submission**

Dear Mr. O'Neil:

On behalf of PH Homes, we are requesting that the White Lake Township Planning Commission reconsider its support and recommendation for preliminary site plan approval of the proposed Edendale Crossing neighborhood.

The Planning Commission held a Public Hearing at its December 4, 2025, meeting in response to PH Homes' previous site plan for the development of a single-family home neighborhood at the northwest corner of Bogie Lake Road and Cedar Island Road. At that meeting, the Planning Commission cited a number of items within the site plan that prevented them from voting in the affirmative to recommend preliminary site plan approval to the Township Board.

Our team carefully listened to the comments from the Planning Commission and members of the public and we have amended our site plan to address those items. Chief among the items are:

- 1. Desire to increase setbacks from Bogie Lake Road and Cedar Island Road:**
 - a) The updated site plan has removed two homes at the Bogie Lake entrance and now proposes a 70' minimum setback from the Bogie Lake Road home sites (a 40' setback is required). This means that the nearest home will be more than 110' from the edge of Bogie Lake Road. More importantly, because of the stormwater pond, the homes parallel to Bogie Lake Road will be more than 285' from the right-of-way and more than 320' from the road.
 - b) The homes parallel to Cedar Island Road have been shifted to the north, now providing a 45' open space buffer along Cedar Island (a 40' setback is required). One home at the Cedar Island entrance was removed to allow for more open

space along Cedar Island. This means that the rear of the nearest home will be between 110'-120' from Cedar Island Road.

- c) Significant landscape and vegetative buffering was added to each road's buffer which will shield views into the neighborhood and created a wooded exterior.

2. Desire to decrease overall density:

- a) The updated site plan has removed five homes and now proposes to construct 120 single-family homes. The overall proposed density is now 3.3 residences per acre. The Master Plan envisions between 2-8 residences per acre at this location, so the proposed Edendale Crossing density is 57% lower than the maximum density permitted within the 2024 Master Plan for this site. By comparison, an R1-D zoned development at this location could accommodate 109 units (3.0 units per acre) with zero required open space or tree preservation. Edendale Crossing offers only 11 additional homes (3.3 homes per acre) but also includes 27% open space, a large recreational park, and exterior buffers that far surpass the ordinance standards.

3. Desire to increase usable open space:

- a) The proposed open space has been increased to 27% of the total site, contrasting to a typical R1-D zoned development which would require zero common open space. The former plan provided 24% open space, whereas a PD in White Lake Twp requires only 20%. The open space has also been thoughtfully reconfigured to create a large central neighborhood park which will include a playground, pavilion, community gathering plaza, playing fields, and walking trails. Additionally, Edendale Crossing will preserve a significant amount of the existing trees and natural vegetation at the center of the site along with enlarge open space buffers at Cedar Island and Bogie Lake roads.
- b) The nearly 4-acre neighborhood park will be owned and maintained by the HOA and will provide active recreation and community gathering for the residents. The Township's Master Plan envisioned a similar size park in this area but perhaps considered, within the Master Plan, that it may be a public park with parking lots, pickleball courts, and other benefits for the Township as a whole. It is our understanding that White Lake Township is not seeking to acquire or construct additional public parks at this time, so we have proposed a recreational park for the residents of Edendale Crossing. There will not be a parking lot, lighting, pickleball courts, or more intense uses depicted in the Township's Master Plan concept sketch.
- c) In total, 9.75-acres of open space are proposed at Edendale Crossing.

4. Desire to modify the site plan layout:

- a) The updated site plan modifies the road layout and site organization by eliminating one internal road and organizing the home sites around the central park and natural vegetative open space areas. The updated layout prevents homes from backing up to each other and enables them to overlook open space. The trail system has been expanded to connect the areas of the neighborhood in addition to the large sidewalk system at the exterior and interior of the neighborhood.

5. Desire to safely connect the proposed sidewalk to the school campus:

- a) PH Homes has engaged the Huron Valley School District in discussions related to the sidewalk connection which is a benefit to the future residents of this neighborhood, existing nearby neighborhoods, and the students and families attending the middle and high school. A final connection point has not yet been determined with the school system, but design discussions are under way for the sidewalk connection location as well as the sewer expansion route.

6. Desire to conform with the newly adopted 2024 Township Master Plan:

- a) The updated site plan closely conforms with the goals, objectives, and vision of the 2024 White Lake Township Master Plan. Specifically, the Edendale Crossing neighborhood will:
 - a. Provide much needed new single-family homes within the Township.
 - b. Meet the standards, objectives, and principles of the "Neighborhood Residential" criteria.
 - c. Remain on the very low end of the envisioned 2-8 units per acre density for this site.
 - d. Significantly expands public utilities by extending the sanitary force-main sewer one mile, where the previous school project failed to do so. This activates connections to, and expansion of, the utilities not only for Edendale Crossing, but for residents along Bogie Lake Road and areas to the north of this site as well.
 - e. Improve and expand the design and geometry of Bogie Lake Road and Cedar Island Road to benefit Edendale Crossing, the existing residents of the area, and the Huron Valley School District. Road improvements and configurations, including an extended center turn lane, are in alignment with the direction and jurisdiction of the RCOC.
 - f. Fit within the context of surrounding existing development by providing single-family homes, recreational open space, preservation of natural features, and maintaining the rural character of the existing roads by providing large buffers and dense landscape boundaries.

We appreciate the opportunity to be reconsidered for a positive recommendation for preliminary site plan approval based on the updated site in response to the Planning Commission's comments and those from the public. We are confident that these modifications have significantly improved the site plan and meet the goals and intent of the Master Plan and Township's zoning ordinance.

Thank you, we appreciate the Planning Commission and Planning Department's attention to these documents, and we are looking forward to presenting the updated site plan to the Planning Commission at its next available meeting.

Sincerely,



President, J EPPINK PARTNERS, INC

Edendale Crossing:

Master Plan visual sketch analysis

Supplemental Update January 8, 2026

The White Lake Township has identified the Cedar Island Road and Bogie Lake Road property, and most of the surrounding regions of the Township as “Neighborhood Residential” on the Township’s Future Land Use Map. The Master Plan further identifies this property as one of three “Key Development Areas” in the Township.

A “Concept Rendering” is provided on page 87 of the Master Plan which illustrates a potential development pattern for the property according to the stated goals and objectives of the Master Plan. Highlighted in the sketch are single family homes, landscape buffers along Bogie Lake and Cedar Island Roads, internal sidewalks and trails, and a large park.

White Lake Township Master Plan Rendering: Page 87

Figure 34: Conceptual Rendering – Cedar Island and Bogie Lake Roads



The Master Plan sketch seems to contemplate the possibility of the Township acquiring a portion of the property to construct a municipal park with soccer fields, pickleball courts, a playground, pavilion, and parking lots. It’s our understanding, however, that currently the Township is not planning to expand its park system in this area of the Township and is not seeking to build a public park with these amenities, likely because many of these recreational opportunities are available to the public at the nearby Lakeland High School campus.

Despite the Township not wanting to construct a public park within the a portion of the property at this time, the establishment of a tree lined single-family home neighborhood, with landscape buffers and perimeter setbacks, the preservation of natural vegetation areas, and the establishment of an active neighborhood park with a playground, playing fields, and community gathering pavilion remain relevant and important to the goals and objectives of the Master Plan.

PH Homes and the Edendale Crossing design team has studied these goals and objectives and has designed a neighborhood plan that reflects the intent and standards of the Neighborhood Residential district and the building blocks of Master Plan as identified in the Key Development Opportunity section. Edendale Crossing will provide 120 single-family homes set along tree lined streets and large landscaped exterior buffers. Sidewalks and trails will connect the neighborhood as well as perimeter walks along Bogie Lake and Cedar Island that will join into the Middle School and High School Campus. Twenty-seven percent of the neighborhood will remain open space consisting of landscape buffers, the preservation of natural vegetation, and a large central neighborhood park. Edendale Park will include a playground, a large community pavilion for the residents, walking trails, benches, pet-stations, and play fields for active and passive recreation. Edendale Crossing will provide much needed new, single-family housing in White Lake Township and will be a beautiful, livable, neighborhood that delivers on the goals, objectives, and depicted vision of the community’s Master Plan.

PH Homes’ Site Plan Rendering:

Conceptual Rendering – Edendale Crossing neighborhood and park



Side-by-side comparison:

White Lake Township Master Plan Rendering: Page 87

Figure 34: Conceptual Rendering – Cedar Island and Bogie Lake Roads



PH Homes' Site Plan Rendering:

Conceptual Rendering – Edendale Crossing neighborhood and park



**WHITE LAKE TOWNSHIP
INTER-OFFICE MEMORANDUM
COMMUNITY DEVELOPMENT DEPARTMENT**

DATE: January 12, 2026

TO: Rik Kowall, Supervisor
Township Board of Trustees

FROM: Sean O'Neil, AICP
Community Development Director

**SUBJECT: Edendale Crossing
Preliminary site plan approval
Rezoning request approval**
Property described as parcel numbers 12-29-476-016 through 12-29-476-024, located northwest corner of Bogie Lake Road and Cedar Island Road, consisting of approximately 45.47 acres.

The above requests were considered by the Planning Commission at its regular meeting of December 4, 2025, at which time the **Planning Commission recommended denial of the preliminary site plan and approval of the rezoning request contingent on site plan approval.** The reconsideration of the revised preliminary site plan will be considered by the Planning Commission at its regular meeting of January 15, 2026. Please find enclosed the following related documents:

- ❑ Draft minutes from the January 15th, 2026, Planning Commission meeting (will be sent under separate cover).
- ❑ Draft minutes from the December 4th, 2025, Planning Commission meeting.
- ❑ Review letters prepared by the Township Engineering Consultant, Mike Leuffgen, dated January 8, 2026.
- ❑ Review letters prepared by the Township Planning Consultant, Matteo Passalacqua, dated January 7, 2026.
- ❑ Review letters prepared by White Lake Township Fire Marshal, Jason Hanifen, dated January 7, 2026.
- ❑ Revised preliminary site plan, elevations, and floor plans submitted by the applicant.

Please place this matter on the next available Township Board agenda. Do not hesitate to contact me should you require additional information.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
DECEMBER 4, 2025**

CALL TO ORDER

Chairperson Carlock called the meeting to order at 6:30 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

Pete Meagher
Scott Ruggles, Township Board Liaison
T. Joseph Seward
Debby Dehart
Merrie Carlock, Chairperson

Absent:

Mona Sevic
Robert Seeley, Vice Chair

Others:

Sean O’Neil, Community Development Director
Matteo Passalacqua, Carlisle Wortman
Kristin Kolb, Township Attorney
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was MOVED by Member Seward, seconded by Member Dehart to approve the agenda as presented. The motion carried with a voice vote: (5 yes votes).

APPROVAL OF MINUTES

A. September 18, 2025

It was MOVED by Member Meagher, seconded by Member Seward to approve the minutes as presented. The motion carried with a voice vote: (5 yes votes).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

A. Edendale Crossing

Property Northwest corner of Bogie Lake Road and Cedar Island Road. Identified as parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total) Consisting of approximately 45.7 acres. Currently zoned R1-A (Single Family Residential) and AG (Agricultural).

Requests:

- 1) Preliminary site plan approval recommendation**

2) Rezoning approval recommendation (R1-A & AG to PD (Planned Development)).

Applicant: PH Communities, LLC

Director O’Neil briefly reviewed the process for tonight’s request regarding how it is processed by the Township. The Public Hearing is for the rezoning, which runs concurrently with the site plan approval process.

Mr. Passalacqua reviewed his letter.

Mr. Leuffgen reviewed the highlights of interest from his review letter.

Member Meagher asked Mr. Leuffgen about the extension of the water main on the western side of the property. Mr. Leuffgen said it is due to the ordinance’s to be able to provide water connection for future use.

Jim Eppink, J Eppink Partners, spoke on behalf of the applicant. There are nine adjacent lots that would be combined into one parcel. He added that the Master Plan for the sites is designated as Neighborhood Residential. Preservation of trees and natural features are a point of concern. The sanitary sewer will be extended more than a mile from the southeast corner of the site. There will be a sidewalk pathway that will connect the development to the school complex. He added that multifamily would not be supported on the site, therefore all the lots will be single family products. He said the RCOC required a left-hand turn lane into the entrance of Bogie Lake, and to be extended north and south so the entire stretch of Bogie Lake Road becomes safer. Cedar Island will be paved past the project’s entrance.

Meagher stated the absence of a greenbelt on the west boundary does not help screen the IT Corridor. Mr. Eppink stated that the ITC Corridor is 240’ wide, and the homes that are adjacent to it would most likely not be buffered, even with dense plantings. Those lots will be extended with better landscaping.

Member Seward asked Mr. Eppink why the driveway is not going to be aligned with Mayfield Dr. Mr. Eppink said it was due to the water main loop, and the costs of the improvements to Cedar Island, the sewer, and the sidewalk extension. It would not make sense financially. The RCOC also may be installing a round-about at Cedar Island Road and Bogie Lake Road in the future.

Member Seward asked Mr. Eppink why the water isn’t extended to the western edge of the site. Mr. Eppink said the sites to the west are newer and operating well.

Member Seward asked Mr. Eppink why the lots are not acre lots along Bogie Lake Road. Mr. Eppink said other than two lots on Bogie Lake Road, the majority on the frontage are 240’ from the road and heavily landscaped.

Chairperson Carlock asked Director O’Neil if there required amount of park space in a Planned Development. Director O’Neil said around 20%.

Chairperson Carlock asked Mr. Eppink if the park would be maintained by the HOA. Mr. Eppink confirmed.

Chairperson Carlock opened the public hearing at 7:55 P.M.

Rob Paociotti, 6289 Caya Way, opposed the density proposed at the applicant's request. He also presented a petition with over 100 signatures opposing the project.

Gene Kula, 1203 Cedar Meadows Dr, opposed the applicant's request, stating it was not in line with the Master Plan's use for the area.

Alan Cartwright, 1225 Elliot Court North, shared concerns about traffic safety in the area. He added the left-hand turn lane does not suffice the issue of cars turning onto Cedar Island. He stated the utility and sidewalk extensions are not a community benefit and would be required anyway for development with the same proposed density.

Mary Earley, 5925 Pine Ridge Court, stated her opposition to the project, and stated the plan design was bad. The developers' need for money does not override the Township's character of being a great place to live. She stated issues with parking, the number of waivers requested, lighting, and the density.

Tony Madaffer, 1293 Bogie Lake Road, stated he is a proponent of White Lake growing, but he took issue with the layout. It is too dense and reminiscent of a trailer park. He has lived here for 35 years, and the traffic will be troublesome.

Steve Woodard, 953 Schyler, said he was a participant in giving community feedback for the project. He was expecting bigger acreage lots. He reiterated the trailer park look to the plan, and the proposed density is too large. He stated his opposition to the current layout of the project.

Sheri Meador, 2032 Carleton Court, moved to White Lake from Canton. She stated White Lake has a small town that feels less traffic. She stated White Lake will grow, but there are too many homes in the development, and the traffic is already problematic. She had no issue with houses going on the site, just in a less dense capacity. She added that the schools are packed as is with very large class sizes.

Clark Koby, 3133 N Mistwood Court, said his sub has bigger acreage lots that create a lot of space in between homes. The plan needs improvement before it is approved.

Chairperson Carlock closed the public hearing at 8:16 P.M.

Mr. Eppink stated the community did a wonderful job on its Master Plan, and that property was specifically targeted in the plan. Multiple family was suggested in the plan, but the applicant felt it wasn't appropriate. The plan proposes 16 units over what would be allowed for R1-D zoning. He added he is working with the school district closely. He reiterated that the plan was consistent with the Master Plan.

Member Meagher stated that the audience was clear about their issue with the density of the project.

Member Dehart stated she had issues with the proposed Planned Development zoning as the Planning Commission rezoned several of the included lots to R1-A not long ago.

Member Ruggles said that during the Master Plan process, he brought this area of the Township to the Planning Commission's attention. The property will not remain farmland forever, but the intention was

to develop the property as a mixed-use area with an attention to keeping a lot of green space in the area.

Member Seward stated the plan does not meet the intent of the Master Plan or the ordinance. He was not opposed to the Planned Development rezoning.

It was MOVED by Member Meagher, seconded by Member Seward, regarding Edendale Crossing, identified as parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total) to recommend the Township Board approve the rezoning request to Planned Development, subject to all staff and consultants' comments being addressed and a recommendation for preliminary plan approval to the Township Board. The motion carried with a roll call vote: (4 yes votes) (Meagher/yes, Ruggles/yes, Carlock/yes, Dehart/no, Seward/yes).

It was MOVED by Member Meagher, seconded by Member Seward, regarding Edendale Crossing, identified as parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total), to recommend the Township Board deny the preliminary site plan. The motion carried with a roll call vote: (5 yes votes) (Meagher/yes, Dehart/yes, Carlock/yes, Seward/yes, Ruggles/yes).

B. Jax Car Wash

Property located on the northwest corner of Bogie Lake Road and Highland Road (M-59). Identified as parcel ID 12-20-276-034. Consisting of approximately 1.88 acres. Currently zoned PB (Planned Business).

Requests:

- 1) Preliminary site plan approval recommendation**
- 2) Planned business approval**

Applicant: BMW KAR WASH, LLC

Mr. Passalacqua reviewed his letter.

Mr. Leuffgen highlighted his review letter for the Planning Commission.

Member Ruggles asked Director O'Neil how many car washes are at the intersection of Bogie Lake Road and Highland Road. Director O'Neil said two, but he was unsure if one was still in business. The proposed car wash would make three.

Member Dehart shared concerns about the proposed entrance to the site. The traffic north of Highland Road to get to the Taco Bell in the area is unsafe.

Todd Gesund, owner of Jax Car Wash, was present to speak. He explained the amenities the car wash would provide. There would be three lanes with pay stations, interior restrooms for customers, hand towel drying, and an interior mat drying room.

Jim Butler, PEA Group, said the plan was reviewed by RCOC and there would be a right in, right out porkchop at Bogie Lake Road.

Chairperson Carlock opened the public hearing at 9:10 P.M.

Steve Woodard, 953 Schuyler, stated his concerns with the driveway, and traffic stacking issues. He suggested flipping the circulation of the site for additional traffic safety. He wanted more information about the water reclamation.

Clark Koby, owner of Wash Me Car Wash, said he keeps his prices low and his customers appreciate it. He stated his concern wasn't about the driveway itself, but the entrance of off Bogie Lake Road needed to change. The intersection is dangerous, and stacking cars will add to the issue.

Chairperson Carlock closed the public hearing at 9:15 P.M.

Mr. Butler said flipping the site would require issues with circulation meeting the ordinance setbacks. The site is topographically challenging as well. He suggested making the porkchop deliberate by design. He said there is an internal reclamation system for the water that will reclaim up to 35 – 45% of the water that will be reused.

It was MOVED by Member Meagher, seconded by Member Ruggles, regarding Jax Car Wash, identified as parcel ID 12-20-276-034, to recommend the Township Board approve the preliminary site plan, subject to all staff and consultant review comments being addressed and for the Township Board to consider safety issues about the development's ingress/egress from Bogie Lake Road. The motion carried with a roll call vote: (4 yes votes). (Ruggles/yes, Seward/yes, Carlock/yes, Dehart/no, Meagher/yes).

CONTINUING BUSINESS

None.

NEW BUSINESS

A. The Avalon

Properties located on the northwest corner of Highland Road (M-59) and Hill Road Identified as parcel IDs 12-20-101-003 & 12-20-126-006. Consisting of an approximate combined 110.02 acres. Currently zoned PD (Planned Development)

Requests:

- 1) **Final site plan approval**
- 2) **Planned development agreement approval recommendation**

Applicant: White Lake Hill, LLC

Mr. Passalacqua reviewed his letter.

Mr. Leuffgen reviewed his letter. He added further engineering plans will need to be submitted by the applicant and reviewed before a pre-construction meeting can be held.

Member Ruggles asked how many phases there will be. Director O'Neil said it is being approved as one phase, but with several construction phases within in.

Director O'Neil said the PDA was drafted by the Township Attorney, and it expedites the review process for the agreement. He explained that the deviations are summarized as a narrative in the draft document.

Mark Ksassb, 31550 Northwestern Highway, was present on behalf of the project. He presented color renderings of the housing products. He added the intent is to start infrastructure construction in Spring 2026. The Community Benefit will be a dog park dedicated to the Township. He added the buffer on the northern, western, and eastern portions of the site was increased to 50'.

Jim Gailbraith, 31550 Northwestern Highway, stated there is a sister site he and Mr. Kassab developed in Commerce Township that has done very well. There will be more of the ranch style products on this site.

**It was MOVED by Member Meagher, seconded by Member Dehart, regarding The Avalon, identified as parcel IDs 12-20-101-003 & 12-20-126-006, to approve the final site plan, subject to all staff and consultant comments being addressed and the Township Board's approval of the PDA. The motion carried with a roll call vote: (4 yes votes)
(Meagher/yes, Dehart/yes, Carlock/yes, Seward/no, Ruggles/yes)**

**It was MOVED by Member Meagher, seconded by Member Ruggles, regarding the Avalon, as parcel IDs 12-20-101-003 & 12-20-126-006, to recommend the Township Board approve the Planned Development agreement, subject to all staff and consultant comments being addressed and approval of the document by the Township attorney. The motion carried with a roll call vote: (4 yes votes).
(Meagher/yes, Dehart/yes, Carlock/yes, Seward/yes, Ruggles/yes).**

OTHER BUSINESS

- A. Approval of 2026 Meeting Dates

It was MOVED by Member Meagher, seconded by Member Seward, to approve the 2026 Planning Commission meeting dates with the omissions of January 1, 2026, and July 2, 2026, dates. The motion carried with a voice vote: (5 yes votes)

LIAISON'S REPORT

Member Ruggles said the Township Board met last month and approved the 2026 Township budget. The Board also approved the sale of the used tanker truck. The Township Tree Lighting festival will be tomorrow, December 5 at Fisk Farm, starting at 6 P.M.

COMMUNICATIONS

Director O'Neil stated that there are a few remaining items from the Phase One construction at Stanley Park that will need to be bonded for. Awards for Stanley Park Phase Two MNTRF will be announced later this month. The new Senior Planner, David Waligora, will be starting at the Township next month.

NEXT MEETING DATE: January 15, 2026

WHITE LAKE TOWNSHIP
PLANNING COMMISSION
DECEMBER 4, 2025

Section 8, Item B.

ADJOURNMENT

It was MOVED by Commissioner Seward, seconded by Commissioner Meagher to adjourn at 10:15 P.M. The motion carried with a voice vote: (5 yes votes).



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

January 8, 2026

Sean O’ Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Edendale Crossing- Preliminary Site Plan Review – 4th Review

Ref: DLZ No. 2545-7861-07 Design Professional: Kieft Engineering, Inc.

Dear Mr. O’ Neil,

Our office has performed a Preliminary Site Plan review for the above-mentioned revised plan dated December 18, 2025. The plans were reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

General Site Information

This 45.47-acre site is located on the north side of Cedar Island Road and west of Bogie Lake Road.

Site Improvement Information:

- Construction of a ~~123~~ ~~125~~ **120** unit site condominium with private roads. The development is to be phased as follows: Phase I- 63 units; Phase II-57-units.
- Two entrances: One off Bogie Lake Road and one off Cedar Island Road.
- Extension of proposed sidewalk along Cedar Island Road with off site connection to the Huron Valley Schools property to the southeast.
- Water and sanitary sewer service.
- Storm water management facilities.

The following items should be noted with respect to Planning Commission review:

We note that comments from our November 20, 2025 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font. We note that no engineering response letter was received with this submittal.



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WLT-Edendale Crossing- PSP Review.04

January 8, 2026

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Preliminary Site Plan Comments

General

1. *Plan by J. Eppink Partners, Inc. dated September 19, 2025- Sheet PSP-1- Site Data- Table- Parcel size is incorrect. Correct acreage is 45.47. This is also incorrect in the same table in the Proposed Density calculations as well as the Existing AG& R1-A Zoning Parallel Plan(Sheet PSP-2). **Comment addressed. Acreage error has been corrected.***
2. *Sheet 19-Cedar Island & White Lake Middle School Sidewalk Plan- Remove 'Proposed Pedestrian School Crossing' note to the west of Carla Hills Drive as this was where the safety path was previously proposed. **Comment outstanding.***
3. *Sheet 3- The number of lots for each phase has not been updated to correspond with the reduction in total units from 125 to 120. Please update.*

Paving/Grading

1. *The plan shows a proposed extension of an 8' wide path along the Cedar Island Road frontage. Please note the proposed sidewalk does not extend the entirety of the property width to the east and instead crosses Cedar Island Road and heads further east across Carla Hills Drive then onto Huron Valley Schools property where it terminates at the drive lane of the Middle School. This will require approval/easements from HVS and we question the safety of terminating the sidewalk at a drive lane. Comment addressed at this level of review. Per the design engineer, connection of the path to White Lake Middle School shall be coordinated with Huron Valley Schools. The FEP shall show final location of sidewalk connection to the school. We note that the current submittal shows connection to the White Lake Middle School parking lot. Please see our above comment regarding safety concerns of terminating the sidewalk at a drive lane. **Per Item 5a of the 'Resubmission of updated Site Plan letter' from J Eppink Partners, Inc. and dated December 18, 2025, a final connection point for the proposed sidewalk has not yet been determined with Huron Valley Schools; however, the Community Impact Statement, also prepared by J Eppink Partners, Inc. and dated December 18, 2025 states on Page 4 that the proposed sidewalk shall connect to the existing school parking lot(White Lake Middle School) and on Page 9 states the sidewalk shall connect to Lakeland Elementary School Property which is located south of White Lake Middle School. In addition, Sheets 3,5,9,16, and 19 of the Preliminary Site Plan note/show connection of the proposed sidewalk to the White Lake Middle School parking lot. All correspondence and plan sheets shall be updated for consistency regarding the proposed sidewalk connection on the HVS property. We***



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WLT-Edendale Crossing- PSP Review.04

January 8, 2026

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also note that our previous comment regarding the safety of connecting the sidewalk into a traffic circulation lane in a parking lot remains.

2. *Is the intent to dedicate right of way along the Bogie Lake Road and Cedar Island Road frontages or to provide easements for the proposed sidewalk/path along these frontages? Comment addressed. ROW to equal 60' width shall be dedicated for both road frontages. **We note that offsite easements will be required from ~~Carla Hills~~ and Huron Valley Schools for the proposed 8' wide concrete walk.** Comment is now outstanding due to the following requested clarification and change in sidewalk layout: The proposed 8' wide path along Cedar Island Road has now been shifted in its entirety to the north side of the road. The Existing Conditions Plan- Overall (Sheet 2) shows 43' existing ROW along Cedar Island Road in front of Parcel 12-29-476-007 while the Overall Site Plan and Notes (Sheet 3) shows the existing ROW in this area as 33'. Please clarify. The right of way along Parcel -007 will determine whether a sidewalk easement will need to be granted by this property owner. Additionally, please revise '8' Wide Safety Path Connection to Huron Valley School Parking Lot' reference notes on Sheets 3 and 5 from Sheet 17 to Sheet 19. **Comment addressed. ROW width has now been corrected to 43' on the 'Overall Site Plan & Notes' (Sheet 3), so it now appears that an easement for the proposed path would not be required from Parcel -007. In addition, sheet references have been updated.***
3. *Preliminary grading of the site has been proposed and demonstrates general drainage patterns. A more detailed grading review will be provided at the time of Final Engineering Plan submittal/review. **Comment remains as a notation.***
4. *Provide plan indicating standard length fire truck access and turning radii so as to demonstrate adequate fire truck accessibility to and within the site. Comment addressed. Per design engineer, roads are per RCOC standards and support/provide adequate fire truck access. We note that there are a couple fire truck turning movements shown on the Cedar Island Entrance Plan (Sheet 9); movements show a standard (40' long) fire truck traversing the curb on Edendale Lane. **The current plan revisions include slight modification to the configuration of the small island on Edendale Lane in front of proposed unit #3. Please include a turning radius for a fire truck to navigate around this island and note that since there are proposed tree plantings within this island that a fire truck will not be able to traverse over the center of the island. Please also reference Sheet 9 where the Fire truck movements on this sheet still show truck traversing curb after turning left onto Mollygrace Lane. It appears this could just be shifted slightly north to keep the movement within the paved area.***
5. *Sheet 4- the previous submittal showed proposed contours in the area north of units 19-24. The current submittal does not show grading in this area, however the proposed grades seem to indicate that additional grading will be necessary with cuts of up to 10 feet. Please clarify as this will impact the disturbance area and the number of existing trees that can remain.*



INNOVATIVE IDEAS
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WLT-Edendale Crossing- PSP Review.04

January 8, 2026

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6. Sheets 5 and 9- Entrance dimensions of Edendale Lane at Cedar Island Road do not correspond to 21' B/B and 16' (island width) when measured per provided scale. Please revise.

Watermain

1. *We defer to the Township Fire Department regarding hydrant coverage. **Comment remains as a notation.***
2. *The Township requires two or more sources of water supply in any watermain extensions over 600 LF. This plan shows internal looping of watermain as well as stubbing into the right of way on Cedar Island Rd. However, there is no secondary source of supply. There would be potential for all ~~123~~ ~~125~~ **120** homes to be out of water or have disruption of water quality during routine maintenance like valve exercising or hydrant flushing. The developer will need to provide a second connection point and sufficient valving so that approximately 20 homes maximum are out of water at any given time during routine maintenance or emergencies. Comment addressed. A secondary watermain connection has now been provided; a 12" watermain is now proposed along Cedar Island Road with stub shown adjacent to the southeast corner of Unit ~~47~~ ~~50~~ **63**. **Comment remains as a notation.***
3. *Township Ordinance requires extension of utilities across property frontages; currently the plan proposes one stub out to the Cedar Island Road Right-of-Way at the Edendale Lane approach. We defer to the Township as to whether the watermain shall be required to be extended across the Cedar Island Road frontage and stubbed to the western property line. Please note that future expansion of the water system will be impacted by lack of access to watermain along Cedar Island Road. Please also note there are known contaminants related to the Huron Valley School site that may make the expansion of the Township water system desirable for nearby residents. **Comment remains. Currently the proposed 12" diameter watermain along Cedar Island Road does not extend to the western property line and ends just south of Unit 63.***

Sanitary Sewer

1. *The plan proposes gravity sanitary sewer onsite which will flow to a proposed sanitary sewer pump station. This pump station will need to be designed to OCWRC standards. It should be noted that the plan also includes a significant amount of offsite sanitary sewer forcemain to connect to the existing system near the south end of the Huron Valley school campus along Bogie Road. This forcemain has been sized in accordance with the master plan for future flows from the north. **Comment remains as a notation.***
2. *We defer to the Township regarding the requirement to extend sanitary sewer along the Cedar Island Road frontage with a stub at the western property line. Per Township Ordinance, utilities are required to be extended along property road frontages. **Comment remains.***
3. *Off-site easements shall be required for installation and future maintenance along parts of the proposed forcemain which fall outside of the Bogie Lake Road Right-of-Way. **Comment remains as a***



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
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WLT-Edendale Crossing- PSP Review.04

January 8, 2026

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notation. Per the design engineer, this is in process with Huron Valley Schools. In addition, it appears that an easement shall also be required from Parcel 12-29-476-007.

Stormwater Management

1. *Sheet 8- It appears the discharge from the detention pond will flow across Parcel #12-28-303-001 which may require a storm drainage easement unless the storm sewer can be extended to a point there is no conflict. Comment addressed. A ditch that will route where the drainage to Thompson Lake goes is now proposed within the existing road ROW. **Comments remains as a notation.***
2. *Sheet 8- The proposed storm sewer layout along Bogie Lake Road will need to be clarified at the time of Final Site Plan/Final Engineering Plan to work with existing stormwater features, site drainage, and utility poles etc. **Comment remains as a notation.***
3. *There are several comments/questions we have regarding the Detention Basin Calculations and Details Sheet 16. We have attached a red lined copy of the sheet for the design engineer's use. **Comment partially addressed, but sufficient for this level of review. Please provide the T_t numbers in the 100 Year Basin Calculations. See attached plan sheet for a few remaining questions that can be answered with the FSP/FEP submittals.***

Recommendation

The majority of our above comments have been addressed, and we feel comfortable with most items being addressed at the time of Final Site Plan (FSP), and Final Engineering Plan (FEP) reviews. Remaining items to be clarified relate to the termination of the sidewalk on the adjacent school property and the site grading which could reduce the number of trees that can remain. Additionally, there is the question of sanitary sewer and watermain utility extensions to the western property line. Currently the plan does not meet this Ordinance requirement; we defer a decision on this item to the Township Board.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
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WLT-Edendale Crossing- PSP Review.04

January 8, 2026

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Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

Encl: Detention Basin Calculations and Details Red Lined Plan Sheet

Cc: Hannah Kennedy-Galley, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
Nick Spencer, Building Official, White Lake Township, *via email*
Jason Hanifen, Fire Marshall, White Lake Township, *via email*
David Waligora, Community Development *via email*
Matteo Passalacqua, Carlisle Wortman, *via email*

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100 YEAR DETENTION BASIN CALCULATION (I.E. WITH OUTLET)

TOTAL CONTRIBUTING AREA	A =	45.47	
HYDROLOGIC SOIL GROUP	B		
RUNOFF COEFFICIENT	C =	0.95 15.79 + 0.30 27.68 + 1.00 2	
C =	0.56		
LENGTH	% SLOPE		
SHEET K = 0.48	L = 230 FT	S = 1.5	V = KS ^{1/2} = 0.59 FT/S
SWALE K = 1.20	L = 180 FT	S = 1.3	V = KS ^{1/2} = 1.37 FT/S
DITCH K = 2.10	L = 300 FT	S = 1.0	V = KS ^{1/2} = 2.10 FT/S
PIPES Longest Run	L = 2400	V = 3 FT/S	
T _r =	L	HR	0.00 MIN
	3,600 V	HR	0.00 MIN
		HR	0.00 MIN
		HR	0.00 MIN
T _c =	Σ T _r		20.0 MIN
I ₁₀₀ =	83.3	=	5.42 IN/HR
	(T _c + 9.17) ^{0.81}		
CHANNEL PROTECTION VOLUME CONTROL: RECHARGE	V _{CPVC} =	4,719 CA	= 119,412 CF
CAN BE SUBTRACTED FROM V ₁₀₀₀ IF INFILTRATED			
SOILS INFILTRATION RATE FROM BORINGS			5.00 IN/HR
ABOVE 0.5 IN/HR SUPPLEMENTAL MEASURES NOT REQUIRED			
BETWEEN 0.24 IN/HR & 0.5 IN/HR, SUPPLEMENTAL MEASURES REQUIRED			
BELOW 0.24 IN/HR, INFILTRATION IMPRACTICAL & WAIVED			
EXTENDED DETENTION	V _{ED} =	6,897 CA	= 174,525 CF
WATER QUALITY - REMOVAL OF TSS (80 MG/L OR 80% TSS REDUCTION)			
MECHANICAL SEPARATOR	I ₁ =	30.2	= 1.97 IN/HR
		(T _c + 9.17) ^{0.81}	
Q ₁₀₀ =	CiA		49.73 CFS
SEDIMENT FOREBAY	V _F =	0.15V _{ED}	= 545 CA = CF
DETENTION & FLOOD CONTROL	Q _{VRR} =	1.1055-0.206ln(A)	= 0.319 CFS/AC
	Q _{100P} =	Q _{VRR} A	= 14.513 CFS
	V _{100R} =	18,985 CA	= 480,406 CF
	Q _{100IN} =	Ci100A	= 137.17 IN/HR
	R =	0.206 - 0.15ln(Q _{100P} /Q _{100R})	= 0.543
100-YEAR STORAGE VOLUME	V ₁₀₀₀ =	V _{100R} R	= 260,820 CF = 260,820 CF PER CPVC
WAS VOLUME CONTROL MET FOR CPVC? Y or N	N		
V ₁₀₀₀ OR V _{ED} CONTROL?	V ₁₀₀₀	260,820 CF REQ'D	
Q _{ED} =	V _{ED}	172,800	= 1.01 CFS
48 HOURS FOR RATE CONTROL			
ORIFICE FORMULA	Q _A =	0.62 (A _O) (2gh) ^{1/2}	
A _O =	AREA ORIFICE PIPE		
g =	32.2 FT/SEC ²		
H =	DEPTH OF BASIN ABOVE CENTERLINE OF OUTLET PIPE		
FOREBAY	N/A		
V _F =	RIM		INVERT
H =	0.00 FT		
EXTENDED DETENTION OUTLET	A _O =	0.62 (2gh) ^{1/2}	SF = 0.000 IN ²
	A _r =	πD ² / 4	= 0.785 IN ²
	A _O /A _r =	0.00	→ USE 0 1" HOLES EQ. SPACED AROUND STANDPIPE BOTTOM
DETENTION BASIN			
EXTENDED DETENTION OUTLET	V _{ED} =	HOLES = 963.50	INVERT = 961.00
H =	2.50 FT		
A _O =	0.62 (2gh) ^{1/2}	= 0.13 SF	= 18,48724 IN ²
D _O =	DIAMETER OF ORIFICE		
D _O =	√ (4A _O / π)	= 0.40 FT	= 4.85 INCH
A _r =	πD ² / 4	= 0.785398 IN ²	
A _O /A _r =	23.54	→ USE 24 1" HOLES EQ. SPACED AROUND STANDPIPE BOTTOM = 961.00	
100-YEAR ALLOWABLE OUTLET	V ₁₀₀₀ =	RIM = 965.00	V _{ED} = 963.50
H =	1.50 FT		
A _O =	0.62 (2gh) ^{1/2}	= 0.05 SF	= 7.543 IN ²
A _r =	πD ² / 4	= 0.785 IN ²	
A _O /A _r =	9.60	→ USE 10 1" HOLES EQ. SPACED AROUND V _{ED} ELEVATION = 963.50	

Provide these numbers.

483,419 CF

138.00 IN/HR

262,898 CF

"C" CALCULATION

TOTAL SITE AREA = 45.47 ACRES

PAVEMENT AREAS:

ROADS: = 157,000 SF

SIDEWALKS: = 78,923 SF

FUTURE DRIVEWAYS: SAY (800 SF) x (125 DRIVES) = 100,000 SF

TOTAL PAVEMENT AREA = 335,923 SF = 7.72 ACRES @ C = 0.95

ROOF AREAS:

ASSUME (2,800 SF) x (125 HOMES) = 350,000 SF = 8.04 ACRES @ C = 0.95

DETENTION BASIN AREA: 2.00 ACRES @ C = 1.00 (AVERAGE)

GREENBELT AREAS: 27.68 ACRES @ C = 0.20

"C" = $\left(\frac{7.72 \text{ ACRES}}{45.47 \text{ AC}} \times 0.95\right) + \left(\frac{8.04 \text{ ACRES}}{45.47 \text{ AC}} \times 0.95\right) + \left(\frac{27.71 \text{ ACRES} \times 0.20}{45.47 \text{ AC}}\right) + \left(\frac{2.00 \text{ ACRES} \times 1.00}{45.47 \text{ AC}}\right) = 0.495 = 0.50$

VOLUME PROVIDED:

A₁ = @ 961.00 = 55,000 SF

A₂ = @ 965.00 = 84,200 SF

V = $\frac{H}{3} (A_1 + A_2 + \sqrt{A_1 \times A_2}) = 276,334 \text{ CF, OK}$

DETENTION BASIN

EXISTING WATER ELEVATION = NONE

100 YEAR DESIGN HIGH WATER ELEVATION = 965.00

1' FREEBOARD ELEVATION = 966.00

STORAGE REQUIRED = 260,820 CF

STORAGE PROVIDED = 276,334 CF

SO-2 STANDPIPE RIM = 963.50

OVERFLOW MANHOLE RIM = 965.00

LOWEST EMERGENCY OVERFLOW CATCH BASIN ON N. SIDE IN ENTRY ROAD (OFF BOGIE LAKE ROAD) = 966.75

BOTTOM = 960.00

APPROXIMATE DETENTION BASIN 10 YEAR OUTFLOW CALCULATION

Q = ACi; A = 45.47 ACRES; C = 0.50; I = $\frac{175}{T+25}$; T = 30 MINUTES+.

NOTE: ESTIMATED TIME BASED ON THE LONGEST STORM SEWER RUN = 2,400 LF

THUS, 2,400 LF ÷ 3 FPS (ASSUMED) = 800 SECONDS = 13.33 MINUTES

USE 10 MINUTES TO BE CONSERVATIVE.

20 MINUTES (INITIAL T_c) + 10 MINUTES = 30 MINUTES

I = $\frac{175}{30+25} = 3.18$; Q = (45.47)(0.50)(3.18) = 72.30 CFS

USE 36" OUTLET PIPE @ 1.00%; Q = 66.60 CFS; V = 9.42 FPS

Northwest Area Storm Run-off Calculation Comparison

"EXISTING CONDITIONS"

PRESENTLY 4.80 ACRES FLOWS OFF-SITE TO THE NORTHWEST.

EXISTING C = 0.30

FOR A 10 YEAR STORM Q₁₀ = ACi

A = 4.80 ACRES

C = 0.30

I = $\frac{175}{T+25}$; T = 20 MINUTES; I = $\frac{175}{20+25} = 3.89$

Q₁₀ = (4.80)(0.30)(3.89) = 5.60 CFS EXISTING

PROPOSED "C" CALCULATION

(13 HOMES)(REAR ROOF=1,600 SF) = 20,800 SF = 0.48 ACRES @ C = 0.95

REMAINING 2.52 ACRES @ C = 0.30

"C" = $\left(\frac{0.48 \text{ ACRES}}{3.00 \text{ AC}} \times 0.95\right) + \left(\frac{2.52 \text{ ACRES}}{3.00 \text{ AC}} \times 0.30\right) = 0.41 \text{ } 0.37$

A = 3.00 ACRES

C = 0.41

I = 3.89

Q₁₀ = (3.00)(0.41)(3.89) = 4.79 CFS PROPOSED

4.80 0.37 6.91

THUS, THERE IS LESS PROPOSED STORM WATER RUN-OFF THAT WILL BE FLOWING TO THE LEACH BASIN IN THE NORTHWEST AREA THEN THE EXISTING STORM WATER RUN-OFF FOR A TEN YEAR STORM.

Why using 3.00AC and not accounting for total 4.80 AC?

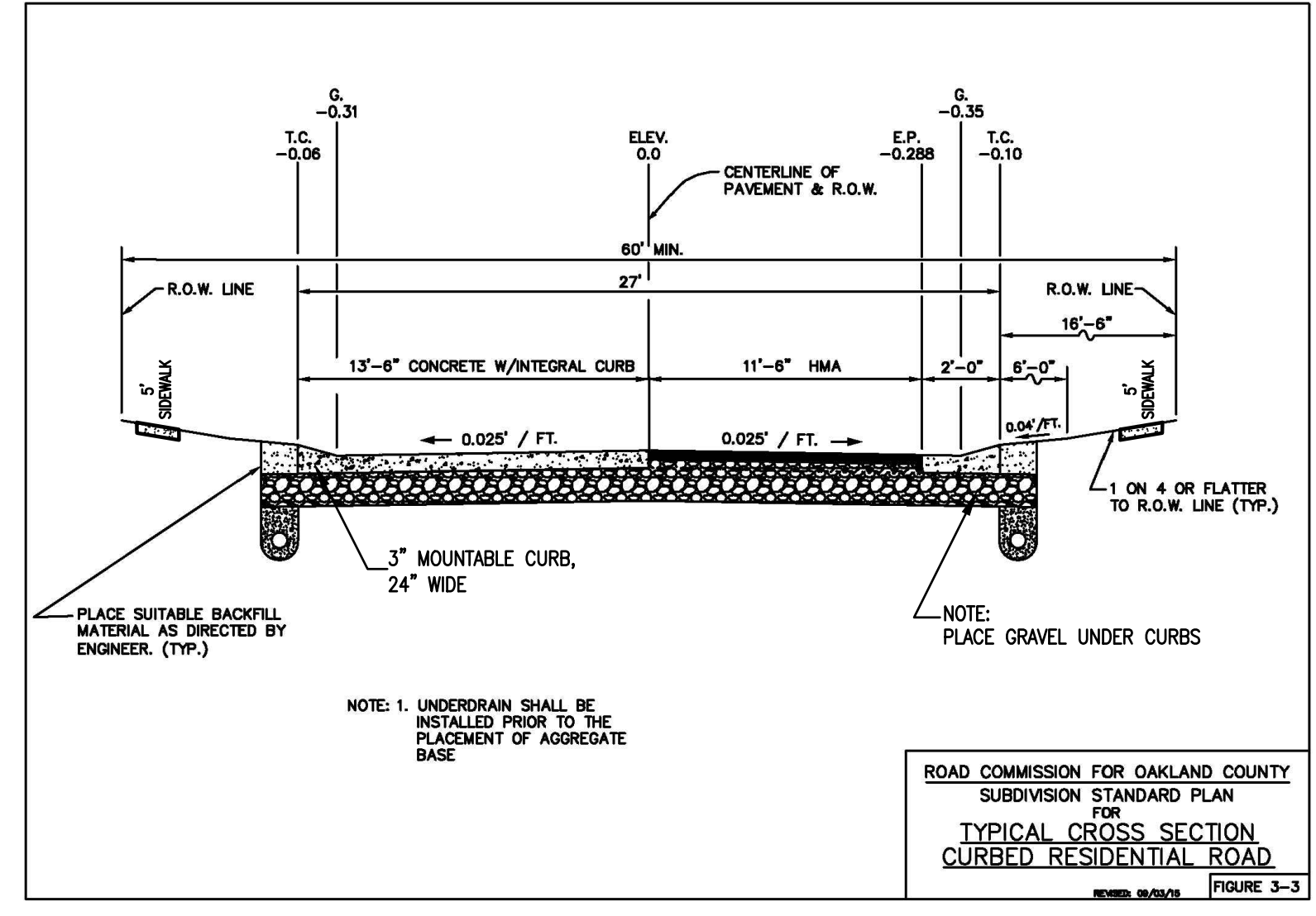
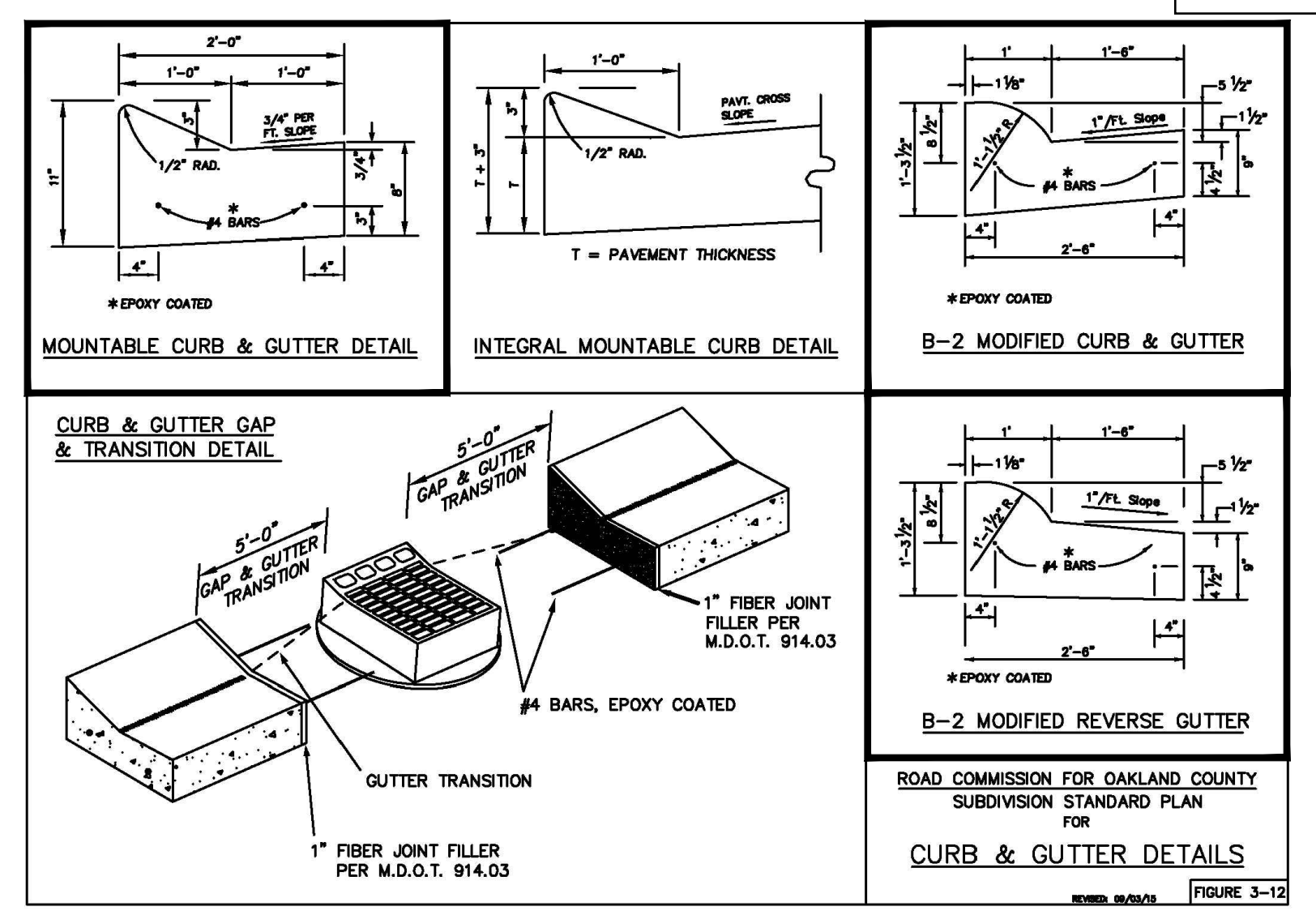
Storm Water Facilities Maintenance Plan

The "Edendale Crossing" Homeowners Association shall be responsible for the maintenance of all the storm water facilities. (Note: The developer is responsible until the HOA exists).

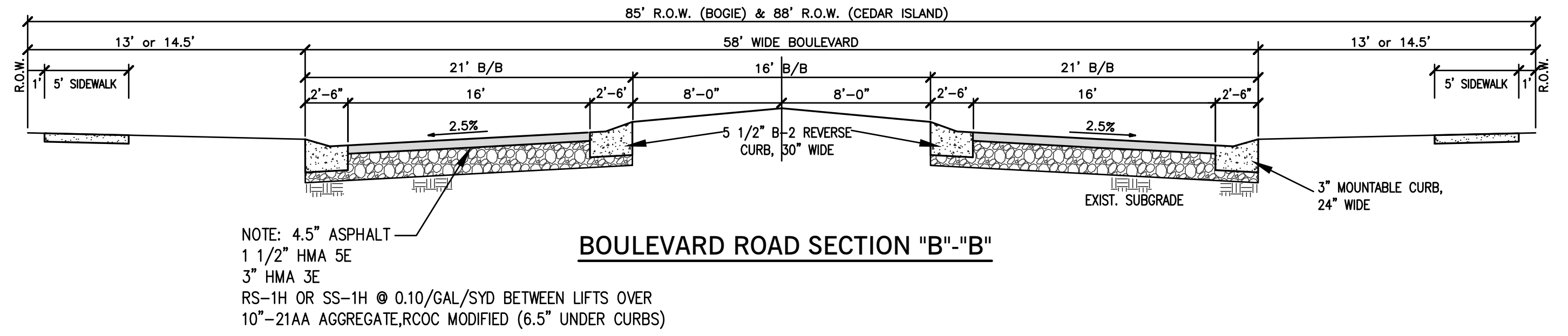
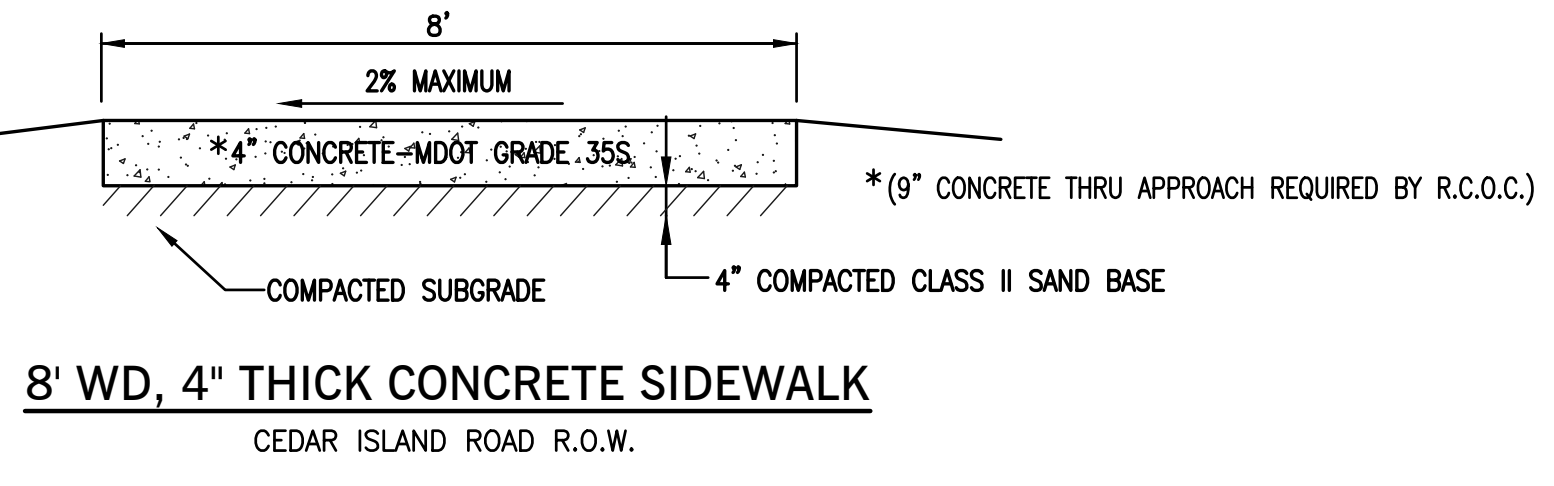
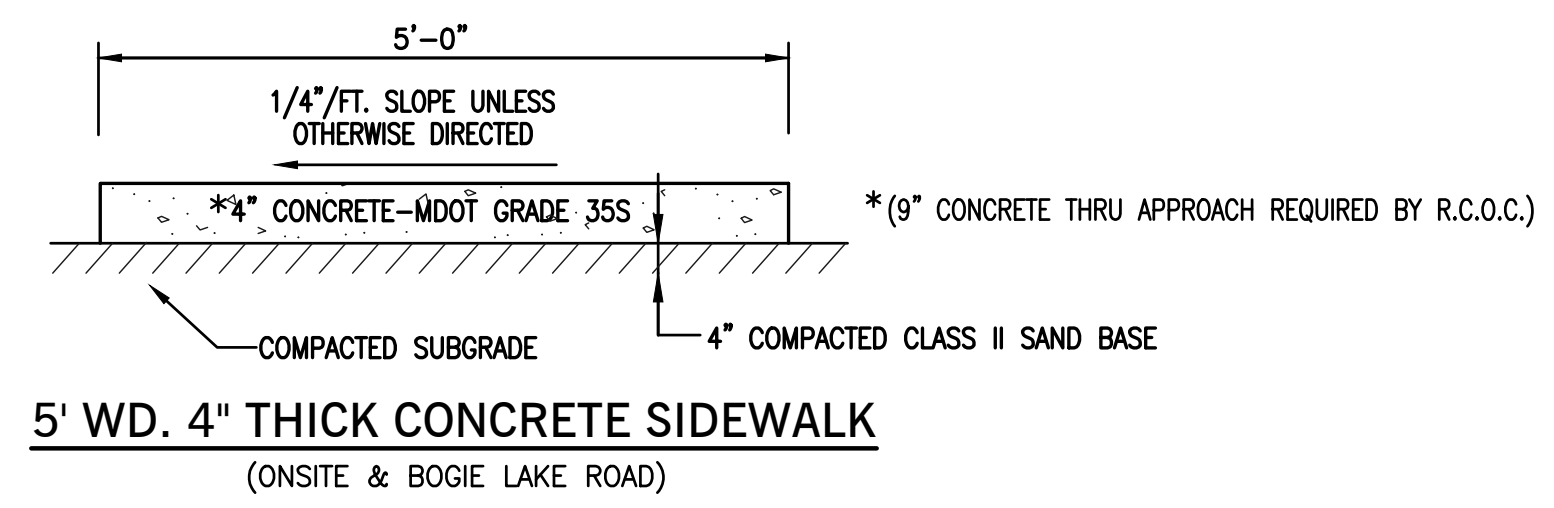
- These facilities include the following:
- Detention Basin
 - Pretreatment Structure Manholes
 - Manholes, Rear Yard Catch Basins, Leach Basins, End Sections & connecting pipe work
 - Rear yard swales (within easements)

The HOA shall hire a qualified contractor to do the following Maintenance Schedule (including report kept on record):

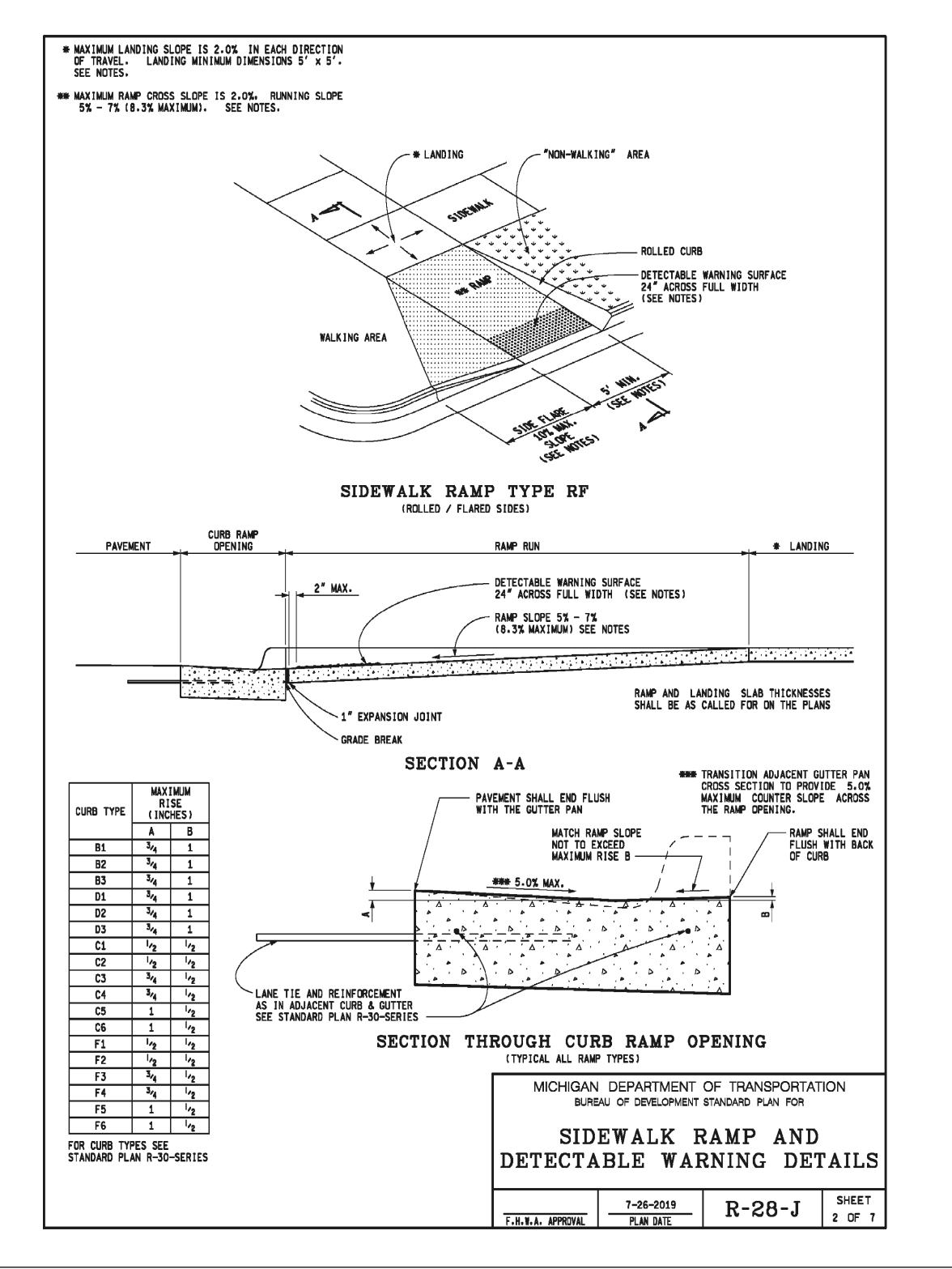
1. The (2) Pretreatment Structures shall be inspected by a qualified contractor on a semi-annual basis (twice/year) and necessary action taken to clean out the structures in accordance with the manufacturers guidelines.
2. The Detention Basin shall be inspected on any annual basis by a qualified contractor and/or civil engineer to insure it is functioning as designed.
3. The storm structures & swales shall be inspected on a bi-annual basis (every two years). This is an "above ground" visual inspection to determine if any structures are "failing", (i.e. ground has sank around structure, etc.).



TYPICAL ROAD SECTION "A-A"



NOTE: 4.5" ASPHALT
1 1/2" HMA 5E
3" HMA 3E
RS-1H OR SS-1H @ 0.10/GAL/SYD BETWEEN LIFTS OVER
10"-21AA AGGREGATE, RCOO MODIFIED (6.5" UNDER CURBS)



TOTAL SITE

RESIDENTIAL UNITS = 123 REU/UNIT = 123 REU'S

OVERALL SANITARY DESIGN

"AVERAGE FLOW"

123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS

332.1 PERSONS x 100 GPCD = 33,210 GPD = 0.03321 MGD

$\times 1.55 \text{ (conversion)}$

Q = 0.0515 CFS

"PEAK FLOW"

123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS/1000 = 0.3321 = P

Q = 100 x (18 + √P)/(4 + √P) = 405.93 GPCD

332 PERSONS x 405.93 GPCD = 134,769 GPD = 0.13477 MGD

$\times 1.55 \text{ (conversion)}$

Q = REQUIRED = 0.2089 CFS

NOTE: AN 8" TRUSS PIPE @ 0.40% CAN CARRY 0.765 CFS @ 2.19 FPS.

A 10" TRUSS PIPE @ 0.30% CAN CARRY 1.194 CFS @ 2.19 FPS.



Detention Basin Calculations & Details

"EDENDALE CROSSING" SITE CONDOMINIUM

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE N/A

SHEET 16 OF 17

KE 2025.010

KIEFT ENGINEERING, INC.

PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS

5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346

PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

PROPRIETOR:

PH COMMUNITIES, LLC

8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

January 7, 2026

**Preliminary Site Plan / Site Condominium / Planned Development Review
for
White Lake Charter Township, Michigan**

PROJECT SUMMARY

Applicant:	PH Communities LLC
Project Name:	Edendale Crossing
Plan Date:	July 2, 2025
First Revision:	September 19, 2025
Second Revision:	November 12, 2025
Third Revision:	December 18, 2025
Location:	Northwest corner of Bogie Lake Road and Cedar Island Road Parcel IDs: 12-29-476-016 through 12-29-476-024 (nine adjacent parcels total)
Action Requested:	Preliminary Site Plan / Site Condominium / Planned Development Approval

PROJECT NARRATIVE

On December 4th, 2025, the Planning Commission held a public hearing to review the Edendale Crossing planned unit development preliminary site plan. After consultant reviews, the public hearing was opened. Residents from the community expressed concerns regarding traffic, density of housing, and the development’s contrast in character to the surrounding area. After closing the public hearing, The Planning Commission acknowledged that the area is zoned residential and that there was a general expectation that it would be developed into housing but also expressed concerns with the project’s proposed density and layout. Commissioners agreed that the PD district was an appropriate mechanism to develop the site but that the site plan was not aligned with the character of the neighborhood. After deliberation, the Planning Commission voted unanimously to recommend denial of the preliminary site plan to the Township Board.

On December 19th, 2025, the applicant submitted a third revision of the preliminary site plan. The primary modifications to the plan are recorded throughout our updated review but also listed below:

- Reduction in single family unit count from 125 to 120.
- Increase of open space from 24% to 27%.
- Density reduction to 3.3 units per net acre from 3.4 units per net acre.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Senior Associate*
Richard K. Carlisle, *Past President/Senior Principal*

- Homes near the north entrance have been moved 70 feet back from the Bogie Lake ROW from the original 40 foot buffer.
- Homes near the south entrance have been moved 45 feet back from the Cedar Island ROW from the original 30 foot buffer. See notes in the Area, Width, Height, Setbacks portion of this review.
- Open space and passive recreation areas have been redesigned. Open space is no longer proposed along the western and northern borders of the development. The central open space has increased in size and now includes a playground and larger walking path. A small pocket park has been included in the northeast corner of the site near units 12 and 13.
- Mollygrace Lane has been eliminated.

The increase in setbacks from Bogie Lake and Cedar Island Roads, as well as the increase in open space and recreation areas better align with the site’s Master Plan subarea designation.

The applicant is requesting preliminary site plan approval as well as site condominium and planned development approval to construct a 120-unit site condominium using the Planned Development (PD) zoning option. The largest parcel included in the project is 34.76 acres and zoned AG, Agricultural (Five acre minimum lots). The eight remaining parcels are zoned R1-A, Single Family (One acre minimum lots). A rezoning application was submitted concurrently with the site plan. Review of rezoning criteria is provided in this report. Approval of the plan will require the condition that the lots be combined into one parcel. The resulting parcel would be 45.47 acres. This review will be conducted with the assumption the lot combination has been approved.

The PD District is intended to provide for the location and various types of planned land use on large parcels held in common ownership. Single family detached housing is allowed under the district uses. The PD district is intended to result in a unique, planned development that includes such techniques as open space preservation.

For PD developments, the Planning Commission holds a public hearing and recommends approval, conditional approval, or denial of the site plan to the Township Board. The Township Board then reviews the application and grants approval if the Board determines that the plan satisfies all requirements for preliminary plan approval. Development agreements are required for review prior to final site plan review by the Planning Commission. The Planning Commission approves or denies the final site plan and recommends approval or denial of the development agreement to the Township Board. The Township Board has final authority over the approval of the development agreement.

A Community Impact Statement (CIS) is required and provided in the application.

Items to be Address: Approval of the plan will require the condition that the lots be combined into one parcel.

SITE DESCRIPTION

Lot Area:	45.47 gross acres / 36 net acres
Frontage:	Approx. 809.9 feet along Bogie Lake / Approx. 1,375 feet along Cedar Island Road
Address:	Bogie Road Lot TBD / 5805 – 6605 Cedar Island Road
Current Use:	Vacant

Aerial image of the site



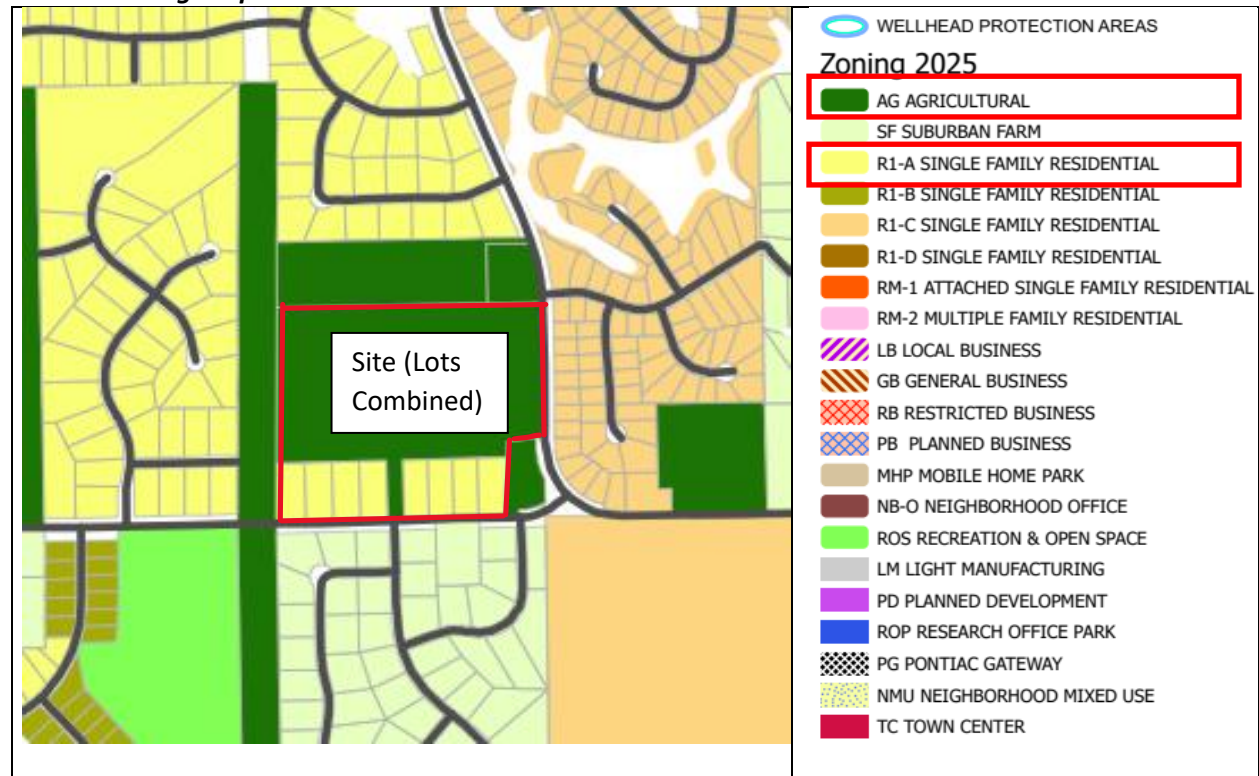
Source: NearMap July 2025

	North	East	South	West
Surrounding Zoning	AG, Agricultural	R1-C, Single Family Residential	Suburban Farm	AG, Agricultural
Surrounding Land Uses	Single Family Home / Landscaping Yard	Single Family Homes	Single Family Homes	Electrical Utility Lines

Future Land-Use Map	<i>Neighborhood Residential</i>	<i>Neighborhood Residential</i>	<i>Agricultural / Rural Residential</i>	<i>Agricultural / Rural Residential</i>
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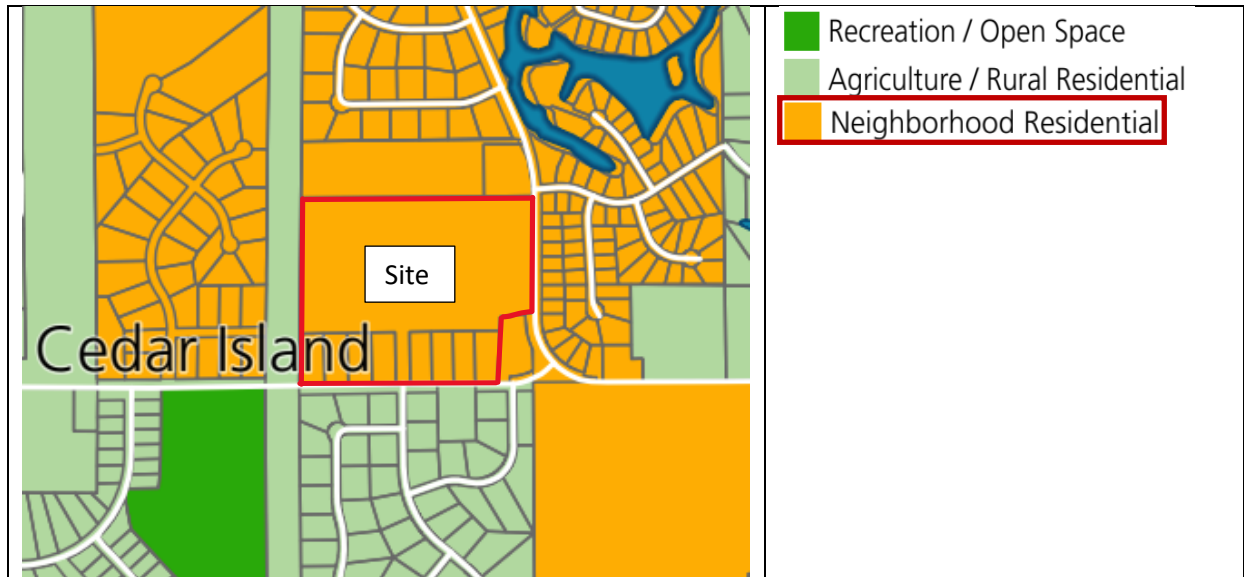
Current Zoning	<p>AG Agricultural / R1-A Single Family Residential</p> <p><i>AG: The Agricultural District is established as a district in which the principal use of land is for farming, dairying, forestry operations and other agricultural activities. The intent of this article is to protect land needed for agricultural pursuits from encroachment by untimely and unplanned residential, commercial or industrial development.</i></p> <p><i>R1-A: The Single-Family Residential Districts are established as districts in which the principal use of land is for single family dwellings, located in neighborhoods that include open space and that preserve sensitive natural environmental features.</i></p>
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Current Zoning Map



Future Land Use	<p>Neighborhood Residential</p> <p><i>Description: "Maintains existing neighborhoods and provides for denser residential development in places where there is infrastructure to support the density and ensuring density is within the context of the surrounding neighborhood."</i></p> <p><i>Example of Uses: "Small-lot single family, duplexes, multi-family, parks, convalescent or nursing homes"</i></p>
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Future Land Use Map



The zoning and Master Plan compatibility of the development is assessed in the Planned Development and Community Impact Statement portions of this review.

Item to be Addressed: Addressed in other portions of this review.

PLANNED DEVELOPMENT

Standards for PD projects are outlined in Section 6.7 of the zoning ordinance. This portion of the report will review those standards to identify any potential issues with the proposed development.

Sheet 3 of the site plan indicates the project will be implemented in two phases. Phase 1 will focus on portions of the site adjacent to Bogie Lake and Cedar Island Roads. Phase 2 fill out the northwestern portion of the site. Sheet 3 outlines the previous unit count for phasing and should be updated.

If the proposed development will be constructed in phases, only those phases that will be complete within two years shall be granted final approval by the Planning Commission. If deemed necessary for the protection of adjacent land uses, and/or proper development, the Township may condition approval upon a particular order of development when a phased approach is to be utilized in a planned development project. A schedule for the proposed phases is required.

Design Standards

Only single family residential is proposed within the site thus negating the requirement for buffer areas between uses.

Pedestrian pathways are provided along the Bogie Lake and Cedar Island roads as well as along both sides of internal streets. Several paths are proposed weaving between and behind units. The CIS states that walking trails adjacent to homes are desirable and considered a premium feature for buyers. About 20%

of the proposed homes would be adjacent to proposed trails.

The majority of passive recreation open space is provided behind units in the northwest portion of the site. Other open spaces are small parks, the detention area, and existing wooded areas through the central portion of the site.

Façade renderings and basic floor plans for housing units are shown on Sheet A-1. All models range between 2,100 sqft to 2,700 sqft and offer four bedrooms and two and a half baths. Two car attached garages are provided on all models. Brick and vinyl siding are the predominant exterior materials. The proportions of brick and siding proposed on the façade of the units is complementary, however it is recommended that the brick be included in similar proportions on the side/rear elevations as well.

Access to the site and utility assessments will be evaluated later in this report.

Compatibility to Master Plan

As noted earlier in this report, the proposed project area is designated as Neighborhood Residential on the 2024 Master Plan Future Land Use map. While this designation calls for dense development (2 to 8 units per acre), it also cites a need to ensure such density is in context with surrounding neighborhoods. Nearby developments do provide single family housing however lots range from approximately 15,000 square feet to 50,000 square feet in size. Density for this designation is outlined as two to eight units per acre. Corresponding zones are R1-C, R1-D, RM-1, RM-2, and PD.

The Housing section of the Master Plan does indicate that the Township needs new housing as existing stock ages. Reference is made to the need for “missing middle” housing which promotes a wide array of housing types (mostly attached single-family products).

The Goals and Objectives portion of the Master Plan offers insight on the future vision residents have for the Township. Top goals identified by residents related to preserving the community’s natural features, small town rural character, and providing multi-modal transportation. The site does not contain any major natural features however the plan does call for the retention of some of the site’s existing vegetation. The density proposed does not fit a small-town character and is more akin to denser suburbs. Few alternate transit options exist in the Township, however the site’s proximity to education facilities to the south offers an opportunity for bike and pedestrian connections that would allow non-vehicular access to nearby schools. The project does propose connecting the site to the Huron Valley School site as part of a community benefit.

The Action Plan portion of the Master Plan provides guidance on how to achieve the Township’s goals. The provision of new housing in the Township is a key topic in this section. Reference is made to providing more housing to meet demand, provide entry level/affordable housing to attract new residents, and support for aging-in-place and existing housing stock. The proposed development does offer additional new dwelling units to address demand and promote resident growth. The CIS references the taxable value of the homes being approximately \$250,000. This would indicate the total value of the homes would be around the \$500,000 amount. The CIS cites that smaller lots are more affordable and easier to maintain for busy families and retirees.

The proposed development offers more housing in a community and region that is currently experiencing

shortages. This both aides and challenges the community’s goals for additional housing in that the strong market is keeping existing and new unit values high. The density of the development does not match its surroundings however does meet some characteristics and needs outlined in the Master Plan. The Master Plan is clear in the goals of preserving natural features and providing adequate infrastructure to protect them. The site plan provides tree surveys including an inventory of existing trees and how many are to remain. However, the table indicating the total number of trees onsite is not clear. A table should be added to the site plan clearly stating how many trees are onsite and how many are to remain.

The proposed utility lines along Bogie Lake Road do align with the Master Plan’s community facilities goal of expanding water/sewer infrastructure throughout the Township. If this system will have additional capacity, this could be considered a public benefit for existing residents or future developments to utilize.

The area for the proposed development is identified in the Master Plan as one of three redevelopment sites. The primary considerations for this site in the plan are:

- The Development of single-family detached and attached dwellings with adequate area reserved for outdoor recreation for both active and passive activities.
- Setbacks from Bogie Lake Road would allow for a landscape zone with street trees and a shared pathway.
- The setback line for residential single-family homes would be 35 feet from the ROW.
- Access points on Bogie Lake Road and Cedar Island Road would serve an internalized street network, in order to reduce traffic.
- Residential densities along Bogie Lake Road would be one dwelling per acre. Internal residential development could be higher if developed adjacent to the recreation open space.

The current plan proposes high density through unit count and proposed lot standards as well as offers active and passive recreation. Lots are setback from Bogie Lake Road by no less than 70 feet. Single lot front yard setbacks are proposed to be 25 feet from the ROW.

The CIS provides the following information relating to compliance with the Master Plan:

“Edendale Crossing specifically meets the stated goals in the Master Plan including (1) the preservation of existing trees, woodlots, and natural features, (2) the creation of open space for active and passive recreation, (3) pedestrian connections to schools and off-site connections, (4) provides large setbacks, water features, and landscape at Bogie Lake Road to preserve the rural character, (5) the creation of new housing opportunities in the Township, and (6) the extension and improvement of community services such as utilities and road improvements.”

Additional information is provided in the CIS on pages 2 through 4 regarding the site plan and its relevance to the Master Plan, rural character, road frontage, and community benefits.

Neighborhood Residential on the future eland use map does call for denser residential development. The surrounding neighborhood does not directly reflect the level of density proposed. Water infrastructure does not currently exist in the area but is proposed to be extended by the applicant. The proposed extension of the sewer to the site is supported by the Sanitary Sewer Master Plan.

When referring to density, R1-C, R1-D, RM-1, RM-2, and PD are corresponding zoning districts for the

“Neighborhood Residential” future land use designation. The range of 2 to 8 units per acre is provided in the Cedar Island Road and Bogie Lake Road sub-area plan. The project does retain a traditional neighborhood design and lot size which allows for some natural area preservation and open space.

Community benefits are listed as:

Road Improvements that will benefit increase safety and ease turning movements for existing residents, Thompson Lane, and school bound traffic through the widening of the road to provide a consistent center turn lane as suggested by RCOC.

CWA Comment: These improvements would likely be required under a permitted by right R1-D development, however unlikely for an R1-A or AG permitted by right development.

The 1-mile extension of the Sanitary force main that delivers on the goals of the Master Plan through the expansion of infrastructure and enabling connection to existing residents along the route as well as future expansion north along Bogie Lake Road.

CWA Comment: This investment does align with the Sanitary Sewer Master Plan. This investment would also be necessary for a permitted by right dense residential development however the ability to serve future development or existing sites could be a community benefit.

Preservation of Natural Features including the preservation of existing regulated trees, hedge rows, and significant non-regulated trees and vegetation. This provides open space within the neighborhood, but more importantly maintains regional green corridors and tree canopy for animal habitat, bird migration, and general greening of White Lake Township.

CWA Comment: A permitted by right single family home residential development does not require open space or natural preservation.

Pavement extension of Cedar Island Road so that Cedar Island will now be paved from Bogie Lake Road to west of the proposed Edendale entrance.

CWA Comment: The paving of Cedar Island Road from the development entrance to Bogie Lake Road will improve and encourage the use of the south development entrance given most vehicles will be headed to Bogie Lake Road.

Sidewalk Connections to Lakeland Schools. Installation of sidewalks along the entire Bogie Lake Road and Cedar Island Road frontages including the extension of those sidewalks to the Bogie Lake / Cedar Island intersection and further south onto the school property to the existing parking lot for connection into the school campus that will allow greater walkability within the township and safe access to school for White Lake Township students.

CWA Comment: Sidewalks are required for all new developments and redevelopments in the Township. The pedestrian connection to the nearby school complex is not required and does offer non-motorized access to a facility residents will likely utilize. The implementation of the pathway will need to be coordinated with the school district and should be reoriented to not terminate into a parking lot. Pathways within the development not adjacent to roads are not required in

permitted by right projects.

Pages 8 and 9 outline the applicant’s specific elements of the PD proposal.

The Planning Commission will need to consider the site’s proposed layout, density, recreation space, pathway connections, and natural features protection and how they align with the Master Plan.

Land Use

Single family detached housing is the only use identified for the site which is permissible in the PD district.

Dimensional and Density Standards

Sheet PSP-2 provides two parallel plans. One plan depicts the site developed under the current zoning (R1-A and AG). The other shows the site developed under the R1-D zoning which is the most comparable to the level of density proposed in the preliminary plan. Under current zoning, the site could be developed into 12 lots, each with a single family home. The site developed under R1-D would allow for 109 lots, each with a single family home. Per the lack of regulated wetlands, major natural features, and no requirement for open space in permitted by right R1-D and Condominium developments, the proposed development footprints of the two parallel plans are valid.

Per the Master Plan Future Land Use designation, the R1-D zoning district is the relevant zoning designation to compare deviations to. Density and dimensional deviations are provided in the Area, Width, Height, Setbacks portion of this review. For reference, proposed density is 3.3 units per net acre while providing 27% open space. Density under R1-D would be 3 units per net acre with no requirement for open space.

Items to be Addressed:

- 1) *A schedule for the proposed phases is required. Sheet 3 outlines the previous unit count for phasing and should be updated.*
- 2) *The proportions of brick and siding proposed on the façade of the units is complementary, however it is recommended that the brick also be included in a similar proportion on the side and rear elevations.*
- 3) *A table should be added to the site plan clearly stating how many trees are onsite and how many are to remain.*
- 4) *The implementation of the pathway to the school complex will need to be coordinated with the school district and should be reoriented to not terminate into a parking lot.*
- 5) *A draft development agreement will be required during final site plan review.*
- 6) *The Planning Commission will need to consider the site’s proposed layout, density, recreation space, pathway connections, and natural features protection and how they align with the Master Plan and proposed community benefits.*

COMMUNITY IMPACT STATEMENT

Section 3.1.10 and 6.6 of the zoning ordinance outline the need for a Community Impact Statement (CIS) for Planned Developments and the like. A CIS for the proposed development dated December 18, 2025 has been included in the application and reviewed below.

Information is provided by the applicant as to the rationale for proposing only single family detached units in the project.

General

The CIS provides relevant information about the development regarding overall size, density, site amenities and woodland preservation. 120 single family homes are proposed resulting in a 2.6 unit per gross acre, 3.3 net acre density. Lots are smaller than permitted under the densest single family home zone (R1-D). Reference is made to the Master Plan and the redevelopment site referenced for the development area. This information is reviewed in the PD section of this report.

Community Facilities and Services

The applicant states the site is anticipated to add approximately 324 new residents and have a low impact on police and fire services. Increased calls to police are estimated to be six to eight per year with an additional 20 to 25 calls to fire/emergency services per year.

The project is proposing to extend an existing sanitary force main up Bogie Lake Road to the site as well as the installation of a pump station. We defer to Township Engineering on the specifications of this improvement however we note that it may only be considered a public benefit if there is additional capacity for neighboring uses or future development to utilize.

Primary axle loaded truck traffic is anticipated during construction but not upon completion. The statement indicates trucks will likely use M-59, a quarter mile to the north, to access and exit the community.

No other significant impacts or needs are anticipated for community services or facilities. One item for consideration is the anticipated traffic upon completion. Oakland County Road Commission (RCOC) has been consulted prior to preliminary site plan review and has provided unofficial conceptual acceptance of the proposed intersections and improvements at the Bogie Lake and Cedar Island Road entrances.

Economics

The site is anticipated to generate approximately 216 temporary jobs (construction) and no permanent jobs as a function of the development itself. Statistics are provided that state the construction investment and occupancy of the homes could support over 290 full time jobs. It is estimated that the proposed development will contribute roughly \$950,000 per year to White Lake Township and local schools from annual property taxes.

Environment

The site has gentle slopes and existing mature tree clusters. No wetlands or waterbodies are present. The CIS states that no major environmental impacts are expected per water, sewer, and stormwater infrastructure. Information is given on the impact the development will have on the site or its surrounding area. As noted in this review, a specific tree count for trees to be removed and to remain should be provided along with the existing tree surveys in the site plan.

Noise

Noise is anticipated during construction. After completion, noises common with residential developments are to be expected. The CIS states existing and proposed landscaping will assist in mitigating noises.

Traffic

A traffic impact study dated September 28, 2025 was provided in the application and is reviewed in detail in the Access and Circulation portion of this report. The TIS was based on the development's original layout and housing count of 125 units. The CIS states the traffic impact to Bogie Lake and Cedar Island roads would be minimal. Morning trips would increase by approx. 82 and evening trips would increase by approx. 111. The project does incorporate traffic improvements such as the paving of Cedar Island road from Bogie Lake Road to the developments access point, and the addition of a left hand turn lane and right hand taper lanes. The Road Commission of Oakland County approval of the access to Bogie Lake and Cedar Island Roads will be required.

Mapping

The overhead image provided in the CIS imprints the development into an existing satellite image.

Items to be Addressed: *All items to be addressed are noted throughout this review.*

REZONING

A rezoning to PD requires a site plan showing the specific use and layout of a proposed project. The applicant may request deviations from similar use standards, and the community may negotiate on and off site community benefits. Once approved, the site plan is the only permitted use of the land.

Section 7.13 of the White Lake Township Zoning Ordinance outlines the criteria the Planning Commission and Township Board are to utilize when assessing any petition for an amendment to the Official Zoning Map. Below is a review of the materials provided by the applicant as they relate to the proposed rezoning.

- 1) *Consistency with the goals, policies and future land use map of the White Lake Township Master Plan, including any subarea or corridor studies. If conditions have changed since the Master Plan was adopted, the consistency with recent development trends in the area.*

Applicant Response: Edendale Crossing is consistent with the goals and objectives of the White Lake Township Master Plan and its Future Land Use Map. The site is identified as a residential

Development Opportunity Zone and envisions a residential neighborhood with a density between 2 – 8 dwelling units per acre. We are offering single-family homes with 3.3 residences per net acre density.

CWA Comment: Provided in the PD review portion of this report.

- 2) *Compatibility of the site's physical, geological, hydrological and other environmental features with the host of uses permitted in the proposed zoning district.*

Applicant Response: The site is currently undeveloped with a former agricultural use. There are no wetlands or significant natural features on site other than existing trees and vegetation areas, most of which will remain. A stormwater detention basin will be located along Bogie Lake Road to provide a setback and landscape buffer to the road.

CWA Comment: Provided in the Natural Resources review portion of this report.

- 3) *Evidence the applicant cannot receive a reasonable return on investment through developing the property with one (1) of the uses permitted under the current zoning.*

Applicant Response: Rezoning AG land is required to develop residential neighborhoods consistent with the Master Plan and Future Land Use Plan. Using the PD option allows creative design techniques that preserve natural features and create open space, while the proposed 120 residences enable the costly extension of the sanitary force main to the northern end of the site.

CWA Comment: Agriculture and R1-A would not allow for a subdivision of this magnitude to be built. While the ROI on developing the site as zoned would not be comparable to 120 single family homes, other residential zones may offer more comparable ROI.

- 4) *The compatibility of all the potential uses allowed in the proposed zoning district with surrounding uses and zoning in terms of land suitability, impacts on the environment, density, nature of use, traffic impacts, aesthetics, infrastructure and potential influence on property values.*

Applicant Response: The Master Plan has designated this area to be a “more dense neighborhood residential area.” Edendale Crossing provides a high-quality neighborhood, compatible with nearby single-family neighborhoods. Neighborhoods immediate adjacent are buffered by an ITC corridor to the west and a commercial nursery and cell phone tower to the north, thereby providing separation from existing uses.

CWA Comment: Provided in the PD, Natural Resources, Area-Width-Height-Setbacks, Access and Circulation, and other portions of this review.

- 5) *The capacity of Township utilities and services sufficient to accommodate the uses permitted in the requested district without compromising the "health, safety and welfare" of the Township.*

Applicant Response: Edendale Crossing will not strain or place undue hardship on Township services, which are discussed in future sections of this report. Additionally, this project will extend the sanitary force main one mile, expanding the availability of sanitary sewer to the north.

CWA Comment: Provided in the Essential Services and Utilities portion of this review.

- 6) *The capability of the street system to safely and efficiently accommodate the expected traffic generated by uses permitted in the requested zoning district.*

Applicant Response: A detailed traffic Impact Study was completed by Fleis & Vandenbrink and has been submitted to the Twp for review. The TIS recommends center left hand turn and right-hand taper improvements which will enable the streets to operate at their same Level of Service or an improved Level of Service at AM, PM, and School PM peak periods. The Carlisle Wortman report considered moving the proposed Cedar Island entrance to the west to align with Mayfair Drive, however we do not feel that is warranted because although there is not a posted speed limit on Cedar Island Road (a dirt road), it is approaching the Bogie Lake Road intersection and is within a school zone, and therefore traffic moves at a slower rate of speed. Maintaining the entrance as proposed enables the applicant to extend pavement to the entrance seven hundred' west of Bogie Lake Road.

Additionally, the Road Commission of Oakland County (RCOC) has reviewed the plans and has provided design and location feedback that they will require. Those elements include the creation of a center turn lane on Bogie Lake that begins south of the proposed entrance and extends north of Tompson Lane as a means of providing safer travel for existing residents on Bogie Lake and the High School. Additional improvements have been added to the attached plans per the RCOC.

CWA Comment: Provided in the Access and Circulation portion of this review.

- 7) *The apparent demand for the types of uses permitted in the requested zoning district in relation to the amount of land in the township currently zoned and available to accommodate the demand.*

Applicant Response: There is a strong demand for housing in the Township and surrounding areas. The Master Plan has identified this and calls for denser housing developments. PH Homes has built many homes in White Lake Township over the last several decades and estimates a 2.5% - 5% growth in the demand for new and replacement homes in the Township over the next several years.

CWA Comment: There is strong demand for housing in the Township and region. The Master Plan designation of this area as redevelopment site indicates the anticipation of denser housing in this area of the community.

- 8) *The boundaries of the requested rezoning district are reasonable in relationship to its surroundings, and construction on the site will be able to meet the dimensional regulations for the zoning district listed in the Schedule of Regulations.*

Applicant Response: The use of the PD district is reasonable for the site to achieve the goals of the Master Plan. The proposed site plan provides all exterior boundary dimensional standards.

CWA Comment: The use of the PD district is reasonable for the site to achieve the goals of the Master Plan.

- 9) *The requested zoning district is considered to be more appropriate from the township's perspective than another zoning district.*

Applicant Response: The rezoning of the property is consistent with the uses promoted in the Master Plan and the proposed density is less than half of the density envisioned within the Master Plan.

CWA Comment: As noted in this review, the proposed density is higher than any permitted by right single family zoning district in the Township. Unless community benefits are provided and accepted by the Planning Commission and Township Board, R1-D may be a feasible district to pursue development under.

- 10) *If the request is for a specific use, is rezoning the land more appropriate than amending the list of permitted or special land uses in the current zoning district to allow the use?*

Applicant Response: Yes, the PD is consistent with the Zoning Ordinance and Master Plan.

CWA Comment: A text amendment to permitted and special uses is not more appropriate.

- 11) *The requested rezoning will not create an isolated and unplanned spot zone.*

Applicant Response: No, this will not create spot zoning. The area is predominantly single-family residential, and this will add to the fabric and character of White Lake Township.

CWA Comment: No PD zoning is nearby the site however single family residential uses are prominent in the area.

- 12) *The request has not previously been submitted within the past one (1) year, unless conditions have changed or new information has been provided.*

Applicant Response: Yes, a previous version of the plan was submitted for preliminary site plan recommendation to the Planning Commission. The Planning Commission voted positively to change the zoning to PD but voted not to recommend the previous plan for preliminary site plan approval. This application is seeking reconsideration of that motion based on the significant modifications made to the plan and submitted here.

CWA Comment: The Planning Commission recommended denial to the Township Board December 4th, 2025. The applicant is seeking reconsideration per elective modifications made to the plan.

- 13) *An offer of conditions submitted as part of a conditional rezoning request shall bear a reasonable and rational relationship to the property for which rezoning is requested.*

Applicant Response: This is not proposed as a Conditional Rezoning application.

CWA Comment: As noted in this review, rezoning to a PD requires a site plan showing the specific use and layout of a proposed project. The applicant may request deviations from similar use

standards and the community may negotiate community benefits. Once approved, the site plan is the only permitted use of the land.

14) *Other factors deemed appropriate by the Planning Commission and Township Board.*

Applicant Response: Not provided.

CWA Comment: Provided in this review.

Items to be addressed: *Items to be addressed regarding rezoning are covered throughout this review.*

NATURAL RESOURCES

Topography: Sheet 2 shows the existing site topography. The site has a gentle slope going east to west for two thirds of the site then sloping back down at the western end of the lot. Proposed grading will retain a slight rolling hill effect with steeper sloping near the detention basin, and northern portion of the site.

We defer to Township Engineering for any concerns with the proposed grading plans as well as any issues cited regarding stormwater management and natural environment protection.

Wetlands: Sheet 3 states no wetlands are onsite. EGLE wetland mapper confirms no wetlands are present on the lots.

Woodland: Mature woodlands cover the majority of the sites northeast and southeast corners. The center and western half of the site is relatively clear. The site plan states that a portion of the woodlands in the northeastern portion of the site and the area between units lining Edendale Lane and Mollygrace Lane will remain as open space/existing trees. While no count of trees to be removed was provided, 86 quality trees are to remain. It appears a large portion of existing trees will be removed for the proposed development.

The Community Impact Statement indicates that 27% open space will be maintained with a significant preservation of existing trees and natural features. Information on how existing trees will be protected during grading and construction is provided on Sheet L-4.

Soils: Soil survey maps indicate that spinks loamy sand, fix sandy loam, and ormas loamy sand soils are present.

Water: Site does not contain any natural water bodies. Sheet 3 states the site is not within any floodplain. Thompson Lake is approximately 430 feet northeast.

General Notes: The use of a PD district does allow for the consideration of requiring the preservation of natural features as a benefit to the development and community.



Source: Google Maps 2025

Items to be Addressed: Any cited concerns from Township Engineering.

AREA, WIDTH, HEIGHT, SETBACKS

Lot calculations and setbacks are provided on Sheet 3. Comparison tables between the proposed standards and R1-D standards is provided in the CIS. Standard bulk and lot regulations for the PD zoning district are set forth in Section 3.1.10. and Section 3.11. Notes on Sheet 3 provide proposed lot and setback information as well as one typical lot and development envelope layout.

Planned Development District Standards

Planned Development	R1-D Parallel Plan	Proposed PD	Deviation
Building Setbacks			
Front	30 feet	25 feet	5 foot reduction
Side	10 feet	10 feet	None
Rear	30 feet	30 feet	None
Wetland	N/A	N/A	N/A

Unit Lot Standards			
Minimum Lot Area	12,000 sqft	7,750 sqft (minimum), 8,651 sqft (average)	Approx. 3,349 - 4,250 sqft reduction
Minimum Lot Width	80 feet	62 feet	18 feet reduction
Maximum Lot Coverage	30%	33.5%	3.5% increase
Depth to Width	Approx. 2 to 1	Approx. 2 to 1	None
Planned Development	Required	Proposed	Deviation
Development Setbacks			
Front	40 feet	70 feet from Bogie Lake Road ROW (See notes below)	None
		45 feet from Cedar Island ROW (See notes below)	None
Side	25 feet each side	N/A	N/A
Rear	Determined by PC	0 feet at West Lot Line / 0 feet and 50 feet at North Lot Line	Determined by PC
Wetland	N/A	N/A	N/A
Density			
	Determined by Net Acreage / 3 units per acre	3.3 units per acre	.30 more units per acre
Lot Standards			
Minimum Lot Area	10 acres	45.47 gross acres	Yes
Minimum Lot Width	TBD	809.9 feet	TBD
Maximum Lot Coverage	TBD	TBD	TBD
Depth to Width	4 to 1	Less than 1 to 1	Yes
Building Height			
	30 feet or 2 stories	30 feet or 2 stories	None
Floor Area			
Two Story	1,500 sqft w/ 900 sqft first floor	Approx. 2,100 sqft to 2,700 sqft w/ 1,100 first floor	None

Setbacks are shown to be 0 feet and 50 feet along the north property line and 0 feet along the west property line from individual unit boundaries.

We do note that only two units' boundaries are 70 and 73.5 feet from Bogie Lake Road right of way. The majority of units along Cedar Island Road are setback 45 feet from the ROW, however units 49, 50, and 51 rear lot line encroach this setback.

Items to be Addressed: *Planning Commission to determine if requested district and development standard deviations are acceptable.*

ACCESS & CIRCULATION

Vehicle Access & Circulation

The site is accessed via a boulevard entrance off Bogie Lake Road and another off Cedar Island Road. 60 foot right-of-way streets are proposed throughout the development. Section 6.4 outlines standards for access management. Public roads in the Township are either the jurisdiction on Michigan Department of Transportation (MDOT) or Road Commission of Oakland County (RCOC). The Planning Commission may waive standards for access per Section 6.4.F however permits will be required from RCOC for the proposed access points. Below is a review of the proposed access points per the standards of the zoning ordinance.

Edendale Lane / Bogie Lake Intersection

A 45 mph speed limit requires that the proposed access drive should be 350 feet from driveways on the same side or opposite side of the road. This standard is not met in relation to the distance from the Thompson Lane / Bogie Lake Road intersection. A waiver is required from the Planning Commission per Section 6.4.F. RCOC approval shall also be required for the proposed access drive.

Edendale Lane / Cedar Island Intersection

Cedar Island is a dirt road. The site plan shows pavement being extended west to the proposed access drive intersection. The speed limit is unposted, and the area is somewhat rural so a 55 mph limit is assumed. This requires that the proposed access drive should be 455 feet from driveways on the same side or opposite side of the road. The distance between the proposed drive at Cedar Island Road and Carla Hills drive is 273 feet.

Per Sheet 3, it appears there is an opportunity that the Cedar Island boulevard access and Mayfair Drive could be aligned. This modification would likely put the access point in conformance with distance from existing drive regulations and put the intersection further from Bogie Lake Road. The CIS states the applicant does not feel this is warranted because the area along Cedar Island Road in question is a school zone and therefore traffic moves at a slower rate of speed. If this modification is not made, the proposed drive at Cedar Island will need a waiver from the Planning Commission per Section 6.4.F. RCOC approval will be required for the proposed access drive.

Dimensions for the boulevard access points are provided on Sheet 16. Per the design requirements outlined in table 6.4.C.X, the entrance drive width is sufficient however the exit drive is not wide enough and requires a waiver from the Planning Commission.

Traffic Study

The determination of need form submitted in the application provides guidance on the type of traffic study needed for certain developments. The form indicates that the site is expected to generate 750+ driveway trips per day. This warrants the submission of a Traffic Impact Study (TIS). A TIS dated September 28th, 2025 has been provided by FLEIS&VANDENBRINK.

The study was conducted during the school year and accounts for peak travel times for school activity. The Bogie Lake Road / Cedar Island Road intersection currently operates at grades “E, C, and D” for eastbound traffic and at grades “A and B” for northbound traffic. The development is expected to generate 1,258 average daily trips. Future operations estimate that the grades of service for the northbound traffic will remain “A and B” however the eastbound traffic grades will drop to “E, D, and F”.

The study concludes with a recommendation that exclusive left turn lanes and right turn lanes be incorporated into the Cedar Island approach to the Bogie Lake Road intersection. These improvements have not been incorporated into the project design. The project does propose adding a center turn lane to Bogie Lake Road from the south end of the Edendale Lane entrance north past the Thompson Lane intersection. Acceleration and deceleration lanes have also been added to Bogie Lake Road at the Edendale Lane entrance. These improvements are in response to preliminary notes provided by RCOC.

Per their preliminary review, RCOC has indicated that the location of the proposed development entrances in relation to existing intersections is acceptable.

Non-Motorized Access and Circulation

Sections 5.20 and 5.21 provide requirements for site sidewalks and pathways. Eight foot wide concrete paths are shown along Clear Island and Bogie Lake Roads. The pathways are predominantly outside of the ROW’s which will require the granting of easements to the Township. On Sheet 17, the developer has provided a safety path extension from the Edendale Lane / Cedar Island Road intersection to the Huron Valley School campus to the east. This would improve non-motorized connectivity and potentially reduce the amount of vehicle traffic during drop off / pickup times.

Internal sidewalks are shown along all streets as well as cross development pedestrian pathways. These sidewalks are required to be five feet wide as shown on Sheet 16.

Public Transit

No public transit is accessible near the site.

White Lake Township is served by the Western Oakland Transportation Authority which provides scheduled transportation for Township residents with specific needs.

Items to be Addressed:

- 1) *Township Engineering concerns.*
- 2) *Township Public Safety concerns.*
- 3) *The Road Commission of Oakland County approval of the access to Bogie Lake and Cedar Island Roads will be required.*
- 4) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Bogie Lake Road intersection and Thompson Lane / Bogie Lake Road intersection.*
- 5) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Cedar Island Road intersection and Carla Hills Drive / Cedar Island Road intersection.*

- 6) *Planning Commission will need to consider a waiver to allow the boulevard exit drives to be 21 feet wide instead of 22 feet wide.*
- 7) *Pathways are predominantly outside of the ROW's which will require the granting of easements to the Township.*

PARKING & LOADING

Section 5.11 outlines requirements for off-street parking. Sheet 3 states parking is provided via two garage spaces as well as driveway space for each unit. This meets the ordinance standards.

There are no loading zone requirements for single family developments.

Items to be Addressed: None

ESSENTIAL SERVICES & UTILITIES

The site is not currently served by water or sewer. To address density, the project proposes bringing a force main sanitary line up from south of the Lakeland High School site. This will require a pump station proposed in the northeast corner of the development near unit 18. A water main connection is proposed from existing water lines along Bogie Lake Road. We defer to Township Engineering on the feasibility and capacity of the design of the system.

No circulation plan was provided for emergency vehicles. Notes on Sheet 3 provide information regarding fire lanes and hydrant placement. We defer to Township Public Safety to determine the feasibility of site design and hydrant placement.

Items to be Addressed:

- 1) *Any cited concerns of Township Engineering.*
- 2) *Any cited concerns of Township Public Safety.*

LANDSCAPING & SCREENING

The applicant has provided a landscape plan on Sheets L-1, L-2, and L-3. Landscaping plans are required at final site plan review.

Section 5.19.D provides requirements for screening along property lines as it relates to adjacent districts and is reviewed below.

Greenbelts

Property Line	Required	Provided	Compliant
North (AG)	Landscaping, Berms, Obscuring Fencing, and/or Screen Wall 53 deciduous trees, 53 evergreen trees, 424 shrubs	31 existing trees, 15 deciduous trees, 9 evergreen trees, and surrounding brush vegetation.	No / Waiver Requested
East (ROW)	Greenbelt 23 trees and 184 shrubs	29 trees and 228 shrubs	Yes
South (ROW)	Greenbelt 44 trees and 352 shrubs	78 trees, 28 existing trees, 300 shrubs, and existing brush vegetation	No / Waiver Requested
West (AG / ITC Corridor)	Landscaping, Berms, Obscuring Fencing, and/or Screen Wall 43 deciduous Trees, 43 evergreen trees, 344 shrubs	No new plantings / No major existing vegetation	No / Waiver Requested

The landscaping plan states the installation of required screening along the North and South property lines would disturb the existing trees and is not recommended. No landscaping is provided along the west property line per the ITC Corridor. However, west of the ITC lines is a R1-A zoned residential development of which the ITC lines will not obscure view from.

The landscaping plan states that existing vegetation along the property’s north and south lot lines will serve as site screening. Additional screening in the way of new landscaping has been included along the western ends of the north and south lot lines to enhance visual shielding from existing neighboring uses. An aerial of the site is provided below for reference.



Source: Google Maps 2025

Interior Landscaping

Interior landscaping is not required for condominium developments.

Residential Entrance Landscaping

Standards for residential development entryways is outlined in Section 5.19.F. The Bogie Lake entrance Meets plant count requirements. Landscaping is present along the first 150 feet of the entrance roadway however plant counts are not provided to determine if the standard has been met.

The Cedar Island entrance fulfills all plant count requirements however two trees required for the drive island have been moved to the curbside due to size constraints. Landscaping is present along the first 150 feet of the entrance roadway however plant counts are not provided to determine if the standard has been met.

Minimum Plant Size and Species

The proposed plantings and species meet the requirements of Section 5.19.H.

Mechanical Equipment Screening

Per the proposal to bring water and sewer in to service the site, a pump station, transformer, and generator are proposed at the sites northeast corner. There is no new landscaping proposed to screen this equipment however per Section 5.19.N.ii.a, the equipment must be screened.

Items to be Addressed:

- 1) Landscaping requirement calculations for the development entryways should be added to the site plan.
- 2) Planning Commission to consider waiving requested greenbelt landscaping deviations along the West, North, and South property lines.
- 3) Landscaped screening must be provided for the water/sewer equipment proposed in the northeast corner of the site per Section 5.19.N.ii.a

PERFORMANCE STANDARDS

No issues are anticipated regarding performance standards outlined in Section 5.18. Sheet 3 indicates that no street lighting is proposed and that individual dwelling unit lighting will be provided. The Township has the ability to require lighting where it deems it is necessary for safety and security.

Lighting requirements are reviewed during final site plan review.

Items to be Addressed: None

SIGNAGE

Sheet L-4 provides specifications for monument signage proposed at the Bogie Lake Road and Cedar Island Road entrances. Stone veneer is the predominant finish for the sign. Signs are administratively reviewed by the Township.

Items to be Addressed: None.

ARCHITECTURE & LAYOUT

Site layout and unit architecture is discussed in other portions of this review.

Items to be Addressed: Addressed in other portions of this review.

CONDOMINIUM DOCUMENTS

Draft master deeds are required for final site plan review. Section 6.1.F outlines regulations for condominium development designs. Standards relevant to zoning and site design are reviewed below. We defer to Township Engineering for items referring to utility layout and capacity.

Streets

Sheet 3 states that all internal roads are to be private. A separate application to the Township requesting the roads be private must be provided. Street designs are compliant however we defer to Township Engineering regarding technical aspects of the proposed streets.

Blocks

Blocks, streets, and pedestrian designs conform to requirements.

Easements

As noted earlier in this report, easements will be needed for portions of the pathways along Bogie Lake and Cedar Island Roads. No public facilities are offered within the development. We defer to Township Engineering regarding the proposed water/sewer utilities along Bogie Lake Road and the necessary easements to ensure the Township has access.

Condominium Lots

As noted earlier in this review, the proposed density for the site is 3.3 units per acre utilizing approximately 62 foot wide, 8,651 square foot lots (average size lot). Section 6.1.F.iv states that condominium lots shall be appropriate for the location and the type of development contemplated. Lots of these sizes and proportions are not permitted in the Township under conventional single-family zoning districts. This consideration is discussed more in depth in the Planned Development portion of this review.

Corner lots are to be 20 feet wider than a standard lot. The development proposes to offer approximately 15 to 22 foot wider corner lots. Condominium layout requirements state front-to-front lot orientation shall be utilized where possible. The proposed layout accomplishes this standard along most streets. However, there are several corner lots throughout the development which given the reduced lot size and setbacks, could put the side and rear walls of adjacent homes 40 feet from each other. Decks, patios, and backyard utilization should be contemplated when considering the request for corner lot setbacks and lot sizes.

Public Dedications

The site is not offering any public amenities such as parks or schools.

Trees and Natural Features

As noted in the Natural Features and Landscaping portions of this review, the development is proposing to persevere existing trees along the eastern half of the north and south property line as well as down the middle of the development between dwelling units. Removal of remaining trees must be justified to the Planning Commission. The PD zoning allows the Township flexibility to require additional preservation and necessary protection for trees to remain during construction as this could be considered a public benefit.

Condominium Documents

A draft master deed shall be provided during final site plan review

Items to be Addressed:

- 1) *Concerns cited by Township Engineering.*
- 2) *Concerns cited by Township Counsel.*
- 3) *A private road application is required.*
- 4) *Planning Commission to consider waiving the requirement that corner lots be 20 feet wider than a standard lot. The development is proposing to offer approximately 15 to 22 foot wide corner lots.*
- 5) *A draft master deed will be required during final site plan review.*

SUMMARY

The Planned Development preliminary site plan is substantially complete and should be placed on a Planning Commission agenda. A public hearing is required for the review of all PD projects.

Below are potential conditions for items that should be addressed in the final site plan, and waivers/modifications/determinations the Planning Commission and Township Board will need to consider.

Waivers / Modifications / Determinations

- 1) *The Planning Commission will need to consider the site's proposed layout, density, recreation space, pathway connections, and natural features protection and how they align with the Master Plan and proposed community benefits.*
- 2) *Planning Commission to determine if requested district and development standard deviations are acceptable.*
- 3) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Bogie Lake Road intersection and Thompson Lane / Bogie Lake Road intersection.*
- 4) *The Planning Commission will need to consider a waiver from the opposite side driveway distance between the Edendale Lane / Cedar Island Road intersection and Carla Hills Drive / Cedar Island Road intersection.*
- 5) *Planning Commission will need to consider a waiver to allow the boulevard exit drives to be 21 feet wide instead of 22 feet wide.*
- 6) *Planning Commission to consider waiving requested greenbelt landscaping deviations along the West, North, and South property lines.*
- 7) *Planning Commission to consider waiving the requirement that corner lots be 20 feet wider than a standard lot. The development is proposing to offer approximately 15 to 22 foot wide corner lots.*

Potential Conditions

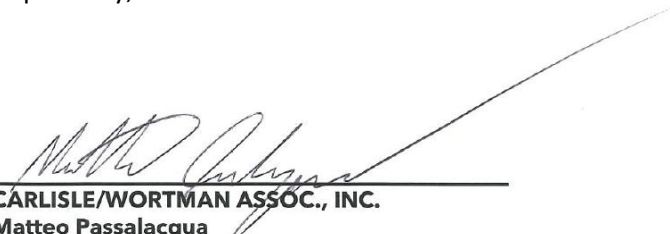
- 1) *Any cited concerns from Township Engineering.*
- 2) *Any cited concerns from Township Public Safety.*
- 3) *Any cited concerns from Township Counsel.*

- 4) *A schedule for the proposed phases is required. Sheet 3 outlines the previous unit count for phasing and should be updated.*
- 5) *A table should be added to the site plan clearly stating how many trees are onsite and how many are to remain.*
- 6) *The implementation of the pathway to the school complex will need to be coordinated with the school district and should be reoriented to not terminate into a parking lot.*
- 7) *The Road Commission of Oakland County approval of the access to Bogie Lake and Cedar Island Roads will be required.*
- 8) *The proportions of brick and siding proposed on the façade of the units is complementary, however it is recommended that the brick also be included in a similar proportion on the side and rear elevations. This may be addressed at final site plan review.*
- 9) *Landscaped screening must be provided for the water/sewer equipment proposed in the northeast corner of the site per Section 5.19.N.ii.a.*
- 10) *Landscaping requirement calculations for the development entryways should be added to the site plan.*

Items to be addressed at Final Site Plan Review

- 1) *Final approval of the plan will require the condition that the lots be combined into one parcel.*
- 2) *A draft development agreement will be required during final site plan review.*
- 3) *Pathways are predominantly outside of the ROW's which will require the granting of easements to the Township.*
- 4) *A draft master deed will be required during final site plan review.*
- 5) *A private road application is required.*

Respectfully,



CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner



Fire Department
Charter Township of White Lake

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 01-07-2026

Project: Edendale Crossing

Job #: 2025.010

Date on Plans: 12-18-2025

The Fire Department has the following comments with regards to the 4th review of preliminary site plans for the project known as Edendale Crossing

1. The access drive and parking lot shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities.
2. The required turning radius shall accommodate the largest Fire Department apparatus (40') and provide a turn radius profile throughout entire plan showing apparatus movement on future plans.
3. The angle of approach/Departure to and from White Lake roads shall not exceed 8 degrees.
4. Where fire hydrants or fire department connections are subject to impact by a motor vehicle, guard posts or other approved means shall comply with section 312.
5. All fire lanes shall be conspicuously posted with uniform "NO PARKING FIRE LANE" signs as prescribed by the fire code official. The location and spacing of the signs, mounted or erected, shall be as directed by the fire code official.

Jason Hanifen
Fire Marshal
Charter Township of White Lake
(248)698-3993
jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2021 Edition and Referenced NFPA Standards.

SITE PLAN

"Edendale Crossing"

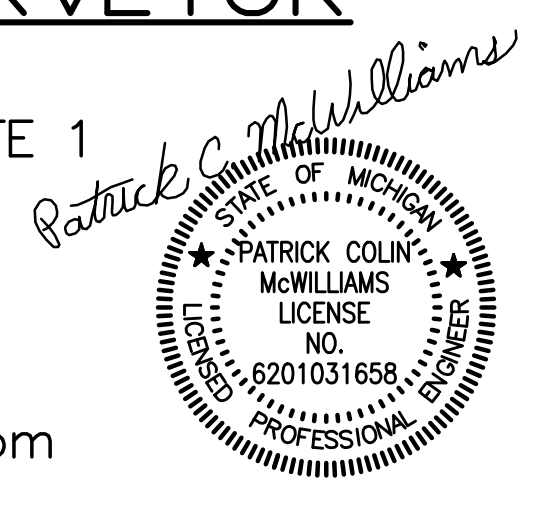
SITE CONDOMINIUM

PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E,
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN,

NOTE:
THE CONDOMINIUM ASSOCIATION WILL BE RESPONSIBLE
FOR MAINTAINING THE STORM SEWER SYSTEM

ENGINEER & SURVEYOR

KIEFT ENGINEERING, INC.
5852 SOUTH MAIN STREET, STE 1
CLARKSTON, MICHIGAN 48346
Phone (248) 625-5251
Fax # (248) 625-7110
Attn: Patrick McWilliams
Email: pmcwilliams@kieferteng.com



LANDSCAPE ARCHITECT

J EPPINK PARTNERS, INC.
27 SOUTH SQUIRREL RD. - STE 104
AUBURN HILLS, MICHIGAN 48326
Phone (248) 922-0789
Attn: Jim Eppink
Email: jim@jeppink.com

PROPERTY DESCRIPTION

PARCELS 12-29-476-016 thru 12-29-476-024:
PROPOSED PARCEL COMBINATION DESCRIPTION:
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT POINT ON THE SOUTH LINE OF SAID SECTION 29, SAID LINE ALSO BEING THE CENTERLINE OF CEDAR ISLAND ROAD, VARIABLE WIDTH, LOCATED S 89°50'00" W 244.18 FEET ALONG SAID SOUTH LINE FROM THE SOUTHEAST CORNER OF SECTION 29, T3N, R8E; THENCE CONTINUING ALONG SAID SOUTH LINE S 89°50'00" W 1379.73 FEET; THENCE N 01°23'00" E 1297.00 FEET; THENCE S 89°55'52" E 1609.36 FEET TO THE EAST LINE OF SAID SECTION 29, SAID EAST LINE ALSO BEING THE CENTERLINE OF BOGIE LAKE ROAD, VARIABLE WIDTH; THENCE ALONG SAID EAST LINE S 00°44'40" W 809.90 FEET; THENCE S 84°04'15" W 226.85 FEET; THENCE S 03°06'02" W 458.08 FEET TO SAID SOUTH LINE OF SECTION 29 AND TO THE POINT OF BEGINNING. CONTAINING 45.47 ACRES. SUBJECT TO RIGHTS-OF-WAY FOR CEDAR ISLAND AND BOGIE LAKE ROADS. ALSO SUBJECT TO ANY OTHER RIGHTS-OF-WAYS, RESTRICTIONS AND EASEMENTS OF RECORD.

NOTES:

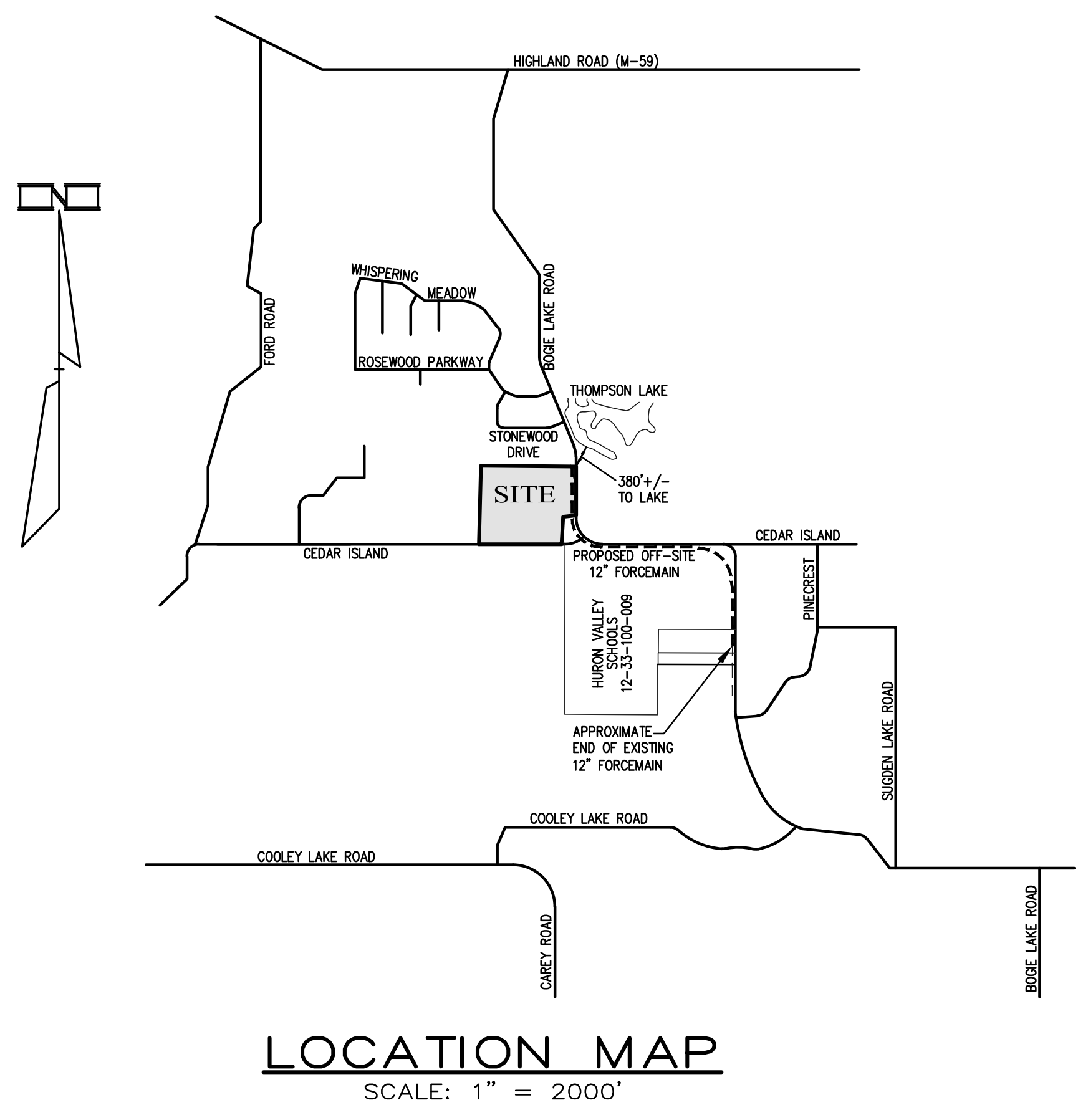
- "THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT".
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SOIL EROSION CONTROLS.

PROPRIETOR/BUILDER

PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
Phone (248) 242-6838
Contact: Craig Piasecki
Email: craigp@myphhome.com

SHEET INDEX

- PSP-1 PRELIMINARY SITE PLAN SUMMARY
- PSP-2 PARALLEL PLAN & ANALYSIS
 - 1) COVER SHEET
 - 2) EXISTING CONDITIONS PLAN - OVERALL
 - 3) OVERALL SITE PLAN & NOTES
 - 4) SITE PLAN - NORTHEAST
 - 5) SITE PLAN - SOUTHEAST
 - 6) SITE PLAN - SOUTHWEST
 - 7) SITE PLAN - NORTHWEST
 - 8) BOGIE LAKE ROAD ENTRANCE PLAN
 - 9) CEDAR ISLAND ENTRANCE PLAN
 - 10) OFF-SITE STORM SEWER OUTLET PLAN & PRETREATMENT STRUCTURES
 - 11) OFF-SITE SANITARY FORCEMAIN PLAN - OVERALL
 - 12) OFF-SITE SANITARY FORCEMAIN PLAN - SOUTH CONNECTION
 - 13) OFF-SITE SANITARY FORCEMAIN PLAN
 - 14) OFF-SITE SANITARY FORCEMAIN PLAN
 - 15) OFF-SITE SANITARY FORCEMAIN PLAN
 - 16) OFF-SITE SANITARY FORCEMAIN PLAN
 - 17) OFF-SITE SANITARY FORCEMAIN PLAN - NORTH PUMP STATION & TREE CHART
 - 18) DETENTION BASIN CALCULATIONS & DETAILS
 - 19) CEDAR ISLAND ROAD & WHITE LAKE MIDDLE SCHOOL SIDEWALK PLAN
- L-1 COMMON AREA LANDSCAPE PLAN
- L-2 LANDSCAPE PLAN - ENTRANCE & SCREENING
- L-3 LANDSCAPE PLAN - ENTRANCE & SCREENING
- L-4 LANDSCAPE DETAILS & PLANT LIST
- A-1 PRELIMINARY ARCHITECTURE



REVISION INDEX

REV. #	DESCRIPTION	DATE	SHEET NUMBERS																		
			1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19
1	PER DLZ (8-26-2025)	9-19-2025	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
2	PER RCOC MTG (10-27-2025) PER DLZ (10-15-25)	10-29-2025	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
3	PER CLIENT/PLANNER (11-7-2025)	11-12-2025	X		X	X	X	X	X	X								X	X		
4	PER P.C. MEETING (12-4-25), & CLIENT (12-12-2025)	12-18-2025	X		X	X	X	X	X	X								X	X		

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J EPPINK PARTNERS, INC
Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
Suite 104
Auburn Hills, MI 48326
248.922.0789

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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

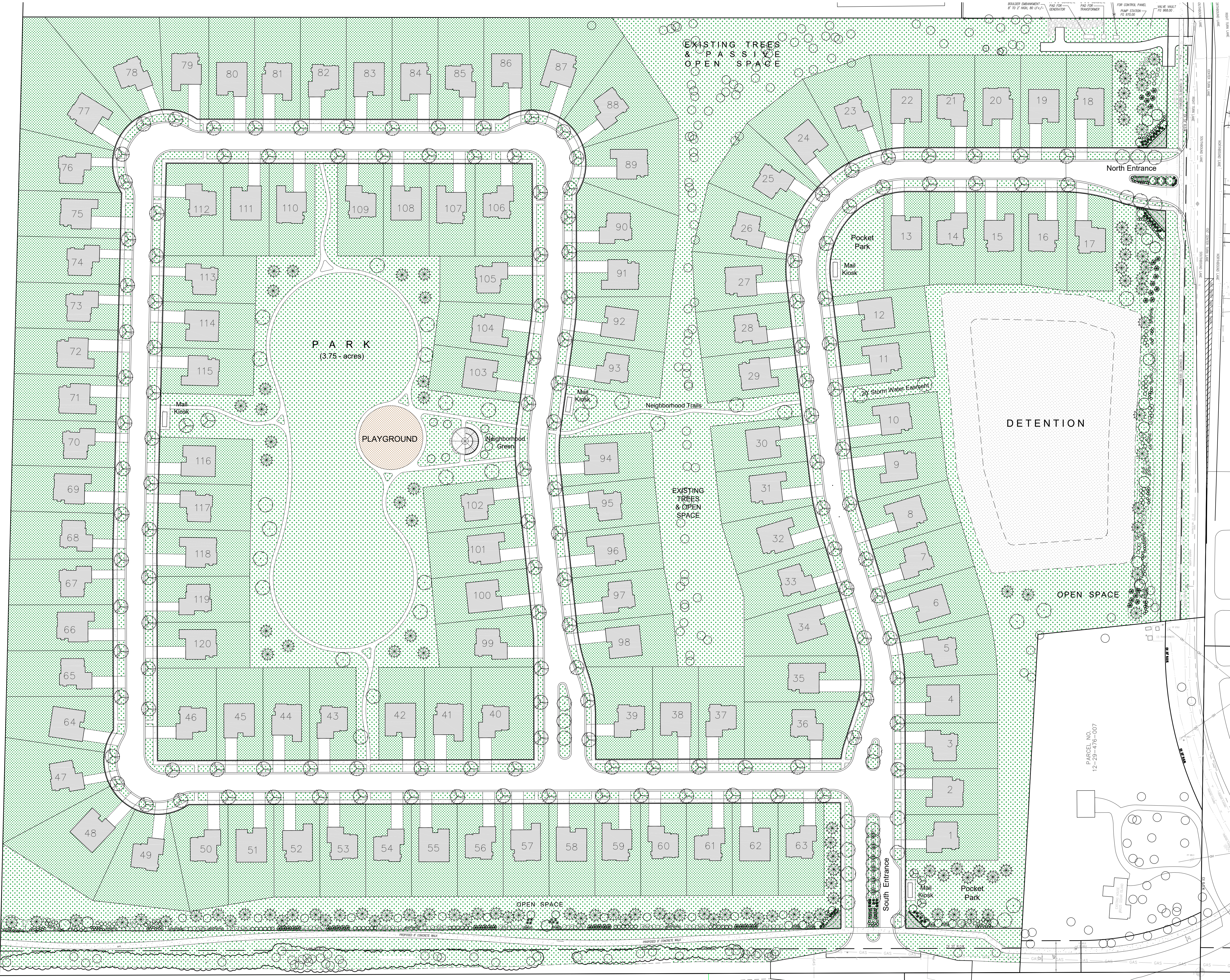
Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Preliminary Site Plan Summary

Issues / Revisions:
Site Plan Update 12-15-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked by:
JTE
Date:
December 18, 2025
Scale:
Scale: 1" = 60'

Not for Construction
Sheet
PSP-1 224

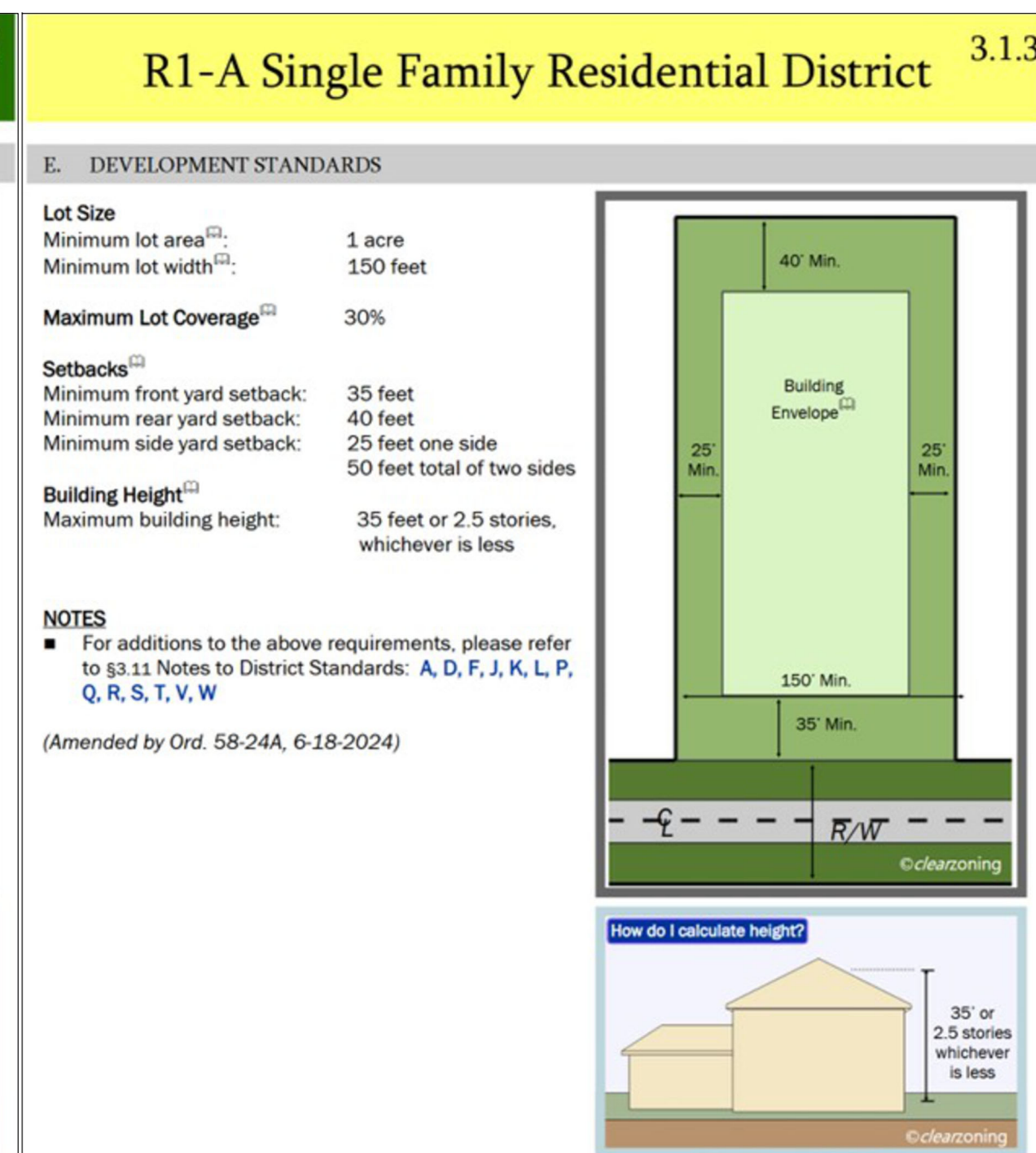
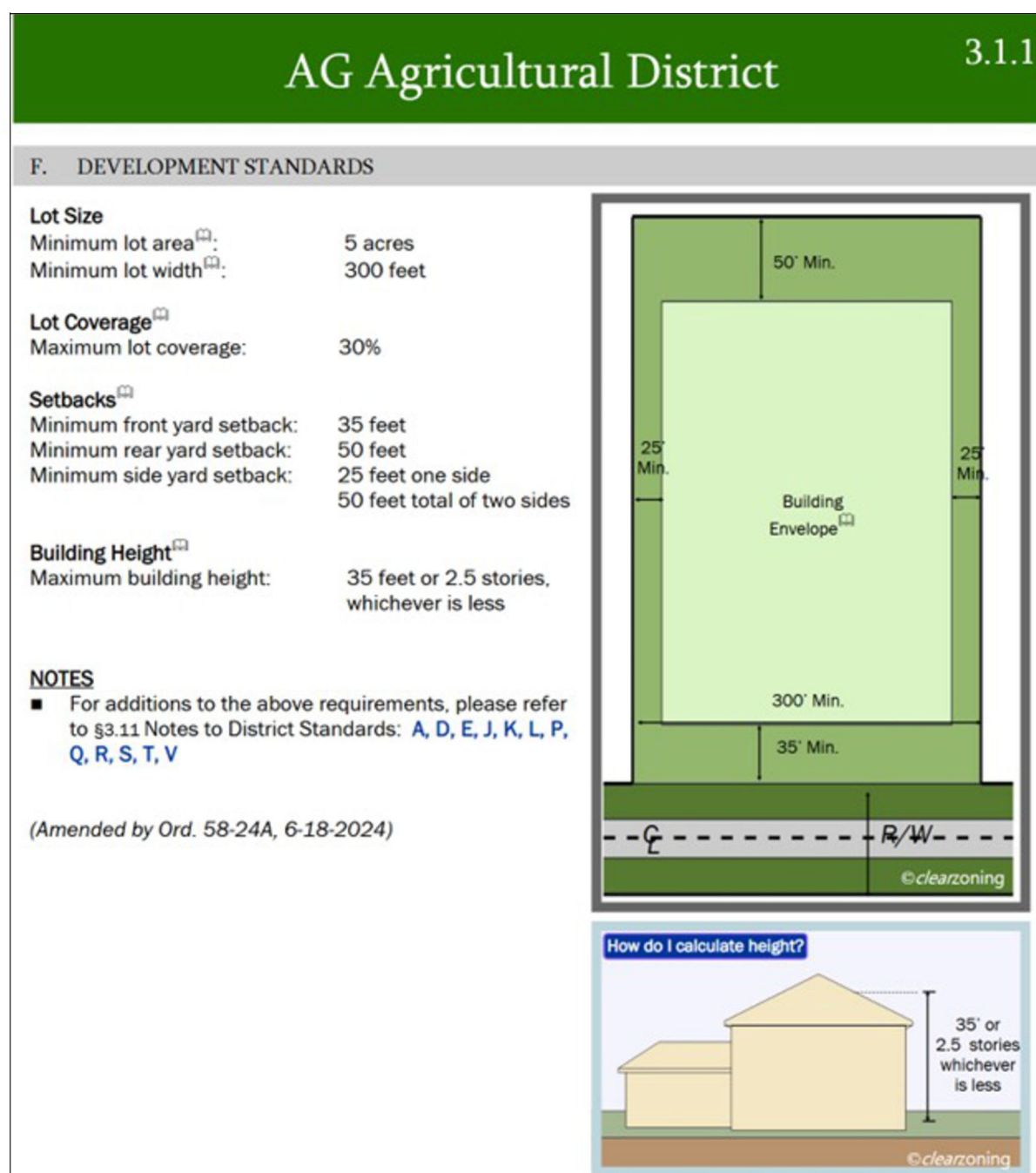
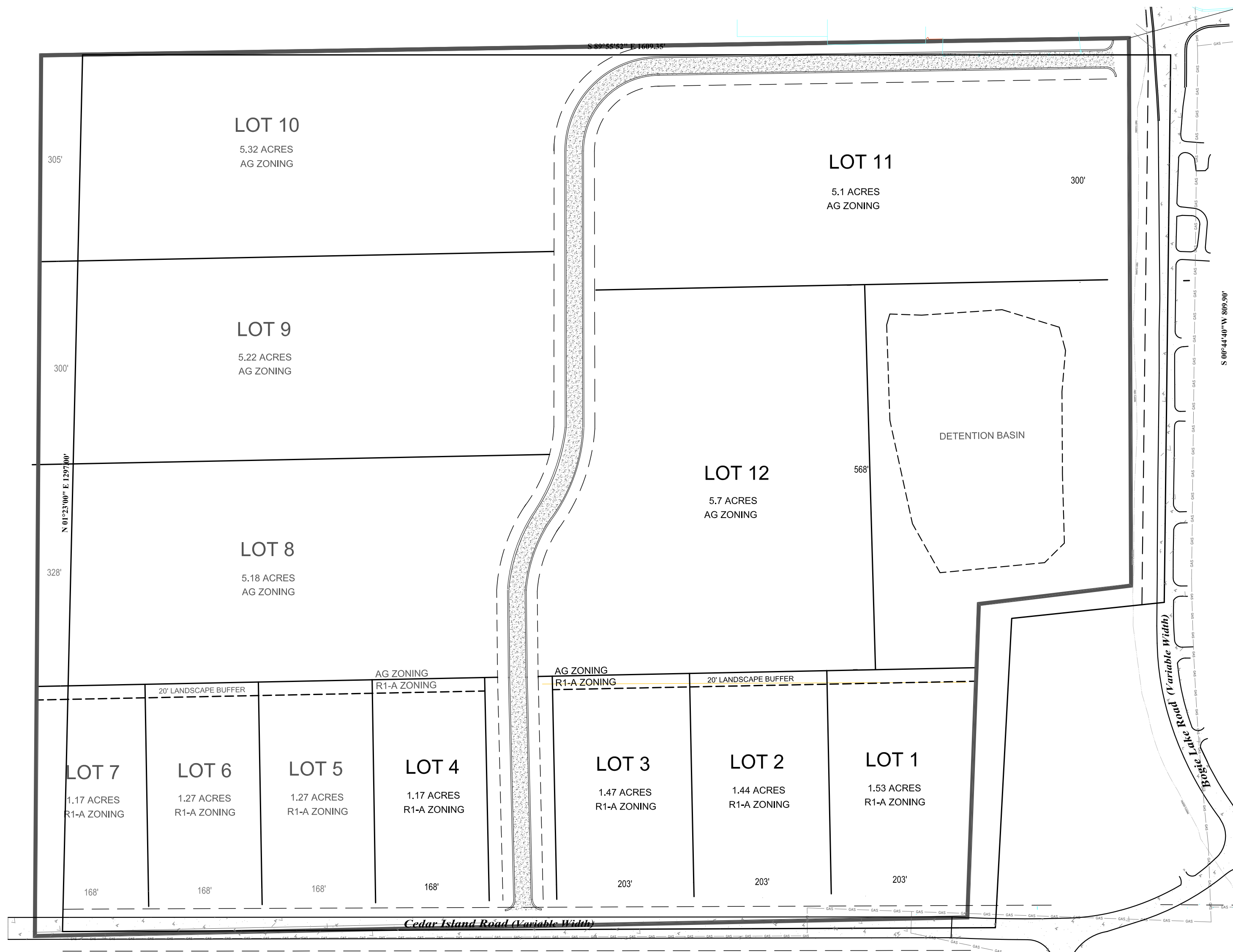


BOGIE LAKE ROAD

CEDAR ISLAND ROAD

SITE DATA	
Parcel Size :	45.47 acres Gross
Parcel Size :	36.02 acres Net
Current Zoning :	AG + R1-A
Proposed Zoning :	PD (Planned Dev.)
Master Plan Use :	Neighborhood Res. Permits: small lot single-family, duplex, & multi family (R1D / RM1 / RM2)
Proposed Density :	120 Residences 3.3 DU / NET AC (Total Site area less road easements, detention, & utility easements 45.47 ac - 9.45 ac = 36.02 ac / 120 = 3.3)
Proposed Open Space :	9.77 acres 27% Open Space
Roads :	60' ROW (28' back of curb)

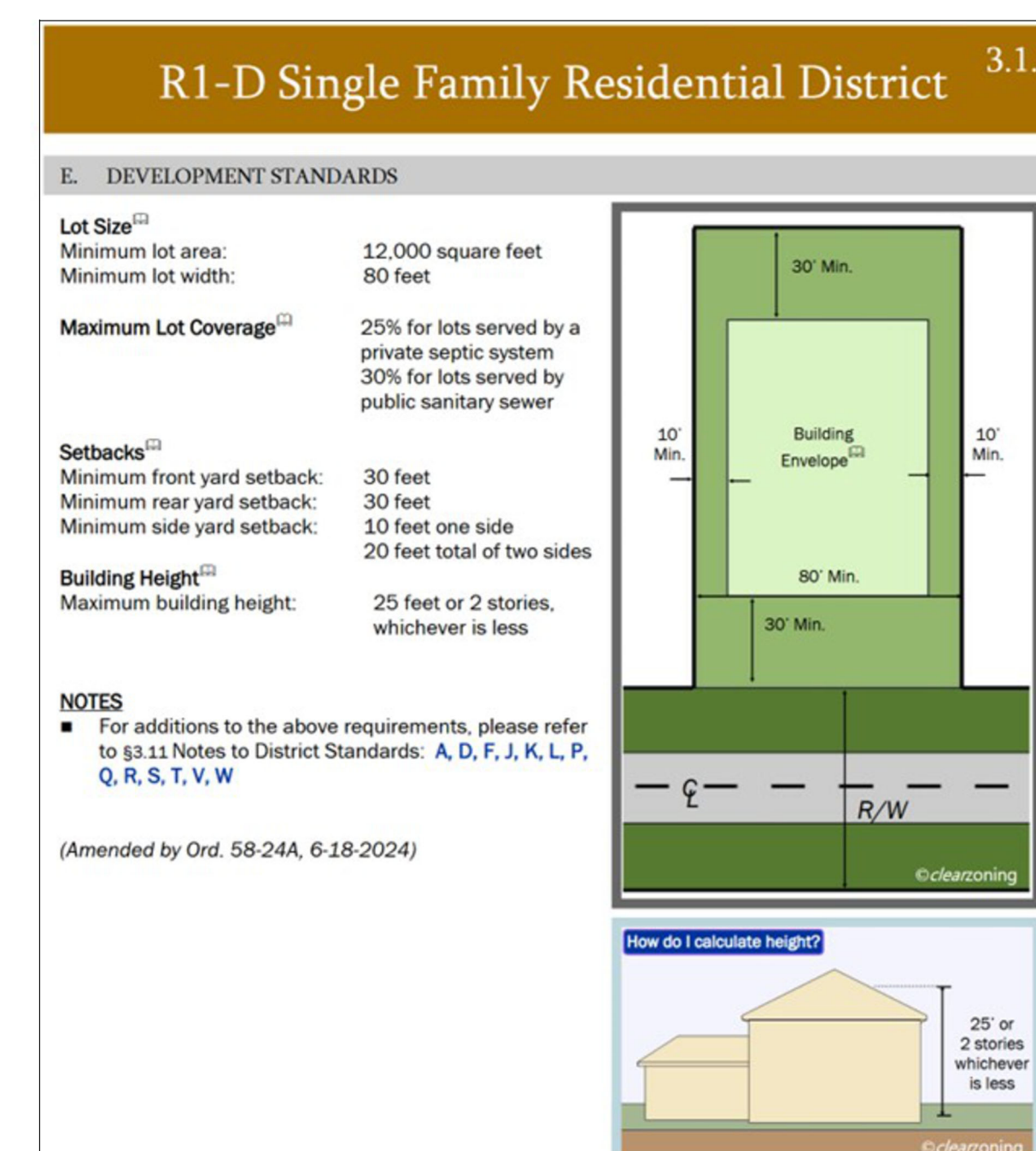
Community Walking Path. Exact Location to be Determined in Field During Construction



EXISTING AG & R1-A ZONING : PARALLEL PLAN

34.79 acres = AG, Agricultural (allows 5-acre lots)
10.71 acres = R1-A, Single Family (allows 1-acre lots)

A conceptual site plan (parallel plan) using AG and R1-A zoning standards permits 12 residential lots



R1-D ZONING : PARALLEL PLAN

45.47 acres = R1-D Zoning (as indicated by the White Lake Twp Master Plan)

A conceptual site plan (parallel plan) using R1-D zoning standards permits 109 residential lots assuming private septic systems per lot

A conceptual site plan (parallel plan) using a combination of R1-C, R1-D, RM, & RM2 zoning standards would permit a substantially greater number of residential dwellings than depicted here. These alternate zoning districts, envisioned within the Master Plan as appropriate for this location, would permit more density than the R1-D zoning classification.

R1-D ZONING : PARALLEL PLAN

The White Lake Township Master Plan identifies the subject site, located at Bogie Lake Road and Cedar Island Road as one of three "Development Opportunities" within the Township.

The Township's Future Land Use Plan designates the subject site as "Neighborhood Residential" which is defined as:

A district that "maintains existing neighborhoods and provides for denser residential development in places where there is infrastructure to support the density and ensuring density is within the context of the surrounding neighborhood"

Example of Uses include "Small-lot single-family, duplexes, multi-family, parks, and convalescent or nursing homes".

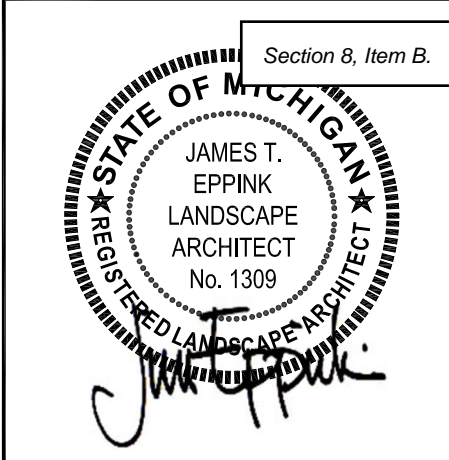
The Neighborhood Residential designation within the Master Plan calls for:

- "Dense Development"
- A permitted density of two - eight (2 - 8) units per acre
- Indicates R1-C, R1-D, RM, RM-2, and PD are appropriate zoning classifications for this area

The Community Goals within the Master Plan call for:

- Preservation of natural features
- Provide for adequate infrastructure expansion
- Enhance pedestrian circulation and connection to nearby schools
- Provide new housing types to meet demand within the Township
- Provide passive or active recreation

R1-D development standards provide approximately 109 dwelling units based on the parallel plan. However, developing the property under the permitted PD process enables PH Homes to incorporate additional important features and community benefits including the extension of the sanitary sewer force main to the northern boundary of the property, preserving natural woodlots and hedgerows within the site, maintaining more than 20% neighborhood open space and trails, creating pedestrian pathways and connections to the nearby schools, and establishing a single-family neighborhood that has only 15% more homes than would be permitted under straight R1-D zoning. (16 additional homes or 125 homes vs 109 homes).



J EPPINK PARTNERS, INC
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248.922.0789

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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

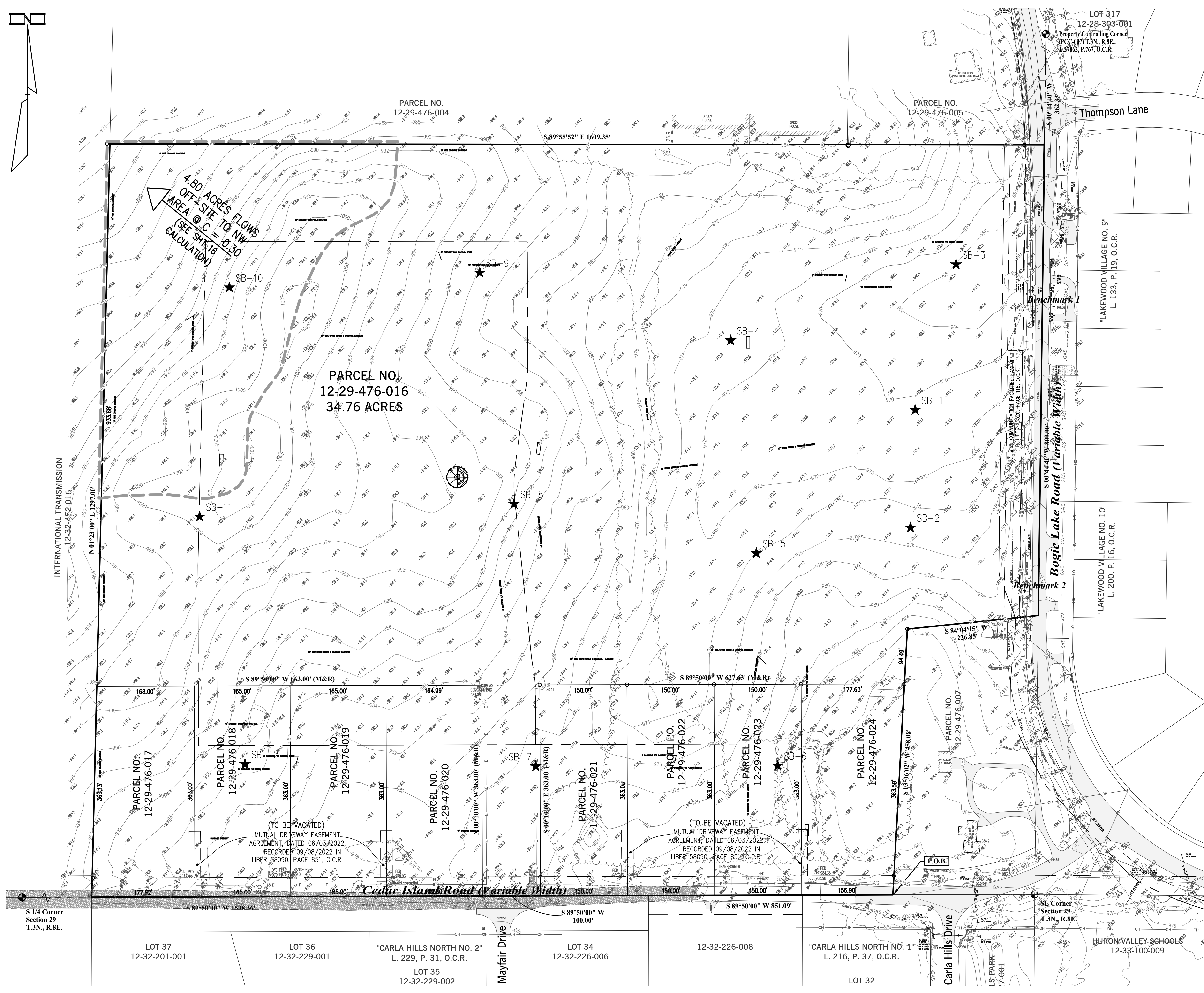
Sheet:
Parallel Plan & Analysis

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

Drawn by:
LZ

Checked by:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet:
PSP-2 225



LEGEND

	STORM SEWER
	SANITARY SEWER
	WATERMAIN
	GAS MAIN
	UNDERGROUND ELECTRIC
	STORM MANHOLE
	CATCH BASIN
	INLET
	REARYARD CATCH BASIN
	END SECTION
	SANITARY MANHOLE
	GATE VALVE AND WELL
	HYDRANT
	EXISTING CONTOURS
	OVERHEAD TELE. ELEC. CATV
	POWER POLE
	LIGHT POLE
	GRADE
	SOIL BORING
	EXISTING ASPHALT
	EXISTING CONCRETE
	REMOVE TREE
	DEMOLITION LIMITS

- Benchmarks:**
- BM-1**
ARROW OF EXISTING HYDRANT LOCATED 306'+/- SOUTH OF THOMPSON ROAD ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 971.63 (NAVD 88)
 - BM-2**
ARROW OF EXISTING HYDRANT LOCATED 450'+/- NORTH OF CEDAR ISLAND ROAD ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 983.26 (NAVD 88)
 - BM-3**
MAG NAIL IN NORTH FACE OF POWER POLE LOCATED 50'+/- EAST OF THE NORTH ENTRANCE OF LAKELAND H.S. ON THE SOUTH SIDE OF BOGIE LAKE ROAD. ELEVATION = 981.05 (NAVD 88)
 - BM-4**
ARROW OF EXISTING HYDRANT LOCATED 165'+/- EAST OF THE MIDDLE ENTRANCE OF LAKELAND H.S. ON THE SOUTH SIDE OF BOGIE LAKE ROAD. ELEVATION = 968.44 (NAVD 88)
 - BM-5**
ARROW OF EXISTING HYDRANT LOCATED 80'+/- SOUTH OF FOX N HOUNDS DRIVE ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 973.23 (NAVD 88)
 - BM-6**
RR SPIKE IN EAST FACE OF POWER POLE LOCATED 15'+/- SOUTH OF THE SOUTH ENTRANCE OF LAKELAND H.S. ON THE WEST SIDE OF BOGIE LAKE ROAD. ELEVATION = 974.42 (NAVD 88)

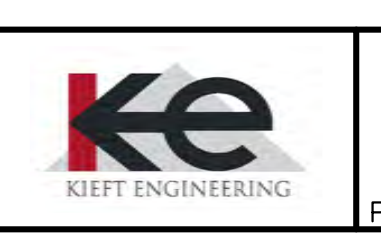
PARCELS 12-29-476-016 thru 12-29-476-024:
 PROPOSED PARCEL COMBINATION DESCRIPTION:
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT POINT ON THE SOUTH LINE OF SAID SECTION 29, SAID LINE ALSO BEING THE CENTERLINE OF CEDAR ISLAND ROAD, VARIABLE WIDTH, LOCATED S 89°50'00" W 244.18 FEET ALONG SAID SOUTH LINE FROM THE SOUTHEAST CORNER OF SECTION 29, T3N, R8E; THENCE CONTINUING ALONG SAID SOUTH LINE S 89°50'00" W 1379.73 FEET; THENCE N 01°23'00" E 1297.00 FEET; THENCE S 89°55'52" E 1609.36 FEET TO THE EAST LINE OF SAID SECTION 29, SAID EAST LINE ALSO BEING THE CENTERLINE OF BOGIE LAKE ROAD, VARIABLE WIDTH; THENCE ALONG SAID EAST LINE S 00°44'40" W 809.90 FEET; THENCE S 84°04'15" W 226.85 FEET; THENCE S 03°06'02" W 458.08 FEET TO SAID SOUTH LINE OF SECTION 29 AND TO THE POINT OF BEGINNING, CONTAINING 45.47 ACRES. SUBJECT TO RIGHTS-OF-WAY FOR CEDAR ISLAND AND BOGIE LAKE ROADS. ALSO SUBJECT TO ANY OTHER RIGHTS-OF-WAYS, RESTRICTIONS AND EASEMENTS OF RECORD.



DATE	ISSUE
9-18-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
 PH COMMUNITIES, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48342
 (248) 242-6838

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KIEFT ENGINEERING, INC.
 PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
 5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
 PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE	7-2-2025	CKD. BY	DATE
DRAWN	GF		
DESIGN	PCM		
SECTION	29	T-3-N-R-8-E	

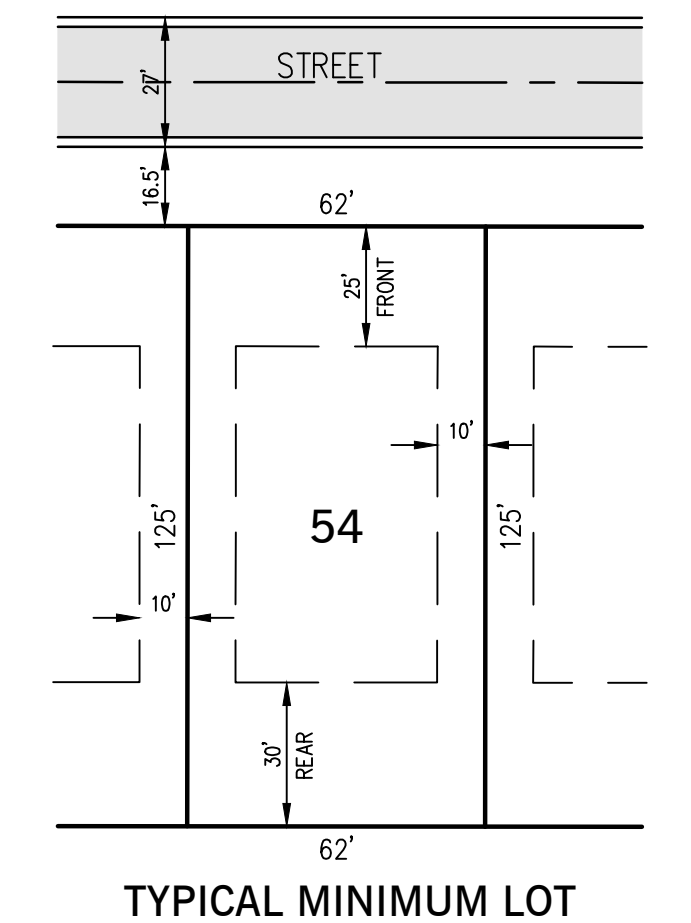


Existing Conditions Plan - Overall
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE	1" = 80'
SHEET	2 OF 19
KE	2025.01

GENERAL NOTES

- 1) PROPERTY SIDWELL NUMBERS: 12-29-476-016 THRU 12-29-476-024: SITE AREA = 45.47 ACRES
- 2) ZONING: EXISTING - AG (AGRICULTURAL) PROPOSED - PD (PLANNED DEVELOPMENT)
- 3) PROPOSED USE: SINGLE FAMILY RESIDENTIAL (SITE CONDOMINIUM)
- 4) MINIMUM UNIT SIZE PROPOSED: 7,750 SF, WIDTH 62 FEET, AVERAGE UNIT SIZE 8,651 SF.
- 5) PROPOSED SETBACK REQUIREMENTS:
TOTAL UNITS PROPOSED - 120
FRONT SETBACK - 25 FT
REAR SETBACKS - 30 FT
SIDE YARD SETBACKS - 10 FT (EACH SIDE), 22 FT BETWEEN HOMES.
ALL UNITS HAVE AT LEAST 62 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK
STREETS ARE 60 FOOT WIDE RIGHT-OF-WAY W/23' WIDE ASPHALT WITH 24" MOUNTABLE CONCRETE CURB AND GUTTER (27' WIDE TOTAL) (4,862 LF TOTAL ROAD LENGTH). THE DEVELOPER INTENDS ALL ROADS TO BE PRIVATE.
- 6) SEWAGE DISPOSAL: TO BE CONNECTED TO ON-SITE PROPOSED PUMP STATION OUT-LETTING TO MUNICIPAL SANITARY FORCEMAIN SYSTEM (5,066 LF) TO BE CONSTRUCTED ALONG BOGIE LAKE ROAD.
- 7) WATER SUPPLY: AN 8" WATERMAIN IS PROPOSED TO BE CONNECTED TO THE EXISTING 12" MUNICIPAL WATERMAIN ALONG BOGIE LAKE ROAD.
- 8) PUBLIC UTILITIES (GAS, ELECTRIC, TELEPHONE & CABLE) SHALL BE INSTALLED UNDERGROUND.
- 9) NO BRUSH OR GRASS CLIPPINGS WILL BE STORED OR DISPOSED OF INTO THE COMMON/PARK AREAS OR DETENTION BASIN.
- 10) ALL YARD WASTE TO BE REMOVED FROM SITE.
- 11) PUBLIC SIDEWALKS ARE PROPOSED AS PER EXISTING ORDINANCE REQUIREMENTS.
- 12) INDIVIDUAL PLOT PLANS AND GRADING SHALL BE PREPARED BY A LICENSED ENGINEER OR SURVEYOR.
- 13) PROPOSED SITE GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE WHERE OFF-SITE GRADING RIGHTS DO NOT EXIST.
- 14) ALL DISTURBED AREAS SHALL BE RE-VEGETATED.
- 15) DETENTION BASIN SIDE SLOPES SHALL BE LEFT 1 ON 6.
- 16) REAR AND SIDE-YARD DRAINAGE EASEMENTS WILL BE SHOWN ON THE GRADING PLAN.
- 17) ALL FINAL ROAD GRADES WILL COMPLY WITH ROAD COMMISSION FOR OAKLAND COUNTY STANDARDS.
- 18) TYPICAL UNIT COVERAGE: AVERAGE HOUSE FOOTPRINT = 2,400 SF, AVERAGE DRIVEWAY = 500 SF; TOTAL UNIT COVERAGE = 2,900 SF
TYPICAL UNIT COVERAGE (%) = 2,900 SF/8,651 SF = 33.5% (OR LESS).
- 20) REQUIRED PERMITS/APPROVALS:
-WHITE LAKE TOWNSHIP - ENGINEERING PLANS APPROVAL
-O.C.W.R.C. - SOIL EROSION PERMIT
-O.C.W.R.C. - WATERMAIN APPROVAL
-O.C.W.R.C. - SANITARY SEWER APPROVAL
-M.D.E.O. - WATERMAIN PERMIT
-M.D.E.O. - SANITARY SEWER PERMIT
-M.D.E.O. - NPDES NOTICE OF COVERAGE PERMIT
-M.D.E.O. - WETLANDS STORM DISCHARGE PERMIT TO OFF-SITE LAKE
-R.C.O.C. - APPROACH & UNDERGROUND PERMITS
- 21) THERE ARE NO WETLANDS ON THIS SITE.
- 22) EACH HOME SHALL HAVE A 2 CAR GARAGE AND DRIVEWAYS WHICH WILL ACCOMMODATE THE REQUIRED OFF-STREET PARKING.
- 23) OFF-SITE IMPROVEMENTS SHALL BECOME PUBLIC.
- 24) ALL SIDEWALKS MUST COMPLY WITH ADA STANDARDS.
- 25) NO STREET LIGHTING IS PROPOSED. EXTERIOR LIGHTS SHALL BE INSTALLED ON INDIVIDUAL HOMES.
- 26) TRASH PICKUP FOR THE HOMES WILL BE CURBSIDE.
- 27) PARKING IS NOT ALLOWED ON ANY OF THE BOULEVARD ROAD SECTIONS. PARKING IS ALLOWED ON ONE SIDE ONLY (OPPOSITE THE FIRE HYDRANTS/WATERMAIN)
- 28) FIRE LANES PROVIDED ALONG BOTH ROADS (27' WIDE).
- 29) INDIVIDUAL HOME ADDRESSES SHALL BE 6' MINIMUM.
- 30) STORM SEWER & STORM WATER MANAGEMENT SYSTEM SHALL BE OWNED, OPERATED & MAINTAINED REGULARLY BY THE CONDOMINIUM ASSOCIATION.
- 31) SINCE ALL PROPOSED HOMES WILL BE SINGLE FAMILY DETACHED HOUSING, THERE COULD BE MANY DIFFERENT TYPES & STYLES OF HOMES. REQUIREMENTS SUCH AS BUILDING MATERIALS & SIZING WILL BE PROVIDED WITHIN FUTURE CONDOMINIUM DOCUMENT.
- 32) THIS DEVELOPMENT IS PROPOSED TO BE RECORDED AS A CONDOMINIUM UNDER THE CURRENT RULES OF THE MICHIGAN CONDOMINIUM ACT.
- 33) LANDSCAPE PLAN PREPARED BY J. EPPINK PARTNERS, INC.
- 34) TWO PROJECT SIGNS WILL BE PROVIDED. SIGN DETAILS WILL BE SUBMITTED BY OTHERS.
- 35) THIS PROJECT DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN.
- 36) THERE WILL BE A 10 FT WIDE PRIVATE EASEMENT FOR PUBLIC UTILITIES GRANTED TO THE UTILITY COMPANIES. THERE WILL BE A 20 FT WIDE EASEMENT FOR SANITARY SEWER GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN. THERE WILL BE A 20 FT WIDE EASEMENT FOR STORM SEWER CENTERED ON THE UTILITY AS SHOWN. THERE WILL BE A 20 FT WIDE EASEMENT FOR WATERMAIN GRANTED TO WHITE LAKE TOWNSHIP.



EXISTING	LEGEND	PROPOSED
---	STORM SEWER	---
---	SANITARY SEWER	---
---	WATERMAIN	---
---	GAS MAIN	---
---	ELEC. TELE. CABLE	---
---	OVERHEAD WIRES	---
---	STORM MANHOLE	---
---	CATCH BASIN	---
---	INLET	---
---	REARYARD CATCH BASIN	---
---	END SECTION	---
---	SANITARY MANHOLE	---
---	GATE VALVE AND WELL	---
---	HYDRANT	---
---	CONTOURS	---
---	MATCH ELEVATION	---
---	TOP OF CURB	---
---	TOP OF SIDEWALK	---
---	TOP OF PAVEMENT	---
---	TOP OF CONCRETE	---
---	TOP OF WALL	---
---	BOTTOM OF WALL	---
---	DITCH	---
---	TREE PRESERVATION	---



DATE	ISSUE
9-18-2025	PER D1Z (8-26-2025)
10-29-2025	PH COMMUNITIES, LLC
11-17-2025	REVISED PER CLIENT/PLANNER-62 WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

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DATE	72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG (800) 482-7171 OR 811
DATE 7-2-2025	
DRAWN GF	
DESIGN PCM	
SECTION 29	T-3-N-R-8-E

Overall Site Plan & Notes
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 80'
SHEET 3 OF 19
KE 2025.01

PARCEL NO.
12-29-476-004

PARCEL NO.
12-29-476-005



Section 8, Item B.
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(3 working days)
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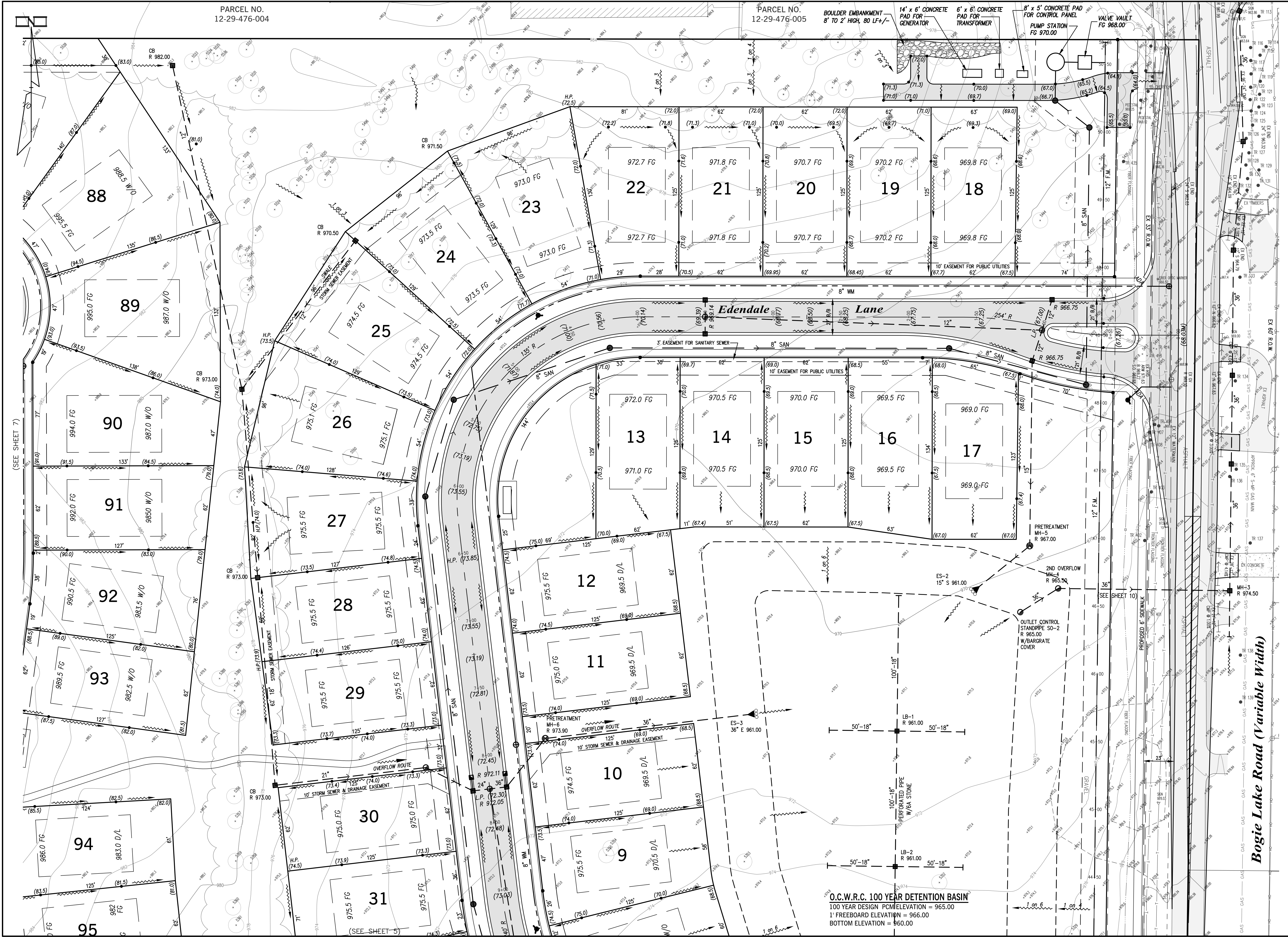
DATE: 7-2-2025
DRAWN: GF
DESIGN: PCM
SECTION: 29

PROPRIETOR:
PH COMMUNITIES, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

"Edendale Crossing" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T35N, R9E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

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PHONE: (248) 625-5251
FAX: (248) 625-7110

SCALE 1" = 30'
SHEET 4 OF 19
KE 2025.01



(SEE SHEET 7)

(SEE SHEET 5)

SEE SHEET 10

Bogie Lake Road (Variable Width)

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O.C.W.R.C. 100 YEAR DETENTION BASIN
 100 YEAR DESIGN PCMELEVATION = 965.00
 1' FREEBOARD ELEVATION = 966.00
 BOTTOM ELEVATION = 960.00

PARCEL NO.
12-29-476-007

Section 8, Item B

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COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

DATE	7-2-2025	DATE	7-2-2025
DRAWN BY	GF	CKD BY	GF
DESIGN	PCM	SECTION	29

T-3-N-R-8-E

"Edendale Crossing" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

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KE
KIEFT ENGINEERING

STATE OF MICHIGAN
 PATRICK COLIN
 McWILLIAMS
 LICENSE
 NO.
 6201031658
 PROFESSIONAL ENGINEER

SCALE 1" = 30'
 SHEET 5 OF 19
 KE 2025.01



INTERNATIONAL TRANSMISSION
12-32-452-016

G:\2025\10 PH Homes - Bogie & Cedar Island\CADD\Efendale Crossing.dwg, 6 Site SW, 12/18/2025 1:27:37 PM



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DATE: 7-2-2025
DRAWN BY: GF
DESIGN POC: SECTION 29

PROPRIETOR:
PH COMMUNITIES, LLC
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COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 242-6838

"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T35N, R9E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

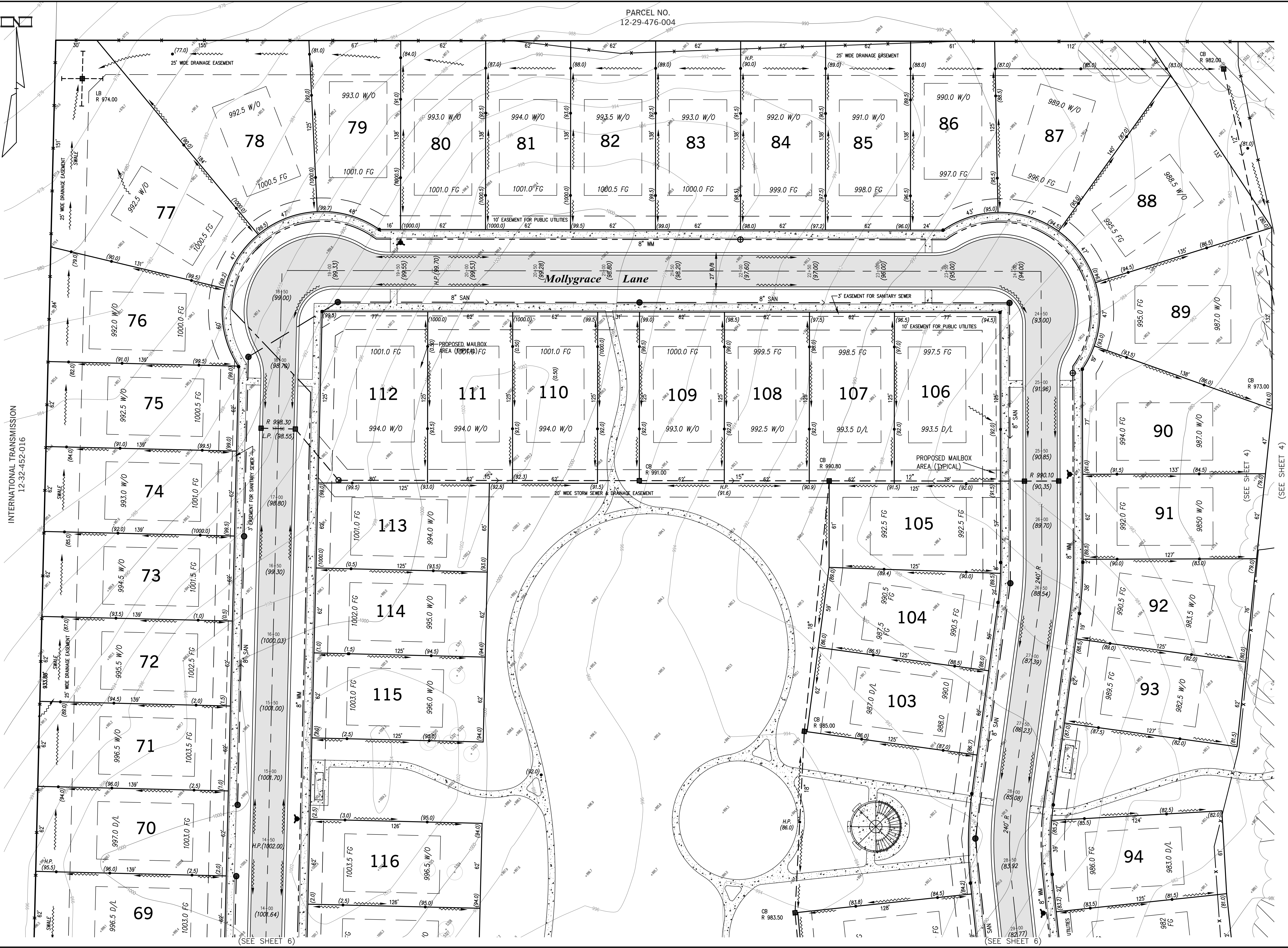
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PHONE: (248) 625-5251 FAX: (248) 625-7110
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STATE OF MICHIGAN
PATRICK COLIN McWILLIAMS
LICENSE NO. 6201031658
PROFESSIONAL ENGINEER

SCALE: 1" = 30'
SHEET 6 OF 19
KE 2025.016

PARCEL NO.
12-29-476-004



INTERNATIONAL TRANSMISSION
12-32-452-016

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Section 8, Item B.
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(3 WORKING DAYS)
BEFORE YOU DIG
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IN WHOLE, WITHOUT EXPRESSED WRITTEN
PERMISSION FROM KIEFT ENGINEERING, INC.
DATE: 01-14-2025
DRAWN: GPF
DATE: 7-2-2025
KIEFT ENGINEERING, INC.
11-12-2025 PER BOOK MEETING 02-27-2025 & D/L 01-15-2025
12-18-2025 PER BOOK MEETING 02-27-2025 & D/L 01-15-2025
12-18-2025 PER BOOK MEETING 02-27-2025 & D/L 01-15-2025

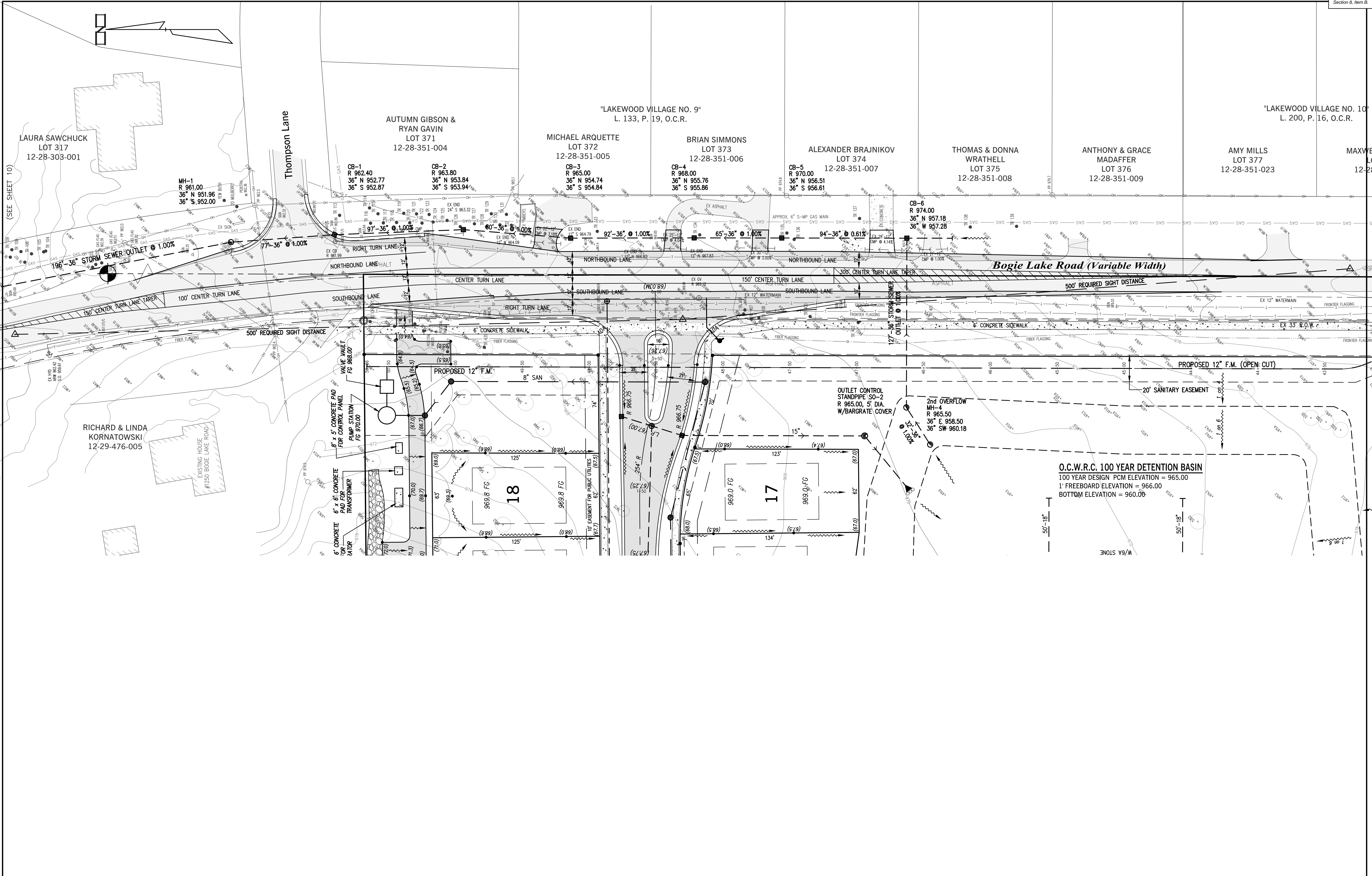
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(248) 242-6838
DATE: 7-2-2025
DRAWN: GPF
SECTION 29

"Edendale Crossing" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T35N, R9E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN
KIEFT ENGINEERING, INC.
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SCALE 1" = 30'
SHEET 7 OF 19
KE 2025.01



DATE	ISSUE
10-28-2025	PER R.O.C. MEETING (10-27-2025) & D.L.Z. (10-15-2025)
11-12-2025	REVISED PER CLIENT/PLANNER-62' WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

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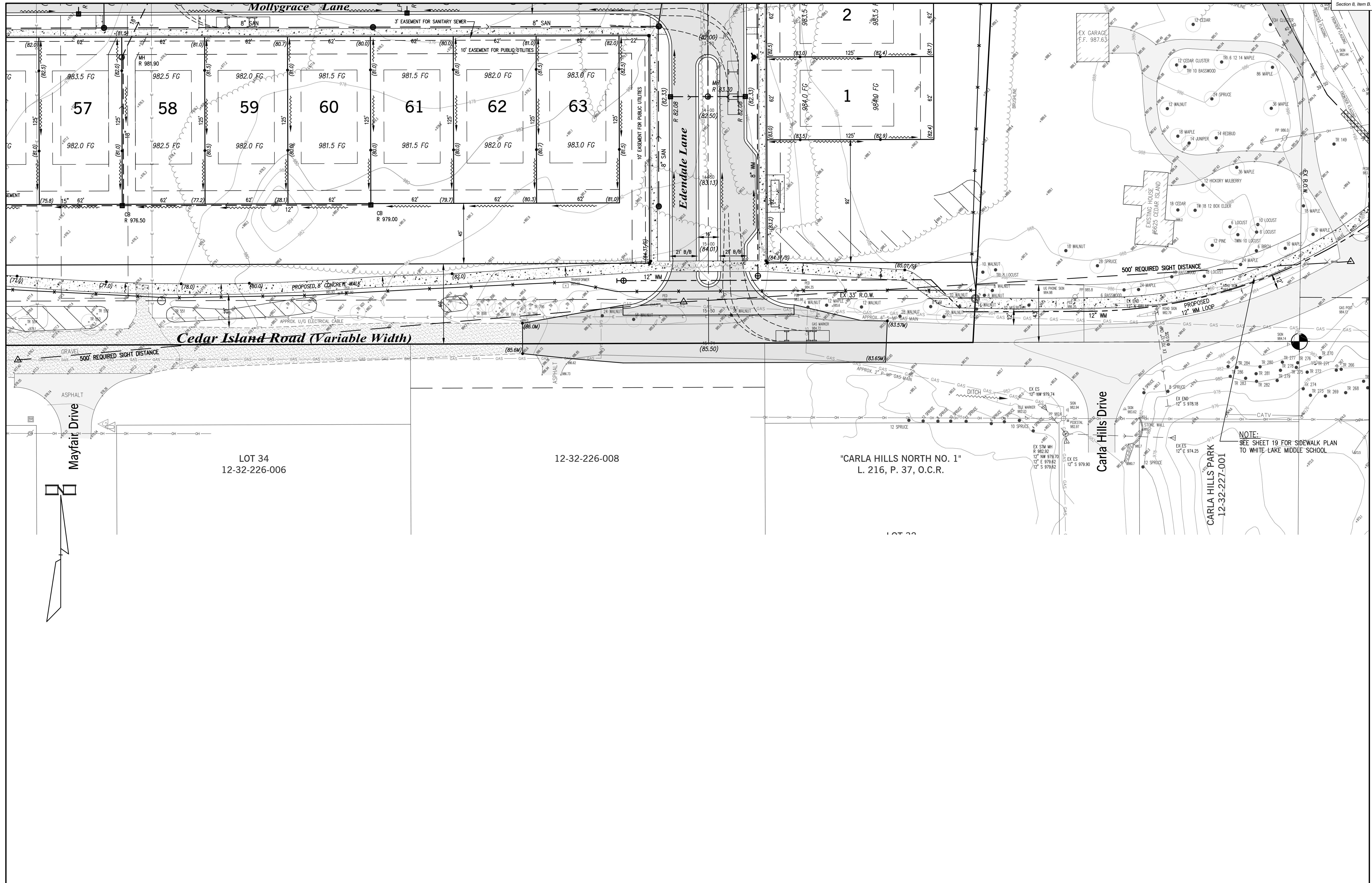
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DATE	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	



Bogie Lake Road Entrance Plan
 "EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
 SHEET 8 OF 19
 KE 2025.01



DATE	ISSUE
10-29-2025	PER P.C. MEETING (11-27-2025) & D/LZ (10-15-2025)
11-12-2025	REVISED PER CLIENT/PLANNER-62 WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

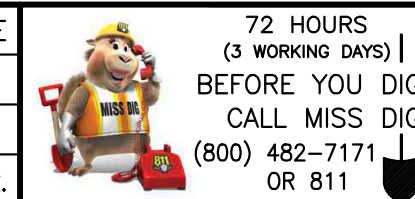
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DATE	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	

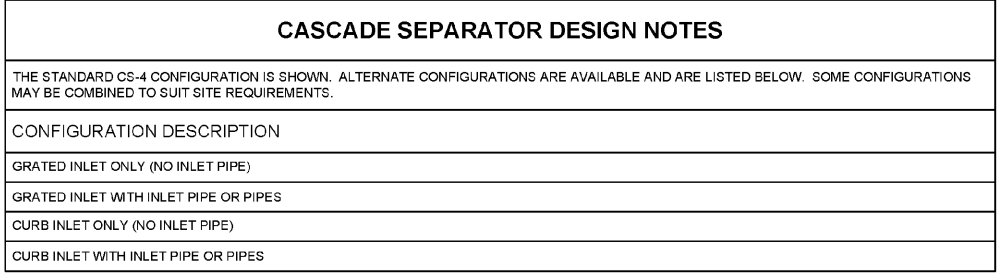
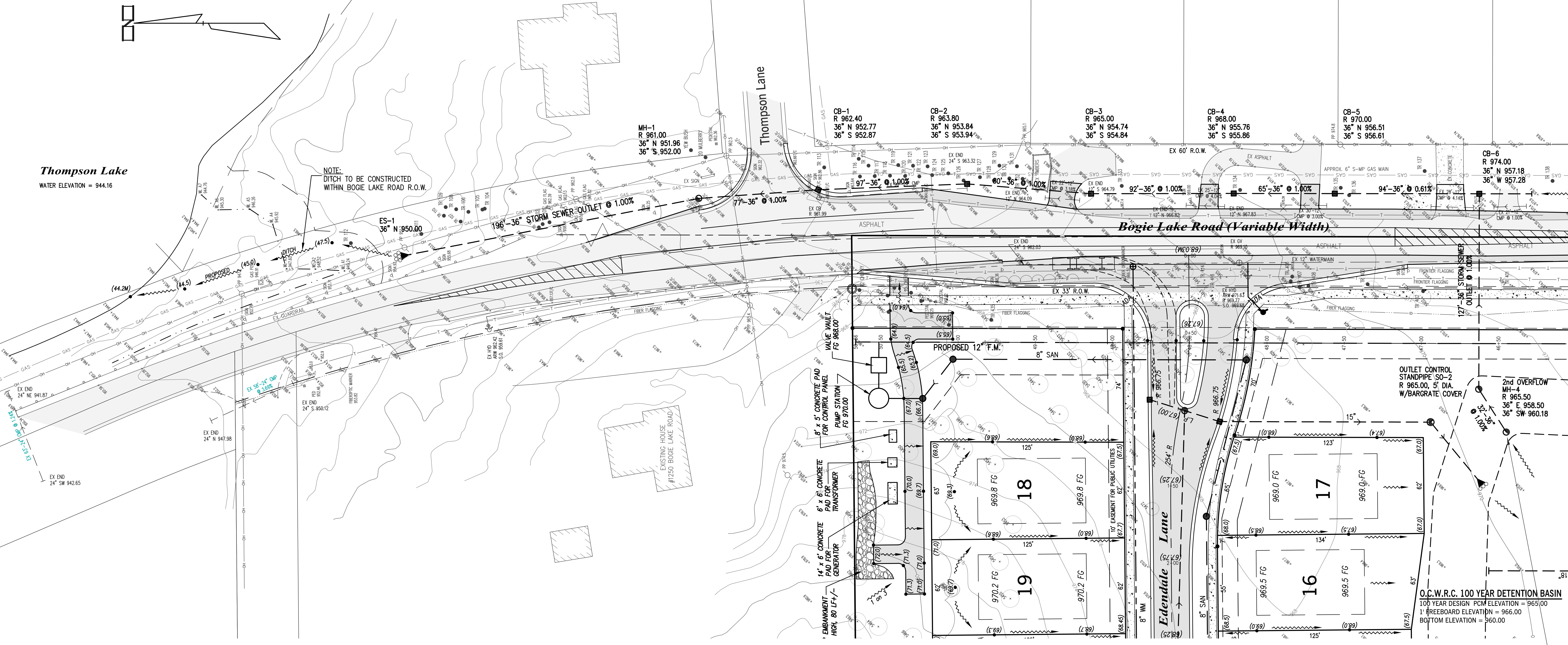


Cedar Island Entrance Plan
 "EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

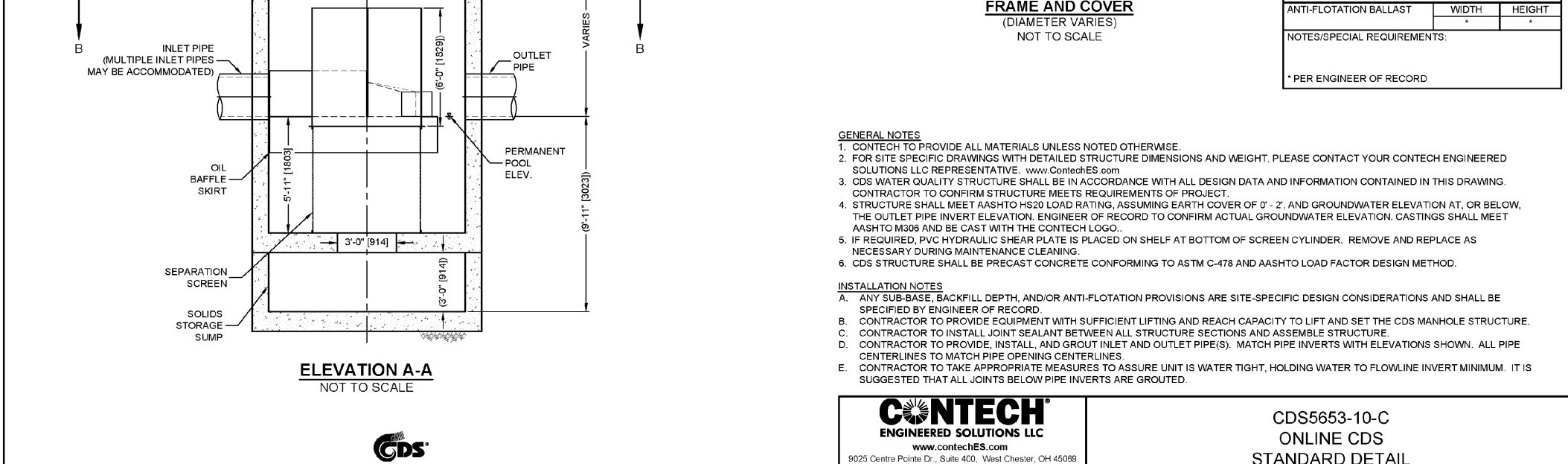
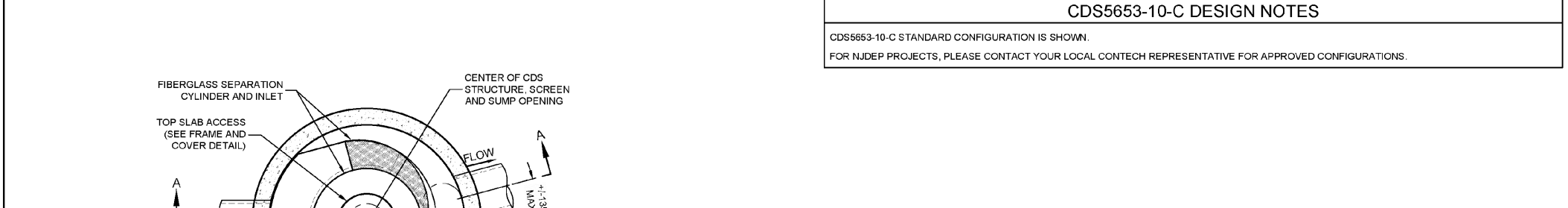
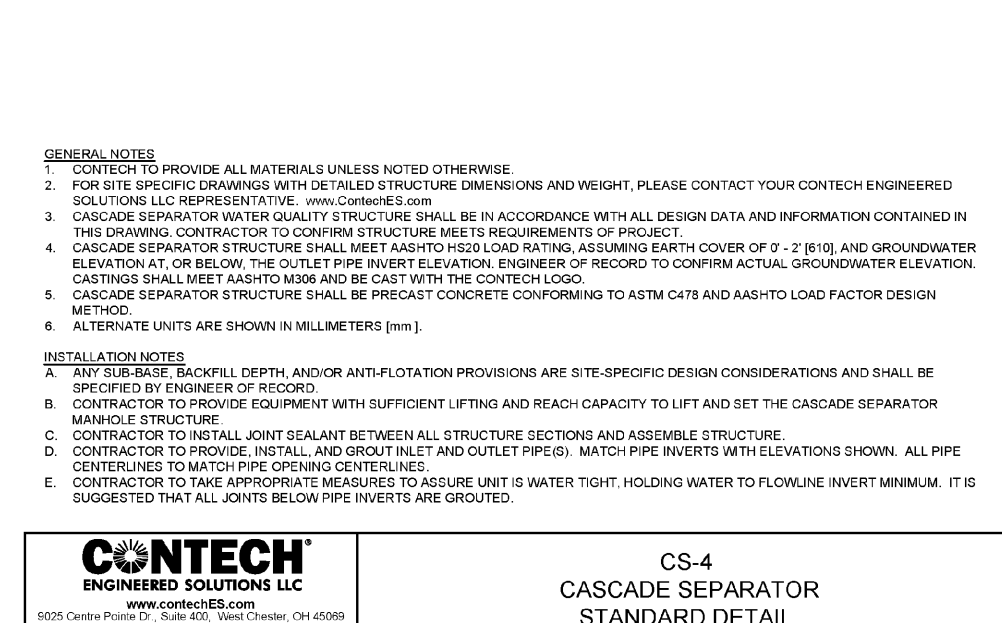
SCALE 1" = 30'
SHEET 9 OF 19
KE 2025.01

Thompson Lake
WATER ELEVATION = 944.16

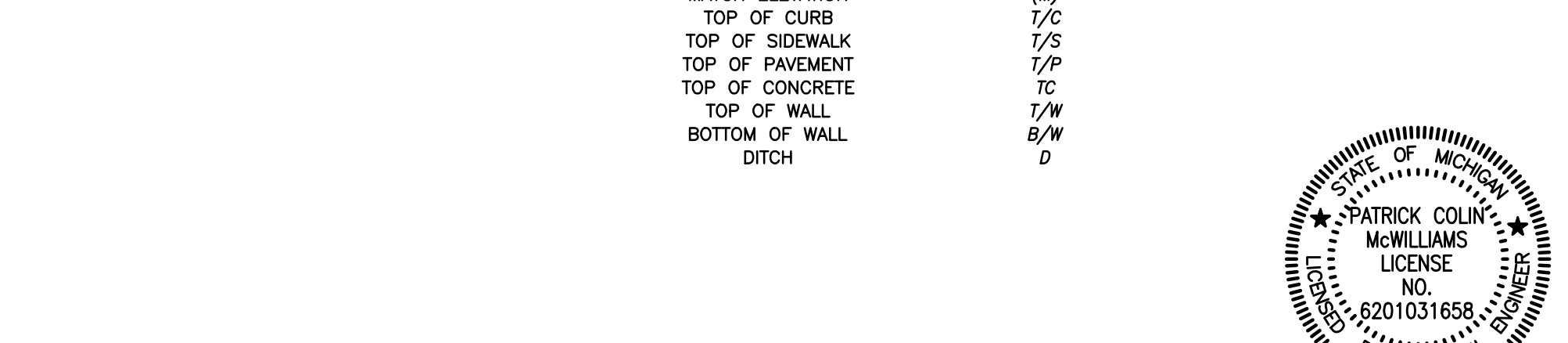
NOTE:
DITCH TO BE CONSTRUCTED
WITHIN BOGIE LAKE ROAD R.O.W.



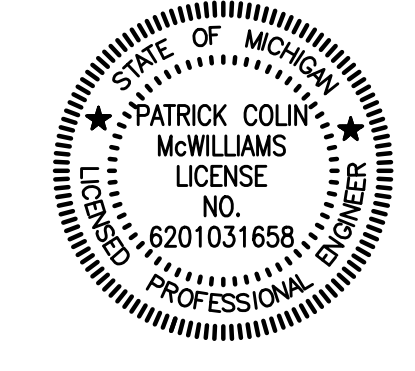
SITE SPECIFIC DATA REQUIREMENTS table with columns for structure ID, water quality flow rate, return period, pipe data, and material diameter.



SITE SPECIFIC DATA REQUIREMENTS table for CDS5653-10-C with columns for structure ID, flow rate, return period, pipe data, and material diameter.



OUTLET CONTROL STANDPIPE SO-2
RIM 965.00, 5' DIA. W/BARGRATE COVER
100 YEAR OUTLET HOLES = (10) 1" DIA., @ 963.50
V₀ ELEVATION = 963.50
Q₀D OUTLET HOLES = (22) 1" DIA. @ I.E. 961.00
36" NE OUTLET PIPE = 960.50 (10 YEAR FLOW)
2' SUMP BOTTOM = 958.50



03/02/2025 10:10 PM Homes - Bogie & Cedar Island/CAD/Edendale Crossing.dwg, 10 Office NE, 12/18/2025 12:28:18 PM

DATE / ISSUE table with columns for date and issue description.

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COMMERCE TOWNSHIP, MICHIGAN 48382
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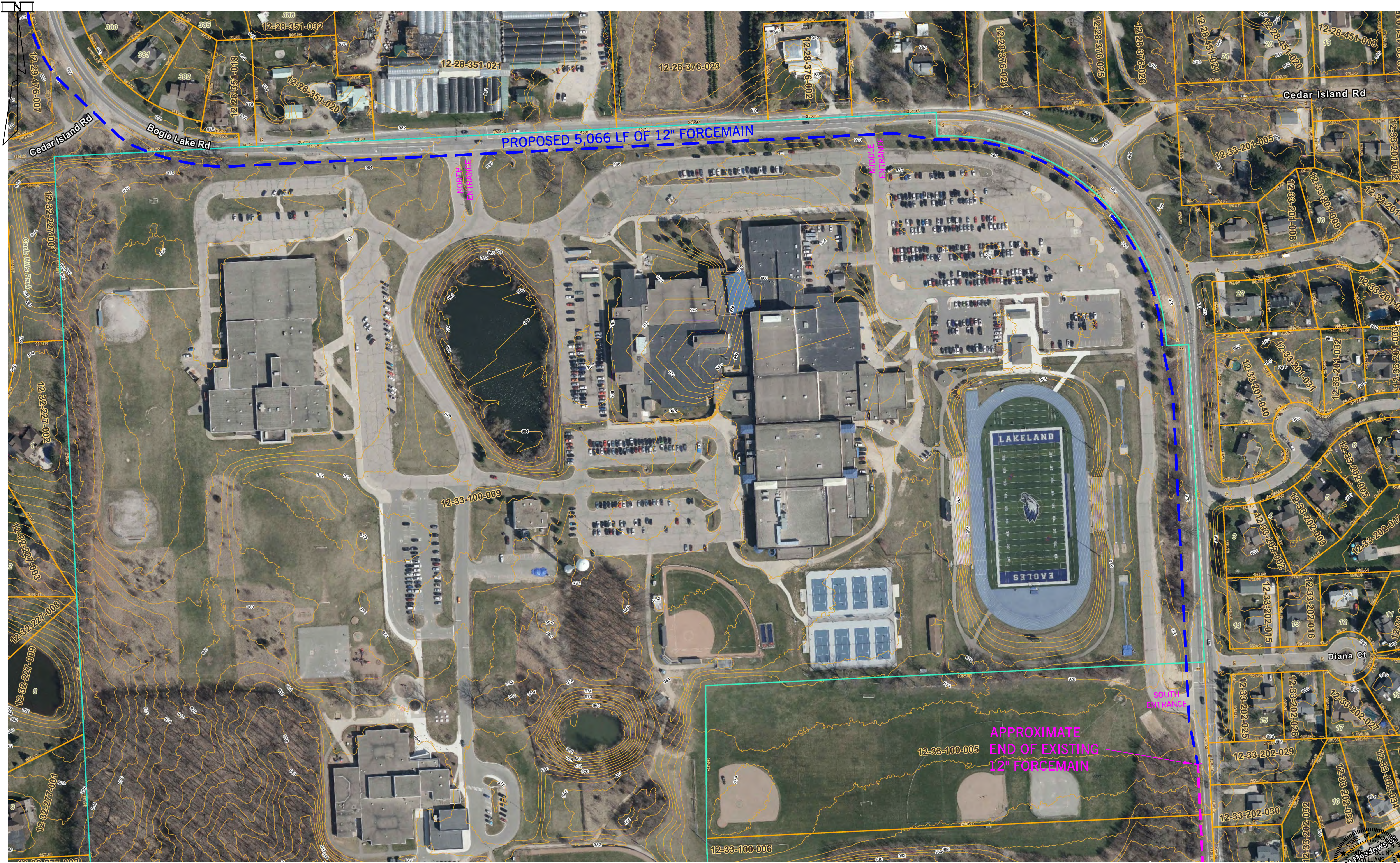
DATE / DRAWN / DESIGN / SECTION table with columns for date, drawn by, design by, and section number.



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Off-Site Storm Sewer Outlet Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 10 OF 19
KE 2025.01



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DATE	ISSUE
9-19-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
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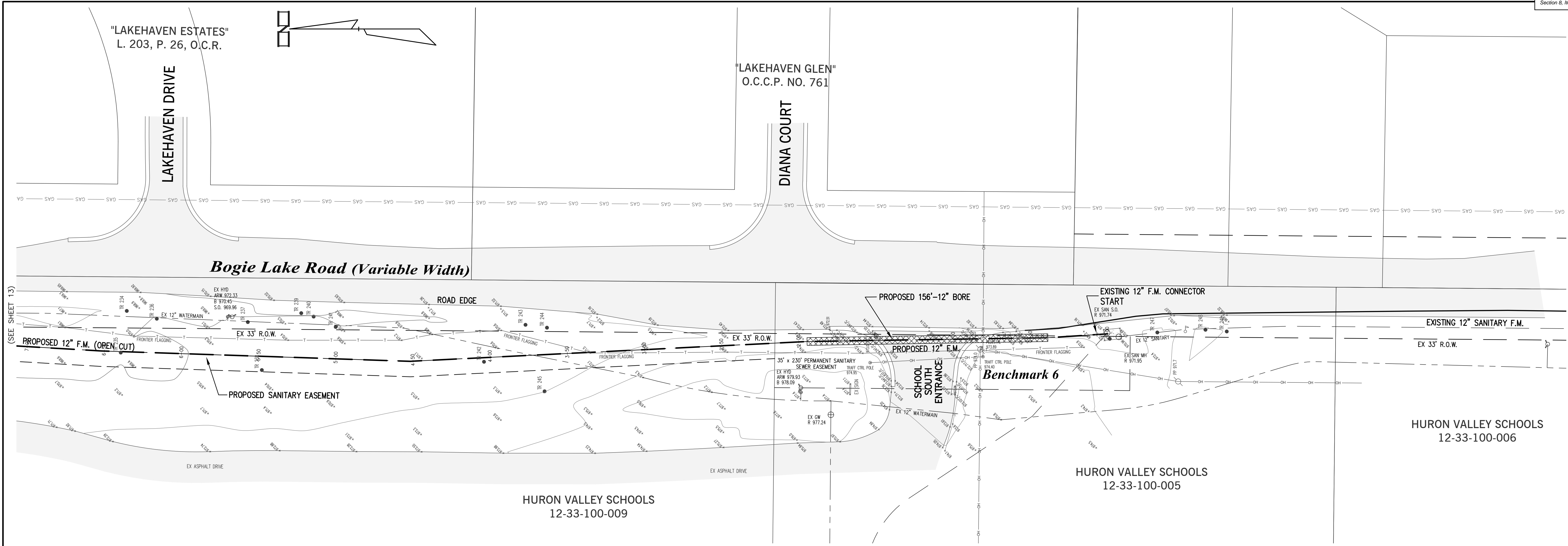
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DATE 7-2-2025	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T- 3 -N- R- 8 -E	



Off-Site Sanitary Forceman Plan - Overall
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'
SHEET 11 OF 19
KE 2025.01



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DATE	ISSUE
9-18-2025	PER DLZ (8-26-2025)
10-29-2025	PER RCOG MEETING (10-27-2025) & DLZ (10-15-2025)

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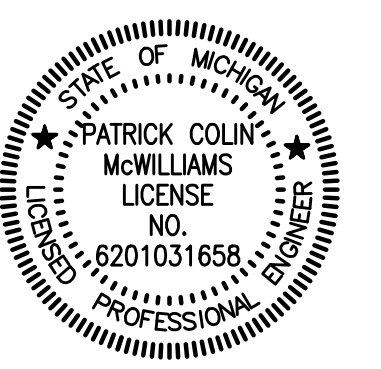


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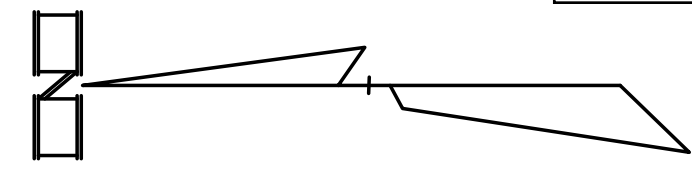
DATE	CKD. BY	DATE
7-2-2025	GF	



Off-Site Sanitary Forcemain Plan - South Connection
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN



SCALE	1" = 30'
SHEET	12 OF 19
KE	2025.01



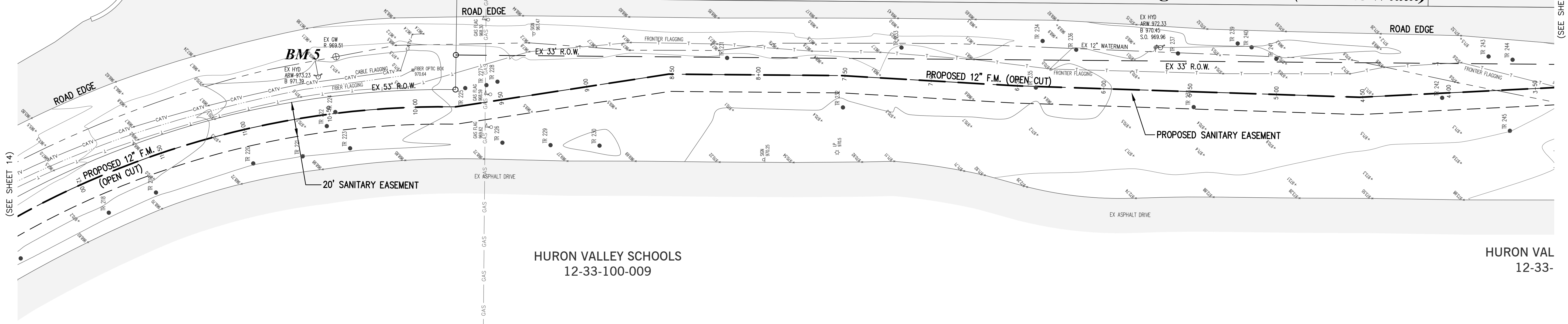
"FOX N' HOUNDS ESTATES"
L. 140, P. 7, O.C.R.

"LAKEHAVEN ESTATES"
L. 203, P. 26, O.C.R.

FOX N HOUNDS DRIVE

LAKEHAVEN DRIVE

Bogie Lake Road (Variable Width)



HURON VALLEY SCHOOLS
12-33-100-009

HURON VAL
12-33-

(SEE SHEET 14)

(SEE SHEET 12)

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DATE	ISSUE
9-18-2025	PER DLZ (8-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
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DATE	CKD. BY	DATE
7-2-2025	GF	

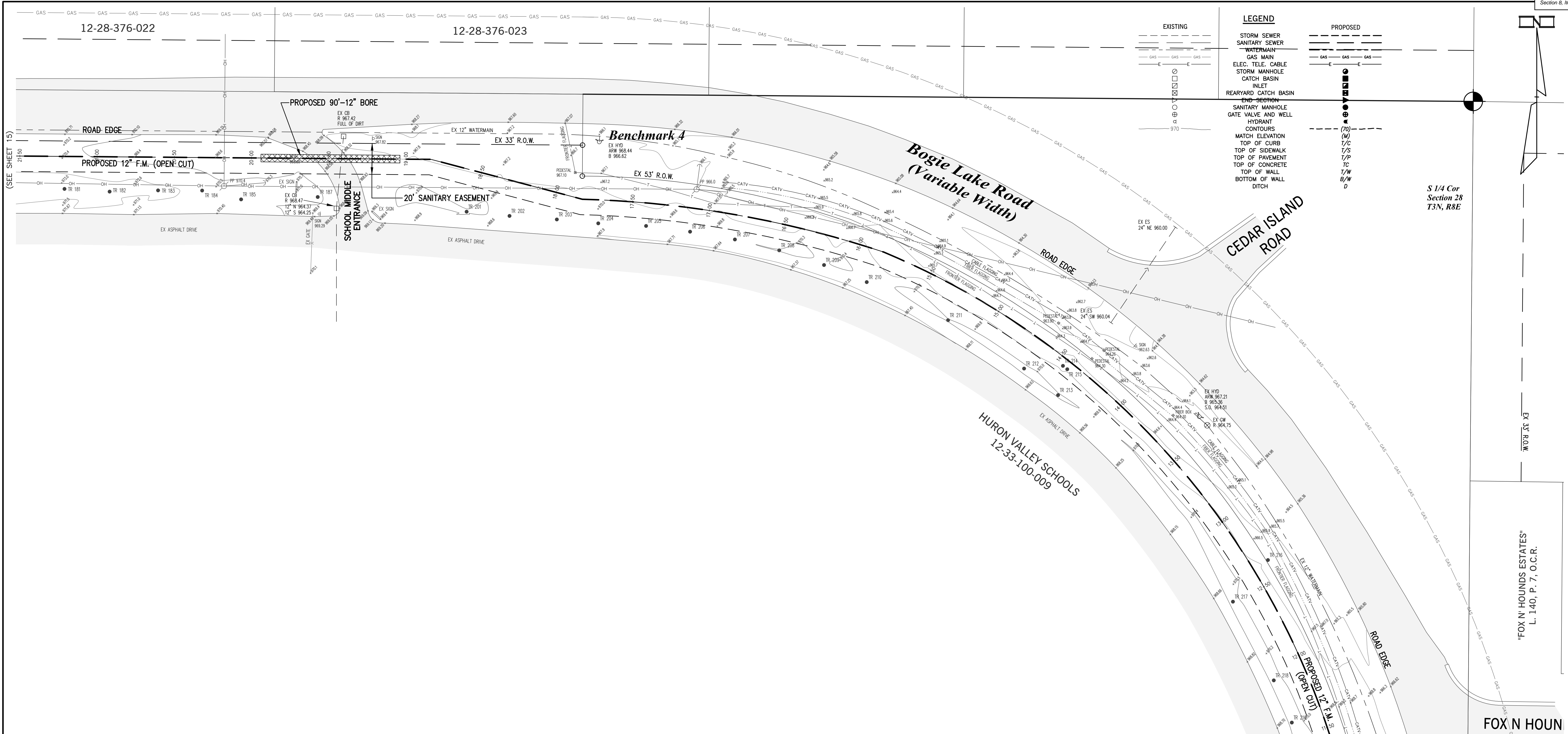


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(3 WORKING DAYS)
BEFORE YOU DIG
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OR 811

Off-Site Sanitary Forcemain Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN



SCALE	1" = 30'
SHEET	13 OF 19
KE	2025.01



LEGEND

EXISTING	PROPOSED
STORM SEWER	STORM SEWER
SANITARY SEWER	SANITARY SEWER
WATERMAIN	WATERMAIN
GAS MAIN	GAS MAIN
ELEC. TELE. CABLE	ELEC. TELE. CABLE
STORM MANHOLE	STORM MANHOLE
CATCH BASIN	CATCH BASIN
INLET	INLET
REARYARD CATCH BASIN	REARYARD CATCH BASIN
END-SECTION	END-SECTION
SANITARY MANHOLE	SANITARY MANHOLE
GATE VALVE AND WELL	GATE VALVE AND WELL
HYDRANT	HYDRANT
CONTOURS	CONTOURS
MATCH ELEVATION	MATCH ELEVATION
TOP OF CURB	TOP OF CURB
TOP OF SIDEWALK	TOP OF SIDEWALK
TOP OF PAVEMENT	TOP OF PAVEMENT
TOP OF CONCRETE	TOP OF CONCRETE
TOP OF WALL	TOP OF WALL
BOTTOM OF WALL	BOTTOM OF WALL
DITCH	DITCH

S 1/4 Cor
Section 28
T3N, R8E

"FOX N' HOUNDS ESTATES"
L. 140, P. 7, O.C.R.

FOX N HOUN

(SEE SHEET 13)

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DATE	ISSUE
9-18-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
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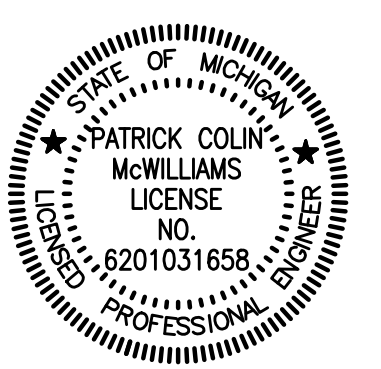
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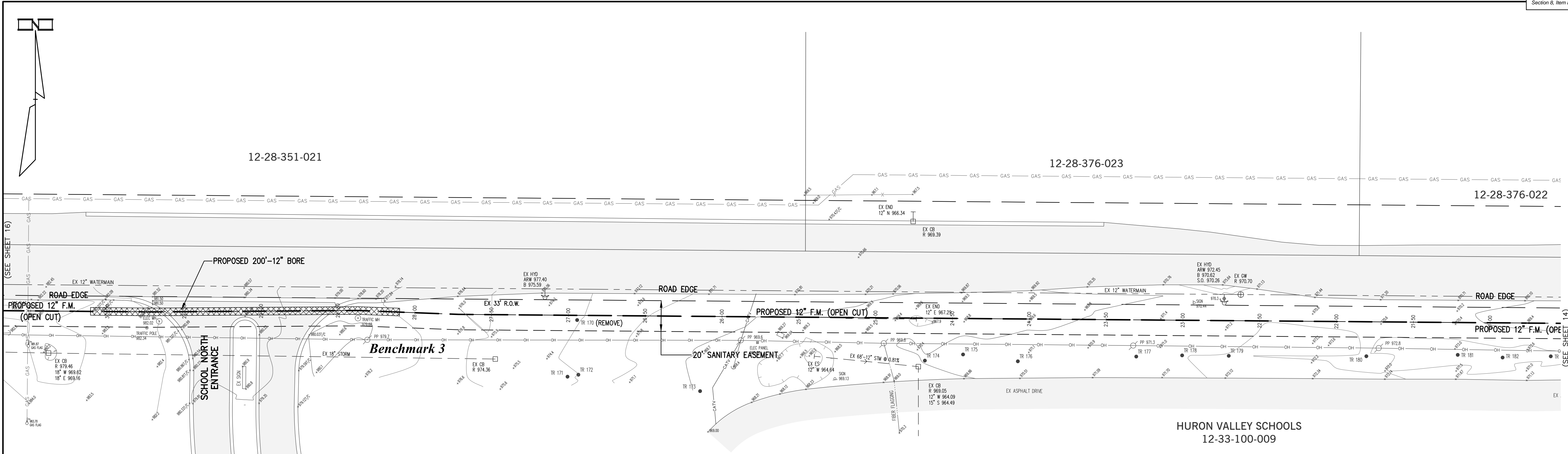
DATE 7-2-2025	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T- 3 -N- R- 8 -E	



Off-Site Sanitary Forcemain Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 14 OF 19
KE 2025.01





C:\2025\010 PH Homes - Bogie & Cedar Island\CADD\Edendale Crossing.dwg, 15 PM, 12/18/2025 1:25:12 PM

DATE	ISSUE
9-18-2025	PER DLZ (6-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

PROPRIETOR:
 PH COMMUNITIES, LLC
 8255 CASCADE AVENUE, SUITE 110
 COMMERCE TOWNSHIP, MICHIGAN 48382
 (248) 242-6838

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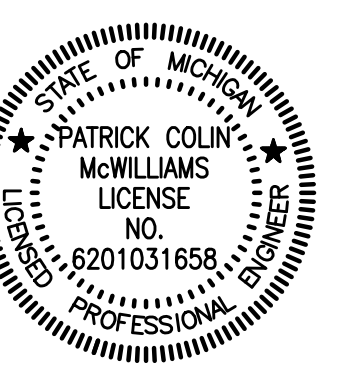


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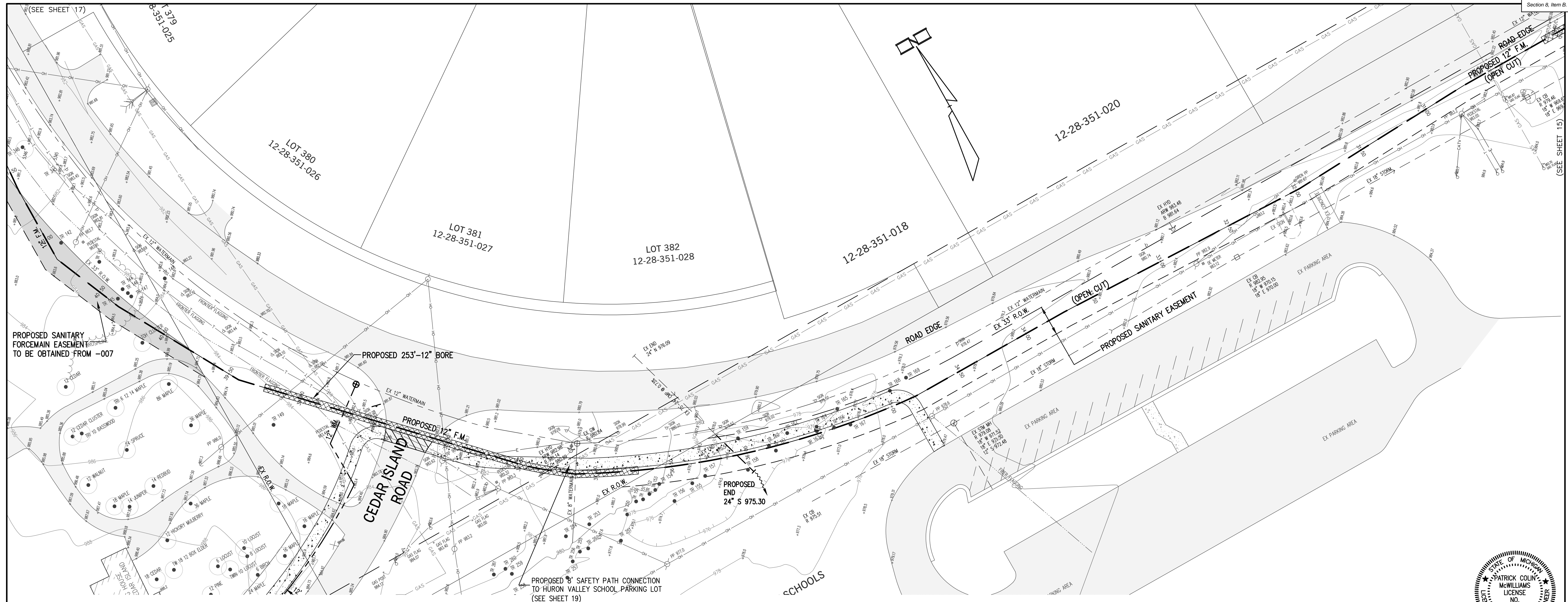
DATE	CKD. BY	DATE
7-2-2025	GF	
	PCM	



Off-Site Sanitary Forcemain Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN



SCALE 1" = 30'
 SHEET 15 OF 19
 KE 2025.01



Section 8, Item B



DATE	ISSUE
9-19-2025	PER DLZ (8-26-2025)
10-29-2025	PER RCOO MEETING (10-27-2025) & DLZ (10-15-2025)

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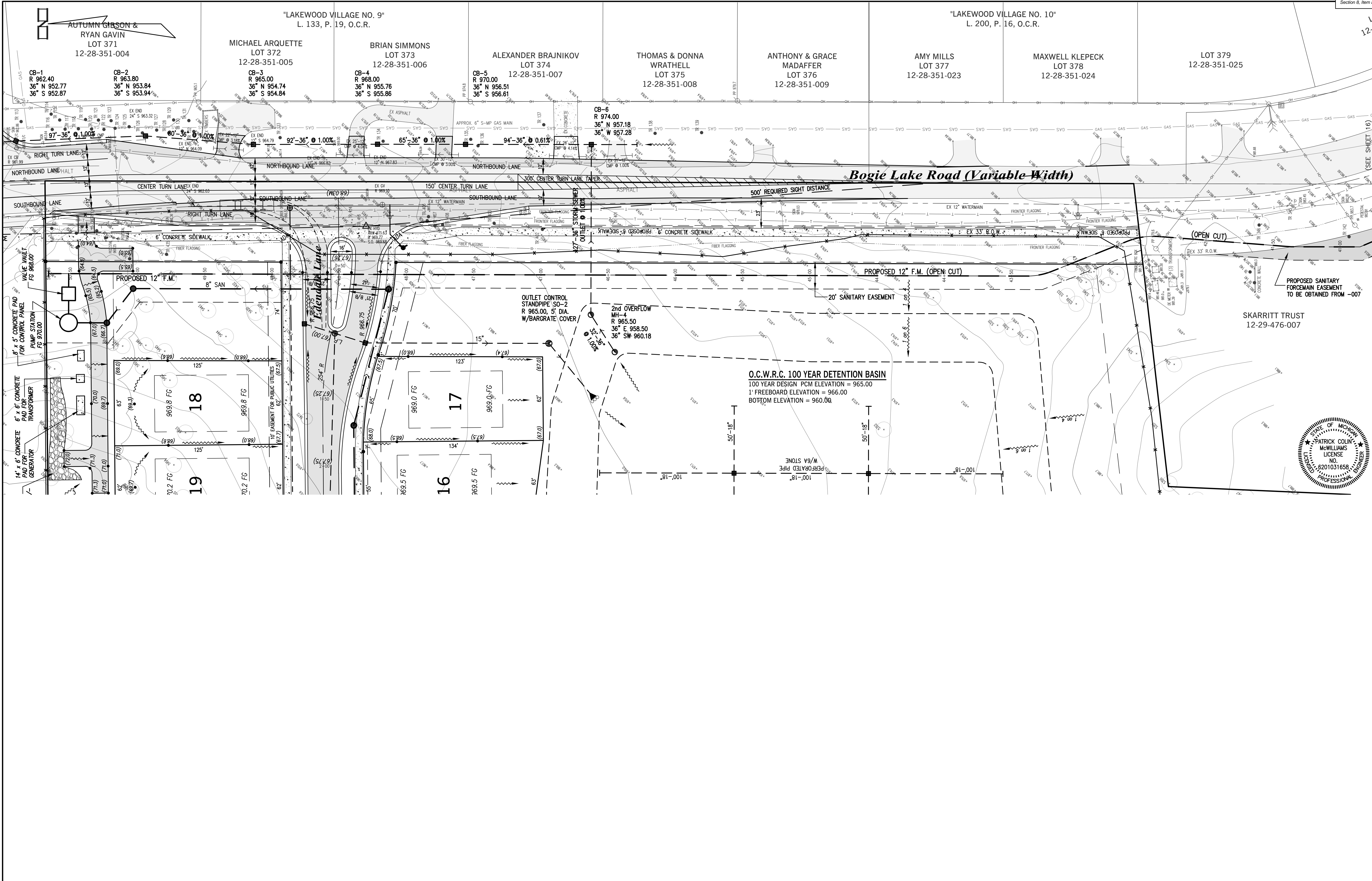
DATE 7-2-2025	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	



Off-Site Sanitary Forceman Plan
 "EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 16 OF 19
KE 2025.01

C:\2025\010 PH Homes - Bogie & Cedar Island\CADD\Edendale Crossing.dwg, 16 PM, 12/18/2025 1:29:23 PM



6/2025/10 PH Home - Bogie & Cedar Island/Edendale Crossing.dwg, T7 FM, 12/18/2025 1:29:29 PM

DATE	ISSUE
9-18-2025	PER DLZ (8-28-2025)
10-29-2025	PER BOOC MEETING (10-27-2025) & DLZ (10-15-2025)
11-12-2025	REVISED PER CLIENT/PLANNER-62 W/D UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
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DATE	CKD. BY	DATE
7-2-2025		
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	



Off-Site Sanitary Forcemain Plan - North Pump Station & Tree Chart
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
 SHEET 17 OF 19
KE 2025.01

100 YEAR DETENTION BASIN CALCULATION (I.E. WITH OUTLET)

Table with columns for parameters like TOTAL CONTRIBUTING AREA, HYDROLOGIC SOIL GROUP, RUNOFF COEFFICIENT, etc. Includes calculations for detention volume and outlet size.

"C" CALCULATION

TOTAL SITE AREA = 45.47 ACRES
PAVEMENT AREAS:
ROADS: = 157,000 SF
SIDEWALKS: = 78,923 SF
FUTURE DRIVEWAYS: SAY (800 SF) x (125 DRIVES) = 100,000 SF
TOTAL PAVEMENT AREA = 335,923 SF = 7.72 ACRES @ C = 0.95
ROOF AREAS:
ASSUME (2,800 SF) x (125 HOMES) = 350,000 SF = 8.04 ACRES @ C = 0.95
DETENTION BASIN AREA: 2.00 ACRES @ C = 1.00 (AVERAGE)
GREENBELT AREAS: 27.68 ACRES @ C = 0.20
"C" = (7.72 ACRES x 0.95) + (8.04 ACRES x 0.95) + (27.71 ACRES x 0.20) + (2.00 ACRES x 1.00) = 0.495 = 0.50

VOLUME PROVIDED:
A1 = @ 961.00 = 55,000 SF
A2 = @ 965.00 = 84,200 SF
V = H(A1 + A2 + sqrt(A1 x A2)) / 3 = 276,334 CF, OK

DETENTION BASIN

EXISTING WATER ELEVATION = NONE
100 YEAR DESIGN HIGH WATER ELEVATION = 965.00
1' FREEBOARD ELEVATION = 966.00
STORAGE REQUIRED = 260,820 CF
STORAGE PROVIDED = 276,334 CF
SO-2 STANDPIPE RIM = 963.50
OVERFLOW MANHOLE RIM = 965.00
LOWEST EMERGENCY OVERFLOW CATCH BASIN ON N. SIDE IN ENTRY ROAD (OFF BOGIE LAKE ROAD) = 966.75
BOTTOM = 960.00

APPROXIMATE DETENTION BASIN 10 YEAR OUTFLOW CALCULATION

Q = ACi; A = 45.47 ACRES; C = 0.50; I = 175; T = 30 MINUTES +/-
NOTE: ESTIMATED TIME BASED ON THE LONGEST STORM SEWER RUN = 2,400 LF
THUS, 2,400 LF ÷ 3 FPS (ASSUMED) = 800 SECONDS = 13.33 MINUTES
USE 10 MINUTES TO BE CONSERVATIVE.
20 MINUTES (INITIAL Tc) + 10 MINUTES = 30 MINUTES
USE 36" OUTLET PIPE @ 1.00%; Q = 66.60 CFS; V = 9.42 FPS

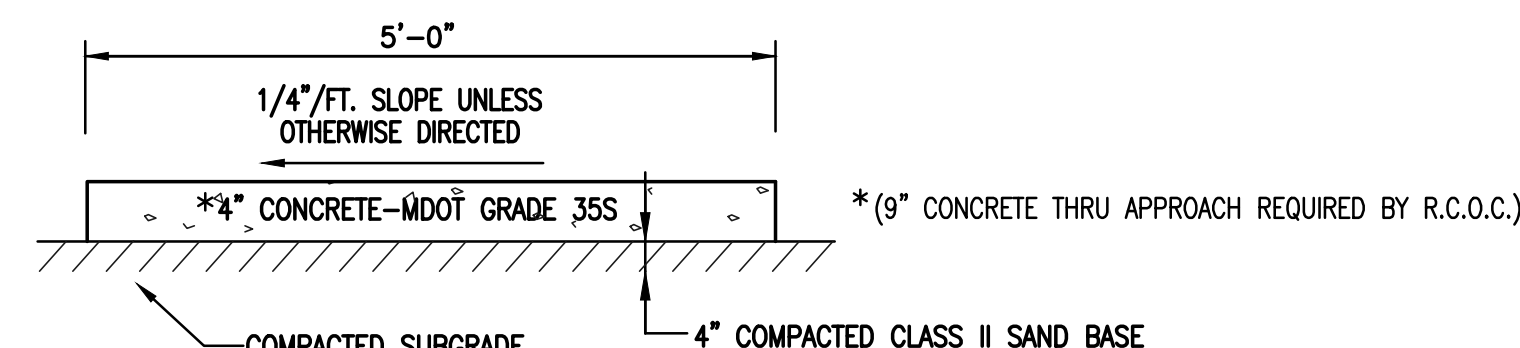
Northwest Area Storm Run-off Calculation Comparison

"EXISTING CONDITIONS"
PRESENTLY 4.80 ACRES FLOWS OFF-SITE TO THE NORTHWEST.
EXISTING C = 0.30
FOR A 10 YEAR STORM Q10 = ACi
A = 4.80 ACRES
C = 0.30
I = 175; T = 20 MINUTES; I = 175 = 3.89
T+25
Q10 = (4.80)(0.30)(3.89) = 5.60 CFS EXISTING

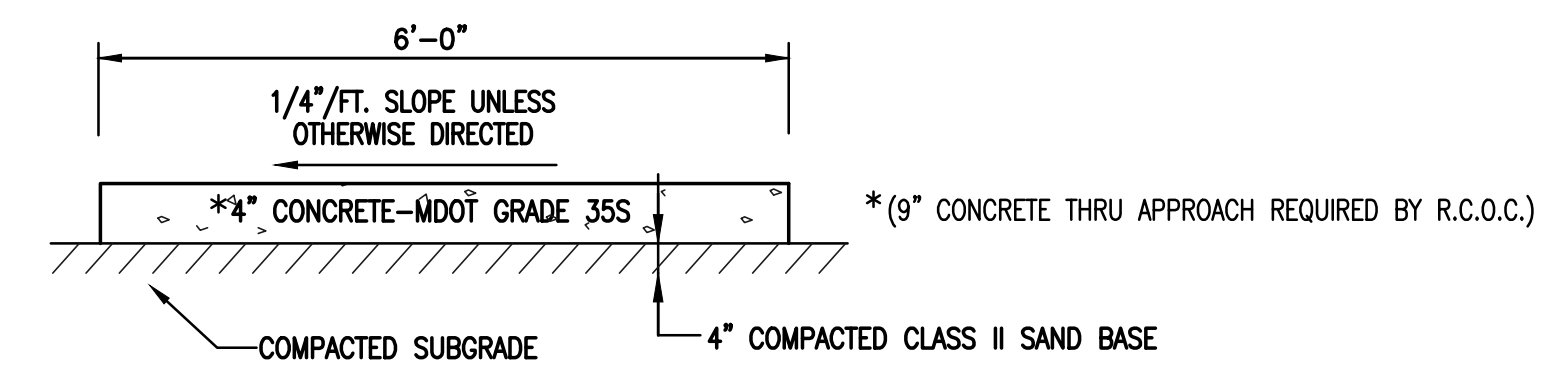
PROPOSED "C" CALCULATION

(13 HOMES)(REAR ROOF=1,600 SF) = 20,800 SF = 0.48 ACRES @ C = 0.95
REMAINING 2.52 ACRES @ C = 0.30
"C" = (0.48 ACRES x 0.95) + (2.52 ACRES x 0.30) = 0.41
A = 3.00 ACRES
C = 0.41
I = 3.89
Q10 = (3.00)(0.41)(3.89) = 4.79 CFS PROPOSED

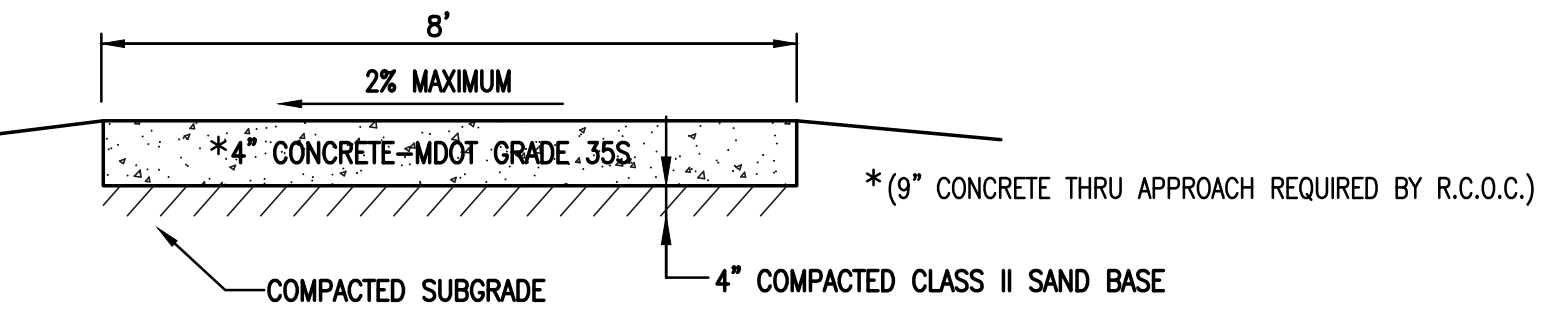
THUS, THERE IS LESS PROPOSED STORM WATER RUN-OFF THAT WILL BE FLOWING TO THE LEACH BASIN IN THE NORTHWEST AREA THEN THE EXISTING STORM WATER RUN-OFF FOR A TEN YEAR STORM.



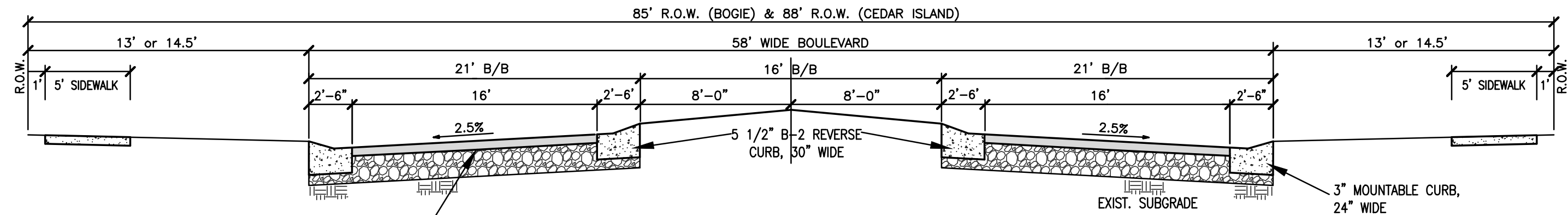
5' WD. 4" THICK CONCRETE SIDEWALK (ONSITE)



6' WD. 4" THICK CONCRETE SIDEWALK (BOGIE LAKE ROAD & R.O.W.)



8' WD. 4" THICK CONCRETE SIDEWALK CEDAR ISLAND ROAD R.O.W.



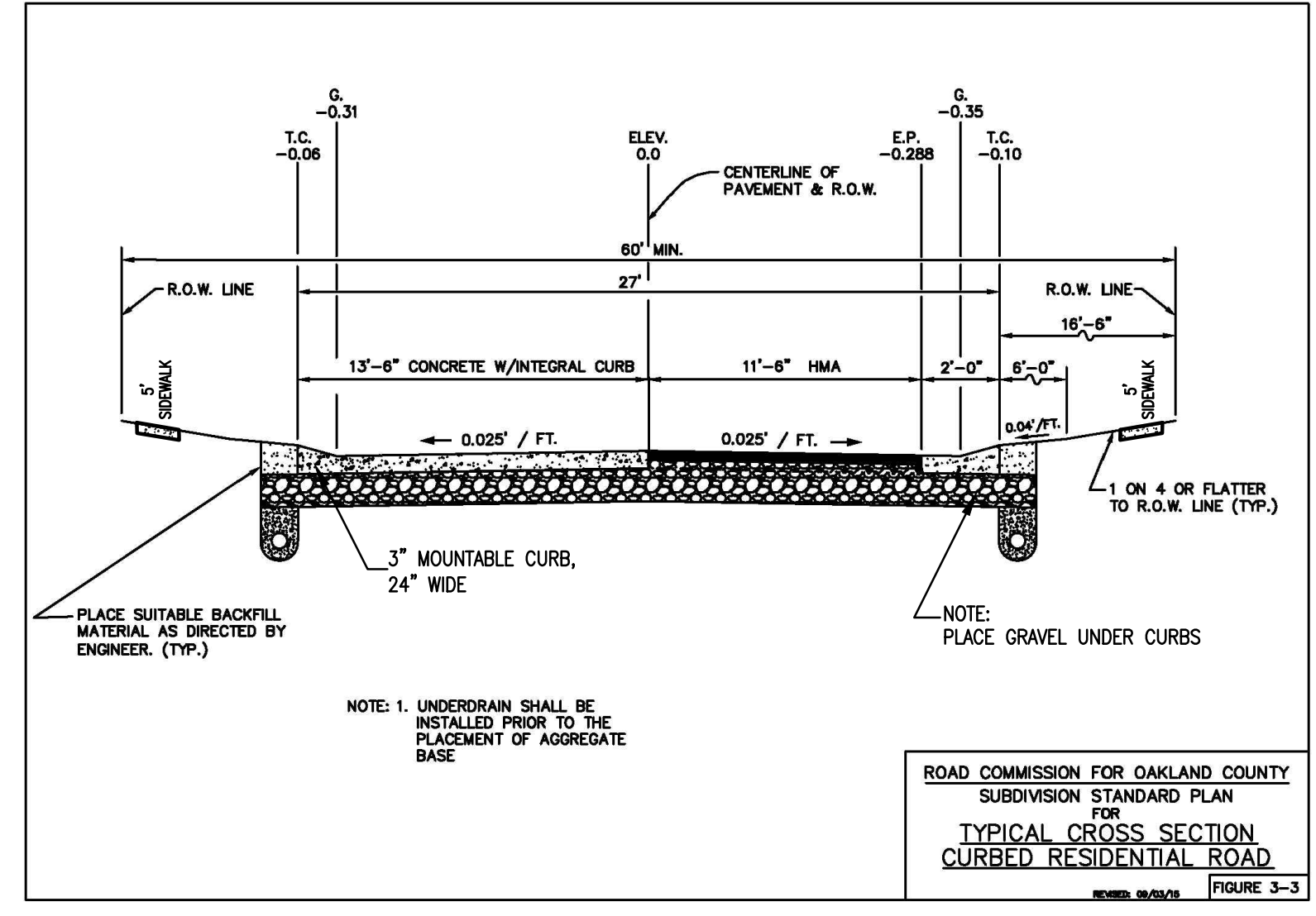
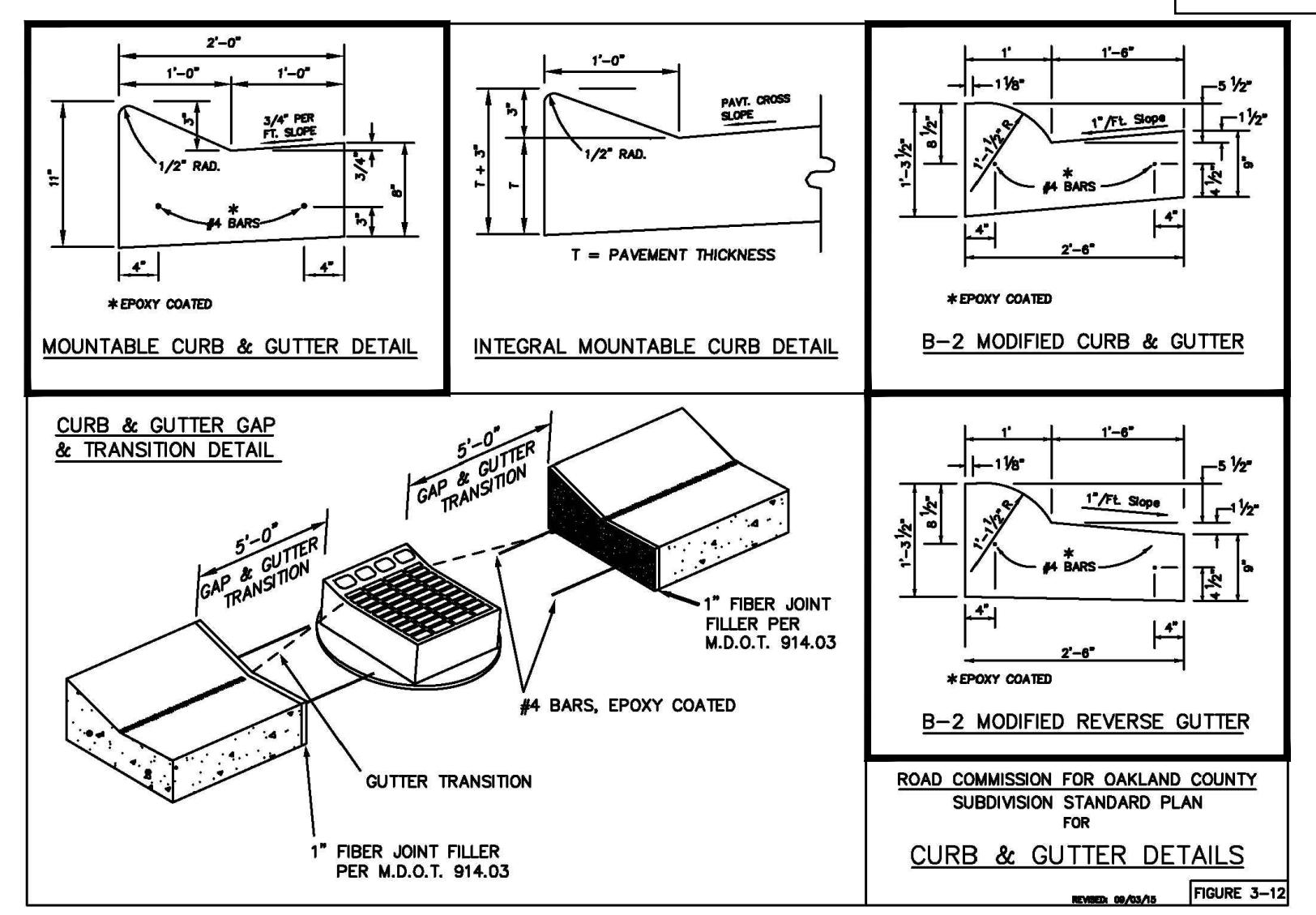
NOTE: 4.5" ASPHALT
1 1/2" HMA 5E
3" HMA 3E
RS-1H OR SS-1H @ 0.10/GAL/SYD BETWEEN LIFTS OVER
10"-21AA AGGREGATE, RCOO MODIFIED (6.5" UNDER CURBS)

Storm Water Facilities Maintenance Plan
The "Edendale Crossing" Homeowners Association shall be responsible for the maintenance of all the storm water facilities. (Note: The developer is responsible until the HOA exists).

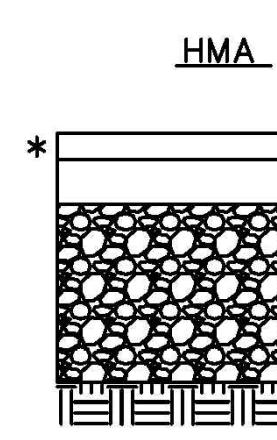
- These facilities include the following:
• Detention Basin
• Pretreatment Structure Manholes
• Manholes, Rear Yard Catch Basins, Leach Basins, End Sections & connecting pipe work
• Rear yard swales (within easements)

The HOA shall hire a qualified contractor to do the following Maintenance Schedule (including report kept on record):

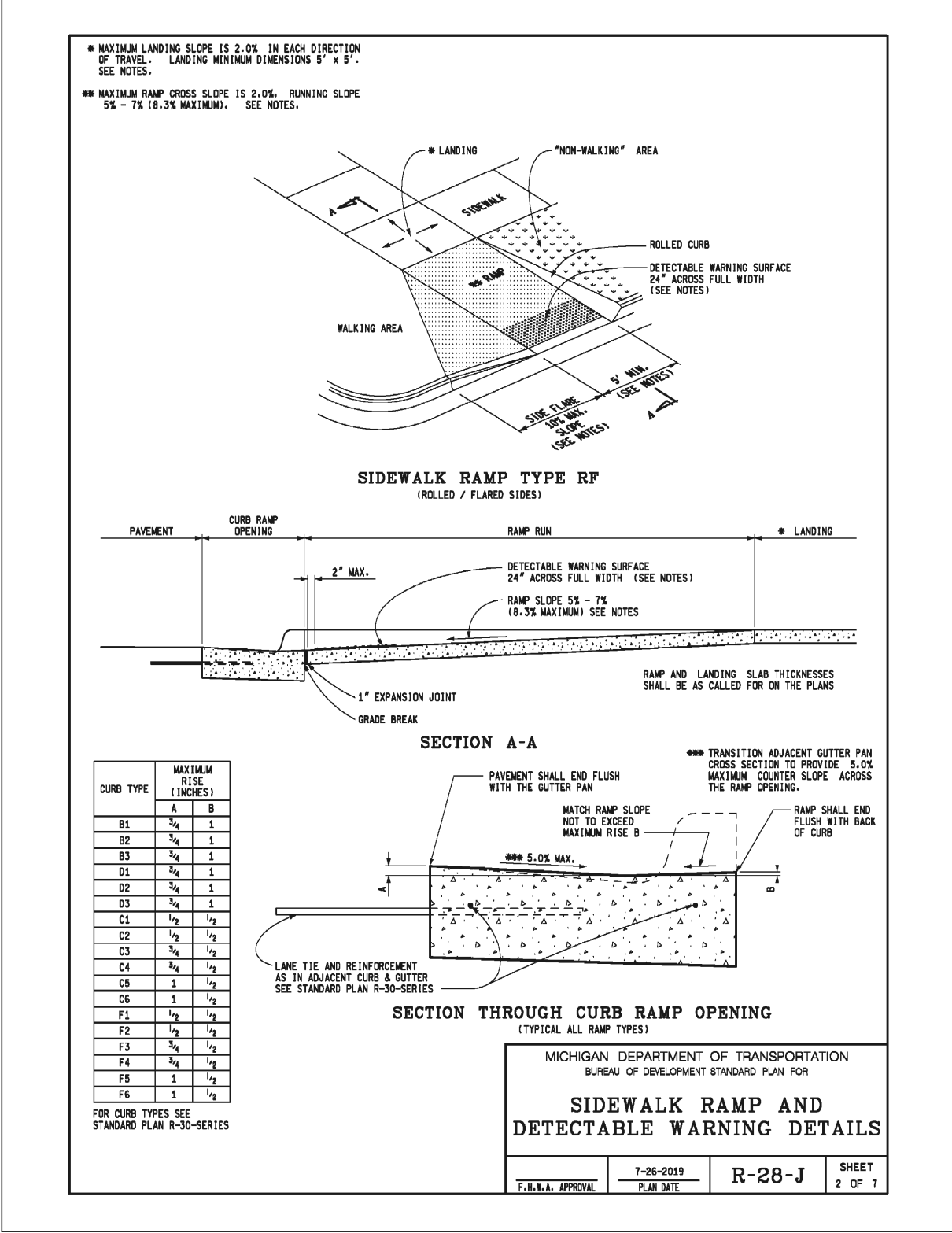
- 1. The (2) Pretreatment Structures shall be inspected by a qualified contractor on a semi-annual basis (twice/year) and necessary action taken to clean out the structures in accordance with the manufacturers guidelines.
2. The Detention Basin shall be inspected on any annual basis by a qualified contractor and/or civil engineer to insure it is functioning as designed.
3. The storm structures & swales shall be inspected on a bi-annual basis (every two years). This is an "above ground" visual inspection to determine if any structures are "failing", (i.e. ground has sank around structure, etc.).



TYPICAL ROAD SECTION "A-A" (SEE RCOO DETAIL SHEET 22 OF 25)



SS-1H @ 0.10/GAL/SYD BETWEEN LIFTS
COMMERCIAL A.D.T. COULD WARRANT A DIFFERENT TYPE HMA MIXTURE



TOTAL SITE
RESIDENTIAL UNITS = 123 REU/UNIT = 123 REU'S

OVERALL SANITARY DESIGN
"AVERAGE FLOW"
123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS
332.1 PERSONS x 100 GPCD = 33,210 GPD = 0.03321 MGD
x 1.55 (conversion)
Q = 0.0515 CFS

"PEAK FLOW"
123 REU'S @ 2.70 PERSONS/REU = 332.1 PERSONS/1000 = 0.3321 = P
Q = 100 x (18 + sqrt(P)) / (4 + sqrt(P)) = 405.93 GPCD
332 PERSONS x 405.93 GPCD = 134,769 GPD = 0.13477 MGD
x 1.55 (conversion)
Q = REQUIRED = 0.2089 CFS

NOTE: AN 8" TRUSS PIPE @ 0.40% CAN CARRY 0.765 CFS @ 2.19 FPS.
A 10" TRUSS PIPE @ 0.30% CAN CARRY 1.194 CFS @ 2.19 FPS.



DATE 9-18-2025 PER DLT (6-26-2025)
10-29-2025 PER RCOO MEETING (10-27-2025) & DLT (10-15-2025)
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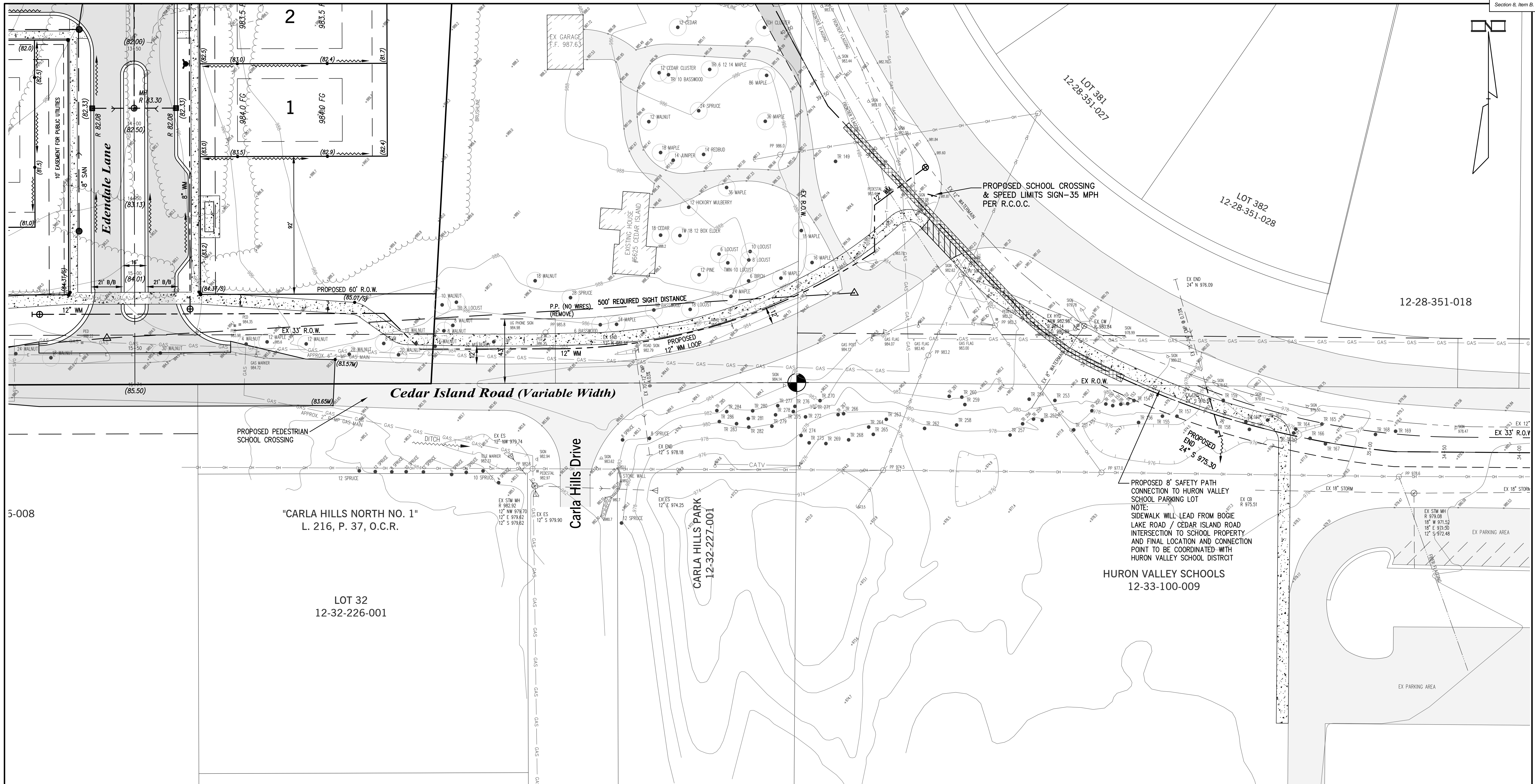
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Table with columns: DATE, DRAWN GF, DESIGN PCM, SECTION 29, CKD. BY, DATE, T-3-N, R-8-E.



72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG (800) 482-7171 OR 811
Detention Basin Calculations & Details
"EDENDALE CROSSING" SITE CONDOMINIUM
PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE N/A
SHEET 18 OF 19
KE 2025.01



5-008

DATE	ISSUE
9-18-2025	PER DIZ (8-26-2025)
10-29-2025	PER BOOC MEETING (10-27-2025) & DIZ (10-15-2025)
11-17-2025	REVISED PER CLIENT/PLANNER-62' WIDE UNITS (11-7-2025)
12-18-2025	REVISED PER P.C. MEETING (12-4-25) & CLIENT (12-12-25)

PROPRIETOR:
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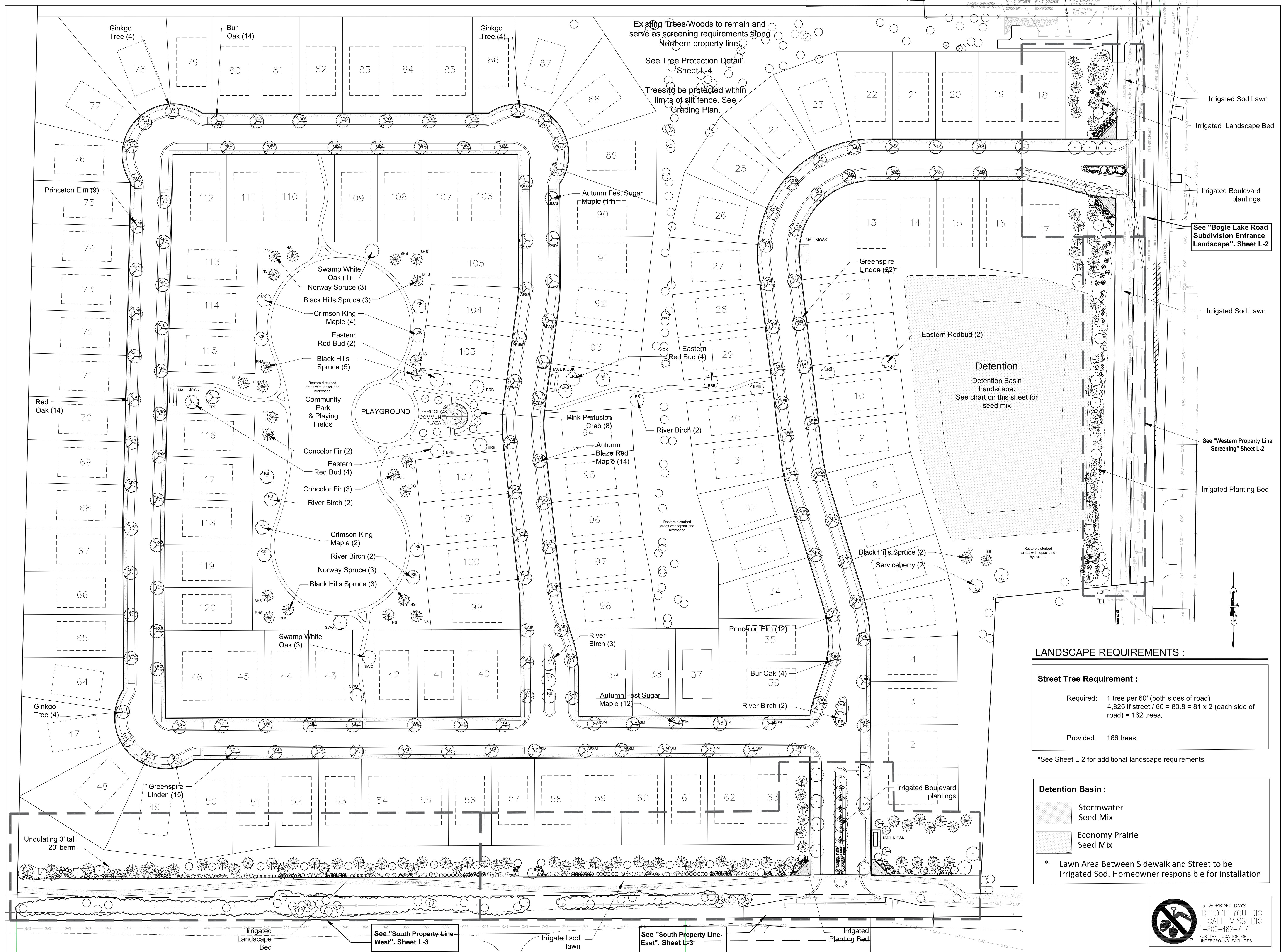
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DATE	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 29	T-3-N-R-8-E	



Cedar Island & White Lake Middle School Sidewalk Plan
"EDENDALE CROSSING" SITE CONDOMINIUM
 PART OF THE SOUTHEAST 1/4 OF SECTION 29, T3N, R8E
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
 SHEET 19 OF 19
 KE 2025.01



Existing Trees/Woods to remain and serve as screening requirements along Northern property lines.
See Tree Protection Detail Sheet L-4.
Trees to be protected within limits of silt fence. See Grading Plan.

Irrigated Sod Lawn
Irrigated Landscape Bed
Irrigated Boulevard plantings

See "Bogle Lake Road Subdivision Entrance Landscape". Sheet L-2

Irrigated Sod Lawn

Eastern Redbud (2)

Detention
Detention Basin Landscape.
See chart on this sheet for seed mix

See "Western Property Line Screening" Sheet L-2

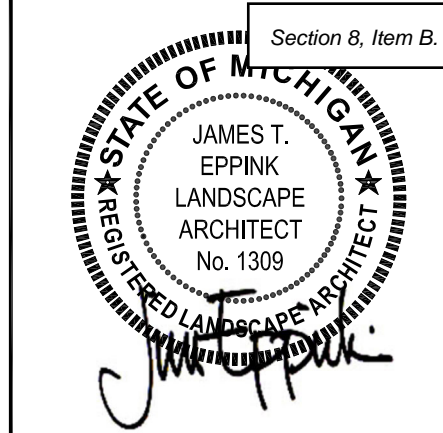
Irrigated Planting Bed

LANDSCAPE REQUIREMENTS :

Street Tree Requirement :
Required: 1 tree per 60' (both sides of road)
4,825 lf street / 60 = 80.8 = 81 x 2 (each side of road) = 162 trees.
Provided: 166 trees.

*See Sheet L-2 for additional landscape requirements.

Detention Basin :
Stormwater Seed Mix
Economy Prairie Seed Mix
* Lawn Area Between Sidewalk and Street to be Irrigated Sod. Homeowner responsible for installation



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Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
Suite 104
Auburn Hills, MI 48326
248.922.0789

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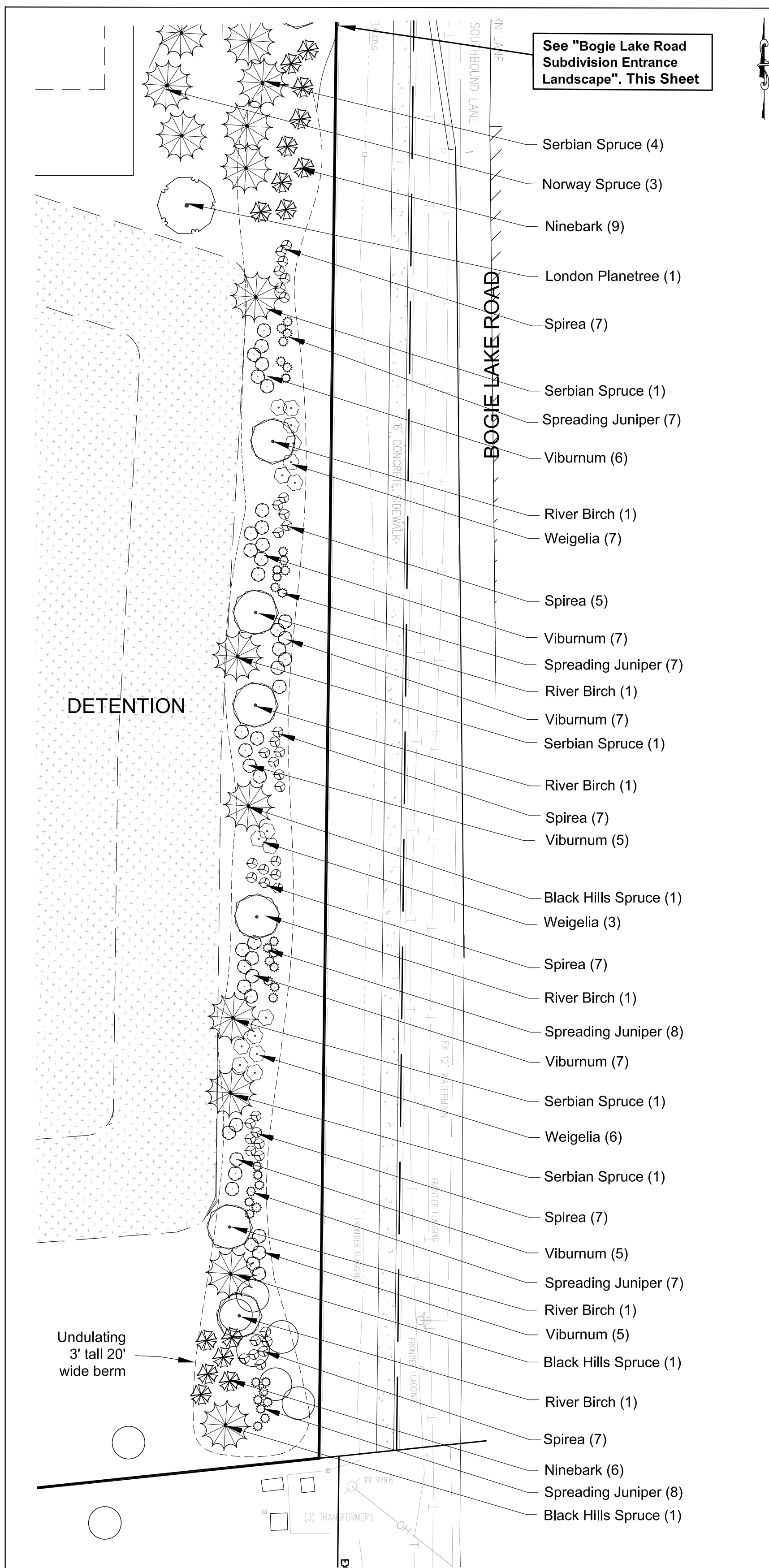
Project:
Edendale Crossing
Bogle Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Common Area Landscape Plan
Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked by:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet
L-1



See "Bogie Lake Road Subdivision Entrance Landscape". This Sheet



Residential Entranceway Landscape Requirement :

Area of Coverage: First 150' of Entrance Drive
Requirement: 1 tree and 3 shrubs per each 300sf of area

Bogie Lake Road Entrance :

North Side of Bogie Lake Road :

Area: 1,265 sf
1,265 \ 300 = 4.2 = 4
Trees: 4 x 1 = 4
4 Trees Required
4 Trees Provided
Shrubs: 5 x 3 = 15
15 Shrubs Required
15 Shrubs Provided
within entrance planting area.

South Side of Bogie Lake Road :

Area: 824 sf
824 \ 300 = 2.7 = 3
Trees: 3 x 1 = 3
3 Trees Required
4 Trees Provided
Shrubs: 3 x 3 = 9
9 Shrubs Required
9 Shrubs Provided
within entrance planting area.

Bogie Lake Road Entrance Island:

Area: 947 sf
947 \ 300 = 3
Trees: 3 x 1 = 3
3 Trees Required
3 Trees Provided
Shrubs: 12 Shrubs Required
15 Shrubs Provided

Cedar Island Road Entrance :

East Side of Cedar Island Road :

Area: 1,736 sf
1,736 \ 300 = 5.7 = 6
Trees: 6 x 1 = 6
6 Trees Required
6 Trees Provided
Shrubs: 6 x 3 = 18
18 Shrubs Required
18 Shrubs Provided

West Side of Cedar Island Road :

Area: 2,082 sf
2,082 \ 300 = 6.9 = 7
Trees: 7 x 1 = 7
7 Trees Required
10 Trees Provided
Shrubs: 7 x 3 = 21
21 Shrubs Required
21 Shrubs Provided

Cedar Island Road Entrance Island:

Area: 2,172 sf
2,172 \ 300 = 7.2 = 8
Trees: 8 x 1 = 8
8 Trees Required
7 Trees Provided
Shrubs: 4 x 3 = 12
12 Shrubs Required
35 Shrubs Provided

*Remaining 1 required trees to be planted along the sides of the road due to spacing constraints in boulevard

Screening Requirement between uses :

North Property Line :

Requirement: Land Form Buffer (A-2): 3' berm with min. 2' wide crown and max. 3:1 slope. 20' wide. 1 large deciduous tree, 1 large evergreen tree and 8 shrubs per 30'.

Eastern portion: 832 LF : 832 / 30 = 27.7 = 28
Required: 28 Deciduous, 28 Evergreen, and 224 Shrubs on 3' berm
Provided: 31 Existing trees and surrounding brushy vegetation to remain and serve as required screening. Berming would disturb the existing vegetation and is not recommended **See Tree Tables Below

Western portion: 742 LF : 742 / 30 = 24.7 = 25
Required: 25 Deciduous, 25 Evergreen, and 200 Shrubs on 3' berm
Provided: 15 Deciduous and 9 Evergreen
Adjacent use is a cell tower lot. Applicant seeks a waiver for remaining plants.

South Property Line :

Requirement: Greenbelt (E): 20' wide. 1 large deciduous or evergreen tree and 8 shrubs per 30'.

Required: 1,311 LF / 30 = 43.7 = 44
44 Trees and 352 Shrubs
Provided: 78 New Trees and 300 Shrubs
40' wide greenbelt provided

28 Existing trees and surrounding brushy vegetation to remain and serve as part of the required screening. Berming in these locations would disturb the existing vegetation and is not recommended. **See Tree Tables Below

Central Forest Area
27 Quality trees to remain (do not count towards a specific landscape requirement)

Tree Tables- Trees To Save

North Property Line Trees to Keep- Count Towards Required Buffer Trees

31 Quality trees to remain (highlighted)

Tree Number	Size	Type	Count for Req.
5485	6,6	Boxelder	
5489	6,6	Boxelder	
5490	8	Black Mulberry	x
5491	15,12	Pin Oak	x
5492	9	Black Cherry	x
5493	10	Pin Oak	x
5494	8	Pin Oak	x
5495	10	Pin Oak	x
5496	8,6,5	Black Cherry	x
5518	10	Poplar	
5519	9	Black Cherry	x
5520	8	Black Cherry	x
5521	9,4	Boxelder	
5522	9	Black Cherry	x
5523	13	Poplar	
5524	10,3,2	Black Mulberry	x
5525	18,18,12	Black Cherry	x
5526	10	Pin Oak	x
5527	24	Black Cherry	x
5528	9	Black Cherry	x
5529	27,27,22	Black Cherry	x
5530	17,6	American Elm	x
5531	12	Black Cherry	x
5532	18	Pin Oak	x
5533	8	Aspen	x
5534	9	Aspen	x
5535	10	Aspen	x
5536	10	Aspen	x
5537	12, 12	Black Cherry	x
5538	8,8	Black Cherry	x
5539	15	Black Cherry	x
5540	20	Black Cherry	x
5541	9	Black Cherry	x
5542	13	Black Cherry	x
5543	8	American Elm	x
5544	24,20,16,12	Black Cherry	x

South Property Line Trees to Keep- Count Towards Required Frontage Trees

28 Quality trees to remain (highlighted)

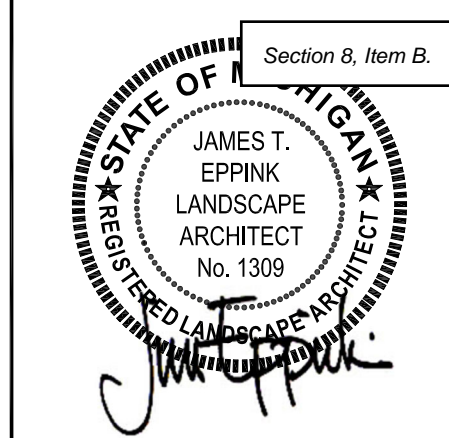
Tree Number	Size	Type	Count for Req.
551	14	Hickory	x
552	34	Oak	x
553	30	Oak	x
554	48	Oak	x
555	20	Walnut	x
556	10	Cherry	x
557	30,18	Oak	x
558	18	Cherry	x
559	16	Hickory	x
560	32	Oak	x
561	12	Oak	x
562	10	Cherry	x
563	30	Walnut	x
564	18,16	Cherry	x
565	14	Boxelder	
566	10	Elm	x
567	10	Cherry	x
568	12	Oak	x
569	18	Cherry	x
570	10	Cherry	x
571	30	Walnut	x
572	10	Pin Oak	x
573	9	Pin Oak	
574	22,10,10	Black Cherry	x
575	8	Boxelder	
576	9	Black Cherry	x
577	9	Black Cherry	x
578	9	Boxelder	
579	10	Black Cherry	x
580	18	Black Cherry	x
581	12,12	Black Cherry	x
582	10	Black Cherry	x
583	8	Pin Oak	
584	18	Black Cherry	x
585	12,12,8	Black Cherry	x
586	10	Black Cherry	x
587	19	Black Cherry	x

Tree Number	Size	Type
588	30	Pin Oak
589	12,12,5	Black Cherry
590	16,14,12	Black Cherry
591	15,13	Black Cherry
592	18	Pin Oak
593	18	Black Cherry
594	18,8	Black Cherry
595	9	Black Cherry
596	12	Pin Oak
597	11,9	Pin Oak
598	8	Boxelder
599	10	Black Cherry
600	22	Black Oak
601	9	Pin Oak
602	10	Pin Oak
603	9	Pin Oak
604	22,10,10	Black Cherry
605	8	Boxelder
606	9	Black Cherry
607	9	Boxelder
608	10	Black Cherry
609	12,12,8	Black Cherry
610	10	Black Cherry
611	19	Black Cherry

EXISTING TREES TO REMAIN :

86 Existing trees to remain on site.

Additional smaller, non-regulated trees, buffers, and natural vegetative growth and shrubby areas to remain on site adjacent to the Cedar Island Frontage as well as within the central natural preservation areas of the neighborhood. The preservation areas are intended to be a community benefit for the preservation of woodland canopy, natural buffering along Cedar Island Road, and the continuous natural habitat for wildlife.



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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

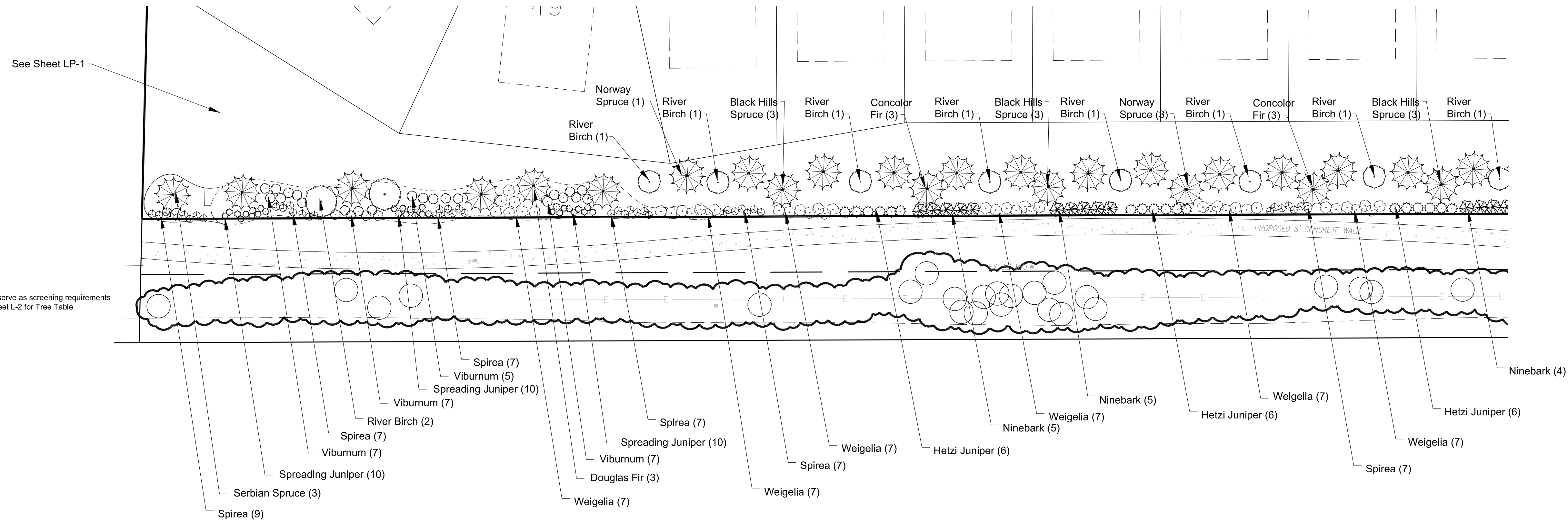
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Landscape Plan-Entrance & Screening Areas

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

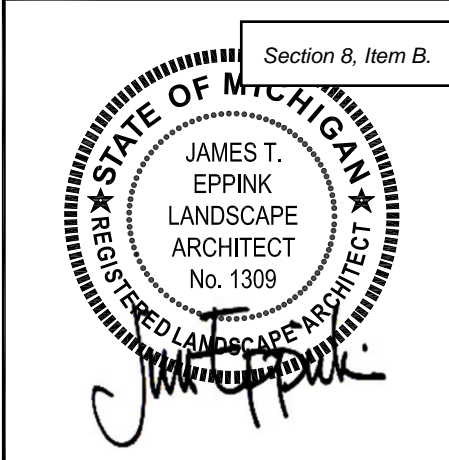
Drawn by:
LZ
Checked By:
JTE
Date:
December 18, 2025
Scale:
As Noted
Not for Construction
Sheet
L-2 245

LANDSCAPE PLAN : South Property Line- West

Scale: 1" = 30'



Existing Trees/Woods to remain and serve as screening requirements along Southern property line. See Sheet L-2 for Tree Table

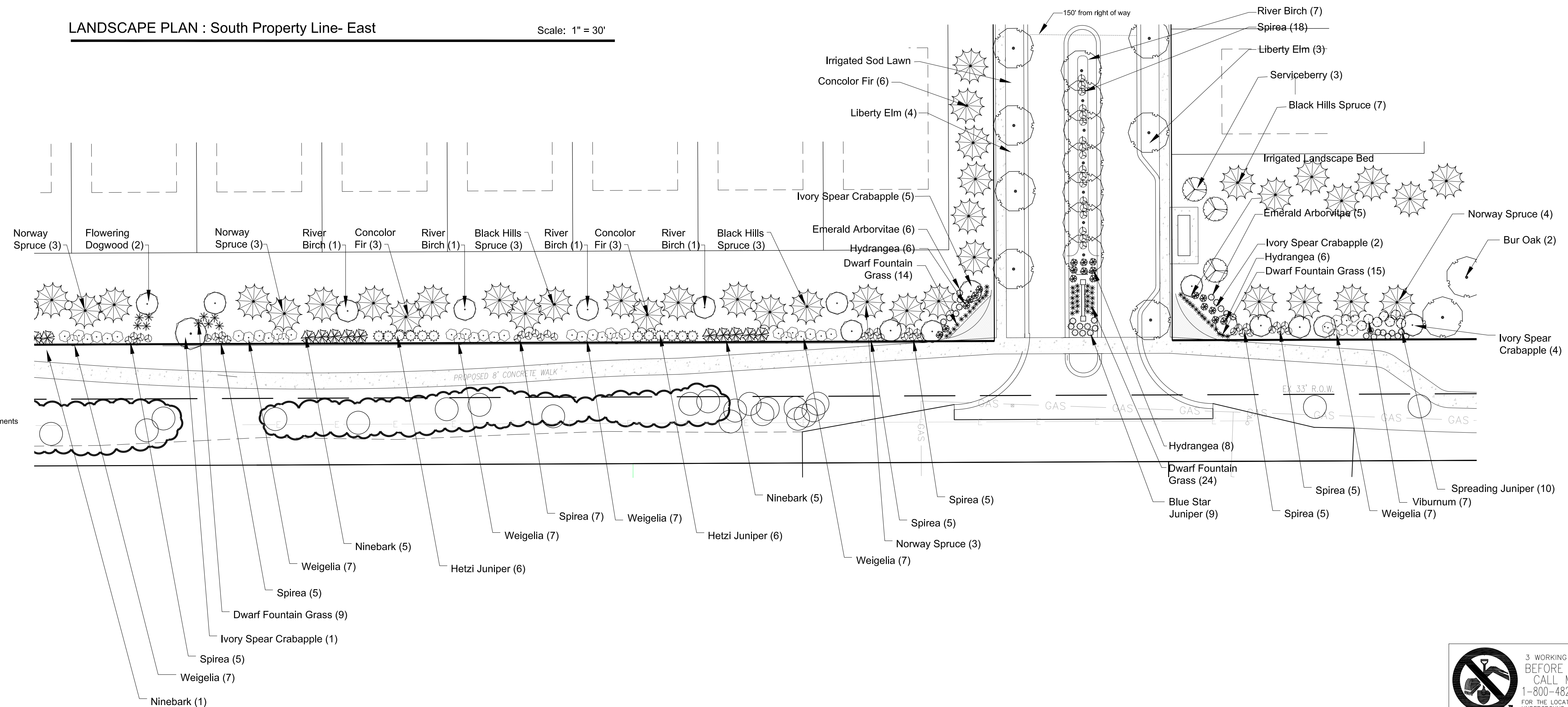


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LANDSCAPE PLAN : South Property Line- East

Scale: 1" = 30'



Existing Trees/Woods to remain and serve as screening requirements along Southern property line. See Sheet L-2 for Tree Table

Edendale Crossing

Bogle Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Landscape Plan-Entrance & Screening Areas

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

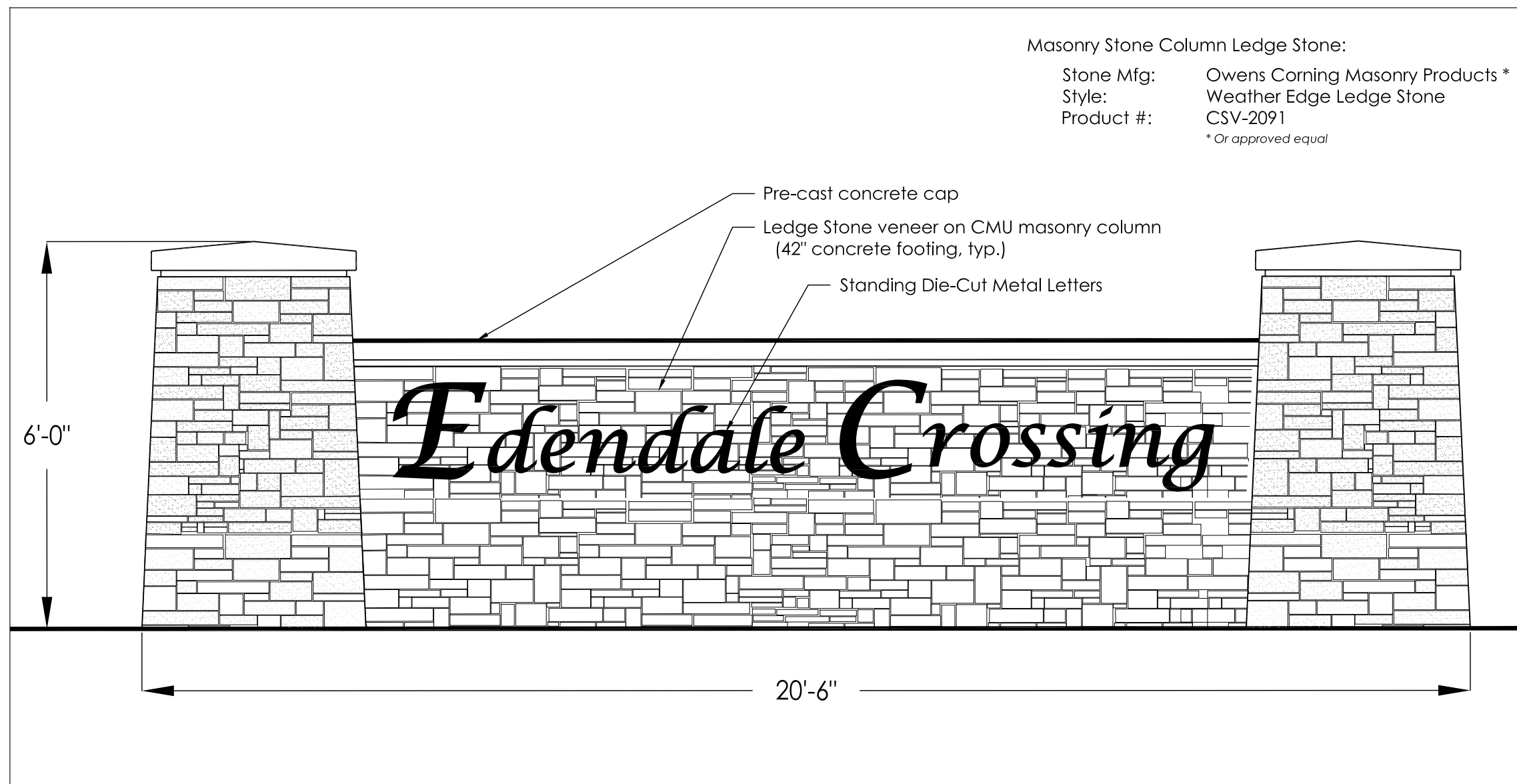
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LZ
Checked By:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet
L-3



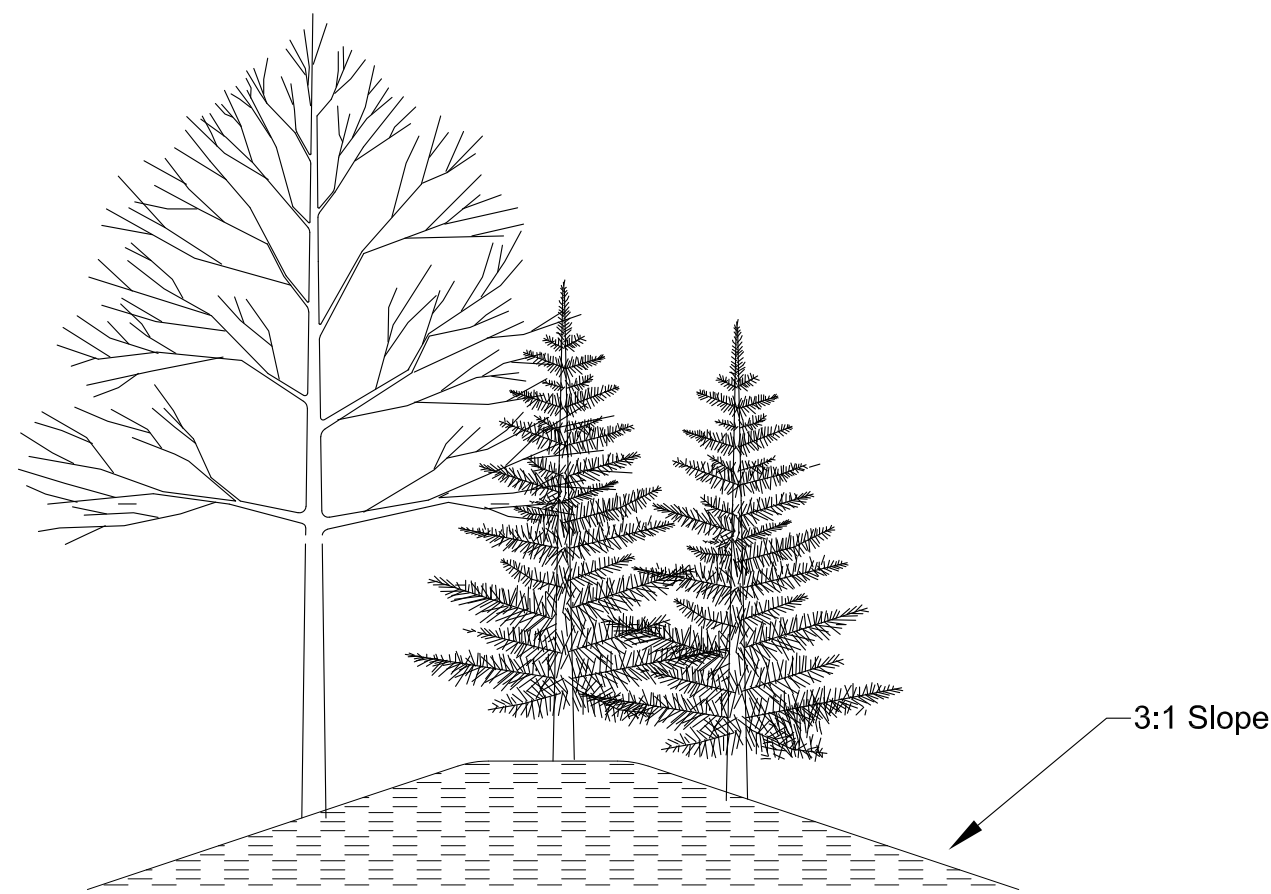
ENTRANCE MONUMENT SIGN (BOGIE LAKE ROAD & CEDAR ISLAND ROAD):

SCALE: 1" = 2'



LANDSCAPE PLAN : Berm Cross Section

Scale: Not to Scale



PLANTING LIST :

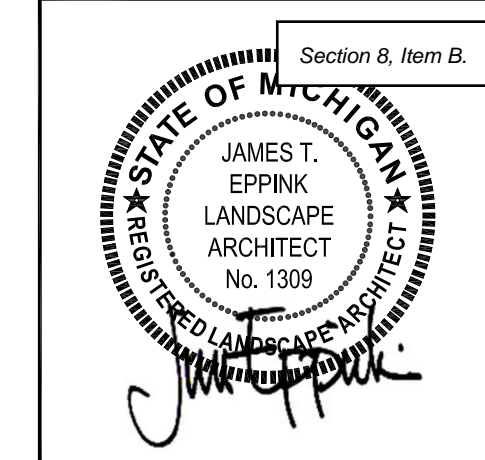
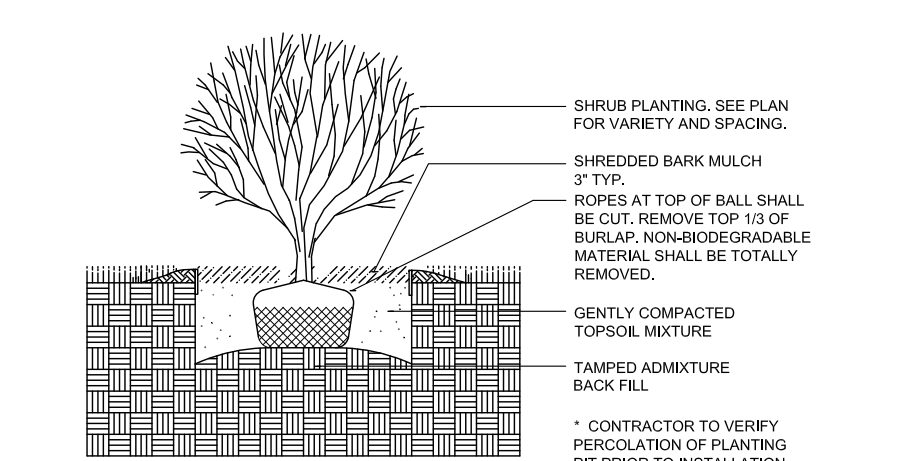
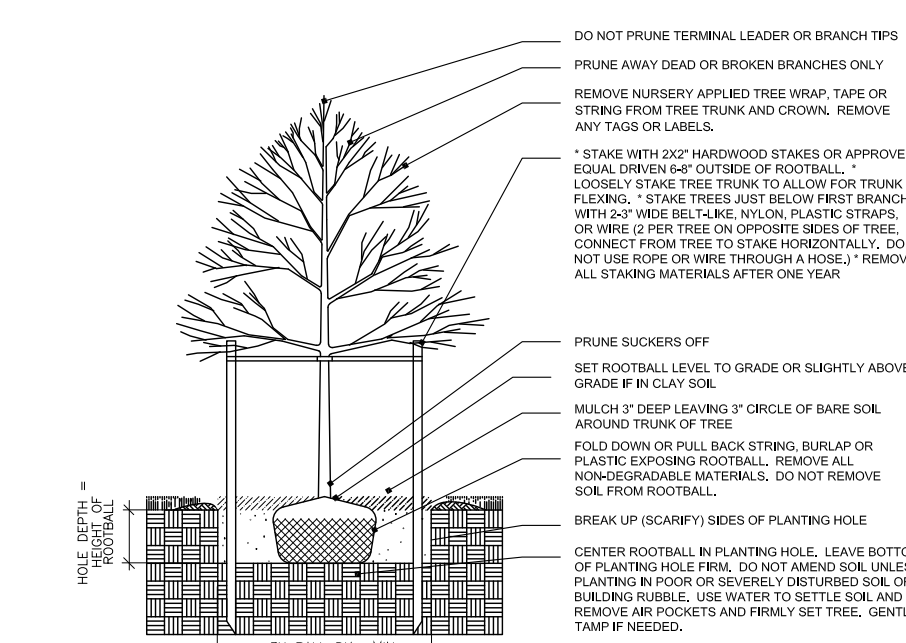
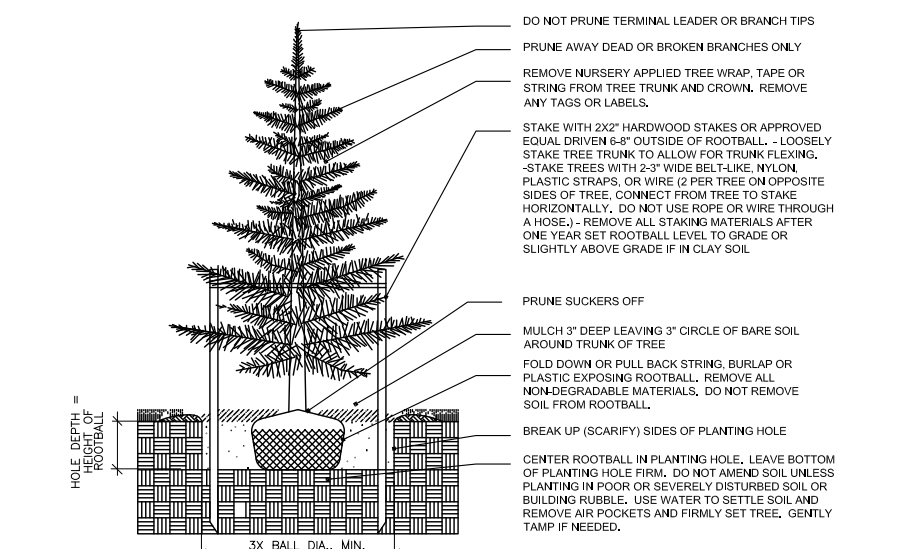
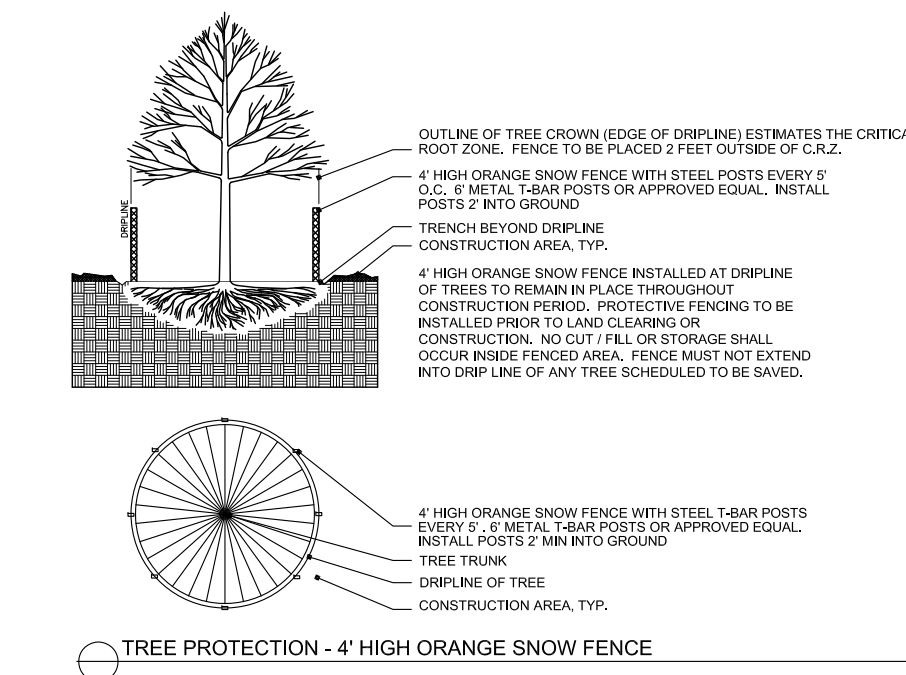
Quant	Description	Size/Root
23	Abies Concolor Concolor Fir	7' / B&B
6	Acer platanoides 'Crimson King' Crimson King Maple	2.5" / B&B
14	Acer Rubrum Red Maple 'Autumn Blaze'	2.2" / B&B
22	Acer saccharum 'JFS-KW8" Autumn Fest Maple	2.2" / B&B
5	Amalanchier arborea Serviceberry	7' / B&B
42	Betula nigra River Birch	7' / B&B
12	Cercis canadensis 'Forest Pansy' Forest Pansy Redbud	2" / B&B
2	Cornus florida Flowering dogwood	2" / B&B
18	Ginkgo biloba Ginkgo	2.5" / B&B
0	Malus 'Pink Profusion' Pink Profusion Crabapple	2" / B&B
19	Malus 'Ivory Spear' Ivory Spear Crabapple	2" / B&B
1	Platanus x acerifolia London Plane Tree	2.5" / B&B
38	Picea glauca densata Black Hills Spruce	7' / B&B
3	Pseudotsuga mensiesii Douglas Fir	7' / B&B
18	Picea omorika Serbian Spruce	7' / B&B
32	Picea abies Norway Spruce	7' / B&B
36	Tilia cordata Greenspire Linden	2.5" / B&B
12	Ulmus americana 'Princeton' Princeton Elm	2.5" / B&B
16	Ulmus americana 'American Liberty' Liberty Elm	2.5" / B&B
20	Quercus macrocarpa Bur Oak	2.5" / B&B
14	Quercus rubra Red Oak	2.5" / B&B
4	Quercus bicolor Swamp White Oak	2.5" / B&B

Shrubs		
58	Hydrangea paniculata 'Little Quickfire' Little Quickfire Hydrangea	#5 / Container
41	Phisocarpus opulifolius 'Diablo' Diablo Ninebark	#5 / Container
87	Weigelia florida 'Bokraspiwi' Spilled Wine Weigla	#2 / Container
21	Weigelia florida 'Alexandra' Wine and Roses Weiglea	#3 / Container
44	Thuja occidentalis Emerald Arborvitae	#5 / Container
150	Spiraea x bumalda Anthony Waterer Spirea	#2 / Container
77	Juniperus horizontalis Blue Rug Juniper	#3 / Container
30	Juniperus Hetzi Col. Hetzi Juniper	#5 / Container
80	Viburnum dentatum 'Ralph Senior' Autumn Jazz Viburnum	#2 / Container
14	Juniperus squamata 'Blue Star' Blue Star Juniper	#3 / Container
Perennials		
124	Pennisetum alopecuroides 'Hameln' Dwarf Fountain Grass	#2 / Container

PLANTING NOTES :

- Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities or structures.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall immediately be brought to the attention of the Owner's Representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's Representative. Failure to make such discrepancies known will result in contractor's responsibility and liability for any changes and associated costs.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish construction installation operations.
- Contractor shall provide and maintain positive surface drainage.
- Contractor shall be responsible for any existing materials that are damaged during construction.
- See Plant & Material List and Planting Details for planting requirements, materials and execution.
- All trees shall have a clay loam or clay root ball. Trees with sand root balls will not be accepted.
- All tree varieties and substitutions, or deviations to the landscape plan must be approved prior to installation. Any plant material delivered to site not previously approved may be rejected and are the sole responsibility of the contractor.
- The contractor shall "water in" and fertilize all plants immediately after planting.
- Contractor shall install 3" depth Shredded Hardwood Mulch in all shrub and tree planting beds. Peat Moss is to be installed in all perennial flower area. Such beds shall have no shredded mulch, typ.
- The contractor shall guarantee and maintain all trees, shrubs, ground cover and other plant materials for two years from the date of installation, including labor and removal and disposal of dead material.
- All plant material shall be grade 1 northern nursery grown from a local source. All trees and plant material shall meet the current standards of the American Society of Nurseryman.
- Contractor shall adhere to all soil erosion prevention methods as directed by the Municipal Ordinance including maintaining silt fencing and ensuring that soil, silt and other debris is prevented from leaving site or entering area drains, sewer inlets, creeks or natural areas.
- Contractor shall protect existing irrigation system throughout construction, and shall modify the existing irrigation system as needed to ensure that all lawn and landscape areas within the project area receive irrigation coverage, and that the system operates correctly and efficiently. Contractor shall also install a rain detection and shut-off sensor onto the system.
- Trees shall not be installed closer than 4' from a property line.
- Contractor shall ensure that a 25' clear vision zone is maintained at each intersection as depicted, and must ensure that no limbs or obstructions exist between the grade and 8' above the grade within this zone.

PLANTING DETAILS :



J EPPINK PARTNERS, INC
Urban Design Studio
Landscape Architecture
Traditional Town Planning
27 Squirrel Road
Suite 104
Auburn Hills, MI 48326
248.922.0789

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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Landscape Details & Plant List

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25
Updated Site Plan 12-18-25

Drawn by:
LZ
Checked by:
JTE
Date:
December 18, 2025
Scale:
As Noted

Not for Construction
Sheet:
L-4





The Stratford 4 Bedrooms



Elevation 'A'



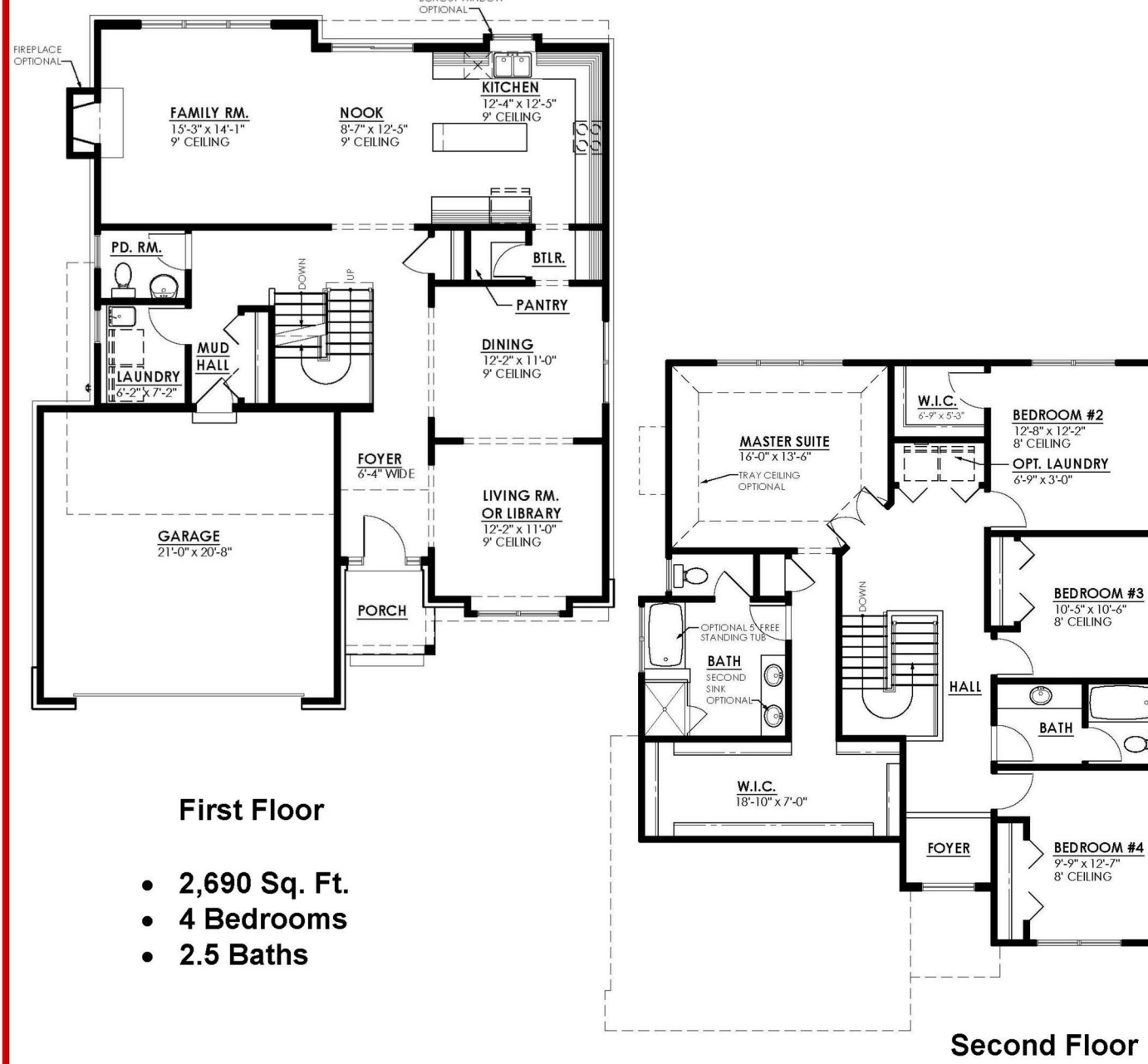
Elevation 'B'



Elevation 'C'



The Stratford 4 Bedrooms



First Floor

- 2,690 Sq. Ft.
- 4 Bedrooms
- 2.5 Baths

Second Floor

www.mypphome.com
Laura 248.390.7792

The floor plans and elevations are an artist's depiction and are meant as a guide. Renderings do not accurately depict the legal description of the property, boundaries, or dimensions. We cannot provide any guarantees that the actual elevation will not differ from the artist's depiction. The builder reserves the right to make changes in prices, materials, or specifications without notice or obligation. August 6, 2021

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Single Family Home: "The Stratford" Four Bedroom. 2,690 SF. 2.5 Bathrooms. Three+ elevation options



The Manchester 4 Bedrooms



Elevation 'A'



Elevation 'B'



Elevation 'C'

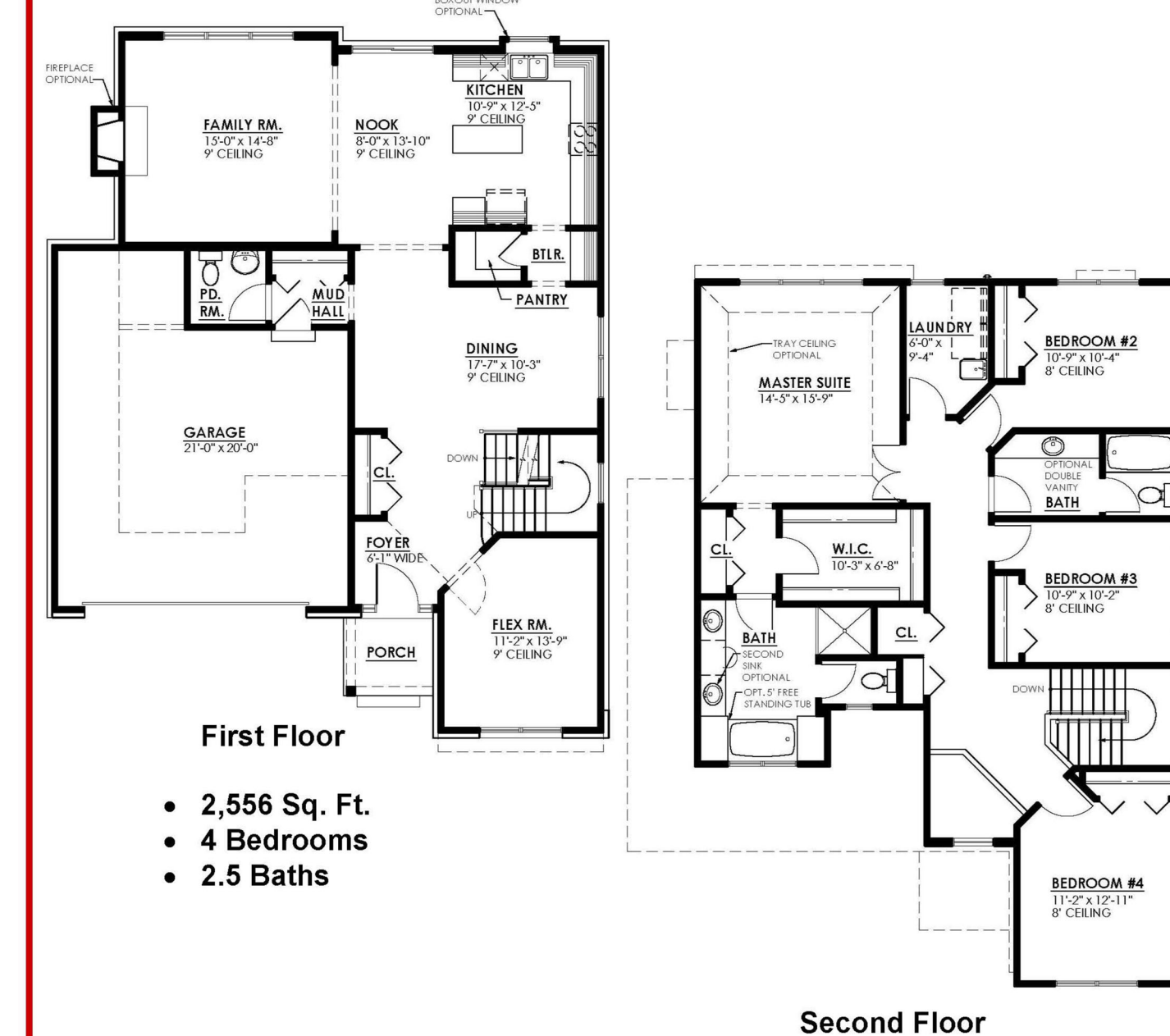
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Single Family Home: "The Manchester" Four Bedroom. 2,556 SF. 2.5 Bathrooms. Three+ elevation options



The Manchester 4 Bedrooms



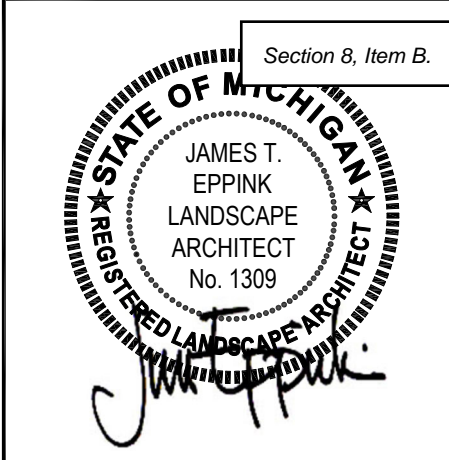
First Floor

- 2,556 Sq. Ft.
- 4 Bedrooms
- 2.5 Baths

Second Floor

www.mypphome.com
Laura 248.390.7792

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Project:
Edendale Crossing
Bogie Lake Road
White Lake Township, MI

Owner:
PH Homes
8255 Cascade Ave
Suite 110
Commerce Twp, MI 48382
248-242-6838

Sheet:
Preliminary Architecture

Issues / Revisions
Per Twp Review 09-19-25
Per Twp Review 11-12-25

Drawn by:
LZ
Checked by:
JTE

Date:
September 19, 2025
Scale:
As Noted

Not for Construction

Sheet:
A-1

Architectural Materials and Design Standards:

Exterior Color packages for Single Family Homes

Package 1 Siding: Fieldstone Flint Brick: Port Huron Shingles: Rustic Black Shutters: Black	Package 2 Siding: Heritage Linen Brick: North Hampton Shingles: Natural Timber Shutters: Musket Brown
Package 3 Siding: Rich Mocha Brick: Meadow Shingles: Thunderstorm Grey Shutters: Musket Brown	Package 4 Siding: Lakeshore Grey Brick: Mulberry Shingles: Virginia Slate Shutters: Black
Package 5 Siding: Desert Cactus Brick: Bessemer Grey Shingles: Weathered wood Shutters: Tuxedo Grey	Package 6 Siding: Blue Slate Brick: Petoskey Shingles: Aged Wood Shutters: Tuxedo Grey

***Trim to be either White OR match siding color, Garage doors will match trim.

Exterior Materials list for Edendale Crossing

Single Family Homes

Siding: Napco or Spiegel Grove Vinyl siding STYLE:D4.5
COLORS: Fieldstone Flint, Heritage Linen, Rich Mocha, Lakeshore Grey, Desert Cactus

Shingle: Tamko 30 year Dimensional Shingle
COLOR: Rustic Black, Natural Timber, Thunderstorm Grey, Virginia Slate, Aged Wood, Weathered Wood

Front Door: 2 Panel Fiberglass Door with 12" sidelights
Garage Door: Embossed panel steel sectional garage door.
COLOR: White or Match Trim

Brick: Triangle Brick or Forterra Brick Queen Size
COLOR: Port Huron, North Hampton, Meadow, Mulberry, Bessemer Grey, Petoskey

Windows: Jeldwen Single hung Vinyl



The Rathmore 4 Bedrooms



Elevation 'A'



Elevation 'B'



Elevation 'C'

www.mypphome.com
Laura 248.390.7792

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Single Family Home: "The Rathmore" Four Bedroom. 2,182 SF. 2.5 Bathrooms. Three+ elevation options



The Rathmore 4 Bedrooms



First Floor

- 2,182 Sq. Ft.
- 4 Bedrooms
- 2.5 Baths

Second Floor

www.mypphome.com
Laura 248.390.7792

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Edendale Crossing

A Proposed Residential Neighborhood
White Lake Township, Michigan

Project Applicant / Developer:

PH Communities, LLC

8255 Cascade Ave, Suite 110
Commerce Twp, MI 48382
248-242-6838
Attn: Craig Piasecki
craigp@myphhome.com

Development Team Consultants:

Civil Engineer & Surveyor:

Kieft Engineering, Inc.

Patrick McWilliams
5852 South Main Street, Ste 1
Clarkston, MI 48346
248-625-5251
pmcwilliams@kiefteng.com

**Planning & Landscape
Architecture:**

J Eppink Partners, Inc.

Jim Eppink
27 S. Squirrel Rd, Ste 104
Auburn Hills, MI 48326
248-922-0789
jim@jeppink.com

Site Data:

Parcel Size:

45.47 - acres

Location:

Northwest corner Bogie Lake
Road & Cedar Island Road,
within Section 29 of White Lake
Township, MI

Existing Zoning:

AG – Agricultural &
R1-A – Single-Family
Residential

Proposed Zoning:

PD – Planned Development
Residential Single Family
Site Condominium

Proposed Uses:

120 Single Family Homes

Community Impact Statement

Edendale Crossing is a proposed single-family residential community to be located on west side of Bogie Lake Road, north of Cedar Island Road, in Section 29 of White Lake Township, Michigan. The 45.47-acre site is a combination of nine adjacent parcels. PH Homes proposes to rezone the parcels from AG & R1-A to PD (Planned Development). The details of the proposed development are depicted within the attached site plan submission documents.

The new neighborhood will feature **120 new single-family homes** that will front a series of private roads and open space areas. The neighborhood will have entrances onto both Bogie Lake Road and Cedar Island Road and be connected internally with sidewalks and walking trails. Key features of the neighborhood include the preservation of a mature tree-row that runs north and south at the center of the property, the **preservation of more than 27% open space** with active recreational opportunities, as well as an extension of the sidewalk system beyond the neighborhood and leading to the nearby Lakewood Elementary School and Lakeland High School at Bogie Lake Road.

As a condition of the Planned Development site plan process, the nine existing parcels will be combined into one parcel, and the Edendale Crossing neighborhood will be constructed as two phases (see the “Site Plan” sheet 3)

Considerations:

- Attached Multi-Family Alternatives:** PH Homes explored incorporating attached multi-family homes into the development, however after hearing from area residents, members of the Planning Commission, discussions with multiple real estate professionals, analysis of the White Lake Township housing market, it was determined that neither for-sale or for-lease multi-family residential would do well, or be supported at this site. Real estate professionals and analysis of the market confirmed that this area of the Township is best suited for single-family residential homes. White Lake Township, and surrounding areas are experiencing high demand for new, attainably priced, for-sale, single-family homes, and we believe the homes at Edendale Crossing will be successful and help to meet that demand.
- Lot Size:** PH Homes has increased its proposed lot size from 60’ wide to 62’ wide, now matching lot sizes approved at the Trailside Meadow development. The Edendale Crossing lots are larger than the Trailside lots (62’x125’ vs 62’x120’) and the Edendale front yard is larger (25’ vs 20’) than Trailside. Edendale’s side yard setback of 10’ + 10’ and rear yard setback of 30’ match the R1-D standard as well those approved at Trailside Meadow.

3. **Master Plan Analysis:** PH Homes has further reviewed the objectives and standards of the White Lake Township and believe that Edendale Crossing delivers on the goals, objectives, and standards set forth in the recently updated Master Plan. The Master Plan identify this location as one of three “Key Development Opportunities” within the Township.
- a. **Proposed Land Use:** The Master Plan identifies this, and most of the surrounding areas in this portion of the Township as “Neighborhood Residential” on its Future Land Use map. “Neighborhood Residential envisions infill development that maintains existing neighborhoods and provides for denser residential in places where there is infrastructure to support the density that is ‘within the context’ of surrounding neighborhoods.
 - b. **Supporting Infrastructure:** Edendale Crossing proposes to extend the Sanitary Sewer force main nearly a mile from the south, meeting the goals of the Master Plan towards the expansion of utility infrastructure throughout the community. The extension of the sanitary sewer will be funded by PH Homes, and in addition to serving the homes within Edendale Crossing, **it becomes a community benefit because it will be available to serve existing homes along Bogie Lake Road as well as future development to the north.** Additionally, Edendale will improve Bogie Lake Road and a section of Cedar Island Road including widening, paving, and adding crosswalks and sidewalks, **as directed by the Road Commission of Oakland County.**
 - c. **Proposed Density:** The Master Plan specifically calls for a density between 2-8 dwelling units per acre at this location. The Master Plan goes on to identify R1-D as a zoning classification which may be consider as a starting point for this location. R1-D allows 3-units per acre and a parallel plan included in the submission demonstrates that the site can support 109 R1-D lots, however, the R1-D plan would not be required to provide any open space, natural feature preservation, or other neighborhood or community amenities. **Edendale Crossing proposes a density of 3.3 homes per acre by adding only 11 additional homes more than the parallel plan (120 total homes proposed), and provides more than 27% open space,** natural vegetation preservation, trails, and walks. These community features are specifically called out in the Master Plan goals and objectives as desired attributes in the Township and needed in this area.
 - d. **“Within the Context.”** The Master Plan states that proposed development should be “within the context” of surrounding existing development. The Master Plan does not define “*within the context*” to be “exactly like” surrounding development, but within the context or generally similar to. Edendale Crossing is certainly within the context of surrounding development and within the plans outlined in the Master Plan. The Master Plan, in its analysis identified not only this property this property, but most of the surrounding neighborhoods, as Neighborhood Residential. It also designated that Neighborhood Residential could appropriately have a density of between 2-8 units per acre, and in fact R1-D zoning should be a comparative zoning classification for this location. Edendale Crossing proposes, **only 11 more single-family homes than R1-D zoning would provide and only 3.3 units per acre, which is on the very low end of the anticipated 2-8 units per acre permitted within Neighborhood Residential Zoning.** The Master Plan therefore deemed that single-family homes, within the prescribed 2–8-unit density range, and certainly at the low end of that range, are “within the context” of surrounding residential as envisioned within the newly adopted Master Plan.
 - e. **Meeting Additional Goals of the Master Plan – Single Family Housing:** The Master Plan identifies that there is great demand for housing within White Lake Township. It specifically noted that, although there is a long-term goal of providing greater housing diversity, the Master Plan acknowledges that most respondents are not seeking diverse housing typologies. In fact, the Master Plan identified that only 6% of White Lake Township residents indicated that they would seek multi-family housing in the future, whereas more than 80% of the respondents indicated that they would

seek single-family housing options. This comports with PH Homes' market analysis and that of local real estate advisors that single-family housing is in demand and appropriate for this site.

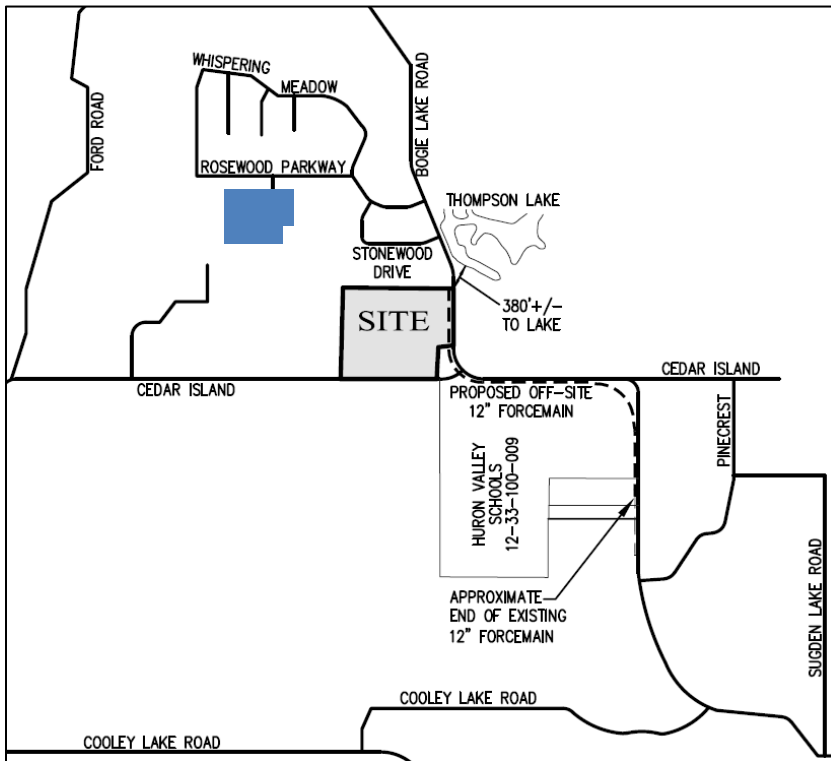
- f. **Meeting Additional Goals of the Master Plan – Maintain Small Town Character:** Edendale Crossing promotes “small town character” through the development of appropriately sized home sites with an emphasis on preservation of natural vegetation and open space as well as walkability within the neighborhood and to nearby destinations like the schools.
4. **Rural Frontage at the exterior Roads.** Edendale Crossing is designed to maintain maximum rural character and buffering along its exterior roads. **The two homes at either side of the Bogie Lake entrance far exceed the required setback of 40'. Each home will be more than 80' from the Bogie Lake right-of-way (70'+ from the lot line). Significant landscape plantings are proposed adjacent to each home and along the entire Bogie Lake Frontage.** The balance of the homes along Bogie Lake are more than 285' setback from the road and are buffered by the detention basin and dense landscape planting along Bogie Lake, thereby maintaining a green and buffered frontage. **The homes backing to Cedar Island have been shifted further north than in the previous plan. The rear lot line is now 45' from the right-of-way and the rear of the homes will be more than 105' to the edge of the road.** More than two dozen additional evergreens and deciduous trees have been added to the Cedar Island landscape buffering and existing trees and vegetation that will remain, maintaining the natural, green Cedar Island appearance.
 5. **Bogie Lake and Cedar Island Road:** The Road Commission of Oakland County (RCOC) has completed a preliminary review and provided directional feedback to PH Homes. Kieft Engineering has incorporated that feedback into the submitted plans. They include:
 - a. Adding a continuous center turn lane into Bogie Lake Road beginning south of our entrance and continuing north of the existing Thompson Lane entrance. This combination of lane widening and addition of a continuous center turn provide safe turning movements from our proposed entrance as well as into Thompson Lane and existing homes and individual driveways along Bogie Lake.
 - b. Adding acell and decell lanes at our Bogie Lake Road entrance
 - c. RCOC validated that proposed location of the Cedar Island entrance stating that it was appropriately positioned between the two roads on the south side of Cedar Island. They further validated our planned paving of Cedar Island to our entrance.
 - d. RCOC directed us to relocate our proposed sidewalk extension to the schools and have the crosswalk crossing at the intersection of Bogie Lake and Cedar Island rather than our earlier location mid-block on Cedar Island.
 - e. RCOC reviewed and validated our proposed curb-cut locations in relationship to adjacent curb-cuts, opposing road, the posted speed limits, and view distances at Bogie Lake and Cedar Island.
 6. **Community Benefits:** PH Homes is proud of the Community Benefits Edendale Crossing will bring to its future residents and to the entire White Lake Township community. They include:
 - a. **Road Improvements** that will benefit increase safety and ease turning movements for existing residents, Thompson Lane, and school bound traffic through the widening of the road to provide a consistent center turn lane as suggested by RCOC.
 - b. **The 1-mile extension of the Sanitary force main** that delivers on the goals of the Master Plan through the expansion of infrastructure and enabling connection to existing residents along the route as well as future expansion north along Bogie Lake Road.
 - c. **Preservation of Natural Features** including the preservation of existing regulated trees, hedge rows, and significant non-regulated trees and vegetation. This provides open space within the

neighborhood, but more importantly maintains regional green corridors and tree canopy for animal habitat, bird migration, and general greening of White Lake Township.

- d. **Pavement extension of Cedar Island Road** so that Cedar Island will now be paved from Bogie Lake Road to west of the proposed Edendale entrance.
- e. **Sidewalk Connections to Lakeland Schools.** Installation of sidewalks along the entire Bogie Lake Road and Cedar Island Road frontages including the extension of those sidewalks to the Bogie Lake / Cedar Island intersection and further south onto the school property to the existing parking lot for connection into the school campus that will allow greater walkability within the township and safe access to school for White Lake Township students.

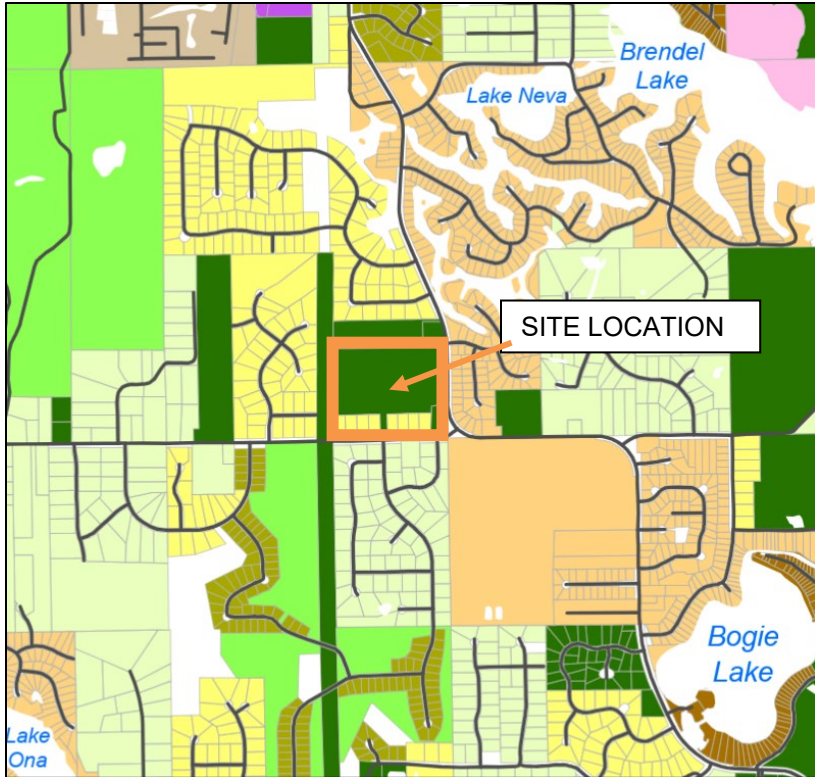
Community Impact Statement and project information:

In accordance with Section 6.6 of the White Lake Township Zoning Ordinance, we are providing the following information related to how Edendale Crossing will integrate with public utilities, public services, traffic, the economy, environmental conditions, and adjacent land uses. Additional information is provided related to the Planned Development process and compliance with the Township’s Zoning Ordinance and Master Plan.



Location Map:

Edendale Crossing is located west of Bogie Lake Road and north of Cedar Island Road in Section 29 of White Lake Township. Lakeland Elementary School and Lakeland High School are located to the immediate southeast.



White Lake Township Zoning Map:

Edendale Crossing is zoned R1-A & AG. The northern 34.76 acres are currently zoned AG, Agricultural. Eight Individual southern parcels fronting Cedar Island Road, totaling 10.71 acres, are currently zoned R1-A single-family. As part of the Planned Development process, the applicant will combine the nine parcels into a single parcel.



White Lake Township Master Plan & Future Land Use Map:

The Edendale Crossing site is identified as a “Key Development Opportunity” within White Lake Twp Master Plan. The Master Plan specifically calls for the Edendale Crossing property to be a Redevelopment Site focused on “Neighborhood Residential” which “provides a denser residential development” and may include uses such as “small-lot single-family homes, duplexes, or multi-family homes...”

Planned Development Process:

The Township Master Plan states that parcels, such as this, that are identified as “Neighborhood Residential” areas, should be developed using R1-C, R1-D, RM-1, RM-2, or Planned Development (PD) standards to “*maintain existing neighborhoods and provide for denser residential development in places where there is infrastructure to support the density and ensuring density is within the context of the surrounding neighborhoods*”. The Township Zoning Ordinance allows the Planned Development process to be used within the above noted zoning districts. PH Homes is requesting PD approval for this site and has provided supporting detail within the accompanying Site Plan submission documents and reports.

Compatibility with the White Lake Township Master Plan:

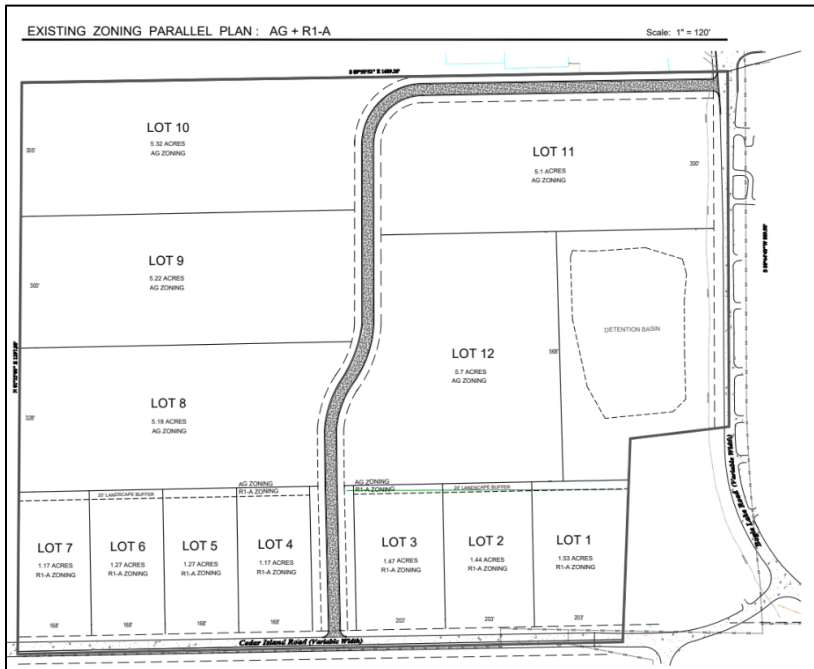
Edendale Crossing is consistent with the goals and objectives of the White Lake Township Master Plan and Future Land Use Map which identifies this location as a Development Opportunity Zone and specifically calls for the Cedar Island Road & Bogie Lake Road property to be a Redevelopment Site focused on Traditional Single-Family residential homes with areas reserved for active and passive activities.

The Master Plan identifies the housing shortage in White Lake Township and specifically the demand for moderately priced homes. With the understanding that large lots inherently result in higher priced new homes because of the proportionally longer lot width and therefore higher cost of road and utility improvements for large lot homes, the Master Plan specifically calls for more dense developments in this area with permitted densities ranging from 2 – 8 units per acre. Edendale Crossing proposes only **3.3 homes per acre** which is on the low side of the permitted density in the Neighborhood Residential district. The village sized lots (**62' x 125' minimum**) are reminiscent of small-town mid-Michigan and provide less maintenance and upkeep for busy families and retired seniors in the community.

Edendale Crossing specifically meets the stated goals in the Master Plan including (1) the preservation of existing trees, woodlots, and natural features, (2) the creation of open space for active and passive recreation, (3) pedestrian connections to schools and off-site connections, (4) provides large setbacks, water features, and landscape at Bogie Lake Road to preserve the rural character, (5) the creation of new housing opportunities in the Township, and (6) the extension and improvement of community services such as utilities and road improvements.

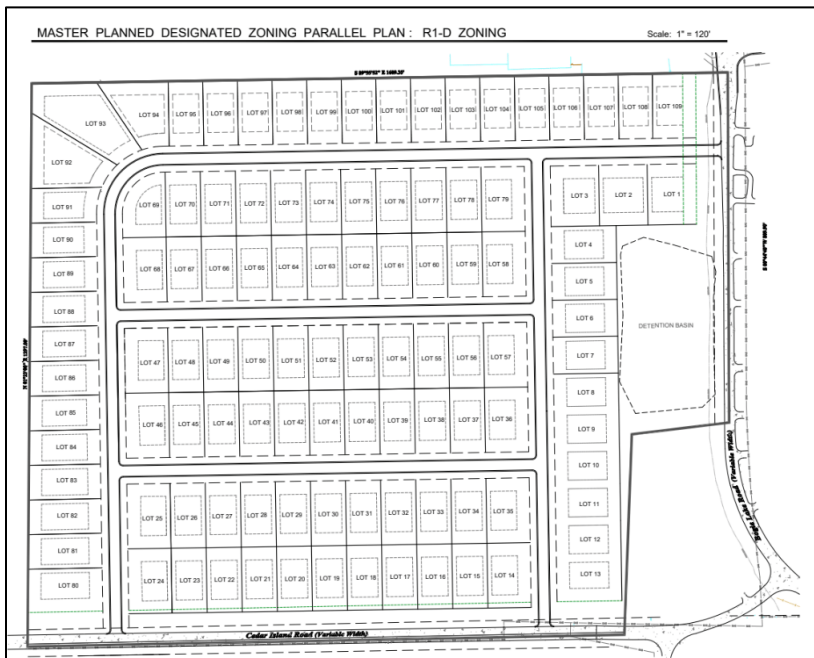
Parallel Plans:

Two parallel plans are included in the site plan documents.



AG + R1-A Parallel Plan:

The first Parallel Plan assumes development under the existing AG and R1-A zoning and achieves twelve total units that meet the applicable zoning standards.

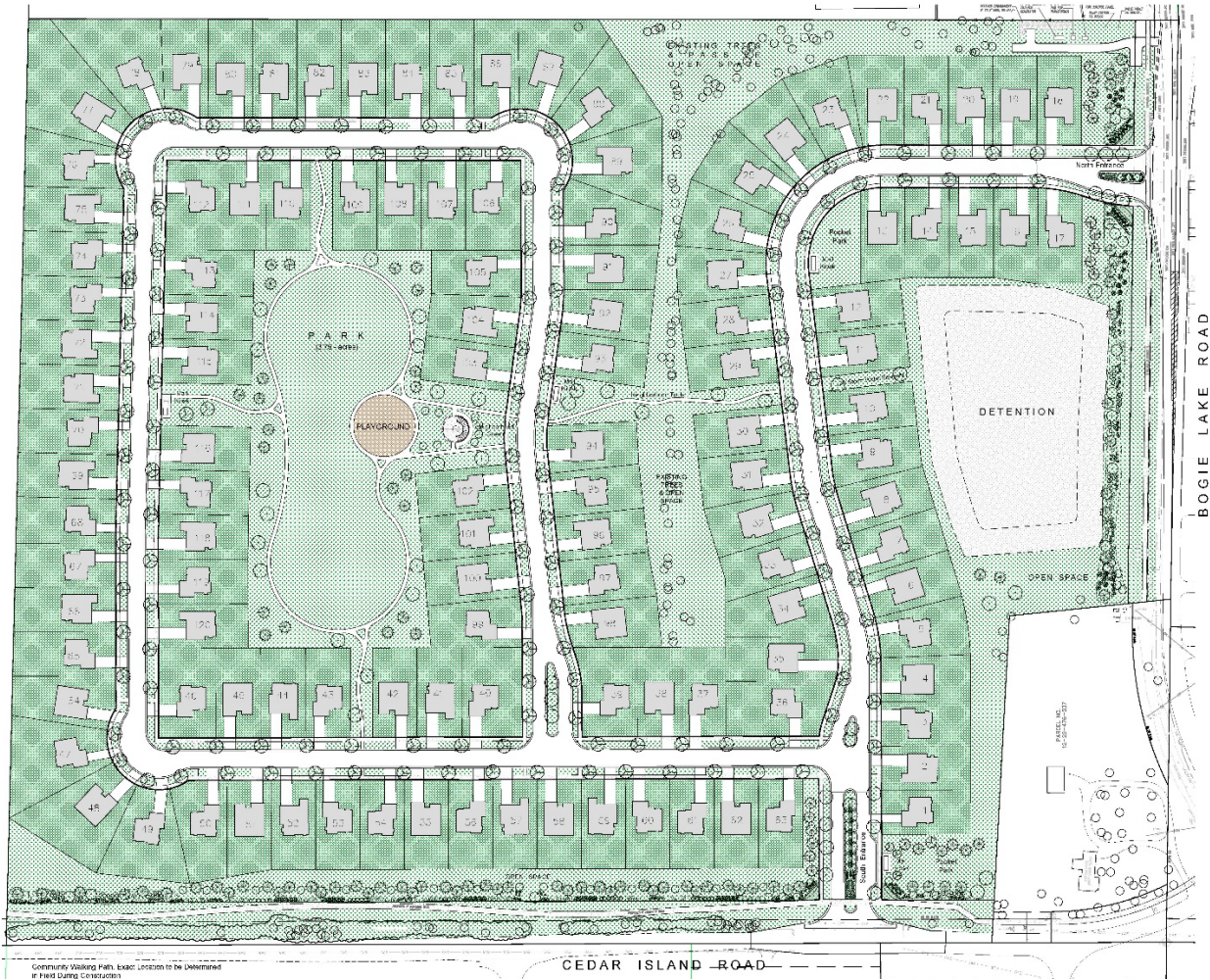


R1-D Parallel Plan:

The second Parallel Plan assumes development under R1-D zoning, which is identified as a preferred zoning standard for the Neighborhood Residential classification in the Master Plan. The R1-D parallel plan achieves 109 total units that meet the R1-D zoning standards, but it does not preserve natural features, provide open space or off-site amenities such as pedestrian connections to the schools, nor does it extend the sanitary force main from the south, as would be permitted in straight R1-D zoning.

The proposed Edendale Crossing PD site plan proposes 11 additional home sites (120 total residences) than the R1-D parallel plan, and preserves natural features throughout the site, provides greater than 27% open space, expands the pedestrian systems and connections to the schools, and extends the sanitary force main nearly a mile from south of the high school. The Edendale Crossing PD site plan, while similar in density and residential use to the R1-D parallel plan, is far superior to the R1-D plan because of its additional neighborhood features and amenities, extension of the sanitary sewer, Cedar Island road improvement, connections to the pedestrian systems, and ability to provide village size lots and therefore more moderately priced homes.

Edendale Crossing – description of the proposed neighborhood:



PH Homes proposes to develop 120 single-family residences within the 45.47-acre Edendale Crossing neighborhood, equaling 3.3 residences per net-acre density. The neighborhood will maintain 27% open space within the neighborhood, a significant preservation of existing trees and natural features on site, beautiful residential architecture, and construction materials, and have connected sidewalks and trails throughout.

Specific elements of the PD Site Plan include:

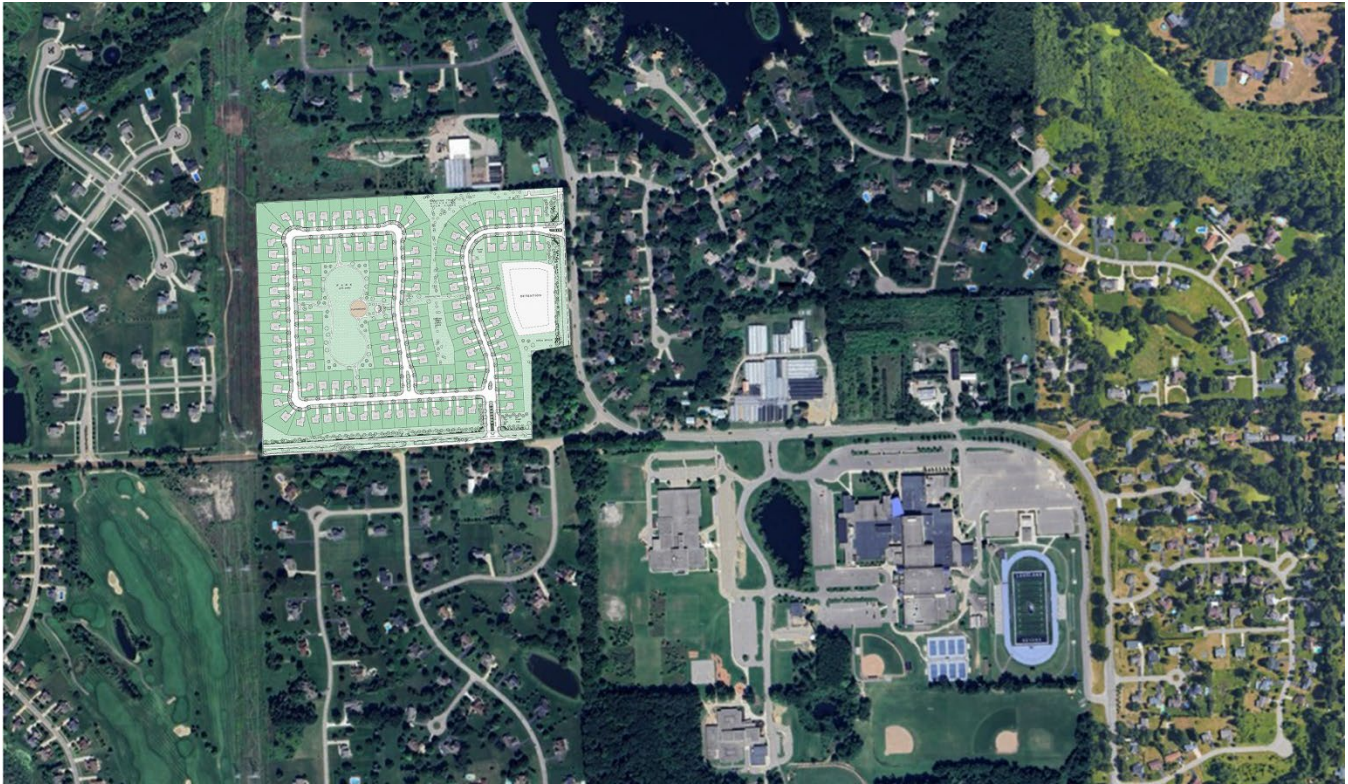
- **Phasing:** The neighborhood will be developed as a two-phase project
- **Roads:** 28' wide private roads will be constructed within a 60' wide private road easement
- **Architecture:** Renderings, floor plans, and high-end building materials are included. Homes sizes will range from approximately 2,180 sf – 2,690 sf. Homes will have 2-car garages and will park a minimum of two cars on the driveway.
- **Walks:** Sidewalks will be located on both sides of the roads and walking trails will connect the open spaces. Real estate data shows that walking trails adjacent to homes are desirable and considered a premium feature for buyers. Twenty percent of the proposed homes within the neighborhood will be adjacent to rear or side yard trails (80% will not have adjacent trails)

- **Connection:** The sidewalk system is proposed to cross Cedar Island Road, implementing ‘Safe Routes to School’ standards and connect to Lakeland Elementary School property.
- **Open Space:** Edendale Crossing will preserve 27% open space throughout the neighborhood which will include the creation of a 3.75-acre neighborhood park, the preservation of natural trees and habitat within the middle portion of the site as well as along Bogie Lake & Cedar Island Road. Passive and active recreational opportunities are available within the playground, community gathering area, playing fields, walking trails, neighborhood parks, and open play areas.
- **Utilities:** The neighborhood will be served by water from the existing 12” watermain at Bogie Lake
- **Road.** PH Homes proposes extending the Sanitary Force Main line 5,066’ north along Bogie Lake Road from its current termination point south of the high school to the northeast corner of the Edendale site. Sufficient capacity exists within the system to enable further extension to go north if needed in the future.
- **Improvements:** PH Homes proposes to improve and pave approximately 700 lin.ft. of Cedar Island Road from Bogie Lake Road to the proposed neighborhood entrance. Additionally new 8’ wide safety paths will be extended the length of Cedar Island Road and Bogie Lake Rd

Planned Development District Standards:

Planned Development	R1-D Parallel Plan	Proposed PD	Deviation
Building Setbacks			
Front	30’	25’	5’
Side	10’ + 10’	10’ + 10’	0
Rear	30’	30’	0
Wetland	N/A	N/A	N/A
Unit Lot Standards			
Min Lot Area	12,000 sf	7,500 sf	4,500 sf
Min Lot Width	80’	62’	18’
Min Lot Coverage	30%	38%	8%
Depth to Width	2 : 1	2: 1	0
Development Setbacks			
Front	40’	45’ min.	N/A
Side	25’ + 25’	0’	-25’
Rear	Determined	Determined	N/A
Wetland	N/A	N/A	N/A
Lot Standards			
Min Lot Area	10 acres	45.47 acres	0
Min Lot Width	TBD	809.9’	TBD
Min Lot Coverage	TBD	TBD	TBD
Depth to Width	4 : 1	1 : 1	0
Building Height			
	30’ of 2 stories	30’ or 2 stories	0
Floor Area			
Two Story	1,500 sf w/ 900 sf first floor	2,180 sf w/ 1,100 sf first floor	0

Edendale Crossing Area Setting Plan:



Rezoning Criteria:

1. **Consistency with the Township's Master Plan:**
 - a. As discussed above, Edendale Crossing is consistent with the goals and objectives of the White Lake Township Master Plan and its Future Land Use Map. The site is identified as a residential Development Opportunity Zone and envisions a residential neighborhood with a density between 2 – 8 dwelling units per acre. We are offering single-family homes with **3.3 residences per net acre density**.
2. **Consistency with the site's physical, geographical, and hydrological features of the site:**
 - a. The site is currently undeveloped with a former agricultural use. There are no wetlands or significant natural features on site other than existing trees and vegetation areas, most of which will remain. A stormwater detention basin will be located along Bogie Lake Road to provide a setback and landscape buffer to the road.
3. **Evidence the applicant cannot make a reasonable return on investment through the development under existing zoning:**
 - a. Rezoning AG land is required to develop residential neighborhoods consistent with the Master Plan and Future Land Use Plan. Using the PD option allows creative design techniques that preserve natural features and create open space, while the **proposed 120 residences** enable the costly extension of the sanitary force main to the northern end of the site.

4. **Compatibility of the proposed use with surrounding uses and zoning districts:**
 - a. The Master Plan has designated this area to be a “more dense neighborhood residential area.” Edendale Crossing provides a high-quality neighborhood, compatible with nearby single-family neighborhoods. Neighborhoods immediate adjacent are buffered by an ITC corridor to the west and a commercial nursery and cell phone tower to the north, thereby providing separation from existing uses.
5. **Capacity of Twp utilities and services sufficient to accommodate the proposed uses:**
 - a. Edendale Crossing will not strain or place undue hardship on Township services, which are discussed in future sections of this report. Additionally, this project will extend the sanitary force main one mile, expanding the availability of sanitary sewer to the north.
6. **Capability of the street system to safely and efficiently accommodate the expected traffic:**
 - a. A detailed traffic Impact Study was completed by Fleis & Vandenbrink and has been submitted to the Twp for review. **Additionally, the Road Commission of Oakland County (RCOC) has reviewed the plans and has provided design and location feedback that they will require. Those elements include the creation of a center turn lane on Bogie Lake that begins south of the proposed entrance and extends north of Tompson Lane as a means of providing safer travel for existing residents on Bogie Lake and the High School. Additional improvements have been added to the attached plans per the RCOC.**
7. **Apparent demand form proposed single-family homes:**
 - a. There is a strong demand for housing in the Township and surrounding areas. The Master Plan has identified this and calls for denser housing developments. PH Homes has built many homes in White Lake Township over the last several decades and estimates a 2.5% - 5% growth in the demand for new and replacement homes in the Township over the next several years.
8. **The boundaries of the rezoning parcel are reasonable and can accommodate dimensional regulations:**
 - a. The use of the PD district is reasonable for the site to achieve the goals of the Master Plan. The proposed site plan provides all exterior boundary dimensional standards.
9. **The requested zoning district is more appropriate from the Township's perspective:**
 - a. The rezoning of the property is consistent with the uses promoted in the Master Plan and the proposed density is less than half of the density envisioned within the Master Plan.
10. **Is the rezoning to PD more appropriate than other zoning options:**
 - a. Yes, the PD is consistent with the Zoning Ordinance and Master Plan.
11. **Will the rezoning create an isolated spot zone:**
 - a. No, this will not create spot zoning. The area is predominantly single-family residential, and this will add to the fabric and character of White Lake Township.
12. **Has project been previously submitted within the past year?**
 - a. **Yes, a previous version of the plan was submitted for preliminary site plan recommendation to the Planning Commission. The Planning Commission voted positively to change the zoning to PD but voted not to recommend the previous plan for preliminary site plan approval. This application is**

seeking reconsideration of that motion based on the significant modifications made to the plan and submitted here.

13. ***This is not proposed as a Conditional Rezoning application.***

Impact on Adjacent Uses:

Edendale Crossing is adjacent to similar existing residential land uses including SF (Suburban Farm) to the south, R1-A (Single Family) to the west, and R1-C (Single Family) to the east. The proposed Edendale Crossing homes are compatible with all adjacent land uses and neighborhoods and will fit well into the community. Edendale Crossing will be compliant with all Township ordinances standards beginning with the construction phase and then well after the homes are complete. Edendale Crossing will not exceed the Township's regulated noise levels, nor will it generate any smoke, dust, or other irritants beyond a typical residential neighborhood.

Community Facilities and Services:

Estimated demand for Police, Fire, and Public Safety Services:

The 120 new homes within Edendale Crossing will add approximately 324 residents (average of 2.7 residents per home) or less than 1% to the Township's current population of more than 32,000 people. This small number of new residents in the Township will add a proportionately small additional demand to the Police and Fire services. In 2024, the White Lake Township Police and Fire Departments reported 24,767 and 3,345 calls for service, respectively, which are the total number of calls Township-wide, and include other calls such as traffic stops, beyond the calls only to residential homes. Based on Township statistics, it can be assumed that Edendale Crossing may add 6-8 additional police calls per year and up to an additional 20-25 fire / emergency calls per year.

Estimated Number of Sewer and Water Taps:

Edendale Crossing proposes a 5,066' extension of the existing 12" Sanitary force main, which currently terminates at the southern end of the Lakeland High School property, north along Bogie Lake Road to the northern boundary of the applicant property. On-site sewage disposal will be routed to an on-site proposed pump station out letting to the extended municipal force main at the northeastern corner of the applicant property. A new 8" watermain is proposed to be connected to the existing 12" municipal watermain along Bogie Lake Road. See Kieft Engineering Sheet 9 of 16 for details.

Estimated Number of Axle Loading of Truck Trips daily over proposed route through Township:

Loading fatigue from the pavement from truckloads to and from the site during the proposed construction should not be a concern along the primary traffic route. Bogie Lake Road is a well-maintained collector road with the site located just one and one quarter miles south of M-59, ensuring that trucks will not have to travel onto local streets or through existing neighborhoods to access the site.

Description of other significant impacts or needs related to community facilities:

There are no additional significant impacts on community facilities. Edendale Crossing is designed to meet all technical standards of White Lake Township and associated county and state standards. Roads will be built to county standards, including sidewalks throughout the neighborhood as well as walks and trails along Bogie Lake

Road and Cedar Island Road. The proposed roads within Edendale Crossing are proposed to be private. All public utilities (Gas, Electric, Telephone, & Cable) will be installed underground. Stormwater is designed to conform with all applicable requirements of the OCWRC 100-year standards and will be managed on-site through a network of improvements including storm sewer, rain gardens, and a detention basin which will outlet to the existing northern exit point at a controlled rate not to exceed the current outflow.

Economics:

Anticipated number of construction and permanent jobs:

According to the National Association of Home Builders study titled *The Economic Impact of Home Building in a Typical Local Area, Income, Jobs, and Taxes Generated* dated April 2015, the anticipated number of construction jobs associated with the proposed 120-home development will be approximately 216 (the number of local construction jobs supported per construction of 100-single family homes in a typical local area is 176 according to the NAHB). Although there will be no permanent on-site jobs post construction, the development of new residential homes stimulates job growth across a wide range of industries and contributes significantly to the economic well-being of a community. A 2020 study by the National Association of Home Builders found that for every \$1,000,000 in construction capital investments supports eleven full-time jobs, and that the construction of one hundred single-family homes generates as many as 290 full-time jobs.

Anticipated tax revenues to the Township and School District:

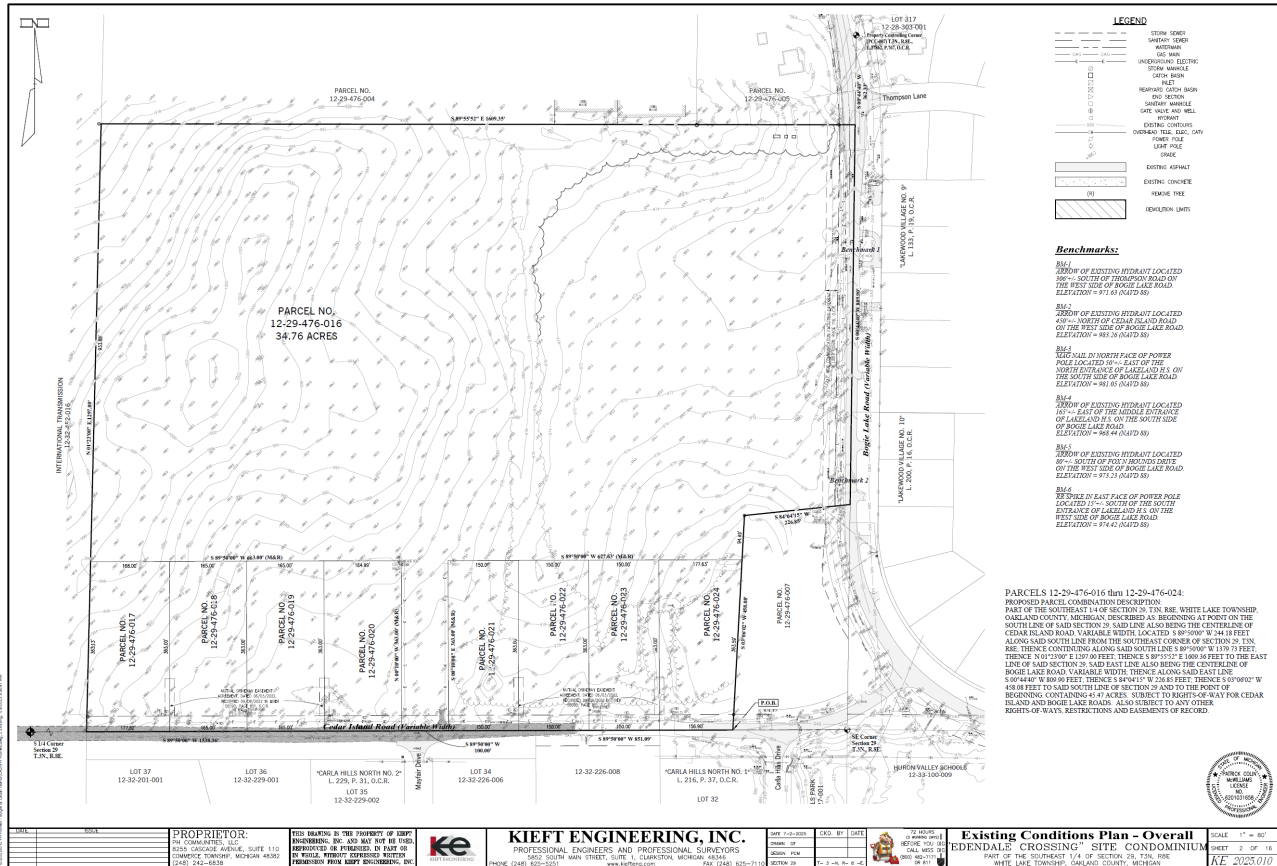
Property assessments are estimated at 50% of the property's Market Value. However, property owners pay taxes based on the property's taxable value. Taxable value is the lesser of the Assessed Value (SEV) or the prior year's taxable value minus losses, increased by the lesser of 5% or the Consumer Price Index, plus additions. ownership.

The published 2025 White Lake Township principal residence millage rate is 31.6857. If the typical taxable value of an Edendale Crossing home is \$250,000, the anticipated total property tax associated with the average home in this development would be \$7,921. The anticipated total tax revenue for the proposed **120-home neighborhood would be approximately \$950,520 annually.**

Environment:

Existing Natural Features:

The boundary and topographic survey shown below and included in the site plan submission documents, identify the existing conditions of the site. The Edendale Crossing site gently slopes from the southwest to the northeast. There are no wetlands, streams, or waterways on site and the existing trees, primarily located within a vegetative hedgerow that runs north and south in the center of the site, will remain as an open natural feature within the proposed neighborhood. Existing tree inventory data and locations of larger trees and vegetative masses are identified on the topographical survey, and the landscape plans identify all existing trees and vegetative areas that will remain. Additional existing vegetative buffering along the southern boundary (Cedar Island Road) will remain within general common area space as depicted in the Site Plan. Areas of the site and individual tree tag numbers of trees that will remain are indicated on the Civil Engineering and Landscape plans.



No Hazardous Materials or Pollution:

Edendale Crossing is proposed to be a residential neighborhood. There will be no manufacturing or storage of any hazardous materials or pollutants on site. Existing groundwater quality and existing levels will not be impacted because the homes will be serviced by public water and will not have individual ground wells that would draw from the groundwater. As stated above, stormwater will be managed on-site through a network of improvements including storm sewers, rain gardens, and a detention basin which will outlet to the existing northern exit point at a controlled rate not to exceed the current outflow.

Noise:

Minimal low-level construction noise may be occasionally noticed during the construction period, however the proposed single family home neighborhood, similar in use to the existing adjacent residential neighborhoods, is not expected to generate any discernible level of noise once constructed. The existing hedgerow of trees, existing vegetation, proposed tree plantings, and open space throughout the neighborhood will help to mitigate any noise that may exist from time to time.

Traffic:

The 120 new Edendale Crossing homes will have access onto Bogie Lake Road and Cedar Island Road from its internal network of streets. A detailed traffic Impact Study was completed by Fleis & Vandenbrink and has been submitted to the Twp for review. The traffic study completed traffic counts during school days to ensure that it captured residential, transient, and school traffic typical to existing conditions of the area.

Fleis & Vandenbrink completed an analysis of projected traffic that will be generated by the 120 proposed homes and found that the neighborhood traffic would have minimal impact on Bogie Lake or Cedar Island Roads. Projections of morning peak traffic activity may add up to 82 additional morning trips, and evening peak hour traffic activity may add up to 111 additional evening trips. Edendale Crossing proposes specific improvement and mitigation features including the paving of Cedar Island from Bogie Lake to the proposed entrance of the neighborhood at Cedar Island, as well as center left hand turn and right-hand taper improvements which will enable the existing roads to operate at their same Level of Service or an improved Level of Service at AM, PM, and School PM peak periods.

Community Impact Statement prepared by:

J Eppink Partners, Inc
Land Planning & Urban Design Studio
27 South Squirrel Road – Suite 104
Auburn Hills, MI 48326
248-922-0789



**J EPPINK
PARTNERS INC**
Traditional Town Planning
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27 S. Squirrel – Ste 104
Auburn Hills, MI 48326
248 922 0789 - t

December 18, 2025

Mr. Sean O'Neil
Community Development Director
White Lake Township
7525 Highland Road
White Lake Township, Michigan 48383

**RE: Edendale Crossing
Request for Reconsideration
Updated Site Plan Design & Submission**

Dear Mr. O'Neil:

On behalf of PH Homes, we are requesting that the White Lake Township Planning Commission reconsider its support and recommendation for preliminary site plan approval of the proposed Edendale Crossing neighborhood.

The Planning Commission held a Public Hearing at its December 4, 2025, meeting in response to PH Homes' previous site plan for the development of a single-family home neighborhood at the northwest corner of Bogie Lake Road and Cedar Island Road. At that meeting, the Planning Commission cited a number of items within the site plan that prevented them from voting in the affirmative to recommend preliminary site plan approval to the Township Board.

Our team carefully listened to the comments from the Planning Commission and members of the public and we have amended our site plan to address those items. Chief among the items are:

- 1. Desire to increase setbacks from Bogie Lake Road and Cedar Island Road:**
 - a) The updated site plan has removed two homes at the Bogie Lake entrance and now proposes a 70' minimum setback from the Bogie Lake Road home sites (a 40' setback is required). This means that the nearest home will be more than 110' from the edge of Bogie Lake Road. More importantly, because of the stormwater pond, the homes parallel to Bogie Lake Road will be more than 285' from the right-of-way and more than 320' from the road.
 - b) The homes parallel to Cedar Island Road have been shifted to the north, now providing a 45' open space buffer along Cedar Island (a 40' setback is required). One home at the Cedar Island entrance was removed to allow for more open

space along Cedar Island. This means that the rear of the nearest home will be between 110'-120' from Cedar Island Road.

- c) Significant landscape and vegetative buffering was added to each road's buffer which will shield views into the neighborhood and created a wooded exterior.

2. Desire to decrease overall density:

- a) The updated site plan has removed five homes and now proposes to construct 120 single-family homes. The overall proposed density is now 3.3 residences per acre. The Master Plan envisions between 2-8 residences per acre at this location, so the proposed Edendale Crossing density is 57% lower than the maximum density permitted within the 2024 Master Plan for this site. By comparison, an R1-D zoned development at this location could accommodate 109 units (3.0 units per acre) with zero required open space or tree preservation. Edendale Crossing offers only 11 additional homes (3.3 homes per acre) but also includes 27% open space, a large recreational park, and exterior buffers that far surpass the ordinance standards.

3. Desire to increase usable open space:

- a) The proposed open space has been increased to 27% of the total site, contrasting to a typical R1-D zoned development which would require zero common open space. The former plan provided 24% open space, whereas a PD in White Lake Twp requires only 20%. The open space has also been thoughtfully reconfigured to create a large central neighborhood park which will include a playground, pavilion, community gathering plaza, playing fields, and walking trails. Additionally, Edendale Crossing will preserve a significant amount of the existing trees and natural vegetation at the center of the site along with enlarge open space buffers at Cedar Island and Bogie Lake roads.
- b) The nearly 4-acre neighborhood park will be owned and maintained by the HOA and will provide active recreation and community gathering for the residents. The Township's Master Plan envisioned a similar size park in this area but perhaps considered, within the Master Plan, that it may be a public park with parking lots, pickleball courts, and other benefits for the Township as a whole. It is our understanding that White Lake Township is not seeking to acquire or construct additional public parks at this time, so we have proposed a recreational park for the residents of Edendale Crossing. There will not be a parking lot, lighting, pickleball courts, or more intense uses depicted in the Township's Master Plan concept sketch.
- c) In total, 9.75-acres of open space are proposed at Edendale Crossing.

4. Desire to modify the site plan layout:

- a) The updated site plan modifies the road layout and site organization by eliminating one internal road and organizing the home sites around the central park and natural vegetative open space areas. The updated layout prevents homes from backing up to each other and enables them to overlook open space. The trail system has been expanded to connect the areas of the neighborhood in addition to the large sidewalk system at the exterior and interior of the neighborhood.

5. Desire to safely connect the proposed sidewalk to the school campus:

- a) PH Homes has engaged the Huron Valley School District in discussions related to the sidewalk connection which is a benefit to the future residents of this neighborhood, existing nearby neighborhoods, and the students and families attending the middle and high school. A final connection point has not yet been determined with the school system, but design discussions are under way for the sidewalk connection location as well as the sewer expansion route.

6. Desire to conform with the newly adopted 2024 Township Master Plan:

- a) The updated site plan closely conforms with the goals, objectives, and vision of the 2024 White Lake Township Master Plan. Specifically, the Edendale Crossing neighborhood will:
 - a. Provide much needed new single-family homes within the Township.
 - b. Meet the standards, objectives, and principles of the "Neighborhood Residential" criteria.
 - c. Remain on the very low end of the envisioned 2-8 units per acre density for this site.
 - d. Significantly expands public utilities by extending the sanitary force-main sewer one mile, where the previous school project failed to do so. This activates connections to, and expansion of, the utilities not only for Edendale Crossing, but for residents along Bogie Lake Road and areas to the north of this site as well.
 - e. Improve and expand the design and geometry of Bogie Lake Road and Cedar Island Road to benefit Edendale Crossing, the existing residents of the area, and the Huron Valley School District. Road improvements and configurations, including an extended center turn lane, are in alignment with the direction and jurisdiction of the RCOC.
 - f. Fit within the context of surrounding existing development by providing single-family homes, recreational open space, preservation of natural features, and maintaining the rural character of the existing roads by providing large buffers and dense landscape boundaries.

We appreciate the opportunity to be reconsidered for a positive recommendation for preliminary site plan approval based on the updated site in response to the Planning Commission's comments and those from the public. We are confident that these modifications have significantly improved the site plan and meet the goals and intent of the Master Plan and Township's zoning ordinance.

Thank you, we appreciate the Planning Commission and Planning Department's attention to these documents, and we are looking forward to presenting the updated site plan to the Planning Commission at its next available meeting.

Sincerely,



President, J EPPINK PARTNERS, INC

Edendale Crossing:

Master Plan visual sketch analysis

Supplemental Update January 8, 2026

The White Lake Township has identified the Cedar Island Road and Bogie Lake Road property, and most of the surrounding regions of the Township as “Neighborhood Residential” on the Township’s Future Land Use Map. The Master Plan further identifies this property as one of three “Key Development Areas” in the Township.

A “Concept Rendering” is provided on page 87 of the Master Plan which illustrates a potential development pattern for the property according to the stated goals and objectives of the Master Plan. Highlighted in the sketch are single family homes, landscape buffers along Bogie Lake and Cedar Island Roads, internal sidewalks and trails, and a large park.

White Lake Township Master Plan Rendering: Page 87

Figure 34: Conceptual Rendering – Cedar Island and Bogie Lake Roads



The Master Plan sketch seems to contemplate the possibility of the Township acquiring a portion of the property to construct a municipal park with soccer fields, pickleball courts, a playground, pavilion, and parking lots. It’s our understanding, however, that currently the Township is not planning to expand its park system in this area of the Township and is not seeking to build a public park with these amenities, likely because many of these recreational opportunities are available to the public at the nearby Lakeland High School campus.

Despite the Township not wanting to construct a public park within the a portion of the property at this time, the establishment of a tree lined single-family home neighborhood, with landscape buffers and perimeter setbacks, the preservation of natural vegetation areas, and the establishment of an active neighborhood park with a playground, playing fields, and community gathering pavilion remain relevant and important to the goals and objectives of the Master Plan.

PH Homes and the Edendale Crossing design team has studied these goals and objectives and has designed a neighborhood plan that reflects the intent and standards of the Neighborhood Residential district and the building blocks of Master Plan as identified in the Key Development Opportunity section. Edendale Crossing will provide 120 single-family homes set along tree lined streets and large landscaped exterior buffers. Sidewalks and trails will connect the neighborhood as well as perimeter walks along Bogie Lake and Cedar Island that will join into the Middle School and High School Campus. Twenty-seven percent of the neighborhood will remain open space consisting of landscape buffers, the preservation of natural vegetation, and a large central neighborhood park. Edendale Park will include a playground, a large community pavilion for the residents, walking trails, benches, pet-stations, and play fields for active and passive recreation. Edendale Crossing will provide much needed new, single-family housing in White Lake Township and will be a beautiful, livable, neighborhood that delivers on the goals, objectives, and depicted vision of the community’s Master Plan.

PH Homes’ Site Plan Rendering:

Conceptual Rendering – Edendale Crossing neighborhood and park



Side-by-side comparison:

White Lake Township Master Plan Rendering: Page 87

Figure 34: Conceptual Rendering – Cedar Island and Bogie Lake Roads




PH Homes' Site Plan Rendering:

Conceptual Rendering – Edendale Crossing neighborhood and park



WHITE LAKE TOWNSHIP

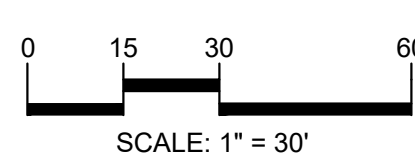
COMMUNITY DEVELOPMENT DEPARTMENT

DATE: February 6, 2026
TO: Rik Kowall, Supervisor
Township Board of Trustees
FROM: Sean O’Neil, Community Development Director 
SUBJECT: Jax Kar Wash – Preliminary Site Plan

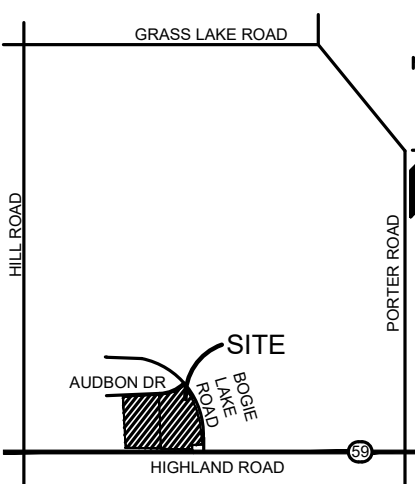
On December 16, 2025, the Township Board considered the Jax Kar Wash preliminary site plan. That plan had been recommended for approval, with conditions, by the Planning Commission on December 4, 2025. One of the stated conditions was related to the driveway location. The Board opted to table the Jax request in December, until the driveway could be relocated from Bogie Lake Road to the access drive along the north side of their parcel. Those revisions have been made, and that preliminary plan is coming directly back to the Board for consideration on February 17, 2026.

Please find attached the applicant’s revised layout (showing the driveway relocation), as well as the review comments from DLZ and CWA. The December 16, 2025, Township Board meeting minutes are also included for your review. Please let me know if you have any questions or require any additional information.

Thank you.



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT
BMW KAR WASH LLC
2677 CENTRAL PARK BLVD, SUITE 180
SOUTHFIELD, MICHIGAN 48034

PROJECT TITLE
JAX KAR WASH
WHITE LAKE, MICHIGAN



REVISIONS

NO.	DESCRIPTION

ORIGINAL ISSUE DATE:
DECEMBER 23, 2025

DRAWING TITLE
OVERALL SITE PLAN

PEA JOB NO.	25-0885
P.M.	JPB
DN	SWS
DES.	SWS
DRAWING NUMBER:	

C-3.0

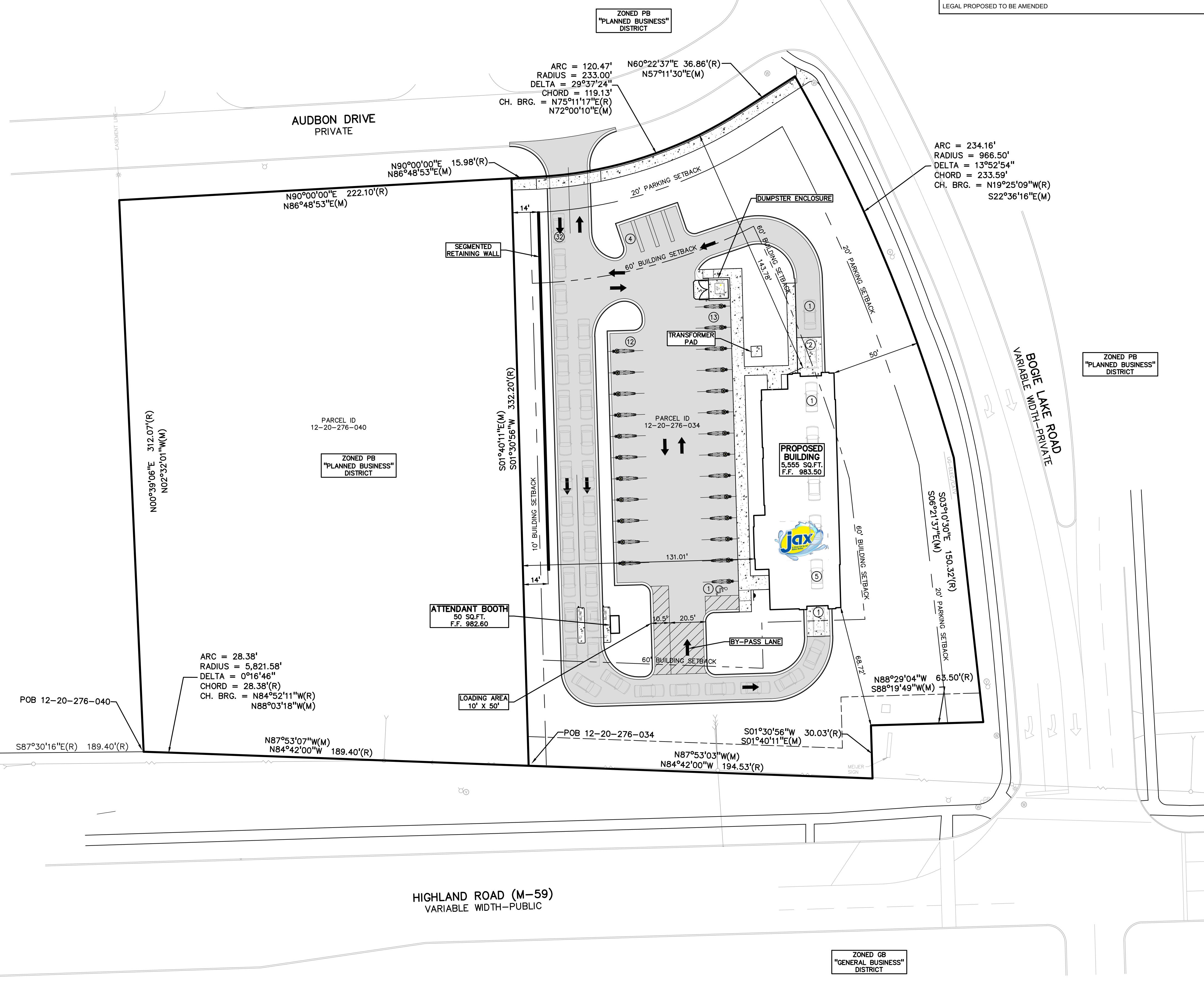
LEGAL DESCRIPTION:
(PER SURVEY OAKLAND)
(TAX PARCEL #12-20-276-040)
T3N, R8E, SEC 20 PART OF NE 1/4 BEG AT PT DIST N 00-31-08 E 198.92 FT & N 89-58-09 E 519.78 FT & S 87-30-16 E 513.36 FT FROM CEN OF SEC, TH N 00-39-06 E 312.07 FT, TH E 222.10 FT, TH S 01-30-56 W 332.20 FT, TH N 84-42-00 W 189.40 FT, TH ALG CURVE TO LEFT, RAD 5821.58 FT, CHORD BEARS N 84-52-11 W 28.38 FT, DIST OF 28.38 FT TO BEG 1.82 A 1-16-25 FR 037
LEGAL PROPOSED TO BE AMENDED

LEGAL DESCRIPTION:
(PER SURVEY OAKLAND)
(TAX PARCEL #12-20-276-034)
T3N, R8E, SEC 20 PART OF NE 1/4 BEG AT PT DIST N 00-31-08 E 198.92 FT & N 89-58-09 E 519.78 FT & S 87-21-59 E 541.74 FT & S 84-42-00 E 189.40 FT FROM CEN OF SEC, TH N 01-30-56 E 332.20 FT, TH N 90-00-00 E 15.98 FT, TH ALG CURVE TO LEFT, RAD 233 FT, CHORD BEARS N 75-11-17 E 119.13 FT, DIST OF 120.47 FT, TH N 80-22-37 E 36.88 FT, TH ALG CURVE TO RIGHT, RAD 966.50 FT, CHORD BEARS S 19-25-09 E 233.59 FT, DIST OF 234.17 FT, TH S 03-10-30 E 150.32 FT, TH N 88-29-04 W 63.50 FT, TH S 01-30-56 W 30.03 FT, TH N 84-42-00 W 194.54 FT TO BEG 1.88 A 10-7-14 FR 032
LEGAL PROPOSED TO BE AMENDED

SITE DATA TABLE:
EXISTING SITE AREA: 1.88 ACRES (81,920 SQ.FT.) GROSS AND NET
PROPOSED SITE AREA: 1.73 ACRES (75,258 SQ.FT.) GROSS AND NET
ZONING: PB - PLANNED BUSINESS
PROPOSED USE: VEHICLE WASH (AUTOMATIC) (5,555 SF) + ATTENDANT BOOTH (50 SF)
BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 45 FEET (3 STORIES)
PROPOSED BUILDING HEIGHT = 22'-5" (1 STORY)
BUILDING FOOTPRINT AREA = 5,555 SQ.FT. + 50 SQ.FT. = 5,605 SQ.FT.
BUILDING LOT COVERAGE = 5,605 / 73,258 = 7.65%
SETBACK REQUIREMENTS:

REQUIRED:	PROPOSED:
FRONT (SOUTH): 60'	68.72'
SIDE (EAST): 60'	50' (WAIVER REQUIRED)
SIDE (WEST): 10'	131.01'
REAR (NORTH): 60'	143.78'

PARKING CALCULATIONS:
VEHICLE EMPLOYEE SPACES = 1 SPACE PER EMPLOYEE ON LARGEST SHIFT.
CAR WASH PRIOR TO TUNNEL SPACES = 7 SPACES X NUMBER OF INTERNAL WASHED CARS.
CAR WASH AFTER TUNNEL STACKING SPACES = 2 SPACES
REQUIRED:
VEHICLE EMPLOYEE PARKING SPACES = 4 EMPLOYEE X 1 SPACE/EMPLOYEE = 4 PARKING SPACES
CAR WASH PRIOR TO TUNNEL STACKING SPACES = 7 SPACES X 5 INTERNAL WASHED CARS = 35 STACKING SPACES.
CAR WASH AFTER TUNNEL STACKING SPACES = 2 SPACES
PROVIDED:
VEHICLE EMPLOYEE SPACES = 4 PARKING SPACES
CAR WASH PRIOR TO TUNNEL SPACES = 32 STACKING SPACES (WAIVER REQUIRED)
CAR WASH EXITING TUNNEL SPACES = 2 STACKING SPACES
LOADING CALCULATIONS:
LOADING REQUIRED = 1 SPACE (10' X 50')
LOADING PROVIDED = 1 SPACE (10' X 50')
OPEN SPACE:
MINIMUM OPEN SPACE REQUIRED = 30%
PROVIDED OPEN SPACE = 37,368 / 75,258 = 49.65%
SITE SOILS INFORMATION:
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:
S0B - UDIPSAMMENTS, UNDLATING



PARCEL ID
12-16-301-011

PARCEL ID
12-20-276-040

ZONED PB
"PLANNED BUSINESS"
DISTRICT

ZONED PB
"PLANNED BUSINESS"
DISTRICT

ZONED GB
"GENERAL BUSINESS"
DISTRICT

HIGHLAND ROAD (M-59)
VARIABLE WIDTH-PUBLIC

BOGIE LAKE ROAD
VARIABLE WIDTH-PRIVATE

AUDBON DRIVE
PRIVATE

NORTH 1/4
CORNER OF
SECTION 20,
T.3N., R.8E.

POINT OF
COMMENCEMENT
CENTER OF
SECTION 20,
T.3N., R.8E.

S:\PROJECTS\2025\25-0885-JAX KAR WASH - WHITE LAKE (2)DWG\3_CONSTRUCTION\03-100\DWG_PLOT DATE: 1/9/2026 BPL James P. Miller

NOT FOR CONSTRUCTION



Connect. Build. Thrive.

February 3, 2026

Sean O' Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Jax Kar Wash- Preliminary Site Plan Review – 3rd Review

Ref: DLZ No. 2545-7861-10

Design Professional: PEA Group

Dear Mr. O' Neil,

Our office has performed a Preliminary Site Plan review for the above-mentioned revised plan dated December 23, 2025. **We note that the current submittal consists of a single plan sheet (Sheet C-3.0). A complete Preliminary Site Plan set was not provided.** The plan was reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

General Site Information

This 1.88 acre site is located at the northwest corner of M-59 and Bogie Lake Road.

Site Improvement Information:

- Construction of an approximately 5,555 sf manned car wash.
- Associated paved and curbed parking area, including an ADA parking space.
- Water and sanitary sewer service.
- Storm water management facilities.

The following items should be noted with respect to Planning Commission review:

Please note that comments from our October 30, 2025 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.

- a) *The plan shows that the western lot line is to be moved further east. Has this property transfer and updated property legal description been done and recorded with Oakland County? We defer to the Township regarding this item. We note that the property line shift and transfer of property to the adjacent parcel to the west will impact whether Jax will need to grant an off-site easement to the proposed Panera Bread (property to the west) for placement of a portion of Panera's parking on the Jax property. It will also impact the legal description for an access easement across the Jax southern*



- drive (see below Comment c) for Panera's benefit. **Comment remains. Design engineer has noted that the westerly property line is to be reconfigured. Confirmation of the reconfiguration shall be required at the time of Final Engineering Plan submittal.**
- b) *Verify BM elevations for BMs 300 and 301. The elevations for these two benchmarks are approximately 2' higher than the identical benchmarks shown on the previous Cosmo's Car Wash plan for this parcel. **Comment partially addressed. Design engineer has stated that the benchmarks for the former Cosmo's Car Wash had incorrect descriptions. Please place a PS seal and signature on Sheet C-1.0 as certification that a PS has prepared and reviewed the topographic survey.***
 - c) *An access easement for the southern drive from the western property line drive connection to Bogie Lake Road will need to be provided/shown on the plan. **Comment remains. A 27' wide easement is now shown on the plan. Provide easement document and exhibit at time of FEP submittal. Comment rescinded. The current plan Sheet C-3.0 shows that the location of the entrance to the site has been changed to Audbon Drive. Additionally, no east/west drive connection is proposed to the property to the west; thus, an access easement is no longer required.***
 - d) *The five (5) proposed parking spaces to the south indicate there will be five (5) employees maximum on site at one time. Is this number accurate and does it include persons drying vehicles after they exit the car wash as well as the person at the attendant booth? Does this number include on site management? **Comment outstanding. Per design engineer, "Jax Kar Wash operates numerous locations throughout southeastern Michigan, five parking spaces is sufficient for their business operations." We defer to the Township whether the 5 spaces meet Township requirements for number of required employee spaces. We note the current submittal reserves 4 parking spaces for employees and we continue to defer to the Township relative to Township requirements for employee parking.***
 - e) *Clarify why the two proposed parking spaces at the SE corner of the vacuum area have bumper blocks shown. Currently curbing is proposed so there would be no need for bumper blocks. We note there is also a bumper block detail shown on Sheet C-9.0. We also note that the architect's exterior rendering showing the ADA space up close, shows bumper blocks. Please check that all plans are consistent with what is intended for parking spaces. **Comment partially addressed. The bumper blocks have been removed; however, please remove bumper block detail from Sheet C-9.0 and bumper blocks on the architects rendering, as stated in our original above comment.***
 - f) *A one way drive to enter the vacuum area with a width of 13' is proposed. Zoning Ordinance 5.11 Q. v. requires a minimum 20' width for one way drives. **Comment addressed. The one way drive lane is now shown as ~~21'~~20.5' wide. We note that the single lane one way drive into and out of the car wash building is < the required minimum 20' width for one way drives. We defer to the Township regarding this item.***
 - g) *Provide fire truck turning radii plan that also demonstrates ingress, internal circulation, and egress of a standard 40' length fire truck on the site. **Please provide updated Fire truck turning radii plan with the new proposed layout.***
 - h) *Add note to plan indicating that applicant/ owner shall repair and /or clean up (a lot of grass growing in between existing sidewalk slabs) any of the existing sidewalks located along property frontages. We note there are several damaged sections of existing sidewalk along the Bogie Lake Road and M-59 frontages. **Comment partially addressed. Notes regarding the above comment have been***



added to plan Sheet C-3.1; however, move arrow on note for Bogie Lake Road sidewalk. Currently arrow points to Bogie Lake Road.

- i) *We defer to the Township regarding the requirement for sidewalk along Audbon Drive (Reference Zoning Ordinance Sections 5.20 and 5.21). We note that the proposed Panera Bread to the west Preliminary Site Plan showed a proposed sidewalk across their Audbon Drive frontage. **Comment remains. We note that the current submittal shows the sidewalk along Audbon Drive outside of the existing ROW. A sidewalk easement shall be required. In addition, the proposed alignment does not match the location of the approved frontage sidewalk on the property to the west.***
- j) *ADA parking space will need to meet ADA standards in terms of slopes and dimensions; further details will be required at the time of Final Site Plan/Final Engineering Plan submittal. **Comment remains. Slopes and dimensions have been added to the Preliminary Site Plan. Grades shall be reviewed at the time of FSP/FEP submittal.***
- k) *Provide ADA space dimensions in accordance with the requirements of Zoning Ordinance Section 5.11 O. iii. For van access. Dimensions shall be 8' parking space and 8' loading area. Currently a 12' wide space and 5.5' loading zone are shown. **Comment addressed. Van accessible dimensions per Township Zoning Ordinance have been added.***
- l) *Move sidewalk ramp, adjacent to the proposed ADA space, to the north to align with the loading zone. **Comment partially addressed. Please clarify if the northernmost southernmost sidewalk portion is flush with the ADA loading area elevation. The intent for this area regarding the proposed grades and relative to the ramp is not clear. Additional grading will be required on the FEP to confirm compliance with ADA standards.***
- m) *Preliminary grading of the site has been proposed and demonstrates general drainage patterns; a detailed grading review will be performed at time of Final Site Plan/Final Engineering Plan review to ensure positive drainage on entire site. **The previous grading plan showed a significant retaining wall on the north end of the property. The new plan does not show proposed grades to determine if the site will function from a grading standpoint. Future plans will need to show proposed grading for review and approval.***
- n) *An off-site grading and construction easement shall be required for off-site grading to the west. In addition, an off-site grading easement shall be required from Meijer for proposed off-site grading SE of the site. **Comment remains.***
- o) *Sheet C-9.0-Chain Link Fence Detail- We defer to the Township as to whether the fence shall be decorative or whether chain link is acceptable. The fence shall be a minimum of 42" in height. Please reference White Lake Township Engineering Design Standards Section B.6. which states " Any portion of a retaining wall more than 30" high shall have provided at the top of said wall a decorative railing not less than 42"high (non-residential uses) meeting the requirements of Section 1012.3 of the Michigan Building Code." **Comment partially addressed. Fence is now indicated on Sheet C-3.1 to be a 42" high decorative fence. Please remove Chain Link Fence Detail on Sheet C-9.0.***
- p) *Show pre versus post development storm drainage that is being routed to the existing storm sewer structure near the corner of Highland Road and Bogie Lake Road. **Comment addressed. Calculations have been provided, and it has been demonstrated that there is sufficient capacity in the existing storm sewer to accommodate developed flows.***
- q) *The applicant will need to provide information detailing whether this site falls under the Meijer Storm Water Management Facilities Easement, Maintenance Agreement and Lien document or if a new*



agreement will be required for this development. Likely a new agreement will be required and supporting exhibits will need to be provided. **Comment partially addressed. Per the design engineer, the site falls within the Meijer Stormwater Management tributary area. Comment regarding a new agreement is outstanding.**

- r) *Provide details on the FSP/FEP for the water quality units. The units will be required to remove 80% of TSS.* **Comment remains.**
- s) *The proposed north/south storm sewer connecting to existing Catch Basin Ex B is too close to the existing sanitary sewer manhole to the west. A minimum 10' horizontal separation is required.* **Comment addressed. Storm sewer has been adjusted in this area such that there is now 10' horizontal separation between it and the sanitary sewer manhole.**
- t) *The storm sewer between proposed CB2 and CB3 shall be upsized to 18" diameter. Otherwise, a restriction at CB3 will occur.* **Comment addressed. Sewer has been upsized to 18" diameter.**
- u) *Verify rim and invert information for the two existing storm sewer connection points. As built data all show these elevations at approximately 1' higher than those shown on the Jax plan.* **Comment addressed. PEA confirms that the rim and invert elevations provided were field measured by their firm.**
- v) *Show existing 54' wide sanitary sewer easement that is on the Meijer sign property located SE of the Jax site.* **Comment remains. Design engineer states this will be added to the FSP/FEP.**
- w) *The plan shows connection of the proposed sanitary sewer lead to the existing 18" diameter sanitary sewer along the M-59 frontage. The plan shows an existing sanitary sewer lead to the east(invert of approximately 970.00') of the area of the current proposed connection and we question why this lead is not being utilized. The existing 18" sewer is approximately 25' deep at the area where the current connection is proposed and connection to this sewer may result in potential construction trenching too close to the existing road.* **Comment addressed. The proposed sanitary sewer is now shown as connecting to the existing lead.**
- x) *The existing sanitary sewer diameter along M-59 and that which crosses Bogie Lake Road is mislabeled. The sewer diameter is 18". Please revise.* **Comment addressed. Sewer diameter has been revised.**
- y) *Currently a 500 gallon oil/water separator is proposed. Provide support documentation to demonstrate that this size separator will be sufficient to service the proposed car wash operation. In addition, is a water reclamation system proposed? If so, please show on plan. Lastly, is MH Structure A on the plan proposed to be a monitoring MH?* **Comment partially addressed. An internal water reclamation system is proposed. MH Structure A is labeled as a monitoring manhole. Although the design engineer states Jax uses a 500 gallon oil/water separator, provide support documentation for the proposed 500 gallon capacity.**
- z) *Provide cleanouts every 75' for proposed sanitary sewer lead.* **Comment addressed. Cleanouts have been provided.**
- aa) *We defer to the Township Fire Department regarding hydrant coverage.* **Comment remains as a notation.**



- bb) *Sheet C-1.0- Provide diameter of existing watermain along M-59 frontage.* **Comment addressed. Diameter has been provided.**
- cc) *Sheet C-6.0- Public Utility Easement note- Watermain easements shall be 20' wide.* **Comment addressed. Note has been updated.**
- dd) *Sheet C-6.0-Refer To section- None of these notes, design, or details are shown on Sheet C-9.0.* **Comment addressed. The note has been removed from this sheet.**
- ee) *Sheet C-3.0-Add dimensions for standard parking spaces, ADA space and associated loading zone, drive widths, sidewalk adjacent to proposed building , and sidewalk along Audbon Drive.*

Recommendation

With the current submittal, only one sheet (Sheet C-3.0) of the Preliminary Site Plan was provided. The new layout raised some questions that have not been answered on the one-page submittal but will need to be addressed with a future complete plan submittal. Most significantly the proposed grading and fire truck movements will need to be shown to demonstrate engineering feasibility. Comments that were previously made regarding plan sheets that were not included with this submittal have remained on this letter and will also need to be addressed on future submittals.

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

- Cc: David Waligora, Community Development, White Lake Township, *via email*
 Hannah Kennedy-Galley, Community Development, White Lake Township, *via email*
 Paige Myers, Community Development, White Lake Township, *via email*
 Aaron Potter, DPS Director, White Lake Township, *via email*
 Jason Hanifen, Fire Marshall, White Lake Township, *via email*
 Nick Spencer, Building Official, White Lake Township, *via email*
 Matteo Passalacqua, Carlisle Wortman, *via email*



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

January 29, 2026

**Preliminary Site Plan / Planned Business Review
for
White Lake Charter Township, Michigan**



Applicant:	BMW KAR WASH, LLC
Project Name:	JAX Car Wash (Meijer Outlot)
Plan Date:	September 10, 2025
First Revision	October 9, 2025
Second Revision	December 23, 2025
Location:	Northwest corner of Bogie Lake Road and Highland Road (M-59) Parcel ID: 12-20-276-034
Action Requested:	Preliminary Site Plan / Planned Business Approval

PROJECT NARRATIVE

The applicant is requesting preliminary site plan approval to construct a 5,555 sqft automobile wash establishment (car wash) in an outlot of the Meijer Planned Business district. Automobile wash establishments are principal permitted uses in the PB zoning district.

The PB Planned Business District is primarily a commercial district intended to permit, with Township approval, private and/or public development in a coordinated and cohesive arrangement which may be more difficult to achieve under more conventional, piecemeal development designed to conform with standard zoning requirements. It is further intended that the PB District be located along major thoroughfares, such as M-59.

On January 27, 2026, the applicant submitted a revised Sheet C-3.0 of the preliminary site plan. The revision is in response to feedback from both the Planning Commission and Township Board regarding the originally proposed access drive on Bogie Lake Road. Per that feedback, the applicant has rotated the site layout to allow for sole access from Audbon Drive. The applicant has submitted this initial layout for cursory review in preparation for final site plan review to be conducted by the Planning Commission at a future meeting.

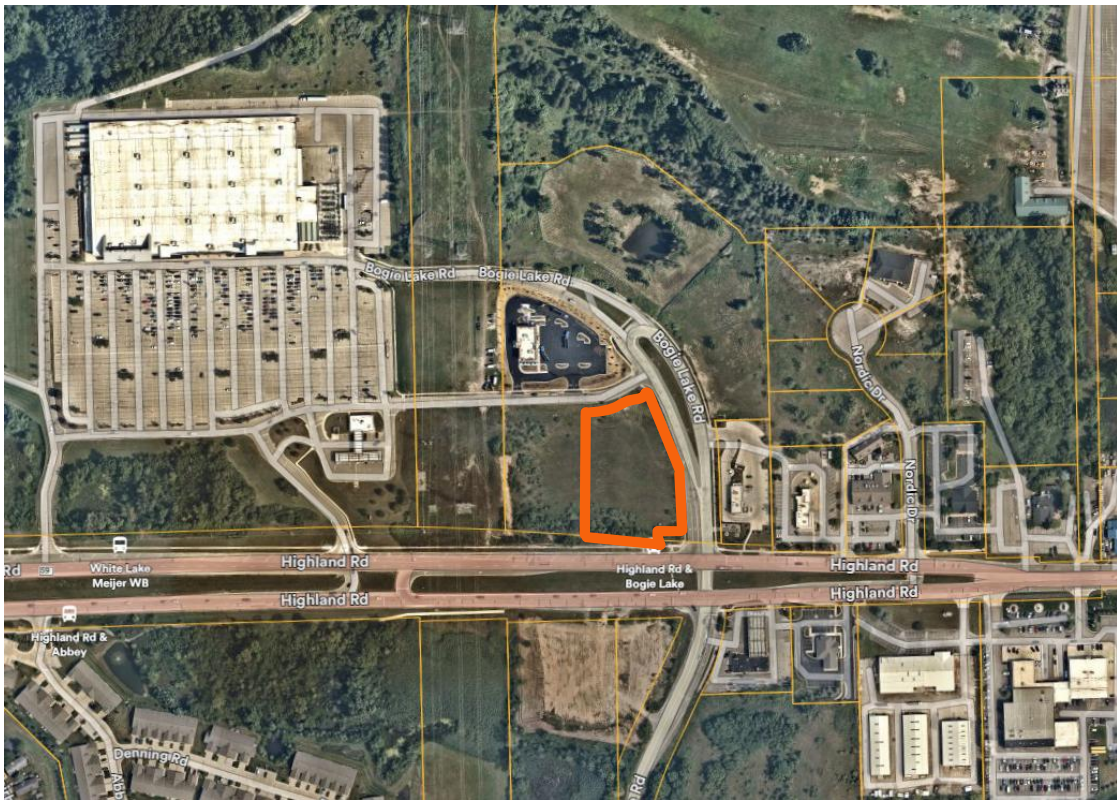
This memo provides a review of the proposed drive’s location and any potential standards that would apply to the site as it is currently presented.

*Benjamin R. Carlisle, President John L. Enos, Vice President Douglas J. Lewan, Principal
David Scurto, Principal Sally M. Elmiger, Principal R. Donald Wortman, Principal Craig Strong, Principal
Paul Montagno, Principal Megan Masson-Minock, Principal Laura Kreps, Senior Associate
Richard K. Carlisle, Past President/Senior Principal*

SITE DESCRIPTION

Lot Area:	1.88 gross acres (81,920 square feet)
Frontage:	Approx. 384 feet along Bogie Lake / Approx. 193 feet along Highland Road (M-59) - Proposed
Address:	6001 Highland Road
Current Use:	Vacant

Aerial image of the site



Source: NearMap July 2025

The revised Sheet C-3.0 no longer delineates the proposed new western lot line. This will need to be clearly defined on the final site plan.

Item to be Addressed: The revised Sheet C-3.0 no longer delineates the proposed new western lot line. This will need to be clearly defined on the final site plan.

AREA, WIDTH, HEIGHT, SETBACKS

Lot calculations and setbacks are provided on Sheet C-3.0. Standard bulk and lot regulations for the PB zoning district are set forth in Section 3.1.16 and Section 3.11.

Planned Business District Standards

Planned Business	Required	Proposed PB	Compliant
Building Setbacks			
Front	60 feet	68.72 feet (M-59) 50 feet (Bogie Lake Road) 143.78 feet (Audbon Drive)	No / Bogie Lake Road
Side	TBD	131.01 feet	TBD
Rear	N/A	N/A	N/A
Wetland	N/A	N/A	N/A
Building Height			
	35 feet or 2 stories	22.5 feet / 1 story	Yes
Lot Standards			
Minimum Lot Area	10 acres	1.88 gross acres	No (see note below)
Minimum Lot Width	TBD	193 feet (M-59)	TBD
Maximum Lot Coverage	TBD	7.65%	TBD
Maximum Depth to Width	4 to 1	Less than 4 to 1	Yes

The building encroaches the 60 foot setback from Bogie Lake Road. Given the property’s designation as PB, Planned Business, the Planning Commission may provide a waiver from this requirement.

A minimum lot area of 10 acres is required in the PB District. While the lot area does not meet the minimum requirement, the Meijer outlots were contemplated at the time of the initial development. A waiver from the minimum area requirement is not necessary.

Per Section 3.11.D, the site has three front yards.

Items to be Addressed: Planning Commission to consider a waiver to allow the front yard setback along Bogie Lake Road to be 50 feet instead of the required 60 feet.

ACCESS & CIRCULATION

Vehicle Access & Circulation

Access to public roads in the Township are either the jurisdiction on Michigan Department of Transportation (MDOT) or Road Commission of Oakland County (RCOC). The Planning Commission may waive standards for access per Section 6.4.F however permits will be required from RCOC for the proposed access points. Below is a review of the proposed access points per the standards of the zoning ordinance.

The shared access drive proposed with the retail development directly west of the car wash is no longer shown on Sheet C-3.0. It should be clarified in the final site plan if such a connection is still sought. If so, it should be shown on the plan along with documentation the neighboring development is agreeable to

implementing the connection. If cross connection is sought by both property owners, a revised site plan will be required for parcel ID 12-20-276-035.

Bogie Lake Intersection

The Bogie Lake access drive is no longer proposed.

Audbon Road Intersection

The driveway at Audbon Road eliminates the potential safety concerns expressed during preliminary site plan review regarding traffic attempting to enter the site from Bogie Lake Road in proximity to the M-59 intersection.

The distance the proposed drive is from the Bogie Lake Road / Audbon Road intersection as well as all same side and opposite side access drives should be added to the plan. Automobile wash access drives are to be at least 100 feet from road intersections. Section 6.4.C provides standards for drive distances from same side and opposite side drives.

The width of the two-way drive should be added to the site plan to ensure conformance with Section 6.4.C.vii.

Non-Motorized Access and Circulation

Sections 5.20 and 5.21 provide requirements for site sidewalks and pathways. Existing sidewalks run along Highland Road (M-59) and Bogie Lake road. The widths of these walkways are not provided. The applicant shall be required to repair/replace any broken sections of concrete within the frontage sidewalks adjacent to the site along Bogie Lake Road and Highland Road (M-59), as determined by the Township Engineering Consultant. The applicant response letter dated October 15, 2025 acknowledges this responsibility.

The dimensions of the sidewalk along Audbon drive should be added to the site plan. The current placement of the sidewalk is not within the right of way. This will require easements granted to the Township. The sidewalk's termination at the west lot line does not align with the neighboring development's approved site plan from December of 2024. This should be corrected at final site plan.

Items to be Addressed:

- 1) *Township Engineering concerns.*
- 2) *Township Public Safety concerns.*
- 3) *The shared access drive proposed with the retail development directly west of the car wash is no longer shown on Sheet C-3.0. It should be clarified in the final site plan if such a connection is still sought. If so, it should be shown on the plan along with documentation the neighboring development is agreeable to implementing the connection. If cross connection is sought by both property owners, a revised site plan will be required for parcel ID 12-20-276-035.*
- 4) *The distance the proposed drive is from the Bogie Lake Road / Audbon Road intersection as well as all same side and opposite side access drives should be added to the plan. Automobile wash access drives are to be at least 100 feet from road intersections. Section 6.4.C provides standards for drive distances from same side and opposite side drives.*

- 5) *The width of the two-way drive should be added to the site plan to ensure conformance with Section 6.4.C.vii.*
- 6) *The dimensions of the sidewalk along Audbon drive should be added to the site plan.*
- 7) *The current placement of the sidewalk along Audbon is not within the right of way. This will require easements granted to the Township.*
- 8) *The sidewalk's termination at the west lot line does not align with the neighboring development's approved site plan from December of 2024. This should be corrected at final site plan.*

PARKING & LOADING

Section 5.11 outlines requirements for off-street parking. Automobile car wash is required to have one spot for each employee plus stacking spaces as indicated in 5.11.M.i in the Zoning Ordinance, which requires seven times the maximum capacity of the auto wash. Sheet C-3.0 shows that there are five spaces for internal washed cars thus requiring 35 stacking spaces.

The applicant has provided four employee parking spaces, 32 stacking spaces prior to entering the car wash, and two stacking spaces for exiting the car wash. There will also be 26 vacuum spaces of which one will be handicap accessible. 35 stacking spaces are required so a waiver is required to accommodate the new layout.

There will be one loading space at the south side of the parking lot that will be 10 feet wide and 50 feet long. This meets the requirements of Section 5.11.P.i. in the Zoning Ordinance.

Items to be Addressed: *Planning Commission will need to consider the waiver to allow for 32 parking spaces instead of the required 35.*

ESSENTIAL SERVICES & UTILITIES

The site is served by water or sewer. Sheet C-6.0 provides a preliminary utility layout. Section 4.11.D requires site drainage to be designed in a manner that does not create runoff into neighboring properties or roadways. We defer to township engineering to assess the proposed utility systems.

No circulation plan was provided for emergency vehicles. We defer to Township Public Safety to determine the feasibility of site design and hydrant placement.

Items to be Addressed:

- 1) *Any cited concerns of Township Engineering.*
- 2) *Any cited concerns of Township Public Safety.*

ARCHITECTURE & LAYOUT

No elevations were provided with the revised layout however the requirements of Section 6.8.E should be referenced when adjusting façade materials.

Garage doors are not permitted to face streets. The Planning Commission will need to consider a waiver for the north and south façade garage doors.

Items to be Addressed:

- 1) *Planning Commission to consider waiving the prohibition of garage doors facing Highland Road and Audbon Drive and M-59.*

SUMMARY

The revised layout addressed the access concerns related to the original Bogie Lake Road access drive however, the final site plan will need to account for the revised layout as it relates to other standards including landscaping, architecture, parking, lighting, and other items noted in this review.

Other items be addressed and/or waivers may be identified during final site plan review.

Waivers / Modifications / Determinations


- 1) *Planning Commission to consider a waiver to allow the front yard setback along Bogie Lake Road to be 50 feet instead of the required 60 feet.*
- 2) *Planning Commission will need to consider the waiver to allow for 32 parking spaces instead of the required 35.*
- 3) *Planning Commission to consider waiving the prohibition of garage doors facing Highland Road and Audbon Drive and M-59.*

Items to be addressed at Final Site Plan Review

- 1) *Western lot line modification approval will be required for final site plan approval and may require a modified site plan for the development directly west of the site.*
- 2) *Township Engineering concerns.*
- 3) *Township Public Safety concerns.*
- 4) *The Applicant shall be required to repair/replace any broken sections of concrete within the frontage sidewalks adjacent to the site along Bogie Lake Road and Highland Road (M-59), as determined by the Township Engineering Consultant.*
- 5) *The shared access drive proposed with the retail development directly west of the car wash is no longer shown on Sheet C-3.0. It should be clarified in the final site plan if such a connection is still sought. If so, it should be shown on the plan along with documentation the neighboring development is agreeable to implementing the connection. If cross connection is sought by both property owners, a revised site plan will be required for parcel ID 12-20-276-035.*
- 6) *The distance the proposed drive is from the Bogie Lake Road / Audbon Road intersection as well as all same side and opposite side access drives should be added to the plan. Automobile wash access drives are to be at least 100 feet from road intersections. Section 6.4.C provides standards for drive distances from same side and opposite side drives.*
- 7) *The width of the two-way drive should be added to the site plan to ensure conformance with Section 6.4.C.vii.*

- 8) *The dimensions of the sidewalk along Audbon drive should be added to the site plan.*
- 9) *The current placement of the sidewalk along Audbon is not within the right of way. This will require easements granted to the Township.*
- 10) *The sidewalk's termination at the west lot line does not align with the neighboring development's approved site plan from December of 2024. This should be corrected at final site plan.*
- 11) *A draft development agreement will be required during final site plan review.*

Respectfully,



CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner

CHARTER TOWNSHIP OF WHITE LAKE
DRAFT Minutes of the Regular Board of Trustees Meeting
December 16, 2025

CALL TO ORDER

Supervisor Kowall called the meeting to order at 6:30 P.M. He led the Pledge of Allegiance.

ROLL CALL

Clerk Noble called the Roll:

Present:

Rik Kowall, Supervisor
Mike Roman, Treasurer
Anthony L. Noble, Clerk
Steve Anderson, Trustee
Andrea Voorheis, Trustee
Liz Smith, Trustee

Absent:

Scott Ruggles, Trustee

Also Present:

Sean O'Neil, Community Development Director
Aaron Potter, Director of DPS
J. David Feitchner, Fire Chief
Michael Leuffgen, DLZ
Lisa Hamameh, Township Attorney
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

It was **MOVED** by Clerk Noble, seconded by Trustee Anderson to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).

PUBLIC COMMENT

Police Chaplin Chris Todd offered praise and gave thanks to the Township leadership and public safety members who serve.

CONSENT AGENDA

- A. REVENUE AND EXPENSES
- B. CHECK DISBURSEMENTS
- C. BUDGET AMENDMENTS
- D. DEPARTMENT REPORT - POLICE
- E. DEPARTMENT REPORT - FIRE
- F. DEPARTMENT REPORT - COMMUNITY DEVELOPMENT
- G. DEPARTMENT REPORT - TREASURER
- H. COMMISSION AND COMMITTEE REAPPOINTMENTS

I. UPDATE TO DUBLIN SENIOR CENTER POLICIES AND PROCEDURES - CODE OF CONDUCT

It was MOVED by Clerk Noble, seconded by Treasurer Roman to approve the consent agenda as presented. The motion carried with a voice vote: (6 yes votes).

MINUTES

- A. APPROVAL OF MINUTES - SPECIAL BOARD MEETING, NOVEMBER 4, 2025
- B. APPROVAL OF MINUTES - REGULAR BOARD MEETING, NOVEMBER 18, 2025

It was MOVED by Trustee Voorheis, seconded by Trustee Anderson to approve the minutes of November 4, 2025, and the minutes of November 18, 2025, as presented. The motion carried with a voice vote: (6 yes votes).

NEW BUSINESS

- A. REQUEST APPROVAL OF PLANNED DEVELOPMENT AGREEMENT – AVALON

Director O’Neil reviewed the agreement and its waivers with the Board.

Attorney Hamameh added there will be minor changes to the document before it is finalized.

Trustee Voorheis asked for details about the maintenance portion of the dog park.

Director O’Neil stated that the Township will be maintaining it, but there is language in the PDA that would direct the developer to maintain the park if the Township failed to. The park will be built out and turned over to the Township as a deed and dedicated Township park.

Trustee Smith stated that while she was previously opposed to the project, she did like the offering of the dog park since it has been frequently asked for amenity from the residents. She wanted to know if there would be a play structure included in the park as well.

Mark Kassab, 31550 Northwestern Highway, project developer, said there aren’t details for the park design yet, but stated he would like to meet with the Parks and Recreation Committee to discuss the design. He is open to working with the Township on the park’s vision. He added the park will ultimately benefit all.

It was MOVED by Treasurer Roman, seconded by Clerk Noble, to approve the Avalon PDA subject to attorney review, and to authorize the Township elected officials to execute the document. The motion carried with a roll call vote: (6 yes votes) (Smith/yes, Noble/yes, Kowall/yes, Roman/yes, Anderson/yes, Voorheis/yes).

- B. PRELIMINARY SITE PLAN APPROVAL – JAX KAR WASH

Director O’Neil briefly reviewed the applicant’s request with the Board and added the Planning Commission wanted something done to revise the driveway. He added that the project engineer has

provided a new plan with the addition of a one way in, one way out “pork chop” on the driveway entrance, which was presented this evening.

The Board shared their concerns about the safety of the driveway location.

Todd Gessund, owner and Jim Butler, PEA Group, were present. Mr. Butler said the RCOC did not want a full access in that location, and suggested a “right in, right out only” porkchop. The porkchop will be pushed 25’ north of the island and be reinforced with curbing. Shifting the site would not work well due to the topography and cross access with the adjacent out lot.

Clerk Noble stated he is opposed to the project due to safety concerns, and the adjacent outlet’s project has not been approved.

Supervisor Kowall stated the plan provided tonight is better than the previous version, but there needs to be more done for safety concerns.

Trustee Smith offered multiple suggestions to reconfiguring the entrance and exit points.

Treasurer Roman said he agrees with the Board and supports moving the entrance/exit north.

It was MOVED by Supervisor Kowall, seconded by Trustee Smith to postpone the preliminary site plan for Jax Kar Wash. The motion carried with a voice vote: (6 yes votes).

Clark Koby, owner of Wash Me Car Wash, spoke in opposition to a new car wash. He shared concerns about safety at the intersection.

Trustee Smith stated in response to Mr. Koby’s letter she wants to clarify that she does not drive a Township vehicle and does not get free car washes. She added that the Board does not decide what comes to the Township. The Township does not build car washes or other establishments. She indicated the Township Board does have the authority to limit similar uses by proximity, and she would like the Board to give that consideration.

Clerk Noble said the Township does pay to wash its vehicles but has used Wash Me Car Wash before. He added he supports local business.

C. REQUEST TO APPROVE OAKLAND COUNTY WATER RESOURCES COMMISSION SEWER SYSTEM OPERATION AND MAINTENANCE AGREEMENT

Supervisor Kowall said Commerce Township is no longer using OWRC to operate their sewer system.

Director Potter added the Township has a good working relationship with the County. Commerce Township is not moving forward with the County and will be working with a different company. Commerce Township has not notified the Township of this change. Director Potter stated he did not

want to have a breach in operational contracts, and the agreement has been reviewed by Township attorneys.

Treasurer Roman stated at this point, there is no reason to make a change and work with another company.

It was MOVED by Supervisor Kowall, seconded by Clerk Noble, to approve the draft of Charter Township of White Lake Sewer System Operating Agreement subject to attorney review and to be executed by the Township Supervisor and the Township Clerk. The motion carried with a voice vote: (6 yes votes).

D. REQUEST TO APPROVE NEW POSITION; DEPUTY FIRE CHIEF

Chief Feichtner stated he reviewed the impact and goal of this position after the last Board meeting. This role will support the goals and mission of the Fire Department, as well as aid with onsite training. This role will also help the Department meet new ISO and State legislative requirements.

Treasurer Roman asked for clarification of the ISO rating. Chief Feichtner explained the rating and said the lower the number the better. He stated he thinks he can drop the Township's rating two points.

Treasurer Roman said that equates to approximately 1.2 million dollars in homeowner's insurance savings throughout the Township. He stated he is in support of the position, and it would be beneficial for the Township.

Supervisor Kowall clarified that the position is an at-will, non-union position. There currently isn't an employee in the Fire Department that has a dedicated role in completing regulatory tasks and requirements. He supports it.

Trustee Anderson shared his support for Chief's Feichtner's detailed cost analysis. He asked the Fire Chief if he had prior experience using this as the basis for financial savings. Chief Feichtner stated yes and explained in detail a prior formula used in ALS transport. He stated the industry cost recovery is in the seventy percent range. The Chief indicated that he believes this is attainable with proper oversight.

Trustee Voorheis thanked Chief Feichtner for his handout and asked if this position will bring have training responsibilities. Chief Feichtner said that some of the job qualifications are specific to being able to bring a qualified candidate in to do training in-house. He hopes to eliminate 90 percent of outside training.

Trustee Voorheis supports the in-house training as she has seen a reduction in overtime at her own part-time nonprofit job. She asked specifically how this will affect overtime from shift work.

Chief Feichtner explained how the training will be taken to each shift to avoid overtime.

It was MOVED by Treasurer Roman, seconded by Trustee Smith to approve the Deputy Fire Chief position. The motion carried with a voice vote: (6 yes votes).

- E. RESOLUTION #25-042; IMPOSING A TEMPORARY MORATORIUM ON THE EXPENDITURE OF PUBLIC FUNDS FOR THE CONSTRUCTION, IMPROVEMENT AND MAINTENANCE OF PRIVATE ROADS

Attorney Hamameh clarified that the resolution clarifies that the Township does not use public funds to pay for private roads; The Township fund the repairs and then the money is repaid back through SADs.

It was MOVED by Clerk Noble, seconded by Treasurer Roman, to approve Resolution #25-042, Imposing a Temporary Moratorium on The Expenditure of Public Funds for Construction, Improvement and Maintenance of Private Roads. The motion carried with a voice vote: (6 yes votes).

- F. REQUEST TO APPROVE FIRE WORKS PERMIT - ALPINE VALLEY

It was MOVED by Supervisor Kowall, seconded by Trustee Voorheis to approve the fireworks permit for Alpine Valley. The motion carried with a voice vote: (6 yes votes).

FYI - CIVIC CENTER UPDATE

Supervisor Kowall stated grinder stations are at both buildings, and mechanical work is underway at both buildings. The roof panels are being installed at Township Hall.
Supervisor Kowall stated Stanley Park is open for foot traffic only at this time. The Township also received a \$500,000 award for the Stanley Park Phase Two construction.

TRUSTEE COMMENTS

Trustee Voorheis thanked the Township and staff who participated in this year's Tree Lighting ceremony. She wished everyone a great holiday season.

Trustee Smith also thanked everyone who participated in the Tree Lighting ceremony. She said the library wrapped up its 50th anniversary last week with another event and that the Friends of the Library had a successful book sale. She said the Township luncheon was lovely and she thanked Pastor Todd. She said the inside of Township Hall is coming along; workstations, carpet and paint have been selected. She wished all a Merry Christmas, Happy Hannukah and a Happy New Year.

Trustee Anderson stated the Lakes Area Chamber of Commerce will have their ball on January 23, 2026. Huron Valley will have a ribbon cutting ceremony to celebrate their new multipurpose room on January 12, 2026. The ZBA met last week and heard two cases; one was approved and the other was postponed. He wished all to a Merry Christmas.

Treasurer Roman thanked all who watched the meeting tonight and wished a Merry Christmas to all.

Clerk Noble wished all a Merry Christmas, Happy Hannukah, and to stay safe.

Supervisor Kowall shared that the Township's Can the Halls drive benefits local Township residents. He thanked Chief Keller and the Explorers group for their canned food drive to add to the Township's bounty. He thanked Kelly and Jodi for their work putting on the Tree Lighting ceremony. He wished all a happy holiday season.

CLOSED SESSION

- A. APPROVAL TO RECESS INTO CLOSED SESSION TO CONSIDER ATTORNEY/CLIENT PRIVILEGED COMMUNICATIONS IN ACCORDANCE WITH MCL 15.268(1)(h)

It was **MOVED** by Supervisor Kowall, seconded by Trustee Smith to recess into closed session at 8:04 P.M. The motion carried with a roll call vote: (6 yes votes) (Kowall/yes, Roman/yes, Noble/yes, Smith/yes, Anderson/yes, Voorheis/yes).

It was **MOVED** by Supervisor Kowall, seconded by Treasurer Roman to return to open session at 8:24 P.M. The motion carried with a voice vote: (6 yes votes).

ADJOURNMENT

It was **MOVED** by Supervisor Kowall, seconded by Trustee Voorheis to adjourn at 8:25 P.M. The motion carried with a voice vote: (6 yes votes).

Rik Kowall, Supervisor
Charter Township of White Lake

Anthony L. Noble, Clerk, MiPMC
Charter Township of White Lake



Connect. Build. Thrive.

February 3, 2026

Sean O' Neil
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Jax Kar Wash- Preliminary Site Plan Review – 3rd Review

Ref: DLZ No. 2545-7861-10

Design Professional: PEA Group

Dear Mr. O' Neil,

Our office has performed a Preliminary Site Plan review for the above-mentioned revised plan dated December 23, 2025. **We note that the current submittal consists of a single plan sheet (Sheet C-3.0). A complete Preliminary Site Plan set was not provided.** The plan was reviewed for feasibility based on general conformance with the Township Engineering Design Standards.

General Site Information

This 1.88 acre site is located at the northwest corner of M-59 and Bogie Lake Road.

Site Improvement Information:

- Construction of an approximately 5,555 sf manned car wash.
- Associated paved and curbed parking area, including an ADA parking space.
- Water and sanitary sewer service.
- Storm water management facilities.

The following items should be noted with respect to Planning Commission review:

Please note that comments from our October 30, 2025 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.

- a) *The plan shows that the western lot line is to be moved further east. Has this property transfer and updated property legal description been done and recorded with Oakland County? We defer to the Township regarding this item. We note that the property line shift and transfer of property to the adjacent parcel to the west will impact whether Jax will need to grant an off-site easement to the proposed Panera Bread (property to the west) for placement of a portion of Panera's parking on the Jax property. It will also impact the legal description for an access easement across the Jax southern*



- drive (see below Comment c) for Panera's benefit. **Comment remains. Design engineer has noted that the westerly property line is to be reconfigured. Confirmation of the reconfiguration shall be required at the time of Final Engineering Plan submittal.**
- b) *Verify BM elevations for BMs 300 and 301. The elevations for these two benchmarks are approximately 2' higher than the identical benchmarks shown on the previous Cosmo's Car Wash plan for this parcel. Comment partially addressed. Design engineer has stated that the benchmarks for the former Cosmo's Car Wash had incorrect descriptions. Please place a PS seal and signature on Sheet C-1.0 as certification that a PS has prepared and reviewed the topographic survey.*
- c) *An access easement for the southern drive from the western property line drive connection to Bogie Lake Road will need to be provided/shown on the plan. Comment remains. A 27' wide easement is now shown on the plan. Provide easement document and exhibit at time of FEP submittal. Comment rescinded. The current plan Sheet C-3.0 shows that the location of the entrance to the site has been changed to Audbon Drive. Additionally, no east/west drive connection is proposed to the property to the west; thus, an access easement is no longer required.*
- d) *The five (5) proposed parking spaces to the south indicate there will be five (5) employees maximum on site at one time. Is this number accurate and does it include persons drying vehicles after they exit the car wash as well as the person at the attendant booth? Does this number include on site management? Comment outstanding. Per design engineer, "Jax Kar Wash operates numerous locations throughout southeastern Michigan, five parking spaces is sufficient for their business operations." We defer to the Township whether the 5 spaces meet Township requirements for number of required employee spaces. We note the current submittal reserves 4 parking spaces for employees and we continue to defer to the Township relative to Township requirements for employee parking.*
- e) *Clarify why the two proposed parking spaces at the SE corner of the vacuum area have bumper blocks shown. Currently curbing is proposed so there would be no need for bumper blocks. We note there is also a bumper block detail shown on Sheet C-9.0. We also note that the architect's exterior rendering showing the ADA space up close, shows bumper blocks. Please check that all plans are consistent with what is intended for parking spaces. Comment partially addressed. The bumper blocks have been removed; however, please remove bumper block detail from Sheet C-9.0 and bumper blocks on the architects rendering, as stated in our original above comment.*
- f) *A one way drive to enter the vacuum area with a width of 13' is proposed. Zoning Ordinance 5.11 Q. v. requires a minimum 20' width for one way drives. Comment addressed. The one way drive lane is now shown as ~~21'~~20.5'wide. We note that the single lane one way drive into and out of the car wash building is < the required minimum 20' width for one way drives. We defer to the Township regarding this item.*
- g) *Provide fire truck turning radii plan that also demonstrates ingress, internal circulation, and egress of a standard 40' length fire truck on the site. Please provide updated Fire truck turning radii plan with the new proposed layout.*
- h) *Add note to plan indicating that applicant/ owner shall repair and /or clean up (a lot of grass growing in between existing sidewalk slabs) any of the existing sidewalks located along property frontages. We note there are several damaged sections of existing sidewalk along the Bogie Lake Road and M-59 frontages. Comment partially addressed. Notes regarding the above comment have been*



added to plan Sheet C-3.1; however, move arrow on note for Bogie Lake Road sidewalk. Currently arrow points to Bogie Lake Road.

- i) *We defer to the Township regarding the requirement for sidewalk along Audbon Drive (Reference Zoning Ordinance Sections 5.20 and 5.21). We note that the proposed Panera Bread to the west Preliminary Site Plan showed a proposed sidewalk across their Audbon Drive frontage. **Comment remains. We note that the current submittal shows the sidewalk along Audbon Drive outside of the existing ROW. A sidewalk easement shall be required. In addition, the proposed alignment does not match the location of the approved frontage sidewalk on the property to the west.***
- j) *ADA parking space will need to meet ADA standards in terms of slopes and dimensions; further details will be required at the time of Final Site Plan/Final Engineering Plan submittal. **Comment remains. Slopes and dimensions have been added to the Preliminary Site Plan. Grades shall be reviewed at the time of FSP/FEP submittal.***
- k) *Provide ADA space dimensions in accordance with the requirements of Zoning Ordinance Section 5.11 O. iii. For van access. Dimensions shall be 8' parking space and 8' loading area. Currently a 12' wide space and 5.5' loading zone are shown. **Comment addressed. Van accessible dimensions per Township Zoning Ordinance have been added.***
- l) *Move sidewalk ramp, adjacent to the proposed ADA space, to the north to align with the loading zone. **Comment partially addressed. Please clarify if the northernmost southernmost sidewalk portion is flush with the ADA loading area elevation. The intent for this area regarding the proposed grades and relative to the ramp is not clear. Additional grading will be required on the FEP to confirm compliance with ADA standards.***
- m) *Preliminary grading of the site has been proposed and demonstrates general drainage patterns; a detailed grading review will be performed at time of Final Site Plan/Final Engineering Plan review to ensure positive drainage on entire site. **The previous grading plan showed a significant retaining wall on the north end of the property. The new plan does not show proposed grades to determine if the site will function from a grading standpoint. Future plans will need to show proposed grading for review and approval.***
- n) *An off-site grading and construction easement shall be required for off-site grading to the west. In addition, an off-site grading easement shall be required from Meijer for proposed off-site grading SE of the site. **Comment remains.***
- o) *Sheet C-9.0-Chain Link Fence Detail- We defer to the Township as to whether the fence shall be decorative or whether chain link is acceptable. The fence shall be a minimum of 42" in height. Please reference White Lake Township Engineering Design Standards Section B.6. which states " Any portion of a retaining wall more than 30" high shall have provided at the top of said wall a decorative railing not less than 42"high (non-residential uses) meeting the requirements of Section 1012.3 of the Michigan Building Code." **Comment partially addressed. Fence is now indicated on Sheet C-3.1 to be a 42" high decorative fence. Please remove Chain Link Fence Detail on Sheet C-9.0.***
- p) *Show pre versus post development storm drainage that is being routed to the existing storm sewer structure near the corner of Highland Road and Bogie Lake Road. **Comment addressed. Calculations have been provided, and it has been demonstrated that there is sufficient capacity in the existing storm sewer to accommodate developed flows.***
- q) *The applicant will need to provide information detailing whether this site falls under the Meijer Storm Water Management Facilities Easement, Maintenance Agreement and Lien document or if a new*



agreement will be required for this development. Likely a new agreement will be required and supporting exhibits will need to be provided. **Comment partially addressed. Per the design engineer, the site falls within the Meijer Stormwater Management tributary area. Comment regarding a new agreement is outstanding.**

- r) *Provide details on the FSP/FEP for the water quality units. The units will be required to remove 80% of TSS.* **Comment remains.**
- s) *The proposed north/south storm sewer connecting to existing Catch Basin Ex B is too close to the existing sanitary sewer manhole to the west. A minimum 10' horizontal separation is required.* **Comment addressed. Storm sewer has been adjusted in this area such that there is now 10' horizontal separation between it and the sanitary sewer manhole.**
- t) *The storm sewer between proposed CB2 and CB3 shall be upsized to 18" diameter. Otherwise, a restriction at CB3 will occur.* **Comment addressed. Sewer has been upsized to 18" diameter.**
- u) *Verify rim and invert information for the two existing storm sewer connection points. As built data all show these elevations at approximately 1' higher than those shown on the Jax plan.* **Comment addressed. PEA confirms that the rim and invert elevations provided were field measured by their firm.**
- v) *Show existing 54' wide sanitary sewer easement that is on the Meijer sign property located SE of the Jax site.* **Comment remains. Design engineer states this will be added to the FSP/FEP.**
- w) *The plan shows connection of the proposed sanitary sewer lead to the existing 18" diameter sanitary sewer along the M-59 frontage. The plan shows an existing sanitary sewer lead to the east(invert of approximately 970.00') of the area of the current proposed connection and we question why this lead is not being utilized. The existing 18" sewer is approximately 25' deep at the area where the current connection is proposed and connection to this sewer may result in potential construction trenching too close to the existing road.* **Comment addressed. The proposed sanitary sewer is now shown as connecting to the existing lead.**
- x) *The existing sanitary sewer diameter along M-59 and that which crosses Bogie Lake Road is mislabeled. The sewer diameter is 18". Please revise.* **Comment addressed. Sewer diameter has been revised.**
- y) *Currently a 500 gallon oil/water separator is proposed. Provide support documentation to demonstrate that this size separator will be sufficient to service the proposed car wash operation. In addition, is a water reclamation system proposed? If so, please show on plan. Lastly, is MH Structure A on the plan proposed to be a monitoring MH?* **Comment partially addressed. An internal water reclamation system is proposed. MH Structure A is labeled as a monitoring manhole. Although the design engineer states Jax uses a 500 gallon oil/water separator, provide support documentation for the proposed 500 gallon capacity.**
- z) *Provide cleanouts every 75' for proposed sanitary sewer lead.* **Comment addressed. Cleanouts have been provided.**
- aa) *We defer to the Township Fire Department regarding hydrant coverage.* **Comment remains as a notation.**



- bb) *Sheet C-1.0- Provide diameter of existing watermain along M-59 frontage.* **Comment addressed. Diameter has been provided.**
- cc) *Sheet C-6.0- Public Utility Easement note- Watermain easements shall be 20' wide.* **Comment addressed. Note has been updated.**
- dd) *Sheet C-6.0-Refer To section- None of these notes, design, or details are shown on Sheet C-9.0.* **Comment addressed. The note has been removed from this sheet.**
- ee) *Sheet C-3.0-Add dimensions for standard parking spaces, ADA space and associated loading zone, drive widths, sidewalk adjacent to proposed building , and sidewalk along Audbon Drive.*

Recommendation

With the current submittal, only one sheet (Sheet C-3.0) of the Preliminary Site Plan was provided. The new layout raised some questions that have not been answered on the one-page submittal but will need to be addressed with a future complete plan submittal. Most significantly the proposed grading and fire truck movements will need to be shown to demonstrate engineering feasibility. Comments that were previously made regarding plan sheets that were not included with this submittal have remained on this letter and will also need to be addressed on future submittals.

Please feel free to contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

- Cc: David Waligora, Community Development, White Lake Township, *via email*
 Hannah Kennedy-Galley, Community Development, White Lake Township, *via email*
 Paige Myers, Community Development, White Lake Township, *via email*
 Aaron Potter, DPS Director, White Lake Township, *via email*
 Jason Hanifen, Fire Marshall, White Lake Township, *via email*
 Nick Spencer, Building Official, White Lake Township, *via email*
 Matteo Passalacqua, Carlisle Wortman, *via email*



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

January 29, 2026

**Preliminary Site Plan / Planned Business Review
for
White Lake Charter Township, Michigan**



Applicant:	BMW KAR WASH, LLC
Project Name:	JAX Car Wash (Meijer Outlot)
Plan Date:	September 10, 2025
First Revision	October 9, 2025
Second Revision	December 23, 2025
Location:	Northwest corner of Bogie Lake Road and Highland Road (M-59) Parcel ID: 12-20-276-034
Action Requested:	Preliminary Site Plan / Planned Business Approval

PROJECT NARRATIVE

The applicant is requesting preliminary site plan approval to construct a 5,555 sqft automobile wash establishment (car wash) in an outlot of the Meijer Planned Business district. Automobile wash establishments are principal permitted uses in the PB zoning district.

The PB Planned Business District is primarily a commercial district intended to permit, with Township approval, private and/or public development in a coordinated and cohesive arrangement which may be more difficult to achieve under more conventional, piecemeal development designed to conform with standard zoning requirements. It is further intended that the PB District be located along major thoroughfares, such as M-59.

On January 27, 2026, the applicant submitted a revised Sheet C-3.0 of the preliminary site plan. The revision is in response to feedback from both the Planning Commission and Township Board regarding the originally proposed access drive on Bogie Lake Road. Per that feedback, the applicant has rotated the site layout to allow for sole access from Audbon Drive. The applicant has submitted this initial layout for cursory review in preparation for final site plan review to be conducted by the Planning Commission at a future meeting.

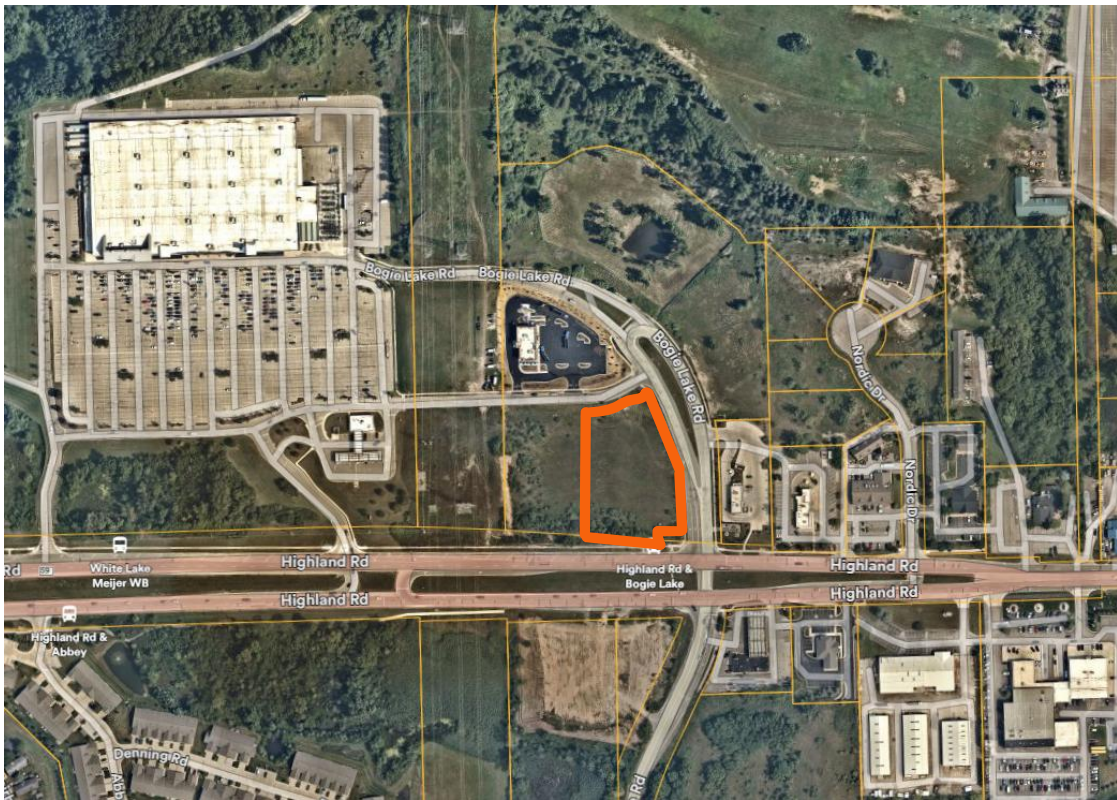
This memo provides a review of the proposed drive’s location and any potential standards that would apply to the site as it is currently presented.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Senior Associate*
Richard K. Carlisle, *Past President/Senior Principal*

SITE DESCRIPTION

Lot Area:	1.88 gross acres (81,920 square feet)
Frontage:	Approx. 384 feet along Bogie Lake / Approx. 193 feet along Highland Road (M-59) - Proposed
Address:	6001 Highland Road
Current Use:	Vacant

Aerial image of the site



Source: NearMap July 2025

The revised Sheet C-3.0 no longer delineates the proposed new western lot line. This will need to be clearly defined on the final site plan.

Item to be Addressed: The revised Sheet C-3.0 no longer delineates the proposed new western lot line. This will need to be clearly defined on the final site plan.

AREA, WIDTH, HEIGHT, SETBACKS

Lot calculations and setbacks are provided on Sheet C-3.0. Standard bulk and lot regulations for the PB zoning district are set forth in Section 3.1.16 and Section 3.11.

Planned Business District Standards

Planned Business	Required	Proposed PB	Compliant
Building Setbacks			
Front	60 feet	68.72 feet (M-59) 50 feet (Bogie Lake Road) 143.78 feet (Audbon Drive)	No / Bogie Lake Road
Side	TBD	131.01 feet	TBD
Rear	N/A	N/A	N/A
Wetland	N/A	N/A	N/A
Building Height			
	35 feet or 2 stories	22.5 feet / 1 story	Yes
Lot Standards			
Minimum Lot Area	10 acres	1.88 gross acres	No (see note below)
Minimum Lot Width	TBD	193 feet (M-59)	TBD
Maximum Lot Coverage	TBD	7.65%	TBD
Maximum Depth to Width	4 to 1	Less than 4 to 1	Yes

The building encroaches the 60 foot setback from Bogie Lake Road. Given the property’s designation as PB, Planned Business, the Planning Commission may provide a waiver from this requirement.

A minimum lot area of 10 acres is required in the PB District. While the lot area does not meet the minimum requirement, the Meijer outlots were contemplated at the time of the initial development. A waiver from the minimum area requirement is not necessary.

Per Section 3.11.D, the site has three front yards.

Items to be Addressed: Planning Commission to consider a waiver to allow the front yard setback along Bogie Lake Road to be 50 feet instead of the required 60 feet.

ACCESS & CIRCULATION

Vehicle Access & Circulation

Access to public roads in the Township are either the jurisdiction on Michigan Department of Transportation (MDOT) or Road Commission of Oakland County (RCOC). The Planning Commission may waive standards for access per Section 6.4.F however permits will be required from RCOC for the proposed access points. Below is a review of the proposed access points per the standards of the zoning ordinance.

The shared access drive proposed with the retail development directly west of the car wash is no longer shown on Sheet C-3.0. It should be clarified in the final site plan if such a connection is still sought. If so, it should be shown on the plan along with documentation the neighboring development is agreeable to

implementing the connection. If cross connection is sought by both property owners, a revised site plan will be required for parcel ID 12-20-276-035.

Bogie Lake Intersection

The Bogie Lake access drive is no longer proposed.

Audbon Road Intersection

The driveway at Audbon Road eliminates the potential safety concerns expressed during preliminary site plan review regarding traffic attempting to enter the site from Bogie Lake Road in proximity to the M-59 intersection.

The distance the proposed drive is from the Bogie Lake Road / Audbon Road intersection as well as all same side and opposite side access drives should be added to the plan. Automobile wash access drives are to be at least 100 feet from road intersections. Section 6.4.C provides standards for drive distances from same side and opposite side drives.

The width of the two-way drive should be added to the site plan to ensure conformance with Section 6.4.C.vii.

Non-Motorized Access and Circulation

Sections 5.20 and 5.21 provide requirements for site sidewalks and pathways. Existing sidewalks run along Highland Road (M-59) and Bogie Lake road. The widths of these walkways are not provided. The applicant shall be required to repair/replace any broken sections of concrete within the frontage sidewalks adjacent to the site along Bogie Lake Road and Highland Road (M-59), as determined by the Township Engineering Consultant. The applicant response letter dated October 15, 2025 acknowledges this responsibility.

The dimensions of the sidewalk along Audbon drive should be added to the site plan. The current placement of the sidewalk is not within the right of way. This will require easements granted to the Township. The sidewalk's termination at the west lot line does not align with the neighboring development's approved site plan from December of 2024. This should be corrected at final site plan.

Items to be Addressed:

- 1) *Township Engineering concerns.*
- 2) *Township Public Safety concerns.*
- 3) *The shared access drive proposed with the retail development directly west of the car wash is no longer shown on Sheet C-3.0. It should be clarified in the final site plan if such a connection is still sought. If so, it should be shown on the plan along with documentation the neighboring development is agreeable to implementing the connection. If cross connection is sought by both property owners, a revised site plan will be required for parcel ID 12-20-276-035.*
- 4) *The distance the proposed drive is from the Bogie Lake Road / Audbon Road intersection as well as all same side and opposite side access drives should be added to the plan. Automobile wash access drives are to be at least 100 feet from road intersections. Section 6.4.C provides standards for drive distances from same side and opposite side drives.*

- 5) *The width of the two-way drive should be added to the site plan to ensure conformance with Section 6.4.C.vii.*
- 6) *The dimensions of the sidewalk along Audbon drive should be added to the site plan.*
- 7) *The current placement of the sidewalk along Audbon is not within the right of way. This will require easements granted to the Township.*
- 8) *The sidewalk's termination at the west lot line does not align with the neighboring development's approved site plan from December of 2024. This should be corrected at final site plan.*

PARKING & LOADING

Section 5.11 outlines requirements for off-street parking. Automobile car wash is required to have one spot for each employee plus stacking spaces as indicated in 5.11.M.i in the Zoning Ordinance, which requires seven times the maximum capacity of the auto wash. Sheet C-3.0 shows that there are five spaces for internal washed cars thus requiring 35 stacking spaces.

The applicant has provided four employee parking spaces, 32 stacking spaces prior to entering the car wash, and two stacking spaces for exiting the car wash. There will also be 26 vacuum spaces of which one will be handicap accessible. 35 stacking spaces are required so a waiver is required to accommodate the new layout.

There will be one loading space at the south side of the parking lot that will be 10 feet wide and 50 feet long. This meets the requirements of Section 5.11.P.i. in the Zoning Ordinance.

Items to be Addressed: *Planning Commission will need to consider the waiver to allow for 32 parking spaces instead of the required 35.*

ESSENTIAL SERVICES & UTILITIES

The site is served by water or sewer. Sheet C-6.0 provides a preliminary utility layout. Section 4.11.D requires site drainage to be designed in a manner that does not create runoff into neighboring properties or roadways. We defer to township engineering to assess the proposed utility systems.

No circulation plan was provided for emergency vehicles. We defer to Township Public Safety to determine the feasibility of site design and hydrant placement.

Items to be Addressed:

- 1) *Any cited concerns of Township Engineering.*
- 2) *Any cited concerns of Township Public Safety.*

ARCHITECTURE & LAYOUT

No elevations were provided with the revised layout however the requirements of Section 6.8.E should be referenced when adjusting façade materials.

Garage doors are not permitted to face streets. The Planning Commission will need to consider a waiver for the north and south façade garage doors.

Items to be Addressed:

- 1) *Planning Commission to consider waiving the prohibition of garage doors facing Highland Road and Audbon Drive and M-59.*

SUMMARY

The revised layout addressed the access concerns related to the original Bogie Lake Road access drive however, the final site plan will need to account for the revised layout as it relates to other standards including landscaping, architecture, parking, lighting, and other items noted in this review.

Other items be addressed and/or waivers may be identified during final site plan review.

Waivers / Modifications / Determinations


- 1) *Planning Commission to consider a waiver to allow the front yard setback along Bogie Lake Road to be 50 feet instead of the required 60 feet.*
- 2) *Planning Commission will need to consider the waiver to allow for 32 parking spaces instead of the required 35.*
- 3) *Planning Commission to consider waiving the prohibition of garage doors facing Highland Road and Audbon Drive and M-59.*

Items to be addressed at Final Site Plan Review

- 1) *Western lot line modification approval will be required for final site plan approval and may require a modified site plan for the development directly west of the site.*
- 2) *Township Engineering concerns.*
- 3) *Township Public Safety concerns.*
- 4) *The Applicant shall be required to repair/replace any broken sections of concrete within the frontage sidewalks adjacent to the site along Bogie Lake Road and Highland Road (M-59), as determined by the Township Engineering Consultant.*
- 5) *The shared access drive proposed with the retail development directly west of the car wash is no longer shown on Sheet C-3.0. It should be clarified in the final site plan if such a connection is still sought. If so, it should be shown on the plan along with documentation the neighboring development is agreeable to implementing the connection. If cross connection is sought by both property owners, a revised site plan will be required for parcel ID 12-20-276-035.*
- 6) *The distance the proposed drive is from the Bogie Lake Road / Audbon Road intersection as well as all same side and opposite side access drives should be added to the plan. Automobile wash access drives are to be at least 100 feet from road intersections. Section 6.4.C provides standards for drive distances from same side and opposite side drives.*
- 7) *The width of the two-way drive should be added to the site plan to ensure conformance with Section 6.4.C.vii.*

- 8) *The dimensions of the sidewalk along Audbon drive should be added to the site plan.*
- 9) *The current placement of the sidewalk along Audbon is not within the right of way. This will require easements granted to the Township.*
- 10) *The sidewalk's termination at the west lot line does not align with the neighboring development's approved site plan from December of 2024. This should be corrected at final site plan.*
- 11) *A draft development agreement will be required during final site plan review.*

Respectfully,



CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner



Fire Department
Charter Township of White Lake

Section 8, Item C.

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 02-11-2026

Project: Jax Kar Wash

Job #: 25-0885

Date on Plans: 12-23-2025

The Fire Department has the following comments with regards to the review of the revised site plans for the project known as Jax Kar Wash

1. The access drive and parking lot shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities.
2. The angle of approach/Departure to and from White Lake roads shall not exceed 8 degrees.
3. The required turning radius shall accommodate the largest Fire Department apparatus (40') and provide a turn radius profile showing apparatus movement on future plans. Needs to be shown throughout the site plan.

Jason Hanifen
Fire Marshal
Charter Township of White Lake
(248)698-3993
jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2021 Edition and Referenced NFPA Standards.

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Section 9, Item A.

Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

Date: February 17, 2026

To: Township Board

Subject: FOIA Appeal – Mr. Joshua Hunter

Dear Township Board,

I received a FOIA appeal on February 5, 2026, from Mr. Joshua Hunter, which I have attached to this memo. Mr. Hunter alleges that the Township failed to respond to his FOIA request submitted on January 27, 2026.

Our FOIA policy states:

The requestor must send a written request for the public record to the Township. A request can be made through a letter, in person, or sent by electronic transmission. The requests should be directed to the FOIA Coordinator.

The contact information is as follows:

White Lake Charter Township
Attn: FOIA Coordinator
7525 Highland Road White Lake, MI 48383

If by Email:

General Township Records twpfoia@whitelaketwp.com
Police Records generalrecords@whitelakepolice.com
Fire Records fdrecords@whitelaketwp.com

Fax: 248-698-3996

I checked all these methods and no such FOIA request was received. I recommend that the Township Board grant this appeal, and reverse the de facto denial created by the alleged non-response.

I will then notify Mr. Hunter of the decision and ask him to resubmit the FOIA request so that I may answer it in the appropriate time frame.

Trish Pergament

Trish Pergament
Deputy Supervisor

Patricia Pergament

From: White Lake Township MI <whitelaketownship-mi@unicodeweb.com>
Sent: Thursday, February 5, 2026 8:52 AM
To: Patricia Pergament
Subject: Form submission from: Contact the Township

Submitted on Thursday, February 5, 2026 - 8:51am

Submitted by anonymous user: 67.149.172.184

Submitted values are:

First Name Joshua
Last Name Hunter
Email Joshdhunter@protonmail.com
Departments Supervisor
Question/Comment
February 5, 2026

White Lake Charter Township
Attn: Township Board
c/o Township Supervisor
7525 Highland Road
White Lake, MI 48383

RE: FOIA Appeal – White Lake Township Board - Failure to Respond Within Statutory Deadline

Dear White Lake Township Board:

I am submitting this written appeal pursuant to the Michigan Freedom of Information Act, MCL 15.240(1)(a) and the Township’s FOIA procedures, due to the Township’s failure to respond to my January 27, 2026 FOIA request for the following information:

The White Lake Township Attorney’s executed and filed Oath of Office held by the Township Clerk pursuant to MCL 168.363, which states: “All township officers shall, before entering upon the duties of their offices, take and subscribe the oath as provided in section 1 of article 11 of the state constitution before the township clerk or other officer authorized to administer oaths, and file the same with the township clerk who shall record the same; and such oath shall be administered without reward and certified by the officer before whom the same was taken, with the date of taking the same.”

Under MCL 15.235(2), a public body must respond to a FOIA request within five business days after receipt. As of February 4, 2026, no written response, extension notice, fee estimate, denial, or production of records has been issued. Under MCL 15.235(3), the Township’s failure to respond constitutes a final determination to deny the request.

I respectfully request that the Township:

- 1. Immediately produce the requested record, or

2. If no such record exists, issue the required written certification of nonexistence under 15.235(5)(b), and

Section 9, Item A.

3. Provide the required notice of my further appeal rights under MCL 15.235(4).

Please consider this a formal appeal of the Township's constructive denial. I request a written determination by the Board as required by MCL 15.240(2).

Thank you for your attention.

Sincerely,

Joshua Hunter

2240 Thomas Ave

Berkley, MI 48072

248 765 3036

joshdhunter@protonmail.com

The results of this submission may be viewed at:

<https://www.whitelaketwp.com/node/7/submission/5935>

**RESOLUTION TO APPROVE
P25 SIMULCAST SYSTEM INTERLOCAL AGREEMENT
BETWEEN THE COUNTY OF OAKLAND AND THE TOWNSHIP OF WHITE LAKE**

Resolution #26-003

At a regular meeting of the Township Board of the Charter Township of White Lake, Oakland County, Michigan, held on the 17th day of February 2026 in the Township Annex, located at 7527 Highland Road, White Lake, Michigan at 6:30 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution was offered by _____ and supported by _____.

WHEREAS, there has been a countywide interoperable public safety system since approximately 2004. The system reached its end of life in 2020. The County constructed and implemented a new public safety P25 Simulcast System (“System”), which is integrated with the Michigan Public Safety Communication System (“MPSCS”). The County is the owner of the System and holder of the FCC license frequencies for the System; and

WHEREAS, the Urban Cooperation Act, 1967 PA 7, MCL 124.501, et seq., authorizes the County of Oakland and the Township of White Lake to enter into an interlocal agreement for the operation of the System; and

WHEREAS, the County has presented a new interlocal agreement (hereinafter “Agreement”) to the Township for approval, which terminates the prior interlocal agreement for the previous radio system and defines the responsibilities of the County and the municipalities regarding the operation, maintenance and repair of the System; and

WHEREAS, the Township is required to provide space to the County, at no cost, to house infrastructure equipment for the system and provide the County and its contractors and the MPSC with 24/7 access to this space for maintenance, repair and replacement; and

WHEREAS, on a quarterly basis, the Agreement authorizes the County to invoice the Township for the costs and fees established in the System Policies; and

WHEREAS, the Technical & Policy Committee described in the Agreement, will provide direction and recommendations to the County’s Information Technology Department regarding the management, operation, and use of the System; and

Exhibit A
(Agreement Attached)

**OAKLAND COUNTY P25 SIMULCAST SYSTEM
INTERLOCAL AGREEMENT
BETWEEN
OAKLAND COUNTY AND WHITE LAKE TOWNSHIP**

This Agreement ("the Agreement") is made between Oakland County, a Constitutional and Municipal Corporation, 1200 North Telegraph, Pontiac, Michigan 48341 ("County"), and the White Lake Township, 7525 Highland Rd. White Lake, MI 48383 ("Public Body"). In this Agreement the County and the Public Body may also be referred to individually as "Party" or jointly as "Parties."

INTRODUCTION/PURPOSE OF AGREEMENT.

Since approximately 2004, the County has operated and maintained a County-wide interoperable public safety communications system for use by the County and for use by governmental entities and private public safety entities located within Oakland County ("2004 System"). The County was the owner of the 2004 System. To properly operate, manage, maintain, and repair the 2004 System, the County entered into interlocal agreements with the governmental entities using the 2004 System--delineating the relationship and responsibilities of the parties. That interlocal agreement was approved by the Oakland County Board of Commissioners in Miscellaneous Resolution #05158.

The 2004 System is now end of life and since 2020, the County has been constructing and implementing a new public safety P25 Simulcast System, which is integrated with the Michigan Public Safety Communications System. The P25 Simulcast System replaces the 2004 System. To properly operate, manage, maintain, and repair the P25 Simulcast System, the Parties must enter into an Interlocal Agreement that will terminate the interlocal agreement concerning the 2004 System and delineate the relationship and responsibilities of the Parties regarding the operation, management, maintenance, and repair of the P25 Simulcast System.

Accordingly, pursuant to the Urban Cooperation Act of 1967, 1967 PA7, MCL 124.501, *et seq.*, the County and the Public Body enter into this Agreement for the purposes set forth herein. In addition, through this Agreement and the operation of the P25 Simulcast System, each Party will be better prepared to serve and to provide aid to citizens of and persons in Oakland County, Michigan.

In consideration of the mutual promises, obligations, representations, and assurances in this Agreement, the Parties agree to the following:

1. **DEFINITIONS.** The following words and expressions used throughout this Agreement, whether used in the singular or plural, within or without quotation marks, or possessive or nonpossessive, shall be defined, read, and interpreted as follows.

- 1.1. **Agreement** means the terms and conditions of this Agreement, the Exhibits hereto, and any other mutually agreed to written and executed modification, amendment, or addendum.
- 1.2. **Public Body** means **White Lake Township**, including, but not limited to, its Council, Board, any and all of its departments, its divisions, elected and appointed officials, directors, board members, council members, commissioners, authorities, committees, employees, agents, subcontractors, volunteers, and/or any such persons' successors. Public Body may be referred to as Public Agency or Agency in the System Policies.
- 1.3. **Claim** means any alleged losses, claims, complaints, demands for relief or damages, lawsuits, causes of action, proceedings, judgments, deficiencies, liabilities, penalties, litigation, costs, and expenses, including, but not limited to, reimbursement for reasonable attorney fees, witness fees, court costs, investigation expenses, litigation expenses, amounts paid in settlement, and/or other amounts or liabilities of any kind which are incurred by or asserted against the County or the Public Body, or for which the County or the Public Body may become legally and/or contractually obligated to pay or defend against; whether direct, indirect or consequential; whether based upon any alleged violation of the federal or the state constitution, any federal or state statute, rule or regulation, or any alleged violation of federal or state common law; whether any such claims are brought in law or equity, tort, contract, or otherwise; and/or whether commenced or threatened.
- 1.4. **County** means Oakland County, a Municipal and Constitutional Corporation including, but not limited to, all of its departments, divisions, the County Board of Commissioners, elected and appointed officials, directors, board members, council members, commissioners, authorities, committees, employees, agents, volunteers, and/or any such persons' successors.
- 1.5. **Day** means any calendar day beginning at 12:00 a.m. and ending at 11:59 p.m.
- 1.6. **Exhibits** mean the following exhibit(s) and their properly promulgated amendments, which are incorporated by reference into this Agreement:
 - 1.6.1. **Exhibit A**. The System Policies.
- 1.7. **FCC** means the Federal Communications Commission.
- 1.8. **Infrastructure Equipment** means all base stations (receivers and transmitters), combiners, antennae, amplifiers, coaxial cable, generators, shelters, network switches and all associated servers and routers (Network Switching center), network connectivity, software for the operation and management of the System, consoles at public safety answering points and back-up public safety answering points, and gateways.

- 1.9. **Michigan Public Safety Communications System (“MPSCS”)** means a statewide multicast digital radio system operated by the Michigan Department of Technology, Management, and Budget.
- 1.10. **Oakland County Department of Information Technology (“OCDIT”)** means the County Department, which operates and manages the System.
- 1.11. **Oakland County P25 Simulcast System or “System”** means the County-wide interoperable 700/800 MHZ voice/data radio system, which is owned by the County and integrated with the MPSCS—including the Infrastructure and Subscriber Equipment.
- 1.12. **System Policies and Procedures (“System Policies”)** means the Oakland County P25 Simulcast System User Guide and Policy Manual and any amendments thereto created by the Technical & Policy Committee and approved by the Oakland County Chief Information Officer (“OCCIO”), which shall govern the management, operation, and use of the System.
- 1.13. **System Technical and Policy Committee (“Technical & Policy Committee”)** means the committee created pursuant to this Agreement, comprised of the individuals set forth in Section 7 and having the responsibilities set forth herein. The Technical & Policy Committee is neither a separate legal entity nor a department, division, or office of the County, but is an advisory group of subject matter experts created with the intent to provide direction, counsel, and recommendations regarding System management, operation, use and having the responsibilities listed herein. The Technical and Policy Committee is the successor committee to the CLEMIS Radio Oversight Committee (also referred to as the Radio Oversight Committee or Radio Policy Committee).
- 1.14. **Subscriber Equipment** means mobile and portable radios and all accessories thereto, 800 MHZ pagers, control stations, and emergency responder communication enhancement systems (“ERCES”), including but not limited to, bi-directional amplifiers (“BDA”), Wireless Access Point (“WAP”), and vehicle repeater systems (“VRS”).
2. **ENTITIES PERFORMING UNDER THIS AGREEMENT.** All County responsibilities and obligations set forth in this Agreement shall be performed by OCDIT. All Public Body responsibilities and obligations set forth in this Agreement shall be performed by **White Lake Township Police Department**. The Technical & Policy Committee shall provide direction, counsel, and recommendations to OCDIT concerning System management, operation, and use.
3. **COUNTY RESPONSIBILITIES.**
- 3.1. **Compliance.** The County shall comply with the following: all applicable federal and state laws, regulations, and rules, the System Policies, this Agreement, and any amendments to the proceeding.

- 3.2. **Access to and Disclosure of Information.** The County may access, use, and disclose to third parties information, records, and any other content to comply with the law, including but not limited to, a subpoena, court order, or Freedom of Information Act request.
- 3.3. **County Point of Contact.** The County Point of Contact is the County Radio Communications Supervisor or successor position. The County Point of Contact will act as a liaison between the Public Body and the County regarding the management, operation, and use of the System. Communication protocols and procedures regarding the operation, management, maintenance, and repair of the System shall be set forth in the System Policies.
4. **PUBLIC BODY RESPONSIBILITIES.**
- 4.1. **Compliance.** The Public Body shall comply with the following: all applicable federal and state laws, regulations, and rules, the System Policies, this Agreement, and any amendments to the proceeding. The Public Body shall require its employees, agents, and volunteers to comply with the following: all applicable federal and state laws, regulations, and rules, the System Policies, this Agreement, and any amendments to the proceeding.
- 4.2. **Public Body Point of Contact.** The Public Body shall designate at least one person and an alternate to be a Point of Contact. The Public Body Point of Contact will act as a liaison between the Public Body and the County regarding the management, operation, and use of the System. The name of Public Body Point of Contact and alternate shall be conveyed to the County Point of Contact. Communication protocols and procedures regarding the operation, management, maintenance, and repair of the System shall be set forth in the System Policies.
- 4.3. **Facilities.** At no cost to the County, the Public Body shall provide space in buildings/facilities under the control of or owned by the Public Body to locate and house Infrastructure Equipment and Application Programming interfaces (“API”) for the System. The location of this space shall be mutually agreed to by the Parties and memorialized in writing; provided that an amendment to this Agreement shall not be needed to memorialize the location of the space. The Parties may change the location at any time pursuant to this Section.
- 4.4. **Access.** The County, the MPSCS, and County contractors shall have 24/7 access to Public Body-owned or controlled buildings/facilities necessary to access Infrastructure Equipment and API for maintenance, repair, and replacement. The Parties acknowledge that the Infrastructure Equipment or API may be located in non-public areas and that the Public Body, at its discretion, may require the County to contact the Public Body Point of Contact prior to arrival; provided that Parties agree that in an emergency situation the County may not be able to contact the Public Body Point of Contact prior to arrival.

5. **OPERATION AND USE OF SYSTEM AND INFRASTRUCTURE EQUIPMENT.**

- 5.1. **System/Infrastructure Equipment Ownership.** Except for otherwise provided herein concerning Subscriber Equipment, the County is the owner of the System.
- 5.2. **System Licenses.** The County is the FCC license holder for all 700/800 MHZ frequencies used in the System. The County shall maintain these licenses and/or modify the licenses as required to manage, operate, and use the System.
- 5.3. **Public Body Use of System.** The County authorizes the Public Body to use the System according to the terms and conditions of this Agreement, the System Policies, all applicable laws, regulations, and rules, and any amendments to the preceding.
- 5.4. **Legacy/Conventional Frequencies.** The Public Body shall be the FCC license holder and maintain any legacy conventional frequencies used by the Public Body, including those interfaced through the System consoles and/or gateways.
- 5.5. **System Maintenance and Repair.** The County shall operate, manage, maintain, and repair the Infrastructure Equipment and System in good order and consistent with industry standards, this Agreement, the System Policies, all applicable laws, regulations, and rules, and any amendments to the proceeding.
- 5.6. **Insurance.** The County shall insure or self-insure the System and all County-owned Infrastructure Equipment in the manner and in the amount it deems necessary.
- 5.7. **Audit/Monitor of System.**
- 5.7.1. **Monitoring of Use of System.** The County and the County's contractors/subcontractors may monitor and audit the Public Body's use of the System and compliance with the System Policies, this Agreement, and applicable federal and state laws, regulations, and rules. The monitoring and auditing of the System may be performed periodically at the discretion of the County and at the sole expense of the County.
- 5.7.2. **Monitoring by MPCSC.** The MPCSC shall monitor System functionality to make sure the System is operating pursuant to this Agreement and MPCSC standards.
- 5.8. **Training.** The policies and procedures concerning initial and continual training regarding the use of the System will be set forth in the System Policies.

5.9. **Disclaimer of Warranties.**

- 5.9.1. THE SYSTEM, INFRASTRUCTURE EQUIPMENT, SUBSCRIBER EQUIPMENT, OR OTHER ITEMS, WHICH ARE PROVIDED TO PUBLIC BODY UNDER THIS AGREEMENT, ARE PROVIDED ON AN "AS IS" AND "AS AVAILABLE" BASIS, "WITH ALL FAULTS."
- 5.9.2. THE COUNTY EXPRESSLY DISCLAIMS ALL WARRANTIES OF ANY KIND, WHETHER EXPRESS, IMPLIED, OR STATUTORY, INCLUDING, BUT NOT LIMITED TO, THE IMPLIED WARRANTIES OF MERCHANTABILITY, FITNESS FOR A PARTICULAR PURPOSE, TITLE, AND NON- INFRINGEMENT.
- 5.9.3. THE COUNTY MAKES NO WARRANTY THAT: (I) THE SYSTEM WILL MEET PUBLIC BODY’S REQUIREMENTS OR NEEDS OR (II) THE SYSTEM WILL BE UNINTERRUPTED, TIMELY, SECURE, ACCURATE, OR ERROR-FREE.

6. **OPERATION AND USE OF SUBSCRIBER EQUIPMENT.**

- 6.1. **Subscriber Equipment Policies/Procedures.** The policies and procedures for the purchase, operation, programming, repair, replacement, and maintenance of Subscriber Equipment will be set forth in the System Policies.
- 6.2. **Ownership of Subscriber Equipment.** Subscriber Equipment purchased by the County shall remain the property of the County (regardless of user). As further described and defined in the System Policies, the County shall pay for the maintenance and repair of County-owned Subscriber Equipment (regardless of user), but shall not pay for the replacement of County-owned Subscriber Equipment for whatever reason. Subscriber Equipment purchased by the Public Body shall remain the property of the Public Body and shall be maintained, repaired and replaced by the Public Body pursuant to the System Polices and at its sole cost.
- 6.3. **Insurance for Subscriber Equipment or Public Body Owned-Facilities.** The County shall not provide insurance for the Subscriber Equipment or Public Body-owned Facilities.

7. **SYSTEM TECHNICAL AND POLICY COMMITTEE.**

- 7.1. **Creation, Composition and Appointment of Technical & Policy Committee.** The Technical & Policy Committee is created as set forth herein. The Technical & Policy Committee shall be comprised of the following individuals (“Committee Members”):
 - 7.1.1. The County Radio Communications Supervisor or successor position and one alternate designated by the Radio Communications Supervisor;

- 7.1.2. The OCCIO or successor position and an alternate designated by the OCCIO.
- 7.1.3. One individual appointed by the Oakland County Medical Control Authority (“OCMCA”) and one alternate designated by the OCMCA.
- 7.1.4. Three individuals appointed by the Oakland County Police Chiefs Association and three alternates designated by the Oakland County Police Chiefs Association;
- 7.1.5. One individual appointed by the Oakland County Sheriff and one alternate designated by the Oakland County Sheriff;
- 7.1.6. The Oakland County 911 Coordinator and one alternate designated by the Oakland County 911 Coordinator;
- 7.1.7. One individual appointed by MABAS 3202 and one alternate designated by MABAS 3202;
- 7.1.8. Two individuals appointed by MABAS 3201 and two alternates designated by MABAS 3201. One individual and one alternate must be from a Public Safety Department.
- 7.1.9. The County Public Safety Business Relationship Manager or successor position and one alternate designated by the County Public Safety Business Relationship Manager.

7.2. Term of Committee Members/Vacancy/Replacement.

- 7.2.1. Each Committee Member shall be appointed for a term of three (3) years, unless the Committee Member is appointed to fill a vacancy caused for a reason other than the expiration of a term.
- 7.2.2. If a Committee Member position becomes vacant, for a reason other than expiration of term, then the entity or individual that appointed such individual shall appoint an individual to fulfill the remainder of the vacating member’s unexpired term within fourteen (14) Days. The designated alternate does not automatically replace the vacating member’s position.
- 7.2.3. A Committee Member may be removed from the Technical & Policy Committee at the will of the entity or individual that appointed the Committee Member.

- 7.3. **Quorum/Voting.** A quorum of the Technical & Policy Committee is a majority of those in office. In order to hold a Technical & Policy Committee meeting a quorum must be present. The Policy & Technical Committee shall act and perform its responsibilities by a majority vote of the quorum present at a meeting. Committee Members shall not vote by proxy.

7.4. Committee Responsibilities.

- 7.4.1. The Technical & Policy Committee shall provide direction, counsel, and recommendations to OCDIT regarding the management, operation, and use of the System. The Technical and Policy Committee is the successor committee to the CLEMIS Radio Oversight Committee (also referred to as the Radio Oversight Committee or Radio Policy Committee).
- 7.4.2. The Technical & Policy Committee shall meet at least twice a year or as needed at the call of the Technical & Policy Committee Chairperson.
- 7.4.3. At the first meeting of the Technical & Policy Committee meeting each calendar year, the Committee shall elect a Chairperson, Vice-Chairperson, and Secretary (collectively “the Officers”). Notwithstanding any other provision, the Officers shall continue to serve in their capacities until the next Officers are elected. The Officers shall have the duties and responsibilities set forth below:
- 7.4.3.1. Chairperson: (1) preside over meetings; (2) set dates, times, and locations for meetings; (3) create and set meeting agendas (4) respond to correspondence received by the Technical & Policy Committee or directs the Secretary to respond, as needed; and (5) ensure Committee Member and alternate appointments are timely received and filled by their appointing bodies/individuals and names are sent to the County Point of Contact.
- 7.4.3.2. Vice-Chairperson: shall assume the duties of the Chairperson, if the Chairperson is absent or unavailable for any reason.
- 7.4.3.3. Secretary: (1) sends out meeting notices and agendas; (2) responds to correspondence as directed by Chairperson; (3) keeps records and meeting minutes and disperses records and meeting minutes to Committee Members; and (4) keeps records of Committee Member appointments and terms and advises the Chairperson of these records on a regular basis.
- 7.4.4. The Technical & Policy Committee shall draft the System Policies that govern the management, operation, and use of the System. The System Policies shall be approved by a quorum of the Technical & Policy Committee. The Technical & Policy Committee shall present the System Policies to the OCCIO for approval and implementation. If the OCCIO does not approve the System Policies, then the System Policies shall be returned to the Technical & Policy Committee for review and revision and then re-submitted to the OCCIO. This process shall be repeated until the OCCIO approves the System Policies. Approval by the OCCIO shall not be unreasonably withheld. After approval by the OCCIO, OCDIT shall compile and assemble the System Policies and send them to the Public

Body. Any changes or amendments to the System Policies shall be drafted, approved, and distributed in accordance with this Section.

7.4.5. The Technical & Policy Committee shall review the System Policies at least once a year to determine if changes or amendments are necessary.

8. FINANCIAL RESPONSIBILITIES.

8.1. The costs and fees associated with the management, operation, and use of the System, the maintenance of the Subscriber Equipment, and the repair, replacement, or purchase of the new Subscriber Equipment shall be set forth in the System Policies. The County shall invoice the Public Body the costs and fees set forth in the System Policies on a quarterly basis, based on calendar year, and the Public Body shall pay such invoice within forty-five (45) Days.

8.2. **Cost/Fee Set-Off.** In the event there are any costs or fees imposed and due to the County by the Public Body in connection with this Agreement and/or for the use, operation, or maintenance of the System, the County has the right to offset any amount past due and retain any amount of money due to the Public Body from the County equal to the past due amount, including, but not limited to, distributions from the Delinquent Tax Revolving Fund (DTRF).

8.3. **Possible Additional Services and Costs.** If the County is requested by the Public Body or is legally obligated for any reason, e.g. subpoena, court order, or Freedom of Information Act request, to search for, identify, produce or testify regarding the Public Body’s records, data, or information that is stored by or possessed by the County relating to the System, then the Public Body shall reimburse the County for all reasonable costs the County incurs in searching for, identifying, producing or testifying regarding such records, data, or information. The County may waive this requirement in its sole discretion.

9. DURATION OF INTERLOCAL AGREEMENT.

9.1. The Agreement and any amendments hereto shall be effective when executed by both Parties with resolutions passed by the governing bodies of each Party. The approval and terms of this Agreement and any amendments hereto shall be entered in the official minutes of the governing bodies of each Party. An executed copy of this Agreement and any amendments shall be filed by the County Clerk with the Secretary of State.

9.2. This Agreement shall remain in effect until cancelled or terminated by either Party pursuant to Section 11.

10. ASSURANCES/LIABILITY.

- 10.1. **Responsibility for Claims.** Each Party shall be responsible for any Claims made against that Party by a third party and for the acts or omissions of its employees, agents, or volunteers arising under or related to this Agreement.
- 10.2. **Responsibility for Attorney Fees and Costs.** Except as provided in this Agreement, for any Claim that may arise from the performance of this Agreement, each Party shall seek its own legal representation and bear the costs associated with such representation, including judgments and attorney fees.
- 10.3. **No Indemnification.** Except as otherwise provided for in this Agreement, neither Party shall have any right under this Agreement or under any other legal principle to be indemnified or reimbursed by the other Party or any of its agents in connection with any Claim.
- 10.4. **Costs, Fines, and Fees for Noncompliance.** Each Party shall be solely responsible for all costs, fines, penalties, assessments, and fees associated with its acts or omissions related to this Agreement and/or for noncompliance with this Agreement.
- 10.5. **Governmental Function/Reservation of Rights.**
- 10.5.1. The Parties acknowledge that the performance of this Agreement is a governmental function, which function is to provide a public safety communications system to serve and to provide aid for the residents and persons in Oakland County, Michigan.
- 10.5.2. This Agreement does not, and is not intended to, impair, divest, delegate or contravene any constitutional, statutory, and/or other legal right, privilege, power, obligation, duty, or immunity of the Parties. Nothing in this Agreement shall be construed as a waiver of governmental immunity for either Party.
- 10.6. **Authorization and Completion of Agreement.** The Parties have taken all actions and secured all approvals necessary to authorize and complete this Agreement. The persons signing this Agreement on behalf of each Party have legal authority to sign this Agreement and bind the Parties to the terms and conditions contained herein.
- 10.7. **Limitation of Liability.** IN NO EVENT SHALL EITHER PARTY BE LIABLE TO THE OTHER PARTY OR ANY OTHER PERSON, FOR ANY CONSEQUENTIAL, INCIDENTAL, INDIRECT, SPECIAL, AND/OR PUNITIVE DAMAGES ARISING OUT OF THIS AGREEMENT, REGARDLESS OF WHETHER THE OTHER PARTY HAS BEEN INFORMED OF THE POSSIBILITY OF SUCH DAMAGES.
- 10.8. **Permits And Licenses.** Each Party shall be responsible for obtaining and maintaining, throughout the term of this Agreement, all licenses, permits, certificates, and governmental authorizations necessary to perform all its

responsibilities under this Agreement. Upon request, a Party shall furnish copies of any permit, license, certificate or governmental authorization to the requesting Party.

11. TERMINATION OR CANCELLATION OF AGREEMENT.

- 11.1. The Public Body may terminate or cancel this Agreement for any reason upon sixty (60) Days written notice to the County. Within Sixty (60) Days of termination or cancellation of this Agreement, the Public Body must return all Subscriber Equipment (not purchased by the Public Body), all consoles, all control stations, all consolettes, and all ancillary appurtenances to such equipment to the County.
- 11.2. If Public Body breaches this Agreement, upon sixty (60) Days written notice to the Public Body, the County may terminate or cancel this Agreement upon recommendation by the Technical & Policy Committee, or if in the opinion of the County the System is no longer operational.
- 11.3. The Interlocal Agreement governing the 2004 System shall terminate upon full execution of this Agreement and this Agreement shall govern the operation and management of the System.

12. **SUSPENSION OF SERVICES.** County, through the OCCIO and upon recommendation of the Technical & Policy Committee, may immediately suspend Public Body's use of the System for any of the following reasons: (i) requests by law enforcement or other governmental agencies; (ii) engagement by Public Body in fraudulent or illegal activities relating to use of this System; (iii) breach of the terms and conditions of this Agreement; or (iv) unexpected technical or security issues. The right to suspend Services is in addition to the right to terminate or cancel this Agreement according to the provisions in Section 11. County shall not incur any penalty, expense or liability if the Public Body's use of the System is suspended under this Section.

13. **NO THIRD PARTY BENEFICIARIES.** Except as provided for the benefit of the Parties, this Agreement does not and is not intended to create any obligation, duty, promise, contractual right or benefit, right to indemnification, right to subrogation, and/or any other right, in favor of any other person or entity.

14. **DISCRIMINATION.** The Parties shall not discriminate against their employees, agents, applicants for employment, or another persons or entities with respect to hire, tenure, terms, conditions, and privileges of employment, or any matter directly or indirectly related to employment in violation of any federal, state or local law.

15. **FORCE MAJEURE.** Each Party shall be excused from any obligations under this Agreement during the time and to the extent that a Party is prevented from performing due to causes beyond such Party's control, including, but not limited to, an act of God, war, acts of government (other than the Parties'), fire, strike, labor disputes, civil disturbances, reduction of power source, or any other circumstances

beyond the reasonable control of the affected Party. Reasonable notice shall be given to the affected Party of any such event.

16. **DELEGATION/SUBCONTRACT/ASSIGNMENT**. The Public Body shall not delegate, subcontract, and/or assign any obligations or rights under this Agreement without the prior written consent of the County.
17. **NO IMPLIED WAIVER**. Absent a written waiver, no act, failure, or delay by a Party to pursue or enforce any rights or remedies under this Agreement shall constitute a waiver of those rights with regard to any existing or subsequent breach of this Agreement. No waiver of any term, condition, or provision of this Agreement, whether by conduct or otherwise, in one or more instances, shall be deemed or construed as a continuing waiver of any term, condition, or provision of this Agreement. No waiver by either Party shall subsequently effect its right to require strict performance of this Agreement.
18. **SEVERABILITY**. If a court of competent jurisdiction finds a term, or condition, of this Agreement to be illegal or invalid, then the term, or condition, shall be deemed severed from this Agreement. All other terms, conditions, and provisions of this Agreement shall remain in full force.
19. **CAPTIONS**. The section and subsection numbers, captions, and any index to such sections and subsections contained in this Agreement are intended for the convenience of the reader and are not intended to have any substantive meaning. The numbers, captions, and indexes shall not be interpreted or be considered as part of this Agreement. Any use of the singular or plural number, any reference to the male, female, or neuter genders, and any possessive or nonpossessive use in this Agreement shall be deemed the appropriate plurality, gender or possession as the context requires.
20. **NOTICES**. Notices given under this Agreement shall be in writing and shall be personally delivered, sent by express delivery service, certified mail, or first class U.S. mail postage prepaid, and addressed to the person listed below. Notice will be deemed given on the date when one of the following first occur: (1) the date of actual receipt; (2) the next business day when notice is sent express delivery service or personal delivery; or (3) three days after mailing first class or certified U.S. mail.
 - 20.1. If Notice is sent to the County, it shall be addressed and sent to: Oakland County Department of Information Technology, **Radio Communications Supervisor**, 1200 North Telegraph Road, Building #49 West, Pontiac, Michigan, 48341 and Chairperson of the Oakland County Board of Commissioners, 1200 North Telegraph, Pontiac, Michigan 48341.
 - 20.2. If Notice is sent to the Public Body, it shall be addressed to: **Lieutenant Matthew Ivory 7525 Highland Rd. White Lake, MI 48383**
 - 20.3. Either Party may change the address and/or individual to which Notice is sent by notifying the other Party in writing of the change.

21. **DISPUTE RESOLUTION**. All disputes relating to the execution, interpretation, performance, or nonperformance of this Agreement involving or affecting the Parties must first be submitted to the OCCIO and Public Body's **Administrative Lieutenant**. The OCCIO and Public Body's **Administrative Lieutenant** shall promptly meet and confer in an effort to resolve such dispute. If they cannot resolve the dispute in ten (10) business days, the dispute shall be submitted to the chief executive officials of each Party or their designees. The chief executive officials or their designees shall meet promptly and confer in an effort to resolve such dispute.
22. **GOVERNING LAW/CONSENT TO JURISDICTION AND VENUE**. This Agreement shall be governed, interpreted, and enforced by the laws of the State of Michigan. Except as otherwise required by law or court rule, any action brought to enforce, interpret, or decide any Claim arising under or related to this Agreement shall be brought in the 6th Judicial Circuit Court of the State of Michigan, the 50th District Court of the State of Michigan, or the United States District Court for the Eastern District of Michigan, Southern Division, as dictated by the applicable jurisdiction of the court. Except as otherwise required by law or court rule, venue is proper in the courts set forth above.
23. **AGREEMENT MODIFICATIONS OR AMENDMENTS**. Any modifications, amendments, recessions, waivers, or releases to this Agreement must be in writing and agreed to by both Parties. Unless otherwise agreed, the modification, amendment, recession, waiver, or release shall be signed by the same persons who signed the Agreement or other persons as authorized by the Parties' governing body.
24. **SURVIVAL OF TERMS**. The following terms and conditions shall survive and continue in full force beyond the termination or cancellation of this Agreement (or any part thereof) until the terms and conditions are fully satisfied or expire by their nature: Definitions (Section 1); Disclaimer of Warranties (Section 5.9); Assurances/Liability (Section 10); and Dispute Resolution (Section 21).
25. **ENTIRE AGREEMENT**. This Agreement represents the entire Agreement and understanding between the Parties. This Agreement supersedes all other oral or written Agreements between the Parties. The language of this Agreement shall be construed as a whole according to its fair meaning and not construed strictly for or against any Party.
26. **COUNTERPARTS**. This Agreement may be executed in several counterparts, each of which shall be an original and all of which shall constitute one and the same instrument.
27. **AUTHORIZATION**. The Parties certify and warrant that their respective signatories have the requisite authority to execute and bind them to this Agreement and the duties and responsibilities contained herein.

IN WITNESS WHEREOF, _____ acknowledges that he/she has been authorized by resolution of the _____, to execute this Agreement on behalf of the Public Body and accepts and binds the Public Body to the terms and conditions of this Agreement.

EXECUTED: _____ DATE: _____

WITNESSED: _____ DATE: _____

IN WITNESS WHEREOF, David T. Woodward, Chairperson, Oakland County Board of Commissioners, acknowledges he has been authorized by resolution of the Oakland County Board of Commissioners, to execute this Agreement on behalf of Oakland County and accepts and binds the Oakland County to the terms and conditions of this Agreement.

EXECUTED: _____ DATE: _____
David T. Woodward, Chairperson
Oakland County Board of Commissioners

WITNESSED: _____ DATE: _____

RESOLUTION TO APPROVE MORATORIUM ON THE ISSUANCE OF APPROVALS OR PERMITS FOR DATA PROCESSING CENTERS

Resolution No. 26-004

At a regular meeting of the Township Board of the Charter Township of White Lake, Oakland County, Michigan held on _____, 2026 in the Township Annex, located at 7527 Highland Road, White Lake Township, Michigan at 6:30 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution was offered by _____ and seconded by _____.

WHEREAS, pursuant to the authority conferred by the Michigan Zoning Enabling Act, the Township has adopted a Zoning Ordinance for the Township of White Lake; and

WHEREAS, the Zoning Ordinance contains regulations related to permitted and special land uses in all zoning districts within the Township and data processing centers are not explicitly permitted by right or by special land use in any zoning district and, as such, no regulations for such use are contained in the Zoning Ordinance; and

WHEREAS, the unique scale, scope and environmental impacts of data processing centers, including so-called hyper-scale data processing centers, necessitate further review and study by the Township, and revision to the Zoning Ordinance following the review, to ensure these uses, if permitted, are compatible with other land uses, and do not have substantial impacts on the environment, public health, safety, and welfare; and

WHEREAS, residents have expressed concerns about quality-of-life impacts, including potential increases in electricity costs, strain on local water supplies, and noise disruption from generators and cooling systems near residential areas; and

WHEREAS, the Township has a legitimate public purpose in assessing the regulation of the establishment and use of data processing centers within the Township; and

WHEREAS, a temporary moratorium will halt new applications for data processing centers to allow the Township and its consultants to review and update its Zoning Ordinance, as applicable, to address environmental impacts, including water, energy, noise, and light pollution, of modern data processing centers, and to create regulations for these facilities, focusing on community well-being, buffering, impact on utilities and other infrastructure, and responsible planning; and

WHEREAS the Township Board will conduct a comprehensive review of zoning, planning, and environmental regulations to ensure data processing center development aligns with community values and long-term sustainability goals.

NOW, THEREFORE, BE RESOLVED BY THE Township Board as follows:

Section 1: Moratorium. The Township hereby imposes a temporary moratorium on the acceptance of new applications, issuance of new permits, and approval of construction for any new or expanded data processing center facilities for a period of 180 days, effective February 18, 2026 at 12:01 a.m.

Section 2: Review and Study. The Township Community Development Director and other consultants and Township staff as necessary will conduct a comprehensive review of current ordinance regulations that may be applicable to data processing centers, including but not limited to:

- Adequate zoning classifications and setbacks from residential zones.
- Impacts on local energy grids, water supplies and other utilities.
- Noise and light mitigation standards.
- Requirements for stormwater management and water discharge.
- Economic benefits versus community costs, including permanent jobs created.

Section 3: Report and Recommendations. The Community Development Director will provide reports with recommendations for ordinance amendments to the Planning Commission by May 1, 2026.

Section 4: Extension. An extension of an additional 180 days may occur in the event the Township Board is informed by the Community Development Director that the work required for the study and recommendation on amendments to either the Township Code of Ordinances or the Zoning Ordinance, or all hearings required by the Michigan Zoning Enabling Act for such amendment(s) have not yet occurred.

Section 5: Effective Date. This Moratorium shall take effect immediately upon its passage, to commence on February 18, 2026, at 12:01 a.m., and to continue through August 17, 2026.

BE IT FURTHER RESOLVED that an aggrieved property owner or petitioner may request and be entitled to a hearing before the Township Board for the purpose of attempting to demonstrate that the moratorium will preclude all viable economic use of their property or otherwise violate applicable provisions of state or federal law. Said petitioner shall, in writing directed to the Township Clerk, request a hearing that describes the grounds for the request. The hearing shall be held at a Township Board meeting within thirty (30) days of receipt of the request, or at a later date as agreed to between the Township and petitioner. Upon concluding the hearing, the Township Board will determine whether the petitioner has made the required demonstration and if so, will grant relief from the moratorium.

BE IT FURTHER RESOLVED that notice of the Resolution shall be posted at the Township Hall throughout the 180-day period, or any extension granted herein.

A vote on the foregoing resolution was taken and was as follows:

YEAS: _____

NAYS: _____

ABSENT: _____

RESOLUTION DECLARED ADOPTED.

STATE OF MICHIGAN)
)ss
COUNTY OF OAKLAND)

I, the undersigned, the duly qualified and acting Township Clerk of the Charter Township of White Lake, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of certain proceedings taken by the Township Board at a regular meeting held on the 17th day of February 2026.

Anthony L. Noble, Township Clerk
Charter Township of White Lake

**CHARTER TOWNSHIP OF WHITE LAKE
OAKLAND COUNTY, MICHIGAN**

**LAKEWOOD VILLAGE IMPROVEMENT ASSOCIATION
CANADA GOOSE NEST/EGG DESTRUCTION 2026 – 2030**

RESOLUTION #26-002

At the regular meeting of the Township Board of the Charter Township of White Lake, County of Oakland, State of Michigan, held in the Township Annex, 7527 Highland Road, in accordance with the Open Meetings Act, Public Act 267 of 1976 as amended, on the 17th day of February, 2026 at 6:30 p.m. with those present and absent being:

PRESENT: Rik Kowall, Anthony L. Noble, Mike Roman, Scott Ruggles,
Steve Anderson, Andrea C. Voorheis and Liz Smith.

ABSENT: None

The following preamble and resolution were offered by ___ and seconded by ___.

WHEREAS, Lakewood Village Improvement Association, on behalf of the property owners of Lake Neva and the west side of Brendel Lake, is requesting authorization for Canada Goose Nest/Egg Destruction permit,

WHEREAS, Lakewood Village Improvement Association will apply and secure all applicable permits from the Department of Natural Resources-Wildlife Division (DNR),

WHEREAS, Lakewood Village Improvement Association and its residents clearly understand that any birds removed and relocated during this program may be killed,

WHEREAS, Lakewood Village Improvement Association is solely responsible for all associated DNR application and permit fees,

WHEREAS, Lakewood Village Improvement Association is solely responsible for compliance with all associated DNR rules and regulations and record keeping thereof,

WHEREAS, the DNR requires a representative attend a mandatory training session authorized by the DNR to destroy nests to reduce the nuisance wildlife population,

WHEREAS, Lakewood Village Improvement Association is responsible that all persons involved in the actual nest destruction have completed training as designated by the DNR,

WHEREAS, this is a five-year resolution for Canada Goose Nest/Egg Destruction permit on Lake Neva and the west side of Brendel Lake.

NOW THEREFORE BE IT RESOLVED, that the White Lake Township Board has no objections to the 2026–2030 five-year permit for Lakewood Village Improvement Association’s Canada Goose Nest/Egg Destruction as requested by the Lakewood Village Improvement Association as represented by Donald Dillon of 7461 Ellingrove Dr. and David Zabinski of 6950 Ellinwood Dr., White Lake, Michigan, 48383.

A vote on the foregoing resolution was taken and was as follows:

Ayes:	0
Nays:	0
Absent:	0

THE RESOLUTION WAS ADOPTED BY ___ VOTE.

Clerk’s Certification

I, Anthony L. Noble, the duly elected and acting Clerk of White Lake Township, County of Oakland, State of Michigan, do hereby certify that the foregoing is a true and complete copy of the resolution adopted by the Township Board of the Charter Township of White Lake at a regular meeting held on February 17, 2026, the original of which resolution is on file in my office.

Anthony L. Noble, Clerk MiPMC
Charter Township of White Lake

February 5, 2026

Mr. Anthony Noble, Clerk
White Lake Township
7525 Highland Rd.
White Lake, MI 48383

RE: Lakewood Village Improvement Association, RESOLUTION for Goose round-up / nest destruction.

Dear Mr Noble,

I am representing Lakewood Village Improvement Association, as a Board of Directors member, assigned to parks and water resources.

I am requesting that WLT renew resolution number 21-007 Lakewood Village Goose nest/egg destruction and round up (capture).

This request is for Lake Neva and the west side of Brendel Lake.

Although round-ups are very limited nowadays, it would be good to have round-ups included in case MDNR were to change policies in the next 5 years. To my knowledge, a current application does not exist.

As you know it is necessary to have the resolution from the township in order to obtain DNR permits from the state of Michigan. For 2026 the nest/egg destruction permits are due by March 9th. It would be greatly appreciated if the township Board of trustees could approve a new resolution at the Fenruary board meeting.

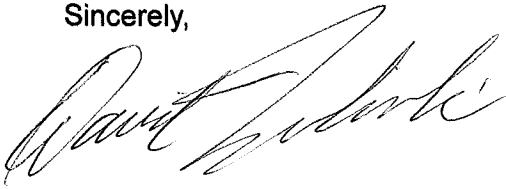
LVIA has trained nest/egg destruction people available, and we have been performing nest/egg and goose roundups (when available, permitted and allowed since 1997), We meet all requirements that the DNR has specified, and have done so for well over 25 years.

Attached please find:
Copy of Resolution 21-007 for your reference
Copy of Canada goose nest destruction application 2026.

If I can be of any help, please contact me.

RECEIVED
FEB 09 2026
CLERK'S OFFICE
WHITE LAKE TOWNSHIP

Sincerely,

A handwritten signature in black ink, appearing to read "David Zabinski". The signature is fluid and cursive, with the first name "David" being more prominent than the last name "Zabinski".

David Zabinski
6950 Ellinwood Dr.
White Lake, MI 48383
248-954-3134 / dzbnsk@comcast.net

Cc; Don Dillon, Mark Lammert, Marv Miller, Steve Woodard



**APPLICATION AND PERMIT FOR
2026 CANADA GOOSE NEST/EGG DESTRUCTION**

Required under the authority of the Wildlife Conservation Order, Chapter V, Sections 5.51, 5.51a, 5.51b, 5.52a, and 5.710.

This form is the application and permit for nest destruction. After being approved and signed by the Director's authorized representative, it becomes a valid permit. A permit is required to participate in any goose nest/egg destruction activity. Permit eligibility requirements and additional information is on the back of this form.

APPLICANT INFORMATION		PROPERTY INFORMATION	
Applicant	TOMASZ DILLOW	Site Contact	LAKE NEST/BREEDBL
Mailing Address	7461 ELLIN GROVE	Site Address	LAKE NENA/BROOKDALE
City, State, ZIP	WHITE LAKE MI 48383	City, State, ZIP	WHITE LAKE MI 48383
Telephone	248-421-9995	Name of Site (lake, park, etc.) *One site per application*	LAKE NENA
Email Address	TDILLOW85@COMCAST.NET	Township/City	LAKE NENA
Have you previously completed the training session? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes		County	CALHOUN
If yes, when and where		Nearest Township	W. 59 - 80611
Who will do the nest/egg destruction? <input checked="" type="checkbox"/> Myself <input type="checkbox"/> Myself with others assisting <input type="checkbox"/> Private Contractor		Permit Number	248-20045
Name of Private Contractor			
TYPE OF APPLICATION (PLEASE CHECK ONE)			
<input checked="" type="checkbox"/> LAKE ASSOCIATION, LAKE AND/OR SITE WITH MULTIPLE PROPERTY OWNERS (must have resolution or petition)			
<input type="checkbox"/> COMMERCIAL/BUSINESS			
<input type="checkbox"/> SINGLE FAMILY RESIDENCE			
LAKE INFORMATION (COMPLETE ONLY IF PROVIDING A PETITION FOR A SITE WITH MULTIPLE PROPERTY OWNERS)			
Number of Lakeshore Landowners	100 +	Lakeshore Length	2-3 MILES
Number of Lakeshore Landowners Signatures	100 +	Do you have at least 100 birds or more at this time?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
CERTIFICATION			
ALL APPLICATIONS MUST BE POSTMARKED BY MARCH 9.			
I have read, understand, and will comply with the terms and conditions of the permit. If applicable, I have provided a copy of the petition/resolution to the Michigan DNR, and at least seventy percent of the lakeshore owners have signed the petition authorizing Canada goose nest destruction.			
I understand this permit does not authorize trespass.			
Further, I assure the Michigan DNR that lakeshore landowners or sites with multiple property owners have been notified of Canada goose program activities.			
Applicant Signature	Date		
<i>Tomasz Dillow</i>	1-23-26		

Please send completed and signed application to:

M. Goose, Permits@usda.gov (preferred)

or

AGENCY USE ONLY		
Director's Authorized Representative Signature of Approval		
Issue Date	Expiration Date	Permit Number

USDA APHIS Wildlife Services
2803 Jolly Road, Suite 100
Okemos, MI 48864
FAX: 517-336-1934

PROCESS (Return to sender)
Maria V. Madala
1-5-26

**CHARTER TOWNSHIP OF WHITE LAKE
OAKLAND COUNTY, MICHIGAN**

**LAKWOOD VILLAGE GOOSE NEST/EGG DESTRUCTION
AND ROUND UP (CAPTURE)
2021 – 2026**

**RESOLUTION
#21-007**

At the regular meeting of the Township Board of the Charter Township of White Lake, County of Oakland, State of Michigan, held electronically via Zoom in accordance with the Open Meetings Act, Public Act 267 of 1976 as amended, on the 16th day of March, 2021 at 7:00 o'clock p.m. with those present and absent being:

PRESENT: Rik Kowall, Anthony Noble, Mike Roman, Liz Smith, Andrea Voorheis and Michael Powell

ABSENT: Scott Ruggles

WHEREAS, Lakewood Village Improvement Association is requesting authorization for a Round Up (Capture) and Hold Canada Geese on Lake Neva,

WHEREAS, Lakewood Village Improvement Association is requesting authorization for Canada Goose Nest/Egg Destruction on Lake Neva,

WHEREAS, the previous resolution expires in February of 2021,

WHEREAS, Lakewood Village Improvement Association will apply and secure all applicable permit(s) from the Department of Natural Resources-Wildlife Division (DNR),

WHEREAS, Lakewood Village Improvement Association is solely responsible for all associated DNR application and permit fees,

WHEREAS, the DNR requires a representative attend a mandatory training session authorized by the DNR to destroy nests in order to reduce the nuisance goose population,

WHEREAS, Lakewood Village Improvement Association is responsible that all persons involved in the actual nest destruction have completed training as designated by the DNR,

WHEREAS, this is a five-year resolution for Canada Goose Nest/Egg Destruction and Round Up (Capture) and Hold Canada Geese,

BE IT RESOLVED, that the White Lake Township Board has no objections to the 2021 five-year permit for Lakewood Village Improvement Association's Lake Neva Goose nest/egg destruction and round up (capture) and hold as requested by Donald R. Dillon of 7461 Ellingrove Drive and David Zabinski of 6950 Ellinwood Drive.

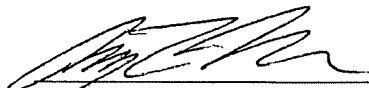
Motion: Moved by Clerk Noble and Supported by Trustee Voorheis

Ayes:	6
Nays:	0
Absent:	1

ADOPTED.

Clerk's Certification

I hereby certify that the following is a true and complete copy of a resolution offered and adopted by the White Lake Township Board of Trustees at a Regular Board Meeting held on Tuesday, March 16, 2021.



Anthony L. Noble, Clerk
White Lake Township