



ZONING BOARD OF APPEALS MEETING
LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MICHIGAN 48383
THURSDAY, DECEMBER 11, 2025 – 6:30 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PLEDGE OF ALLEGIANCE**
4. **APPROVAL OF AGENDA**
5. **APPROVAL OF MINUTES**
 - A. [August 28, 2025](#)
6. **CALL TO THE PUBLIC**
7. **NEW BUSINESS**
 - A. [Applicant: Ozysia Tkachuk](#)
[3320 Fox Blvd.](#)
[Commerce, MI 48382](#)
[Location: 9731 Portage Trail](#)
[White Lake, MI 48386 identified as 12-26-177-017](#)
[Request: The applicant seeks to construct a single-family home, requiring a variance from Section 3.11.J – Notes to District Standards.](#)
 - B. [Applicant: Gregg Matthews](#)
[2103 Hampton Street](#)
[White Lake, MI 48386](#)
[Location: 2103 Hampton Street](#)
[White Lake, MI 48386 identified as 12-14-279-003](#)
[Request: The applicant seeks to construct a single-family home, requiring variances from Section 3.1.6 – Minimum Lot Area, Section 3.1.6 – Minimum Front Yard Setback, and Section 3.1.6 – Minimum Side Yard Setback.](#)
8. **OLD BUSINESS**
9. **OTHER BUSINESS**
 - A. [Approval of 2026 Meeting Dates](#)
10. **NEXT MEETING DATE:** January 22, 2026
11. **ADJOURNMENT**

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-7 at least five days in advance of the meeting.** An attempt will be made to provide reasonable accommodations.

**WHITE LAKE TOWNSHIP
ZONING BOARD OF APPEALS
AUGUST 28, 2025**

CALL TO ORDER

Chairperson Spencer called the meeting to order at 6:30 P.M. He led the Pledge of Allegiance.

Roll was called:

ROLL CALL

Present:

Debby Dehart, Planning Commission Liaison
Jo Spencer, Chairperson
Niklaus Schillack, Vice Chairperson
Steve Anderson, Township Board Liaison
Clif Seiber

Also Present:

Nick Spencer, Building Official
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF AGENDA

**MOTION by Member Schillack, seconded by Member Anderson, to approve the agenda as presented.
The motion carried with a voice vote: (5 yes votes).**

APPROVAL OF MINUTES

A. July 24, 2025

Dilapidated

Member Schillack, seconded by Member Seiber to approve the minutes as corrected.

CALL TO THE PUBLIC

Mary Earley, 5925 Pine Ridge Court, spoke against the tragedy of mass shootings at schools and institutions country wide. She stated she hoped similar tragedy never makes it way to the White Lake community.

OLD BUSINESS

None.

NEW BUSINESS

A. Applicant: Edward Wenz
8756 Trenton Drive
White Lake, MI 48386

Location: **10918 Hillway Street**

White Lake, MI 48386 identified as 12-34-351-015

Request: The applicant seeks to convert an existing duplex to a single-family home, requiring variances from Section 3.1.6.E – Minimum Lot Width, Section 3.1.6.E –

Minimum Side Yard Setback, Section 7.23 – Nonconforming Structures, Section 7.27 –
Nonconforming Lots of Record.

Chairperson Spencer noted for the record that 31 owners within 300 feet were notified. 0 letters were received in favor, 0 letters were received in opposition, and 1 letter was returned undeliverable from the U.S. Postal Service.

Director O’Neil reviewed his report.

Member Seiber asked staff about the ROW on I. He asked if the eastern side yard would be considered a front yard frontage since it was originally platted as Lakeside Road. Director O’Neil said no, a road will never be extended through and so the eastern is considered a side yard as it’s been historically used as lake access.

Edward Wenz, property owner, was present to speak on behalf of his case. He said he wanted to eliminate the duplex on the property by converting it into a single-family house. He reiterated that the lake access to the west was deeded as a lake access lot for the neighborhood. He said the first floor will remain the same, and the second floor will be remodeled to be more compliant building code and zoning wise.

Member Seiber asked the applicant if the soffits were being eliminated on the western side of the lot. Mr. Wenz confirmed, the architect re-designed the plans and the soffits would be flattened on that side to gain more conformity.

Chairperson Spencer opened the public hearing at 6:54 P.M. She read one letter in favor of the applicant’s request.

Kevin Williamson, 10834 Hillway, Oak Ridge HOA President, clarified that the easement was abandoned by the Road Commission and the easement was split between the two properties to the west and east of the easement. Those property owners in turn deeded the easement to the residents of the neighborhood to use as lake access. It will never be a road again as long as the neighbors keep up the maintenance of the property.

Chairperson Spencer closed the public hearing at 6:57 P.M.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

A. Practical Difficulty

- Member Seiber said the lot width and the current house make for a practical difficult.

B. Unique Situation

- Member Dehart reiterated that the lot width made for a unique situation.

C. Not Self-Created

- The applicant did not construct the original house or plat the lot.

D. Substantial Justice

- Member Schillack said it allows the property owner to use the house as the surrounding neighbors use theirs.

E. Minimum Variance Necessary

- Member Dehart said the applicant was improving the setback on the west side.

Member Schillack MOVED to approve the variances requested by Edward Wenz from Section 3.1.6 and 7.23 of the Zoning Ordinance for Parcel Number 12-34-351-015 identified as 10918 Hillway Street, in order to build a second story addition onto the existing structure. Variances from Section 3.1.6 are granted to allow for construction on a lot that is 23 feet less than the minimum lot width required in the R1-D zoning district, and for both east and west side yard setbacks which will result in variances of 4.0 feet and 4.6 feet respectively. Finally, a variance from Section 7.23 is also granted to allow for the enlargement of a non-conforming structure. This approval has the following conditions:

- 1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division and Department of Public Services, as well as the Oakland County Health Division.**
- 2. No mechanical units, including an HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.**
- 3. Per Section 5.3, all portions of the proposed structure (including the roof/soffits/ gutters) shall be setback a minimum of five (5) feet from the property lines.**
- 4. This structure must be converted to a single-family residence.**

Member Dehart SUPPORTED, and the motion carried with a roll call vote: (5 yes votes). Schillack/yes, Dehart/yes, Anderson/yes, Spencer/yes, Seiber/yes).

- B. Applicant: Jasdeep Dhariwal
2290 Kingston
White Lake, MI 48386
Location: **2290 Kingston**
White Lake, MI 48386 identified as 12-14-233-007
Request: The applicant seeks to build an elevated deck onto the rear of the existing single-family home, requiring a variance from Section 3.11.Q – Notes to District Standards.

Chairperson Spencer noted for the record that 24 owners within 300 feet were notified. 3 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Director O'Neil reviewed his report.

Kyle Gonzalez, representing the applicant, was present to speak on the case. He said the lot shape presented a hardship along with the topography of the lot. There is over 6' of fall between the stairs of the deck and the lakefront. He added the property owner did not work with the builder on the design of the home. He added it is a multi-generational household, and the proposed deck would be the main way for disabled/elderly family to enjoy the water. The aesthetics will improve on the lakeside and break up the masonry on that side of the home.

Member Seiber asked Mr. Gonzalez to confirm the height of the deck to the ground surface. Mr. Gonzalez said 9' to the bottom of the decking. Member Seiber asked what the surface of the ground floor would be. Mr. Gonzalez said concrete, and the proposed ground floor will not be as large as the current ground floor.

Chairperson Spencer opened the public hearing at 7:16 P.M. She read three letters in favor of the applicant's request into the record.

Chairperson Spencer closed the public hearing at 7:18 P.M.

Member Seiber stated he remembered the original ZBA case. He saw the applicant's issue with getting a deck on the property due to the lake orientation in relation to the house.

Member Anderson said the property being on sewer adds more reassurance when considering the applicant's requested variance.

Member Seiber stated in order for the applicant to comply with the ordinance, the resulting deck would be small and oddly shaped.

Member Schillack said he felt better knowing the neighbors were in support of the applicant's request, as he was concerned about the lake views being blocked.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Dehart said the orientation of the house in relation to the lake created a practical difficulty constructing a useable deck.
- B. Unique Situation
 - Member Seiber reiterated the house's orientation in relation to the lake made for a unique situation.
- C. Not Self-Created
 - The applicant did not construct the original house or plat the lot.
- D. Substantial Justice
 - Member Seiber said the neighbor to the west has the same encroachment with a covered deck and enjoys the same entertainment the applicant would.
- E. Minimum Variance Necessary

- Member Seiber said the lot's narrowness and the plans presented made for a minimum variance necessary .

It was MOVED by Member Anderson to approve the variance requested by Jasdeep Dhariwal from Section 3.11.Q of the Zoning Ordinance for Parcel Number 12-14-233-007, identified as 2290 Kingston, in order to construct an addition to the existing elevated deck. A variance from Section 3.11.Q is granted to allow for construction of said structure that will encroach 7.6 feet into the required 25 foot "natural features" setback. This approval has the following conditions:

- 1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division and the Oakland County Health Division.**
- 2. No mechanical units, including a HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.**
- 3. A foundation certificate shall be required prior to vertical construction.**
- 4. An as-built survey shall be required to verify the approved setback variance.**
- 5.**

Member Schillack SUPPORTED, and the motion carried with a roll call vote: (5 yes votes) (Anderson/yes, Schillack/yes, Seiber/yes, Spencer/yes, Dehart/yes).

- C. Applicant: Michelle Spencer
8200 Carpathian Drive
White Lake, MI 48386
Location: **Vacant – Lake Jason Drive**
White Lake, MI 48386 identified as 12-34-426-003
Request: The applicant seeks to construct a single-family home, on a vacant parcel, requiring a variance from Section 3.1.2.F – Minimum Front Yard Setback.

Chairperson Spencer noted for the record that 13 owners within 300 feet were notified. 3 letters were received in favor, 0 letters were received in opposition, and 0 letters were returned undeliverable from the U.S. Postal Service.

Director O'Neil reviewed his report.

Michelle Spencer, property owner, was present to speak on her case. She stated while the lot is rectangular in shape, the wetland encompasses most of it. Her main reason to use the T turn over the cul-de-sac is to be a better neighbor to the current adjacent neighbors, who have a paved road, and a cul-de-sac would encroach on said neighbor's driveway.

Member Dehart asked if there is a road maintenance agreement. Ms. Spencer said yes, it's more of a handshake agreement, and there is one other neighbor who uses the drive who maintains the road. She added she has met with the neighbors, and they have a good relationship.

Chairperson Spencer opened the public hearing at 7:34 P.M. Seeing none, she closed the public hearing at 7:34 P.M.

The ZBA discussed the standards from Article 7, Section 37 of the ClearZoning Ordinance:

- A. Practical Difficulty
 - Member Dehart said the wetland's and the location of neighbor's house made for a practical difficulty.
- B. Unique Situation
 - Member Seiber said the cul-de-sac easement and the wetlands made for a unique situation.
- C. Not Self-Created
 - It was not self created.
- D. Substantial Justice
 - Member Dehart said the neighbor's house was much closer to the road.
 - Member Schillack said the proposal would not adversely impact the neighbor.
- E. Minimum Variance Necessary
 - Member Dehart said the applicant requested the minimum variance necessary.

Member Seiber MOVED to approve the variance requested by Michelle Spencer from Section 3.1.2 of the Zoning Ordinance for Parcel Number 12-34-426-003, a vacant parcel on Lake Jason Drive, in order to build a new single-family residence. A variance from Section 3.1.2 is granted to allow for construction of said structure that will encroach 7.0 feet into the required front yard setback. This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division and the Oakland County Health Division.
2. No mechanical units, including an HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.
3. A foundation certificate shall be required prior to vertical construction.
4. An as-built survey shall be required to verify the approved setback variance.
5. A T-turn around must be constructed on site, as shown in the survey provided, to a standard that is consistent with the requirements of the Zoning Ordinance and acceptable to the Fire Department, prior to granting an occupancy permit.

**Member Dehart SUPPORTED and the motion carried with a roll vote: (5 votes).
(Seiber/yes, Dehart/yes, Anderson/yes, Spencer/yes, Schillack/yes).**

OTHER BUSINESS

None.

NEXT MEETING DATE: November 13, 2025

ADJOURNMENT

MOTION by Chairperson Spencer, seconded by Member Anderson to adjourn at 7:42 P.M. The motion carried with a voice vote: (5 yes).

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Sean O'Neil, Community Development Director
DATE: December 3, 2025



Agenda item: 8A

Appeal Date: December 11, 2025

Applicant: Ozysia Tkachuk

Address: 3320 Fox Blvd.
Commerce, MI 48382

Location: 9731 Portage Trail
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Property Description

The approximately 0.51-acre (22,162 square-foot) parcel identified as Parcel Number 12-26-177-017 is located on Portage Trail, in the Cedar Crest Sub No. 4, just south of Elizabeth Lake Road and west of Union Lake Road. The parcel is zoned R1-D (Single-Family Residential). The property, which is currently occupied by two sheds, will be served by a private septic and well.

Applicant's Proposal

Ozysia Tkachuk, the applicant, is proposing to construct a house with floor area less than the minimum living space requirement, as well as a 20'x 25' detached garage in place of one of the existing sheds on site.

Planner's Report

Article 3, Section 11.J of the zoning ordinance states the minimum floor area for a two-story single-family house is 1,500 square feet, with 900 square feet minimum on the ground floor. The proposed house is 699.65 square feet on the first floor, 699.65 square feet on the second floor, with total floor area of 1,399.3 square feet. A variance of 200.35 square feet is requested for the ground floor area, and a variance of 100.7 square feet is requested for the overall floor area. It should be noted that the property is currently non-conforming due to the fact that two accessory structures exist on the lot without a primary structure. The construction of a house will resolve that deficiency. Also, though smaller than allowed by ordinance, this proposed house will not be out of character with the existing houses in the area.

The applicant has not provided a statement outlining their proposal. They have not yet presented a practical difficulty associated with their request, or that any unique circumstances exist on the property. This should be discussed during the applicant's presentation at the meeting.

The requested variances are listed in the following table.

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Article 3.11.J	Minimum floor area	1,500 square feet, with 900 square feet min. on ground floor	200.35 square feet ground floor, 100.7 square feet overall	699.65 square feet ground floor, 1,399.3 square feet overall

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Ozysia Tkachuk from Article 3.11.J of the Zoning Ordinance for Parcel Number 12-26-177-017, identified as 9731 Portage Trail, in order to construct a single-family house with 699.65 square feet on the first floor and total floor area of 1,399.3 square feet. This approval will have the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
2. No mechanical units, including an HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.
3. An as-built survey shall be required to verify the approved building footprint.
4. All necessary permits from RCOC and the Oakland County Health Division will be obtained prior to the issuance of building permits.

Denial: I move to deny the variances requested by Ozysia Tkachuk for Parcel Number 12-26-177-017, identified as 9731 Portage Trail, due to the following reason(s):

Table: I move to table the variance requests of Ozysia Tkachuk for Parcel Number 12-26-177-017, identified as 9731 Portage Trail, to consider comments stated during this public hearing.

Attachments:

1. Variance application dated November 3, 2025.
2. Plot plan dated June 28, 2024 (Revised November 4, 2025).
3. Letter of denial from the Building Official dated September 25, 2025.
4. Residential Property Profile (Property Gateway) confirming ownership.

7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficulty results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.

- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

CHARTER TOWNSHIP OF WHITE LAKE
ZONING BOARD OF APPEALS APPLICATION

Item A.

RECEIVED

NOV 03 2025

BUILDING DEPARTMENT

Community Development Department, 7525 Highland Road,
White Lake, Michigan, 48383
(248) 698-3300 x5

APPLICANT'S NAME: Orysia Tkachuk PHONE: 3136552189

ADDRESS: 3320 Fox Blvd, Commerce Twp, MI 48382

APPLICANT'S EMAIL ADDRESS: LESACHOK @ gmail.com

APPLICANT'S INTEREST IN PROPERTY: ☒ OWNER ☐ BUILDER ☐ OTHER: _____

9731 Postage Trl
ADDRESS OF AFFECTED PROPERTY: White Lake, MI 48386 PARCEL # 12-26-177-017

CURRENT ZONING: R1-D PARCEL SIZE: 0.51

STATE REQUESTED VARIANCE AND ORDINANCE SECTION: _____

VALUE OF IMPROVEMENT: \$ _____ SEV OF EXISTING STRUCTURE: \$ _____

STATE REASONS TO SUPPORT REQUEST: (ATTACH WRITTEN STATEMENT TO APPLICATION)

APPLICATION FEE: \$440 (CALCULATED BY THE COMMUNITY DEVELOPMENT DEPARTMENT)

APPLICANT'S SIGNATURE: [Signature] DATE: 11/03/25



Charter Township of White Lake APPLICATION INSTRUCTIONS ZONING BOARD OF APPEALS

1. Please read these instructions carefully before submitting the attached application. Fill out the entire application in detail. If a portion is not applicable in your case, please mark "Not Applicable" or "N/A" on the application.
2. In addition to the attached application, you must submit the following:
 - a. **Proof of Ownership**
If you are not the property owner of record, a copy of the land contract, option to purchase, purchase agreement, lease agreement, or letter of authorization from the property owner must be presented with the application to indicate the applicant's interest in the subject property. In addition, a letter of no objection from the property owner may be required by Township staff.
 - b. **Plan or drawing – one copy**
Attach one copy of the plot plan of the subject property drawn to scale. The plan must depict the shape and dimension of the property, all existing and proposed structures and building-to-building and building to property line relationships.
 - c. **Certified Survey – one copy**
 - d. **Letter of denial from the Building Department**
The Building Department must have reviewed and formally denied your application for a building permit before a Z.B.A. application can be considered for processing.
3. The required filing fee is **\$440.00 for residential land uses** and **\$550.00 for non-residential land uses** and must be submitted with the application.
4. **All proposed additions must be staked and flagged.**
5. The attached application must be completely filled out and all documents, plans, other necessary information, and the application fee, as required, must be submitted before the application will be considered complete and accepted for processing. The application will then be placed on the next available Zoning Board of Appeals agenda.
6. You will be notified of the date and time that your request will be considered by the Zoning Board of Appeals (Z.B.A.). Please attend or have a representative attend if you cannot attend the scheduled meeting. All Z.B.A. meetings are held at the Township Annex, 7527 Highland Road, White Lake, Michigan.
7. Notification is given by mail to all property owners of record within 300 feet of the subject property at least 15 days prior to the meeting.
8. Information relative to the powers and duties of the Z.B.A. can be found in Article 7.36 of the White Lake Township Zoning Ordinance. To be granted a variance, an applicant must provide proof that a **practical difficulty** exists and the practical difficulty must relate to a unique circumstance of the property which prevents the applicant from reasonably using the property for a permitted use. Furthermore, no variance shall be granted unless all of the criteria found in Article 7.37 of the Zoning Ordinance have been met.

APPLICATION CHECKLIST:

- ☐ COMPLETED, SIGNED APPLICATION
- ☐ LETTER OF AUTHORIZATION FROM THE PROPERTY OWNER
- ☐ ONE COPY OF THE PLAN OR DRAWING (SEE ABOVE)
- ☐ ONE COPY OF THE CERTIFIED SURVEY (SEE ABOVE)
- ☐ LETTER OF DENIAL FROM BUILDING DEPARTMENT
- ☐ COPY OF BUILDING PERMIT APPLICATION
- ☐ APPLICATION FEE (see #3 above)

Please direct any questions to the White Lake Township Community Development Department at 248.698.3300 extension 5.

NOTE: ZONING BOARD OF APPEALS MEMBERS AND TOWNSHIP STAFF WILL LIKELY VISIT THE SITE PRIOR TO THE MEETING AS PART OF THEIR PREPARATION FOR EACH CASE.

PROJECT

9731 Portage Trl
White Lake, Michigan

CLIENT

Orysia Tkachuk
9731 Portage Trl
White Lake, Michigan
224-833-7550

SEAL



SHEET

BOUNDARY/
TOPOGRAPHICAL
SURVEY,
PLOT PLAN

PROJECT LOCATION

PARCEL #12-26-177-017



REVISIONS

11/04/2025 NEW SEPTIC FIELD

Date Description

Designed by: Drawn by:

A.M.B.

Approved by: Date:
D.S.W. 06-28-2024

Scale:

1" = 20'-0"

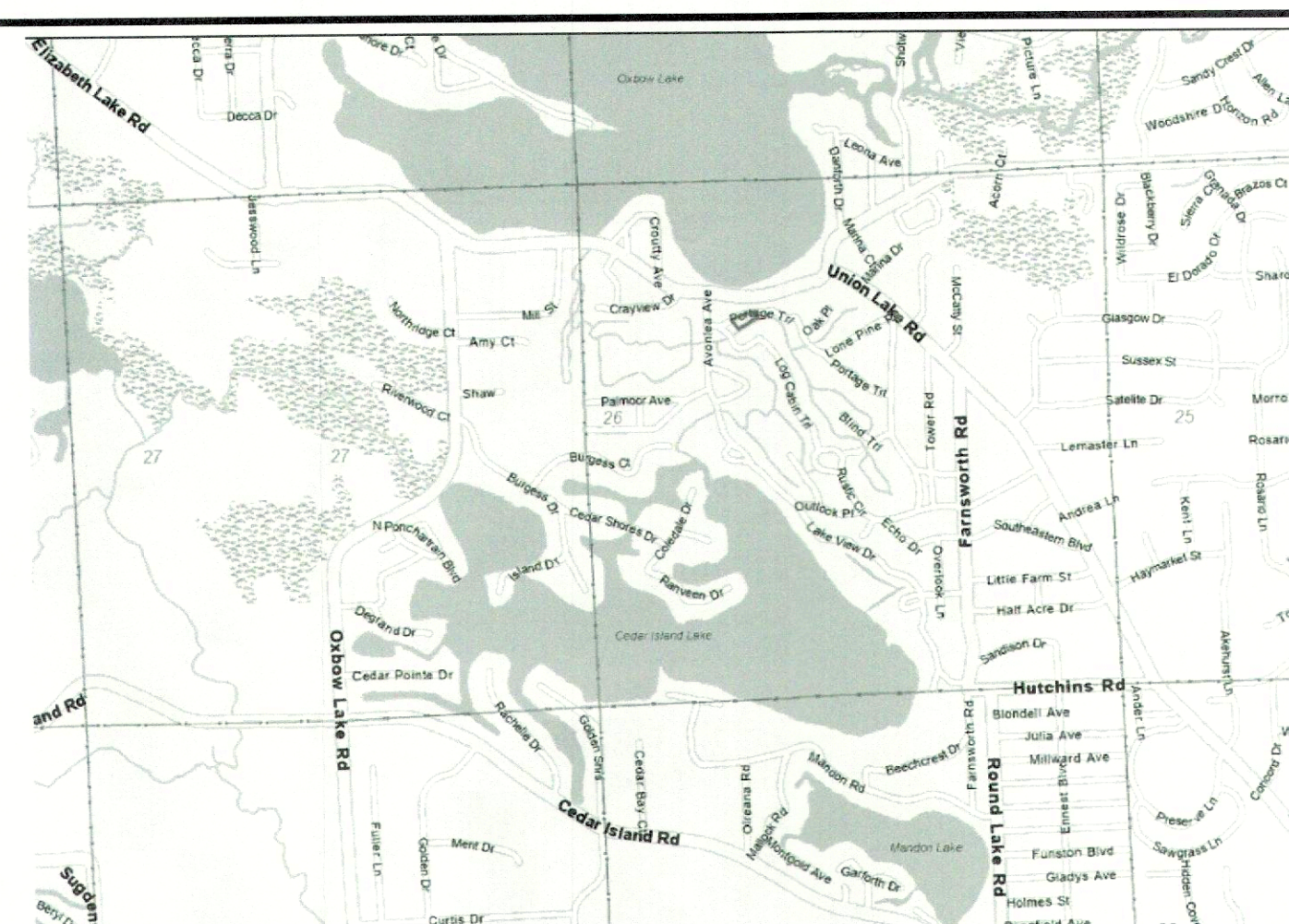
Job No.: Sheet:

24184

1

PLOT PLAN 9731 PORTAGE TRAIL

PART OF SECTION 26,
T3N, R8E, WHITE LAKE,
OAKLAND COUNTY, MICHIGAN
PARCEL #12-26-177-017



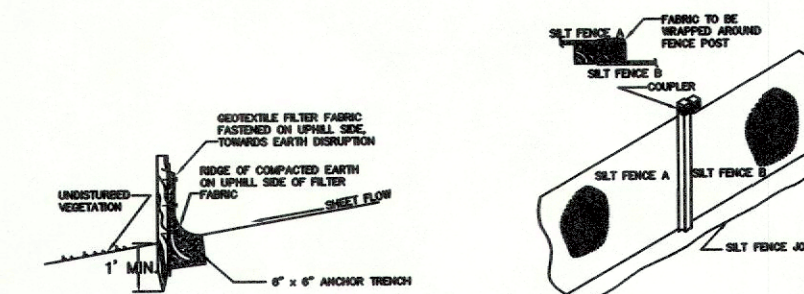
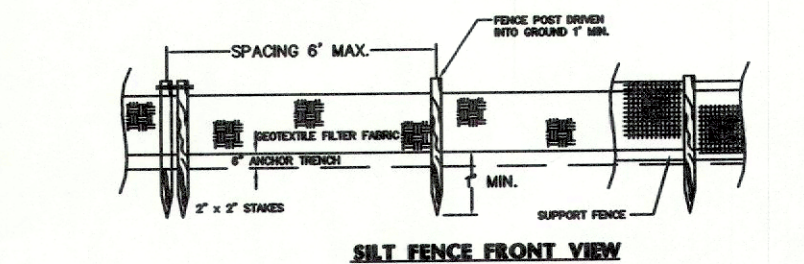
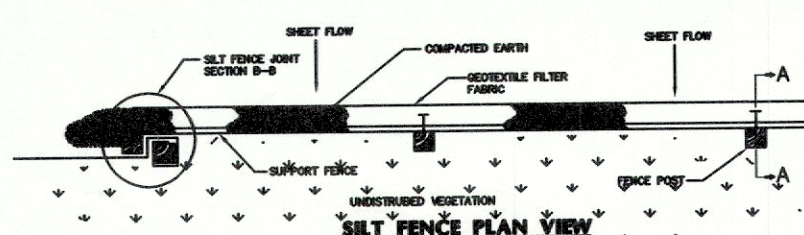
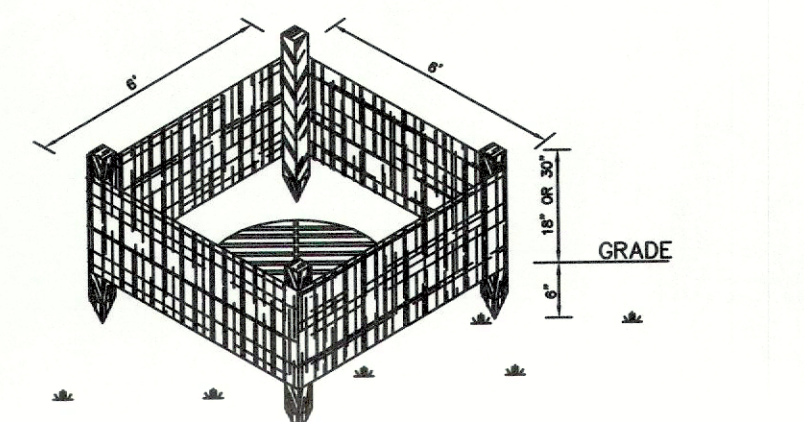
LOCATION MAP

NTS

SITE INFORMATION	
AREA:	0.51 ACRES (22,162.77 SQFT)
ZONING:	R1-D (SINGLE FAMILY RESIDENTIAL)
LOT COVERAGE:	MAXIMUM: 20.00% (4,432.55 SQFT) EXISTING: 1.83% (405.23 SQFT) PROPOSED: 6.84% (1,516.55 SQFT)
FRONT SETBACK:	30' MINIMUM
REAR SETBACK:	30' MINIMUM
SIDE SETBACKS:	10' MINIMUM (ONE SIDE) 20' MINIMUM (TOTAL BOTH SIDES)

EROSION CONTROL MEASURES & SEQUENCE OF CONSTRUCTION

1. INSTALL TEMPORARY SOIL EROSION CONTROL GEOTEXTILE FILTER CLOTH FENCE AS INDICATED ON PLAN AND AT ADDITIONAL AREAS AS NECESSARY
2. MAINTAIN A 15 FT. BUFFER OF VEGETATION WHERE POSSIBLE AROUND PERIMETER OF SITE.
3. INSTALL UTILITIES AND EXCAVATE BASEMENT. STOCKPILE DIRT AWAY FROM DRAINAGE AREAS.
4. BACKFILL BASEMENT, GRADE SITE AND REMOVE EXCESS DIRT FROM SITE IF NECESSARY.
5. CONSTRUCT HOUSE
6. INSTALL PAVEMENT AND FINAL GRADE THE LOT.
7. ESTABLISH VEGETATION AND LANDSCAPE. ALL DISTURBED AREAS NOT BUILT OR PAVED UPON
8. CLEAN PAVEMENT AND REMOVE ALL TEMPORARY EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS NECESSARY.
9. ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.
10. ALL EROSION CONTROL SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP



SILT FENCE SECTION A-A

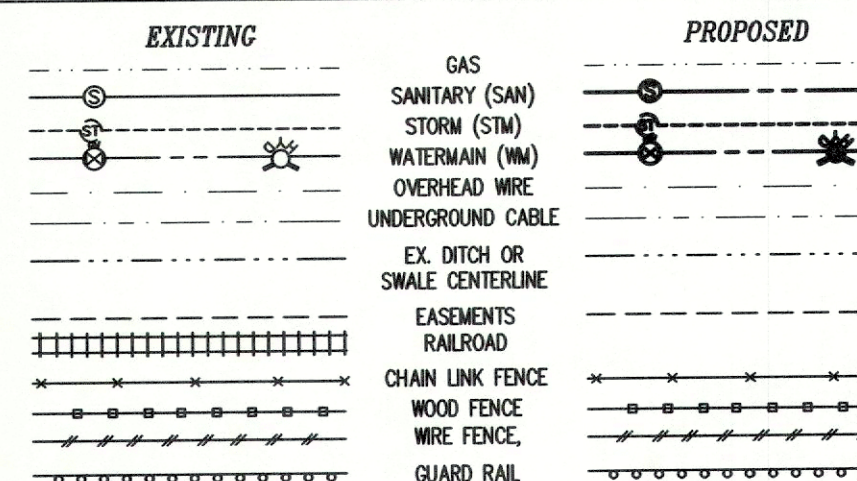
SILT FENCE SECTION B-B

NOT FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY
HOUSE DIMENSIONS TO BE VERIFIED BY OWNER AND/OR BUILDER BEFORE CONSTRUCTION.
THE PROPERTY DIMENSIONS AND UTILITY LOCATIONS SHOWN ARE ONLY APPROXIMATE
AND GATHERED FROM EXISTING RECORDS AVAILABLE. THERE IS NO GUARANTEE THEREOF.
CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND UTILITIES PRIOR TO START
OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER

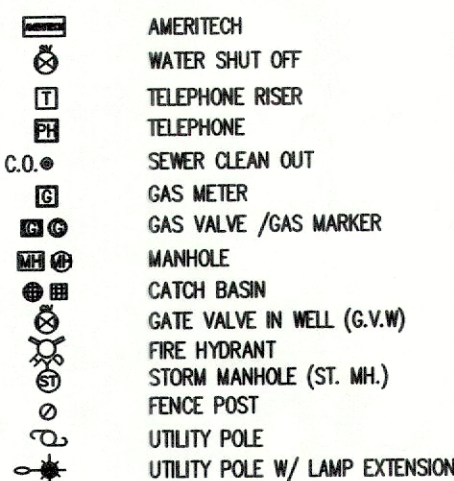
NOTE: ALL CONSTRUCTION SHALL CONFORM TO
THE CURRENT STANDARDS AND SPECIFICATIONS
OF ALL GOVERNING AGENCIES.

USER AGREES THAT PLAN IS SUBJECT
TO STANDARD, ASSE CONTRACT AND LIABILITY
AND IS LIMITED TO FEE

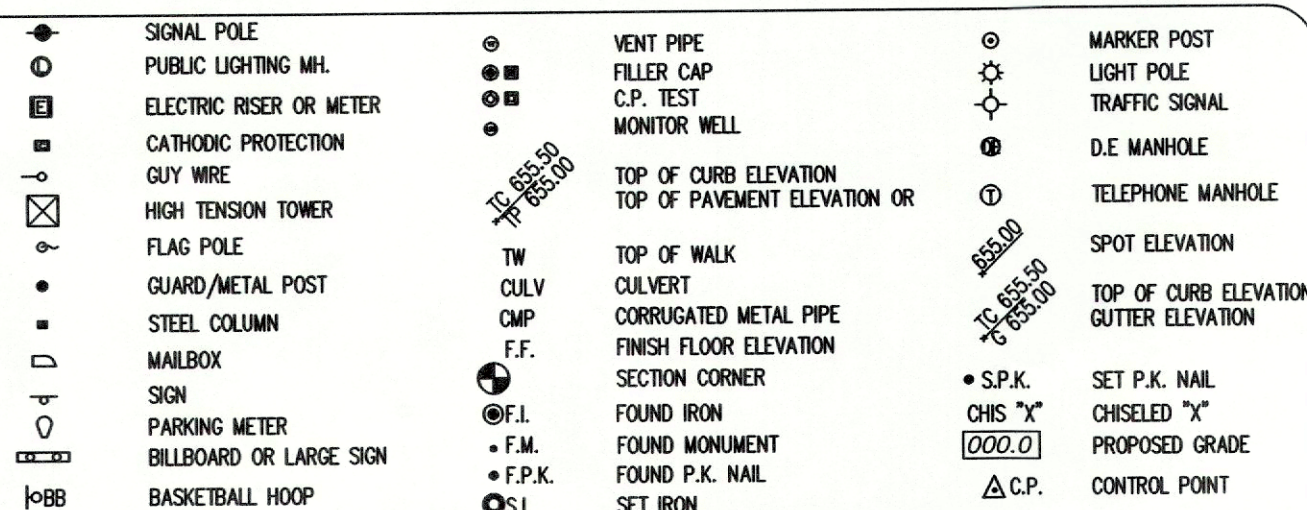
NOTE:
SILT FENCE LOCATION, INSTALLATION DETAILS AND TIMING SEQUENCE OF RE-ESTABLISHMENT OF
PERMANENT VEGETATION REQUIRED PRIOR TO FINAL BUILDING INSPECTION



LEGEND



CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
A SOIL EROSION CONTROL MEASURES												
B EXISTING HOUSE DEMO												
C HOUSE CONSTRUCTION												
D DRIVEWAY & SIDEWALK CONSTRUCTION												
E FINAL GRADING												



LEGAL DESCRIPTION OF RECORD

A PARCEL OF LAND LOCATED IN AND BEING PART OF A SUBDIVISION OF PART OF SECTION 26, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AND DESCRIBED AS FOLLOWS:
LOTS 645 THROUGH 650 OF CEDAR CREST SUBDIVISION NO. 4* (L35 PLATS P38 O.C.R.) CONTAINING 0.51 ACRES OF LAND RESERVING ALL RIGHTS, EASEMENTS AND RESTRICTIONS OF RECORD

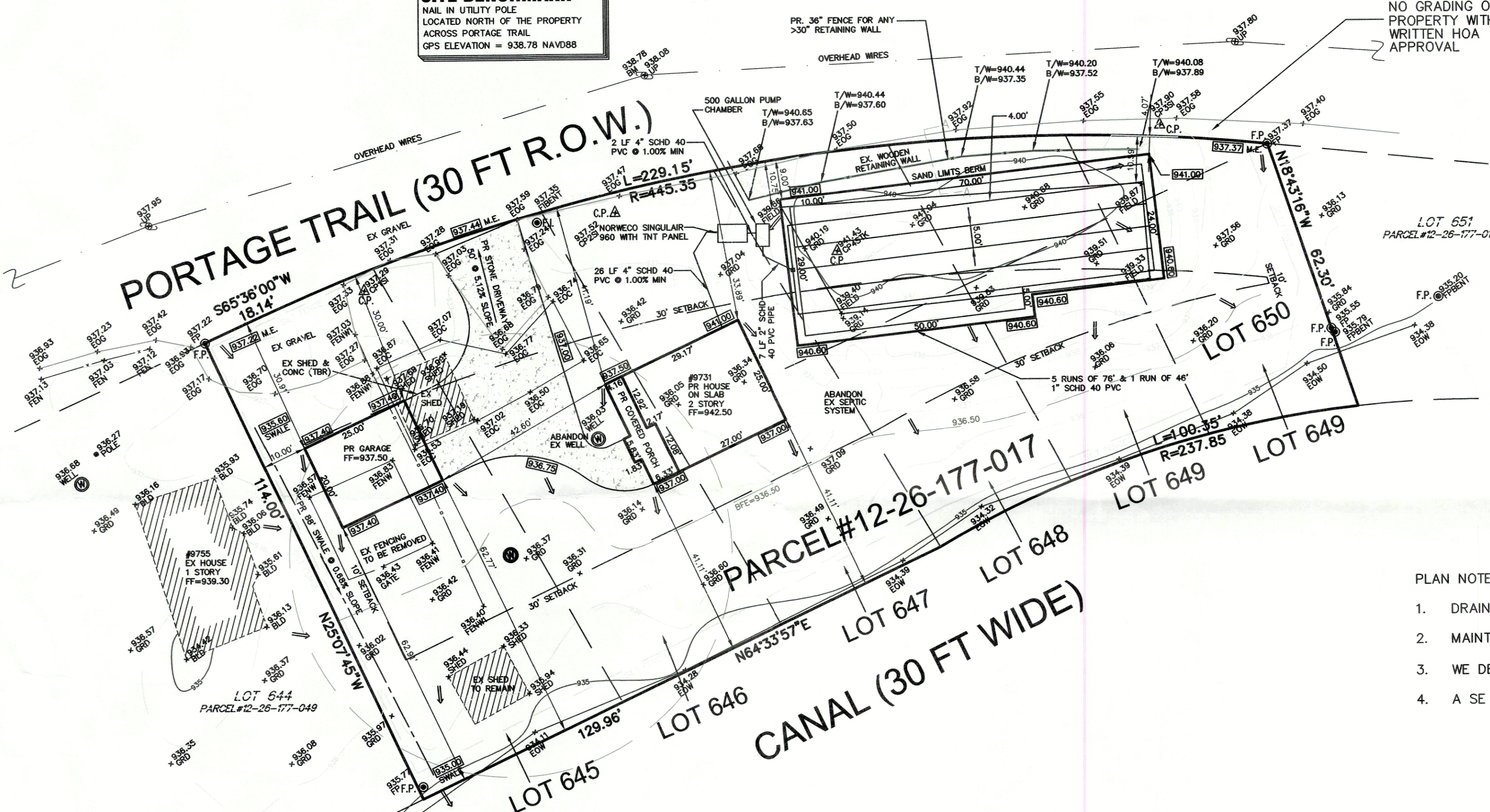
USER AGREES THAT PLAN IS SUBJECT
TO STANDARD ASSE CONTRACT AND LIABILITY
AND IS LIMITED TO FEE

BENCHMARK

NAIL IN UTILITY POLE
LOCATED NORTH OF THE PROPERTY
ACROSS PORTAGE TRAIL
GPS ELEVATION = 938.78 NAVD88

SITE BENCHMARK

NAIL IN UTILITY POLE
LOCATED NORTH OF THE PROPERTY
ACROSS PORTAGE TRAIL
GPS ELEVATION = 938.78 NAVD88



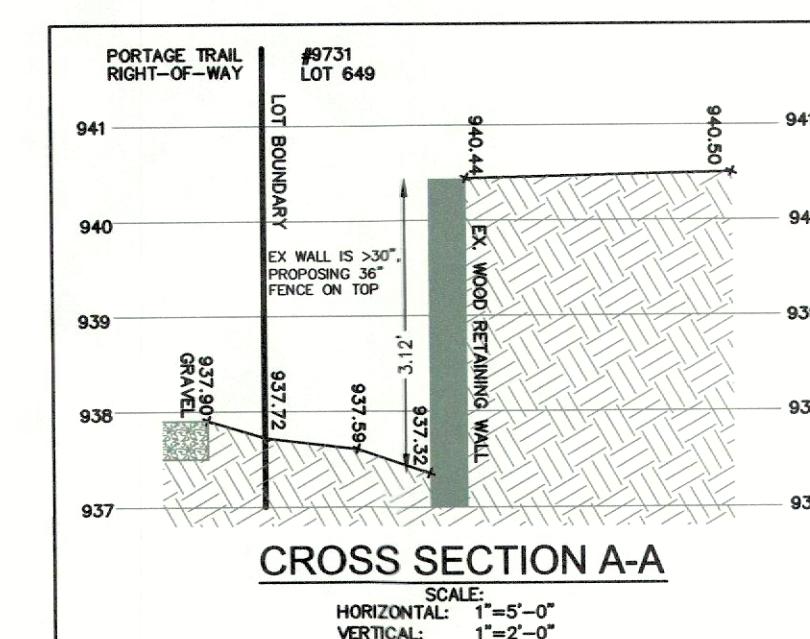
PLAN NOTES:

1. DRAINAGE ON THIS PROPERTY CANNOT AFFECT ADJACENT PROPERTIES
2. MAINTAIN POSITIVE DRAINAGE ON SITE AND AWAY FROM PROPOSED STRUCTURES
3. WE DEFER TO TCOC FOR ROW PERMIT/WORK REQUIREMENTS
4. A SE PERMIT WILL BE REQUIRED FROM OCWRC

NOTE: THE PROPOSED SEPTIC FIELD WILL
REPLACE THE EXISTING ABANDONED SEPTIC FIELD

NOTE: SEE POWELL ENGINEERING SEPTIC
PLANS FOR SEPTIC NOTES AND DETAILS

BASE FLOOD ELEVATION = 936.50
FLOOD MAP # 26125C0338F, EFFECTIVE
ON 9/29/2006



NOTE: THE PROPOSED SEPTIC FIELD WILL
REPLACE THE EXISTING ABANDONED SEPTIC FIELD

NOTE: SEE POWELL ENGINEERING SEPTIC
PLANS FOR SEPTIC NOTES AND DETAILS

BASE FLOOD ELEVATION = 936.50
FLOOD MAP # 26125C0338F, EFFECTIVE
ON 9/29/2006

NOTE:
IF NO WAY SHALL SURFACE RUNOFF BE DIRECTED SO AS TO ADVERSELY IMPACT ADJACENT PROPERTIES
WITH A FLOODING CONDITION. THE GRADING PLAN SHOULD CONTINUE AS FAR AS A STORM SEWER OUTLET
OR OTHER NATURAL OUTLET POINT OF DISCHARGE TO ASSURE PROPER CONTROL OF SURFACE RUNOFF.
SURFACE RUNOFF SHALL BE DIVERTED TO AN APPROVED POINT OF COLLECTION SO AS NOT TO CREATE
A FLOODING CONDITION.

NOTE:
ALL CONSTRUCTION SITES ARE REQUIRED TO BE MAINTAINED IN A SAFE CONDITION AND TO BE PROTECTED
FROM UNAUTHORIZED ENTRY. ALL EXCAVATIONS EXCEEDING 24 INCHES IN DEPTH, SUCH AS FOR
BASEMENTS, GRAM SPACES, POOLS, AND SPAS MUST BE SECURED THROUGH THE USE OF A 4' HIGH
FENCE. CONSTRUCTION TYPE FENCING WILL BE ALLOWED FOR A PERIOD NOT TO EXCEED 30 DAYS. AT
SUCH TIME, SHOULD THE PERMITTED WORK STILL PHYSICALLY BE UNABLE TO BE PROTECTED AND
SECURED, A CHAIN LINK FENCE IS REQUIRED TO BE INSTALLED AND MUST REMAIN IN PLACE UNTIL ITS
REMOVAL HAS BEEN AUTHORIZED BY THE BUILDING OFFICIAL. 2009 MRC-R 104.1 & 2009
MRC-CHAPTER 33

SOIL EROSION NOTES	TOTAL DISTURBED AREA 0.51 ACRES OF LAND
1. INSTALL EROSION CONTROL	LIMITS OF EARTH DISRUPTION WILL BE CONTAINED ON SITE TO ACHIEVE POSITIVE DRAINAGE PER MASTER GRADE PLAN ON FILE
2. ALL SOIL EROSION MEASURES MUST BE IN PLACE PRIOR TO ANY EARTH MOVEMENT	SOIL TYPE PER COUNTY SOIL MAP IS: 27 - HOUGHTON AND ADRIAN MUCKS
3. COMPLETE ALL EARTH MOVEMENTS 4. RIGHT OF WAY MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.	SOIL EROSION CONTROL MEASURES WILL BE MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT
5. ALL SWALE AREAS, ALL SLOPES GREATER THAN 1:5 AND AROUND STORM STRUCTURES MUST BE STABILIZED PRIOR TO FINAL GRADE INSPECTION.	TYPE OF PERMANENT VEGETATIVE RESTORATION WILL BE SEED & MULCH OR SOO
6. AFTER FINAL EARTH STABILIZATION IS COMPLETE REMOVE EROSION CONTROL MEASURES	

PLOT PLAN

9731 PORTAGE TRAIL

PART OF SECTION 26,
T3N, R8E, WHITE LAKE,
OAKLAND COUNTY, MICHIGAN
PARCEL #12-26-177-017

SITE INFORMATION

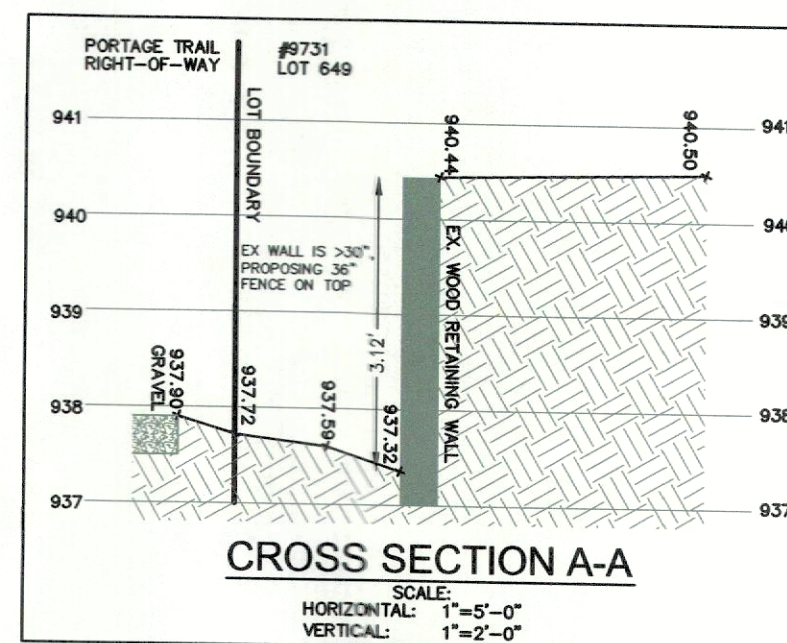
AREA:	0.51 ACRES (22,162.77 SQFT)
ZONING:	R1-D (SINGLE FAMILY RESIDENTIAL)
LOT COVERAGE:	MAXIMUM: 20.00% (4,432.55 SQFT) EXISTING: 1.83% (405.23 SQFT) PROPOSED: 6.84% (1,516.55 SQFT)
FRONT SETBACK:	30' MINIMUM
REAR SETBACK:	30' MINIMUM
SIDE SETBACKS:	10' MINIMUM (ONE SIDE) 20' MINIMUM (TOTAL BOTH SIDES)

SITE BENCHMARK

NAIL IN UTILITY POLE
LOCATED NORTH OF THE PROPERTY
ACROSS PORTAGE TRAIL
GPS ELEVATION = 938.78 NAVD88

LOCATION MAP

NTS



NOTE: THE PROPOSED SEPTIC FIELD WILL
REPLACE THE EXISTING ABANDONED SEPTIC FIELD

NOTE: SEE POWELL ENGINEERING SEPTIC
PLANS FOR SEPTIC NOTES AND DETAILS

BASE FLOOD ELEVATION = 936.50
FLOOD MAP # 26125C0338F, EFFECTIVE
ON 9/29/2006

PLAN NOTES:

1. DRAINAGE ON THIS PROPERTY CANNOT AFFECT ADJACENT PROPERTIES
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3. WE DEFER TO TOC FOR ROW PERMIT/WORK REQUIREMENTS
4. A SE PERMIT WILL BE REQUIRED FROM OCWR

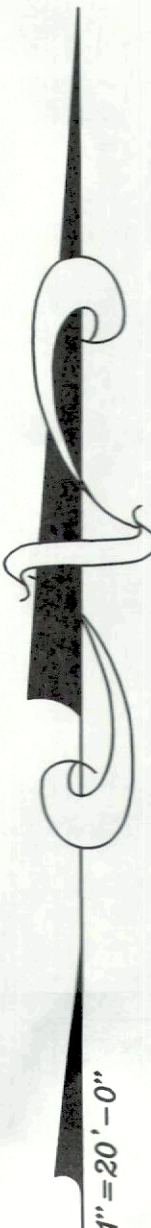
LEGAL DESCRIPTION OF RECORD

A PARCEL OF LAND LOCATED IN AND BEING PART OF A SUBDIVISION OF PART OF SECTION 26, TOWNSHIP 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN AND DESCRIBED AS FOLLOWS:
LOTS 645 THROUGH 650 OF "CEDAR CREST SUBDIVISION NO. 4" (L35 PLATS P38 O.C.R.) CONTAINING 0.51 ACRES OF LAND RESERVING ALL RIGHTS, EASEMENTS AND RESTRICTIONS OF RECORD

USER AGREES THAT PLAN IS SUBJECT
TO STANDARD ASCE CONTRACT AND LIABILITY
AND IS LIMITED TO FEE

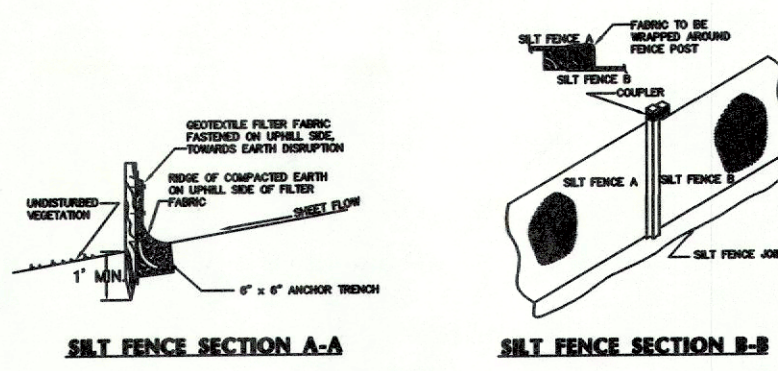
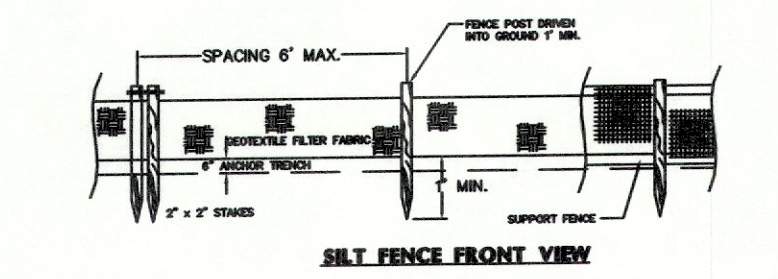
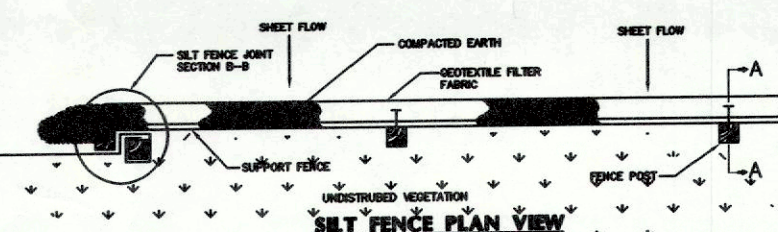
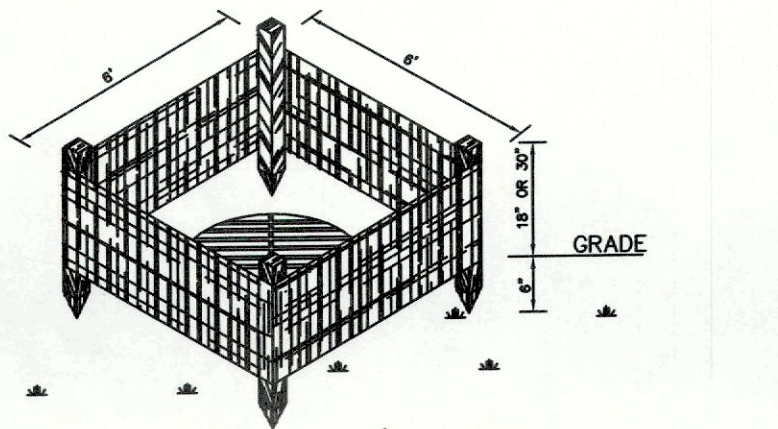
BENCHMARK

NAIL IN UTILITY POLE
LOCATED NORTH OF THE PROPERTY
ACROSS PORTAGE TRAIL
GPS ELEVATION = 938.78 NAVD88



EROSION CONTROL MEASURES & SEQUENCE OF CONSTRUCTION

1. INSTALL TEMPORARY SOIL EROSION CONTROL GEOTEXTILE FILTER CLOTH FENCE AS INDICATED ON PLAN AND AT ADDITIONAL AREAS AS NECESSARY
2. MAINTAIN A 15 FT. BUFFER OF VEGETATION WHERE POSSIBLE AROUND PERIMETER OF SITE.
3. INSTALL UTILITIES AND EXCAVATE BASEMENT. STOCKPILE DIRT AWAY FROM DRAINAGE AREAS.
4. BACKFILL BASEMENT, GRADE SITE AND REMOVE EXCESS DIRT FROM SITE IF NECESSARY.
5. CONSTRUCT HOUSE
6. INSTALL PAVEMENT AND FINAL GRADE THE LOT.
7. ESTABLISH VEGETATION AND LANDSCAPE ALL DISTURBED AREAS NOT BUILT OR PAVED UPON
8. CLEAN PAVEMENT AND REMOVE ALL TEMPORARY EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS NECESSARY.
9. ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.
10. ALL EROSION CONTROL SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP



NOT FOR CONSTRUCTION UNLESS APPROVED BY MUNICIPALITY
HOUSE DIMENSIONS TO BE VERIFIED BY OWNER AND/OR BUILDER BEFORE CONSTRUCTION.

THE PROPERTY DIMENSIONS AND UTILITY LOCATIONS SHOWN ARE ONLY APPROXIMATE
AND GATHERED FROM EXISTING RECORDS AVAILABLE. THERE IS NO GUARANTEE THEREOF.
CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND UTILITIES PRIOR TO START
OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO OWNER AND/OR ENGINEER

NOTE: ALL CONSTRUCTION SHALL CONFORM TO
THE CURRENT STANDARDS AND SPECIFICATIONS
OF ALL GOVERNING AGENCIES.

USER AGREES THAT PLAN IS SUBJECT
TO STANDARD ASCE CONTRACT AND LIABILITY
AND IS LIMITED TO FEE

NOTE: SEPTIC FIELD LOCATION, INSTALLATION DETAILS AND TIMING SEQUENCE OF RE-ESTABLISHMENT OF
PERMANENT VEGETATION PRIOR TO FINAL BUILDING INSPECTION

EXISTING	PROPOSED

LEGEND

	AMERITECH
	WATER SHUT OFF
	TELEPHONE RISER
	SEWER CLEAN OUT
	GAS METER
	GAS VALVE / GAS MARKER
	MANHOLE
	CATCH BASIN
	GATE VALVE IN WELL (G.V.W.)
	FIRE HYDRANT
	STORM MANHOLE (STM.H.)
	FENCE POST
	UTILITY POLE
	UTILITY POLE W/ LAMP EXTENSION

	SIGNAL POLE
	PUBLIC LIGHTING M.H.
	ELECTRIC RISER OR METER
	CATHODIC PROTECTION
	GUY WIRE
	HIGH TENSION TOWER
	FLAG POLE
	GUARD/METAL POST
	STEEL COLUMN
	MAILBOX
	SGN
	FOUND MONUMENT
	FOUND P.K. NAIL
	SET IRON

	VENT PIPE
	FILTER CAP
	C.P. TEST
	MONITOR WELL
	TOP OF CURB ELEVATION
	TOP OF PAVEMENT ELEVATION OR
	TOP OF WALK
	CULVERT
	CORRUGATED METAL PIPE
	FINISH FLOOR ELEVATION
	SECTION CORNER
	FOUND IRON
	FOUND MONUMENT
	FOUND P.K. NAIL
	SET IRON

	MARKER POST
	LIGHT POLE
	TRAFFIC SIGNAL
	D.E. MANHOLE
	TELEPHONE MANHOLE
	SPOT ELEVATION
	TOP OF CURB ELEVATION
	TOP OF PAVEMENT ELEVATION OR
	TOP OF WALK
	CULVERT
	CORRUGATED METAL PIPE
	FINISH FLOOR ELEVATION
	SECTION CORNER
	FOUND IRON
	FOUND MONUMENT
	FOUND P.K. NAIL
	SET IRON

USER AGREES THAT PLAN IS SUBJECT
TO STANDARD ASCE CONTRACT AND LIABILITY
AND IS LIMITED TO FEE

LAND
DEVELOPMENT
SERVICES
of Michigan L.L.C.

Civil, Construction Management
& Surveying Services

Land Development Services
of Michigan LLC
57200 Silver Maple
Washington, MI 48094
P: 586.854.7310
E: David@LDSofMichigan.com

PROJECT

9731 Portage Trl
White Lake, Michigan

CLIENT

Orysia Tkachuk
9731 Portage Trl
White Lake, Michigan
224-833-7550

SEAL



SHEET

BOUNDARY/
TOPOGRAPHICAL
SURVEY,
PLOT PLAN

PROJECT LOCATION

PARCEL #12-26-177-017

811

Know what's below
Call before you dig.

REVISIONS

Date	Description
11/04/2025	NEW SEPTIC FIELD

Designed by: Drawn by:

A.M.B.

Approved by: Date:

D.S.W. 06-28-2024

Scale:

1" = 20'-0"

Job No.: Sheet:

24184

Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Liz Fessler Smith
Andrea C. Voorheis
Michael Powell

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

September 25, 2025

Ozysia Tkachuk
3328 Jay St
Wixom, MI 48393

Re: Proposed Residential Construction at 9731 Portage Trail

Based on the submitted plans, the proposed reconstruction of the residential structure does not satisfy the White Lake Township Clear Zoning Ordinance.

Article 3.11 (J)(iii) of the White Lake Township Clear Zoning Ordinance requires: Minimum floor area of a single-family two-story home to be a minimum of 1,500 sq ft total and 900 sq ft on the ground floor.

Based on the submitted building plans the proposed two-story residential structure will have an area of 699.65 sq ft on the ground floor and 699.65 sq ft on the second floor for a total of 1,399.3 sq ft. The ground floor is deficient by 200.35 sq ft and total area of the structure is deficient by 100.7 sq ft.

Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the November 13th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than October 16th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

9731 PORTAGE TRL WHITE LAKE MI 48386-2771

beds / full baths / half baths / sq ft



Item A.

Residential Property Profile

12-26-177-017

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s) : ORYSIA TKACHUK
Postal Address : 9731 PORTAGE TRL WHITE LAKE MI 48386-2771

Location Information

Site Address : 9731 PORTAGE TRL WHITE LAKE MI 48386-2771
PIN : 12-26-177-017 Neighborhood Code : 26E
Municipality : Charter Township of White Lake
School District : 63290 WALLED LAKE CONS SCH DIST
Class Code : 402 Residential - Vacant

Property Description

T3N, R8E, SEC 26 CEDAR CREST SUB NO 4 LOTS 645 TO 650 INCL 4-5-91 FR 005, 014 & 015

Split/Combination Information

Added Status : Added Parcel
Added Date : 04/22/1991 Added From : FR 005, 014 & 015

Most Recent Sale Since 1994

Date : 08/25/2022
Amount : \$51,000 Liber : 58126:588
Grantor : JOHN GRAHAM INC Grantee : TKACHUK, ORYSIA

Next Most Recent Sale

Date : 07/21/2022
Amount : \$20,000 Liber : 58032:373
Grantor : J T GENTRY INC Grantee : JOHN GRAHAM INC

beds / full baths / half baths / sq ft

Residential Property Profile

12-26-177-017

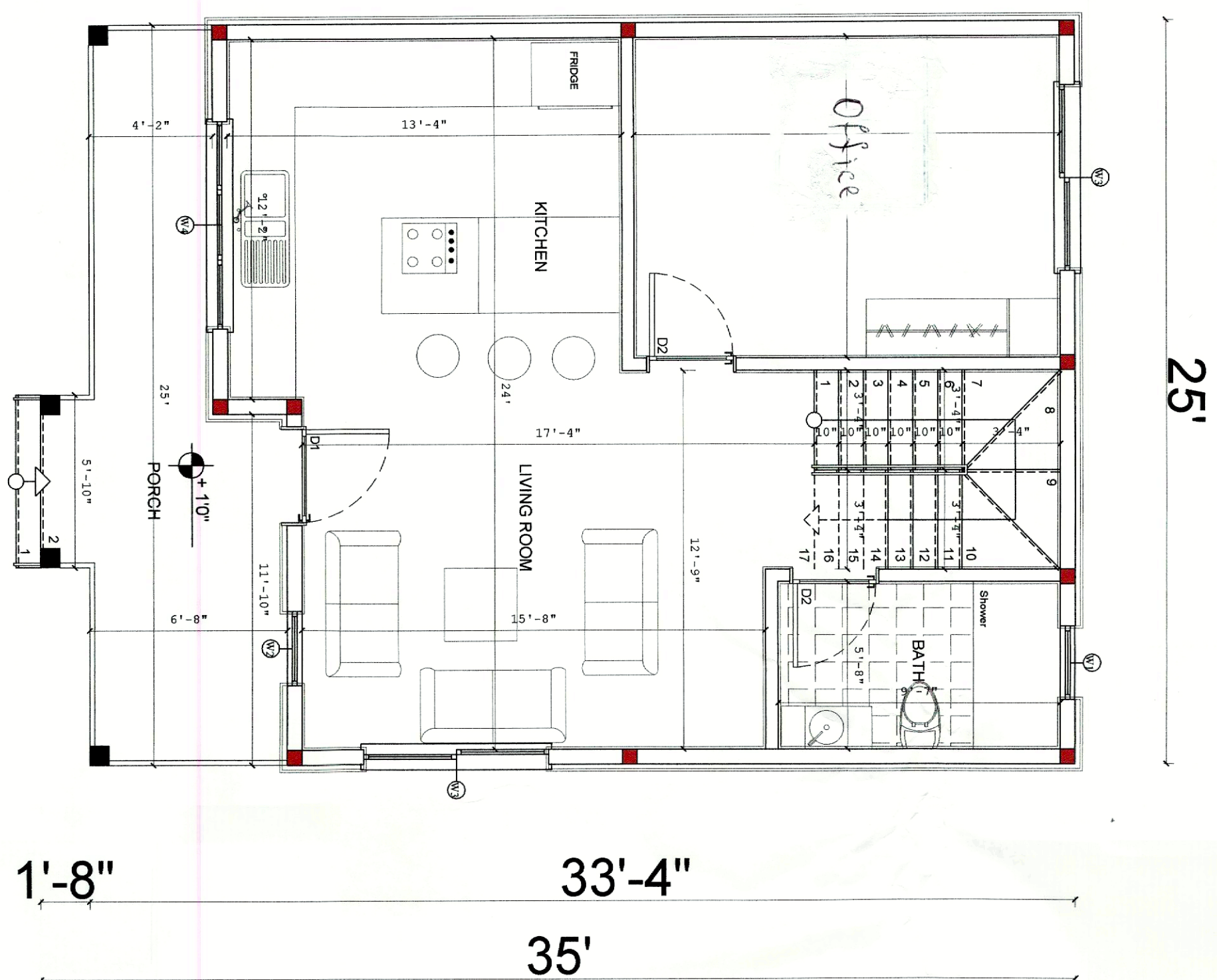
Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Tax Information

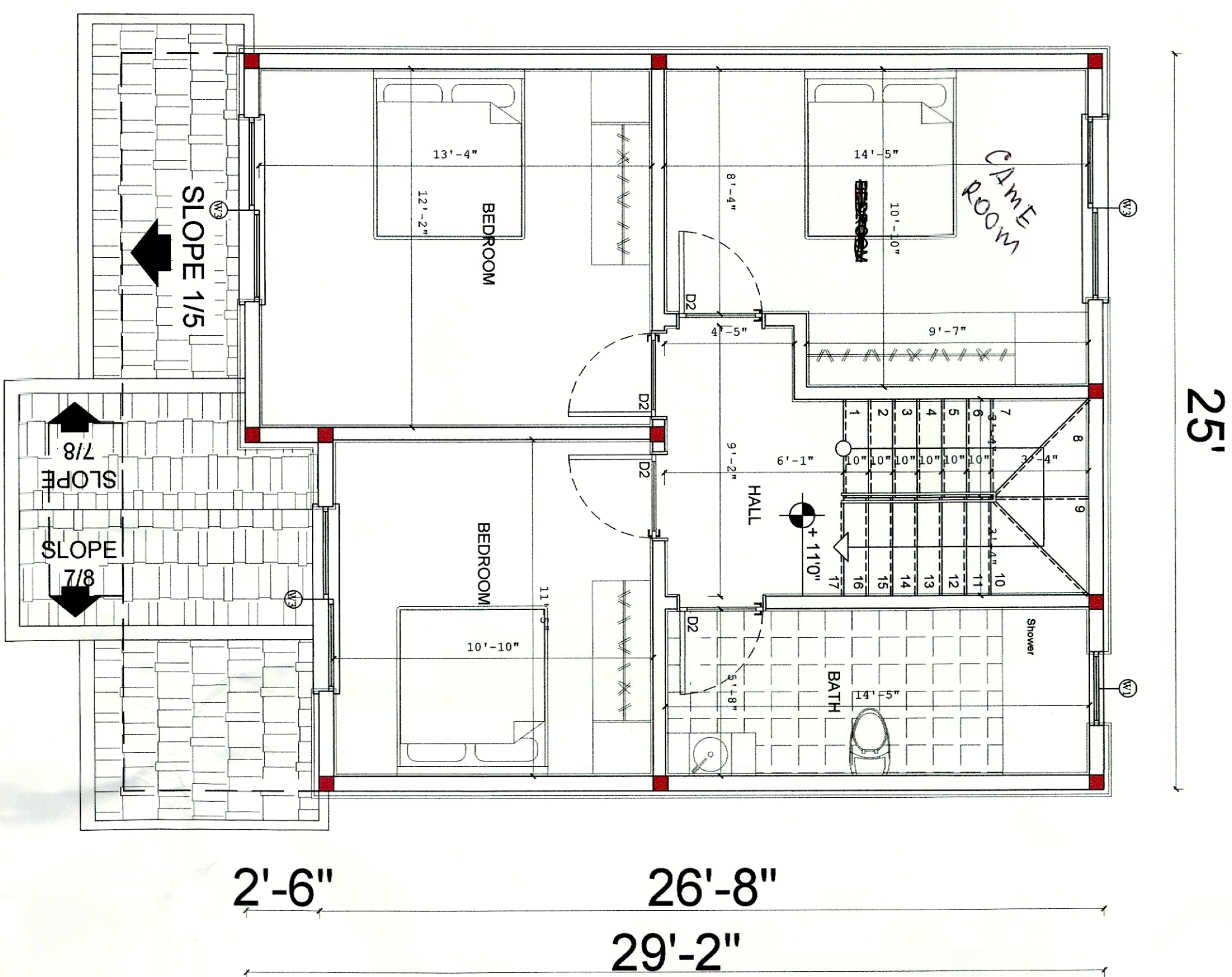
Taxable Value	: \$17,970	State Equalized Value	: \$17,970
Current Assessed Value	: \$17,970	Capped Value	: \$18,550
Effective Date For Taxes	: 12/01/2025	Principal Residence Exemption Type	: N/A
Summer Principal Residence Exemption Percent	: 100%	Winter Principal Residence Exemption Percent	: 100%
2023 Taxes		2024 Taxes	
Summer	: \$376.57	Summer	: \$350.05
Winter	: \$451.47	Winter	: \$250.30
Village	:	Village	:

Lot Information

Description	: LEVEL	Area	: 0.516 ACRES
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Ground Floor Plan with Furniture



Second Floor Plan with Furniture

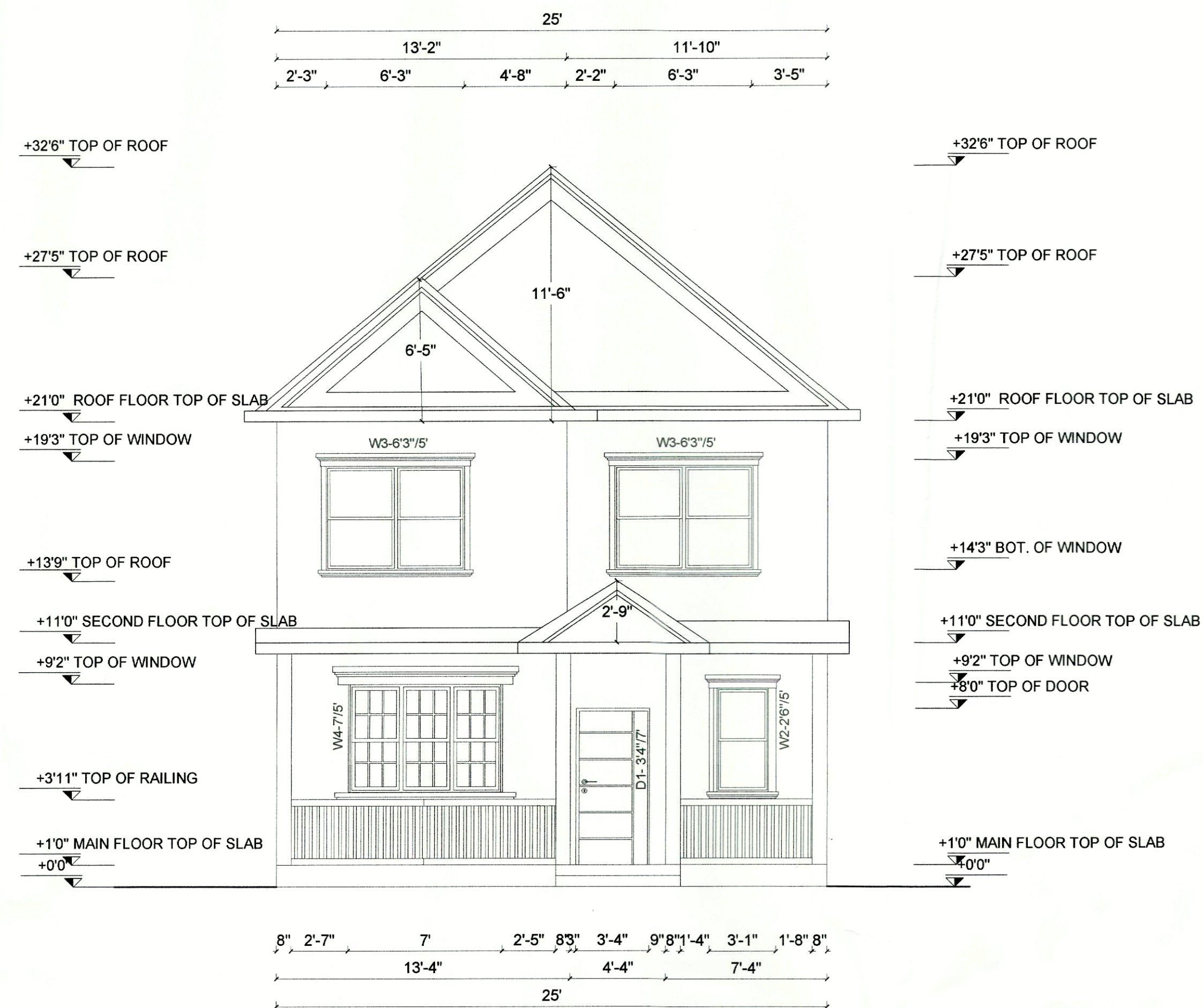
PL

HOUSE PLAN
T-36

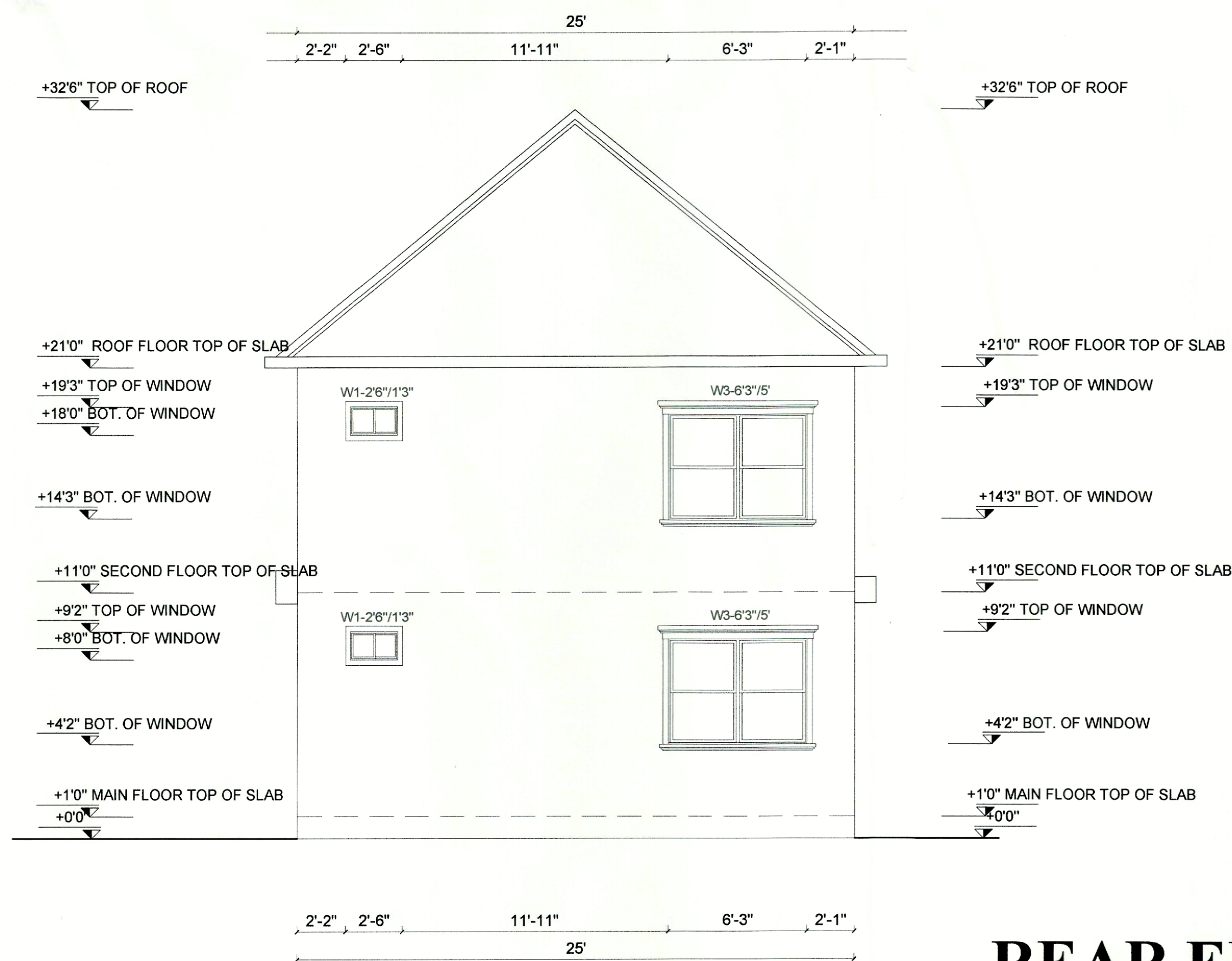
Intellectual property of this
drawings and models have
architect
Hasan Irgin and Deniz Irgin

Floor Plan
With
Furniture

1



FRONT ELEVATION



REAR ELEVATION

PL

HOUSE PLAN
T-36

Intellectual property of this
drawings and models have
architect
Hasan Irgin and Deniz Irgin

ELEVATIONS

10

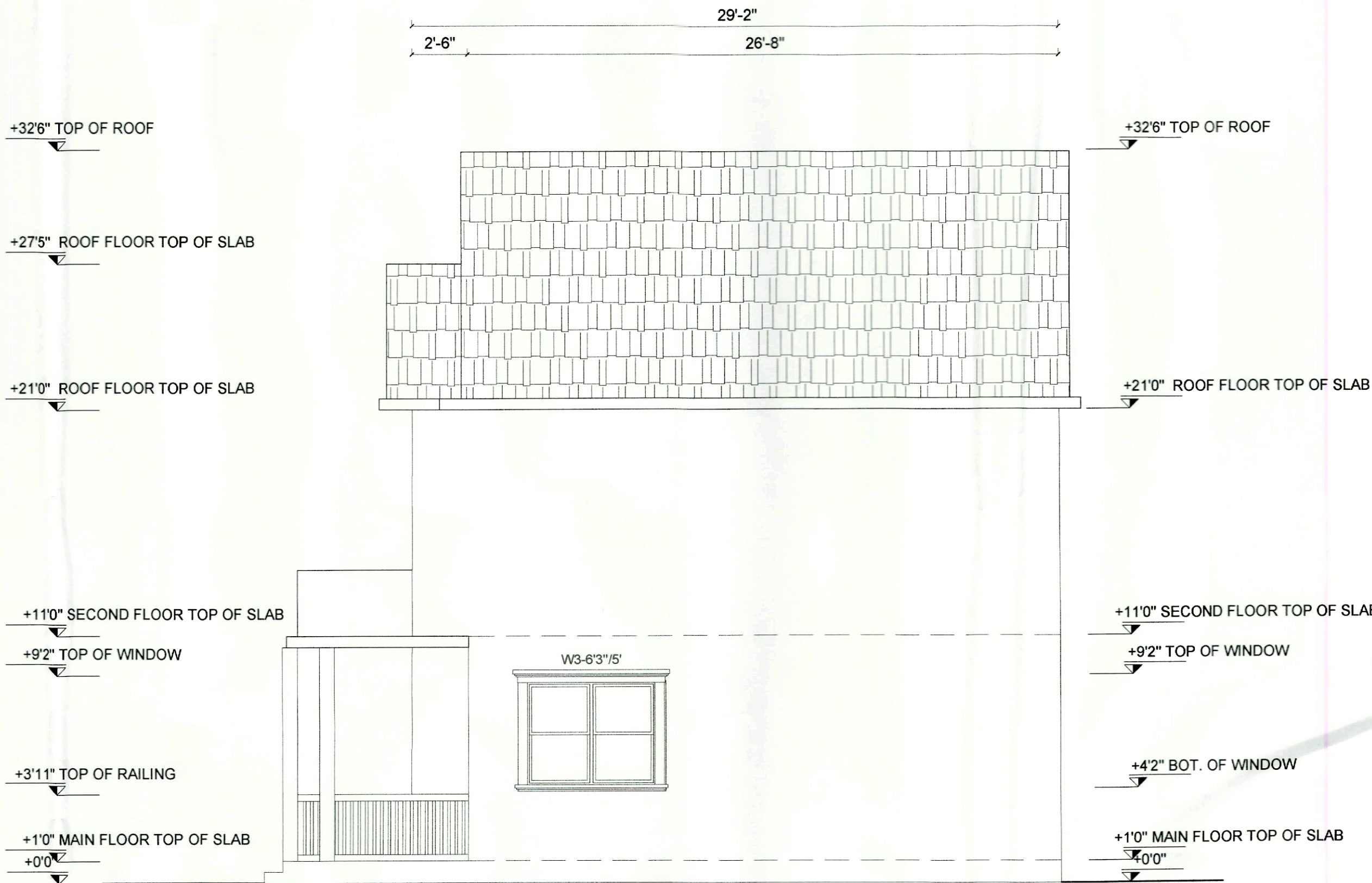
PL

HOUSE PLAN
T-36

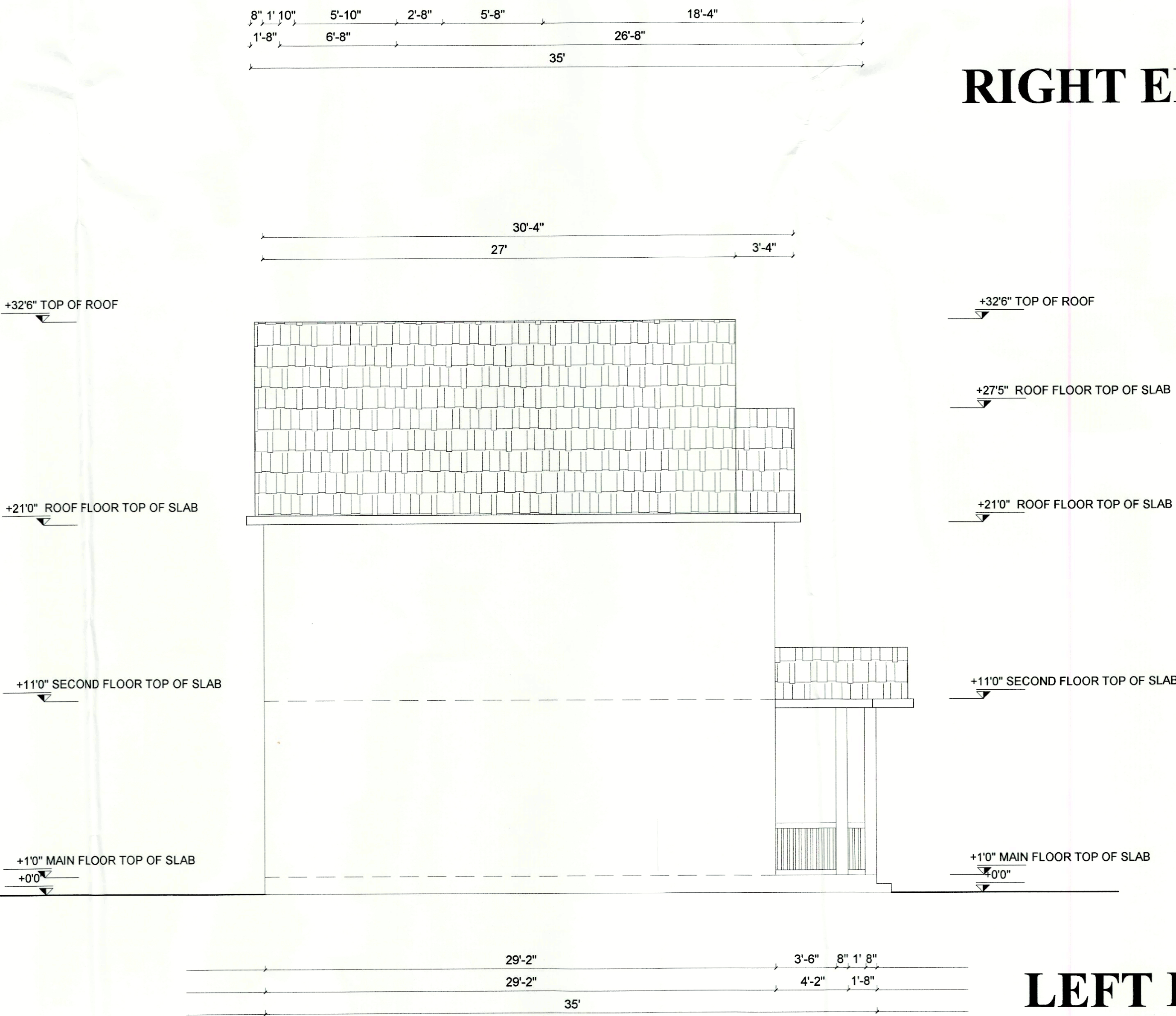
Intellectual property of this
drawings and models have
architect
Hasan Irgin and Deniz Irgin

ELEVATIONS

11



RIGHT ELEVATION



LEFT ELEVATION

WHITE LAKE TOWNSHIP ZONING BOARD OF APPEALS

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Zoning Board of Appeals
FROM: Sean O'Neil, Community Development Director
DATE: December 11, 2025



Agenda item: 8B

Appeal Date: December 11, 2025

Applicant: Gregg Matthews

Address: 2103 Hampton Street
White Lake, MI 48386

Location: 2103 Hampton Street
White Lake, MI 48386

Zoning: R1-D Single Family Residential

Property Description

The approximately 0.24-acre (10,412 square-foot) parcel identified as Parcel Number 12-14-279-003 is located on Hampton Street, in the English Villas Sub, north of Pontiac Lake Road. This Pontiac Lake waterfront parcel is zoned R1-D (Single-Family Residential). The property, which is currently occupied by house and a shed, is served by a private septic and municipal sewer.

Applicant's Proposal

The Applicant is proposing to demolish the existing house and shed, in order to build a new house that would result in a front yard setback of 17.2 feet, a side yard setback of 8.1 feet (on the north side), on a parcel that is 1,588 sqft below the minimum lot area requirement.

Planner's Report

This applicant's R1-D zoned parcel meets the minimum lot width (at 80 feet) but is substandard, as mentioned, by 1,588 sqft in the minimum lot area required. The proposed new house has a covered porch that is 17.2 feet from the edge of the Hampton Street road right of way and is approximately 19 feet from the traveled portion of the road, at its closest point. The new garage setback (and driveway length) is proposed to be approximately 26 feet from the traveled portion of Hampton Street at its closest point. It should be noted that this lot is located at the end of a dead-end street and has a minimal amount of traffic passing in front of it. Additionally, while the adjacent property setbacks were not presented, it should be noted that the proposed house would be consistent with those surrounding it, in this regard.

The applicant has not provided a statement outlining their proposal. They have not yet presented a practical difficulty associated with their request, or that any unique circumstances exist on the property. This should be discussed during the applicant's presentation at the meeting.

The requested variances are listed in the following table:

Variance #	Ordinance Section	Subject	Standard	Requested Variance	Result
1	Section 3.1.6	Minimum Front Yard Setback	30 feet	12.8 feet	17.2 feet
2	Section 3.1.6	Minimum Side Yard Setback	10 feet	1.9 feet	8.1 feet
3	Section 3.1.6	Minimum Lot Area	12,000 Sqft.	1,588 Sqft.	10,412 Sqft.

Zoning Board of Appeals Options:

Approval: I move to approve the variances requested by Gregg Matthews from Section 3.1.6 of the Zoning Ordinance for Parcel Number 12-14-279-003, identified as 2103 Hampton Street, in order to build a new house. Variances from Section 3.1.6 are granted to allow for construction of said structure that will encroach 12.8 feet into the required front yard setback, 1.9 feet into the required (north) side yard setback, and on a parcel that is 1,588 sqft deficient in lot area. This approval has the following conditions:

1. The Applicant shall obtain all necessary permits from the White Lake Township Building Division.
2. No mechanical units, including an HVAC system or generator, shall be placed in the front yards or closer than five (5) feet to any side yard lot line or rear lot line.
3. A foundation certificate shall be required prior to vertical construction.
4. An as-built survey shall be required to verify the approved setbacks.
5. All necessary permits from RCOC and the Oakland County Health Division will be obtained prior to the issuance of building permits.

Denial: I move to deny the variances requested by Gregg Matthews for Parcel Number 12-14-279-003, identified as 2103 Hampton Street, due to the following reason(s):

Postpone: I move to postpone the appeal of Gregg Matthews *to a date certain or other triggering mechanism* for Parcel Number 12-14-279-003, identified as 2103 Hampton Street to consider comments stated during this public hearing.

Attachments:

1. Variance application dated November 11, 2025.
2. Survey showing proposed plan dated November 4, 2025.
3. Letter of denial from the Building Official dated November 10, 2025.
4. Building elevations and a floor plan.
5. A tax bill and Residential Property Profile (Property Gateway) verifying ownership.

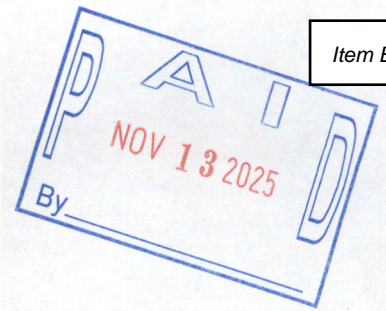
7.37 STANDARDS

General variances: The Zoning Board of Appeals may authorize a variance from the strict application of the area or dimensional standard of this Ordinance when the applicant demonstrates all of the following conditions "A - E" or condition F applies.

- A. Practical difficulty: A practical difficulty exists on the subject site (such as exceptional narrowness, shallowness, shape or area; presence of floodplain; exceptional topographic conditions) and strict compliance with the zoning ordinance standards would unreasonably prevent the owner from using of the subject site for a permitted use or would render conformity unnecessarily burdensome. Demonstration of a practical difficulty shall have a bearing on the subject site or use of the subject site, and not to the applicant personally. Economic hardship or optimum profit potential are not considerations for practical difficulty.
- B. Unique situation: The demonstrated practical difficulty results from exceptional or extraordinary circumstances or conditions applying to the subject site at the time the Ordinance was adopted or amended which are different than typical properties in the same zoning district or the vicinity.
- C. Not self created: The applicants problem is not self created.
- D. Substantial justice: The variance would provide substantial justice by granting the property rights similar to those enjoyed by the majority of other properties in the vicinity, and other properties in the same zoning district. The decision shall not bestow upon the property special development rights not enjoyed by other properties in the same district, or which might result in substantial adverse impacts on properties in the vicinity (such as the supply of light and air, significant increases in traffic, increased odors, an increase in the danger of fire, or other activities which may endanger the public safety, comfort, morals or welfare).
- E. Minimum variance necessary: The variance shall be the minimum necessary to grant relief created by the practical difficulty.
- F. Compliance with other laws: The variance is the minimum necessary to comply with state or federal laws, including but not necessarily limited to:
 - i. The Michigan Right to Farm Act (P.A. 93 of 1981) and the farming activities the Act protects;
 - ii. The Americans with Disabilities Act of 1990 (as amended), and the needs of handicapped individuals the Act protects, including accessory facilities, building additions, building alterations, and site improvements which may not otherwise meet a strict application of the standards of this Ordinance.

Under no circumstances shall the Board of Appeals grant a variance to allow a use not permissible under the terms of this Ordinance in the district involved, or any use expressly or by implication prohibited by the terms of this Ordinance in said district.

WHITE LAKE TOWNSHIP




Item B.

ZONING BOARD OF APPEALS APPLICATION

APPLICANT INFORMATION

NAME: Gregg Matthews PHONE: 248 420 2849
ADDRESS: 2103 Hampton street
EMAIL: gregg.matthews@target-specialty.com
INTEREST IN PROPERTY: ☒ PROPERTY OWNER ☐ BUILDER ☐ OTHER: _____

PROPERTY INFORMATION

ADDRESS: 2103 Hampton St. Wt. Lk. Mi 48386 ZONING: R1-D 
12-14-27-003
VALUE OF IMPROVEMENT: \$ 500 K SEV OF EXISTING STRUCTURE: \$ _____

REASONS TO SUPPORT REQUEST (ADDITIONAL SHEETS MAY BE ATTACHED):

Existing non conforming lake lot

APPLICATION FEE: ☒ \$440 ☐ \$550

APPLICANT'S SIGNATURE: G. L. Matthews DATE: 11-11-25

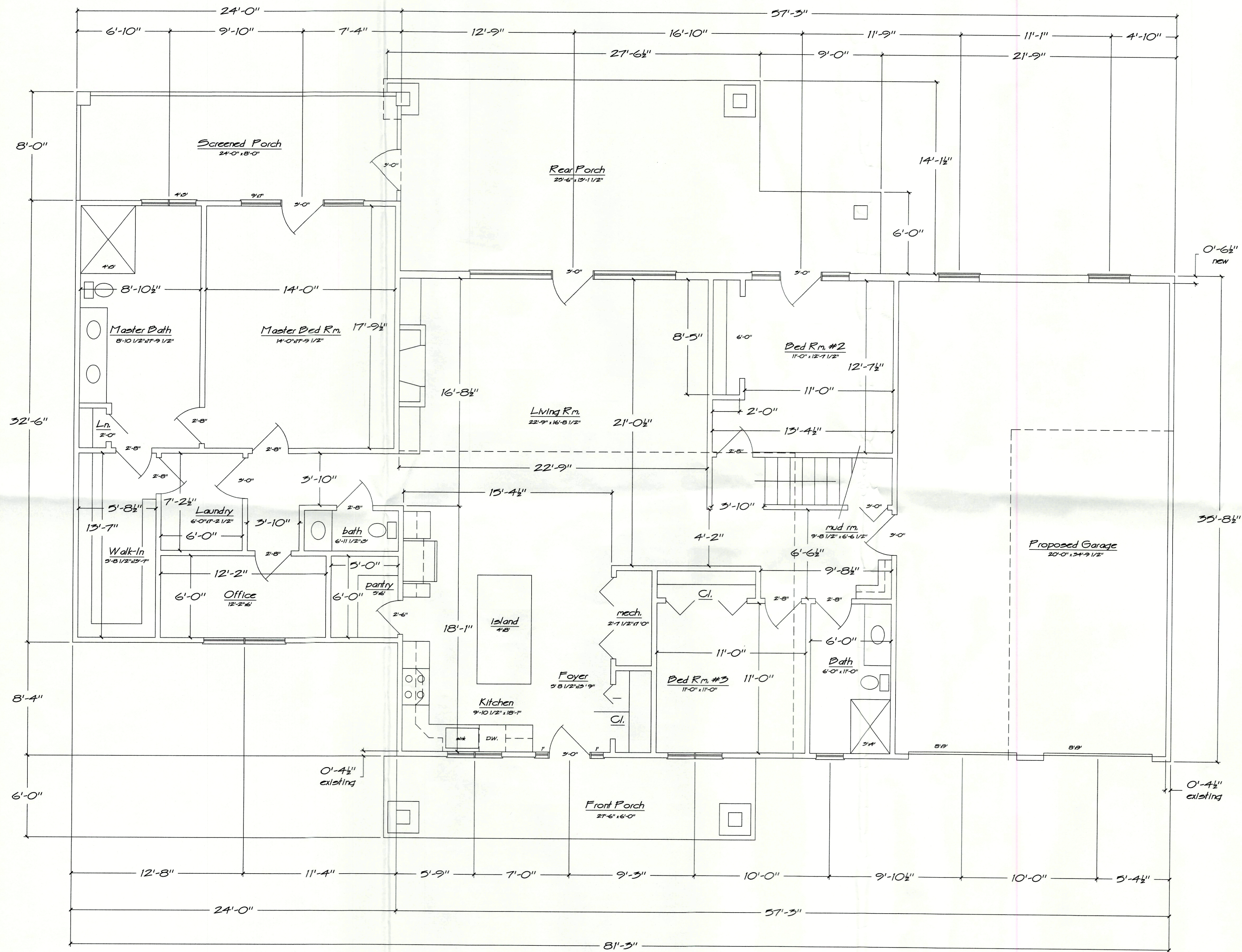
difficulty exists and the practical difficulty must relate to a unique circumstance of the property that prevents the applicant from reasonably using the property for a permitted use. Furthermore, no variance shall be granted unless all of the criteria found in Article 7.37 of the Zoning Ordinance have been met.

NOTE: ZONING BOARD OF APPEALS MEMBERS AND TOWNSHIP STAFF WILL LIKELY VISIT THE SITE BEFORE THE MEETING AS PART OF THEIR PREPARATION FOR EACH CASE.

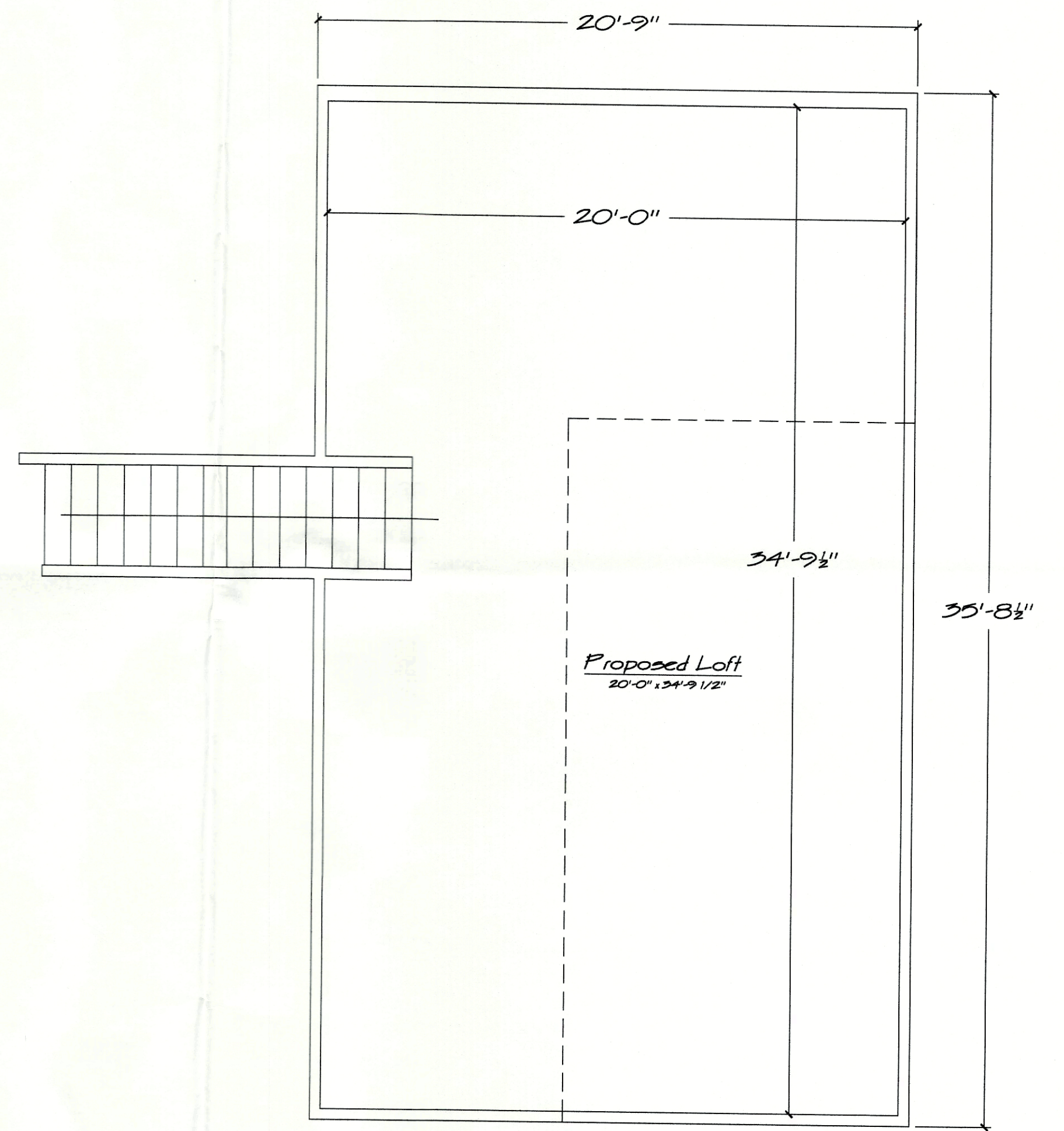
ZBA application checklist:

- ✓ Completed, signed application
- ✓ Letter of authorization from the property owner
- ✓ One copy of the plan or drawing
- ✓ One copy of the certified survey
- ✓ Letter of denial from the Building Department
- ✓ Copy of building permit application
- ✓ Application fee

Any further questions or clarification regarding the ZBA instructions, application, or agenda placement can be directed to the Community Development Department at 248-698-3300 ext. 5.

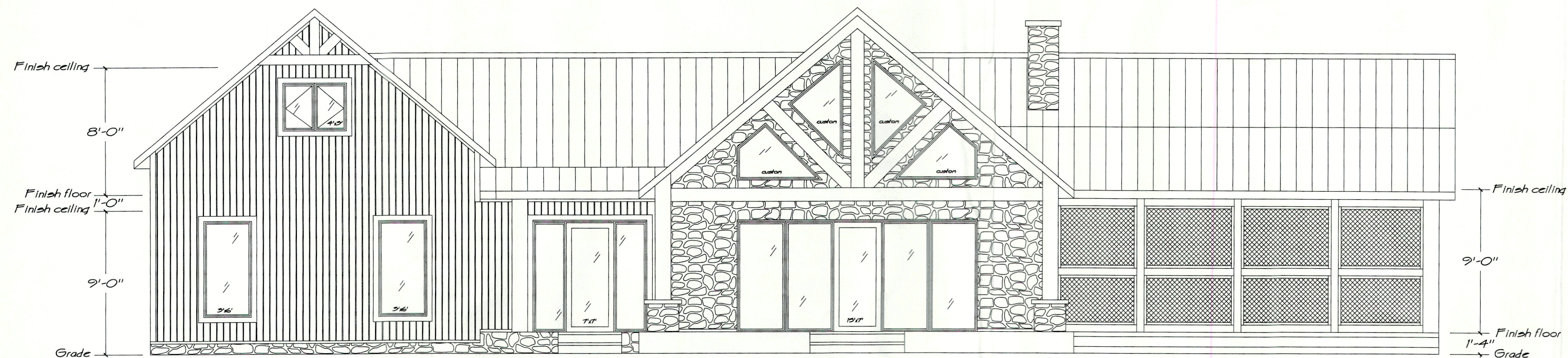


Floor Plan
Scale 1/4" = 1'

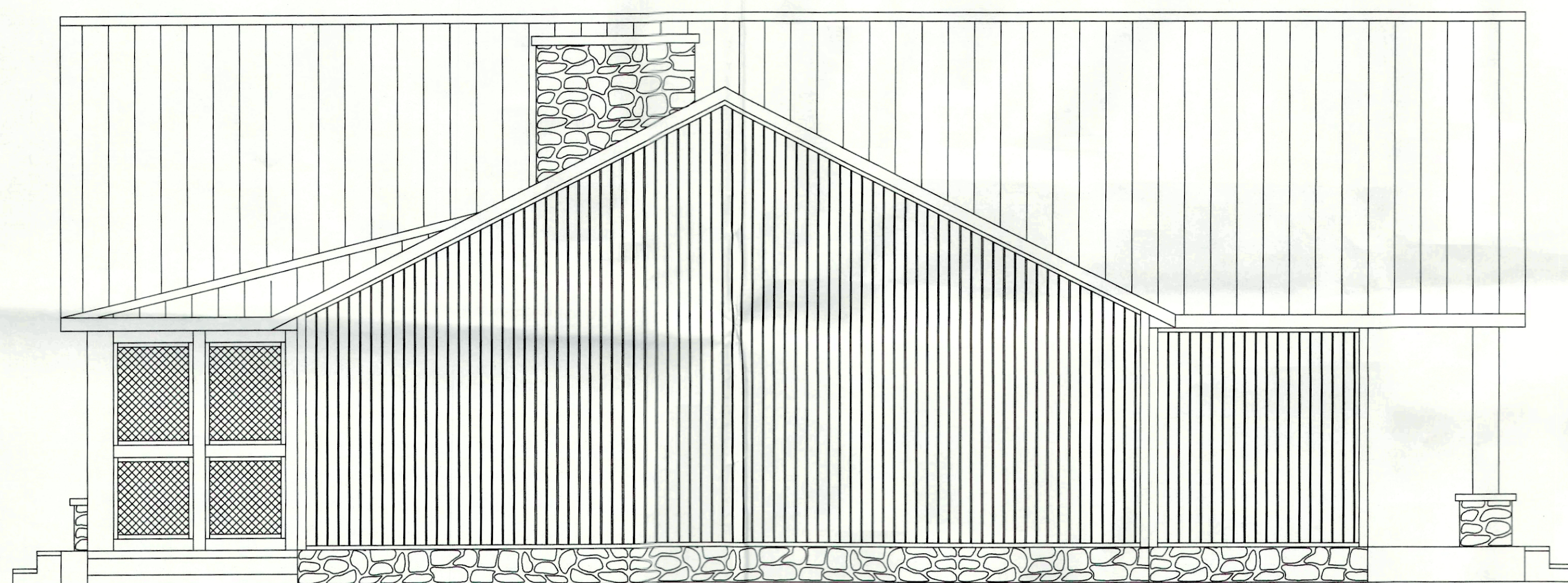


Garage Loft Plan
Scale 1/4" = 1'

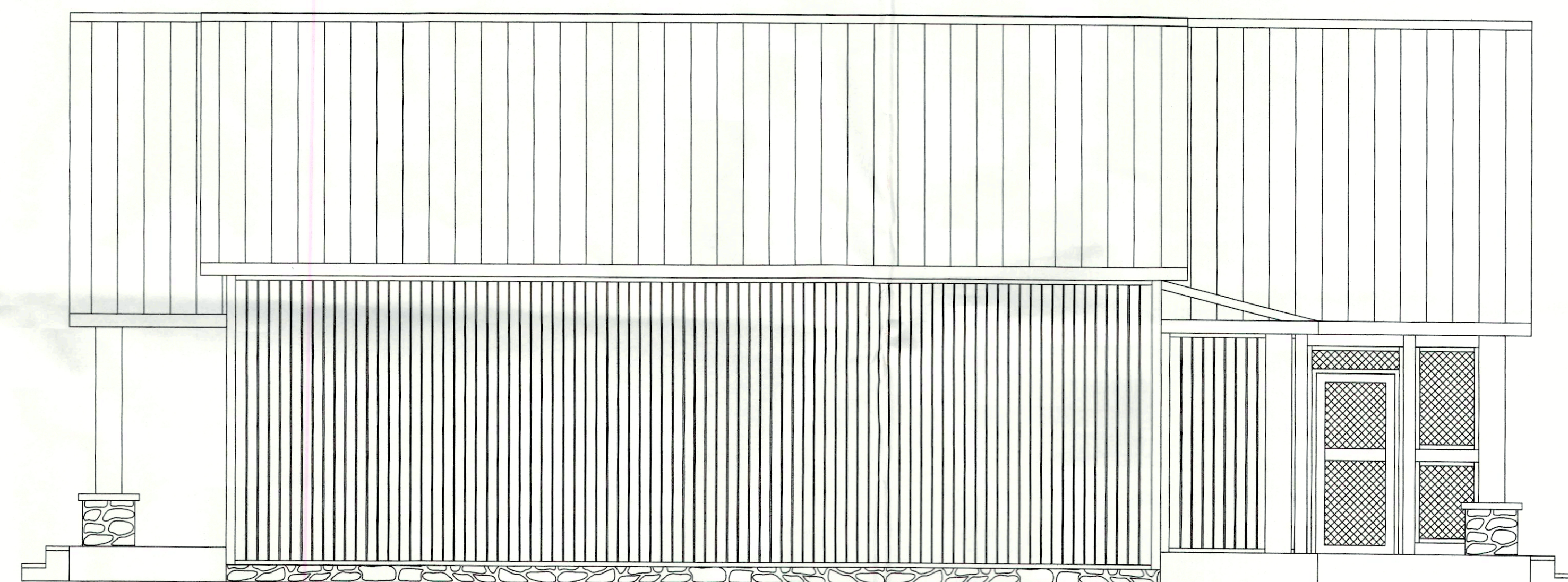
Home Plan			
2103 Hampton St. White Lake, MI. 48386			Greg & Lindsay Matthews
DATE	UPDATE	SCALE	DWG. NO.
09-30-25	-	Noted	1 OF 3



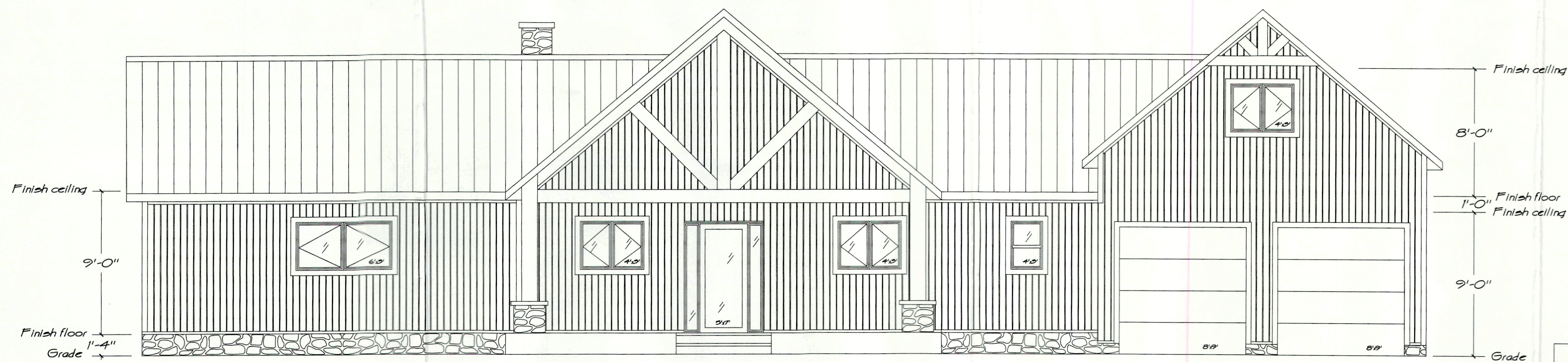
Rear Elevation
Scale 1/4" = 1'



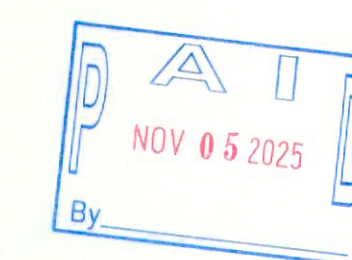
Left side Elevation
Scale 1/4" = 1'



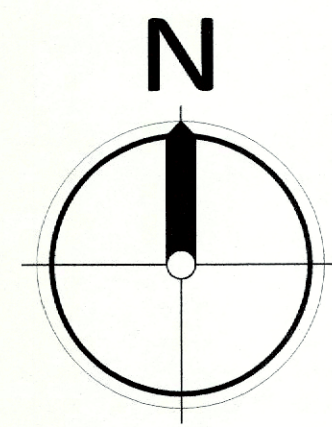
Right side Elevation
Scale 1/4" = 1'



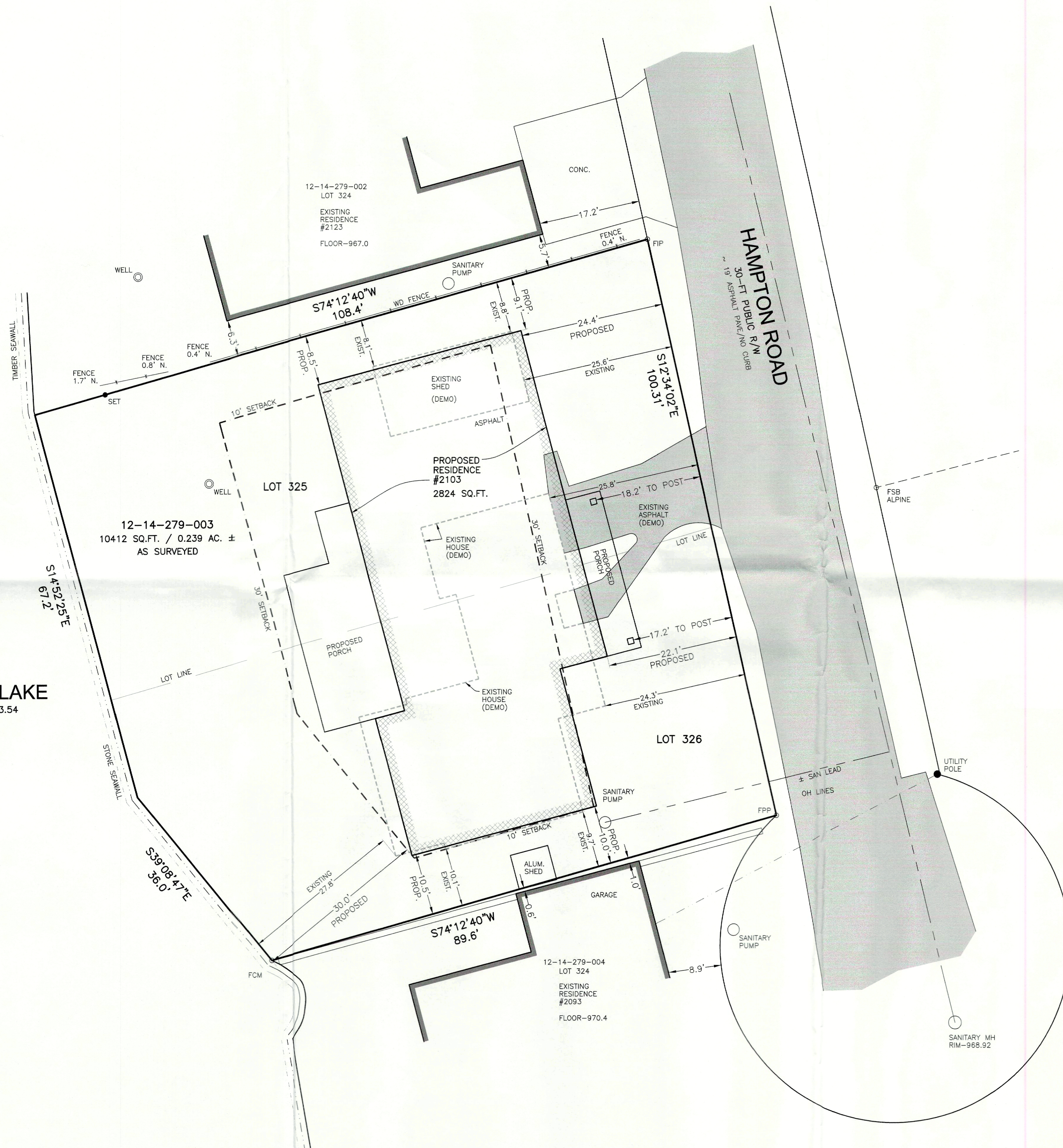
Front Elevation
Scale 1/4" = 1'



Home Plan			
2103 Hampton St. White Lake, MI, 48386		Greg & Lindsay Matthews	
ORIG. DATE	UPDATE	SCALE	DWG. NO.
09-30-25	-	Noted	2 OF 3



PONTIAC LAKE
TOP/WATER 963.54



PROPERTY DESCRIPTION:

LOTS 325 AND 326, "ENGLISH VILLAS SUBDIVISION", OF PART OF SECTIONS 11, 13 AND 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN. RECORDED IN LIBER 51 OF PLATS, PAGES 22 AND 23, OAKLAND COUNTY RECORDS.

LINETYPE LEGEND

---	WATERMAIN
---	SANITARY SEWER
---	STORM SEWER
---	GAS
---	GAS MAIN
---	TELCO/CATV
---	ELECTRIC
---	MINOR CONTOUR
---	MAJOR CONTOUR
---	FENCE LINE
---	EXISTING BUILDING
---	PROPOSED BUILDING

ZONING INFORMATION

ZONED R-1D

MINIMUM LOT WIDTH 80 FT.
MINIMUM LOT AREA 12000 SQ.FT.
(10412 EXIST.)

MAXIMUM LOT COV. 30% (3124 SQ.FT.)
PROPOSED LOT COV. 2824 SQ.FT. (27%)

SETBACKS

FRONT 30 FT.
REAR 30 FT.
SIDE (MIN.) 10 FT.
SIDE (TOTAL) 20 FT.

BEARING BASIS

MEASURED BEARINGS BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (2011), SOUTH ZONE

FEMA INFORMATION

A PORTION OF SUBJECT PARCEL (PONTIAC LAKE AND ADJACENT GROUND TO ELEVATION 965 FEET, NAVD83 DATUM) LIE IN THE SPECIAL FLOOD HAZARD AREA. THE REMAINDER OF THE PARCEL LIES IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD.

FIRM PANEL 2612500337F, EFFECTIVE DATE 9/29/2006

UNDERGROUND UTILITY INFORMATION AS SHOWN WAS GATHERED IN PART FROM FIELD OBSERVATION AND IN PART FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPAL RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE ACCURACY AND/OR COMPLETENESS THEREOF.

CALL MISS-DIG (800) 482-7171 OR 811 AT LEAST 72 HOURS BEFORE COMMENCING ANY EXCAVATION



0 10 20 30
SCALE: 1 INCH = 10 FEET

David White Land Surveying, PLLC
Boundary - Topographic - Construction - ALTA
44 DENNISON STREET, OXFORD, MICHIGAN 48371
Professional Land Surveyor
734.353.0135 dwsurveying@gmail.com

PREPARED FOR
LINDSAY MATTHEWS

JOB NO. 250401
DATE 11/04/25
FIELD DATE 04/2025
FIELD BK 108
SHEET 1 OF 1
SCALE 1" = 20'
CHECKED KOW

PRELIMINARY SITE PLAN
OAKLAND COUNTY TAX PARCEL 12-14-279-003
2103 HAMPTON ROAD
WHITE LAKE TWP, OAKLAND CO., MI

SHEET
1 OF 1



Rik Kowall, Supervisor
Anthony L. Noble, Clerk
Mike Roman, Treasurer



Trustees
Scott Ruggles
Steve Anderson
Andrea C. Voorhels
Liz Fessler Smith

WHITE LAKE TOWNSHIP

7525 Highland Road • White Lake, Michigan 48383-2900 • (248) 698-3300 • www.whitelaketwp.com

November 10, 2025

Gregg Matthews
2103 Hampton St
White Lake, MI 48386

Re: Proposed Residential Dwelling at 2103 Hampton

Based on the submitted plans, the proposed residential dwelling does not satisfy the White Lake Township Clear Zoning Ordinance for R1-D zoning district.

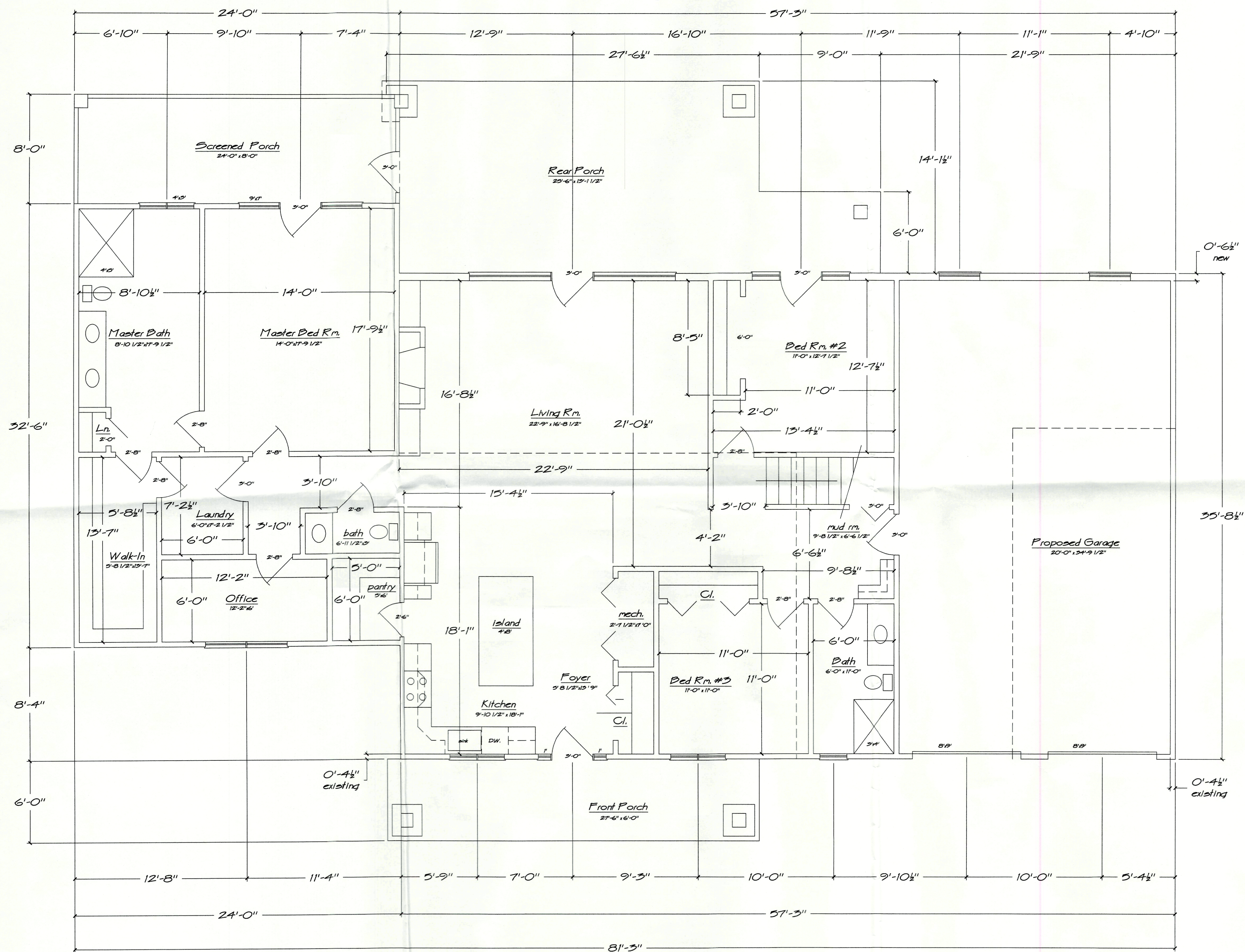
Article 3.1.6 of the White Lake Township Clear Zoning Ordinance: Requires a lot area of 12,000 sq ft, minimum front yard setback of 30 ft, side yard setback of 10 feet each side and total of 20 ft.

The existing lot and residential structure are nonconforming; with a lot area of 10,412 sq ft, and setbacks that do not conform on all 4 sides. While the existing structure is planned to be demolished, the proposed structure would have a front yard setback of 17.2 ft to the front covered porch posts and a side yard setback on the north side of 8.1 ft.

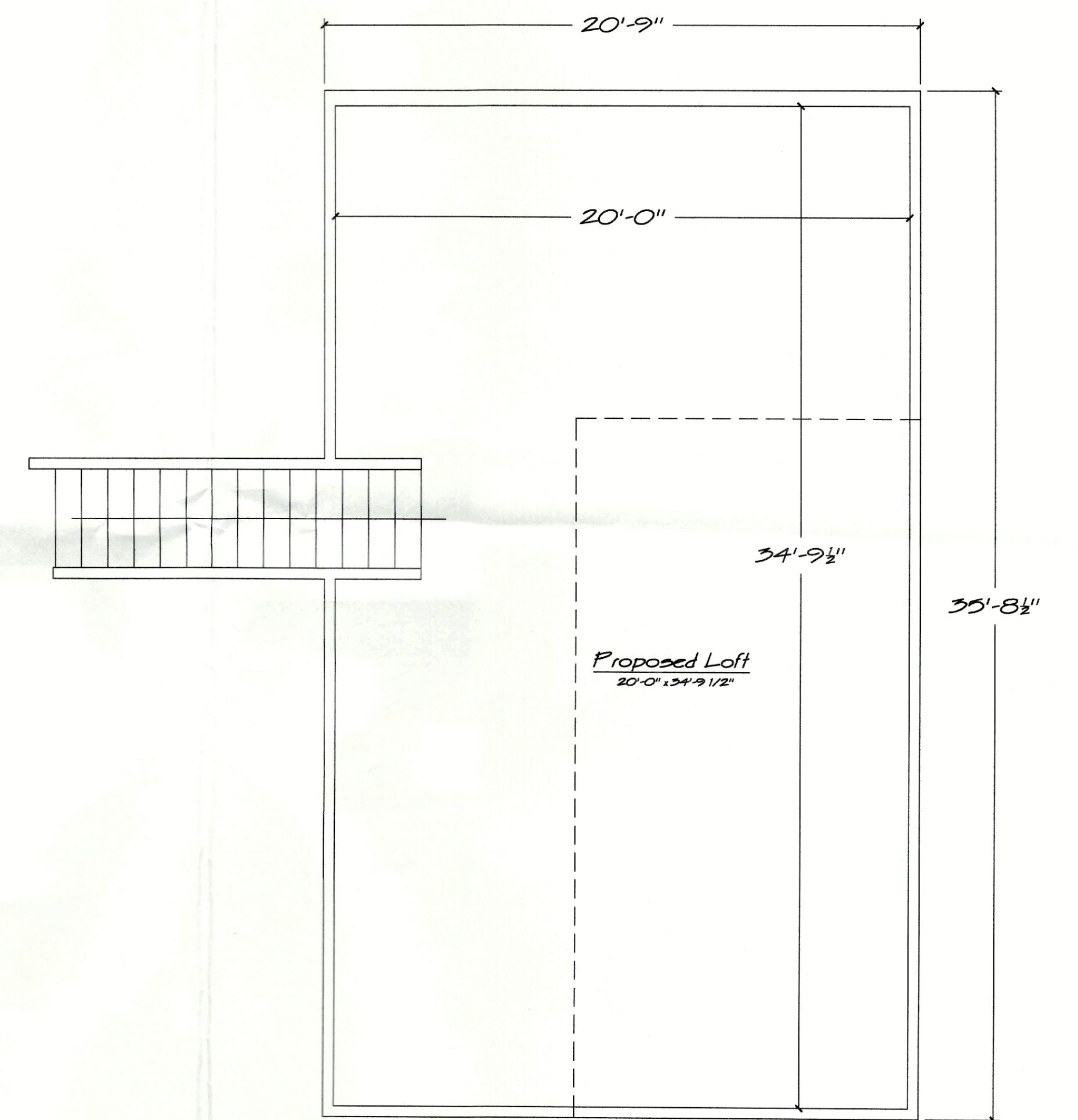
Approval of the building plans is subject to a variance to the schedule of regulations, Article 7 of the White Lake Township Clear Zoning Ordinance. To be eligible for the December 11th Zoning Board of Appeals (ZBA) meeting, complete application must be submitted to the White Lake Township Planning Department no later than November 13th at 4:30 PM. The Planning Department can be reached at (248)698-3300, ext. 5

Sincerely,

Nick Spencer, Building Official
White Lake Township

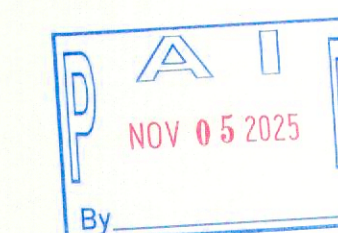
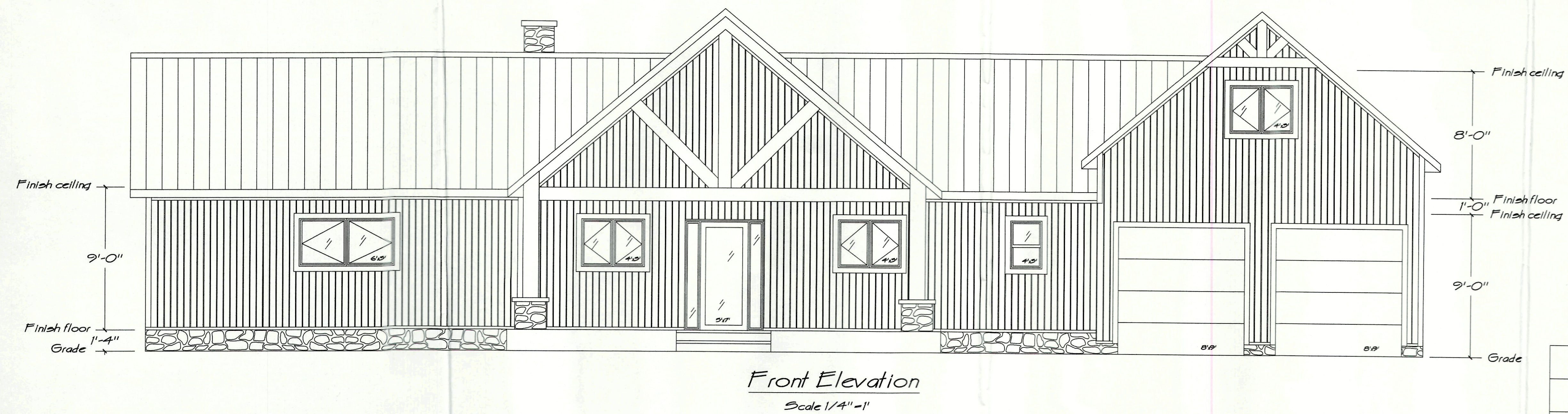
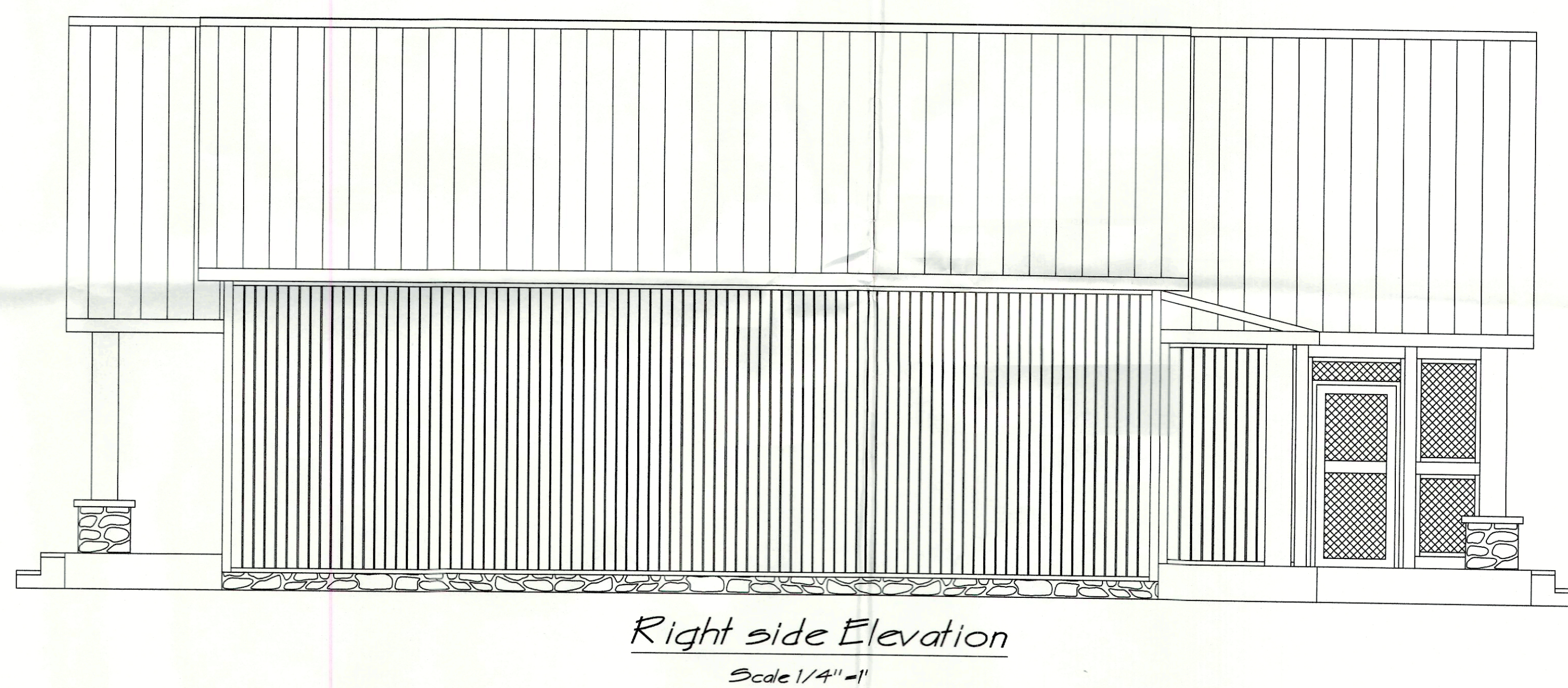
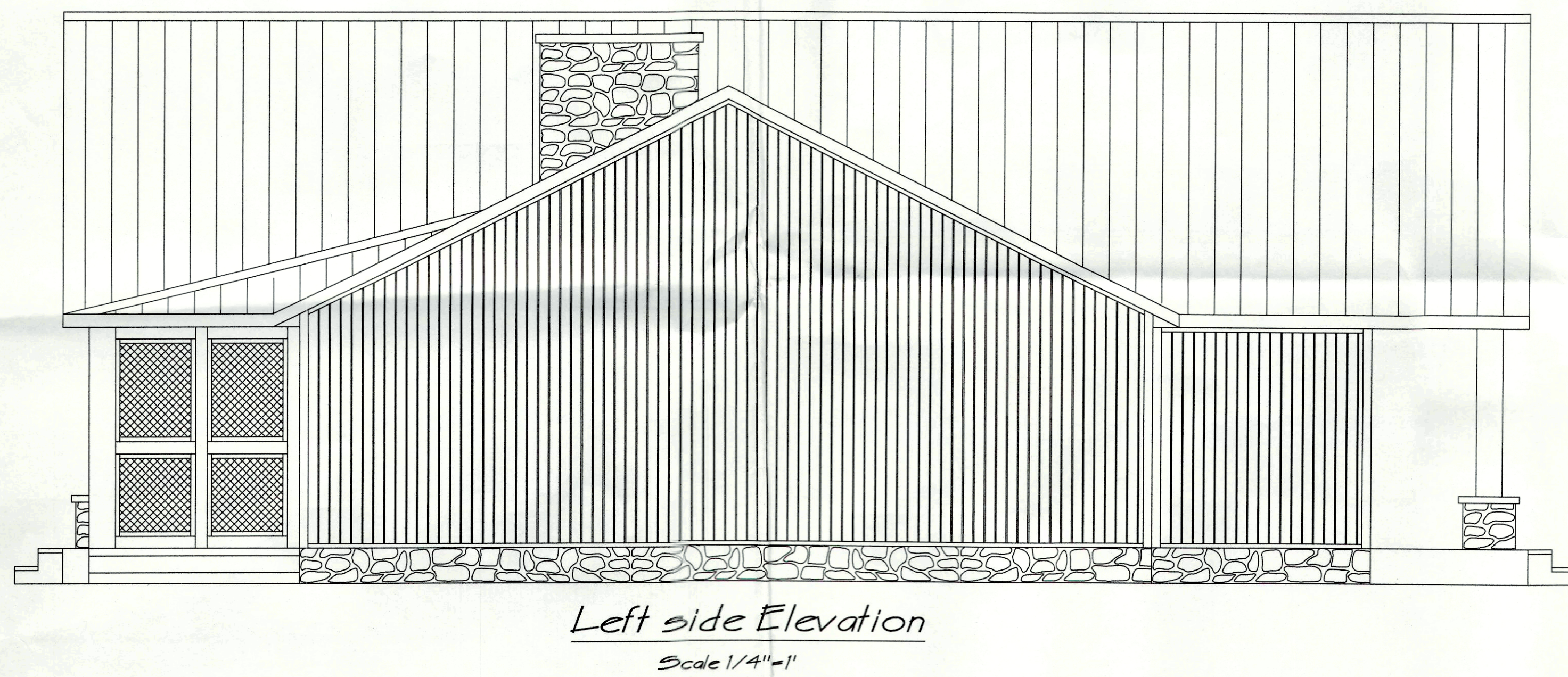
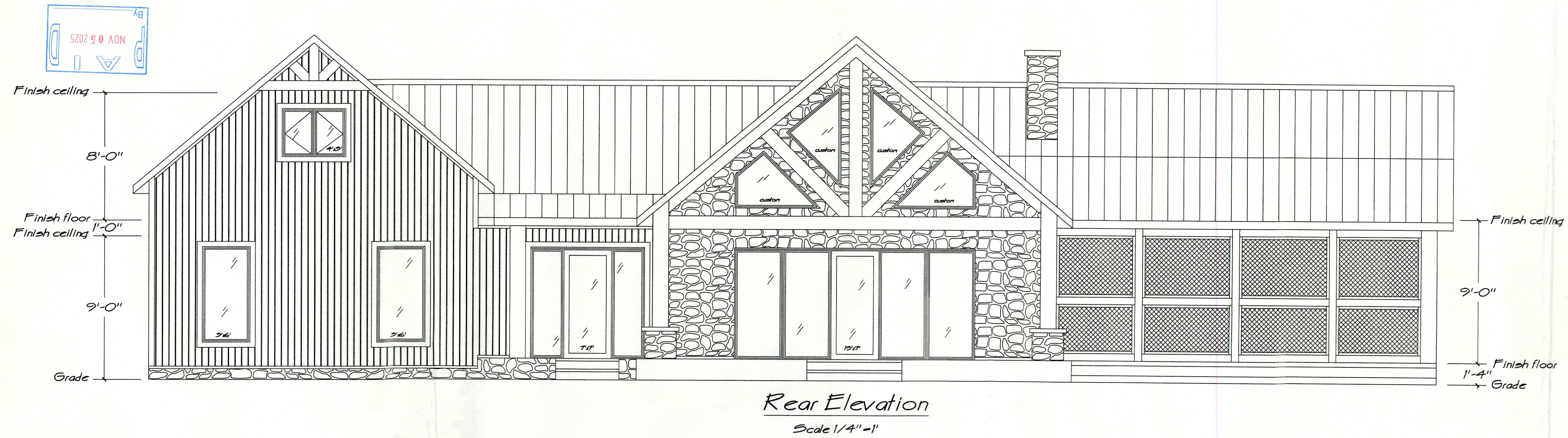


Floor Plan
Scale 1/4" = 1'



Garage Loft Plan
Scale 1/4" = 1'

Home Plan			
2103 Hampton St. White Lake, MI, 48386		Greg & Lindsay Matthews	
ORG. DATE	UPDATE	SCALE	DWG. NO.
09-30-25	-	Noted	1 OF 3



Home Plan			
2103 Hampton St. White Lake, MI, 48386		Greg & Lindsay Matthews	
DATE	UPDATE	SCALE	DWG. NO.
09-30-25	-	Noted	2 OF 3

2103 HAMPTON RD WHITE LAKE MI 48386-1538

2 beds / 1 full baths / 0 half baths / 1148 sq ft



Item B.

Residential Property Profile

12-14-279-003

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s) : GREGG MATTHEWS
Postal Address : 2103 HAMPTON RD WHITE LAKE MI 48386-1538

Location Information

Site Address : 2103 HAMPTON RD WHITE LAKE MI 48386-1538
PIN : 12-14-279-003 Neighborhood Code : 11L
Municipality : Charter Township of White Lake
School District : 63300 WATERFORD SCHOOL DISTRICT
Class Code : 401 Residential - Improved

Property Description

T3N, R8E, SEC 14 ENGLISH VILLAS SUB LOTS 325 & 326

Most Recent Sale Since 1994

Date : 07/17/2013
Amount : \$177,000 Liber : 46167:257
Grantor : LADD, YVONNE M Grantee : MATTHEWS, GREGG

Next Most Recent Sale

Date : 07/17/2013
Amount : \$1 Liber : 46167:186
Grantor : YVONNE M JACQUES TR Grantee : LADD, YVONNE M

Tax Information

Taxable Value	: \$99,390	State Equalized Value	: \$156,520
Current Assessed Value	: \$156,520	Capped Value	: \$99,390
Effective Date For Taxes	: 12/01/2025	Principal Residence Exemption Type	: N/A
Summer Principal Residence Exemption Percent	: 100%	Winter Principal Residence Exemption Percent	: 100%
2023 Taxes		2024 Taxes	
Summer	: \$1,962.49	Summer	: \$2,057.51
Winter	: \$3,037.93	Winter	: \$3,171.56
Village	:	Village	:

Lot Information

Description : LEVEL Area : 0.229 ACRES

2103 HAMPTON RD WHITE LAKE MI 48386-1538

Item B.

2 beds / 1 full baths / 0 half baths / 1148 sq ft

Residential Property Profile

12-14-279-003

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Primary Structure			
Structure	: Ranch	Living Area	: 1148 SQ FT
Ground Floor	: 1148 SQ FT	Year Built	: 1938
Effective Year	: 1973	Remodel Year	: 2001
Stories	: 1 Story	Rooms	: 4
Bedrooms	: 2	Full Baths	: 1
Half Baths	: 0	Fireplaces	: 1
Ext Walls	: Aluminum	Basement	: NO - CRAWL SPACE
Garage	: ATTACHED - 1 car (270 SQ FT)	Heat	: Forced Air w/ Ducts
Fuel Type	: Gas	Central Air	: No

Basement Information			
Finish	: UNFINISHED	Area	: 0 SQ FT

Porch Information	
Type	Area
CCP (1 Story)	45 SQ FT
CCP (1 Story)	18 SQ FT
Treated Wood	184 SQ FT

2024 WINTER TAX STATEMENT **RETAIN THIS COPY FOR YOUR RECORDS

Item B.

PAYABLE TO: CHARTER TOWNSHIP OF WHITE LAKE
7525 HIGHLAND ROAD
WHITE LAKE, MI 48383-2900

OFFICE HOURS M-F 8:00 A.M. to 5:00 P.M.
TELEPHONE: 248-698-3300

Mike Roman, Treasurer

TOTAL	PENALTY	TOTAL PAID	BALANCE
3,171.56			3,171.56



WHITE LAKE TOWNSHIP

PAYABLE

December 1, 2024 thru February 14, 2025 WITHOUT PENALTY

Please include Parcel ID and phone number on your check.

02000 CORELOGIC TAX SERVICE

PARCEL ID NUMBER
Y -12-14-279-003

NOTICE: Verify the Parcel ID number prior to remitting payment. You are responsible if you pay on the wrong parcel.

RETURN UPPER PORTION WITH REMITTANCE WHITE LAKE TOWNSHIP 2024 WINTER TAX STATEMENT

FISCAL
YEARS

Art Institute	- 07/01/2024 to 06/30/2025
O. C. Parks & Recreation	- 10/01/2024 to 09/30/2025
Zoo Authority	- 10/01/2024 to 09/30/2025
Oakland Transit	- 10/01/2024 to 09/30/2025
H.C.M.A.	- 01/01/2025 to 12/31/2025
White Lake Township	- 01/01/2025 to 12/31/2025

PAYABLE DECEMBER 1, 2024 - FEBRUARY 14, 2025 WITHOUT PENALTY
3% PENALTY AFTER FEBRUARY 14, 2025

FAILURE TO RECEIVE BILL DOES NOT WAIVE PENALTY

MATTHEWS, GREGG

2103 HAMPTON RD
WHITE LAKE, MI 48386-1538

02000 CORELOGIC TAX SERVICE

**THIS IS NOT A BILL IF THE MORTGAGE COMPANY LISTED
ABOVE IS PAYING YOUR TAXES. IF THIS APPLIES, PLEASE
RETAIN THIS ENTIRE BILL FOR YOUR RECORDS.**

Property Address

2103 HAMPTON RD
WHITE LAKE, MI 48386-1538

Partial Description of Property

T3N, R8E, SEC 14 ENGLISH VILLAS SUB LOTS 325 & 326

CODE NO.	*P.R.E. TAX BASE	PARCEL ID NUMBER	SCHOOL DISTRICT
75784	96,410	Y -12-14-279-003	63300
% DECLARED AS P.R.E.	*NON P.R.E. TAX BASE	TAXABLE VALUE	STATE EQUALIZED VALUE
100%	0	96,410	155,580
TAX DESCRIPTION		RATE PER \$1,000	AMOUNT

COUNTY PK & REC	0.65000	62.66
HCMA	0.20620	19.87
TWP OPERATING	0.89640	86.42
POLICE/FIRE	0.99180	95.61
POLICE	4.00390	386.01
FIRE	0.66840	64.44
FIRE 2	1.86370	179.67
LIBRARY 1	0.19040	18.35
LIBRARY 2	0.49590	47.80
LIBRARY 3	0.36300	34.99
LIBRARY DEBT	0.39460	38.04
WLT PARK & REC	0.30000	28.92
ART INSTITUTE	0.19370	18.67
ZOO AUTHORITY	0.09410	9.07
OAKLAND TRANSIT	0.94640	91.24
RUBBISH		215.35
PONTIAC LAKE RES		740.05
DELINQUENT SEWER		896.96
PONTIAC LK LEVEL		137.44

Scan to download our new FREE app!

Stay Updated: Get the latest news,
meetings, events, reminders, and more-right
on your phone with real time notifications.
Receive fast and accurate updates as they
happen.



DUE BY FEBRUARY 14, 2025

RETAIN THIS LOWER PORTION FOR YOUR RECORDS.
YOUR CANCELED CHECK IS YOUR RECEIPT.

TOTAL	PENALTY	TOTAL PAID	BALANCE
3,171.56			3,171.56

*P.R.E. = Principal Residence Exemption

37

Checks are accepted only as conditional payment. If not honored by bank, tax is unpaid and subject to penalties.

Y -12-14-279-003

BEGINNING MARCH 1, 2025 all unpaid 2024 taxes must be paid to the Oakland County Treasurer, 1200 N Telegraph Rd, Pontiac MI 48341 with additional penalties. During the month of March, a revised statement from the Township Treasurer must accompany your remittance to the County Treasurer.

HOURS

Monday - Friday, 8:00 A.M. - 5:00 P.M.
(Closed Saturdays, Sundays, and Holidays)

CLOSED: December 24, 25, 31, 2024,
January 1, 20, 2025 and February 17, 2025

WINTER TAXES

Payable through **February 14, 2025.**

Beginning February 15 - February 28, 2025, add 3% penalty.
We accept partial payments.

INTERNET PAYMENTS • VISA • MASTERCARD • E-CHECK

- visit www.paylocaltaxes.com
- enter your **Parcel I.D. #** OR **Property Address**
- enter the **Code #**

ALL of this information is located on the front of this tax bill.
Credit Card payments will be charged a CONVENIENCE FEE
based on the amount of your tax.

DROP BOX

For your convenience, a drop box is located at the west side
of the Township Hall. Check or money order only. Do not
leave cash. Payments may be dropped off 24 hours a day.

CHANGE OF OWNERSHIP

Report change of ownership promptly to White Lake
Township Assessing at 248-698-3300. Failure to receive tax
statement does not exempt tax from penalties. Make sure
your **principal residence exemption and property transfer
papers** are filed with the assessing department.

Check your parcel ID number with your deed or land contract.
If you pay on the wrong property, the law holds you fully
responsible.

LATE PAYMENTS

All late 2024 summer and/or winter tax payments must be
received in the White Lake Township Treasurer's Office on or
before February 28, 2025.

VETERANS PROPERTY TAX EXEMPTIONS

A property tax exemption is available to 100% disabled
Veterans and their surviving spouses. To qualify, Veterans
must apply in the Assessing office.

PERSONAL PROPERTY TAXES

Assessment date is December 31, 2023 for
Personal Property Tax and Real Property Tax.
If you were in business as of December 31, 2023,
you are responsible for the 2024 Summer and Winter Taxes.

DOG LICENSES

2025 Dog Licenses are available at the Treasurer's Office

To obtain a license,
proof of current rabies vaccination is needed.

The license fees are:

- \$15.00 if dog is spayed or neutered
- \$25.00 if dog is not spayed or neutered
- If pet owner is a senior citizen (65 years or older):
- \$14.00 if dog is spayed or neutered
- \$23.00 if dog is not spayed or neutered

3 YEAR LICENSES ARE NOW AVAILABLE
3 year dog licenses must have 3 year rabies certificates

24 HOUR TAX HOTLINE

Property tax information is available on the *Oakland County
24 Hour Tax Hotline* by dialing 248-858-0025 or toll free
number, 1-888-600-3773. To access tax information, you will
need to enter your 10 digit parcel ID number. There is no
charge for this service.

Hi Nick,

Thank you for your guidance as we prepare the necessary application for the Zoning Board of Appeals (ZBA).

I am writing to provide additional context for our request for a variance regarding the street side setback, which we are proposing at approximately 20 feet.

As shown on the submitted plans, the proposed front covered porch includes support posts. The roof above this porch is essential for safety, particularly during winter, to help prevent ice buildup. The house will be approximately 6' behind the porch posts.

We believe our requested street side setback is consistent with the non-conforming lot conditions commonly observed on Pontiac Lake, and specifically along Hampton Street. Our plans already meet the 30-foot lakeside setback. For the side yard setbacks (north and south), we believe our proposal is consistent with other non-conforming lake lots in the area.

For your reference, the ZBA application includes a summary of the street side distances for other homes on Hampton Street. As this data demonstrates, our request is consistent with the existing character and development pattern of the neighborhood.

We greatly appreciate your consideration of our project.

Best regards,

Gregg Matthews

ce on our website for details.



WHITE LAKE TOWNSHIP
7527 HIGHLAND ROAD, WHITE LAKE, MI 48383
TOWNSHIP ANNEX



Item A.

2026 PUBLIC MEETING DATES
PLANNING COMMISSION, ZBA, AND PARKS REC MEETINGS START AT 6:30 P.M.
CORRIDOR IMPROVEMENT AUTHORITY MEETINGS START AT 5:00 P.M.

JANUARY		JULY	
NO CIA MTG		NO CIA MTG	
NO 1ST PLANNING COMMISSION MTG		NO 1ST PLANNING COMMISSION MTG	
PARKS AND RECREATION	1/14/2026	PARKS AND RECREATION	7/8/2026
PLANNING COMMISSION (2ND MTG)	1/15/2026	PLANNING COMMISSION (2ND MTG)	7/16/2026
ZONING BOARD OF APPEALS	1/22/2026	ZONING BOARD OF APPEALS	7/23/2026
FEBRUARY		AUGUST	
CORRIDOR IMPROVEMENT AUTHORITY	2/5/2026	CORRIDOR IMPROVEMENT AUTHORITY	8/6/2026
PLANNING COMMISSION (1ST MTG)	2/5/2026	PLANNING COMMISSION (1ST MTG)	8/6/2026
PARKS AND RECREATION	2/11/2026	PARKS AND RECREATION	8/12/2026
PLANNING COMMISSION (2ND MTG)	2/19/2026	PLANNING COMMISSION (2ND MTG)	8/20/2026
ZONING BOARD OF APPEALS	2/26/2026	ZONING BOARD OF APPEALS	8/27/2026
MARCH		SEPTEMBER	
CORRIDOR IMPROVEMENT AUTHORITY	3/5/2026	CORRIDOR IMPROVEMENT AUTHORITY	9/3/2026
PLANNING COMMISSION (1ST MTG)	3/5/2026	PLANNING COMMISSION (1ST MTG)	9/3/2026
PARKS AND RECREATION	3/11/2026	PARKS AND RECREATION	9/9/2026
PLANNING COMMISSION (2ND MTG)	3/19/2026	PLANNING COMMISSION (2ND MTG)	9/17/2026
ZONING BOARD OF APPEALS	3/26/2026	ZONING BOARD OF APPEALS	9/24/2026
APRIL		OCTOBER	
CORRIDOR IMPROVEMENT AUTHORITY	4/2/2026	CORRIDOR IMPROVEMENT AUTHORITY	10/1/2026
PLANNING COMMISSION (1ST MTG)	4/2/2026	PLANNING COMMISSION (1ST MTG)	10/1/2026
PARKS AND RECREATION	4/8/2026	PARKS AND RECREATION	10/14/2026
PLANNING COMMISSION (2ND MTG)	4/16/2026	PLANNING COMMISSION (2ND MTG)	10/15/2026
ZONING BOARD OF APPEALS	4/23/2026	ZONING BOARD OF APPEALS	10/22/2026
MAY		NOVEMBER	
CORRIDOR IMPROVEMENT AUTHORITY	5/7/2026	CORRIDOR IMPROVEMENT AUTHORITY	11/5/2026
PLANNING COMMISSION (1ST MTG)	5/7/2026	PLANNING COMMISSION (1ST MTG)	11/5/2026
PARKS AND RECREATION	5/13/2026	PARKS AND RECREATION	11/11/2026
PLANNING COMMISSION (2ND MTG)	5/21/2026	ZONING BOARD OF APPEALS	11/12/2026
ZONING BOARD OF APPEALS	5/28/2026	PLANNING COMMISSION (2ND MTG)	11/26/2026
JUNE		DECEMBER	
CORRIDOR IMPROVEMENT AUTHORITY	6/4/2026	CORRIDOR IMPROVEMENT AUTHORITY	12/3/2026
PLANNING COMMISSION (1ST MTG)	6/4/2026	PLANNING COMMISSION (1ST MTG)	12/3/2026
PARKS AND RECREATION	6/10/2026	PARKS AND RECREATION	12/9/2026
PLANNING COMMISSION (2ND MTG)	6/18/2026	ZONING BOARD OF APPEALS	12/10/2026
ZONING BOARD OF APPEALS	6/25/2026	PLANNING COMMISSION (2ND MTG)	12/17/2026
MEETING DATES & TIMES ARE SUBJECT TO CHANGE			
For more information, contact 248-698-3300 or visit www.whitelaketwp.com			