

Rik Kowall, Supervisor  
Anthony L. Noble, Clerk  
Mike Roman, Treasurer



Trustees  
Scott Ruggles  
Liz Fessler Smith  
Andrea C Voorheis  
Michael Powell

**SPECIAL TOWNSHIP BOARD MEETING**  
**LOCATION: 7527 HIGHLAND ROAD, WHITE LAKE - ANNEX BOARD ROOM**  
**WEDNESDAY, APRIL 13, 2022 – 5:00 PM**

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*White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | [www.whitelaketwp.com](http://www.whitelaketwp.com)*

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**AGENDA**

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **APPROVAL OF AGENDA**
  
5. **CLOSED SESSION**
  - A. APPROVAL TO RECESS INTO CLOSED SESSION TO CONSIDER ATTORNEY/CLIENT PRIVILEGED COMMUNICATIONS, IN ACCORDANCE WITH MCL 15.268(1)(h)
  
6. **NEW BUSINESS**
  - A. [REQUEST TO APPROVE AMENDMENT TO PLANNED DEVELOPMENT AGREEMENT, PRESERVE AT HIDDEN LAKE](#)
  - B. [CONCEPTUAL PLAN REVIEW, 8300 PONTIAC LAKE ROAD](#)
  - C. [REQUEST TO APPROVE CONTRACT TO HIRE NEW ASSESSOR TO REPLACE CURRENT ASSESSOR DUE TO RETIREMENT](#)
  
7. **ADJOURNMENT**

**Procedures for accommodations for persons with disabilities:** The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP  
INTER-OFFICE MEMORANDUM**

***COMMUNITY DEVELOPMENT DEPARTMENT***

**DATE:** April 8, 2022

**TO:** Rik Kowall, Supervisor  
Township Board Members

**FROM:** Sean O'Neil, AICP  
Community Development Director

**SUBJECT: **Preserve at Hidden Lake  
Amended Planned Development Agreement Approval****  
located on the west side of Union Lake Road, and south of Hutchins Road, consisting of approximately 38.33 acres. Identified as parcel 12-36-101-001, 12-36-101-003, and 12-36-101-004. Currently zoned as (PD) Planned Development.

The above request is now ready for Township Board Consideration. The matter was considered by the Planning Commission at their regular meeting of April 7, 2022. At that time, the **Planning Commission recommended conditional approval of the Amended Planned Development Agreement.** Please find enclosed the following related documents:

- Minutes from the April 7, 2022 Planning Commission meeting
- Review letter prepared by the Township's engineer, Mr. Michael Leuffgen, dated March 30, 2022.
- Review letter prepared by Staff Planner, Justin Quagliata, dated March 30, 2022.
- Review letter prepared by the Township' attorney, Lisa Hamameh, dated March 30, 2022.
- Letter from Craig Piasecki, Member, Preserve at Hidden Lake LLC.
- Preserve at Hidden Lake's Planned Development Agreement with exhibits.

Please place this matter on the special Township Board agenda. Do not hesitate to contact me should you need any additional information.

**WHITE LAKE TOWNSHIP  
PLANNING COMMISSION**

Township Annex, 7527 Highland Road  
White Lake, MI 48383  
April 7, 2022 @ 7:00 PM

**CALL TO ORDER**

**Chairperson Anderson** called the meeting to order at 7:01 PM and led the Pledge of Allegiance. Roll was called.

**ROLL CALL**

Steve Anderson  
Merrie Carlock  
Pete Meagher  
Scott Ruggles  
Matt Slicker  
Robert Seeley  
T. Joseph Seward

Absent: Mark Fine  
Debby Dehart

Also Present: Sean O’Neil, Community Development Director  
Mike Leuffgen, DLZ  
Lisa Kane, Recording Secretary

Visitors: 15 members of the public were present

**APPROVAL OF AGENDA**

**Commissioner Meagher** moved to approve the agenda of the April 7, 2022 Planning Commission Meeting.

**Commissioner Carlock** supported and the **MOTION CARRIED** with a voice vote: 7 yes votes.

**APPROVAL OF MINUTES**

- a. Regular meeting minutes of March 17, 2022

**Commissioner Seward** moved to approve the Minutes of March 17, 2022

**Commissioner Meagher** abstained from voting.

**Commissioner Seeley** supported and the **MOTION CARRIED** with a voice vote: 6 yes votes.

**CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)**

**Kristen Ostimer** of 807 W Oxhill Drive is concerned about the Black Rock restaurant being built and the safety of the community with the traffic that will increase. Mrs. Ostimer shared pictures with the Board. ‘

**Tracy Saputo** of 616 E Oxhill Dr has concerns regarding Black Rock, specifically the traffic entering their subdivision, stormwater runoff and contamination from an existing nearby business, Brendels.

**Kevin Ostimer** of 807 W Oxhill Dr spoke regarding concerns of safety if the traffic increases in their neighborhood. He would like the Oakland County Road Commission perform a traffic study. Mr. Ostimer stated that the state tested a substance that is coming up from their sump pump which was determined to be run off from restaurants, Dave & Amy's and McDonalds. The substance was deemed not to be dangerous.

**Commissioner Anderson** explained that the process involved with a new development is lengthy and the recent decision was strictly changing the zoning of the parcel. There will be a traffic study and all of these concerns will be taken into consideration when the time comes to review development.

**Brian Gennero** of 615 E Oxhill Dr also has concerns about the increase of traffic if Black Rock opens at this location and believes that the addition of street lights would be beneficial.

**Christian Cassel** of 604 E Oxhill Dr asked if the Black Rock was a final deal.

**Commissioner Anderson** explained that the business has not applied for a site plan.

**Kathy Ratliff** of 691 Oxhill Ct asked if a traffic light has been considered for that intersection.

**Director O'Neil** explained that the Township does not have any jurisdiction over traffic lights and the traffic study process.

**Commissioner Seely** explained the process of requesting a traffic study be completed by M-DOT by citizen request.

## PUBLIC HEARING

None

## CONTINUING BUSINESS

### A. Preserve at Hidden Lake

Property identified as parcel numbers 12-36-101-001.

Located on the west side of Union Lake Road, and south of Hutchins Road, consisting of approximately 38.33 acres. Currently zoned (PD) Planned Development.

Requests: **1) Amended final site plan approval**  
**2) Amended planned development agreement approval**

Applicant: PH Homes (Craig Piasecki)  
8255 Cascade Ave, Suite 110  
Commerce Twp, MI 48382

**Director O'Neil** presented the request to amend the final site plan and planned development agreement approvals that were previously reviewed by the Township Board in January 2022. There were issues with the retention basin had some inconsistencies and setbacks for individual units that needed to be addressed. The revised plans change the units from townhomes to duplexes and reduced the total number of units. Some of the unit's patios encroach in the stormwater easement, therefore indemnification language to acknowledge this in the Master Deed is necessary. It will clearly state that

any future repairs will be the responsibility of the homeowner's association and not that of the Township. All amendments that were discussed in January are included in review documents.

**Commissioner Carlock** asked for clarification of which unit's patios were encroaching in the stormwater easement.

**Commissioner Meagher** asked Director O'Neil if he is comfortable with all of the issues being resolved administratively.

**Director O'Neil** stated that the applicant has agreed to resolve the issues.

**Commissioner Anderson** stated that the applicant has a positive history of complying with staff comments.

**Director O'Neil** stated that he does not have any reservations or concerns that the applicant will be able to meet the requests. The issues with the pond have been resolved by the Township Board and the Planning Commission only needs to address the site plan revisions and planned development agreement amendment.

**Director O'Neil** requested that the applicant add more trees to unit 97.

**Applicant present: Craig Piasecki** responded that they will add additional trees to unit 97.

**Commissioner Carlock** inquired the location of the trees at unit 97.

**Mr. Leuffgen** presented the engineering review and noted that not much is changing. He provided clarification of the review letter dated March 30, 2022 of the final site plan, and stated that the clarifications on all documentations are providing continuity, so that the final site plan matches the Master Deed. They recommend that the Master Deed be updated to include hold-harmless language regarding the stormwater easement and recommends approval subject to all documentation reflecting updates and clarifications.

**Commissioner Seward** inquired if the hold-harmless language should include personal liability.

**Commissioner Meagher** moved to forward a favorable recommendation to the Township Board, the amendment of the final site plan subject to all staff and consultants' review comments being addressed and the addition of trees at unit 97 for the property described as parcel number 12-36-101-001 Located on the west side of Union Lake Road, and south of Hutchins Road, consisting of approximately 38.33 acres. Currently zoned (PD) Planned Development.

**Commissioner Seward** supported, and the MOTION CARRIED with a roll call vote (7 yes votes): (Seely/yes, Slicker/yes, Meagher/yes, Anderson/yes, Seward/yes, Carlock/yes, Ruggles/yes)

**Commissioner Seward** moved to forward a favorable recommendation to the Township Board, the amendment of the planned development agreement subject to all staff and consultants' review comments being addressed and the addition of the personal liability hold-harmless indemnification for the property described as parcel number 12-36-101-001 Located on the west side of Union Lake Road, and south of Hutchins Road, consisting of approximately 38.33 acres. Currently zoned (PD) Planned Development.

**Commissioner Carlock** supported, and the MOTION CARRIED with a roll call vote (7 yes votes): (Seely/yes, Slicker/yes, Meagher/yes, Anderson/yes, Seward/yes, Carlock/yes, Ruggles/yes)

**NEW BUSINESS**

**A. Oxbow Lake Private Launch Association**

Property identified as parcel number 12-22-279-004, (10193 Highland Road) located on the south side of Highland Road between Lakeside Drive and Hilltop Drive, consisting of approximately 1.9 acres. Currently zoned (PD) Planned Development

Requests: **1) Final site plan approval**  
**2) Planned development agreement approval**

Applicant: Oxbow Lake Private Launch Association, Inc.  
10835 Oxbow Lakeshore Drive  
White Lake, MI 48386

**Director O'Neil** presented the project, stating that final site plan includes changing the type of trees to deciduous trees along Highland Road. Director O'Neil also presented the planned development agreement which will include language that defers the applicant's obligation to install a sidewalk until a triggering event, such as a sidewalk project from M-DOT is proposed.

**Commissioner Anderson** inquired about a timeline or what would trigger the sidewalk needing to be installed and requested that a notation be added that indicates the cost that would be involved to the applicant.

**Commissioner Seward** inquired about the special conditions listed that indicate the easement would be maintained by the Township.

**Director O'Neil** stated that the only maintenance that the Township would be responsible for is in the event that the Township makes any improvements to the easement.

**Commissioner Carlock** asked for clarification on the material that will be used for the fence on Highland Road.

**Commissioner Meagher** moved to approve the final site plan subject to all staff and consultants' review comments being addressed for the property described as parcel number 12-22-279-004, (10193 Highland Road) located on the south side of Highland Road between Lakeside Drive and Hilltop Drive, consisting of approximately 1.9 acres. Currently zoned (PD) Planned Development Commissioner Seely supported, and the MOTION CARRIED with a roll call votes (7 yes votes): (Seely/yes, Slicker/yes, Meagher/yes, Anderson/yes, Seward/yes, Carlock/yes, Ruggles/yes)

**Commissioner Seward** moved to forward a favorable recommendation to the Township Board, the planned development agreement subject to all staff and consultants' review comments being addressed and that the Township would only be responsible for maintenance in the easement of improvements made by the Township for the property described as parcel number 12-22-279-004, (10193 Highland Road) located on the south side of Highland Road between Lakeside Drive and Hilltop Drive, consisting of approximately 1.9 acres. Currently zoned (PD) Planned Development. Commissioner Carlock supported, and the MOTION CARRIED with a roll call votes (7 yes votes): (Seely/yes, Slicker/yes, Meagher/yes, Anderson/yes, Seward/yes, Carlock/yes, Ruggles/yes)

**OTHER BUSINESS**

**A. Eagles Landing**

Property identified as parcel 12-33-100-008. Located on the east side of Bogie Lake Road, south of Cedar Island. Consisting of approximately 10 acres. Currently zoned (R1-C) Single Family Residential.

Request: **Final site plan extension request**  
Applicant: Better Built Homes  
Charles Burt  
156 East Meadow Circle  
White Lake, MI 48383

**Director O'Neil** presented the request for an extension of the final site plan to expire February 18, 2023.

**Commissioner Anderson** explained that this is not setting any precedent as extensions have been issued in the past based on particular circumstances.

**Commissioner Carlock** inquired how many extensions can be granted and if there is a limit to how many can be approved for one project.

**Director O'Neil** explained that there is a limit to how many extensions would be granted. Projects which have received extensions would be required to conform to all existing ordinances and ordinance changes which have occurred since the extension was granted.

**Applicant present: Charles Burt** stated that the issue with DTE was resolved and has been in contact with the Oakland County Health Department regarding the test wells.

Discussion occurred about easements being provided to retain access to the school and the utility easement.

**Commissioner Seely** moved to approve the extension of final site plan to expire on February 18, 2023 for the property described as parcel number 12-33-100-008. Located on the east side of Bogie Lake Road, south of Cedar Island. Consisting of approximately 10 acres. Currently zoned (R1-C) Single Family Residential.

**Commissioner Meagher** supported, and the MOTION CARRIED with a roll call votes (7 yes votes): (Seely/yes, Slicker/yes, Meagher/yes, Anderson/yes, Seward/yes, Carlock/yes, Ruggles/yes)

**LIAISON'S REPORT**

**Commissioner Dehart:** Zoning Board of Appeals has no report. Director O'Neil noted that a workshop is going to occur soon to discuss the sign ordinance.

**Commissioner Carlock:** The Parks & Rec Board has no report.

**Commissioner Ruggles:** There has not been a Township Board since the last Planning Commission meeting. Commissioner Ruggles participated in an Elections Committee meeting, there are three districts that will vote on a bond issue for the school district.

**DIRECTOR'S REPORT**

**Director O'Neil** reported that two public hearings will be presented at next meeting. The draft of the Request for Proposal for review of the future land use Master Plan is being prepared. The Parks and Rec

Board Master Plan is in development.

**COMMUNICATIONS**

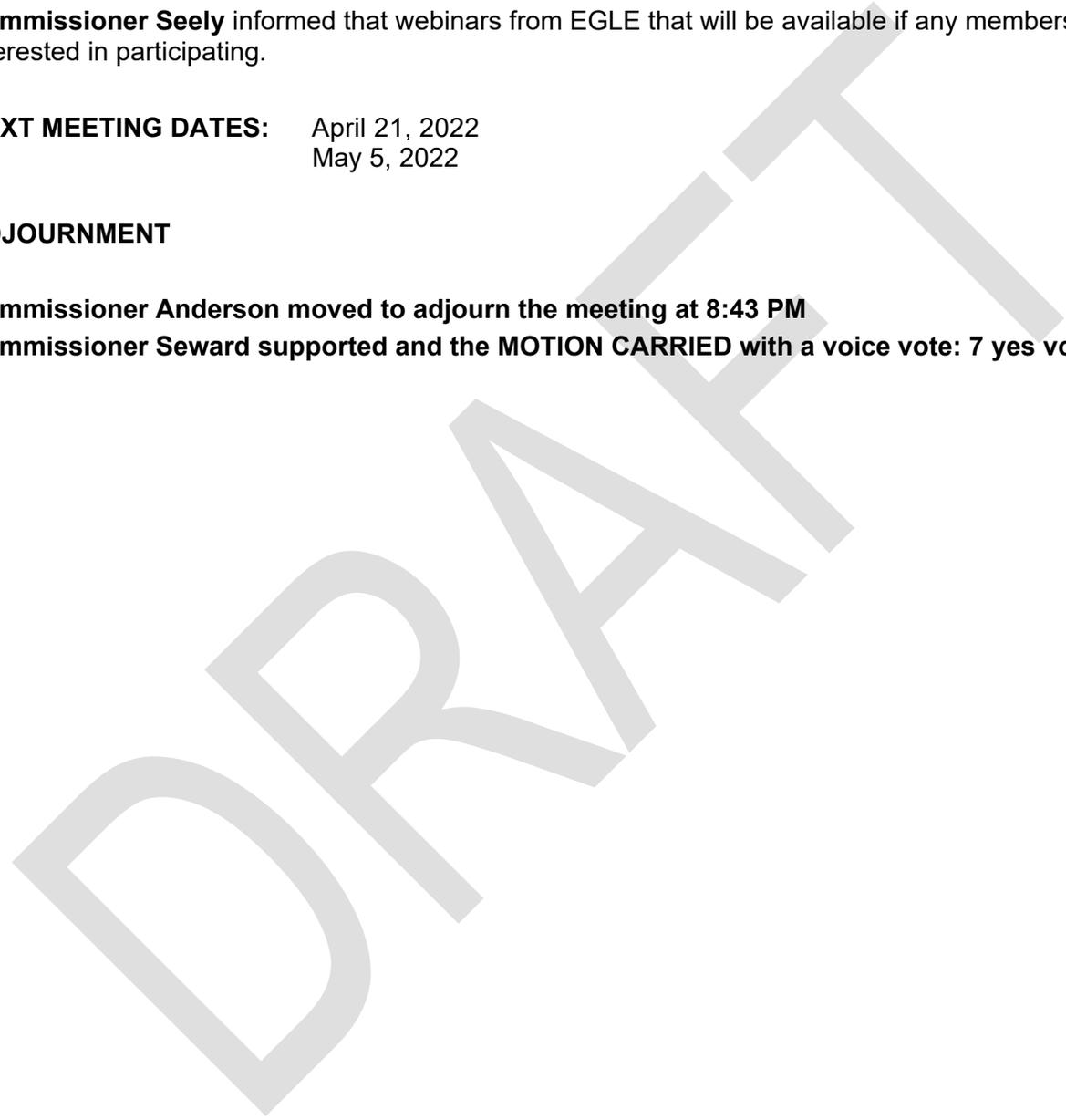
**Commissioner Slicker** inquired if the Township would be able to assist the residents of the Suburban Knolls subdivision in requesting a traffic light to be installed by M-DOT.

**Commissioner Seely** informed that webinars from EGLE that will be available if any members are interested in participating.

**NEXT MEETING DATES:**   April 21, 2022  
                                  May 5, 2022

**ADJOURNMENT**

**Commissioner Anderson moved to adjourn the meeting at 8:43 PM**  
**Commissioner Seward supported and the MOTION CARRIED with a voice vote: 7 yes votes**





INNOVATIVE IDEAS  
EXCEPTIONAL DESIGN  
UNMATCHED CLIENT SERVICE

March 30, 2022

Sean O’ Neil, Director  
Community Development Department  
Charter Township of White Lake  
7525 Highland Road  
White Lake, Michigan 48383

**RE: Preserve at Hidden Lake – Planned Development Agreement –First Amendment- 4<sup>th</sup> Review**

DLZ Job No. 1845-0886-00

Dear Mr. O’ Neil,

The applicant is proposing a 68 unit detached single family and a 29 unit attached single family development on a 37.99 acre parcel located off Union Lake Road. This is the fourth review of the first amendment to the original PDA documents that were prepared for Preserve at Hidden Lake, LLC. and were submitted to this office on March 17, 2022 via Dropbox.

The following items were submitted as part of this review:

- Draft PDA Agreement- First Amendment- Revised – Marked Up -dated March 16, 2022
- Draft PDA Agreement- First Amendment- Revised – Clean copy -dated March 16, 2022
- Final Site Plan- dated March 15, 2022- as Exhibit 1
- Overall Hidden Lake Unit Setback Clarification Plan dated March 15, 2022- as Exhibit 1
- Exhibit 2- Development Schedule- updated

We offer the following comments for your consideration:

Please note that comments from our March 11, 2022 review letter are in *italics*. Responses to those comments are in **bold**. New comments are in standard typeface.

General

1. *The revised Final Site Plan is currently under review by our office. Since the approved revised Final Site Plan will be Exhibit 1 for the above PDA amendment, the PDA amendment approval will need to be conditioned on approval of the revised Final Site Plan. We have since reviewed and approved the Final Site Plan. Please refer to the FSP Review Letter #5 dated July 26, 2021 for comments and context*



INNOVATIVE IDEAS  
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WLT- Preserve at Hidden Lake PDA – Review .04

March 30, 2022

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regarding the Final Site Plan dated July 9, 2021. Comment outstanding. The Final Site Plan dated February 2, 2022 has been provided with this PDA submittal. However, comments from our FSP review letter dated February 16, 2022 will need to be addressed on the final site plan. **Comment addressed. Comments from our February 16, 2022 review letter have been provided. Please refer to our Final Site Plan review letter dated March 30, 2022.**

2. *It is not clear as to whether the Final Site Plan or the Overall Hidden Lake Unit Setback Clarification Plan dated February 2, 2022 is considered Exhibit 1 of the PDA document. This will need to be clarified. It is recommended that both documents be attached to the PDA document as separate exhibits. Comment outstanding. Both the Final Site Plan and the Overall Hidden Lake Setback Clarification Plan are now labeled as Exhibit 1. We continue to recommend these two plans be labeled as separate Exhibits 1 and 2.*
3. *The following items within the PDA document shall be required to be addressed:*
  - a. *Recitals- C.- Change date to January 18, 2022. Comment addressed.*
  - b. *Article 1.4- First paragraph- Add the following language to the last line in the paragraph: " ..., as set forth on the Final Site Plan and the Overall Hidden Lake Unit Setback Clarification Plan." Comment outstanding. The 'Overall Hidden Lake Unit Setback Clarification Plan' language shall be included in the last sentence of the paragraph as well as the previous sentence of the same paragraph (Paragraph 1).*
  - c. *Article 1.4- The table provided summarizes the setbacks for Units giving a range of setback numbers. The table shall list each individual unit number and the specific setback associated with that unit. Note also that the rear patio encroachment for Unit 70 appears to be 4.4'. Please verify. Comment addressed. A detailed table is now provided within the document.*
  - d. *Article 1.4- Second paragraph, first sentence shall read as follows: "... of each residence **that is located on Hidden Lake will be a ...**" Comment outstanding.*
  - e. *Article 1.4-Second paragraph, second line- Clarify the intent behind the 25 foot minimum setback and qualify it to the free board elevation of 942.30 (NAVD 88). Comment addressed. Language has now been added qualifying the 25' setback to the free board elevation.*
  - f. *Article 1.4- Second paragraph, sixth line- revise the following language: "...successive 100-year storm events before water reaches the finish floor elevation of the lowest walkout basement proposed for Units 20-46..." Comment rescinded. Language pertaining to this comment has been removed.*
  - g. *Article 1.4- Second paragraph-ninth line- clarify which units a boulder wall may be required on i.e., on Units 20,23-26,29,31-35,37, and 44, if necessary..." Comment rescinded. Language pertaining to this comment has been removed.*



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- h. Article 1.4- Second paragraph- ninth and tenth lines- add the following language: “..., to maintain the 25 foot distance **from the retention pond freeboard elevation of 942.30 and shall pump...**”  
**Comment rescinded. Language pertaining to this comment has been removed.**
- i. The document shall contain language for Units surrounding the pond stating that post construction of lots that an as-built drawing of each lot shall be submitted to the Township showing that the walkout elevations for these lots are within acceptable tolerances of the approved individual plot plans. **Comment outstanding; this language shall be required.**
- j. Article 2.5- This article shall contain language per Comment 3 of our Final Site Plan review letter dated February 16, 2022 stating that clarification shall be made that the Township will be held harmless for potential damage to patios within the storm sewer easement should the Township exercise its right to maintain/repair/replace the storm system per the standard Stormwater Maintenance Agreement. **Comment outstanding. The above underlined language shall be included in this section of the PDA document.**
- k. Recitals Item E & Item 3- The reference to ‘Site Plan No.2’ is unclear. Is this a reference to the modified plan indicating the unit setbacks or is this the Final Site Plan? See comment 2. above. **Comment outstanding. Exhibit 1 is labeled currently as the ‘Overall Final Site Plan’ and ‘Overall Hidden Lake Unit Setback Clarification Plan.’ If Site Plan No. 2 is referring to the above two plans, then either the language in the PDA document should specify these plans (‘Overall Final Site Plan’ and ‘Overall Hidden Lake Unit Setback Clarification Plan’) or the actual plans shall be labeled as ‘Site Plan No. 2’ and the labels changed on the actual plans.**
- l. Exhibit 2- Development Schedule shall be updated to reflect the current timing for the different incomplete phases. **Comment addressed. Development Schedule has now been updated.**
5. Unit Setback Clarification Plan- Sheet 1 indicates a 21 foot setback for Unit 78 while Sheet 4 shows a setback of 37.3’ to the ROW line. Please clarify. **Comment addressed.**
6. Unit Setback Clarification Plan- Sheet 1- Revise the unit numbers for statement regarding boulder walls to: Units 20,23-26,29,31-35,37, and 44. **Comment addressed.**
7. We recommend the developer explore reducing the front yard setback for Units 69/70 from the current 26.8’ to the minimum 25’; this would reduce the storm sewer easement encroachment of the concrete patio in the rear yard by approximately 2’. **Comment addressed.**
8. The design engineer shall also sign plan in addition to sealing. **Comment addressed.**
9. Article 1.4, second paragraph, last sentence states that the Association, its successors and assigns shall be required to take whatever action is necessary to alleviate flooding. This statement shall be quantified in terms of what is meant by ‘flooding.’ In addition, language shall be included as to how flooding shall be alleviated i.e., a list of solutions to alleviate flooding.



INNOVATIVE IDEAS  
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WLT- Preserve at Hidden Lake PDA – Review .04

March 30, 2022

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**Recommendation-**

There remain a few items that shall be clarified prior to final approval, with the successful resolution of these items it will be DLZ's recommendation to approve the PDA Amendment.

If you have any questions, please feel free to contact us.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.  
Department Manager

Victoria Loemker, P.E.  
Senior Engineer

Attachments: DLZ Final Site Plan review letter dated March 30, 2022

Cc: Aaron Potter, DPS Director, *via email*  
Hannah Micallef, Community Development, *via email*  
Lisa Hamameh, RSJA Law, *via email*

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# WHITE LAKE TOWNSHIP PLANNING COMMISSION

## REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

**TO:** Planning Commission

**FROM:** Sean O’Neil, AICP, Community Development Director  
Justin Quagliata, Staff Planner

**DATE:** March 30, 2022

**RE:** Preserve at Hidden Lake  
Final Site Plan and Development Agreement – Amendments

Craig Piasecki, on behalf of Preserve at Hidden Lake, LLC, submitted a letter dated February 9, 2022 requesting an amendment to the Preserve at Hidden Lake final site plan (FSP). When the letter was submitted, it accompanied a different version of an amended FSP. Some of the listed waivers have been modified based on subsequent revisions to the plan. When the FSP and development agreement were amended in Spring 2021 and January 2022, all of the setback waivers for the attached units were not identified on the plans or contemplated by the Planning Commission and Township Board. The amended FSP (Spring 2021) allowed the following setbacks for the duplex/triplex units:

- Front Setback: 25 feet minimum (to sidewalk except Unit 78 – 21 feet to R.O.W.)
- Rear Setback: 30 feet (except Unit 89 – 25 feet)
- Side Yard Setbacks: 10 feet each (total 20 feet)

Unit 88 was allowed a 25-foot setback from Hutchins Road and Unit 94 was allowed a 15-foot setback from Arcadia Lane (both dimensioned on the previously amended FSP). The submitted plans renumber Unit 77 and Unit 78 (for Building 8 the previous plans identified Unit 77 as the northerly unit and Unit 78 as the southerly unit). The southerly unit of Building 8 received a nine-foot front setback waiver. On the revised plans the southerly unit of Building 8 has a 28-foot front setback, which complies with the 25-foot setback requirement allowed by the original development agreement. The developer’s letter requesting waivers stated Unit 88 would have a 25.4-foot setback from Hutchins Road and Unit 89 would have a 25-foot setback from Hutchins Road. Unit 89’s setback from Hutchins Road was previously noted on the amended FSP approved in Spring 2021. The previous plan dimensioned the Unit 88 setback from Hutchins at 25 feet; the current plans show a 0.4-foot increase in setback.

Currently the applicant is requesting waivers for the duplex unit setbacks from Arcadia Lane (note the plan measures setbacks from Arcadia Lane to the north side of a boulder retaining wall):

- Unit 69: 22.1-foot setback
- Unit 70: 29.3-foot setback
- Unit 71: 26.2-foot setback
- Unit 72: 25-foot setback
- Unit 73: 23.3-foot setback
- Unit 74: 28.4-foot setback

According to Sheet 4 of 4 of the added plans to the FSP, 12 patios on the rear of duplex units encroach into the storm sewer easement. Based on the developer's letter requesting waivers (which utilized a previously submitted amended FSP which has since been revised), 11 units need the aforementioned waiver (Unit 69 being the difference between the two documents). The zoning ordinance states "In no instance shall a deck, porch, patio or paved terrace be located in any recorded easement..." Based on the developer's letter and revised plans, waivers are being requested to allow the following patio encroachments into the easement:

- Unit 70: 2.7-foot encroachment
- Unit 71: 6.1-foot encroachment
- Unit 72: 7.1-foot encroachment
- Unit 73: 8.6-foot encroachment
- Unit 74: 4.9-foot encroachment
- Unit 89: 5-foot encroachment
- Unit 90: 5-foot encroachment
- Unit 91: 5-foot encroachment
- Unit 92: 5-foot encroachment
- Unit 93: 5-foot encroachment
- Unit 94: 5-foot encroachment

Staff is concerned about the patio encroachment into the storm sewer easement. Maintenance activities within the easement could potentially damage patios in the vicinity. For example, the Unit 89 patio is located only three feet from a catch basin. While the storm system is private and must be maintained by the condo association (after assignment by the developer), if the association fails to maintain the storm sewer and the Township exercises its right to maintain/repair/replace the system as outlined in the development agreement and master deed, correcting resulting damage to private patios should not be the responsibility of the Township. Hold harmless language was added to the development agreement for "the placement of decks and/or patios within the storm sewer easement." Hold harmless language is subject to approval by the Township Attorney. However, as currently written, the language does not describe the aforementioned maintenance/repairment/replacement activities. Such hold harmless language would also need to be incorporated into an amended master deed.

There is an alternative to remove the patios from the rear of units where encroachment into the storm sewer easement is proposed. The patios in question could potentially be relocated to the sides of units and/or reduced in size.

### *Landscape Plan Amendment*

An amended landscape plan dated November 16, 2021 (revision date March 16, 2022) was submitted. The plan was revised based on the site layout adjustments presented in Spring 2021. A typical foundation planting plan for attached units shows landscaping around sidewalks from the driveways leading to front porches of the units. Following are comments on the plan for consideration by the Planning Commission. Approval of the amended FSP subject to staff and consultant comments would make these items required.

- There are labels identifying a certain number of plantings with inconsistent symbols for those plantings depicted on the plan. Revise accordingly.
- White Pine shall be replaced with a different species of evergreen tree.
  - The zoning ordinance prohibits White Pine species. Revise accordingly.
- Street trees species shall alternate every other tree. Revise accordingly.
- Provide three (3) additional street trees west of Ander Lane.
- Provide one (1) additional street tree east of Ander Lane.
- Provide one (1) additional street tree east of the Unit 96 driveway.
- Provide two (2) additional street trees south of Arcadia Lane.
- Provide three (3) additional evergreen trees at the east end of Arcadia Lane.
- Provide four (4) additional evergreen trees east of the Unit 97 patio along Union Lake Road.
- Provide five (5) additional evergreen trees west of Unit 95 (east of storm easement).
- Provide four (4) additional evergreen trees southeast of Unit “78.”
  - Sheet L-1 reverses the unit numbers for 77 and 78. Revise accordingly.
- Add plan note: “Tree stakes, guy wires and tree wrap are to be removed after 1 year.”
- Note 14 mentions mulch. The zoning ordinance states the mulch product itself shall be at least doubled-shredded quality. Revise accordingly.
- Where the plan and Landscape Planting Notes indicate hydroseed, sod shall be required.
  - Areas identified as common area, frontage (Hutchins and Union Lake Roads), entrance, and park lawn shall be sod.
- An irrigation plan was not provided.

### *Development Agreement Amendment*

On March 16, 2022 the Developer submitted a revised amendment to the development agreement. This amendment was intended to include acceptable language addressing the retention basin issues as well as the most recent request, which includes several units not meeting approved setbacks and patios being located within storm sewer easements. As previously described, the hold harmless language related to placing patios in a storm sewer easement does not provide any protection for Township activities in the easement.

Article 1, Section 4 of the development agreement is replaced in its entirety by the proposed amendment. The front setback modification remains consistent with the original agreement. Waivers previously described in this memorandum are identified in this section of the development agreement. Proposed language referring to “Excepted Lake Units” could be interpreted to provide an exemption from the established setback line (1-foot freeboard elevation of 942.30 feet) for buildings on said “lake” Units. Revisions to this language are required to clarify the intent of the provision.

As previously stated, this amendment was intended to include acceptable language addressing the retention basin issues. Language was proposed stating whatever action is necessary to alleviate flooding is required. No method(s) of mitigation were proposed. When the Township Board discussed this matter on January 18, 2022 it directed the Developer to present a plan to staff and consultants for review. Since the meeting, no communication regarding this matter has been received from the Developer or his engineer. It was previously noted by the Developer water would be pumped out of the retention basin for irrigation of front entrance landscaping and unit landscaping. Such irrigation would not produce a decrement in the retention basin resulting from flooding. Augmentation of the basin elevation due to flooding may necessitate abatement by some method of pumping more extensive than irrigation. There is also no definition for “flooding” of the basin. Furthermore, the banks of the retention basin are at the roads which ring the basin; language referring to banks of the basin must be removed from the amendment. It could be interpreted the basin is currently flooded because the water level has exceeded the two, 100-year flood elevation. In November 2017 the wetland was 6.38 acres in size; as of December 2021, the wetland was 7.57 acres (1.19-acre increase). With no plan established prescribing mitigation methods to resolve flooding, the future Association will not be prepared to address issues related to the basin water level. If the Township Board accepts the development agreement amendment as currently written, it should be aware the Developer did not provide a plan to address this issue as requested. Furthermore, this amendment provides no defined solutions to the retention basin issue.

### **Planning Commission Options**

The Planning Commission has the option to approve, approve with conditions, or deny the amended final site plan and recommend approval, approval with modifications, or denial of the development agreement amendment to the Township Board.

### **Attachments:**

1. Letter from Craig Piasecki dated February 9, 2022.
2. Amended final site plan dated October 5, 2018, November 8, 2018, November 29, 2018, and January 6, 2022 (revision date March 15, 2022).

LISA J. HAMAMEH  
lhamameh@rsjalaw.com

27555 Executive Drive, Suite 250  
Farmington Hills, Michigan 48331  
P 248.489.4100 | F 248.489.1726  
rsjalaw.com

Section 6, Item A.



ROSATI | SCHULTZ  
JOPPICH | AMTSBUECHLER

March 30, 2022

via email [soneil@whitelaketwp.com](mailto:soneil@whitelaketwp.com)

Sean O'Neil  
White Lake Township  
7525 Highland Road  
White Lake, Michigan 48383

**RE: 4<sup>th</sup> Review of First Amendment to Planned Development Agreement  
Preserve at Hidden Lake**

Dear Sean:

You asked that we review of the proposed First Amendment to Planned Development Agreement for the Preserve at Hidden Lake sent by transmittal sheet dated March 17, 2022. Our comments follow.

1. As stated in previous correspondence, prior to the execution of this Amendment, the Developer must provide documentation evidencing ownership of the Property. In addition, a company resolution authorizing the signer to execute the Agreement on behalf of the LLC is required.
2. We defer to Mr. Quagliata and Mr. Leuffgen regarding the accuracy/completeness of the variances listed in Paragraph 1.4.
3. The revised language in Paragraph 1.4 regarding the setback for decks and/or patios is confusing. As written, it excludes "excepted lake units" from having to comply with the rear yard setback for decks and/or patios. If the intent is to grant waivers/modifications from the setback for decks and/or patios for "excepted lake units" it should so state.
4. As stated in previous correspondence, the Retention Basin provision in Paragraph 1.4 (the last sentence) is not a "variance and/or modification" of the Township's zoning provisions so its inclusion in this section is not appropriate. A new paragraph should be included as a condition of approval for the new requirements regarding the Retention Basin.

Additionally, as stated in previous correspondence, Developer fails to propose a solution to the Township Board's concern regarding the Retention Basin flooding events. While a sentence was added that developer "shall be required to take whatever action is necessary to alleviate flooding," the direction from the Township Board was to include an actual solution for a flooding event.

5. Paragraph 2.5 was revised to add "the placement of decks and/or patios within the storm sewer easement." However, the Township requested indemnification regarding any damage or injury resulting from the Township's work within the storm sewer easement in the event the Developer or Association fails to properly maintain the easement as required by the PD Agreement.
6. The Township should consider whether it desires the Developer record the document as provided in Paragraph 4. In any case, the document should be "Returned to" the Township.
7. We defer comments on Exhibit 1, Exhibit 2 and the Overall Hidden Lake Unit Setback Clarification, which should all be incorporated into Agreement, to the Township Engineer.

If you have any additional questions or would like to discuss this matter further, please call.

Very truly yours,

ROSATI SCHULTZ JOPPICH  
& AMTSBUECHLER PC



Lisa J. Hamameh

cc: Mike Leuffgen

2/9/2022

Mr. Sean O’Neil  
White Lake Township  
Planning Department  
7525 Highland Road  
White Lake, MI 48383

Mr. O’Neil,

Preserve at Hidden Lake LLC is requesting an amendment to the approved Preserve at Hidden Lake site plan dated 5/6/2021. Revised site plan was submitted on 2/2/2022. This amendment will include clarifying existing conditions on the approved site plan. We are not making any changes to the approved site plan we are simply adding notes/dimensions (Waivers)as follows:

**Rear setback from Arcadia Lane**

- Unit 69-20.3’
- Unit 70-27.5’
- Unit 71-26.2’
- Unit 72-25’
- Unit 73-23.3’
- Unit 74-28.4’

**Rear setback from Union Lake Rd**

- Unit 89-25’
- Unit 97-30’

**Side yard setback from Hutchins Rd**

- Unit 88-25.4’
- Unit 89-25’

**Portion of rear patio’s located in storm sewer easement**

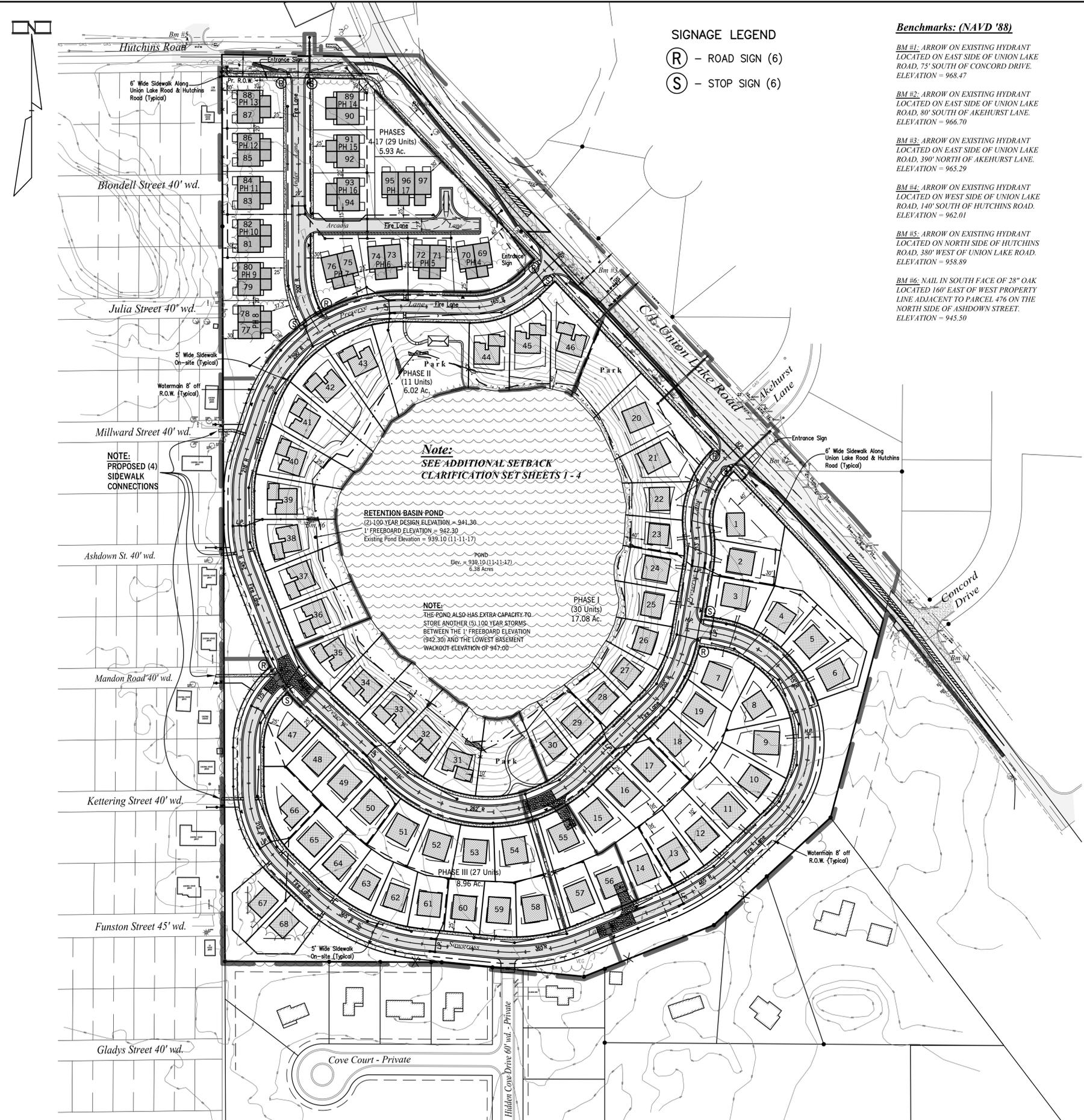
- Units 89 through 94 - 5’
- Unit 70 – 1.2’
- Unit 71 – 6.1’
- Unit 72 – 7.1’
- Unit 73 – 8.6’
- Unit 74 – 4.9’

**Lake Units: Approved by the WLT Board 1/18/2022 Building envelop/back of house will be a minimum of 25’ from the water’s edge. Decks will be a maximum of 12’ in the 25’ setback only if necessary.**

**Unit 22,23,25,27, 31-46**

Sincerely,

Craig Piasecki  
Member  
Preserve at Hidden Lake, LLC



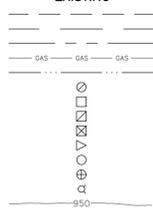
### SIGNAGE LEGEND

- (R) - ROAD SIGN (6)
- (S) - STOP SIGN (6)

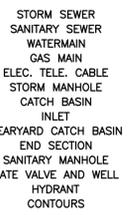
### Benchmarks: (NAVD '88)

- BM #1: ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 75' SOUTH OF CONCORD DRIVE. ELEVATION = 968.47
- BM #2: ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 80' SOUTH OF AKEHURST LANE. ELEVATION = 966.70
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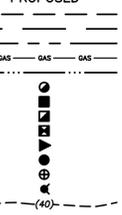
### EXISTING



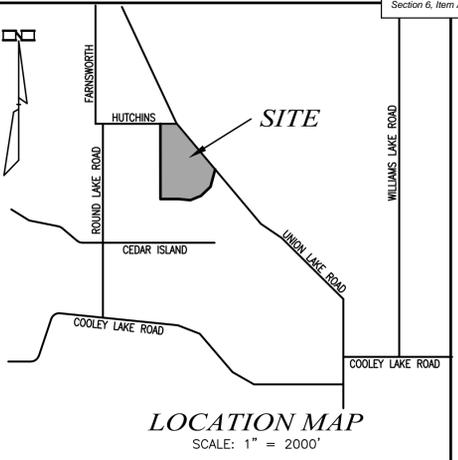
### LEGEND



### PROPOSED



LOT #	AREA	LOT #	AREA
1	13,436 SF/0.31 acres	35	11,556 SF/0.27 acres
2	8,811 SF/0.20 acres	36	12,382 SF/0.28 acres
3	9,274 SF/0.21 acres	37	12,167 SF/0.28 acres
4	8,264 SF/0.19 acres	38	11,886 SF/0.27 acres
5	8,752 SF/0.20 acres	39	12,133 SF/0.28 acres
6	8,777 SF/0.20 acres	40	12,652 SF/0.29 acres
7	9,689 SF/0.22 acres	41	14,442 SF/0.34 acres
8	8,449 SF/0.19 acres	42	14,742 SF/0.34 acres
9	9,842 SF/0.23 acres	43	13,610 SF/0.31 acres
10	9,683 SF/0.22 acres	44	10,764 SF/0.25 acres
11	10,659 SF/0.24 acres	45	12,772 SF/0.29 acres
12	9,068 SF/0.21 acres	46	13,793 SF/0.32 acres
13	8,881 SF/0.20 acres	47	9,939 SF/0.23 acres
14	8,040 SF/0.18 acres	48	7,462 SF/0.17 acres
15	8,979 SF/0.21 acres	49	7,686 SF/0.18 acres
16	8,790 SF/0.20 acres	50	8,299 SF/0.19 acres
17	9,100 SF/0.21 acres	51	8,720 SF/0.20 acres
18	9,460 SF/0.22 acres	52	8,454 SF/0.19 acres
19	8,598 SF/0.20 acres	53	8,028 SF/0.18 acres
20	18,607 SF/0.43 acres	54	8,931 SF/0.21 acres
21	10,891 SF/0.25 acres	55	8,604 SF/0.20 acres
22	8,100 SF/0.19 acres	56	7,917 SF/0.18 acres
23	7,490 SF/0.17 acres	57	7,413 SF/0.17 acres
24	9,031 SF/0.21 acres	58	8,001 SF/0.18 acres
25	8,087 SF/0.19 acres	59	7,070 SF/0.16 acres
26	7,968 SF/0.18 acres	60	7,231 SF/0.17 acres
27	7,636 SF/0.18 acres	61	7,063 SF/0.16 acres
28	7,912 SF/0.18 acres	62	7,045 SF/0.16 acres
29	8,540 SF/0.20 acres	63	7,090 SF/0.16 acres
30	8,438 SF/0.19 acres	64	7,371 SF/0.17 acres
31	11,649 SF/0.26 acres	65	7,715 SF/0.18 acres
32	11,863 SF/0.27 acres	66	10,551 SF/0.24 acres
33	12,200 SF/0.28 acres	67	9,355 SF/0.21 acres
34	11,860 SF/0.27 acres	68	9,216 SF/0.21 acres



### UTILITY INFORMATION

A 12' WIDE PERMANENT PRIVATE EASEMENT FOR WATER SUPPLY SYSTEM GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN.

A 20' WIDE PERMANENT PRIVATE EASEMENT FOR SANITARY SEWER SYSTEM GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN.

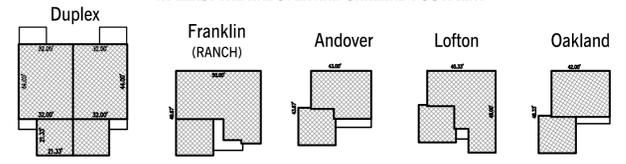
A 20' WIDE PERMANENT PRIVATE EASEMENT FOR STORM SEWER SYSTEM GRANTED TO WHITE LAKE TOWNSHIP AND CENTERED ON THE UTILITY AS SHOWN.

APPROPRIATE EASEMENTS FOR PROPOSED SANITARY SEWER AND WATER MAINS WILL BE DEDICATED TO WHITE LAKE TOWNSHIP BY SEPARATE DOCUMENTS.

ALL PRIVATE ROADWAYS ARE A PERMANENT EASEMENT FOR INGRESS/EGRESS AND OPERATION/MAINTENANCE OF THE WATER SUPPLY SYSTEM AND SANITARY SEWER SYSTEM.

### TYPICAL BUILDING FOOTPRINTS

ALL SINGLE FAMILY UNITS AS DESIGNED WILL ACCOMMODATE AT LEAST THE ANDOVER AND OAKLAND FOOTPRINT



### As Surveyed (Total Parcel)

PART OF THE NORTHWEST 1/4 OF SECTION 36, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT THE NW CORNER OF SECTION 36, T3N, R8E; TH S 89°00'59" E 323.66 FT TO A POINT ON THE CENTERLINE OF UNION LAKE ROAD; TH ALONG SAID CENTERLINE S 24°10'25" E 4.31 FT; TH S 43°23'32" E 463.24 FT; TH N 89°00'59" W 46.17 FT TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF UNION LAKE ROAD; TH ALONG SAID RIGHT-OF-WAY S 43°23'32" E (REC. AS S 43°45'20" E) 839.31 FT; TH ALONG SAID RIGHT-OF-WAY BEING A CURVE TO THE RIGHT 189.89 FT (REC. AS 181.81 FT), SAID CURVE HAVING A RADIUS OF 2831.93 FT, A DELTA OF 03°50'31" AND A LONG CHORD OF S 39°47'49" E 189.86 FT (REC. AS S 41°55'00" E 181.78 FT); TH S 14°57'09" W 400.35 FT (REC. AS S 15°00'00" W 418.26 FT & 412.17 FT); TH S 47°26'59" W (REC. AS S 46°30'00" W) 310.00 FT; TH S 68°27'06" W 229.86 FT TO THE NE CORNER OF "HIDDEN COVE" CONDOMINIUM, O.C.C.P. NO. 1097; TH THE FOLLOWING THREE COURSES ALONG THE NORTH LINE OF SAID "HIDDEN COVE" CONDOMINIUM S 68°27'06" W 43.95 FT (REC. AS S 68°00'00" W 43.57 FT) AND N 84°15'40" W (REC. AS N 84°30'00" W) 280.00 FT AND TH N 89°43'40" W 424.46 FT (REC. AS WEST 426.99 FT) TO THE NW CORNER OF SAID "HIDDEN COVE" CONDOMINIUM BEING A POINT ON THE WEST LINE OF SECTION 36; TH ALONG SAID WEST LINE N 00°12'01" W 1768.32 FT TO THE POINT OF BEGINNING. CONTAINING 37.99 ACRES. SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTH 33 FT FOR HUTCHINS ROAD AND THE NORTHEASTERLY 33 FT FOR UNION LAKE ROAD. ALSO SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

### Sheet Index:

1. Overall Site Plan
2. Existing Conditions Plan
3. Final Site Plan - North
4. Final Site Plan - South
5. Retention Basin Calculations, Details & Notes
6. Storm Sewer Profiles
7. Storm Sewer Calculations & Details

### Sheet Index - Setback Clarification Set:

1. Overall Hidden Lake Unit Setback Clarification
2. Hidden Lake Unit Setback Clarification - North
3. Hidden Lake Unit Setback Clarification - South
4. Cottage Homes Setback Clarification Plan

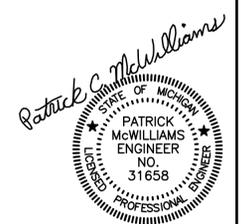
## Exhibit 1

### Overall Final Site Plan

"Preserve at Hidden Lake"

WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'  
SHEET 1 OF 7  
KE 2017.182



DATE	ISSUE
2-24-2021	PER CLIENT REVISED PHASE 2, 3 & 4 (1-22-2021)
3-25-2021	PER DL7 (3-11-2021) & MCKENNA (3-11-2021)
5-6-2021	PER DL7 (4-27-2021) & MCKENNA (3-28-2021)
6-14-2021	CLIENT REVISED DUPLEX & TRIPLEX UNIT
7-9-2021	PER DL7 (7-1-2021)
7-2-2022	ADDED SETBACK CLARIFICATION SHIS PER TWP (1-25-2022)
7-15-2022	PER DL7 (6-11-2022) & 2-16-2022

**PROPRIETOR:**  
Preserve at Hidden Lake, LLC  
8255 CASCADE AVENUE, SUITE 110  
COMMERCE TOWNSHIP, MICHIGAN 48382  
(248) 842-8613

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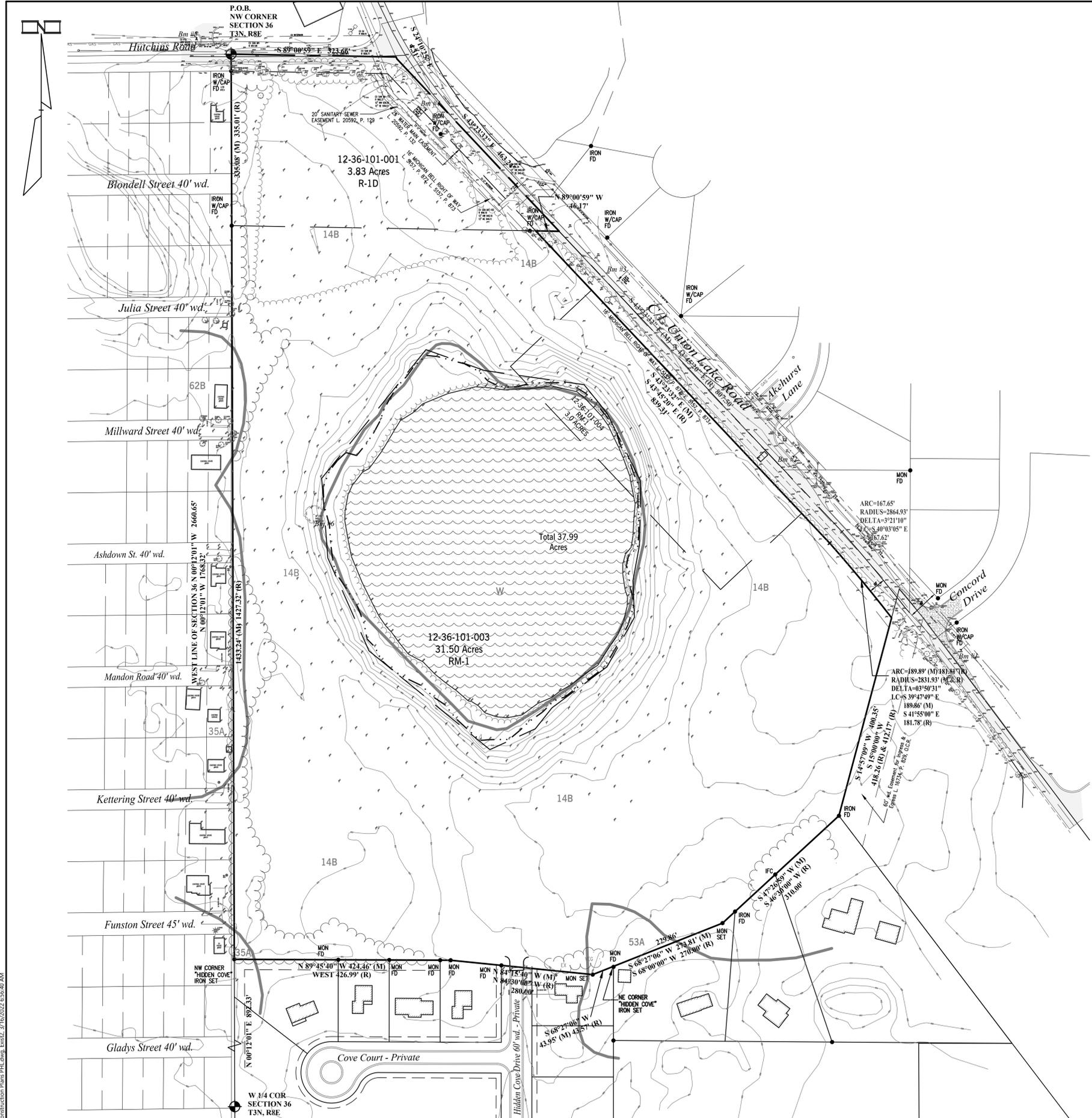
**KIEFT ENGINEERING, INC.**  
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS  
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346  
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE	10-5-18	CKD. BY	DATE
DRAWN GF			
DESIGN JUS			
SECTION	36	T-3-N-R-8-E	



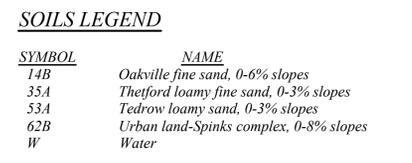
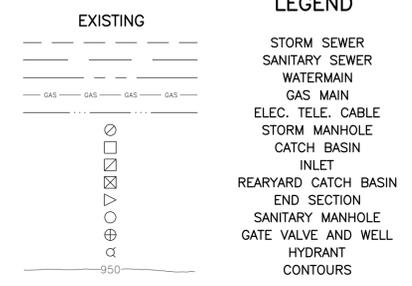
72 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

C:\2017\182\Draw\Construction Plans PHL.dwg, Overall 1, 3/16/2022 9:35:32 AM



**Benchmarks: (NAVD '88)**

- BM #1:** ARROW ON EXISTING HYDRANT LOCATED ON EAST SIDE OF UNION LAKE ROAD, 75' SOUTH OF CONCORD DRIVE. ELEVATION = 968.47
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DATE	ISSUE
11-30-18	PER J & A (11-13-18)
4-23-19	ADDED EASEMENTS
7-24-2021	PER CLIENT REQUEST PHASE 2 & 4 (1-22-2021)
3-25-2021	PER DLZ (3-11-2021) & MCKENNA (3-11-2021)
5-6-2021	PER DLZ (4-27-2021) & MCKENNA (4-28-2021)
8-15-2022	PER DLZ (3-11-2022 & 2-16-2022)

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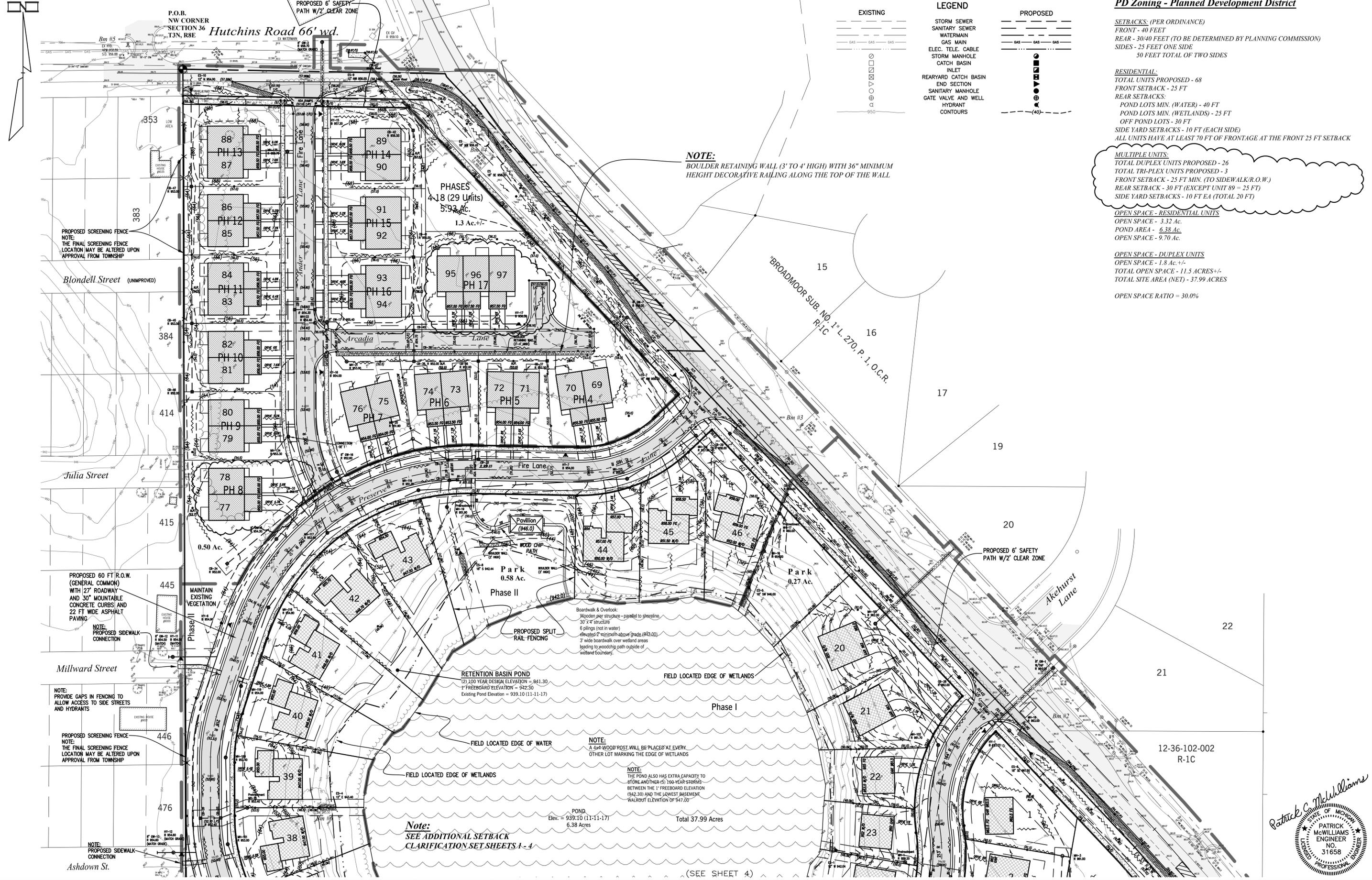
DATE 11-8-18	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 36	T- 3 - N - R - 8 - E	



**Existing Conditions Plan**  
**"Preserve at Hidden Lake"**  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'
SHEET 2 OF 7
KE 2017.182

©2017,18,2021 Construction Plans P.L.L.C., East 3, 16/2022, 6:56:40 AM



**PD Zoning - Planned Development District**

**SETBACKS: (PER ORDINANCE)**  
 FRONT - 40 FEET  
 REAR - 30/40 FEET (TO BE DETERMINED BY PLANNING COMMISSION)  
 SIDES - 25 FEET ONE SIDE  
 50 FEET TOTAL OF TWO SIDES

**RESIDENTIAL:**  
 TOTAL UNITS PROPOSED - 68  
 FRONT SETBACK - 25 FT  
 REAR SETBACKS:  
 POND LOTS MIN. (WATER) - 40 FT  
 POND LOTS MIN. (WETLANDS) - 25 FT  
 OFF POND LOTS - 30 FT  
 SIDE YARD SETBACKS - 10 FT (EACH SIDE)  
 ALL UNITS HAVE AT LEAST 70 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK

**MULTIPLE UNITS:**  
 TOTAL DUPLEX UNITS PROPOSED - 26  
 TOTAL TRI-PLEX UNITS PROPOSED - 3  
 FRONT SETBACK - 25 FT MIN. (TO SIDEWALK/R.O.W.)  
 REAR SETBACK - 30 FT (EXCEPT UNIT 89 = 25 FT)  
 SIDE YARD SETBACKS - 10 FT EA (TOTAL 20 FT)

**OPEN SPACE - RESIDENTIAL UNITS**  
 OPEN SPACE - 3.32 Ac.  
 POND AREA - 6.38 Ac.  
 OPEN SPACE - 9.70 Ac.

**OPEN SPACE - DUPLEX UNITS**  
 OPEN SPACE - 1.8 Ac +/-  
 TOTAL OPEN SPACE - 11.5 ACRES +/-  
 TOTAL SITE AREA (NET) - 37.99 ACRES

OPEN SPACE RATIO = 30.0%

**NOTE:**  
 BOULDER RETAINING WALL (3' TO 4' HIGH) WITH 36" MINIMUM HEIGHT DECORATIVE RAILING ALONG THE TOP OF THE WALL

**Note:**  
 SEE ADDITIONAL SETBACK CLARIFICATION SET SHEETS 1-4

P.O.B. NW CORNER SECTION 36 T3N, R8E Hutchins Road 66' wd.

PROPOSED 6' SAFETY PATH W/2' CLEAR ZONE

PROPOSED SCREENING FENCE  
 NOTE: THE FINAL SCREENING FENCE LOCATION MAY BE ALTERED UPON APPROVAL FROM TOWNSHIP

Blondell Street (UNIMPROVED)

Julia Street

Millward Street

Ashdown St.

PROPOSED 60 FT R.O.W. (GENERAL COMMON) WITH 27' ROADWAY AND 30" MOUNTABLE CONCRETE CURBS AND 22 FT WIDE ASPHALT PAVING  
 NOTE: PROPOSED SIDEWALK CONNECTION

NOTE: PROVIDE GAPS IN FENCING TO ALLOW ACCESS TO SIDE STREETS AND HYDRANTS

PROPOSED SCREENING FENCE  
 NOTE: THE FINAL SCREENING FENCE LOCATION MAY BE ALTERED UPON APPROVAL FROM TOWNSHIP

NOTE: PROPOSED SIDEWALK CONNECTION

PROPOSED 6' SAFETY PATH W/2' CLEAR ZONE

**LEGEND**

**EXISTING**

- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- GAS MAIN
- ELEC. TELE. CABLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- REARYARD CATCH BASIN
- END SECTION
- SANITARY MANHOLE
- GATE VALVE AND WELL
- HYDRANT
- CONTOURS

**PROPOSED**

- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- GAS MAIN
- ELEC. TELE. CABLE
- STORM MANHOLE
- CATCH BASIN
- INLET
- REARYARD CATCH BASIN
- END SECTION
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- CONTOURS

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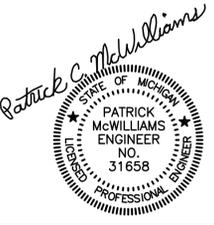
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DATE 11-8-18	CKD. BY DATE
DRAWN GF	
DESIGN JJS	

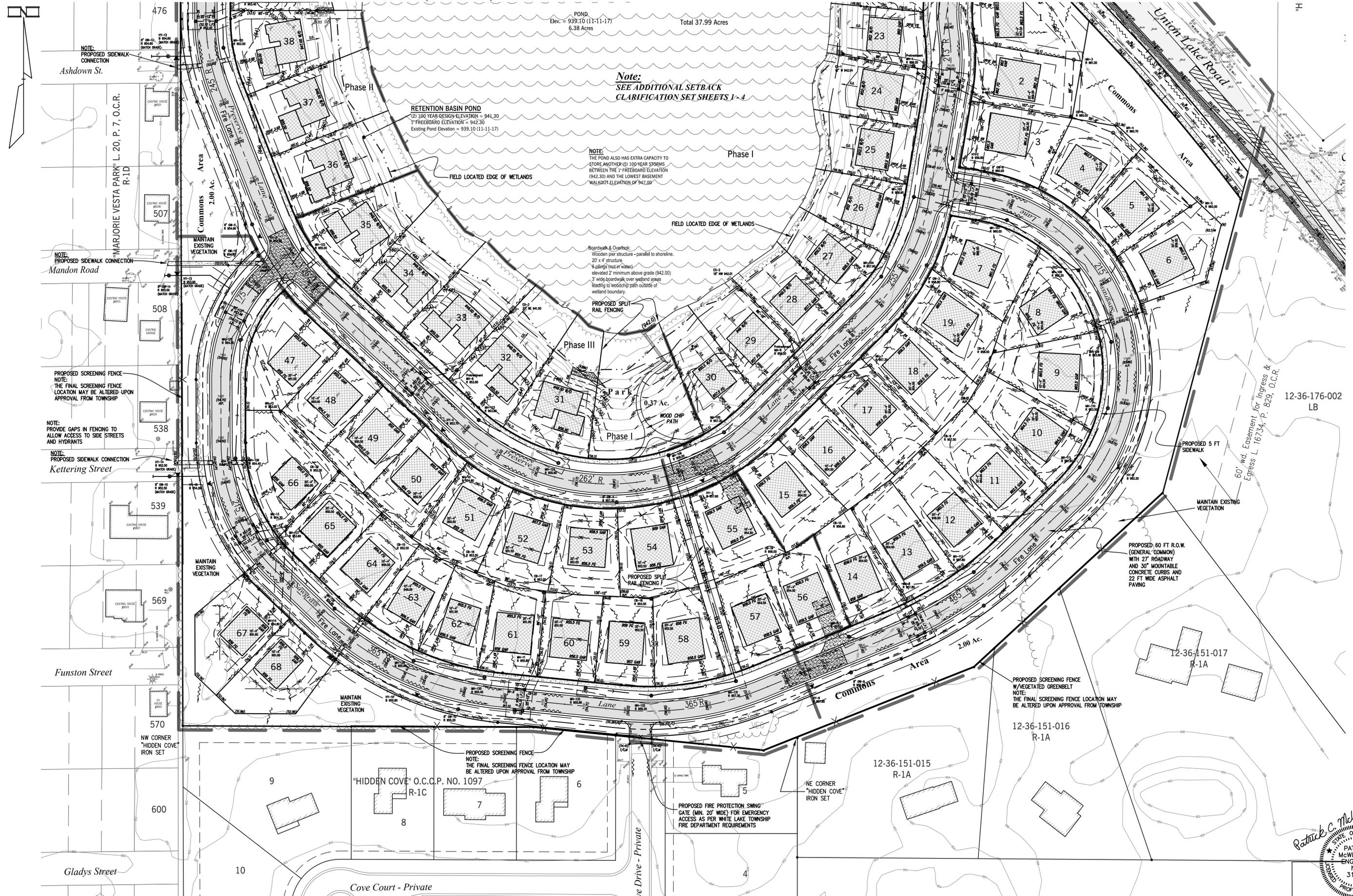
72 HOURS (5 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)

**Final Site Plan - North**  
 "Preserve at Hidden Lake"  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 50'
SHEET 3 OF 7
KE 2017.182



(SEE SHEET 3)



NOTE: PROPOSED SIDEWALK CONNECTION  
Ashdown St.

NOTE: PROPOSED SIDEWALK CONNECTION  
Mandon Road

NOTE: PROPOSED SCREENING FENCE  
NOTE: THE FINAL SCREENING FENCE LOCATION MAY BE ALTERED UPON APPROVAL FROM TOWNSHIP

NOTE: PROVIDE GAPS IN FENCING TO ALLOW ACCESS TO SIDE STREETS AND HYDRANTS

NOTE: PROPOSED SIDEWALK CONNECTION  
Kettering Street

NOTE: PROPOSED SIDEWALK CONNECTION  
Funston Street

NOTE: PROPOSED SIDEWALK CONNECTION  
Gladys Street

NOTE: PROPOSED SIDEWALK CONNECTION  
Cove Court - Private

COMMONS AREA  
2.00 AC.

COMMONS AREA  
2.00 AC.

RETENTION BASIN POND  
(2) 100 YEAR-DESIGN-ELEVATION = 941.30  
1' FREEBOARD ELEVATION = 942.30  
Existing Pond Elevation = 939.10 (11-11-17)  
6.38 Acres

Note:  
SEE ADDITIONAL SETBACK  
CLARIFICATION SET SHEETS 1-4

NOTE:  
THE POND ALSO HAS EXTRA CAPACITY TO  
STORE ANOTHER (5) 100-YEAR STORMS  
BETWEEN THE 1' FREEBOARD ELEVATION  
(942.30) AND THE LOWEST BASEMENT  
WALKOUT ELEVATION OF 942.00'

Boardwalk & Overlook:  
Wooden pier structure - parallel to shoreline.  
20' x 4' structure  
3' planks (incl. air wales)  
elevated 2' minimum above grade (942.00)  
3' wide boardwalk over wetland areas  
leading to woodchip path outside of  
wetland boundary.

PROPOSED SPLIT  
RAIL FENCING  
(92.0)

WOOD CHIP  
PATH

PROPOSED SPLIT  
RAIL FENCING

PROPOSED SPLIT  
RAIL FENCING

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PROPOSED SPLIT  
RAIL FENCING

DATE	ISSUE
1-11-19	PER J & A (12-19-18) McNamee (12-18-18) DPS
2-24-2021	PER CLIENT REVISED PHASE 2, 3 & 4 (1-22-2021)
3-25-2021	PER DIZ (3-11-2021) & MCKENNA (3-11-2021)
5-19-2021	PER DIZ (4-27-2021) & MCKENNA (4-28-2021)
6-14-2021	CLIENT REVISED DUPLEX & TRIPLEX UNIT
2-2-2022	ADDED SETBACK CLARIFICATION SHS PER TWP (1-25-2022)
3-15-2022	PER DIZ (3-11-2022) & 2-16-2022

**PROPRIETOR:**  
Preserve at Hidden Lake, LLC  
8255 CASCADE AVENUE, SUITE 110  
COMMERCE TOWNSHIP, MICHIGAN 48382  
(248) 842-8613

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PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE 11-8-18	CKD. BY	DATE
DRAWN GF		
DESIGN JJS		
SECTION 36	T-3-N-R-8-E	



**Final Site Plan - South**  
"Preserve at Hidden Lake"  
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 50'
SHEET 4 OF 7
KE 2017.182

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GENERAL NOTES

- 1) PROPERTY SIDWELL NUMBER 12-36-101-001, -003, -004
2) ZONING PD - PLANNED DEVELOPMENT
3) PROPOSED USE: SINGLE FAMILY RESIDENTIAL (SITE CONDOMINIUM), DUPLEX UNITS & A SINGLE UNIT.
4) MINIMUM UNIT SIZE PROPOSED: 7,045 SF (UNIT 21), WIDTH 70 FEET, AVERAGE UNIT SIZE 9,416 SF.
5) PROPOSED SETBACK REQUIREMENTS:
RESIDENTIAL:
TOTAL UNITS PROPOSED - 68
FRONT SETBACK - 25 FT
REAR SETBACKS:
POND UNITS MIN. (WATER) - 40 FT
POND UNITS MIN. (WETLANDS) - 25 FT
OFF POND UNITS - 30 FT
SIDE YARD SETBACKS - 10 FT (EACH SIDE)
ALL UNITS HAVE AT LEAST 70 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK
DUPLEX UNITS:
TOTAL DUPLEX UNITS PROPOSED - 26
TOTAL TRI-PLEX UNITS PROPOSED - 1
FRONT SETBACK - 25 FT MIN. (TO SIDEWALK EXCEPT UNIT 78 = 21 FT TO R.O.W.)
REAR SETBACK - 30 FT (EXCEPT UNIT 89 = 25 FT)
SIDE YARD SETBACKS - 10 FT EA (TOTAL 20 FT)
6) STREETS ARE 60 FOOT WIDE RIGHT-OF-WAY W/27 FT WIDE ASPHALT W/CONCRETE CURB AND GUTTER (5,600 LF TOTAL ROAD LENGTH) - THE DEVELOPER INTENDS ALL ROADS TO BE PRIVATE.
7) NUMBER OF UNITS: SINGLE FAMILY = 68, DUPLEX UNITS = 26, SINGLE UNIT = 1.
8) SEWAGE DISPOSAL: TO BE CONNECTED TO MUNICIPAL SANITARY SEWER SYSTEM ALONG UNION LAKE ROAD.
9) WATER SUPPLY: AN 8" WATERMAIN IS PROPOSED TO BE CONNECTED TO THE MUNICIPAL WATERMAIN AT TWO LOCATIONS, ONE ALONG UNION LAKE ROAD AND ONE ALONG HUTCHINS ROAD.
10) PERMIT REQUIRED FROM OAKLAND ROAD COMMISSION FOR CONNECTIONS TO UNION LAKE ROAD AND HUTCHINS ROAD
11) SOIL EROSION PERMIT REQUIRED FROM OAKLAND COUNTY WATER RESOURCE COMMISSION.
12) ALL ROADWAYS WILL BE 22' WIDE ASPHALT WITH 30" MOUNTABLE CONCRETE CURB AND GUTTER (27' WIDE TOTAL).
13) PUBLIC UTILITIES (GAS, ELECTRIC, TELEPHONE & CABLE) SHALL BE INSTALLED UNDERGROUND.
14) PHOSPHOROUS BASED LAWN FERTILIZERS WILL NOT BE ALLOWED.
15) NO BRUSH OR GRASS CLIPPINGS WILL BE STORED OR DISPOSED OF INTO THE COMMON/PARK AREAS OR WETLANDS.
16) ALL YARD WASTE TO BE REMOVED FROM SITE.
17) PUBLIC SIDEWALKS ARE PROPOSED AS PER EXISTING ORDINANCE REQUIREMENTS.
18) INDIVIDUAL PLOT PLANS AND GRADING SHALL BE PREPARED BY A LICENSED ENGINEER OR SURVEYOR.
19) PROPOSED SITE GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE WHERE OFF-SITE GRADING RIGHTS DO NOT EXIST.
20) ALL DISTURBED AREAS SHALL BE RE-VEGETATED.
21) POND RETENTION BASIN SIDE SLOPES SHALL BE LEFT NATURAL. IT IS LIKELY THAT TO OBTAIN WALKOUTS ON THE POND UNITS, SOME GRADING MAY BE REQUIRED WITHIN THE 25' WETLANDS SETBACK AREA.
22) REAR AND SIDE-YARD DRAINAGE EASEMENTS WILL BE SHOWN ON THE GRADING PLAN.
23) ALL FINAL ROAD GRADES WILL COMPLY WITH ROAD COMMISSION FOR OAKLAND COUNTY STANDARDS.
24) TYPICAL UNIT COVERAGE: AVERAGE HOUSE FOOTPRINT = 2,100 SF, AVERAGE DRIVEWAY = 750 SF;
TYPICAL UNIT COVERAGE % = 2,850 SF/9,416 SF = 30% (OR LESS)
25) REQUIRED PERMITS/APPROVALS:
-WHITE LAKE TOWNSHIP - ENGINEERING PLANS APPROVAL
-O.C.W.R.C. - SOIL EROSION PERMIT
-O.C.W.R.C. - WATERMAIN APPROVAL
-O.C.W.R.C. - SANITARY SEWER APPROVAL
-M.D.E.O. - WATERMAIN PERMIT
-M.D.E.O. - SANITARY SEWER PERMIT
-M.D.E.O. - NPDES NOTICE OF COVERAGE PERMIT
-M.D.E.O. - WETLANDS (STORM DISCHARGE) PERMIT
-R.C.O.C. - APPROACH & UNDERGROUND PERMITS
26) THERE ARE WETLANDS ON THIS SITE.
27) EACH HOME SHALL HAVE A 2 CAR GARAGE AND DRIVEWAYS WHICH WILL ACCOMMODATE THE REQUIRED OFF-STREET PARKING.
28) OFF-SITE IMPROVEMENTS SHALL BECOME PUBLIC.
29) ALL SIDEWALKS MUST COMPLY WITH ADA STANDARDS.
30) NO STREET LIGHTING IS PROPOSED. EXTERIOR LIGHTS SHALL BE INSTALLED ON INDIVIDUAL HOMES, DUPLEXES & SINGLE UNIT.
31) SCREENING FENCE (6" HIGH VINYL CLAD) SHALL BE PROVIDED ALONG SOME OF THE PROPERTY LINES AS SHOWN ON THE LANDSCAPE PLAN OR AS DETERMINED AFTER SITE CLEARING AND CONSTRUCTION HAS BEEN COMPLETED.
32) TRASH PICKUP FOR THE HOMES AND DUPLEXES WILL BE CURBSIDE.
33) PARKING IS NOT ALLOWED ON THE ROAD CONNECTING TO HUTCHINS ROAD. PARKING IS ALLOWED ON ONE SIDE ONLY ALONG HIDDEN LANE AND PRESERVE LANE (OPPOSITE THE FIRE HYDRANTS/WATERMAIN).
34) FIRE LANES PROVIDED ALONG ALL (3) ROADS & DUPLEX DRIVES (27' WIDE).
35) INDIVIDUAL BUILDING ADDRESSES SHALL BE 6" MINIMUM.

"C" CALCULATION

ROADS & APPROACHES:
ROADS = 151,200 SF
APPROACHES = 6,525 SF
157,725 SF

PARKING AREAS:
36,950 SF

DRIVEWAYS:
80,700 SF

SIDEWALKS:
63,260 SF

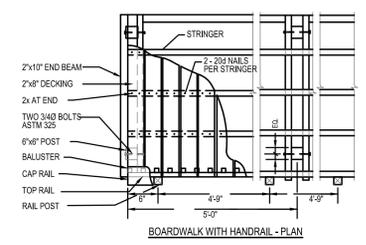
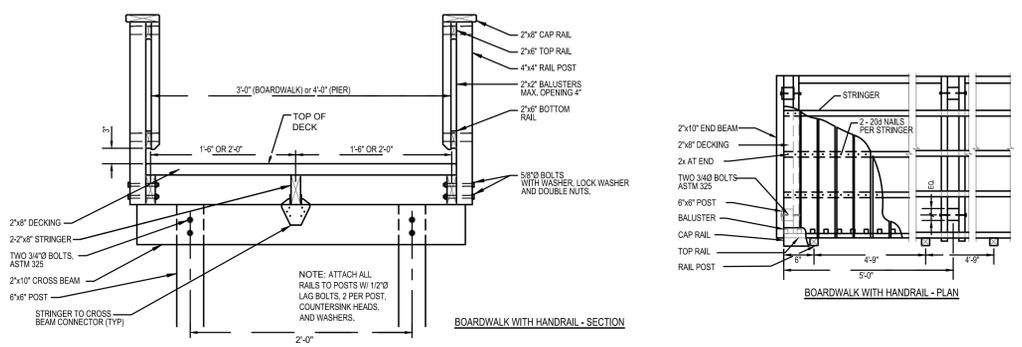
TOTAL PAVEMENT WALKS: 338,635 SF = 7.78 ACRES @ C = 0.80

ROOF AREAS:

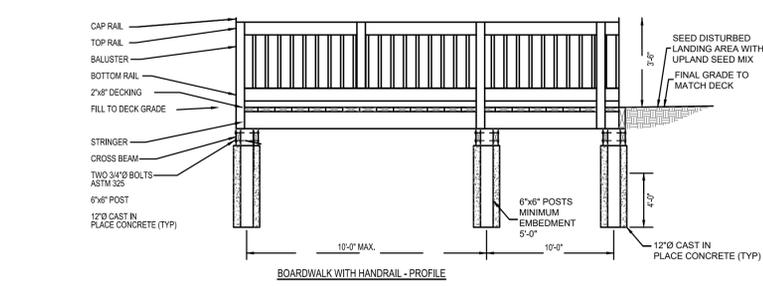
SINGLE FAMILY = 136,000 SF
3 PLEX HOMES = 5,700 SF
DUPLEX HOMES = 22,800 SF
TOWNHOMES = 25,900 SF
=190,400 SF = 4.37 ACRES @ C = 0.90

RETENTION BASIN/POND AREA: 6.38 ACRES @ C = 1.00
GREENBELT AREAS: 19.46 ACRES @ C = 0.20
TOTAL AREA = 37.99 ACRES

C = (7.78 Acres x 0.80) + (4.37 Acres x 0.90) + (6.38 Acres x 1.00) + (19.46 Acres x 0.20) = 0.5377 = 0.54
37.99 Ac. 37.99 Ac. 37.99 Ac. 37.99 Ac.



- NOTES:
1. ALL BOARDWALKS SHALL BE SITUATED SO THAT BOTTOM OF BEAM SHALL BE A MINIMUM OF 6 INCHES ABOVE THE 100-YEAR WATER ELEVATION FOR THE SPECIFIC WETLAND/POND.
2. ALL BOARDWALKS SHALL HAVE CONCRETE FOOTINGS THAT EXTEND A MINIMUM DEPTH OF 48 INCHES BELOW FINISH GRADE (FROST DEPTH).
3. ALL BOARDWALKS SHALL HAVE HANDRAILS WITH A MINIMUM HEIGHT OF 36 INCHES AND RAIL OPENINGS NO GREATER THAN 4 INCHES APART.
4. ALL BOARDWALK FINISH DECK ELEVATIONS SHALL MATCH FINISH GRADE ELEVATIONS OF ADJACENT PAVED PATH SURFACE.
5. ALL BOARDWALK CROSSINGS THROUGH MITIGATION WETLAND AREAS SHALL MINIMIZE DISTURBANCE TO WETLAND PLANTINGS. ALL DISTURBED AREAS SHALL BE RESTORED/REPAIRED PER WETLAND MITIGATION SPECIFICATIONS FOR THIS PROJECT.



- NOTE:
1. REFER TO MDT SPECIFICATION SECTION 5.15 - TIMBER STRUCTURES FOR INFORMATION ON MATERIALS AND INSTALLATION. ALL BOARDWALK DESIGN SHALL BE IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCT ASSOCIATION'S NATIONAL DESIGN SPECIFICATION AND THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION'S TIMBER CONSTRUCTION MANUAL.
2. ALL DECKING AND HANDRAIL TO BE RECYCLED LUMBER (TRUCK BRAND, "ORGANIC NATURAL" OR APPROVED EQUIVALENT).

(2) 100 YEAR RETENTION POND CALCULATIONS

ON-SITE CONTRIBUTING AREA TO POND (EXCLUDING PROPOSED R.O.W.'S) = 35.19 ACRES
UNION LAKE ROAD PROPOSED R.O.W. AREA = 1.65 ACRES
HUTCHINS ROAD PROPOSED R.O.W. AREA = 0.30 ACRES
OFF-SITE WEST AREAS = 0.27 ACRES
TOTAL ACTUAL CONTRIBUTING AREAS TO POND = 37.41 ACRES

NOTE: WE WILL STILL DESIGN FOR 37.99 ACRES (THE ORIGINAL PROPERTY ACREAGE) TO BE CONSERVATIVE.

ASSUMED DESIGN AREA 37.99 ACRES
TOTAL CONTRIBUTING AREA = 37.99 ACRES
AVERAGE RUNOFF COEFFICIENT (C) = 0.54
VOLUME (2) 100 YR = (2)(A)(C)(16,500) = (2)(37.99)(0.54)(16,500) = 676,982 CF

VOLUME PROVIDED:

- 939.10: 274,428 SF } 293,552 SF\_AV x 0.90' DEPTH = 264,196 CF
940.0: 312,677 SF } 319,950 SF\_AV x 1.3' DEPTH = 415,935 CF
941.30: 327,223 SF }
942.0: 339,223 SF } 680,131 CF PROVIDED

(NOTE: AT ELEVATION 942.0; WE HAVE 916,096 CF OF STORAGE VOLUME)

RETENTION POND/BASIN

EXISTING WATER ELEVATION = 939.10 (11-11-2017)
DESIGN HIGH WATER ELEVATION = 941.30 (2-100 YEAR STORM)
1' FREEBOARD ELEVATION = 942.30
POND REQUIRED = 676,982 C.F.
STORAGE PROVIDED = 680,131 C.F.

Storm Water Facilities Maintenance Plan

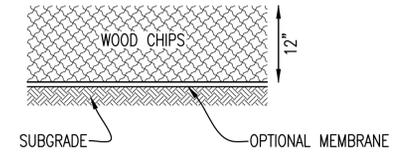
The "Preserve @ Hidden Lake" Homeowners Association shall be responsible for the maintenance of all the storm water facilities. (Note: The developer is responsible until the HOA exists).

These facilities include the following:

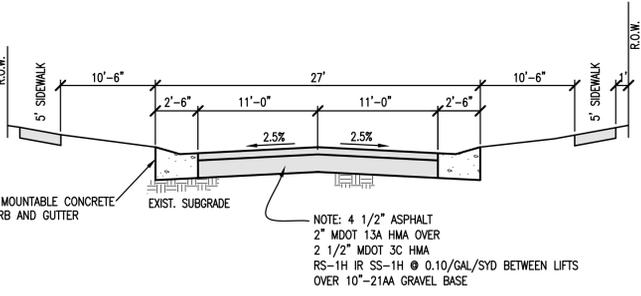
- Retention Basin Pond
Pretreatment Structure Manholes
Manholes, Rear Yard Catch Basins, End Sections & connecting pipe work
Rear yard swales (within easements)

The HOA shall hire a qualified contractor to do the following Maintenance Schedule (including report kept on record):

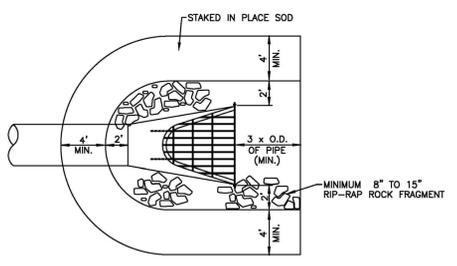
- 1. The (6) Pretreatment Structures shall be inspected by a qualified contractor on a semi-annual basis (twice/year) and necessary action taken to clean out the structures in accordance with the manufacturers guidelines.
2. The Pond shall be inspected on any annual basis by a qualified contractor and/or civil engineer to insure it is functioning as designed.
3. The storm structures & swales shall be inspected on a bi-annual basis (every two years). This is an "above ground" visual inspection to determine if any structures are "failing", (i.e. ground has sank around structure, etc.).



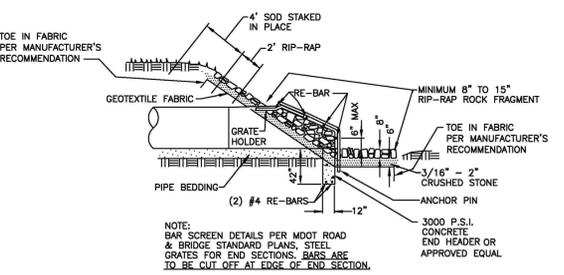
WOOD CHIP PATH



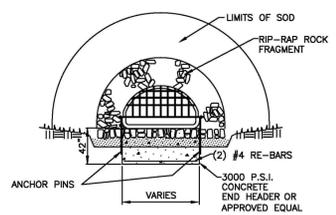
TYPICAL ROAD SECTION



PLAN VIEW



PROFILE VIEW



END VIEW

NO SCALE

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Table with columns for DATE, PER, J & A, and ISSUE. Includes revision history for the drawing.

PROPRIETOR:
Preserve at Hidden Lake, LLC
8255 CASCADE AVENUE, SUITE 110
COMMERCE TOWNSHIP, MICHIGAN 48382
(248) 842-8613



KIEFT ENGINEERING, INC.
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
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PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

Table with columns for DATE, CKD. BY, and DESIGN. Includes project details and design information.

Retention Basin Calculations, Details & Notes
"Preserve at Hidden Lake"
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

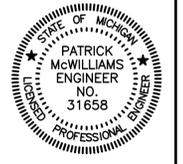
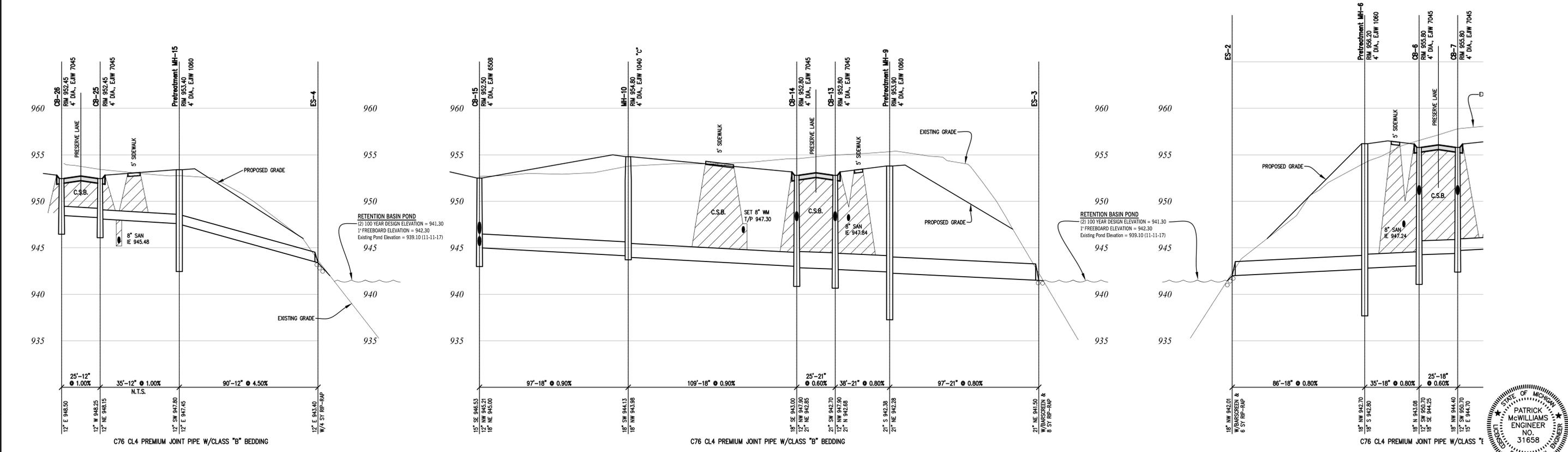
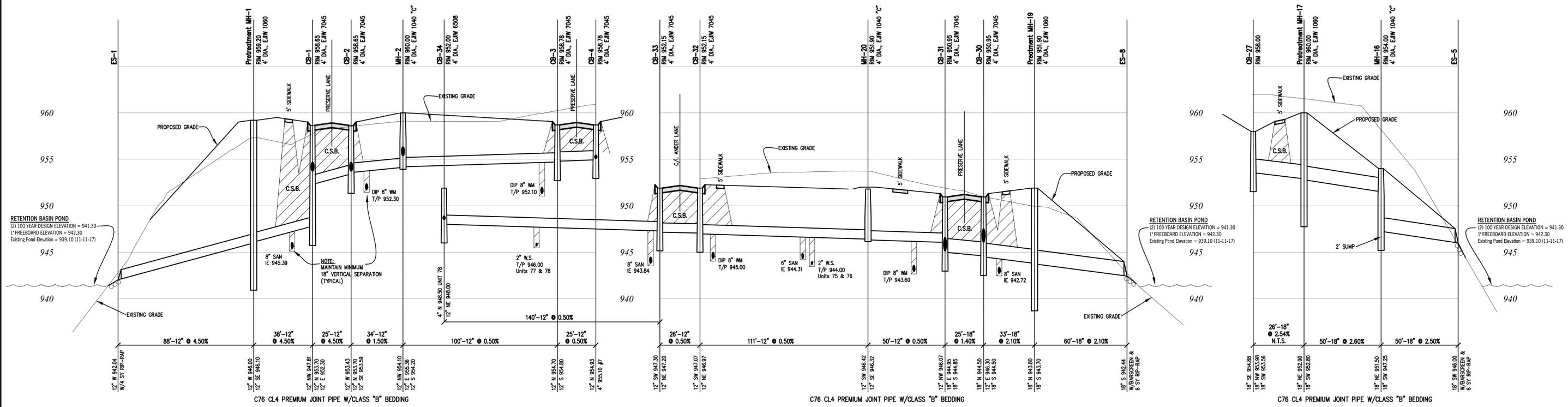


Table with columns for SCALE, SHEET, and SHEET NUMBER. Includes drawing identification and scale information.



DATE	ISSUE
11-30-18	PER J & A (11-13-18)
11-11-19	PER J & A (12-19-18), McKinnon (12-18-18), DGS
2-24-2021	PER CLIENT REVISED BASIS 2, 3 & 4 (1-27-2021)
3-25-2021	PER D17 (3-11-2021) & McKenna (3-11-2021)
6-14-2021	CLIENT REVISED DUPLEX & TRIPLEX UNIT

**PROPRIETOR:**  
 Preserve at Hidden Lake, LLC  
 8255 CASCADE AVENUE, SUITE 110  
 COMMERCE TOWNSHIP, MICHIGAN 48382  
 (248) 842-8613



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DATE 11-8-18	CKD. BY	DATE
DRAWN GF		
DESIGN JUS		
SECTION 36	T- 3 -N- R- 8 -E-	



**Storm Sewer Profiles**  
**"Preserve at Hidden Lake"**  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30' HORIZ. 1" = 5' VERT.
SHEET 6 OF 7
KE 2017.182

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### Stormceptor Sizing Detailed Report PCSWM for Stormceptor

Project Information	
Date	10/11/2018
Project Name	Preserve at Hidden Lake
Project Number	N/A
Location	White Lake Township

#### Stormwater Quality Objective

This report outlines how Stormceptor System can achieve a defined water quality objective through the removal of total suspended solids (TSS). Attached to this report is the Stormceptor Sizing Summary.

#### Stormceptor System Recommendation

The Stormceptor System model STC 450i achieves the water quality objective removing 80% TSS for a User defined particle size distribution.

#### The Stormceptor System

The Stormceptor oil and sediment separator is sized to treat stormwater runoff by removing pollutants through gravity separation and flotation. Stormceptor's patented design generates positive TSS removal for all rainfall events, including large storms. Significant levels of pollutants such as heavy metals, free oils and nutrients are prevented from entering natural water resources and the re-suspension of previously captured sediment (scour) does not occur.

Stormceptor provides a high level of TSS removal for small frequent storm events that represent the majority of annual rainfall volume and pollutant load. Positive treatment continues for large infrequent events, however, such events have little impact on the average annual TSS removal as they represent a small percentage of the total runoff volume and pollutant load.

Stormceptor is the only oil and sediment separator on the market sized to remove TSS for a wide range of particle sizes, including fine sediments (clays and silts), that are often overlooked in the design of other stormwater treatment devices.



### Pretreatment Structure

MH-1, 6.53 CFS (3.17 Acres, C=0.54)



#### Detailed Stormceptor Sizing Report - Catchment to MH-1

Project Information & Location			
Project Name	Preserve at Hidden Lake	Project Number	KE 2017.182
City	White Lake Tship	State/Province	Michigan
Country	United States of America	Date	10/11/2018
Designer Information		EOR Information (optional)	
Name	Daniel Thomson	Name	Patrick McWilliams
Company	Rinker Materials	Company	Kieft Engineering, Inc.
Phone #	414-238-3824	Phone #	248-625-5251
Email	DanielC.Thomson@rinkerpipe.com	Email	

#### Stormwater Treatment Recommendation

The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Site Name	Catchment to MH-1
Recommended Stormceptor Model	STC 900
Target TSS Removal (%)	80.0
TSS Removal (%) Provided	80
PSD	D50 = 75 micron
Rainfall Station	DETROIT METRO AP

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary	
Stormceptor Model	% TSS Removal Provided
STC 450i	72
STC 900	80
STC 1200	81
STC 1800	81
STC 2400	85
STC 3600	86
STC 4800	89
STC 6000	89
STC 7200	91
STC 11000	93
STC 13000	94
STC 16000	95
StormceptorMAX	Custom

Stormceptor Detailed Sizing Report - Page 1 of 8

### Pretreatment Structure

MH-6, 9.06 CFS (4.50 Acres, C = 0.54)



#### Detailed Stormceptor Sizing Report - Catchment to MH-6

Project Information & Location			
Project Name	Preserve at Hidden Lake	Project Number	KE 2017.182
City	White Lake Tship	State/Province	Michigan
Country	United States of America	Date	10/11/2018
Designer Information		EOR Information (optional)	
Name	Daniel Thomson	Name	Patrick McWilliams
Company	Rinker Materials	Company	Kieft Engineering, Inc.
Phone #	414-238-3824	Phone #	248-625-5251
Email	DanielC.Thomson@rinkerpipe.com	Email	

#### Stormwater Treatment Recommendation

The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Site Name	Catchment to MH-6
Recommended Stormceptor Model	STC 2400
Target TSS Removal (%)	80.0
TSS Removal (%) Provided	80
PSD	D50 = 75 micron
Rainfall Station	DETROIT METRO AP

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary	
Stormceptor Model	% TSS Removal Provided
STC 450i	59
STC 900	69
STC 1200	69
STC 1800	70
STC 2400	80
STC 3600	81
STC 4800	82
STC 7200	83
STC 11000	87
STC 13000	87
STC 16000	89
StormceptorMAX	Custom

Stormceptor Detailed Sizing Report - Page 1 of 8

### Pretreatment Structure

MH-9, 13.41 CFS (6.70 Acres, C = 0.54)



#### Detailed Stormceptor Sizing Report - Catchment to MH-9

Project Information & Location			
Project Name	Preserve at Hidden Lake	Project Number	KE 2017.182
City	White Lake Tship	State/Province	Michigan
Country	United States of America	Date	10/11/2018
Designer Information		EOR Information (optional)	
Name	Daniel Thomson	Name	Patrick McWilliams
Company	Rinker Materials	Company	Kieft Engineering, Inc.
Phone #	414-238-3824	Phone #	248-625-5251
Email	DanielC.Thomson@rinkerpipe.com	Email	

#### Stormwater Treatment Recommendation

The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Site Name	Catchment to MH-9
Recommended Stormceptor Model	STC 4800
Target TSS Removal (%)	80.0
TSS Removal (%) Provided	80
PSD	D50 = 75 micron
Rainfall Station	DETROIT METRO AP

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary	
Stormceptor Model	% TSS Removal Provided
STC 450i	59
STC 900	69
STC 1200	69
STC 1800	70
STC 2400	74
STC 3600	75
STC 4800	80
STC 7200	83
STC 11000	87
STC 13000	87
STC 16000	89
StormceptorMAX	Custom

Stormceptor Detailed Sizing Report - Page 1 of 8

### Pretreatment Structure

MH-15, 2.79 CFS (1.34 Acres, C=0.54)



#### Detailed Stormceptor Sizing Report - Catchment to MH-15

Project Information & Location			
Project Name	Preserve at Hidden Lake	Project Number	KE 2017.182
City	White Lake Tship	State/Province	Michigan
Country	United States of America	Date	10/11/2018
Designer Information		EOR Information (optional)	
Name	Daniel Thomson	Name	Patrick McWilliams
Company	Rinker Materials	Company	Kieft Engineering, Inc.
Phone #	414-238-3824	Phone #	248-625-5251
Email	DanielC.Thomson@rinkerpipe.com	Email	

#### Stormwater Treatment Recommendation

The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Site Name	Catchment to MH-15
Recommended Stormceptor Model	STC 450i
Target TSS Removal (%)	80.0
TSS Removal (%) Provided	84
PSD	D50 = 75 micron
Rainfall Station	DETROIT METRO AP

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary	
Stormceptor Model	% TSS Removal Provided
STC 450i	84
STC 900	90
STC 1200	90
STC 1800	91
STC 2400	93
STC 3600	94
STC 4800	95
STC 6000	96
STC 7200	97
STC 11000	98
STC 13000	98
STC 16000	98
StormceptorMAX	Custom

Stormceptor Detailed Sizing Report - Page 1 of 8

### Pretreatment Structure

MH-16, 4.57 CFS (2.00 Acres, C=0.54)



#### Detailed Stormceptor Sizing Report - Catchment to MH-16

Project Information & Location			
Project Name	Preserve at Hidden Lake	Project Number	KE 2017.182
City	White Lake Tship	State/Province	Michigan
Country	United States of America	Date	10/11/2018
Designer Information		EOR Information (optional)	
Name	Daniel Thomson	Name	Patrick McWilliams
Company	Rinker Materials	Company	Kieft Engineering, Inc.
Phone #	414-238-3824	Phone #	248-625-5251
Email	DanielC.Thomson@rinkerpipe.com	Email	

#### Stormwater Treatment Recommendation

The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Site Name	Catchment to MH-16
Recommended Stormceptor Model	STC 900
Target TSS Removal (%)	80.0
TSS Removal (%) Provided	80
PSD	D50 = 75 micron
Rainfall Station	DETROIT METRO AP

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary	
Stormceptor Model	% TSS Removal Provided
STC 450i	59
STC 900	87
STC 1200	87
STC 1800	88
STC 2400	91
STC 3600	92
STC 4800	94
STC 6000	94
STC 7200	95
STC 11000	97
STC 13000	97
STC 16000	97
StormceptorMAX	Custom

Stormceptor Detailed Sizing Report - Page 1 of 8

### Pretreatment Structure

MH-19, 15.11 CFS (6.93 Acres, C = 0.54)



#### Detailed Stormceptor Sizing Report - Catchment to MH-19

Project Information & Location			
Project Name	Preserve at Hidden Lake	Project Number	KE 2017.182
City	White Lake Tship	State/Province	Michigan
Country	United States of America	Date	10/11/2018
Designer Information		EOR Information (optional)	
Name	Daniel Thomson	Name	Patrick McWilliams
Company	Rinker Materials	Company	Kieft Engineering, Inc.
Phone #	414-238-3824	Phone #	248-625-5251
Email	DanielC.Thomson@rinkerpipe.com	Email	

#### Stormwater Treatment Recommendation

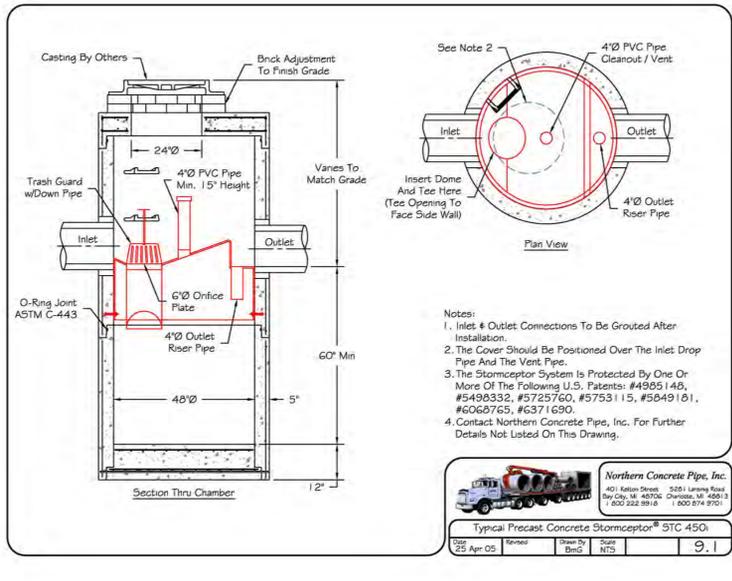
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Site Name	Catchment to MH-19
Recommended Stormceptor Model	STC 4800
Target TSS Removal (%)	80.0
TSS Removal (%) Provided	80
PSD	D50 = 75 micron
Rainfall Station	DETROIT METRO AP

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Sizing Summary	
Stormceptor Model	% TSS Removal Provided
STC 450i	59
STC 900	69
STC 1200	69
STC 1800	70
STC 2400	74
STC 3600	75
STC 4800	80
STC 7200	83
STC 11000	87
STC 13000	87
STC 16000	89
StormceptorMAX	Custom

Stormceptor Detailed Sizing Report - Page 1 of 8



©2017/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/7



**PD Zoning - Planned Development District**

**SETBACKS: (PER ORDINANCE)**  
 FRONT - 40 FEET  
 REAR - 30/40 FEET (TO BE DETERMINED BY PLANNING COMMISSION)  
 SIDES - 25 FEET ONE SIDE  
 50 FEET TOTAL OF TWO SIDES

**RESIDENTIAL:**  
 TOTAL UNITS PROPOSED - 68  
 FRONT SETBACK - 25 FT  
 REAR SETBACKS:  
 POND UNITS MINIMUM - 25 FT (FROM 1' FREEBOARD ELEVATION OF 942.30 WITH POTENTIAL BOULDER WALLS CONSTRUCTED, AS REQUIRED OUTSIDE OF WETLANDS) - SEE PLAN FOR UNITS 20, 23-26, 29, 31-35, 37 AND 44.  
 OFF POND LOTS - 30 FT  
 SIDE YARD SETBACKS - 10 FT (EACH SIDE)  
 ALL UNITS HAVE AT LEAST 70 FT OF FRONTAGE AT THE FRONT 25 FT SETBACK

**DUPLEX UNITS:**  
 TOTAL DUPLEX UNITS PROPOSED - 26  
 TOTAL TRI-PLEX UNITS PROPOSED - 1  
 FRONT SETBACK - 25 FT MIN. (TO SIDEWALK/R.O.W.)  
 REAR SETBACK - 30 FT (EXCEPT UNIT 89 = 25 FT)  
 SIDE YARD SETBACKS - 10 FT EA (TOTAL 20 FT)

**OPEN SPACE - RESIDENTIAL UNITS**  
 OPEN SPACE - 3.32 Ac.  
 POND AREA - 6.38 Ac.  
 OPEN SPACE - 9.70 Ac.

**OPEN SPACE - DUPLEX UNITS**  
 OPEN SPACE - 1.8 Ac. +/-  
 TOTAL OPEN SPACE - 11.5 ACRES +/-  
 TOTAL SITE AREA (NET) - 37.99 ACRES

OPEN SPACE RATIO = 30.0%

\* **NOTE:**  
 FOR LAKE UNITS WITH ONLY 25' TO 37' SETBACK TO THE 1' FREEBOARD ELEVATION OF 942.30, THE PROPOSED DECK WIDTH IS LIMITED TO 12' WIDE - SEE PLAN FOR UNITS 22-29 AND 31-40.

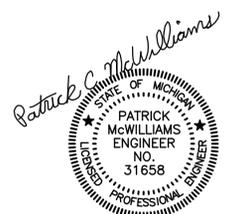
**NARRATIVE:**  
 IN AN EFFORT TO CLARIFY THE REQUIRED SETBACKS FOR THE LAKE UNIT ENVELOPES AND THE LAKE DECK ENVELOPES WE HAVE PREPARED A HIDDEN LAKE UNIT SETBACK CLARIFICATION PLAN SET. WE HAVE SET THE MINIMUM LAKE UNIT REAR SETBACK TO 25' OFF OF THE 1' FREEBOARD ELEVATION LINE OF 942.30. IN ADDITION, FOR UNITS 22-29 AND 31-40 WHICH HAVE A REAR UNIT SETBACK OF BETWEEN 25' AND 37' FROM THE 1' FREEBOARD ELEVATION OF 942.30, WE WILL LIMIT THE DECK WIDTH TO 12' WIDE.

THE BALANCE OF THE LAKE UNITS WILL HAVE A REAR SETBACK OF 25'; FOR BOTH THE UNITS AND THE DECKS FROM THE 1' FREEBOARD ELEVATION LINE OF 942.30.

**RETENTION BASIN POND**  
 (2) 100 YEAR DESIGN ELEVATION = 941.30  
 1' FREEBOARD ELEVATION = 942.30  
 ORIGINAL POND ELEVATION = 939.10 (11-11-17) - 6.38 ACRES  
 POND ELEVATION = 941.50 (12-17-2021) - 7.57 ACRES  
 (See Detail on Sheets 2 and 3)

POND  
 Original Elev. = 939.10  
 (11-11-17)  
 6.38 Acres

**NOTE:**  
 THE POND ALSO HAS EXTRA CAPACITY TO STORE ANOTHER (5) 100 YEAR STORMS BETWEEN THE 1' FREEBOARD ELEVATION (942.30) AND THE LOWEST BASEMENT WALKOUT ELEVATION OF 947.00



**Exhibit 1**

**Overall Hidden Lake Unit Setback Clarification Plan**  
 "Preserve at Hidden Lake"  
 WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 100'  
 SHEET 1 OF 4  
 KE 2017.182

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DATE	ISSUE
2-7-2022	ADDED SETBACK CLARIFICATION SHS PER TWP (1-25-2022)
3-15-2022	PER DLZ (3-11-2022 & 2-16-2022)

**PROPRIETOR:**  
 Preserve at Hidden Lake, LLC  
 8255 CASCADE AVENUE, SUITE 110  
 COMMERCE TOWNSHIP, MICHIGAN 48382  
 (248) 842-8613

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 5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346  
 PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE	1-6-2022	CKD. BY	DATE
DRAWN	GF		
DESIGN	PCM		
SECTION	36	T- 3 -N- R- 8 -E-	



72 HOURS (6 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL FREE)



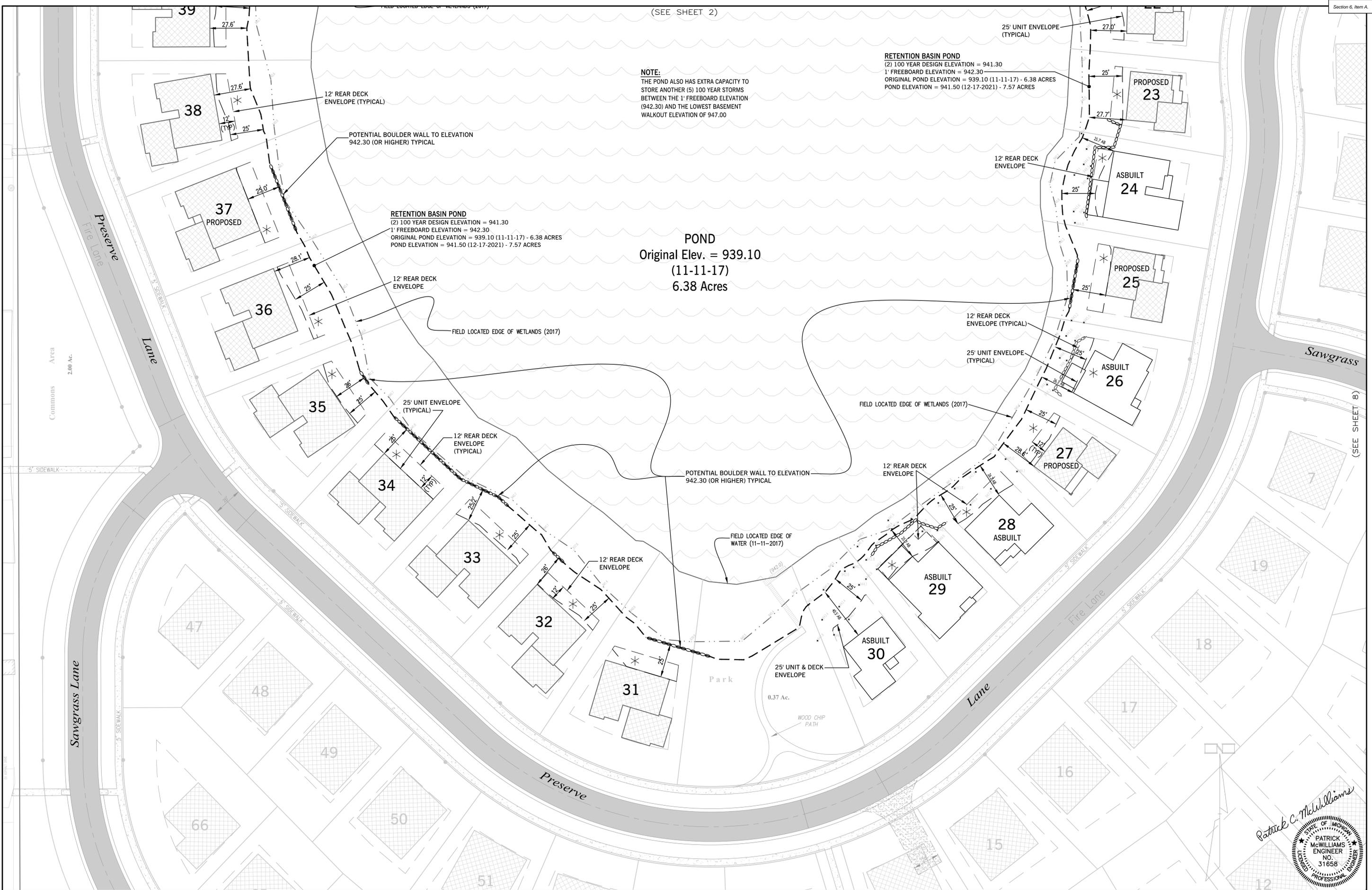
(SEE SHEET 2)

**RETENTION BASIN POND**  
 (2) 100 YEAR DESIGN ELEVATION = 941.30  
 1' FREEBOARD ELEVATION = 942.30  
 ORIGINAL POND ELEVATION = 939.10 (11-11-17) - 6.38 ACRES  
 POND ELEVATION = 941.50 (12-17-2021) - 7.57 ACRES

**NOTE:**  
 THE POND ALSO HAS EXTRA CAPACITY TO STORE ANOTHER (5) 100 YEAR STORMS BETWEEN THE 1' FREEBOARD ELEVATION (942.30) AND THE LOWEST BASEMENT WALKOUT ELEVATION OF 947.00

**POND**  
 Original Elev. = 939.10  
 (11-11-17)  
 6.38 Acres

**RETENTION BASIN POND**  
 (2) 100 YEAR DESIGN ELEVATION = 941.30  
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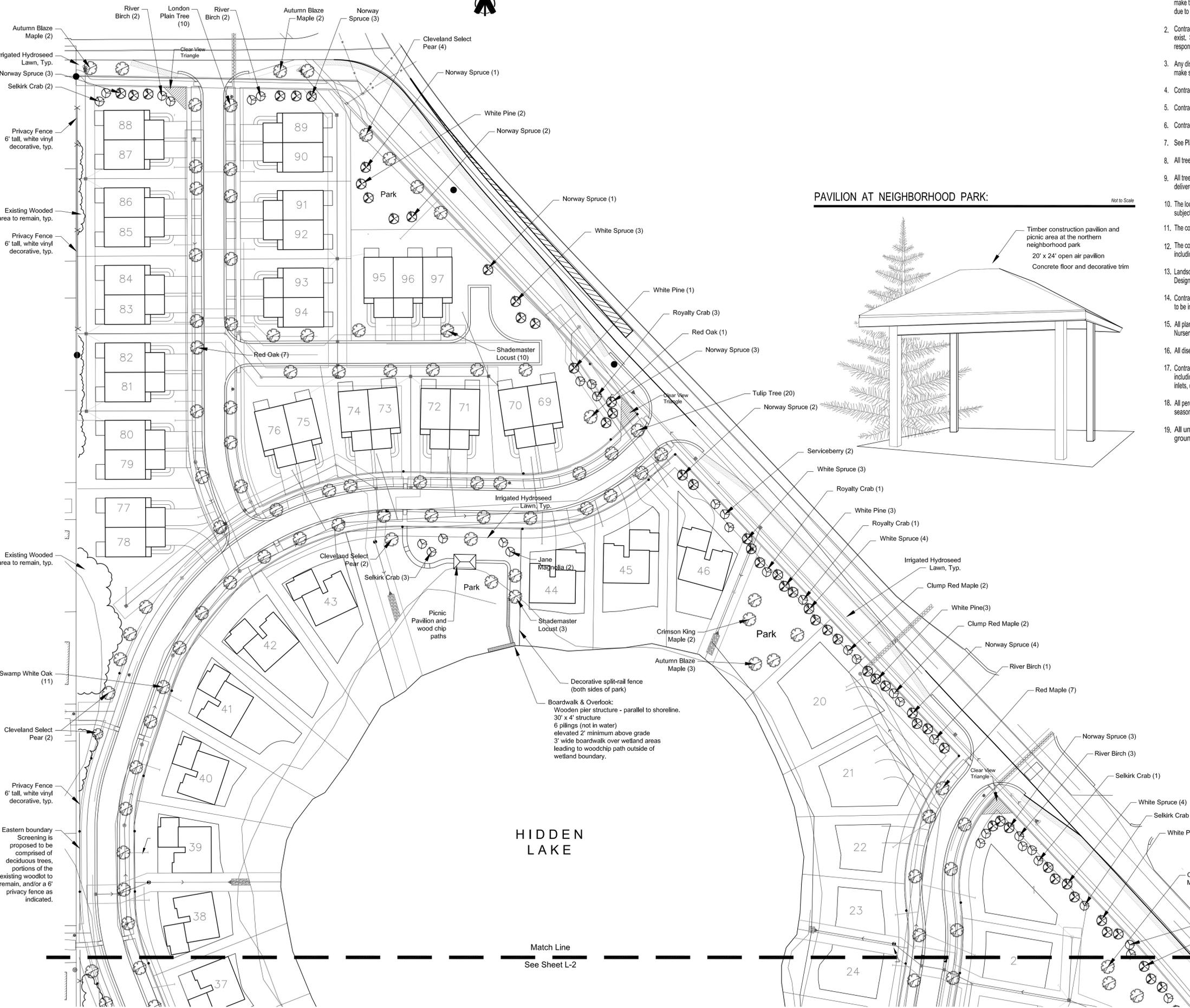


**LEGEND**

	EXISTING STORM SEWER		PROPOSED STORM SEWER
	EXISTING SANITARY SEWER		PROPOSED SANITARY SEWER
	EXISTING WATERMAIN		PROPOSED WATERMAIN
	EXISTING GAS MAIN		PROPOSED GAS MAIN
	EXISTING ELEC. TELE. CABLE		PROPOSED ELEC. TELE. CABLE
	EXISTING PRETREATMENT STRUCTURE		PROPOSED PRETREATMENT STRUCTURE
	EXISTING STORM MANHOLE		PROPOSED STORM MANHOLE
	EXISTING CATCH BASIN		PROPOSED CATCH BASIN
	EXISTING INLET		PROPOSED INLET
	EXISTING REARYARD CATCH BASIN		PROPOSED REARYARD CATCH BASIN
	EXISTING END SECTION		PROPOSED END SECTION
	EXISTING SANITARY MANHOLE		PROPOSED SANITARY MANHOLE
	EXISTING GATE VALVE AND WELL		PROPOSED GATE VALVE AND WELL
	EXISTING HYDRANT		PROPOSED HYDRANT
	EXISTING CONTOURS		PROPOSED CONTOURS
	EXISTING FINISH GRADE		PROPOSED FINISH GRADE
	EXISTING MATCH EXISTING ELEV.		PROPOSED MATCH EXISTING ELEV.
	EXISTING TOP OF CURB		PROPOSED TOP OF CURB
	EXISTING TOP OF SIDEWALK		PROPOSED TOP OF SIDEWALK
	EXISTING TOP OF PAVEMENT		PROPOSED TOP OF PAVEMENT
	EXISTING TOP OF WALL		PROPOSED TOP OF WALL
	EXISTING BOTTOM OF WALL		PROPOSED BOTTOM OF WALL
	EXISTING DRAINAGE ARROW		PROPOSED DRAINAGE ARROW
	EXISTING SUMP DISCHARGE		PROPOSED SUMP DISCHARGE
	EXISTING REQUIRES SETBACK WAIVER		PROPOSED REQUIRES SETBACK WAIVER

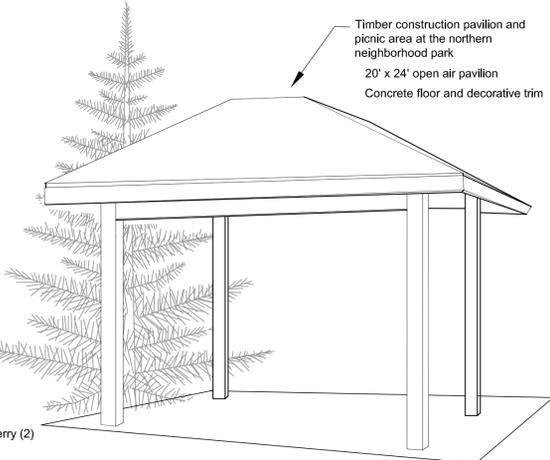
**Waiver and Variance Request:**  
 Units 69-74, 89-90 & 93-94 will need a setback variance.  
 Units 69-74 and 89-94 will request a waiver for rear porch or deck in an easement.

©2017/18/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/2467/2468/2469/2470/2471/2472/2473/2474/2475/2476/2477/2478/2479/2480/2481/2482/2483/2484/2485/2486/2487/2488/2489/2490/2491/2492/2493/2494/2495/2496/2497/2498/2499/2500/2501/2502/2503/2504/2505/2506/2507/2508/2509/2510/2511/2512/2513/2514/2515/2516/2517/2518/2519/2520/2521/2522/2523/2524/2525/2526/2527/2528/2529/2530/2531/2532/2533/2534/2535/2536/2537/2538/2539/2540/2541/2542/2543/2544/2545/2546/2547/2548/2549/2550/2551/2552/2553/2554/2555/2556/2557/2558/2559/2560/2561/2562/2563/2564/2565/2566/2567/2568/2569/2570/2571/2572/2573/2574/2575/2576/2577/2578/2579/2580/2581/2582/2583/2584/2585/2586/2587/2588/2589/2590/2591/2592/2593/2594/2595/2596/2597/2598/2599/2600/2601/2602/2603/2604/2605/2606/2607/2608/2609/2610/2611/2612/2613/2614/2615/2616/2617/2618/2619/2620/2621/2622/2623/2624/2625/2626/2627/2628/2629/2630/2631/2632/2633/2634/2635/2636/2637/2638/2639/2640/2641/2642/2643/2644/2645/2646/2647/2648/2649/2650/2651/2652/2653/2654/2655/2656/2657/2658/2659/2660/2661/2662/2663/2664/2665/2666/2667/2668/2669/2670/2671/2672/2673/2674/2675/2676/2677/2678/2679/2680/2681/2682/2683/2684/2685/2686/2687/2688/2689/2690/2691/2692/2693/2694/2695/2696/2697/2698/2699/2700/2701/2702/2703/2704/2705/2706/2707/2708/2709/2710/2711/2712/2713/2714/2715/2716/2717/2718/2719/2720/2721/2722/2723/2724/2725/2726/2727/2728/2729/2730/2731/2732/2733/2734/2735/2736/2737/2738/2739/2740/2741/2742/2743/2744/2745/2746/2747/2748/2749/2750/2751/2752/2753/2754/2755/2756/2757/2758/2759/2760/2761/2762/2763/2764/2765/2766/2767/2768/2769/2770/2771/2772/2773/2774/2775/2776/2777/2778/2779/2780/2781/2782/2783/2784/2785/2786/2787/2788/2789/2790/2791/2792/2793/2794/2795/2796/2797/2798/2799/2800/2801/2802/2803/2804/2805/2806/2807/2808/2809/2810/2811/2812/2813/2814/2815/2816/2817/2818/2819/2820/2821/2822/2823/2824/2825/2826/2827/2828/2829/2830/2831/2832/2833/2834/2835/2836/2837/2838/2839/2840/2841/2842/2843/2844/2845/2846/2847/2848/2849/2850/2851/2852/2853/2854/2855/2856/2857/2858/2859/2860/2861/2862/2863/2864/2865/2866/2867/2868/2869/2870/2871/2872/2873/2874/2875/2876/2877/2878/2879/2880/2881/2882/2883/2884/2885/2886/2887/2888/2889/2890/2891/2892/2893/2894/2895/2896/2897/2898/2899/2900/2901/2902/2903/2904/2905/2906/2907/2908/2909/2910/2911/2912/2913/2914/2915/2916/2917/2918/2919/2920/2921/2922/2923/2924/2925/2926/2927/2928/2929/2930/2931/2932/2933/2934/2935/2936/2937/2938/2939/2940/2941/2942/2943/2944/2945/2946/2947/2948/2949/2950/2951/2952/2953/2954/2955/2956/2957/2958/2959/2960/2961/2962/2963/2964/2965/2966/2967/2968/2969/2970/2971/2972/2973/2974/2975/2976/2977/2978/2979/2980/2981/2982/2983/2984/2985/2986/2987/2988/2989/2990/2991/2992/2993/2994/2995/2996/2997/2998/2999/3000/3001/3002/3003/3004/3005/3006/3007/3008/3009/3010/3011/3012/3013/3014/3015/3016/3017/3018/3019/3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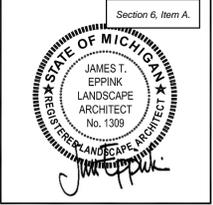
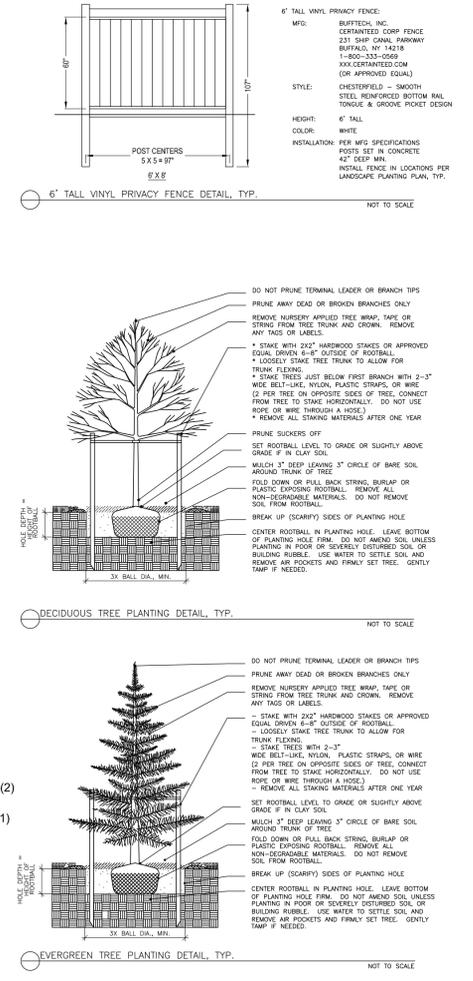
PAVILION AT NEIGHBORHOOD PARK:

Not to Scale



- Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make themselves familiar with all underground utilities, pipes and structures. Contractor shall take sole responsibility for any cost incurred due to damage of said utilities or structures.
- Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall immediately be brought to the attention of the Owner's Representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's Representative. Failure to make such discrepancies known will result in contractor's responsibility and liability for any changes and associated costs.
- Contractor shall be responsible for any coordination with subcontractors as required to accomplish construction installation operations.
- Contractor shall provide and maintain positive surface drainage.
- Contractor shall be responsible for any existing materials that are damaged during construction.
- See Plant & Material List and Planting Details for planting requirements, materials and execution.
- All trees shall have a clay loam or clay root ball. Trees with sand root balls will not be accepted.
- All tree varieties and substitutions to be approved by the Owners Representative prior to being delivered to site. Any plant material delivered to site not previously approved may be rejected and are the sole responsibility of the contractor.
- The location of all plant material shall be scaled from drawings or interpreted from plant list. Final location of all plant material shall be subject to approval from the Owner's Representative.
- The contractor shall "water in" and fertilize all plants immediately after planting.
- The contractor shall guarantee all trees, shrubs, ground cover and other plant materials for two years from the date of installation, including labor and removal and disposal of dead material.
- Landscape Contractor shall install an automated irrigation system at all common area, frontage, park and entrance lawn areas on a Design/Build basis.
- Contractor shall install 3" depth Shredded Hardwood Mulch in all shrub and tree planting beds unless otherwise indicated. Peat Moss is to be installed in all annual flower, perennial flower and ground cover planting beds. Such beds shall have no shredded mulch, typ.
- All plant material shall be nursery grown. All trees and plant material shall meet the current standards of the American Society of Nurseryman.
- All diseased, damaged, or dead landscape material shall be replaced by the end of the following growing season.
- Contractor shall adhere to all soil erosion prevention methods as directed within civil engineering drawings and Municipal Ordinance including maintaining silt fencing and ensuring that soil, silt and other debris is prevented from leaving site or entering area drains, sewer inlets, creeks or natural areas.
- All perennials and ornamental grasses shall be planted on close centers so as to form a single mass appearance within one planting season.
- All unpaved areas within impacted development zones to be hydro-seed lawn areas, mulch beds or groundcover, typ.

FENCE & PLANTING DETAILS:



**J EPPINK PARTNERS, INC**  
Urban Design Studio

Urban Retail Design  
Landscape Architecture  
Traditional Town Planning

9336 Sashabaw Road  
Clarkston, Michigan 48348  
248.922.0415 fax  
248.922.0789

The ideas and design concepts expressed herein and the graphically displayed arrangement of their components represented by this drawing have been developed for the exclusive use of the specified project and are the sole property of J EPPINK PARTNERS, INC. Any conveyance or disclosure of the ideas or design concepts or use of any graphically displayed arrangements of their components shall be at the discretion of and only through the expressed written consent of J EPPINK PARTNERS, INC.

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Project:

# Preserve at Hidden Lake

White Lake, Michigan

Owner:

## Preserve at Hidden Lake, LLC

8255 Cascade Avenue, Suite 110  
Commerce Twp, Michigan 48382

Sheet:

### Landscape Planting Plan

Issues / Revisions

TWP REVIEW UPDATE	3-18-19
MKA REVIEW UPDATE	4-08-19
SITE PLAN UPDATE	3-26-21
FINAL REVIEW UPDATE	5-10-21
TOWNHOUSE UPDATE	11-16-21
SUBMISSION UPDATE	03-16-22

Drawn by: JJS  
Checked by: JTE  
Date: November 16, 2021  
Scale: AS NOTED  
Sheet: L-1





**J EPPINK PARTNERS, INC**  
Urban Design Studio

Urban Retail Design  
Landscape Architecture  
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Project:

**Preserve at Hidden Lake**  
White Lake, Michigan

Owner:

**Preserve at Hidden Lake, LLC**  
8255 Cascade Avenue, Suite 110  
Commerce Twp, Michigan 48382

Sheet:

**Landscape Planting Plan - Duplex & Townhouse Units**

Issues / Revisions

TWP REVIEW UPDATE	3-18-19
MKA REVIEW UPDATE	4-08-19
SITE PLAN UPDATE	3-26-21
FINAL REVIEW UPDATE	5-10-21
TOWNHOUSE UPDATE	11-16-21
LANDSCAPE UPDATE	12-7-21
SUBMISSION UPDATE	3-16-22

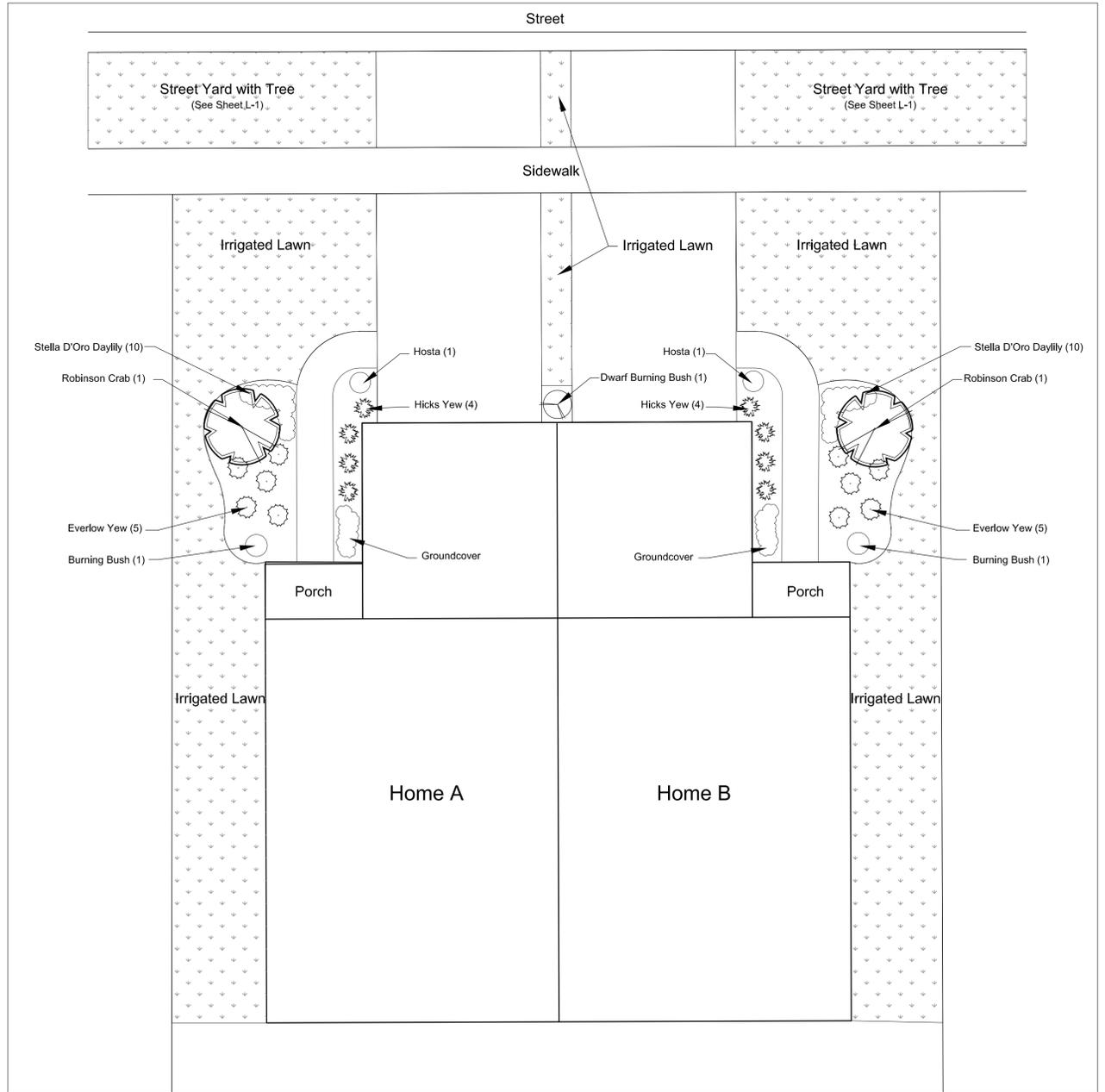
Drawn by: **JJS**

Checked By: **JTE**

Date: **November 16, 2021**

Scale: **AS NOTED**

Sheet: **L-3**



**DUPLEX PLANT LIST:**

QTY.	DESCRIPTION	SIZE / ROOT
2	Malus 'Robinson' Robinson Crab	2" cal, B&B
3	Eunoymus alatus compactus Dwarf Burning Bush	30-36", B&B
10	Taxus Densa 'Everlow' Everlow Yew	30-36", B&B
8	Taxus Hicksii Hicks Yew	30-36", B&B
20	Hemerocallis 'Sella D'Oro' Stella D'Ora Daylily	1 gal, Container
2	Hosta, spp. Hosta	2 gal, Container

*Typical plant list per 2 unit residential building.  
Final landscape planting plan and plant list will vary from building to building in order to provide design and plant material variety.*



**FIRST AMENDMENT TO  
PRESERVE AT HIDDEN LAKE  
PLANNED DISTRICT DEVELOPMENT AGREEMENT**

This is the First Amendment to the Preserve at Hidden Lake Planned District Development Agreement dated September 10, 2019 (“PD Agreement”) by and between Preserve at Hidden Lake, LLC, a Michigan limited liability company (“Developer”) having its principal office at 8255 Cascade Ave., Suite 110, Commerce, MI 48382, and the Charter Township of White Lake, a Michigan municipal corporation (“Township”), having its principal office at 7525 Highland Rd., White Lake, MI 48383. This amendment is effective \_\_\_\_\_.

**Recitals**

A. Developer and Township entered into the PD Agreement in order to allow Developer to develop, or cause to be developed pursuant to and in accordance with the Township Zoning Ordinance, the property described on Exhibit A of the PD Agreement and as shown in the Final Site Plan on Exhibit B of the PD Agreement, according to the Development Schedule set forth on Exhibit C of the PD Agreement. The PD Agreement was recorded in the office of the Oakland County Register of Deeds on September 13, 2019 at Liber 53248-~~Page 511~~, [Page 511, on September 13, 2019 at Liber 53248, Page 530 and on September 13, 2019 at Liber 53248, Page 549.](#)

B. Developer has revised the Final Site Plan, which revision is dated \_\_\_\_\_ (“Site Plan No. 2”). Site Plan No. 2 was approved by the Township Planning Commission (“Planning Commission”) on \_\_\_\_\_. Site Plan No. 2 was approved by the Township Board of Trustees on \_\_\_\_\_. A copy of Site Plan No. [22 including the Overall Hidden Lake Unit Setback Clarification Plan](#) is attached hereto as Exhibit 1.

C. A site plan modification was approved by the Township Board of Trustees on January ~~17~~[18](#), 2022, due to the Hidden Lake water level being higher than anticipated.

D. Developer has revised the Development Schedule, which revision is attached hereto as Exhibit 2.

E. Developer and Township desire to amend the PD Agreement by replacing the Final Site Plan (Exhibit B of the PD Agreement) with Site Plan No. 2, attached hereto as Exhibit 1, and by replacing the Development Schedule (Exhibit C of the PD Agreement) with the Development Schedule attached hereto as Exhibit 2.

NOW, THEREFORE, Developer and Township agree as follows:

1. Article 1.4 of the PD Agreement is hereby deleted and the following inserted in its place and stead:

1.4 ~~Variances and/or Waivers~~/Modifications to Standard Zoning Requirements. The development requires a 25 foot front setback for all lots, instead of the 40 foot front setback required by the Township Ordinances. Except as otherwise provided herein, Developer shall adhere to all Township Ordinances. ~~Variances~~ ~~Waivers/modifications~~ from the Township Zoning Ordinance ~~w's~~ ~~hich~~ which the Township shall be deemed to have granted, and hereby grants, as well as modifications to standard zoning requirements which will be requested, if any, are as set forth on the Final Site Plan. The development requires the following setbacks, as set forth on the Final Site Plan:

<del>Units 69 through 74</del>	<del>20.3 foot to 28.4 foot rear yard setbacks</del> <b>Rear Yard Setback from Arcadia Lane</b>
<u>Unit Number</u>	<u>Distance (feet)</u>
69	22.1
70	29.3
71	26.2
72	25.0
73	23.3
74	28.4
<del>Unit 89</del>	<del>25 foot rear yard setback</del> <b>Rear Setback from Union Lake Road</b>
<u>Unit Number</u>	<u>Distance (feet)</u>
<del>Units 88 and 89</del>	<del>25 foot to 25.4 foot side yard setback from Hutchins Road</del> <b>25.0</b>
<b>Portion of Rear Patios Located in Storm Sewer Easement</b>	
<u>Unit Number</u>	<u>Distance (feet)</u>
<del>Units 70 through 74 and Units 89 through 94</del> <b>70</b>	<del>1.2 foot to 8.6 foot rear patios encroachment into the storm sewer easements</del> <b>0.9 and 2.7</b>
71	6.1
72	7.1
73	8.6
74	4.9
89	5.0
90	5.0
91	5.0
92	5.0
93	5.0

94	5.0
----	-----

All building envelopes for the back of each residence will be a minimum of 25 feet from the ~~water's edge of the retention basin~~ Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet. With the exception of Units 22, 23, 24, 25, 26, 27, 28, 29, 31, 32, 33, 34, 35, 36, 37, 38, 39 and 40 ("Excepted Lake Units"), all Units are required to maintain a rear setback for decks and/or patios of 25 feet from the Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet. No deck ~~on any~~ or patio attached to an Excepted Lake Unit ~~shall exceed a maximum of~~ may be longer than 12 feet ~~into the rear yard setback.~~ ~~The Retention Basin is designed to prevent flooding even in as~~ measured from the ~~event of two (2) successive 100-year rains, and is further designed to prevent flooding in~~ shortest distance from the ~~event of an additional five and one half (5 1/2) successive 100-year rains before water reaches~~ structure on the ~~finish floor~~ Unit to the Retention Basin (Hidden Lake) 1-foot freeboard elevation of ~~a walkout basement.~~ ~~Nevertheless,~~ 942.30 feet. During the Sales Period, the Developer, its successors and assigns, and after the Sales Period, the Association, its successors and assigns, shall ~~install a boulder wall, if necessary, to maintain the 25 foot distance, and shall pump water out of the Retention Basin to irrigate front entrance landscaping and Unit landscaping~~ be required to take whatever action is necessary to alleviate flooding.

2. A new Article 2.5 is hereby added:

2.5 Indemnification and Hold Harmless. ~~To the fullest extent permitted by law,~~ ~~the~~ The Developer of Preserve at Hidden Lake Condominiums, its successors and assigns and on behalf of the Preserve at Hidden Lake Homeowners Association and its successors and assigns, agrees to defend, pay on behalf of, indemnify and shall release and hold harmless the Township, its elected and appointed officials, employees, contractors and volunteers and others working on behalf of the Township against any and all claims, demands, suits, or losses, including all costs connected therewith, and for any damages which may be asserted, claimed, or recovered against them, by reason of ~~personal property and~~ property damage to any Unit or any building on such Unit, or to any common element, due to a) flooding which occurs as a result of the retention basin overflowing its banks, ~~and b) the placement of decks and/or patios within the storm sewer easement.~~

3. The Final Site Plan dated November 30, 2018 attached as Exhibit B to the PD Agreement is hereby deleted, and Site Plan No. 2, attached hereto as Exhibit 1, shall be substituted in its place and stead as Exhibit B to the PD Agreement.

4. The Development Schedule attached as Exhibit C to the PD Agreement is hereby deleted, and the Development Schedule attached hereto as Exhibit 2 shall be substituted in its place and stead as Exhibit B to the PD Agreement.

5. The remainder of the PD Agreement is hereby reaffirmed in its entirety.

6. This First Amendment to Preserve at Hidden Lake Planned District Development Agreement, ~~or a notice of its existence,~~ shall be executed by the Developer and the Township and

shall be recorded by the Developer in the office of the Oakland County Register of Deeds, following the execution of this Amendment.

(SIGNATURES ON NEXT PAGE)

The undersigned have executed this First Amendment to Preserve at Hidden Lake Planned District Development Agreement effective as of the day and year first written above.

DEVELOPER:

Preserve at Hidden Lake, LLC, Michigan limited liability company

By: \_\_\_\_\_  
Craig Piasecki  
Its: Member

STATE OF MICHIGAN     )  
  ) SS  
COUNTY OF OAKLAND    )

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on \_\_\_\_\_ by Craig Piasecki, Member of Preserve at Hidden Lake, LLC, a Michigan limited liability company, on behalf of said limited liability company.

\_\_\_\_\_  
Notary Public,  
Oakland County, Michigan  
My Commission Expires:  
Acting in \_\_\_\_\_ County

TOWNSHIP:

CHARTER TOWNSHIP OF WHITE LAKE, a Michigan municipal corporation

By: \_\_\_\_\_  
Rik Kowall  
Its: Supervisor

By: \_\_\_\_\_  
Anthony Noble  
Its: Clerk

STATE OF MICHIGAN )  
 ) SS  
COUNTY OF OAKLAND )

The foregoing First Amendment to Preserve at Hidden Lake Planned District Development Agreement was acknowledged before me on \_\_\_\_\_ by Rik Kowall, Supervisor of the Charter Township of White Lake, a Michigan municipal corporation, on behalf of said municipal corporation.

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Notary Public,  
Oakland County, Michigan  
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COUNTY OF OAKLAND )

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\_\_\_\_\_  
Notary Public,  
Oakland County, Michigan  
My Commission Expires:  
Acting in \_\_\_\_\_ County

Prepared by:  
  
Bruce M. Hug  
Attorney and Counselor  
PO Box 600  
Union Lake, MI 48387

Return to:  
  
Craig Piasecki  
Preserve at Hidden Lake, LLC  
8255 Cascade  
Suite 110  
Commerce, MI 48382

**FIRST AMENDMENT TO  
PRESERVE AT HIDDEN LAKE  
PLANNED DISTRICT DEVELOPMENT AGREEMENT  
EXHIBIT 1 – SITE PLAN DATED \_\_\_\_\_**

FIRST AMENDMENT TO  
PRESERVE AT HIDDEN LAKE  
PLANNED DISTRICT DEVELOPMENT AGREEMENT

EXHIBIT 2 – DEVELOPMENT SCHEDULE

<u>Date of Commencement</u>	<u>Activity</u>
<b><u>(First Phase)</u></b>	
Complete	Clearing of Land
Complete	Grading of Land
Complete	Underground Work
Complete	Curbs and Paving
Complete	Final Grading and Seeding
Complete	Landscaping

<u>Date of Commencement</u>	<u>Activity</u>
<b><u>(Second and Third Phases)</u></b>	
<del>March 15, 2021</del> Complete	Clearing of Land
<del>April 21, 2021</del> Complete	Grading of Land
<del>May 1, 2021</del> Complete	Underground Work
<del>June 1, 2021</del> Complete	Curbs and Paving
<del>June 30, 2021</del> Complete	Final Grading and Seeding
<del>August</del> May 1, 2021+2	Landscaping

<u>Date of Commencement</u>	<u>Activity</u>
<b><u>(Phases 4 through 8)</u></b>	
<del>March 15, 2021</del>	<del>Clearing of Land</del>
<del>April 21, 2021</del>	<del>Grading of Land</del>
<del>May 1, 2021</del>	<del>Underground Work</del>
<del>June 1, 2021</del>	<del>Curbs and Paving</del>
<del>June 30, 2021</del>	<del>Final Grading and Seeding</del>
<del>August 1, 2021</del>	<del>Landscaping</del>

<u>Date of Commencement</u>	<u>Activity</u>
<b>(Phases <del>94</del> through 17)</b>	
<del>March 15, 2021</del> Complete	Clearing of Land
<del>April 21, 2021</del> Complete	Grading of Land
May 1, 202 <del>1</del> 2	Underground Work
June 1, 202 <del>1</del> 2	Curbs and Paving
June 30, 202 <del>1</del> 2	Final Grading and Seeding
<del>August 1, 2021</del> July 30, 2022	Landscaping

**FIRST AMENDMENT TO  
PRESERVE AT HIDDEN LAKE  
PLANNED DISTRICT DEVELOPMENT AGREEMENT**

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**Recitals**

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C. A site plan modification was approved by the Township Board of Trustees on January 18, 2022, due to the Hidden Lake water level being higher than anticipated.

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<b>Rear Yard Setback from Arcadia Lane</b>	
<u>Unit Number</u>	<u>Distance (feet)</u>
69	22.1
70	29.3
71	26.2
72	25.0
73	23.3
74	28.4
<b>Rear Setback from Union Lake Road</b>	
<u>Unit Number</u>	<u>Distance (feet)</u>
89	25.0
<b>Portion of Rear Patios Located in Storm Sewer Easement</b>	
<u>Unit Number</u>	<u>Distance (feet)</u>
70	0.9 and 2.7
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93	5.0
94	5.0

All building envelopes for the back of each residence will be a minimum of 25 feet from the Retention Basin (Hidden Lake) 1-foot freeboard elevation of 942.30 feet.

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Preserve at Hidden Lake, LLC, Michigan limited liability company

By: \_\_\_\_\_  
Craig Piasecki  
Its: Member

STATE OF MICHIGAN     )  
  ) SS  
COUNTY OF OAKLAND    )

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\_\_\_\_\_  
Notary Public,  
Oakland County, Michigan  
My Commission Expires:  
Acting in \_\_\_\_\_ County

TOWNSHIP:

CHARTER TOWNSHIP OF WHITE LAKE, a Michigan municipal corporation

By: \_\_\_\_\_  
Rik Kowall  
Its: Supervisor

By: \_\_\_\_\_  
Anthony Noble  
Its: Clerk

STATE OF MICHIGAN )  
 ) SS  
COUNTY OF OAKLAND )

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My Commission Expires:  
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 ) SS  
COUNTY OF OAKLAND )

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Notary Public,  
Oakland County, Michigan  
My Commission Expires:  
Acting in \_\_\_\_\_ County

Prepared by:  
  
Bruce M. Hug  
Attorney and Counselor  
PO Box 600  
Union Lake, MI 48387

Return to:  
  
Craig Piasecki  
Preserve at Hidden Lake, LLC  
8255 Cascade  
Suite 110  
Commerce, MI 48382

**FIRST AMENDMENT TO  
PRESERVE AT HIDDEN LAKE  
PLANNED DISTRICT DEVELOPMENT AGREEMENT  
EXHIBIT 1 – SITE PLAN DATED \_\_\_\_\_**

**FIRST AMENDMENT TO  
PRESERVE AT HIDDEN LAKE  
PLANNED DISTRICT DEVELOPMENT AGREEMENT**

**EXHIBIT 2 – DEVELOPMENT SCHEDULE**

<b><u>Date of Commencement</u></b>	<b><u>Activity</u></b>
<b><u>(First Phase)</u></b>	
Complete	Clearing of Land
Complete	Grading of Land
Complete	Underground Work
Complete	Curbs and Paving
Complete	Final Grading and Seeding
Complete	Landscaping

<b><u>Date of Commencement</u></b>	<b><u>Activity</u></b>
<b><u>(Second and Third Phases)</u></b>	
Complete	Clearing of Land
Complete	Grading of Land
Complete	Underground Work
Complete	Curbs and Paving
Complete	Final Grading and Seeding
May 1, 2022	Landscaping

<b><u>Date of Commencement</u></b>	<b><u>Activity</u></b>
<b><u>(Phases 4 through 17)</u></b>	
Complete	Clearing of Land
Complete	Grading of Land
May 1, 2022	Underground Work
June 1, 2022	Curbs and Paving
June 30, 2022	Final Grading and Seeding
July 30, 2022	Landscaping

# WHITE LAKE TOWNSHIP

## *COMMUNITY DEVELOPMENT DEPARTMENT*

**DATE:** April 7, 2022

**TO:** Rik Kowall, Supervisor  
Township Board of Trustees

**FROM:** Sean O’Neil, Community Development Director

**SUBJECT:** Conceptual Plan Presentation, 8300 Pontiac Lake Road

---

We recently received a request, from Mr. Michael Zeer, for an opportunity to share a conceptual plan, with both the Planning Commission and Township Board, on the property located at 8300 Pontiac Lake Road. Mr. Zeer appeared before the Planning Commission to present this plan on January 6<sup>th</sup> and to receive their input. What he is now seeking from the Board is your initial feedback on his plan as well. No action is being requested. This plan is slightly different from the one that was reviewed by the Planning Commission and first sent to you in January.

Please find attached a letter from Mr. Zeer, his revised concept plans, an aerial view of the property in question (from Oakland County Gateway), the Pontiac Lake Gateway District ordinance standards, and the minutes from the January 6<sup>th</sup> Planning Commission meeting. Please contact me if you have any questions.

Thank you.

# **ZeerCO Management Corporation**

**30201 Orchard Lake Road, Suite 250  
Farmington Hills, MI 48334  
Phone (248) 702-0113 ~ Fax (248) 702-0117  
Email: [mikezeer@aol.com](mailto:mikezeer@aol.com)**

---

March 4, 2022

RE: 8300 Pontiac Lake Proposed Development

Dear Township of White Lake ,

ZeerCO is excited about the opportunity to develop the above referenced property in the Township of White Lake. We are proposing a 50 unit apartment project along with a 4500 - 4800 sf commercial component (restaurant) on the site. We are hoping to fulfill as many of the requirements that are listed in your ordinance for this property along with some of the concerns that were previously mentioned by the Board in our previous preliminary meeting.

We have redesigned the project to flow much better with the multifamily component slightly separated from the commercial component and also left the possibility for a future cross access easement from the commercial parking lot area to the adjacent parcel in case of redevelopment of the neighboring property.

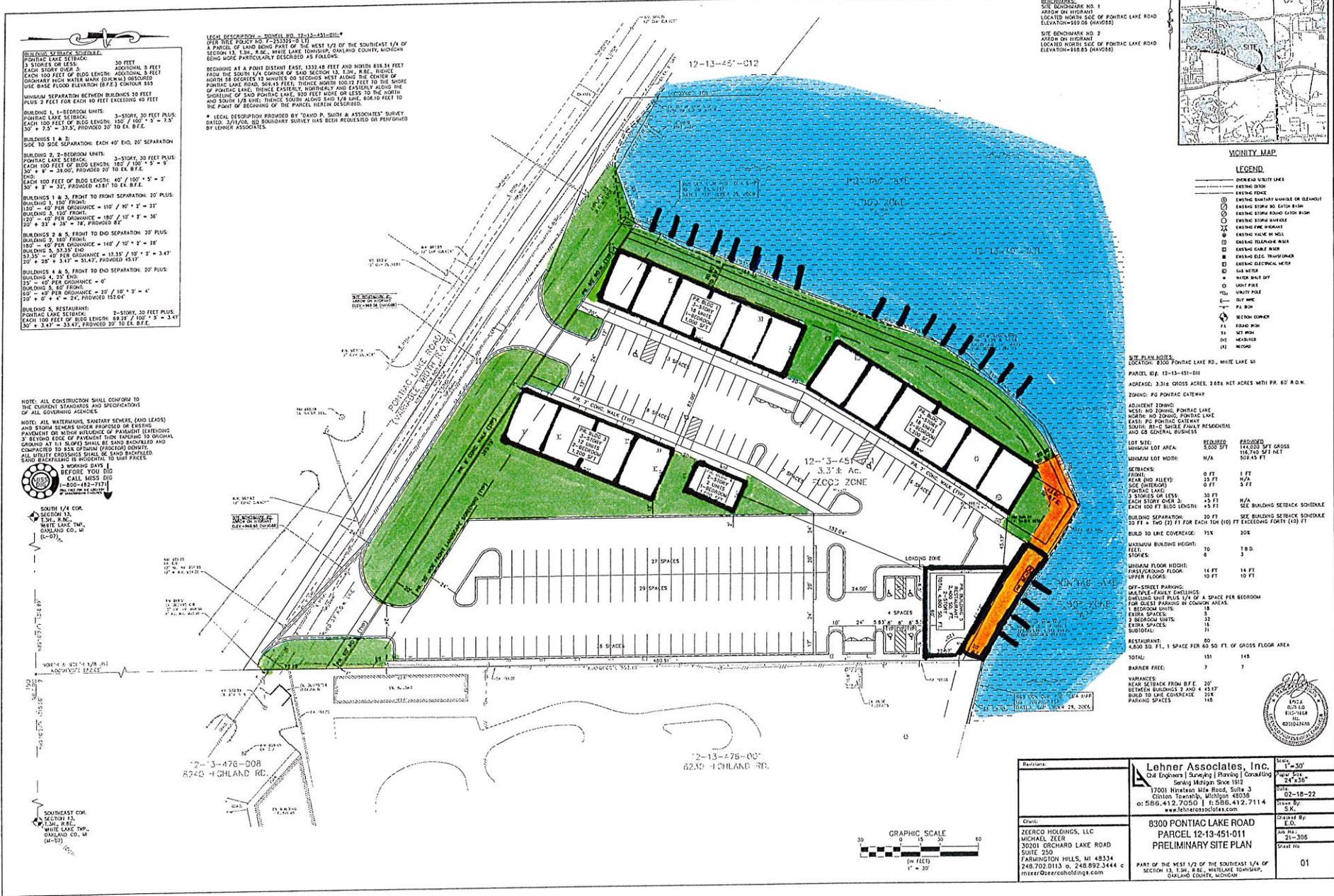
Attached you will find a revised site plan rendering that we have reviewed a few times with Sean Oneil and others from the Township. We feel that this site plan covers a majority of the said requirements and concerns and will be a beautiful fit for White Lake Township.

Please add us to the next Township Planning Board hearing to present and discuss in further detail our proposed site plan. You may contact me at any time should you have any questions or comments.

Truly Yours,



Michael Zeer, President  
ZeerCO Management Corporation  
Cell: (248) 892-3444

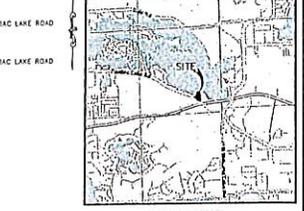


**LEGAL DESCRIPTION - SOUTHWEST 1/4, 12-13-451-011\***  
 (PER THE PLAT OF T-253320-D-1)  
 A PARCEL OF LAND BEING PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 13, T36N, R26E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT DISTANT EAST 1332.40 FEET AND NORTH 834.34 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 13, T36N, R26E, BEING NORTH 88 DEGREES 12 MINUTES 00 SECONDS WEST ALONG THE CENTER OF PONTIAC LAKE ROAD, 304.45 FEET, THENCE NORTH 100.32 FEET TO THE SOUTHWEST CORNER OF SAID SECTION 13, T36N, R26E, THENCE EASTERLY, NORTHERLY AND EASTERLY ALONG THE SOUTHWEST CORNER OF SAID SECTION 13, T36N, R26E, TO THE NORTH 1/2 CORNER OF SAID SECTION 13, T36N, R26E, THENCE SOUTHWEST ALONG SAID 1/2 LINE, 804.10 FEET TO THE POINT OF BEGINNING OF THE PARCEL HEREIN DESCRIBED.  
 \* LEGAL DESCRIPTION PROVIDED BY "DAVID P. SMITH & ASSOCIATES" SURVEY DATED 3/11/04. SAID BOUNDARY SURVEY HAS BEEN RECHECKED OR PERFORMED BY LEHNER ASSOCIATES.

- PONTIAC LAKE SEWERAGE:**  
 3 STORIES OR LESS: 30 FEET  
 EACH STORY ABOVE: ADDITIONAL 3 FEET  
 EACH 100 FEET OF BLDG LENGTH: ADDITIONAL 3 FEET  
 EXISTING HIGH WATER MARK (ELEVATION) DETERMINED USING BASE FLOOD ELEVATION (87.1) CONTINUED  
 MINIMUM SEPARATION BETWEEN BUILDINGS 10 FEET PLUS 1/2 FEET FOR EACH 10 FEET EXCEEDING 40 FEET
- BUILDING 1, 1-BEDROOM UNITS:**  
 PONTIAC LAKE SEWERAGE: 3-STORY, 30 FEET PLUS EACH 100 FEET OF BLDG LENGTH 150' / 100' \* 3' = 315' 30" \* 75' = 37.5', PROVIDED 20' TO EX. B.F.E.
- BUILDINGS 1 & 2:**  
 SIDE TO SIDE SEPARATION: EACH 40' END, 20' SEPARATION
- BUILDING 2, 2-BEDROOM UNITS:**  
 PONTIAC LAKE SEWERAGE: 3-STORY, 30 FEET PLUS EACH 100 FEET OF BLDG LENGTH 182' / 100' \* 5' = 91' 30" \* 4' = 38.00', PROVIDED 20' TO EX. B.F.E.
- BUILDINGS 3 & 4:**  
 END: EACH 100 FEET OF BLDG LENGTH: 40' / 100' \* 5' = 2' 30" \* 2' = 35', PROVIDED 43.81' TO EX. B.F.E.
- BUILDINGS 1 & 4, FRONT TO FRONT SEPARATION: 20' PLUS:**  
 BUILDING 1, 120' FRONT:  
 BUILDING 4, 120' FRONT:  
 120' \* 40' PER ORDNANCE = 110' / 10' \* 2' = 22'  
 BUILDING 3, 120' FRONT:  
 BUILDING 3, 120' FRONT:  
 120' \* 40' PER ORDNANCE = 180' / 10' \* 2' = 36'  
 180' + 22' \* 2 = 18', PROVIDED 82'
- BUILDINGS 2 & 5, FRONT TO END SEPARATION: 20' PLUS:**  
 BUILDING 2, 102' FRONT:  
 102' \* 40' PER ORDNANCE = 140' / 10' \* 2' = 28'  
 BUILDING 5, 325' END:  
 57.33' \* 40' PER ORDNANCE = 113.33' / 10' \* 2' = 34.47'  
 113.33' + 28' \* 2 = 34.47', PROVIDED 15.17'
- BUILDINGS 4 & 5, FRONT TO END SEPARATION: 20' PLUS:**  
 BUILDING 4, 25' END:  
 125' \* 40' PER ORDNANCE = 0'  
 BUILDING 5, 60' FRONT:  
 100' \* 40' PER ORDNANCE = 20' / 10' \* 2' = 4'  
 20' + 0' \* 4' = 24', PROVIDED 152.00'
- BUILDING 5, RESTROOM:**  
 PONTIAC LAKE SEWERAGE: 2-STORY, 30 FEET PLUS EACH 100 FEET OF BLDG LENGTH 89.50' / 100' \* 0 = 3.47' 30" \* 24' = 33.47', PROVIDED 20' TO EX. B.F.E.

**NOTE: ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF ALL GOVERNING AGENCIES.**  
 NOTE: ALL WEATHERING, EXTERIOR FINISHES, (AND LEADS) AND STORM SEWERS UNDER PROPOSED OR EXISTING PARCELS OR WITHIN WEDGES OF PARCELS LEADING TO ORIGINAL GRADE AT 1% SLOPE SHALL BE SAND BACKFILLED AND COMPACTED TO 95% OF OPTIMUM (PROCTOR) DENSITY. ALL UTILITY EXPOSURES SHALL BE SAND BACKFILLED AND SAND BACKFILLING IS INCIDENTAL TO SOFT PAVES.

**3 WORKING DAYS BEFORE YOU DO CALL MISS DING (800) 422-7171 (M-07)**



- VICINITY MAP**
- LEGEND**
- OVERHEAD UTILITY LINES
  - PONTIAC LAKE
  - EXISTING FENCE
  - ⊙ EXISTING SHARPTON WHITEHOLE OR BLENDHOLM
  - ⊙ EXISTING STORM SEWER CATCH BASIN
  - ⊙ EXISTING STORM SEWER CATCH BASIN
  - ⊙ EXISTING STORM SEWER
  - ⊙ EXISTING FIRE HYDRANT
  - ⊙ EXISTING VALVE IN M.S.L.
  - ⊙ EXISTING WALKWAY
  - ⊙ EXISTING CONC. PAD
  - ⊙ EXISTING CONC. TRANSFORMER
  - ⊙ EXISTING ELECTRICAL METER
  - ⊙ GAS METER
  - ⊙ WATER MAIN OFF
  - ⊙ LIGHT POLE
  - ⊙ UTILITY POLE
  - ⊙ SIGN
  - ⊙ SIGN CONCRETE
  - ⊙ ROAD SIDE
  - ⊙ SET BACK
  - ⊙ SIDEWALK
  - (X) ROAD

**SITE PLAN NOTES:**  
 LOCATION: 8300 PONTIAC LAKE RD., WHITE LAKE MI  
 PARCEL ID: 12-13-451-011  
 ACREAGE: 3.318 GROSS ACRES, 2692 NET ACRES WITH PR. 60' R.O.M.  
 ZONING: PG PONTIAC GATEWAY

**ADJACENT ZONING:**  
 WEST: NO ZONING, PONTIAC LAKE  
 NORTH: NO ZONING, PONTIAC LAKE  
 EAST: PG PONTIAC GATEWAY  
 SOUTH: R1-C SINGLE FAMILY RESIDENTIAL AND C1-C GENERAL BUSINESS

LOT SIZE:	REQUIRED:	PROVIDED:
MINIMUM LOT AREA:	5,000 SFT	144,000 SFT GROSS
MINIMUM LOT WIDTH:	N/A	116.70 SFT NET
SETRBACKS:		
FRONT:	0 FT	1 FT
REAR AND ALLEY:	25 FT	N/A
SIDE (OUTER):	0 FT	3 FT
PONTIAC LAKE:	35 FT	N/A
3 STORIES OR LESS:	35 FT	N/A
EACH STORY OVER:	+5 FT	SEE BUILDING SETBACK SCHEDULE
EACH 100 FT BLDG LENGTH:	+5 FT	
BUILDING SEPARATION:	10 FT	SEE BUILDING SETBACK SCHEDULE
20 FT + TWO (2) FT FOR EACH 100 FT EXCEEDING FORTY (40) FT		
MINIMUM BUILDING HEIGHT:	10 FT	10 FT
FEEL:	0	1 B.D.
STORIES:	0	3
MINIMUM FLOOR HEIGHT:	14 FT	14 FT
FIRST/GROUND FLOOR:	14 FT	10 FT
UPPER FLOORS:		

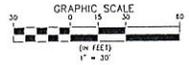
**OFF-STREET PARKING:**  
 MULTIPLE-FAMILY DWELLINGS: INCLUDING SUIT PLUS 1/4 OF A SPACE PER BEDROOM FOR GUEST PARKING IN COMMON AREAS.  
 1 BEDROOM UNITS: 18  
 EXTRA SPACES: 32  
 2 BEDROOM UNITS: 18  
 EXTRA SPACES: 32  
 SUBTOTAL: 71

**RESTAURANT:** 80  
 4.50 SQ. FT., 1 SPACE PER 60 SQ. FT. OF GROSS FLOOR AREA

**TOTAL:** 151  
 148

**BARBER FREE:** 7

**VARIANCES:**  
 REAR SETBACK FROM B.F.E. 20'  
 BETWEEN BUILDINGS 2 AND 4 15.17'  
 BUILD TO LINE COVERAGE 208  
 PARKING SPACES 148



<p><b>Lehner Associates, Inc.</b>                  Civil Engineers   Surveying   Planning   Consulting                  17001 Nixenton Hill Road, Suite 3                  Clinton Township, Michigan 48036                  or: 616.412.7050   616.616.412.7114                  www.lehnerassociates.com</p>	<p><b>8300 PONTIAC LAKE ROAD                  PARCEL 12-13-451-011                  PRELIMINARY SITE PLAN</b></p> <p>PART OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 13, T36N, R26E, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN</p>	<p>Scale: 1" = 30'                  Date: 02-18-22                  Drawn By: S.K.                  No. 14: 21-308                  Sheet No: 01</p>
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3 SCHAFFER DEVELOPMENT

3 story

GHAFARI



2 SCHAFFER DEVELOPMENT

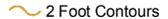
2 story

GHAFARI

# 8300 Pontiac Lake

Section 6, Item B.



-  2 Foot Contours
-  100 yr - FEMA Floodplain
-  5 Foot Contours
-  100 yr (detailed) - FEMA Floodplain
-  FEMA Base Flood Elevations
-  500 yr - FEMA Floodplain
-  FEMA Cross Sections
-  FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present in the map.

  
**David Coulter**  
 Oakland County Executive

Date Created: 1/11/2022



55  
 1 inch = 200 feet

1 Purpose and Introduction

2 Definitions

3 Zoning Districts

4 Use Standards

5 Site Standards

6 Development Procedures

7 Admin and Enforcement

### A. INTENT

The Pontiac Lake Gateway sub-district is intended to create a unique gateway into White Lake Township, enhancing the views of Pontiac Lake and White Lake Oaks Golf Course and reinforcing the appeal of the Township as a “four seasons playground.” Properties located in this area, adjacent to the state trunkline, may accommodate greater height and more intense land activity than elsewhere in this otherwise low density community. This district will allow flexibility in the redevelopment of property along Highland Road (M-59), encourage pedestrian-oriented design, provide a unique identity to this region of the Township, and be compatible with existing residential, institutional, and recreational uses.

**i** **User Note:** For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

### B. PRINCIPAL PERMITTED USES

- i. Multiple-family dwellings
- ii. Administrative, professional, medical and dental offices
- iii. Personal services
- iv. Restaurants (carry-out, fast-food, or sit-down), with or without alcoholic beverage service
- v. Health and fitness facilities
- vi. Business support services
- vii. Retail commercial uses
- viii. Motels and hotels
- ix. **Places of worship** §4.15
- x. Theaters, concert halls, or similar places of assembly
- xi. Instruction centers for academic and fine arts purposes
- xii. Accessory buildings and uses customarily incidental to any of the above permitted uses
- xiii. Outdoor recreation uses, other public and private parks and similar outdoor recreation uses not listed in §4.38
- xiv. **Entertainment and/or outdoor dining associated with a restaurant** §4.18
- xv. Photography or artists’ studios
- xvi. Similar uses, as determined by the Planning Commission

### C. SPECIAL LAND USES

- i. **Drive-through or Drive-in services, banks** §4.17
- ii. **Drive-in or drive-thru window service, convenience market and pharmacy** §4.17
- iii. **Drive-in or drive-thru window service, dry cleaners** §4.17
- iv. **Drive-in or drive-thru window service, restaurant** §4.17
- v. **Hotels over three stories** §4.33
- vi. Uses similar to any special land use in the district, as determined by the Planning Commission, and subject to reasonable conditions to address impacts of similar special land uses.



# PG Pontiac Lake Gateway District

3. Section 6, Item B.

## D. DEVELOPMENT STANDARDS

### Lot Size

Minimum lot area<sup>sq</sup>: 5,000 square feet  
 Minimum lot width<sup>ft</sup>: Not specified

### Setbacks<sup>ft</sup>

Minimum front yard setback: 0 feet  
 Minimum rear yard setback:  
     Adjacent to alley/service drive: 5 feet  
     No alley/service drive: 25 feet  
 Minimum side yard setback:  
     Interior: 0 feet  
     Adjoining residential district: 25 feet  
 Minimum setback from Pontiac Lake:  
     3 stories or less: 30 feet  
     Each story over 3: additional 5 feet  
     Each 100 feet of bldg length: additional 5 feet

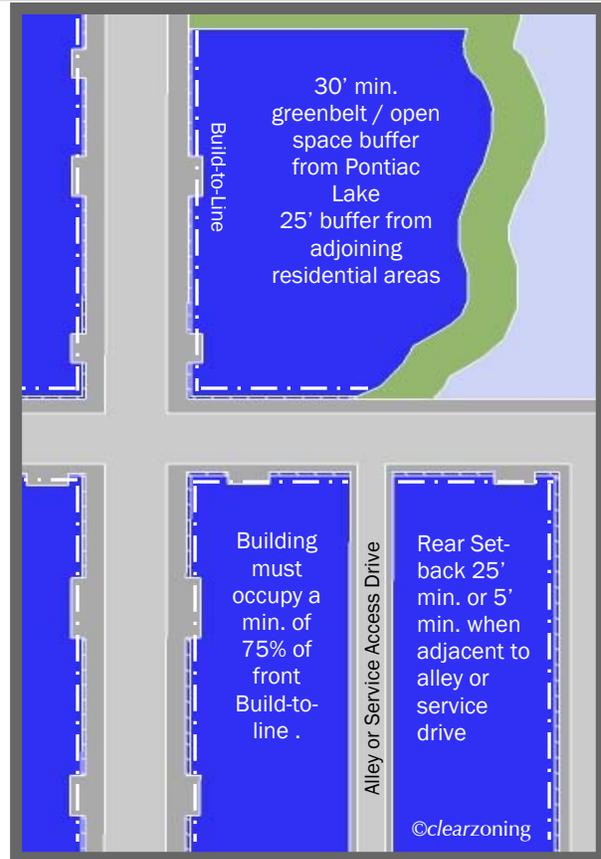
Build-to-Line coverage<sup>sq</sup>: 75%

### Maximum Building Height<sup>ft</sup>

70 feet or 6 stories, whichever is less as a special land use

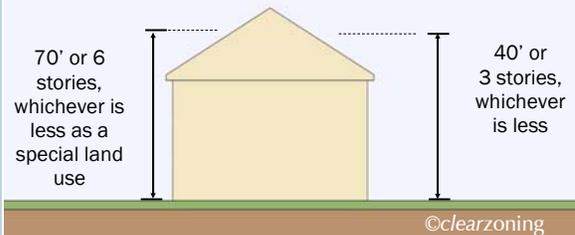
### Minimum Floor Height

First/ground floor: 14 feet  
 Upper floors: 10 feet



The above drawings are not to scale.

### How do I calculate height?



## SELECTED REFERENCES

### 3. Zoning Districts

- Landscape and Screening §5.19
- Performance Standards §5.18
- Visibility §5.6
- Fences §5.12
- Pathway Standards §5.20
- Sidewalk Standards §5.21
- Pathway and Sidewalk Maintenance §5.22

### 4. Use Standards

### 5. Site Standards

- Loading §5.11.P
- Off-Street Parking §5.11

### 6. Development Procedures

- Special Land Uses §6.10 §6.11
- Traffic Impact §6.3
- Access Management §6.4
- Site Plan Review §6.8
- Sewer/Water §6.9
- Community Impact §6.6

### Other Ordinances

Subdivision Regulations  
 Land Division Ordinance  
 Engineering Design Stnds. Ordinance

Purpose and Introduction

2 Definitions

3 Zoning Districts

4 Use Standards

5 Site Standards

6 Development Procedures

7 Admin and Enforcement



**WHITE LAKE TOWNSHIP  
PLANNING COMMISSION**  
Township Annex, 7527 Highland Road  
White Lake, MI 48383  
**January 6, 2021 @ 7:00 p.m.**

Chairperson Anderson called the meeting to order at 7:00 p.m. and led the Pledge of Allegiance. Roll was called.

ROLL CALL: Steve Anderson  
Robert Seeley  
Debbie Dehart  
Joe Seward  
Merrie Carlock  
Scott Ruggles

Absent: Matt Slicker  
Pete Meagher  
Mark Fine

Also Present: Sean O’Neil, Community Development Director  
Mike Leuffgen, DLZ (via Zoom)  
John Jackson, Mckenna & Associates  
Nick Spencer, WLT Building Official  
Hannah Micallef, Recording Secretary

Visitors: 70+ members of the public present

Director O’Neil said Rhonda Grubb had resigned as she became an official employee of the White Lake Police Department. Mr. Robert Seeley was newly appointed to the Planning Commission. Mr. Seeley comes to the Planning Commission with many years of public services and works at Oakland County as the Chief of Emergency Management. He also welcomed the new recording secretary, Ms. Lisa Kane.

Commissioner Anderson thanked Ms. Grubb for her service.

**Approval of Agenda**

Director O’Neil asked to put on Preserve at Hidden Lake’s Setback Clarification request under Other Business item b, and to shift item b. Election of officers and item c.

Commissioner Carlock moved to approve the agenda as amended to add Preserve at Hidden Lake's request to change their storm water agreement, and to move the election of officers and liaison assignments to items c and d respectively.

Commissioner Dehart supported and the MOTION CARRIED with a roll call vote: 6 yes votes. (Anderson/yes, Seeley/yes, Dehart/yes, Seward/yes, Carlock/yes, Ruggles/yes)

### Approval of Minutes

- a. December 2, 2021

Commissioner Ruggles moved to approve the minutes of December 2, 2021 as presented. Commissioner Seward supported and the MOTION CARRIED with a roll call vote: 6 yes votes.

### Call to the Public (for items not on the agenda):

Tony Sisco, 620 Hillwood, wanted to know why the rezoning request was not notified to the public. Commissioner Anderson said the notice was communicated to residents by publishing it in the Spinal Column, and on the website. Director O'Neil added there was notices also posted on the doors of Township Hall, as well as a sign posted on the subject property. Residents within 300' of the subject properties were mailed notices as well.

Lori Bender, 826 Beachway, asked when would she be able to address the public hearing items. Commissioner Anderson explained the call to public was for items that were not on the agenda, and there would be a chance to address the public hearing items when the public hearing opened to the public.

### Public Hearing:

- a) River Caddis Development, LLC Rezoning Request  
Property described as parcel numbers 12-21-426-005 and 12-28-226-001 located at the southwest corner of Highland Road and Elizabeth Lake Road, consisting of approximately 73.41 acres.  
Request: **Applicant requests to rezone approximately 44.8 acres of the approximately 53.41-acre parcel 12-21-426-005, excluding the northeasterly 8.61 acres, and the approximately 20-acre parcel 12-28-226-001 from (AG) Agricultural to (RM-2) Multiple Family Residential or any other appropriate zoning district.**  
Applicant: River Caddis Development, LLC  
1038 Trowbridge Road  
East Lansing, Michigan, 48823

Mr. John Jackson, McKenna & Associates reviewed the application on behalf on the Township. In terms of the process, there would be a public hearing regarding the proposed rezoning and then the Planning Commission would vote on a recommendation to the Township Board. There was no site plan for the subject property at the time.

The master plan designation for the subject property was planned community. Planned community includes a mix of residential types and units, with a density of no more than 10 units per acre. The request to rezone the property from AG to RM-2 was consistent with the master plan.

The subject site was currently undeveloped, with some wetlands, and flat and relatively suitable for development. The applicant's request to rezone to MR2 was compatible with the subject site.

The surrounding uses were existing residential to the west and south. The lake served as a natural buffer to the existing residential to the south, and there would be adequate buffering to the existing residential to the west.

The subject site would eventually be served by water and sewer. The adjacent road system was suitable to carry a high volume of traffic. There was not currently any other undeveloped area in the Township zoned RM-2 in the Township, therefore making the requested zoning district in demand. There would be no isolated parcels adjacent to the subject parcel, as to not create a "spot zoning."

Mr. Jackson's recommendation to the Planning Commission was to recommend that the Township approve the applicant's request to rezone the subject parcel from Agricultural to RM-2.

Director O'Neil said he was in concurrence with the recommendation and the findings of Mr. Jackson's review.

Commissioner Seeley asked Director O'Neil what the density was for the 4 Corners project. Director O'Neil said the 4 Corners project had about 25 units per acre. The density in RM-2 was a maximum of 10 units per acre.

Matthew Schwanitz, Giffels Webster, was present to speak on behalf of the applicant. Mr. Schwanitz said the request was to rezone 64.8 acres. He understood the residents' concerns and acknowledged the subject site was sensitive due to the wetlands and the surrounding neighborhoods. He said the project would be a collaborative effort between the Township and the residents. He said the rezoning was the beginning of the process to meet with the residents and hear their concerns and ideas. The future project on the subject site would be an anchor for the Civic Center development project. Buffering the future project from the existing neighbors would be important and done the right way. The lake was a huge asset for the existing neighbors, the future project, and the future civic center development. It was important to keep the lake safe. As of right now, he thought the requested zoning would work, but there would be future phases and the subject site may end up being zoned Planned Development. The morning and afternoon peaks in regards to vehicle trips were 300 per the traffic study that was submitted. He reiterated that the development of the site would be interactive between the developer and current residents.

Director O'Neil added that the parcel was riparian, and the Township would object to keyhole access, meaning there would be no dockage or marina at the subject site. The access to the lake would be passive, and there wouldn't be development on the water. There could possibly be a pathway network to reach the Library, Stanley Park, and future Civic Center development. There would be no access to Hillway.

Mr. Schwanitz said the wetland line abutted to the water's edge, and EGLE would not allow vertical development in the wetland area as it was protected. The wetland was an asset.

Commissioner Anderson opened the public hearing at 7:42 P.M.

Phil Abbott, 325 Hillwood, appreciated the comments and said they were insightful, he appreciated hearing the limiting of access to the lake. His main concern was excluding the wetland from the rezoning into RM-2.

Christopher Yalko, 7008 Biscayne, wanted to know when the original master plan was adopted, and how often the master plan was updated. He also wanted to know when the zoning standards for RM-2 adopted. He said there was concern with new residents being brought into an area that would share the current resident's natural resources such as the lake.

Grace Springer, 676 Elkinford, said the neighborhood surrounding the subject site was single family. She said 10 units per acre could bring a lot more people, and single-family dwellings should be considered for the subject site.

Eric Walley, 819 Elkinford, asked what the definition of adequate buffering would be.

Brian Lovejoy, 1005 Schuyler, said the lake was the community's common ground, and calling the lake a buffer was unrealistic. He took exception to parcel # 12-28-226-001 being rezoned to RM-2. He said there was no reason to rezone parcel # 12-28-226-001 to RM-2.

Nikki Poland, 8651 Newport, said she was concerned about overdevelopment in White Lake Township, especially over the clearing of woods and displacement of the animals. She felt the roads were not adequate for increased traffic from new developments. She was opposed to the rezoning request as presented.

Dennis Anderson, 7484 Oak Bay Drive, said he rejected the idea of there not being other places for multiple family housing in the Township. Brendel Lake was unique and different from any other lake in this area, and there was a floodplain in the subject site's wetlands, and that's why it had not been developed prior. He wanted to know why parcel 001 was being rezoned as RM-2.

Randy Wojtaszek, 1530 Oak Bay Drive, said he agreed with his neighbors and said he didn't know what passive access to the lake meant. He asked why the wetlands couldn't be excluded from the rezoning.

Kristen Elam, 515 Hillwood, asked if the developer could donate parcel 001 to Stanley Park.

Ann Lovejoy, 1005 Schuyler, said there was a pair of nesting bald eagles on the lake and they needed to be protected.

Candice Rice, 8015 Elkinford, asked what would be done if development was complete, what would be done if damage was sustained to surrounding resident's septic fields.

Ron Creek, 291 Hillwood, said he didn't want the master plan in regards to minimum acreage to be changed without resident involvement. Director O'Neil objected to the statement, and said the Township did not have any meetings that would amend the master plan without notifying residents per state law.

Lori Bender, 826 Beachway Ct, said she wanted to know if someone from the Planning Commission would be involved with contacting EGLE about the wetlands. She wanted to know if an environmental impact study would be done in the future that would include light pollution. She added that stormwater run off was also a big issue.

Mark Lambert, 921 Schuyler, said the Planning Commission should be looking at a more in-depth topography map and information to make their decision.

Jennifer Szelestey, 521 Hillwood, was concerned about noise pollution in addition to potential light pollution.

Rita Doring, 7210 Capri, was concerned about utilities and structural changes to the Township affecting her taxes. She was concerned how her crops were going to grow.

Howard Meyers, 7367 Biscayne, said he was trying to understand tonight's process.

Ed Hennesey, 434 Sunset, asked if the subject site would be potentially able to be rezoned again. He asked why the developer would consider the lake as an asset.

Dawn Pratt, 630 Elkinford, said the back of her house backed up to the woods and wanted to know what type buffering between her home and the future property would be, and how close the future project would be to her home.

Lee Panoushek, 7525 Biscayne, wanted to know if the Planning Commission would consider another zoning district that had less impact than RM-2.

Grace Springer, 676 Elkinford, asked if other areas were considered for the future development.

Brian Lovejoy, 1005 Schuyler, said under RM-2 zoning, condos were a viable construction option and future condo owners would have riparian rights.

Nikki Poland, 8651 Newport, said water recreation was on the rise, but there were other outdoor recreation options available.

Commissioner Anderson closed the public hearing at 8:29 P.M.

Mr. Jackson said RM-2 zoning offered a minimum physical separation buffer of 20', and a 6' berm with landscaping or denser landscaping like preserved woods would be allowed. Commissioner Anderson said the Planning Commission were strong advocates of "green buffering."

Director O'Neil said the Master Plan was last rewritten and updated in 2011, and the master plan is required to be looked at every 5 years. The document as it stands was relevant for today's standards. 2003 was when the RM-2 zoning was last updated.

If the future project went forward, the Township could prevent keyhole access to the future residents and they would not be full riparian owners. The Township would not approve dockage or a launch. An environmental impact statement would be required, in the ways of a community impact statement as a CIS was what the Township ordinance required. Future rezoning requests would be able to be considered in the future. The future project would be connected to municipal water and sewer. In regards to topography, it would be reviewed by the Township Engineer, but the applicant has not brought a plan forward yet. The applicant had not purchased the property, and wouldn't until the rezoning was official. After the rezoning was adopted, the applicant would undergo the traditional site plan process through the Township Planning Department and have to meet requirements through the Township.

Mr. Schwanitz said if parcel # 12-28-226-001 was left out of the rezoning, it would create a "spot zone" and that's illegal per state law. He reiterated there would be no vertical development within the wetland area. He believed the lake was an asset because of the dramatic glimpses of the woods through

the lake. There would be nothing done to drop the water level, and the surrounding water table will be tested and analyzed. Test borings would be done to test ground water as well as the soil. He would take the bald eagles into future assessments. There was a new set of standards for stormwater coming from EGLE that would encourage filtration and percolation for stormwater runoff. Commissioner Anderson added that all stormwater management would be managed and monitored by the DPS Department and DLZ.

Director O'Neil added that there was a demand for the community because there was water and sewer within the Township. as far as there being another parcel suitable for this future development, the only other parcel that the developer could have considered was already underway for a larger residential development.

Commissioner Ruggles stated that the residents of Brendel Lake are passionate, and he benefitted from their comments. He said this was only the first step, and once a site plan was submitted, there would be more room for resident engagement. He said the best way to go about this would be to plan the property wisely, and take all the comments into consideration.

Commissioner Dehart said she agreed with Commissioner Ruggles statement, and said she believed in responsible development. The future development needed the density to help the Civic Center district thrive. She considered all comments made during the public hearing.

Commissioner Carlock said EGLE would definitely protect the wetland, and keep an eye on it as well.

Commissioner Anderson said over his years on the Planning Commission, the projects he has seen undergo scrutiny and are held accountable by the Township. He encouraged the residents to communicate with the Planning Commission more often for their concerns to be heard.

**Commissioner Seward MOVED to recommend the Township Board approval of River Caddis, LLC's request to rezone approximately 44.8 acres of the approximately 53.41-acre parcel 12-21-426-005, excluding the northeasterly 8.61 acres, and the approximately 20-acre parcel 12-28-226-001 from (AG) Agricultural to (RM-2) Multiple Family Residential.**

**Commissioner Seeley SUPPORTED the MOTION CARRIED with a roll call vote: 6 yes votes. (Anderson/yes, Seeley/yes, Dehart/yes, Seward/yes, Carlock/yes, Ruggles/yes)**

**b) Taco Bell**

Property described as parcel number 12-20-276-036, located at the northeast corner of Highland Road (M-59) and Bogie Lake Road, consisting of approximately 1.07 acres, currently zoned (PB) Planned Business District.

Request: **Public comment on the proposed preliminary site plan for the above Planned Business District zoned property, consisting of a 2,235 square foot drive thru restaurant.**

Applicant: Great Lakes Taco, LLC  
8487 Retreat Drive  
Grand Blanc, Michigan, 48439

Mr. Jackson said the subject parcel was one of the remaining out lots from the Meijer development. He had minor comments: lot coverage information was not provided on the plans, and there were 9 stacking spaces at the entrance of the site provided on the plan. There

need to be clear delineation on how vehicles would queue up in the drive thru. The 5' landscape on the east side of the property needed to be expanded to 7', and a full landscape plan needed to be submitted. The sidewalks along Bogie Lake Road and Highland Road needed to have their widths identified on the plans. The average curbs on the site were high, and lighting on the building needed to be detailed more. A full lighting plan would also need to be submitted. The signage package needed to be pared down in order to come into compliance with the Township's signage standards. The dumpster enclosure needed to be increased in height. The 60' setback as shown on Bogie Lake Road was not in compliance, but only the drive thru faced Bogie Lake Road. He suggested the Planning Commission giving the applicant direction on facing the building to Highland Road and Bogie Lake Road. He also added that the outlet to the north would have to have a consistent streetscape as the Taco Bell, provided that the northern outlet was developed in the future. Window coverage on the walls would need to be submitted as well. The applicant proposed a 20' pylon sign, and that wasn't allowed per Township ordinance.

Commissioner Anderson asked if the signage the applicant was requesting differed from the signage at the Taco Bell that was on Union Lake Road and Cooley Lake Road.

Mr. Leuffgen was present and went over his most current review. He said because the subject site was an outlet, some engineering issues were already taken care of during the development of the Meijer project. The site would need to meet ADA requirements, and some of the existing sidewalk on Bogie Lake Road would need to be repaired. Firetruck access was demonstrated, but a turn around movement would be required. Water service was demonstrated based on a 1.5" water service lead. The site would be connected into the Township's sanitary sewer system, and there was an existing pump station in front of the site. The plans showed the required 1000 gallon grease interceptor. The site demonstrated engineering feasibility.

Director O'Neil said Meijer was wrapping up the division of the subject site, and that was the reason why there was a delay in bringing the project before the Planning Commission. Reciprocal access between the subject site and McDonald's would also have to be worked out before final approval. There would be a maintenance agreement that would be shared by McDonald's and Taco Bell.

Greg Lautzenheiser was present to speak on the case. He said a lot of the minor details that were discussed were not a problem and would be taken care of during the final site plan process. He said the subject site was difficult as far as configuration. He said he considered flipping the building as was suggested by the Planning Commission, but that would cause more problems. He said the owner owned the other Taco Bells in the Township, and the final building would look similar to the others. Hardie board was no longer available, but alternative fiber cement board would be used instead. The cement board would be a higher quality material.

Commissioner Anderson asked the applicant if there was opposition to the Township's signage requirements. Mr. Jackson asked if wall signs needed to be on all 4 sides of the building. There would be no signage on the back of the building, and there wasn't adversity towards having wall signage on only two sides.

Commissioner Anderson opened the public hearing at 10:15 P.M. Seeing none, he closed the public hearing at 10:17 P.M.

Commissioner Seward **MOVED** to recommend to the Township Board approval of the preliminary site plan for parcel number 12-20-276-036 located at the northeast corner of Highland Road (M-59) and Bogie Lake Road, consisting of approximately 1.07 acres, currently zoned (PB) Planned Business District, subject to all consultant comments and Planning Commissioner comments, especially in regards to construction materials and signage. Commissioner Dehart **SUPPORTED**, and the **MOTION CARRIED** with a roll call vote (6 yes votes):  
(Seward/yes, Dehart/yes, Carlock/yes, Ruggles/yes, Anderson/yes, Seeley/yes).

**Continuing Business**

None.

**New Business**

None.

**Liaison's Report:**

Commissioner Carlock said the Land and Water Conversation fund grant for Stanley Park was awarded to the Township for engineering services for the initial development of Stanley Park.

Commissioner Dehart said the ZBA will be holding ongoing discussions regarding portions of the zoning ordinance, and the sign ordinance would be reviewed as well.

Commissioner Ruggles said the Township Board met in December, the 4 Corners retail out lot preliminary and final site plan were denied. The Township Board approved their preliminary engineering costs for the paving project along Pontiac Road from Margie Drive to Kingston Street.

**Planning Consultant's Report**

None.

**Director's Report:**

There will be a meeting on the 20<sup>th</sup> to hold public hearings for the ComfortCare on Union Lake and for the Oxbow Lake Private Launch Association. Both projects went forward with publishing before review comments came back and will be tabled at the meeting as their plans were recommended for revision from staff and consultants

**Other Business:**

**a) 8300 Pontiac Lake Road conceptual discussion (no action to be taken)**

Michael Zeer was present to speak regarding 8300 Pontiac Lake. The property caught his eye, and has met with staff and consultants on what type of development could be the best fit. The subject site was difficult to work with, but he felt what he was presenting would make the subject site functional while meeting the standards that the Pontiac Gateway district presented. He wanted to put 52 multi family units on the subject site, along with a few docks. There would be a common area beach that the residents would have access to.

Director O'Neil said that the property used to have a mobile home park on it, and was a little over 3.5 acres in size. Another group had come in a year ago with a mixed-use conceptual plan for the site, but it never got off the ground. Docks wouldn't be a problem as the lake was public.

Commissioner Seeley asked Mr. Zeer if the buildings were all intended to be multi family, or would the buildings have a mix of commercial and residential? Mr. Zeer said there was currently a lot of commercial vacancy, and it would take time to fill those buildings. Most interested tenants would want to be directly on M-59.

Commissioner Seeley said his concern with keeping the buildings all residential was that the proposed development would need to have a price point that would drive interest. Mr. Zeer said the units would be beautiful, and even though he might struggle to find a tenant for the one commercial piece, he could do it. He felt like his plan would be the best fit for the subject site. He would be putting a lot of money into the project, and would have to repair the current seawall, as well as putting in a new pump station.

Commissioner Carlock asked Director O'Neil if there was enough proposed parking. Director O'Neil said the plans had not been reviewed with the ordinance standards yet.

Commissioner Anderson asked Mr. Zeer if there was a ballpark for the rental rates. Mr. Zeer said the prices would be around \$1400.00.

Commissioner Dehart asked Mr. Zeer if there was a need for more apartment like products in White Lake. Mr. Zeer said yes.

Commissioner Seeley said he would like to see the whole peninsula redeveloped, but this proposal would be a good start.

Commissioner Seward said the surrounding area has a lot of convenience stores, and he didn't like the concept of rentals in that area. Mr. Zeer said it could be challenging doing homes or condos on the subject site due to the properties that surround it.

Director O'Neil said the Township Board should also provide conceptual feedback before the applicant began the site plan process.

**b) Preserve at Hidden Lake Unit Setback Clarification**

Director O'Neil said he, Building Official Spencer, Mr. Leuffgen, have met all week in regards to the lake levels rising. Building Official Spencer said he went out to inspect the new homes and noticed they were much closer to the water. The footprint hadn't changed, so engineering went out twice to double check and it was confirmed the water had risen. The grade was shallow, and the water had spread 12'. The notes on the site plan call out the structure's setback 40' from the water's edge and now it's only 25' from the water. As the ordinance currently reads, he wouldn't be able to approve the decks in that area of the development too. There is a proposal of allowing a 12' maximum deck of any home that has the current 25' setback.

Director O'Neil said instead of measuring 40' from the water's edge, the new setback would be 25' from the freeboard level.

Building Official Spencer said the setback was originally based on the water's elevation. He couldn't technically approve the builds based on the current set of plans because of the water that rose. There wouldn't be a risk of the homes flooding; the basement elevations are 6-7' higher than where the water sits, and the soils were great in the area.

Mr. Pat McWilliams, Kieft Engineering, said that the original approved site plan showed lots to have a rear yard setback of 40' off of the original water level of 939.10. Due to the high amount of rainfall last year, the highest the water level has gotten was 941.50. He suggested a modification to the minimum rear yard setback that would result in 25' off of the 1' freeboard

line. Decks would be at least 12', and in the closest scenario, the remainder of homes affected would have a rear setback of 25' from the 1' freeboard elevation line of 942.30.

Commissioner Anderson asked how many lots this would impact. Mr. Craig Piasecki, developer, said in the worst-case scenario, it would affect 16 lakefront homes.

Commissioner Seeley stated the site was never deforested before this, and the forest absorbed a lot of that water. There was nothing that could prove the water wouldn't rise another 2' next year. Mr. McWilliams said the water rose and drop, and there would have to be another 5-6 100-year storms to flood the home.

Commissioner Dehart asked if the homes were in a floodplain and would require a future homeowner to get flood insurance. Mr. Piasecki said no, and other new residents have not needed to purchase floodplain insurance.

Mr. Leuffgen said once the landscaping was installed, it would help with run off. He was not concerned about the basements flooding, there was plenty of elevation. The conditions of the site were very sandy and didn't help the pond levels as they rose. The free board elevation was a 1' pike over the high water level, used as a factor of safety. The water had not gotten than high, and was used as the worst case scenario.

Building Official Spencer suggested using some of the excess water to irrigate common areas. Mr. Piasecki said he wasn't opposed to the idea.

**Commissioner Seeley MOVED to recommend the Township Board approval of the modifications to Preserve at Hidden Lake's development agreement to allow staff to make a minor change to the approved site plan and incorporate the exhibit "Preserve at Hidden Lake Unit Setback Clarification" dated January 6<sup>th</sup>, 2022. Commissioner Seward SUPPORTED and the MOTION CARRIED with a roll call vote: (6 yes votes):  
(Seeley/yes, Seward/yes, Ruggles/yes, Anderson/yes, Dehart/yes, Carlock/yes)**

**c) Election of officers**

**Commissioner Ruggles nominated Steve Anderson to serve as Chairperson of the White Lake Township Planning Commission for the remainder of 2022. Commissioner Seeley SUPPORTED and the MOTION CARRIED with a voice vote: (6 yes votes)**

**Commissioner Anderson nominated Commissioner Seward to serve as Vice Chair of the White Lake Township Planning Commission for the remainder of 2022. Commissioner Carlock SUPPORTED and the MOTION CARRIED with a voice vote: (6 yes votes).**

**Commissioner Anderson nominated Commissioner Dehart to serve as the Secretary of the White Lake Township Planning Commission for the remainder of 2022. Commissioner Carlock SUPPORTED and the MOTION CARRIED with a voice vote: (6 yes votes).**

**d) Liaison assignments**

**No action was taken.**

**Communications:**

There would be meeting on January 20<sup>th</sup>.

**Next Meeting Dates:** January 20, 2021  
February 3, 2021

**Adjournment:**

Commissioner moved to adjourn the meeting at 11:32 P.M. Commissioner supported and the MOTION CARRIED with a voice vote: 6 yes votes.

## EMPLOYMENT AGREEMENT

This Employment Agreement (the “Agreement”) is made this \_\_\_ day of April 2022, between the Township of White Lake (the “Township”) and David Hieber (Assessor).

The Township hereby desires to employ David Hieber as its Assessor, and he hereby accepts such at-will employment in accordance with the terms and conditions of this Agreement.

1. **Term.** The term of this contract shall be for a period of two (2) years, provided the parties shall have a right to extend the contract for an additional one (1) year period. During the Employee’s tenure he shall be an at-will employee and his employment may be terminated at any time by either the Township or himself.

2. **Duties of Assessor.** Employee’s duties are described on the attached job description which will be assigned by the Township Supervisor. These are general in nature and not exclusive. The Employee agrees to devote his full time, attention and best efforts to the performance of such duties. The Employee shall also perform such additional duties assigned by the Township. The work schedule of the Employee shall normally be 8:00 a.m. to 4:30 p.m., Monday-Friday, however he will be required to respond to police emergencies or operational issues, as necessary, and attending board or committee meetings outside normal work hours, as directed by the Township Supervisor. The Township reserves the right to make adjustments to this provision as necessary.

3. **Salary.** Commencing with the Effective Date hereof, the Township agrees to pay the Employee a salary sufficient to provide the Employee annual compensation of \$96,094. Employee shall be paid in equal installments, during the Township’s regular payroll periods. The Assessor is eligible for non-union increases approved by township board resolutions or motions.

4. **Fringe Benefits.** Commencing with the Effective Date hereof, the Township agrees to provide the Employee with benefits which include: health insurance, paid time off, retirement benefits, and all other benefits are subject to adjustment and modification at the discretion of the White Lake Township Board of Trustees. Specifically, these include, but are not limited to: medical, dental, vision and group term life insurance. The Employee has been provided with a copy of the present benefits guide which are subject to change.

The Township will provide a 401(A) with an employer contribution of 9% and a mandatory employee contribution of 5%. This plan shall have 100% vesting after 2 years.

The employee shall not receive a retiree health care savings plan and no other pension benefits will be provided. Additionally, for retirement purposes, the Employee is not entitled to retiree healthcare.

Vacation time: three weeks per calendar year, which shall be prorated for the first year.

5. **Exempt.** The position is an exempt position. The Employee acknowledges that he is not eligible for overtime pursuant to the FLSA or Michigan Wage and Hour law.

6. **At-Will Employee and Termination Without Cause.** Employee shall serve at the pleasure of the Supervisor and Township. During his employment with the Township, the Employee acknowledges that this is an at-will appointment, and either the Township or Employee may terminate employment, provided two (2) weeks notice is given, with or without cause, at any time during the duration of this Agreement.

Upon termination of employment, the Employee shall return all documents, correspondence, files, papers or property of any kind, of all types of nature pertaining to the Township, which the Employee may have in his possession or control and a signed statement verifying return of all such property.

7. **Performance Evaluation.** The Township may conduct an evaluation of Employee’s performance at its discretion. The evaluation shall be as determined by the Township Supervisor and/or Board of Trustees.

8. **Arbitration.** If a dispute arises concerning this Agreement or Employee’s employment with the Employer, such dispute can be resolved only through binding arbitration pursuant to the terms of this arbitration provision. Within one hundred eighty (180) days of the event or occurrence which gives rise to the dispute, either Employee or the Employer may file a demand for arbitration with the American Arbitration Association (“AAA”). Such arbitration shall be conducted in accordance with AAA’s employment arbitration rules (except as modified herein). Such arbitration shall be heard by a single Michigan arbitrator. The determination of the arbitrator shall be binding upon both the Employer and Employee. All expenses, costs, administrative filing fees and arbitrator’s fees shall be shared equally by the Employer and Employee. The parties further agree that they will comply with the terms of this arbitration provision and any award rendered by the arbitrator, and that a judgment of a court having jurisdiction may be entered upon the award as long as the arbitrator does not exceed their authority or jurisdiction. This arbitration agreement specifically includes, but is not limited to, statutory claims of employment discrimination.

9. **Notices.** All notices under this Agreement shall be given in writing.

10. **Entire Agreement.** This Agreement is the entire agreement of the parties and supersedes any prior written or oral understandings. No extrinsic or oral evidence may be used to modify, vary or construe its terms. No modification or waiver of any provision of this Agreement shall be valid unless in writing and signed by the Employee, Township Supervisor and Township Clerk, upon prior authorization of the Township Board. Oral statements made by any representative or employee of the Township cannot alter the terms of this Agreement.

11. **Reservation of Rights.** This Agreement in no way limits, modifies or restricts the rights of the Township Supervisor or Board and all rights are specifically retained. No arbitrator has authority or jurisdiction to limit or alter in any way those rights.

12. **Assignment.** The Employee may not assign any of his rights or delegate any of his duties under this Agreement.

13. **Severability.** The provisions of this Agreement are severable, and if any provision of this Agreement shall be, for any reason, invalid or unenforceable, the remaining provisions shall nevertheless be valid, enforceable, and carried into effect.

14. **Governing Law.** This Agreement shall be governed by and interpreted under the laws of the State of Michigan.

15. **Binding Effect.** The rights and obligations of the parties shall accrue to the benefit of, and be binding upon, the parties and their respective heirs, executors, personal representatives and successors.

IN WITNESS WHEREOF, the undersigned have executed this Agreement on the day and date first above written.

WITNESS

WHITE LAKE TOWNSHIP

\_\_\_\_\_

\_\_\_\_\_  
SUPERVISOR

\_\_\_\_\_  
TOWNSHIP CLERK

\_\_\_\_\_  
David Hieber