



## PLANNING COMMISSION MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MI 48383  
THURSDAY, OCTOBER 17, 2024 – 6:30 PM

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*White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | [www.whitelaketwp.com](http://www.whitelaketwp.com)*

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## AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
  - A. [October 3, 2024](#)
6. CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)
7. PUBLIC HEARING
8. CONTINUING BUSINESS
9. NEW BUSINESS
  - A. [Ginko Self-Storage](#)  
[Location: located on the north side of White Lake Road, west of Old White Lake Road, consisting of 2.14 acres.](#)  
[Currently zoned Light Manufacturing \(LM\). Identified as vacant parcel 12-01-127-004](#)  
[Request: \*\*Final site plan approval\*\*](#)  
[Applicant: Ginko Investments, LLC](#)
10. OTHER BUSINESS
11. PLANNING CONSULTANT'S REPORT
12. LIAISON'S REPORT
13. COMMUNICATIONS
14. NEXT MEETING DATE: November 7, 2024
15. ADJOURNMENT

**Procedures for accommodations for persons with disabilities:** The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-164 at least two days in advance of the meeting.** An attempt will be made to make reasonable accommodations.

**WHITE LAKE TOWNSHIP  
PLANNING COMMISSION  
OCTOBER 3, 2024**

**CALL TO ORDER**

Chairperson Seward called the meeting to order at 6:30 P.M. He then led the Pledge of Allegiance.

**ROLL CALL**

**Present:**

T. Joseph Seward, Chairperson  
Merrie Carlock, Vice Chairperson  
Mona Sevic  
Pete Meagher  
Matt Slicker  
Steve Anderson

**Absent:**

Debby Dehart  
Robert Seeley  
Scott Ruggles, Township Board Liaison

**Others:**

Sean O'Neil, Community Development Director  
Lisa Hamameh, Township Attorney  
Michael Leuffgen, DLZ  
Hannah Kennedy-Galley, Recording Secretary

**APPROVAL OF AGENDA**

**MOTION by Commissioner Carlock, seconded by Commissioner Meagher to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).**

**APPROVAL OF MINUTES**

A. September 5, 2024

**MOTION by Commissioner Anderson, seconded by Commissioner Sevic to approve the minutes as presented. The motion carried with a voice vote: (6 yes votes).**

**CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)**

Evan Whipple, 6450 Teluride, wanted to know when Elizabeth Lake Road would open. Director O'Neil said the road should be open by November.

**PUBLIC HEARING**

None.

## CONTINUING BUSINESS

None.

## NEW BUSINESS

### A. Culver's

Property described as parcel number 12-20-276-035, located on the north side of Highland Road (M-59) and west of Bogie Lake Road, with a project area on the parcel consisting of approximately 1.69 acres, currently zoned (PB) Planned Business District.

Request: 1) **Final site plan approval**

2) **PDA approval recommendation**

Applicant: Katie Schmitt

Director O'Neil gave a brief review of the applicant's request. He noted that the Township Attorney, Ms. Hamameh, will draft the planned development agreements going forward. The site is shovel-ready, and staff is comfortable approving the site plan subject to the remaining outstanding comments being addressed.

Mr. Leuffgen summarized his review letter. His ultimate recommendation is approval of the final site plan contingent on the few remaining items being addressed. An on-site stormwater maintenance management agreement and easement will be requested by the Township.

Commissioner Meagher asked Mr. Leuffgen about the remaining outstanding comments. Mr. Leuffgen said a response letter from the applicant helps streamline the review, and the outstanding comments are minor.

Director O'Neil said building material samples were available this evening.

Raymond Embach, AMAG, architect, said the exterior building samples were brick, thin stone, and efface paint samples. He wanted to request a change to the building materials from thin brick to hardy board siding due to the costly price of the thin brick. He said the hardy board would be an equal exchange for the thin brick in terms of quality.

Commissioner Anderson asked if other Culver's that have the hardy board siding. Mr. Embach said the restaurants in Waterford and Fenton have the hardy board siding.

Commissioner Anderson expressed his desire to keep the brick over the hardy board. He said the Planning Commission valued the cost-saving effort, but the request was last minute.

Director O'Neil suggested mixing and matching materials so the brick would be front-facing, and the hardy board would be out of plain sight.

Commissioner Slicker added that the west and north sides of the building probably weren't visible.

Commissioner Seward was in favor of the brick, as was Commissioner Carlock.

Commissioner Anderson asked Director O’Neil about the signage. Director O’Neil said the proposed signage was compliant and would be included in the PDA’s exhibit B. Meijer would not allow a monument sign.

Attorney Hamameh briefly went over the development agreement. She wanted to confirm a record of the community impact statement being waived. Commissioner Anderson said he remembered a discussion regarding a \$10,000.00 contribution toward the Corridor Improvement Authority instead of a sidewalk as a community benefit.

Director O’Neil added that the CIA plan includes sidewalk connection projects, and the funds could go toward a more meaningful pathway connection.

Bob Hoffman, 2521 Rose Center Road, said the hardy siding will look traditional and match more with Meijer’s architecture.

**MOTION by Commissioner Anderson, seconded by Commissioner Carlock, to approve the final site plan for Culver’s, identified as parcel number 12-20-276-035, subject to addressing staff and consultant comments, and for the exterior thin brick to remain as shown in the plan.**

**(Slicker/yes, Sevic/yes, Anderson/yes, Seward/yes, Carlock/yes, Meagher/yes).**

**MOTION by Commissioner Meagher, seconded by Commissioner Anderson, to recommend the Township Board approve Culver’s planned development agreement as amended based on the discussion this evening. The motion carried with a voice vote: (6 yes votes).**

**OTHER BUSINESS**

None.

**LIAISON'S REPORT**

Commissioner Carlock stated Trunk or Treat is October 19, 2024, at Fisk Farm from 6-8 P.M. October 6, 2024, is the Harvest Happenings at Hess Hathaway Park in Waterford. The Phase 1 work at Stanley Park will be re-bid due to the contractor failing to perform.

**PLANNING CONSULTANT'S REPORT**

None.

**DIRECTOR'S REPORT**

There has been no activity from Panera or Black Rock. A site plan for River Caddis is under review. The property at the corner of Elizabeth Lake Road and M-59 will be applying for a rezoning request soon.



There is site work underway at the Civic Center property. The Township Board accepted the Capital Improvement Plan.

**COMMUNICATIONS**

None.

**NEXT MEETING DATE: October 17, 2024**

**ADJOURNMENT**

**MOTION by Commissioner Anderson, seconded by Commissioner Carlock, to adjourn at 7:22 P.M. The motion carried with a voice vote: (6 yes votes).**

DRAFT

**Director's Report**

Project Name: Ginko Self Storage  
 Description: Final site plan approval  
 Date on Agenda this packet pertains to: October 17, 2024

- Public Hearing
- Initial Submittal
- Revised Plans
- Preliminary Approval
- Final Approval
- Special Land Use
- Rezoning
- Other:

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	CDD Director	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Per reviewer's comments
DLZ	Engineering Consultant	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per letter dated 10/09/24.
Justin Quagliata	Staff Planner	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per letter dated 10/03/24.
Jason Hanifen	WLT Fire Marshal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Per letter dated 10/08/24.



INNOVATIVE IDEAS  
EXCEPTIONAL DESIGN  
UNMATCHED CLIENT SERVICE

October 9, 2024

Sean O' Neil, Director  
Community Development Department  
Charter Township of White Lake  
7525 Highland Road  
White Lake, Michigan 48383

**RE: Ginko Self Storage -Final Site Plan/Final Engineering Plan Review-3<sup>rd</sup> Review  
Stormwater Maintenance Agreement Review-1<sup>st</sup> Review**

DLZ # 2345-7567-04

Dear Mr. O' Neil,

Our office has reviewed the above-mentioned revised plan prepared by PEA Group and dated September 6, 2024. These plans were reviewed for conformance with the Township Engineering Design Standards. In addition, we have also reviewed the above mentioned stormwater document. We offer the following comments for your consideration:

In addition, the following comments from our Preliminary Site Plan review letter dated December 21, 2023 remain as notations and/or will also need to be addressed:

#### General

1. *There is a Master Deed as part of the Prospectors Square Condominium overall plan. The requirements of this deed will need to be met. Comment addressed. Design engineer has responded that the requirements of the Master Deed have been met. The design engineer has noted that the project design complies with the requirements of the Prospectors Square Condominium Master Deed.*  
**Comment remains as a notation.**

#### Grading/Paving

1. *The proposed parking layout has been revised from a previous layout in order to provide for 5 (versus 4 previously proposed) parking spaces. DLZ notes that the revised configuration is not ideal in terms*



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*of backing out of the northern two spaces; however, we believe there is sufficient room to physically make the turning movements required. **Comment remains as a notation.***

#### Sanitary Sewer

1. *Oakland County Health Department will need to approve and permit septic field for this property. **Comment remains.***

#### Watermain

1. *We defer to the Township Fire Department with regard to fire suppression requirements. **Comment remains.***
2. *Provide a fire truck turning plan for a 40 foot fire truck to demonstrate all proposed buildings are accessible by a fire truck. Comment addressed; however, it is not clear how Building #1 will be accessed by fire truck in the event of a fire. We defer to Township Fire Department for further comment. We note that the current submittal provides for a 250' fire hose length to cover Building #1. We continue to defer to the Township Fire Department as to whether this is considered acceptable relative to fire suppression coverage. **Comment remains as a notation.***
3. *Oakland County will need to approve the well and permit for this property. **Comment remains.***
4. *A well is proposed as the source of water for this site. Per our files, there exists a Water Supply Agreement that states that wells are to be abandoned if water main becomes available for use. We defer to the Township as to whether this agreement was ever signed. Please note that our files indicate that this agreement was received by the Township on December 18, 2000. **The design engineer has commented that the owner will sign the agreement; please provide a copy of the signed agreement. Comment remains and the signed agreement shall be required prior to a preconstruction meeting.***

#### Stormwater Management

1. *Per the Prospectors Square Condominium Plan, Master Deed, and Exhibit B to the Master Deed, each lot within the condominium must retain stormwater. The Master Deed and the Exhibit B to the Master Deed also require the owner of each lot to retain a specific amount of storm water and detain the remainder before out letting to the existing pond in the rear of the property. Please provide additional stormwater calculations supporting the required detention volume. Comment outstanding; the calculations on the plan need to be clarified to show they meet minimum White Lake Township design standards. Required detention volume calculations need to be provided to demonstrate site improvements can achieve the required storage volume. The Engineering design Standards do not allow retention (i.e., no positive outlet) in parking areas, please refer to Item C.4.o of the Engineering Design Standards. This will need to be updated on the plan set to demonstrate*

*feasibility. Comment addressed. The site shall have zero runoff and stormwater shall be managed via infiltration. Calculations demonstrating this have been provided by the design engineer.*

**Comment remains as a notation.**

*In addition, leaching basins are only allowed per the following requirements from WLT Engineering Design Standards C.5.a.-c.:*

*Engineered Infiltration Systems may be utilized when all the following conditions exist:*

- a. *No adequate storm sewer, open ditch, or road drain is available for storm water disposal and an open retention pond is not prudent or feasible. Condition not met; this condition has not been demonstrated on the plan set. A statement has been provided on the plan set to this effect on Sheet C-6.0; condition satisfied. **Comment remains as a notation.***
- b. *Soil composition is optimum and ground water table is suitable for percolation. Optimum soil conditions defines soil composed entirely of coarse sand, gravel, or a coarse sand gravel mixture. A soils report by a licensed engineer with borings to 10 feet below the bottom of the infiltration system with groundwater level data and in situ or laboratory determined permeability rates and recommending the advisability of an Engineered Infiltration System shall be provided. Condition not met; this condition has not been demonstrated on the plan set. Design engineer states that a geotechnical report is forthcoming. Condition satisfied. A geotechnical report has been provided demonstrating the above requirements; we also note that the recommendations of the report, relative to site construction, be followed. **Comment remains as a notation.***
- c. *Leaching basins shall be sized as a combination storage and groundwater discharge detention basin with storage volume determined the same as open detention basins. The discharge rate shall not exceed a perc rate of 6" per hour for the bottom and sides of the soil/stone interface (sides of the trenches). Stone voids ratio may be assumed as 0.40. This has not been provided on the plan set; please provide calculations supporting the required storage volume. Comment outstanding; calculations do not demonstrate that the storage volume like what would be required for a detention basin can be accommodated. Condition satisfied. Calculations now demonstrate required storage volume will be provided. **Comment remains as a notation.***

*One of two standard basins based on the designs shown on the Township Standard Storm Sewer Detail Sheet or proprietary underground storage/infiltration systems or*



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*other engineered systems if approved by the Township Engineer may be used.*  
**Condition satisfied and remains as a notation.**

#### FSP/FEP Comments-

Please note that comments from our August 13, 2024 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.

#### General

1. *Sheets C-3.0,4.0,6.0, L-1.0, and A-1.0- Remove all references to 'Preliminary' in the title boxes on these sheets. In addition, we note that all sheets are marked as 'Not for Construction.' Comment partially addressed. All references to 'Preliminary' have been removed with the exception of Sheet 4.0. Please remove reference on this sheet. Comment partially addressed. All references to 'Preliminary' have now been removed. We note that in the sheet index of drawings on the cover sheet that Sheet A-1.0 is listed as 'preliminary.' Please remove the preliminary reference for this line item.*
2. *Cover Sheet- Revisions box- Please add latest revision date of 7/25/24. Comment addressed. Revision date has been added to this box.*

#### Grading/Paving

1. *Sheet C-3.0- Add note to plan to place 'Sidewalk Ends' sign and guardrail at end of sidewalk at eastern property line. A guardrail or fence shall be required due to the steep grade in this area. Comment partially addressed. A sign and guardrail are now shown on this sheet; please add a guardrail detail to Sheet C-9.1 and add sheet reference note on Sheet C-3.0. Comment addressed. A guardrail detail is now shown on Sheet C-9.1.*
2. *Sheet C-4.0- Provide an expanded view of the grading, with detailed grades provided, for the ADA parking and loading zone. Grades shall be required to comply with ADA standards. Comment partially addressed. An expanded view of the ADA parking and loading zone has been provided; however, the 29.65 grade in the expanded view does not match that shown on the grading plan (29.60). Comment addressed. Grade has been revised.*

3. *Construction of the proposed retaining wall on the east side of the property will likely require an off-site easement from the property to the east for access and construction due to the close proximity of the wall to the eastern property line. Please comment.* **Comment addressed. Per the design engineer response dated September 24, 2024, the wall can be constructed within the limits of the property and thus the need for an off-site easement is not required.**
4. *Sheets C-1.0 to C-6.0-Please correct the spelling of 'asphalt' for White Lake Road. In addition, please correct the spelling for dual for the dual striping note on Sheet C-3.0.* **Comment addressed. All spelling items have been corrected.**
5. *Sheets C-3.0 and C-4.0-Show curb cuts, striping, and warning strips at both the sidewalk crossing for Coastal Parkway and the entrance to Ginko Storage.* **Comment addressed. Information has now been shown.**
6. *Sheet C-4.0- SE corner of site at 'Match EX. +- 28.60'. This is a low point; the proposed road ditch grading as shown will not function properly as drainage from the Match EX +-29.40' grade will flow toward the low point of 28.60. In addition, drainage from the north and north west shall also collect and pond at this low point. Please revise.* **Comment partially addressed. A storm structure has been added at the low point to collect the drainage that would collect in this area; however, please show/shade in storm piping on Sheet C-6.0.**
7. *Sheet C-4.0- There is a low point of 32.45 along the eastern drive entrance. We recommend a spillway be provided to route the drainage into the ditch. In addition, there is a low point (32.25) in the Detail M gutter.* **Comment addressed. Grades have now been revised for positive drainage and a spillway to route the drainage to the ditch has now been provided.**
8. *Sheet C-4.0- Provide TW and BW grades for the eastern end of the dry laid fieldstone wall.* **Comment addressed. The grades have been provided.**
9. *Sheet C-4.0-It appears that the grading will be too steep (at the 31.30 asphalt grade near eastern end of fieldstone wall/berm) from top of curb elevation (31.80) to the 1030 berm contour. Please revise as needed.* **Comment addressed. Grades have been revised to reduce the slope. In addition, a note has been added to this area indicating that the slope in this area shall be a 1:3 maximum.**
10. *Sheet C-4.0- Invert grade of ES17 (28.85) will result in ponding of water at this elevation as the adjacent ditch contour to the west (1029) will act as a high point. Please revise.* **Comment addressed. Adjacent ditch contour has been adjusted to minimize ponding in this area.**
11. *Sheet C-4.0-Clarify what the 'Xs' are for at the Coastal Parkway and Ginko entrance sidewalk crossings.* **Comment addressed. 'Xs' are for a Type R sidewalk ramp.**
12. *Sheet C-4.0- Provide existing grades for Coastal parkway sidewalk. Currently note says 'Match Ex.'* **Comment addressed. Existing grades have been provided.**



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13. *Sheet C-4.0- There is a low point in the sidewalk at 1028 and this grade sits lower than the adjacent proposed ditch grades of 1028.30 and 1028.05. Please revise for positive drainage. **Comment addressed. Sidewalk grade has been revised for positive drainage.***
14. *Sheet C-4.0- It appears that drainage will pond in a flat area on the south side of the proposed berm before it will head west. Please revise grades here for positive drainage. **Comment addressed. Grading has been revised for positive drainage.***
15. *Sheet C-5.0- We note that there are several grades shown on this sheet that do not match the grading plan. Example: Grade 1029.50 adjacent to topsoil stockpile does not match grade of 1029.70 shown on Sheet C-4.0. Please double check and revise grades on the SESC plan such that they match those on Sheet C-4.0. **Comment addressed. Grades on SESC plan now appear consistent with Sheet C-4.0.***

#### Stormwater Management

1. *Sheet C-4.0- Please remove the ridge lines that are going through the buildings and only show ridge lines for the drive areas. Comment partially addressed. Ridge lines through buildings have now been removed; however, on Sheet C-4.0, provide ridge lines at the following locations: 1) Between LB6 and LB7; 2) Between LB14 and LB15; 3) Between LB11 and LB12. **Comment addressed. Ridge lines for the above locations are now shown.***
2. *Sheet C-7.0- The following pipe segments do not match Sheet C-6.0 in terms of footage, slope, or both. Please revise: 1) ES1-LB2; 2) LB4-MH5; 3) MH5-LB6; 4) LB6-LB7; 5) LB8-LB9; 6) LB2-LB10; 7) LB10-LB11; 8) LB11-LB12; 9) MH5-LB17; 10) LB13-LB14; 11) LB14-LB15. Comment partially addressed. Footages and slopes have been adjusted and now match with the exception of LB2-ES1. **Comment partially addressed. LB2-ES1 footage and slope now match; however, it now appears that the footage for LB3-LB-2 was adjusted and now does not match between Sheets C-6.0 and C-7.0.***
3. *There are two (2) Sheet C-6.0s attached to both the paper version and electronic version of the plan. Both of these sheets have the same revision dates; however, the information on these sheets regarding storm sewer rims, etc. differ between the two sheets. The second sheet C-6.0 appears to be the correct sheet, and this is the sheet that we reviewed and used to compare the storm sewer profiles with. Any references to Sheet C-6.0 within the Stormwater Management comments will be in reference to the second Sheet C-6.0. **Comment addressed.***





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4. *Sheet C-6.0- Detention/Infiltration Calculations- Average Infiltration Area ( $A_t$ ) – LF of storm pipe is incorrect; It should be 1008 LF. We also calculate 1010 LF based on given footages on Sheet C-6.0. Please verify. **Comment addressed. LF of storm pipe has been corrected.***
5. *Sheet C-7.0- The following rim structures do not match those shown on Sheet C-6.0: LB2, LB3, LB4, MH5, and LB17. **Comment addressed. Rim elevations now match between sheets.***
6. *Sheet C-7.0- LB8-Rim elevation does not match Sheets C-4.0 and C-6.0. **Comment addressed. Rim elevation now matches.***
7. *Sheet C-7.0-Add 12" INV.23.65 to MH5. **Comment addressed. Invert has been added.***

#### Stormwater Maintenance Agreement

1. Page 1 of the agreement is undated. Please complete.
2. Exhibits A and B are missing from the submitted document. Exhibit B shall be a metes and bounds description of the storm sewer easements as well as a metes and bounds sketch of the easements. Both exhibits shall be signed and sealed by a registered Professional Surveyor.

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#### Required Permits and Approvals

The following permits and approvals will be required:

1. Permit from the Road Commission for all work within the White Lake Road right of way. **Permit application review is in process.**
2. SESC permit from OCWRC. **Permit application review is in process.**
3. Permit from Oakland County Health Department for the well. **Well permit application is in process.**
4. Permit from Oakland County Health Department for the septic tank and field. **Septic permit application is in process.**
5. Executed Stormwater Maintenance Agreement and exhibit. **Reviewed by our office. See above comments.**
6. A temporary grading and construction easement/agreement for off-site work/ grading near/on the western property line may be required. **Rescinded. Per the design engineer, no easement is needed.**
7. An easement for construction of the sidewalk located near Coastal Parkway may be required. **Per the design engineer, no easement is required.**



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## Recommendation

The majority of our previous comments have been addressed. There are a few remaining comments listed above that can be addressed on the final stamping set and prior to a preconstruction meeting; the Stormwater Maintenance Agreement comments provided above will also be required to be addressed prior to a preconstruction meeting. In addition, per our Preliminary Site Plan Watermain Comment 4 above, the signed Water Supply Agreement shall be required to be provided prior to a preconstruction meeting.

Please contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.  
Department Manager

Victoria Loemker, P.E.  
Senior Engineer

Cc: Andrew Littman, Community Development, *via email*  
Matteo Passalacqua, Carlisle Wortman, *via email*  
Hannah Kennedy- Galley, Community Development, *via email*  
Aaron Potter, DPS Director, White Lake Township, *via email*  
Nick Spencer, Building Official, White Lake Township *via email*  
Jason Hanifen, Fire Marshall, White Lake Township, *via email*

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**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

October 3<sup>rd</sup>, 2024

## Revised Final Site Plan Review for Special Land Use for White Lake Charter Township, Michigan

<b>Applicant:</b>	Ginko Investment, LLC
<b>Project Name:</b>	Ginko Self Storage
<b>Second Revised Plan Date:</b>	September 6 <sup>th</sup> , 2024
<b>First Revised Plan Date:</b>	July 25 <sup>th</sup> , 2024
<b>Original Plan Date:</b>	April 26 <sup>th</sup> , 2024
<b>Location:</b>	Southwest of White Lake Road and Andersonville Road intersection Parcel ID: 12-01-127-004
<b>Action Requested:</b>	Review of revised final site plan (Revision #2)

### PROJECT NARRATIVE

The applicant is requesting final site plan approval for a new self-storage facility, which is a special land use in the LM Light Manufacturing zoning district. Special land use approval was granted at the February 1<sup>st</sup>, 2024 Planning Commission meeting. Preliminary site plan approval was granted February 20<sup>th</sup>, 2024. The proposed project site is currently vacant.

The purpose of final site plan review is to determine if the proposed use and site are consistent with Township ordinances and other applicable county, state, and federal laws and regulations and to identify reasonable conditions that may be necessary to mitigate potential negative impacts to surrounding properties and the community.

The Planning Commission is the review and approval authority for special land uses. Preliminary site plans are reviewed by the Planning Commission with recommendations then provided to the Township Board for approval, approval with conditions or denial. Final site plan review and approval is conducted solely by the Planning Commission.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*  
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*  
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Senior Associate*  
Richard K. Carlisle, *Past President/Senior Principal*

**Ginko Self Storage**

Revised Final Site Plan Review (Revision 2)

October 3, 2024

This review focuses on revised information provided by the Applicant per updated site plan drawings dated September 6<sup>th</sup>, 2024 as well as a letter provided by PEA Group and dated September 24<sup>th</sup>, 2024. The following report will review whether items to be addressed identified from the planner report dated August 9<sup>th</sup>, 2024 have been satisfied or are still outstanding. Notes provided are **blue**.

**SITE DESCRIPTION**

<b>Lot Area:</b>	2.13 acres
<b>Frontage:</b>	375 feet along White Lake Road
<b>Address:</b>	TBD: Sheet A-1.0 indicates building address sign locations and letter height on all proposed buildings.
<b>Current Use:</b>	Vacant

**Aerial image of the site**

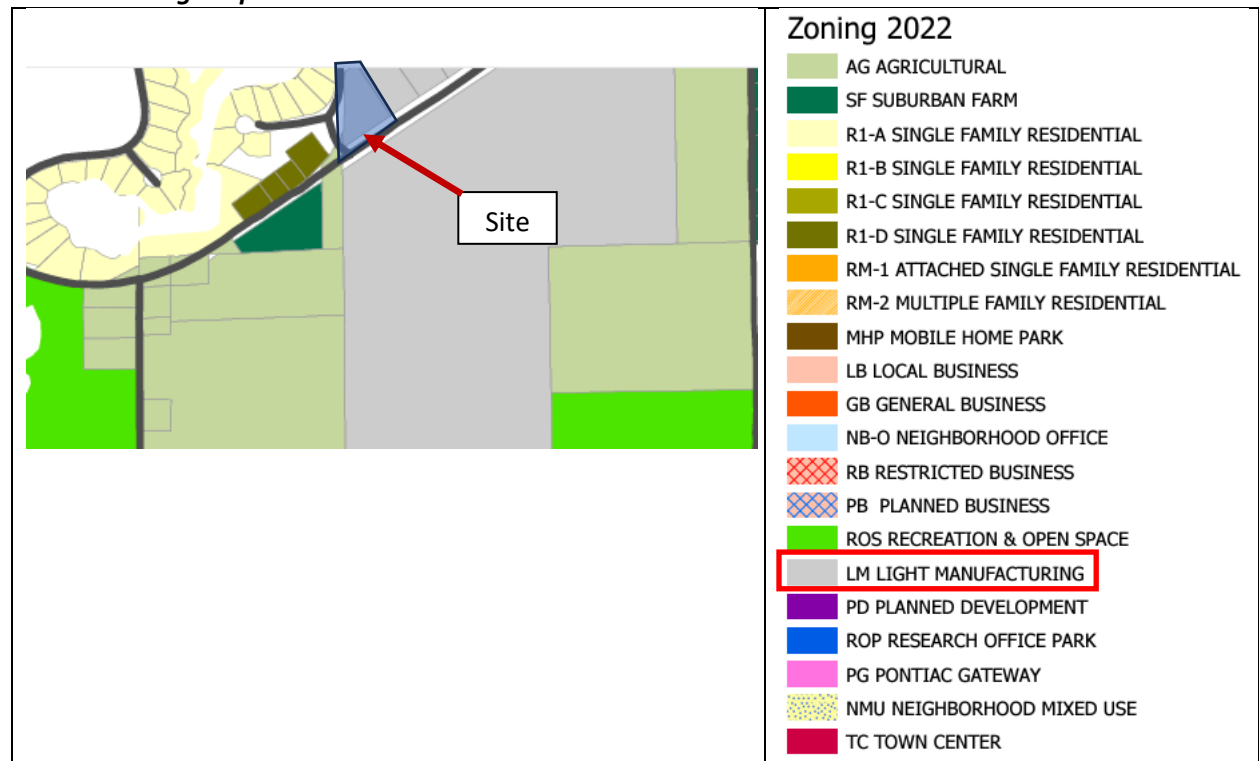


Source: NearMap May 31, 2024

	North	East	South	West
<b>Surrounding Zoning</b>	<i>M-1, Light Industrial (Springfield Twp.)</i>	<i>LM, Light Manufacturing</i>	<i>LM, Light Manufacturing</i>	<i>R1-A, Single Family Residential</i>
<b>Surrounding Land Uses</b>	<i>Vacant (Springfield Twp.)</i>	<i>Vacant</i>	<i>Light Industrial</i>	<i>Single Family Homes</i>
<b>Future Land-Use Map</b>	<i>Limited Industrial (Springfield Twp.)</i>	<i>Production / Technology</i>	<i>Production / Technology</i>	<i>Agriculture / Rural Residential</i>

**Current Zoning** **M-1 Light Industrial**  
*The LM, Light Manufacturing District is established as a district in which the principal uses allowed are light manufacturing, fabrication, processing, wholesale activities or warehousing activities. The intent of this article is to control nuisance effects of warehousing, wholesale activities, open storage, and light industry such as smoke, noise, odor, dust, dirt, glare, vibrations, and other adverse effects so that such uses could be compatible with other nearby land uses such as commercial or residential. The light manufacturing district encourages uses to locate on major highways so that traffic generated by these uses would not utilize local residential streets.*

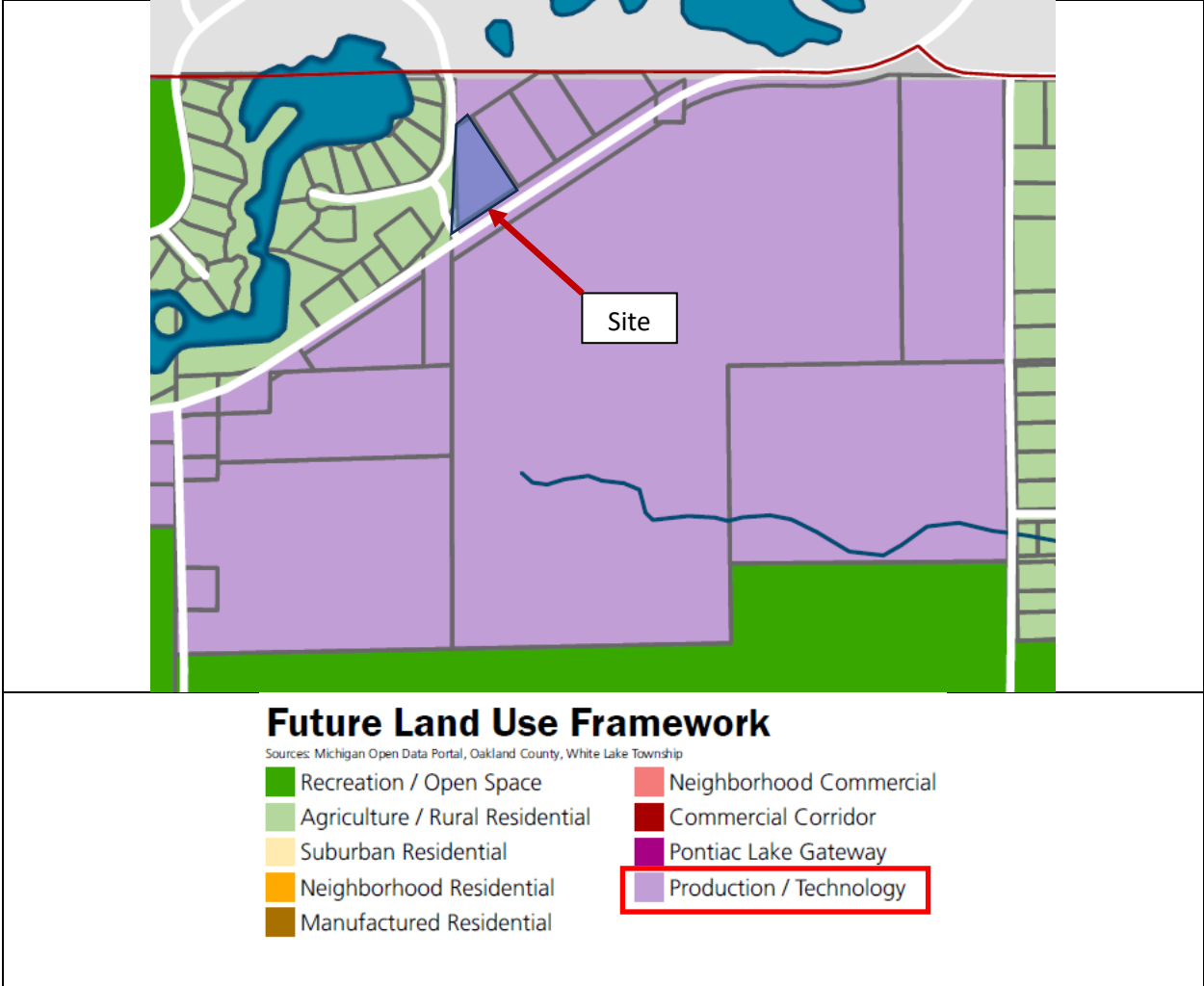
**Current Zoning Map**



Ginko Self Storage  
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<b>Future Land Use</b>	<b>Production / Technology</b> <i>Serves community's need for research facilities and light industrial opportunities.</i>
------------------------	--

**Future Land Use Map**



**Items to be Addressed:** None.

**NATURAL RESOURCES**

**Topography:** Sheet C-1.0 shows existing site topography. The southern portion of the lot is relatively flat. A steep ridge exists along the mid-western border of the site. Sheet C-4.0 outlines proposed site grading. Grading is proposed throughout the central portions of the site to accommodate level surfaces for asphalt and structures. Grading along the western edge is for the purpose of smoothing in preparation for onsite septic and proposed landscaping.



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**Wetlands:** Wetlands are not present on the site.**Woodland:** Woodlands clusters are scattered throughout the site along with various scrub vegetation.**Soils:** Uptipsamments soils are predominant on the site.**Water:** The Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map indicates no floodplain is present on the site. The Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetland Map indicates a wetland is located offsite to the north.**Items to be Addressed:** Any cited concerns from Township Engineering for items related to grading. These items appear to be addressed however we defer to Township Engineering.**ACCESS & CIRCULATION**

Sheet C-3.0 shows the proposed site will have exclusive access via White Lake Road. The proposed access point is an electronic gate system providing limited entry to the storage facilities via a card reader located on the western curb of the ingress/egress drive. The drive along the eastern portion of the site will be one-way heading north. All other drives are proposed as two-way.

Gate and Knox Box details have been provided on Sheets C-9.0 and C-9.1. Gate construction approval is permitted administratively by the Township.

Sheet C-3.1 outlines maneuvering capabilities for fire trucks. We defer to Township Engineering to assess the conformance of lot design and Public Safety to assess the conformance of maneuverability and accessibility for the site.

We note the placement of the access drive has been relocated approximately seventy-six (76) feet southwest along White Lake Road. The new access drive provides fifty (50) foot tapers on each side.

Section 6.4.C.i outlines standards for same-side-of-road driveway spacing. White Lake Road is forty-five (45) miles per hour in this area. Per the ordinance, the minimum distance for between drives should be three-hundred fifty (350) feet. The distance from center of Coral Parkway and center of the access drive is shown as two-hundred ninety-five (295) feet. While this is not in conformance with the standards, the applicant has stated the Road Commission of Oakland County (RCOC) requested the modification. While the Planning Commission can waive this requirement, RCOC has jurisdiction over roads and access in the Township.

We also note an access drive located on the opposite side of the road. The distance shown between these two drives is one-hundred seventy (170) feet. This meets the requirement of a minimum of one-hundred fifty (150) foot requirement.

Sheet C-3.1 provides fire truck maneuvering via the altered access drive. We defer to Township Public Safety for any cited concerns.

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**Items to be Addressed:** 1) Any cited concerns from Township Engineering for items related to site traffic design. These items appear to be addressed however we defer to Township Engineering. 2.) Any cited concerns from Township Public Safety for items related to access and maneuverability. Addressed. 3.) Instructions on gate operation, both with or without power, must be added to Sheet C-9.0. Addressed.

**ESSENTIAL SERVICES & UTILITIES**

Final site plan reviews require applicants to identify the location of all underground and aboveground storage tanks for such uses as fuel storage, waste old holding tanks, collection of contaminated stormwater, and similar uses. We do not anticipate the storage of hazardous or contaminated materials onsite. Methods for the storage and or management of water, sewer and storm runoff are provided below.

Sheet C-6.0 provides preliminary utility layout and information. The site will utilize well pump and septic fields. A note on the Sheet states *“No adequate storm sewer, open ditch or road ditch is available for storm sewer disposal. Since soil composition is optimum and groundwater table is suitable for percolation, Township standard leaching basins and stone trench are proposed. If the system becomes restricted an overflow pipe is provided to discharge into the wetlands. A geotechnical report will be provided.”* We defer to the Township Engineer to determine if this proposal is adequate.

Sheet C-6.0 also provides septic calculations as well as shows the location of the septic field and well pump. A note indicates the site will connect to public water should it become available at the property.

**Items to be Addressed:** Stormwater management, well pump and septic design approval by the Township Engineer. These items appear to be addressed however we defer to Township Engineering.

**LANDSCAPING & SCREENING**

Due to existing topographic features on the site as well as established mature woodlands along the western side of the proposed development, the applicant sought variances from specific screening and buffer landscape requirements in-lieu of retaining much of the western boarder’s natural features as buffers from the adjacent residential development. The motion approved by the ZBA is stated below:

*MOTION by Member Seiber, seconded by Member Aseltyne, to approve the variances requested by Ginko Investment, LLC (John Sutphin) from Article 5.19.D.i of the Zoning Ordinance for Parcel Number 12-01- 127-004 in order to modify the landscape and screening requirements associated with the construction of a self-storage facility. This approval will have the following conditions:*

- *The variances shall become effective if and when the final site plan for the development is approved by the Planning Commission.*
- *Approval is in accordance with the preliminary landscape plan prepared by PEA Group dated February 2, 2023 (revision date October 24, 2023).*
- *The westerly fence will be shortened to allow saving the two evergreen trees.*



**Ginko Self Storage**

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- *The tree spacing along the White Lake Road right-of-way shall be reduced from 30 feet to 20 feet.*

Sheet L-1.0 shows a dense array of new and existing deciduous and evergreen trees as well as numerous shrubs along the western property line. Protective fencing is shown encompassing existing trees during construction. A twenty (20) foot wide buffer is shown along White Lake Road and meets the requirements of landscape screening variance along the right of way.

Sheet L-1.0 indicates the two evergreen trees to be saved by the modified fence design.

Information provided on Sheet L-1.0 indicates irrigated portions of the site as well as a note stating irrigation plans to be provided at final site plan with rain sensors. These notes and irrigated areas are carried over from drawings dated October 24, 2023. Acceptable irrigation plans and designs should be submitted for consideration by the Planning Commission.

Sheet L-1.0 provides planting materials and sizes as well as indicates the construction of a rock retaining wall used to protect an existing mature oak tree. Based on landscaping standards for the LM district and the variances granted by the Zoning Board of Appeals, the site meets or exceeds the required plantings.

**Items to be Addressed:** 1.) *ZBA meeting in which variances were granted should be corrected to March 28, 2024 as shown on Sheet C-3.0. Addressed.* 2.) *Tree spacing dimensions along White Lake Road should be added to Sheet L-1.0 to confirm the ZBA condition from the March 28, 2024 meeting. Addressed* 3.) *Sheet L-1.0 should be updated to align with fence placement shown on Sheet C-3.0 and contain a note indicating the evergreen trees to be saved by this modification. Addressed* 4.) *A note should be added Sheet L-1.0 indicating why the decorative fence is not proposed to encompass the site with exception of the portion being shortened to preserve two existing evergreen trees. Addressed* 5.) *Acceptable irrigation plans and designs should be submitted for consideration by the Planning Commission and/or Building Official. Addressed.* 6.) *The Planning Commission will need to determine if the non-obscuring fencing is acceptable. Comment remains as a notation.*

## LIGHTING & NOISE

### Lighting Requirements

Sheet #24-29620 V1 provides proposed pole and building mounted lighting fixtures as well as a photometric layout for the site. Below is a review of lighting information provided as it relates to the requirements outlined in Section 5.18.G of the zoning ordinance.

- i. The Planning Commission or Building Official shall determine if the proposed light levels meet the minimum necessary to provide safe and secure illumination. We note exterior lighting ranges exceed various portions of the property lines. The most prevalent area is along the eastern lot line abutting a vacant light industrial lot. Light ranges exceeding property lines shared with residential uses is sporadic and not in excess of 0.1 foot candle.

**Ginko Self Storage**

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- ii. The specification sheets for pole and building mounted light fixtures are provided. The models proposed appear to have a cut-off angle of less than 90 degrees, however that specific information is not provided. A note should be added to Sheet #24-29620 V1 indicating the cut-off angle of the proposed fixtures.
- iii. All proposed light poles are more than five (5) feet from property lines and are directed away from neighboring sites. The current footcandle measurements near the main entrance range from one point one (1.1) to six point six (6.6) footcandles. We do note that this is the main gated entrance to the facility where drivers will likely need to stop, input necessary security credentials, then pass through the gate. It is reasonable to expect brighter lighting at these areas. All light ranges are below the zero point two (0.2) footcandles requirement along all neighboring residential zoned and used lots.
- iv. With the exception of the main entrance lighting cited above, site glare does not appear to be an issue.
- v. Both proposed fixtures are LED which meet the intent of utilizing high efficiency lighting.
- vi. A note should be added to Sheet #24-296220 V1 indicating that all site lighting will be stationary and will not flicker, flash or oscillate.
- vii. The site plan indicates that all pole and building mounted lighting is at or below the maximum allowed height for mounting.
- viii. Table on Sheet #24-29620 V1 shows the varying footcandle averages over specific areas of the site. The average footcandles standard for the entire site is .5 footcandles which is the maximum permissible for LM zones. The average footcandle at the entryway is 1.6 footcandles and the average footcandle for site drive lanes is 1.7 footcandles. These exceed the one (1) footcandle maximum requirement however we note that no footcandles are present at property lines with the exception of the entry drive. The Planning Commission may modify these requirements to address nearby residential developments and/or driver visibility. We would recommend a waiver to allow the proposed lighting as is to promote the safety of drivers at the main entrance and within the site during evening hours.
- ix. No flood lighting is proposed.
- x. Sheet C-3.0 indicates a proposed ground sign. No sign specific lighting is proposed on Sheet #24-29620 V1.

**Noise Requirements**

No audio equipment has been proposed by the applicant. Should future audible systems be required, an application to the Township for review shall be required.

**Items to be Addressed:** 1.) Planning Commission consideration of allowing current footcandle lighting levels per onsite safety. **Comment remains as notation.** 2.) A note should be added to Sheet #24-29620 V1 indicating the cut-off angle of the proposed fixtures. **Outstanding.** 3.) A note should be added to Sheet #24-

**Ginko Self Storage**

Revised Final Site Plan Review (Revision 2)

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296220 V1 indicating that all site lighting will be stationary and will not flicker, flash or oscillate. Addressed.

**SIGNAGE**

Proposed traffic and parking signage consists of handicap “Reserved” and “No” parking signs. Sheet C-9.0 provides the general dimensions and design of these signs. “Reserved Parking” and “Van Accessible” signs are placed facing parking spaces designated for barrier free access. “No Parking” signs are not shown on the plan however a note indicates that *“No Parking – Fire Lane” signs shall be posted along all fire lanes at 100-foot intervals or as directed by the fire official.* An additional note states *“Placement of No Parking Fire Lane signs shall be evaluated and installed prior to certificated of occupancy being issued.”*

Sheet C-3.0 shows the proposed location of a four (4) foot by five (5) foot ground sign. A basic elevation of the sign is shown on Sheet C-9.1. Signs are reviewed and permitted administratively by the Township however applications may be presented to the Planning Commission for review. The proposed monument sign currently meets dimensional standards for the LM district.

**Items to be Addressed:** *Proposed monument sign will require separate permitting per Township review standards. Comment remains as a notation.*

**ARCHITECTURE & LAYOUT**

No large equipment is proposed for the self-storage use. We note final site plan applications shall include information regarding where large equipment or machinery is to be installed as part of the development if proposed. The location, type of horsepower, fuel, dimension, noise, vibration and emission levels, and other data of all such equipment or machinery shall be required should the site proposed such equipment in the future.

Architectural information required at final site plan review includes the types of facing materials to be used on structures. Sheet A-1.0 indicates all elevations will be faced with metal panels, steel roll up doors, and common brick with limestone caps. The sheet provides a note stating *“A material sample board shall be provided for the Planning Commission review. Colored elevations shall be provided as part of the final site plan review”*. Colored elevations are included in the final stie plan.

**Items to be Addressed:** *1.) Exterior construction material sample boards and colored elevations shall be provided for Building Official and Planning Commission review. Comment remains as a notation. 2.) Roofing materials and colors should be shown on color elevations as well as Sheet A-1.0. Addressed.*

**SPECIAL LAND USE**

Section 6.10 provides for general standards applicable to all special land uses. The applicant was granted special land use approval February 1<sup>st</sup>, 2024 by the Planning Commission. A recommended condition of

**Ginko Self Storage**

Revised Final Site Plan Review (Revision 2)

October 3, 2024

that approval was that 24-hour self -storage shall be prohibited; the self-storage facility shall be closed daily between 10:00PM and 6:00AM. This note has been added to Sheet C-3.0 in the general notes section.

While approval has already been granted, a review the ordinance criteria, most recent application materials, and ZBA approvals indicate the proposal conforms to the requirements and intent of the special land use general standards.

**Items to be Addressed:** None.

**SUMMARY**

The revised final site plan is substantially complete, except as otherwise noted in this report. We recommend approval of the final site plan with the conditions offered below. Additional potential conditions could also be identified at the Planning Commission meeting.


**Waivers / Modifications / Determinations**

1. *Planning Commission consideration of allowing current footcandle lighting levels per onsite safety.*

**Recommended Conditions**

1. *Any cited concerns from Township Engineering are addressed.*
2. *Any cited concerns from Township Public Safety are addressed.*
3. *A note should be added to Sheet #24-29620 V1 indicating the cut-off angle of the proposed fixtures.*
4. *Exterior construction material sample boards and colored elevations shall be provided for Building Official and Planning Commission review.*

Respectfully,




---

**CARLISLE/WORTMAN ASSOC., INC.**  
**Matteo Passalacqua**  
**Community Planner**



## Fire Department

Charter Township of White Lake

7420 Highland Road  
White Lake, MI 48383  
Office (248) 698-3993  
[www.whitelaketwp.com/fire](http://www.whitelaketwp.com/fire)

# Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 10/08/2024

Project: GINKO SELF STORAGE

Job #: 2002-248A

Date on Plans: 09/06/2024

The Fire Department has the following comments with regards to the 8<sup>th</sup> review of preliminary site plans for the project known as Ginko Self Storage.

1. The access drive and parking lot shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all weather driving capabilities.
2. The access drive shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates in accordance with section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches.
3. The required turning radius shall accommodate the largest Fire Department apparatus (40') and provide a turn radius profile showing apparatus movement on future plans. **Needs to be shown throughout the site plan. (Needs to show movement from the middle drive between building #2 & #3 moving North and turning to the West towards building #1).**
4. The angle of approach/Departure to and from White Lake roads shall not exceed 8 degrees.
5. Placement of "No Parking Fire Lane" Signs will be evaluated and installed prior to Certificate of Occupancy being issued.
6. The use of traffic calming devices shall be prohibited unless approved by the fire code official. Plans must be submitted for approval if traffic calming devices are being considered for use.
7. Plans for proposed access gate must be submitted to the fire code official for approval. **Please provide Fire Dept. operation instructions as well as how to operate the gate during the times of power outages. Power gates must have 24hr emergency access with battery backup and an emergency bypass if the battery becomes weak or dead.**
8. Dead-end fire apparatus access roads in excess of 150 feet shall be provided with width and turnaround provisions in accordance with Table D103.4.

**The fire Dept. has no further comments at this time**

Jason Hanifen  
Fire Marshal  
Charter Township of White Lake  
(248)698-3993  
[jhanifen@whitelaketwp.com](mailto:jhanifen@whitelaketwp.com)

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.



# FINAL SITE PLAN / ENGINEERING APPROVAL

# GINKO SELF STORAGE

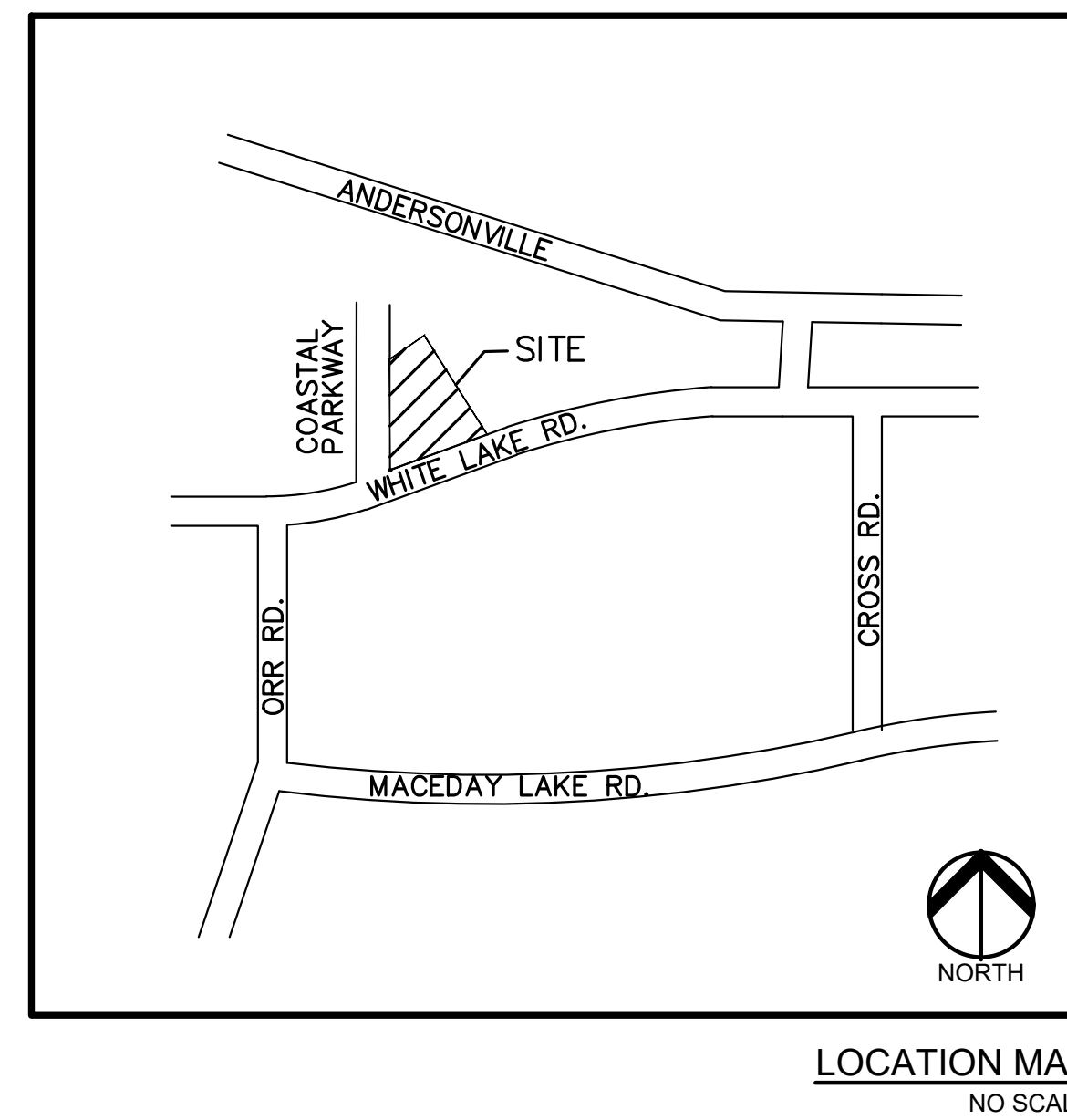
## WHITE LAKE ROAD

### WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL
2/2/2023		SPA AND SLU APPROVAL

- R.C.O.C. NOTE:**
1. CALL INSPECTOR OR PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN THE R.O.W.
  2. "PROPER SIGNING" IS REQUIRED BEFORE ANY WORK IN THE R.O.W. IS STARTED.
  3. LANE CLOSURES RESTRICTED TO 9AM-3PM (MONDAY-FRIDAY)
  4. FLAG PERSON REQUIRED FOR TEMPORARY ONE LANE ROADS.
  5. MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES.
  6. HAND DIG AROUND ALL UTILITIES.
  7. KEEP ROADS CLEAN OF DIRT AND DEBRIS.
  8. REMOVE OR RELOCATE FIXED OBJECTS PRIOR TO EXCAVATION.
  9. FIXED OBJECTS TO BE A MINIMUM 6 FEET OF BACK OF CURB OR 12 FEET OF EDGE OF PAVEMENT.
  10. PROJECTS EXCEEDING 3-DAYS REQUIRE GROUND MOUNTED SIGNS PER MDOT SSC/SEC 812.03

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
C-1.0	TOPOGRAPHIC SURVEY
C-2.0	DEMOLITION PLAN
C-3.0	SITE PLAN
C-3.1	FIRE TRUCK TURNING MOVEMENTS
C-4.0	GRADING PLAN
C-5.0	SESC PLAN
C-6.0	UTILITY PLAN
C-7.0	UTILITY PROFILES
C-9.0	NOTES AND DETAILS
C-9.1	DETAILS
1 OF 1	WHITE LAKE CHARTER TWP. - STORM SEWER STD. DETAILS
1 OF 1	OAKLAND COUNTY SESC DETAILS
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAILS
I-1.0	IRRIGATION PLAN
A-1.0	PRELIMINARY FLOOR PLAN AND BUILDING ELEVATIONS
V-1	PHOTOMETRIC PLAN



**WHITE LAKE TOWNSHIP STANDARD SITE CONSTRUCTION NOTES**

1. All construction shall be in accordance with the current standards and specifications of White Lake Charter Township.
2. The developer shall contact the Township Planning Department at (248) 698-3300 to schedule a pre-construction meeting. The developer's prime site contractor shall attend. A copy of all permits must be submitted to the Planning Department prior to scheduling the meeting.
3. The contractor shall contact the Township Engineer at (248) 681-7800 48 hours prior to the beginning of construction. The contractor shall keep the inspector apprised of the need for inspection on a day by day basis. Lacking specific scheduling with the inspector, the contractor shall give 48 hours notice to the Township Engineer prior to re-commencing work requiring inspection. Failure to inform the inspector or the Township Engineer of a work cancellation may result in a one half day inspection charge to the developer. The contractor shall call (248)844-5400 to schedule sanitary sewer main line inspection.
4. All watermain or sanitary sewer work will require full time inspection. Full time inspection will generally be required for underground storm sewer construction, concrete curbing and paving operations. Site grading and detention basin construction will generally be inspected on an intermittent basis.
5. The contractor shall contact MISS DIG at (800) 482-7171 72 hours in advance of construction to have existing underground facilities located. Contractor shall contact the White Lake Township Water Department at (248) 698-3300 ext 165 separately 72 hours in advance of construction to have water utilities located.

**DESIGN TEAM**

<p><b>OWNER</b></p> <p>GINKO INVESTMENT COMPANY, LLC 2438 NORTH ROCHESTER ROAD OAKLAND TOWNSHIP, MICHIGAN 48363 CONTACT: JOHN SUTPHIN PHONE: (248) 880-8093 EMAIL: JSUTPHIN@USA.NET</p>	<p><b>CIVIL ENGINEER</b></p> <p>PEA GROUP 1849 POND RUN AUBURN HILLS, MICHIGAN 48326 CONTACT: JAMES P. BUTLER, PE PHONE: 844.813.2949 EMAIL: JBUTLER@PEAGROUP.COM</p>
<p><b>DEVELOPER</b></p> <p>MICHAEL GRASSER 2278 GARLAND AVENUE SYLVAN LAKE, MICHIGAN 48320 PHONE: (248) 505-4744 EMAIL: BOCCEMG@CLOUD.COM</p>	<p><b>LANDSCAPE ARCHITECT</b></p> <p>PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS PHONE: 844.813.2949 EMAIL: JEVANS@PEAGROUP.COM</p>



REVISIONS	
DESCRIPTION	DATE
PER AGENCIES COMMENTS	5/30/2023
PER AGENCIES COMMENTS	6/29/2023
PER AGENCIES COMMENTS	8/4/2023
PER AGENCIES COMMENTS	9/22/2023
PER AGENCIES COMMENTS	10/24/2023
PER AGENCIES COMMENTS	4/26/2024
PER AGENCIES COMMENTS	7/25/2024
PER AGENCIES COMMENTS	9/6/2024





**LEGAL DESCRIPTION**

Part of the North 1/2 of Section 01, T.3 N., R.8 E., White Lake Township, Oakland County, Michigan, described as follows:

Unit No. 4 of "Prospectors Square" Condominium as recorded in Liber 22118, Page 870, Oakland County Records.

**BENCHMARKS: ( PER NAVD88 DATUM )**

**SITE B.M. #1:** STEEL GEAR-PIN IN S.W. FACE OF UTILITY POLE 60'± N. OF N 1/4 CORNER SEC. 1. UTILITY POLE HAS OH TO N. AND WSW ALONG WHITE LAKE RD. ELEV. 1031.58

**SITE B.M. #2:** STEEL GEAR-PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD. ELEV. 1030.85

**SITE B.M. #3:** STEEL GEAR PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD., 100'± W. OF S.E. CORNER OF UNIT #4. ELEV. 1031.65

**SITE B.M. #4:** (AT CONDO RD. GRADE) STEEL GEAR PIN IN N. FACE OF UTILITY POLE, 40'± N.W. OF S.W. CORNER OF UNIT 4, N.W. CORNER OF WHITE LK. RD. AND GRAVEL ROAD TO N. TO "MARINERS CAVE CONDO" SITE. ELEV. 1031.88

**REF. B.M.:** (per job # 97626) R.R. SPIKE IN N. FACE OF 36" OAK TREE ALONG S. PARENT PARCEL LINE (ACS SITE), 225' E. OF SECTION LINE AND 20' N. OF S. PARCEL LINE. ELEV.: 1017.78

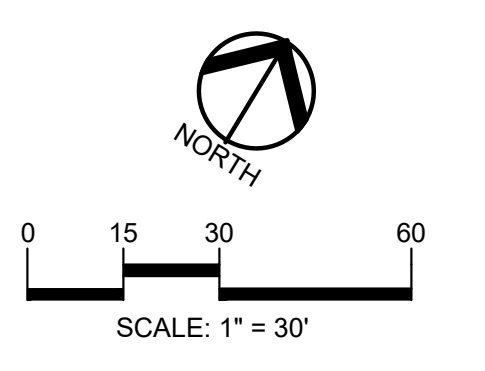


**LEGEND:**

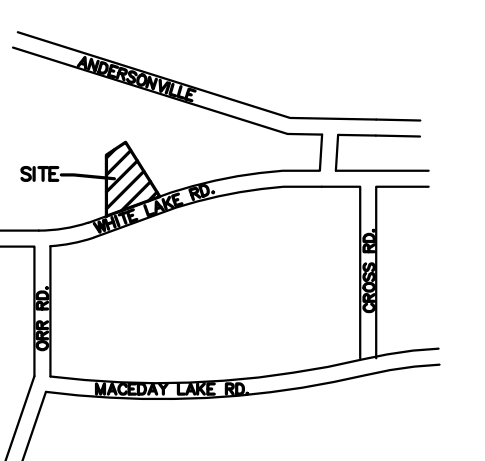
- OH-ELEC-W-O- EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV- EX. U.G. CABLE TV & PEDESTAL
- UG-COMM- EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC- EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- - - - - EX. GAS LINE
- ⊗ EX. GAS VALVE & GAS LINE MARKER
- ⊠ EX. TRANSFORMER & IRRIGATION VALVE
- - - - - EX. WATER MAIN
- ⊕ EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- ⊙ EX. WATER VALVE BOX & SHUTOFF
- ⊖ EX. SANITARY SEWER
- ⊕ EX. SANITARY CLEANOUT & MANHOLE
- ⊙ EX. COMBINED SEWER MANHOLE
- - - - - EX. STORM SEWER
- ⊕ EX. CLEANOUT & MANHOLE
- ⊕ EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- ⊕ EX. YARD DRAIN & ROOF DRAIN
- ⊕ EX. UNIDENTIFIED STRUCTURE
- ⊕ EX. MAILBOX, SIGN & LIGHTPOLE
- ⊕ EX. FENCE
- ⊕ EX. GUARD RAIL
- ⊕ EX. SPOT ELEVATION
- ⊕ EX. CONTOUR
- ⊕ EX. WETLAND

- ⊕ IRON FOUND / SET
- ⊕ NAIL FOUND / NAIL & CAP SET
- ⊕ BRASS PLUG SET
- ⊕ MONUMENT FOUND / SET
- ⊕ SECTION CORNER FOUND
- ⊕ R M C RECORDED / MEASURED / CALCULATED



**CAUTION!!**  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE OR OTHER REPRESENTATION IS MADE AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



**CLIENT**  
**GINKO INVESTMENT COMPANY, LLC**  
2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

**PROJECT TITLE**  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

**REVISIONS**

PER AGENCIES COMMENTS	DATE
PER AGENCIES COMMENTS	05/30/23
PER AGENCIES COMMENTS	06/29/23
PER AGENCIES COMMENTS	08/04/23
PER AGENCIES COMMENTS	09/22/23
PER AGENCIES COMMENTS	10/24/23
PER AGENCIES COMMENTS	04/26/24
PER AGENCIES COMMENTS	07/25/24
PER AGENCIES COMMENTS	09/06/24

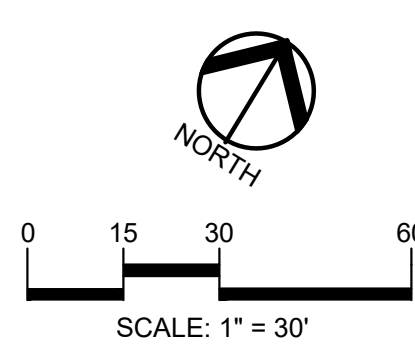
**ORIGINAL ISSUE DATE:**  
FEBRUARY 2, 2023

**DRAWING TITLE**  
**TOPOGRAPHIC SURVEY**

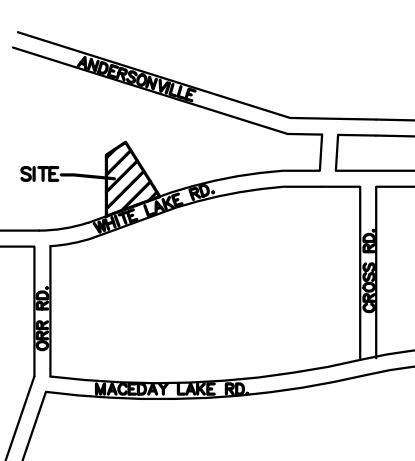
PEA JOB NO.	2002-248A
P.M.	JPB
DN.	SWS
DES.	SWS

**DRAWING NUMBER:**  
**C-1.0**





CAUTION!!  
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**GINKO INVESTMENT COMPANY, LLC**  
2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS	
PER AGENCIES COMMENTS	05/30/23
PER AGENCIES COMMENTS	06/29/23
PER AGENCIES COMMENTS	08/04/23
PER AGENCIES COMMENTS	09/22/23
PER AGENCIES COMMENTS	10/24/23
PER AGENCIES COMMENTS	04/26/24
PER AGENCIES COMMENTS	07/25/24
PER AGENCIES COMMENTS	09/06/24

ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023

DRAWING TITLE  
**DEMOLITION PLAN**

PEA JOB NO.	2002-248A
P.M.	JPB
DN.	SWS
DES.	SWS

DRAWING NUMBER:  
**C-2.0**

**LEGAL DESCRIPTION**

Part of the North 1/2 of Section 01, T.3 N., R.8 E., White Lake Township, Oakland County, Michigan, described as follows:

Unit No. 4 of "Prospectors Square" Condominium as recorded in Liber 22118, Page 870, Oakland County Records.

**BENCHMARKS: ( PER NAVD88 DATUM )**

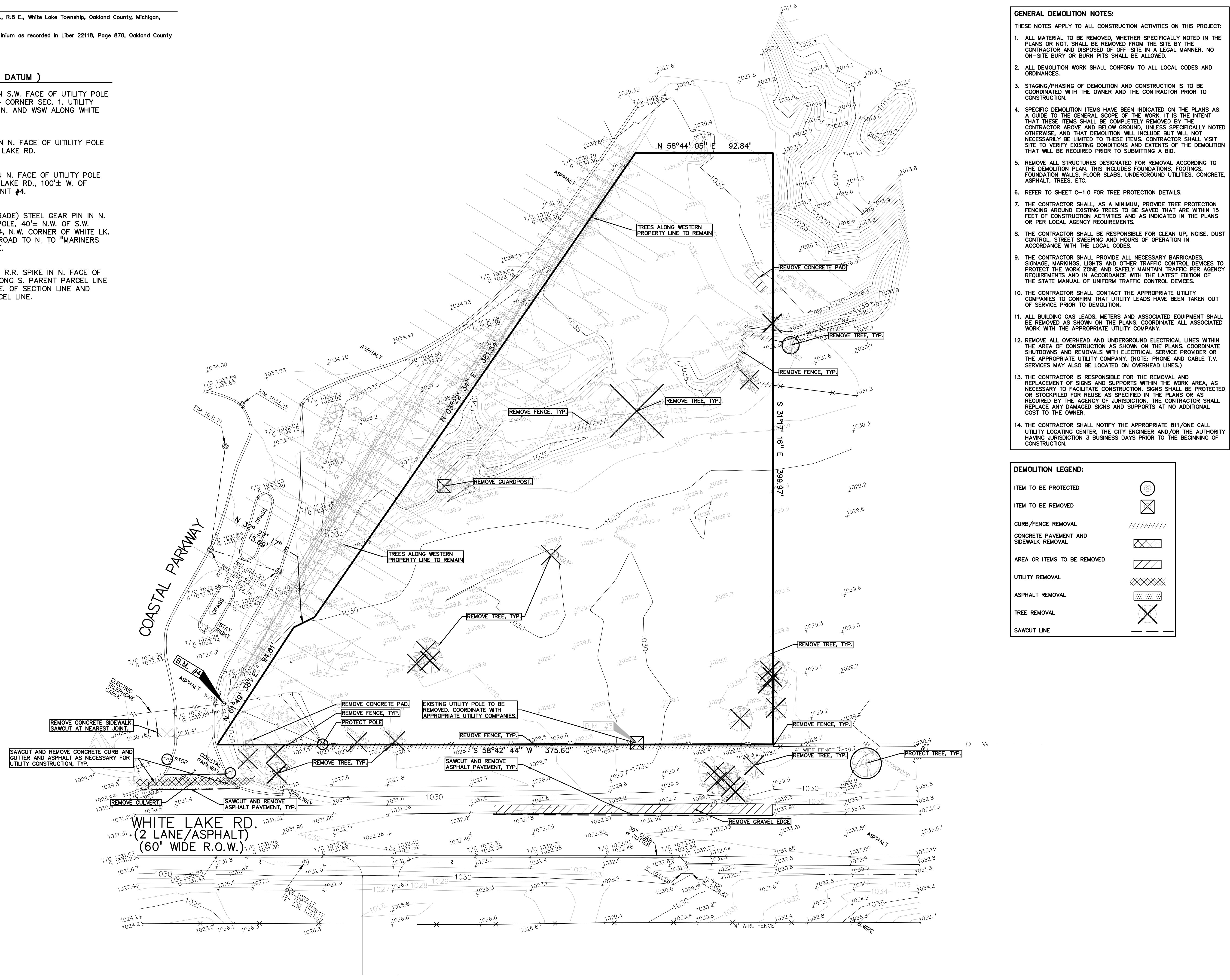
SITE B.M. #1: STEEL GEAR-PIN IN S.W. FACE OF UTILITY POLE 60± N. OF N 1/4 CORNER SEC. 1. UTILITY POLE HAS OH TO N. AND WSW ALONG WHITE LAKE RD. ELEV. 1031.58

SITE B.M. #2: STEEL GEAR-PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD. ELEV. 1030.85

SITE B.M. #3: STEEL GEAR PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD., 100± W. OF S.E. CORNER OF UNIT #4. ELEV. 1031.65

SITE B.M. #4: (AT CONDO RD. GRADE) STEEL GEAR PIN IN N. FACE OF UTILITY POLE, 40± N.W. OF S.W. CORNER OF UNIT 4, N.W. CORNER OF WHITE LK. RD. AND GRAVEL ROAD TO N. TO "MARINERS CAVE CONDO" SITE. ELEV. 1031.88

REF. B.M.: (per job # 97626) R.R. SPIKE IN N. FACE OF 36" OAK TREE ALONG S. PARENT PARCEL LINE (ACS SITE), 225' E. OF SECTION LINE AND 20' N. OF S. PARCEL LINE. ELEV.: 1017.78



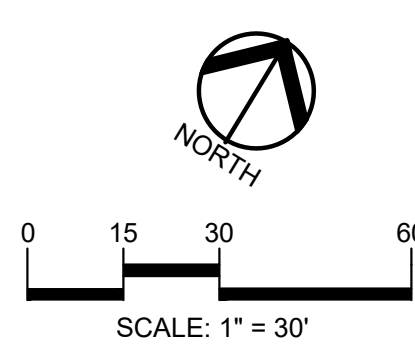
**GENERAL DEMOLITION NOTES:**

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:
- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
  - ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
  - STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
  - SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT THAT THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
  - REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
  - REFER TO SHEET C-1.0 FOR TREE PROTECTION DETAILS.
  - THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15 FEET OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
  - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
  - ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
  - REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH ELECTRICAL SERVICE PROVIDER OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES.)
  - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/ONE CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

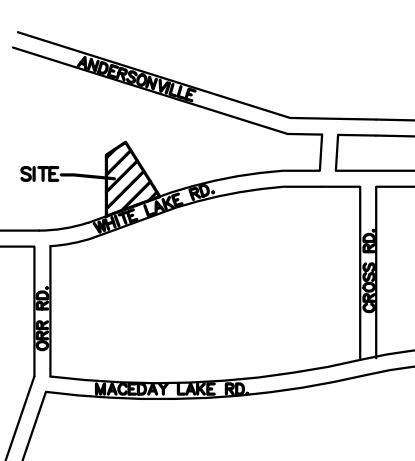
**DEMOLITION LEGEND:**

ITEM TO BE PROTECTED	
ITEM TO BE REMOVED	
CURB/FENCE REMOVAL	
CONCRETE PAVEMENT AND SIDEWALK REMOVAL	
AREA OR ITEMS TO BE REMOVED	
UTILITY REMOVAL	
ASPHALT REMOVAL	
TREE REMOVAL	
SAWCUT LINE	





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CLIENT  
**GINKO INVESTMENT COMPANY, LLC**  
2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS

NO.	DATE	DESCRIPTION
1	05/30/23	PER AGENCIES COMMENTS
2	06/29/23	PER AGENCIES COMMENTS
3	08/04/23	PER AGENCIES COMMENTS
4	09/22/23	PER AGENCIES COMMENTS
5	10/24/23	PER AGENCIES COMMENTS
6	04/26/24	PER AGENCIES COMMENTS
7	07/25/24	PER AGENCIES COMMENTS
8	09/06/24	PER AGENCIES COMMENTS

ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023

DRAWING TITLE  
**SITE PLAN**

PEA JOB NO. 2002-248A

P.M. JPB  
DN. SWS  
DES. SWS

DRAWING NUMBER:

**C-3.0**

**SITE DATA TABLE:**

PARCEL NUMBER: 12-01-127-004  
SITE AREA: 2.14 ACRES (93,090 SQ.FT.) NET AND GROSS  
ZONING: LM - LIGHT MANUFACTURING  
PROPOSED USE: COMMERCIAL (28,950 SF)  
BUILDING INFORMATION:  
MAXIMUM ALLOWABLE BUILDING HEIGHT = 40 FEET (2 STORIES)  
PROPOSED BUILDING HEIGHT = 1 STORY  
BUILDING FOOTPRINT AREA = 28,950 SQ.FT.  
BUILDING LOT COVERAGE = 31.10%

**SETBACK REQUIREMENTS:**

REQUIRED	PROPOSED
FRONT: 30'	50'
WEST SIDE: 20'	38'
EAST SIDE: 20'	25'
REAR: 40'	84.99'

**PARKING CALCULATIONS:**  
COMMERCIAL = MINIMUM 4 PER 1000 SF OF OFFICE + ONE PER EMPLOYEE.  
TOTAL RETAIL PARKING REQUIRED = 5 SPACES  
TOTAL PROPOSED PARKING SPACES = 5 SPACES INC. 1 H/C SPACES

**LOADING CALCULATIONS:**  
LOADING REQUIRED = 0 TO 20,000 SQ.FT. + 1 SPACE FOR EACH 20,000 SQ.FT. IN EXCESS OF 20,000 SQ.FT. = 2 SPACES (10' x 50') OR 1000 SQ.FT.  
LOADING PROVIDED = 1280 SQ.FT.

**SITE SOILS INFORMATION:**  
ACCORDING TO THE USDA NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY FOR OAKLAND COUNTY, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:  
50D - UNDISPAMMENTS ROLLING TO STEEP

- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO FACE OF GUTTER PAN, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
  - 'NO PARKING-FIRE LANE' SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100 FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
  - REFER TO NOTES & DETAILS SHEET FOR ON-SITE PAVING DETAILS.
  - IF A DUMPSTER IS PROPOSED IN THE FUTURE, AN AMENDED SITE PLAN SHALL BE SUBMITTED FOR ADMINISTRATIVE REVIEW TO ENSURE THE LOCATION AND SCREENING COMPLY WITH THE ZONING ORDINANCE STANDARDS.
  - 24 HOUR SELF STORAGE SHALL BE PROHIBITED; THE SELF STORAGE FACILITY SHALL BE CLOSED DAILY BETWEEN 10:00 P.M. AND 6:00 A.M..

- FIRE DEPARTMENT NOTES:**
- THE ACCESS DRIVE AND PARKING LOT SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACES SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.
  - THE ACCESS DRIVE SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET.
  - PLACEMENT OF "NO PARKING FIRE LANE" SIGNS WILL BE EVALUATED AND INSTALLED PRIOR TO CERTIFICATION OF OCCUPANCY BEING ISSUED.
  - THE USE OF TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL. PLANS MUST BE SUBMITTED FOR APPROVAL IF TRAFFIC CALMING DEVICES ARE BEING CONSIDERED FOR USE.
  - PROPOSED GATE PLANS MUST BE SUBMITTED TO THE FIRE CODE OFFICIAL FOR APPROVAL.

- VARIANCES GRANTED BY ZBA ON 03-28-2024**
- APPROVAL TO ELIMINATE THE REQUIREMENT FOR THE INSTALLATION OF A 6 FOOT HIGH BERM, OR A 3 FOOT HIGH BERM AND A 6 FOOT HIGH MASONRY SCREEN WALL ALONG THE WEST PROPERTY LINE.
  - APPROVAL TO INSTALL A 20 FOOT GREENBELT IN LIEU OF A 38 FOOT WIDE EXTENSIVE LAND FORM BUFFER ALONG THE WHITE LAKE ROAD RIGHT-OF-WAY.

**LEGEND:**

[Symbol]	CONCRETE PAVEMENT
[Symbol]	ASPHALT PAVEMENT
[Symbol]	GRAVEL
[Symbol]	WETLAND
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	REVERSE GUTTER PAN
[Symbol]	SETBACK LINE
[Symbol]	SIGN LIGHTPOLE
[Symbol]	FENCE GUARD RAIL

**SIGN LEGEND:**

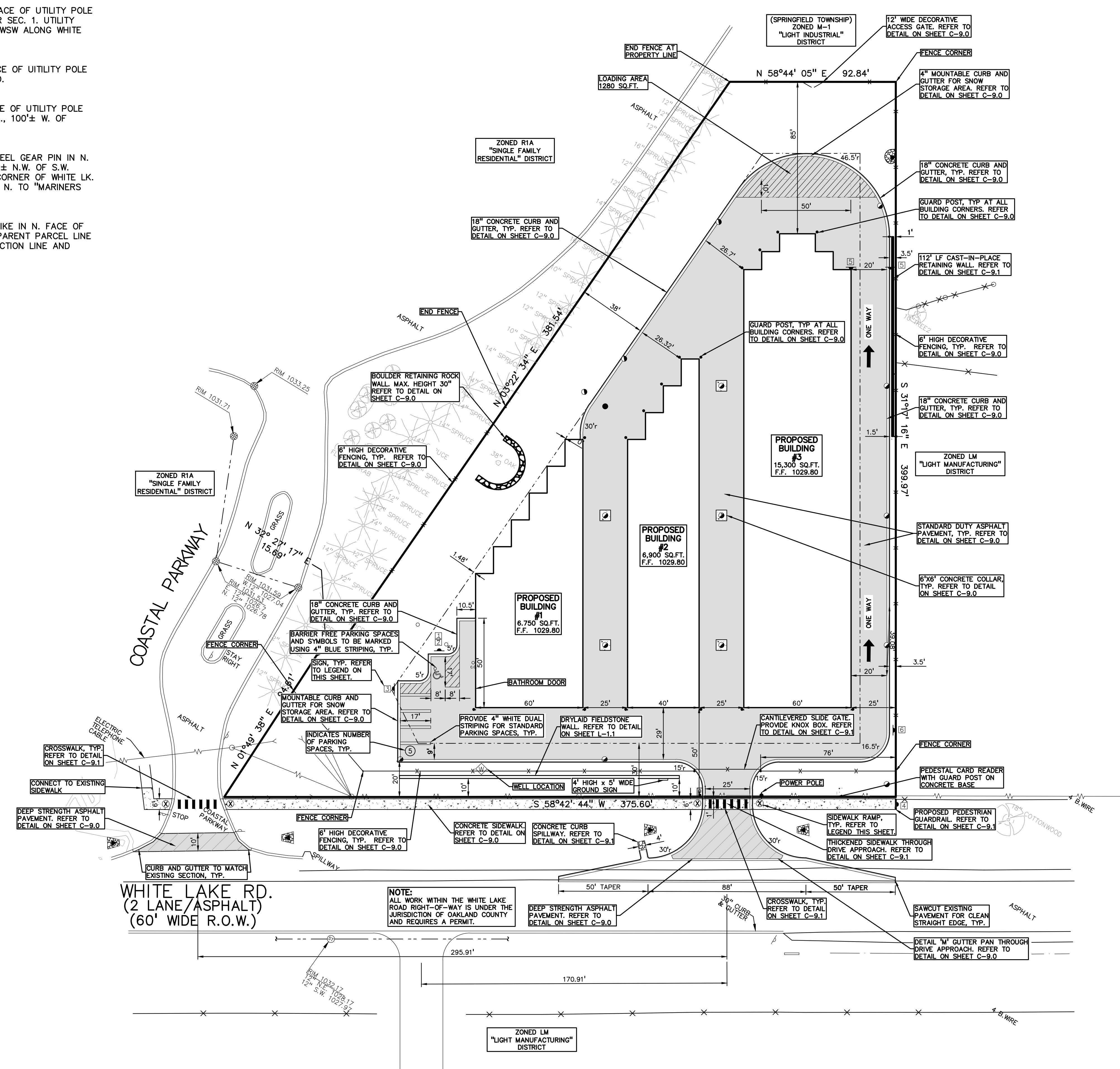
[Symbol]	'BARRIER FREE' SIGN	1
[Symbol]	"VAN ACCESSIBLE" SIGN	2
[Symbol]	"NO PARKING" SIGN	3
[Symbol]	"SIDEWALK ENDS" SIGN	4
[Symbol]	"DO NOT ENTER" SIGN	5
[Symbol]	"ONE WAY" SIGN	6

REFER TO DETAIL SHEET FOR SIGN DETAILS

**SIDEWALK RAMP LEGEND:**

[Symbol]	SIDEWALK RAMP "TYPE R"	1
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REFER TO LATEST MDT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

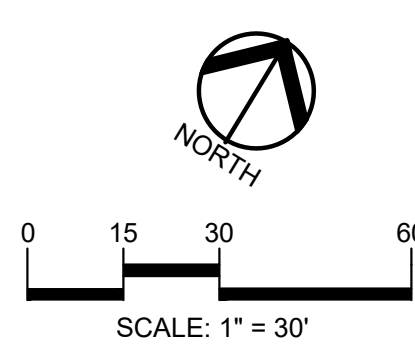


**LEGAL DESCRIPTION**  
Part of the North 1/2 of Section 01, T.3 N., R.8 E., White Lake Township, Oakland County, Michigan, described as follows:  
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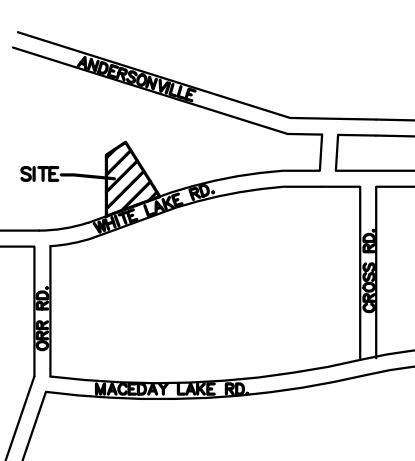
**BENCHMARKS: ( PER NAVD88 DATUM )**

- SITE B.M. #1: STEEL GEAR-PIN IN S.W. FACE OF UTILITY POLE 60± N. OF N 1/4 CORNER SEC. 1. UTILITY POLE HAS OH TO N. AND WSW ALONG WHITE LAKE RD. ELEV. 1031.58
- SITE B.M. #2: STEEL GEAR-PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD. ELEV. 1030.85
- SITE B.M. #3: STEEL GEAR PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD., 100± W. OF S.E. CORNER OF UNIT #4. ELEV. 1031.65
- SITE B.M. #4: (AT CONDO RD. GRADE) STEEL GEAR PIN IN N. FACE OF UTILITY POLE, 40± N.W. OF S.W. CORNER OF UNIT 4, N.W. CORNER OF WHITE LK. RD. AND GRAVEL ROAD TO N. TO "MARINERS CAVE CONDO" SITE. ELEV. 1031.88
- REF. B.M.: (per job # 97626) R.R. SPIKE IN N. FACE OF 36" OAK TREE ALONG S. PARENT PARCEL LINE (ACS SITE), 225' E. OF SECTION LINE AND 20' N. OF S. PARCEL LINE. ELEV.: 1017.78





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2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS

PER AGENCIES COMMENTS	DATE
PER AGENCIES COMMENTS	05/30/23
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PER AGENCIES COMMENTS	09/06/24

ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023

DRAWING TITLE  
**FIRE TRUCK MOVEMENT**

PEA JOB NO. 2002-248A  
P.M. JPB  
DN. SWS  
DES. SWS  
DRAWING NUMBER:

C-3.1

**LEGAL DESCRIPTION**

Part of the North 1/2 of Section 01, T.3 N., R.8 E., White Lake Township, Oakland County, Michigan, described as follows:

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**BENCHMARKS: ( PER NAVD88 DATUM )**

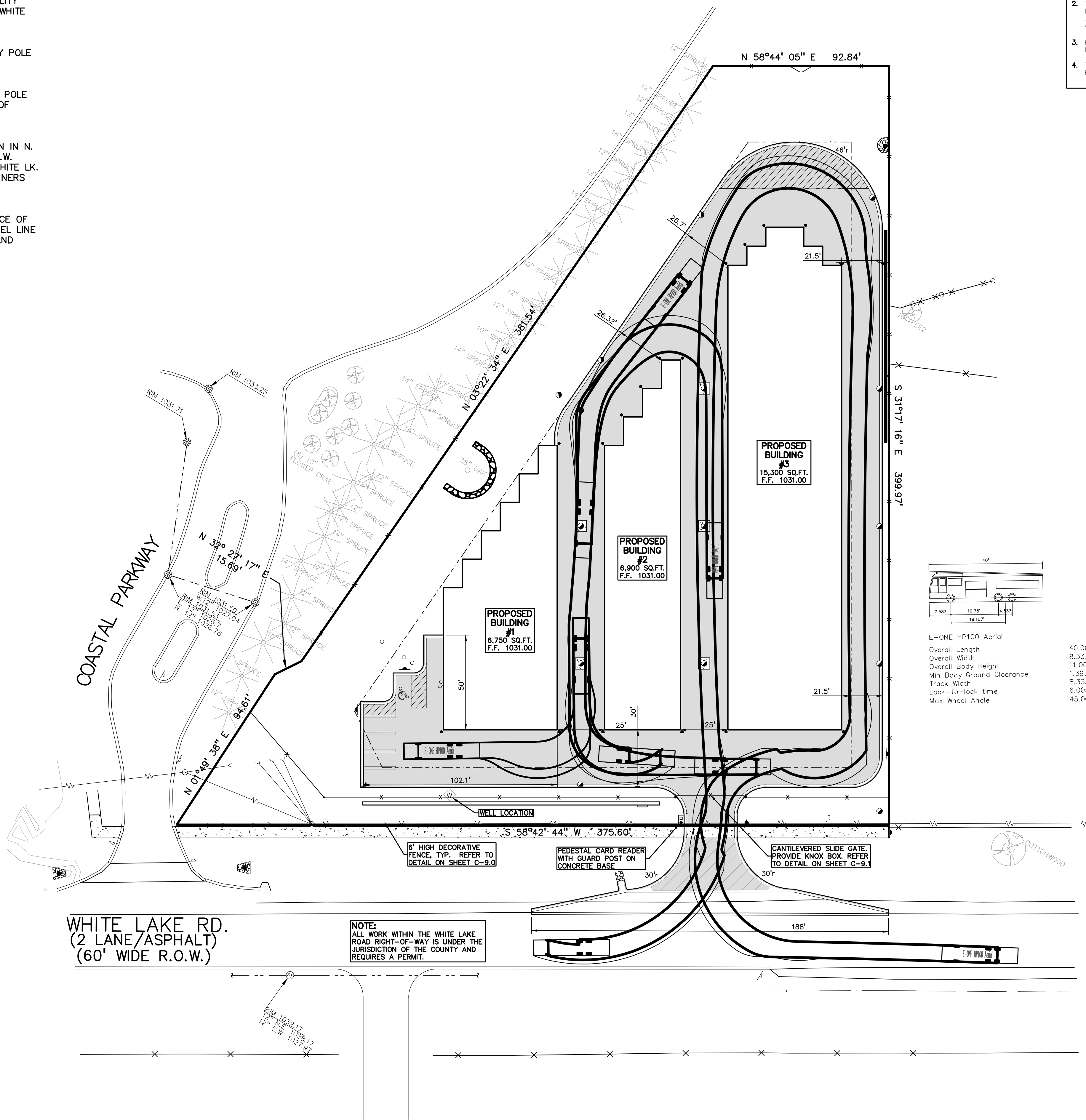
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SITE B.M. #2: STEEL GEAR-PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD. ELEV. 1030.85

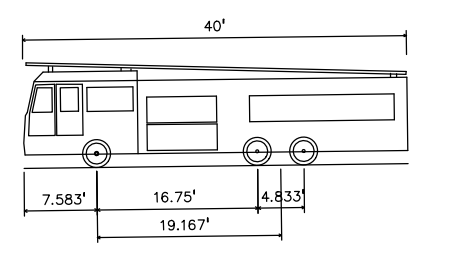
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REF. B.M.: (per job # 97626) R.R. SPIKE IN N. FACE OF 36" OAK TREE ALONG S. PARENT PARCEL LINE (ACS SITE), 225' E. OF SECTION LINE AND 20' N. OF S. PARCEL LINE. ELEV.: 1017.78



- FIRE DEPARTMENT NOTES:**
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  2. THE ACCESS DRIVE SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES IN ACCORDANCE WITH SECTION 503.6, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13.5 FEET..
  3. PLACEMENT OF "NO PARKING FIRE LANE" SIGNS WILL BE EVALUATED AND INSTALLED PRIOR TO CERTIFICATED OF OCCUPANCY BEING ISSUED.
  4. THE USE OF TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL. PLANS MUST BE SUBMITTED FOR APPROVAL IF TRAFFIC CALMING DEVICES ARE BEING CONSIDERED FOR USE.



E-ONE HP100 Aerial

Overall Length	40.000ft
Overall Width	8.333ft
Overall Body Height	11.000ft
Track Width	1.393ft
Min Body Ground Clearance	8.333ft
Lock-to-lock time	6.00s
Max Wheel Angle	45.00°

6" HIGH DECORATIVE FENCE TYP. REFER TO DETAIL ON SHEET C-9.0

PEDESTAL CARD READER WITH GUARD POST ON CONCRETE BASE

CANTILEVERED SLIDE GATE. PROVIDE KNOX BOX. REFER TO DETAIL ON SHEET C-9.1

WHITE LAKE RD. (2 LANE/ASPHALT) (60' WIDE R.O.W.)

NOTE:  
ALL WORK WITHIN THE WHITE LAKE ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF THE COUNTY AND REQUIRES A PERMIT.



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**RETAINING WALL NOTE:**  
TOP OF WALL (T/W) AND BOTTOM OF WALL (B/W) GRADES ARE THE FINISH GRADE AT THE TOP AND BOTTOM OF THE RETAINING WALL, NOT ACTUAL TOP AND BOTTOM OF THE WALL STRUCTURE.

**EARTHWORK BALANCING NOTE:**  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

**GRADING LEGEND:**

- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION: TYPICALLY TOP OF PAVEMENT IN PAVED AREAS, GUTTER GRADE IN CURB LINES.
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED REVERSE GUTTER PAN
- PROPOSED RIDGE LINE
- PROPOSED SWALE/DITCH

**ABBREVIATIONS**

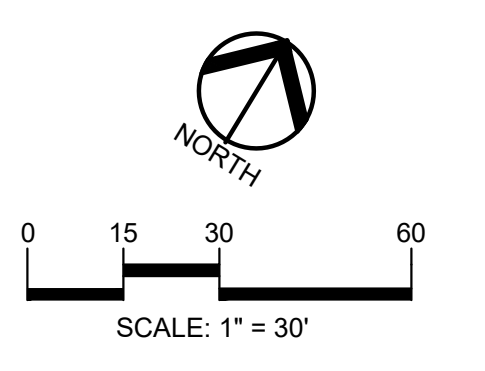
T/C = TOP OF CURB      G = GUTTER GRADE  
T/P = TOP OF PAVEMENT      FG = FINISH GRADE  
T/S = TOP OF SIDEWALK      RIM = RIM ELEVATION  
T/W = TOP OF WALL      BW = BOTTOM OF WALL

REFER TO GRADING NOTES ON SHEET C-9.0

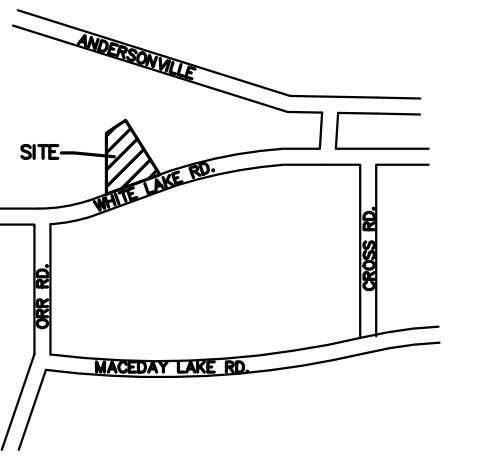
**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP "TYPE R" (Symbol)

REFER TO LATEST MDOT R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS



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2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

**REVISIONS**

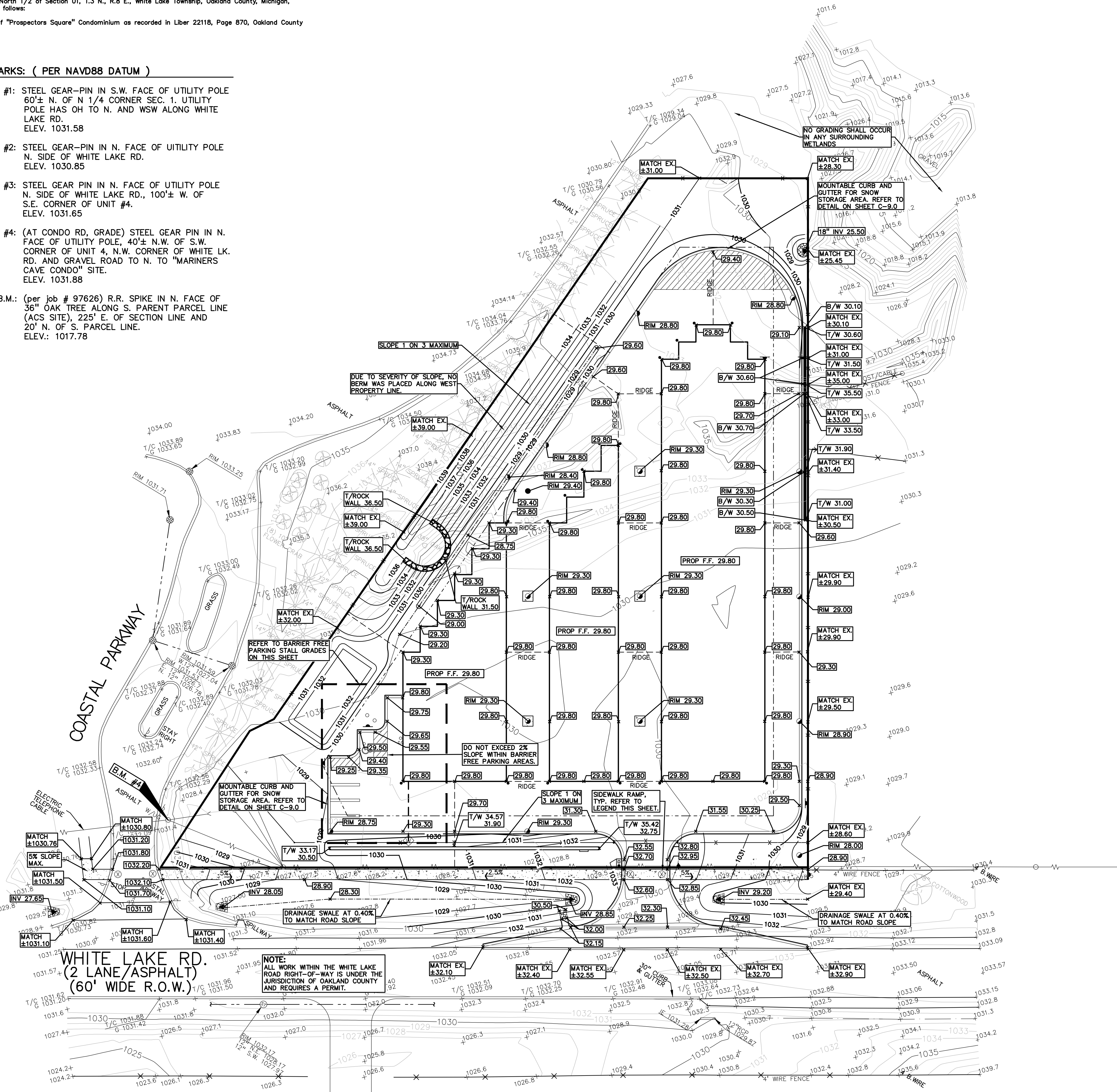
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ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023

DRAWING TITLE  
**GRADING PLAN**

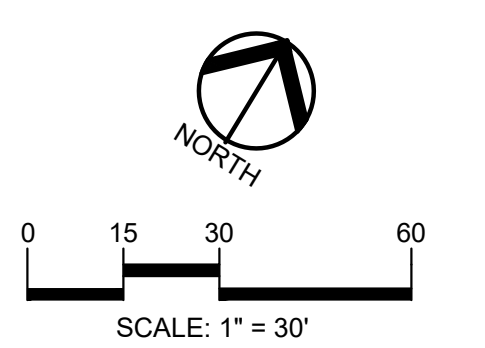
PEA JOB NO. 2002-248A  
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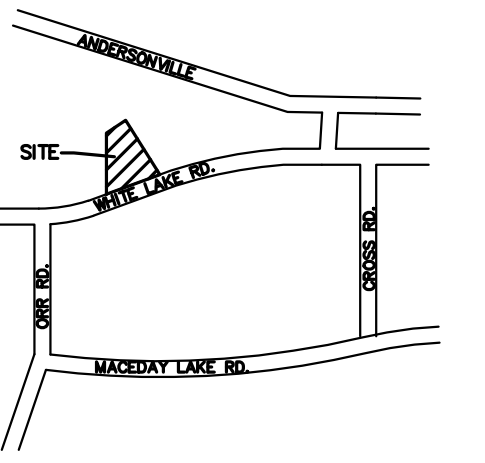


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CLIENT  
**GINKO INVESTMENT COMPANY, LLC**  
2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS

NO.	DATE	DESCRIPTION
1	05/30/23	PER AGENCIES COMMENTS
2	06/29/23	PER AGENCIES COMMENTS
3	08/04/23	PER AGENCIES COMMENTS
4	09/22/23	PER AGENCIES COMMENTS
5	10/24/23	PER AGENCIES COMMENTS
6	04/26/24	PER AGENCIES COMMENTS
7	07/25/24	PER AGENCIES COMMENTS
8	09/06/24	PER AGENCIES COMMENTS

ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023

DRAWING TITLE  
**SESC PLAN**

PEA JOB NO. 2002-248A  
P.M. JPB  
DN. SWS  
DES. SWS

DRAWING NUMBER:  
**C-5.0**

**LEGAL DESCRIPTION**

Part of the North 1/2 of Section 01, T.3 N., R.8 E., White Lake Township, Oakland County, Michigan, described as follows:

Unit No. 4 of "Prospectors Square" Condominium as recorded in Liber 22118, Page 870, Oakland County Records.

**BENCHMARKS: ( PER NAVD88 DATUM )**

SITE B.M. #1: STEEL GEAR-PIN IN S.W. FACE OF UTILITY POLE 60± N. OF N 1/4 CORNER SEC. 1. UTILITY POLE HAS OH TO N. AND WSW ALONG WHITE LAKE RD. ELEV. 1031.58

SITE B.M. #2: STEEL GEAR-PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD. ELEV. 1030.85

SITE B.M. #3: STEEL GEAR PIN IN N. FACE OF UTILITY POLE N. SIDE OF WHITE LAKE RD., 100± W. OF S.E. CORNER OF UNIT #4. ELEV. 1031.65

SITE B.M. #4: (AT CONDO RD. GRADE) STEEL GEAR PIN IN N. FACE OF UTILITY POLE, 40± N.W. OF S.W. CORNER OF UNIT 4, N.W. CORNER OF WHITE LK. RD. AND GRAVEL ROAD TO N. TO "MARINERS CAVE CONDO" SITE. ELEV. 1031.88

REF. B.M.: (per job # 97626) R.R. SPIKE IN N. FACE OF 36" OAK TREE ALONG S. PARENT PARCEL LINE (ACS SITE), 225' E. OF SECTION LINE AND 20' N. OF S. PARCEL LINE. ELEV.: 1017.78

**SOIL EROSION MAINTENANCE SCHEDULE AND NOTES:**

1. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY:  
TBD
2. IF ANY DAMAGE HAS OCCURRED AS A RESULT OF STORM WATER DISCHARGE FROM THE SITE, THE FOLLOWING STEPS SHALL BE IMPLEMENTED.
3. ANY DEBRIS OR DIRT ON ANY PAVED AREA RESULTING FROM CONSTRUCTION TRAFFIC SHALL BE CLEANED IN A PROMPT MANNER BY THE CONTRACTOR. THE CONSTRUCTION DRIVE SHALL BE CLEANED AT THE END OF EACH DAY.
4. ALL DIRT AND MUD TRACKED ONTO PAVED AREAS SHALL BE REMOVED BY THE CONTRACTOR DAILY BY SCRAPING. STREET SWEEPING IS REQUIRED WEEKLY.
5. SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, RETRENCH OR REBACKFILL THE SILTATION FENCE SHOULD IT FALL OR BE DAMAGED DURING CONSTRUCTION.
6. INLET FILTER MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY ACCUMULATED SILT OR OTHER DEBRIS. THE REMOVAL OF SILT SHOULD BE WITH THE USE OF A STIFF BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTERS CAN NOT BE CLEANED OR ARE DAMAGED, THEN THE FABRIC MUST BE REPLACED.
7. CONTRACTOR SHALL PROVIDE WATER TRUCK TO WATER DOWN THE SITE ON A DAILY BASIS AS REQUIRED TO MAINTAIN DUST CONTROL.
8. IF HIGH GROUNDWATER IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE CITY ENGINEERING DIVISION FOR REVIEW.

**GENERAL SITE CONDITIONS:**

1. ACCORDING TO THE USDA WEB SOIL SURVEY DATED APRIL 24, 2024, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:  
UDIPSAMMENTS & URBAN LAND
2. TOTAL DISTURBED AREA = ±2.62 ACRES
3. N.P.D.E.S. NOTICE OF COVERAGE IS NOT REQUIRED

**SYMBOLS: EROSION CONTROL:**

- (SP-2) SILT FENCE
  - (SI-2A) LOW POINT INLET FILTER
  - (SP-9) TEMPORARY STONE ACCESS DRIVE
  - (E-9) EROSION CONTROL BLANKET
  - TEMPORARY SEED AND MULCH
- REFER TO O.C.W.R.C. SOIL EROSION AND SEDIMENTATION CONTROL DETAILS SHEET FOR ALL DEVICE DETAILS.

**EROSION CONTROL QUANTITIES:**

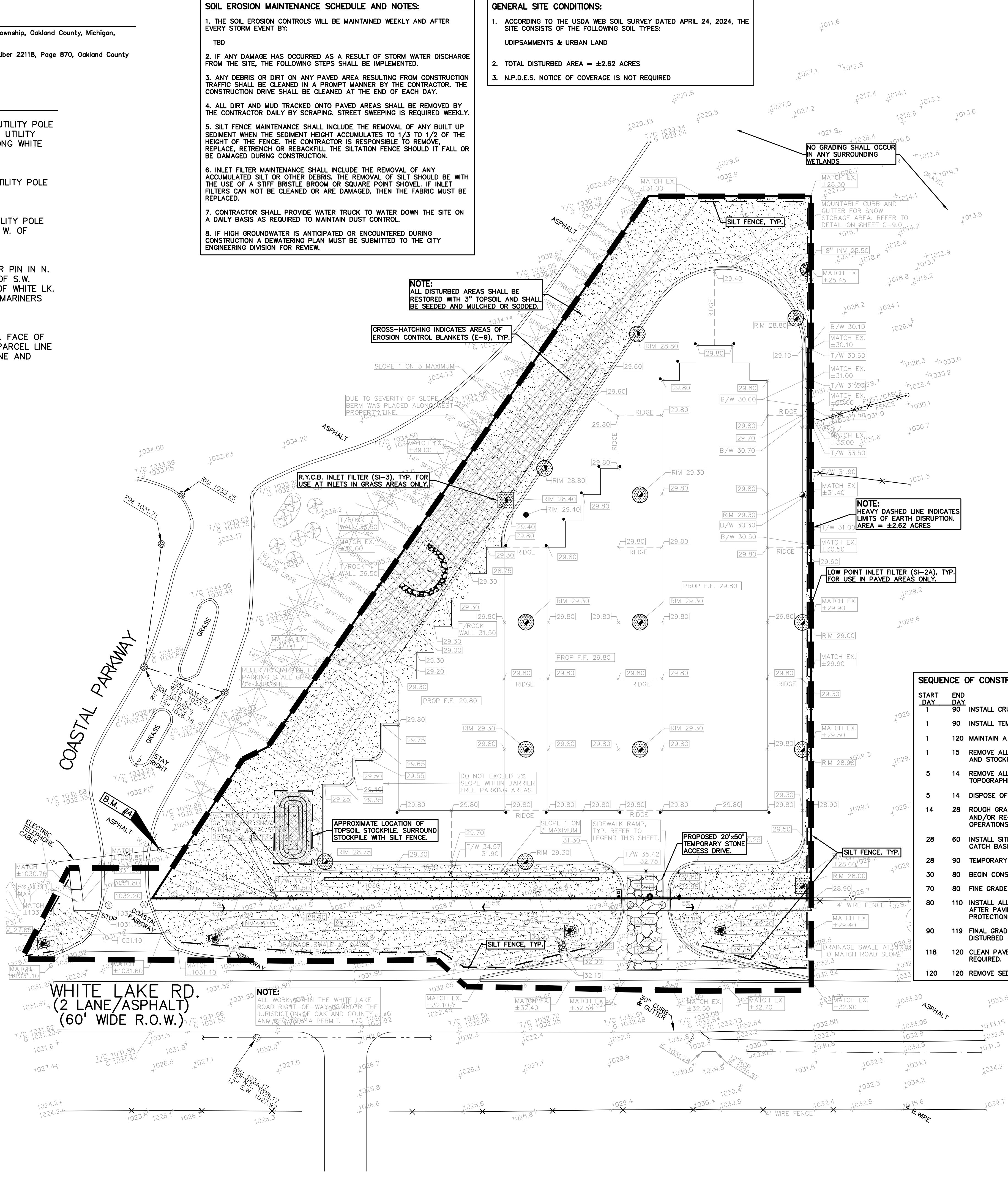
SILT FENCE	985 LF
R.Y.C.B. INLET FILTER	2 EA.
LOW POINT INLET FILTER	12 EA.
TEMPORARY CONSTRUCTION ACCESS DRIVE	1 EA.
EROSION CONTROL BLANKETS	774 S.Y.
TEMPORARY SEEDING	4595 S.Y.

**SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION**

1. SEE OAKLAND COUNTY W.R.C. SOIL EROSION AND SEDIMENTATION CONTROL DETAILS SHEET FOR ALL SOIL EROSION CONTROL RELATED DETAILS.
2. PLACE SILT FENCE & INSTALL INLET FILTERS ON EXISTING STORM SEWER STRUCTURES, ACCORDING TO PLANS.
3. INSTALL TEMPORARY CRUSHED CONCRETE ACCESS DRIVE AT ALL CONSTRUCTION ENTRANCES. (20'x80'x8" W/MINIMUM OF 1"-3" CRUSHED CONCRETE - NO FINES).
4. REMOVE CURB, PAVEMENT, TREES, ETC. AS DIRECTED ON THE DEMOLITION PLAN.
5. STRIP AND STOCKPILE TOPSOIL FOR RESTORATION REQUIREMENTS.
6. DISPOSE OF ALL EXCESS, UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO BURN OR BURY PITS ALLOWED.
7. UNSUITABLE MATERIALS CONSIST OF, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWING: CONCRETE, ASPHALT, TREES, BRUSH, STUMPS, ROOTS, OR OTHER MISCELLANEOUS DEBRIS OR TRASH.
8. MASS GRADE THE SITE IN ACCORDANCE WITH THE PLANS.
9. INSTALL SEED, MULCH AND EROSION CONTROL BLANKETS AS SHOWN ON THE PLAN WITHIN 5 DAYS OF COMPLETION OF MASS GRADING OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
10. COMPLETE ROUGH GRADING OF SITE AND INSTALL UTILITIES. PLACE INLET FILTERS AT ALL INLETS AND CATCH BASINS, AS SHOWN.
11. FINISH GRADE AND PAVE SITE AS PROPOSED TO DRAIN TO STORM SEWER SYSTEM. REPAIR INLET FILTERS AS REQUIRED.
12. APPLY TOPSOIL, SEED AND MULCH/SOD TO ALL DISTURBED AREAS UPON COMPLETION OF GRADING. THE CONTRACTOR SHALL STAGE CONSTRUCTION ACTIVITIES IN ORDER TO MINIMIZE THE EXPOSURE OF UNSTABILIZED AREAS.
13. CLEAN PAVEMENT AND STORM SEWERS. REMOVE SILT FENCE, AND INLET FILTERS ONCE VEGETATION HAS BEEN ESTABLISHED.
14. CLEAN DETENTION BASIN AND OVERFLOW SPILLWAYS AND REPAIR RIPRAP AS NECESSARY.
15. ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.
16. STREET CATCH BASINS TO BE PERIODICALLY CLEANED AND FILTER CLOTH CHANGED AND MAINTAINED.

**SEQUENCE OF CONSTRUCTION:**

START DAY	END DAY	DESCRIPTION
1	90	INSTALL CRUSHED CONCRETE ACCESS APPROACH AT SITE ROAD APPROACH.
1	90	INSTALL TEMPORARY SOIL EROSION CONTROL MEASURES, SILT FENCES, INLET PROTECTION, ETC. AS NECESSARY.
1	120	MAINTAIN A 25' BUFFER OF VEGETATION AROUND PERIMETER OF SITE WHERE POSSIBLE.
1	15	REMOVE ALL VEGETATION, TREES AND BRUSH FROM THE PROPOSED CONSTRUCTION AREA UNLESS MARKED TO REMAIN. STRIP AND STOCKPILE TOPSOIL AS REQUIRED. ALL STOCKPILES MUST BE GRADED AND SEEDED.
5	14	REMOVE ALL PAVEMENT, CURB, UTILITIES, ETC. AS REQUIRED TO INSTALL THE PROPOSED WORK AS SHOWN ON THE TOPOGRAPHIC SURVEY AND DEMOLITION PLAN.
5	14	DISPOSE OF ALL EXCESS/UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO ON-SITE BURN OR BURY PITS ALLOWED.
14	28	ROUGH GRADE SITE. SEED AND MULCH BLANKETS MUST BE INSTALLED AS SHOWN WITHIN 5 DAYS OF FINAL GRADING. REPAIR AND/OR RE-INSTALL ANY TEMPORARY SOIL EROSION CONTROL MEASURES THAT WERE DAMAGED DURING GRADING OPERATIONS.
28	60	INSTALL SITE UTILITIES (STORM SEWER, SANITARY SEWER, WATER MAIN ETC.). INSTALL INLET PROTECTION AT ALL PROPOSED CATCH BASINS.
28	90	TEMPORARY SEEDING MUST BE PROVIDED IN AREAS NOT TO BE WORKED ON FOR 15 DAYS OR LONGER.
30	80	BEGIN CONSTRUCTION OF BUILDING.
70	80	FINE GRADE SITE AND PREPARE FOR SITE PAVING OPERATIONS.
80	110	INSTALL ALL PAVEMENT, SIDEWALKS, CURBING AS PROPOSED. IF PERMANENT LANDSCAPING IS NOT TO BE INSTALLED SOON AFTER PAVING IS COMPLETE, ALL AREAS WITHIN 20 FEET OF BACK OF CURB MUST BE TEMPORARILY SEEDED. REPAIR INLET PROTECTION, SILT FENCE AND ANY OTHER DAMAGED SOIL EROSION CONTROL MEASURES AS NECESSARY.
90	119	FINAL GRADE, REDISTRIBUTE STOCKPILED TOPSOIL, ESTABLISH VEGETATION AND INSTALL ALL PERMANENT LANDSCAPING IN ALL DISTURBED AREAS NOT BUILT.
118	120	CLEAN PAVEMENT AND REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS REQUIRED.
120	120	REMOVE SEDIMENTATION CONTROLS ONCE ENTIRE SITE HAS BEEN PERMANENTLY STABILIZED.



NOTE: ALL DISTURBED AREAS SHALL BE RESTORED WITH 3" TOPSOIL AND SHALL BE SEEDED AND MULCHED OR SODDED.

CROSS-HATCHING INDICATES AREAS OF EROSION CONTROL BLANKETS (E-9), TYP.

R.Y.C.B. INLET FILTER (SI-3), TYP. FOR USE AT INLETS IN GRASS AREAS ONLY.

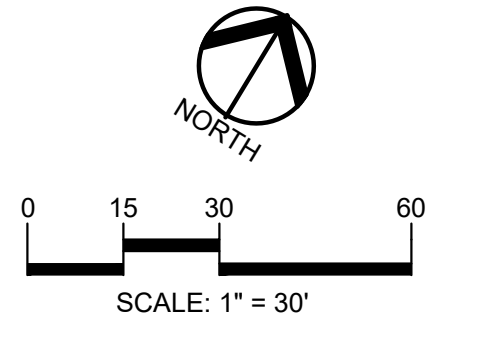
NOTE: HEAVY DASHED LINE INDICATES LIMITS OF EARTH DISRUPTION. AREA = ±2.62 ACRES

LOW POINT INLET FILTER (SI-2A), TYP. FOR USE IN PAVED AREAS ONLY.

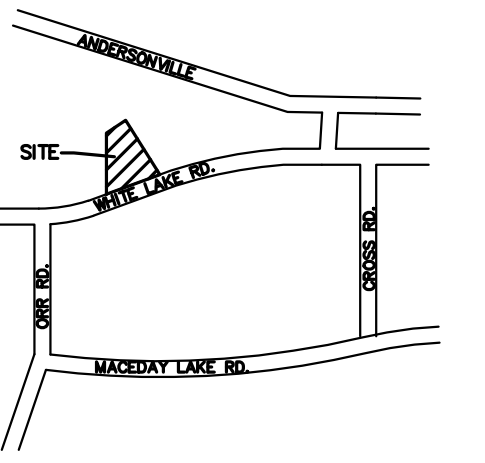
WHITE LAKE RD. (2 LANE/ASPHALT) (60' WIDE R.O.W.)

NOTE: ALL WORK IN THE WHITE LAKE ROAD RIGHT-OF-WAY UNDER THE JURISDICTION OF OAKLAND COUNTY AND ANGRER'S PERMIT. T/C 1031.92





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WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS

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ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023

DRAWING TITLE  
**UTILITY PLAN**

PEA JOB NO.	2002-248A
P.M.	JPB
DN.	SWS
DES.	SWS

DRAWING NUMBER:  
**C-6.0**

**LEGAL DESCRIPTION**

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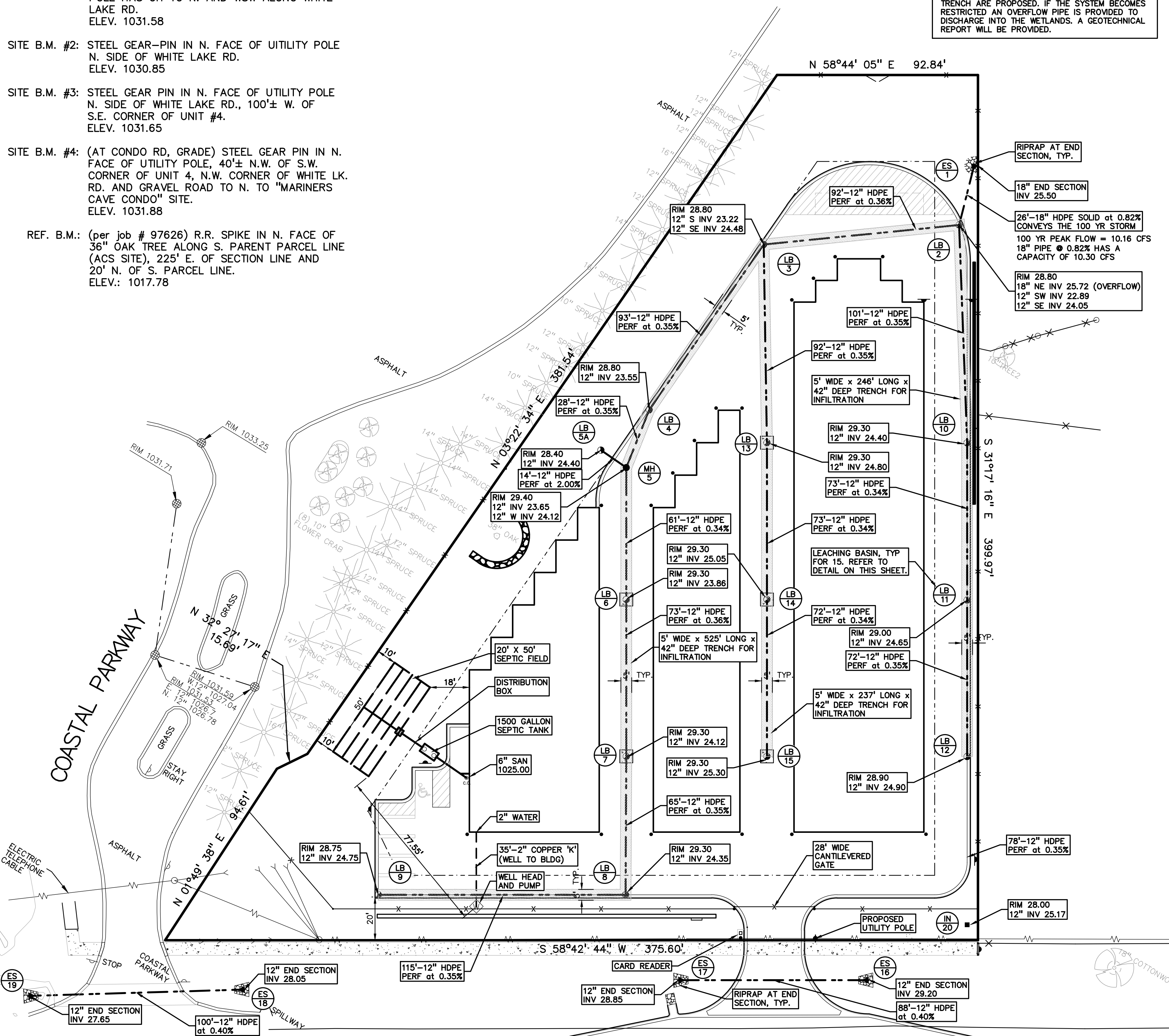
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**STORM OUTLET NOTE:**  
NO ADEQUATE STORM SEWER, OPEN DITCH OR ROAD DITCH IS AVAILABLE FOR STORM SEWER DISPOSAL. SINCE SOIL COMPOSITION IS OPTIMUM AND GROUND WATER TABLE IS SUITABLE FOR PERCOLATION, TOWNSHIP STANDARD LEACHING BASINS AND STONE TRENCH ARE PROPOSED. IF THE SYSTEM BECOMES RESTRICTED AN OVERFLOW PIPE IS PROVIDED TO DISCHARGE INTO THE WETLANDS. A GEOTECHNICAL REPORT WILL BE PROVIDED.



**WELL NOTE:**  
WELL IS TO BE ABANDON IF WATER MAIN BECOMES AVAILABLE FOR USE FOR THIS SITE.

**NOTE:**  
ALL WORK WITHIN THE WHITE LAKE ROAD RIGHT-OF-WAY IS UNDER THE JURISDICTION OF OAKLAND COUNTY AND REQUIRES A PERMIT.

**WHITE LAKE RD.**  
(2 LANE ASPHALT)  
(60' WIDE R.O.W.)

**Site Drainage Data**

Total Area (A):	2.15 acre
Weighted Coefficient of Runoff (C):	0.62

**Rainfall Intensity**

Time of Concentration (Tc)	10.00 min
Since Tc <= 15 min, I1 = 2.0 in/hr	
I1 = 30.2 / (T + 9.17)^0.81	2.00 in/hr
I10 = 50.12 / (T + 9.17)^0.81	4.58 in/hr
I100 = 83.3 / (T + 9.17)^0.81	7.62 in/hr

**100-Year Peak Inflow**  
Q100 = C(I100)A = 10.16 cfs

**CPVC: Channel Protection Volume**  
Vcpvc = (4,719)CA = 6,290 cf

**Retention / Infiltration Storage Volume (Vrb)**  
Vrb = (18,985 x C x A) - Vcpvc = 19,017 cf

**Design Requirements**

Volume	6,290 cf
Retention Storage Volume	19,017 cf

**Provided Pipe Volume:**

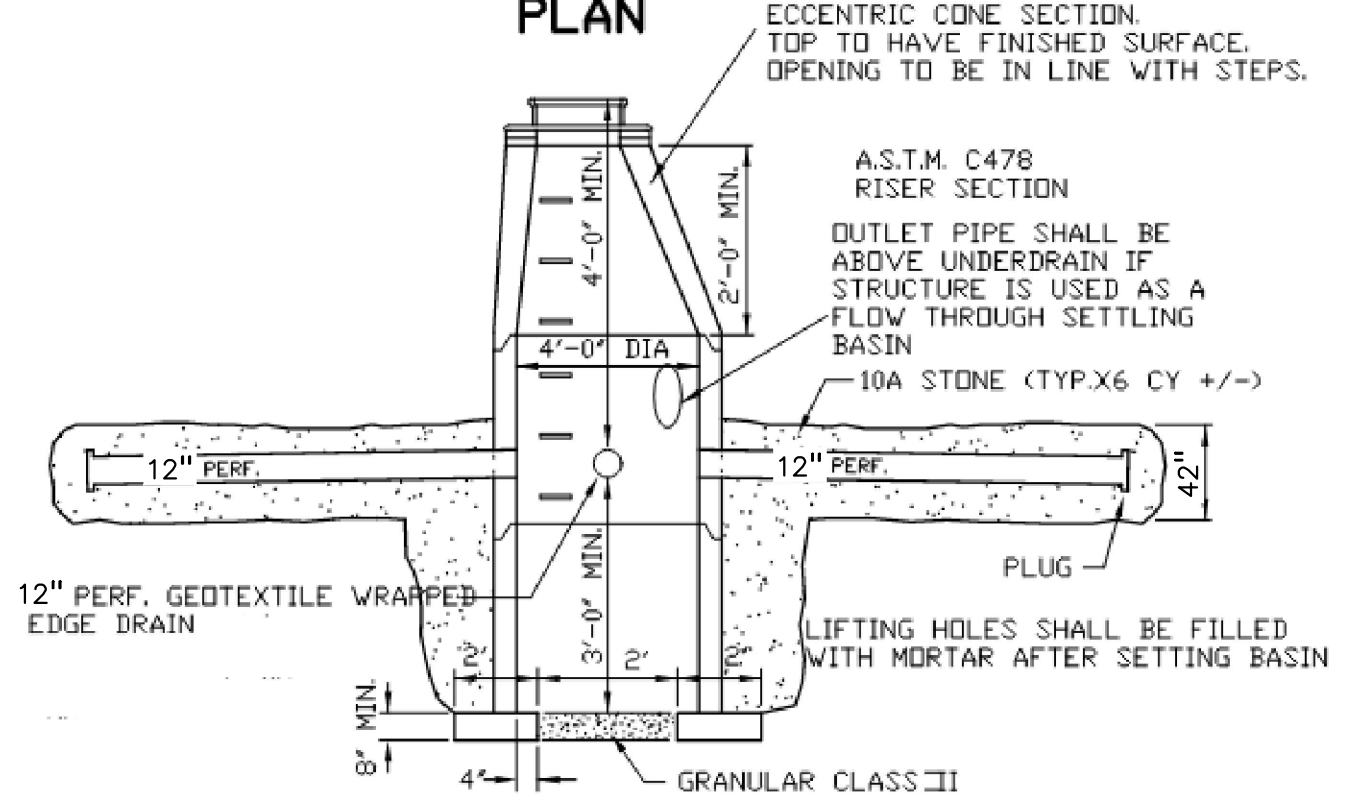
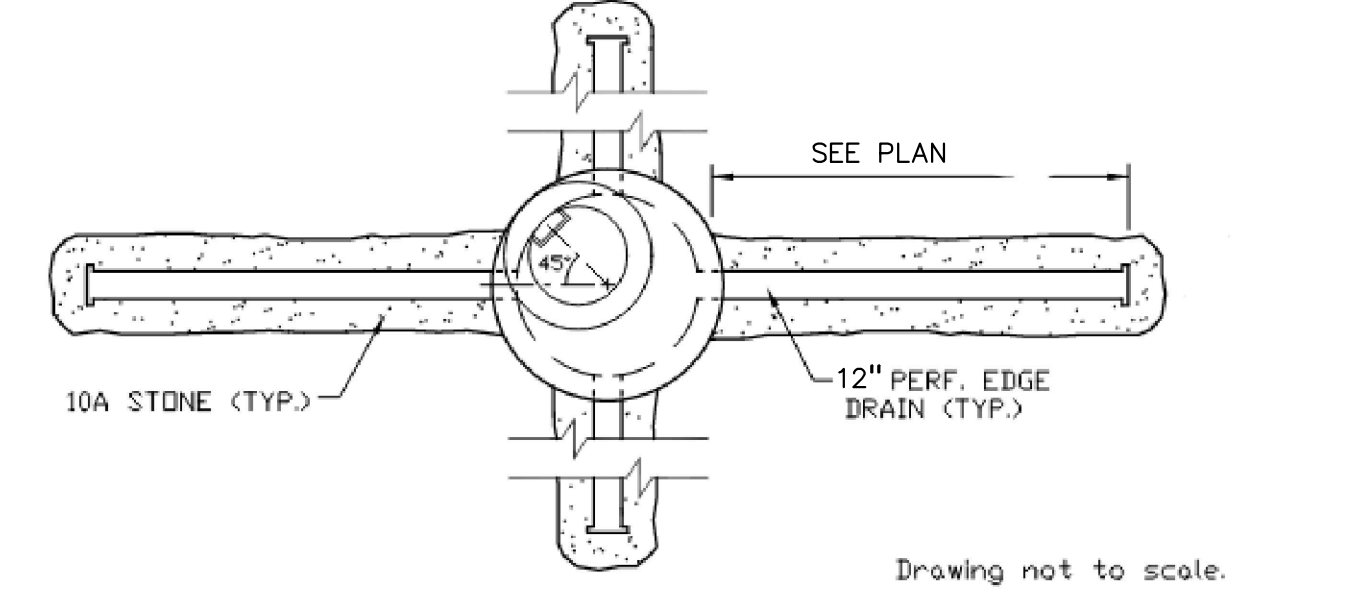
Average Infiltration Area (At)	At = 1010 LF storm pipe x 5' wide = 5,050 sf
Surface Storage Volume (Vss)	Vss = At x H (3.5' high) x .40 = 7,070 cf
minus 12" storm pipe void x .40	316 cf
	6,754 cf
Subsurface Storage Volume (Vsubsurface)	Vsubsurface = NO Engineered Sub Soils = 0 cf
Infiltration Volume (Vi) (based on 6 Hr period)	Ksat = Infiltration Rate per "A" soil group = 4.58 in/hr
Sf = Ksat safety factor	1
Vi = (Ksat x Sf x 6 x A) / 12 in	11,565 cf
Total Sedimentation Storage Volume (Vt)	Vt = Vss + Vsubsurface + Vi = 18,319 cf

**Pipe Storage Design**

Length =	1010.00 ft
Pipe Diameter =	12.00 in.
c.f. / ft =	0.7850 cft/ft
Volume =	792.85 cf
Total Volume =	19111.35 cf ok

**UTILITY LEGEND:**

- OH-ELEC-W-O EX. OH. ELEC. POLE & GUY WIRE
- UG-CATV EX. U.G. CABLE TV & PEDESTAL
- UG-COMM EX. U.G. COMMUNICATION LINE, PEDESTAL & MANHOLE
- UG-ELEC-MH EX. U.G. ELEC. MANHOLE, METER & HANDHOLE
- EX. GAS LINE
- EX. GAS VALVE & GAS LINE MARKER
- EX. TRANSFORMER & IRRIGATION VALVE
- EX. WATER MAIN
- EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
- EX. WATER VALVE BOX & SHUTOFF
- EX. SANITARY SEWER
- EX. SANITARY CLEANOUT & MANHOLE
- EX. COMBINED SEWER MANHOLE
- EX. STORM SEWER
- EX. CLEANOUT & MANHOLE
- EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
- EX. YARD DRAIN & ROOF DRAIN
- EX. UNIDENTIFIED STRUCTURE
- PROPOSED WATER MAIN
- PROPOSED HYDRANT AND GATE VALVE
- PROPOSED TAPPING SLEEVE, VALVE & WELL
- PROPOSED SANITARY SEWER
- PROPOSED SANITARY CLEANOUT & MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM SEWER CLEANOUT & MANHOLE
- PROPOSED CATCH BASIN, INLET & YARD DRAIN



**SEPTIC CALCULATIONS**

Project:	Ginko Self Storage
Location:	White Lake Township, Michigan
Project No.:	2002-248A

Design per the USEPA Onsite Wastewater Treatment System Manual, dated February, 2002 as well as the amount of customers serviced with the Average Tank Size

Building Usage:	
Office/Sales	
Current Building Space:	50 SF
Total Number of Employees:	1 Employees

Office or Industrial (Flow per Employee): Table 3-4 USEPA 7-16 gal  
Employee Design Flow (Daily Peak Flow): 16 gallons/person/day

Number of Customer/day	2 Customers
Public Lavatory (Table 3-4 USEPA) per user	6 gal./customer/day
Customer Daily Design Usage	12 gallons/day

Peak Facility Design Flow 28 gallons/day

Hydraulic Loading Rate: (for a bed system) 0.40 gpd/ft<sup>2</sup>

Septic Field Area Requirement (Soil Dispersal Area): 70 sq ft

**Proposed Septic Field Calculations**

PRIMARY Septic Field Width:	20 ft
PRIMARY Septic Field Length:	50 ft
PRIMARY Septic Field Area:	1,000 sq ft

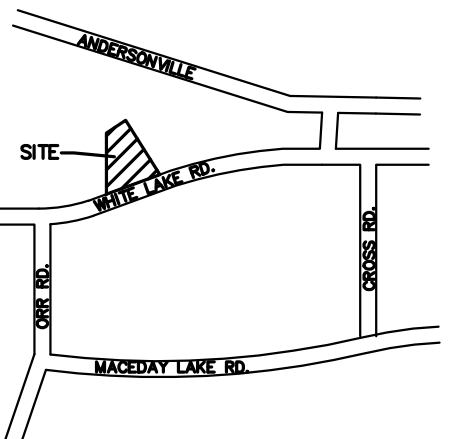
**Septic Tank Calculations**

Required Septic Tank Capacity Per Oakland County for Commercial Site for flows under 1000 gal/day is 1500 gallons	
Proposed Septic Tank Capacity:	1,500 gallons





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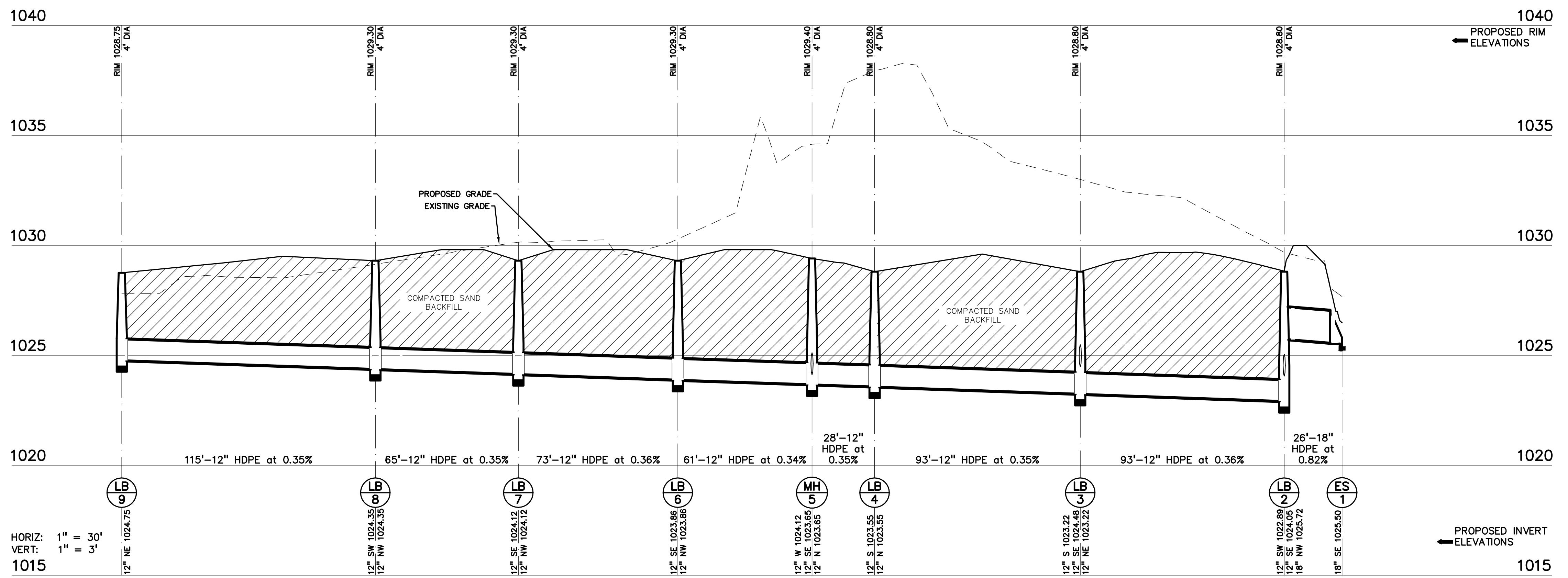
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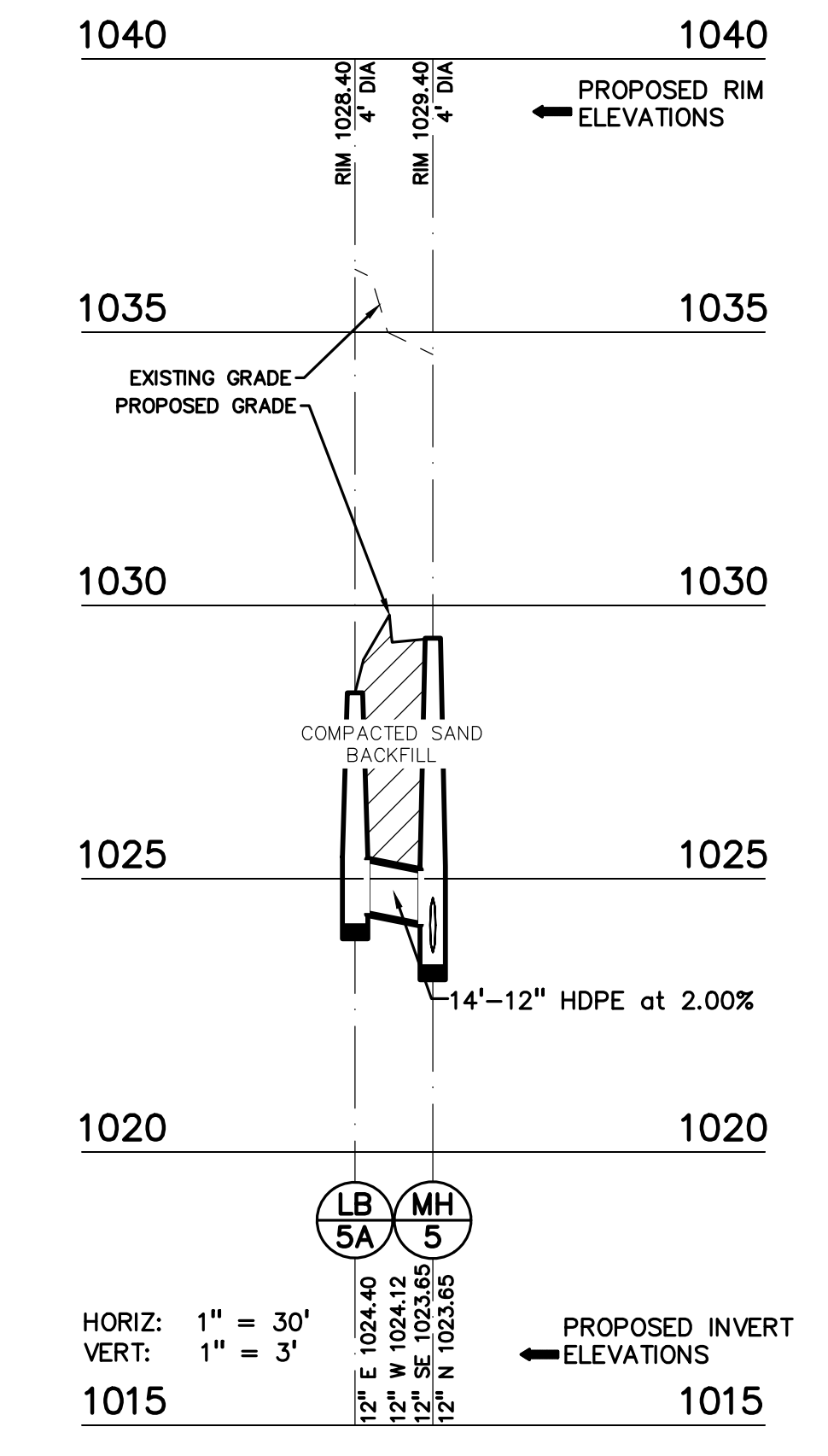
DRAWING TITLE  
**UTILITY PROFILES**

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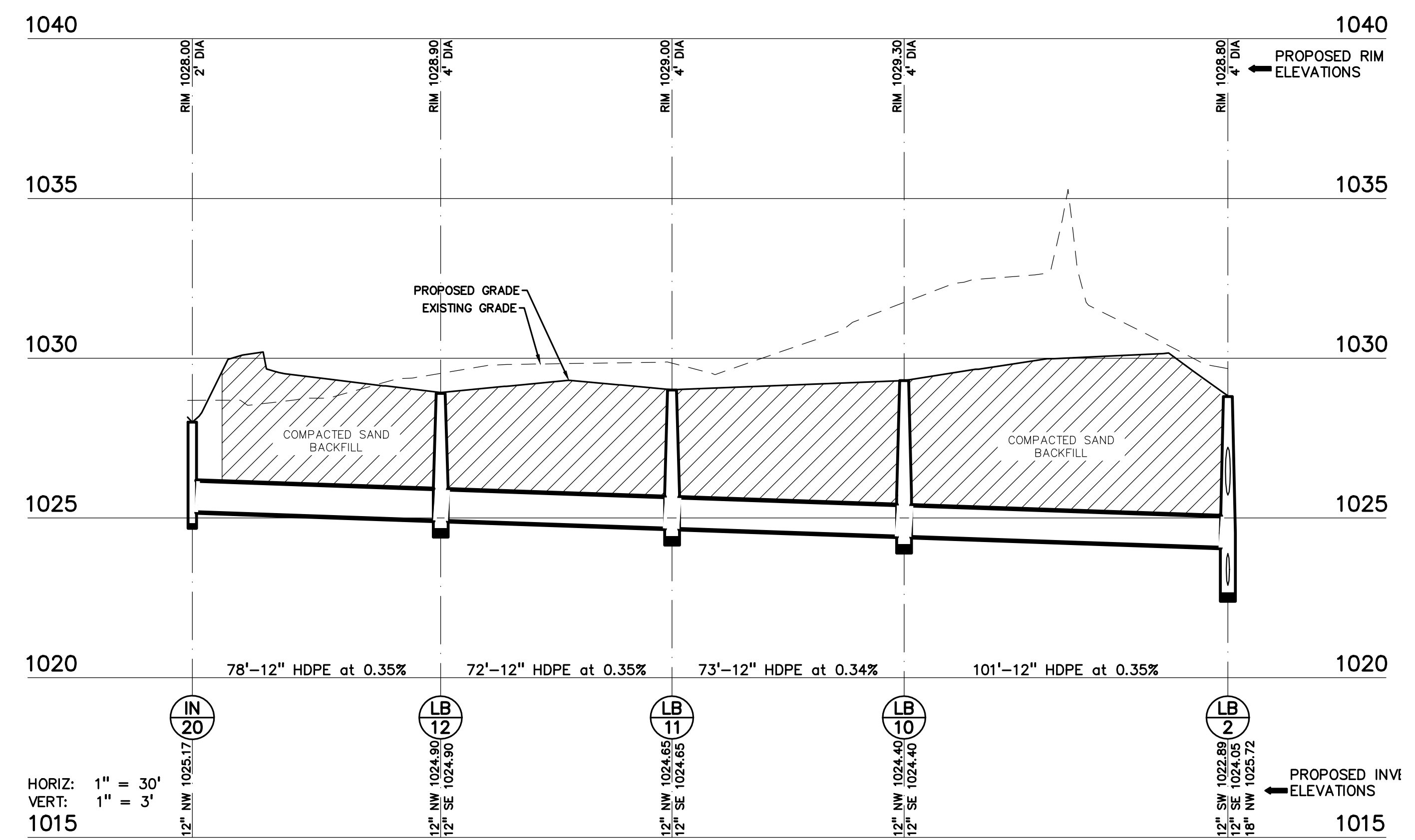
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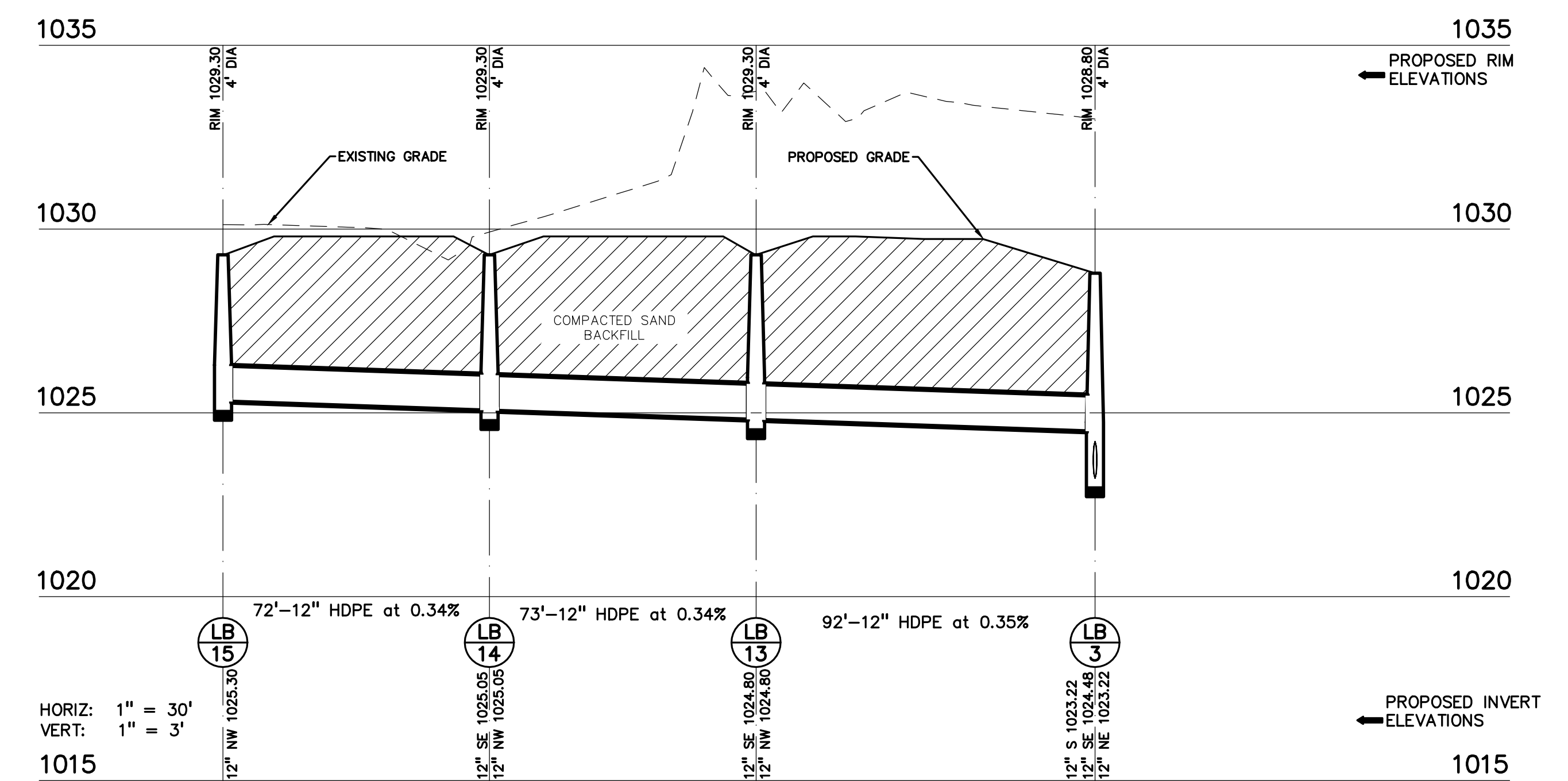
LB 9 - ES1 PROFILE



LB 17 - MH 5 PROFILE



LB 20 - LB 2 PROFILE



LB 16 - LB 3 PROFILE



GENERAL NOTES:

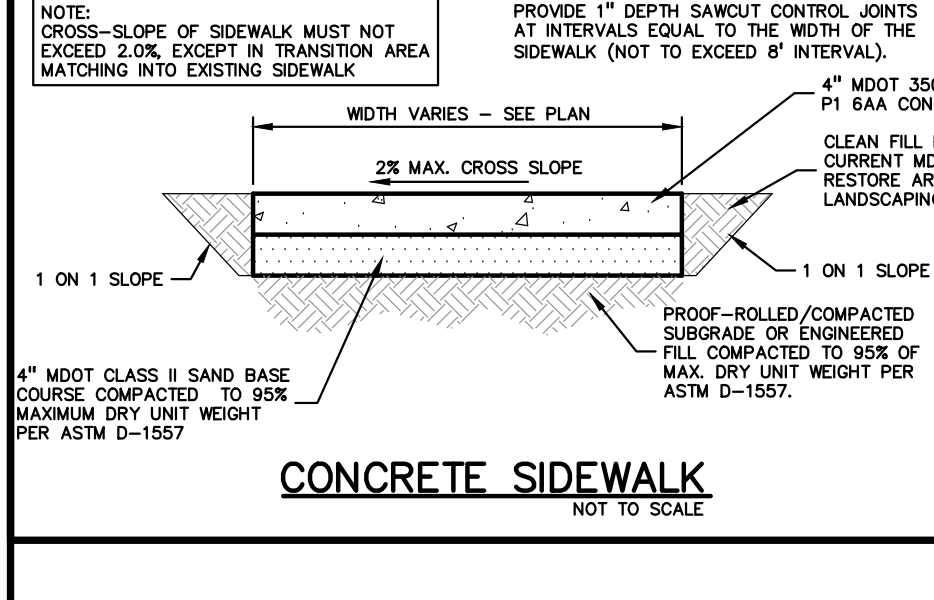
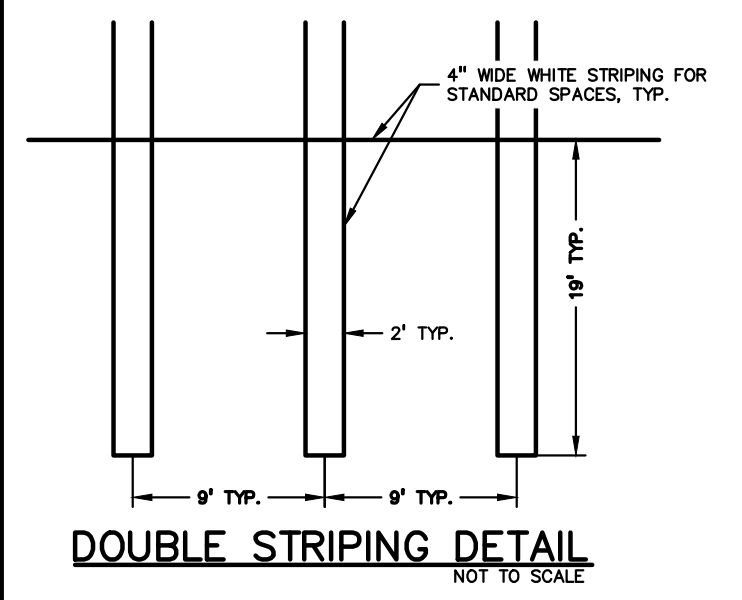
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
1. ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, MDOT AND MUNICIPALITY STANDARDS AND REGULATIONS.
2. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
3. THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN DIRECTION OF THE DESIGN ENGINEER, THE CONTRACTOR DOES SO AT HIS OWN RISK.
4. ALL NECESSARY PERMITS, TESTING, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL TOWNSHIP INSPECTION FEES.
5. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/CALL CLARITY UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
6. CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
7. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
8. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REQUIREMENTS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, TOWNSHIP AND STATE SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTORS FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
10. THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNTRY DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

PAVING NOTES:

- 1. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
2. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
3. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS SHOULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
4. ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
5. CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION
5.1. JOINTS WHEN ADJACENT TO ASPHALT PAVEMENT
5.1.1. PLACE CONTRACTION JOINTS AT 10' INTERVALS
5.1.2. PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
5.1.3. PLACE 1" EXPANSION JOINT
5.1.3.1. AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIUS LOCATIONS IN A CURVE
5.1.3.2. AT 400' MAXIMUM INTERVALS ON STRAIGHT RUNS
5.1.3.3. AT THE END OF RADIUS AT OPPOSITE ENDS IN A CURBED LANDSCAPE ISLAND
5.2. JOINTS WHEN TIED TO CONCRETE PAVEMENT
5.2.1. PLACE CONTRACTION JOINTS OPPOSITE ALL TRANSVERSE CONTRACTION JOINTS IN PAVEMENT
5.2.2. PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALK OR EXISTING CURBING.
5.2.3. PLACE 1" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
5.2.4. CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE TIE JOINT (MDOT B1 JOINT)
5.3. IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
5.3.1. CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
5.3.2. IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN TIE TWO PIECES OF REBAR PER THE LATEST MDOT SPECIFICATIONS
6. CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION
6.1. PLACE TRANSVERSE CONTRACTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 8'
6.2. PLACE TRANSVERSE AND LONGITUDINAL CONTRACTION JOINTS EQUAL TO 1/2 THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 8'
6.3. PLACE 1" EXPANSION JOINT WHERE ABUTTING SIDEWALK RAMP AND/OR RADIUS IN INTERSECTION
6.4. PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
6.5. PLACE 1/2" EXPANSION JOINT WHEN ABUTTING A FIXED STRUCTURE OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS

GENERAL GRADING AND EARTHWORK NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
2. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
3. THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
4. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE COUNTY PRIOR TO CONSTRUCTION.
5. ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
6. REFER TO SOIL EROSION CONTROL PLAN FOR ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
7. ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
9. ON-SITE FILL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
10. THE FINAL SUBGRADE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROOFOFFLOADED USING A FULLY LOADED TANDEM AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL/PAVEMENT ENGINEER. LOOSE OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEORIGIDS OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
11. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW PROPOSED SUBGRADE IN CUT AREAS WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
12. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
13. ANY SUBGRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.



GENERAL UTILITY NOTES:

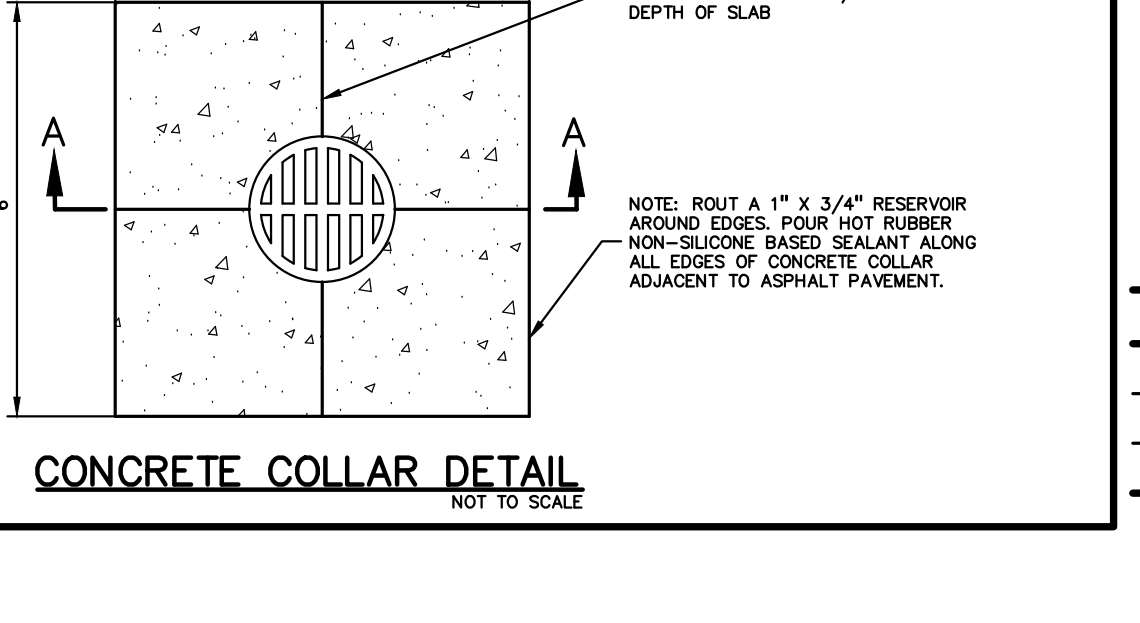
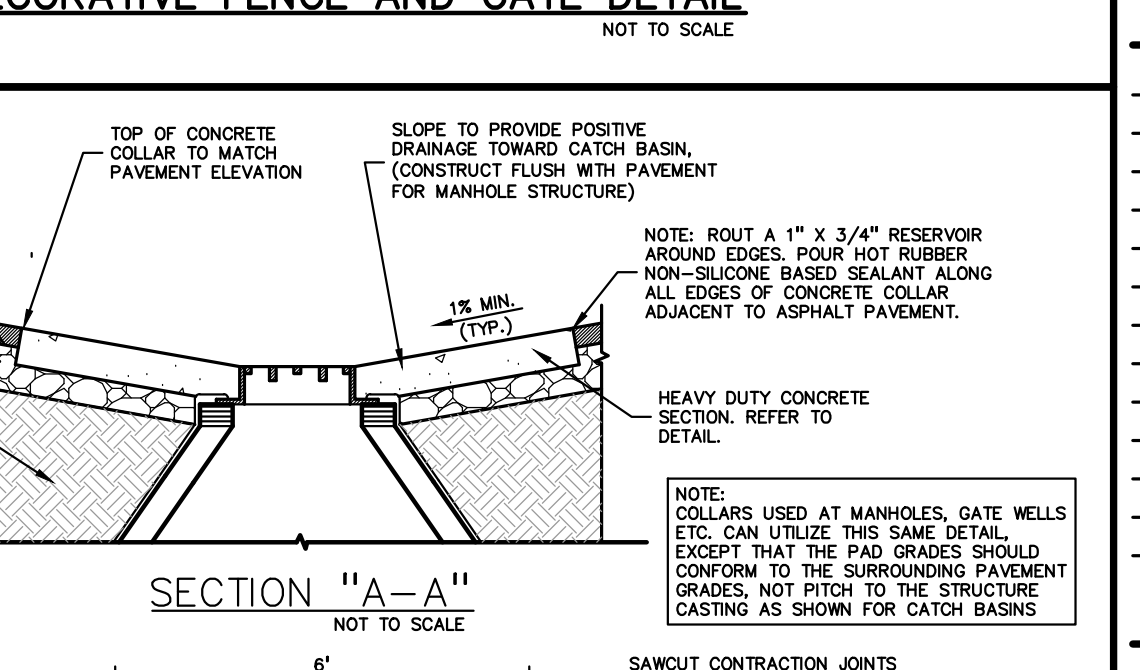
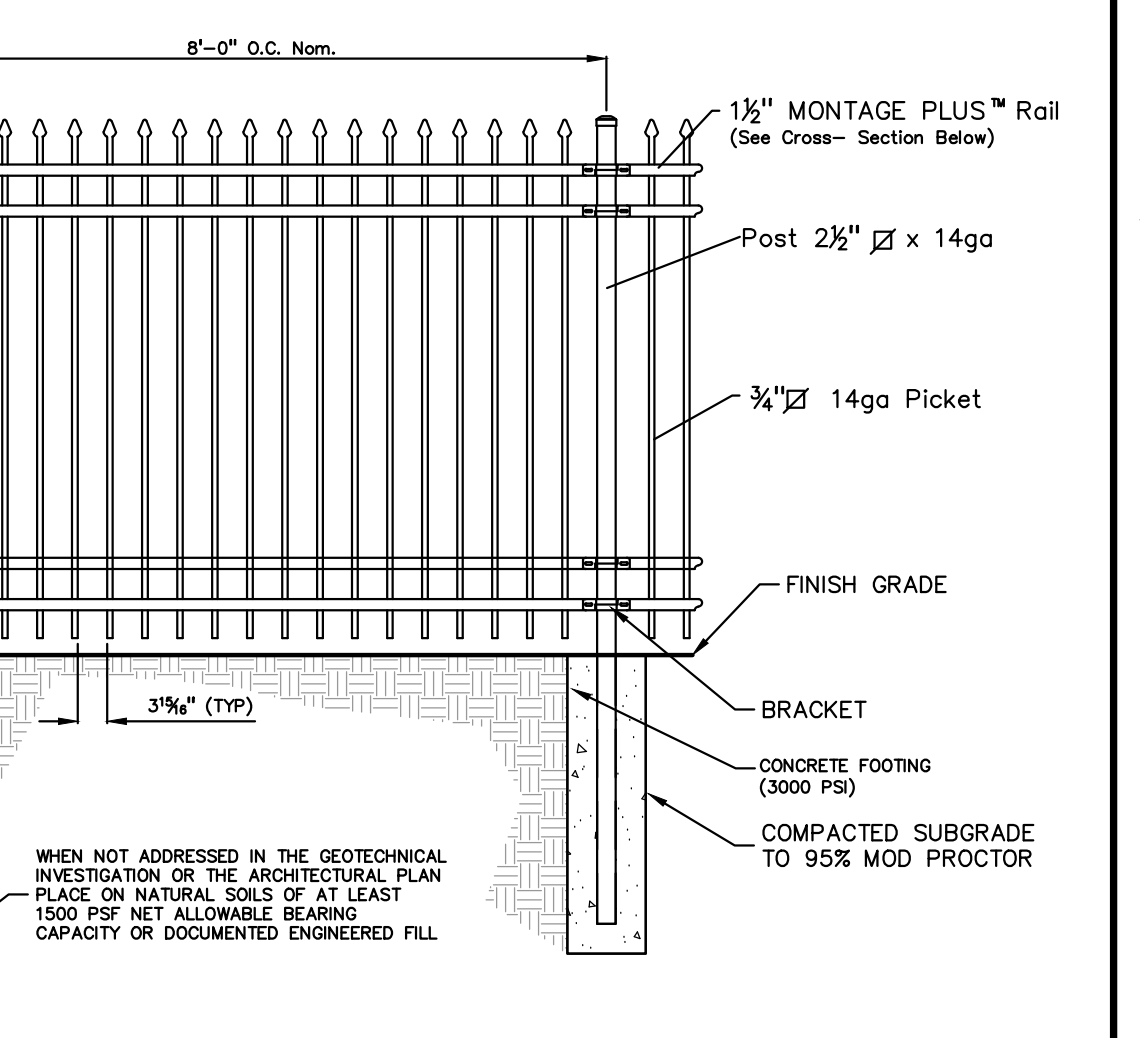
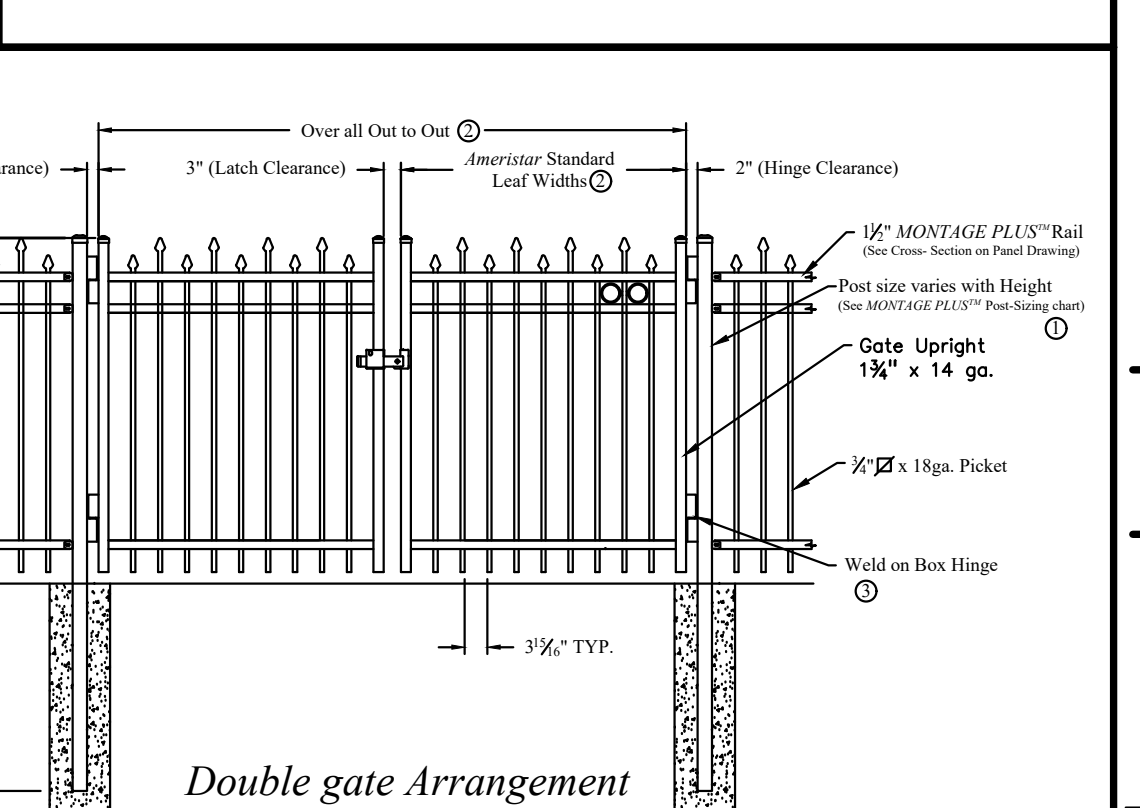
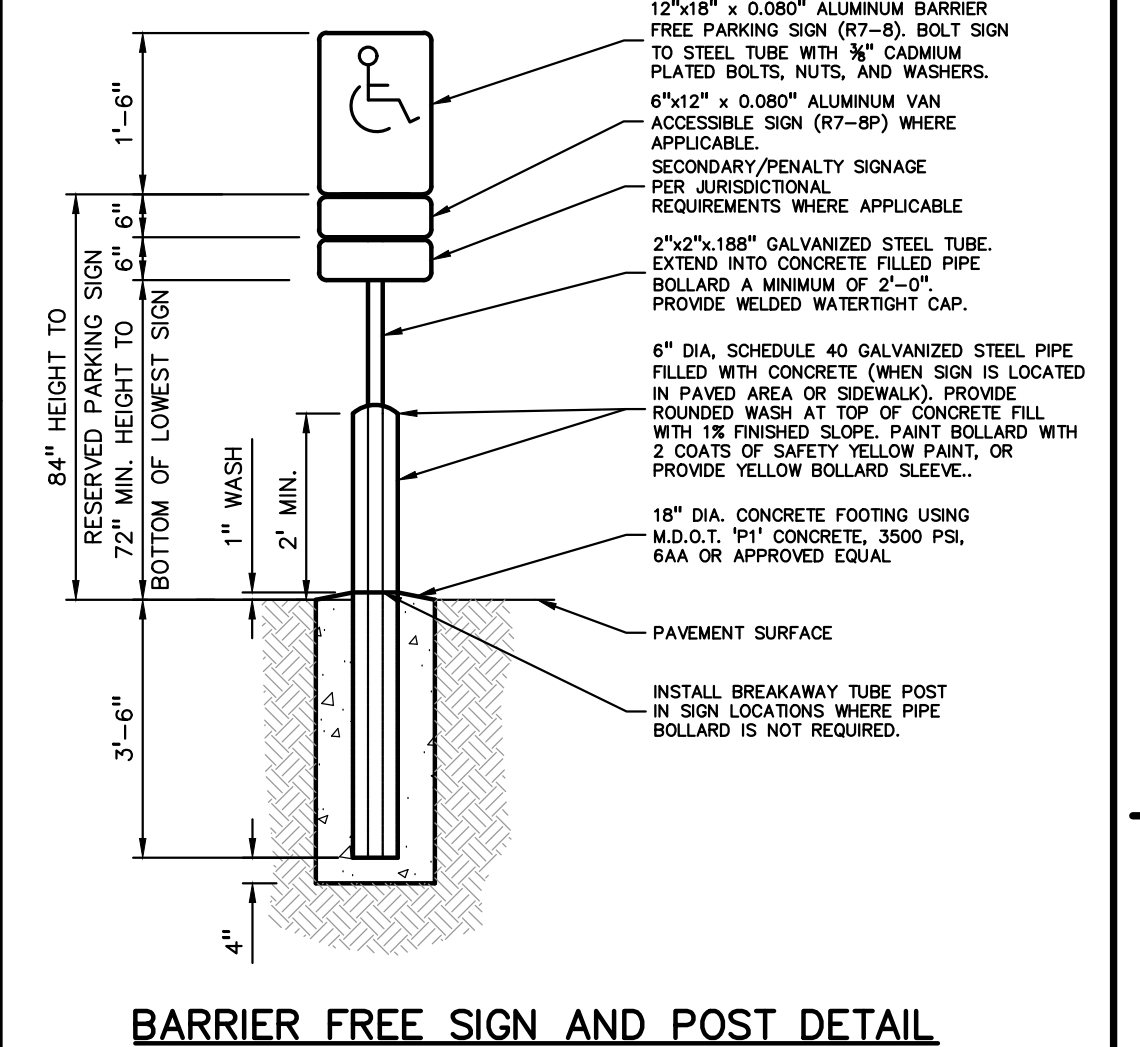
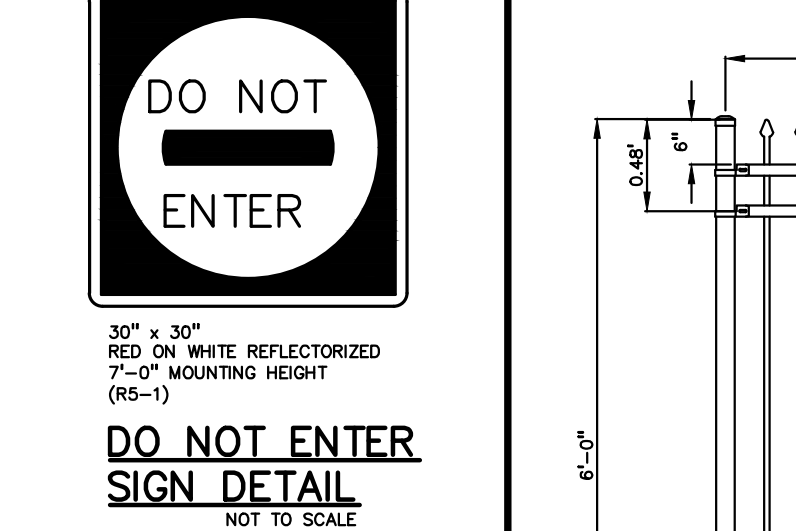
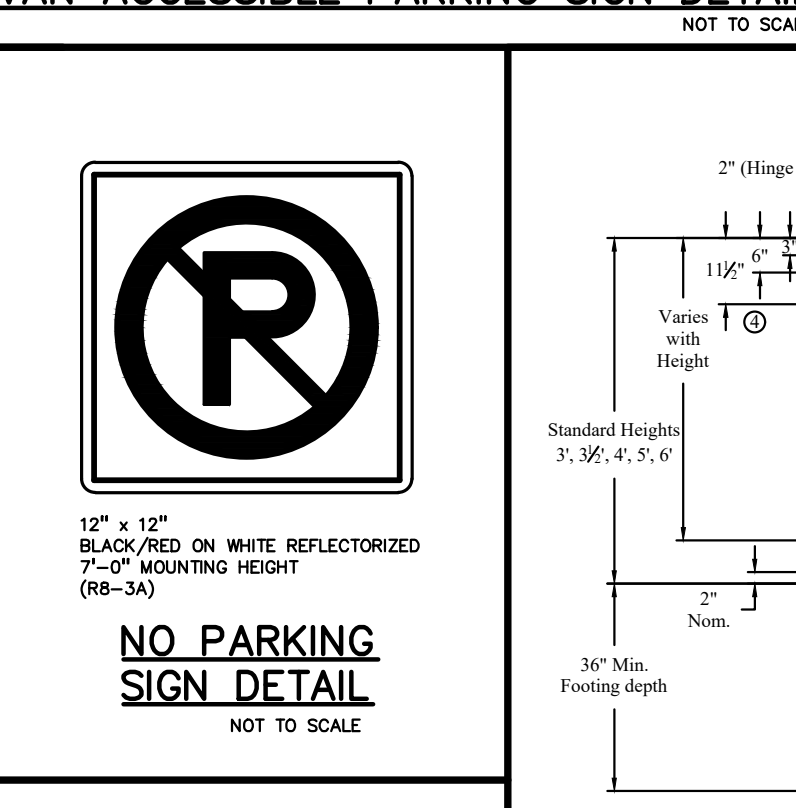
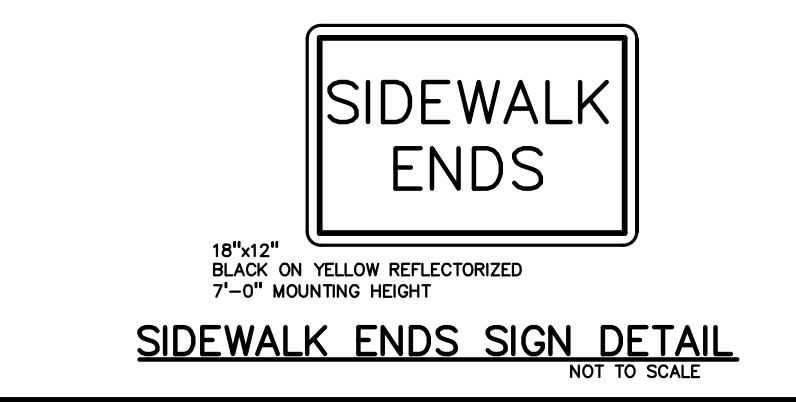
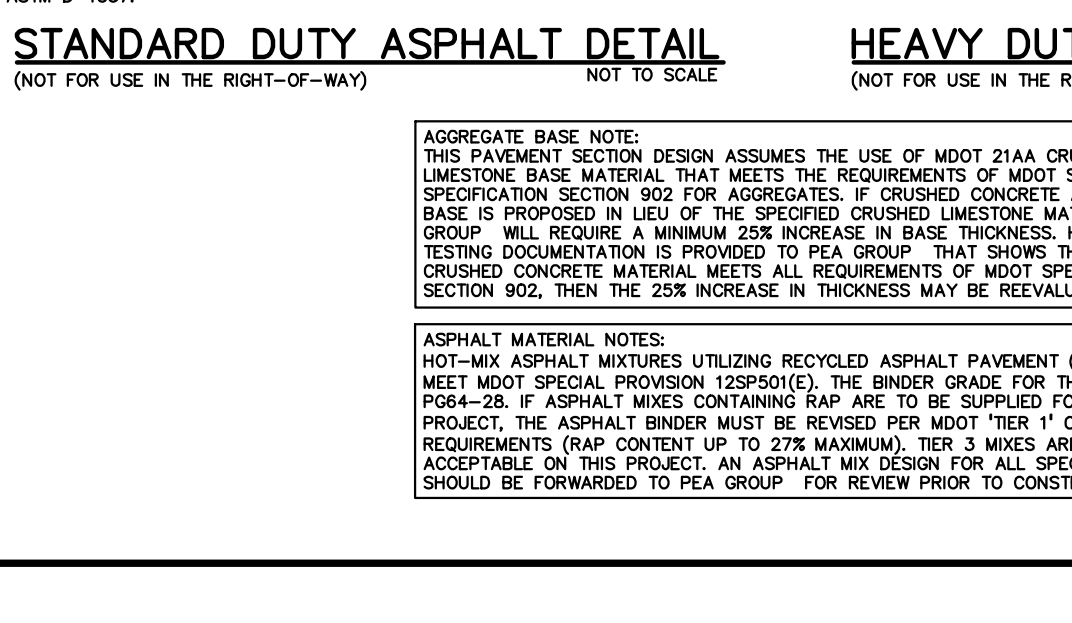
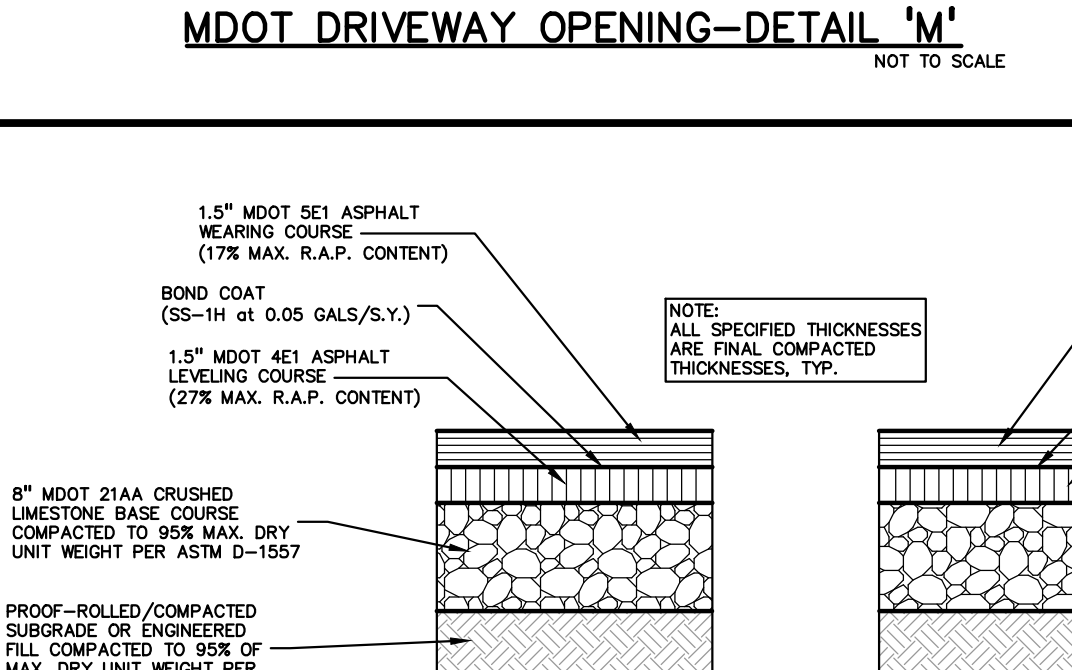
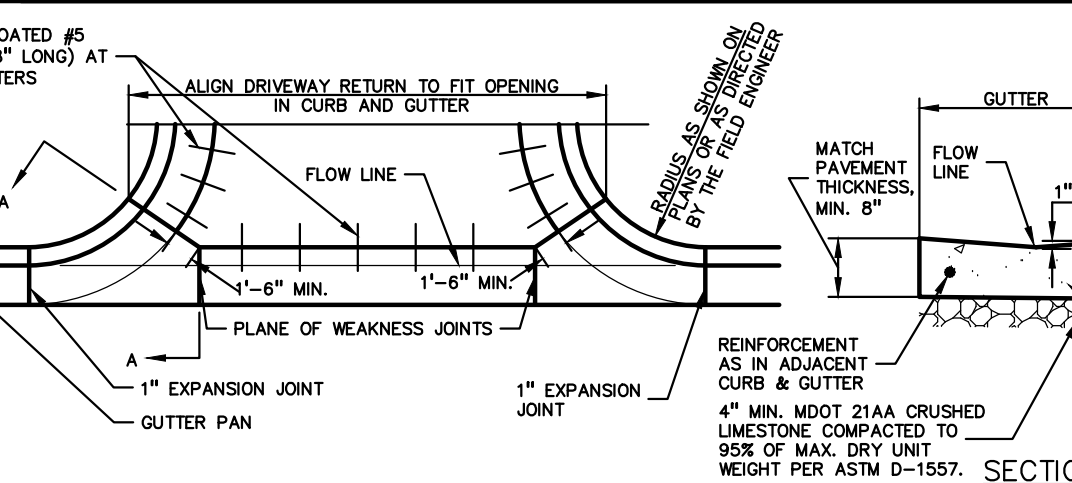
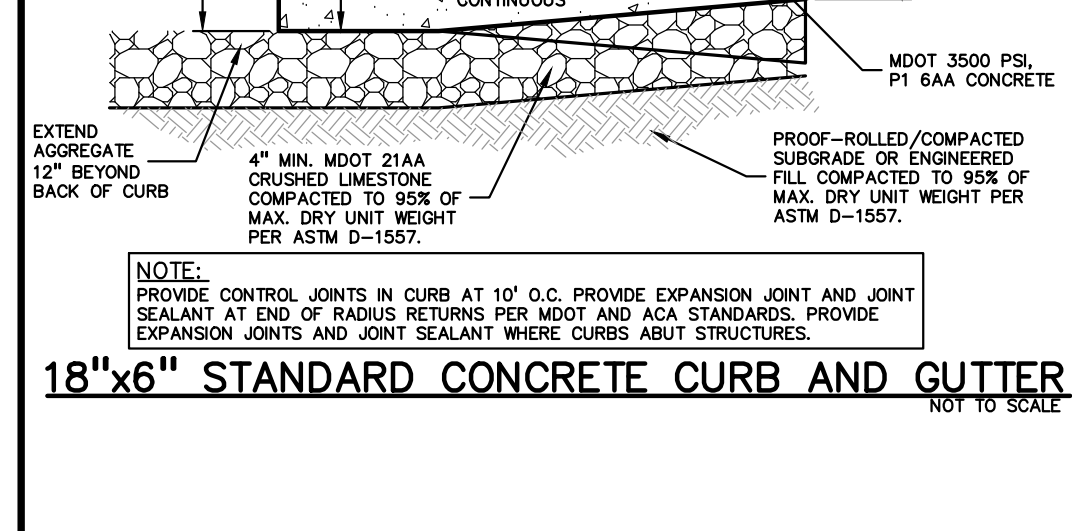
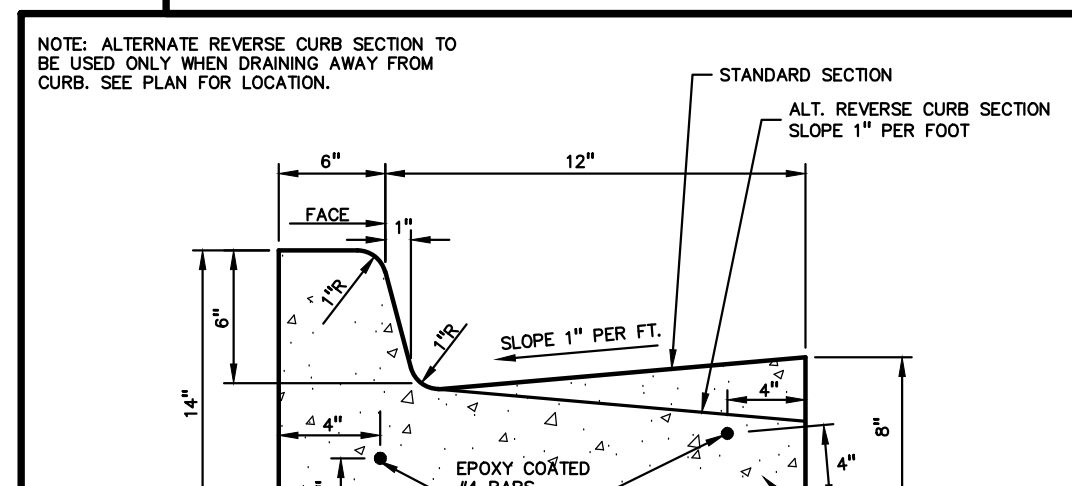
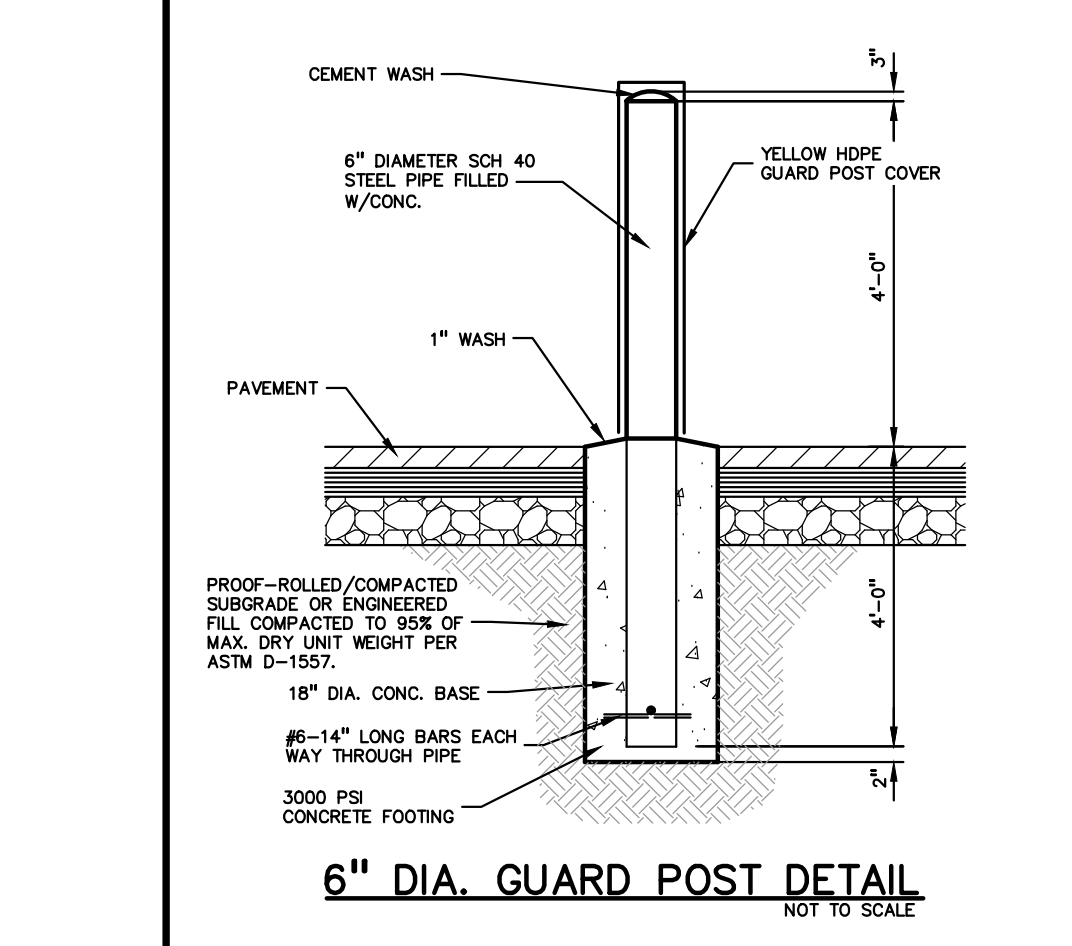
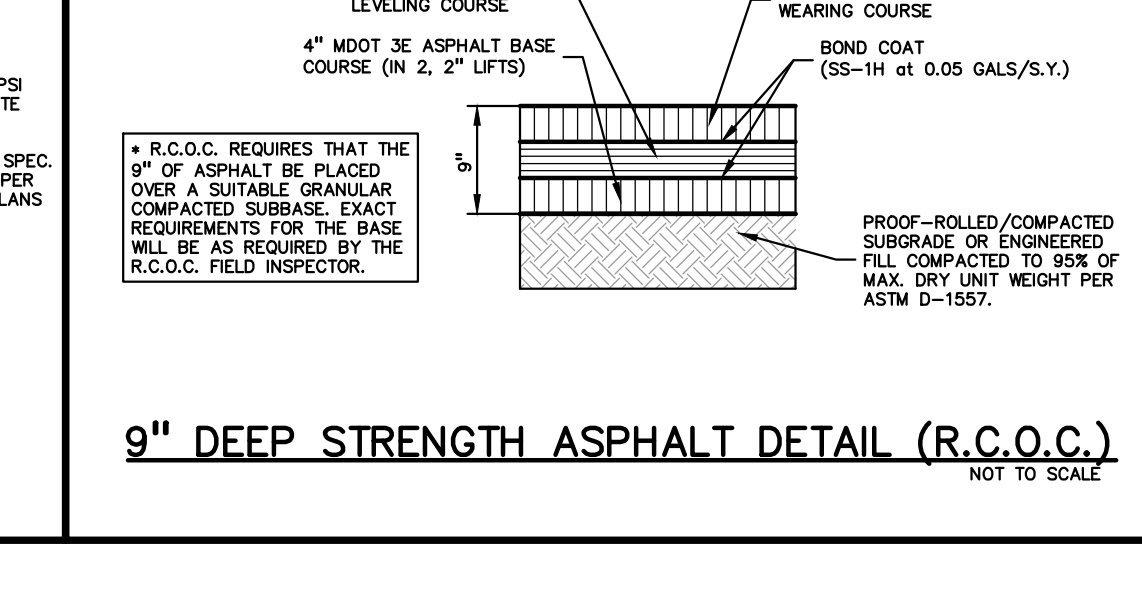
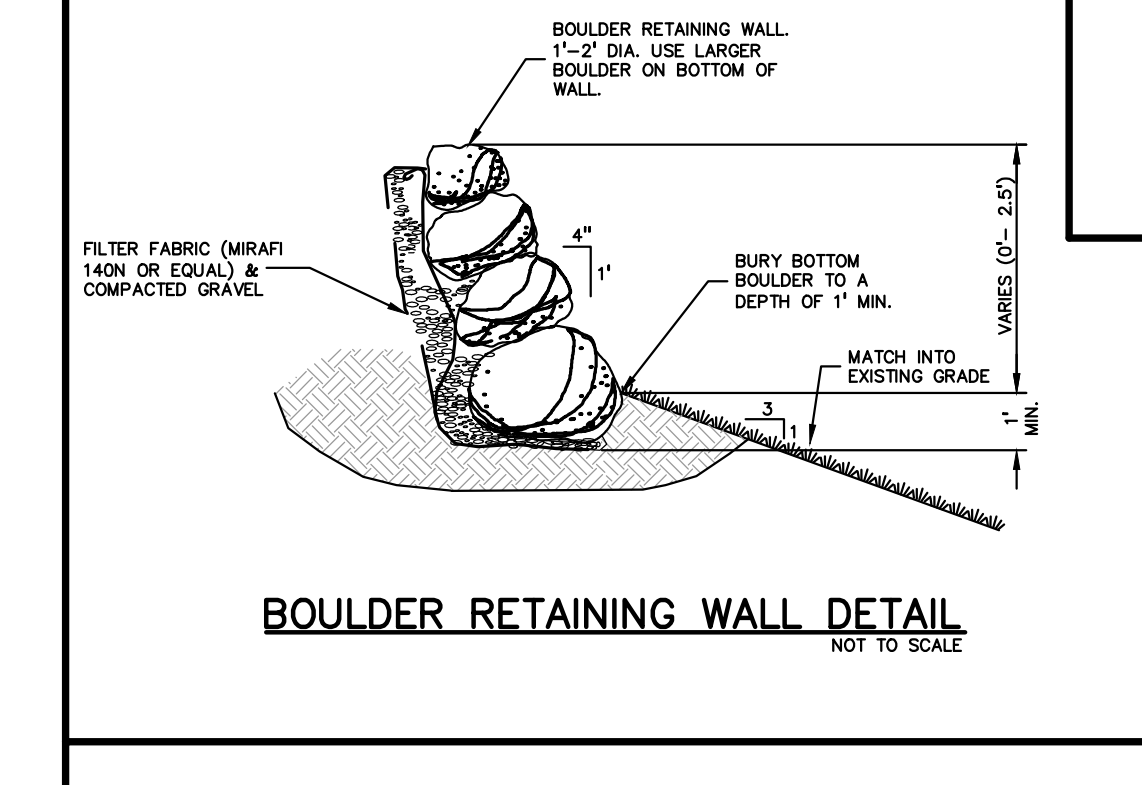
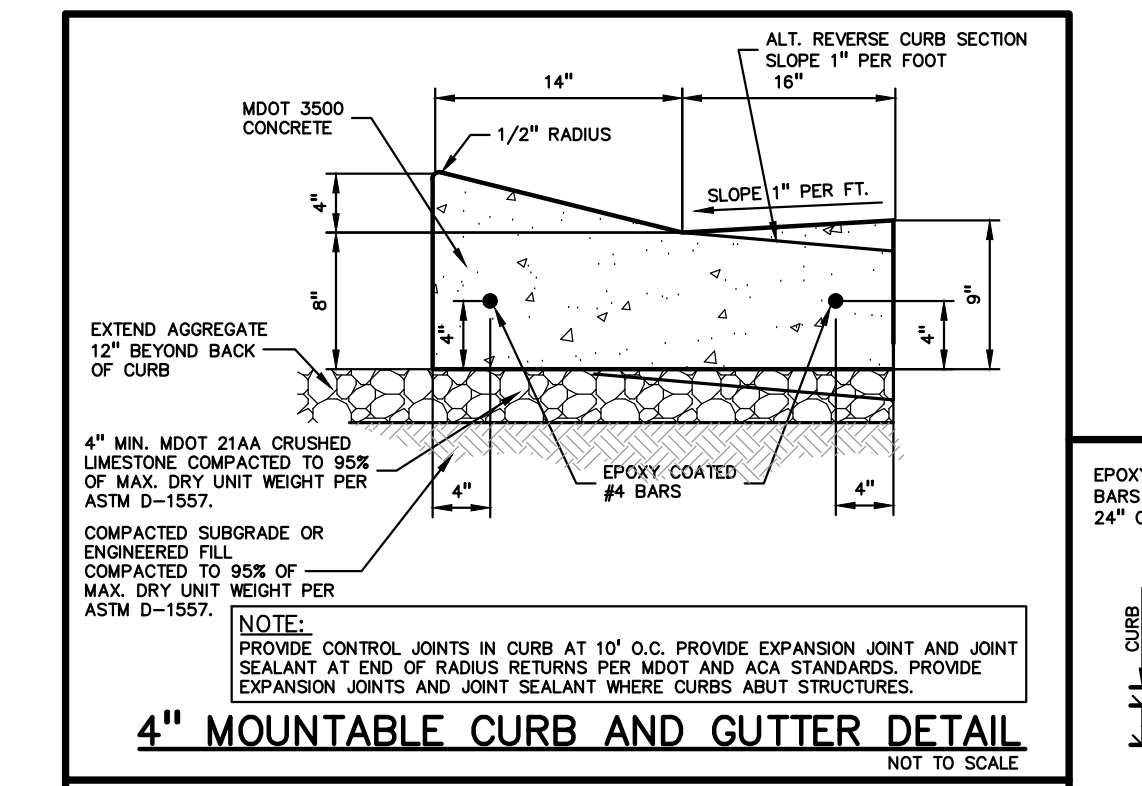
- 1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWNSHIP.
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND LANDSCAPING.
6. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

WATER MAIN NOTES:

- 1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE.
2. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
3. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY/STORM SEWER OR STRUCTURE.
4. ALL NEW WATER MAIN MUST PASS PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE TOWNSHIP.
5. WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
6. ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE TOWNSHIP.
7. THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION DEPARTMENT AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.

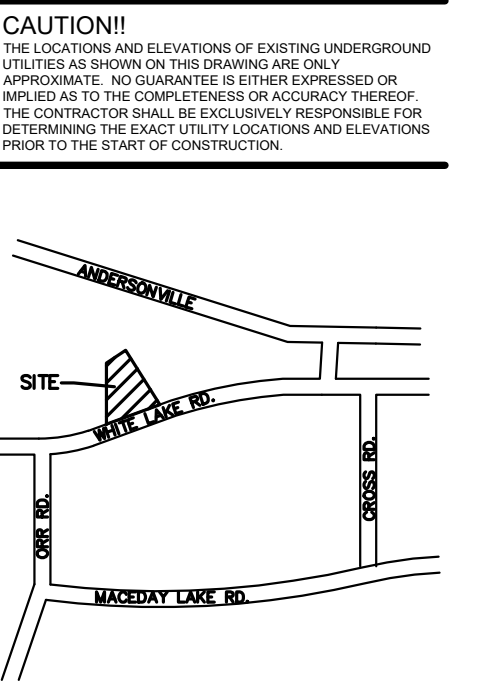
SANITARY SEWER NOTES:

- 1. DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
4. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 75 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.J.I.W. #1565 BOX OR EQUAL.



PEA GROUP logo and contact information: t: 844.813.2949 www.peagroup.com. Includes Michigan Professional Engineer seal for Jeffrey A. Pea.

811 Know what's below. Call before you dig. CAUTION!! THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT: GINKO INVESTMENT COMPANY, LLC 2438 ROCHESTER ROAD OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE: GINKO SELF STORAGE WHITE LAKE TOWNSHIP, MICHIGAN

Table with 3 columns: PER AGENCIES COMMENTS, DATE, and REVISIONS. Includes entries for GINKO SELF STORAGE and various agency comments.

ORIGINAL ISSUE DATE: FEBRUARY 2, 2023

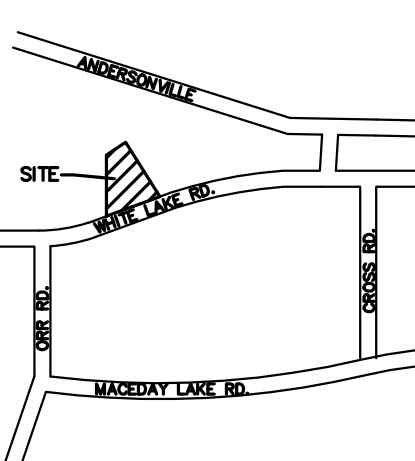
Table with 2 columns: DRAWING TITLE and NOTES AND DETAILS. Includes drawing title 'CONCRETE COLLAR DETAIL' and notes about rebar and sealant.

PEA JOB NO. 2002-248A P.M. JPB DN. SWS DES. SWS DRAWING NUMBER: C-9.0





**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE AS TO THEIR DEPTH OR MARKED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.



CLIENT  
**GINKO INVESTMENT COMPANY, LLC**  
2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS	
PER AGENCIES COMMENTS	05/30/23
PER AGENCIES COMMENTS	06/29/23
PER AGENCIES COMMENTS	08/04/23
PER AGENCIES COMMENTS	09/22/23
PER AGENCIES COMMENTS	10/24/23
PER AGENCIES COMMENTS	04/26/24
PER AGENCIES COMMENTS	07/25/24
PER AGENCIES COMMENTS	09/06/24


ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023  
DRAWING TITLE  
**DETAILS**

PEA JOB NO.	2002-248A
P.M.	JPB
DN	SWS
DES.	SWS
DRAWING NUMBER:	

**C-9.1**

**SCHLAGE**

**650 Series**  
Keyswitches



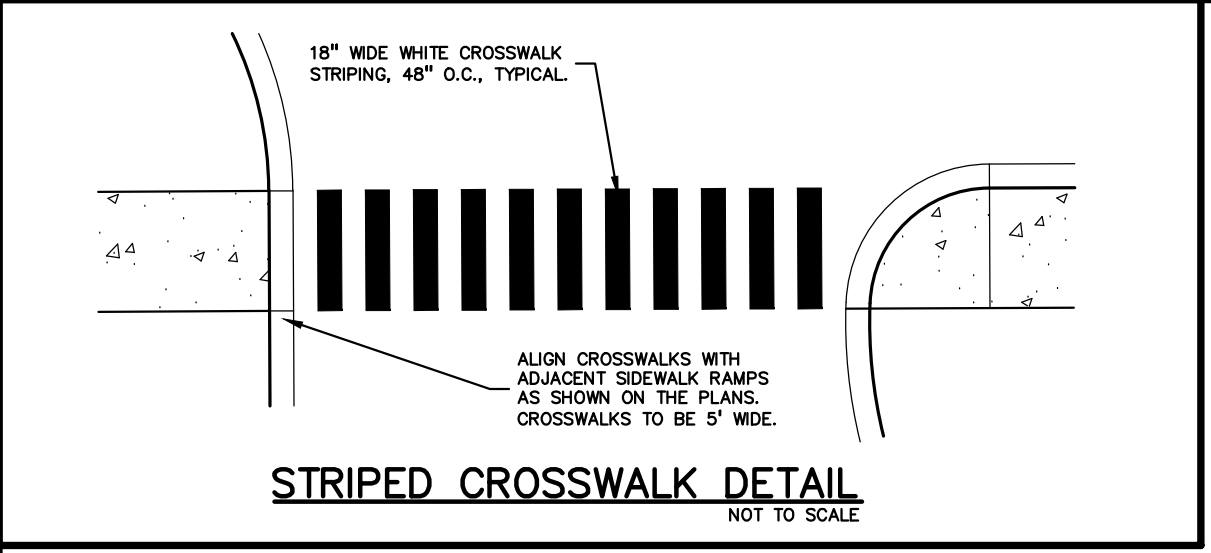
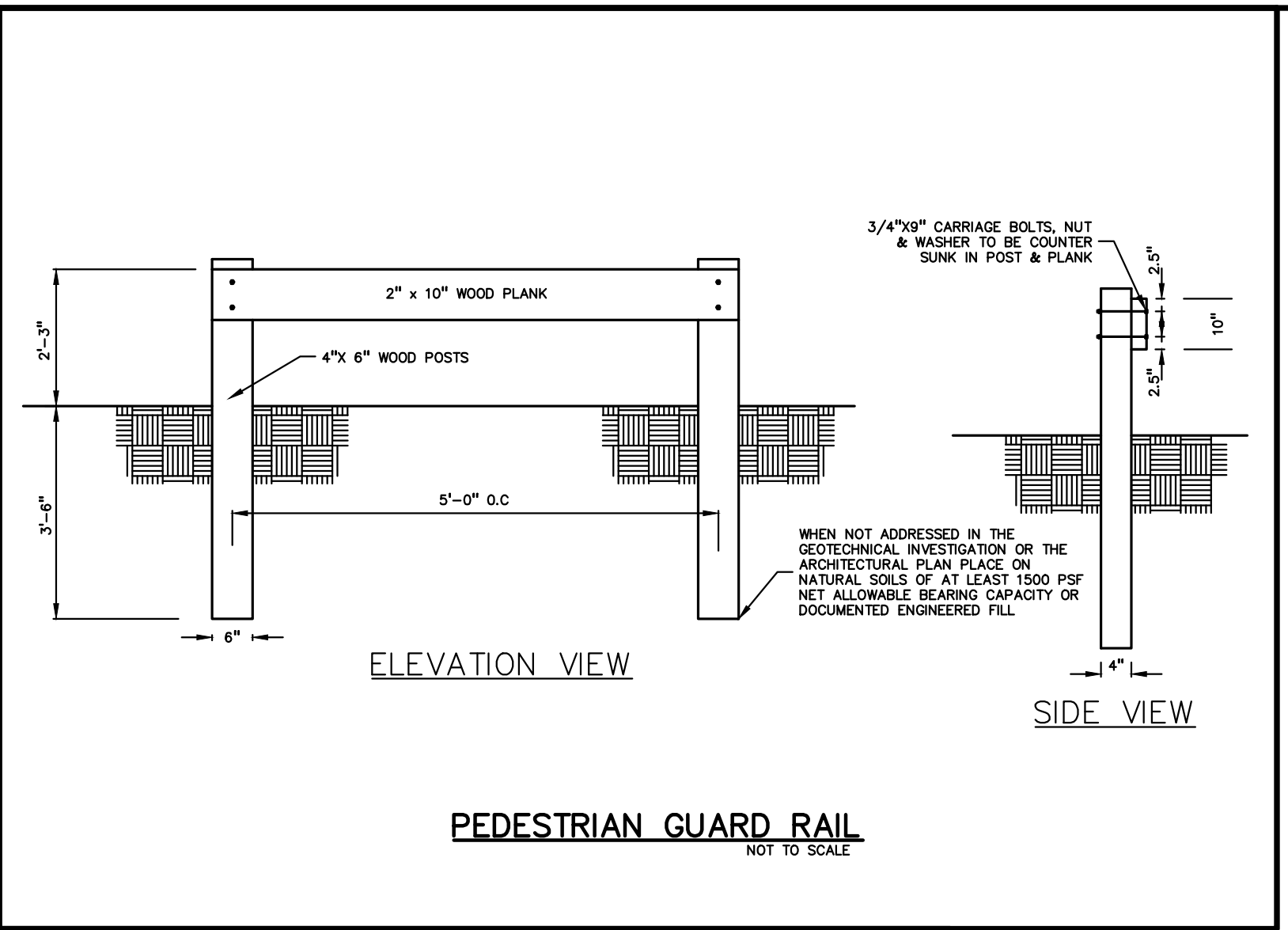
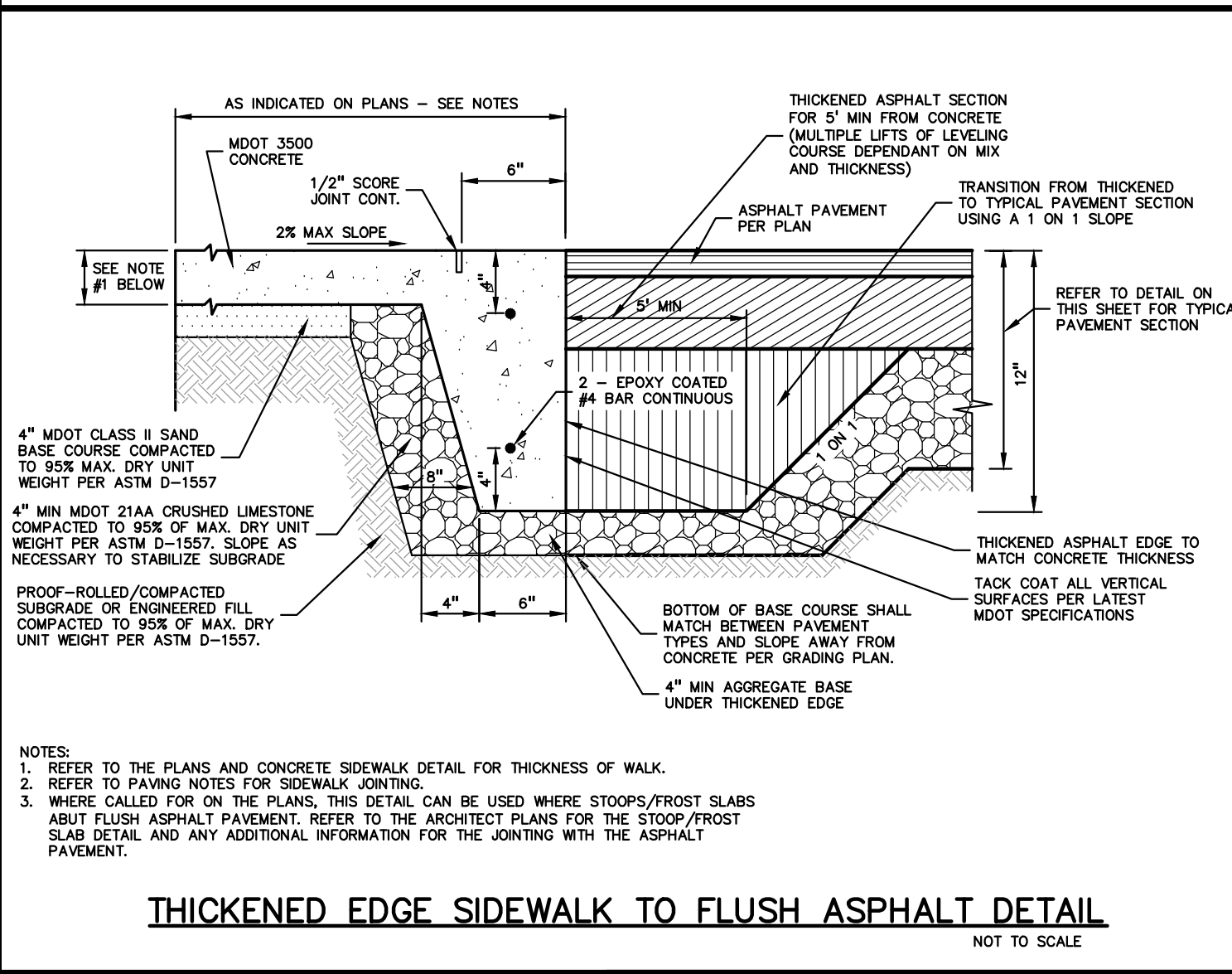
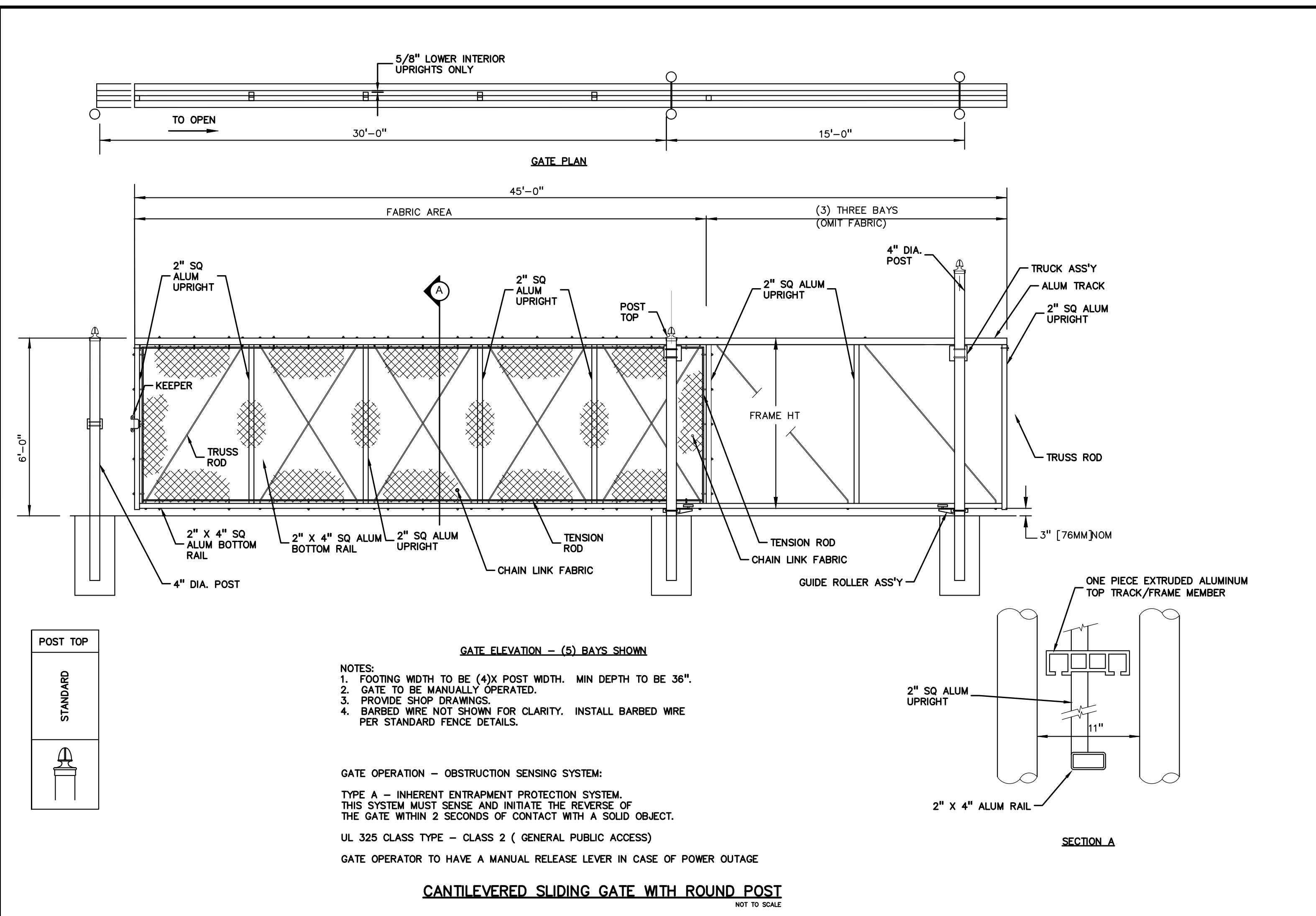
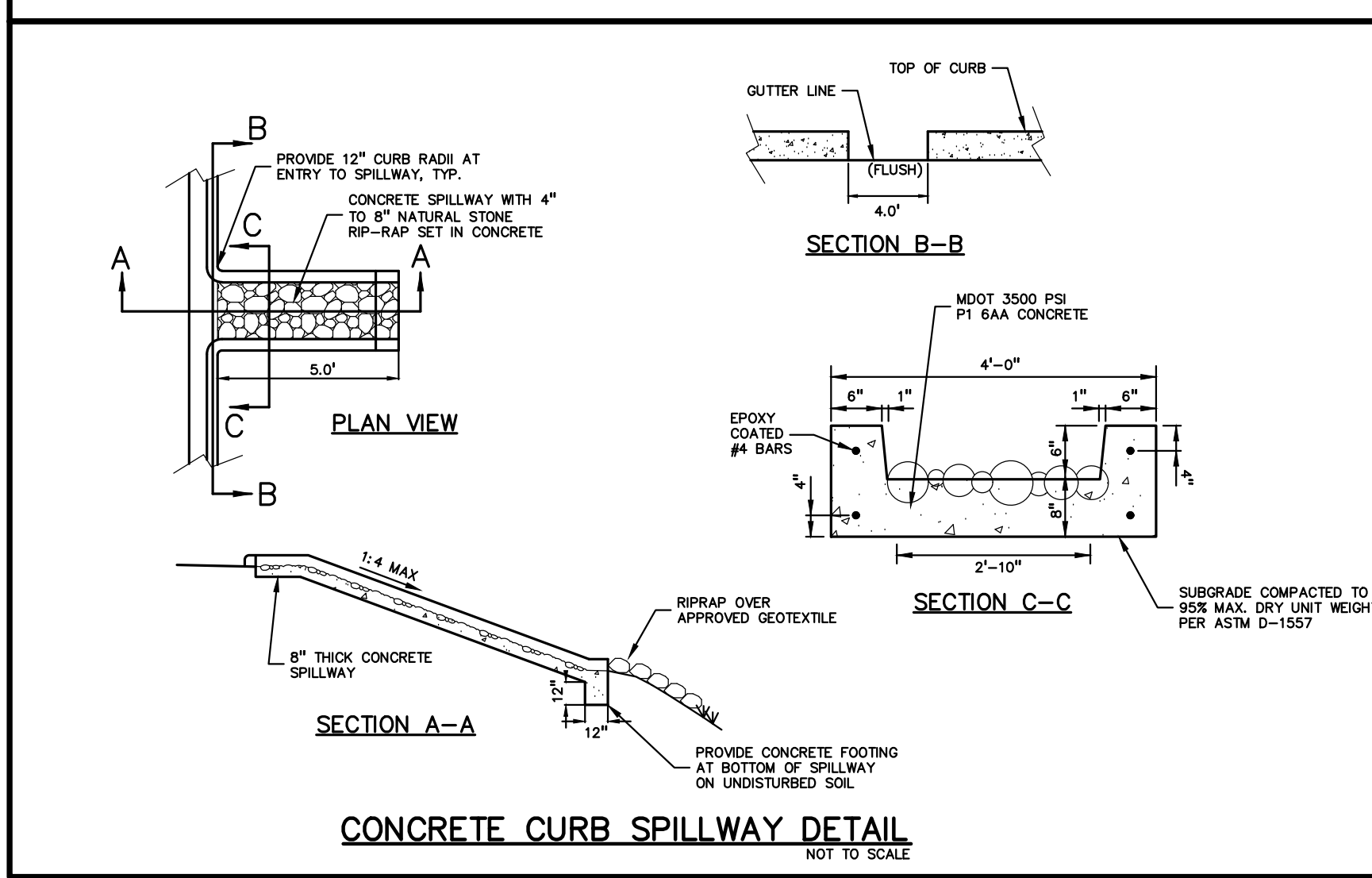
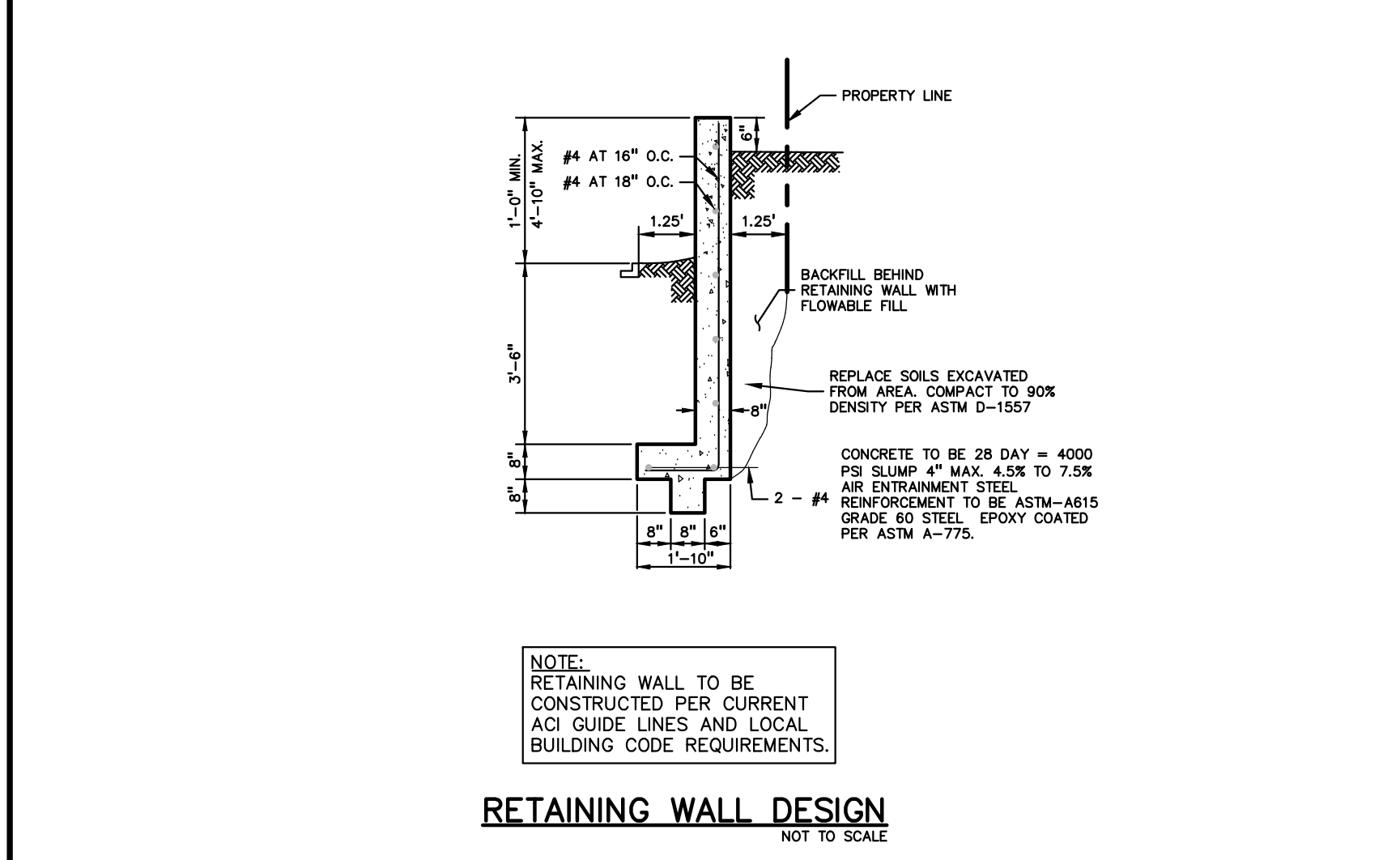
**Overview**

Schlage 650 Series keyswitches utilize an innovative magnetic spring design which allows installers to configure both clockwise and counterclockwise key turn direction as well as momentary or maintained action in seconds. Single gang and narrow stile are available with numerous options which include heavy-duty plate, weather resistant cover (single gang stile only), LED lights - green/red, anti-tamper switch and Schlage Everest cylinder. In addition to the standard (630) satin stainless steel finish, there are five additional architectural finishes to choose from.

**Features and benefits**

- Easy to install and maintain
- Single gang and narrow stile offer ultimate flexibility
- Multiple options
- Patented magnetic spring design allows installers to configure momentary to maintained action in seconds
- Available options include red/green LED lights, anti-tamper switch and Schlage Everest cylinder
- Available water-resistant cover
- Single pole, double throw or double pole, double throw in both maintained and momentary action with a variety of combinations
- Standard 630 satin stainless steel plate with 5 additional finish options on heavy-duty enclosure
- Standard or narrow stile cover options

**KNOX BOX**  
NOT TO SCALE



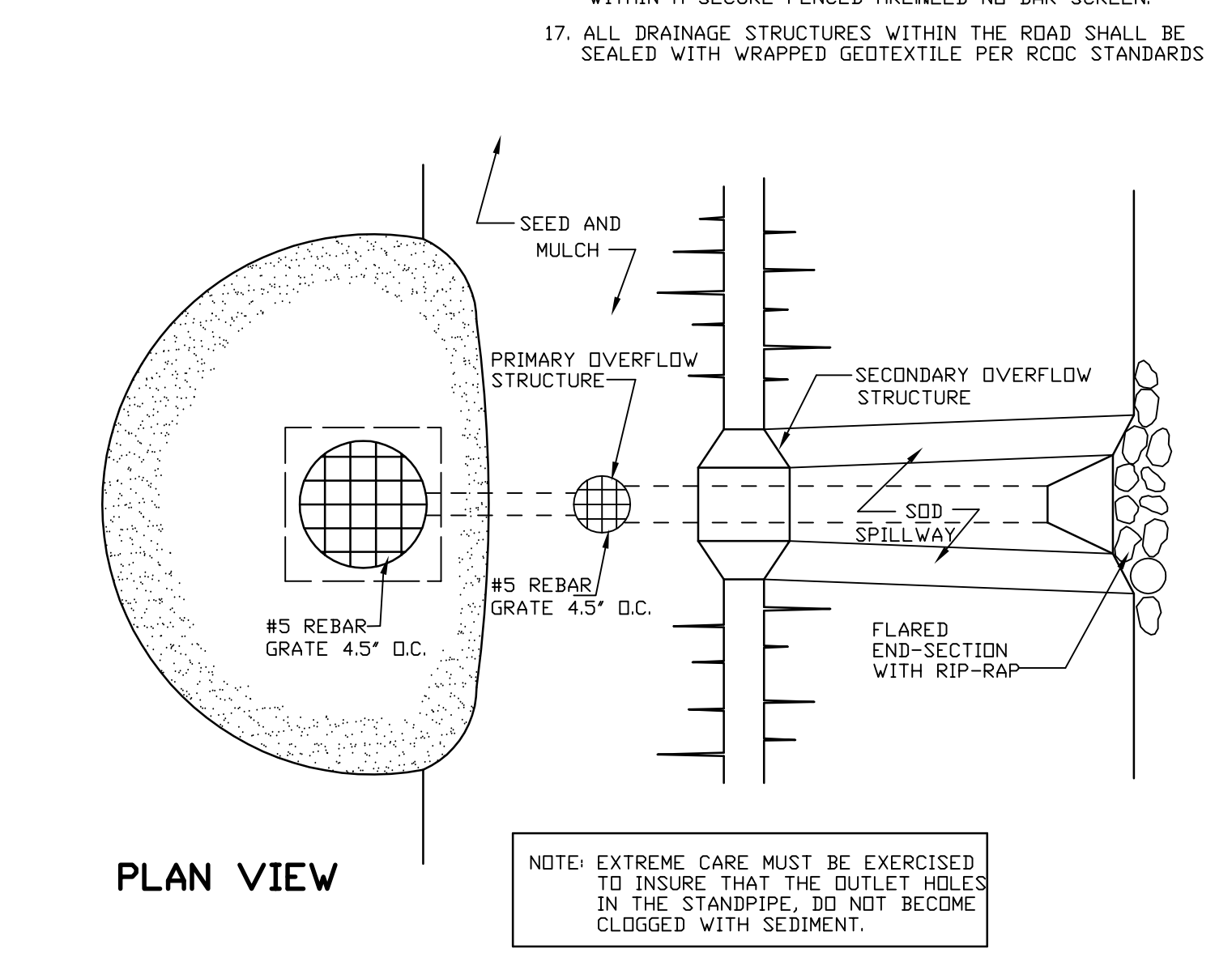
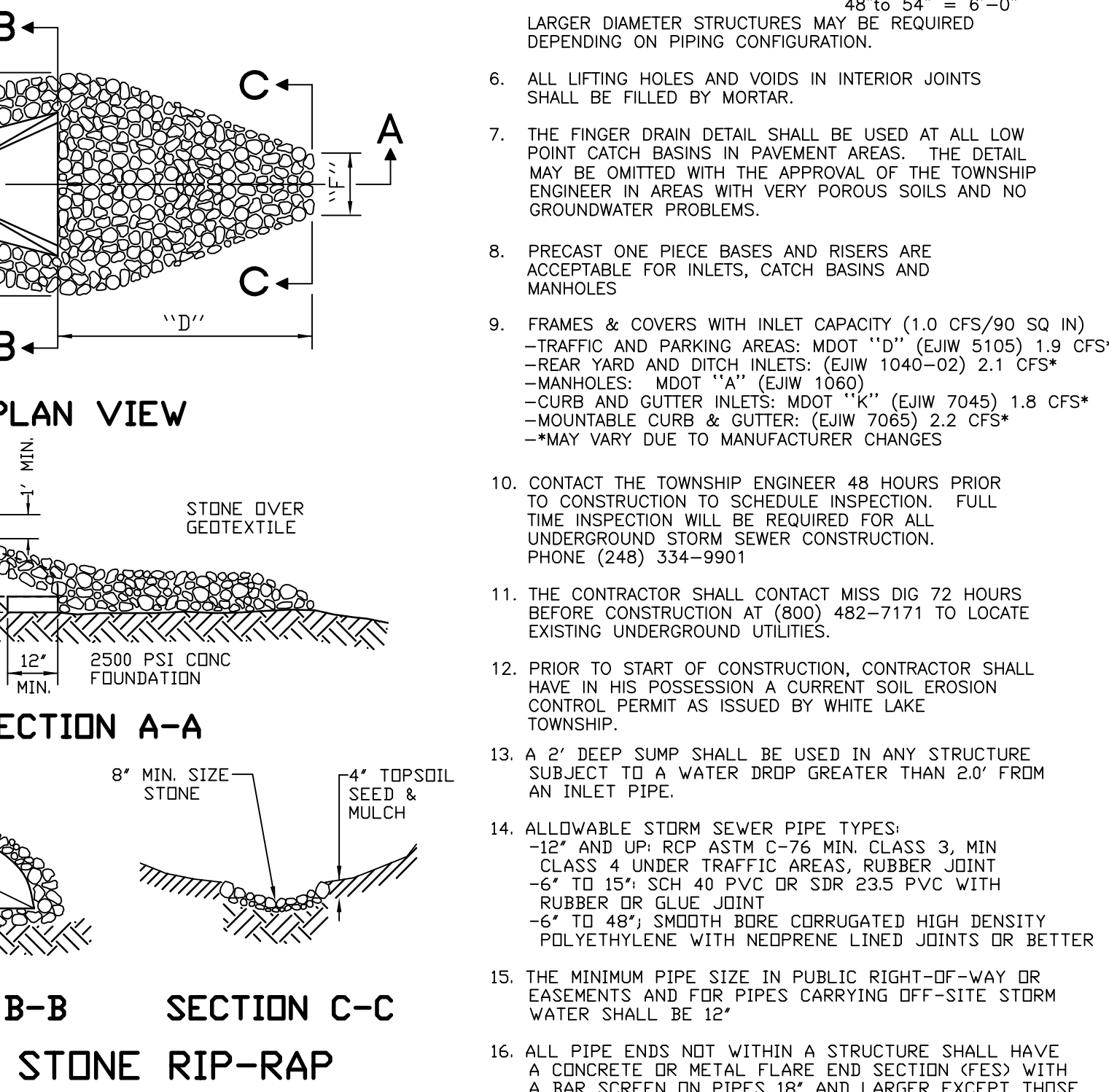
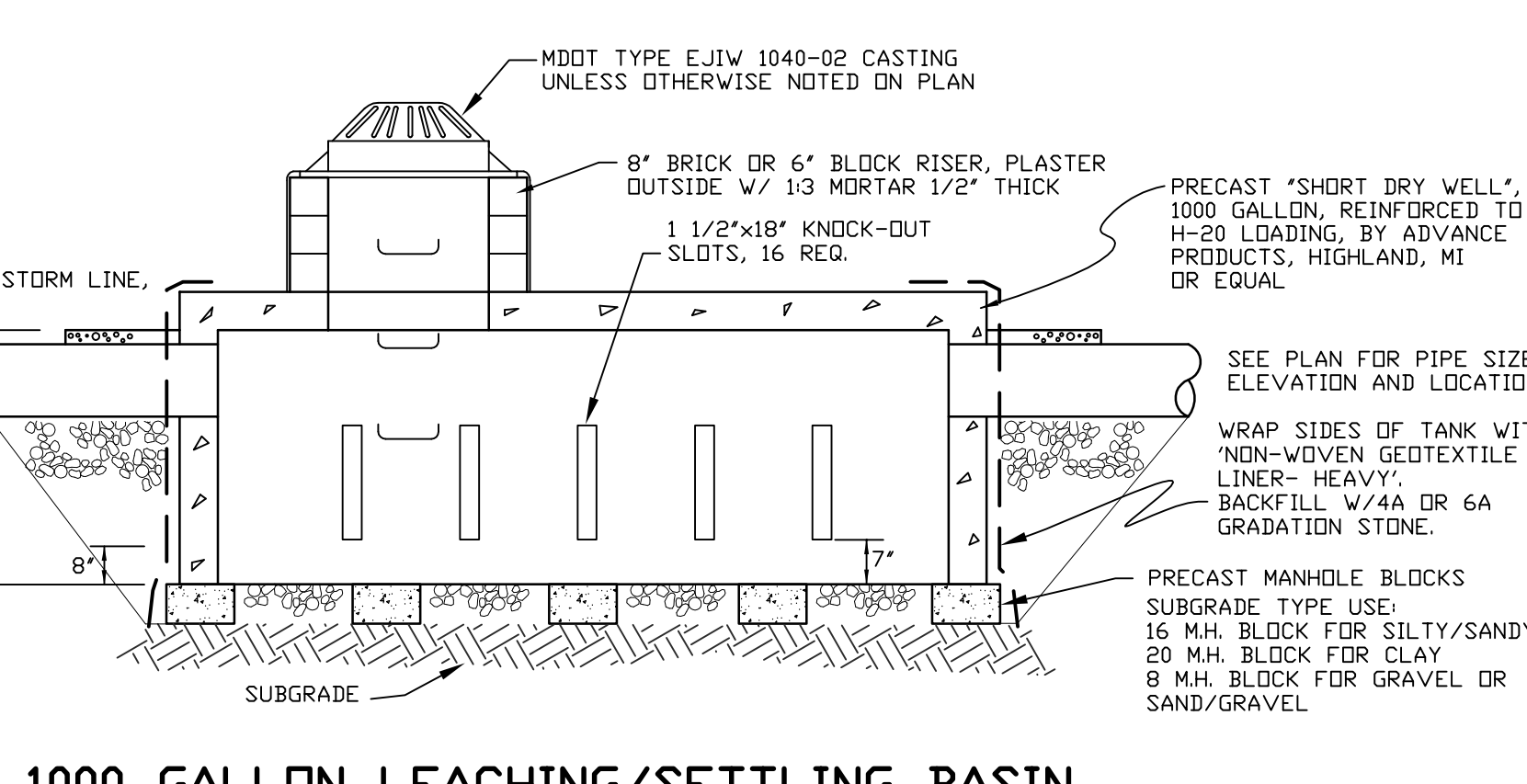
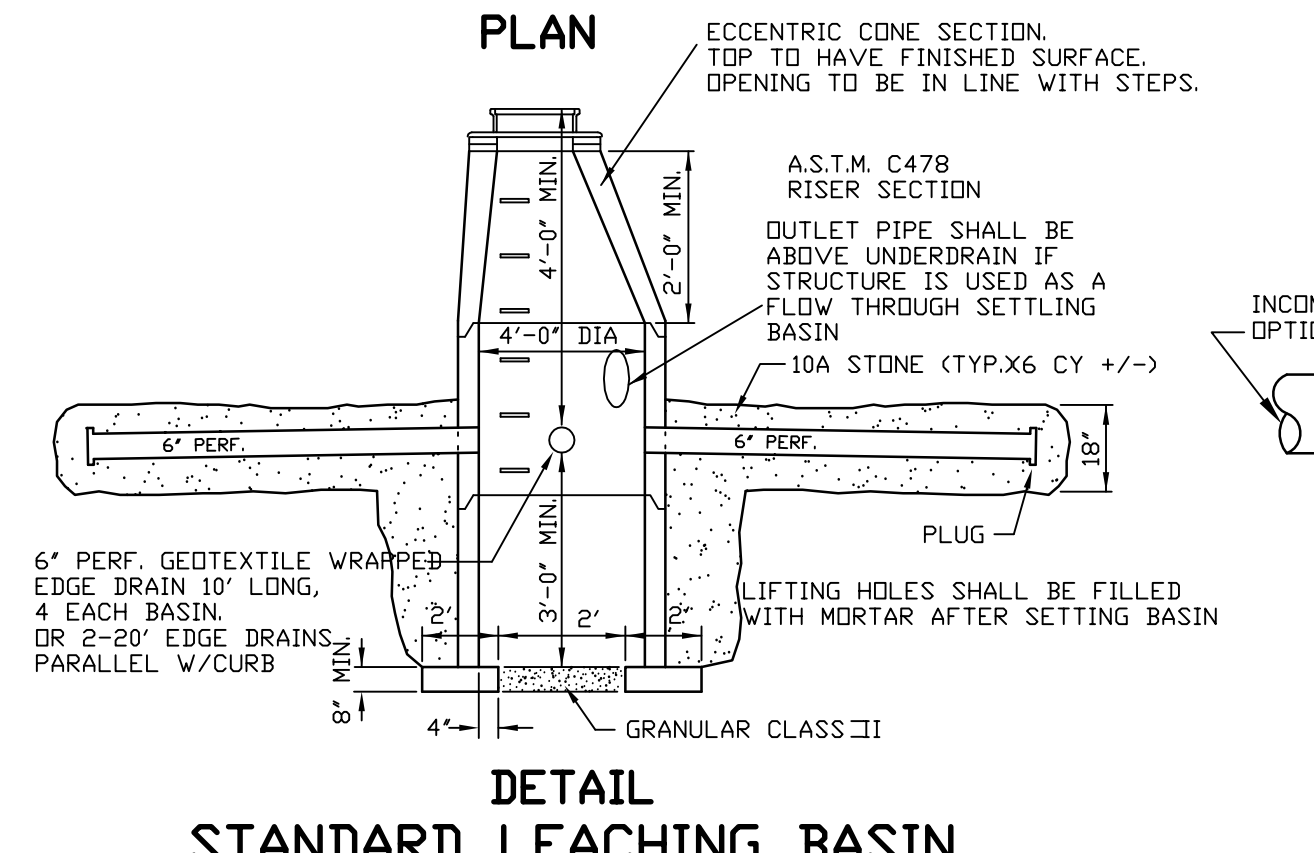
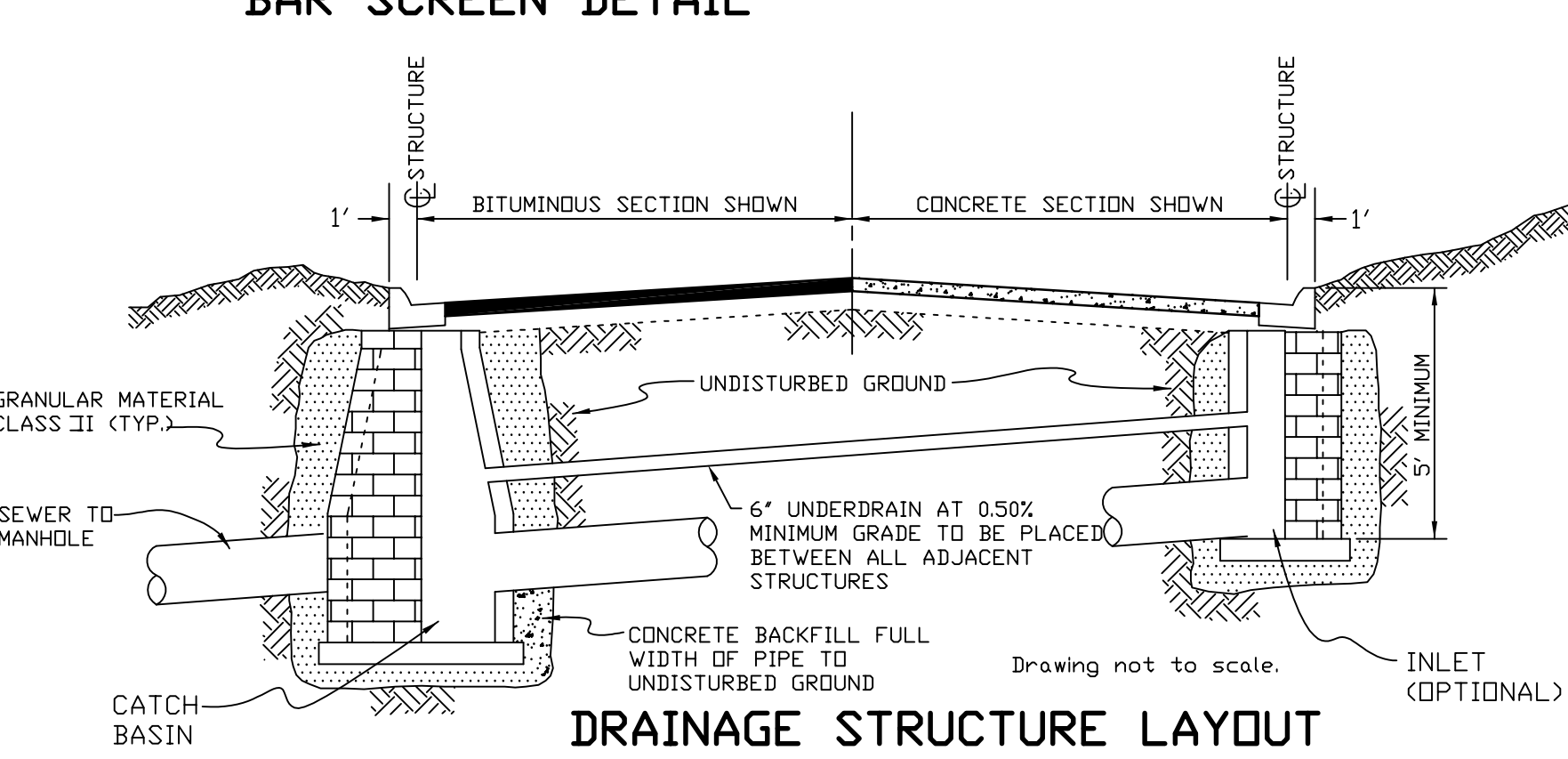
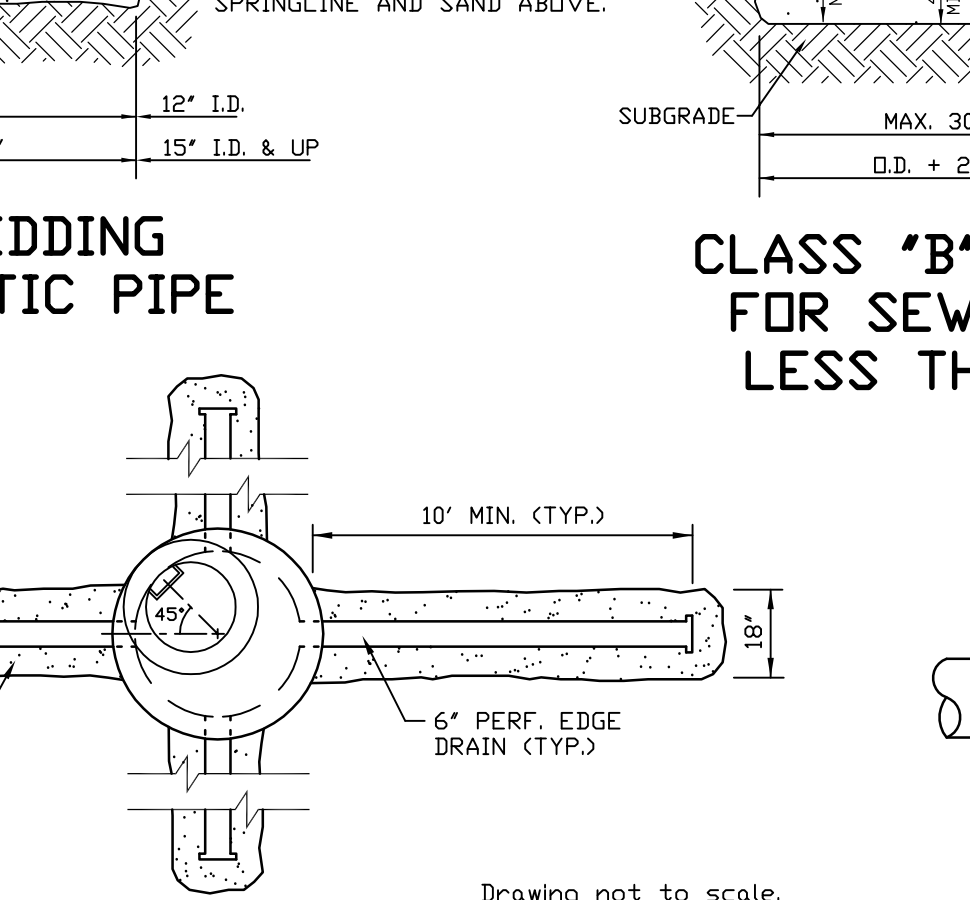
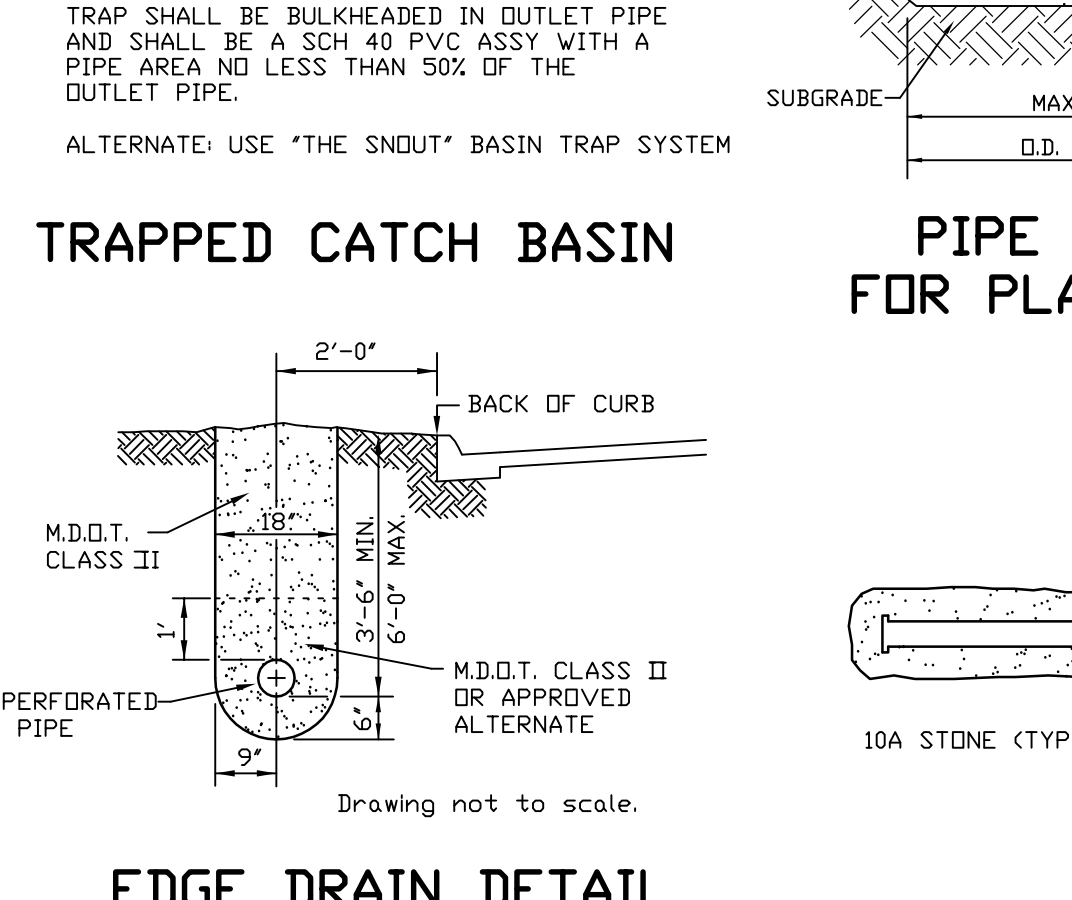
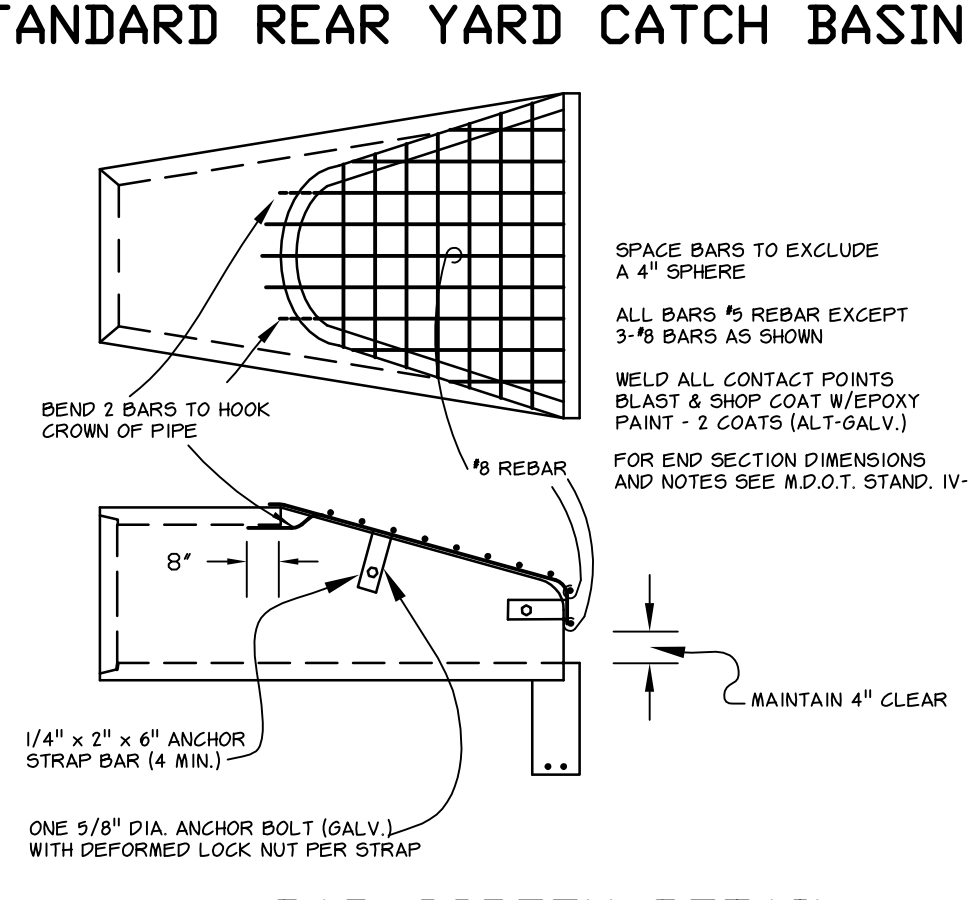
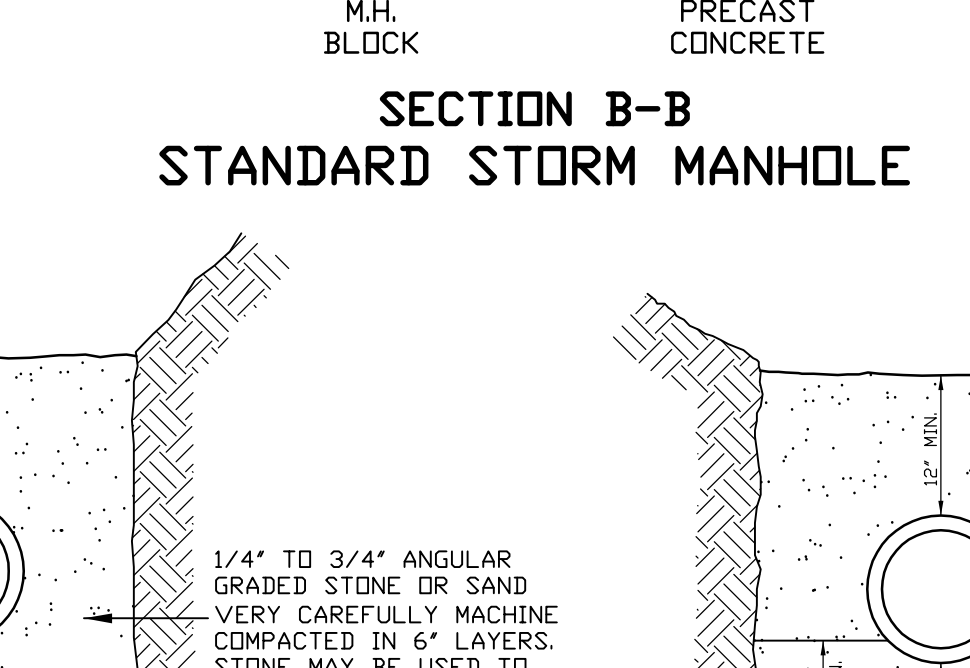
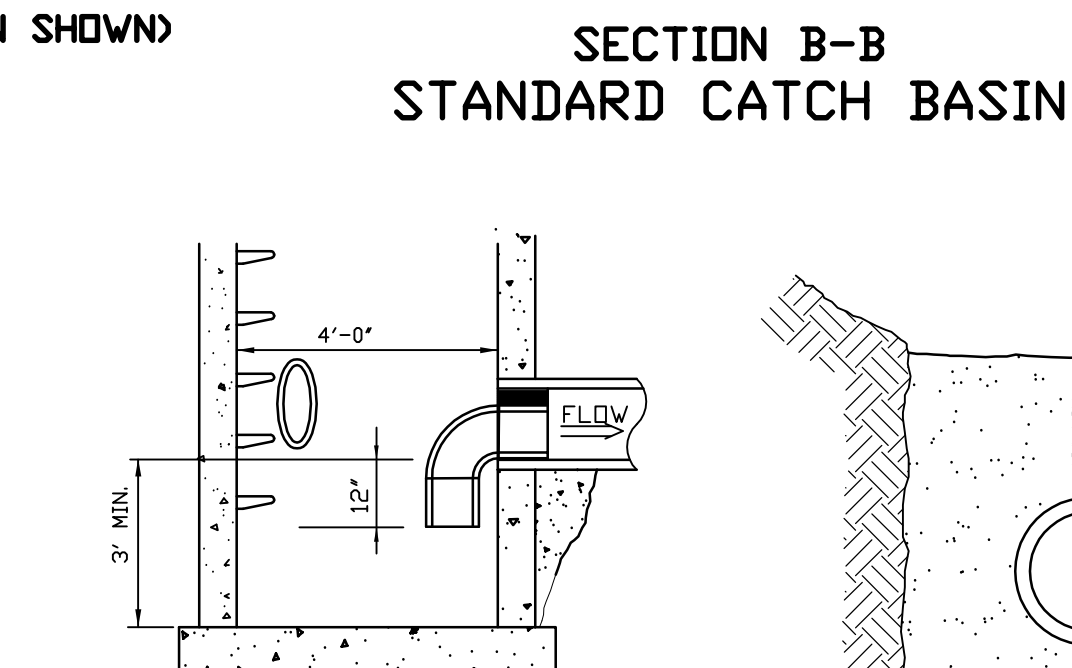
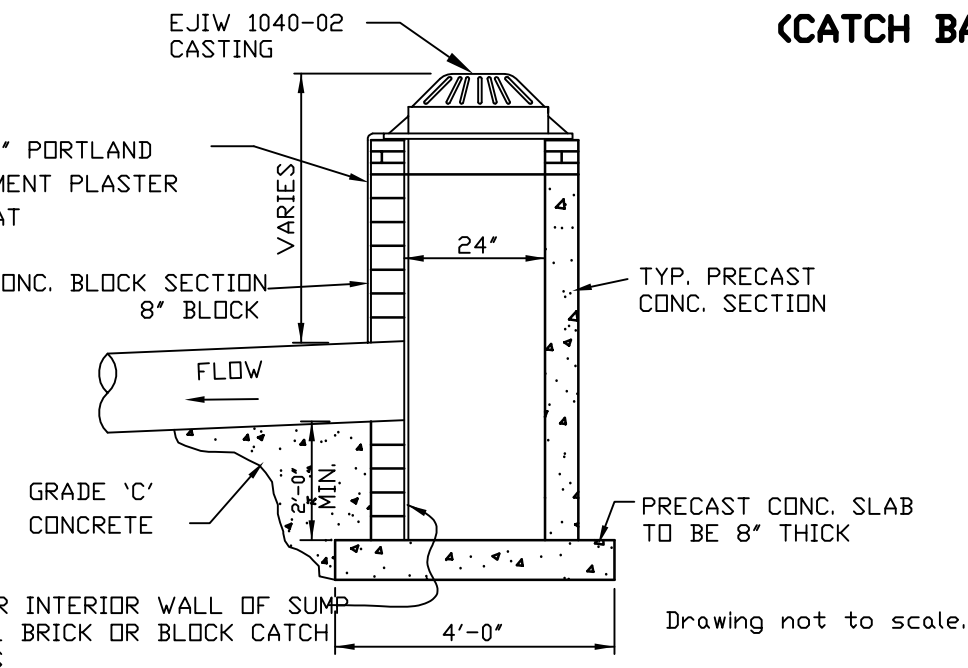
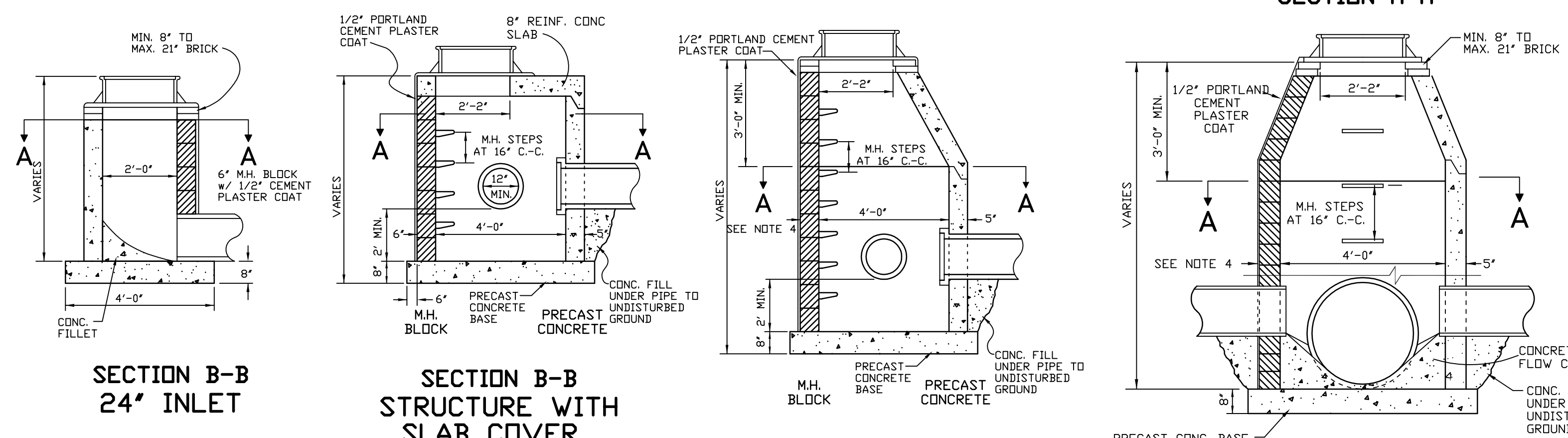
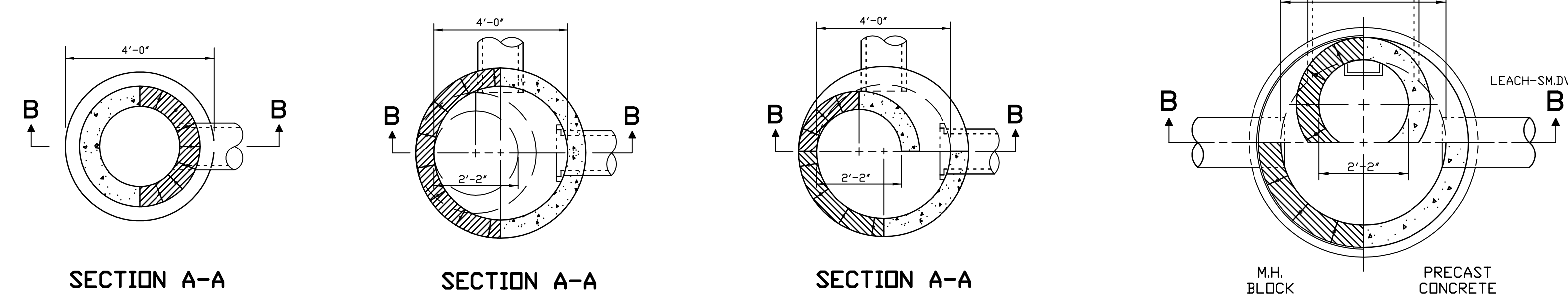


**STORM SEWER NOTES**

1. PRECAST CONC. RISERS SHALL MEET A.S.T.M. C478
2. DIAMETER OF CONC. BASE: I.D. + 2(WALL) + 8"
3. MANHOLE STEP SPACING SHALL MEET MIOSHA REQUIREMENTS. NO MORE THAN 21" FROM RIM TO FIRST STEP. MAX 18" O.C. STEPS SHALL BE CAST POLYPROPYLENE REINFORCED WITH A 1/2" STEEL ROD.
4. WALL THICKNESS OF BLOCK STRUCTURES SHALL BE:
 

PIPE DIA	"D"	"E"	"F"	S.Y.
12"	5'-0"	6'-6"	3'-0"	4
15"	5'-0"	7'-0"	3'-0"	4
18"	5'-6"	7'-6"	3'-6"	5
21"	5'-6"	8'-0"	4'-0"	5
24"	6'-0"	8'-6"	4'-6"	6
27"	6'-6"	9'-0"	5'-0"	7
30"	7'-0"	9'-6"	5'-6"	8
33"	7'-6"	10'-0"	6'-0"	9
36"	8'-0"	10'-6"	6'-6"	10
42"	9'-0"	11'-6"	7'-6"	12
48"	10'-0"	13'-0"	9'-0"	14
5. MINIMUM I.D. OF STRUCTURE FOR: 36" to 42" = 5'-0" to 5'-6"  
48" to 54" = 5'-0" to 5'-6"  
LARGER DIAMETER STRUCTURES MAY BE REQUIRED DEPENDING ON PIPING CONFIGURATION.
6. ALL LIFTING HOLES AND VOIDS IN INTERIOR JOINTS SHALL BE FILLED BY MORTAR.
7. THE FINGER DRAIN DETAIL SHALL BE USED AT ALL LOW POINT CATCH BASINS IN PAVEMENT AREAS. THE DETAIL MAY BE OMITTED WITH THE APPROVAL OF THE TOWNSHIP ENGINEER IN AREAS WITH VERY POROUS SOILS AND NO GROUNDWATER PROBLEMS.
8. PRECAST ONE PIECE BASES AND RISERS ARE ACCEPTABLE FOR INLETS, CATCH BASINS AND MANHOLES
9. FRAMES & COVERS WITH INLET CAPACITY (1.0 CFS/90 SQ IN)
  - TRAFFIC AND PARKING AREAS: MDOT "D" (EJW 5105) 1.9 CFS\*
  - REAR YARD AND DITCH INLETS: (EJW 1040-02) 2.1 CFS\*
  - MANHOLES: MDOT "A" (EJW 1060)
  - CURB AND GUTTER INLETS: MDOT "K" (EJW 7045) 1.8 CFS\*
  - MOUNTABLE CURB & GUTTER: (EJW 7055) 2.2 CFS\*
  - MAY VARY DUE TO MANUFACTURER CHANGES
10. CONTACT THE TOWNSHIP ENGINEER 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE INSPECTION. FULL TIME INSPECTION WILL BE REQUIRED FOR ALL UNDERGROUND STORM SEWER CONSTRUCTION. PHONE (248) 334-9901
11. THE CONTRACTOR SHALL CONTACT MISS DIG 72 HOURS BEFORE CONSTRUCTION AT (800) 482-7171 TO LOCATE EXISTING UNDERGROUND UTILITIES.
12. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL HAVE IN HIS POSSESSION A CURRENT SOIL EROSION CONTROL PERMIT AS ISSUED BY WHITE LAKE TOWNSHIP.
13. A 2' DEEP SUMP SHALL BE USED IN ANY STRUCTURE SUBJECT TO A WATER DROP GREATER THAN 2.0' FROM AN INLET PIPE.
14. ALLOWABLE STORM SEWER PIPE TYPES:
  - 12" AND UP: RCP ASTM C-76 MIN. CLASS 3, MIN CLASS 4 UNDER TRAFFIC AREAS; RUBBER JOINT
  - 6" TO 15": SCH 40 PVC OR SDR 23.5 PVC WITH RUBBER OR GLUE JOINT
  - 6" TO 48": SMOOTH BORE CORRUGATED HIGH DENSITY POLYETHYLENE WITH NEOPRENE LINED JOINTS DR BETTER
15. THE MINIMUM PIPE SIZE IN PUBLIC RIGHT-OF-WAY OR EASEMENTS AND FOR PIPES CARRYING OFF-SITE STORM WATER SHALL BE 12"
16. ALL PIPE ENDS NOT WITHIN A STRUCTURE SHALL HAVE A CONCRETE OR METAL FLARE END SECTION (FES) WITH A BAR SCREEN ON PIPES 18" AND LARGER EXCEPT THOSE WITHIN A SECURE FENCED AREAWED NO BAR SCREEN.
17. ALL DRAINAGE STRUCTURES WITHIN THE ROAD SHALL BE SEALED WITH WRAPPED GEOTEXTILE PER RCDC STANDARDS

PIPE DIA	"D"	"E"	"F"	S.Y.
12"	5'-0"	6'-6"	3'-0"	4
15"	5'-0"	7'-0"	3'-0"	4
18"	5'-6"	7'-6"	3'-6"	5
21"	5'-6"	8'-0"	4'-0"	5
24"	6'-0"	8'-6"	4'-6"	6
27"	6'-6"	9'-0"	5'-0"	7
30"	7'-0"	9'-6"	5'-6"	8
33"	7'-6"	10'-0"	6'-0"	9
36"	8'-0"	10'-6"	6'-6"	10
42"	9'-0"	11'-6"	7'-6"	12
48"	10'-0"	13'-0"	9'-0"	14



BRD24X36

DRAWN: CAD  
 DESIGN: OA  
 CHECKED:

REVISIONS	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE	MARK	ADDENDUM/CHANGE ORDER	DATE
		FIRST ISSUE	8-16-95		REVISE	0-3-02		REVISE	6-1-07
		ADD SO-1	6-17-96		REVISE	2-17-03			
		NEW BAR GRATE	11-3-97		SEC REFERENCE	5-17-05			

**Johnson & Anderson, Inc.**  
 CONSULTING ENGINEERS  
 4494 ELIZABETH LAKE ROAD  
 WATERFORD, MICHIGAN 48328  
 (248) 681-7800 (248) 681-2660 (FAX)

**White Lake Charter Township**  
 7525 Highland Road, White Lake, Michigan 48383-2900  
 (248) 698-3300

**STORM SEWER STANDARD DETAILS**

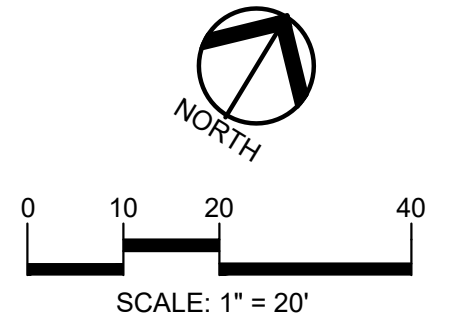
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 HORZ.

JOB NO.  
 DATE ISSUED  
 SHEET NO. 37

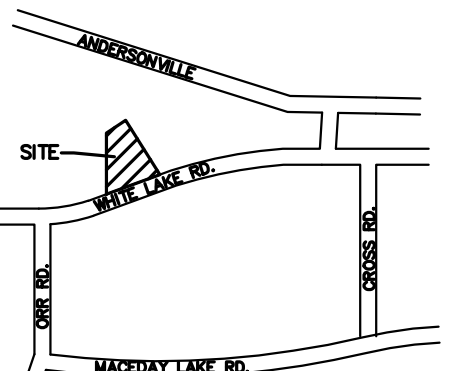








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CLIENT  
**GINKO INVESTMENT COMPANY, LLC**  
2438 ROCHESTER ROAD  
OAKLAND TOWNSHIP, MICHIGAN 48363

PROJECT TITLE  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS

PER AGENCIES COMMENTS	DATE
PER AGENCIES COMMENTS	05/30/23
PER AGENCIES COMMENTS	06/29/23
PER AGENCIES COMMENTS	08/04/23
PER AGENCIES COMMENTS	09/22/23
PER AGENCIES COMMENTS	10/24/23
PER AGENCIES COMMENTS	04/26/24
PER AGENCIES COMMENTS	07/25/24
PER AGENCIES COMMENTS	09/06/24

ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023  
DRAWING TITLE

**LANDSCAPE PLAN**

PEA JOB NO. 2002-248A  
P.M. JPB  
DN. BZ  
DES. JLE

DRAWING NUMBER:  
**L-1.0**

**KEY:**

- DECIDUOUS TREES
- EVERGREEN TREES
- SHRUBS
- IRRIGATED SOD LAWN (SOD IN FRONT YARD AS REQUIRED)
- RESTORED SEED LAWN AT LAWN AREAS DISTURBED IN R.O.W. OR ADJACENT PROPERTIES
- ANNUALS AT SIGN AND TREE BASE (SEE PLAN, BY OWNER)
- SNOW STORAGE AREA AT LOCATIONS OF MOUNTABLE CURBS
- EXISTING TREE TO REMAIN, PROTECT WITH TREE FENCE

NO CONSTRUCTION SHALL OCCUR UNTIL TREE PROTECTION HAS BEEN INSTALLED AND APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.

SEE L-1.1 FOR LANDSCAPE DETAILS  
IRRIGATION PLANS (WITH RAIN SENSOR) PROVIDED FOR CONSTRUCTION DWGS.

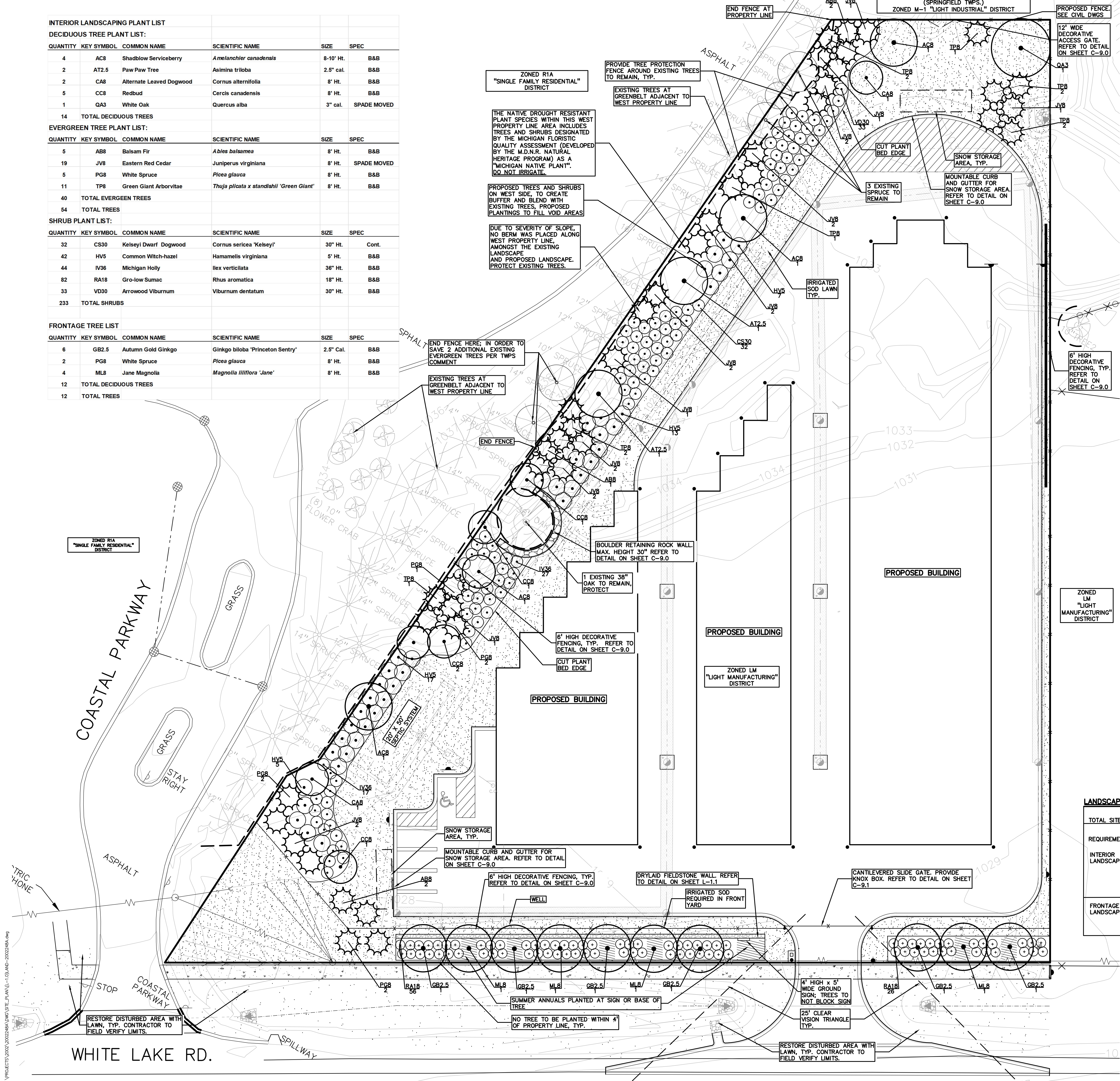
- GENERAL PLANTING NOTES:**
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
  - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
  - ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSEYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1. GRADE.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
  - THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
  - ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
  - ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
  - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
  - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
  - ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
  - NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
  - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
  - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
  - ALL PLANTING BEDS SHALL RECEIVE 4" DOUBLE SHREDDED HARDWOOD BARK MULCH WITH PRE-EMERGENT, SEE SPECIFICATIONS. SHREDDED PALETTE AND DYED MULCH WILL NOT BE ACCEPTED.
  - ALL LANDSCAPED AREAS SHALL RECEIVE 4" COMPACTED TOPSOIL.
  - SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS. PLANT REPLACEMENT SHALL BE DONE WITHIN 30 DAYS.
  - CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
  - TREES SHALL NOT CONFLICT / BLOCK PROPOSED REGULATORY / DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.
  - ALL LANDSCAPE AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY. NEWLY PLANTED MATERIALS SHALL BE REGULARLY WATERED UNTIL ESTABLISHED, ANY PROPOSED IRRIGATION SYSTEMS SHALL NOT BE LOCATED WITHIN THE RIGHT-OF-WAY.
  - RECOMMENDED PLANTING DATES ARE MARCH 1 TO MAY 15 FOR ALL MATERIALS AND OCTOBER 15 TO DECEMBER 15 FOR DECIDUOUS MATERIALS. PLANTINGS OUTSIDE THESE DATES SHALL HAVE PRIOR TOWNSHIP APPROVAL, AND MAY REQUIRE SPECIAL TREATMENT, SUCH AS EXTRA WATERING OR MULCHING, TO INCREASE SURVIVAL POTENTIAL.
  - IRRIGATION PLANS PROVIDED FOR CONSTRUCTION DWGS. A RAIN SENSOR OR SIMILAR MEASURE SHALL BE PROVIDED TO ENSURE IRRIGATION DOES NOT OCCUR DURING OR SHORTLY AFTER PRECIPITATION.
  - NO TREE TO BE PLANTED WITHIN 4' OF PROPERTY LINE.
  - NO WHITE PINE TO BE PROPOSED AND NO MORE THAN TWO PLANTED TREES IN A ROW SHALL BE OF THE SAME SPECIES, PER TWP. ORDINANCE.
  - NO CONSTRUCTION SHALL OCCUR UNTIL TREE PROTECTION HAS BEEN INSTALLED AND APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.

**LANDSCAPE CALCULATIONS PER WHITE LAKE TWP, ZONED LM LIGHT MANUFACTURING DISTRICT**

REQUIREMENT	REQUIRED	PROVIDED
TOTAL SITE AREA	1.37 ACRES (59,526 SF) NET AND GROSS	
INTERIOR LANDSCAPING	15% OF TOTAL LOT AREA 93,090 SQ FT. X .15 = 13,963 SQ FT. REQ.  13,963 SQ FT / 300 = 46.5 46.5 * 1 = 47 DEC./EVC. TREES 46.5 * 5 = 233 SHRUBS	31,529 SF LANDSCAPE AREA (33.9 %)  54 PROPOSED TREES, 233 PROPOSED SHRUBS,
FRONTAGE LANDSCAPING	1 TREE PER 20 LF, LESS DRIVE ACCESS APPROX 237 LF / 20 = 12 TREES	12 PROPOSED TREES AT WHITE LAKE RD. (10 DEC TREES AND 2 EVERGREEN)

- VARIANCES GRANTED BY ZBA ON 03-28-2024; AS NOTED ON SHT. C-3.0**
- APPROVAL TO ELIMINATE THE REQUIREMENT FOR THE INSTALLATION OF A 6 FOOT HIGH BERM, OR A 3 FOOT HIGH BERM AND A 6 FOOT HIGH MASONRY SCREEN WALL ALONG THE WEST PROPERTY LINE.
  - APPROVAL TO INSTALL A 20 FOOT GREENBELT IN LIEU OF A 38 FOOT WIDE EXTENSIVE LAND FORM BUFFER ALONG THE WHITE LAKE ROAD RIGHT-OF-WAY.

- LANDSCAPE VARIANCES GRANTED BY ZBA ON 03-28-2024**
- APPROVAL TO END THE FENCE MIDWAY ON THE SOUTHWEST SIDE OF THE SITE, IN ORDER TO SAVE 2 ADDITIONAL EXISTING EVERGREEN TREES AND OTHER EXISTING EVERGREENS.
  - APPROVAL TO NOT PROVIDE THE DECORATIVE FENCE TO ENCOMPASS THE ENTIRE SITE, SO AS TO PRESERVE AND PROTECT ADDITIONAL EXISTING TREES ON THE WEST BORDER. CLIENT DOES NOT FEEL THE FENCE IS NECESSARY AROUND THE ENTIRE SITE FOR SECURITY DUE TO PRESERVING THE EXISTING VEGETATION.



**DECIDUOUS TREE PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
4	AC8	Shadblow Serviceberry	<i>Amelanchier canadensis</i>	8-10' HT.	B&B
2	AT2.5	Paw Paw Tree	<i>Asimina triloba</i>	2.5' cal.	B&B
2	CA8	Alternate Leaved Dogwood	<i>Cornus alternifolia</i>	8' HT.	B&B
5	CC8	Redbud	<i>Cercis canadensis</i>	8' HT.	B&B
1	QA3	White Oak	<i>Quercus alba</i>	3" cal.	SPADE MOVED
14		TOTAL DECIDUOUS TREES			

**EVERGREEN TREE PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	AB8	Balsam Fir	<i>Abies balsamea</i>	8' HT.	B&B
19	JV8	Eastern Red Cedar	<i>Juniperus virginiana</i>	8' HT.	SPADE MOVED
5	PG8	White Spruce	<i>Picea glauca</i>	8' HT.	B&B
11	TP8	Green Giant Arborvitae	<i>Thuja plicata x standishii 'Green Giant'</i>	8' HT.	B&B
40		TOTAL EVERGREEN TREES			
54		TOTAL TREES			

**SHRUB PLANT LIST:**

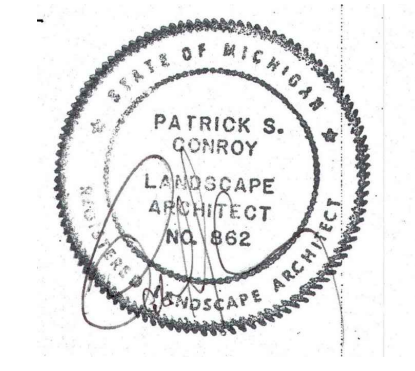
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
32	CS30	Kelsey Dwarf Dogwood	<i>Cornus sericea 'Kelsey'</i>	30" HT.	Cont.
42	HV5	Common Witch-hazel	<i>Hamamelis virginiana</i>	5' HT.	B&B
44	IV36	Michigan Holly	<i>Ilex verticillata</i>	36" HT.	B&B
82	RA18	Gro-low Sumac	<i>Rhus aromatica</i>	18" HT.	B&B
33	VD30	Arrowwood Viburnum	<i>Viburnum dentatum</i>	30" HT.	B&B
233		TOTAL SHRUBS			

**FRONTAGE TREE LIST**

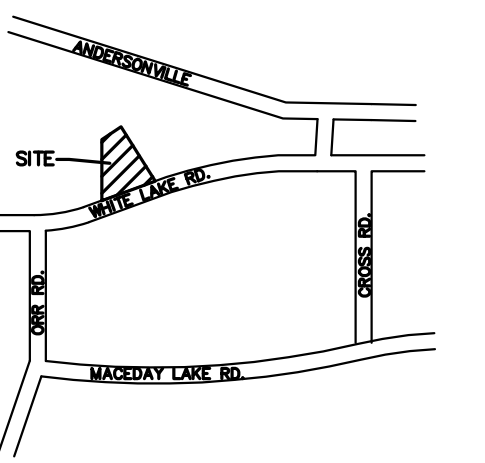
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	GB2.5	Autumn Gold Ginkgo	<i>Ginkgo biloba 'Princeton Sentry'</i>	2.5' Cal.	B&B
2	PG8	White Spruce	<i>Picea glauca</i>	8' HT.	B&B
4	ML8	Jane Magnolia	<i>Magnolia lilliflora 'Jane'</i>	8' HT.	B&B
12		TOTAL DECIDUOUS TREES			
12		TOTAL TREES			

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**GINKO INVESTMENT COMPANY, LLC**  
 2438 ROCHESTER ROAD  
 OAKLAND TOWNSHIP, MICHIGAN 48363

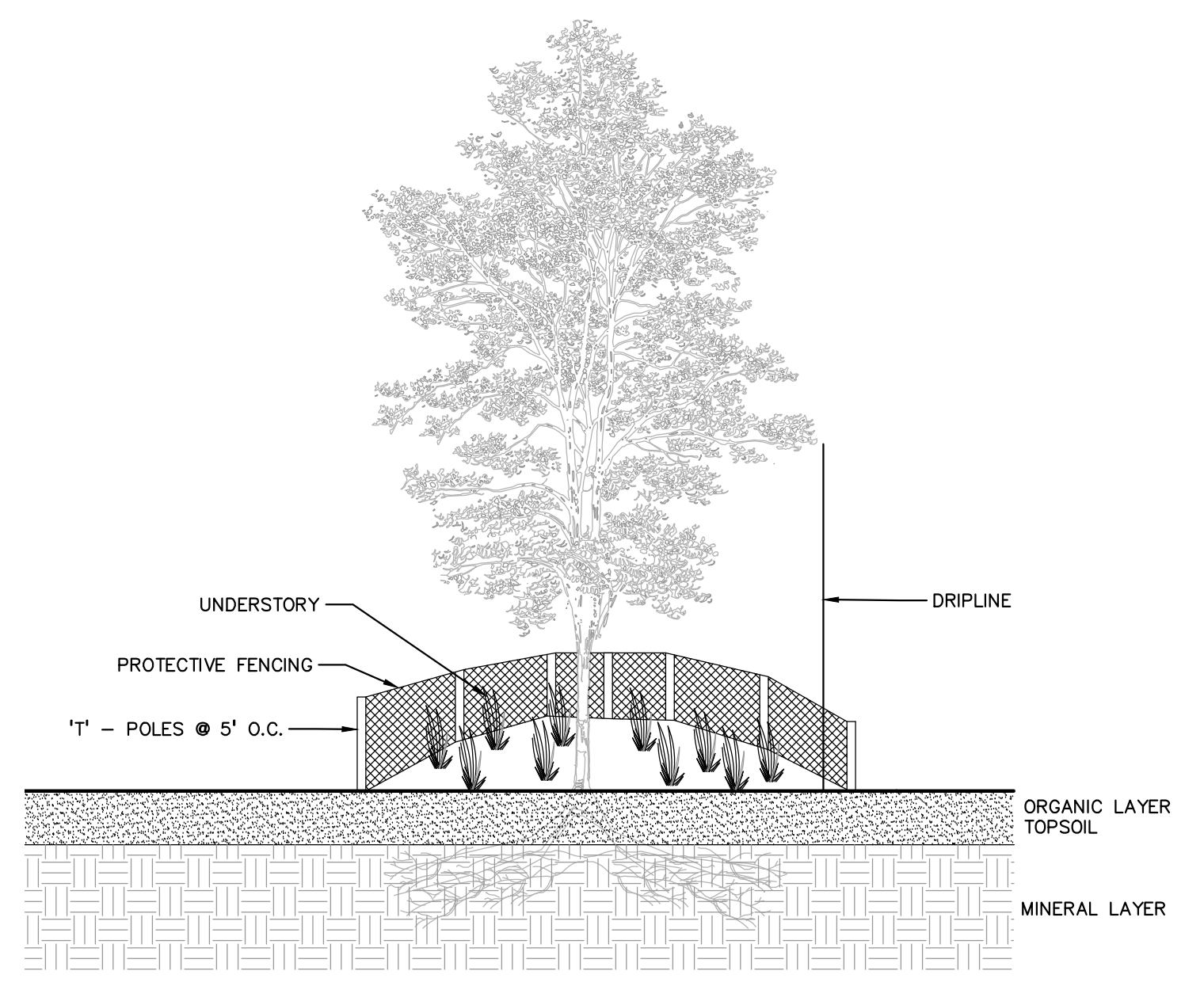
PROJECT TITLE  
**GINKO SELF STORAGE**  
 WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS	
PER AGENCIES COMMENTS	05/30/23
PER AGENCIES COMMENTS	06/29/23
PER AGENCIES COMMENTS	08/04/23
PER AGENCIES COMMENTS	09/22/23
PER AGENCIES COMMENTS	10/24/23
PER AGENCIES COMMENTS	04/26/24
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PER AGENCIES COMMENTS	09/06/24

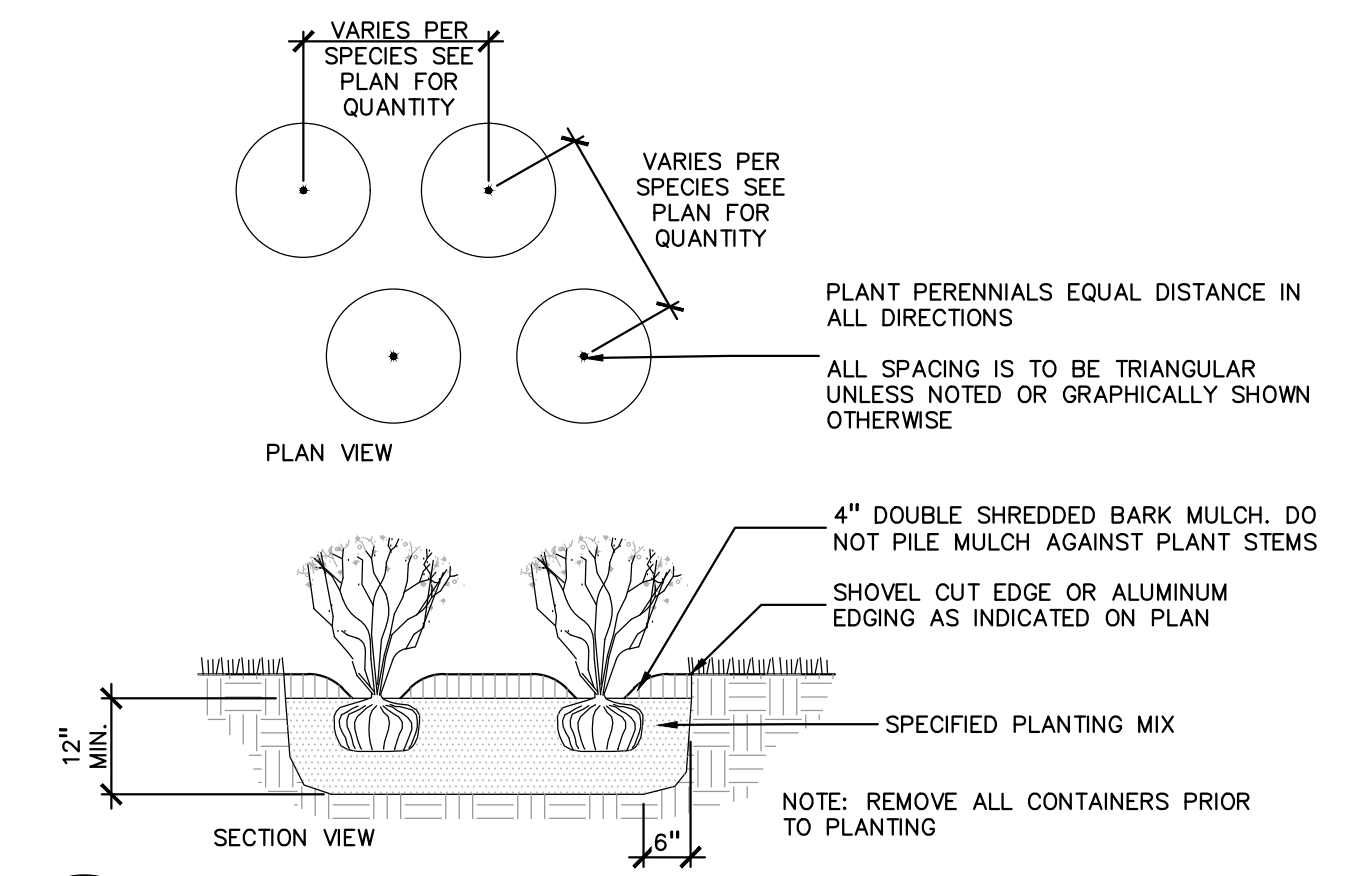
ORIGINAL ISSUE DATE:  
 FEBRUARY 2, 2023

**LANDSCAPE DETAILS**

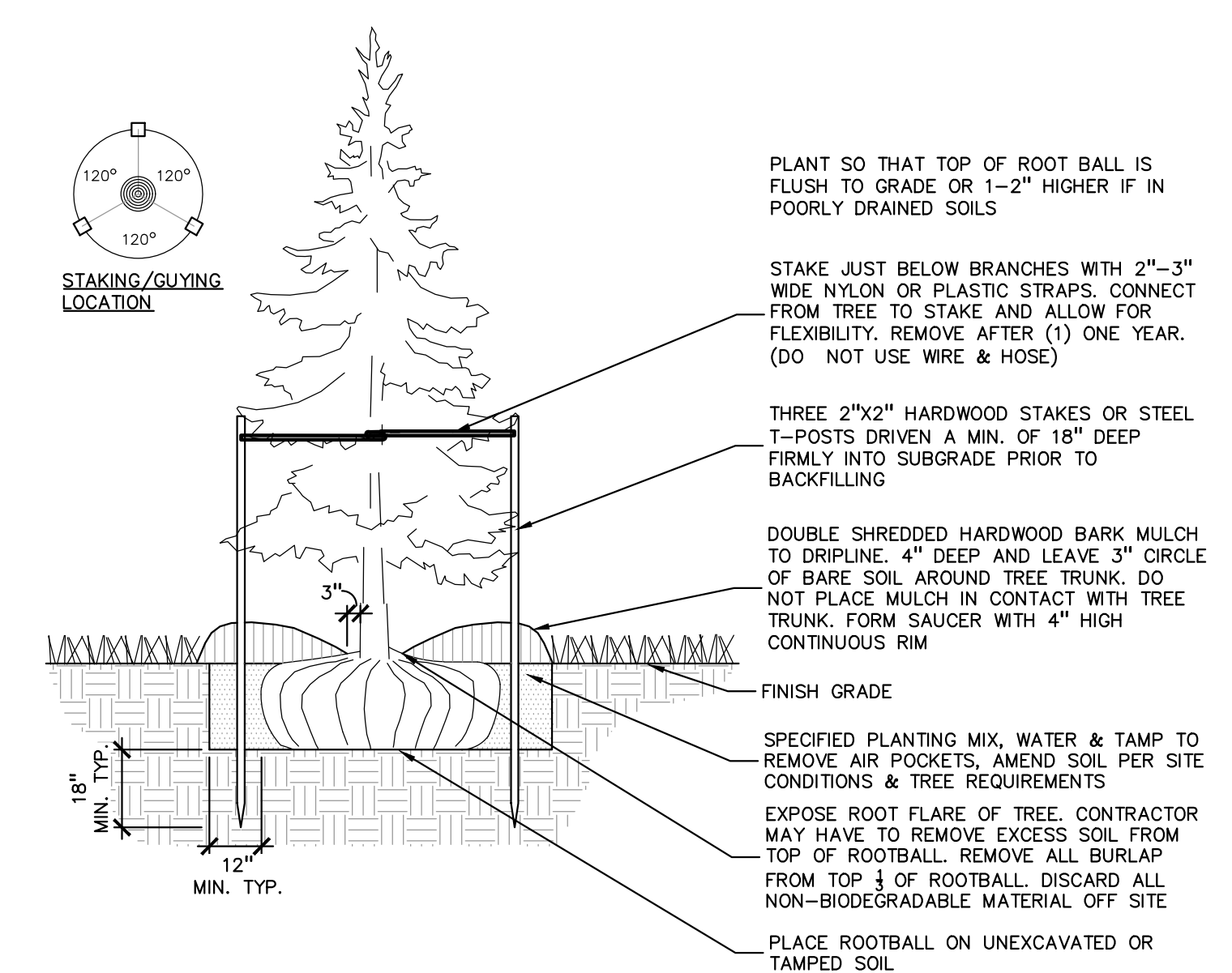
PEA JOB NO. 2002-248A  
 P.M. JPB  
 DN. JLE  
 DES. JLE  
 DRAWING NUMBER:



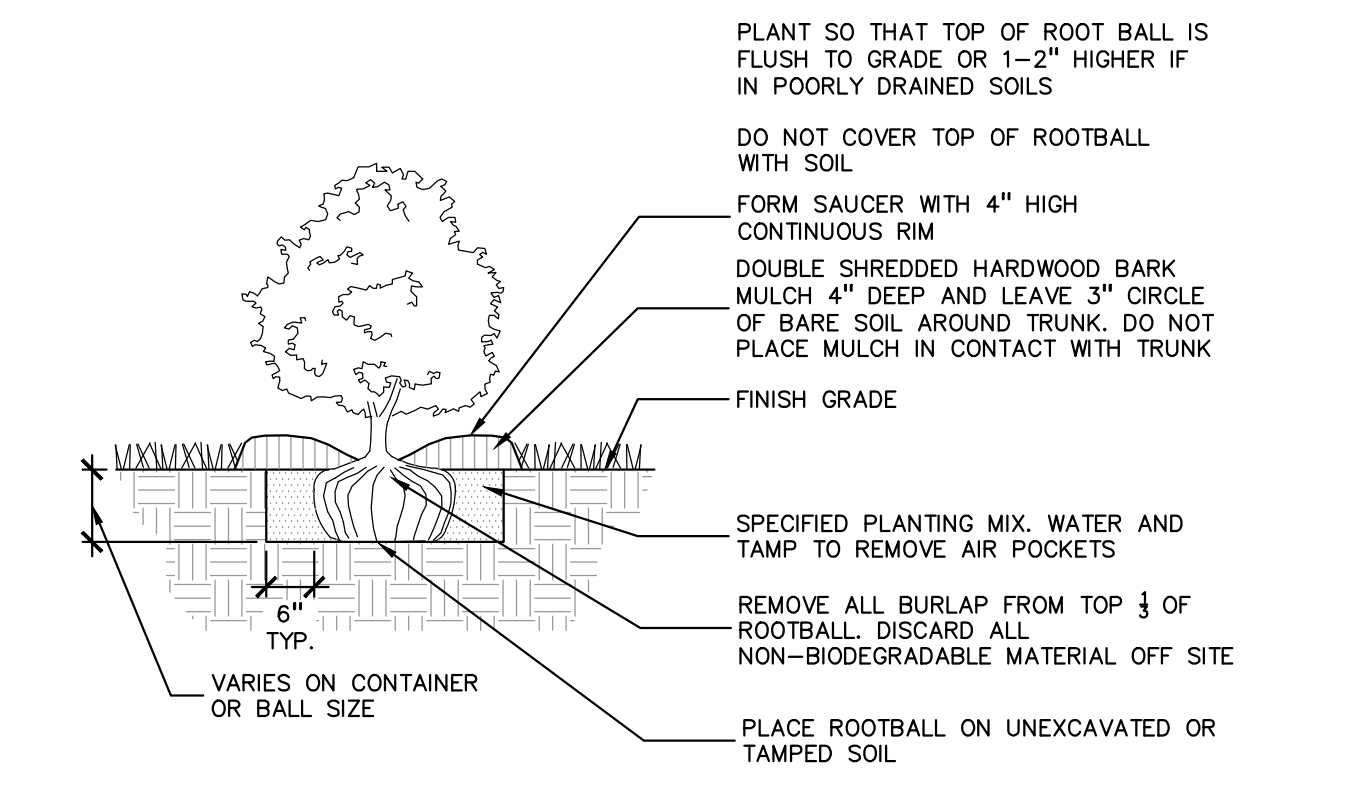
**3 TREE PROTECTION DETAIL**  
 SCALE: 1" = 3'-0"



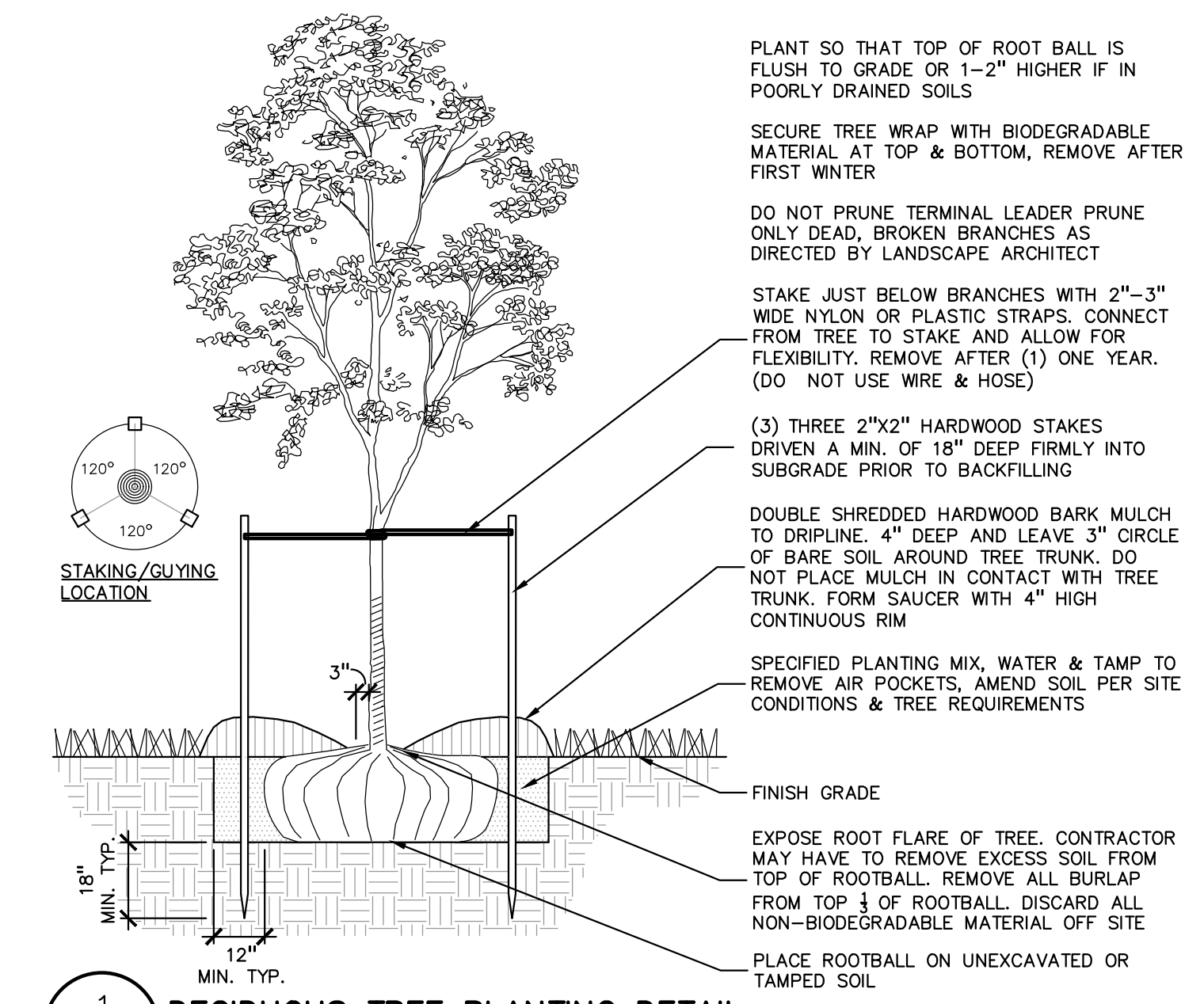
**6 PERENNIAL PLANTING DETAIL**  
 SCALE: 1" = 2'-0"



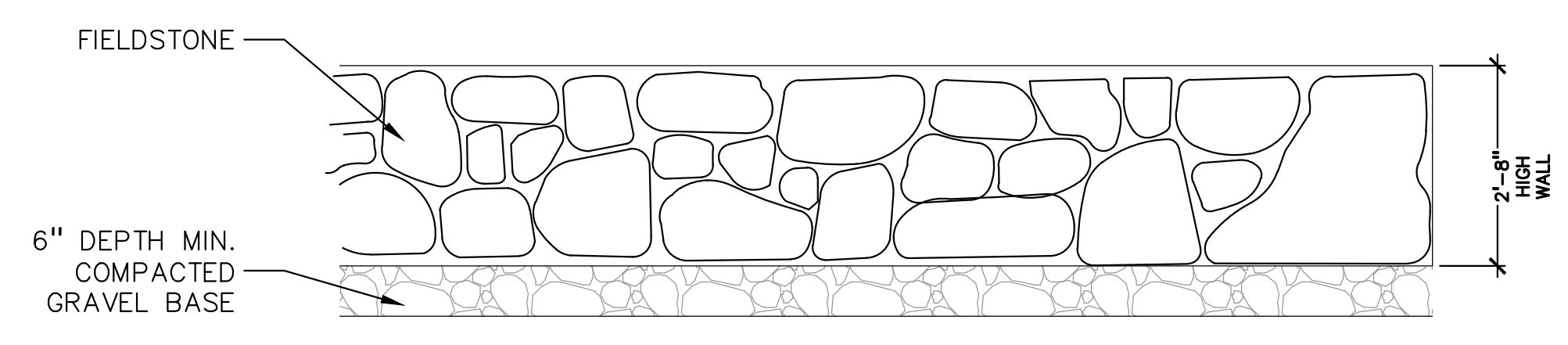
**2 EVERGREEN TREE PLANTING DETAIL**  
 SCALE: 1" = 3'-0"



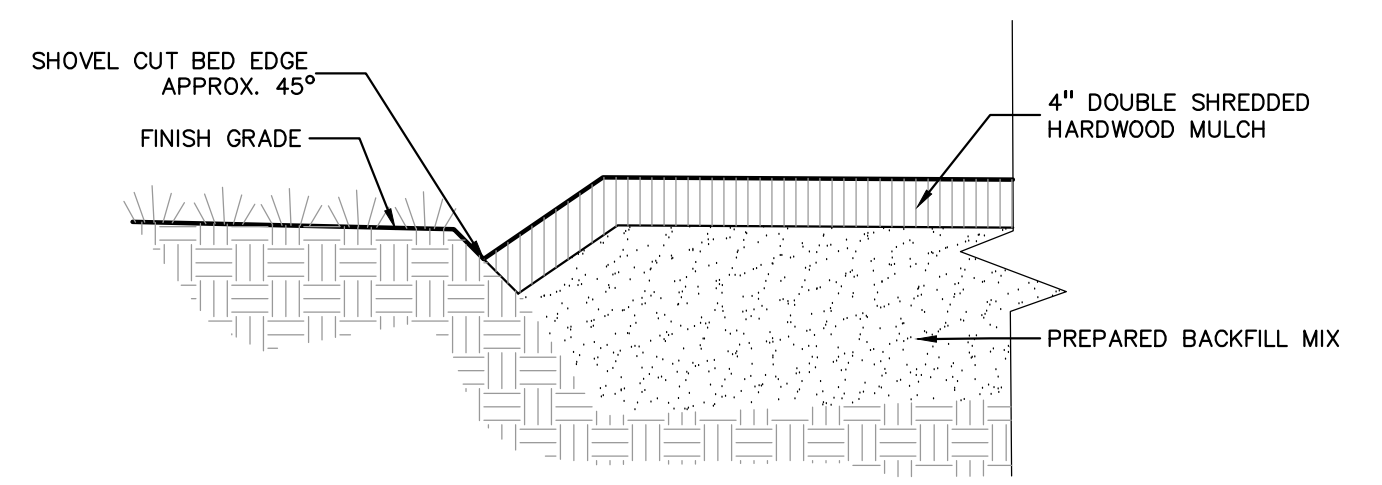
**5 SHRUB PLANTING DETAIL**  
 SCALE: 1" = 2'-0"



**1 DECIDUOUS TREE PLANTING DETAIL**  
 SCALE: 1" = 3'-0"



**4 DRYLAID FIELDSTONE WALL DETAIL**  
 SCALE: 1" = 2'-0"



**7 CUT BED EDGE DETAIL**  
 SCALE: 1" = 1'-0"



**INTERIOR LANDSCAPING PLANT LIST**

**DECIDUOUS TREE PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
4	AC8	Shadblow Serviceberry	<i>Amelanchier canadensis</i>	8'-10" HL	B&B
2	AT2.5	Paw Paw Tree	<i>Asimina triloba</i>	2.5" cal.	B&B
2	CA8	Alternate Leaved Dogwood	<i>Cornus alternifolia</i>	8" HL	B&B
5	CC8	Redbud	<i>Cercis canadensis</i>	8" HL	B&B
1	QA3	White Oak	<i>Quercus alba</i>	3" cal.	SPADE MOVED
14	TOTAL DECIDUOUS TREES				

**EVERGREEN TREE PLANT LIST:**

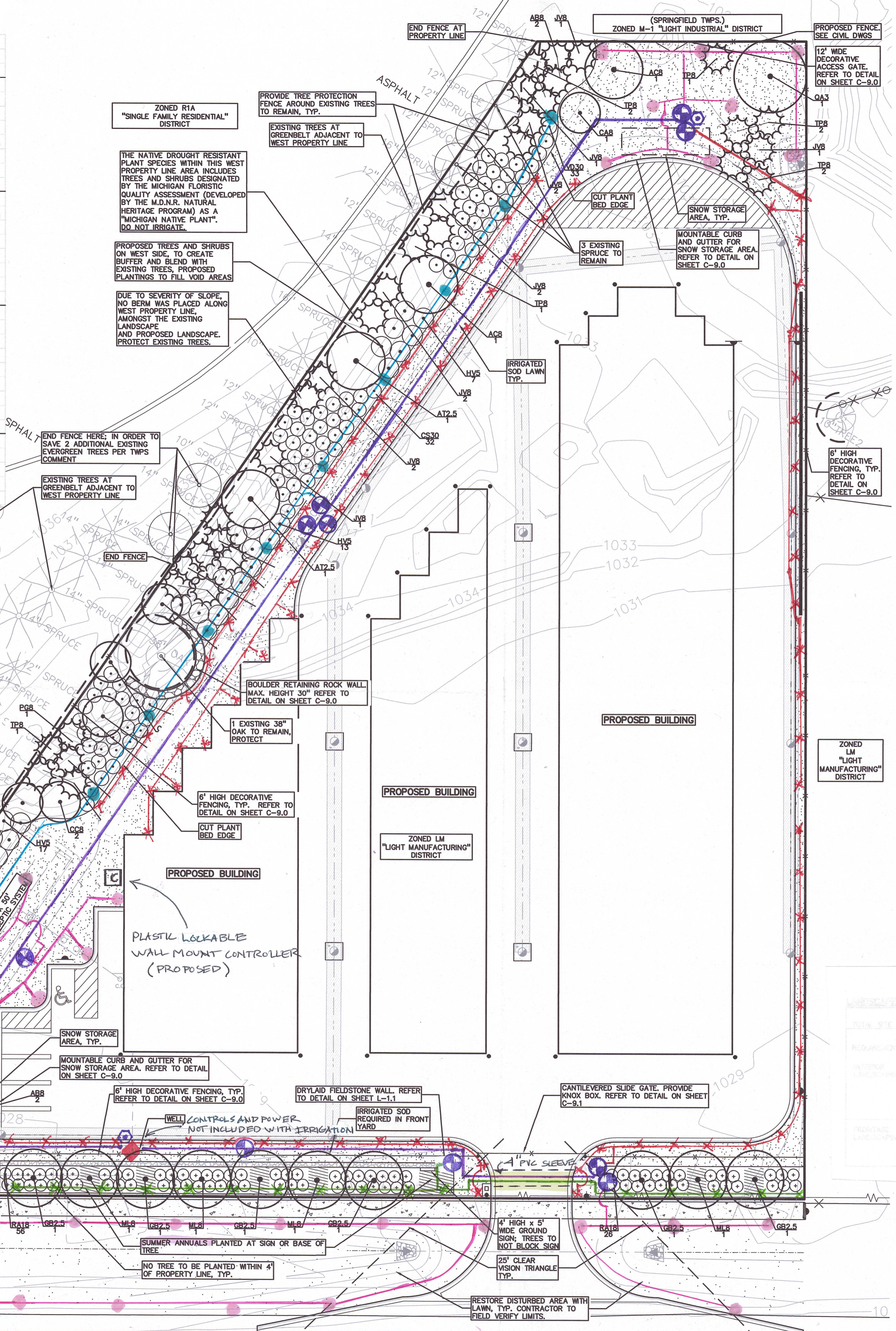
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	AB8	Balsam Fir	<i>Abies balsamea</i>	8" HL	B&B
19	JV8	Eastern Red Cedar	<i>Juniperus virginiana</i>	8" HL	SPADE MOVED
5	PG8	White Spruce	<i>Picea glauca</i>	8" HL	B&B
11	TP8	Green Giant Arborvitae	<i>Thuja plicata x standshii 'Green Giant'</i>	8" HL	TP8
40	TOTAL EVERGREEN TREES				
54	TOTAL TREES				

**SHRUB PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
32	CS30	Kelsey Dwarf Dogwood	<i>Cornus sericea 'Kelsey'</i>	30" HL	Cont.
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44	IV36	Michigan Holly	<i>Ilex verticillata</i>	36" HL	B&B
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33	VD30	Arrowwood Viburnum	<i>Viburnum dentatum</i>	30" HL	B&B
233	TOTAL SHRUBS				

**FRONTAGE TREE LIST**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
6	GB2.5	Autumn Gold Ginkgo	<i>Ginkgo biloba 'Princeton Sentry'</i>	2.5" Cal.	B&B
2	PG8	White Spruce	<i>Picea glauca</i>	8" HL	B&B
4	ML8	Jane Magnolia	<i>Magnolia illinoensis 'Jane'</i>	8" HL	B&B
12	TOTAL DECIDUOUS TREES				
12	TOTAL TREES				



**KEY:**

- = DECIDUOUS TREES
- = EVERGREEN TREES
- = SHRUBS
- = IRRIGATED SOD LAWN SOD IN FRONT YARD AS REQUIRED
- = RESTORED SEED LAWN AT LAWN AREAS DISTURBED IN R.O.W. OR ADJACENT PROPERTIES
- = ANNUALS AT SIGN AND TREE BASE SEE PLAN, BY OWNER
- = SNOW STORAGE AREA AT LOCATIONS OF MOUNTABLE CURBS
- = EXISTING TREE TO REMAIN, PROTECT WITH TREE FENCE

NO CONSTRUCTION SHALL OCCUR UNTIL TREE PROTECTION HAS BEEN INSTALLED AND APPROVED BY THE COMMUNITY DEVELOPMENT DIRECTOR.

SEE L-1.1 FOR LANDSCAPE DETAILS

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- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
  - CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
  - ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMEN STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1, GRADE.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO PRICING THE WORK.
  - THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
  - ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
  - ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER; TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
  - ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
  - ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
  - ALL TREES TO HAVE CLAY OR CLAY LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
  - NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES; HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
  - ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
  - IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
  - ALL PLANTING BEDS SHALL RECEIVE 4" DOUBLE SHREDDED HARDWOOD BARK MULCH WITH PRE EMERGENT, SEE SPECIFICATIONS. SHREDDED PALLET AND DYED MULCH WILL NOT BE ACCEPTED.
  - ALL LANDSCAPED AREAS SHALL RECEIVE 4" COMPACTED TOPSOIL.
  - SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS. PLANT REPLACEMENT SHALL BE DONE WITHIN 30 DAYS.
  - CONTRACTOR SHALL NOT INSTALL PLANTS UNDER BUILDING OVERHANG AND SHALL NOTIFY LANDSCAPE ARCHITECT IF DRAWINGS CONFLICT WITH BUILDING OVERHANGS.
  - TREES SHALL NOT CONFLICT/ BLOCK PROPOSED REGULATORY/ DIRECTION SIGNAGE, MONUMENT SIGNS, ADDRESS OR LIGHT POLES. SHIFT TREES AS NECESSARY TYP.

**IRRIGATION LEGEND:**

- HUNTER ROTOR SPRINKLER
- HUNTER ROTOR SPRINKLER ON 3' RISER
- HUNTER 4" SPRAY SPRINKLER
- HUNTER 12" SPRAY SPRINKLER
- 1" QUICK COUPLING VALVE
- HUNTER REMOTE ELECTRICAL VALVE
- 2" P.V.L. MAINLINE
- HUNTER ILL 2 AUTO CONTROLLER

**WELL REQUIREMENT FOR IRRIGATION SYSTEM DESIGN BUILD:**

35 GPM @ 65 PSI

**PEA GROUP**  
t: 844.813.2949  
www.peagroup.com

**PATRICK S. GONROY**  
LANDSCAPE ARCHITECT  
M.L.A. 602  
LANDSCAPE ARCHITECT

**811** Know what's below. Call before you dig.

**CAUTION!!**  
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETE ACCURACY THEREOF. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**CLIENT**  
**GINKO INVESTMENT COMPANY, LLC**  
248 ROCHESTER ROAD  
OKLAND TOWNSHIP, MICHIGAN 48863

**PROJECT TITLE**  
**GINKO SELF STORAGE**  
WHITE LAKE TOWNSHIP, MICHIGAN

**MARC DUTTON IRRIGATION, INC.**  
4720 Hatchery Rd. • Waterford, MI 48329  
Office: (248) 674-4470 • Fax: (248) 674-3091

ORIGINAL ISSUE DATE:  
FEBRUARY 2, 2023

DRAWING TITLE  
**IRRIGATION PLAN**

9-12-2024

PEA JOB NO. 2002-248A  
P.M. JPB  
DN. BZ  
DES. JLE

DRAWING NUMBER:  
**I-1.0**

I:\pea\m\m\m\Projects\2002\2002-248A\DWG\SITE\_PLAN\I-1.0.dwg - 2/2/2023 10:48 AM



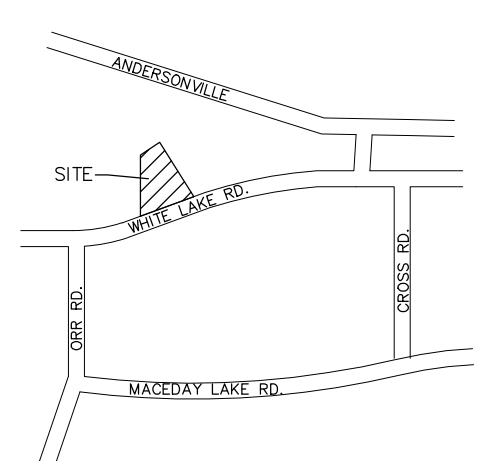


Michael B. Grasser & Associates  
 2276 Garland Boulevard  
 Sylvan Lake, Michigan, USA 48320  
 Ph. 248-505-4744  
 e-mail: bob@mbg.com

Landscaping Architecture, Site Planning,  
 Architectural & Interior Layout and Design



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CLIENT  
**GINKO INVESTMENT COMPANY, LLC**  
 2276 GARLAND BOULEVARD  
 SYLVAN LAKE, MICHIGAN 48320

PROJECT TITLE  
**GINKO SELF STORAGE**  
 WHITE LAKE TOWNSHIP, MICHIGAN

REVISIONS

PER AGENCIES COMMENTS	05/30/23
PER AGENCIES COMMENTS	06/29/23
PER AGENCIES COMMENTS	10/20/23

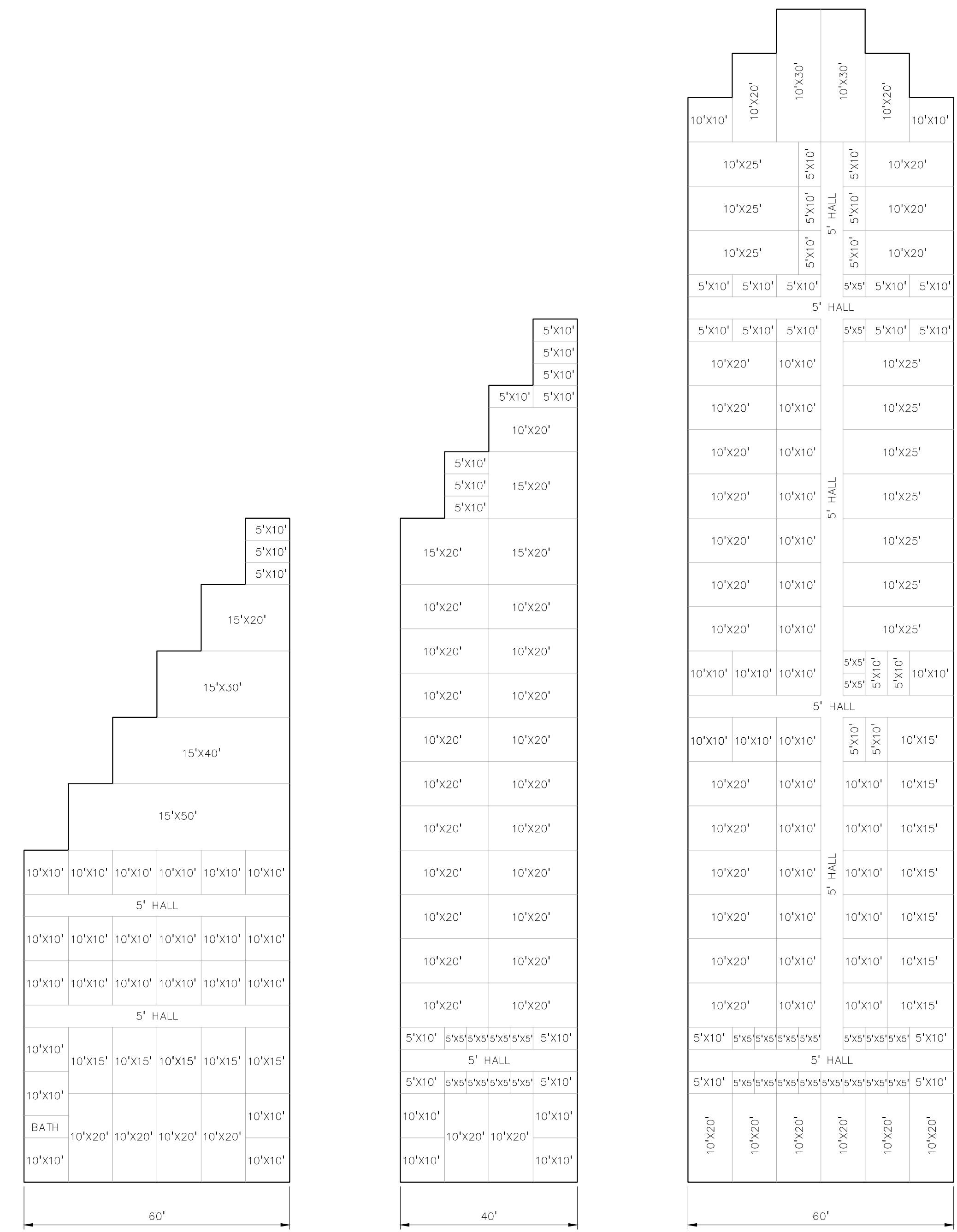
ORIGINAL ISSUE DATE:  
 DECEMBER 15, 2022

DRAWING TITLE  
**FLOOR PLAN AND BUILDING ELEVATIONS**

PEA JOB NO. 2002-248A  
 P.M. JPB  
 DN. SS  
 DES. SS

DRAWING NUMBER:

NOT FOR CONSTRUCTION **A-1.0**



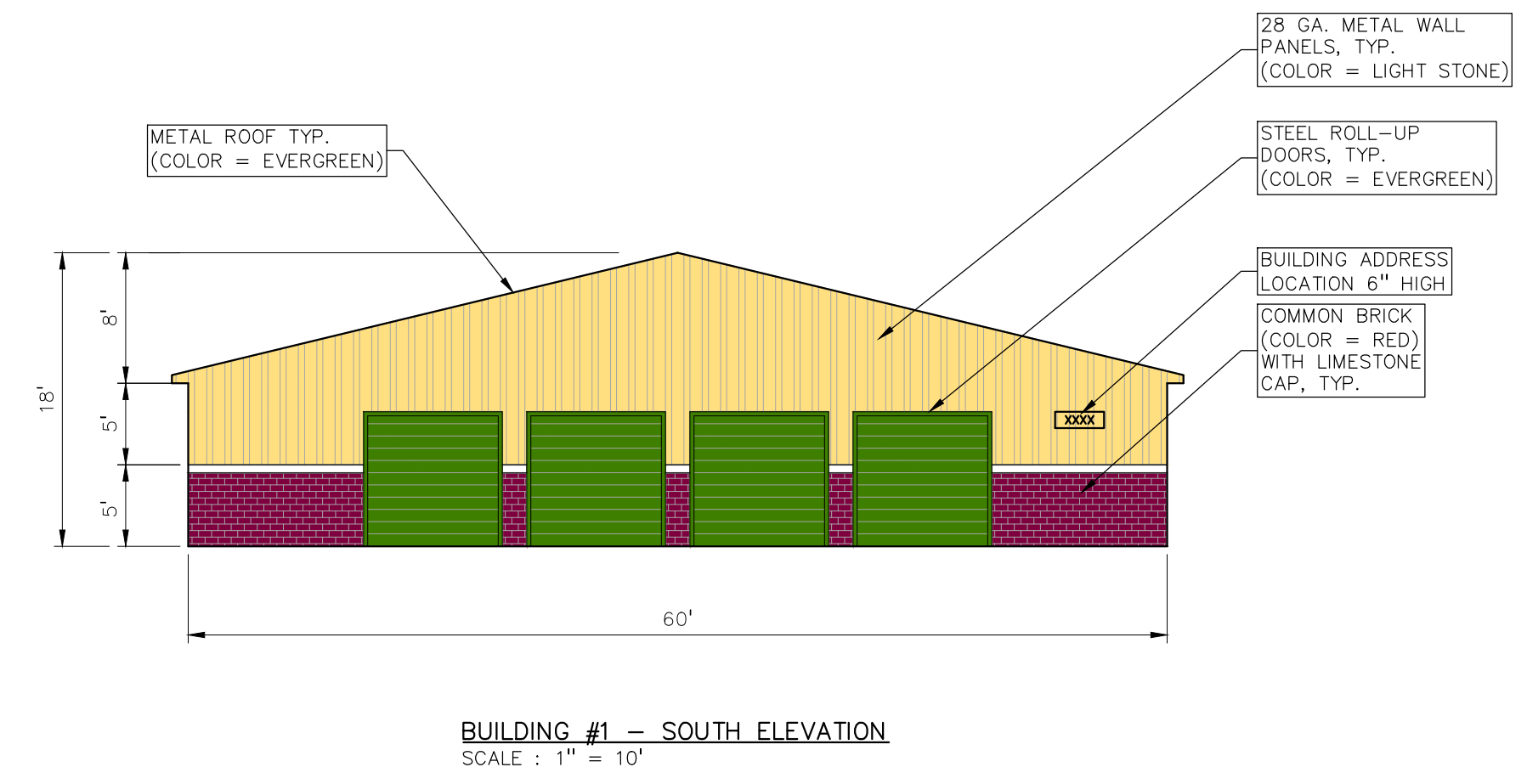
**BUILDING #1 FLOOR PLAN (6,750 SF)**  
 SCALE : 1" = 20'

**BUILDING #2 FLOOR PLAN (6,900 SF)**  
 SCALE : 1" = 20'

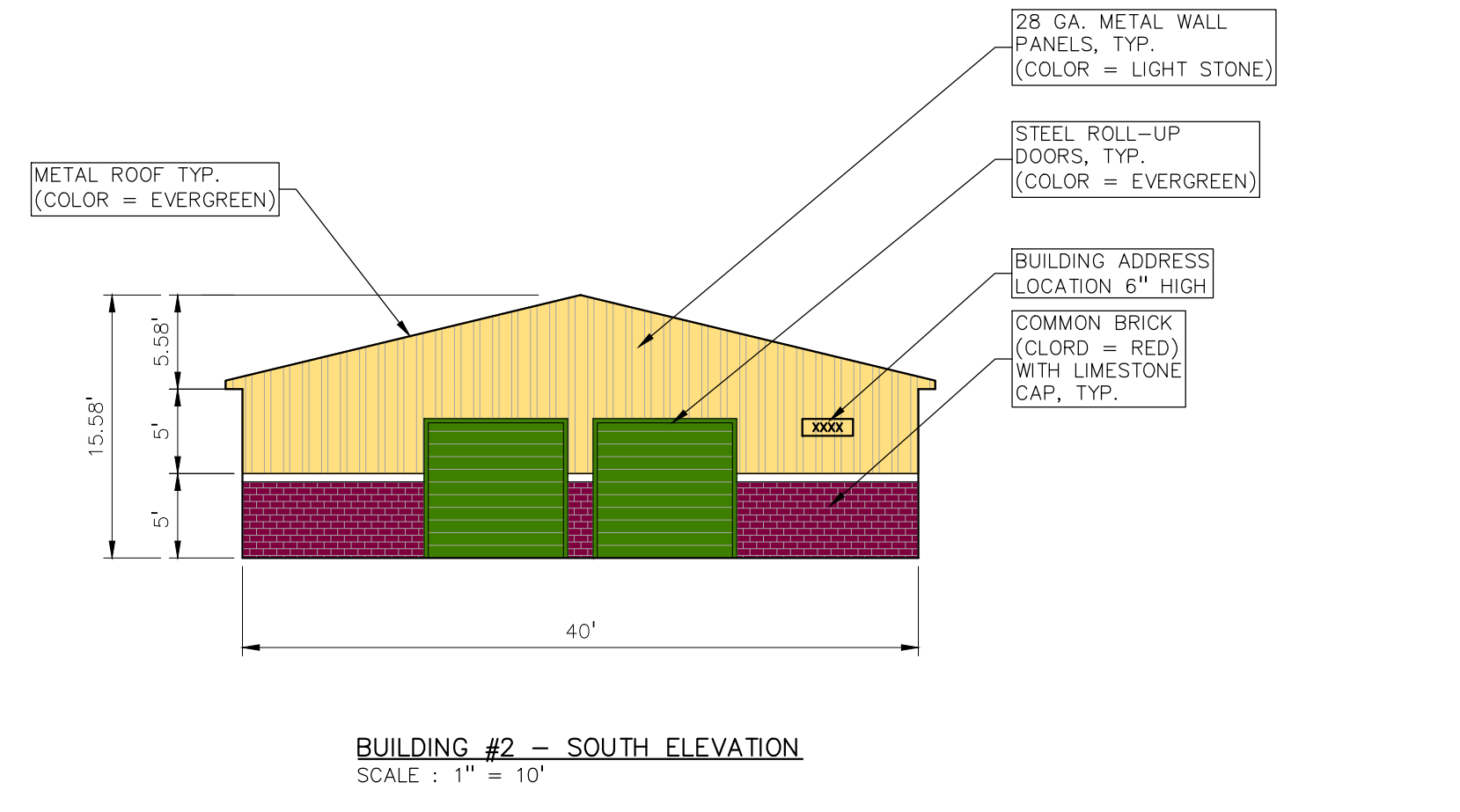
**BUILDING #3 FLOOR PLAN (15,300 SF)**  
 SCALE : 1" = 20'

**BUILDING #1 - #3 UNIT TABULATION**

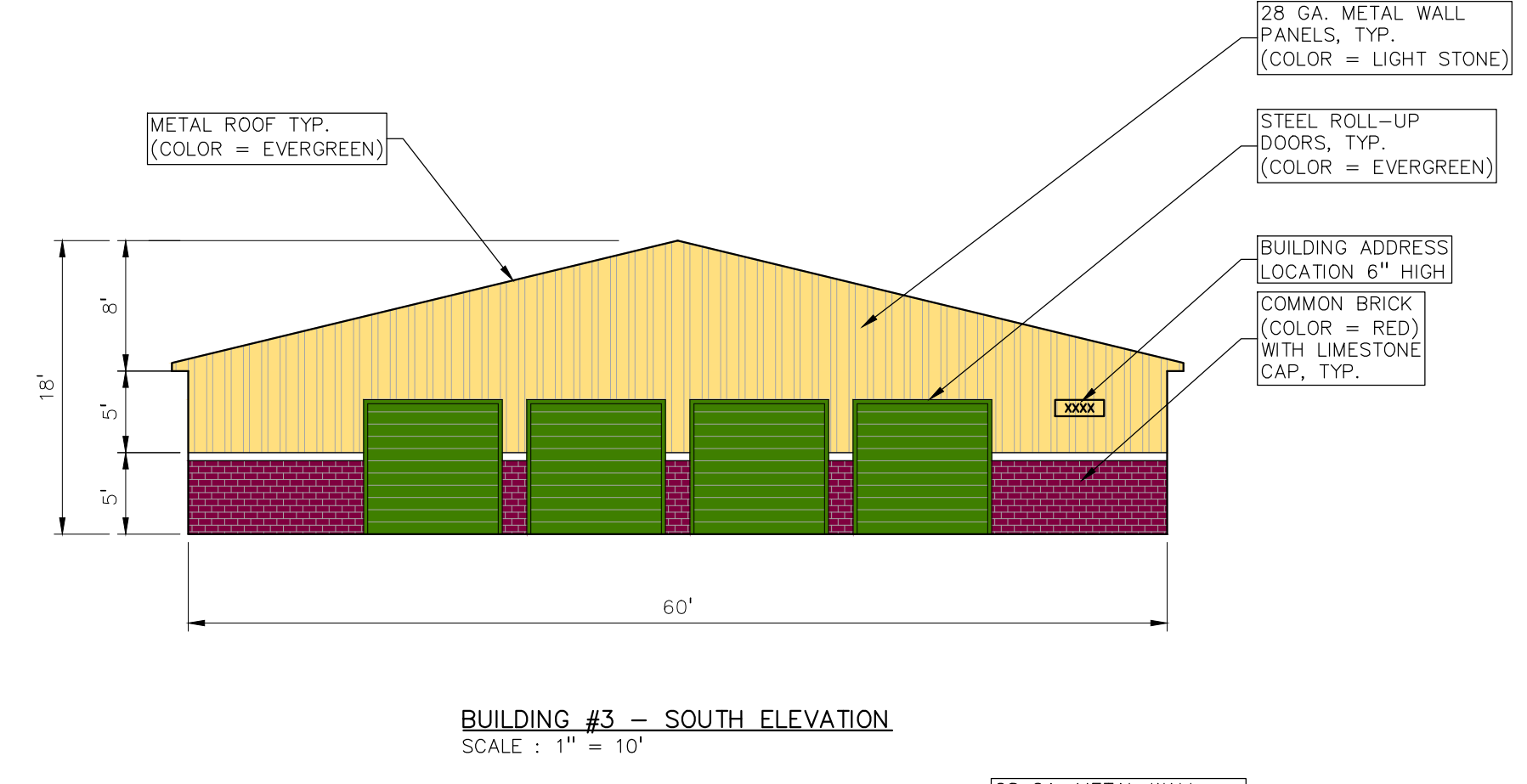
SIZE	UNITS	SQ. FT.
5'x5'	27	675
5'x10'	39	1950
10'x10'	55	5500
10'x15'	12	1800
10'x20'	51	10200
10'x25'	10	2500
10'x30'	2	600
15'x20'	4	1200
15'x30'	1	450
15'x40'	1	600
15'x50'	1	750
BATH	1	50
TOTAL	203	26275



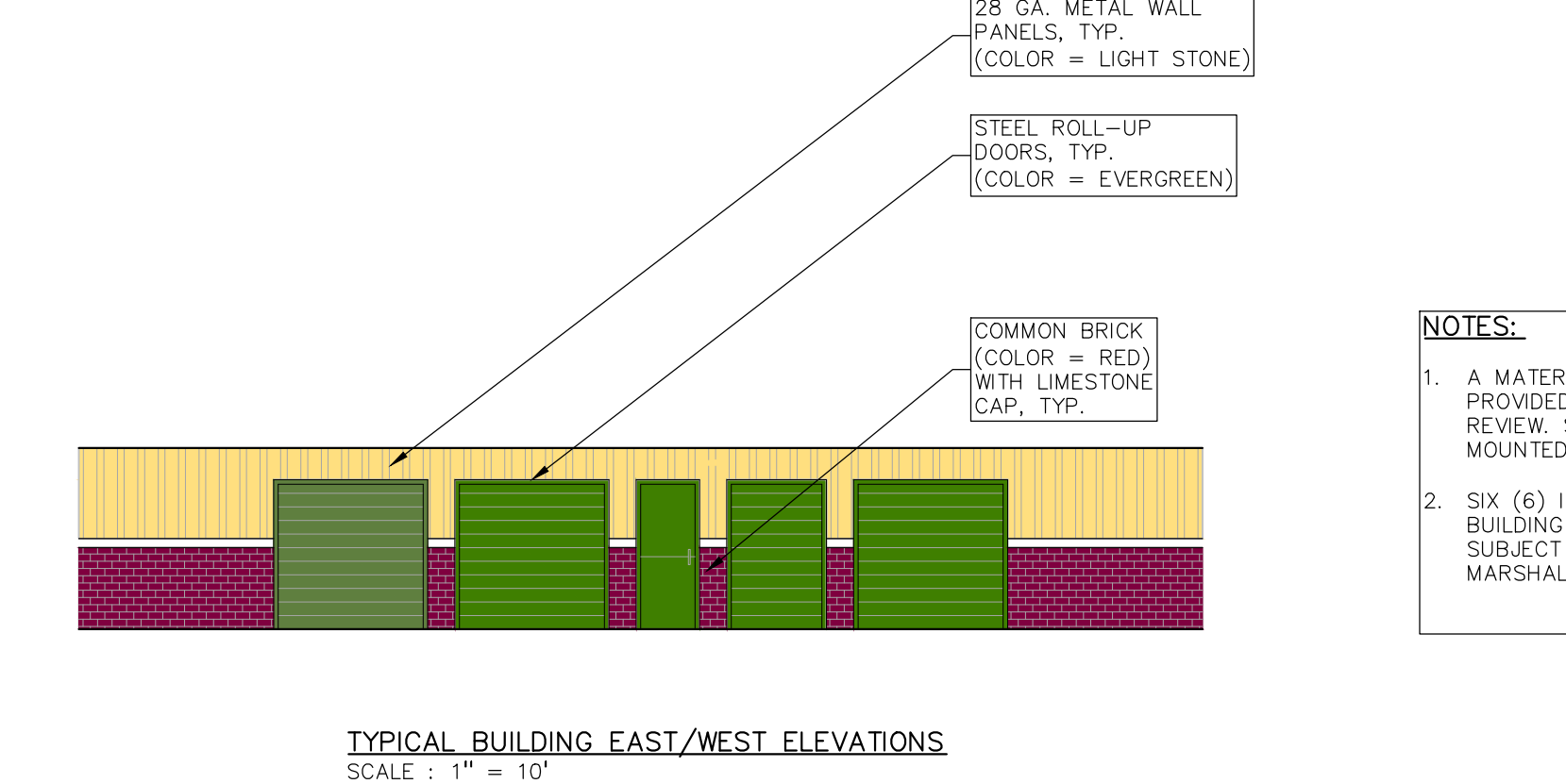
**BUILDING #1 - SOUTH ELEVATION**  
 SCALE : 1" = 10'



**BUILDING #2 - SOUTH ELEVATION**  
 SCALE : 1" = 10'



**BUILDING #3 - SOUTH ELEVATION**  
 SCALE : 1" = 10'



**TYPICAL BUILDING FAST/WEST ELEVATIONS**  
 SCALE : 1" = 10'

**NOTES:**

1. A MATERIAL SAMPLE BOARD SHALL BE PROVIDED FOR THE PLANNING COMMISSION REVIEW. STREET ADDRESS TO BE BUILDING MOUNTED.
2. SIX (6) INCH TALL NUMBERS SHALL BE BUILDING MOUNTED. ADDRESS LOCATIONS ARE SUBJECT TO THE APPROVAL OF THE FIRE MARSHAL.



