



PLANNING COMMISSION MEETING

LOCATION: TOWNSHIP ANNEX, 7527 HIGHLAND ROAD, WHITE LAKE, MI 48383
THURSDAY, APRIL 17, 2025 – 6:30 PM

White Lake Township | 7525 Highland Rd | White Lake, MI 48383 | Phone: (248) 698-3300 | www.whitelaketwp.com

AGENDA

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGIANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - A. [March 6, 2025](#)
6. CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)
7. PUBLIC HEARING
 - A. [White Lake Motors](#)
[located on the south side of Highland Road, west of Pontiac Lake Road. Identified as 12-13-455-024 \(8285 Highland Road\). Consisting of approximately 6.1 acres](#)
[Requests: Preliminary site plan approval recommendation, special land use approval, final site plan approval](#)
8. CONTINUING BUSINESS
9. NEW BUSINESS
 - A. [Walmart](#)
[located on the north side of Highland Road, east of Fisk Road. Identified as 12-14-476-015 \(9190 Highland Road\). Consisting of approximately 13.11 acres](#)
[Requests: Amended final site plan approval and approval recommendation of the amended PBD agreement](#)
10. OTHER BUSINESS
11. LIAISON'S REPORT
12. DIRECTOR'S REPORT
13. COMMUNICATIONS
14. NEXT MEETING DATE: May 1, 2025
15. ADJOURNMENT

Procedures for accommodations for persons with disabilities: The Township will follow its normal procedures for individuals with disabilities needing accommodations for effective participation in this meeting. **Please contact the Township Clerk's office at (248) 698-3300 X-7 at least five days in advance of the meeting.** An attempt will be made to provide reasonable accommodations.

**WHITE LAKE TOWNSHIP
PLANNING COMMISSION
MARCH 6, 2025**

CALL TO ORDER

Chairperson Carlock called the meeting to order at 6:30 P.M. She then led the Pledge of Allegiance.

ROLL CALL

Present:

T. Joseph Seward
Merrie Carlock, Chairperson
Scott Ruggles, Township Board Liaison
Mona Sevic
Robert Seeley, Vice Chair
Debby Dehart

Absent:

Pete Meagher

Others:

Sean O'Neil, Community Development Director
Dave Hieber, Assessor
Andrew Littman, Staff Planner
Mike Leuffgen, DLZ
Hannah Kennedy-Galley, Recording Secretary

APPROVAL OF THE AGENDA

MOTION by Commissioner Seward, seconded by Commissioner Seeley to approve the agenda as presented. The motion carried with a voice vote: (6 yes votes).

APPROVAL OF MINUTES

A. January 16, 2025

MOTION by Commissioner Seeley seconded by Commissioner Seward to approve the minutes as presented. The motion carried with a voice vote: (6 yes votes).

CALL TO THE PUBLIC (FOR ITEMS NOT ON THE AGENDA)

None.

PUBLIC HEARING

A. **Zoning Ordinance Amendment - Article 5.0 Site Standards**

Director O'Neil stated that there is a demand for taller accessory structures on the north end of the Township. The amendment would apply only to two-acre or bigger lots zoned SF or AG.

Chairperson Carlock opened the public hearing at 6:35 P.M. Seeing none, she closed the public hearing at 6:36 P.M.

MOTION by Commissioner Seward, seconded by Seeley to recommend approving the amendment to Zoning Ordinance No. 58, Article 5.7 - Accessory Buildings or Structures in Residential Districts to the Township Board. The motion carried with a voice vote: (6 yes votes).

NEW BUSINESS

A. PA116 Farmland and Open Space Preservation

Trustee Ruggles stated he had a few properties of his own enrolled in the public act. There is no effect on the Township. Assessor Heiber said the Oakland Conversation District has given pre-approval, so the Planning Commission will need to approve the request. Then, the Township Board will consider the request and, if approved, send it to the Oakland Conservation District for final approval.

MOTION by Commissioner Seeley, seconded by Commissioner Sevic to approve PA 116 Farmland and Open Space Preservation for the property located at 3049 Steeple Hill Road, contingent on Oakland Conservation District approval. The motion carried with a voice vote: (6 yes votes).

B. Elizabeth Trace

Identified as parcel number 12-26-204-038, located on the south side of Elizabeth Lake Road, east of Union Lake Road, consisting of 10.28 acres.

Request: **Amended preliminary and final site plan approvals**

Applicant: PH Homes

Director O'Neil briefly reviewed the applicant's request. The original approval of the Elizabeth Trace development was granted in 2004. He said the current applicant will be changing the floorplan of the proposed units but is largely trying to match the existing units with similar colors and materials. He said the current residents of Elizabeth Trace are favorable to the development being completed.

Mr. Leuffgen reviewed his letter. He noted a hold harmless agreement would need to be in place to protect the Township from potential work that the Township might need to do in stormwater easements.

Jim Eppink, 27 South Squirrel, was present to represent the applicant. He said the intention is to complete the neighborhood and modernize it. The new buildings will be 2' wider than the existing buildings. 26 units are being proposed. The patios will be located in a private storm sewer easement, and the HOA will ultimately maintain it. He didn't foresee issues in maintaining the storm sewer. The conflict with the patio is regulated to the concrete patios only, not the buildings themselves. Some of the units will have ejector pumps that will be privately maintained. He said he is willing to work with DPS to make sure they are satisfied with the condition of the stormwater sewer and will be entering into all the necessary easement agreements. A handful of variances will be requested, and are most likely caused due to new ordinance standards being applied to an existing older development.

Commissioner Seeley stated that the sidewalk is a must, and there is a property to the west of the site that will be connected to the sidewalk eventually. Mr. Eppink said he understood.

Tom Gizoni, 46892 West Rd #109, said the right of way in the area is tight with extensive landscaping. There is a large wetland system northeast of the site that will require 250' of boardwalk.

Commissioner Carlock asked if the wetland was on the subject property. Mr. Gizoni confirmed., and said constructing a sidewalk would be a challenge.

Commissioner Seward stated he did not like the straight flat rooflines in the front of the property. Mr. Eppink presented elevations. Commissioner Carlock said she wanted to see more brick on the buildings to be consistent with the existing buildings.

Commissioner Dehart asked if there would be bedrooms on the first floor. Mr. Eppink said the bedrooms are on the second floor, and the daytime living space is on the first floor. There will be basements. The price point will be somewhere around the upper \$300,000.

Commissioner Seward said he did not like the vinyl siding on the ends of the buildings. Mr. Eppink said he wanted to provide a modern living space and was constrained by setbacks and easements. The front exterior was articulated, and the interior living space was maximized.

The Planning Commission stated that the rear of the proposed buildings is not as aesthetically pleasing as the front of the buildings. They suggested a few cantilevers in the back over the windows. Director O'Neil said the Planning Commission can give the applicant guidance and it will be worked on within the Planning Department.

Commissioner Seeley restated the importance of a sidewalk surrounding the site.

MOTION by Commissioner Seeley, seconded by Commissioner Sevic, to recommend approval of the amended preliminary site plan to the Township Board for Elizabeth Trace, identified as parcel number 12-26-204-038, subject to sidewalk installation along the entire manicured portion of the right of way, and for the applicant to investigate a sidewalk being done on the east and to install the sidewalk (if it is a simple sidewalk), 6' brick on the rear of the building, and the additional bump-outs/dormers on the rear of the buildings, and all other variances agreed to. The applicant shall work with the Planning Department for additional details. The motion carried with a roll call vote: (6 yes votes). (Sevic/yes, Ruggles/yes, Carlock/yes, Seward/yes, Seeley/yes, Dehart/yes).

MOTION by Commissioner Seeley, seconded by Commissioner Ruggles to approve the final site plan for Elizabeth Trace, identified as parcel number 12-26-204-038, subject to the applicant addressing all comments in the preliminary site plan motion, approval of the preliminary site plan by the Township Board, and approval of all variances from ZBA. The motion carried with a roll call vote: (4 yes votes). (Seeley/no, Dehart/yes, Seward/no, Carlock/yes, Sevic/yes, Ruggles/yes).

CONTINUING BUSINESS

None.

OTHER BUSINESS

A. Conceptual review/discussion - Bogie Lake Road & Cedar Island Road

Director O'Neil briefed the Planning Commission on the site's history and the applicant's intended use. A conceptual site plan was presented.

Jim Eppink, on behalf of the applicant, said the entrance could be paved. Three different product types are being considered.

Commissioner Seward asked Mr. Eppink how the project fits into the Master Plan. He stated that the project is better than acre lots, and its proximity to the school campus will bring more families to the Township.

The Planning Commission shared their concerns regarding density, sidewalk connections, and community benefits.

Mary Earley, 5925 Pine Ridge Court, said the project's density is too much.

LIAISON'S REPORT

Commissioner Ruggles said the Phase 1 bid for Stanley Park to Cortis Brothers. Construction is scheduled to begin in April. The Board decided to move forward with the \$500,000 match for Stanley Park Phase 2 construction.

The February ZBA meeting was canceled.

Parks and Rec will hold a public hearing on Saint Patrick's Day to hear opinions on the elements for Stanley Park Phase 2.

DIRECTOR'S REPORT

Director O'Neil stated repair is ongoing to the damaged light poles on Elizabeth Lake Road. The Civic Center construction is moving along. The Avalon project is looking to secure easements from the Huron Valley School District. White Lake Motors is looking to resubmit its site plans and concurrently submit them for preliminary and final site plan approval.

NEXT MEETING DATE: March 20, 2025 & April 3, 2025

ADJOURNMENT

MOTION by Commissioner Seeley, seconded by Commissioner Dehart, to adjourn at 8:50 P.M. The motion carried with a voice vote: (6 yes votes).

Director's Report

Project Name: White Lake Motors

Description: PSP recommendation, FSP approval, SLU approval

Date on Agenda this packet pertains to: April 17, 2025

☒ Public Hearing

☒ Special Land Use

☒ Initial Submittal

☐ Rezoning

☐ Revised Plans

☐ Other:

☒ Preliminary Approval

☒ Final Approval

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Community Development Director	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Based on comments from staff & consultants
Mike Leuffgen	DLZ	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/21/25
Matteo Passalacqua	Carlisle Wortman Associates, Inc	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/19/25
Jason Hanifen	WLT Fire Marshal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 03/19/25



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

March 21, 2025

Sean O' Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: White Lake Motors - Preliminary Site Plan Review, Final Site Plan and Final Engineering Review- 3rd Review

DLZ # 2445-7696-10

Dear Mr. O' Neil,

Our office has reviewed the above-mentioned revised plan prepared by Seiber Keast Lehner Engineering and dated March 3, 2025. These plans were reviewed for general engineering feasibility as well as conformance with the Township Engineering Design Standards. We offer the following comments for your consideration:

Site Improvement Information-

- Milling, repaving, and restriping of existing parking area, including the existing entrance off M-59.
- Associated parking which includes two (2) ADA parking spaces.
- The three existing buildings (5,050 SF, 6,500 SF, and approximately 1,400 SF respectively) shall remain on site and be remodeled.
- Stormwater management for site includes the existing detention basins.
- Site to be serviced by existing watermain and sanitary sewer.

The following items should be noted with respect to Planning Commission review:

Please note that comments from our February 18, 2025 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.

1. *A portion of the proposed 8' wide concrete sidewalk that is shown along M-59 (east of the drive entrance) does not appear to meet WLT Zoning Ordinance (Section 5.20) in terms of clear zone and*



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- White Lake Motors- PSP, FSP, and FEP Review.03

March 21, 2025

Page 2 of 4

*minimum separation requirements. We defer to the Township regarding this item. **Comment remains.***

2. *Current Township Zoning Ordinance 5.11 Q xviii requires curbing to be placed around the parking lot perimeter and islands; however, the existing pavement on site does not currently have interior or perimeter pavement curbing. We defer to the Township as to whether the Township would be accepting of the site improvements without curbing as proposed. We note that several (uncurbed) landscaped islands are proposed which would reduce the overall stormwater runoff coefficient. **Comment remains.***

Final Site Plan/Final Engineering Plan Comments

Grading/Paving

1. *Sheets C-4 and C-5- Show crosswalk for proposed sidewalk crossing at the entrance off M-59. **Comment addressed.** Per the design engineer, the sidewalk crossing the entrance is intended to be constructed per MDOT standards. **Comment remains as a notation.***
2. *Sheet C-5 references the MDOT STD R-28-J ramp walk. Please provide detail for this on this sheet. **Comment addressed.** A detail for this ramp has been provided on plan. We note that MDOT preliminary review noted that detectable warning devices should not be placed adjacent to drive entrance and as such have been removed from the plan set. **Comment remains as a notation.***

Sanitary Sewer

1. *Ensure that the existing grinder station is functioning properly and evaluate for maintenance. **Comment remains.** Per the design engineer, the applicant will have the existing grinder station inspected and tested and will perform any required maintenance. We defer to the Township DPS as to whether any documentation of inspection, testing, and maintenance shall be required. Design engineer has stated that applicant will coordinate with the Township DPS regarding inspection, testing, and maintenance.*
2. *Please comment on the status of the existing dump station tanks. The tanks will need to be removed/abandoned if they have not been. **Comment remains.** The design engineer has indicated that the applicant will have the existing tanks inspected. It is noted that the intent is to abandon the existing tanks. We defer to the Township DPS as to whether any documentation of inspection and tank abandonment shall be required. Design engineer has stated that applicant will coordinate with the Township DPS regarding inspection and tank abandonment.*

Watermain



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- White Lake Motors- PSP, FSP, and FEP Review.03

March 21, 2025

Page 3 of 4

1. *We defer to the Township Fire Department with regard to fire suppression requirements. **Comment remains.***
2. *Sheets C-2 to C-5, and L-1- Show location of existing water service lead on these plan sheets. In addition, please indicate whether the maintenance building also has water service and show location of lead. Comment addressed. Lead locations are unknown. The existing maintenance building has water and sewer service; however the water service location is unknown, Our as built records for this site do not show the location of the existing water services for the individual buildings. **Comment remains as a notation.***

Stormwater Management

1. *The condition of the existing detention basins should be determined, and any maintenance performed as needed. Our office is aware that the basin was regraded recently so there may not be a need for maintenance. Comment addressed. The basin was recently reconstructed in 2020/2021 per the design engineer. The engineer notes that the basin appears to be operating as designed. **Comment remains as a notation.***
2. *Indicate whether the existing 4" storm sewer (located north of the maintenance building) is connected to any surrounding storm sewer system. Comment addressed. The design engineer notes that the existing sewer runs toward the west property line and appears to be draining (to the east) off site as intended. **Comment remains as a notation.***
3. *Sheet C-4- Show existing Stormceptor unit on this plan sheet. Please see attached General RV as built plan for details. Comment addressed. The existing Stormceptor has been shown. In addition, the General RV as built plans have now been attached to the White Lake Motors plans for reference purposes in regard to the Stormceptor. **Comment remains as a notation.***

Landscape Plan

1. *Sheet L-1-North side of easternmost detention basin- The proposed tree types and location have changed since the previous submittal. The easternmost Concolor Fir is too close to the existing storm sewer and also appears to be shown over the location where the existing Stormceptor is. Please refer to the existing as built plans for General RV for the Stormceptor location and show this structure on the landscape plan as well as relocate this tree. **Comment partially addressed. Although the tree has been relocated away from the existing storm sewer, the location of the existing Stormceptor has not been shown on this plan sheet. Please show on this sheet.***

Required Permits and Approvals



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- White Lake Motors- PSP, FSP, and FEP Review.03

March 21, 2025

Page 4 of 4

The following permits and approvals will be required:

1. Permit from MDOT for work within the M-59 right of way.
2. SESC permit from OCWRC (if applicable)
3. Permission from White Lake Township for work within the existing public utilities easements (which contain existing watermain) along M-59.
4. Updated Stormwater Maintenance Agreement & Exhibit (if required by White Lake Township)

Recommendation

We continue to recommend approval of the Preliminary Site Plan subject to consideration by the Township of the two comments listed under the Preliminary (Planning Commission Review) Site Plan comments.

All except one of our Final Site Plan/Final Engineering Plan comments have been addressed. This comment can be addressed prior to a preconstruction meeting.

Please contact our office should you have any questions.

Sincerely,

DLZ Michigan

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

cc: Andrew Littman, Community Development, *via email*
Matteo Passalacqua, Carlisle Wortman, *via email*
Hannah Kennedy- Galley, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
Nick Spencer, Building Official, White Lake Township *via email*
Jason Hanifen, Fire Marshall, White Lake Township, *via email*

X:\Projects\2024\2445\769610 WLT White Lake Motors\PSP,FSP,&FEP Review.03\Review.03.docx



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

March 19th, 2025

Combined Preliminary – Final Site Plan / Special Land Use Review for White Lake Charter Township, Michigan

Applicant:	Joshua Taurinen
Project Name:	White Lake Motors
Plan Date:	Not Provided
First Revision	January 8 th , 2025
Second Revision	March 3 rd , 2025
Location:	South side of Highland Road (M-59), West of Pontiac Lake Road. Parcel ID: 12-13-455-024
Action Requested:	Combined Preliminary - Final site plan and special land use review

PROJECT NARRATIVE

The applicant is proposing to redevelop an existing site along Highland Road (M-59) for the purpose of operating a used car dealership. The site is approximately 6.3 acres and is zoned GB, General Business. New and used car dealerships are special land uses in the GB district and subject to the standards set forth in Sections 4.34 and 6.10 of the zoning ordinance.

The site was a former General RV Center but has been vacant for more than five (5) years and contains three (3) existing structures all of which are to be restored and utilized for operations. Building 1 nearest Highland Road (M-59) is 5,050 sqft and will be utilized as a sales office. Building 2 is 6,500 sqft and is proposed to be a vehicle maintenance and prep space. Building 3 is 1,400 sqft and will be utilized for storage. The response letters dated January 29th, 2025 and March 5th, 2025 indicate building 2 will only be used for vehicle preparation and not as a car service area.

The demolition plan on Sheet C-3 indicates that the site will retain the perimeter fences, concrete storm drain, utility poles and the gravel surface in the southeast corner of the site. Sheet C-4 states the gravel area will be used for traffic circulation only. No parking will be permitted in this area. The majority of the site's asphalt and concrete infrastructure will be demolished and redone under a new layout better suited to meet operational needs and zoning standards.

Benjamin R. Carlisle, *President* John L. Enos, *Vice President* Douglas J. Lewan, *Principal*
David Scurto, *Principal* Sally M. Elmiger, *Principal* R. Donald Wortman, *Principal* Craig Strong, *Principal*
Paul Montagno, *Principal* Megan Masson-Minock, *Principal* Laura Kreps, *Senior Associate*
Richard K. Carlisle, *Past President/Senior Principal*

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025

The special land use will be approved, approved with conditions or denied by the Planning Commission. The Planning Commission will provide a recommendation to approve, approve with conditions or deny the preliminary and final site plan to the Township Board.

Items to be Address: None

SITE DESCRIPTION

Lot Area:	6.3 gross acres
Frontage:	Approx. 456 feet along Highland Road (M-59).
Address:	8285 Highland Road
Current Use:	Vacant (Former General RV Center)

Aerial image of the site



Source: NearMap October 7, 2024

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

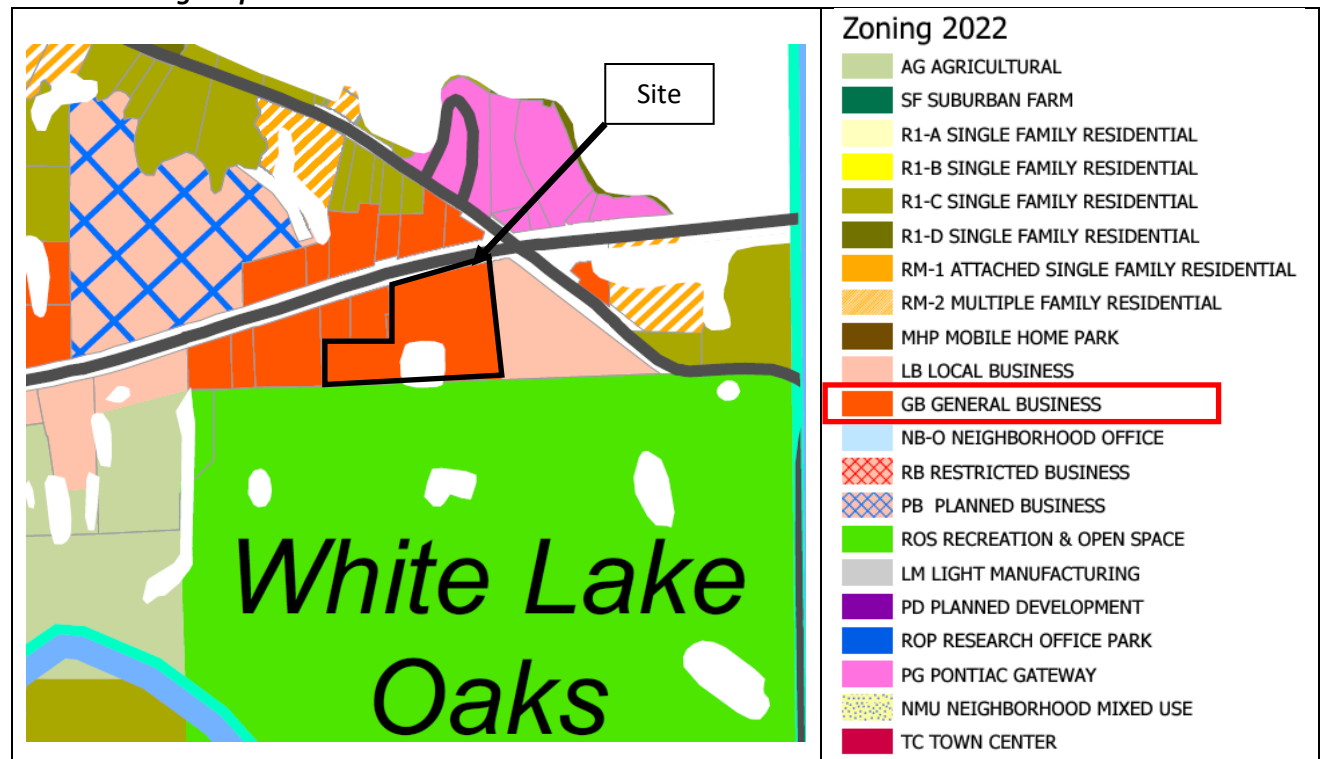
March 19th, 2025

Item A.

	North	East	South	West
Surrounding Zoning	GB, General Business	LB, Local Business	ROS, Recreation and Open Space	GB, General Business
Surrounding Land Uses	Gas Station / Oil Change	Vacant	County Park	Restaurant
Future Land-Use Map	Pontiac Lake Gateway	Pontiac Lake Gateway	Recreation / Open Space	Pontiac Lake Gateway

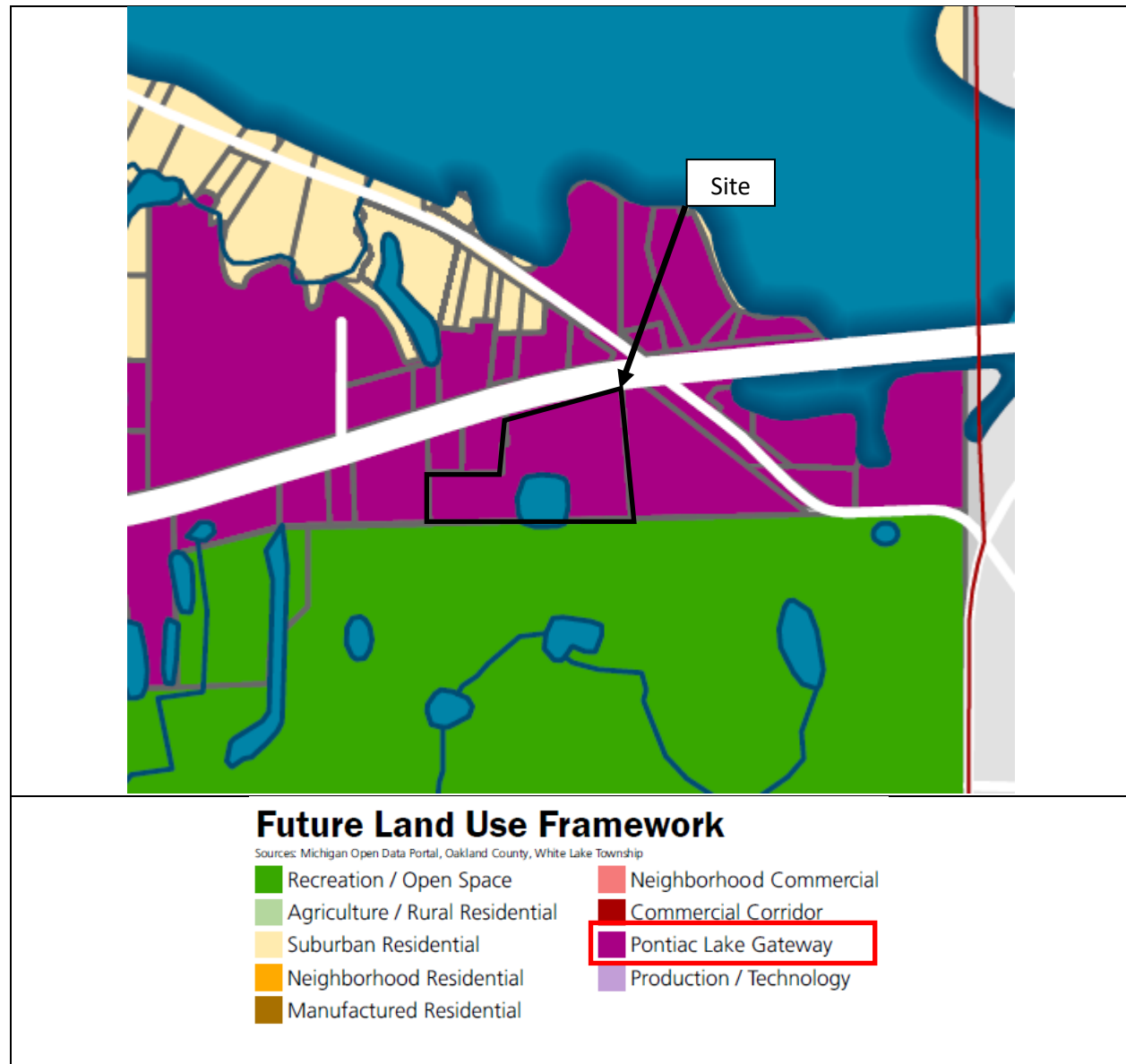
Current Zoning	<p>GB, General Business</p> <p><i>The General Business District, as established in this article, is intended to permit a wider range of business activities than those permitted in the Local Business and Restricted Business districts. The specific intent of this article is to allow those uses which would not only serve nearby residential areas, but also the entire community's comparison business, offices, services and automotive service needs, including open-air sales and uses requiring location on a major highway or street. These uses would generate larger volumes of vehicular traffic, would need more off-street parking and loading, and would require more detailed planning to provide an appropriate transition between such districts and adjacent residential areas.</i></p>
-----------------------	--

Current Zoning Map



Future Land Use	Pontiac Lake Gateway <i>Pontiac Lake Gateway: Creates a welcoming gateway offering a mix of local and regional goods and services. Uniform development and design standards create a defined sense of place.</i>
------------------------	--

Future Land Use Map



The Economic Development section of the 2024 White Lake Township Master Plan outlines a vision for the Pontiac Lake Gateway district. While the plan is specific to another site, it does offer some guidelines on the intent of the district. The example of uses in the Goals and Implementation chapter of the Master Plan for the district are professional services, multi-family, personal care, restaurants, and entertainment. This list is not exhaustive but provides general guidance on preferred uses.

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025

The Planning Commission should consider the 2024 Master Plan as it relates to the goals and objectives of the Pontiac Lake Gateway district and whether requesting certain modifications to the site would better fit the intent of the district and overall gateway goals of the Township. Some potential modifications could be building facade improvements, placement for gateway signage, landscaping or screening upgrades, etc.

Item to be Addressed:

1. *Planning Commission to consider site modification requests that align with the Pontiac Lake Gateway Future Land Use designation as outlined in the 2024 Master Plan.*

NATURAL RESOURCES

Topography:	Sheet C-2 and C-5 show existing site topography as well as the proposed grading. Much of the site is relatively level given the prior use.
Wetlands:	Sheet C-2 states “There are no apparent wetlands on site per national wetlands inventory mapper”. A wetland survey is provided via the National Wetland Inventory service. Wetlands abut the site along the east, south, and west property lines.
Woodland:	The site is relatively clear of mature tree clusters per prior uses. Mature trees and vegetation are located near the existing detention basins in the site’s southwest corner.
Soils:	Oshtemo-boyer loamy sands and Houghton and Adrian mucks are present on the site.
Water:	No natural bodies of water are onsite. Sheet C-2 states the site is located in Zone “X” (areas determined to be outside of 0.2% annual change floodplain) per FEMA map No. 26125CO337F, dated 09/29/2006.
General Notes:	None.

Items to be Addressed:

1. *Any cited concerns from Township Engineering.*

AREA, WIDTH, HEIGHT, SETBACKS

Existing building envelopes are shown on Sheet C-4. Standard bulk and lot regulations for the GB zoning district are set forth in Section 3.1.15. We note Sheet C-4 provides site data, unit schedules, required parking counts and setback or lot coverage information in chart form.

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025**GB General Business District Developmental Standards**

GB, General Business	Required:	Proposed:	Complies
Principal Building 1 (Sales Office) Setbacks			
Front (Sec. 3.11.M)	50 foot minimum / 150 foot maximum	101 feet	Yes
Side	15 feet on one side / 30 foot total of two sides	East: 219 feet / West: 170 feet	Yes
Rear	20 feet	245 feet	Yes
Wetland	25 feet	Not Provided	Unknown
Accessory Building 2 (Maintenance Facility) Setbacks			
Front (Sec. 3.11.M)	50 foot minimum / 150 foot maximum	244 feet	Yes
Side	15 feet on one side / 30 foot total of two sides	East: 80 feet / West: 260 feet	Yes
Rear	20 feet	164 feet	Yes
Wetland	25 feet	Not Provided	Unknown
Accessory Building 3 (Storage Shed) Setbacks			
Front (Sec. 3.11.M)	50 foot minimum / 150 foot maximum	300 feet	Yes
Side	15 feet on one side / 30 foot total of two sides	East: 180 feet / West: 259 feet	Yes
Rear	20 feet	125 feet	Yes
Wetland	25 feet	Not Provided	Unknown

Building Height			
	35 feet or 2 stories (whichever is less)	Building 1: 25 feet	Yes
		Building 2: 25 feet	Yes
		Building 3: 23.5 feet	Yes
Lot Standards			
Minimum Lot Area	1 acre	6.3 gross / 4.33 net	Yes
Minimum Lot Width	200 feet	456 feet	Yes
Maximum Lot Coverage	TBD	6.71%	TBD
Depth to Width	4 to 1	Approx. 1 to 1	Yes

Items to be Addressed: None

ACCESS & CIRCULATION

Vehicle Access & Circulation

The site is accessed from Highland Road (M-59) via a single thirty five (35) foot access drive. Section 6.3 of the zoning ordinance outlines the process for requiring a Traffic Impact Assessment or Study. No such study was supplied with the application however we note the Township, or its Agents have discretion on when such a study shall be required. We defer to Township engineering on whether the proposed use of the site warrants additional traffic information.

We note that while the Michigan Department of Transportation has jurisdiction over the proposed access to Highland Road (M-59), Section 6.4 of the zoning ordinance outlines Township requirements for site access. The speed limit in this area is 50 MPH which requires same side driveway and/or intersection distances be at least four hundred fifty five (455) feet. Sheet C-4 indicates the distance to the intersection of Pontiac Lake Road is three hundred thirty six (336). No measurements were provided for opposite side driveway distances or the distance from the same side driveway to the west. We note the distance to these drives and intersections should be shown on Sheet C-4 in order to determine what improvements or modifications are possible to accommodate safe access to the site. No deceleration lane currently exists for eastbound traffic looking to turn right into the site and there does not appear to be an opportunity to provide a service drive connection to either adjacent property.

Emergency vehicle maneuverability is shown on Sheet C-6. We defer to public safety as to the feasibility of the proposed layout to accommodate emergency vehicle traffic.

Non-Motorized Access and Circulation

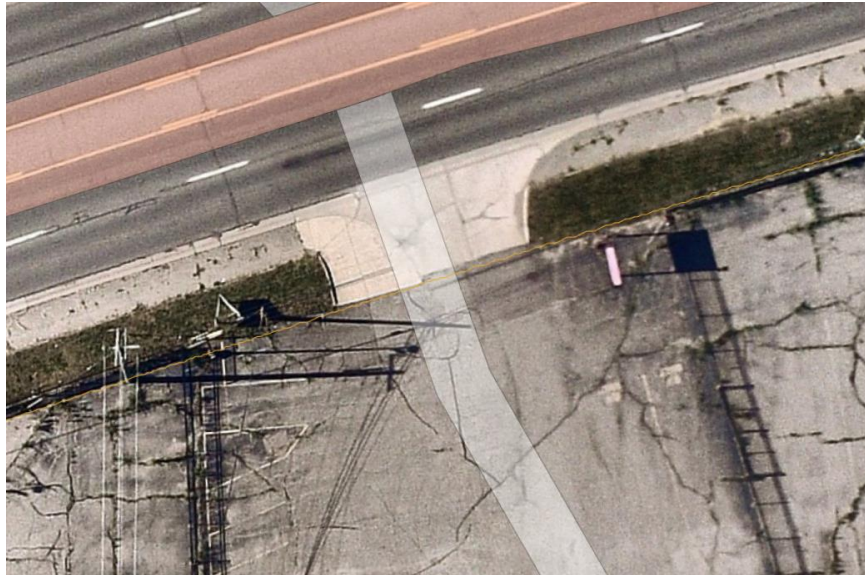
Sections 5.20 and 5.21 provide requirements for site sidewalks and pathways. A sidewalk is present across the Highland Road (M-59) frontage of the site. Pathways along the corridor are required to be eight (8)

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025

feet wide with two (2) foot clear zones on each side and at least six (6) feet from the curb of the adjacent road. It is clear the current sidewalk does not comply with this requirement as shown below:



Source: NearMap May 31, 2024

Sheet C-4 shows a new eight (8) foot sidewalk proposed along Highland Road (M-59). The sidewalk is setback eight (8) feet from the road with the exception of small wrap around near the eastern end of the property which is needed to due to an existing utility pole.

Public Transit

Public Transit access is available via the SMART Bus Highland Road Route 759. The line runs east/west between Oakland University and Bogie Lake Road along Highland Road (M-59). The accessible westbound stop is located at the Highland Road (M-59) and Pontiac Lake Road intersection. The accessible eastbound stop is located along Highland Road (M-59) at the Lowes development. The route operates from approximately 6:00am until 11:00pm on weekdays and 9:00am until 6:00pm on Saturdays.

White Lake Township is also served by the Western Oakland Transportation Authority which provides schedule transportation for Township residents with specific needs.

Items to be Addressed:

1. *Any concerns cited by Public Safety.*
2. *Any concerns cited by Engineering.*

PARKING & LOADING

Section 5.11 outlines requirements for off-street parking. Sheet C-4 provides parking locations and calculations for the various use functions anticipated for the site. Parking is placed predominantly around building 1 with additional spaces located behind building 1 and west of buildings 2 and 3. Parking lot areas will be constructed of asphalt. Concrete is proposed for limited portions of the site including dumpster pads, curbs and sidewalks.

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025

Parking requirements for motor vehicles sales and service establishments are one (1) space per each two hundred (200) square feet of usable floor space of sales room, plus five (5) for each one (1) auto service stall in the service room. Building 1 is proposed to be the sales office and showroom and is five thousand fifty (5,050) gross square feet. Sheet C-4 indicates the usable square footage of building 1 is four thousand one hundred (4,100) square feet. Per this standard, twenty (20) spaces are required.

Sheet C-4 indicates there are six (6) stalls in the maintenance and prep area for building 2 which requires thirty (30) parking spaces. Fifty (50) total standard parking spaces are required and two hundred six (206) spaces are provided. Operations of this nature typically provide more parking than may be required due to the desire to keep a large inventory of vehicles for sale. However, upon a finding made by the Planning Commission, parking may be provided in an amount not to exceed 125% of the maximum allowable parking. The Planning Commission may grant parking up to sixty three (63) parking spaces. If more is desired by the applicant, a variance will be needed from the Zoning Board of Appeals.

Included in the provided parking are two (2) handicap accessible spaces adjacent to building 1 which meet dimensional van accessibility space requirements.

We note that concrete curbs are not shown on Sheets C-4 or C-5. However, concrete curbing shall be provided at the end of all parking areas and stalls. The applicant has stated they plan to seek a variance from the Zoning Board of Appeals for this requirement.

Section 3.11.L states off-street parking spaces shall not be permitted within any required front, side, or rear yard setback unless it meets the standards of Section 5.11 Off-Street Parking. Section 5.11.A.iv states off-street parking for non-residential uses may be permitted in required front yard setback except for the first twenty (20) feet which shall be landscaped in conformance with the standards of the ordinance. If all required waivers and variances are granted, parking is permitted within the front and side yard setback with the exception of a landscaped twenty (20) foot buffer from the front property line.

Items to be Addressed:

1. *Parking count should be reduced to sixty three (63) spaces, or a variance must be sought from the Zoning Board of Appeals.*
2. *Site will need to add concrete curbing per Section 5.11.Q.xviii or seek a variance from the Zoning Board of Appeals.*
3. *Standards of Section 5.11 and 5.19 must be met to allow parking within the front yard setback. If all required waivers and variances are granted, proposed front yard parking is allowed within the front yard setback except for the first twenty (20) feet which shall be landscaped per ordinance requirements.*

ESSENTIAL SERVICES & UTILITIES

Sheet C-4 provides information on existing and proposed utilities. Electrical, gas, water service, stormwater management and sewage is proposed to utilize existing infrastructure.

Given the site is vacant and systems have likely not been maintained, it is possible water, storm and sewage lines have deteriorated and may not function under renewed use. We defer to Township Engineering regarding the validity of using the existing systems.

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025

Fire lane locations are shown on Sheet C-6. The buildings do not currently have FDC connections. We defer to Township Public Safety for any utility capacity or locations concerns.

Items to be Addressed:

1. Any cited concerns of Township Engineering.
2. Any cited concerns of Township Public Safety.

LANDSCAPING & SCREENING

The applicant has provided a detailed landscape plan on Sheets L-1 and L-2.

Section 5.19.D provides requirements for screening along property lines as it relates to adjacent districts. Those standards are reviewed below:

Greenbelts

Property Line	Required	Provided	Complaint
North (ROW)	Depth: 20 feet	Depth: 20 feet	Yes
	15 large deciduous or evergreen trees	15 ornamental trees	No (Waiver Required)
	AND	AND	
	122 shrubs	122 shrubs	Yes
East (LB)	None	N/A	N/A
West (GB)	None	N/A	N/A
South (ROS)	None	N/A	N/A

A note on Sheet L-1 indicates the large tree requirement along the Highland Road (M-59) greenbelt cannot be met due to existing utilities east of the access drive. While large evergreen and shade trees are not to be placed over underground or beneath overhead utilities, the applicant has provided the required count using ornamental trees that will not interfere with utilities. This will require a waiver from the Planning Commission.

The Planning Commission can modify or waive landscaping screening requirements where there is valid cause to do so.

Interior Landscaping

Interior landscaping areas are required to equal at least fifteen (15) percent of the total lot area. One (1) large deciduous, small ornamental deciduous, or evergreen tree and five (5) shrubs shall be planted for every three hundred (300) square feet of required interior landscaping area.

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025

Standard	Required	Provided	Complaint
Lot Area	40,737 sqft (15% total lot area)	117,445 sqft	Yes
Deciduous Trees	136 trees	137 trees (68 existing)	Yes
Shrubs	679 shrubs	125 shrubs	No (Waiver Requested)

Sheet L-1 provides interior landscaping calculations. The shrub counts are short of requirements. One hundred fifty four (554) shrubs will be required to meet standards or a waiver will be required.

Parking Lot Landscaping

Any off-street parking areas containing ten (10) or more parking spaces shall have parking lot landscaping as prescribed in the table provided in Section 5.19.G. Additional standards require:

1. *One (1) large deciduous tree or small deciduous ornamental tree and three (3) shrubs for every one-hundred (100) square feet of required parking lot landscaping area.*
2. *Parking lot landscaping areas shall be curbed with 6 inch concrete curbing. Planting islands containing trees shall not be less than fifty (50) square feet in area and not have any dimension across the island of less than five (5) feet.*

Commercial Use	Required	Provided	Complaint
Lot Area	4,120 sqft	5,831 sqft	Yes
Deciduous or Ornamental Trees	41 trees	30 trees	No (Waiver Requested)
Shrubs	125 shrubs	125 shrubs	Yes
Curbs	6 inch concrete	No	Variance Required
Lot Islands	50 sqft area minimum and at least 5 feet wide	9 Islands	Yes

We note trees planted along the perimeter of the parking lot do not count towards the parking lot landscaping requirement. An additional eleven (11) parking lot trees are required or a waiver from the Planning Commission will be required. The applicant is requesting a variance to not require six (6) inch curbing around parking lot islands and perimeter parking.

Minimum Plant Size and Species

All tree and plant material and species meet requirements.

Trash Receptacles

Trash enclosures are to be constructed of similar materials as the principal structure on the site. Brickform concrete or stained, decorative CMU block may be permitted where the principal building is not masonry, however, plain CMU block is not allowed. A note on Sheet C-4 states the enclosure shall match the same masonry product as the sales office with a steel backed wood gate painted with complementary colors to the masonry product.

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025**Mechanical Equipment Screening**

No rooftop mechanical equipment is shown on the site plan. Two exterior air conditioning units along the west side of building 1 are screened from view of the road and adjacent property.

Fences

Fence standards are outlined in Section 5.12. Sheet C-3 indicates the perimeter fencing is to remain. A five (5) foot tall black iron fence is proposed to remain along the Highland Road (M-59) frontage. Existing six (6) foot high chain link fence is along the east, south, and west perimeter. All fence heights and materials are compliant with current standards. We recommend the front property line fence be removed to improve aesthetics of the site and intent of the gateway area.

Items to be Addressed:

1. *Planning Commission to consider allowing for the use of ornamental trees to meet the Highland Road (M-59) greenbelt requirements in-lieu of deciduous or evergreen trees.*
2. *Planning Commission to consider allowing one hundred twenty five (125) shrubs for interior landscaping as opposed to the required six hundred seventy nine (679) shrubs.*
3. *Planning Commission to consider allowing thirty (30) parking lot trees as opposed to the required forty one (41) trees.*
4. *Six (6) inch curbs should be added to all parking lot island and parking lot perimeter or a variance will be required from the Zoning Board of Appeals.*

PERFORMANCE STANDARDS**Lighting Requirements**

The applicant has provided site lighting information in the site plan. Lighting standards are provided in Section 5.18.G and required at final site plan review.

Distances for perimeter light poles from property lines are shown on the lighting plan and compliant to ordinance requirements. Footcandle measurements at property lines meet lighting standards.

Perimeter and site lighting is provided via LED fixtures mounted to sixteen (16) foot poles. This complies with Section 5.18.G.vii requirements.

Maximum footcandle levels exceed ordinance standards in the drive, loading area, parking lot, and walkway areas. Section 5.18.G.i states that the Planning Commission or the Building Official have the ability to determine the appropriate light levels to meet the needs of safety, security, and illumination of specific uses. Maximum light levels are predominantly located within the central areas of the parking lot.

Noise Requirements

Noise standards are provided in Section 5.18.A and required at final site plan review. Per special land use standards, loudspeakers or public address systems are prohibited. Any equipment used to maintain vehicles or conduct operations will need to conform to the zoning ordinance standards.

Hazardous Materials

Sheet C-4 states no hazardous material will be stored on site.

Items to be Addressed:

1. *Planning Commission or Building Official to determine if proposed light levels are acceptable per the safety, security, and use of the site.*

SIGNAGE

A monument sign is shown on Sheet C-4 near the access drive from Highland Road (M-59). Sign dimensions and details are provided in the response letter dated January 29th, 2025. Signs are approved administratively but general sign information is required at final site plan review. Architectural elevations show building signage but no dimensions are provided. For full details on signage requirements, the applicant should refer to Section 5.9 before submitting for Township review. We note the sign should complement both the design and construction materials of the principal structures on-site.

Items to be Addressed: None

ARCHITECTURE & LAYOUT

Elevations of all building sides are required at preliminary site plan. Architectural information required at final site plan review includes the types of facing materials to be used on structures. Sheets A-01 through A-05 provide general floor plans and elevations of the existing sales building, maintenance building, and storage shed. Color renderings are also included in the application.

Section 6.8.E provides architectural requirements for developments along the Highland Road (M-59) corridor. Existing metal and wood siding is proposed to remain along building 1's east, west and south elevations. The north elevation proposes removing the exiting stone and wood siding as well as the windows. Sheet A-06 indicates wood framing, cast stone, and new larger windows will cover the north elevation.

Window coverage along front facades must be at least 30%. Building 1 meets this standard.

Section 6.8.E.v states wherever a side or rear facade is visible from a street, or if parking is located at the side or rear of a building, the facade shall be designed to create a pleasing appearance, using materials and architectural features similar to those present on the front of the building. We also note that building 2 has overhead doors that face Highland Road (M-59). It is possible that the side facades and front elevation of building 2 could be screened from the road with landscaping to help meet this requirement. Building materials used on the north elevation of building 1 could be applied to all elevations visible from Highland Road (M-59) as well.

Exterior construction material boards will be required for Planning Commission review.

Items to be Addressed:

1. *Planning Commission to determine if the current side facade of building 1 and front facade of building 2 are acceptable and do not require higher quality materials or additional screening from road view.*

SPECIAL LAND USE

New and used automobile dealerships are a special land use and subject to the standards set forth in Sections 4.34 and 6.10 of the zoning ordinance. Special land uses are reviewed and approved/denied by the Planning Commission. The following information is a review of each requirement for this use as prescribed in the Zoning Ordinance.

Section 4.34 / New and Used Automobile Sales

- A. *No driveways are permitted within 100 feet of the lot line, or an adjoining residential district.*

CWA Comment: Standard met.

- B. *The sales lot shall have no more than one driveway from any arterial on which it has frontage.*

CWA Comment: Standard met.

- C. *An outdoor lighting plan shall specify the type of fixtures to be used, light intensity, and method of shielding the fixtures so that light does not project onto adjoining properties or on any public or private street or right-of-way. Dropped fixtures shall not be allowed. The site plan shall include a photometric plan and catalog details for all proposed fixtures. Outdoor lights must meet the performance standards of Section 5.18.*

CWA Comment: Refer to comments in Performance Standards portion of review.

- D. *There shall be no festoon signs, strings of flags, pennants, or bare light bulbs permitted.*

CWA Comment: A note on Sheet C-4 states no festoon signs, strings of flags, pennants, or bare light bulbs will be utilized.

- E. *There shall be no portable signs and no flashing illumination of any kind on any feature of the use.*

CWA Comment: A note on Sheet C-4 states no portable signs and no flashing illumination will be utilized.

- F. *No vehicles or merchandise for sale shall be displayed within any required greenbelt, landscaped berm, or other landscape or open space area.*

CWA Comment: A note on Sheet C-4 states no vehicles or merchandise for sale shall be displayed within any required greenbelt, landscaped berm, or other landscape or open space area.

- G. *Loudspeakers or public address systems are prohibited.*

CWA Comment: A note on Sheet C-4 states no loudspeakers or public address systems shall be used.

H. A greenbelt, land form buffer, or screen wall of face brick shall be located on all property lines which abut any district which permits residential uses.

CWA Comment: N/A

Section 6.10 / General SLU Standards

i. The proposed special land use shall be of such location, size and character that it will be in harmony with the appropriate and orderly development of the surrounding neighborhood and/or vicinity and applicable regulations of the zoning district in which it is to be located.

CWA Comment: The proposed use of the site is conducive with that found along the corridor and other major thoroughfares.

ii. The proposed use shall be of a nature that will make vehicular and pedestrian traffic no more hazardous than is normal for the district involved, taking into consideration vehicular turning movements in relation to routes of traffic flow, proximity and relation to intersections, adequacy of sight distances, location and access of off-street parking and provisions for pedestrian traffic, with particular attention to minimizing child-vehicle interfacing.

CWA Comment: The relocation of the safety path along Highland Road (M-59) aids in safer passage for pedestrians along the corridor. The site will require Michigan Department of Transportation approval for proposed access and potential improvements to traffic flow.

iii. The proposed use shall be designed as to the location, size, intensity, site layout and periods of operation of any such proposed use to eliminate any possible nuisance emanating therefrom which might be noxious to the occupants of any other nearby permitted uses, whether by reason of dust, noise, fumes, vibration, smoke or lights.

CWA Comment: The CIS states nuisances associated with used car operations such as noise and dust will be kept to a minimum. The site is not adjacent to any residential uses. The proposed use is similar to the former use and operations.

iv. The proposed use shall be such that the proposed location and height of buildings or structures and location, nature and height of walls, fences and landscaping will not interfere with or discourage the appropriate development and use of adjacent land and buildings or unreasonably affect their value.

CWA Comment: Adjacent sites are currently developed. Proposed site improvements such as greenbelts aid in buffering the use from adjacent properties.

v. The proposed use shall relate harmoniously with the physical and economic aspects of adjacent land uses as regards prevailing shopping habits, convenience of access by prospective patrons, continuity of development, and need for particular services and facilities in specific areas of the Township.

CWA Comment: The proposed use would be in physical and economic harmony with surrounding properties. However, the site's master plan designation which provides guidance on shifting the areas future uses and development types such as professional services, multi-family, personal care, restaurants, and entertainment.

vi. The standards of density and required open spaces for the proposed special land use shall be at least equal to those required by this Ordinance in the Zoning District in which the proposed special land use is to be located.

CWA Comment: Standard met.

vii. The public services and facilities affected by a proposed special land use or activity shall be capable of accommodating increased service and facility loads caused by the land use or activity.

CWA Comment: We defer to Township Engineering and Township Public Safety relating to public facilities and service concerns.

viii. Protection of the natural environment and conservation of natural resources and energy.

CWA Comment: The site will not store hazardous materials nor expand its current development footprint. Vehicles will not be permitted to park in the gravel portion of the site.

ix. The proposed use is necessary for the public convenience at the proposed location.

CWA Comment: There appear to be at least five (5) used vehicle dealerships along the Highland Road (M-59) corridor within four (4) miles of the proposed site. The used vehicle market also exists online via services like Carvana. The site's former use (General RV) was similar in nature but provided services to a niche market.

x. The proposed use is so designed, located, planned and to be operated that the public health, safety and welfare will be protected.

CWA Comment: With the exception of issues cited in the Performance Standards portion of this review and approval required from separate agencies, the site improvements and use appear to be planned with public health, safety, and welfare in mind.

xi. The proposed use shall not cause substantial injury to the value of other property in the neighborhood in which it is to be located and will not be detrimental to existing and/or other permitted land uses in the zoning district.

CWA Comment: The proposed use is similar to the former use as related to property values. Improvements to the site will aid in preserving property values.

Community Impact Statement (CIS)

Special land uses in the General Business District require the submission of a community impact statement per Section 3.1.15 and Section 6.6. A CIS prepared by Seiber Keast Lehner, Inc. dated

January 29, 2025 was provided. Content requirements are reviewed below. Only information provided in the CIS that has not been covered in the prior sections of this report is reviewed.

General

As stated, the applicant is seeking to redevelop the vacant General RV Center into a used car sales lot. The project will decrease the impervious surface by approximately 23% by including the 20-foot greenbelt around the north and east property lines. Parking lot islands and building landscaping will also aid in the management of stormwater runoff. Hours of operation are proposed to be 8am – 7pm, Monday through Friday and 8am – 3pm on Saturdays. The business will be closed on Sundays.

Surrounding uses are commercial or recreational. The proposed use is similar in nature to the former use and does not anticipate any noise, smoke or dust nuisance beyond normal vehicle dealership operations.

No reference to the Master Plan is made.

Community Facilities and Services

No increase to public services is anticipated. The study states all existing utilities will be utilized and are of sufficient design for the proposed use. Private trash collection will be used to serve the site.

One semi-truck delivery is anticipated per week. Vehicle loading and unloading will occur in the designated loading area adjacent to building 2.

Economics

The CIS states approximately twenty (20) construction jobs and ten (10) permanent jobs will be created by the redevelopment.

Tax revenue estimations were not provided.

Environment

The site currently has one hundred thirty two thousand (132,000) sqft of paved surface and forty five seven hundred (45,700) sqft of gravel surface as well as an existing detention basin. The CIS states there are no wetlands onsite. An NWI survey provided in the CIS shows the proximity of nearby wetlands. The CIS states wetlands will not be effected by onsite reconstruction of the parking lot. Dust control cleaning of the parking lot will be provided during and after construction. No air pollutants are anticipated to be emitted into the air. No adverse effects are anticipated to the ground water table, soils, and storm water system.

Noise

The CIS states noise levels will increase slightly due to automobile and truck traffic.

Traffic

The CIS states no traffic impact study is required for this project.

Mapping

Mapping has been provided showing wetlands, soils, and nearby parcels. Parcel uses are not provided.

Items to be Addressed:

1. *Planning Commission or Building Official to determine if proposed light levels are acceptable per the safety, security, and use of the site. Any Township Engineering and Township Public Safety concerns relating to public facilities and service.*

SUMMARY

The combined preliminary – final site plan is substantially complete. We recommend the application and special land use be presented to the Planning Commission for consideration of approval, approval with conditions, or denial.

For reference, we have noted all waivers and variances required for the current site plan.

Please note the standards of Section 5.11 and 5.19 must be met to allow parking within the front and side yard setback. If all required waivers and variances are granted, proposed front yard parking is allowed within the front yard setback except for the first twenty (20) feet which shall be landscaped per ordinance requirements. If required variances and waivers are not granted, parking will need to be removed from the front and side yards.

Considerations

Below is a list of considerations for the Planning Commission. Considerations are meant to foster a dialog between the Planning Commission and Applicant.

1. *Consideration of site modifications that align with the Pontiac Lake Gateway Future Land Use designation as outlined in the 2024 Master Plan.*
2. *Consideration of removing the fence along Highland Road (M-59) to improve aesthetics along the corridor.*

Waivers / Modifications / Determinations

Below is a list of waivers, modifications or determinations necessary from the Planning Commission for the current proposal to be approved.

1. *Planning Commission to consider a waiver to allow ornamental trees along the Highland Road (M-59) greenbelt instead of large deciduous or evergreen trees.*
2. *Planning Commission to consider allowing one hundred twenty five (125) shrubs for interior landscaping as opposed to the required six hundred seventy nine (679) shrubs.*

White Lake Motors

Combined Preliminary-Final Site Plan and Special Land Use Review Second Revision

March 19th, 2025

3. *Planning Commission to consider allowing thirty (30) parking lot trees as opposed to the required forty one (41) trees.*
4. *Planning Commission to determine if the current side facade of building 1 and front facade of building 2 are acceptable and do not require higher quality materials or additional screening from road view.*
5. *Planning Commission or Building Official to determine if proposed light levels are acceptable per the safety, security, and use of the site.*

Potential Conditions

Below is a list of potential conditions should the Planning Commission approve the site plan.

1. *Any cited concerns from Township Engineering are addressed.*
2. *Any cited concerns from Township Public Safety are addressed.*
3. *Standards of Section 5.11 and 5.19 must be met to allow parking within the front and side yard setback. If all required waivers and variances are granted, proposed front yard parking is allowed within the front yard setback except for the first twenty (20) feet which shall be landscaped per ordinance requirements.*
4. *All necessary variances relating to parking space counts and parking lot curbing are granted by the Zoning Board of Appeals.*

Special Land Use Information

Below is information required to assess special land use standards:

1. *Any Township Engineering and Township Public Safety concerns relating to public facilities and service.*

Possible Variances

Below is a list of variances required from the Zoning Board Appeals for the current proposal to be approved:

1. *A variance is required to allow two hundred six (206) parking spaces instead of the maximum allowable sixty three (63)*
2. *A variance is required to waive requirements of Sections 5.11.Q.xviii and 5.19.G.ii.b regarding the use of six (6) inch curbing around the parking lot perimeter and islands.*

Respectfully,



CARLISLE/WORTMAN ASSOC., INC.
Matteo Passalacqua
Community Planner



Fire Department

Charter Township of White Lake

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 03/19/2025

Project: White Lake Motors

Job No: 24-084

Date on Plans: 03/03/2025

The Fire Department has the following comments regarding the 3rd review of preliminary site plans for the project known as White Lake Motors

1. The access drive and parking lot shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced to provide all weather driving capabilities.
2. The required turning radius shall accommodate the largest Fire Department apparatus (40') and provide a turn radius profile throughout the entire site showing apparatus movement on future plans.
3. The angle of approach/Departure to and from White Lake roads shall not exceed 8 degrees.

Indoor display vehicles

1. Batteries are disconnected
2. Fuel in fuel tanks does not exceed one-quarter tank or 5 gallons (19 L) (whichever is least)
3. Fuel tanks and fill openings are closed and sealed to prevent tampering
4. Vehicles, boats or other motorcraft equipment are not fueled or defueled within the building

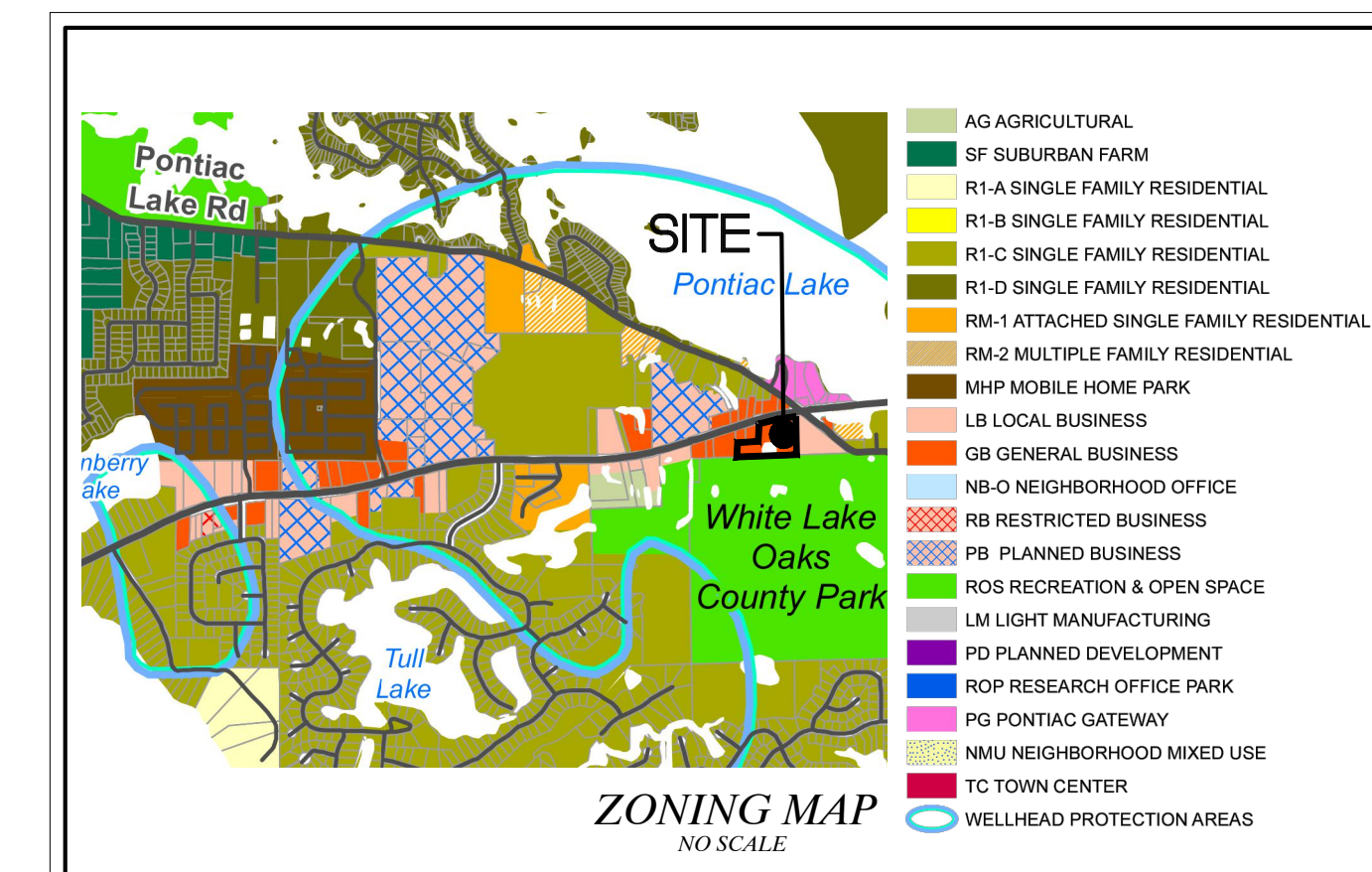
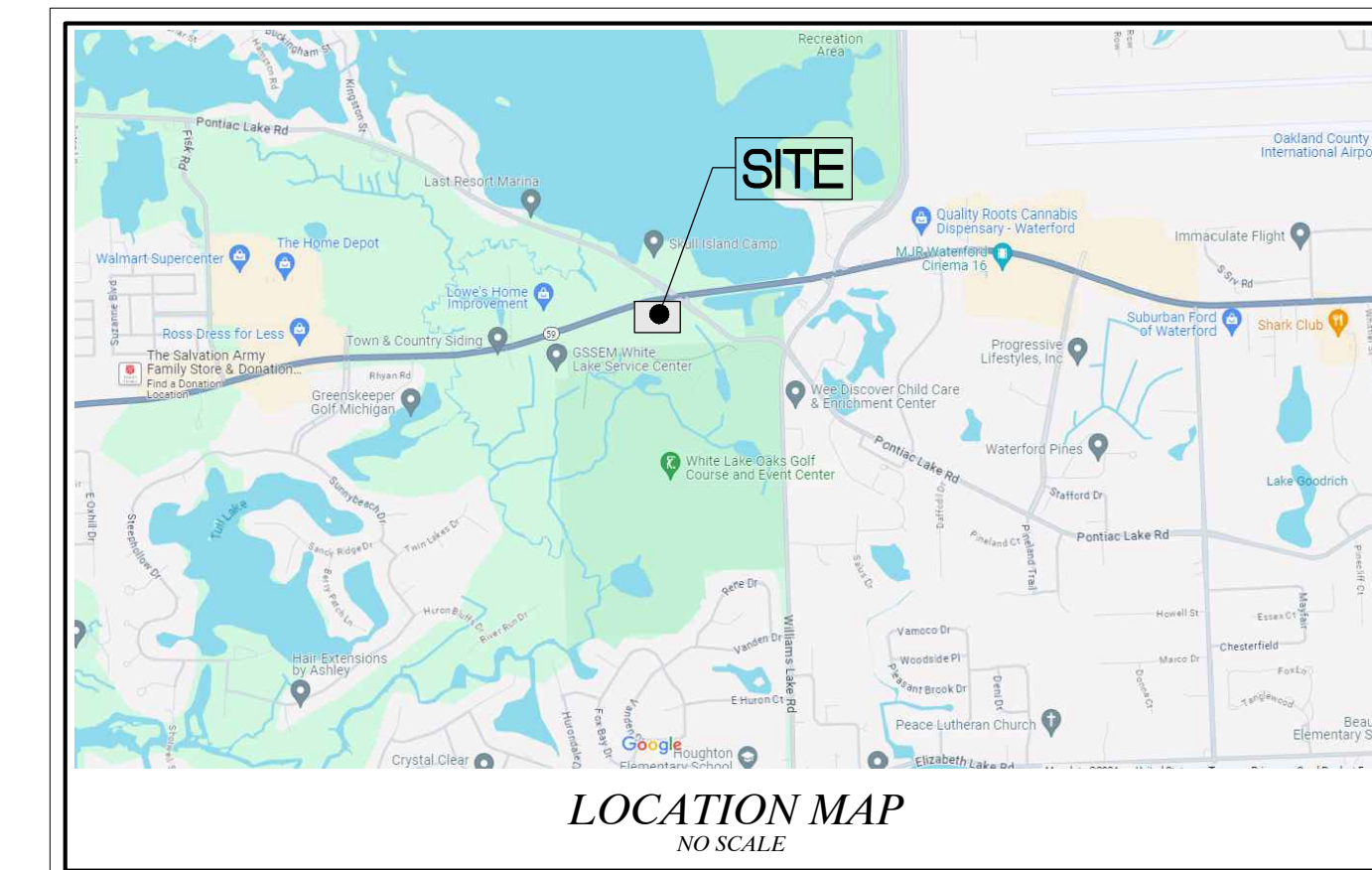
The Fire Department has no further comments regarding White Lake Motors

General Note

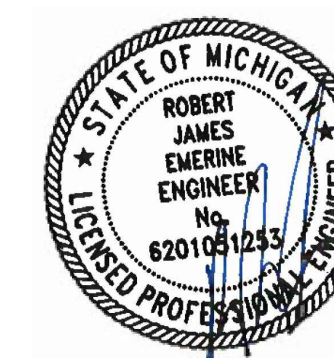
1. Keys will need to be provided for the Knox box (after-hours access)
2. After-hours contact information will need to be provided for the Knox box

Jason Hanifen
Fire Marshal
Charter Township of White Lake
(248)698-3993
jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.



SHEET INDEX	
NO.	SHEET TITLE
C-1	COVER SHEET
C-2	BOUNDARY AND TOPOGRAPHICAL SURVEY
C-3	DEMOLITION PLAN
C-4	OVERALL SITE AND EXISTING UTILITY PLAN
C-5	PAVING AND GRADING PLAN
C-6	EMERGENCY VEHICLE ROUTE
M-1	ADA RAMP DETAILS
AS-BUILT PLANS – (NOT FOR CONSTRUCTION)	
AB-1	"AS-BUILT" 1-18-2021 (BY KIEFT ENGINEERING, INC.)
AB-2	"AS-BUILT" 1-18-2021 (BY KIEFT ENGINEERING, INC.)
AB-3	"AS-BUILT" 1-18-2021 (BY KIEFT ENGINEERING, INC.)
LANDSCAPE PLANS	
NO.	SHEET TITLE
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
ARCHITECTURAL PLANS	
NO.	SHEET TITLE
A01	EXISTING/PROPOSED FLOOR PLAN
A02	EXISTING ELEVATIONS
A03	EXISTING FLOOR PLAN
A04-A05	EXISTING ELEVATIONS
A06-A07	PROPOSED ELEVATIONS
PHOTOMETRIC PLANS	
NO.	SHEET TITLE
1-3	PHOTOMETRIC PLANS



SKL SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE
7001 NINETEEN MILE ROAD, SUITE 3
CLINTON TOWNSHIP, MI 48038

FARMINGTON HILLS OFFICE
39205 COUNTRY CLUB DRIVE, SUITE C8
FARMINGTON HILLS, MI 48331

[illegible]

CLIENT: **WHITE LAKE MOTORS,
MICHIGAN AUTO GROUP**
**48260 FRANK STREET
WIXOM, MI 48393**

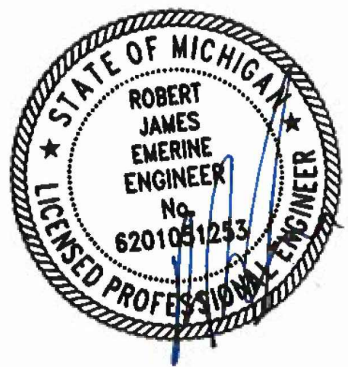
ME:
WHITE LAKE MOTORS

SHEET TITLE:
COVER SHEET

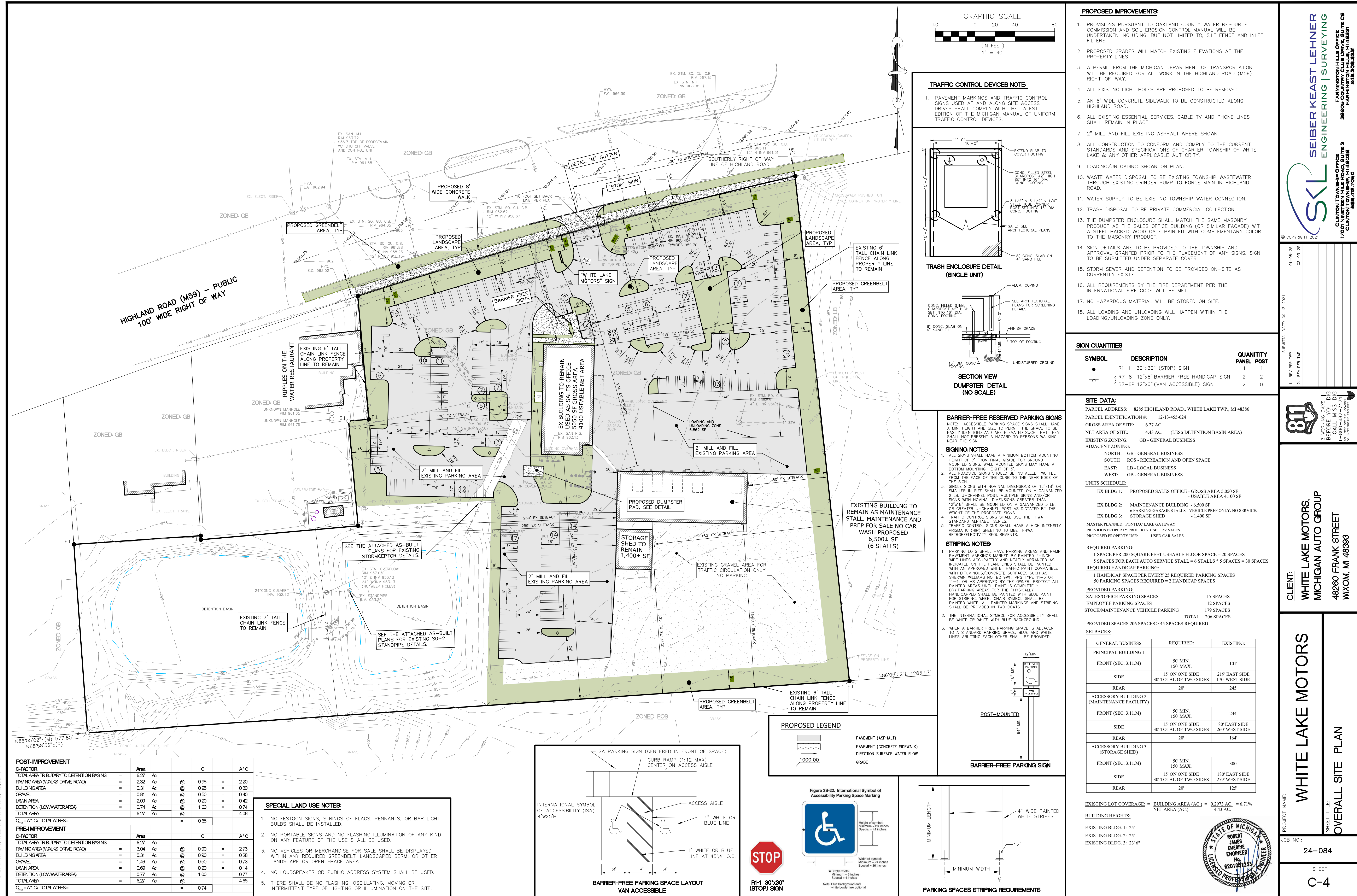
24-084

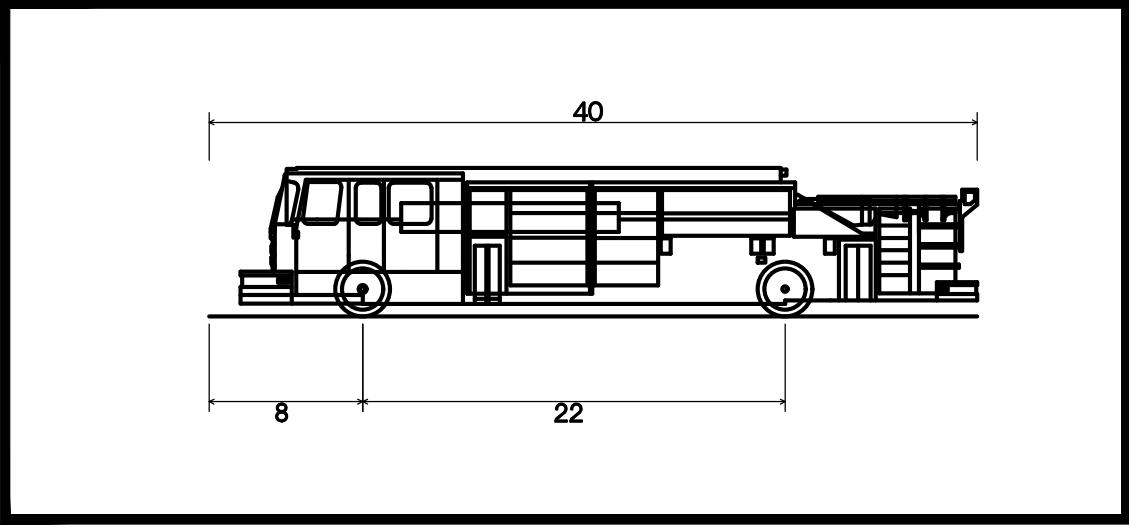
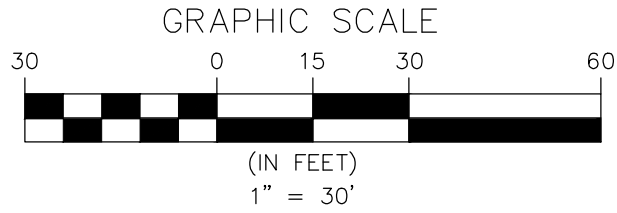
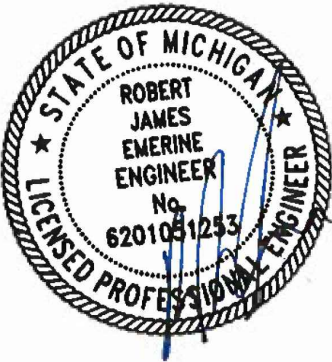
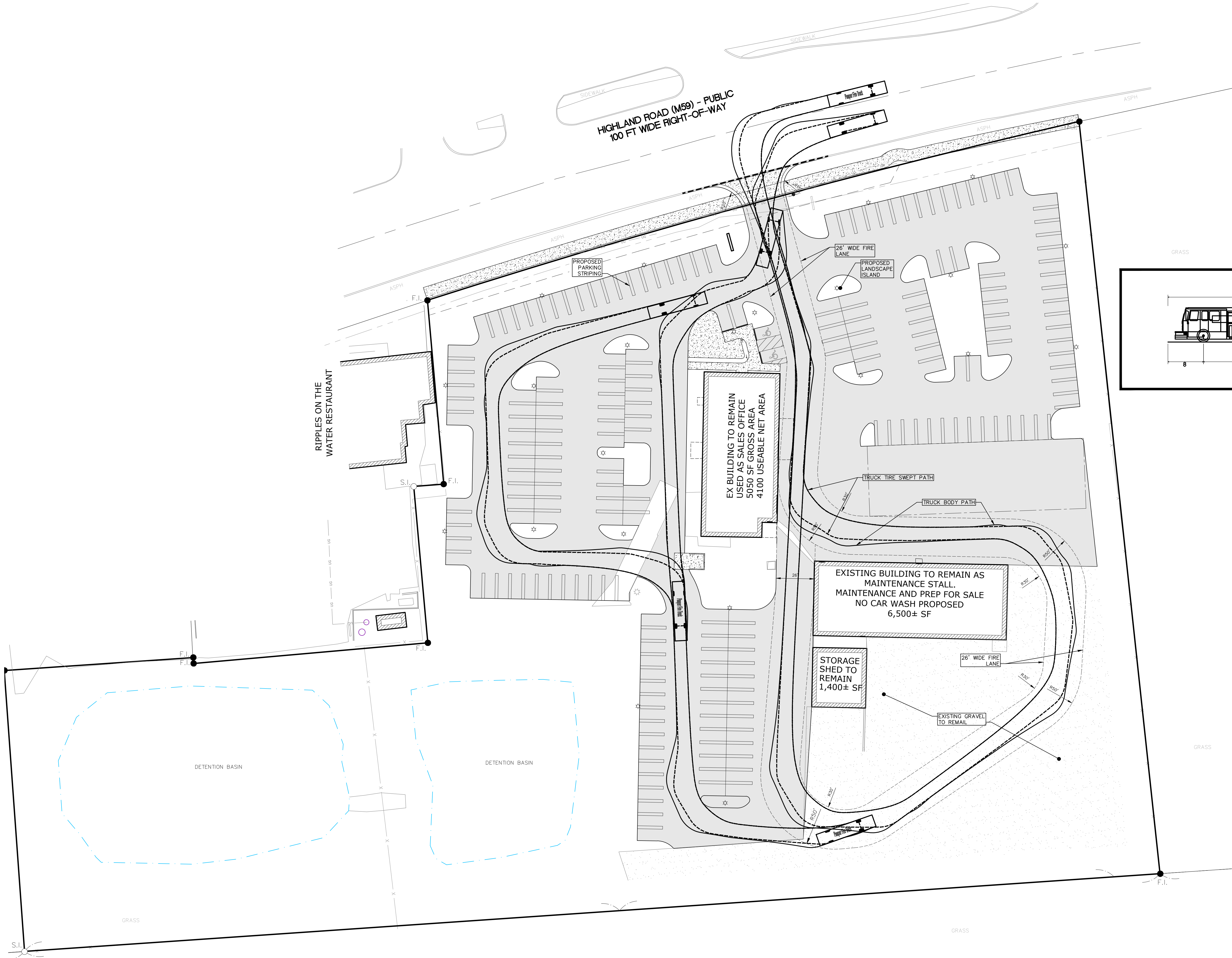
SHEET
C-1

SHEET
C-2



SHEET
C-3





SKL SEIBER KEAST LEHNER ENGINEERING | SURVEYING

CLINTON TOWNSHIP OFFICE
1700 CLINTON TOWNSHIP, MI 48038
586-418-7050

FARMINGTON HILLS OFFICE
39920 FARMINGTON HILLS, MI 48331
248-306-3331

© COPYRIGHT 2021

1. REV PER TWP	01-06-25
2. REV PER TWP	03-03-25
3. REV PER TWP	
4. REV PER TWP	
5. REV PER TWP	
6. REV PER TWP	
7. REV PER TWP	
8. REV PER TWP	
9. REV PER TWP	
10. REV PER TWP	

811

3 WORKING DAYS BEFORE YOU DIG
CALL 811 OR 1-800-487-7171
FOR A FREE COPY OF THE GUIDE TO UNDERGROUND UTILITIES

CLIENT:
**WHITE LAKE MOTORS,
MICHIGAN AUTO GROUP**
48260 FRANK STREET
WIXOM, MI 48393

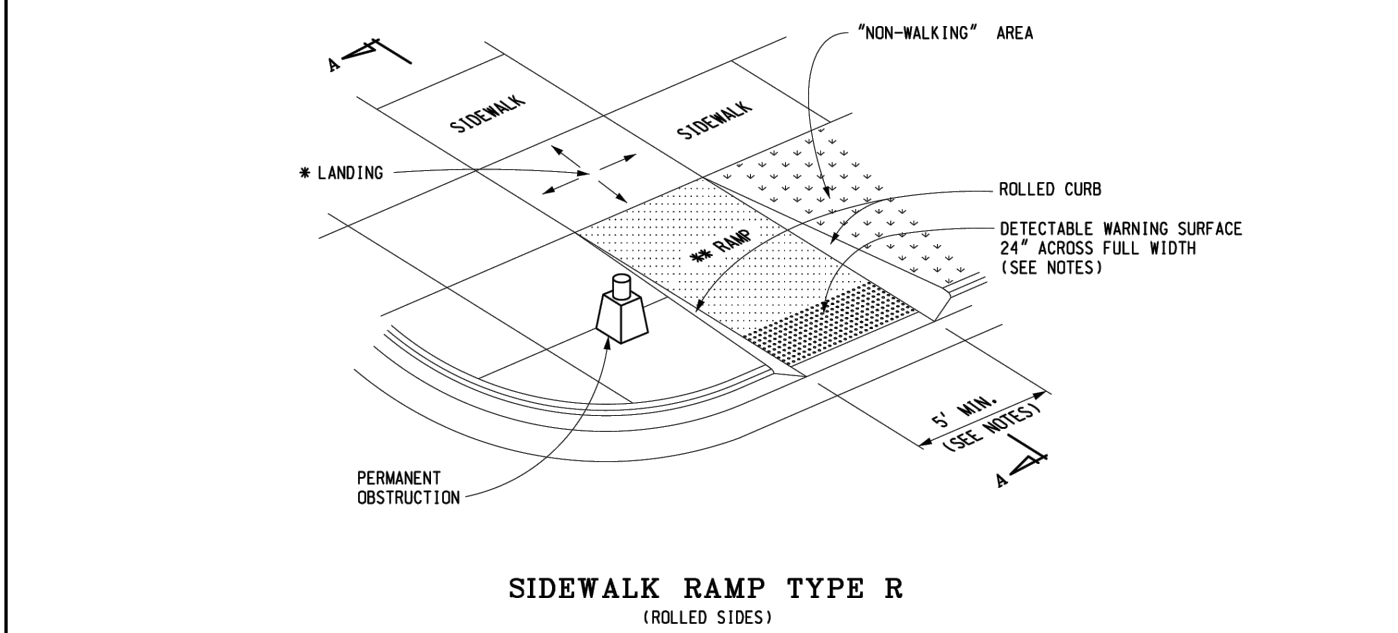
PROJECT NAME:
WHITE LAKE MOTORS

SHEET TITLE:
EMERGENCY VEHICLE ROUTE

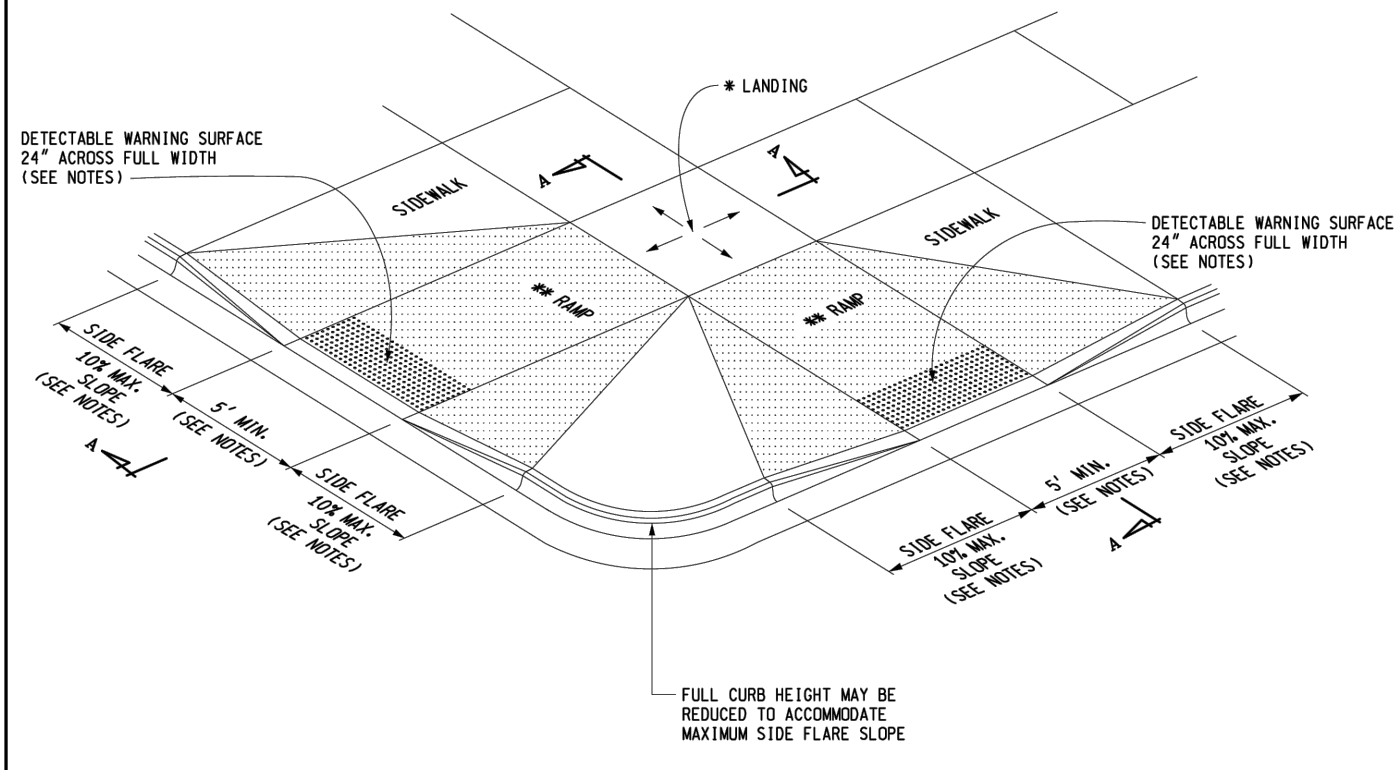
JOB NO.:
24-084

SHEET
C-6

- MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (6.3% MAXIMUM). SEE NOTES.



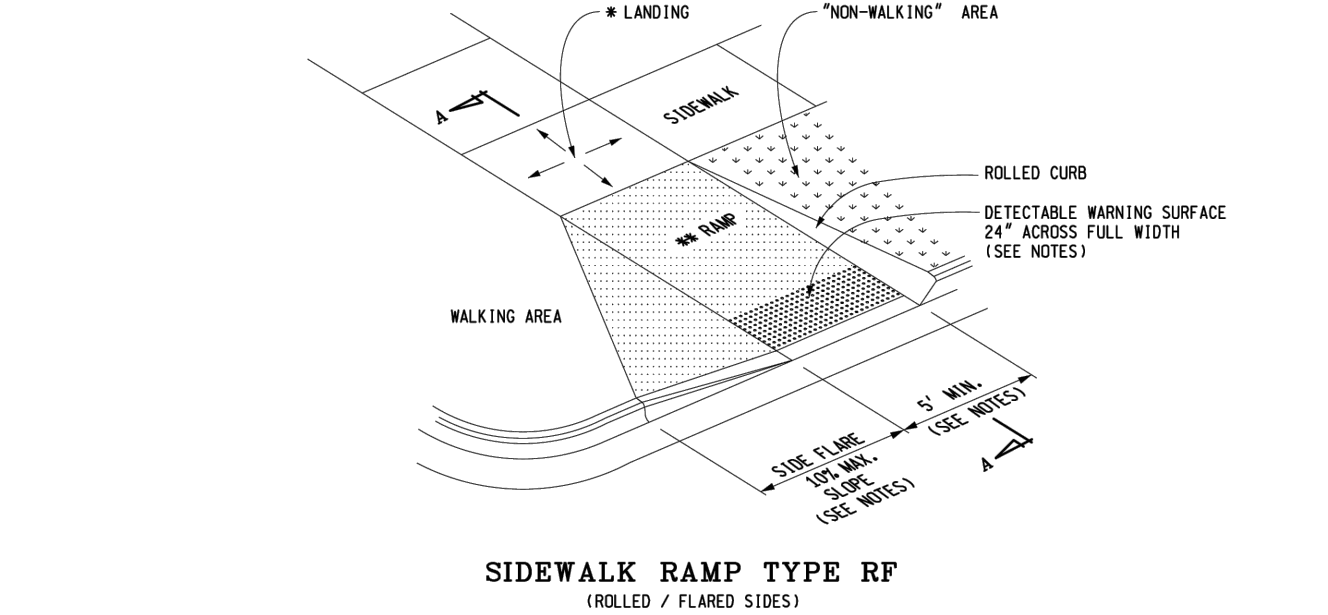
SIDEWALK RAMP TYPE R
(ROLLED SIDES)



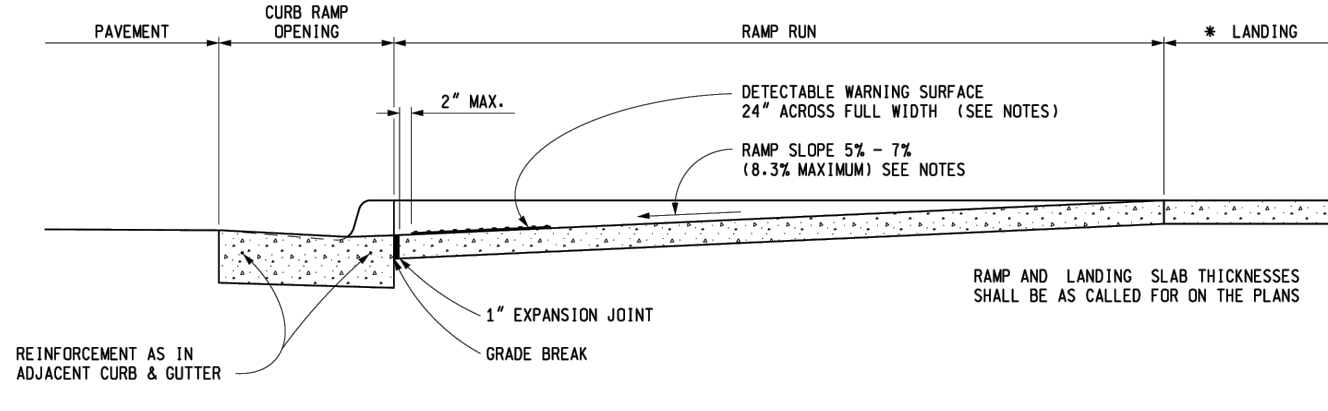
SIDEWALK RAMP TYPE F
(FLARED SIDES, TWO RAMPS SHOWN)

<p>PREPARED BY DESIGN DIVISION UNIFORMITY: B.L.L. CHECKED BY: B.L.L.</p>	DEPARTMENT DIRECTOR Kirk T. Stoude		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES		SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
	APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT		F.J.H.W.A. APPROVAL	
	12-11-2017 PLAN DATE		R-28-J SHEET 1 OF 1	

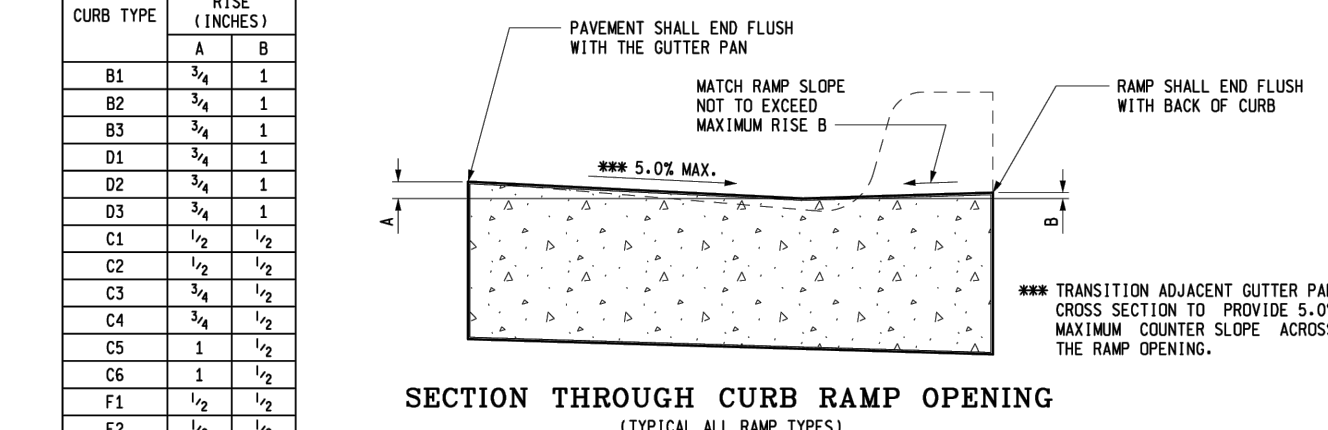
- MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (6.3% MAXIMUM). SEE NOTES.



SIDEWALK RAMP TYPE RF
(ROLLED / FLARED SIDES)



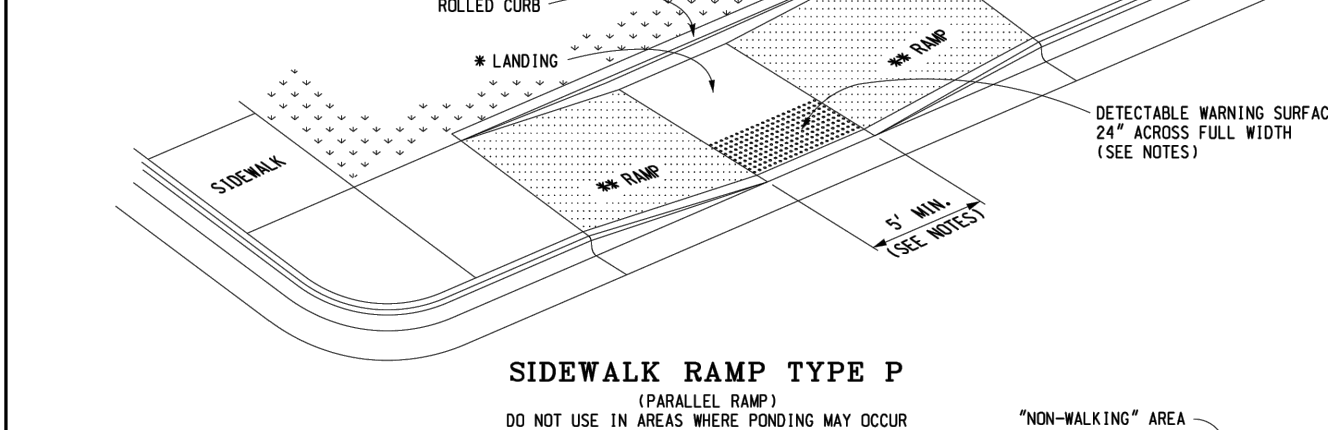
SECTION A-A



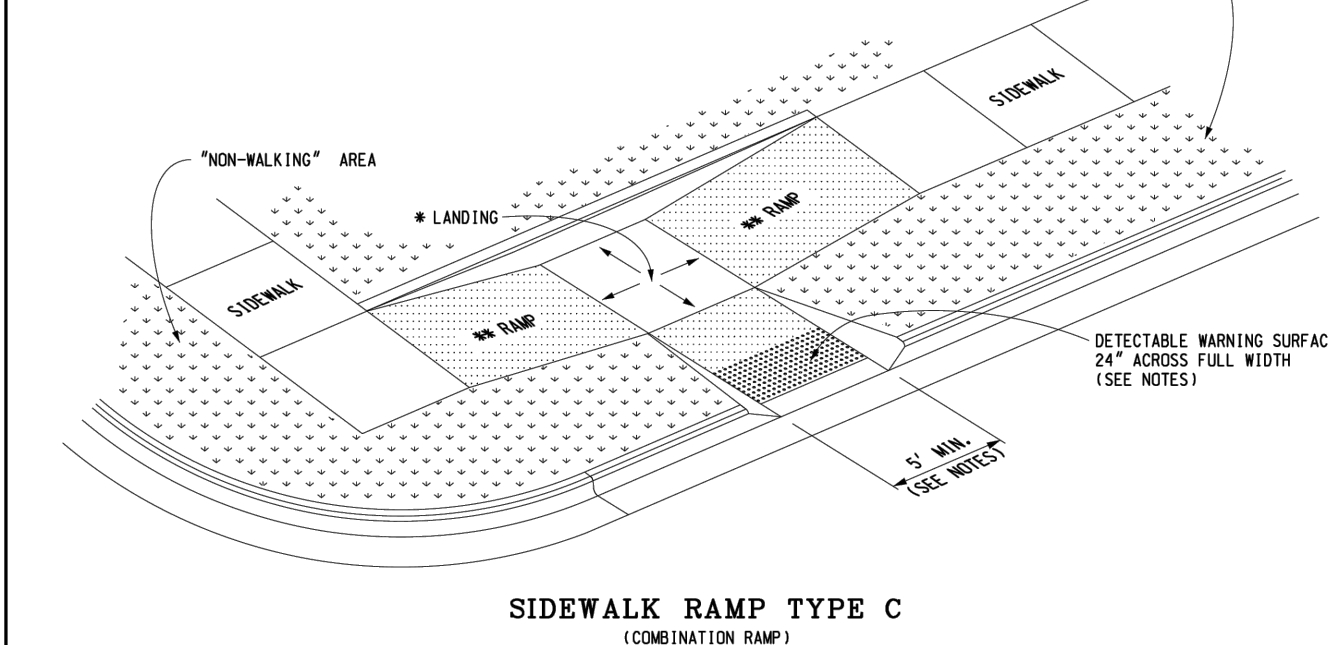
SECTION THROUGH CURB RAMP OPENING
(TYPICAL ALL RAMP TYPES)

<p>PREPARED BY DESIGN DIVISION UNIFORMITY: B.L.L. CHECKED BY: B.L.L.</p>	DEPARTMENT DIRECTOR Kirk T. Stoude		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES		SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
	APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT		F.J.H.W.A. APPROVAL	
	12-11-2017 PLAN DATE		R-28-J SHEET 2 OF 1	

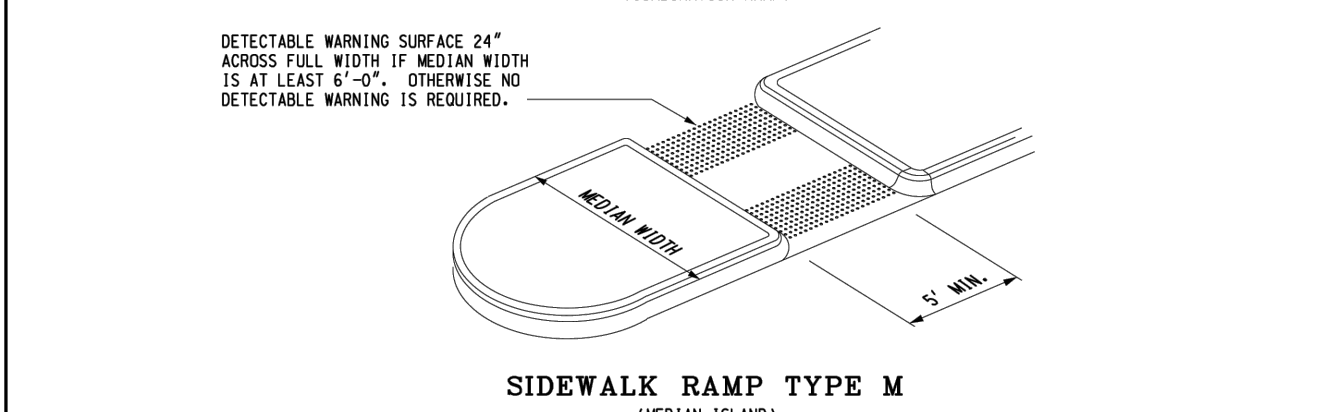
- MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (6.3% MAXIMUM). SEE NOTES.



SIDEWALK RAMP TYPE P
(PARALLEL RAMP)
DO NOT USE IN AREAS WHERE PONDING MAY OCCUR



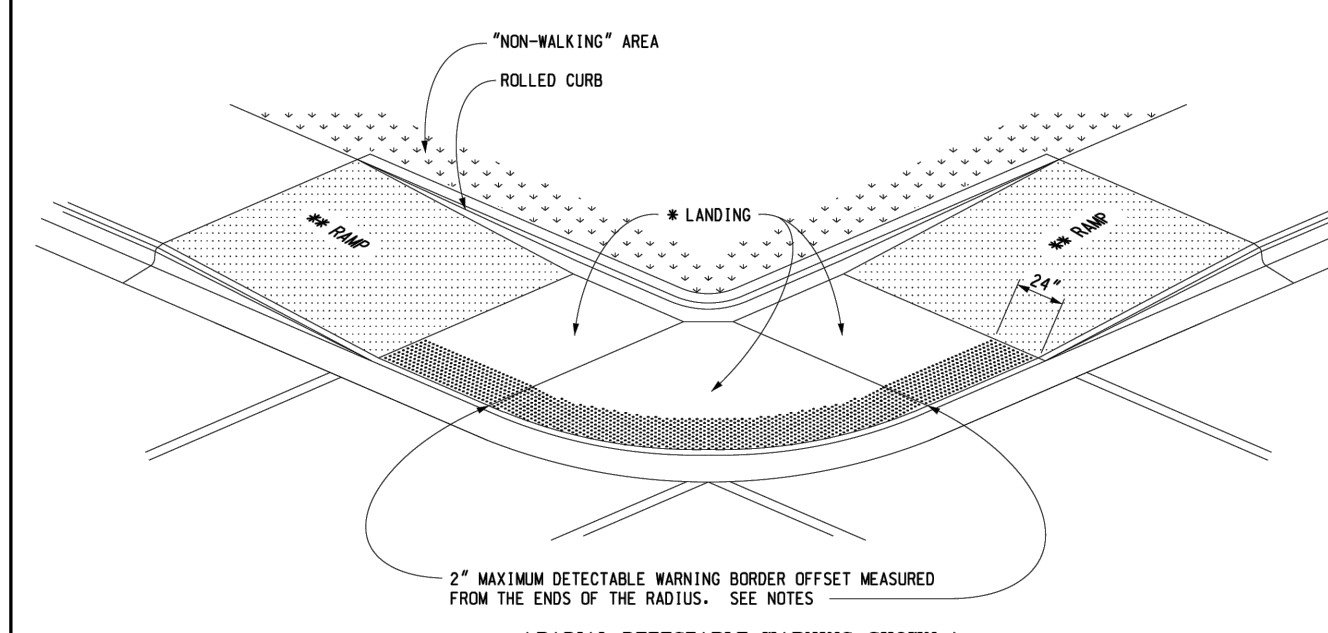
SIDEWALK RAMP TYPE C
(COMBINATION RAMP)



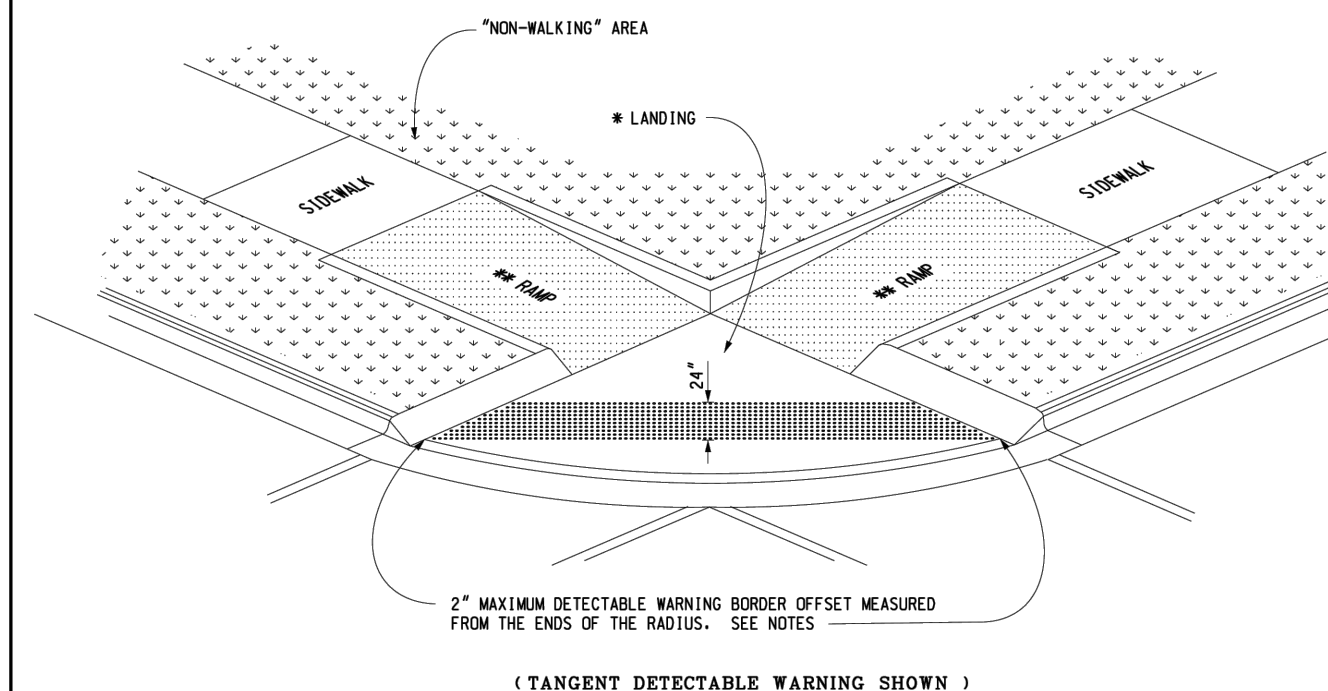
SIDEWALK RAMP TYPE M
(MEDIAN ISLAND)

<p>PREPARED BY DESIGN DIVISION UNIFORMITY: B.L.L. CHECKED BY: B.L.L.</p>	DEPARTMENT DIRECTOR Kirk T. Stoude		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES		SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
	APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT		F.J.H.W.A. APPROVAL	
	12-11-2017 PLAN DATE		R-28-J SHEET 3 OF 1	

- MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
- MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (6.3% MAXIMUM). SEE NOTES.

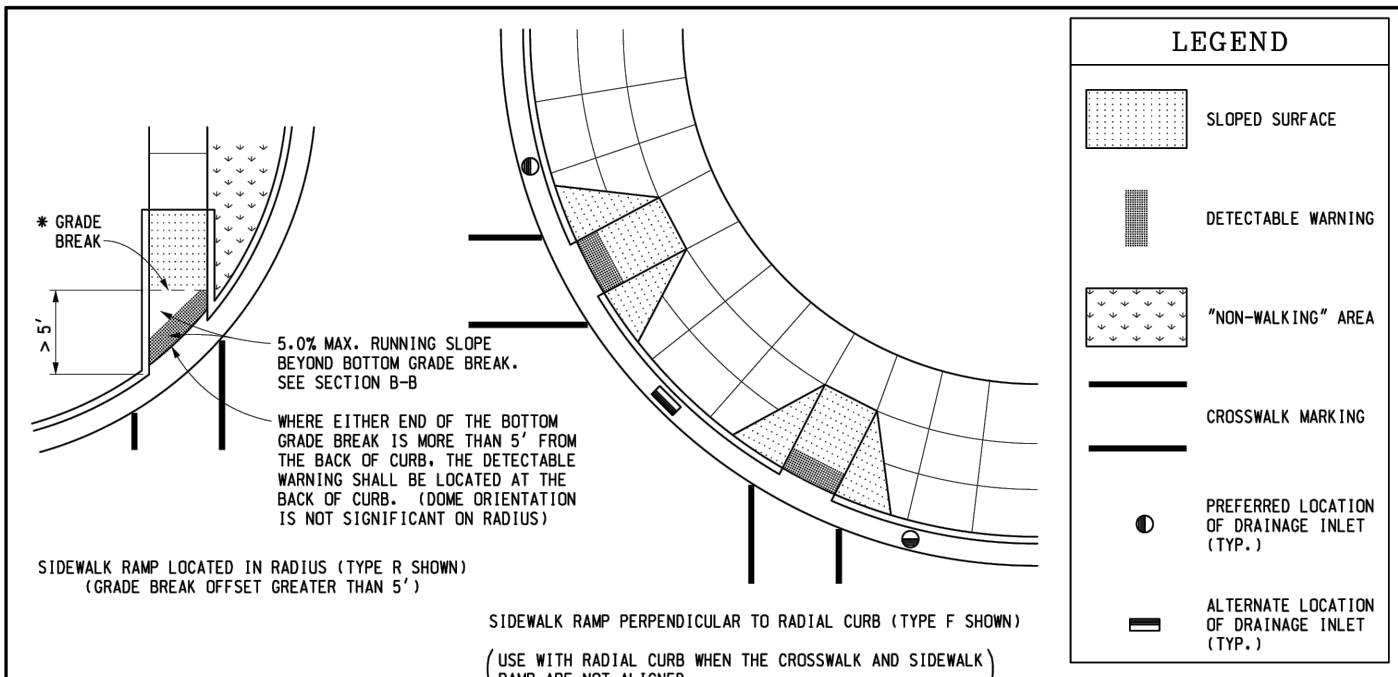


SIDEWALK RAMP TYPE D
(OVERCROSSED CORNER)

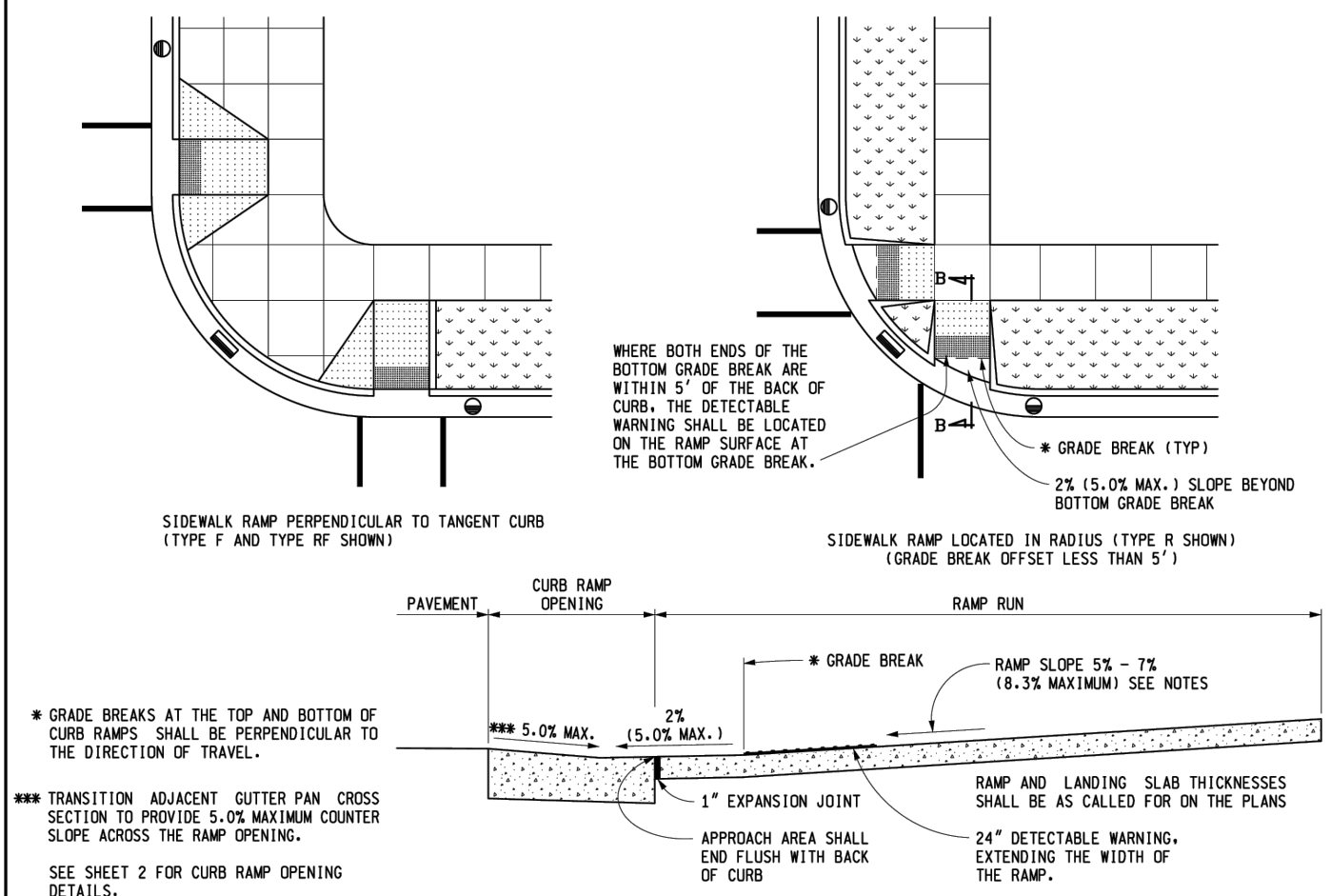


SIDEWALK RAMP TYPE D
(TANGENT DETECTABLE WARNING SHOWN)

<p>PREPARED BY DESIGN DIVISION UNIFORMITY: B.L.L. CHECKED BY: B.L.L.</p>	DEPARTMENT DIRECTOR Kirk T. Stoude		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES		SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
	APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT		F.J.H.W.A. APPROVAL	
	12-11-2017 PLAN DATE		R-28-J SHEET 4 OF 1	

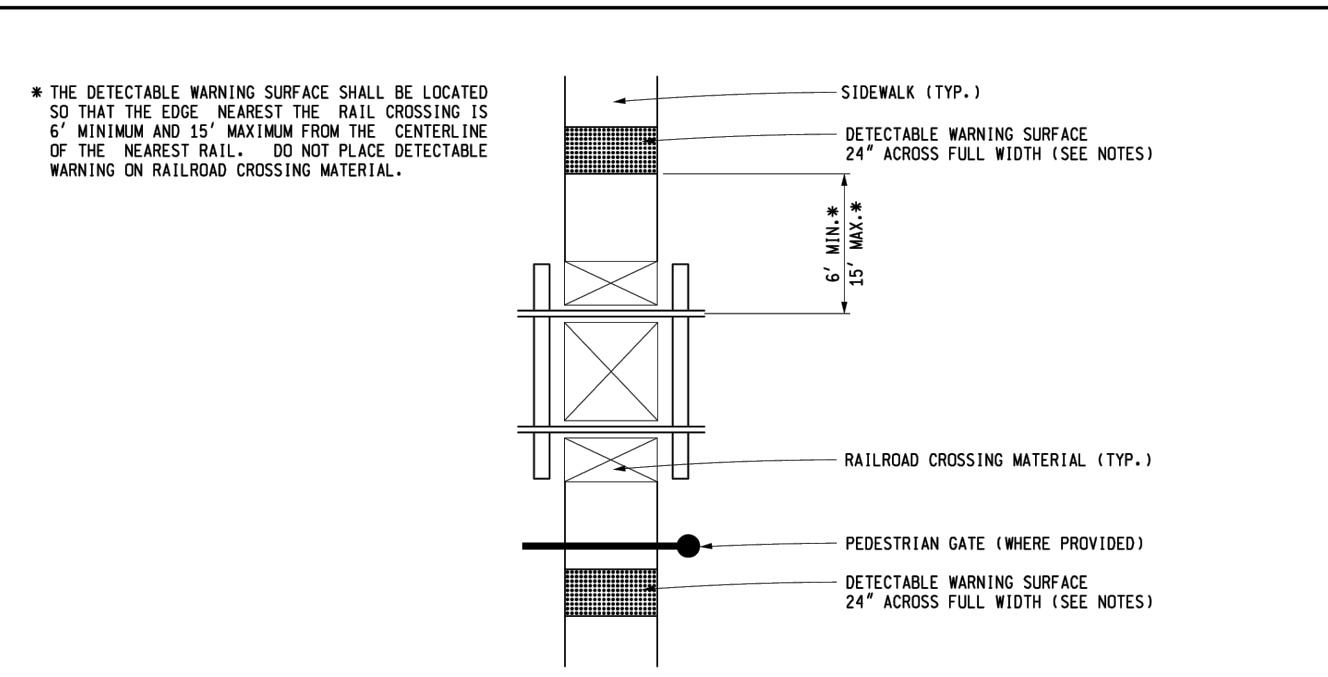


SECTION B-B
SIDEWALK RAMP ORIENTATION

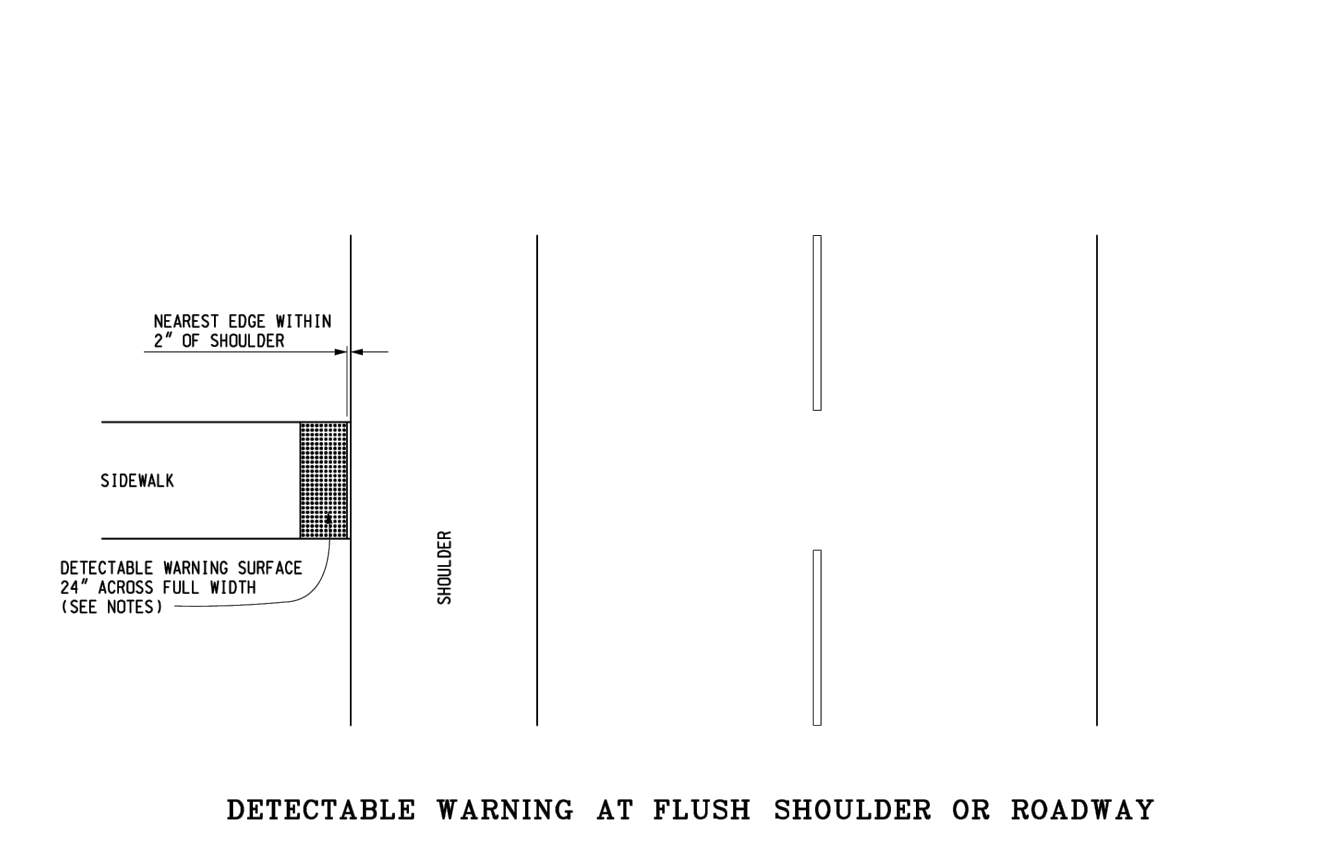


SECTION B-B
SIDEWALK RAMP ORIENTATION

<p>PREPARED BY DESIGN DIVISION UNIFORMITY: B.L.L. CHECKED BY: B.L.L.</p>	DEPARTMENT DIRECTOR Kirk T. Stoude		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES		SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
	APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT		F.J.H.W.A. APPROVAL	
	12-11-2017 PLAN DATE		R-28-J SHEET 6 OF 1	

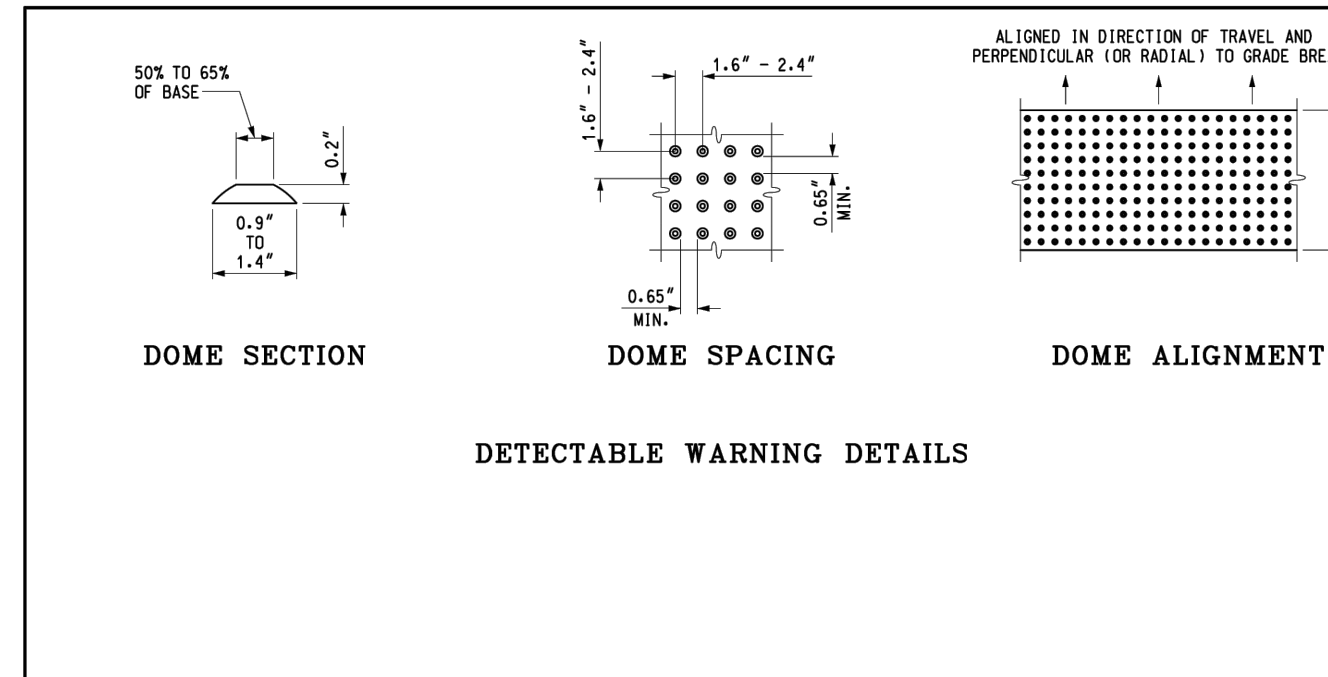


DETECTABLE WARNING AT RAILROAD CROSSING



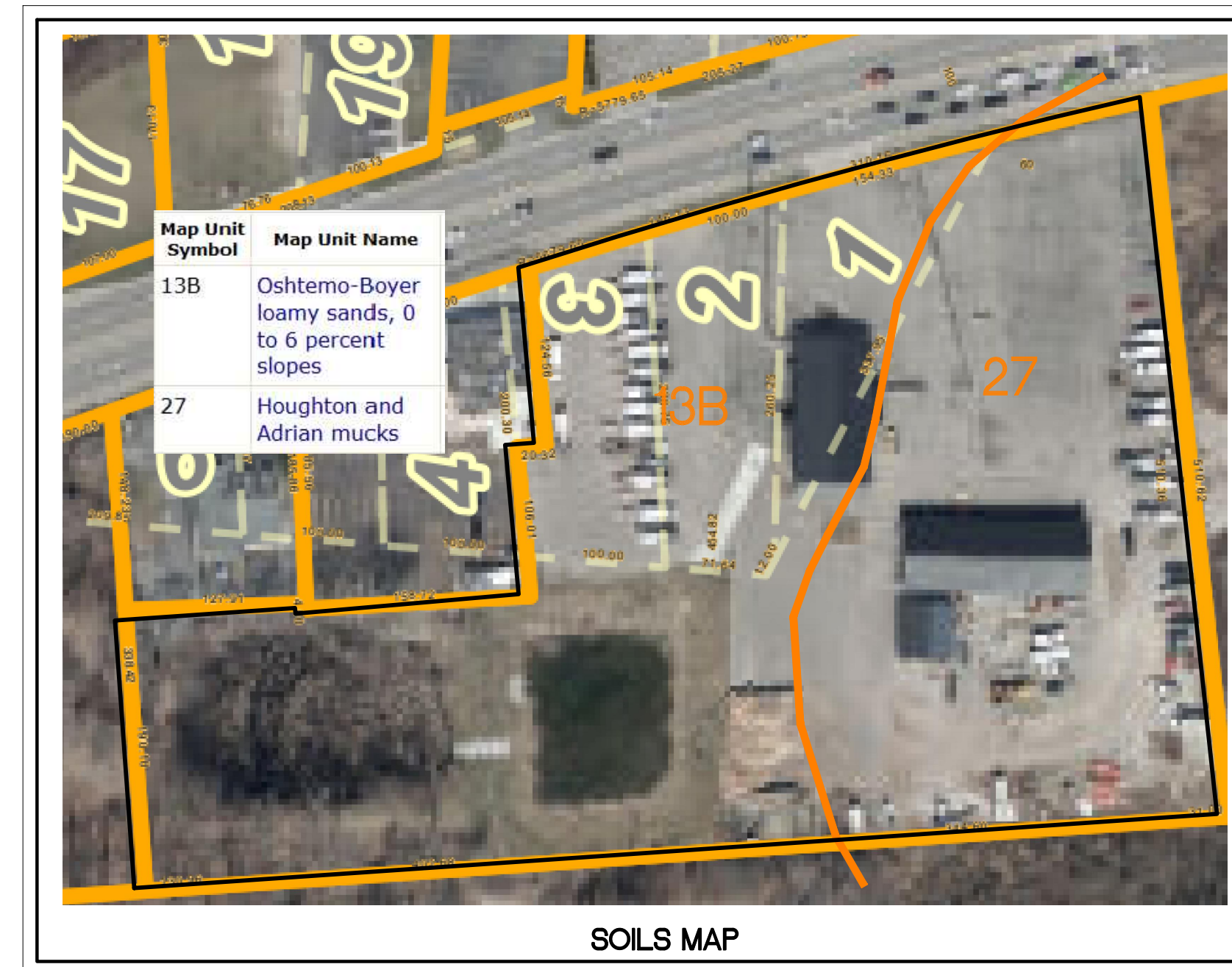
DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

<p>PREPARED BY DESIGN DIVISION UNIFORMITY: B.L.L. CHECKED BY: B.L.L.</p>	DEPARTMENT DIRECTOR Kirk T. Stoude		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES		SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
	APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT		F.J.H.W.A. APPROVAL	
	12-11-2017 PLAN DATE		R-28-J SHEET 5 OF 1	



DETECTABLE WARNING DETAILS

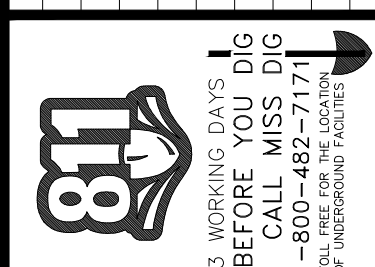
<p>PREPARED BY DESIGN DIVISION UNIFORMITY: B.L.L. CHECKED BY: B.L.L.</p>	DEPARTMENT DIRECTOR Kirk T. Stoude		MICHIGAN DEPARTMENT OF TRANSPORTATION BUREAU OF DEVELOPMENT STANDARD PLAN FOR	
	APPROVED BY: DIRECTOR, BUREAU OF FIELD SERVICES		SIDEWALK RAMP AND DETECTABLE WARNING DETAILS	
	APPROVED BY: DIRECTOR, BUREAU OF DEVELOPMENT		F.J.H.W.A. APPROVAL	
	12-11-2017 PLAN DATE		R-28-J SHEET 1 OF 1	



SOILS MAP



1. REV PER TYP	01-06-25
2. REV PER TYP	03-03-25
3. REV PER TYP	
4. REV PER TYP	
5. REV PER TYP	
6. REV PER TYP	
7. REV PER TYP	
8. REV PER TYP	
9. REV PER TYP	
10. REV PER TYP	



CLIENT:
**WHITE LAKE MOTORS,
MICHIGAN AUTO GROUP**
48260 FRANK STREET
WIXOM, MI 48393

PROJECT NAME:
WHITE LAKE MOTORS

SHEET TITLE:
ADA RAMP DETAILS

JOB NO.:
24-084

SHEET
M-1

Benchmarks:

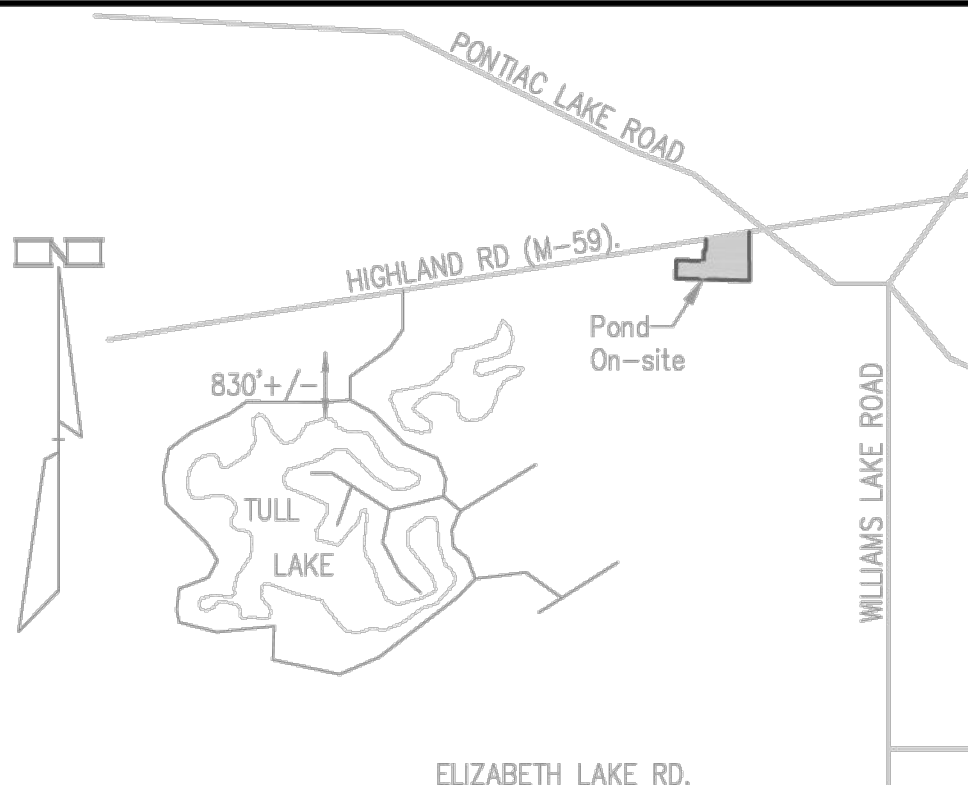
BM #1 - ARROW OF EXISTING HYDRANT
LOCATED AT THE NW CORNER OF SUBJECT
PROPERTY.
ELEVATION - 963.86 NAVD '88

BM #2 - ARROW OF EXISTING HYDRANT
LOCATED ON THE SIDE OF ENTRANCE
TO SUBJECT PROPERTY.
ELEVATION - 966.78 NAVD '88

I HEREBY CERTIFY THAT THESE AS-BUILT DRAWINGS DATED **1-18-2021**
ARE A TRUE AND ACCURATE REPRESENTATION AND ARE IN CONFORMANCE WITH THE APPROVED PLANS OF THE
AS-CONSTRUCTED CONDITIONS FOR ALL ROADS AND STRUCTURES AT "GENERAL RV CENTER" PROJECT.

BY: *Patrick C. McWilliams*
PATRICK C. MCWILLIAMS P.E. 31658

Highland Road (M-59) 100' wd.
ARC=456.27'
RADIUS=5679.65'
DELTA=4°36'10"
LC=N 77°33'20" E
456.14'

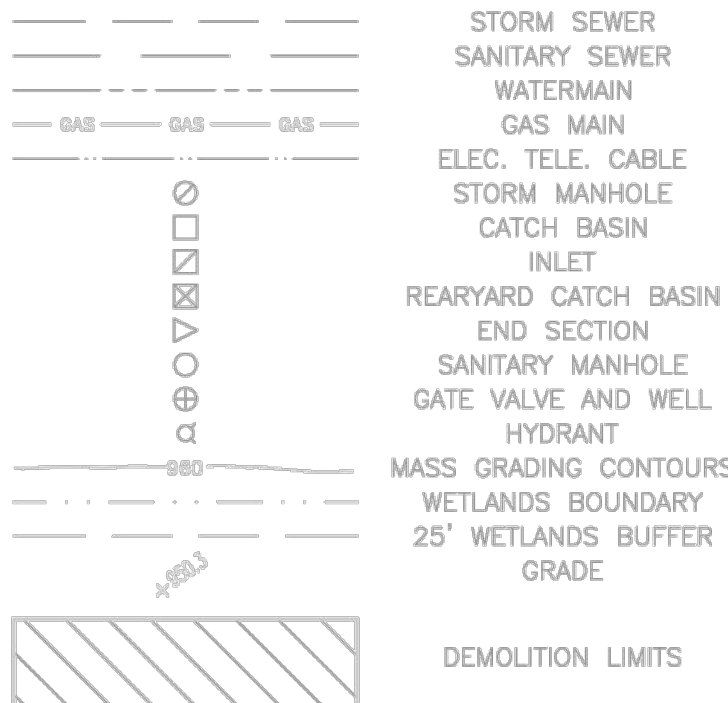


Location Map
SCALE: 1" = 2000'

Notes:

- ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING, WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS OF OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION ACTIVITIES.
- ARCHITECT/BUILDER IS RESPONSIBLE FOR CONFIRMING BUILDING SETBACKS.
- SEE BUILDER/CONTRACTOR FOR SPECIFIC DEMOLITION REMOVAL, RELOCATE, REUSE AND MAINTAIN INSTRUCTIONS.

LEGEND



This is to certify that I, *Patrick C. McWilliams*, a Professional Land Surveyor, have this date made a survey of a parcel of land described as follows:

Parcel 12-13-455-024

File No: 63-20705761-GCM
Exhibit "A"
The land referred to in this commitment is described as follows: Township of White Lake, County of Oakland, State of Michigan

Town 3 North, Range 8 East, Section 13, Huron River Subdivision, recorded in Liber 57, Page 55 of Plats, Lot 1, also part of Lot 2, also part of vacated Old Highland Road, also part of Southeast 1/4, all described as beginning at point distance North 88 degrees 58 minutes 56 seconds East 980.48 feet from South 1/4 corner, thence North 04 degrees 08 minutes 57 seconds East 454.82 feet, thence along curve to right, radius 5679.65 feet, chord bears North 78 degrees 20 minutes 25 seconds East 310.12 feet, distance of 310.16 feet, thence South 00 degrees 14 minutes 00 seconds West 510.36 feet, thence South 88 degrees 58 minutes 56 seconds West 334.60 feet to beginning, also part of Southeast 1/4 beginning at point distance North 88 degrees 58 minutes 56 seconds East 1315.08 feet from South 1/4 corner, thence North 00 degrees 14 minutes 00 seconds East 510.36 feet, thence South 03 degrees 14 minutes 47 seconds East 510.62 feet, thence South 88 degrees 58 minutes 56 seconds West 31 feet to beginning, also of Huron River Subdivision, part of Lots 2, 3 and 4, also part of Southeast 1/4, all described as beginning at point distance North 88 degrees 58 minutes 56 seconds East 577.80 feet, from South 1/4 corner, thence North 01 degrees 14 minutes 00 seconds West 190.10 feet, thence North 88 degrees 58 minutes 56 seconds East 127.91 feet, thence South 4 feet, thence North 87 degrees 52 minutes 09 seconds East 158.72 feet, thence North 02 degrees 15 minutes 42 seconds West 106.01 feet, thence North 88 degrees 29 minutes 50 seconds East 20.32 feet, thence North 02 degrees 10 minutes 17 seconds West 124.56 feet, thence along curve to right, radius 5679.65 feet, chord bears North 75 degrees 52 minutes 59 seconds East 146.13 feet, distance of 146.13 feet, thence South 04 degrees 08 minutes 57 seconds West 454.82 feet, thence South 88 degrees 58 minutes 56 seconds West 402.68 feet to beginning.

Sheet Index:

- Existing Conditions & Demolition Plan
- Proposed Site Plan & Quantities
- Storm Profiles, Calculations & Details
- Soil Erosion Control Plan
- WRC Soil Erosion and Sedimentation Control Details



"AS-BUILT" 1-18-2021

Existing Conditions & Demolition Plan
General RV Center

PART OF THE SE 1/4 OF SECTION 13, T3N, R8E,
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'

SHEET 1 OF 5

KE 2020.253

Oakland County Parks
12-24-200-008
ROS

ADDRESS:
GENERAL RV CENTER
8285 HIGHLAND ROAD (M-59)
WHITE LAKE, MICHIGAN 48386

Agency
WHITE LAKE TOWNSHIP
OAKLAND COUNTY WATER RESOURCE COMMISSION
MICHIGAN DEPT. OF ENVIRONMENTAL QUALITY, GREAT LAKE & ENERGY

APPROVALS

Description
ENGINEERING APPROVAL (DLZ/J & A)
SOIL EROSION PERMIT NO.
N.P.D.E.S. NOTICE TO COVER

Date Issued
Expiration Date

NOT REQUIRED SINCE < 1 ACRES DISRUPTION

NOT REQUIRED (< 5 ACRES DISRUPTION)

Parcel is Zoned C-4:
Mixed Business

Setbacks:

Minimum Front Yard - 50 Feet
Minimum Side Yard - 15 Ft one side
30 Ft total of two
Minimum Rear Yard - 20 Ft

PROPRIETOR:

SCHONSHECK, INC.
5055 PONTIAC TRAIL
WIXOM, MICHIGAN 48393
(248) 787-4639 KENT BURZYNSKI
Email: kent@schonscheck.com

THIS DRAWING IS THE PROPERTY OF KIEFT
ENGINEERING, INC. AND MAY NOT BE USED,
REPRODUCED OR PUBLISHED, IN PART OR
IN WHOLE, WITHOUT EXPRESSED WRITTEN
PERMISSION FROM KIEFT ENGINEERING, INC.



KIEFT ENGINEERING, INC.

PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE 10-12-2020 CKD. BY DATE
DRAWN GF
DESIGN PCM
SECTION 13 T-3-N-R-8-E

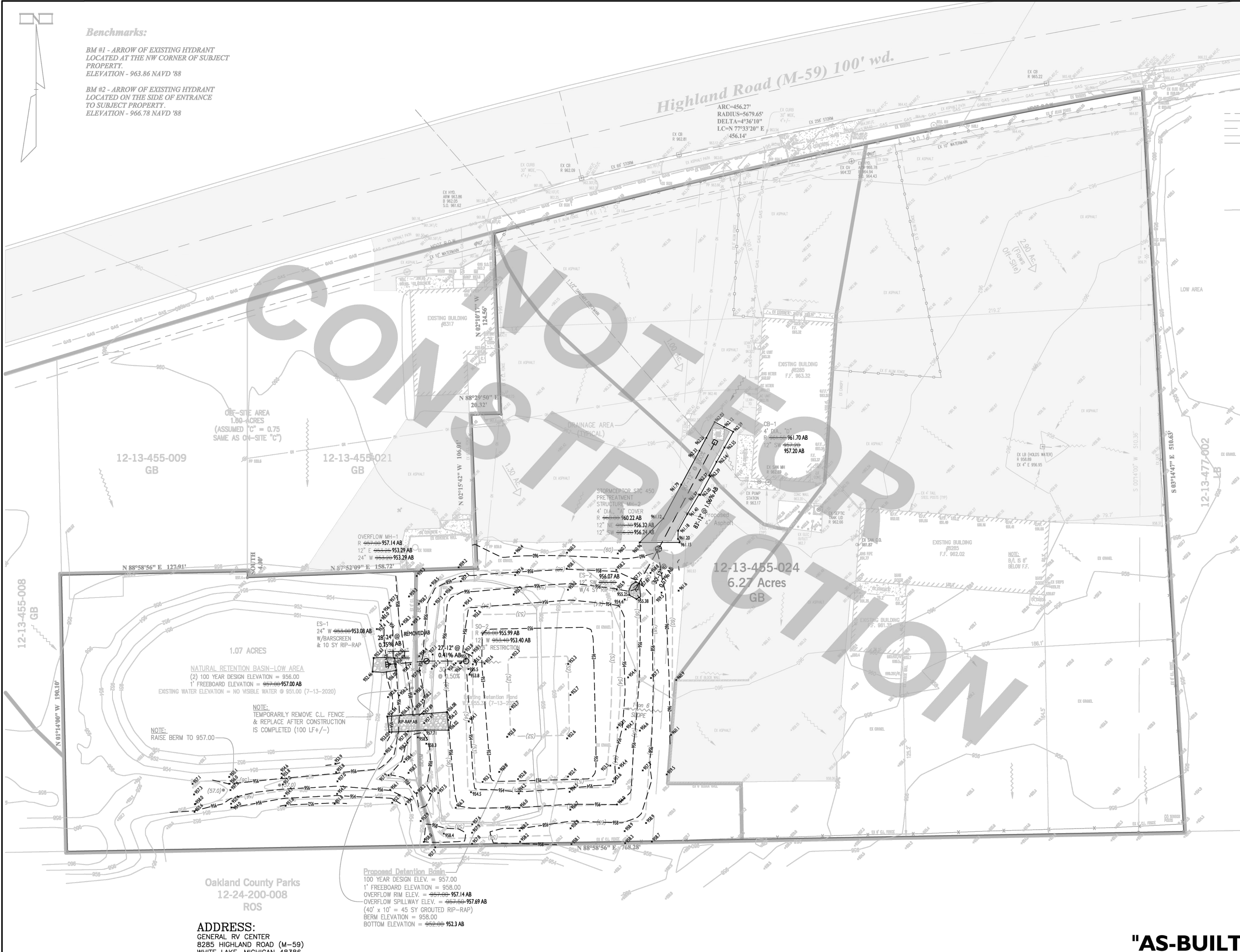


72 HOURS
(3 WORKING DAYS) BEFORE YOU DIG
CALL MISS DIG
800-482-7171
(TOLL FREE)

Benchmarks:

BM #1 - ARROW OF EXISTING HYDRANT
LOCATED AT THE NW CORNER OF SUBJECT
PROPERTY.
ELEVATION - 963.86 NAVD '88

BM #2 - ARROW OF EXISTING HYDRANT
LOCATED ON THE SIDE OF ENTRANCE
TO SUBJECT PROPERTY.
ELEVATION - 966.78 NAVD '88



LEGEND

EXISTING		PROPOSED
---	STORM SEWER	---
---	SANITARY SEWER	---
---	WATERMAIN	---
---	GAS MAIN	---
---	ELEC. TELE. CABLE	---
---	STORM MANHOLE	---
---	CATCH BASIN	---
---	INLET	---
---	REARYARD CATCH BASIN	---
---	END SECTION	---
---	SANITARY MANHOLE	---
---	GATE VALVE AND WELL	---
---	HYDRANT	---
---	CONTOURS	---
---	FINISH FLOOR	---
---	MATCH ELEVATION	---
---	TOP OF CURB	---
---	TOP OF SIDEWALK	---
---	TOP OF PAVEMENT	---

Quantities

DISRUPTION AREA: 0.90 ACRES

ONSITE DEMOLITION:

SAWCUT PAVEMENT - 252 LF (ON-SITE)
REMOVE EXISTING ASPHALT - 1,650 SF (ON-SITE)
REMOVE EXISTING 4" STORM PIPE - 28 LF (ON-SITE)

GRADING:

CUTS/FILLS - TBD

SANITARY, ETC:

NONE

WATERMAIN:

NONE

ON-SITE STORM SEWER:

6" PERFORATED HDPE EDGE DRAIN @ (1) CATCH BASINS
INCLUDING SOCK & PEA PEBBLE - 25 LF
12" C76 CL4 PREMIUM JOINT PIPE - 144 LF
24" C76 CL4 PREMIUM JOINT PIPE - 22 LF
CONSTRUCT 4' DIA., CATCH BASIN W/EJIW 5105 "D" COVER - 1 EA
CONSTRUCT 4' DIA., OVERFLOW MANHOLE W/BARGRATE COVER - 1 EA
CONSTRUCT 4' DIA., PRETREATMENT STC 450 STORMCEPTOR
MANHOLE EJIW "A" COVER - 1 EA
CONSTRUCT 36" DIA., CMP S0-2 STANDPIPE - 1 EA
12" CONCRETE END SECTION (6' LENGTH) - 1 EA
24" CONCRETE END SECTION (6' LENGTH) - 1 EA
GROUTED RIP-RAP - 59 SY

GAS SERVICE:

NONE

PAVEMENT & CURBS, ETC.:

4" ASPHALT OVER 6"-21AA GRAVEL - 120 SY
8"x8"x12" THICK REINFORCED CONCRETE COLLARS
AT CATCH BASIN - 1 EA
REMOVE C.L. FENCE BY DETENTION POND TEMPORARILY &
REPLACE AFTER CONSTRUCTION - 100 LF+/-

SOIL EROSION CONTROLS:

SEED & MULCH - 0.90 ACRES
CATCH BASIN FILTERS - 1 EA
SILT FENCE - 1040 LF
SILT FENCE GRAVEL FILTER - 1 EA

"AS-BUILT" LEGEND

AB	ASBUILT
25.4' AB	ASBUILT GRADES
24' - 12' AB	ASBUILT WITNESS
ASBUILT STORM SEWER	
ASBUILT FLOW	

Oakland County Parks
12-24-200-008
ROS

ADDRESS:
GENERAL RV CENTER
8285 HIGHLAND ROAD (M-59)
WHITE LAKE, MICHIGAN 48386

PROPRIETOR:
SCHONSHECK, INC.
5055 PONTIAC TRAIL
WIXOM, MICHIGAN 48393
(248) 787-4639 KENT BURZYNSKI
Email: kent@schonsheck.com

THIS DRAWING IS THE PROPERTY OF KIEFT
ENGINEERING, INC. AND MAY NOT BE USED,
REPRODUCED OR PUBLISHED, IN PART OR
IN WHOLE, WITHOUT EXPRESSED WRITTEN
PERMISSION FROM KIEFT ENGINEERING, INC.



KIEFT ENGINEERING, INC.
PROFESSIONAL ENGINEERS AND PROFESSIONAL SURVEYORS
5852 SOUTH MAIN STREET, SUITE 1, CLARKSTON, MICHIGAN 48346
PHONE (248) 625-5251 www.kiefteng.com FAX (248) 625-7110

DATE 10-12-2020	CKD. BY	DATE
DRAWN GF		
DESIGN PCM		
SECTION 13	T- 3 -N. R- 8 -E.	



"AS-BUILT" 1-18-2021

Proposed Site Plan
General RV Center
PART OF THE SE 1/4 OF SECTION 13, T3N, R8E,
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30'
SHEET 2 OF 5
KE 2020.253

100 YEAR DETENTION BASIN CALCULATIONS (IE WITH OUTLET)

ONSITE CONTRIBUTING AREA = 5.20 ACRES
OFFSITE CONTRIBUTING AREA = 0
TOTAL CONTRIBUTING AREA = 5.20 ACRES
RUNOFF COEFFICIENT (C) = 0.75
 $Q_A = (0.20)(5.20 \text{ ACRES}) = 1.04 \text{ C.F.S.}$
 $Q_0 = \frac{Q_A}{(A)(C)} = \frac{1.04}{(5.20)(0.75)} = 0.267$
 $T = -25 + \sqrt{\frac{10,312.50}{Q_0}} = 171.65 \text{ MINUTES}$
 $V_S = \frac{16,500 T}{T + 25} - 40 Q_0 T = 12,572 \text{ C.F./ACRE}$
 $V_T \text{ REQ'D} = V_S (C)(A) = (12,572)(0.75)(5.20) = 49,031 \text{ C.F. REQ'D.}$

VOLUME PROVIDED:

953.30:	9,900 SF	11,600 SF AB	8,120 CF AB
954.00:	13,300 SF	16,500 SF AB	33,000 CF AB
955.00:	19,700 SF	21,000 SF AB	21,000 CF AB
956.00:	22,300 SF	21,000 SF AB	21,000 CF AB
957.00:	30,100 SF		

TOTAL = 142,300 CF AB

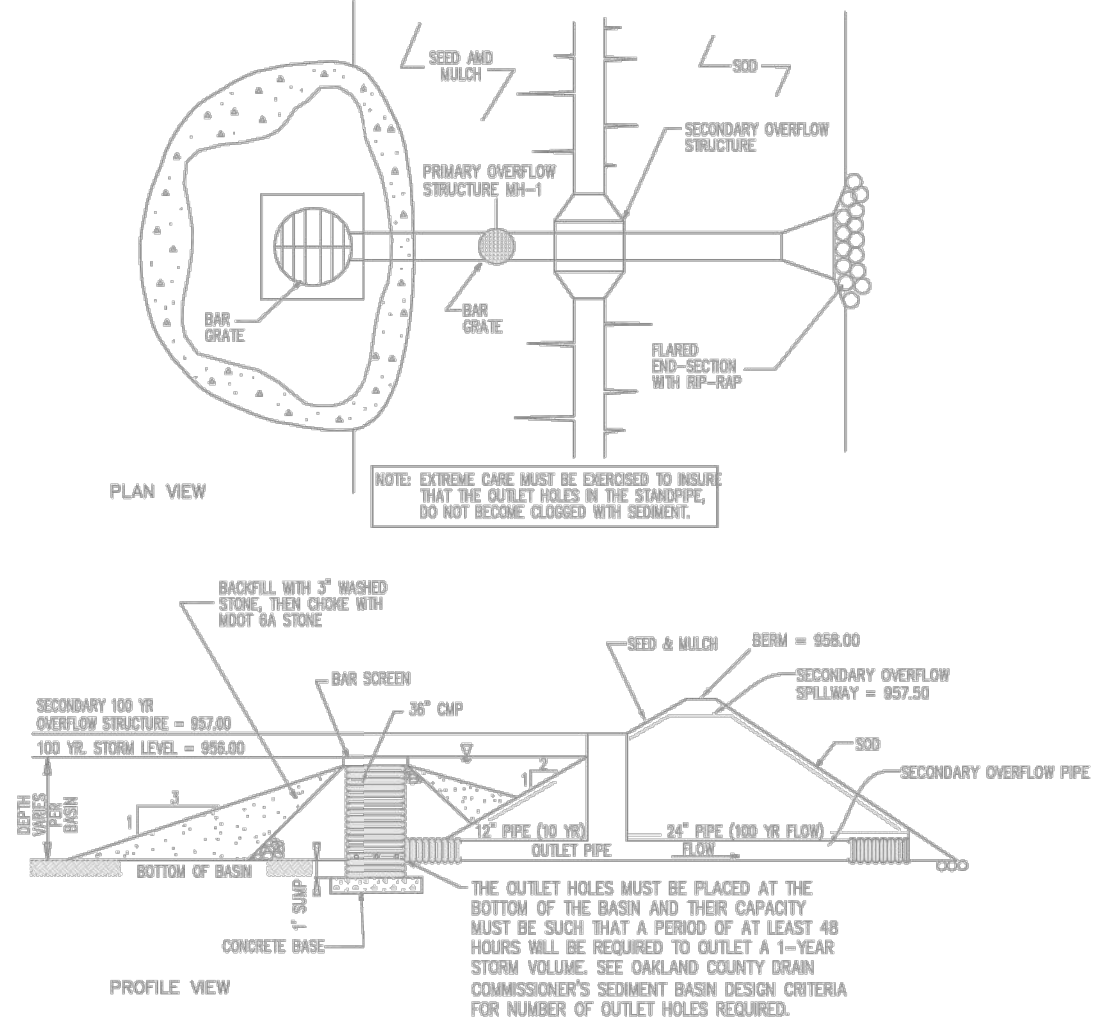
ORIFICE FORMULA

$Q_A = 0.62 (A_0)(2gh)^{1/2}$
 $A_0 = \text{AREA OF ORIFICE PIPE}$
 $g = 32.2 \text{ FT./SEC}^2$
 $H = \text{DEPTH OF BASIN ABOVE CENTERLINE OUTLET PIPE} = [957.00 - (954.00 + \frac{6}{12}) = 954.25] = 2.75'$
 $A_0 = 0.62 (26H)^{1/2} = 0.62 [(2)(32.2)(2.75)]^{1/2} = 0.1260 \text{ S.F.}$
 $DIAMETER ORIFICE (D_0) = D_0 = \sqrt{\frac{4(A_0)}{\pi}} = \sqrt{\frac{4(0.1260)}{\pi}} = 0.4008 \text{ FT.} = 4.81 \text{ INCH}$
USE 4" RESTRICTION

DETENTION BASIN

EXISTING WATER ELEV. = 955.33 (PRIOR TO NEW OUTLET PIPE INSTALLATION)
100 DESIGN HIGH WATER ELEV. = 957.00
1' FREEBOARD ELEV. = 958.00
STORAGE REQUIRED = 49,031 C.F.
STORAGE PROVIDED = 62,300 C.F.
TIME TO DRAIN = 49,031 CF/1.04 CFS = 47,145 SEC/3,600 SEC/HR = 13.10 HOURS

1 Year Storm Volume Calculation Detention Basin Outlet Filter (CMP) SO-2



1 YEAR REQUIRED VOLUME = (4,320)(C)(ACRES)
DETENTION BASIN
1 YEAR REQUIRED VOLUME = (4,320)(0.75)(5.20 AC) = 16,848
1 YEAR STORM LEVEL = 956.00
100 YEAR STORM LEVEL = 957.00
AREA = VOLUME/2' HEIGHT = 8,424 SF
ORIFICE AREA REQUIRED $A = \frac{0.3988(\text{AREA})(\sqrt{\text{HEIGHT}})}{172,800} = 0.0275 \text{ FT}^2$
THUS, IF AREA = 8,424, HEIGHT = 2', THEN $A = 0.0275 \text{ FT}^2$
 $0.0275 \text{ FT}^2 / 0.00545 \text{ FT}^2 \text{ PER } 1" \text{ DIA. HOLE} = 5.05 \text{ HOLES}$
USE (6) 1" DIAMETER HOLES TO OFFSET FOR CLOGGING

ADDRESS:
GENERAL RV CENTER
8285 HIGHLAND ROAD (M-59)
WHITE LAKE, MICHIGAN 48386

(2) 100 YEAR NATURAL RETENTION BASIN CALCULATIONS

ONSITE CONTRIBUTING AREA = 3.37 ACRES
OFFSITE CONTRIBUTING AREA = 1.60 ACRES
TOTAL CONTRIBUTING AREA = 4.97 ACRES
RUNOFF COEFFICIENT (C) = 0.75
 $VOLUME (2) 100 \text{ YR} = (2)(A)(C)(16,500) = (2)(4.97)(0.75)(16,500) = 123,008 \text{ CF}$

VOLUME PROVIDED:

951.0:	15,500 SF	17,900 SF _{AV} x 1' DEPTH = 17,900 CF PROVIDED	113,500 CF (Up to 956.0)
952.0:	20,300 SF	22,100 SF _{AV} x 2' DEPTH = 44,200 CF PROVIDED	
953.0:	23,900 SF	25,700 SF _{AV} x 2' DEPTH = 51,400 CF PROVIDED	
956.0:	27,500 SF	28,800 SF _{AV} x 1' DEPTH = 28,800 CF PROVIDED (Freeboard Capacity)	
957.0:	30,100 SF		

TOTAL = 142,300 CF AB

NATURAL RETENTION BASIN

EXISTING WATER ELEVATION = NONE (7-13-2020)
100 DESIGN HIGH WATER ELEVATION = 956.00
1' FREEBOARD ELEVATION = 957.00
STORAGE REQUIRED = 123,008 CF
STORAGE PROVIDED = 154,800 CF (RETENTION = 113,500 CF)+(DETENTION = 41,300)
(Up to 956.0)

NOTE: IF THE OTHER 2.90 ACRES (FLOWING OFF-SITE) WERE INCLUDED

(2) 100 YEAR NATURAL RETENTION BASIN CALCULATIONS

ONSITE CONTRIBUTING AREA = 6.27 ACRES
OFFSITE CONTRIBUTING AREA = 1.60 ACRES
TOTAL CONTRIBUTING AREA = 7.87 ACRES
RUNOFF COEFFICIENT (C) = 0.75
 $VOLUME (2) 100 \text{ YR} = (2)(A)(C)(16,500) = (2)(7.87)(0.75)(16,500) = 194,783 \text{ CF}$

VOLUME PROVIDED: (INCLUDING 1' FREEBOARD)
STORAGE PROVIDED (UP TO 956.0) 204,600 CF (RETENTION = 142,300 CF)+(DETENTION = 62,300 CF)

EXISTING ON-SITE "C" CALCULATION

TOTAL ON-SITE AREA = 6.27 ACRES
ON-SITE AREA DRAINING TO DETENTION POND = 5.20 ACRES
ON-SITE AREA DRAINING TO LOW AREA/WELANDS = 1.07 ACRES
6.27 ACRES

EXISTING BUILDINGS:
0.312 ACRES=13,600 SF @ C = 0.90

ASPHALT PAVEMENT/CONCRETE AREAS:
3.038 ACRES=132,351 SF @ C = 0.90

GRAVEL AREAS:
1.46 ACRES=63,561 SF @ C = 0.50

DETENTION POND LOW WATER (953.40) AREA:
0.263 ACRES=11,440 SF @ C = 1.00

NATURAL RETENTION BASIN ASSUMED WATER (953.00) AREA:
0.505 ACRES=22,000 SF @ C = 1.00

REMAINING GREENBELT AREAS:
0.692 ACRES=30,109 SF @ C = 0.20

$$C' = \left(\frac{0.312 \text{ AC} \times 0.90}{6.27 \text{ AC}} \right) + \left(\frac{3.038 \text{ AC} \times 0.90}{6.27 \text{ AC}} \right) + \left(\frac{1.46 \text{ AC} \times 0.50}{6.27 \text{ AC}} \right) + \left(\frac{0.768 \text{ AC} \times 1.00}{6.27 \text{ AC}} \right) + \left(\frac{0.692 \text{ AC} \times 0.20}{6.27 \text{ AC}} \right) = 0.742 \quad C = 0.75$$

STORM SEWER CALCULATION TO CB-1

$Q = AC; A = 1.0 \text{ ACRES}, C = 0.75, I = \frac{175}{T+25} = \frac{175}{4.38} = 4.38$

$Q = (1.0)(0.75)(4.38) = 3.29 \text{ CFS}$

A 12" PIPE @ 1.00% HAS Q = 3.57 CFS & V = 4.55 FPS, OK!

Stormceptor Sizing Detailed Report
PCSWMM for Stormceptor

Project Information
Date: 8/12/2020
Project Name: B & D Holdings
Project Number: N/A
Location: White Lake Township

Stormwater Quality Objective

This report outlines how Stormceptor System can achieve a defined water quality objective through the removal of total suspended solids (TSS). Attached to this report is the Stormceptor Sizing Summary.

Stormceptor System Recommendation

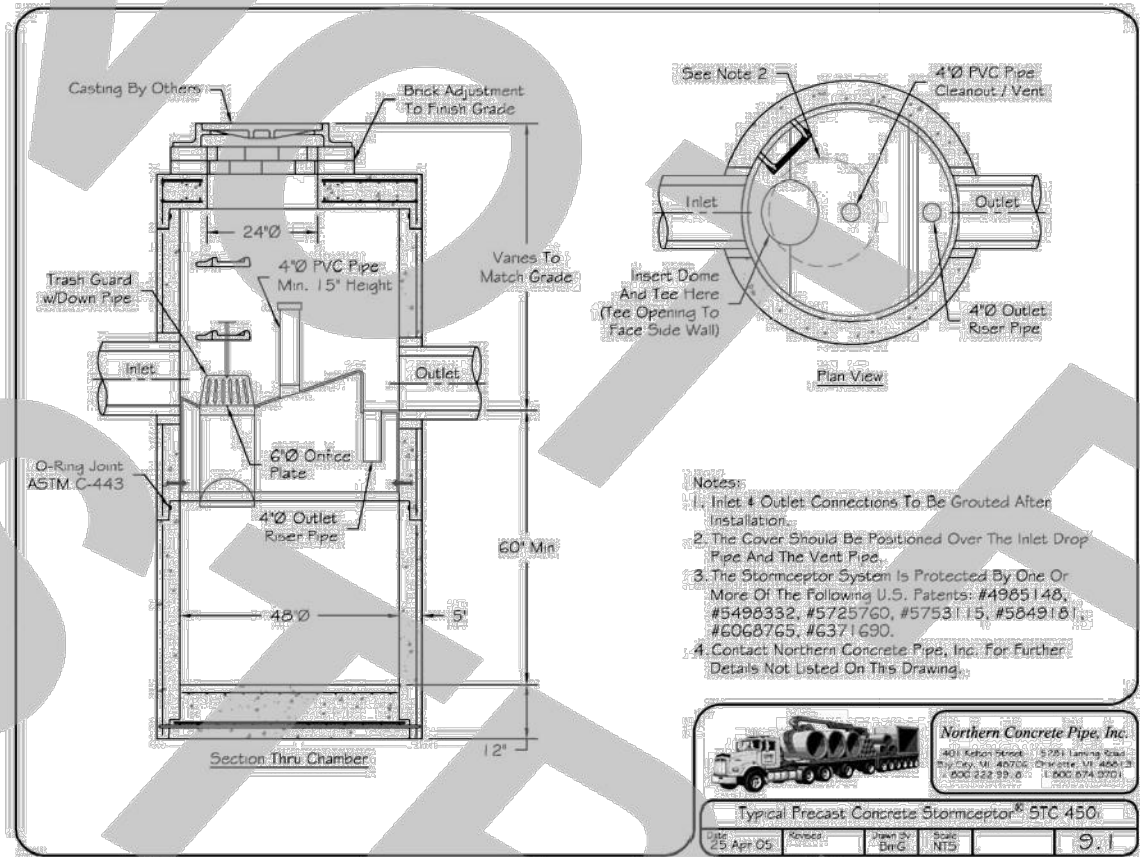
The Stormceptor System model STC 450i achieves the water quality objective removing 80% TSS for a User defined particle size distribution.

The Stormceptor System

The Stormceptor oil and sediment separator is sized to treat stormwater runoff by removing pollutants through gravity separation and flotation. Stormceptor's patented design generates positive TSS removal for all rainfall events, including large storms. Significant levels of pollutants such as heavy metals, free oils and nutrients are prevented from entering natural water resources and the re-suspension of previously captured sediment (scour) does not occur.

Stormceptor provides a high level of TSS removal for small frequent storm events that represent the majority of annual rainfall volume and pollutant load. Positive treatment continues for large infrequent events, however, such events have little impact on the average annual TSS removal as they represent a small percentage of the total runoff volume and pollutant load.

Stormceptor is the only oil and sediment separator on the market sized to remove TSS for a wide range of particle sizes, including fine sediments (clays and silts), that are often overlooked in the design of other stormwater treatment devices.



Pretreatment Structure MH-2, 3.29 CFS @ C=0.75

Detailed Stormceptor Sizing Report - Catchment to MH-2

Project Information & Location			
Project Name	B & D Holdings	Project Number	KS 2020-115
City	White Lake Township	State/Province	Michigan
Country	United States of America	Date	
Designer Information		EOR Information (optional)	
Name	Daniel Thomson	Name	Patrick McWilliams
Company	Rinker Materials	Company	Kieft Engineering, Inc.
Phone #	414-238-3824	Phone #	248-425-5251
Email	DanielC.Thomson@rinkerpipe.com	Email	

Stormwater Treatment Recommendation

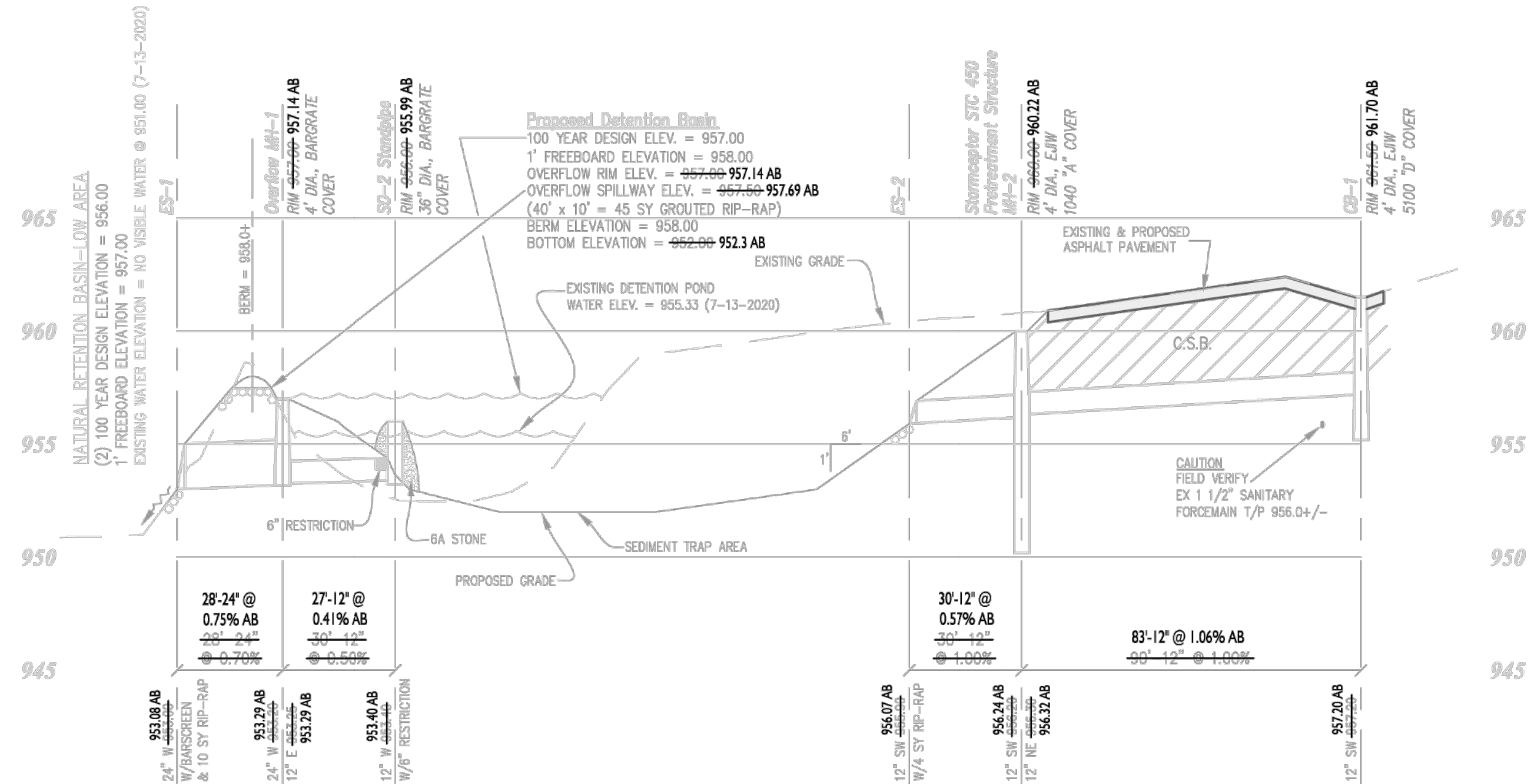
The recommended Stormceptor Model(s) which achieve or exceed the user defined water quality objective for each site within the project are listed in the below Sizing Summary table.

Site Name	Catchment to MH-2
Recommended Stormceptor Model	STC 450i
Target TSS Removal (%)	80.0
TSS Removal (%) Provided	84
P&ID	DSO = 75 micron
Rainfall Station	DETROIT METRO API

The recommended Stormceptor model achieves the water quality objectives based on the selected inputs, historical rainfall records and selected particle size distribution.

Stormceptor Model	% TSS Removal Provided
STC 450i	84
STC 450	90
STC 1200i	90
STC 1600i	91
STC 2400i	93
STC 3600i	94
STC 4800i	95
STC 6000i	96
STC 7200i	97
STC 11000i	98
STC 13000i	98
STC 16000i	98
StormceptorMAX	Custom

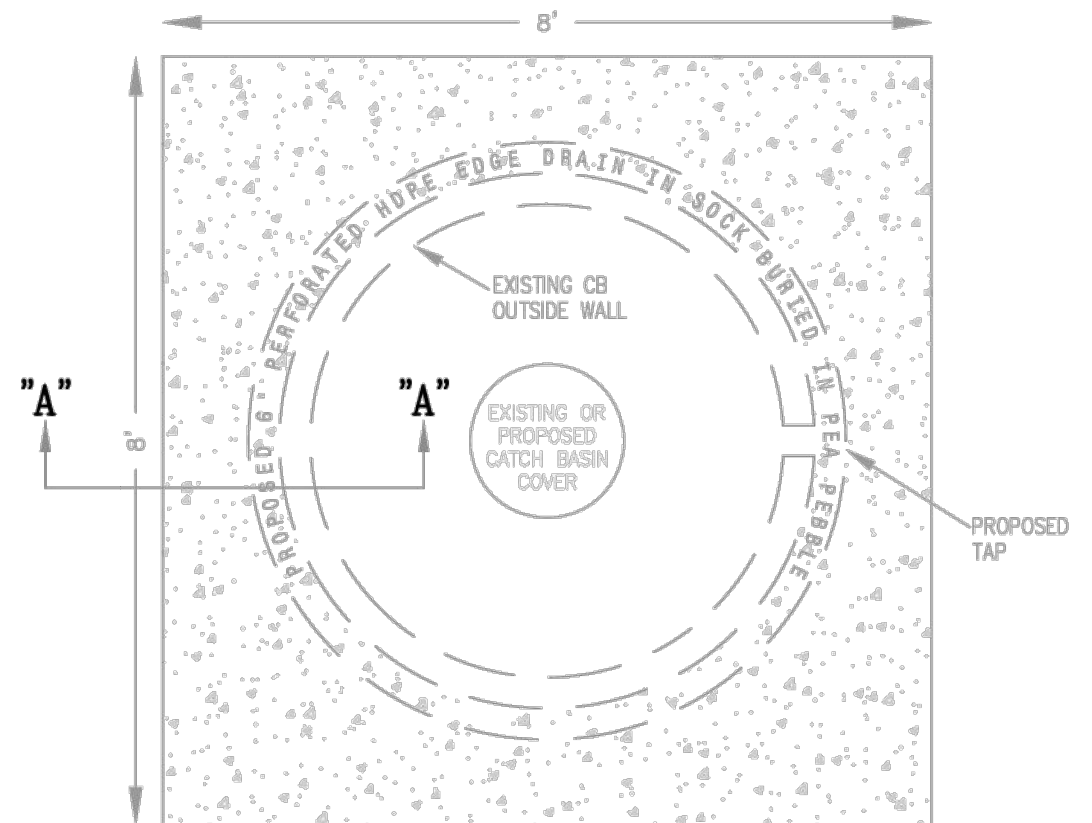
Stormceptor Detailed Sizing Report - Page 1 of 8



1 1/2" MDOT 1500T 20AA
2 1/2" MDOT 1500L 20AA
OVER MINIMUM OF
6" COMPACTED
21AA AGGREGATE
OR MATCH EXISTING

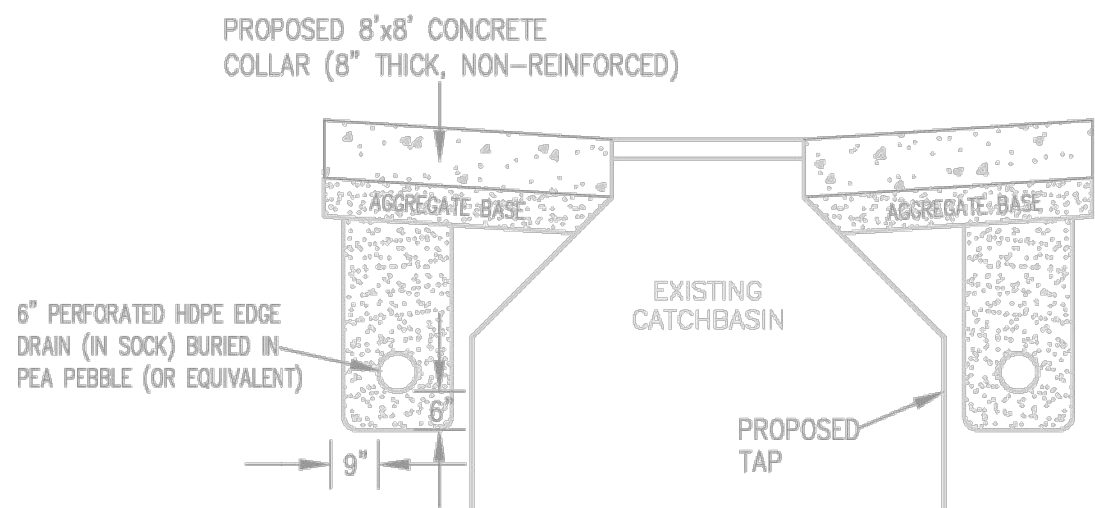
On-Site Pavement Section

NO SCALE



8" CONCRETE COLLAR & 6" EDGE DRAIN PLAN DETAIL & SECTION

SCALE: 1" = 2'



SECTION "A" - "A"



"AS-BUILT" 1-18-2021

Storm Sewer Profiles, Calculations & Details General RV Center

PART OF THE SE 1/4 OF SECTION 13, T3N, R8E,
WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN

SCALE 1" = 30' HORZ.
1" = 5' VERT.
SHEET 3 OF 5
KE 2020.253



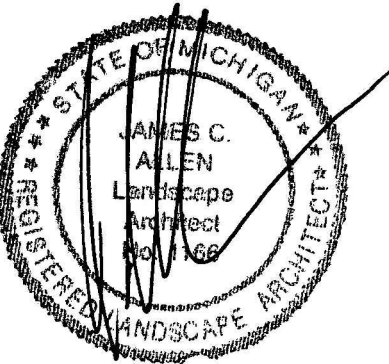
Greenbelt	
Greenbelt Length	456'
Trees Required	15.2 Trees (456 / 30)
Trees Provided	15 Trees ¹
Shrubs Required	121.6 Shrubs (456 / 30) x 8
Shrubs Provided	122 Shrubs
Interior Landscaping	
Site Area	273,121 s.f.
Interior Landscape Required	40,968 s.f. (273,121 x 15%)
Interior Landscape Provided	117,445 s.f.
Trees Required	136.5 Trees (40,968 / 300)
Trees Provided	137 Trees (68 Existing)
Shrubs Required	682.8 Shrubs (40,968 / 300) x 5
Shrubs Provided	288 Shrubs (161 Existing)
Parking Lot	
Parking Spaces Shown	206 Spaces
Landscape Area Required	4,120 s.f. (206 Spaces x 20)
Landscape Area Provided	6,372 s.f.
Trees Required	41.2 Trees (4,120 / 100)
Trees Provided	42 Trees
Shrubs Required	123.6 Shrubs (4,120 / 100) x 3
Shrubs Provided	125 Shrubs
1. Required Greenbelt Trees Cannot be Planted Due to Water	
Ornamental Trees have been Substituted for Canopy Trees	
Overhead Power Lines are Present.	
2. All Lawn Areas Shall be Seed.	
3. All Landscaped Areas Shall be Irrigated.	

Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root	height
Greenbelt							
MAG	15	Malus 'Adirondack'	Adirondack Crab	1.5"	as shown	B&B	
POG	122	Physocarpus opulifolius 'Coppertina'	Coppertina Ninebark		as shown	cont	30"
	15	Trees Provided					
	122	Shrubs Provided					
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Interior Landscaping							
AC	22	Abies concolor	Concolor Fir		as shown	B&B	7'
EA	23	Eucynymus alata 'Compacta'	Burning Bush		as shown	cont	30"
HY	19	Hydrangea 'Lime Light'	Lime Light Hydrangea		as shown	cont	24"
KF	22	Calamagrostis x. a. 'Karl Forester'	Karl Forester Grass		as shown	#3	
PA	21	Picea abies	Norway Spruce		as shown	B&B	7'
PG	22	Picea glauca var. densata	Black Hills Spruce		as shown	B&B	7'
PO	18	Physocarpus opulifolius 'Coppertina'	Coppertina Ninebark		as shown	cont	30"
RT	27	Rhus typhina 'Gro-Low'	Gro-Low Sumac		as shown	cont	30"
TO	18	Thuja occidentalis 'Techny'	Techny Arborvitae		as shown	B&B	5'
UP	4	Ulmus 'Princeton'	Princeton Elm	2.5"	as shown	B&B	
	69	Trees Provided					
	127	Shrubs Provided					
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Parking Lot Landscaping							
ARP	9	Acer rubrum 'Red Point'	Red Maple 'Red Point'	2.5"	as shown	B&B	
ASP	3	Acer saccharum 'Green Mountain'	Sugar Maple	2.5"	as shown	B&B	
EAP	23	Eucynymus alata 'Compacta'	Burning Bush		as shown	cont	30"
GTP	6	Gleditsia triacanthos var. inermis	Honey Locust	2.5"	as shown	B&B	
LTP	14	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
RT	102	Rhus typhina 'Gro-Low'	Gro-Low Sumac		as shown	cont	30"
TCP	6	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	as shown	B&B	
UPP	4	Ulmus 'Princeton'	Princeton Elm	2.5"	as shown	B&B	
	42	Trees Provided					
	125	Shrubs Provided					

33,480 s.f.
Perimeter Open Space
Landscaping to be Planted no
Closer than 4' to Property Lines

Seal:



Title:

Landscape Plan

Project:

White Lake Motors
White Lake, Michigan

Prepared for:

S2 Construction Management
12596 Ten Mile
South Lyon, Michigan 48178

Revision:

Issued:

Review
Revised
Revised

September 9, 2024
November 21, 2024
February 25, 2025

Job Number:

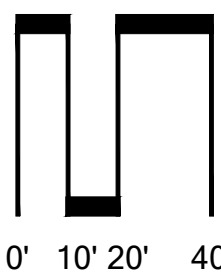
24-057

Drawn By:

Checked By:

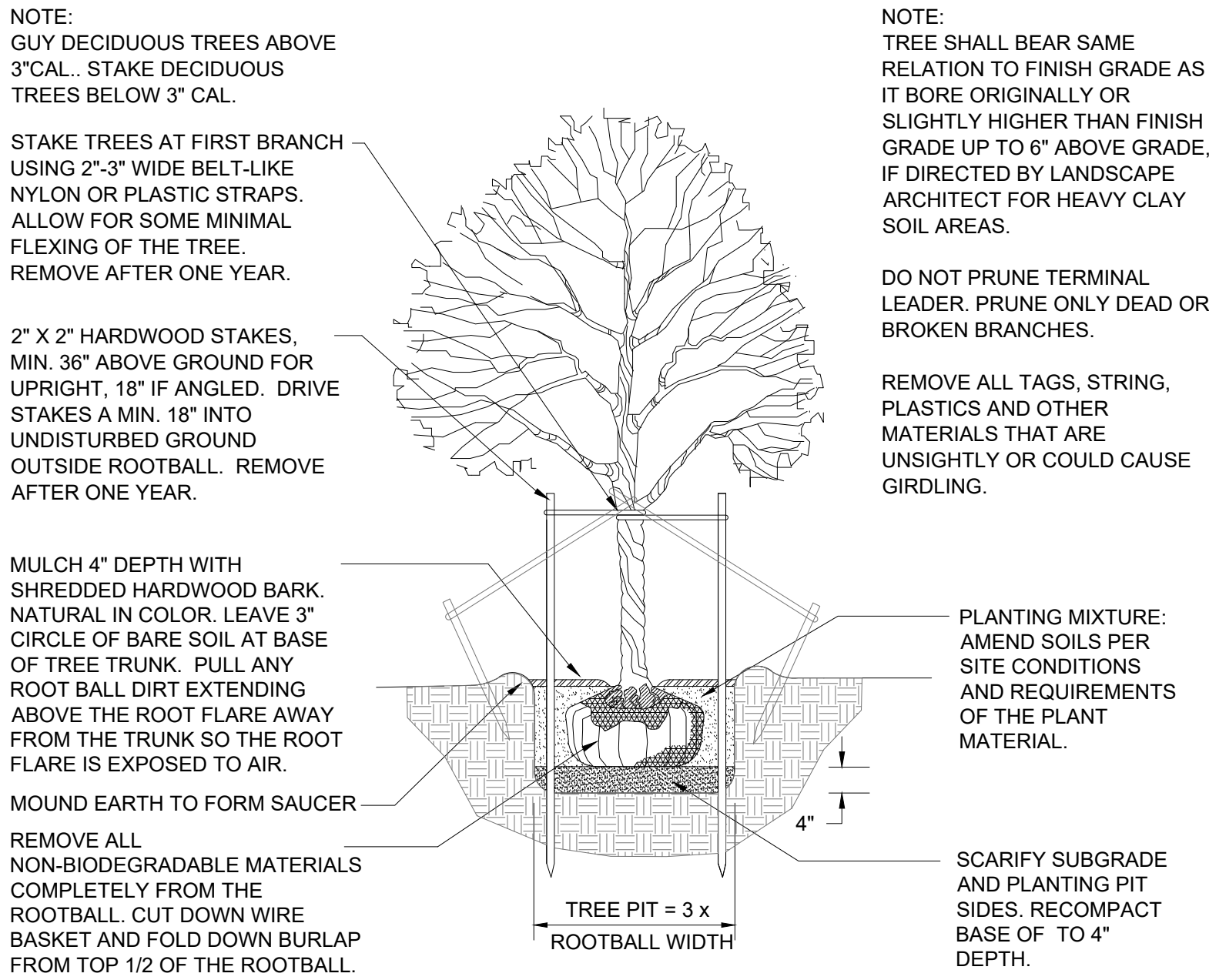
jca

ica

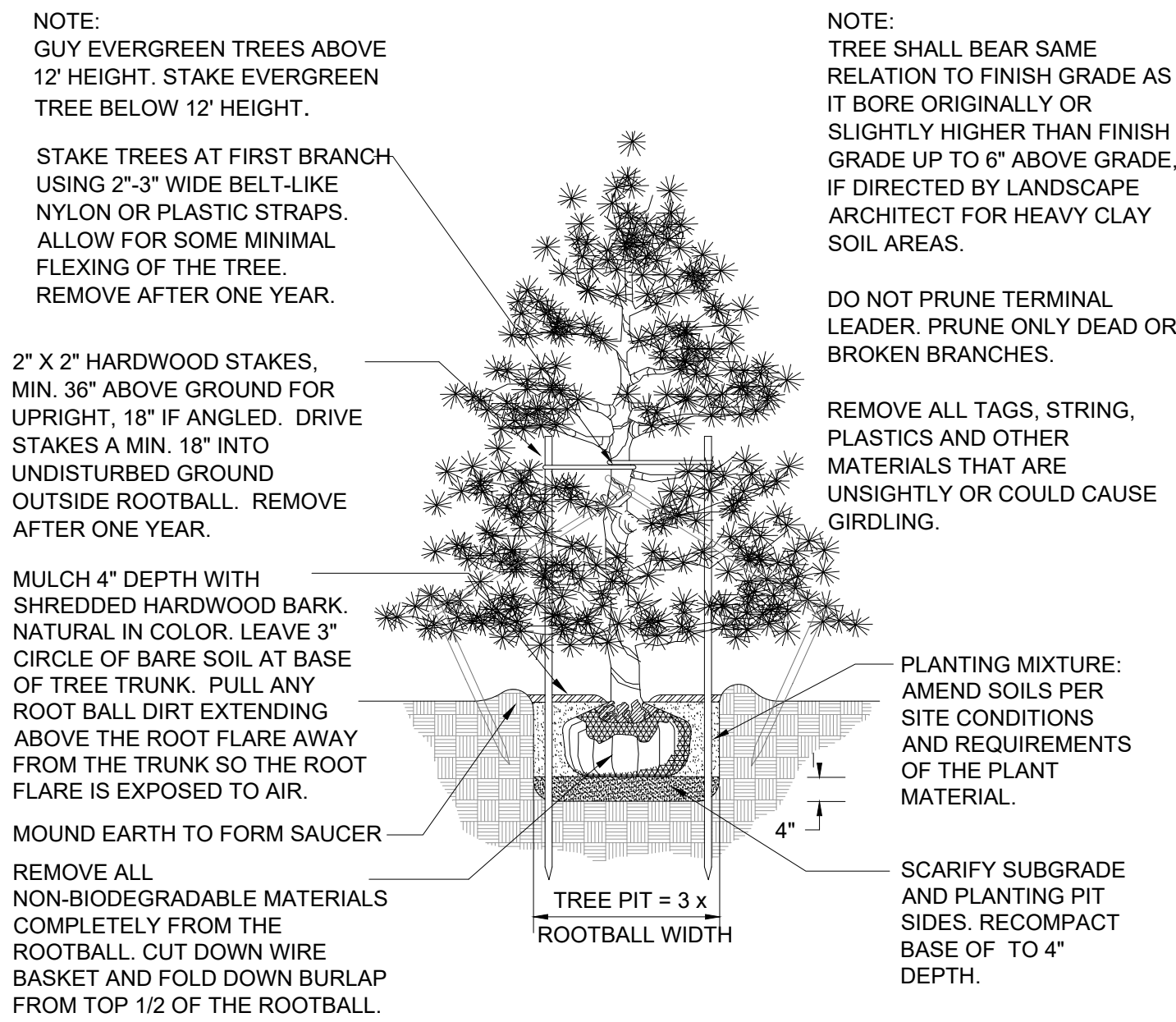


Sheet No.

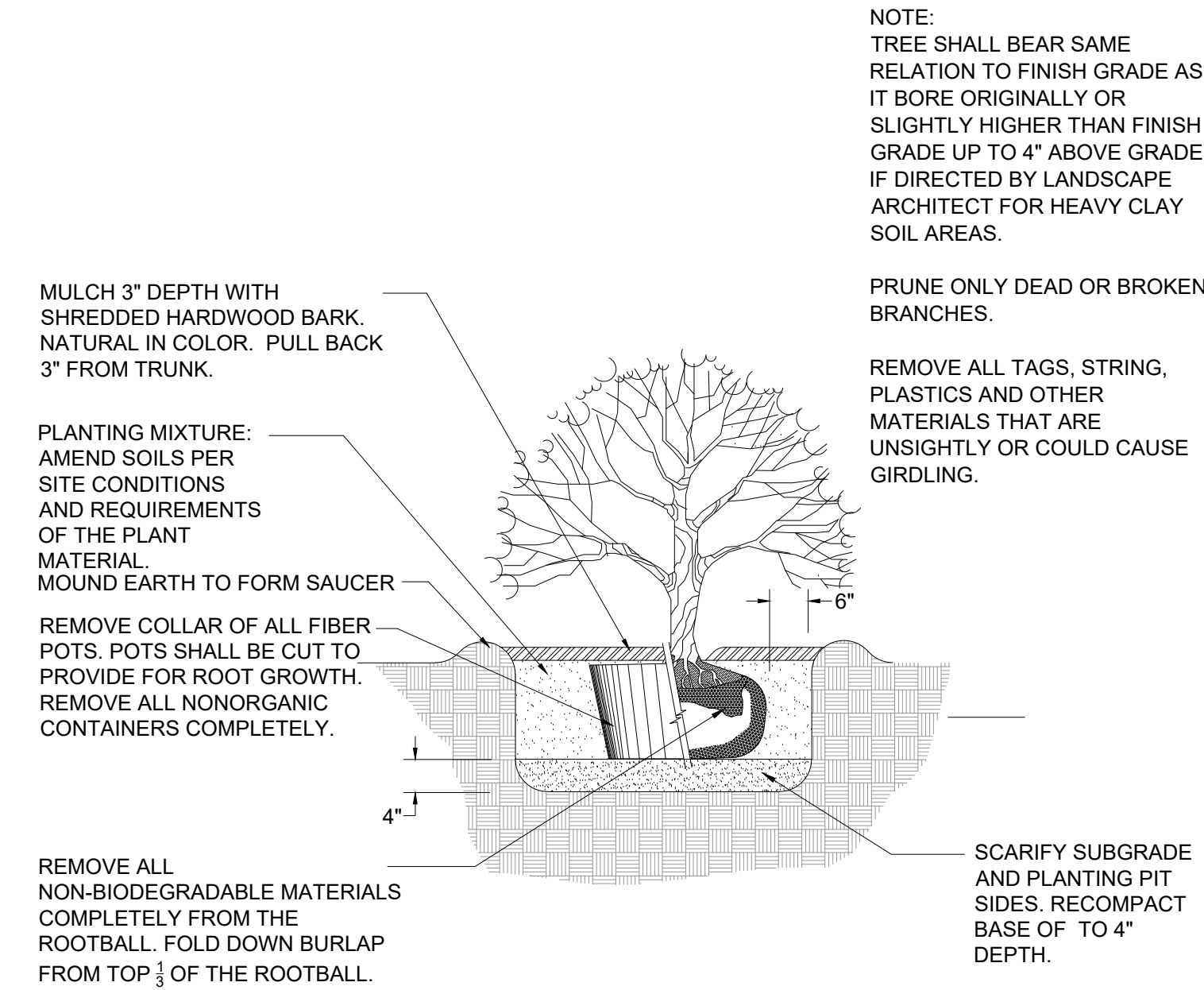
L-1



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL

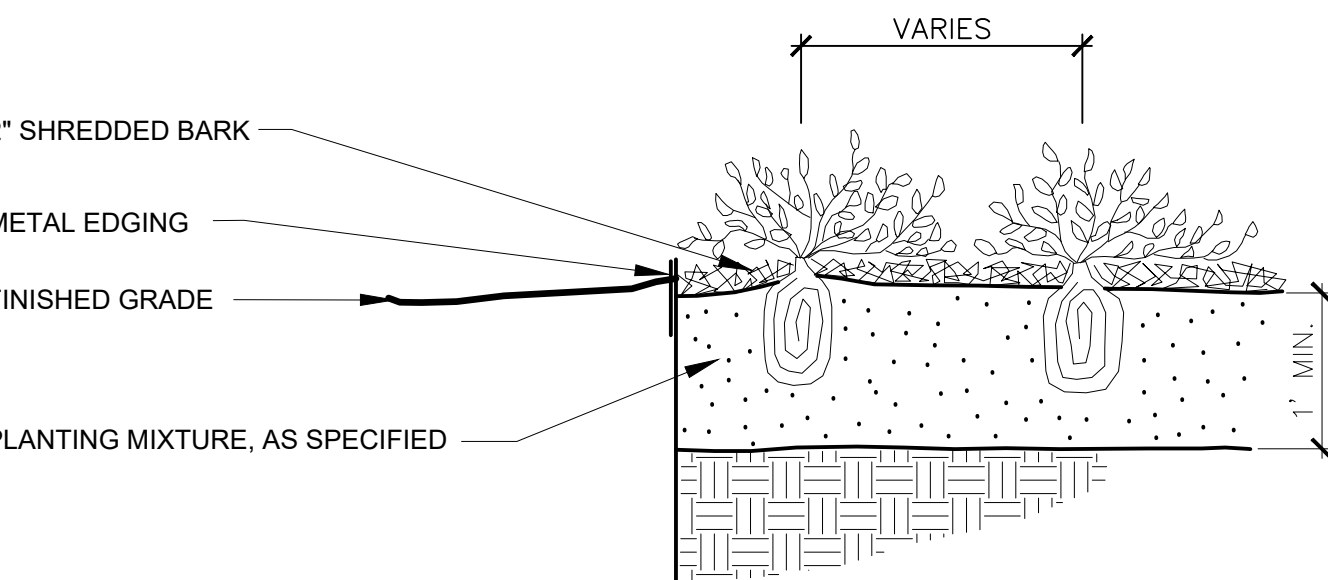


SHRUB PLANTING DETAIL

NOT TO SCALE

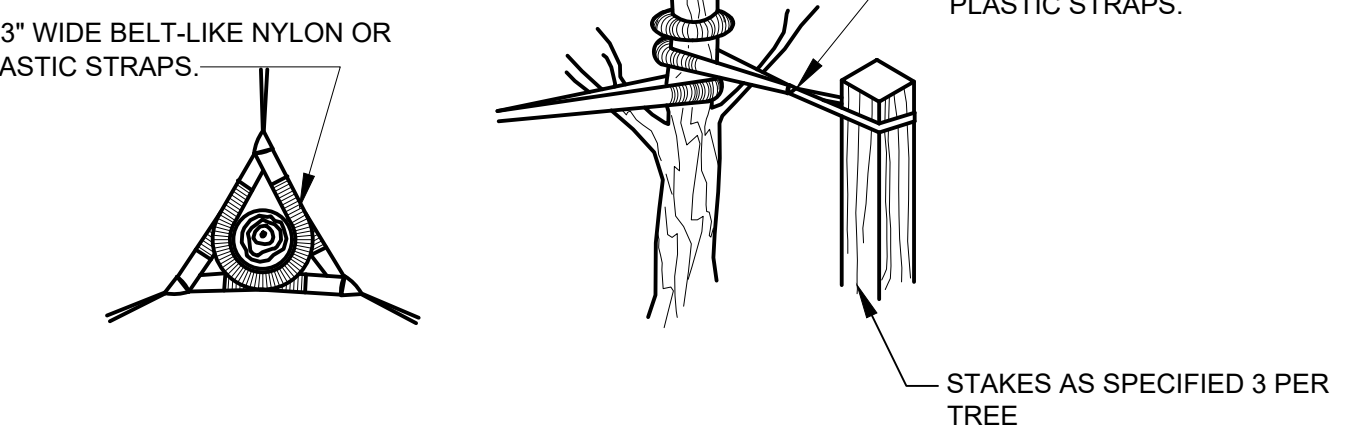
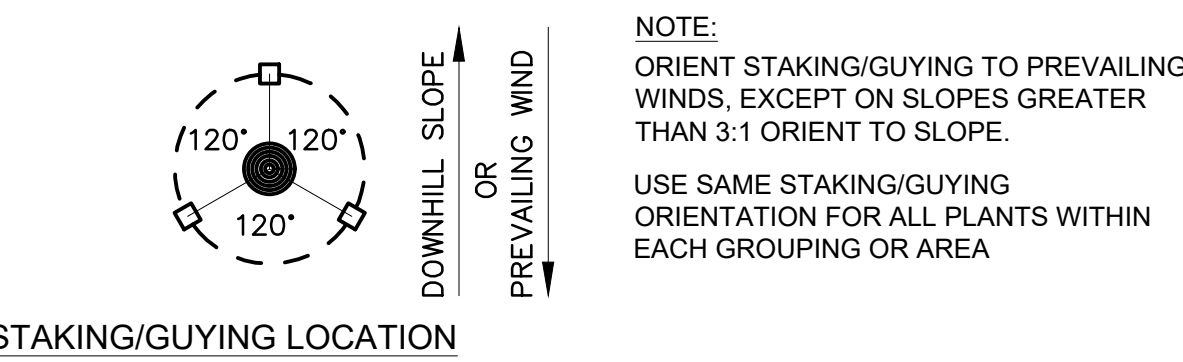
LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheriadelpi" Kentucky Blue Grass grown in a sod nursery on loam soil.



PERENNIAL PLANTING DETAIL

Not to scale



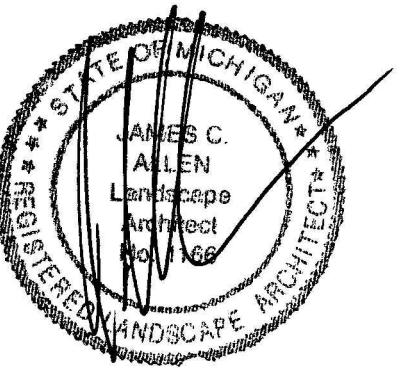
GUYING DETAIL

STAKING DETAIL

TREE STAKING DETAIL

Not to scale

Seal:



Title:

Landscape Details

Project:

White Lake Motors
White Lake, Michigan

Prepared for:

S2 Construction Management
12596 Ten Mile
South Lyon, Michigan 48178

Revision:

Review
Revised
Revised

Issued:

September 9, 2024
November 21, 2024
February 25, 2025

Job Number:

24-057

Drawn By:

jca

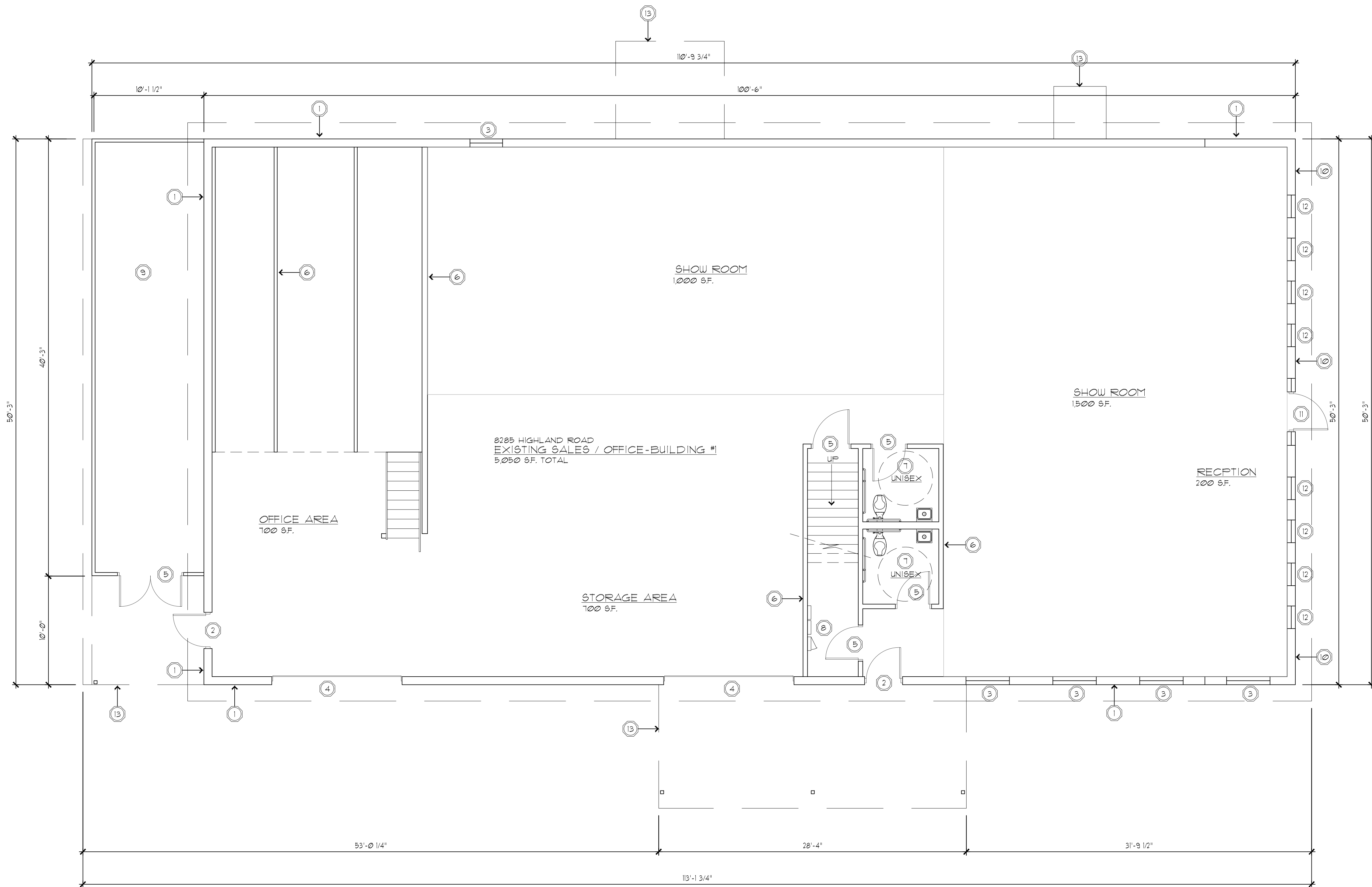
Checked By:

jca

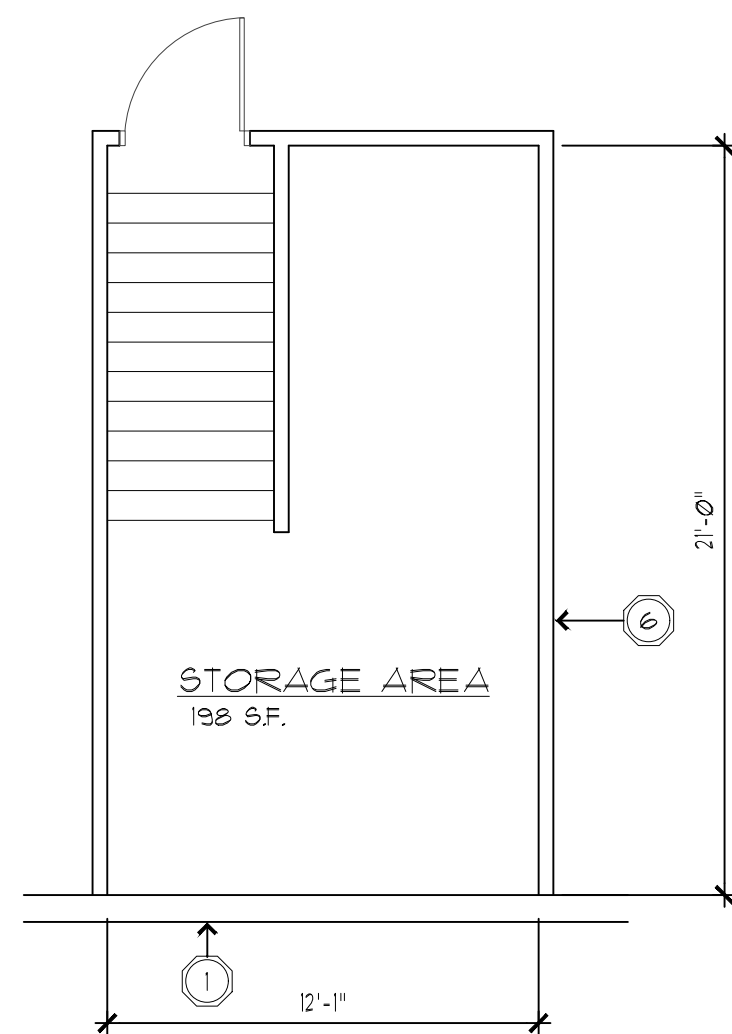
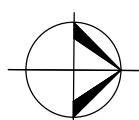
Sheet No.



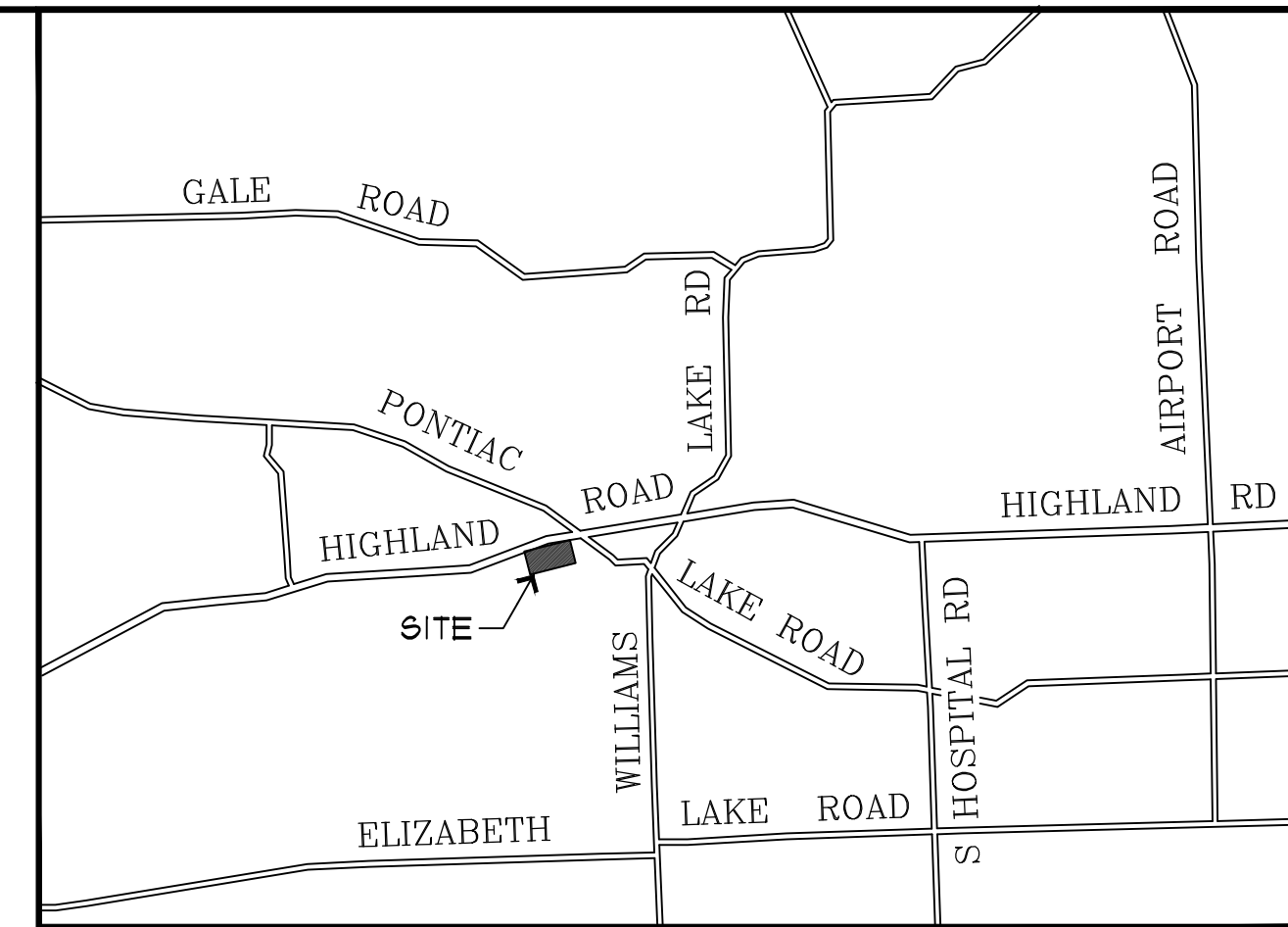
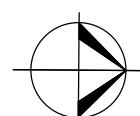
L-2



EXISTING/PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'



EXISTING MEZZANINE PLAN
SCALE: 3/16" = 1'



FACE LIFTING TO EXISTING BUILDING WHITE LAKE MOTORS SCOPE OF WORK: FACE LIFTING TO EXISTING AUTO SALES BUILDING

BUILDING CODE INFORMATION

WHITE LAKE CHARTER TOWNSHIP ZONING ORDINANCE
2015 Michigan Building Code (2015 IBC as amended)
Michigan Electrical Code (2013 NEC as amended)
2021 Michigan Mechanical Code (2021 IMC as amended)
2021 Michigan Plumbing Code (2021 IPC as amended)
MICHIGAN BARRIER FREE - ICC/ANSI A117.1-2009
INTERNATIONAL FIRE CODE - 2015 (IFC-2015)
BUILDING USE & OCCUPANCY CLASSIFICATION (PER CH. 03):
USE GROUP: 'B' BUSINESS
EXISTING USE: VACANT BUILDING
PROPOSED USE: AUTO SALES WITH EXTERIOR RENOVATION
TENANT SPACE TO COMPLY WITH SECTION 302.

EXISTING ZONING: COMMERCIAL DISTRICT
BUILDING USE & OCCUPANCY CLASSIFICATION (PER CH. 03):
TYPE OF CONSTRUCTION: 5B (PER TABLE 601.0 & SEC. 602.2)
TOTAL BUILDING AREA: 5050 SF.
EXISTING BUILDING HEIGHT: VARIES (MAX. 42'-8" MID OF ROOF)
PROPOSED BUILDING HEIGHT: 21'-0"
FIRE SUPPRESSION: NO (BUILDING NOT SPRINKLED) / MBC 2015

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION REMODELING TO BE PERFORMED BY QUALIFIED CONTRACTORS, LICENSED & EXPERIENCED IN THE STATE OF MICHIGAN.
- THE SUB CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND ASSUME FULL/ SUBCONTRACTOR RESPONSIBILITY FOR VISUAL OBSERVATION OF EXISTING CONDITIONS. DURING THE VISIT THE CONTRACTOR SHALL RELATE THE PROPOSED FLOOR PLANS TO THE EXISTING SPACE CONDITIONS AND BE FAMILIAR WITH THE AREAS WHERE WORK WILL BE PERFORMED. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, IF ANY, PRIOR TO SUBMITTING THE BID AND START OF CONSTRUCTION.
- THE SUB CONTRACTOR SHALL ACCEPT THE SITE IN THE CONDITION IN WHICH IT EXISTS AT THE TIME OF THE CONTRACT AWARD. ALL EXCLUSIONS SHALL BE MADE ON THE BID PROPOSAL AND SUBMITTED TO THE OWNER FOR REVIEW.
 - THE SUB CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, & MATERIALS NECESSARY TO COMPLETE THE WORK SPECIFIED ON THE DRAWINGS AND HEREINAFTER SPECIFIED.
 - LAYOUT OF THE WORK, LOCATION OF REFERENCES & DIMENSIONS PER PLANS & COORDINATE LOCATION OF ALL CHASES, OPENINGS, DUCTS, LINES, CONDUITS, FIXTURES AND EQUIPMENT.
 - TEMPORARY PARTITIONS, DUST PROTECTORS, ENCLOSING OF OPENINGS, RAMPS AND CAT WALKS AS REQUIRED BY OSHA FOR SAFETY.
- ACCOUNT OF AN ERROR ON HIS PART OR HIS NEGLIGENCE OF FAILURE TO ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS OF THE SPACE.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, GUESTS, OR OTHER WORK BEING PERFORMED NEAR THE SITE.
- THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
- MAINTAIN SAFE CONSTRUCTION ACCESS TO THE WORK AREA AT ALL TIMES AND POST WARNING SIGNS AT ALL PEDESTRIAN TRAVEL PATHS.
- ALL ASSOCIATED ELECTRICAL, PLUMBING, DUCTWORK, ETC. TO BE DEMOLISHED SHALL BE DISCONNECTED AND REMOVED TO THE SOURCE.
- EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CLEANUP OF DEBRIS AND CUTTING MATERIALS DAILY.

FLOOR PLAN REFERENCE NOTES:

- EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN.
- EXISTING GLASS ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.
- EXISTING GLASS WINDOW IN ALUMINUM FRAME TO REMAIN.
- EXISTING OVERHEAD DOOR AND FRAME TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN.
- EXISTING DRYWALL CONSTRUCTION TO REMAIN.
- EXISTING RESTROOM AND FIXTURES TO REMAIN.
- EXISTING ELECTRICAL PANELS AND CONTROL PANELS TO REMAIN.
- EXISTING STORAGE AREA TO REMAIN.
- FOR NEW BUILDING ELEVATION, REFER TO PROPOSED ELEVATIONS, SHEET A03.
- EXISTING GLASS ALUMINUM DOUBLE DOOR AND FRAME TO BE REMOVED.
- EXISTING GLASS WINDOW IN ALUMINUM FRAME TO BE REMOVED.
- BUILDING OVERHANG TO REMAIN.
- EXISTING ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.


**SAINT JOSEPH
BUILDING**
4623 LARCH DR.
STERLING HTS., MI 48314
(588) 565-0030
onesixestob@gmail.com
DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE: 09/11/2024

DRAWING TITLE:
EXISTING / PROPOSED
FLOOR PLAN
PROJECT NO.: 024-07
FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:
A01



SAINT JOSEPH
BUILDING

4623 LARCH DR.
STERLING HTS, MI 48314
(588) 565-0030
anas.kest@gmail.com

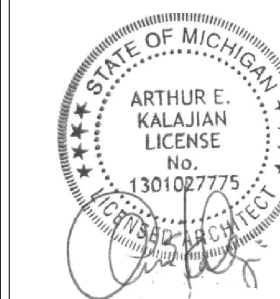
DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE

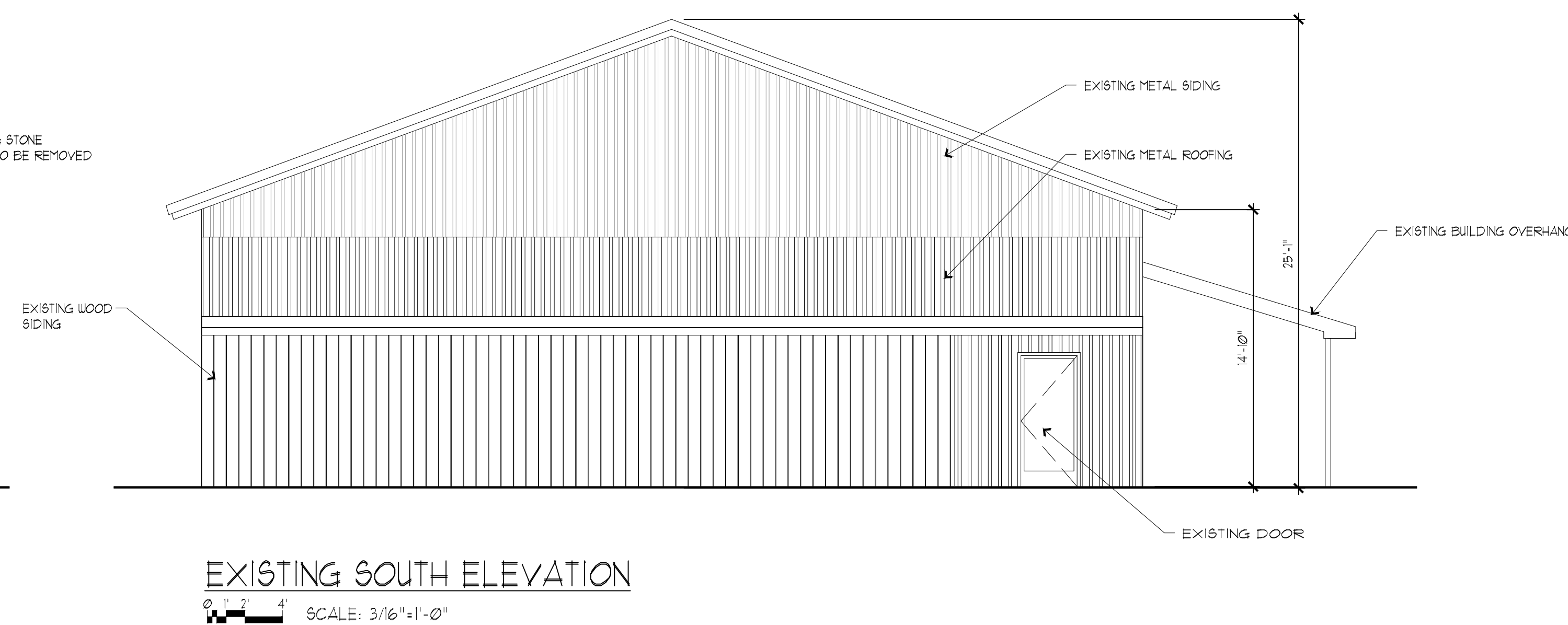
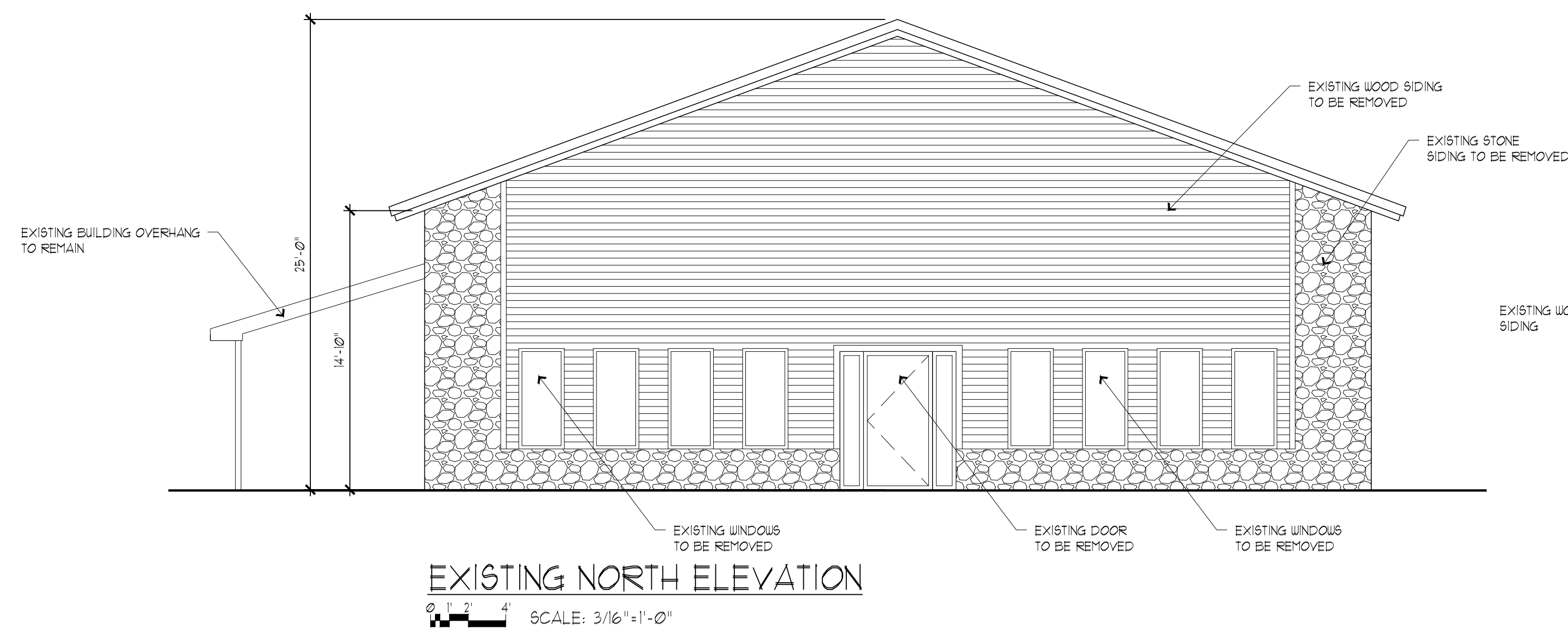
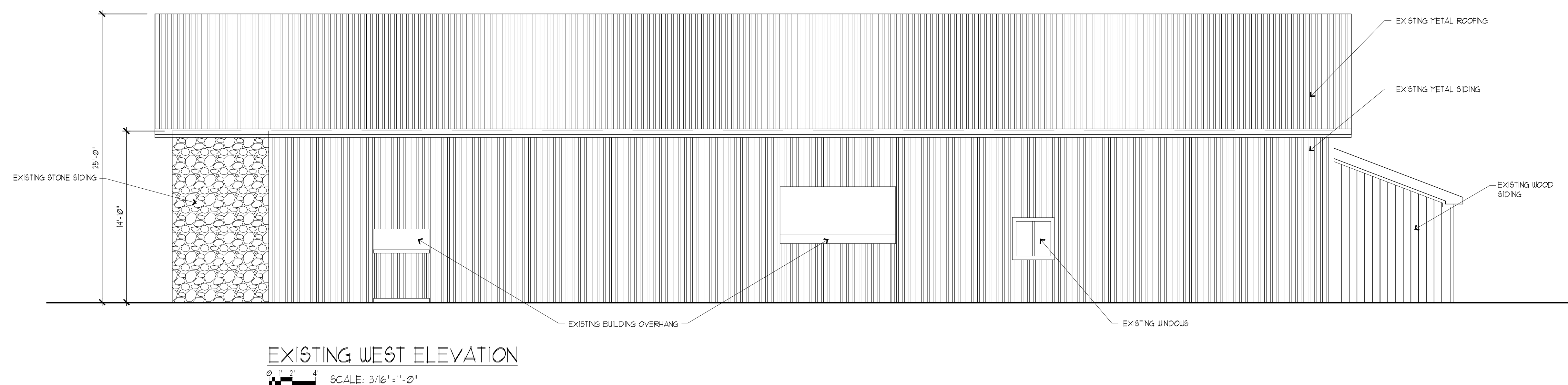
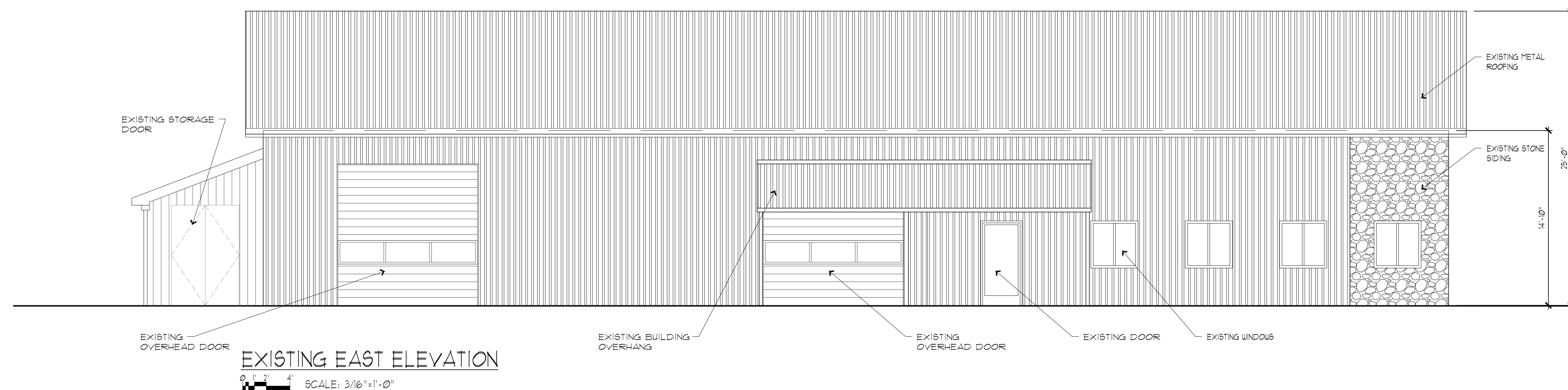
DRAWING TITLE:
EXISTING ELEVATIONS

PROJECT NO.: 024-07
FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:

A02





**SAINT JOSEPH
BUILDING**

4623 LARCH DR.
STERLING HTS, MI 48314
(800) 563-0030
anas.kestel@gmail.com


DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING

8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE: 09/11/2024

DRAWING TITLE:
EXISTING FLOOR PLAN
BUILDINGS # 2 & 3

PROJECT NO.: 024-07 FILE NAME: White Lake

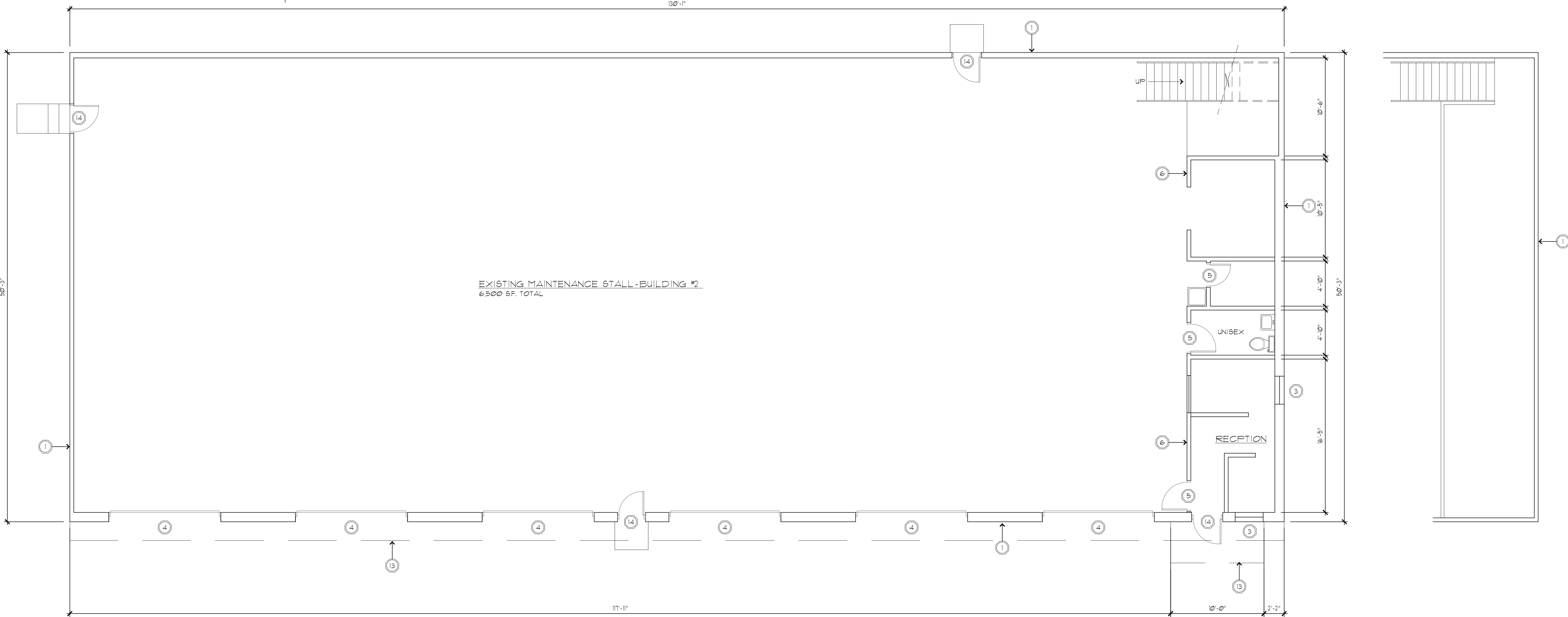
DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:
A03

- FLOOR PLAN REFERENCE NOTES:
- 1 EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN.
 - 2 EXISTING GLASS ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.
 - 3 EXISTING GLASS WINDOW IN ALUMINUM FRAME TO REMAIN.
 - 4 EXISTING OVERHEAD DOOR AND FRAME TO REMAIN.
 - 5 EXISTING DOOR AND FRAME TO REMAIN.
 - 6 EXISTING DRYWALL CONSTRUCTION TO REMAIN.
 - 7 EXISTING RESTROOM AND FIXTURES TO REMAIN.
 - 8 EXISTING ELECTRICAL PANELS AND CONTROL PANELS TO REMAIN.
 - 9 EXISTING STORAGE AREA TO REMAIN.
 - 10 FOR NEW BUILDING ELEVATION, REFER TO PROPOSED ELEVATIONS, SHEET A03.
 - 11 EXISTING GLASS ALUMINUM DOUBLE DOOR AND FRAME TO BE REMOVED.
 - 12 EXISTING GLASS WINDOW IN ALUMINUM FRAME TO BE REMOVED.
 - 13 BUILDING OVERHANG TO REMAIN.
 - 14 EXISTING ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.

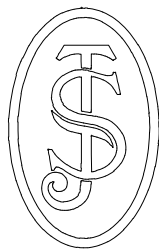


EXISTING PLAN
SCALE: 3/16" = 1'



EXISTING FIRST PLAN
SCALE: 3/16" = 1'

EXISTING MEZZANINE PLAN
SCALE: 3/16" = 1'



SAINT JOSEPH
BUILDING

4623 LARCH DR.
STERLING HTS., MI 48314
(586) 565-0030
anaskesto@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE

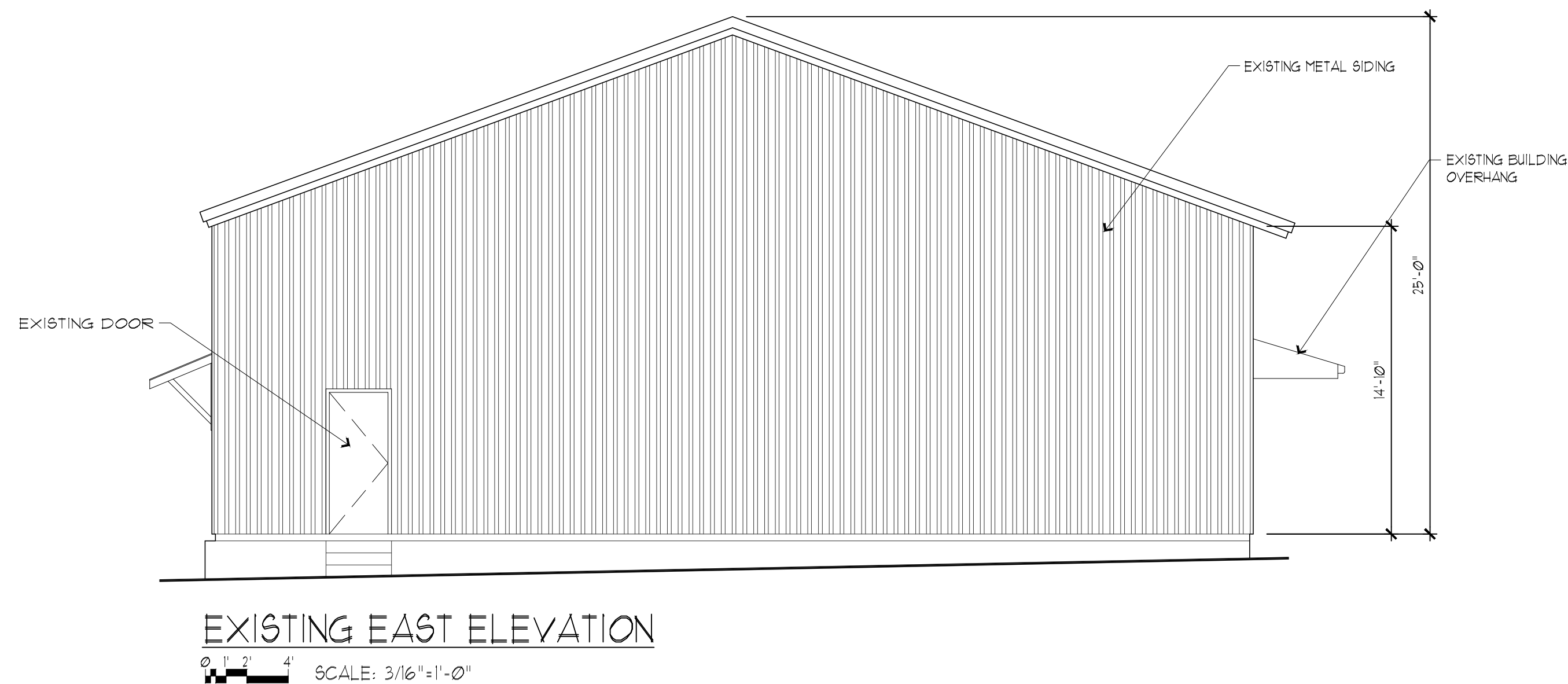
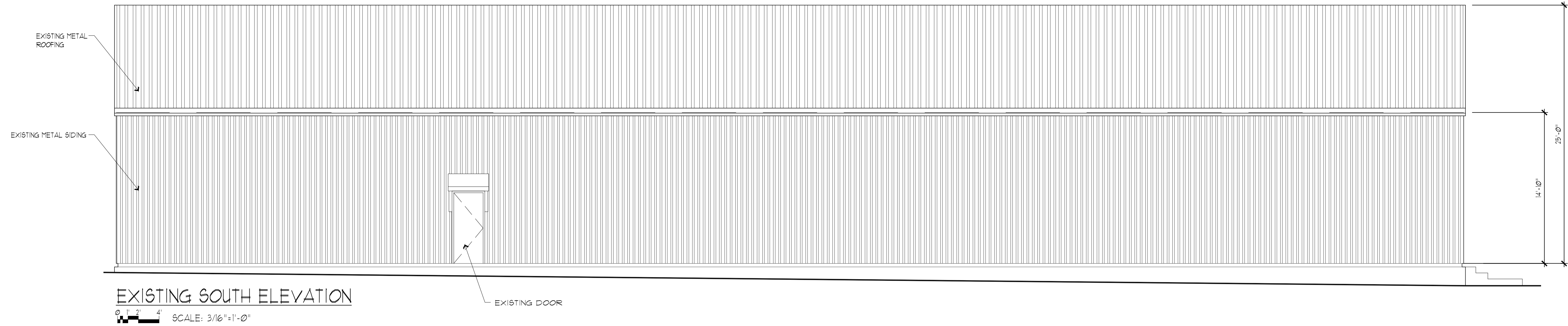
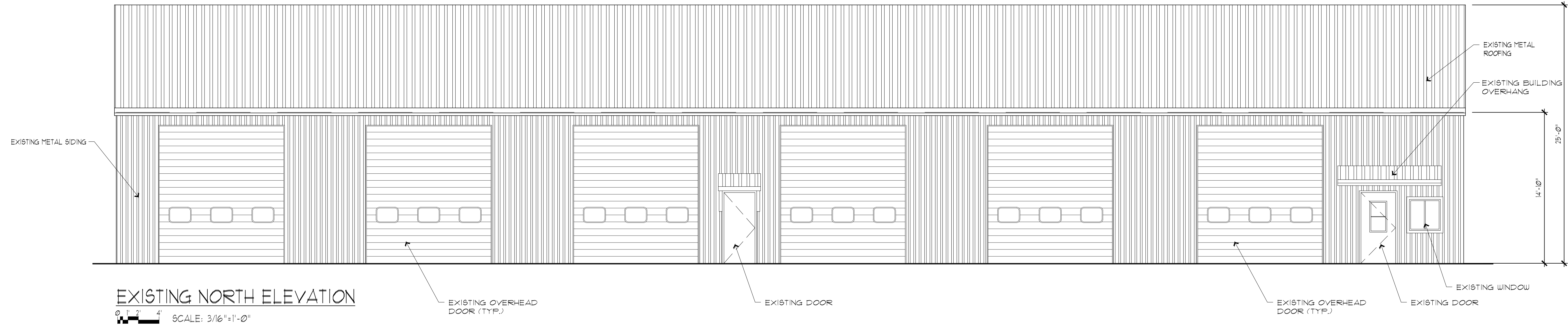
DRAWING TITLE:
EXISTING ELEVATIONS
BUILDING #2

PROJECT NO.: 024-07 FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:

A04





SAINT JOSEPH
BUILDING

4623 LARCH DR.
STERLING HTS., MI 48314
(588) 565-0030
onskvetoff@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING

8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE:

DRAWING TITLE:
EXISTING ELEVATIONS
BUILDING #2

PROJECT NO.: 024-07

FILE NAME: White Lake

DRAWN BY: ANAS

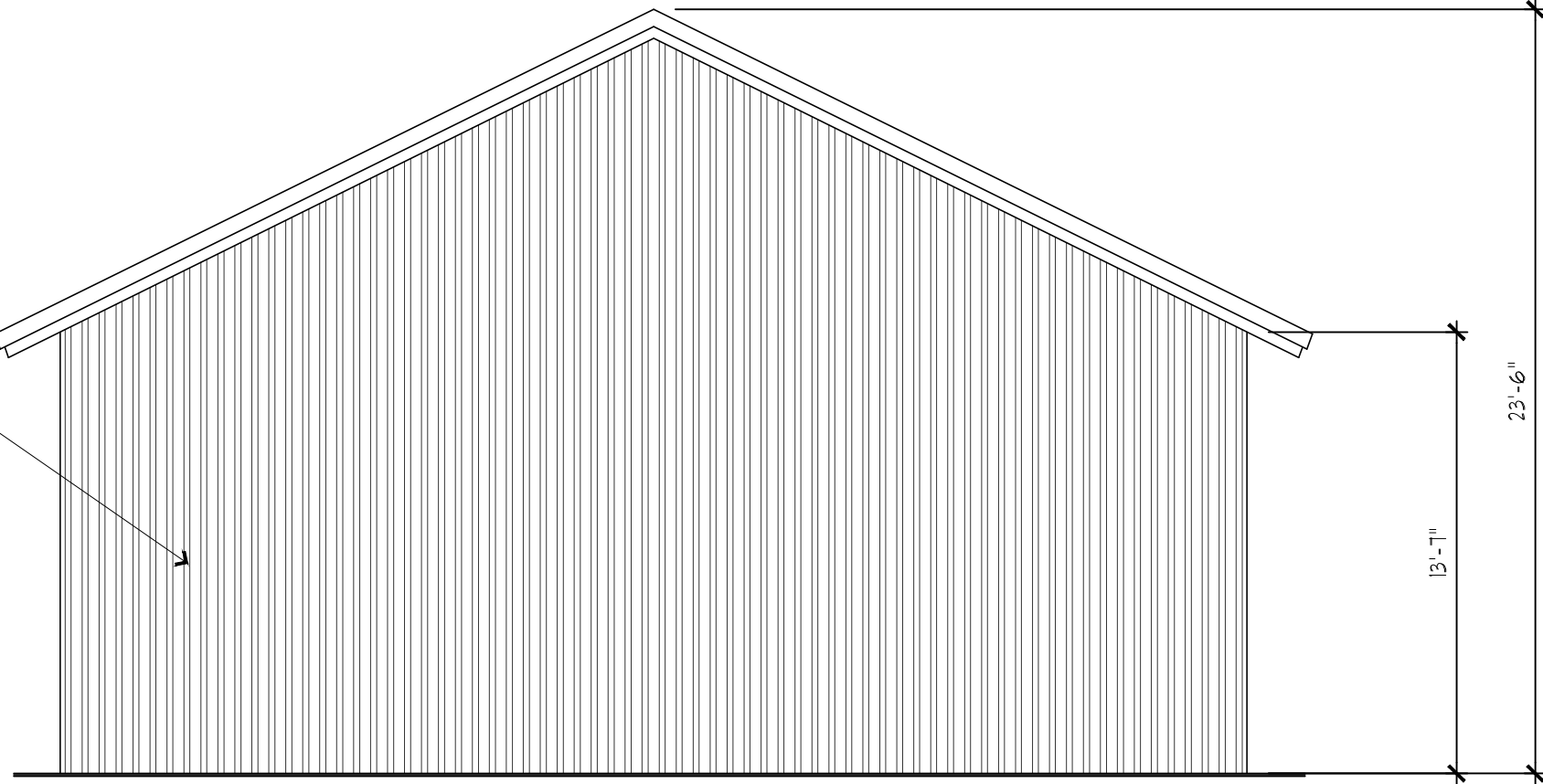
CHECKED BY: IMAD

DATE: 07/22/2024

SHEET NO:

A05

EXISTING METAL SIDING

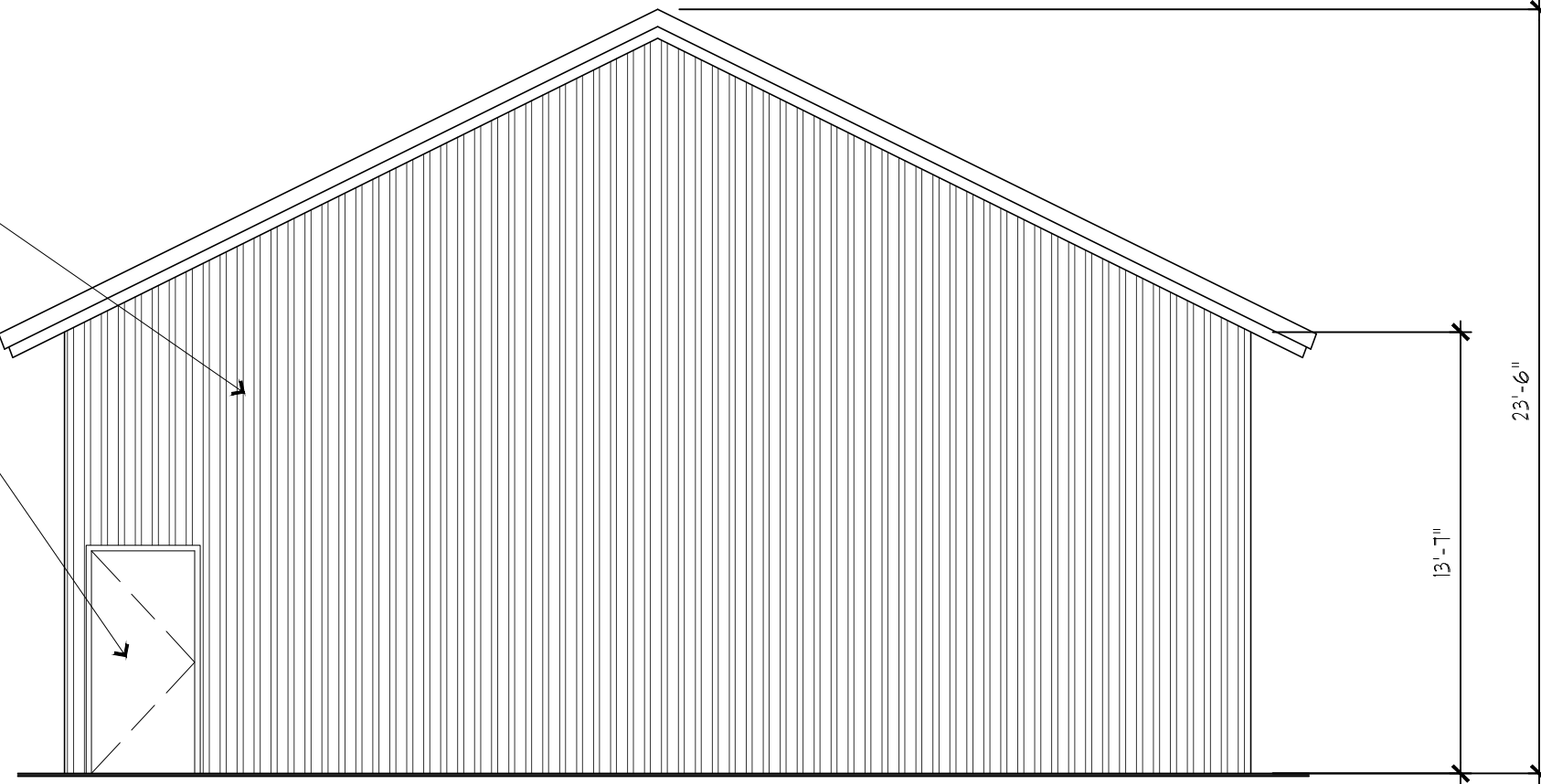


EXISTING SOUTH ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"

EXISTING METAL SIDING

EXISTING DOOR

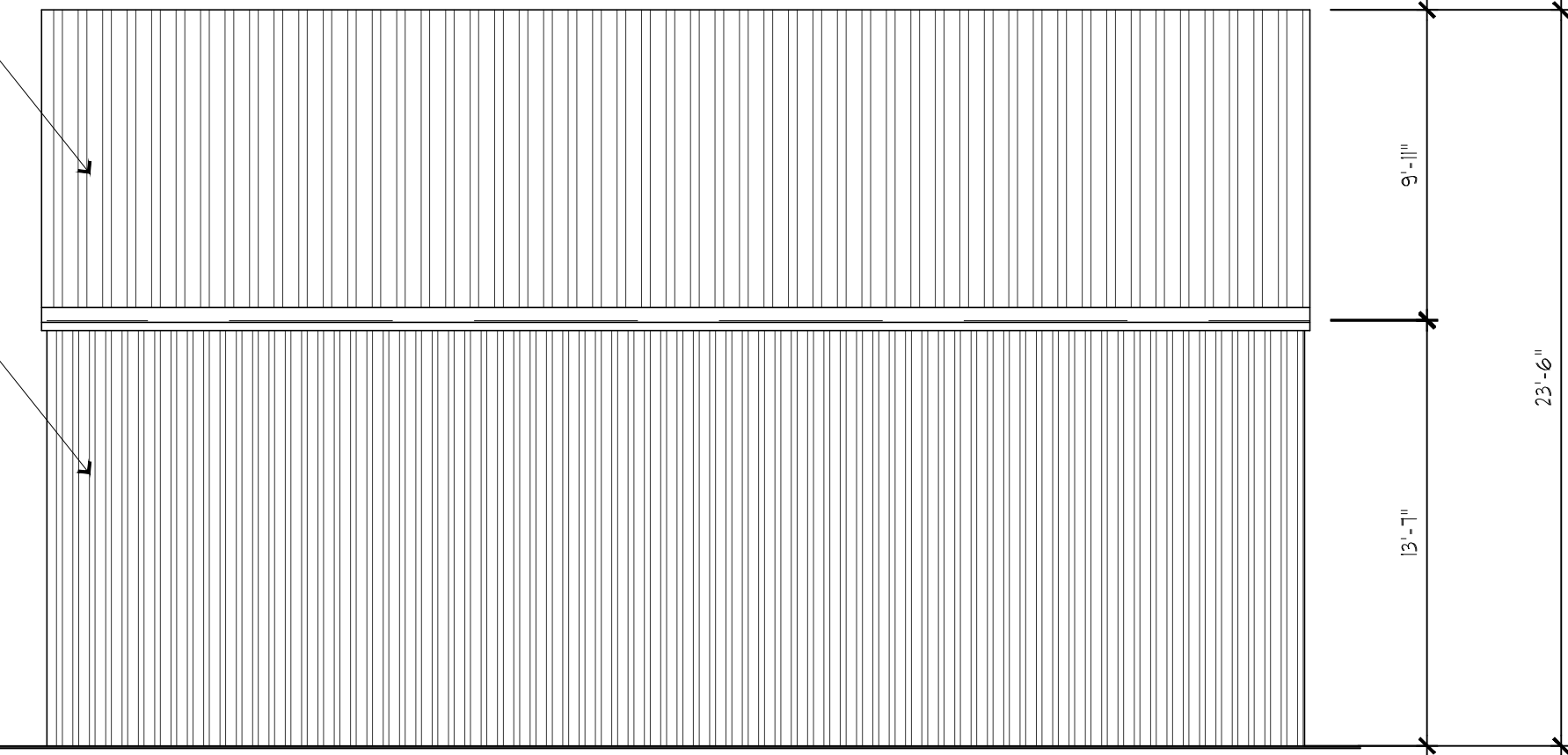


EXISTING NORTH ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"

EXISTING METAL ROOFING

EXISTING METAL SIDING



EXISTING EAST ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"

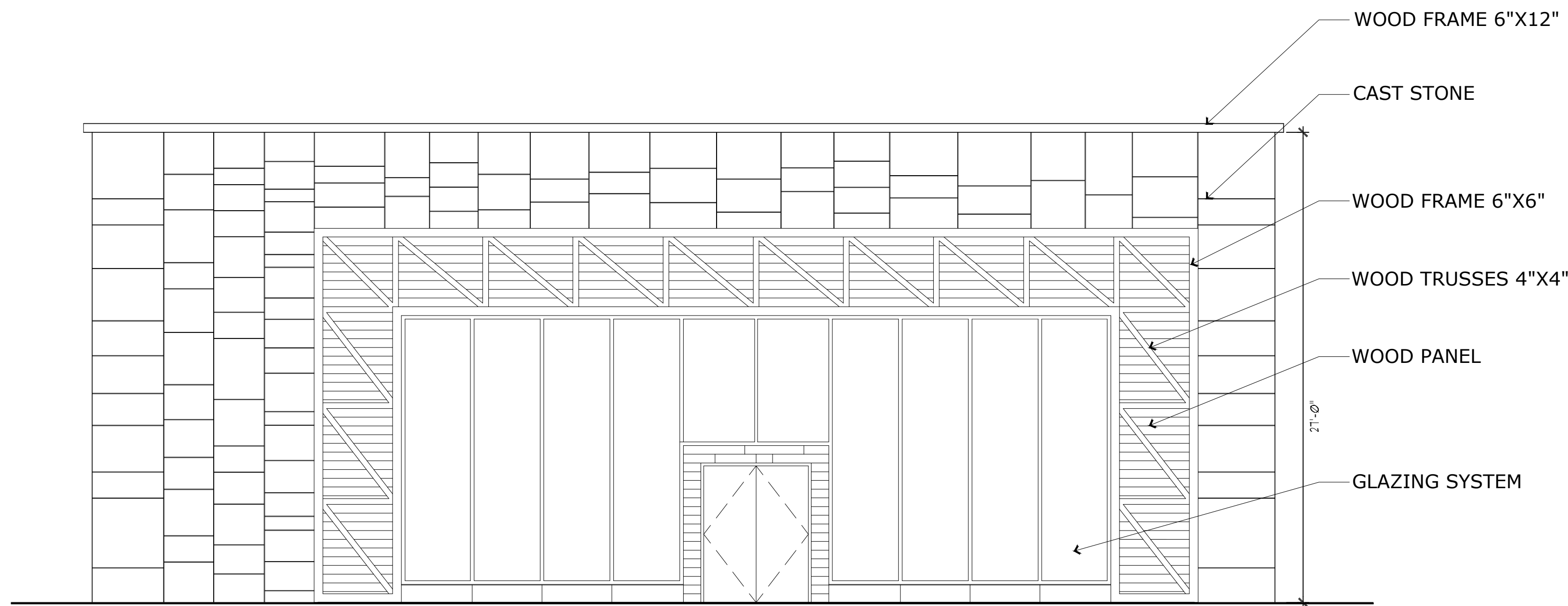
EXISTING METAL ROOFING

EXISTING METAL SIDING



EXISTING WEST ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"



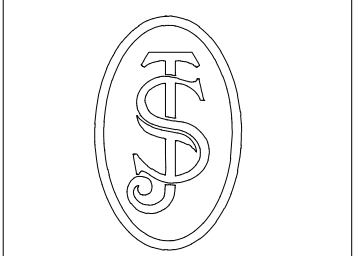
NOTE:
THE PROPOSED GLASS
RATIO TO THE MAIN FACADE
AREA IS 30%

PROPOSED NORTH ELEVATION

0' 1' 2' 4' SCALE: 3/16"=1'-0"



EXTERIOR 3D RENDERING -01



SAINT JOSEPH
BUILDING

4623 LARCH DR.
STERLING HTS. MI 48314
(586) 565-0039
onoskesto@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-	REVISION 1	01/07/25
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE

DRAWING TITLE:
PROPOSED ELEVATION
PROJECT NO.: 024-07
FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:
A06



EXTERIOR 3D RENDERING -02



EXTERIOR 3D RENDERING -03



EXTERIOR 3D RENDERING -04



EXTERIOR 3D RENDERING -05



**SAINT JOSEPH
BUILDING**
4623 LARCH DR.
STERLING HTS, MI 48314
(586) 565-0030
anas.kes@stj.org

DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



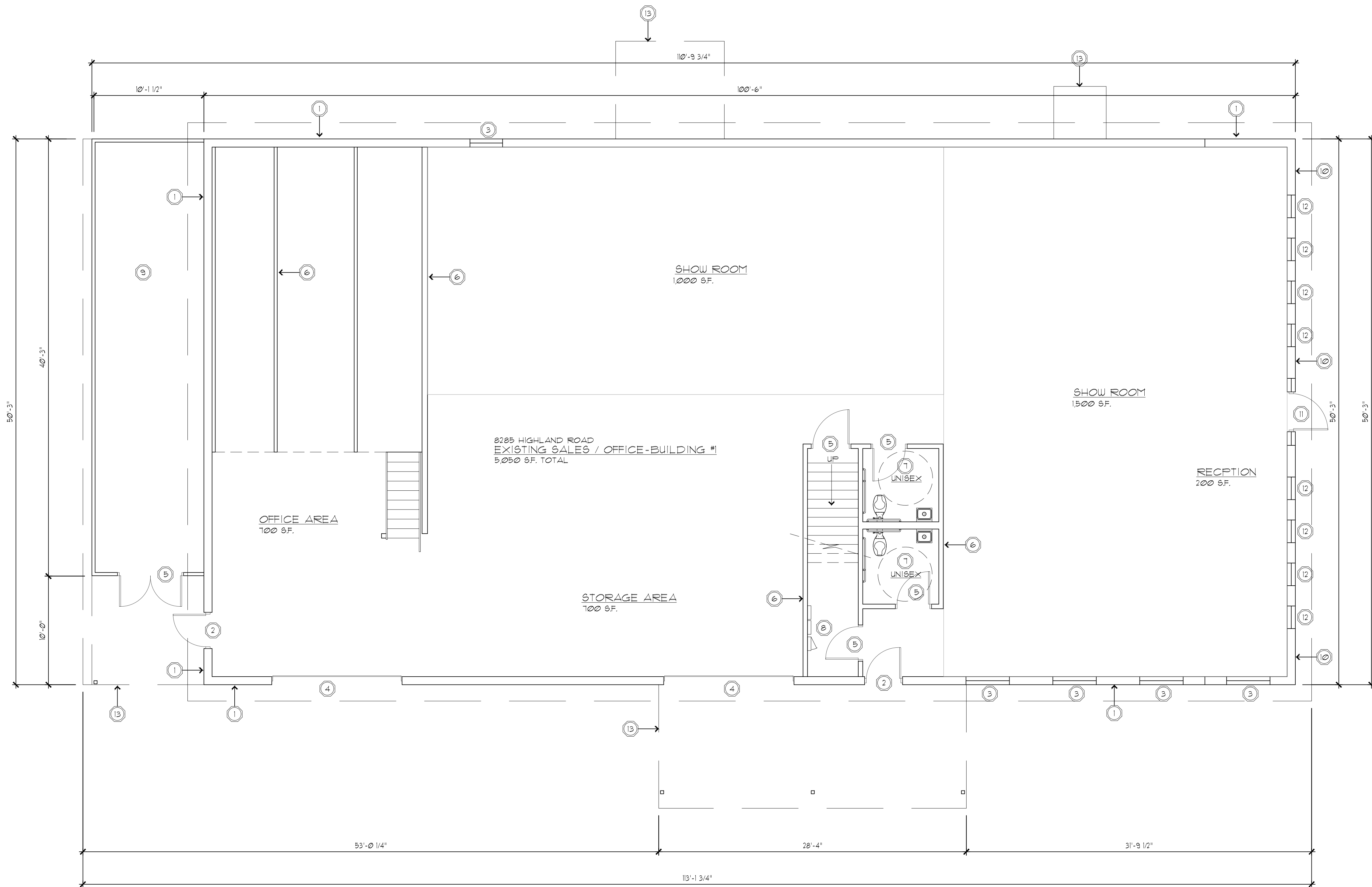
DATE

DRAWING TITLE:
PROPOSED ELEVATION

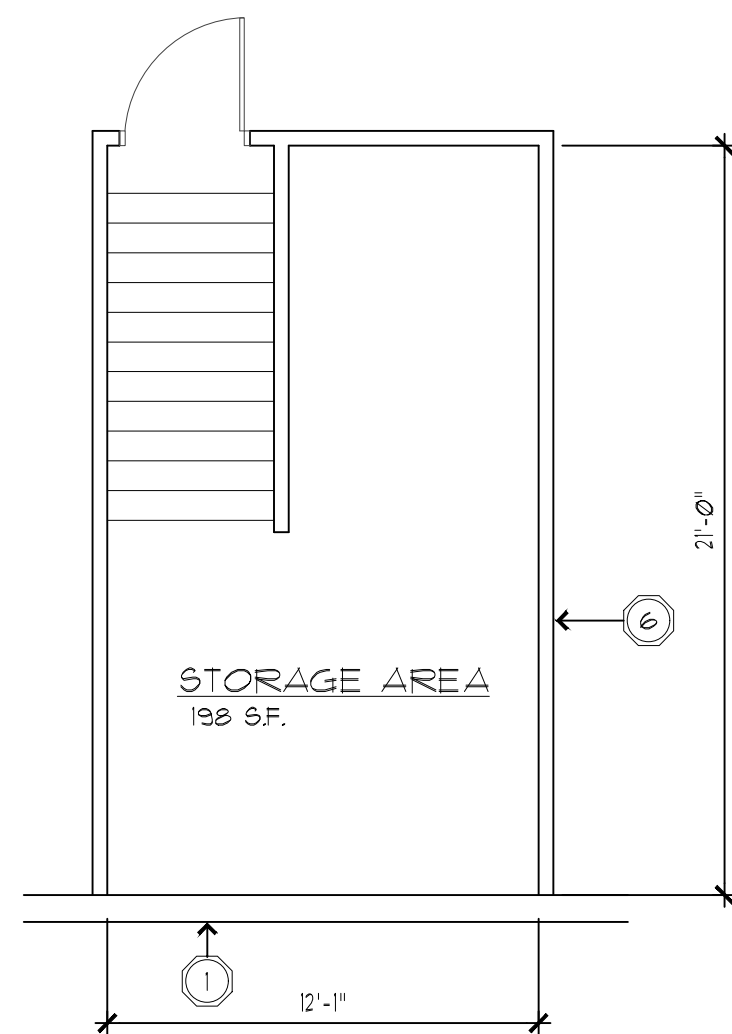
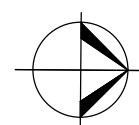
PROJECT NO.: 024-07 FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

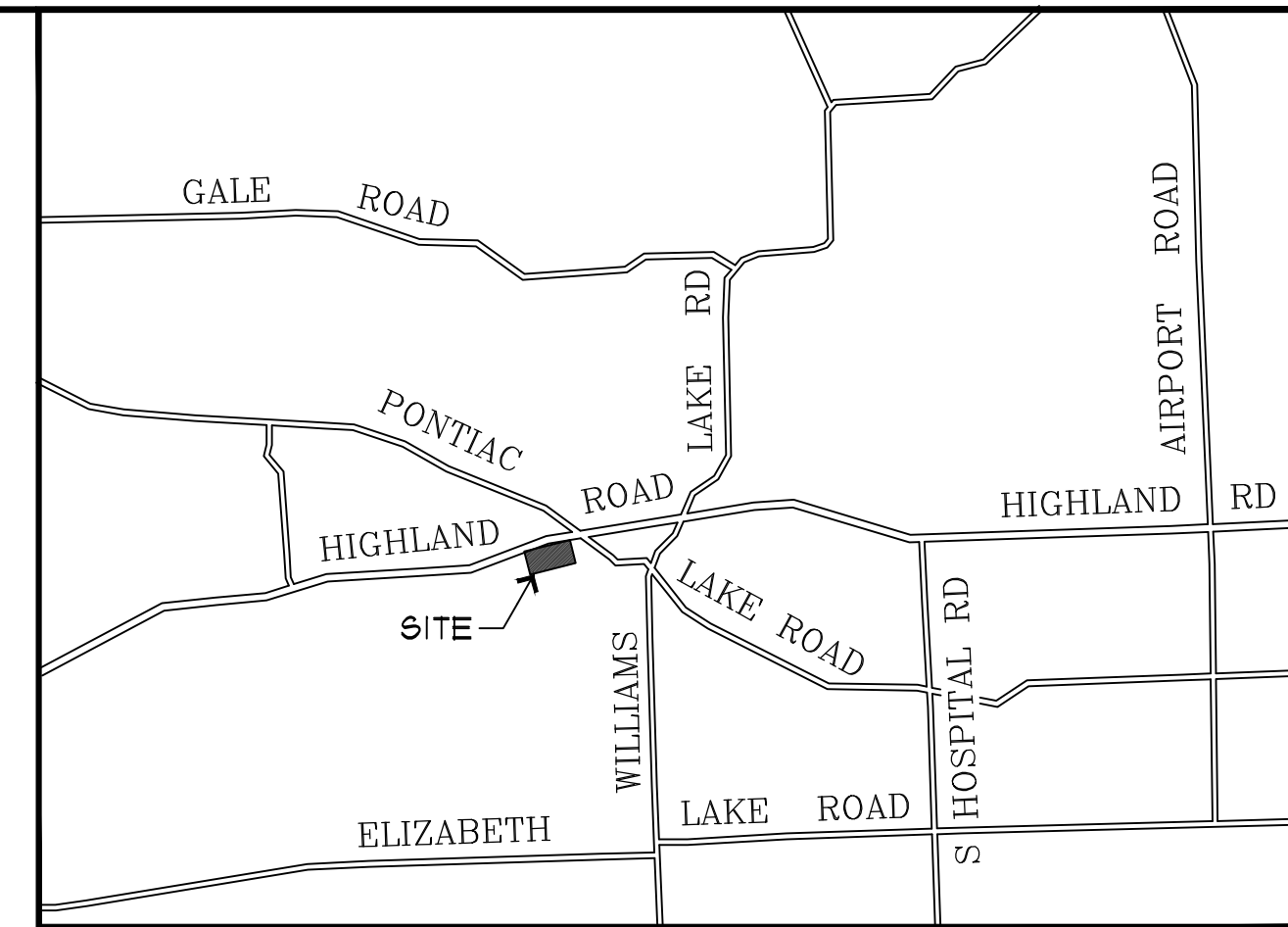
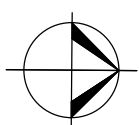
SHEET NO:
A07



EXISTING/PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'



EXISTING MEZZANINE PLAN
SCALE: 3/16" = 1'



FACE LIFTING TO EXISTING BUILDING WHITE LAKE MOTORS SCOPE OF WORK: FACE LIFTING TO EXISTING AUTO SALES BUILDING

BUILDING CODE INFORMATION

WHITE LAKE CHARTER TOWNSHIP ZONING ORDINANCE
2015 Michigan Building Code (2015 IBC as amended)
Michigan Electrical Code (2013 NEC as amended)
2021 Michigan Mechanical Code (2021 IMC as amended)
2021 Michigan Plumbing Code (2021 IPC as amended)
MICHIGAN BARRIER FREE - ICC/ANSI A117.1-2009
INTERNATIONAL FIRE CODE - 2015 (IFC-2015)
BUILDING USE & OCCUPANCY CLASSIFICATION (PER CH. 03):
USE GROUP: 'B' BUSINESS
EXISTING USE: VACANT BUILDING
PROPOSED USE: AUTO SALES WITH EXTERIOR RENOVATION
TENANT SPACE TO COMPLY WITH SECTION 302.

EXISTING ZONING: COMMERCIAL DISTRICT
BUILDING USE & OCCUPANCY CLASSIFICATION (PER CH. 03):
TYPE OF CONSTRUCTION: 5B (PER TABLE 601.0 & SEC. 602.2)
TOTAL BUILDING AREA: 5,050 SF.
EXISTING BUILDING HEIGHT: VARIES (MAX. 12'-8" MID OF ROOF)
PROPOSED BUILDING HEIGHT: 21'-0"
FIRE SUPPRESSION: NO (BUILDING NOT SPRINKLED) / MEC 2015

GENERAL CONSTRUCTION NOTES:

- ALL CONSTRUCTION REMODELING TO BE PERFORMED BY QUALIFIED CONTRACTORS, LICENSED & EXPERIENCED IN THE STATE OF MICHIGAN.
- THE SUB CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING AND ASSUME FULL/ SUBCONTRACTOR RESPONSIBILITY FOR VISUAL OBSERVATION OF EXISTING CONDITIONS. DURING THE VISIT THE CONTRACTOR SHALL RELATE THE PROPOSED FLOOR PLANS TO THE EXISTING SPACE CONDITIONS AND BE FAMILIAR WITH THE AREAS WHERE WORK WILL BE PERFORMED. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES, IF ANY, PRIOR TO SUBMITTING THE BID AND START OF CONSTRUCTION.
- THE SUB CONTRACTOR SHALL ACCEPT THE SITE IN THE CONDITION IN WHICH IT EXISTS AT THE TIME OF THE CONTRACT AWARD. ALL EXCLUSIONS SHALL BE MADE ON THE BID PROPOSAL AND SUBMITTED TO THE OWNER FOR REVIEW.
 - THE SUB CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, & MATERIALS NECESSARY TO COMPLETE THE WORK SPECIFIED ON THE DRAWINGS AND HEREINAFTER SPECIFIED.
 - LAYOUT OF THE WORK, LOCATION OF REFERENCES & DIMENSIONS PER PLANS & COORDINATE LOCATION OF ALL CHASES, OPENINGS, DUCTS, LINES, CONDUITS, FIXTURES AND EQUIPMENT.
 - TEMPORARY PARTITIONS, DUST PROTECTORS, ENCLOSING OF OPENINGS, RAMPS AND CAT WALKS AS REQUIRED BY OSHA FOR SAFETY.
- ACCOUNT OF AN ERROR ON HIS PART OR HIS NEGLIGENCE OF FAILURE TO ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS OF THE SPACE.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, GUESTS, OR OTHER WORK BEING PERFORMED NEAR THE SITE.
- THE SUB CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
- MAINTAIN SAFE CONSTRUCTION ACCESS TO THE WORK AREA AT ALL TIMES AND POST WARNING SIGNS AT ALL PEDESTRIAN TRAVEL PATHS.
- ALL ASSOCIATED ELECTRICAL, PLUMBING, DUCTWORK, ETC. TO BE DEMOLISHED SHALL BE DISCONNECTED AND REMOVED TO THE SOURCE.
- EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE CLEANUP OF DEBRIS AND CUTTING MATERIALS DAILY.

FLOOR PLAN REFERENCE NOTES:


- EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN.
- EXISTING GLASS ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.
- EXISTING GLASS WINDOW IN ALUMINUM FRAME TO REMAIN.
- EXISTING OVERHEAD DOOR AND FRAME TO REMAIN.
- EXISTING DOOR AND FRAME TO REMAIN.
- EXISTING DRYWALL CONSTRUCTION TO REMAIN.
- EXISTING RESTROOM AND FIXTURES TO REMAIN.
- EXISTING ELECTRICAL PANELS AND CONTROL PANELS TO REMAIN.
- EXISTING STORAGE AREA TO REMAIN.
- FOR NEW BUILDING ELEVATION, REFER TO PROPOSED ELEVATIONS, SHEET A03.
- EXISTING GLASS ALUMINUM DOUBLE DOOR AND FRAME TO BE REMOVED.
- EXISTING GLASS WINDOW IN ALUMINUM FRAME TO BE REMOVED.
- BUILDING OVERHANG TO REMAIN.
- EXISTING ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.


**SAINT JOSEPH
BUILDING**
4623 LARCH DR.
STERLING HTS., MI 48314
(586) 565-0030
oneswesto@gmail.com
DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE

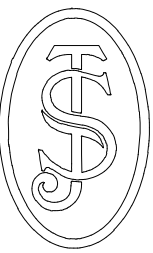


DATE: 09/11/2024

DRAWING TITLE:
EXISTING / PROPOSED
FLOOR PLAN
PROJECT NO.: 024-07
FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:
A01



SAINT JOSEPH
BUILDING

4623 LARCH DR.
STERLING HTS, MI 48314
(588) 565-0030
anas.kest@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE

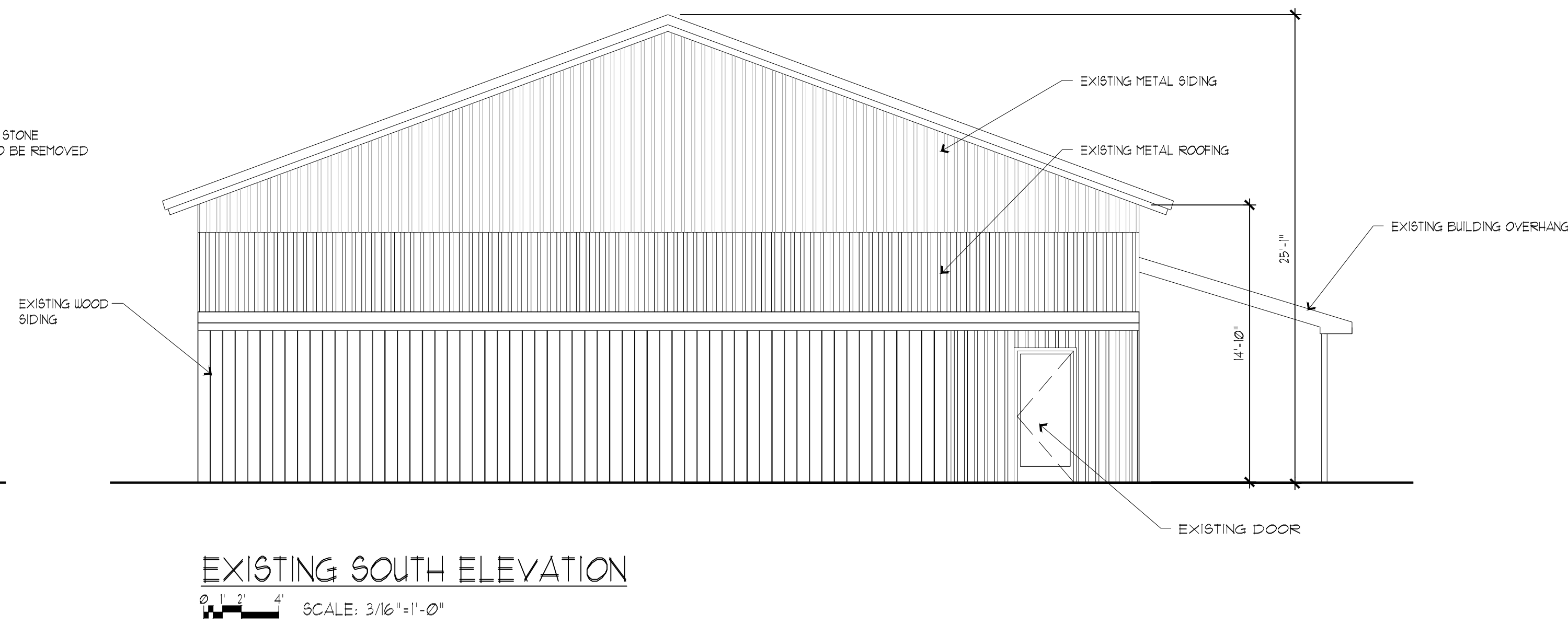
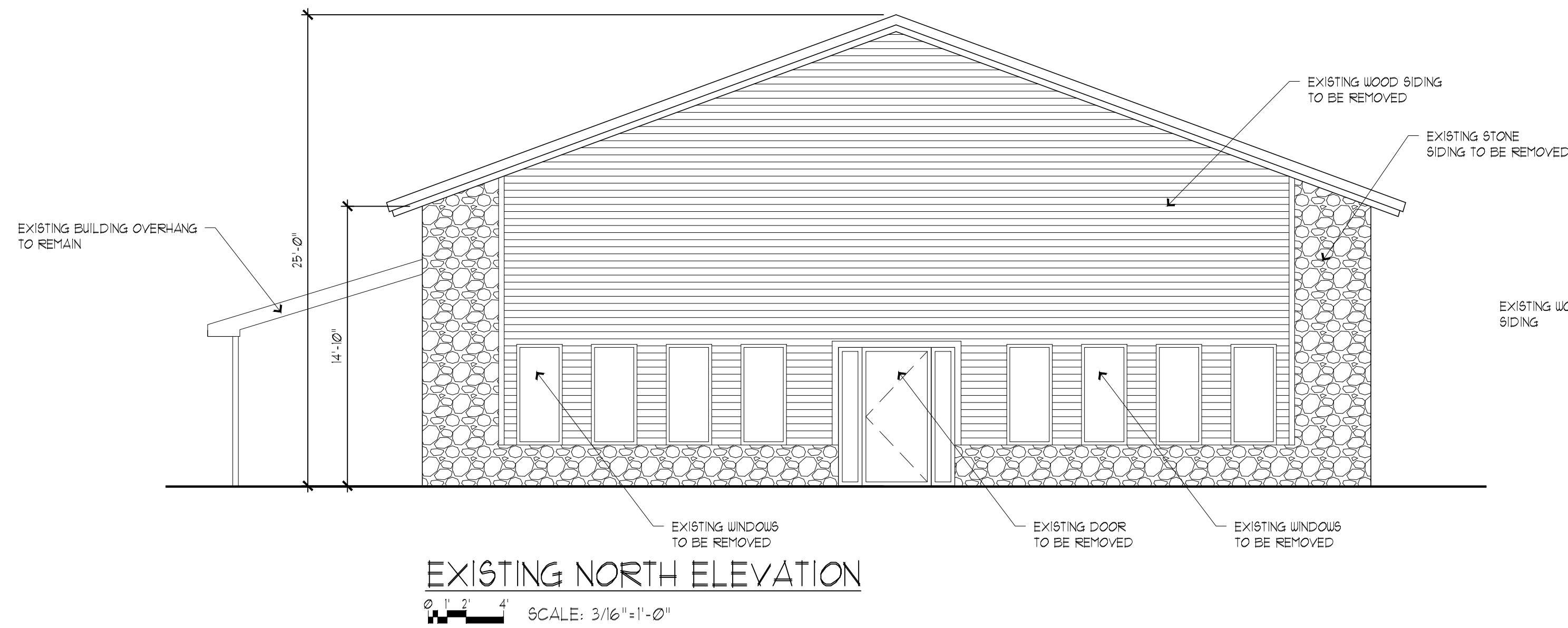
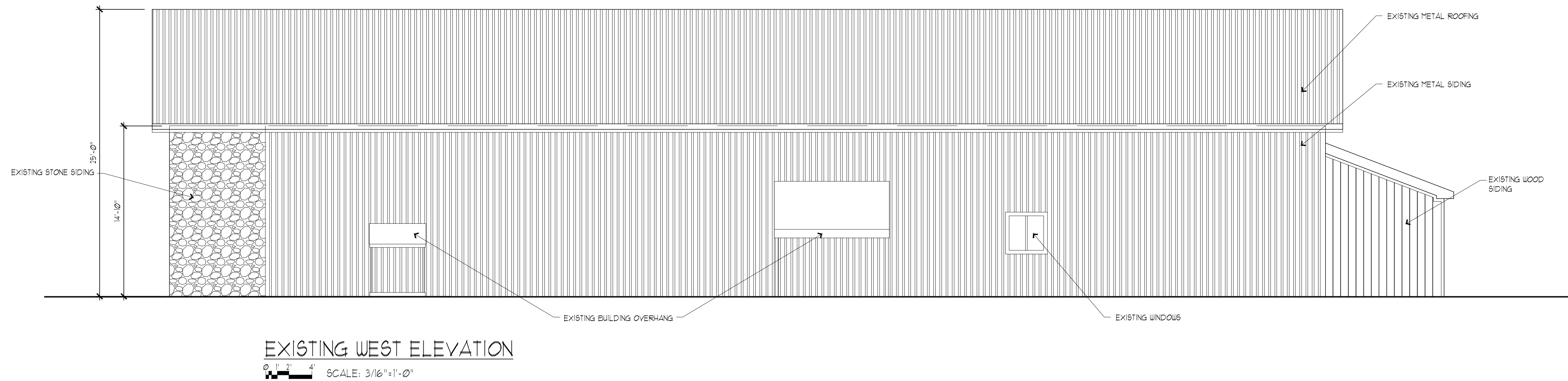
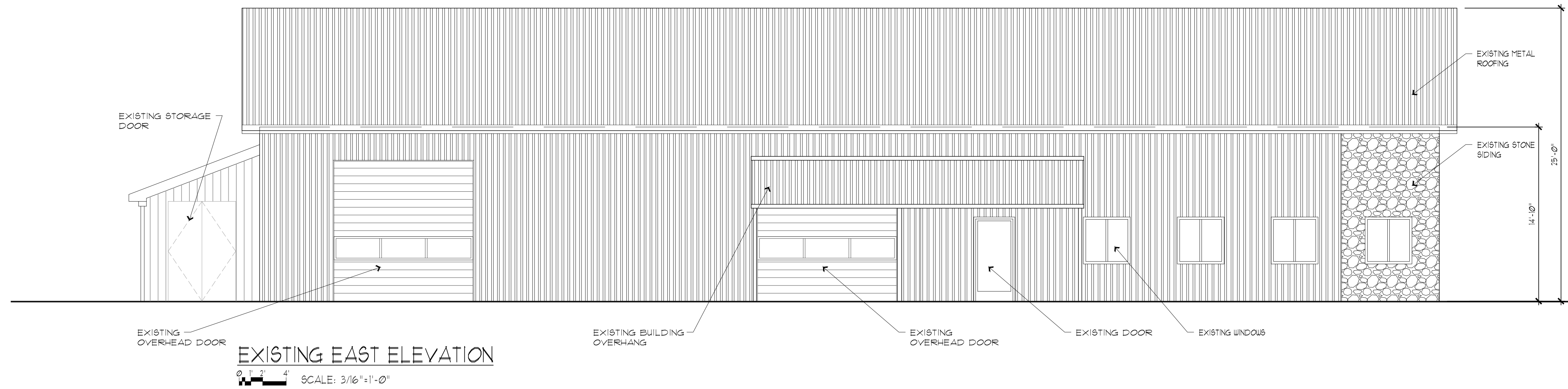
DRAWING TITLE:
EXISTING ELEVATIONS

PROJECT NO.: 024-07 FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:

A02





**SAINT JOSEPH
BUILDING**

4623 LARCH DR.
STERLING HTS, MI 48314
(800) 563-0030
anas.kestof@gmail.com


DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING

8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE: 09/11/2024

DRAWING TITLE:
EXISTING FLOOR PLAN
BUILDINGS # 2 & 3

PROJECT NO.: 024-07 FILE NAME: White Lake

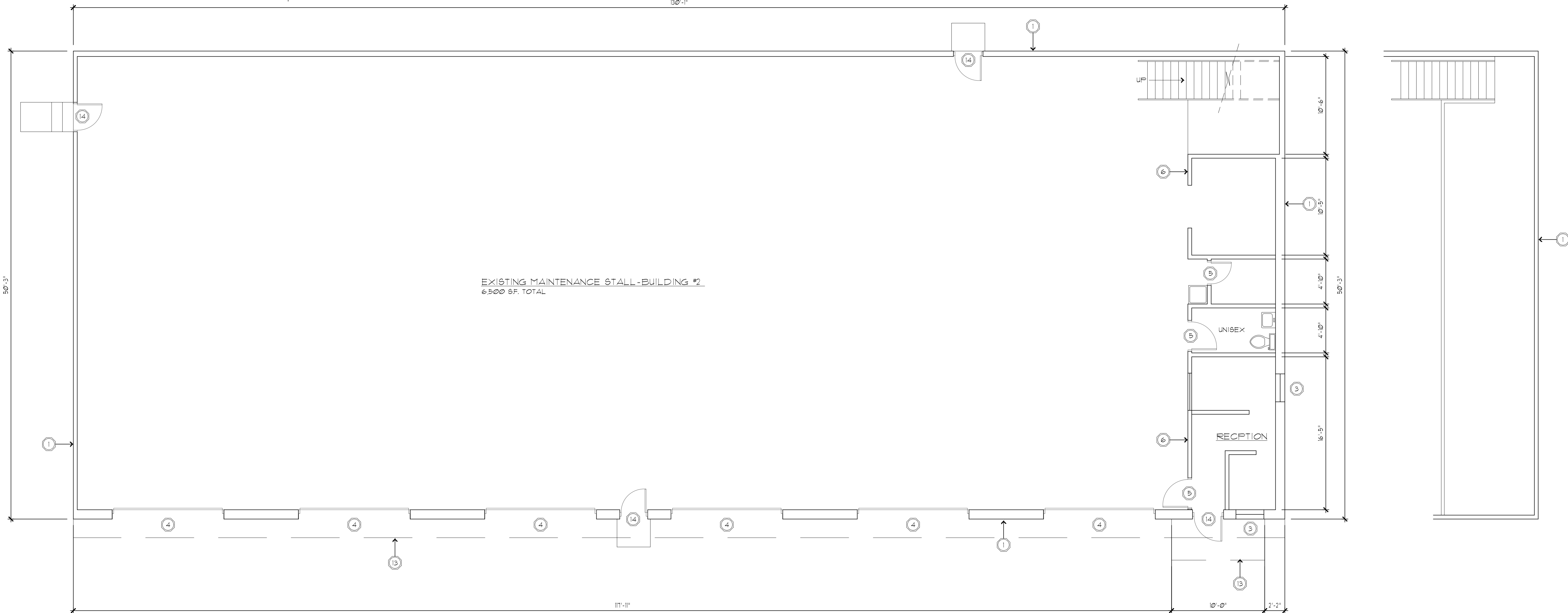
DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:
A03

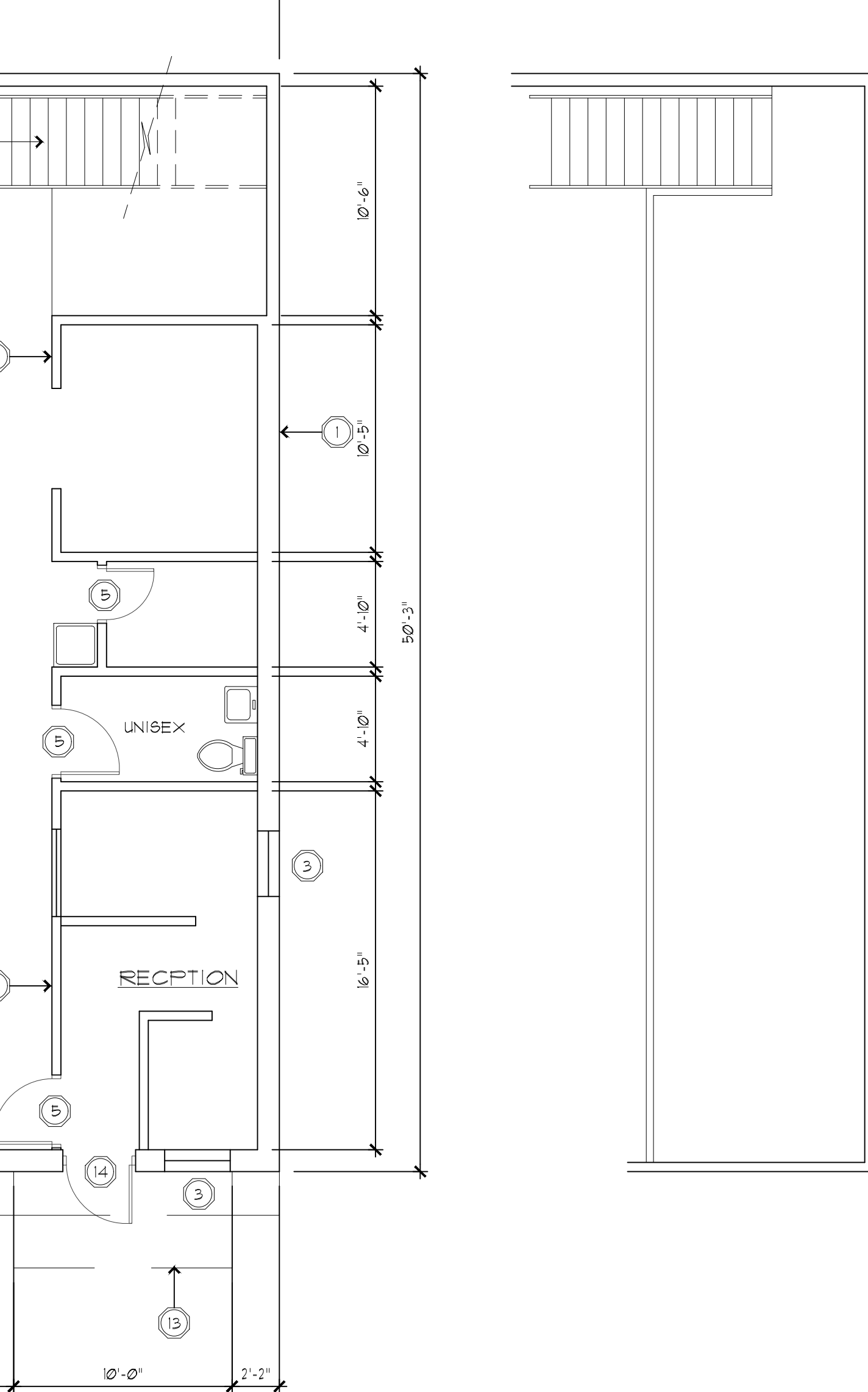
- FLOOR PLAN REFERENCE NOTES:
- 1 EXISTING EXTERIOR WALL CONSTRUCTION TO REMAIN.
 - 2 EXISTING GLASS ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.
 - 3 EXISTING GLASS WINDOW IN ALUMINUM FRAME TO REMAIN.
 - 4 EXISTING OVERHEAD DOOR AND FRAME TO REMAIN.
 - 5 EXISTING DOOR AND FRAME TO REMAIN.
 - 6 EXISTING DRYWALL CONSTRUCTION TO REMAIN.
 - 7 EXISTING RESTROOM AND FIXTURES TO REMAIN.
 - 8 EXISTING ELECTRICAL PANELS AND CONTROL PANELS TO REMAIN.
 - 9 EXISTING STORAGE AREA TO REMAIN.
 - 10 FOR NEW BUILDING ELEVATION, REFER TO PROPOSED ELEVATIONS, SHEET A03.
 - 11 EXISTING GLASS ALUMINUM DOUBLE DOOR AND FRAME TO BE REMOVED.
 - 12 EXISTING GLASS WINDOW IN ALUMINUM FRAME TO BE REMOVED.
 - 13 BUILDING OVERHANG TO REMAIN.
 - 14 EXISTING ALUMINUM SINGLE DOOR AND FRAME TO REMAIN.



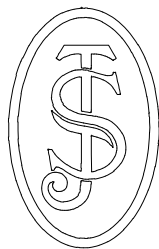
EXISTING PLAN
SCALE: 3/16" = 1'



EXISTING FIRST PLAN
SCALE: 3/16" = 1'



EXISTING MEZZANINE PLAN
SCALE: 3/16" = 1'



SAINT JOSEPH
BUILDING

4623 LARCH DR.
STERLING HTS., MI 48314
(800) 565-0030
anaskesto@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:

1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE

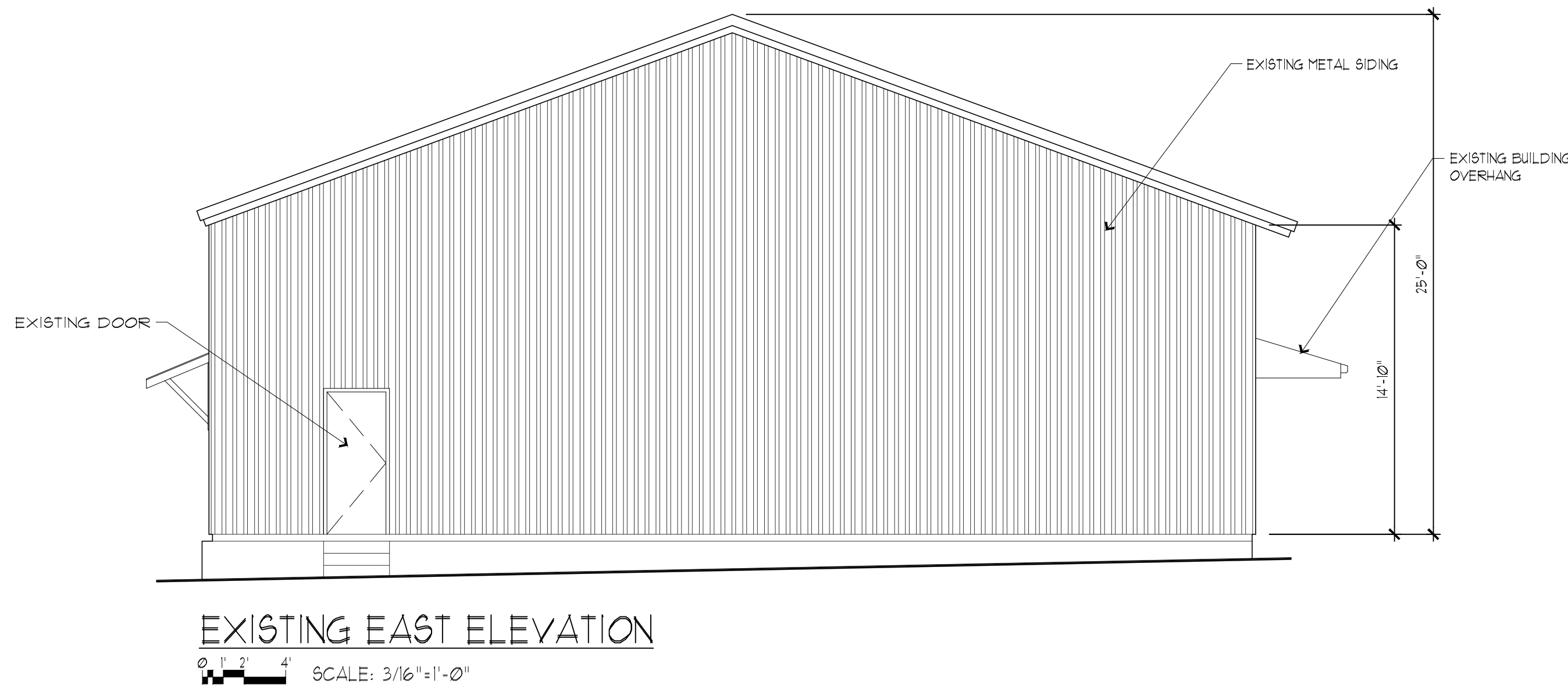
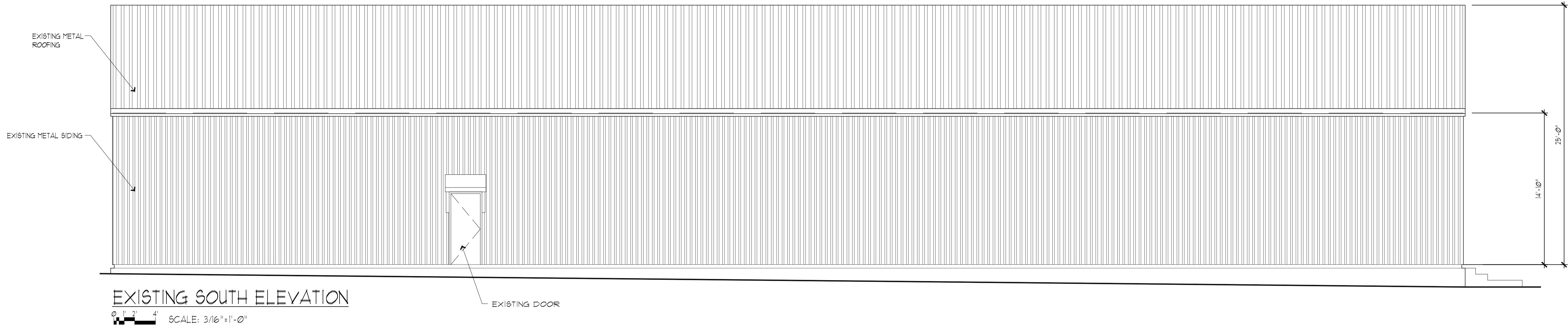
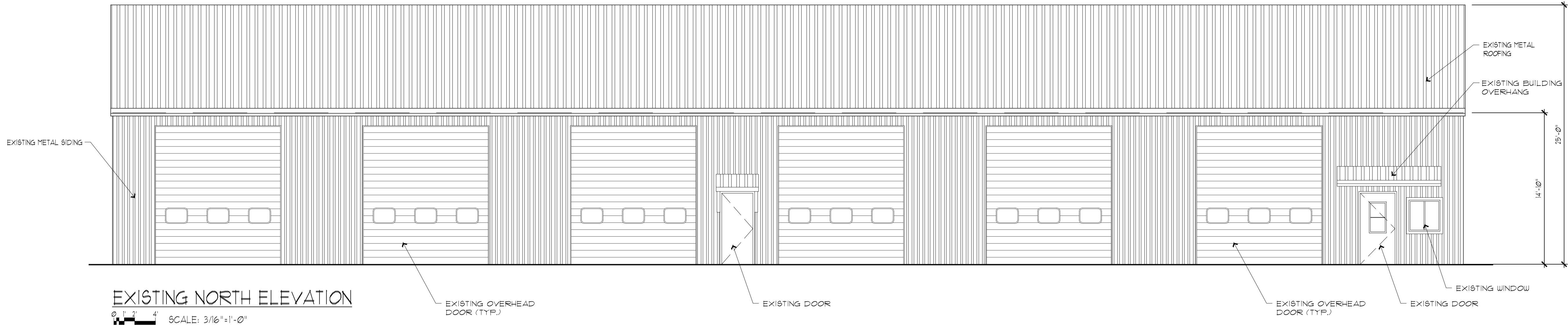
DRAWING TITLE:
EXISTING ELEVATIONS
BUILDING #2

PROJECT NO.: 024-07 FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:

A04





SAINT JOSEPH
BUILDING

4623 LARCH DR.
STERLING HTS., MI 48314
(588) 565-0030
onskvetoff@gmail.com

DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING

8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE:

DRAWING TITLE:
EXISTING ELEVATIONS
BUILDING #2

PROJECT NO.: 024-07

FILE NAME: White Lake

DRAWN BY: ANAS

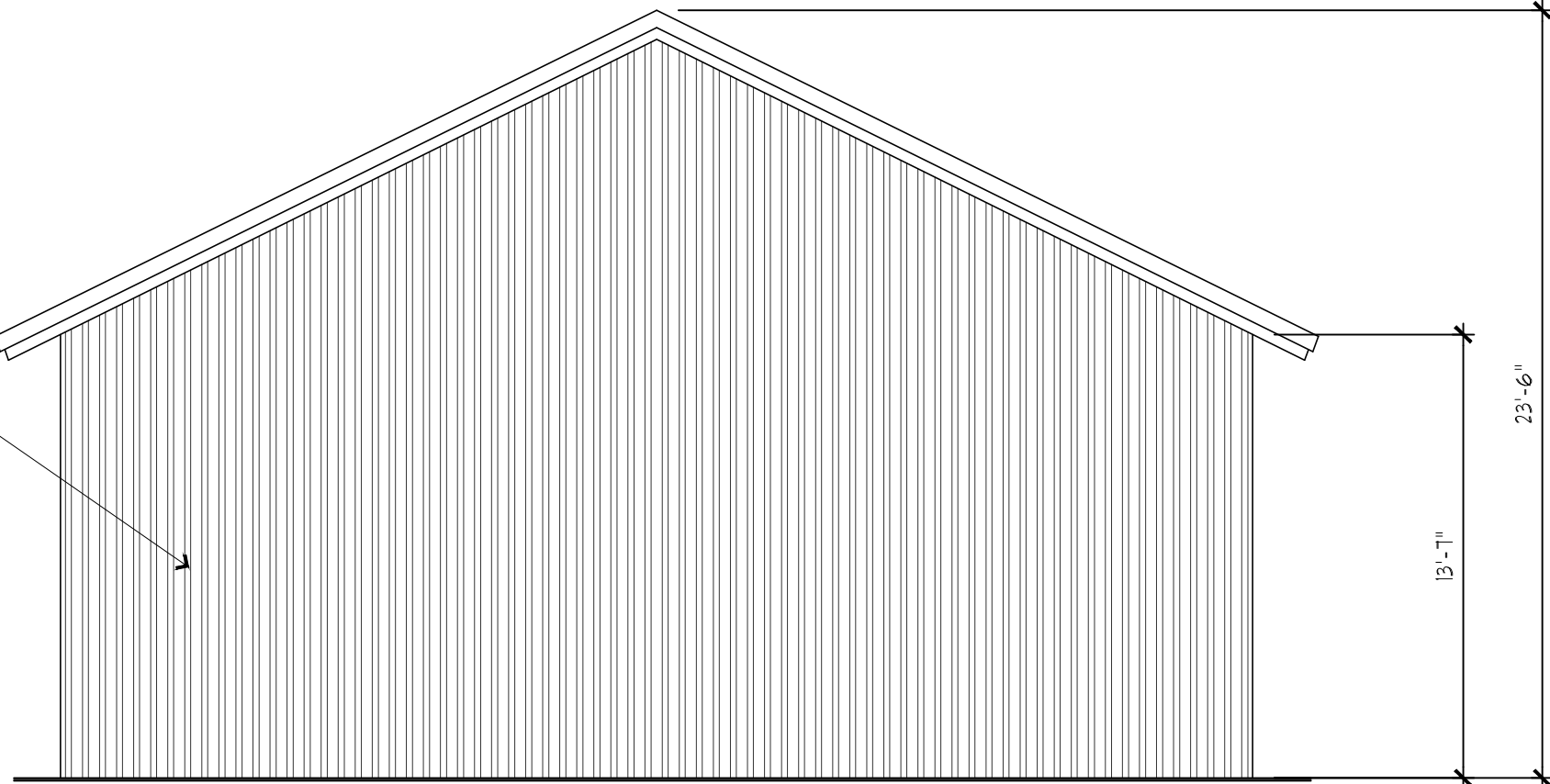
CHECKED BY: IMAD

DATE: 07/22/2024

SHEET NO:

A05

EXISTING METAL SIDING

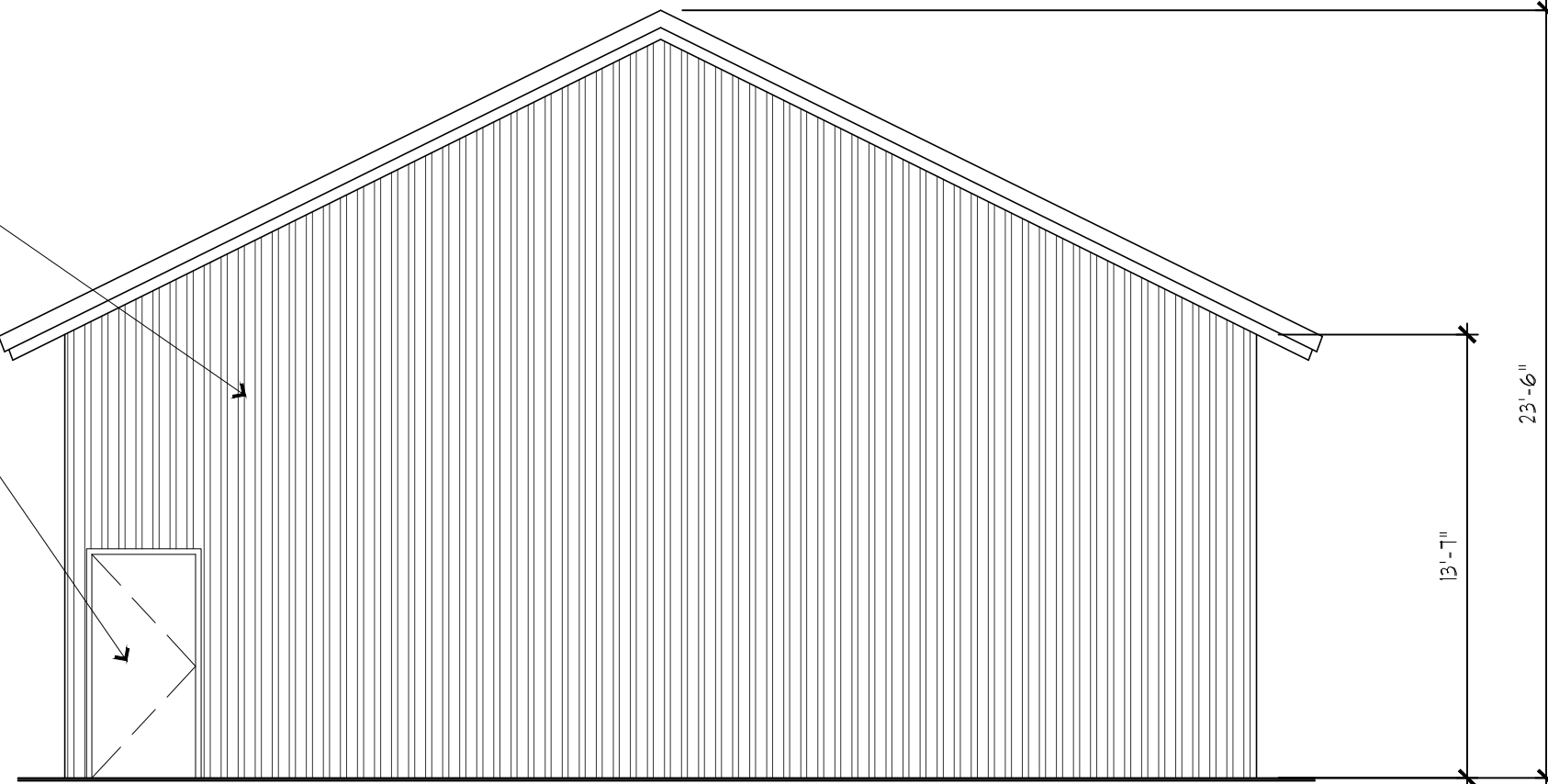


EXISTING SOUTH ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"

EXISTING METAL SIDING

EXISTING DOOR

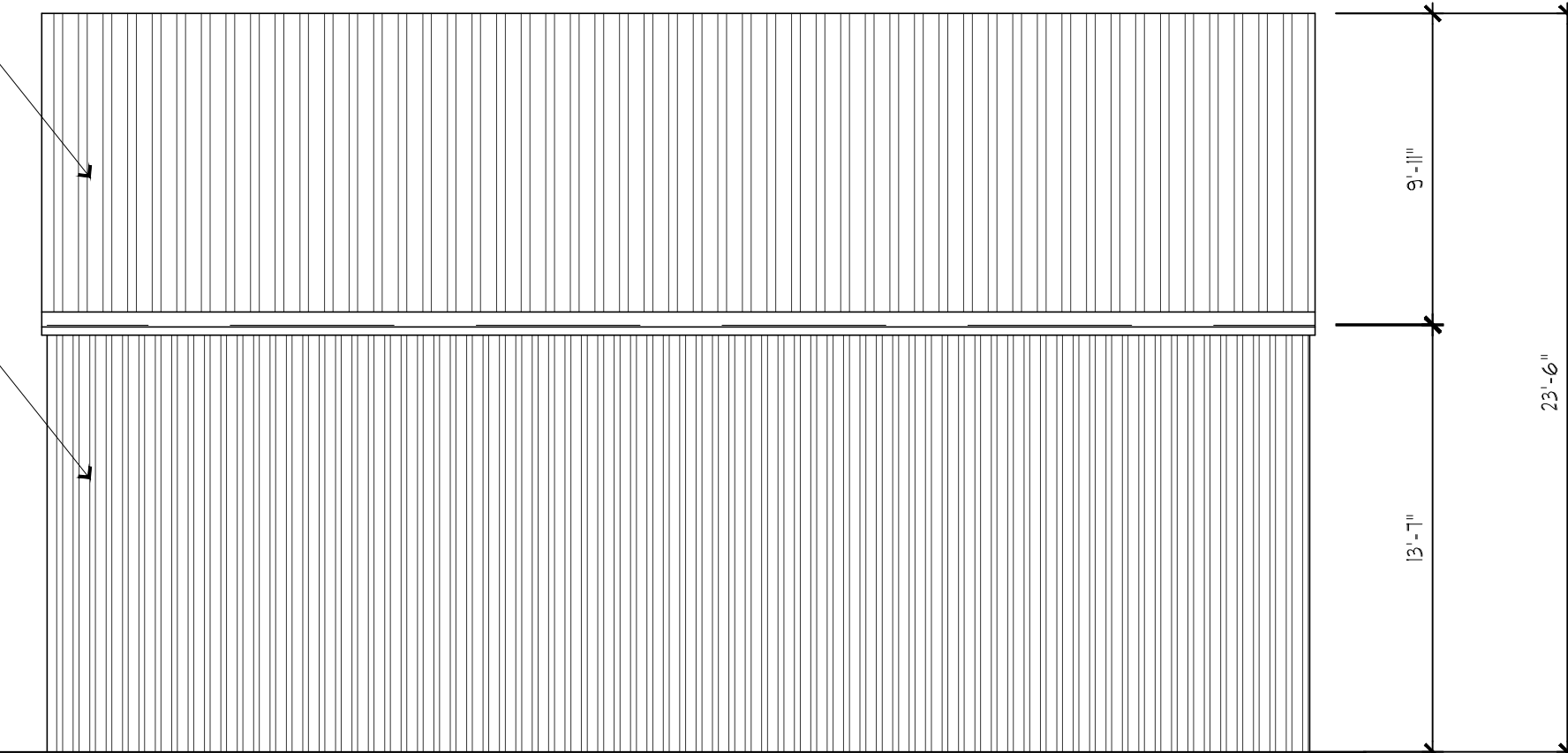


EXISTING NORTH ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"

EXISTING METAL ROOFING

EXISTING METAL SIDING

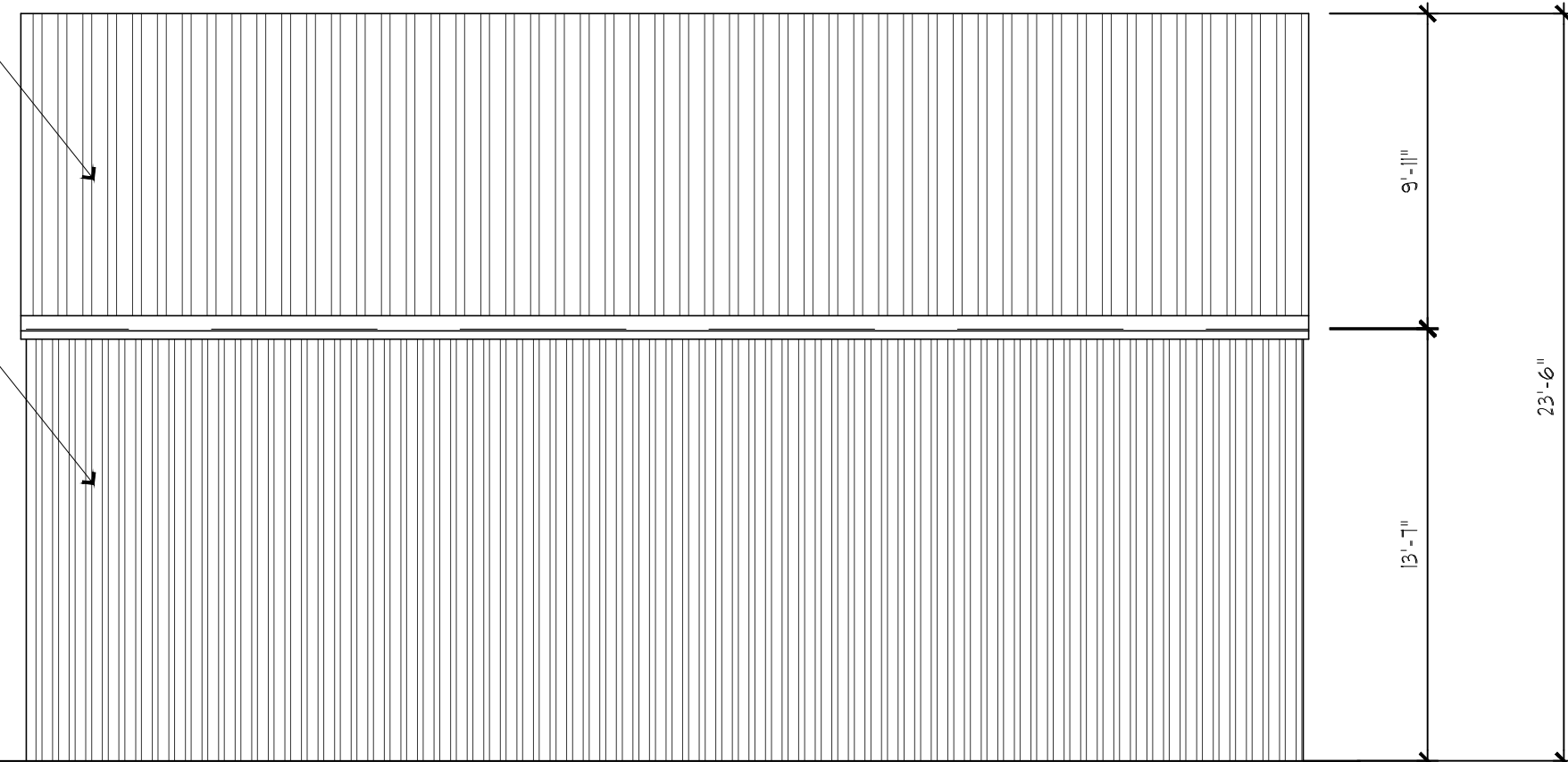


EXISTING EAST ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"

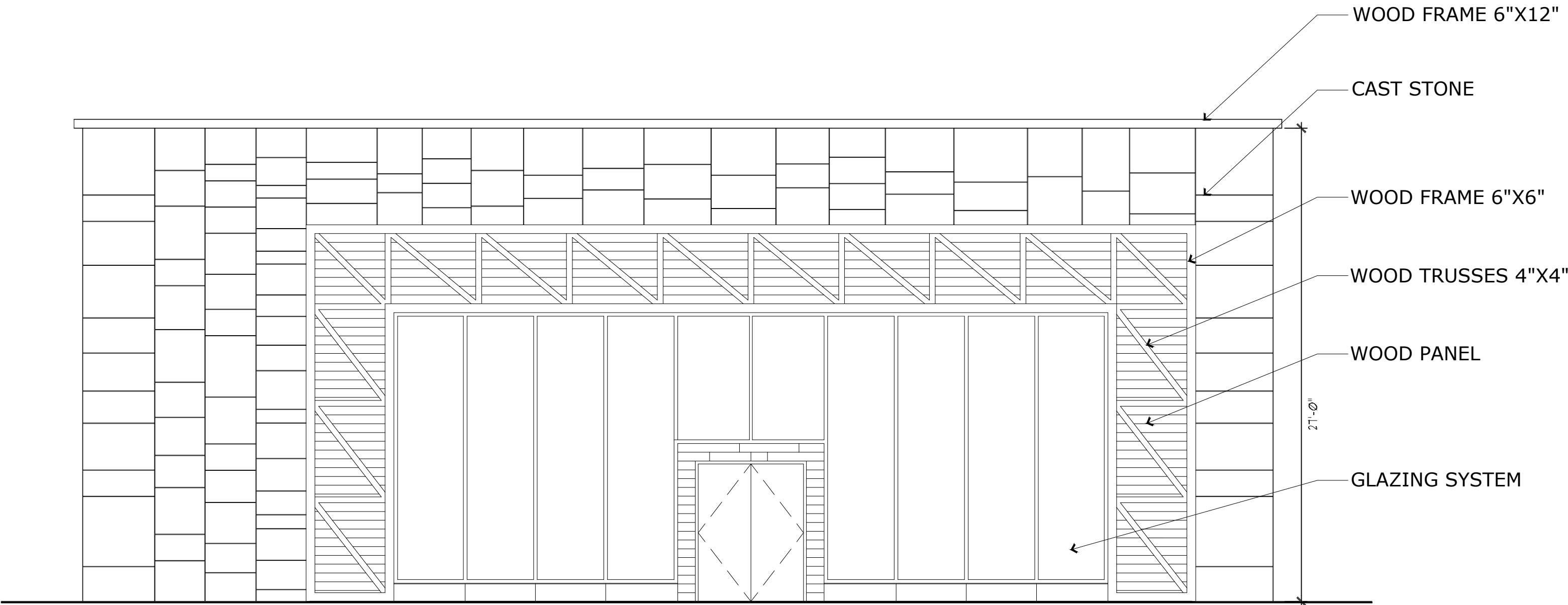
EXISTING METAL ROOFING

EXISTING METAL SIDING



EXISTING WEST ELEVATION

0" 1" 2" 4" SCALE: 3/16"=1'-0"



NOTE:
THE PROPOSED GLASS
RATIO TO THE MAIN FACADE
AREA IS 30%

PROPOSED NORTH ELEVATION

0' 1' 2' 4' SCALE: 3/16"=1'-0"



EXTERIOR 3D RENDERING -01




**SAINT JOSEPH
BUILDING**
4623 LARCH DR.
STERLING HTS., MI 48314
(586) 565-0039
onoskesto@gmail.com
DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-	REVISION 1	01/07/25
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



DATE

DRAWING TITLE:
PROPOSED ELEVATION

PROJECT NO.: 024-07
FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:
A06



EXTERIOR 3D RENDERING -02



EXTERIOR 3D RENDERING -03



EXTERIOR 3D RENDERING -04



EXTERIOR 3D RENDERING -05



**SAINT JOSEPH
BUILDING**
4623 LARCH DR.
STERLING HTS, MI 48314
(586) 565-0030
anas.kes@stj.org

DESIGNED BY:
Imad Potres

REVISIONS:		
1-	SITE PLAN	09/09/24
2-		
3-		
4-		
5-		
6-		
7-		

FACE LIFTING TO EXISTING
BUILDING
8285 Highland Rd, White Lake,
MI 48386

SEAL / SIGNATURE



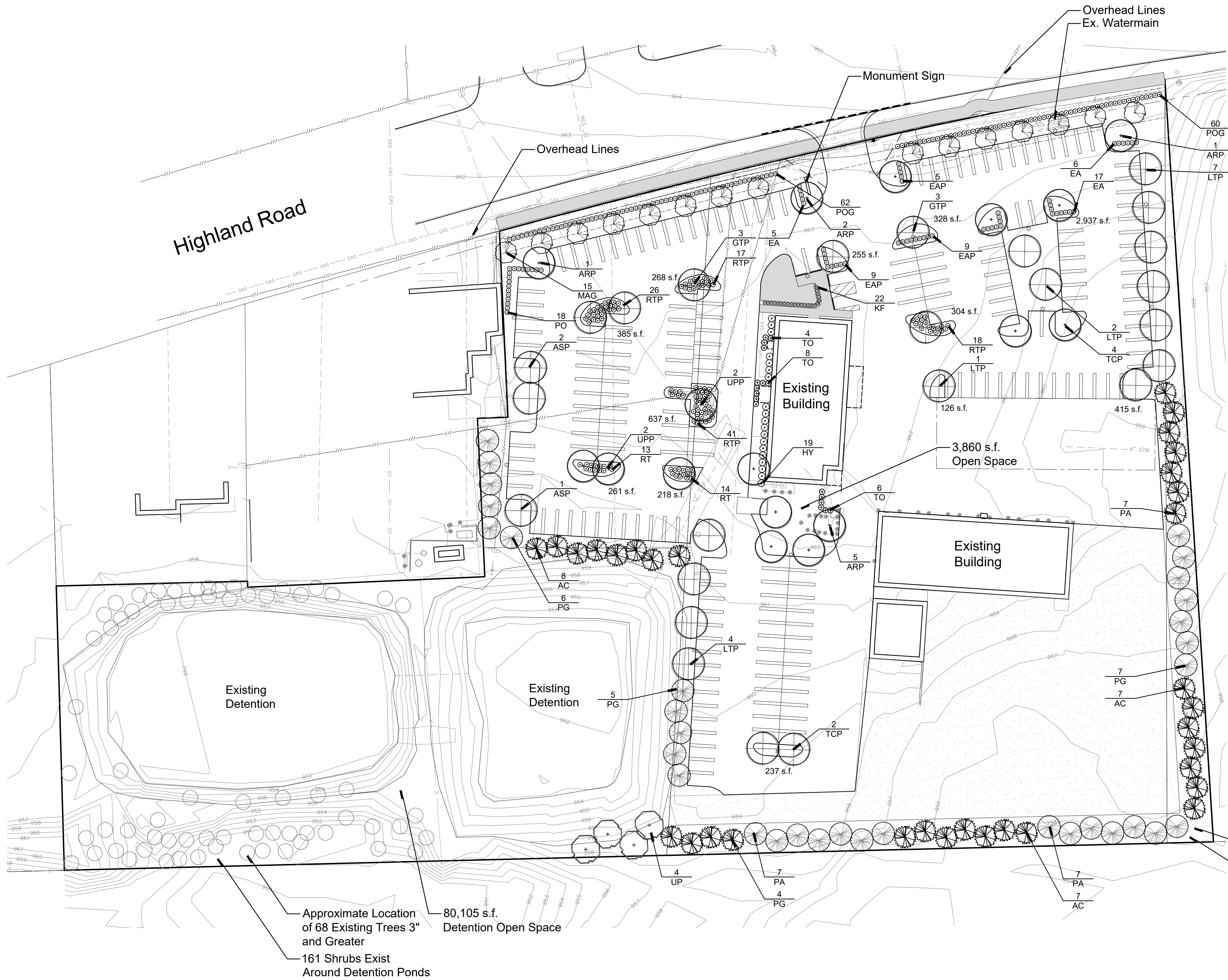
DATE

DRAWING TITLE:
PROPOSED ELEVATION

PROJECT NO.: 024-07 FILE NAME: White Lake

DRAWN BY: ANAS
CHECKED BY: IMAD
DATE: 07/22/2024

SHEET NO:
A07



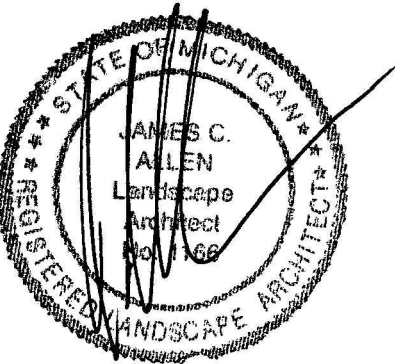
Landscape Summary

Greenbelt	
Greenbelt Length	456'
Trees Required	15.2 Trees (456 / 30)
Trees Provided	15 Trees
Shrubs Required	121.6 Shrubs (456 / 30) x 8
Shrubs Provided	122 Shrubs
Interior Landscaping	
Site Area	273,121 s.f.
Interior Landscape Required	40,968 s.f. (273,121 x 15%)
Interior Landscape Provided	117,445 s.f.
Trees Required	136.5 Trees (40,968 / 300)
Trees Provided	137 Trees (68 Existing)
Shrubs Required	682.8 Shrubs (40,968 / 300) x 5
Shrubs Provided	288 Shrubs (161 Existing)
Parking Lot	
Parking Spaces Shown	206 Spaces
Landscape Area Required	4,120 s.f. (206 Spaces x 20)
Landscape Area Provided	6,372 s.f.
Trees Required	41.2 Trees (4,120 / 100)
Trees Provided	42 Trees
Shrubs Required	123.6 Shrubs (4,120 / 100) x 3
Shrubs Provided	125 Shrubs
<div>1. Required Greenbelt Trees Cannot be Planted Due to Watermain. Ornamental Trees have been Substituted for Canopy Trees Where Overhead Power Lines are Present.</div> <div>2. All Lawn Areas Shall be Seed.</div> <div>3. All Landscaped Areas Shall be Irrigated.</div>	

Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root	height
Greenbelt							
MAG	15	Malus 'Adirondack'	Adirondack Crab	1.5"	as shown	B&B	30"
POG	122	Physocarpus opulifolius 'Coppertina'	Coppertina Ninebark		as shown	cont	
	15	Trees Provided					
	122	Shrubs Provided					
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Interior Landscaping							
AC	22	Abies concolor	Concolor Fir		as shown	B&B	7'
EA	23	Euonymus alata 'Compacta'	Burning Bush		as shown	cont	30"
HY	19	Hydrangea 'Lime Light'	Lime Light Hydrangea		as shown	cont	24"
KF	22	Calamagrostis x. a. 'Karl Forester'	Karl Forester Grass		as shown	cont	#3
PA	21	Picea abies	Norway Spruce		as shown	B&B	7'
PG	22	Picea glauca var. densata	Black Hills Spruce		as shown	B&B	7'
PO	18	Physocarpus opulifolius 'Coppertina'	Coppertina Ninebark		as shown	cont	30"
RT	27	Rhus typhina 'Gro-Low'	Gro-Low Sumac		as shown	cont	30"
TO	18	Thuja occidentalis 'Techny'	Techny Arborvitae		as shown	B&B	5'
UP	4	Ulmus 'Princeton'	Princeton Elm	2.5"	as shown	B&B	
	69	Trees Provided					
	127	Shrubs Provided					
sym.	qty.	botanical name	common name	caliper	spacing	root	height
Parking Lot Landscaping							
ARP	9	Acer rubrum 'Red Point'	Red Maple 'Red Point'	2.5"	as shown	B&B	
ASP	3	Acer saccharum 'Green Mountain'	Sugar Maple	2.5"	as shown	B&B	
EAP	23	Euonymus alata 'Compacta'	Burning Bush		as shown	cont	30"
GTP	6	Gleditsia triacanthos var. inermis	Honey Locust	2.5"	as shown	B&B	
LTP	14	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
RTP	102	Rhus typhina 'Gro-Low'	Gro-Low Sumac		as shown	cont	30"
TCP	6	Tilia cordata 'Greenspire'	Greenspire Linden	2.5"	as shown	B&B	
UPP	4	Ulmus 'Princeton'	Princeton Elm	2.5"	as shown	B&B	
	42	Trees Provided					
	125	Shrubs Provided					

Seal:



Title:

Landscape Plan

Project:

White Lake Motors
White Lake, Michigan

Prepared for:

S2 Construction Management
12596 Ten Mile
South Lyon, Michigan 48178

Revision:

Review
Revised
Revised

Issued:

September 9, 2024
November 21, 2024
February 25, 2025

Job Number:

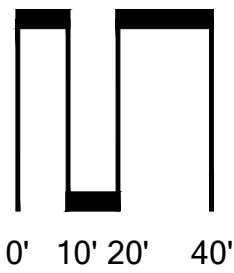
24-057

Drawn By:

jca

Checked By:

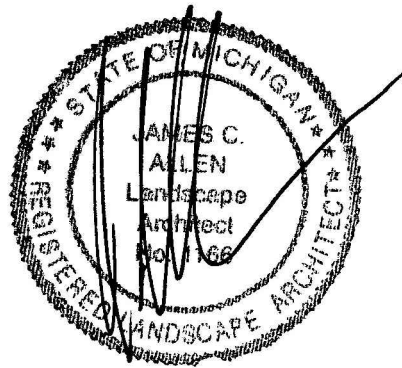
jca



Sheet No.



L-1



Seal:

Title:

Landscape Details

Project:

White Lake Motors
White Lake, Michigan

Prepared for:

S2 Construction Management
12596 Ten Mile
South Lyon, Michigan 48178

Revision:

Review
Revised
Revised

Issued:

September 9, 2024
November 21, 2024
February 25, 2025

Job Number:

24-057

Drawn By:

jca

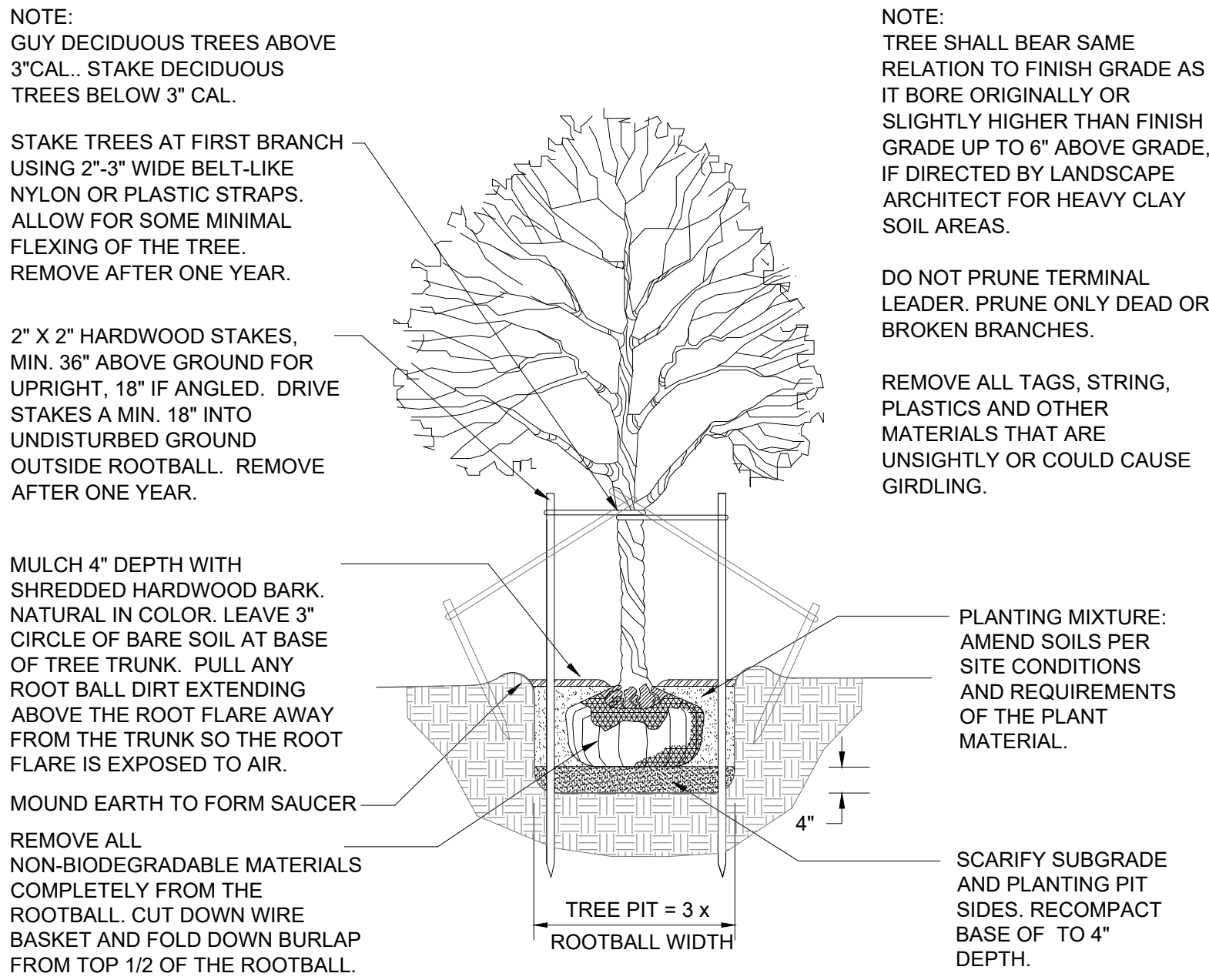
Checked By:

jca

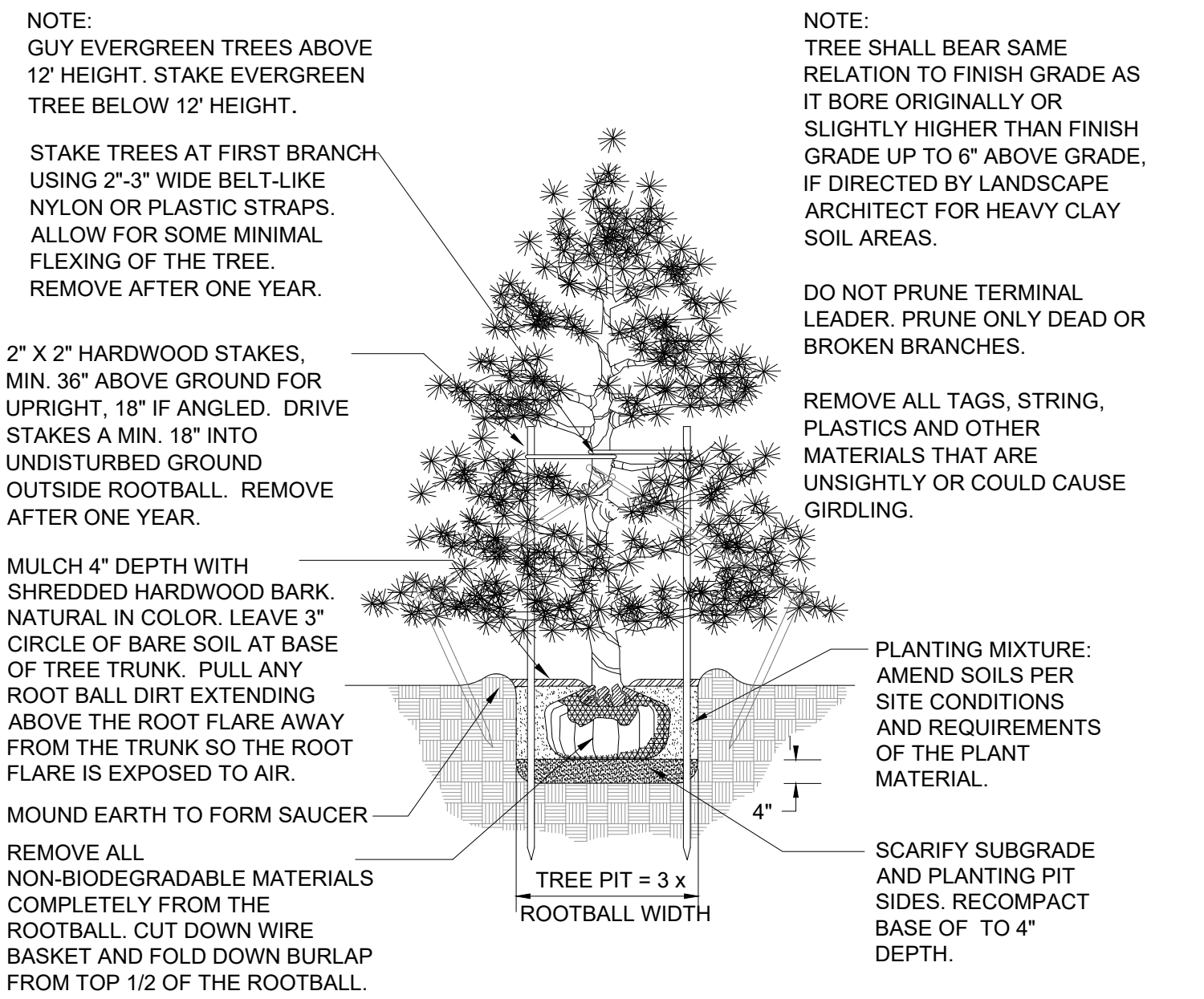
Sheet No.



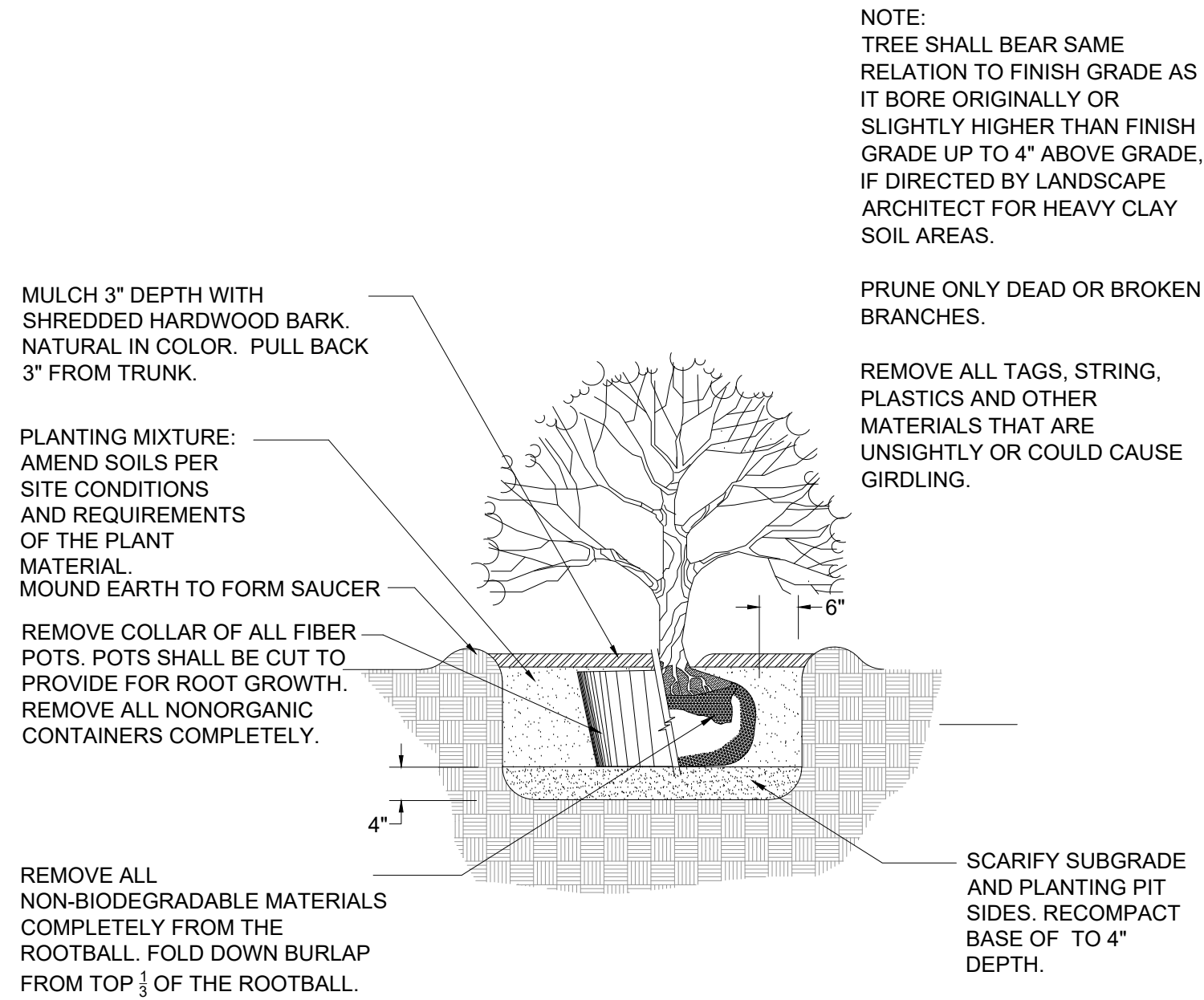
L-2



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL

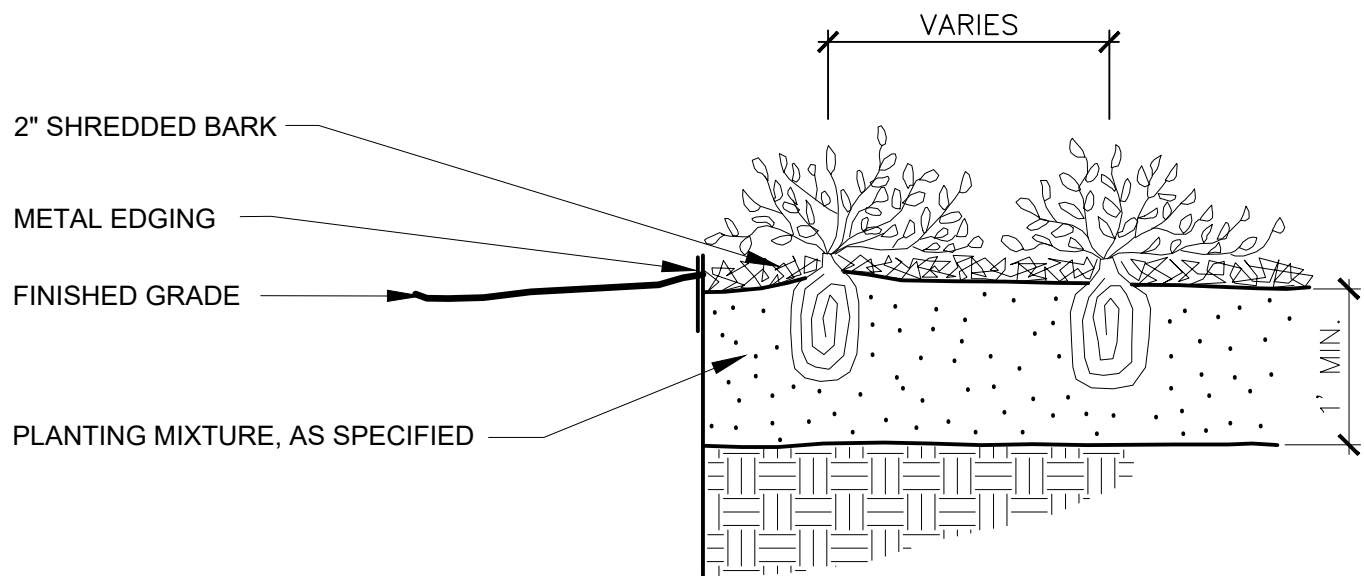


SHRUB PLANTING DETAIL

NOT TO SCALE

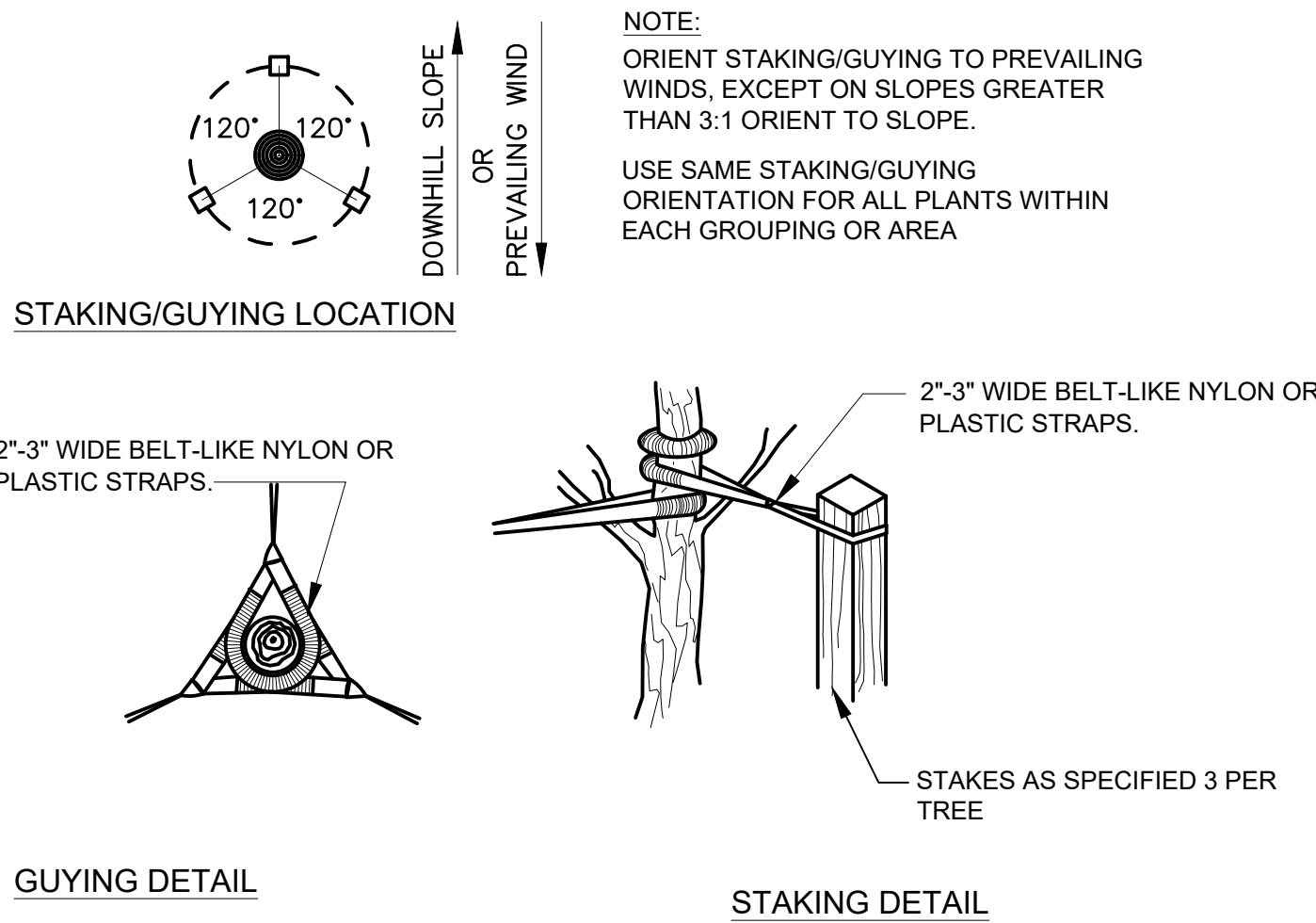
LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheriadelpi" Kentucky Blue Grass grown in a sod nursery on loam soil.



PERENNIAL PLANTING DETAIL

Not to scale



TREE STAKING DETAIL

Not to scale

WHITE LAKE MOTORS

Community Impact Assessment

January 29, 2025

Developed By:

**White Lake Motors, Michigan Auto Group
48260 Frank Street
Wixom, MI 48393**

Prepared By:

**Seiber Keast Lehner, Inc.
39205 Country Club Drive, Suite C8
Farmington Hills, MI 48331
Telephone: 248.308.3331**

GENERAL: PROJECT DESCRIPTION

The White Lake Motors project proposes the redevelopment of the existing General RV Center site, located at 8285 Highland Road (M-59). The site is approximately 6.3 acres and is zoned General Business (GB). The proposed development plans to restore the existing buildings and resurface the existing parking lot for the purpose of operating a used car dealership.

The existing site consists of three (3) existing buildings, an existing asphalt parking lot and an existing storm water detention basin. The development proposes to reuse all of the existing buildings. Building 1 (5,050 sf) is located closest to Highland Road (M-59) and will be used as the Sales Office. Building 2 (6,500 sf) contains 6 existing parking stalls within the building and will be used for minor car maintenance and preparation of For Sale vehicles. Building 3 (1,400 sf) will be used for storage.

The existing parking lot will be resurfaced by milling 2" of the existing pavement and replacing the pavement with 2" of new asphalt pavement. The existing parking lot is approximately 132,000 sf in area. The proposed redevelopment of the site will reduce the amount of impervious paved surface by approximately 23% (101,000 sf of paving) by removing pavement to provide a 20' greenbelt along Highland Road and along the east property line of the site. Additionally, landscape islands will be provided throughout the parking areas and around Building 1 to provide additional green space and areas for plantings. This reduction in impervious surface reduces the stormwater runoff from the site.

The proposed redevelopment will make use of all existing utilities currently servicing the site. Water is provided by an existing 8" water main on the south side of Highland Road. Sanitary sewer service is provided by an existing lift station located on the south side of Building 1. An existing sanitary force main delivers the sanitary flows on site to an existing sanitary sewer location on the north side of Highland Road. Water and sanitary service currently exists to Buildings 1 and 2. Building 3 provides storage only and does not require utility services. The existing stormwater management system (storm sewer and detention basin) remains in place and be used for the redeveloped site.

Hours of Operation for White Lake Motors:

Monday – Friday:	8am – 7pm
Saturday:	8am – 3pm
Sunday:	Closed

Impacts on adjacent uses are expected to be minimal. The parcels directly adjacent (west) and across Highland Road are zoned GB – General Business. The parcel directly adjacent (east) is zoned LB – Local Business. The White Lake Oaks County Park (Golf Course) is located to the south of the property. The existing site was previously used for Car/RV Sales. Used Car Sales is a Special Land Use in the GB district and is consistent with the adjacent land uses. Noise, smoke and dust from the proposed development are expected to be minimal and typical of a car dealership.

COMMUNITY FACILITIES AND SERVICES

The increase in demand on Police and Fire Department services is expected to be minimal since the development will reuse all the existing buildings. No new structures will be built.

No new sewer or water taps will be required for the development. Existing water service lines will be used to service Buildings 1 and 2. An existing sanitary lift station and force main provide the sanitary service to Buildings 1 and 2. At a rate of 2.7 people per REU and an Oakland County Unit Factor of 0.37 REU's / 1,000 sf for Auto Showroom/Dealership (11,550 sf in Buildings 1 and 2), the service population for the development is 11.5 people (4.27 REU's). With a Peaking Factor of 4.0, the peak flow for the property would be 0.007 cfs.

Refuse and solid waste will be disposed into an onsite dumpster. Offsite private trash collection service will be provided to collect the trash for final disposal.

Public utilities such as gas, electricity, telephone, internet and cable are available along Highland Road.

An estimated one (1) semi-truck delivery per week is anticipated. All semi-truck deliveries will load and unload within the designated loading zone in front of Building #2.

ECONOMICS

An estimated 20 construction jobs will be created during the redevelopment of the project.

An estimated 10 permanent jobs will be created to operate the proposed development.

A separate Economic Impact Statement is not available.

ENVIRONMENT

The 6.3 acre site is currently developed as an existing Car Dealership (previously General RV Center). The site has 3 existing buildings, a 132,000 sf paved parking lot, a 45,700 sf gravel parking area and an existing detention basin for storm water management. The existing detention basin makes use of a natural low area wetland to provide storm water storage. The remainder of the site is fully developed and does not contain any wetlands on-site. Please see the attached wetland map from the National Wetlands Inventory (U.S. Fish and Wildlife Survey). The parcels to the east of the site and the park to the south contain wetlands directly adjacent to the property, but will not be impacted by the proposed resurfacing of the existing parking lot or repurposing of the existing three buildings. The existing wetland on-site will continue to be used as a retention facility for storm water storage as previously approved by White Lake Township. There will be no modification to the existing storm water management system (storm sewer or basin). However, improvements to the existing parking lot include the addition of considerable green open space in the form of green belts around the parking lot and the addition of landscaping islands. The addition of this green open space will reduce the total storm water runoff from the site since the amount of impervious will be reduced by approximately 23%.

No hazardous materials will be used or stored on-site.

No pollutants will be used or expended to be emitted into the air. The parking areas will be periodically clean on an as needed basis to control dust on-site. During construction, dust control measures will be in place including watering of the site as needed.

The ground water table will not be affected since the paving area of the site is reduced. No deep excavations are planned which would contribute to the lowering of the ground water table. Soil erosion control will be provided on the site in accordance with the White Lake Township requirements. Surface water run-off is expected to contain some road salts and oils carried by automobiles. Most suspended sediments will be removed in the storm water quality/retention basin, and sedimentation structure that currently exist in the development

Please see the attached Soils Map of the site. The soils classification as provided by the United States Soil Conservation Services Soil Survey of Oakland County, indicate Oshtemo-Boyer Loamy Sands and Boughton & Adrian Mucks for the vast majority of the site.

NOISE

Noise levels will increase slightly due to the additional automobile and truck traffic. An estimated one (1) semi-truck delivery per week is anticipated.

TRAFFIC

A Traffic Impact Study is not required for this project.

MAPPING

Please see the attached aerial map of the site showing surrounding properties within 1,500 feet of the site.



U.S. Fish and Wildlife Service

National Wetlands Inventory

WETLAND MAP



August 19, 2024

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland

- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond

- Lake
- Other
- Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

WHITE LAKE MOTORS

PART OF THE SE 1/4 OF SECTION 13,
T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MI

Map Unit Symbol	Map Unit Name
13B	Oshtemo-Boyer loamy sands, 0 to 6 percent slopes
27	Houghton and Adrian mucks

13B

27

SOILS MAP

CLIENT:

WHITE LAKE MOTORS, MICHIGAN AUTO GROUP
48260 FRANK STREET
WIXOM, MI 48393

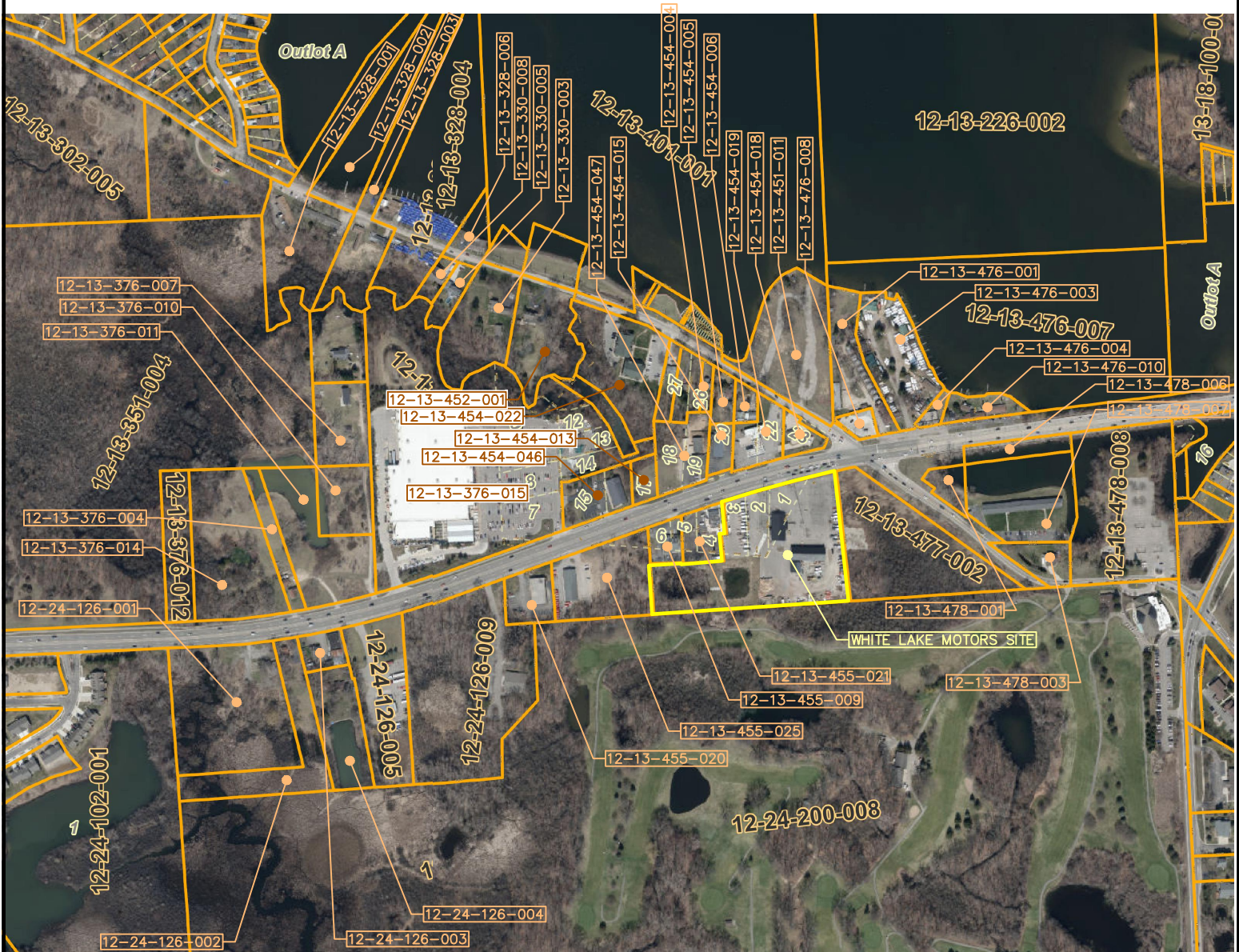


CLINTON TOWNSHIP OFFICE
17001 NINETEEN MILE ROAD, SUITE 3
CLINTON TOWNSHIP, MI 48038
586.412.7050

FARMINGTON HILLS OFFICE
39205 COUNTRY CLUB DRIVE, SUITE C8
FARMINGTON HILLS, MI 48331
248.308.3331

WHITE LAKE MOTORS

PART OF THE SE 1/4 OF SECTION 13,
T.3N., R.8E., WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MI



CLIENT:

ADJACENT PARCELS

WHITE LAKE MOTORS, MICHIGAN AUTO GROUP
48260 FRANK STREET
WIXOM, MI 48393



CLINTON TOWNSHIP OFFICE
17001 NINETEEN MILE ROAD, SUITE 3
CLINTON TOWNSHIP, MI 48038
586.412.7050

FARMINGTON HILLS OFFICE
39205 COUNTRY CLUB DRIVE, SUITE C8
FARMINGTON HILLS, MI 48331
248.308.3331

WHITE LAKE TOWNSHIP

NOTICE OF PUBLIC HEARING

Item A.

Notice is hereby given the Planning Commission of the Charter Township of White Lake will hold a public hearing on **Thursday, April 17, 2025, at 6:30 P.M.** at the Township Annex, 7527 Highland Road, White Lake, Michigan 48383, to consider the following request for Special Land Use Approval, under Zoning Ordinance No. 58 – Article 4, Section 34, New and Used Automobile Sales and Article 6, Section 10, General Standards for All Special Land Uses.

Property described as 8285 Highland Road, identified as parcel number 12-13-455-024, located south of Highland Road, west of Pontiac Lake Road, consisting of approximately 6.1 acres. The property is zoned GB (General Business).

Applicant is requesting approval to **construct a used automobile dealership.**

Persons interested are requested to be present. Pertinent information relative to this special land use request is on file at the Community Development Department and may be examined at any time during regular business hours of 8:00 a.m. to 5:00 p.m. Persons interested may visit the Community Development Department, contact the Community Development Department by telephone at 248-698-3300, ext. 5, or attend the Public Hearing on the date specified. Written comments are also welcome at 7525 Highland Road, White Lake, MI 48383. Individuals with disabilities requiring auxiliary aids or services should contact the Clerk's Office at least 5 days before the hearing.

Sean O'Neil, AICP
Community Development Director

Director's Report

Project Name: Walmart

Description: FSP amendment & recommendation to approve amended PBD

Date on Agenda this packet pertains to: April 17, 2025

☐ Public Hearing

☐ Special Land Use

☒ Initial Submittal

☐ Rezoning

☐ Revised Plans

☒ Other: Amended PBD

☐ Preliminary Approval

☒ Final Approval

Contact	Consultants & Departments	Approval	Denial	Approved w/Conditions	Other	Comments
Sean O'Neil	Community Development Director	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Based on comments from staff & consultants
Mike Leuffgen	DLZ	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 04/10/25
Andrew Littman	Staff Planner	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 04/09/25
Jason Hanifen	WLT Fire Marshal	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	See letter dated 04/09/25



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

April 10, 2025

Sean O' Neil, Director
Community Development Department
Charter Township of White Lake
7525 Highland Road
White Lake, Michigan 48383

RE: Walmart OPD Expansion - Preliminary Site Plan, Final Site Plan, and Final Engineering Plan Review-3rd Review

DLZ # 2445-7696-07

Dear Mr. O' Neil,

Our office has reviewed the above-mentioned revised plan prepared by CESO, Inc. and dated December 18, 2024 (March 28, 2025 per design engineer PE seal). These plans were reviewed for general engineering feasibility as well as conformance with the Township Engineering Design Standards. We offer the following comments for your consideration:

Site Improvement Information-

- Restriping of a portion of the existing parking area that services the online order pickup area on the west side of the existing store.
- Addition of double door and overhead canopy on the west side of the existing store.
- Proposed crosswalk on the west side of the existing store.

Comments-

Please note that comments from our March 10, 2025 review are in *italics*. Responses to those comments are in **bold**. New comments are in standard font.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Walmart OPD Expansion- PSP, FSP, FEP-Review.03

April 10, 2025

Page 2 of 5

General

1. *The plan proposes tie in of a proposed roof downspout **with a wye connection to the existing storm sewer to an existing catch basin**; plan shall be required to be sealed and signed by a licensed State of Michigan Professional Engineer or Surveyor. Comment outstanding. We note that the hard copy of the plan set has been sealed and signed by a PE; the digital copy of the plan set shall also bear a seal and signature of a PE. **Comment addressed. The digital copy of the plan set has now been sealed and signed.***
2. *Sheet OGP-1- Provide White Lake Township Engineering Design Standards notes Section A. 8. a-d on this sheet. **Comment addressed. Notes have now been added to this plan sheet.***
3. *Sheet OGP-2- General Improvement Notes- Note 4- Please attach the ALTA/NSPS survey to the plan. All sanitary sewer and watermain easements shall be clearly shown on the survey. Survey shall also be sealed and signed by a registered Professional Surveyor. Comment partially addressed. An ALTA/NSPS survey has now been provided. All easements have been shown on the survey. Comment relative to signature and seal by a PS remains outstanding. **Comment addressed. The ALTA/NSPS survey has now been sealed and signed by a PS.***
4. *It appears that currently there are 3 dumpsters located north of the existing garden area. The plans seem to indicate these will be moved to along the west building wall north of their current location. Please provide some context to these dumpsters, i.e. what are they for, why are they not proposed to be screened, how are they accessible where they are proposed. We defer further comment to Township Planning & Fire Department regarding location and proximity to the existing building. **Comment partially addressed. The dumpsters shall be relocated to the rear of the building and are shown on architectural plan Sheet SP1; however, the following items on the architectural plans (prepared by WD Partners) that were provided with the current submittal shall be addressed:***
 - a. Sheet C1- Bottom of sheet- Update Planning & Zoning Review from Justin Quagliata to Andrew Littman.
 - b. Sheet SP1- Correct spelling of 'stripping' to 'striping' for all misspelled areas on this sheet.
 - c. Sheet SP1- Remove 'Relocated Existing Trash Dumpster (Typ of 3)' note on west side of building.
 - d. Sheet SP2.1- 3 Organic Waste Screening Plan- remove note 'Note: Ref Civil for location.' Location of dumpsters is shown on architectural plan Sheet C1 and not on the civil plan sheets.
 - e. Sheet S5- 1 Organic Waste Enclosure Foundation Plan- remove note 'Note: Ref Civil for location.' Location of enclosure is shown on architectural plan Sheet C1 and not on the civil plan sheets.



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Walmart OPD Expansion- PSP, FSP, FEP-Review.03

April 10, 2025

Page 3 of 5

5. Update the 'Revisions' boxes on the engineering plan sheets to reflect the current revision date. Currently the boxes show December 18, 2024 as the latest revision date while the design engineer's PE seal bears the date of March 28, 2025.

Grading/Paving

1. *Sheet ~~OGP-2~~ OGP-2.1-The plan proposes vehicle maneuvering aisle widths of 18' and 19' adjacent to the proposed double door and overhang. We defer to the Township as to whether these widths shall be acceptable as Township Ordinance 5.11 Q. v. requires a 24' wide minimum aisle. Comment outstanding. The revised plan now shows a drive thru area with an aisle width of 15' while the opposing lane is shown as 10' wide for a total drive width of 25 feet wide between columns. Please show the distance at the proposed columns to demonstrate the minimum required 24 feet requirement is met.* **Comment addressed. Distance at proposed columns has been shown and meets the minimum requirement of 24'.**
2. *Sheet OGP-2.1 What is the intent regarding the striping of the 5' (?) wide area on the westernmost parking area? Is this part of a loading area to be associated with an ADA space? Please clarify.* **Comment addressed. Per design engineer, this area is a safe zone area for store associates as well as the clearance area required for placement of signage.**

Stormwater Management

1. *Sheet OGP-2- Coded Notes- Note 18- Provide pipe material proposed for the 6" downspout pipe that is proposed under the pavement. Comment partially addressed. Downspout material is noted in Note 18 on Sheets OGP-2.0 and 2.1; however, material shall conform to that listed on WLT Storm Sewer Details sheet.* **Comment addressed. Note has been updated to reference WLT storm sewer details sheet for allowable pipe material.**
2. *Sheet OGP-2- Attach WLT Standard Storm Sewer Details sheet to plan. Please contact our office if the designer needs this sheet.* **Comment addressed. Details sheet is now attached to plan.**
3. *Sheet OGP-2- Provide TP and BP elevations at proposed storm/sanitary crossing. We note an 18" vertical separation is required between the two utilities.* **Comment addressed. Information has been provided.**
4. *Sheet OGP-2.1-Show proposed invert elevations at proposed wye connection to storm sewer.* **Comment addressed. Proposed invert elevation is now shown.**
5. *Sheets OGP2.0 and 2.1-Note 18. Note refers to connection of proposed downspout into existing storm structure. Current plan proposes connection of proposed downspout to existing storm sewer via a wye connection. Please revise this note on all relevant plan sheets.* **Comment addressed. Wording has been updated.**



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Walmart OPD Expansion- PSP, FSP, FEP-Review.03

April 10, 2025

Page 4 of 5

6. *Sheet OGP-2.2- Revise Utility Note 10 on this sheet to reference WLT Storm Sewer Details sheet. **Comment addressed. Note has been revised.***
7. *Sheet OGP-2.2-Grading Notes- Remove Notes 14 and 15. Modify Note 19 to 3' minimum cover required over storm sewer. **Comments outstanding. Per the design engineer, these notes are referred to as coded notes. The coded notes are on Sheet OGP-2.1. We believe that it was misunderstood that our comments were referring to Sheet OGP-2.1, but our comments are for notes on Sheet OGP-2.2.***
8. *Sheet OGP-3- Utility Pipe Trench & Bedding-Please remove this detail. A detail has been provided on WLT Storm Sewer Details sheet. **Comment addressed. Detail has been removed.***

Permits and Approvals

1. *Permission from White Lake Township to work within the existing sanitary and/or watermain easement shall be required. **Comment remains as a notation.***

Recommendation

The majority of the previous comments listed above have been addressed; there are still a few comments that will need to be addressed. New comments were generated based on revisions that were made to the plans, specifically the architectural plans. We are recommending approval of the plan subject to the above outstanding comments being addressed prior to a preconstruction meeting.

Please contact our office should you have any questions.

Sincerely,

DLZ Michigan



INNOVATIVE IDEAS
EXCEPTIONAL DESIGN
UNMATCHED CLIENT SERVICE

WLT- Walmart OPD Expansion- PSP, FSP, FEP-Review.03

April 10, 2025

Page 5 of 5

Michael Leuffgen, P.E.
Department Manager

Victoria Loemker, P.E.
Senior Engineer

Cc: Nick Spencer, Building Department, *via email*
Andrew Littman, Community Development, *via email*
Hannah Kennedy- Galley, Community Development, *via email*
Aaron Potter, DPS Director, White Lake Township, *via email*
Jason Hanifen, Fire Marshall, White Lake Township, *via email*

X:\Projects\2024\2445\769607 WLT Walmart Eapansion\PSP,FSP,&FEP Review.03\PSP, FSP, & FEP Review.03.docx

WHITE LAKE TOWNSHIP PLANNING COMMISSION

REPORT OF THE COMMUNITY DEVELOPMENT DEPARTMENT

TO: Kimberly Cooper, CESO
Andy Reimer, WD Partners

FROM: Andrew Littman, Staff Planner

DATE: March 19, 2025 (Revised April 9, 2025)

RE: Administrative Site Plan Review for Proposed Walmart Outdoor Grocery Pickup Expansion

We have received the Applicant's plans for a 4,721 square-foot expansion to the existing Walmart at 9190 Highland Road. The additional space is planned for outdoor grocery pickup, which is being added to select Walmart locations across the country. After reviewing the Applicant's plans for compliance with the Township's Zoning Ordinance, we have identified the following issues:

- Parking

Per Section 5.11.M of the Zoning Ordinance, the maximum allowable number of parking spaces for planned commercial or shopping centers is 4.5 spaces for each 1,000 square feet of usable floor area. However, a footnote to the *Maximum Allowable Off-Street Parking* table in the Ordinance states that "Upon a finding made by the Planning Commission, parking may be provided in an amount not to exceed 125% of the maximum allowable parking."

After the proposed expansion, the Walmart building would feature 129,247 square feet of useable floor area, which would mean the maximum number of allowable spaces would be 582. However, the Applicant's plans show a total 630 parking spaces. Therefore, the applicant must receive permission from the Planning Commission to exceed the maximum allowable number of off-street parking spaces. **Comment Outstanding.**

- Signage

Sheet OGP-1 of the Applicant's proposed civil plans includes a table showing over 30 exterior pickup signs, the vast majority of which are post-pylon signs. Per Section 5.9.J.i.c. of the Township's Zoning ordinance, only one freestanding sign is permitted per lot or parcel. Therefore, these signs must be included and agreed to in the revised Planned Development Agreement. **Comment Outstanding.**

- Architecture

Section 6.8.E. of the Township’s Zoning Ordinance contains architectural character requirements for the M-59 Corridor. Specifically, Section 6.8.E.i. states that “exterior building materials shall be composed primarily of high quality, durable, low maintenance material, such as masonry, stone, brick, glass or equivalent material.” Additionally, Section 6.8.E.v. maintains that “wherever a side or rear façade is visible from a street, or if parking is located at the side or rear of a building, the façade shall be designed to create a pleasing appearance, using materials and architectural features similar to those present on the front of the building.” The architecture of the proposed expansion meets these requirements. The primary exterior building material for the expansion is concrete, and the elevations show architectural variation with columns.

However, the elevation drawings on the submitted plans use the words “right” and “left” for describing orientation, which we believe is confusing. Instead, we ask that the words “east,” “west,” “north,” and “south,” be used for orientation. **Comment partially addressed. Some elevations still use “right” and “left” for orientation.**

- Trash Receptacles

Although it is rather unclear from the plans, it appears the applicant intends to relocate 3 dumpsters that are currently north of the garden area to a location just off the west building wall. The Township Zoning Ordinance contains specific requirements for trash enclosures, which we cannot confirm are presently met. Specifically, Section 5.19.N.i. requires that trash enclosures must 1) be completely screened from view; 2) constructed of the same decorative masonry materials as the building to which they are accessory; 3) be at least 6 feet but not more than 8 feet in height; and 4) be located on a 6-inch concrete pad, which extends 10 feet in front of the gate with 6-inch concrete-filled steel bollards to protect the rear wall and gates. Moreover, an obscuring wood gate on a steel frame must be installed which forms a complete visual barrier the same height as that of the other three sides. The plans must be revised to show compliance with Section 5.19.N.i. **Comment Addressed**

Finding

We find that site plan approval should be granted, conditioned on the following:

1. Applicant obtain permission from the Planning Commission to exceed the maximum allowable number of off-street parking spaces
2. Replace the words “right” and “left” to describe orientation on all building elevations with either “east,” “west,” “north,” or “south.”

Please let me know if you have any questions.



Fire Department
Charter Township of White Lake

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 04-09-2025

Project: Walmart

Job #: 763515

Date on Plans: 12-18-2024

The Fire Department has the following comments with regards to the 2nd review of preliminary site plans for the project known as Walmart (Improvement Plan)

1. The Fire Department has no comments at this time.

Jason Hanifen
Fire Marshal
Charter Township of White Lake
(248)698-3993
jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.



Fire Department
Charter Township of White Lake

7420 Highland Road
White Lake, MI 48383
Office (248) 698-3993
www.whitelaketwp.com/fire

Site / Construction Plan Review

To: Sean O'Neil, Planning Department Director

Date: 04-09-2025

Project: Walmart

Job #: WALNE0193 (Dumpster Placement)

Date on Plans: 04-04-2025

The Fire Department has the following comments with regards to the 1st review of preliminary site plans for the project known as Walmart (Improvement Plan)

1. The Fire Department has no comments at this time.

Jason Hanifen
Fire Marshal
Charter Township of White Lake
(248)698-3993
jhanifen@whitelaketwp.com

Plans are reviewed using the International Fire Code (IFC), 2015 Edition and Referenced NFPA Standards.

White Lake, MI
Store No. 2700-02

**SECOND AMENDMENT TO WHITE LAKE MARKETPLACE
PLANNED BUSINESS DISTRICT DEVELOPMENT AGREEMENT**

This Second Amendment to White Lake Marketplace Planned Business District Development Agreement (this "Second Amendment") is made this day of ____, 2025, by and among the **CHARTER TOWNSHIP OF WHITE LAKE**, whose address is 7525 Highland Road, White Lake Township, Michigan 48383 ("Township") and **WAL-MART REAL ESTATE BUSINESS TRUST**, a Delaware statutory trust, whose address is 2001 S.E. 10th Street, Bentonville, Arkansas 72716-0550 ("Wal-Mart").

RECITALS

A. The Township and Ramco-Gershenson Properties, L.P. ("Ramco") entered into that certain White Lake Marketplace Planned Business District Development Agreement dated June 26, 1998 (the "Agreement") and as amended by that certain Amendment to White Lake Marketplace Planned Business District Development Agreement, by and among, the Township, Pontiac Mall Limited Partnership, a Michigan limited partnership (as successor-in-interest to Ramco) ("Pontiac Mall") and Wal-Mart dated July 18, 2009 (the "First Amendment"), pertaining to approximately 39.515 acres of real property situated in the Township of White Lake, Oakland County, Michigan, being more particularly described in Exhibit A to the Agreement, and attached hereto as **Exhibit A** for ease of reference (the "Property").

B. Pontiac Mall is the developer of the Property and retains control over the common elements within the Property known as the White Lake Marketplace Shopping Center.

C. Wal-Mart is the fee owner of a portion of the Property, more particularly described in **Exhibit B**, attached hereto and incorporated herein by reference ("Wal-Mart Parcel").

D. Wal-Mart requested a further amendment to the Agreement and the approved site plan, as it pertains to the Wal-Mart Parcel only, for approval to expand its existing building to allow space for Wal-Mart's Online Pickup & Delivery use, which use involves customers placing an online order and choosing one of two options: (a) "pickup," where they can drive to their local store, park in designated pickup spots at the store, and have their order loaded into their vehicle by

an associate, or (b) “delivery,” where a local, third-party driver picks the order up at the store and brings the order directly to the customer's location.

E. On _____, 2025, after providing notice as required by law, a public hearing on Wal-Mart’s application for this Second Amendment to the Agreement and amendment to the approved site plan, was held before the Planning Commission. The Planning Commission did not receive objections to the requested amendments.

F. The Planning Commission considered and recommended Township Board approve Wal-Mart’s proposed Second Amendment to the Agreement and amendment to the approved site plan, to develop the Wal-Mart Parcel, subject to certain conditions.

G. On _____, 2025, the Township Board considered and approved this Second Amendment to the Agreement and amendment to the approved site plan for the building expansion pursuant to those certain Final Site Plans and construction related plans, prepared by CESO, Inc., dated _____ and final Elevations prepared by _____, dated _____, 2024 and which a final sign plan prepared by _____ dated _____, 2024 and last revised _____, 2024 as all of such plans were approved by the Township in connection with Wal-Mart’s expansion and are attached hereto as **Exhibit C** (collectively, the "Expansion Plans")

H. Wal-Mart accepts any and all risks associated with the Township’s approval of this Second Amendment, including the Expansion Plans, and agrees to release and hold the Township harmless from any and all claims, liabilities, causes of action, damages, judgments, attorney fees, court costs, and expenses asserted by any owner or occupant of any portion of Property against the Township which arise out of or are related to the Township’s approval of the Second Amendment and Expansion Plans.

I. The Township desires to ensure that the Wal-Mart expansion that is the subject of this Second Amendment is developed and used in accordance with the Township approved site plans, the Expansion Plans, applicable ordinances, laws, regulations and standards.

NOW THEREFORE, for good and valuable consideration, the receipt and adequacy of which is hereby acknowledged, the parties agree as follows:

1. References. All references in the Agreement to the “Plans,” “Development Plans,” “Site Plans”, and all other plans are hereby amended to include the Expansion Plans, attached as Exhibit C to this Second Amendment.

2. Exhibits. The exhibits attached hereto and the recital paragraphs set forth above, are hereby incorporated into this Second Amendment by this reference as though fully set forth herein.

3. Agreement. The parties acknowledge and agree that, except as expressly set forth in the First Amendment and this Second Amendment; all of terms, conditions and obligations contained in the Agreement remain unchanged and are in full force and effect

4. Miscellaneous. All capitalized terms not defined in this Second Amendment shall have the same meaning ascribed to those terms in the Agreement, as amended. Except as expressly amended

or modified herein, all of the other terms and provisions of the Agreement and the First Amendment are, and shall, remain in full force and effect and are hereby ratified and confirmed by the parties hereto. This Second Amendment shall be binding upon the parties hereto, their respective successors and assigns and shall run with the Wal-Mart Parcel. In the event of any conflict between the terms of this Second Amendment and the terms of the Agreement, as amended by the First Amendment, the terms of this Second Amendment shall govern and control. In the event of any conflict between the terms of this Second Amendment and the terms of Township Zoning Ordinance, as amended, the terms of this Second Amendment shall govern and control. This Second Amendment may be executed in several counterparts, each of which may be deemed an original, and all of such counterparts together shall constitute one and the same Second Amendment. An executed copy or copies of this Second Amendment sent by or on behalf of one party via facsimile to the other party or its representative(s) shall have the same force and effect as an originally executed copy delivered to the other party or its representative(s).

5. Recording. This Second Amendment to the Agreement shall be recorded with the Oakland County Register of Deeds against the Wal-Mart Parcel described in the attached Exhibit B.

[The remainder of this page intentionally left blank. Signatures start on next page.]

IN WITNESS WHEREOF, the parties have executed this Second Amendment as of the date set out on the first page of this Amendment.

CHARTER TOWNSHIP OF WHITE LAKE

By: _____

Its: _____ Supervisor

and

By: _____

Its: _____ Clerk

STATE OF MICHIGAN)
)SS:
COUNTY OF OAKLAND)

Before me, the undersigned, a Notary Public, in and for said County and State, on this ____ day of _____, 2025 personally appeared _____, the _____ and _____, the _____ of the Charter Township of White Lake, and acknowledged the execution of the foregoing for and on behalf of said Township.

Notary Public
_____, County, _____
Acting in _____ County
My Commission Expires: _____

[Signatures continue on following page]

WAL-MART REAL ESTATE BUSINESS TRUST,
a Delaware statutory trust

By: _____
Name: _____
Title: _____

STATE OF ARKANSAS)
)SS:
COUNTY OF BENTON)

Before me, the undersigned, a Notary Public, in and for said County and State, on this ____ day of _____, 2025 personally appeared _____, for Wal-Mart Real Estate Business Trust, a Delaware statutory trust, and acknowledged the execution of the foregoing for and on behalf of said trust.

Notary Public

County, _____
Acting in _____ County
My Commission Expires: _____

Exhibits

Exhibit A - Legal Description of Property
Exhibit B – Legal Description of Wal-Mart Parcel
Exhibit C – Expansion Plans

Drafted by:

Dawda, PLC
Attn. Dana Kreis Glencer, Esq. And Tyler D. Tennent, Esq.
39533 Woodward Avenue, Suite 200
Bloomfield Hills, Michigan 48304

and

Rosati Schultz Joppich & Amtsbuechler, PC
Attn. Lisa J. Hamameh, Esq.
27555 Executive Drive, Suite 250
Farmington Hills, Michigan 48331

When Recorded Return to:

White Lake Township
Attn. Township Clerk
7525 Highland Road
White Lake, Michigan 48383



BASIS OF BEARINGS
NAD 83 (2011), OHIO NORTH / SOUTH
Derived from GPS Observations

GRAPHIC SCALE (IN FEET)

SCHEDULE B - SECTION II

(See surveyor notes for Title Commitment information.)

Items 1 - 7, 27-28, and 33 - 35 are not survey related.

8. Terms, conditions and provisions contained in Notice of Commencement recorded in Liber 59072, page 208 of Oakland County Records.

NO EASEMENTS CONTAINED IN THE DOCUMENT, THE SURVEYED PROPERTY IS DESCRIBED.

9. Easement as disclosed by Instrument recorded in Liber 18771, page 887, Oakland County Records.
EASEMENT IS NOT LOCATED ON THE SURVEYED PROPERTY

10. Easement as disclosed by Instrument recorded in Liber 18771, page 894, Oakland County Records.
EASEMENT IS NOT LOCATED ON THE SURVEYED PROPERTY

11. Easement as disclosed by Instrument recorded in Liber 18772, page 13, Oakland County Records.
BLANKET EASEMENTS DO AFFECT THE SURVEYED PROPERTY, BUT CANNOT BE PLOTTED

12. Easement as disclosed by Instrument recorded in Liber 41341, page 500, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY AS SHOWN

13. Easement as disclosed by Instrument recorded in Liber 18856, page 156, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY AS SHOWN

14. Easement as disclosed by Instrument recorded in Liber 26257, page 885, Oakland County Records.
THE PARENT TRACT OF THE SURVEYED PROPERTY IS DESCRIBED, THE DOCUMENT REFERENCES THE ITEM 13 DOCUMENT ABOVE

15. Easement as disclosed by Instrument recorded in Liber 19467, page 200, Oakland County Records.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN

16. Easement as disclosed by Instrument recorded in Liber 21744, page 626, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY, BUT ARE VACATED BY DOCUMENT IN ITEM 17 BELOW.

17. Easement as disclosed by Instrument recorded in Liber 41394, page 242, Oakland County Records.
EASEMENTS ARE ON THE SURVEYED PROPERTY AS SHOWN

18. Easement as disclosed by Instrument recorded in Liber 44585, page 605, Oakland County Records.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN

19. Easement as disclosed by Instrument recorded in Liber 21744, page 632, Oakland County Records.
EASEMENT AFFECTS THE SURVEYED PROPERTY, LEGAL DESCRIPTION CORRECTED IN ITEM 20 BELOW, LOCATION PER THIS DOCUMENT IS NOT SHOWN.

20. Easement as disclosed by Instrument recorded in Liber 22106, page 94, Oakland County Records.
EASEMENT AFFECTS THE SURVEYED PROPERTY, EASEMENT AREA PER THIS DOCUMENT VACATED BY ITEM 21 BELOW, LOCATION PER THIS DOCUMENT IS NOT SHOWN.

21. Easement as disclosed by Instrument recorded in Liber 41394, page 253, Oakland County Records.
EASEMENT IS ON THE SURVEYED PROPERTY AS SHOWN

22. Terms, conditions and provisions contained in Affidavit recorded in Liber 21834, page 548 of Oakland County Records.
SURVEYED PROPERTY IS DESCRIBED, EASEMENTS APPEAR TO AFFECT SURVEYED PROPERTY, BUT DOCUMENT PROVIDES NO LEGAL DESCRIPTION FOR EASEMENTS

23. Easement as disclosed by Instrument recorded in Liber 22626, page 639, Oakland County Records.
SURVEYED PROPERTY IS DESCRIBED, EASEMENTS ARE BLANKET IN NATURE

24. Easement as disclosed by Instrument recorded in Liber 21775, page 244, Oakland County Records.
EASEMENT IS NOT ON THE SURVEYED PROPERTY AS SHOWN

25. Easement as disclosed by Instrument recorded in Liber 22626, page 673, Oakland County Records.
EASEMENTS DESCRIBED ARE BLANKET IN NATURE, THE SURVEYED PROPERTY IS PART OF THE LANDS DESCRIBED IN RECORD DOCUMENT

26. Easement as disclosed by Instrument recorded in Liber 23148, page 836, Oakland County Records.
EASEMENTS DESCRIBED ARE BLANKET IN NATURE, THE SURVEYED PROPERTY IS PART OF THE LANDS DESCRIBED IN RECORD DOCUMENT

29. Easement as disclosed by Instrument recorded in Liber 41341, page 522, Oakland County Records.
EASEMENT ADJOINS THE SURVEYED PROPERTY AS SHOWN

30. Easement as disclosed by Instrument recorded in Liber 41341, page 538, Oakland County Records.
EASEMENT IS NOT ON THE SURVEYED PROPERTY AS SHOWN

31. Easement as disclosed by Instrument recorded in Liber 42302, page 403, Oakland County Records.
NOT ON THE SURVEYED PROPERTY AS SHOWN

32. Easement as disclosed by Instrument recorded in Liber 42351, page 692, Oakland County Records.
NOT ON THE SURVEYED PROPERTY AS SHOWN, APPEARS TO BE A RE-RECORDING OF DOCUMENT IN ITEM 31 ABOVE.

EXHIBIT "C" LEGAL DESCRIPTION

(See surveyor notes for Title Commitment information.)

LAND SITUATED IN THE TOWNSHIP OF WHITE LAKE, COUNTY OF OAKLAND, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

PREMISES 1:

PART OF THE SOUTHEAST 1/4 OF SECTION 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 14; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 76.19 FEET ALONG THE EAST LINE OF SECTION 14 TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE 14-59 - HIGHLAND ROAD, 100 FEET THENCE ALONG SAID RIGHT OF WAY LINE ON A CURVE TO THE RIGHT, 108.62 FEET, SAID CURVE HAVING A RADIUS OF 3,869.72 FEET, CENTRAL ANGLE OF 01 DEGREES 36 MINUTES 30 SECONDS AND A LONG CHORD BEARING OF NORTH 86 DEGREES 08 MINUTES 40 SECONDS EAST, 108.62 FEET; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 217.17 FEET; THENCE SOUTH 87 DEGREES 14 MINUTES 36 SECONDS WEST, 108.57 FEET TO A POINT ON THE EAST LINE OF SAID SECTION 14; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 109.43 FEET ALONG SAID LINE; THENCE NORTH 56 DEGREES 15 MINUTES 07 SECONDS WEST, 109.52 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 05 SECONDS WEST, 75.00 FEET; THENCE NORTH 01 DEGREES 31 MINUTES 55 SECONDS WEST, 293.04 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 286.13 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 206.13 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 345.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 596.50 FEET TO THE PROPOSED EAST 43 FOOT RIGHT OF WAY LINE OF RELOCATED FISK ROAD; THENCE NORTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 538.42 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 545.08 FEET; THENCE NORTH 88 DEGREES 19 MINUTES 57 SECONDS EAST, 60.11 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 344.50 FEET TO THE POINT OF BEGINNING.

ALSO:

PREMISES 2:
PART OF THE SOUTHEAST 1/4 OF SECTION 14, TOWN 3 NORTH, RANGE 8 EAST, WHITE LAKE TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF A SAID SECTION 14; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 76.19 FEET ALONG THE EAST LINE OF SECTION 14 TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF 14-59 HIGHLAND ROAD (100 FEET RW); THENCE ALONG SAID RIGHT OF WAY LINE ON A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 108.62 FEET, WITH A RADIUS OF 3869.72 FEET, WITH A DELTA ANGLE OF 01 DEGREES 36 MINUTES 30 SECONDS AND HAVING A CHORD BEARING AND DISTANCE OF NORTH 86 DEGREES 08 MINUTES 40 SECONDS EAST, 108.62 FEET; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 217.17 FEET; THENCE SOUTH 87 DEGREES 14 MINUTES 36 SECONDS WEST, 108.57 FEET; THENCE NORTH 01 DEGREES 56 MINUTES 14 SECONDS WEST, 109.43 FEET; THENCE NORTH 56 DEGREES 15 MINUTES 07 SECONDS WEST, 109.52 FEET; THENCE SOUTH 88 DEGREES 28 MINUTES 05 SECONDS WEST, 75.00 FEET; THENCE NORTH 01 DEGREES 31 MINUTES 55 SECONDS WEST, 293.04 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 286.13 FEET; THENCE SOUTH 01 DEGREES 40 MINUTES 03 SECONDS EAST, 206.13 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 345.00 FEET; THENCE NORTH 01 DEGREES 40 MINUTES 03 SECONDS WEST, 344.50 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 57 SECONDS WEST, 60.11 FEET; THENCE NORTH 01 DEGREES 40 MINUTES 03 SECONDS WEST, 545.08 FEET TO THE POINT OF BEGINNING FOR THE FOLLOWING DESCRIBED TRACT OF LAND; THENCE SOUTH 87 DEGREES 45 MINUTES 00 SECONDS WEST, 548.42 FEET; THENCE NORTH 01 DEGREES 40 MINUTES 03 SECONDS WEST, 113.84 FEET; THENCE NORTH 87 DEGREES 45 MINUTES 00 SECONDS EAST, 653.20 FEET; THENCE SOUTH 02 DEGREES 15 MINUTES 00 SECONDS EAST, 113.83 FEET; THENCE SOUTH 87 DEGREES 45 MINUTES 00 SECONDS WEST, 107.94 FEET TO THE POINT OF BEGINNING.

TOPOGRAPHIC LEGEND

- | | |
|----------------------|----------------------------|
| Electric Box | Light Pole |
| Electric Transformer | Power Pole |
| Gas Meter | Gas Valve |
| Cleanout | Fire Hydrant |
| Sanitary Manhole | Water Valve |
| Storm Manhole | Cable Box |
| Catch Basin | Telephone Box |
| Yard Drain | Mailbox |
| End Storm Drain | Sign |
| Structure Number | Gas Line |
| W | Water Line |
| UGE | Underground Electric |
| UGT | Underground Communications |
| OHL | Overhead Utility Line |
| STM | Storm Sewer |
| SAN | Sanitary Sewer |
| X | Handrail |
| | Fence Line |

SURVEY MONUMENT LEGEND

- 5/8" Iron Pin Set w/ice CESA, Inc
- Iron Pin Found as Described
- PK Nail/Mag Nail Found
- Mag Nail Set

SURVEYOR NOTES:

- Horizontal Datum - U.S. State Plane, NAD83 Michigan South (2113), international foot, established from using the Michigan Real Time Network (RTN) provided by the Michigan Department of Transportation. Coordinates taken to ground at latitude N42°39'41.22143", longitude W83°28'07.98045", project height 857.897', ground scale factor 1.0001265664901.
- The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
 - 811 ticket numbers: 2024051403020 & 2024051403085.
- Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Numbers 26126C0337F & 26125C0336F, effective date: 9/29/2006 published by the Federal Emergency Management Agency.
- There are 604 regular and 21 handicapped accessible marked parking spaces in the detailed topo area of the surveyed property.
- This survey does not constitute a title search by the surveyor. All information regarding record easements, and other documents that might affect the quality of title to the parcel shown hereon were obtained through a certified title search conducted by Devon Title, A Stewart Company, File Number 20104517 and bearing an effective date of March 18, 2024.
- Direct access to the subject parcel is available via S. Centerville Road (Michigan State Route 66), being a public right-of-way.
- A zoning report was not provided at the time of survey.
- No evidence of recent earth movement, building construction, or building additions observed on the surveyed property at the time of the fieldwork.
- No changes to street right-of-way lines were provided to the surveyor at the time of this survey.



Wal-Mart
Store 2700

9190 Highland Road
Section 14, Town 3 North, Range 8 East
White Lake Township, Oakland County, Michigan

Revisions / Submissions
ID Description Date

Project Number: 763515
Scale: 1" = 50'
Drawn By: RSL
Checked By: RLC
Date: 6/20/2024
Issue: Survey

Drawing Title:
**ALTA / NSPS Land
Title Survey**

1 of 1

SURVEYOR'S CERTIFICATION:

To: (i) Wal-Mart Estate Business Trust, a Delaware Business Trust
(ii) Devon Title Agency

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 19 & 20 of Table A thereof. The fieldwork was completed on 6/31/2024.

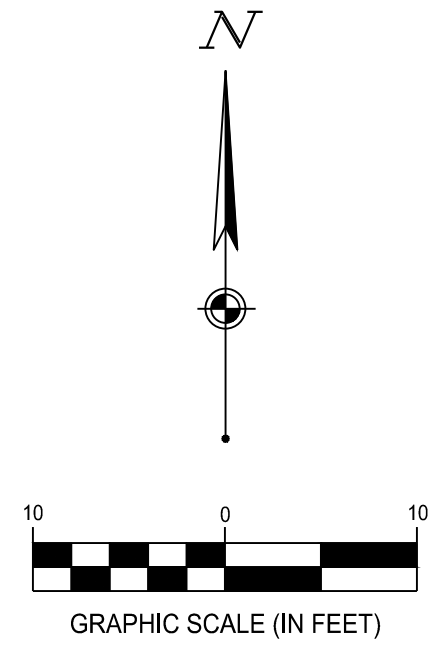
Date of Plat or Map: June 6/20, 2024

Robert Matko, PE PS
matko@cesoinc.com
13060 S. U.S. Hwy 27, Suite D
DeWitt, Michigan 48820
(517) 212-4188

03-31-2025

Date





BENCHMARK Vertical Datum: NAVD88 derived from GPS Observations	
BM "A": Chiseled "square" on the north side of a light pole base located 40'± east of the northeast corner of Your Fit Club. Elevation = 974.28'	
BM "C": Railroad spike in the north side of a power pole 120'± south of the north entrance to the White Lake Mobile Home Park, power pole is 35'± west of the back of curb and Fisk Road. Elevation = 973.11'	
BM "E": Cross notch set on the northwest corner of raised concrete slab at the northwest corner of site securing electric box to lift station. Elevation = 972.03'	

SURVEYOR NOTES:

- Horizontal Datum - U.S. State Plane, NAD83 Michigan South (2113), international foot, established from using the Michigan Real Time Network (RTN) provided by the Michigan Department of Transportation. Coordinates taken to ground at latitude N42°39'41.22143", longitude W83°28'07.98045", project height 857.897', ground scale factor 1.00012656604001.
- The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
- 811 ticket numbers: 2024051403020 & 2024051403085.
- Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Numbers 26125C0337F & 26125C0336F, effective date: 9/29/2006 published by the Federal Emergency Management Agency.
- There are 38 regular and 0 ADA accessible marked parking spaces in the detailed topo area of the surveyed property.

TOPOGRAPHIC LEGEND

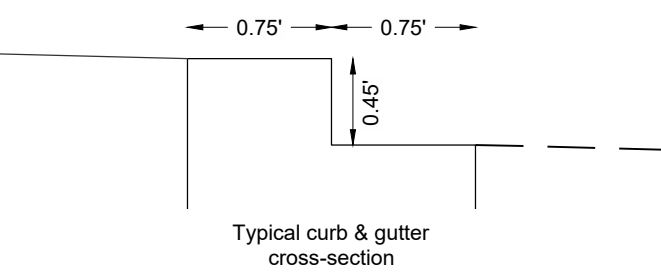
<input checked="" type="checkbox"/> Electric Box (Access)	Light Pole
Cleanout	Gas Line Marker
Sanitary Manhole	Gas Valve
Storm Manhole	Bollard
Curb Inlet	Sign
End Storm Drain	Benchmark Set
Structure Number	
Gas Line	
Water Line	
Underground Electric	
Underground Communications	
Overhead Utility Line(s)	
Storm Sewer	
Sanitary Sewer	
Fence Line	
Handrail	

Storm Structure Chart

Curb inlet 50055 grate = 970.29' 12" hdp (N) = 963.70'	
Curb inlet 50050 grate = 970.44' 12" hdp (S) = 966.25' 12" hdp (N) = 966.24'	
Curb inlet 50046 grate = 969.77' 12" hdp (S) = 965.62' 12" hdp (N) = 964.03'	

Sanitary Structure Chart

MH 10003 rim = 970.03' 8" inv (n+s) = 951.53'	
MH 10406 rim = 971.02' 8" inv (n+s) = 952.65'	



Wal-Mart
Store 2700

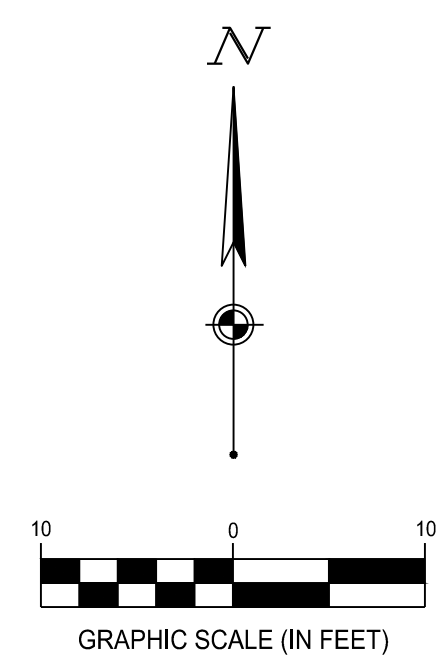
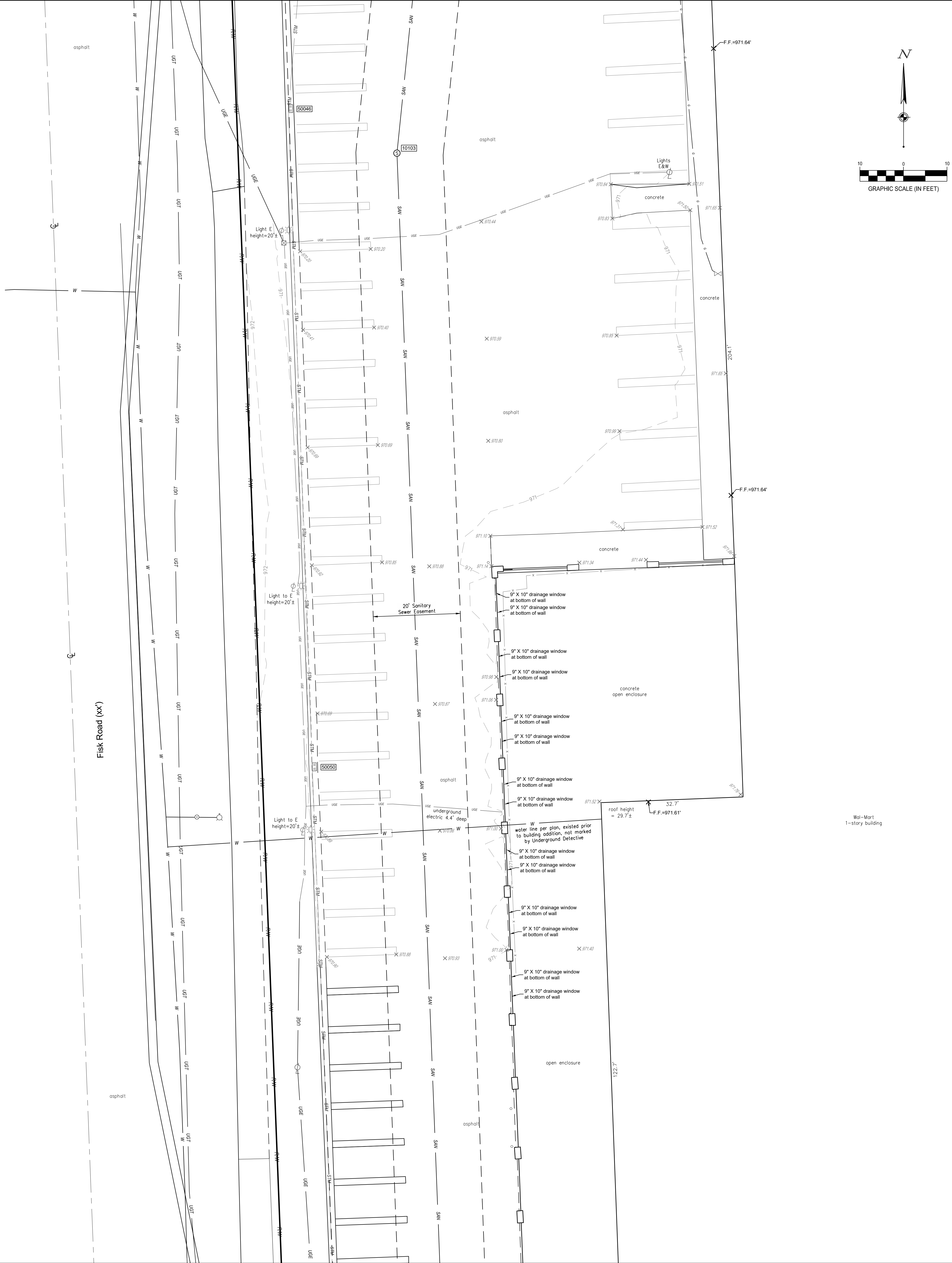
9190 Highland Road
Section 14, Town 3 North, Range 8 East
White Lake Township, Oakland County, Michigan

Revisions / Submissions		
ID	Description	Date

Project Number:	763515
Scale:	1" = 10'
Drawn By:	RSL
Checked By:	RLC
Date:	6/20/2024
Issue:	Survey

Drawing Title:
Detailed Topographic Survey

W:\PROJECTS\WAL-MART, CIVIL PROGRAM\2002-2999\2700 White Lake MI\263515-01 White Lake MI\06-SURVEY\Drawings\263515 WalMart_2700 White Lake MI_ALT.dwg - 6/7/2024 - Rick Cross



BENCHMARK Vertical Datum: NAVD88 derived from GPS Observations	
BM "A": Chiseled "square" on the north side of a light pole base located 40'± east of the northeast corner of Your Fit Club. Elevation = 974.28'	
BM "C": Railroad spike in the north side of a power pole 120'± south of the north entrance to the White Lake Mobile Home Park, power pole is 35'± west of the back of curb and Fisk Road. Elevation = 973.11'	
BM "E": Cross notch set on the northwest corner of raised concrete slab at the northwest corner of site securing electric box to lift station. Elevation = 972.03'	

- SURVEYOR NOTES:**
- Horizontal Datum - U.S. State Plane, NAD83 Michigan South (2113), international foot, established from using the Michigan Real Time Network (RTN) provided by the Michigan Department of Transportation. Coordinates taken to ground at latitude N42°39'41.22143", longitude W83°28'07.98045", project height 857.897', ground scale factor 1.00012656804901.
 - The utilities shown are located from field survey information and/or existing drawings supplied by client. The surveyor makes no guarantee that the utilities located comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the utilities located are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available.
 - 811 ticket numbers: 2024051403020 & 2024051403085.
 - Parcel is located within Zone "X" (Area of Minimal Flood Hazard) as indicated by the Flood Insurance Rate Map (FIRM) Map Numbers 26125C0337F & 26125C0336F, effective date: 9/29/2006 published by the Federal Emergency Management Agency.
 - There are 38 regular and 0 ADA accessible marked parking spaces in the detailed topo area of the surveyed property.

TOPOGRAPHIC LEGEND	
<input checked="" type="checkbox"/> Electric Box (Access)	Light Pole
Cleanout	Gas Line Marker
Sanitary Manhole	Gas Valve
Storm Manhole	Bollard
Curb Inlet	Sign
End Storm Drain	
Structure Number	
G	Gas Line
W	Water Line
UGE	Underground Electric
OUL	Overhead Utility Line(s)
STM	Storm Sewer
SSW	Sanitary Sewer
X	Fence Line
Handrail	Handrail

Storm Structure Chart	Sanitary Structure Chart
Curb inlet 50055 grate = 970.29' 12" hdp (N) = 963.70'	MH 10103 rim = 970.03' 8" inv (n+s) = 951.53'
Curb inlet 50050 grate = 970.44' 12" hdp (S) = 966.25' 12" hdp (N) = 966.24'	MH 10406 rim = 971.02' 8" inv (n+s) = 952.65'
Curb inlet 50046 grate = 969.77' 12" hdp (S) = 965.62' 12" hdp (N) = 964.03'	

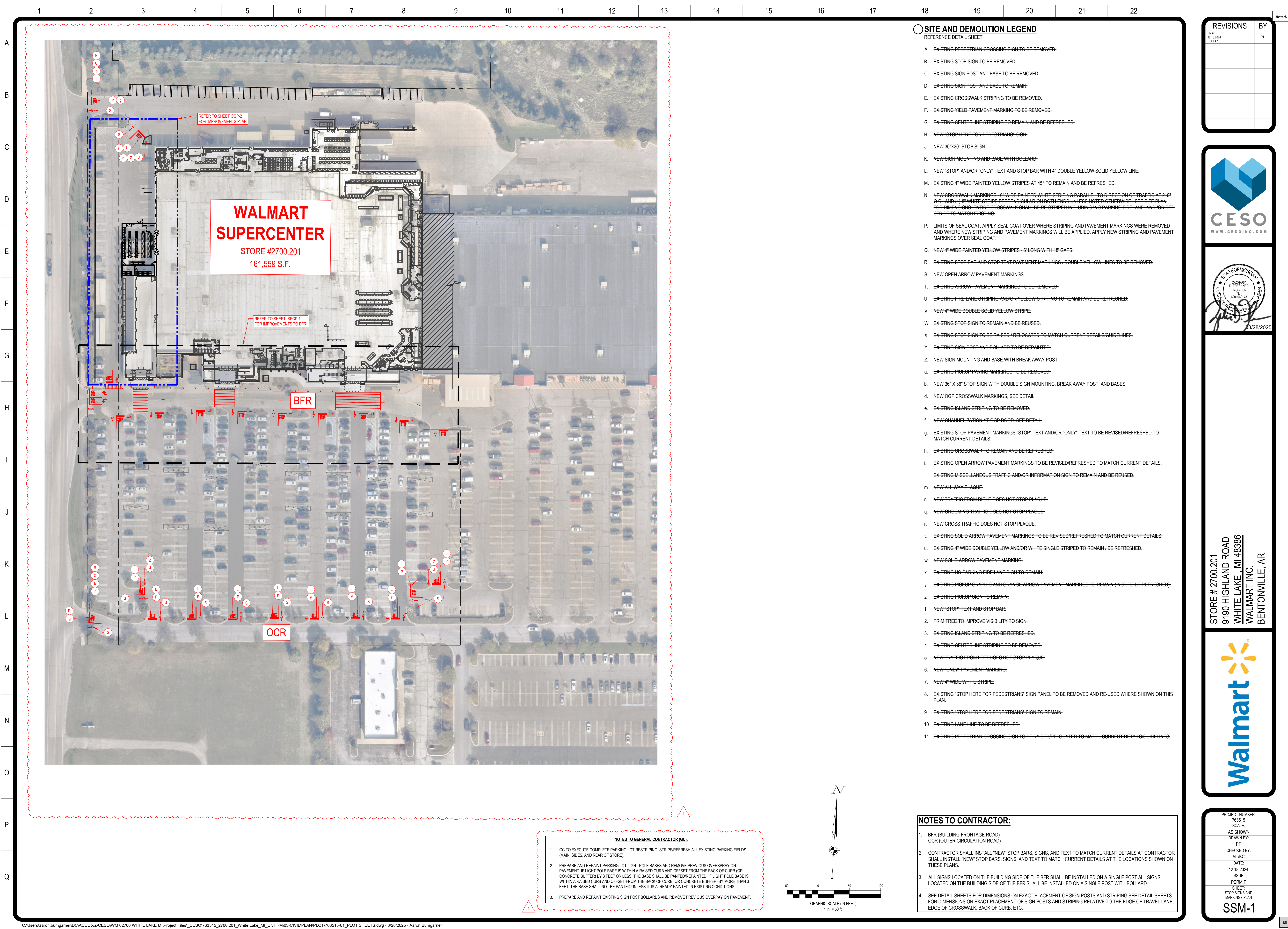
Wal-Mart Store 2700

White Lake, MI
1234 STREET RD.
CITY, STATE ZIP

Revisions / Submissions		
ID	Description	Date

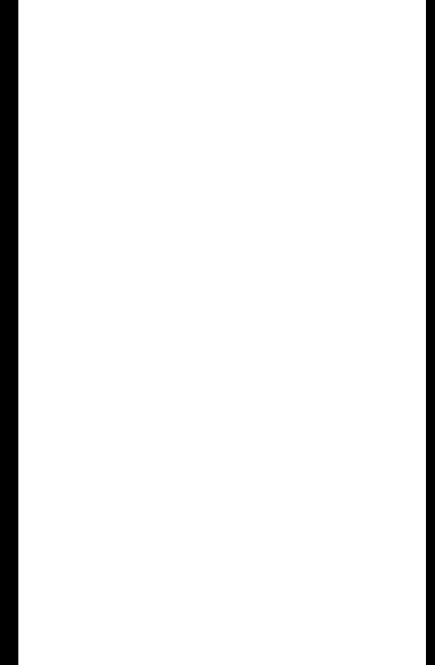
Project Number:	763515
Scale:	1" = 10'
Drawn By:	RSL
Checked By:	RLC
Date:	6/7/2024
Issue:	Survey

Drawing Title:
Detailed Topographic Survey

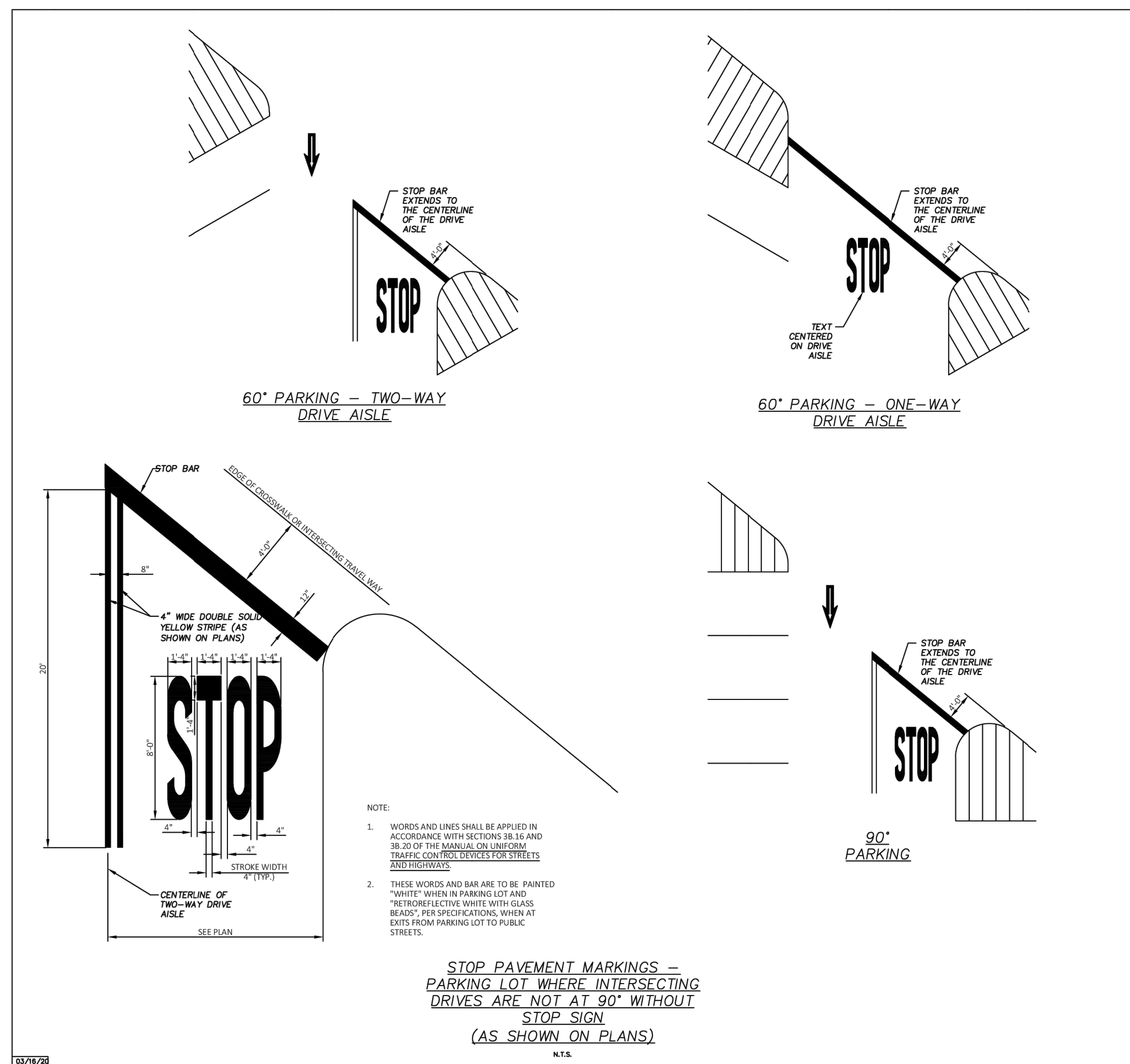




CESO
WWW.CESOINC.COM
© 2024 CESO, INC.



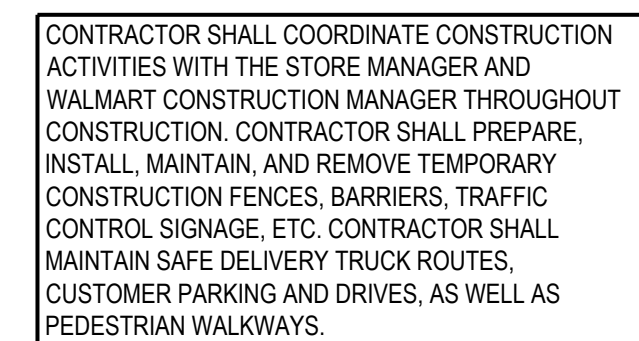
PROJECT NUMBER:
763515
SCALE:
AS SHOWN
DRAWN BY:
PT
CHECKED BY:
MT/KC
DATE:
12.18.2024
ISSUE:
PERMIT
SHEET:
DETAIL SHEET 2





NOTES TO CONTRACTOR:

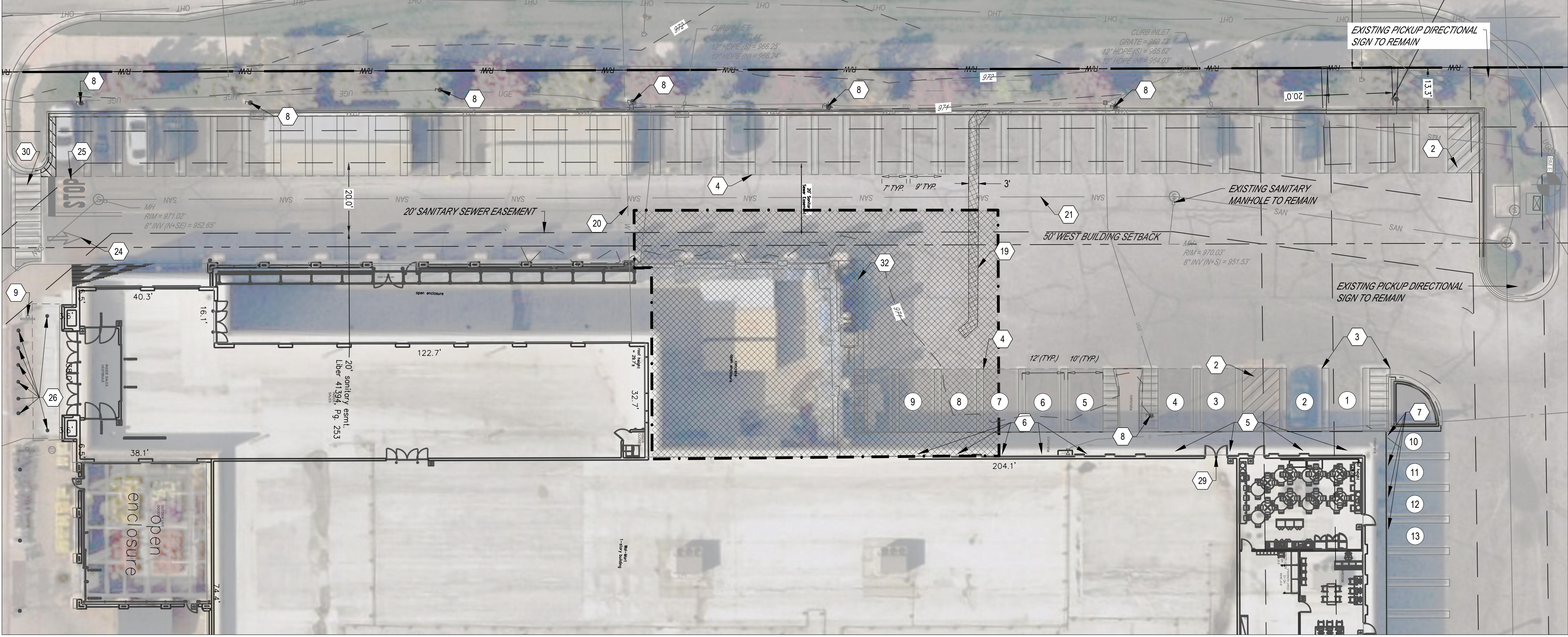
- a) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWNSHIP'S CURRENT STANDARDS AND SPECIFICATIONS.
- b) THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION, 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- c) CONTRACTOR SHALL CONTACT MISS DIG AT 800-482-7171, 72 HOURS IN ADVANCE OF CONSTRUCTION, FOR EXISTING UNDERGROUND UTILITY LOCATIONS.
- d) IN ORDER TO VERIFY COMPLIANCE WITH APPROVED PLANS, FULL-TIME CONSTRUCTION OBSERVATION WILL GENERALLY BE REQUIRED DURING ALL PHASES OF UNDERGROUND SITE CONSTRUCTION INCLUDING INSTALLATION OF SANITARY SEWER, STORM SEWERS, DRAINS, WATERMAING AND APPURTENANCES AS WELL AS PRIVATE STREET CURBING AND PAVING. CONSTRUCTION OBSERVATION OBSERVATIONS WILL BE MADE FOR SITE GRADING, PARKING LOT CURBING AND PAVING, RETAIN WALL CONSTRUCTION AND OTHER SURFACE ACTIVITY.



CAUTION - NOTICE TO CONTRACTOR REGARDING
EXISTING UTILITIES

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: MICHIGAN UTILITIES PROTECTION SERVICE AT 811 OR 800-482-7171 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

PROJECT NUMBER:	763515
SCALE:	AS SHOWN
DRAWN BY:	PT
CHECKED BY:	MT/KC
DATE:	12.18.2024
ISSUE:	PERMIT
SHEET:	PICK DIRECTIONAL SIGNAGE PLAN
OGP-1	



DEMOLITION PLAN
SCALE: 1" = 20'

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. THE DEMOLITION, REMOVAL, AND DISPOSAL IS TO BE APPROVED BY ALL GOVERNING AUTHORITIES. OF ALL FACILITIES SUCH AS: STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, WELLS, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL AS SPECIFIED BY A QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER. IF UNDOCUMENTED FACILITIES ARE FOUND ON SITE, CONTRACTOR SHALL CONTACT THE OWNER AND UTILITY COMPANY PRIOR TO REMOVAL. ALL FACILITIES SHALL BE PLUGGED, ABANDONED, OR REMOVED PER STATE AND LOCAL REQUIREMENTS.
- FEDERAL, STATE AND LOCAL CODE REQUIREMENTS SHALL GOVERN THE DISPOSAL OF DEBRIS INCLUDING ANY POTENTIALLY HAZARDOUS AND TOXIC MATERIALS. ALL MATERIALS AND STRUCTURES DESIGNATED AS "TO BE REMOVED" SHALL BE DISPOSED OF OFF SITE AND AT THE COST OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING JOB SITE SAFETY PER OSHA REQUIREMENTS AT ALL TIMES.
- PRIOR TO DEMOLITION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE STATE 811 AND NOTIFY ALL UTILITY COMPANIES TO SCHEDULE UTILITY SERVICE REMOVAL AND/OR ABANDONMENT. THE CONTRACTOR IS RESPONSIBLE TO PAY ALL FEES AND CHARGES ASSOCIATED WITH THIS WORK.
- CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO INHABITED BUILDINGS ON SITE AND ADJACENT PROPERTIES AT ALL TIMES. INTERRUPTIONS SHALL BE APPROVED BY THE OWNERS OF THE BUILDINGS/PROPERTIES.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. IF THE LOCATION OR ELEVATION OF THE EXISTING UTILITIES ARE FOUND TO BE DIFFERENT FROM THE PLANS, CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES TO REMAIN INSIDE AND OUTSIDE CONSTRUCTION LIMITS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGES AND NOTIFY THE CITY/COUNTY PRIOR TO CONSTRUCTION START. ANY EXISTING SITE FEATURE TO REMAIN THAT IS DAMAGED DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, CURB, ETC. SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO, OR BETTER THAN, THE EXISTING CONDITIONS. PRIOR TO BEING DAMAGED, THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTINUOUS ACCESS SHALL BE MAINTAINED TO THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR PLACING AND MAINTAINING CONSTRUCTION FENCE, SIGNS, ETC. TO WARN AND KEEP UNAUTHORIZED PEOPLE OFF SITE FOR THE DURATION OF THE PROJECT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO STUDY THE PLANS AND VISIT THE SITE TO DETERMINE THE ITEMS THAT MUST BE REMOVED TO COMPLY WITH THE SITE DEVELOPMENT PLANS. NO EXTRA FEE WILL BE PAID FOR THE REMOVAL OF ANY ITEM NOT LISTED THAT IS VISIBLE UPON A SITE VISIT. THE DEMOLITION PLAN IS INTENDED TO PRESENT THE SCOPE OF THE DEMOLITION, AND DOES NOT GUARANTEE THAT ALL ITEMS ARE ADDRESSED.
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK, PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
- ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.

ALL VALUES BELOW ARE APPROXIMATE

SITE ANALYSIS TABLE		
	EXISTING	PROPOSED
TOTAL BUILDING AREA	156,838 S.F.	161,559 S.F.
USABLE FLOOR AREA (SHOWN FOR AHJ PARKING REQUIREMENT)	125,470 S.F.	129,247 S.F.
AHJ REQUIRED PARKING (PER WHITE LAKE TOWNSHIP)	565 SPACES	582 SPACES
AHJ REQUIRED PARKING RATIO	4.50 /1000 S.F.	4.50 /1000 S.F.
AHJ PROVIDED PARKING RATIO (BASED ON USABLE FLOOR AREA)	4.99 /1000 S.F.	5.18 /1000 S.F.
CUSTOMER AND ASSOCIATE PARKING	592 SPACES	609 SPACES
ACCESSIBLE PARKING	21 SPACES	21 SPACES
PICKUP PARKING	13 SPACES	40 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	16 CORRALS / 32 SPACES	16 CORRALS / 32 SPACES
TOTAL PARKING EXCLUDING PICKUP STALLS	613 SPACES	630 SPACES
PARKING RATIO EXCLUDING PICKUP STALLS	3.91 /1000 S.F.	3.90 /1000 S.F.
TOTAL PARKING INCLUDING PICKUP STALLS	626 SPACES	670 SPACES
PARKING RATIO INCLUDING PICKUP STALLS	3.99 /1000 S.F.	4.15 /1000 S.F.

WHITE LAKE TOWNSHIP PARKING REQUIREMENTS:
THERE SHALL BE 4.5 PARKING SPACES PER 1,000 SQUARE FEET OF USABLE FLOOR AREA (PER ARTICLE 5 - ZONING CODE - SECTION 5.11). USABLE FLOOR AREA IS DETERMINED TO BE 80% OF THE GROSS FLOOR AREA.

EXISTING PARKING RATIO MEETS AHJ PARKING CODE REQUIREMENTS.
PROPOSED PROJECT MEETS AHJ PARKING CODE REQUIREMENTS.

ECR AGREEMENTS:

AN ECR EXISTS FOR THIS LOCATION.
WALMART, DEVELOPER AND HOME DEPOT AGREE THAT AT ALL TIMES THERE SHALL BE INDEPENDENTLY MAINTAINED ON ITS TRACT PARKING AREA SUFFICIENT TO ACCOMMODATE NOT FEWER THAN 4.8 CAR SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF FLOOR AREA OF BUILDING LOCATED ON SUCH TRACT, EXCEPT THAT IF PARKING SPACES ARE LOST AS A RESULT OF A CONDEMNATION, SUCH RATIO SHALL BE DECREASED TO FOUR (4.0) CAR SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF FLOOR AREA OF BUILDINGS LOCATED ON SUCH TRACT. NO PARTY MAY RELY ON ANOTHER PARTY'S TRACT IN DETERMINING WHETHER THERE IS SUFFICIENT PARKING ON THEIR RESPECTIVE TRACT TO COMPLY WITH ALL LOCAL PARKING CODES, ORDINANCES AND REGULATIONS.

OGP IMPROVEMENT PLAN

(IMAGE BASED ON GEOIMAGE AERIAL)

GENERAL IMPROVEMENT NOTES:

- ALL EXISTING UTILITIES SHALL REMAIN.
- ALL EXISTING TREES SHALL REMAIN.
- ALL EXISTING PAVEMENT, CURBS, AND PAVEMENT MARKINGS SHALL REMAIN UNLESS NOTED OTHERWISE ON THIS PLAN.
- REFER TO ALTA / NSPS SURVEY FOR EXISTING EASEMENTS.

CODED NOTES:

- PROPOSED DOUBLE DOOR WITH OVERHEAD CANOPY. REFER TO ARCHITECTURAL PLANS.
- EXISTING CROSSWALK / STRIPED PAVEMENT MARKING TO BE REMOVED.
- EXISTING PAVEMENT MARKINGS TO REMAIN AND BE REFRESHED.
- EXISTING PAVEMENT MARKINGS TO BE REMOVED. REFER TO SITE PLAN IMPROVEMENTS ON THIS SHEET FOR PROPOSED PAVEMENT MARKINGS.
- EXISTING 1.0 PICKUP BUILDING MOUNTED SIGN PLAGUE SHALL BE REPLACED WITH 2.0 PICKUP SIGNS.
- EXISTING 1.0 PICKUP BUILDING MOUNTED SIGN PLAGUE SHALL BE REPLACED WITH 2.0 PICKUP SIGNS AND TO BE SHIFTED TO ALIGN WITH NEW PAVEMENT MARKINGS.
- EXISTING PICKUP PARKING SIGN WITH POST AND BOLLARD TO BE REMOVED.
- EXISTING LIGHT POLE AND BASE TO REMAIN. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- EXISTING R1-5b SIGN WITH POST AND BOLLARD TO REMAIN.
- PROPOSED R1-5b SIGN WITH POST AND BOLLARD.
- PROPOSED STOP SIGN WITH POST AND BOLLARD.
- PROPOSED CROSSWALK / STRIPED PAVEMENT MARKING.
- PROPOSED PICKUP BANNER ON LIGHT POLE.
- PROPOSED PARKING SPACE PAVEMENT MARKINGS.
- PROPOSED 2.0 PICKUP BUILDING MOUNTED SIGN.
- PROPOSED PICKUP PARKING SIGN WITH BREAK-AWAY POST.
- PROPOSED DOWNSPOUT CONNECTION TO PROPOSED CANOPY COLUMN. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED 6" STORM DOWNSPOUT COLLECTOR (MINIMUM 1.00% SLOPE) AND STORM SEWER CLEANOUT. CONNECT PROPOSED DOWNSPOUT COLLECTOR INTO EXISTING STORM LINE. REFER TO NOTE 14 ON SHEET OGP-3.1 FOR THE ALLOWABLE DOWNSPOUT PIPE MATERIALS.
- EXISTING ASPHALT PAVEMENT SAWCUT DEMO / REPLACEMENT FOR PROPOSED STORM SEWER DOWNSPOUT. CONTRACTOR SHALL MATCH EXISTING PAVEMENT SECTION AND ELEVATION FOR NEW PAVEMENT. 3' MINIMUM COVER REQUIRED OVER STORM SEWER.
- EXISTING WATER LINE TO BE PROTECTED.
- EXISTING SANITARY SEWER LINE AND STRUCTURE TO BE PROTECTED.
- PROPOSED STOP BAR AND 'STOP' TEXT WITH DOUBLE SOLID YELLOW LINE.
- PROPOSED OPEN ARROW PAVEMENT MARKING.
- EXISTING OPEN ARROW PAVEMENT MARKINGS TO REMAIN AND BE REFRESHED.
- EXISTING STOP BAR AND 'STOP' TEXT WITH DOUBLE SOLID YELLOW LINE TO REMAIN.
- EXISTING BOLLARD TO REMAIN.
- PROPOSED BOLLARDS TO PROTECT LIFT STATION. SEE DETAIL ON SHEET OGP - 3.0.
- PROPOSED EXPANSION BUILDING.
- EXISTING PICKUP DOOR TO BE RELOCATED.
- EXISTING CROSSWALK / STRIPED PAVEMENT MARKING TO REMAIN.
- 2 FT NON-VEGETATED BUFFER.
- EXISTING DUMPSTERS TO BE RELOCATED. REFER TO ARCH. PLANS FOR ENCLOSURE DETAILS AND LOCATION.

EXISTING FEATURES LEGEND

— G —	PROPERTY BOUNDARY
— W —	GAS LINE
— UGE —	WATER LINE
— UGT —	UNDERGROUND ELECTRIC
— CHL —	UNDERGROUND TELE
— STM —	OVERHEAD LINE
— SAN —	STORM SEWER
—	SANITARY SEWER

⊠	WATER METER	⊙	STORM CATCH BASIN
⊙	WATER VALVE	⊠	STORM INLET BASIN
⊙	POWER/TELE POLE	⊙	STORM MANHOLE
⊙	POWER POLE	⊙	STORM CLEANOUT
⊠	ELECTRIC BOX	⊙	SANITARY CLEANOUT
⊙	LIGHT POLE	⊙	TRAFFIC MANHOLE
⊠	GAS METER	⊙	TELEPHONE POLE

IMPROVEMENTS LEGEND

EXISTING

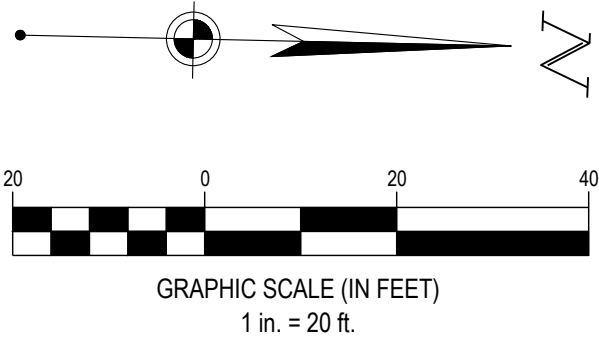
REFER TO ALTA / NSPS SURVEY FOR FULL EXISTING FEATURES LEGEND

EXISTING PICKUP SPACE COUNT

EXISTING SIGN

DEMOLITION LEGEND

—	SAWCUT LINE
—	PAVEMENT DEMO
—	AREA OF PARKING STALL MARKINGS REMOVAL



CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

BENCHMARK

Vertical Datum: NAVD88
derived from GPS Observations

BM "A":	Chiseled "square" on the north side of a light pole base located 40'± east of the northeast corner of Your Fit Club. Elevation = 974.28'
BM "C":	Railroad spike in the north side of a power pole 120'± south of the north entrance to the White Lake Mobile Home Park, power pole is 35'± west of the back of curb and Fisk Road. Elevation = 973.11'
BM "E":	Cross notch set on the northwest corner of raised concrete slab at the northwest corner of site securing electric box to lift station. Elevation = 972.03'

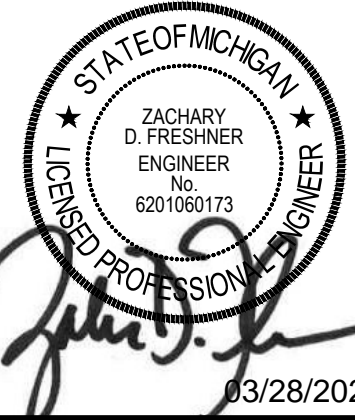
CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES

SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: MICHIGAN UTILITIES PROTECTION SERVICE AT 811 OR 800-482-7171 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, PRIVATE WATER AND SANITARY LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATION TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

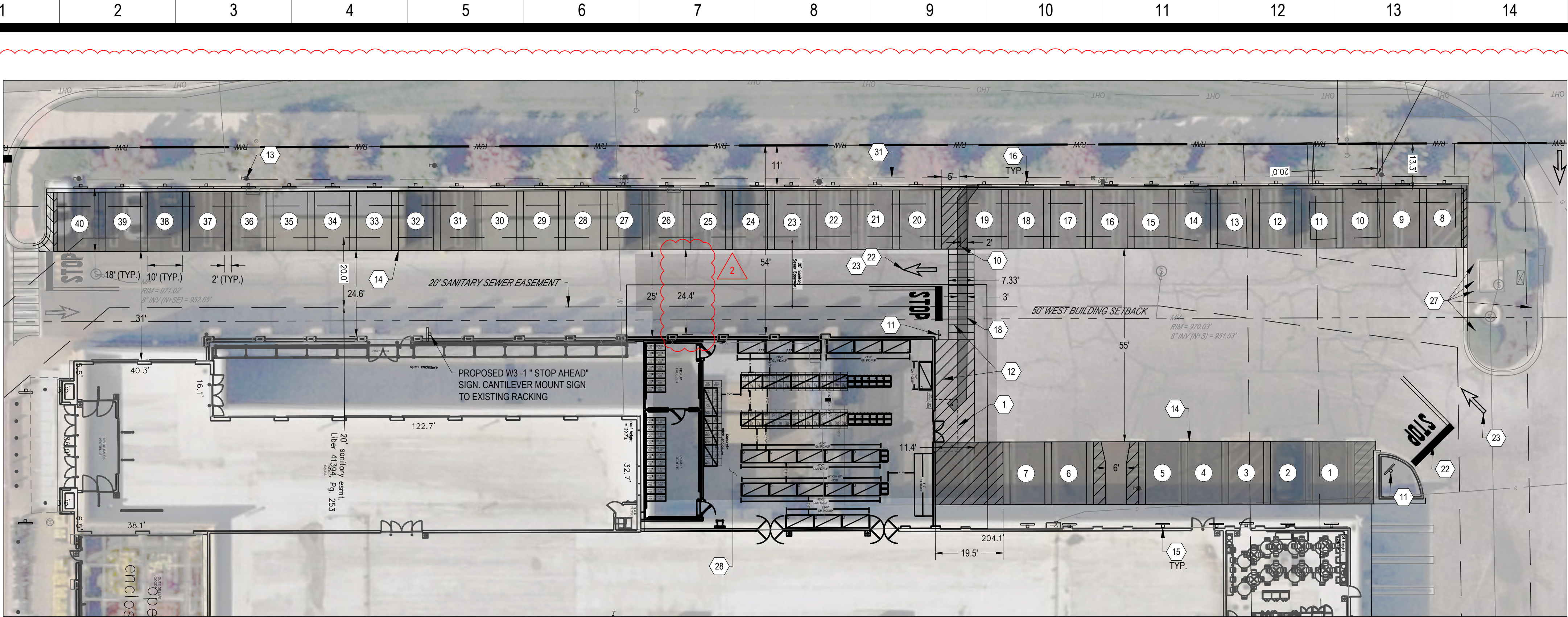
REVISIONS	BY
PR #1 12/18/2024 DELTA 1	PT



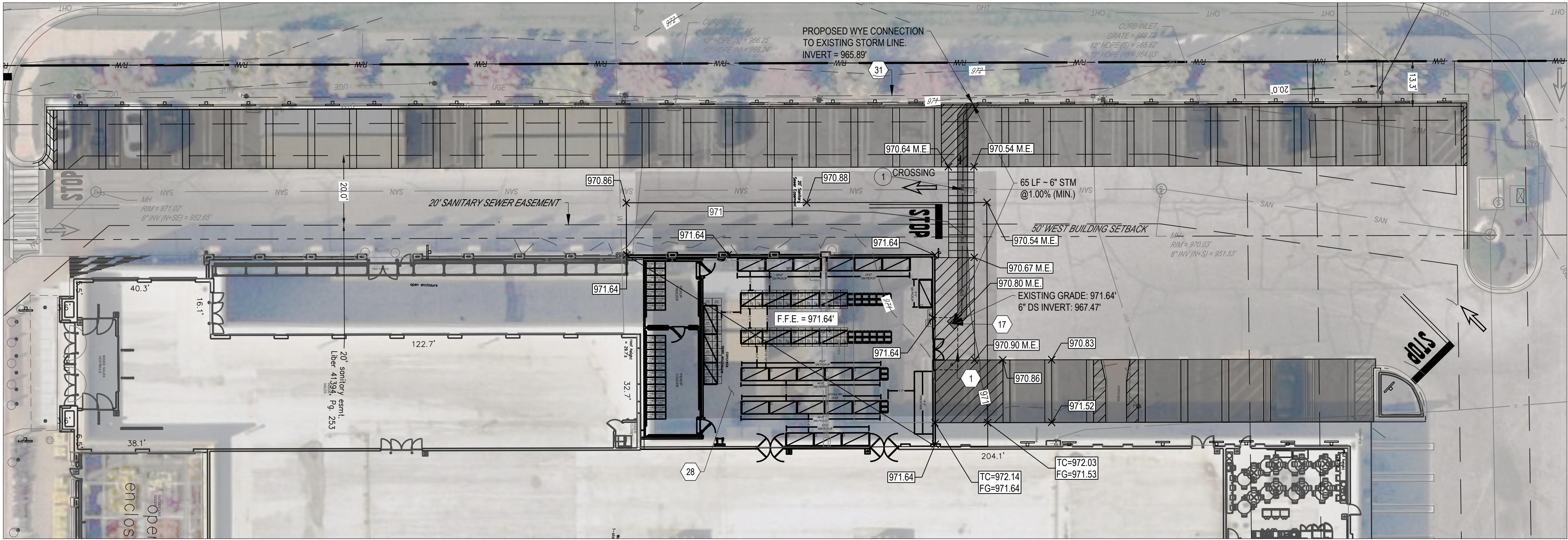
STORE # 2700.201
9190 HIGHLAND ROAD
WHITE LAKE, MI 48386
WALMART INC.
BENTONVILLE, AR



PROJECT NUMBER: 763515
SCALE: AS SHOWN
DRAWN BY: PT
CHECKED BY: MT/KC
DATE: 12/18/2024
ISSUE: PERMIT
SHEET: OGP IMPROVEMENT PLAN
OGP-2.0



SITE PLAN
SCALE: 1" = 20'



GRADING AND UTILITY PLAN
SCALE: 1" = 20'

OGP IMPROVEMENT PLAN

(IMAGE BASED ON GEOMIMAGE AERIAL)

GENERAL IMPROVEMENT NOTES:

- ALL EXISTING UTILITIES SHALL REMAIN.
- ALL EXISTING TREES SHALL REMAIN.
- ALL EXISTING PAVEMENT, CURBS, AND PAVEMENT MARKINGS SHALL REMAIN UNLESS NOTED OTHERWISE ON THIS PLAN.
- REFER TO ALTA / NSPS SURVEY FOR EXISTING EASEMENTS.

CODED NOTES:

- PROPOSED DOUBLE DOOR WITH OVERHEAD CANOPY. REFER TO ARCHITECTURAL PLANS.
- EXISTING CROSSWALK / STRIPED PAVEMENT MARKING TO BE REMOVED.
- EXISTING PAVEMENT MARKINGS TO REMAIN AND BE REFRESHED.
- EXISTING PAVEMENT MARKINGS TO BE REMOVED. REFER TO SITE PLAN IMPROVEMENTS ON THIS SHEET FOR PROPOSED PAVEMENT MARKINGS.
- EXISTING 1.0 PICKUP BUILDING MOUNTED SIGN PLAQUE SHALL BE REPLACED WITH 2.0 PICKUP SIGNS.
- EXISTING 1.0 PICKUP BUILDING MOUNTED SIGN PLAQUE SHALL BE REPLACED WITH 2.0 PICKUP SIGNS AND TO BE SHIFTED TO ALIGN WITH NEW PAVEMENT MARKING.
- EXISTING PICKUP PARKING SIGN WITH POST AND BOLLARD TO BE REMOVED.
- EXISTING LIGHT POLE AND BASE TO REMAIN. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- EXISTING R1-5b SIGN WITH POST AND BOLLARD TO REMAIN.
- PROPOSED R1-5b SIGN WITH POST AND BOLLARD.
- PROPOSED STOP SIGN WITH POST AND BOLLARD.
- PROPOSED CROSSWALK / STRIPED PAVEMENT MARKING.
- PROPOSED PICKUP BANNER ON LIGHT POLE.
- PROPOSED PARKING SPACE PAVEMENT MARKINGS.
- PROPOSED 2.0 PICKUP BUILDING MOUNTED SIGN.
- PROPOSED PICKUP PARKING SIGN WITH BREAK-AWAY POST.
- PROPOSED DOWNSPOUT CONNECTION TO PROPOSED CANOPY COLUMN. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED 6" STORM DOWNSPOUT COLLECTOR (MINIMUM 1.00% SLOPE) AND STORM SEWER CLEANOUT. CONNECT PROPOSED DOWNSPOUT COLLECTOR INTO EXISTING STORM LINE. REFER TO NOTE 14 ON SHEET OGP-3.1 FOR THE ALLOWABLE DOWNSPOUT PIPE MATERIALS.
- EXISTING ASPHALT PAVEMENT SAWCUT DEMO / REPLACEMENT FOR PROPOSED STORM SEWER DOWNSPOUT. CONTRACTOR SHALL MATCH EXISTING PAVEMENT SECTION AND ELEVATION FOR NEW PAVEMENT. 3" MINIMUM COVER REQUIRED OVER STORM SEWER.
- EXISTING WATER LINE TO BE PROTECTED.
- EXISTING SANITARY SEWER LINE AND STRUCTURE TO BE PROTECTED.
- PROPOSED STOP BAR AND 'STOP' TEXT WITH DOUBLE SOLID YELLOW LINE.
- PROPOSED OPEN ARROW PAVEMENT MARKING.
- EXISTING OPEN ARROW PAVEMENT MARKINGS TO REMAIN AND BE REFRESHED.
- EXISTING STOP BAR AND 'STOP' TEXT WITH DOUBLE SOLID YELLOW LINE TO REMAIN.
- EXISTING BOLLARD TO REMAIN.
- PROPOSED BOLLARDS TO PROTECT LIFT STATION. SEE DETAIL ON SHEET OGP - 3.0.
- PROPOSED EXPANSION BUILDING.
- EXISTING PICKUP DOOR TO BE RELOCATED.
- EXISTING CROSSWALK / STRIPED PAVEMENT MARKING TO REMAIN.
- 2 FT NON-VEGETATED BUFFER.
- EXISTING DUMPSTERS TO BE RELOCATED. REFER TO ARCH. PLANS FOR ENCLOSURE DETAILS AND LOCATION.

EXISTING FEATURES LEGEND

— G —	PROPERTY BOUNDARY
— W —	GAS LINE
— UGE —	UNDERGROUND ELECTRIC
— UGT —	UNDERGROUND TELE
— CHL —	OVERHEAD LINE
— STM —	STORM SEWER
— SAN —	SANITARY SEWER
⊗	WATER METER
⊗	WATER VALVE
⊗	POWER/TELE POLE
⊗	ELECTRIC BOX
⊗	LIGHT POLE
⊗	GAS METER
⊗	STORM CATCH BASIN
⊗	STORM INLET BASIN
⊗	STORM MANHOLE
⊗	STORM CLEANOUT
⊗	SANITARY CLEANOUT
⊗	TRAFFIC MANHOLE
⊗	TELEPHONE POLE

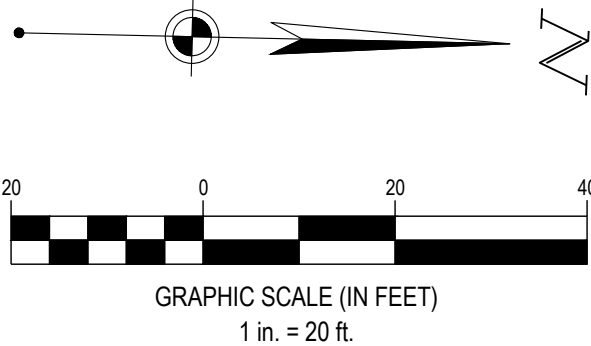
EXISTING

REFER TO ALTA / NSPS SURVEY FOR FULL EXISTING FEATURES LEGEND

IMPROVEMENTS LEGEND

PROPOSED

①	NEW PICKUP SPACE COUNT
—	SIGN
—	PAVEMENT MARKING LINE
—	AREA OF NEW PARKING SPACES
—	PROPOSED ASPHALT PAVEMENT
—	MAJOR CONTOUR
—	MINOR CONTOUR
XXXXXX	FINISHED GRADE ELEVATION
TC-XXXXXX FG-XXXXXX	TOP OF CURB ELEVATION FINISHED GRADE ELEVATION
M.E.	MATCH EXISTING ELEVATION



CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE STORE MANAGER AND WALMART CONSTRUCTION MANAGER THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL PREPARE, INSTALL, MAINTAIN, AND REMOVE TEMPORARY CONSTRUCTION FENCES, BARRIERS, TRAFFIC CONTROL, SIGNAGE, ETC. CONTRACTOR SHALL MAINTAIN SAFE DELIVERY TRUCK ROUTES, CUSTOMER PARKING AND DRIVES, AS WELL AS PEDESTRIAN WALKWAYS.

BENCHMARK

Vertical Datum: NAVD88
derived from GPS Observations

BM "A":	Chiseled "square" on the north side of a light pole base located 40'± east of the northeast corner of Your Fit Club. Elevation = 974.28'
BM "C":	Railroad spike in the north side of a power pole 120'± south of the north entrance to the White Lake Mobile Home Park, power pole is 36'± west of the back of curb and Fisk Road. Elevation = 973.11'
BM "E":	Cross notch set on the northwest corner of raised concrete slab at the northwest corner of site securing electric box to lift station. Elevation = 972.03'

CAUTION - NOTICE TO CONTRACTOR REGARDING EXISTING UTILITIES



SEVENTY-TWO (72) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES: MICHIGAN UTILITIES PROTECTION SERVICE AT 811 OR 800-482-7171 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF STATE UTILITIES PROTECTION SERVICE

THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE PERFORMING ANY CONSTRUCTION ACTIVITIES TO REQUEST FIELD LOCATIONS OF THEIR UTILITIES. THE CONTRACTOR MUST BE AWARE THAT SOME EXISTING UTILITIES, SUCH AS UNDERGROUND ELECTRIC LINES SERVING PARKING LOT LIGHTING, STORM SEWER LINES, PRIVATE WATER AND SANITARY LINES, CABLES FOR SECURITY CAMERAS, ETC. MAY NOT BE LOCATED BY LOCAL OR STATE UTILITY COMPANIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE NECESSARY ACCOMMODATION TO ACCURATELY LOCATE ALL EXISTING UTILITIES.

ALL EXISTING UTILITIES SERVING WALMART, WALMART'S PROPERTY, OR ADJACENT DEVELOPMENTS SHALL REMAIN IN PLACE AND OPERATIONAL AT ALL TIMES DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY IMPROVEMENTS SHOWN BY THESE PLANS. THE CONTRACTOR MUST COORDINATE ANY RELOCATIONS OR MODIFICATIONS TO THE EXISTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY, THE WALMART MANAGER AND WALMART CONSTRUCTION MANAGER.

ALL VALUES BELOW ARE APPROXIMATE

SITE ANALYSIS TABLE		
	EXISTING	PROPOSED
TOTAL BUILDING AREA	156,838 S.F.	161,559 S.F.
USABLE FLOOR AREA (SHOWN FOR AHJ PARKING REQUIREMENT)	125,470 S.F.	129,247 S.F.
AHJ REQUIRED PARKING (PER WHITE LAKE TOWNSHIP)	565 SPACES	582 SPACES
AHJ REQUIRED PARKING RATIO	4.50 /1000 S.F.	4.50 /1000 S.F.
AHJ PROVIDED PARKING RATIO (BASED ON USABLE FLOOR AREA)	4.99 /1000 S.F.	5.18 /1000 S.F.
CUSTOMER AND ASSOCIATE PARKING	592 SPACES	609 SPACES
ACCESSIBLE PARKING	21 SPACES	21 SPACES
PICKUP PARKING	13 SPACES	40 SPACES
CART CORRALS (NOT INCLUDED IN PARKING COUNTS BELOW)	16 CORRALS / 32 SPACES	16 CORRALS / 32 SPACES
TOTAL PARKING EXCLUDING PICKUP STALLS	613 SPACES	630 SPACES
PARKING RATIO EXCLUDING PICKUP STALLS	3.91 /1000 S.F.	3.90 /1000 S.F.
CART CORRAL SPACES NOT INCLUDED IN TOTAL COUNT		
TOTAL PARKING INCLUDING PICKUP STALLS	626 SPACES	670 SPACES
PARKING RATIO INCLUDING PICKUP STALLS	3.99 /1000 S.F.	4.15 /1000 S.F.
CART CORRAL SPACES NOT INCLUDED IN TOTAL COUNT		

WHITE LAKE TOWNSHIP PARKING REQUIREMENTS:
THERE SHALL BE 4.5 PARKING SPACES PER 1,000 SQUARE FEET OF USABLE FLOOR AREA (PER ARTICLE 5 - ZONING CODE - SECTION 5.1.1). USABLE FLOOR AREA IS DETERMINED TO BE 80% OF THE GROSS FLOOR AREA.

EXISTING PARKING RATIO MEETS AHJ PARKING CODE REQUIREMENTS.
PROPOSED PROJECT MEETS AHJ PARKING CODE REQUIREMENTS.

ECR AGREEMENTS:

AN ECR EXISTS FOR THIS LOCATION.
WALMART, DEVELOPER AND HOME DEPOT AGREE THAT AT ALL TIMES THERE SHALL BE INDEPENDENTLY MAINTAINED ON ITS TRACT PARKING AREA SUFFICIENT TO ACCOMMODATE NOT FEWER THAN 4.5 CAR SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF FLOOR AREA OF BUILDING LOCATED ON SUCH TRACT, EXCEPT THAT IF PARKING SPACES ARE LOST AS A RESULT OF A CONDEMNATION, SUCH RATIO SHALL BE DECREASED TO FOUR (4.0) CAR SPACES FOR EACH ONE THOUSAND (1,000) SQUARE FEET OF FLOOR AREA OF BUILDINGS LOCATED ON SUCH TRACT. NO PARTY MAY RELY ON ANOTHER PARTY'S TRACT IN DETERMINING WHETHER THERE IS SUFFICIENT PARKING ON THEIR RESPECTIVE TRACT TO COMPLY WITH ALL LOCAL PARKING CODES, ORDINANCES AND REGULATIONS.

UTILITY CROSSING SCHEDULE

NO.	UTILITY	ELEV.	VERT SEP.
1	6" STORM INV.	967.07'	14.66'
	8" SANITARY CROWN	952.41'	

GENERAL NOTES

GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. THE TOPOGRAPHIC SURVEY WAS PERFORMED BY A REGISTERED LAND SURVEYOR. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
4. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
5. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS ARE SHOWN AT 1 FOOT INTERVALS.
6. ALL SPOT ELEVATIONS REFER TO FINISHED PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
7. MAINTAIN EXISTING DRAINAGE PATTERN THROUGHOUT THE SITE, EXCEPT WITHIN THE LIMITS OF DISTURBANCE ((LOD)).
8. COORDINATE GRADES AT BUILDING ENTRIES WITH ARCHITECTURAL PLANS.
9. EXISTING DRAINAGE STRUCTURES SHALL BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES ARE TO BE CLEANED TO REMOVE ALL SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
10. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO A CONDITION EQUAL TO OR BETTER THAN ITS CONDITION PRIOR TO DAMAGE.
11. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND WITHIN PAVED AREAS.
12. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS SOIL TIGHT.
13. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
14. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

MATERIAL	TYPE	PIPE SPEC	JOINT SPEC	INSTALLATION	ACCEPTABLE AREAS OF USE
REINFORCED CONCRETE PIPE (RCP)	CLASS III, IV, V	ASTM C-76	ASTM C443	ASTM C1479	WITHIN R/W, COVER VARIES WITH PIPE CLASS
HIGH DENSITY POLY ETHYLENE (HDPE)	SMOOTH-WALLED CORRUGATED ADS-N12 OR EQUAL	ASHTO M294 (TYPE S)	ASTM F477	ASTM D2321	ON SITE, 12" TO 60" DIA.
POLY VINYL CHLORIDE (PVC)	SDR 35	ASTM D3034	ASTM D3212	ASTM D2321	ON SITE, 4" TO 10"

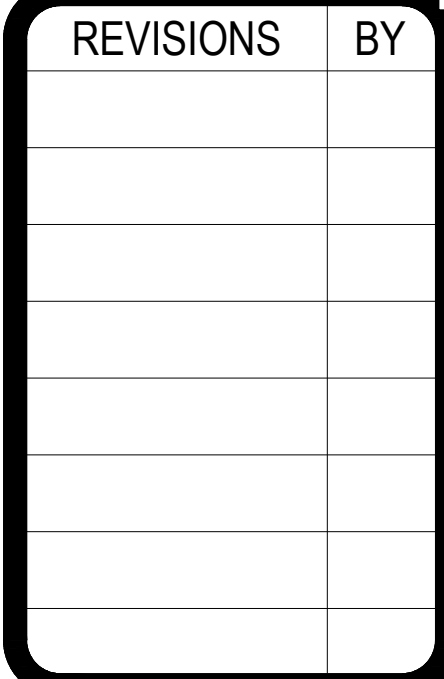
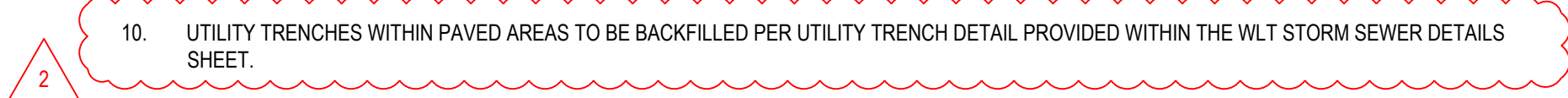
15. ALL STORM SEWER STRUCTURE GRATES AND FRAMES WITHIN PAVEMENT SHALL BE HEAVY DUTY.
16. ALL STORM DRAINAGE SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, COUNTY AND DOT STANDARDS.
17. ALL DOWNSPOUT DRAIN LINES OR ROOF LEADERS SHALL HAVE A 1/4% MINIMUM SLOPE, UNLESS OTHERWISE NOTED. CONNECT ALL DOWNSPOUTS AND ROOF LEADERS TO THE STORM SEWER SYSTEM. REFER TO ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF LEADER LOCATIONS. PROVIDE POSITIVE DRAINAGE AND PAVEMENT REPAIR AS NEEDED.
18. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
19. THE STORM SEWER GRADE WILL BE SUCH THAT A MINIMUM COVER IS MAINTAINED TO WITHSTAND SASHTO HS-25 LOADING ON THE PIPE. PROVIDE MINIMUM 2.0 FEET OF COVER FOR ALL STORM SEWERS UNLESS OTHERWISE NOTED.
20. WHEN A SANITARY SEWER MAIN LIES ABOVE A STORM SEWER, OR WITHIN 18 INCHES BELOW, THE SANITARY SEWER WILL HAVE AN IMPERVIOUS ENCASEMENT OR BE CONSTRUCTED OF STRUCTURAL STEEL PIPE FOR A MINIMUM OF 10 FEET ON EACH SIDE OF WHERE THE STORM SEWER CROSSES.

SITE NOTES

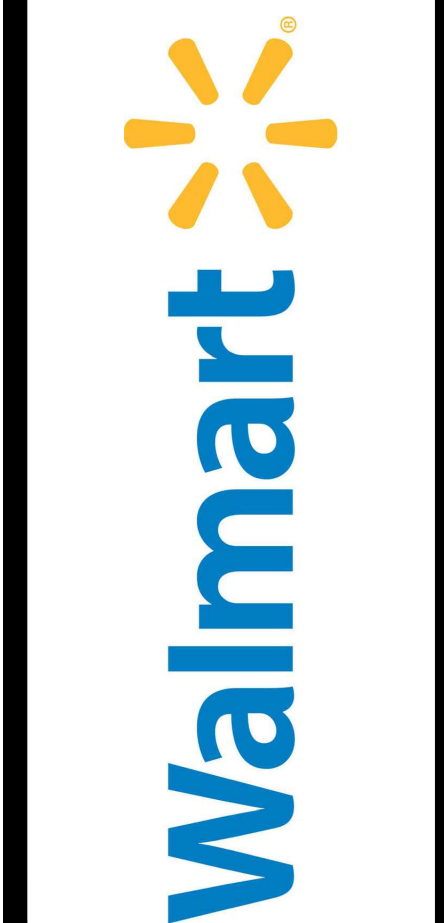
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL MATERIAL NOTED ON DRAWINGS WILL BE SUPPLIED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO COORDINATE ACCESS POINTS AND ELEVATIONS. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORS, ENTRY RAMP, CANOPY, AND CANOPY DOWNSPOUT.
4. THE CONTRACTOR SHALL OBTAIN ALL PERMITS FOR ALL SITE DEVELOPMENT WORK. PAY ALL FEES FOR PERMITS AND CHECK ALL GOVERNING AUTHORITIES' SPECIFICATIONS FOR BUT NOT LIMITED TO, GUTTERS, SIDEWALKS, POLES, AND OTHER STRUCTURES, INCLUDING THE REMOVAL OR RELOCATION OF EXISTING UTILITIES OR OTHER PHYSICAL OBJECTS SHOWN ON PLANS OR NOTED OTHERWISE.
5. ALL COSTS FOR INSPECTIONS AND/OR TESTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT OR FACE OF BUILDING, AS APPLICABLE, UNLESS OTHERWISE NOTED.
7. PROVIDE SIGNAGE AND STRIPING AS SHOWN. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH THE GOVERNING MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
8. REFER TO ARCHITECTURAL PLANS FOR PROPOSED BUILDING SIGNAGE.
9. REFER TO MECHANICAL PLANS FOR EQUIPMENT LAYOUT.
10. REFER TO ELECTRICAL PLANS FOR ELECTRICAL WORK.
11. REFER TO ORIGINAL SURVEY PROVIDED BY CSEO, INC.

UTILITY NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF U.S.H.A. DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR U.S.H.A.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
5. ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
6. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
7. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY'S INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
8. UNDERGROUND LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
9. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY REGULATIONS AND THE OWNER'S INSPECTION AUTHORITIES.
10. UTILITY TRENCHES WITHIN PAVED AREAS TO BE BACKFILLED PER UTILITY TRENCH DETAIL PROVIDED WITHIN THE W.L.T STORM SEWER DETAILS SHEET.
11. REFER TO ARCHITECTURAL DRAWINGS FOR EXCAV BUILDING UTILITY CONNECTION LOCATIONS, SERVICE SIZES TO BE DETERMINED BY ARCHITECT.
12. CLEAN OUTF AND CURB BOXES WITHIN THE PAVED AREAS MUST HAVE TRAFFIC LOADING FRAMES AND COVERS.



STORE # 2700.201
9190 HIGHLAND ROAD
WHITE LAKE, MI 48386
WALMART INC.
BENTONVILLE, AR



PROJECT NUMBER: 763515
SCALE: AS SHOWN
DRAWN BY: PT
CHECKED BY: MT/KC
DATE: 12.18.2024
ISSUE: PERMIT
SHEET: OGP GENERAL NOTES

OGP-2.2

[illegible]

STORE # 2700.201
9190 HIGHLAND ROAD
WHITE LAKE, MI 48386
WALMART INC.
BENTONVILLE, AR



PROJECT NUMBER:
763515
SCALE:
AS SHOWN
DRAWN BY:
PT
CHECKED BY:
MT/KC
DATE:
12.18.2024
ISSUE:
PERMIT
SHEET:
OGP DETAIL SHEET 1

OGP-3.0







WHITE LAKE, MICHIGAN
STORE NO.: 2700

DRAWING INDEX

[illegible]

BUILDING CODE SUMMARY	
	NAME OF PROJECT STREET ADDRESS PROPOSED USE
CODES	BUILDING CODE
	ELECTRICAL CODE
	PLUMBING CODE
	MECHANICAL CODE
	FIRE CODE
	ENERGY CODE
	ACCESSIBILITY CODE
OCCUPANCY	M - MERCANTILE; WHOLESALE OR RETAIL STORE (MAIN OCCUPANCY) S1 - STORAGE AREA, AND RECEIVING AND STOCKROOMS (MIXED OCCUPANCY) A2 - ASSEMBLY USE; BREAKROOM AND FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY) B - BUSINESS; NON FOOD TENANT (ACCESSORY TO MAIN OCCUPANCY)
TYPE OF CONSTRUCTION	V-B UNPROTECTED (SPRINKLERED)
ALLOWABLE AREA	UNLIMITED
FIRE PROTECTION	BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM

ARCHITECTURAL/STRUCTURAL:	REFRIGERATION ENGINEER:	STRUCTURAL ENGINEER (RACKING):						
WD PARTNERS ARCHITECT AND ENGINEER OF RECORD 7007 DISCOVERY BOULEVARD DUBLIN, OHIO 43017 PHONE: (614) 634-7000	WILLIAM R. KRANER, P.E. 1805 N. 2ND STREET, SUITE 5516 ROGERS, ARKANSAS 72756 PHONE: (479) 698-6304	JOHNSTON BURKHOLDER ASSOCIATES, LLC 930 CENTRAL STREET KANSAS CITY, MISSOURI 64105 PHONE: (816) 521-4200						
MECHANICAL/ELECTRICAL/PLUMBING ENGINEER:	FIRE PROTECTION ENGINEER:	CIVIL ENGINEER:	PLANNING & ZONING REVIEW:	BUILDING REVIEW:	PLUMBING/ELECTRICAL/MECHANICAL REVIEW:	FIRE REVIEW:	HEALTH REVIEW:	STORE MANAGER:
WD PARTNERS ENGINEER OF RECORD 7007 DISCOVERY BOULEVARD DUBLIN, OHIO 43017 PHONE: (614) 634-7000	WD PARTNERS ARCHITECT AND ENGINEER OF RECORD 7007 DISCOVERY BOULEVARD DUBLIN, OHIO 43017 PHONE: (614) 634-7000	CSO 13660 S. US HIGHWAY 27, SUITE D DEWITT, MI 48820 PHONE: (517) 271-8736	JUSTIN QUAGLIATA, STAFF PLANNER WHITE LAKE TOWNSHIP, MICHIGAN COMMUNITY DEVELOPMENT PLANNING 7525 HIGHLAND ROAD WHITE LAKE CHARTER TOWNSHIP, MICHIGAN 48383-2938 PHONE: (248) 698-3300	NICK SPENCER WHITE LAKE TOWNSHIP, MICHIGAN COMMUNITY DEVELOPMENT BUILDING 7525 HIGHLAND ROAD WHITE LAKE CHARTER TOWNSHIP, MICHIGAN 48383-2938 PHONE: (248) 698-3300	WHITE LAKE TOWNSHIP, MICHIGAN COMMUNITY DEVELOPMENT BUILDING 7525 HIGHLAND ROAD WHITE LAKE CHARTER TOWNSHIP, MICHIGAN 48383-2938 PHONE: (248) 698-3300	WHITE LAKE TOWNSHIP, MICHIGAN COMMUNITY DEVELOPMENT BUILDING 7525 HIGHLAND ROAD WHITE LAKE CHARTER TOWNSHIP, MICHIGAN 48383-2938 PHONE: (248) 698-3300	SUE TROMBLEY, MICHIGAN DEPARTMENT OF AGRICULTURE 5190 W. ALLEGAN STREET LANSING, MICHIGAN 48933 PHONE: (248) 388-3902	RAYVAUN TYLER WALMART STORE #02700 5190 W. ALLEGAN STREET LANSING, MICHIGAN 48933 PHONE: (248) 698-6001

EXISTING SQFT:	158,119
REMODELED SQFT:	15,812
EXPANSION SQFT:	4721
TOTAL SQFT:	178,652

PROTO CYCLE: 04/26/24
DATE: 07/25/24
PROTO: 158E



7007 DISCOVERY BLVD
DUBLIN, OH 43017
614.634.7000 T

WDPARTNERS.COM

THIS DRAWING WAS PREPARED FOR
BY **WHITE, LAKE, MICHIGAN** AT:
CONTEMPORANEOUSLY WITH ITS ISSU-
DATE ON **07/25/24** AND IT IS NOT
SUITABLE FOR USE ON A DIFFERENT
PROJECT SITE OR AT A LATER TIME. USE
OF THIS DRAWING FOR ANY OTHER
EXAMPLE ON ANOTHER PROJECT
REQUIRES THE SERVICES OF PROPERLY
LICENSED ARCHITECTS AND ENGINEERS.
REPRODUCTION OF THIS DRAWING FOR
USE ON ANOTHER PROJECT IS NOT
AUTHORIZED AND MAY BE CONSIDERED
VIOLATION OF THE LAW.

CONSULTANTS	
-------------	--

Walmart*
WHITE LAKE, MICHIGAN
9190 HIGHLAND RD, WHITE LAKE, MI 48386
STORE NO: 2700
JOB NUMBER: WALNE0193 PHOTO: 158E

[illegible]

CHECKED BY:	SME
DRAWN BY:	BR/GJ
PROTO CYCLE:	04/26/24
DOCUMENT DATE:	07/25/24

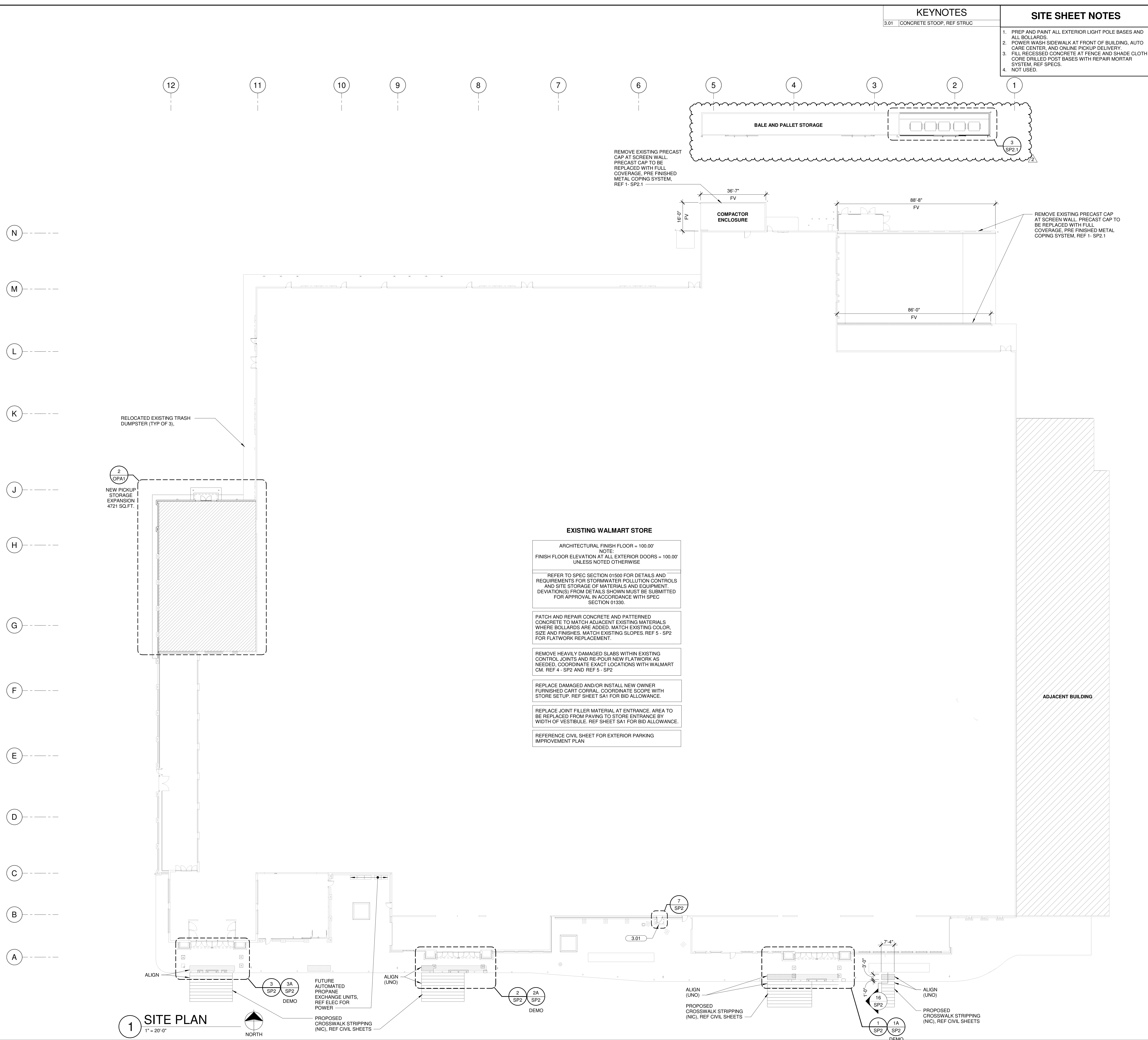


04/04/2025

DOCUMENTS THAT DO NOT
HAVE THE ARCHITECT OR
ENGINEER OF RECORD SEAL
AND SIGNATURE SHALL BE
CONSIDERED NOT FOR
CONSTRUCTION

COVER
SHEET

SHEET: C1



wd innovation at scale

WDPARTNERS.COM

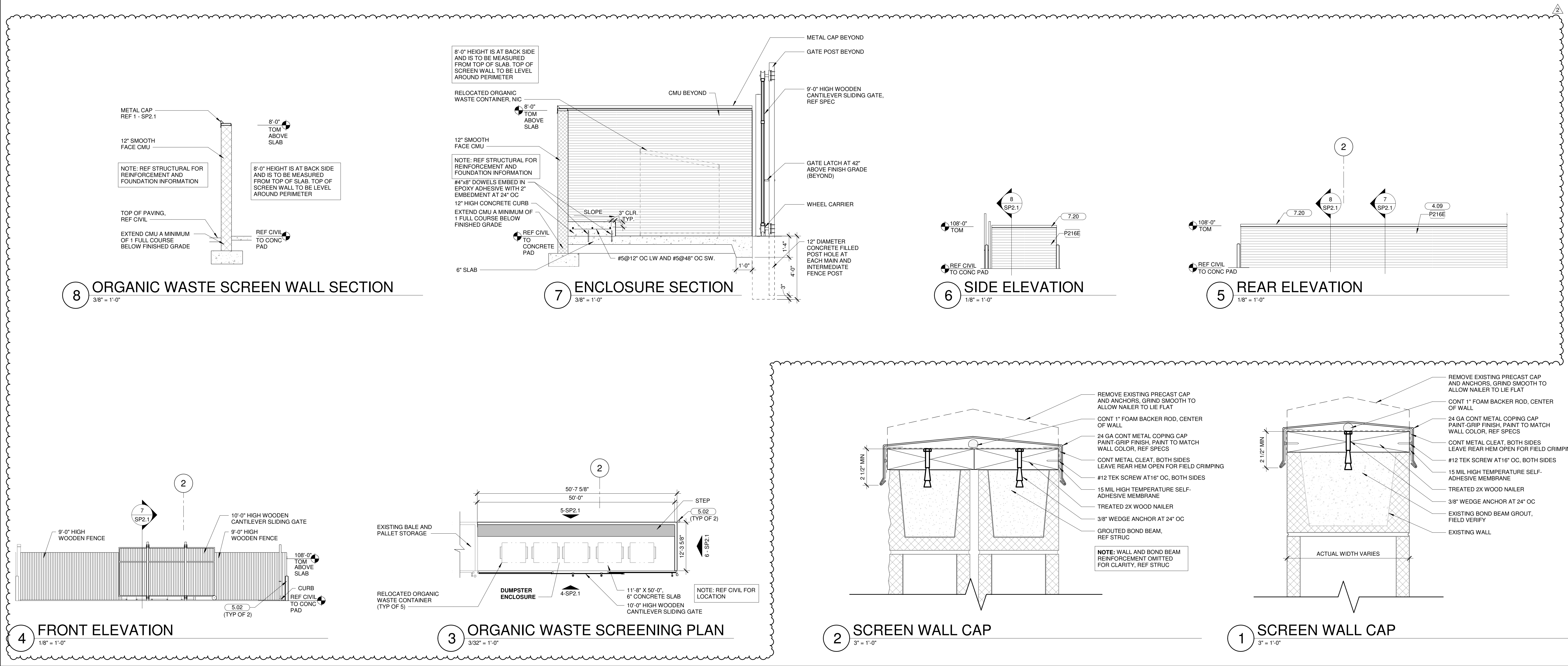
CONSULTANTS	
-------------	--

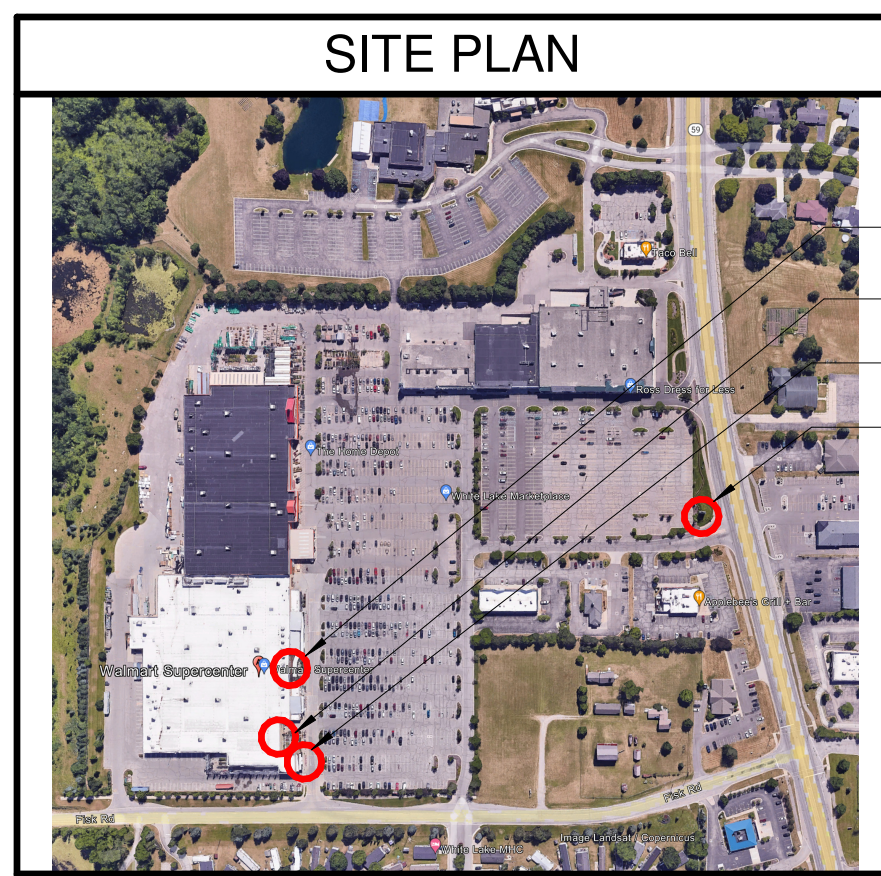
[illegible]

STATE OF MICHIGAN
CHRISTOPHER K. DOERSCHLAG
ARCHITECT
No. 41122
LICENSED ARCHITECT
04/04/2025

SITE DETAILS

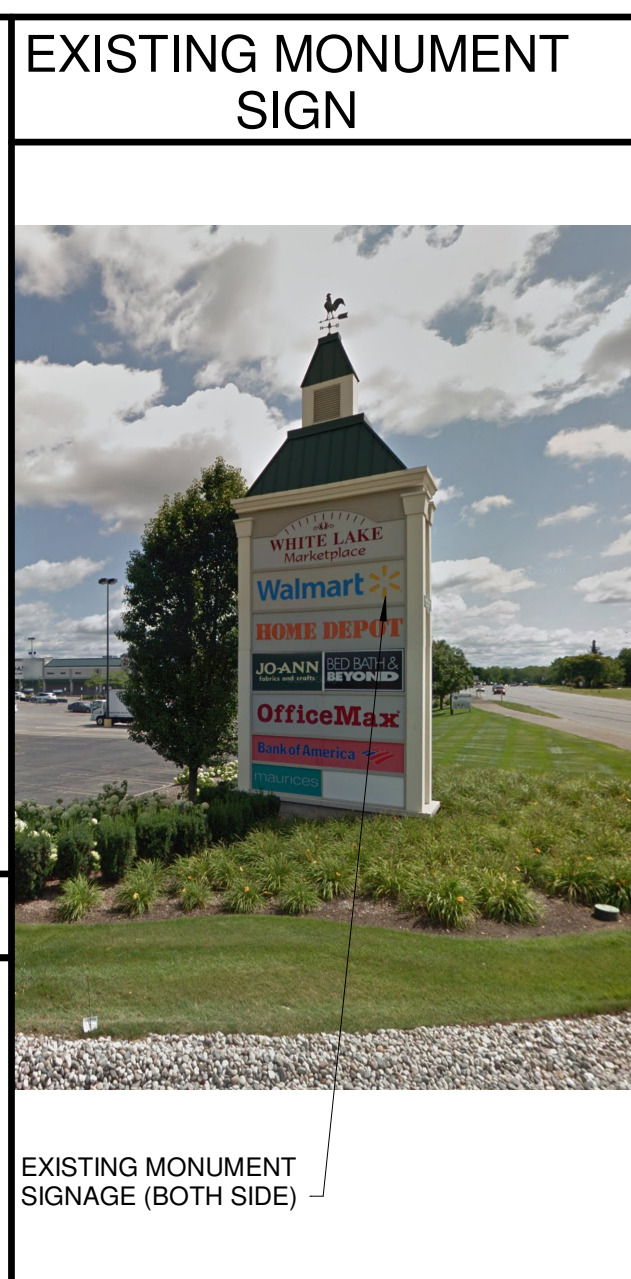
SHEET
SP2.1





DISCLOSURES

- PAINT RESTRICTIONS: BUILDING WAS LAST PAINTED IN UNKNOWN YEAR. WE RECOMMEND FULL PAINT IN BROWN SCHEME
- ALLOWED SIGNAGE SF: N/A
- EXISTING SIGNAGE SF: 539.75 SQFT
- PROPOSED SIGNAGE SF: 384.45 SQFT
- VARIANCE / PROCESS: NO



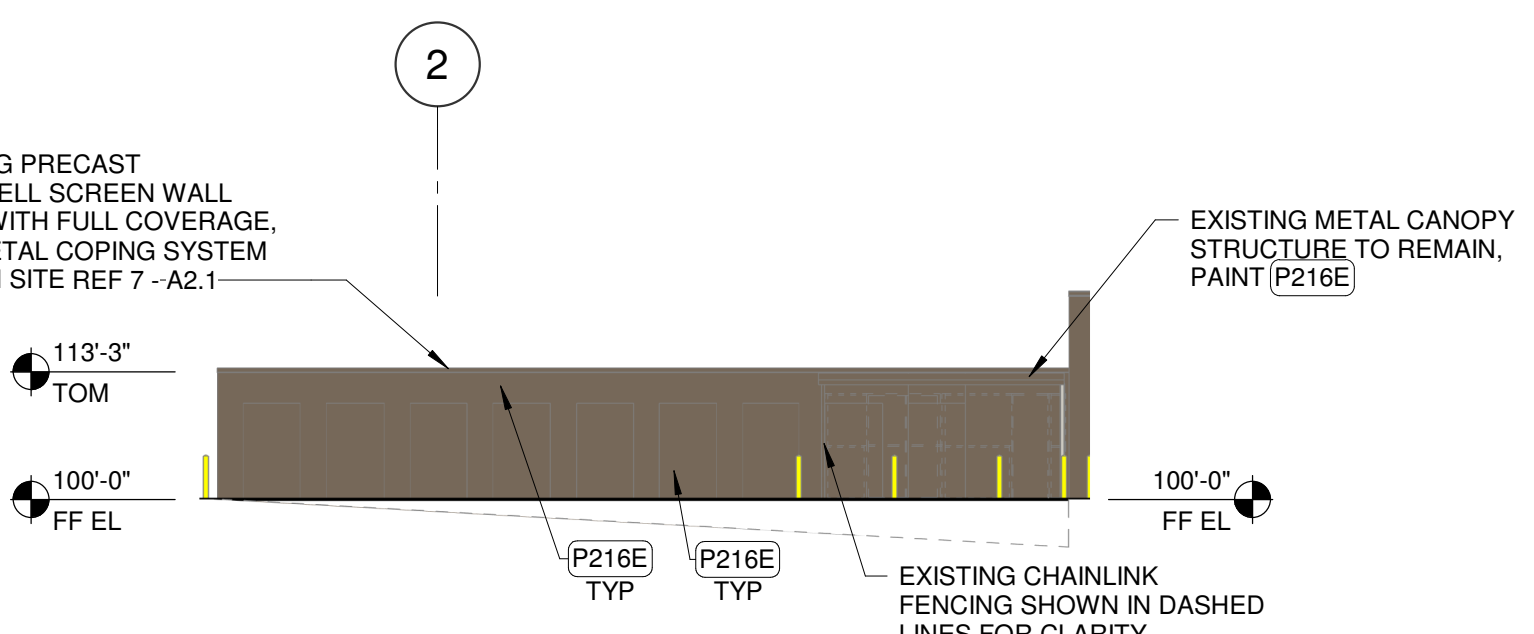
REVISION SUMMARY

2024-06-13:

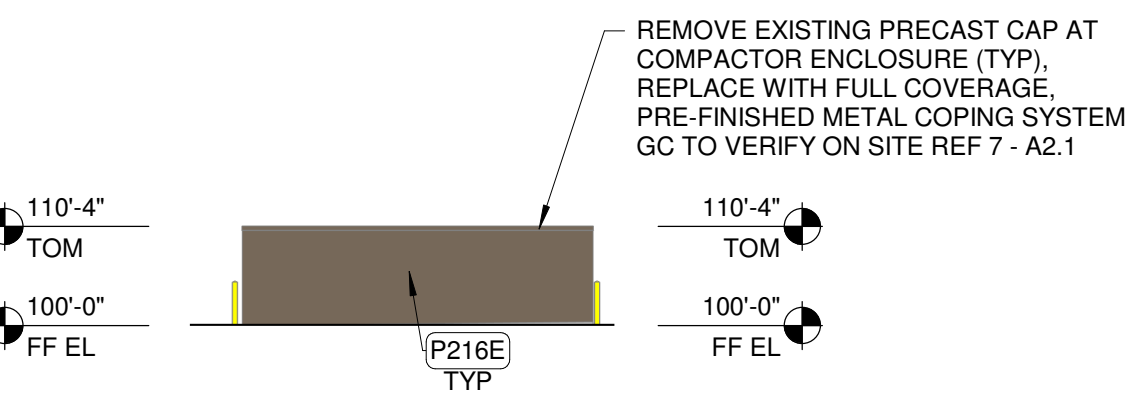
- UPDATED ALL ELEVATIONS TO SHOW THE NEW PICKUP EXPANSION AREA. PER ID PLAN DATED 2024-05-03.
- ADDED ONE EXTERIOR HOLLOW METAL EXIT DOOR ON THE FRONT ELEVATION FOR VISION CENTER PER ID PLAN DATED 2024-05-03.
- UPDATED SALE AND PALETTE ELEVATIONS TO SHOW MEDIUM BROWN COLOR PER BIP GUIDELINES.
- ADDED NEW DETAIL FOR SCREEN WALL CAP FOR GARDEN CENTER PILASTERS ON A2.1 AND UPDATED THE REFERENCES ON A2.
- UPDATED PICKUP EXPANSION SIZE: REPLACED EXISTING ORNAMENTAL FENCE WITH WALL DATED 2024-12-13.

2025-02-28:

- UPDATED ALL ELEVATIONS AS PER NEB GUIDELINES ON A2. UPDATED ALL SIGNAGES DETAILS AND NEW SIGNAGE SCHEDULE ON A2.1 AS PER NEB GUIDELINES.



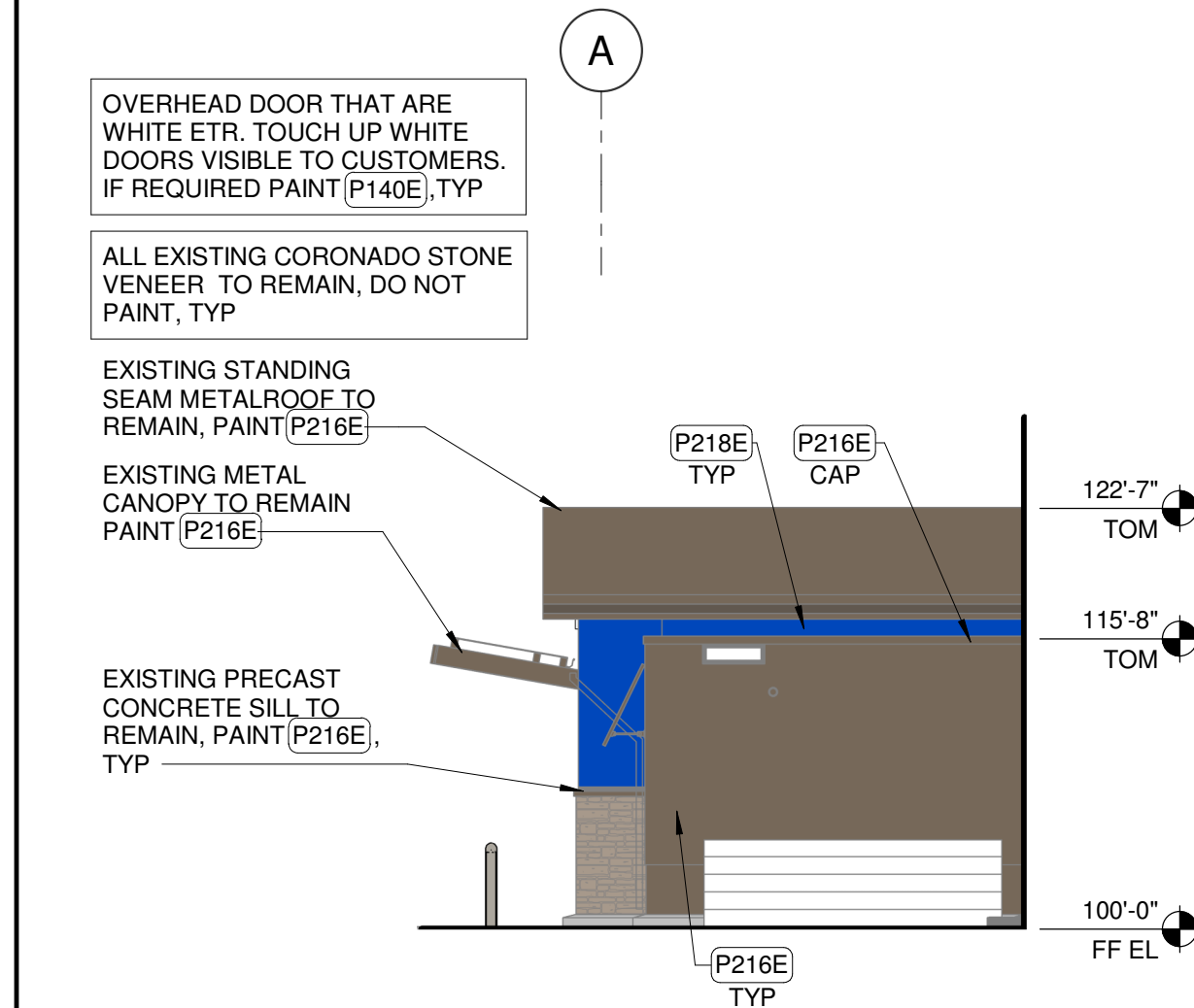
TRUCKWELL SCREENWALL ELEVATION
12
1" = 20'-0"



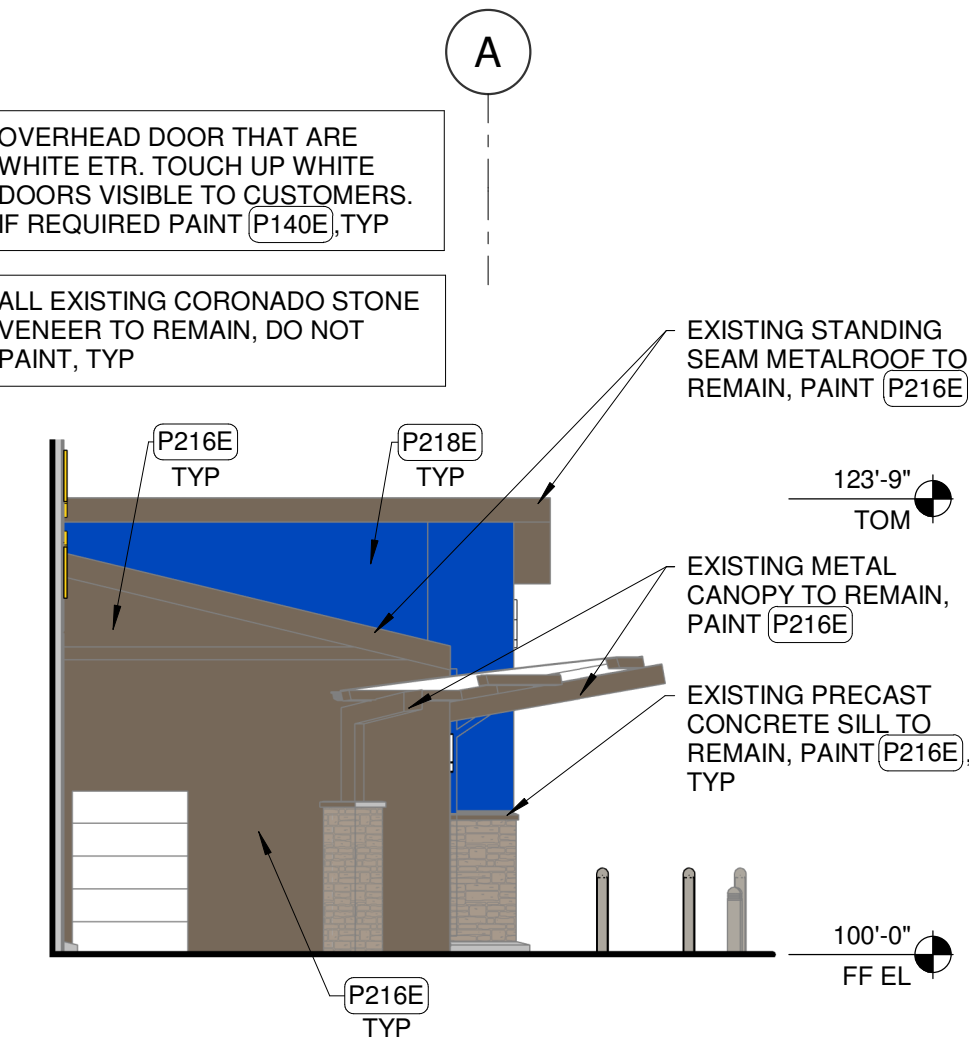
COMPACTOR SCREENWALL ELEVATION
11
1" = 20'-0"

DEMOLITION NOTES	
1.	NOT USED
2.	REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING
3.	COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS
COLOR LEGEND	
P5E	SAFETY YELLOW
P21E	SAFETY RED
P36E	BLACK
P140E	WHITE
P216E	DARK BROWN
P218E	TRUE BLUE
KEYNOTES	
8.02	HOLLOW METAL DOOR AND FRAME

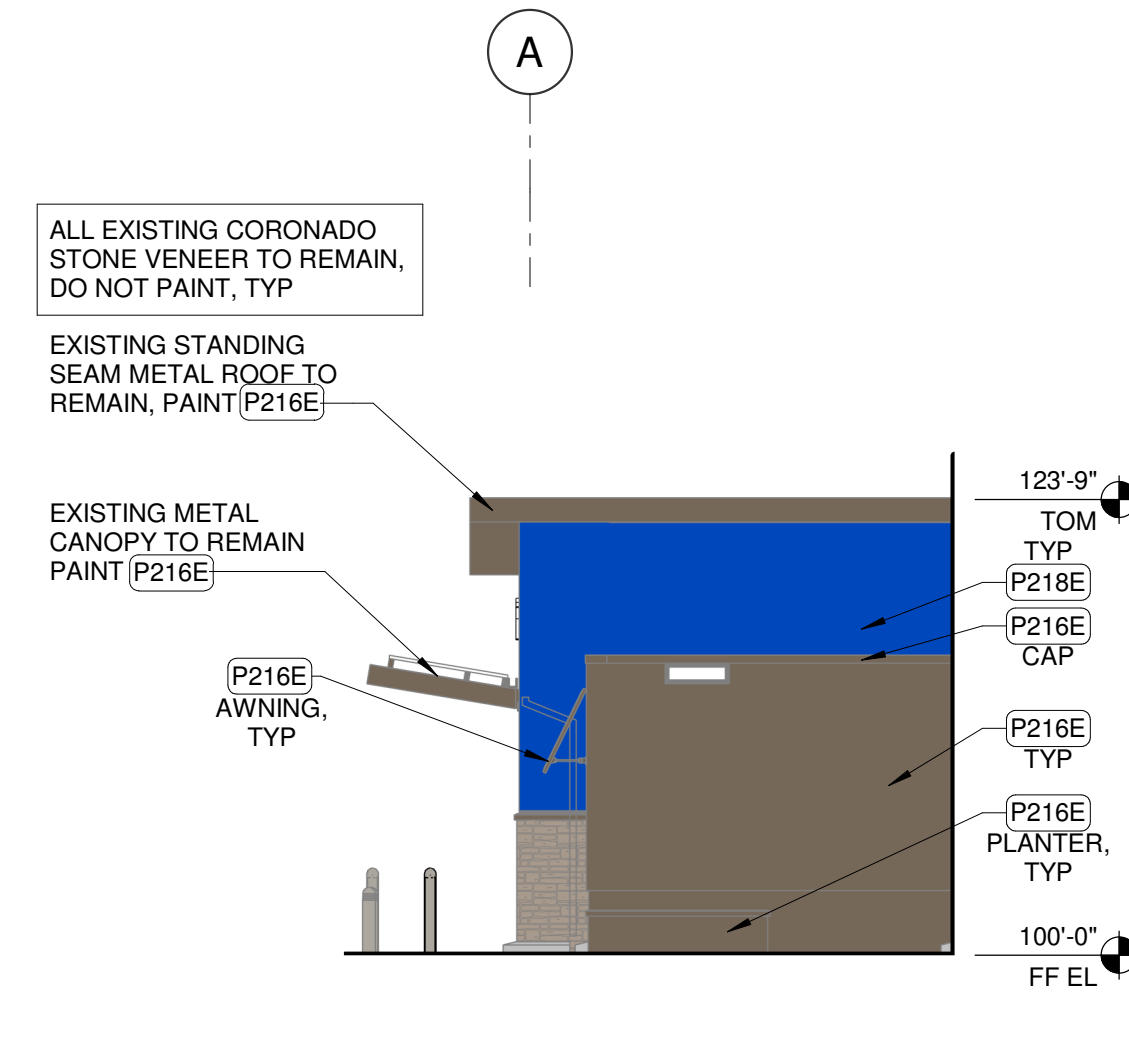
SHEET NOTES	
1.	PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED
2.	REFER TO DETAILS ON SHEET A2.2 FOR SUBSTRATE AND FINISH REQUIREMENTS AT LOCATIONS OF BUILDING MOUNTED SIGNS
3.	RESURFACE EXISTING EIFS WHERE SHOWN (HATCHED AREA)
4.	NOT USED
5.	PRIOR TO PAINTING WALL AT LOCATION(S) OF LIT ID LOGO SIGN(S), COORDINATE SCOPE OF WORK WITH WALMART CM
6.	IF PAINTING ADJACENT WALLS PAINT HOLLOW METAL STEEL DOORS, FRAMES, AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL TO MATCH PRIMARY ADJACENT BUILDING COLOR UNO
7.	PAINT ANY ROOFTOP GAS PIPING (P5E) <ul style="list-style-type: none">WHERE EXTERIOR WALL IS BEING PAINTED, GAS PIPE ALONG SIDE WALL TO GRADE SHALL MATCH ADJACENT BUILDINGDO NOT PAINT METER OR VALVES
8.	IF PAINTING ADJACENT WALLS PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL
9.	NOT USED
10.	PAINT ALL EXTERIOR ENTRY BOLLARDS TO MATCH EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE
11.	NOT USED
12.	DO NOT PAINT LED WALL PACK HOUSINGS
13.	PAINT GARDEN CENTER STEEL DOORS AND FRAMES (P36E)
14.	NOT USED
15.	DO NOT PAINT QUIK-BRIK, STONE VENEER, FACE BRICK, UNPAINTED TILT-WALL OR PRECAST PANELS
16.	NOT USED
17.	PAINT JIB CRANE (P36E) ON JIB BOOM (P5E) ON HANDRAILS
18.	PAINT SPRINKLER VALVES (P21E) <ul style="list-style-type: none">DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL
19.	REPLACE EXISTING NON-GRAY SLATS WITH GRAY SLATS



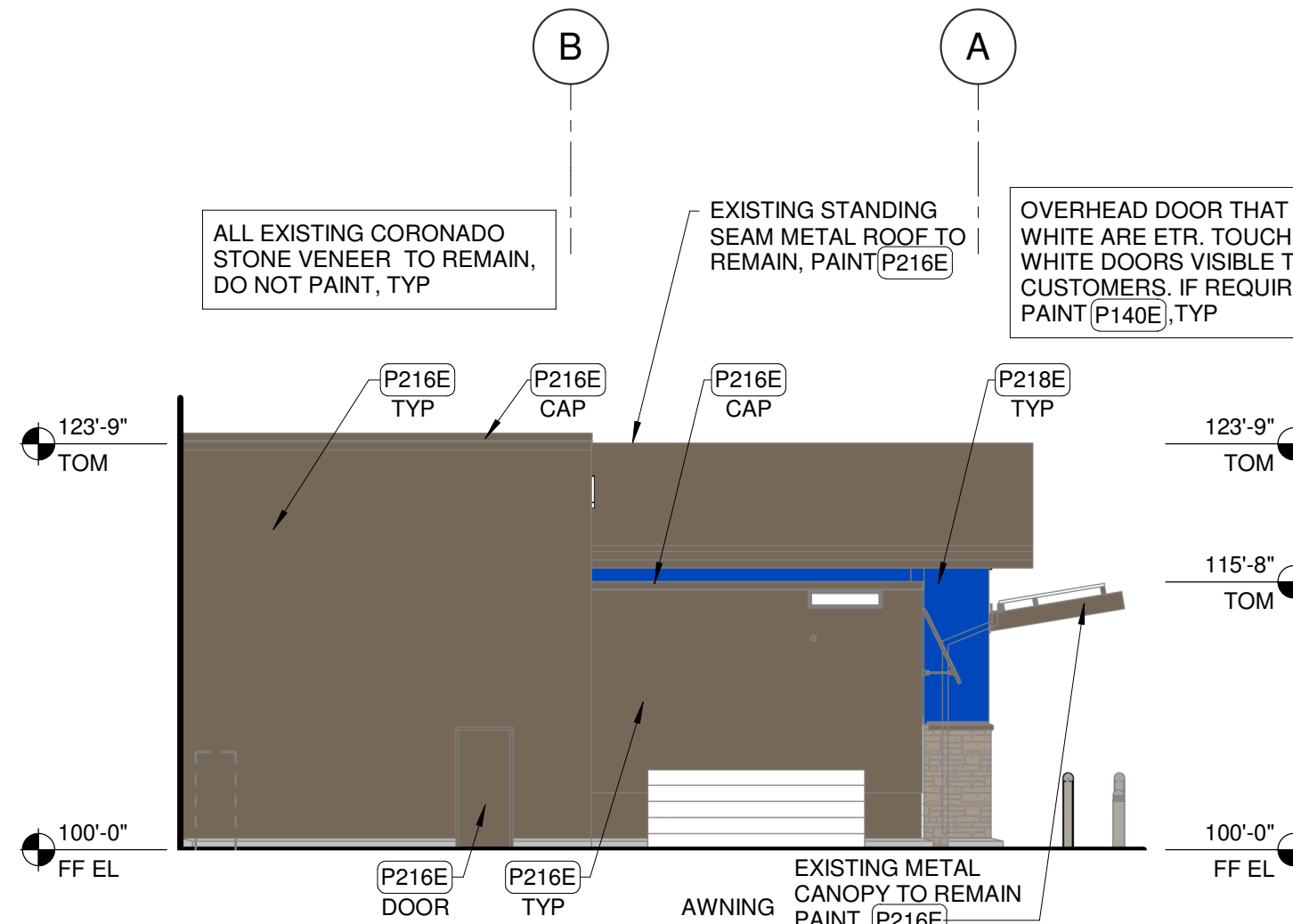
VESTIBULE-GR RIGHT ELEVATION
10
1" = 10'-0"



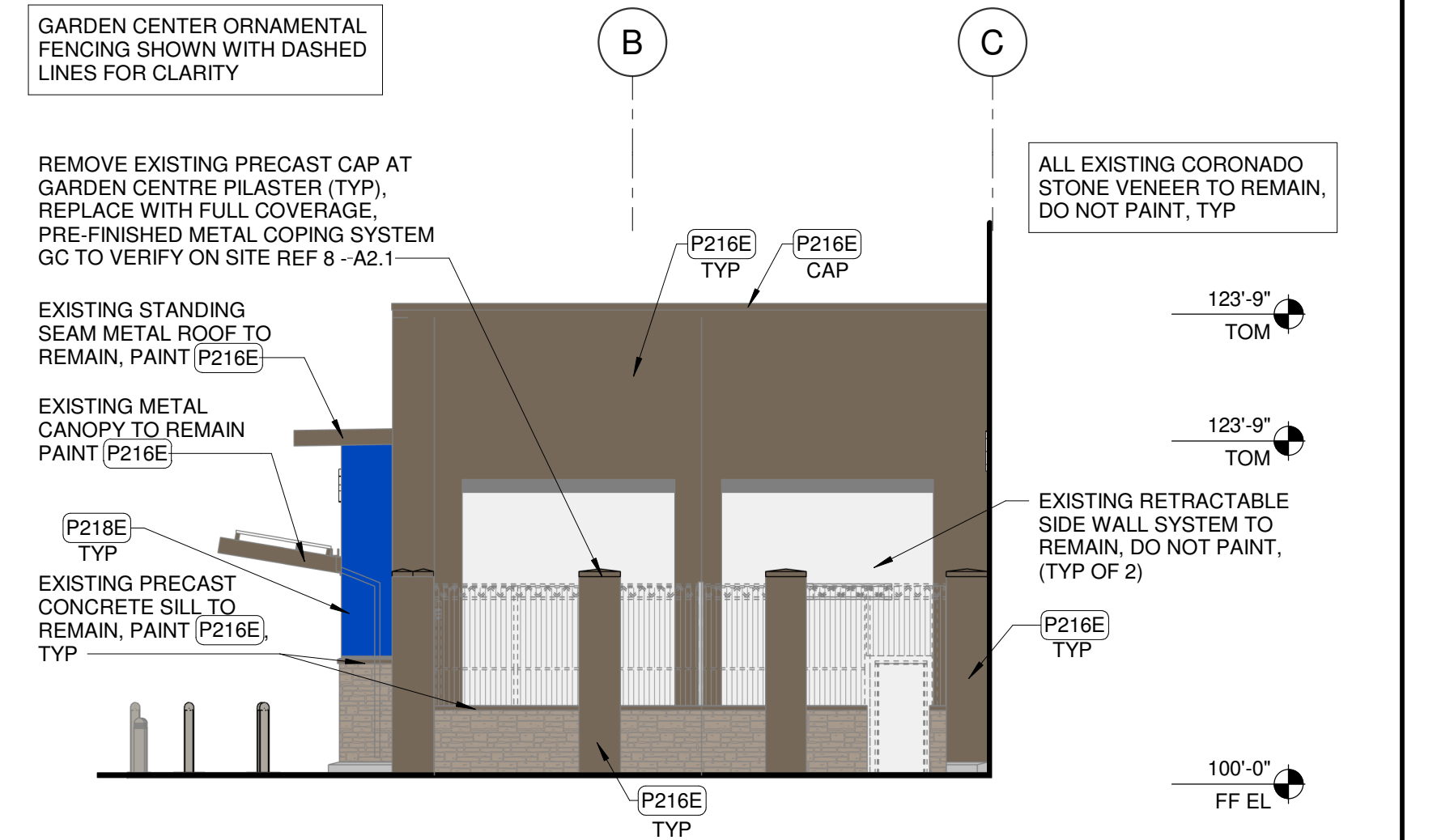
VESTIBULE-GR LEFT ELEVATION
9
1" = 10'-0"



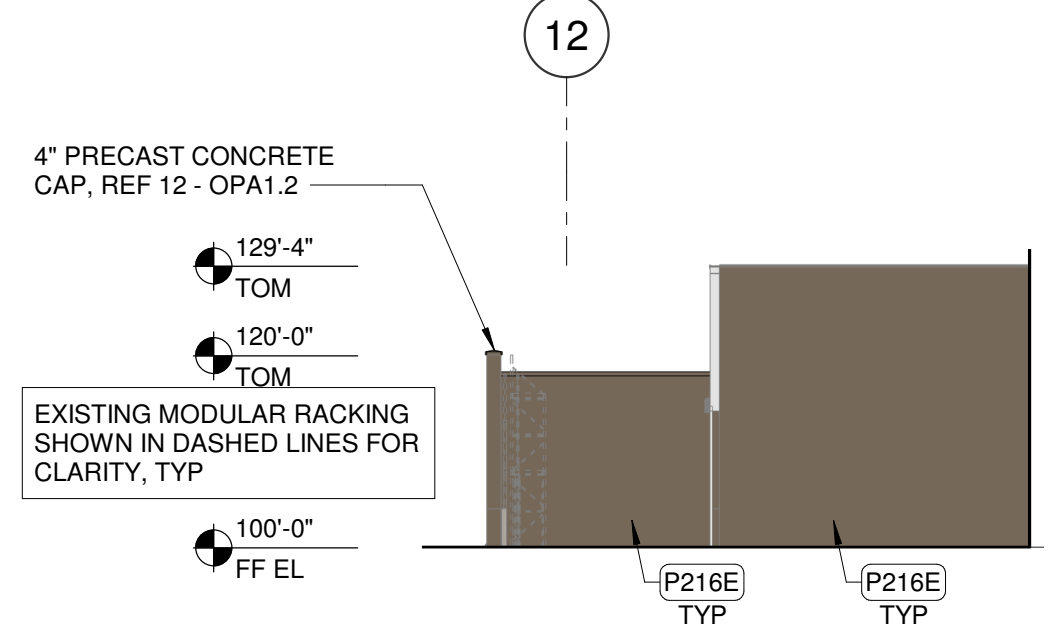
VESTIBULE-GM RIGHT ELEVATION
8
1" = 10'-0"



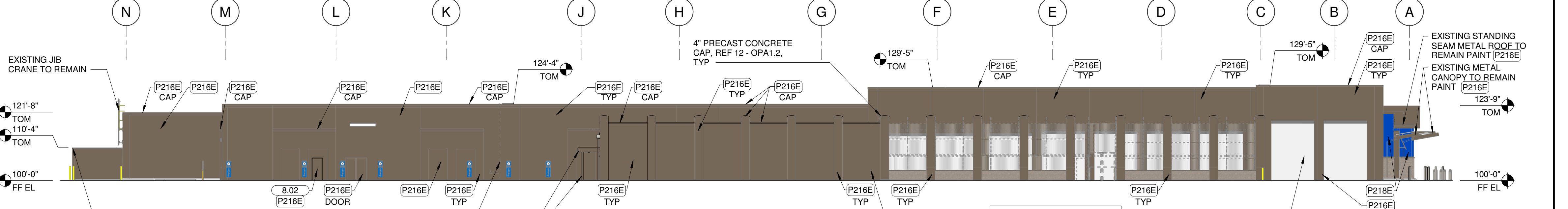
VESTIBULE-GM LEFT SIDE ELEVATION
7
1" = 10'-0"



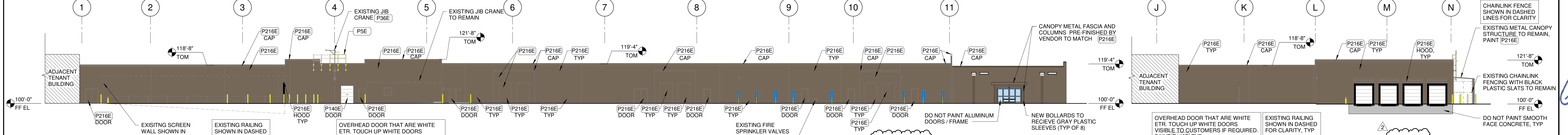
VESTIBULE-GM RIGHT SIDE ELEVATION
6
1" = 10'-0"



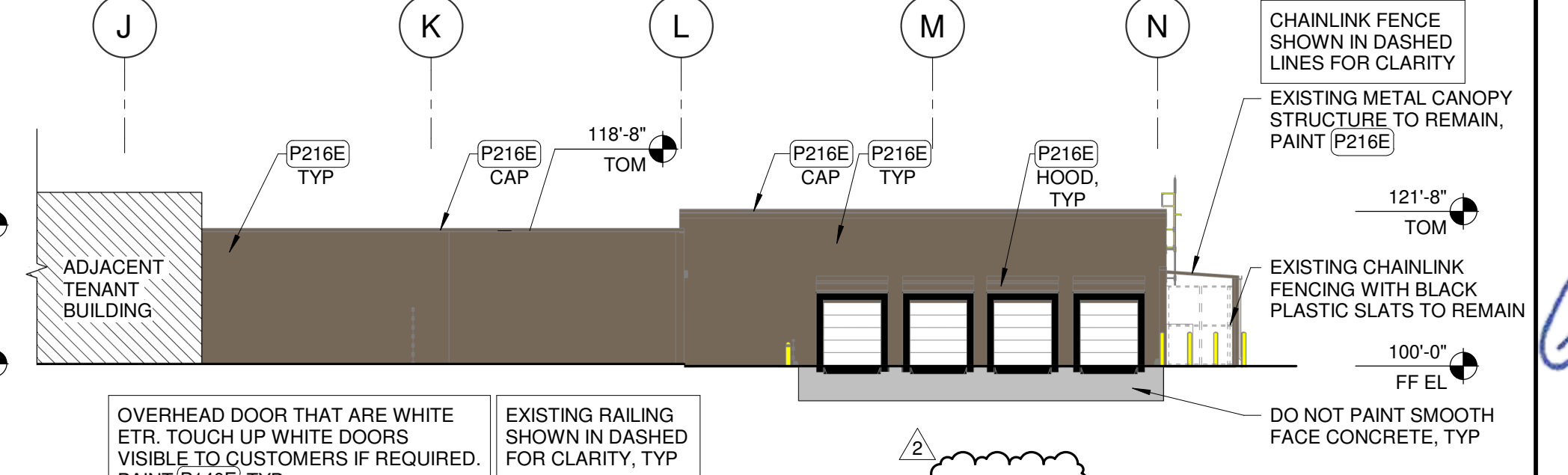
PICKUP EXPANSION RIGHT ELEVATION
5
1" = 20'-0"



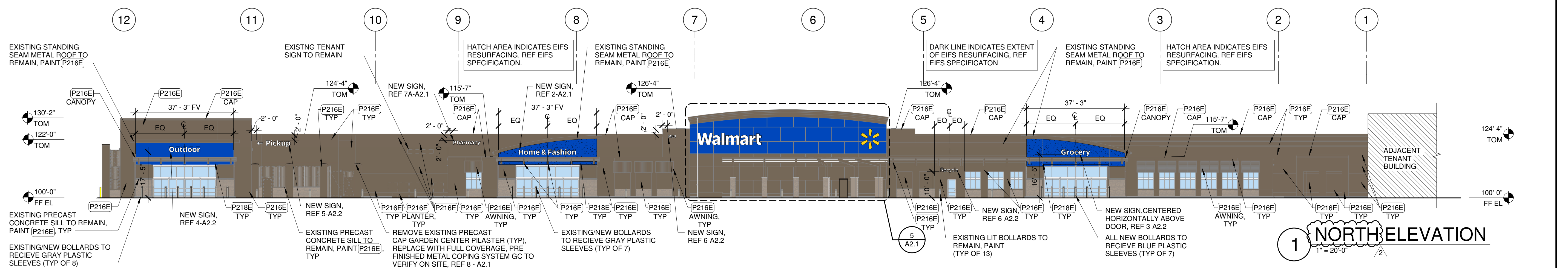
WEST ELEVATION
4
1" = 20'-0"



SOUTH ELEVATION
3
1" = 20'-0"



EAST ELEVATION
2
1" = 20'-0"



NORTH ELEVATION
1
1" = 20'-0"

Walmart
WHITE LAKE, MICHIGAN
9190 HIGHLAND RD., WHITE LAKE, MI 48396
STORE NO: 02700-201

ISSUE BLOCK

1	PR#1	12/18/24
2	PR#2	04/04/25

CHECKED BY: SME
DRAWN BY: JVI/AV/GJ
PHOTO CYCLE: 03/29/24
DOCUMENT DATE: 04/22/24

EXTERIOR ELEVATIONS

SHEET: **A2**

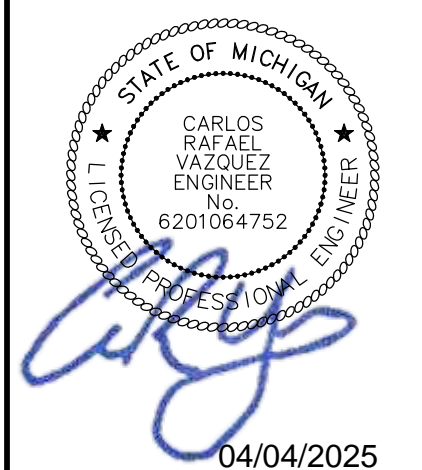
STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR
USE ON A SPECIFIC SITE AT:
WHITE LAKE, MICHIGAN
CONTEMPORANEOUSLY WITH ITS ISSUE
DATE ON **07/25/24** AND IT IS NOT
SUITABLE FOR USE ON A DIFFERENT
PROJECT SITE OR AT A LATER TIME. USES
OF THIS DRAWING FOR REFERENCE OR
EXAMPLE ON ANOTHER PROJECT
REQUIRE THE SERVICES OF PROPERLY
LICENSED ARCHITECTS AND ENGINEERS.
REPRODUCTION OF THIS DRAWING FOR
USE ON ANOTHER PROJECT IS NOT
AUTHORIZED AND MAY BE CONTRARY TO

CONSULTANTS

Walmart*
WHITE LAKE, MICHIGAN
 9190 HIGHLAND RD, WHITE LAKE, MI 48386
 STORE NO: 2700
 FOR NUMBER: WAI NF0193 PROTO: 15

[illegible]

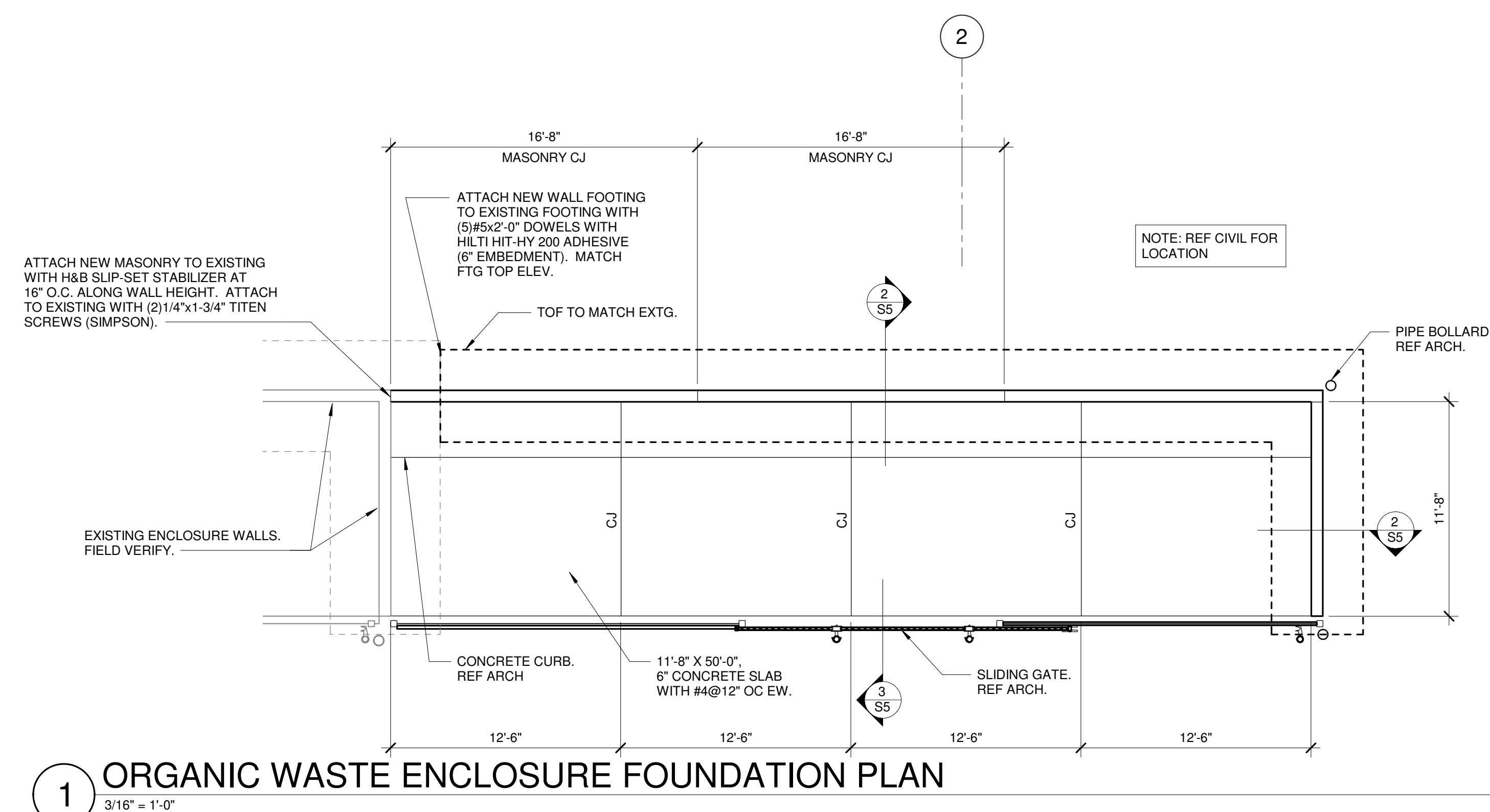
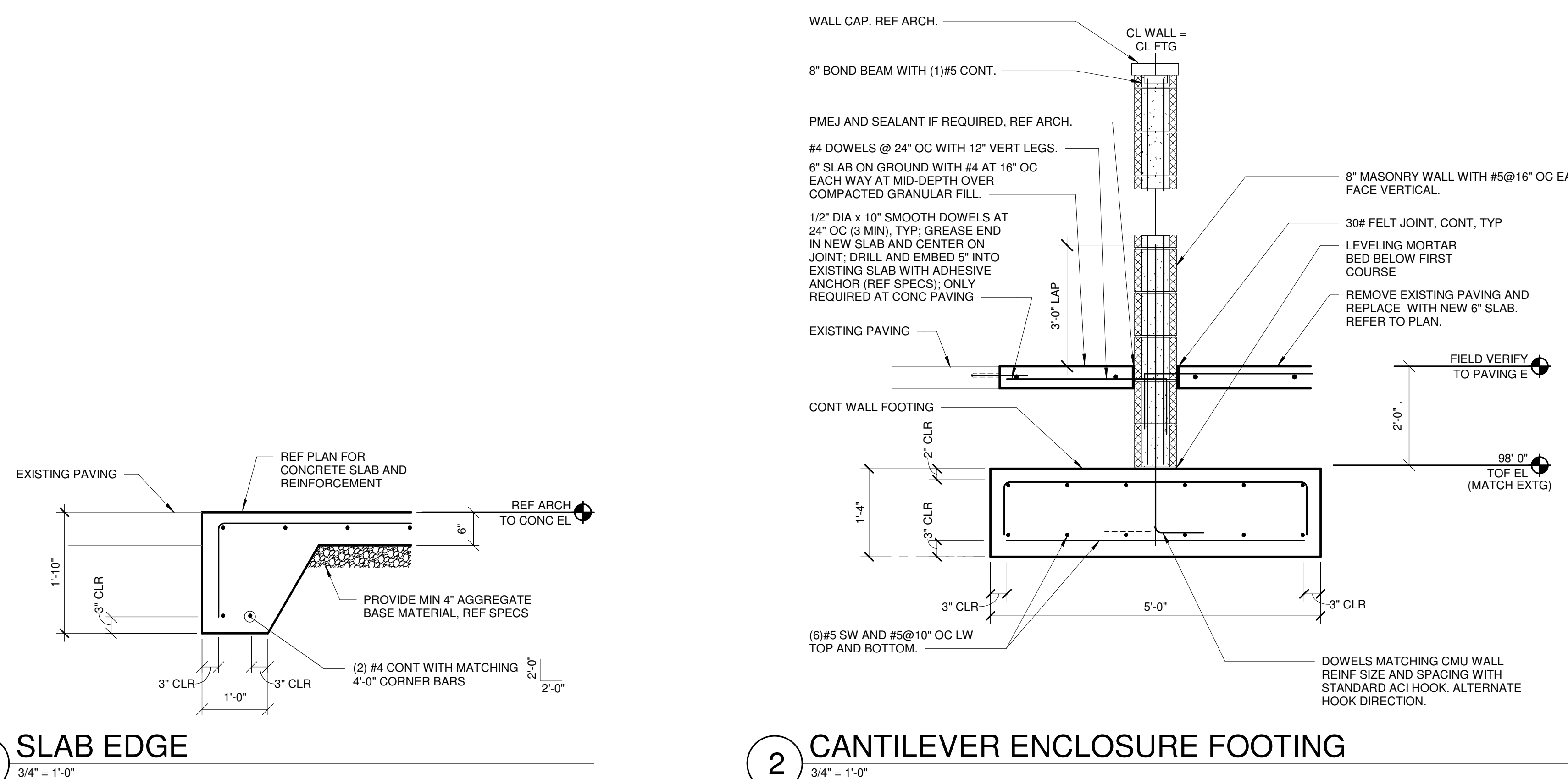
CHECKED BY:	wdp
DRAWN BY:	wdp
PROTO CYCLE:	04/26/24
DOCUMENT DATE:	07/25/24



DOCUMENTS THAT DO NOT
HAVE THE ARCHITECT OR
ENGINEER OF RECORD SEAL
AND SIGNATURE SHALL BE
CONSIDERED NOT FOR
CONSTRUCTION

ORGANIC
WASTE
ENCLOSURE
FOUNDATION
PLAN

SHEET: S5



<p>EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDS. CONTRACTOR SHALL CAREFULLY COORDINATE NEW WORK AND DEMOLITION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.</p>	<p>EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE THE RESPONSIBILITY OF FORMING THE WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO COMPENSATION TO FAMILIAR WORKERS WITH THIS KNOWLEDGE.</p>
---	---